

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, July 16, 2024 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Pastor Tim Nay, LifeSpring Church
3. **ROLL CALL**
4. **PRESENTATIONS / REPORTS / UPDATES**
 - A. **PRESENTATION - Valley Regional Transit** - Executive Director Elaine Clegg
 - B. **REPORT - Law Enforcement** - Police Chief Zach Hessing
 - C. **REPORT - Star Fire** - Fire Chief Greg Timinsky
 - D. **UPDATE - Garnet Subdivision Complaints** - Ryan Field
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Approval of Claims:**
6. **PUBLIC HEARINGS with ACTION ITEMS:**
 - A. **PUBLIC HEARING: Amazon Villa Subdivision (FILE # PP-24-02)** - The Applicant is requesting approval of a Preliminary Plat (PP-24-02) for a proposed townhome development subdivision consisting of 94 single-family residential lots and one common lot for a total of 95 lots. The property is located at 7800 W Coyote Flats Lane in Star, Ada County, Idaho, and consists of 6.52 acres. **(ACTION ITEM)**
 - B. **PUBLIC HEARING: Lake Haven Estates (FILES: PP-24-02; PR-24-02 & FL-24-01)** - The Applicant is requesting approval of a Preliminary Plat for a proposed residential subdivision consisting of 30 residential lots and 7 common lots with private streets. The property is located on the east side of Bent Lane in Star, Ada County, Idaho, and consists of approximately 65.30 acres with a proposed density of 0.46 dwelling units per acre. **(ACTION ITEM)**
 - C. **PUBLIC HEARING: Fire & Police Mitigation Fee Increase** - The City Council and Mayor of the City of Star will hear public testimony regarding a fee increase in excess of 5% for Police and Fire Mitigation Fees. The increased proposed fee increase will be utilized to help offset House Bill 389 enacted during the 2021 Legislative Session. **(PUBLIC HEARING)**
7. **ACTION ITEMS:** (The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **Police & Fire Mitigation Fee Resolution # 015-2024** - A resolution of the city of star, Idaho within ada and canyon counties, updating a policy for the continued issuance of mitigation fees for Star Police and Star Fire PersonNel on Residential and multi-family building permits; explaining the reasons for the issuance of mitigation fees; encouraging other entitles to repeal and replace or modify house bill 389 (2021) and providing an effective date. **(ACTION ITEM)**
 - B. **Golf Cart & Bike Purchase** - Approval of Golf Cart Purchase not to exceed \$10,000 and a Backou Bike not to exceed \$3,500 from Eco Motors **(ACTION ITEM)**
8. **ADJOURNMENT**

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Any person needing special accommodation to participate in the above noticed meeting should contact the City Clerk's Office at 208-286-7247, at least 24 hours in advance of the meeting date.



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho
Tuesday, July 16, 2024 at 7:00 PM

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick



valleyregionaltransit

Valley Regional Transit FY2025 Request

FY2025 Budget Request

- Introduction
- Overview of transportation services
- Budget Request



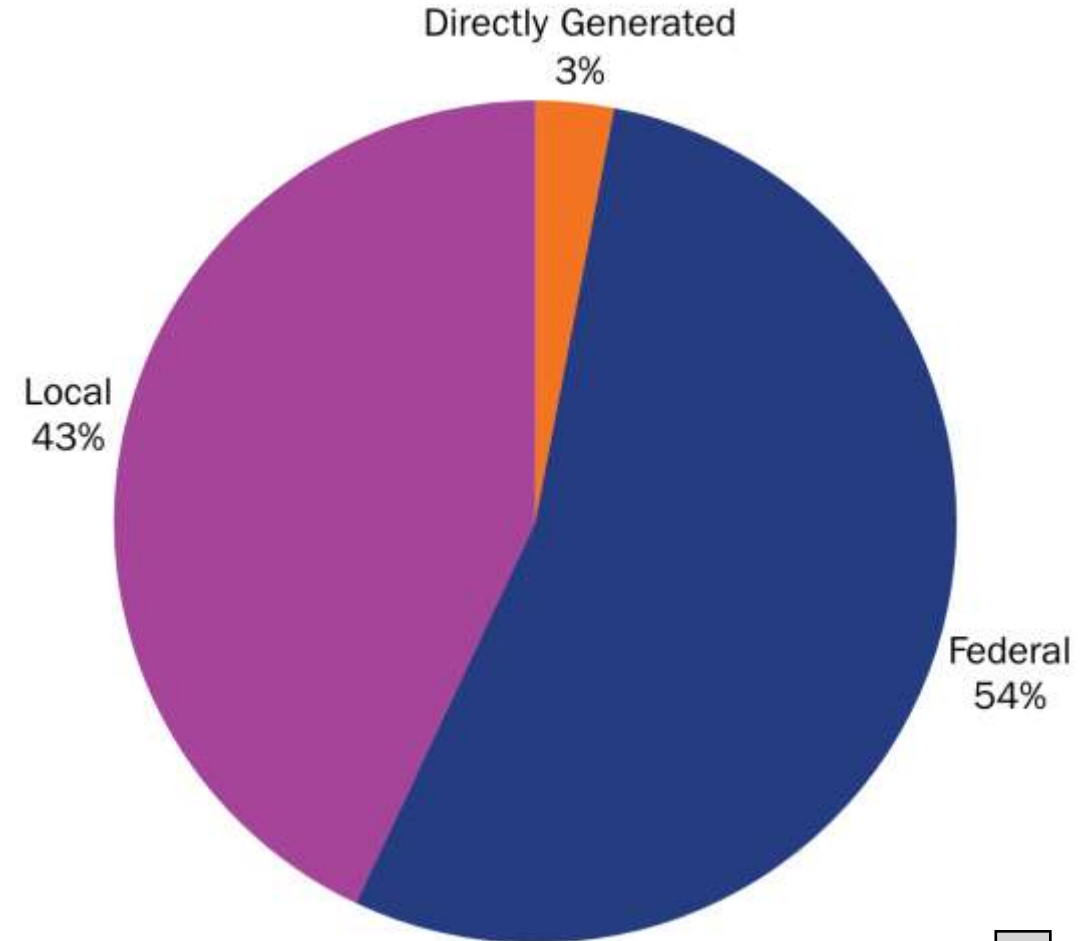
Section 4, Item A.

Budget Process Overview

Budget Timeline

- Apr – CEO Intro letter
- Apr/May – Preliminary funding request
- May/Jun – Service and funding request discussions
- Jul/Aug – Budget finalization
- Aug/Sept – Cooperative agreements

VRT Budget Breakdown



VRT Overview

STAFF 43 VRT STAFF 149 O&M CONTRACTED

583 ACTIVE BUS STOPS (2023)
700 ACTIVE BUS STOPS (2024)
4 TRANSIT CENTERS/
MAINTENANCE FACILITY

FACILITIES

FLEET

45 BUSES 10 Electric 35 CNG

25 VANS/MINIVANS
22 Vans (11 ♂)
3 Minivans (1 ♂)

39 CUTAWAYS 27 CNG 12 Gasoline

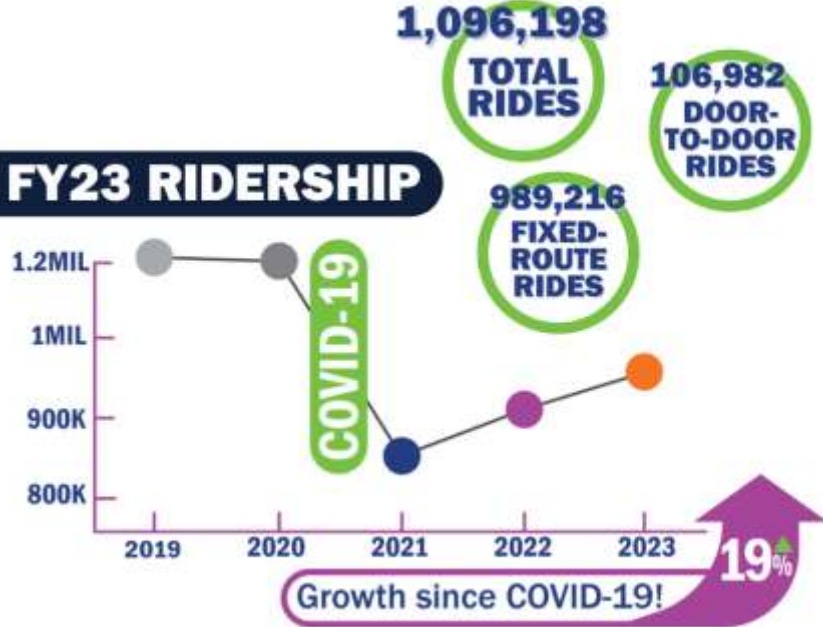
16 OTHER 7 Support
6 Service
3 Admin

VRT SERVICES

- BUS**: Fixed-Route, VRT On-Demand
- PARATRANSIT**: VRT Access, VRT Beyond Access
- SPECIALIZED SERVICES**: Village Van, Volunteer Driver, Rides2Wellness, lyA Transit Connections, lyA VRT Late Night
- PROGRAMS**: SAFE ROUTES TO SCHOOL, CityGO

VRT IS MORE THAN THE BUS

FY23 RIDERSHIP



Enhanced Passenger Information

- Easy to understand
- Highlights level of service
- Instructions on how to use
- Shows fares with QR code
- Contact information



V.2402.7 AB501
Questions? Call 208-345-7433

FARES **STANDARD**
ESTÁNDAR

SINGLE RIDE PASE DE UN SOLO VIAJE	\$1.50	\$0.75
ALL-DAY PASS PASE DE TODO EL DÍA	\$2.50	\$1.25

ROUTE COLOR LEGEND
The route color means a bus comes every...
El color de la ruta significa que un autobús pasa cada...

	Morning	Midday	Evening
#	15 min	30 min	15 min
#	30-60 min	30-60 min	30-60 min
#	60 min	NO BUS	60 min

4 Franklin **5 Emerald**

MON-FRI LUN-VIE	BUS EVERY	MON-FRI LUN-VIE	BUS EVERY
6:30 am - 7:00 pm	60 min	6:15 am - 10:45 am	30 min
		10:45am - 3:15 pm	60 min
		3:15 pm - 6:15 pm	30 min
		SAT SÁB	BUS EVERY
		7:55 am - 3:50 pm	60 min

Towne Square Mall

- Barlister & Bethel
- Barlister & Allumbaugh
- Allumbaugh & Whisperwood
- Cassia & Troxel
- Curtis & Anna
- Curtis & Franklin
- Franklin & Philippi
- Franklin & Orchard**
- Rose Hill & Roosevelt
- Latah & Rose Hill
- Latah & Alpine
- Americana & Latah
- Americana & Ann Morrison Park
- Americana & Shoreline
- River & 15th**
- River & 13th
- River & Pioneer
- Capitol & River
- Main Street Station

Towne Square Mall

- Cole & Emerald
- Emerald & Raymond
- Emerald & Hartman
- Emerald & Curtis
- Emerald & Stanley
- Emerald & Garden
- Emerald & Roosevelt
- Americana & Latah**
- Americana & Ann Morrison Park
- Americana & Shoreline
- River & 15th**
- River & 13th
- River & Pioneer
- Capitol & River
- Main Street Station**

YOU ARE HERE

ETA Spot App
Track your bus in real time
Seguimiento del autobús

VRT Booking App
Schedule VRT On-Demand rides
Programar viajes VRT On-Demand

UMO Mobility App
Plan your trip, pay your fare
Participar en viajes, pagar el boleto

Want to learn more? Scan me!
¿Quieres saber más? ¡Escaneame!

Stay connected while you ride with free onboard WiFi.
Mantente conectado mientras viajas con la conexión Wi-Fi gratuita a bordo.

HOW TO RIDE

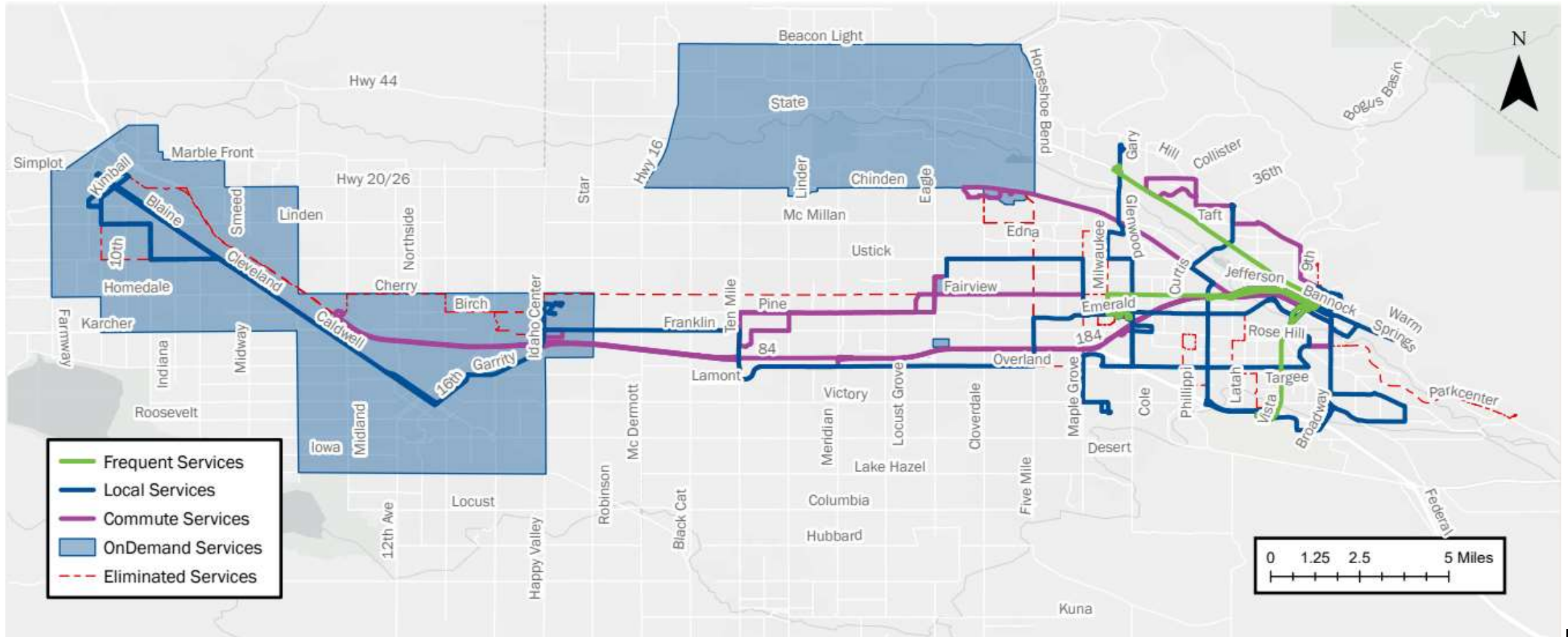
valley regional transit

Section 4, Item A.

FY2024-25 Service - Network

Population Served (1/4 mi)
Jobs Served (1/4 mi)

145,000 (-9%)
113,000 (-1%)



Overview of Transportation Services

FY2023 Services

- VRT Administrative Planning and services
- BEYOND ACCESS, a consolidation of services for older adults and persons with disabilities, supported
- Rides2Wellness



Section 4, Item A.

BLUEPRINT FOR CONNECTING MORE PEOPLE TO MORE PLACES MORE OFTEN

F R E E D O M T O
MOVE
valleyconnect2.0

ADOPTED APRIL 2018

Beyond Access Service Statistics

Service for:

- Older Adults and persons with a disability

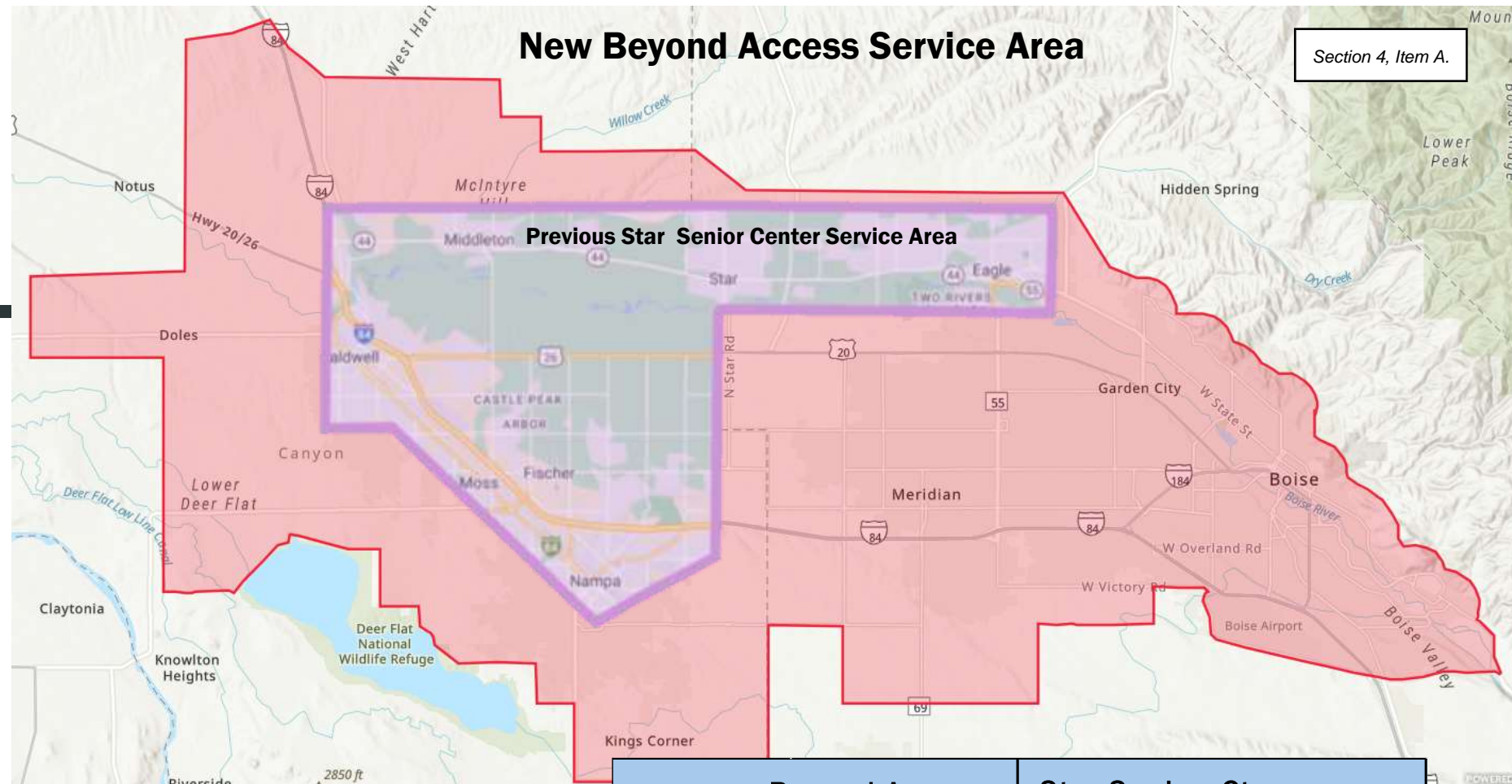
FY2023

49,492 Boardings overall

- Separate service providers with different service areas and hours.

FY2024 Services

- Consolidated to Beyond Access service zone
- Riders can now travel anywhere in service area
- Prebooked rides through one customer service line



Previous services supported with **\$80,446.55** from VRT, now part of Beyond Access services and budget

	Beyond Access		Star Senior Ctr	
Month	FY24	FY23	Variance	
January	91	124	-33	
February	120	122	-2	
March	149	130	19	
April	134	117	17	
May	169	158	11	
June	147	126	21	
Total	810	777	33	

R2W Service Statistics

- **FY2023**
 - 8,770 overall boardings
 - Ridership is up 124%
 - Non-Medicaid transportation
 - 48 participating clinics
 - Supported by local hospitals and federal funds
- **FY2024 Changes**
 - FY2024 ridership continues to grow
 - No proposed changes



FY2025 Budget Request

FY2025 VRT Proposed Budget

Allocation Formula

Total Expenses - Non-local revenues =
Local Need

Categorize costs (General, Service,
Capital, and Special)

- Allocate the costs based on
- Population/general costs
- Percent of revenue miles/service and capital costs

Star FY 2025 = \$18,996

Section 4, Item A.

FY2025 Proposed Budget Summary	Amount
Expenses	\$35,773,931
Directly Generated (Fares/Passes)	\$869,287
Federal Formula	\$18,493,964
Auxiliary (Bus wraps, City GO)	\$968,573
Sub Total Federal, Directly Generated and Aux. Revenues	\$20,331,825
Special Non-jurisdictional Local	\$1,910,738
Jurisdiction Local (General, Service, Capital and Special)	\$13,531,369
<i>Sub Total Local Revenues</i>	<i>\$15,442,107</i>
City of Caldwell Requested Share (included in total jurisdictional revenues)	\$18,996
Grand Total Revenues	\$36,773,931

FY2025 Budget Request

Local Cost Allocation Model

Type	Amount
General Assessment (calculated by regional share of the population)	\$11,812
Service Assessment (calculated by share of miles serving your jurisdiction)	\$0
Capital Assessment (calculated by share of miles serving your jurisdiction)	\$0
Special Assessment	\$7,184
Financial Reserve Contribution	
Total Request	\$18,996

FY2025 Funding Request

Request City of Star consider supporting a \$18,996 contribution to public transportation.

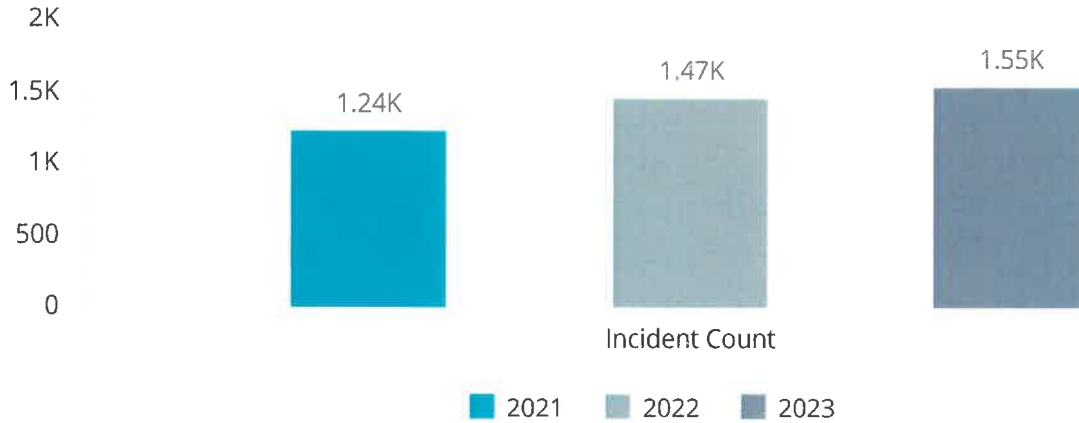
- Provides specialized service to older adults and those with disabilities, provides essential medical trips, this year there have been 810 Boardings in Star
- Leverages federal funding
- Growth Potential along Highway 44 or extend Eagle OnDemand

Thank you. Questions?
Elaine Clegg
eclegg@rideVRT.org

Mayor Report

YTD Count: **869** AVG Response Tim... **7.48** Acres Burned **4.91** Dollar Loss Total ... **22,800** | Total ... 20,000

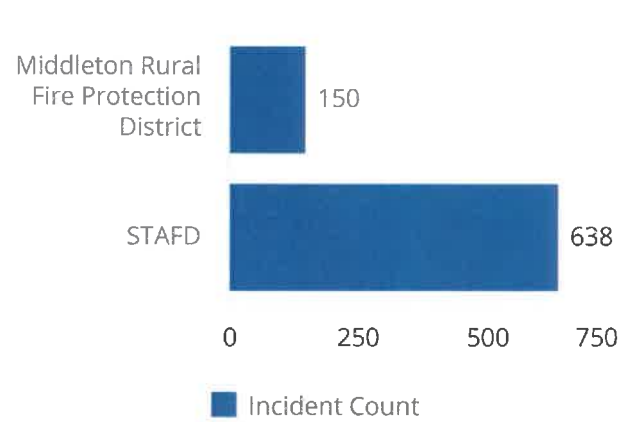
Incident Count By Year Group Comparison



Count By Specific Call Types

Incident Type Group	Count
100 - Fire	72
300 - Rescue & EMS	460
400 - Hazardous Condition	32
500 - Service Call	130
600 - Good Intent Call	112
700 - False Alarm	39
Other	24
Count	869

District (Star and Middleton Only)



Incident County by Month



Star Crime Types for June 2024

Persons Crimes		
DR	Statute Description	Victim Count
2024-00004830	DOMESTIC SIMPLE BATTERY	1
2024-00005088	BATTERY	3
2024-00005162	DOMESTIC SIMPLE BATTERY	1
2024-00005304	ASSAULT - MISD, THREATS	1
2024-00005382	STALKING 2ND DEGREE	1
2024-00005558	STALKING 2ND DEGREE	1
2024-00005595	STALKING FIRST DEGREE	1

Property Crimes		
DR	Statute Description	Offense Count
2024-00004830	VANDALISM MISD MALICIOUS INJURY TO PROPERTY	1
2024-00004957	VANDALISM FEL MALICIOUS INJURY TO PROPERTY	1
2024-00005043	SHOPLIFTING - WILLFUL CONCEALMENT GOODS	1
2024-00005306	VANDALISM FEL MALICIOUS INJURY TO PROPERTY	1
2024-00005540	FELONY STOLEN PROPERTY-POSSESSION THEFT BY	1
	VANDALISM FEL MALICIOUS INJURY TO PROPERTY	1
2024-00005617	PETIT THEFT - ALL OTHER THEFT	1

Society Crimes		
DR	Statute Description	Offense Count
2024-00004850	PARAPHERNALIA POSSESSION OF	1
	MARIJUANA - POSSESS LESS 3 OZ	1
2024-00004925	PARAPHERNALIA POSSESSION OF	1
	MARIJUANA - POSSESS LESS 3 OZ	1
2024-00005492	PARAPHERNALIA POSSESSION OF	1
	MARIJUANA - POSSESS LESS 3 OZ	1
2024-00005646	PARAPHERNALIA POSSESSION OF	1
	MARIJUANA - POSSESS LESS 3 OZ	1



June 2024 Police Report

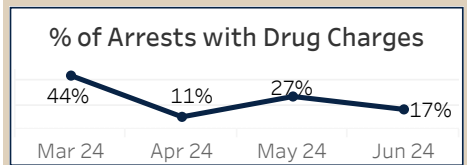
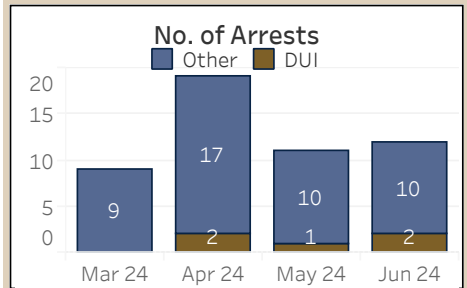
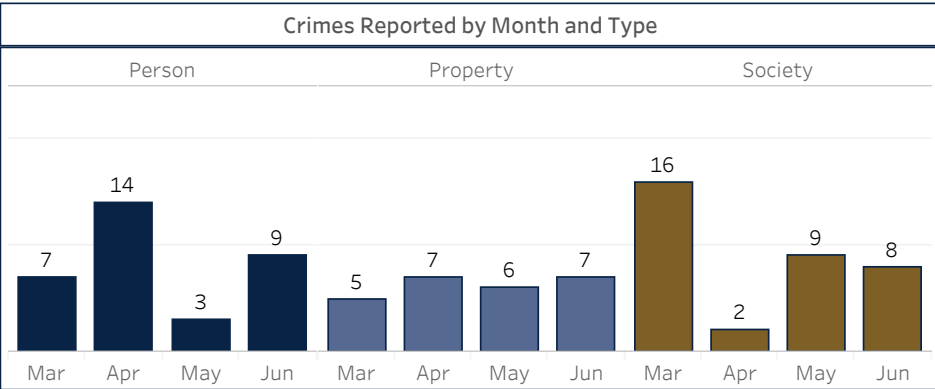
Release Date 2024-07-11

Offenses Reported¹

Types	2021	2022	2023	2024 YTD
Person	74	110	96	44
Property	59	92	117	32
Society	52	67	134	57
Total Crimes	185	269	347	133
Crimes/1,000 Pop	13.8	17.7	19.6	

Case Report Types

- Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
- Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
- Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations



Police Activity²

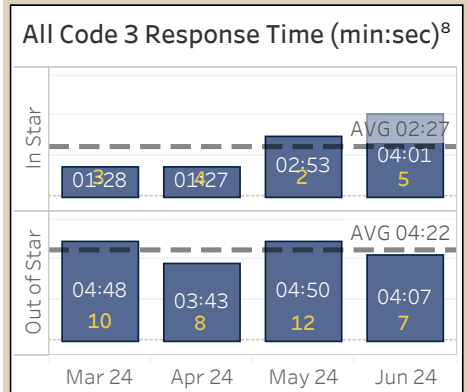
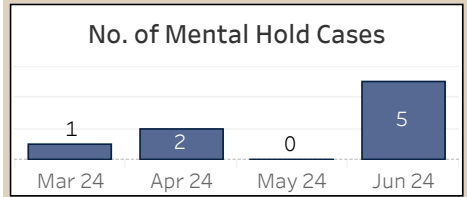
	2024 Monthly Avg ³	Mar 24	Apr 24	May 24	Jun 24	June 2023
Citizen Calls for Service (CFS)	296	267	335	364	337	337
Proactive Policing	1,875	2,034	1,959	1,998	1,632	1,358

Citations⁷

	Mar 24	Apr 24	May 24	Jun 24
Infraction	61	49	58	57
Misdemeanor	20	11	19	11

Select Call Types

	2024 Monthly Avg ³	Mar 24	Apr 24	May 24	Jun 24	June 2023
Crash Response	32	27	45	36	29	22
Crisis/Mental Health ⁴	12	10	17	10	11	9
Domestic Violence	5	4	5	3	10	4
Juvenile Activity	18	12	27	22	13	14
Location Checks ⁵	385	419	377	396	299	408
Property Crime Calls ⁶	15	15	18	16	18	18
School Checks	45	62	42	32	28	41
Traffic Stops	374	445	367	419	321	278
Welfare Checks	21	26	28	13	19	22



¹Offense Reports are compiled from NIBRS RMS. ²Police Activity reflects calls in the City of Star and all calls dispatched with a Star deputy. ³Monthly averages are based on all prior months of the current year. ⁴Calls are for Crisis/Mental Hold/Suicidal Subject/Attempted Suicide. ⁵Location checks include Construction Site, Property, and Security checks. ⁶Property Crime Calls include Theft, Vandalism, Burglary, Fraud. ⁷Infraction and Misdemeanor Citations issued by a Star deputy as listed in the current Patrol schedule. ⁸Code 3 Calls represent all incidents routed at Priority 3, where Priority 3 calls require an immediate emergency response.



For dates posted from 06/29/24 to 07/10/24

Claim/ Line #	Check Invoice #/Inv Date	Vendor #/Name/ Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3797	23449S	4 A & B LOCK AND KEY	56.00						
3	64968 07/09/24	Keys Duplicated - Freedom Park	56.00*			10 41540	435		10110
		Total for Vendor:	56.00						
3771	23409S	15 ACTION PLUMBING	650.00						
1	3087 07/01/24	Water Lines Drinking Fountain	650.00*			10 704 45110	738		10110
		Total for Vendor:	650.00						
3770	23411S	22 ADA COUNTY PROSECUTORS OFFICE	2,630.14						
1	Jul 2024 06/24/24	Prosecutions Contract	2,630.14*			10 42110	322		10110
		Total for Vendor:	2,630.14						
3795	-99813C	23 ADA COUNTY SHERIFF'S OFFICE	243,235.57						
1	122222 07/01/24	Police Services July 2024	243,235.57*			10 42110	365		10110
		Total for Vendor:	243,235.57						
3781	23450S	1616 ANGIE RODGERS	378.00						
1	06/25/24	Youth Pickleball Instruction	378.00*			10 44021	352		10110
		Total for Vendor:	378.00						
3791	23438S	1067 ANNIE PEW	1,410.73						
1	07/03/24	Community Fund	201.29*			10 44022	611		10110
2	07/03/24	Summer Camps	822.81*			10 104 44022	611		10110
3	07/03/24	Summer 2024 Grant	336.02*			10 301 44022	300		10110
4	07/03/24	Baking Camp	35.78*			10 102 44022	611		10110
5	07/03/24	Recreation Supplies	14.83*			10 44022	611		10110
		Total for Vendor:	1,410.73						
3776	23437S	1619 ASHLEY ROUNDS	1,500.00						
		FACE PAINTING							
1	001 06/05/24	FACEPAINTING	1,500.00*			10 50 46000	351		10110
		Total for Vendor:	1,500.00						

For dates posted from 06/29/24 to 07/10/24

Claim/ Line #	Check Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3628	23451S	1072 CIVIC PLUS	3,140.00						
For the period of 8/1/24 - 7/31/25									
1	305308	08/01/24 MuniDocs Sub/License Renewal	3,140.00*			10 42200	375		10110
Total for Vendor:			3,140.00						
3763	-99822C	231 DANA PARTRIDGE	2,963.00						
2	07/02/24	Services Jun 21 to Jul 5, 2024	2,963.00*			10 41810	351		10110
Total for Vendor:			2,963.00						
3772	23415S	254 DOG WASTE DEPOT	3,675.00						
1	717213	07/02/24 15 Add'l Dog Waste Stations	3,675.00*			10 708 45110	747		10110
Total for Vendor:			3,675.00						
3764	-99821C	302 FATBEAM LLC	3,292.50						
1	45731	07/01/24 Fiber Optic Internet Service	3,292.50*			10 42200	373		10110
Total for Vendor:			3,292.50						
3773	23418S	1428 FISHER'S TECHNOLOGY	298.68						
1	1349919	07/01/24 Copier City Hall	201.03*			10 41810	324		10110
0385									
2	1349920	07/01/24 Copier Rec Center	97.65*			10 41810	324		10110
Total for Vendor:			298.68						
3765	-99820C	325 GAMEFACE ATHLETICS	136.00						
1	319871	07/01/24 End Caps for Batting Cage	136.00*			10 711 45110	735		10110
Total for Vendor:			136.00						
3793	23440S	1152 GARRETT PARKS AND PLAY	17,270.00						
1	3673	07/02/24 Painting for Pickleball Court	17,270.00*			10 714 45110	738		10110
Total for Vendor:			17,270.00						
3794	-99814C	331 GEM STATE PAPER & SUPPLY COMPANY	469.08						
1	3092030	07/05/24 20-30 Gallon Bags	469.08*			10 41540	434		10110
Total for Vendor:			469.08						

For dates posted from 06/29/24 to 07/10/24

Claim/ Line #	Check Invoice #	Vendor #/Name/ #/Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3778	23442S	373 HORIZON	158.05						
1	3L232587	06/10/24 Trim Line/Safety Gas Can	158.05*			10 41540	434		10110
		Total for Vendor:	158.05						
3802	23452S	421 INTERMOUNTAIN GAS COMPANY	63.14						
1	*3000	1 07/02/24 City Hall	15.45*			10 41810	414		10110
2	*3000	2 07/02/24 B&G Shop-1310 N Little Camas	16.12*			10 41540	414		10110
3	*1000	1 07/02/24 Outreach Building	15.45*			10 41810	414		10110
4	*7251	2 07/02/24 Star Police Station	16.12*			10 42010	414		10110
		Total for Vendor:	63.14						
3796	-99812C	1609 KIMLEY-HORN AND ASSOCIATES, INC	43,345.00						
1	*0000-0324	03/31/24 Star Pathway Master Plan	38,920.00*			10 45110	741		10110
2	*0000-0524	05/31/24 Star Pathway Master Plan	4,425.00*			10 45110	741		10110
		Total for Vendor:	43,345.00						
3798	23453S	1597 LAKESHORE LEARNING MATERIALS	1,072.55						
2		Art Craft Materials Bundl	1,072.55*		33	10 302 44022	300		10110
		Total for Vendor:	1,072.55						
3792	23443S	1374 MADYSSON JUNGENBERG	696.71						
1		07/03/24 Moana Theatre Summer Camp	696.71*			10 104 44022	352		10110
		Total for Vendor:	696.71						
3790	23454S	605 MERIDIAN TROPHY	170.70						
1	M1949815	07/02/24 Golf Award and Plaque	170.70*			10 48520	841		10110
		Total for Vendor:	170.70						
3766	-99819C	635 MOUNTAIN ALARM	135.00						
1	4872241	07/01/24 Fire Alarm/Monitoring	92.50*			10 41810	344		10110
2	4872240	07/01/24 Security Backup/Monitoring	42.50*			10 41810	344		10110
		Total for Vendor:	135.00						

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Claim/ Line #	Check Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3777	23445S	1620 PRISTINE MEADOWS AT PAVILION	9,083.29						
1	01/01/21	2020 Shared Irrigation Cost	1,603.27*			10 41810	417		10110
2	01/01/22	2021 Shared Irrigation Cost	2,910.00*			10 41810	417		10110
3	01/01/23	2022 Shared Irrigation Cost	2,105.75*			10 41810	417		10110
4	01/01/24	2023 Shared Irrigation Cost	2,464.27*			10 41810	417		10110
		Total for Vendor:	9,083.29						
3767	-99818C	1238 ROYALTY ELECTRIC LLC	1,080.00						
1	24001-7	07/01/24 Phone Service July	1,080.00*			10 42200	373		10110
		Total for Vendor:	1,080.00						
3801	23455S	772 SHERWIN WILLIAMS	572.21						
1	5445-3	07/08/24 Paint and Paint Supplies	885.37*			10 41540	434		10110
2	5445-3	07/08/24 40% Discounts	-313.16*			10 41540	434		10110
		Total for Vendor:	572.21						
3784	23447S	1621 TARNA RAMSEY	10.55						
1	07/03/24	Reimburse Rec Supplies	10.55*			10 44022	611		10110
		Total for Vendor:	10.55						
3768	-99817C	949 WESTERN RECORDS DESTRUCTION	62.00						
		Services 06/01/24 - 06/30/24							
1	0703991	07/01/24 02-64 Gallon City Hall	62.00*			10 41810	411		10110
		Total for Vendor:	62.00						
3799	23456S	1451 WESTERN STATES EQUIPMENT CO	177.75						
1	002846495	07/05/24 Light Tower Rental/Fees	177.75*			10 41540	442		10110
		Total for Vendor:	177.75						
3800	23457S	960 WOODY'S OUTDOOR POWER INC	24.14						
1	148397	06/07/24 Wheel	24.14*			10 41540	433		10110
		Total for Vendor:	24.14						

For dates posted from 06/29/24 to 07/10/24

Claim/ Line #	Check Invoice #	Vendor #/Name/ Inv Date/Description	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object	Proj	Cash Account
3769	-99816C	1308 YOUNG ELEVATOR INC	150.00						
1	1175	06/28/24 Routine Service/Maintenance	150.00*			10 41810	431		10110
		Total for Vendor:	150.00						
		# of Claims	30	Total:	337,905.79	# of Vendors	20		
		Total Electronic Claims			294,868.15				
		Total Non-Electronic Claims			43037.64				

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **July 16, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Amazon Villas Subdivision
Files #' PP-24-02 Preliminary Plat

Applicant/Representative: Jay Walker, David Evans and Associates, Inc, 9175 W. Black Eagle Dr. Boise, ID 83709

Owner: Amazon Villas REF Acquisition LLC

Action: The Applicant is requesting approval of a Preliminary Plat (PP-24-02) for a proposed townhome development subdivision consisting of 94 single-family residential lots and one common lot for a total of 95 lots. The property is located at 7800 W Coyote Flats Lane in Star, Ada County, Idaho, and consists of 6.52 acres.

Property Location: The subject property is generally located north of State Highway 44 and east of N. Short Lane, Ada County Parcel No's. R3720000212, R3720000227 & R3720000232.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star, Planning and Zoning Department *Shen T. Muth*

MEETING DATE: July 16, 2024 – PUBLIC HEARING

FILE(S) #: PP-24-02 Preliminary Plat for Amazon Villas

OWNER/APPLICANT/REPRESENTATIVE

Applicant:

Taylor Cook
RainTree Investment Corp.
787 E. State Street, Ste. 155
Eagle, Idaho 83616

Owner:

Amazon Villas Ref Acquisition LLC
10421 S. Jordan Gateway, Ste. 200
South Jordan, Utah 84095

Representative:

Jay Walker
Dave Evans & Associates, Inc.
9175 W. Black Eagle Drive
Eagle, Idaho 83709

REQUEST

Request: The Applicant is requesting approval of a Preliminary Plat (PP-24-02) for a proposed townhome development subdivision consisting of 94 single-family residential lots and one common lot for a total of 95 lots. The property is located at 7800 W Coyote Flats Lane in Star, Ada County, Idaho, and consists of 6.52 acres. The density of the project is 14.41 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located north of State Highway 44 and east of N. Short Lane, Ada County Parcel No's. R3720000212, R3720000227 & R3720000232.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Mixed Use (MU-DA)	High Density Residential/Commercial	Vacant/ Private Street Constructed
Proposed	Mixed Use (MU-DA)	High Density Residential	Single Family Residential
North of site	High Density Residential (R-13) /Rural Urban Transition (RUT)	High Density Residential/Mixed Use	Amazon Falls Apts./Vacant Pasture
South of site	Residential (R-8)	Commercial	Eagle Christian Church
East of site	Rural Urban Transition (RUT)	Commercial	Single Family Residential/Agriculture
West of site	Mixed Use (MU)	Commercial	Wright Brothers HQ/Junction Falls Development

Existing Site Characteristics: The property is currently vacant with infrastructure (private streets, utilities) in place.

Irrigation/Drainage District(s): Middleton Mill Irrigation Association Inc.
 (south portion of parcel) P.O. Box 848
 Middleton, Idaho 83644
 (south portion of parcel) Pioneer Irrigation District
 P.O. Box 426
 Caldwell, Idaho 83606

Flood Zone: This property is not currently located in a Special Flood Hazard Area.
 FEMA FIRM Panel: 16001C0130J
 Effective Date: 6/19/2020
 Flood Zone: Zone X

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – None.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	February 15, 2024
Neighborhood Meeting Held	March 5, 2024
Application Submitted & Fees Paid	April 18, 2024
Application Accepted	April 18, 2024
Residents within 300' Notified	June 18, 2024
Agencies Notified	May 13, 2024
Legal Notice Published	June 21, 2024
Property Posted	June 27, 2024

HISTORY

June 19, 2018

Council approved applications for Annexation and Zoning (AZ-18-04), and Preliminary Plat (PP-18-04) for Amazon Falls Subdivision. During the hearing the Council tabled the southern portion of the subject property for the Owner and City staff to work out a development agreement for the site to include a majority of the acreage to be planned for commercial uses. The remainder is planned for high density residential use over 10 units per acre. with conditions protecting the City's recently), adopted Economic Corridor Access Management Plan, while taking into account the property owner's property rights and the City's goals and objectives for the area.

- November 20, 2018 Council approved the remaining portion of applications for Annexation and Zoning (AZ-18-04), and Preliminary Plat (PP-18-04).
- February 19, 2019 City signed the Development Agreement for Amazon Falls Subdivision. Property owners signed the DA on March 7 and 8, 2019 respectively.
- November 16, 2020 Council approved a Development Agreement Modification, adding the inclusion of ITD Proportionate Share fees.
- January 24, 2022 Council approved the second amendment to the original Development Agreement, including permitted uses on the site.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

(MU) MIXED USE DISTRICT: To provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated s Mixed Use. Development within this zone is to proceed through the PUD process unless a development agreement has already been executed for the particular property. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this zone may allow the development community to be more innovative in design and placement of structures subject to Council review and approval. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed0Use areas are not being used simply to justify high density residential use. Residential uses may be part of an overall mixed-use development that includes a non-residential component and may not exceed 30% of the overall size of the development.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.



ZONING DISTRICT USES	MU
Dwelling:	
Multi-family 1	C
Secondary 1	C
Single-family attached	C
Single-family detached	C
Two-family duplex	C
Live/Work Multi-Use 1	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height	Minimum Yard Setbacks			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
MU	35'	For MU and CBD – Unless otherwise approved by the Council as part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in the this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone. 3			
R-12 and higher	35'	15' to living area 20' to garage	15' 4' if alley load	0' for common walls 7.5' for single story 10'feet for multi-story	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
2. Each development is required to have at least one site amenity.
3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
 - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
 - b. Qualified natural areas;
 - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
 - d. A plaza.
2. Additions to a public park or other public open space area.



3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
- d. Additional open space in excess of 5% usable space.

- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-3: PRELIMINARY PLAT PROCESS

- A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.
- B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.
- C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. Any unresolved access or traffic generation issues related to ACHD or ITD regulated roadways shall be resolved by the applicant prior to acceptance of any application. A letter from the appropriate transportation agency or servient property owner shall be submitted with the application.
- D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

- 1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance

with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty four inches by thirty six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.

2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.
3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
 - h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;

- l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and concerns and how the development has been designed to address those concerns;
 - p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

- c. F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Mixed Use

Generally suitable for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific area designated as Mixed Use. See Mixed Use Implementation Policies for specific criteria. Development within this land use designation is to proceed through the PUD and/or development agreement process.

Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this land use designation will allow the development community to be more innovative in design and placement of structures. Development design guidelines should also be established to guide development within mixed-use areas. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Preserve the family friendly feel of Star.
- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.7 Policies Related Mostly to the Mixed-Use Planning Areas:

- A. Council, at their sole discretion, shall determine what mix of uses are appropriate for any mixed-use area considering existing property owners rights.
- B. Development within the Mixed-Use Designation is to proceed through the CUP, PUD, and/or Development Agreement process, and a concept plan must be included with any such proposed use.
- C. In general, mixed-use areas along state highways should be predominantly commercial with a very minor component of residential unless the residential is placed on upper floors as part of a mixed-use building.
- D. Mixed use areas along state and U.S. Highways where direct access to the state highway is prohibited, like along State Highway 16 between State Highway 44 and US Highway 20/26, should be predominately residential with a minor component of neighborhood commercial, or light industrial if sufficient roadway access, by means of backage or other roads, to the State Highway is provided.
- E. Mixed use areas located between commercial and residential land use designations are to provide a compatible transition between the higher intensity use of commercial and the lower intensity use of Neighborhood Residential. Uses for these mixed-use areas could include multi-family housing and or office related uses if determined by the Council through the public hearing process, to be appropriate.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the

developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

PRELIMINARY:

The applicant is requesting that the originally approved multi-family dwelling development known as Amazon Falls No 2, approved in 2018, and subsequently approved as part of Zoning Certificate ZC-21-07 in 2021, be platted as a single-family attached development. The single-family attached housing was previously approved as part of the original development approval, therefore, a conditional use permit is not required.

The new preliminary plat submitted contains 94 single-family attached residential lots and 1 common lot on a total of 6.52 acres with a proposed density of 14.42 dwelling units per acre. All lots will have access and frontage from private streets that have already been installed and names approved by Ada County. Each unit has also had addresses assigned by Ada County as this development was previously approved to be attached rental units. This new plat will not negatively affect the addressing. The attached residential lots range in size from 902 square feet to 1,496 square feet with the average buildable lot being 1,220 square feet. All private streets were built as previously approved.

The application has indicated that the proposed overall usable open space provided is 1.73 acres (26.5%), satisfying the minimum requirement of 10% usable open space. Amenities include a large, grassy park area and walking paths throughout the development.

ADDITIONAL DEVELOPMENT FEATURES:

- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. Streetlights are already installed per previous approval and meet City Standards.
- Street Names
The applicant has provided documentation from Ada County that the street names are acceptable and have been approved.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one



deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements.

- **Setbacks – The applicant is requesting that setbacks be applied to this development similar to the previously approved development. This includes zero-lot-lines and minimum 10’ side yard setbacks between buildings.**
- Mailbox Cluster – Applicant has provided approval from the Eagle Postmaster for the location of the mailbox clusters in the parking lot of the park area. The mailbox cluster shall be covered with an architectural structure.
- Original ITD Proportionate Shares – ITD originally requested \$88,438.00 in proportionate shares, including \$84,000.00 for State Highway Improvements, and \$4,438.00 for the future Palmer Road signal. This requirement shall be included as part of the conditions of approval for the preliminary plat.
- Addressing – The applicant shall work with Ada County regarding addressing the new residential lots.

AGENCY RESPONSES

ACHD	June 21, 2024
ITD	May 13, 2024
Pioneer Ditch Company	May 20, 2024

PUBLIC RESPONSES

No public comments have been received.

STAFF RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed revised preliminary plat application as requested, and with proposed conditions of approval, meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval and proposed waivers, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

- 1. The plat is in compliance with the Comprehensive Plan.
The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:
 - 1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 - 2. *Managing urban sprawl to protect outlying rural areas.*
- 2. Public Services are available or can be made available and are adequate to accommodate the proposed development.
The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.
- 3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
- 4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
- 5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

CONDITIONS OF APPROVAL

- 1. The approved Preliminary Plat for the Amazon Villas Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
- 2. **As per the development agreement, the owner agrees to pay \$88,438 traffic mitigation fee as required by the Idaho Transportation Department to include**

\$4,438 for the future Palmer Road signal, and \$84,000 for the SH-16/SH-44 interchange. This shall be paid directly to the City of Star prior to signature of final plat or at building permit for the individual buildings.

3. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association
4. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
5. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. Failure to comply with the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
6. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
7. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
8. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
9. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
10. A letter from Ada County shall be provided approving the street names in the development and all names shall be reflected correctly on all pages of the final plat, before the mylar will be signed.
11. **The Applicant shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application. The UDC Section 8-4D-3-C states the applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review.**
12. Private streets shall be maintained by the Homeowners Association.
13. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.

- 14. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions, or as stated herein.
- 15. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 16. All common areas shall be owned and maintained by the Homeowners Association.
- 17. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 18. A sign application is required for any subdivision signs.
- 19. Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

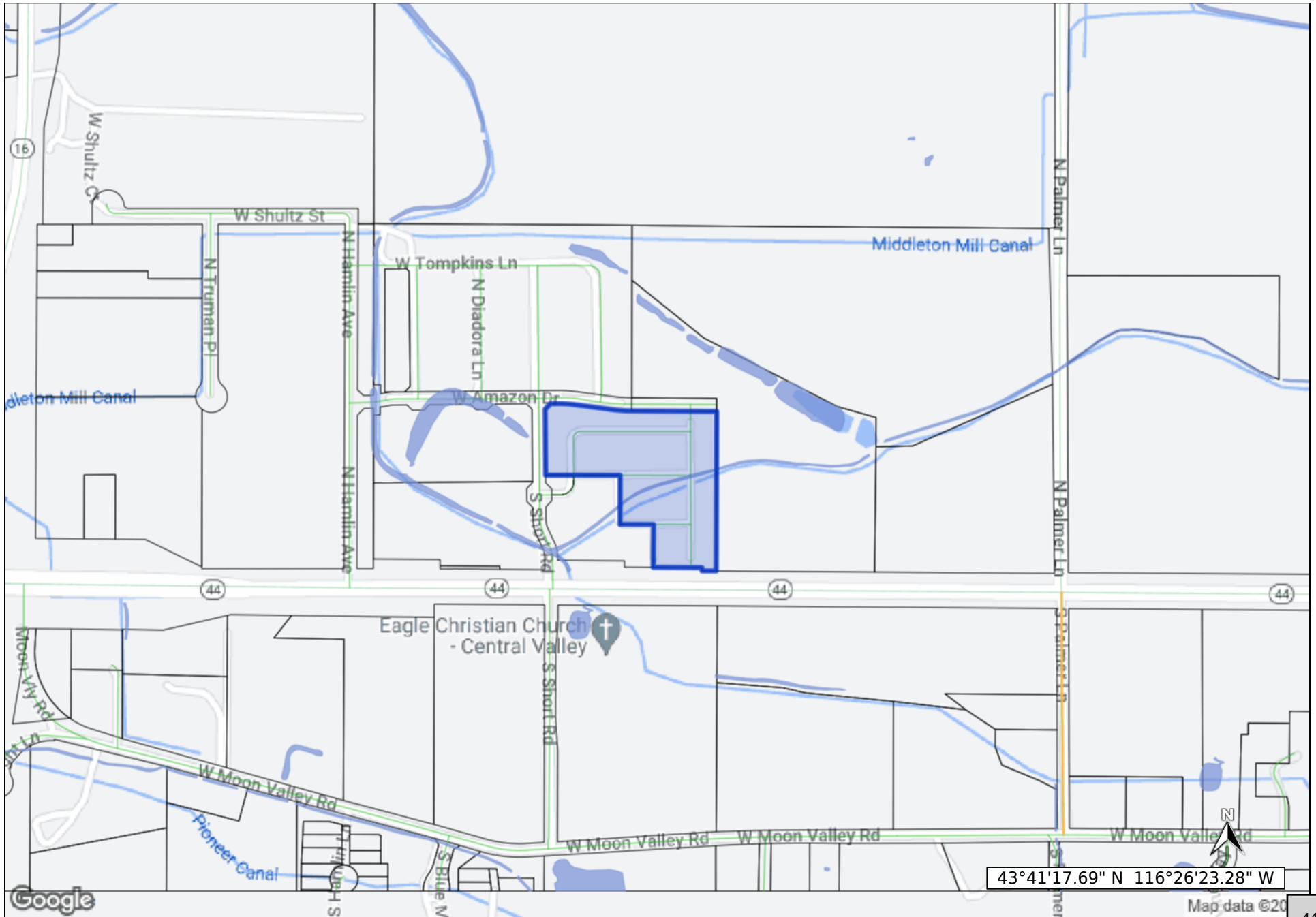
The Star City Council _____ File Number PP-24-02 for Amazon Villas Subdivision on _____, 2024.



Amazon Villas Subdivision

Vicinity Map

Section 6, Item A.





**DAVID EVANS
AND ASSOCIATES INC.**

April 4, 2024
Project No.: RTICAVRA-2082

City of Star
Planning and Zoning
10769 W. State St.
Star, ID 83669

**RE: Amazon Villas Subdivision
Preliminary Plat Application**

Dear Planning Director:

On behalf of Amazon Villas Ref Acquisition, LLC, we are pleased to present the attached Preliminary Plat application for Amazon Villas Subdivision.

The subject property is located at 7800 W Coyote Flats Lane and can be identified as parcel number R3720000212. The purpose of this request is to create a townhome development comprised of ninety-four (94) single-family residential lots and one (1) common lot, for a total of ninety-five (95) lots.

The subject site contains existing road paving, curb and gutter installations, pressure irrigation services, as well as utility installations, as shown on the attached preliminary plat. All proposed lots will be serviced by central sewer and water provided by Star Sewer and Water District. The development will contain private irrigation facilities owned and maintained by the HOA. The proposed development is in conformance with City of Star’s comprehensive plan and city code requirements.

Should you have any questions on any of the application materials or require further information, please contact me.

Sincerely,
David Evans and Associates, Inc.

Amanda Wiemiller
Project Coordinator
amwi@deainc.com



PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: PP-24-02
 Date Application Received: 04/18/2024 Fee Paid: \$4960.00
 Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Taylor Cook - RainTree Investment Corporation
 Applicant Address: 787 E. State Street, #155, Eagle Idaho Zip: 83616
 Phone: 858.500.6786 Email: tcook@raintree.us.com

Owner Name: AMAZON VILLAS REF ACQUISITION LLC
 Owner Address: 10421 S JORDAN GATEWAY # 200, SOUTH JORDAN, UT Zip: 84095
 Phone: _____ Email: tcook@raintree.us.com

Representative (e.g., architect, engineer, developer):
 Contact: Jay Walker Firm Name: David Evans and Associates, Inc.
 Address: 9175 W Black Eagle Dr, Boise Idaho Zip: 83709
 Phone: 986.210.8101 Email: jay.walker@deainc.com / amwi@deainc.com

Property Information:

Subdivision Name: Amazon Villas Subdivision (fka Amazon Falls Sub No. 2)
 Site Location: 7800 W COYOTE FLATS LN
 Approved Zoning Designation of Site: MU
 Parcel Number(s): R3720000212

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	MU	Mixed Use	Mixed Use
Proposed	MU	Mixed Use	Mixed Use
North of site	R-13	High Density Residential	High Density Residential
South of site	MU	Mixed Use	Mixed Use
East of site	RUT	Residential	Residential
West of site	MU	Mixed Use	Mixed Use

SITE DATA (to be noted on the Preliminary Plat):

Total Acreage of Site - 6.52 ac
 Breakdown of Acreage of Land in Contiguous Ownership - 6.52 ac
 Total Acreage of Site in Special Flood Hazard Area - 0.0 ac
 Dwelling Units per Gross Acre (Density) - 14.42 du/ac
 Minimum Lot Size - 861.0 sq. ft.
 Minimum Lot Width - 1,220.7 sq. ft.

Total Number of Lots - 95
 Residential - 94
 Commercial - _____
 Industrial - _____
 Common - 1

Total Number of Residential Units - 94
 Single-family - 94 townhomes
 Duplex - _____
 Multi-family - _____

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -
62.7% % / 4.08 acres
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -
26.5% % / 1.73 acres
 Percent of Common Space to be used for drainage - 10.3% / 0.42 ac
 Describe Common Space Areas (amenities, landscaping, structures, etc.) –
Park, Walking Paths, Landscape Areas

Public Streets - n/a Private Streets - all 7 streets
 Describe Pedestrian Walkways (location, width, material) - n/a
 Describe Bike Paths (location, width, material) - n/a

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - 0.0 ac - not in flood zone

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.:
 FIRM effective date(s): mm/dd/year
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.:
 Base Flood Elevation(s): AE ____ .0 ft., etc.:

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer and Water District
 Irrigation Water- Private - HOA owned
 Sanitary Sewer- Star Sewer and Water District
 Fire Protection - Star Fire Protection District
 Schools - West Ada School District
 Roads - ACHD

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - no Floodplain - no
 Evidence of Erosion - no Fish Habitat - no
 Historical Assets - no Mature Trees - no
 Riparian Vegetation - no Steep Slopes - no
 Stream/Creek - no Unstable Soils - no
 Unique Animal Life - no Unique Plant Life - no

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	NO
X	Completed and signed Preliminary Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Narrative explaining the project. (must be signed by applicant)	BN
X	Legal description of the property (word.doc and pdf version with engineer's seal)	
X	Recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
X	Approval of the proposed subdivision name from Ada County Surveyor's office.	
X	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
X	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
X	Electronic copy in pdf. format of Preliminary Plat	BN

X	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
X	Electronic copy in pdf. format of landscape plan	
X	Electronic copy in pdf. format of preliminary site grading & drainage plans	
n/a	Phasing plan shall be included in the application if the project is to be phased.	
X	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
X	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	
noted; will provide	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
n/a	Special Flood Information – Must be included on Preliminary Plat and Application form.	
X - on PP	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	
X	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
X	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	
noted; will provide	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
X	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



 Applicant/Representative Signature

4/17/24

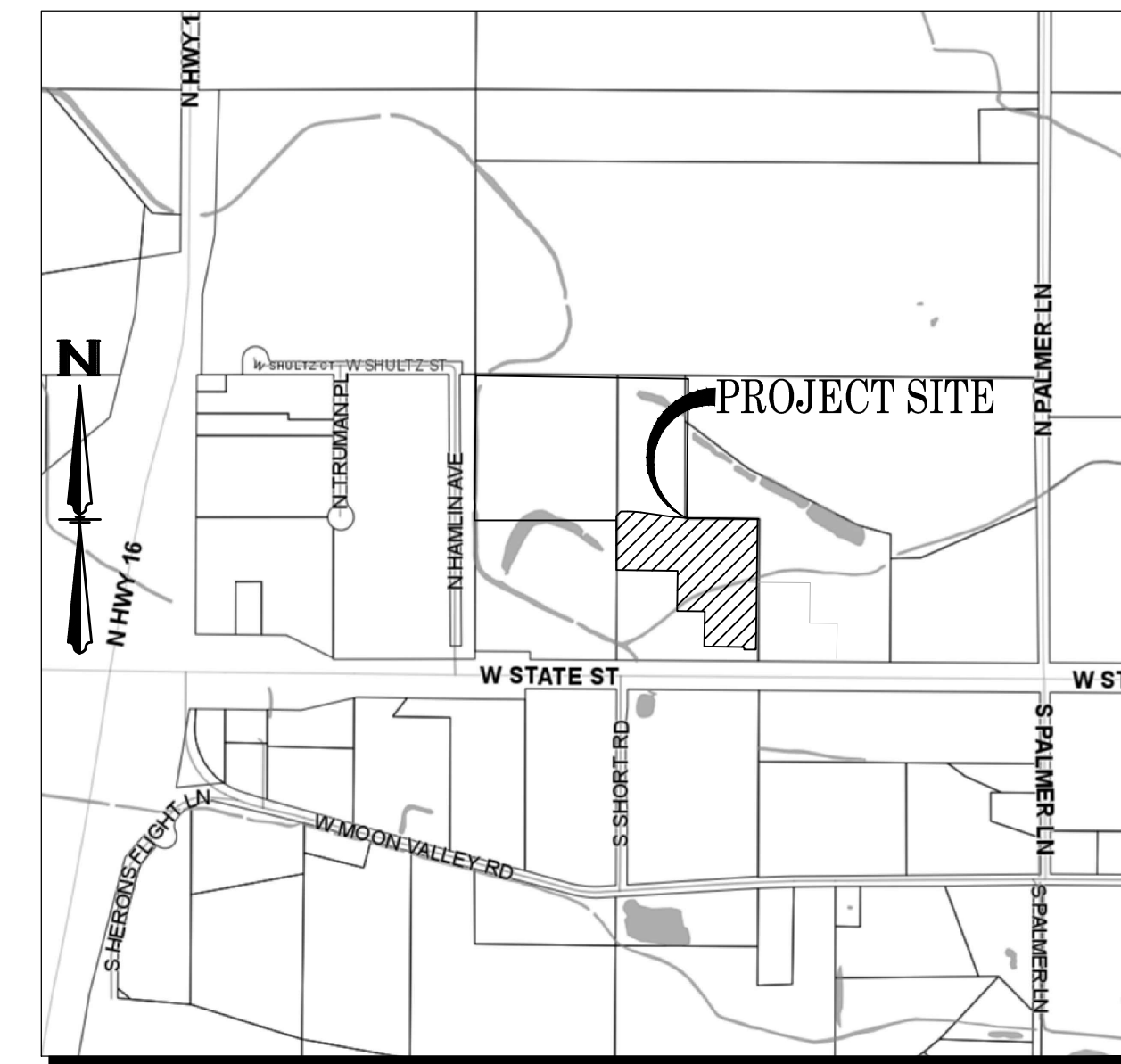
 Date

SITE PLAN FOR AMAZON FALLS SUBDIVISION NO. 2

A PARCEL OF LAND LOCATED IN THE SW 1/4 OF THE SW 1/4 SECTION 10,
T.4N., R.1W., B.M., CITY OF STAR, ADA COUNTY, IDAHO
2021

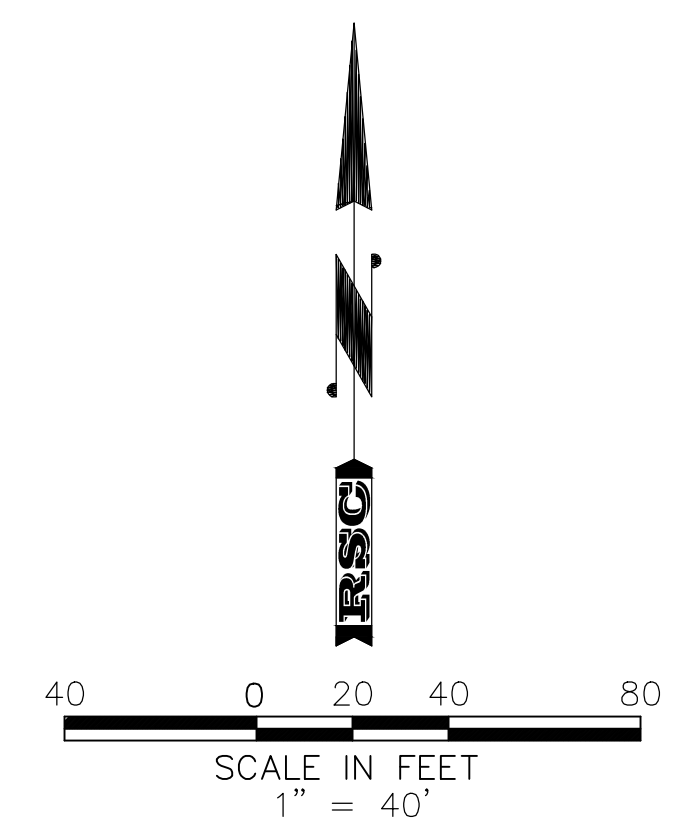


ORIGINAL
MULTI-FAMILY
DWELLING
APPROVED
SITE PLAN 2021



VICINITY MAP
1" = 800'

GENERAL DESCRIPTION:
THE DEVELOPMENT CONSISTS OF (94) TWO-STORY TOWNHOME UNITS ON 1 LOT APPROXIMATELY 6.4 ACRES.
ZONING - MU W/DA
APPLICANT:
RAINTREE INVESTMENT CORPORATION
2753 CAMINO CAPISTRANO, A201
SAN CLEMENTE, CA 92672
REPRESENTATIVE:
TAYLOR COOK
RAINTREE INVESTMENT CORP
2753 CAMINO CAPISTRANO, A201
SAN CLEMENTE, CA 92672
RESIDENTIAL PROJECT SUMMARY:
(94) 3 BEDROOM UNITS
MINIMUM SF OF STRUCTURE - 1,513 SF (LIVABLE - 1,277 SF / GARAGE - 236 SF)
MAX BUILDING HEIGHT - 28'
GROSS DENSITY - 14.77 UNITS PER ACRE
MINIMUM PROPERTY SIZE - 1,513 SF (SAME AS ABOVE)
AVG PROPERTY SIZE - 1,513 SF (ALL UNITS ARE SAME SF / HALF ARE REVERSE FLOOR PLANS)
QUALIFIED OPEN SPACE - 2.16 ACRES
UNIT PARKING - 94
GUEST PARKING - 111
BICYCLE PARKING - 9
AMENITIES PROVIDED - SHARED CLUBHOUSE AND FACILITIES WITH AMAZON FALLS PH 1. ADDITIONAL COMMUNITY PARK, BBQ AREA, AND LANDSCAPED COMMUNITY WALK WAYS TO BE BUILT IN PH 2
TYPE OF DWELLING PROPOSED: TOWNHOUSE
NOTE:
1. CONCEPT LAYOUT IS PROVIDED BY MOMENTUM DEVELOPMENT GROUP.
2. EASEMENTS ARE AS SHOWN. SEE ALTA FOR SPECIFIC EASEMENTS.
SETBACKS ARE AS SHOWN PER CONCEPT LAYOUT. PROVIDED BY OTHERS.



Revisions	Date	Description
1		
2		
3		
4		



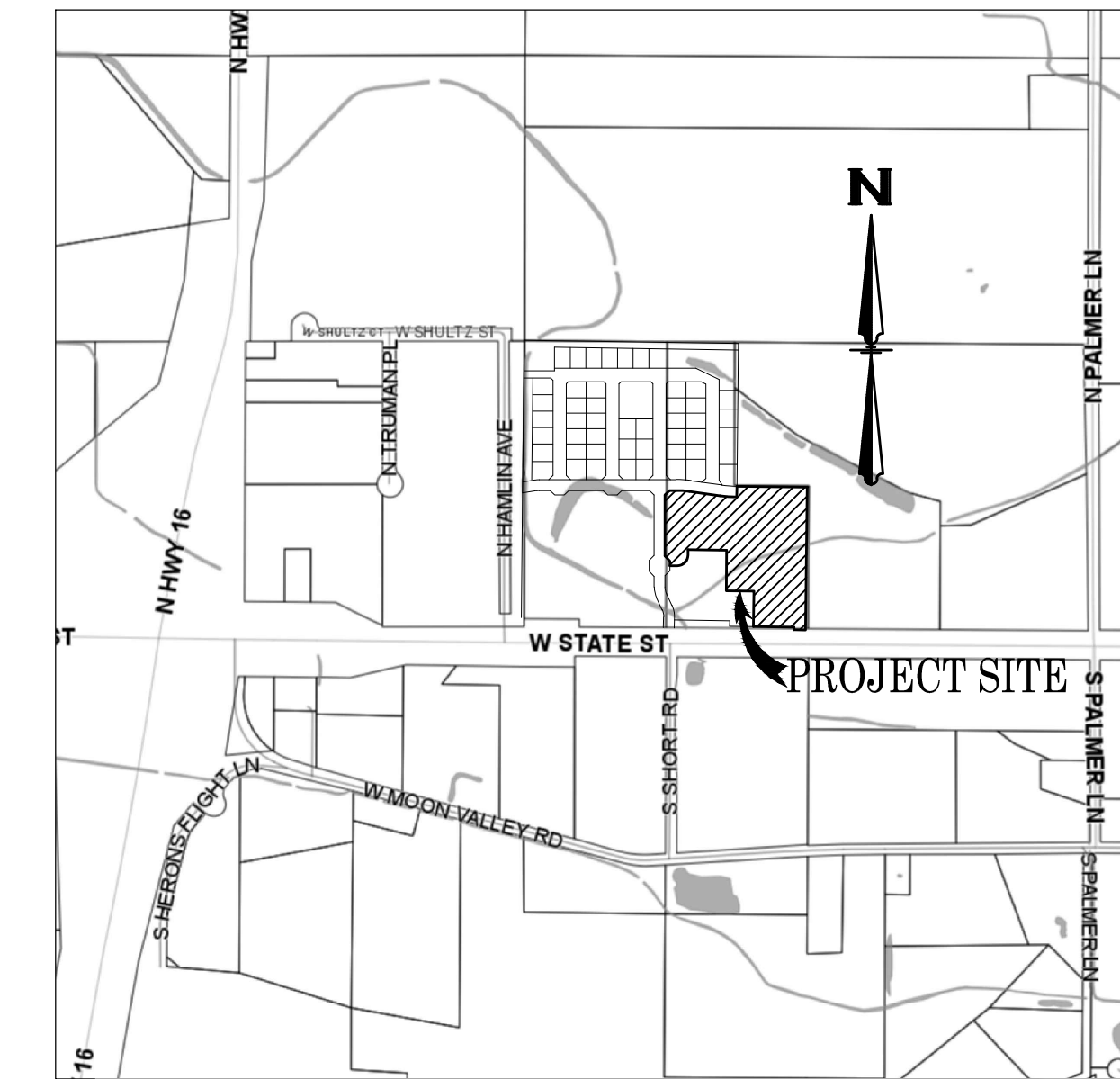
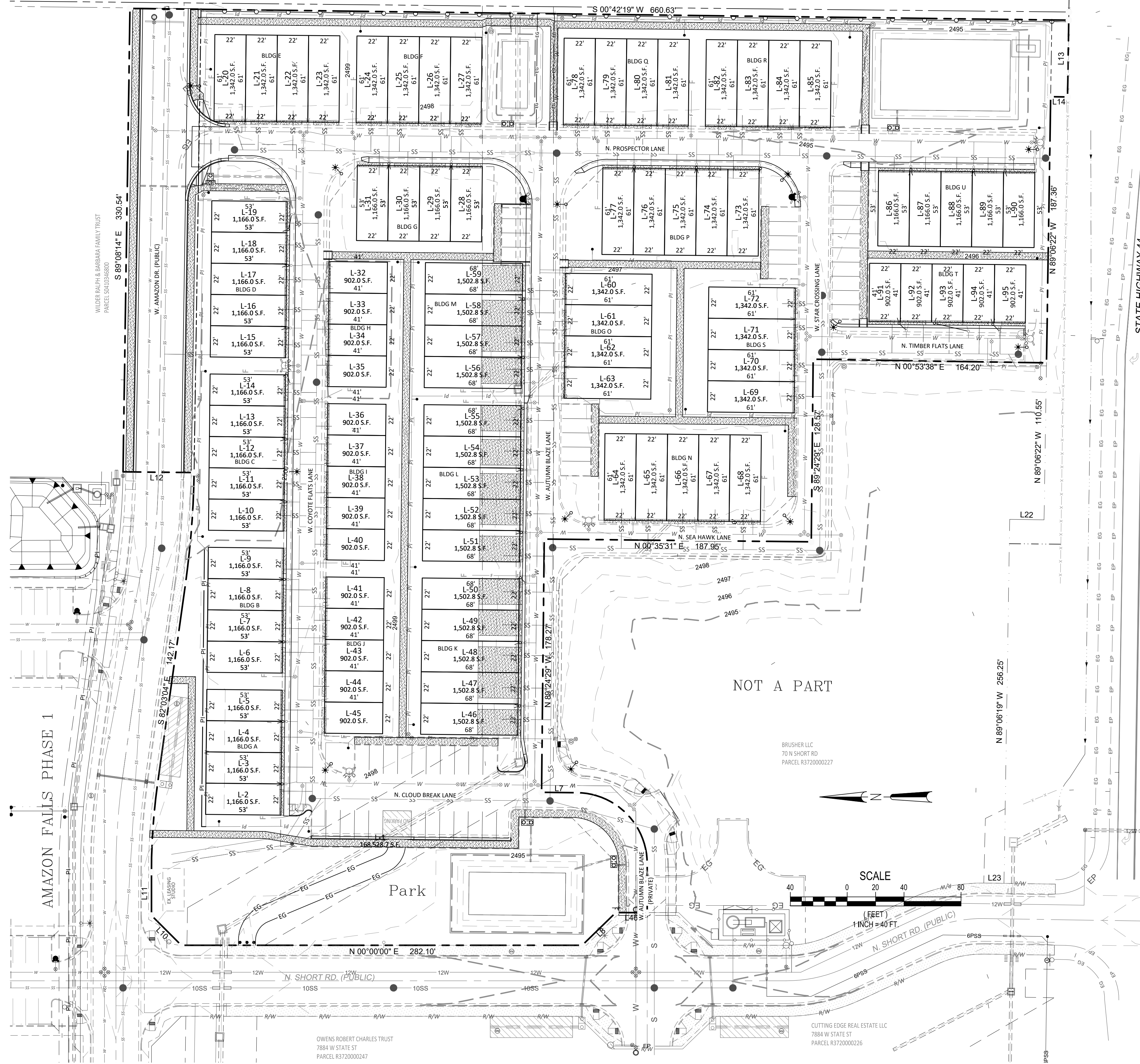
REUSE OF DRAWINGS
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF ROCK SOLID CIVIL LLC AND IS NOT TO BE USED IN WHOLE OR PART FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF ROCK SOLID CIVIL LLC.

AMAZON FALLS SUBDIVISION NO. 2
SITE PLAN

Project Name	Project No.	RSC 20-82
Sheet Name	Drawn By:	RLC
Stamp	Date:	7 May 2021
	Sheet No.	C1
		1 of 1

PRELIMINARY PLAT FOR
AMAZON VILLAS SUBDIVISION
A PARCEL OF LAND LOCATED IN THE SW 1/4 OF THE SW 1/4 SECTION 10,
T.4N., R.1W., B.M., CITY OF STAR, ADA COUNTY, IDAHO
2024

WILLIAM RALPH & BARBARA FAMILY TRUST
7320 W STATE ST
PARCEL 50410346800



NAVD 88 DATUM VICINITY MAP
1" = 800'

GENERAL LEGEND

[Symbol]	BOUNDARY LINE
[Symbol]	LOT LINE
[Symbol]	ACCESS & S&SW UTILITY EASEMENT
[Symbol]	ACHD EASEMENT
[Symbol]	RELOCATED CURB & GUTTER
[Symbol]	NEW EDGE OF PAVEMENT
[Symbol]	NEW EDGE OF GRAVEL
[Symbol]	RELOCATED PRESSURE IRRIGATION
[Symbol]	NEW FENCING
[Symbol]	RELOCATED FIRE HYDRANT
[Symbol]	NEW STREET LIGHT
[Symbol]	RELOCATED WATER METER CAN
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING PRESSURE IRRIGATION
[Symbol]	WISERVICE
[Symbol]	EXISTING FIRE SERVICE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GROUND CONTOUR

DEVELOPMENT FEATURES:

TOTAL ACRES.....	6.51
TOTAL LOTS.....	95
BUILDABLE LOTS.....	94
EXISTING ZONING (ADA COUNTY).....	MU
PROPOSED ZONING (CITY OF STAR).....	MU
MINIMUM LOT SIZE.....	902.0 sq.ft.
AVERAGE LOT SIZE.....	1,220.7 sq.ft.
PERCENT OF SITE/TOTAL COMMON AREA.....	62.7%/4.08 AC
PERCENT OF COMMON AREA/AREA USED FOR DRAINAGE.....	10.3%/0.42 AC
PERCENT OF COMMON AREA/AREA USED FOR UTILITY.....	
INGRESS/EGRESS EASEMENT.....	47.3%/1.93 AC
PERCENT OF SITE & TOTAL USABLE OPEN SPACE.....	26.5%/1.73 AC
COMMON SPACE AREAS:	PARK/TOT LOT WALKING PATHS, LANDSCAPE AREAS

SITE DATA:

26-FT DRIVES (PRIVATE):
N. PROSPECTOR LANE
W. COYOTE LANE
W. AUTUMN BLAZE LANE
N. CLOUD BREAK LANE
N. TIMBER FLATS LANE

23-FT DRIVES (PRIVATE):
N. STAR CROSSING LANE
N. SEA HAWK LANE
(ALL PRIVATE STREETS
ARE FIRE LANE DESIGNATION)

BUILDING DATA:

ALLEY LOADED PRODUCT
2-CAR GARAGE
33' x 22' x 40' (BLDG H,I,J,K,L,M,T) 3-STORY (35')
27' x 22' x 52' (BLDG A,B,C,D,G,U) 2-STORY (24'-26')
34' x 22' x 60' (BLDG E,F,N,O,P,Q,R,S) 2-STORY (24'-26')
MINIMUM BUILDING SEPARATION: 12' 0"

NOTES:

1. ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THAT TIME.
2. ALL PROPOSED BUILDABLE LOTS WILL BE SERVED WITH CENTRAL WATER AND SEWER BY STAR SEWER AND WATER DISTRICT.
3. IRRIGATION WATER HAS BEEN PROVIDED FROM THE LITTLE PIONEER DITCH COMPANY IN COMPLIANCE WITH IDAHO CODE 31-3805(1)(b). THE PRESSURIZED IRRIGATION SYSTEM SHALL BE OWNED AND MAINTAINED BY THE OWNER'S ASSOCIATION FOR AMAZON FALLS SUBDIVISION. LOTS WITHIN THE SUBDIVISION WILL BE ENTITLED TO IRRIGATION RIGHTS, AND WILL BE OBLIGATED FOR ASSESSMENT FROM THE PIONEER DITCH COMPANY.
4. THIS SUBDIVISION IS SUBJECT TO THE TERMS OF AN DRAINAGE DISTRICT NO. 2 LICENSE AGREEMENT RECORDED AS INSTRUMENT NO. 2020-140577, RECORDED OF ADA COUNTY, IDAHO.
5. THIS DEVELOPMENT RECOGNIZES SECTION OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: NO AGRICULTURE OPERATION, AGRICULTURE FACILITY OR EXPANSION THEREOF SHALL BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NON-AGRICULTURE ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURE OPERATION, AGRICULTURE FACILITY OR EXPANSION THEREOF.
6. LOT 1 IS SUBJECT TO A BLANKET PUBLIC UTILITIES AND ACCESS EASEMENT.
7. ALL ONSITE LANDSCAPING WILL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION (HOA). LANDSCAPE IRRIGATION SHALL BE BY AMAZON FALLS HOA PUMP STATION VIA SURFACE WATER RIGHTS.
8. STORMWATER SHALL BE RETAINED ONSITE VIA SURFACE/SUBSURFACE STORMWATER MANAGEMENT FACILITIES.
9. THE DEVELOPMENT OF THIS PROPERTY SHALL BE IN COMPLIANCE WITH STAR CITY CODE.
10. BUILDING SETBACKS AND DIMENSIONAL STANDARDS IN THE SUBDIVISION SHALL BE IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS OR AS SPECIFICALLY APPROVED BY THE CITY OF STAR AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT.

UTILITY REPRESENTATIVES

UTILITY	REPRESENTATIVE	PHONE
GAS	INTERMOUNTAIN GAS	(208) 377-6839
ELECTRICITY	IDAHO POWER	(208) 388-6320
TELEPHONE	CENTURY LINK	(208) 385-2144
SEWER	STAR SEWER & WATER DISTRICT	(208) 286-7388
WATER	STAR SEWER & WATER DISTRICT	(208) 286-7388
ROADS	ADA COUNTY HIGHWAY DISTRICT	(208) 454-8135
IRRIGATION	PIONEER DITCH COMPANY	(208) 459-3617
FIRE	STAR FIRE DISTRICT	(208) 286-7772

OWNER/DEVELOPER TAYLOR COOK RAIN TREE INVESTMENT CORPORATION 787 E. STATE STREET #155 EAGLE, ID 83616 (858) 500-6786 tcook@raintree.us.com	LAND SURVEYOR LADD CLUFF, P.L.S. DAVID EVANS AND ASSOCIATES, INC. 9175 W. BLACK EAGLE DRIVE BOISE, ID 83708 (208) 900-9049 ladd.cluff@deainc.com	CIVIL ENGINEER DERRITT KERNER, P.E. DAVID EVANS AND ASSOCIATES, INC. 9175 W. BLACK EAGLE DRIVE BOISE, ID 83708 (208) 900-9049 CONTACT: KEN NGUYEN/JAY WALKER
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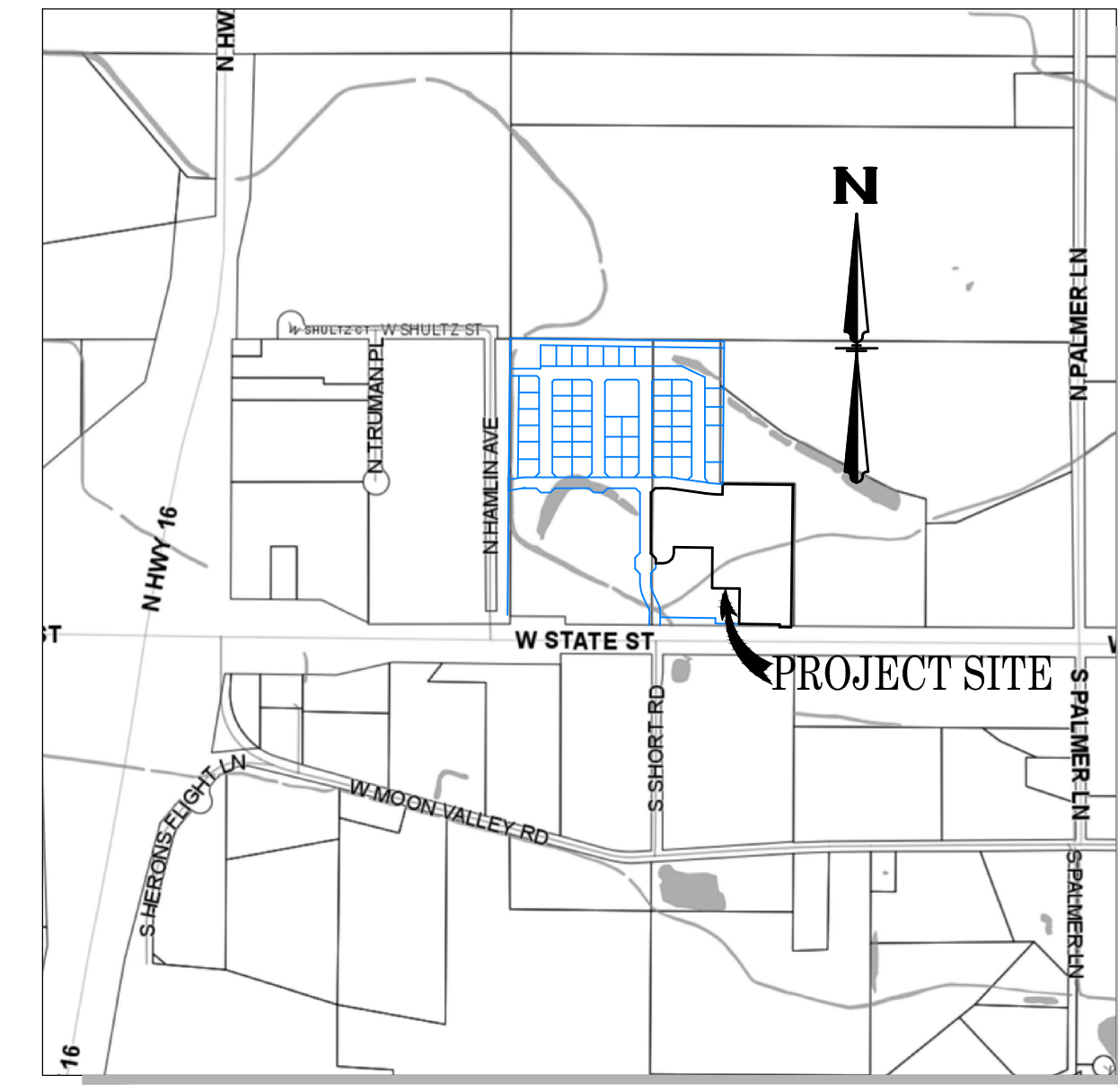
DAVID EVANS AND ASSOCIATES INC.
9175 W. Black Eagle Dr
Boise, ID 83709
Phone: 208.900.9049

PRELIMINARY PLAT FOR
RAIN TREE INVESTMENT CORPORATION
TAYLOR COOK
AMAZON VILLAS SUBDIVISION
STAR

REVIEWED BY: [Signature]
DATE: [Date]
BY: OK

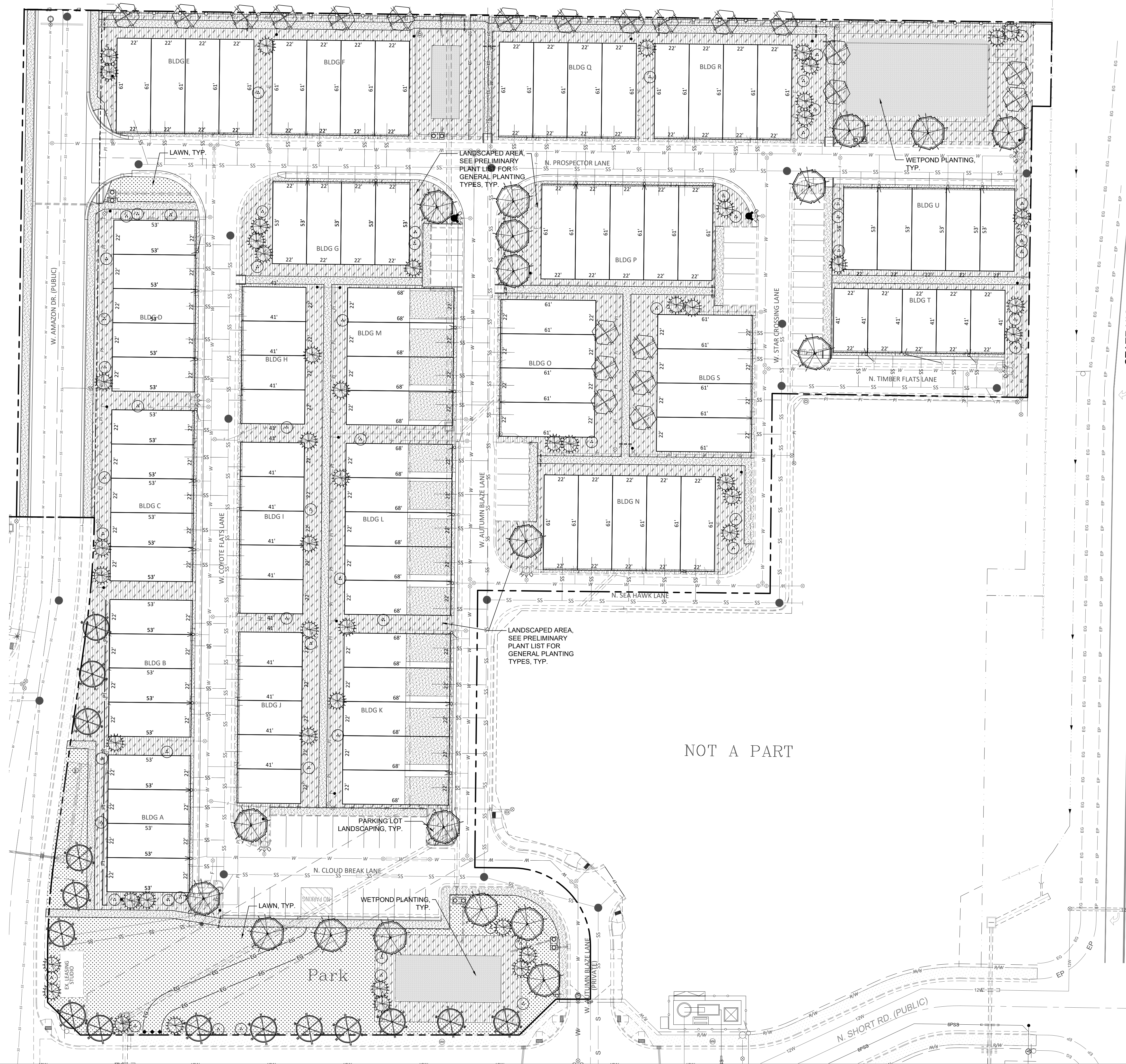
PROFESSIONAL ENGINEER
LICENSED
7887
1-1-24
STATE OF IDAHO
DERRITT KERNER

CHECKED BY: KN
DESIGNED BY: RLC
DRAWN BY: RLC
FIRST SUBMITTAL DATE:
PROJECT NO.
RTICAVRA-2082
SHEET NO. 1 OF 1
1



NAVD 88 DATUM VICINITY MAP 1" = 800'

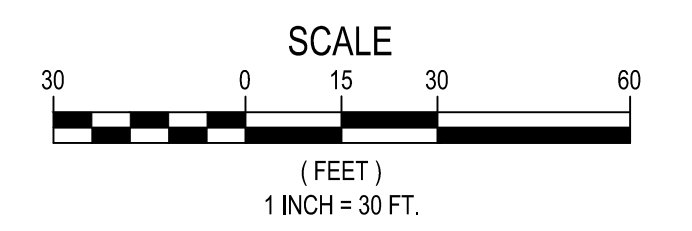
STATE HIGHWAY 44



NOT A PART

LANDSCAPE GENERAL NOTES

- 1. ALL ALTERATIONS TO THESE DRAWINGS DURING CONSTRUCTION SHALL BE APPROVED BY THE PROJECT REPRESENTATIVE AND RECORDED ON "AS BUILT" DRAWINGS BY THE CONTRACTOR.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
3. ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
5. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE PROJECT REPRESENTATIVE.
6. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE PROJECT REPRESENTATIVE.
7. ALL LAWN TURF AREAS SHALL RECEIVE FOUR INCHES (4") OF TOPSOIL PRIOR TO PLANTING. ALL SHRUB, GROUNDCOVER, AND PERENNIAL BEDS SHALL RECEIVE FOUR INCHES (4") OF TOPSOIL PRIOR TO PLANTING.
8. SUBMIT TOPSOIL REPORT PREPARED BY A QUALIFIED SOIL TESTING LABORATORY PRIOR TO SOIL PLACEMENT. TOPSOIL SHALL MEET THE FOLLOWING MECHANICAL ANALYSIS: SAND (0.05 - 2.0 MM DIA.) 20 - 70% CLAY (0.002 - 0.05 MM DIA.) 20 - 70% THE MAX. RETAINED ON A #10 SIEVE WILL BE 15 PERCENT. THE TOPSOIL SHALL MEET THE FOLLOWING ANALYSIS CRITERIA: PH RANGE OF 5.5 TO 8.2, A MIN. OF 4% AND MAX. OF 8% ORGANIC MATTER CONTENT AND FREE OF STONES 3/8" OR LARGER. SOLUBLE SALTS <2 DS/M OR MMHO/CM AND SODIUM ABSORPTION RATION (SAR) <6.
9. ALL TREE RINGS AND PLANT BEDS TO RECEIVE MULCH AS SPECIFIED IN THE LANDSCAPE SCHEDULE.
10. ALL LANDSCAPED AREAS TO RECEIVE IRRIGATION VIA FULLY AUTOMATED UNDERGROUND IRRIGATION SYSTEM.

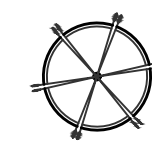


PRELIMINARY PLANT LIST

PRELIMINARY PLANTS LISTED REPRESENT THE GENERAL TYPES OF PLANT MATERIAL PROPOSED. PLANTS SELECTED ARE TOLERANT OF LOWER WATER USE AND ARE NATIVE/NATURALIZED TO THE REGION. TREE SPECIES HAVE BEEN SELECTED FROM APPROVED TREE LIST NOTED IN THE CURRENT EDITION OF THE TREASURE VALLEY TREE SELECTION GUIDE

PLANT QUANTITIES AND SPECIFIC TREE, SHRUB AND GROUNDCOVER LOCATIONS WILL BE SHOWN ON FINAL LANDSCAPE PLANS

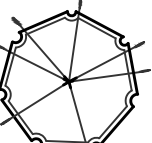
DECIDUOUS TREES



TREE SIMILAR TO THE FOLLOWING (2" CAL)

- ACER X FREEMANII 'JEFFERSRED' / AUTUMN BLAZE MAPLE
- ACER RUBRUM VARIETIES / RED MAPLE
- ACER TRUNCATUM 'KEITHSFORM' / NORWEGIAN SUNSET MAPLE
- CARPINUS BETULUS / HORNBEAM
- PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE
- PYRUS CALLERYANA 'REDSPIRE' / REDSPIRE FLOWERING PEAR
- QUERCUS SP. / OAK TREE
- ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA

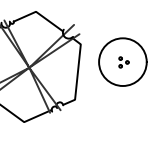
PARKING AREA TREE



TREES SIMILAR TO THE FOLLOWING (2" CAL)

- ACER FREEMANII / FREEMANII MAPLE
- ACER RUBRUM 'SCARSEN' OR 'KARPICK' / RED MAPLE VARIETIES
- ACER TRUNCATUM X A. PLAT. 'WARRENRED' / PACIFIC SUNSET MAPLE
- PYRUS CALLERYANA / FLOWERING PEAR
- ULMUS 'FRONTIER' / FRONTIER ELM

DECIDUOUS ACCENT/PERIMETER TREES



SINGLE STEM: 2" CAL
MULTI STEM: 6" HT

- ACER GRISEUM / PAPERBARK MAPLE
- AMELANCHIER GRANDIFORA / SERVICEBERRY
- CANADA RED CHOKECHERRY / CANADA RED CHOKECHERRY
- CARPINUS CAROLINIANA/AMERICAN HORNBEAM
- CERCIS CANADENSIS - CLUMP / EASTERN REDBUD
- CORNUS EDDIE'S WHITE WONDER/EDDIES WHITE WONDER DOGWOOD
- COTINUS COGGYGRIA/SMOKE TREE
- MALUS 'PRAIRIFIRE' / PRAIRIFIRE FLOWERING CRABAPPLE
- PRUNUS SARGENTII 'COLUMNARIS' / COLUMNAR SARGENT CHERRY
- SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC

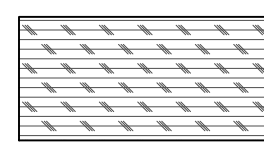
CONIFEROUS TREES



6' HEIGHT

- ABIES CONCOLOR / WHITE FIR
- CALOCEDRUS DECURRENS / INCENSE CEDAR
- CHAMAECYPARIS NOOTKATENSIS / ALASKAN YELLOW CEDAR
- JUNIPERUS SCOPULORUM / UPRIGHT JUNIPER
- PICEA GLAUCA / WHITE SPRUCE
- PINUS FLEXILIS / LIMBER PINE
- PINUS NIGRA / AUSTRIAN BLACK PINE
- THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE

SHRUBS / PERENNIALS / GROUNDCOVERS



SHRUB / GROUNDCOVER PALETTE - GENERAL ACCENT PLANTINGS, PARKING AREA PERIMETER AND SCREENING (TO PROVIDE A VISUAL BUFFER BETWEEN BUILDINGS AND/OR ROADWAYS)

SHRUB PALETTE - EVERGREEN ACCENT SHRUBS (SMALL TO MEDIUM SIZE - 3' MAX.) 2 GAL. CONT.

- BUXUS 'GREEN VELVET' / GREEN VELVET BOXWOOD
- JUNIPERUS SPECIES / LOW GROWING JUNIPERS
- JUNIPERUS SQUAMATA 'BLUE STAR' / BLUE STAR JUNIPER
- PRUNUS LAUROCERASUS 'OTTO LUYKEN' / OTTO LUYKEN LAUREL

SHRUB PALETTE - DECIDUOUS ACCENT SHRUBS (SMALL TO MEDIUM SIZE - 3' MAX.) 2 GAL. CONT.

- BERBERIS THUNBERGII 'CRIMSON PYGMY' / BARBERRY
- BUDDLEIA DAVIDII 'BLUE CHIP' / BLUE CHIP BUTTERFLY BUSH
- CARYOPTERIS X CLANDONENSIS 'FIRST CHOICE' / FIRST CHOICE BLUE MIST SPIREA
- POTENTILLA FRUTICOSA 'MONSIDH' FROSTY® / WHITE SHRUBBY CINQUEFOIL
- SPIRAEA BUMALDA 'GOLDFLAME' / GOLDFLAME SPIRAEA

SHRUB PALETTE - DECIDUOUS SHRUBS (MEDIUM TO LARGE SIZE - 3' TO 8' HT.) 2 GAL. CONT.

- CORNUS ALBA 'BAILHALO' / IVORY HALO DOGWOOD
- EUONYMUS ALATA COMPACTA / DWARF BURNING BUSH
- HYDRANGEA ARB. INVINCIBELLE LIMETTA® / SMOOTH HYDRANGEA
- RHAMNUS FRANGULA 'FINE LINE' / FINE LINE BUCKTHORN
- RHUS TYPHINA 'TIGER EYES' / GOLD LEAVED SUMAC
- SAMBUCUS RACEMOSA 'LEMONY LACE' / LEMONY LACE ELDERBERRY

ORNAMENTAL GRASSES 1 GAL. CONT.

- CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER' / KARL FOERSTER FEATHER GRASS
- FESTUCA IDAHOENSIS / IDAHO BLUE FESCUE
- HELICTOTRICHON SEMPERVIRENS/BLUE OAT GRASS
- MISCANTHUS SINENSIS 'COSMOPOLITAN' / COSMOPOLITAN GRASS
- MISCANTHUS SINENSIS 'GRACILLIMUS' / SLENDER MAIDEN GRASS
- PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS

PERENNIALS 1 GAL. CONT.

- GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES
- LAVANDULA X INTERMEDIA 'GROS BLEU' / GROS BLEU LAVENDER
- PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE

GROUNDCOVERS 1 GAL. CONT.

- ARONIA MELANOCARPA 'GROUND HUG' / G. H. SPREADING CHOKEBERRY
- JUNIPERUS SABINA 'BUFFALO' / BUFFALO SPREADING JUNIPER
- PRUNUS BESSEYII 'PAWNEE BUTTES' / PAWNEE BUTTES SAND CHERRY
- RHUS AROMATICA 'GROW LOW' / GROW LOW SUMAC

INERT GROUNDCOVERS / MULCH

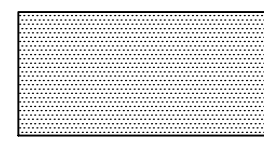
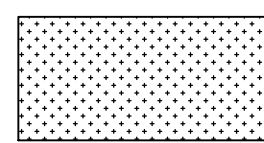
- STONE COVER QUARRIES, FLAGSTONE CHIPS, MEDIUM, 1 - 2" (DRIVEWAY PLANTERS)
- WOOD MULCH, MEDIUM, BROWN - FRONT YARD PLANTER BEDS

LAWN / TURF

LOW MAINTENANCE SEED (LOW WATER USE)

STORMWATER / WET POND

SEED MIX AND/OR EMERGENT PLANTINGS



DAVID EVANS AND ASSOCIATES INC.
9175 W. Black Eagle Dr
Boise, ID. 83709
Phone: 208.900.9049

SITE LAYOUT FOR

RAIN TREE INVESTMENT CORPORATION
TAYLOR COOK
AMAZON VILLAS SUBDIVISION
PRELIMINARY PLANT SCHEDULE

IDAHO

PAYETTE

REVIEWED BY: SSCP63
DATE: 10/20/24

DATE: SSCP64
BY: JTS



CHECKED BY: XX
DESIGNED BY: JTS
DRAWN BY: JTS

FIRST SUBMITTAL DATE: 10/10/20

PROJECT NO.
00000000-0001

SHEET NO. **2** OF **3**

L2

Plot Date: 4/10/2024 9:38 PM
Save Date: 4/10/2024 8:18 PM
By: John Saltschewicz
File: P:\R\RT\CA\VR\2024\04\06\CAD\SHETS\Landscape\Pre\Final_Landscape.dwg

Shawn Nickel

From: Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>
Sent: Wednesday, June 12, 2024 9:11 AM
To: Shawn Nickel
Cc: Barbara Norgrove
Subject: RE: Agency Transmittal - Amazon Villas Subdivision

Good Morning, Shawn –

After careful review of the transmittal submitted to ITD on May 13, 2024 regarding Amazon Villas Subdivision, the Department has no comments or concerns to make at this time. This subdivision's traffic impact was accounted for in the Amazon Falls subdivision mitigations.

Thank you,



Niki Benyakhlef
Development Services Coordinator

District 3 Development Services
O: 208.334.8337 | C: 208.296.9750
Email: niki.benyakhlef@itd.idaho.gov
Website: itd.idaho.gov

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Monday, May 13, 2024 10:14 AM
To: jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; bryce@sawtoothlaw.com; gtiminsky@midstarfire.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@midstarfire.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Cheryl.imlach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>; Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; CalahanH <CalahanH@landproDATA.com>; Brian Duran <Brian.Duran@itd.idaho.gov>; gmprdclerk@gmail.com
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Amazon Villas Subdivision

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

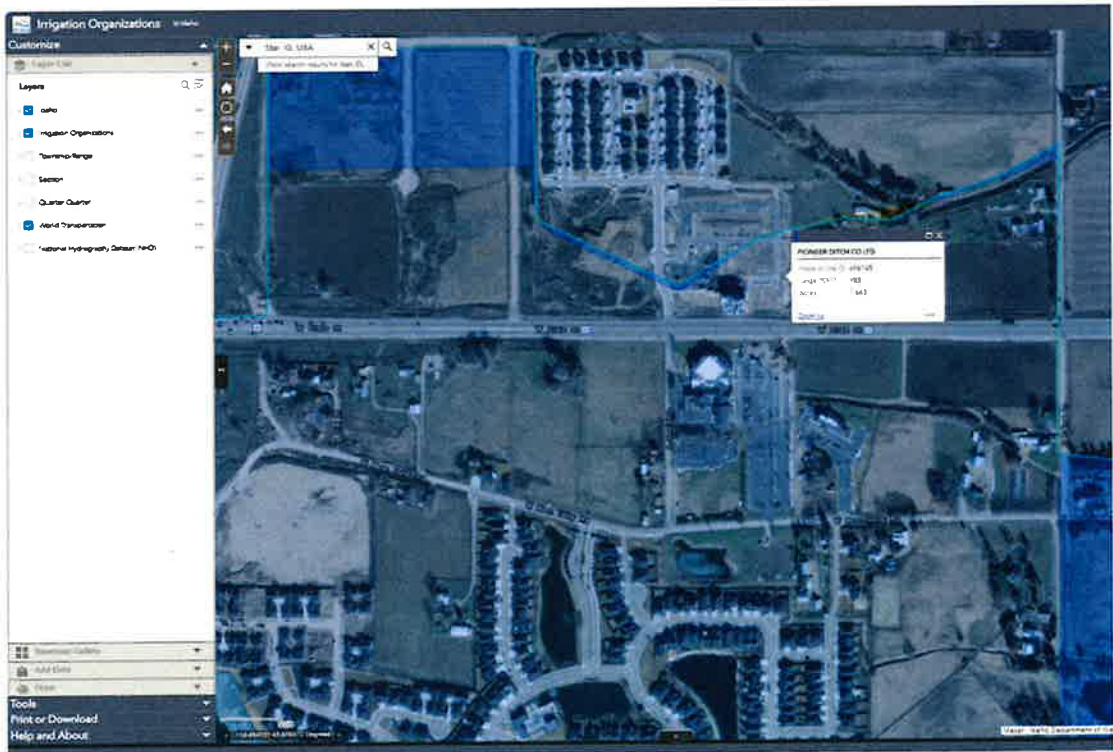
Shawn Nickel

From: Dianne Secretary <irr.water.3@gmail.com>
Sent: Monday, May 20, 2024 12:40 PM
To: Barbara Norgrove; Shawn Nickel
Cc: Bill Scott
Subject: Re: FW: Agency Transmittal - Amazon Villas Subdivision

Pioneer Ditch Company would like to confirm that Amazon Falls is not planning to consume irrigation water from our ditches for property outside our irrigation district. Below is the irrigation district map copied from the Idaho Department of Water Resources. Per the map, only part of the Amazon Falls development is within our irrigation area. The north boundary of our irrigation area is the drainage ditch that goes through Amazon Falls development.

We need to ensure the ditches within the development are properly maintained. Also, any changes (fences, buildings, development) that would affect the water flow or are within the 25 foot easement of our ditches would require a license agreement with the Pioneer Ditch Company.

Sincerely,
 Dianne Foster, Secretary
 Pioneer Ditch Company
 cc: Bill Scott, Pioneer Ditch Company Chairman



On Mon, May 13, 2024 at 10:14 AM Barbara Norgrove <bnorgrove@staridaho.org> wrote:

Shawn Nickel

From: Mindy Wallace <Mwallace@achdidaho.org>
Sent: Friday, June 21, 2024 3:47 PM
To: Amanda Wiemiller
Cc: Shawn Nickel
Subject: RE: Amazon Villas - Staff Report
Attachments: SPP24-0002 Amazon Villas.pdf; SPP21-0019 Junction Crossing.pdf; SPP22-0013 Junction Crossing 2.pdf

Hi Amanda,

The staff report is attached 😊 Also attached are ACHD's prior actions on the site, which are referenced in the report.

Have a nice weekend and let me know if you have any questions.

Mindy

From: Amanda Wiemiller <Amanda.Wiemiller@deainc.com>
Sent: Tuesday, June 11, 2024 2:26 PM
To: Mindy Wallace <Mwallace@achdidaho.org>
Subject: RE: Amazon Villas - Staff Report

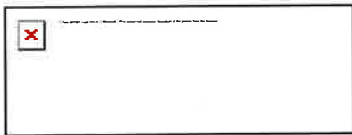
Caution: This is an external email and has a suspicious subject or content. Please take care when clicking links or opening attachments. When in doubt, contact your IT Department

Great! Thank you, Mindy. Much appreciated 😊

Amanda Wiemiller | Project Coordinator II, Surveying and Geomatics
David Evans and Associates, Inc.

9175 W Black Eagle Dr. | Boise, ID 83709 | www.deainc.com
d: 208.900.9055 | c: 208.830.7893 | Cisco: 47055 | amwi@deainc.com

ENERGY | LAND DEVELOPMENT | MARINE SERVICES | SURVEYING AND GEOMATICS | TRANSPORTATION | WATER AND ENVIRONMENT



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**Project/File: Amazon Villas / SPP24-0002 / PP-24-02**

This is a preliminary plat application to allow for the development of a 95 lot subdivision consisting of 94 townhome lots and 1 common lot on a 6.5 acre site.

Lead Agency: Star**Site address:** 7800 W Coyote Flats Ln**Staff Approval:** June 21, 2024**Applicant:** Amanda Wiemiller
David Evens and Associates
9175 W Black Eagle
Boise, ID 83709**Representative:** Same as above**Staff Contact:** Mindy Wallace, AICP
Phone: 387-6178
E-mail: mwallace@achdidaho.org**Report Summary:****ACHD Planned Improvements – pg 2**

1. Conditions of Area Roadways – pg 2
- A. Site Specific Conditions of Approval – pg 3
 - o Vicinity Map – pg 4
 - o Site Plan – pg 5
- B. Findings – pg 6
- C. Policies – pg 9
- D. Standard Conditions of Approval – pg 11
- E. Appeal Guidelines – pg 13

ACHD Planned Improvements

1. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):

There are no roadways, bridges or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District’s Capital Improvement Plan (CIP).

2. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service	Existing Plus Project
**SH-44	365-feet	Arterial	1,184	NA	NA
Short Road (new road)	360-feet	Collector	NA	NA	Better than “D”
Amazon Drive (new road)	0-feet	Commercial	NA	NA	NA

* Acceptable level of service for a two-lane collector is “D” (425 VPH).

** ACHD does not set level of service thresholds for State Highways.

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD’s most current traffic counts.

- The average daily traffic count for SH-44 west of Palmer Lane was 24,816 on 09/01/2021.
- Short Road and Amazon Drive are newly constructed roads that do not have traffic counts.

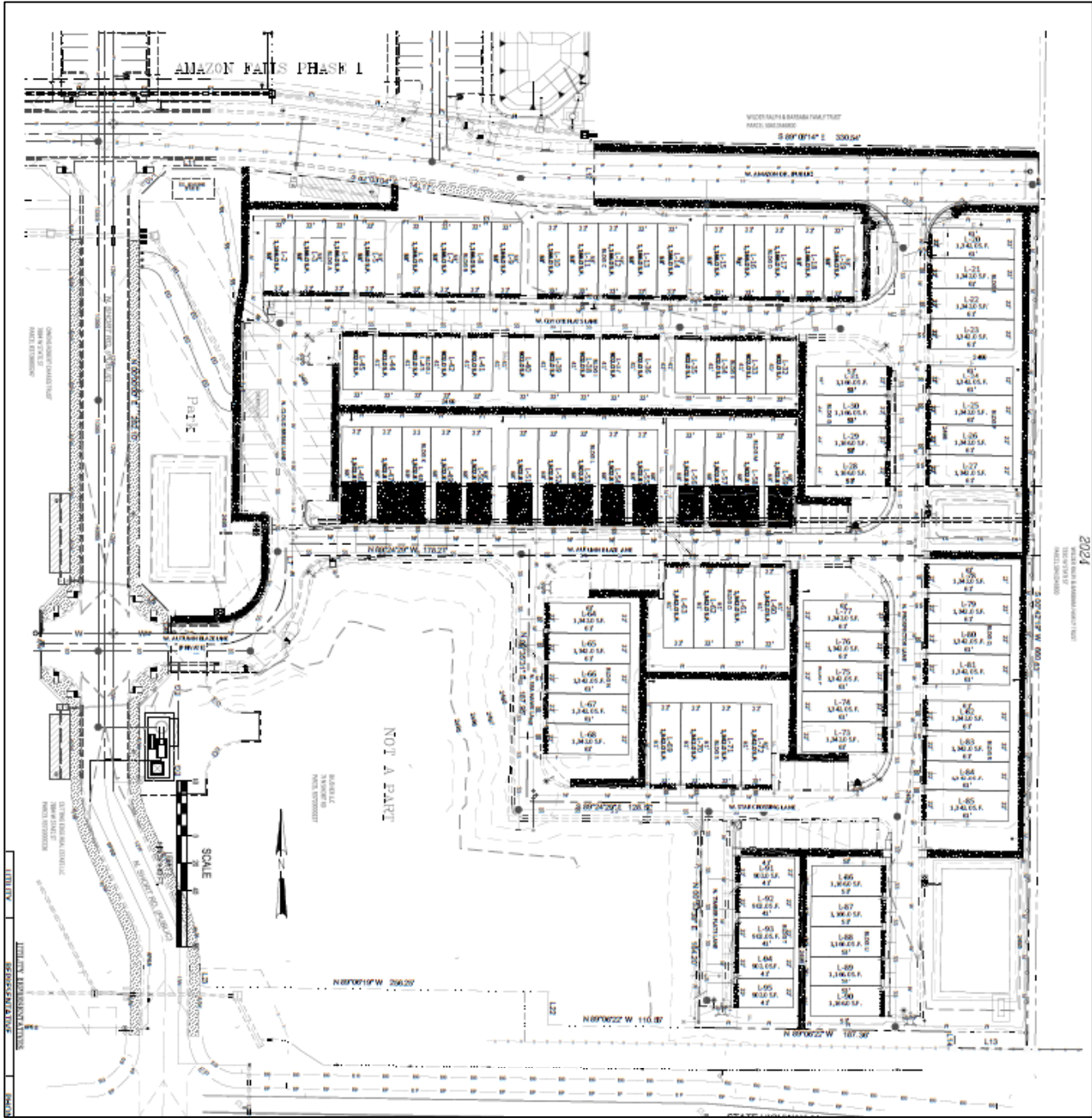
A. Site Specific Conditions of Approval

1. Prior to ACHD's signature on the first final plat construct complete the construction of Amazon Drive to Hamlin Avenue.
2. Construct Amazon Drive to intersect Hamlin Avenue with a minimum of 30-feet of pavement and 3-foot wide gravel shoulders within the existing 50-feet of right-of-way. The applicant may also fully construct Amazon Drive as a 36-foot wide commercial street section with vertical curb, gutter and 5-foot wide attached concrete sidewalk to match the existing Amazon Drive.
3. Complete the extension of Amazon Drive from its current terminus (356-feet east of Short) to the site's east property line as a 36-foot wide local commercial street section with vertical curb, gutter, and 5-foot wide attached or detached concrete sidewalk. If a detached sidewalk is constructed, then an 8-foot wide planter strip is required.
4. The private roads shall be designed with the following requirements:
 - Designed to discourage through traffic between two public streets,
 - Graded to drain away from the public street intersection, and
 - If a private road is gated, the gate or keypad (if applicable) shall be located a minimum of 50-feet from the near edge of the intersection and a turnaround shall be provided.
5. Direct lot access is prohibited to Short Road and shall be noted on the final plat.
6. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. Comply with all Standard Conditions of Approval.

Vicinity Map



Site Plan



B. Findings for Consideration

1. Site History

ACHD previously reviewed this site as part of Amazon Falls 2/Crossing Junction in 2018 and 2022. Most of the required improvements have been constructed with the exception of the construction of Amazon Drive to Hamlin and the extension of Amazon Drive to the site's east property line. Both of these items have been conditioned in prior ACHD staff reports and have been included in plan review comments.

Consistent with ACHD's prior action on the site and due to the construction of a network of private roads within the site the following site specific conditions of approval and findings for consideration apply to the current preliminary application for Amazon Villas (PP-24-02).

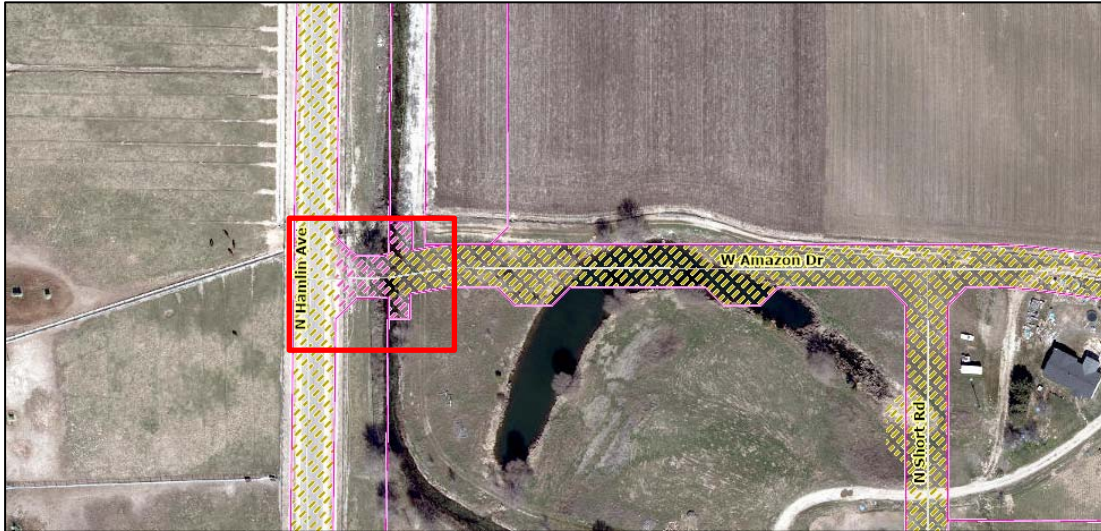
2. Maximum Traffic on One Access Point

Amazon Drive and Short Road abutting the site were constructed as part of the first phase of the Amazon Falls development, with Amazon Drive stubbing to the Amazon Falls development's west property line. Originally, a spite strip restricted Amazon Drive from being constructed to connect to Hamlin Avenue, however, this issue has been resolved and the right-of-way for Amazon Drive to connect to Hamlin Avenue has been dedicated, as shown below. However, Amazon Drive has not yet been constructed to connect to Hamlin Avenue within this unopened right-of-way. Therefore, Short Road currently serves as the only public access for the site from SH-44 until Amazon Drive can be extended to the west to connect to Hamlin Avenue. District Policy restricts the daily traffic to 3,000 trips per day for a collector road that serves as the sole access to a development. The traffic impact study prepared for Crossing Junction projected the daily traffic on Short Road to be approximately 7,400 trips per day if Amazon Drive is not extended to connect to Hamlin Avenue.

Short Road will exceed 3,000 daily trips with the build out of a portion of Amazon Falls 2 or with Junction Crossin which is proposing to construct a total 51,000 square feet of commercial uses which is projected to generate approximately 3,144 daily trips, which would cause the daily traffic on Short Road to exceed 3,000 trips. Therefore, this applicant should be required to complete the construction of Amazon Drive to Hamlin Avenue prior to ACHD's signature on the first final plat for this development.

At a minimum, the applicant shall be required to construct Amazon Drive to connect to Hamlin Avenue with 30-feet of pavement and 3-foot wide gravel shoulders within the existing 50-feet of right-of-way. The applicant may also choose to fully construct Amazon Drive to connect to Hamlin Avenue as a 36-foot wide commercial street section with vertical curb, gutter and 5-foot wide attached concrete sidewalks to match the existing Amazon Drive. All irrigation facilities are required

to be relocated outside of the right-of-way. All irrigation facilities are required to be relocated outside of the right-of-way.



The District will require that the applicant submit the plans for the crossing of Lateral 12 for the Amazon Drive connection to Hamlin Avenue for review and approval prior to the pre-construction meeting and final plat approval. Note: all plan submittals for bridges or pipe crossings of irrigation facilities should be submitted to ACHD for review no later than December 15th for construction in the following year prior to irrigation season.

3. Amazon Drive

- a. **Existing Conditions:** Amazon Drive is improved with 2-travel lanes, curb, gutter, and 5-foot wide sidewalk from Short Road east 360-feet. Amazon Drive does not exist abutting the remaining site frontage. There is 50-feet of right-of-way for Amazon Drive (25-feet from centerline).
- b. **Applicant’s Proposal:** The applicant is proposing to construct the remaining portion of Amazon Drive (330-feet) abutting the site as a 36-foot wide local commercial street section with vertical curb, gutter, and 5-foot wide attached concrete sidewalk in 50-feet of right-of-way. Amazon Drive is proposed to stub to the east.
- c. **Staff Comments/Recommendations:** The applicant’s proposal meets District policy and should be approved, as proposed.

Since Amazon Drive is greater than 150-feet in length, a temporary turnaround should be constructed at the terminus of the roadway. The temporary turnaround should be paved and constructed to the same dimensions as a standard cul-de-sac turnaround.

Install a sign at the terminus of the stub street which states, “THIS ROAD WILL BE EXTENDED IN THE FUTURE.”

4. Private Roads

- a. **Applicant Proposal:**
- b. **Staff Comments/Recommendations:** If the City of Star approves the private road, the applicant shall be required to pave the private roadway a minimum of 20 to 24-feet wide and at least 30-feet into the site beyond the edge of pavement of all public streets and install pavement tapers with 15-foot curb radii abutting the existing roadway edge. If private roads are not

approved by the City of Star, the applicant will be required to revise and resubmit the preliminary plat to provide public standard local streets in these locations.

Street name and stop signs are required for the private road. The signs may be ordered through the District. Verification of the correct, approved name of the road is required.

ACHD does not make any assurances that the private road, which is a part of this application, will be accepted as a public road if such a request is made in the future. Substantial redesign and reconstruction costs may be necessary in order to qualify this road for public ownership and maintenance.

The following requirements must be met if the applicant wishes to dedicate the roadway to ACHD:

- Dedicate a minimum of 50-feet of right-of-way for the road.
- Construct the roadway to the minimum ACHD requirements.
- Construct a stub street to the surrounding parcels.

5. Other Access

Short Road is classified as a collector roadway. Other than the access previously approved, as part of Junction Crossing, direct lot access is prohibited to this roadway and should be noted on the final plat.

C. Policy

1. Federal Accessibility Design Guidelines and Standards

District policy 7203.1.1 states that developers shall follow the current version of the U.S. Access Board’s Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way (PROWAG), 36 CFR Part 1190, September 7, 2023; (Also see, <https://www.access-board.gov/prowag> and <https://www.access-board.gov/files/prowag/planning-and-design-for-alternatives.pdf> for additional information).

2. Minor Improvements

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing Highways adjacent to a proposed development may be required. These needed transportation facilities are to correct deficiencies or replace deteriorated facilities. Included are sidewalk and/or bike lane construction or replacement (with physical buffers if missing and needed); construction of transitional sidewalk segments; crosswalk construction or replacement; curb and gutter construction or replacement; repair, replacement or expansion of curb extensions; replacement of unused driveways with curb, gutter, sidewalk, repair or addition of traffic calming or speed mitigation features; installation or reconstruction of pedestrian ramps; pavement repairs; signs, motor vehicle, pedestrian and bicycle traffic control devices; and other similar items. The current version of PROWAG will determine the applicable accessibility requirements for alterations and elements added to existing streets. ACHD staff is responsible for identifying the minor improvements that would be proportionate to the size and complexity of the development.

3. Livable Street Performance Measures

District policy 7203.8 states that ACHD has adopted performance measures (level of stress) for evaluating the experience of bicyclists and pedestrians. ACHD seeks to create a transportation network that serves all ages and abilities. Bike and pedestrian facilities built through development should achieve a bike and pedestrian level of traffic stress 1 or 2, with no new bike lane below a minimum of 5-feet.

4. Amazon Drive

Commercial Roadway Policy: District Policy 7208.2.1 states that the developer is responsible for improving all commercial street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7208.5 states that right-of-way widths for new commercial streets shall typically be 50 and 70-foot wide and that the standard street section will vary depending on the need for a center turn lane, bike lanes, volumes, percentage of truck traffic, and/or on-street parking.

- A 36-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and on-street parking.
- A 40-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane.
- A 46-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane and bike lanes.

Off-Site Streets Policy: District Policy 7208.2.3 states that if the proposed development is not served by a public street, the developer shall pave the street or widen the existing pavement to provide a 30-foot wide (minimum) paved street with 3-foot gravel shoulders from the proposed development to the public street specified by the District. Wider street widths may be required depending on the magnitude of the development and other factors, including the potential for bicycle, bus and pedestrian traffic.

If the proposed development is served by a paved public road less than 30-feet wide, the developer shall widen the pavement to a minimum of 30-feet wide or add 3-feet of additional pavement plus 3-foot gravel shoulders to the existing road, whichever is greater. The road shall be widened from the site to the public street specified by the District. All utility relocation costs associated with the off-site street widening shall be borne by the developer.

Continuation of Streets Policy: District Policy 7208.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries, water and sewer.
- Promotes orderly development.

Sidewalk Policy: District Policy 7208.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all commercial streets. If a separated sidewalk is proposed, a parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Half Street Policy: District Policy 7208.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-foot), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

Cul-de-sac Streets Policy: District policy 7208.5.7 states that the minimum radius permitted for a turnaround is 55-feet to back-of-curb.

Stub Street Policy: District policy 7208.2.4.3 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7208.2.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: 7208.2.4.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a

temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

5. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District’s Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

6. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

7. Pathway Crossings: United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

D. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA), Public Right-of-Way Accessibility Guidelines (PROWAG), ISPWC, or ACHD requirements . The applicant’s engineer should provide documentation of compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.

5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

E. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

Request for Appeal of Staff Decision

To request an appeal of a staff level decision, see District policy 7101.6.7 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>

Request for Reconsideration of Commission Action

To request reconsideration of a Commission Action, see District policy 1006.11 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **July 16, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Lake Haven Estates
Files #s PP-24-03 Preliminary Plat
PR-24-02 Private Road
FL-24-01 Flood Plain

Applicant/Representative: Stephanie Hopkins KM Engineering, LLP, 5725 North Discovery Way, Boise Idaho.

Owner: Tradition Capital Partners

Action: The Applicant is requesting approval of a Preliminary Plat for a proposed residential subdivision consisting of 30 residential lots and 7 common lots with private streets. The property is located on the east side of Bent Lane in Star, Ada County, Idaho, and consists of approximately 65.30 acres with a proposed density of 0.46 dwelling units per acre.

Property Location: The subject property is generally located east of Bent Lane and south of Hwy 44. Canyon County Parcel No. R34035010A1 & R34035010A0.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department *Shen T. Muth*

MEETING DATE: July 16, 2024 – PUBLIC HEARING

FILE(S) #: PP-24-03 Preliminary Plat for Lake Haven Estates
PR-24-02 Private Road

OWNER/APPLICANT/REPRESENTATIVE

<p>Owner /Applicant: Tradition Capital Partners LLC Brawndo, LLC & Nathan Ogden 8454 Brookhaven Place Middleton, Idaho 83644</p>	<p>Representative: Stephanie Hopkins KM Engineering, LLP 5725 N. Discovery Way Boise, Idaho 83713</p>
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REQUEST

Request: The Applicant is requesting approval of a Preliminary Plat for a proposed residential subdivision consisting of 30 residential lots and 7 common lots with private streets. The property is located at 21831 and 21875 Koa Lane in Star, Ada County, Idaho, and consists of approximately 65.30 acres with a proposed density of 0.46 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located east of Bent Lane, south of Highway 44. Canyon County Parcel No's. R34035010A0, R34035010A1, and R3403901100.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-2-DA)	Estate Urban Residential	Agricultural/Single Family Residential
Proposed	Residential (R-2-DA)	Estate Urban Residential	Single Family Residential
North of site	AG (Canyon County)	Estate Urban Residential	Agricultural
South of site	AG (Canyon County)	Estate Urban Residential/Flood Way	Single Family Residential/Boise River
East of site	Residential (R-4-DA)/RUT (Canyon County)	Estate Urban Residential	Approved Cranefield Subdivision/Agricultural
West of site	Residential (R-2)	Estate Urban Residential	Star River Ranch Subdivision

Existing Site Characteristics: The property currently has a single-family residential home with outbuildings and vacant ground.

Irrigation/Drainage District(s): Canyon County Water Company LTD
P.O. Box 11
Star, Idaho 83669

Flood Zone: This property is located in a Special Flood Hazard Area and Flood Way.
Flood Zone: Zone AE
FEMA FIRM Panel Number: 16027C0267G
Effective Date: 6/7/2019

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – Yes, adjacent to Boise River; existing ponds
- ✪ Floodplain – Yes, Zone AE and Flood Way.
- ✪ Mature Trees – Yes.
- ✪ Riparian Vegetation – Yes, along the southern border.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – Yes, Boise River.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – Yes. No sensitive wildlife observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	July 6, 2023
Neighborhood Meeting Held	January 10, 2024
Application Submitted & Fees Paid	April 18, 2024
Application Accepted	May 13, 2024
Residents within 300' Notified	June 18, 2024
Agencies Notified	May 13, 2024
Legal Notice Published	June 21, 2024
Property Posted	July 3, 2024

HISTORY

March 5, 2024 Council approved applications for Annexation and Zoning (AZ-24-01), and Development Agreement (DA-24-01) for Lake Haven Subdivision consisting of 64.70 acres. Property was zoned residential (R-2-DA)

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Accessory structure	A
Dwelling:	
Multi-family 1	C
Secondary 1	A
Single-family attached	C
Single-family detached	P
Two-family duplex	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-2	35'	20'	20'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Private gates or other obstacles shall not be allowed, unless approved by Council and the Fire District.

B. Construction Standards:

1. Obtain approval from the county street naming committee and/or City for a private street name(s);
2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.
4. Street Width and Construction: The private street may be constructed within an easement for low density developments of R-1 or less with a Fire District approved base and width of no less than 28'. All other residential developments shall be constructed within a common lot and shall have a 36' street width, and shall meet ACHD/CHD4 construction standards, unless otherwise determined by the Council and Star Fire District.
5. Sidewalks: A minimum five foot (5') detached sidewalk shall be provided on at least one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets in some lower density developments may request a modification or waiver of sidewalks to be approved by Council. All other residential developments shall have a minimum 5' detached sidewalks on both sides of the street and shall further meet the requirements of 8-4A-17 of this title.
6. All private streets shall be paved unless a waiver is obtained by Council. Waivers for

paving shall only be considered in low density developments of R-1 or less. Any unpaved streets shall be required to meet all Highway District standards for paving the approaches onto public streets.

7. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

8. Permits shall not be issued for any structure using a private street until the private street has been approved and inspected by the City Engineer and Fire District, and the transportation authority has signed off on all permits associated with access to a public street.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Street_Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private street components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
 - b. The study required by this section shall at a minimum include:
 - i. Identification of the private street components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the

association's obligation for the repair and replacement of all private street components.

- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
2. Each development is required to have at least one site amenity.
3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
 - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
 - b. Qualified natural areas;
 - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.)

ponds must be aerated;

d. A plaza.

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:

a. Swimming pool.

- b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. Any unresolved access or traffic generation issues related to ACHD or ITD regulated roadways shall be resolved by the applicant prior to acceptance of any application. A letter from the appropriate transportation agency or servient property owner shall be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty four inches by thirty six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.
3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
 - h. Any proposed or existing utilities, including, but not limited to, power poles,

- storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
- i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and concerns and how the development has been designed to address those concerns;
 - p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

- c. F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Estate Urban Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one

acre and larger where those existing larger lots are not likely to be subdivide in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

- F. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat contains 30 single family residential lots, 6 common area lots and 1 common driveway for a total of 37 lots on 64.70 acres. This equates to 0.46 dwelling units per acre. The lots will have access and frontage from the proposed private streets. The private streets are proposed to be gated. The residential lots range in size from 13,200 square feet to 812,392 square feet with the average buildable lot being 70,712 square feet. The private street will be built to ACHD (& HD4), City of Star and Star Fire District standards. The submitted preliminary plat shows three different roadway sections.

KOA LANE: is proposed in a 60-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 6-foot-wide landscape strip and a 5-foot wide, concrete sidewalk.

LAKE HAVEN LANE: is proposed in a 49-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalk is proposed along the east side of the road only, to be 5-foot-wide, detached with a 60-foot-wide landscape strip.

CHATEAU PLACE: is proposed in a 69-foot wide right of way with paved streets measuring 42 feet from back of curb to back of curb with a 12-foot-wide island dividing the entrance into two separate lanes. Sidewalks are proposed to be detached with an 8-foot-wide landscape strip and a 5-foot wide, concrete sidewalk on the north side of the road only. This access will be controlled by a gate.



The UDC allows the applicant to request a modification or waiver of sidewalks in certain low-density subdivisions. In this case, sidewalk in specific areas are requested to be on one side of the private street.

The applicant has included a draft private street maintenance plan, including proposed funding, with this application. Street names must be obtained by working with the City of Star and Canyon County prior to signature of the final plat. The subdivision name has been reserved already and the applicant has provided documentation supporting the reservation. The applicant is proposing 10.89 acres (16.61%) of open space, including 6.53 acres (14.2%) usable open space including areas that are in the AE flood zone and will not be developed.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 4 site amenities. The applicant is proposing a central pond, pickleball courts and a pathway along the canal with connecting sidewalks. These amenities satisfy the code requirement for development amenities.

The applicant has not provided approval from the Postmaster for the location of the mailbox cluster. This will be required prior to signing the final plat. Mailbox clusters must also be covered and adequately lit per the Unified Development Code.

The future water features within the development shall be designed and maintained in a manner that protects the public safety. This will include aerators to prevent algae and mosquito issues, safety ring stations throughout the water feature locations, safety shelves and erosion consideration.

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight plan. All other proposed light locations satisfy City code. **Applicant has not provided a streetlight design/cut sheet for City approval. This will be required at submittal of the final plat.**

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements.

The applicant is not requesting any setback waivers and will adhere to the R-2 requirements outlined earlier in this report.

The Unified Development Code, Section 8-6B-2, paragraph F states that In the residential districts, no block shall be more than seven hundred fifty feet (750') in length without an

intersecting street, alley, or other City and ACHD/CHD4 approved remedy. **The proposed streets are longer than 750 feet, however they do end in a cul-de-sac. The applicant is requesting a block length waiver from the Council with this application.**

AGENCY RESPONSES

ITD	May 22, 2024
Highway District #4	June 10, 2024
Flood Control District # 10	May 28, 2024
DEQ	May 28, 2024

PUBLIC RESPONSES

No public comments have been received.

STAFF ANALYSIS AND RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed preliminary plat meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed future density of 0.46 dwelling units per acre is well below the maximum of 3 dwelling units per acre allowed in the Estate Urban Residential Comprehensive Plan Future Land Use Map or 2 dwelling units per acre as allowed in the approved zoning of the property. Given the density and overall layout of the development, Staff is supportive of having sidewalk on one side of Lake Haven Lane and Chateau Place.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the application, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.
The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.
 3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
 4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
 5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;
The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

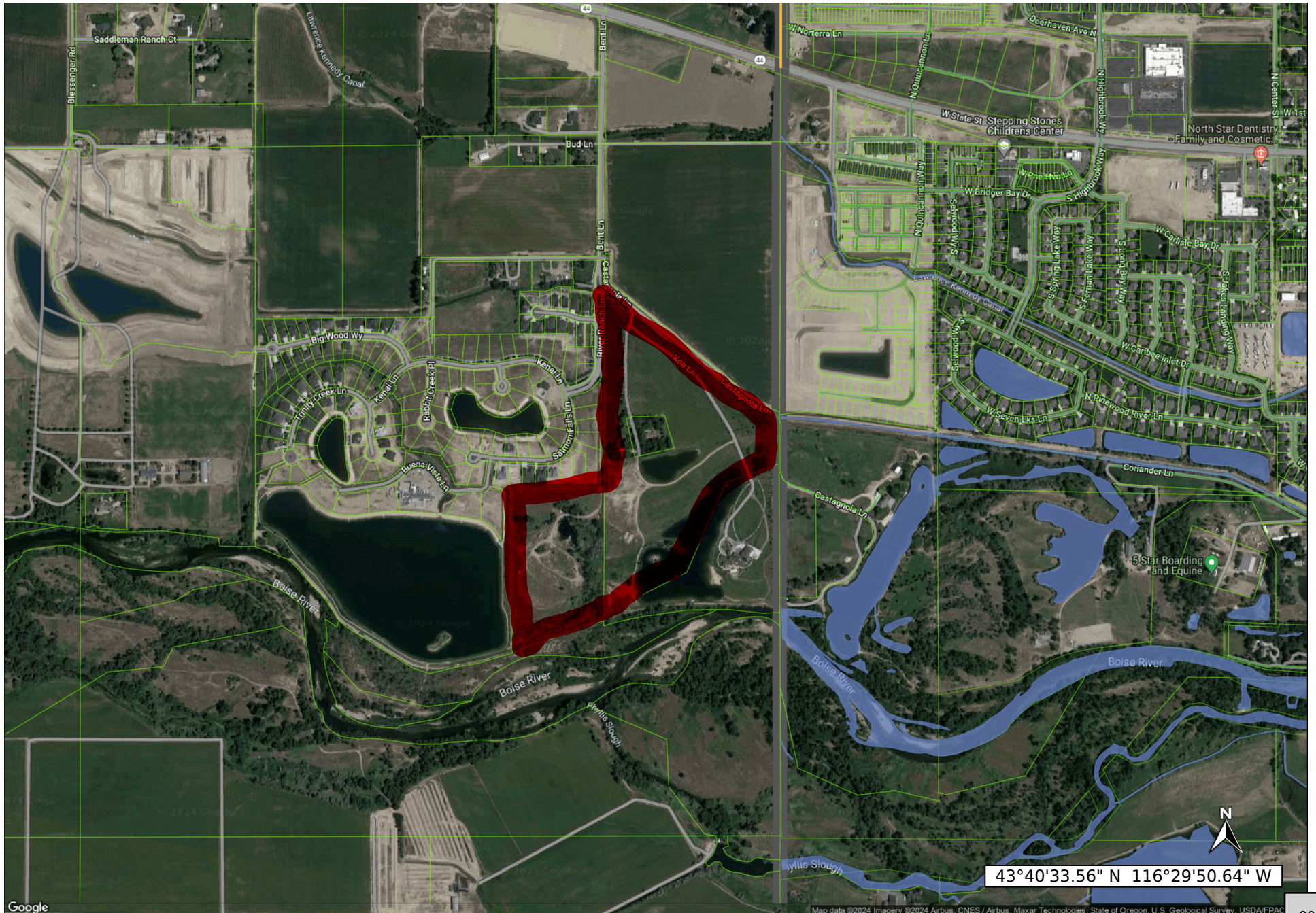
1. The approved Preliminary Plat for the Lake Haven Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Council hereby approves the following:
 - A. Sidewalk waivers for one-side of private streets. *(if approved)*
 - B. Council approves waivers to maximum block length. *(if approved)*
 - C. Private Streets with gates are hereby approved by Council. *(if approved)*
3. **The applicant shall receive approval of all Floodplain applications and meet all FEMA requirements, if applicable, prior to approval of the final plat. The applicant shall also submit a Permit to Develop in an Area of Special Flood Hazard to the Floodplain Manager for review and approval prior to any development work on the property.**
4. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
5. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD/HD4 standards. The private street shall meet all requirements of the Star Fire District.
6. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
7. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
8. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
9. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or

public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. Failure to comply with the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

- 10. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 13. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 14. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service and the location of the mailbox cluster. The mailbox cluster must be covered and reasonably lit.**
- 15. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 17. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 18. All common areas shall be owned and maintained by the Homeowners Association.
- 19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 20. A sign application is required for any subdivision signs.
- 21. Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

The Star City Council _____ File Number PP-24-03 and PR-24-02 for the Lake Haven Estates Subdivision on _____, 2024.



April 18, 2024
 Project No.: 22-192

Mr. Shawn Nickel
 Planning Director & Zoning Administrator
 City of Star
 10769 W. State St.
 Star, ID 83669

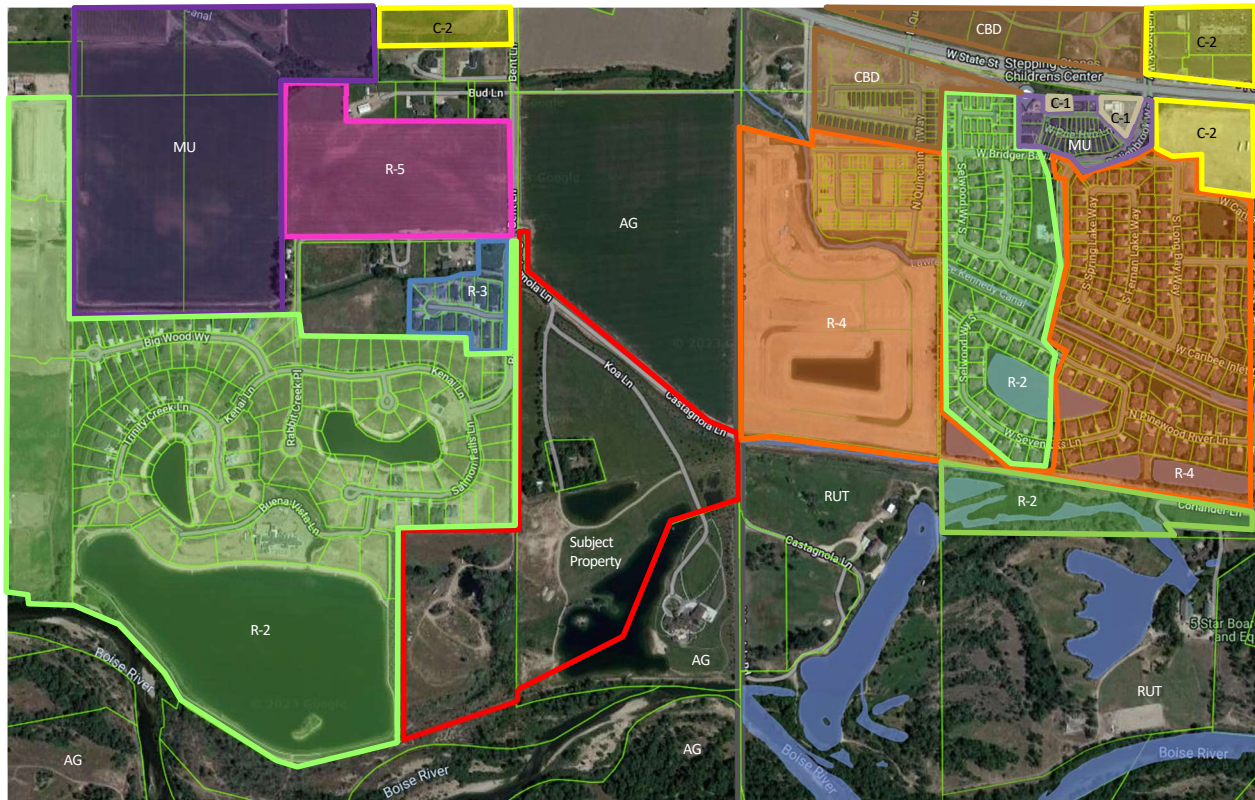
**RE: Lake Haven Estates – Star, ID
 Preliminary Plat and Private Street**

Dear Mr. Nickel:

On behalf of Nathan Ogden and Tradition Capital Partners LLC, we are pleased to submit a preliminary plat and private street application for Lake Haven Estates. The subdivision will be located on three parcels (R34035010A0, R34035010A1, and R3403901100) located off Koa Lane, South of Castagnola Lane. An annexation and rezone application with Development Agreement were recently approved by Star City Council.

Site Information and Background

The approximately 64.70-acre site is comprised of three different taxing parcels and was recently annexed and zoned into the RR and R-2 districts in Star. One parcel contains a single-family residence while the other two are vacant land. The subject property is adjacent to the Star River Ranch Subdivision and southeast of the Star River



Meadows Subdivision within the City of Star; vacant agricultural land in Unincorporated Canyon County to the north; rural residential properties in Unincorporated Ada County to the east; and the Boise River and Boise River Floodplain to the south.

A portion of the property along the southern property boundary contains the future land use designation of Floodway. This area of the property is located within FEMA’s designated floodway for the Boise River. This is a riparian area currently and is not planned to be developed.

Preliminary Plat

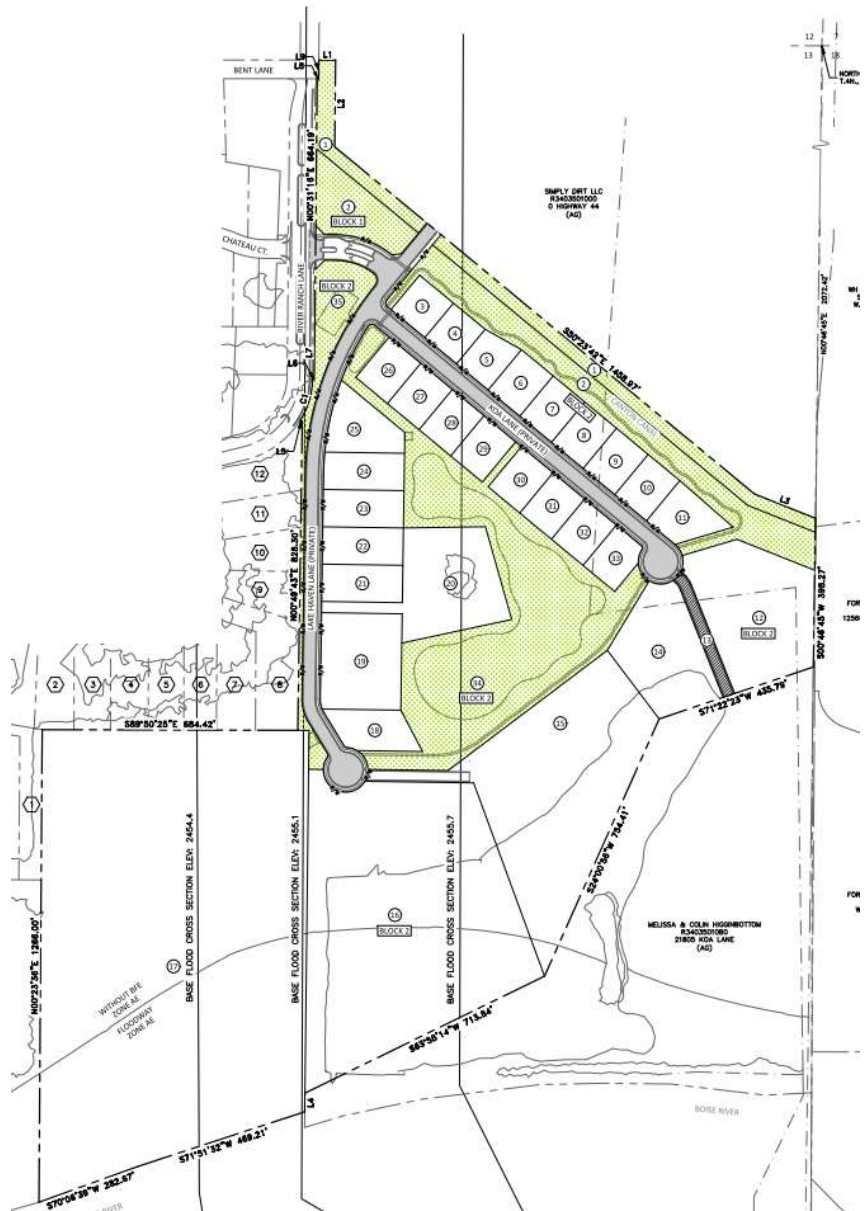
The Lake Haven Estates preliminary plat encompasses approximately 65.3 acres and consists of 30 single-family residential lots, 6 common open space lots, and 1 common driveway lot, totaling 37 lots. Residential lot sizes range from approximately 13,200 square feet to 812,392 square feet with an average lot size of approximately 70,712 square feet. The gross density of the subdivision is 0.46 du/acre, which is significantly below the maximum density permitted in the R-2 district and in alignment with density expected in the R-R district.

Residential lots have been designed to ensure compatibility with adjacent development with a focus on preserving larger lots in the south part of the development adjacent to the Boise River. An existing residence will be retained and located within Lot 20, Block 2.

No variances or deviations from R-2 and RR dimensional standards are requested or needed to accommodate the community planned.

Services

In accordance with City Code, the subject property will utilize Star Sewer and Water services. Water is proposed to be connected via Chateau Court and will be extended throughout the subdivision. Sanitary sewer will be extended from an existing easement to the west within the Star River Ranch Subdivision.



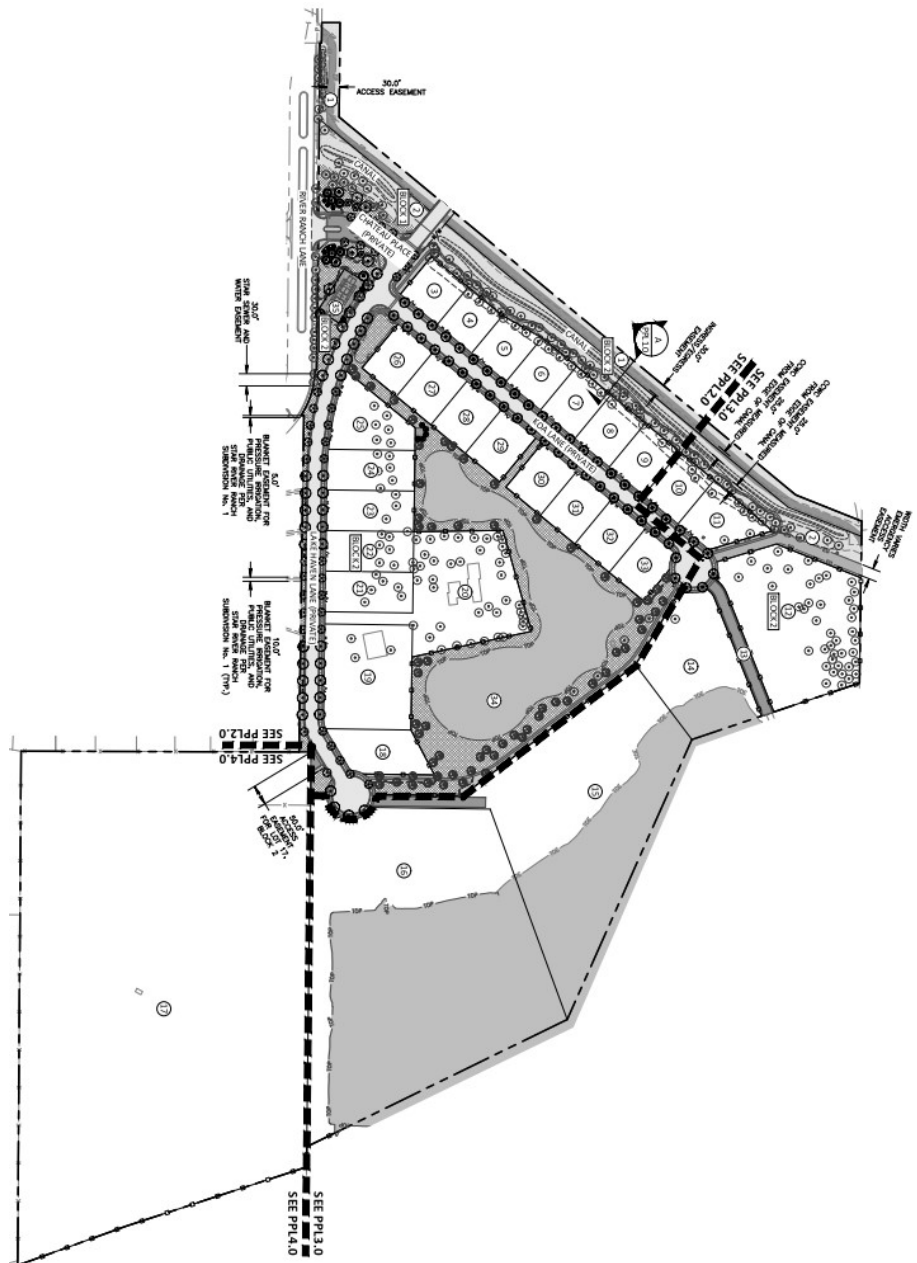
As the crow flies, the property is approximately 1 ½ miles from Star Elementary School and is about 2 ½ miles from Star Middle School. The Boise River and various parks among other services and amenities are located in proximity.

Open Space and Amenities

Lake Haven Estates includes 10.89 acres of open space or 16.61% of the overall site, exceeding code requirements. Usable qualified open space comprises 6.53 acres, or 14.2% of the overall site.

Lake Haven Estates proposes a variety of active and passive open space areas throughout the development. Proposed amenities include pickleball courts, sidewalks along one side of Lake Haven Lane and both sides of Koa Lane, a central pond abutting residential lots, and a pathway along the canal and Castagnola Lane. All common space will be owned and maintained by the homeowners' association.

Lake Haven Estates has been designed to incorporate larger lots, preserving open space where possible. Three ponds are planned for the community. One pond will be located within Lot 17, Block 2; another pond will be located within Lots 14-16, Block 2; and the third pond will be located within Lot 34, Block 2 in the center of the subdivision.



Floodplain Development

The property is located within floodplain zones AE and X according to the existing FEMA FIRM panel 160236. In accordance with City Code requirements, we have included supplemental information regarding base flood elevations on our preliminary plat. We will continue to coordinate with the City and FEMA to complete any requirements associated with the development within the floodplain.

Access and Private Streets

Homes within the Lake Haven Estates Subdivision are proposed to be served by internal private streets. Chateau Place will serve as the primary point of access for the community. Lake Haven Lane extends to the south to serve homes in the west and south parts of the community while Koa Lane will provide access to homes in the north and east parts of the development. A common driveway is proposed to extend to the east via Lake Haven Lane to provide access to Lot 15, Block 2.

Conceptual Gate Design Examples



A gate will control access to the subdivision at the primary entrance point, aligned with Chateau Court. The gate design will reflect existing gates that provide access to a home located to the east of the development at 21805 Koa Lane.



The development team has been coordinating with the Star Fire District to ensure the proposed gate operation and private streets meet their standards. Based on our coordination, the District is supportive of the proposal.

Conclusion

We are excited to bring the Lake Haven Estates development to the City of Star. This residential community will complement surrounding uses, fulfill comprehensive plan goals, and provide needed housing in this area of Star. The community design will be compatible with existing and planned development and will allow future residents to live in a beautiful area close to existing development.

This project complements the City’s vision for growth and will be an asset to the community. Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,
KM Engineering, LLP



Stephanie Hopkins
Land Planning Manager



PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: PP-24-03
 Date Application Received: 4/18/24 Fee Paid: _____
 Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Tradition Capital Partners
 Applicant Address: 8454 Brookhaven Place Zip: 83644
 Phone: 208.863.5164 Email: spencer@tcpidaho.com

Owner Name: Tradition Capital Partners
 Owner Address: 8454 Brookhaven Place Zip: 83644
 Phone: 208.863.5164 Email: spencer@tcpidaho.com

Representative (e.g., architect, engineer, developer):
 Contact: Stephanie Hopkins Firm Name: KM Engineering, LLP.
 Address: 5725 N Discovery Way, Boise Zip: 83713
 Phone: 208.639.6939 Email: shopkins@kmengllp.com

Property Information:

Subdivision Name: Lake Haven Estates
 Site Location: West of River Ranch Lane and approximately 2,000' south of SH-44
 Approved Zoning Designation of Site: RR & R-2
 Parcel Number(s): R34035010A1 & R34035010A0

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-R & R-2	Estate Urban Residential	Undeveloped
Proposed	No change	No change	Single family residences
North of site	Ag in Canyon County	Estate Urban Residential	Undeveloped
South of site	Unincorporated	Floodway	Boise River
East of site	RUT in Ada County	Estate Urban Residential	Undeveloped
West of site	R-8-DA	Estate Urban Residential	Star River Ranch Subdivision

SITE DATA (to be noted on the Preliminary Plat):

Total Acreage of Site - +/- 65.30
 Breakdown of Acreage of Land in Contiguous Ownership - +/-63 acres Tradition Capital; +/-2 acres Ogden
 Total Acreage of Site in Special Flood Hazard Area - +/- 65.30
 Dwelling Units per Gross Acre (Density) - 0.46 dwelling units per acre
 Minimum Lot Size - 13,200 square feet
 Minimum Lot Width - 100'

Total Number of Lots - 37
 Residential - 30
 Commercial - 0
 Industrial - 0
 Common - 7

Total Number of Residential Units - 30
 Single-family - 30
 Duplex - 0
 Multi-family - 0

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -
16.61 % / 10.89 acres
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -
14.2 % / 9.27 acres
 Percent of Common Space to be used for drainage - TBD
 Describe Common Space Areas (amenities, landscaping, structures, etc.) –
Pickleball courts, three ponds, pathway along northern boundary

Public Streets - n/a Private Streets - Internal
 Describe Pedestrian Walkways (location, width, material) - Paved along one side of Lake Haven Lane, two paved pathways along Koa Lane, pathway along Canyon Canal in north part of development.
 Describe Bike Paths (location, width, material) - _____

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - +/- 65.30

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 160236
 FIRM effective date(s): mm/dd/year _____
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X, Zone AE
 Base Flood Elevation(s): AE _____ .0 ft., etc.: 2454.4 - 2455.7

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer and Water District
 Irrigation Water- Canyon County Water Co Ltd
 Sanitary Sewer- Star Sewer and Water District
 Fire Protection - Star Fire District
 Schools - Star School District
 Roads - Canyon Highway District No 4 (public roads), internal private

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - n/a Floodplain - Yes - Zone X, AE & Floodway
 Evidence of Erosion - None known Fish Habitat - Yes, adjacent to Boise River
 Historical Assets - None known Mature Trees - Yes
 Riparian Vegetation - Yes, adjacent to Boise River Steep Slopes - n/a
 Stream/Creek - Yes, adjacent to the Boise River Unstable Soils - None known
 Unique Animal Life - None known Unique Plant Life - None known

Application Requirements:

*(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)*

Applicant (√)	Description	Staff (√)
X	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
X	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
X	Completed and signed Preliminary Plat Application	BN
X	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
X	Narrative explaining the project. (must be signed by applicant)	
X	Legal description of the property (word.doc and pdf version with engineer's seal)	
X	Recorded warranty deed for the subject property	
X	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
X	Approval of the proposed subdivision name from Ada County Surveyor's office.	
X	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
X	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
X	Electronic copy in pdf. format of Preliminary Plat	

X	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
X	Electronic copy in pdf. format of landscape plan	
X	Electronic copy in pdf. format of preliminary site grading & drainage plans	
n/a	Phasing plan shall be included in the application if the project is to be phased.	
forthcoming	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
X	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	
X	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
X	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
X	Special Flood Information – Must be included on Preliminary Plat and Application form.	
X	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	
X	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
X	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	
forthcoming	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
X	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

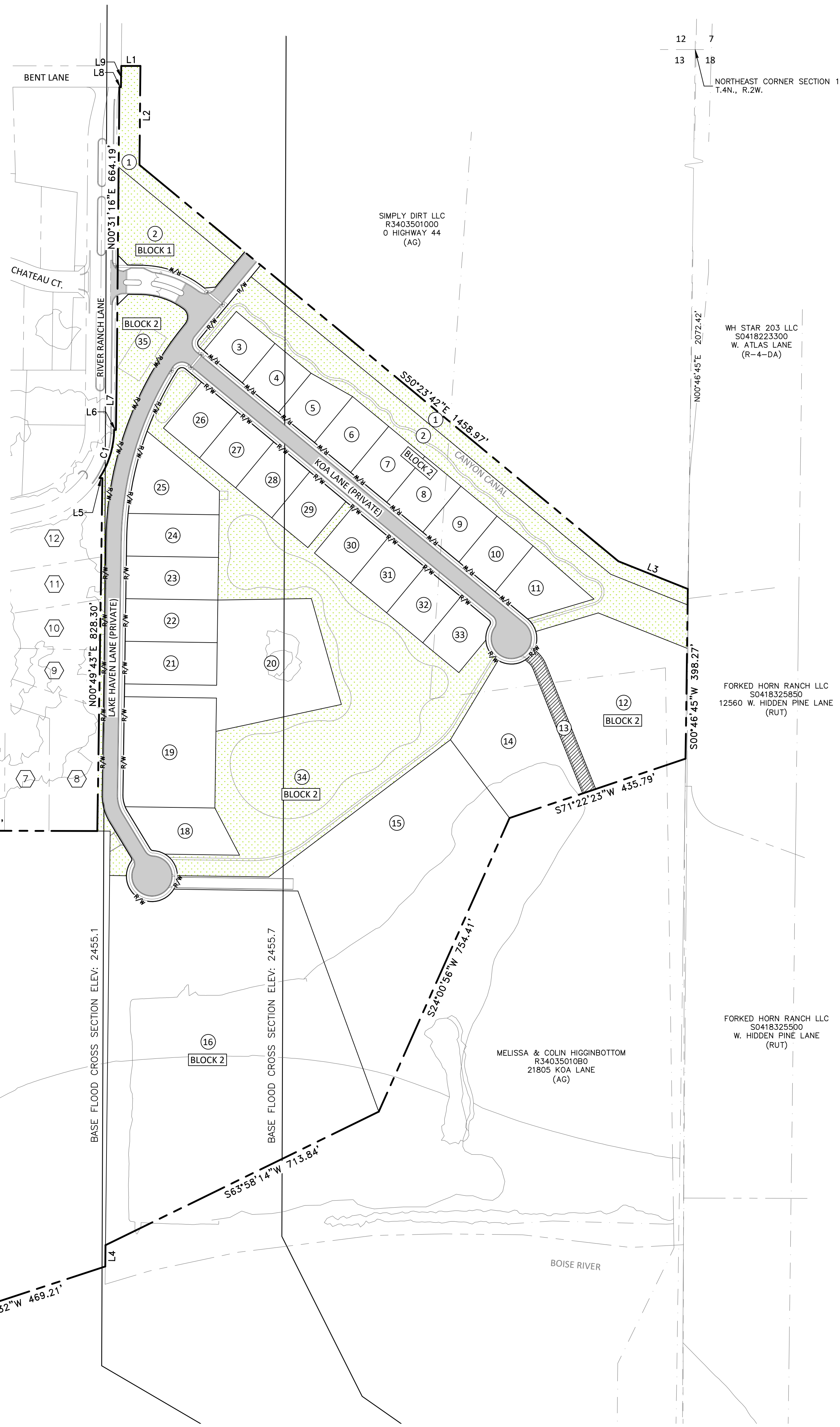
FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**


 Applicant/Representative Signature

April 18, 2024
 Date

#	PARCEL NO.	PRIMARY OWNER	PROPERTY ADDRESS
1	R3403940400	STAR RIVER RANCH ESTATES HOA	6633 TRINITY CREEK LANE
2	R3403941300	MICHAEL PIERCE	6315 SALMON FALLS LANE
3	R3403941400	MIKELLE LAW	6303 SALMON FALLS LANE
4	R3403941500	ROBERT HUEBNER	6293 SALMON FALLS LANE
5	R3403941600	JUSTIN MASON	6287 SALMON FALLS LANE
6	R3403941700	RADCON INDUSTRIES INC	6271 SALMON FALLS LANE
7	R3403941800	DAS INVESTMENTS LLC	6263 SALMON FALLS LANE
8	R3403941900	DREW URNESS	6251 SALMON FALLS LANE
9	R3403933200	ENDURANCE HOLDINGS LLC	21492 SALMON FALLS LANE
10	R3403933100	ENDURANCE HOLDINGS LLC	21510 SALMON FALLS LANE
11	R3403933000	ENDURANCE HOLDINGS LLC	21528 SALMON FALLS LANE
12	R3403932900	KENDALL MATSON	21546 SALMON FALLS LANE



LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
L2	S00°33'15"W	232.29
L3	S68°13'43"E	175.54
L4	S00°38'24"W	50.00
L5	N89°10'17"W	7.11
L6	S89°27'59"E	4.25
L7	N00°49'43"E	139.96
L8	S89°47'53"E	3.81
L9	N00°41'41"E	50.10

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

PRELIMINARY PLAT NOTES

- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
- ALL DEVELOPMENT WITHIN THIS SUBDIVISION SHALL BE CONSISTENT WITH THE CONDITIONS OF DEVELOPMENT WITHIN THE DEVELOPMENT AGREEMENT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- THIS DEVELOPMENT IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS.
- DIRECT LOT ACCESS FROM RIVER RANCH LANE IS PROHIBITED UNLESS APPROVED BY THE CANYON COUNTY HIGHWAY DISTRICT AND THE CITY OF STAR.
- ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT EASEMENT FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE OVER THE 5 FEET ADJACENT TO ANY INTERIOR SIDE LOT LINE, OVER THE 10 FEET ADJACENT TO ANY PRIVATE STREET AND OVER THE 12 FEET FOR REAR LOT LINE OR SUBDIVISION BOUNDARY UNLESS OTHERWISE NOTED.
- THIS DEVELOPMENT RECOGNIZES 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREON."
- LOTS 1 & 2, BLOCK 1; LOTS 1, 2, 34 & 35, BLOCK 2 ARE COMMON LOTS.
- LOT 13, BLOCK 2 IS A COMMON DRIVE FOR THE BENEFIT OF PARCEL No. R3403501080
- LOTS 20, BLOCK 2 IS AN EXISTING RANCHETTE TO REMAIN.
- IRRIGATION WATER HAS BEEN PROVIDED FROM CANYON COUNTY WATER COMPANY IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM SAID CANAL COMPANY.
- RESTRICTIVE COVENANTS AND CONDITIONS RECORDED IN CONJUNCTION WITH THE FINAL PLAT WILL BE IN EFFECT FOR THIS SUBDIVISION.
- INTERNAL LOT LINES ARE CONCEPTUAL AND MAY CHANGE DURING FINAL DESIGN.
- CROSS-ACCESS EASEMENTS AND UTILITY EASEMENT MAY BE PROVIDED ACROSS LOT LINES, AS DETERMINED, DURING FINAL DESIGN.

PROJECT TEAM

- PROPERTY OWNER**
- NAME: TRADITION CAPITAL PARTNERS LLC
 PARCEL: R34035010A1
 SITE ADDRESS: 0 KOA LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- NAME: TRADITION CAPITAL PARTNERS LLC
 PARCEL: R3403942000
 SITE ADDRESS: 0 RIVER RANCH LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- NAME: NATHAN OGDEN
 PARCEL: R34035010A0
 SITE ADDRESS: 21831 KOA LANE
 CITY/STATE/ZIP: STAR, IDAHO 83669
- ENGINEERING**
- NAME: KM ENGINEERING, LLP.
 CONTACT: JEFF DOERSCH, P.E.
 ADDRESS: 5725 N. DISCOVERY WAY
 CITY/STATE/ZIP: BOISE, IDAHO 83713
 PHONE: 208.639.6939
 EMAIL: jdoersch@kmenllp.com
- LANDSCAPE ARCHITECT**
- NAME: KM ENGINEERING, LLP.
 CONTACT: ALYSSA YENSEN, PLA
 ADDRESS: 5725 N. DISCOVERY WAY
 CITY/STATE/ZIP: BOISE, IDAHO 83713
 PHONE: 208.639.6939
 EMAIL: ayensen@kmenllp.com
- DEVELOPER**
- NAME: TRADITION CAPITAL PARTNERS LLC
 CONTACT: SPENCER KOEDEL
 ADDRESS: 8454 BROOKHAVEN PLACE
 CITY/STATE/ZIP: MIDDLETON, IDAHO 83644
 EMAIL: spencer@tcpidaho.com
 PHONE: 208.863.5164

LEGEND

- BOUNDARY LINE
- - - ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- R/W- R/W- RIGHT-OF-WAY LINE
- LOT LINE

INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
PP1.0	PRELIMINARY PLAT - COVER
PP2.0	PRELIMINARY PLAT - EXISTING CONDITIONS
PP3.0	PRELIMINARY PLAT - PRELIM. ENGINEERING
PP3.1	PRELIMINARY PLAT - PRELIM. ENGINEERING
EX 1.0	OPEN SPACE EXHIBIT
PPL1.0	PRELIMINARY PLAT LANDSCAPE COVER
PPL2.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL3.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL4.0	PRELIMINARY PLAT LANDSCAPE PLAN
PPL5.0	PRELIMINARY PLAT LANDSCAPE FENCE PLAN

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
 MARCH, 2024

PRELIMINARY PLAT DATA

SITE DATA

PARCEL NUMBER(S): R3403942000, R34035010A1, R34035010A0 & R3403901100

CURRENT ZONING: R-R & R-2

REQUESTED ZONING: R-2 (RESIDENTIAL DISTRICT)

PROJECT AREA: ±65.30 ACRES (GROSS)

DEVELOPABLE LOTS:	±46.89 ACRES
EXISTING RANCHETTE:	1 LOT ±1.82 ACRES
COMMON LOTS:	6 LOTS ±12.43 ACRES
COMMON DRIVE LOTS:	1 LOT ±0.26 ACRES
PRIVATE ROADWAY:	~ ±3.90 ACRES

MINIMUM LOT SIZE:	±13,200 SF	±0.30 ACRES
MAXIMUM LOT SIZE:	±812,392 SF	±18.65 ACRES
AVERAGE LOT SIZE:	±70,712 SF	±1.62 ACRES

DENSITY: ±0.46 UNITS PER ACRE

DIMENSIONAL STANDARDS FOR THE R-2 DISTRICT (PER TABLE 8-3A-4)

MAXIMUM HEIGHT:	35'
FRONT YARD SETBACK:	20'
REAR YARD SETBACK:	20'
INTERIOR SIDE YARD SETBACK:	10'
STREET SIDE SETBACK:	20'

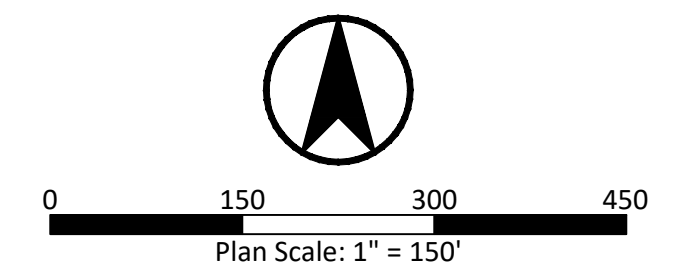
- FRONT YARD SETBACK SHALL BE MEASURED FROM THE FACE OF THE GARAGE TO THE FACE OF THE SIDEWALK, ALLOWING FOR 20' OF PARKING ON THE DRIVEWAY WITHOUT OVERHANGING ONTO THE SIDEWALK.

UTILITIES

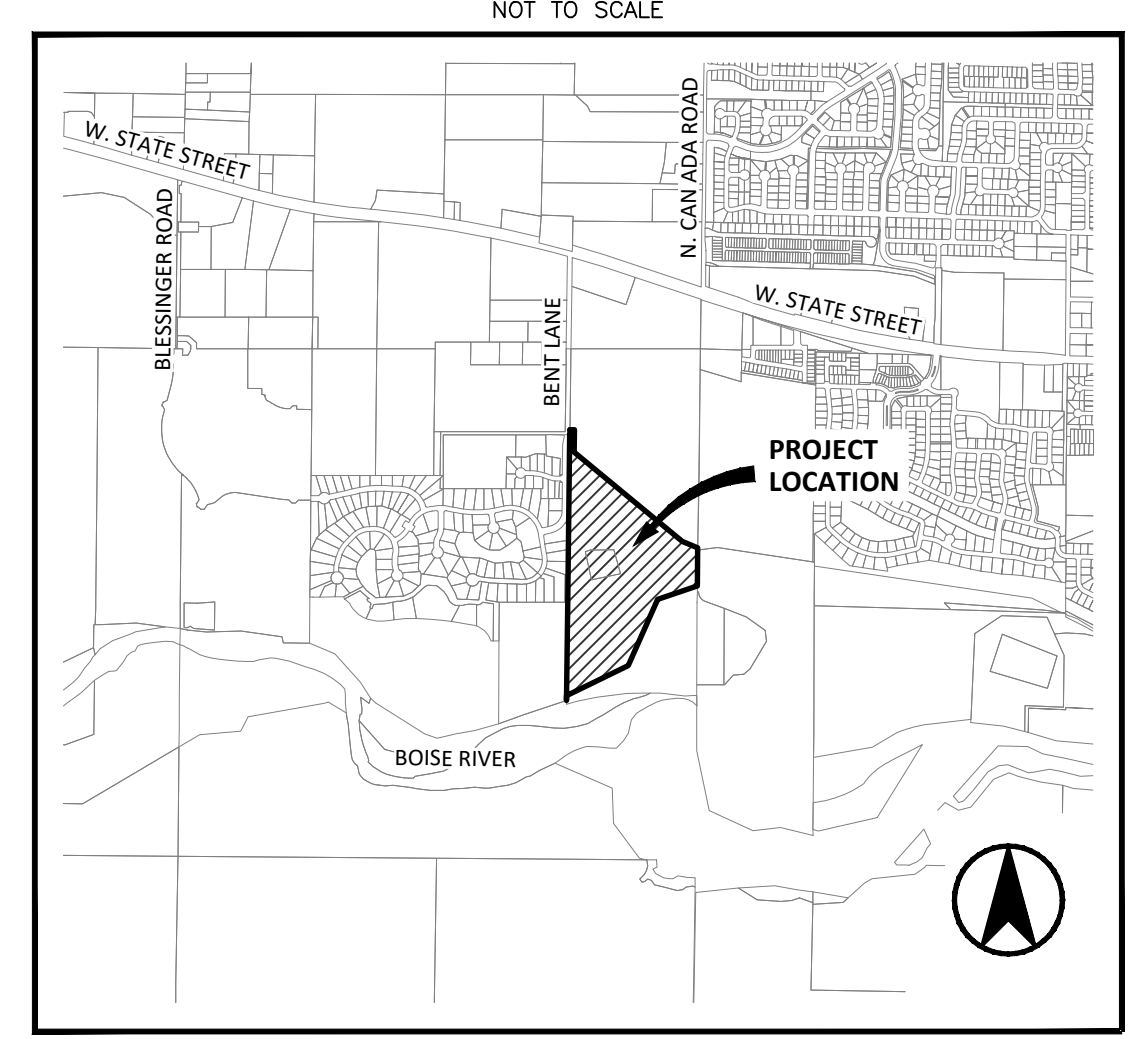
WATER: STAR WATER & SEWER DISTRICT
 SEWER: STAR WATER & SEWER DISTRICT
 IRRIGATION: CANYON COUNTY WATER COMPANY
 POWER: IDAHO POWER
 NATURAL GAS: INTERMOUNTAIN GAS CO.
 TELEPHONE: CENTURYLINK

SURVEY CONTROL NOTES

- ALL SURVEY DATA IS BASED ON THE NAD83 STATE PLANE COORDINATE SYSTEM (IDAHO WEST 1103) AND NAVD 88 VERTICAL DATUM.



VICINITY MAP



LAKE HAVEN ESTATES STAR, IDAHO PRELIMINARY PLAT - COVER		
REVISIONS		
NO.	ITEM	DATE

PROFESSIONAL ENGINEER
 LICENSED
 21761
 03/28/24
 STATE OF IDAHO
 JEFFREY DOERSCH

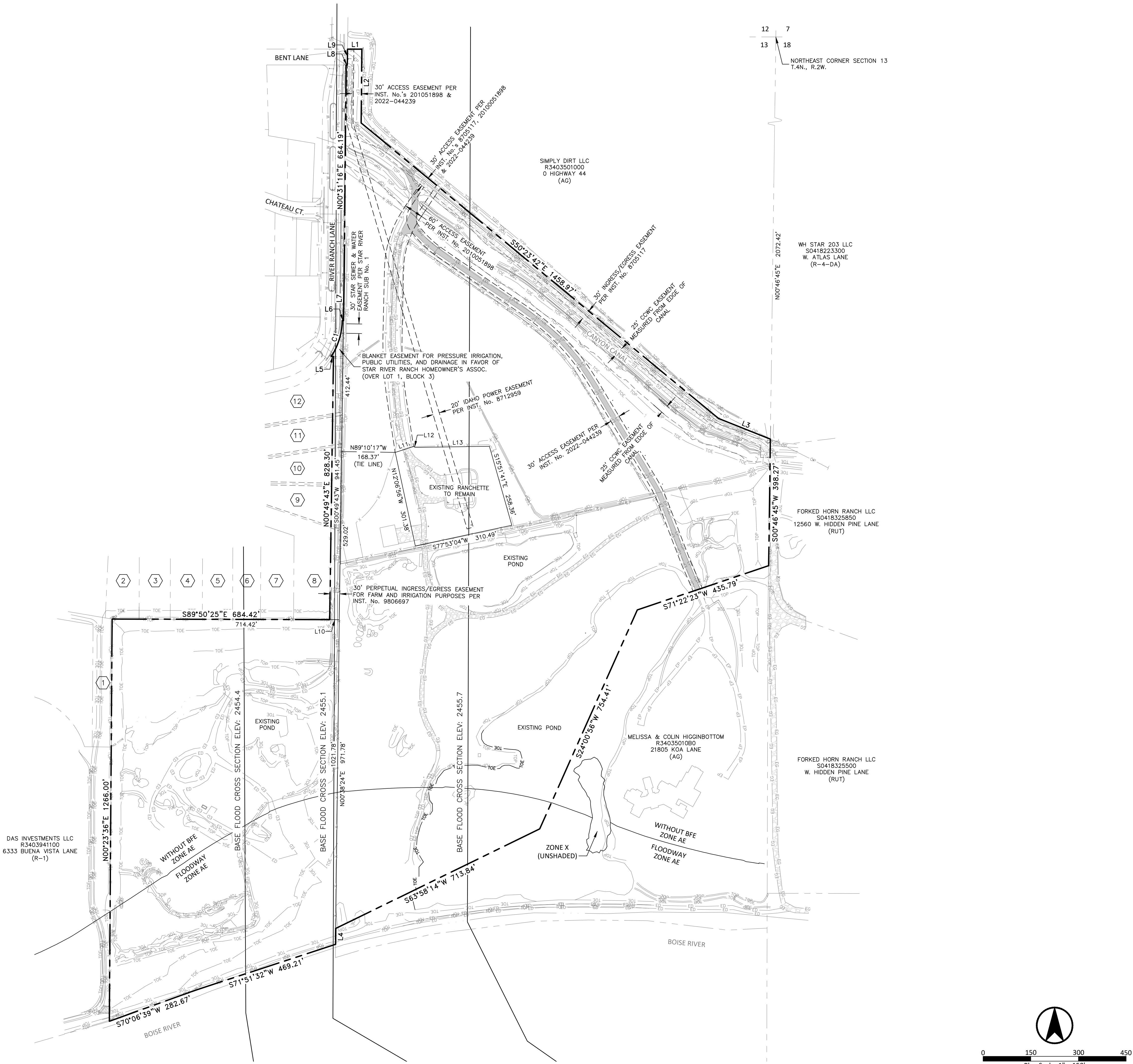
5725 NORTH DISCOVERY WAY
 BOISE, IDAHO 83713
 PHONE (208) 639-6939
 kmenllp.com

DATE:	3/28/24
PROJECT:	22-192
SHEET NO.	PP1.0

P:\22-192\DRAWING\PRELIMINARY\22-192-PP1.0 - COVER.DWG - BY: JDOERSCH, 3/28/2024, DWG TO PDF, PCL, 2008.L [PP1]

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
MARCH, 2024



LEGEND

---	BOUNDARY LINE
---	ADJACENT PROPERTY LINE
---	ROAD CENTERLINE
---	SECTION LINE
---	LOT LINE
---	EASEMENT LINE (AS NOTED)
S S S	SEWER LINE
PS PS PS	PRESSURE SEWER LINE
W W W	WATER LINE
OP OP OP	OVERHEAD POWER LINE
EP EP EP	EDGE OF PAVEMENT
EG EG EG	EDGE OF GRAVEL
ED ED ED	EDGE OF DIRT
TOP TOP TOP	TOP OF BANK
TOE TOE TOE	TOE OF BANK
X X X	FENCE LINE

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

LINE TABLE

LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
L2	S00°33'15"W	232.29
L3	S68°13'43"E	175.54
L4	S00°38'24"W	50.00
L5	N89°10'17"W	7.11
L6	S89°27'59"E	4.25
L7	N00°49'43"E	139.96
L8	S89°47'53"E	3.81
L9	N00°41'41"E	50.10
L10	N89°50'25"W	30.00
L11	N72°27'09"E	60.71
L12	S64°52'15"E	6.55
L13	N89°08'10"E	232.43

#	PARCEL NO.	PRIMARY OWNER	PROPERTY ADDRESS
1	R3403940400	STAR RIVER RANCH ESTATES HOA	6633 TRINITY CREEK LANE
2	R3403941300	MICHAEL PIERCE	6315 SALMON FALLS LANE
3	R3403941400	MIKELLE LAW	6303 SALMON FALLS LANE
4	R3403941500	ROBERT HUEBNER	6293 SALMON FALLS LANE
5	R3403941600	JUSTIN MASON	6287 SALMON FALLS LANE
6	R3403941700	RADCON INDUSTRIES INC	6271 SALMON FALLS LANE
7	R3403941800	DAS INVESTMENTS LLC	6263 SALMON FALLS LANE
8	R3403941900	DREW URNESS	6251 SALMON FALLS LANE
9	R3403933200	ENDURANCE HOLDINGS LLC	21492 SALMON FALLS LANE
10	R3403933100	ENDURANCE HOLDINGS LLC	21510 SALMON FALLS LANE
11	R3403933000	ENDURANCE HOLDINGS LLC	21528 SALMON FALLS LANE
12	R3403932900	KENDALL MATSON	21546 SALMON FALLS LANE

LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT - EXISTING CONDITIONS

REVISIONS

NO.	ITEM	DATE

5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DATE: 3/28/24
PROJECT: 22-192
SHEET NO. PP2.0

101

P:\22-192\CAD\PLAT\PRELIM\PP2-192-PP2.0 - EXISTING CONDITIONS.DWG, LEFT DOES/SCALE, 3/28/2024, CANYON\PP255 (BW), P.1, 24x36, L (PDF)

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
MARCH, 2024

PRELIMINARY ENGINEERING NOTES

- DOMESTIC WATER SERVICE WILL BE PROVIDED BY THE CITY OF STAR. THE PROPERTY WILL BE SERVED BY EXTENDING AND CONNECTING TO EXISTING INFRASTRUCTURE ALONG RIVER RANCH LANE. EXACT LOCATION TO BE DETERMINED DURING FINAL DESIGN.
- SANITARY SEWER SERVICE WILL BE PROVIDED BY STAR SEWER DISTRICT. THE PROPERTY WILL BE SERVED BY CONNECTING TO EXISTING INFRASTRUCTURE ALONG RIVER RANCH LANE. EXACT LOCATION TO BE DETERMINED DURING FINAL DESIGN.
- WATER AND SEWER LINE SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN AND WILL BE INSTALLED IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY & CITY OF STAR REQUIREMENTS.
- STORM DRAINAGE FROM THE ROADWAYS AND LOTS WILL BE COLLECTED IN ROADSIDE CURB AND GUTTER AND ROUTED TO STORM INFILTRATION FACILITIES IN COMMON AREAS SHOWN ON THE PLAN. THE STORM INFILTRATION FACILITIES SHOULD BE DESIGNED TO MEET THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE CITY OF STAR'S REQUIREMENTS. THE STORM DRAINAGE FACILITIES SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
- GRAVITY IRRIGATION IMPROVEMENTS SHOWN ARE PRELIMINARY AND SHALL BE DETERMINED DURING FINAL DESIGN.
- ALL STREETS SHALL BE PRIVATE ROADWAYS. ROADWAYS WILL BE CONSTRUCTED TO AT LEAST MINIMUM CITY OF STAR STANDARDS. SEE PRELIMINARY CROSS SECTION ON SHEET PP.3.1.
- ANY PEDESTRIAN RAMPS, CROSSINGS AND PATHWAYS ARE SHOWN IN A CONCEPTUAL MANNER AND WILL BE REFINED AND DETAILED DURING FINAL DESIGN.
- SANITARY SEWER, WATER, STORM DRAINAGE AND GRAVITY IRRIGATION FACILITIES LOCATED OUTSIDE A PUBLIC RIGHT-OF-WAY WILL BE PROVIDED A PERMANENT PUBLIC UTILITY EASEMENT.

KEYNOTES

- (1) CONNECT TO EXISTING WATER
- (2) STUB WATER FOR FUTURE CONNECTION
- (3) CONNECT TO EXISTING SEWER
- (4) STUB SEWER FOR FUTURE CONNECTION
- (5) GRAVITY IRRIGATION CONNECTION
- (6) EXISTING RANCHETTE
- (7) PICKLE-BALL COURTS & (1) TENNIS COURT
- (8) POND EXPANSION AREA
- (9) ENTRYWAY GATES
- (10) IRRIGATION PUMP STATION
- (11) STORMWATER TREATMENT FOREBAY
- (12) STORMWATER RETENTION POND
- (13) PRESSURE IRRIGATION CONNECTION
- (14) CLUSTER MAILBOX

LEGEND

- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- R/W --- R/W RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- S --- S --- SANITARY SEWER LINE
- PS --- PS --- PRESSURE SEWER LINE
- W --- W --- WATER LINE
- SD --- SD --- STORM DRAIN LINE
- CI --- CI --- GRAVITY IRRIGATION LINE
- PI --- PI --- PRESSURE IRRIGATION LINE
- EG --- EG --- EDGE OF GRAVEL
- OP --- OP --- OVERHEAD POWER LINE
- TOE --- TOE --- TOP OF BANK
- (S) SEWER MANHOLE
- ASPHALT ROADWAY
- COMMON AREA
- COMMON DRIVE
- CONCRETE PAVERS

LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
L2	N89°50'25"W	30.00
L3	N89°10'17"W	7.11
L4	S89°27'59"E	4.25
L5	S89°47'53"E	3.81
L6	S00°38'24"W	50.00

CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

LAKE HAVEN ESTATES STAR, IDAHO

PRELIMINARY PLAT - PRELIM. ENGINEERING

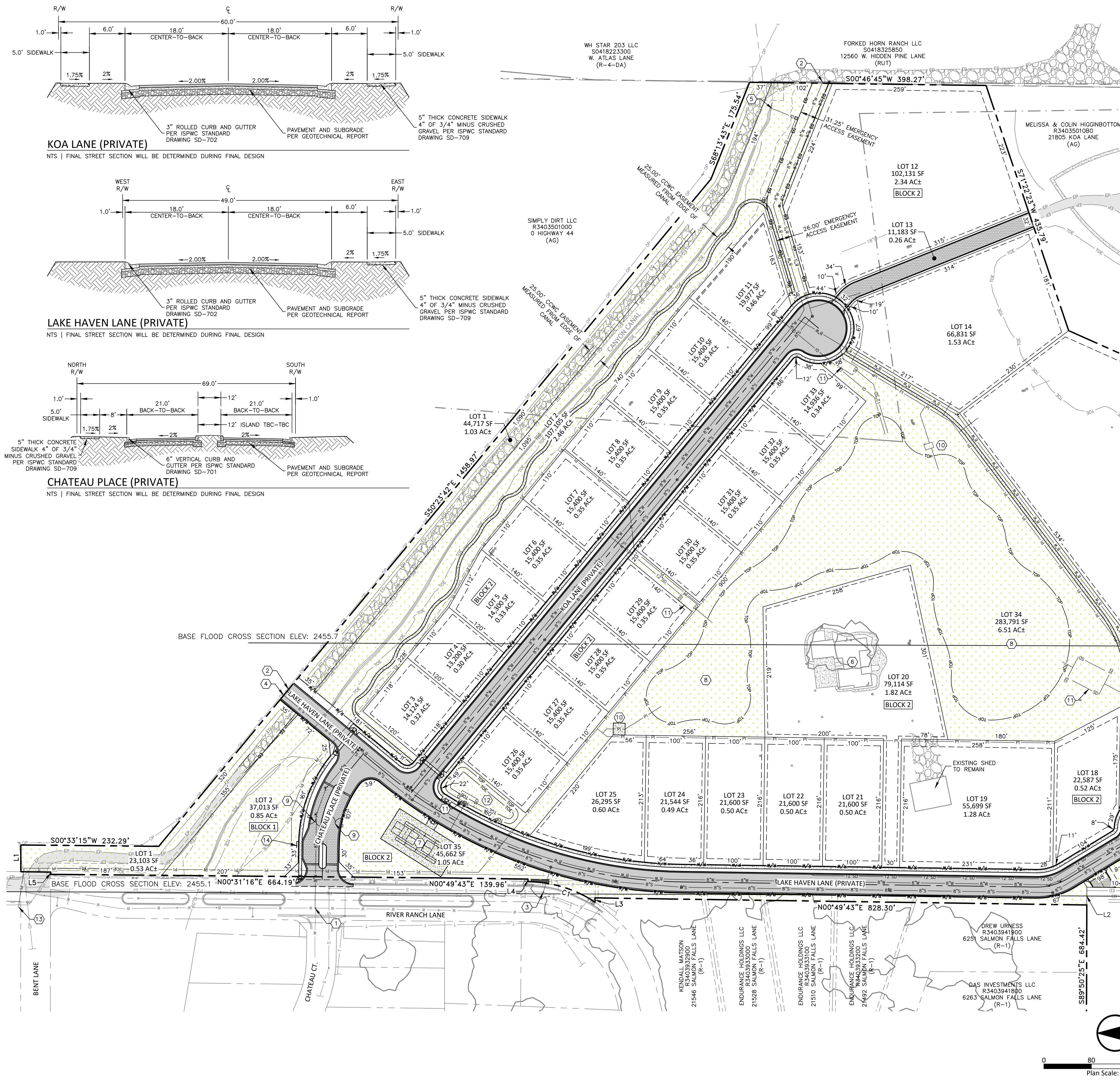
REVISIONS		
NO.	ITEM	DATE

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

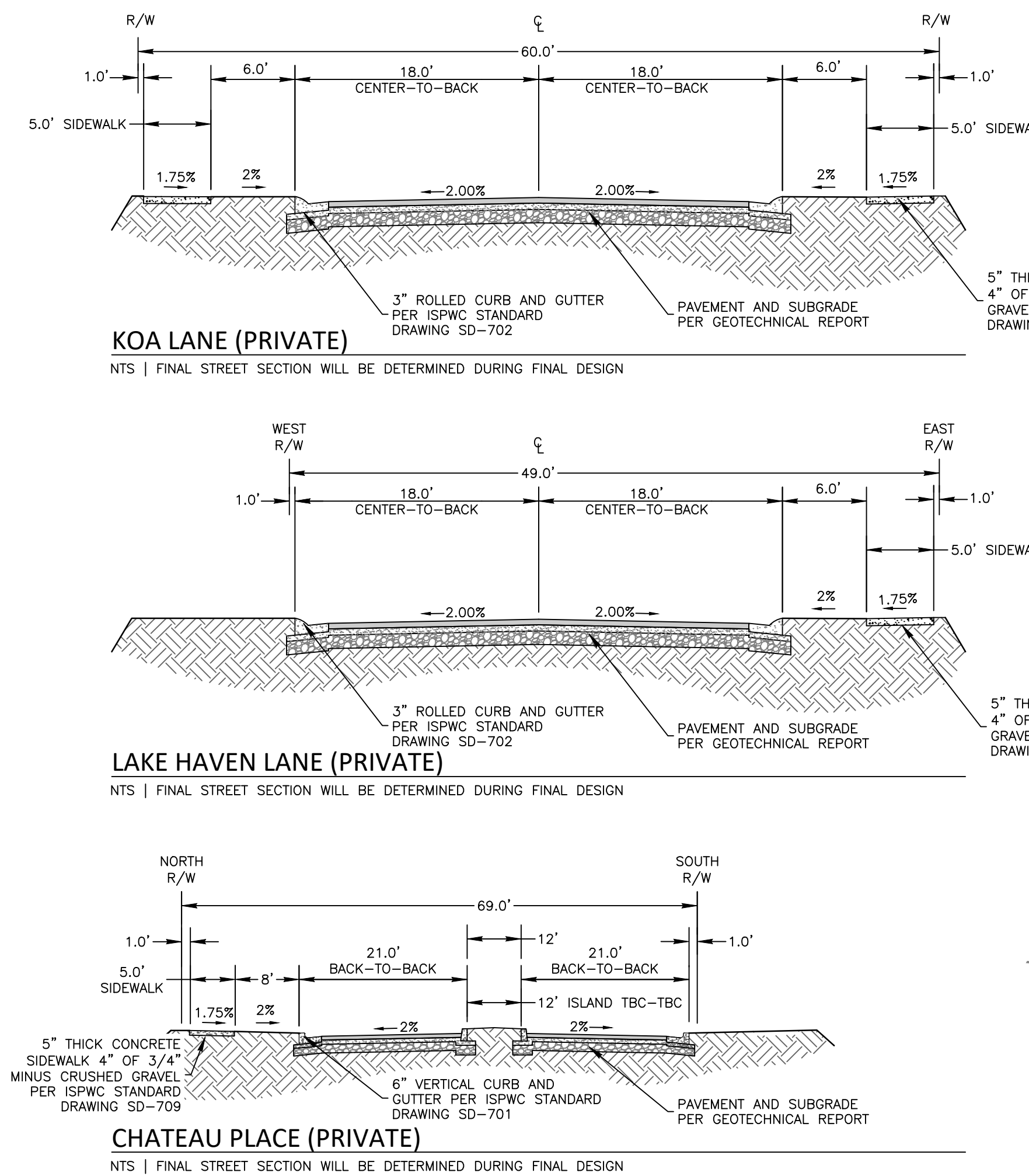
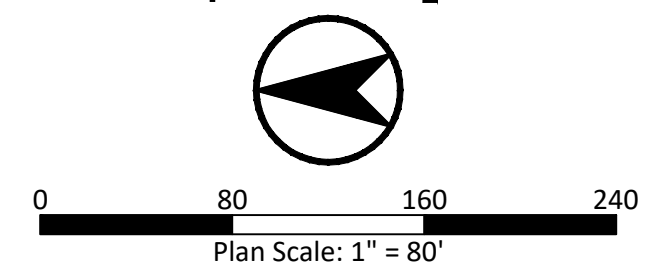
DATE: 3/28/24

PROJECT: 22-192

SHEET NO.
PP.3.0



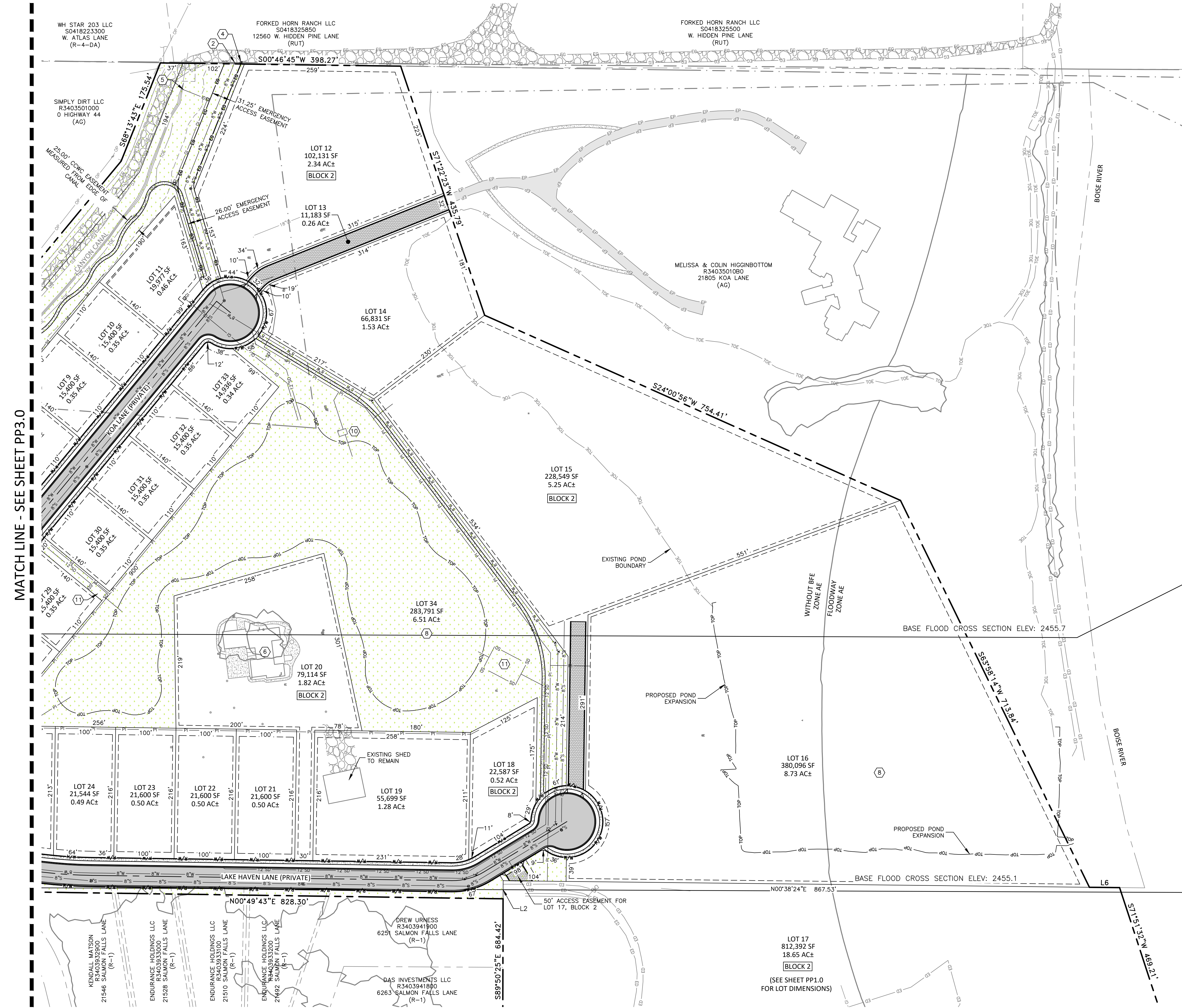
MATCH LINE - SEE SHEET PP.3.1



P:\32-187\CD\PRIVATE\PRELIM\PP.3.1 - LOT DIMENSIONS.DWG, IFT, DORSCHE, J. 3/28/2024, CANYON PP.3.5 (REV) (C), 24X36, 1 (PP.3)

PRELIMINARY PLAT SHOWING LAKE HAVEN ESTATES

PORTIONS OF THE EAST 1/2 OF THE NORTHEAST 1/4, GOVERNMENT LOT 1, AND ACCRETION LAND SITUATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 4 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO
MARCH, 2024



MATCH LINE - SEE SHEET PP3.0

KEYNOTES

- ① CONNECT TO EXISTING WATER
- ② STUB WATER FOR FUTURE CONNECTION
- ③ CONNECT TO EXISTING SEWER
- ④ STUB SEWER FOR FUTURE CONNECTION
- ⑤ GRAVITY IRRIGATION CONNECTION
- ⑥ EXISTING RANCHETTE
- ⑦ (2) PICKLE-BALL COURTS & (1) TENNIS COURT
- ⑧ POND EXPANSION AREA
- ⑨ ENTRYWAY GATES
- ⑩ IRRIGATION PUMP STATION
- ⑪ STORMWATER TREATMENT FOREBAY
- ⑫ STORMWATER RETENTION POND
- ⑬ PRESSURE IRRIGATION CONNECTION

LEGEND

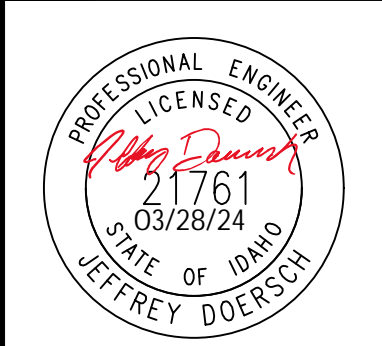
- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- SECTION LINE
- R/W --- R/W RIGHT-OF-WAY LINE
- LOT LINE
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- S --- S SANITARY SEWER LINE
- PS --- PS PRESSURE SEWER LINE
- W --- W WATER LINE
- SD --- SD STORM DRAIN LINE
- GI --- GI GRAVITY IRRIGATION LINE
- PI --- PI PRESSURE IRRIGATION LINE
- EG --- EG EDGE OF GRAVEL
- OP --- OP OVERHEAD POWER LINE
- TOP --- TOP TOP OF BANK
- TOE --- TOE TOE OF BANK
- (S) SEWER MANHOLE
- ASPHALT ROADWAY
- COMMON AREA
- COMMON DRIVE
- CONCRETE PAVERS

LINE	BEARING	DISTANCE
L1	S89°58'49"E	45.05
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L4	S89°27'59"E	4.25
L5	S89°47'53"E	3.81
L6	S00°38'24"W	50.00

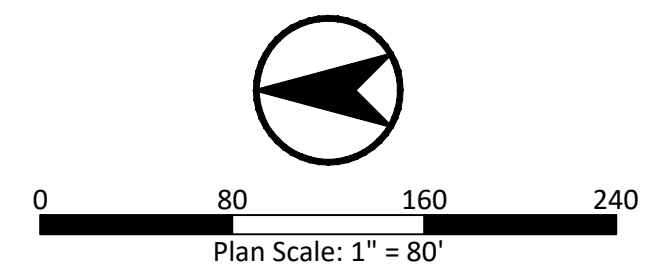
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG	CHORD
C1	208.50'	119.78'	32°54'57"	N16°58'45"E	118.14'

LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT - PRELIM. ENGINEERING

REVISIONS		
NO.	ITEM	DATE



DATE: 3/28/24
PROJECT: 22-192
SHEET NO.
PP3.1



GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1585. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL TREE, TURF, PLANT MATERIAL, AND IRRIGATION PROPOSED WITHIN THE PLANTER STRIP BETWEEN BACK OF CURB AND SIDEWALK SHALL BE INSTALLED BY THE HOME BUILDER IN CONJUNCTION WITH THE INDIVIDUAL LOT DEVELOPMENT.
- ALL TREES PLANTED IN THE PARK STRIP (BY BUILDER) TO BE CENTERED BETWEEN BACK OF CURB AND SIDEWALK AND ARE SUBJECT TO THE ACHD DEVELOPMENT AGREEMENT FOR LANDSCAPING.
- FENCING WITHIN SUBDIVISION, ALONG SIDE AND REAR LOT LINES SHALL BE INSTALLED BY BUILDER/HOMEOWNER IN CONJUNCTION WITH INDIVIDUAL LOT DEVELOPMENT AND SHALL COMPLY WITH THE STANDARDS ESTABLISHED IN THE SUBDIVISION'S CC&RS.

GENERAL IRRIGATION NOTES

- ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF COMMON AREAS SHALL BE VIA THE SUBDIVISION'S PRESSURIZED IRRIGATION SYSTEM. IRRIGATION OF INDIVIDUAL LOTS AND LANDSCAPING ALONG THE FRONTAGE OF PRIVATE LOTS SHALL BE PRESSURIZED IRRIGATION WATER, AND THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
- IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
- OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.

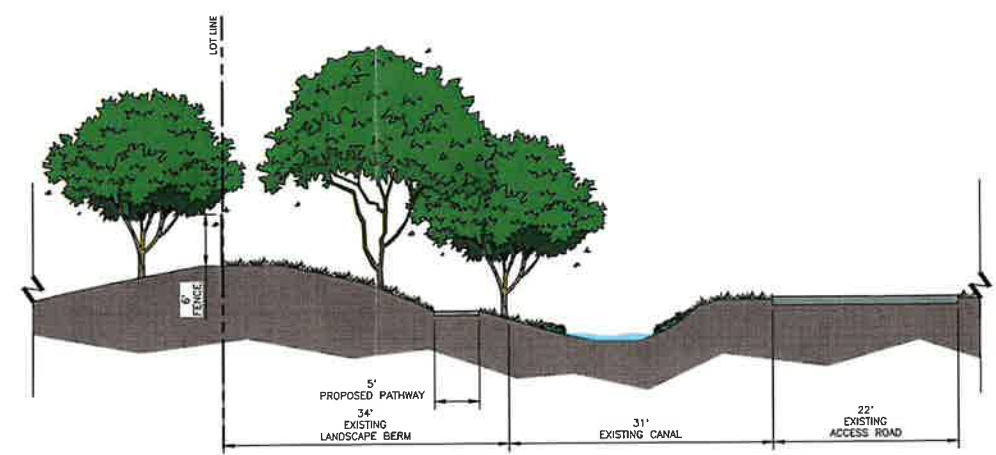
TREE PROTECTION NOTES

- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
- PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN THE CRITICAL ROOT ZONE.
- COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
- MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK. THIS IS A MIN. RECOMMENDATION. CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
- ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.

OPEN SPACE TREE CALCULATIONS

OPEN SPACE TREES PROVIDED AT A MINIMUM OF (1) TREE PER 4,000 SF

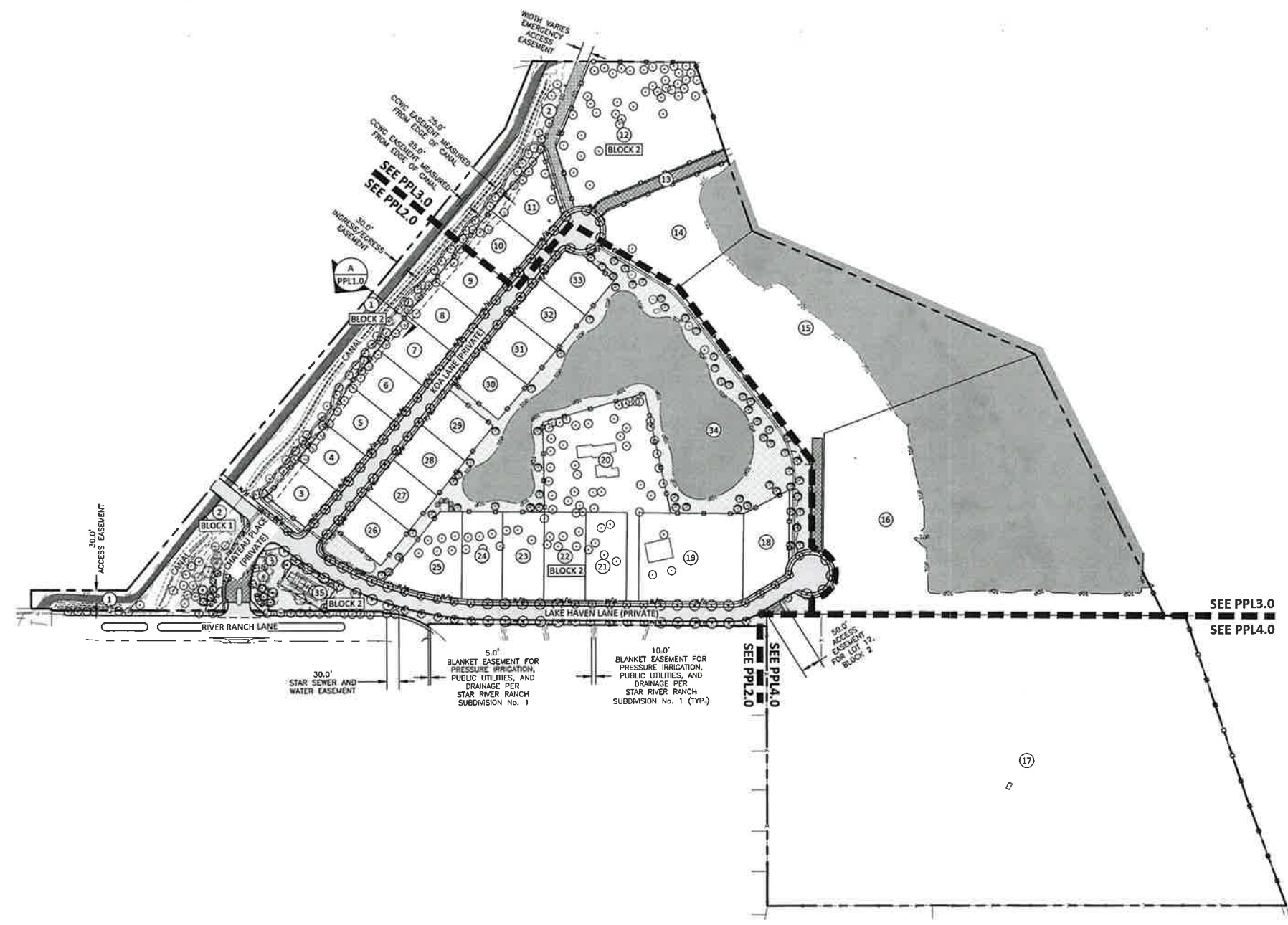
BLOCK #	LOT #	LOT AREA (SF)	LOT AREA (AC)	REQ	PRVD
1	2	37,394	0.86	9	25
2	2	107,098	2.46	27	55
2	34	284,111	6.52	71	71
2	35	45,718	1.05	11	49
				118	200
TOTAL OPEN SPACE TREES					
TOTAL STREET TREES				0	125
TREE SPECIES MIX				5	10



A LANDSCAPE SECTION VIEW
NTS

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY	SIZE	MATURE HWT	CLA
DECIDUOUS TREES					
(+)	ACER TRUNCATUM 'PACIFIC SUNSET' TM / PACIFIC SUNSET MAPLE	37	2" CAL. B&B	35'X38'	CLASS II
(+)	ACER X FREEMANII 'JEFFREY' / AUTUMN BLAZE MAPLE	5	2" CAL. B&B	58'X38'	CLASS II
(+)	BETULA NIGRA 'DURAHEAT' / DURAHEAT RIVER BIRCH MULL-TRUNK	24	2" CAL. B&B CLUMP	35'X38'	CLASS II
(+)	GLEDITSIA TRIACANTHOS 'SHADEMASTER' / SHADEMASTER HONEYLOCUST	29	2" CAL. B&B	48'X38'	CLASS II
(+)	PRUNUS CERASIFERA 'THUNDERCLOUD' / THUNDERCLOUD PURPLE LEAF PLUM	3	2" CAL. B&B	28'X28'	CLASS I
(+)	PYRUS CALLERYANA 'REDSPIRE' / REDSPIRE CALLERY PEAR	38	2" CAL. B&B	35'X28'	CLASS II
EVERGREEN TREES					
(+)	CEDRUS DEODARA 'GOLD CONE' / GOLD CONE DEODAR CEDAR	6	6"-8" B&B	25'X18'	EVERGREEN
(+)	PICEA PUNGENS 'BABY BLUE' / BABY BLUE COLORADO SPRUCE	6	6"-8" B&B	55'X25'	EVERGREEN
(+)	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	7	6"-8" B&B	25'X15'	EVERGREEN
EXISTING TREES					
(+)	EXISTING TREE TO BE RELOCATED / TREES TO BE SPADED, STORED AND REPLANTED	62	EXISTING	VARIES	
(+)	EXISTING TREE TO BE REMOVED	25	EXISTING	VARIES	
(+)	EXISTING TREE TO REMAIN / PRESERVE AND PROTECT / SEE TREE PROTECTION NOTES AND KEY NOTES	233	EXISTING	VARIES	
(+)	RELOCATED TREES / PRESERVE AND PROTECT	62	TRANSPLANTED	VARIES	
OTHER					
(+)	EXISTING LANDSCAPE TO REMAIN / PRESERVE AND PROTECT / SEE KEY NOTES	138,684 SF	NONE		
(+)	PLANTING BED / SHRUBS, PERENNIALS, OR GRASSES	24,559 SF	-		
SOD/SEED					
(+)	TURF SOD RHIZOMATOUS / RHIZOMATOUS TALL FESCUE	198,523 SF	SOD		



PRELIMINARY PLAT LANDSCAPE COVER

Plan Scale: 1" = 150'

CONTACT INFORMATION

DEVELOPER
TRADITION CAPITAL PARTNERS LLC
8454 BROOKHAVEN PLACE
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CONTACT: SPENCER KOFOD
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LANDSCAPE CONSULTANT
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5725 NORTH DISCOVERY WAY
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FAX: (208) 639-6930
CONTACT: ALYSSA YENSEN, PLA
EMAIL: ayensen@kmenllp.com

LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT LANDSCAPE COVER

REVISIONS		
NO.	ITEM	DATE

STATE OF IDAHO
PROFESSIONAL LANDSCAPE ARCHITECT

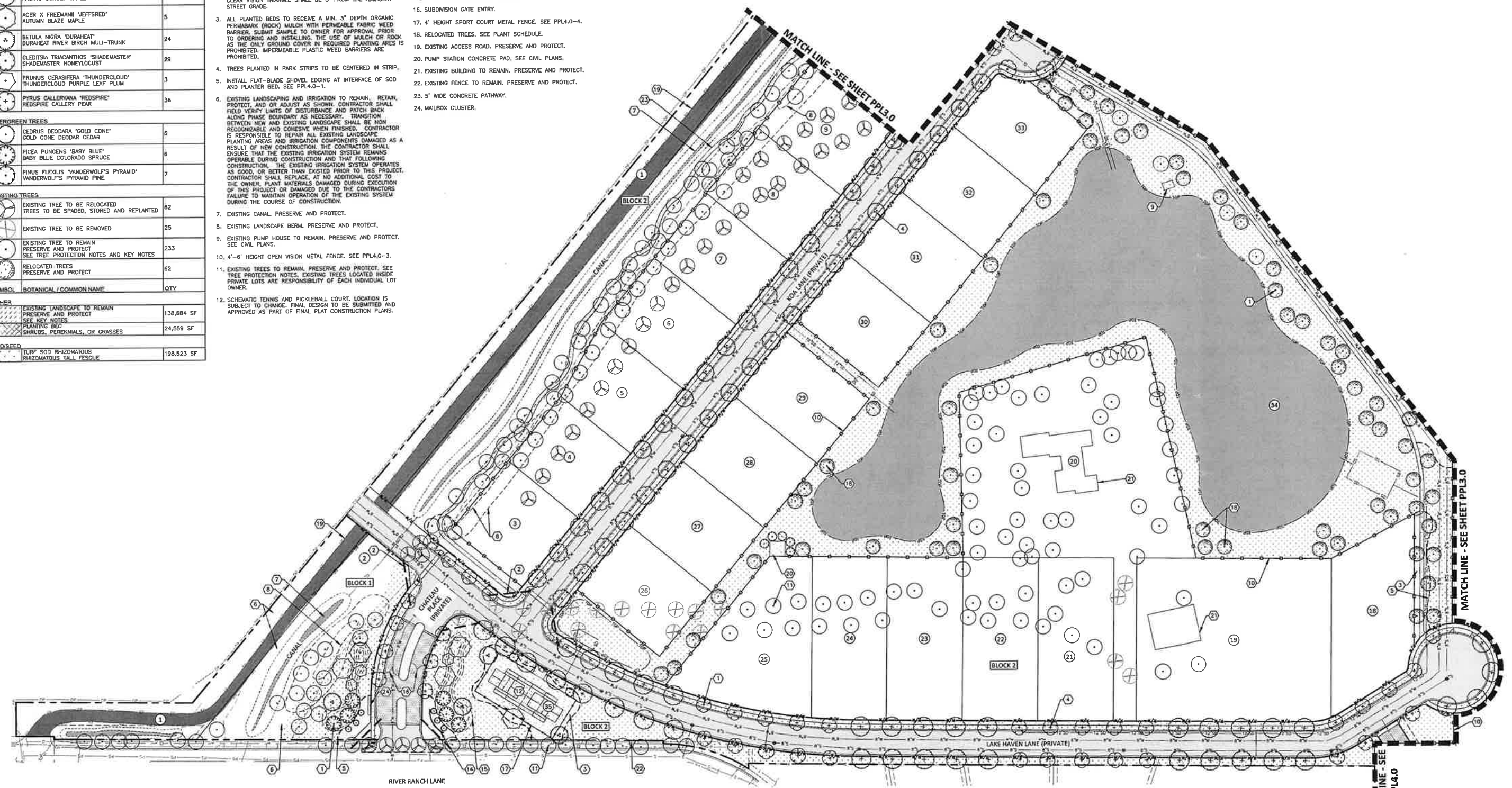
km ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmenllp.com

DATE: 3/28/24
PROJECT: 22-192
SHEET NO. PPL1.0

PLANT SCHEDULE NOTE: SEE PPL1.0 FOR FULL PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY
DECIDUOUS TREES		
(Symbol)	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	37
(Symbol)	ACER X FREEMANNI 'JEFFSRED' AUTUMN BLAZE MAPLE	5
(Symbol)	BETULA NIGRA 'DURAHEAT' DURAHEAT RIVER BIRCH MULI-TRUNK	24
(Symbol)	BLEDITIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	29
(Symbol)	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM	3
(Symbol)	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR	38
EVERGREEN TREES		
(Symbol)	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR	6
(Symbol)	PICEA PLUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE	6
(Symbol)	PINUS FLEXILIS 'WANDERWOLF'S PYRAMID' WANDERWOLF'S PYRAMID PINE	7
EXISTING TREES		
(Symbol)	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED	62
(Symbol)	EXISTING TREE TO BE REMOVED	25
(Symbol)	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	233
(Symbol)	RELOCATED TREES PRESERVE AND PROTECT	62
OTHER		
(Symbol)	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	138,684 SF
(Symbol)	PLANTING BED SHRUBS, PERENNIALS, OR GRASSES	24,559 SF
SOD/SEED		
(Symbol)	TURF SOD RHIZOMATOUS	198,523 SF
(Symbol)	RHIZOMATOUS TALL FESCUE	

- KEYNOTES (TYPICAL) (K)**
1. INSTALL 3" DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
 2. 40' CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
 3. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
 4. TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
 5. INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOD AND PLANTER BED. SEE PPL4.0-1.
 6. EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTOR'S FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
 7. EXISTING CANAL. PRESERVE AND PROTECT.
 8. EXISTING LANDSCAPE BERM. PRESERVE AND PROTECT.
 9. EXISTING PUMP HOUSE TO REMAIN. PRESERVE AND PROTECT. SEE CIVIL PLANS.
 10. 4'-6" HEIGHT OPEN VISION METAL FENCE. SEE PPL4.0-3.
 11. EXISTING TREES TO REMAIN. PRESERVE AND PROTECT. SEE TREE PROTECTION NOTES. EXISTING TREES LOCATED INSIDE PRIVATE LOTS ARE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER.
 12. SCHEMATIC TENNIS AND PICKLEBALL COURT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
 13. EMERGENCY FIRE ACCESS. SEE CIVIL PLANS.
 14. SCHEMATIC ENTRY MONUMENT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
 15. 2'-3" HEIGHT LANDSCAPE BERM.
 16. SUBDIVISION GATE ENTRY.
 17. 4' HEIGHT SPORT COURT METAL FENCE. SEE PPL4.0-4.
 18. RELOCATED TREES. SEE PLANT SCHEDULE.
 19. EXISTING ACCESS ROAD. PRESERVE AND PROTECT.
 20. PUMP STATION CONCRETE PAD. SEE CIVIL PLANS.
 21. EXISTING BUILDING TO REMAIN. PRESERVE AND PROTECT.
 22. EXISTING FENCE TO REMAIN. PRESERVE AND PROTECT.
 23. 5' WIDE CONCRETE PATHWAY.
 24. MAILBOX CLUSTER.



PRELIMINARY PLAT LANDSCAPE PLAN
 0 60 120 180
 Plan Scale: 1" = 60'

LAKE HAVEN ESTATES STAR, IDAHO PRELIMINARY PLAT LANDSCAPE PLAN		
REVISIONS		
NO.	ITEM	DATE

5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-4919
kmer@km.com

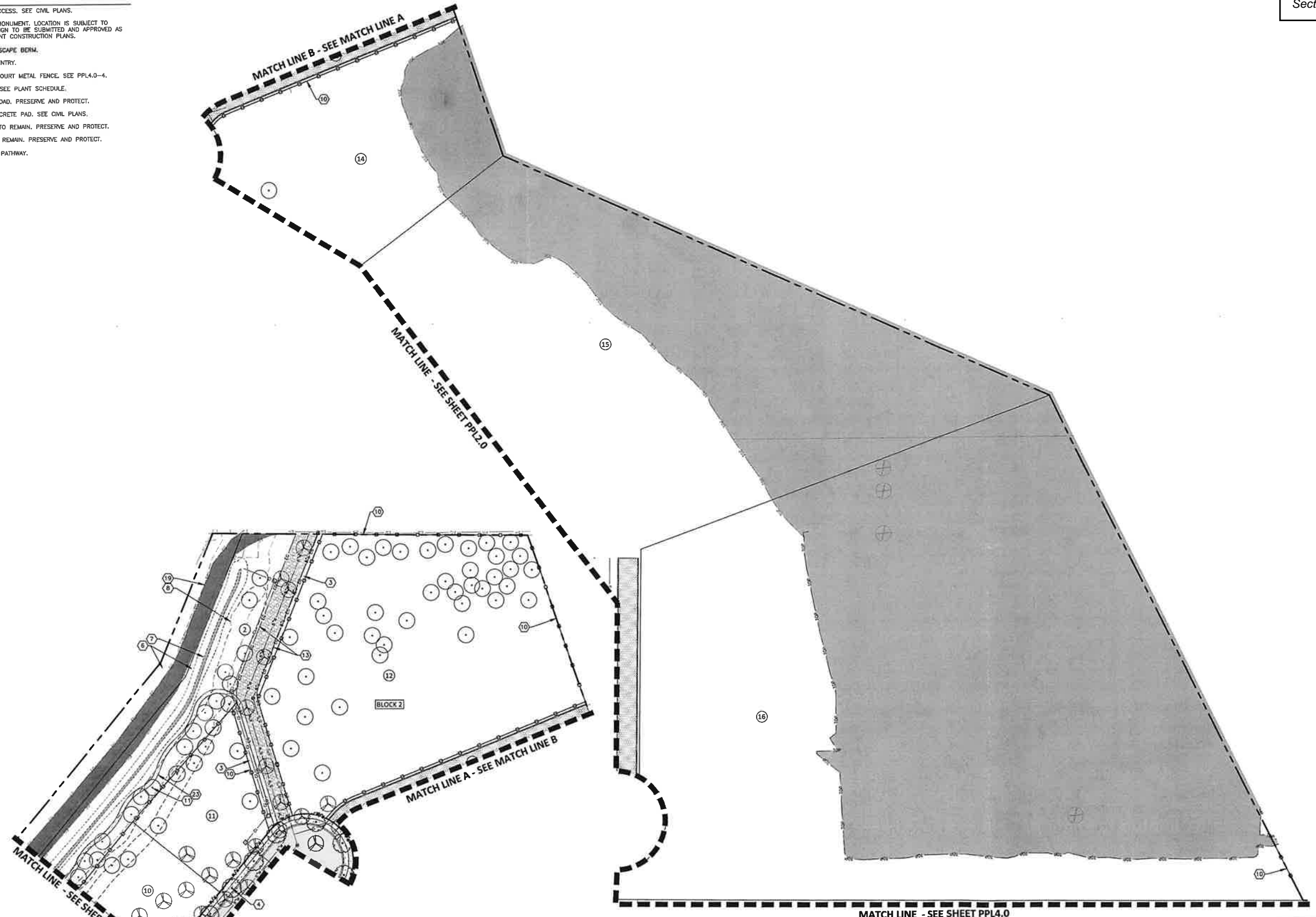
DATE:	3/28/24
PROJECT:	22-192
SHEET NO.	PPL2.0

KEYNOTES (TYPICAL) (1)

1. INSTALL 3" DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
2. 40' CLEAR VISION TRIANGLE, NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
3. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMMARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
4. TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
5. INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOO AND PLANTER BED. SEE PPL4.0-1.
6. EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
7. EXISTING CANAL. PRESERVE AND PROTECT.
8. EXISTING LANDSCAPE BERM. PRESERVE AND PROTECT.
9. EXISTING PUMP HOUSE TO REMAIN. PRESERVE AND PROTECT. SEE CIVIL PLANS.
10. 4'-6" HEIGHT OPEN VISION METAL FENCE. SEE PPL4.0-3.
11. EXISTING TREES TO REMAIN. PRESERVE AND PROTECT. SEE TREE PROTECTION NOTES. EXISTING TREES LOCATED INSIDE PRIVATE LOTS ARE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER.
12. SCHEMATIC TENNIS AND PICKLEBALL COURT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
13. EMERGENCY FIRE ACCESS. SEE CIVIL PLANS.
14. SCHEMATIC ENTRY MONUMENT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
15. 2'-3" HEIGHT LANDSCAPE BERM.
16. SUBDIVISION GATE ENTRY.
17. 4' HEIGHT SPORT COURT METAL FENCE. SEE PPL4.0-4.
18. RELOCATED TREES. SEE PLANT SCHEDULE.
19. EXISTING ACCESS ROAD. PRESERVE AND PROTECT.
20. PUMP STATION CONCRETE PAD. SEE CIVIL PLANS.
21. EXISTING BUILDING TO REMAIN. PRESERVE AND PROTECT.
22. EXISTING FENCE TO REMAIN. PRESERVE AND PROTECT.
23. 5' WIDE CONCRETE PATHWAY.
24. MAILBOX CLUSTER.

PLANT SCHEDULE NOTE: SEE PPL1.0 FOR FULL PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	QTY
DECIDUOUS TREES		
(+)	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	37
(•)	ACER X FREEMANII 'JEFFSRED' AUTUMN BLAZE MAPLE	5
(▲)	BETULA NIGRA 'DURAHAT' DURAHAT RIVER BIRCH MULU-TRUNK	24
(•)	GLEDITSIA TRIACANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	29
(•)	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM	3
(+)	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR	38
EVERGREEN TREES		
(•)	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR	6
(•)	PICEA PLUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE	6
(•)	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	7
EXISTING TREES		
(•)	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED	62
(•)	EXISTING TREE TO BE REMOVED	25
(•)	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	233
(•)	RELOCATED TREES PRESERVE AND PROTECT	62
OTHER		
(•)	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	136,864 SF
(•)	PLANTING BED SHRUBS, PERENNIALS, OR GRASSES	24,559 SF
SOIL/SEED		
(•)	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	198,523 SF



PRELIMINARY PLAT LANDSCAPE PLAN
 0 60 120 180
 Plan Scale: 1" = 60'

**LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT LANDSCAPE PLAN**

REVISIONS		
NO.	ITEM	DATE

STATE OF IDAHO
PROFESSIONAL ENGINEER
16532
7/28/29

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmen@ip.com

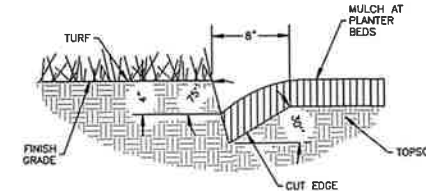
DATE:	3/28/24
PROJECT:	22-192
SHEET NO.:	PPL3.0

KEYNOTES (TYPICAL) (7)

- INSTALL 3' DIAMETER SHOVEL CUT TREE RING, WITH BARE EARTH SURFACE AT ALL TREES WITHIN TURF AREAS.
- 40' CLEAR VISION TRIANGLE. NO TREES SHALL BE PLANTED WITHIN A CLEAR VISION TRIANGLE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUND COVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE 3' FROM THE ADJACENT STREET GRADE.
- ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC PERMABARK (ROCK) MULCH WITH PERMEABLE FABRIC WEED BARRIER. SUBMIT SAMPLE TO OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLING. THE USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREAS IS PROHIBITED. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.
- TREES PLANTED IN PARK STRIPS TO BE CENTERED IN STRIP.
- INSTALL FLAT-BLADE SHOVEL EDGING AT INTERFACE OF SOD AND PLANTER BED. SEE PPL4.0-1.
- EXISTING LANDSCAPING AND IRRIGATION TO REMAIN. RETAIN, PROTECT, AND OR ADJUST AS SHOWN. CONTRACTOR SHALL FIELD VERIFY LIMITS OF DISTURBANCE AND PATCH BACK ALONG PHASE BOUNDARY AS NECESSARY. TRANSITION BETWEEN NEW AND EXISTING LANDSCAPE SHALL BE NON RECOGNIZABLE AND COHESIVE WHEN FINISHED. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL EXISTING LANDSCAPE PLANTING AREAS AND IRRIGATION COMPONENTS DAMAGED AS A RESULT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING IRRIGATION SYSTEM REMAINS OPERABLE DURING CONSTRUCTION AND THAT FOLLOWING CONSTRUCTION, THE EXISTING IRRIGATION SYSTEM OPERATES AS GOOD, OR BETTER THAN EXISTED PRIOR TO THIS PROJECT. CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS DAMAGED DURING EXECUTION OF THIS PROJECT OR DAMAGED DUE TO THE CONTRACTORS FAILURE TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DURING THE COURSE OF CONSTRUCTION.
- EXISTING CANAL. PRESERVE AND PROTECT.
- EXISTING LANDSCAPE BERM. PRESERVE AND PROTECT.
- EXISTING PUMP HOUSE TO REMAIN. PRESERVE AND PROTECT. SEE CIVIL PLANS.
- 4'-6" HEIGHT OPEN VISION METAL FENCE. SEE PPL4.0-3.
- EXISTING TREES TO REMAIN. PRESERVE AND PROTECT. SEE TREE PROTECTION NOTES. EXISTING TREES LOCATED INSIDE PRIVATE LOTS ARE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER.
- SCHEMATIC TENNIS AND PICKLEBALL COURT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
- EMERGENCY FIRE ACCESS. SEE CIVIL PLANS.
- SCHEMATIC ENTRY MONUMENT. LOCATION IS SUBJECT TO CHANGE. FINAL DESIGN TO BE SUBMITTED AND APPROVED AS PART OF FINAL PLAT CONSTRUCTION PLANS.
- 2'-3" HEIGHT LANDSCAPE BERM.
- SUBVISION GATE ENTRY.
- 4' HEIGHT SPORT COURT METAL FENCE. SEE PPL4.0-4.
- RELOCATED TREES. SEE PLANT SCHEDULE.
- EXISTING ACCESS ROAD. PRESERVE AND PROTECT.
- PUMP STATION CONCRETE PAD. SEE CIVIL PLANS.
- EXISTING BUILDING TO REMAIN. PRESERVE AND PROTECT.
- EXISTING FENCE TO REMAIN. PRESERVE AND PROTECT.
- 5' WIDE CONCRETE PATHWAY.
- MAILBOX CLUSTER.

PLANT SCHEDULE NOTE: SEE PPL1.0 FOR FULL PLANT SCHEDULE

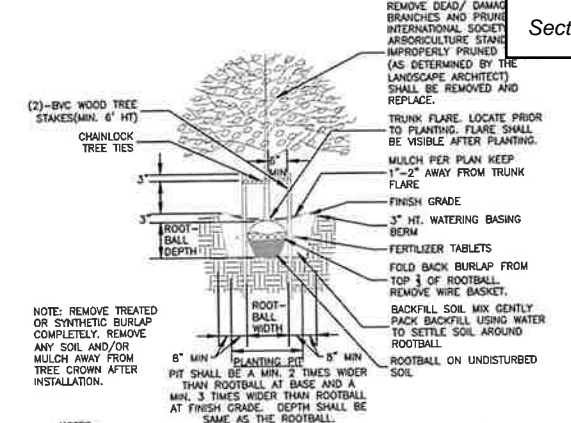
SYMBOL	BOTANICAL / COMMON NAME	QTY
DECIDUOUS TREES		
(+)	ACER TRUNCATUM 'PACIFIC SUNSET' TM PACIFIC SUNSET MAPLE	37
(*)	ACER X FREEMANII 'JEFFREY'S' AUTUMN BLAZE MAPLE	5
(A)	BETULA NIGRA 'DURAMEAT' DURAMEAT RIVER BIRCH MULTI-TRUNK	24
(*)	GLEDITSIA TRICANTHOS 'SHADEMASTER' SHADEMASTER HONEYLOCUST	29
(*)	PRUNUS CERASIFERA 'THUNDERCLOUD' THUNDERCLOUD PURPLE LEAF PLUM	3
(+)	PYRUS CALLERYANA 'REDSPIRE' REDSPIRE CALLERY PEAR	38
EVERGREEN TREES		
(*)	CEDRUS DEODARA 'GOLD CONE' GOLD CONE DEODAR CEDAR	6
(*)	PICEA PUNGENS 'BABY BLUE' BABY BLUE COLORADO SPRUCE	6
(*)	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	7
EXISTING TREES		
(/)	EXISTING TREE TO BE RELOCATED TREES TO BE SPADED, STORED AND REPLANTED	62
(X)	EXISTING TREE TO BE REMOVED	25
(O)	EXISTING TREE TO REMAIN PRESERVE AND PROTECT SEE TREE PROTECTION NOTES AND KEY NOTES	233
(R)	RELOCATED TREES PRESERVE AND PROTECT	62
OTHER		
(Hatched)	EXISTING LANDSCAPE TO REMAIN PRESERVE AND PROTECT SEE KEY NOTES	138,684 SF
(Dotted)	PLANTING BED SHRUBS, PERENNIALS, OR GRASSES	24,559 SF
(Sod)	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	198,523 SF



1 SHOVEL CUT EDGE
NTS



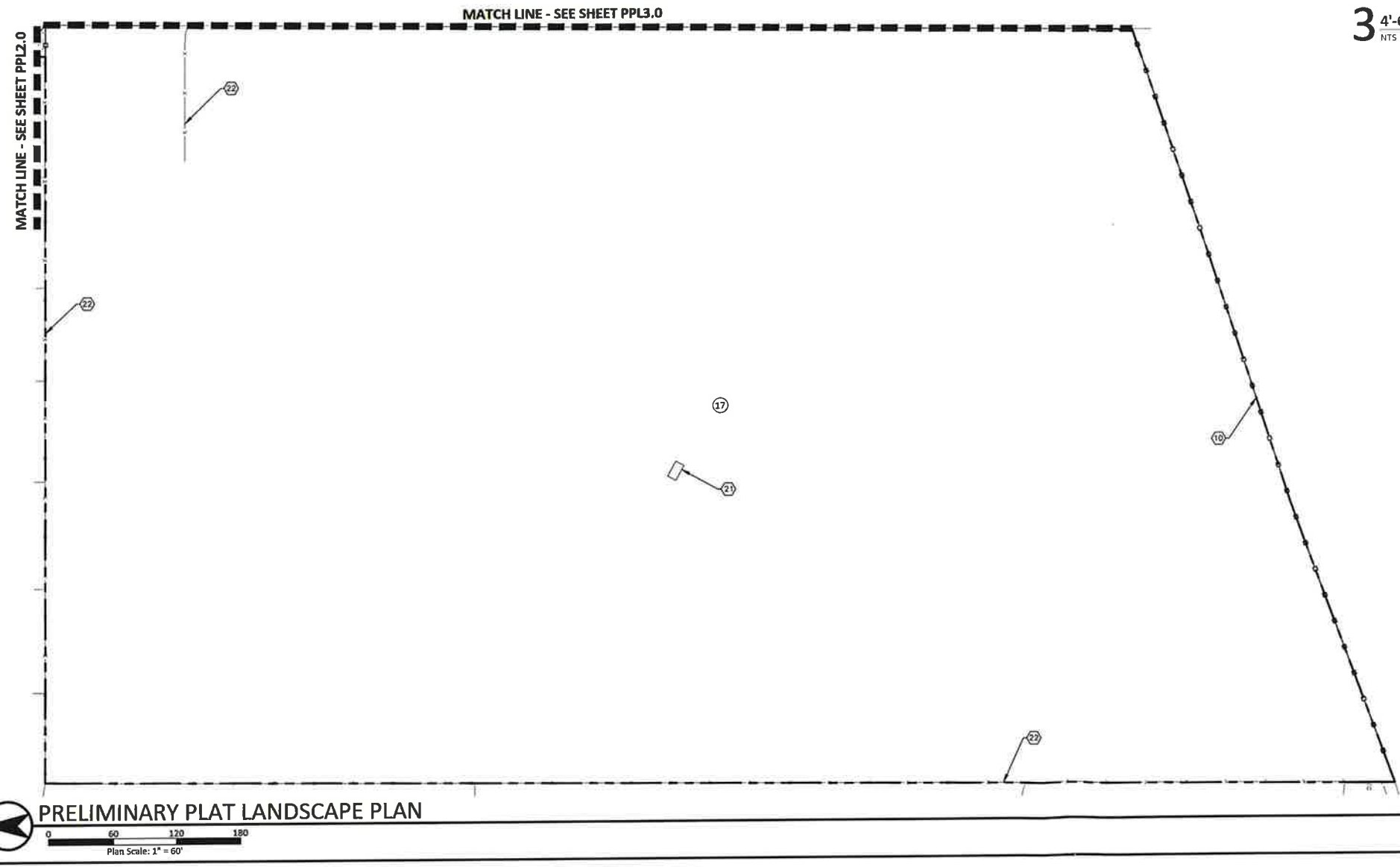
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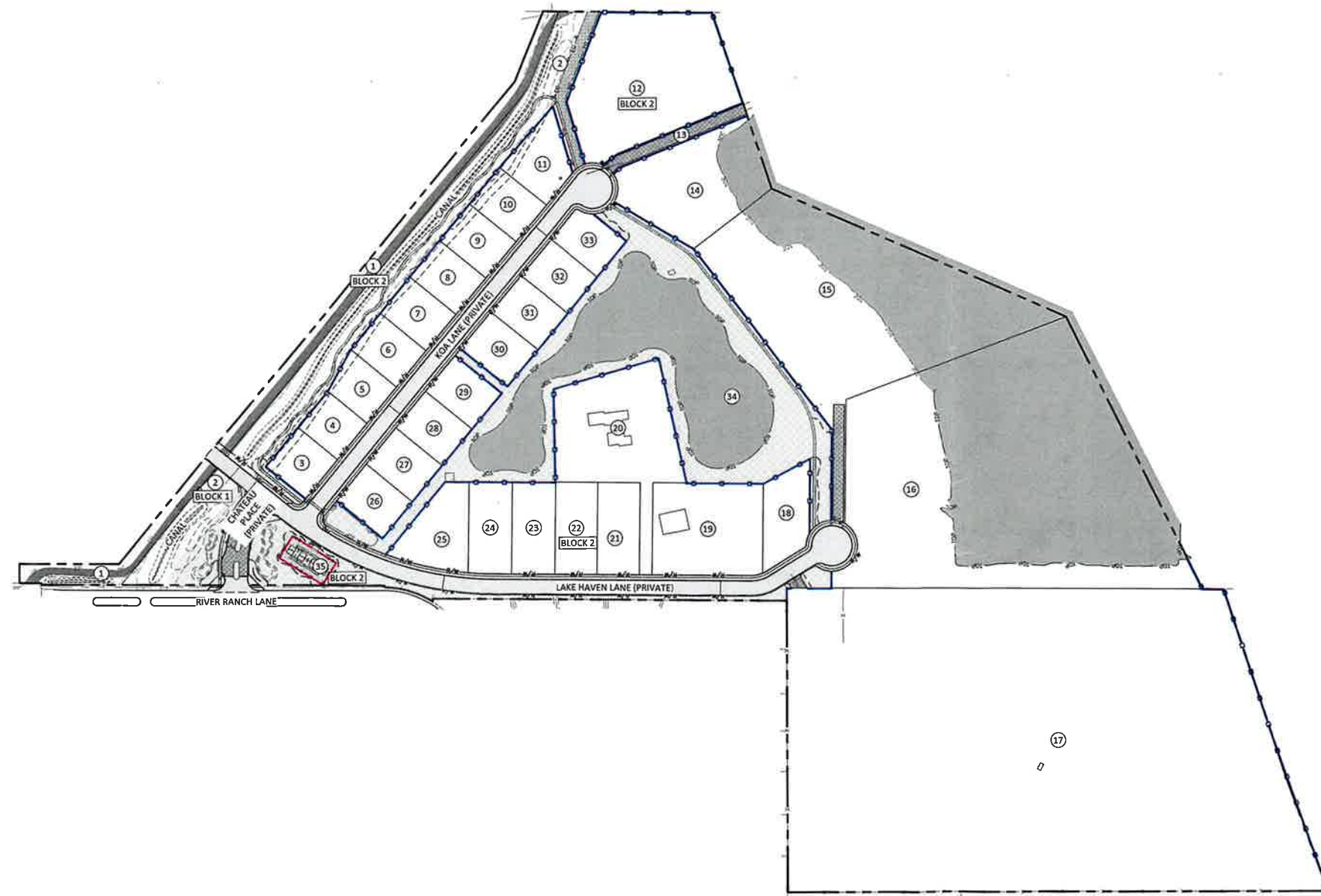
2 DECIDUOUS TREE PLANTING AND STAKING DETAIL
NTS



4 4' HEIGHT SPORT COURT FENCE REFERENCE PHOTO
NTS



LAKE HAVEN ESTATES STAR, IDAHO PRELIMINARY PLAT LANDSCAPE PLAN				 ENGINEERING 5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE (208) 639-6939 kmeaglp.com
REVISIONS				
NO.	ITEM	DATE	DATE: 3/28/24	PROJECT: 22-192
				SHEET NO. PPL4.0



PRELIMINARY PLAT LANDSCAPE FENCE PLAN

FENCE SCHEDULE

SYMBOLS	DESCRIPTION
	4'-6" HEIGHT OPEN VISION METAL FENCE. SEE PPL4.0-3.
	6' HEIGHT SPORT COURT METAL FENCE. SEE PPL4.0-4.

**LAKE HAVEN ESTATES
STAR, IDAHO
PRELIMINARY PLAT LANDSCAPE FENCE PLAN**

REVISIONS		
NO.	ITEM	DATE

STATE OF IDAHO
MISSA YENNER
LICENSED LANDSCAPE ARCHITECT
LA-16524
3/28/24

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmeng@p.com

DATE: 3/28/24
PROJECT: 22-192
SHEET NO.
PPL5.0

OPEN SPACE CALCULATIONS							
BLOCK #	LOT #	LOT AREA (SF)	LOT AREA (AC)	QUALIFIED OPEN SPACE (SF)	QUALIFIED OPEN SPACE (AC)	QUALIFIED USABLE (SF)	QUALIFIED USABLE (AC)
1	1	23,093	0.53	0	0.00	0	0.00
1	2	37,012	0.85	37,012	0.85	37,012	0.85
2	1	44,717	1.03	0	0.00	0	0.00
2	2	107,098	2.46	107,098	2.46	107,098	2.46
2	34	284,589	6.53	284,589	6.53	213,921*	4.91
2	35	45,718	1.05	45,718	1.05	45,718	1.05
TOTAL AREA		542,227	12.45	474,417	10.89	403,749	9.27

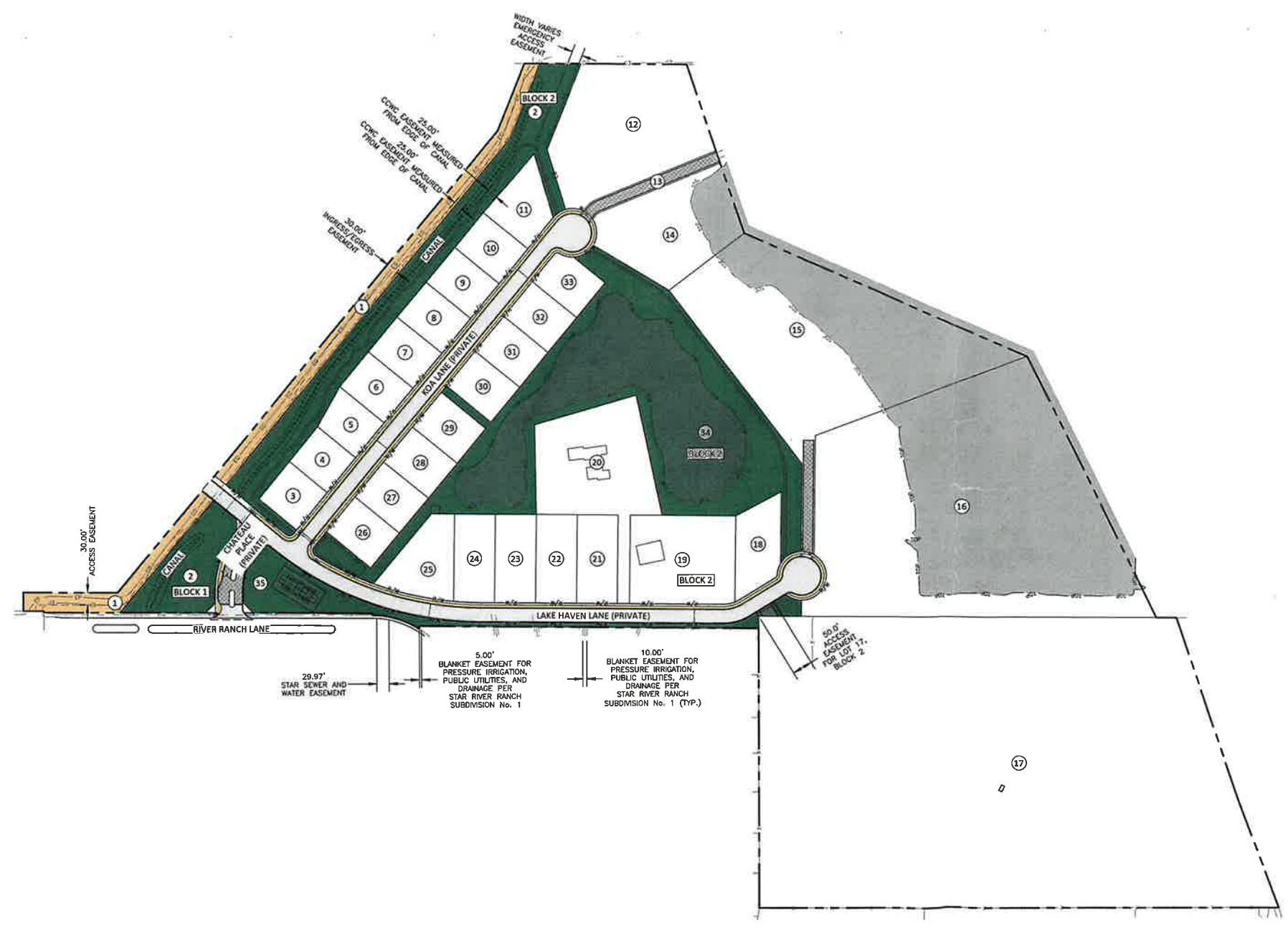
* 50% OF POND AREA CALCULATED TOWARDS QUALIFIED USABLE OPEN SPACE

PRELIMINARY PLAT DATA

TOTAL GROSS ACREAGE	65.28 ACRES		
<u>QUALIFIED OPEN SPACE AREA</u>	REQUIRED:	PROVIDED:	
TOTAL AREA	9.79 ACRES	10.89 ACRES	
PERCENTAGE OF QUALIFIED OPEN SPACE	15%	16.51%	
<u>QUALIFIED USABLE OPEN SPACE AREA</u>	REQUIRED:	PROVIDED:	
TOTAL AREA	6.53 ACRES	9.27 ACRES	
PERCENTAGE OF QUALIFIED OPEN SPACE	10%	14.20%	

LEGEND

- QUALIFIED OPEN SPACE AND QUALIFIED USABLE OPEN SPACE
- NOT QUALIFIED OPEN SPACE



LAKE HAVEN ESTATES STAR, IDAHO OPEN SPACE EXHIBIT				 5725 NORTH DISCOVERY WAY BOISE, IDAHO 83713 PHONE (208) 639-6939 kmenglp.com
REVISIONS				
NO.	ITEM	DATE		
			DATE:	3/28/24
			PROJECT:	22-192
			SHEET NO.:	EX 1.0





1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

May 28, 2024

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Lake Haven Estates Subdivision Preliminary Plat

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.

- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste

generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

Shawn Nickel

From: Mark Zirschky <projectmgr@boiseriver.org>
Sent: Tuesday, May 28, 2024 9:05 AM
To: Shawn Nickel
Subject: Fwd: FW: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat
Attachments: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat.pdf

All proposed development within a floodway or floodplain, must adhere to all FEMA requirements and provide access to the Boise River for operations and maintenance by Flood Control District 10.

Should you have any questions or comments, please let me know.

Regards,

Mark Zirschky
District Manager
Flood Control District 10
208-861-2766
www.boiseriver.org



----- Forwarded message -----

From: **Barbara Norgrove** <bnorgrove@staridaho.org>
Date: Mon, May 13, 2024 at 10:42 AM
Subject: FW: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat
To: sheriff@adaweb.net <sheriff@adaweb.net>, Daniel.Weed@cableone.biz <Daniel.Weed@cableone.biz>, GIS@tax.idaho.gov <GIS@tax.idaho.gov>, D3Development.Services@itd.idaho.gov <D3Development.Services@itd.idaho.gov>, irrigation.mm.mi@gmail.com <irrigation.mm.mi@gmail.com>, bryce@sawtoothlaw.com <bryce@sawtoothlaw.com>, Melvin.B.Norton@usps.gov <Melvin.B.Norton@usps.gov>, ERIC.GRZEBINSKI@mdu.com <ERIC.GRZEBINSKI@mdu.com>, BRO.Admin@deq.idaho.gov <BRO.Admin@deq.idaho.gov>, kris.margheim@idwr.idaho.gov <kris.margheim@idwr.idaho.gov>, permits@midstarfire.org <permits@midstarfire.org>, lbuckway@msd134.org <lbuckway@msd134.org>, projectmgr@boiseriver.org <projectmgr@boiseriver.org>, bcrawforth@canyonco.org <bcrawforth@canyonco.org>, rstewart@middletoncity.com <rstewart@middletoncity.com>, zoninginfo@canyoncounty.id.gov <zoninginfo@canyoncounty.id.gov>, brandy.walker@centurylink.com <brandy.walker@centurylink.com>, samuel.flores@sparklight.biz <samuel.flores@sparklight.biz>, jack.nygaard@phd3.idaho.gov <jack.nygaard@phd3.idaho.gov>, oocc@canyonco.org <oocc@canyonco.org>, kdahl@canyonco.org <kdahl@canyonco.org>, zoninginfo@canyonco.org <zoninginfo@canyonco.org>, info@pioneerirrigation.com <info@pioneerirrigation.com>, syarrington@adacounty.id.gov <syarrington@adacounty.id.gov>, hday@starswd.com

Shawn Nickel

From: D3 Development Services <D3Development.Services@itd.idaho.gov>
Sent: Wednesday, May 22, 2024 8:06 AM
To: Barbara Norgrove
Cc: Niki Benyakhlef
Subject: RE: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat

Hello,

After careful review of the transmittal submitted to ITD on May 13, 2024, regarding Lake Haven Estates Subdivision Preliminary Plat, the Department has no comments or concerns to make at this time.

Thank you
 Mila Kinakh
 D3 Planning and Development

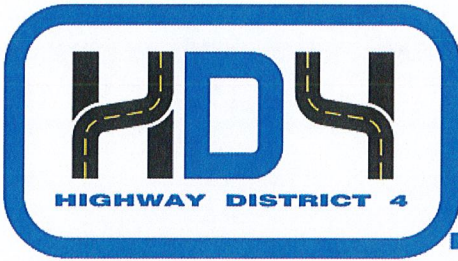


YOUR Safety  **YOUR Mobility**  **YOUR Economic Opportunity**

From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Monday, May 13, 2024 10:42 AM
To: sheriff@adaweb.net; Daniel.Weed@cableone.biz; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; irrigation.mm.mi@gmail.com; bryce@sawtoothlaw.com; Melvin.B.Norton@usps.gov; ERIC.GRZEBINSKI@mdu.com; BRO.Admin@deq.idaho.gov; kris.margheim@idwr.idaho.gov; permits@midstarfire.org; lbuckway@msd134.org; projectmgr@boiseriver.org; bcrawforth@canyonco.org; rstewart@middletoncity.com; zoninginfo@canyoncounty.id.gov; brandy.walker@centurylink.com; samuel.flores@sparklight.biz; jack.nygaard@phd3.idaho.gov; oocc@canyonco.org; irrigation.mm.mi@gmail.com; kdahl@canyonco.org; zoninginfo@canyonco.org; info@pioneerirrigation.com; syarrington@adacounty.id.gov; hday@starswd.com; westerninfo@idwr.idaho.gov; mgee@msd134.org; LPennington@msd134.org; lgrooms@msd134.org; Cheryl.imlach@intgas.com; Gloria Stokes <drain.dist.2@gmail.com>; file@idwr.idaho.gov; Mitch Kiestler <Mitch.Kiestler@phd3.idaho.gov>; Kerry.schmidt@intgas.com; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Mwallace@achdidaho.org; Ryan Field <rfield@staridaho.org>; Richard Girard <rgirard@staridaho.org>; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Daniel.Lister@CanyonCounty.id.gov; zsmith@adacounty.id.gov; CalahanH@landproDATA.com; Brian Duran <Brian.Duran@itd.idaho.gov>; anthony.lee@phd3.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; gmprdclerk@gmail.com; gtiminsky@midstarfire.org; chopper@hwydistrict4.org; lriccio@hwydistrict4.org
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Subject: Agency Transmittal - Lake Haven Estates Subdivision Preliminary Plat



June 10, 2024

City of Star Planning & Zoning Commission & City Council
PO Box 130
Star, Idaho 83669
Attention: Shawn Nickel, Administrator

**RE: Lake Haven Estates Subdivision
PP-2024-03 Preliminary Plat**

Highway District No. 4 (HD4) has received a request to consider and comment on the above referenced development application within the City of Star, Idaho. CHD4 offers the following comments in this matter:

Jurisdiction

By agreement with the City (Canyon 4/Star Public Agency Coordination Agreement, June 6th, 2007), HD4 acts as the supervisory authority for all public roads within the City limits that also lie within Canyon County (except those highways under the jurisdiction of Idaho Transportation Department). This supervisory authority includes highway planning, the establishment of design and use standards, access controls, review and approval of plats and development plans, and other operations and management duties assigned to highway districts under Idaho Code. For consistency within the city, HD4 has adopted the ACHD Policy Manual Sections 3000 – 3005, 7200 – 7211, and the associated exhibits for use within Star city limits for roadway cross sections and geometric standards.

General

Under the terms of the Public Agency Coordination Agreement, HD4 will review and provide comments to the city and developer for preliminary plats, final plats, and improvement drawings relating to public roadway construction. Submittals should be made to the highway district at the same time as the city to reduce delays in review timelines and allow for coordination of comments with the city. See the HD4 website for submittal requirements at www.hwydistrict4.org/development. Preliminary and final plats should be approved by the highway district prior to final approval by the city.

Preliminary Plat

HD4 received an application for preliminary plat for Lake Haven Estates on May 15, 2024. At the time of this correspondence there are 8 development applications in line for review ahead of Lake Haven Estates. HD4 anticipates review of the preliminary plat within the next 30 days. The preliminary plat will be presented to the HD4 Board for consideration after staff approval.

Transportation Impacts:

The application materials indicate 29 new residential lots are planned, which is below the 500 trip/day threshold where a TIS would be required. Traffic impacts from the development will be mitigated through right-of-way dedication, construction of public improvements, offsite mitigation, traffic impact fees, or a combination of these means.

The Bent Lane/ SH 44 intersection serves as the primary connection with the regional highway system for this development and several existing subdivisions including Star River Ranch and Star River Meadows, and a number of planned developments including Star River Ranch #3 (Legado Sub) and a commercial/multi-family development at the SW corner of Bent Ln & SH 44.. This intersection is anticipated to drop below LOS D in 2026-2028, with 2028 PM peak hour delays > 300 seconds (TIS for Toscano Estates & Sorano Estates dated June 7, 2024, which includes the subject property development). With significant intersection delays comes increase crash rates, typically due to driver impatience and reduced gap acceptance. HD4 reserves the right, in coordination with Idaho Transportation Department, to withhold issuance of access permits to any or all developments using the Bent Lane/SH 44 intersection if safety concerns warrant in the future.

Improvements to the SH 44 corridor are under jurisdiction of ITD, which is currently in process of a planning study to identify necessary improvements. It is possible capacity and/or safety issues will reach critical levels prior to the design and construction of SH 44 corridor improvements by the state.

HD4 will provide notice to the City regarding preliminary plat for the subject property when review has been completed.

Please feel free to contact me with any questions on this matter.

Respectfully,



Chris Hopper, P.E.
District Engineer

File: Bent Lane- Lake Haven Estates Subdivision

City of Star

P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569

www.staridaho.org



Mayor:
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsén
Kevan Wheelock
David Hershey

11 July 2024

Stephanie Hopkins
KM Engineering, LLP
5725 N Discovery Way
Boise, ID 83713

Re: Lake Haven Estates – Preliminary Plat Application

Dear MS Hopkins

The City of Star Engineering Department has reviewed the Preliminary Plat for the Lake Have Estates dated April 14, 2024. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. Portions of the Development are located within the floodplain, approval of any improvements, or prior to recording of any documents a floodplain application must be submitted to the City of Star for review and approval.
2. The legal description for the preliminary plat does not include Lot 17 of Block 2. As written, this block is not included in the plat, as a result the total area and density calculations are incorrect.
3. An Annexation Application shall be submitted to the Star Sewer and Water District.
4. Spacing of street trees exceeds the 1 per 35 feet City requirement.
5. Lot and block numbering are incorrect. If roads are private roads as indicated, than the entire development should be one block and the private roads need to be located in one lot within the block.
6. Private Road lot shall have a blanket utility easement as well as cross access easement. No streetlights are shown on the preliminary plat drawings. Street lighting

shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.

7. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final plat. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
8. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
9. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
10. 10-foot easements for pressure irrigation lines will need to be shown once the applicant determines the alignment location(s) for the facilities. Show all ditch and drainage easements.

We recommend that the preliminary plat be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above referenced preliminary plat does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.
City Engineer

CITY OF STAR - PUBLIC HEARING NOTICE

The City Council and Mayor of the City of Star will hear public testimony regarding a fee increase in excess of 5% for Police and Fire Mitigation Fees. The increased proposed fee increase will be utilized to help offset House Bill 389 enacted during the 2021 Legislative Session. The Public Hearing will be held on July 16, 2024 at 7pm in the Star City Council Chambers at 10769 West State Street in Star Idaho. Interested citizens may offer written testimony up to and including the hour of the hearing. Any person needing special accommodation to participate in the above noticed hearing should contact the City Clerk’s Office at least 24 hours in advance of the meeting date.

	Police Mitigation	Fire Mitigation
Current Fee	\$1,200.00	\$1,120.00
Proposed Fee	\$3,360.00	\$3,600.00

To be published twice at least seven days apart prior to the public hearing in the official newspaper of the City of Star and posted at Star City Hall.

July 5, June 28

July 10, 2024

Mayor Trevor Chadwick
Star City Hall
10769 W State St
Star, ID 83669

Re: Mitigation Fee Resolution - July 2024

Dear Mayor Chadwick:

I am writing you today to express my support of your proposed resolution which recognizes the serious growth that continues in the City of Star and the need for public safety expenses for police and fire to keep up with that growth in order for Star to remain a safe place that citizens want to live, work and play.

I applaud you and the City Council for your forward thinking to this end, and the use of House Bill 389, such that the City can appropriately update the needed mitigation fees so that Star can continue to enjoy a high level of public safety response by my deputies who are as committed as I am in seeing that Star continues to thrive.

As we have discussed in the past, one of my priorities with new developments anywhere in Ada County is to ensure that the level of service my deputies provide to the current area residents will not be reduced by adding large amounts of new residents to the community. My staff is confident that these proposed increases will continue to help us keep Star on track so that enough police deputies are available when needed.

Thank you for the opportunity to comment on this resolution from the Sheriff Office's perspective. Please do not hesitate to reach out if you have any further questions.

Sincerely,



Matthew Clifford
Ada County Sheriff



STAR FIRE PROTECTION DISTRICT
11665 W STATE ST., SUITE B
STAR, IDAHO 83669
208-286-7772

July 10, 2024

To Whom it May Concern:

The Star Fire Protection District would like to express our sincere appreciation and respect for Mayor Chadwick and the City Council Members of the City of Star. The City of Star has made it very apparent that one of their top priorities is the safety of its citizens.

The Mayor and City Council recognize the financial challenges created by legislative changes that were put into place in 2021 that limit local taxing district's budget authority. These changes to legislation removed our ability to grow our annual budget capacity at the same rate as the growth we are experiencing and to keep up with the increased demand for services throughout our community.

In 2018, the City of Star was very supportive of the Fire District by implementing Impact Fees on our behalf and had the foresight to see the need for funding fire stations and equipment that would be needed as the community expanded. Those fees are restricted and were designed to be a one-time funding mechanism to pay for additional infrastructure tied to the growth. The legislative changes took away the District's ability to increase the annual budget at a rate to pay for the required firefighters needed to provide emergency services from those locations.

We are attempting to pass a levy override that will give us the budget authority to allow us to provide adequate staffing that is currently needed and that will be needed in the future. We are very thankful for and supportive of the current mitigation fees, and proposed increase in these fees, the City of Star is receiving from new development. This gives us the ability to request those supplemental (temporary) funds from the City to augment the cost of firefighter and supporting positions until permanent funding sources are secured to maintain the necessary staffing levels needed, due to the explosive growth we are experiencing.

We are very appreciative of the collaborative efforts and relationships we have developed with the Leadership of the City of Star that support our need to provide essential emergency services to our community.

Sincerely,

Greg Timinsky
Fire Chief



BCA BUILDING CONTRACTORS ASSOCIATION
OF SOUTHWESTERN IDAHO, INC.

"A Tradition of Building Excellence for Over 60 Years"

6206 N. Discovery Way, Suite A
Boise, Idaho 83713
(208) 377-3550
(208) 377-3553 fax
Website: www.bcaswi.org
E-mail: bca@heritagewfi.com



July 10, 2024

Honorable Trevor Chadwick, Mayor
PO Box 130
10769 W State St
Star, ID 83669

RE: Mitigation Fees

Dear Mayor Chadwick,

On behalf of the 500 member companies of the Building Contractors Association of Southwestern Idaho (BCASWI) we thank you for giving us the opportunity to provide input regarding your proposed voluntary mitigation fees.

The BCASWI wants to extend our appreciation for the outreach and constant communication provided by the city throughout this process. While we do not support the increase of the fees, we appreciate the opportunity to be proactively involved in the process and your willingness to consider our position and your subsequent reconsideration of the fee amount increase.

One of the top goals of the BCASWI is to be able to provide attainable and affordable housing. Additional fees added to the cost of building make it increasingly difficult to boost the supply of attainable housing. For every \$1000 added to the cost of a home, approximately 900 potential buyers are priced out of the market.

We acknowledge that public safety is, and should be, a priority for the City of Star. To that end, we are prepared to engage in attempts to modify HB 389 so that small, fast-growing, cities such as Star can provide essential services.

Thank you again, and we look forward to working with you on this and other matters into the future. If you have further questions or clarifications, you can contact the co-chairmen of BCASWI's Builder/Developer Committee Adam Capell at 208-284-7765 or Mark Tate at 208-631-2025. You can also reach out to the BCASWI's government affairs representative, Ken Burgess at 208-861-2052 or e-mail: ken@veritasadvisor.com.

Sincerely,

Jenna Englund, President
Building Contractors Association of Southwest Idaho

RESOLUTION 015-2024

A RESOLUTION OF THE CITY OF STAR, IDAHO WITHIN ADA AND CANYON COUNTIES, UPDATING A POLICY FOR THE CONTINUED ISSUANCE OF MITIGATION FEES FOR STAR POLICE AND STAR FIRE PERSONNEL ON RESIDENTIAL AND MULTI-FAMILY BUILDING PERMITS; EXPLAINING THE REASONS FOR THE ISSUANCE OF MITIGATION FEES; ENCOURAGING OTHER ENTITIES TO REPEAL AND REPLACE OR MODIFY HOUSE BILL 389 (2021) AND PROVIDING AN EFFECTIVE DATE

BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF STAR IDAHO WITHIN ADA AND CANYON COUNTIES WILL ISSUE MITIGATION FEES FOR STAR POLICE AND STAR FIRE DISTRICT PERSONNEL IN THE FOLLOWING MANNER:

Whereas, the City Council and Mayor of the City of Star find:

- House Bill 389 (HB389), passed in the 2021 Idaho Legislative Session, has reduced the amount of new construction value to an extent that it harms the orderly growth of cities and districts such as Star throughout Idaho that rely on new construction market value to provide essential services (Police and Fire);
- 100% of the property taxes levied in the City of Star are used to pay for police services, and these property taxes only cover 58.90% of the police services costs per fiscal year;
- Due to various government responses to COVID since 2020, Star has seen a large influx of new construction to accommodate the new citizens whom have chosen to move to the city;
- The City of Star enjoys low levy rates and House Bill 389 prevents the city from collecting forgone amounts;
- The City of Star, through the Comprehensive Plan, requires the following metrics to be met for Police Public Safety:
 - The City of Star will operate under a proactive police model versus a reactive police model. The proactive police model allows for officers to get ahead of any criminal activity that may arise in the city which provides for greater safety for the residents and property in the city.
 - The City of Star will maintain a four (4) minute or less response time on all Code 3 calls. Code 3 calls are those calls which require an immediate emergency response.
 - The City of Star will maintain less than 18 crimes per 1,000 residents.
 - To achieve the above goals the City of Star will operate at a level of one (1) commissioned officer per 1,000 residents. Based on COMPASS numbers of an average of 2.90 residents per housing unit in Star; every 344 new residential units constructed will require a new officer.
- The City of Star for fiscal year 2023/2024 is operating at .88 commissioned officers per 1,000 residents; the 2024 COMPASS Population estimate is 20,340 residents and the city has 18 commissioned officers;
- The City of Star recognizes the need for an additional fire station for the Star Fire District due to the increase in call volume and the growth of the city; and
- Star Fire District is limited on hiring personnel to staff a new fire station due to HB389;
- The citizens of the Star Fire District failed a levy increase to staff the additional fire station in the May 2024 election by a vote of 41.3% in favor and 58.7% against the increase.

RESOLUTION 015-2024

Whereas, the Mayor and City Council of the City of Star encourages entities and other districts to require the modification, repeal and/or replacement of House Bill 389 to allow cities and other taxing entities to provide the essential services required by the citizens due to growth; and

Whereas, the Mayor and City Council of the City of Star and the Building Contractors Association of Southwestern Idaho, Inc. have worked together coming up with a mitigation fee program in 2022 to address the needs of public safety in the City of Star; and

Whereas, the Mayor and City Council of the City of Star and the Building Contractors Association of Southwestern Idaho, Inc, recognize the growth in the City of Star and the needs for public safety for the health, safety and welfare of its current citizens and future citizens of Star and have updated the mitigation fees to the following;

- At the issuance of a building permit for single family residential and multi-family residential, the following mitigation fees will apply:
 - Police Mitigation Fee: \$ 3,360.00 per residential unit/door.
 - Fire Mitigation Fee: \$ 3,600.00 per residential unit/door.
 - Example for apartments: A 100-unit apartment complex would be assessed the following mitigation fee: $100 \times \$6,960.00 = \$696,000.00$.
- These mitigation fees are only to be used for personnel for each entity as outlined above;
- Every two (2) years the BCA and the City of Star will meet to discuss the continuation of the mitigation fees, with the next review starting in July of 2026; and
- The BCA will work diligently with the Idaho State Legislature, creating a coalition, to address the concerns of HB389 and the impacts of orderly safe growth addressing the need for modifying HB389 based on the concerns above.
- The City of Star and BCA recognize if the Idaho State Legislature makes adjustments to HB389 to allow growth to pay for essential services (Police and Fire) than this mitigation fee will cease by resolution of the City of Star.

Therefore, be it resolved the policy outlined above is hereby enacted.

PASSED and APPROVED by the Star City Council on July 2, 2024, and shall take effect and be in full force from this date forward.

DATED this _____ day of **July 2024**.

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk / Treasurer

RESOLUTION (Police and Fire Mitigation Fee)

A RESOLUTION OF THE CITY OF STAR, IDAHO WITHIN ADA AND CANYON COUNTIES, UPDATING A POLICY FOR THE CONTINUED ISSUANCE OF MITIGATION FEES FOR STAR POLICE AND STAR FIRE PERSONNEL ON RESIDENTIAL AND MULTI-FAMILY BUILDING PERMITS; EXPLAINING THE REASONS FOR THE ISSUANCE OF MITIGATION FEES; ENCOURAGING OTHER ENTITIES TO REPEAL AND REPLACE OR MODIFY HOUSE BILL 389 (2021) AND PROVIDING AN EFFECTIVE DATE

BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF STAR IDAHO WITHIN ADA AND CANYON COUNTIES WILL ISSUE MITIGATION FEES FOR STAR POLICE AND STAR FIRE DISTRICT PERSONNEL IN THE FOLLOWING MANNER:

Whereas, the City Council and Mayor of the City of Star find:

- House Bill 389 (HB389), passed in the 2021 Idaho Legislative Session, has reduced the amount of new construction value to an extent that it harms the orderly growth of cities and districts such as Star throughout Idaho that rely on new construction market value to provide essential services (Police and Fire);
- 100% of the property taxes levied in the City of Star are used to pay for police services, and these property taxes only cover 58.90% of the police services costs per fiscal year;
- Due to various government responses to COVID since 2020, Star has seen a large influx of new construction to accommodate the new citizens whom have chosen to move to the city;
- The City of Star enjoys low levy rates and House Bill 389 prevents the city from collecting forgone amounts;
- The City of Star, through the Comprehensive Plan, requires the following metrics to be met for Police Public Safety:
 - The City of Star will operate under a proactive police model versus a reactive police model. The proactive police model allows for officers to get ahead of any criminal activity that may arise in the city which provides for greater safety for the residents and property in the city.
 - The City of Star will maintain a four (4) minute or less response time on all Code 3 calls. Code 3 calls are those calls which require an immediate emergency response.
 - The City of Star will maintain less than 18 crimes per 1,000 residents.
 - To achieve the above goals the City of Star will operate at a level of one (1) commissioned officer per 1,000 residents. Based on COMPASS numbers of an average of 2.90 residents per housing unit in Star; every 344 new residential units constructed will require a new officer.
- The City of Star for fiscal year 2023/2024 is operating at .88 commissioned officers per 1,000 residents; the 2024 COMPASS Population estimate is 20,340 residents and the city has 18 commissioned officers;
- The City of Star recognizes the need for an additional fire station for the Star Fire District due to the increase in call volume and the growth of the city; and
- Star Fire District is limited on hiring personnel to staff a new fire station due to HB389;
- The citizens of the Star Fire District failed a levy increase to staff the additional fire station in the May 2024 election by a vote of 41.3% in favor and 58.7% against the increase.

RESOLUTION

(Police and Fire Mitigation Fee)

Whereas, the Mayor and City Council of the City of Star encourages entities and other districts to require the modification, repeal and/or replacement of House Bill 389 to allow cities and other taxing entities to provide the essential services required by the citizens due to growth;

and

Whereas, the Mayor and City Council of the City of Star and the Building Contractors Association of Southwestern Idaho, Inc. have worked together coming up with a mitigation fee program in 2022 to address the needs of public safety in the City of Star;

And

Whereas, the Mayor and City Council of the City of Star and the Building Contractors Association of Southwestern Idaho, Inc, recognize the growth in the City of Star and the needs for public safety for the health, safety and welfare of its current citizens and future citizens of Star and have updated the mitigation fees to the following;

- At the issuance of a building permit for single family residential and multi-family residential, the following mitigation fees will apply:
 - Police Mitigation Fee: \$ 3,360.00 per residential unit/door.
 - Fire Mitigation Fee: \$ 3,600.00 per residential unit/door.
 - Example for apartments: A 100-unit apartment complex would be assessed the following mitigation fee: 100 x \$6,960.00 = \$696,000.00.
- These mitigation fees are only to be used for personnel for each entity as outlined above;
- Every two (2) years the BCA and the City of Star will meet to discuss the continuation of the mitigation fees, with the next review starting in July of 2026; and
- The BCA will work diligently with the Idaho State Legislature, creating a coalition, to address the concerns of HB389 and the impacts of orderly safe growth addressing the need for modifying HB389 based on the concerns above.
- The City of Star and BCA recognize if the Idaho State Legislature makes adjustments to HB389 to allow growth to pay for essential services (Police and Fire) than this mitigation fee will cease by resolution of the City of Star.

Therefore, be it resolved the policy outlined above is hereby enacted.

PASSED and APPROVED by the Star City Council on July 2, 2024, and shall take effect and be in full force from this date forward.

DATED this _____ day of **July 2024**.

Trevor A Chadwick, Mayor

ATTEST: _____
Jacob M Qualls, City Clerk / Treasurer