

**CITY COUNCIL REGULAR MEETING AGENDA**

City Hall - 10769 W State Street, Star, Idaho
Tuesday, May 02, 2023 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Bishop Cody Larsen, Church of Jesus Christ of Latter Day Saints
3. **ROLL CALL**
4. **PRESENTATIONS**
 - A. **PROCLAMATION** - Municipal Clerks Week
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Approval of Minutes & Claims:** January 25, 2022 Willowbrook Transportation Workshop Minutes; February 8, 2022 Willowbrook Agency Workshop Minutes; February 22, 2022 Willowbrook Utilities Workshop Minutes
 - B. **Final Plat** - Moon Valley Subdivision Phase 7 (**FILE:FP-23-02**)
 - C. **Final Plat** - Cranefield Subdivision Phase 1 (**FILE:FP-22-03**)
6. **PUBLIC HEARINGS with ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **PUBLIC HEARING: Garnet Subdivision (FILE: AZ-23-01, DA-23-01, PP-22-01, FP-22-01, PR23-01)** - The Applicant is seeking approval of an Annexation and Zoning (R-1), a Development Agreement, a Combined Preliminary Plat/Final Plat for a residential subdivision consisting of 5 residential lots, and a Private Street. The property is located at 6697 Foothill Road in Star, Idaho, and consists of 5.15 acres with a proposed density of 1.03 dwelling units per acre. Continuation from April 18, 2023 (ACTION ITEM)
 - B. **PUBLIC HEARING: Mink Creek Subdivision (FILE PP-23-02, FP-23-04)** - The Applicant is seeking approval of a Preliminary Plat and Final Plat for a subdivision consisting of 9 residential lots, 1 commercial lot and 1 industrial lot. The property is located at 9374 W. State Street, 350 N. Calhoun Place and 8802 W, State Street in Star, Idaho, and consists of 48.48 acres. The preliminary plat application was originally approved in 2019 as part of application AZ-19-03/PP-19-02 for Mink Creek Subdivision. (ACTION ITEM)
 - C. **PUBLIC HEARING: Red Barn Inn (FILE: RZ-23-02, DA-23-03, CU-23-04)** - The Applicant is seeking approval of a Rezone (CBD), a Development Agreement, and Conditional Use Permit to open The Red Barn Inn (a 12 room Inn). The application is being reviewed as a motel/hotel land use and is located at 309 S Main, Star. (**ACTION ITEM**)
 - D. **PUBLIC HEARING: Hood Rats Automotive Garage (FILE: RZ-23-01, DA-23-02 & CU-23-01)** - The Applicant is seeking approval of a Rezone (C-1 to CBD), a Development Agreement, and a Conditional Use Permit for a 1,300 square foot automotive garage. The property is located at 11525 W. State Street in Star, Idaho. (**ACTION ITEM**)
 - E. **PUBLIC HEARING: Ridley's Commercial Rezone Development Agreement Modification (FILE: #?)** - The Applicant is seeking approval of a modification to the existing Development Agreement for the Ridley's Commercial property. The applicant is requesting approval from the Council of specific commercial land uses that are proposed in the commercial development in and around the Ridley's Market area. The property is located at 145 S. Plummer Way in Star, Idaho. (**ACTION ITEM**)
7. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **TBD-2023 (Administrative Ordinance - Beer, Wine and Liquor by the Drink Amendment)** - An Ordinance Amending Title 2, Chapter 2, Defining Purpose, CREATING SECTION 2-2A-4 Section D and



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho

Tuesday, May 02, 2023 at 7:00 PM

2-2B-3 Section D, Creating for Severability and Providing for an Effective Date. Previously tabled from April 18, 2023 (ACTION ITEM)

B. **Resolution TBD-2023 (Asset Disposal)** - A Resolution setting disposal of certain assets Previously tabled April 18, 2023 (ACTION ITEM)

C. **Resolution RBD-2023 (PABC Mission Statement)** - A Resolution Revising the Mission Statement of the Parks, Art & Beautification Committee **(ACTION ITEM)**

D. **Gallery Art Display Unit Purchase** - Approval of up to \$958 of a Gallery Art Wall Display Unit for Star City Hall as requested by the Parks, Art & Beautification Committee **(ACTION ITEM)**

8. ADJOURNMENT



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho
Tuesday, May 02, 2023 at 7:00 PM

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

Proclamation

54th ANNUAL PROFESSIONAL MUNICIPAL CLERKS WEEK
April 30 - May 6, 2023

Whereas, The Office of the Professional Municipal Clerk, a time honored and vital part of local government exists throughout the world, and

Whereas, The Office of the Professional Municipal Clerk is the oldest among public servants, and

Whereas, The Office of the Professional Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels, and

Whereas, Professional Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all.

Whereas, The Professional Municipal Clerk serves as the information center on functions of local government and community.

Whereas, Professional Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Professional Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, provincial, county and international professional organizations.

Whereas, It is most appropriate that we recognize the accomplishments of the Office of the Professional Municipal Clerk.

Now, Therefore, I, Trevor A Chadwick, Mayor of Star Idaho, do recognize the week of April 30 through May 6, 2023, as Professional Municipal Clerks Week, and further extend appreciation to our Professional Municipal Clerks and to all Professional Municipal Clerks for the vital services they perform and their exemplary dedication to the communities they represent.

Dated this 2nd day of May 2023

Mayor _____

Attest: _____



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK TRANSPORTATION

City Hall - 10769 W State Street, Star, Idaho

Tuesday, January 25, 2022 at 6:30 PM

PUBLIC NOTICE: THIS MEETING WAS A WORKSHOP - NOT A PUBLIC HEARING. PUBLIC TESTIMONY WAS NOT HEARD. THE PUBLIC WAS INVITED TO PARTICIPATE BY OBSERVING THE PROCESS IN PERSON OR ONLINE AT:

https://www.youtube.com/channel/UCkw5PdAcU_RK0rP7MNaLB1A

1. CALL TO ORDER

Mayor Trevor Chadwick called the meeting to order at 6:30 p.m. He welcomed attendees and led the Pledge of Allegiance.

2. ROLL CALL

Present were Mayor Trevor Chadwick, Council President David Hershey, Council Member Kevan Wheelock, Council Member Jennifer Salmonsens, City Planner Shawn Nickel, Assistant City Planner Ryan Field, City Clerk-Treasurer Jacob Qualls, Public Information Officer Dana Partridge, Idaho Transportation Department representative Caleb Lakey, Idaho Transportation Department representative Jason Brinkman, Nathan Mitchell of A+E Construction representing the applicant Willowbrook Development Inc. & Twin Islands LLC, John Roters, Jake Evans, Civil Engineer Chad Cankello, Kittleson Associates representatives Sonia Daleiden and Sam Martsch, Canyon Highway District 4 representative Bruce Bain, Canyon Highway District 4 representative Chris Hopper, and Alliance Consulting representatives James Hammon and Lauren Stubbs (Hammon and Stubbs participated via online). Council Member Nielsen was absent.

3. AGENCY WORKSHOP

TRANSPORTATION AGENCY WORKSHOP SUMMARY - WILLOWBROOK

Mayor Chadwick introduced the regional agency workshop participants and explained that Nathan Mitchell would introduce the Willowbrook project and then the transportation agencies would ask their questions.

Mitchell utilized a map to describe the overall concept of the proposed Willowbrook development which would consist of 1618 residential lots, 2 commercial lots and 25 common lots on 1554.8 acres (723.78 acres in Ada County; 831.02 acres in Canyon County).

Mitchel noted key elements of the concept, such as 1,600 dwelling units, 500 of which are town homes and patio homes and the rest being single family homes with a public championship level golf course.

The presentation noted that the golf course would be early in the phasing and the road access/road development is a key issue to coordinate on early in the process in order to avoid building a golf course and then having to tear it up.

Mitchel presented a concept map of the major road connections for discussion. A new major connection would be proposed to Highway 16 on the north which would cross both highland land, livestock ground, and BLM land.



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK TRANSPORTATION

City Hall - 10769 W State Street, Star, Idaho

Tuesday, January 25, 2022 at 6:30 PM

Discussion of scope ensued, including issues of terrain, access, and routes, as well as access and traffic concerns for surrounding neighborhoods.

Mitchel noted that Willowbrook is asking for some land use entitlements, but the developers want to make sure they are restricted properly in a development agreement to ensure the transportation authorities have the leverage they need over the development process to ensure when various phases build out that the proper improvements are made to support what the highway districts and the City need.

Discussion noted that Kittleson Associates will provide a detailed scope of work as part of the development agreement process.

James Hammon of Alliance Consulting noted the team has been working with ITD and BLM on the proposed future interchange at Highway 16 and Beacon Light. Discussion focused on the map depictions, comparing what Highway 16 is like now to future iterations, envisioning the transition from collector road to principal arterial to possible expressway with the goal of maintaining throughput on Highway 16 as a priority. It was noted that development creates the need to go through this type of planning.

Referencing the conceptual master plan, the proposed golf course and a sample roundabout were discussed. One priority determined in discussion was maintaining a high level of road connections and choices, so travelers on the roads have options. ITD proportionate share for future road intersections was also discussed.

Council Member Wheelock asked with respect to all the driveways in Hillsdale what the opportunity was that ITD would allow for the road to be built before the golf course. Discussion ensued referencing development needs and ITD negotiations. Overall discussion turned to the concept of retiree demographics of those moving to Treasure Valley, and the concept of having a championship level golf course available.

Caleb Lakey noted that COMPASS is the metropolitan planning organization in Canyon County and does not have regulatory authority for transportation or land use, advising that their role is really with the Federal transportation dollars that Canyon County receives and ensuring oversight to determine funding is spent correctly; he noted the County works with the City on where growth will occur.

Discussion continued on long range planning for the area. Mitchell summarized that Willowbrook is looking for a zoning decision and is willing to restrict entitlements to complying one hundred percent with what the agencies come back to the table with, expressing support for Kittleson Associates' analysis that will come back.



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK TRANSPORTATION

City Hall - 10769 W State Street, Star, Idaho

Tuesday, January 25, 2022 at 6:30 PM

Topography of the land throughout the development was summarized, and the applicant representative noted that they will be naturally limited on the dwellings by that topography. Mitchell noted that one of the next phases will be to produce a Traffic Impact Study.

Council Member Salmonsens asked questions about the recent COMPASS model update. Overall discussion summarized the need for the city, agencies, and developers to work together and resolve transportation problems and (where applicable) determine funding sources via a proportionate share agreement.

Mayor Chadwick adjourned the meeting at 8:25pm

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK AGENCY

City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 8, 2022 at 6:30 PM

PUBLIC NOTICE: THIS MEETING WAS A WORKSHOP - NOT A PUBLIC HEARING. PUBLIC TESTIMONY WAS NOT HEARD. THE PUBLIC WAS INVITED TO PARTICIPATE BY OBSERVING THE PROCESS IN PERSON OR ONLINE AT:

https://www.youtube.com/channel/UCkw5PdAcU_RK0rP7MNaLB1A

1. CALL TO ORDER

Mayor Trevor Chadwick called the meeting to order at 6:30 p.m. He welcomed attendees and led the Pledge of Allegiance.

2. ROLL CALL

Present were Mayor Trevor Chadwick, Council President David Hershey, Council Member Kevan Wheelock, Council Member Jennifer Salmonsens, Council Member Kevin Nielsen, City Planner Shawn Nickel, Assistant City Planner Ryan Field, Police Chief Zach Hessing, Middleton School District Mark Gee, West Ada School District Marcy Horner, West Ada School District John Gillin, Nate Mitchell of A+E Construction LLC representing applicant Willowbrook Development Inc., CK Engineering Chad Concella, Idaho Department of Water Resources Nick Miller, Star Sewer & Water District and City of Star Engineer Ryan Morgan, Star Sewer and Water District Hank Day, Star Middleton Fire District Chief Greg Timinsky, Star Middleton Fire District Deputy Chief Victor Islas, Middleton School Trustee Cindy Powell, Star Transportation Committee Chair John Tenson, PIO Dana Partridge, and City Clerk-Treasurer Jacob Qualls.

3. AGENCY WORKSHOP

AGENCY WORKSHOP SUMMARY – WILLOWBROOK

Mayor Chadwick summarized that this evening's workshop would revolve around schools, water/sewer, fire, and police.

Nate Mitchell of Willowbrook provided an overall summary of the project, noting the application was for approximately 1,556 acres of ground that lies basically along the Purple Sage corridor on the west from a half mile west of Kingsbury Road East ending a quarter mile west of Highway 16.

Mitchell reviewed the proposed residential, commercial, and golf course development utilizing a map (see Agenda Packet). Discussion ensued on elementary and middle school needs to support the proposed housing. A challenge noted was the possible long term issues surrounding routing Star school children east for their educations in West Ada School District and noting that Middleton School District is having difficulty getting bonds passed.

The projection noted was 0.5 students per unit in terms of demographics.

An elementary site at Willowbrook was noted as likely being necessary, as well as a bus stop or bus depot to service older students in routing them to an existing area for middle and high school students.



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK AGENCY

City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 8, 2022 at 6:30 PM

The current site in Star for a proposed future high school was mentioned in terms of how the addition of Willowbrook might impact the timeline.

For planning purposes, Nate Mitchell mentioned Willowbrook's hope to start selling lots in 2025.

Discussion moved on to water supply and sewer needs.

Discussion surrounded a collection and treatment sewer system would need to be built and this is already starting with a pressurized lift station which brings wastewater to the current facility to building a new treatment facility at the north end of the district and how to fund the project.

Water rights at Hillsdale and other surrounding neighborhoods were mentioned, as was reuse of treated wastewater for irrigation purposes.

For Fire, it was noted that nine firefighters will be needed to open the fire station across from the LDS church on Floating Feather in 2024.

Future fire and police staffing was discussed, as well as funding via impact fees and having development help pay for growth.

Chief Hessing explained the metrics of officers per thousand. Facilities needs to house fire and police officers geographically were discussed.

First phase of Willowbrook was projected to be completed for 2030.

Mayor Chadwick adjourned the meeting at 8:45pm

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK UTILITIES

City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 22, 2022 at 6:30 PM

PUBLIC NOTICE: THIS MEETING WAS A WORKSHOP - NOT A PUBLIC HEARING. PUBLIC TESTIMONY WAS NOT HEARD. THE PUBLIC WAS INVITED TO PARTICIPATE BY OBSERVING THE PROCESS IN PERSON OR ONLINE AT:

https://www.youtube.com/channel/UCkw5PdAcU_RK0rP7MNaLB1A

1. CALL TO ORDER

Mayor Trevor Chadwick called the meeting to order at 6:30 p.m. He welcomed attendees and led the Pledge of Allegiance.

2. ROLL CALL

Present were Mayor Trevor Chadwick, Council President David Hershey, Council Member Kevan Wheelock, Council Member Jennifer Salmonsens, City Planner Shawn Nickel, Assistant City Planner Ryan Field, City Clerk-Treasurer Jacob Qualls, Public Information Officer Dana Partridge, Star Middleton Fire District Chief Greg Timinsky, Star Transportation and Pathways Committee Chair John Tenson, Engineering Construction Manager of Lumen Brett McKinney, Business Development Manager of Lumen Evan Barnett, Idaho Power representative Paris Dickerson, Nate Mitchell of A+E Construction representing applicant Willowbrook Development Inc. & Twin Islands LLC, Republic Services representatives Bob Olsen, Bob Bennett, and Rachele Klein, Star Postmaster Mel Norton, and Intermountain Gas Company representative Carrie Schmidt.

3. AGENCY WORKSHOP

AGENCY WORKSHOP SUMMARY WILLOWBROOK (UTILITIES)

Mayor Chadwick explained the workshop process and thanked the agencies participating in this early discussion of the planning process. For the purpose of clarity, he noted for attendees that Centurylink is now Lumen.

The purpose of this evening's workshop was to discuss and understand needs for fiber / internet / phone, power, trash / recycling, and mail service.

Chadwick noted that the Fire Chief was again present, this time to discuss the urban interface for fire services.

Nate Mitchell of Willowbrook reviewed the size and scope of the proposed project as he did for the prior workshop meetings, utilizing a map (see Agenda Packet).

Infrastructure needs for running and deploying fiber in Treasure Valley were noted in order to depict various needs for the proposed development.

In terms of electricity, discussion moved to the transmission corridor and determining the best long-term solutions for the grid for resiliency.



CITY COUNCIL SPECIAL MEETING MINUTES WILLOWBROOK UTILITIES

City Hall - 10769 W State Street, Star, Idaho
Tuesday, February 22, 2022 at 6:30 PM

It was noted in 1994 Intermountain Gas put in a four-inch service line on Deep Canyon that follows Deep Canyon from Highway 16 out to Purple Sage, so the only gap is around the Can Ada section (Can Ada/Foothill and Can Ada/Purple Sage was noted) in terms of consideration for potential expansion needed.

For trash / recycling, discussion surrounded two routes being needed. Costs per cart, recycling, and composting were discussed.

Mel Norton the Star Post Master summarized the U.S. Postal Policy surrounding gated communities and talked about the pros and cons of mailbox placement outside the gate versus parcel lockers at the post office. Mail safety and consumer convenience were a topic of discussion, as was the feasibility of placing an annex to serve the area.

Chief Timinsky provided an overview of the challenges faced by the Fire Department in dealing with the wildland urban interface areas such as wildland mitigation. Situations discussed included grass fire versus grass fire with structures.

Fire mitigation for farm/rural, subdivision, and open space was discussed in terms of fire risk and response.

John Tenson gave an overview of the Transportation and Pathways Committee vision of pathways connecting city property up through the development to the BLM parcel.

Discussion ensued on pathways, the golf course, and BLM, as well as issues surrounding foot versus equestrian use relating to Hillsdale.

Mayor Chadwick adjourned the meeting at 7:48pm

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 1 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1802	21607S	31 A-GEM SUPPLY, INC	3,394.18						
1	204 04/04/23	Hunters Creek Camera	1,232.68			10 45110	735		10110
2	04/04/23	Riverhouse Camera/Computer	2,161.50			10 45110	737		10110
		Total for Vendor:	3,394.18						
1785	21608S	20 ADA COUNTY HIGHWAY DISTRICT	280,592.00						
Impact fees from February 2023 and March 2023									
1	04/13/23	ACHD Impact Fee Payment Feb	158,337.00			10 41510	731		10110
2	04/13/23	ACHD Impact Fee Payment Mar	122,255.00			10 41510	731		10110
		Total for Vendor:	280,592.00						
1809	21632S	1067 ANNIE PEW	479.28						
Reimbursement for mileage - IRPA Conference 4/7/23 - 4/9/23. 107 miles x 65.5 cent per mile each way.									
1	04/04/23	Reimbursement Mileage IRP Conf	70.09			10 44022	560		10110
2	04/09/23	Reimbursement Mileage IRP Conf	70.09			10 44022	560		10110
3	04/20/23	Reimburse Staples	189.00			10 101 44022	611		10110
4	04/20/23	Reimburse Sportsman Whse	105.96			10 44022	611		10110
5	04/20/23	Reimburse Walmart	16.60			10 44022	611		10110
6	04/17/23	Reimburse Hobby Lobby	27.54			10 44022	611		10110
		Total for Vendor:	479.28						
1822	21633S	1293 BIG PRODUCTIONS INC	2,200.00						
1	973730 12/27/22	UPS GROUND	350.00		5	10 44021	641		10110
2	973730 12/27/22	Mini Tunnel	1,850.00		5	10 44021	612		10110
		Total for Vendor:	2,200.00						
1821	21634S	1261 CARTER COMFORT SYSTEMS	18,282.00						
1	Q2414 04/19/23	Gas Unit Removal and Install	18,282.00			10 800 45110	741		10110
		Total for Vendor:	18,282.00						
1815	21635S	191 CLOVERDALE NURSERY	128.00						
1	309621 04/18/23	Topsoil Riverhouse	128.00			10 41540	435		10110
		Total for Vendor:	128.00						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 2 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1805	21609S	231 DANA PARTRIDGE	2,455.60						
1	04/14/23	Services Week of April 1	1,120.00			10 41140	351		10110
2	03/17/23	Services Week of April 8	1,335.60			10 41140	351		10110
		Total for Vendor:	2,455.60						
1784	21610S	1321 DEBBIE SEHORN	135.00						
1	04/11/23	Refund - Quilting	135.00			10 44022	698		10110
		Total for Vendor:	135.00						
1743	21611S	302 FATBEAM LLC	1,640.50						
1	33399 04/01/23	Fiber Optic Internet Service	1,640.50			10 41810	419		10110
		Total for Vendor:	1,640.50						
1817	21636S	325 GAMEFACE ATHLETICS	40.00						
1	316423 04/19/23	Tent Weights	40.00			10 41810	599		10110
		Total for Vendor:	40.00						
1789	21612S	1152 GARRETT PARKS AND PLAY	3,000.00						
1	2686 04/22/23	Hunter's Creek Protective Net	3,000.00			10 45110	735		10110
		Total for Vendor:	3,000.00						
1800	21613S	331 GEM STATE PAPER & SUPPLY	1,597.93						
1	3072181 04/13/23	B&G Supplies	1,597.93			10 41540	611		10110
1812	21637S	331 GEM STATE PAPER & SUPPLY	829.45						
1	3072181-01 04/19/23	Trash Container	829.45			10 41540	435		10110
		Total for Vendor:	2,427.38						
1790	21614S	1322 GOLDSTAR PRODUCTS INC	496.92						
1	0077963-IN 03/21/23	Weed Spray Case	496.92			10 41540	435		10110
		Total for Vendor:	496.92						
1814	21638S	1290 GREYLOCH	4,105.38						
1	04/03/23	Cabinetry City Clerk's Office	4,105.38			10 802 45110	741		10110
		Total for Vendor:	4,105.38						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 3 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check Invoice #	Vendor #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1825	21646S	382 IDAHO CENTRAL CREDIT UNION	3,004.71						
1	4825	04/08/23 Chadwick Conferences & Seminar	198.00			10 41810	560		10110
2	4825	04/08/23 Chadwick Grant Writing	495.00			10 44022	560		10110
3	4825	04/07/23 Chadwick SQ City of Nampa	99.00			10 41810	560		10110
4	4825	04/07/23 Chadwick Idaho Press Tribune	18.63			10 41810	611		10110
5	4825	04/07/26 Chadwick SQ City of Nampa	99.00			10 41810	560		10110
17	3463	03/20/23 Qualls Walmart	80.10			10 41810	610		10110
18	3463	03/20/23 Qualls USPS	6.15			10 41810	641		10110
19	3463	03/21/23 Qualls BiMart	5.99			10 41810	610		10110
20	3463	03/21/23 Qualls Amazon (part order)	39.95			10 41510	610		10110
21	3463	03/21/23 Qualls Amazon (part order)	64.76			10 41810	611		10110
22	3463	03/23/23 Qualls Amazon	36.45			10 41810	741		10110
23	3463	03/23/23 Qualls Amazon	134.99			10 41810	741		10110
24	3463	03/24/23 Qualls Staples	88.23			10 41810	611		10110
26	3463	03/29/23 Qualls Remarkable	2.99			10 800 41810	610		10110
27	3463	03/29/23 Qualls Remarkable	2.99			10 802 41810	610		10110
28	3463	03/29/23 Qualls Amazon	256.40			10 802 41810	611		10110
29	3463	04/04/23 Qualls ABC Stamp	122.32			10 41810	611		10110
30	3463	04/06/23 Qualls NFL Flag Order	138.75			10 41810	610		10110
31	3463	04/06/23 Qualls Remarkable	2.99			10 41810	610		10110
32	3463	04/11/23 Qualls USPS	9.65			10 41810	641		10110
33	3463	04/12/23 Qualls USPS	9.65			10 41810	641		10110
34	3463	04/13/23 Qualls USPS	9.65			10 41810	641		10110
36	3463	04/14/23 Qualls Amazon	636.67			10 850 45110	741		10110
37	3463	04/14/23 Qualls Remarkable Oslo	2.99			10 41810	610		10110
43	3463	04/14/23 Qualls USPS	9.65			10 41810	641		10110
45	3463	04/17/23 Qualls USPS	9.65			10 41810	641		10110
50	3463	04/18/23 Qualls USPS	9.65			10 41810	641		10110
59	3463	04/18/23 Qualls USPS	9.65			10 41810	641		10110
60	3463	04/18/22 Qualls USPS	9.65			10 41810	641		10110
61	3463	04/19/23 Qualls Remarkable	2.99			10 41810	610		10110
62	3463	04/19/23 Qualls USPS	9.65			10 41810	641		10110
63	3463	03/28/23 Qualls Amazon	-188.99			10 41810	610		10110
64	3463	03/29/22 Qualls Int'l Transaction Fee	0.02			10 41810	610		10110
65	3463	03/29/22 Qualls Int'l Transaction Fee	0.02			10 41810	610		10110
67	3463	04/06/23 Qualls Int'l Transaction Fee	0.02			10 41810	610		10110

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 4 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
69	3463 04/14/23	Qualls Int'l Transaction Fee	0.02			10 41810	610		10110
70	3463 04/19/23	Qualls Int'l Transaction Fee	0.02			10 41810	610		10110
72	6074 03/23/23	Little Grainger	97.74			10 800 45110	431		10110
73	6074 03/23/23	Little Home Depot	44.14			10 800 45110	431		10110
74	6074 03/31/23	Little Tacoma Screw	138.38			10 41540	431		10110
75	6074 04/02/23	Little Home Depot	26.41			10 41540	431		10110
76	6074 04/04/23	Little Home Depot	35.97			10 41540	741		10110
77	6074 04/06/23	Little Home Depot	40.17			10 41540	735		10110
78	6074 04/12/23	Little Chevron	32.02			10 41540	626		10110
79	6074 04/12/23	Little Maverik	61.45			10 41540	626		10110
80	6074 04/12/23	Little Maverik	60.24			10 41540	626		10110
81	6074 04/12/23	Little Burger King	15.97			10 41540	610		10110
82	6074 04/13/23	Little Tacoma Screw	18.92			10 41540	431		10110
Total for Vendor:			3,004.71						
1807	21615S 398	IDAHO POWER COMPANY	3,038.16						
1	0033022594 04/13/23	1000 S MAIN ST / PUMP	16.98			10 41540	412		10110
2	0033022589 04/13/23	10769 W STATE ST / CITY HA	504.71			10 41810	412		10110
3	0033022563 04/13/23	10775 W STATE ST / STAR OU	84.26			10 41810	412		10110
4	0033022576 04/13/23	11225 W BLAKE DR / BLAKE P	227.68			10 41540	412		10110
5	0033157130 04/13/23	11380 W HIDDEN BROOK	16.78			10 41540	412		10110
6	0033207654 04/13/23	11665 W STATE ST A	162.49			10 41540	412		10110
7	0033207655 04/13/23	11665 W STATE ST A1	177.47			10 41540	412		10110
8	0033022554 04/13/23	1250 N STAR RD / HUNTERS P	32.21			10 41540	412		10110
9	0033022592 04/13/23	1300 N STAR RD / HC ENTRY	248.17			10 41540	412		10110
10	0033022572 04/13/23	1310 N LITTLE CAMAS / SHOP	158.32			10 41540	412		10110
11	0033022587 04/13/23	1500 N STAR RD	473.66			10 41540	412		10110
12	0033075641 04/13/23	HIGHBROOK / HWY 44 STRT LI	39.53			10 41810	413		10110
13	0030204591 04/13/23	HUNTER'S CREEK STRT LIGHTS	13.91			10 41810	413		10110
14	0033022596 04/13/23	BLAKE SPRINKLER ELECT	3.48			10 41540	412		10110
15	0033022580 04/13/23	STATE/PLUMMER STRT LIGHTS	9.70			10 41810	413		10110
16	0033022584 04/13/23	STRT LIGHTS STAR	400.86			10 41810	413		10110
17	0030204606 04/13/23	STRT LIGHTS / BLAKE PARK	16.26			10 41810	413		10110
18	0032863989 04/12/23	960 S MAIN ST	382.66			10 41810	412		10110
19	0032863988 04/12/23	960 S MAIN ST	29.03			10 41810	412		10110
20	04/13/23	Adjustments	40.00			10 41810	412		10110
Total for Vendor:			3,038.16						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 5 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1813	21639S	399 IDAHO PRESS TRIBUNE	495.90						
1	33416	04/19/23 Legal/Pub Notice PH 5/9/23	122.97			10 41510	530		10110
2	33348	04/16/23 Legal/Pub Notice PH 5/2/23	95.52			10 41510	530		10110
3	33347	04/16/23 Legal/Pub Notice PH 5/2/23	99.18			10 41510	530		10110
4	33346	04/16/23 Legal/Pub Notice PH 5/2/23	91.86			10 41510	530		10110
5	33345	04/16/23 Legal/Pub Notice PH 5/2/23	86.37			10 41510	530		10110
		Total for Vendor:	495.90						
1799	21616S	1326 IDAHO TRANSPORTATION DEPARTMENT	23.00						
1	04/14/23	Exempt License Plates	23.00			10 41810	431		10110
		Total for Vendor:	23.00						
1792	21617S	1323 J.P. COOKE CO	99.70						
1	776816	04/14/23 Dog License Tags	99.70			10 41810	699		10110
		Total for Vendor:	99.70						
1820	21640S	1328 JON C IRBY LANDSCAPING LLC	252.00						
1	21186	04/20/23 Black Eyed Susan	84.00		14	10 613 45130	586		10110
2	21186	04/20/23 Nepeta	84.00		14	10 613 45130	586		10110
3	21186	04/20/23 Snowcap Daisy	84.00		14	10 613 45130	586		10110
		Total for Vendor:	252.00						
1819	21641S	502 KEELY ELECTRIC	115.00						
1	20-1971	04/18/23 Outlets Clerk's Office	115.00			10 802 45110	741		10110
		Total for Vendor:	115.00						
1810	21642S	515 KIM INGRAHAM	800.00						
1	Reimburse	04/17/23 Fit and Fall Trainer Refres	800.00			10 44022	560		10110
		Total for Vendor:	800.00						
1804	21618S	537 LES SCHWAB	635.92						
1	*45494	03/16/23 4 Tires for Kubota	635.92			10 41540	437		10110
		Total for Vendor:	635.92						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 6 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1795	21619S	1325 LORETTA WATSON	77.18						
1	04/07/23	Refund Sports Warm Up	77.18			10 44021	698		10110
		Total for Vendor:	77.18						
1823	21643S	583 MASTERCARD	393.56						
2	03/15/23	Qualls Skynova	15.00			10 41810	550		10110
5	03/21/23	Qualls Remarkable Oslo	2.99			10 41810	610		10110
6	03/21/23	Qualls Remarkable Oslo	2.99			10 41810	610		10110
7	04/07/23	Qualls Walmart	81.62			10 41810	699		10110
8	04/07/23	Qualls Skate Stoppers	290.96			10 701 45110	735		10110
		Total for Vendor:	393.56						
1801	21620S	686 PORTAPROS LLC	270.80						
1	121435K-1	04/13/23 Dog Park	270.80			10 41540	411		10110
		Total for Vendor:	270.80						
1806	21621S	707 REPUBLIC SERVICES INC	731.36						
1	001310050	03/31/23 Hunters Creek Park	331.68			10 41540	411		10110
2	001310347	03/31/23 Star River Access 1000 S Ma	81.34			10 41540	411		10110
3	001310397	03/31/23 River Park 1000 S Main St	110.78			10 41540	411		10110
7	001313925	03/31/23 Star City Hall	121.24			10 41540	411		10110
8	001314338	03/31/23 Blake Haven Park	86.32			10 41540	411		10110
		Total for Vendor:	731.36						
1828	21647S	721 ROBERT P LITTLE	4,402.50						
April	2023	Contracted Services							
1	116180	03/15/23 B&G Contracted Services	4,660.00			10 41540	351		10110
2	Life Insur	03/15/23 Life Insurance	-203.50			10 41540	215		10110
3	Vision Ins	03/15/23 Spousal Vision Insruance	-13.00			10 41540	211		10110
4	Dental Ins	03/15/23 Spousal Dental Insurance	-41.00			10 41540	212		10110
		Total for Vendor:	4,402.50						
1796	21622S	725 ROCKY MOUNTAIN ROLL	7,902.96						
1	03/30/23	Stage/Sound for Hometown	7,902.96			10 41810	597		10110
		Total for Vendor:	7,902.96						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 7 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1794	21623S	727 RON WESTON	52.94						
1	04/01/23	Reimbursement Ridleys	29.64			10 44021	612		10110
2	04/02/23	Reimbursement Dicks Sporting G	23.30			10 44021	612		10110
		Total for Vendor:	52.94						
1787	21624S	777 SILVER CREEK SUPPLY	1,043.34						
1	*1823-001	04/07/23 B&G Supplies	601.79			10 41540	435		10110
2	*1338-001	04/06/23 B&G Supplies	441.55			10 41540	435		10110
		Total for Vendor:	1,043.34						
1811	21644S	794 SPARKLIGHT	738.51						
1	ACCT 2476	03/27/23 City of Star	335.00			10 41810	419		10110
2	ACCT 4171	03/27/23 City of Star Suite 100	109.91			10 41810	419		10110
3	ACCT 3712	03/27/23 Hunter's Creek Park	105.93			10 41540	419		10110
4	ACCT 3481	03/27/23 City Hall	174.91			10 41810	419		10110
5	ACCT 1215	03/16/23 Residential	12.76			10 41810	419		10110
		Total for Vendor:	738.51						
1793	21625S	1324 STEPHANIE COMNICK	25.72						
1	04/07/23	Refund NFL Gloves	25.72			10 44021	698		10110
		Total for Vendor:	25.72						
1783	21626S	885 TIMOTHY JAMERSON	25.00						
1	04/12/23	Refund - NFL Training	25.00			10 44021	698		10110
		Total for Vendor:	25.00						
1826	21584S	1329 TITLEONE: TEN MILE	10,000.00						
DOWNPAYMENT ON 946 S MAIN STREET PURCHASE									
1	04/06/23	DOWNPAYMENT ON 946 S MAIN	10,000.00			10 45110	752		10110
1827	-99887E	1329 TITLEONE: TEN MILE	537,488.28						
BALANCE FOR 946 S MAIN STREET PURCHASE									
1	04/19/23	BALANCE 946 S MAIN	537,488.28			10 45110	752		10110
		Total for Vendor:	547,488.28						

04/27/23
10:41:30

CITY OF STAR
Claim Details by Posted Date
For Claims from 04/08/23 to 04/27/23

Page: 8 of 8
Report ID: AP100V

Section 5, Item A.

* ... Over spent expenditure

Claim/ Line #	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
1818	21645S	898 TREASURE VALLEY COFFEE	186.00						
2	09065897	04/11/23 Ciity Hall Coffee and Water	186.00			10 41810	611		10110
		Total for Vendor:	186.00						
1788	21627S	1054 TURF EQUIPMENT & IRRIGATION INC	100.00						
1	764097-00	04/10/23 Service School	100.00			10 41540	560		10110
		Total for Vendor:	100.00						
1798	21628S	1295 VALLEY OFFICE SYSTEMS	165.20						
1	AR1148257	02/17/23 Monthly Lease - Copier	165.20			10 41810	610		10110
		Total for Vendor:	165.20						
1803	21629S	930 VALLEY WIDE COOP	1,709.07						
1	C20378	03/28/23 Credit	-13.78			10 41540	626		10110
2	A59730	02/24/23 Fuel	1,722.85			10 41540	626		10110
		Total for Vendor:	1,709.07						
1808	21630S	935 VERIZON WIRELESS	964.53						
		Charges for 18 Phone Lines and 1 Jetpack							
1	9931497685	04/01/23 Montly Cell Phone Charge	964.53			10 41810	416		10110
1		Total for Vendor:	964.53						
1786	21631S	962 XEROX	123.98						
		Meter Read from 02/21/23 - 03/21/23							
1	018564242	04/01/23 Black Prints	7.43			10 41810	742		10110
2	018564242	04/01/23 Color Prints	116.55			10 41810	742		10110
		Total for Vendor:	123.98						
		# of Claims	43	Total:	894,241.56	# of Vendors	41		
		Total Electronic Claims		537,488.28					
		Total Non-Electronic Claims		356753.28					

** This report runs by Claim Posted Date, which is a system generated field that always shows the date on which the Claim was actually posted in the system. If a Claim was cancelled and re-posted, the posted date will show as of the date it was re-posted. **



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn J. Mink*

MEETING DATE: May 2, 2023

FILE(S) #: FP-23-02 Final Plat, Moon Valley Subdivision Phase 7

REQUEST

The Applicant is requesting approval of the Final Plat for Moon Valley Subdivision Phase 7 which is approximately 8.19 acres, consisting of 21 residential lots and 4 common lots. The property is zoned Mixed Use (MU-DA).

The subject property is located at 7575 W. Moon Valley Road in Star, Idaho. Ada County Parcel No's. S0416131760, S0416131770 & S0416417400.

APPLICANT/OWNER/REPRESENTATIVE

REPRESENTATIVE

Wendy Shrief
JUB Engineers
2760 W. Excursion Lane, Ste. 400
Meridian, Idaho 83642

APPLICANT

M-3 ID Moon Valley, LLC
1673 Shoreline Drive, Ste. 200
Boise, ID 83702

PROPERTY INFORMATION

Land Use Designation - Mixed Use (M-U)

Phase 7

Acres - 8.19
Residential Lots - 21
Common Lots - 4
Commercial - 0

HISTORY

The property was annexed into the City of Star and zoned Commercial (C1), Mixed Use (MU), Limited Office (LO) and Residential (R2) all with a development agreement on July 7, 2009. On April 16, 2019, the Council approved a Comprehensive Plan Map Amendment to Mixed Use, a Rezone to Mixed Use (MU), a Development Agreement Modification to allow waivers to the design standards of the Unified Development Code, a Conditional Use Permit to allow residential uses in the Mixed-Use zone and limited gravel crushing as part of the creation of the pond amenities, and approval of a Preliminary Plat for Moon Valley Subdivision.

On November 19, 2019, City Council approved Phase 1 of Moon Valley Subdivision.

On March 17, 2020, City Council approved Phase 2 of Moon Valley Subdivision.

On June 16, 2020, City Council approved a Preliminary Plat for Moon Valley Commons Subdivision, modifying portions of the original Preliminary Plat and adding additional area.

On December 1, 2020, City Council approved the Final Plat (FP-20-21) Phase 3 of Moon Valley Subdivision.

On June 1, 2021, City Council approved the Final Plat (FP-20-21), Phase 4/5 of Moon Valley Subdivision.

On May 3, 2022, City Council approved the Final Plat (FP-21-32), Phase 6 of Moon Valley Subdivision.

GENERAL DISCUSSION

The Final Plat layout for Phase 7 complies with the approved Preliminary Plat of Moon Valley Commons and the original revised Moon Valley Subdivision.

This subdivision is located in a special flood hazard zone per FEMA FIRM panel #16027C0300f and 16601C0140 H. Base flood elevation in AE zone is 2496-2493 All floodway issues and permits shall be completed prior to signature of the final plat.

Specific setbacks, as discussed and agreed upon by staff and the applicant, and as approved by the City Council in the Development Agreement to include the following:

Single Family Residential Setbacks. Notwithstanding anything in the Development Agreement or in Star City Code to the contrary, the setbacks for single-family residential lots within any of the real property encumbered by the Development Agreement shall be, as follows:

Residential Setbacks		
Less than 5,000 SF, Multi-Family, or Attached		
	Front	N/A
	Rear	N/A
	Side	N/A
	Street Side	N/A
Cluster Lot Setback (4 lot cluster on shared driveway)		
	Front (to street)	10 feet
	Rear	10 feet
	Side (interior)	5 feet
	To Common Drive	3 feet
5,000 SF - 12,000 SF		
	Front	10 feet to living or side load garage, 20 feet to garage door
	Rear	20 feet
	Side	5 feet
	Street Side	12 feet
Greater than 12,000 SF		
	Front	15 feet to living or side load garage, 25 feet to garage door
	Rear	30 feet
	Side	5 feet single story/ 7.5 feet if 2 story element is more than 50% of side
	Street Side	15 feet

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

The Preliminary Plat consists of 267 single family residential lots, 22 common lots, 8 driveway lots and one private road lot. The common area is approximately 62.15 acres or 42.8% of the overall property. Lot sizes range from the smallest at 5,454 sq. ft. to the largest at 34,727 sq. ft., with the average lot size at 10,202 square feet, creating a density of 1.84 dwelling units per acre. The main access point for this development will come from one main access point from W. Moon Valley Road at S. Blue Moon Avenue. There are two emergency access roads planned, one to the west of the property and one on the eastern side of the property.

- Private Streets
All private streets shall be built to ACHD roadway standards and shall be constructed to a minimum of 33 feet of improved width.
- Blocks Lengths exceeding 500'
The Applicant has received a waiver of the block length requirement for this development.
- Sidewalks
Sidewalks are proposed at five-foot (5') widths and will be detached throughout the development.
- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development.
- Street Names
Street names will be approved by the Ada Street Naming Committee prior to signature of final plat.
- Mailbox Clusters
The City of Eagle, Idaho Postmaster has provided approval for the mail clusters in a previous phase.
- The Council voted unanimously to approve the Comprehensive Plan Map Amendment to Mixed Use, the Rezone to Mixed Use (MU), the Development Agreement Modification to allow waivers to the design standards of the Unified Development Code, the Conditional Use Permit to allow residential uses in the Mixed Use zone and limited gravel crushing as part of the creation of the pond amenities, and approval of the Preliminary Plat for Moon Valley Subdivision on June 4, 2019.
 - Site Specific Conditions of Approval included the following:
 1. The applicant shall provide public access to the greenbelt from Highway 44 to the river by means of a permanent access easement. The easement(s) shall be recorded and provided to the City prior to approval of the final plat.

- Staff analysis of Final Plat Submittal:**

Streetlights – Streetlight plan/design specifications were submitted a part of Phase 1 final plat approval. Streetlights should be consistent throughout the development.

Notifications of this application were sent to agencies having jurisdiction on March 23, 2023.

City of Star Engineer

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

Council finds that all public services are available and able to accommodate this development.

D. The development will not be detrimental to the public health, safety or general welfare; and,

Council finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.

E. The development preserves significant natural, scenic or historic features.

Council finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

1. The final plat for Moon Valley Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **Prior to construction in any Floodplain or Floodway area the applicant shall meet all requirements of the City Flood Administrator, IDWR and FEMA regarding approval of CLOMR, Hydrology Analysis and No-Rise Certifications.**
3. **Applicant/Owner shall install conduit in the shared utility trench to be used for fiber at a later date. The conduit shall be a minimum of 2-inch diameter or larger to accommodate the needs of the development.**
4. All approvals relating to floodplain/floodway issues and requirements shall be completed and approved by the City Flood Administrator **prior to signature of the final plat.**
5. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
6. **Should any substantial changes be made to this plat, including new phasing, the application may be subject to new Council approval.**
7. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
8. Mylar's/final plats must include the statement supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45.
9. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
10. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
11. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
12. All common areas shall be maintained by the Homeowners Association.
13. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. Streetlights shall be installed prior to any building occupancy. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
14. Street trees shall be installed per Unified Development Code Standards for Street Trees.
15. A form signed by the Star Sewer & Water District shall be submitted to the City **prior to signature of the final** stating that all conditions have been met.
16. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs,

starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**

- 17. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 18. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 19. **Prior to signature of the final plat**, written approval from Boise River Flood Control District #10 shall be provided to the City stating that recordation of necessary maintenance and access easements have been completed, if applicable.
- 20. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
- 21. A sign application is required for any subdivision sign.
- 22. Any additional Condition of Approval as required by Staff and City Council.

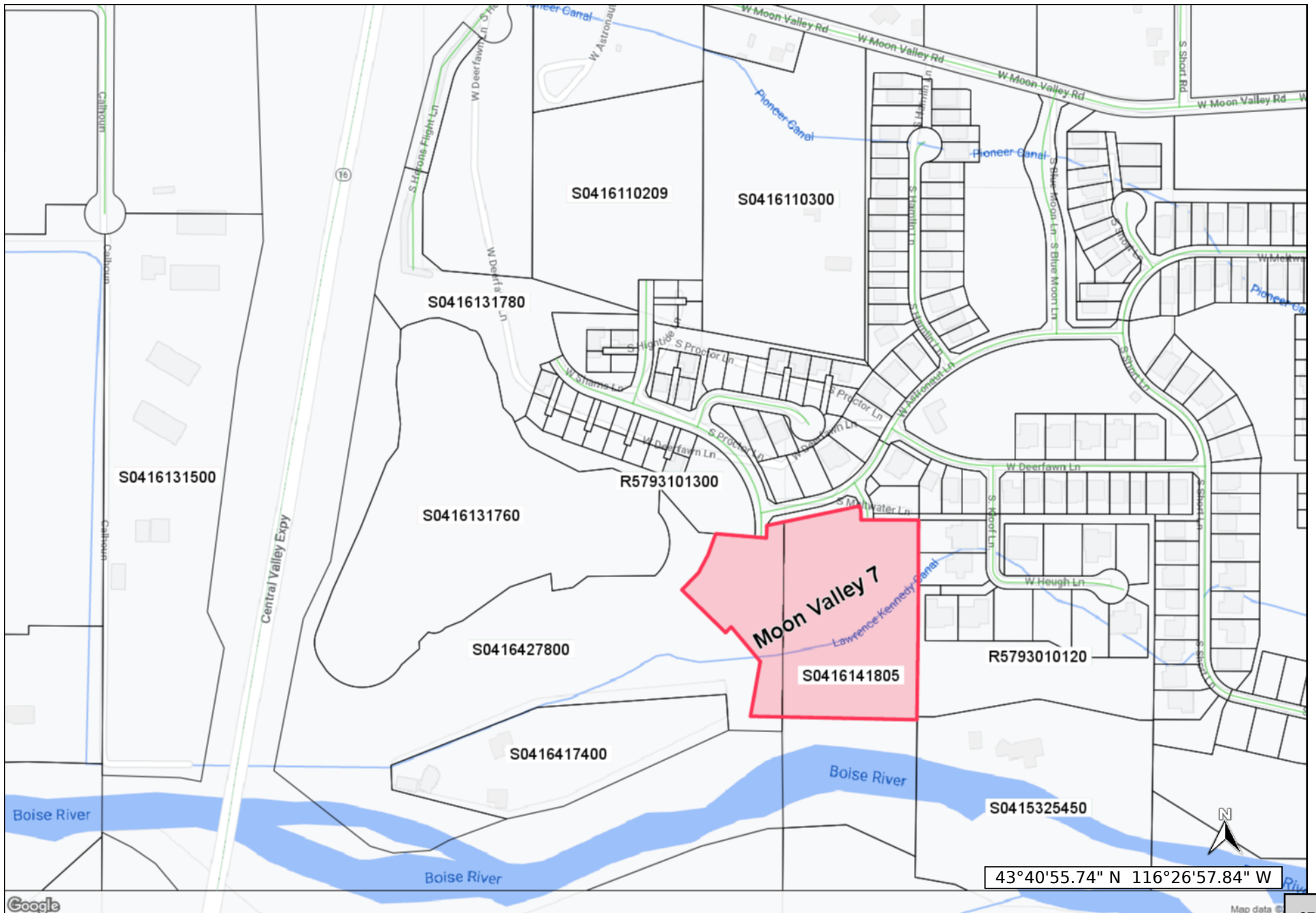
COUNCIL DECISION

The Star City Council _____ File # FP-23-02 Moon Valley Subdivision, Final Plat, Phase 7
on _____, 2023.



landproDATA PDF

Section 5, Item B.





FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-23-02
Date Application Received: 03-08-2023 Fee Paid: \$3200
Processed by: City: Barbara Norgrove

Applicant Information:

PRIMARY CONTACT IS: Applicant ☒ Owner ☐ Representative ☐

Applicant Name: J-U-B Engineers, Inc - Wendy Shrief
Applicant Address: 2760 W Excursion Lane, Ste 400 | Meridian, ID Zip: 83642
Phone: (208)376-7330 Email: wshrief@jub.com

Owner Name: See Attached
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):

Contact: Mark Tate Firm Name: M3 companies
Address: 1673 Shoreline Dr, Ste 200 | Boise, ID Zip: 83702
Phone: (208) 939-6263 Email: mtate@m3companiesllc.com

Property Information:

Subdivision Name: Moon Valley Subdivision Phase: No 7

Parcel Number(s): S0416131760, S0416131770, S0416417400

Approved Zoning: MU-DA Units per acre: 2.56

Total acreage of phase: 8.19 Total number of lots: 25

Residential: 21 Commercial: 0 Industrial: 0

Common lots: 1 Total acreage of common lots: .10 Percentage: 100 % w/o Pond

Percent of common space to be used for drainage: 0 % Acres: 0

Special Flood Hazard Area: total acreage 8.19 number of homes 21

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>93</u>	<u>21</u>
Number of Common Lots:	<u>9</u>	<u>1</u>
Number of Commercial Lots:	<u>1</u>	<u>0</u>
Roads:		<u>1 Shared driveway lot</u>
		<u>2 Private roadway lots</u>

Amenities: Clubhouse and Pool

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision Name: Moon Valley Subdivision Phase: No 7

Special Flood Hazard Area: total acreage 8.19 number of homes 21

- A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0140J
 FIRM effective date(s): mm/dd/year 6/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Regulatory Floodway, AE, X
 Base Flood Elevation(s): AE .0 ft., etc.: 2490.65 ft
- Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (✓)	Description	Staff (✓)
X	Completed and signed copy of Final Plat Application	
Paid ✓ Previously	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> Gross density of the phase of the Final Plat submitted Lot range and average lot size of phase Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities List any specific approved building setbacks previously approved by Council. 	
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
X	One (1) 11" X 17" paper copy of the Final Plat	
X	Electronic copy of the Final landscape plan**	

X	One (1) 11" X 17" copy of the Final landscape plan	Section 5, Item B.
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight design and location information	
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
N/A	Electronic copy of all easement agreements submitted to the irrigation companies	
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.	
X	Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance: <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
X	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature

2/3/23
 Date

Line Table		
Line #	Direction	Length
L1	N86°50'56"E	61.21'
L2	S00°45'05"W	179.80'
L3	N88°29'03"E	161.24'
L4	S89°52'50"E	53.25'
L5	S62°22'53"E	17.26'
L6	N76°37'43"W	37.06'
L7	S80°03'57"E	156.38'
L8	S71°32'00"W	222.35'
L9	S61°42'20"W	252.98'
L10	N88°28'23"W	157.78'
L11	N73°16'53"W	122.68'
L12	S00°56'49"W	53.65'

Line Table		
Line #	Direction	Length
L13	S88°19'01"E	27.36'
L14	S69°48'37"E	123.04'
L15	S23°52'54"E	142.15'
L16	S09°29'29"E	92.16'
L17	S33°50'44"E	49.99'
L18	S29°28'34"E	66.43'
L19	S48°25'36"E	55.40'
L20	S56°13'59"E	60.61'
L21	S74°27'58"E	112.81'
L22	S88°59'55"E	24.08'
L23	N06°06'18"E	209.06'

SHEET INDEX

SHEET NUMBER	SHEET TITLE
--------------	-------------

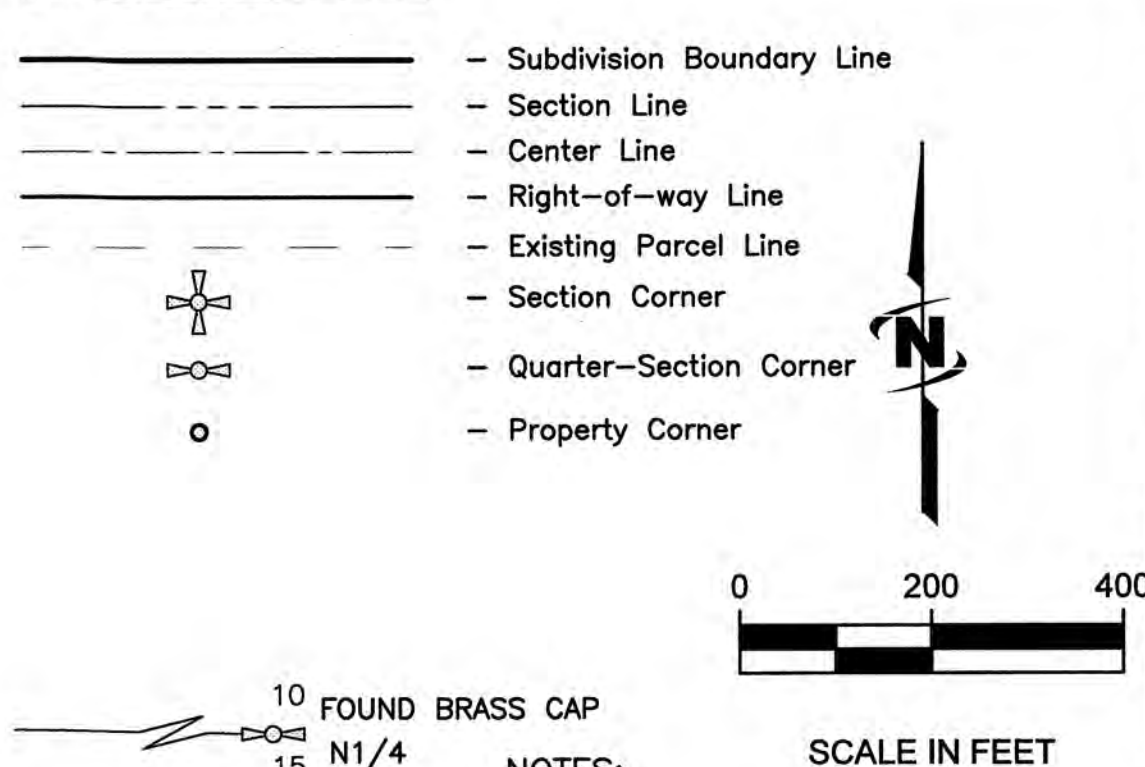
PP-01 BOUNDARY AND PROJECT INFORMATION
PP-02 EXISTING CONDITIONS
PP-03 PROPOSED CONDITIONS
PP-04 PROPOSED CONDITIONS
PP-05 PROPOSED CONDITIONS
PP-06 SEWER LINE LOCATION PLAN
PP-07 12 in SEWER LINE PROFILES
PP-08 SEWER LINES E, F, G, PROFILES
PP-09 SEWER LINES B, D, L SEWER PROFILES
PP-10 SEWER LINES A, C, H, I, J, SEWER PROFILES
PP-11 SEWER LINES L, N, SEWER PROFILES
GR-01 CONCEPTUAL GRADING AND DRAINAGE
PH-01 PHASING PLAN

PRELIMINARY PLAT FOR MOON VALLEY SUBDIVISION

SITUATED IN WEST HALF OF SECTION 15 AND THE EAST HALF OF SECTION 16
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,

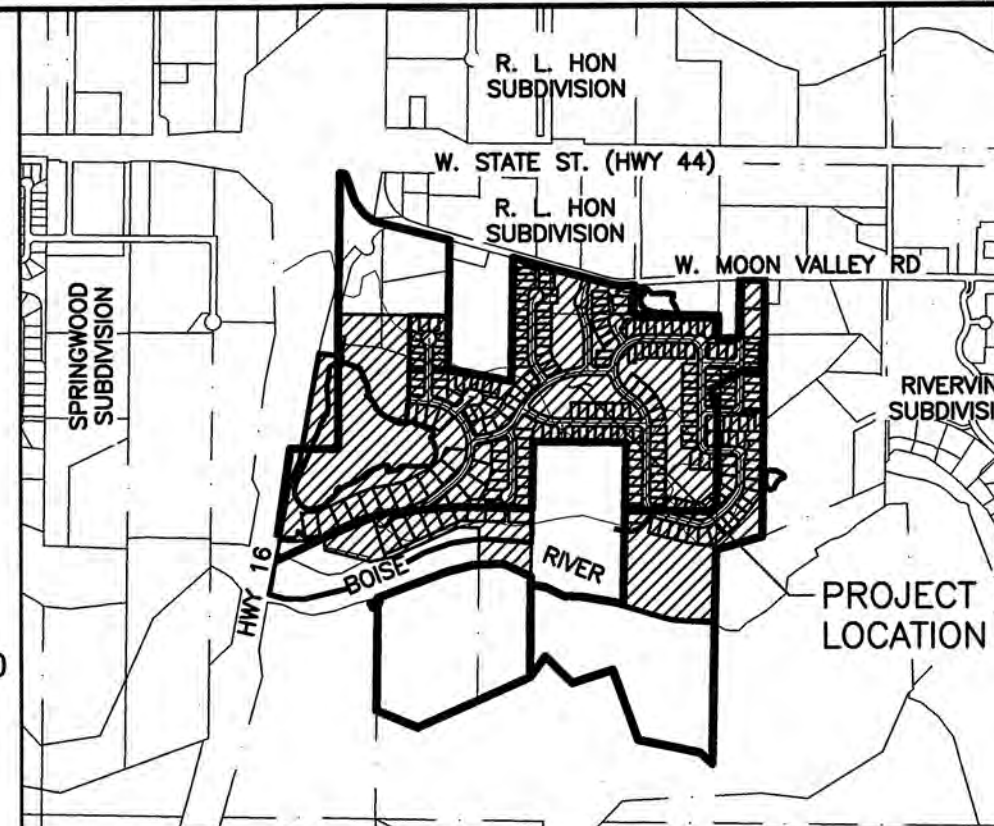
STAR, ADA COUNTY, IDAHO
2019

BOUNDARY LEGEND



VICINITY MAP

SCALE: 1"=800'



NOTES:

1. CONTOUR AND SPOT ELEVATION DATA IS REFERENCED TO NAVD '88 DATUM. SCALE: 1"=800'
2. ALL STREETS PROPOSED IN THIS DEVELOPMENT ARE PRIVATE STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA COUNTY HIGHWAY DISTRICT (AHD) STANDARDS FOR PUBLIC STREETS WITH A MINIMUM GRADIENT OF 0.40%.
3. ALL LOTS ARE RESIDENTIAL BUILDING LOTS EXCEPT LOTS 2, 33, 42, 57, 61, 76, 80, 85, 108, 118, 129, 133, 141, 169, 217, 224, 233, 243, 252, 277, 279, and 289, BLOCK 1, WHICH ARE COMMON AREA/DRAINAGE STORAGE LOTS. LOT 1, BLOCK 1 IS A PRIVATE ROAD. LOTS 17, 47, 97, 115, 244, 258, AND 278, BLOCK 1 ARE SHARED DRIVEWAY LOTS.
4. STORMWATER RUN-OFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
5. PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
6. THIS SUBDIVISION WILL RECEIVE PRESSURIZED IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
7. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
8. DOMESTIC AND FIRE PROTECTION WATER SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
9. SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
10. IRRIGATION DITCHES THROUGH THE PROJECT SHALL BE PIPED WHERE THEY CROSS ROADWAYS WITH ALL STRUCTURES LOCATED BEYOND ANY PUBLIC RIGHT-OF-WAY.
11. LANDSCAPED COMMON LOTS ARE LOCATED THROUGHOUT THE PROJECT AND ARE IDENTIFIED ON THE PLAN. THESE LOTS SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
12. BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR STANDARDS IN EFFECT AT THE TIME OF DEVELOPMENT.
13. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
14. THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
15. A STORMWATER DRAINAGE EASEMENT SHALL BE RESERVED ON THE DRAINAGE LOTS. LANDSCAPING OVER SAID LOTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND ACHD SHALL PROVIDE HEAVY MAINTENANCE OF THE STORM DRAINAGE FACILITIES AS DEFINED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR MOON VALLEY SUBDIVISION.
16. THIS PROPERTY HAS PORTIONS LOCATED IN ZONE X AND ZONE AE OF THE FLOOD INSURANCE RATE MAP NO. 16001C0130 H, COLUMBIA COUNTY PANEL NO. 0130 H, AND PORTIONS LOCATED IN ZONE X, ZONE AE, AND ZONE AE FLOODWAY OF MAP NO. 16001C0140 H, COLUMBIA COUNTY PANEL NO. 0140 H WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 19, 2003 AND IS IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

EXISTING	LEGEND	PROPOSED
— S ————	SANITARY SEWER LINE	— S ———— S ————
— W ————	WATER LINE	— W ———— W ————
— GR ———— GR ————	GRAVITY IRRIGATION PIPE	— GR ———— GR ————
— PIR ———— PIR ————	PRESSURE IRRIGATION LINE	— PIR ———— PIR ————
— SD ———— SD ———— SD ————	STORM DRAIN LINE	— SD ———— SD ———— SD ————
—————	CENTERLINE	—————
—————	LOT LINE	—————
=====	6" VERTICAL CURB & GUTTER	=====
=====	ROLLED CURB & GUTTER	=====
=====	5' SIDEWALK	=====
⊙	SEWER MANHOLE	○
—————	DITCH FLOW LINE	—————
—————	IRRIGATION MANHOLE	○
☀	STREET LIGHT	☀
⊙	TREE DECIDUOUS	☀
☀	TREE CONIFER	☀
— P ———— P ———— P ————	EDGE OF PAVEMENT	—————
—————	GAS LINE	—————
—————	FENCE LINE	—————
⊙	FIRE HYDRANT	⊙
— 2650 ————	5' CONTOUR LINE	—————
— 2651 ————	1' CONTOUR LINE	—————

IRRIGATION DISTRICT

LITTLE PIONEER DITCH CO.
PO BOX 70
STAR, ID 83669

LAND SURVEYOR

ROBERT L. KAZARINOFF, P.L.S.
J-U-B ENGINEERS
250 S. BEECHWOOD AVE. STE.
201
BOISE, ID 83709
208-376-7330

CIVIL ENGINEER


SCOTT WONDERS, P.E.
J-U-B ENGINEERS
250 S. BEECHWOOD AVE.
STE. 201
BOISE, ID 83709
208-376-7330

DEVELOPER

M3 COMPANIES
1087 W. RIVER STREET
SUITE 310
BOISE, ID 83702
MARK TATE 208-939-6263

LAND USE SUMMARY (SEE BOUNDARY NOTE)

TOTAL AREA:	145.08 AC.
TOTAL LOTS:	298 LOTS
RESIDENTIAL LOTS:	267 LOTS
COMMON AREA LOTS:	22 LOTS
COMMON DRIVEWAY LOTS:	8 LOTS
PRIVATE ROAD LOT:	1 LOT
RESIDENTIAL DENSITY:	1.84 DU/AC
COMMON AREA	62.15 AC. (42.8%)
QUALIFIED OPEN SPACE	60.85 AC. (41.9%)
AVERAGE LOT SIZE:	10,202 S.F.
SMALLEST LOT:	5,454 S.F.
EXISTING ZONE:	MU, R-2

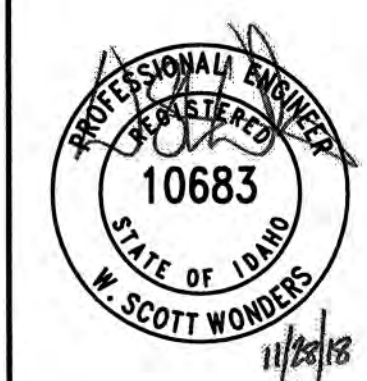


J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.

U-B ENGINEERS, INC.
250 S. Beechwood Ave.
Suite 201
Boise, ID 83709-0944

Phone: 208.376.7330
www.iub.com



REUSE OF DRAWINGS
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF J-J-B ENGINEERS, Inc. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF J-J-B ENGINEERS, Inc.

MOON VALLEY SUBDIVISION
STAR, ADA COUNTY, IDAHO

PRELIMINARY PLAT
BOUNDARY AND PROJECT INFORMATION

FILE: 10-18-046_PRE-PLAT

JUB PROJ. #: 10-18-046

DRAWN BY: ---

CHECKED BY: _____

ONE INCH

AT FULL SIZE, IF NOT C

INCH. SCALE ACCORD
LAST UPDATED: 11/28/2018

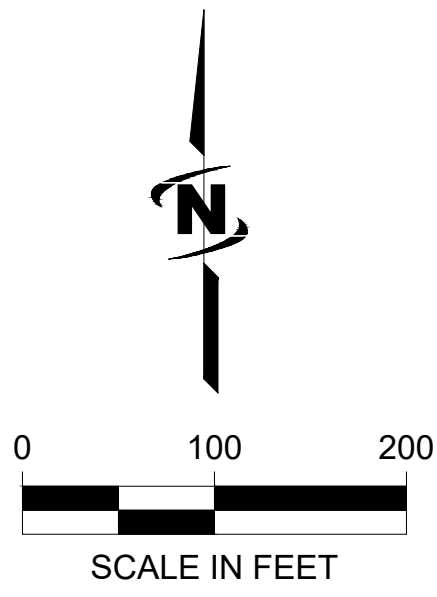
SHEET NUMBER:

SHEET NUMBER:

PP-01

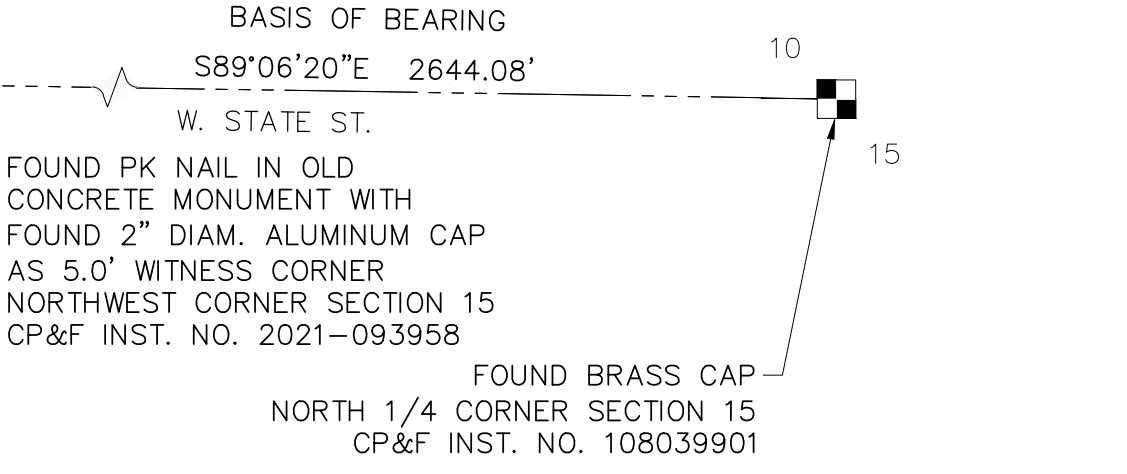
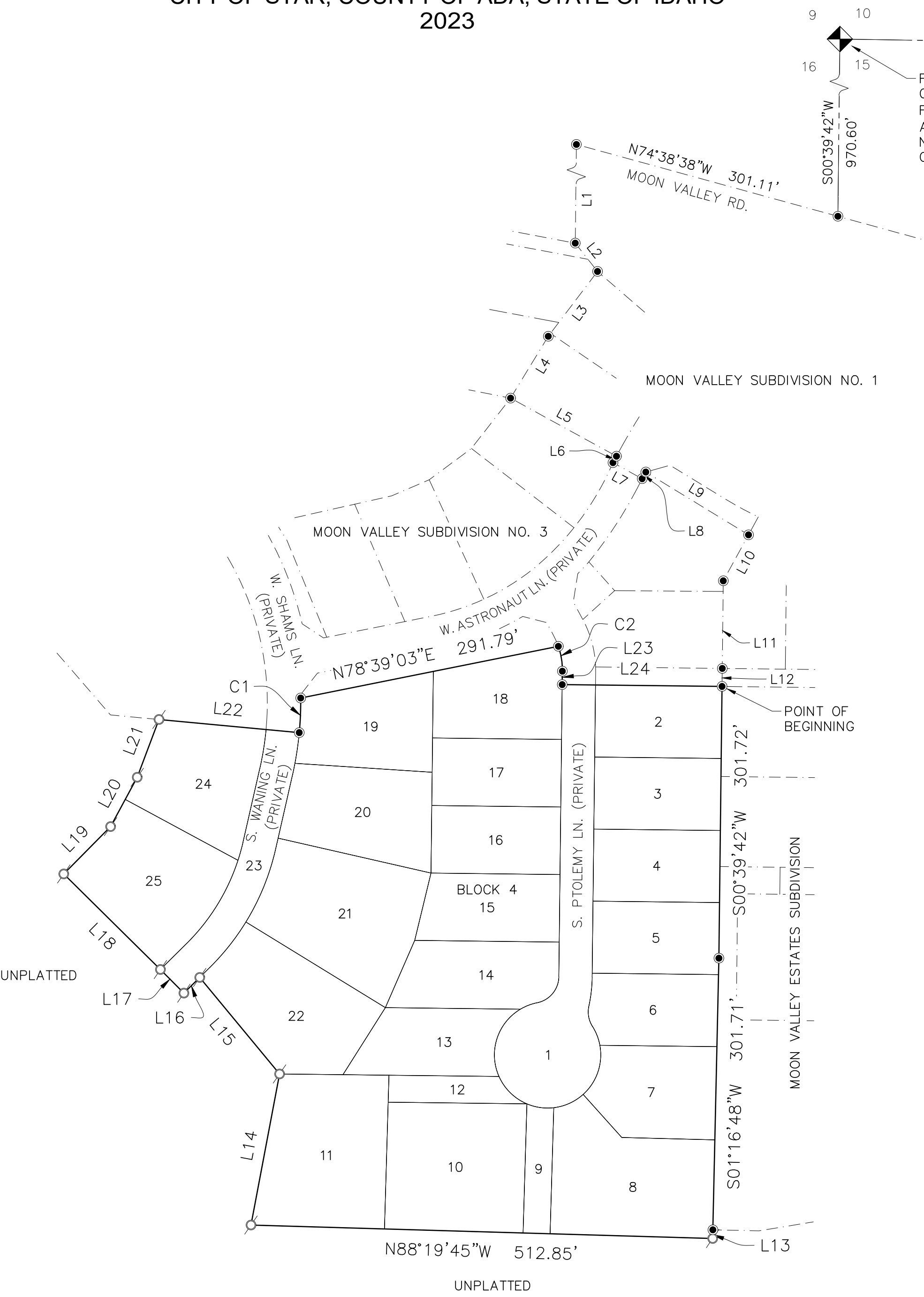
Plot Date: 11/28/2018 12:27 PM Plotted By: Everett Earnest
Date Created: 11/28/2018 I:\BOISEFILES\PUBLIC\PROJECTS\JUB10-18-046-M3 ANDERSON\PRE-PLAT\CAD\SHEET10-18-046 PRE-PLAT.DWG

PLAT OF
MOON VALLEY SUBDIVISION NO. 7
SITUATED IN THE NORTHEAST QUARTER OF SECTION 16,
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN
CITY OF STAR, COUNTY OF ADA, STATE OF IDAHO
2023



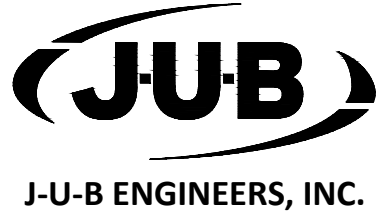
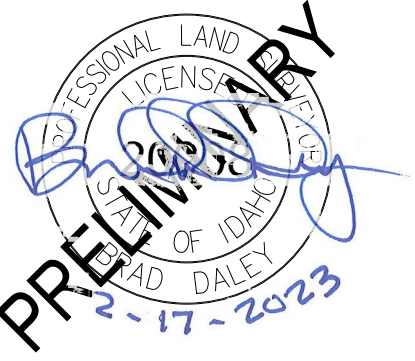
CURVE TABLE - THIS SHEET ONLY					
NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C1	370.50'	5°56'21"	38.41'	N02°22'25"E	38.39'
C2	81.50'	19°44'03"	28.07'	S09°12'20"E	27.93'

LINE TABLE - THIS SHEET ONLY		
NO.	BEARING	DIST.
L1	S00°39'51"W	957.73'
L2	S38°09'21"E	39.95'
L3	S37°12'11"W	90.40'
L4	S31°21'24"W	80.44'
L5	S61°15'54"E	134.11'
L6	S28°44'06"W	8.18'
L7	S61°15'54"E	37.00'
L8	N28°44'06"E	8.39'
L9	S58°33'55"E	133.65'
L10	S28°44'06"W	58.23'
L11	S00°39'42"W	97.26'
L12	S00°39'42"W	20.00'
L13	S01°16'48"W	9.66'
L14	N10°42'18"E	170.75'
L15	N39°35'25"W	139.06'
L16	S45°13'39"W	24.81'
L17	N44°46'21"W	37.00'
L18	N45°18'30"W	150.90'
L19	N44°41'30"E	73.94'
L20	N28°21'50"E	62.18'
L21	N20°38'56"E	68.63'
L22	S84°39'24"E	156.40'
L23	S00°39'42"W	14.90'
L24	S89°20'18"E	177.50'



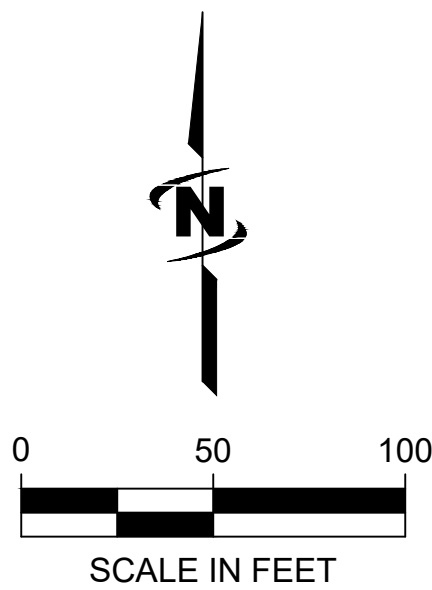
- LEGEND**
- SUBDIVISION BOUNDARY LINE
 - LOT LINE
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - ADJACENT PROPERTY LINE
 - UTILITY EASEMENT LINE
 - SIDEWALK EASEMENT LINE
 - FLOODWAY LINE
 - FEMA FLOOD HAZARD ZONE LINE
 - ◆ SECTION CORNER
 - QUARTER SECTION CORNER
 - ☆ SET 1/2-INCH 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 20917"
 - ⊗ SET 5/8-INCH 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 20917"
 - FOUND 1/2-INCH REBAR WITH PLASTIC CAP MARKED "JUB 16642"
 - FOUND 5/8-INCH REBAR WITH PLASTIC CAP MARKED "JUB 16642"
 - C# CURVE COURSE NUMBER (TYPICAL)
 - L# LINE COURSE NUMBER (TYPICAL)
 - # LOT NUMBER (TYPICAL)

THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.
NOT FOR RECORDATION



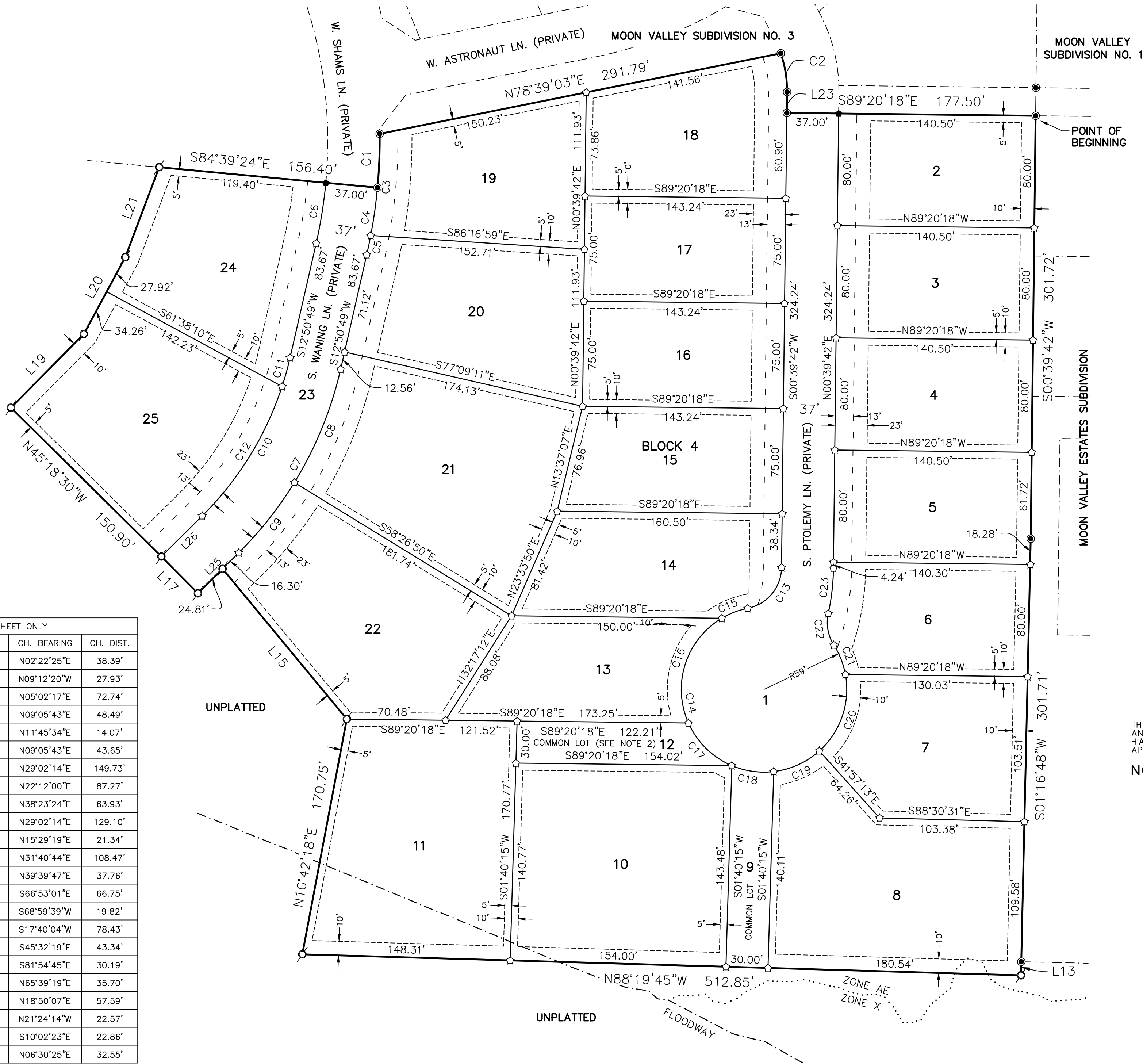
PLAT OF
MOON VALLEY SUBDIVISION NO. 7

PLAT BOOK _____ PAGE _____

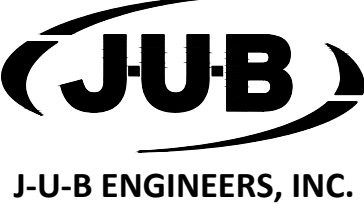


LINE TABLE - THIS SHEET ONLY		
NO.	BEARING	DIST.
L13	S01°16'48"W	9.66'
L15	N39°35'25"W	139.06'
L17	N44°46'21"W	37.00'
L19	N44°41'30"E	73.94'
L20	N28°21'50"E	62.18'
L21	N20°38'56"E	68.63'
L25	S45°13'39"W	41.11'
L26	S45°13'39"W	41.11'

CURVE TABLE - THIS SHEET ONLY					
NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C1	370.50'	5°56'21"	38.41'	N02°22'25"E	38.39'
C2	81.50'	19°44'03"	28.07'	N09°12'20"W	27.93'
C3	370.50'	11°16'03"	72.86'	N05°02'17"E	72.74'
C4	370.50'	7°30'13"	48.52'	N09°05'43"E	48.49'
C5	370.50'	2°10'31"	14.07'	N11°45'34"E	14.07'
C6	333.50'	7°30'13"	43.68'	N09°05'43"E	43.65'
C7	268.50'	32°22'50"	151.74'	N29°02'14"E	149.73'
C8	268.50'	18°42'20"	87.66'	N22°12'00"E	87.27'
C9	268.50'	13°40'29"	64.08'	N38°23'24"E	63.93'
C10	231.50'	32°22'50"	130.83'	N29°02'14"E	129.10'
C11	231.50'	5°17'00"	21.35'	N15°29'19"E	21.34'
C12	231.50'	27°05'50"	109.48'	N31°40'44"E	108.47'
C13	30.00'	78°00'10"	40.84'	N39°39'47"E	37.76'
C14	59.00'	291°05'48"	299.76'	S66°53'01"E	66.75'
C15	59.00'	19°20'26"	19.92'	S68°59'39"W	19.82'
C16	59.00'	83°18'43"	85.79'	S17°40'04"W	78.43'
C17	59.00'	43°06'03"	44.38'	S45°32'19"E	43.34'
C18	59.00'	29°38'48"	30.53'	S81°54'45"E	30.19'
C19	59.00'	35°13'04"	36.27'	N65°39'19"E	35.70'
C20	59.00'	58°25'20"	60.16'	N18°50'07"E	57.59'
C21	59.00'	22°03'22"	22.71'	N21°24'14"W	22.57'
C22	30.00'	44°47'03"	23.45'	S10°02'23"E	22.86'
C23	159.81'	11°41'27"	32.61'	N06°30'25"E	32.55'



THIS IS A DRAFT VERSION OF THE PLAT
AND IT IS PRELIMINARY IN NATURE. IT
HAS NOT YET RECEIVED AGENCY
APPROVAL NOR HAVE MONUMENTS BEEN
INSTALLED.
NOT FOR RECORDATION



2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5313
p 208 376 7330 w www.jub.com

SEE SHEET 1 FOR LEGEND
SEE SHEET 3 FOR NOTES, EASEMENT NOTES, REFERENCES, AND SURVEYOR'S NARRATIVE

PLAT OF
MOON VALLEY SUBDIVISION NO. 7

PLAT BOOK _____ PAGE _____

NOTES

1. LOTS 1 AND 23 OF BLOCK 4 ARE DESIGNATED AS PRIVATE ROADS; AND LOT 9 OF BLOCK 4 IS A COMMON LOT AND SHALL BE OWNED AND MAINTAINED BY RIVERSTONE HOMEOWNERS' ASSOCIATION, INC.
2. LOT 12 OF BLOCK 4 IS DESIGNATED AS A COMMON DRIVEWAY LOT FOR LOT ACCESS TO LOTS 10 AND 11 OF BLOCK 4. THIS COMMON DRIVEWAY LOT SHALL BE OWNED AND MAINTAINED BY RIVERSTONE HOMEOWNERS' ASSOCIATION, INC.
3. THE PRESSURIZED IRRIGATION SYSTEM SHALL BE OWNED AND MAINTAINED BY RIVERSTONE HOMEOWNER'S ASSOCIATION, INC. IRRIGATION WATER WILL BE PROVIDED BY PIONEER DITCH COMPANY LTD. THE LOTS WITHIN THIS SUBDIVISION WILL BE OBLIGATED FOR ASSESSMENTS FROM THE PIONEER DITCH COMPANY LTD.
4. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
5. MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS OR AS SPECIFICALLY APPROVED AND/OR REQUIRED, OR AS SHOWN ON THIS PLAT.
6. THIS DEVELOPMENT IS SUBJECT TO A DEVELOPMENT AGREEMENT INSTRUMENT NO. 2019-0990108, AND AMENDED BY THAT FIRST AMENDMENT TO AMENDED AND RESTATED DEVELOPMENT AGREEMENT INSTRUMENT NO. 2021-076058.
7. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
8. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN SANITARY RESTRICTION RELEASE.
9. REFERENCE IS MADE TO THE PUBLIC HEALTH LETTER ON FILE WITH ADA COUNTY RECORDER REGARDING ADDITIONAL RESTRICTIONS.
10. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
11. NO WORK SHALL BE PERFORMED WITHIN THE FEMA FLOODWAY WITHOUT A PERMIT.
12. THIS DEVELOPMENT IS SUBJECT TO PIONEER DITCH COMPANY LICENSE AGREEMENT INSTRUMENT NO. 2019-122483 AND ADDENDUM THERETO RECORDED AS INSTRUMENT NO. 2020-058943.
13. THIS SUBDIVISION IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE AE AND ZONE X, AND THE FLOODWAY AREA WITHIN ZONE AE, AS SPECIFIED ON FEMA FLOOD INSURANCE RATE MAP 16001C0140 J, WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
14. A BUILDING PERMIT SHALL NOT BE ISSUED FOR ANY LOT THAT IS LOCATED WITHIN THE MAPPED FLOODPLAIN UNTIL A FLOOD PLAIN DEVELOPMENT PERMIT IS OBTAINED FOR THE INDIVIDUAL LOT. EACH LOT WITHIN THE MAPPED FLOODPLAIN SHALL REQUIRE AN INDIVIDUAL FLOOD PLAIN DEVELOPMENT PERMIT. NO WORK SHALL BE PERFORMED WITHIN THE FLOODWAY AREA WITHOUT A PERMIT. NO RISE CERTIFICATES WILL BE REQUIRED FOR ANY WORK WITHIN THE FLOODWAY AREA.
15. THIS SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS CONTAINED IN INSTRUMENT NO. 2020-095409, FIRST SUPPLEMENTAL INSTRUMENT NO. 2020-095415, AND FIRST AMENDMENT TO FIRST SUPPLEMENTAL INSTRUMENT NO. 2021-016388 ALONG WITH ANY AMENDMENTS THERETO.

Reference Documents

SUBDIVISIONS: R.L. HON SUBDIVISION (BK. 4 PLATS, PG. 163)
MATT SUBDIVISION (BK. 73 PLATS, PGS. 7509-7510)
MOON VALLEY ESTATES SUBDIVISION (BK. 121 PLATS, PGS. 18915-18918)
MOON VALLEY SUBDIVISION NO. 1 (BK 118 PLATS, PGS. 18219-18229)
MOON VALLEY SUBDIVISION NO. 3 (BK. 122 PLATS, PGS. 19160-19167)

SURVEYS: RECORD OF SURVEY 10034 (INSTRUMENT NO. 2015-015318)

DEEDS: 104023529 & 97026153

EASEMENT NOTES

1. LOTS 9 AND 12 OF BLOCK 4 ARE HEREBY DESIGNATED AS HAVING A UTILITY EASEMENT CO-SITUATE WITH SAID LOT.
2. LOTS 1 AND 23 OF BLOCK 4 ARE HEREBY DESIGNATED AS HAVING A PRIVATE ROAD EASEMENT AND A STAR SEWER AND WATER DISTRICT EASEMENT CO-SITUATE WITH SAID LOTS.
3. ALL UTILITY EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS SHOWN HEREON, AND ARE HEREBY RESERVED FOR THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF PUBLIC & PRIVATE UTILITIES, PRESSURIZED IRRIGATION, SEWER SERVICE, CABLE TELEVISION/DATA; APPURTENANCES THERETO; AND LOT DRAINAGE.
4. SIDEWALK EASEMENTS AS SHOWN HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS SHOWN HEREON, AND ARE HEREBY RESERVED FOR INGRESS AND EGRESS; THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF SIDEWALKS; AND APPURTENANCES THERETO. RIVERSTONE HOMEOWNERS' ASSOCIATION, INC. SHALL BE RESPONSIBLE FOR MAINTENANCE OF SIDEWALKS.
5. THE PRIVATE ROAD EASEMENT DESIGNATED HEREON IS NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, IS APPURTENANT TO THE LOTS SHOWN HEREON, AND IS HEREBY RESERVED FOR THE INGRESS AND EGRESS OF EMERGENCY VEHICLES; THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF ROADWAYS, SIDEWALKS, DRIVEWAYS, AND LANDSCAPING; AND APPURTENANCES THERETO.
6. NO EASEMENT SHOWN OR DESIGNATED HEREON SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD-SURFACED DRIVEWAYS, LANDSCAPING, PARKING, SIDE & REAR PROPERTY LINE FENCES, OR OTHER SUCH NONPERMANENT IMPROVEMENTS.
7. ALL EASEMENTS ARE PARALLEL (OR CONCENTRIC) TO THE LINES (OR ARCS) THAT THEY ARE DIMENSIONED FROM UNLESS OTHERWISE NOTED.
8. THE ACCESS EASEMENT DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, AND ARE APPURTENANT TO THE LOTS ADJOINING AND FRONTING THEREON. THE COMMON DRIVEWAY LOT REFERENCED IN NOTE 2 ARE HEREBY RESERVED FOR INGRESS AND EGRESS; THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF A COMMON DRIVEWAY; AND APPURTENANCES TO. SEE THE DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS REFERENCED IN NOTE 15 FOR RIGHTS, RESTRICTIONS, MAINTENANCE, AND ASSESSMENTS.

SURVEYOR'S NARRATIVE

SURVEY PURPOSE: TO DETERMINE THE BOUNDARY OF A PORTION OF PARCEL III OF THAT LAND AS DESCRIBED IN THAT SPECIAL WARRANTY DEED RECORDED UNDER INSTRUMENT NO. 104023529, ADA COUNTY RECORDS, IDAHO AND OF A PORTION OF THAT LAND AS DESCRIBED IN THAT WARRANTY DEED RECORDED UNDER INSTRUMENT NO. 97026153, ADA COUNTY RECORDS, IDAHO, AND TO INCLUDE SAID PORTIONS OF SAID LANDS WITHIN THIS SUBDIVISION.

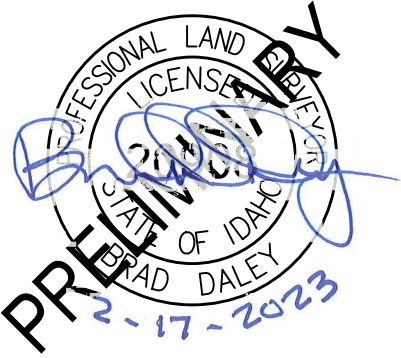
DOCUMENTS USED:
SEE REFERENCE DOCUMENTS BELOW LEFT.

BOUNDARY CONTROLLED BY:

THE EAST BOUNDARY IS CONTROLLED BY MOON VALLEY ESTATES SUBDIVISION.

THE NORTHERLY BOUNDARY IS CONTROLLED BY MOON VALLEY SUBDIVISION NO. 3.

THE SOUTHERLY AND WESTERLY BOUNDARIES ARE CONTROLLED BY A BOUNDARY LINE CREATED BY THE CLIENT REFLECTING HOW PORTIONS OF THE LANDS OF HEREINABOVE DESCRIBED WARRANTY DEEDS ARE DESIRED TO BE SUBDIVIDED.



THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.
NOT FOR RECORDATION



J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5313
p 208 376 7330 w www.jub.com

PLAT OF
MOON VALLEY SUBDIVISION NO. 7

PLAT BOOK _____ PAGE _____

CERTIFICATE OF OWNERS

KNOW ALL PEOPLE BY THESE PRESENTS: THAT SUNDANCE INVESTMENTS, L.L.L.P. (FORMERLY SUNDANCE INVESTMENTS LIMITED PARTNERSHIP), AN IDAHO LIMITED LIABILITY LIMITED PARTNERSHIP, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THAT REAL PROPERTY TO BE KNOWN AS MOON VALLEY SUBDIVISION NO. 7, AND THAT IT INTENDS TO INCLUDE SAID REAL PROPERTY, AS DESCRIBED BELOW, IN THIS PLAT:

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY IDAHO, PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CORNER COMMON TO SECTIONS 9, 10, 15, AND 16, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, ADA COUNTY, IDAHO, FROM WHICH THE NORTH QUARTER CORNER OF SAID SECTION 15 BEARS SOUTH 89°06'20" EAST, 2644.08 FEET; THENCE ALONG THE LINE COMMON TO SAID SECTIONS 15 AND 16, SOUTH 00°39'42" WEST, 970.60 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF MOON VALLEY ROAD; THENCE, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 74°38'38" WEST, 301.11 FEET TO THE NORTHEAST CORNER OF THE LANDS OF AKINS AS DESCRIBED IN THAT WARRANTY DEED RECORDED UNDER INSTRUMENT NO. 97066505, ADA COUNTY RECORDS, SAID NORTHEAST CORNER BEING THE MOST NORTHERLY CORNER OF MOON VALLEY SUBDIVISION NO. 1 ACCORDING TO THE OFFICIAL PLAT THEREOF FILED IN BOOK 118 OF PLATS AT PAGES 18219 THROUGH 18229, ADA COUNTY RECORDS; THENCE, ALONG THE WESTERLY BOUNDARY LINE OF SAID MOON VALLEY SUBDIVISION NO. 1 THE FOLLOWING ELEVEN (11) COURSES:

1)SOUTH 00°39'51" WEST, 957.73 FEET; 2)SOUTH 38°09'21" EAST, 39.95 FEET; 3)SOUTH 37°12'11" WEST, 90.40 FEET; 4)SOUTH 31°21'24" WEST, 80.44 FEET; 5)SOUTH 61°15'54" EAST, 134.11 FEET; 6)SOUTH 28°44'06" WEST, 8.18 FEET; 7)SOUTH 61°15'54" EAST, 37.00 FEET; 8)NORTH 28°44'06" EAST, 8.39 FEET; 9)SOUTH 58°33'55" EAST, 133.65 FEET; 10)SOUTH 28°44'06" WEST, 58.23 FEET; 11)SOUTH 00°39'42" WEST, 97.26 FEET TO THE THE SOUTHWEST CORNER OF SAID MOON VALLEY SUBDIVISION NO. 1, SAID POINT ALSO BEING THE NORTHWEST CORNER OF MOON VALLEY ESTATES SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF FILED IN BOOK 121 OF PLATS AT PAGES 18915 THROUGH 18918, ADA COUNTY RECORDS;

THENCE, ALONG THE WESTERLY LINE OF SAID MOON VALLEY ESTATES SUBDIVISION, SOUTH 00°39'42" WEST, 20.00 FEET TO THE POINT OF BEGINNING;

THENCE, CONTINUING ALONG THE SAID WESTERLY LINE, SOUTH 00°39'42" WEST, 301.72 FEET;

THENCE, CONTINUING ALONG SAID WESTERLY LINE, SOUTH 01°16'48" WEST, 301.71 FEET TO THE SOUTHWESTERLY CORNER OF SAID MOON VALLEY ESTATES SUBDIVISION;

THENCE SOUTH 01°16'48" WEST, 9.66 FEET;
THENCE NORTH 88°19'45" WEST, 512.85 FEET;
THENCE NORTH 10°42'18" EAST, 170.75 FEET;
THENCE NORTH 39°35'25" WEST, 139.06 FEET;
THENCE SOUTH 45°13'39" WEST, 24.81 FEET;
THENCE NORTH 44°46'21" WEST, 37.00 FEET;
THENCE NORTH 45°18'30" EAST, 150.90 FEET;
THENCE NORTH 44°41'30" EAST, 73.94 FEET;
THENCE NORTH 28°21'50" EAST, 62.18 FEET;
THENCE NORTH 20°38'56" EAST, 68.63 FEET TO POINT ON THE SOUTHERLY LINE OF MOON VALLEY SUBDIVISION NO. 3 ACCORDING TO THE OFFICIAL PLAT THEREOF FILED IN BOOK 122 OF PLATS AT PAGES 19160 THROUGH 19167, ADA COUNTY RECORDS;

THENCE ALONG THE SOUTHERLY LINE OF SAID MOON VALLEY SUBDIVISION NO. 3 THE FOLLOWING SIX (6) COURSES:

THENCE SOUTH 84°39'24" EAST, 156.40 FEET TO THE BEGINNING OF A NON-TANGENT CURVE;
THENCE ALONG SAID NON-TANGENT CURVE TO THE LEFT AN ARC LENGTH OF 38.41 FEET, HAVING A RADIUS OF 370.50 FEET, A CENTRAL ANGLE OF 05°56'21", A CHORD BEARING OF NORTH 02°22'25" EAST AND A CHORD LENGTH OF 38.39 FEET;
THENCE NORTH 78°39'03" EAST, 291.79 FEET TO THE BEGINNING OF A NON-TANGENT CURVE;
THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT AN ARC LENGTH OF 28.07 FEET, HAVING A RADIUS OF 81.50 FEET, A CENTRAL ANGLE OF 19°44'03", A CHORD BEARING OF SOUTH 09°12'20" EAST AND A CHORD LENGTH OF 27.93 FEET;
THENCE SOUTH 00°39'42" WEST, 14.90 FEET;
THENCE SOUTH 89°20'18" EAST, 177.50 FEET TO THE POINT OF BEGINNING;

THE ABOVE-DESCRIBED PARCEL CONTAINS AN AREA OF 8.19 ACRES OF LAND, MORE OR LESS.

THE PRIVATE ROADS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, HOWEVER THE RIGHT TO USE SAID EASEMENTS IS HEREBY RESERVED FOR THE USES SPECIFICALLY DEPICTED ON THE PLAT, AND FOR ANY OTHER PURPOSES DESIGNATED HEREON, AND NO PERMANENT STRUCTURES, OTHER THAN FOR SUCH USES AND PURPOSES, ARE TO BE ERECTED WITHIN THE LINES OF SAID EASEMENTS. ALL OF THE LOTS WITHIN THIS SUBDIVISION ARE ELIGIBLE TO RECEIVE WATER AND SEWER SERVICE FROM THE STAR SEWER & WATER DISTRICT AND THE STAR SEWER & WATER DISTRICT HAS AGREED IN WRITING TO SERVE ALL LOTS WITHIN THE SUBDIVISION. IRRIGATION WATER HAS BEEN PROVIDED FROM PIONEER DITCH COMPANY, LTD., IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(B). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE PIONEER DITCH COMPANY, LTD.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND:

SUNDANCE INVESTMENTS, L.L.L.P.
(FORMERLY SUNDANCE INVESTMENTS LIMITED PARTNERSHIP),
AN IDAHO LIMITED LIABILITY LIMITED PARTNERSHIP

BY: THE SUNDANCE COMPANY, AN IDAHO
CORPORATION, ITS GENERAL PARTNER

BY: _____
CHRISTOPHER L. ANDERSON

ACKNOWLEDGEMENT

STATE OF _____ }
COUNTY OF _____ } ss.

ON THIS _____ DAY OF _____, IN THE YEAR 20____, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF _____, PERSONALLY APPEARED CHRISTOPHER L. ANDERSON, KNOWN OR IDENTIFIED TO ME TO BE _____ OF THE SUNDANCE COMPANY, THE GENERAL PARTNER OF SUNDANCE INVESTMENTS, L.L.L.P. (FORMERLY SUNDANCE INVESTMENTS LIMITED PARTNERSHIP) THE ENTITY THAT EXECUTED THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT SAID ENTITY EXECUTED THE SAME.

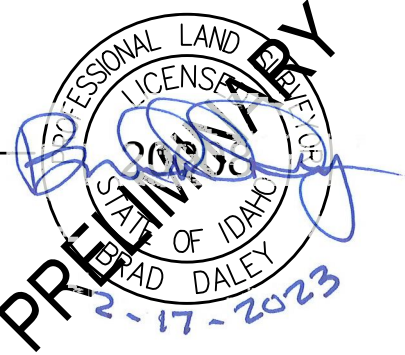
NOTARY PUBLIC FOR _____
MY COMMISSION EXPIRES _____

CERTIFICATE OF SURVEYOR

I, BRAD DALEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT OF MOON VALLEY SUBDIVISION NO. 7, AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND AS SHOWN ON THE ATTACHED PLAT IS CORRECT AND WAS SURVEYED IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.

BRAD DALEY, PLS 20908

THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.
NOT FOR RECORDATION



J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5313
p 208 376 7330 w www.jub.com

PLAT OF
MOON VALLEY SUBDIVISION NO. 7

PLAT BOOK _____ PAGE _____

APPROVAL OF CENTRAL DISTRICT HEALTH

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

CENTRAL DISTRICT HEALTH
DATE

APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE _____ DAY OF _____, 20____.

COMMISSION PRESIDENT
ADA COUNTY HIGHWAY DISTRICT

APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY

_____, HEREBY APPROVE THIS PLAT.

CITY ENGINEER

APPROVAL OF CITY COUNCIL

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED THIS _____ DAY OF _____, _____, BY THE CITY OF STAR, IDAHO.

CITY CLERK

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

ADA COUNTY SURVEYOR
DATE

CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER REQUIREMENTS OF IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATE IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

ADA COUNTY TREASURER
DATE

COUNTY RECORDER'S CERTIFICATE

STATE OF IDAHO }
COUNTY OF ADA } SS. INSTRUMENT NO. _____

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF JUB ENGINEERS, INC.

AT _____ MINUTES PAST _____ O'CLOCK ____ M.,

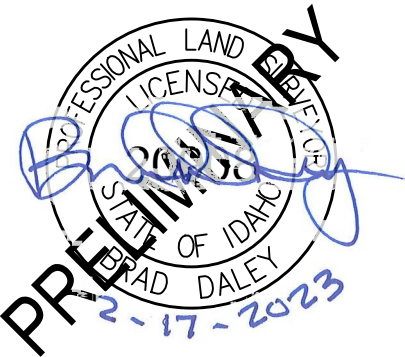
THIS _____ DAY OF _____, _____, IN MY OFFICE, AND WAS RECORDED IN

BOOK _____ OF PLATS AT PAGES _____ THROUGH _____.

FEE: _____

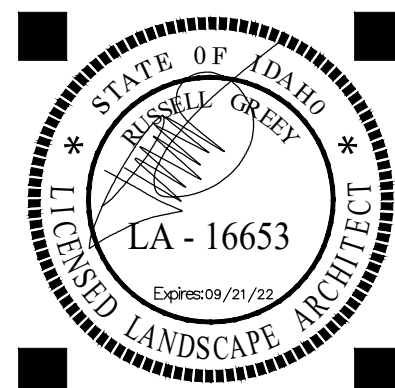
DEPUTY
EX-OFFICIO RECORDER

THIS IS A DRAFT VERSION OF THE PLAT AND IT IS PRELIMINARY IN NATURE. IT HAS NOT YET RECEIVED AGENCY APPROVAL NOR HAVE MONUMENTS BEEN INSTALLED.
NOT FOR RECORDATION



J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5313
p 208 376 7330 w www.jub.com



LANDSCAPE PLANS FOR
RIVERSTONE SUBDIVISION
SUBDIVISION 7
CITY OF STAR, IDAHO
2023

SHEET INDEX

Cover Sheet	L0.0
General Notes / Material Schedule	L0.1
Overall Landscape Sheet Layout	L3.0
Planting Plan	L3.1
Planting Details	L7.1
Planting Specifications	L8.1

DEVELOPER

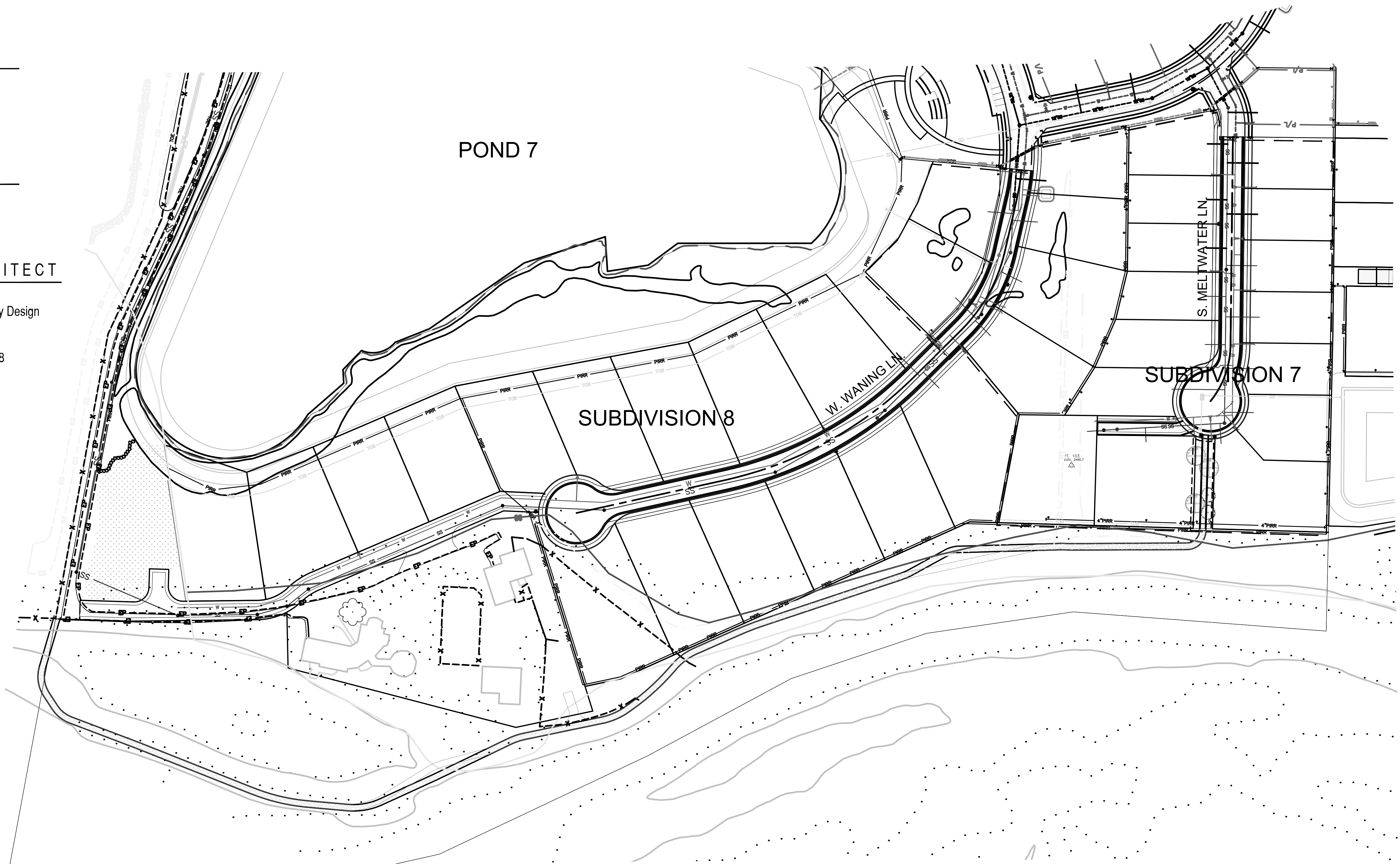
M3 COMPANIES
1087 W. River Street
Suite 310
Boise, Idaho 83702
(208) 939-6263 Fax: 208-939-6752

CIVIL ENGINEERS

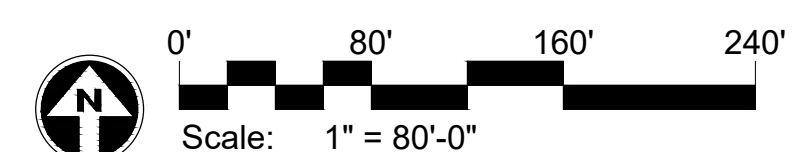
J-U-B ENGINEERS, INC.
250 S. Beechwood Ave. Suite 201
Boise, ID 83709-0944
(208) 376-7330 Fax: 208-323-9336

LANDSCAPE ARCHITECT

Greey | Pickett
Landscape Architecture | Community Design
7144 E. Stetson Drive, Suite 205
Scottsdale, Arizona 85251
(480) 609-0009 Fax: (480) 609-0068



OVERALL LANDSCAPE PLAN





revisions:



project #:
MTC069
scale:
NTS
issued for:
REVIEW
drawn by:
TEAM
date:
02-01-2022
drawing:
General Notes

sheet #

PLANTING GENERAL NOTES:

1. THE CONTRACTOR SHALL REVIEW PLANTING PLANS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
3. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 3 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 3 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
4. ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
6. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
7. PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
8. WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT.
9. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
10. TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS/SEEPAGE BEDS/IDAHO POWER APPURTENANCES/ FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
11. ALL SPECIMEN TREES, SHRUBS AND GROUNDCOVER SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
12. THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION, IF APPLICABLE.
13. ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
14. ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
15. THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION AND 90 DAY MAINTENANCE AFTER SUBSTANTIAL COMPLETION PRIOR TO TURNOVER TO HOME OWNER'S ASSOCIATION (HOA).
16. PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
17. ALL PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
18. ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

GRADING GENERAL NOTES:

1. CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
2. FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
4. GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - A) FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - B) IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - i) TURF, AND ANNUAL AREAS (6" DEPTH).
 - ii) PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
6. FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
7. REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

HARDSCAPE GENERAL NOTES:

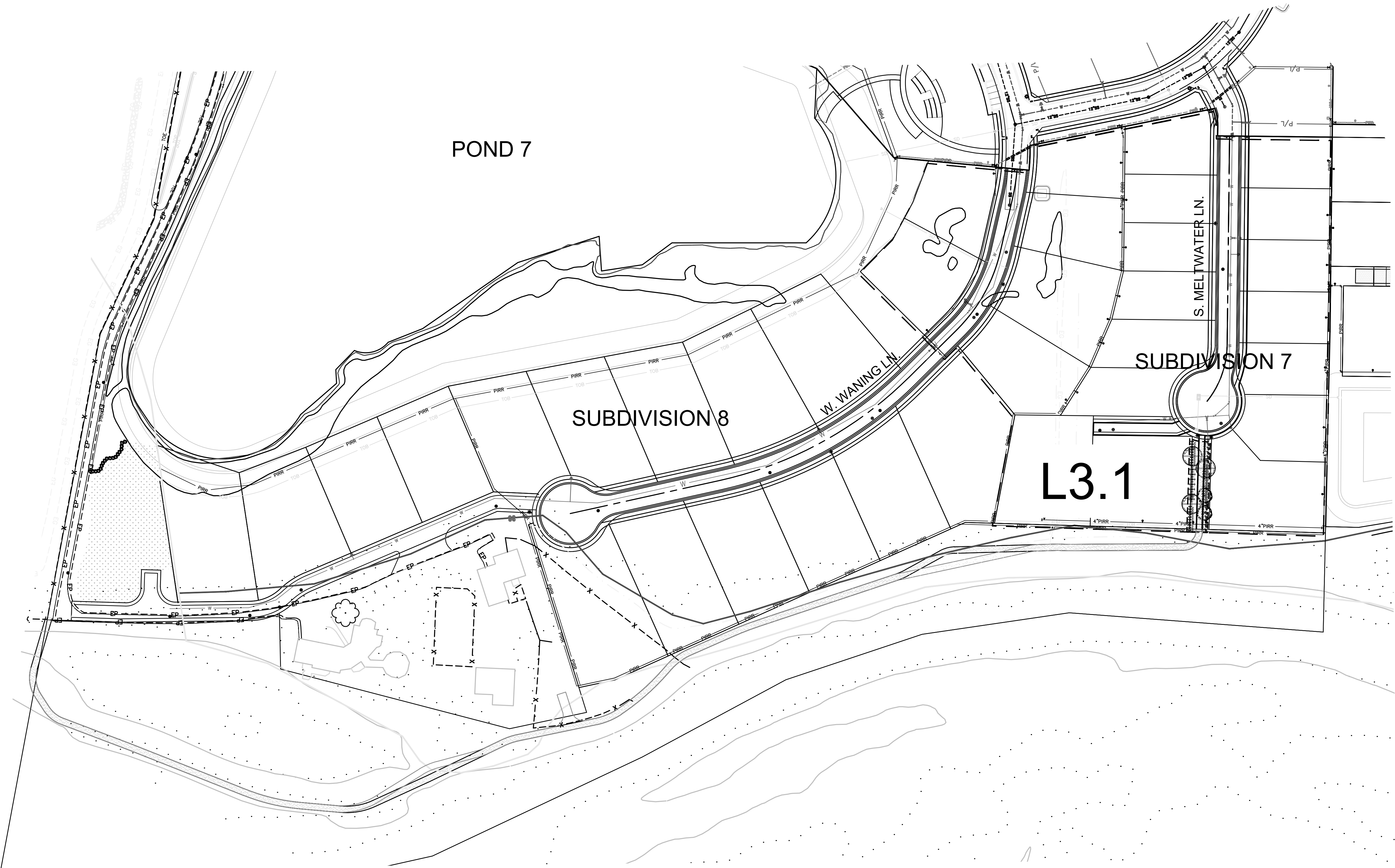
1. FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
2. REFER TO CIVIL PLANS PREPARED BY MASON STANFIELD AND JUB ENGINEERS, INC. FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
3. ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY CIVIL ENGINEER. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
5. THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT, OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
6. IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
7. UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE (VARIES), 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" (VARIES) ON CENTER AND EXPANSION JOINTS AT 20'-0" (VARIES) ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
8. RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

GENERAL NOTES:

1. THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
2. INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
3. ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
4. EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY: MASON STANFIELD AND JUB ENGINEERS, INC. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
6. FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
 - A) UTILITY DIG LINE SERVICE OF IDAHO 1-800-342-1585
 - B) UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
 - C) OVERHEAD UTILITIES
7. THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
8. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
9. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
10. THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
12. BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
13. THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
15. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
16. THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
17. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
18. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
19. MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

MATERIAL SCHEDULE:

DESCRIPTION	SUPPLIER	MODEL / SIZE	COLOR/FINISH	COMMENTS
CONCRETE SIDEWALK				PER JUB ENGINEERING PLANS
	CONTRACTOR		UNCOLORED, MEDIUM BROOM FINISH	
LIMIT OF TURF				
-CUT EDGE	CONTRACTOR			
PLANTING AREA				
-MULCH	CONTRACTOR	MULCH	PREMIUM BLEND	
TURF AREA				
-SOD	CONTRACTOR	FESCUE SOD		



POND 7

SUBDIVISION 8

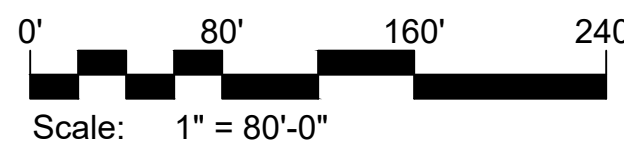
W. WAVING LN.

SUBDIVISION 7

S. MELTWATER LN.

L3.1

LANDSCAPE SHEET LAYOUT



P L A N T M A T E R I A L S P A L E T T E				
Sym.	Plant Name	Size	Qty.	Remarks
Class I Trees				
	<i>Cercis canadensis</i> Eastern Redbud	2" B&B	2	Multi
Class II Trees				
	<i>Acer plantanoides</i> 'Crimson King' Crimson King Maple	2" B&B	3	Standard
Shrubs				
	<i>Buddleja davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 Gal.	12	
	<i>Buddleja x flutterby</i> 'Miss Ruby' Miss Ruby Butterfly Bush	3 Gal.	10	
	<i>Caryopteris x clandonensis</i> 'Dark Knight' Dark Knight Bluebeard	3 gal.	13	
	<i>Euonymus kiautschovicus</i> 'Manhattan' Manhattan Euonymus	3 Gal.	13	
	<i>Euonymus japonicus</i> 'Silver King' Silver King Euonymus	3 Gal.	20	
	<i>Photinia x fraseri</i> Photinia Frazeri	3 Gal.	7	
	<i>Rosa x 'Noare'</i> Flower Carpet TM Red Rose	3 Gal.	26	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spiraea	3 gal.	12	
INERTS				
Sym.	Description			
	BARK MULCH, PREMIUM BLEND			

Section 5, Item B.

GREY PICKETT

landscape architecture

community design

714 e streison drive, suite 205
scottsdale, arizona 85251
480.609.0009p 480.609.0006f

STATE OF IDAHO
LANDSCAPE ARCHITECT
LA - 16653
Expires 07/22

RIVERSTONE SUBDIVISION
SUBDIVISION 7
Landscape Construction Documents
STAR, IDAHO

revisions:

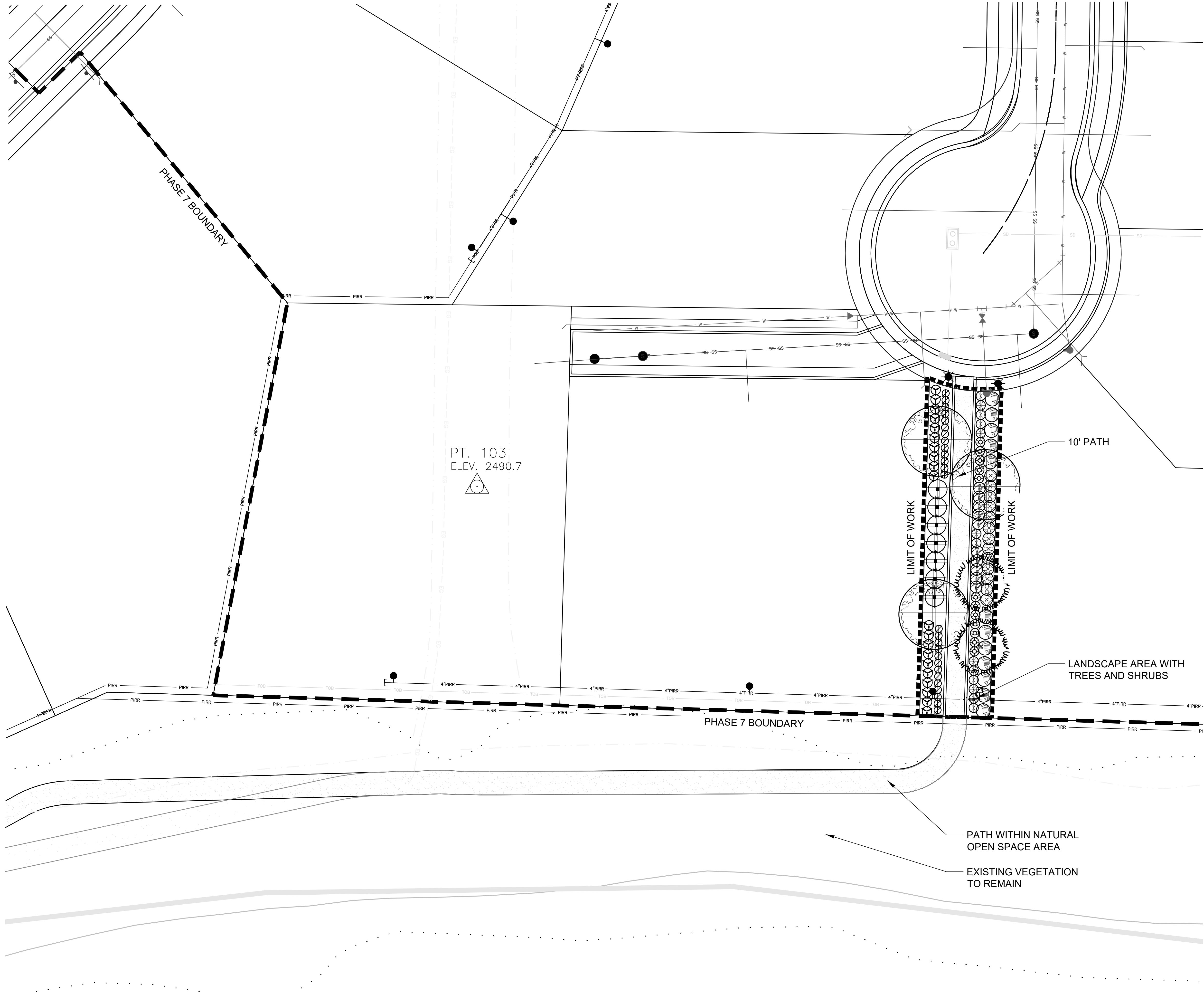
project #:
MTC069
scale:
As Shown
issued for:
REVIEW
drawn by:
TEAM
date:
02-01-2022
drawing:
Overall Landscape Plan

sheet #

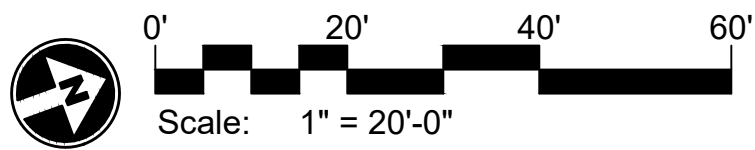
L3.0
3 of 6

Copyright © 2013 by
Greedy / Pickett Professional Corp.

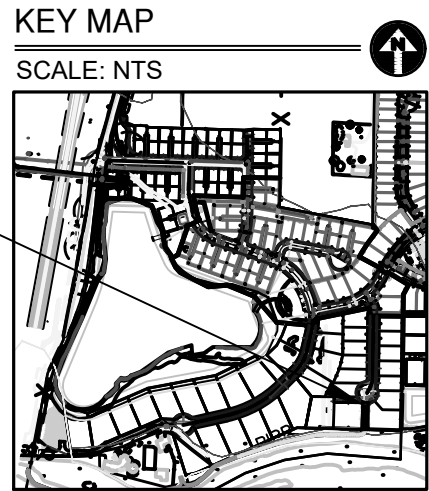
39



PLANTING PLAN - L3.1



L3.1



P L A N T M A T E R I A L S P A L E T T E				
Sym.	Plant Name	Size	Qty.	Remarks
Class I Trees				
	<i>Cercis canadensis</i> Eastern Redbud	2" B&B	2	Multi
Class II Trees				
	<i>Acer plantanoides</i> 'Crimson King' Crimson King Maple	2" B&B	3	Standard
Shrubs				
	<i>Buddleja davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 Gal.	12	
	<i>Buddleja x flutterby</i> 'Miss Ruby' Miss Ruby Butterfly Bush	3 Gal.	10	
	<i>Caryopteris x clandonensis</i> 'Dark Knight' Dark Knight Bluebeard	3 gal.	13	
	<i>Euonymus kiautschovicus</i> 'Manhattan' Manhattan Euonymus	3 Gal.	13	
	<i>Euonymus japonicus</i> 'Silver King' Silver King Euonymus	3 Gal.	20	
	<i>Photinia x fraseri</i> Photinia Frazeri	3 Gal.	7	
	<i>Rosa x 'Noare'</i> Flower Carpet 1M Red Rose	3 Gal.	26	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spirea	3 gal.	12	
INERTS				
Sym.	Description			
	BARK MULCH, PREMIUM BLEND			

Section 5, Item B.

GREY PICKETT

landscape architecture community design

714 e stinson drive, suite 205
scottsdale, arizona 85251
480.609.0009p 480.609.0006f

RIVERSTONE SUBDIVISION

SUBDIVISION 7

Landscape Construction Documents

STAR, IDAHO

revisions:

△

△

△

project #:
MTC069

scale:
As Shown

issued for:
REVIEW

drawn by:
TEAM

date:
02-01-2022

drawing:
Planting Plan

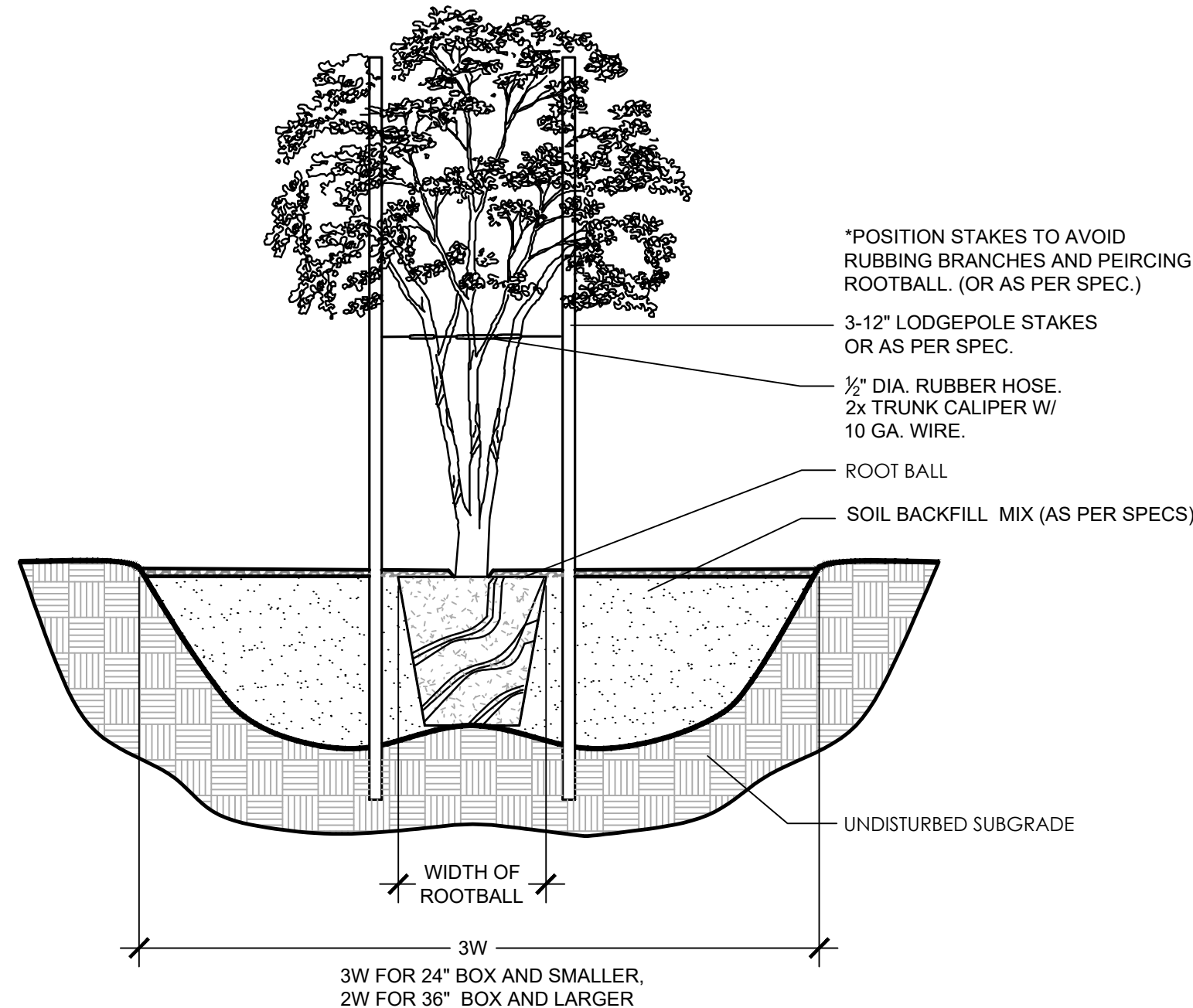
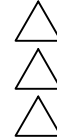
sheet #

L3.1

4 of 6

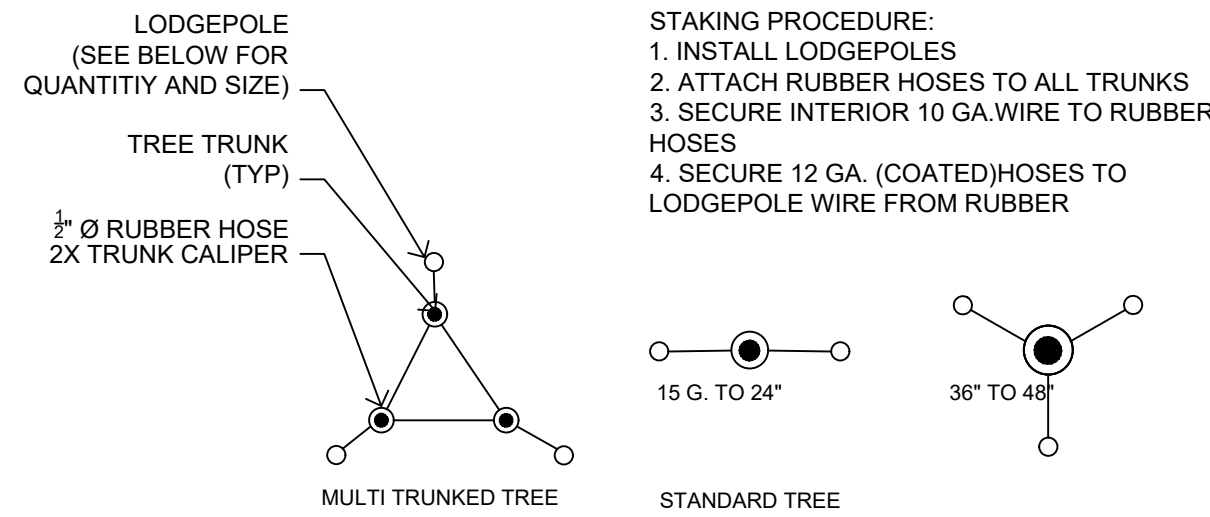
Copyright © 2013 by
Greedy | Pickett Professional Corp.

40



1.3 Tree Staking Detail

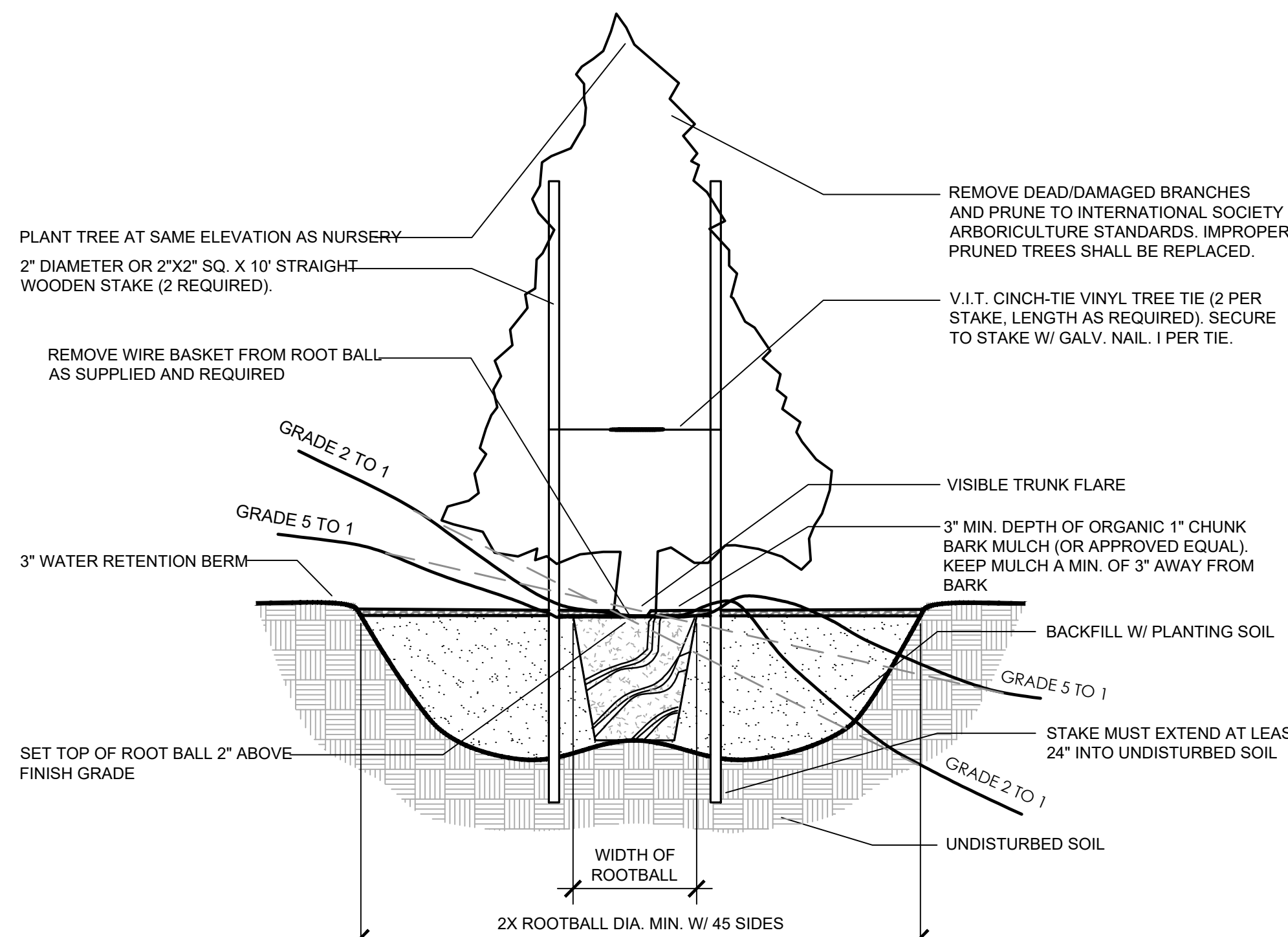
Scale: N.T.S.



LODGEPOLE SIZING CHART	
15 GAL TO 24" BOX MATERIAL	2- 2" X 10'-0" LODGEPOLE STAKES
36" BOX AND 48" BOX	3- 3" X 12'-0" LODGEPOLE STAKES
*NOTE: STAKES MAY BE TRIMMED AS NECESSARY	

1.7 Tree Staking Diagram

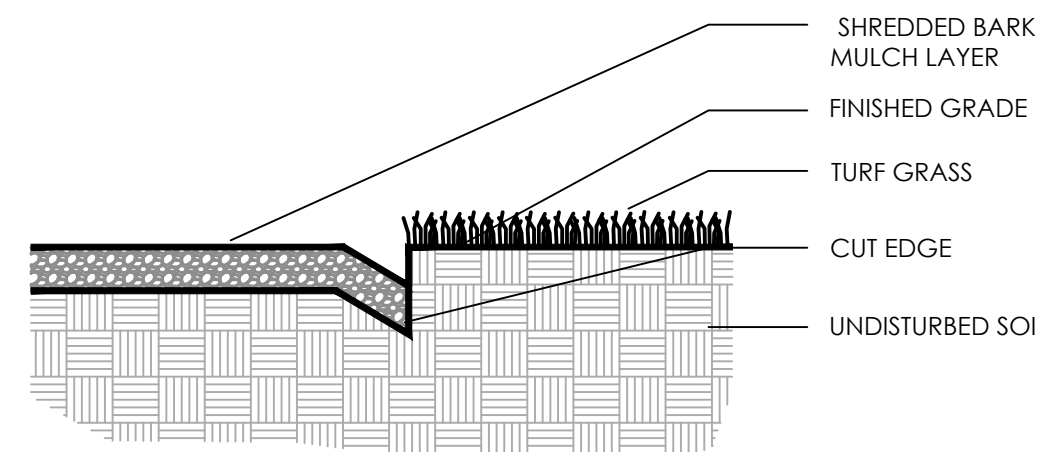
Scale: NTS



- NOTES:
1. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY.
 2. WRAP RUBBER CINCH-TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR THE FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT.
 3. WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTLING WILL OCCUR).
 4. DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

1.2 Evergreen Tree Planting Detail

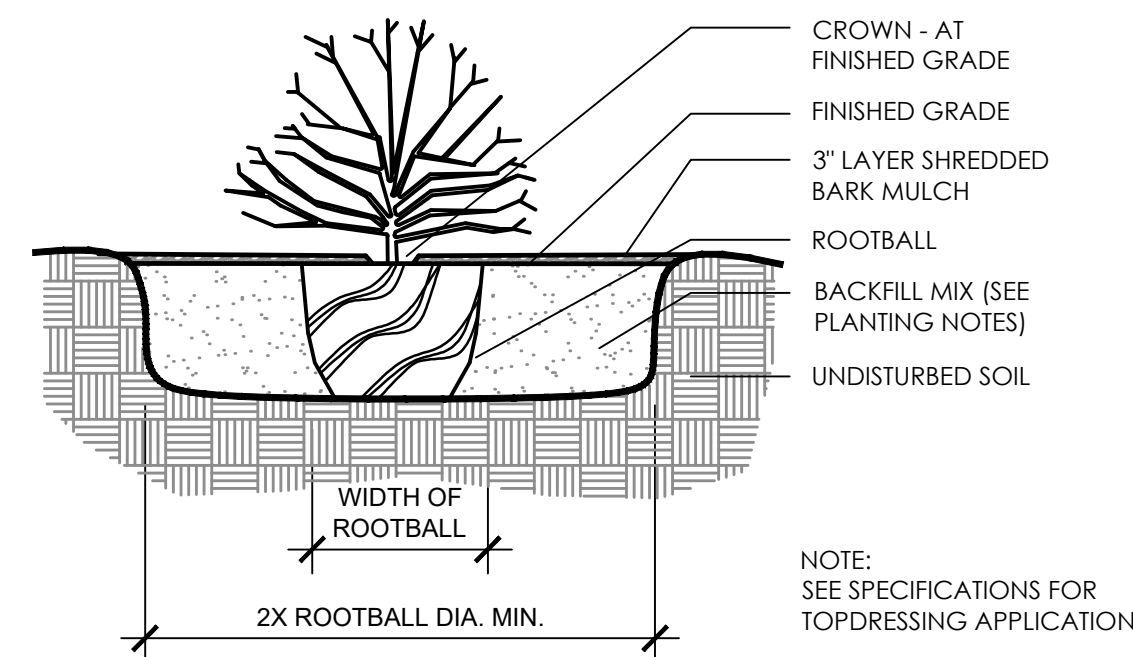
Scale: N.T.S.



ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SHOVEL EDGE TO PROVIDE A DISTINCT SEPARATION BETWEEN LANDSCAPE TYPES.

1.6 Cut Edge Detail

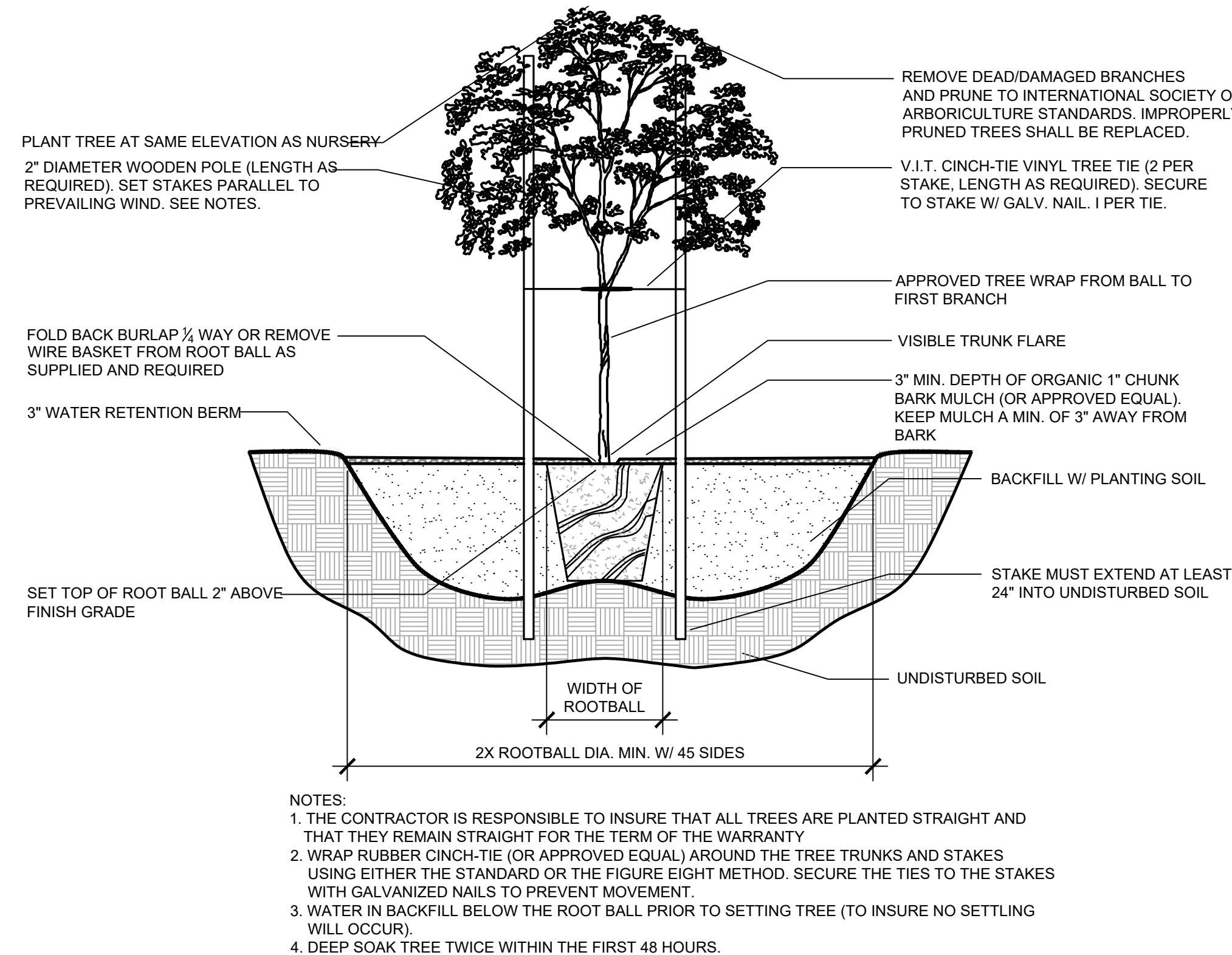
Scale: N.T.S.



NOTE: SEE SPECIFICATIONS FOR TOPDRESSING APPLICATION.

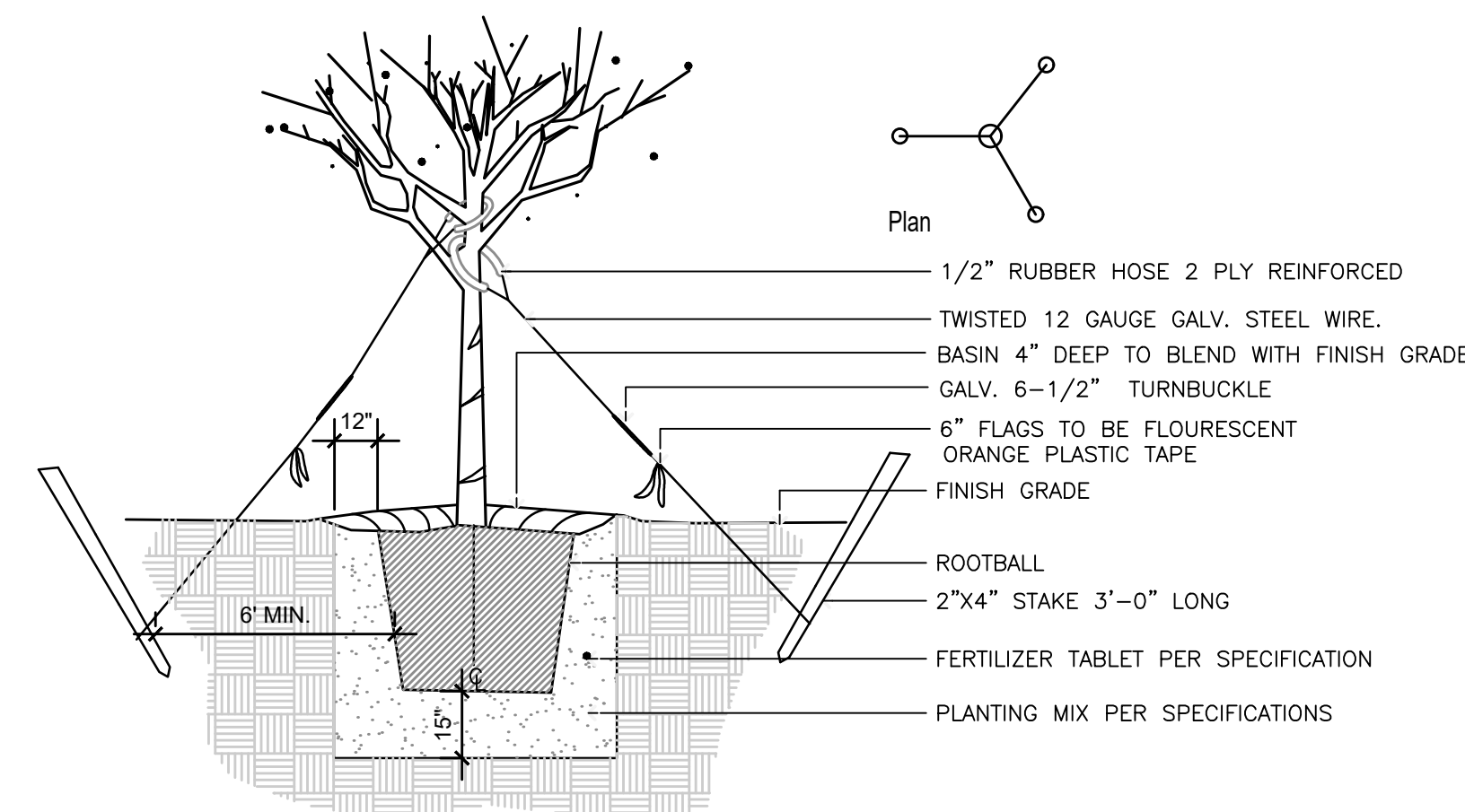
1.5 Shrub Planting Detail

Scale: N.T.S.



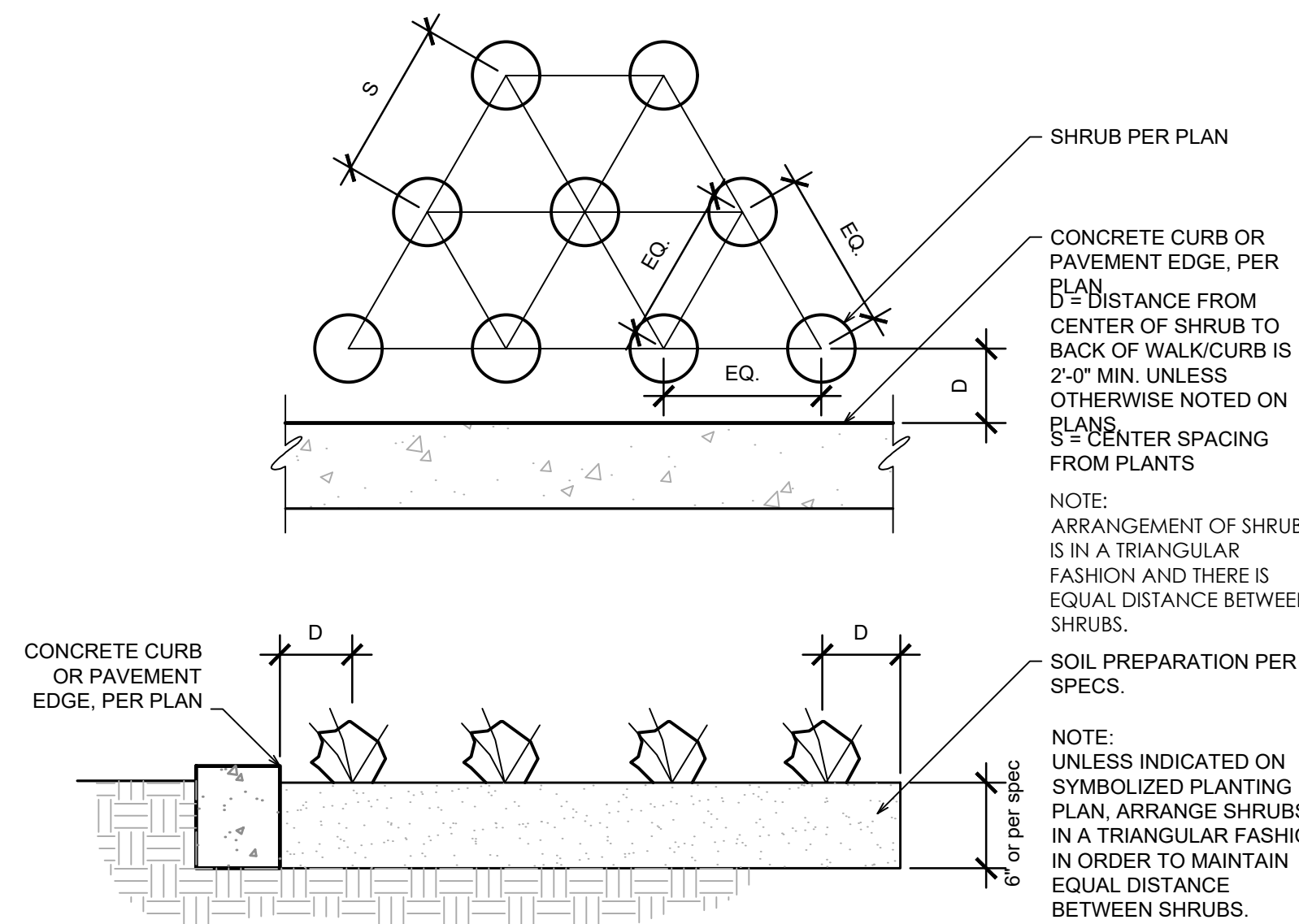
1.1 Deciduous Tree Planting Detail

Scale: N.T.S.



1.4 Tree Guying Detail

Scale: N.T.S.



1.8 Plant Spacing Detail

Scale: N.T.S.

SECTION - 02900 LANDSCAPE
PART 1 - GENERAL

1.01 WORK INCLUDED

- *Landscape finish grading.
 - * Soil preparation
 - *Tree supports
 - *Planting
 - *Watering
 - *Maintenance
- Definitions:
- Owner's representative - an authorized agent determined by owner to act on their behalf, in some cases the Landscape Architect may be the owner representative as outlined in these specs.
- Plants - all shrubs other than trees and turf.
- Plant Material - all trees, shrubs, ground cover, grasses, and other plants.

1.02 RELATED WORK

Contractor : Minimum 5 years experience in supply and installation of landscape materials. A Foreman with a minimum of 5 years experience in related work shall be on site at all times.

1.03 SOURCE QUALITY CONTROL

Provide certificates of inspection for all materials as required by law or regulation.

Package standard materials with manufacturers certified analysis. Provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Chemists for all other material.

Provide trees and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, undamaged, vigorous stock grown under climatic conditions similar to conditions at project site and free of disease, insects, eggs, larvae and defects such as sun-scald, knots, injuries, abrasions or disfigurements. Provide trees and shrubs of the sizes indicated. Trees and shrubs of sizes larger than those indicated may be used provided roots, root ball, staking and planting pits are increased proportionately.

1.04 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

1.05 SAMPLES

Submit the following material samples to Owner's Representative a minimum of 48 hours prior to start of work.

- a. Topsoil for backfill mix (trees and shrubs).
- b. Wood Shavings/Mulch.
- c. Tree supports.
- d. Reserved
- e. Boulders.

The Owner's Representative reserves the right to take and analyze samples of materials for conformity to Specification at any time. Furnish samples upon request by Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the contractors additional expense.

Submit samples of decomposed granite for approval of graduation and color. Sample shall be representative of variations within size and color to be provided.

1.06 PRODUCT DATA

Submit to Owner's Representative a minimum of 48 hours prior to start of work manufacturers comprehensive product description, including specifications and installation instructions.

1.07 CERTIFICATES AND TEST REPORTS

Provide and pay for all materials testing. Testing agency shall be acceptable to the Landscape Architect. Submit to Owner's Representative a minimum of 48 hours prior to start of work 2 copies of certificates of inspection as required by governmental authorities, and manufacturers' vendors certified analysis for soil amendments, fertilizer materials, and chemicals. Submit other data substantiation that materials comply with specified requirements. Certificates are required to determine the quality and quantity of all specified soil amendments.

Materials certification to be submitted include, but are not limited to: Topsoil source and nutrient analysis, mulch, fertilizers/soil amendments/chemicals. Test representative material samples proposed for use. Provide the following data:

- a. Topsoil and planting backfill.
- b. Soil PH.
- c. Particle size, percentage soil texture.
- d. Percentage organic material.
- e. Percolation rate.
- f. Nutrient level analysis.
- g. All macro, secondary and micro nutrient salinity.
- h. ESP.
- i. Free lime.

Recommendations on type and quantity of amendments required to bring levels into acceptable ranges as detailed in Part 2 - Products of Materials of these specifications.

Separate recommendations to be submitted for each crop. Crop to be identified as:

- a. Irrigated trees and shrubs.
- b. Turf.

1.08 MAINTENANCE DATA

Submit to Owner's Representative 2 copies of typewritten instructions, prior to expiration of the initial maintenance period, recommending procedures to be followed by the Owner for the maintenance of landscape work for one full year.

1.09 PRODUCT DELIVERY, STORAGE AND HANDLING

Deliver packaged material in containers showing weight, analysis and identification of manufacturer. Protect materials from deterioration at all times.

Provide protective covers to plant life and trees during delivery. Do not prune trees prior to delivery. Do not bend-tie trees or shrubs in such a manner as to cause damage or destroy shape. Deliver materials after preparation for planting have been completed. Plant immediately. If planting is delayed for more than 6 hours after delivery, set plant material in shade, protect from weather and mechanical damage and keep roots moist.

Do not remove container grown stock including ground cover, from containers until planting time.

1.10 SITE CONDITIONS

Determine location of underground utilities. Execute work as required to prevent damage.

Maintain grade stakes set by others until directed otherwise.

Protect all existing plant life not scheduled for removal. If any plant material that is to remain is damaged, the Contractor, at his expense, will pay for a replacement plant of the same size and species (to be approved by Owner's Representative).

Protect existing utilities, paving and other facilities from damage during landscaping operation.

Coordinate with other contractors.

1.11 WARRANTY

Submit warranty to Owner's Representative. All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.

Trees: Warranty that trees will be alive and in good health for a period of 1 year after acceptance except for defects resulting from neglect by Owner, abuse or damage by others.

Owner must follow Contractors maintenance schedule and provide current maintenance log to Owner's Representative.

Remove and replace dead, unhealthy or girdled trees, that lose original form and size during warranty period with material equal to that specified. Replace any material which does not meet requirements within fifteen days of notification. All replacement trees shall be subject to an additional one year maintenance period.

Shrubs and Other Plantings: Guarantee all other planting will be alive and in satisfactory condition for a period of 1 year from date of acceptance or will be replaced at no additional cost to the Owner. All plant material shall be maintained in a healthy, sturdy condition during the warranty period by the Contractor.

All replacement plants, including shrubs, groundcovers, grasses, vines and perennials shall be subject to an additional 1 year maintenance period.

PART 2 - PRODUCTS AND MATERIALS

2.01 FILL MATERIALS

Provide dry, loose material for fill, backfill, planting backfill and topsoil for planter beds. Frozen or muddy soils are not acceptable. Salts not to exceed 1500 ppm; and material shall be free of debris, noxious weeds, ingredients or objects detrimental to healthy plant growth. Topsoil: Screened, fertile, friable, from well drained arable land, free of nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth; contents as follows:

- a. Silt: 20-45 %
- b. Clay: 15-20 %
- c. Sand: 30-60 %
- d. Organic Material (natural or otherwise): 2 % minimum
- e. pH: 7.0-8.3
- f. Soluble salts: 1,500 ppm.
- g. Nutrients: enough to bring levels up to acceptable plant growth.

Percolation rate shall be between 3 to 4 inches per hour. Existing top soil may be used provided it meets these requirements.

2.02 COMMERCIAL GRADE FERTILIZERS

Agri-Sul, Dispersul - use only for sulfur
Agriculture grade gypsum

2.03 SOIL AMENDMENTS

Wood shavings: nitrogen stabilized fir or pine shavings containing 0.75% total nitrogen and 0.1 to 0.15% total iron, and under 60 ppm total manganese; composted, leached and aged for a minimum of 10 to 12 months; ph factor, 4.0 to 4.5. No soil amendments are required for salvaged plant material unless otherwise specified.

2.04 TREE SUPPORTS

Tree Stakes: 2" diameter or 2X2" square x 10' straight wooden stake (2 required) for 15 gallon or larger tree. No tree stakes area required for salvaged plant material.

Tree Ties: Provide a minimum of two per tree; V.I.T. Cinch-tie vinyl tree tie (2 per stake, length as required). Secure to stake with galvanized nail, 1 per tree.

Anchor (Deadmen): 2 inch x 4 inch x 3 feet long; construction grade redwood.

Signals (Flags): For guy wires, 1/2 inch diameter, white or orange plastic tubing 5 feet long over each guy used.

2.05 HERBICIDES

Pre-emergent and contact Herbicides:

Fertilize all trees and shrubs with 'Agriform' planting tablets, 21 gram or approved equal. Quantity per manufacturer's recommendation.

2.06 PLANTING MATERIAL

Plant Material: Healthy, shapely and well rooted. Roots shall show no evidence of having been restricted or deformed at any time. All plants shall be representative of their normal species and variety. They shall have normally developed branch systems. Plants shall be free from disfiguring knots, sun scald injuries and abrasions of bark. Plants not meeting these requirements shall be considered defective and shall be replaced immediately. All plants shall be true to name and shall be tagged, one of each variety. All plant material shall be grown in nurseries inspected by the State Department of Agriculture unless otherwise approved by the Owner's Representative.

Provide "Specimen" plants with a special height, shape or character. Tag at the source of supply prior to notifying Landscape Architect for inspection. The Landscape Architect shall inspect selections at source of supply for suitability and adaptability to selected location. When specimen plants cannot be purchased locally, provide sufficient photographs of proposed material for approval.

Plants may be inspected and approved at place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

2.07 TURF SOD

As noted on plans.

2.08 MULCH

All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1") bark chips. Submit sample for approval.

2.09 SEED MIXTURE

All lawn areas shall be seeded with 100% Turf Type Tall Fescue. Immediately after placement of sod, water to saturate sod and top 4" of topsoil, install and seed rate per manufacturer's recommendations.

2.10 TREE ROOT BARRIER

Tree root barriers shall be placed adjacent to all trees located in the landscape planter strip and planter islands per The City of Eagle and ACHD standard details. Install per City of Eagle standard detail and manufacturer's recommendations.

PART 3 - EXECUTION

3.01 GENERAL

Install in accordance with the methods, techniques and specifications of each representative manufacturer. If a conflict occurs between manufacturers and these specifications, consult with Owner's Representative for a decision.

Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

3.02 BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

Inspect the integrity of all damp-proofing and water-proofing membranes which occur over, on or against any construction to be fully or partially concealed by earthwork prior to the placement of any imported soil, backfill, gravel fill or sub-base.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw. Stake all trees per details.

Correct defects prior to proceeding with the work.

3.03 TOPSOIL

All seeded lawn areas shall have 6" of topsoil and all planting beds shall have 12" of topsoil. Topsoil shall be a loose, sandy loam, clean and free of toxic materials, noxious weeds, wee seeds, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 5.5 to 7.0. Topsoil from site shall be used if meeting these standards. Place 3/4" Nu-Earth compost over all landscaped areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs in areas to be sodded and 3" in planting bed areas.

Import additional topsoil only as required to bring planting areas up to finish grade. Spread and cultivate soil so that no settling takes place at any time.

3.04 LANDSCAPE FINE GRADING

Allow for the addition of soil amendments, conditioners and any specified top dressing when determining and executing finish grade.

Set finish grade 1-1/2 inches below adjacent paving, curb and headers for shrubs and ground cover beds and areas or as required for installation of mulch or turf sod.

At all planting areas, make entire area smooth and even to finish grade. Cultivate all areas so that there are no bumps or hollows, and the area drains as indicated. Grade and maintain all flow lines, designated or not, to allow free flow of surface water. Cultivate entire area to a depth of 6 inches minimum and remove all rock in excess of 1-1/2 inches diameter, all building rubble, building construction material, waste and any other material that will impair satisfactory growth.

3.05 MULCH

3.06 HERBICIDE APPLICATION

Apply pre-emergent herbicides in accordance with manufacturer's instructions.

Apply contact herbicides in accordance with manufacturer's recommendations. Prior to application, moisten areas for fourteen days to encourage weed germination and growth. Apply before weeds attain a height of 6 inches. Remove taller weeds manually.

Areas to be landscaped shall be maintained in a weed-free condition at all times during construction and maintenance period.

Do not apply pre-emergent herbicides at locations of revegetation seeding. The contractor shall manually remove invasive weeds within these areas.

3.07 TREE SUPPORT

Staked Trees: Stake trees as shown on the drawings within 48-hours of planting.

Tree supports shall be installed to prevent lodging, yet allow for trunk movement. Hoses that encircle trunks shall be large enough to allow for normal growth of the trunk during the first year without girdling.

3.08 TREES, SHRUBS, AND VINES

Layout locations with stakes or gypsum. Coordinate with Owner's Representative to assure appropriate location, prior to installation.

Test drainage of plant beds and pits by filling with water. Notify Owner's Representative of areas where water is retained more than 24 hours.

Where rock, underground construction or other detrimental conditions are encountered at plant pits, Owner's Representative may select alternate location.

Do not expose roots to air except during transplanting. Set up of plants at same level when planted as in the container. Cut plant containers on 2 sides without injuring root ball and carefully remove plant. Do not cut container with spade. Damaged plants will be rejected.

Dig pits with perpendicular sides to a minimum of 2 to 3 times the width (see details) of the root ball for containerized trees and shrubs. Dig pits only as deep as the root ball to prevent settling of the tree or shrub.

Place rootball of vines as close to structure or support system as possible. If rootball can't be placed closer than 12" notify Owner's Representative of situation for inspection and remedy.

Tie vines to trellis supports if applicable with green plant tape and remove any staking supplied with plant material.

Planting Mixture: One part wood shavings Two parts excavated soil amended to meet standards in Part 2.

Mix thoroughly outside the hole before start of backfilling.

3.09 BACKFILLING

Backfill plant pits and form shallow basin around the plant to hold enough water to saturate the root ball and backfill (only form basins if specified on detail). Water plants immediately after planting and allow backfill to settle in plant pit. Do not raise basin rim above surrounding grade.

Puddle planting mixture when pit is 2/3 full of plant mix. Continue back filling to within 1 inch of surrounding grade.

Finish grade to 2 inches below headers or concrete work.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw.

Treat all planting areas with a pre-emergent.

3.10 GROUND COVER

At time of transplanting, soil in flats shall be sufficient so as not to fall apart when lifting plants. Plant each plant with its proportionate amount of the flat soil in a manner that will ensure a minimum disturbance to the root structure.

Plant flat material sufficiently deep to cover all roots. Firmly tamp the earth around each plant to force out large air pockets.

3.11 TURF SOD

Soil Preparation: Provide soil with an organic matter content of 25-percent to 30-percent. Cultivate entire area to a depth of 6" minimum and remove all rock in excess of 1 1/2" all building rubble, building construction material waste and any other material that will impair satisfactory growth. This top 6" must meet the topsoil requirements noted in Section 2.01.

Soil Amendments: Prior to rototilling, apply gypsum at a rate of 100 lbs per 1,000 sq. foot, phosphate at a rate of 2 lbs per 1,000 sq. ft., and soil sulfur at 5 lbs per 1,000 sq. ft. Rototill into soil.

Install sod along the straightest edge of turf area. Stagger joints in a brick-like pattern. Avoid gaps and overlapping. Place sod diagonally across, to avoid sliding. Water sod at least every 30 min. during installation. Finish by watering lightly and roll in two directions w/sod roller.

3.12 WATERING

Water all plants immediately after planting with hose in planting hole until the roots are completely saturated from the bottom of the hole to the top of the ground to avoid drying out until the entire planted area is thoroughly watered and the soil soaked to the full depth of each plant hole. Water stream shall not cause damage to planting hole or plant. Keep exposed roots wet by means of moist sawdust, peat moss or burlap at all times during planting operation. Repeat watering as often as necessary to keep the ground moist but not soaked, well below the root system of the plants.

3.13 CLEAN UP

Keep all areas clean and orderly during and after execution of work. Burning of trash is not permitted.

3.14 ADJUSTMENT

Prune each tree and shrub to preserve the natural character of the plant per American Standards for Nursery stock, as published by the American Association of Nurserymen. Prune only as directed by Owner's Representative and Landscape Architect to remove deadwood, suckers, or broken or badly bruised branches. Replace all plants damaged by excessive pruning, planting operations or construction damage.

3.15 MAINTENANCE PERIOD

When the Owner's Representative and Landscape Architect determine the work to be substantially complete in accordance with the Conditions of the Contract, Contractor will be advised, in writing, that the maintenance period is to begin.

Landscape contractor shall be responsible for maintenance of landscaped areas for a period of 90 days. Maintenance includes watering, trimming, weeding and cultivating of beds.

Landscape contractor, in order to protect his guarantee, shall give typewritten to Owner, a complete maintenance instruction booklet on the care and feeding of the landscape.

Contractor shall request, in writing, a Final Inspection with Landscape Architect at the completion of the maintenance period. If the Owner's Representative determines the work is satisfactory, the maintenance period will end on the date of the Final Inspection. If the maintenance is unsatisfactory, the maintenance period will be extended, at the Contractors expense, until such time as all corrections are made and the work is inspected and approved by the Owner's Representative and Landscape Architect. Retention will not be released until Final Inspection is made and approval issued by the Owner's Representative.

3.16 FIELD QUALITY CONTROL

Notify Owner's Representative of the requirement for inspection at least 48 hours in advance. Inspections are required, but not limited to, the following:

- Inspection and acceptance of plant material prior to shipping.
- At completion of rough grade and boulder placement
- At completion of landscape finish grading and soil preparation, prior to planting.
- At installation of irrigation system, prior to backfilling trenches and planting.
- During installation of specimen trees, or other specimen plant material.
- After staking locations for plant holes, but prior to planting; for approval.
- During the planting process.
- During the placement and aiming of all light fixtures.
- At Substantial Completion of the Work.
- During warranty period to observe maintenance procedures.
- At final Completion of the Work.

SECTION - 02930 SEEDING
PART 4 - APPLICATION

4.01 MATERIALS

Materials shall reflect evidence of proper storage and handling. Any material with indications of improper storage or handling (water, heat, chemical damage and the like), will be removed from the site and replaced by the contractor. All material shall be fresh and delivered in unopened containers. Seed shall be of the latest seasons crop and conform to state and federal seed laws.

2.02 ACCESSORY MATERIALS

Fertilizer: Uniform in composition, granular, free flowing and suitable for application with approved equipment - guaranteed analysis, 16-20-0, ammonium phosphate, or equal at a rate of 300 lbs per acre.

70% Virgin Wood Cellulose Fiber, 30% Max. recycled cellulose fiber:

Specially prepared wood cellulose fiber processed to contain no growth or germination inhibiting factors - maximum moisture content, air dry weight, 12% plus or minus 3% at the time of manufacture; pH range, 4.5 to 6.5.

Ash content 0.8% - 0.3% max.

Charcoal: Gro-Safe agricultural grade powered activated charcoal at a rate of 100 lbs. per acre.

Tackifier: Organic psillium muciloid hydrophilic water soluble dry. Derived from *Plantago ovata/insularis powder* at 70% min. purity, containing no agents toxic to seed germination. Addition of tackifier to the slurry mix shall not change the properties of the tackifier. When applied, tackifier shall form a transparent crust permeable by water and air.

Water: Free of substances harmful to seedling growth - water source to be approved by Owner's Representative prior to use.

PART 5 - EXECUTION
5.01 PREPARATION

Limit preparation to areas that will be immediately seeded. Do not disturb natural areas or newly planted trees or shrubs in seed areas. Where equipment can operate, loosen topsoil to a depth of 4 inches by ripping using scarifier teeth. Rip along the contour to prevent runoff and erosion. Use hand tools where equipment can not operate. Remove and dispose of all stones 4" or greater, sticks, roots, rubbish or other deleterious material. Repair erosion damage, grade and slope as directed prior to seeding.

Spread 300 lbs./acre fertilizer as specified.

Rough harrow to break up any large dirt clods.

Fine harrow to create suitable seed bed.

5.02 APPLICATION

Apply seed immediately upon completion of tillage operation.

Seeding work should commence as soon as possible after site has been prepared. It is desirable to seed into a loose, friable surface which has not been allowed to crust or erode. Any undesirable weak growth or competing vegetation should be removed prior to seeding operations.

Hydroseed all material evenly in one (1) application of a uniform slurry of water, hydrofiber (mulch), seed, tackifier, fertilizer, soil conditioner, and other specified materials. Material shall be sprayed on all designated areas with overlapping on the crests of tops of berms and cuts.

Seed indicated areas within contract limits and areas adjoining contract limits disturbed due to the seeding preparation process.

Use a hydroseeder with a gear type pump with continuous paddle agitation during application. Do not put seed into water until just before the start of seeding.

Apply seed, mulch, fertilizer and tackifier in a one step process: Slurry mix of water, seed, 300 lbs./acre of fertilizer, 80 lbs./acre tackifier for slopes less than 3:1, 100 lbs./acre for slopes greater than 3:1 and 2000 lbs./acre of wood fiber for slopes greater than 3:1, 1800 lbs./acre for slopes less than 3:1.

5.03 ESTABLISHMENT

Provide protective devices as required to protect seeded areas from traffic for 30 days.

Repair and reseed areas damaged by erosion or poor germination.

5.04 INSPECTION

Seeding operations and areas are subject to inspection at any time during installation for compliance with specified materials and installation requirements. Any method of installation or use of materials not in conformance with the Contract Documents will be reinstalled, repaired or removed, as directed by the Owner's Representative, at no additional cost to the Owner.

Formal inspections will be conducted by the Owner's Representative at the following work intervals:

Soil scarification upon completion. Seed containers at time of delivery. At time of seed and slurry mixing. During application of seed. During application of mulch. Weekly for seed and weed germination. Final inspection and approval - at the end of landscape establishment.

5.05 ACCEPTANCE

Upon notice of completion of the work from the landscape contractor, at the end of the Landscape Establishment period, the Owner's Representative will make an inspection. If all work provided for in the Contract Documents is found to be complete and the planted seeds yield a minimum stand as determined by the Owner's Representative based upon the specified germination rates and species used, and the seeded areas are free of weeds, disease and insects, this inspection will constitute the Final Inspection. The Owner's Representative will notify the Contractor in writing of this Acceptance.

If the inspection reveals any unsatisfactory work, the Contractor will reseed as necessary until the work is accepted by the Owner's Representative.



CITY OF STAR FINAL PLAT AND CONSTRUCTION DRAWING REVIEW CHECKLIST

Subdivision: Moon Valley Phase: 7 Date: 2/15/2023

Developable Lots: 23 Review No: 1

Developer: M3 – Mark Tate

Tel: 208-939-6263 Email: _____

Engineer: JUB – Matt Price

Tel: 208-376-7330 Email: mprice@jub.com

Property Address: _____

Review Check By: Ryan Morgan, P.E., City Engineer

FINAL PLAT REVIEW

ITEM	OK	NEED	N/A	FINAL PLAT APPLICATION REQUIREMENTS
1	X			Submit two (2) copies of final engineering construction drawings showing streets, sidewalk, water, sewer, pressure irrigation, street lighting, landscaping, and other public improvements.
2	X			Submit one (1) 8½ x 11 map showing property in relation to floodplain and/or floodway. Provide Floodplain Development Permit Application as required.
4		X		Landscape plan provided. Confirm consistent with approved preliminary plat.
5	X			Verified written legal description.
6		X		Letter of credit for outstanding pressure irrigation and landscaping improvements only when weather conditions precludes construction of improvements prior to signature of mylar.
ITEM	OK	NEED	N/A	FINAL PLAT REVIEW
7	X			Public and private easements are shown on plat for open spaces, access drives, drainage facilities, floodway maintenance boundaries, offsite storage areas and connecting piping for detached flood water storage impoundments, existing irrigation ditches, new irrigation ditches or pipelines, bicycle / pedestrian pathways (connectivity to adjacent developments), and irrigation piping.
8	X			Right to Farm Act Note on face of plat.
9		X		Note on face of plat: "This subdivision is located within zone XX as shown on the firm panel ###, City of Star, Ada County, (or Canyon County?) Idaho and Incorporated Areas. A building permit shall not be issued

				for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit.” Include floodway in note 13
10	X			10-foot utility and irrigation easements are shown, or noted, along the front lot lines, rear lot lines, and side lot lines as required.
11	X			Note is shown on the final plat: “Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and / or required, or as shown on the this plat.”
12	X			Seal of Professional Land Surveyor is displayed, dated, and signed on face of plat.
13	X			Water and sewer easements shown on face of plat. In Owner Certification referencing sewer and water.
14	X			On the signature page of the plat please include the following “I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, _____, HEREBY APPROVE THIS PLAT.” underneath the <u>APPROVAL OF CITY ENGINEER</u> line, and before the signature line.

CONSTRUCTION DRAWING REVIEW

ITEM	OK	NEED	N/A	GENERAL
15	X			Construction drawings are stamped, signed, & dated by a professional engineer licensed in the State of Idaho.
16	X			Natural features map showing all existing site features and 1-foot contour elevations is provided in accordance with the City's code.
17	X			Each sheet has north arrow, graphic scale, date, title block and sheet number.
18	X			All profiles are drawn to the same horizontal scale as plan views.
19	X			Street lighting plans are provided showing pole locations at every corner and end of cul-de-sac and luminary types. All street lighting shall be in accordance with the current edition of the ISPWC and the City of Star Supplemental Specifications.
ITEM	OK	NEED	N/A	FLOODPLAIN DEVELOPMENT
20	X			Provide completed Floodplain Application. Floodplain application must be approved prior to approval of final

				plat.
21		X		Floodplain and floodway boundaries and elevations are shown on the grading plans and final plat. Lot 11 located partially in the Floodway, is that the proposed or existing please clarify I believe it is labeled incorrectly. Add BFE cross section to grading plan
22		X		Building lowest floor elevations are greater than or equal to 2-feet above the base flood elevation, or verification is provided of flood proofing. See comment 21
23			X	Enclosed spaces located below 2-feet above the BFE adequately vented (1 square inch of venting per square foot of enclosed space).
24	X			Roadway centerline elevations and manhole and other minor structure rim elevations are 0.5-feet above the base flood elevation.
25		X		All buildings are set back a minimum of 50-feet from the floodway boundary line except that when the area of special flood hazard boundary is 50-feet or less from the flood way line, the boundary line shall be the setback line. See comment 21.
26			X	Easements and conveyance provisions have been made for connection between the floodway and any detached floodwater storage impoundment.
27			X	Calculations are provided and show 48-hour max time period for 100% utilization of detached storage impoundment.
ITEM	OK	NEED	N/A	GRADING PLAN
28	X			Grading plans are provided and are stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
29	X			The vertical datum used for elevations shown on grading and drainage plans is NAVD 88 for all developments that are fully or partially within the floodplain.
30		X		Grading plans show finished, existing, and base flood 1-foot contour elevations. See comment 21
31	X			Drainage facilities and easements are shown.
32	X			Plan and profile sheets show proposed and existing utilities (rim elevations, pipe invert elevations, etc.), finished centerline roadway grades, existing grade, and base flood elevations.
33	X			Existing irrigation ditches, canals, and easements are shown.
34	X			Cut and fill slopes are no steeper than 2H:1V. (Spot checked by City Engineer)
35	X			Tops and toes of all cut and fill slopes are set back from property boundary at least 3-feet plus 1/5 the height of the cut or fill but need not exceed 10-feet. (Spot checked

				by City Engineer)
36	X			Tops and toes of cut and fill slopes are set back from structures 6-feet plus 1/5 of the height of the cut or fill but need not exceed 10-feet. (Spot checked by City Engineer)
37	X			Provisions have been made for permeant erosion control at pipe outfalls, along steep earth slopes, and within drainage ditches.
38	X			Existing and proposed elevations match at property boundaries.
ITEM	OK	NEED	N/A	DRAINAGE PLAN
39	X			Drainage plans are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
40	X			Drainage calculations are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.
41	X			Narrative is provided that describes the proposed method of stormwater retention.
42	X			Drainage calculations contain no arithmetic errors. Drainage basin map areas match calculations. (Spot checked by City Engineer)
43	X			The design storm, percolation rate, or other design criteria are within accepted limits. (ITD Zone A—IDF Curve; Storage designed for 100 year storm; Primary conveyance designed for 25-year storm)
44	X			Peak discharge rate and velocity through sand and grease traps calculated and are less than 0.5 ft/sec.
45	X			Section view of drainage facility provided.
46	X			Able to determine drainage directions from information given.
47	X			Drainage facilities do not conflict with other utilities. (Spot check by City Engineer)
48			X	Provision for conveyance or disposal of roof drainage provided for commercial developments.
49	X			Storm water pretreatment provided. BMP facilities are designed in conformance with the "State of Idaho Catalog of Stormwater Best Management Practices".
50	X			5-foot setback from property line maintained for drainage facilities.
51	X			Drainage basin / pond dimensions listed or noted.
52	X			Drainage facilities drawn to scale on grading and drainage plan.
53			X	Drain rock, ASTM C33 sand, or pond liner specified.
54			X	3-foot separation from bottom of drainage facility to

				maximum seasonal high groundwater elevation shown on detail. Ground water elevation must be shown, if not encountered provide elevation of the bottom of deepest test pit.
55			X	Vegetative cover shown over biofiltration facilities.
56			X	Appropriate license agreements have been executed and are provided for offsite discharge of storm water.
ITEM	OK	NEED	N/A	GRAVITY IRRIGATION
57	X			Plan approval letter is provided from the appropriate irrigation district.
ITEM	OK	NEED	N/A	PRESSURE IRRIGATION
58	X			Plans for a pressure irrigation system are provided (Required only if development contains more than four lots).
59	X			The pressure irrigation system is <i>not</i> connected to the potable water system.
60	X			Design provides a minimum of 15 gpm @ 45 PSI to each destination point.
61	X			If pressure irrigation will not be available to each lot at all times, provide rotation schedule for irrigation system usage identifying times and days that pressure irrigation will be available to each lot.
62	X			Easements are provided for all pressure irrigation piping. (Note on face of plat).
63		X		Main line distribution piping is 3-inches in diameter or greater. It seems that the main in lot 11 should extend to the lot line on the west for extension into phase 8
64	X			Provisions are made for diversion and flow measurement from a gravity irrigation source ditch.
65	X			Applicant provided verification with a signed contract indicating written assurance that provisions have been made for ownership, operation, and maintenance of the irrigation system.
66			X	Provide written verification and plan approval from Star Sewer and Water District if potable water is planned to be used as a secondary irrigation source.
67	X			Provided verification that water rights and/or irrigation shares will be transferred to the association managing entity.
ITEM	OK	NEED	N/A	RE-SUBMITTAL REQUIREMENTS*
68		X		Return (1) one revised plan set in pdf format to the City of Star Engineer . PDF may be provided via email or on a thumb drive Unbound or un-collated plan sets will not be accepted.
69		X		Provide a response letter, referencing the City of Star

				checklist with the revised plan set that highlights what actions were taken to correct any outstanding items.
--	--	--	--	--

***All re-submittals should be returned to the City of Star for re-review.**

Notes:

Additional Final Plat Comments:

-

Additional Construction Drawing Comments:

-



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star - Planning & Zoning Department *Shen T. Muth*

MEETING DATE: **May 2, 2023**

FILE(S) #: FP-23-03, Final Plat, Cranefield Subdivision Phase 1

REQUEST

Applicant is seeking approval of a Final Plat for Cranefield Subdivision Phase 1, consisting of 73 residential lots and 5 common lots on 10.66 acres. The property is located at 12667 W. State Street in Star, Idaho. Ada County Parcel Number S0418223400.

APPLICANT:

Williams Communities
21080 Centre Point Pkwy
Santa Clara, CA 91350

OWNER:

WH Star 203, LLC
11760 W. Executive Dr., Ste. 120
Boise, Idaho 83713

REPRESENTATIVE:

Tim Nicholson
Kimley-Horn & Associates
1100 W. Idaho St., Ste. 210
Boise, Idaho 83702

PROPERTY INFORMATION

Land Use Designation - Residential R-4-DA

Phase 1

Acres -	10.66 acres
Residential Lots -	73
Attached -	66
Detached -	7
Common Lots -	5
Commercial Lots -	0

HISTORY

June 1, 2021	Council approved applications for Rezone (RZ-21-02), Preliminary Plat (PP-21-05), Private Road (PR-21-04) and Development Agreement (DA-21-04) for Cranefield Subdivision. The preliminary plat was approved for 137 detached single family residential lots and 66 attached single family
--------------	--

June 28, 2021

residential lots and 12 common lots on 50.56 acres with a density of 4.0 dwelling units per acre.

The Council received a request for reconsideration from Pinewood Lakes Community Association on June 28, 2021. On August 3, 2021, the Council granted the request for reconsideration and directed the Staff to provide revised Findings of Fact, conclusions of Law that address specific claims made by the Petitioner of the reconsideration request regarding the deficiencies in the record as it relates to Sections 8-1B-1C and 8-6A-7 of the Star Unified Development Code.

GENERAL DISCUSSION

The Final Plat layout for Cranefield Subdivision, Phase 1 generally complies with the approved Preliminary Plat. After Phase 1, there will be a total of 66 attached lots platted, leaving 0 attached residential lots for future phases and 7 detached lots platted, leaving 130 detached residential lots for future phases of the development. The preliminary plat was approved with a total of 203 residential lots (66 attached and 137 detached).

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

The Preliminary Plat submitted contains 203 single family residential lots, and 12 common area lots for a total of 215 total lots. The residential lots will include 137 detached single-family dwellings and 66 attached single-family townhomes. Lots range in size from 1,545 square feet (attached townhomes) to 25,586 square feet with the average lot size of 6,281.58 square feet. The street system within the development will be both public and private. Proposed local public streets and private streets measure 36 ft from back of curb to back of curb on the submitted preliminary plat which meets the minimum City width requirement of the UDC. The private alleyways within the townhome section of the development will measure 24 feet in width. The Star Fire District has approved the width of the alleyways.

The applicant has indicated on the preliminary plat that the development will contain a total of 13.53 acres (26.8%) of open space with the majority being usable open space (over 15%). This exceeds the minimum requirements for total and usable open space in the current Unified Development Code, Section 8-4E-2. Amenities proposed include a community pool with on-site restroom and changing rooms, a tot lot, an open space park with picnic area, a public pathway along the Lawrence-Kennedy Lateral that will connect to the east and west, and a pond with a fishing dock.

The development has two current access points, including an access to the east at W. Bridger Bay Drive (Pinewood Lakes Subdivision), and north at S. Quincannon Avenue (Stonecrest Subdivision). In addition, two stub streets to the west are included for future connection to S. Can Ada Road extension and a future planned collector road to the west.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Sidewalks are proposed at five-foot (5') widths and will be detached throughout the subdivision with 8-foot landscape strips.
- Streetlights
A streetlight location plan and design sample has been submitted by the applicant. Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a concept design for the streetlights that meet the intent of this criteria. Staff will continue to work with the applicant on the final design.
- Pathways
The development contains several internal pathways throughout the development linking open space and amenities to the residents. City policy requires all pathways to be improved with a concrete or asphalt surface. The City has also been working towards public pathway connections along canals and other waterways with the individual irrigation districts. The applicant has included a pathway along the Lawrence-Kennedy lateral that will connect the proposed community to the east and eventually the north and west. The applicant shall provide a public easement for this pathway.
- Subdivision and Street Names
Street names will be approved by Ada County prior to signature of final plat. The subdivision name has been approved by the County Surveyor.
- Landscaping
As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan meets this requirement.
- Floodplain
The property is located within a Special Flood Hazard Area. The applicant shall submit an application Permit to Develop in an Area of Special Flood Hazard to the City Engineer for review and approval.
- Block Length Waiver
Many of the block lengths in the proposed subdivision exceed the 750' maximum block length requirement. Given the physical constraints of the property, including the locations of existing stub street from the east and north, along with the unique, circuitous layout of the street system and use of private streets, Staff is supportive of

a waiver to the block lengths in this development. The applicant should work with the Highway District with regards to traffic calming technics, if necessary.

- Phasing Plan

The applicant has submitted a phasing plan for this development.

- Setback Waiver

The applicant has requested the following setbacks through the Development Agreement for the attached single-family dwellings:

- **Zero (0') setback for interior lot lines, and**
- **3-foot rear setback from garage to alley.**
- **14-foot corner side yards from back of sidewalk.**
- **14-foot front yards from back of sidewalk.**
- **15 feet minimum between buildings.**

Staff analysis of Final Plat Submittal:

Lot Layout – The gross density of Phase 1 is 6.85 du/acre, with attached and detached single family residential lots.

Common/Open Space and Amenities – Proposed in Phase 1:

- Tot Lot
- Walking Trail Along Lawrence Kennedy Canal

Mailbox Clusters – The Star Postmaster, Mel Norton has approved the mailbox clusters for this development to be placed on the south side of Hwy 44, between N. Can Ada Road and S. Highbrook Way, which appears to be on the southeast corner of Block 4, Lot 31 of Phase 1. The Postmaster's letter of approval was included in the application material.

Streetlights –A Streetlight design has been provided with the final plat application and the proposed light style and type meet Dark Sky requirements and comply with the City Code. A streetlight plan was also included in the final plat application. Staff is supportive of the location of streetlights in this phase.

Street Names – Letter or approval of street names from Ada County was included in the application packet and are reflected accordingly on the submitted final plat.

Sidewalks – Sidewalks are proposed to be 5 foot wide and detached throughout the development with eight foot (8') wide landscape strips.

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of

street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on April 13, 2023.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

B. Public services are available or can be made available and are adequate to accommodate the proposed development.

Staff finds that all public services are available and able to accommodate this development.

C. There is public financial capability of supporting services for the proposed development.

Staff knows of no financial hardship that would prevent services from being provided.

D. The development will not be detrimental to the public health, safety or general welfare; and, *Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*

E. The development preserves significant natural, scenic or historic features.

Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

Council added to the Preliminary Plat application and Development Agreement the following conditions of approval to their decision to approve the applications to include the following:

- Match rear lot widths of Lots 2-9, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east. This may result in the removal of one (1) lot.
- Match rear lot lines of Lots 11-24, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east

and utilize those lot widths adjacent to the pie shaped lots. This may result in the removal of one (1) or more lots.

- Construction traffic shall be directed north to W. State Street via the Stonecrest Subdivision access. No heavy equipment shall be transported to or from the construction site through adjacent subdivisions during normal school bus pick-up or drop-off hours.
- Twenty Foot (20') rear yard setbacks (R-2 standard) shall only be allowed on all lots along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6* of the approved Preliminary Plat).
- Single-story homes shall be required where abutting existing single-story homes in Pinewood Lakes Subdivision along the eastern boundary of the development, south of the Lawrence Kennedy Canal (Lots 11-24, Block 6* of the approved Preliminary Plat).
- Parking spaces shall be provided for the pool for guest parking. This shall be illustrated in the revised landscape plan.
- A Conditional Letter of Map Revision (CLOMR) shall be required prior to any construction on the property.
- A six-foot (6') vinyl fence shall be constructed along the entire western boundary of the subdivision adjacent to the existing agricultural use to the west. A gate shall be required at the northern stub street to the west unless an emergency or secondary access connection is not obtained, at which point the fencing shall be solid at the stub.
- The developer shall extend the right of way of the future extension of Bridger Bay Drive to the north boundary of the subdivision at the 3-way intersection in the northwest corner of the development in order to accommodate a potential four-way intersection and future northern roadway extension. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.
- Rear fences of lots, where fencing currently does not exist, abutting Pinewood Lakes Subdivision south of the Lawrence-Kennedy Lateral shall have wrought iron style fencing installed by the developer.
- The applicant shall dedicate a public access easement for the pathway along the Lawrence-Kennedy Lateral to the City for public use.
- The Council hereby allows, through the Development Agreement process, waivers to the 750' maximum block length and the allowance of attached single-family dwellings in the R-4 zoning district.
- The Council hereby allows the following setback waivers for the attached single-family dwellings:
 - Zero (0') setback for interior lot lines, and
 - 3-foot rear setback from garage to alley.
 - 14-foot corner side yards from back of sidewalk.
 - 14-foot front yards from back of sidewalk.

- 15 feet minimum between buildings.

*Lot numbers subject to change with revised Preliminary Plat

CONDITIONS OF APPROVAL

1. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City approximately \$355 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$72,798.00. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 1 has 73 residential lots for a fee of \$25,915.00 (73 x \$355).**
2. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
3. **The applicant shall submit a revised Landscape Plan referencing the revised Preliminary Plat and including parking spaces at the pool area, a six-foot (6') vinyl fence along the entire western boundary of the development with an optional gate at the northernmost western stub if access is granted, and wrought iron fencing along the eastern boundary of the development, south of the Lawrence-Kennedy Lateral, where existing fencing does not exist.**
4. **The applicant shall provide a recorded public easement for the pathway located along the Lawrence-Kennedy Lateral prior to signature of the Final Plat.**
5. **The applicant shall submit a revised Preliminary Plat matching rear lot widths of Lots 2-9, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent Pinewood Lakes Subdivision to the east and matching rear lot lines of Lots 11-24, Block 6* of the approved Preliminary Plat with rear lot lines of the adjacent rectangular lots in Pinewood Lakes Subdivision to the east and utilizing those lot widths adjacent to the pie shaped lots. The Preliminary Plat shall also show the right of way of Bridger Bay Drive in the northwest corner of the development at the intersection extending to the north property line for potential future extension to the north. If a connection to the north is not approved within one year of the approval date of Cranefield Subdivision, this condition shall not apply.**
6. The approved Preliminary Plat for Cranefield Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
7. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.

9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
13. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
14. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
15. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
16. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service.
17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
18. A separate sign application is required for any subdivision sign.
19. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
20. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
23. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
24. All common areas shall be maintained by the Homeowners Association.
25. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
26. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
27. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.

28. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.

29. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File # FP-23-03 Cranefield Subdivision, Final Plat, Phase 1
on _____, 2023.

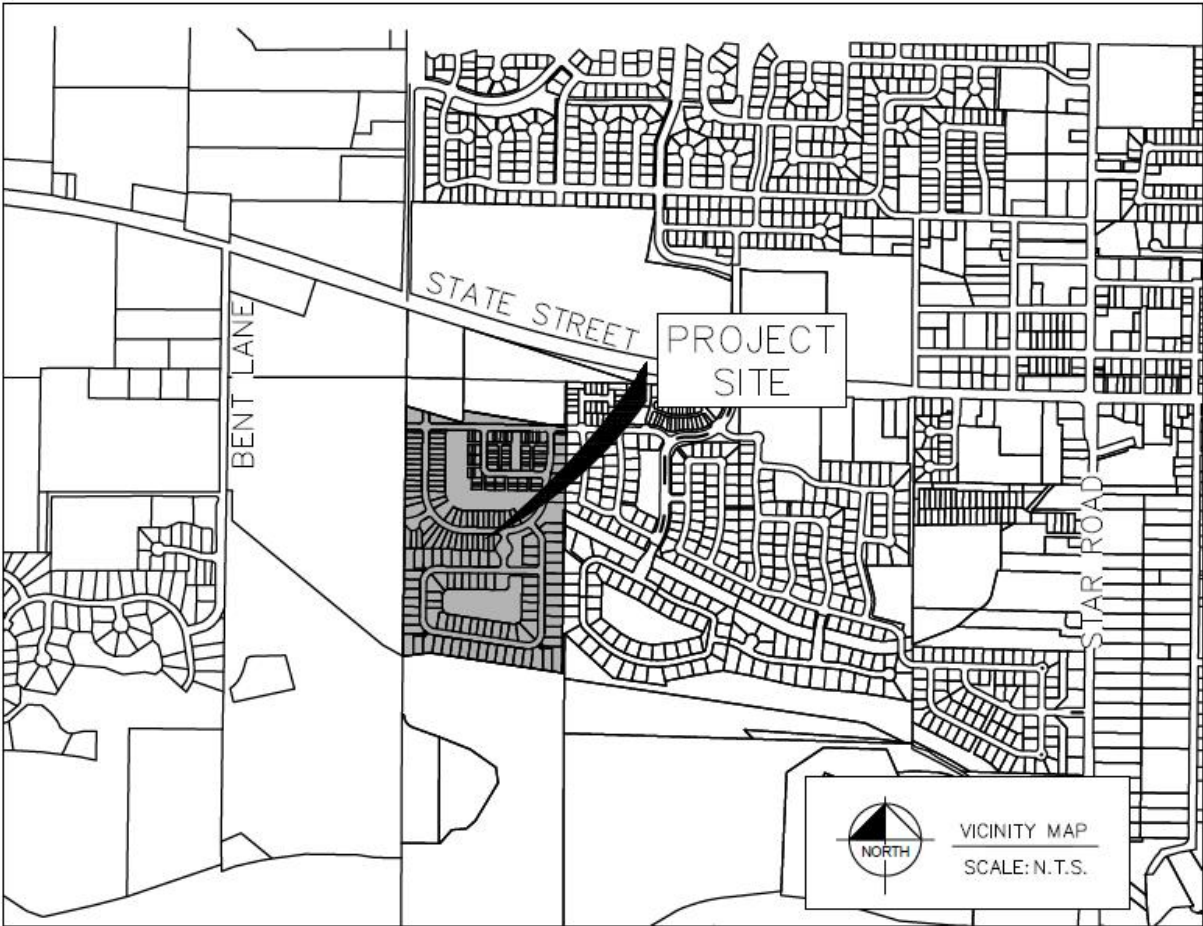


Figure 1: Vicinity Map



March 8, 2023

City of Star
Planning and Zoning
P.O. Box 130
Star, Idaho 83669

RE: Cranefield Subdivision No. 1

Dear Ryan,

Attached for your review is the Final Plat application for Cranefield Subdivision No. 1. This plat has been submitted in conformance with the City of Star's Zoning Code and substantial compliance with the approved Preliminary Plat and Conditions of Approval.

Cranefield No. 1 includes 66 single-family attached residential lots and 7 detached single-family residential lots on approximately 10.66 acres. The gross density is 6.85 units per acre. The typical detached lot width is 72-feet and lot sizes will range from 6,900 SF to 9,650 SF. The typical single-family attached lot is 32-feet wide and ranges from 1,450 SF to 4,850 SF in lot size. The overall open space for phase 1 is 3.19 acres (approximately 30.0%) with 2.47 acres of useable open space. Amenities for the phase 1 subdivision include a playground in the central open space area and a walking trail along the Lawrence Kennedy Canal; the remaining landscape areas will be generously planted.

Construction of Cranefield Subdivision No. 1 will substantially comply the approved preliminary plat. If you have any questions or need additional information, please reach out to me at 208-410-6147 or at tim.nicholson@kimley-horn.com.

Thanks for your review and assistance with this application,

A handwritten signature in blue ink, appearing to read 'Tim Nicholson'.

Tim Nicholson, P.E.
Project Engineer



03/09/2023 11:21:49 AM

City of Star, Idaho 83669
P.O. Box 208-286-7247
Section 5, Item C.

FINAL PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: FP-23-03
Date Application Received: 03/09/2023 Fee Paid: _____
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative X

Applicant Name: Williams Communities
Applicant Address: 21080 Centre Pointe Pkwy, Santa Clara, CA Zip: 91350
Phone: _____ Email: _____

Owner Name: WH Star 203, LLC
Owner Address: 11760 W. Executive Dr., Suite 120, Boise ID Zip: 83713
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
Contact: Tim Nicholson Firm Name: Kimley-Horn & Associates
Address: 1100 W. Idaho Street, Suite 210, Boise, Idaho 83702 Zip: 83702
Phone: 208-410-6147 Email: tim.nicholson@kimley-horn.com

Property Information:

Subdivision Name: Cranefield Subdivision Phase: 1

Parcel Number(s): S0418223400

Approved Zoning: R4 Units per acre: 4

Total acreage of phase: 10.66 acres Total number of lots: 78

Residential: 73 Commercial: _____ Industrial: _____

Common lots: 5 Total acreage of common lots: 3.19 acres Percentage: 30.0%

Percent of common space to be used for drainage: 8.5% Acres: 0.27 acres (underground beds)

Special Flood Hazard Area: total acreage 1.91 (Approved CLOMR) number of homes 0

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>73</u>	<u>73</u>
Number of Common Lots:	<u>5</u>	<u>5</u>
Number of Commercial Lots:	<u>0</u>	<u>0</u>
Roads:	<u>Bridger Bay Dr, Road B, Road C, Alley 1, Alley 2, Alley 3, Alley 4, Alley 5, Alley 6, Alley 7, Alley 8, Alley 9</u>	<u>Bridger Bay Dr, W. Callisto Ln, W. Mars Ln, S Koyukuk Ave, S. Pecknold Ln, S Ripplerock Ln, W. Shapely St, S. Quincannon Ave</u>

Amenities: _____

Tot Lot in Block 3 Lot 7

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):Subdivision Name: Cranefield Subdivision Phase: 1Special Flood Hazard Area: total acreage 1.91 (Approved CLOMR) number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0125J, 16001C0120J
 FIRM effective date(s): mm/dd/year 06/19/2020
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE
 Base Flood Elevation(s): AE____.0 ft., etc.: AE 2458.0 ft., AE 2460.0 ft.
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

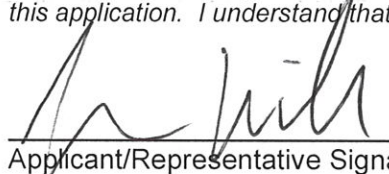
Application Requirements:*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> Gross density of the phase of the Final Plat submitted Lot range and average lot size of phase Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities List any specific approved building setbacks previously approved by Council. 	
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
X	One (1) 11" X 17" paper copy of the Final Plat	
X	Electronic copy of the Final landscape plan**	

X	One (1) 11" X 17" copy of the Final landscape plan	
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	
N/A	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight design and location information	
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
N/A	Electronic copy of all easement agreements submitted to the irrigation companies	
	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	
	Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance: <ul style="list-style-type: none"> One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat Electronic copy of final, approved construction drawings Electronic copy of as-built irrigation plans Electronic copy of recorded CC&R's Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. 	
	**NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


Applicant/Representative Signature

2/28/2023
Date

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS ANGELES

On Feb 28, 2023

Date

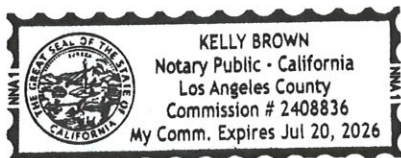
before me, Kelly Brown, Notary Public

Here Insert Name and Title of the Officer

personally appeared LANCE K. WILLIAMS

Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



Place Notary Seal and/or Stamp Above

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Signature of Notary Public

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: FINAL PLAT APPLICATION

Document Date: Feb. 28, 2023

Number of Pages: 4

Signer(s) Other Than Named Above: n/a

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer – Title(s): _____

☐ Partner – ☐ Limited ☐ General

☐ Individual

☐ Attorney in Fact

☐ Trustee

☐ Guardian or Conservator

☐ Other: _____

Signer is Representing: _____

Signer's Name: _____

☐ Corporate Officer – Title(s): _____

☐ Partner – ☐ Limited ☐ General

☐ Individual

☐ Attorney in Fact

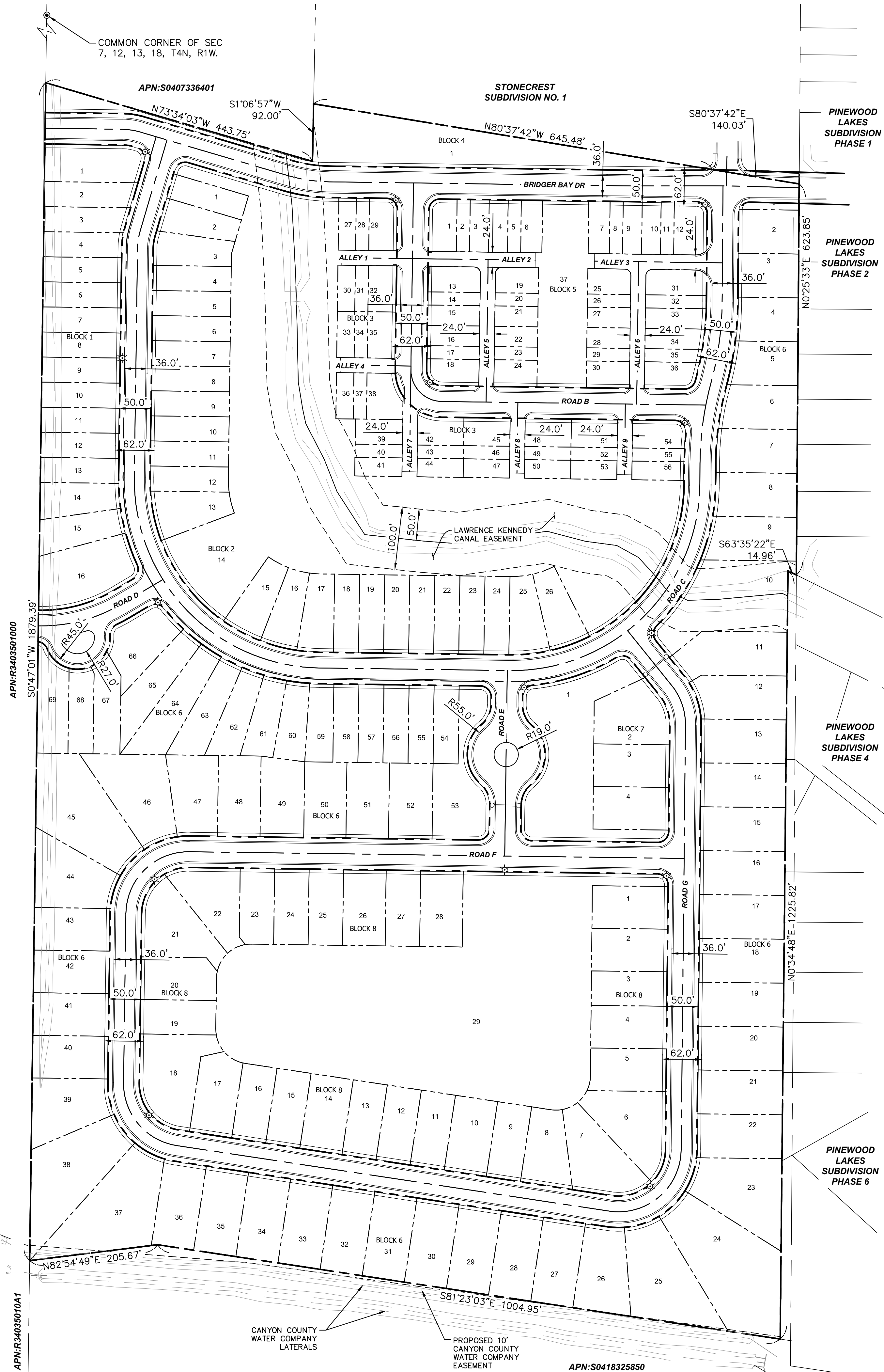
☐ Trustee

☐ Guardian or Conservator

☐ Other: _____

Signer is Representing: _____

K:\B01\civil\093683000_CraneField\CADD\Plan Sheets\PP-CVR.dwg Jun 01, 2021 Tim Nicholson
XREFS: 18W_XTP_A1E-PP the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. REUSE OF ANY PART OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



CRANEFIELD SUBDIVISION PRELIMINARY PLAT

A PORTION OF THE NW $\frac{1}{4}$ OF SECTION 18,
TOWNSHIP 4 NORTH, RANGE 1 WEST
ADA COUNTY, IDAHO

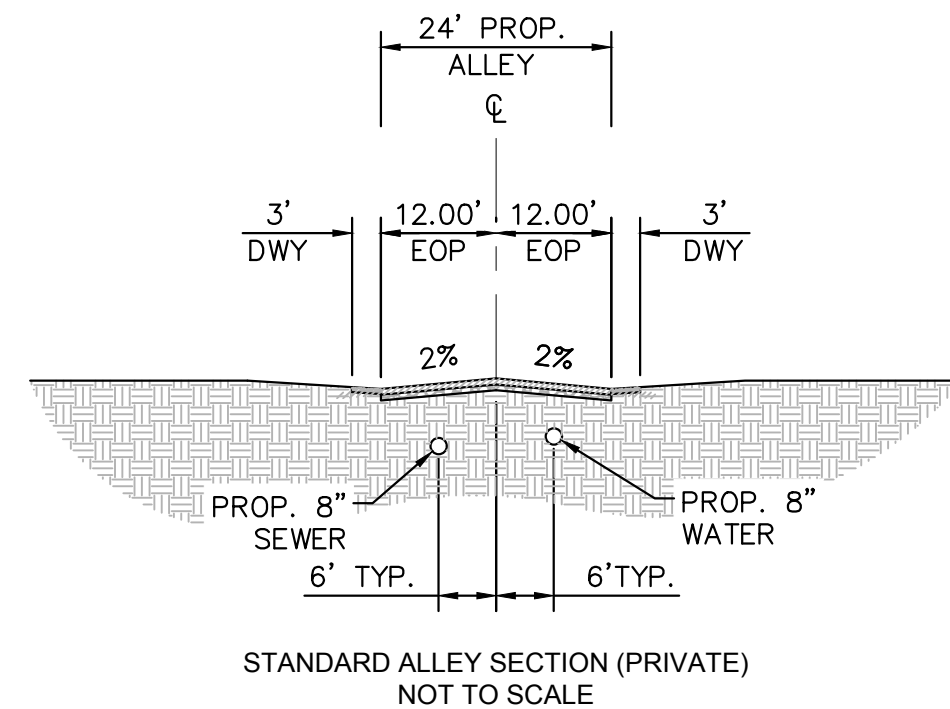
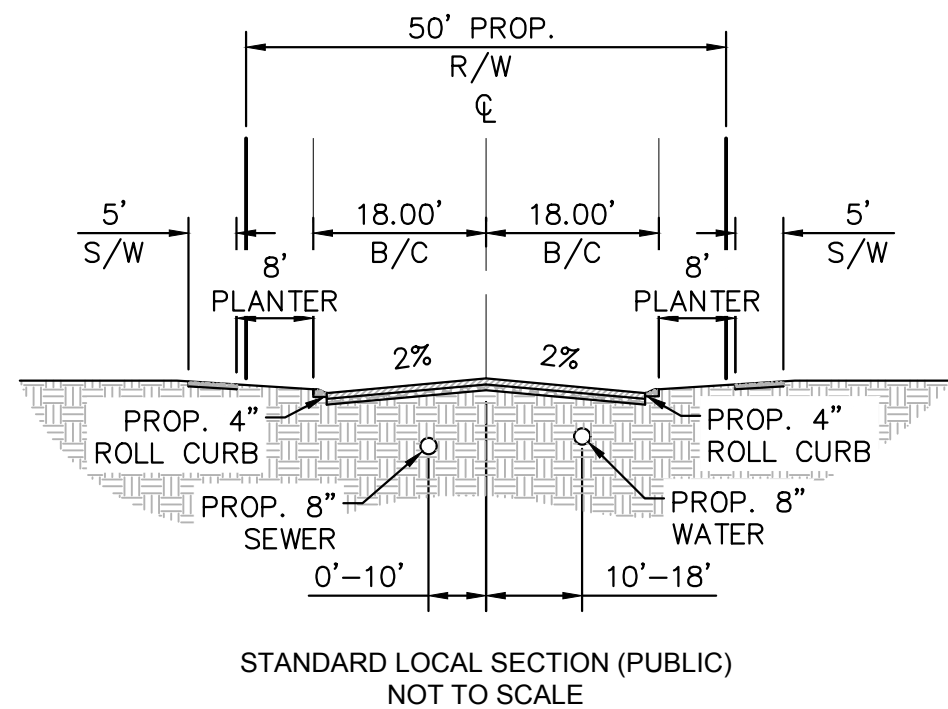
CRANEFIELD LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST $\frac{1}{4}$ OF SECTION 18, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SECTION 18 FROM WHICH THE WEST $\frac{1}{4}$ CORNER OF SAID SECTION 18 BEARS SOUTH 88°25'08" EAST, 2,504.41 FEET; THENCE ON THE WEST BOUNDARY LINE OF SAID SECTION 18, SOUTH 00°47'01" WEST, 215.68 FEET TO THE REAL POINT OF BEGINNING;
THENCE SOUTH 73°34'03" EAST, 443.75 FEET;
THENCE NORTH 01°06'57" EAST, 92.00 FEET TO THE SOUTHWEST CORNER OF STONECREST SUBDIVISION NO. 1 AS FILE IN BOOK 119 OF PLATS AT PAGES 18528 THROUGH 18532, RECORDS OF ADA COUNTY, IDAHO;
THENCE ON THE SOUTHERLY BOUNDARY LINE OF SAID STONECREST SUBDIVISION NO. 1 AND THE EASTERLY EXTENSION THEREOF, SOUTH 80°37'42" EAST, 785.51 FEET TO THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 1 AS FILE IN BOOK 87 OF PLATS AT PAGES 9974 THROUGH 9976, RECORDS OF ADA COUNTY, IDAHO;
THENCE ON THE WEST BOUNDARY LINE OF SAID PINWOOD LAKES SUBDIVISION PHASE 1 AND THE WEST BOUNDARY LINE OF PINWOOD LAKES SUBDIVISION PHASE 2 AS FILE IN BOOK 92 OF PLATS AT PAGES 11022 AND 11023, RECORDS OF ADA COUNTY, IDAHO, SOUTH 00°25'33" WEST, 623.85 FEET TO THE SOUTHWEST CORNER OF SAID PINWOOD LAKE SUBDIVISION PHASE 2;
THENCE LEAVING SAID WEST BOUNDARY LINE, NORTH 63°35'22" WEST, 14.96 FEET;
THENCE SOUTH 00°34'48" WEST, 1,225.82 FEET;
THENCE NORTH 81°23'03" WEST, 1,004.95 FEET;
THENCE SOUTH 82°54'49" WEST, 205.67 FEET TO THE WEST BOUNDARY LINE OF SAID SECTION 18;
THENCE NORTH 00°47'01" EAST, 1,879.39 FEET TO THE REAL POINT OF BEGINNING.

CONTAINING 2,201,105 SQUARE FEET OR 50.53 ACRES, MORE OR LESS.
END OF DESCRIPTION.

PRELIMINARY PLAT NOTES

1. CONTOUR AND SPOT ELEVATION DATA IS REFERENCE TO NAVD '88 DATUM.
2. THE PUBLIC STREETS IN THIS DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACHD STANDARD FOR PUBLIC STREETS.
3. LOT 14, BLOCK 2; LOT 1, BLOCK 4; LOT 37, BLOCK 5; LOTS 1, 10, AND 53, BLOCK 6; LOT 1, BLOCK 7; AND LOTS 18 AND 29, BLOCK 8 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE CRANEFIELD SUBDIVISION HOMEOWNERS ASSOCIATION. THESE LOTS SHALL BE USED FOR HOMEOWNER PEDESTRIAN ACCESS AND LANDSCAPING AND ARE SUBJECT TO A BLANKET EASEMENT ACROSS SAID LOTS FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
4. STORMWATER RUNOFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
5. PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
6. THIS SUBDIVISION WILL RECEIVE PRESSURE IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOA.
7. DOMESTIC WATER SERVICE AND FIRE PROTECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
8. SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
9. THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
10. THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
11. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH CITY OF STAR CODE UNLESS OTHERWISE MODIFIED BY CONDITIONAL USE PERMIT OR DEVELOPMENT AGREEMENT.
12. THE BOTTOM ELEVATION OF BUILDING FOOTINGS SHALL BE SET A MINIMUM OF 12 INCHES ABOVE THE HIGHEST ESTABLISHED NORMAL GROUNDWATER ELEVATION.
13. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE MOST RECENTLY APPROVED SUBDIVISION STANDARDS OF THE CITY OF STAR AT THE TIME OF THE RE-SUBDIVISION.
14. ALL LOT LINES COMMON TO PUBLIC STREETS ARE HEREBY DESIGNATED TO HAVE A TEN (10) FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE, UNLESS OTHERWISE DIMENSIONED.
15. FRONT AND REAR YARDS WILL BE SUBJECT TO A 10' EASEMENT AND ALL SIDE YARDS WILL BE SUBJECT TO A 5' EASEMENT FOR DETACHED HOMES, AS NEEDED. ATTACHED UNITS WILL BE SUBJECT TO DIFFERENT FRONT, REAR, AND SIDE YARD EASEMENTS.
16. MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
17. RESTRICTIVE COVENANTS WILL BE IN EFFECT FOR THIS SUBDIVISION.



OWNER/DEVELOPER

WILLIAMS HOMES
21080 CENTRE POINTE PARKWAY
SANTA CLARITA, CA 91350
TELEPHONE: (661) 222-9207
CONTACT: MIKE BADNER

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
950 W. BANNOCK STREET, SUITE 1100
BOISE, IDAHO 83702
PHONE: (208) 297-2885
CONTACT: TIM NICHOLSON, PE

LAND SURVEYOR

IDAHO SURVEY GROUP
9955 W. EMERALD ST.
BOISE, ID 83704
PHONE: (208) 846-8570
CONTACT: CODY MCCAMMON, PLS

LEGEND

- PROPOSED CL/SECTION LINE
- PROPOSED SWALE
- PROPOSED BOUNDARY
- ROAD RIGHT OF WAY
- LOT LINE
- EASEMENT
- PROPOSED 8" SEWER
- PROPOSED 8" WATER (3' COVER)
- STORM WATER INFRASTRUCTURE EASEMENT
- PROPOSED CURB
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED SEWER MANHOLE

- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- SIDEWALK RAMP
- PROP. STORM DRAIN
- PROP. CATCH BASIN
- EXISTING CATCH BASIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL ROAD
- EXISTING FENCE
- EXISTING OVERHEAD POWER
- EXISTING GAS LINE

PRELIMINARY PLAT DATA

EXISTING ZONING: R-3-DA
PROPOSED ZONING: R-4-DA

GROSS ACREAGE: 50.56 AC
TOTAL LOTS: 215
RESIDENTIAL LOTS: 203
COMMON LOTS: 12
RESIDENTIAL GROSS DENSITY: 4.0 DU/AC
TOTAL OPEN SPACE: 13.53 AC (26.8%)

AVERAGE LOT AREA: 5,000 SF
MINIMUM LOT AREA: 1,449 SF



VICINITY MAP

N.T.S.

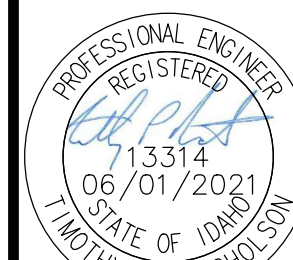
SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	PROPOSED CONDITIONS
4	LOT & CURVE DATA
5	PRESSURE IRRIGATION PLAN

CRANEFIELD SUBDIVISION

COVER SHEET

STAR, IDAHO



PROJECT NO.
093683001

DRAWING NAME
PP-CVR

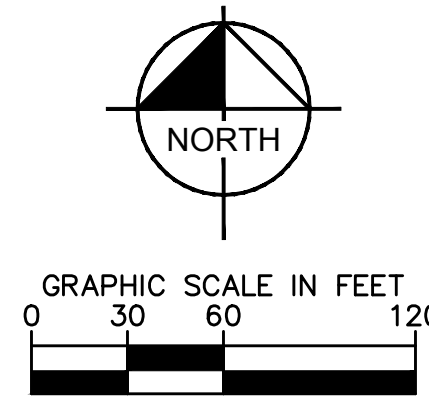
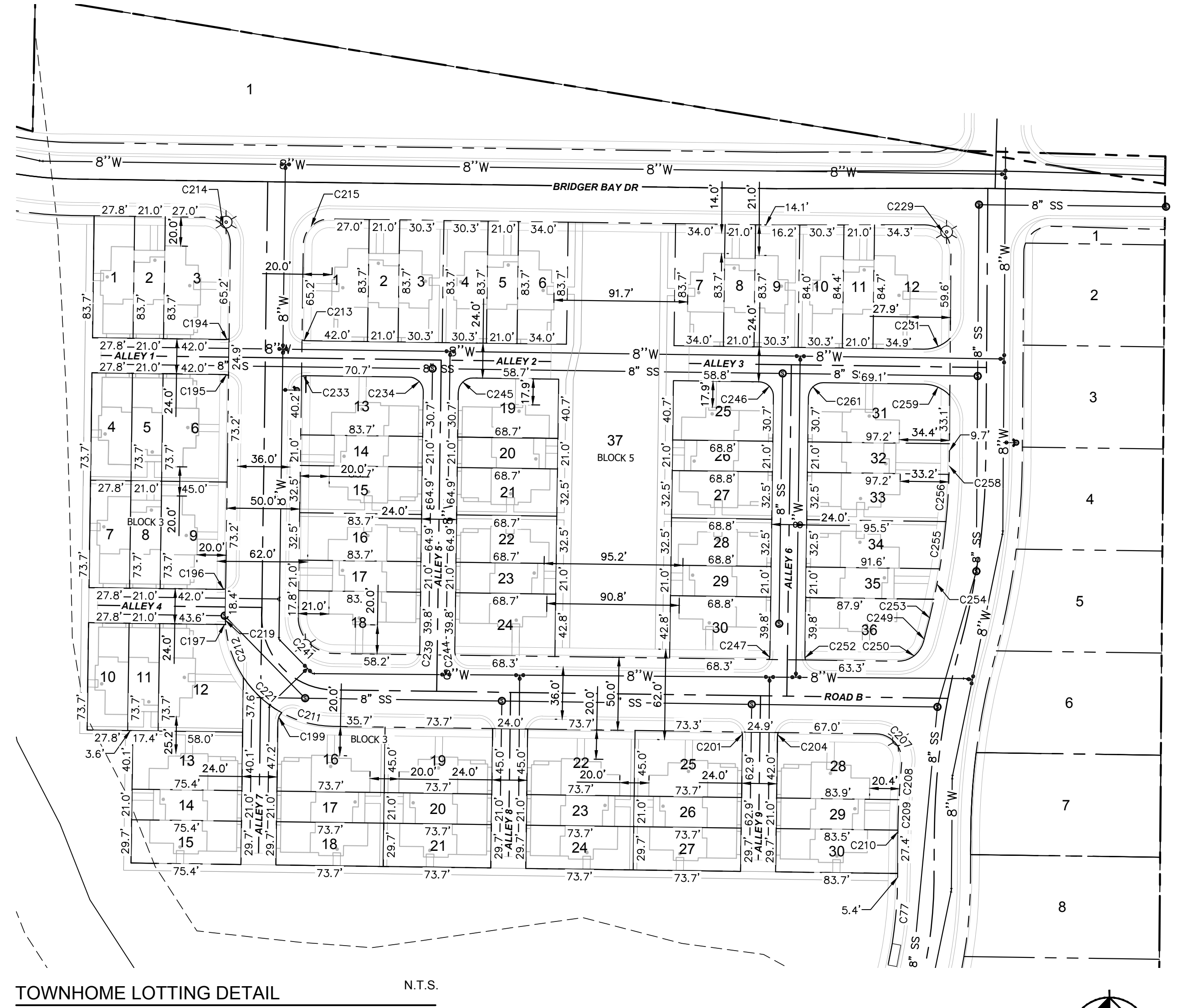
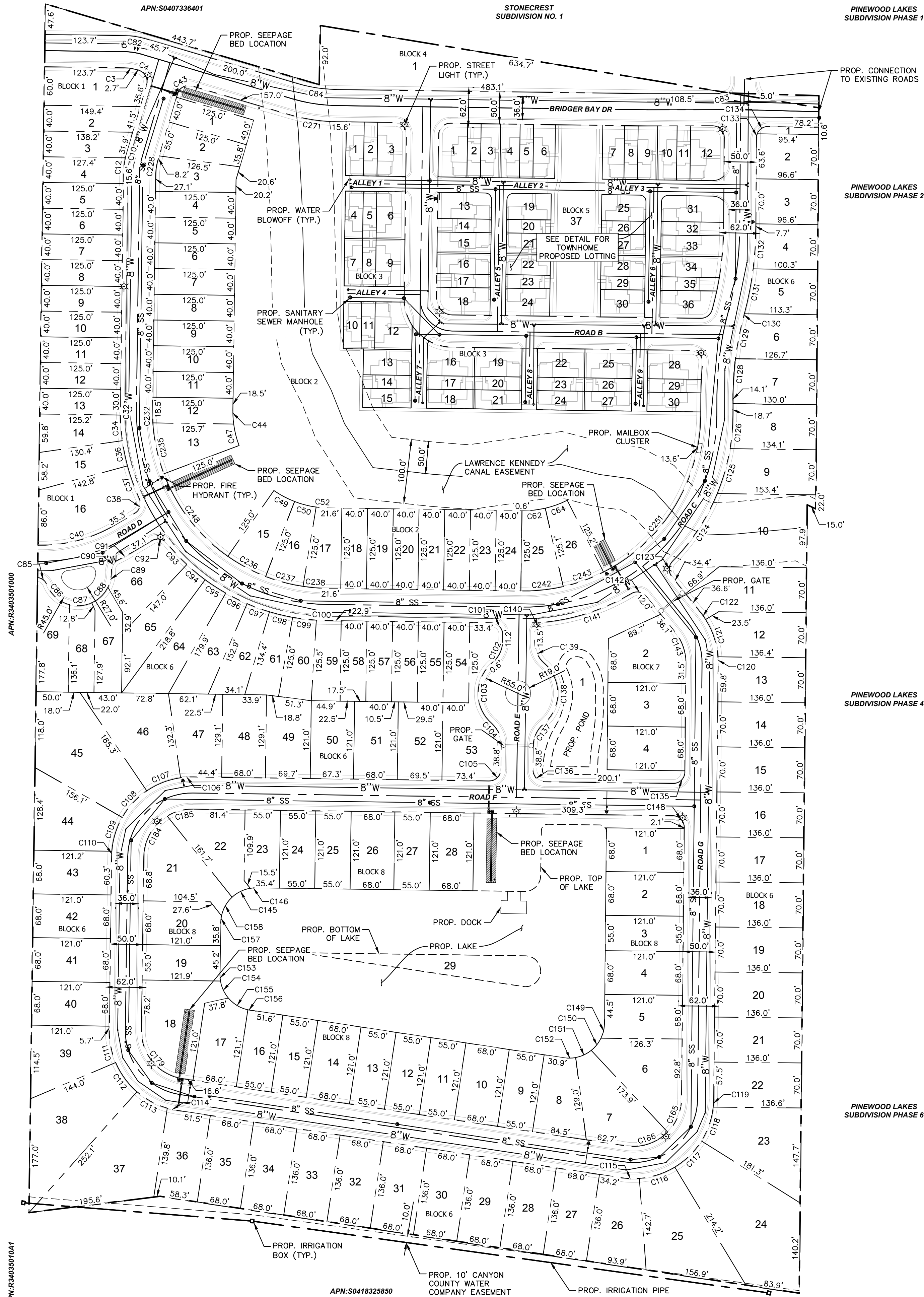
1 OF 5

Kimley»Horn

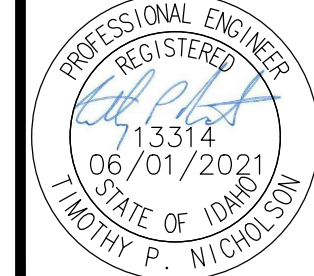
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
950 Bannock Street, Suite 1100
Boise, Idaho 83702 (208) 297-2885

SCALE (H): 1"=100'
SCALE (V): NONE
DESIGNED BY: TPN
DRAWN BY: TPN
CHECKED BY: MPO
DATE: 06/01/2021

K:\B09_Civil\093683000_CraneField\CADD\Plan Sheets\PP-PC.dwg Jun 01, 2021 Tim Nicholson
XREFS: LTB-PP-ADM-XARCH-PPA-XUT-XSD
DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF ANY PORTION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



CRANEFIELD SUBDIVISION
PROPOSED CONDITIONS
STAR, IDAHO

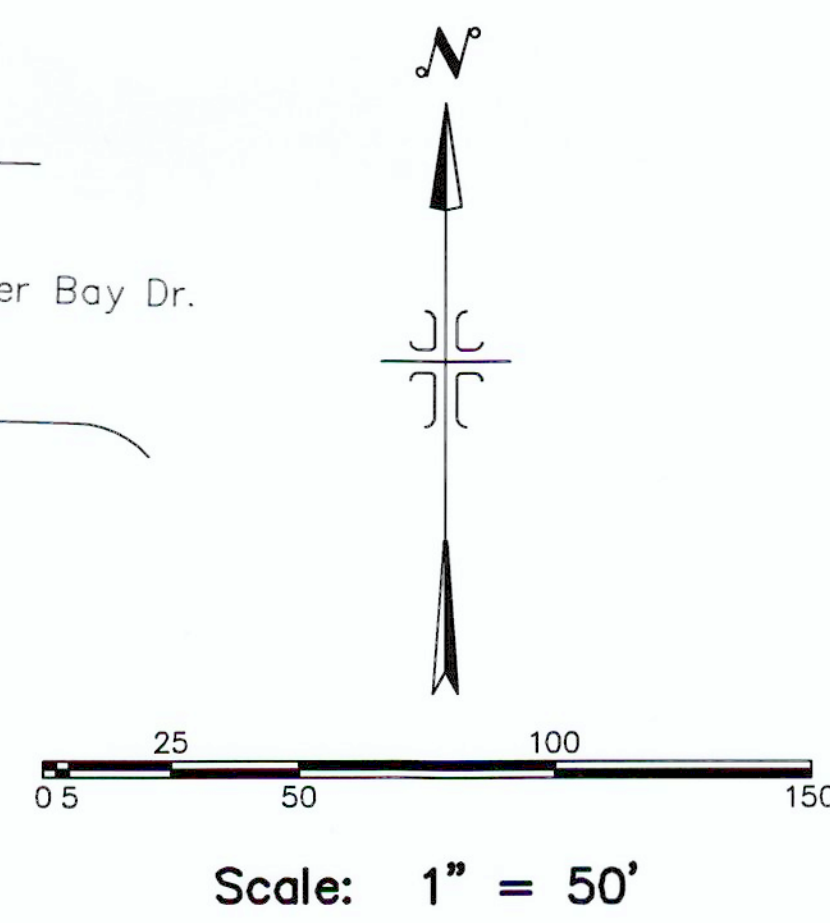
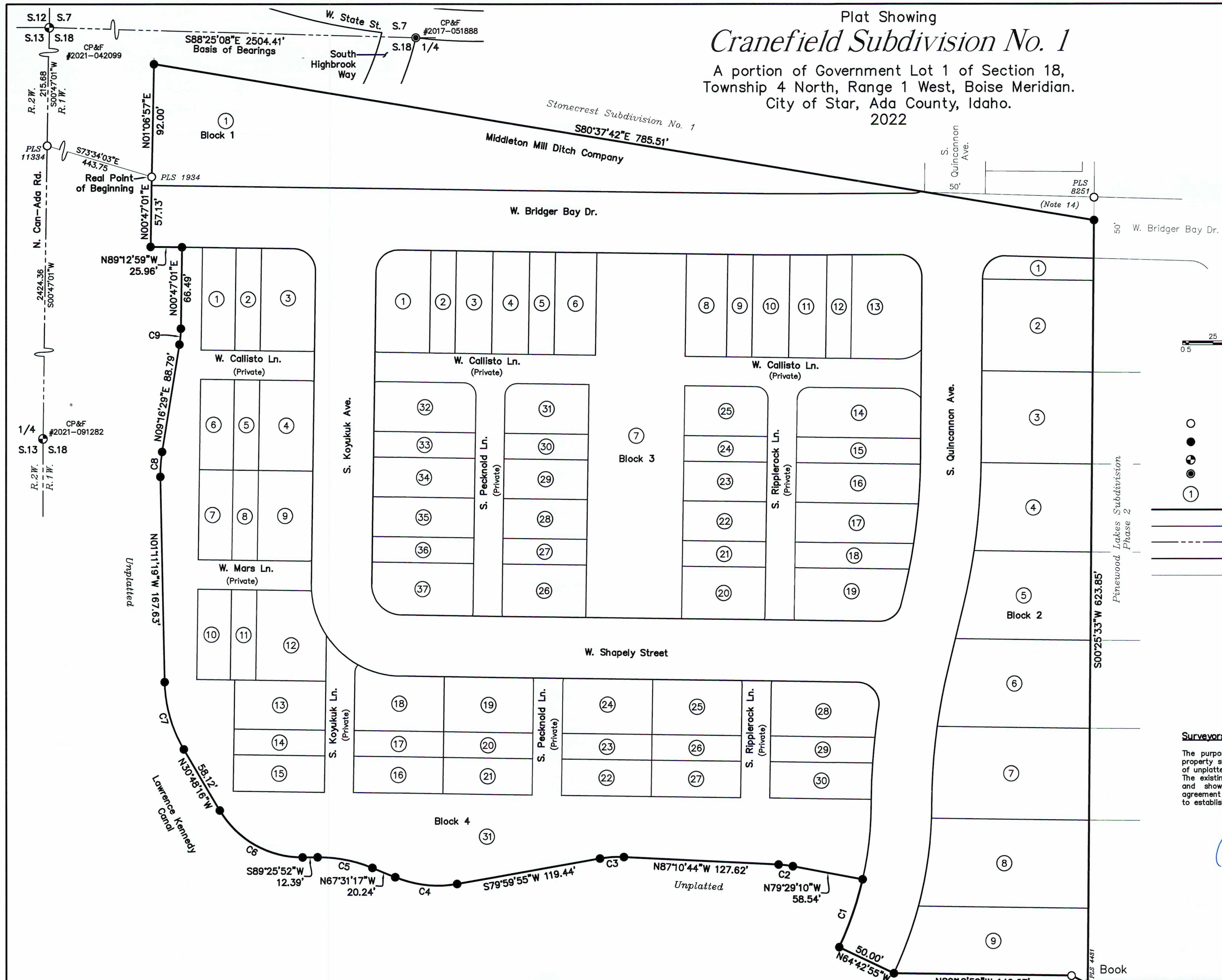


PROJECT NO.
093683001
DRAWING NAME
PP-PC
3 OF 5

Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
950 Bannock Street, Suite 1100
Boise, Idaho 83702 (208) 297-2885
DATE: 06/01/2021
CHECKED BY: MPO
DRAWN BY: TPN
DESIGNED BY: TPN
SCALE (V): NONE
SCALE (H): 1"=100'

REVISION	BY	DATE	APP
NO			

Plat Showing
Cranefield Subdivision No. 1
A portion of Government Lot 1 of Section 18,
Township 4 North, Range 1 West, Boise Meridian.
City of Star, Ada County, Idaho.
2022



- Legend**
- Found 5/8" Iron Pin, as Noted
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG 11779"
 - ⊙ Found Brass Cap Monument
 - ⦿ Found Aluminum Cap Monument
 - ① Lot Number
 - Subdivision Boundary Line
 - Lot Line
 - - - Section Line
 - Right-of-Way Line
 - Adjacent Lot/Parcel Line

See Sheet 3 for Easements.

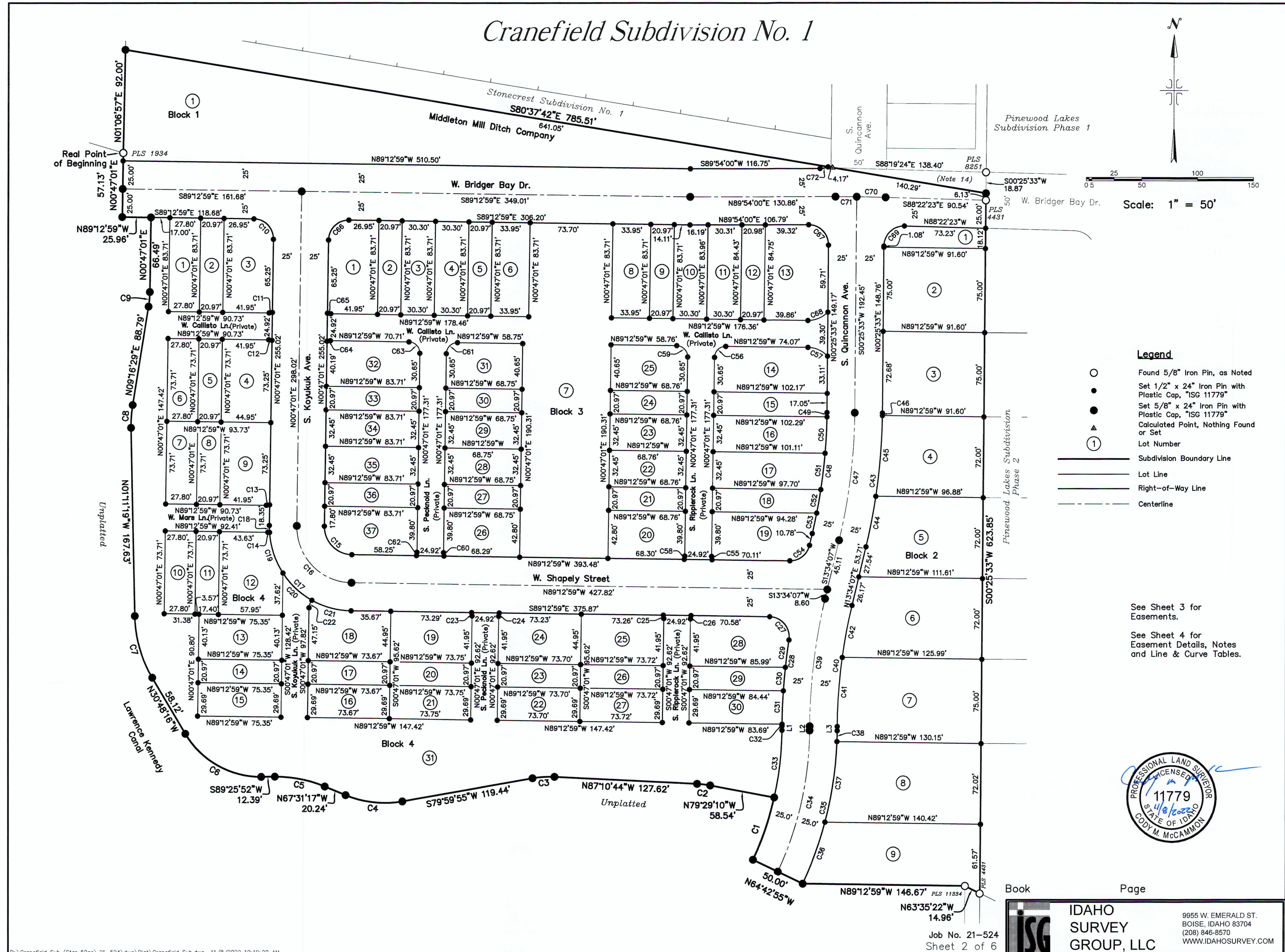
See Sheet 4 for Easement Details, Notes and Line & Curve Tables.

Surveyors Narrative:

The purpose of this survey is to subdivide the property shown hereon. The property is a portion of unplatted lands. The existing section corner monumentation found and shown on this plat are in substantial agreement existing corner records and were used to establish the boundaries of this subdivision.



Cranefield Subdivision No. 1




- Legend**
- Found 5/8" Iron Pin, as Noted
 - Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG 11779"
 - Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG 11779"
 - ▲ Calculated Point, Nothing Found or Set
 - ① Lot Number
 - Subdivision Boundary Line
 - Lot Line
 - Right-of-Way Line
 - - - Centerline

See Sheet 3 for Easements.

See Sheet 4 for Easement Details, Notes and Line & Curve Tables.



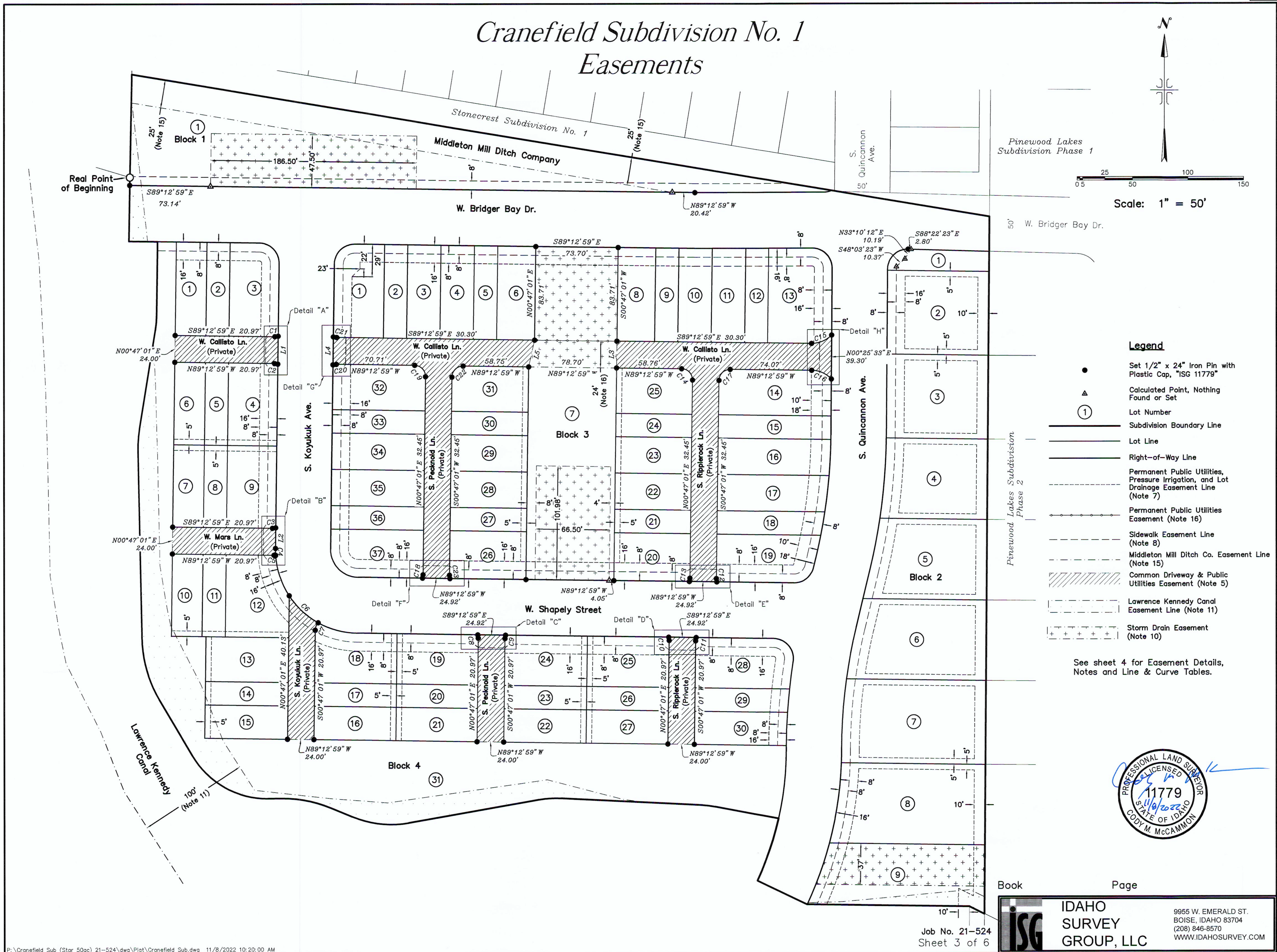
Book _____ Page _____



IDAHO SURVEY GROUP, LLC
9955 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Job No. 21-524
Sheet 2 of 6

Cranefield Subdivision No. 1 Easements



Cranefield Subdivision No. 1

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	58.89'	275.00'	12°16'12"	N19°08'59"E	58.78'
C2	11.82'	88.00'	7°41'34"	N83°19'57"W	11.81'
C3	19.70'	88.00'	12°49'29"	S86°24'31"W	19.66'
C4	52.08'	91.87'	32°28'48"	N83°45'41"W	51.38'
C5	46.43'	115.43'	23°02'51"	N79°02'42"W	46.12'
C6	82.10'	78.71'	59°45'52"	N60°41'12"W	78.43'
C7	57.89'	112.00'	29°36'57"	N15°59'47"W	57.25'
C8	20.45'	112.00'	10°27'48"	N04°02'35"E	20.43'
C9	13.04'	88.00'	8°29'28"	N05°01'45"E	13.03'
C10	28.27'	18.00'	90°00'00"	N44°12'59"W	25.46'
C11	3.05'	10.00'	17°27'27"	N82°03'17"E	3.04'
C12	3.05'	10.00'	17°27'27"	N80°29'15"W	3.04'
C13	3.05'	10.00'	17°27'27"	N82°03'17"E	3.04'
C14	1.58'	10.00'	9°04'43"	N84°40'37"W	1.58'
C15	39.27'	25.00'	90°00'00"	N44°12'59"W	35.36'
C16	78.54'	50.00'	90°00'00"	N44°12'59"W	70.71'
C17	117.81'	75.00'	90°00'00"	S44°12'59"E	106.07'
C18	6.24'	75.00'	4°46'07"	S01°36'02"E	6.24'
C19	38.58'	75.00'	29°28'25"	S18°43'18"E	38.16'
C20	36.09'	75.00'	27°34'12"	S47°14'37"E	35.74'
C21	36.90'	75.00'	28°11'16"	S75°07'21"E	36.53'
C22	7.34'	10.00'	42°02'06"	S21°48'04"W	7.17'
C23	3.05'	10.00'	17°27'27"	N07°56'43"W	3.04'
C24	3.05'	10.00'	17°27'27"	S09°30'45"W	3.04'
C25	3.05'	10.00'	17°27'27"	N07°56'43"W	3.04'
C26	3.05'	10.00'	17°27'27"	S09°30'45"W	3.04'
C27	30.80'	18.00'	98°02'56"	N40°11'31"W	27.18'
C28	77.03'	525.00'	8°24'24"	S04°37'45"W	76.96'
C29	24.60'	525.00'	2°41'06"	S07°29'24"W	24.60'
C30	21.03'	525.00'	2°17'44"	S04°59'59"W	21.03'
C31	29.71'	525.00'	3°14'32"	S02°13'51"W	29.70'
C32	1.69'	525.00'	0°11'02"	S00°31'04"W	1.69'
C33	60.42'	275.00'	12°35'20"	N06°43'13"E	60.30'
C34	130.16'	300.00'	24°51'32"	N12°51'19"E	129.14'
C35	141.01'	325.00'	24°51'32"	N12°51'19"E	139.90'
C36	58.48'	325.00'	10°18'36"	N20°07'47"E	58.40'

Easement Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	3.05'	10.00'	017°27'27"	N82°03'17"E	3.04'
C2	3.05'	10.00'	017°27'27"	N80°29'15"W	3.04'
C3	3.05'	10.00'	017°27'27"	N82°03'17"E	3.04'
C4	6.24'	75.00'	004°46'07"	S01°36'02"E	6.24'
C5	1.58'	10.00'	009°04'43"	N84°40'37"W	1.58'
C6	36.09'	75.00'	027°34'12"	S47°14'37"E	35.74'
C7	7.34'	10.00'	042°02'06"	S21°48'04"W	7.17'
C8	3.05'	10.00'	017°27'27"	N07°56'43"W	3.04'
C9	4.26'	7.18'	033°57'27"	S02°58'55"W	4.19'
C10	3.05'	10.00'	017°27'27"	N07°56'43"W	3.04'
C11	3.05'	10.00'	017°27'27"	S09°30'45"W	3.04'
C12	3.05'	10.00'	017°27'27"	S07°56'43"E	3.04'
C13	3.05'	10.00'	017°27'27"	N09°30'45"E	3.04'
C14	15.71'	10.00'	090°00'00"	N44°12'59"W	14.14'
C15	20.25'	25.00'	046°24'44"	N67°34'39"E	19.70'
C16	19.94'	25.00'	045°41'48"	N66°22'05"W	19.41'
C17	15.71'	10.00'	090°00'00"	S45°47'01"W	14.14'
C18	3.05'	10.00'	017°27'27"	N09°30'45"E	3.04'
C19	15.71'	10.00'	090°00'00"	N44°12'59"W	14.14'
C20	3.05'	10.00'	017°27'27"	S82°03'17"W	3.04'

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Distance
C37	72.84'	325.00'	12°50'28"	N08°33'15"E	72.69'
C38	9.69'	325.00'	1°42'28"	N01°16'47"E	9.69'
C39	114.69'	500.00'	13°08'34"	S06°59'50"W	114.44'
C40	108.96'	475.00'	13°08'34"	S06°59'50"W	108.72'
C41	61.75'	475.00'	7°26'54"	S04°09'00"W	61.71'
C42	47.21'	475.00'	5°41'39"	S10°43'17"W	47.19'
C43	120.43'	525.00'	13°08'34"	N06°59'50"E	120.16'
C44	45.89'	525.00'	5°00'29"	N11°03'52"E	45.87'
C45	72.22'	525.00'	7°52'53"	N04°37'11"E	72.16'
C46	2.32'	525.00'	0°15'11"	N00°33'09"E	2.32'
C47	114.69'	500.00'	13°08'34"	N06°59'50"E	114.44'
C48	108.96'	475.00'	13°08'34"	N06°59'50"E	108.72'
C49	3.93'	475.00'	0°28'25"	N00°39'46"E	3.93'
C50	32.48'	475.00'	3°55'04"	N02°51'30"E	32.47'
C51	32.64'	475.00'	3°56'12"	N06°47'08"E	32.63'
C52	21.25'	475.00'	2°33'49"	N10°02'09"E	21.25'
C53	18.66'	475.00'	2°15'03"	N12°26'35"E	18.66'
C54	24.26'	18.00'	77°12'54"	N52°10'34"E	22.46'
C55	3.05'	10.00'	17°27'27"	N07°56'43"W	3.04'
C56	15.71'	10.00'	90°00'00"	N45°47'01"E	14.14'
C57	19.94'	25.00'	45°41'48"	S66°22'05"E	19.41'
C58	3.05'	10.00'	17°27'27"	S09°30'45"W	3.04'
C59	15.71'	10.00'	90°00'00"	S44°12'59"E	14.14'
C60	3.05'	10.00'	17°27'27"	N07°56'43"W	3.04'
C61	15.71'	10.00'	90°00'00"	N45°47'01"E	14.14'
C62	3.05'	10.00'	17°27'27"	S09°30'45"W	3.04'
C63	15.71'	10.00'	90°00'00"	S44°12'59"E	14.14'
C64	3.05'	10.00'	17°27'27"	N82°03'17"E	3.04'
C65	3.05'	10.00'	17°27'27"	N80°29'15"W	3.04'
C66	28.27'	18.00'	90°00'00"	S45°47'01"W	25.46'
C67	28.44'	18.00'	90°31'33"	N44°50'14"W	25.57'
C68	20.25'	25.00'	46°24'44"	S67°34'39"W	19.70'
C69	28.65'	18.00'	91°12'04"	S46°01'35"W	25.72'
C70	26.08'	1500.00'	0°59'46"	S88°52'16"E	26.08'
C71	19.14'	1500.00'	0°43'51"	S89°44'05"E	19.14'
C72	7.39'	18.00'	23°30'29"	N78°08'45"E	7.33'

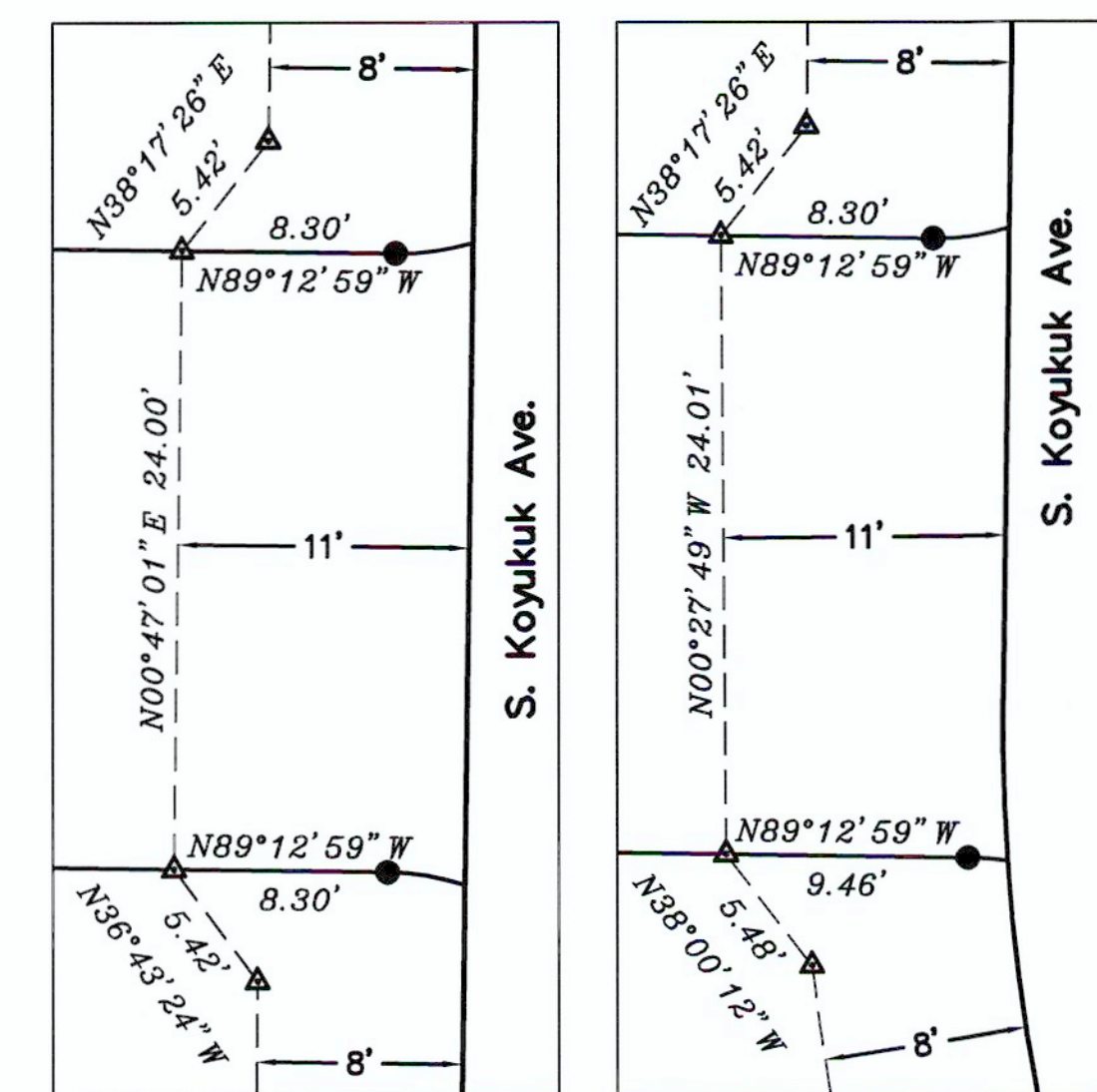
Easement Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Distance
C21	3.05'	10.00'	017°27'27"	S80°29'15"E	3.04'
C22	15.71'	10.00'	090°00'00"	S45°47'01"W	14.14'
C23	3.05'	10.00'	017°27'27"	S07°56'43"E	3.04'
C24	12.85'	25.00'	029°26'24"	N59°05'29"E	12.70'
C25	12.85'	25.00'	029°26'24"	N58°14'23"W	12.70'

Easement Line Table		
Line	Bearing	Length
L1	S00°47'01"W	24.92'
L2	S00°47'01"W	18.35'
L3	N00°48'15"E	24.00'
L4	N00°47'01"E	24.92'
L5	S12°33'07"W	24.52'

Legend

- Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG 11779"
- ▲ Calculated Point, Nothing Found or Set
- Lot Line
- Right-of-Way Line
- Sidewalk Easement Line (Note 8)

Line Table		
Line	Bearing	Length
L1	N00°25'33"E	3.71'
L2	S00°25'33"W	3.71'
L3	N00°25'33"E	3.71'

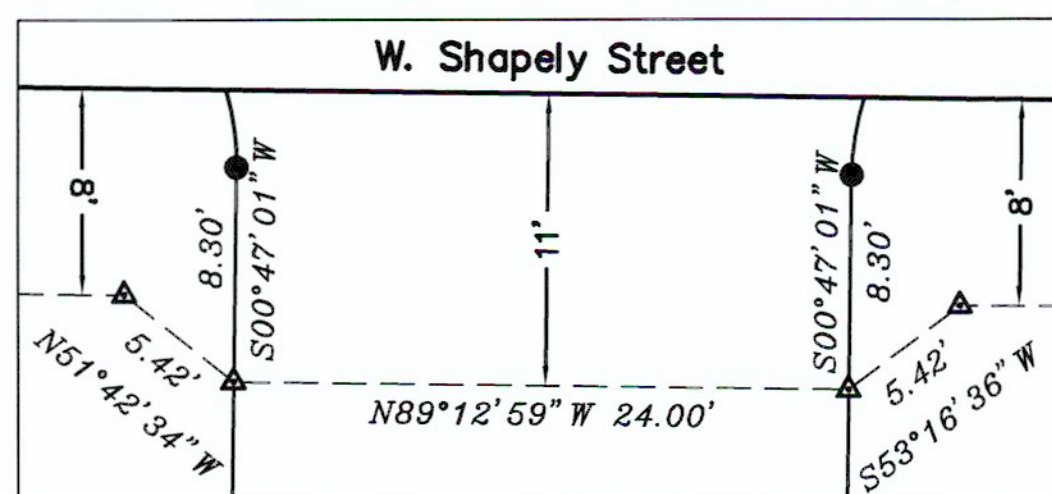


Detail "A"

Scale: 1" = 10'

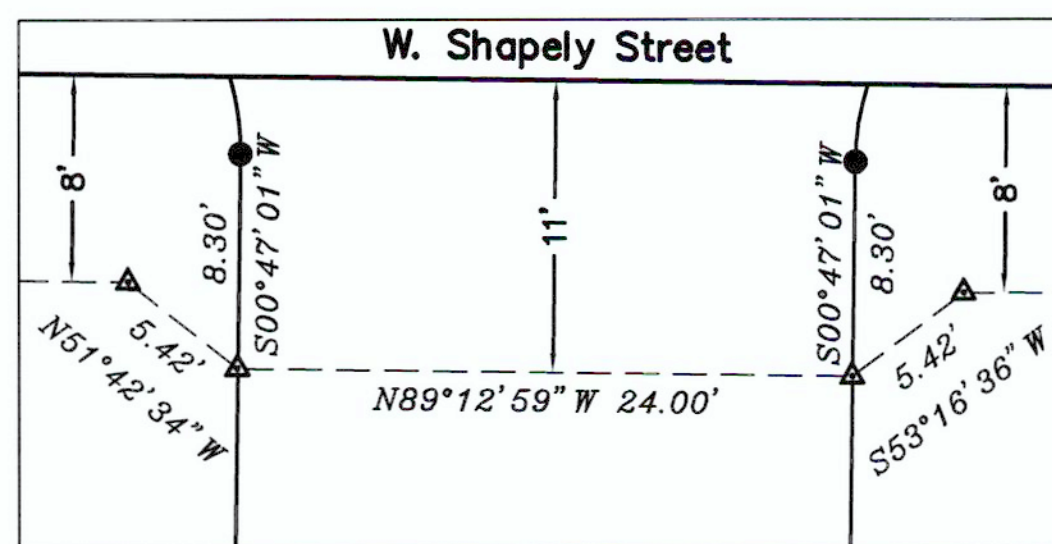
Detail "B"

Scale: 1" = 10'



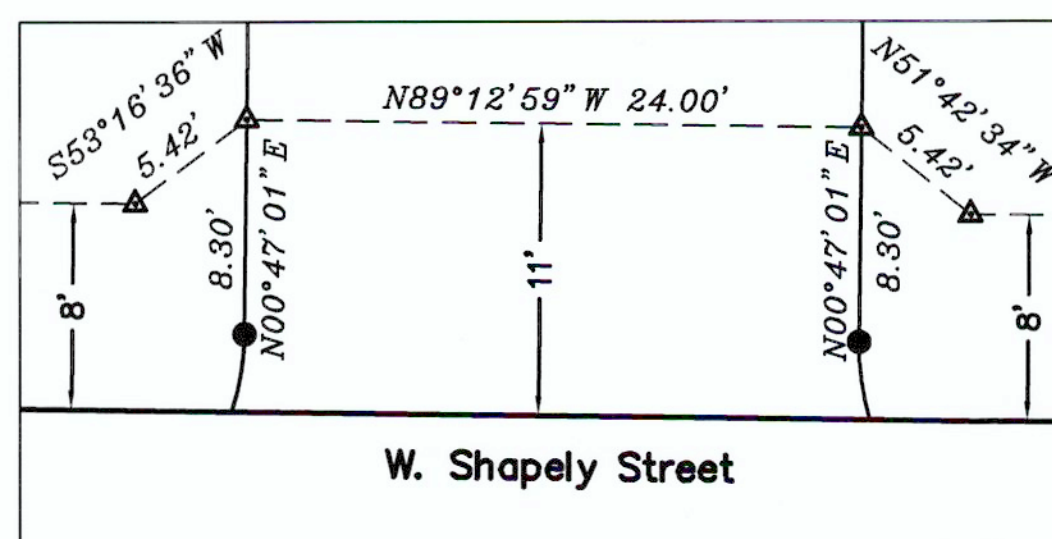
Detail "C"

Scale: 1" = 10'



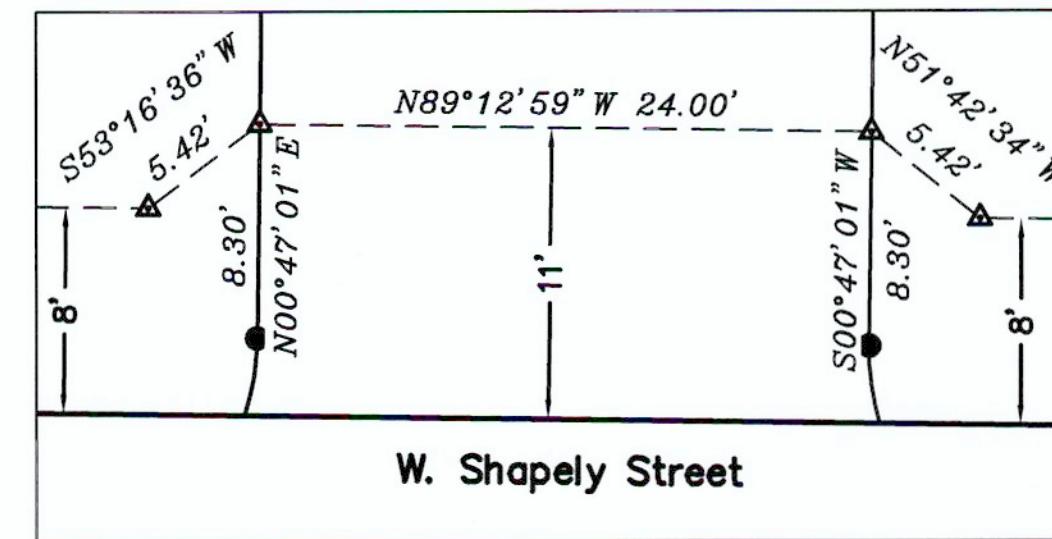
Detail "D"

Scale: 1" = 10'



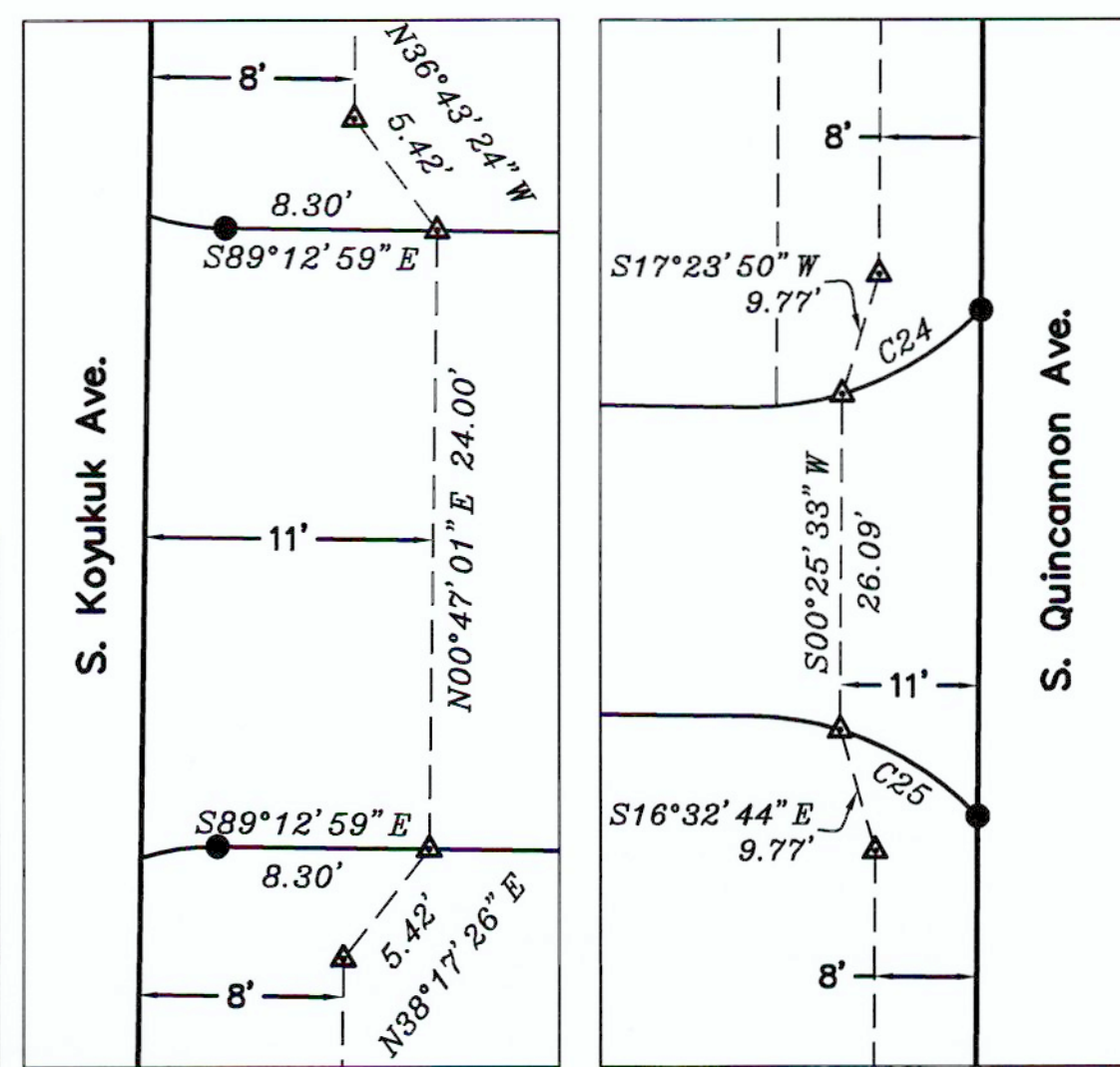
Detail "E"

Scale: 1" = 10'



Detail "F"

Scale: 1" = 10'



Detail "G"

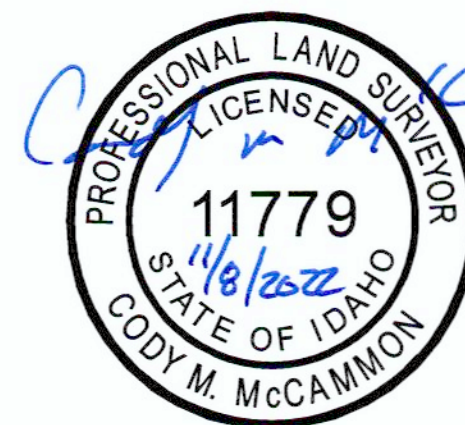
Scale: 1" = 10'

Detail "H"

Scale: 1" = 10'

Notes:

- Lot 1, Block 1; Lot 1 and Lot 9; Block 2; Lot 7, Block 3 and Lot 31, Block 4 are common lots to be owned and maintained by the Cranefield Homeowners' Association. These lots are subject to a blanket easement across said lots for pressure irrigation and lot drainage.
- Irrigation water has been provided from Middleton Mill Irrigation District, in compliance with Idaho Code 31-3805(1)(b). Lots within the subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Middleton Mill Irrigation District. This subdivision will receive pressure irrigation from a pressure irrigation system owned and maintained by the Homeowners' Association.
- Any re-subdivision of this plat shall comply with the most recently approved subdivision standards of the City of Star at the time of the re-subdivision.
- Minimum Building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and/or required, or as shown on this plat.
- Portions of Lot 7, Block 3 is hereby subject to public utilities and common driveway easements as delineated and referenced. The common driveway easements are for the benefit of Lots 1 through 6 and Lots 8 through 37, Block 3. Portions of Lot 31, Block 4 are hereby subject to public utilities and common driveway easements as delineated and referenced. The common driveway easements are for the benefit of Lots 1 through 30, Block 4.
- This development recognizes Idaho code, title 22, chapter 45 Right to Farm Act, section 22-4503, which states "no agricultural operation or an appurtenance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided, that the provisions of this section shall not apply whenever nuisance results from the improper or negligent operation of any agricultural operation or appurtenance to it."
- All lot lines common to a public right-of-way have a sixteen (16) foot wide permanent pressure irrigation, public utilities and lot drainage easement, unless otherwise delineated and referenced. A ten (10) foot wide permanent pressure irrigation, lot drainage and public utilities easement is hereby designated along the rear lot lines, unless otherwise delineated and referenced. Each side of interior lot lines have a five (5) foot wide pressure irrigation and lot drainage easement, unless otherwise delineated and referenced.
- ACHD Permanent Easement. See Instrument Number _____
- Restrictive covenants will be in effect for this subdivision.
- Lot 1, Block 1; Lot 9, Block 2 and Lot 7, Block 3 are servient to and contain the ACHD storm water drainage system. These lots are encumbered by that first amended master perpetual storm water drainage easement recorded on November 10, 2015, as Instrument No. 2015-103256, official records of Ada county and incorporated herein by this reference as if set forth in full (the "master easement"). The master easement and the storm water drainage system are dedicated to ACHD pursuant to section 40-2312 Idaho code. The master easement is for the operation and maintenance of the storm water drainage system.
- Lot 1, Block 1; Lot 9, Block 2 and Lots 10, 14, 15, and 31, Block 4 are subject to an existing 100' wide easement for the Kennedy Canal as delineated and referenced.
- Lot 31, Block 4 is subject to an existing 10' wide Idaho Power Co. easement per Instrument Number 108039655.
- This subdivision is located within the FEMA determined Special Flood Hazard Zone "AE" per Firm Panel No. 16001C0125J, City of Star, Ada County, Idaho and Incorporated Areas, which bears an effective date of June 19, 2020. Flood zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 11-08 of the City of Star Code. A building permit shall not be issued for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit.
- A.C.H.D. Right-of-way Dedication Instrument No. 2020-069876.
- Lot 1, Block 1 is subject to a 25' wide easement for the Middleton Mill Ditch Company as delineated and referenced.
- Lot 7, Block 3 is subject to a public utilities easement as delineated and referenced.



Book

Page

 Job No. 21-524
 Sheet 4 of 6

ISG
IDAHO
SURVEY
GROUP, LLC

 9955 W. EMERALD ST.
 BOISE, IDAHO 83704
 (208) 846-8570
 WWW.IDAHOSURVEY.COM

Cranefield Subdivision No. 1

Certificate Of Owners

Know all men by these presents: that WH Star 203 LLC, a Delaware Limited Liability Corporation, is the Owner of the Property described as follows:

Legal Description

A portion Government Lot 1 of Section 18, Township 4 North, Range 1 West, Boise Meridian, City of Star, Ada County, Idaho being more particularly described as follows:

Commencing at the Northwest corner of Section 18 from which the North 1/4 corner of said Section 18 bears S88°25'08" E, 2,504.41 feet; thence on the west boundary line of said Section 18, S00°47'01" W, 215.68 feet; thence leaving said west boundary line, S73°34'03"E, 443.75 feet to the REAL POINT OF BEGINNING;

thence N01°06'57"E, 92.00 feet to the southwest corner of Stonecrest Subdivision No.1 as filed in Book 119 of Plats at Pages 18528 through 18532, records of Ada County, Idaho;

thence on the southerly boundary line of said Stonecrest Subdivision No. 1 and the easterly extension thereof, South 80°37'42" East, 785.51 feet to the west boundary line of Pinewood Lakes Subdivision Phase 1 as file in Book 87 of Plats at Pages 9974 through 9976, records of Ada County, Idaho;

thence on the west boundary line of said Pinewood Lakes Subdivision Phase 1 and the west boundary line of Pinewood Lakes Subdivision Phase 2 as file in Book 92 of Plats at Pages 11022 and 11023, records of Ada County, Idaho, S00°25'33"W, 623.85 feet to the Southwest corner of said Pinewood Lakes Subdivision Phase 2;

thence leaving said west boundary line, North 63°35'22" West, 14.96 feet;

thence North 89°12'59" West, 146.67 feet;

thence North 64°42'55" West, 50.00 feet;

thence 58.89 feet along the arc of a curve to the left having a radius of 275.00 feet, a central angle of 12°16'12" and a long chord which bears North 19°08'59" East, 58.78 feet;

thence North 79°29'10" West, 58.54 feet;

thence 11.82 feet along the arc of curve to the left having a radius of 88.00 feet, a central angle of 07°41'34" and a long chord which bears North 83°19'57" West, 11.81 feet;

thence North 87°10'44" West, 127.62 feet;

thence 19.70 feet along the arc of curve to the left having a radius of 88.00 feet, a central angle of 12°49'29" and a long chord which bears South 86°24'31" West, 19.66 feet;

thence South 79°59'55" West, 119.44 feet;

thence 52.08 feet along the arc of curve to the right having a radius of 91.87 feet, a central angle of 32°28'48" and a long chord which bears North 83°45'41" West, 51.38 feet;

thence North 67°31'17" West, 20.24 feet;

thence 46.43 feet along the arc of curve to the left having a radius of 115.43 feet, a central angle of 23°02'51" and a long chord which bears North 79°02'42" West, 46.12 feet;

thence South 89°25'52" West, 12.39 feet;

thence 82.10 feet along the arc of curve to the right having a radius of 78.71 feet, a central angle of 59°45'52" and a long chord which bears North 60°41'12" West, 78.43 feet;

thence North 30°48'16" West, 58.12 feet;

thence 57.89 feet along the arc of curve to the right having a radius of 112.00 feet, a central angle of 29°36'57" and a long chord which bears North 15°59'47" West, 57.25 feet;

thence North 01°11'19" West, 167.63 feet;

thence 20.45 feet along the arc of curve to the right having a radius of 112.00 feet, a central angle of 10°27'48" and a long chord which bears North 04°02'35" East, 20.43 feet;

thence North 09°16'29" East, 88.79 feet;

thence 13.04 feet along the arc of curve to the left having a radius of 88.00 feet, a central angle of 08°29'28" and a long chord which bears North 05°01'45" East, 13.03 feet;

thence North 00°47'01" East, 66.49 feet;

thence North 89°12'59" West, 25.96 feet;

thence North 00°47'01" East, 57.13 feet to the REAL POINT OF BEGINNING.

Containing 10.655 acres, more or less.

It is the intention of the undersigned to hereby include the above described property in this plat and to dedicate to the public, the public streets as shown on this plat. The private streets and easements indicated on said plat are not dedicated to the public. However, the right to use said easements is perpetually reserved for public utilities and for such other uses as designated hereon, no permanent structure other than for such utility purposes are to be erected within the limits of said easements. All lots in this plat will be eligible to receive domestic water and sanitary sewer service from an existing Star Sewer and Water District main line located adjacent to the subject Subdivision and Star Sewer and Water District has agreed in writing to serve all the lots in this Subdivision. (I.C. 50-1334) and (I.C. 50-1326).

In witness whereof I have hereunto set my hand:

WH Star 203 LLC, a Delaware limited liability company

By: Williams Communities, LLC a California limited liability company
Its: Manager

By: Lance K. Williams
Its: Manager

Acknowledgment

A notary public or other officer completing this certificate verifies on the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of the document.

State of California }
County of Los Angeles } s.s.

On this _____ day of _____, 2022, before me, _____, personally appeared Lance K. Williams who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____

Printed Name: _____, Notary Public

My Commission Expires: _____

My Principal Place of Business is in _____, County

My Commission No.: _____

Certificate of Surveyor

I, Cody M. McCammon, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" is drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.

Cody M. McCammon



P.L.S. No. 11779

Book Page

Cranefield Subdivision No. 1

Health Certificate

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

Central District Health Date

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the _____ day of _____, 20____.

President ACHD

Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Ada County, Idaho, on the _____ day of _____, 20____, hereby approve this plat.

City Engineer Date

Approval of City Council

I, the undersigned, City Clerk in and for the City of Star, Ada County, Idaho do hereby certify that at a regular meeting of the City Council held on the _____ day of _____, 20____, this plat was duly accepted and approved.

City Clerk, Star, Idaho

Certificate Of County Surveyor

I, the undersigned, Professional Land Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

County Surveyor

Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per the requirements of I.C.50-1308 do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

County Treasurer Date

County Recorder's Certificate

State of Idaho }
County of Ada } ss. Instrument No. _____

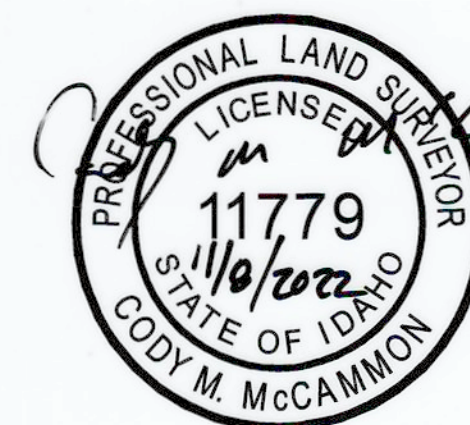
I hereby certify that this instrument was filed at the request of _____

at _____ minutes past _____ o'clock _____ M., this _____ day
of _____, 20____ in Book _____ of Plats at Pages _____ through _____.

Fee \$ _____

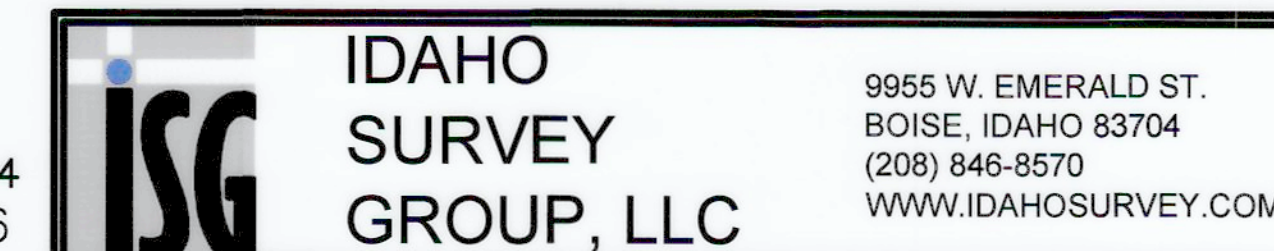
Deputy

Ex-Officio Recorder



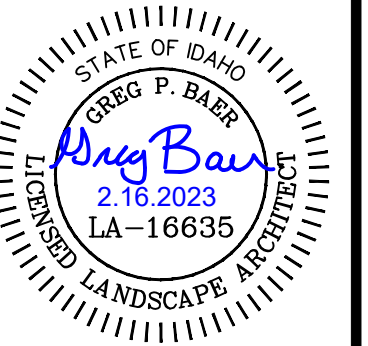
Book Page

Job No. 21-524
Sheet 6 of 6





BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

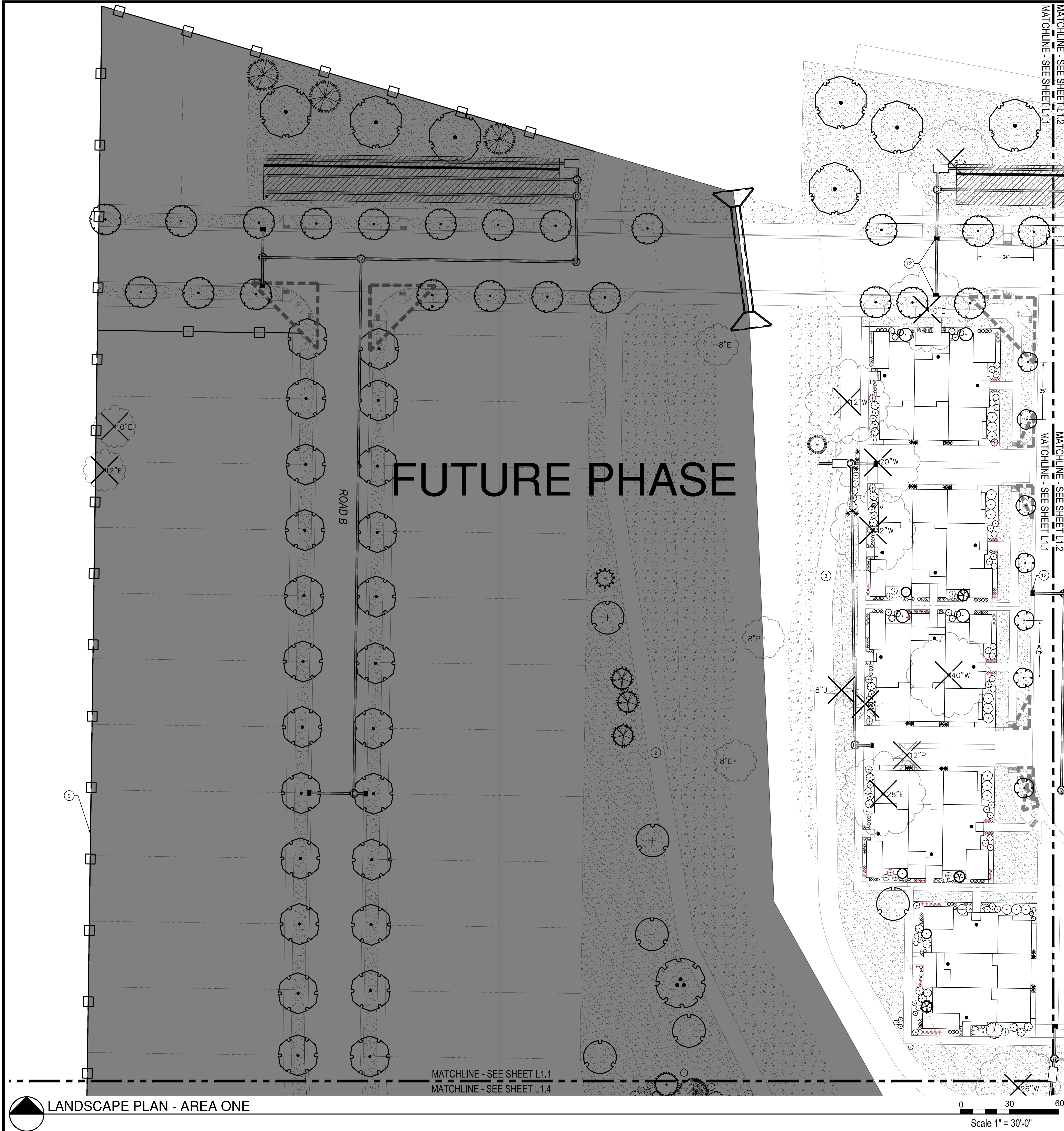
Landscape Plan
Area One

Revisions

Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 2.16.2023

Sheet No:

L1.1



NOTES:

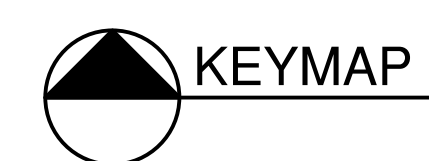
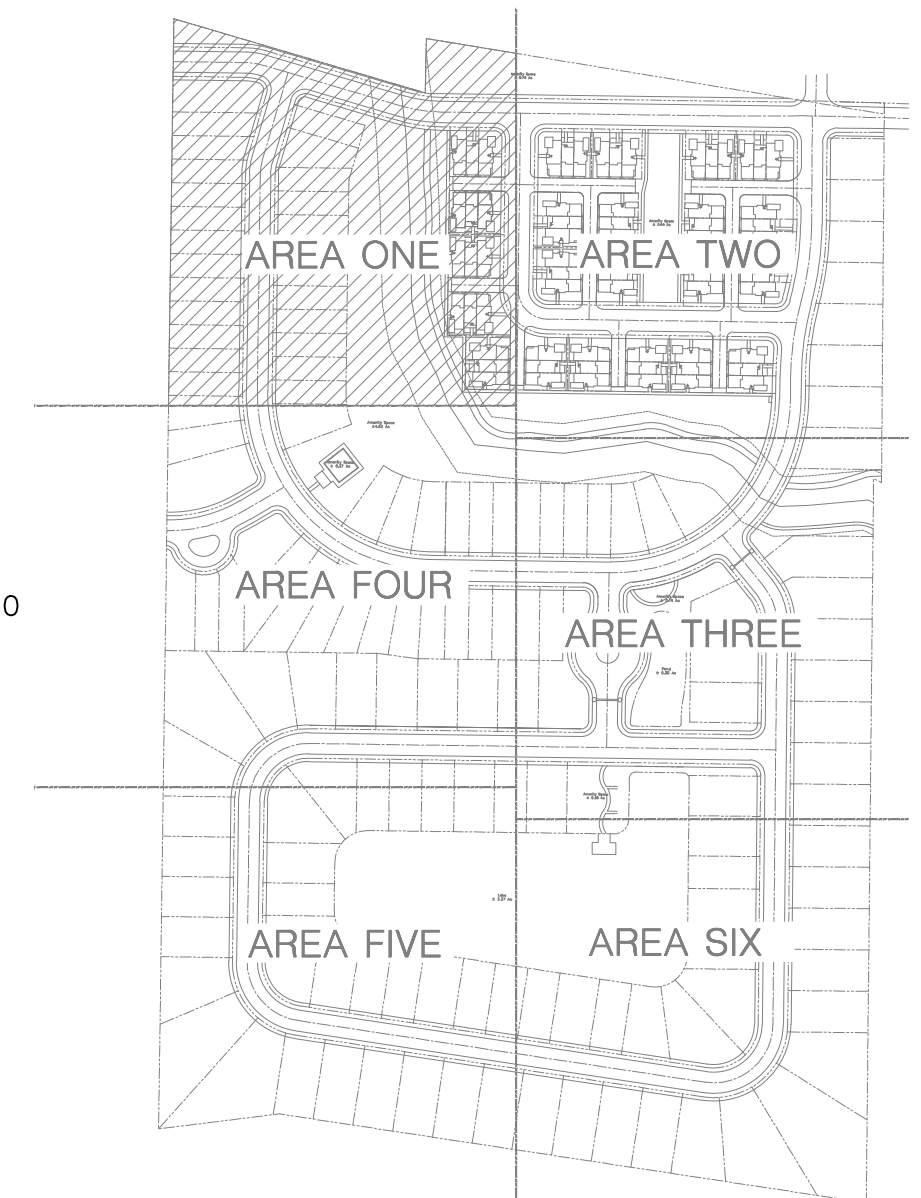
1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

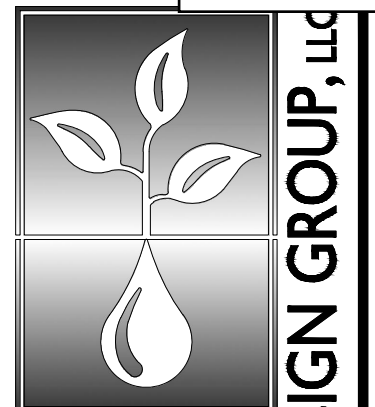
LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- X— 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

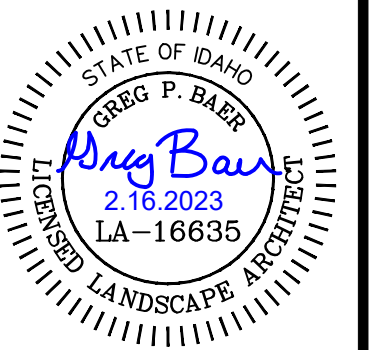
KEYNOTES #

1. TOT LOT— SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD — SEE CIVIL.
4. COMMUNITY POOL/GLOB HOUSE— SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D — SEE SHEET L1.7
6. GATED ENTRY ROAD C — SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE — SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE — SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT. ITEM #19fb1353139 BY SALSURY INDUSTRIES.
11. MONUMENT SIGNAGE — SEE SHEET L1.9.
12. DRAINAGE UTILITY — NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.





BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

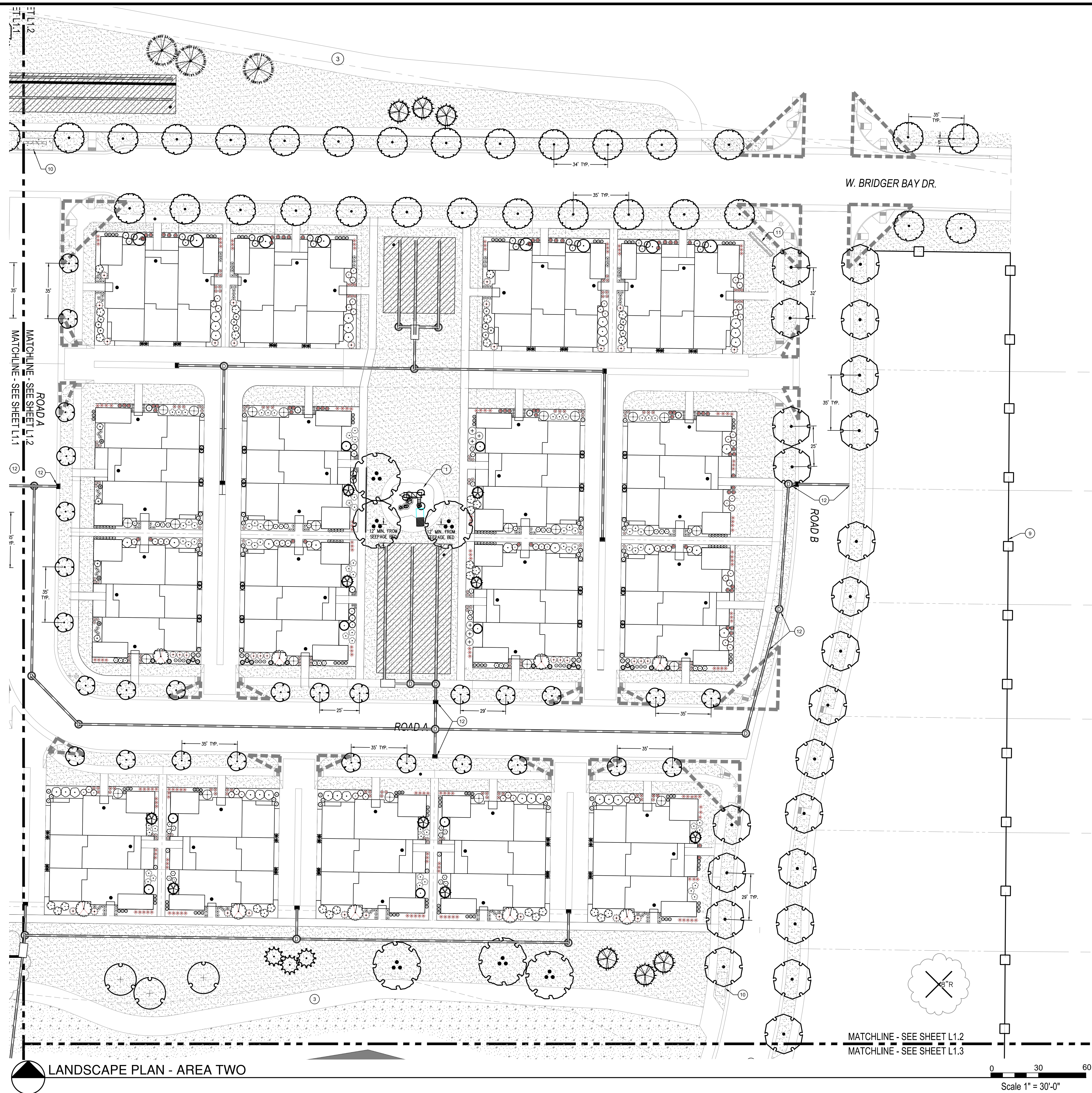
Landscape Plan
Area Two

Revisions

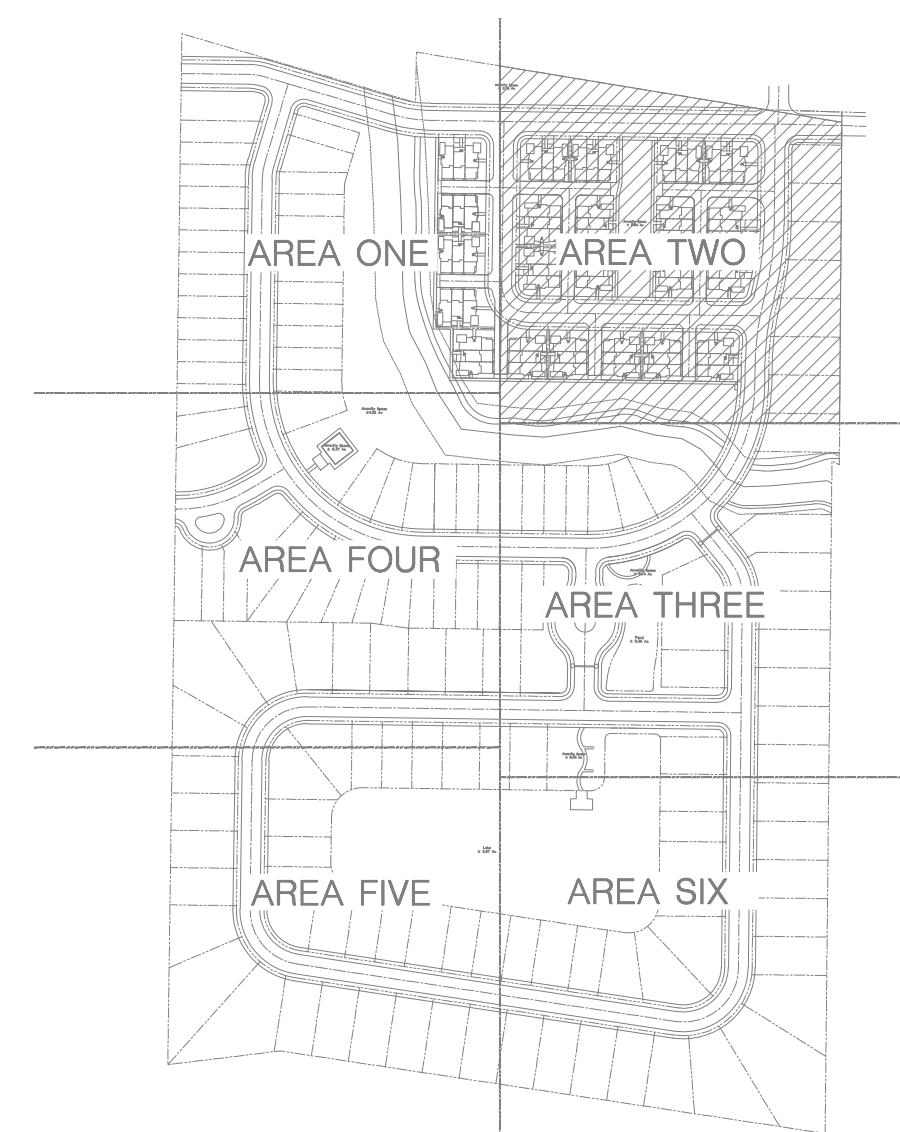
Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 2.16.2023

Sheet No:

L1.2



- NOTES:
1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
 2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- X— 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

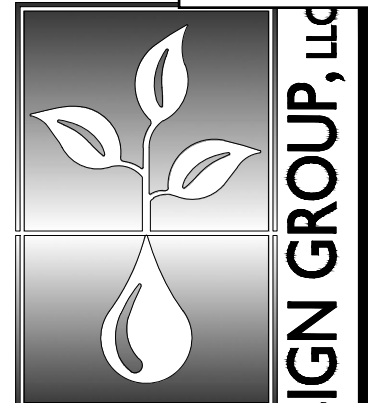
KEYNOTES #

1. TOT LOT— SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD — SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE— SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D — SEE SHEET L1.7
6. GATED ENTRY ROAD C — SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE — SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE — SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT.
ITEM #19fb1353139 BY SALSURY INDUSTRIES.
11. MONUMENT SIGNAGE — SEE SHEET L1.9.
12. DRAINAGE UTILITY — NO TREES SHALL BE PLANTED
WITHIN 10' OF DRAINAGE UTILITY.

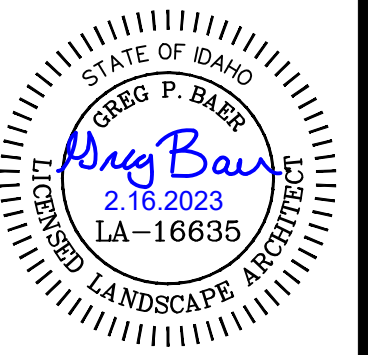
LANDSCAPE PLAN - AREA TWO

MATCHLINE - SEE SHEET L1.2
MATCHLINE - SEE SHEET L1.3

0 30 60
Scale 1" = 30'-0"



BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

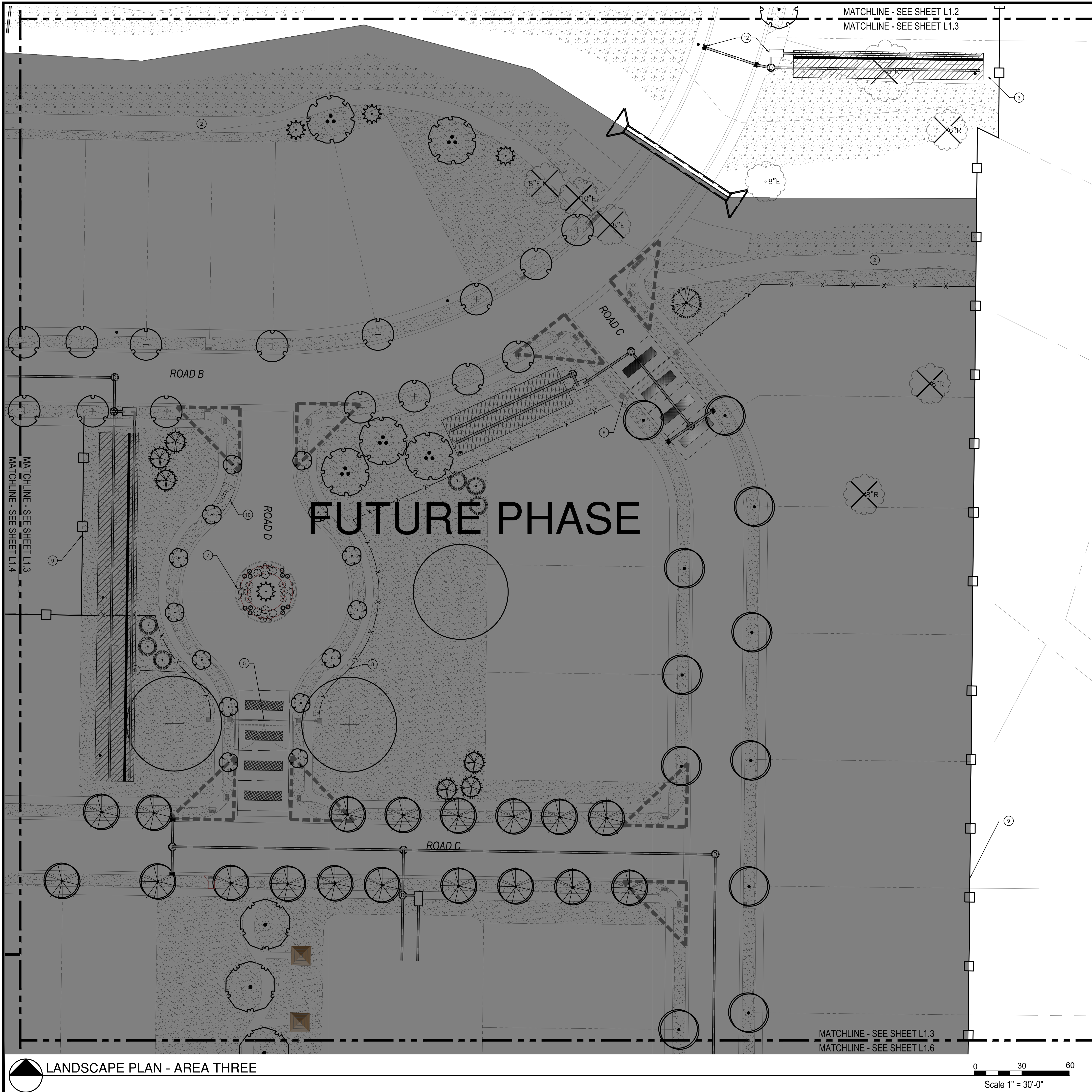
Landscape Plan
Area Three

Revisions

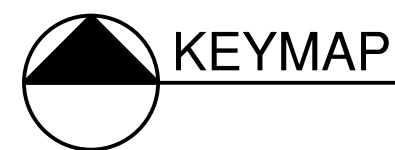
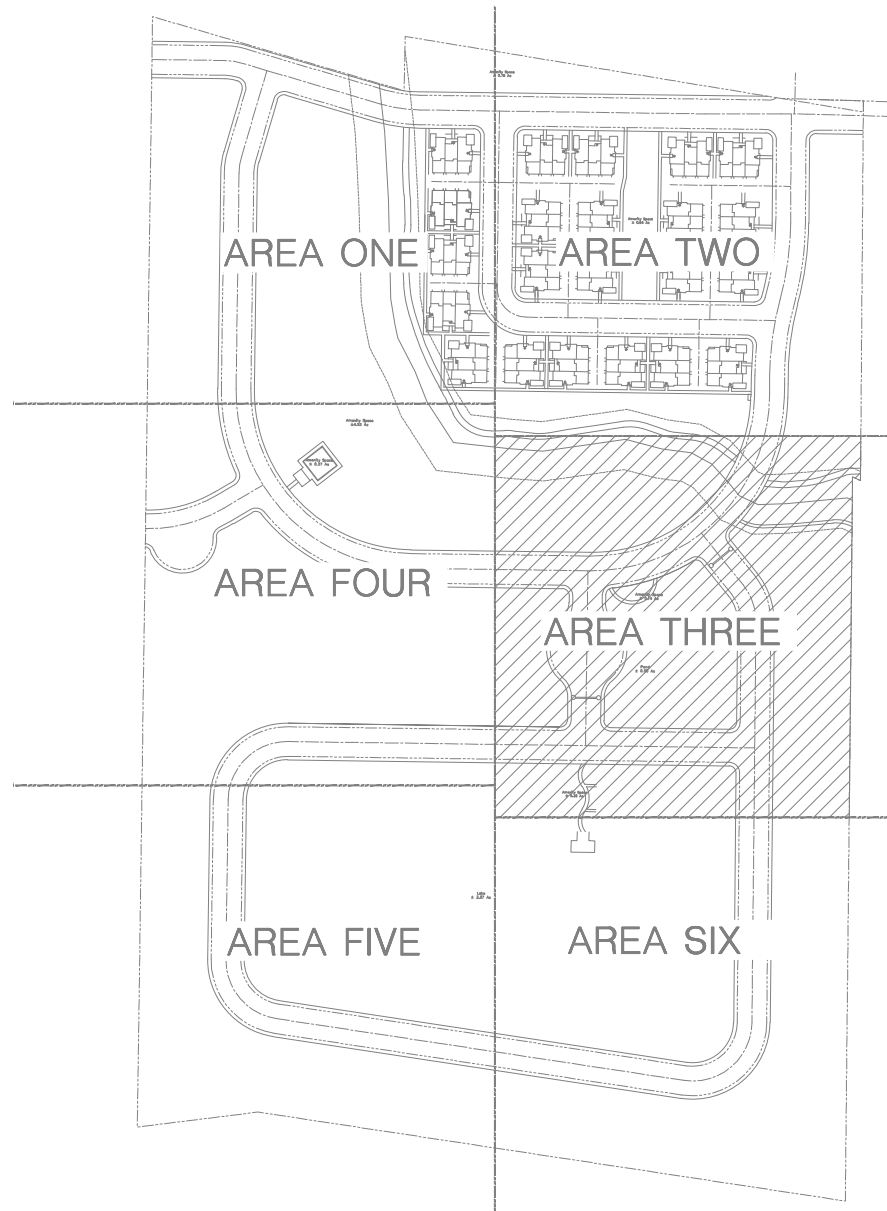
Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 2.16.2023

Sheet No.:

L1.3



- NOTES:
1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
 2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



LANDSCAPE LEGEND

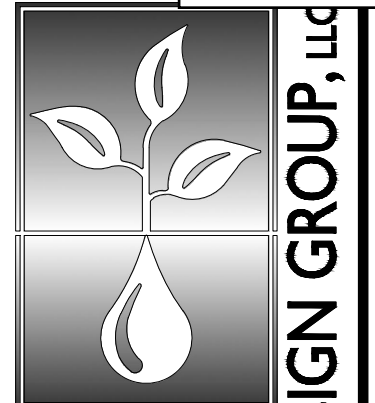
- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

KEYNOTES #

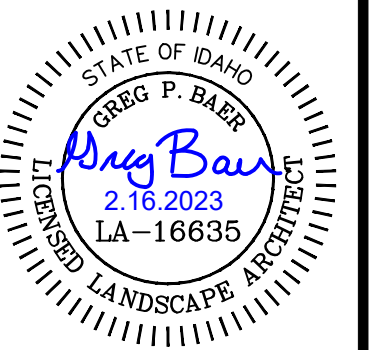
1. TOT LOT- SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD - SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D - SEE SHEET L1.7
6. GATED ENTRY ROAD C - SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE - SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE - SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA, TYPICAL CLUSTER BOX UNIT.
ITEM #19fb1353139 BY SALSURY INDUSTRIES.
11. MONUMENT SIGNAGE - SEE SHEET L1.9.
12. DRAINAGE UTILITY - NO TREES SHALL BE PLANTED
WITHIN 10' OF DRAINAGE UTILITY.

LANDSCAPE PLAN - AREA THREE

0 30 60
Scale 1" = 30'-0"



BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

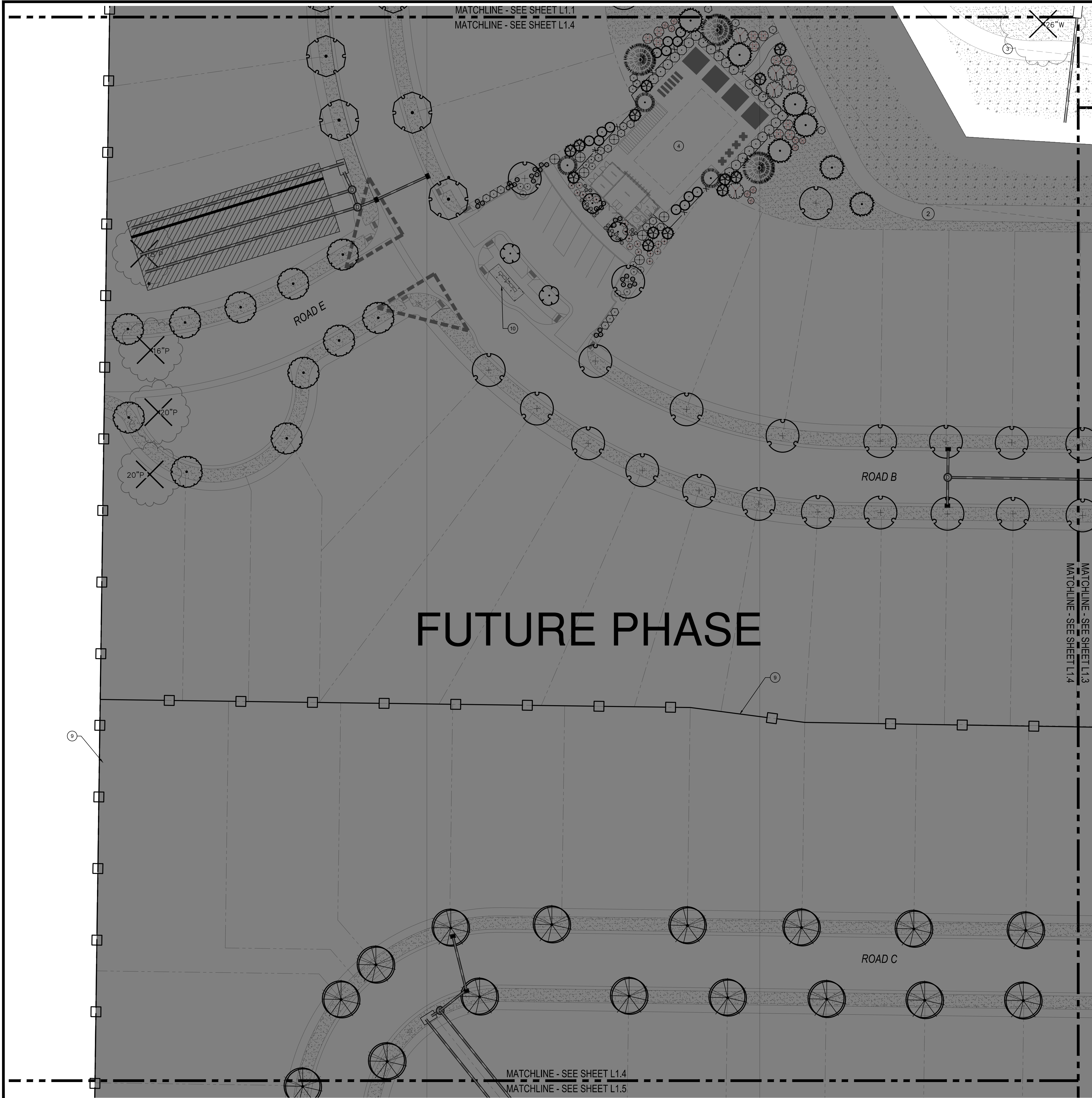
Landscape Plan
Area Four

Revisions

Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 2.16.2023

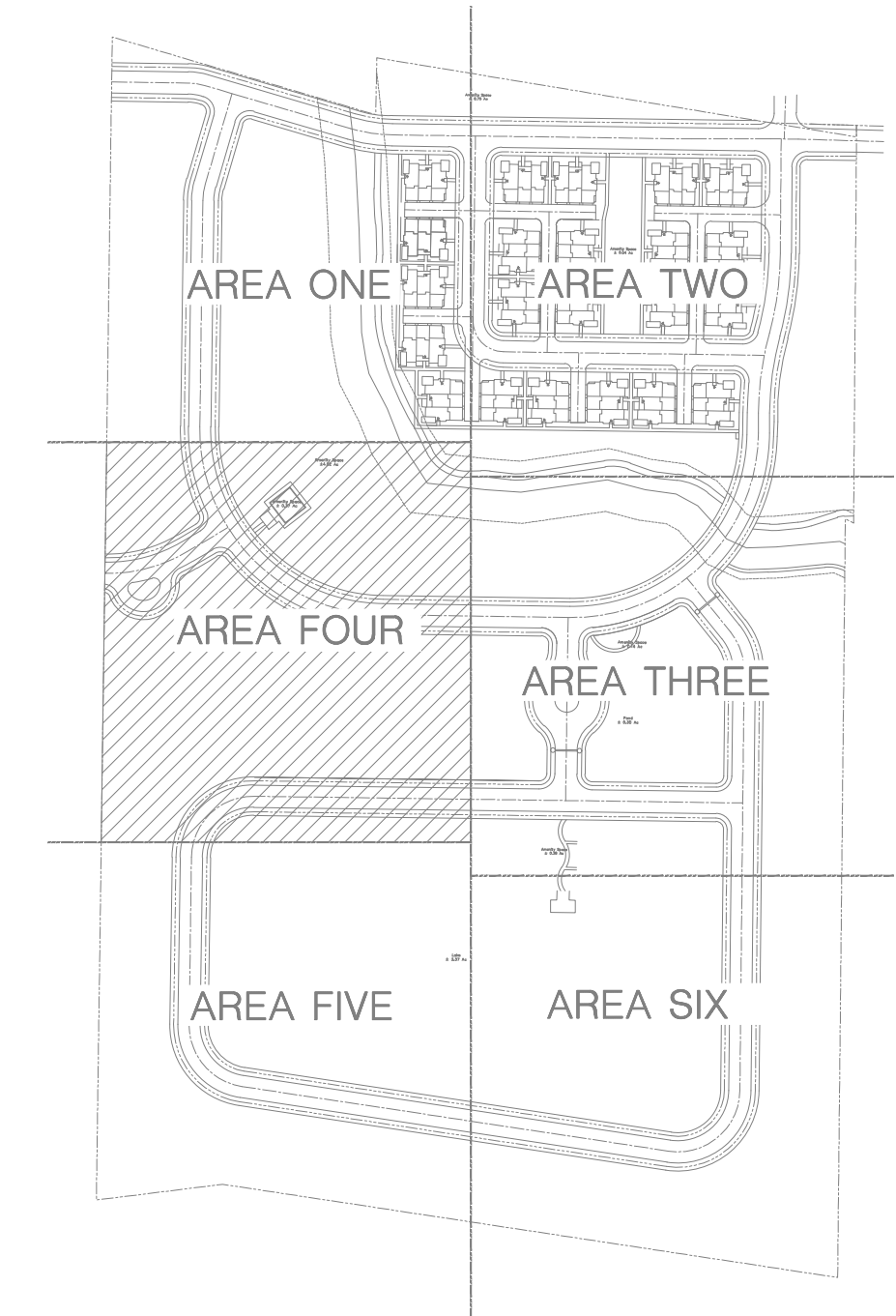
Sheet No.:

L1.4



NOTES:

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



KEYMAP

LANDSCAPE LEGEND

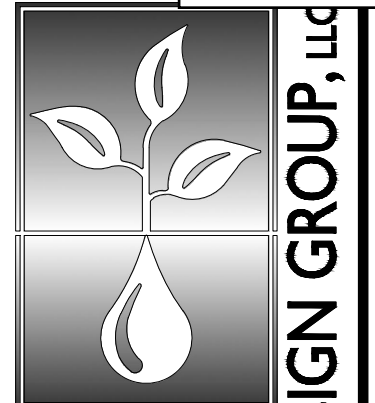
- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- X— 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

KEYNOTES (#)

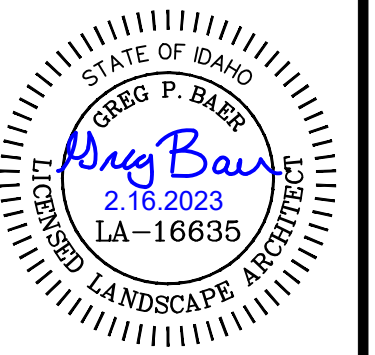
1. TOT LOT— SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD — SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE— SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D — SEE SHEET L1.7
6. GATED ENTRY ROAD C — SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE — SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE — SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA, TYPICAL CLUSTER BOX UNIT, ITEM #19fb1353139 BY SALSBUURY INDUSTRIES.
11. MONUMENT SIGNAGE — SEE SHEET L1.9.
12. DRAINAGE UTILITY — NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.

LANDSCAPE PLAN - AREA FOUR

0 30 60
Scale 1" = 30'-0"



BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

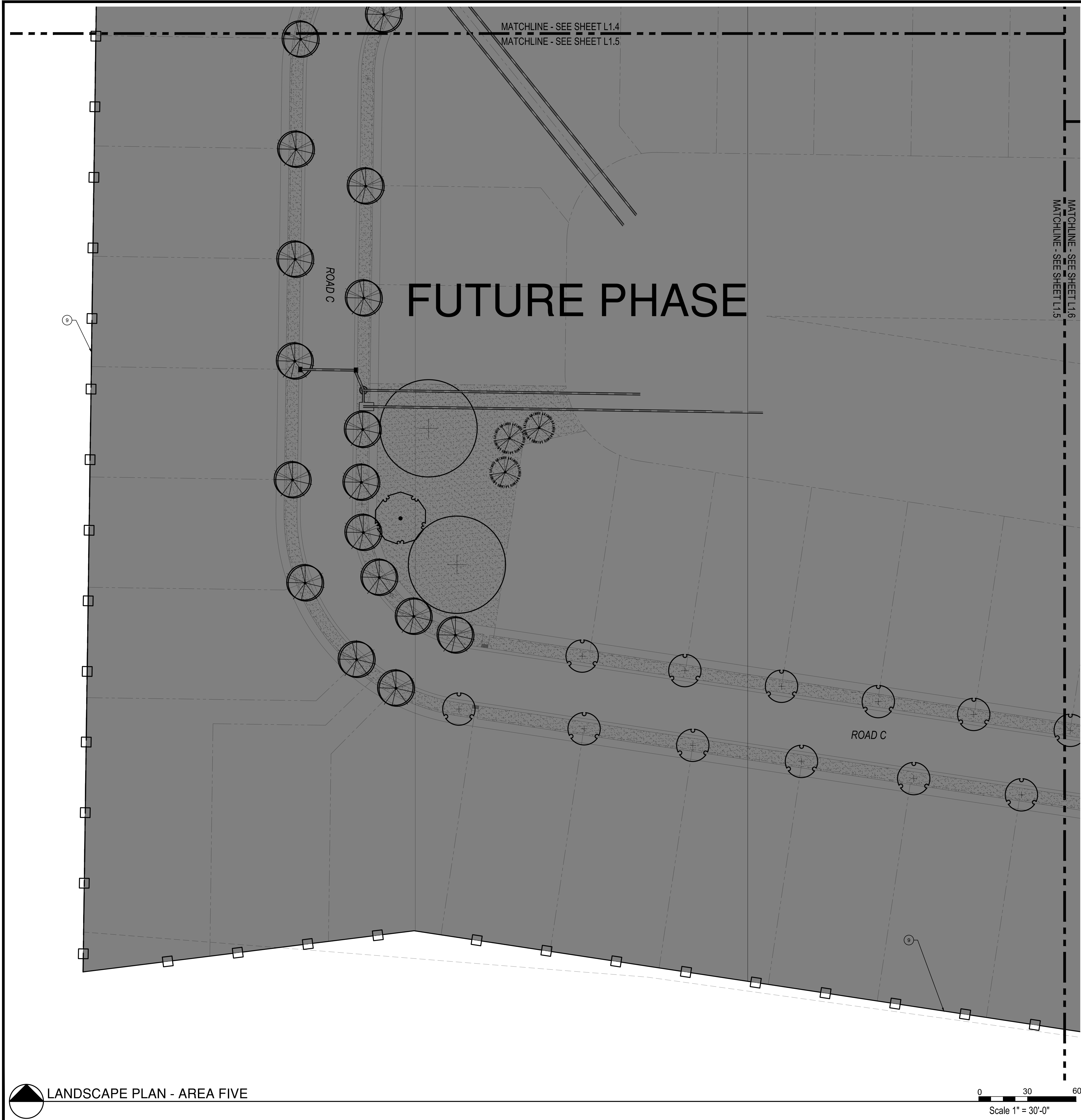
Star

Landscape Plan
Area Five

Revisions

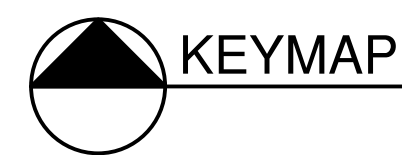
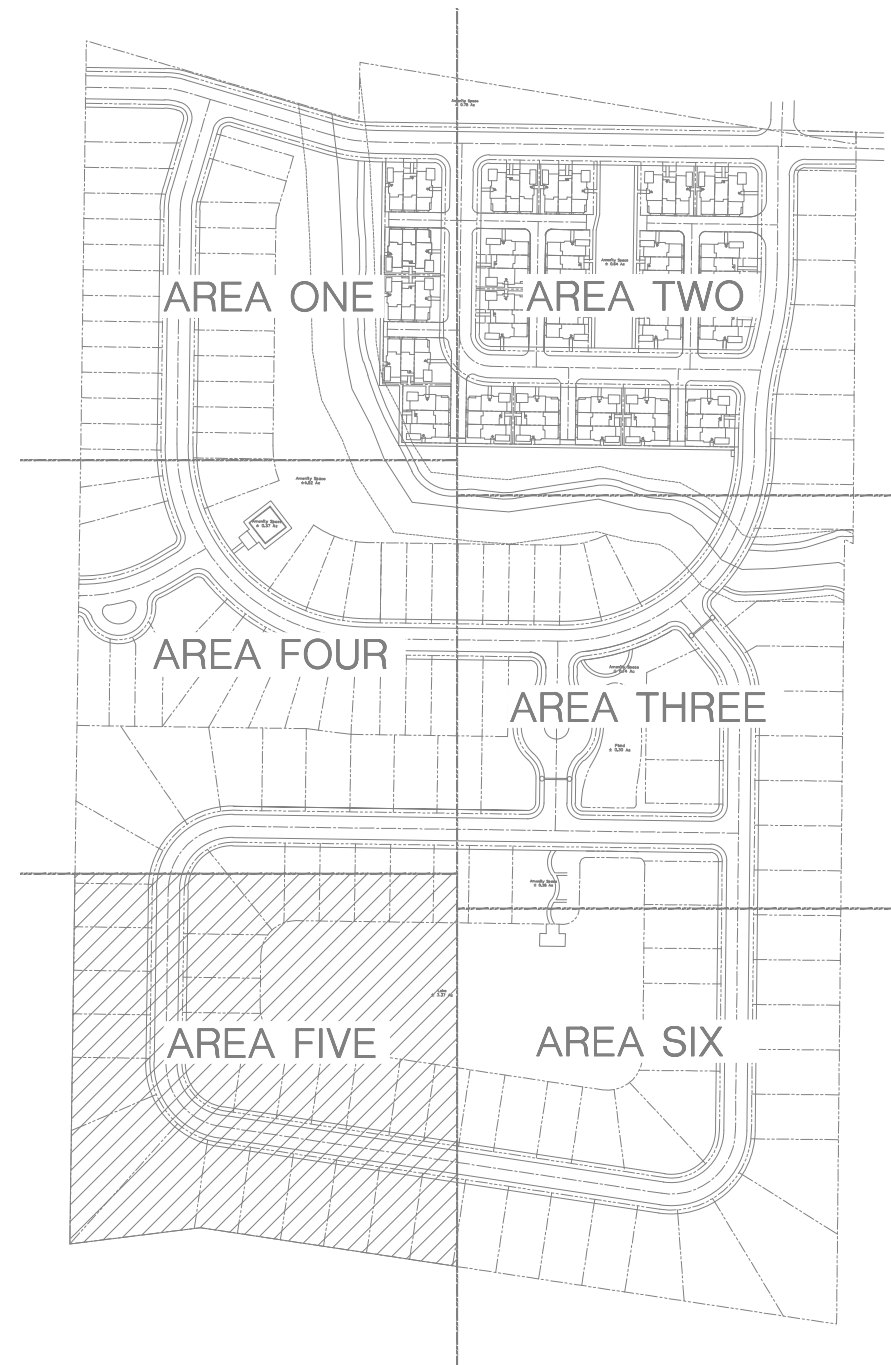
Project Name: 21001
Drawn by: GB
Checked by: GB
Date: 2.16.2023

Sheet No.:
L1.5



NOTES:

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



KEYMAP

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED

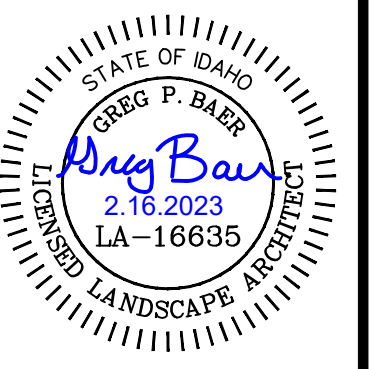
- X— 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
- 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

KEYNOTES #

1. TOT LOT— SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD — SEE CIVIL.
4. COMMUNITY POOL/CLUB HOUSE— SEE ARCHITECTURAL.
5. GATED ENTRY ROAD D — SEE SHEET L1.7
6. GATED ENTRY ROAD C — SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE — SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE — SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA, TYPICAL CLUSTER BOX UNIT.
ITEM #19161353139 BY SALSURY INDUSTRIES.
11. MONUMENT SIGNAGE — SEE SHEET L1.9.
12. DRAINAGE UTILITY — NO TREES SHALL BE PLANTED
WITHIN 10' OF DRAINAGE UTILITY.



BAER DESIGN GROUP, LLC
greg@baerdg.com
Ph. 208.859.1980



Idaho

Cranefield Subdivision

Star

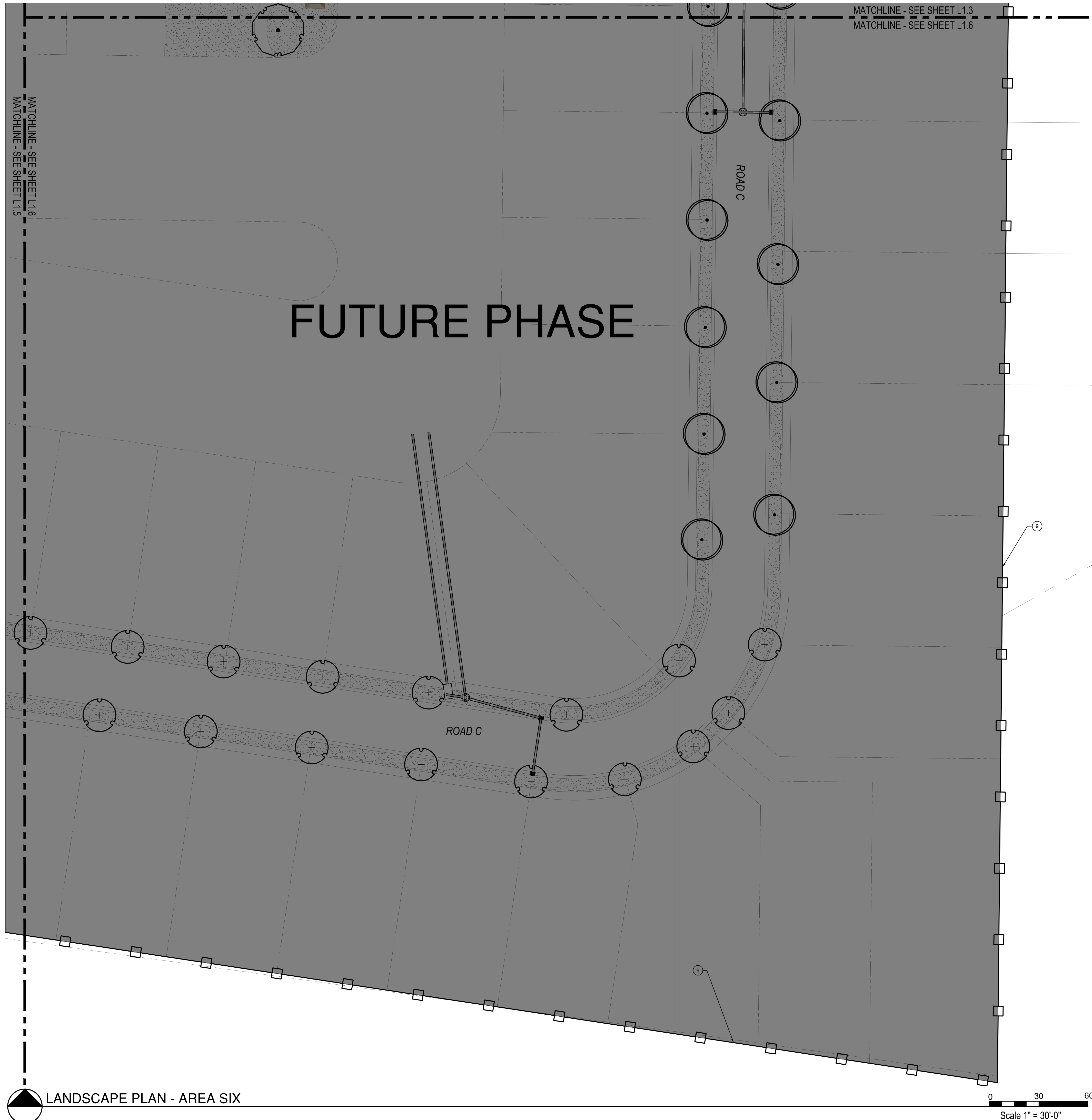
Landscape Plan
Area Six

Revisions

Project Name:	21001
Drawn by:	GB
Checked by:	GB
Date:	2.16.2023

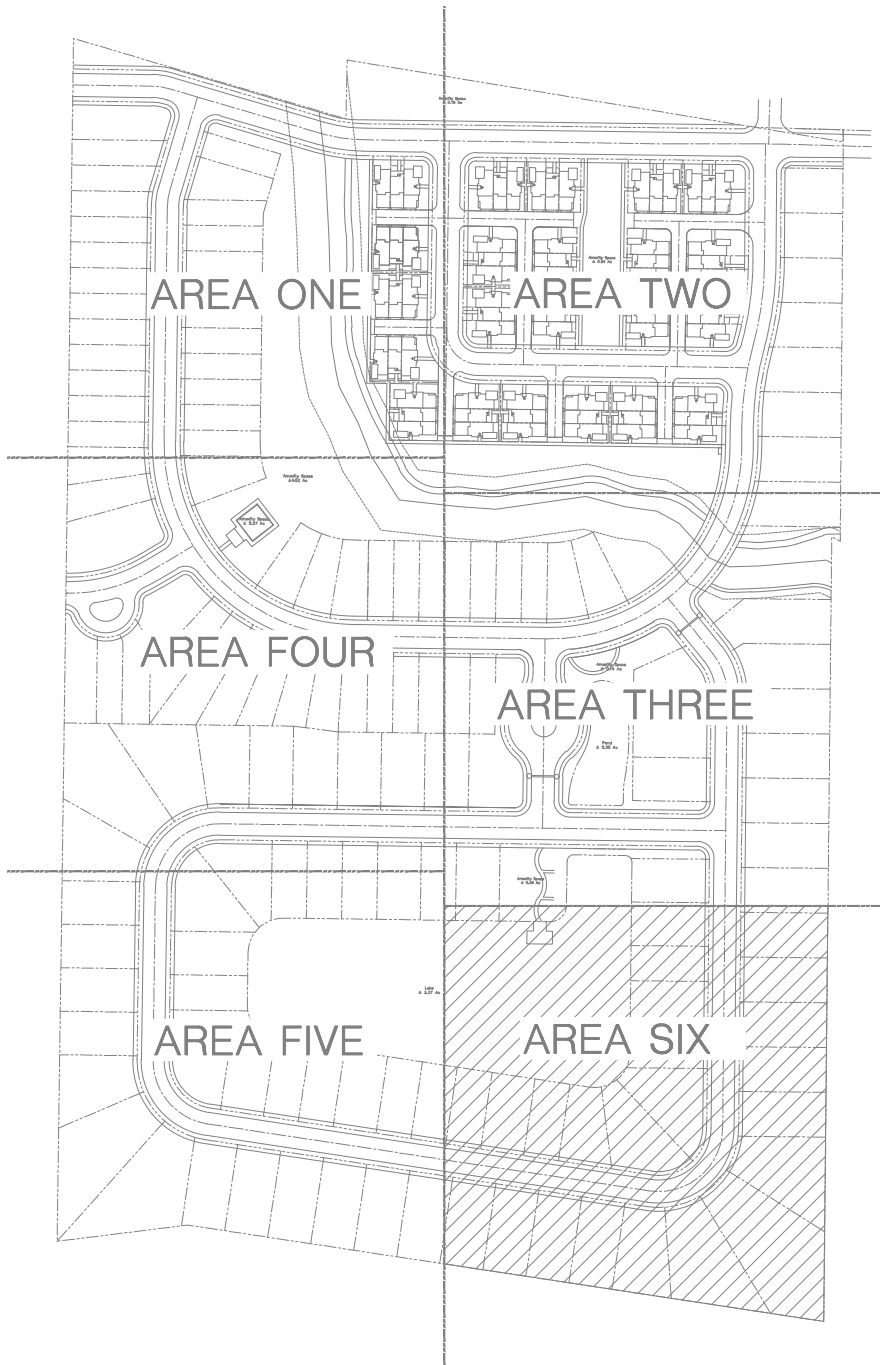
Sheet No.:

L1.6



NOTES:

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.



KEYMAP

LANDSCAPE LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREE KEY:
E-ELM, J-JUNIPER, P-POPLAR,
PI-PINE, R-RUSSIAN OLIVE
W-WILLOW (SIZES NOTED ON PLAN)
- EXISTING TREES TO BE REMOVED
- X— 6' TALL WROUGHT IRON FENCE, SEE DETAIL 5/L1.10
—□— 6' TALL SOLID VINYL FENCE, SEE DETAIL 6/L1.10

KEYNOTES #

1. TOT LOT- SEE DETAIL 7/L1.10
2. PEDESTRIAN CIRCULATION PATH
3. MAINTENANCE ROAD - SEE CIVIL
4. COMMUNITY POOL/CLUB HOUSE- SEE ARCHITECTURAL
5. GATED ENTRY ROAD D - SEE SHEET L1.7
6. GATED ENTRY ROAD C - SEE SHEETS L1.8
7. GATED ENTRY KEY PAD LOCATION.
8. 6' WROUGHT IRON FENCE - SEE DETAIL 5/L1.10.
9. 6' SOLID VINYL FENCE - SEE DETAIL 6/L1.10.
10. MAIL CLUSTER AREA. TYPICAL CLUSTER BOX UNIT. ITEM #19fb1353139 BY SALSBUURY INDUSTRIES.
11. MONUMENT SIGNAGE - SEE SHEET L1.9.
12. DRAINAGE UTILITY - NO TREES SHALL BE PLANTED WITHIN 10' OF DRAINAGE UTILITY.

0 30 60
Scale 1" = 30'-0"

LANDSCAPE PLAN - AREA SIX

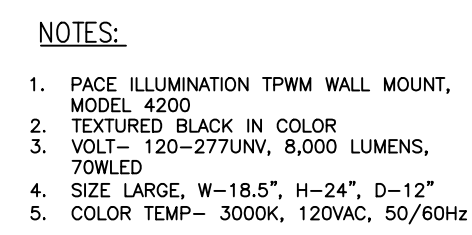
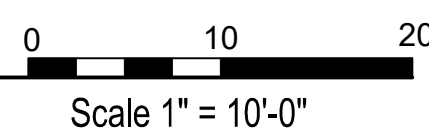
Cranefield Subdivision

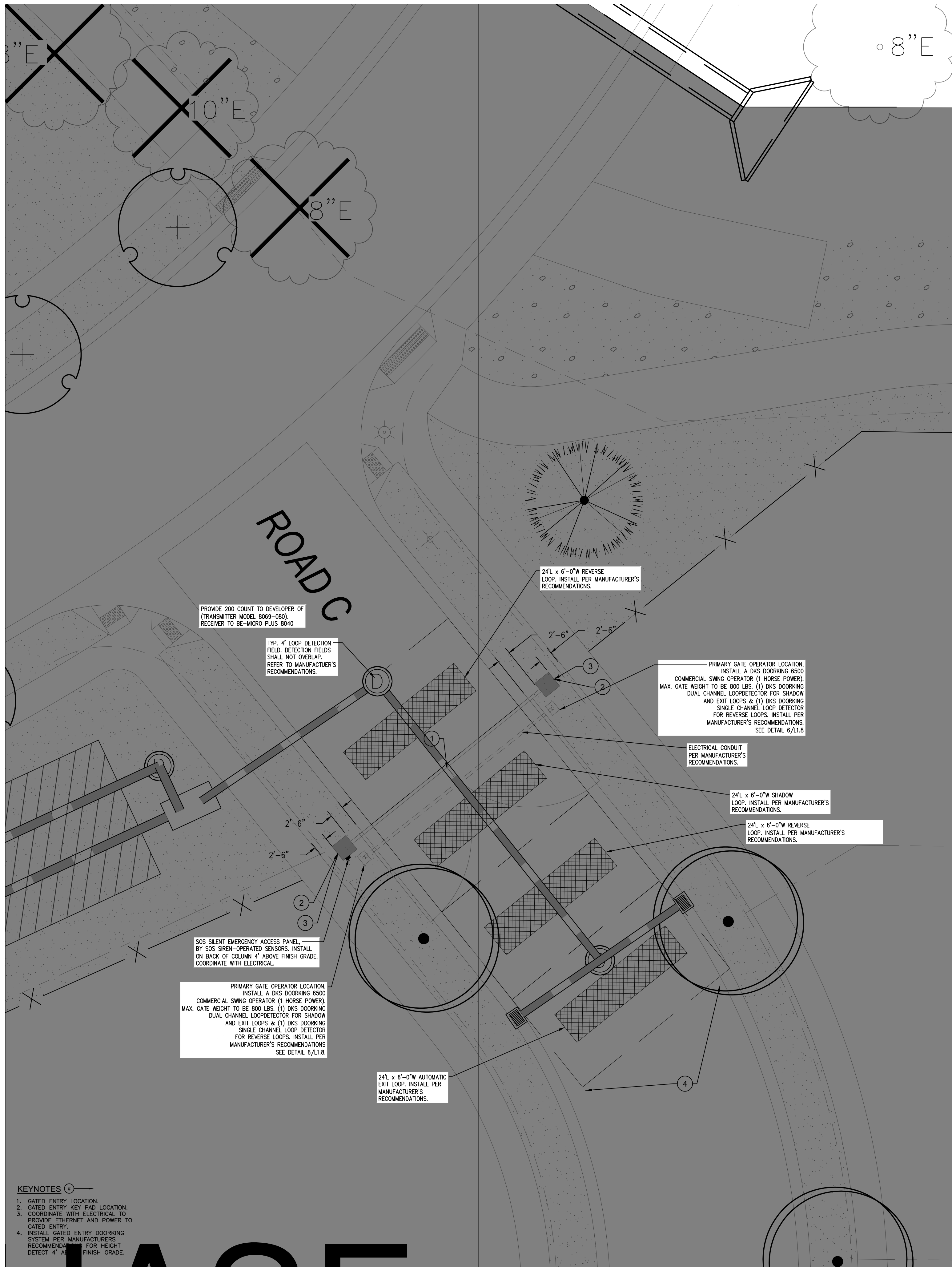
Star

Landscape Details

Project Name:	21001
Drawn by:	GB
Checked by:	GB
Date:	2.16.2023
Sheet No.:	

78





- KEYNOTES
1. GATED ENTRY LOCATION.
 2. GATED ENTRY KEY PAD LOCATION.
 3. COORDINATE WITH ELECTRICAL TO PROVIDE ETHERNET AND POWER TO GATED ENTRY.
 4. INSTALL GATED ENTRY DOORING SYSTEM PER MANUFACTURER'S RECOMMENDATIONS FOR HEIGHT DETECT 4' ABOVE FINISH GRADE.

SITE PLAN ROAD 'C' GATED ENTRY

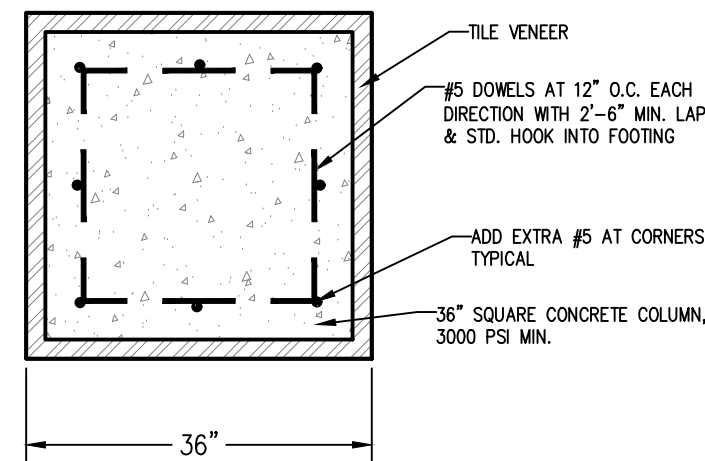
0 10 20
Scale 1" = 10'-0"

1 GATED ENTRY ROAD C ELEVATION
NTS

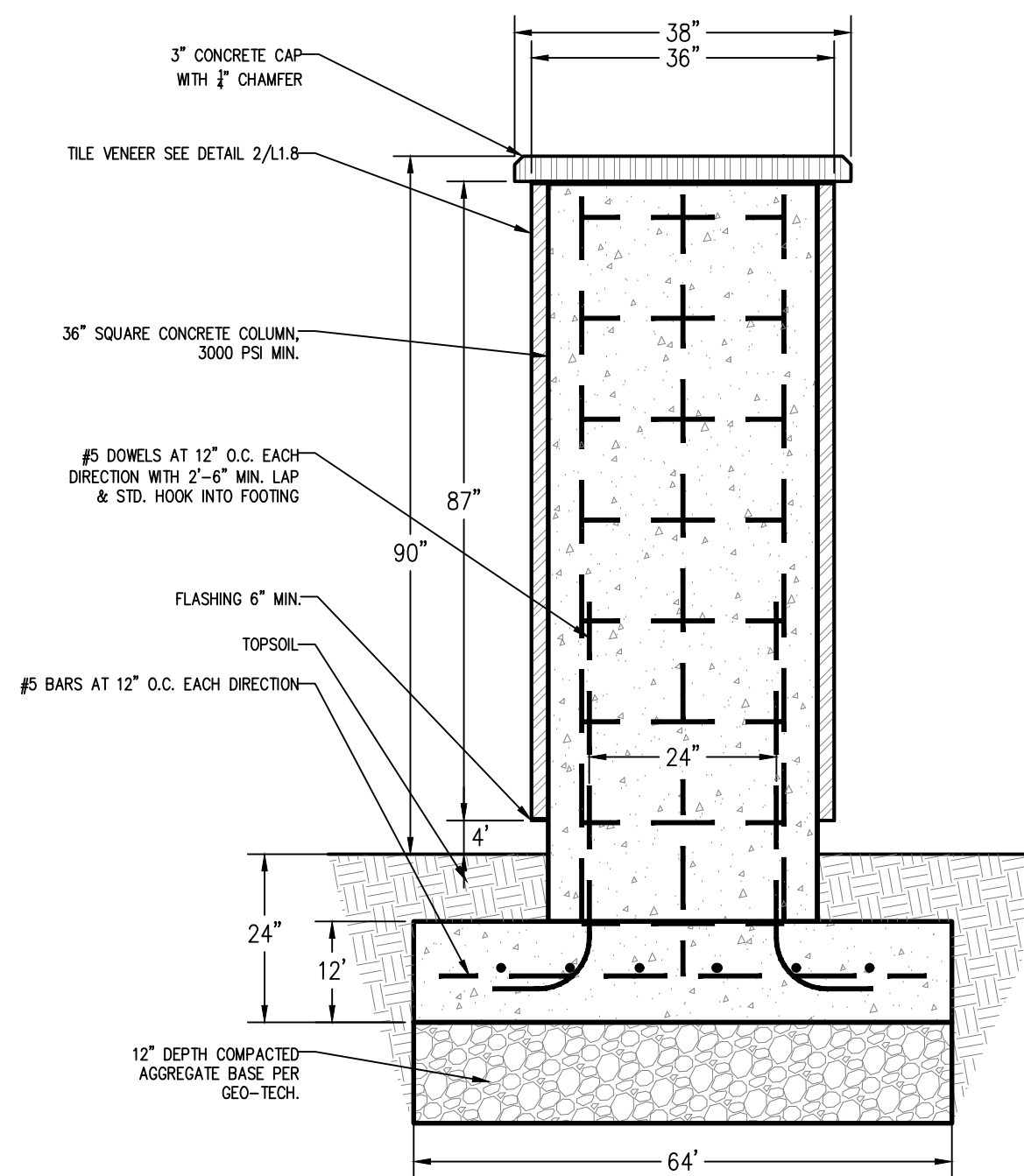


- NOTES:
1. MARAZZI TILE- AMERICAN ESTATE STYLE IN 'SUDEE' COLOR CODE: AE02
 2. FINISH TO BE 'MATTE'
 3. SIZE TO BE 6X36 AND 3/8" THICK

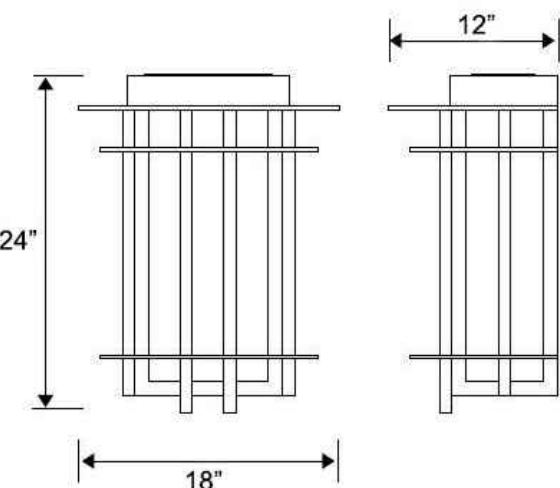
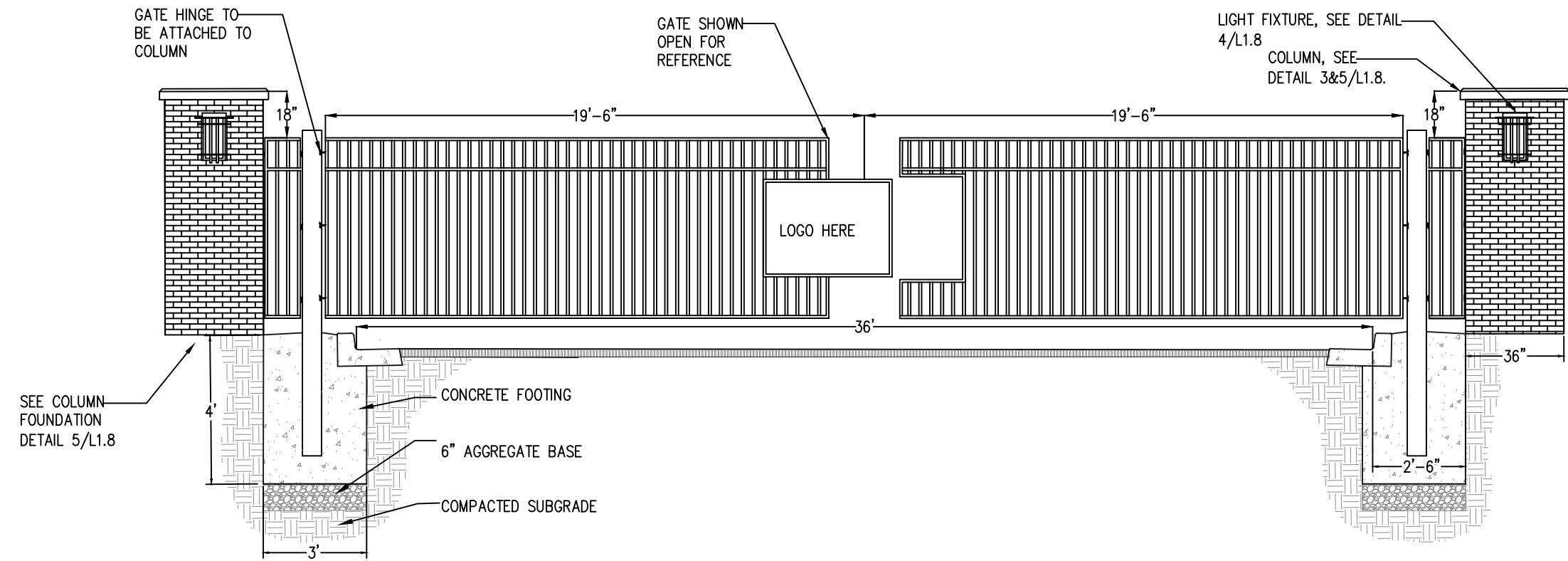
2 TILE VENEER
NTS



3 COLUMN SECTION
NTS



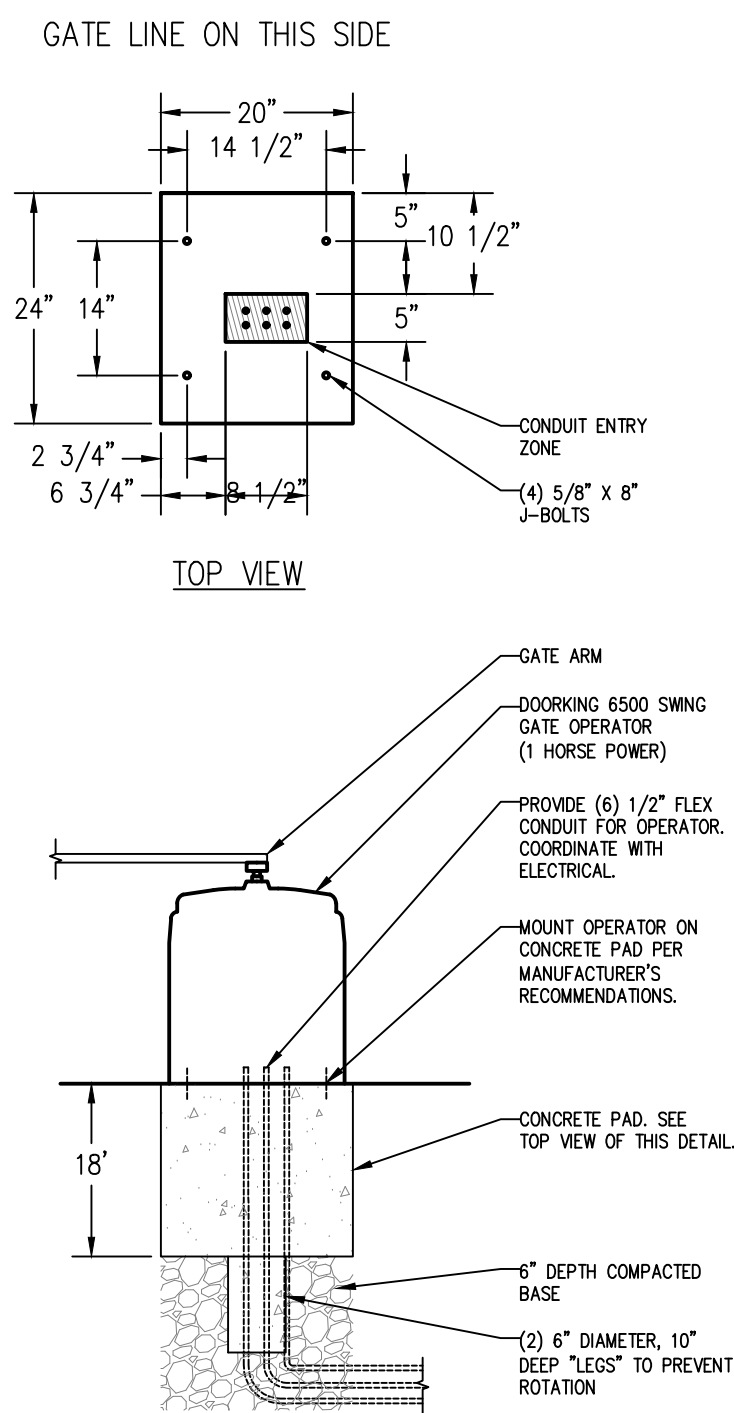
5 COLUMN
NTS



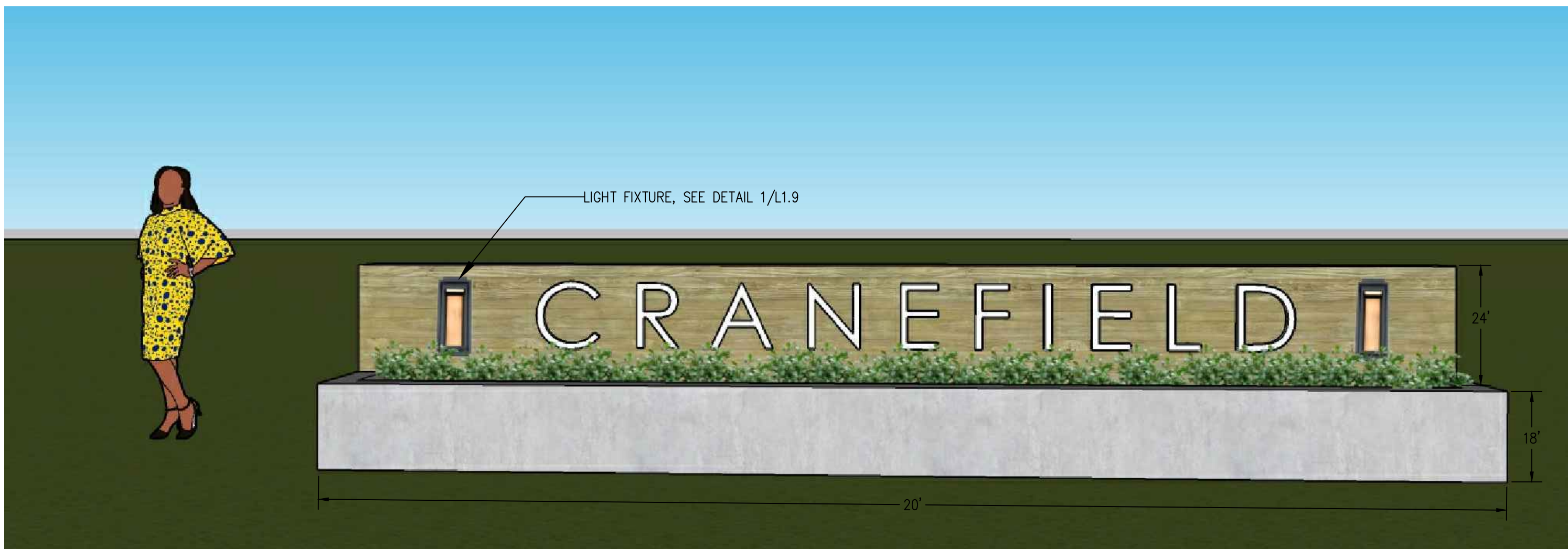
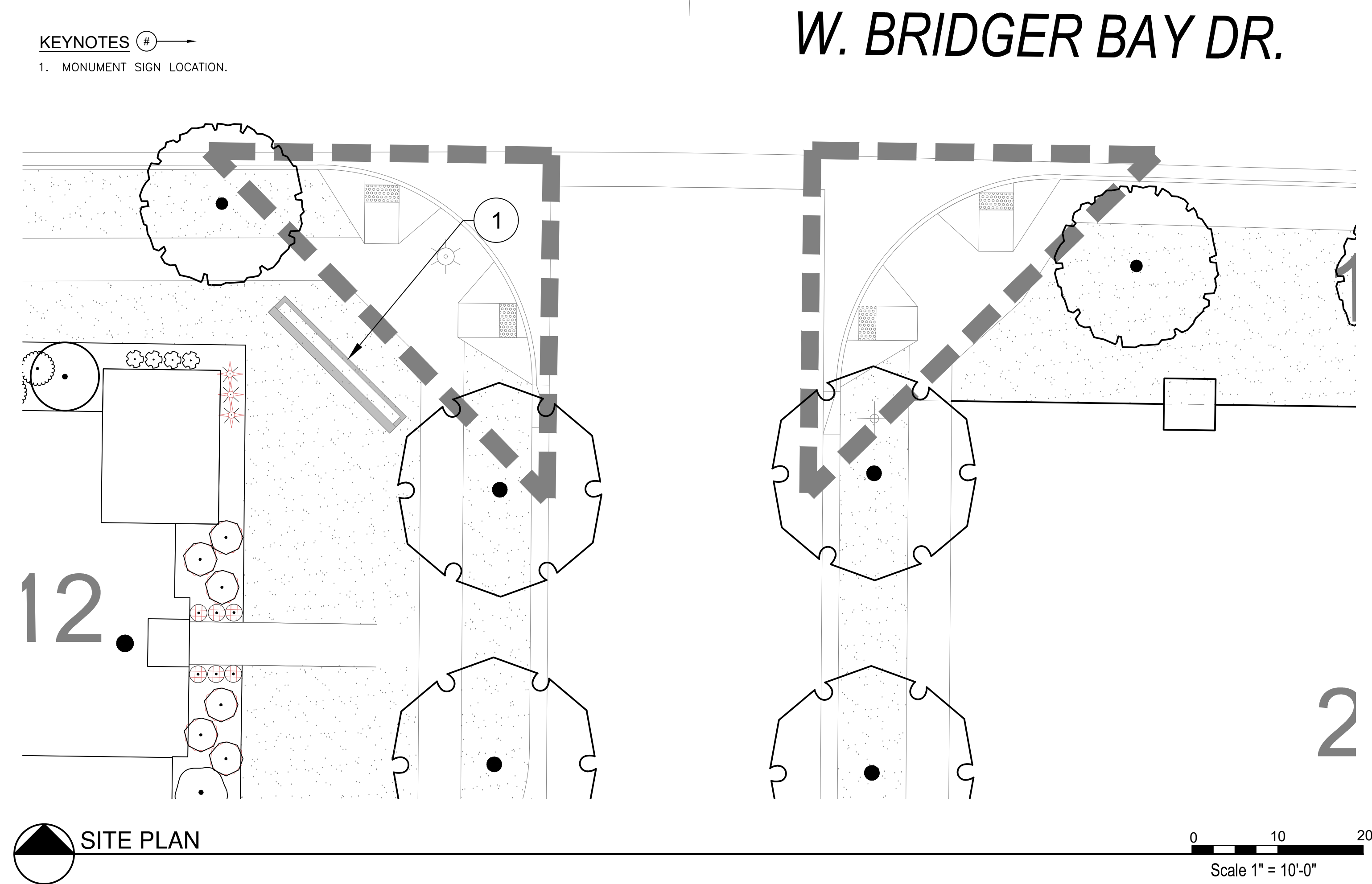
4 LIGHT FIXTURE
NTS



- NOTES:
1. PACE ILLUMINATION TPWM WALL MOUNT, MODEL 4200
 2. TEXTURED BLACK IN COLOR
 3. VOLT- 120-277UNV, 8,000 LUMENS, 70WLED
 4. SIZE LARGE, W-18.5", H-24", D-12"
 5. COLOR TEMP- 3000K, 120VAC, 50/60Hz



6 GATE OPERATOR MOUNTING
NTS



- NOTES:
1.

LIGHTS – SEE DETAIL 1/L1.9.
2.

TILE VENEER – SEE DETAIL 2/L1.9.
3.

CONCRETE TO BE NATURAL COLOR AND BROOM FINISHED.
4.

COORDINATE WITH ELECTRICAL TO PROVIDE POWER TO SIGN.

3

MONUMENT SIGN FRONT ELEVATION

NTS



1

LIGHT FIXTURE

NTS



- NOTES:
1.

MARAZZI TILE- AMERICAN ESTATE STYLE IN 'SUEDE' COLOR CODE: AE02
2.

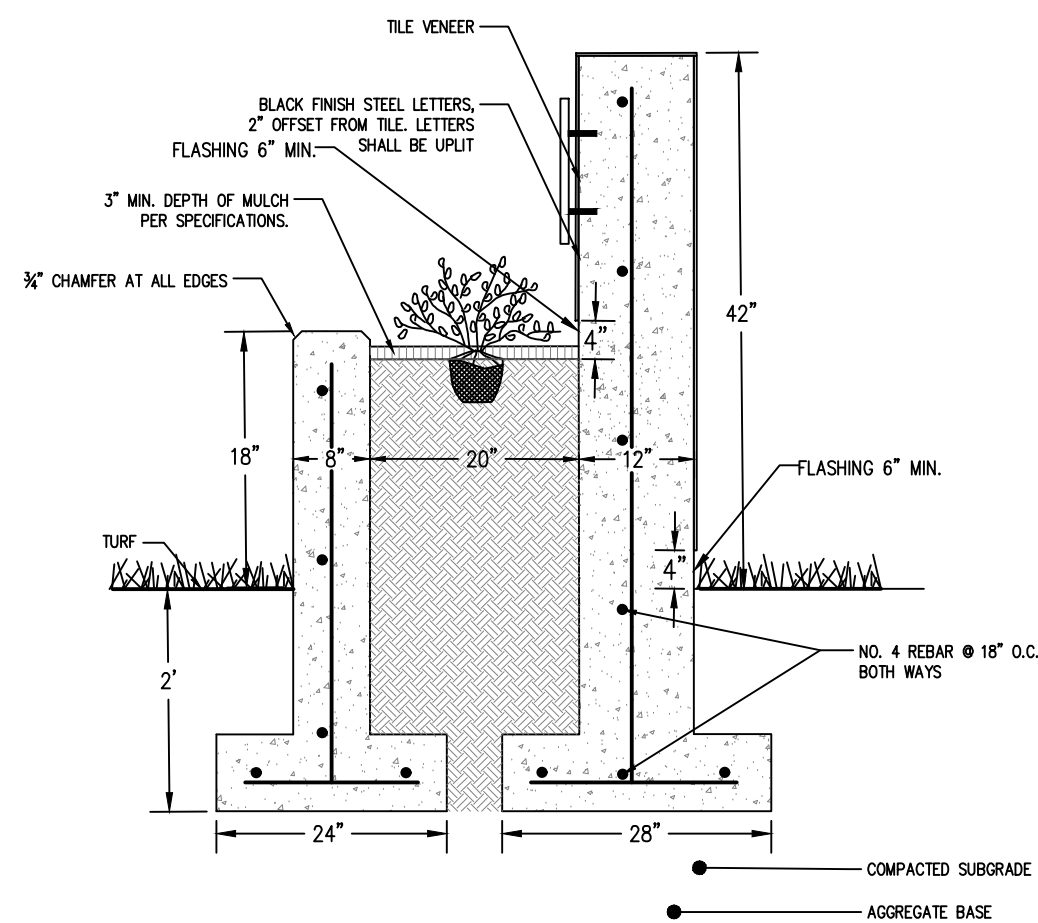
FINISH TO BE 'MATTE'
3.

SIZE TO BE 6X36 AND $\frac{3}{8}$ " THICK

2

TILE VENEER

NTS



4

MONUMENT SIGN ELEVATION

NTS

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **April 18, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Garnet Subdivision
 Files #'s AZ-23-01 Annexation & Zoning
 DA-23-01 Development Agreement
 PP-22-01 Preliminary Plat for Garnet Subdivision
 FP-22-01 Final Plat for Garnet Subdivision
 PR-23-01 Private Street

Applicant/Representative: A Team Land Consultants, Steve Arnold

Owner: Opus Development

Action: The Applicant is seeking approval of an Annexation and Zoning (R-1), a Development Agreement, a Combined Preliminary Plat/Final Plat for a residential subdivision consisting of 5 residential lots, and a Private Street. The property is located at 6697 Foothill Road in Star, Idaho, and consists of 5.15 acres with a proposed density of 1.03 dwelling units per acre.

Property Location: The subject property is generally located on the south side of Foothill Road, between Blessinger Road and Can Ada Road. Canyon County Parcel No. R33797000 0.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
 Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn T. Smith*
MEETING DATE: **May 2, 2023 – PUBLIC HEARING (tabled from April 18, 2023)**
FILE(S) #: AZ-23-01 Annexation and Zoning
DA-23-01 Development Agreement
PP-23-01 Preliminary Plat for Garnet Subdivision
FP-23-01 Final Plat for Garnet Subdivision
PR-23-01 Private Road

OWNER/APPLICANT/REPRESENTATIVE

<u>Property Owner:</u>	<u>Applicant/Representative:</u>
Opus Development LLC	Steve Arnold
954 E. Opus Street	A Team Land Consultants
Boise, Idaho 83716	1785 Whisper Cove
	Boise, ID 83709

REQUEST

Request: The Applicant is requesting approval of an Annexation & Zoning (R-1-DA), Development Agreement, a Combined Preliminary Plat/Final Plat for a proposed residential development consisting of 5 residential lots and a Private Street. The property is located at 6697 Foothill Road in Star, Idaho, and consists of 5.15 acres with a proposed density of 1.03 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the south side of Foothill Road, between Blessinger Road and Can Ada Road. Canyon County Parcel No. R3379700000.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Rural Residential (RR) Canyon County	Low Density Residential	Single Family Dwelling/Vacant Ground
Proposed	Residential R-1-DA	Low Density Residential	Single Family Residential Subdivision
North of site	Rural Residential (RR) Canyon County	Low Density Residential/Special Transitional Overlay Area	Foster Heights Single Family Residential Subdivision
South of site	Rural Residential (RR) Canyon County	Estate Urban Residential	Agricultural Use
East of site	Residential (R-1)	Low Density Residential	Ryken Meadows Subdivision
West of site	Rural Residential (RR) Canyon County	Low Density Residential	Single Family Residential

Existing Site Characteristics: The property currently has a single-family residence with several outbuildings. The remainder of the property is vacant.

Irrigation/Drainage District(s): Middleton Irrigation Association
Middleton Mill Ditch Company
P.O. Box 848
Middleton, Idaho 83644

Flood Zone: This property is not currently located in Special Flood Hazard Zone.
FEMA FIRM Panel Number: 16001C0259G
Effective Date: 6/7/2019

Special On-Site Features:

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – Scrub trees that will be removed and replaced.
- ✧ Riparian Vegetation – No.
- ✧ Steep Slopes – No.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.

- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	July 14, 2022
Neighborhood Meeting Held	September 1, 2022
Application Submitted & Fees Paid	January 26, 2023
Application Accepted	March 28, 2023
Residents within 300' Notified	March 28, 2023
Agencies Notified	February21, 2023
Legal Notice Published	March 31, 2023, 2023
Property Posted	April 7, 2023

HISTORY

This property does not have any history of land use applications within the City of Star.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent

zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

<u>ZONING DISTRICT USES</u>	A	R-R	R
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
R-1	35'	30'	30'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-3B-3: RESIDENTIAL DISTRICT ADDITIONAL RESIDENTIAL DISTRICT STANDARDS:

- A. Transitional Lots. For proposed residential developments located adjacent to a Special Transition Area only, as determined on the current Comprehensive Plan Land Use Map, transitional standards listed below shall be required if reasonable evidence is presented that adjacent properties will not be further subdivided in the future. This shall be through a legal encumbrance that prevents the adjacent land from being further subdivided. These encumbrances shall include:
- a. Property with a Future Comprehensive Plan Land Use Map designation that does not allow future redevelopment to densities lower than one dwelling unit per acre.
 - b. Subdivision CC&R's preventing further redevelopment;
 - c. Easements granted to municipal or other political entities, voluntary development easements granted to conservation land trusts, or other, legal encumbrances conserving the property in perpetuity, such as deed restrictions.
- This specifically excludes statements from landowners regarding future intent without proof of legal encumbrance.

The allowed Transitional Density for new development adjacent to Special Transition Areas, shall be as follows:

Existing Transitional Lot Sizes	Allowed Immediately Adjacent Minimum Lot Size	Allowed Immediately Across the Road from Transitional Lot
Lots larger than 1.1-acre	1 acre lots	½ acre lots
Lots of 1 to 1.1-acre	½ acre lots	1/3 acre lots
Lots smaller than 1-acre	1/3 acre lots	R-3 density Maximum

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

- A. Design Standards:
- 1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
 - 2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
 - 3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.

4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);

2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;

3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets may request a waiver of sidewalks to be approved by Council.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.

- a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The

board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.

- b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

4. Developments with a density of less than 1 dwelling unit per acre may request a waiver of open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space and amenities to the Council.

8-6A-5: COMBINED PRELIMINARY AND FINAL PLAT PROCESS:

A. Applicability: A subdivision application may be processed as both a preliminary and final plat if all of the following exist:

1. The proposed subdivision does not exceed five (5) lots (excluding common and/or landscaping lots); or a previous plat was approved on the subject property; and
2. No new street dedication, excluding widening of an existing street, is required; and
3. No major special development considerations are involved, such as development in a floodplain or hillside development.

B. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a combined preliminary and final plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.

C. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C, to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

D. Application Requirements: Applications and fees, in accord with subsection 8-6A-3 of this article shall be submitted.

E. Contents of Final Plat: The final plat shall include all items required in subsection 8-6A-4B of this article or any additional items required by the Administrator.

F. Decision: A decision on a combined preliminary and final plat is made by the city council.

8-6A-7: REQUIRED FINDINGS:

In consideration of a preliminary plat or combined preliminary and final plat, the decision-making body shall make the following findings:

- A. The plat is in conformance with the comprehensive plan;
- B. Public services are available or can be made available and are adequate to accommodate the proposed development;
- C. There is public financial capability of supporting services for the proposed development;
- D. The development will not be detrimental to the public health, safety or general welfare; and
- E. The development preserves significant natural, scenic or historic features.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Low Density Residential

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 1 dwelling unit per acre. It is the intent of this land use designation to provide larger lots and help transition from higher densities to the Rural Residential land uses, typically to the north of the City. Densities may be limited due to the availability of infrastructure however sewer and water may be extended to serve these properties where available, and wells and septic systems may be permitted for lots in this land use designation if approved by the applicable Health Department. Modified street sections and a reduction in light pollution (by reducing lighting standards) may be offered for a more rural feel. Clustering is allowed to preserve open space.

Special Transition Overlay Area

Development adjacent to, and potentially within, this area is to provide for an appropriate transition between existing and new home sites where new urban development is being planned adjacent to previously approved and constructed rural county developments of years past. Site layout is to provide for a transition in density and lot sizing.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Estate and Neighborhood I Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Estate and Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.
- C. Site layout shall adjacent to and within provide the Special Transition Overlay Area for a transition in density and lot sizing.
- D. High Density residential uses should be located in close proximity to commercial centers located near highway corridors floors within the Central Business District land use area and on upper. High Density residential uses otherwise should not be dispersed throughout the community and should not be located along the Boise River.
- E. High Density residential may be limited to ensure compatibility and transition between uses adjacent to the site.
- F. High Density residential design specifications may include increased setbacks for multistory buildings and increased landscape buffers.

8.5.4 Policies Related to The Special Transition Overlay Areas

- A. Development adjacent to and within the Special Transition Overlay Area is to provide for an appropriate transition between existing and new home sites where new urban development is being planned adjacent to previously approved and constructed rural county developments of years past.
- B. Site layout is to provide for a transition in density and lot sizing with all policies regarding compatibility herein applying.
- C. Modified street sections, such as with no curbs gutters or sidewalks, should be encouraged for adjacent compatibility where determined appropriate.
- D. When an urban density residential development is planned with lots that directly abut lots within a Special Transition Overlay Area an appropriate transition is to be provided for the two abutting residential lot types. A transition must take into consideration site constraints that provide transitional lots and/or open space area avoiding urban lots directly abutting Special Transition Overlay Area lots.
- E. Larger setbacks should be required for new lots planned to abut existing Special Transition Overlay Area lots.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.

- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

ANNEXATION & ZONING:

The annexation and zoning request from Canyon County Rural Residential (RR) to Residential (R-1-DA) on the applicant’s property will allow for the development and subdivision of the subject property into a residential use consistent with land uses on surrounding properties in the area. Municipal sewer and water are not available to this portion of the Star Impact Area. The overall density of the proposed development as submitted is 1 dwelling unit per acre. The Comprehensive Plan Land Use Map designates this property as Low Density Residential *suitable primarily for single family residential use. Densities in this land use area are a maximum of 1 dwelling unit per acre.* Although the surrounding parcels may redevelop in the future when services are extended, the properties to the north are designated as a Special Transition Overlay Area in the Comprehensive Plan, where *an appropriate transition shall be provided for the two abutting residential types.* Goal 8.3 of the Comprehensive Plan *encourages the development of a diverse community that provides a mix of land uses and housing types.* **Based on the submitted preliminary plat, the lots proposed meet the intent and requirements for Special Transition Overlay Areas.**

COMBINED PRELIMINARY/FINAL PLAT:

The preliminary/final plat submitted contains five (5) single family residential lots of 1-acre each, and a private street to access the lots. The preliminary/final plat indicates primary access for the development from Foothill Road via a private street with a 60-foot-wide easement with a **paved driving surface measuring 20 feet in width and borrow ditches on each side. The Unified Development Code Section 8-4D-3-B requires all streets to be a minimum of thirty-six feet (36’) wide and constructed to ACHD/CHD4 standards. Staff recommends a minimum of 26’ in road width with at least no parking on one side of the roadway, with approval from the Star Fire District.**

The preliminary/final plat indicates that the development will not contain landscaped open space. Section 8-4E-2 of the UDC allows Council to waive landscaping requirements for subdivisions with densities of 1 acre or less. Given the large lot size and rural nature of this development, staff is supportive of the waiver for open space. **Staff will still require street trees to be located along the frontages within the building lots.**

ADDITIONAL DEVELOPMENT FEATURES:

- Private Street
The development is proposing a private street. The private street shall be built to the construction standards of ACHD, to include paving. The applicant is proposing a 20' width for the private street. Street widths shall be determined by the Council and Star Fire District. Star Fire District requires a minimum of 20' width for private streets with no parking and 26' for parking on one-side. As part of 8-4D-3C, *the applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. A reserve account condition shall be included in the recorded CC&R's*
- Sidewalks
The applicant is not proposing sidewalks within the development. With adequate street width established and the small number of lots, staff is supportive of no sidewalks in the development. **The UDC allows for the Council to waive sidewalks in certain circumstances.**
- Lighting
Given the rural area, streetlights should be minimal to address safety at the intersection of the private street and Foothill Road. Any lighting in the development shall reflect the "Dark Sky" criteria of the City. The Applicant has submitted a streetlight plan and design that are in compliance with City requirements.
- Street Name
The street names designated on the preliminary plat will need to be approved by City Staff prior to acceptance of the final plat application. *The Applicant shall work with City Staff on this approval process.*
- Subdivision Name
The subdivision name designated on the preliminary plat will need to be approved by City Staff prior to acceptance of the final plat application. *The Applicant shall work with City Staff on this approval process.*
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35)

linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for street trees.**

- Setbacks – **The applicant is not requesting a setback waiver and will follow the setbacks for the R-1 zone as identified in this report.**
- Mailbox Cluster – **The Applicant shall work with the applicable Postmaster on approval for mail delivery boxes/cluster. This approval documentation will need to be provided to City Staff prior to signing the mylar.**
- Star Fire District Review – The Fire District review indicates that fire sprinklers will be required for all 5 future homes.

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- **ITD Proportionate Share Fees;**
- **Future Development**
- **Fire Sprinklers requirements**

AGENCY RESPONSES

ITD	March 13, 2023
City Engineer	Pending
Star Fire District	April 10, 2023
Southwest District Health Dept.	February 24, 2023
Middleton School District	March 16, 2023
Canyon Highway District No. 4	February 21, 2023

PUBLIC RESPONSES

Staff has not received any communication from the public related to this application.

STAFF ANALYSIS AND RECOMMENDATION

Staff is supportive of the design, layout and density of the development application, with the proposed conditions of approval.

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed annexation and zoning, preliminary and final plat, and private street meets the requirements, standards and intent for development as they relate to the Unified Development Code and the Comprehensive Plan. The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.
The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:
 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*
 - ✓ *Ensure development is commensurate with the physical characteristics of the land.**The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*
2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

COMBINED PRELIMINARY/FINAL PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

1. *Designing development projects that minimize impacts on existing adjacent properties, and*
2. *Managing urban sprawl to protect outlying rural areas.*

2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.

3. There is public financial capability of supporting services for the proposed development;

The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.

- 4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
- 5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE ROAD FINDINGS:

- A. The design of the private street meets the requirements of this article;
The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:
The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.
The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

- 1. The approved Preliminary/Final Plat for the Garnet Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. The subdivision shall meet all requirements of Canyon Highway District #4 and Star Fire District.

3. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.**
4. **The private street shall be constructed to CDH4 and Star Fire District standards. An access permit shall be obtained by Canyon Highway District #4 prior to construction. Star Fire District shall inspect and approve private street prior to signature of final plat.**
5. **A plat note shall be added to the final plat stating, "Lots fronting Foothill Road are subject to a roadway slope easement from the road right-of-way, in favor of Canyon Highway District No. 4 for the construction and maintenance of the roadway shown hereon".**
6. **The Applicant shall provide documentation that the subdivision name has been approved and reserved and accurately reflected on the final plat before the final plat can be signed.**
7. **The Applicant shall provide documentation that the street names for the development have been approved and are reflected correctly on the final plat, before the mylar can be signed.**
8. **A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service. Mailbox cluster locations shall be determined and located based on the Postmaster.**
9. **All approvals relating to hillside issues and requirements shall be completed and approved by the City Engineer prior to signing the final plat. Construction of any kind is prohibited prior to approval.**
10. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
11. Private street shall be maintained by the Homeowners Association.
12. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
13. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
14. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned as needed, with regularity, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.

- 15. **A plat note** supporting the “Right to Farm Act” as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 16. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 17. Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees to include one (1) tree per thirty-five (35) linear feet.
- 18. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 19. A plat note supporting the “Right to Farm Act” as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 20. A copy of the CC&R’s shall be submitted to the City of Star at Final Plat.
- 21. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 22. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 23. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 24. Applicant shall provide the City with one (1) full size, one (1) 11”x17” copy and an electronic copy of the **signed recorded final plat** with all signatures, prior to any building permits being issued.
- 25. The mylar/final plat shall be signed by the owner, Surveyor, Health District, and City Engineer, prior to being delivered to the City of Star for City Clerk’s signature.
- 26. All common areas shall be owned and maintained by the Homeowners Association.
- 27. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 28. A sign application is required for any subdivision signs.
- 29. **Owner/Developer will agree to install a 2” (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 30. **Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

The Star City Council _____ File Number AZ-23-01/DA-23-01/PP-23-01/FP-23-01/DA-23-01 for Garnet Subdivision on _____, 2023.



VICINITY MAP

SCALE: 1:500

OWNER/DEVELOPER

***OPUS DEVELOPMENT, LLC
954 E. OPUS ST.
BOISE, ID 83716***

PLANNER / CONTACT

***STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
BOISE, ID 83709 PH. 208-871-7020***

GARNET SUBDIVISION

***A PORTION OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 1, T.1N., R.2W., BOISE
MERIDIAN, CANYON COUNTY, IDAHO.***





January 9, 2023

Mr. Shawn Nickel, Planning Director
City of Star
10769 W State Street
Star, Idaho 83669

Dear Shawn:

Subject: Garnet Subdivision

On behalf of Opus Development LLC., A Team Land Consultants presents to the City of Star a preliminary/final plat application for the proposed Garnet Subdivision. The subject property is located at 6697 Foothill Road. The property contains 5.10 acres and is identified as Canyon County Assessor's Tax Parcel Number R3379700000.

Project Summary

The applicant is proposing 5 single family lots on 5.10 acres to be built in one phase. The proposed gross density of the residential area is calculated at 1 unit per acre. Under the existing FLUM, the site is allowed up to 5 units. The proposed lots match the lot sizes of Ryken Meadows Subdivisions that is east of the site.

Landscaping

A landscape plan has been prepared in accordance with the City standards. We will landscape along the private road. The landscape will be maintained by adjacent lots. There will provision within the CC&R's that will address the maintenance.

Utilities, Irrigation, Storm Drainage, and Roads

There are existing dry utilities adjacent to this site's north property line. The developer is proposing to extend them into the site. Irrigation is proposed to all the proposed lots. All lots will be provided with access to the public roads via a private drive isle. To treat the storm drain for the private road we will utilize a bio swale at the south end of the site. All storm drain will be designed to accommodate the 100-year event. During the construction of the site, a storm water pollution prevention plan will be provided, and best management practices will be implemented.

Neighborhood Meetings

There was a neighborhood meeting conducted prior to submitting this application. One neighbor attended and was in favor of the proposal.

Page 2

It is anticipated that the applications are in compliance with all applicable plans and codes adopted by the city. Please notify us as early as possible if you should need additional clarification or information regarding this application. The proposed development will be a great addition to the city and is compatible with adjacent lots. I look forward to working with the city as this development moves forward in the process.

Sincerely,
A Team Land Consultants



Steve Arnold
Project & Real Estate Manager



ANNEXATION & ZONING - REZONE APPLICATION

***All information must be filled out to be processed.

FILE NO.: _____
Date Application Received: _____ Fee Paid: _____
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ☒ Owner ☐ Representative ☒

Applicant Name: A Team Land Consultants, Steve Arnold
Applicant Address: 1785 Whisper Cove Avenue, Boise ID Zip: 83709
Phone: 208-871-7020 Email: steve@ateamboise.com

Owner Name: Opus Development
Owner Address: 954 E Opus Street, Boise ID Zip: 83714
Phone: 208.724.5256 Email: david@platinumidaho.com

Representative (e.g., architect, engineer, developer):
Contact: Steve Arnold Firm Name: A Team Land Consultants
Address: 1785 Whisper Cove Ave. Boise ID Zip: 83709
Phone: 208-871-7020 Email: steve@ateamboise.com

Property Information:

Site Address: 6697 Foothill Road, Star ID 83669 Parcel Number: R33797000 0
Total Acreage of Site: 5.15
Total Acreage of Site in Special Flood Hazard Area: None, the site is outside a flood hazard area.
Proposed Zoning Designation of Site: R-1

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Canyon County RR	Neighborhood Residential	Single Family
Proposed	R-1	Neighborhood Residential	Single Family
North of site	Canyon County RR	Neighborhood Residential	Single Family
South of site	Mixed Use-DA	Neighborhood Residential	Agriculture
East of site	R-1	Neighborhood Residential	Single Family
West of site	Canyon County RR	Neighborhood Residential	Single Family

Special On-Site Features (Yes or No – If yes explain):

Areas of Critical Environmental Concern - No known

Evidence of Erosion - None

Fish Habitat - None

Floodplain - No

Mature Trees - Yes, scrub trees that will be removed and replaced with street trees.

Riparian Vegetation - No

Steep Slopes - No

Stream/Creek - No

Unique Animal Life - No known

Unique Plant Life - No known

Unstable Soils - No

Wildlife Habitat - No

Historical Assets - No known

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
X	Completed and signed Annexation & Zoning/Rezone Application	
X	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Narrative fully describing the proposed project (must be signed by applicant)	
X	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> • Include a metes & bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet. • Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h. • If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map. • Submit word.doc and pdf version with engineer's seal. 	
X	Recorded warranty deed for the subject property	

X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
X	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
X	One (1) full-size 24" X 36" copy and one (1) 11" X 17" copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, please submit conceptual development plan for the property.	
X	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	
X	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Two (2) copies of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site plans) on two (2) thumb drives only (no discs)</u> with the files named with project name and plan type.	
X	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
X	*Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: <u>Steve Arnold</u>	
X	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits. Please contact SSWD for details.	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

Steve Arnold

Applicant/Representative Signature

1/23/23

Date



PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: _____
Date Application Received: _____ Fee Paid: _____
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ☒ Owner ☐ Representative ☒

Applicant Name: A Team Land Consultants, Steve Arnold
Applicant Address: 1785 Whisper Cove Ave. Boise ID Zip: 83709
Phone: 208-871-7020 Email: steve@ateamboise.com

Owner Name: Opus Development LLC
Owner Address: 954 E Opus Street, Boise ID Zip: 83716
Phone: 208.724.5256 Email: david@platinumidaho.com

Representative (e.g., architect, engineer, developer):
Contact: Steve Arnold Firm Name: A Team Land Consultants
Address: 1785 Whisper Cove Ave. Boise ID Zip: 83709
Phone: 208-871-7020 Email: steve@ateamboise.com

Property Information:

Subdivision Name: Garnet Subdivision
Site Location: 6697 Foothill Road, Star Idaho 83669
Approved Zoning Designation of Site: R-1
Parcel Number(s): R3379700000

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Canyon County RR	Neighborhood Residential	Single Family
Proposed	R-1	Neighborhood Residential	Single Family
North of site	Canyon County RR	Neighborhood Residential	Single Family
South of site	MU-DA	Neighborhood Residential	Agricultural
East of site	R-1	Neighborhood Residential	Single Family
West of site	Canyon County RR	Neighborhood Residential	Single Family

SITE DATA:

Total Acreage of Site - 5.15
 Breakdown of Acreage of Land in Contiguous Ownership - N/A
 Total Acreage of Site in Special Flood Hazard Area - None
 Dwelling Units per Gross Acre - 1/1-acre
 Minimum Lot Size - 43,560 S.F.
 Minimum Lot Width - 180-feet

Total Number of Lots - 5
 Residential - 5
 Commercial - 0
 Industrial - 0
 Common - 0

Total Number of Units - 5
 Single-family - 5
 Duplex - 0
 Multi-family - 0

Percent of Site and Total Acreage of Common Area - 0 % / 0 acres
 Percent of Common Space to be used for drainage - 0
 Describe Common Space Areas (amenities, landscaping, structures, etc.) - None
Landscaping along private road
 Proposed Dedicated Lots & Acreage (school, parks, etc): None

Public Streets - None Private Streets - Drive Isle
 Describe Pedestrian Walkways (location, width, material) - N/A
 Describe Bike Paths (location, width, material) - N/A

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - There is no flood hazard on the property

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: FIRM panel #16027C0259 G
 FIRM effective date(s): mm/dd/year 6/7/2019
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: None
 Base Flood Elevation(s): AE n/a.0 ft., etc.: n/a
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Individual well

Irrigation Water- Surface water

Sanitary Sewer- Individual septic

Fire Protection - Star Fire District

Schools - Middleton School District

Roads - Private

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None

Evidence of Erosion - None

Historical Assets - None

Riparian Vegetation - None

Stream/Creek - No

Unique Animal Life - None

Floodplain - No

Fish Habitat - None

Mature Trees - Not of value

Steep Slopes - No

Unstable Soils - None

Unique Plant Life - None

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
X	Completed and signed Preliminary Plat Application	
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Narrative explaining the project. (must be signed by applicant)	
X	Legal description of the property (word.doc and pdf version with engineer's seal)	
X	Recorded warranty deed for the subject property	
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
X	Approval of the proposed subdivision name from Ada County Surveyor's office.	
X	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
X	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
X	Electronic copy in pdf. format of Preliminary Plat	
X	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
X	Electronic copy in pdf. format of landscape plan	
X	Electronic copy in pdf. format of preliminary site grading & drainage plans	
N/A	Phasing plan shall be included in the application if the project is to be phased.	

X	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
X	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
X	Special Flood Information – Must be included on Preliminary Plat and Application form.	
N/A	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	
X	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
X	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.	
Understood	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
Understood	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

FEE REQUIREMENT:

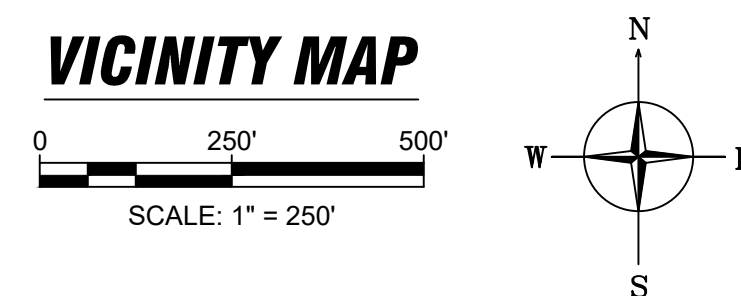
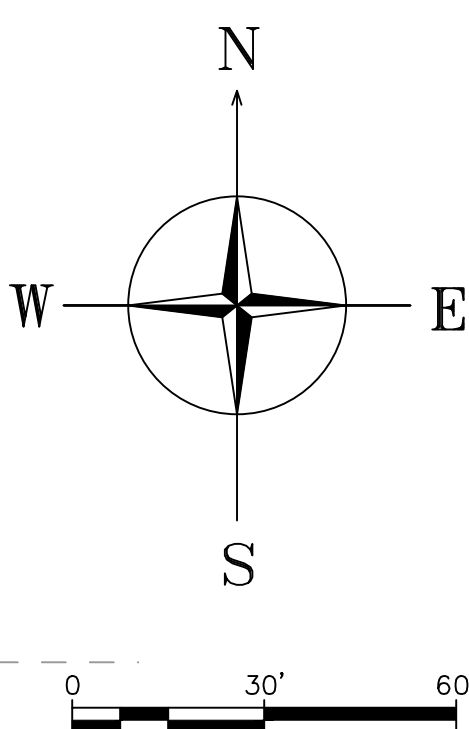
**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



Applicant/Representative Signature

1/25/2023

Date

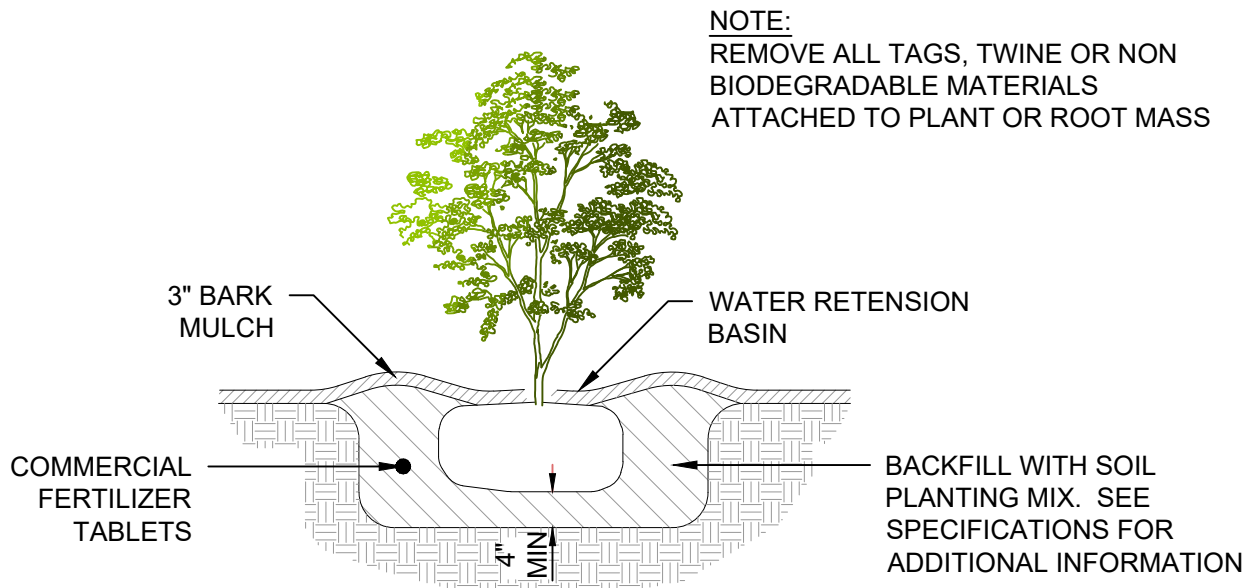


1	REMOVE AND DISPOSE OF EXISTING STRUCTURES
2	REMOVE AND DISPOSE OF EXISTING CULVERT
3	CLEARING AND GRUBBING THROUGHOUT SITE TO FACILITATE GRADING.

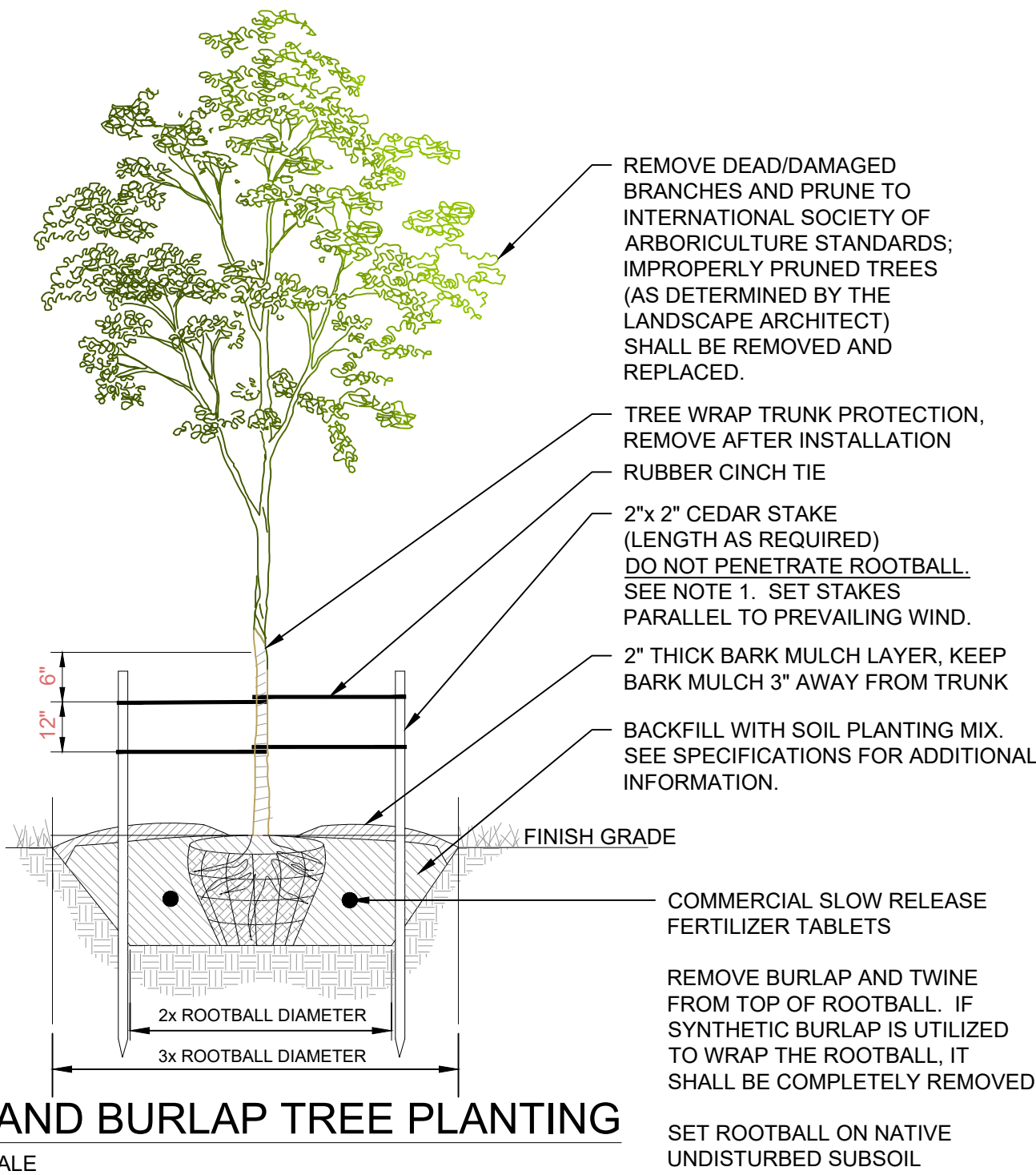
DRAWN BY: CJ SHERLOCK

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
- 1.1. ALL CONTRACTOR WORK SHALL BE CONDUCTED IN ACCORDANCE WITH ISPMC (IDAHO STANDARD PUBLIC WORKS CONSTRUCTION), 2017; AND CITY OF CALDWELL, ID CODES, STANDARDS AND STATE AND LOCAL REGULATIONS.
2. EXISTING CONDITIONS
- 2.1. ALL UTILITIES SHALL BE LOCATED PRIOR TO CONSTRUCTION AND PROTECTED.
- 2.2. ANY DAMAGE TO STRUCTURES, UTILITIES OR CONCRETE WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- 2.3. THE SITE HAS MANY EXISTING IMPROVEMENTS SUCH AS UNDERGROUND UTILITIES, CURB AND GUTTER, LIGHT POLES AND SIDEWALKS.
- 2.3. SEE CIVIL ENGINEER'S PLANS FOR INFORMATION ABOUT EXISTING FEATURES; ALL DRAINAGE PIPES AND LOCATIONS. PROTECT AND RETAIN DRAINAGE AT ALL TIMES.
3. GRADING & SITE PREPARATION
- 3.1. PREPARE FINISH GRADES FOR PLANTING BY GRUBBING AND REMOVING WEEDS. IF NECESSARY APPLY ROUND-UP (OR EQUIVALENT HERBICIDE), USING A CERTIFIED APPLICATOR. REMOVE ROCKS AND OTHER MATERIALS OVER 2".
- 3.2. ALL GRAVEL OVERPREP TO BE REMOVED AND DISPOSED OF OFF SITE.
- 3.3. FINISH GRADE TO BE SMOOTH TRANSITION TO ALLOW FOR ENTIRE SITE TO BE A NATURAL FLOWING SPACE.
- 3.4. REFER TO CIVIL ENGINEER'S PLANS FOR GRADING INFORMATION & FOR ALL DRAINAGE PIPES AND LOCATIONS. PROTECT AND RETAIN DRAINAGE AT ALL TIMES.
- 3.5. NO POOLING OR STANDING WATER WILL BE ACCEPTED PER INDUSTRY STANDARDS.
4. SOILS
- 4.1. ALL PLANTER BEDS TO RECEIVE A MINIMUM OF 18" DEPTH OF SCREENED TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TO SMOOTH AND UNIFORM GRADE 2.5" BELOW ADJACENT SURFACES.
- 4.2. ALL LAWN AREAS TO RECEIVE A MINIMUM OF 12" DEPTH OF SCREENED TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH UNIFORM GRADE 1" BELOW ADJACENT SURFACES.
- 4.3. REUSE OF EXISTING TOPSOIL THAT HAS BEEN STOCKPILED ON SITE IS PERMITTED IF:
- 4.3.1. TOPSOIL IS TESTED AND ANALYZED TO ENSURE A PROPER GROWING MEDIUM. PROVIDE ADDITIONAL AMENDMENTS AS DETERMINED BY SOIL TESTS. AND
- 4.3.2. TOPSOIL IS TO BE LOOSE, FRIABLE SANDY LOAM THAT IS CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIALS.
- 4.3.3. TOPSOIL SHOULD HAVE A PH OF 6.5 TO 8.
- 4.3.4. IF ON SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROVED IMPORTED TOPSOIL OR IMPROVING ONSITE TOPSOIL PER THE APPROVAL OF THE PROJECT MANAGER.
- 4.4. IF IMPORTED TOPSOIL IS USED IT MUST BE FROM A LOCAL SOURCE AND BE SCREENED FREE OF ANY DEBRIS OR FOREIGN MATTER. TOPSOIL MUST NOT CONTAIN ROCKS, STICKS, LUMPS, OR TOXIC MATTER.
- 4.5. SMOOTH, COMPACT, AND FINE GRADE TOPSOIL IN LAWN AREAS TO SMOOTH AND UNIFORM GRADE .5" BELOW ADJACENT SURFACES.
- 4.6. PREPARE FINISH GRADE OF TOPSOIL TO ELEVATIONS SET BY CIVIL ENGINEER'S PLANS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES. REFER TO CIVIL ENGINEER'S PLANS FOR GRADING INFORMATION.
- 4.7. AMEND ALL NEW PLANTINGS WITH 2 PARTS TOPSOIL AND 1 PART COMPOST.
5. PLANTER BED MULCH
- 5.1. PLANTER BEDS TO RECEIVE 3" DEPTH OF 3" MINUS ROCK MULCH, COLOR: TAN OR APPROVED OTHER BY ARCHITECT.
- 5.2. INSTALL OVER COMMERCIAL GRADE WEED BARRIER FABRIC.
- 5.3. ALL PLANTER BEDS SHALL HAVE BLACK STEEL LANDSCAPE EDGE PER DETAIL 3/L100.
6. LAWN AREAS
- 6.1. ALL LAWN AREAS SHALL BE SODDED WITH TALL TURF TYPE FESCUE.
- 6.2. SOD SHALL BE REGIONALLY HARVESTED, LAID WITHIN 24 HOURS OF HARVESTING, AND LAID WITH TIGHT FITTING JOINTS.
7. PLANTS
- 7.1. ALL PLANT MATERIAL SHALL BE INSTALLED PER INDUSTRY STANDARDS.
- 7.2. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM FEDERAL STANDARDS AS REGULATED BY ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK. PLANTS NOT MEETING THESE STANDARDS FOR QUALITY, OR PLANTS DETERMINED TO BE UNHEALTHY BY OWNER'S REPRESENTATIVE, WILL BE REJECTED.
- 7.3. ALL TREES AND SHRUBS TO BE INSTALLED PER DETAILS.
- 7.4. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS OR APPROVED EQUAL. APPLY PER MANUFACTURER'S RECOMMENDATIONS.
- 7.5. ALL PLANTS SHALL ADHERE TO PLANT SCHEDULE, SPECIES & SIZES. ANY NECESSARY SUBSTITUTIONS DUE TO AVAILABILITY OR ALTERNATIVES SHALL BE COORDINATED TO THE LANDSCAPE ARCHITECT VIA SUBMITTAL.
8. IRRIGATION
- 8.1. IRRIGATION SYSTEM SHALL BE BUILT TO THE FOLLOWING SPECIFICATIONS:
- 8.2. ADHERE TO CITY CODES WHEN CONNECTING TO CITY WATER.
- 8.3. ALL IRRIGATION MATERIAL TO BE NEW WITH MANUFACTURERS' WARRANTY FULLY INTACT.
- 8.4. INSTALL OUTDOOR RATED CONTROLLER IN SPECIFIED LOCATION ON PLAN. COORDINATE WITH PROJECT MANAGER ON EXACT LOCATION.
- 8.5. CONTROLLER TO INCLUDE ON/OFF RAIN SWITCH OR OTHER RAIN SHUT OFF DEVICE THAT DOES NOT ALTER PROGRAM.
- 8.6. IRRIGATION SYSTEM PIPING IN LANDSCAPE AREAS TO BE MINIMUM SCHEDULE 40 PVC OR APPROVED EQUAL, SLEEVES TO BE DOUBLE THE SIZE OF PIPES LOCATED WITHIN, ALL WIRES TO BE CONTAINED IN SEPARATE SLEEVES 1-1/2" DIA MIN.
- 8.7. COORDINATE ALL SLEEVING & PIPE RUNS WITH OWNER (LOCAL CONSTRUCT) & BUILDER BEFORE INSTALLING.
- 8.8. USE COMMON TRENCHING WHERE POSSIBLE.
- 8.9. ALL WIRES TO BE 18 GAUGE DIRECT, BURY WIRE AT A MINIMUM OF 12" BELOW FINISHED GRADE. SIZE WIRE FOR CORRECT VOLTAGE LOSS.
- 8.10. SUPPLY A MINIMUM OF (2) SPARE WIRES TO FURTHEST VALVES FROM CONTROLLER IN ALL DIRECTIONS.
- 8.11. FLOW CONTROL DEVICE TO BE INCLUDED ON ALL REMOTE CONTROL VALVES, INCLUDING MASTER CONTROL VALVE.
- 8.12. CONNECT MAINLINE TO POINT OF CONNECTION IN APPROXIMATE LOCATION SHOWN ON PLAN.
- 8.13. PROVIDE 1" WINTERIZATION PORT IN LOCATION NEAR POC. WINTERIZATION PORT TO BE LOCATED INSIDE OF ITS OWN STANDARD VALVE BOX.
- 8.14. CONTRACTOR IS RESPONSIBLE COMPLYING WITH ALL CODES AND PAYING ALL PERMITS NECESSARY.
- 8.15. SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION WITHIN EACH CONTROL CIRCUIT. VELOCITIES SHALL NOT EXCEED 5 FEET PER SECOND.
- 8.16. LOCATE IRRIGATION MATERIALS IN PLANTERS WHEN POSSIBLE AND SCREEN WITH VEGETATION WHEN POSSIBLE.
9. CONTRACTOR RESPONSIBILITIES
- 9.1. ESTIMATED QUANTITIES ARE SHOWN FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITY ESTIMATES.
- 9.2. ALL PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL DEAD OR UNHEALTHY PLANT MATERIAL IMMEDIATELY WITH SAME TYPE AND SIZE AT NO COST TO OWNER.
- 9.3. LANDSCAPE CONTRACTOR TO TURN IN AS BUILT DRAWINGS AT THE END OF PROJECT. SUBSTANTIAL COMPLETION WILL NOT BE GRANTED UNTIL 2 COPIES @ 1"=10' SCALE ARE TURNED IN AND APPROVED BY OWNER'S REPRESENTATIVE.
10. IN THE EVENT OF A DISCREPANCY, NOTIFY THE ARCHITECT.
11. NEW TREES WILL BE INSTALLED ALONG 18TH AVE. WHEN NEW IMPROVEMENTS ARE INSTALLED.



SHRUB PLANTING
NOT TO SCALE



BALL AND BURLAP TREE PLANTING
NOT TO SCALE

PLANT SCHEDULE - TREES

TREES	BOTANICAL/COMMON NAME	CONT	CAL	QTY	REMARKS
	ACER PLATANOIDES "CRIMSON KING" / CRIMSON KING MAPLE	B&B	0'-2"	54	35'h x 25'w CLASS II
	MALUS X "PRAIRIFIRE" / PRAIRIFIRE CRAB APPLE	B&B	0'-2"	27	25'-30'h x 15'-20'w CLASS I

LANDSCAPE DESIGNER

3 BROTHERS LANDSCAPING
200 E. ROSALYN CT
MERIDIAN, ID 83642

PLANNER / CONTACT

STEVE ARNOLD
A-TEAM LAND CONSULTANTS
1785 WHISPER COVE AVE.
BOISE, ID 83709
208-871-7020

OWNER / DEVELOPER

OPUS DEVELOPMENT, LLC
954 E. OPUS ST.
BOISE, ID 83716

LANDSCAPE PLAN

GARNET SUBDIVISION

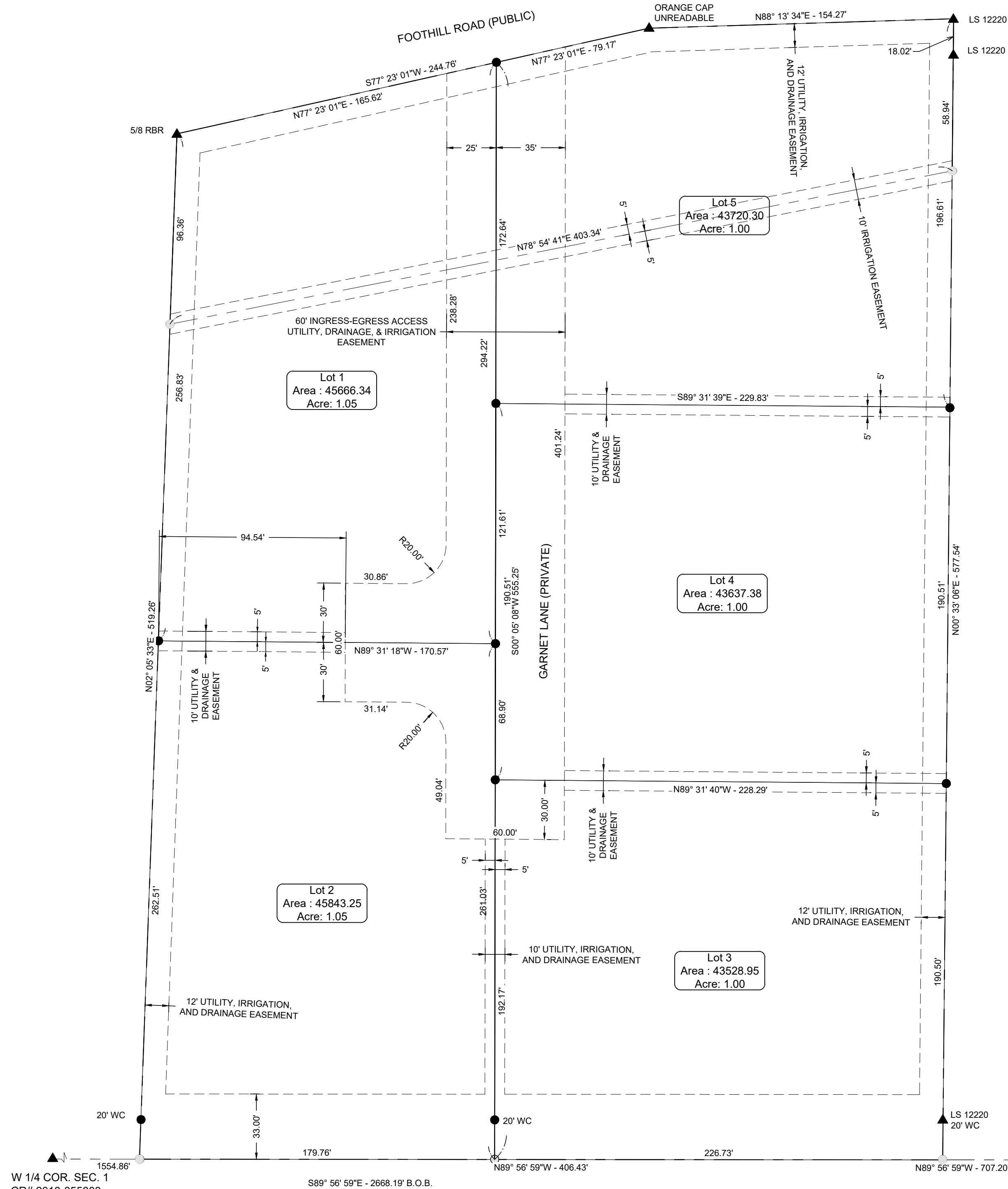
SECTION 25, T.2N., R.1W., B.M.
CITY OF KUNA, ADA COUNTY, IDAHO



L-101

DRAWN BY: C.J. SHERLOCK

DATE: January 14, 2023



PLAT FOR GARNET SUBDIVISION

A PORTION OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 1, T. 1 N., R. 2 W.,
BOISE MERIDIAN, CANYON COUNTY, IDAHO.

NOVEMBER 2022 SCALE: 1" = 40' SHEET 1 OF 3

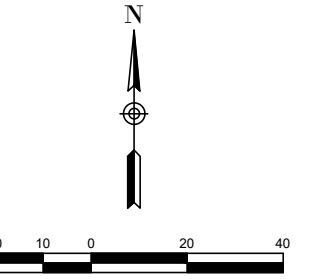
REFERENCES

- R1 RYKEN MEADOWS ESTATES 2020-071459
- R2 FOSTER HEIGHTS SUBDIVISION BK 18 PG 7
- R3 HILLSDALE ESTATES No. 5

LEGEND:

- SET 5/8" REBAR WITH PLASTIC CAP MARKED
LS 18350
- ▲ FOUND MONUMENT AS NOTED
- CALCULATED POINT - NOTHING FOUND OR SET
- B.O.B. BASIS OF BEARING
- CP&F CORNER PERPETUATION AND FILING RECORD

- SUBJECT PARCEL
- PROPERTY LINE
- - - REFERENCE BOUNDARIES
- - - - EASEMENT LINE



Graphic Scale:

Attention is Drawn to the Fact That Drawing Scales May be
Altered During Reproduction Processes. Scales Shown
Hereon are Based on a Full Scale Sheet Size of 18" x 27".

Scale: 1" = 40'

NOTES:

1. BASIS OF BEARING: AS ESTABLISHED BETWEEN FOUND MONUMENTS.
2. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT TO THE TIME OF RE-SUBDIVISION.
3. ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION AND LOT DRAINAGE OVER THE TEN (10) FEET ADJACENT TO ANY STREET. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACE DRIVEWAYS AND WALKWAYS TO EACH LOT
4. THE OWNER HAS PROVIDED IRRIGATION WATER TO EACH LOT THROUGH A GRAVITY IRRIGATION SYSTEM, TO BE OWNED AND MAINTAINED BY THE GARNET SUBDIVISION HOMEOWNERS ASSOCIATION IN COMPLIANCE WITH THE IDAHO CODE SECTION 31-3805(1)(b). ALL LOTS WILL BE SUBJECT TO ASSESSMENTS OF THE MIDDLETON MILL IRRIGATION DISTRICT.
5. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE CANYON COUNTY STANDARDS FOR THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF BUILDING.
6. UNLESS OTHERWISE SHOWN AND DIMENSION, ALL LOTS ARE HERBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, PRESSURE IRRIGATION AND LOT DRAINAGE OVER THE FIVE (5) FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE, AND OVER THE TWELVE (12) FEET ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY.
7. MAINTENANCE OF ANY GRAVITY IRRIGATION, PRESSURE IRRIGATION, DRAINAGE PIPE, OR DITCH THAT IS CROSSING LOTS 1 AND 5, BLOCK 1, IS THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE UTILITY OR THE HOMEOWNERS ASSOCIATION.
8. NO STRUCTURES SHALL BE CONSTRUCTED OR INSTALLED IN AN EASEMENT AND ANY FENCES, LANDSCAPING OR STRUCTURES INSTALLED IN AN EASEMENT MAY BE REMOVED BY UTILITY COMPANIES AND REPLACED AT THE OWNERS'S EXPENSE.
9. NO LOT SHALL BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE SOUTHWEST DISTRICT HEALTH.
10. NO AGRICULTURAL OPERATION OR AN APPURTENANCE TO IT SHALL BE OR BECOME A NUISANCE, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER THE SAME HAS BEEN IN OPERATION FOR MORE THEN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN; PROVIDED THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION OR AN APPURTENANCE TO IT. IN THE EVENT OF AN ALLEGED NUISANCE RESULTING FROM AGRICULTURAL OPERATIONS PURSUANT TO A FEDERAL OR STATE ENVIROMENTS PERMIT OR CAUSED BY A VIOLATION OF THE PERMIT(S), TERMS OR CONDITION, THE AFFECTED PARTY SHALL SEEK ENFORCEMENT OF THE TERMS OF THE PERMIT.
11. ALL LOTS SHALL HAVE INDIVIDUAL WELLS AND SEPTIC SYSTEMS.
12. THE DRAINAGE DITCH ALONG THE SOUTH LINE OF LOTS 2 AND 3, BLOCK 1 WILL BE SUBJECT TO AN EASEMENT AND THAT NO BUILDINGS MAY BE CONSTRUCTED WITHIN SAID EASEMENT. NO DIRECT LOT ACCESS WILL BE ALLOWED TO FOOTHILL ROAD.

W 1/4 COR. SEC. 1
CR# 2018-055808

S89° 56' 59"E - 2668.19' B.O.B.

N89° 56' 59"W - 406.43'

226.73'

N89° 56' 59"W - 707.20'

C 1/4 COR.
CR# 2019-020984



PLAT FOR

GARNET SUBDIVISION

A PORTION OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 1, T.4N., R.2W.,
BOISE MERIDIAN CANYON COUNTY, IDAHO.

NOVEMBER 2022 SHEET 2 OF 3

ACKNOWLEDGMENT
STATE OF IDAHO)
) S.S.
COUNTY OF CANYON)

ON THIS ____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE MANAGER OR A MEMBER OF THE LIMITED LIABILITY COMPANY THAT EXECUTED THE INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY
OFFICIAL SEAL THE DAY AND YEAR IN THE CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES ON: _____

ACKNOWLEDGMENT
STATE OF IDAHO)
) S.S.
COUNTY OF CANYON)

ON THIS ____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE MANAGER OR A MEMBER OF THE LIMITED LIABILITY COMPANY THAT EXECUTED THE INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY
OFFICIAL SEAL THE DAY AND YEAR IN THE CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES ON: _____

CERTIFICATE OF SURVEYOR

I, ANTONIO M. CONTI, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND THE ATTACHED PLAT WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND, MADE BY ME OR UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED HEREON, AND IS IN CONFORMITY WITH STATE OF IDAHO CODES RELATING TO PLATS, SURVEYS AND THE CORNER PERPETUATION AND FILING ACT, IDAHO CODES 55-1601 THROUGH 55-1612.

ANTONIO M. CONTI, P.L.S. 18350

11/21/2022
DATE



PLAT FOR

GARNET SUBDIVISION

A PORTION OF THE SOUTHEAST 1/4 OF THE
NORTHWEST 1/4 OF SECTION 1, T.4N., R.2W.,
BOISE MERIDIAN CANYON COUNTY, IDAHO.

NOVEMBER 2022 SHEET 3 OF 3

APPROVAL OF SOUTHWEST DISTRICT HEALTH DEPARTMENT

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED. SANITARY RESTRICTIONS MAY BE REIMPOSED IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

SOUTHWEST DISTRICT HEALTH DEPARTMENT, EHS DATE

CERTIFICATE OF THE COUNTY TREASURER
I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF CANYON, STATE OF IDAHO, PER THE REQUIREMENTS OF IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

CANYON COUNTY TREASURER DATE

APPROVAL OF CANYON COUNTY COMMISSIONERS
I, THE UNDERSIGNED, CHAIRMAN OF CANYON COUNTY COMMISSIONERS, CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE COMMISSIONERS HELD ON THE _____ DAY OF _____, IN THE YEAR 202____, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

CHAIRMAN DATE

APPROVAL OF CANYON HIGHWAY DISTRICT #4
CANYON HIGHWAY DISTRICT NO. 4 DOES HEREBY ACCEPT THIS PLAT, AND THE DEDICATED PUBLIC STREETS, HIGHWAYS AND RIGHT-OF-WAY AS ARE DEPICTED ON THIS PLAT, IN ACCORDANCE WITH THE PROVISIONS OF I.C. 50-1312. PRIVATE STREETS DEPICTED ON THIS PLAT ARE NOT MAINTAINED BY OR UNDER THE JURISDICTION OF THE HIGHWAY DISTRICT. THERE IS NO LEGAL OBLIGATION OR ASSURANCES THAT THE PRIVATE STREETS WILL BE ACCEPTED AS PUBLIC STREETS IN THE FUTURE.

CHAIRMAN DATE

CERTIFICATE OF THE COUNTY SURVEYOR
I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR, IN AND FOR CANYON COUNTY, IDAHO, HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

CANYON COUNTY SURVEYOR DATE





MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

DATE: April 10, 2023

TO: City of Star

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review (23MS-066)

PROJECT NAME: Garnet Subdivision
Files: AZ-23-01, DA-23-01, PP-22-01, FP-22-01. PR-23-01

Fire District Summary Report:

1. **Overview** This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 1.2 miles with a travel time of 3 minutes under ideal driving conditions to the purposed entrance off N. Can-Ada Rd.
3. **Side Setback:** *Side Setback for R-1 shall be 10 ft as per Star City Code with no modification.*
4. **Accessibility:** Roadway Access, Traffic, Radio Coverage
 - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
 - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
 - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
 - d. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
 - e. It shall be the responsibility of the developer and or HOA to maintain clearance of access roads all year around. This shall include but not limited to snow removal and vehicles.
 - f. The purposed hammer head turnaround provided at the end of Garnet Lane will meet the intent of the fire code. Turnaround to remain clear at all times and no parking signs are to be posted.

Project Name: Garnet Subdivision



MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

5. Premises/Site Identification:

- a. All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.
- b. The applicant shall work with Canyon County, City of Star and Star Fire Protection District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1
- c. Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a **color contrasting with the background**. The required height of each address number shall be calculated by the distance of the addressed building from the road.
 - i. *This residential development will be required to have 6" address numbers.*
- d. Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.

6. Water Supply: Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.

- a. Fire Flow: One- and two-family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 1 hours to service the entire project. One- and two-family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code
- b. *The following water supply options are available for this project. The developer shall provide the city with the water supply choice. The water supply choice shall be added to the development agreement before approval of the project by City Council.*
 - i. **Municipal Water Supply**
 1. *Annexation to the Star Sewer and Water District providing fire hydrants and fire flow. Hydrants to be installed as per Star Sewer and Water standards.*
 - ii. **NFPA 13D Residential Fire Sprinklers**
 1. *All 5 homes to be equipped with NFPA 13D Residential Fire Sprinkler Systems. Installed sprinkler systems allow for a decrease in the required fire flow.*

Project Name: Garnet Subdivision



MIDDLETON RURAL FIRE DISTRICT

STAR FIRE PROTECTION DISTRICT

7. **Inspections:** Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.
8. **Additional Comments:**
 - a. Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.

Project Name: Garnet Subdivision



Middleton School District #134

Every Child Learning Every Day

Section 6, Item A.

Middleton School District #134--Public Hearing Notice Response

General Response for New Development

Middleton School District is currently experiencing significant growth in its student population. **Currently Middleton School District has 2 of our 3 elementary schools over capacity. Heights Elementary is at 134% of capacity with three portable units. Mill Creek Elementary is at 123% of capacity with 4 portable classroom units totaling 8 classrooms.** We are nearing capacity, but have not superseded at this point, at our high school (91%) and middle school (85%). As it stands now there is an immediate need for additional facilities in our school district, primarily at the elementary grades. However, we have significant concerns of the continued growth and our ability to meet the future facility needs of our district at the secondary level (Middleton Middle School and Middleton High School).

We have completed demographic study performed for our school district boundaries and data suggests that for every new home we could expect between 0.5 and 0.7 (with an average of .569) students to come to our schools. That is the factor/rate we use to make our projection of student impact for each development.

Garnet Subdivision, Star, ID

Elementary students living in the subdivision as planned would be in the attendance zone for Mill Creek Elementary School, which, as stated above, is already well above capacity. With the 5 proposed lots we anticipate 2-3 students will need educational services provided by our district. The impact would be relatively small.

In addition to the increase in student population and its impact on facilities, bussing would be provided for all students. As such, it would be important that the developer include plans for appropriate spacing for bus stops. Typically busses do not enter subdivisions. As such, safe routes to planned stops would be an important consideration.

As a school district we would ask that Canyon County Planning and Zoning commission take all of these factors into consideration as you make your decision. Any questions regarding this response should be directed to Marc Gee at the contact information shared below.

Marc C. Gee, Superintendent

March 16, 2023

Date

Shawn Nickel

From: Wendy Howell <Wendy.Howell@itd.idaho.gov>
Sent: Monday, March 13, 2023 3:29 PM
To: Barbara Norgrove
Cc: Shawn Nickel
Subject: RE: Agency Transmittal - Garnet Subdivision

Greetings,

Thank you for allowing ITD to review the proposed Garnet Subdivision located on Foothill Road, Star, Idaho. This subdivision does not meet ITD's threshold for a Transportation Impact Study and is not on the state highway system thus ITD has no objections to this proposal at this time.

Thank you,

Wendy Howell, PCED
 Development Services Coordinator
 Idaho Transportation Department, District 3

8150 W Chinden Blvd
 Boise, ID 83714
 Phone No: (208) 334-8338
 Email: wendy.howell@itd.idaho.gov



YOUR Safety •••► YOUR Mobility •••► YOUR Economic Opportunity

CONFIDENTIALITY NOTICE: This email is intended only for the personal and confidential use of the individual(s) named as recipients and is covered by the Electronic Communications Privacy Act, 18 U.S.C. §§ 2510-2521. It may contain information that is privileged, confidential, and/or protected from disclosure under applicable law including, but not limited to, the attorney-client privilege and/or work product doctrine. If you are not the intended recipient of this transmission, please notify the sender immediately by telephone, at 208-334-8964. Do not deliver, distribute or copy this transmission, disclose its contents, or take any action in reliance of the information it contains.

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Tuesday, February 21, 2023 3:36 PM
To: Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Garnet Subdivision

Subject: Agency Transmittal - Garnet Subdivision

Please see attached Agency Transmittal for Garnet Subdivision/Annexation located in Star, Canyon County.

Thanks.

Shawn Nickel

From: Jack Nygaard <Jack.Nygarrd@phd3.idaho.gov>
Sent: Friday, February 24, 2023 2:41 PM
To: Barbara Norgrove; Mitch Kiester
Cc: Shawn Nickel
Subject: RE: Agency Transmittal - Garnet Subdivision
Attachments: Garnet Estates.pdf

Hi Barbara,

The developer for Garnet Subdivision has completed an application and submitted it to Southwest District Health. The developer also completed a Pre-Development meeting with Southwest District Health for the subdivision. I have attached the pre-development meeting notes.

Thank you,

Jack

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Thursday, February 23, 2023 3:38 PM
To: Jack Nygaard <Jack.Nygarrd@phd3.idaho.gov>; Mitch Kiester <Mitch.Kiester@phd3.idaho.gov>
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Garnet Subdivision

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Hi Mitch and Jack,

Thank you for updating me with the new contacts for Southwest Dist. health.

Subject: Agency Transmittal - Garnet Subdivision

Please see attached Agency Transmittal for Garnet Subdivision/Annexation located in Star, Canyon County.

Thanks.

Shawn

SHAWN L. NICKEL
PLANNING DIRECTOR AND ZONING ADMINISTRATOR
CITY OF STAR
SNICKEL@STARIDAHO.ORG
 208-908-5455

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **May 2, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Mink Creek Subdivision
 Files #'s PP-23-02 Preliminary Plat for Mink Creek Subdivision
 FP-23-04 Final Plat for Mink Creek Subdivision

Applicant/Representative: Nate Mitchell

Owner: Joseph and Lynn Moyle

Action: The Applicant is seeking approval of a Preliminary Plat and Final Plat for a subdivision consisting of 9 residential lots, 1 commercial lot and 1 industrial lot. The property is located at 9374 W. State Street, 350 N. Calhoun Place and 8802 W. State Street in Star, Idaho, and consists of 48.48 acres. **The preliminary plat application was originally approved in 2019 as part of application AZ-19-03/PP-19-02 for Mink Creek Subdivision.**

Property Location: The subject property is generally located on the north side of W. State Street between N. Moyle Ave and Hwy 16. Ada County Parcel No's S0409428015, S0409314900, S0409438650 & S0409438401.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
 Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn T. Mink*

MEETING DATE: May 2, 2023 – PUBLIC HEARING

FILE(S) #: PP-23-02 Preliminary Plat for Mink Creek Subdivision
FP-23-04 Final Plat for Mink Creek Subdivision

OWNER/APPLICANT/REPRESENTATIVE

<u>Applicant/Property Owner:</u>	<u>Representative:</u>
Joseph A & Lynn S Moyle Trust	Nate Mitchell
280 N. Plummer Road	1470 N. Rook Way
Star, Idaho 83669	Star, Idaho 83669

REQUEST

Request: The Applicant is seeking approval of a Preliminary Plat and Final Plat for a subdivision consisting of 9 residential lots, 1 commercial lot and 1 industrial lot. The property is located at 9374 W. State Street, 350 N. Calhoun Place and 8802 W, State Street in Star, Idaho, and consists of 48.48 acres. **The preliminary plat application was originally approved in 2019 as part of application AZ-19-03/PP-19-02 for Mink Creek Subdivision.**

PROPERTY INFORMATION

Property Location: The subject property is generally located on the north side of W. State Street between N. Moyle Avenue and Hwy 16. Ada County Parcel No's. S0409428015, S0409314900, S0409438650 & S0409438401.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Mixed-Use (MU)	Mixed-Use (MU)	Vacant/Gravel Pit

Proposed	Mixed-Use (MU)	Mixed-Use (MU)	Single Family Residential/Commercial/Industrial
North of site	Mixed-Use (MU) Rural Urban Transition (RUT)	Mixed-Use (MU) Estate Urban Residential	Single Family Residential Agricultural
South of site	Light Industrial (LI)	Light Industrial	Greyloch Cabinets
East of site	Rural Urban Transition (RUT)	Neighborhood Residential	Single Family Residential Agricultural
West of site	Rural Urban Transition (RUT)	Estate Urban Residential	Single Family Residential Agricultural

Existing Site Characteristics: The property is currently in use as a gravel pit. One parcel currently has a manufacturing facility on it, the rest of the property is vacant.

Irrigation/Drainage District(s): Middleton Irrigation Association
Middleton Mill Ditch Company
P.O. Box 848
Middleton, Idaho 83644

Flood Zone: This property is not currently located in Special Flood Hazard Zone.
FEMA FIRM Panel Number: 16001C0130J
Effective Date: 6/19/2020

Special On-Site Features:

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – None.
- ✧ Riparian Vegetation – No.
- ✧ Steep Slopes – No.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held

March 13, 2023

Application Submitted & Fees Paid	March 28, 2023
Application Accepted	April 12, 2023
Residents within 300' Notified	April 13, 2023
Agencies Notified	April 5, 2023
Legal Notice Published	April 16, 2023
Property Posted	April 18, 2023

HISTORY

April 2, 2019	Council approved applications for the Annexation (AZ-19-03), Preliminary Plat (PP-19-02), Conditional Use (CU-19-02) and Temporary Use Permit (TP-19-01) for the Mink Creek Subdivision consisting of 48.48 acres with 11 total lots (9 residential, 1 common and 1 commercial).
---------------	--

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:
8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

(MU) MIXED USE DISTRICT: To provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated as Mixed Use. Development within this zone is to proceed through the PUD process unless a development agreement has already been executed for the particular property. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this zone may allow the development community to be more innovative in design and placement of structures subject to Council review and approval. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use. Residential uses may be part of an overall mixed-use development that includes a non-residential component and may not exceed 30% of the overall size of the development.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

<u>ZONING DISTRICT USES</u>	A	R-R	M Section 6, Item B.
Accessory structure	A	A	C
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	C
Single-family attached	N	N	C
Single-family detached	P	P	C
Two-family duplex	N	N	C

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height	Minimum Yard Setbacks Note Conditions			
	Note Conditions	Front ⁽¹⁾	Rear	Interior Side	Street Side
MU	35'	For MU and CBD - Unless otherwise approved by the Council as a part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone ⁽³⁾ .			
R-1	35'	30'	30'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:

4. Developments with a density of less than 1 dwelling unit per acre may request a waiver of open space and amenities to the Council. Developments with a density of less than 2 dwelling

units per acre may request a 50% reduction in total required open space and amenities to the Council.

8-6A-7: REQUIRED FINDINGS:

In consideration of a preliminary plat or combined preliminary and final plat, the decision-making body shall make the following findings:

- A. The plat is in conformance with the comprehensive plan;
- B. Public services are available or can be made available and are adequate to accommodate the proposed development;
- C. There is public financial capability of supporting services for the proposed development;
- D. The development will not be detrimental to the public health, safety or general welfare; and
- E. The development preserves significant natural, scenic or historic features.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Mixed Use

Generally suitable for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, light industrial, and/or residential depending upon the specific area designated as Mixed Use. See Mixed Use Implementation Policies for specific criteria. Development within this land use designation is to proceed through the PUD and/or development agreement process. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this land use designation will allow the development community to be more innovative in design and placement of structures. Development design guidelines should also be established to guide development within mixed-use areas. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed Use areas are not being used simply to justify high density residential use.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Estate and Neighborhood I Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Estate and Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

C. Site layout shall adjacent to and within provide the Special Transition Overlay Area for a transition in density and lot sizing.

D. High Density residential uses should be located in close proximity to commercial centers located near highway corridors floors within the Central Business District land use area and on upper. High Density residential uses otherwise should not be dispersed throughout the community and should not be located along the Boise River.

E. High Density residential may be limited to ensure compatibility and transition between uses adjacent to the site.

F. High Density residential design specifications may include increased setbacks for multistory buildings and increased landscape buffers.

8.8.7 Policies Related Mostly to The Mixed Use Planning Areas

A. Council, at their sole discretion, shall determine what mix of uses are appropriate for any mixed use area considering existing property owners rights.

B. Development within the Mixed Use Designation is to proceed through the CUP, PUD, and/or Development Agreement process, and a concept plan must be included with any such proposed use.

C. In general, mixed use areas along state highways should be predominantly commercial with a very minor component of residential unless the residential is placed on upper floors as part of a mixed use building.

D. Mixed use areas along state and U.S. Highways where direct access to the state highway is prohibited, like along State Highway 16 between State Highway 44 and US Highway 20/26, should be predominately residential with a minor component of neighborhood commercial, or light industrial if sufficient roadway access, by means of backage or other roads, to the State Highway is provided.

E. Mixed use areas located between commercial and residential land use designations are to provide a compatible transition between the higher intensity use of commercial and the lower intensity use of Estate and Neighborhood Residential. Uses for these mixed use areas could include multi-family housing and or office related uses if determined by the Council through the public hearing process, to be appropriate.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

PRELIMINARY/FINAL PLAT:

The preliminary/final plat submitted contains nine (9) single family residential lots, one (1) commercial lot, one (1) industrial lot and one (1) common lot (pond) for a total of 12 lots. The industrial lot has been developed as Greyloch Cabinets. The commercial lot is for future development. The development will extend N. Calhoun Place, an existing street that has established right of way to the north. The residential lots are between 21,000 square feet and 39,000 square feet in size. The lots will be serviced with central sewer and water provided by the Star Sewer and Water District. The common lot will include the pond, which will serve as a water amenity for the development. The original Preliminary Plat (PP-19-02), approved in 2019, expired prior to the submittal of the Final Plat application. This new preliminary plat application will approve the plat and allow the applicant to receive approval of the accompanying final plat.

The existing pond was approved and constructed as part of the original CUP for the gravel pit. The CUP also approved the proposed residential uses in the existing Mixed-Use zoning district.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Section 8-4A-17 of the Unified Development Code requires that local streets have five foot (5') wide detached sidewalks with a six foot (6') wide planter strip on both sides of the road. **The Applicant is showing attached sidewalks without planter strips. The applicant shall provide an updated plan showing the proper sidewalks with planter strips prior to signing the mylar, unless a waiver is approved by Council. Because the application was originally approved with attached sidewalks, Council may wish to consider a waiver to this requirement.**
- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The Applicant has provided a streetlight location plan that satisfies code. **The applicant has not submitted a streetlight design or cut sheet for approval. Applicant must provide a streetlight design/cut to Staff and receive approval prior to signing the mylar.**
- Street Name
The street name is the extension of an existing road that has been approved by Ada County.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan does not satisfy these requirements for street trees. The Applicant shall submit a revised landscape plan showing the correct number of trees, with detached sidewalks, all street trees should be shown on the plan. If street trees are to be planned by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**
- Setbacks – **Staff has recommended R-1 setbacks for the development.**
- Mailbox Cluster – **The Applicant shall work with the Star Postmaster on approval for mail delivery boxes/cluster. This approval documentation will need to be provided to City Staff prior to signing the mylar.**
- Economic Corridors Access and Roadway Connection Management Plan– The current adopted ECAMP Map shows a designation for a "Conceptual Alignment of a Proposed Future Collector" in the area of this proposed preliminary/final plat. In 2019, the original

preliminary plat was reviewed under the adopted plan that also designated a future roadway in the area of the subject property. ACHD, in 2019, recommended that any roadway connection providing access to the proposed subdivision be constructed as a local street rather than a collector roadway. In their final report to the City dated July 10, 2019, ACHD also removed the requirement for a stub of the public street to the north.

AGENCY RESPONSES

Central District Health Dept.	April 13, 2023
DEQ	April 7, 2023
Idaho Dept of Fish & Game	April 18, 2023
Drainage District #2 (represented by Sawtooth Law)	April 11, 2023
Star City Transportation & Pathways Committee	Pending
ACHD (Original Review Letter)	July 10, 2019

PUBLIC RESPONSES

Steve Thiessen, Hatch Design Architecture

STAFF ANALYSIS AND RECOMMENDATION

Staff is supportive of the design, layout and density of the development application, with the proposed conditions of approval.

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed preliminary and final plat applications meet the requirements, standards and intent for development as they relate to the Unified Development Code and the Comprehensive Plan. The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.
The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.
3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

FINAL PLAT FINDINGS:

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.
The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.
Staff finds that all public services are available and able to accommodate this development.
- C. There is public financial capability of supporting services for the proposed development.
Staff knows of no financial hardship that would prevent services from being provided.
- D. The development will not be detrimental to the public health, safety or general welfare; and,

Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.

E. The development preserves significant natural, scenic or historic features.
Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

1. The approved Preliminary/Final Plat for the Mink Creek shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. The subdivision shall meet all requirements of Canyon Highway District #4 and Star Fire District.
3. **A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service. Mailbox cluster locations shall be determined and located based on the Postmaster.**
4. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlight design/cut sheet shall be submitted to Staff and approved prior to signing the mylar. Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
5. **The Applicant shall provide a revised preliminary/final plat that shows the correct sidewalk widths, detached sidewalks and planter strips in the development, unless a waiver is granted by Council. This shall be required prior to signing the mylar.**
6. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place. The applicant shall provide a revised landscape plan showing all the required trees.**
7. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned as needed, with regularity, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
9. Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees to include one (1) tree per thirty-five (35) linear feet.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.

- 11. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 12. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 13. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 15. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 16. Applicant shall provide the City with one (1) full size, one (1) 11"x17" copy and an electronic copy of the **signed recorded final plat** with all signatures, prior to any building permits being issued.
- 17. The mylar/final plat shall be signed by the owner, Surveyor, Health District, and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
- 18. All common areas shall be owned and maintained by the Homeowners Association.
- 19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 20. A sign application is required for any subdivision signs.
- 21. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 22. Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

The Star City Council _____ File Number PP-23-02 & FP-23-04 Mink Creek Subdivision on _____, 2023.



PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: PP-23-02
Date Application Received: 03/28/2023 Fee Paid: _____
Processed by: City: Barbara Norgrove

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative X

Applicant Name: Joseph A + Lynn S. Moyle
Applicant Address: 280 Plummer Rd Star Zip: 83669
Phone: _____ Email: _____

Owner Name: SAME
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):

Contact: Nate Mitchell Firm Name: _____
Address: 1470 N Rock Way Star ID Zip: 83669
Phone: 208-941-2688 Email: nate.mitchell@gmail.com

Property Information:

Subdivision Name: Mink Creek
Site Location: Moyle Lane
Approved Zoning Designation of Site: MU
Parcel Number(s): 50409428015, 2810, 38405, 38605, 38805

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	<u>MU</u>	<u>IND</u>	<u>RES/Comm</u>
Proposed	<u>MU</u>	<u>N/A</u>	<u>IND</u>
North of site	<u>RUT</u>	<u>MU</u>	<u>AG</u>
South of site	<u>C-1</u>	<u>Comm</u>	<u>VACANT</u>
East of site	<u>IND</u>	<u>ROW</u>	<u>VACANT</u>
West of site	<u>C-2</u>	<u>Comm</u>	<u>STORAGE</u>

SITE DATA:

Total Acreage of Site - 48.48
 Breakdown of Acreage of Land in Contiguous Ownership - _____
 Total Acreage of Site in Special Flood Hazard Area - N/A
 Dwelling Units per Gross Acre - .23
 Minimum Lot Size - 21,000
 Minimum Lot Width - 39,900

Total Number of Lots - 12
 Residential - 9
 Commercial - 1
 Industrial - 1
 Common - 1

Total Number of Units - 9
 Single-family - 9
 Duplex - _____
 Multi-family - _____

Percent of Site and Total Acreage of Common Area - 42 % / 20.5 acres
 Percent of Common Space to be used for drainage - _____
 Describe Common Space Areas (amenities, landscaping, structures, etc.) - LAKE
 Proposed Dedicated Lots & Acreage (school, parks, etc): N/A

Public Streets - 1 Private Streets - _____
 Describe Pedestrian Walkways (location, width, material) - _____
 Describe Bike Paths (location, width, material) - _____

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxE, etc.: _____
 FIRM effective date(s): mm/dd/year _____
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: _____
 Base Flood Elevation(s): AE _____.0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - SGWD

Irrigation Water - MIDDLETON IRR

Sanitary Sewer - SSWD

Fire Protection - SFPD

Schools - WEST ADA

Roads - ACHD

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern -	<u>No</u>	Floodplain -	<u>No</u>
Evidence of Erosion -	<u>No</u>	Fish Habitat -	<u>NO</u>
Historical Assets -	<u>No</u>	Mature Trees -	<u>NO</u>
Riparian Vegetation -	<u>No</u>	Steep Slopes -	<u>NO</u>
Stream/Creek -	<u>No</u>	Unstable Soils -	<u>NO</u>
Unique Animal Life -	<u>No</u>	Unique Plant Life -	<u>NO</u>

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (✓)	Description	Staff (✓)
X	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Narrative explaining the project. (must be signed by applicant)	
X	Legal description of the property (word.doc and pdf version with engineer's seal)	
✓	Recorded warranty deed for the subject property	
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
X	Approval of the proposed subdivision name from Ada County Surveyor's office.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
X	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
X	Electronic copy in pdf. format of Preliminary Plat	
X	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
X	Electronic copy in pdf. format of landscape plan	
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans	
X	Phasing plan shall be included in the application if the project is to be phased.	

X	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
X	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
	Special Flood Information – Must be included on Preliminary Plat and Application form.	
X	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	
	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
X	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.	
X	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
X	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

Lynn S. Mayle
Applicant/Representative Signature

3-28-23
Date

ACHD

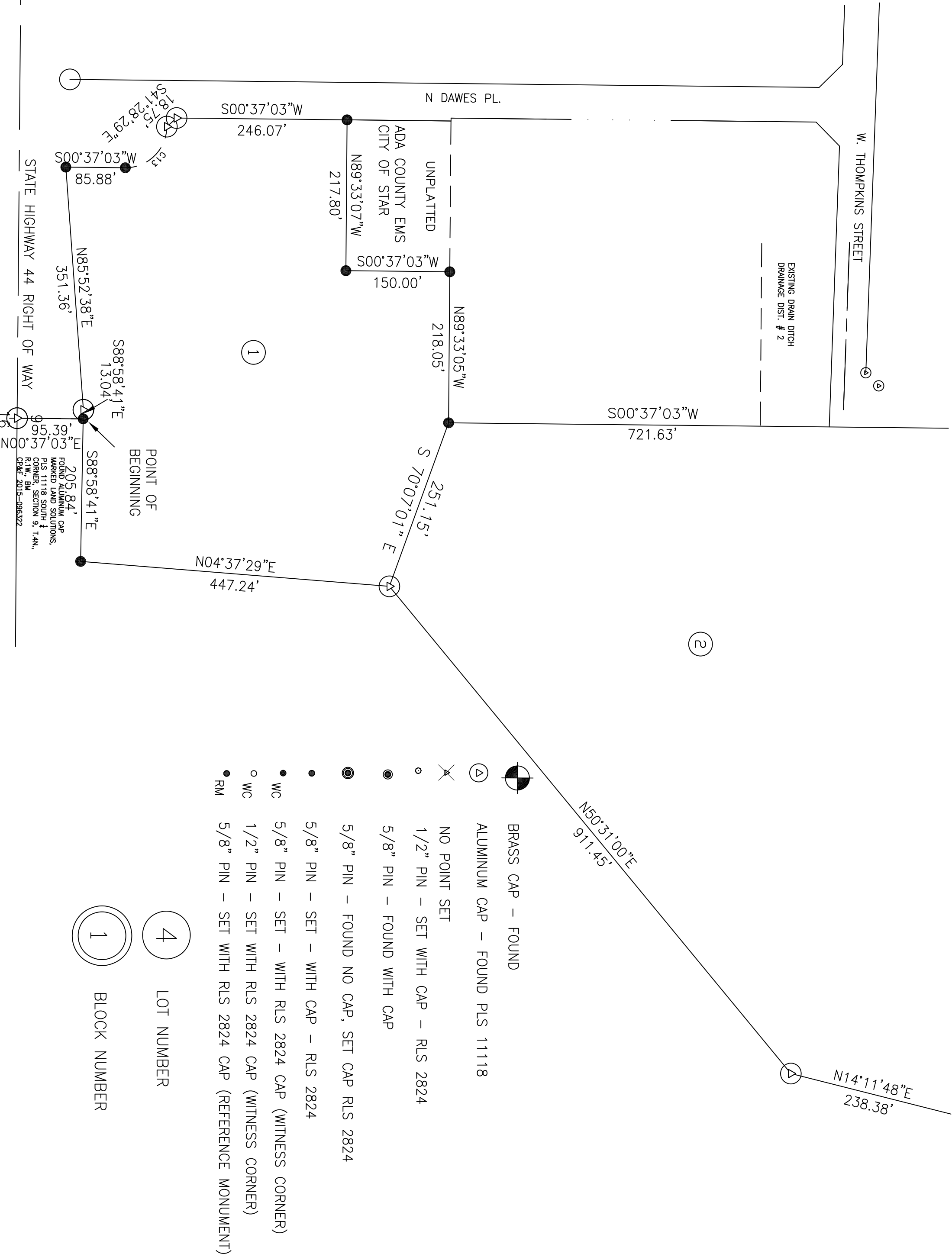
1. The engineering of record certifies that the plans are prepared in substantial conformance with the AASHTO Policy and standards in effect at the time of preparation. The engineer acknowledges that AASHTO assumes no liability for errors or deficiencies in the design. All variances from AASHTO Policy shall be stipulated in writing. The following variances, listed by date and short description, were approved for the project: none
 2. Master storm drainage easement reference.
- FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015, AS INSTRUMENT NO. 2015-102326.

GENERAL

1. All work shall be done in accordance with the Standard Specifications and drawings, the City of St. Louis, Storm Sewer and Water Division, the requirements of ACHD Supplemental and 2017 edition of the ISWCD.
2. All contractors, Subcontractors and /or utility Contractors shall attend a pre-construction conference a minimum of three (3) working days prior to start of construction.
3. Take all full dimensions, easements and certain off-site easements from the construction plans or the Record of Survey.
4. The contractor shall maintain all existing drainage and irrigation facilities within the construction area until the drainage and irrigation facilities are in place and functioning. If any damage occurs to any existing drainage or irrigation facilities, the Contractor shall replace or appropriate safety laws of any jurisdiction body. The contractor shall be responsible for all barricades, safety devices and control of traffic within and around the construction site.
5. All material on or for the project must meet the minimum requirements of the approving agency or as set forth herein, whichever is more restrictive. Contractors must furnish proof that all materials installed on the project must meet the requirements at the request of the approving agency and/or the Design Engineer.
6. The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. The contractor assumes all responsibility for any and all damages caused by his failure to exactly locate and preserve any and all underground utilities.
7. Work subject to approval for any political subdivision or agency must be approved prior to construction.
 - (A) backfilling trenches for pipe; (B) placing of aggregate base; (C) placing of concrete; (D) placement of manholes; (E) placement of catch basins; (F) placement of culverts
8. From the responsibility of performing the work in an acceptable manner provided the Contractor from the contractor shall keep on site at all times a copy of the approved constructed plan. The contractor shall provide other utilities encountered. The Contractor shall provide these locations to the Design Engineer for use in the production of record drawings per section 1.2.3.3 prior to final approval of the pipeline installation.
9. Fire hydrants for this project are numbered from NE-234 to NE-241.

STAR STANDARD DRAWING DETAILS

- | | | |
|-----|----------------|---|
| 1. | DWG 7.01(G) | UNDERGROUND UTILITY LOCATION STANDARDS |
| 2. | DWG 7.02(SW) | TYPICAL TRENCH DETAIL |
| 3. | DWG 7.03(SW) | SERVICE LINE TRENCH DETAIL |
| 4. | DWG 7.04(W) | WATER PIPE INSTALLATION DETAIL |
| 5. | DWG 7.05(W) | 3/4" OR 1" WATER SERVICE CONNECTION |
| 6. | DWG 7.07(W) | ELEVATION SET OF METER TILE LID |
| 7. | DWG 7.08(W) | TYPICAL DETAIL FOR DOUBLE WATER SERVICE |
| 8. | DWG 7.09(W) | THRUSET BLOCK AND ANCHOR DETAIL |
| 9. | DWG 7.10(W) | FIRE HYDRANT DETAIL |
| 10. | DWG 7.11(W) | FIRE HYDRANT LOCATION DETAIL |
| 11. | DWG 7.12(W) | 2. BLOWOFF ASSEMBLY DETAIL |
| 12. | DWG 7.12(BW) | 2. BLOWOFF ASSEMBLY DETAIL (FUTURE WATERLINE EXTENSION) |
| 13. | DWG 7.13(W) | SAFETY PIPE AND LID DETAIL |
| 14. | DWG 7.14(W) | SAFETY PIPE AND LID DETAIL |
| 15. | DWG 7.15(W) | STANDARD SEWER SERVICE CONNECTION |
| 16. | DWG 7.17(S) | SEWER SERVICE MANHOLE |
| 17. | DWG 7.18(S) | STANDARD SERVICE CLEANOUT DETAIL |
| 18. | DWG 7.19(S) | MANHOLE COVER AND FRAME |
| 19. | DWG 7.21(S) | SHALLOW MANHOLE DETAIL |
| 20. | DWG 7.022(S)b | STANDARD MANHOLE |
| 21. | DWG 7.022(S)a | STANDARD MANHOLE |
| 22. | DWG 7.26(S) | MANHOLE COLLAR DETAIL - PAVED AREA |
| 23. | DWG 7.28(S) | MANHOLE COLLAR DETAIL - UNPAVED AREA |
| 24. | DWG NICOR INC. | MANHOLE LID 12.5" WATER METER |
| 25. | DWG NICOR INC. | MANHOLE LID 16.25" SQUARE TIE W/ STAR LOGO |
| 26. | DWG NICOR INC. | MANHOLE LID USE WITH #45 |
| 27. | DWG NICOR INC. | BS501 SAMPLE TIE |



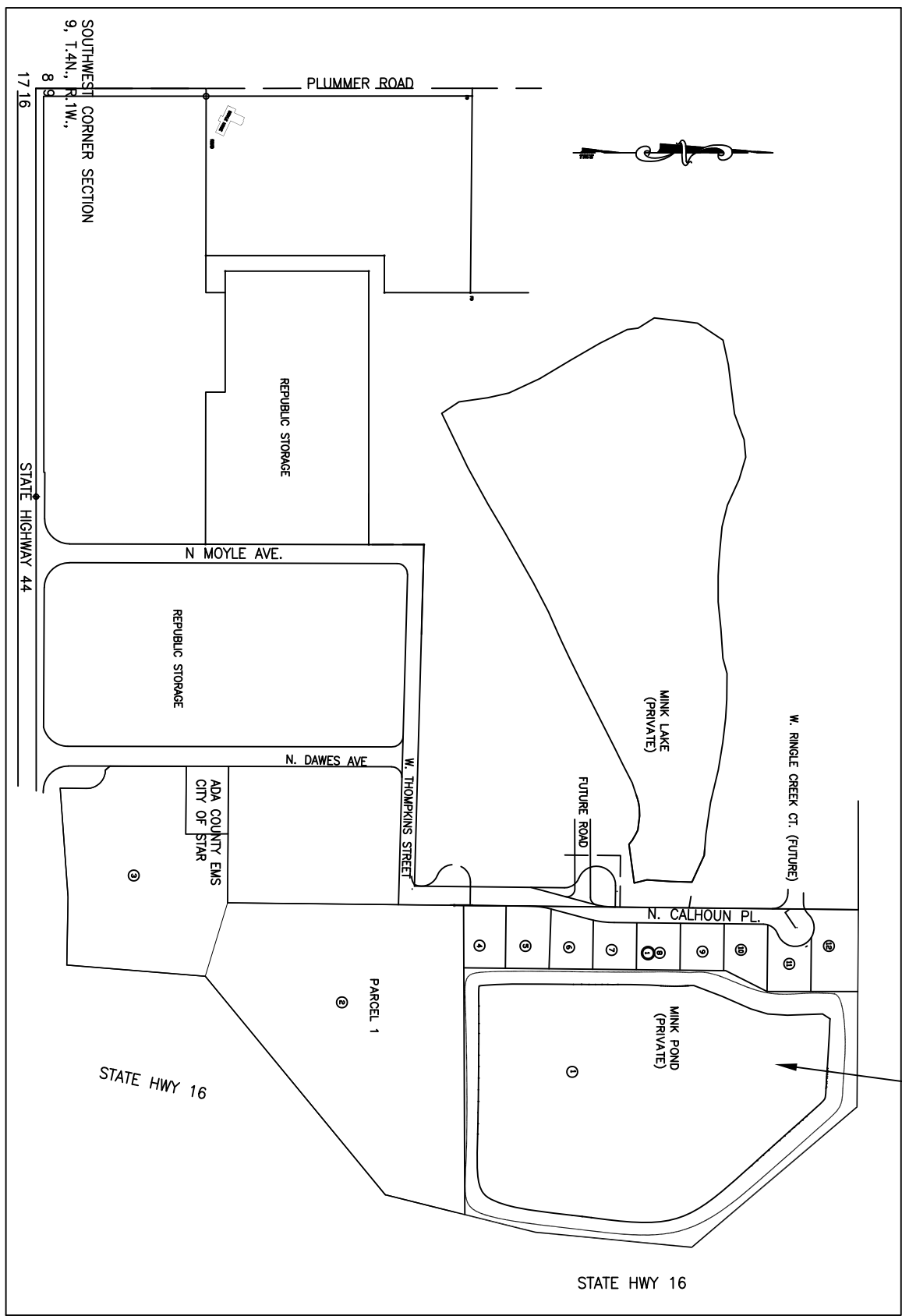
CONTRACTOR SHALL CONTACT
AT 342-1585 OR 811
PRIOR TO ANY CONSTRUCTION

MINK CREEK NO. 1


A PORTION OF THE SOUTH 1/2 OF
SECTION 9, T.4 N., R.1 W., BOISE MERIDIAN

ADA COUNTY, IDAHO

- 2022 -

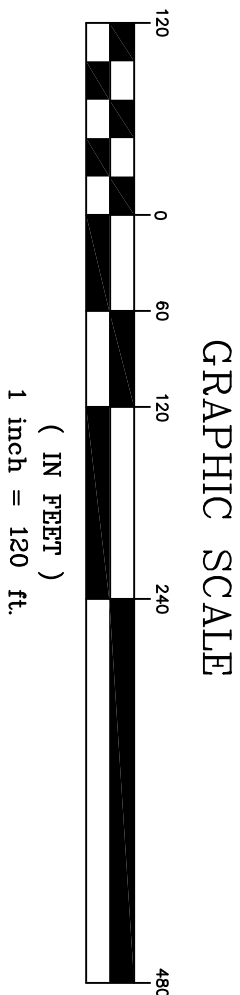


NOT TO SCALE

ENGINEER	1" = 100'	REVISED
	DATE:	1/15/21
	DESIGNED BY:	
	C:\JE\WRIGHT\VALLEY VIEW MASTER X REF	

A circular professional seal for Roy B. Johnson, a Registered Professional Surveyor in the State of Idaho. The seal features the text "PROFESSIONAL SURVEYOR" at the top, "STATE OF IDAHO" on the left, and "REGISTERED" on the right. The number "2824" is prominently displayed in the center. The name "ROY B. JOHNSON" is written along the bottom inner edge of the seal. A handwritten signature, "Roy B. Johnson", is written across the seal.

Ray B.
1/31/2022



DRAWING INDEX

SHEET 1 COVER SHEET

SHEET 2 PROPOSED PLAT

SHEET 3 SPECIFICATIONS

SHEET 4 DETAILS

SHEET 5 STREET PLAN

SHEET 6 SEWER PLAN AND PROFILE

SHEET 7 WATER PLAN

SHEET 8 PRESSURE IRRIGATION PLAN

SHEET 9 EROSION CONTROL, STREET LIGHTS AND
SIGNAGE PLAN

SHEET 10 PRE DEVELOPMENT TOPO

SHEET 11 GRADING AND LANDSCAPE PLAN

SHEET 1 OF 11	MINK CREEK SUBDIVISION NO. 1
	COVER SHEET

<div><div>GENERAL</div><div><div><div><div><div>1.</div><div>All work shall be done in accordance with the Specifications, the SSWD Standard Specifications and Drawings, the City of Star, the requirements of the Ada County Highway District, and the ISPMC latest edition.</div></div><div><div>2.</div><div>All Contractors, Subcontractors and/or Utility Contractors shall attend a pre-construction conference a minimum of three (3) working days prior to start of work. Take all lot dimensions, easements and certain off-site easements from the plat of: MINK CREEK SUBJ. NO. 1, a copy of which is attached to these plans.</div></div><div><div>3.</div><div>The Contractor shall maintain all existing drainage and irrigation facilities within the construction area until the drainage and irrigation improvements are in place and functioning.</div></div><div><div>4.</div><div>All Contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body. The Contractor shall be responsible for all barricades, safety devices and control of traffic within and around the construction area.</div></div><div><div>5.</div><div>All material furnished on or for the project must meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive. Contractors must furnish proof that all materials installed on this project meet the requirements at the request of the approving agency and/or the Design Engineer.</div></div><div><div>6.</div><div>The locations of existing underground utilities are shown in an approximate way only. The Contractor shall determine the exact location of all existing utilities before commencing work. The Contractor assumes all responsibility for any and all damages caused by his failure to exactly locate and preserve any and all underground utilities.</div></div><div><div>7.</div><div>Work subject to approval by any political subdivision or agency must be approved prior to (A) backfilling trenches for pipe, (B) placing of aggregate base, (C) placing of concrete, (D) placing of asphalt paving. Work done without such approval does not relieve the Contractor from the responsibility of performing the work in an acceptable manner.</div></div><div><div>8.</div><div>The Contractor shall keep on site at all times a copy of the approved construction plans on which is recorded the actual locations of the constructed pipe line and any other utilities encountered. The Contractor shall provide these locations to the Design Engineer for use in the production of record drawings per Section 1.2.J.3 prior to final approval of the pipe line installation.</div></div><div><div>9.</div><div>The Contractor shall paint fire hydrant ID number assigned by the fire department using a 3-inch stencil with white paint approved by the fire department and at a location on the fire hydrant approved by the fire department</div></div><div><div>10.</div><div>The Contractor shall paint fire hydrant ID number assigned by the fire department using a 3-inch stencil with white paint approved by the fire department and at a location on the fire hydrant approved by the fire department</div></div></div><div><div>11.</div><div>Construct the water system to conform with the latest edition of standards in the "Idaho Rules for Public Drinking Water Systems" (IDAPA 58.01.08), the SSWD Standard Specifications and Drawings and the latest edition of the I.S.P.W.C. Where discrepancies arise between the SSWD and the ISPMC, the most restrictive requirement shall apply.</div></div><div><div>12.</div><div>All water pipe and fittings shall comply with applicable portions of Section 3.1 of the SSWD Standard Specifications and Drawings. Water mains shall be AWWA C-900, or C-909, Class 150 PVC.</div></div><div><div>13.</div><div>Five (5) feet of cover shall be provided for all water mains located in a section-line road. Five feet of cover may be necessary for some mid-section line roads: see plans. Four (4) feet of cover shall be provided for all other water mains.</div></div><div><div>14.</div><div>The horizontal separation of water and sewer mains shall be a minimum of ten (10) feet. Where it is necessary for sewer (sanitary sewer, storm drain, and irrigation) and water lines to cross each other, and the sewer line is less than eighteen (18) inches below or above water main, the sewer line shall be Class 200 ASTM D-2241 PVC pipe with water-tight joints, or equal construction, for a distance of ten (10) feet on both sides of water line in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08. One full length of both water and sewer lines shall be centered at the crossing point so that all joints will be as far from the crossing as possible. In lieu of constructing or reconstructing the sewer to conform to water main standards, the water line may be sleeved in AWWA C 900 class 200 PVC for a distance of ten (10) feet on both sides of the crossing.</div></div><div><div>15.</div><div>Locate subsurface storm water disposal facilities (including unlined ponds, infiltration beds and drywells) at least 25 feet from main water lines. This requirement does not apply to catch basins or sand and grease vaults.</div></div><div><div>16.</div><div>Place No. 12 direct burial wire along the north and east side of water mains and service lines, per Standard Drawing No. 7.04(W).</div></div><div><div>17.</div><div>The Contractor shall notify the SSWD two (2) working days before initial construction begins and shall also request inspection of water lines and appurtenances twenty-four (24) hours in advance of backfilling.</div></div><div><div>18.</div><div>Construct, pressure-test, flush and disinfect all water distribution systems in accordance with applicable portions of Section 3.1 of the SSWD Standard Specifications and Drawings.</div></div><div><div>19.</div><div>Place water service lines in a two (2) inch diameter schedule 80 water class pipe wherever the service line crosses a storm water disposal facility (i.e. seepage beds, drainage swales).</div></div><div><div>20.</div><div>The Contractor shall be responsible for providing continuous water service to all existing water users affected by construction.</div></div><div><div>21.</div><div>The Contractor shall be responsible for locating and marking all existing service connections per Standard Drawing 7.08(W).</div></div><div><div>22.</div><div>Secure and anchor all tees, plugs, caps, bends, and other locations where unbalanced forces exist by suitable thrust blocking as shown on Standard Drawing 7.09(W).</div></div></div><div><div>23.</div><div>Only plan approved by the SSWD Engineer or his authorized representative shall be used by the project contractor(s).</div></div><div><div>24.</div><div>The Contractor shall flow test all fire hydrants. The fire department shall be present for flow testing of all fire hydrants.</div></div><div><div>25.</div><div>Contractor shall notify residences/establishments at least 24 hours prior to shutting down water service. All shutdowns shall be coordinated with SSWD</div></div><div><div>26.</div><div>Furnish and install carsonite utility markers at each right of way line for all crossings, and at 500' intervals for pipe not buried beneath asphalt. Provide markers on both dead end lines.</div></div></div><div><div>27.</div><div>All work shall be done in accordance with the latest edition of the "Wastewater Rules" (IDAPA 58.01.16) ISPMC and the supplemental SSWD Standard Specifications. Where discrepancies arise between the SSWD and the ISPMC, the most restrictive requirement shall apply.</div></div><div><div>28.</div><div>Approval and acceptance of all sewer construction will be by the SSWD for sewer mains and service stubs, and by the Plumbing Bureau for the piping from the sewer stub to and including plumbing inside buildings. Such inspections shall not relieve the contractor from the responsibility of performing the work in an acceptable manner in accordance with the approved construction plans and Standard Specifications and Drawings.</div></div><div><div>29.</div><div>All sewer pipe shall be bell and spigot, polyvinyl chloride (PVC), SDR 35, ASTM D-3034, unless otherwise specified. All sewer pipe shall comply with applicable portions of Section 4.1 of the SSWD Standard Specifications and Drawings.</div></div><div><div>30.</div><div>Locate service lines to the points shown on the drawings or as marked by the Surveyor/Engineer in the field. Mark and construct service lines in accordance with the Standard Drawings 7.16(S) and 7.17(S). The service marker shall be in place for the final inspection.</div></div><div><div>31.</div><div>The SSWD will inspect all public sewer construction whether within public right-of-way or easement. The Contractor will notify the SSWD forty-eight (48) hours prior to start of construction, and again twenty-four (24) hours prior to pouring concrete collars.</div></div><div><div>32.</div><div>Maintain groundwater levels one foot (1') or more below the pipe invert, per ISPMC, during pipe laying and pipe joining operations and while making sewer taps. Clean and restore to their original state any ditches and storm drain facilities that are silted due to the Contractor's dewatering efforts. Bedding and pipe zone material shall be three-quarter inch (3/4") rock chips unless otherwise approved.</div></div><div><div>33.</div><div>Install sewer service lines prior to street improvements. Service lines at 2% slope unless otherwise approved by SSWD.</div></div><div><div>34.</div><div>Construct sanitary sewer manholes in accordance with Section 4.3 of the Standard Specifications, and Drawings 7.21(S), 7.22(S), 7.24(S), 7.26(S), 7.28(S) as applicable.</div></div><div><div>35.</div><div>The Contractor shall test all sewer lines in accordance with Section 4.1.C of the SSWD Standard Specifications and Drawings and Sections 501.3.4 and 502.3.12 of the ISPMC.</div></div><div><div>36.</div><div>Place sewer service lines in a six (6) inch diameter water class pipe wherever the service line crosses a stormwater disposal facility (i.e., seepage beds, drainage swales). The separation of water and sewer mains shall be per water note # 4.</div></div><div><div>37.</div><div>When cover over a sewer pipe is less than three (3) feet from top of pipe to subgrade or top of pipe to natural ground, use "Class 200 water pressure pipe", ASTM D 2241, SDR 21, including service lines and fittings.</div></div><div><div>38.</div><div>Only plans approved by the SSWD engineer shall be used by the project contractor.</div></div><div><div>39.</div><div>The Contractor shall conduct a television inspection upon completion of the sewer lines and provide a videotape of the inspection prior to final acceptance of the sewer, per Section 4.3 of the Standard Specifications.</div></div><div><div>40.</div><div>The Contractor's surveyor shall verify each manhole invert elevation during placement. The surveyor shall also verify the pipe invert elevation 100 feet from each manhole to confirm pipe grade.</div></div><div><div>41.</div><div>The Contractor shall furnish manholes with manhole identification numbers labeled on the inside.</div></div></div> <div><div>42.</div><div>PRESSURIZED IRRIGATION</div></div> <div><div>43.</div><div>General</div></div> <div><div>44.</div><div>The City of Star does not exercise authority over installation, operation or maintenance of a proposed pressurized irrigation system, except if the system is to be maintained and operated by a homeowners association, the City of Star will monitor the type of materials used and the installation thereof.</div></div> <div><div>45.</div><div>the following notes shall be incorporated into all plans for pressurized irrigation systems:</div></div> <div><div>46.</div><div>1. Fender tape shall be installed with all irrigation mains. Tape shall be two (2) inches wide, metallic purple in color, with the words danger—unsafe water or non-potable water clearly marked along the length of the tape. Tape shall be placed between six (6) inches below the surface and eighteen (18) inches above the top of the pipe.</div></div> <div><div>47.</div><div>2. All irrigation risers and faucets shall be identified with durable tags carrying the warning danger—unsafe water (or equivalent)</div></div> <div><div>48.</div><div>3. All valve boxes and vaults shall be clearly identified with the warning danger—unsafe water or non-potable water (or equivalent), and shall be located a minimum of ten (10) feet outside of the public right-of-way.</div></div> <div><div>49.</div><div>4. Ten feet of horizontal separation shall be maintained between water mains and non-potable water lines. If ten feet cannot be maintained, a horizontal separation of six feet is required. measured between the outside of the pipes, and the water main must be at least eighteen (18) inches above the non-potable line.</div></div> <div><div>50.</div><div>5. A reduced pressure backflow preventer must be installed in any connection between the potable water system and the pressure irrigation system. (call city of star to verify that the device is approved for use in the city)</div></div> <div><div>51.</div><div>6. At any location where the pressure irrigation main and water main cross, the water pipe shall be centered so that both joints are located as far as possible from the crossing. A vertical separation distance of eighteen (18) inches shall be maintained between the pipes wherever possible.</div></div> <div><div>52.</div><div>7. ALL CROSSINGS OF THE PUBLIC RIGHT-OF-WAY WITH PRESSURE IRRIGATION SHALL BE INSTALLED AT A MINIMUM DEPTH OF SIX-AND ONE-HALF (6 1/2) FEET AND BE IN A C-900 SLEEVE WITH LOCATOR WIRE. WHEN CROSSING THE POTABLE WATER MAIN THE C-900 SHALL BE ONE SECTION OF PIPE CENTERED AT THE CROSSING POINT. THE ENGINEER SHALL INSPECT CROSSINGS PRIOR TO BACKFILLING.</div></div> <div><div>53.</div><div>8. Domestic water service and pressure irrigation must be on opposite sides of a lot corner.</div></div> <div><div>54.</div><div>9. The irrigation system shall be pressure tested to one hundred—fifty (150) pounds per square inch (psi).</div></div> <div><div>55.</div><div>10. All pressurized irrigation shall be inspected by the engineer forty—eight (48) hours advance notice is required.</div></div> <div><div>56.</div><div>11. All irrigation pipe in this subdivision shall be class 200 pvc, either slip joint or rubber gasket.</div></div>
--

57.

Roadway notes: ada county highway district

58.

1. All roadway construction in the public right-of-way shall conform to the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

59.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

60.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

61.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

62.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

63.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

64.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

65.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

66.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

67.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

68.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

69.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

70.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

71.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

72.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

73.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

74.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

75.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

76.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

77.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

78.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

79.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

80.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

81.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

82.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

83.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

84.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

85.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

86.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

87.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

88.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

89.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

90.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

91.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

92.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

93.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

94.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

95.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

96.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

97.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

98.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

99.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

100.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

101.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

102.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

103.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

104.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

105.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

106.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

107.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

108.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

109.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

110.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

111.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

112.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

113.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

114.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

115.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

116.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

117.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

118.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

119.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

120.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

121.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

122.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

123.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

124.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

125.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

126.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

127.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

128.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

129.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

130.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

131.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

132.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

133.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

134.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

135.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

136.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

137.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

138.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

139.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

140.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

141.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

142.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

143.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

144.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

145.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

146.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

147.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

148.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

149.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

150.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

151.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

152.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

153.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

154.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

155.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

156.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

157.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

158.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

159.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

160.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

161.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

162.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

163.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

164.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

165.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

166.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

167.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

168.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

169.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

170.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

171.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

172.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

173.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

174.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

175.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

176.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

177.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

178.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

179.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

180.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

181.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

182.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

183.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

184.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

185.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

186.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

187.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

188.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

189.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

190.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

191.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

192.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

193.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

194.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

195.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

196.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

197.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

198.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

199.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

200.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

201.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

202.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

203.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

204.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

205.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

206.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

207.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

208.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

209.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

210.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

211.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

212.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

213.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

214.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

215.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

216.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

217.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

218.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

219.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

220.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

221.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

222.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

223.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

224.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

225.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

226.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

227.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

228.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

229.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

230.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

231.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

232.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

233.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

234.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

235.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

236.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

237.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

238.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

239.

8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

240.

1. All roadways shall be constructed in accordance with the current edition of i.s.p.w.c. and the add'l supplemental specifications; no exceptions to the district policy, standards and the i.s.p.w.c. will be allowed unless specifically and previously approved in writing by the district.

241.

2. Inspection of work within the right-of-ways shall be by the ada county highway district.

242.

3. All tops of valve boxes and sewer manholes shall be set flush with the slope of the finished street grades.

243.

4. All storm drainage appurtenances shall be inspected and approved by the ada county highway district.

244.

5. All water valves, blow-offs and manholes shall be placed so as to not conflict with any concrete curb and gutter, valley gutter and sidewalk improvements.

245.

6. Contact ada inspection services at 387-6284, 24 hours prior to inspection.

246.

7. Actual field conditions during trenching may require additional pavement beyond the limits shown on the plans. the following conditions are listed in section 6000 of the ada policy manual.

247.

1- All asphalt match lines for pavement repair shall be parallel to the centerline of the street and any area damaged by equipment during trenching operations.

248.

2- if the cumulative damaged pavement exceeds 50% of the total road surface, contractor shall replace the entire road surface.

249.

3- Contractor shall replace the pavement surface to insure the match line does not fall within the wheel path of a lane.

250.

4- Flowable fill or imported material may be required if the native material is deemed unsuitable by ada inspector, does not meet compaction standards or time is a critical factor.

251.

5- Any exceptions to these rules shall be pre-approved in writing by district staff before construction begins.

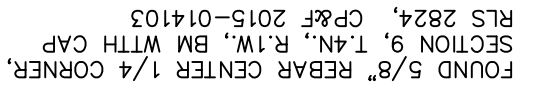
252.

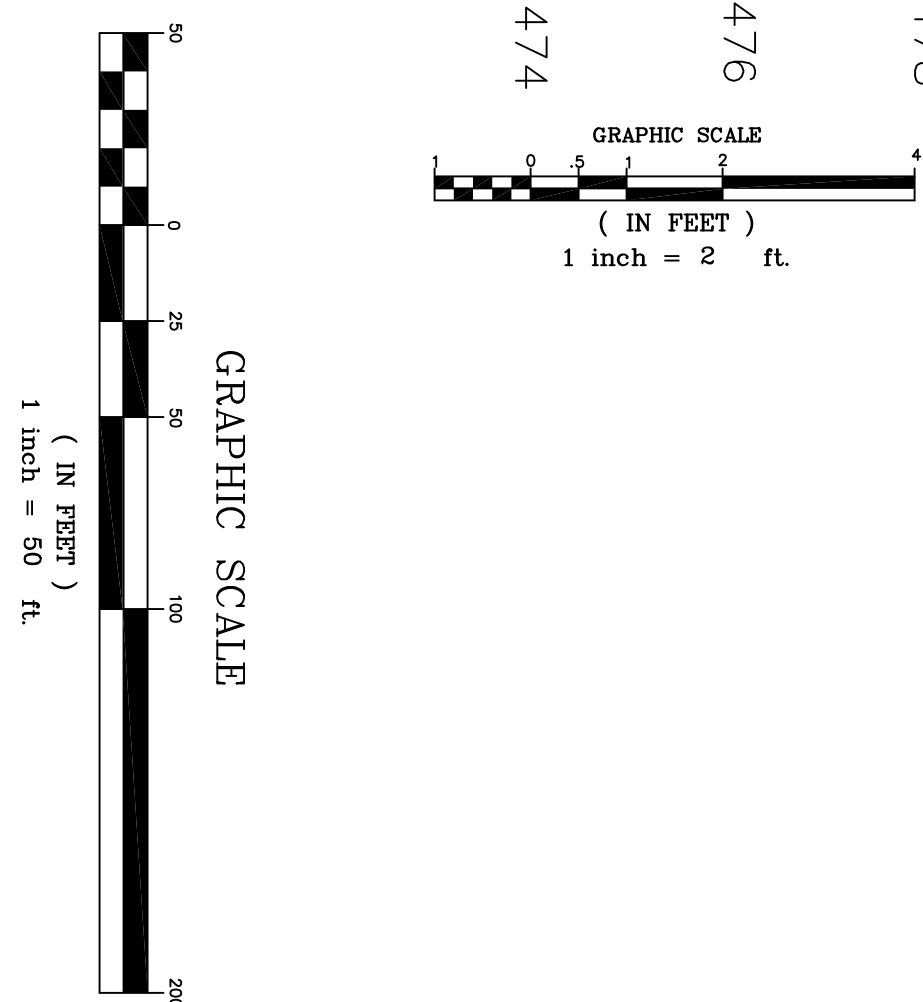
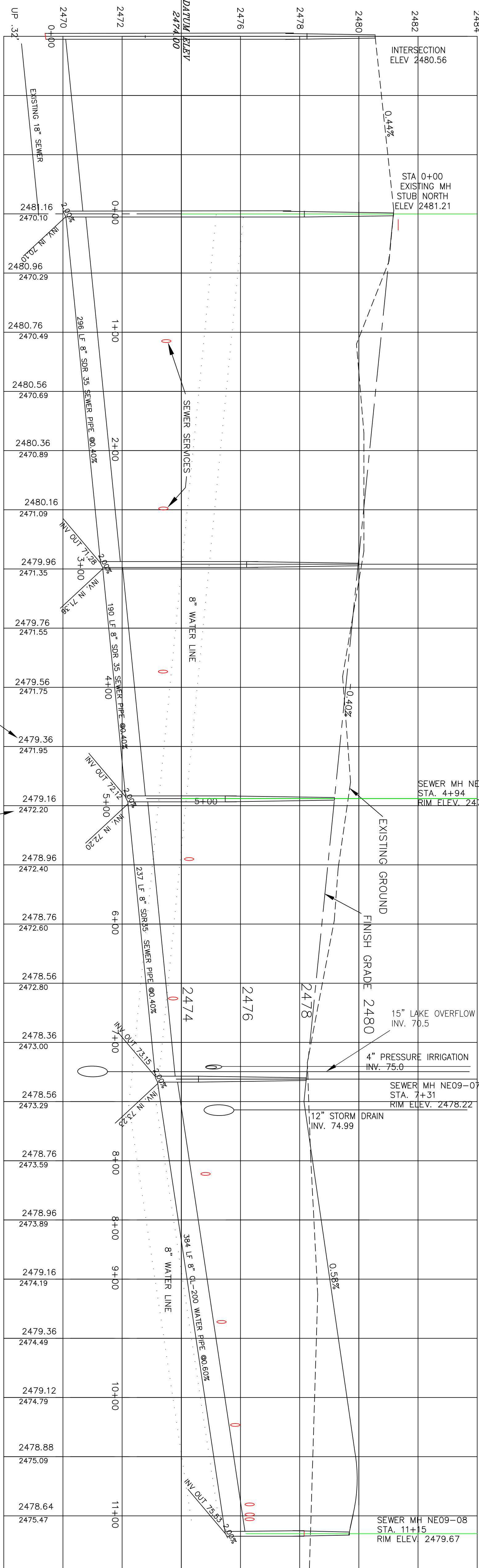
8- Prior to placement of any pavement markings contact ada inspection for verification of compliance with policy and existing pavement markings.

253.

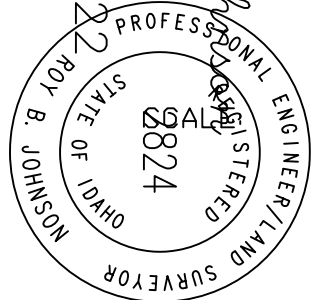
1. All road

TABLE



[illegible]

Ray B. for
1/3/20



SCALE:	1" = 50'	REVISED
DATE:	11/20/2018	
DESIGNED BY:	<u>REDF</u>	
F:\JOHNSON MASTER FILE\MOYLE\MIN CREEK FINAL PLAT AND PLANS\SH 5 MNK CREEK ACHD STREET PLANS.DWG		

MINK CREEK SUBDIVISION NO. 1

SEWER PLAN AND PROFILE
N. CALHOUN PLACE

EXISTING 4" BLOWOFF ASSEMBLY
ISPMC SD 405
REMOVE AND MOVE TO NEW LOCATION.
CONNECT TO EXISTING 10" TEE.

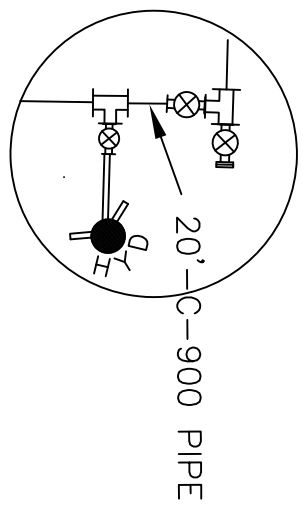
TOP WATER VALVE BOX 76.0
TOP WATERLINE 73.8
INV 30" PIPE 71.4

1- 10" FL X 12" FL X 12" FL TEE
1- 12" FL X MJ GATE VALVE
1- 10" FL X MJ GATE VALVE
1- 12" MJ BLIND FLANGE

CORNER
(FUTURE EXTENTION)

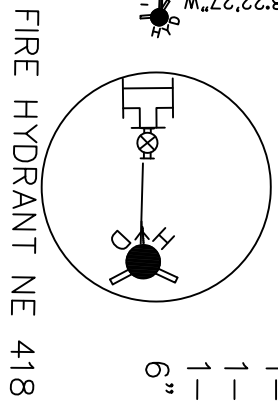
FIRE HYDRANT NE 417
1- 12" MJ X 6" FL TEE
1- 6" FL X MJ GATE VALVE
1- FIRE HYDRANT ASSEMBLY
6" C-900 PIPE AS NEEDED
20"-12" C-900 PIPE

STORM DRAIN CROSSING OVER
10" WATERLINE
MINIMUM 3 FEET SEPARATION
TBM ALUMINUM CAP AT FENCE CORNER
ELEVATION 2478.99



EXISTING DRAIN DITCH
DRAINAGE DIST. # 2

CONSTRUCT WATERLINE ALONG THOMPkins ROAD
2' NORTH OF THE EDGE OF PAVEMENT

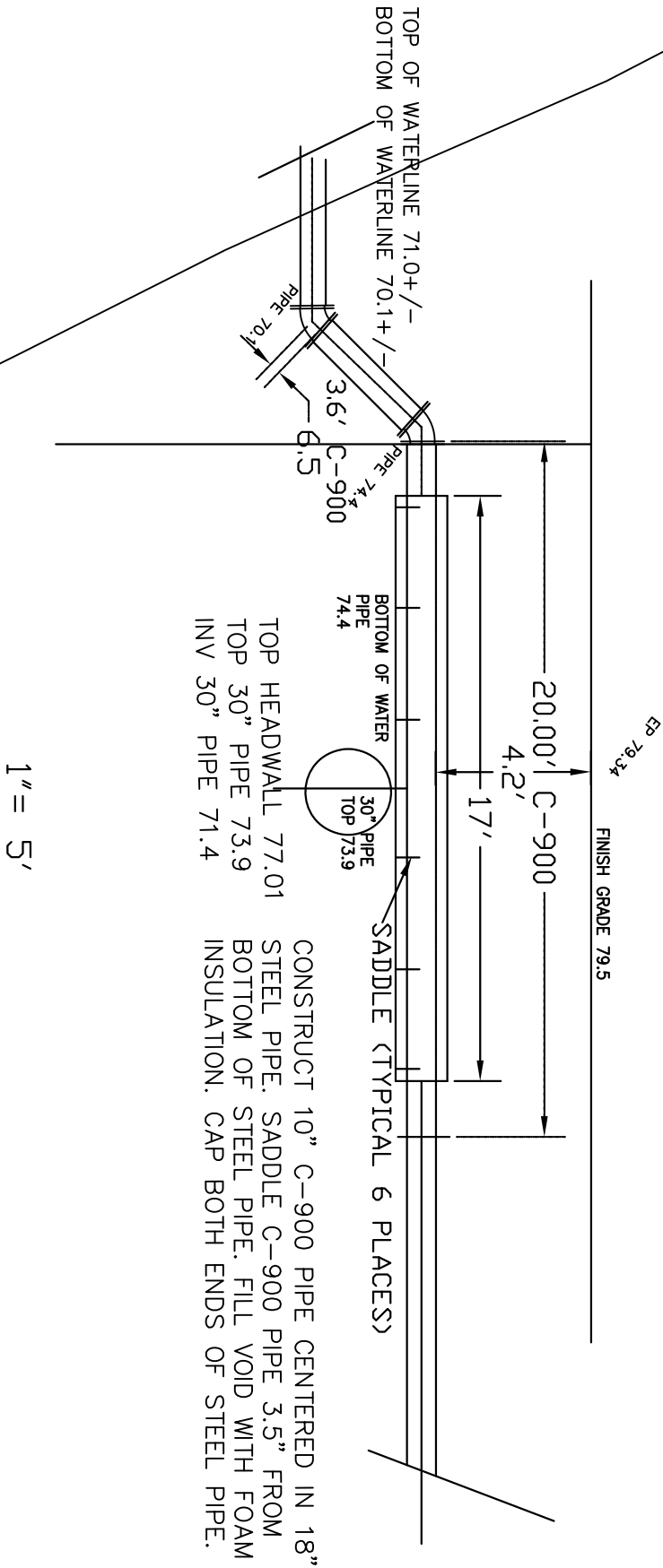


FIRE HYDRANT NE 418-420
1- 12" MJ X 6" FL TEE
1- 6" FL X MJ GATE VALVE
1- FIRE HYDRANT ASSEMBLY
6" C-900 PIPE AS NEEDED

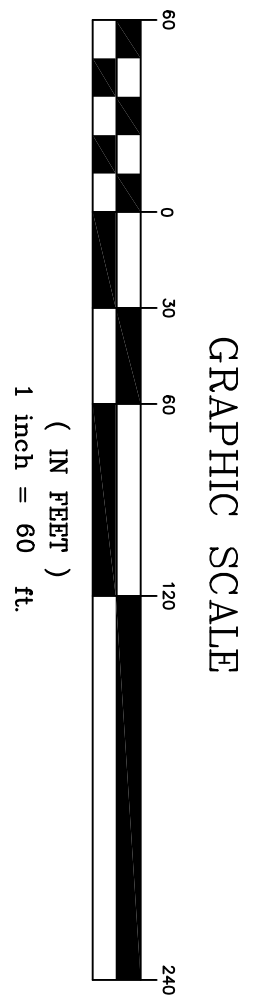
N88°25'01"W

CONTRACTOR SHALL CONTACT
DIGLINE AT 342-1585
PRIOR TO ANY CONSTRUCTION

45° BENDS, INSTALL IN ACCORDANCE WITH
STAR DWG 7.09(W) VERTICAL DETAIL.



1" = 5'



- MANHOLE
- STORM DRAIN DROP INLET
- STREET LIGHTS
- FIRE HYDRANT
- SINKER SERVICE STATION W/ WATER GRADE PIPE IF APPLICABLE
- RESERVED ARRANGION WATER SERVICE
- SINGLE WATER METER
- DOUBLE WATER METER
- 2- 1" SERVICES IN ONE METER TUB

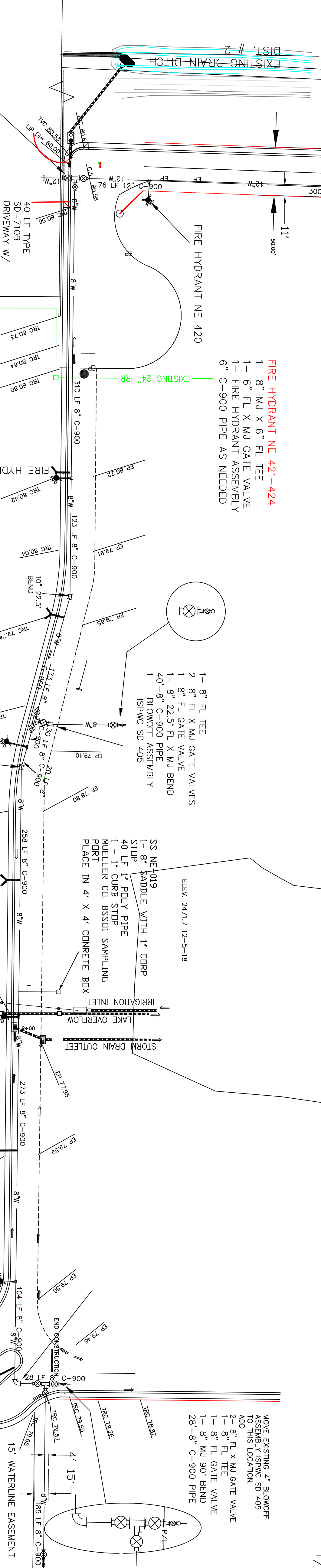
FIRE HYDRANT NE 421-424
1- 8" MJ X 6" FL TEE
1- 6" FL X MJ GATE VALVE
1- FIRE HYDRANT ASSEMBLY
6" C-900 PIPE AS NEEDED

1- 8" FL TEE
2 8" FL X MJ GATE VALVES
1- 6" FL X MJ GATE VALVE
1- 8" 22.5 FL X MJ BEND
40-6" C-900 PIPE
1- FIRE HYDRANT ASSEMBLY
ISPMC SD 405

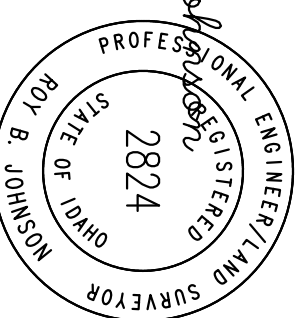
SS NE-109
1- 8" SADDLE WITH 1" CRP
STOP
40 LF 1" POLY PIPE
1- 1" CURB STOP
PISTONER CD, BSSDI SAMPLING
PLACE IN 4' X 4' CONCRETE BOX

ELEV. 2471.7 12-5-18

MOVE EXISTING 4" BLOWOFF
ASSEMBLY TO THIS LOCATION.
ADD
2- 8" FL X MJ GATE VALVE.
1- 8" FL TEE VALVE
1- 8" MJ 90° BEND
28-8" C-900 PIPE

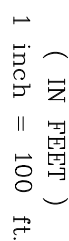
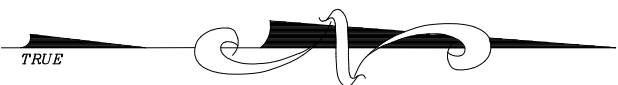
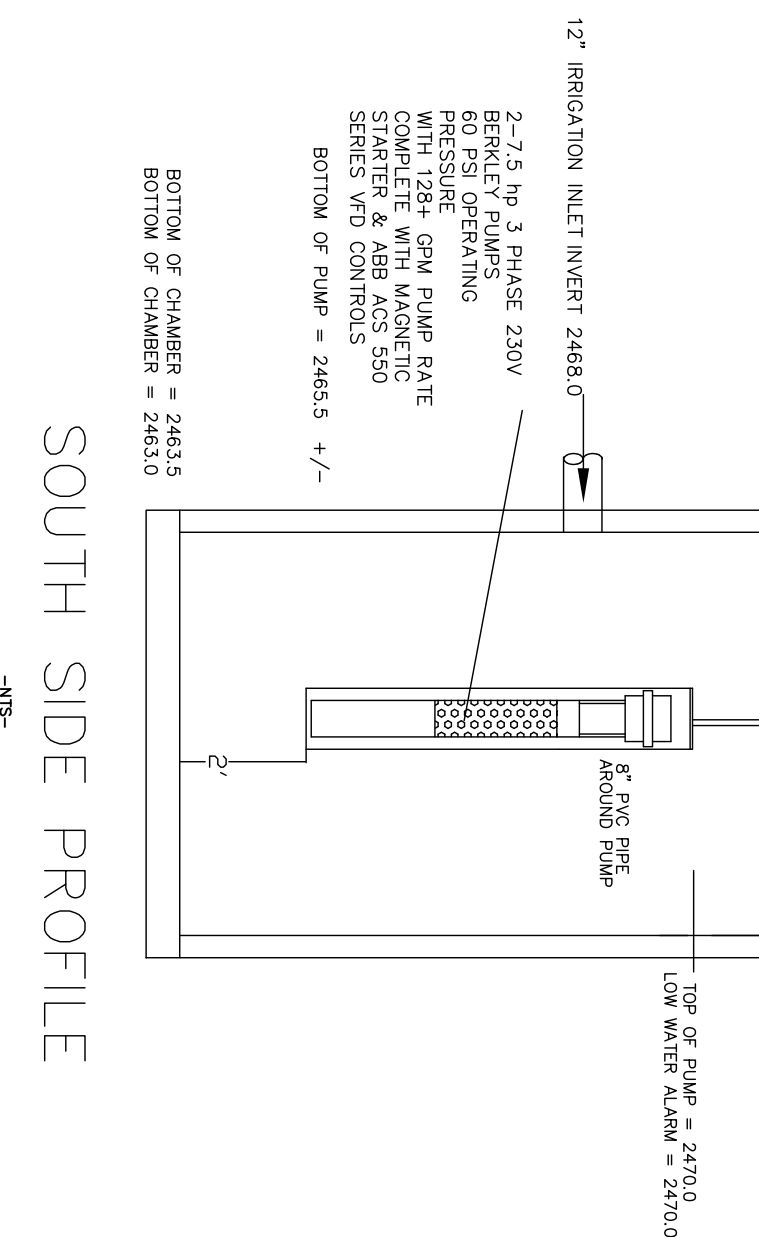
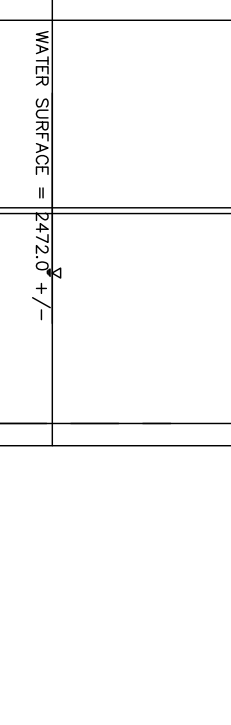
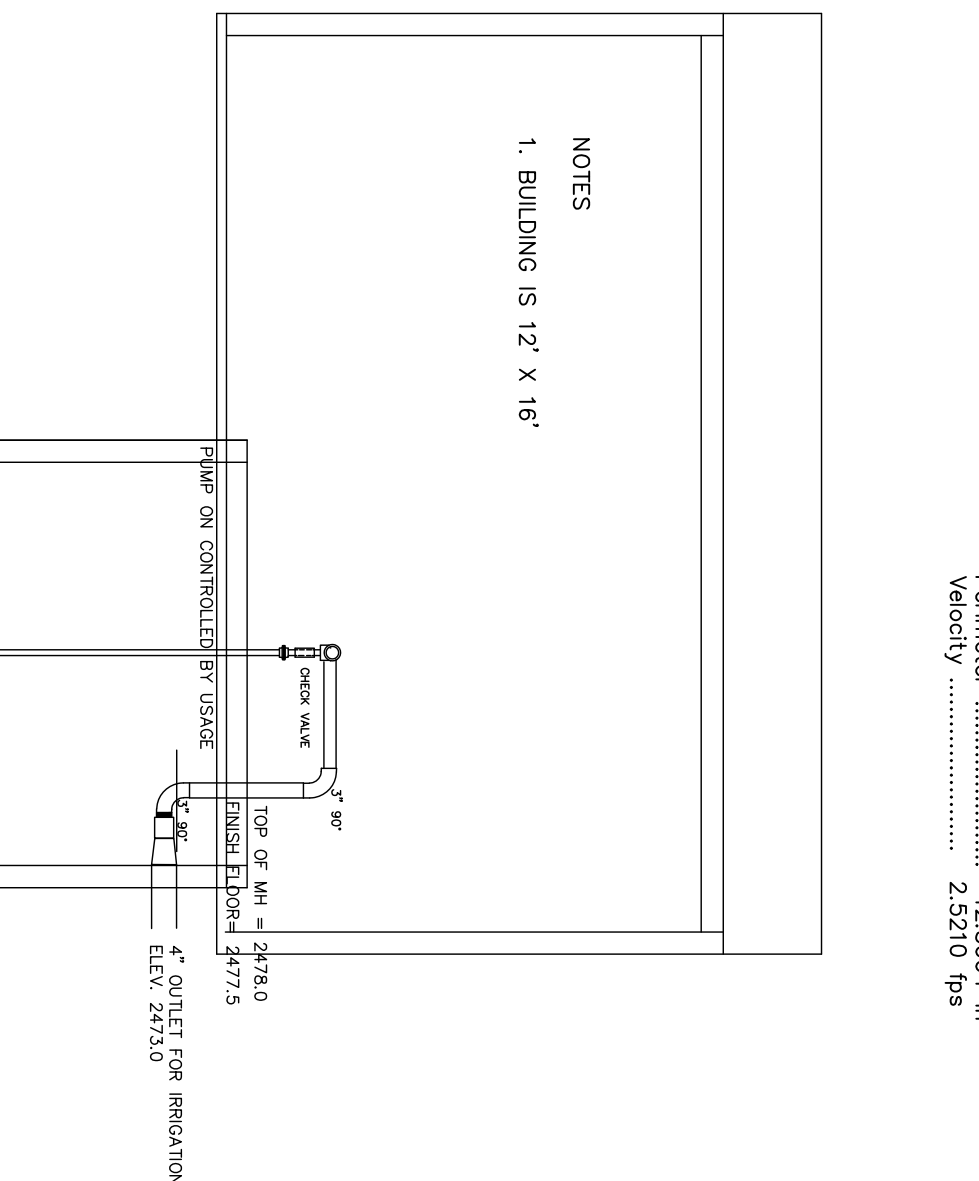
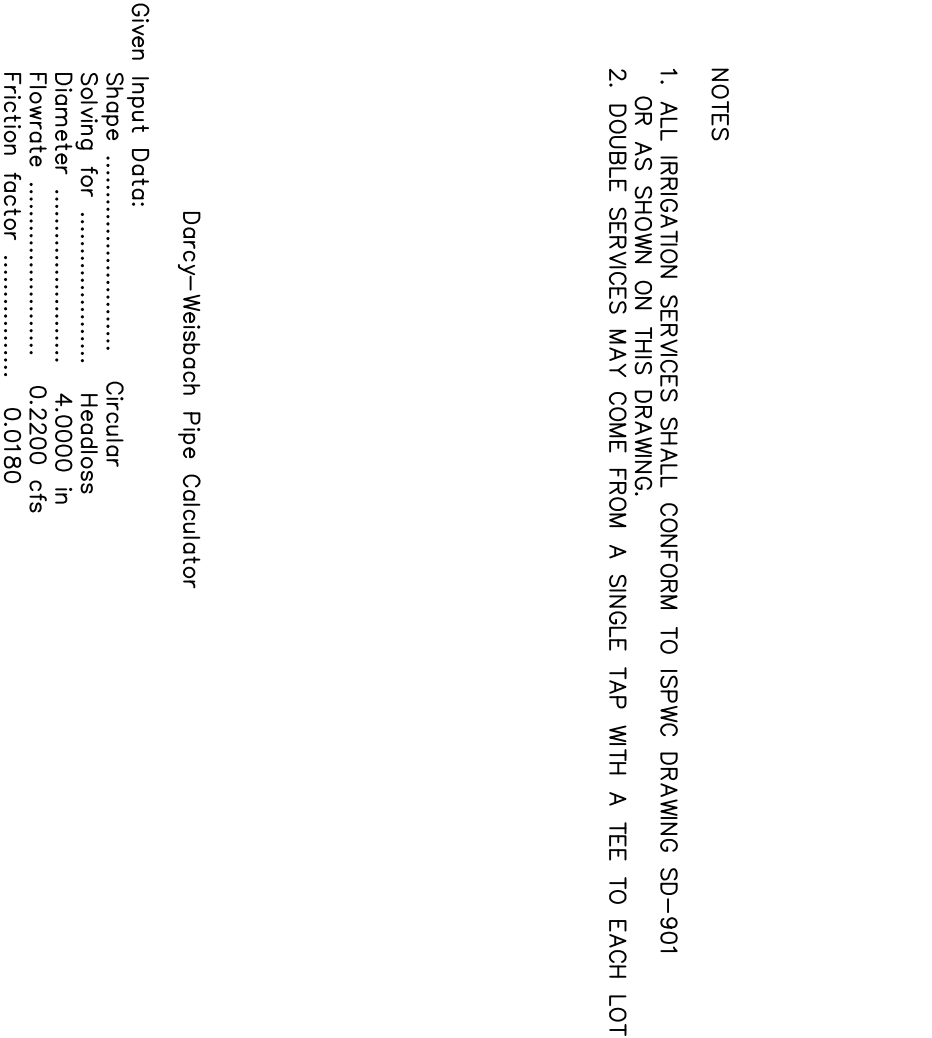
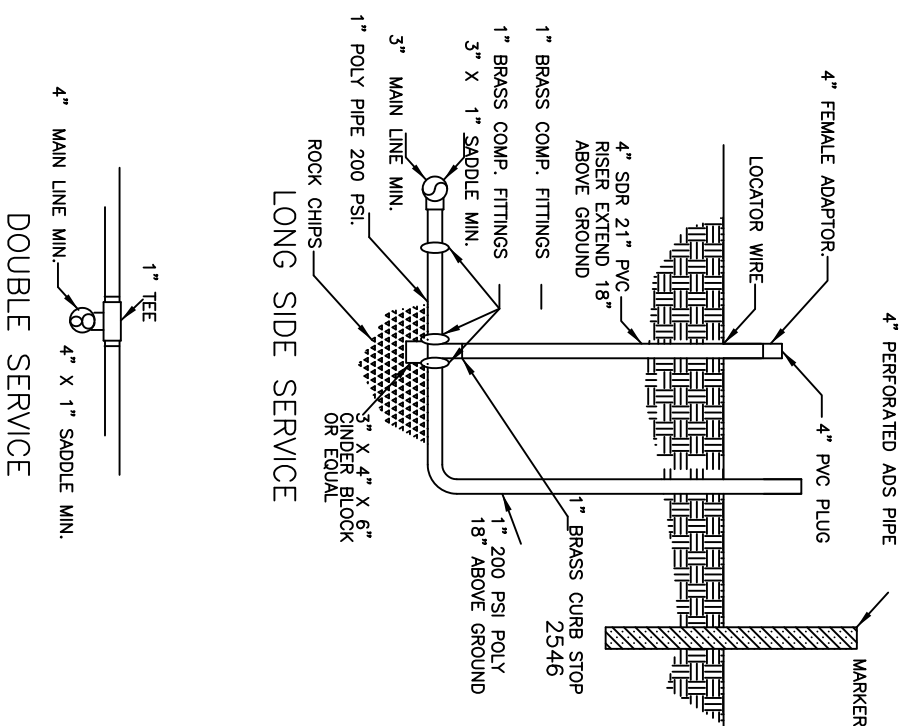


Roy B. Johnson
1/3/2022

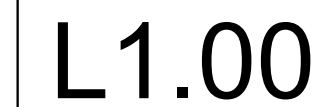


JOHNSON
ENGINEERING
PO BOX 786
MIDDLETON, IDAHO 83644
(208) 850-7022
royjohnson05@msn.com

SCALE:	1" = 60'	REVISED
DATE:	11/20/2018	
DESIGNED BY:	ROY B.	
F:\JOHNSON MASTER FILE\MOYLE\PEACOCK POINTE\SH 3 ACHD		



THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED, IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, SOUTH BECK AND BAIRD, PC, CANNOT ASSURE ITS ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATE INTO IT AS A RESULT. SOUTH BECK AND BAIRD, PC, ASSUMES NO LIABILITY FOR ANY MISINFORMATION.



Shawn Nickel

From: Steve Thiessen <steve@hatchda.com>
Sent: Monday, April 24, 2023 2:51 PM
To: Shawn Nickel
Cc: Ryan Field
Subject: Burnett Storage




Good afternoon Shawn,

Hatch Design Architecture represents the proposed project located at 771 N Hwy 16 just to the North of the proposed subdivision. Our project needs to maintain the proposed emergency fire access to the south. Please let us know if you have any questions.

Thank you,
Steve

Steve Thiessen, Architectural drafter
Hatch Design Architecture
200 West 36th Street
Boise, ID 83714
C: [208-598-5032](tel:208-598-5032) O: [208-475-3204](tel:208-475-3204) F: [208-475-3205](tel:208-475-3205)
E: Steve@HatchDA.com

This communication may contain information that is privileged, confidential, legally privileged, and/or exempt from disclosure under applicable law. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or use of the information contained herein (including any reliance thereon) is strictly prohibited. If this communication was received in error, please immediately contact the sender and destroy the material in its entirety, whether in electronic or hard copy format. ©2023

	RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
	NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 2/L1.1
	WOOD RIVER DRYLAND SEED MIX OVER APPROVED TOPSOIL AS SPECIFIED

NOTE: All trees to be grade #1
(Shown at 80% Maturity)

	PLANTING SIZE	MATURE SIZE	CLASS
<u>STREET TREES</u>		SEE DETAIL 6/L.1.1	
	8'-10' B&B	40' hgt. 20' w	CLASS
<u>CONIFEROUS TREES</u>		SEE DETAIL 5/L.1.1	
	8'-10' B&B	30' hgt. 10' w	CONIF.
<u>GROUND COVERS/ GRASSES/ PERENNIALS</u>		SEE DETAIL 4/L.1.1	
	1 Gal.	3' hgt. x 3' wide	
	1 Gal.	3' hgt. x 3' wide	
	1 Gal.	6' hgt. x 3' wide	
<u>SHRUBS</u>		SEE DETAIL 3/L.1.1	
	5 Gal.	3' hgt. 3' wide	

LANDSCAPING AREA 'B'

LANDSCAPE PLANS

DECIDUOUS TREE PLANTING

CONIFEROUS TREE PLANTING

PERENNIAL & GROUND COVER PLANTING

DN

PLAN VIEW

SHRUB PLANTING

BOULDER INSTALLATION

NOTE:

PLANTER BED CUT EDGE

(TYPICAL AT TREES IN TURF AREAS)

SHEET:

PROJECT NUMBER

CHECKED BY:

DRAWN BY: IDE

LANDSCAPE PLAN
MINK CREEK SUBDIVISION
STAR, ID

REVISIONS:

No.	Date	Description
-----	------	-------------

Copyright © 2022
All rights reserved. Reproduction or use in any form or by any means without written permission is prohibited.
South Landscape Architecture P.C. dba South Landscape Architecture
Beck & Baird Landscape Architecture P.C. dba Beck & Baird Landscape Architecture

**SOUTH
BECK &
BAIRD**

2002 S. Vista Ave
Boise, ID 83705
208.342.2999 Office
info@sbbgo.com
www.sbbgo.com

South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

DATE:

03/10/2022

STAMP:





Ada County Transmittal

Division of Community and Environmental Health

Return to:

- ☐ ACZ
☐ Boise
☐ Eagle
☐ Garden City
☐ Meridian
☐ Kuna
☒ Star

Rezone/OTD # _____

Conditional/Accessory Use # _____

Preliminary / Final / Short Plat PP-23-02/FP-23-041Development Name/Section Mink Creek CDH File # _____

- ☐ 1. We have No Objections to this Proposal.
☐ 2. We recommend Denial of this Proposal.
☐ 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
☐ 4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 ☐ high seasonal ground water ☐ waste flow characteristics
 ☐ bedrock from original grade ☐ other _____
☐ 5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
☒ 6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 ☒ central sewage ☐ community sewage system ☐ community water well
 ☐ interim sewage ☒ central water
 ☐ individual sewage ☐ individual water
☒ 7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 ☒ central sewage ☐ community sewage system ☐ community water
 ☐ sewage dry lines ☒ central water
☒ 8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
☐ 9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
☐ 10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
☐ 11. Land development application, fee per lot, test holes and full engineering report is required.
☐ 12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
☐ 13. We will require plans be submitted for a plan review for any:
 ☐ food establishment ☐ swimming pools or spas ☐ child care center
 ☐ beverage establishment ☐ grocery store
☐ 14. _____

Reviewed By:

Date: 4/13/23

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

April 7, 2023

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Mink Creek Subdivision Preliminary Plat and Final Plat

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:

<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK

Shawn Nickel

From: Flack,Brandon <brandon.flack@idfg.idaho.gov>
Sent: Tuesday, April 18, 2023 5:13 PM
To: Shawn Nickel
Subject: FW: Agency Transmittal - Mink Creek Subdivision Preliminary Plat and Final Plat
Attachments: Agency Transmittal - Mink Creek Subdivision Preliminary and Final Plat.pdf

Hi Shawn,

By way of comments on this project, IDFG recommends the following practices for residential subdivisions:

- Residents should control pets, including cats, at all times (fenced yard, keep indoors, kenneled, leashed, etc.). Pets, at-large, dramatically increase a residential subdivision's negative effects on wildlife.
- Prohibit the feeding of wildlife and require that potential wildlife attractants (pet food, garbage, gardens, etc.) be maintained in a way to reduce wildlife conflicts (skunks, foxes, raccoons, magpies, etc.). Eliminating or minimizing the potential for wildlife depredations is the responsibility of the property owner.
- Native vegetation should be retained to the extent possible during project implementation to support birds, small mammals, and pollinator species.
- Retain buffers of riparian vegetation that surround any wetland resources on the property.
- If community ponds are developed, legal water rights are required for the appropriate beneficial use (storage, irrigation, recreation, etc.). If the ponds will be used for fishing, a private pond permit from IDFG is required to stock the ponds with fish, and a live fish transport permit may also be required.
- All fencing within and around the subdivision should be wildlife friendly. IDFG can provide additional details upon request.

Thank you for your interest in the state's fish, wildlife, and plant resources. Please feel free to contact me with additional information needs or other questions.

Regards,

Brandon Flack
 Regional Technical Assistance Manager
 Idaho Dept. of Fish and Game
 Southwest Region
 15950 N. Gate Blvd.
 Nampa, ID 83687
 Ph: (208) 854-8947



From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Wednesday, April 5, 2023 3:09 PM
To: jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; TAX GIS

<gis@tax.idaho.gov>; D3Development.Services@itd.idaho.gov; Ryan Morgan <rmorgan@staridaho.org>
 rmorgan@starswd.com; bryce@sawtoothlaw.com; gtiminsky@starfirerescue.org; Melvin.B.Norton@usps.gov;
 harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com;
 planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO Admin
 <BRO.Admin@deq.idaho.gov>; samuel.flores@sparklight.biz; PDickerson@idahopower.com;
 permits@starfirerescue.org; Horner Marci <Horner.Marci@westada.org>; info@pioneerirrigation.com;
 irrigation.mm.mi@gmail.com; Julissa Wolf <jwolf@baileyengineers.com>; syarrington@adacounty.id.gov; Western Info
 <westerninfo@idwr.idaho.gov>; gmpdrtim@gmail.com; gmpdrtim@gmail.com; Andy Waldera
 <andy@sawtoothlaw.com>; Flack,Brandon <brandon.flack@idfg.idaho.gov>; Ryan Field <rfield@staridaho.org>;
 Cheryl.Implach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>;
 Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>;
 gis@compassidaho.org; Vincent.Trimboli@itd.idaho.gov; zsmith@adacounty.id.gov; Wendy.Howell@itd.idaho.gov;
 CalahanH <CalahanH@landproDATA.com>
 Cc: Shawn Nickel <snickel@staridaho.org>
 Subject: FW: Agency Transmittal - Mink Creek Subdivision Preliminary Plat and Final Plat

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Subject: Agency Transmittal - Mink Creek Subdivision Preliminary Plat and Final Plat

Please see attached Agency Transmittal for Mink Creek Subdivision Preliminary Plat and Final Plat, located in Star, Ada County.

Thanks.

Shawn

SHAWN L. NICKEL
PLANNING DIRECTOR AND ZONING ADMINISTRATOR
CITY OF STAR
SNICKEL@STARIDAHO.ORG
 208-908-5455



Boise Office

Golden Eagle Building
1101 W. River St., Ste. 110
P.O. Box 7985
Boise, Idaho 83707
Tel. (208) 629-7447

Challis Office

1301 E. Main Ave.
P.O. Box 36
Challis, Idaho 83226
Tel. (208) 879-4488

Twin Falls Office

236 River Vista Place
Suite 301
Twin Falls, Idaho 83301
Tel. (208) 969-9585

Fax (208) 629-7559



SAWTOOTH LAW

OFFICES, PLLC

Tuesday, April 11, 2023

Da Section 6, Item B.

S. Bryce Farris

Patxi Larrocea-Phillips

Evan T. Roth

Daniel V. Steenson

Matthew A. Sturzen

Katie L. Vandenberg-Van
Vliet

Andrew J. Waldera **

James R. Bennetts (retired)

Attorneys licensed in Idaho
* Also licensed in Washington
** Also licensed in Oregon

City of Star
Attn: Shawn L. Nickel
P.O. Box 130
Star, Idaho 83669

Re: File Nos. PP-23-02 and FP-23-04 - **Mink Creek Subdivision** located on the north side of
W. State Street between N. Moyle Ave and Hwy 16

Dear Mr. Nickel:

The Drainage District No. 2 (referred to as "District") has a ditch or drain and easement that runs through or abuts this property. The District's easement is 100 feet, 50 feet to either side for open drains and 50 feet, 25 feet to either side for piped or closed drains. In addition, the Middleton Mill Ditch Company and Middleton Irrigation Association (collectively referred to as "MM-MI") have a lateral ditch and easement that runs through or abuts this property. The easement is 25 feet each side from the top of bank. The developer must contact the District and MM-MI's attorneys, Sawtooth Law Offices, PLLC, for approval before any encroachment, change of easement, or drainage discharge into District or MM-MI facilities occurs. The District and MM-MI must review drainage plans and construction plans prior to any approval.

The District and MM-MI generally require a License Agreement prior to any approval for the following reasons:

1. Relocation of a facility which would also require a new easement and relinquishment of the old easement once the relocation has been completed.
2. Piping of a facility.
3. Encroachment on a facility with gas, water and sewer lines, utility lines, roadways, bridges or any other structures.
4. Drainage discharges into any facilities.

April 11, 2023
City of Star Itr.
Page 2

Also, please be advised that neither the District or MM-MI approves of trees within their easements. Therefore, any existing trees within easement will need to be removed. On occasion, the District and MM-MI may make exceptions on a case-by-case basis, which requires the developers/owners to obtain written permission from the District or MM-MI for existing trees to remain.

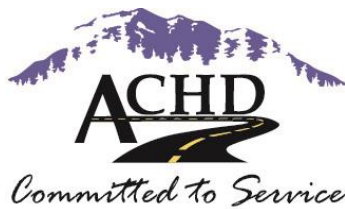
Please contact me if you have any questions.

Yours very truly,


S. Bryce Farris

SBF:krk

cc: MM-MI/DD2



Project/File: **Mink Creek Subdivision / SPP19-0002 / AZ-19-03, PP-19-02, CU-19-02**
The applicant is requesting annexation, zoning, preliminary plat and conditional use approval for Mink Creek Subdivision. The proposed subdivision consists of nine residential lots, one commercial lot and one common lot on 48.5-acres.

Lead Agency: City of Star

Site address: 8706 W. State Street

Commission Approval: July 10, 2019

Applicant: Mike Moyle
480 N. Plummer Rd.
Star, ID 83669

Representative: Nate Mitchell
10305 W. Floating Feather Rd.
Star, ID 83669

Staff Contact: Austin Miller
Phone: 387-6335
E-mail: amiller@achdidaho.org



A. Findings of Fact

1. **Description of Application:** The applicant is requesting annexation, zoning, preliminary plat and conditional use approval for Mink Creek Subdivision. The proposed subdivision consists of nine residential lots, one commercial lot and one common lot on 48.5-acres, to be zoned MU.
2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Rural-Urban Transition Zone	RUT
South	Neighborhood Commercial	C-1
East	Rural-Urban Transition Zone	RUT
West	Rural-Urban Transition Zone	RUT
3. **Site History:** ACHD has not previously reviewed this site for a development application.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
 - American Star Subdivision, consisting of 240 buildable residential lots is located at the southeast corner of Plummer Road and Floating Feather Road and was approved by ACHD in October 2018.
 - Moon Valley Subdivision, consisting of 268 buildable residential lots is located west of State Highway 16 south of Moon Valley and was approved in March 2019.

- 5. **New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.
- 6. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
- 7. **Capital Improvements Plan (CIP) / Integrated Five Year Work Plan (IFYWP):**
There are no roadways, bridges or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District’s Capital Improvement Plan (CIP).

B. Traffic Findings for Consideration

- 1. **Trip Generation:** This development is estimated to generate 85 additional vehicle trips per day; 9 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 10th edition.
- 2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**State Highway 16	2,113-feet	Principal Arterial	772	N/A
** State Highway 44 State Street	203-feet	Principal Arterial	970	N/A
Calhoun Place	235-feet	Collector	N/A	N/A

** ACHD does not set level of service thresholds for State Highways.
* Acceptable level of service for a two-lane collector is “D” (425 VPH).
* Acceptable level of service for a three-lane collector is “D” (530 VPH).

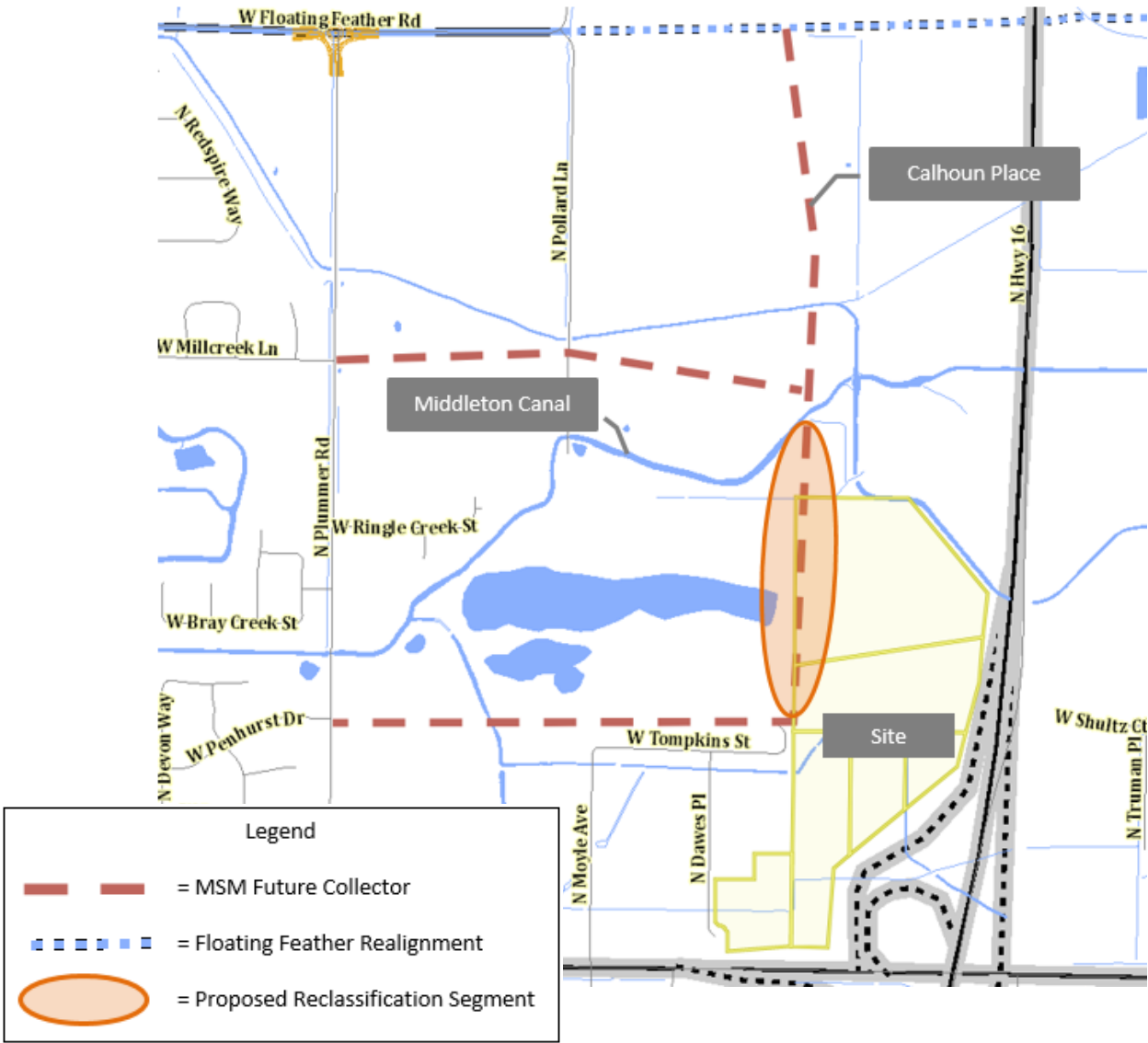
- 3. **Average Daily Traffic Count (VDT)**
Average daily traffic counts are based on ACHD’s most current traffic counts.
 - The average daily traffic count for SH-16 north of SH-44 was 12,911 on April 5, 2018.
 - The average daily traffic count for SH-44 was of SH-16 was 16,640 on April 5, 2017.
 - Average daily traffic counts are currently unavailable for this segment of Calhoun Place.

C. Findings for Consideration

- 1. **State Highways (SH-16 / SH-44)**
SH-16 and SH-44 are under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Star, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-16 and SH-44.
- 2. **Master Street Map**
The Master Street Map (MSM) guides right-of-way acquisition, collector street requirements, and specific roadway features that are required through development. The primary function of a collector is to intercept traffic from the local street system and carry that traffic to the nearest arterial. A secondary function is to service adjacent property. Access will be limited or controlled on collector streets.

The MSM identifies Calhoun Place as a collector roadway, to extend through this site along the western property line, stubbing to the north. Calhoun Place is planned to connect to Floating Feather Road after it is realigned (see below).

The applicant has requested Calhoun Place be reclassified from a collector to a local street abutting their site. Staff supports the applicant's request and recommends Calhoun Place between Tompkins Street and the Middleton Canal be reclassified to a local street. A collector roadway system is in place to provide connectivity to the area via Plummer Road and Tompkins Street. Two bridges would need to be constructed for Calhoun Place to extend north to Floating Feather Road placing a further maintenance burden on ACHD. Constructing a collector roadway through this site and the neighboring parcel to the north will limit their development potential as direct access from a collector roadway to residential lots is not typically allowed, decreasing the likelihood of a future connection through development.



3. Calhoun Place

- a. **Existing Conditions:** As part of the SH-16 project, the Idaho Transportation Department (ITD) constructed Calhoun Place with 35-feet of pavement, a gravel shoulder and no curb gutter or sidewalk abutting this site. Calhoun Place terminates as a cul-de-sac with a 52-foot radius abutting the site, located outside of ITD right-of-way on the neighboring parcel to the west. Additional unimproved ITD right-of-way exists abutting the site 470-feet north of the existing cul-de-sac.

These streets were constructed to provide access to the properties that were affected by the extension of SH-16 to the east. ITD was to dedicate these streets to ACHD when completed

and accepted by ACHD. To-date, these streets have not been accepted by ACHD as public streets.

b. Policy:

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street and Right-of-way Policy: District Policy 7207.5.2 states that unless otherwise approved the City of Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Half Street Policy: District Policy 7207.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

- c. **Applicant Proposal:** The applicant is proposing to construct Calhoun Place abutting the site as ½ of a 36-foot local street section with rolled curb, gutter and 5-foot wide attached concrete sidewalk on the east side. The west side is proposed to be improved with 12-feet of pavement a 3-foot wide gravel shoulder and a borrow ditch. The applicant is proposing to dedicate 50-feet of right-of-way to accommodate the improvements.
- d. **Staff Comments/Recommendations:** In anticipation of Calhoun Place being dedicated to ACHD, ACHD recommends that the City of Star require the applicant to improve Calhoun Place abutting the site, as proposed

Local streets are improved through development, if improvements are not required as part of this development application, Calhoun Place will remain unimproved and without pedestrian facilities.

4. Dawes Place

- a. **Existing Conditions:** Dawes Place is improved with as a 30-foot street section with curb, gutter, and no sidewalk abutting the site. There is 54-feet of ITD right-of-way for Dawes Place (27-feet from centerline).

These streets were constructed to provide access to the properties that were affected by the extension of SH-16 to the east. ITD was to dedicate these streets to ACHD when completed and accepted by ACHD. To-date, these streets have not been accepted by ACHD as public streets

- b. **Policy:**
 - Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street and Right-of-way Policy: District Policy 7207.5.2 states that unless otherwise approved the City of Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Half Street Policy: District Policy 7207.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

- c. **Applicant’s Proposal:** The applicant’s proposal does not address Dawes Place abutting the site.
- d. **Staff Comments/Recommendations:** In anticipation of Dawes Place being dedicated to ACHD, ACHD recommends that the City of Star require the applicant to improve Dawes Place abutting the site. The applicant should be required to construct 5-foot wide concrete sidewalk along Dawes Place abutting the site.

Previously the City of Star has not supported public streets less than 36-feet wide. The applicant should be required to provide written approval from the City of Star and the appropriate fire department for the reduced street section.

The applicant should be required to sign Dawes Place for NO PARKING.

Local streets are improved through development, if improvements are not required as part of this development application Dawes Place will remain without pedestrian facilities.

5. **Stub Streets**

- a. **Policy:**
Stub Street Policy: District policy 7207.2.4 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.5.4, except a temporary cul-de-sac will not be

required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7206.2.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

- b. **Applicant Proposal:** The applicant is proposing to stub Calhoun Place to the western property line. The applicant has requested to not be required to provide a stub street to the northern property line.
- c. **Staff Comments/Recommendations:** The right-of-way should be required to extend to the western property line to allow for the future completion of the roadway and the stub street extension to the west, as proposed. A sign shall be installed at the terminus of the stub street stating that, "THIS STREET WILL BE EXTENDED IN THE FUTURE." The applicant should be required to construct a temporary cul-de-sac turnaround with a minimum 45-foot radius.

Staff supports the applicant's proposal as the neighboring parcel to the north currently has access to Pollard Lane, a public street. A second stub to this site would require another bridge to cross the Middleton Canal, providing additional maintenance costs to ACHD.

6. Driveways

6.1 Dawes Place

- a. **Existing Conditions:** There are two existing driveways onto Dawes Place from the site.
- b. **Policy:**

Driveway Location Policy: District policy 7207.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector or arterial street intersection.

Successive Driveways: District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

Driveway Width Policy: District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.
- c. **Staff Comments/Recommendations:** The applicant should be required to close the two existing driveways on Dawes Place with curb, gutter and sidewalk. Access to Dawes Place will be reviewed with development of the commercial site.

7. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

8. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

D. Site Specific Conditions of Approval

1. Construct Calhoun Place abutting the site as ½ of a 36-foot local street section with rolled curb, gutter and 5-foot wide attached concrete sidewalk on the east side. Improve the west side with 12-feet of pavement a 3-foot wide gravel shoulder and a borrow ditch. Dedicate 50-feet of right-of-way to accommodate Calhoun Place.
2. Construct 5-foot wide concrete sidewalk along Dawes Place abutting the site.
3. Provide written approval from the City of Star and the appropriate fire department for the reduced street section along Dawes Place.
4. The applicant should be required to sign Dawes Place for NO PARKING abutting the site.
5. Stub Calhoun Place to the western property line. Install a sign at the terminus of the stub street stating that, "THIS STREET WILL BE EXTENDED IN THE FUTURE." Construct a temporary cul-de-sac turnaround with a minimum 45-foot radius.
6. Close the two existing driveways on Dawes Place with curb, gutter and sidewalk. Access to Dawes Place will be reviewed with development of the commercial site.
7. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. Payment of impact fees is due prior to issuance of a building permit.
9. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.

4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

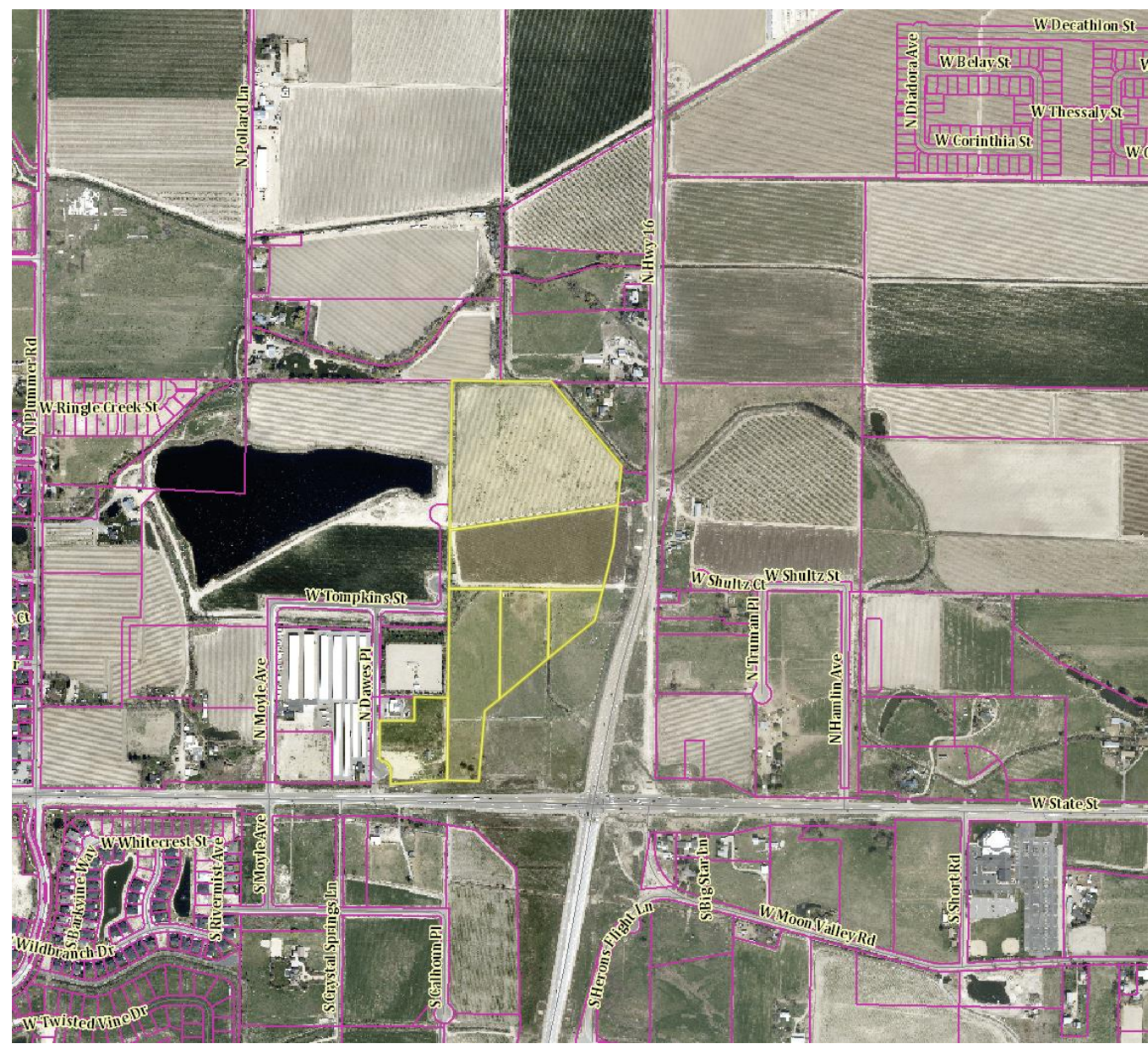
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

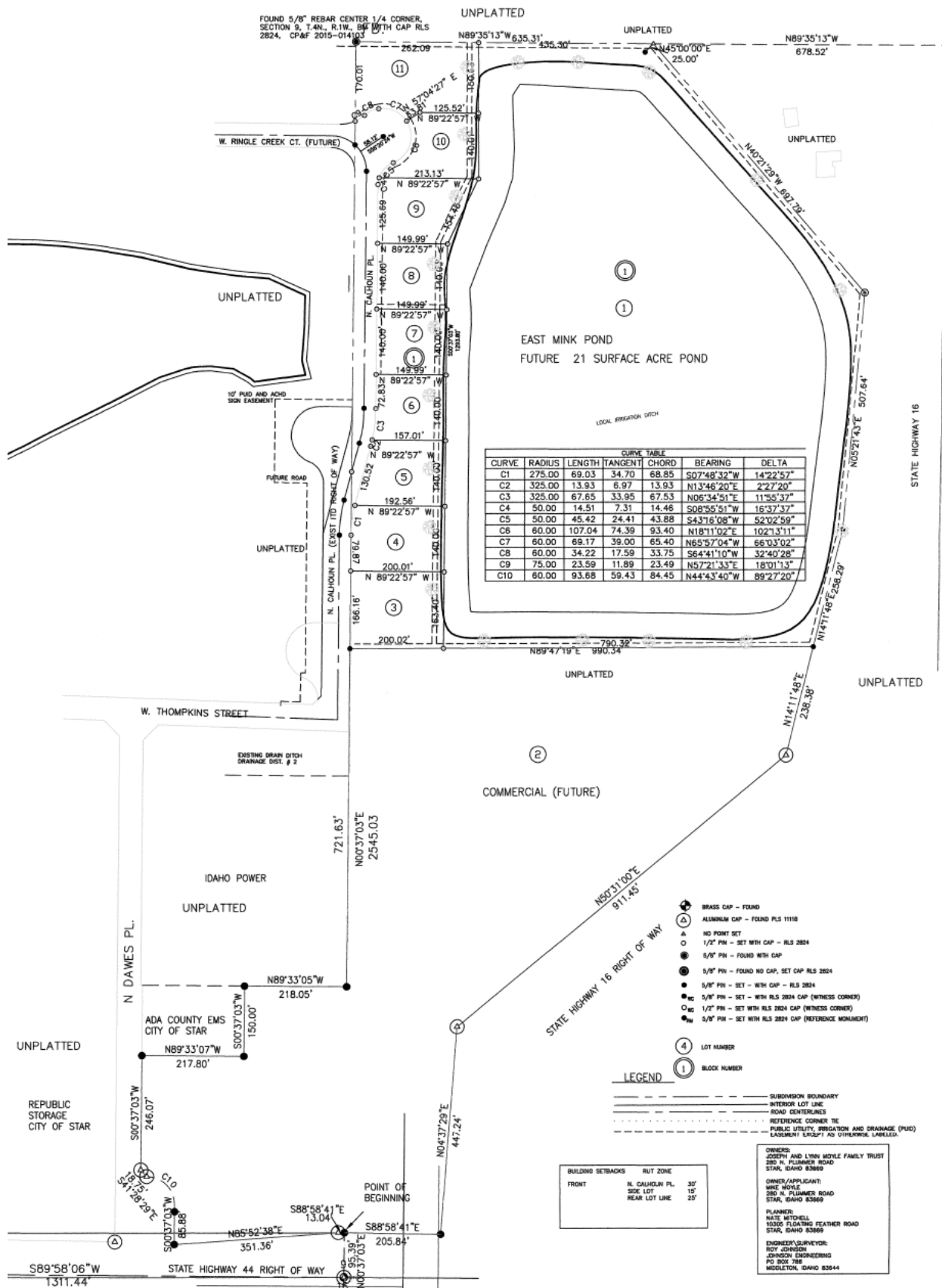
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- ☒ Submit a development application to a City or to Ada County
- ☒ The City or the County will transmit the development application to ACHD
- ☒ The ACHD **Planning Review Section** will receive the development application to review
- ☒ The **Planning Review Section** will do one of the following:
 - ☐ Send a **"No Review"** letter to the applicant stating that there are no site specific conditions of approval at this time.
 - ☐ Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - ☒ Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- ☐ For **ALL** development applications, including those receiving a **"No Review"** letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for ANY work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- ☐ Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

- ☐ **Driveway or Property Approach(s)**
 - Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.
- ☐ **Working in the ACHD Right-of-Way**
 - Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

- ☐ **Sediment & Erosion Submittal**
 - At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.
- ☐ **Idaho Power Company**
 - Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.
- ☐ **Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Reconsideration of Commission Action

1. **Request for Reconsideration of Commission Action:** A Commissioner, a member of ACHD staff or any other person objecting to any final action taken by the Commission may request reconsideration of that action, provided the request is not for a reconsideration of an action previously requested to be reconsidered, an action whose provisions have been partly and materially carried out, or an action that has created a contractual relationship with third parties.

- a. Only a Commission member who voted with the prevailing side can move for reconsideration, but the motion may be seconded by any Commissioner and is voted on by all Commissioners present.

If a motion to reconsider is made and seconded it is subject to a motion to postpone to a certain time.

- b. The request must be in writing and delivered to the Secretary of the Highway District no later than 11:00 a.m. 2 days prior to the Commission's next scheduled regular meeting following the meeting at which the action to be reconsidered was taken. Upon receipt of the request, the Secretary shall cause the same to be placed on the agenda for that next scheduled regular Commission meeting.
- c. The request for reconsideration must be supported by written documentation setting forth new facts and information not presented at the earlier meeting, or a changed situation that has developed since the taking of the earlier vote, or information establishing an error of fact or law in the earlier action. The request may also be supported by oral testimony at the meeting.
- d. If a motion to reconsider passes, the effect is the original matter is in the exact position it occupied the moment before it was voted on originally. It will normally be returned to ACHD staff for further review. The Commission may set the date of the meeting at which the matter is to be returned. The Commission shall only take action on the original matter at a meeting where the agenda notice so provides.
- e. At the meeting where the original matter is again on the agenda for Commission action, interested persons and ACHD staff may present such written and oral testimony as the President of the Commission determines to be appropriate, and the Commission may take any action the majority of the Commission deems advisable.
- f. If a motion to reconsider passes, the applicant may be charged a reasonable fee, to cover administrative costs, as established by the Commission.

Shawn Nickel

From: Steve Thiessen <steve@hatchda.com>
Sent: Monday, April 24, 2023 2:51 PM
To: Shawn Nickel
Cc: Ryan Field
Subject: Burnett Storage

Good afternoon Shawn,

Hatch Design Architecture represents the proposed project located at 771 N Hwy 16 just to the North of the proposed subdivision. Our project needs to maintain the proposed emergency fire access to the south. Please let us know if you have any questions.

Thank you,
Steve

Steve Thiessen, Architectural drafter
Hatch Design Architecture
200 West 36th Street
Boise, ID 83714
C: [208-588-5032](tel:208-588-5032) O: [208-475-3204](tel:208-475-3204) F: [208-475-3205](tel:208-475-3205)
E: Steve@HatchDA.com

This communication may contain information that is privileged, confidential, legally privileged, and/or exempt from disclosure under applicable law. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or use of the information contained herein (including any reliance thereon) is strictly prohibited. If this communication was received in error, please immediately contact the sender and destroy the material in its entirety, whether in electronic or hard copy format. ©2023

STAR TRANSPORTATION AND PATHWAY COMMITTEE**Development Review**

April 20,2023

Currently there two development for review

Mink Creek

The City's ECAMP Map shows a Collector Road going north-south long this project. In additional, this Collector road would would serve as an access connection, eliminating need for access into HWY 16.

Additionally, Our pathway plan shows a proposed pathway running on the east and north side of the development.

RECOMMENDATIONS

- 1) That the development right-of-way be extended to the north property line to facilitate the planned Collector road. This may require adjustment to one of the lots.
- 2) Provide a 10 foot Pathway along the east and north side of the development.

Cranefield

The City's ECAMP Map shows a Collector Road along the east side of the development.

RECOMMENDATION:

That the City require that the needed right-of-way be provided along the Eastside of the development.

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **May 2, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Red Barn Inn
 Files #'s RZ-23-02 Rezone Application
 DA-23-03 Development Agreement
 CU-23-04 Conditional Use Permit

Applicant/Representative: Jon and DiAnn Lei

Owner: Jon and DiAnn Lei, 341 S Main St. Star, Idaho 83669

Action: The Applicant is seeking approval of a Rezone (CBD), a Development Agreement, and Conditional Use Permit to open The Red Barn Inn (a 12 room Inn). The application is being reviewed as a motel/hotel land use.

Property Location: The subject property is generally located The property is located at 309 S Main. Ada County Parcel No: R1842701715.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
 Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: May 2, 2023 – PUBLIC HEARING

FILE(S) #: RZ-23-02 – Rezone
DA-23-03 – Development Agreement
CU-23-04 – Conditional Use Permit – Red Barn Inn

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner

Jon & DiAnn Lei
341 S. Main Street
Star, Idaho 83669

Representative:

Terry King
TTKLA PLLC
6122 Moonfire Way
Boise, Idaho 83709

REQUEST

Request: The Applicant is requesting approval of a Rezone (R-4 to CBD), a Development Agreement and Conditional Use Permit for a twelve room (12) Inn (motel/hotel). The property is located at 309 S. Main Street in Star, Idaho and consists of .929 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the west side of N. Main Street, south of Hwy 44. Ada County Parcel Numbers R1842701715.

Existing Site Characteristics: The property is currently vacant.

Irrigation/Drainage District(s): - Pioneer Ditch Company LTD
P.O. Box 70
Star, Idaho 83669

Flood Zone: This property is currently located in a Special Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J
Effective Date: 06/19/2020
Flood Zone: AE

Special On-Site Features:

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No known areas.
- ✧ Fish Habitat – No known areas.
- ✧ Mature Trees – Yes, healthy, mature trees will be preserved if possible.
- ✧ Riparian Vegetation – None.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – No.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✧ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	March 23, 2023
Neighborhood Meeting Held	April 1, 2023
Application Submitted & Fees Paid	April 3, 2023
Application Accepted	April 10, 2023
Residents within 300' Notified	April 13, 2023
Agencies Notified	April 4, 2023
Legal Notice Published	April 16, 2023
Property Posted	April 21, 2023

HISTORY

The city does not have any previous land use history for this parcel.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS
--

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-4)	Central Business District (CBD)	Vacant Ground
Proposed	Central Business District (CBD)	Central Business District (CBD)	Hotel/Motel
North of site	Residential (R-4)	Central Business District (CBD)	Assisted Living Facility
South of site	Residential (R-4)	Central Business District (CBD)MU)	Single Family Residential/Applicant's Residence
East of site	Residential (R-4)	Central Business District (CBD)	Single Family Residential
West of site	Residential (R-1)	Central Business District (CBD)	Single Family Residential

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN
--

UNIFIED DEVELOPMENT CODE:**8-1B-1: ANNEXATION AND ZONING; REZONE:**

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its

original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

- 4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.
- 5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

- 1. The map amendment complies with the applicable provisions of the comprehensive plan;
- 2. The map amendment complies with the regulations outlined for the proposed district;
- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- 5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the

city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Hotel/Motel	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' ⁴	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.

B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.

C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.

D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.

E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.

F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.

G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.

H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.

I. The city should encourage assemblage of the smaller properties where appropriate.

J. The “floodway” lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and “Live, Work, Play” ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a “City Services Campus”. That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with

certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

REZONE:

The rezone request from Residential (R-4) to Central Business District (CBD) on the applicant’s property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan Map. Sewer and Water will be provided by the Star Sewer and Water District and is in close proximity to the property. Annexation into the Sewer and Water District will be required.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for an approximately 30,889 square feet hotel/motel facility. The proposed building will consist of twelve (12) individual guest rooms, two (2) of which will be ADA accessible. Each guest room will be on the main level and have access to the outside. There will be a separate dining room, self-serve food bar and commercial kitchen.

Access will be taken from S. Main Street, directly to the property. The Applicant is proposing a circular drive on the front or east side of the building. Off the circular drive the applicant is proposing eight (8) parking spaces, two (2) of which are ADA accessible. The Applicant is also proposing twelve (12) parking spaces behind the building or on the west of the property. Section 8-4B-3 of the Unified Development Code states that this type of use requires one (1) parking space for each sleeping room, plus one (1) parking space for every two (2) employees. The proposed twenty (20) spaces will satisfy this requirement.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. **The Applicant is proposing a twenty foot (20') wide drive aisle, along the southern boundary of the parcel. If approved by the Fire District, a 20' driveway would meet the intent of the Code and can be approved by Council.**

The Ada County Highway District (ACHD) has issued a staff report, the Applicant will be required to comply with the conditions of approval prior to certificate of occupancy. This will include the improvements to S. Main Street, including 3' of pavement widening along with curb, gutter and sidewalk. ACHD has approved the 2 proposed driveway locations.

The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Central Business District (CBD) setbacks.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan appears to satisfy these requirements. The Applicant has proposed landscaping along the northern property boundary to provide privacy and help prevent light and noise pollution as much as possible to the northern neighbor.

The Applicant is proposing the use of permeable pavers for the circular drive to be used as drainage for the site. This will require coordination with the City Engineer for review and approval. The pavers shall satisfy the minimum requirements for infiltration of five gallons (5) in thirty seconds (30) or less.

The Applicant has not provided a lighting plan for the site or building. This will be required prior to issuing a building permit, for review and approval by Staff. All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

DEVELOPMENT AGREEMENT:

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Specifically Requested Conditional Use Approvals

AGENCY RESPONSES

Central District Health	April 13, 2023
DEQ	April 7, 2023
ACHD	April 20, 20223

PUBLIC RESPONSES

No public comments have been received for this application.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed rezone, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.
The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:
 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*
 - ✓ *Ensure development is commensurate with the physical characteristics of the land.**The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

Findings for Conditional Use Permits (UDC §8-6B-6):

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star

Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

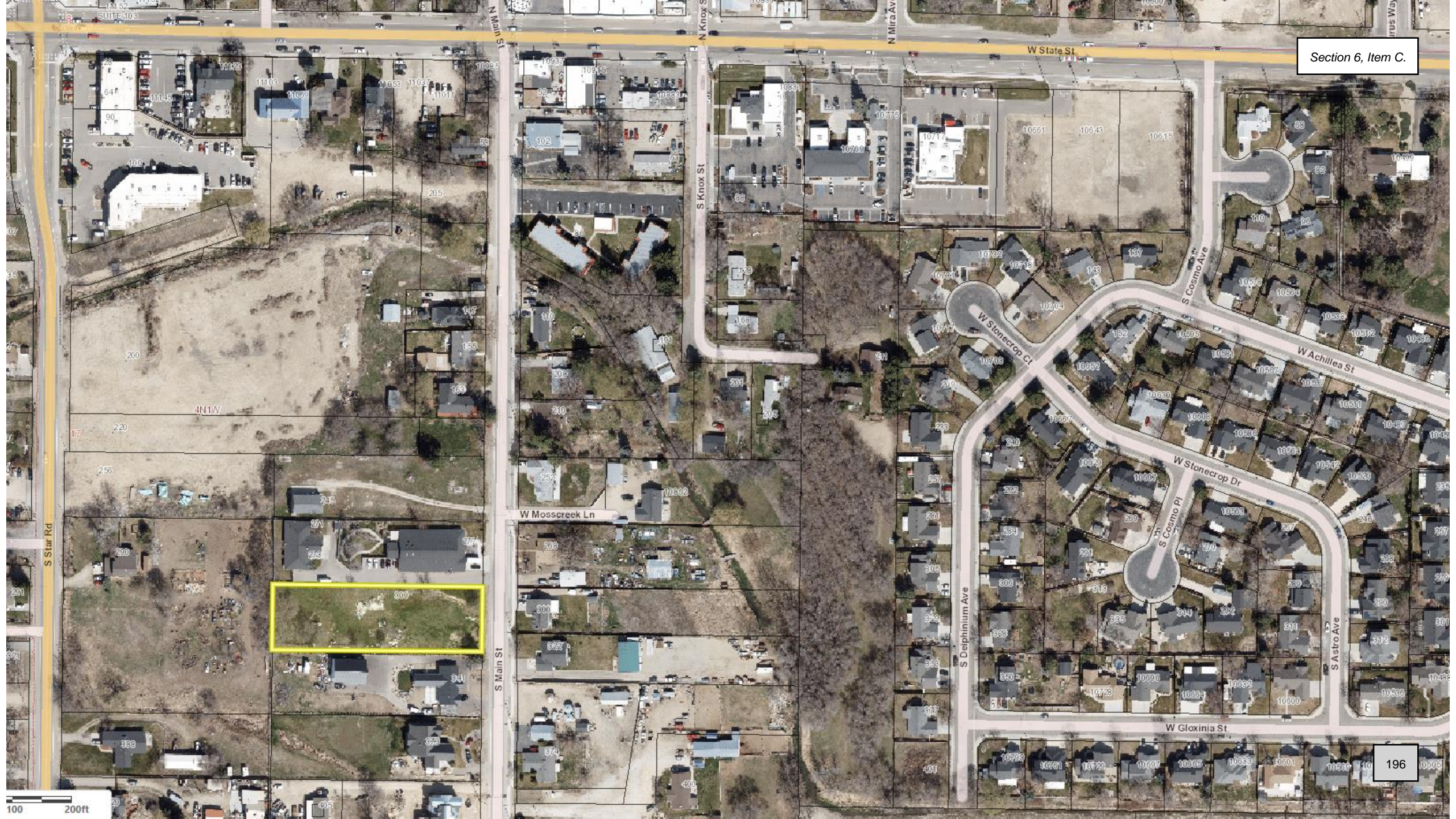
The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit being issued.**
3. **A Certificate of Zoning Compliance will be required prior to the start of construction.**
4. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
5. **The Applicant shall receive approval from the Flood Plain Administrator and complete the necessary paperwork for building in a special flood hazard area prior to issuing the building permit.**
6. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
7. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
8. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
9. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
10. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.
11. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
12. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
13. Any additional Condition of Approval as required by Staff and City Council.
14. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number RZ-23-02, DA-23-03, CU-23-04, for Red Barn Inn on _____, 2023.



Section 6, Item C.



DATE: April 3, 2023
TO: City of Star Planning and Zoning
FROM: Terry King - Landscape Architect LA-265
RE: Red Barn Inn CUP and Rezone Application
309 S. Main St.

We are submitting a Conditional Use Permit for a twelve room Inn. The property is currently zoned R-4, the comprehensive plan proposed zoning is slated for Central Business District. We are including a rezone application with this submittal. We have included architectural and landscape architectural drawings as well as a topographic survey of the property. Our project style is mountain modern and our landscape design follows that theme.

The project is within the Zone AE Floodplain and our grading plan shows the building two feet above the BFE. We have included the FEMA Firm information within our application and TJ Wellard has given us the BFE elevation at the east property line of the project from which we calculated our worst case BFE elevation.

We feel the project is a great addition to the City of Star. We have met with City staff through the planning process and greatly appreciate their support with this project.

Thank you,

Terry King



ANNEXATION & ZONING - REZONE APPLICATION

***All information must be filled out to be processed.

FILE NO.: RZ-23-02
Date Application Received: 04/03/2023 Fee Paid: \$2190.00
Processed by: City: Barbara Norgrove

Applicant Information:

PRIMARY CONTACT IS: Applicant ☐ Owner ☐ Representative ☐

Applicant Name: Jon and DiAnn Lei
Applicant Address: 341 S. Main St. Zip: 83669
Phone: 208.703.2883 Email: jdlei1995@gmail.com

Owner Name: same as above
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
Contact: Terry King Firm Name: TTKLA PLLC
Address: 6122 S. Moonfire Way Zip: 83709
Phone: 208.869.3820 Email: terry@ttkla.com

Property Information:

Site Address: 309 S. Main St. Parcel Number: R1842701715
Total Acreage of Site: 0.929 acres
Total Acreage of Site in Special Flood Hazard Area: .929 acres
Proposed Zoning Designation of Site: _____

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-4	Central Business District	
Proposed	Central Business District	Central Business District	
North of site	R-4	Central Business District	
South of site	R-4	Central Business District	
East of site	R-4	Central Business District	
West of site	R-4	Central Business District	

Special On-Site Features (Yes or No – If yes explain):

Areas of Critical Environmental Concern - _____

Evidence of Erosion - _____

Fish Habitat - _____

Floodplain - Yes, Zone AE Floodplain _____

Mature Trees - _____

Riparian Vegetation - _____

Steep Slopes - _____

Stream/Creek - _____

Unique Animal Life - _____

Unique Plant Life - _____

Unstable Soils - _____

Wildlife Habitat - _____

Historical Assets - _____

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
	Completed and signed Annexation & Zoning/Rezone Application	
	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Narrative fully describing the proposed project (must be signed by applicant)	
	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> • Include a metes & bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet. • Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h. • If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map. • Submit word.doc and pdf version with engineer's seal. 	
	Recorded warranty deed for the subject property	

	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
	One (1) full-size 24" X 36" copy and one (1) 11" X 17" copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, please submit conceptual development plan for the property.	
	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	
	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	Two (2) copies of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site plans) on two (2) thumb drives only (no discs)</u> with the files named with project name and plan type.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
	*Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: _____	
	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits. Please contact SSWD for details.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Applicant/Representative Signature

Date



CONDITIONAL USE PERMIT APPLICATION

***All applicable information must be filled out to be processed.

FILE NO.: **CU-23-04**
Date Application Received: **04/03/2023** Fee Paid: **\$1660.00**
Processed by: City: **Barbara Norgrove**

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Jon and DiAnn Lei
Applicant Address: 341 S. Main St. Zip: 83669
Phone: 208.703.2883 Email: jdlei1995@gmail.com

Owner Name: same as above
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):

Contact: Terry King Firm Name: TTKLA PLLC
Address: 6122 S. Moonfire Way Zip: 83709
Phone: 208.869.3820 Email: terry@ttkla.com

Property Information:

Site Address: 309 S. Main St. Parcel Number: R1842701715
Requested Condition(s) for Conditional Use: To build a 12 Room Inn on the property.

	Zoning Designation	Comp Plan Designation
Existing	R-4	Central Business District
Proposed	Central Business District	
North of site	R-4	Central Business District
South of site	R-4	Central Business District
East of site	R-4	Central Business District
West of site	R-4	Central Business District

Site Data:

Total Acreage of Site: .929 acres

Proposed Percentage of Site Devoted to Bldg Coverage: 5,561 sf - 18.02%

Proposed Percentage of Site Devoted to Landscaping: 7,078 sf - 22.94%

Number of Parking spaces: Proposed 20 Required _____

Requested Front Setback: 20' Requested Rear Setback: 20'

Requested Side Setback: 10' Requested Side Setback: 10'

Requested Side Setback: _____

Existing Site Characteristics: _____

Number and Uses of Proposed Buildings: _____

Location of Buildings: Center of site

Gross Floor Area of Proposed Buildings: _____

Describe Proposed On and Off-Site Traffic Circulation: _____

Proposed Signs – number, type, location: 1 Sign, Entry, center along east property line
(include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):

Potable Water - _____

Irrigation Water - _____

Sanitary Sewer - _____

Schools - _____

Fire Protection - _____

Roads - _____

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Lot 48 Dicksons Sub #1715-B Phase: _____

Special Flood Hazard Area: total acreage .929 acres number of homes/structures

1

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0130J
FIRM effective date(s): mm/dd/year 06/19/2020
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone AE
Base Flood Elevation(s): AE _____.0 ft., etc.: BFE 2471.12 calculated from survey
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
	Completed and signed Conditional Use Application	
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	
	Legal description of the property (word.doc and electronic version with engineer's seal):	
	Copy of recorded warranty deed.	
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	• Open/common spaces	
	• Refuse and service areas	
	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
	• Proposed screening structures	
	• Design drawings(s) of all fencing proposed	
	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➤ Number of street trees and lineal feet of street frontage ➤ Width of street buffers (exclusive of right-of-way) ➤ Width of parking lot perimeter landscape strip ➤ Buffer width between different land uses ➤ Number of parking stalls and percent of parking area with internal landscaping ➤ Total number of trees and tree species mix ➤ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

CERTIFICATE OF CITY ENGINEER
I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, DO HEREBY APPROVE THIS LOT SPLIT.

CITY ENGINEER STAR, IDAHO _____ DATE _____

CERTIFICATE OF CITY CLERK
I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, DO HEREBY APPROVE THIS LOT SPLIT.

CITY CLERK STAR, IDAHO _____ DATE _____

RECORD OF SURVEY

LOTS 47 AND 48, BLOCK 1 OF DICKSON'S SUBDIVISION,
LYING IN THE NW 1/4 NW 1/4 OF SECTION 17,
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,
ADA COUNTY, IDAHO

CERTIFICATE OF OWNER

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE SUBJECT PROPERTY, HEREBY APPROVE OF THIS LOT SPLIT.

Lei Family Living Trust, By Jonathan Lei, Trustee _____ DATE _____

ACKNOWLEDGMENT

STATE OF IDAHO)
COUNTY OF ADA)

On this _____ day of _____, in the year of 20____, before me, the undersigned, a notary public, personally appeared Jonathan Lei, known or identified to me to be the Trustee of the Lei Family Living Trust that executed the instrument or the person who executed the instrument on behalf of said Trust and acknowledged to me that such Trust executed the same.

NOTARY PUBLIC FOR IDAHO _____

RECORD OF SURVEY NO.

COUNTY RECORDER'S CERTIFICATE

INSTRUMENT NUMBER: _____ FEE _____
STATE OF IDAHO } S.S.
COUNTY OF ADA }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS
FILED AT THE REQUEST OF SKINNER LAND SURVEY
AT _____ MINUTES PAST _____ O'CLOCK _____ M. THIS
_____ DAY OF _____, 2023.
EX-OFFICIO RECORDER _____ DEPUTY _____



Reference Surveys:
Inst. No. 100029433, ROS No. 4952
Inst. No. 2020151392, ROS No. 12584
Inst. No. 99057785, ROS No. 4649
Inst. No. 2021170284, ROS No. 13163
Inst. No. 97096367, ROS No. 4066
Inst. No. 94026291, ROS No. 2807
Inst. No. 95024491, ROS No. 3174
Inst. No. 113098241, ROS No. 9532
Inst. No. 108038809, ROS No. 8258
Dickson's Subdivision
Book 3, Page 133

Reference Deed:
Inst. No. 2021168333
Inst. No. 2021110106

0' 40' 80'

Scale: 1" = 40'

LEGEND

- 5/8" REBAR - FOUND
- 1/2" REBAR - FOUND
- 1/2" x 24" REBAR - SET
- CALCULATED POINT
- PROPERTY BOUNDARY LINE
- ORIGINAL PLATTED LOT LINE
- ROAD CENTERLINE
- FENCE LINE
- W.C. WITNESS CORNER

Surveyor's Narrative:

This survey was performed at the request of the Lei Family Living Trust to the divide the lots described in the reference deeds. The property is currently zoned R-1 by the City of Star. Existing lot corners were located and held as shown. Platted distances were proportioned with shot distances. This resulted in lots that closely matched original sizes. The lots were then divided at the clients direction. The basis of bearing for this survey was established by GNSS observations, projected to the Idaho State Plane Coordinate system, West Zone, NAD83 datum. All bearings shown are on grid azimuth and all distances are ground at project elevation.

CERTIFICATION

I, Thomas J. Wellard, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this map has been prepared from an actual survey made on the ground under my direct supervision, that this map is an accurate representation of said survey, and that it is in conformity with the Corner Perpetuation Act, Idaho Code 55-1601 through 55-1612.



INDEX No. 414-17-4-4-0-03-133

SURVEY FOR:

JONATHAN & DIANN LEI

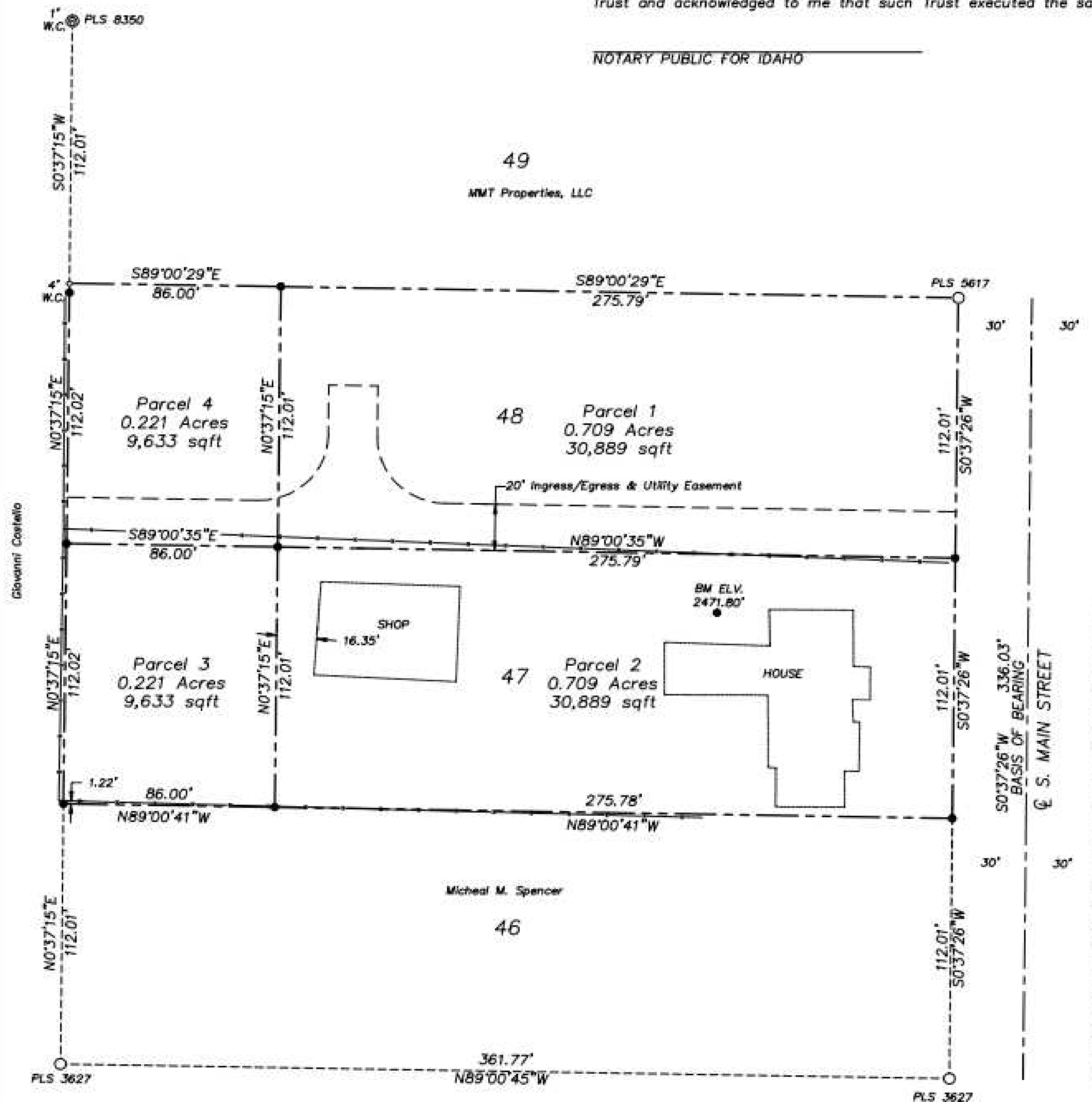
Drawn By: ZCL

Date: Dec. 9, 2022

Surveyed By: ZCL

Job No. NVD422

Skinner
Land Survey
17842 Sand Hollow Road
Caldwell, Idaho 83007
(208)-454-0933
WWW.SKINNERLANDSURVEY.COM
surveys@skinnerlandsurvey.com



Red Barn
341 South Main Street
Star ID 83669

CLIENT
DiAnn Lei
341 South Main Street
Star ID 83669

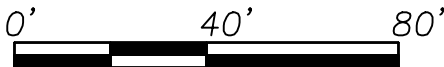
PROJECT
Red Barn
PROJECT NO.
245,170

ISSUE
MM/DD/YY
DRAWN BY
JL

205

TOPOGRAPHIC SITE SURVEY

LOTS 47 AND 48, BLOCK 1 OF DICKSON'S SUBDIVISION,
LYING IN THE NW 1/4 NW 1/4 OF SECTION 17,
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,
ADA COUNTY, IDAHO



Scale: 1" = 40'

LEGEND

- ⊙ 5/8" REBAR - FOUND
- 1/2" REBAR - FOUND
- 1/2" x 24" REBAR - SET
- CALCULATED POINT
- — — — — PROPERTY BOUNDARY LINE
- - - - - ORIGINAL PLATTED LOT LINE
- — — — — ROAD CENTERLINE
- x - x - x - FENCE LINE
- EDGE OF PAVEMENT
- - - - - CENTERLINE DITCH
- TOP OF BANK
- { Power } — OVERHEAD POWER
- { Water } — WATER LINE
- { Sewer } — SEWER LINE
- { W } — 12" DIAMETER IRRIGATION CULVERT
- W.C. WITNESS CORNER
- CONCRETE IRRIGATION BOX

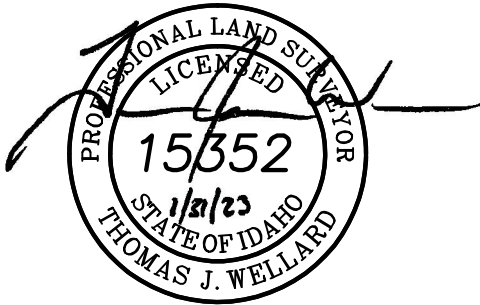
BASE FLOOD ELEVATION NOTE:
The base flood elevation rises in a consistent manner from West to East, ascending from 2670.6' at the western end of the property to 2671.3' at the eastern end.

Surveyor's Narrative:
This survey was performed at the request of the Lei Family Living Trust to the divide the lots described in the reference deeds. The property is currently zoned R-1 by the City of Star. Existing lot corners were located and held as shown. Platted distances were proportioned with shot distances. This resulted in lots that closely matched original sizes. The lots were then divided at the clients direction. The basis of bearing for this survey was established by GNSS observations, projected to the Idaho State Plane Coordinate system, West Zone, NAD83(2011)(Epoch2010.0) datum and elevations are NAVD88(Geoid18). All bearings shown are on grid azimuth and all distances are ground at project elevation.

Reference Surveys:
Inst. No. 100029433, ROS No. 4952
Inst. No. 2020151392, ROS No. 12584
Inst. No. 99057785, ROS No. 4649
Inst. No. 2021170284, ROS No. 13163
Inst. No. 97096367, ROS No. 4066
Inst. No. 94026291, ROS No. 2807
Inst. No. 95024491, ROS No. 3174
Inst. No. 113098241, ROS No. 9532
Inst. No. 108038809, ROS No. 8258

Dickson's Subdivision
Book 3, Page 133

Reference Deed:
Inst. No. 2021168333
Inst. No. 2021110106



INDEX No. 414-17-4-4-0-03-133

SURVEY FOR:
JONATHAN & DIANN LEI

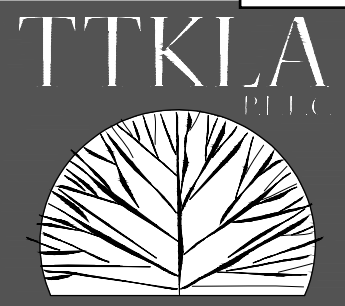
Drawn By: ZCL

Date: Jan. 31, 2023

Surveyed By: ZCL

Job No. JA0323

**Skinner
Land Survey**
17842 Sand Hollow Road
Caldwell, Idaho 83607
(208)-454-0933
WWW.SKINNERLANDSURVEY.COM
surveys@skinnerlandsurvey.com



Terry T. King
Landscape Architecture
6122 S. Moonfire Way
Boise ID 83709
(208) 869-3820 Boise
(208) 720-3730 Ketchum
terry@ttkla.com
www.ttkla.com

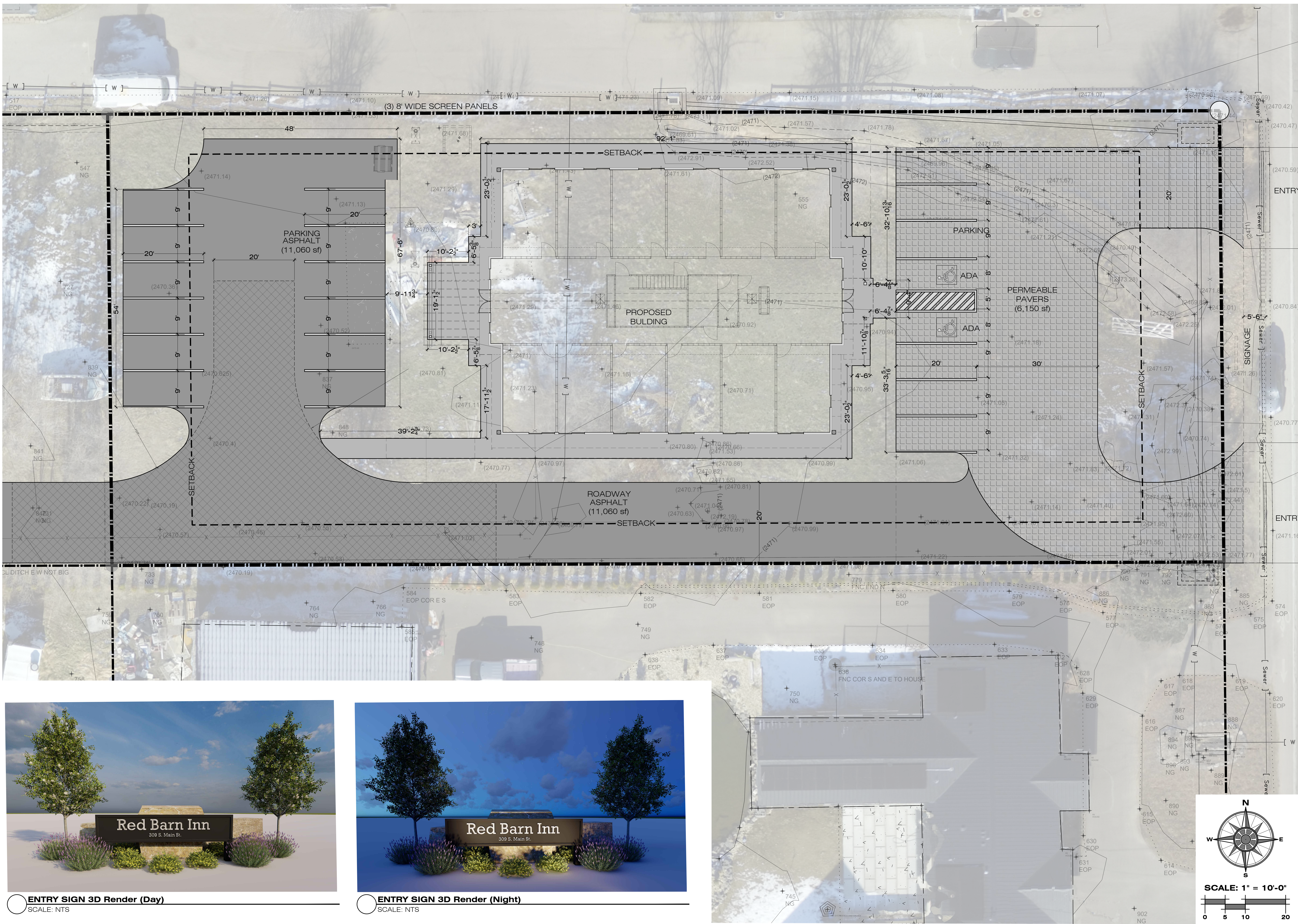


SITE PLAN

Red Barn Inn
309 S. Main Street
Lot 48, BLK 1 Dickson's Subdivision
Star • Idaho • 83669

drawn by:
checked by:
date: Mar. 29, 2023
revisions:

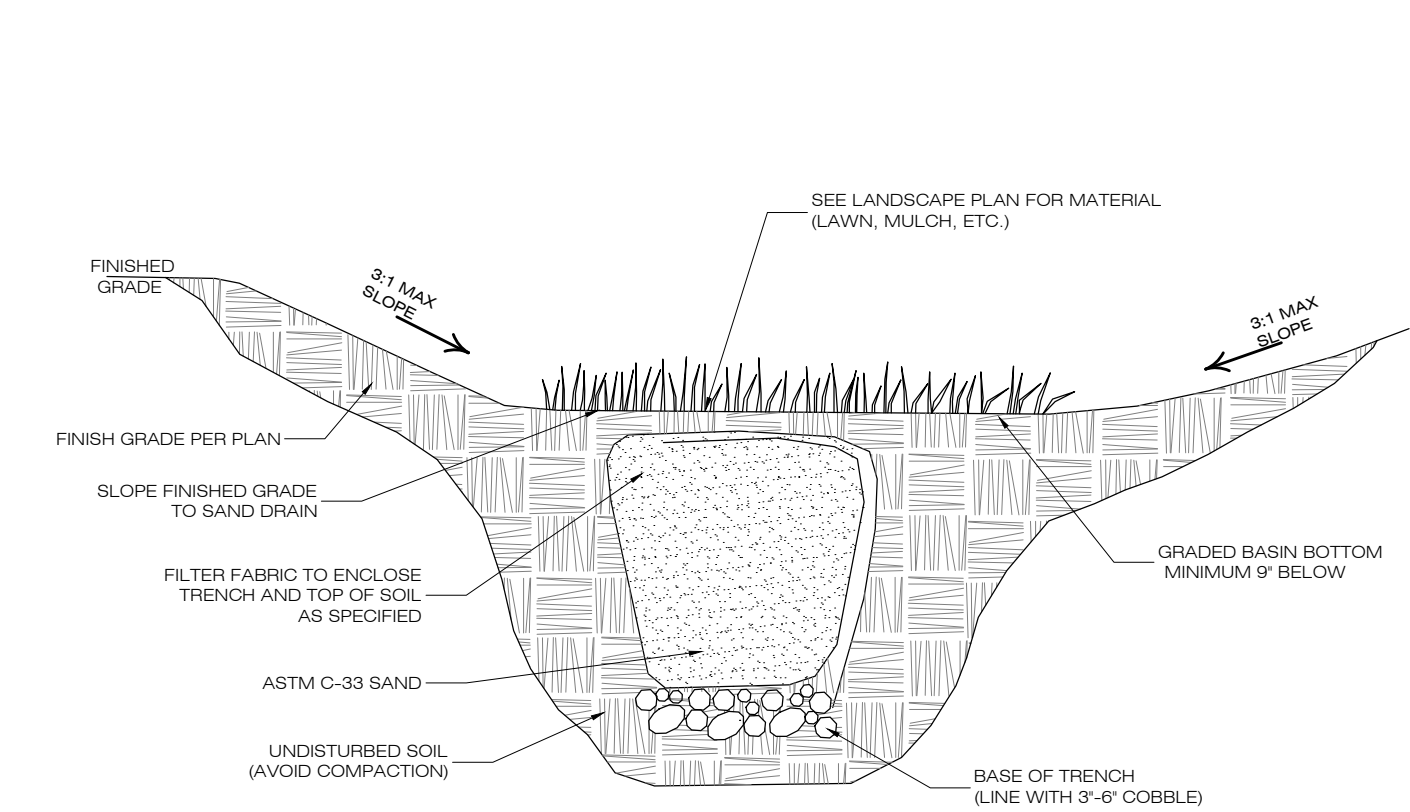
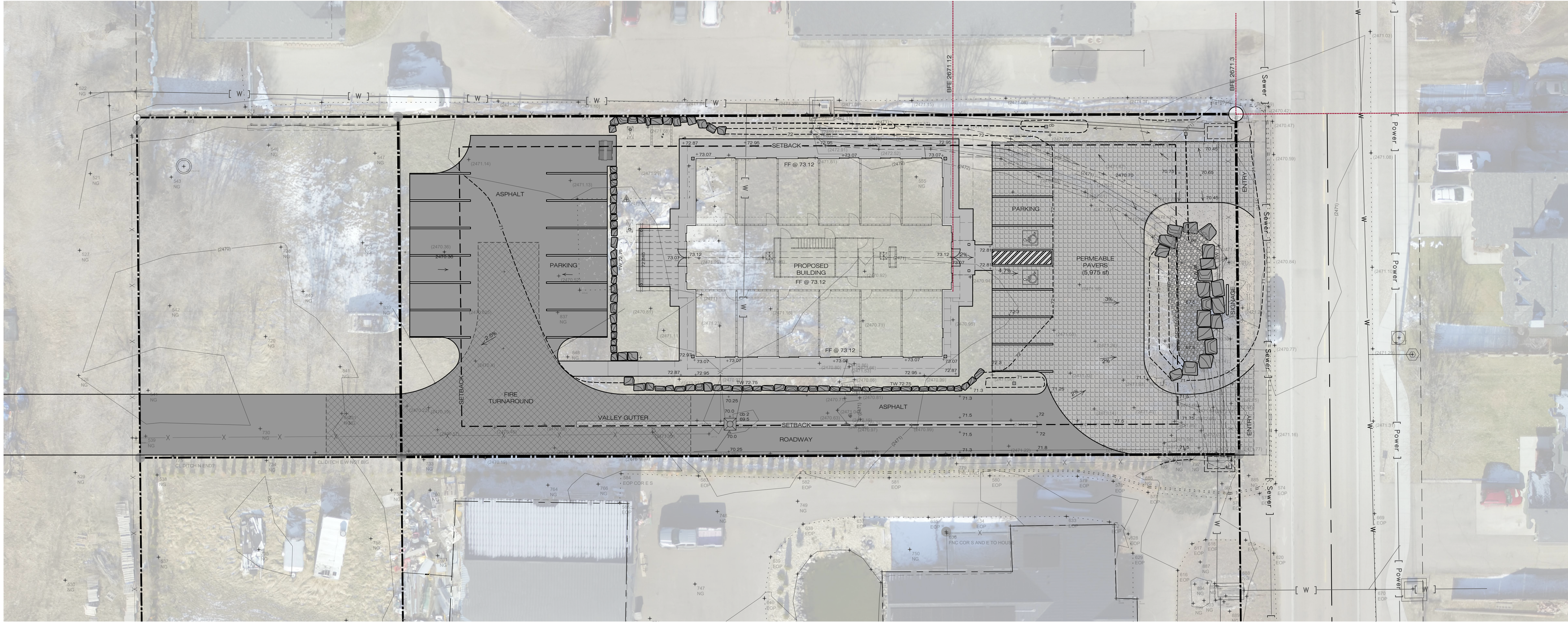
L-1.0
SHEET



ENTRY SIGN 3D Render (Day)
SCALE: NTS



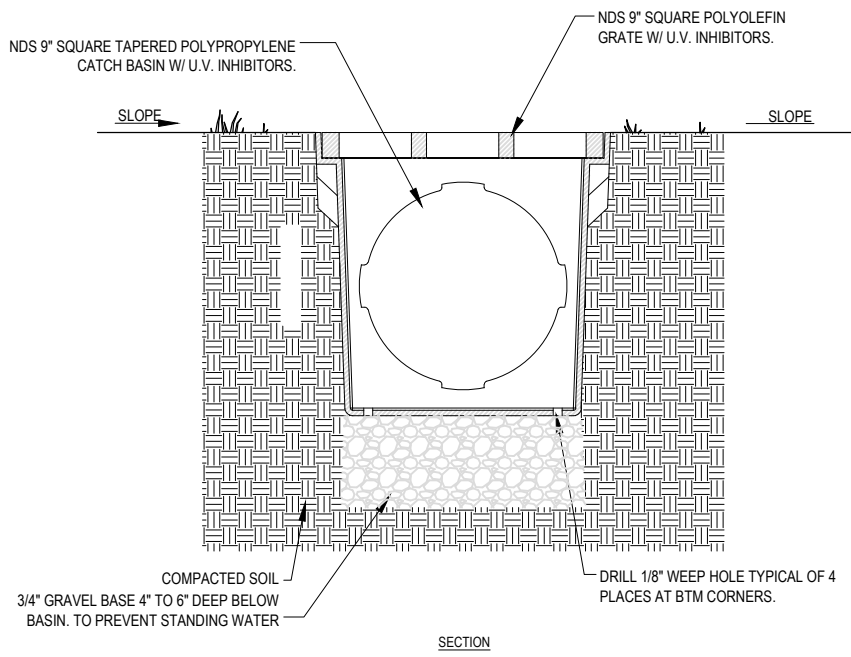
ENTRY SIGN 3D Render (Night)
SCALE: NTS



DRAINAGE SWALE DETAIL
SCALE: $\frac{1}{2}$ " = 1'-0"

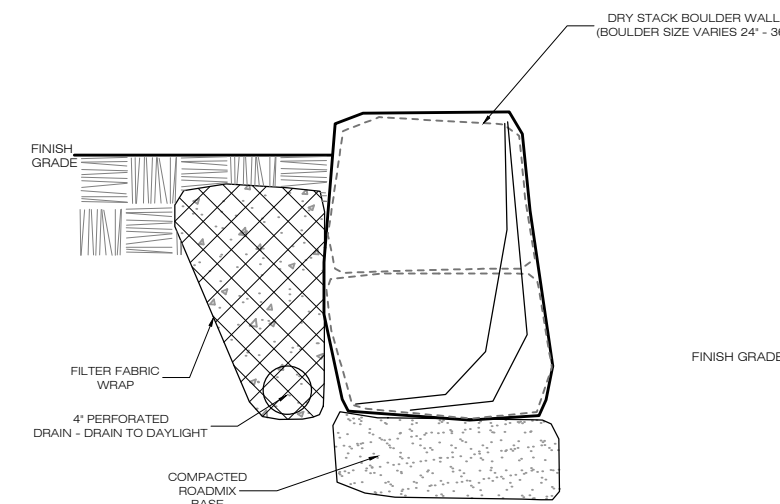
GRADING AND DRAINAGE NOTES:

1. ALL SITE INFORMATION IS APPROXIMATE ONLY. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
2. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNIFORM GREEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
3. SUBGRADE SHALL BE INSPECTED BY THE PROJECT ENGINEER RESPONSIBLE FOR THE GEOTECHNICAL ASPECTS OF THE PROJECT PRIOR TO INSTALLATION OF THE FOOTINGS OR SLABS.
4. FINAL GRADING SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT. PRIOR TO OCCUPANCY, THE LANDSCAPE ARCHITECT SHALL EVALUATE ALL GRADING ACTIVITIES FOR COMPLIANCE WITH APPROVED PLANS. A SUMMARY OF THIS GRADING EVALUATION AND COMPLIANCE DETERMINATION SHALL BE SENT TO THE PSDS. ANY REVISIONS OF THE APPROVED GRADING PLAN MUST BE APPROVED BY BOTH THE LANDSCAPE ARCHITECT AND THE PSDS. IF THE GRADING DIFFERS FROM WHAT WAS ORIGINALLY APPROVES, A REVISED GRADING PLAN SHALL BE SUBMITTED AND APPROVES BEFORE ANY MODIFIED GRADING IS UNDERTAKEN.
5. ALL SITE DRAINAGE WILL BE DIRECTED AWAY FROM THE FOUNDATION INTO DRAINAGE SWALES OR SUBSURFACE FRENCH DRAINS. ALL DRAINAGE TO DAYLIGHT. SEE PLAN FOR LOCATIONS.
6. DRAINAGE TRENCHES ARE NOT DEEPER THAN THEIR LONGEST SURFACE DIMENSION.
7. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
8. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
9. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.

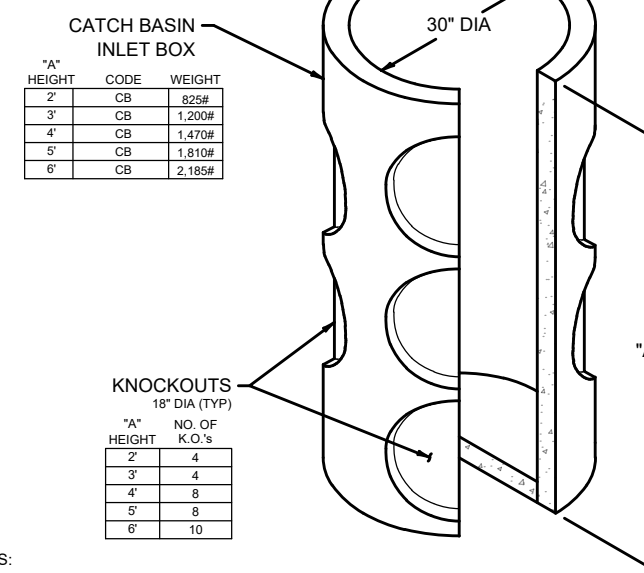
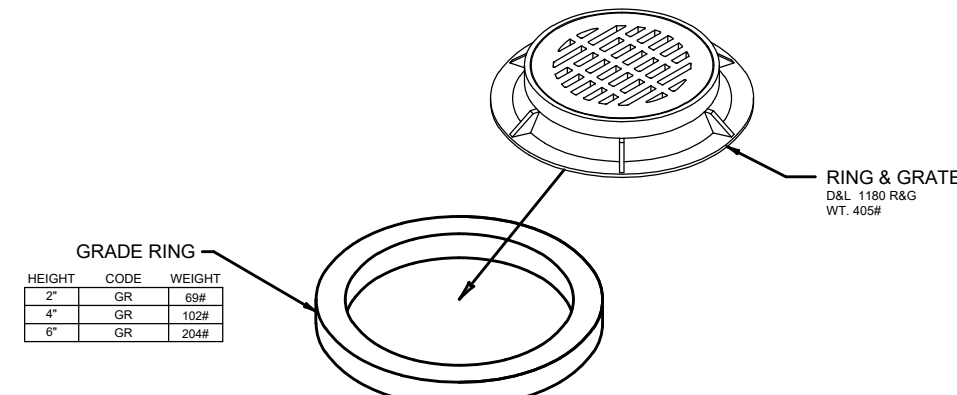


- NOTES:
1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
 2. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
 3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. DO NOT SCALE DRAWING.
 5. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 6. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

NDS SQUARE CATCH BASIN
SCALE: $\frac{1}{2}$ " = 1'-0"



BOULDER WALL DETAIL
SCALE: $\frac{1}{2}$ " = 1'-0"

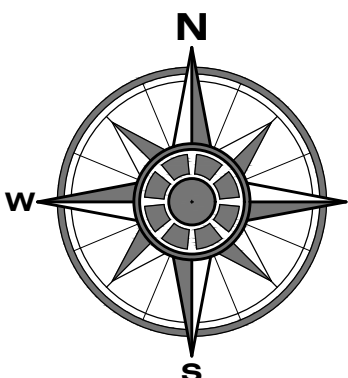


- NOTES:
1. AVAILABLE WITH OR WITHOUT FLOOR.
 2. FOR OPTIONAL ACCESSORIES CHECK FOLLOWING PAGES (B113 & B133).
 3. FOR OPTIONAL ACCESSORIES CHECK ACCESSORIES / HARDWARE SECTION.

AMCOR CATCH BASIN
SCALE: $\frac{3}{8}$ " = 1'-0"

GRADING LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- SPOT ELEVATIONS - FINISH GRADE
- EXISTING SPOT ELEVATION
- G.S. 37 GARAGE SLAB ELEVATION
- CATCH BASIN #1
- CATCH BASIN #2
- SOLID DRAINLINE
- TW 50 TOP OF WALL ELEVATION
- BW 45 BOTTOM OF WALL ELEVATION
- TWE 45 TOP OF EXISTING WALL
- DIRECTION OF DRAINAGE
- PERCENTAGE SLOPE
- PERFORATED DRAINLINE
- BOULDER RETAINING WALL (SEE DETAIL THIS SHEET)
- DOWNSPOUT DRAIN
- LIMIT OF DISTURBANCE
- SILT FENCE



SCALE: 1/16" = 1'-0"

0 8 16 32

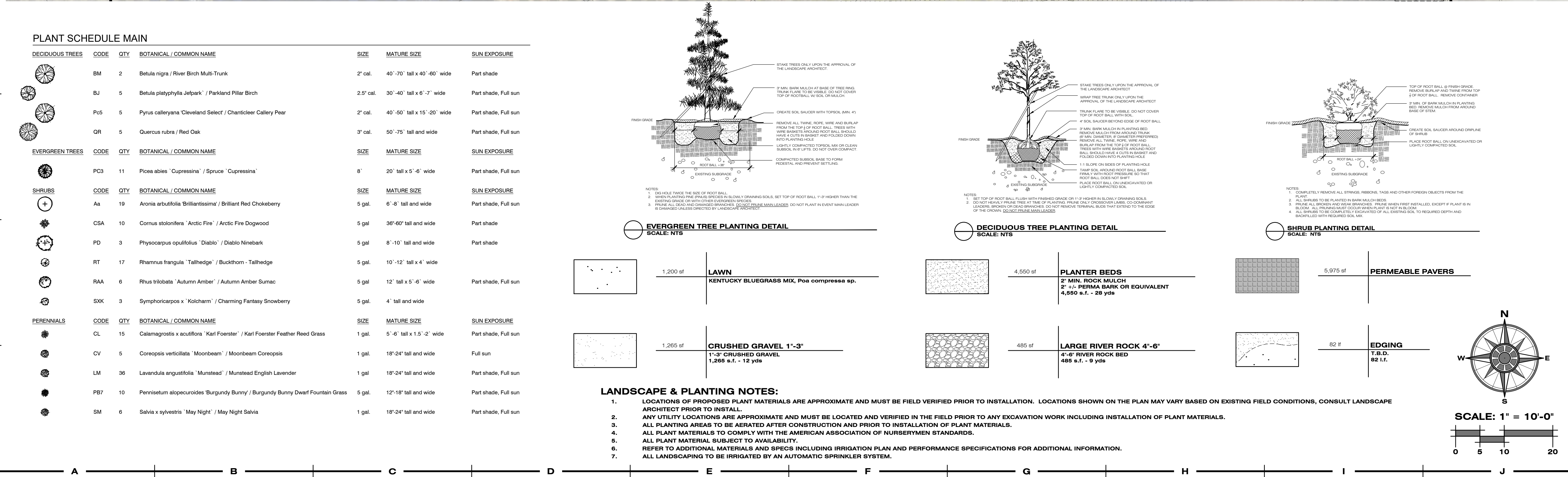


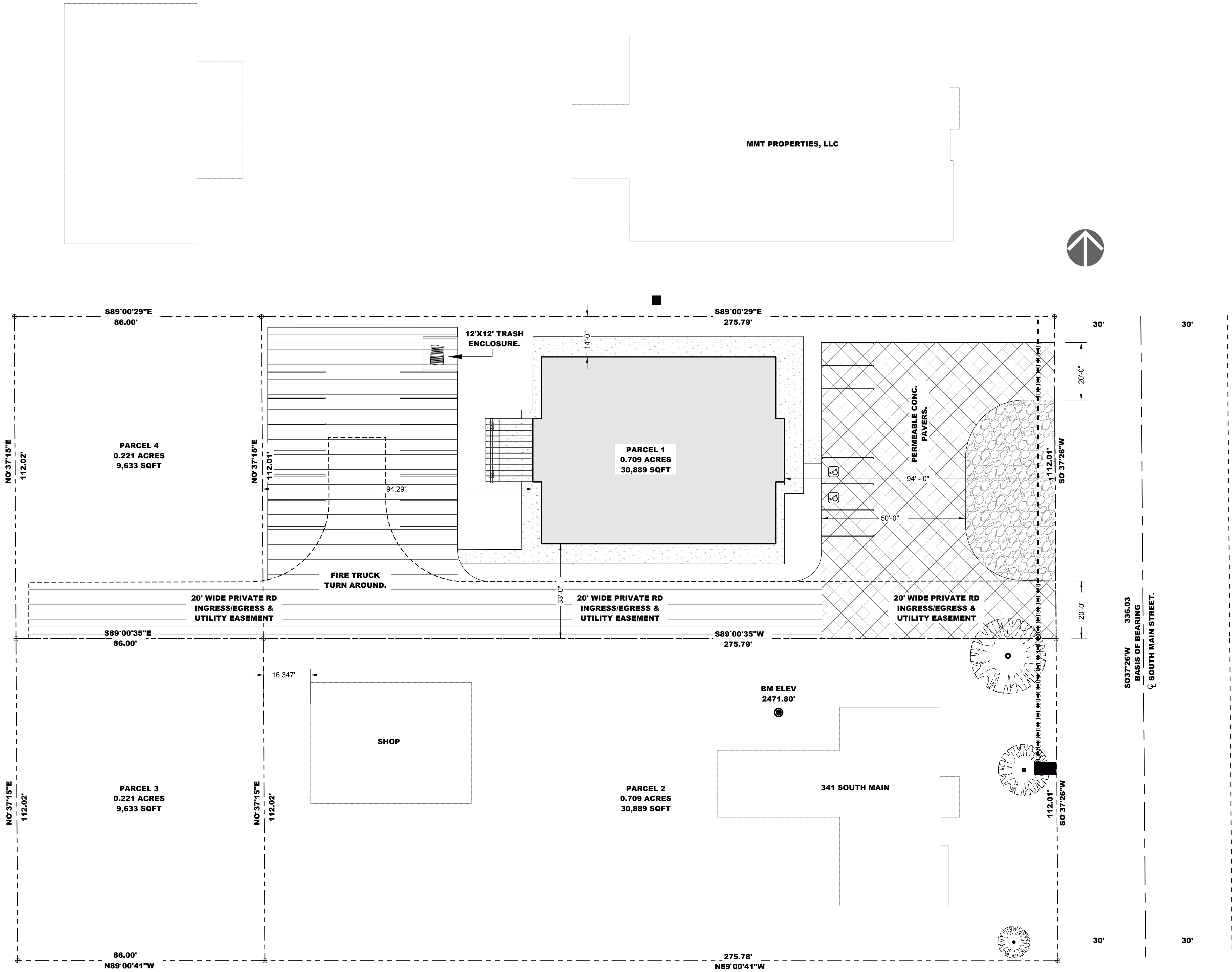
Grading Plan

Red Barn Inn

309 S. Main Street
Lot 48, BLK 1 Dickson's Subdivision
Star • Idaho • 83669

drawn by: mo
checked by: tk
date: Mar. 31, 2023
revision:





A SITE PLAN
A01 Scale: <Scale>

Red Barn
341 South Main Street
Star ID 83669

CLIENT
DAnn Lei
341 South Main Street
Star ID 83669

PROJECT
Red Barn
PROJECT NO.
245,170

ISSUE
MM.DD.YY
DRAWN BY
JL

SITE PLAN



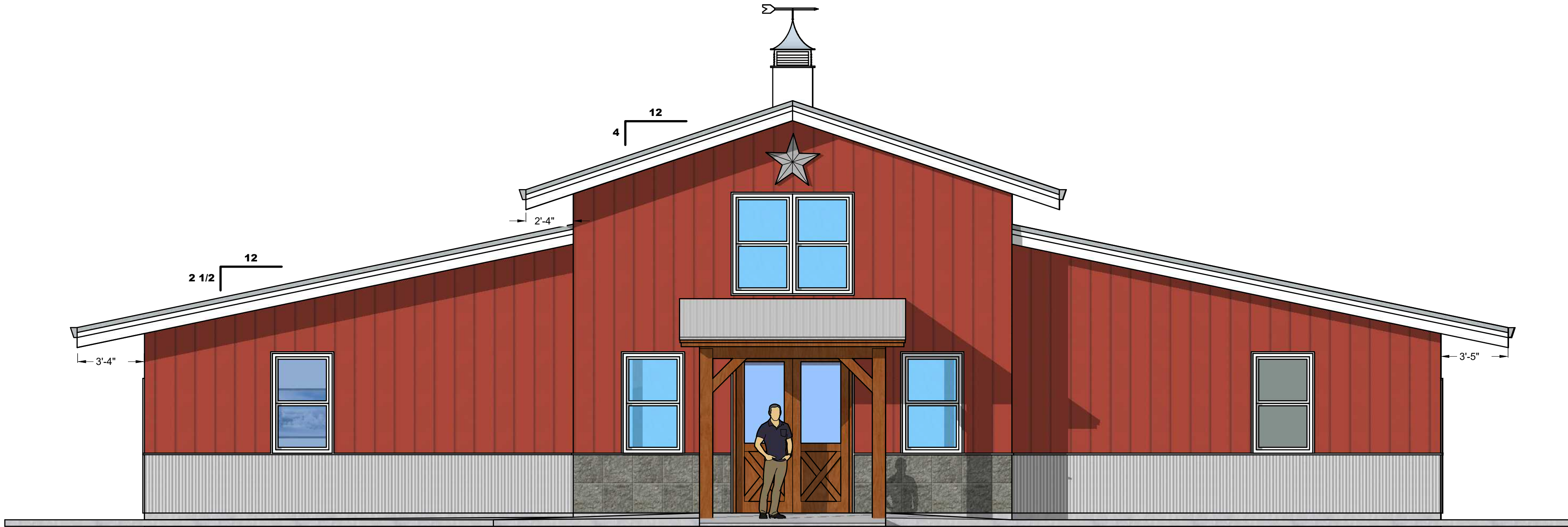
Red Barn
341 South Main Street
Star ID 83669

CLIENT
D/Ann Lei
341 South Main Street
Star ID 83669

PROJECT
Red Barn
PROJECT NO.
245,170

ISSUE
MM.DD.YY
DRAWN BY
JL

FLUOR FLAIN



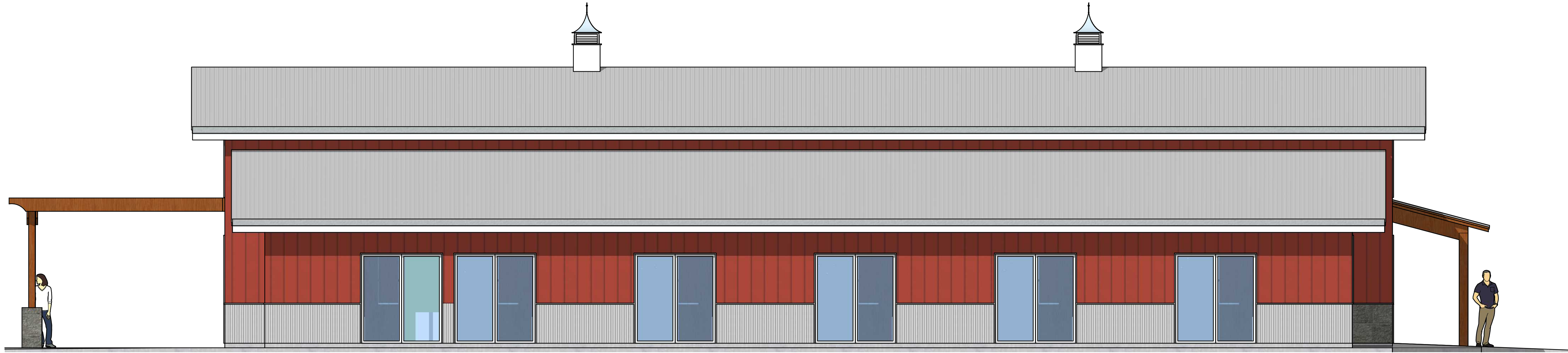
Red Barn
341 South Main Street
Star ID 83669

CLIENT
D/Ann Lei
341 South Main Street
Star ID 83669

PROJECT
Red Barn
PROJECT NO.
245,170

ISSUE
MM.DD.YY
DRAWN BY
JL

CRUINI & NEAN
ELEVATION



Red Barn
341 South Main Street
Star ID 83669

CLIENT
D/Ann Lei
341 South Main Street
Star ID 83669

PROJECT
Red Barn
PROJECT NO.
245,170

ISSUE
MM.DD.YY
DRAWN BY
JL

LEI & NIGHI
ELEVATION



Ada County Transmittal
Division of Community and Environmental Health

Section 6, Item C.

Rezone/OTD # RZ-23-02/DA-23-03
Conditional/Accessory Use # CU-23-04
Preliminary / Final / Short Plat _____
Development Name/Section City of Star CDH File # _____

- ☐ ACZ
☐ Boise
☐ Eagle
☐ Garden City
☐ Meridian
☐ Kuna
☒ Star

- ☐ 1. We have No Objections to this Proposal.
- ☐ 2. We recommend Denial of this Proposal.
- ☐ 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- ☐ 4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
☐ high seasonal ground water ☐ waste flow characteristics
☐ bedrock from original grade ☐ other _____
- ☐ 5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- ☐ 6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
☐ central sewage ☐ community sewage system ☐ community water well
☐ interim sewage ☐ central water
☐ individual sewage ☐ individual water
- ☐ 7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
☐ central sewage ☐ community sewage system ☐ community water
☐ sewage dry lines ☐ central water
- ☐ 8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
- ☐ 9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- ☐ 10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
- ☐ 11. Land development application, fee per lot, test holes and full engineering report is required.
- ☐ 12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
- ☒ 13. We will require plans be submitted for a plan review for any:
☒ food establishment ☐ swimming pools or spas ☐ child care center
☐ beverage establishment ☐ grocery store
- ☐ 14. _____

Reviewed By: Rowan

Date: 4/13/23

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

April 7, 2023

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Red Barn Inn - Rezone Application, Development Agreement, Conditional Use Permit

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:

<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK



Project/File: **Red Barn Inn/ STAR23-0006/ RZ-23-02/ DA-23-03/ CU-23-04**
 This is an annexation and rezone with a development agreement with the City of Star and a conditional use application to construct The Red Barn Inn on 0.929 acres.

Lead Agency: City of Star

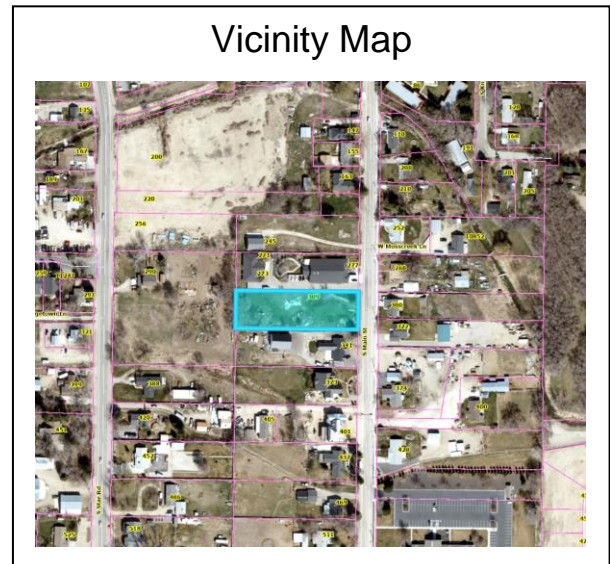
Site address: 309 S Main Street

Staff Approval: April 20, 2023

Applicant: Jon and DiAnn Lei
 341 S Main Street
 Star, ID 83669

Representative: Terry King
 Terry T King Landscape Architecture
 6122 S Moonfire Way
 Meridian, ID 83709

Staff Contact: Renata Ball-Hamilton
 Phone: 387-6171
 E-mail: rball@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting approval of an annexation and rezone from R4 (Estate Urban Residential) to CBD (Central Business District) zoning designation, and a development agreement with the City of Star with a conditional use permit to build The Red Barn Inn, a 5,561 Square foot, 12 room motel (including a guest lobby, buffet kitchen, large dining room and outdoor patio with seating under a wooden pergola) on 0.929 acres.

The applicant's proposal is consistent with the City of Star's comprehensive plan which designates this area as the Central Business District.

- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Central Business District & Estate Urban Residential	CBD & R-4
South	Estate Urban Residential	R-4
East	Estate Urban Residential	R-4
West	Low Density Residential	R-1

- Site History:** ACHD has not previously reviewed this site for a development application.
- Transit:** Transit services are not available to serve this site.

5. **New Center Lane Miles:** The proposed development includes 0.0 centerline miles of new public road.
6. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
There are no roadways, bridges, or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).
8. **Roadways to Bikeways Master Plan:** ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies Main Street as an existing Level 2 facility.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 96 additional vehicle trips per day; 7 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

2. **Condition of Area Roadways**

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Main Street	113-feet	Local	27	N/A

3. **Average Daily Traffic Count (VDT)**

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Main Street north of Moss creek Lane was 633 on April 20, 2022.

C. Findings for Consideration

1. Main Street

- a. **Existing Conditions:** Main Street is improved with 2-travel lanes, 33-feet of pavement, and no curb, gutter or sidewalk abutting the site. There is 60-feet of right-of-way for Main Street (30-feet from centerline).

b. **Policy:**

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter, and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features

required through development. This segment of Main Street is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 50 to 70-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to improve Main Street with the construction of curb, gutter, and 7-foot wide attached concrete sidewalk on Main Street abutting the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved as proposed. The applicant should be required to complete Main Street as a 36-foot wide collector street section with vertical curb, gutter, and 7-foot wide attached concrete sidewalk abutting the site.

The applicant should provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

2. Driveways

2.1 Main Street

- a. **Existing Conditions:** There is an existing 11-foot wide unpaved gated driveway from the site onto Main Street located 1,013-feet south of State Highway 44/ State Street.

- b. **Policy:**

Access Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

District Policy 7206.1 states that the primary function of a collector is to intercept traffic from the local street system and carry that traffic to the nearest arterial. A secondary function is to service adjacent property. Access will be limited or controlled. Collectors may also be designated at bicycle and bus routes.

Driveway Location Policy (Signalized Intersection): District policy 7206.4.3 requires driveways located on collector roadways near a signalized intersection to be located outside the area of influence; OR a minimum of 440-feet from the signalized intersection for a full-access driveway and a minimum of 220-feet from the signalized intersection for a right-in/right-out only driveway. Dimensions shall be measured from the centerline of the intersection to the centerline of the driveway.

Driveway Location Policy (Stop Controlled Intersection): District policy 7206.4.4 requires driveways located on collector roadways near a STOP controlled intersection to be located outside of the area of influence; OR a minimum of 150-feet from the intersection, whichever is greater. Dimensions shall be measured from the centerline of the intersection to the centerline of the driveway.

Successive Driveways: District policy 7206.4.5 Table 1, requires driveways located on collector roadways with a speed limit of 20 MPH and daily traffic volumes greater than 100 VTD to align or offset a minimum of 150-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7206.4.6 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7206.4.6, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7206.4.6.

- c. **Applicant's Proposal:** The applicant is proposing to close the 11-foot wide unpaved gated driveway from the site onto Main Street located 1,013-feet south of State Highway 44/ State Street with vertical curb, gutter, and 7-foot wide concrete sidewalk.

The applicant is proposing to construct two 20-foot wide curb-cut type driveways onto Main Street with an extended concrete apron from the proposed 7-foot sidewalk to the property line. The driveways are proposed to be located approximately 966-feet south of State Highway 44/ State Street and 1,071-feet south of State Highway 44/ State Street (measured centerline to centerline). The driveways are proposed to create a "U" shaped driveway.

The applicant is proposing permeable pavers within the driveways, located outside of the right-of-way.

- d. **Staff Comments/Recommendations:** The applicant's proposals and permeable pavers within the driveways, located outside of the right-of-way.

The location and width of the proposed driveways are approved as proposed. The driveways should be constructed as curb return type driveways. Pavers are not allowed within ACHD right-of-way.

3. **Tree Planters**

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

4. **Landscaping**

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

5. **Other Access**

Main Street is classified as a collector roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway.

D. Site Specific Conditions of Approval

1. Improve Main Street as half of a 36-foot wide collector street section with vertical curb, gutter, and a 7-foot wide attached concrete sidewalk abutting the site, as proposed.
2. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.
3. Close the existing 11-foot wide unpaved gated driveway from the site onto Main Street located 1,013-feet south of State Highway 44/ State Street with vertical curb, gutter, and 7-foot wide attached concrete sidewalk.

4. Construct two 20-foot wide curb-return type driveways with an extended concrete apron from the proposed 7-foot sidewalk to the property line. Driveways to be located approximately 966-feet south of State Highway 44/ State Street and 1,071-feet south of State Highway 44/ State Street. Pave both driveways with concrete their full width and at least 30-feet into the site beyond the edge of pavement of Main Street. Locate the permeable pavers as proposed within the driveways, outside of the right-of-way.
5. Other than the access specifically approved with this application, direct lot access is prohibited to Main Street.
6. civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. Payment of impact fees is due prior to issuance of a building permit.
8. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter, and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized

representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.

12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

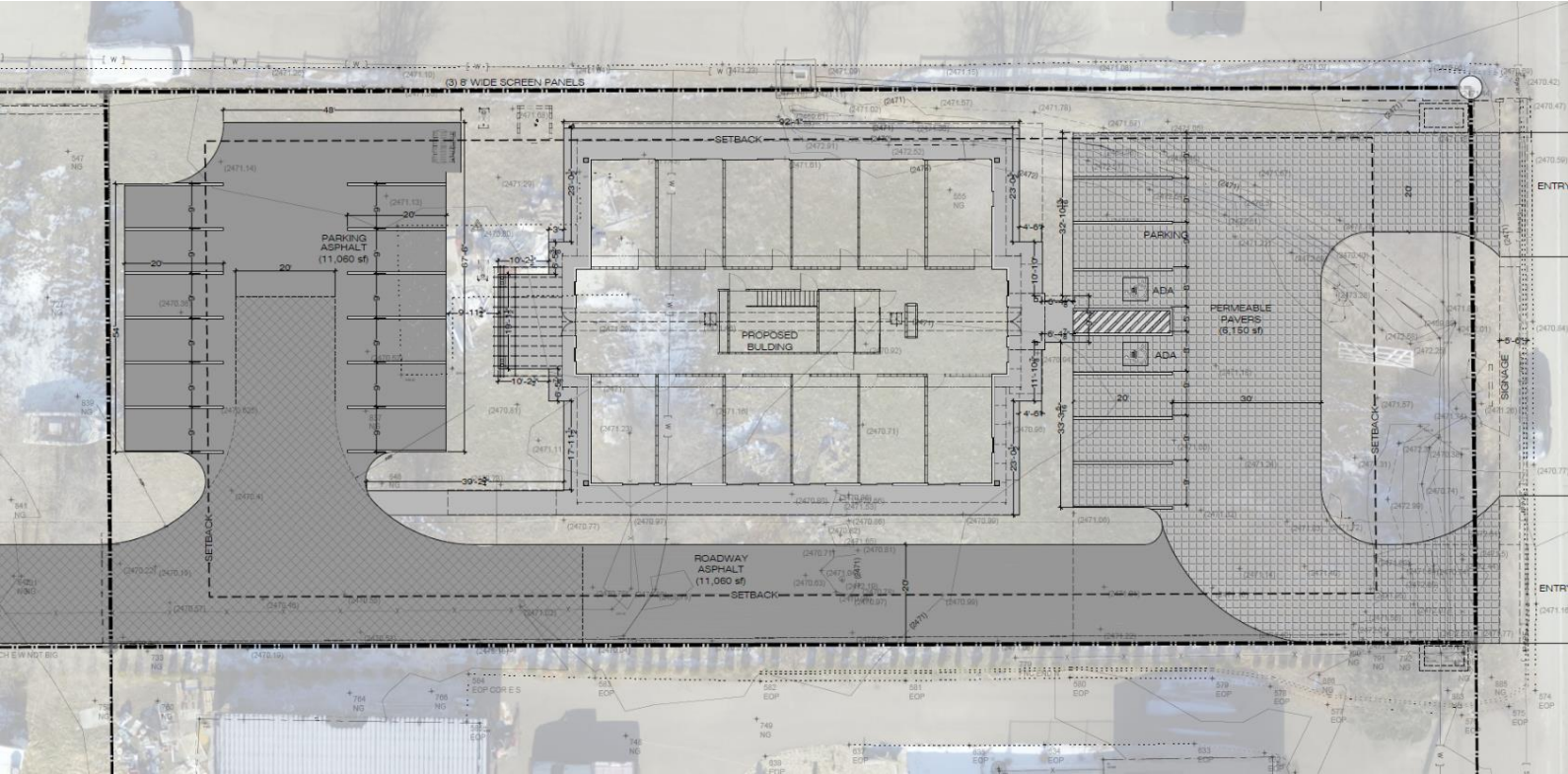
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines **OR** Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- ☒ Submit a development application to a City or to Ada County
- ☒ The City or the County will transmit the development application to ACHD.
- ☒ The ACHD **Planning Review Section** will receive the development application to review.
- ☒ The **Planning Review Section** will do one of the following:
 - ☐ Send a **"No Review"** letter to the applicant stating that there are no site specific conditions of approval at this time.
 - ☒ Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - ☒ Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- ☐ For **ALL** development applications, including those receiving a **"No Review"** letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- ☐ Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

- ☐ **Driveway or Property Approach(s)**
 - Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.
- ☐ **Working in the ACHD Right-of-Way**
 - Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

- ☐ **Sediment & Erosion Submittal**
 - At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.
- ☐ **Idaho Power Company**
 - Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.
- ☐ **Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend, or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

Request for Reconsideration of Commission Action

1. **Request for Reconsideration of Commission Action:** A Commissioner, a member of ACHD staff or any other person objecting to any final action taken by the Commission may request reconsideration of that action, provided the request is not for a reconsideration of an action previously requested to be reconsidered, an action whose provisions have been partly and materially carried out, or an action that has created a contractual relationship with third parties.

- a. Only a Commission member who voted with the prevailing side can move for reconsideration, but the motion may be seconded by any Commissioner and is voted on by all Commissioners present.

If a motion to reconsider is made and seconded it is subject to a motion to postpone to a certain time.

- b. The request must be in writing and delivered to the Secretary of the Highway District no later than 11:00 a.m. 2 days prior to the Commission's next scheduled regular meeting following the meeting at which the action to be reconsidered was taken. Upon receipt of the request, the Secretary shall cause the same to be placed on the agenda for that next scheduled regular Commission meeting.
- c. The request for reconsideration must be supported by written documentation setting forth new facts and information not presented at the earlier meeting, or a changed situation that has developed since the taking of the earlier vote, or information establishing an error of fact or law in the earlier action. The request may also be supported by oral testimony at the meeting.
- d. If a motion to reconsider passes, the effect is the original matter is in the exact position it occupied the moment before it was voted on originally. It will normally be returned to ACHD staff for further review. The Commission may set the date of the meeting at which the matter is to be returned. The Commission shall only take action on the original matter at a meeting where the agenda notice so provides.
- e. At the meeting where the original matter is again on the agenda for Commission action, interested persons and ACHD staff may present such written and oral testimony as the President of the Commission determines to be appropriate, and the Commission may take any action the majority of the Commission deems advisable.
- f. If a motion to reconsider passes, the applicant may be charged a reasonable fee, to cover administrative costs, as established by the Commission.

Heidi Prigge
208 South Main Street
Star, Idaho 83669

April 24, 2023

Mayor and City Council,

I am writing on behalf of DiAnn and Jonathan Lei and their proposed project of building The Star Red Barn Inn at 309 South Main. I attended the public hearing at their home on 4/1/23 with the opportunity to review their proposal.

I thought the plan was great, sighting the parking in the back, xeric landscaping, fitting in with the existing neighborhood, the size, quality of the Inn and materials being used. I was impressed with their concerns about the environmental impact this will have, so I welcomed someone talking about water and usage. I also think it's a needed business, unique & with a price point reasonable for guests.

As our neighborhood transitions into a business area I have deep concerns about what that will look like. The additional traffic, architectural styles, signage and invasiveness of the projects, come to mind. The Star Red Barn Inn is an easy gateway for future developments and hopefully will set a stage for quality and the consideration of the neighbors.

Heidi Prigge

Shawn Nickel

From: Barbara Norgrove
Sent: Monday, May 1, 2023 11:48 AM
To: Shawn Nickel
Subject: FW: Agency Transmittal - The Red Barn Inn

From: Wendy Howell <Wendy.Howell@itd.idaho.gov>
Sent: Monday, May 1, 2023 11:43 AM
To: Barbara Norgrove <bnorgrove@staridaho.org>
Subject: RE: Agency Transmittal - The Red Barn Inn

Good Morning,

ITD has no objections to this project.

Thank you,

Wendy Howell
 Development Services Coordinator
 ITD-D3

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Wednesday, April 5, 2023 1:24 PM
To:
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - The Red Barn Inn

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Subject: Agency Transmittal - The Red Barn Inn

Please see attached Agency Transmittal for a rezone and conditional use permit application for a residential Inn/motel, located in Star, Ada County.

Thanks.

Shawn

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **May 2, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Hood Rats Automotive Garage
Files #'s RZ-23-01 Rezone
 DA-23-02 Development Agreement
 CU-23-01 Conditional Use Permit

Applicant/Owner: Newell Price

Action: The Applicant is seeking approval of a Rezone (C-1 to CBD), a Development Agreement, and a Conditional Use Permit for a 1,300 square foot automotive garage. The property is located at 11525 W. State Street in Star, Idaho.

Property Location: The subject property is generally located on the southwest corner of W. State Street and S. Sunlight Avenue. Ada County Parcel No. R5836250010.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: May 2, 2023 – PUBLIC HEARING

FILE(S) #: RZ-23-01 – Rezone

DA-23-02 – Development Agreement

CU-23-03 – Conditional Use Permit – Hood Rats Garage

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Owner:

Newell Price
11421 West Hidden Point Street
Star, Idaho 83669

REQUEST

Request: The Applicant is seeking approval of a Rezone (C-1 to CBD), a Development Agreement and Conditional Use Permit for a 1,400 square feet automotive sales and repair facility. The property is located at 11525 West State Street, Star, Idaho and consists of .190 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the southwest corner of West State Street and South Sunlight Avenue. Ada County Parcel No. R5836250010.

Existing Site Characteristics: The property is currently vacant.

Irrigation/Drainage District(s): - Pioneer Ditch Company LTD
P.O. Box 70
Star, Idaho 83669

Flood Zone: This property is currently located in a Special Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J
Effective Date: 06/19/2020
Flood Zone: AE

Special On-Site Features:

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No known areas.
- ✧ Fish Habitat – No known areas.
- ✧ Mature Trees – None.
- ✧ Riparian Vegetation – None.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – No.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✧ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	November 17, 2022
Neighborhood Meeting Held	January 14, 2023
Application Submitted & Fees Paid	February 9, 2023
Application Accepted	April 12, 2023
Residents within 300' Notified	April 13, 2023
Agencies Notified	March 9, 2023
Legal Notice Published	April 16, 2023
Property Posted	April 23, 2023

HISTORY

The city does not have any previous land use history for this parcel.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS
--

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Commercial (C-1)	Central Business District (CBD)	Vacant Ground
Proposed	Central Business District (CBD)	Central Business District (CBD)	Automotive Sales/Repair
North of site	Commercial (C-1)	Central Business District (CBD)	Coffee Shop/Office Space
South of site	Residential (R-8)	Central Business District (CBD)	Single Family Residential
East of site	Commercial (C-2)	Central Business District (CBD)	Napa Auto Parts
West of site	Commercial (C-1)	Central Business District (CBD)	Single Family Residential

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN
--

UNIFIED DEVELOPMENT CODE:**8-1B-1: ANNEXATION AND ZONING; REZONE:**

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of a maximum of thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of the city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Vehicle Sales, Rental & Service	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' ⁴	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

8-1B-4E. FINDINGS: The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

8-4B-3: REQUIRED NUMBER OF OFF-STREET PARKING SPACES:

Type of Use	Off-Street Parking Spaces Required
Automotive, mobile home, travel trailer and or farm implement sales	1 per 400 square feet of gross floor area; plus 1 per 500 square feet of outdoor display.
Automotive repair shop, body shop or tire shop	1 per 225 square feet of gross floor area.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

- A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.
- D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public

private partnerships to assure the system is built and that “ad hoc” development of parcels within the CBD do not block good planning.

E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.

F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.

G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.

H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.

I. The city should encourage assemblage of the smaller properties where appropriate.

J. The “floodway” lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and “Live, Work, Play” ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a “City Services Campus”. That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

REZONE:

The rezone request from Commercial (C-1) to Central Business District (CBD) on the applicant’s property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan Map. Sewer and Water will be provided by the Star Sewer and Water District and is in close proximity to the property. Annexation into the Sewer and Water District will be required.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for an approximately 1,400 square feet automotive sales and repair facility. The proposed building is a manufactured steel building that will have three bay doors (3) on the west side of the facility and one (1) on the north side. The material will be white sheet metal with black trim and reclaimed wood siding accents on all four sides.

Access will be taken from S. Sunlight Avenue directly to the parcel. The applicant is proposing eight (8) parking spaces, one (1) of which is ADA accessible. Section 8-4B-3 of the Unified Development Code states that this type of use requires a minimum of six (6) parking spaces. Section 8-4B-2 requires parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep. **The Applicant is proposing two (2) stalls to be the correct width; however, the other six (6) spaces are proposed at eight feet six inches (8' 6") in width. The Applicant will need to adjust these spaces so that they are nine feet (9') wide.** The Applicant is proposing the parking stalls be eighteen feet (18') deep. Section 8-4B-2(b)3 states that “when a vehicle bumper overhangs into a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.” The applicant is proposing a five foot (5') wide grass area that will satisfy this requirement and allow for the eighteen foot (18') deep stalls.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. The Applicant is proposing a twenty-five foot (25') wide drive aisle, which satisfies this section of the code.

The Ada County Highway District (ACHD) has issued a staff report, the Applicant will be required to comply with the conditions of approval prior to certificate of occupancy.

The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Central Business District (CBD) setbacks.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The submitted landscape will require a minimum of two shade trees (2) planted along W. State Street. The Applicant will need to update the landscape plan and provide to Staff or approval prior to issuing a building permit. The Applicant has proposed seasonal landscaping but has not indicated the type of landscape materials. The updated landscape plan will need to call this out.**

The Applicant has not provided a lighting plan for the site or building. This will be required prior to issuing a building permit, for review and approval by Staff. All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

DEVELOPMENT AGREEMENT:

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Specifically Requested Conditional Use Approvals

AGENCY RESPONSES

ITD
ACHD

February 23, 2023

March 27, 2023

PUBLIC RESPONSES

No public comments have been received for this application.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed rezone, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.
The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:
 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*

- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

Findings for Conditional Use Permits (UDC §8-6B-6):

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use

would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or

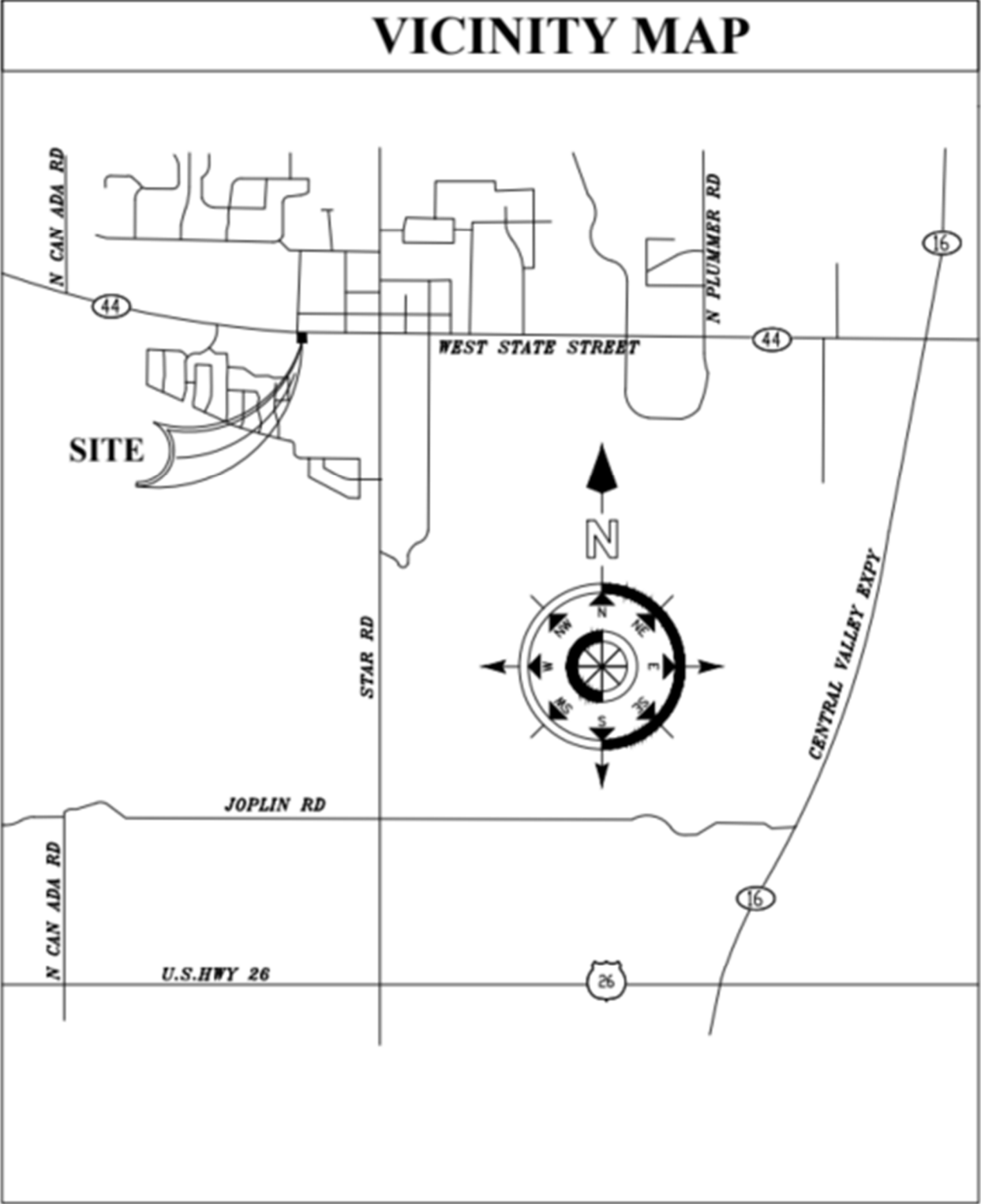
damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Building Permit being issued.**
3. **A Certificate of Zoning Compliance will be required prior to the start of construction.**
4. **A revised site plan, showing the correct parking dimensions shall be submitted to and approved by City Staff, prior to issuing the building permit.**
5. **The Applicant shall provide an updated landscape plan showing the correct number of street trees and landscape materials to Staff for approval prior to issuing a building permit.**
6. The property with the approved application shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
7. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
8. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
9. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to the start of any construction.**
10. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
11. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
12. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
13. Any additional Condition of Approval as required by Staff and City Council.
14. Any Conditions of Approval as required by Star Fire Protection District.

COUNCIL DECISION

The Star City Council _____ File Number RZ-23-01, DA-23-02, CU-23-03, for Hood Rats Garage on _____, 2023.



ANNEXATION & ZONING - REZONE APPLICATION (PROJECT NARRATIVE)

Date: 1/5/23
Project Title: Hood Rats Garage
Project Locations: 11525 West State Street, Star ID 83669

Applicant Name: Newel Price
Applicant Address: 11421 West Hidden Point Street Star, ID 83669
Phone: 208-616-4669
Email: newel@me.com

Project Description:

We propose constructing a 1,300 square foot steel framed building to accommodate a business called Hood Rats Garage. Hood Rats Garage is in the business of sales, restoration and modifications to classic automobiles as well as sales and installation of auto accessories on later model vehicles.

The exterior of the building will include a mixture of painted steel wall panels and barn wood accents.

The new asphalt parking lot will consist of (7) seven parking spaces and landscaped areas including a bioretention zone for rainwater containment.

There will be a new city sidewalk installed along State Street including a new city required streetlamp to match city specifications.

Construction is expected to last 10-12 months with the grand opening for the business to follow final inspection approvals and issuance of Certificate of Occupancy by the city.

Any questions may be directed to the property owner as listed above.

Newel Price

Owner



ANNEXATION & ZONING - REZONE APPLICATION

***All information must be filled out to be processed.

FILE NO.: _____
Date Application Received: _____ Fee Paid: _____
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative ___

Applicant Name: Newel Price
Applicant Address: 11421 West Hidden Point Street Zip: 83669 Phone: 208-616-4669
Email: newel@me.com

Owner Name: Newel Price
Owner Address: 11421 West Hidden Point Street Zip: 83669 Phone: 208-616-4669
Email: 208-616-4669

Representative (e.g., architect, engineer, developer):

Contact: Newel Price Firm Name: N/A
Address: Same Zip: Same
Phone: Same Email: Same

Property Information:

Site Address: 11525 W. State St. Parcel Number: R5836250010
Total Acreage of Site: 0.190 Acres
Total Acreage of Site in Special Flood Hazard Area: N/A
Proposed Zoning Designation of Site: CBD

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	C1		Vacant
Proposed	CBD		Automotive
North of site	C1		Residence
South of site	MUDA		Residence
East of site	C1		Retail
West of site	C2		Retail

Special On-Site Features (Yes or No – If yes explain):

Areas of Critical Environmental Concern - No

Evidence of Erosion - No

Fish Habitat - No

Floodplain - No

Mature Trees - No

Riparian Vegetation - No

Steep Slopes - No

Stream/Creek - No

Unique Animal Life - No

Unique Plant Life - No

Unstable Soils - No

Wildlife Habitat - No

Historical Assets - No

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
√	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
√	Completed and signed Annexation & Zoning/Rezone Application	
	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
√	Narrative fully describing the proposed project (must be signed by applicant)	
√	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> • Include a metes & bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet. • Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h. • If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map. • Submit word.doc and pdf version with engineer's seal. 	
√	Recorded warranty deed for the subject property	

	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
√	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
√	One (1) full-size 24" X 36" copy and one (1) 11" X 17" copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, please submit conceptual development plan for the property.	
√	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	
?	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
?	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	Two (2) copies of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site plans) on two (2) thumb drives only (no discs)</u> with the files named with project name and plan type.	
?	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
√	*Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: _____	
√	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits. Please contact SSWD for details.	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Applicant/Representative Signature

Date



CONDITIONAL USE PERMIT APPLICATION

***All applicable information must be filled out to be processed.

FILE NO.: CU-23-03
Date Application Received: 2-9-23 Fee Paid: 1660.⁰⁰
Processed by: City: _____

Applicant Information:

PRIMARY CONTACT IS: Applicant ☐ Owner ☒ Representative ☐

Applicant Name: NEWEL PRICE
Applicant Address: 11421 W. HIDDEN POINT ST Zip: 83669
Phone: 208-616-4669 Email: newel@me.com

Owner Name: Same as Applicant
Owner Address: _____ Zip: _____
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):

Contact: N/A Firm Name: _____
Address: _____ Zip: _____
Phone: _____ Email: _____

Property Information:

Site Address: 11525 W. STATE ST Parcel Number: RS836250010
Requested Condition(s) for Conditional Use: AUTOMOTIVE SALES & REPAIR

	Zoning Designation	Comp Plan Designation
Existing	<u>C2</u>	
Proposed	<u>CBD</u>	
North of site	<u>C2</u>	
South of site	<u>MUDA</u>	
East of site	<u>C2</u>	
West of site	<u>C2</u>	

Site Data:

Total Acreage of Site: 0.190
 Proposed Percentage of Site Devoted to Bldg Coverage: 17%
 Proposed Percentage of Site Devoted to Landscaping: _____
 Number of Parking spaces: Proposed 7 Required 24
 Requested Front Setback: 0 Requested Rear Setback: 0
 Requested Side Setback: 0 Requested Side Setback: 0
 Requested Side Setback: 0
 Existing Site Characteristics: VACANT LOT.

Number and Uses of Proposed Buildings: 1
 Location of Buildings: Per Plan
 Gross Floor Area of Proposed Buildings: 1,400 sq ft
 Describe Proposed On and Off-Site Traffic Circulation: Access Site Parking from S. Sunlight Ave adjacent to W State St.
 Proposed Signs - number, type, location: 1 Attached to build.
 (include draft drawing) Hood Rats Garage
 Public Services (state what services are available and what agency is providing the service):
 Potable Water - Star W&S
 Irrigation Water - None Star W&S
 Sanitary Sewer - Star W&S
 Schools - Middleton & West ADA School Districts
 Fire Protection - Star Fire Protection Dist
 Roads - IDT / ACHD

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: Morning Star Mobile ^{manuf} home Phase: NA
 Special Flood Hazard Area: total acreage 0 number of homes/structures

0

- A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: _____
 FIRM effective date(s): mm/dd/year _____
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: _____
 Base Flood Elevation(s): AE ____ .0 ft., etc.: _____
- Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (✓)	Description	Staff (✓)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	✓
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	✓
	Completed and signed Conditional Use Application	✓
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	✓
	Legal description of the property (word.doc and electronic version with engineer's seal):	✓
	Copy of recorded warranty deed.	✓
	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	N/P
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	✓
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	✓
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	✓
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	• Open/common spaces	
	• Refuse and service areas	
	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
	• All on-site lighting proposed – Must Meet City "Dark Sky" Ordinances	

Landscape Plan (If applicable):

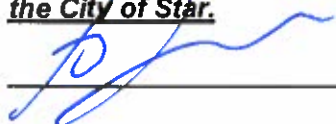
	The following items must be included on the landscape plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	
	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	
	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	
	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	
	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	
	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
	• Proposed screening structures	
	• Design drawings(s) of all fencing proposed	
	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➢ Number of street trees and lineal feet of street frontage ➢ Width of street buffers (exclusive of right-of-way) ➢ Width of parking lot perimeter landscape strip ➢ Buffer width between different land uses ➢ Number of parking stalls and percent of parking area with internal landscaping ➢ Total number of trees and tree species mix ➢ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

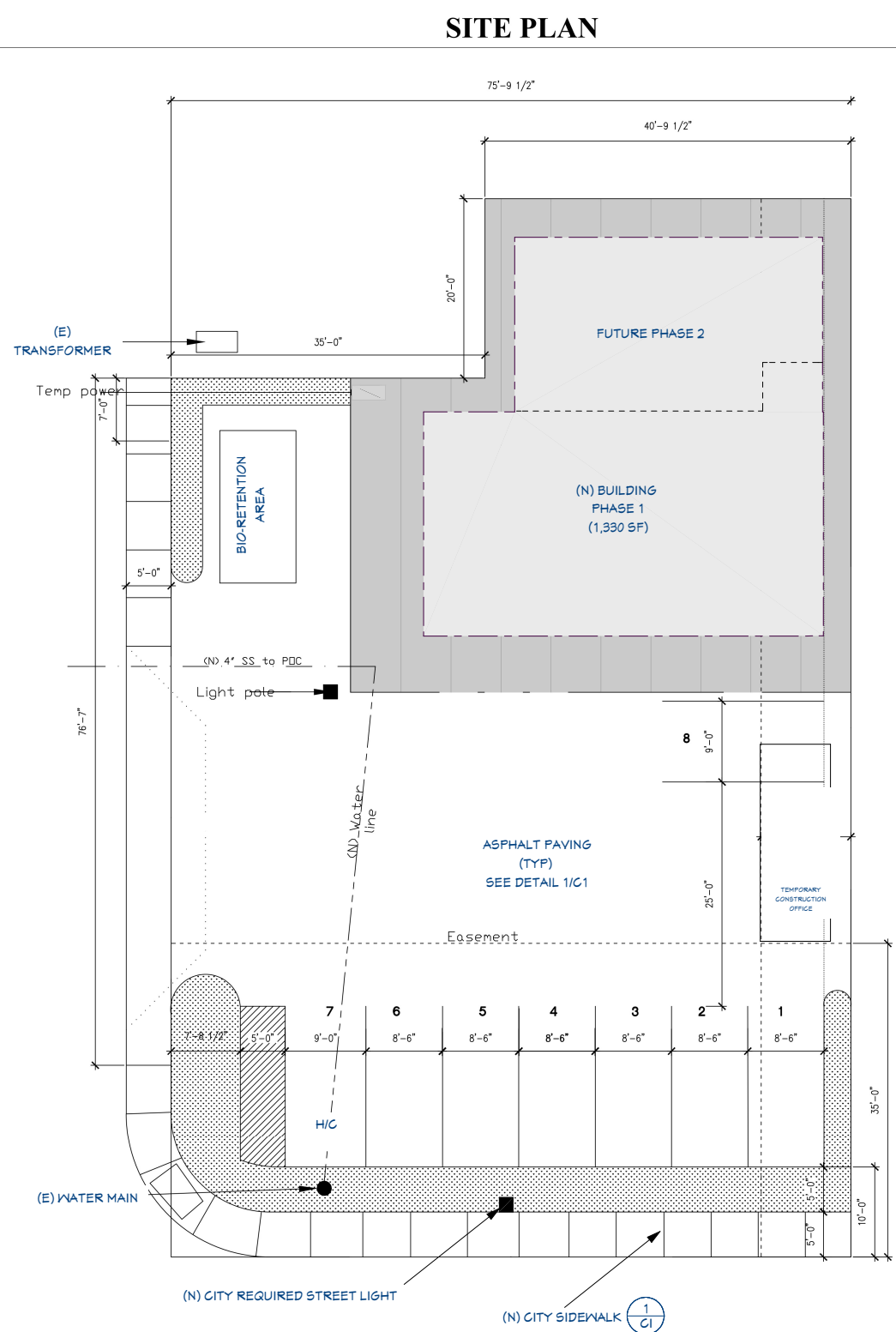
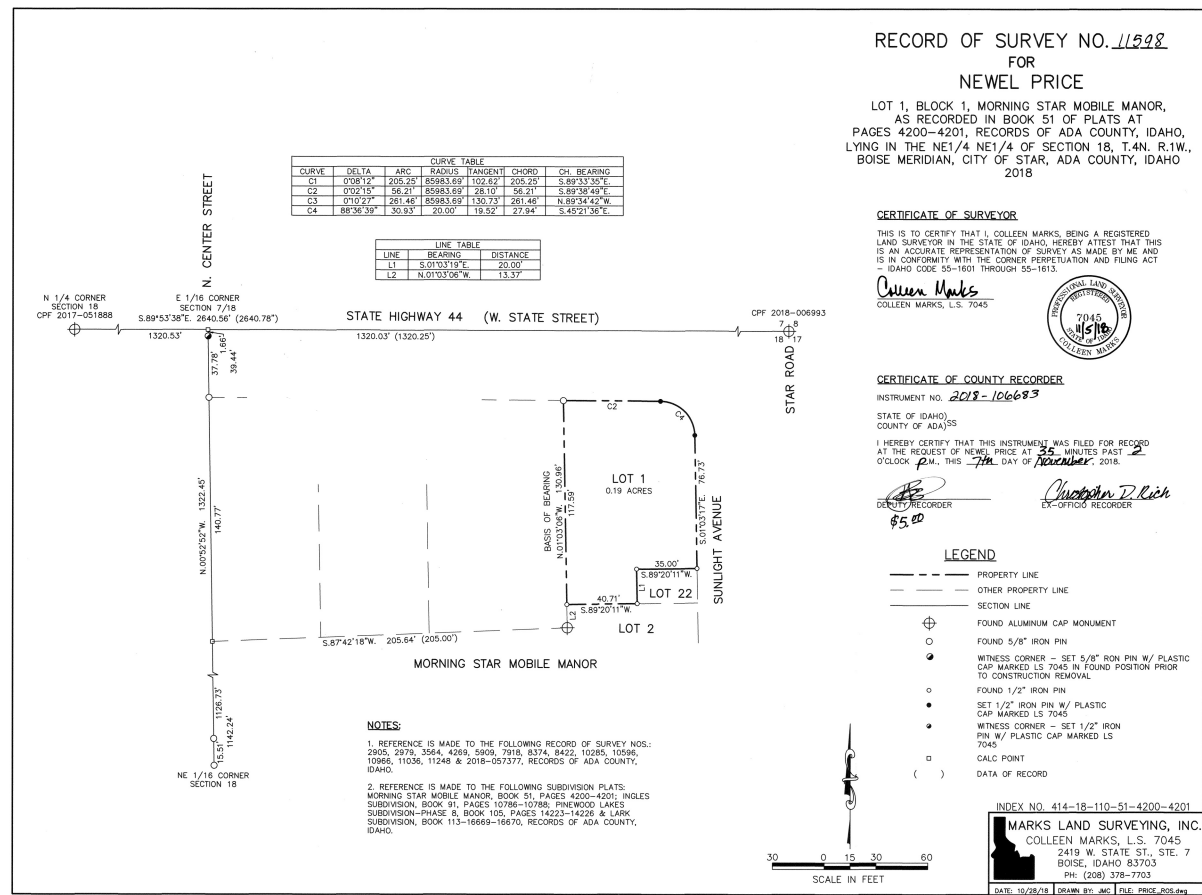
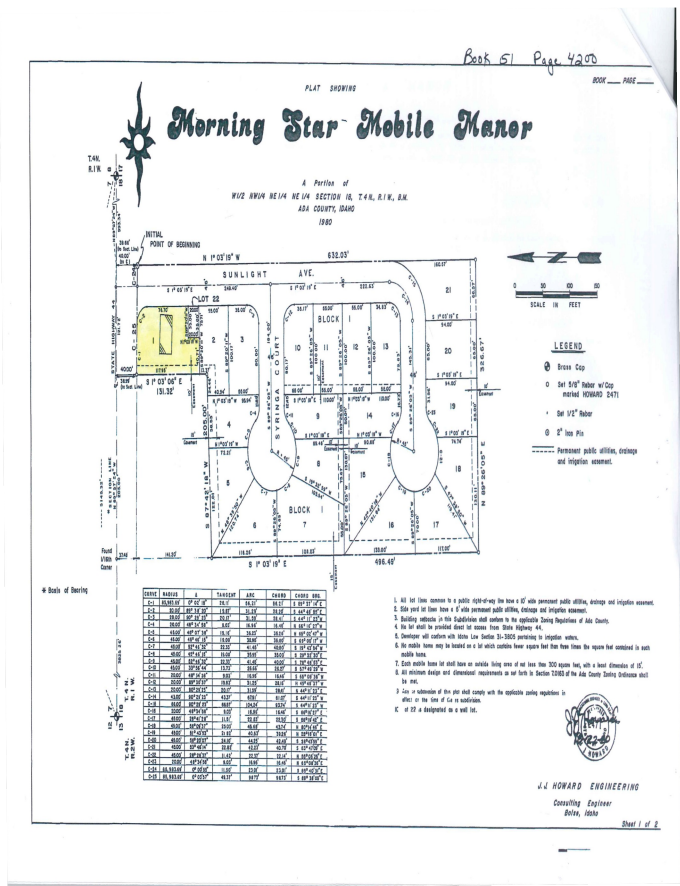
All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



2/9/23



PARKING NOTES:
PARKING SPACES = 7
HANDICAPPED SPACES = 1

PROJECT:
HOOD RATS GARAGE
(NEW STEEL BUILDING)

11525 W. STATE STREET
STAR, ID 83669

OWNER:
NEWEL PRICE
11421 WEST HIDDEN POINT ST.
STAR, ID 83666

CONTACT INFO:
NEWEL@ME.COM / (208) 616-4664

DRAWINGS PROVIDED BY:



CONSTRUCTION, CONSULTING,
SERVICES, INC.

STAR, IDAHO

REVISION TABLE	
DESCRIPTION	DATE

DATE:	1/5/2023
-------	----------

SCALE:	
--------	--

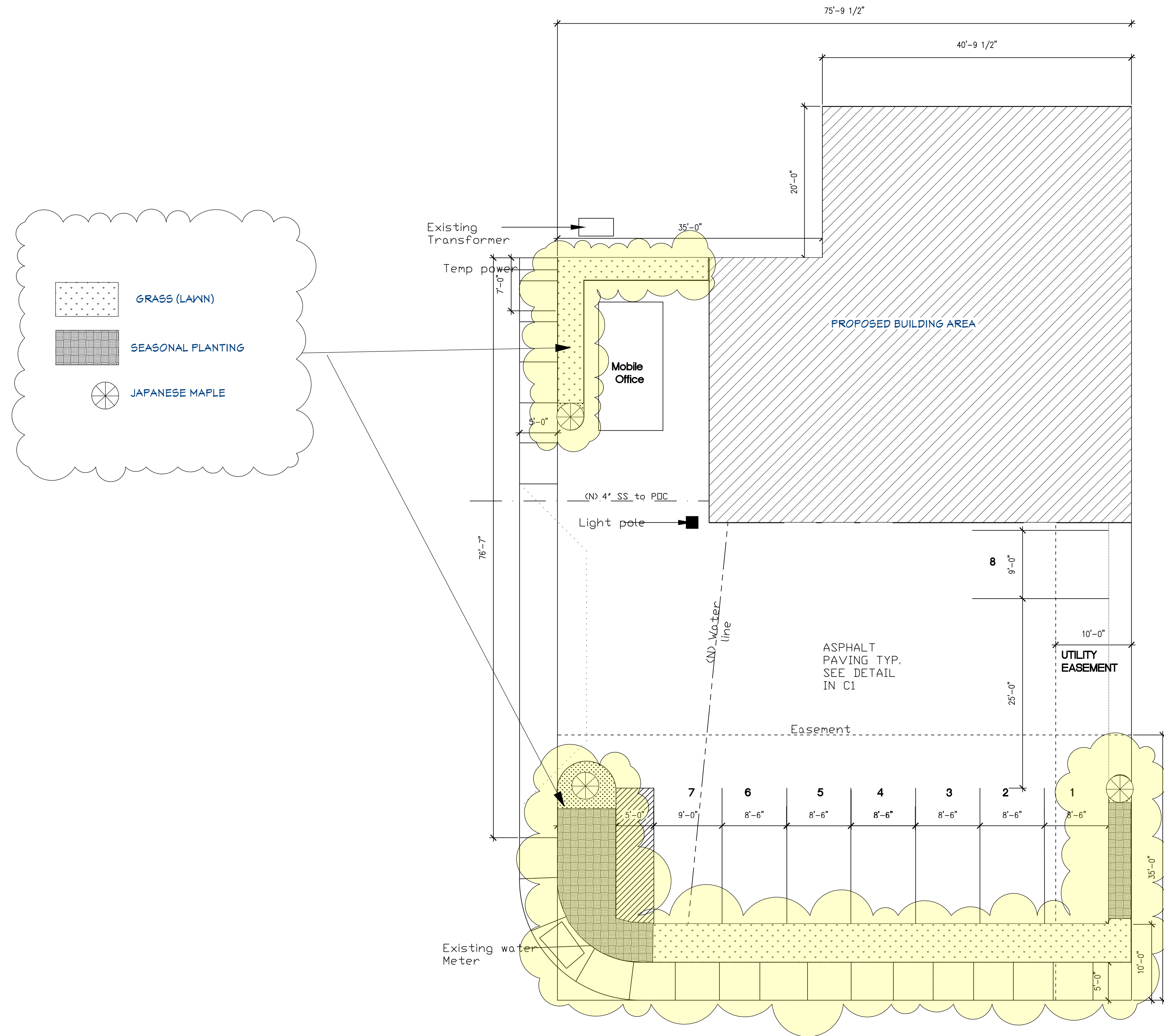
SHEET: _____

PROJECT:
HOOD RATS GARAGE
(NEW STEEL BUILDING)

11525 W. STATE STREET
STAR, ID 83669

OWNER:
NEWEL PRICE
11421 WEST HIDDEN POINT ST.
STAR, ID 83666

CONTACT INFO:
NEWEL@ME.COM / (208) 616-4669



DRAWINGS PROVIDED BY:



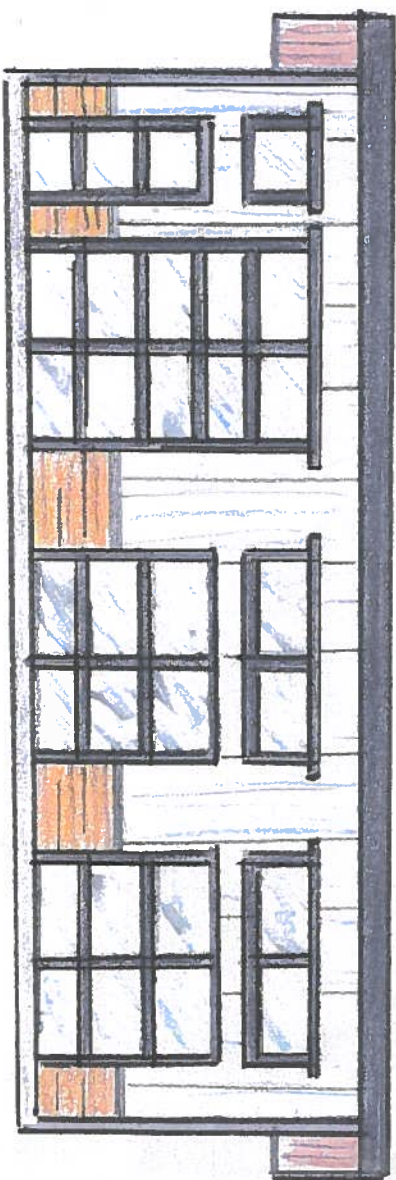
REVISION TABLE	
DESCRIPTION	DATE

DATE: 3/14/2023

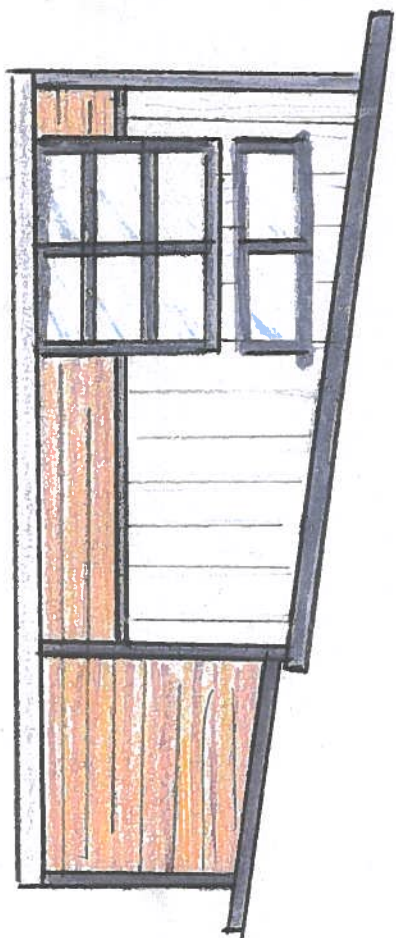
SCALE:

SHEET:
LS-1
LANDSCAPING
PLAN

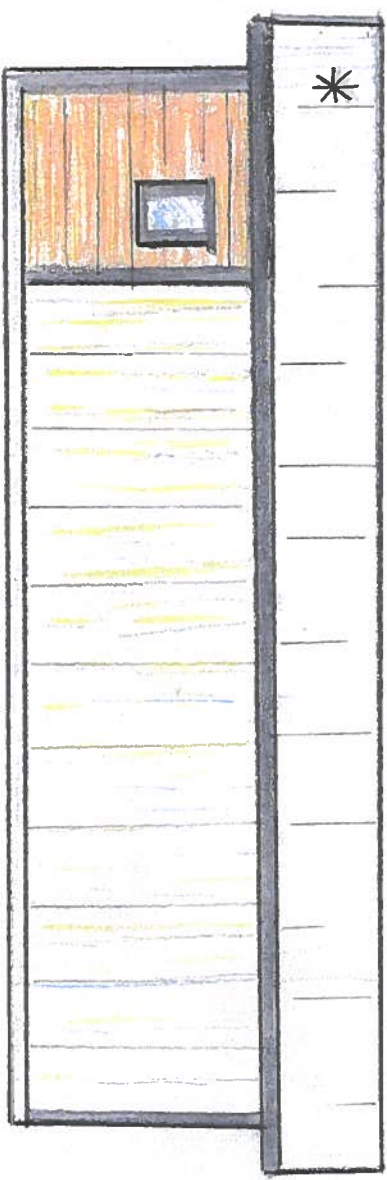
RENDERED ELEVATIONS



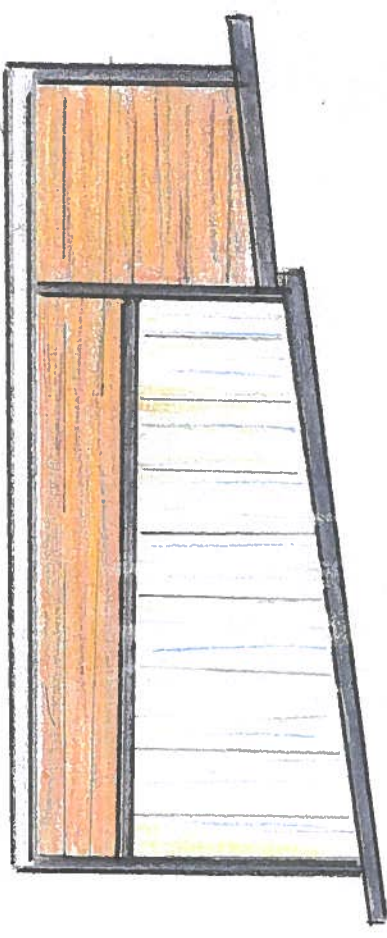
WEST



NORTH



EAST

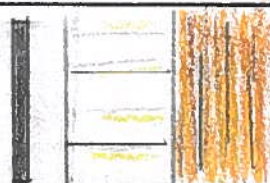


SOUTH

11525 W STATE ST
STAR, ID

PROPOSED BUILDING RENDERING

02/11/2023



- RECLAIMED REDWOOD SIDING
- WHITE SHEET METAL (RIBBED SIDING)
- BLACK SHEET METAL TRIM



- GALVANIZED RIBBED ROOFING (SILVER)
- STORE FRONT GLAZING & ROLL UP DOORS



**Your Safety • Your Mobility
Your Economic Opportunity**

Section 6, Item D.

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

February 23, 2023

City of Star
Shawn Nickels, P&Z Administrator
10769 W State St
Star, ID 83669
snickel@staridaho.org

Re: Hoods Rat Automotive, CU-23-01, RZ-23-01, CU-23-01

Dear Mr. Nickels,

Idaho Transportation Department (ITD) appreciates this opportunity to provide comments regarding Hood Rat Automotive located approximately at milepost 10.50, on the south side of SH-44, Star, Idaho. Please see the below comments:

1. This project abuts State Highway 44 (SH-44).
2. No direct access to the State Highway system has been requested.
3. The applicant needs to coordinate with the City of Star as they are doing a widening project on SH-44.
4. ITD application number 2109 needs to be submitted with the fee for an approach permit. Along with the application, please submit the following:
 - a. Copy of the latest deed for the parcel. If the parcel has been split, please supply a copy of the latest deed for each parcel.
 - b. If the parcel is split or there are multiple parcels, provide a recorded cross-access or access easement documentation for all parcels showing they will be utilizing the requested access point.
 - c. Site plan for the full site at buildout.
 - d. If the site will be used for any commercial business or does not meet IDAPA 39.03.42 access requirements, a Traffic Impact Study may be required.
 - e. Civil drawings for the approach showing approach style, radii dimensions, approach width at the back of radii or right-of-way line, and materials typical section.
 - f. Photos looking in each direction away from the proposed (or existing) approach as if you were a driver exiting the approach.
 - g. \$50 non-refundable application fee (Payable by phone at (208) 334-8300 Ext. 2 between 8 am and 3 pm, Monday through Friday, \$1.50 electronic payment fee is charged at this time.
 - h. You will need to submit a Traffic Control Plan designed by a certified Traffic Control Supervisor (must include signature, certification number, and contact information) or designed and stamped by an Engineer licensed in Idaho. This may be done at any point prior to beginning any work within the ITD right-of-way. No work is allowed within the ITD right-of-way without an approved traffic control plan.



**Your Safety • Your Mobility
Your Economic Opportunity**

Section 6, Item D.

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

- i. When the application is completed and signed by the property owner it can then be submitted by email.
- j. If the application is signed by anyone other than the deeded owner, ITD will need a legal document from the owner certifying that the individual has the right to represent the owner.
- k. Be sure that all work within the right-of-way is designed and constructed to meet current ITD standards and specifications.

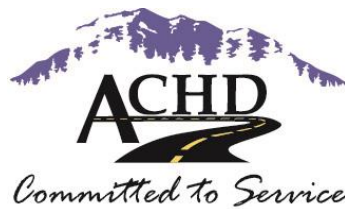
Generally, the permitting process takes 30 days. Submit all documents to: josh.nopens@itd.idaho.gov.

- 5. Any addition, modification, change of use, relocation, maintaining, or removal of an encroachment of the state highway or use of highway right-of-way for any purpose other than normal travel, shall obtain an Encroachment Permit to use state right-of-way. For this permit, please contact shona.tonkin@itd.idaho.gov.
- 6. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
- 7. The Idaho Administrative Procedures Act (IDAPA) 39.03.60 governs advertising along the State highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at (208) 334-8832 for more information.

ITD reserves the right to make further comments upon review of any additional documents.

Sincerely,

Wendy I. Howell
Development Services Coordinator
ITD. District 3



Project/File: **Hood Rats Garage / STAR23-0003 / RZ-23-01, DA-23-02, CU-23-01**
 This is a rezone, development agreement, and conditional use permit application for the construction of a 1,300 square-foot automotive garage at the existing location of Morning Star Mobile Manor Subdivision.

Lead Agency: City of Star

Site address: 11525 State Street

Staff Approval: March 27, 2023

Applicant: Newel Price
 11421 W Hidden Point Street
 Star, ID 83669

Staff Contact: Brandon Atchley, Assistant Traffic Engineer
 Phone: (208) 387-6294
 E-mail: batchley@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting approval of a rezone, development agreement, and conditional use permit application from C-1 (commercial) to CBD (automotive) zoning for the construction of a 1,300 square-foot automotive garage at the existing location of Morning Star Mobile Manor Subdivision on 0.19 acres.

The proposed development is generally consistent with the City of Star Future Land Use Map, which designates this area as Central Business District.

2. Description of Adjacent Surrounding Area:

Direction	Land Use	Zoning
North	Neighborhood Business District	C-1
South	Mixed-Use Development Agreement	MU-DA
East	Neighborhood Business District	C-1
West	Central Business District	C-2

- Site History:** ACHD has not previously reviewed this site for a development application.
- Adjacent Development:** No major developments are pending or underway in the vicinity of the site.
- Transit:** Transit services are not available within the City of Star to serve this site.
- Pathway Crossings:** United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

- 7. **New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.
- 8. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
- 9. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
There are no roadways, bridges or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).
- 10. **Roadways to Bikeways Master Plan:** ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP does not identify SH-44/State Street or Sunlight Avenue as bicycle facilities.

B. Traffic Findings for Consideration

- 1. **Trip Generation:** This development is estimated to generate 22 additional vehicle trips per day; 3 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.
- 2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**State Highway 44 State Street	327-feet	Principal Arterial	N/A	N/A
***Sunlight Avenue	632-feet	Local Road	14	N/A

** ACHD does not set level of service thresholds for State Highways.
*** ACHD does not set peak hour level of service planning thresholds for local roads.

- 3. **Average Daily Traffic Count (VDT)**
Average daily traffic counts are based on ACHD's most current traffic counts.
 - The average daily traffic count for Sunlight Avenue south of SH-44 was 344 in August 2017.

C. Findings for Consideration

1. State Highway SH-44 / State Street

SH-44/State Street is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Star, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-44/State Street.

2. Sunlight Avenue

- a. **Existing Conditions:** Sunlight Avenue is mostly improved with a 40-foot street section with 2-travel lanes, rolled curb, gutter, and 5-foot wide attached concrete sidewalk abutting the site. In 2019, a tree was removed approximately 125-feet south of SH-44; sidewalk was not replaced with this tree removal. There is 64-feet of right-of-way for Sunlight Avenue (23-feet from centerline).

The east side of Sunlight Avenue across from the site is improved as a commercial street section with vertical curb, gutter and 5-foot wide detached concrete sidewalk.

b. **Policy:**

Commercial Roadway Policy: District Policy 7208.2.1 states that the developer is responsible for improving all commercial street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7208.5 states that right-of-way widths for new commercial streets shall typically be 50 and 70-feet wide and that the standard street section will vary depending on the need for a center turn lane, bike lanes, volumes, percentage of truck traffic, and/or on-street parking.

- A 40-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane.
- A 46-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane and bike lanes.

Sidewalk Policy: District Policy 7208.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all commercial streets. If a separated sidewalk is proposed, a parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

- c. **Applicant's Proposal:** The applicant is proposing to construct 5-foot wide attached concrete sidewalk along Sunlight Avenue where deficient from the 2019 tree removal within the existing right-of-way.

- d. **Staff Comments/Recommendations:** Consistent with the minor improvements policy, the applicant's proposal to construct 5-foot wide concrete sidewalk where deficient meets District policy and should be approved, as proposed. The applicant should be required to improve Sunlight Avenue abutting the site with vertical curb and gutter abutting the site where rolled curb is deficient to complete Sunlight Avenue as a 40-foot wide commercial street section. Additional pavement widening is not required since the existing 40-foot wide street section meets District Policy for commercial streets. Reconstruction of deficient rolled curb and gutter to vertical curb and gutter may require reconstruction of the existing sidewalk on Sunlight Avenue abutting the site. The new sidewalk shall be continued from the existing detached sidewalk located directly to the south. If attached sidewalk is proposed abutting the site, the transition from detached to attached sidewalk should meet ADA requirements.

3. Driveways

3.1 Sunlight Avenue

- a. **Existing Conditions:** Sunlight Avenue has rolled curb along the site frontage. No existing curb cut or curb return driveway is existing along the site frontage.

b. **Policy:**

Driveway Location Policy: District policy 7208.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector/arterial or arterial street intersection.

Successive Driveways: District Policy 7208.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.

Driveway Width Policy: District policy 7208.4.3 restricts commercial driveways to a maximum width of 40-feet. Most commercial driveways will be constructed as curb-cut type facilities.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7208.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.

Driveway Design Requirements: District policy 7208.4.3 states if an access point is to be gated, the gate or keypad (whichever is closer) shall be located a minimum of 50-feet from the near edge of the intersection and a turnaround shall be provided.

- c. **Applicant's Proposal:** The applicant is proposing a 44-foot wide driveway located 95-feet south of SH-44/State Street, measured centerline to centerline. The applicant is proposing to reconstruct sidewalk and vertical curb along the site frontage away from the driveway where existing conditions are deficient.
- d. **Staff Comments/Recommendations:** The applicant's proposal does not meet District driveway width and location policies, and should not be approved as proposed. However, due to the site's frontage being less than 150-feet, construction of a driveway is not feasible to meet District location policy and the location should be approved, as proposed. The maximum driveway width on a collector street per District policy is 40-feet; as such, the driveway should be redesigned to be a maximum width of 40-feet and be constructed as a curb return type driveway.

4. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

5. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

D. Site Specific Conditions of Approval

1. Repair or replace any damaged or deteriorated portions of sidewalk on Sunlight Avenue abutting the site with 5-foot wide concrete sidewalk.
2. Reconstruct Sunlight Avenue abutting the site with vertical curb where existing rolled curb is deficient or not existing.
3. Construct a curb-return type driveway on Sunlight Avenue with a width no greater than 40-feet located 95-feet south of SH-44/State Street, as proposed.
4. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
5. Payment of impact fees is due prior to issuance of a building permit.
6. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.

9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

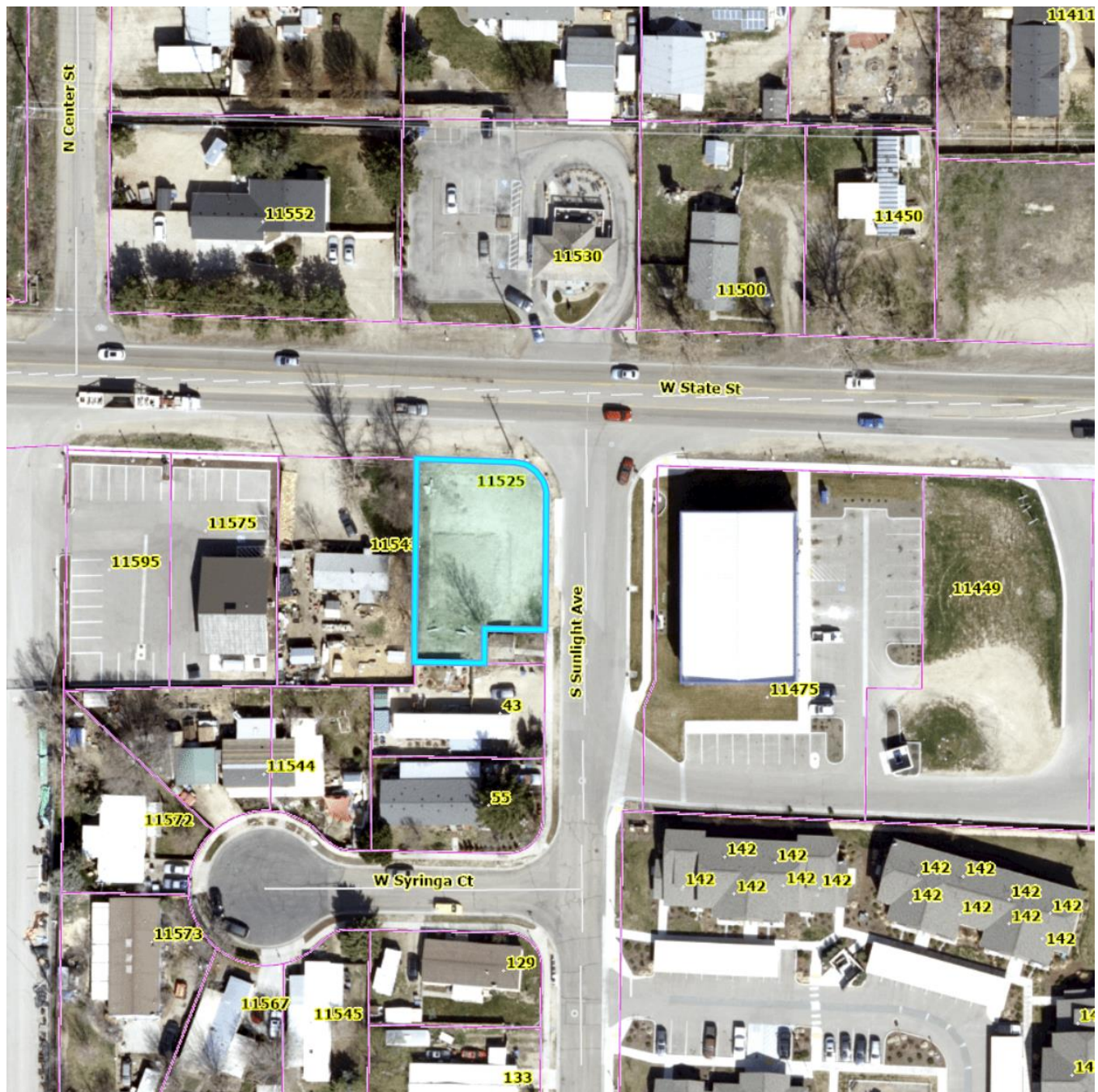
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

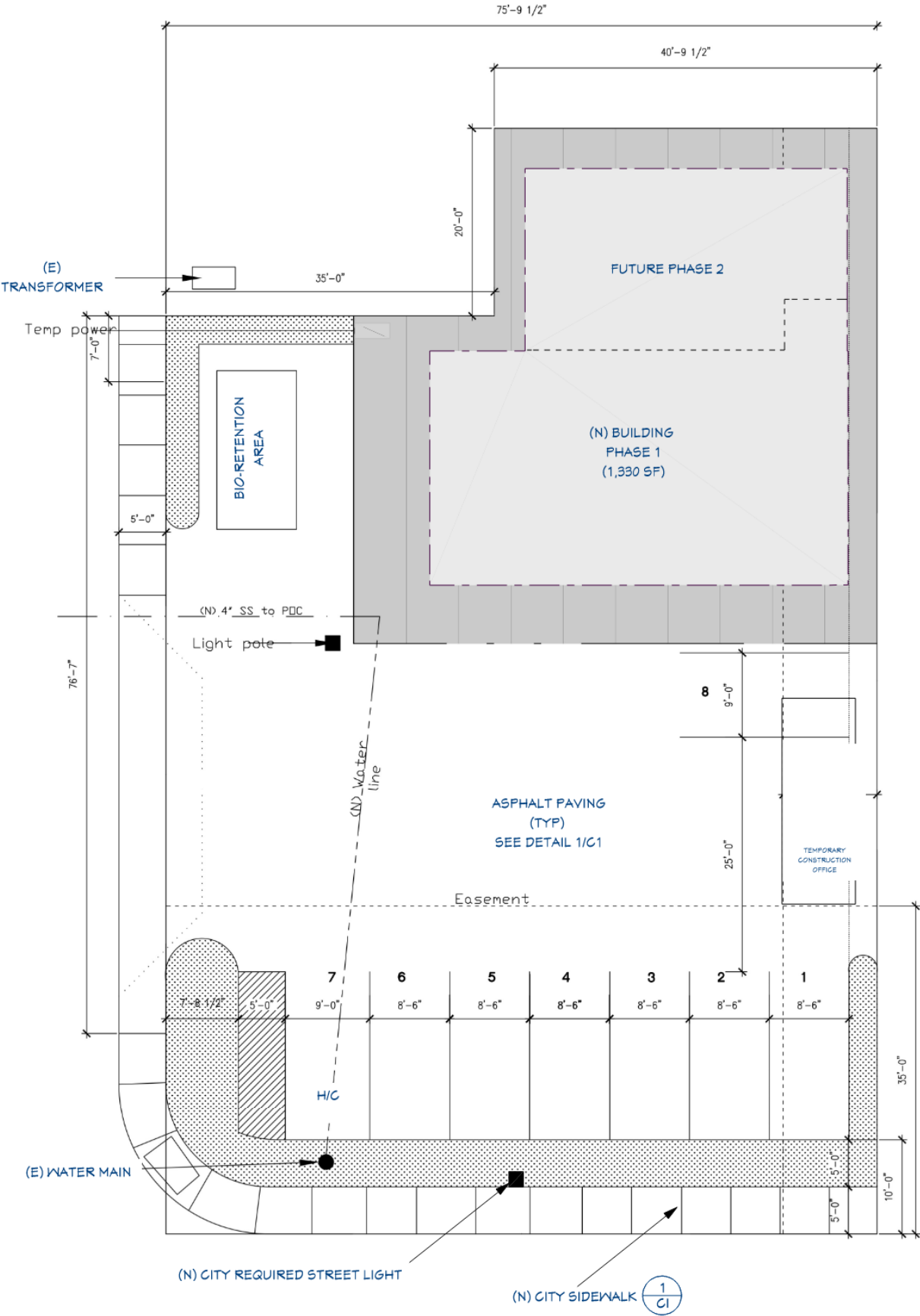
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- ☒ Submit a development application to a City or to Ada County
- ☒ The City or the County will transmit the development application to ACHD
- ☒ The ACHD **Planning Review Section** will receive the development application to review
- ☒ The **Planning Review Section** will do one of the following:
 - ☐ Send a **"No Review"** letter to the applicant stating that there are no site specific conditions of approval at this time.
 - ☒ Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - ☒ Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- ☐ For **ALL** development applications, including those receiving a **"No Review"** letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- ☐ Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

☐ **Driveway or Property Approach(s)**

- Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

☐ **Working in the ACHD Right-of-Way**

- Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

☐ **Sediment & Erosion Submittal**

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

☐ **Idaho Power Company**

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

☐ **Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

Shawn Nickel

Subject: FW: Public Hearing : Hood Rats Automotive Garage
Attachments: Hood Rats 1.jpg; Hood Rats 2.jpg; Hood Rats 3.jpg

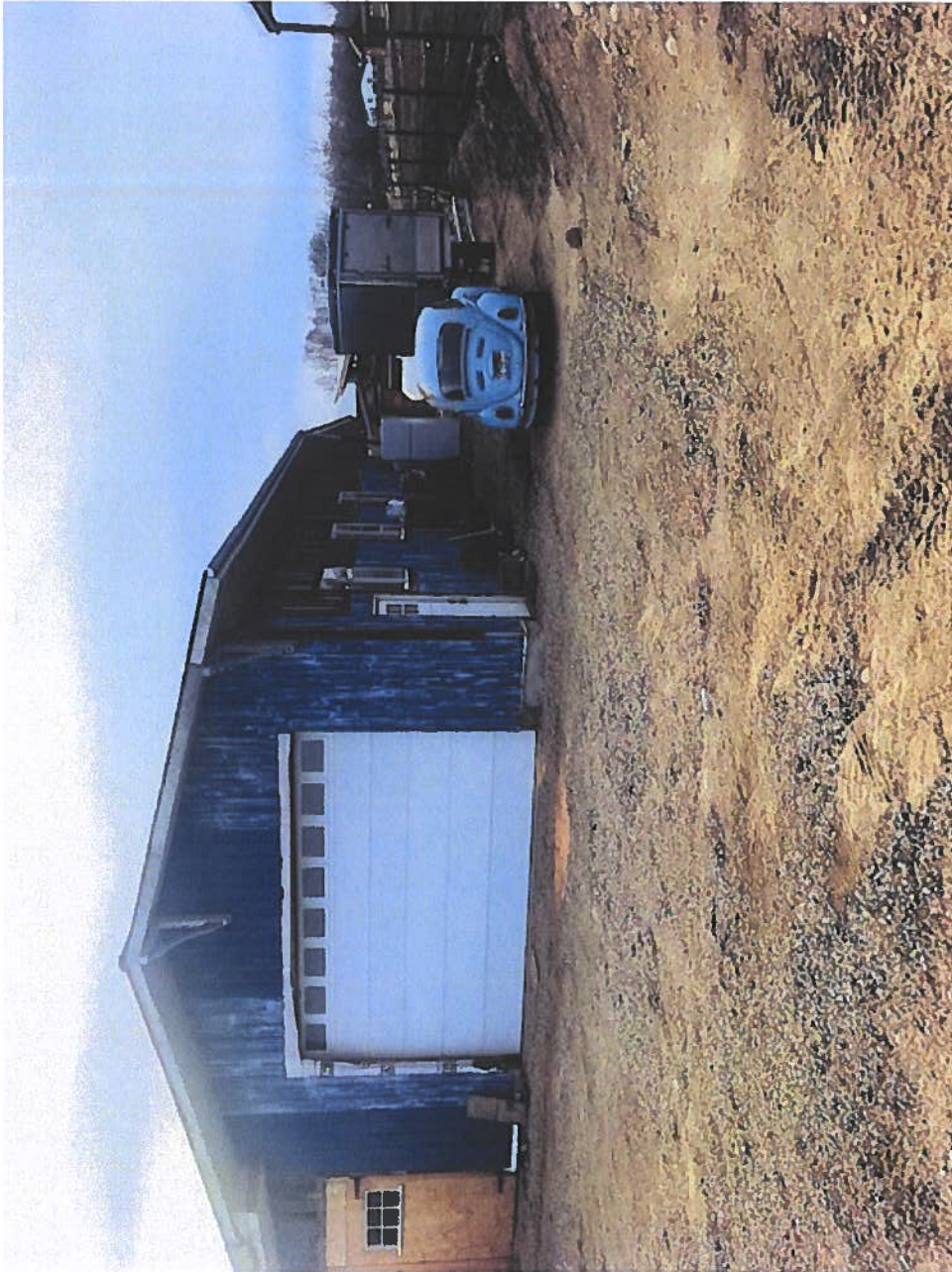
From: Gary Avise <avise.gary@gmail.com>

Sent: Monday, May 1, 2023 2:25 PM

To: Trevor Chadwick <tchadwick@staridaho.org>; Kevin Nielsen <knielsen@staridaho.org>; Jennifer Salmonsens <jsalmonsens@staridaho.org>; Kevan Wheelock <kwheelock@staridaho.org>; David Hershey <dhershey@staridaho.org>; Ryan Field <rfield@staridaho.org>

Subject: Public Hearing : Hood Rats Automotive Garage

I thought you should see what the proponent's other Hood Rats Garage currently looks like. Granted, this is in Canyon County with minimal code/ordinances in place, but the site is an eye sore. Please take note of the siding on the buildings as Newell Price stated during the required neighborhood meeting that the exterior was going to be covered in barnwood. The abandoned vehicles and stray parts strewn about must be conditioned. The location is directly on our Main Street through downtown Star. Please help to ensure that it is kept neat, clean and well maintained. Thanks, Gary Avise







LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **May 2, 2023** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Ridley's Commercial Rezone Development Agreement Modification

Representative/Owner: CJM Limited Liability Partnership

Action: The Applicant is seeking approval of a modification to the existing Development Agreement for the Ridley's Commercial property. The applicant is requesting approval from the Council of specific commercial land uses that are proposed in the commercial development in and around the Ridley's Market area. The property is located at 145 S. Plummer Way in Star, Idaho.

Property Location: The subject property is generally located on the south side of W. State Street between N. Seneca Springs Way and N. Plummer Way. Ada County Parcel No's. R7406730020, R7406730040, R7406730060, R7406730080, R7406730100 & R7406730120.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: Planning and Zoning Department *Shen T. Muth*

MEETING DATE: May 2, 2023 – PUBLIC HEARING

FILE(S) #: **DA-20-09-MOD Development Agreement Modification-Ridley’s Commercial Subdivision**

OWNER/APPLICANT/REPRESENTATIVE

OWNER/APPLICANT
CJM Limited Liability LP
Luke Howarth
10780 W. State Street #252
Star, Idaho 83669

REQUEST

Request: The Applicant requests approval of a modification to the existing Development Agreement for the Ridley’s Commercial property. The applicant is requesting approval from the Council of specific commercial land uses that are proposed in the commercial development in and around the Ridley’s Market area. The property is located at 145 S. Plummer Way in Star, Idaho. The subject property is generally located on the south side of W. State Street between N. Seneca Springs Way and N. Plummer Way. Ada County Parcel No’s. R7406730020, R7406730040, R7406730060, R7406730080, R7406730100 & R7406730120.

APPLICATION REQUIREMENTS

Application Accepted	April 12, 2023
Legal Notice Published	April 16, 2023
Property Posted	April 22, 2023

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3B-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

COMPREHENSIVE PLAN:

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

The applicant has requested a Development Agreement Modification to include requesting approval from the Council of specific commercial land uses that are proposed in the commercial development and are conditional uses in the CBD zone. These uses include:

- Drive-through establishment/drive-up service window

STAFF RECOMMENDATION

Staff recommends that only proposed drive-through establishments along W. State Street frontage be approved as permitted uses, and that any establishment that is adjacent to existing residential uses to the south be required to submit a conditional use permit for review and approval by Council.

COUNCIL DECISION

The Star City Council _____ File # DA-20-09 MOD for Ridley’s Commercial Subdivision on _____, 2023.



CJM Limited Liability LP
10780 W State Street #252
Star, Idaho 83669

April 12, 2023

City of Star
Attn: Planning and Zoning
10769 W State Street
Star, ID 83669

**RE: RESTING HERON RIVER COMMERCIAL SUBDIVISION – DEVELOPMENT
AGREEMENT MODIFICATION REQUEST**

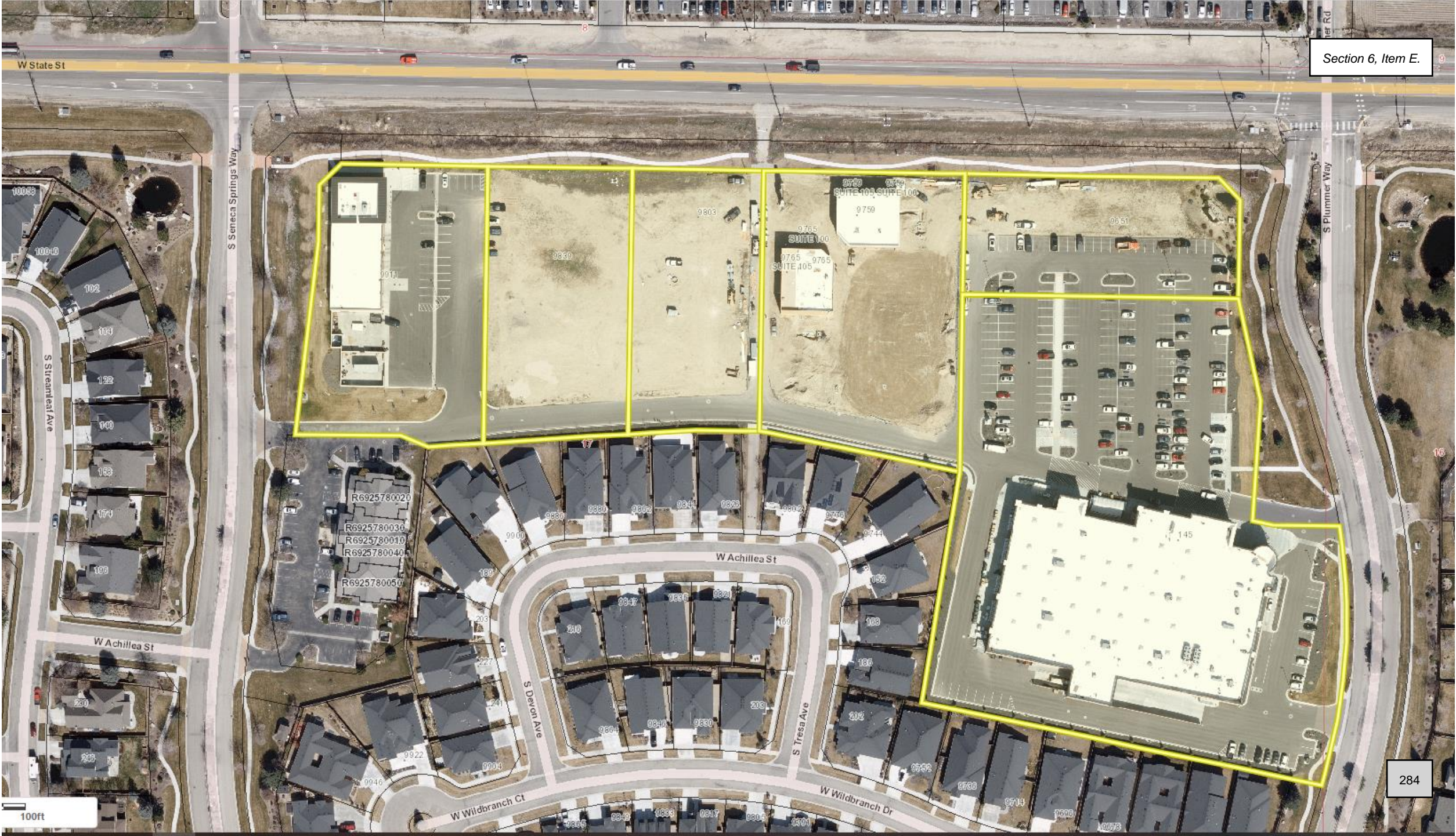
Dear Star Officials:

This letter shall serve as a formal request for a modification of the above-referenced development agreement. Specifically, the Owner, CJM LLLP, is requesting that the DA be modified to permit buildings with drive-thru access on all lots within the Subdivision. Our understanding is that this request needs to be put in front of City Council, and we'd respectfully request a slot at the May 2, 2023 meeting, if available. If you need any additional information or documentation regarding this matter, please feel free to contact me directly at (208) 751-0548.

Sincerely,

A handwritten signature in blue ink, appearing to read "Luke Howarth", with a stylized flourish at the end.

Luke Howarth
CJM Limited Liability LP
General Counsel



AN ORDINANCE AMENDING TITLE 2, CHAPTER 2, DEFINING PURPOSE, CREATING SECTION 2-2A-4 SECTION D AND 2-2B-3 SECTION D, CREATING FOR SEVERABILITY AND PROVIDING FOR AN EFFECTIVE DATE.

NOW THEREFORE, be it ordained by the Mayor and the City Council of the City of Star in Ada and Canyon Counties within the State of Idaho as follows:

SECTION 1 – Defining Purpose: The purpose of this amendment is to streamline the process for Liquor By the Drink, Beer and Wine Annual Licenses and reduce processing time for renewals.

SECTION 2 – Creating 2-2A-4 Section D and Creating 2-2b-3 D in Chapter 2 within Title 2 of the City of Star Municipal Code is hereby created.

2-2A-4 Section D shall read:

Administrative Approval of Liquor by the Drink License: If on any renewal of a Liquor by the Drink License is applied for, meets the requirements set forth within this Title and Chapter and all fees are paid within the allotted license time period, the application may be “Administratively Approved” by the City Clerk without further approval of the City Council.

2-2B-3 Section D shall read:

Administrative Approval of Beer and Wine License: If on any renewal of a Beer or Wine License is applied for, meets the requirements set forth within this Title and Chapter and all fees are paid within the allotted license time period, the application may be “Administratively Approved” by the City Clerk without further approval of the City Council.

SECTION 3 – SEVERABILITY CLAUSE Should any part or provision of this ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance in whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 4 – EFFECTIVE DATE This ordinance shall be in full force and effective from the date of passage, publication and signature of the Mayor according to law.

Passed and adopted by the City of Star Mayor and City Council _____, 2023

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer

Resolution TBD-2023 – Asset Disposal

Section 7, Item B.

A RESOLUTION OF THE CITY OF STAR, IDAHO WITHIN ADA AND CANYON COUNTIES, ESTABLISHING A POLICY OF DISPOSING OF CERTAIN CITY OWNED DEVICE & SOFTWARE PROGRAM ASSETS AS ROUTINE AND DECLARE THEM AS NON-CAPITAL ASSETS ASSUMING THEIR VALUE CURRENT VALUE IS UNDER \$100.

Electronic Devices	
Adding Machines & Calculators	Cameras
Computers & Laptops	Copiers
Fax Machines	Keyboards
Laminators & Binders	Modems & Routers
Monitors, Computer & Television	MP3 Type Recording Devices
Printers	Speakers
Tape Recorders	Telephones & Cellphones
Electronic Storage Devices	
Audio Tapes	Compact Discs
Floppy Discs	Hard Drivers
Software Programs	
Installation Software Programs	

It is hereby the policy of the Star City Council once a device has been determined to be of no further use to the City of Star, it may be donated, sold, or destroyed based on the recommendation of the Department Head and in agreement with the Information Technology Director / Contractor with the exception of storage devices where information may still be recorded in which those devices will be destroyed to protect possible personal information contained within them.

If the asset has a City of Star Asset Tag assigned or attached to it, the property shall be removed from the Asset Log and a list will be generated with the destructed property to be turned over to the Auditor on an annual basis.

If the asset is leased, it shall be returned to the lessor for credit if possible.

If the asset has an assumed value of over \$100 in its current condition, a Surplus Resolution shall be created, and the City Council shall have sole authority to dispose of the asset in accordance with Idaho State Code and the City of Star Policies at the time.

This resolution shall take effect and be in full force from its passage and approval.

APPROVED THIS _____ DAY OF _____ 2023

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk – Treasurer

RESOLUTION NO. TBD – 2023

A RESOLUTION OF THE CITY OF STAR REVISING THE STAR PARKS, ART & BEAUTIFICATION COMMITTEE MISSION STATEMENT.

WHEREAS, The Mayor of the City of Star charges the Parks, Art, and Beautification Committee (PABC) with stimulating awareness and appreciation of the importance of publicly accessible art and its benefits to the community, encouraging the growth and preservation of the city’s art resources, fostering the development of a receptive climate for the arts; and advising the City Council on the aesthetic aspects of art to be installed by the City of Star;

WHEREAS, the current Mission Statement of the PABC states: *The Parks, Arts, and Beautification Committee is a volunteer advisory committee tasked with supporting the parks system, promoting the arts, and beautifying community resources in the City of Star.*” and;

WHEREAS, the PABC recommends the Mission Statement be revised to: *“The Parks, Arts, and Beautification Committee is a volunteer advisory committee tasked with expanding public park amenities, bringing art into public spaces, beautifying the community, and supporting community events all with a specific goal to help foster the ‘home-town’ quality of living Star residents seek to preserve.”*

NOW, THEREFORE BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF STAR, IDAHO:

The new Mission Statement of the PABC is hereby adopted and approved.

ADOPTED by the City Council of the City of Star, Idaho, this 2nd day of May 2023.

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk - Treasurer