

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho  
Tuesday, March 05, 2024 at 7:00 PM

**PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.**

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Ministry Director Brian Tucker, Calvary Star Church
3. **ROLL CALL**
4. **PRESENTATIONS & PROCLAMATIONS**
  - A. **PROCLAMATION** - Girl Scout Week
5. **CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
  - A. **Claims**
  - B. **Approval of Minutes:** February 20, 2024 & January 16, 2024
  - C. **Final Plat** - Naismith Commons Phase 2 (**FILE: FP-23-20**)
6. **PUBLIC HEARINGS with ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
  - A. **PUBLIC HEARING - Utility Easement Vacation Trapper Ridge Subdivision (New Hope Subdivision) (FILE: VAC-23-02)** - The Applicant is seeking approval of a vacation of existing utility, drainage and irrigation easements within the new Trapper Ridge Subdivision and original New Hope Subdivision. The property is located at 11650 W. New Hope Road in Star, Idaho. (**ACTION ITEM**)
  - B. **PUBLIC HEARING: 10206 W State Street Development Agreement Modification (FILE: DA-20-16-MOD)** - The Applicant is requesting to modify the existing Development Agreement for the property located at 10206 W. State Street. The applicant seeks to remove the minimum square footage requirement for the commercial buildings located in the development. (**ACTION ITEM**)
  - C. **PUBLIC HEARING: Lake Haven Estates Annexation / Zoning / Development Agreement (FILE #'s AZ-24-01 & DA-24-01)** - The Applicant is requesting approval of an Annexation and Zoning (R-2), and a Development Agreement for a proposed 64.70-acre site to accommodate a future single family residential development. The property is located at 21831 Koa Lane in Star, Canyon County, Idaho. (**ACTION ITEM**)
  - D. **PUBLIC HEARING - Milepost Commons Subdivision (File #'s PP-23-05 & DA-23-07-MOD):** The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement Modification for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre. **TABLED FROM PREVIOUS MEETING (ACTION ITEM)**
7. **ACTION ITEMS:**
  - A. **Five Year Integrated Work Plan** - Approval of Recommendation of Integrated Work Plan for City of Star Projects to be included in the Ada County Highway District Plan (**ACTION ITEM**)
  - B. **Resolution 2024-010 - Asset Disposal:** Approval of Resolution to Dispose of Xerox Photocopier (**ACITON ITEM**)
  - C. **Findings of Fact / Conclusion of Law** - Lake Haven Estates Annexation, Zoning, Development Agreement (**FILE #'s AZ-24-01 & DA-24-01**) (**ACTION ITEM**)
8. **ADJOURNMENT**



CITY OF STAR, IDAHO  
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The meeting can be viewed via a link posted to the City of Star website at [staridaho.org](http://staridaho.org). Information on how to participate in a public hearing remotely will be posted to [staridaho.org](http://staridaho.org) under the meeting information. The public is always welcomed to submit comments in writing.

**Land Use Public Hearing Process**

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick

# CITY OF STAR *Idaho*



## PROCLAMATION

WHEREAS, March 12th marks the 112TH Anniversary of Girl Scouts of the USA, founded by Juliette Gordon Low in 1912 in Savannah, Georgia;

and WHEREAS, throughout its long and distinguished history, Girl Scouting has inspired millions of girls and women with the highest ideals of character, conduct, and patriotism, including the 6,000 current members of Girl Scouts of Silver Sage;

and WHEREAS, Girl Scouts of Silver Sage provides a space for its Girl Scouts to dream big, be themselves, and find adventure, they have made a difference in our community for many years;

and WHEREAS, every girl deserves the opportunity to thrive, and through its programming, Girl Scouts of Silver Sage works to ensure girls in our communities know they can do anything they put their minds to doing, and encourages them to feel empowered and embrace their unique strengths;

and WHEREAS, more than 2.6 million current Girl Scout members nationwide will be celebrating 112 years of this American tradition, with nearly 50 million women who are former Girl Scouts and living proof of the impact of this amazing Movement.

NOW, THEREFORE, I Trevor A. Chadwick , by the authority vested in me as Mayor of the City of Star, do hereby applaud the commitment Girl Scouting has made to America's girls and proudly proclaim the week of Sunday, March 10th as Girl Scout Week.

Signed this 5th day of March, 2024

Mayor Trevor A. Chadwick

CITY OF STAR  
Claim Approval List  
For the Accounting Period: 2/24  
For Pay Date: 02/16/24

Section 5, Item A.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3142		21 ADA COUNTY LANDFILL	17.92						
	2402100275	02/10/24 Landfill Fees	17.92*			10 41540	411		10110
		<b>Total for Vendor:</b>	<b>17.92</b>						
3143		1067 ANNIE PEW	78.28						
Ion Grant		02/13/24 Reimburse Before/After School	78.28*			10 101 44022	611		10110
		<b>Total for Vendor:</b>	<b>78.28</b>						
3144		1503 BOISE HUNTER HOMES	9,229.12						
	02/12/24	Refund Duplicate Fees	9,229.12*			10 41510	698		10110
		<b>Total for Vendor:</b>	<b>9,229.12</b>						
3145		1475 CANON FINANCIAL SERVICES, INC	256.24						
	32087879	02/10/24 Copier Lease City Hall	128.12*			10 41810	742		10110
	32087879	02/10/24 Copier Lease Rec Center	128.12*			10 44022	742		10110
		<b>Total for Vendor:</b>	<b>256.24</b>						
3146		231 DANA PARTRIDGE	2,785.87						
	02/16/24	Services Feb 2 - Feb 15, 2024	2,666.47*			10 41140	351		10110
	02/16/24	Canva Subscription (5 qty)	119.40*			10 41810	751		10110
		<b>Total for Vendor:</b>	<b>2,785.87</b>						
3147		333 GERRI MCCORKLE	66.20						
Reimbursement for Parks, Art and Beautification Planning Meeting		02/03/24 Reimburse Albertsons Coffee	21.20*			10 45130	586		10110
		02/02/24 Reimburse Albertsons Drinks	7.93*			10 45130	586		10110
		02/01/24 Reimburse Costco Food Trays	37.07*			10 45130	586		10110
		<b>Total for Vendor:</b>	<b>66.20</b>						
		<b># of Claims</b>	<b>6</b>	<b>Total:</b>	<b>12,433.63</b>	<b># of Vendors</b>	<b>6</b>		

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3142		21 ADA COUNTY LANDFILL	17.92						
	2402100275	02/10/24 Landfill Fees	17.92*			10 41540	411		10110
		<b>Total for Vendor:</b>	<b>17.92</b>						
3143		1067 ANNIE PEW	78.28						
Ion Grant		02/13/24 Reimburse Before/After School	78.28*			10 101 44022	611		10110
		<b>Total for Vendor:</b>	<b>78.28</b>						
3144		1503 BOISE HUNTER HOMES	9,229.12						
	02/12/24	Refund Duplicate Fees	9,229.12*			10 41510	698		10110
		<b>Total for Vendor:</b>	<b>9,229.12</b>						
3145		1475 CANON FINANCIAL SERVICES, INC	256.24						
	32087879	02/10/24 Copier Lease City Hall	128.12*			10 41810	742		10110
	32087879	02/10/24 Copier Lease Rec Center	128.12*			10 44022	742		10110
		<b>Total for Vendor:</b>	<b>256.24</b>						
3149		1152 GARRETT PARKS AND PLAY	62,902.70						
	3376	02/13/24 Pickleball Net Inground Posts	3,728.70*			10 709 45110	738		10110
	3376	02/13/24 Inground Posts Installation	990.00*			10 709 45110	738		10110
	3376	02/13/24 Chain Link Fence/Gates Install	39,495.00*			10 709 45110	738		10110
	3377	02/13/24 Concrete Section of Sidewalk	14,839.00*			10 709 45110	738		10110
	3377	02/13/24 Excavation/Base/Elec Extension	3,850.00*			10 709 45110	738		10110
		<b>Total for Vendor:</b>	<b>62,902.70</b>						
3148		331 GEM STATE PAPER & SUPPLY COMPANY	34.34						
	3085500-02	02/14/24 Cleaning Supplies	34.34*			10 41540	611		10110
		<b>Total for Vendor:</b>	<b>34.34</b>						
3147		333 GERRI MCCORKLE	66.20						
Reimbursement for Parks, Art and Beautifcation Planning Meeting		02/03/24 Reimburse Albertsons Coffee	21.20*			10 45130	586		10110
		02/02/24 Reimburse Albertsons Drinks	7.93*			10 45130	586		10110
		02/01/24 Reimburse Costco Food Trays	37.07*			10 45130	586		10110
		<b>Total for Vendor:</b>	<b>66.20</b>						

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3152		777 HERITAGE LANDSCAPE SUPPLY GROUP	1,307.18						
		Continuing education for Antonio, Lonnie, Matt, Clinton and Andrew							
	7327-001	02/12/24 Popup Sprinklers 40	595.60*			10 41540	434		10110
	7327-001	02/12/24 PVC Cement	325.20*			10 41540	434		10110
	7327-001	02/12/24 PVC Primer	261.38*			10 41540	434		10110
	6083-001	02/16/24 Continuing Education	125.00*			10 41540	434		10110
		<b>Total for Vendor:</b>	<b>1,307.18</b>						
3150		373 HORIZON	1,280.88						
	3L224514	01/19/24 Cutter Assys	385.02*			10 41540	434		10110
	3L224521	01/19/24 Credit Memo - Returned Blade	-70.32*			10 41540	434		10110
	3L224989	02/09/24 Tools	966.18*			10 41540	613		10110
		<b>Total for Vendor:</b>	<b>1,280.88</b>						
3151		377 HUBBLE HOMES LLC	2,180.71						
	02/12/24	Duplicate Permit - Refund	2,180.71*			10 41510	698		10110
		<b>Total for Vendor:</b>	<b>2,180.71</b>						
3154		398 IDAHO POWER COMPANY	3,402.04						
	0033022594	02/13/24 1000 S MAIN ST / PUMP	41.38*			10 41540	412		10110
	0033022589	02/13/24 10769 W STATE ST / CITY HA	577.30*			10 41810	412		10110
	0033022563	02/13/24 10775 W STATE ST / STAR OU	104.96*			10 41810	412		10110
	0033022576	02/13/24 11225 W BLAKE DR / BLAKE P	154.06*			10 41540	412		10110
	0033157130	02/13/24 11380 W HIDDEN BROOK	44.74*			10 41540	412		10110
	0033207654	02/13/24 11665 W STATE ST A	195.99*			10 41540	412		10110
	0033207655	02/13/24 11665 W STATE ST A1	185.71*			10 41540	412		10110
	0030885171	02/13/24 11665 W STATE ST C	117.13*			10 41540	412		10110
	0033022554	02/13/24 1250 N STAR RD / HUNTERS P	73.88*			10 41540	412		10110
	0033022592	02/13/24 1300 N STAR RD / HC ENTRY	66.62*			10 41540	412		10110
	0033022572	02/13/24 1310 N LITTLE CAMAS / SHOP	126.86*			10 41540	412		10110
	0033022587	02/13/24 1500 N STAR RD	636.36*			10 41540	412		10110
	0033246240	02/13/24 946 S MAIN ST	10.34*			10 41810	413		10110
	0033075641	02/13/24 HIGHBROOK / HWY 44 STRT LI	51.47*			10 41810	413		10110
	0030204591	02/13/24 HUNTER'S CREEK STRT LIGHTS	15.31*			10 41810	413		10110
	0033022596	02/13/24 BLAKE SPRINKLER ELECT	3.74*			10 41540	412		10110
	0033022580	02/13/24 STATE/PLUMMER STRT LIGHTS	13.77*			10 41810	413		10110

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	0033022584	02/13/24 STRT LIGHTS STAR	380.65*			10 41810	413		10110
	0030204606	02/13/24 STRT LIGHTS / BLAKE PARK	17.86*			10 41810	413		10110
	0032863989	02/13/24 960 S MAIN ST	547.04*			10 41810	412		10110
	0032863988	02/13/24 960 S MAIN ST	36.87*			10 41810	412		10110
		<b>Total for Vendor:</b>	<b>3,402.04</b>						
3153		399 IDAHO PRESS TRIBUNE	194.70						
	42312	02/11/24 Legal/Pub Notice PH 3/5/24	93.69*			10 41510	530		10110
	42510	02/18/24 Legal/Pub Notice PH 3/5/24	101.01*			10 41510	530		10110
		<b>Total for Vendor:</b>	<b>194.70</b>						
3155		412 IDAHO TOOL AND EQUIPMENT	804.83						
	2402065441	02/20/24 Hand Tools and Parts	804.83*			10 41540	613		10110
		<b>Total for Vendor:</b>	<b>804.83</b>						
3156		642 NAPA AUTO PARTS	33.28						
	262183	02/20/24 Coolant Fan Switch	9.29*			10 41540	437		10110
	102097	02/20/24 Threadlocker	23.99*			10 41540	437		10110
		<b>Total for Vendor:</b>	<b>33.28</b>						
3157		656 OFFICE SAVERS ONLINE	5.69						
	10482	02/12/24 Call Bell	5.69*			10 41510	610		10110
		<b>Total for Vendor:</b>	<b>5.69</b>						
3158		686 PORTAPROS LLC	259.20						
	121435V-1	02/15/24 Dog Park	259.20*			10 41540	411		10110
		<b>Total for Vendor:</b>	<b>259.20</b>						
3161		772 SHERWIN WILLIAMS	6,615.12						
	0976-9	02/09/24 Paint	6,615.12*			10 41540	434		10110
		<b>Total for Vendor:</b>	<b>6,615.12</b>						
3160		780 SIMPLOT TURF & HORTICULTURE	2,686.40						
	216069765	02/18/24 Products for Grounds	2,686.40*			10 41540	435		10110
		<b>Total for Vendor:</b>	<b>2,686.40</b>						

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3159		805 STAR CHAMBER OF COMMERCE	150.00						
		Delayed Payment - This invoice was never received to pay							
		1462 03/01/23 Membership Public Utilities	150.00*			10 41810	570		10110
		<b>Total for Vendor:</b>	<b>150.00</b>						
3162		898 TREASURE VALLEY COFFEE	277.49						
		10218185 02/13/24 City Hall Coffee/Water	70.92*			10 41810	610		10110
		10218199 02/13/24 Bldg Maint First Aid/Coffee	206.57*			10 41540	610		10110
		<b>Total for Vendor:</b>	<b>277.49</b>						
3163		1295 VALLEY OFFICE SYSTEMS	290.86						
		AR1264500 02/16/24 Monthly Lease - Copier	163.93*			10 41810	610		10110
		AR1264500 02/16/24 Contract Overage Charge	126.93*			10 41810	610		10110
		<b>Total for Vendor:</b>	<b>290.86</b>						
3164		935 VERIZON WIRELESS	846.20						
		Charges for 19 Phone Lines and 1 Jetpack							
		9955635348 02/01/24 Montly Cell Phone Charge	846.20*			10 41810	416		10110
1		<b>Total for Vendor:</b>	<b>846.20</b>						
		<b># of Claims</b>	<b>22</b>	<b>Total:</b>	<b>92,919.38</b>	<b># of Vendors</b>	<b>22</b>		



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Section 5, Item A.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3165		816 STAR SEWER & WATER DISTRICT	26,000.00						
	2020 Ford	02/20/24 Purchase of Truck	26,000.00*			10 41510	746		10110
		<b>Total for Vendor:</b>	<b>26,000.00</b>						
		<b># of Claims</b>	<b>1</b>	<b>Total:</b>				<b># of Vendors</b>	<b>1</b>

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Section 5, Item A.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3168		22 ADA COUNTY PROSECUTORS OFFICE FEB 2024 01/25/24 Prosecutions Contract	2,630.14 2,630.14*			10 42110	322		10110
		<b>Total for Vendor:</b>	<b>2,630.14</b>						
3169		27 ADVANCED SIGN LLC *0009722-1 01/19/24 Sidewalk Closed Signs	84.00 84.00*			10 41540	435		10110
		<b>Total for Vendor:</b>	<b>84.00</b>						
3167		1504 AIPWP 2024-200 02/12/24 Annual Membership 2024	10.00 10.00*			10 41810	570		10110
		<b>Total for Vendor:</b>	<b>10.00</b>						
3166		1067 ANNIE PEW	272.13						
		Ion Grant							
		02/20/24 Reimburse Before/After School	134.56*			10 101 44022	611		10110
		02/20/24 Reimburse Mental Health Activi	137.57*			10 44022	610		10110
		<b>Total for Vendor:</b>	<b>272.13</b>						
3170		116 BOISE METRO CHAMBER	496.00						
		Membership dues from 04/01/24 to 03/31/25							
		5825948 02/22/24 Membership Dues	496.00*			10 41810	570		10110
		<b>Total for Vendor:</b>	<b>496.00</b>						
3171		120 BOISE VALLEY ECONOMIC	2,500.00						
		5823916 12/19/23 BVEP Dues 2/1/24 to 1/31/25	2,500.00*			10 41810	570		10110
		<b>Total for Vendor:</b>	<b>2,500.00</b>						
3172		1312 CAPITAL PAVING COMPANY INC	53,065.59						
		Engineer's Project No 203010-464 State Highway 44, Bent Lane to Star Road							
		02/06/24 SH-44 Construction App #10	53,065.59*			10 500 45110	760		10110
		<b>Total for Vendor:</b>	<b>53,065.59</b>						
3174		1217 CATHERINE COSTA	43.73						
		02/24/24 Before/After School Program	43.73*			10 44022	352		10110
		<b>Total for Vendor:</b>	<b>43.73</b>						

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3173		331 GEM STATE PAPER & SUPPLY COMPANY	308.52						
	3085747	02/21/24 Airworks Air Freshener	36.24*			10 41540	611		10110
	3085500-03	02/21/24 Cart and Cabinet	272.28*			10 41540	611		10110
		<b>Total for Vendor:</b>	<b>308.52</b>						
3177		373 HORIZON	2,601.09						
	3L225285	02/20/24 Broom Head	225.80*			10 41540	434		10110
	3L225198	02/20/24 Multiple Grounds Equipment	2,375.29*			10 41540	434		10110
		<b>Total for Vendor:</b>	<b>2,601.09</b>						
3176		1344 HORROCKS	686.58						
	83528	02/07/24 SH-44 CE&I Progress Pay App 11	686.58*			10 500 41510	331		10110
		<b>Total for Vendor:</b>	<b>686.58</b>						
3184		382 IDAHO CENTRAL CREDIT UNION	8,249.50						
		Visa Charges from 12/22/23 to 1/21/24							
		12/22/23 Chadwick	1,738.49*			10 41810	611		10110
		12/22/23 Qualls	2,432.69*			10 41810	611		10110
		12/22/23 Little	184.95*			10 41810	611		10110
		12/22/23 Field	3,893.37*			10 41810	611		10110
		<b>Total for Vendor:</b>	<b>8,249.50</b>						
3178		1064 MAGIC PLUMBING	195.00						
	02/22/24	Refund Permit Double Payment	195.00*			10 41510	698		10110
		<b>Total for Vendor:</b>	<b>195.00</b>						
3175		605 MERIDIAN TROPHY	26.95						
	M9584817	02/24/24 Sponsor Plaque	26.95*			10 44022	699		10110
		<b>Total for Vendor:</b>	<b>26.95</b>						
3179		686 PORTAPROS LLC	159.20						
	128708E-1	02/22/24 River House	159.20*			10 41540	411		10110
		<b>Total for Vendor:</b>	<b>159.20</b>						

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3182		721 ROBERT P LITTLE	4,580.82						
	116191	02/23/24 B&G Contracted Services	4,895.84*			10 41540	351		10110
		Life Insur 02/23/24 Life Insurance	-261.02			10 41540	215		10110
		Vision Ins 02/23/24 Spousal Vision Insurance	-13.00*			10 41540	211		10110
		Dental Ins 02/23/24 Spousal Dental Insurance	-41.00*			10 41540	212		10110
		<b>Total for Vendor:</b>	<b>4,580.82</b>						
3180		729 ROOTS ROCK & STORAGE	2,020.00						
	4881	02/22/24 Red Lava Fines	2,020.00*			10 41540	735		10110
		<b>Total for Vendor:</b>	<b>2,020.00</b>						
3181		791 SOUTHERN COMPUTER WAREHOUSE	6,637.21						
	00802042	02/16/24 Exchange Online Plan 1	1,357.18*			10 41810	751		10110
	00802042	02/16/24 Microsoft Office 365	5,280.03*			10 41810	751		10110
		<b>Total for Vendor:</b>	<b>6,637.21</b>						
3183		1355 THE STAR COURIER NEWSPAPER	371.40						
	1984	02/22/24 Rec Dept Advertising	166.80*			10 44022	530		10110
	2031	02/22/24 City Hall Advertising	204.60*			10 41810	530		10110
		<b>Total for Vendor:</b>	<b>371.40</b>						
		<b># of Claims</b>	<b>19</b>	<b>Total:</b>	<b>84,937.86</b>	<b># of Vendors</b>	<b>19</b>		

CITY OF STAR  
Claim Approval List  
For the Accounting Period: 2/24  
For Pay Date: 02/26/24

Section 5, Item A.

Claim/	Check	Vendor #/Name/ Invoice #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3185		183 CINDY TINKER	159.13						
		Reimbursement for Daunt's Retirement							
	02/23/24	Daunt's Retirement Amazon	77.33*			10 41810	699		10110
	02/23/24	Daunt's Retirement Ridleys	55.01*			10 41810	699		10110
	02/17/24	Daunt's Retirement Zurchers	26.79*			10 41810	699		10110
		<b>Total for Vendor:</b>	<b>159.13</b>						
3189		1383 JOHN DEERE FINANCIAL	512.80						
	357934M	02/06/24 Mulch	283.50*			10 41540	435		10110
	357935M	02/06/24 Seals and Labor	229.30*			10 41540	437		10110
		<b>Total for Vendor:</b>	<b>512.80</b>						
3186		737 RYAN FIELD	104.67						
		Reimburesment for Daunt's Retirement							
	02/20/24	Daunt's Retirement Ridleys	35.99*			10 41810	699		10110
	02/22/24	Daunt's Retirement Ridleys	68.68*			10 41810	699		10110
		<b>Total for Vendor:</b>	<b>104.67</b>						
3187		767 SHAWN NICKEL	89.22						
	02/26/24	Reimburse Remarkable Fees	71.76*			10 41510	324		10110
	06/13/23	Reimburse Kitchen Supplies	17.46*			10 41810	610		10110
		<b>Total for Vendor:</b>	<b>89.22</b>						
3188		818 STAR STORAGE LLC	429.75						
	02/26/24	Unit C04 March 2024	175.00*			10 41810	699		10110
	02/26/24	Unit C08 March 2024	155.00*			10 41810	699		10110
	02/26/24	Unit C06 March 2024	99.75*			10 41810	699		10110
		<b>Total for Vendor:</b>	<b>429.75</b>						
		<b># of Claims</b>	<b>5</b>	<b>Total:</b>	<b>1,295.57</b>	<b># of Vendors</b>	<b>5</b>		

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday February 20, 2024 at 7:00 PM

**1. CALL TO ORDER –**

Mayor Chadwick called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance.

**2. INVOCATION –**

Bishop Tommy Walke from the Church of Jesus Christ of Latter-Day Saints offered the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS** – Mayor Trevor Chadwick, Council President David Hershey, and Council Members Kevan Wheelock, Jennifer Salmonsens, and Kevin Nielsen were present.

**STAFF** – City Planner/Zoning Administrator Shawn Nickel, Assistant City Planner/Code Enforcement Official Ryan Field, Public Information Officer Dana Partridge, Deputy City Clerk Barbara Conly, City Engineer Ryan Morgan, Star Police Chief Zach Hessing, Mid/Star Fire Chief Greg Timinsky, and Mid/Star Deputy Fire Chief Victor Islas were present.

**4. PRESENTATIONS****A. New Deputy Introductions**

Chief Hessing introduced new Star Police members Deputy Ryan Vail & Deputy Levi Glynn, noting their extensive experience and that these were two of the five positions approved in October 2023. Hessing explained that one more deputy is planned to start in March, which will mean the department is fully staffed at that time in terms of population metrics. Hessing also shared that Deputy Vail and Deputy Turner were recently honored as Deputies of the Year by the Ada County Sheriff's Office.

**B. Star Police Chief Monthly Report Presentation**

Chief Hessing utilized a slide presentation to depict the January 2024 Police Report, noting that there were four person crimes, three property crimes, and fourteen society crimes for the month, emphasizing the proactive policing approach.

Mayor Chadwick thanked Chief Hessing and updated everyone that the fentanyl bill passed the State House and Senate and would now be placed before the Governor. He encouraged citizens to write the Governor in support of the bill.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday February 20, 2024 at 7:00 PM

**C. Star Fire Chief Monthly Report Presentation**

Chief Timinsky presented the Fire department report for the month of January 2024. He noted that there were 119 calls, broken down by type as follows: six Hazard, eighteen Service, eighteen "Good Intent," three False Alarm, and two other calls classified as Other. Timinsky noted that the Fire department planned to hire a new staffer in the next few months. He also mentioned that new service lights will be installed soon at the station.

Council Member Wheelock inquired what the "Good Intent" category meant. Timinsky replied that it could be a few different types of situations, but some possibilities might include a call that was cancelled en route (often owing to fire detectors) and saving animals (such as ducks in the Springtime).

**5. CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.***A. Approval of Claims****B. Findings of Fact / Conclusion of Law** - Talega Village (FILES: AZ-22-11, RZ-22-03, CUP-22-05, DA-22-12, PP-22-15 & PR22-08)**C. Findings of Fact / Conclusion of Law** - Milestone Ranch Subdivision Phase 6 (FILE: FP-23-11)**D. Findings of Fact / Conclusion of Law** - Calvary Chapel Church (FILE: CU-23-08)**E. Findings of Fact / Conclusion of Law:** Keely Live Work Rezone & Conditional Use Permit (FILE #'s: RZ-23-04; DA-23-06 & CU-23-07)

- Council President Hershey moved to approve Item 5, the Consent Agenda. Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Salmonsén – abstain for 5B and 5D but aye for 5A, 5C, and 5E; Nielsen – aye. Motion carried.

**6. PUBLIC HEARINGS with ACTION ITEMS:****A. PUBLIC HEARING - Starpointe Subdivision Phase 2 (FILES: AZ-23-03, DA-21-09 MOD, PP-23-02, PR-23-02 & PP-21-10)** - The Applicant is requesting approval of an Annexation and Zoning (R-4), a Development Agreement Modification, a Preliminary Plat for a proposed residential subdivision consisting of 12 residential lots and 2 common lots, a private street and an amendment to the original Starpointe Subdivision Preliminary Plat. The property is located at 6777 and 6825 N. Star Road in Star, Idaho, and consists of 3.08 acres with a proposed density of 3.89 dwelling units per acre. (Previously Noticed for October 3, 2023 / January 16, 2024) (ACTION ITEM)

Mayor Chadwick explained the rules of the public hearing. He asked if the Council had any ex parte communication to report and, hearing none, opened the public hearing at 7:21 a.m.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday February 20, 2024 at 7:00 PM

**Staff presentation:**

Shawn Nickel provided a brief overview of the project utilizing a slide presentation. Nickel explained that the project was originally scheduled for the October 3, 2023 City Council agenda but was tabled. He noted that the project was designated as R-4-DA in the development agreement, a preliminary plat for twelve properties, a private street, and an amendment to the original Starpointe subdivision project plat.

Nickel pointed out that the subject property is located at 6777 and 6825 N. Star Road and will have a density of 3.89. He noted that all substantive issues had been resolved, the application has been reviewed with respect to the City's Comprehensive Plan and Zoning Code, and that there were no late exhibits.

Nickel summarized that the items under consideration this evening included a letter from the neighboring property owner of the land located to the south, approval of relevant setbacks, pathways, fencing, reduced street width request, and a potential waiver of detached sidewalks.

**Applicant presentation:**

**Teller Bard of Kimley Horn, 1100 W. Idaho Street, Boise, and Kody Daffer of Criterion Land Management, 1861 S. Wells Avenue, Meridian,** appeared on behalf of the applicant.

Bard utilized a slide presentation to describe the proposed Starpointe Subdivision Phase II, explaining that it involved an annexation and development agreement and was planned at R-4-DA with a modification to include a new parcel. Referencing the preliminary plat rendering, Bard pointed out the proposed private road, frontage, intersection, and relevant landscaping.

Mr. Bard noted that the proposed density was 3.89, and that there would be forty-nine parking spaces (four per unit). With respect to setbacks, he pointed out the R-4 zoning with a development agreement request to modify setbacks and have sidewalks attach to the existing ones on Inspirado Drive. Specifically, lots 5 and 9 would have a five-foot setback and lot 14 would have a twenty-foot setback.

With respect to Open Space, Bard stated that the proposed 1.8 acres provided 58% open space vs. the required 15%. In addressing points provided in the Staff Report, Bard mentioned that clarity was needed on the pathway at the canal and on fencing. He noted the canal company needs to be able to move back and forth on the canal access road. Per neighborhood parking, Bard explained that it was not planned for the development to have on-street parking in order to preserve Fire Department access. The applicant stood for questions.



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
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Council Member Salmonsens asked if this later Phase 2 development was going to be included with the original Starpointe. Bard replied that with respect to the private road, maintenance would fall on the Phase 2 homeowners rather than Phase 1. However, the Phase 2 members would belong to the same HOA with respect to other amenities and upkeep. Kody Daffer provided initial data on the street maintenance plan.

Mayor Chadwick asked Deputy Fire Chief Islas to comment on the street width and setbacks. Islas stated MidStar Fire was okay with the front and back of properties, and that enough information was provided by the developer in order for his entity to approve. He verified the setbacks were acceptable in terms of fire engine access.

Council discussion surrounded the private road and how that would be enforced, given that Star Police would not be able to enforce things such as "no parking" rules on a private road. Bard verified that the HOA would deal with enforcement via the CC&R's and maintaining a tow company. Kody Daffer commented that he was fine with CC&R's, as long as the attorney was able to set the appropriate wording. City Attorney Yorgason remarked that he has no problem with the parking enforcement topic, that the CCNR can assign "no parking," and that signage would provide a visual deterrent. Yorgason verified this could be addressed in the development agreement.

Council discussion moved to the topic of the proposed 12<sup>th</sup> unit which would be located by Star Road, and elements of safety with respect to driveway access and use. Mayor Chadwick asked Deputy Fire Chief Islas if he found the design acceptable. Islas replied that it was a double hammerhead design, and that it was acceptable.

**Public Comment:**

None was offered.

**Applicant Rebuttal:**

Bard reviewed the Staff Report comment slide and summarized the condition update as made in his presentation.

Council Member Salmonsens expressed continued concern over the driveway configuration of the proposed 12<sup>th</sup> unit.

Council President Hershey asked about the neighbor letter. Bard indicated the neighbor's concern was solvable from the west of the property and he does not feel that the project under consideration is applicable.

**CITY COUNCIL REGULAR MEETING MINUTES**

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Council Member Wheelock addressed the inside corner tree and asked for a smaller tree to be utilized in order to preserve visibility for drivers.

Mayor Chadwick closed the public hearing at 7:58 p.m.

**Council Deliberation:**

Hershey expressed support for the project, noting the Fire Department has given their blessing. For the driveway at Lot #12, Hershey said he felt the design issue can be worked out between the developer and City Staff.

Mayor Chadwick asked City Planner Nickel to summarize the conditions of approval based on the hearing's discussion.

Mr. Nickel summarized the list as follows: to include Staff Report condition #3 (street condition update), add a "no parking" condition into the CC&R's, corner trees to be smaller, allowances for waivers and setbacks, and to work with City Staff with respect to the driveway design of Lot #12.

Council discussion moved to the topic of a potential canal easement, and concerns over attempting to create an easement when it may or may not be appropriate in the eyes of the canal company. Mayor Chadwick suggested using the wording "potential future public easement," in order to allow for future feedback from the canal company. It was decided to include this topic as a condition of approval.

Council discussion on how the landscaping buffer would be addressed if lots 9, 10, 11, and 12 were moved forward. City Planner Nickel noted there is some leeway, and the applicant's plan would be to shift the building to allow for a possible parking/driveway adjustment for Lot #12. He recommended that City Staff work with the applicant on the driveway configuration with respect to Lots #11 and #12.

- Council President Hershey moved to approve the Starpointe Subdivision Phase 2 (FILES: AZ-23-03, DA-21-09 MOD, PP-23-02, PR-23-02 & PP-21-10) including an annexation and zoning (R-4), a development agreement, and a preliminary plat with the following conditions of approval: condition #3 from the City Staff report with respect to street conditions (that private streets shall have a minimum street width of 36' with detached sidewalks, and shall be constructed to ACHD standards, unless a waiver is granted by Council), adding a "no parking" requirement into the CCNR, developer to work with City staff to agree upon smaller street trees, allowances for waivers on setbacks, that the developer work with City staff with respect to the driveway configuration on Lot #12, and the pursuit of a potential future public easement along the canal; Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey - aye; Wheelock - aye; Salmonsens - aye; Nielsen - aye. Motion carried.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday February 20, 2024 at 7:00 PM

**7. ACTION ITEMS:**

- A. **Memorandum of Understanding** - Boise River Greenbelt System Enforcement - An agreement of understanding between Ada County Sheriff's Office (including contracted cities), the City of Boise and Garden City Police Departments outlining the Peace Officer Authority, Prosecution and Investigation Cooperation and certain Miscellaneous Provisions including attachments (**DISCUSSION / ACTION ITEM**)

Spencer Lay, in-house legal counsel for the Ada County Sheriff's Office, explained the proposed Memorandum of Understanding (MOU) for shared policing on the Greenbelt. He noted perhaps only 2% of the population were "bad actors" (i.e., people who will cause trouble or have criminal intent) on the Greenbelt, and the MOU was to set up a low-level basic understanding of how policing could be handled in terms of jurisdiction shifts. The MOU would allow for cross-deputization across the boards, and the ability for police to operate under a single code.

Council discussion noted it was good to have a baseline ordinance, especially since the Star Riverwalk is under increased use. Lay noted this does not bar the City Council from more restrictive code, it just sets a baseline.

- Council Member Salmonsens moved to approve the Memorandum of Understanding between the Ada County Sheriff's office (including contracted cities), the City of Boise, and Garden City Police Departments outlining the Peace Officer Authority, Prosecution, and investigation Cooperation and certain Miscellaneous Provisions, and to direct Star Police Chief Zach Hessing and City Attorney Chris Yorgason to sign the agreement on behalf of the City of Star; Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey - aye; Wheelock - aye; Salmonsens - aye; Nielsen - aye. Motion carried.

- B. **Master Pathway Agreement** - Approval of Master Pathway Agreement with Drainage District #2 (**ACTION ITEM**)

City Attorney Yorgason noted this new agreement is the mirror of the previous master pathway agreement, and the agreement is being proposed to set forth and streamline all process so it can be identified throughout the City's various stages of development.

- Council President Hershey moved to approve the Master Pathway Agreement with Drainage District #2; Council Member Salmonsens seconded the motion. ROLL CALL VOTE: Hershey - aye; Wheelock - aye; Salmonsens - aye; Nielsen - aye. Motion carried.

- C. **Building Services Vehicle Purchase** - Approve Purchase of Used Truck (2020 Ford F150 VIN # 1FTFW1E59LKD90107) in the amount of \$26,000.00 from Star Sewer and Water District (**ACTION ITEM**)

Mayor Chadwick mentioned a new building official and building inspector were recently hired, and there is now a need for a second vehicle so both can conduct inspections. He explained that the fund would come from savings.



## CITY COUNCIL REGULAR MEETING MINUTES

City Hall - 10769 W State Street, Star, Idaho  
Tuesday February 20, 2024 at 7:00 PM

- Council President Hershey moved to approve the purchase of a Used Truck (2020 Ford F150 VIN # 1FTFW1E59LKD90107 in the amount of \$26,000.00 from Star Sewer and Water District; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey - aye; Wheelock - aye; Salmonsens - aye; Nielsen - aye. Motion carried.

D. **Reconsideration:** Milled Olive Conditional Use Permit - Consideration of Milled Olive Conditional Use Permit decision (**ACTION ITEM**)

City Planner Nickel explained the request was for a reconsideration of the Milled Olive conditional use permit with respect to specified conditions on the hours of operation and ability to have music available on the property.

Council President Hershey noted he was not present during the original public hearing, and he feels the stated music limitation is too restrictive. Council Member Nielsen asked for clarification on how the request complies with City Code.

City Attorney Yorgason explained there are several standards which must be applied in order to have the City Council be able to reconsider the matter, including the applicant must make the request in writing, the fee be paid no fewer than fourteen days in advance, the application must state the basis for the request for reconsideration and the specific issues, all relevant information must be provided, and any new information which was not previously available should be able to be presented at the time of reconsideration.

- Council President Hershey moved to approve the reconsideration of the Milled Olive Conditional Use Permit, limited to the specific items requested for reconsideration and to be scheduled as a public hearing at an upcoming Star City Council meeting; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey - aye; Wheelock - aye; Salmonsens - aye; Nielsen - aye. Motion carried.

### 8. ADJOURNMENT

Mayor Chadwick adjourned the Star City Council meeting at 8:37 p.m.

\_\_\_\_\_  
Trevor A Chadwick, Mayor

ATTEST: \_\_\_\_\_  
Jacob M Qualls, City Clerk – Treasurer

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday January 16, 2024 at 7:00 PM

**1. CALL TO ORDER – Welcome/Pledge of Allegiance**

Mayor Trevor Chadwick called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance.

**2. INVOCATION –**

Bishop Scott Snelders of the second ward of the Church of Jesus Christ of Latter-day Saints provided the invocation.

**3. ROLL CALL**

**ELECTED OFFICIALS** - Mayor Trevor Chadwick, Council President David Hershey, Council Member Kevan Wheelock, and Council Member Kevin Nielsen were all present. Council Member Jennifer Salmonsens was absent/excused due to travel.

**STAFF** – City Planner/Zoning Administrator Shawn Nickel, Assistant City Planner/Code Enforcement Official Ryan Field, Public Information Officer Dana Partridge, Deputy City Clerk Barbara Conly, City Engineer Ryan Morgan, Star Police Chief Zach Hessing, Mid/Star Fire Chief Greg Timinsky, and Mid/Star Deputy Fire Chief Victor Islas were present.

**4. PRESENTATIONS****A. Star Police Chief Report**

Chief Zach Hessing presented the December 2023 Star Police Report as well as the annual report for 2023. In 2023, Hessing stated that there were 86 person crimes, 106 property crimes, and 132 society crimes, for a total of 324 crimes. He noted that society crimes almost doubled between 2022 and 2023, from 67 up to 132, and that a number were drug-related.

Chief Hessing mentioned that many of these drug-related crimes caught were due to drugs being inside cars, noting his department's proactive policing policy. In the same YTD period, person crimes such as murder, manslaughter, and rape dropped from 110 down to 86. Hessing pointed out that property crimes rose from 92 to 106, going up by 14 crimes but also pointing out Star's population growth in comparison.

For the month of December 2023, Hessing noted 1341 proactive policing calls for the month, down by 12 calls as compared to the prior December. Hessing explained there were 11 total arrests in December 2023, and the Code 3 response time had an average of 2.18 minutes.

Mayor Chadwick commended the police department's proactive policing policy given that Hwy 44 and Hwy 20/26 have recently been identified as major drug corridors. Chadwick asked citizens to contact their legislators about the fentanyl bill.

**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
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**B. Star Fire Chief Report**

Star Fire Chief Greg Timinsky reported 1543 total incidents for the year of 2023, with an average 7.52 minute response time and just under 60 acres burned. He further broke down the incident numbers to 132 fire calls, 1 explosion, 786 EMS calls, 59 hazardous conditions, 255 service calls, 214 good intent calls, 94 false alarms, and 1 special incident. For the month of January 2024, he noted a statistic of 32 for the day the Council report was due, and that the number had since raised to 62 YTD for 2024, with no acreage burned yet but lots of slide-offs owing to winter road conditions.

Council President Hershey commended Chief Timinsky for his recent re-appointment and thanked Chief Timinsky's crew for their recent help with a fire detector, noting that the department is available to help citizens with fire detector battery replacement as a public service. Mayor Chadwick noted that the Fire Department had helped his family with fire detectors previously as well, and thanked Chief Timinsky for having the department offer this service to citizens.

**5. CONSENT AGENDA (ACTION ITEM)** *\*All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*

A. **Approval of Minutes:** January 2, 2024, June 20, 2023

B. **Claims Approval**

- Council President Hershey moved to approve the Consent Agenda; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.

**6. PUBLIC HEARINGS with ACTION ITEMS:**

A. **PUBLIC HEARING: Talega Village Subdivision (Files: AZ-22-11, RZ-22-03, CUP-22-05, DA-22-12, PP-22-15 & PR-22-08)** - The Applicant is requesting approval of an Annexation and Zoning ( Residential R-10-DA), a Rezone ( from R-1 & C-2 to Residential R-10-DA) a Development Agreement, a Conditional Use Permit for a proposed multifamily residential use (340 units), a Preliminary Plat for proposed residential and commercial uses consisting of 162 buildable lots (1 commercial lot, 1 multi-family lot, 65 single-family residential lots, 95 townhome lots and multiple common lots), and private streets. A residential density of 10 du/acres is proposed. The property is located at 58 N. Truman Place and 8370 W. Shultz Court in Star, Idaho. **TABLED FROM 11/21/23 & 12/05/23 (ACTION ITEM)**

Mayor Chadwick explained the sign-in sheets and public hearing rules to the public. Chadwick asked Council if there had been any ex parte contact and, hearing none, opened the public hearing at 7:15 p.m.

City Planner and Zoning Administrator Shawn Nickel explained this was a continuation of the public hearing from December 5, 2023, which is for an application for annexation and zoning to R-10-DA, rezoning R1-C-2 to R-10-DA, a development agreement, and conditional use permit.



## CITY COUNCIL REGULAR MEETING MINUTES

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Nickel utilized a slide presentation to summarize the proposed project, noting the total acreage of the project at 74.6 acres with the annexation portion at 4.48, the rezone at 15.2, total commercial at 18.9, total residential at 55.6 acres, and a gross density of the residential portion at 8.98 dwelling units per acre (which he explained falls under the R10 designation).

Nickel noted all requirements were met at the last meeting, public noticing had occurred, and the application was reviewed for compliance with the City's comprehensive plan and zoning ordinance. Nickel called the Council's attention to two late exhibits received, the first an updated Idaho Transportation Department letter and the second an email from the applicant which Nickel stated he received today (January 16, 2024).

### Applicant presentation:

**Trenton Smith of 3773 East Berwick Drive, Nampa and Dennis Jordan of 6674 South Memory Way, Meridian**, explained they were presenting on behalf of clients Jason Ramsey and Derk Pardoe. Smith explained the value proposition of the project to the City of Star, noting the project includes a custom-tailored piece of land and location, and that this type of project meets the needs of the community with respect to the comprehensive plan.

Smith noted the goal was a pleasing, small-town look and feel, and to meet the needs of residents of the City of Star. He explained he would be presenting material to answer any concerns from the December meeting. Utilizing slides, Smith showed an overview map of the site, pointing out the various locations of commercial, apartments, townhomes, and single-family homes. Smith and Jordan showed a slide with elevations from Ramsey Construction. The applicants explained previous projects by the developer included Starbucks, Maverick, medical offices, etc., and a major focus of the project was walkability/connectivity. Smith listed amenities such as a clubhouse, outdoor hot tub/pool, playground area, and trails. He stated 34 percent of the project would be open space.

Smith explained the development team's approach, which included the Traffic Impact Study (TIS) being accepted by ITD and ACHD, that the functionality of Hamlin and Short with a Grade C or higher full residential buildout, a phased development plan as people move in, and allowing for necessary Fire Department access for the community during construction. Smith showed Phase 1A at Hamlin Road and Amazon Falls as planned to be connected. He laid out a five-year timeline starting with apartments with Initial Access/First Phase from 2025-26, Phase 1B in 2026-27, 1C in 2027-28, 2A and 2B in 2030-31 (as more access to Hamlin Road comes), Phase 3 single family homes, then Phase 4 Commercial as the population and buildout call for it.

**CITY COUNCIL REGULAR MEETING MINUTES**

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With respect to the Traffic Impact Study, Smith explained the TIS was reviewed by phase and noted a goal of creating the least impact to the community. He noted that the estimated peak time traffic delay of 9 seconds per vehicle up to 17.9 seconds per vehicle depending on the phase. For the townhome phase, Smith noted that Hamlin will provide more accessibility by this point in the phases. For the Commercial phase, Smith said this was planned to be 2028 or later based on demand and to occur after Hamlin was connected to the north. He said the estimated access to Boise was 26-50 minutes during peak commute times. The applicant stood for questions.

Council President Hershey said he like the way the development's phasing plan was set up, noting that he especially liked noting the projected phase years in the plan. Hershey recalled ACHD wanting a traffic study to occur at each phase. The applicant replied that they were willing to do the recommended traffic impact study and provide mitigation. Hershey further inquired on the future access points if Hamlin runs out later and asked the applicant to account for those trigger points in and out of traffic. The applicant affirmed that they would take these into consideration.

A third member of the applicant team, **Tom Romney of 2024 Sandy Drive, Idaho Falls**, said the applicant was constantly paying attention to and responding to all scenarios with ACHD and ITD. Romney noted the importance of phasing regarding the various proposed access points. He said initially the connection to Short at the north will help for phases 1A, 1B, 1C, and possibly 2A.

Council President Hershey inquired since it is one project, whether there will be just one homeowner's association or two. Romney answered that while it is one project, that the development will likely have three separate HOA's with different amenities provided via each agreement.

Council Member Wheelock referenced the drainage plan on the map, and inquired if the grass area was planned to be grass vs. a retention pond. The applicant replied that the grass area would only potentially become a pond in a major storm event, and that it is planned to be usable space rather than standing water.

Council Member Wheelock referenced the slide depicting proposed parking and asked about on-street parking on Hamlin Road. The applicant said that no, street parking on Hamlin was not included as part of the count. Mayor Chadwick asked for the map to be corrected. Further discussion on parking ensued, with Romney pointing out two parking stalls available for every garage of the townhomes and guest parking on a private road. Council inquiry surrounded how it would be possible to maintain the guest parking as actual guest parking and not have it taken over as additional spots by homeowners. Romney answered that a combination of signage and HOA management of the guest parking would preserve it for guests.

Council Member Nielsen asked about the architecture of the townhomes, and said he appreciated the applicant team's preparedness.



**CITY COUNCIL REGULAR MEETING MINUTES**

City Hall - 10769 W State Street, Star, Idaho  
Tuesday January 16, 2024 at 7:00 PM

Mayor Chadwick recommended as a condition of approval the change from a proposed 4 foot wide sidewalk to at least a 5 foot wide sidewalk in order to encourage walkability. The applicant said that he was amenable.

**Todd Collins, 4718 N. Echo Summit Way, Star**, noted that he was neutral because he was not against development, but that he had several points he wanted to address in context of the staff report. Mr. Collins expressed concern over adequate collector roads going eastbound with respect to increased traffic that the proposed development would create, that Short Road and Highway 44 do not currently function with acceptable levels of service, that Amazon Road is narrow, concern over traffic safety for school buses that will need to access the neighborhood, and traffic crossings.

**Jason Ramsey, 823 Specht Avenue, Suite 5, Caldwell**, asked to address to public hearing as part of the development team. Mr. Ramsey spoke about the proposed apartments, noting that the way an apartment complex is typically built out makes it difficult to phase individual groupings of 100 apartments. He stated that apartment contracts are negotiated for the total project, and that builders rely on volume pricing in order to provide a high-quality product. He assured Council that the applicant team would provide a safe pattern to have the apartments be built, in terms of traffic flow and occupancy.

Mayor Chadwick closed the public hearing at 8:50 p.m.

**Council deliberations:**

- Council President Hershey moved to approve the Talega Village Subdivision (Files: AZ-22-11, RZ-22-03, CUP-22-05, DA-22-12, PP-22-15 & PR-22-08) with the following conditions of approval: Amazon Falls connection during Phase 1A, put in the Palmer Avenue light, no storage units allowed, a twenty-nine foot drive aisle, smaller trees on corners for visibility, phasing of the build-out as described in the applicant presentation, and Staff to work with developer to determine additional traffic studies as needed during phasing; Council Member Nielsen seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.
- B. **PUBLIC HEARING - Calvary Chapel Star (FILE: CU-23-08)**: The Applicant is requesting approval of a Conditional Use Permit for a Church Facility that includes retail space and a drive-thru restaurant. The property is located at the Northwest Corner of Hwy16 and Floating Feather Road in Star, Idaho, and consists of 17.21 acres. **(ACTION ITEM)**

Mayor Chadwick noted the rules of the public hearing process and asked if any Council Members had any ex parte communications. Hearing none, Chadwick opened the public hearing at 8:57 p.m.



## CITY COUNCIL REGULAR MEETING MINUTES

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Shawn Nickel utilized a slide presentation to introduce the proposed project for a conditional use permit for a church facility with retail space and a drive-through for Calvary Chapel Star at the northwest corner of Floating Feather and Highway 16.

### Applicant presentation:

**Jim Marsh, CSA, 200 Borad Street, Boise**, presented on behalf of the applicant. Mr. Marsh also noted that Pastor David Ax of Calvary Chapel Star was present this evening. Mr. Marsh utilized a slide presentation with map and summarized the following points: that there was a proposed right in / right out on Floating Feather, noting the parking staff configuration, a first and second phase to the buildings with the first built to be the fellowship hall, pointing out a later bookshop / coffee shop and church storage. Marsh explained that the campus would have an “L” shape and pointed out the greenscape and hardscape areas, with a dedicated pathway system to be installed throughout the church campus. He showed a proposed architectural elevation designed to be complementary to the surrounding neighborhood with buildings made of stone, metal, and high quality roofing. The applicant stood for questions.

Council President Hershey asked if the café would be a seven day per week enterprise.

**Pastor David Ax, 1041 White Horse Race Drive, Middleton**, answered on behalf of the applicant team that yes, the shop/café was planned to be open seven days a week. Ax said that it would be a gathering place, with space allocated as 40% retail bookshop and 30% coffee house.

### Public Testimony:

Mayor Chadwick noted that there were a number of people listed as “in favor” of the project on the sign up sheet who had declined to speak.

**Todd Collins, 4718 N. Echo Summit Way, Star**, said he was in favor of the project. Collins asked about possible solid fencing to protect the church campus from potential vandalism and alternating it with landscaping.

**Josh Kinney, 8675 W. Broken Arrow, Star**, stated that he was in favor of the project. Kinney said that he was the northern neighbor of the property, and requested some form of remediation to allow for interconnectivity between his property and the church’s retail area. He said he will lose certain access with respect to Highway 16, and that he feels the City as a responsibility to help.

**Kelly Kinney, 8675 W. Broke Arrow, Star**, said she was in favor of the project and loves it. She said the interconnectivity of her property and the chapel’s property would be key for pedestrians and the ability to safely get to amenities, and appealed to both the Calvary Chapel Star and to the City of Star to help.

**CITY COUNCIL REGULAR MEETING MINUTES**

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**Michael Keyes, 338 S. Long Bay Way, Star,** said that a new church has not been built in Star since 2012, and Calvary Chapel Star has been a good neighbor, and urged the Council to approve the project.

**Ryan Hammons, 3103 W. Sheryl Drive, Meridian,** identified that he was with Toll Brothers and that this was the right thing for the neighborhood. He expressed concern over the access for the neighbors to the north.

**Applicant rebuttal:**

Pastor David Ax addressed the need for fencing, saying that fencing was a code requirement and said that his position was a positive yes to fencing since children would be playing on campus in close proximity to Highway 16. Ax said that he was against vehicle traffic from other properties flowing through the campus for safety reasons.

Council discussion surrounded pedestrian use of the campus, pathways, and easement access. City Planner Nickel said at the time the neighboring property was considered, the type of commercial use was not known, and Staff does not see how a public access road meets the requirements of the project being considered this evening.

Council Member Wheelock asked Pastor Ax if he would consider a foot path across the canal; Ax said he would consider it.

Council discussion surrounded Idaho Department of Transportation (ITD), and the possibility of approaching ITD with respect to the Highway 16 widening project to see if the frontage road could provide room for access. Nickel cautioned the Council not to commit at this time, as the ITD consultants still needed to conclude going through the report to determine if there was available frontage. Mayor Chadwick suggested it was appropriate to continue talks with ITD.

Mayor Chadwick closed the public hearing at 9:40 p.m.

**Council deliberations:**

Council Member Nielsen said he supported the request, and was glad that Calvary Chapel Star can now put down roots. He expressed concern on the idea of cross access, noting he was sympathetic to the Kinney's but worried about safety. He said he felt the best option would be utilizing frontage road if possible in the future, and having pedestrian access across the property.

Council Member Wheelock said if ITD was open to the frontage road, he thought that would be best.

**CITY COUNCIL REGULAR MEETING MINUTES**

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Council President Hershey said the connectivity issue bothered him, he liked the pedestrian path but noted with the ITD matter up in the air, the Council can advocate but cannot dictate what ITD will do in the future.

City Attorney Yorgason noted the connectivity over a waterway cannot be built without the approval of the canal company, and cautioned that the Council cannot require this requirement as part of their conditions of approval.

Mayor Chadwick called the Council's attention to a letter from Jennifer Mimosas from the Heirloom Ridge subdivision (letter on file).

- Council President Hershey moved to approve the Calvary Chapel Star conditional use permit (FILE: CU-23-08) with the following conditions of approval: fifteen stated items from the Staff Report, fencing in compliance with code, the applicant pursue a pedestrian pathway over the canal if feasible, sewer access, and for the City to communicate with ITD on potential frontage to help with access for the northern neighbor; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.
- C. **PUBLIC HEARING - Keely CUP (FILE: RZ-23-04; DA-23-06; CU-23-07)** The Applicant is requesting approval of a Rezone (R-1 to CBD), a Development Agreement and Conditional Use Permit for two, 4700 square foot Live/Work units. The property is located at 856 S. Star Road, Star, Idaho and consists of .909 acres. **THE APPLICATION IS BEING TABLED TO 2/6/2024 TO ALLOW FOR ACHD TO PROVIDE AN UPDATED REVIEW LETTER (ACTION ITEM)**
- Council President Hershey moved to approve the tabling of the Keely Conditional Use Permit (FILE: RZ-23-04; DA-23-06; CU-23-07) public hearing to the City Council meeting date of February 6, 2024; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.
- D. **PUBLIC HEARING - Starpointe Subdivision Phase 2 (FILES: AZ-23-03, DA-21-09 MOD, PP-23-02, PR-23-02 & PP-21-10)** - The Applicant is requesting approval of an Annexation and Zoning (R-4), a Development Agreement Modification, a Preliminary Plat for a proposed residential subdivision consisting of 12 residential lots and 2 common lots, a private street and an amendment to the original Starpointe Subdivision Preliminary Plat. The property is located at 6777 and 6825 N. Star Road in Star, Idaho, and consists of 3.08 acres with a proposed density of 3.08 dwelling units per acre. **(Previously Noticed for October 3, 2023 / Requesting Postponement to February 20, 2024) (ACTION ITEM)**



# CITY COUNCIL REGULAR MEETING MINUTES

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- Council President Hershey moved to approve the tabling of the Starpointe Subdivision Phase 2 (FILES: AZ-23-03, DA-21-09 MOD, PP-23-02, PR-23-02 & PP-21-10) public hearing to the City Council meeting date of February 20, 2024; Council Member Wheelock seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.

## 7. ACTION ITEMS:

### A. Bid Award - Pavilion Park Restroom Utilities & Pad (ACTION ITEM)

City Engineer Ryan Morgan provided a summary overview of the project and noted that the City sent requests to multiple entities to solicit bids; he said that the others came in too large or too small. Morgan stated that Titan Excavation and Construction has done work for the City previously.

- Council Member Wheelock moved to approve the award of bid to Titan Excavation and Construction (TEC); Council President Hershey seconded the motion. ROLL CALL VOTE: Hershey – aye; Wheelock – aye; Nielsen – aye. Motion carried.

## 8. ADJOURNMENT

Mayor Chadwick adjourned the Star City Council meeting at 9:59 p.m.

\_\_\_\_\_  
Trevor A Chadwick, Mayor

ATTEST: \_\_\_\_\_  
Jacob M Qualls, City Clerk – Treasurer



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department

**MEETING DATE:** March 5, 2024

**FILE(S) #:** FP-23-20, Final Plat, Naismith Commons Subdivision Phase 2

### REQUEST

The Applicant is requesting approval of a Final Plat for Naismith Commons Subdivision Phase 2, consisting of 92 residential lots and 13 common lots on 20.95 acres. The subject property is located at The property is located at 8895 W. Joplin Road in Star, Idaho, Idaho. Ada County Parcel Number are S0419325800 & S0419314950

**APPLICANT:**

Lennar Homes of Idaho, LLC  
408 S. Eagle Road, Ste. 100  
Eagle, Idaho 83616

**OWNER:**

Beacon Crossing, LLC  
839 S. Bridgeway Place  
Eagle, Idaho 83616

**REPRESENTATIVE:**

Ian Connair  
Kimley-Horn & Associates  
1100 W. Idaho Street, Ste. 210  
Boise, Idaho 83702

### PROPERTY INFORMATION

Land Use Designation - Residential R-4-DA

**Phase 2**

Acres - 20.95 acres

Residential Lots - 92

Common Lots - 13

### HISTORY

March 7, 2023 Application for Annexation (AZ-22-10), Development Agreement (DA-22-11) and Preliminary Plat (PP-22-15) for Naismith Commons Subdivision tabled to March 21, 2023 so Applicant can redesign the preliminary plat.

- March 21, 2023      Application for Annexation (AZ-22-10), Development Agreement (DA-22-11) and Preliminary Plat (PP-22-15) for Naismith Commons Subdivision tabled to April 4, 2023 so Applicant can redesign the preliminary plat.
  
- April 4, 2023      Application for Annexation (AZ-22-10), Development Agreement (DA-22-11) and Preliminary Plat (PP-22-15) for Naismith Commons Subdivision tabled to April 18, 2023 so Applicant can redesign the preliminary plat.
  
- April 18, 2023      Council approved the Annexation (AZ-22-10), Development Agreement (DA-22-11) and Preliminary Plat (PP-22-15) for Naismith Commons Subdivision comprised of 52.54 acres and consisting of 206 residential lots and 26 common lots.
  
- November 21, 2023      Council approved the Final Plat (FP-23-19) for Naismith Commons Subdivision, Phase 1 consisting of 89 single family residential lots and 14 common lots on 21.76 acres.

**GENERAL DISCUSSION**

The Final Plat layout for Phase 2 of Naismith Commons Subdivision generally complies with the approved preliminary plat. The Preliminary Plat was approved for a maximum of 206 single family residential lots on 52.54 acres. Phase 1 contained 89 residential and Phase 2 contains 92 lots, leaving 25 residential lots for the remaining phases of Naismith Commons Subdivision.

**Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:**

The Preliminary Plat submitted contains 208 single family residential lots and 23 common area lots, 3 of which are shared driveways, on 52.54 acres with a proposed density of 3.96 dwelling units per acre. The lots will have access and frontage from public streets. Lots will range in size from 6,550 square feet to 8,883 square feet with the average buildable lot being 6,827 square feet. Lot 1, Block 13 on the east side of the eastern collector road appears to be a lot providing for an existing barn or accessory building. **Staff will require additional detail from the applicant on how the structure located on this lot is intended to be used as an accessory use, and how it will meet required setbacks.**

The submitted preliminary plat shows all local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Primary access for the development will be on W. Tybee Street from N. Can Ada Road. The development will also have access to W. Joplin Road on the north of the development from N. Sellwood Avenue. A north/south collector roadway is proposed along the entire eastern boundary of the development, per ACHD requirements. This collector street will stub to the south for future access and circulation for the area. **The Applicant is also proposing a stub street near the northwest corner of the**

**property. Staff suggests that this road be moved north and placed between lots 5 & 6 of Block 11 on the preliminary plat.**

The submitted preliminary plat shows the three shared drives as 28-foot wide with a ribbon curb. While all shared drives must be approved by the Fire Department, this width satisfies the Unified Development Code requirements. The Applicant is proposing the entry to the development to have a 61-foot right of way with an 8-foot wide median, separating 21 feet wide travel lanes from back of curb to back of curb. **Sidewalks will need to be detached with a minimum 6-foot-wide landscape strip.**

The submitted preliminary plat shows the road improvement along Can Ada to have a 5-foot-wide sidewalk. **N. Can Ada Road is classified as a Collector and the Unified Development Code, Section 8-4A-17 requires all sidewalks along Collector roads to be detached with a 7-foot-wide sidewalk.** The applicant is proposing 13 feet of barrow ditch between the road and sidewalk for drainage, this satisfies the code. Landscaping and street trees will need to be planted on the subdivision side of the proposed sidewalk within the common lot. The proposed W. Joplin Road Section shows a 5-foot-wide detached sidewalk with an 8-foot-wide parkway planter strip. **Joplin Road is classified as a Collector and the sidewalk will need to be 7 feet wide.** Sidewalks within the development on the local streets are proposed to be attached with a 5-foot wide, concrete sidewalk. **Code requires all sidewalks to be detached with a minimum 6-foot-wide landscape strip.** Street names must be obtained by the Ada County Street Naming Committee prior to signature of the final plat. The applicant is proposing 8.08 acres (15.4%) of open space which satisfies the Unified Development Code. **The Applicant states that 7.69 acres (14.6%) of the open space is usable, however the submitted plans do not detail the space or amenities. This will need to be detailed and approved by Staff prior to final plat approval.**

**The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 5 site amenities. The applicant has not provided any details on amenities. Details on the types of amenities shall be provided to Council at the public hearing and a revised landscape plan will be required, calling out location and type of amenity before the final plat can be signed.**

**Original Preliminary Plat Review:**

Site Data:

Total Acreage of Site – 52.54 acres

Total Number of Lots – 229 lots

Total Number of Residential Lots – 206 lots

Total Number of Common Lots – 23 lots

Total Number of Commercial Lots – None

Type of Units – Single Family Units

Dwelling Units Per Gross Acre – 3.92 Units per acre

Total Acreage of Common Lots – 8.08 acres

Percent of Site as Common Area – 15.4%



Council finds the Applicant has met all requirements of the Unified Development Code and the intent and purpose of the Comprehensive Plan and Map requirements. Council added to the Preliminary Plat application and Development Agreement the following conditions of approval to their decision to approve the applications to include the following:

**The Preliminary Plat dated 4-10-23 is approved for a maximum of 206 residential lots.**

- The Council approves the requested Block Length Waivers.
- **The Applicant shall deed Lot 1, Block 13 of the Preliminary Plat to the neighbor to the east. This shall occur upon recordation of the Final Plat that includes this lot and prior to issuance of first residential building permit.**
- **Provide a public access easement on the pathways located in the northeast common area park.**
- **Applicant shall provide Amenities as proposed and included in Amenities Exhibit.**
- **Applicant shall provide option for City to take over ownership of southwest park in the future.**
- **Building elevations presented by Applicant shall be included as Exhibit in Development Agreement.**

**Staff analysis of Final Plat Submittal:**

**Lot Layout** – The gross density of Phase 2 is 3.92 du/acre.

**Common/Open Space and Amenities** – This phase will include a tot lot and a separate swing set along with a walking path.

**Setbacks** – The applicant has not requested any special setbacks and the development will adhere to the requirements of the R-4 zone.

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks			
		Front (1)	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	7.5' <sup>(2)</sup>	20'

**Streetlights** – Streetlight design specifications submitted with the final plat application for Phase 1 & 2 are not the same design that was approved by Council with the Preliminary Plat application. **The Applicant will need to use the style of light approved by Council.** There was not a streetlight plan submitted with the final plat application. **Prior to signing the mylar,**

**the Applicant will need to submit a streetlight plan and receive approval from Staff.**

Streetlights shall be consistent throughout the remaining phases of the subdivision.

**Mailbox Clusters** – The Applicant has not provided documentation from the Postmaster depicting the approved location for the mailbox cluster. This will be required prior to signing the mylar. Per Section 8-4A-20, all mailboxes and clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's.

**Street Names** - Applicant has provided documentation from Ada County that the proposed street names have been approved.

**Subdivision Name** – The Applicant has provided a letter from Ada County the confirms the proposed subdivision name has been approved and reserved for this development.

**Landscaping:** As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan does not appear to show street trees every 35 feet on the interior roads. A revised landscape plan will be required, prior to signing the mylar, showing the correct spacing of street trees. If these are to be placed by the builder, occupancy may be held up until street trees have been verified installed per code.** The common area proposed landscape plan appears to satisfy the necessary requirements.

**Sidewalks** - Sidewalks are proposed at five-foot (5') widths and will be detached throughout the overall subdivision with a six foot (6') wide landscape strip, as approved with the Preliminary Plat.

**Roadways** – The Applicant is proposing that local roads be 36 feet wide from back of curb to back of curb in a 50-foot wide right of way. The Applicant is also proposing that the entry way have a median of 8 feet with 21-foot-wide drive aisles from back of curb to back of curb. The proposed roadways satisfy the Unified Development Code.

**The north-south collector roadway (Beacon Ridge Way), located on the eastern side of the phase shall be revised to show 10' minimum common lots (Lots 1, Blocks 9 & 10) adjacent to the eastern property line. The roadway shall include a detached, 7' sidewalk on both sides. The Applicant may decrease the common lot on the western side of the collector by 5 feet to accommodate the addition to the east. A revised final plat shall be submitted for review.**

**Can Ada Road shall have 7' detached sidewalks. A revised final plat shall be submitted for review.**

**PUBLIC NOTIFICATIONS**

Notifications of this application were sent to agencies having jurisdiction on February 1, 2024.

**FINDINGS**

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.  
*The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.*
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.  
*Staff finds that all public services are available and able to accommodate this development.*
- C. There is public financial capability of supporting services for the proposed development.  
*Staff knows of no financial hardship that would prevent services from being provided.*
- D. The development will not be detrimental to the public health, safety or general welfare; and,  
*Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*
- E. The development preserves significant natural, scenic or historic features.  
*Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.*

**CONDITIONS OF APPROVAL**

- 1. Prior to signature of final plat, the following shall be completed:**
  - A. Provide Street Light designs for review and approval;**
  - B. Provide documentation from Postmaster on location of mailbox clusters;**
  - C. Provide to Staff updated plans showing architectural mailbox cluster covers;**
  - D. Provide a revised landscape plan showing the correct spacing of street trees.**
  - E. Provide a revised final plat showing the north-south collector roadway (Beacon Ridge Way), located on the eastern side of the phase with 10' minimum common lots (Lots 1, Blocks 9 & 10) adjacent to the eastern property line. The roadway shall include a detached, 7' sidewalks on both**

sides. The Applicant may decrease the common lot on the western side of the collector by 5 feet to accommodate the addition to the east.

**F. Provide a revised final plat showing Can Ada Road with detached, 7' sidewalk.**

2. The approved Final Plat for Naismith Commons Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
3. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the City \$1000.00 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$206,000. The City will allocate funds to roadway improvements in the vicinity of the project. Phase 2 has 92 residential lots for a fee of \$92,000 (92 x \$1000.00).**
4. **The Preliminary Plat dated 4-10-23 was approved for a maximum of 206 residential lots.**
5. **The Applicant shall deed Lot 1, Block 13 of the Preliminary Plat to the neighbor to the east. This shall occur upon recordation of the Final Plat that includes this lot and prior to issuance of first residential building permit.**
6. **Provide a public access easement on the pathways located in the northeast common area park.**
7. **Applicant shall provide Amenities as proposed and included in Amenities Exhibit.**
8. **Applicant shall provide option for City to take over ownership of southwest park in the future.**
9. **Building elevations presented by Applicant shall be included as Exhibit in Development Agreement.**
10. **Prior to signing the final plat, Applicant shall provide approval from Ada County for all street names, and they should be accurately reflected on the plat.**
11. **A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service. Mailbox cluster locations shall be determined and located based on the Postmaster.**
12. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place. The applicant shall provide a revised landscape plan showing all the required trees.**
13. **The Applicant shall install the streetlights that were submitted and approved with the Preliminary Plat and not the ones submitted with the Final Plat application. Applicant shall also provide a streetlight plan, showing the locations of all streetlights before the City will sign the mylar.**
14. The Council approved the requested Block Length Waivers.
15. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
16. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash

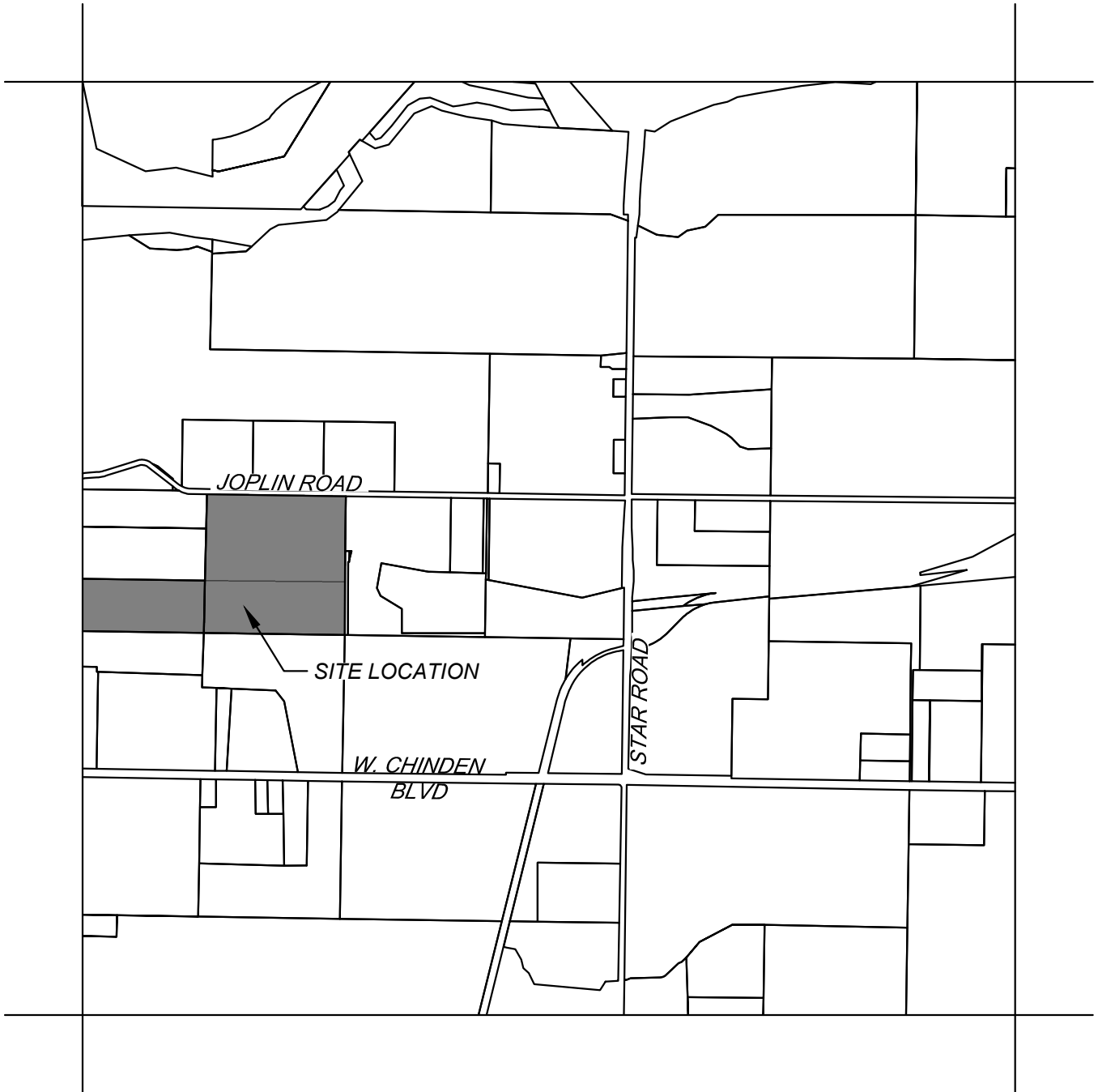
picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.

17. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
18. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
19. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
20. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
21. The streetlight design and style should utilize the lights already in place from previous phases and be consistent through all phases of the development.
22. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
23. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
24. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
25. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
26. A separate sign application is required for any subdivision sign.
27. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
28. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
29. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
30. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
31. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
32. All common areas shall be owned and maintained by the Homeowners Association.
33. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**

- 34. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
- 35. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
- 36. Any additional Condition of Approval as required by Staff and City Council.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File # FP-23-20 Naismith Commons Subdivision, Final Plat, Phase 2 on \_\_\_\_\_, \_\_\_\_ 2024.



T4N, R1W, SEC. 19



November 9, 2023

City of Star  
Planning and Zoning  
P.O. Box 130  
Star, Idaho 83669

**RE: Naismith Commons Subdivision**

Dear Ryan,

Attached for your review is the Final Plat application for Naismith Commons Subdivision – Phase 2. This plat has been submitted in conformance with the City of Star’s Zoning Code and per the approved Preliminary Plat for Naismith Commons Subdivision.

Naismith Commons Subdivision will include 206 single-family residential lots and 26 common lots on 52.54 acres. The gross density is 3.92 units per acre. The typical lot width is 55-feet and lot sizes will range from approximately 5,777 SF to 11,479 SF. The overall open space for the site is 8.72 acres (16.6%) of the total development area with 7.25 acres (13.8%) of useable open space. Amenities for the subdivision include a shaded tree plaza, children’s play set, pickleball courts, bocce ball courts, nature park, open space trails throughout. The remaining open space is generously planted.

Construction of Naismith Commons will comply the approved preliminary plat. If you have any questions or need additional information, please reach out to me at 208-510-6287 or at [ian.connair@kimley-horn.com](mailto:ian.connair@kimley-horn.com).

Thanks for your review and assistance with this application,

A handwritten signature in black ink, appearing to read 'Ian Connair'.

Ian Connair, P.E.  
Project Engineer





# FINAL PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>FP-23-20</u>
Date Application Received: <u>11-27-2023</u> Fee Paid: <u>\$3350.00</u>
Processed by: City: <u>Barbara Norgrove</u>

## Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Lennar Homes of Idaho, LLC  
 Applicant Address: 408 S Eagle Road #100 Eagle, Idaho Zip: 83616  
 Phone: (208) 501-3967 Email: jamie.parker@lennar.com

Owner Name: Beacon Crossing, LLC  
 Owner Address: 839 S. Bridgeway Place Eagle, Idaho Zip: 83616  
 Phone: (208) 994-2255 Email: jbottles@markbottles.com

Representative (e.g., architect, engineer, developer):  
 Contact: Ian Connair, PE Firm Name: Kimley-Horn & Associates  
 Address: 1100 W Idaho Street, Suite 210, Boise, ID Zip: 83702  
 Phone: 208-510-6287 Email: ian.connair@kimley-horn.com

## Property Information:

Subdivision Name: Naismith Commons Subdivision Phase: 2

Parcel Number(s): S0419325800 & S0419314950

Approved Zoning: R-4 Units per acre: 4.39

Total acreage of phase: 20.95 Total number of lots: 105

Residential: 92 Commercial: N/A Industrial: N/A

Common lots: 13 Total acreage of common lots: 1.42 Percentage: 6.78%

Percent of common space to be used for drainage: 28.87% Acres: 0.41

Special Flood Hazard Area: total acreage 0 number of homes 0

Changes from approved preliminary plat pertaining to this phase:

	Preliminary Plat	Final Plat
Number of Residential Lots:	<u>47*</u>	<u>92</u>
Number of Common Lots:	<u>11*</u>	<u>13</u>
Number of Commercial Lots:	<u>0*</u>	<u>0</u>
Roads:		<u>No Change</u>

*\*Values shown are based on original phasing proposed with Pre-Plat. A revised*

*phasing plan has been provided as part of this application.*

Amenities: \_\_\_\_\_ No Change \_\_\_\_\_  
 \_\_\_\_\_

**Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision Name: Naismith Commons Subdivision Phase: 2

Special Flood Hazard Area: total acreage 0 number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0120J  
 FIRM effective date(s): mm/dd/year 06/19/2020  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X  
 Base Flood Elevation(s): AE N/A .0 ft., etc.: N/A
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:**

*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (√)	Description	Staff (√)
X	Completed and signed copy of Final Plat Application	
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> <li>• Gross density of the phase of the Final Plat submitted</li> <li>• Lot range and average lot size of phase</li> <li>• Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities</li> <li>• List any specific approved building setbacks previously approved by Council.</li> </ul>	
X	Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)	
X	Electronic copy of current recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.	
X	Electronic copy of subdivision name approval from Ada County Surveyor's office.	
X	Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming	
X	Electronic copy of vicinity map showing the location of the subject property	
X	One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**	
X	One (1) 11" X 17" paper copy of the Final Plat	
X	Electronic copy of the Final landscape plan**	

X	One (1) 11" X 17" copy of the Final landscape plan	Section 5, Item C.
X	Electronic copy of site grading & drainage plans**	
X	Electronic copy of originally approved Preliminary Plat**	
X	Electronic copy of a Plat with all phases marked with changes, if applicable**	
X	Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**	
X	Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**	
X	Electronic copy of streetlight <b>design</b> and <b>location</b> information	
X	Special Flood Information – Must be included on Preliminary/Final Plat and Application form.	
X	Electronic copy of all easement agreements submitted to the irrigation companies	
X	Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)	
X	One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>	
	<p><b>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</b></p> <ul style="list-style-type: none"> <li>• One (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Final Plat</li> <li>• Electronic copy of final, approved construction drawings</li> <li>• Electronic copy of as-built irrigation plans</li> <li>• Electronic copy of recorded CC&amp;R's</li> <li>• Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign</li> <li>• Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please.</li> </ul>	
	After construction, a letter from the Star Sewer & Water District stating that subdivision information has been submitted to the District in GIS format and the property has been annexed into the Star Sewer & Water District. GIS to include pressurized irrigation, streetlights, and storm drains in addition to Star Sewer & Water requirements. This shall be a condition prior to Final Plat signature.	

**FEE REQUIREMENT:**

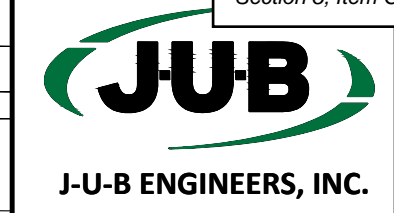
*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*



Applicant/Representative Signature

10/27/2023

Date



J-U-B ENGINEERS, INC.  
2760 W. Excursion Lane  
Suite 400  
Meridian, ID 83642  
Phone: 208.376.7330  
www.jub.com

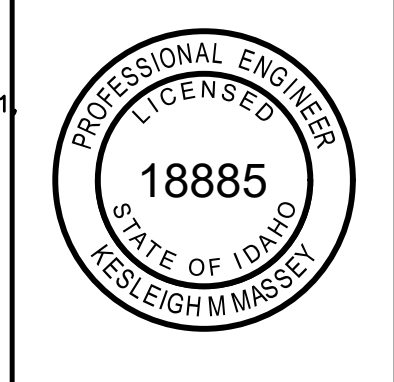


Table with columns: NO., REVISION, DESCRIPTION, BY, DATE

NAISMITH COMMONS SUBDIVISIONS  
STAR, IDAHO  
BOUNDARY AND PROJECT INFORMATION

FILE: 10-21-108\_PRE-PLAT  
JUB PROJ #: 10-21-108  
DRAWN BY: SAS  
DESIGN BY: SAS  
CHECKED BY: KMM  
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
LAST UPDATED: 4/10/2023  
SHEET NUMBER:  
**PP-01**

# PRELIMINARY PLAT FOR NAISMITH COMMONS SUBDIVISIONS

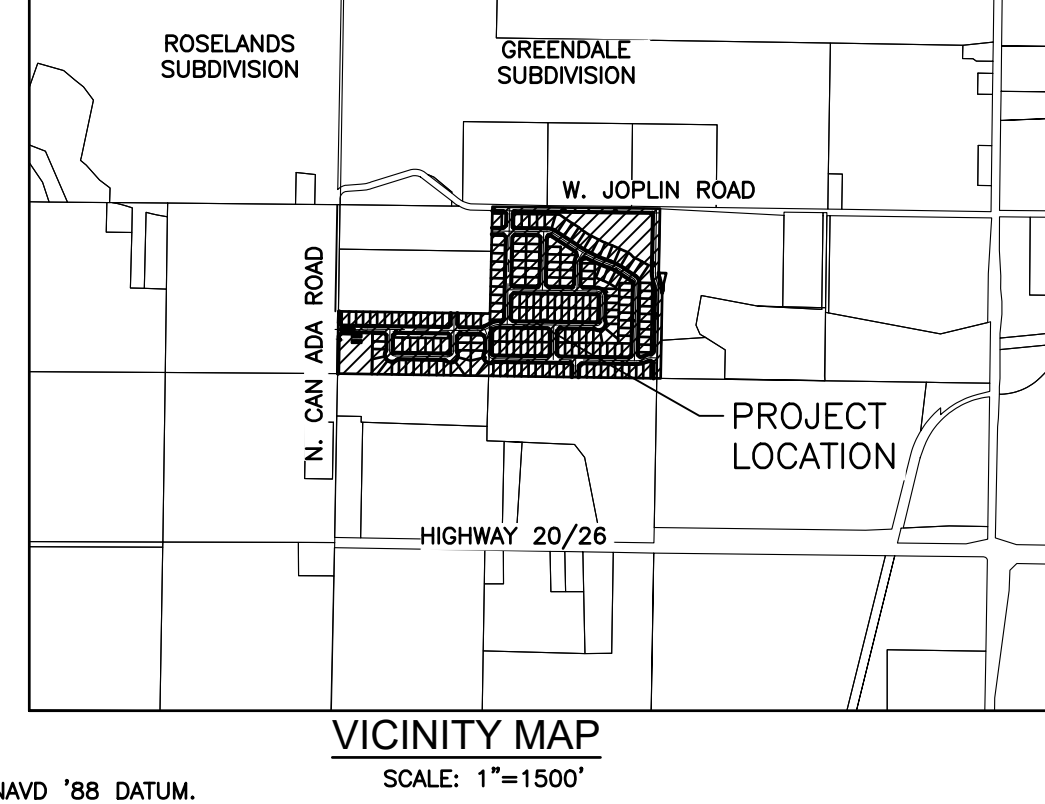
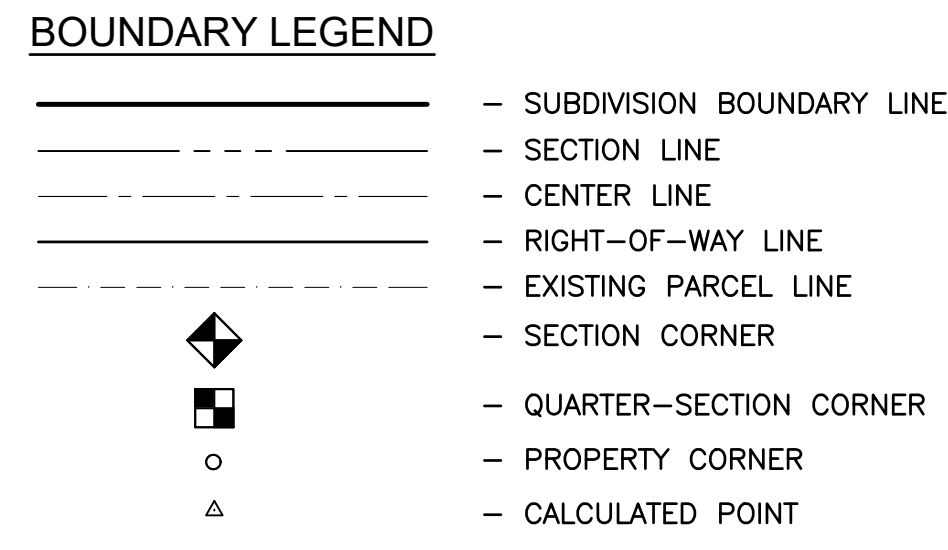
SITUATED IN A PORTION OF GOV'T. LOT 2, THE NE 1/4 OF THE SW 1/4  
AND A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 19,  
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,  
STAR, IDAHO  
2023

### Sheet List Table

Sheet Number	Sheet Title
PP-01	BOUNDARY AND PROJECT INFORMATION
PP-02	EXISTING AND PROPOSED CONDITIONS
PP-03	EXISTING AND PROPOSED CONDITIONS
PP-04	EXISTING AND PROPOSED CONDITIONS
PP-05	PHASING PLAN
PP-06	OVERALL DRAINAGE
PP-07	STREET LIGHT PLAN

### Line Table

Line #	Direction	Length
L1	S89°09'26"E	58.67'
L2	S13°27'08"W	87.10'
L3	S01°04'30"W	54.00'
L4	N89°09'26"W	10.00'



- ### NOTES:
- CONTOUR AND SPOT ELEVATION DATA IS REFERENCED TO NAVD '88 DATUM.
  - ALL STREETS PROPOSED IN THIS DEVELOPMENT ARE PUBLIC STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA COUNTY HIGHWAY DISTRICT (ACHD) STANDARDS FOR PUBLIC STREETS WITH A MINIMUM GRADIENT OF 0.40%.
  - ALL LOTS ARE RESIDENTIAL BUILDING LOTS, EXCEPT LOTS 1, 17, BLOCK 1, LOTS 1, 2, 21, 38, BLOCK 2, LOT 8, BLOCK 3, LOTS 1, 10, BLOCK 4, LOTS 1, 15, BLOCK 5, LOTS 1, 12, BLOCK 6, LOT 1, BLOCK 7, LOTS 1, 8, BLOCK 8, LOTS 1, 6, BLOCK 9, LOTS 1, 14, BLOCK 10, LOTS 1, 6, 17, BLOCK 11, LOTS 1, 3, BLOCK 12, LOT 1 BLOCK 13, LOT 1 BLOCK 14 WHICH ARE COMMON AREA/DRAINAGE STORAGE LOTS. AND ARE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  - STORMWATER RUN-OFF GENERATED ON THIS SITE SHALL HAVE A QUALITY CONTROL TREATMENT PRIOR TO BEING CONVEYED TO ONSITE STORAGE FACILITIES.
  - PUBLIC UTILITIES SHALL INCLUDE WATER, SEWER, ELECTRIC POWER, NATURAL GAS, TELEPHONE, AND CABLE TELEVISION.
  - THIS SUBDIVISION WILL RECEIVE PRESSURIZED IRRIGATION FROM A PRESSURE IRRIGATION SYSTEM OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
  - THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
  - DOMESTIC AND FIRE PROTECTION WATER SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
  - SANITARY SEWER COLLECTION SHALL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
  - BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR STANDARDS IN EFFECT AT THE TIME OF DEVELOPMENT.
  - ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
  - THE OWNER SHALL COMPLY WITH IDAHO CODE, SECTION 31-3805 OR ITS PROVISIONS THAT MAY APPLY TO IRRIGATION RIGHTS.
  - A STORMWATER DRAINAGE EASEMENT SHALL BE RESERVED ON THE DRAINAGE LOTS. LANDSCAPING OVER SAID LOTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND SHALL PROVIDE HEAVY MAINTENANCE OF THE STORM DRAINAGE FACILITIES AS DEFINED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR NAISMITH COMMONS SUBDIVISION.
  - THIS PROPERTY IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP NO. 16001C0120 J, COMMUNITY PANEL NO. 0120 J WHICH BEARS AN EFFECTIVE DATE OF JUNE 19, 2020 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
  - ALL LOTS SHALL HAVE PERMANENT 5' WIDE SIDE LOT EASEMENTS, 10' WIDE FRONT LOT EASEMENTS AND A 10' WIDE REAR LOT EASEMENTS FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
  - A STORMWATER DRAINAGE EASEMENT SHALL BE RESERVED ON THE DRAINAGE LOTS FOR THE BENEFIT OF ACHD. LANDSCAPING OVER SAID LOTS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND ACHD SHALL PROVIDE HEAVY MAINTENANCE OF THE STORM DRAINAGE FACILITIES AS DEFINED IN THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR NAISMITH COMMONS SUBDIVISION.

### LEGEND

EXISTING	PROPOSED	LAND USE SUMMARY
---S---	---S---	TOTAL AREA: 52.54 AC.
---	---	TOTAL LOTS: 232 LOTS
---	---	RESIDENTIAL LOTS: 206 LOTS
---	---	COMMON AREA LOTS: 26 LOTS
---	---	RESIDENTIAL DENSITY: 3.92 DU/AC
---	---	USEABLE COMMON AREA: 7.25 AC. (13.8%)
---	---	BUFFER COMMON AREA: 1.47 AC. (2.8%)
---	---	TOTAL COMMON AREA: 8.72 AC. (16.6%)
---	---	AVERAGE LOT SIZE: 6,654 S.F.
---	---	SMALLEST LOT: 5,777 S.F.
---	---	EXISTING ZONE: RUT
---	---	PROPOSED ZONE: R-4

### OWNER

BEACON CROSSING LLC  
839 BRIDGEWAY PL  
EAGLE, ID 83616

### DEVELOPER CONTACT

BEACON CROSSING LLC  
839 BRIDGEWAY PL  
EAGLE, ID 83616  
208-377-5700

### CIVIL ENGINEER

KESLEIGH M. MASSEY, P.E.  
J-U-B ENGINEERS  
2760 W. EXCURSION LN. STE. 400  
MERIDIAN, ID 83642  
208-376-7330

### LAND SURVEYOR

BERT NOWAK, P.L.S.  
J-U-B ENGINEERS  
2114 VILLAGE PARK AVE, STE. 100  
TWIN FALLS, ID 83301  
208-733-2414

### IRRIGATION DISTRICT

PIONEER IRRIGATION DISTRICT  
3804 LAKE AVENUE  
CALDWELL, ID 83605  
208-459-3617

### IRRIGATION DISTRICT

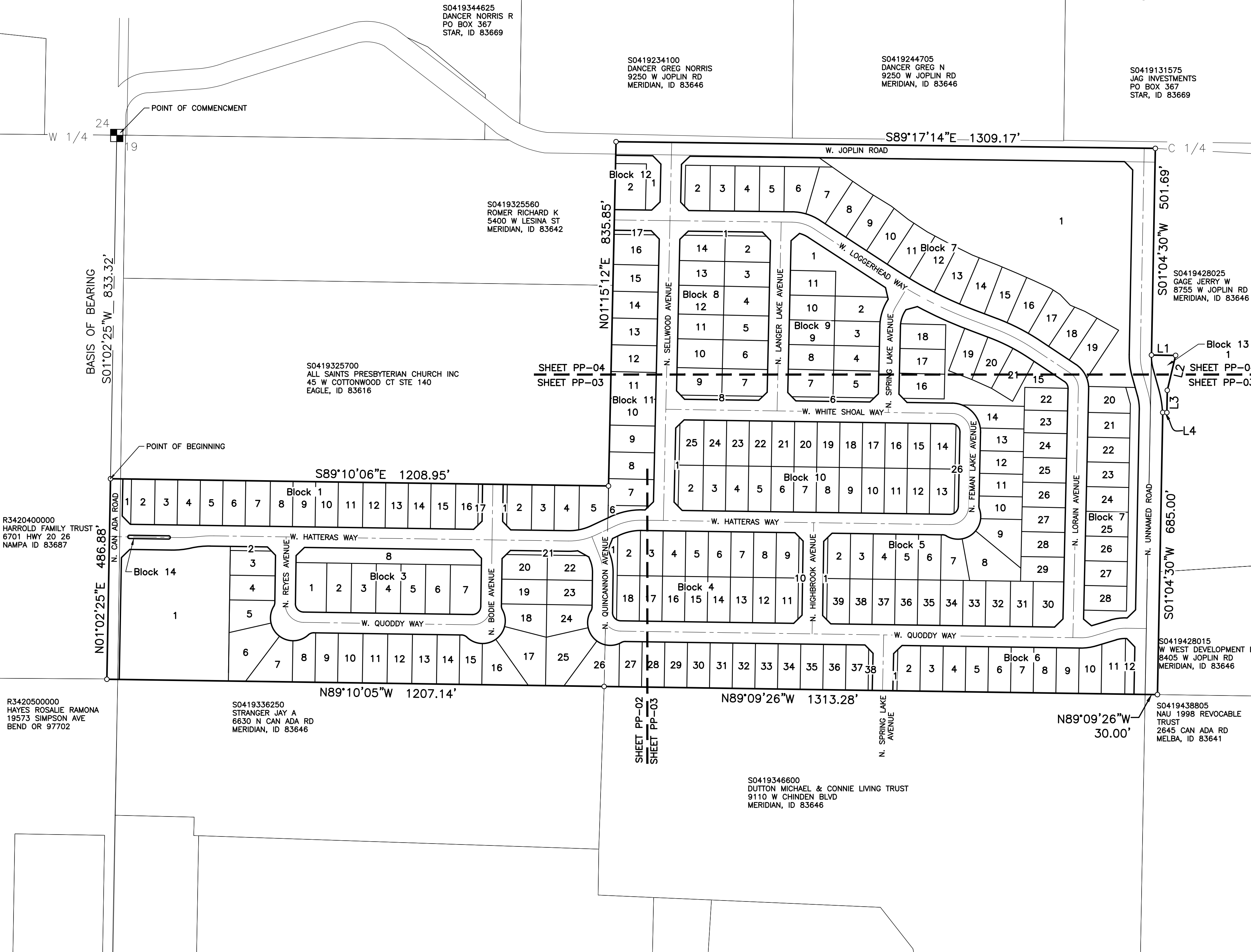
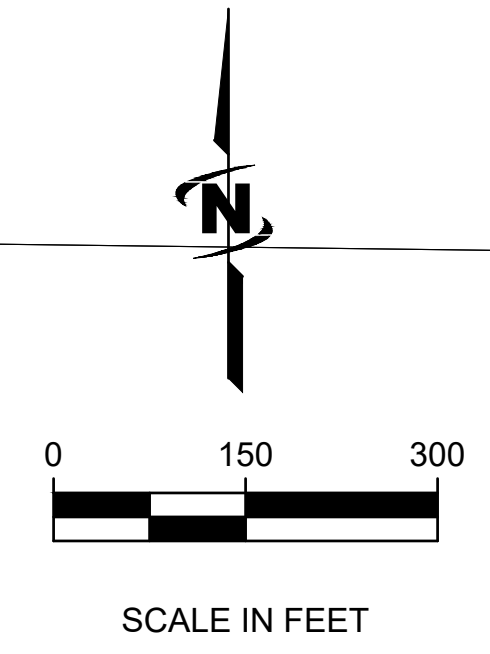
EUREKA WATER COMPANY  
6820 JOPLIN ROAD  
MERIDIAN, ID 83646

### R-4 LOT SETBACKS

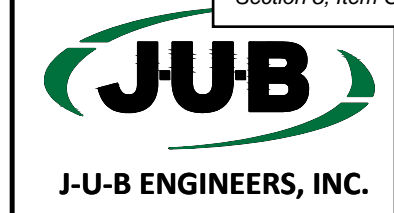
FRONT SETBACK	15'	LIVING
(FACE OF SIDEWALK)	20'	GARAGE
REAR SETBACK	15'	
INTERIOR SIDE SETBACK	7.5'	
STREET SIDE SETBACK	20'	

### BOUNDARY CERTIFICATION

PROFESSIONAL LAND SURVEYOR  
REGISTERED  
8077  
STATE OF IDAHO  
BERT J. NOWAK

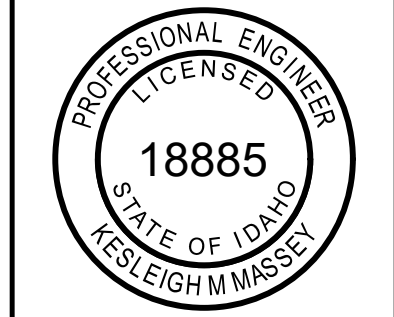


Plot Date: 10/20/23 1:06 PM Plotted By: Ewren Emsell  
Date Created: 10/20/23 JUB\COM\CENTRAL\CALCULATED\MARKG\TILES\PREL\STAR\10-21-108\_BEACONCROSSING\PLAT\CAD\SHHEET\10-21-108\_PRE-PLAT.DWG



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.  
2760 W. Excursion Lane  
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Meridian, ID 83642  
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REUSE OF DRAWINGS

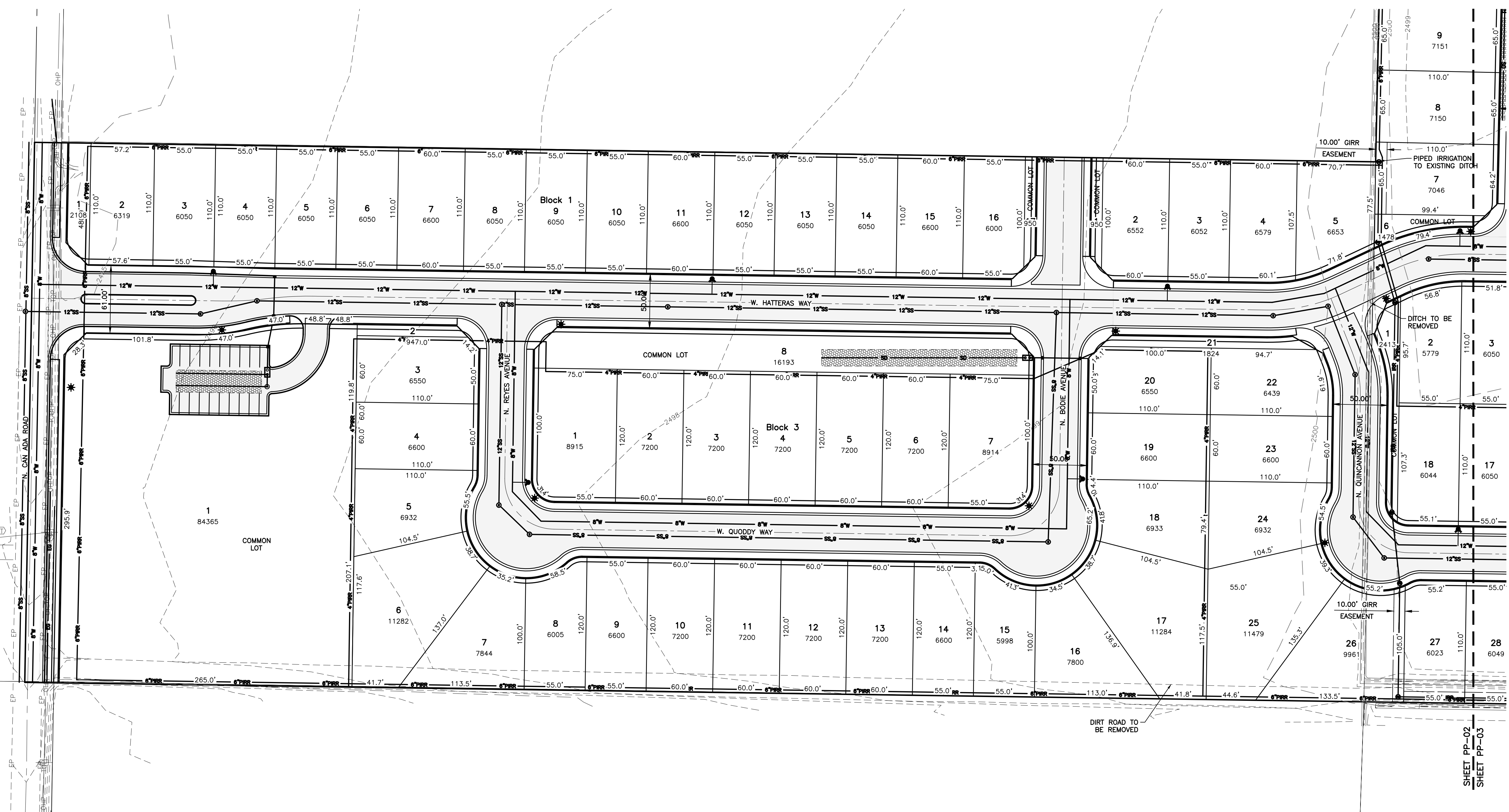
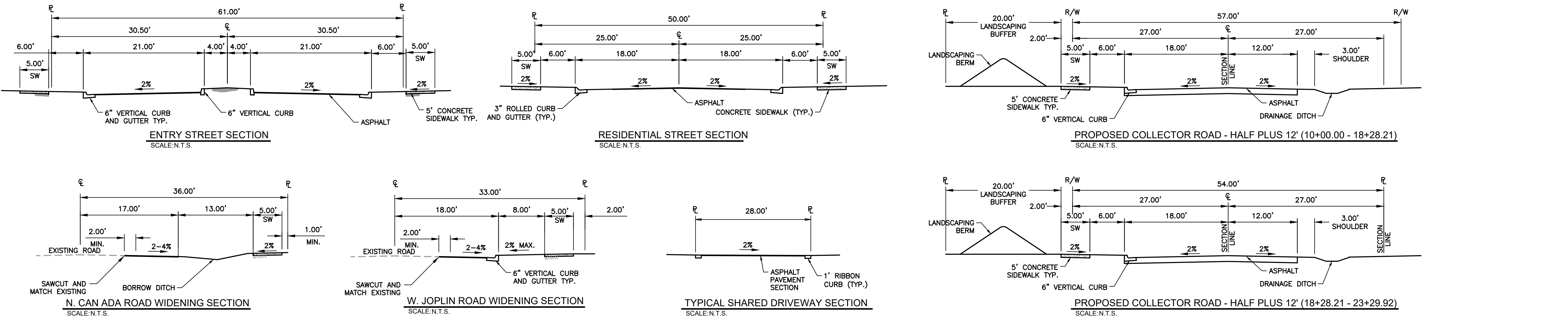
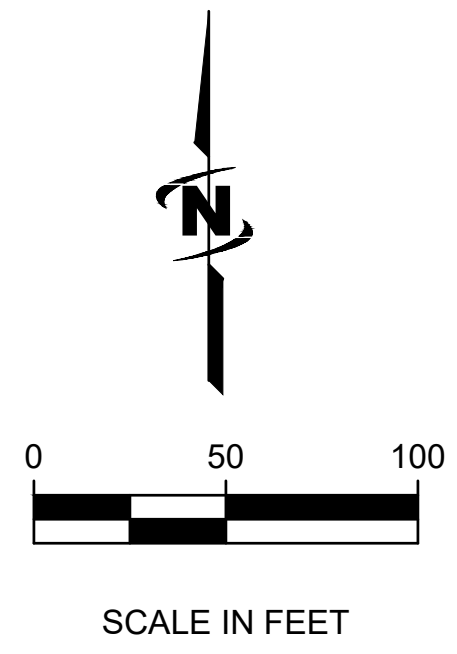
JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT, AND OTHER RIGHTS IN THIS DRAWING. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF JUB. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

NO.	REVISION	DESCRIPTION	BY	APPR.	DATE

NAISMITH COMMONS SUBDIVISIONS  
STAR, IDAHO  
EXISTING AND PROPOSED CONDITIONS

FILE: 10-21-108\_PRE-PLAT  
JUB PROJ. #: 10-21-108  
DRAWN BY: SAS  
DESIGN BY: SAS  
CHECKED BY: KMM  
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
LAST UPDATED: 4-10-2023

SHEET NUMBER:  
PP-02

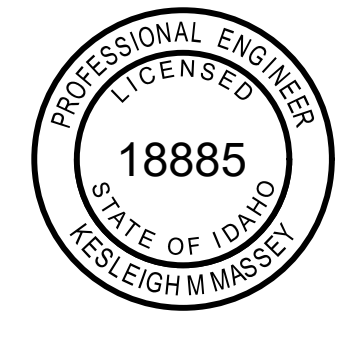


Plot Date: 10/20/23 1:07 PM Plotted By: Ewert Emswiler  
Date Created: 10/20/23 JUB.COM\GENERAL\CLIENTS\MARKG\BOTTLES\REAL\ESTATE\PROJECTS\10-21-108\_BEACONCROSSING\PLAT\CAD\SHEET\10-21-108\_PRE-PLAT.DWG



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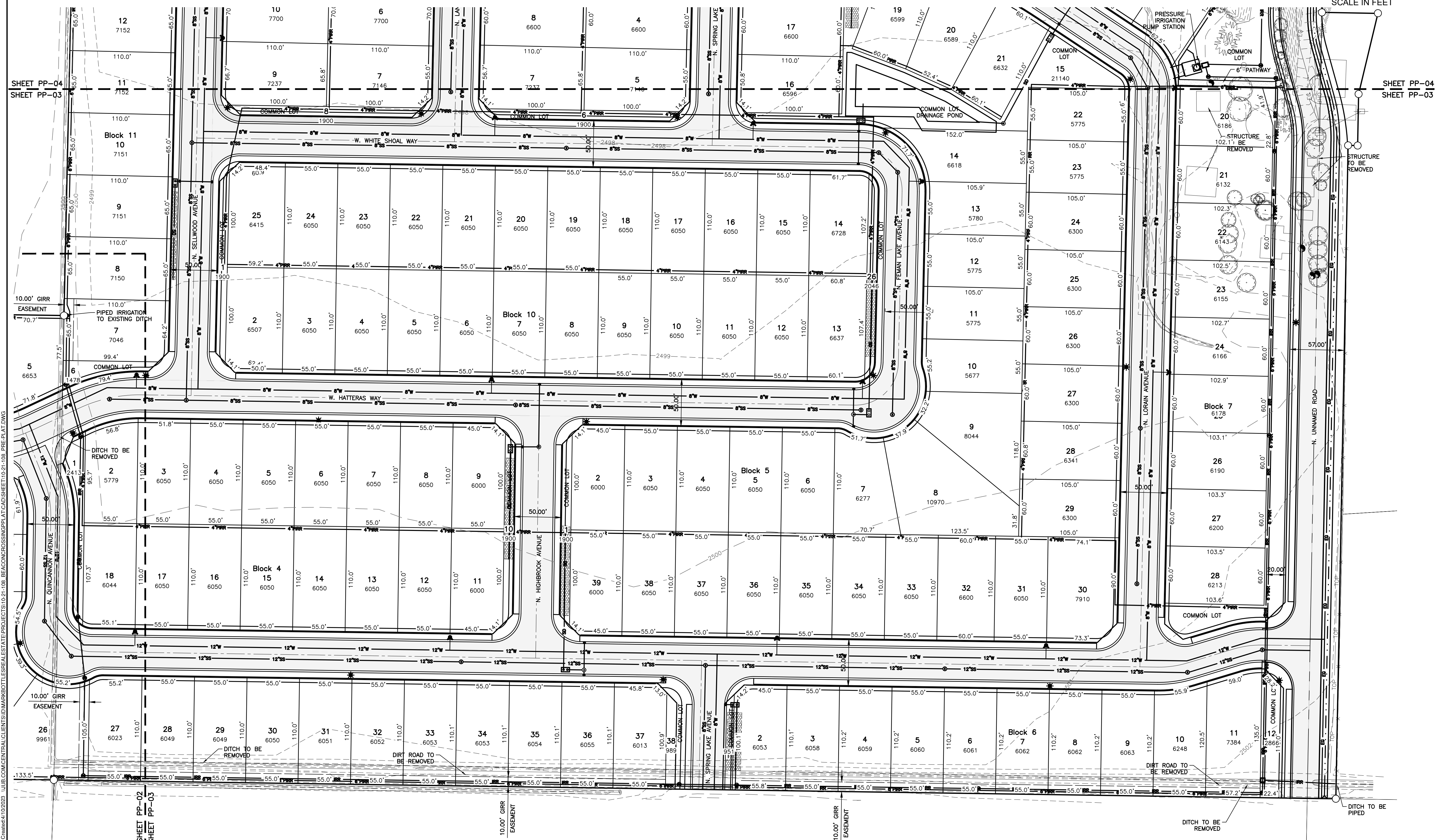
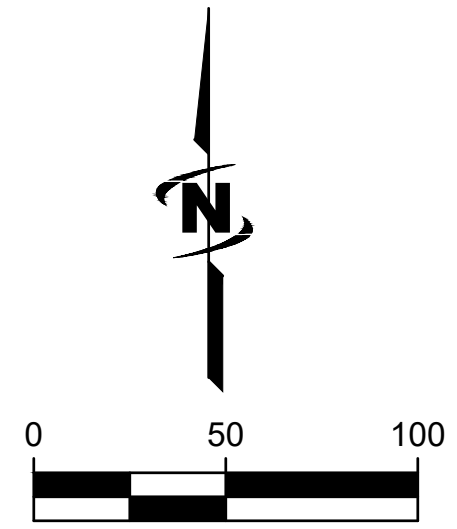
NO.	REVISION	DESCRIPTION	BY	APPR.	DATE

NAISMITH COMMONS SUBDIVISIONS  
STAR, IDAHO  
EXISTING AND PROPOSED CONDITIONS

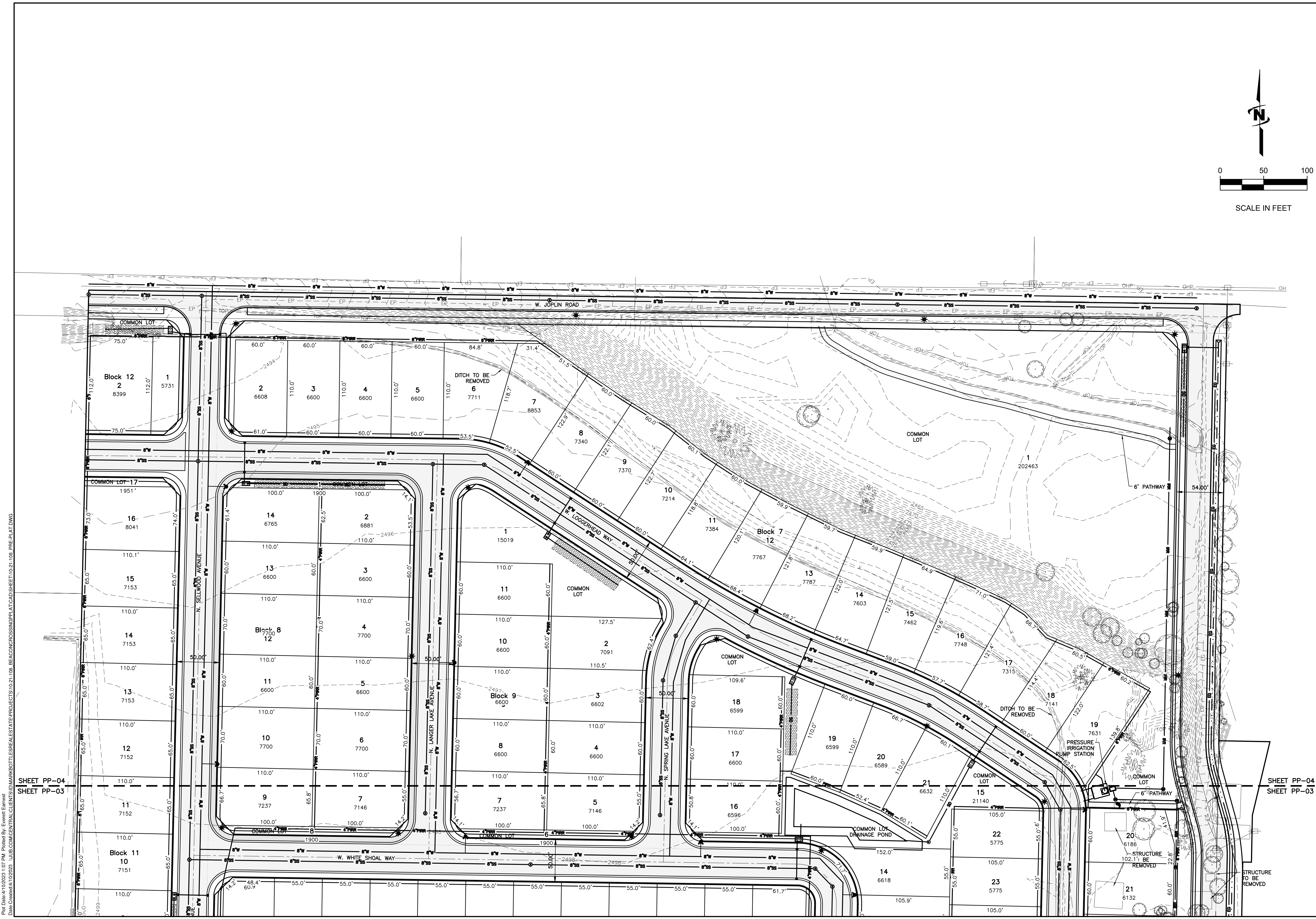
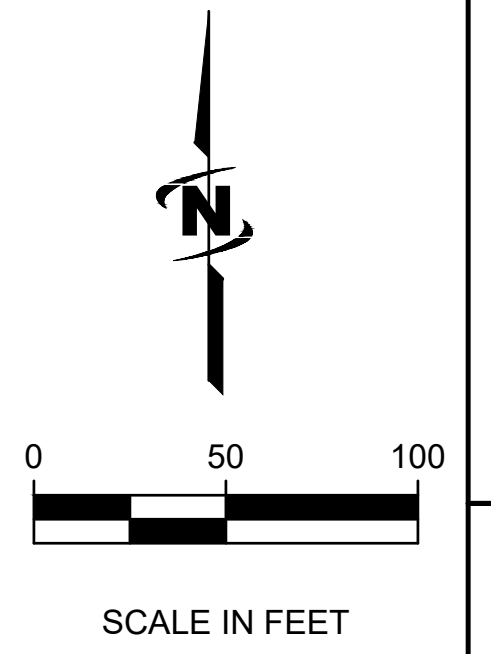
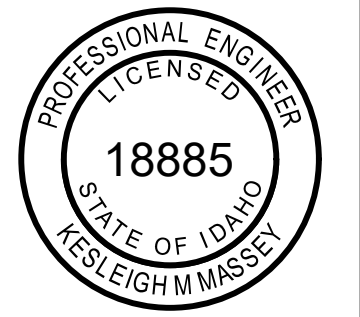
FILE: 10-21-108\_PRE-PLAT  
JUB PROJ. #: 10-21-108  
DRAWN BY: SAS  
DESIGN BY: SAS  
CHECKED BY: KMM

AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
LAST UPDATED: 4-10-2023

SHEET NUMBER:  
**PP-03**



Plot Date: 10/20/23 1:07 PM Plotted By: Everett Emswiler  
Date Created: 10/20/23 JUB\COMMONS\STAR\ID\MARKETING\RESALES\PLAT\PROJECTS\10-21-108\_BEACONCROSSING\PLAT\CAD\SHEET\10-21-108\_PRE-PLAT.DWG



REUSE OF DRAWINGS  
 JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND PATENT RIGHTS IN THIS DRAWING. NO PART OF THIS DRAWING SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

NO.	REVISION	DESCRIPTION	BY	APPR.	DATE

**NAISMITH COMMONS SUBDIVISIONS  
 STAR, IDAHO**  
 EXISTING AND PROPOSED CONDITIONS

FILE: 10-21-108\_PRE-PLAT  
 JUB PROJ. #: 10-21-108  
 DRAWN BY: SAS  
 DESIGN BY: SAS  
 CHECKED BY: KMM

AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY  
 LAST UPDATED: 4/10/2023  
 SHEET NUMBER:  
**PP-04**

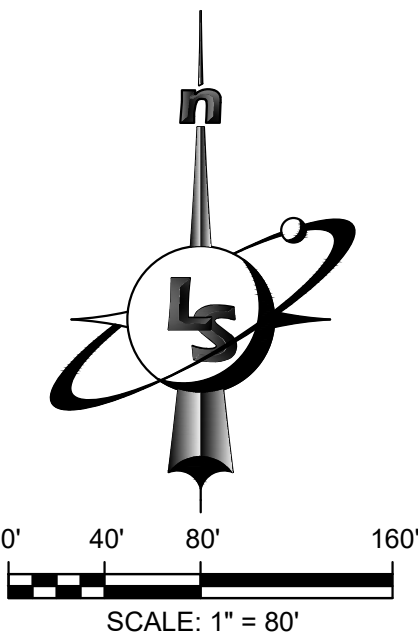
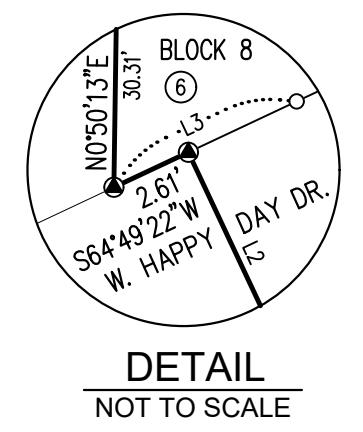
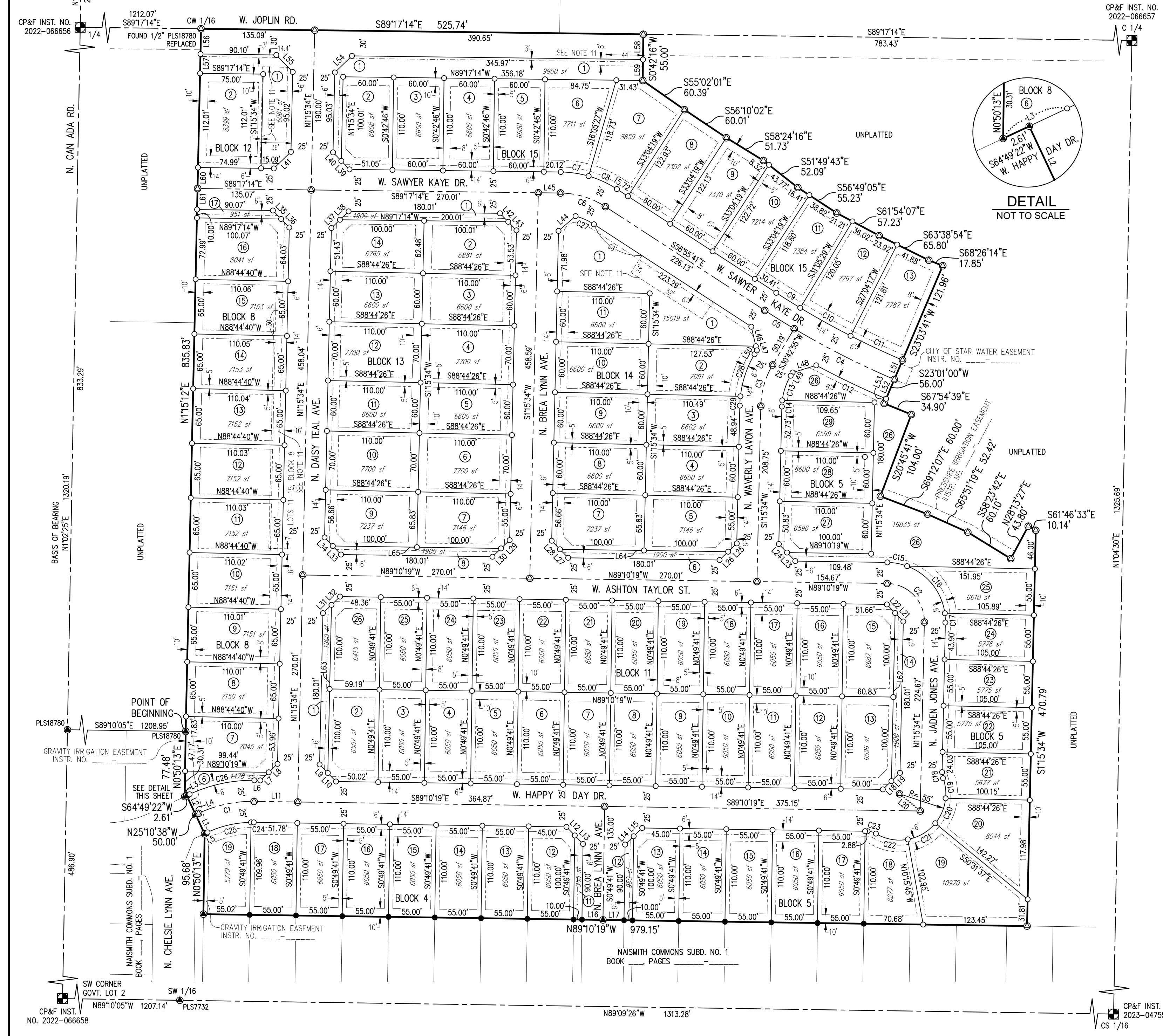
Plot Date: 11/02/23 1:07 PM Plotted By: Ewert Emswiler  
 Date Created: 11/02/23 JUB\COMMONS\ID\STAR\REALESTATE\PROJECTS\10-21-108\_BEACONCROSSING\PLAT\CAD\SHEET\10-21-108\_PRE-PLAT.DWG

SHEET PP-04  
 SHEET PP-03

SHEET PP-04  
 SHEET PP-03

# NAISMITH COMMONS SUBDIVISION NO. 2

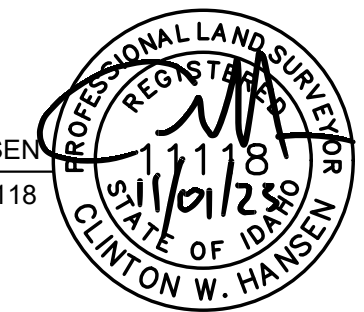
LOCATED IN THE NE ¼ OF THE SW ¼ OF SECTION 19, T4N, R1W, B.M.  
CITY OF STAR, ADA COUNTY, IDAHO  
2023



- LEGEND**
- FOUND ALUMINUM CAP MONUMENT
  - FOUND BRASS CAP MONUMENT
  - FOUND 5/8" REBAR AS NOTED
  - FOUND 1/2" REBAR, PLS 11118
  - SET 1/2" REBAR WITH PLS 11118 PLASTIC CAP
  - SET 5/8" REBAR WITH PLS 11118 PLASTIC CAP
  - CALCULATED POINT, NOT SET
  - SECTION LINE
  - CENTER LINE
  - ACHD STORM WATER DRAINAGE EASEMENT LINE, SEE NOTE
  - ACHD PERMANENT EASEMENT LINE PER INSTRUMENT NO.
  - PUBLIC UTILITY & LOT DRAINAGE EASEMENT LINE - SEE NOTES 1 & 2
  - OTHER EASEMENT LINE AS NOTED
  - SURVEY TIE LINE
  - SUBDIVISION BOUNDARY LINE
  - LOT LINE
  - ADJACENT PROPERTY LINE
  - LOT NUMBER

**SURVEYOR'S NARRATIVE**

THE BOUNDARY FOR THIS SUBDIVISION WAS DEVELOPED FROM SURVEYED TIES TO CONTROLLING SECTION CORNER MONUMENTATION. THE PLATTED SUBDIVISION BOUNDARIES OF NAISMITH COMMONS SUBDIVISION NO. 1, INFORMATION FROM RECORD OF SURVEY NUMBERS 9101, 12543, 13716, AND CURRENT DEEDS OF RECORD. THE SURVEYED MONUMENTATION AND CONTROLLING BOUNDARIES FIT THE RECORDS WELL AND WERE ACCEPTED TO ESTABLISH THE BOUNDARY FOR THIS SUBDIVISION SHOWN HEREON.



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CP&F INST. NO. 2022-066656  
1/4

CP&F INST. NO. 2022-066657  
C 1/4

CP&F INST. NO. 2022-066658

CP&F INST. NO. 2023-047555  
CS 1/16



# NAISMITH COMMONS SUBDIVISION NO. 2

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	68.08'	150.00'	26°00'19"	S77°49'32"W	67.50'
C2	71.02'	45.00'	90°25'53"	S43°57'22"E	63.88'
C3	51.41'	100.00'	29°27'21"	N15°59'15"E	50.85'
C4	133.60'	1000.00'	7°39'18"	S63°06'44"E	133.51'
C5	41.13'	1000.00'	2°21'23"	S58°06'23"E	41.13'
C6	56.48'	100.00'	32°21'33"	N73°06'28"W	55.73'
C7	33.55'	125.00'	15°22'41"	N81°35'54"W	33.45'
C8	37.05'	125.00'	16°58'52"	N65°25'07"W	36.91'
C9	33.70'	975.00'	1°58'50"	S57°55'06"E	33.70'
C10	68.41'	975.00'	4°01'11"	S60°55'07"E	68.39'
C11	68.24'	975.00'	4°00'36"	S64°56'01"E	68.22'
C12	92.03'	1025.00'	5°08'39"	S64°22'14"E	92.00'
C13	31.28'	75.00'	23°53'41"	S18°46'05"W	31.05'
C14	7.28'	75.00'	5°33'40"	S4°02'24"W	7.28'
C15	24.01'	70.00'	19°39'13"	N79°20'43"W	23.89'
C16	75.33'	70.00'	61°39'21"	N38°41'25"W	71.74'
C17	11.14'	70.00'	9°07'19"	N3°18'05"W	11.13'
C18	7.34'	20.00'	21°02'22"	S9°15'37"E	7.30'
C19	24.25'	55.00'	25°15'34"	N7°09'01"W	24.05'
C20	32.63'	55.00'	33°59'36"	N22°28'35"E	32.15'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C21	38.65'	55.00'	40°15'52"	N59°36'19"E	37.86'
C22	39.37'	55.00'	41°01'02"	S79°45'15"E	38.54'
C23	10.45'	20.00'	29°55'35"	N74°12'31"W	10.33'
C24	3.22'	125.00'	1°28'32"	S89°54'35"E	3.22'
C25	53.52'	125.00'	24°31'47"	N77°05'16"E	53.11'
C26	79.43'	175.00'	26°00'19"	S77°49'32"W	78.75'
C27	23.94'	75.00'	18°17'07"	N66°04'15"W	23.83'
C28	53.18'	125.00'	24°22'42"	S18°31'34"W	52.78'
C29	11.08'	125.00'	5°04'40"	S3°47'54"W	11.07'

LINE TABLE		
LINE	LENGTH	BEARING
L1	25.00'	N25°10'38"W
L2	25.00'	N25°10'38"W
L3	6.41'	S64°49'22"W
L4	3.80'	N64°49'22"E
L5	3.80'	N64°49'22"E
L6	7.10'	N89°10'19"W
L7	13.89'	S46°02'38"W
L8	14.50'	S46°02'38"W
L9	14.09'	N43°57'22"W
L10	14.09'	N43°57'22"W
L11	51.91'	S89°10'19"E
L12	14.14'	S44°10'19"E
L13	14.14'	S44°10'19"E
L14	14.14'	N45°49'41"E
L15	14.14'	N45°49'41"E
L16	25.00'	N89°10'19"W
L17	25.00'	N89°10'19"W
L18	14.19'	S46°02'38"W
L19	14.20'	S46°02'38"W
L20	31.90'	N50°20'38"W
L21	14.09'	S43°57'22"E
L22	14.09'	S43°57'22"E

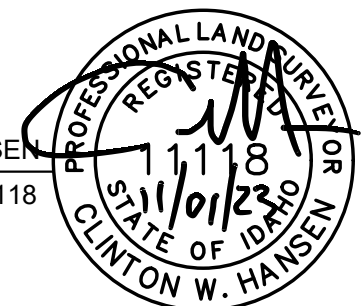
LINE TABLE		
LINE	LENGTH	BEARING
L23	14.09'	N43°57'22"W
L24	14.09'	N43°57'22"W
L25	14.19'	S46°02'38"W
L26	14.20'	S46°02'38"W
L27	14.09'	N43°57'22"W
L28	14.09'	N43°57'22"W
L29	14.19'	S46°02'38"W
L30	14.20'	S46°02'38"W
L31	14.20'	N46°02'38"E
L32	14.19'	N46°02'38"E
L33	14.09'	N43°57'22"W
L34	14.09'	N43°57'22"W
L35	14.08'	S44°00'50"E
L36	14.07'	S44°00'50"E
L37	14.21'	N45°59'10"E
L38	14.21'	N45°59'10"E
L39	14.07'	N44°00'50"W
L40	14.08'	N44°00'50"W
L41	28.42'	S45°59'10"W
L42	14.08'	S44°00'50"E
L43	14.07'	S44°00'50"E
L44	26.79'	N49°13'03"E

LINE TABLE		
LINE	LENGTH	BEARING
L45	26.40'	S89°17'14"E
L46	23.77'	S13°06'23"E
L47	5.09'	S13°06'23"E
L48	29.51'	N73°10'21"E
L49	4.40'	N30°42'55"E
L50	5.36'	S30°42'55"W
L51	25.00'	S23°01'00"W
L52	25.00'	S23°01'00"W
L53	6.00'	S23°01'00"W
L54	28.38'	N45°58'55"E
L55	28.13'	S44°01'05"E
L56	30.00'	N1°15'12"E
L57	23.00'	N1°15'12"E
L58	30.00'	S0°42'16"W
L59	25.00'	S0°42'16"W
L60	25.00'	N1°15'12"E
L61	25.00'	N1°15'12"E
L62	200.00'	N1°15'34"E
L63	200.00'	S1°15'34"W
L64	200.00'	S89°10'19"E
L65	200.00'	S89°10'19"E

## NOTES

- EACH LOT IS HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, NAISMITH COMMONS SUBDIVISION HOMEOWNER'S ASSOCIATION PRESSURE IRRIGATION AND LOT DRAINAGE OVER THE 14 (FOURTEEN) FEET ADJACENT TO ANY PUBLIC STREET. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACED DRIVEWAYS AND WALKWAYS TO EACH LOT.
- UNLESS OTHERWISE SHOWN AND DIMENSIONED, EACH LOT IS HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, NAISMITH COMMONS SUBDIVISION HOMEOWNER'S ASSOCIATION PRESSURE IRRIGATION AND LOT DRAINAGE OVER THE 5 (FIVE) FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE, AND OVER THE 10 (TEN) FEET ADJACENT TO ANY REAR LOT LINE OR SUBDIVISION BOUNDARY.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RESUBDIVISION.
- IRRIGATION WATER HAS BEEN PROVIDED TO EACH LOT BY PIONEER IRRIGATION DISTRICT IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(B). ALL LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENTS FROM THE PIONEER IRRIGATION DISTRICT.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF STAR IN EFFECT AT THE TIME OF BUILDING PERMIT SUBMITTAL UNLESS A GREATER EASEMENT EXISTS, IN WHICH CASE THE EASEMENT SHALL GOVERN THE SETBACK.
- MAINTENANCE OF ANY IRRIGATION OR DRAINAGE PIPE OR DITCH CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
- BOTTOM OF BUILDING FOOTINGS SHALL BE A MINIMUM OF 12 INCHES ABOVE THE ESTABLISHED NORMAL HIGH GROUNDWATER ELEVATION.
- LOT 11, BLOCK 4; LOTS 12 AND 26, BLOCK 5; LOTS 6 AND 17, BLOCK 8; LOTS 1 AND 14, BLOCK 11; LOTS 1 AND 2, BLOCK 12; LOTS 1 AND 8, BLOCK 13; LOTS 1 AND 6, BLOCK 14 AND LOT 1, BLOCK 15 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE NAISMITH COMMONS SUBDIVISION HOMEOWNER'S ASSOCIATION OR ITS ASSIGNS. SAID LOTS ARE COVERED BY BLANKET EASEMENTS FOR PUBLIC UTILITIES, DRAINAGE, AND NAISMITH COMMONS SUBDIVISION HOMEOWNER'S ASSOCIATION PRESSURE IRRIGATION.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503, IDAHO CODE, RIGHT-TO-FARM, WHICH STATES THAT NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NON-AGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED PROVIDED THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF.
- THIS DEVELOPMENT IS SUBJECT TO THE TERMS OF A DEVELOPMENT AGREEMENT WITH THE CITY OF STAR RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO.
- LOT 26, BLOCK 5, AND PORTIONS OF LOTS 11, 12, 13, 14 AND 15, BLOCK 8; LOTS 1 AND 2, BLOCK 12, LOT 1, BLOCK 14, AND LOT 1, BLOCK 15 AS SHOWN HEREON ARE SERVIENT TO AND CONTAIN THE ADA COUNTY HIGHWAY DISTRICT STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THAT FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT NO. 2015-103256, OFFICIAL RECORDS OF ADA COUNTY, AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT AND THE STORM WATER DRAINAGE SYSTEM ARE DEDICATED TO THE ADA COUNTY HIGHWAY DISTRICT PURSUANT TO SECTION 40-2302 IDAHO CODE. THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM.
- THIS DEVELOPMENT IS SUBJECT TO THE TERMS OF AN ADA COUNTY HIGHWAY DISTRICT TEMPORARY LICENSE AGREEMENT RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO.
- THIS SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR NAISMITH COMMONS SUBDIVISION, RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO, AND AS MAY BE AMENDED.
- DIRECT LOT ACCESS TO W. JOPLIN ROAD IS PROHIBITED.

CLINTON W. HANSEN  
PLS 11118



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**CERTIFICATE OF OWNERS**

KNOW ALL MEN BY THESE PRESENTS: THAT WE, THE UNDERSIGNED, ARE THE OWNERS OF THE REAL PROPERTY DESCRIBED BELOW IN ADA COUNTY, IDAHO, AND THAT WE INTEND TO INCLUDE THE FOLLOWING DESCRIBED PROPERTY IN THIS PLAT OF NAISMITH COMMONS SUBDIVISION NO. 2:

A PARCEL BEING LOCATED IN THE NE ¼ OF THE SW ¼ OF SECTION 19, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN ALUMINUM CAP MONUMENT MARKING THE SOUTHWEST CORNER OF GOVERNMENT LOT 2 OF SAID SECTION 19, FROM WHICH AN ALUMINUM CAP MONUMENT MARKING THE NORTHWEST CORNER OF THE SW ¼ (W ¼ CORNER) OF SAID SECTION 19 BEARS N 1°02'25" E A DISTANCE OF 1320.19 FEET;

THENCE ALONG THE WESTERLY BOUNDARY OF SAID GOVERNMENT LOT 2 N 1°02'25" E A DISTANCE OF 486.90 FEET TO A POINT;

THENCE LEAVING SAID BOUNDARY S 89°10'05" E A DISTANCE OF 1208.95 FEET TO A 5/8 INCH DIAMETER IRON PIN MONUMENT MARKING AN ANGLE POINT ON THE NORTHERLY BOUNDARY OF NAISMITH COMMONS SUBDIVISION NO. 1, AS SHOWN IN BOOK \_\_\_\_\_ OF PLATS ON PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO, SAID POINT BEING ON THE WESTERLY BOUNDARY OF THE NE ¼ OF THE SW ¼ OF SAID SECTION 19, AND THE POINT OF BEGINNING;

THENCE ALONG SAID WESTERLY BOUNDARY N 1°15'12" E A DISTANCE OF 835.83 FEET TO THE NORTHWEST CORNER OF SAID NE ¼ OF THE SW ¼;

THENCE ALONG THE NORTHERLY BOUNDARY OF SAID NE ¼ OF THE SW ¼ S 89°17'14" E A DISTANCE OF 525.74 FEET TO A POINT;

THENCE LEAVING SAID BOUNDARY S 0°42'16" W A DISTANCE OF 55.00 FEET TO POINT;

THENCE S 55°02'01" E A DISTANCE OF 60.39 FEET TO A POINT;

THENCE S 56°10'02" E A DISTANCE OF 60.01 FEET TO A POINT;

THENCE S 58°24'16" E A DISTANCE OF 51.73 FEET TO A POINT;

THENCE S 51°49'43" E A DISTANCE OF 52.09 FEET TO A POINT;

THENCE S 56°49'05" E A DISTANCE OF 55.23 FEET TO A POINT;

THENCE S 61°54'07" E A DISTANCE OF 57.23 FEET TO A POINT;

THENCE S 63°38'54" E A DISTANCE OF 65.80 FEET TO A POINT;

THENCE S 68°26'14" E A DISTANCE OF 17.85 FEET TO A POINT;

THENCE S 23°03'41" W A DISTANCE OF 121.96 FEET TO A POINT;

THENCE S 23°01'00" W A DISTANCE OF 56.00 FEET TO A POINT;

THENCE S 67°54'39" E A DISTANCE OF 34.90 FEET TO A POINT;

THENCE S 20°45'41" W A DISTANCE OF 104.00 FEET TO A POINT;

THENCE S 69°12'07" E A DISTANCE OF 60.00 FEET TO A POINT;

THENCE S 65°51'19" E A DISTANCE OF 52.42 FEET TO A POINT;

THENCE S 58°23'42" E A DISTANCE OF 60.10 FEET TO A POINT;

THENCE N 28°13'27" E A DISTANCE OF 43.80 FEET TO A POINT;

THENCE S 61°46'33" E A DISTANCE OF 10.14 FEET TO A POINT;

THENCE S 1°15'34" W A DISTANCE OF 470.79 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID NAISMITH COMMONS SUBDIVISION NO. 1;

THENCE ALONG SAID NORTHERLY BOUNDARY THE FOLLOWING COURSES AND DISTANCES:

THENCE N 89°10'19" W A DISTANCE OF 979.15 FEET TO A POINT;

THENCE N 0°50'13" E A DISTANCE OF 95.68 FEET TO A POINT;

THENCE N 25°10'38" W A DISTANCE OF 50.00 FEET TO A POINT;

THENCE S 64°49'22" W A DISTANCE OF 2.61 FEET TO A POINT;

THENCE N 0°50'13" E A DISTANCE OF 77.48 FEET TO THE POINT OF BEGINNING.

THIS PARCEL CONTAINS 20.95 ACRES MORE OR LESS.

ALL THE LOTS IN THIS SUBDIVISION WILL BE ELIGIBLE TO RECEIVE WATER AND SEWER SERVICE FROM STAR SEWER AND WATER DISTRICT. STAR SEWER AND WATER DISTRICT HAS AGREED IN WRITING TO SERVE ALL THE LOTS IN THIS SUBDIVISION.

THE PUBLIC STREETS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC. PUBLIC UTILITY, IRRIGATION AND DRAINAGE EASEMENTS ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, BUT THE RIGHT OF ACCESS TO, AND USE OF, THESE EASEMENTS IS HEREBY RESERVED FOR PUBLIC UTILITIES, DRAINAGE AND FOR ANY OTHER USES AS MAY BE DESIGNATED HEREON AND NO PERMANENT STRUCTURES OTHER THAN FOR SAID USES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

LENNAR HOMES OF IDAHO, LLC, A DELAWARE LIMITED LIABILITY COMPANY

\_\_\_\_\_  
BY JEFFREY CLEMENS, VICE PRESIDENT

**ACKNOWLEDGMENT**

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } s.s.

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE PERSONALLY APPEARED JEFFREY CLEMENS, KNOWN OR IDENTIFIED TO ME TO BE THE VICE PRESIDENT OF LENNAR HOMES OF IDAHO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, THE PERSON WHO EXECUTED THE FOREGOING "CERTIFICATE OF OWNERS" AND ACKNOWLEDGED TO ME THAT SAID LIMITED LIABILITY COMPANY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES \_\_\_\_\_

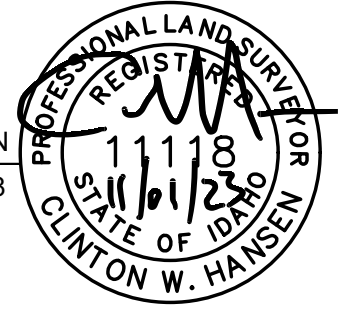
RESIDING AT \_\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC FOR THE STATE OF \_\_\_\_\_

**CERTIFICATE OF SURVEYOR**

I, CLINTON W. HANSEN, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
CLINTON W. HANSEN  
PLS 11118



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# NAISMITH COMMONS SUBDIVISION NO. 2

BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

### HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

\_\_\_\_\_  
CENTRAL DISTRICT HEALTH, EHS      DATE

### APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

\_\_\_\_\_  
CITY CLERK

### APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, HEREBY APPROVE THIS PLAT.

\_\_\_\_\_  
CITY ENGINEER ~ STAR, IDAHO

### APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
PRESIDENT, ADA COUNTY HIGHWAY DISTRICT

### CERTIFICATE OF THE COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, IDAHO, HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
ADA COUNTY SURVEYOR

### CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

DATE: \_\_\_\_\_  
COUNTY TREASURER

### CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO }  
COUNTY OF ADA } S.S.      INSTRUMENT NO. \_\_\_\_\_

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF LAND SOLUTIONS, P.C., AT \_\_\_\_ MINUTES PAST \_\_\_\_ O'CLOCK \_\_.M. ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, IN BOOK \_\_\_\_ OF PLATS AT PAGES \_\_\_\_\_.

\_\_\_\_\_  
DEPUTY      EX-OFFICIO RECORDER

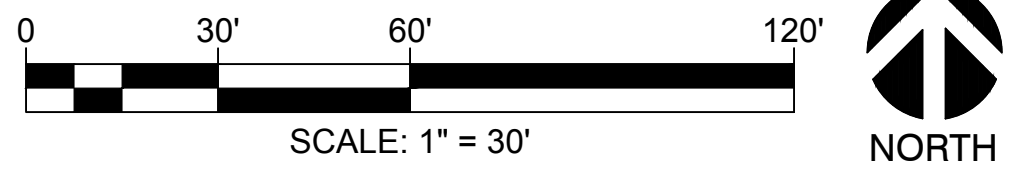
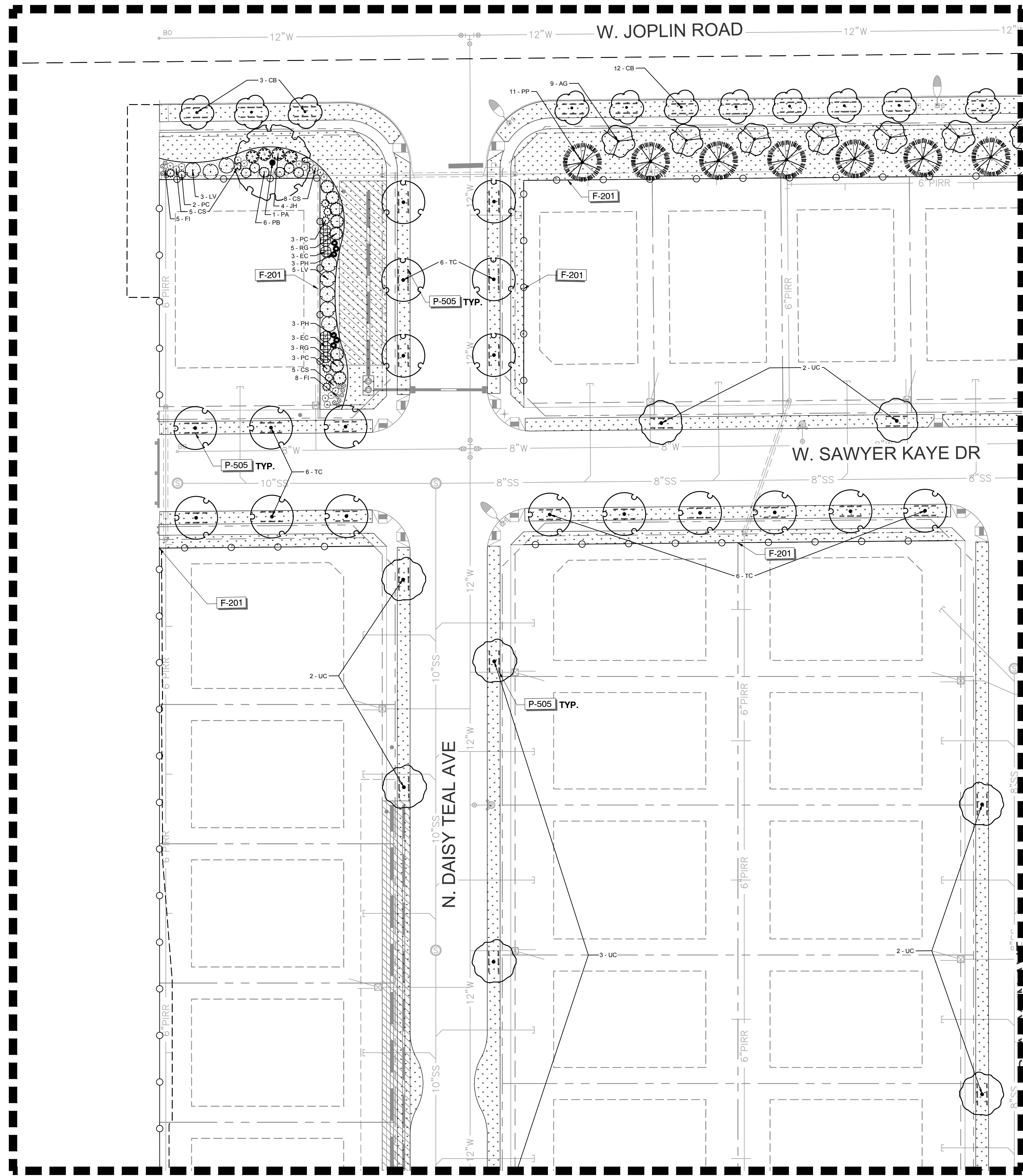
FEE: \_\_\_\_\_

CLINTON W. HANSEN  
PLS 11118



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**PLANT SCHEDULE**

CLASS I TREES	CODE	BOTANICAL / COMMON NAME
	AG	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry
	CF	Cornus florida 'Cherokee Chief' Cherokee Chief Dogwood
CLASS II TREES	CODE	BOTANICAL / COMMON NAME
	CB	Carpinus betulus 'Columnaris' Columnar European Hornbeam
	TC	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden
	UA	Ulmus americana 'Princeton' Princeton American Elm
	UC	Ulmus x 'Frontier' Frontier Elm
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PP	Picea pungens 'Glauca' Blue Colorado Spruce
CLASS III TREES	CODE	BOTANICAL / COMMON NAME
	PA	Platanus x acerifolia 'Bloodgood' Bloodgood London Plane Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	BW	Buxus microphylla japonica 'Winter Gem' Winter Gem Japanese Boxwood
	CS	Cornus sericea 'Kelsey' Kelsey's Dwarf Red Twig Dogwood
	EC	Euonymus alatus 'Compactus' Compact Burning Bush
	JH	Juniperus horizontalis 'Wiltonii' Blue Rug Juniper
	LV	Ligustrum x vicaryi Golden Privet
	PB	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark
	PC	Pinus mugo 'Compacta' Dwarf Mugo Pine
	RG	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac
GRASSES	CODE	BOTANICAL / COMMON NAME
	FI	Festuca idahoensis Idaho Fescue
	PH	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass
	PK	Pennisetum orientale 'Karley Rose' Karley Rose Fountain Grass
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	RR	Rip-Rap Rock 4"-6" Angular, Warm Tan Color, 6" Depth
	RM	Rock Mulch 3/4" Screened, Warm Tan Color, 3" Depth Over Weed Filter Fabric (DeWitt Pro-5 or approved equal)
	TB	Turf Sod Parks Blend Ryegrass Sod The Turf Company 208.888.3760

**REFERENCE NOTES SCHEDULE**

SYMBOL	VINYL FENCING DESCRIPTION	QTY
	Solid Vinyl Privacy Fence. 6' Ht. Avimore Traditional w/ T&G Composite Infill. Frame Color: Black. Composite Color: Tan. Butte Fence (Meridian, ID) 208-953-2043.	4,399 If
	24" DEPTH ROOT BARRIER (PARALLEL TO HARDSCAPE) ADJACENT TO ALL NEW TREES LESS THAN FOUR (4) FEET FROM PAVEMENT OR CURBS. SEE DETAIL.	2,380 If



User: LARSEN, TATE  
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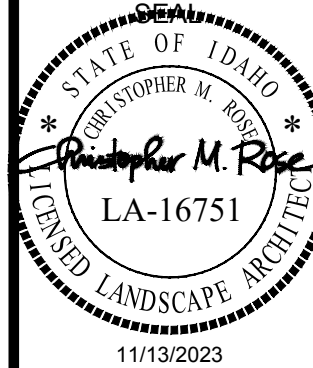
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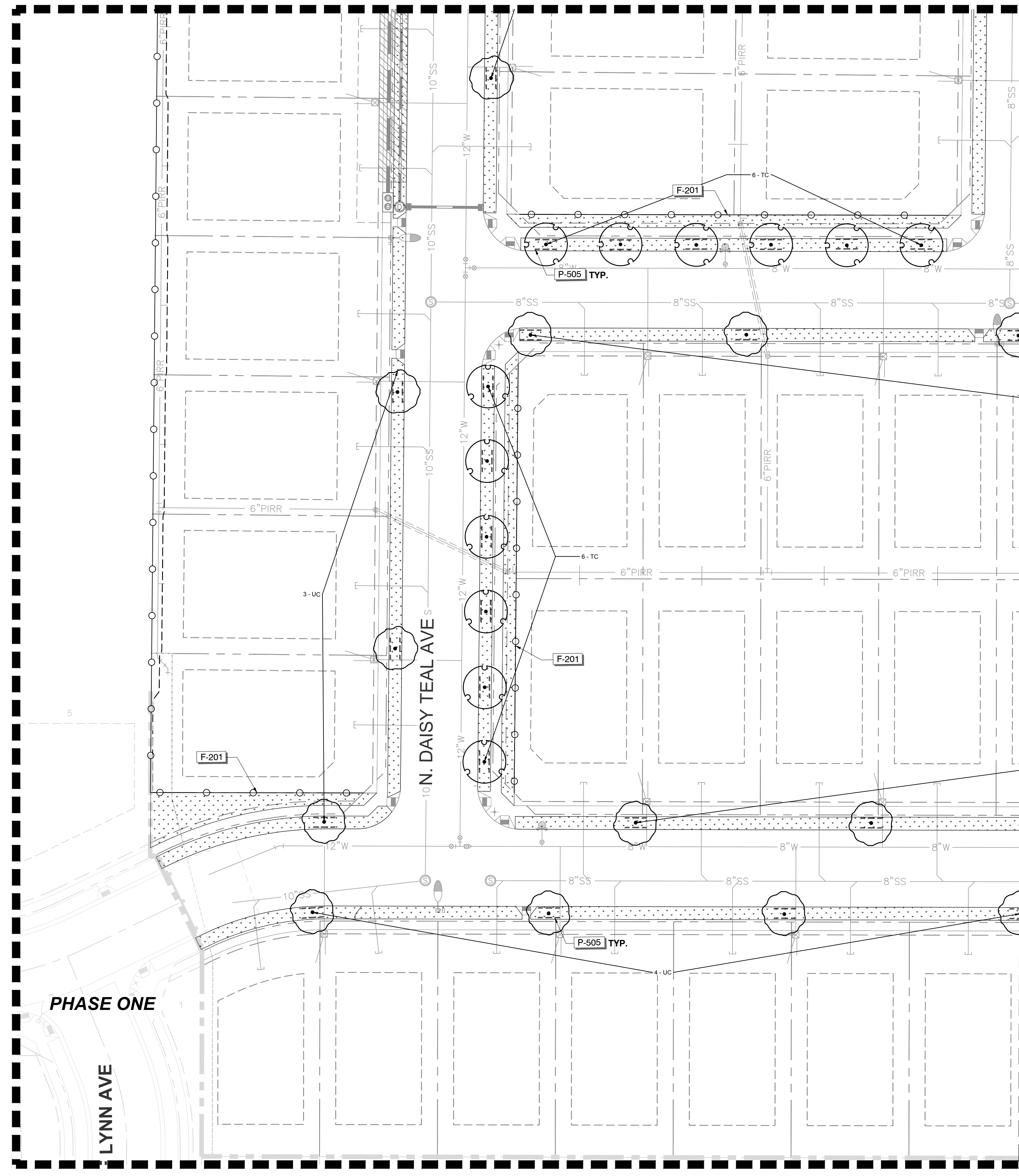
NAISMITH COMMONS - PHASE 2  
 LANDSCAPE PLAN  
 STAR, IDAHO

DRAWING NAME: LP-PH2.DWG  
 PROJECT No.: 09383306  
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 SCALE (V)/N/A  
 DRAWN BY: TL  
 CHECKED BY: CMR  
 DESIGNED BY: LE



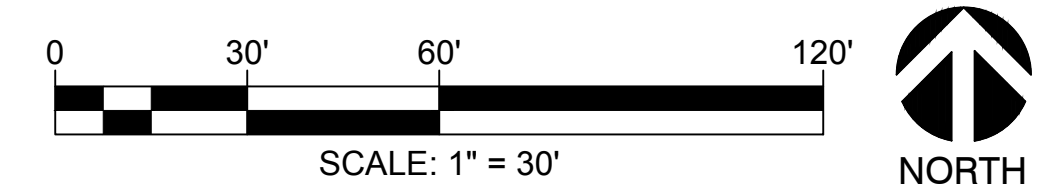
SHEET NO.  
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 2 OF 9





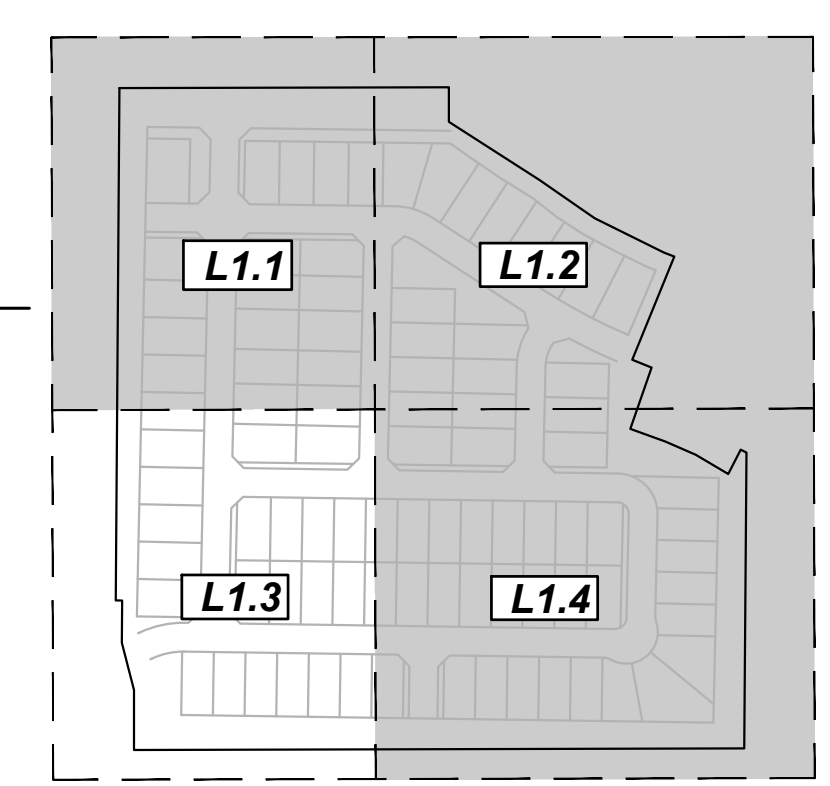
PLANT SCHEDULE

CLASS I TREES	CODE	BOTANICAL / COMMON NAME
	AG	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Apple Serviceberry
	CF	Cornus florida 'Cherokee Chief' Cherokee Chief Dogwood
CLASS II TREES	CODE	BOTANICAL / COMMON NAME
	CB	Carpinus betulus 'Columnaris' Columnar European Hornbeam
	TC	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden
	UA	Ulmus americana 'Princeton' Princeton American Elm
	UC	Ulmus x 'Frontier' Frontier Elm
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME
	PP	Picea pungens 'Glauca' Blue Colorado Spruce
CLASS III TREES	CODE	BOTANICAL / COMMON NAME
	PA	Platanus x acerifolia 'Bloodgood' Bloodgood London Plane Tree
SHRUBS	CODE	BOTANICAL / COMMON NAME
	BW	Buxus microphylla japonica 'Winter Gem' Winter Gem Japanese Boxwood
	CS	Cornus sericea 'Kelsey' Kelsey's Dwarf Red Twig Dogwood
	EC	Euonymus alatus 'Compactus' Compact Burning Bush
	JH	Juniperus horizontalis 'Wiltonii' Blue Rug Juniper
	LV	Ligustrum x vicaryi Golden Privet
	PB	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark
	PC	Pinus mugo 'Compacta' Dwarf Mugo Pine
	RG	Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac
GRASSES	CODE	BOTANICAL / COMMON NAME
	FI	Festuca idahoensis Idaho Fescue
	PH	Panicum virgatum 'Heavy Metal' Heavy Metal Switch Grass
	PK	Pennisetum orientale 'Karley Rose' Karley Rose Fountain Grass
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	RR	Rip-Rap Rock 4"-6" Angular, Warm Tan Color, 6" Depth
	RM	Rock Mulch 3/4" Screened, Warm Tan Color, 3" Depth Over Weed Filter Fabric (DeWitt Pro-5 or approved equal)
	TB	Turf Sod Parks Blend Ryegrass Sod The Turf Company 208.888.3760



REFERENCE NOTES SCHEDULE

SYMBOL	VINYL FENCING DESCRIPTION	QTY
	Solid Vinyl Privacy Fence. 6' Ht. Avimore Traditional w/ T&G Composite Infill. Frame Color: Black. Composite Color: Tan. Butte Fence (Meridian, ID) 208-953-2043.	4,399 If
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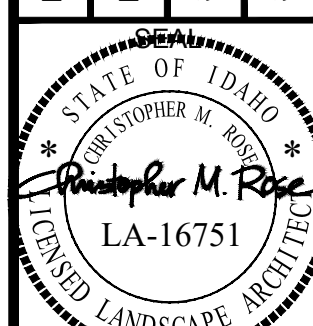
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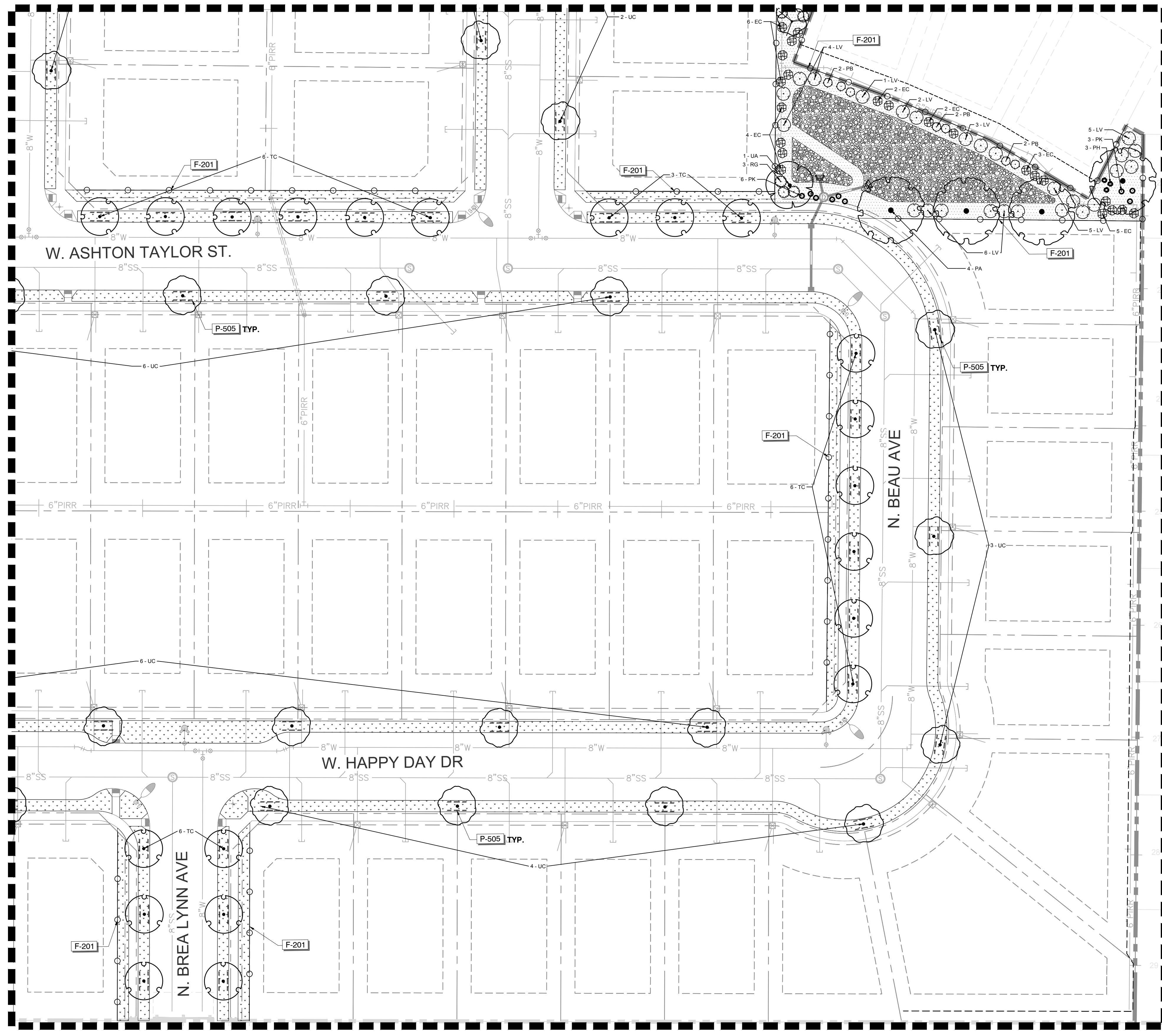


NAISMITH COMMONS - PHASE 2  
 LANDSCAPE PLAN  
 STAR, IDAHO

DRAWING NAME: LP-PH2.DWG	DRAWN BY: TL	CHECKED BY: CMR	DESIGNED BY: LE
PROJECT No.: 093833006	SCALE (H): SEE SHEET	SCALE (V): N/A	



11/13/2023  
 SHEET NO.  
**L1.3**  
 4 OF 9

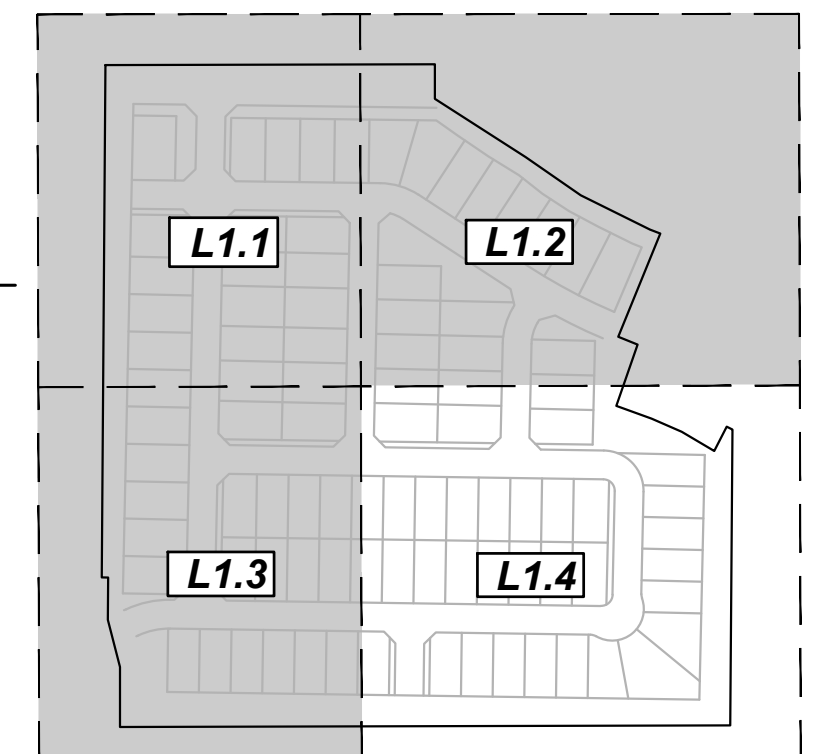
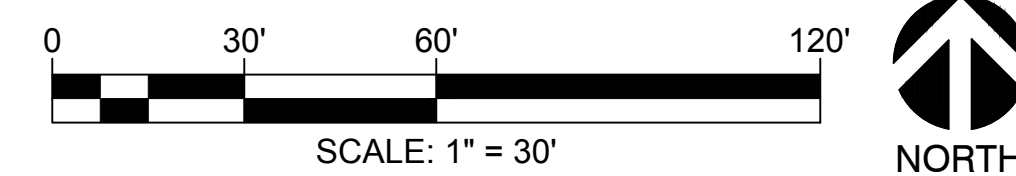


PLANT SCHEDULE

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REFERENCE NOTES SCHEDULE

SYMBOL	VINYL FENCING DESCRIPTION	QTY
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KEYMAP  
N.T.S.

Date: 11/13/2023 1:40 PM  
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DATE	DESCRIPTION

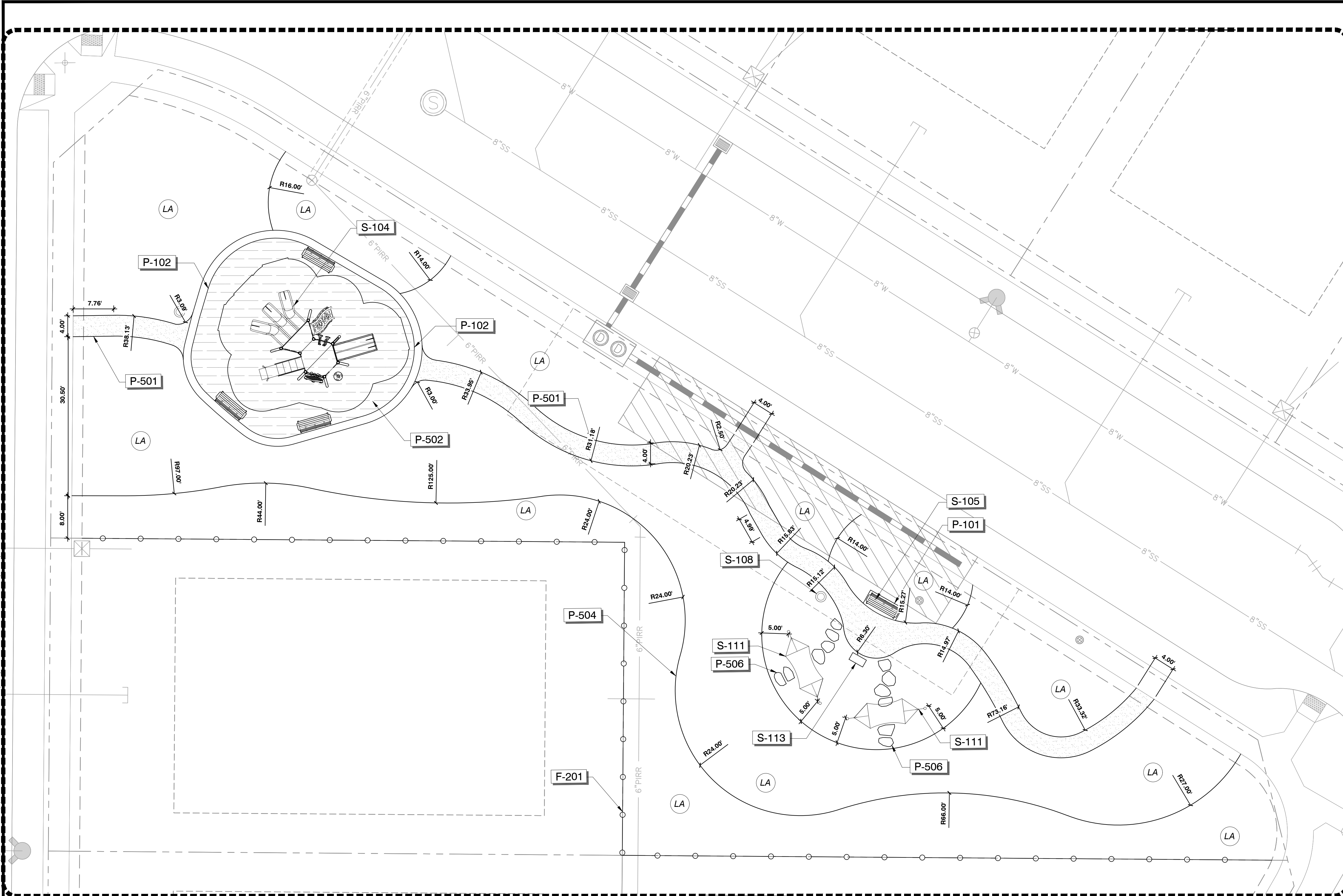


NAISMITH COMMONS - PHASE 2  
LANDSCAPE PLAN  
STAR, IDAHO

DRAWING NAME: LP-PH2.DWG	DRAWN BY: TL
PROJECT No.: 09333006	CHECKED BY: CMR
SCALE (H)/SEE SHEET	DESIGNED BY: LE
SCALE (V)/N/A	



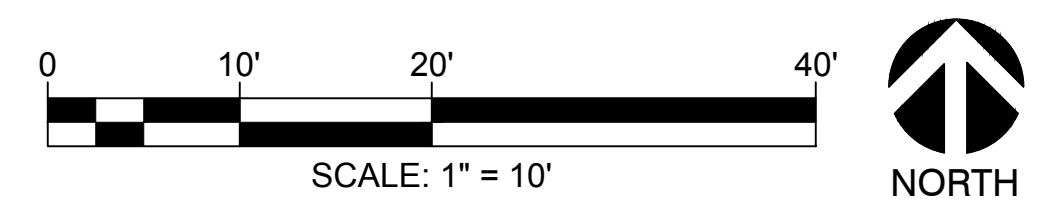




### REFERENCE NOTES SCHEDULE

SYMBOL	VINYL FENCING DESCRIPTION	QTY
F-201	Solid Vinyl Privacy Fence. 6' Ht. Avimore Traditional w/ T&G Composite Infill. Frame Color: Black. Composite Color: Tan. Butte Fence (Meridian, ID) 208-953-2043.	4,399 lf
SYMBOL	CONCRETE DESCRIPTION	QTY
P-101	Concrete sidewalk paving, TYP. Reference Civil Plans and ACHD SDT-DET 709	
P-102	6" X 18" Concrete Header w/ turnaround at play surfacing	135 lf
SYMBOL	MISC DESCRIPTION	QTY
P-501	Crusher Fines Path 1/4" Minus, 4" Depth Over Weed Filter Fabric	845 sf
P-502	Rubberized Playground Surfacing Basis of Design: FlexGround, Standard, 3.5" depth, 50/50 color blend from full range, approved through submittal and installed per manufacturers recommendations	1,211 sf
P-504	Metal Edging	1,226 lf
P-505	24" DEPTH ROOT BARRIER (PARALLEL TO HARDSCAPE) ADJACENT TO ALL NEW TREES LESS THAN FOUR (4) FEET FROM PAVEMENT OR CURBS. SEE DETAIL.	2,380 lf
P-506	Flagstone step stones, approximately 18" x 24", 1" thick, set in concrete. Field layout.	
SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY
S-104	PLAY EQUIPMENT, PLAYGROUND, BASIS OF DESGN: Playcraft Model R50CF334A, Fall Height: 4'. Color Selection by Owner	1
S-105	Anova RCPMC6 Madison 6ft. recycled plastic contour bench Frame: Pewter Texture Coated Slat: Cedar Recycled Plastic	5
S-108	Anova TR350T Madison 35 gallon recycled plastic receptacle, open top Frame: Pewter Texture Coated Slat: Cedar Recycled Plastic Lid: Pewter Texture Coated	2
S-111	Hammock - Posts to be installed by Contractor per Details; Hammock selection by Owner.	2
S-112	Dog Waste Station BASIS OF DESIGN: DOGIPOT® ALUMINUM PET STATION (Model # 1003-L)	1
S-113	Take-a-book + Leave-a-book Community Library stand; provided by Owner, installed by Contractor	
LA	Landscape Area (Reference Landscape Planting Plans)	

- ### GENERAL NOTES
- ALL QUANTITIES SHOWN ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES SHOWN AND PROVIDE MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO INSTALL IMPROVEMENTS AS SHOWN ON THESE PLANS. QUANTITIES SHOWN ON INDIVIDUAL SHEETS ARE FOR THE ENTIRE PROJECT.
  - ALL EQUIPMENT BY MANUFACTURERS IS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS.
  - ALL PAVEMENT SCORING SHOWN SHALL BE EQUALLY SPACED BETWEEN REFERENCE POINTS, WHERE SHOWN. INDIVIDUAL SCORING SPACING MAY VARY AS REQUIRED.
  - CONTRACTOR TO PROVIDE SCORING AND JOINTING PLAN FOR REVIEW AND APPROVAL BY OWNER OR REPRESENTATIVE PRIOR TO STAKING FOR CONCRETE FORMS.



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NAISMITH COMMONS - PHASE 2  
 LANDSCAPE AMENITY LAYOUT  
 STAR, IDAHO

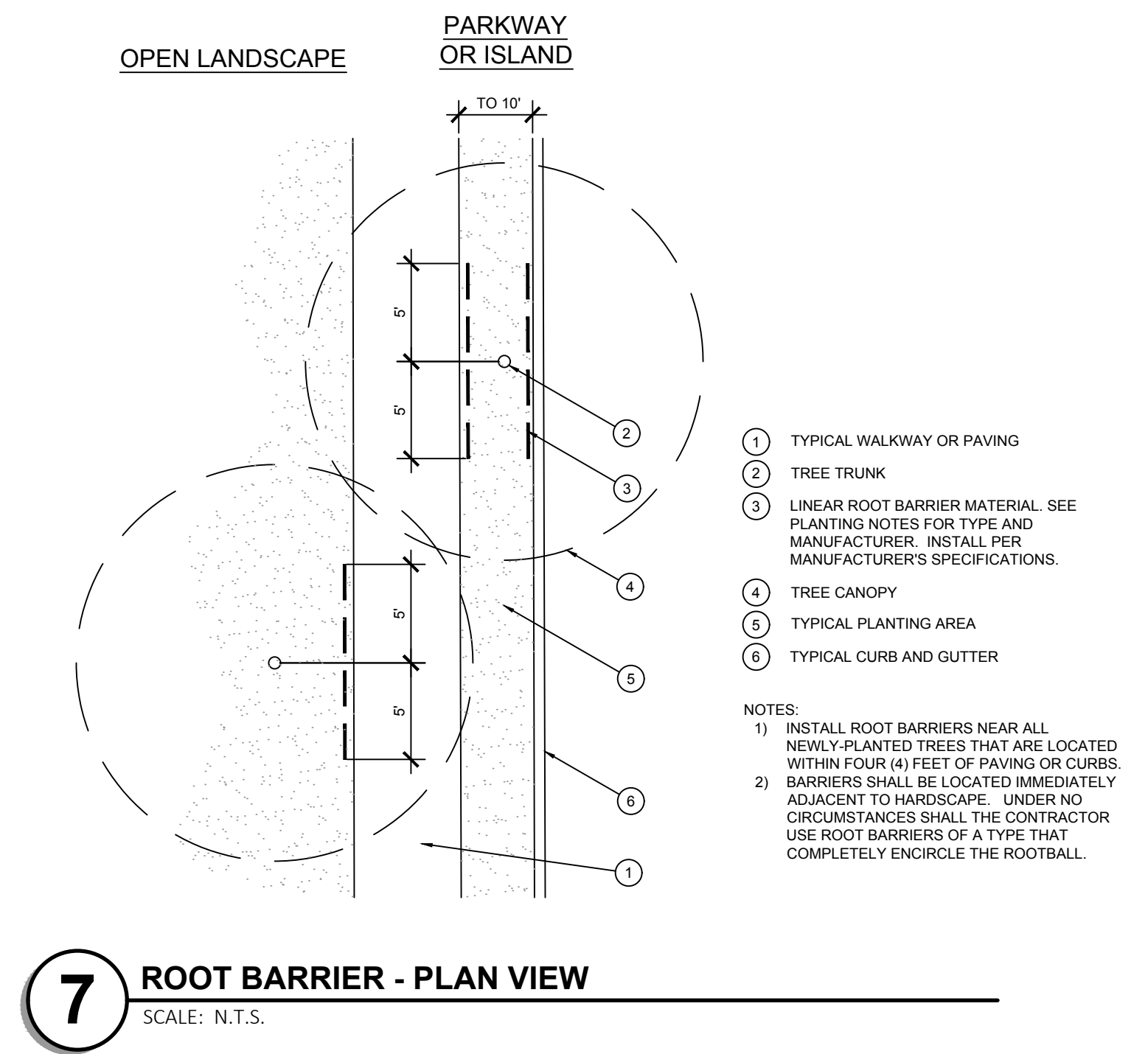
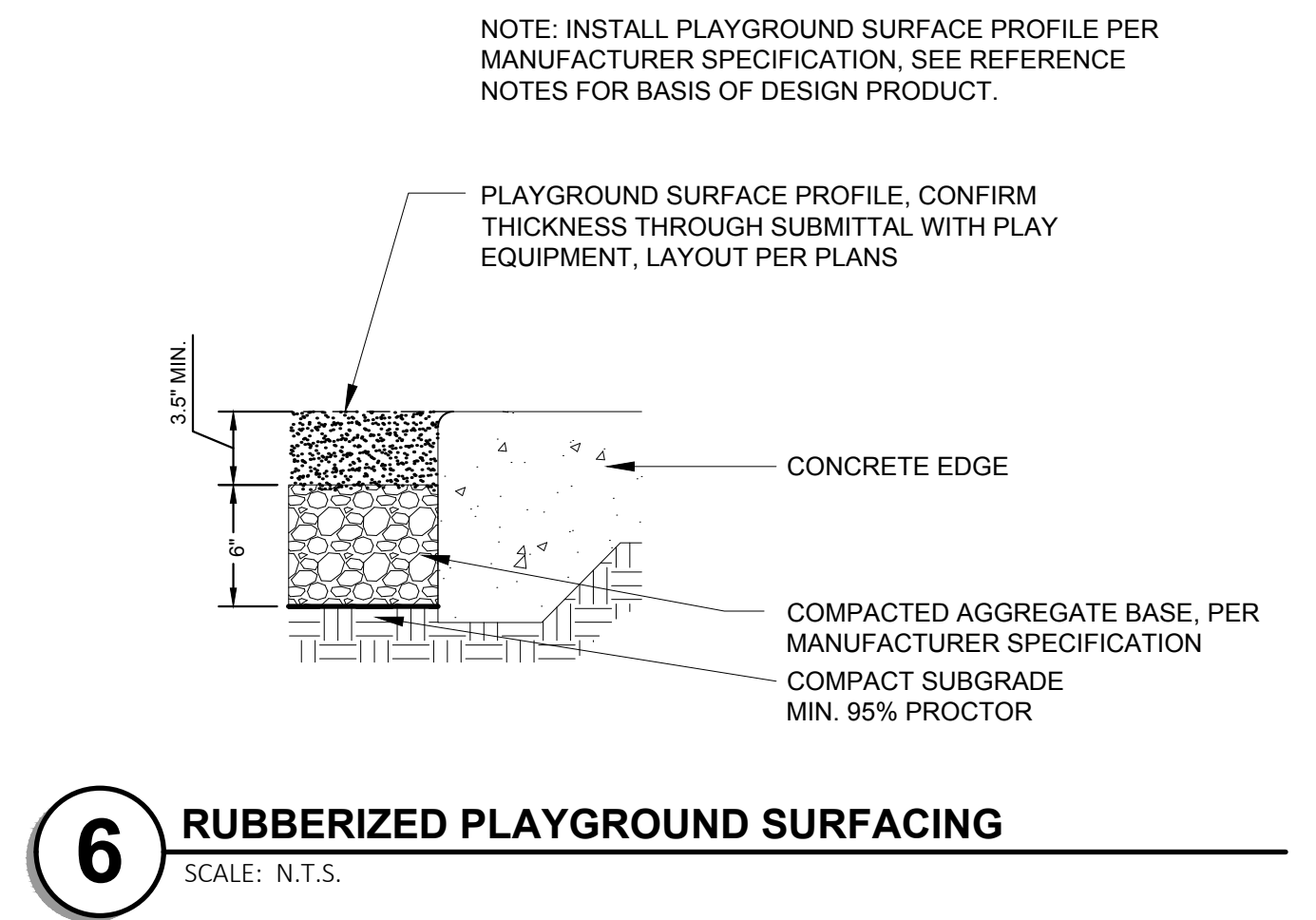
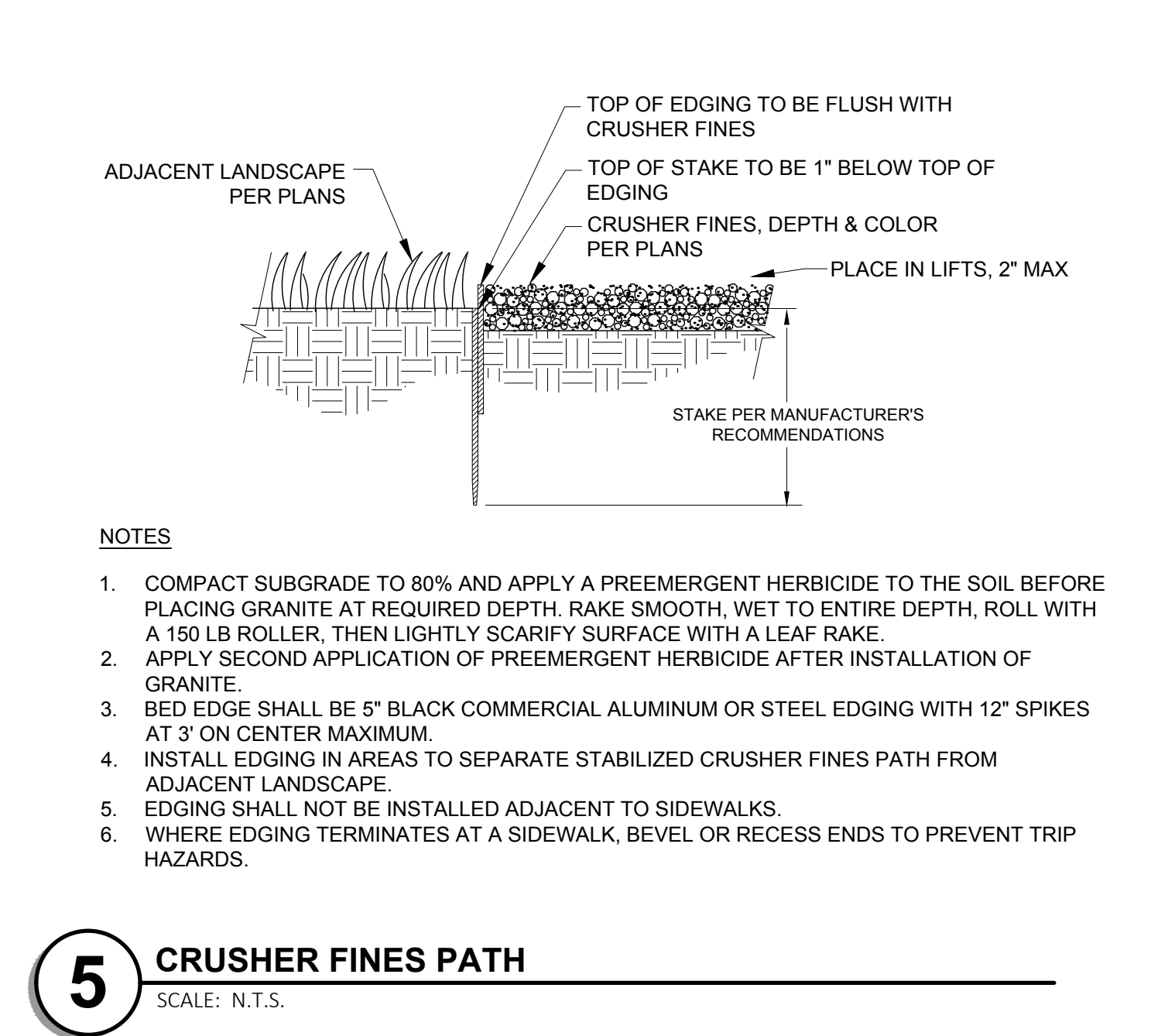
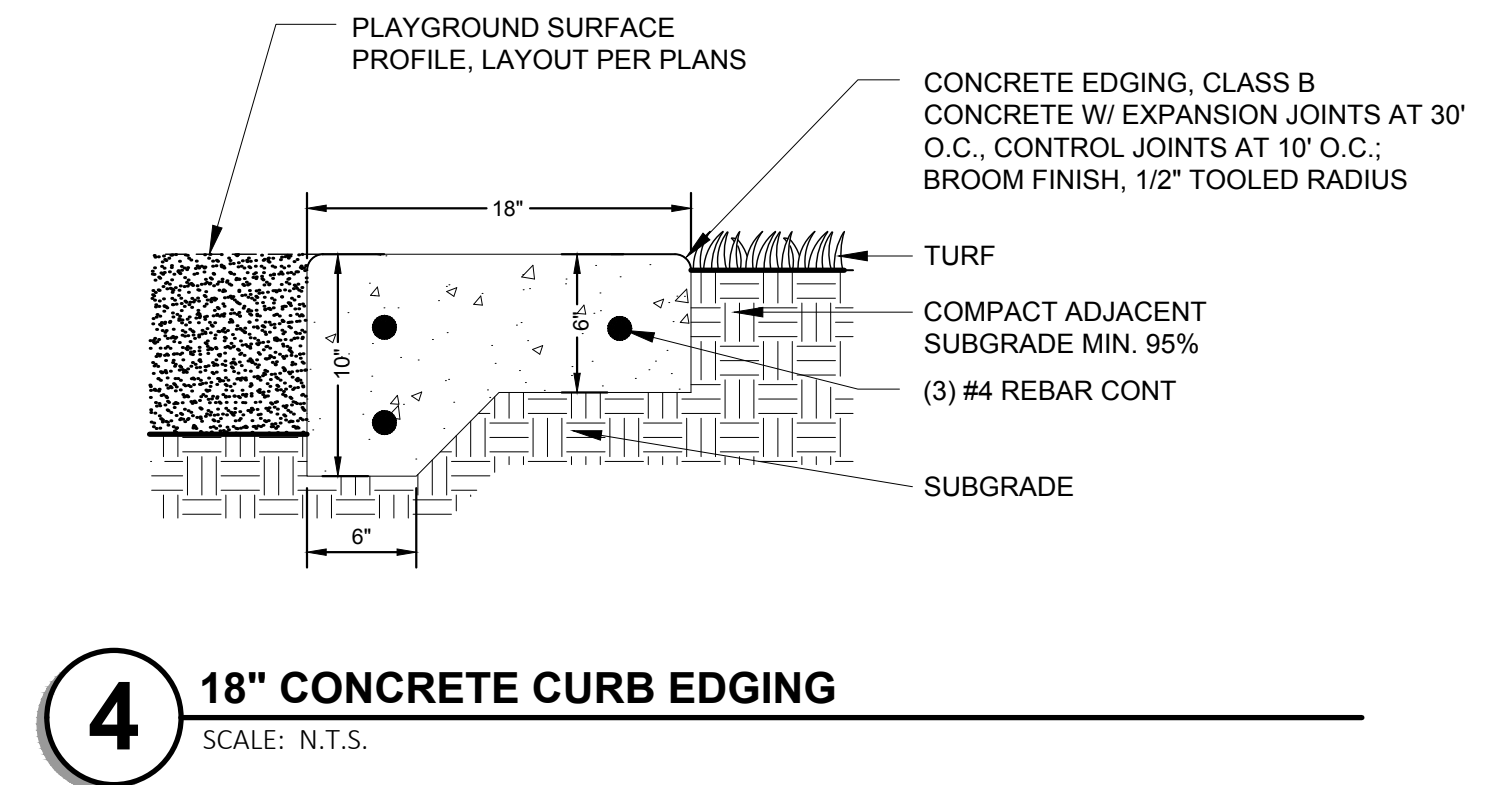
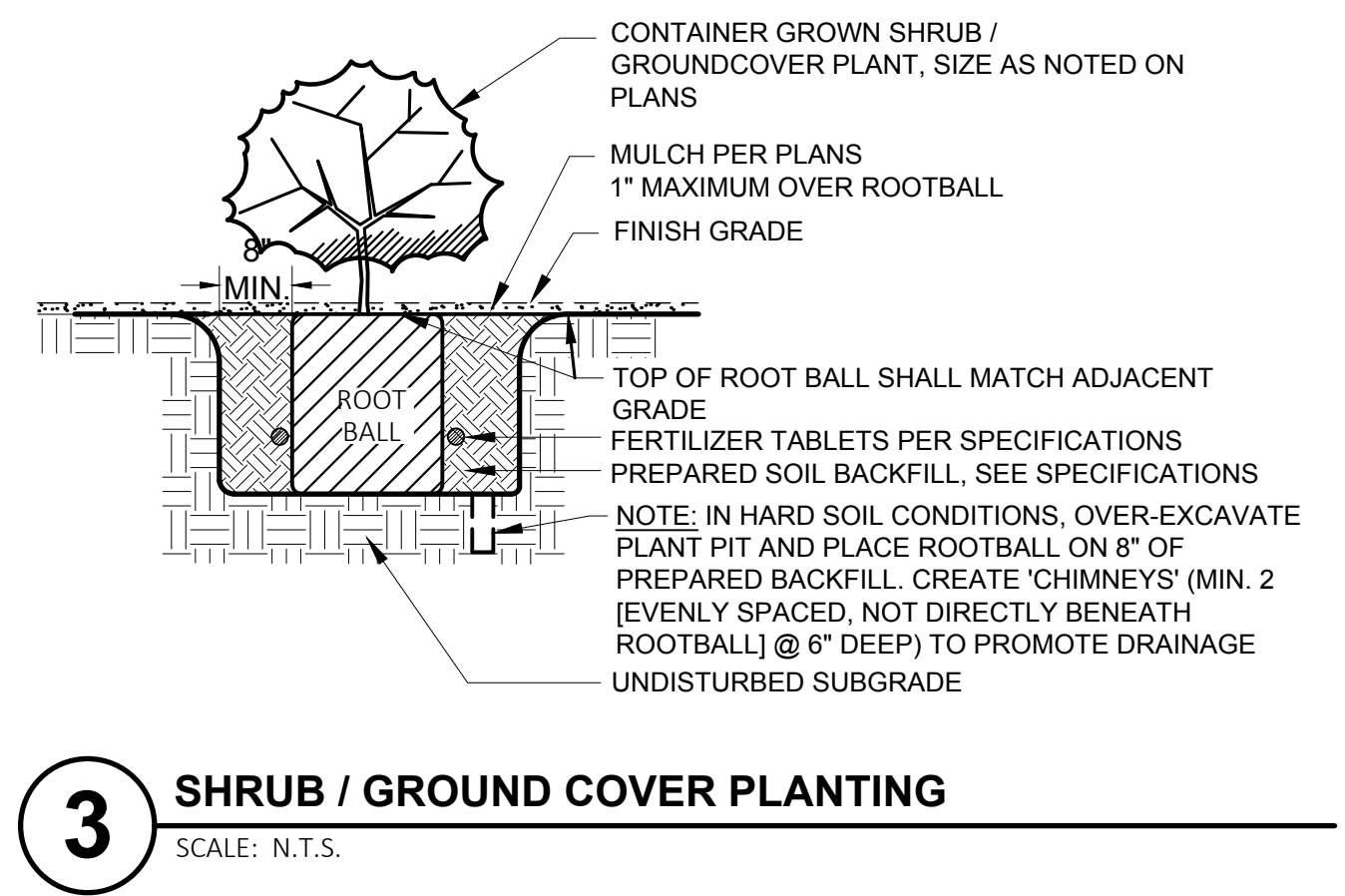
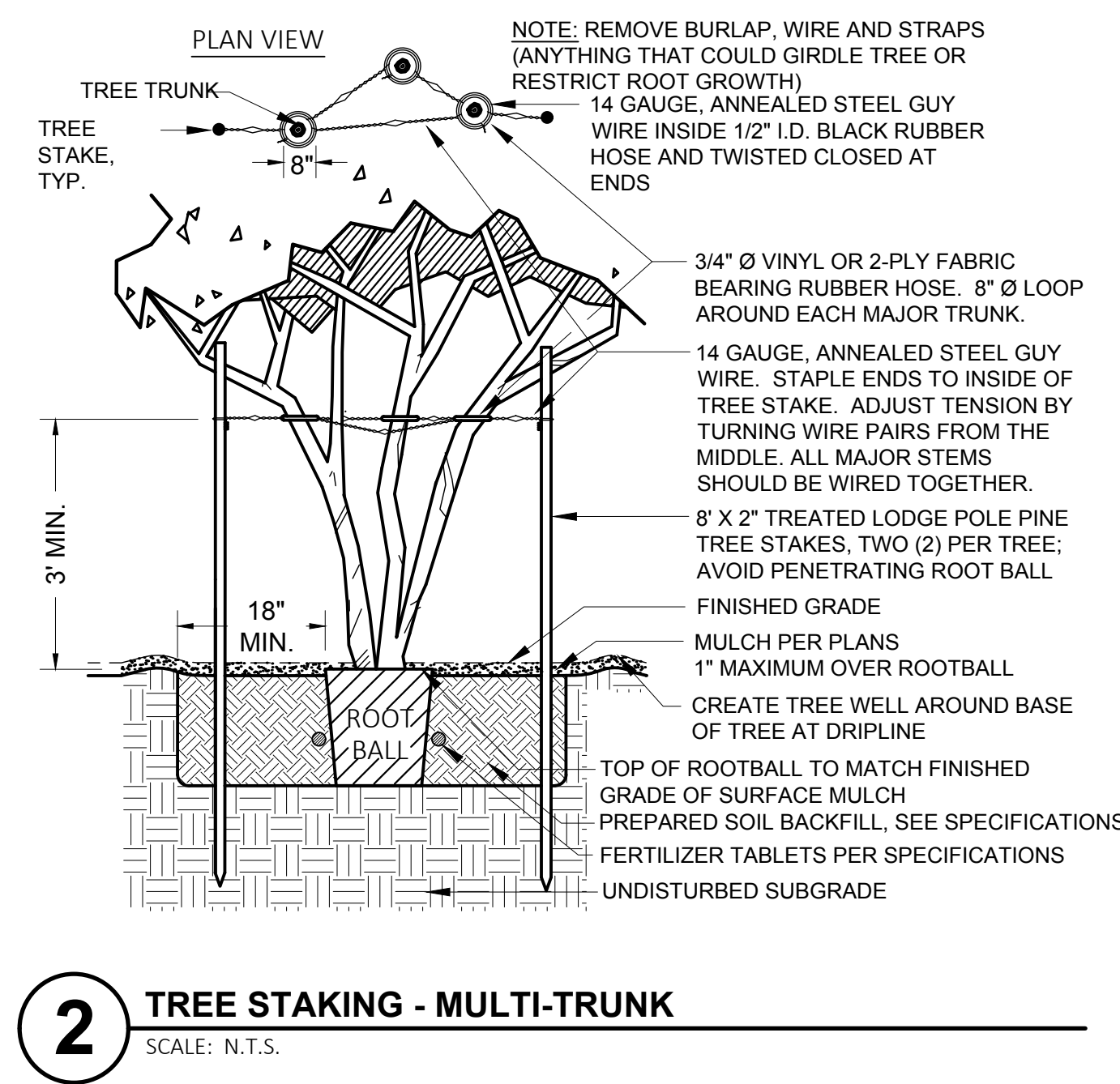
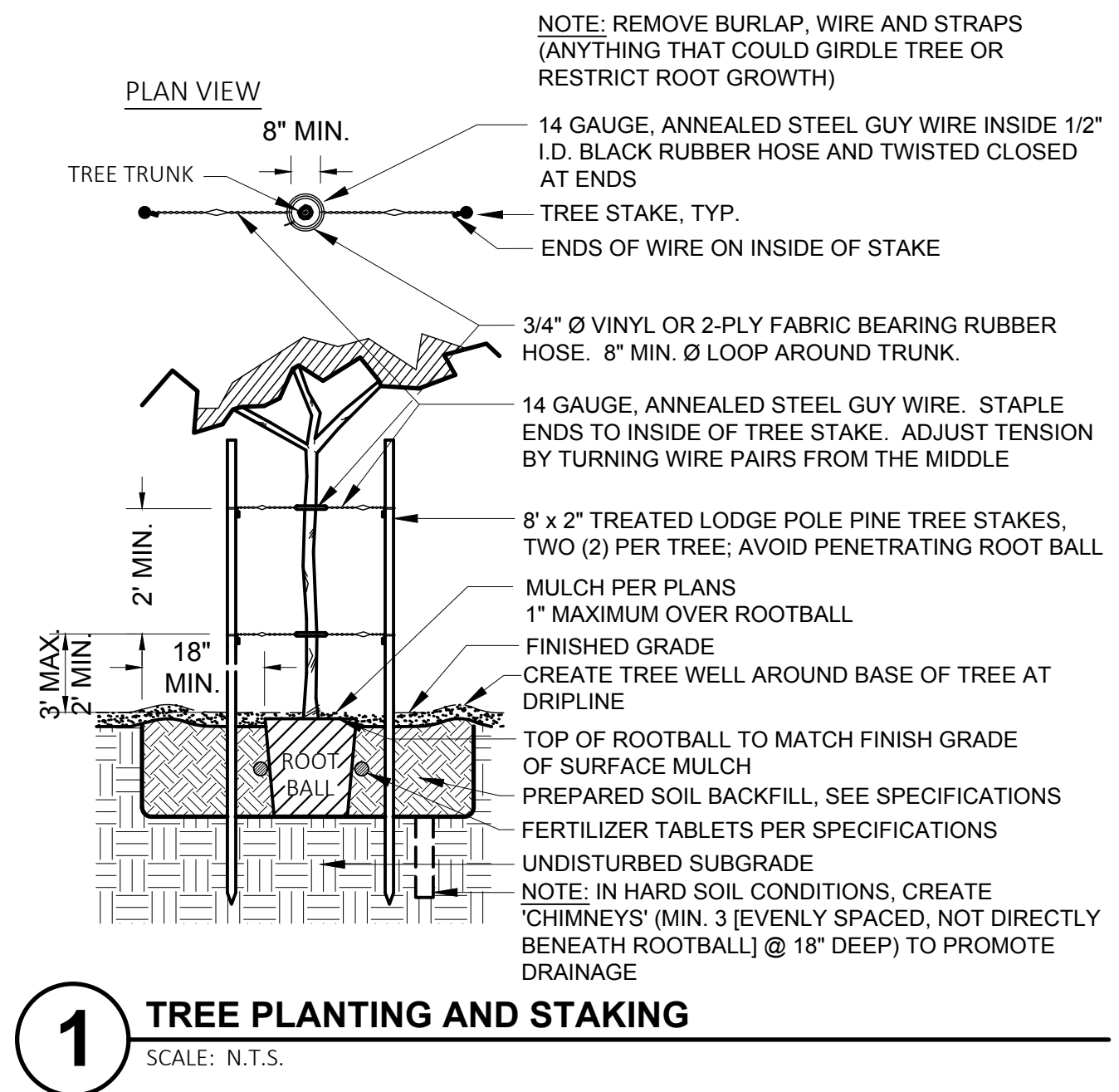
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PROJECT No.: 093833006	CHECKED BY: CMR
SCALE (H)/SEE SHEET	DESIGNED BY: LE
SCALE (V): N/A	

11/13/2023

SHEET NO.

**L1.5**

6 OF 9



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Boise, Idaho 83702 (208) 297-2888

NAISMITH COMMONS - PHASE 2  
LANDSCAPE DETAILS  
STAR, IDAHO

DRAWING NAME: LP-PH2.DWG	DRAWN BY: TL	CHECKED BY: CMR	DESIGNED BY: LE
PROJECT No.: 0935306	SCALE (H)/SEE SHEET	SCALE (V): N/A	



11/13/2023  
SHEET NO.  
**L1.6**  
7 OF 9

**ANOVA Outdoor Furnishings**  
 ANOVA FURNISHINGS  
 1424 TALMAGE AVENUE  
 ST. LOUIS, MO 63110-2323  
 TOLL FREE: 1-888-535-5005  
 PHONE: (800) 231-1327  
 FAX: (314) 754-0835  
 www.anovafurnishings.com

**1 MADISON COLLECTION**  
 T350T - MADISON 35 GALLON THERMORY TRASH RECEPTACLE, OPEN TOP

LP-PH2.d  
 PROTECTED BY COPYRIGHT ©2023 CADDETAILS.COM LTD. REVISION DATE 11/13/2023  
 www.CADdetails.com

**ANOVA Outdoor Furnishings**  
 ANOVA FURNISHINGS  
 1424 TALMAGE AVENUE  
 ST. LOUIS, MO 63110-2323  
 TOLL FREE: 1-888-535-5005  
 PHONE: (800) 231-1327  
 FAX: (314) 754-0835  
 www.anovafurnishings.com

**2 MADISON COLLECTION**  
 THM6S - MADISON 6' THERMORY CONTOUR BENCH

LP-PH2  
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 www.CADdetails.com

**6' Tall Avimor Traditional with 7/8 x 6" T&G Infill (Mocha Walnut Shown)**

Key	Qty.	Description
A	2	3" x 3" x 96" Grooved Post
B	2	1 x 2.75 x 72" Rail
C	2	Bottom Bracket
D	12	7/8 x 6 x 64" T&G

**3 6' HT. SOLID PRIVACY VINYL FENCE**  
 SCALE: N.T.S.

**4 HAMMOCK POST**  
 1/2" = 1'-0" P-RE-HAM-01

NOTE: APPROVE THROUGH SHOP DRAWING

**DOGIPOT® PET STATION (ITEM #1003-L)**  
 SPECIFICATION, INSTALLATION AND OPERATION SHEET

800.364.7681 www.DOGIPOT.com

**(A) DOGIPOT® PET SIGN (ITEM #1203 / 1204)**  
 • H: 18" x W: 11.5"  
 • 14 gauge reflective aluminum  
 • Weight: 1.35 lbs.  
 • Forest green on white

**(B) ALUMINUM DOGIPOT® JUNIOR BAG DISPENSER (ITEM #1002-2)**  
 • 12 gauge powder coated forest green aluminum  
 • Weight: 7 lbs.  
 • 400 bag capacity  
 • Two diamond shaped bag dispenser slots  
 • Front locking access panel  
 • Clearly posted instructions

**(C) STEEL TRASH RECEPTACLE WITH LID (ITEM #1206-L)**  
 • H: 23" x 11.5" diameter  
 • 16 gauge powder coated forest green steel  
 • Weight: 14.6 lbs.  
 • 10 gallon capacity with interior trash liner bag retainer bands  
 • Attached stainless steel hinged lid  
 • One (1) box 50 count DOGIPOT® Smart Liner Trash Bags™ (ITEM #1404) included (5 lbs.)

**(D) TELESCOPIC GALVANIZED STEEL MOUNTING POST (ITEM #1301-P)**  
 • 2" x 2" x 8"  
 • 11 gauge galvanized steel  
 • Weight: 15 lbs.

**TOTAL HEIGHT FROM ABOVE GROUND:**  
 • 6'-6"

**SPACE BETWEEN DISPENSER AND SIGN:**  
 • 1'-0"

**SPACE BETWEEN RECEPTACLE AND DISPENSER:**  
 • 12.5"

**SPACE BETWEEN GROUND AND RECEPTACLE:**  
 • 8'-0"

**HOLE:**  
 • D: 18.0" x W: 9.0"  
 • Fill with 40 lbs. "ready to use" cement

**TOTAL SHIP WEIGHT: 45 LBS. (MOUNTING HARDWARE INCLUDED)**

**5 PET WASTE STATION**  
 SCALE: N.T.S.

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NAISMITH COMMONS - PHASE 2  
 FURNISHING DETAILS  
 STAR, IDAHO

DRAWING NAME: LP-PH2.DWG  
 PROJECT No.: 09393306  
 SCALE (H): SEE SHEET  
 SCALE (V): N/A

DRAWN BY: TL  
 CHECKED BY: CMR  
 DESIGNED BY: LE

STATE OF IDAHO  
 CHRISTOPHER M. ROSE  
 LA-16751  
 LICENSED LANDSCAPE ARCHITECT

11/13/2023  
 SHEET NO.  
**L1.7**  
 8 OF 9

# GENERAL LANDSCAPE SPECIFICATIONS

## A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

## B. PROTECTION OF EXISTING STRUCTURES

- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

## C. PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

## D. MATERIALS

### 1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

### 2. PLANT MATERIALS

- FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/4 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

## E. SOIL MIXTURE

- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
- SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

- TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.

- TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

## F. WATER

- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE. AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.  
\*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO JURISDICTIONAL AUTHORITY.

## G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.  
\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## H. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S GROWN BASE OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

## I. DIGGING AND HANDLING

- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

## J. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

## K. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

## L. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

## M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY, SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE, IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING

LANDSCAPE MATERIALS AND WORK, UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ONSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.

- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
- TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

## N. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- SODDING
  - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
  - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS, ADJACENT TO BUILDINGS. A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
  - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

## 6. LAWN MAINTENANCE

- WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRAIDING IF NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

## O. EDGING

- CONTRACTOR SHALL INSTALL 4"x8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

## P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

## Q. PLANT MATERIAL MAINTENANCE

- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

## R. FINAL INSPECTION AND ACCEPTANCE OF WORK

- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

## S. WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

CAUTION: NOTICE TO CONTRACTOR

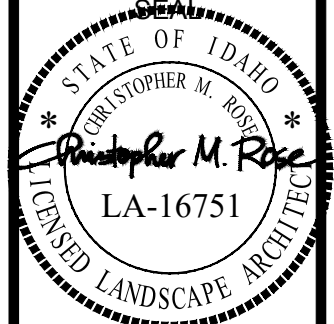
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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NAISMITH COMMONS - PHASE 2  
 LANDSCAPE SPECIFICATION  
 STAR, IDAHO

DRAWING NAME: LP-PH2.DWG	DRAWN BY: TL	CHECKED BY: CMR	DESIGNED BY: LE
PROJECT No.: 0935306	SCALE (H)/SEE SHEET	SCALE (V): N/A	



## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **March 5, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** Vacation of Utility Easements for Trapper Ridge Subdivision (New Hope Subdivision)  
Files #'s VAC-23-02

**Applicant/Representative:** Kent Brown Planning Services

**Owner:** Challenger Development Inc and Endurance Holdings LLC

**Action:** The Applicant is seeking approval of a vacation of existing utility, drainage and irrigation easements within the new Trapper Ridge Subdivision and original New Hope Subdivision. The property is located at 11650 W. New Hope Road in Star, Idaho.

**Property Location:** The subject property is generally located north of New Hope Road, west of Brandon Road and east of Munger Road in Star, Idaho; Ada County Parcel R6046660315 & R6046660101.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen T. Muth*

**MEETING DATE:** March 5, 2024 – PUBLIC HEARING

**FILE(S) #:** VAC-23-02- Vacation of Utility Easements Trapper Ridge Subdivision/New Hope Subdivision

**OWNER/APPLICANT/REPRESENTATIVE**

<b>Property Owner:</b>	<b>Representative:</b>
Challenger Development, Inc. & Endurance Holdings, LLC 1977 E. Overland Road Meridian, ID 83642	Kent Brown Kent Brown Planning Services 3161 E. Springwood Drive Meridian, ID 83642

**REQUEST**

**Request:** The Applicant is seeking approval of a vacation of existing utility, drainage and irrigation easements within the new Trapper Ridge Subdivision and original New Hope Subdivision. The property is located at 11650 W. New Hope Road in Star, Idaho.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located north of New Hope Road, west of Brandon Road and east of Munger Road in Star, Idaho; Ada County Parcel R6046660315 & R6046660101.

**APPLICATION REQUIREMENTS**

Application Submitted & Fees Paid	December 21, 2023
Application Accepted	January 12, 2024
Legal Notice Published	
Property Posted	February 24, 2024

**HISTORY**

- May 7, 2019            The Rezone (RZ-18-06) and Preliminary Plat (PP-18-05) for Trapper Ridge Subdivision was approved by the Council.
- July 16, 2019        The Final Plat (FP-19-05) for Trapper Ridge Subdivision, Phase 1 was approved by the Council.
- April 21, 2020      The Final Plat (FP-20-06) for Trapper Ridge Subdivision, Phase 2 was approved by the Council.
- August 17, 2021    The Final Plat (FP-21-16) for Trapper Ridge Subdivision, Phase 3 was approved by the Council.

**STAFF REVIEW AND RECOMMENDATIONS**

Based upon the information provided to staff in the application, staff finds that the proposed vacation of easements meets the requirements, standards and intent of the Comprehensive Plan and Zoning Ordinance. The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter.

**COUNCIL ACTION**

The Council may **approve**, **conditionally approve**, **deny** or **table** this request for vacation of easements.

*Council may consider:*

- 1. This application complies with the framework of Star’s Comprehensive Plan;
- 2. The vacations do not create any landlocked property;
- 3. The vacations do not restrict access to any parcel;
- 4. The vacations do not reduce the quality of public services to any parcel of land.

**PROPOSED CONDITIONS OF APPROVAL**

- 1. The future Final Plats for Trapper Ridge Subdivision shall continue to comply with all conditions of approval for the final plat, along with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. The applicant shall comply with all requirements of the City Engineer.
- 3. Any additional site-specific conditions and considerations as required by Staff or Council.

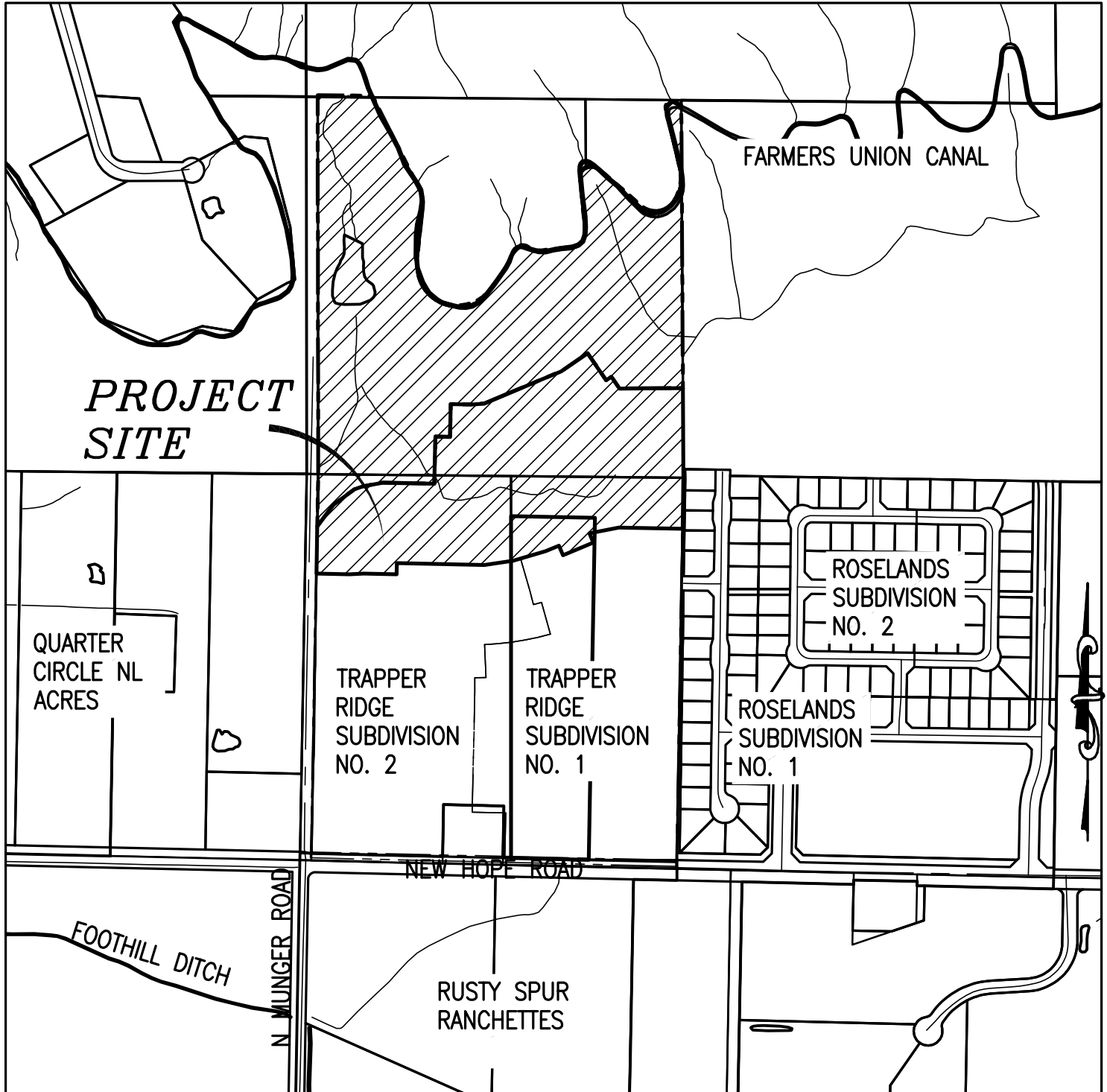
**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File VAC-23-02 Easement Vacation for Trapper Ridge Subdivision/New Hope Subdivision on \_\_\_\_\_, 2024.

# VICINITY MAP FOR TRAPPER RIDGE SUBDIVISION NO. 3

PORTION OF LOTS 1 AND LOT 2, BLOCK 1 OF NEW HOPE SUBDIVISION IN SW 1/4 OF THE SE 1/4 OF SECTION 31, T.5N., R.1W AND GOVERNMENT LOT 2 IN THE SECTION 6, T.4N., R.1W., BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO

2020



VICINITY MAP  
1" = 500'

NAVD 1988 DATUM



# KENT BROWN PLANNING SERVICES

Section 6, Item A.

December 13, 2023  
City of Star  
PO Box 130  
Star ID 83669

**RE: Request for Vacation of Drainage and Utilities easements in New Hope Subdivision**

Dear Shawn:

The original New Hope Subdivision is in the process of being re-platted into the Trapper Ridge Subdivision. In 2020 and 2021 we were able to record the first two phases of Trapper Ridge Subdivision. The new Trapper Ridge Subdivision easements do not align with the existing easements found in existing New Hope Subdivision and therefore, need to be vacated.

When we started the re-plating process local governing bodies had a different interpretation of State Code regarding when you needed to vacate drainage and utilities easements. As of today's interpretation, we are required to vacate these public utility easements before recording the final two phases of Trapper Ridge Subdivision.

I have attached a copy of the New Hope Subdivision plat and Exhibit A showing the easements we desire to have vacated.

If you have any questions regarding this or anything else feel free to contact me 208-871-6842.

Sincerely,



Kent Brown  
Planner



## VACATION APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>VAC 23-02</u> Date Application Received: <u>12-21-23</u> Fee Paid: <u>980</u> Processed by: City: <u>BN</u>
--

Transmitted  
~~Schedule 1~~  
 Ryan Morgan  
 1-3-24  
  
 Legal  
 Sent  
 2-14-24

### Applicant Information:

**PRIMARY CONTACT IS: Applicant \_\_\_ Owner \_\_\_ Representative X**

Applicant Name: Trilogy Idaho Development  
 Applicant Address: 9839 W Cable Car Street Suite 101 Boise Idaho Zip: 83709  
 Phone: 208-639-7293 Fax: \_\_\_\_\_ Email: shawn@trilogyidaho.com

Owner Name: Challenger Development Inc and Endurance Holdings LLC  
 Owner Address: 1977 E Overland Road Meridian Idaho Zip: 83642  
 Phone: 208-639-7293 Fax: \_\_\_\_\_ Email: shawn@trilogyidaho.com

Representative (e.g., architect, engineer, developer):  
 Contact: Kent Brown Firm Name: Kent Brown Planning Services  
 Address: 3161 E Springwood Drive Meridian Idaho 83642 Zip: 83642  
 Phone: 208-871-6842 Fax: \_\_\_\_\_ Email: kentkb@gmail.com

### Property Information:

Site Location: 11650 W New Hope Road  
 Parcel Number(s): R6046660315 R6046660101  
 Approved Zoning Designation: R-3

### Application Requirements:

*(Applications are required to contain one copy of the following unless otherwise noted.)*

Applicant (v)	Description	Staff (v)
	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	<u>N/A</u>
	Copy of neighborhood meeting notice sent to property owners within 300' and meeting sign-in sheet. (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	<u>N/A</u>
	Completed and signed Vacation Application	<input checked="" type="checkbox"/>
	Fee \$980	<input checked="" type="checkbox"/>
	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (Affidavit of Legal Interest) from the owner stating the applicant is authorized to submit this application is required.	<input checked="" type="checkbox"/>

	Narrative fully describing the proposed request including the following: <ul style="list-style-type: none"> <li>• Particular circumstances regarding the request to vacate</li> <li>• Names of the persons affected by the proposed vacation</li> </ul>	✓
	Relinquishment of easement letters from the applicable parties (e.g. public utilities: phone, power, gas, cable, applicable irrigation and/or drainage entity, etc.)	✓
	Legal description of platted area or property to be vacated (with engineers seal). <ul style="list-style-type: none"> <li>• Submit two (2) paper and one (1) electronic copy</li> </ul>	
	Copy of recorded deed.	
	One (1) 8 1/2" X 11" vicinity map showing the location of subject property	
	Two (2) 11" X 17" copies of site plan or plat showing the proposed vacation	
	Names and addresses, printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office.	N/A
	Two (2) Electronic versions of the site plan or plat showing the easement proposed to be vacated and vicinity map in PDF format submitted on disks with the files named with project name and plan type. We encourage you to also submit at least one color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form)	
	Submit (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Plat to the Star City Planning Department prior to any building permits being issued.	

**FEE REQUIREMENT:**

*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

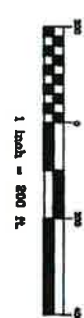
Kent Brown  
Applicant/Representative Signature

December 13, 2023  
Date

**\*\*Note:** All presentation boards, material boards, and documentation that are a part of the public hearing shall become property of the City of Star.

# W HOPE SUBDIVISION

BEING A PORTION OF THE SW 1/4 OF THE SE 1/4 OF SECTION 31, T 5 N, R 1 W, AND A PORTION OF US GOV'T. LOT 2, SECTION 6, T 4 N, R 1 W, B.M., ADA COUNTY, IDAHO. 1997

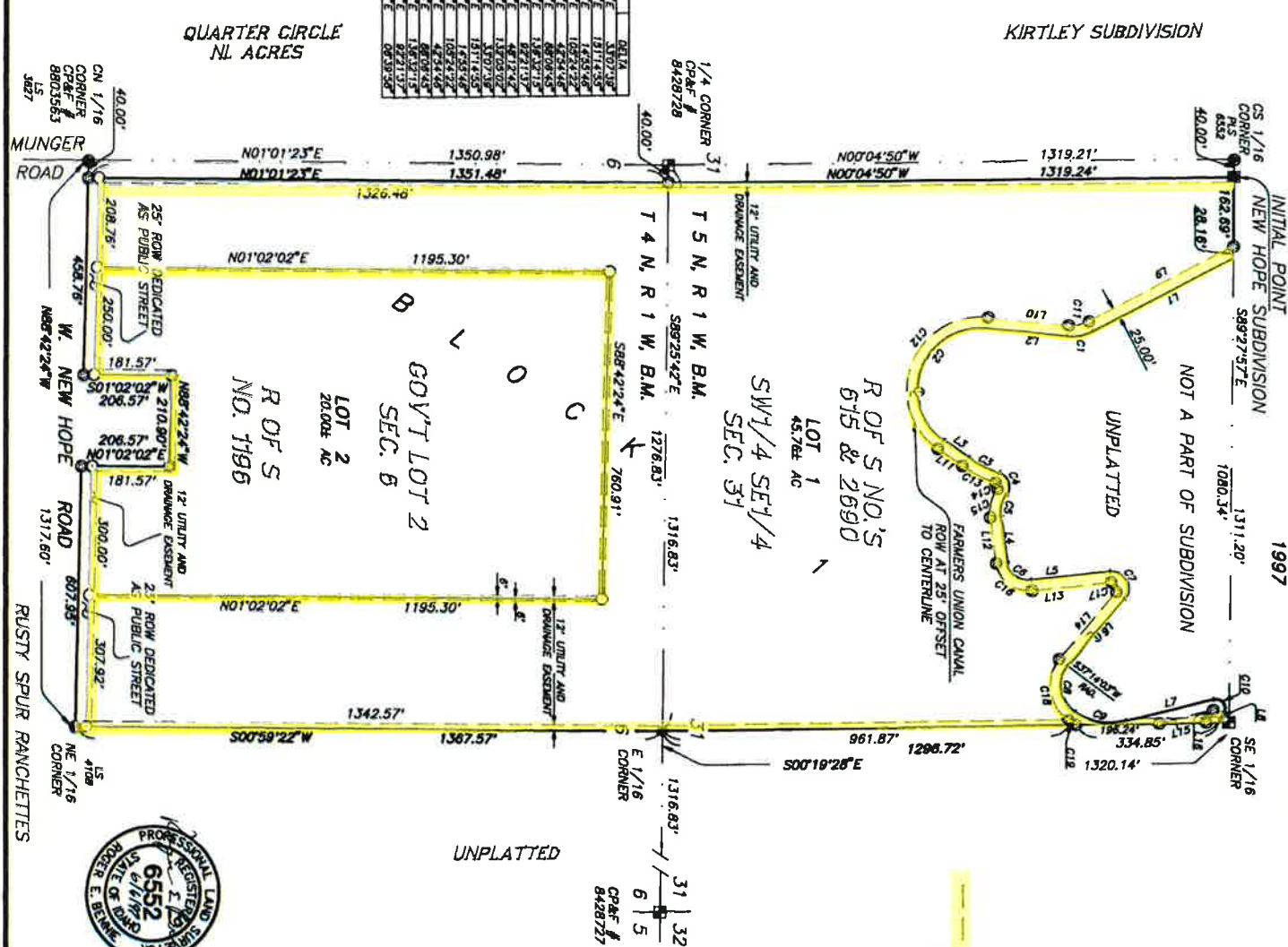


FARMERS UNION CANAL  
 AND 25' OFFSET LINE  
 TANGENT DATA

LINE	DIRECTION	DISTANCE
L1	S 89° 51' 17" W	118.41'
L2	S 15° 10' 44" E	68.59'
L3	N 55° 00' 44" E	107.60'
L4	N 82° 54' 44" E	107.60'
L5	N 02° 11' 17" W	103.88'
L6	S 24° 59' 58" E	204.58'
L7	N 17° 19' 54" W	211.00'
L8	S 89° 51' 17" W	118.41'
L9	S 89° 51' 17" W	118.41'
L10	S 89° 51' 17" W	118.41'
L11	N 02° 11' 17" W	103.88'
L12	N 02° 11' 17" W	103.88'
L13	N 02° 11' 17" W	103.88'
L14	S 24° 59' 58" E	204.58'
L15	S 15° 10' 44" E	68.59'
L16	S 89° 51' 17" W	118.41'

CURVE DATA

CURVE	PIVOT	LENGTH	CHORD	BEARING	DELTA
C1	108.87'	83.88'	81.07'	S 10° 18' 10" E	130° 12'
C2	143.00'	377.48'	277.04'	S 89° 21' 48" E	131° 17' 53"
C3	208.81'	78.68'	72.48'	N 02° 13' 51" E	145° 03' 46"
C4	48.87'	51.58'	50.58'	S 72° 54' 03" E	145° 03' 46"
C5	50.00'	78.88'	69.54'	N 82° 51' 17" E	145° 03' 46"
C6	38.00'	92.88'	72.48'	N 82° 51' 17" E	145° 03' 46"
C7	74.88'	128.70'	122.98'	N 10° 18' 10" E	130° 12'
C8	150.87'	128.70'	122.98'	N 10° 18' 10" E	130° 12'
C9	220.87'	208.81'	208.81'	N 02° 13' 51" E	145° 03' 46"
C10	220.87'	208.81'	208.81'	N 02° 13' 51" E	145° 03' 46"
C11	168.00'	443.48'	358.48'	S 89° 21' 48" E	131° 17' 53"
C12	168.00'	443.48'	358.48'	S 89° 21' 48" E	131° 17' 53"
C13	118.41'	17.00'	16.72'	N 72° 41' 50" E	109° 24' 52"
C14	118.41'	17.00'	16.72'	N 72° 41' 50" E	109° 24' 52"
C15	83.88'	70.31'	66.67'	S 72° 54' 03" E	145° 03' 46"
C16	75.00'	115.34'	104.50'	N 02° 11' 17" E	145° 03' 46"
C17	75.00'	115.34'	104.50'	N 02° 11' 17" E	145° 03' 46"
C18	83.88'	118.91'	114.04'	N 81° 10' 13" E	145° 03' 46"
C19	175.50'	26.43'	26.42'	N 01° 38' 50" E	89° 53' 58"



**BASIS OF BEARINGS:**  
 THE BASIS OF BEARINGS FOR THIS DRAWING IS THE NORTH LINE OF THE S 1/2 OF THE NE 1/4 OF SECTION 6, T 4 N, R 1 W, B.M., AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NO. 2690, RECORDS OF ADA COUNTY, IDAHO.  
 I.R. N 82° 42' 24" W

- LEGEND:**
- SET 2"x3" IRON PIPE & ALUMINUM CAP MONUMENT INITIAL POINT NEW HOPE SUBDIVISION, PLS 6552
  - FOUND ALUMINUM CAP MONUMENT LS 3827
  - FOUND 5/8" IRON PIN & PLASTIC CAP AS NOTED
  - FOUND 1/2" IRON PIN, REPLACE W/ 5/8"X30" IRON PIN AND PLASTIC CAP STAMPED PLS 6552
  - SET 5/8"X30" IRON PIN W/ PLASTIC CAP PLS 6552
  - SET 1/2"X24" IRON PIN W/ PLASTIC CAP PLS 6552
  - UTILITY AND DRAINAGE EASEMENT
  - ROW
  - RIGHT OF WAY

- NOTES:**
1. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
  2. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF ADA COUNTY.
  3. ZONING=RR (RURAL RESIDENTIAL)
  4. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE WHICH STATES "NO AGRICULTURAL OPERATION OR AN APPLICATION TO IT SHALL BE OR BECOME A NUISANCE OR PUBLIC OR PRIVATE OR BECOME A NUISANCE OR PUBLIC BY ANY CHANGED CONDITIONS IN OR ABOUT THE SAME HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN. PROVIDED, THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION OR APURTENANCE TO IT."
  5. THIS SUBDIVISION IS SUBJECT TO COMPLIANCE WITH IDAHO CODE SECTION 31-3603 CONCERNING IRRIGATION WATER. REGULATION TO ALL LOTS WITHIN THE SUBDIVISION WILL BE PROVIDED

**DEVELOPER:**  
 THOMAS G. AND SANDRA L. JOHNSON  
 11800 W. NEW HOPE  
 STAR, ID. 83669  
 (208) 286-7456

**Fischer Land Surveying, Inc**  
 PROFESSIONAL LAND SURVEYING  
 404 So. Washington Ave.  
 Emmett, Idaho 83617  
 Phone: (208) 365-4146



# NEW HOPE SUBDIVISION

BECOMING A PORTION OF THE SW 1/4 OF THE SE 1/4 OF SECTION 31, T 5 N, R 1 W, AND A PORTION OF US GOV'T. LOT 2, SECTION 6, T 4 N, R 1 W, B.M., ADA COUNTY, IDAHO.

## BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS DRAWING IS THE NORTH LINE OF THE S 1/2 OF THE NE 1/4 OF SECTION 6, T 4 N, R 1 W, B.M., AS SHOWN ON THAT CERTAIN RECORD OF SURVEY NO. 2890, RECORDS OF ADA COUNTY, IDAHO.  
 (E. N88°42'24"W)



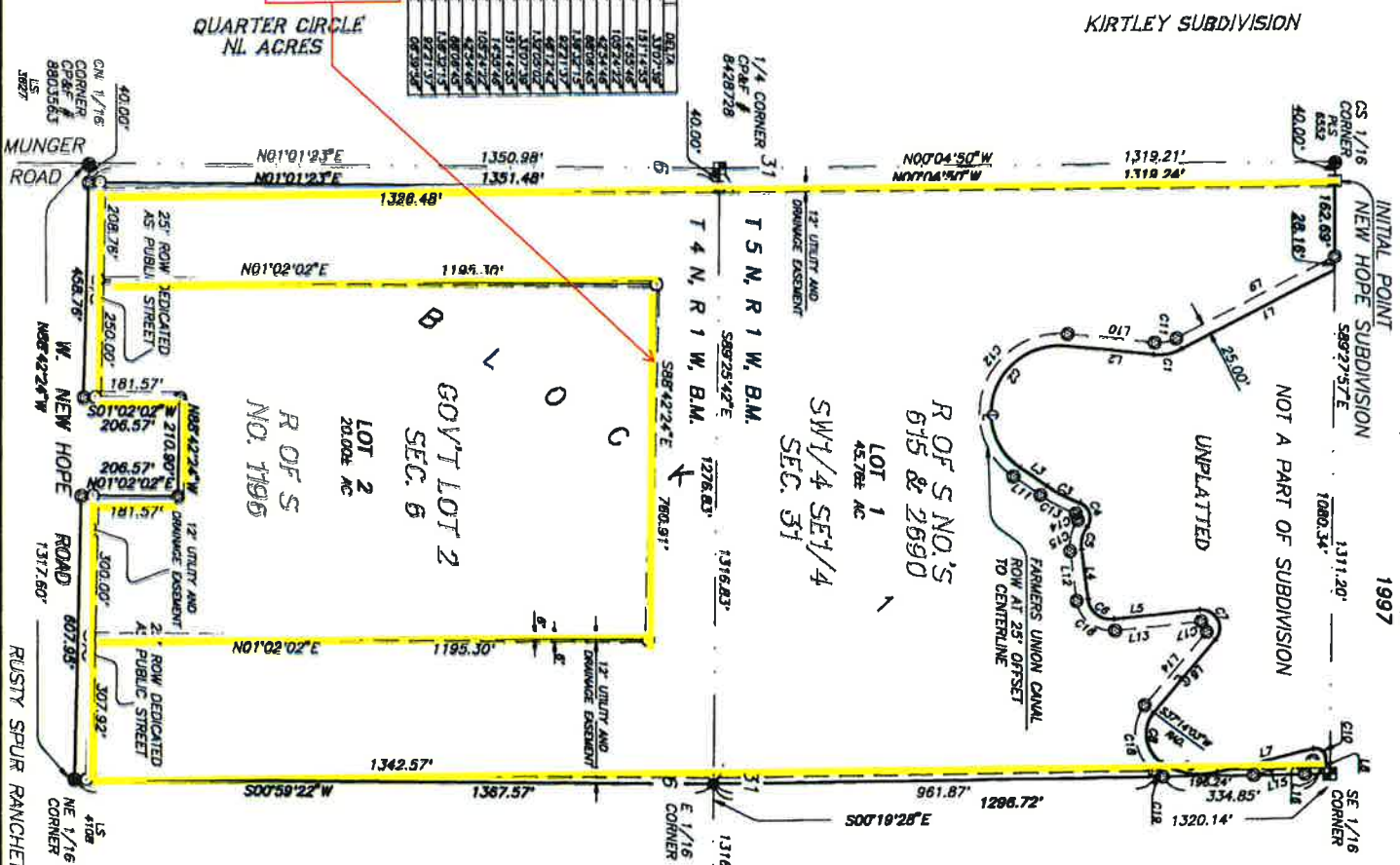
FARMERS UNION CANAL  
 AND 25' OFFSET LINE  
 TANGENT DATA

LINE	DESCRIPTION	BEARING	DISTANCE
L1	S08°15'30"W	186.63'	
L2	N45°00'44"E	68.29'	
L3	N62°34'54"E	107.65'	
L4	N05°27'11"W	165.98'	
L5	S24°03'27"E	274.59'	
L6	N17°19'51"W	211.08'	
L7	S38°53'02"E	380.02'	
L8	S08°15'30"W	186.63'	
L9	N45°00'44"E	68.29'	
L10	N62°34'54"E	107.65'	
L11	N05°27'11"W	165.98'	
L12	S24°03'27"E	274.59'	
L13	N17°19'51"W	211.08'	
L14	S38°53'02"E	380.02'	
L15	S08°15'30"W	186.63'	
L16	N45°00'44"E	68.29'	
L17	N62°34'54"E	107.65'	
L18	N05°27'11"W	165.98'	
L19	S24°03'27"E	274.59'	
L20	N17°19'51"W	211.08'	
L21	S38°53'02"E	380.02'	
L22	S08°15'30"W	186.63'	
L23	N45°00'44"E	68.29'	
L24	N62°34'54"E	107.65'	
L25	N05°27'11"W	165.98'	
L26	S24°03'27"E	274.59'	
L27	N17°19'51"W	211.08'	
L28	S38°53'02"E	380.02'	
L29	S08°15'30"W	186.63'	
L30	N45°00'44"E	68.29'	
L31	N62°34'54"E	107.65'	
L32	N05°27'11"W	165.98'	
L33	S24°03'27"E	274.59'	
L34	N17°19'51"W	211.08'	
L35	S38°53'02"E	380.02'	
L36	S08°15'30"W	186.63'	
L37	N45°00'44"E	68.29'	
L38	N62°34'54"E	107.65'	
L39	N05°27'11"W	165.98'	
L40	S24°03'27"E	274.59'	
L41	N17°19'51"W	211.08'	
L42	S38°53'02"E	380.02'	
L43	S08°15'30"W	186.63'	
L44	N45°00'44"E	68.29'	
L45	N62°34'54"E	107.65'	
L46	N05°27'11"W	165.98'	
L47	S24°03'27"E	274.59'	
L48	N17°19'51"W	211.08'	
L49	S38°53'02"E	380.02'	
L50	S08°15'30"W	186.63'	
L51	N45°00'44"E	68.29'	
L52	N62°34'54"E	107.65'	
L53	N05°27'11"W	165.98'	
L54	S24°03'27"E	274.59'	
L55	N17°19'51"W	211.08'	
L56	S38°53'02"E	380.02'	
L57	S08°15'30"W	186.63'	
L58	N45°00'44"E	68.29'	
L59	N62°34'54"E	107.65'	
L60	N05°27'11"W	165.98'	
L61	S24°03'27"E	274.59'	
L62	N17°19'51"W	211.08'	
L63	S38°53'02"E	380.02'	
L64	S08°15'30"W	186.63'	
L65	N45°00'44"E	68.29'	
L66	N62°34'54"E	107.65'	
L67	N05°27'11"W	165.98'	
L68	S24°03'27"E	274.59'	
L69	N17°19'51"W	211.08'	
L70	S38°53'02"E	380.02'	
L71	S08°15'30"W	186.63'	
L72	N45°00'44"E	68.29'	
L73	N62°34'54"E	107.65'	
L74	N05°27'11"W	165.98'	
L75	S24°03'27"E	274.59'	
L76	N17°19'51"W	211.08'	
L77	S38°53'02"E	380.02'	
L78	S08°15'30"W	186.63'	
L79	N45°00'44"E	68.29'	
L80	N62°34'54"E	107.65'	
L81	N05°27'11"W	165.98'	
L82	S24°03'27"E	274.59'	
L83	N17°19'51"W	211.08'	
L84	S38°53'02"E	380.02'	
L85	S08°15'30"W	186.63'	
L86	N45°00'44"E	68.29'	
L87	N62°34'54"E	107.65'	
L88	N05°27'11"W	165.98'	
L89	S24°03'27"E	274.59'	
L90	N17°19'51"W	211.08'	
L91	S38°53'02"E	380.02'	
L92	S08°15'30"W	186.63'	
L93	N45°00'44"E	68.29'	
L94	N62°34'54"E	107.65'	
L95	N05°27'11"W	165.98'	
L96	S24°03'27"E	274.59'	
L97	N17°19'51"W	211.08'	
L98	S38°53'02"E	380.02'	
L99	S08°15'30"W	186.63'	
L100	N45°00'44"E	68.29'	

### CURVE DATA

LINE	BEARING	DISTANCE	CHORD	ANGLE	DATA
C1	N08°02'	69.98'	68.10'	51°07'18.10"E	13717.95'
C2	N43.00'	377.48'	277.04'	S89°21'46"E	13717.95'
C3	N78.00'	78.00'	78.00'	N02°32'51"E	14532.58'
C4	N68.00'	51.46'	50.58'	S75°58'03"E	4254.44'
C5	S05.00'	78.89'	80.54'	N08°21'12"E	6870.65'
C6	S38.00'	22.46'	22.46'	N88°43'27"E	13847.15'
C7	S84.00'	107.91'	107.91'	N10°21'15"E	9271.57'
C8	N50.00'	178.70'	178.70'	N10°48'28"E	14817.42'
C9	N41.00'	48.45'	48.45'	S12°17'02"E	13107.00'
C10	N88.00'	464.48'	452.48'	S88°21'46"E	13717.95'
C11	S88.00'	68.29'	68.29'	N07°42'31"E	14532.58'
C12	S88.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C13	S04.00'	70.51'	68.67'	S75°58'03"E	4254.44'
C14	S04.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C15	S88.00'	178.70'	178.70'	N10°21'15"E	9271.57'
C16	S88.00'	107.91'	107.91'	N10°48'28"E	14817.42'
C17	S38.00'	22.46'	22.46'	N88°43'27"E	13847.15'
C18	S84.00'	107.91'	107.91'	N10°21'15"E	9271.57'
C19	S50.00'	178.70'	178.70'	N10°48'28"E	14817.42'
C20	S41.00'	48.45'	48.45'	S12°17'02"E	13107.00'
C21	S88.00'	464.48'	452.48'	S88°21'46"E	13717.95'
C22	S88.00'	68.29'	68.29'	N07°42'31"E	14532.58'
C23	S88.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C24	S04.00'	70.51'	68.67'	S75°58'03"E	4254.44'
C25	S04.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C26	S88.00'	178.70'	178.70'	N10°21'15"E	9271.57'
C27	S88.00'	107.91'	107.91'	N10°48'28"E	14817.42'
C28	S38.00'	22.46'	22.46'	N88°43'27"E	13847.15'
C29	S84.00'	107.91'	107.91'	N10°21'15"E	9271.57'
C30	S50.00'	178.70'	178.70'	N10°48'28"E	14817.42'
C31	S41.00'	48.45'	48.45'	S12°17'02"E	13107.00'
C32	S88.00'	464.48'	452.48'	S88°21'46"E	13717.95'
C33	S88.00'	68.29'	68.29'	N07°42'31"E	14532.58'
C34	S88.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C35	S04.00'	70.51'	68.67'	S75°58'03"E	4254.44'
C36	S04.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C37	S88.00'	178.70'	178.70'	N10°21'15"E	9271.57'
C38	S88.00'	107.91'	107.91'	N10°48'28"E	14817.42'
C39	S38.00'	22.46'	22.46'	N88°43'27"E	13847.15'
C40	S84.00'	107.91'	107.91'	N10°21'15"E	9271.57'
C41	S50.00'	178.70'	178.70'	N10°48'28"E	14817.42'
C42	S41.00'	48.45'	48.45'	S12°17'02"E	13107.00'
C43	S88.00'	464.48'	452.48'	S88°21'46"E	13717.95'
C44	S88.00'	68.29'	68.29'	N07°42'31"E	14532.58'
C45	S88.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C46	S04.00'	70.51'	68.67'	S75°58'03"E	4254.44'
C47	S04.00'	17.02'	14.72'	N72°42'02"E	10572.72'
C48	S88.00'	178.70'	178.70'	N10°21'15"E	9271.57'
C49	S88.00'	107.91'	107.91'	N10°48'28"E	14817.42'
C50	S38.00'	22.46'	22.46'	N88°43'27"E	13847.15'

ELLOW HIGHLIGHTED  
 LINES ARE THOSE WE ARE  
 SEEKING VACATION



### LEGEND:

- SET 2"x36" IRON PIPE & ALUMINUM CAP MONUMENT STAMPED INITIAL POINT NEW HOPE SUBDIVISION, PLS 6552.
- FOUND ALUMINUM CAP MONUMENT LS 2627
- FOUND 5/8" IRON PIN & PLASTIC CAP AS NOTED
- FOUND 1/2" IRON PIN, REPLACE W/ 5/8"x30" IRON PIN AND PLASTIC CAP STAMPED PLS 6552
- SET 5/8"x30" IRON PIN W/ PLASTIC CAP PLS 6552
- SET 1/2"x24" IRON PIN W/ PLASTIC CAP PLS 6552
- UTILITY AND DRAINAGE EASEMENT
- ROW
- RIGHT OF WAY

### NOTES:

1. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
2. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OF ADA COUNTY.
3. ZONING-RR (RURAL RESIDENTIAL)
4. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, WHICH STATES "NO AGRICULTURAL OPERATION OR ANY APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION, TO IT SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER THE SAME HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN; PROVIDED, THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROVED OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION OR APPLICABLE ZONING REGULATIONS TO IT."
5. THIS SUBDIVISION IS SUBJECT TO COMPLIANCE WITH IDAHO CODE SECTION 31-3805 CONCERNING IRRIGATION WATER. IRRIGATION TO ALL LOTS WITHIN THE SUBDIVISION WILL BE PROVIDED.

### DEVELOPER:

THOMAS G. AND SANDRA L. JOHNSON  
 11800 W. NEW HOPE  
 STAR, ID. 83569  
 (208) 286-7456

### Fischer Land Surveying, Inc

PROFESSIONAL LAND SURVEYING  
 404 So. Washington Ave.  
 Emmett, Idaho 83617  
 Phone: (208) 365-4146





**ew Hope subdivision is the under lying subdivision to Trepper Ridge**

Michael Alexander <Malexander@achdidaho.org>  
o: kent brown <kentkb@gmail.com>

Mon, Oct 16, 2023 at 1:20 PM

ACHD has no need for the easements listed in the attached plat.

**Michael Alexander**

Development Review Supervisor | Development Services

Ada County Highway District (ACHD)

1301 N Orchard Street, Ste 200, Boise, Idaho 83706

**Phone:** (208)387-6354

[www.achdidaho.org](http://www.achdidaho.org)

Connect with us on social! **@achdidaho**



**For civil plan review status:** <https://www.achdidaho.org/pdf/DTSrpts/TISReviewPlan.pdf>

*If you are having difficulty viewing the page, please clear your cache and try again. Or you can also try a different web browser. If you continue to have issues, please go to <https://www.achdidaho.org/AboutACHD/contactUs.aspx> and report the error.*

**From:** kent brown <kentkb@gmail.com>  
**Sent:** Monday, October 16, 2023 1:01 PM  
**To:** Michael Alexander <Malexander@achdidaho.org>  
**Subject:** New Hope subdivison is the under lying subdivision to Trepper Ridge

**Caution:** This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

[Quoted text hidden]







10/11/2023

Kent Brown  
3161 E Springwood Dr  
Meridian, ID 83642

No Reservations/No Objection

**SUBJECT: Relinquishment of Drainage and Utilities easements in New Hope Subdivision  
Recorded June 27, 1997, Instrument # 97051247, Ada County ID**

To Whom It May Concern:

QWEST CORPORATION d/b/a CENTURYLINK QC ("CenturyLink") has reviewed the request for the subject vacation and has determined that it has no objections with respect to the areas proposed for vacation as shown and/or described on Exhibit "A", said Exhibit "A" attached hereto and incorporated by this reference.

It is the intent and understanding of CenturyLink that this Vacation shall not reduce our rights to any other existing easement or rights we have on this site or in the area.

This vacation response is submitted WITH THE STIPULATION that if CenturyLink facilities are found and/or damaged within the vacated area as described, the Applicant will bear the cost of relocation and repair of said facilities. If you have any questions, please contact me at 425-476-3390, [franklin.bolden@lumen.com](mailto:franklin.bolden@lumen.com) or [nre.easement@lumen.com](mailto:nre.easement@lumen.com).

Sincerely yours,

Franklin Bolden  
Network Infrastructure Services  
Lumen  
P850591

December 20, 2023

Sent via email to [Kentlkb@gmail.com](mailto:Kentlkb@gmail.com)

Kent Brown Planning Services  
3161 E Springwood Dr.  
Meridian, ID 83642

Re: Relinquishment of Public Utility Easement within the New Hope Subdivision, Ada County, Idaho.

Dear Kent,

This is in response to the public utility easement (PUE) relinquishment request submitted to Idaho Power Company and received in our office July 20, 2023, regarding the possible relinquishment of the PUE located as noted above. The attached Exhibit more specifically identifies the requested area for relinquishment, highlighted in yellow.

Idaho Power's review of your request indicated that we do not have facilities located within the requested area. As such, Idaho Power agrees to relinquish our interest in the easement area as shown on the attached map.

Thank you for providing Idaho Power Company the opportunity to review and comment upon the subject petition for relinquishment.

Sincerely,



Laura Lacy  
Associate Real Estate Specialist  
Idaho Power Company | Corporate Real Estate  
Land Management and Permitting Department  
208-388-5070  
[llacy@idahopower.com](mailto:llacy@idahopower.com)



WESTERN REGION OFFICE  
555 SOUTH COLE ROAD • BOISE, ID. 83709  
(208) 377-6000 • Fax (208) 377-6867 [www.intgas.com](http://www.intgas.com)

July 20, 2023

To whom it may concern,

Intermountain Gas Company has no objection to the vacation of any and all utility easement in the New Hope Subdivision. Located in Sec 6, T.3N., R.W., Star, Ada County Idaho. We do not have any gas facilities in the existing easement and will not have a need in the future. For questions, please contact Bryce Ostler at [bryce.ostler@intgas.com](mailto:bryce.ostler@intgas.com) or phone 208-377-6812

GIS Field Technician  
Intermountain Gas Company



Kent Brown

Meridian, Idaho 83642

Dear Kent,

We, Cable One, Inc. d/b/a Sparklight, agree to the relinquishment of the public utility easement in Lots 1 and 2 in the New Hope Subdivision in Ada County, Idaho. The relinquishment consists of the easements highlighted in the Exhibit A attachment. New easements have been provided in the Trapper Ridge Subdivisions.

Sincerely,

C. Goettsche

Cheryl Goettsche

Division Vice President

Sparklight

09 / 11 / 2023

Date: \_\_\_\_\_

# KENT BROWN PLANNING SERVICES

Section 6, Item A.

July 19, 2023  
Sparklight  
Attn. Terence Alsup

Sparklight  
Terence.alsup@cableone.biz

**RE: Relinquishment of Drainage and Utilities easements in New Hope Subdivision Recorded June 27, 1997, Instrument # 97051247 (Located northeast Corner of New Hope Road and Munger Road, Star, Idaho, Ada County)**

Dear Terence:

The New Hope Subdivision is being re-platted into the Trapper Ridge Subdivisions. The new Trapper Ridge Subdivision easements do not align with the existing easements in the existing New Hope Subdivision and therefore, need to be vacated.

State Code requires us to request that all possible public utility easement holders (ie. Sparklight) release their rights to said easements being vacated

To our knowledge the easement was never used and serves no purpose today. We are seeking relinquishments from any possible easement holders. I have attached a copy of the New Hope Subdivision plat and Exhibit A showing the easements we desire to have released. Plus vicinity map showing Trapper Ridge Subdivisions location and the area in blue shows the underlying New Hope Subdivision to be relinquished.

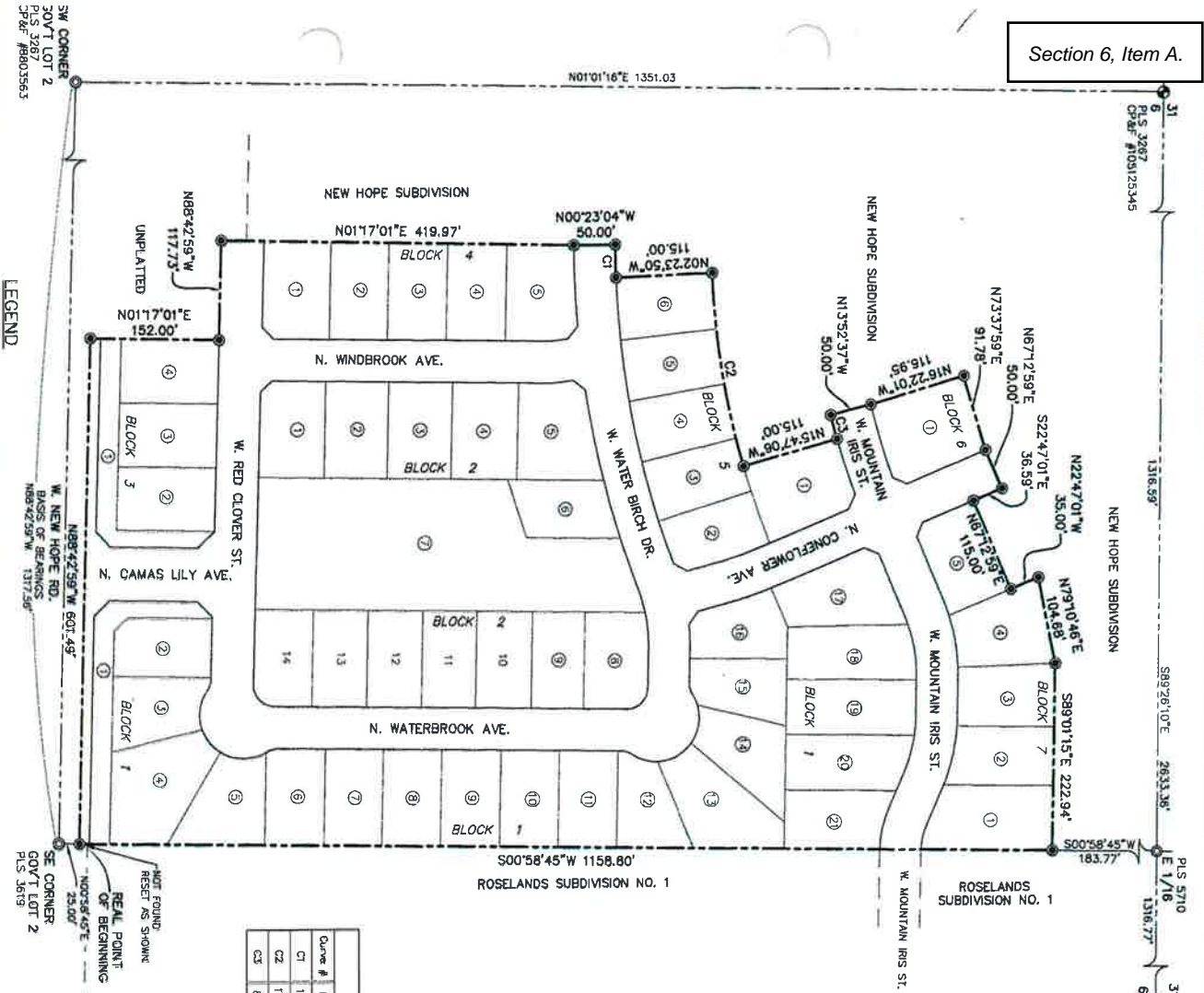
Can Sparklight please relinquish their rights to the easements in New Hope Subdivision, due the fact new easements will be provided in the new subdivision of Trapper Ridge Subdivisions?

If you have any questions regarding this or anything else feel free to contact me 208-871-6842.

Sincerely,



Kent Brown  
Planner



Curve #	Radius	Length	Chord	Bearing	Delta
C1	1115.00'	39.17'	39.17'	N88°39'33"E	200°46'
C2	1000.00'	23.86'	23.86'	N80°54'32"E	132°21'6"
C3	865.00'	29.47'	29.47'	S75°10'06"W	154°32'

**LEGEND**

- FOUND 1/2" IRON PIN, PLS. 3619 UNLESS OTHERWISE NOTED
- SET 1/2" x 24" IRON PIN WITH PLASTIC CAP, PLS. 7729
- FOUND ALUMINUM CAP MONUMENT
- FOUND 5/8" IRON PIN WITH PLASTIC CAP, PLS. 3619 UNLESS OTHERWISE NOTED
- SET 5/8" x 24" IRON PIN WITH PLASTIC CAP, PLS. 7729
- △ CALCULATED POINT
- ⑥ LOT NUMBER

**SURVEYORS NARRATIVE:**

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE PROPERTY SHOWN HEREON. THE PROPERTY IS A PORTION OF LOTS 1 AND 2 OF NEW HOPE SUBDIVISION AS FILED IN BOOK 74 OF PLATS AT PAGES 7840 AND 7841 AS DESCRIBED IN WARRANTY DEED INSTRUMENT NO. 2020-071135. THE SUBJECT PROPERTY IS ALSO A PORTION OF THE PROPERTY SHOWN ON ROS 2590, MONUMENTATION FOUND ON THESE SURVEYS AND WERE HELD AS CONTROLLING CORNERS FOR THIS PLAT.

\* 2022085517  
 Correction to Note 5 where note reads  
 Settlers Irrigation District should be corrected  
 to Farmers Union Ditch Company

**PLAT SHOWING**  
**TRAPPER RIDGE SUBDIVISION NO. 1**  
 A PORTION OF LOTS 1 AND 2, BLOCK 1 OF NEW HOPE SUBDIVISION AND  
 A PORTION OF GOVERNMENT LOT 2 LOCATED IN SECTION 6, T.4N., R.1W.,  
 BOISE MERIDIAN, CITY OF STAR,  
 ADA COUNTY, IDAHO  
 2020

**NOTES:**

1. A ten (10) foot wide Pressure Irrigation Easement in favor of the Trapper Ridge Homeowner's Association and a Permanent Public Utilities and Property Drainage Easement is hereby designated along all lot lines common to a Public Right-of-Way and along all rear lot lines. A five (5) foot wide Public Utilities and Property Drainage Easement is hereby designated along each side of interior lot lines unless otherwise shown.
2. Portions of Lot 17, 18, 20 and 21, Block 1, Lots 7, 8-13, Block 2 and Lots 1 and 2, Block 3 are subject to the order of the Boise Meridian Storm Water Drainage Easement recorded on May 9, 2009 as Instrument No. 198032529 and First Amended Master Perpetual Storm Water Drainage Easement recorded on November 10, 2015, as Instrument No. 2015-102258, Official Records of Ada County, and incorporated herein by this reference as if set forth in full (the "Master Easement"), the Master Easement and the Storm Water Drainage System are dedicated to ACHD pursuant to Section 49-2502 Idaho Code. The Master Easement is for the Operation and Maintenance of the Storm Water Drainage System.
3. Any Sub-Subdivision of this Plat shall be in compliance with the most recently approved Subdivision Standards of the City of Star.
4. This development recognizes Idaho Code Section 22-4503, right to farm act, which states: No agricultural operation, agribusiness facility or expansion thereof shall be or become a nuisance, provide cause for eminent domain proceedings, or be subject to any special assessment, property tax, or other financial burden if it is shown in operation for more than one (1) year when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agribusiness facility or expansion thereof.
5. Maintenance of any Irrigation or Drainage pipe or Ditch crossing a lot is the responsibility of the lot owner, unless such responsibility is assumed by said Irrigation or Drainage System. The provisions of this section shall not apply to lots within the subdivision which are subject to Idaho Code Section 31-3805(1)(b) Lots which the subdivision will be entitled to Irrigation Water Rights, and will be Obligated for Assessments from "Settlers Irrigation District".
6. Direct lot access to W. New Hope Road is prohibited.
7. Lot 1, Block 1, Lot 7, Block 2 and Lot 1, Block 3 are common lots which shall be owned and operated by the Trapper Ridge Homeowner's Association. All common lots shall be subject to a bonded public utility easement, property drainage easement and pressure irrigation easement.
8. Existing Public Utility and Drainage Easements per the New Hope Subdivision Plat have been vacated per Idaho Code 50-1306A.(9).
9. ACHD License Agreement Int. No. 2020-065748.
10. Minimum building setbacks shall be in accordance with the City of Star application zoning and subdivision regulations at the time of issuance of individual building permits or specifically approved and/or required, or as shown on this plat.
11. Existing ACHD Permanent Easement Int. No. 2020-068837.
12. All lots in this subdivision shall be subject to CCRB's recorded in conjunction with this plat.

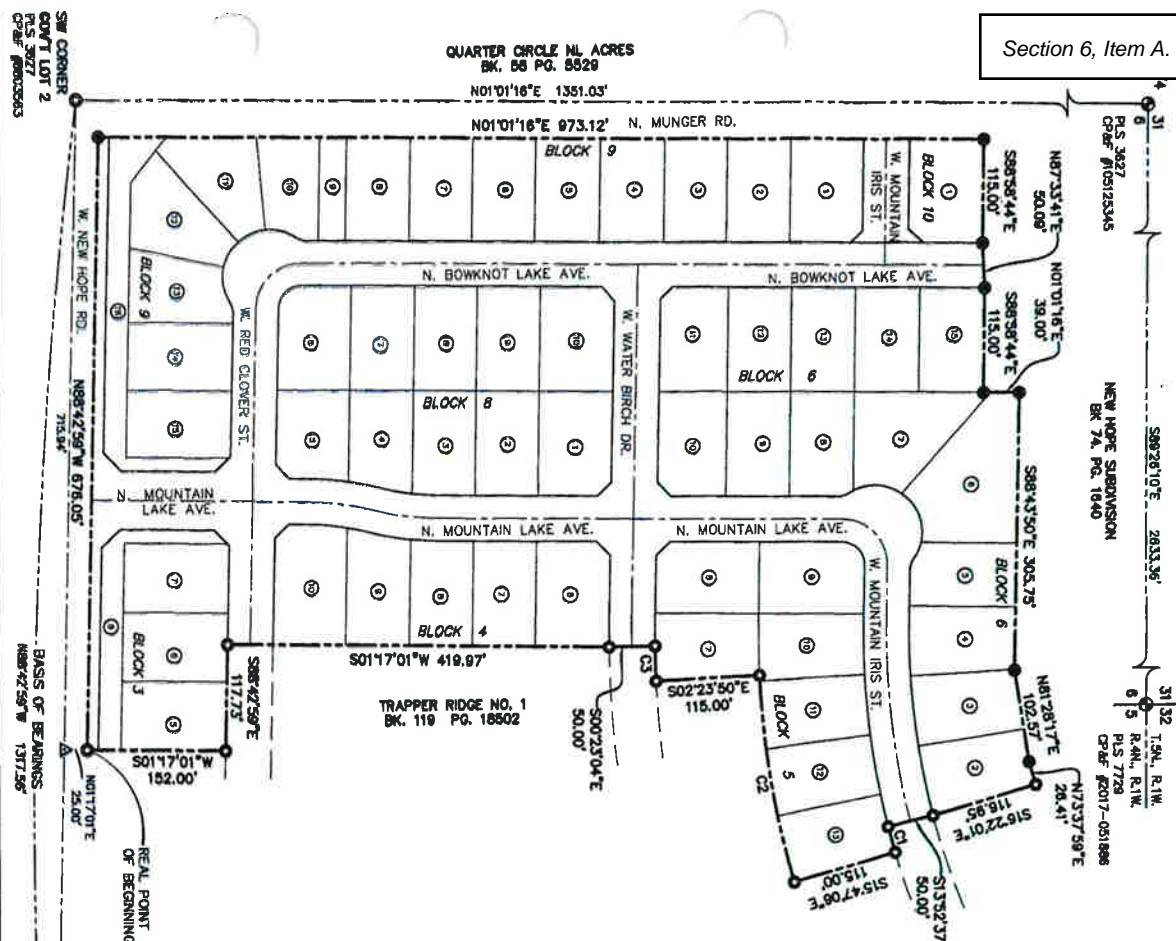


**NOTE:**  
 SEE SHEET 3 OF 5 FOR  
 PLAT CURVES TABLES AND MONUMENTATION

**Bailey Engineering, Inc**  
 CIVIL ENGINEERING | PLANNING | CAD  
 1000 STATE STREET SUITE 200  
 BOISE, IDAHO 83720  
 TEL: 208-333-2000  
 FAX: 208-333-2001

**SHEET 1 OF**

**TRAPPER RIDGE SUBDIVISION NO. 9**  
 PLAT SHOWING  
 A PORTION OF LOTS 1 AND 2, BLOCK 1 OF NEW HOPE SUBDIVISION AND  
 A PORTION OF GOVERNMENT, T. 4N., R. 11W.,  
 BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO  
 2021



Curve #	Radius	Length	Chord	Bearing	Delta
C1	886.00'	28.47'	28.47'	N01°01'16"E	1734.28'
C2	1700.00'	233.68'	233.15'	S00°24'32"W	10223.08'
C3	1115.00'	39.17'	39.17'	S00°24'32"W	2706.46'
C4	50.00'	78.37'	78.37'	S00°24'32"E	8864.14'
C5	300.00'	72.28'	72.28'	N08°21'17"E	1400.15'
C6	300.00'	73.87'	73.86'	N08°21'17"E	1400.15'
C7	50.00'	78.78'	78.78'	N46°08'43"E	9070.35'
C8	886.00'	277.35'	278.88'	N63°19'48"E	11008.68'
C9	886.00'	233.98'	233.28'	N63°19'48"E	11008.68'
C10	886.00'	37.25'	37.24'	N07°20'17"E	2223.51'
C11	886.00'	87.02'	87.02'	S00°43'23"W	4720.18'
C12	886.00'	87.02'	87.02'	S00°43'23"W	4720.18'

Curve #	Radius	Length	Chord	Bearing	Delta
C13	886.00'	82.38'	82.37'	S08°15'07"W	4702.16'
C14	25.00'	38.38'	38.43'	S48°26'04"E	4701.50'
C15	1000.00'	73.72'	73.71'	N08°21'17"E	4701.50'
C16	1000.00'	73.72'	73.71'	N08°21'17"E	4701.50'
C17	1000.00'	73.72'	73.71'	N08°21'17"E	4701.50'
C18	1000.00'	70.48'	70.47'	N08°15'07"E	4701.50'
C19	1000.00'	64.00'	63.88'	N08°26'10"E	3700.00'
C20	1115.00'	32.19'	32.19'	N08°33'27"W	1730.15'
C21	1115.00'	33.65'	33.65'	N08°33'27"W	1730.15'
C22	325.00'	79.28'	79.78'	N08°21'17"E	1470.57'
C23	325.00'	79.28'	79.78'	N08°21'17"E	1470.57'
C24	325.00'	48.55'	48.51'	S10°43'11"W	874.10'

Curve #	Radius	Length	Chord	Bearing	Delta
C25	275.00'	86.26'	86.10'	S09°11'06"W	4738.18'
C26	275.00'	86.26'	86.10'	S09°11'06"W	4738.18'
C27	275.00'	71.67'	71.66'	S17°48'51"W	4738.18'
C28	885.00'	220.27'	220.10'	N08°19'48"E	15708.44'
C29	885.00'	64.08'	64.05'	N08°19'48"E	4737.46'
C30	885.00'	71.88'	71.87'	N08°12'05"E	5702.44'
C31	885.00'	87.87'	87.86'	N08°12'05"E	5702.44'
C32	885.00'	87.87'	87.86'	N08°12'05"E	5702.44'
C33	275.00'	29.44'	29.29'	N04°03'02"E	607.31'
C34	275.00'	32.08'	32.04'	N10°08'03"E	758.28'
C35	325.00'	32.08'	32.07'	N12°10'48"E	5748.34'
C36	325.00'	78.11'	78.11'	S08°11'08"W	13748.15'
C37	325.00'	48.33'	48.28'	N08°16'42"E	796.21'
C38	25.00'	38.16'	38.17'	S43°50'52"E	8744.14'

Curve #	Radius	Length	Chord	Bearing	Delta
C39	26.00'	38.00'	38.16'	S07°48'01"E	4452.07'
C40	26.00'	38.00'	38.16'	S07°48'01"E	4452.07'
C41	50.00'	38.38'	38.37'	S08°42'27"W	4507.27'
C42	50.00'	38.38'	38.37'	S08°42'27"W	4507.27'
C43	1460.00'	32.88'	32.88'	S08°35'27"E	1789.15'

**NOTES:**

- A ten (10) foot wide Pressure Irrigation Easement in favor of the Trapper Ridge Homeowners Association and a Permanent Public Utility and Property Drainage Easement in favor of the Trapper Ridge Homeowners Association shall be shown on this plat. The easement shall be shown on the plat as a shaded area. The easement shall be shown on the plat as a shaded area. The easement shall be shown on the plat as a shaded area.
- Portions of Lot 6, Block 3, Lots 1-2, 10, Block 8 and Lots 2-3, 9, 13-16, Block 9 are reserved to and contain the ACOB Storm Water Drainage System. These lots are encumbered by their existing ACOB Storm Water Drainage System. The ACOB Storm Water Drainage System is shown on the plat as a shaded area. The ACOB Storm Water Drainage System is shown on the plat as a shaded area. The ACOB Storm Water Drainage System is shown on the plat as a shaded area.
- Any re-subdivision of this Plat shall be in compliance with the most recently approved Subdivision Standards of the City of Star.
- This development recognizes Idaho Code Section 22-4501, right to farm act, which states: "The agricultural operations, operations, or public, by any changed conditions in or about the surrounding nonagricultural activities other than the operation, facility or expansion was not one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the expansion or operation of an agricultural operation, agricultural facility or expansion thereof."
- Maintenance of any irrigation or drainage pipe or ditch creating a lot is the responsibility of the lot owner unless such responsibility is assumed by an irrigation/drainage district. Irrigation water has been provided by Trapper Ridge Irrigation District in compliance with Idaho Code Section 31-3802(1)(b). Lots within the subdivision will be entitled to irrigation water rights, and will be obligated for assessments from Star Irrigation District.
- Direct lot access to W. New Hope Road and N. Mungler Rd. are prohibited.
- Lot 6, Block 3, and Lots 9 & 10, Block 9, are common lots which shall be owned and managed by the Trapper Ridge Subdivision Homeowners Association. All common lots are subject to a Subdivision Utility easement, property drainage easement and Private Irrigation easement.
- ACOB Temporary License Agreement filed No. 2021-150391.
- Minimum building setbacks shall be in accordance with the City of Star Ordinance 2021-010. All building setbacks shall be specifically approved on/ or required, or as shown on this plat.
- Existing ACOB Schematic Easement - See filed No. 2021-150393.
- All lots shall be subject to the terms and conditions of final certain Declaration of Covenants, Conditions, Restrictions and Easements No. 2020-175823 and as may be amended from time to time.

**SURVEYORS NARRATIVE:**

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE PROPERTY SHOWN HEREON. THE PROPERTY SHOWN HEREON IS A PORTION OF LOTS 1 AND 2, BLOCK 1 OF NEW HOPE SUBDIVISION AS SHOWN IN BOK 74 OF PLATS AT PAGES 7946 AND 7941 AS DESCRIBED IN WARRANTY DEED INSTRUMENT NO. 2007-136463 AND 2007-136471. THE SUBJECT PROPERTY IS ALSO A PORTION OF THE PROPERTY SHOWN ON ROS 2960. MONUMENTATION FOUND PER THE PLAT AND RECORD OF SURVEY ARE IN SUBSTANTIAL AGREEMENT WITH THE MONUMENTATION SHOWN ON THESE SURVEYS AND HERE RECORDED AS CONTROLLING CORNERS FOR THIS PLAT.

**Gregory A. Carter, PLS 7729**  
 David S. Carter, PLS 7729  
 9665 W. Emerald St  
 Boise, ID 83704

**Professional Engineer**  
 7729  
 State of Idaho  
 Gregory A. Carter

**Scale:** 1" = 100'

**North Arrow**

**Bayley Engineering, Inc**  
 CIVIL ENGINEERING / PLANNING / CAD  
 1116 STATE STREET SUITE 210  
 TEL: 208-336-0101

## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **March 5, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** 10206 W. State Street Development Agreement Modification  
Files #'s DA-20-16

**Owner/Representative:** Evan McLaughlin, 10206 W. State Street, LLC, 2001 N. 20<sup>th</sup> Street, Boise, ID 83702

**Action:** The Applicant is requesting to modify the existing Development Agreement for the property located at 10206 W. State Street. The applicant seeks to remove the minimum square footage requirement for the commercial buildings located in the development.

**Property Location:** The subject property is generally located on the north side of W. State Street, east of N. Taurus Way in Star, Idaho. Ada County Parcel No. S0408438600.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to noon, the day before the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator





**CITY OF STAR**  
**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** Planning and Zoning Department *Shen J. Muth*

**MEETING DATE:** March 5, 2024 – PUBLIC HEARING

**FILE(S) #:** **DA-20-16-MOD Development Agreement Modification-10206 W. State Street**

**OWNER/APPLICANT/REPRESENTATIVE**

**REPRESENTATIVE/OWNER**

Evan McLaughlin & Tony Mattero  
10206 W. State Street, LLC  
Boise, Idaho 83702

**REQUEST**

**Request:** The Applicant is seeking approval of a modification to the existing Development Agreement for 10206 W. State Street (DA-20-16MOD). The applicant is requesting approval from the Council to modify Section 2.6 of the original Development Agreement and remove the minimum overall square footage requirement of 33,300 square feet for the commercial buildings located in the development. The property is located at 10206 W. State Street, generally located on the north side of W. State Street, east of N. Taurus Way in Star, Idaho. Ada County Parcel No. S0408438600.

**APPLICATION REQUIREMENTS**

Legal Notice Published February 11, 2024

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3B-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**COMPREHENSIVE PLAN:**

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

**PROJECT OVERVIEW**

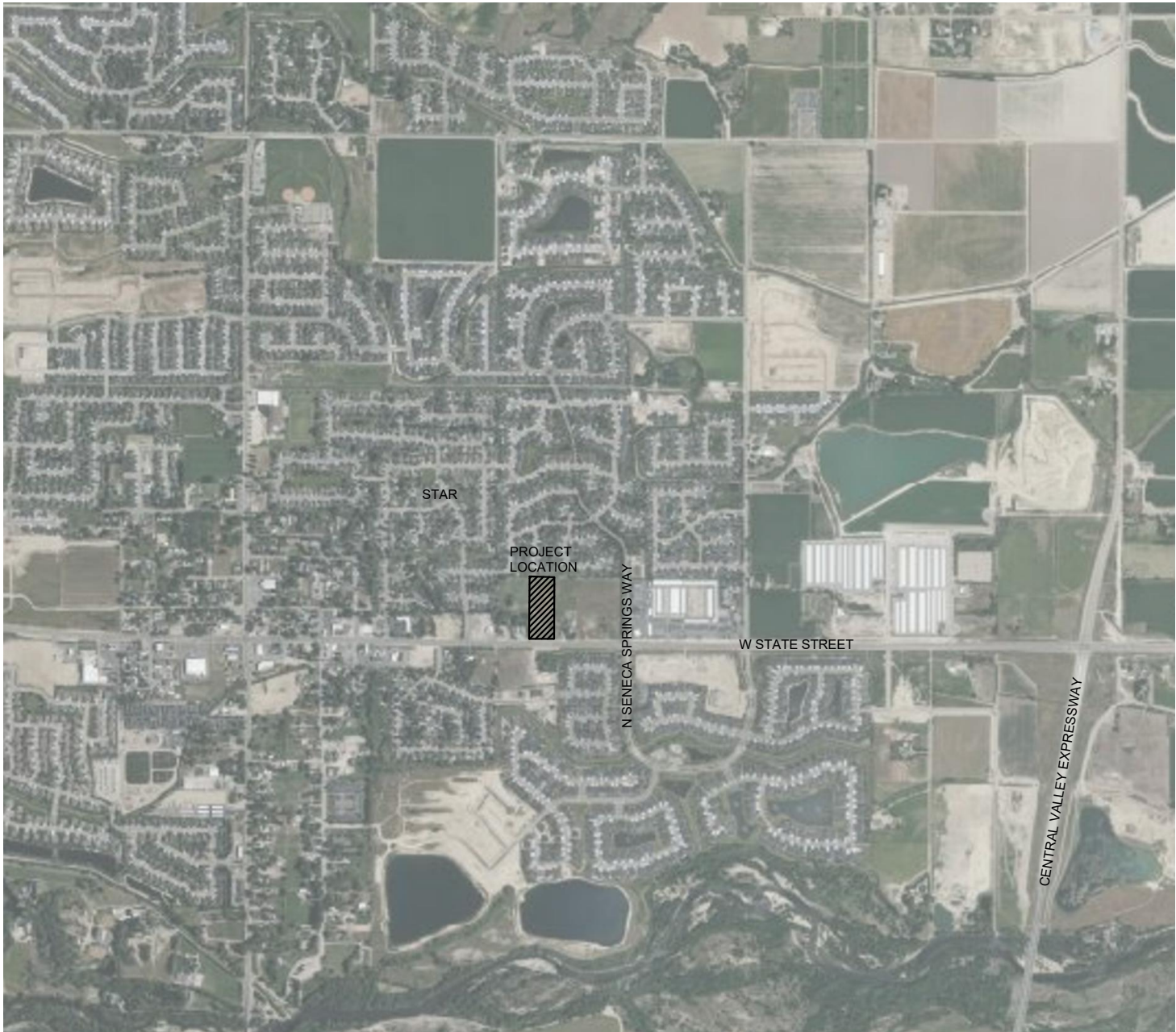
The applicant is requesting approval from the Council to modify Section 2.6 of the original Development Agreement and remove the minimum overall square footage requirement of 33,300 square feet for the commercial buildings located in the development. The applicant requests revision of the following:

**2.6 Additional Requirements.**

- Commercial buildings shall meet the design goals of the newly established Architectural Overlay District guidelines in the CBD.
- ~~Commercial building area shall include a minimum overall size of 33,300 Sq. Ft.~~
- Residential Units adjacent to 1<sup>st</sup> Street shall be Live/Work and will have office/storefront entrances facing 1<sup>st</sup> Street,
- Commercial building(s) adjacent to W. State Street shall start development in Phase 1. This does not preclude submission and approval of the residential preliminary plat, however, final plat shall not be signed until commercial development in Phase 1 has started construction.

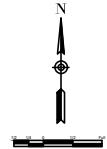
**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File # DA-20-16 MOD for 10206 W. State Street on \_\_\_\_\_, 2024.



PRELIMINARY PLAT  
 A PORTION OF THE SW QUARTER OF THE SE  
 QUARTER OF SECTION 8, T.4N., R. 1W., CITY OF  
 STAR, ADA COUNTY, IDAHO.

AUGUST 2022 SCALE: 1" = 500' SHEET 1 OF 1



Graphic Scale:

Attention is Drawn to the Fact That Drawing Scales May be  
 Altered During Reproduction Processes. Scales Shown  
 Hereon are Based on a Full Scale Sheet Size of 8.5" x 11".  
 Scale: 1" = 500'

ACKERMAN  
 ESTVOLD  
 7661 West Riverside Drive, Ste. 102 - Garden City, ID 83714  
 208.853.8470 - www.ackerman-estvold.com  
 Licensed Professional Engineer - Idaho

FIRST STREET TOWNHOMES SUBDIVISION  
 VICINITY MAP  
 STAR, ID

DRAWN BY: KES  
 CHECKED BY: AMC  
 DATE: 08/18/2022

#	-/-
#	-/-
#	-/-



PRE PLAT  
 1.0

February 22, 2024

Shawn Nickel  
PLANNING DIRECTOR AND ZONING ADMINISTRATOR

**RE: 10206 West State Street  
DEVELOPMENT AGREEMENT - MODIFICATION REQUEST - FILE NUMBER DA-20-16-MOD**

Dear Shawn,

This letter represents our formal request for modification to the current Development Agreement (DA). The requested modification request is as follows:

Remove the bullet point in section 2.6 which references "Commercial building area shall include a minimum overall size of 33,300 Sq. Ft."

In order to meet the current minimum commercial square footage requirement, we fully designed two-story buildings on the frontage of State Street. Based on the market and economic circumstances outlined below you'll find justification in support of our request:

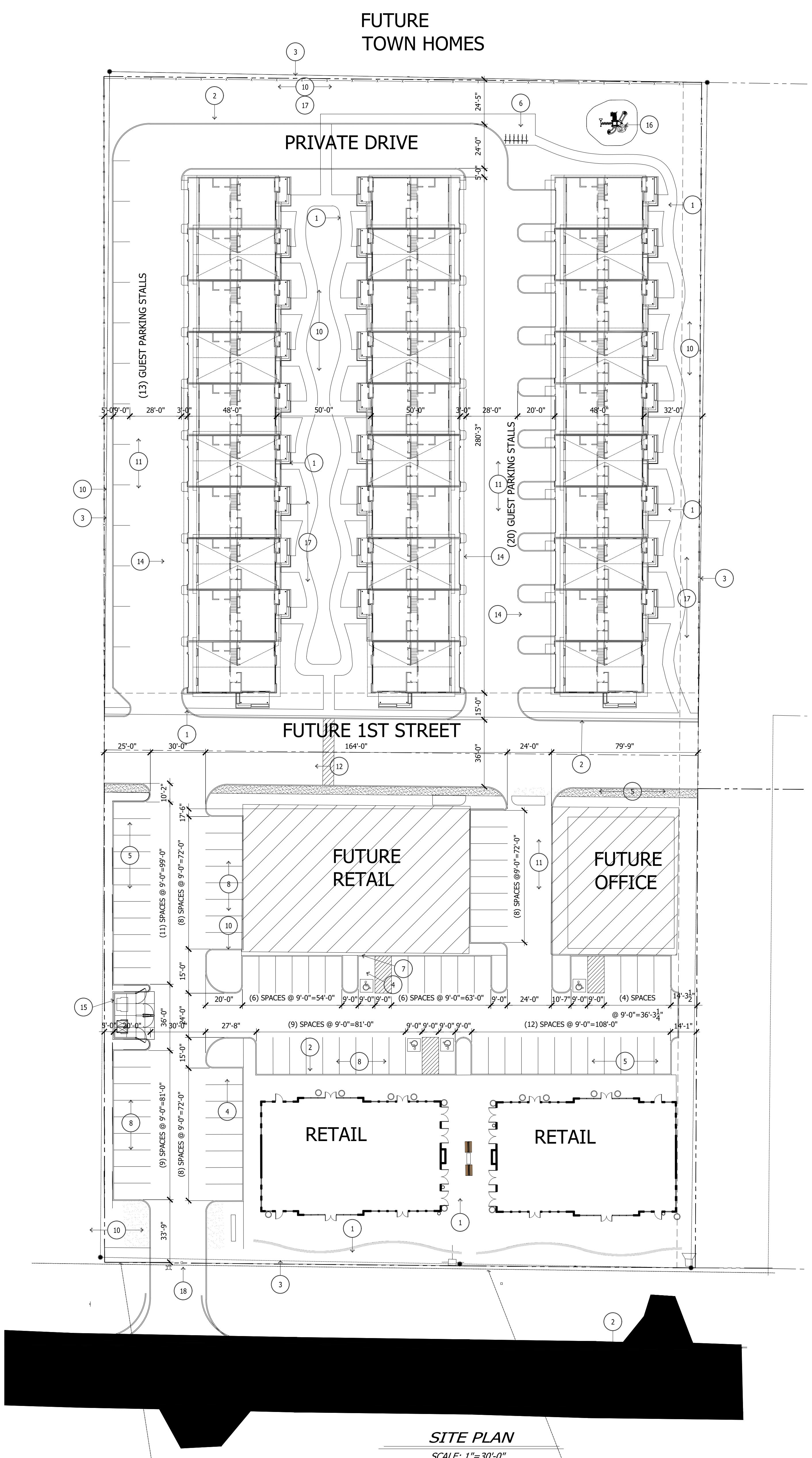
- Design characteristics
  - Two-story commercial development is inconsistent with the area's character and nearby projects
  - The planned design aesthetic remains unchanged and continues to meet Star's CBD design goals post approval of the DA modification
- Economic feasibility
  - The project has been unable to proceed due to general cost increases
  - Construction costs have risen 20-40% (and not retreated materially)
  - Interest rates have doubled from 5-6% to 9-12%
  - Commercial lease rates have remained flat or declined slightly
  - With the proposed DA modification, the commercial buildings will be less costly to construct and will be economically viable to proceed
- Commercial parking challenges
  - At the current minimum square footage requirement, the site is under parked at 2.55/1,000 sf
  - With the proposed DA modification, the parking ratio increases to a healthier 3.5/1,000 sf

We have included the following supporting documentation with this letter:

- Commercial site plan
- Revised building renderings

Respectfully,

Evan McLaughlin and Tony Mattero  
10206 West State Street LLC



### FUTURE TOWN HOMES

### SITE DATA

ADDRESS:  
10206 W STATE ST

APN:  
R0408438600

JURISDICTION:  
CITY OF STAR

ZONE:  
CBDPUD/DA

LOT AREA:  
4.760 ACRES (207,345 S.F.)

SITE PERCENTAGE FOR EACH USE:  
RETAIL: 88,776 SF (47%)  
RESIDENTIAL: 118,891 SF (53%)

RESIDENTIAL LANDSCAPE PERCENTAGE: 33%  
38,866 sf OF OPEN SPACE/LANDSCAPING

RETAIL PARKING PROVIDED:  
STANDARD SPACES: 81  
HANDICAP SPACES: 4  
TOTAL SPACES: 85

RESIDENTIAL PARKING PROVIDED:  
GARAGE SPACES: 60

GUEST PARKING DRIVEWAYS: 20  
GUEST PARKING WEST SIDE: 13  
TOTAL GUEST PARKING: 33

REQUIRED GUEST PARKING: .25/UNIT  
7.5 SPACES

RESIDENTIAL BUILDING SIZE:  
MAIN LEVEL LIVING: 722 SF  
SECOND LEVEL LIVING: 1,209 SF  
TOTAL LIVING: 1,931 SF

GARAGE: 644 SF

BICYCLE PARKING:  
9 SPACES RACK

### KEYNOTES

1. CONCRETE DECK/WALK SLAB OVER COMPACTED SAND AND GRAVEL BASE WITH CONTROL JOINTS AT 6'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C. MAX. WITH LIGHT BROOM FINISH, SLOPE FOR POSITIVE DRAIN AWAY FROM BUILDING.
2. CONCRETE CURB.
3. PROPERTY LINE.
4. TYPICAL HANDICAP SPACE W. SYMBOL, RAMP AND SIGN
5. TYPICAL STANDARD PARKING SPACE, 9'-0" X 20'-0"
6. BICYCLE RACK.
7. PEDESTRIAN RAMP, 1:12 SLOPE W. SCORING AT 6" O.C.
8. TYPICAL PARKING STRIPING WITH (2) COATAS 4" WIDE REFLECTIVE TRAFFIC WHITE PAINT.
9. ADA ACCESS LANE WITH 4" WIDE DIAGONAL PAINTED STRIPING AT 24" O.C.
10. LANDSCAPE. SEE LANDSCAPE PLANS.
11. ASPHALT PAVING.
12. CROSS WALK
13. GUEST PARKING
14. CONCRETE DRIVEWAY
15. TRASH ENCLOSURE
16. TOT LOT- PLAYGROUND
17. LARGE OPEN SPACE- AMENITY
18. PROPOSED FULL ACCESS

SITE PLAN  
SCALE: 1"=30'-0"



2 South Elevation



1 West Elevation



4 North Elevation



3 East Elevation



## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **March 5, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** Lake Haven Estates  
Files #'s AZ-24-01 Annexation/Zoning  
DA-24-01 Development Agreement

**Representative:** Stephanie Hopkins, KM Engineering, LLP, 5725 N Discovery Way, Boise Idaho, 83713.

**Owner:** Tradition Capital Partners LLC

**Action:** The Applicant is requesting approval of an Annexation and Zoning (R-2), and a Development Agreement for a proposed 64.70-acre site to accommodate a future single family residential development. The property is located at 21831 Koa Lane in Star, Canyon County, Idaho.

**Property Location:** The subject property is generally located east of Bent Lane, south of Highway 44. Canyon County Parcel No's. R34035010A0, R34035010A1, and R3403901100.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



**CITY OF STAR**  
**LAND USE STAFF REPORT**

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department *Shen J. Muth*

**MEETING DATE:** **March 5, 2024 – PUBLIC HEARING**  
**FILE(S) #:** AZ-24-01 Annexation and Zoning for Lake Haven Estates  
DA-24-01 Development Agreement

**OWNER/APPLICANT/REPRESENTATIVE**

<b><u>Owner /Applicant:</u></b>	<b><u>Representative:</u></b>
Tradition Capital Partners LLC	Stephanie Hopkins
Brawndo, LLC & Nathan Ogden	KM Engineering, LLP
8454 Brookhaven Place	5725 N. Discovery Way
Middleton, Idaho 83644	Boise, Idaho 83713

**REQUEST**

**Request:** The Applicant is requesting approval of an Annexation and Zoning (R-2-DA), and a Development Agreement for a proposed 64.70-acre property to accommodate a future single family residential development. The property is located at 21831 Koa Lane in Star, Canyon County, Idaho.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located east of Bent Lane, south of Highway 44. Canyon County Parcel No’s. R34035010A0, R34035010A1, and R3403901100.

**Surrounding Land Use/Designations:**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	AG (County)	Estate Urban Residential	Agricultural/Single Family Residential
<b>Proposed</b>	Residential (R-2-DA)	Estate Urban Residential	Single Family Residential
<b>North of site</b>	AG (County)	Estate Urban Residential	Agricultural
<b>South of site</b>	AG (County)	Estate Urban Residential/Flood Way	Single Family Residential/Boise River
<b>East of site</b>	Residential (R-4-DA)/RUT (County)	Estate Urban Residential	Approved Cranefield Subdivision/Agricultural
<b>West of site</b>	Residential (R-2)	Estate Urban Residential	Star River Ranch Subdivision

**Existing Site Characteristics:** The property currently has a single-family residential home with outbuildings and vacant ground.

**Irrigation/Drainage District(s):** Canyon County Water Company LTD  
P.O. Box 11  
Star, Idaho 83669

**Flood Zone:** This property is located in a Special Flood Hazard Area and Flood Way.  
Flood Zone: Zone AE  
FEMA FIRM Panel Number: 16027C0267G  
Effective Date: 6/7/2019

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – Yes, adjacent to Boise River; existing ponds
- ✪ Floodplain – Yes, Zone AE and Flood Way.
- ✪ Mature Trees – Yes.
- ✪ Riparian Vegetation – Yes, along the southern border.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – Yes, Boise River.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – Yes.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	December 20, 2023
Neighborhood Meeting Held	January 10, 2024
Application Submitted & Fees Paid	February 5, 2024
Application Accepted	February 5, 2024
Residents within 300' Notified	February 5, 2024
Agencies Notified	February 5, 2024
Legal Notice Published	February 7, 2024
Property Posted	February 23, 2024

**HISTORY**

This property does not have any history of land use applications within the City of Star.

**CODE DEFINITIONS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-1B-1: ANNEXATION AND ZONING; REZONE:**

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.
4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

- 1. The map amendment complies with the applicable provisions of the comprehensive plan;
- 2. The map amendment complies with the regulations outlined for the proposed district;
- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- 5. The annexation (as applicable) is in the best interest of city.

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

<b>ZONING DISTRICT USES</b>	<b>A</b>	<b>R-R</b>	<b>R</b>
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	<b>P</b>
Two-family duplex	N	N	P

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

<b>Zoning District</b>	<b>Maximum Height Note Conditions</b>	<b>Minimum Yard Setbacks Note Conditions</b>			
		<b>Front (1)</b>	<b>Rear</b>	<b>Interior Side</b>	<b>Street Side</b>
R-2	35'	20'	20'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Estate Urban Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing

residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

<b>PROJECT OVERVIEW</b>
-------------------------

**ANNEXATION & REZONE:**

The applicant is requesting approval of an annexation and zoning application with a zoning designation of Residential (R-2-DA) on 64.70 acres. This proposed zoning district would allow for a maximum residential density of 2 dwelling units per acre. The Comprehensive Plan Future Land Use Map designation of Estate Urban Residential would allow for up to 3 dwelling units per acre. The submitted conceptual plan shows the intended future residential density at 1.67 dwelling units per acre. The property is located in an area that will be serviceable with central sewer and water provided by Star Sewer and Water District in the near future. The annexation request includes a development agreement.

The property owner’s intent is to annex and zone the property and build his personal home, and then submit a preliminary plat for the remaining single-family development.

**DEVELOPMENT AGREEMENT**

Through the Development Agreement process, the applicant is proposing to work with the City to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Density
- Private Streets
- Future Development
- Road Improvements
- ITD Proportionate Share Fees

<b>AGENCY RESPONSES</b>
-------------------------

ITD	February 16, 2024
DEQ	February 14, 2024



## PUBLIC RESPONSES

No public comments have been received.

## STAFF ANALYSIS AND RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed annexation and zoning request meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed future density of 1.69 dwelling units per acre is well below the maximum of 3 dwelling units per acre allowed in the Estate Urban Residential Comprehensive Plan Future Land Use Map.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the application, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

## FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

### **ANNEXATION/REZONE FINDINGS:**

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

*The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:*

- ✓ *Protection of property rights.*
- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Encourage urban and urban-type development and overcrowding of land.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

*The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides*

*an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

- 2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

*The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.*

- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

*The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.*

- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

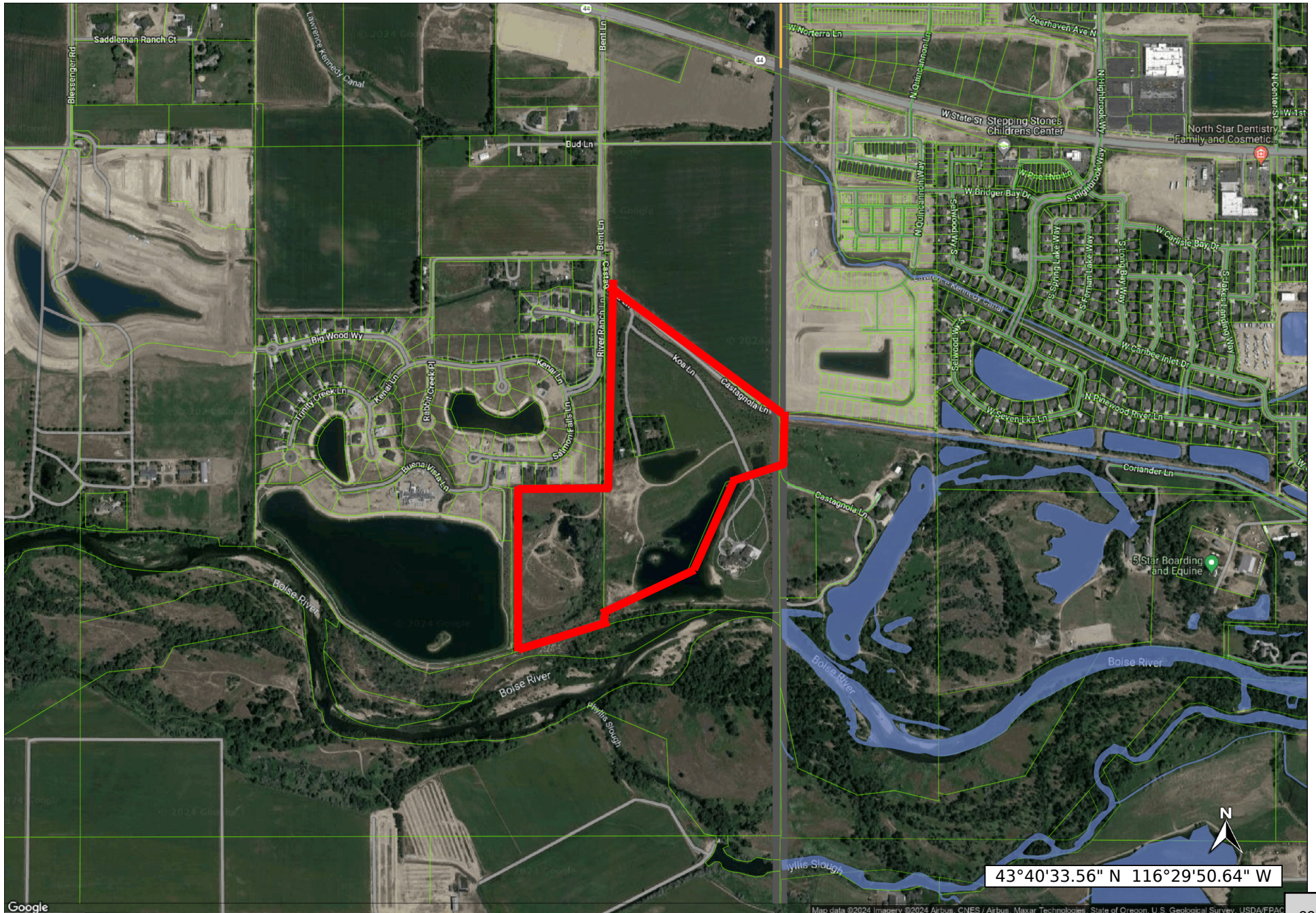
*The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.*

- 5. The annexation is in the best interest of the city.

*The Council must find that this annexation is reasonably necessary for the orderly development of the City.*

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number AZ-24-01 and DA-24-01 for the Lake Haven Estates Subdivision on \_\_\_\_\_, 2024.



January 17, 2024  
Project No.: 22-192

Mr. Shawn Nickel  
Planning Director & Zoning Administrator  
City of Star  
10769 W. State St.  
Star, ID 83669

**RE: Lake Haven Estates – Star, ID  
Annexation & Zoning**

Dear Mr. Nickel:

On behalf of Nathan Ogden and Tradition Capital Partners LLC, we are pleased to submit an annexation and zoning application to accommodate a future single-family residential development on three parcels (R34035010A0, R34035010A1, and R3403901100) located off Koa Lane, South of Castagnola Lane. Residential (R-2) is the requested zoning district for the application.

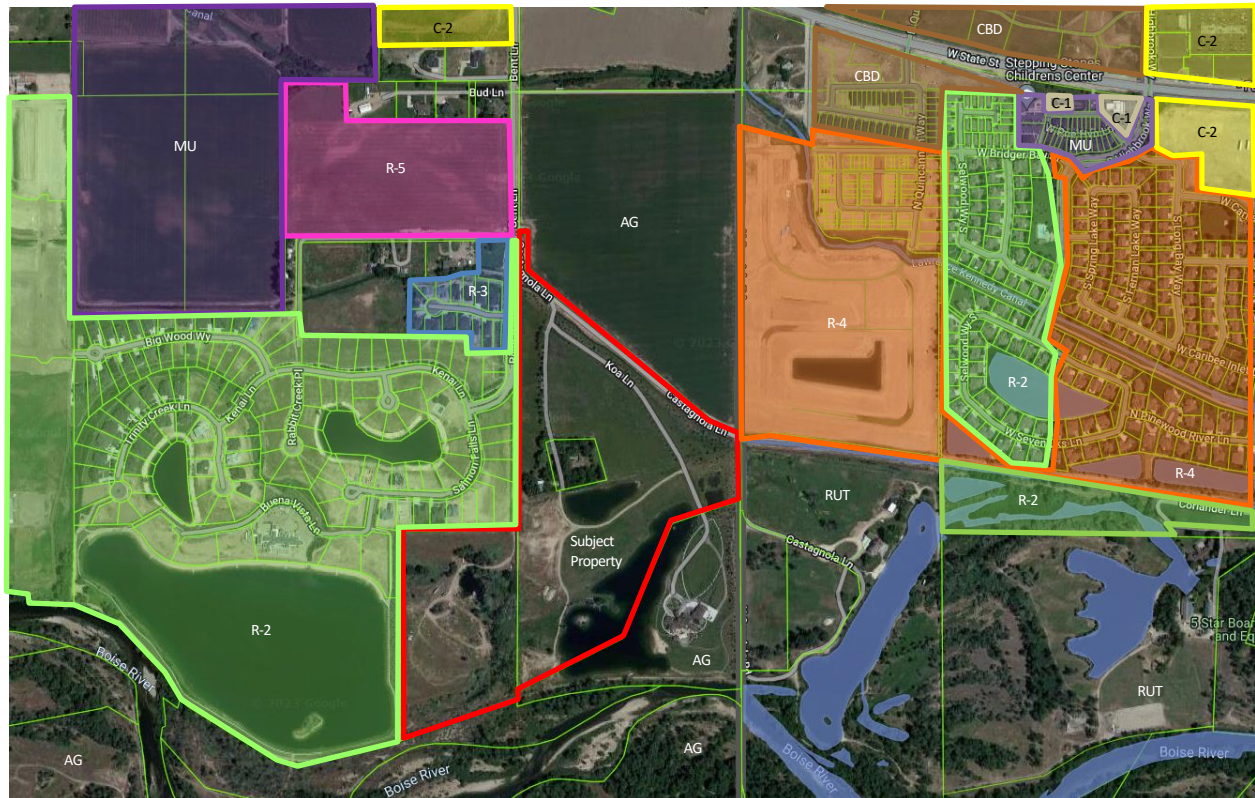
*Site Description*

The approximately 64.70-acre site is comprised of three different taxing parcels and is currently zoned Agricultural (AG) in Unincorporated Canyon County. One parcel contains a single-family residence while the other two are vacant land. The subject property is adjacent to the Star River Ranch Subdivision and southeast of the Star River Meadows Subdivision within the City of Star; vacant agricultural land in Unincorporated Canyon County to the north; rural residential properties in Unincorporated Ada County to the east; and the Boise River and Boise River Floodplain to the south.

**Compliance with Comprehensive Plan**

According to the City’s Comprehensive Plan, the future land use designation for this property is *Estate Urban Residential*, which targets a density of up to 3 dwelling units an acre. Annexing and zoning the property to the Residential (R-2) District will be consistent with the *Estate Urban Residential* designation. This will also set the stage for the submittal of a future residential subdivision application which will add to the single-family housing options available and contribute to the variety of housing opportunities available in the City of Star. The R-2 district, and future residential development will be consistent with surrounding developments, specifically Star River Ranch Subdivision and Star River Meadows Subdivision. Annexation of the property to allow for residential development will also support future commercial and residential development planned in the area.

As seen below, adjacent and nearby properties within the City of Star are zoned Residential (R-2, R-3, R-4, R-5), Commercial (C-1, C-2, CBD), and Mixed Use (MU). Properties within Canyon County are zoned as Agricultural (AG). Properties within Ada County are zoned as Rural Urban Transition (RUT).



A portion of the property along the southern property boundary contains the future land use designation of *Floodway*. This area of the property is located within FEMA's designated floodway for the Boise River. This is a riparian area currently and is not planned to be developed as a result of the annexation and zoning.

## Annexation & Rezoning

The City of Star's Comprehensive Plan and Future Land Use Map support annexation and zoning to the City's R-2 zoning district.

The subject property will comply with the purpose statement for residential districts, allowed uses, dimensional standards, and additional residential district standards. As the property sits today, a single-family residence and an accessory structure are the only uses on the property. Both will be retained with the future residential subdivision and will comply with dimensional standards. As the property is further developed, the future subdivision will be required to meet the same standards and requirements of the R-2 district.

Annexing and rezoning the property does not pose a risk to the public health, safety, or welfare. No site changes are proposed at this time, and any future development will require additional use approvals and the need for public sewer and water service to be provided to the development.

A conceptual site plan is included within this application to provide an understanding of the size of lots, anticipated density, and overall layout. The exhibit (right), shows the annexation boundary including three parcels and indicated with orange and blue outline. The future preliminary plat will not include parcel number R3403901100, which is shown in blue. Once the preliminary plat has been finalized, an application will be submitted and the city will review for conformance with the proposed R-2 district.

Annexing the property will be a benefit to the city, providing an opportunity for future residential development to take place adjacent to compatible neighborhoods.

**Services**

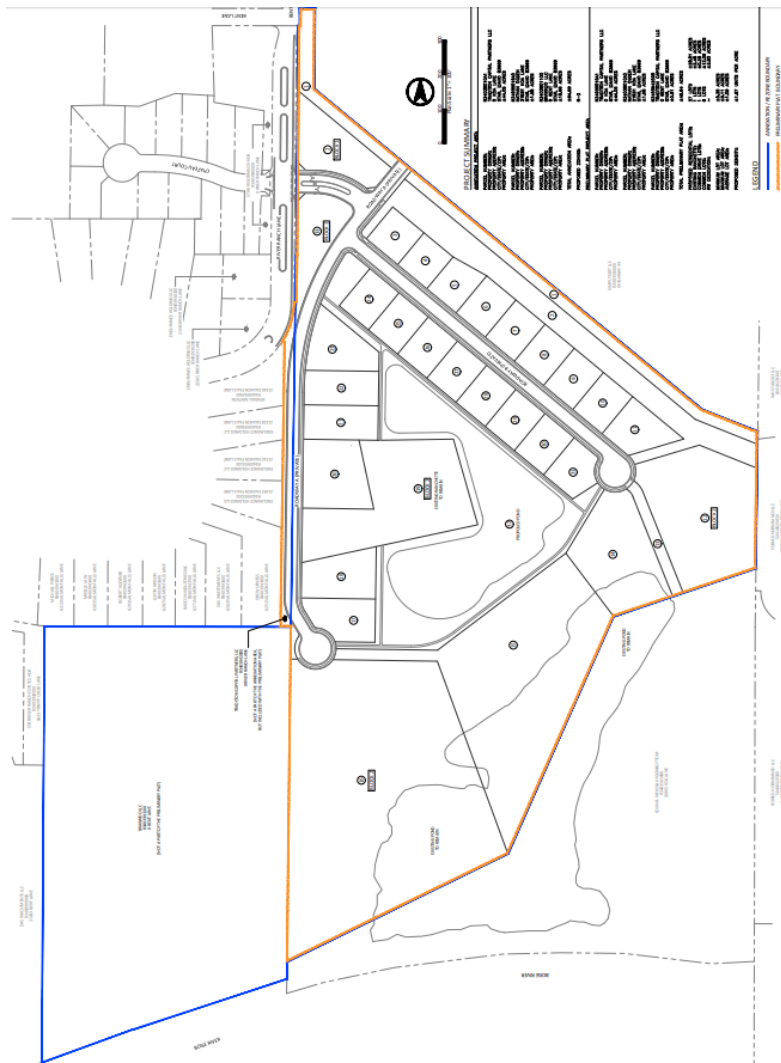
The zoning map amendment will not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city. Annexing and zoning the property will not cause services from political subdivisions to be stressed and any future development will require review and approval by said political subdivisions prior to entitlement.

In accordance with City Code, the subject property will utilize City services. Water is proposed to be connected via Chateau Court and will be extended throughout the subdivision. Sanitary sewer will be extended from an existing easement to the west within the Star River Ranch Subdivision.

The property is less than 1 ½ miles from Star Elementary School and is about 2 ½ miles from Star Middle School. The Boise River and various parks among other services and amenities are located in proximity.

**Floodplain Development**

The property is located within floodplain zones AE and X according to the existing FEMA FIRM panel 160236. In accordance with City Code requirements, we will include supplemental information regarding base flood elevations on our preliminary plat. We will continue to coordinate with the City and FEMA to complete any requirements associated with the floodplain development.



**Conclusion**

We are excited to bring the Lake Haven Estates development to the City of Star. This future residential community will complement surrounding uses, fulfill comprehensive plan goals, and provide needed housing in this area of Star. The community design will be compatible with existing and planned development and will allow future residents to live in a beautiful area close to existing development.

This project complements the City’s vision for growth and will be an asset to the community. Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,  
**KM Engineering, LLP**



Stephanie Hopkins  
Land Planning Manager



## ANNEXATION & ZONING - REZONE APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: AZ-24-01  
 Date Application Received: 01/17/2024 Fee Paid: \$3190.00  
 Processed by: City: Barbara Norgrove

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Tradition Capital Partners LLC  
 Applicant Address: 8454 Brookhaven Place, Middleton, Idaho Zip: 83644  
 Phone: 208.863.5164 Email: spencer@tcpidaho.com

Owner Name: Tradition Capital Partners LLC, Brawndo LLC & Nathan Ogden  
 Owner Address: See articles of incorporation included herein Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
 Contact: Stephanie Hopkins Firm Name: KM Engineering, LLP  
 Address: 5725 N. Discovery Way, Boise, ID Zip: 83713  
 Phone: 208-639-6939 Email: shopkins@kmengllp.com

### Property Information:

Site Address: 0 Koa Lane, 21831 Koa Lane, & 0 Bent Lane Parcel Number: R34035010A0, R34035010A1, and R3403901100  
 Total Acreage of Site: 64.70 acres  
 Total Acreage of Site in Special Flood Hazard Area: 64.70 acres  
 Proposed Zoning Designation of Site: R-2

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Agricultural (AG)	Estate Urban Residential	Rural Residential
Proposed	Residential (R2)	Estate Urban Residential	Single Family Residential
North of site	Agricultural (AG)	Estate Urban Residential	Agriculture
South of site	Agricultural (AG)	Floodway	Boise River Floodplain
East of site	Residential (R4) & Rural Urban Transition (RUT)	Estate Urban Residential	Rural Residential
West of site	Residential (R2 & R3)	Estate Urban Residential	Single Family Residential



**Special On-Site Features** (Yes or No – If yes explain):

Areas of Critical Environmental Concern - No

Evidence of Erosion - Not identified at this time.

Fish Habitat - Yes, adjacent to Boise River

Floodplain - Yes, Zone X, AE, and Floodway

Mature Trees - Yes. Inventory and mitigation to be addressed with preliminary plat

Riparian Vegetation - Yes, riparian area along southern border

Steep Slopes - No

Stream/Creek - Yes, Boise River

Unique Animal Life - Not identified at this time.

Unique Plant Life - Not identified at this time.

Unstable Soils - Not identified at this time.

Wildlife Habitat - Yes

Historical Assets - No

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with the Planning Department required prior to neighborhood meeting. <b>Date of Pre-App Meeting: December 20, 2023</b>	BN
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
X	Completed and signed Annexation & Zoning/Rezone Application	BN
X	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: <i>Stephane Hopkins</i>	
n/a	An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, CDH4) has issued a staff report on the development application.	
submitted 1/12/2024	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
X	Narrative fully describing the proposed project (must be signed by applicant)	BN
X	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> <li>Include a metes &amp; bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet.</li> </ul>	BN

	<ul style="list-style-type: none"> <li>Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h.</li> <li>If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map.</li> <li>Submit word.doc and pdf version with engineer's seal.</li> </ul>	
X	Recorded warranty deed for the subject property	BN
submitted 1/12/2024	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
X	Vicinity map showing the location of the subject property with minimum <b>1-mile radius</b>	BN
X	Copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, <b>a conceptual development plan for the property is required.</b>	BN
X	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	BN
X	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development. Canyon County Water Co	BN
X	Copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. <b>Please contact the City to request addresses and labels (additional fee required).</b>	BN
X	Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.	BN
forthcoming	Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.	
noted	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.	

**APPLICANT ACKNOWLEDGEMENT\*\*:**

**\*\* I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.**

Stephanie Hopkins  
Applicant/Representative Signature

January 17, 2024  
Date

December 20, 2023  
Project No. 22-192  
Koa Lane Subdivision

**Exhibit A**  
**Legal Description for Annexation**

A parcel of land being a portion of the East 1/2 of the Northeast 1/4, Government Lot 1, Government Lot 2, and accretion land situated in the North 1/2 of the Southeast 1/4, all in Section 13, Township 4 North, Range 2 West, B.M., Canyon County, Idaho being more particularly described as follows:

Commencing at a brass cap marking the Northeast corner of said Section 13, which bears N00°46'45"E a distance of 2,640.00 feet from a brass cap marking the East 1/4 corner of said Section 13, thence following the easterly line of the Northeast 1/4 of said Section 13, S00°46'45"W a distance of 2,072.42 feet to a 5/8-inch rebar being the **POINT OF BEGINNING**.

Thence following said easterly line, S00°46'45"W a distance of 398.27 feet to a 5/8-inch rebar;

Thence leaving said easterly line, S71°22'23"W a distance of 435.79 feet;

Thence S24°00'56"W a distance of 754.41 feet;

Thence S63°58'14"W a distance of 713.84 feet to a 5/8-inch rebar on the extended westerly line of said Government Lot 1;

Thence following said extended westerly line, S00°38'24"W a distance of 50.00 feet to a 5/8-inch rebar;

Thence leaving said extended westerly line, S71°51'32"W a distance of 469.21 feet to a 5/8-inch rebar;

Thence S70°06'39"W a distance of 282.67 feet to a 5/8-inch rebar;

Thence N00°23'36"E a distance of 1,266.00 feet to a 5/8-inch rebar on the boundary of Star River Ranch Subdivision No. 2 (Book 52, Page 26, records of Canyon County, Idaho);

Thence following said boundary the following two (2) courses:

S89°50'25"E a distance of 714.42 feet to a 5/8-inch rebar;

Thence N00°49'43"E a distance of 278.41 feet to a 5/8-inch rebar on the boundary of Star River Ranch Subdivision No. 1 (Book 48, Page 12, records of Canyon County, Idaho);

Thence leaving the boundary of said Star River Ranch Subdivision No. 2 and following the boundary of said Star River Ranch Subdivision No. 1 the following two (2) courses:

1. N00°49'43"E a distance of 803.00 feet to a 5/8-inch rebar;

2. N00°31'16"E a distance of 664.19 feet to the southerly right-of-way of Bent Lane;

Thence leaving said boundary and following said southerly right-of-way, N89°47'53"W a distance of 25.28 feet to the centerline intersection of River Ranch Lane and said Bent Lane;

Thence leaving said southerly right-of-way and following the centerline of said Bent Lane, N05°21'39"E a distance of 50.22 feet;

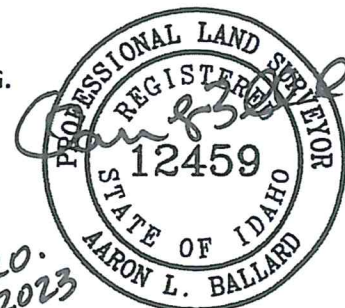
Thence leaving said centerline, S89°58'49"E a distance of 70.05 feet to a 1/2-inch rebar;

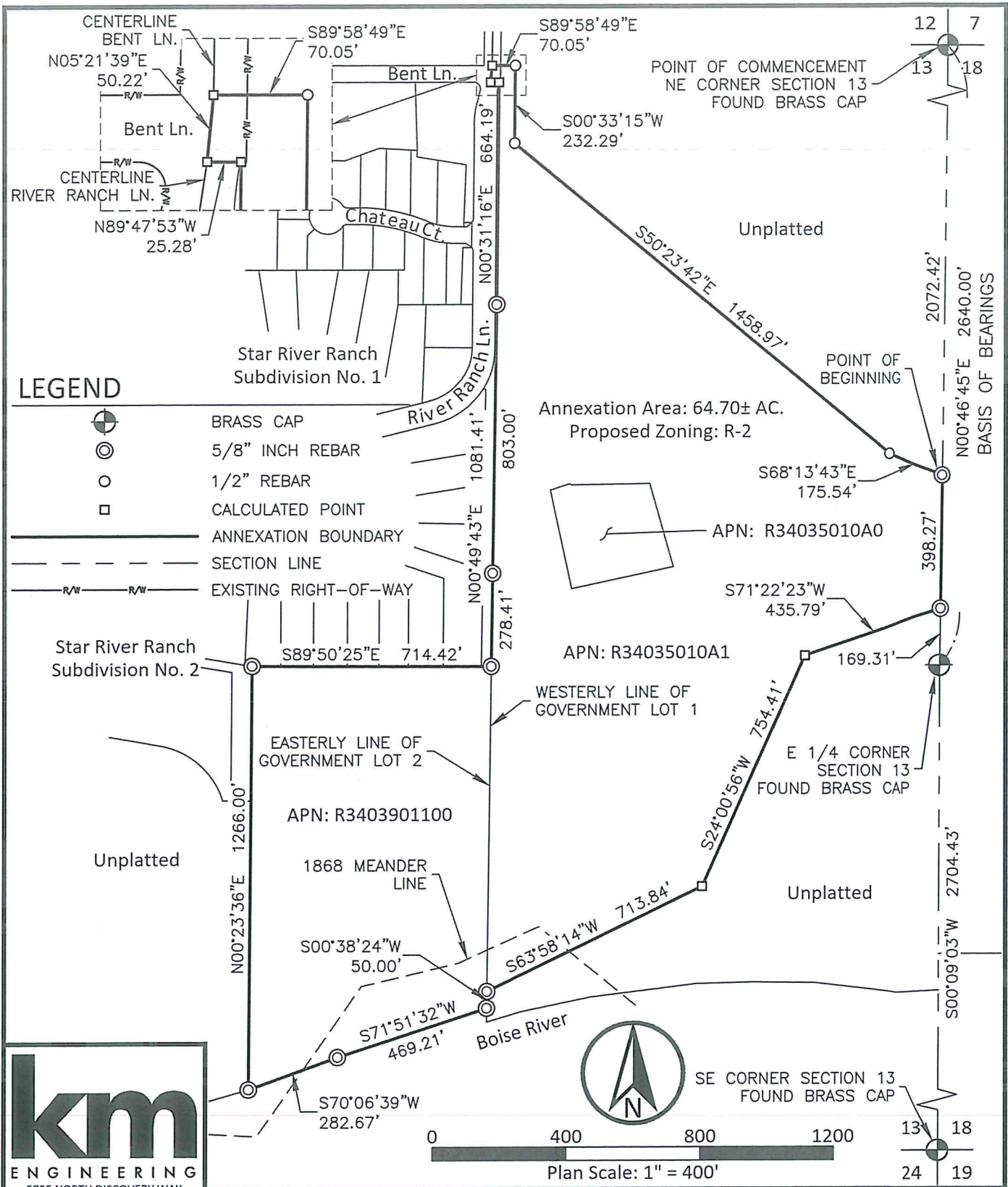
Thence S00°33'15"W a distance of 232.29 feet to a 1/2-inch rebar;

Thence S50°23'42"E a distance of 1,458.97 feet to a 1/2-inch rebar;

Thence S68°13'43"E a distance of 175.54 feet to the **POINT OF BEGINNING**.

Said parcel contains a total of 64.70 acres, more or less.





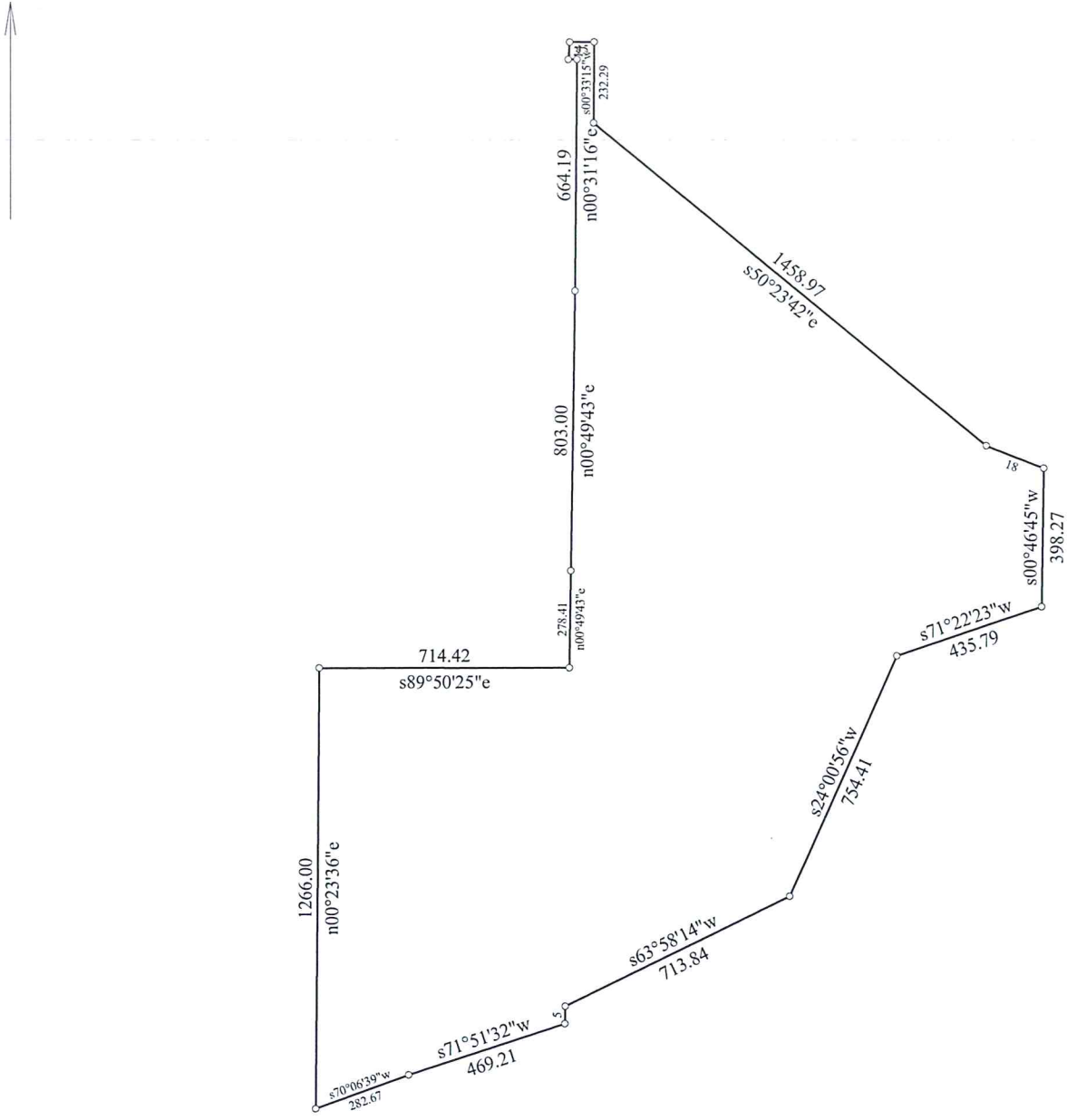
P:\22-192\CAD\SURVEY\EXHIBITS\22-192 ANNEXATION EXHIBIT.DWG, CRAIG DRAPER, 12/19/2023, DWG TO PDF.PC3, 08.5X11 P [PDF]

**km**  
ENGINEERING  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.com

DATE:	December 2023
PROJECT:	22-192
SHEET:	1 OF 1

**Exhibit B - Annexation Koa Lane Subdivision**

Portions of the E 1/2 of the NE 1/4, Gov't Lot 1, Gov't Lot 2, and Accretion Land Situated in the N 1/2 of the SE 1/4 of Sec. 13. T4N, R2W, BM, Canyon County, Idaho



Title: Koa Lane Annexation 22-192 Date: 12-19-2023

Scale: 1 inch = 500 feet File: Deed Plotter.des

Tract 1: 64.704 Acres: 2818508 Sq Feet: Closure = n31.0439e 0.01 Feet: Precision >1/9999999: Perimeter = 8843 Feet

001=s00.4645w 398.27	008=n00.2336e 1266.00	015=s89.5849e 70.05
002=s71.2223w 435.79	009=s89.5025e 714.42	016=s00.3315w 232.29
003=s24.0056w 754.41	010=n00.4943e 278.41	017=s50.2342e 1458.97
004=s63.5814w 713.84	011=n00.4943e 803.00	018=s68.1343e 175.54
005=s00.3824w 50.00	012=n00.3116e 664.19	
006=s71.5132w 469.21	013=n89.4753w 25.28	
007=s70.0639w 282.67	014=n05.2139e 50.22	



**Shawn Nickel**

**From:** Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>  
**Sent:** Friday, February 16, 2024 6:17 AM  
**To:** Shawn Nickel  
**Cc:** Barbara Norgrove  
**Subject:** RE: Agency Transmittal - Lake Haven Estates Annexation

Good Morning, Shawn –

After careful review of the transmittal submitted to ITD on February 5, 2024, regarding Lake Haven Estates Annexation, the Department has no comments or concerns to make at this time. The annexation into R2 will limit the amount of residences in this subdivision. Approximately 21 lots will not cause a major impact to SH-44 or US-20/26.

Please let me know if you have any questions.

Thank you,



*Niki Benyakhlef*  
 Development Services Coordinator

**District 3 Development Services**  
 O: 208.334.8337 | C: 208.296.9750  
 Email: [niki.benyakhlef@itd.idaho.gov](mailto:niki.benyakhlef@itd.idaho.gov)  
 Website: [itd.idaho.gov](http://itd.idaho.gov)

---

**From:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Sent:** Monday, February 5, 2024 2:13 PM  
**To:** sheriff@adaweb.net; Daniel.Weed@cableone.biz; chopper@canyonhd4.org; Iriccio@canyonhd4.org; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; irrigation.mm.mi@gmail.com; bryce@sawtoothlaw.com; Melvin.B.Norton@usps.gov; ERIC.GRZEBINSKI@mdu.com; BRO.Admin@deq.idaho.gov; kris.margheim@idwr.idaho.gov; permits@starfirerescue.org; lbuckway@msd134.org; projectmgr@boiseriver.org; bcrawforth@canyonco.org; rstewart@middletoncity.com; zoninginfo@canyoncounty.id.gov; brandy.walker@centurylink.com; samuel.flores@sparklight.biz; jack.nygaard@phd3.idaho.gov; oocc@canyonco.org; irrigation.mm.mi@gmail.com; kdahl@canyonco.org; zoninginfo@canyonco.org; info@pioneerirrigation.com; Julissa Wolf <jwolf@baileyengineers.com>; syarrington@adacounty.id.gov; hday@starswd.com; westerninfo@idwr.idaho.gov; mgee@msd134.org; LPennington@msd134.org; lgrooms@msd134.org; Cheryl.imlach@intgas.com; Gloria Stokes <drain.dist.2@gmail.com>; file@idwr.idaho.gov; Mitch Kiester <Mitch.Kiester@phd3.idaho.gov>; Kerry.schmidt@intgas.com; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; gmprdtim@gmail.com; gmprdjulie@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Mwallace@achdidaho.org; Ryan Field <rfield@staridaho.org>; Richard Girard <rgirard@staridaho.org>; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Daniel.Lister@CanyonCounty.id.gov; zsmith@adacounty.id.gov; CalahanH@landproDATA.com; Brian Duran <Brian.Duran@itd.idaho.gov>; anthony.lee@phd3.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>  
**Cc:** Shawn Nickel <snickel@staridaho.org>  
**Subject:** FW: Agency Transmittal - Lake Haven Estates Annexation

1445 N. Orchard St.  
Boise ID 83706 • (208) 373-0550



Brad Little, Governor  
Jess Byrne, Director

February 14, 2024

Shawn L. Nickel  
Planning Director and Zoning Administrator  
Star City Hall  
P.O. Box 130  
Star, Idaho 83669  
[snickel@staridaho.org](mailto:snickel@staridaho.org)

Subject: Lake Haven Estates  
AZ-24-01 Annexation/Zoning  
DA-24-01 Development Agreement

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:  
<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.



## 2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## 3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.

- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:  
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

#### 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

**6. ADDITIONAL NOTES**

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator

c:

2021AEK

## LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **February 6<sup>th</sup>, 2024**, at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

**Application:** Milepost Commons Subdivision  
Files #'s PP-23-05 Preliminary Plat  
DA-23-07 Development Agreement

**Representative:** Kyle Prewett, Toll Brothers

**Owner:** Toll West, Inc

**Action:** The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre.

**Property Location:** The subject property is generally located on the east side of N. Pollard Lane between W. Beacon Light Road and W. Broken Arrow Street. Ada County Parcel No. S0404244210.

**Information/Comments:** A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel  
Planning Director and Zoning Administrator  
[snickel@staridaho.org](mailto:snickel@staridaho.org)



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department



**MEETING DATE:** **March 5, 2024 – PUBLIC HEARING**

**FILE(S) #:** DA-21-15 MOD Development Agreement Modification  
PP-23-05 Preliminary Plat for Milepost Commons Subdivision

**OWNER/APPLICANT/REPRESENTATIVE**

**Applicant/Owner:**

Toll Southwest LLC  
3103 W. Sheryl Drive, Suite 101  
Meridian, ID 83642

**Representative**

Kyle Prewett  
Toll Brothers  
3103 W. Sheryl Drive, Suite 100  
Meridian, Idaho 83642

**REQUEST**

**Request:** The Applicant is requesting approval of a Preliminary Plat (PP-23-05) and Development Agreement Modification (DA-21-15 MOD) for a proposed residential subdivision consisting of 72 residential lots and 11 common lots. The property is located at 2400 N. Pollard Lane in Star, Ada County, Idaho, and consists of 19.93 acres with a proposed density of 3.6 dwelling units per acre.

**PROPERTY INFORMATION**

**Property Location:** The subject property is generally located on the east side of N. Pollard Lane between W. Beacon Light Road and W. Broken Arrow Street. Ada County Parcel No. S0404244210.

**Surrounding Land Use/Designations:**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Residential (R-4)	Neighborhood Residential	Agricultural/Residential
<b>Proposed</b>	Residential (R-4-DA)	Neighborhood Residential	Single Family Residential
<b>North of site</b>	Residential (R-2)	Estate Rural Residential	River Birch Golf Course
<b>South of site</b>	Residential (R-3-DA)	Estate Urban Residential	Iron Mountain/Iron Vista Subdivision
<b>East of site</b>	Residential (R-5-DA)/Mixed Use (MU)	Neighborhood Residential	Milestone Commons Subdivision
<b>West of site</b>	Residential (R-4)	Public Use/Open Space	Ag/Future School Site

**Existing Site Characteristics:** The property is currently in agricultural production with an old home and outbuildings.

**Irrigation/Drainage District(s):** Farmers Union Ditch Co., LTD  
P.O. Box 1474  
Eagle, ID 83616

**Flood Zone:** Some of this property is currently located in a Special Flood Hazard Area.  
Flood Zone: Zone A  
FEMA FIRM Panel Number: 16001C0130J  
Effective Date: 6/19/2020

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – Yes.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held

December 1, 2022

Neighborhood Meeting Held	November 1, 2023
Application Submitted & Fees Paid	December 8, 2023
Application Accepted	December 8, 2023
Residents within 300' Notified	January 4, 2024
Agencies Notified	December 19, 2023
Legal Notice Published	January 9, 2024
Property Posted	February 23, 2024

**HISTORY**

The property was previously annexed into the City and zoned R-4 as part of the West Ada School District property. The property was subsequently sold to Toll Brothers.

**CODE DEFINITIONS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

<b>ZONING DISTRICT USES</b>	<b>A</b>	<b>R-R</b>	<b>R</b>	
	Section 6, Item D.			
	Accessory structure	A	A	A
	Dwelling:			
	Multi-family 1	N	N	C
	Secondary 1	A	A	A
	Single-family attached	N	N	C
	Single-family detached	P	P	<b>P</b>
Two-family duplex	N	N	P	

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	7.5' <sup>(2)</sup>	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:**

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.



2. Each development is required to have at least one site amenity.
  3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
  4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
  5. For multi-family developments, see Section 8-5-20 for additional standards.
- B. Qualified Open Space: The following may qualify to meet the common open space requirements:
1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
    - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
    - b. Qualified natural areas;
    - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
    - d. A plaza.
  2. Additions to a public park or other public open space area.
  3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
  4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
    - a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
    - b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.
    - c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:
      1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
      2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of

storm event.

- 3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

- 1. Clubhouse;
- 2. Fitness facilities, indoors or outdoors;
- 3. Public art;
- 4. Picnic area; or
- 5. Recreation amenities:
  - a. Swimming pool.
  - b. Children's play structures.
  - c. Sports courts.
  - d. Additional open space in excess of 5% usable space.
  - e. RV parking for the use of the residents within the development.
  - f. School and/or Fire station sites if accepted by the district.
  - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
    - (1) The system is not required for sidewalks adjacent to public right of way;
    - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
    - (3) The system is designed and constructed in accord with standards set forth by the city of Star;

D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Neighborhood Residential

Suitable primarily for single family residential use. Densities in the majority of this land use area are to range from 3 units per acre to 5 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

#### 18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

### PROJECT OVERVIEW

#### PRELIMINARY PLAT:

The Preliminary Plat contains 72 single family detached residential lots, and 11 common area lots on 19.93 acres. This equates to 3.6 dwelling units per acre. The lots will have access and frontage from public streets. The development has two lot widths, including 45, and 55 feet with depths ranging from 115 to 121 feet. Single family detached lots will range in size from 5,135 square feet to 10,827 square feet with the average buildable lot of 6,014 square feet. The submitted preliminary plat includes all local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 5-foot, concrete sidewalk and 8-foot side landscape strip, except along W. Stillmore Street, where the sidewalks is proposed to be attached. The applicant is proposing 6.23 acres (31.3%) of open space and 4.04 acres (20.3%) of usable open space. These percentages satisfy the Unified Development Code requirement of 15% open space with 10% useable.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of three (3) site amenities. The applicant is proposing a 1.0-acre central park with a bocce ball court and landscaped pathways. There will also be additional large open areas with seating and pathways. The residents of Milepost Commons will also have access to Milestone Ranch and their amenities, as the plan is to have this development also age restricted and an extension of Milestone Ranch.

Primary access to the development will be off N. Pollard Road via W. Stillmore Street, located south of the property. Milepost Commons will also provide stub streets on the south to Iron Mountain Vista Subdivision and the east to Milestone Ranch Subdivision.

#### ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks  
Internal sidewalks are proposed at five-foot (5') widths and will be detached with an eight-foot (8') landscape strip. The sidewalk along W. Stillmore Street will be attached.
- Lighting  
Streetlights shall reflect the "Dark Sky" criteria. The same streetlight design shall continue throughout the entire development. The applicant has not submitted a

streetlight location plan, **this needs to be submitted and approved prior to approval of the final plat.** The Applicant has provided a streetlight design/cut sheet and the proposed fixture meets city requirements and is the preferred fixture for use throughout the City of Star. The streetlights should match those in Milestone Ranch Subdivision.

- Street Names Applicant has provided documentation from Ada County that the street names are acceptable and have been approved.
- Subdivision Name – The applicant has provided documentation from Ada County that the proposed development name has been approved for use and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements for the open areas and detached sidewalks.
- Setbacks – **The applicant is requesting an interior side yard setback of five (5') which is consistent with the approved setbacks located in the Milestone Ranch Subdivision to the east.** The remaining setbacks are proposed to satisfy the R-4 zone requirements of the Unified Development Code.
- Block lengths – All blocks meet the 750' block length requirement.
- Mailbox Cluster – Applicant has provided documentation from Mel Norton, Star Postmaster depicting the approved location for the mailbox cluster for the development. The approval is to add additional clusters to the Milestone Ranch mail clusters.
- Phasing – The development is scheduled to be built out in three (3) phases.
- Structure Height – Applicant is proposing that all residential structures will be single story.
- Applicant is proposing this development will be an age 55 and older, active adult community.

**DEVELOPMENT AGREEMENT**

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. **The applicant is requesting a modification to the existing Development Agreement for the Milestone Ranch Subdivision in order to bring this new subdivision into the HOA management.** Items that should be considered by the applicant and Council include the following:

- **5 foot side yard setbacks consistent with Milestone Ranch Subdivision to the east;**
- ITD Proportionate Share Fees;
- Emergency Access

**AGENCY RESPONSES**

ACHD	January 26, 2024
ITD	January 8, 2024

**PUBLIC RESPONSES**

No public comments have been received.

**STAFF RECOMMENDATION**

Based upon the information provided to staff in the applications and agency comments received to date, the proposed preliminary plat meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 3.6 dwelling units per acre is below the maximum of 5 dwelling units per acre allowed in the Neighborhood Residential Comprehensive Plan Future Land Use Map. Staff is supportive of the proposed lot sizes and housing types, housing sizes and density that the (R-4) zoning designation will provide. **Staff is also supportive of the requested side yard setbacks, as they are consistent with the Milestone Ranch Subdivision, which this subdivision is an extension of.**

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

**FINDINGS**

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

**PRELIMINARY PLAT FINDINGS:**

- 1. The plat is in compliance with the Comprehensive Plan.  
*The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:*
  - 1. *Designing development projects that minimize impacts on existing adjacent properties, and*
  - 2. *Managing urban sprawl to protect outlying rural areas.*
- 2. Public Services are available or can be made available and are adequate to accommodate the proposed development.  
*The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.*
- 3. There is public financial capability of supporting services for the proposed development;  
*The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.*
- 4. The development will not be detrimental to the public health, safety or general welfare;  
*The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.*
- 5. The development preserves significant natural, scenic or historic features;  
*The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.*

*Upon granting approval or denial of the application, the Council shall specify:*

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

## CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Milepost Commons Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$1,000 per residential unit for a total of \$72,000. These fees will be collected by the City of Star, by phase, prior to final plat signature.** The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.
3. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight plan designating locations that meet city standards prior to Final Plat approval.** Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.
4. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
5. The entrance to N. Pollard Road shall be cleaned nightly to include dirt, dust, rocks, mud, and other debris. All trash shall be secured on site and trash receptacles emptied on a regular basis to avoid blowing debris.
6. During the entire construction process, dust from the site must be minimized as much as possible. Water trucks should be used as appropriate. Excess dust could result in fines and or work stoppage.
7. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
8. Street trees shall be installed per Chapter 8, Section 8-8C-2-M (2) Street Trees.
9. Common area trees shall be provided as stated in Section 8-8C-2, J5, including one (1) tree per four thousand (4,000) square feet.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
12. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
13. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.



- 14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 15. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 16. All common areas shall be owned and maintained by the Homeowners Association.
- 17. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 18. A sign application is required for any subdivision signs.
- 19. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic and/or copper telecommunication cables.**
- 20. Any additional Condition of Approval as required by Staff and City Council.**

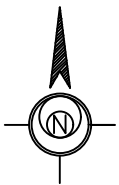
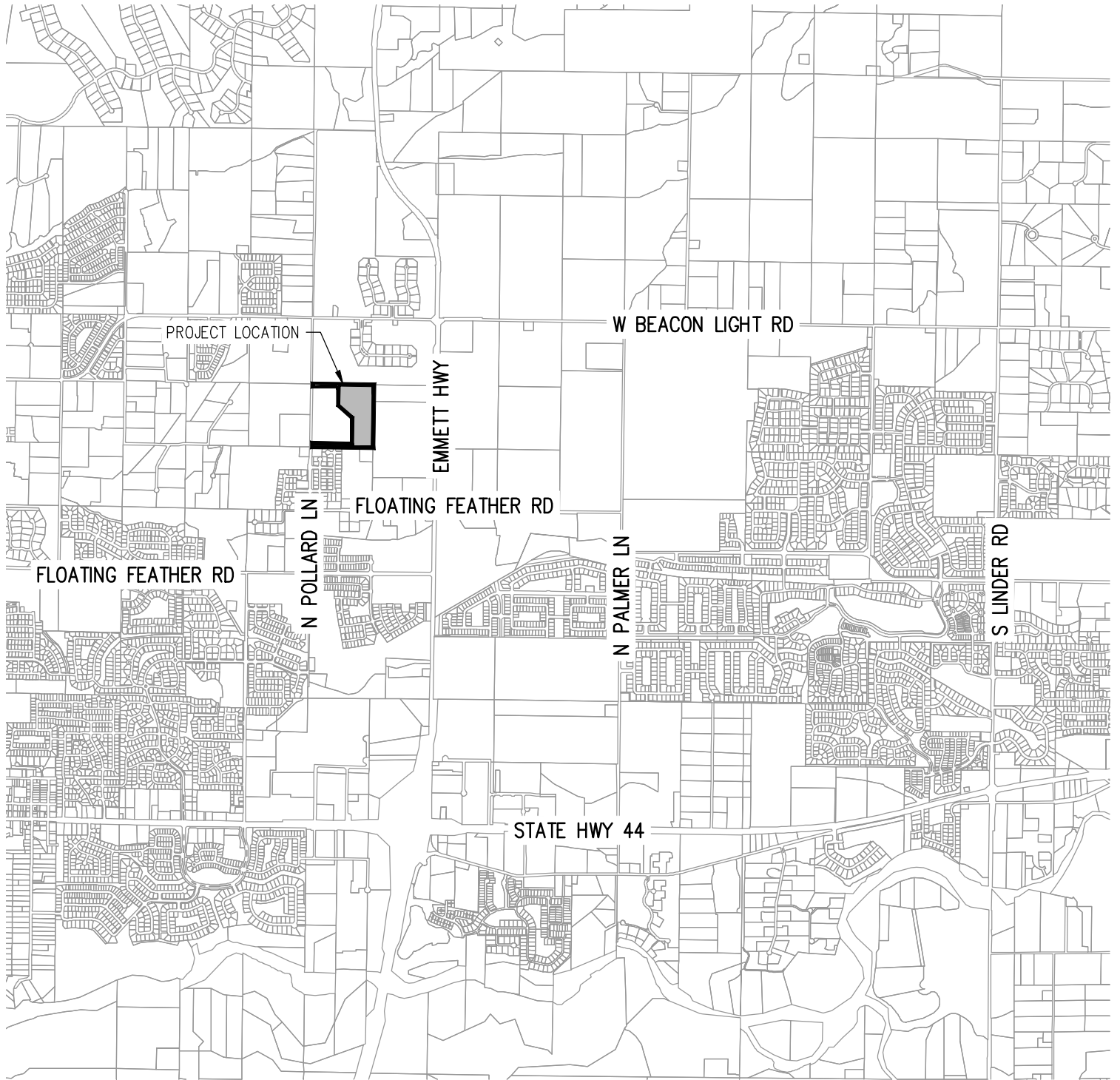
**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number DA-21-16 MOD and PP-23-05 for Milepost Commons Subdivision on \_\_\_\_\_, 2024.

# MILEPOST COMMONS SUBDIVISION VICINITY MAP

Section 6, Item D.

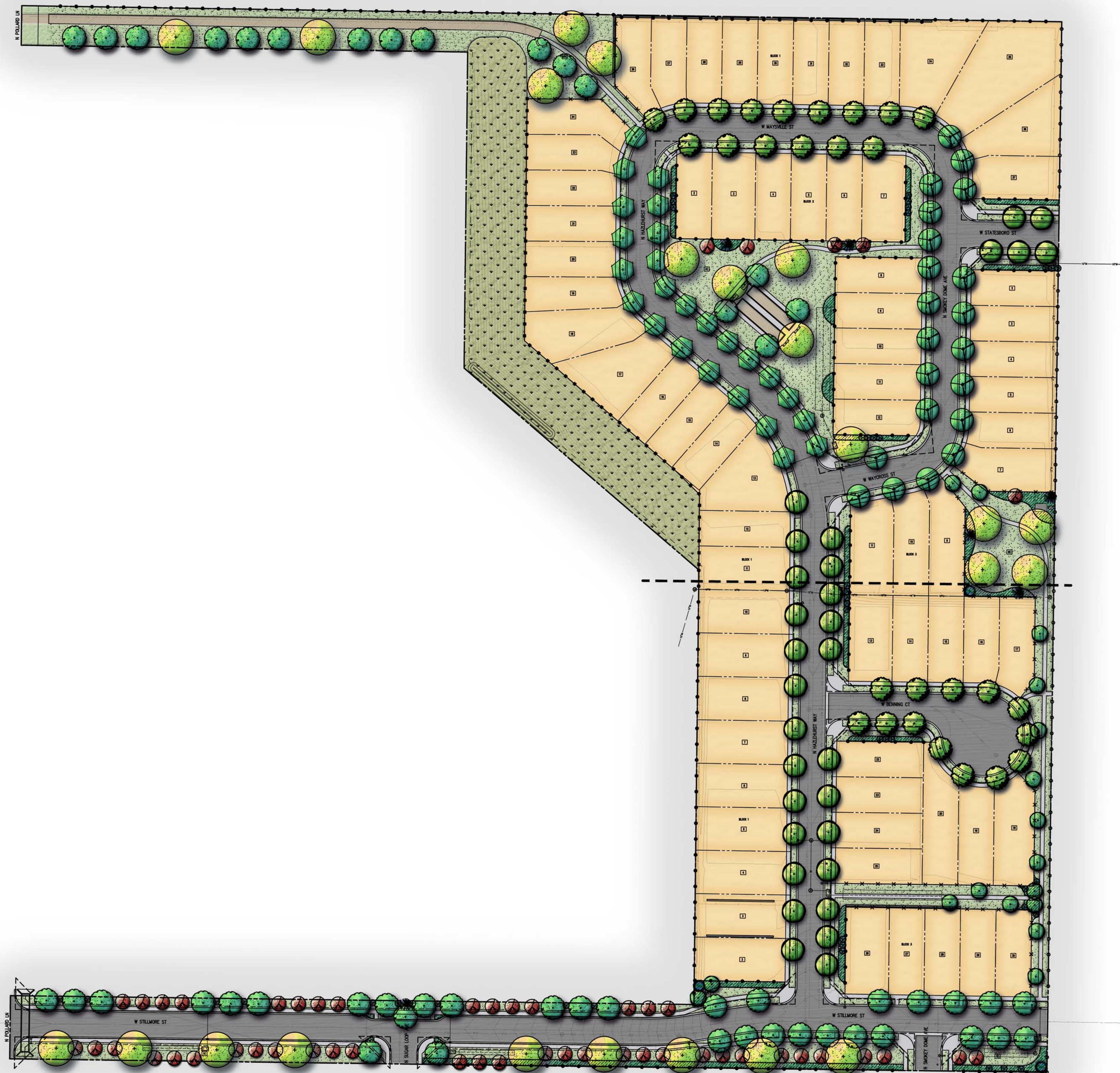
December 21, 2022 - Star, Idaho



**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642  
T: 208-424-0020

**Toll Brothers**  
AMERICA'S LUXURY HOME BU



# MILEPOST COMMONS

STAR, IDAHO

PRELIMINARY PLAT LANDSCAPE PLAN

**PLANNER**  
 TOLL SOUTHWEST LLC  
 ADAM CAPELL  
 3103 W. SHERYL DR., STE 100  
 MERIDIAN, ID 83642  
 Phone (208) 780-6726

**DEVELOPER**  
 TOLL SOUTHWEST LLC  
 KYLE PEWETT  
 3103 W. SHERYL DR., STE 100  
 MERIDIAN, ID 83642  
 Phone (208) 576-3625

**ENGINEER**  
 ESE CONSULTANTS, INC.  
 JUSTIN BOZOVICH, P.E.  
 3103 W. SHERYL DR., STE 100  
 MERIDIAN, ID 83642  
 Phone (208) 955-6555



NOVEMBER 20, 2023  
 0' 80' 160' 240'  
 SCALE 1" = 80'



**JENSENBELTS ASSOCIATES**  
 Site Planning / Landscape Architecture  
 1608 Tyrrel Lane, Ste 100 Boise, ID 83706  
 Ph. (208) 548-7776 www.jensenbelts.com

February 21<sup>st</sup>, 2024

City of Star  
Planning and Zoning  
10769 W. State St.  
Star, ID 83669

**RE: Milepost Commons Subdivision Preliminary Plat and Development Agreement Modification**

Dear Planning Staff, Mayor, and City Council,

Toll Brothers is pleased to present applications for a preliminary plat and development agreement modification for the Milepost Commons residential community. Milepost Commons will be a single-family residential community with 72 homes all constructed by Toll Brothers (the “Project”). The Project will be developed as an extension of the neighboring Milestone Ranch Subdivision, which the City approved in 2021 and is currently being developed by Toll Brothers. As the Project is developed, it will be fully integrated into the Milestone Ranch Subdivision with shared common areas, multiple public roads, and pedestrian connections.

The Project will be a premier active adult community for 55 and older. Milepost Commons will help meet the City’s need for housing with a first-class residential community that offers quality architecture and thoughtful open space amenities. The housing type and amenities provided in Milepost Commons are currently in high demand from Star’s existing residents.

**Property Overview**

Milepost Commons will be constructed on Parcel No. S0404244210, which is 19.93 acres located at 2400 N Pollard Lane on the east side of N Pollard Lane between W Broken Arrow Street and W Beacon Light Road (the “Property”). *Figure 1* is a vicinity map with the Property outlined in black.

The Property is already annexed and zoned R-4. The City’s Future Land Use Map designates the Property as Neighborhood Residential, which supports the existing R-4 zoning. There are several vacant structures on the Property, which will all be removed prior to construction. Irrigation facilities on site will be relocated and an existing well will be abandoned per applicable standards. The land uses and zoning adjacent to the Property are:

1. North is the River Birch Golf Course, annexed and zoned R-2;
2. South is property annexed and zoned R-3-DA for the Iron Mountain Estates Subdivision;
3. East is Toll Brother’s Milestone Ranch Subdivision, annexed and zoned R-5-DA; and
4. West is property annexed and zoned as R-4 and owned by West Ada School District which has plans to develop the land as a high school or athletic complex.

The topography of the Property varies in elevation by 33 feet from 2,554 centrally located to 2,521 along the southern boundary. The northwest and southwest areas of the Property feature a 100-year floodplain.



Figure 1

**Preliminary Plat Application**

Milepost Commons is a residential community with 72 single-family residential lots and 11 common lots. Residential lots will range from 5,135 square feet to 10,827 square feet. The average residential lot size is 6,014 square feet. The Project has two lot widths 45’ and 55’ and lot depths up to 120’. All of the proposed homes within the development will be single-story. The Project meets the City’s requirements for lot size and density in the R-4 zoning district.

<b>General Project Overview</b>	
Single-family residential lots	72
Common lots	11
Single-family residential area	9.88 Acres
Common lot area	5.47 Acres
Gross density	3.6 DU/Acre

The Project will be built in three (3) phases. The anticipated timing for the final platting of the first phase is late 2025. This date is subject to change depending on market conditions. Figure 2 below is a rendering of the future lots and open space provided by the preliminary plat application.

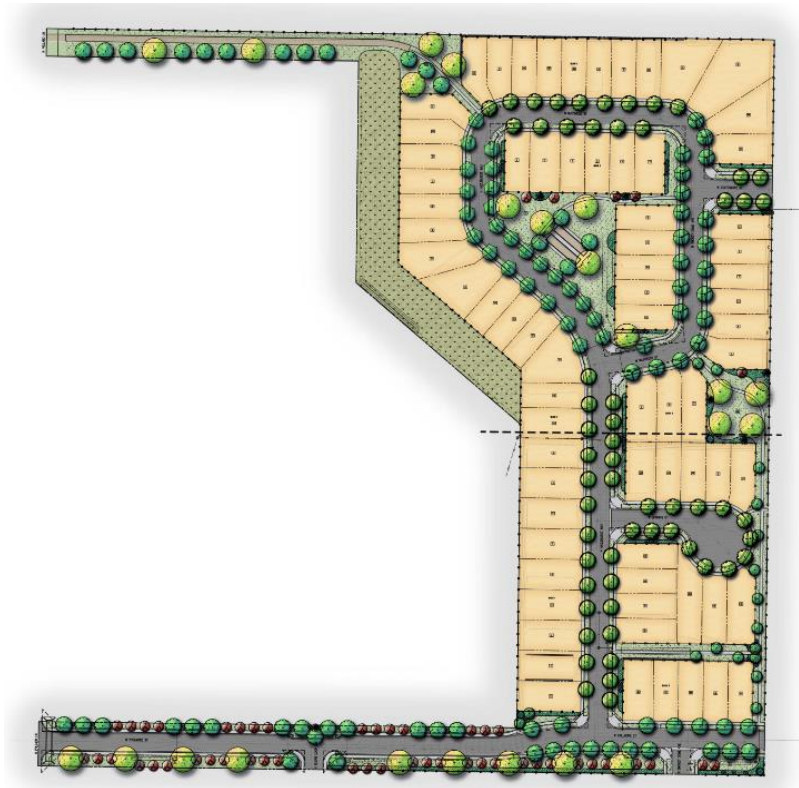


Figure 2

### **Access and Transportation**

Ada County Highway District and the Idaho Department of Transportation both confirmed a traffic impact study is not required because the development is less than 100 homes. The Project's primary access will be from N Pollard Lane via W Stillmore Street—a road on the south side of the Property to be designed and constructed by Toll Brothers. Milepost Commons will increase connectivity in the region by providing connections with multiple stub streets south to Iron Mountain Estates on N Sugar Loop Avenue and east to Milestone Ranch on W Stillmore and W Statesboro.

The Project will have 5-foot-wide detached sidewalks with 8-foot-wide landscape buffers along a majority of local streets. Sidewalks on W Stillmore Street between Smokey Dome Avenue and N Pollard Lane will be attached 5-foot-wide sidewalks. The proposed rights-of-way for all roadways are 50 feet in width with a 36-foot-wide street section.

### **Sewer & Water Facilities**

The project is currently serviceable with central sewer and water by Star Sewer and Water District. The Property was annexed into Star Sewer and Water District in May 2023. An existing 12" water main located on the Property's southern boundary will provide water service. This connection will complete a water loop surrounding the Property owned by the West Ada School

District to the west. Sewer will be extended south and west along W Stillmore Street and connect to the existing sewer in Iron Mountain Estates Subdivision.

### **Pressure Irrigation & Drainage Facilities**

The Property is served by Farmer’s Union Ditch Company and has water rights for 20 acres of irrigation at a rate of 187 gallons per minute. Pressure irrigation will be provided to residents via a stand-alone pressure irrigation pump station or integrated into the Milestone Ranch pump station.

Storm drainage will be retained on site, and any discharge will not exceed pre-development flows. Streets will utilize underground retention facilities within the common areas in the form of seepage beds throughout five separate basin catchment areas. All storm drainage facilities will be designed in accordance with Ada County Highway District and City of Star standards. A geotechnical report was prepared for the site. Eight exploratory test pits and piezometers were installed to monitor the groundwater levels. Data has been collected since June 2021 and no high groundwater was encountered.

### **Open Space and Amenities**

Milepost Commons includes 4.02 acres of qualified open spaces, which is 20.3% of the Property. When the Project is integrated with the Milestone Ranch Subdivision, the collective qualified open spaces will be 14.77 acres, which is 16.9% of the total area.

The proposed amenities within the Project include a 1-acre central common area with bocce ball courts and landscaped pathways. Amenities in the community’s two other large open spaces include seating, landscaping, and landscaped pathways providing communal green space near all residents and car-free access to N Pollard Lane. Residents will have access to amenities within the neighboring Milestone Ranch Subdivision, which includes a 10,000-square-foot clubhouse, an indoor swimming pool facility for year-round use, a plaza with picnic gazebos, and four pickleball courts. Residents of Milestone Ranch Subdivision will have reciprocal access to Milepost Commons amenities. Multiple pathways within the development provide interconnections to the central amenity area, open spaces, and a connection to pathways within the Milestone Ranch Subdivision.

### **Architecture and Housing Types**

Milepost Commons will offer distinct architectural styles with the Briar and Orchard Collections from Toll Brothers. Each distinct home style offers a unique selection of floor plans and elevation styles for residents to choose from.

The Briar and Orchard Collections offer compact homes, in the 2,000-square-foot range. The Briar and Orchard Collections help to provide diverse housing types within the community and the City and provide a more affordable option for home ownership. Expanding upon the Milestone Ranch Subdivision active adult community will provide further amenities and activities not found in traditional developments.



**Development Agreement Modification**

As an extension of Toll Brothers’ Milestone Ranch Subdivision, which is currently under construction, this Project includes a development agreement modification application. A modification to the existing Milestone Ranch Subdivision development agreement (Inst. No. 2022-014198)<sup>1</sup> will annex the Project into the development agreement to provide development continuity between the Project and Milestone Ranch. The proposed development agreement modification will implement the following single-family setback standards applied throughout Milestone Ranch:

Max Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35’	15’ to living area/side load garage to 20’ to garage face	10’	5’	20’

---

<sup>1</sup> Attached as Exhibit A.





**EXHIBIT A**  
**A PORTION OF ORDINANCE NO. 350**  
**(MILESTONE RANCH SUBDIVISION ANNEXATION & REZONE)**  
**DEVELOPMENT AGREEMENT**  
**MILESTONE RANCH SUBDIVISION**

**DEVELOPMENT AGREEMENT**  
**MILESTONE RANCH SUBDIVISION**

This Development Agreement ("Agreement") is entered into by and between the City of Star, a municipal corporation in the State of Idaho, hereinafter referred to as "City", and BHEG Milestone Ranch LLC, a Delaware limited liability company, hereinafter referred to as "Owner".

WHEREAS, Owner owns parcels of land of approximately 70.52 acres in size, currently located within the City of Star and Ada County, zoned RUT and MU, and more particularly described in **Exhibit A**, which is attached hereto and incorporated by reference herein (the "Property");

WHEREAS, Owner requested that a portion of the Property be annexed into the City, that a portion of the Property be rezoned, and that the entire Property be developed in accordance with the applicable ordinances and regulations of the City and this Agreement;

WHEREAS, the City, pursuant to Section 67-6511A, Idaho Code, and Star City Code at Title 8, Chapter 1, has the authority to enter into a development agreement for the purpose of allowing, by agreement, a specific development to proceed in a specific area and for a specific purpose or use which is appropriate in the area, but for which all allowed uses for the requested zoning may not be appropriate;

WHEREAS, the City has authority to enter into development agreements to condition annexations and re-zones;

WHEREAS, Owner desires to be assured that it may proceed with allowing its Property to be rezoned and developed in accordance with this Agreement;

WHEREAS, the parties agree to the zoning designations for the Property as provided in Exhibit A;

WHEREAS, a Request for Annexation and Zoning, and Rezone of the Property to R-5-DA<sub>2</sub> and a preliminary plat was made as File No. AZ-21-10/RZ-21-06/PP-21-14, so that the City can review all the applications affecting the use and development of the Property in an integrated manner consistent with the City's Comprehensive Plan and land use ordinances, which applications were approved;

WHEREAS, the intent of this Agreement is to protect the rights of Owner use and enjoyment of the Property while at the same time mitigating any adverse impacts of the development upon neighboring properties and the existing community and ensuring the Property is developed in a manner consistent with City Ordinances;

THEREFORE, the City and Owner, for and in consideration of the mutual covenants, duties and obligations herein set forth, hereby agree as follows:

**Section 1. Legal Authority.** This Agreement is made pursuant to and in accordance with the provisions of Idaho Code Section 67-6511A and Star City Code, Title 8, Chapter 1.

**Section 2. Development/Uses/Standards.**

**2.1 Development Acreage and Uses Permitted.** As to the Property described on **Exhibit A**, Owner is allowed to develop the 70.52 acres as follows:

- Zoning Classification: The zoning classification of the Property shall be a R-5-DA.
- The Owner shall comply with all city ordinances relating to the Property except as otherwise provided herein.

**2.2 Site Design.** The Property shall be developed in substantial conformance with the approved preliminary plat, a copy of which is attached hereto and incorporated by reference herein as **Exhibit B**.

**2.3 Uses.** The Property is hereby approved for a maximum of 284 residential lots (240 single-family detached lots and 44 single-family attached townhome lots). The Property may also be used to provide residential amenities (e.g. clubhouses and parks). When sewer and water are available, but prior to a final plat being recorded on the Property, Owner or Developer may apply, through City's standard permit process, for building permits for future residential amenities (e.g. clubhouse) and model homes.

**2.4 Setbacks.** The development shall comply with the following approved setbacks and dimensional standards:

Single-family Detached Setbacks:

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35'	15' to living area/side load garage 20' to garage face	10'	5'	20'

Single-Family Attached Setbacks (Front-load):

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback	Min. Interior Side Setback	Min. Street Side Setback
35'	15' to living area 20' to garage face	10'	0' for common walls 5' at end of building	20'

Single-Family Attached Setbacks (Alley-load):

Max. Height	Min. Front Yard Setback	Min. Rear Yard Setback from Alley	Min. Interior Side Setback	Min. Street Side Setback
35'	10'	20'	0' for common walls 5' at end of building	20'

2.5 **Additional Requirements:**

- Provide a 7-foot sidewalk along W. Floating Feather Road.
- North stub street may be public in future.

2.6 **Proportionate Share Agreement for ITD Improvements.** Developer has agreed to participate in the costs of construction or improvements to the portions of the State Highway System within the City of Star and/or City of Star Area of City Impact. The Developer will pay the \$39,200.00 traffic mitigation fee determined by the Idaho Transportation Department as follows: the Developer will pay the City \$138.10 per buildable lot within each phase prior to signature on the final plat for the applicable phase. The City will allocate the funds to roadway improvements in the vicinity of the project. The Developer shall pay this amount (unless otherwise revised by ITD) directly to the City of Star. The City will maintain this contribution in a specific Development Contributions account, to be distributed to ITD when requested for use with a specific Idaho Transportation Improvement Plan (ITIP) project within the City of Star Area of City Impact or City Limits in accordance with the terms of the Intergovernmental Agreement between the Idaho Transportation Department and the City of Star dated April 22, 2020.

2.7 **Changes and Modifications.** No change in the use or restrictions specified in this Agreement shall be allowed or changed without modification of this Agreement pursuant to the requirements of the Star City Ordinances. In the event Owner changes or expands the use permitted by this Agreement or fails to comply with the restrictions without formal modification of this Agreement as allowed by the Star City Ordinances, Owners shall be in default of this Agreement.

2.8 **Conditions, Bonding for Completion.** All of the conditions set forth herein shall be complied with or shall be bonded for completion by Owner before an Occupancy permit will be granted. Failure to comply with the Star City Ordinances or the terms of this Agreement shall result in a default of this Agreement by Owner. Owner may be allowed to bond for certain conditions at one hundred and fifty percent (150%) of the estimated cost of completion pursuant to Star City Ordinances.

**Section 3. Affidavit of Property Owner.** At the City's request, Owner shall provide an affidavit agreeing to submit the Property to this Agreement and to the provisions set forth in Idaho Code section 67-6511A and Star Zoning Ordinance and such affidavit is incorporated herein by reference.

**Section 4. Default.** The failure of Owner, its heirs or assigns or subsequent owners of the Property or any other person acquiring an interest in the Property, to faithfully comply with any of the terms and conditions of this Agreement shall be deemed a default herein. This Agreement may be modified or terminated by the Star City Council as set forth in the Star City Ordinances. In the event this Agreement is modified, Owner shall comply with the amended terms. Failure to comply with the amended terms shall result in default. In the event the City Council, after compliance with the requirements of the Star City Ordinances, determines that this Agreement shall be terminated, the zoning of the Property or portion thereof that has not been developed in accordance with this Agreement shall revert its prior zoning designation. All uses of such property, which are not consistent with the prior zoning designation, shall cease. A waiver by the City of Star for any default by Owner of any one or more of the covenants or conditions hereof shall apply solely to the breach and breaches waived and shall not bar any other rights or remedies of the City or apply to any subsequent breach of any such or other covenants and conditions. Owner, by entering into this Agreement, do hereby consent to a reversion of the subject property to its prior zoning designation in the event there is a default in the terms and/or conditions of this Agreement.

**Section 5. Unenforceable Provisions.** If any term, provision, commitment or restriction of this Agreement or the application thereof to any party or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of the instrument shall remain in full force and effect.

**Section 6. Assignment and Transfer.** After its execution, this Agreement shall be recorded in the office of the County Recorder at the expense of Owner. Each commitment

and restriction on the development subject to this Agreement, shall be a burden on the Property, shall be appurtenant to and for the benefit of the Property and shall run with the land. This Agreement shall be binding on the City and Owner, and their respective heirs, administrators, executors, agents, legal representatives, successors and assigns: provided, however, that if all or any portion of the Property is divided, each owner of a legal lot shall only be responsible for duties and obligations associated with an owner's parcel and shall not be responsible for duties and obligations or defaults as to other parcels of lots within the Property. The new owners of the Property or any portion thereof (including, without limitation, any owner who acquires its interest by foreclosure, trustee's sale or otherwise) shall be liable for all commitments and other obligations arising under this Agreement with respect only to such owner's lot or parcel.

**Section 7. General Matters.**

**7.1 Amendments.** Any alteration or change to this Agreement shall be made only after complying with the notice and hearing provisions of Idaho Code Section 67-6509, as required by Star City Code.

**7.2 Paragraph Headings.** This Agreement shall be construed according to its fair meaning and as if prepared by both parties hereto. Titles and captions are for convenience only and shall not constitute a portion of this Agreement. As used in this Agreement, masculine, feminine or neuter gender and the singular or plural number shall each be deemed to include the others wherever and whenever the context so dictates.

**7.3 Choice of Law.** This Agreement shall be construed in accordance with the laws of the State of Idaho in effect at the time of the execution of this Agreement. Any action brought in connection with this Agreement shall be brought in a court of competent jurisdiction located in Ada County, Idaho.

**7.4 Notices.** Any notice which a party may desire to give to another party must be in writing and may be given by personal delivery, by mailing the same by registered or certified mail, return receipt requested postage prepaid, or by Federal Express or other reputable overnight delivery service, to the party to whom the notice is directed at the address of such party set forth below.

Star: City of Star  
Attn: City Clerk  
P.O. Box 130  
Star, ID 83669

Owner: BHEG Milestone Ranch LLC  
650 Newport Center Dr.  
Newport Beach, California 92660

Developer: Toll Southwest, LLC  
3103 W. Sheryl Drive Suite 101  
Meridian, Idaho 83642

7.5 **Effective Date.** This Agreement shall be effective after delivery to each of the parties hereto of a fully executed copy of this Agreement.

7.6 **Attorney Fees.** Should any litigation be commenced between the parties hereto concerning this Agreement, the prevailing party shall be entitled, in addition to any other relief as may be granted, to court costs and reasonable attorney fees as determined by a court of competent jurisdiction. This provision shall be deemed to be a separate contract between the parties and shall survive any default, termination or forfeiture of this Agreement.


IN WITNESS WHEREOF, the parties have hereunto caused this Agreement to be executed on the day and year set forth below.

Dated this 8<sup>th</sup> day February, 2022.



Trevor A. Chadwick, Mayor



ATTEST:   
Jacob M. Qualls, City Clerk

OWNER:

<sup>LLC</sup>  
BHEG Milestone Ranch, a Delaware limited liability company

A. Janelle Iturbe  
By: A. Janelle Iturbe  
Its: Authorized Representative

<sup>Pennsylvania</sup>  
STATE OF ~~IDAHO~~ )  
<sup>Montgomery</sup> ) ss.  
County of ~~Ada~~

On this 3<sup>rd</sup> day of February, 2022, before me the undersigned, a Notary Public in and for said state, personally appeared ~~A. Janelle Iturbe~~ <sup>Authorized</sup> ~~Representative~~ of **BHEG Milestone Ranch LLC**, who subscribed her name to the foregoing instrument, and acknowledged to me that she executed the same in said limited liability company's name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Heather L. McGill  
Notary Public for ~~Idaho~~ <sup>Pennsylvania</sup>  
Residing at \_\_\_\_\_  
My Commission expires \_\_\_\_\_

Commonwealth of Pennsylvania - Notary Seal  
HEATHER L. MCGILL - Notary Public  
Montgomery County  
My Commission Expires Apr 15, 2024  
Commission Number 1241168





## PRELIMINARY PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: PP-23-05  
 Date Application Received: 12/08/2023 Fee Paid: \$5720.00  
 Processed by: City: Barbara Norgrove

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Toll Brothers - Adam Capell  
 Applicant Address: 3103 W Sheryl Drive, Suite 100, Meridian, Idaho Zip: 83642  
 Phone: 208.424.0020 Email: acapell@tollbrothers.com

Owner Name: Toll West Inc.  
 Owner Address: 1140 Virginia Dr, Fort Washington, Pennsylvania Zip: 19034  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
 Contact: Kyle Prewett Firm Name: Toll Brothers  
 Address: 3103 W Sheryl Drive, Suite 100, Meridian, Idaho Zip: 83642  
 Phone: 208.576.3625 Email: kprewett@tollbrothers.com

### Property Information:

Subdivision Name: Milepost Commons Subdivision  
 Site Location: 2400 N Pollard Ln, Star, Idaho 83669  
 Approved Zoning Designation of Site: R-4  
 Parcel Number(s): S0404244210

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-4	Neighborhood Residential	Vacant
Proposed	R-4	Neighborhood Residential	Single-Family Residential
North of site	R-2	Estate Rural Residential	Single-Family Residential
South of site	R-3	Estate Rural Residential	Single-Family Residential
East of site	R-5	Neighborhood Residential	Single-Family Residential
West of site	R-4	Future Public Use	Vacant

**SITE DATA (to be noted on the Preliminary Plat):**

Total Acreage of Site - 19.93  
 Breakdown of Acreage of Land in Contiguous Ownership - 19.93  
 Total Acreage of Site in Special Flood Hazard Area - 0.68  
 Dwelling Units per Gross Acre (Density) - 3.6  
 Minimum Lot Size - 5,135 Sq. Ft.  
 Minimum Lot Width - 45' Ft.

Total Number of Lots - 83  
 Residential - 72  
 Commercial - \_\_\_\_\_  
 Industrial - \_\_\_\_\_  
 Common - 11

Total Number of Residential Units - 72  
 Single-family - 72  
 Duplex - \_\_\_\_\_  
 Multi-family - \_\_\_\_\_

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -  
31.3 % / 6.23 acres  
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -  
20.3 % / 4.04 acres  
 Percent of Common Space to be used for drainage - 2.6%  
 Describe Common Space Areas (amenities, landscaping, structures, etc.) –  
Walking paths, green/open space, bocce ball courts; please see landscape plan for further detail.

Public Streets - 50' Private Streets - N/A  
 Describe Pedestrian Walkways (location, width, material) - 5' pathway, location shown on preliminary plat.  
 Describe Bike Paths (location, width, material) - N/A

**FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Total Acreage of Site in Special Flood Hazard Area - 0.68

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0130J  
 FIRM effective date(s): mm/dd/year June 19, 2020  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone A  
 Base Flood Elevation(s): AE     .0 ft., etc.: N/A

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

**PUBLIC SERVICES** (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District  
 Irrigation Water- Farmer's Union Ditch Company  
 Sanitary Sewer- Star Sewer & Water District  
 Fire Protection - Star Fire District  
 Schools - West Ada School District  
 Roads - Ada County Highway District

**SPECIAL ON-SITE FEATURES** (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - No Floodplain - Yes  
 Evidence of Erosion - No Fish Habitat - No  
 Historical Assets - No Mature Trees - No  
 Riparian Vegetation - No Steep Slopes - No  
 Stream/Creek - No Unstable Soils - No  
 Unique Animal Life - No Unique Plant Life - No

**Application Requirements:**


(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	BN
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative explaining the project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	BN
✓	Recorded warranty deed for the subject property	BN
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
✓	Electronic copy in pdf. format of Preliminary Plat	BN

✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	BN
✓	Electronic copy in pdf. format of landscape plan	BN
✓ On Plat	Electronic copy in pdf. format of preliminary site grading & drainage plans	BN
✓ On Plat	Phasing plan shall be included in the application if the project is to be phased.	BN
✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	BN
✓ On Plat	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
N/A	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
✓	Special Flood Information – Must be included on Preliminary Plat and Application form.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight <b>design</b> and <b>location</b> information. Streetlights shall meet all City "Dark Sky" requirements.	BN
✓	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	BN
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.	BN
To be Provided	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

**FEE REQUIREMENT:**

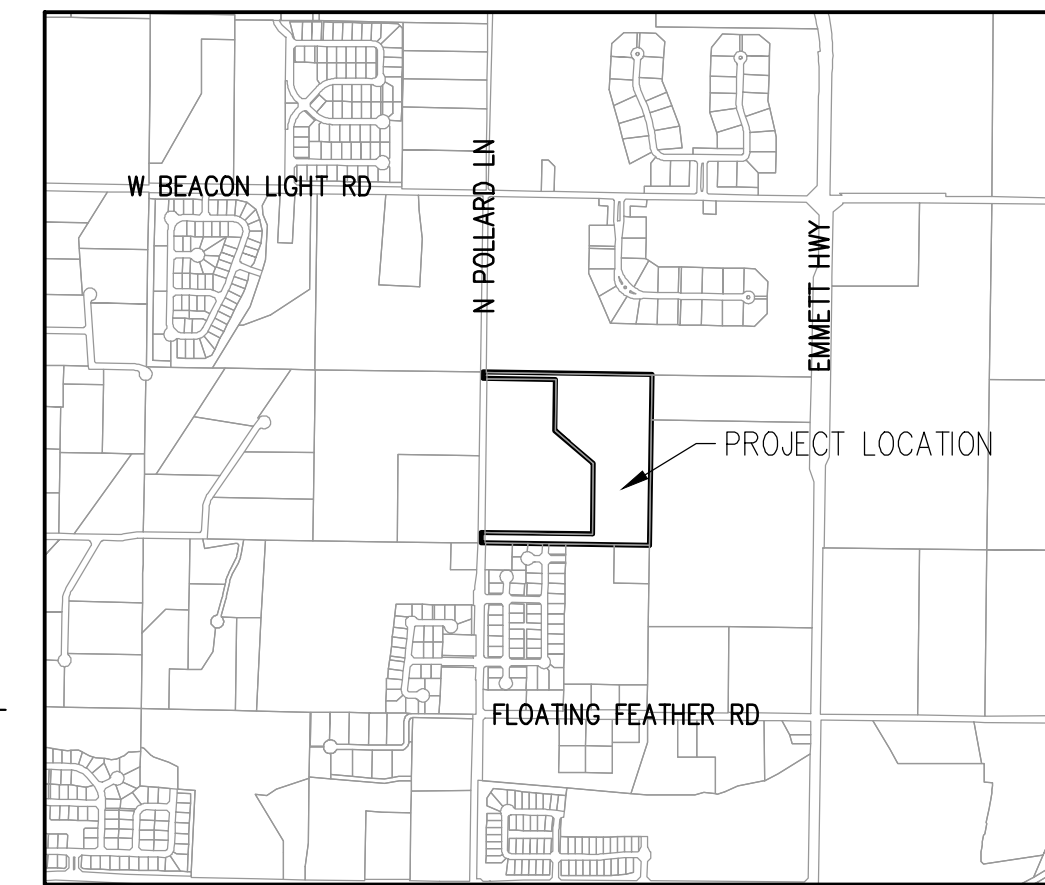
**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

  
 Applicant/Representative Signature

12/7/23  
 Date

# PRELIMINARY PLAT FOR MILEPOST COMMONS SUBDIVISION

PROPERTY LOCATED IN THE NW ¼ of SECTION 4, TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN,  
ADA COUNTY, IDAHO



VICINITY MAP  
N.T.S.

### PRELIMINARY PLAT NOTES

- SANITARY SEWER AND DOMESTIC WATER SERVICE TO BE PROVIDED BY STAR SEWER AND WATER DISTRICT.
- ALL STREETS PROPOSED WITHIN THIS DEVELOPMENT ARE PUBLIC STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA COUNTY HIGHWAY DISTRICT STANDARDS (ACHD).
- THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY, OR EXPANSION THEREOF."
- IRRIGATION WATER SERVICE IS PROVIDED TO THIS PROPERTY BY EXISTING SURFACE IRRIGATION WATER RIGHTS.
- BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR STANDARDS, AND THE PROJECT DEVELOPMENT AGREEMENT AS SHOWN ON THIS PLAN.
- STORMWATER RUNOFF GENERATED ON THIS SITE SHALL BE COLLECTED AND CONVEYED TO STORMWATER FACILITIES IN ACCORDANCE WITH ACHD AND CITY OF STAR REQUIREMENTS.

### LEGEND

—	PROPERTY BOUNDARY LINE	⊙ ⊚ ⊛	EXISTING SURVEY MONUMENTS
- - -	EXISTING LOT LINE	⊕	EXISTING BENCHMARK
- · - · -	EXISTING EASEMENT LINE	—	SECTION LINE
- x - x -	EXISTING BARB WIRE FENCE LINE	- - -	EXISTING GAS LINE
- P -	EXISTING PRESSURE IRRIGATION	- - -	EXISTING IRRIGATION LINE
- C -	EXISTING POWER LINE	- - -	EXISTING SUBSURFACE PIPE
- SS -	EXISTING SANITARY SEWER LINE	- - -	EXISTING WATER WELL
- T -	EXISTING CABLE TV PER UTILITY MAP	- - -	EXISTING POWER POLE
- W -	EXISTING WATER LINE	- - -	EXISTING GUY WIRE ANCHOR
- EP -	EXISTING EDGE OF PAVEMENT	⊙	EXISTING POWER METER
- EG -	EXISTING EDGE OF GRAVEL	⊙	EXISTING TRAFFIC SIGN
- SD -	EXISTING STORM PIPE	⊙	EXISTING MAIL BOX
- - -	PROPOSED LOT LINE	⊙	EXISTING IRRIGATION MANHOLE
- - -	PROPOSED RIGHT-OF-WAY	⊙	EXISTING TELEPHONE JUNCTION BOX
- - -	PROPOSED ROAD CENTERLINE	⊙	EXISTING SANITARY SEWER MANHOLE
- - -	PROPOSED 3" ROLLED CURB	⊙	EXISTING GAS MARKER
- - -	PROPOSED 6" VERTICAL CURB & GUTTER	⊙	EXISTING CONTOURS
- - -	PROPOSED SIDEWALK/PATHWAY	⊙	PROPOSED CONTOURS
- - -	PROPOSED 8" SANITARY SEWER	⊙	
- - -	PROPOSED POTABLE WATER	⊙	
- - -	PROPOSED GRAVITY IRRIGATION	⊙	
- - -	PROPOSED PRESSURE IRRIGATION	⊙	
- - -	PROPOSED STORM PIPE	⊙	
- - -	PROPOSED PHASE BOUNDARY	⊙	
- - -	PROPOSED SEEPAGE BED	⊙	
- - -	PROPOSED SAND AND GREASE TRAP	⊙	
- - -	PROPOSED STORM MANHOLE	⊙	
- - -	PROPOSED STORM CATCH BASIN	⊙	
- - -	PROPOSED GRAVITY IRRIGATION BOX	⊙	
- - -	PROPOSED GRAVITY IRRIGATION MANHOLE	⊙	
- - -	PROPOSED FIRE HYDRANT	⊙	
- - -	PROPOSED SANITARY MANHOLE	⊙	
- - -	STREET NAME	⊙	
- - -	PROPOSED STREET LIGHT	⊙	
- - -	TEST PIT/MONITORING WELL	⊙	
- - -	MAILBOX	⊙	
- - -	SIGN	⊙	
- - -	BLOCK NUMBER	⊙	
- - -	SINGLE-FAMILY LOT NUMBER	⊙	
- - -	COMMON LOT NUMBER	⊙	
- - -	FLOW DIRECTION	⊙	

### SHEET INDEX

1 OF 5	PP-1.1	COVER SHEET
2 OF 5	PP-2.1	NATURAL FEATURES MAP
3 OF 5	PP-3.1	PRELIMINARY PLAT
4 OF 5	PP-4.1	PRELIMINARY ENGINEERING PLAN AND EXISTING CONDITIONS
5 OF 5	PP-5.1	PRELIMINARY GRADING AND DRAINAGE PLAN

### LAND USE SUMMARY

TOTAL AREA	19.93 AC
RESIDENTIAL LOTS	72
COMMON LOTS	11
RESIDENTIAL LOT AREA	9.88 AC
COMMON LOT AREA	5.47 AC
RIGHT OF WAY AREA	4.58 AC
GROSS DENSITY	3.6 UNITS/AC
NET DENSITY	4.7 UNITS/AC
MINIMUM RESIDENTIAL LOT SIZE	5,135 SF
AVERAGE RESIDENTIAL LOT SIZE	6,014 SF

### OPEN SPACE SUMMARY

QUALIFIED USABLE OPEN SPACE AREA	4.04 AC
PERCENT QUALIFIED USABLE OPEN SPACE	20.3%
COMMON OPEN SPACE AREA	6.23 AC
PERCENT COMMON OPEN SPACE	31.3%

### BUILDING SETBACK REQUIREMENTS

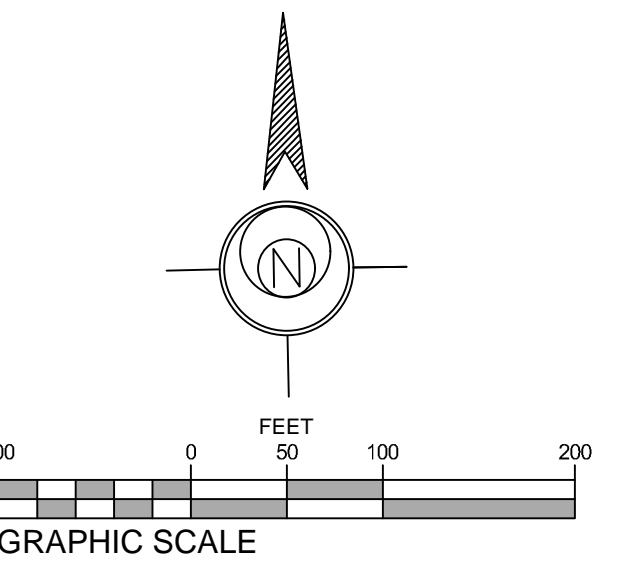
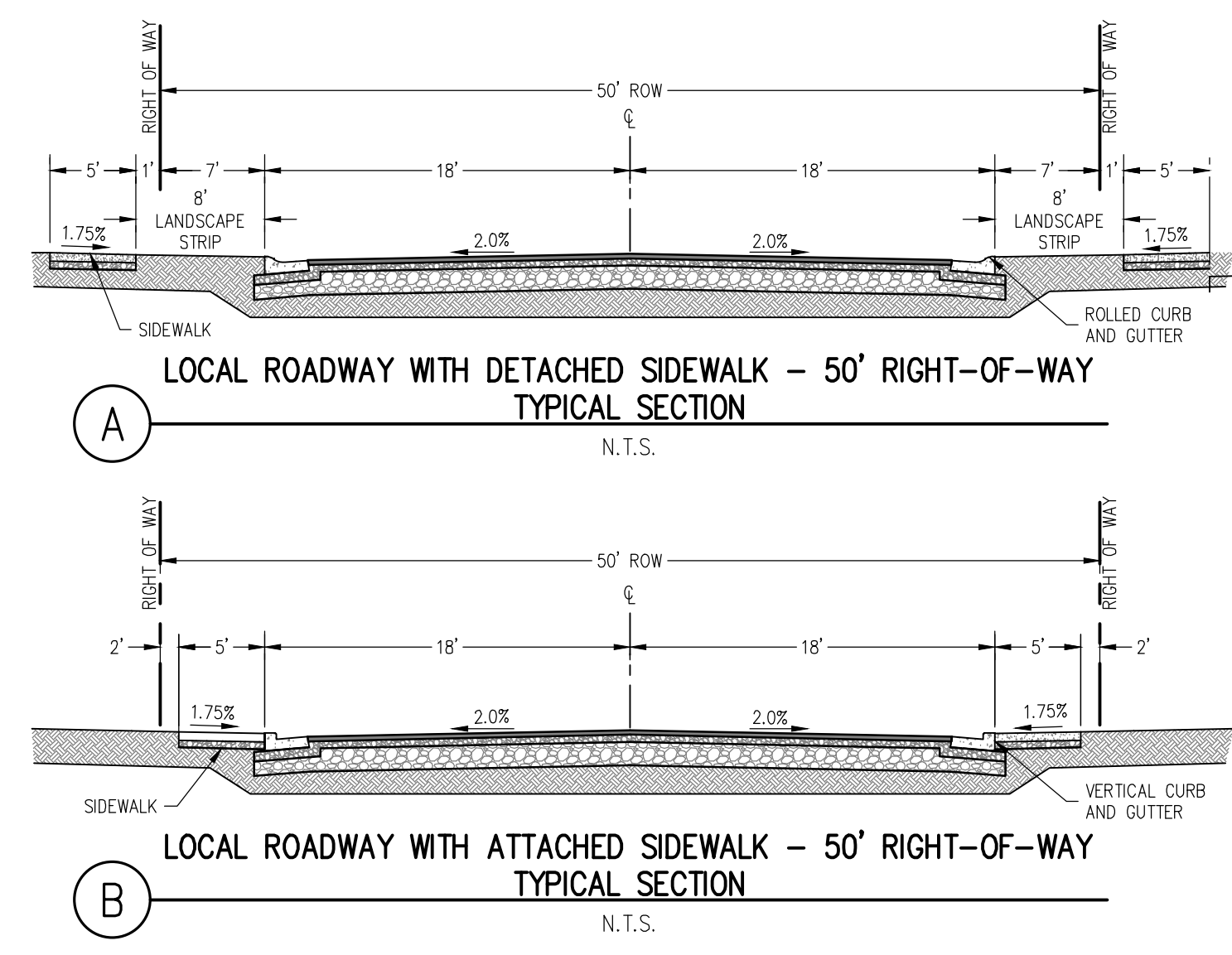
SETBACK STANDARDS R-4 ZONE	
FRONT (TO LIVING AREA)	15'
FRONT (TO GARAGE)	20'
REAR	10'
INTERIOR SIDE	5'
STREET SIDE	20'

**DEVELOPER**  
TOLL SOUTHWEST LLC  
ADAM CAPELL  
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acapell@tollbrothers.com  
PHONE: (208) 424-0020

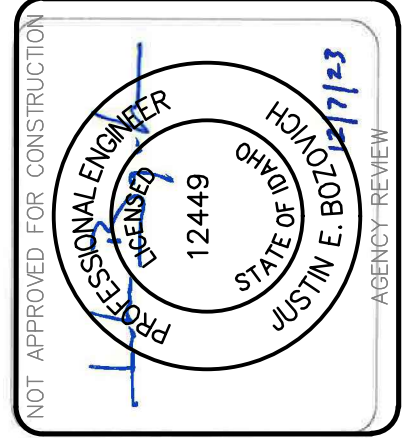
**ENGINEER**  
ESE CONSULTANTS, INC.  
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**PLANNER**  
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PHASING PLAN  
SCALE: 1"=100'



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ESE Consultants, Inc.  
3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642  
T: 208-424-0020

DATE	02/21/2023	SCALE	AS NOTED
DESIGN	JEB	DRAWN	PDL/MGF/DP
JOB NO.	7832	FILE NAME	7832-S-COVER-PP
REF. NO.			
SHEET NO.	1	OF	5

COVER SHEET  
MILEPOST COMMONS  
SUBDIVISION  
SEC. 4, T. 4N., R. 1W., B.M., STAR, ADA COUNTY, IDAHO

DATE: 02/21/2023  
SCALE: AS NOTED  
DESIGN: JEB  
DRAWN: PDL/MGF/DP  
JOB NO.: 7832  
FILE NAME: 7832-S-COVER-PP  
REF. NO.:  
SHEET NO.: 1 OF 5

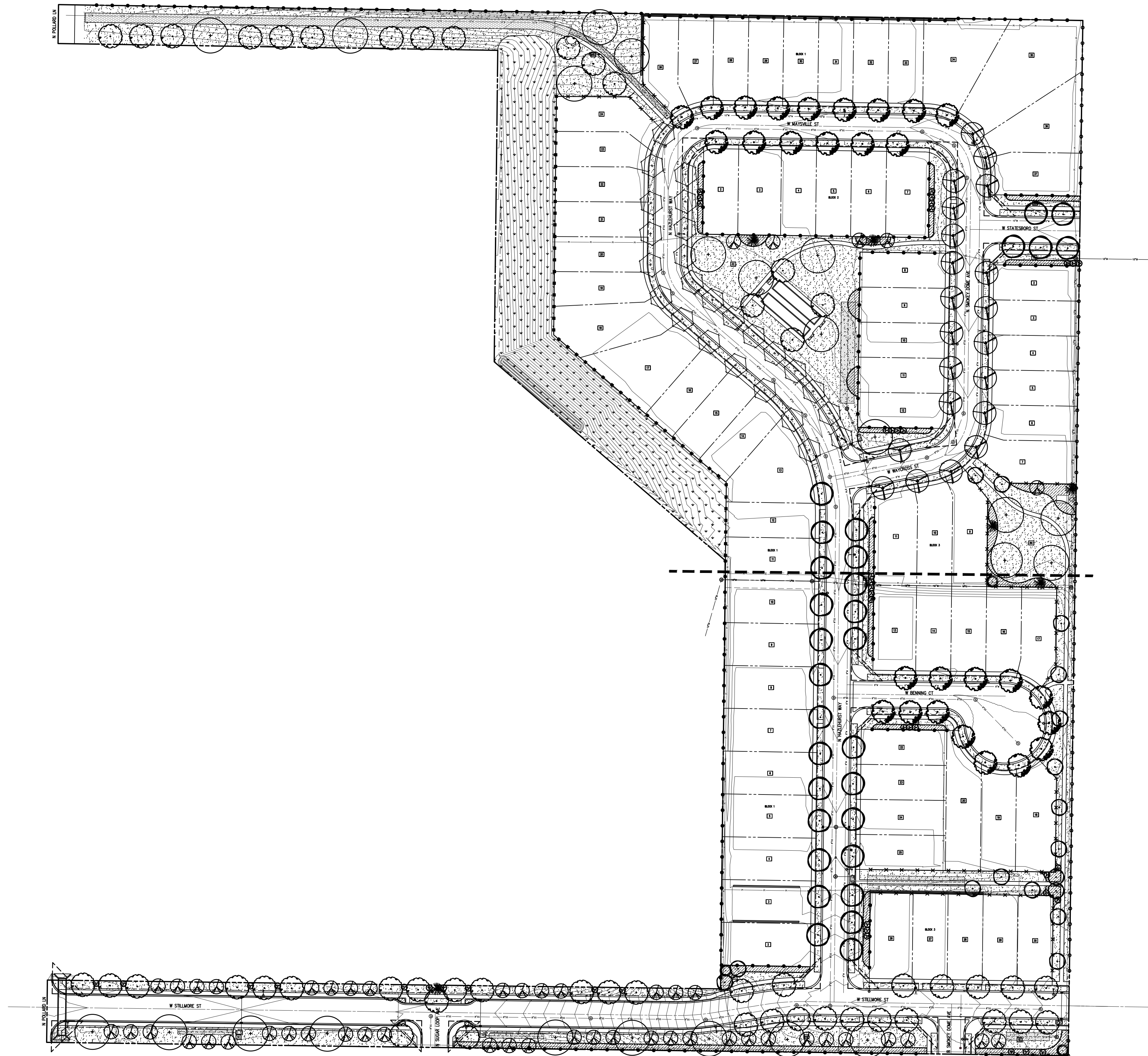












# MILEPOST COMMONS

STAR, IDAHO

PRELIMINARY PLAT LANDSCAPE PLAN

**PLANNER**

TOLL SOUTHWEST LLC  
ADAM CAPELL  
3103 W. SHERYL DR., STE 100  
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Phone (208) 780-6726

**DEVELOPER**

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**ENGINEER**

ESE CONSULTANTS, INC.  
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MERIDIAN, ID 83642  
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NOVEMBER 20, 2023



SCALE 1" = 80'



Site Planning / Landscape Architecture  
1509 Tyrell Lane, Ste 130 Boise, ID 83706  
Ph. (208) 348-7176 www.jensenbelts.com



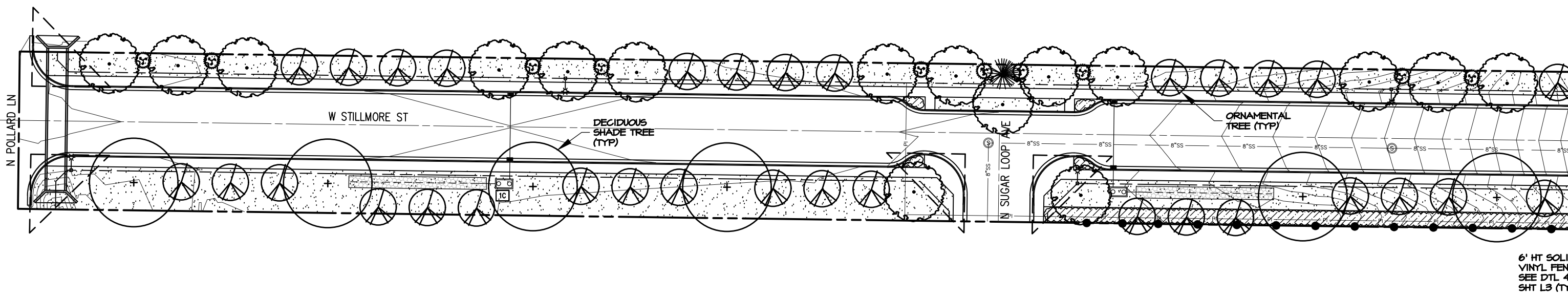
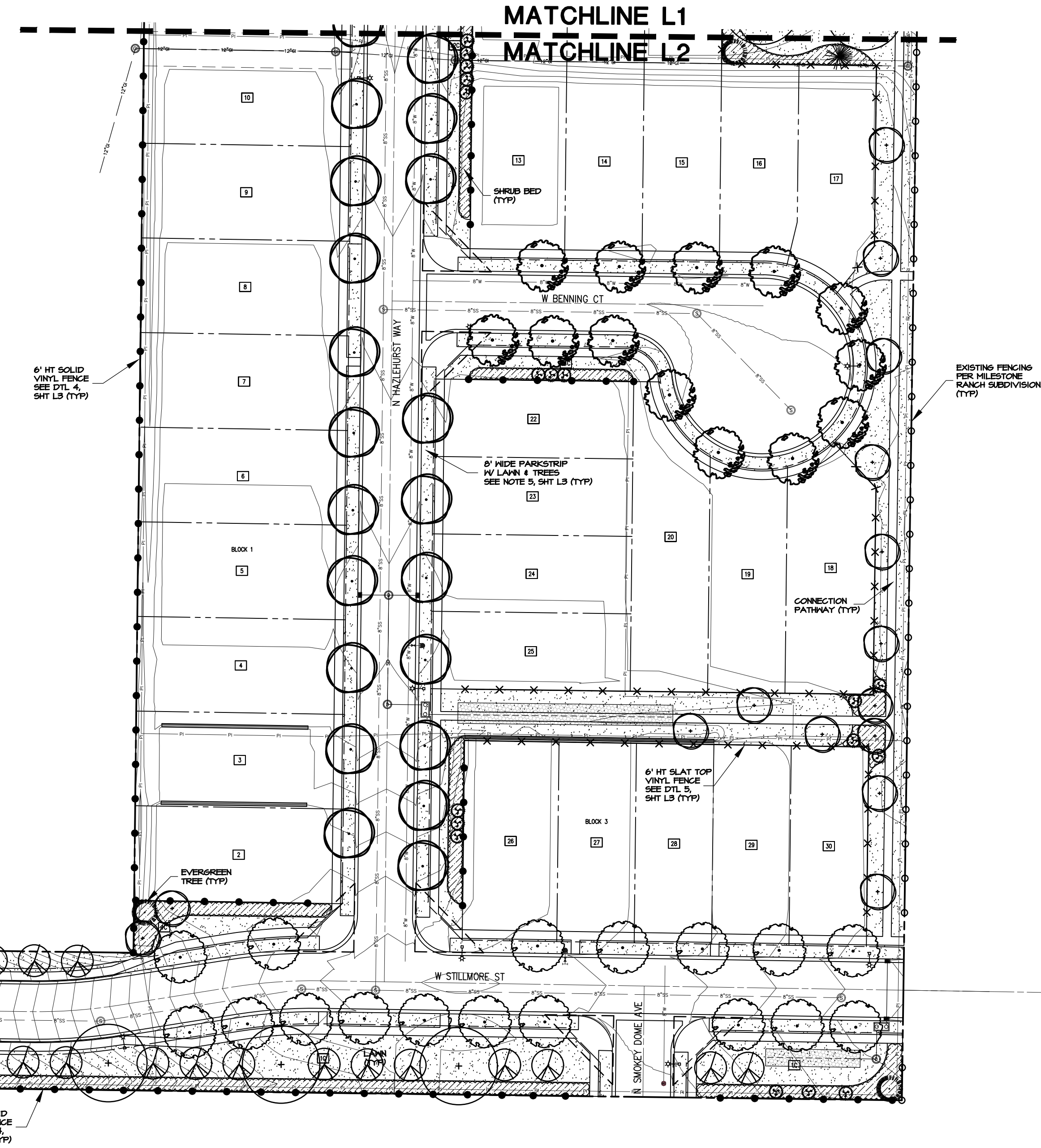
# PLANT PALETTE

(REFERENCE SHEET L3)

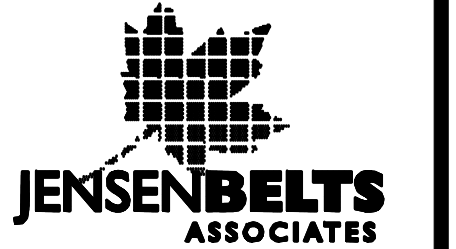
SYM	COMMON NAME	SYM	DESCRIPTION
<b>EVERGREEN TREES</b>			
	BLACK HILLS SPRUCE		LAWN
	FAT ALBERT BLUE SPRUCE		6' SOLID VINYL FENCE ALONG PERIMETER PROPERTY LINES, AND END LOTS (TYP) SEE DTL 4, SHT L3.
	MOON GLOW JUNIPER		6' OPEN VISION VINYL SLAT TOP FENCE ALONG CONNECTION PATHWAYS (TYP) SEE DTL 5, SHT L3.
	NORWAY SPRUCE		5' IRON FENCE ALONG WEST SLOPE (TYP) SEE DTL 6, SHT L3.
	VANDERWOLFS PINE		
<b>SHADE TREES (CLASS III)</b>			
	BLOODGOOD LONDON PLANETREE		
	SWAMP OAK		
<b>SHADE/STREET TREES (CLASS II)</b>			
	CRIMSON SPIRE OAK		
	CHANTICLEER PEAR		
	SKYLINE HONEYLOCUST		
	LITTLELEAF LINDEN		
	TULIP TREE		
<b>ORNAMENTAL TREES (CLASS I)</b>			
	FLAME AMUR MAPLE		
	CANADA RED CHOKECHERRY		
	CRUZAN CRUSADER HAWTHORN		
	HOTWINGS MAPLE		
	ROYAL RAINDROPS CRABAPPLE		
	SPRING SNOW CRABAPPLE		
<b>SHRUBS/ORNAMENTAL GRASSES/PERENNIALS</b>			
	ARIZONA SUN GAILLARDIA		
	BLACK EYED SUSAN		
	BLUE GRAMMA GRASS		
	BLUE MIST SPIREA		
	BLUE OAT GRASS		
	BLUE RUG JUNIPER		
	PURPLE CONEFLOWER		
	RED FLOWER CARPET ROSE		
	DARTS GOLD NINEBARK		
	STELLA DE ORO DAYLILLY		
	FINE LINE BUCKTHORN		
	GRO-LOW SUMAC		
	RED HOT POKER		
	HUSKER RED PENSTEMON		
	IVORY HALO DOGWOOD		
	KARL FOERSTER REED GRASS		
	LITTLE DEVIL NINEBARK		
	HIDCOTE BLUE ENGLISH LAVENDER		
	IVORY TOWER YUCCA		
	MAIDEN GRASS		
	BRAQUELIGHTS RED YUCCA		
	SUMMERWINE NINEBARK		
	TIGER EYE SUMAC		

## NOTES

- REFER TO SHEET L3 FOR PLANT PALETTE, DEVELOPMENT DATA, LANDSCAPE CALCULATIONS, LANDSCAPE DETAILS, AND FENCING DETAILS.



Issue	Description	Date
ISSUE	ISSUE	1-10-23
	STREET NAMES	2-15-23
	BASE REV.	11-20-23



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www.jensenbelts.com

# MILEPOST COMMONS STAR, IDAHO PRELIMINARY PLAT LANDSCAPE PLAN

Job Number 2210

Drawn	Checked
KCS	KCS
Scale	AS SHOWN

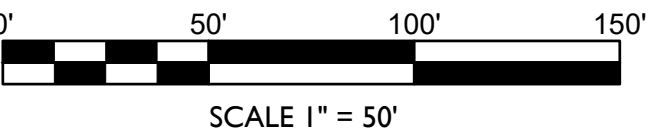
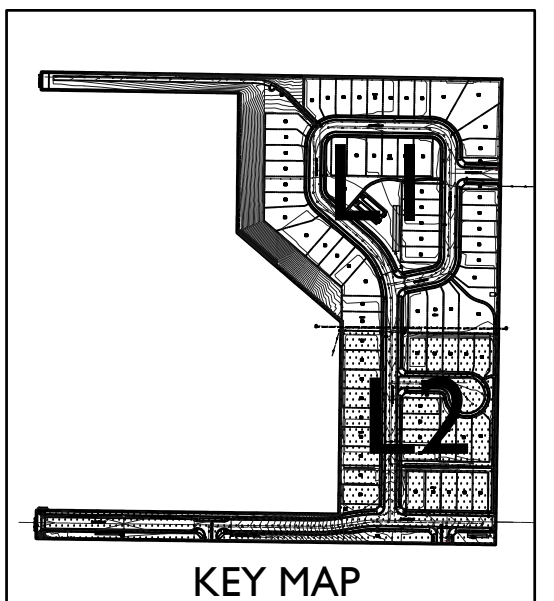
Sheet Title  
**PRE-PLAT  
LANDSCAPE  
PLAN**

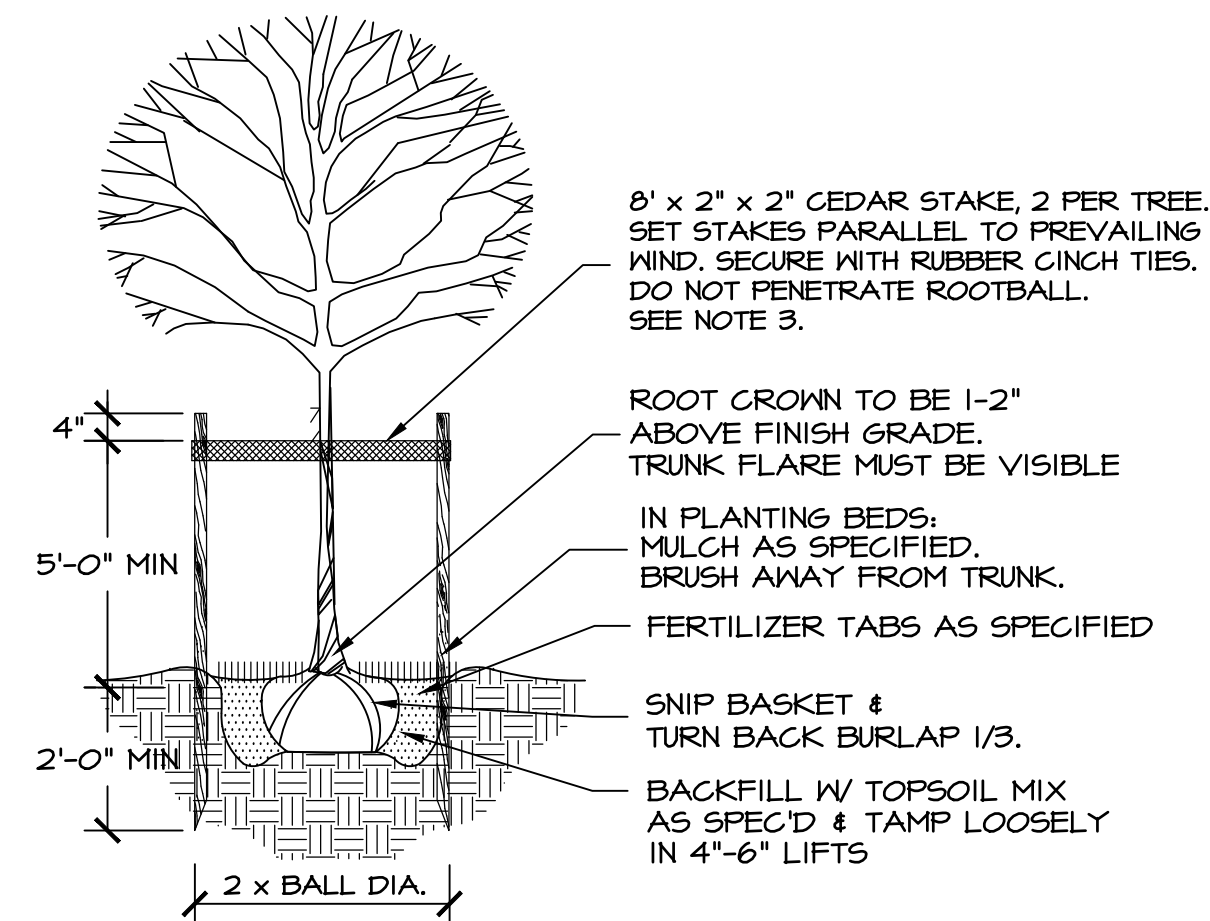
Sheet Number  
**L2**  
2 of 3 Sheets

**PLANNER**  
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**DEVELOPER**  
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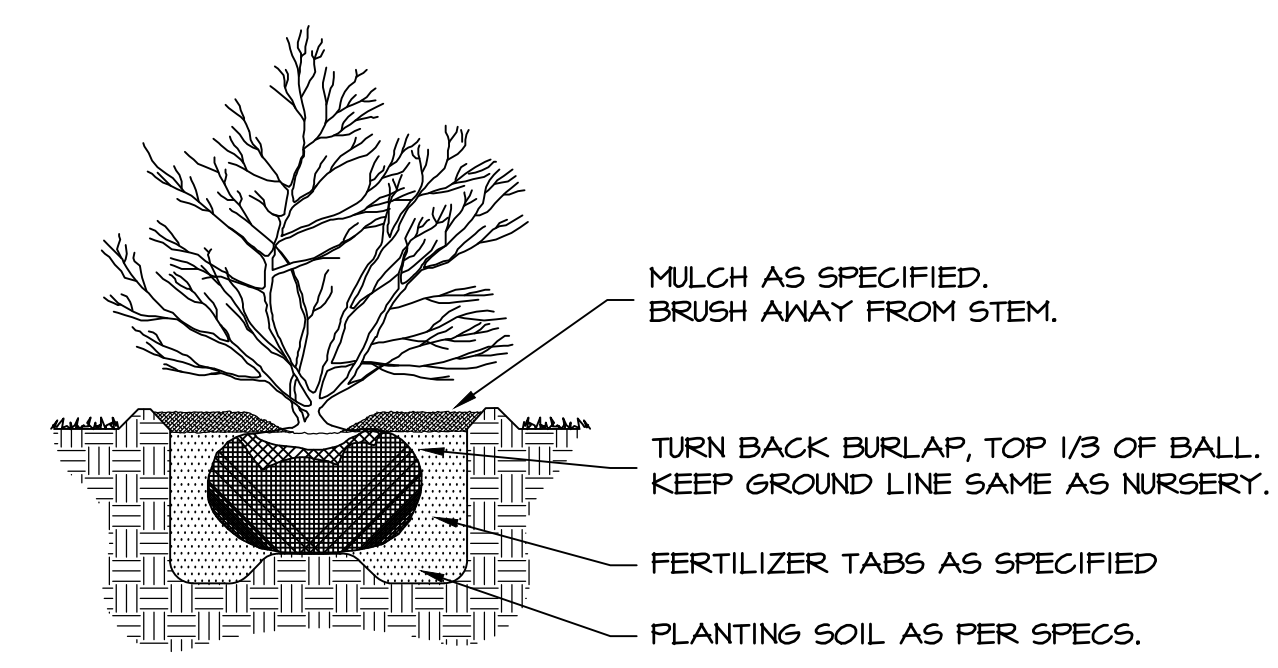
**ENGINEER**  
ESE CONSULTANTS, INC.  
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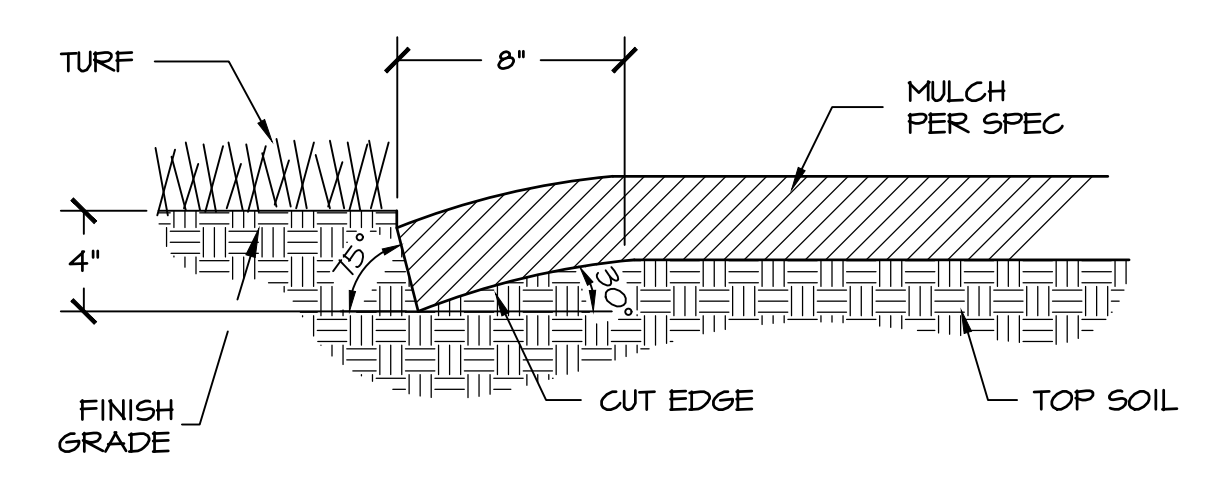
- NOTES:**
1. REMOVE ALL TWINE, ROPE, OR BINDINGS FROM ALL TRUNKS.
  2. REMOVE BURLAP AND WIRE BASKETS FROM THE TOP 1/3 OF ALL ROOT BALLS AFTER PLANTING. IF SYNTHETIC WRAP/BURLAP IS USED, IT MUST BE COMPLETELY REMOVED.
  3. STAKING OF TREES TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND REMAIN STRAIGHT FOR A MIN OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE 1 YEAR WARRANTY PERIOD.
  4. TREES PLANTED IN TURF AREAS: REMOVE TURF 3' DIA. FROM TREE TRUNK.

① TREE PLANTING/STAKING NOT TO SCALE



NOTE: DIG HOLE TWICE THE SIZE OF ROOTBALL.

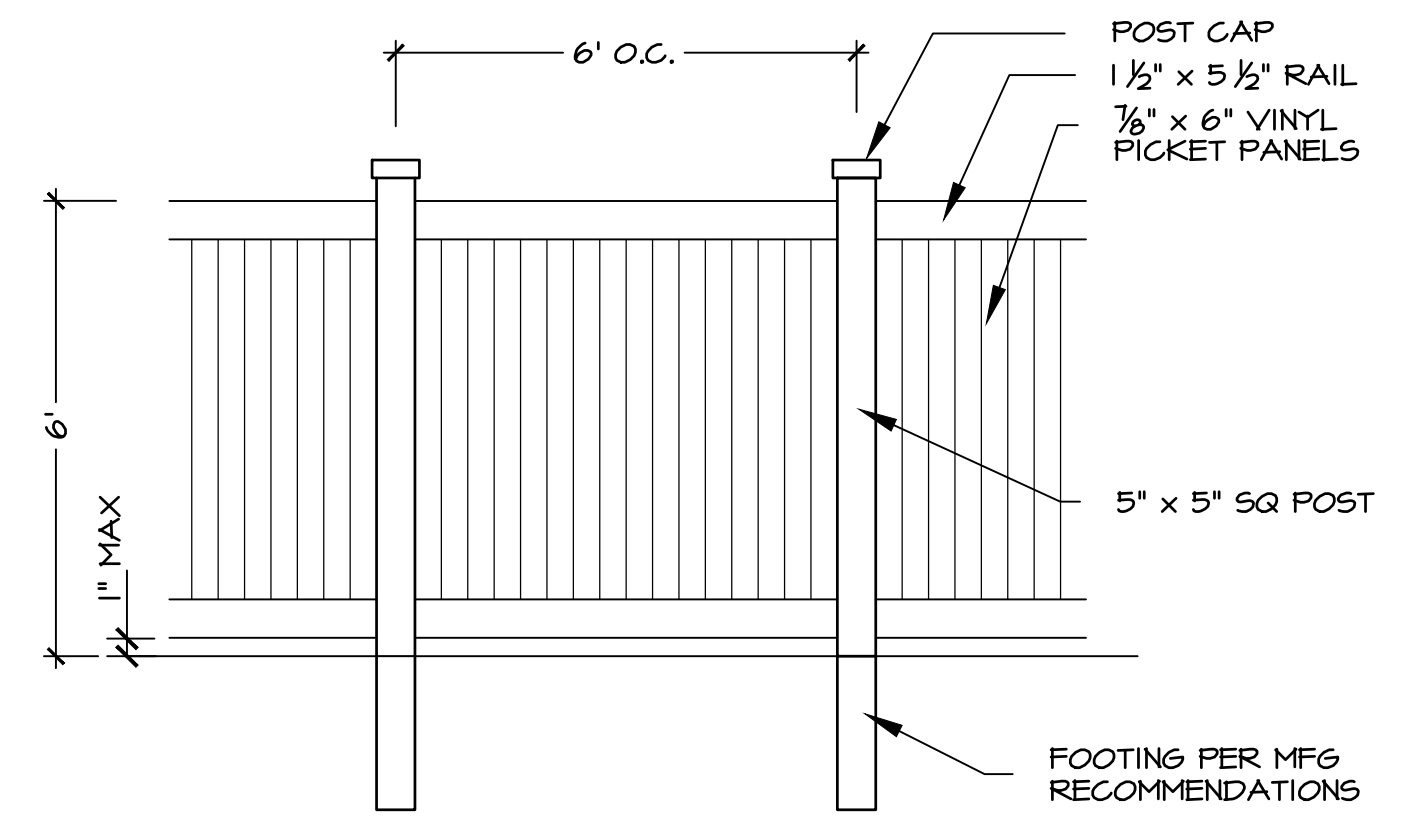
② SHRUB PLANTING NOT TO SCALE



③ PLANTER CUT BED EDGE NOT TO SCALE

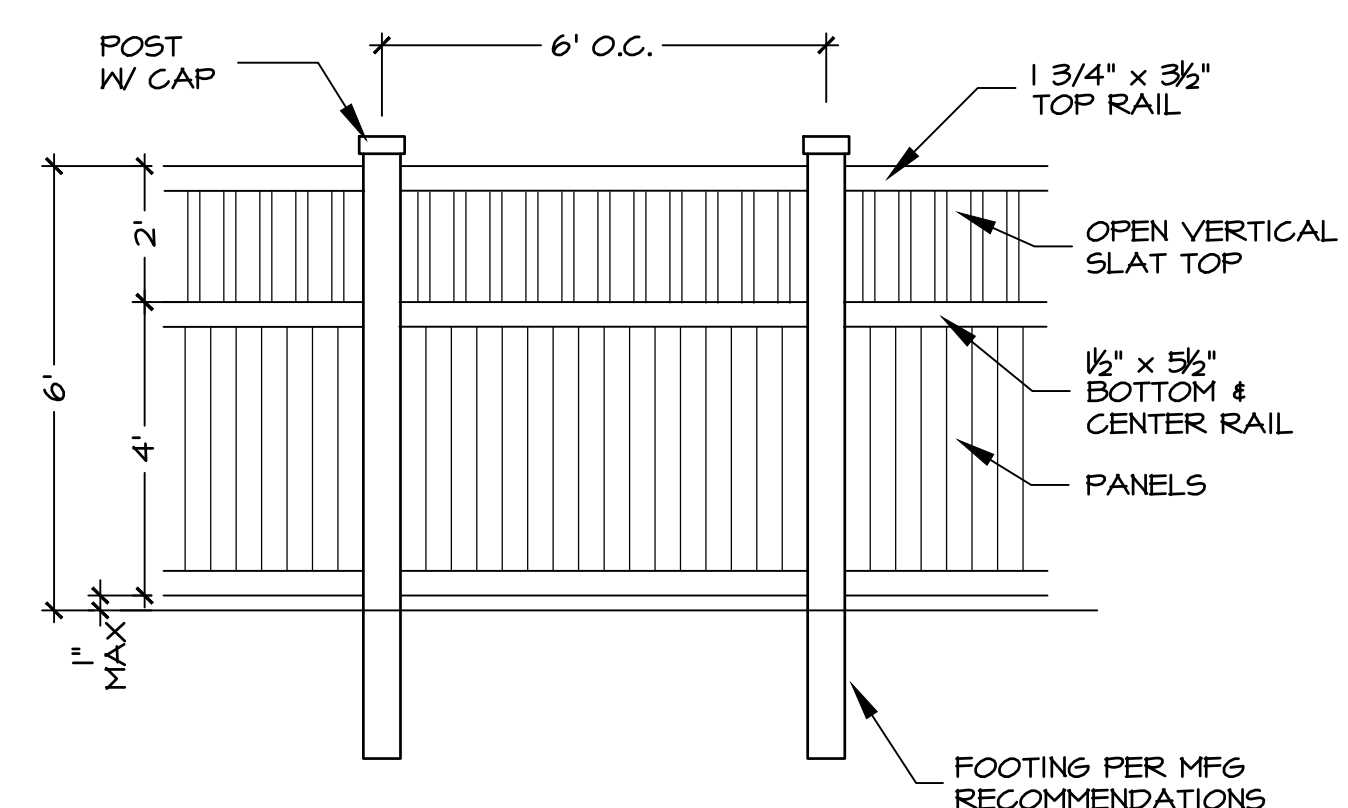
**DEVELOPMENT DATA**

TOTAL AREA	19.93 ACRES
RESIDENTIAL LOTS	72
COMMON LOTS	11
TOTAL LOTS	83
QUALIFIED USABLE OPEN SPACE AREA	4.04 ACRES (20.3%)



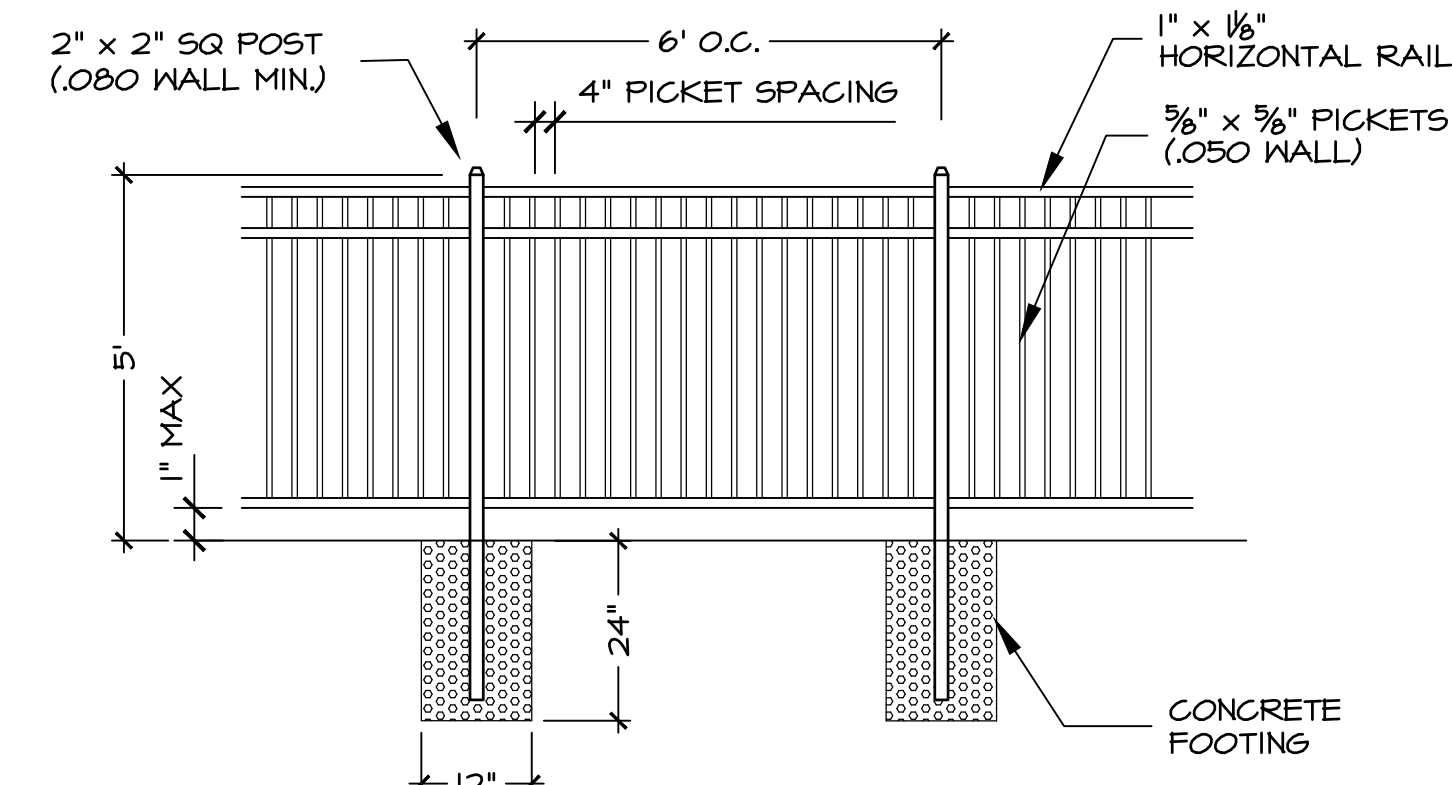
- NOTES:**
1. FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.
  2. VINYL FENCE STYLE MAY VARY SLIGHTLY.

④ VINYL PRIVACY FENCE NOT TO SCALE



- NOTES:**
1. VINYL FENCE STYLE MAY VARY SLIGHTLY.
  2. FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.
  3. 6" WIDE ROCK MULCH MOW STRIP TO BE INSTALLED AT BASE OF FENCE ON COMMON LOT/LANDSCAPE BUFFER SIDE.

⑤ OPEN VISION VINYL SLAT TOP FENCE NOT TO SCALE



- NOTES:**
1. IRON FENCE STYLE MAY VARY SLIGHTLY. ALL GALVANIZED & POWDERCOATED BLACK.

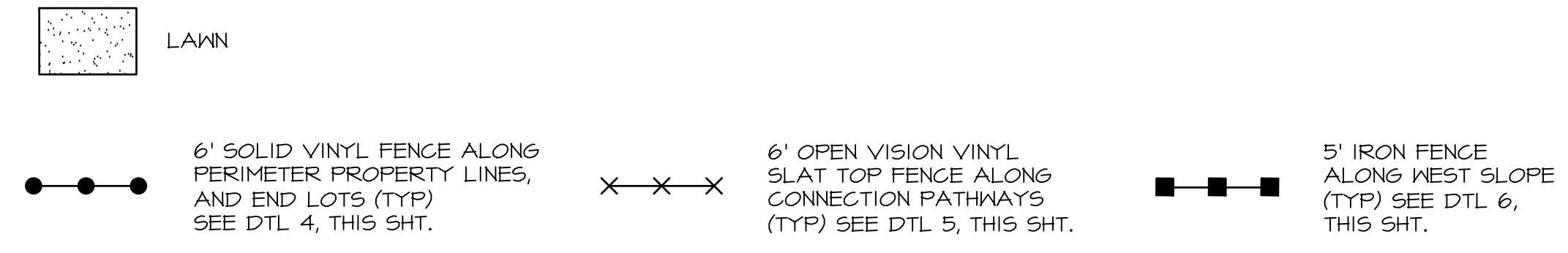
⑥ IRON FENCE NOT TO SCALE

**LANDSCAPE CALCULATIONS**

NUMBER OF TREES PROVIDED ON RESIDENTIAL PARKSTRIPS:	73
NUMBER OF TREES PROVIDED ON COMMON LOTS:	222
TOTAL NUMBER OF TREES:	295

**PLANT PALETTE**

SYM	COMMON NAME	BOTANICAL NAME	SIZE
<b>EVERGREEN TREES</b>			
●	BLACK HILLS SPRUCE	PICEA GLAUGA 'DENSATA'	6-8' HT B4B
●	FAT ALBERT BLUE SPRUCE	PICEA PUNGENS 'FAT ALBERT'	6-8' HT B4B
●	MOONGLOW JUNIPER	JUNIPERUS SCOPELULORUM 'MOONGLOW'	6-8' HT B4B
●	NORWAY SPRUCE	PICEA ABIES	6-8' HT B4B
●	VANDERWOLFS PINE	PINUS FLEXILIS 'VANDERWOLFS'	6-8' HT B4B
<b>SHADE TREES (CLASS III)</b>			
●	BLOODGOOD LONDON PLANETREE	PLATANUS x AGERIFOLIA 'BLOODGOOD'	2" CAL B4B
●	SWAMP OAK	QUERCUS BICOLOR	2" CAL B4B
<b>SHADE/STREET TREES (CLASS II)</b>			
●	CRIMSON SPIRE OAK	QUERCUS ROBUR x Q. ALBA 'CRIMSGHMDIT'	2" CAL B4B
●	CHANTICLEER PEAR	PYRUS CALLERYANA 'GLEN'S FORM'	2" CAL B4B
●	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2" CAL B4B
●	LITTLELEAF LINDEN	TILIA CORDATA	2" CAL B4B
●	TULIP TREE	LIRIODENDRON TULIPIFERA	2" CAL B4B
<b>ORNAMENTAL TREES (CLASS I)</b>			
●	FLAME AMUR MAPLE	ACER GINNALA 'FLAME'	6-8' HT. MULTI-STEM
●	CANADA RED CHOKECHERRY	FRUNUS VIRGINIANA 'CANADA RED'	6-8' HT. MULTI-STEM
●	GRIZAN CRUSAIDER HANTHORN	CRATAEGUS CRUS-GALLI 'GRIZAM'	6-8' HT. MULTI-STEM
●	HOTWINGS MAPLE	ACER TATARICUM 'GARANN'	6-8' HT. MULTI-STEM
●	ROYAL RAINDROPS CRABAPPLE	MALUS x 'JFS-K16'	2" CAL B4B
●	SPRING SNOW CRABAPPLE	MALUS 'SPRINGSNOW'	2" CAL B4B
<b>SHRUBS/ORNAMENTAL GRASSES/PERENNIALS</b>			
●	ARIZONA SUN GAILLARDIA	GAILLARDIA x 'ARIZONA SUN'	1 GAL
●	BLACK EYED SUSAN	RUIDBECKIA FULGIDA 'GOLDSTRUM'	1 GAL
●	BLUE GRAMMA GRASS	BOUDELLOUA GRACILIS 'BLONDE AMBITION'	1 GAL
●	BLUE MIST SPIREA	CARYOPTERIS x CLANDONENSIS 'BLUE MIST'	2 GAL
●	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	1 GAL
●	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	3 GAL
●	PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL
●	RED FLOWER CARPET ROSE	ROSA FLOWER CARPET 'NOARE'	2 GAL
●	DARTS GOLD NINEBARK	PHYSCARPUS OPULIFOLIUS 'DART'S GOLD'	3 GAL
●	STELLA DE ORO DAYLILLY	HEMEROCALLIS 'STELLA D'ORO'	1 GAL
●	FINE LINE BUCKTHORN	RHAMNUS FRAGULA 'RON WILLIAMS'	5 GAL
●	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	3 GAL
●	HUSKER RED PENSTEMON	PENSTEMON DIGITALIS 'HUSKER RED'	1 GAL
●	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5 GAL
●	KARL FOERSTER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'K.F.'	1 GAL
●	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'DONNA MAY'	3 GAL
●	HIDCOTE BLUE ENGLISH LAVENDER	LAVANDULA ANGSTIFOLIA 'HIDCOTE BLUE'	1 GAL
●	IVORY TOWER YUCCA	YUCCA FILAMENTOSA 'IVORY TOWER'	3 GAL
●	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL
●	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'PERPA'	3 GAL
●	SUMMERWINE NINEBARK	PHYSCARPUS OPULIFOLIA 'SEWARD'	5 GAL

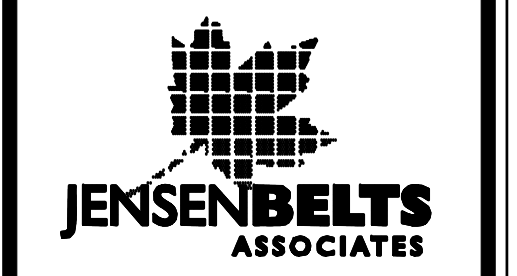


**NOTES**

1. ALL LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF STAR ORDINANCE REQUIREMENTS.
2. ALL PLANTING AREAS TO BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
3. TREES SHALL NOT BE PLANTED WITHIN THE 10-FOOT CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES IN PARKSTRIPS. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM. ALL SHRUBS PLANTED OVER OR ADJACENT TO SEEPAGE BEDS TO HAVE A ROOT BALL THAT DOES NOT EXCEED 18" IN DIAMETER. NO LAWN SOD TO BE PLACED OVER DRAINAGE SWALE SAND WINDOWS, ACHD STORMWATER BASINS AND SWALES SHALL BE LANDSCAPED ACCORDING TO THE 'ADA COUNTY HIGHWAY DISTRICT STORMWATER MANAGEMENT BASIN REVEGETATION GUIDANCE MANUAL' (OCTOBER 2017) IN APPENDIX D.
4. NO TREES SHALL IMPEDE THE 40' VISION TRIANGLES AT ALL INTERSECTIONS. NO CONIFEROUS TREES OR SHRUBS OVER 3' HIGH AT MATURITY WILL BE LOCATED WITHIN VISION TRIANGLE OR ACHD ROW. AS TREES MATURE, THE OWNER SHALL BE RESPONSIBLE FOR PRUNING TREE CANOPIES TO MEET ACHD REQUIREMENTS FOR MAINTAINING CLEAR VISIBILITY WITHIN 40' STREET AND DEPARTURE VISION TRIANGLE. TREES SHALL BE PLANTED NO CLOSER THAN 50' FROM INTERSECTION STOP SIGNS.
5. CLASS II TREES AND LANDSCAPE IN FRONT OF BUILDING LOTS ON INTERIOR STREETS TO BE COMPLETED DURING CONSTRUCTION ON THESE LOTS. TREE LOCATIONS MAY BE ALTERED TO ACCOMMODATE DRIVEWAYS AND UTILITIES. TREES MUST BE CLASS II AND SHALL NOT BE PLANTED WITHIN 5' OF WATER METERS OR UNDERGROUND UTILITY LINES. **BUILDER SHALL BE REQUIRED TO INSTALL STREET TREES 5' FROM BACK OF SIDEWALKS EVERY 35' ADJACENT TO ALL BUILDABLE HOME LOTS PRIOR TO OCCUPANCY. FLEXIBILITY IN TREE PLACEMENT AND QUANTITIES TO BE GIVEN FOR DRIVEWAY AND UTILITY CONFLICTS.**
6. PLANT LIST IS REPRESENTATIVE AND SUBJECT TO ADDITIONS AND/OR SUBSTITUTIONS OF SIMILAR SPECIES THAT ARE SUBJECT TO CITY FORESTER'S PRE-APPROVAL. PLANTING BED DESIGN AND QUANTITIES MAY BE ALTERED DURING FINAL FLAT LANDSCAPE PLAN DESIGN. BURLAP AND WIRE BASKETS TO BE REMOVED FROM ROOT BALL AS MUCH AS POSSIBLE, AT LEAST HALFWAY DOWN THE BALL OF THE TREE. ALL NYLON ROPES TO BE COMPLETELY REMOVED FROM TREES.
7. THERE ARE NO EXISTING TREES ON SITE. NO MITIGATION IS REQUIRED.
8. ALL AREAS OF GRADING CUTS TO BE REVEGETATED WITH FOOTHILLS NATIVE SEED FOR STABILIZATION.

PLANNER	DEVELOPER	ENGINEER
TOLL SOUTHWEST LLC ADAM CAPELL	TOLL SOUTHWEST LLC KYLE PEWETT	ESE CONSULTANTS, INC. JUSTIN BOZOVICH, P.E.
3103 W. SHERYL DR., STE 100 MERIDIAN, ID 83642 Phone (208) 780-6726	3103 W. SHERYL DR., STE 100 MERIDIAN, ID 83642 Phone (208) 576-3625	3103 W. SHERYL DR., STE 100 MERIDIAN, ID 83642 Phone (208) 955-6555

Issue	Description	Date
ISSUE	STREET NAMES BASE REV.	1-10-23 2-15-23 11-20-23



Site Planning  
Landscape Architecture

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Boise, Idaho 83706  
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www.jensenbelts.com

**MILEPOST COMMONS  
STAR, IDAHO  
PRELIMINARY PLAT LANDSCAPE PLAN**

Job Number	2210
Drawn	Checked
KCS	KCS
Scale	AS SHOWN
Sheet Title	PRE-PLAT LANDSCAPE PLAN
Sheet Number	L3
	3 of 3 Sheets



**Project/File:** Milepost Commons Subdivision / SPP23-0002 / PP-23-05, DA-23-07  
 This is a preliminary plat application for the development of an 83-lot subdivision on 19.93-acres.

**Lead Agency:** City of Star

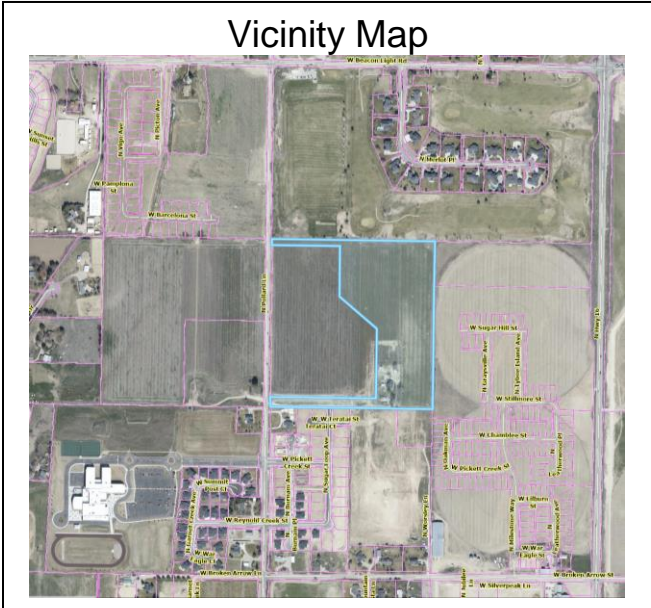
**Site address:** 2400 N Pollard Lane

**Staff Approval:** January 26, 2024

**Applicant:** Adam Capell, via email  
 Toll Brothers  
 3103 W Sheryl Drive, Suite 100  
 Meridian, ID 83642

**Representative:** Kyle Prewett, via email  
 Toll Brothers  
 3103 W Sheryl Drive, Suite 100  
 Meridian, ID 83642

**Staff Contact:** KaraLeigh Troyer  
 Phone: 387-6391  
 E-mail: [ktroyer@achdidaho.org](mailto:ktroyer@achdidaho.org)



## A. Findings of Fact

1. **Description of Application:** The applicant is requesting approval of a preliminary plat application for the development of subdivision consisting of 72 residential lots and 11 common lots on 19.93-acres. This application includes a development agreement with the City of Star. The applicant's proposal is consistent with the City of Star's future land use of the parcel which designates it as Neighborhood Residential.

### 2. Description of Adjacent Surrounding Area:

Direction	Land Use	Zoning
North	Estate Rural Residential; Rural-Urban Transition (Ada County)	R-2; RUT (Ada County)
South	Estate Rural Residential	R-3; R-3-DA/R-3-PUD-DA; RUT (Ada County)
East	Neighborhood Residential	R-5-DA/R-5-PUD-DA; RUT (Ada County)
West	Future Public Use; Estate Rural Residential; Rural-Urban Transition (Ada County)	R-4; R-2; RUT (Ada County)

3. **Site History:** ACHD has not previously reviewed this site for a development application.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:

- Iron Mountain Vista Subdivision, a 50-lot residential subdivision on 16-acres, directly south of the site, approved by ACHD on September 29, 2021.
- Milestone Ranch, a 317-lot senior living community on 71-acres, directly east of the site, approved by ACHD on August 31, 2021.
- Iron Mountain Estates Subdivision, a subdivision consisting of 43 residential and 6 common lots, directly south of the site, approved by ACHD on May 8, 2019.

**5. Transit:** Transit services are not available to serve this site.

**6. Pathway Crossings:** United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

**7. New Center Lane Miles:** The proposed development includes 0.76 centerline miles of new public road.

**8. Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.

**9. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**

- Pollard Lane and Floating Feather Road is scheduled in the IFWYP as a community improvement project for enhanced pedestrian facilities on the west side of the roadway with a design year of 2024, a right-of-way year of 2025, and a construction year of 2026.
- Beacon Light Road is listed in the CIP to be constructed as a new 3-lane roadway from Munger to Pollard Lane between 2036 and 2040.
- Beacon Light Road is listed in the CIP to be widened to 3-lanes from Pollard Lane to Emmett Highway (SH-16) between 2036 and 2040.
- The intersection of Beacon Light Road and Pollard Lane is listed in the CIP to be constructed as a single-lane roundabout with 2-lanes on each leg between 2036 and 2040.
- The intersection of Beacon Light Road and Emmett Highway (SH-16) is listed in the CIP to be reconstructed between 2036-2040.

**10. Roadways to Bikeways Master Plan:** ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and

cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies Pollard Lane as an existing Level 2 facility.

## **B. Traffic Findings for Consideration**

1. **Trip Generation:** This development is estimated to generate 301 additional vehicle trips per day (9 existing); 21 additional vehicle trips per hour in the PM peak hour (1 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition.
2. **Condition of Area Roadways**  
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Pollard Lane	130-feet	Collector	132	Better than "D"
Sugar Loop Avenue	50-feet	Local	N/A	N/A

\* Acceptable level of service for a two-lane collector is "D" (425 VPH).

\*\* ACHD does not set level of service thresholds for local roadways.

3. **Average Daily Traffic Count (VDT)**  
*Average daily traffic counts are based on ACHD's most current traffic counts.*
  - The average daily traffic count for Pollard Lane south of Beacon Light Road was 1,675 on September 15, 2022.
  - There are no existing average daily traffic counts for Sugar Loop Avenue.

## **C. Findings for Consideration**

1. **Pollard Lane**
  - a. **Existing Conditions:** Pollard Lane is improved with 2-travel lanes and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Pollard Lane (34-feet from centerline).
  - b. **Policy:**

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets. Improvements shall include transitional segments in accordance with ADA and the current version of PROWAG.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default. ACHD reserves the right to require bicycle and pedestrian facilities above those identified in the Livable Streets Design Guide and Master Street Map to ensure the safest facility possible based on current best practice.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk or multi-use path and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk or multi-use path is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.



The standard street section shall be 47-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes. If a multi-use path is determined to be the required treatment, the street section shall be reduced to 37-feet. If it is determined a continuous center left-turn lane is not appropriate and a path is installed, the street section may be reduced to 26-feet.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

At the discretion of Traffic Engineering staff, adjustments may be made to the street section, including removal of the continuous center turn lanes or modification to lane widths, where no driveways or intersections are present or to ensure adequate space for pathways and buffers.

**Half Street Policy:** District Policy 7206.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side. Alternatively, on roadways identified as low-stress bikeways in ACHD's Bike Master Plan, a minimum 10-foot wide multi-use path may be required in lieu of sidewalks. ACHD Development Review staff will be responsible for determining the required facility. The path shall be built 8-feet behind the top back of curb as measured to the closest edge of the path. Street trees are encouraged between the pedestrian facility and the roadway when irrigation and maintenance will occur by the adjacent property owner or HOA through an approved license agreement. Vertical hardscape alternatives to street trees may be considered in the buffer space when street trees are not practicable.

**Pedestrian Facilities:** District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 8-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalk constructed next to the back-of-curb shall be a minimum of 7-feet wide. Alternatively, on roadways identified as low-stress bikeways in ACHD's Bike Master Plan, a minimum 10-foot wide multi-use path may be required in lieu of sidewalks. ACHD Development Review staff will be responsible for determining the required facility. The path shall be built 8-feet behind the back-of-curb as measured to the closest edge of the path. Street trees are encouraged between the pedestrian facility and the roadway when irrigation and maintenance will occur by the adjacent property owner or HOA through an approved license agreement. Vertical hardscape alternatives to street trees may be considered in the buffer space when street trees are not practicable.

Pedestrian facilities should be parallel to the adjacent roadway. Pedestrian facilities will only be allowed to deviate from a straight line when authorized by Development Review staff to meet site specific conditions (i.e., street trees, utilities, etc.).

Appropriate easements shall be provided if public sidewalks or multi-use paths are placed out of the right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk or multi-use path. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Curb ramps or blended transitions shall be provided to connect the pedestrian access route at each pedestrian street crossing in accordance with the current version of PROWAG. Provide detectable warning surface in accordance with the current version of PROWAG.

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter, and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items. District Policy 7203.3 states that minor improvements to existing Highways adjacent to a proposed development may be required. These needed transportation facilities are to correct deficiencies or replace deteriorated facilities. Included are sidewalk and/or bike lane construction or replacement (with physical buffers if missing and needed); construction of transitional sidewalk segments; crosswalk construction or replacement; curb and gutter construction or replacement; repair, replacement or expansion of curb extensions; replacement of unused driveways with curb, gutter, sidewalk, repair or addition of traffic calming or speed mitigation features; installation or reconstruction of pedestrian ramps; pavement repairs; signs, motor vehicle, pedestrian and bicycle traffic control devices; and other similar items. The current version of PROWAG will determine the applicable accessibility requirements for alterations and elements added to existing streets. ACHD staff is responsible for identifying the minor improvements that would be proportionate to the size and complexity of the development.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Pollard Lane is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to construct curb and gutter abutting the site's southwest property line.
- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved as proposed.

There is a large irrigation canal (Big Gulch Creek) abutting the site's west property line to the east of Pollard Lane. At the time when the Star Middle School application was approved (2015) it was determined that Pollard Lane between Beacon Light and Floating Feather should be widened to the west, due to the size of the canal and the cost associated with relocating the canal outside of the right-of-way. Development on the west side of Pollard Lane has been required to dedicate additional right-of-way to accommodate improvements consistent with the MSM for 54-feet of right-of-way, measured from the existing gutter, and 7-foot attached (5-foot detached) concrete sidewalk, plus 3-foot wide gravel shoulder along the east side of Pollard Lane.

District Street policy states that the developer is responsible for improving all collector frontage abutting the site with vertical curb, gutter, and 7-foot wide attached (5-foot detached) concrete sidewalk. Therefore, the applicant should be required to construct vertical curb and gutter along Pollard Lane at the existing edge of pavement and a detached 5-foot wide sidewalk along the east side of the canal, abutting the site.

For detached sidewalk, the applicant should be required to provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any public sidewalk placed outside of the dedicated right-of-way.

## 2. Internal Local Streets

- a. **Existing Conditions:** There are no existing local roadways within the site. There is an existing local street, Sugar Loop Avenue, that stubs the south of the property located 508-feet east of Pollard Lane (measured centerline to centerline).

**b. Policy:**

**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

**Standard Urban Local Street—33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

**Continuation of Streets Policy:** District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Cul-de-sac Streets Policy:** District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 50-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

- c. Applicant's Proposal:** The applicant is proposing to construct all local street as 36-foot wide local streets with curb, gutter, and 5-foot wide attached or detached concrete sidewalk.

The applicant is proposing to construct a cul-de-sac turnaround with a 50-foot turning radii located at the terminus of Benning Court.

- d. Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed.

The right-of-way on Stillmore Street should extend to the north property line to allow future access to the parcel owned by the West Ada School District.

### 3. Roadway Offsets

- a. Existing Conditions:** There are no local roadways within the site.

**b. Policy:**

**Collector Offset Policy:** District policy 7206.4.5, states that the preferred spacing for a new local street intersecting a collector roadway to align or offset a minimum of 330-feet from any other street (measured centerline to centerline).

**Local Offset Policy:** District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

- c. Applicant's Proposal:** The applicant is proposing to construct Stillmore Street 484-feet north of Pickett Creek Street (measured centerline to centerline).

- d. Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed. The applicant should be required to align or offset all local roads 125-feet from any other street (measured centerline to centerline).

### 4. Stub Streets

- a. Existing Conditions:** There are four proposed or existing stub streets located as follows (measured centerline to centerline):

- Sugar Loop Avenue, an existing stub street to the south of the site located 508-feet east of Pollard Lane.
- Smokey Dome Avenue, a local roadway under construction to the south of the site located 665-feet east of Pollard Lane. This roadway was approved as part of ACHD's action on Iron Mountain Vista Subdivision.
- Stillmore Street, a local roadway under construction to the east of the site located 990-north of the proposed Statesboro Street. This roadway was approved as part of ACHD's action on Milestone Ranch.

- Statesboro Street, a local roadway that is proposed to stub to the east of the site located 990-feet north of Stillmore Street. This roadway is not yet constructed and was approved as part of ACHD's action on Milestone Ranch.

**b. Policy:**

**Stub Street Policy:** District policy 7207.2.4.3 (local) states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.4 (local) except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

**Temporary Dead End Streets Policy:** District policy 7207.2.4.4 (local) requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

- c. Applicant Proposal:** The applicant is proposing to construct Statesboro Street to stub to the east 990-feet north of Stillmore Street and in alignment with the approved stub street to the site's east property line as part of ACHD's approval of Milestone Ranch.
- d. Staff Comments/Recommendations:** The applicant's proposal meets District policies and should be approved, as proposed.

Additionally, staff recommends that the applicant construct an additional stub street to the site's north property line for future access and connectivity. The applicant should be required to install a barricade and sign at the terminus of the stub street that states that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

If the stub street extends greater than 150-feet in length, then a temporary turnaround should be constructed at the terminus of the roadway.

## 5. Traffic Calming

- a. Speed Control and Traffic Calming Policy:** District policy 7207.3.7 states that the design of local street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require maintenance and/or license agreement.
- b. Applicant's Proposal:** The applicant is proposing to construct Stillmore Street and Hazelhurst Way to be greater than 750-feet in length.

- c. **Staff Comments/Recommendations:** The applicant should be required to redesign Stillmore Street and Hazelhurst Way to be less than 750-feet in length or provide traffic calming including the use of passive design elements approved by ACHD Traffic Services.

Stop signs, speeds humps/bumps and valley gutters will not be accepted as traffic calming.

The applicant should be required to submit a revised preliminary plat showing the redesigned roadways for review and approval prior to plan approval and ACHD's signature on the first final plat.

**6. Bridge for Big Gulch Irrigation Canal Crossing**

The District will require that the applicant submit the bridge plans for the crossing of the Big Gulch Irrigation Canal (Pollard Lane) for review and approval prior to the pre-construction meeting and final plat approval. Note: all plan submittals for bridges or pipe crossings of irrigation facilities should be submitted to ACHD for review no later than December 15<sup>th</sup> for construction in the following year prior to irrigation season.

**7. Tree Planters**

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

**8. Landscaping**

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

**9. Other Access**

Pollard Lane is classified as a collector roadway. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

**D. Site Specific Conditions of Approval**

1. Prior to plat submittal, submit a revised preliminary plat showing Stillmore Street and Hazelhurst Way as redesigned roadways to reduce the length of the roadways or to include the use of passive design elements. The ultimate locations and design will be determined during plan review by Development Review staff.
2. Construct vertical curb and gutter along Pollard Lane at the existing edge of pavement and detached 5-foot wide sidewalk along the east side of the canal, abutting the site.
3. Construct all local street as 36-foot wide local streets with curb, gutter, and 5-foot wide attached or detached concrete sidewalk.
4. Construct a cul-de-sac turnaround with a 50-foot turning radii located at the terminus of Benning Court.
5. Extend the dedicated right-of-way on Stillmore Street to the north property abutting the parcel owned by the West Ada School District.
6. Align or offset all local roads 125-feet from any other street.

7. Construct Stillmore Street to intersect Pollard Lane at the site's south property line, as proposed.
8. Construct Statesboro Street to stub to the east 990-feet north of Stillmore Street and in alignment with the approved stub street to the site's east property line as part of ACHD's approval of Milestone Ranch.
9. Construct one stub street to the north. Install a barricade and sign at the terminus of new street that states that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE." Construct a temporary turnaround at the terminus of the north stub street if the stub street is greater than 150-feet in length.
10. Submit the bridge plans for the crossing of the Big Gulch Canal for review and approval prior to the pre-construction meeting and final plat approval; and no later than December 15<sup>th</sup> for construction in the following year prior to irrigation season.
11. Other than the access specifically approved with this application, direct lot access is prohibited to Pollard Lane and should be noted on the final plat.
12. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
13. Payment of impact fees is due prior to issuance of a building permit.
14. Comply with all Standard Conditions of Approval.

## **E. Standard Conditions of Approval**

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.

10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

## **F. Conclusions of Law**

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

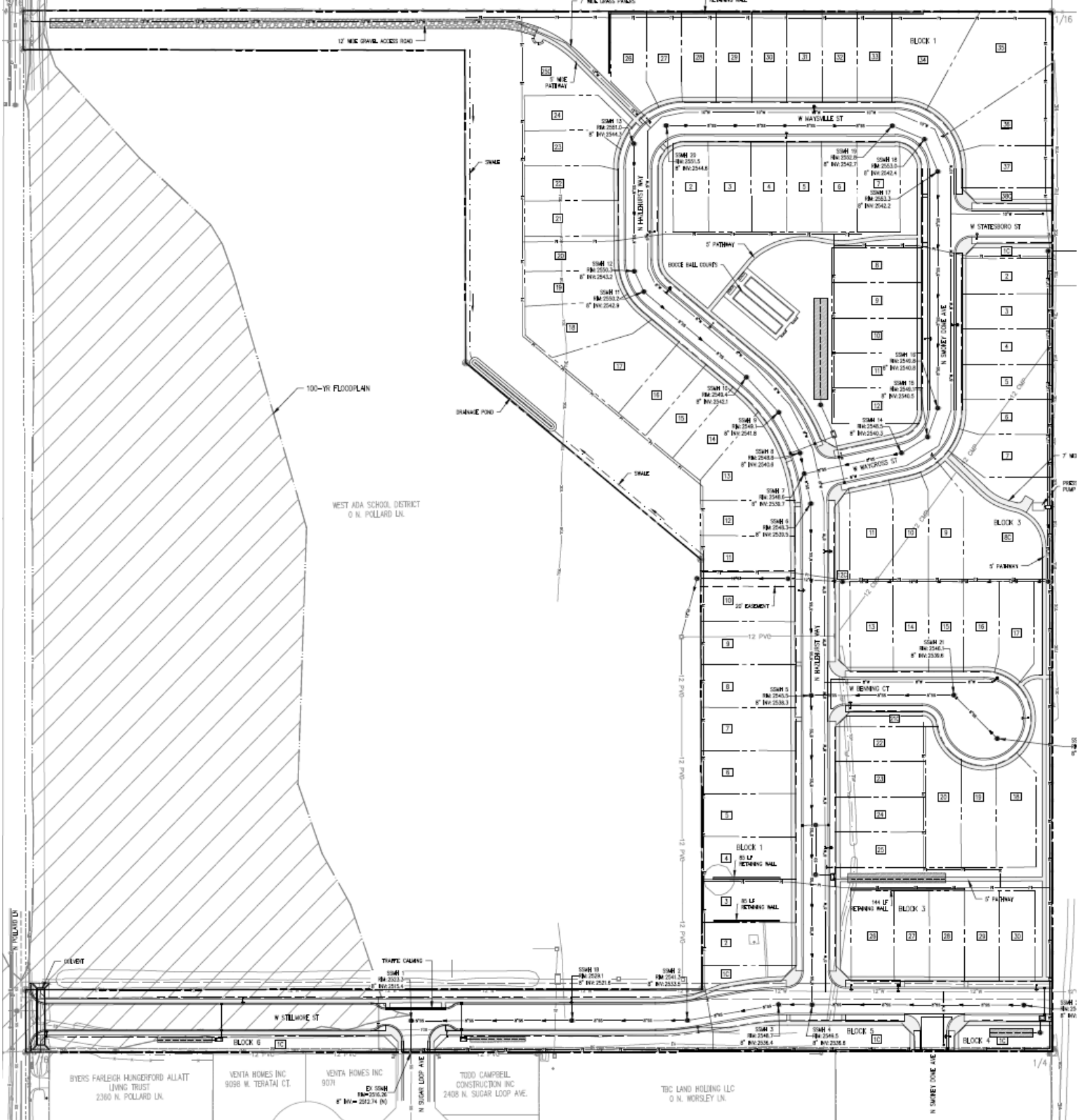
## **G. Attachments**

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines





# SITE PLAN



## Ada County Utility Coordinating Council

### Developer/Local Improvement District Right of Way Improvements Guideline Request

*Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.*

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

**Notification to the Ada County UCC can be sent to:** 50 S. Cole Rd. Boise 83707, or Visit [iducc.com](http://iducc.com) for e-mail notification information.

# Development Process Checklist

## Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
  - Send a **“No Review”** letter to the applicant stating that there are no site specific conditions of approval at this time.
  - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
  - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

## Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a **“No Review”** letter:
  - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
  - The applicant is required to get a permit from Construction Services (ACHD) for ANY work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

### DID YOU REMEMBER:

#### *Construction (Non-Subdivisions)*

#### **Driveway or Property Approach(s)**

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

#### **Working in the ACHD Right-of-Way**

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
  - a) Traffic Control Plan
  - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

#### *Construction (Subdivisions)*

#### **Sediment & Erosion Submittal**

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

#### **Idaho Power Company**

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

**Shawn Nickel**

**From:** Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>  
**Sent:** Monday, January 8, 2024 10:57 AM  
**To:** Shawn Nickel  
**Cc:** Barbara Norgrove  
**Subject:** RE: Agency Transmittal - Milepost Commons Subdivision

Good Morning, Shawn –

After careful review of the transmittal submitted to ITD on December 19, 2023 regarding Milepost Commons Subdivision, the Department has no comments or concerns to make at this time. This subdivision is only proposing 77 buildable lots which falls below our threshold for and in-depth review. Minor impact can be anticipated to SH-16.

Please let me know if you have any questions or concerns.

Thank you,



*Niki Benyakhlef*  
 Development Services Coordinator

**District 3 Development Services**  
 O: 208.334.8337 | C: 208.296.9750  
 Email: [niki.benyakhlef@itd.idaho.gov](mailto:niki.benyakhlef@itd.idaho.gov)  
 Website: [itd.idaho.gov](http://itd.idaho.gov)

**From:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Sent:** Tuesday, December 19, 2023 1:03 PM  
**To:** jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; bryce@sawtoothlaw.com; gtiminsky@starfirerescue.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@starfirerescue.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; gmprdjulie@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Cheryl.imlach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>; Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; CalahanH <CalahanH@landproDATA.com>; Brian Duran <Brian.Duran@itd.idaho.gov>  
**Cc:** Shawn Nickel <snickel@staridaho.org>  
**Subject:** FW: Agency Transmittal - Milepost Commons Subdivision

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

www.staridaho.org



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsens  
Kevan Wheelock  
David Hershey

28 February 2024

Adam Capell  
Toll Brothers  
3103 W Sheryl Dr., Suite 100  
Meridian, ID 83642

**Re: Milepost Commons – Preliminary Plat Application**

Dear Mr. Capell

The City of Star Engineering Department has reviewed the Preliminary Plat for The Milepost Commons Subdivision. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and question based on our review.

1. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final plat. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
2. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
3. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
4. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
5. Easements for sewer/water facilities will be required where placed outside of public right of way. Specifically, along the northern pathway.

We recommend that the preliminary plat be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above referenced preliminary plat does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.  
City Engineer

Enclosures





# 2024 Star Prioritization Request Form - *Not Programmed*

Updates based on ADOPTED FY2024-2028 IFYWP \*

2024 Priority Ranking	2023 Priority Ranking	Agency Project Name	Agency Project Description	Current IFYWP Status			ACHD Update	ACHD Implementation Project Name
				Design YR	ROW YR	Const YR		
<b>Roads &amp; Intersections - CIP Projects (Arterials) Only</b>								
4	4	Floating Feather between Munger and Pollard	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes. With Beacon Hawk style light for pedestrian crossings at Star Road and Floating Feather and at Plummer and Floating Feather	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Floating Feather Rd, Munger Rd / Pollard Ln
5	5	Extended Floating Feather between Munger and Can Ada	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Floating Feather Rd Extension, Cana Ada Rd / Star Rd
6	6	Can Ada Road between Hwy 44 and Floating Feather future extension <a href="#">(Include a Signal Light at 44/Can Ada Road)</a>	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Can Ada Rd, SH 44 (State St) / Floating Feather Rd
7	7	Can Ada Road between Floating Feather extension and W. New Hope Road	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Can Ada Rd, Floating Feather Rd / New Hope Rd
8A	9a	Beacon light Rd/ Wing Road Widening (Between Can Ada and Hwy 16)	Widen/extend roadway to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates. <b>Recommend breaking/prioritizing segments by CIP segments.</b>	New Hope Rd, Can Ada Rd / Munger Rd
8B	9b	Beacon light Rd/ Wing Road Widening (Between Can Ada and Hwy 16)	Widen/extend roadway to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates. <b>Recommend breaking/prioritizing segments by CIP segments.</b>	Beacon Light Rd Extension (New Hope Rd), Munger Rd / Pollard Rd
8C	9c	Beacon light Rd/ Wing Road Widening (Between Can Ada and Hwy 16)	Widen/extend roadway to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates. <b>Recommend breaking/prioritizing segments by CIP segments.</b>	Beacon Light Rd, Pollard Rd / Emmet Hwy (SH 16)
9	N/A	<a href="#">Star Road/Joplin Intersection Intersection Improvements along with Traffic Signal</a>						
<b>Community Programs - Collectors &amp; Local Roadways</b>								
1	1	<a href="#">(Hiddenbrook not) Highbrook</a> and Star Road Pedestrian Improvement	Lighted pedestrian crossing	Not Programmed	Not Programmed	Not Programmed	ACHD Traffic Engineering review concluded Highbrook did not intersect Star Rd. Further clarification required.	N/A
2	2	Plummer Rd and Floating Feather	install a pedestrian crossing at the intersection of Plummer Rd and Floating Feather Rd. Crossing beacon to safely move walking and biking students for school functions.	Not Programmed	Not Programmed	Not Programmed	<b>Scoped in 2023.</b> To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Plummer Rd and Floating Feather Rd Pedestrian Crossing
4	3	Floating Feather Rd, Star Rd / Munger Rd	Construct curb, gutter, sidewalk and bike lanes on Floating Feather Rd, between Star Rd and Munger Rd. Pedestrian facilities.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Floating Feather Rd, Munger Rd / Star Rd Interim Pedestrian Improvements
5	4	Floating Feather Rd, Star Rd / Pollard	Construct curb, gutter, sidewalk and bike lanes on Floating Feather Rd, between Star Rd and Pollard Lane.	Not Programmed	Not Programmed	Not Programmed	<b>Scoped in 2023.</b> To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Floating Feather Rd, Star Rd / Plummer Rd
3	5	Plummer Rd, State St / Floating Feather Rd	Construct curb, gutter, sidewalk and bike lanes on Plummer Rd, between State Street and Floating Feather Road. Pedestrian facilities. <a href="#">Include Traffic Light and Intersection reconfiguration at Highway 44/Plummer</a>	Not Programmed	Not Programmed	Not Programmed	Developing area. ACHD to coordinate with the City on the scope and timing of improvements.	Plummer Rd, SH 44 (State St) / Floating Feather Rd
8A	6a	Beacon Light Rd / New Hope / Munger BIKE lanes	Level 2 and 3 bike facilities to be added in both directions to assure safe bike travel throughout Star.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Beacon Light Bikeway, Can Ada Rd / Munger Rd
8B	6b	Beacon Light Rd / New Hope / Munger BIKE lanes	Level 2 and 3 bike facilities to be added in both directions to assure safe bike travel throughout Star.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Beacon Light Bikeway, Munger Rd / Wing Rd
8C	6c	Beacon Light Rd / New Hope / Munger BIKE lanes	Level 2 and 3 bike facilities to be added in both directions to assure safe bike travel throughout Star.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Beacon Light Bikeway, SH 16 / Palmer Ln
8D	6d	Beacon Light Rd / New Hope / Munger BIKE lanes	Level 2 and 3 bike facilities to be added in both directions to assure safe bike travel throughout Star.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	Beacon Light Bikeway, Wing Rd / SH16
8E	6e	Beacon Light Rd / New Hope / Munger BIKE lanes	Level 2 and 3 bike facilities to be added in both directions to assure safe bike travel throughout Star.	Not Programmed	Not Programmed	Not Programmed	To be evaluated and prioritized for possible inclusion into future IFYWP updates.	West Star Bikeway, Star Rd / Beacon Light Rd
6	8	Pollard Lane, Star Middle School to Beacon Light Road	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	IFYWP updates. <b>Pollard Ln is a collector roadway &amp; would be completed by development or under Community Programs.</b>	Pollard Ln, Star Middle School / Beacon Light Rd
7	10	Brandon Road between New Hope and Floating Feather	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	IFYWP updates. <b>Brandon Rd is a collector roadway &amp; would be completed by development or under Community Programs.</b>	Brandon Rd, Floating Feather Rd / New Hope Rd

**\*Programming status is subject to change.**

**Projects needing re-categorized. These should be Community Programs ( not Roads/Intersections)**

Section 7, Item A.

See Above	8	Pollard Lane, Star Middle School to Beacon Light Road	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	to be evaluated and prioritized for possible inclusion into future IFYWP updates. <b>Pollard Ln is a collector roadway &amp; would be completed by development or under Community Programs. Moved.</b>	Pollard Ln, Star Middle School / Beacon Light Rd
See Above	10	Brandon Road between New Hope and Floating Feather	Widen to 3 lanes with curb, gutter, detached sidewalks and bike lanes.	Not Programmed	Not Programmed	Not Programmed	to be evaluated and prioritized for possible inclusion into future IFYWP updates. Brandon Rd is a collector roadway & would be completed by development or under Community Programs. Moved.	Brandon Rd, Floating Feather Rd / New Hope Rd



# 2024 Star Prioritization Request Form - Programmed

Section 7, Item A.

Updates based on ADOPTED FY2024-2028 IFYWP \*

2024 Priority Ranking	2023 Priority Ranking	Agency Project Name	Agency Project Description	Current IFYWP Status			ACHD Update	ACHD Implementation Project Name
				Design YR	ROW YR	Const YR		
<b>Roads &amp; Intersections - CIP Projects (Arterials) Only</b>								
<u>1</u>	1*	Star Road Bridge over the Boise River Widened to a minimum of 4 lanes with bike lanes and sidewalks	This is a priority for the city so the road can be widened. Only North / South route for our city	<a href="#">2025</a>	<a href="#">2026</a>	<a href="#">2027</a>	Project programmed for <b>Concept Study in FY2025-2026.</b>	Star Rd, US 20/26 (Chinden Blvd) / SH 44 (State St)
<u>2</u>	2	Star Rd, Boise River / Highway 44	Widen Star Rd to 5 lanes with curb, gutter, sidewalk, and bike lanes in accordance with the 2016 CIP. Project includes widening of bridge #2030.	Future	Future	Future	Project programmed for <b>Concept Study in FY2025-2026.</b>	Star Rd, US 20/26 (Chinden Blvd) / SH 44 (State St)
<u>3</u>	3*	Star Road Widening Highway 20/26 to the Boise River to Five Lanes	None provided	Future	Future	Future	Project programmed for <b>Concept Study in FY2025-2026.</b>	Star Rd, US 20/26 (Chinden Blvd) / SH 44 (State St)
<b>Community Programs - Collectors &amp; Local Roadways</b>								
<u>As Programmed</u>	N/A	Pollard Ln, Floating Feather Rd / Star Middle School	Construct curb, gutter, sidewalk, and bike lanes on Pollard Ln, between Floating Feather Rd and Beacon Light Rd.	2024	2025	2026	Project programmed to be <b>constructed in 2026.</b>	Star Improvements A: Pollard Ln, Floating Feather Rd / Star Middle School
<u>As Programmed</u>	N/A	Munger Road Bridge #1005/#2001	Widen bridges to align with roadways and create safe crossing for pedestrians on the sidewalks.	2024	2025	2026	Project programmed to be <b>constructed in 2026.</b>	Star Improvements A: Munger Rd Bridge #1005 and #2001, 1/2 mile S/O New Hope Rd
<u>As Programmed</u>	N/A	Munger Road Bridge #1462	Widen bridge to align with roadways and create safe crossing for pedestrians on the sidewalks.	2021	2022	2024	Project programmed to be <b>constructed in 2024.</b>	Munger Rd Bridge #1462, 550' S/O New Hope Rd
<u>As Programmed</u>	N/A	Palmer Lane Bridge #1009	Widen bridge to align with roadways and create safe crossing for pedestrians on the sidewalks.	2021	2022	2024	Project programmed to be <b>constructed in 2024.</b>	Palmer Ln Bridge #1009, N/O Floating Feather Rd
<u>As Programmed</u>	N/A	Floating Feather Bridge #2028	Complete Floating Feather Rd with bike lanes, curb, gutter, borrow ditches, and detached sidewalk on both sides between Munger Rd and Star Rd. Project includes bridge #068. Bridge widening/south pathway development.	2021	2023	2025	Project programmed to be <b>constructed in 2025.</b>	Floating Feather Rd Bridge #2028, 580' E/O Munger Rd
<u>As Programmed</u>	N/A	Floating Feather Rd. between Hornback and Pollard Lane.	Construct sidewalk on north side of Floating Feather Rd, between Hornback Ave and Pollard Lane.	2023	2024	2025	<b>Repeat/expansion of project request #1. Recommend combining.</b>	Star Improvements A: Pollard Ln, Floating Feather Rd / Star Middle School
<u>As Programmed</u>	N/A	Star Rd. between Hwy 44 and Boise River	Construct detached sidewalk on west side of Star Road.	2023	2024-2025	2026	Project programmed to be <b>constructed in 2025.</b>	Star Improvements A: Star Rd, Main St / SH 44 (State St)
<u>As Programmed</u>	N/A	Floating Feather Rd. between Munger and Star Rd.	As a part of the Floating Feather Bridge 2028 project scheduled to be built in 2024, add to the scope of the project to complete the pedestrian network on the north and south side of Floating Feather between Munger Road and Star Road.	2021	2022	2026	<b>Repeat/expansion of project request #5. Recommend combining.</b>	Floating Feather Rd Bridge #2028, 580' E/O Munger Rd - Sidewalk
<u>As Programmed</u>	N/A	Floating Feather Rd. between Star Rd. and Pollard Lane.	As a part of the Floating Feather Rd. sidewalk project between Hornback and Pollard Lane scheduled to be built in 2023, add to the scope fo the project to complete the pedestrian network on the north side of Floating Feather between Star Road and Pollard Lane.	2021	2022	2025	<b>Repeat/expansion of roadway project request #1. Recommend combining.</b>	Floating Feather Rd, Brandon Rd / Hornback Ave
<u>As Programmed</u>	N/A	Munger Road between Floating Feather and Shortcreek	As a part of the Munger Road Bridge replacement projects for bridges #1005 and #2001 currently programmed for design in 2023, add to the scope of the project to complete the pedestrian network on the east side of Munger Road from Floating Feather Road to Shortcreek St.	2024	2025	2026	<b>Repeat/expansion of project request #2. Recommend combining.</b>	Star Improvements A - Munger Rd Bridge #1005 and #2001, 1/2 mile S/O New Hope Rd

**\*Programming status is subject to change.**

<b>PROJECTS TO BE REMOVED (Completed/Non-ACHD Projects)</b>								
<u>Remove Completed</u>	N/A	Floating Feather Rd, Brandon Rd / Hornback Ave	Construct curb, gutter, and sidewalk on north side of Floating Feather Rd, between Brandon Rd and Hornback Ave.	2021	2022	2023	<b>Complete. Please Remove</b>	Floating Feather Rd, Brandon Rd / Hornback Ave

### Resolution 2024-010 – Asset Disposal

A RESOLUTION OF THE CITY OF STAR, IDAHO WITHIN ADA AND CANYON COUNTIES, DECLARING CERTAIN CITY OWNED PERSONAL PROPERTY SURPLUS AND DISPOSING IN CERTAIN MANNERS.

Office Equipment	
<u><b>Xerox Altalink C8045</b></u> Asset Tag #771 Serial #8TB337299  Estimated New Value: \$4,500 - \$5,000 Estimated Used Value: \$2,400 (Current Condition)	<u><b>Proposed Method of Disposal:</b></u> Transfer to State of Idaho Water District #63 (Boise River) 10769 West State Street Star City Hall – 2 <sup>nd</sup> Floor PO Box 767 Star, Idaho 83669 Sale Price: \$1,000

The Star City Council hereby resolves the Office Equipment listed above is surplus and is to be disposed of in the manner suggested by the Information Technology Department Head identified above.

The property shall be removed from the City of Star Asset Log and added to the list generated of disposed property with said list reported to the Auditor during the Annual Fiscal Year Audit.

If the asset is leased, it shall be returned to the lessor for credit if possible.

This resolution shall take effect and be in full force from its passage and approval.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024.

\_\_\_\_\_  
**Trevor A Chadwick, Mayor**

ATTEST: \_\_\_\_\_  
**Jacob M Qualls, City Clerk – Treasurer**