

**CITY COUNCIL REGULAR MEETING AGENDA**City Hall - 10769 W State Street, Star, Idaho
Tuesday, August 20, 2024 at 7:00 PM

PUBLIC NOTICE: THIS MEETING IS RECORDED AND PLACED IN AN ONLINE FORMAT. PERSONS MAY EITHER VIEW OR LISTEN TO VIDEO / AUDIO OF THIS MEETING UNTIL SUCH TIME THE RECORDING IS DESTROYED UNDER THE CITY'S RETENTION POLICY.

1. **CALL TO ORDER** – Welcome/Pledge of Allegiance
2. **INVOCATION** – Associate Pastor Calvary Star Church, Nathan Held
3. **ROLL CALL**
4. **PRESENTATIONS**
 - A. **Staff Report - Star Police**
 - B. **Staff Report - Star Fire**
 - C. **Staff Report - Star Sports & Recreation**
 - D. **Concern / Complaint - Douglas Fisher / Republic Services (5 Minutes)**
5. **CONSENT AGENDA (ACTION ITEM)** **All matters listed within the Consent Agenda have been distributed to each member of the Star City Council for reading and study, they are considered to be routine and will be enacted by one motion of the Consent Agenda or placed on the Regular Agenda by request.*
 - A. **Approval of Claims Provided & Previously Paid**
 - B. **FOF / COL - Amazon Villas Preliminary Plat (FILE: PP-24-02)**
 - C. **FOF / COL - Lake Haven Preliminary Plat & Private Road (FILE: PP-24-03 & PR-24-02)**
 - D. **Time Extension - Cherished Estates (FILE: TE-24-07)**
6. **PUBLIC HEARINGS with ACTION ITEMS:**
 - A. **PUBLIC HEARING: Joplin Rim Subdivision (FILES: AZ-24-04; DA-24-04; PP-24-01 & PR-24-03):** The Applicant is requesting approval of an Annexation & Zoning (AZ-24-04), Development Agreement (DA-24-04) and a Preliminary Plat (PP-24-01) for a proposed residential subdivision consisting of 49 residential lots and 7 common lots, and a Private Street (PR-24-03). The property is located on the southeast corner of Can Ada Road on Joplin Road, Ada County, Idaho, and consists of 13.5 acres with a proposed density of 3.46 dwelling units per acre. The subject property is generally located near the southeast corner of W. Joplin Road and N. Can Ada Road. **(ACTION ITEM)**
 - B. **PUBLIC HEARING: U-HAUL (Files: AZ-24-05; DA-24-05 & CU-24-03)** - The Applicant is requesting approval of an Annexation & Zoning (Commercial), a Development Agreement and Conditional Use Permit for a U-HAUL moving and storage facility to include U-Box storage warehouse and maintenance and regional business operations facility. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26) in Star, Idaho, and consists of 14.47 acres. The subject property is generally located on the north side of Chinden Blvd, east of Star Road. **(ACTION ITEM)**
 - C. **PUBLIC HEARING: Dieter & Catherine Grunder Variance (FILE: V-24-01)** - Applicant is seeking approval of a variance to the standards of the Flood Plain Application. The property is located at 686 S. Star Road in Star, Idaho. **(ACTION ITEM)**
7. **ACTION ITEMS:**(The Council at its option may suspend the rules requiring three separate readings on three separate days for ordinances on the agenda for approval. This may be by a single motion to suspend the rules under Idaho Code 50-902; second of the motion; ROLL CALL VOTE; Title of the Ordinance is read aloud; motion to approve; second of the motion: ROLL CALL VOTE.)
 - A. **Discussion - Moyle Light (Late Comers Reimbursement) (ACTION ITEM)**
 - B. **Animal Welfare & Enforcement Agreement** - Approve & Authorize Signature of Idaho Humane Society and the City of Star for Fiscal Year 2024/2025 **(ACTION ITEM)**
 - C. **Impact Fees Financial Contract** - Approve & Authorize Agreement with Clearwater Financial Services for Impact Fee Tasks **(ACTION ITEM)**
 - D. **Ordinance 410-2024 (FY 24/25 Annual Appropriations):** AN ORDINANCE, TO BE TERMED THE ANNUAL APPROPRIATION ORDINANCE OF THE CITY OF STAR, IDAHO, FOR THE FISCAL YEAR COMMENCING **OCTOBER 1, 2024**, AND ENDING ON **SEPTEMBER 30, 2025**, APPROPRIATING SUMS OF MONEY IN THE AGGREGATE AMOUNT OF **\$17,467,273.71** TO DEFRAY ALL NECESSARY EXPENSES AND LIABILITIES OF THE CITY OF STAR FOR SAID FISCAL YEAR; SPECIFYING THE OBJECT AND PURPOSES FOR WHICH SUCH APPROPRIATIONS ARE MADE AND THE AMOUNT APPROPRIATED FOR EACH OBJECT AND PURPOSE; AUTHORIZING THE CERTIFICATION TO THE COUNTY COMMISSIONERS OF ADA &

Any person needing special accommodation to participate in the above noticed meeting should contact the City Clerk's Office at 208-286-7247, at least 24 hours in advance of the meeting date.



CITY COUNCIL REGULAR MEETING AGENDA

City Hall - 10769 W State Street, Star, Idaho

Tuesday, August 20, 2024 at 7:00 PM

CANYON COUNTIES, IDAHO, THE AMOUNT OF **\$2,014,430.00** PROPERTY TAXES TO BE LEVIED AND ASSESSED UPON THE TAXABLE PROPERTY IN THE CITY; PROVIDING FOR THE FILING OF A COPY OF THIS ORDINANCE WITH THE OFFICE OF THE IDAHO SECRETARY OF STATE AS PROVIDED BY LAW; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE. **(ACTION ITEM)**

8. ADJOURNMENT



CITY OF STAR, IDAHO
CITY COUNCIL REGULAR MEETING AGENDA

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Tuesday, August 20, 2024 at 7:00 PM

The meeting can be viewed via a link posted to the City of Star website at staridaho.org. Information on how to participate in a public hearing remotely will be posted to staridaho.org under the meeting information. The public is always welcomed to submit comments in writing.

Land Use Public Hearing Process

Public signs up to speak at the public hearing

Mayor Opens the Public Hearing

Mayor asks council if there is any Ex Parte Contact

Applicant has up to **20 minutes** to present their project

Council can ask the applicant questions and staff questions

Public Testimony (**3 minutes per person**)

1. Those for the project speak
2. Those against the project speak
3. Those who are neither for or against but wish to speak to the project
4. Council may ask the individual speaking follow-up questions that does not count towards their 3 minutes

Applicant rebuttal (**10 minutes**)

Council can ask the applicant and staff questions

Mayor closes the public hearing

Council deliberates

Motion is made to approve, approve with conditions, deny or table the application to a date certain in the future

Thank you for coming to the Star City Council meeting, public involvement is fantastic and helps in shaping our city for the future. As this is a public hearing, there will be no cheering, clapping, jeering or speaking out during the hearing. Only the person at the podium has the floor to speak during their allotted time. If someone does speak out, cheer, claps, etc. they will be asked to leave the hearing and or escorted out of the hearing. We want to keep these hearings civil so everyone can be heard.

Thank you for your participation.

Mayor Trevor Chadwick



July 2024 Police Report

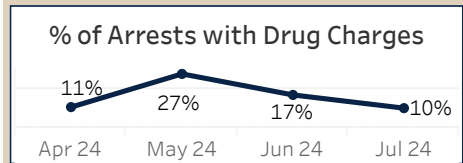
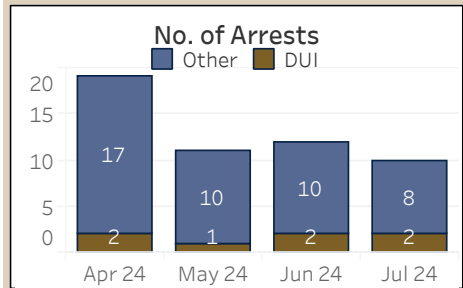
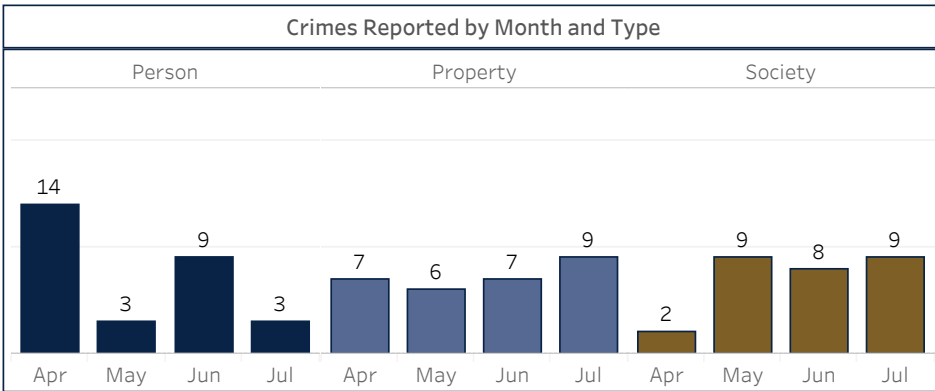
Release Date 2024-08-13

Offenses Reported¹

Types	2021	2022	2023	2024 YTD
Person	74	110	96	47
Property	59	92	117	41
Society	52	67	134	66
Total Crimes	185	269	347	154
Crimes/1,000 Pop	13.8	17.7	19.6	

Case Report Types

- Person Crimes** = murder, manslaughter, rape/sodomy, assault, intimidation and kidnapping offenses
- Property Crimes** = robbery, burglary, larceny/theft, arson, destruction of property, counterfeiting, fraud, embezzlement, blackmail and stolen property offenses
- Society Crimes** = drugs/narcotics, gambling, pornography, prostitution and weapons law violations



Police Activity²

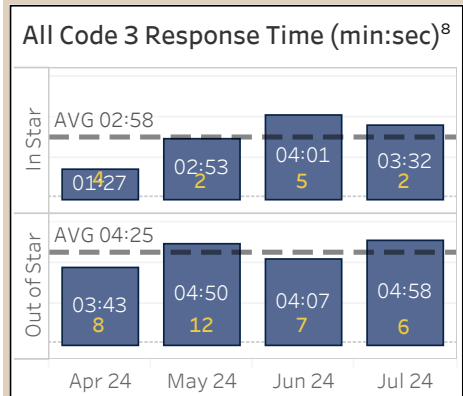
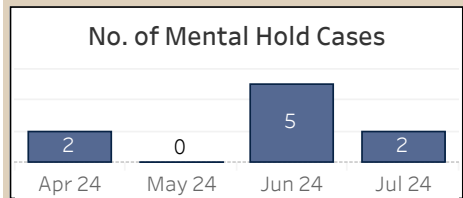
	2024 Monthly Avg ³	Apr 24	May 24	Jun 24	Jul 24	July 2023
Citizen Calls for Service (CFS)	298	335	364	337	308	371
Proactive Policing	1,785	1,959	1,998	1,632	1,243	1,348

Citations⁷

	Apr 24	May 24	Jun 24	Jul 24
Infraction	49	58	57	32
Misdemeanor	11	19	11	13

Select Call Types

	2024 Monthly Avg ³	Apr 24	May 24	Jun 24	Jul 24	July 2023
Crash Response	32	45	36	29	30	29
Crisis/Mental Health ⁴	12	17	10	11	15	10
Domestic Violence	4	5	3	10	1	5
Juvenile Activity	17	27	22	13	14	12
Location Checks ⁵	367	377	396	299	254	351
Property Crime Calls ⁶	16	18	16	18	21	23
School Checks	41	42	32	28	15	54
Traffic Stops	344	367	419	321	163	271
Welfare Checks	21	28	13	19	21	12



¹Offense Reports are compiled from NIBRS RMS. ²Police Activity reflects calls in the City of Star and all calls dispatched with a Star deputy. ³Monthly averages are based on all prior months of the current year. ⁴Calls are for Crisis/Mental Hold/Suicidal Subject/Attempted Suicide. ⁵Location checks include Construction Site, Property, and Security checks. ⁶Property Crime Calls include Theft, Vandalism, Burglary, Fraud. ⁷Infraction and Misdemeanor Citations issued by a Star deputy as listed in the current Patrol schedule. ⁸Code 3 Calls represent all incidents routed at Priority 3, where Priority 3 calls require an immediate emergency response.



****Note: Call data for July 14th - 19th is not complete due to a network outage.****

Sports & Recreation Update

August 2024

Sports - Adult

- Cornhole
- Ultimate Frisbee - Open Play
- Pickleball
- Soccer - Open Play
- Co-Ed Softball
- Volleyball - Open Play

Total
Participants

153

Sports - Youth

- Sideline Cheer
- NFL Flag Football
- Soccer

Total Participants

639

Recreation – Summer Camps

• **47 Camp Options**

- Half Day/Full Day Options
- **Summer Bake Off**
- Clowning Around
- Luau Lagoon
- **Splash Zone**
- Coach Kendall's All*Star Sports Camp
- Tick Tick Boom Cheer Camp
- **Out of this World Cosmic Camp**
- Art/Paint Class
- **Archery**
- **Let's Get Wild Reptile Week**
- Wild Wild West Week

Total
Participants

3,111

Unique
Participants

1,011

Trevor Chadwick

From: Cade Neiwert <cneiwert@icloud.com>
Sent: Friday, August 16, 2024 12:59 PM
To: Cord Stanley
Cc: Rachele Klein; Trevor Chadwick; James Markle
Subject: Re: Concern Regarding Oil Leaks from Republic Services Garbage Trucks

While I find it hard to believe that the substance isn't toxic, given its nature, it is reassuring to know that it won't harm the environment, which is my greatest concern. I appreciate you sending that and your attention to this matter.

Sent from my iPhone

On Aug 15, 2024, at 11:47 AM, Stanley, Cord <CStanley3@republicservices.com> wrote:

Hello Cade,

I want to assure you that this is not a health or environmental hazard or issue. This is purely cosmetic and the vast majority of the issue will resolve over time. Please see the below excerpts from the material safety data sheet of our hydraulic fluid provided by its manufacturer. We generally do not provide these to the public, but I think its important you see for yourself. I do think its critical to examine this problem through context and scale and that is why I offered information about what happens on many roadways. We're talking about spots of non-hazardous material to both people and the environment, not thousands of gallons across roadways like re commonly seen with routine maintenance. We are not deflecting our responsibility, as we have been responsive to any calls to cleanup and are withdrawing any trucks until all repairs are made, even at potential expense of service.

<image001.png>

<image005.png>

<image002.png>

<image003.png>

Cord Stanley
General Manager - Idaho

11101 West Executive Drive
Boise, ID 83713
e cstanley3@republicservices.com

<image004.jpg>

From: Cade Neiwert <cneiwert@icloud.com>
Sent: Wednesday, August 14, 2024 8:29 PM
To: Stanley, Cord <CStanley3@republicservices.com>
Cc: Klein, Rachele <RKlein@republicservices.com>; Trevor Chadwick <tchadwick@staridaho.org>; Markle, James (Jay) <JMarkle@republicservices.com>
Subject: Re: Concern Regarding Oil Leaks from Republic Services Garbage Trucks

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

Report Suspicious

Dear Mayor Chadwick,

Thank you for your quick attention regarding the oil leaks from Republic Services garbage trucks. I appreciate your efforts to address this issue, which impacts the safety and appearance of our community.

While Republic Services has acknowledged that their trucks are leaking oil and will attempt to clean the roads, they have also pointed out that the county pours thousands of gallons of oil on the road surface during chip sealing. This argument seems to reflect a belief that their pollution is not a big deal because other entities are creating more, which is concerning. Such reasoning appears evasive and does not align with the need to take full responsibility for their own environmental impact.

Every organization, whether public or private and regardless of other pollution sources, must adhere to environmental safety standards and strive to minimize their footprint on our community. Using a counter-argument sends an alarming message about neglecting our community's well-being and the health of our natural surroundings.

I hope that we can ensure Republic Services takes immediate and effective action to clean the streets and implement measures to prevent future leaks.

Sincerely,

Cade

Sent from my iPhone

On Aug 14, 2024, at 3:19 PM, Stanley, Cord <CStanley3@republicservices.com> wrote:

Hello Mayor,

We will absolutely do our best. We have and will continue to address and clean the oil spots we see/know about/are reported. Cleaning with oil absorbent or using a street sweeping company usually does not eliminate the stain. We have even tried pressure washing. It takes time for these to fade. It does take several months, but most of these will not be noticeable once winter hits. For example, Renee Becraft has a some spots on her road that were dried – they are just stains at this point. Renee is demanding the street get repaved which is unrealistic.

While we are on scene, customers are very understanding that these are garbage trucks and are not perfect machines. They do sometimes leak and we do our best to address the problem as fast as we can. It seems to be a rather small contingency of people that are causing this issue to grow. Many roads in Ada County are chip sealed and have thousands of gallons of oil poured over them every few years.

We will immediately review all trucks that service Star and pull any that has any form of leak. Unfortunately, we do not have a large stable of spare trucks to immediately replace them. In some cases, we may have to converge on these routes after others are complete until all repairs are made. This may cause some service delays.

Please let me know if you have any questions.

Cord Stanley

General Manager - Idaho

11101 West Executive Drive
Boise, ID 83713
e cstanley3@republicservices.com
o (208)-685-7752
w RepublicServices.com

<image001.jpg>

From: Klein, Rachele <RKlein@republicservices.com>
Sent: Wednesday, August 14, 2024 2:46 PM
To: Trevor Chadwick <tchadwick@staridaho.org>
Cc: cneiwert@icloud.com; Stanley, Cord <CStanley3@republicservices.com>; Markle, James (Jay) <JMarkle@republicservices.com>
Subject: RE: Concern Regarding Oil Leaks from Republic Services Garbage Trucks

Hello Mayor Chadwick and Cade,
I appreciate the email and assure you this will be addressed. I am copying our general manager and operations manager on this email for follow up. I apologize for the oil on the street, and we will get someone out with absorbent who will work it into any spots and clean it once they are through. The original truck causing the issue was taken off route for six weeks for significant servicing and repairs. The current issue is likely the other (recycling) truck on route. We will make sure it is downed and a spare is dedicated to this route until the current truck is serviced appropriately.

Cord or Jay, will one of you see this through? I am back in town Monday and will be checking email intermittently until then. This has never been an issue for us in Star, and we will make the necessary fleet changes to ensure it is not an issue moving forward. Thank you,
Rachele Klein

From: Trevor Chadwick <tchadwick@staridaho.org>
Sent: Tuesday, August 13, 2024 11:25 AM
To: Klein, Rachele <RKlein@republicservices.com>
Subject: Fwd: Concern Regarding Oil Leaks from Republic Services Garbage Trucks

This Message Is From an External Sender
This message came from outside your organization. Report Suspicious

Get [Outlook for iOS](#)

From: Cade Neiwert <cneiwert@icloud.com>
Sent: Tuesday, August 13, 2024 11:01:03 AM
To: Trevor Chadwick <tchadwick@staridaho.org>
Subject: Concern Regarding Oil Leaks from Republic Services Garbage Trucks

Dear Mayor Chadwick,

I hope this message finds you well. I am writing to express my concern about an issue affecting our community's cleanliness and safety. Republic Services garbage trucks are leaking oil onto our streets. I don't know the full extent of the damage across the city but every house on Heliopsis Dr. has oil stains from these trucks as they lift and dump the bins.

Myself and neighbors have spoken with Republic Services regarding this matter, and while they have assured me that they will attempt to fix the trucks, they currently have no plans to clean the streets. This is troubling, as it not only poses environmental and health hazards but also detracts from the aesthetic appeal of our neighborhoods.

I kindly request your assistance in addressing this matter promptly. It would be beneficial to have the streets cleaned and to ensure that the issue is resolved with Republic Services to prevent future leaks. This will help maintain the high standards of our community and safeguard the well-being of our residents.

Thank you for your attention to this matter. I am confident in your commitment to keeping our city clean and safe, and I appreciate your efforts in resolving this issue.

Sincerely,

Cade and neighbors
11462 W Heliopsis Dr
Star, ID
2083160442

Sent from my iPhone

Trevor Chadwick

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Monday, August 12, 2024 10:49 AM
To: Trevor Chadwick
Subject: Fw: Republics Services trash trucks leaking oil
Attachments: Star Complaint.pdf

Good morning Mayor Chadwick

The problem we have with Republic services has not been resolved. there trucks are still leaking and added to the big mess of oil stains in the street and throughout our community. Please make sure I on the Calander to address the city council regarding this issue on August 20th. Please have your office call me address this matter.

Thank you
Douglas Fisher

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Tuesday, July 30, 2024 12:18 PM
To: tchadwick@staridaho.org <tchadwick@staridaho.org>
Subject: Fw: Republics Services trash trucks leaking oil

Mayor Chadwick

I would like to meet with you about this ongoing problem with Republic Services. I would also like to get on the Calander to address the city council regarding this issue on August 20th. I have had no luck working with Republic on resolving this issue. I have e-mailed Ryan Fields and filed a Citizen Complaint Form on July 28th and on July 30th. Our street are covered with oil stains and the residents in our community want this issue resolved. Republic services should be responsible for removing all of the oil stains. I look forward to meeting with you.

Douglas Fisher

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Tuesday, July 30, 2024 11:26 AM
To: rfield@staridaho.org <rfield@staridaho.org>
Subject: Republics Services trash trucks leaking oil

Ryan Fields

We have a big problem with our trash truck leaking oil when it picks up our waste bins. I have filled a complaint with Republic Services on 5/28/2024 ref#194092686. I have worked with Brook Webb and the operation manager Tyler Bowns told me they knew the truck was leaking. As of this date the trucks have not

been repaired. They left another puddle of oil in the street when picking up our trash today July 29th. There are many oil stains in front of every trash pickup location in our subdivision. I have requested the product information and MSDS on this oil and Brook Webb at Republic Services refused to give me this information. Republic Services has tried to clean up the oil but only made a bigger mess. I have many pictures and videos available. Please send someone out to view the all the oil stains this is making on our streets and address the environmental issue.

Thank you

Douglas Fisher

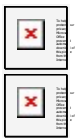
3554 N Tansy place



[Oil 1.jpg](#)



[Oil 2.jpg](#)





[oil 12.jpg](#)





[oil 16.jpg](#)



[oil 18.jpg](#)



[oil 19.jpg](#)

Star, Idaho 83669

661-886-2252



P.O. Box 130
10769 W. State Street
Star, Idaho 83669
208-286-7247
staridaho@staridaho.org

CITIZEN COMPLAINT FORM

Address Of Complaint: 3554 N. TANSY PLACE, STAR 83669

Subdivision: TRIDENT RIDGE

Name Of Property Owner or Occupant (If Known): DOUGLAS FISHER

Name Of Alleged Violator (If Known): OIL LEAK FROM REPUBLIC TRASH TRUCKS

The Complaint Is Regarding:

- | | | |
|--|-----------------------------------|--|
| <input type="checkbox"/> Abandoned/Disabled Vehicles | <input type="checkbox"/> Parking | <input type="checkbox"/> Business Out Of Home |
| <input type="checkbox"/> Animal Control | <input type="checkbox"/> Graffiti | <input type="checkbox"/> Noise/Glare/Vibration |
| <input type="checkbox"/> Excessive Dog Barking | <input type="checkbox"/> Signs | <input type="checkbox"/> Open/Accessible Buildings |
| <input type="checkbox"/> Damage To Parks | <input type="checkbox"/> Weeds | <input type="checkbox"/> Construction Concerns |
| <input type="checkbox"/> Accumulation of Refuse | | <input checked="" type="checkbox"/> Other |

Additional Complaint Details:

COMPLAINT FILED WITH REPUBLIC SERVICES 5/28/24 REF# 194092686 I SPOKE TO BROOK WEBB MANY TIMES, WAS INFORMED BY OPERATIONS SUPERVISOR TYLER BOWNS THEY KNEW TRUCK WAS LEAKING. TRUCKS STILL NOT REPAIRED. TRUCK LEFT MORE OIL STAINS IN STREET TODAY. MANY PICTURES

***Citizen: Attach copy of the letter to your Homeowners Association notifying them of your concerns. (if applicable) EVIDENCES

***HOA/Management Company: Must submit a photo identifying infraction.

COMPLAINANT INFORMATION: (If all information below is not filled out, no action will be taken.)

Complainant's Name: DOUGLAS FISHER

Complainant's Address: 3554 N. TANSY PLACE, STAR 83669

Complainant's Phone #: 661-886-2252 Email: DUSFISHER@MSN.COM

Complainant's Signature: [Signature] Date: 7/22/2024

FORM MUST BE SIGNED COMPLETED FORMS CAN BE HAND DELIVERED TO STAR CITY HALL, MAILED OR EMAILED

***** FOR OFFICE USE ONLY *****

Complaint Received By: _____ Date: _____ Forwarded To: _____

ACTION TAKEN _____

Staff Processing Complaint: _____ Date: _____

Complainant Contacted With Results By: _____ Date: _____

Follow-Up Action Suggested/Required: _____

*Once turned into the City, this document becomes a public record and may be obtained by any individual(s) in accordance with Idaho State Code §9-338

Trevor Chadwick

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Monday, August 19, 2024 2:38 PM
To: Trevor Chadwick
Cc: Ryan Field
Subject: Fw: Republics Services trash trucks leaking oil
Attachments: Star Complaint.pdf; 8.19.24 6.jpg; 8.18.24 1.jpg; 8.19.24 5.jpg

Mayor Chadwick

We are still having a problem with Repulic Services trucks leaking oil. Today they continue to leak oil all over our streets when picking up our waste cans. One of my neighbors must have called and complained. A cleanup crew came out and spread absorbent in front of just a few homes. I have to say this just makes it look worse. Hard to believe they cannot correct this issue. I look forward to discussing this matter tomorrow.

Douglas Fisher

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Tuesday, July 30, 2024 12:18 PMgh
To: tchadwick@staridaho.org <tchadwick@staridaho.org>
Subject: Fw: Republics Services trash trucks leaking oil

Mayor Chadwick

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Douglas Fisher

From: DOUGLAS FISHERS <dwfishone@msn.com>
Sent: Tuesday, July 30, 2024 11:26 AM
To: rfield@staridaho.org <rfield@staridaho.org>
Subject: Republics Services trash trucks leaking oil

Ryan Fields

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Thank you

Douglas Fisher

3554 N Tansy place



[Oil 1.jpg](#)



[Oil 2.jpg](#)





[oil 12.jpg](#)





[oil 16.jpg](#)



[oil 18.jpg](#)





[oil 19.jpg](#)

Star, Idaho 83669

661-886-2252







CITY OF STAR
 1099 Vendor Detail Query
 For checks paid between: 08/03/24 to 08/15/24

Section 5, Item A.

Vendor Name	Doc #	Invoice #/Description	Date	Amount	Inv Date	Period	Fund	Org	Account	Object
ADA COUNTY HIGHWAY DISTRICT	CL 3945 1	18648 ACHD Impact Fees July 20	08/09/24	199,101.00	07/31/24	7/24	10	0	41510	731
ADA COUNTY LANDFILL	CL 3943 3	2408030374 Landfill Fees	08/09/24	19.52	08/03/24	8/24	10	0	41540	411
ADA COUNTY LANDFILL	CL 3943 2	2040808242 Landfill Fees	08/09/24	16.64	08/08/24	8/24	10	0	41540	411
ADA COUNTY LANDFILL	CL 3943 1	2408070248 Landfill Fees	08/09/24	15.00	08/07/24	8/24	10	0	41540	411
ADA COUNTY PROSECUTORS OFFICE	CL 3946 1	Aug 2024 Prosecutions Contract	08/09/24	2,630.14	07/25/24	8/24	10	0	42110	322
ADA COUNTY SHERIFF'S OFFICE	CL 3944 1	122285 Police Services Aug 202	08/09/24	243,235.57	08/01/24	8/24	10	0	42110	365
AMAZON CAPITAL SERVICES	CL 3939 11	*TF4M-CXGK IT Equipment	08/09/24	796.94	08/01/24	7/24	10	0	42200	371
AMAZON CAPITAL SERVICES	CL 3939 12	*GJP1-DG49 Curb Sign A Frame	08/09/24	1,049.90	08/01/24	7/24	10	0	41810	737
AMAZON CAPITAL SERVICES	CL 3939 14	*9FCK-DR1D Summer Camp Supplie	08/09/24	99.88	08/01/24	7/24	10	104	44022	611
AMAZON CAPITAL SERVICES	CL 3939 13	*1CGY-CX39 General Office Supp	08/09/24	230.83	08/01/24	7/24	10	0	41810	611
AMAZON CAPITAL SERVICES	CL 3939 1	*3F39-74P3 Chair/Cooler/Raing	08/09/24	534.22	08/01/24	7/24	10	0	41810	610
AMAZON CAPITAL SERVICES	CL 3939 15	*JWGCETH1 Rec Center Supplies	08/09/24	28.70	08/01/24	7/24	10	0	44022	611
AMAZON CAPITAL SERVICES	CL 3939 10	*6RT7-CJYL 3-Axis Phone Gimbal	08/09/24	99.00	08/01/24	7/24	10	301	44022	611
AMAZON CAPITAL SERVICES	CL 3939 9	*M6J6-C9KJ A Frame Sign Stand	08/09/24	623.94	08/01/24	7/24	10	0	41810	610
AMAZON CAPITAL SERVICES	CL 3939 6	*9F6Q-7C1G Return	08/09/24	-7.99	08/01/24	7/24	10	0	44022	698
AMAZON CAPITAL SERVICES	CL 3939 4	*X6CL-9LCC Folders	08/09/24	9.81	08/01/24	7/24	10	0	41810	611
AMAZON CAPITAL SERVICES	CL 3939 5	*3NYC-9JX7 Baking Camp Supplie	08/09/24	55.30	08/01/24	7/24	10	102	44022	611
AMAZON CAPITAL SERVICES	CL 3939 7	*NPW6-9VKG School Supplies Dri	08/09/24	199.95	08/01/24	7/24	10	0	41810	585
AMAZON CAPITAL SERVICES	CL 3939 8	*6CY9-C6W3 B/A School Program	08/09/24	427.46	08/01/24	7/24	10	101	44022	611
AMAZON CAPITAL SERVICES	CL 3939 2	*NJD6-96P4 Summer Camp Supplie	08/09/24	297.27	08/01/24	7/24	10	104	44022	611
AMAZON CAPITAL SERVICES	CL 3939 3	*6RT7-9LRY 4th of July Float	08/09/24	99.98	08/01/24	7/24	10	50	41810	597
ANALYTICAL LABORATORIES, INC	CL 3941 1	2405336 Fish Pond Water Testin	08/09/24	770.00	07/31/24	7/24	10	0	41540	325
BILLS MACHINE SHOP	CL 3950 1	24-1178 Roofing for Dock Pergo	08/09/24	3,500.00	07/19/24	7/24	10	708	41810	747
BLUEBEAM INC	CL 3949 1	2010636 Studio Prime Annual Su	08/09/24	2,340.00	08/01/24	8/24	10	0	42200	372
CANYON COUNTY CLERK	CL 3940 1	Jul 2024 Prosecution Services	08/08/24	100.00	08/05/24	7/24	10	0	42110	322
DANA PARTRIDGE	CL 3976 2	Services Jul 26 to Aug 8, 202	08/09/24	2,725.39	08/09/24	8/24	10	0	41810	351
FATBEAM LLC	CL 3952 1	46809 Fiber Optic Internet Ser	08/09/24	3,987.50	08/01/24	8/24	10	0	42200	373
FISHER'S TECHNOLOGY	CL 3951 1	1364712 Copier City Hall	08/09/24	106.05	08/02/24	8/24	10	0	41810	324
FISHER'S TECHNOLOGY	CL 3951 2	1364666 Copier Rec Center	08/09/24	155.24	08/02/24	8/24	10	0	41810	324
GEM STATE PAPER & SUPPLY COMPANY	CL 3953 1	3093181-01 Janitorial Supplies	08/09/24	78.36	08/07/24	8/24	10	0	41540	434
HERITAGE LANDSCAPE SUPPLY GROUP	CL 3954 1	*7041-001 Air Relief/PVC	08/09/24	212.57	08/01/24	8/24	10	0	41540	435
HHS CONSTRUCTION	CL 3955 1	Refund - Double Permit Paymen	08/09/24	14,916.39	08/05/24	8/24	10	0	41510	698
IDAHO CENTRAL CREDIT UNION	CL 3977 1	CC-61 XBOX Fee	08/13/24	6.35	08/13/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3977 2	CC-61 Drill Toggle Screws	08/13/24	40.26	08/09/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3977 3	CC-61 Email Newsletter Softwar	08/13/24	59.00	08/02/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 1	CC-63 Payroll Checks	08/13/24	197.47	08/10/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 10	CC-63 International Fee	08/13/24	0.02	07/31/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 9	CC-63 Tablet Fee	08/13/24	2.99	07/31/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 8	CC-63 International Fee	08/13/24	0.02	07/31/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 6	CC-63 Clerk's Office Supplies	08/13/24	199.94	08/05/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 7	CC-63 Tablet Fee	08/13/24	2.99	07/31/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 5	CC-63 Recreation Advertisement	08/13/24	10.00	08/05/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 4	CC-63 International Fee	08/13/24	0.02	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 2	CC-63 Passport Stamp	08/13/24	3.99	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL 3978 3	CC-63 Tablet Fee	08/13/24	2.99	08/08/24	8/24	10	0	20300	

IDAHO CENTRAL CREDIT UNION	CL	3979	11	CC-64 Passport Postage	08/13/24	29.55	07/27/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	10	CC-64 Passport Postage	08/13/24	39.40	07/29/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	12	CC-64 Passport Postage	08/13/24	29.55	07/26/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	13	CC-64 Passport Postage	08/13/24	29.55	07/25/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	3	CC-64 Passport Postage	08/13/24	29.55	08/09/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	14	CC-64 Passport Postage	08/13/24	9.85	07/24/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	2	CC-64 Passport Postage	08/13/24	19.70	08/10/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	4	CC-64 Passport Postage	08/13/24	39.40	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	6	CC-64 Passport Postage	08/13/24	39.40	08/05/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	5	CC-64 Passport Postage	08/13/24	9.85	08/07/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	8	CC-64 Passport Postage	08/13/24	19.70	08/02/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	7	CC-64 Passport Postage	08/13/24	29.55	08/03/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	9	CC-64 Passport Postage	08/13/24	29.55	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3979	1	CC-64 Passport Postage	08/13/24	29.55	08/12/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	6	CC-65 Summer Camp Supplies	08/15/24	191.56	08/03/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	10	CC-65 Backpacks School Supply	08/15/24	205.64	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	9	CC-65 Backpacks School Supply	08/15/24	28.29	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	8	CC-65 Backpacks School Supply	08/15/24	546.39	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	7	CC-65 Return	08/15/24	-23.31	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	3	CC-65 Return	08/15/24	-50.43	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	2	CC-65 DMV Remodel Materials	08/15/24	42.66	08/09/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	5	CC-65 DMV Remodel Materials	08/15/24	170.08	08/05/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	4	CC-65 DMV Remodel Materials	08/15/24	74.99	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3980	1	CC-65 DMV Remodel Materials	08/15/24	99.92	08/13/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	2	CC-60 Drain Rock	08/15/24	392.00	08/03/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	1	CC-60 Elite Torx and Blades	08/15/24	140.97	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	3	CC-60 Pipe Extractor	08/15/24	154.57	08/02/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	6	CC-60 Hand Tools	08/15/24	15.31	07/29/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	5	CC-60 Fans	08/15/24	139.96	07/29/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3981	4	CC-60 Soldering Kit	08/15/24	143.95	08/02/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	1	CC-62 Breakfast Meeting w Coun	08/15/24	51.04	08/09/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	3	CC-62 Chamber of Commerce Lunc	08/15/24	15.00	08/01/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	2	CC-62 Breakfast Meeting w Staf	08/15/24	47.33	08/08/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	6	CC-62 Teleprompter Software	08/15/24	120.00	07/24/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	4	CC-62 File Cabinet	08/15/24	104.82	07/27/24	8/24	10	0	20300	
IDAHO CENTRAL CREDIT UNION	CL	3982	5	CC-62 Prize Lunch with Mayor	08/15/24	66.11	07/26/24	8/24	10	0	20300	
IDAHO PRESS	CL	3957	3	47224 Legal/Pub Notice PH 8/20	08/09/24	88.20	08/04/24	8/24	10	0	41510	530
IDAHO PRESS	CL	3957	1	47146 Legal/Pub Notice PH 8/20	08/09/24	104.67	08/02/24	8/24	10	0	41510	530
IDAHO PRESS	CL	3957	2	47223 Legal/Pub Notice PH 8/20	08/09/24	101.01	08/04/24	8/24	10	0	41510	530
IDAHO TRACTOR RENTS INC	CL	3959	1	27793 Kubota	08/09/24	280.00	07/31/24	7/24	10	0	41540	442
INTEGRITY INSPECTION SOLUTIONS INC	CL	3956	2	22582897 Hydro Cleaning River	08/09/24	450.00	05/17/24	8/24	10	0	41540	737
INTEGRITY INSPECTION SOLUTIONS INC	CL	3956	3	22827505 Push Camera/Hydro Cl	08/09/24	835.00	07/10/24	8/24	10	0	41540	735
INTEGRITY INSPECTION SOLUTIONS INC	CL	3956	1	23015170 Hydro Cleaning Hunter	08/09/24	675.00	08/02/24	8/24	10	0	41540	735
IWORQ SYSTEMS INC	CL	3958	1	204477 Facility Management Pac	08/09/24	5,000.00	08/01/24	8/24	10	0	42200	372
KEELY ELECTRIC	CL	3960	1	609 New Driver License Office	08/09/24	1,725.89	08/06/24	8/24	10	0	41810	741
MOUNTAIN ALARM	CL	3961	1	4993440 Fire Alarm/Monitoring	08/09/24	92.50	08/01/24	8/24	10	0	41810	344
MOUNTAIN ALARM	CL	3961	2	4993439 Security Backup/Monito	08/09/24	42.50	08/01/24	8/24	10	0	41810	344
NAPA AUTO PARTS	CL	3962	1	109178 Car Wash Supplies	08/09/24	74.15	07/17/24	8/24	10	0	41540	437
NAPA AUTO PARTS	CL	3962	2	109240 Syringe	08/09/24	10.49	07/18/24	8/24	10	0	41540	437
NAPA AUTO PARTS	CL	3962	3	109225 Cable Tie	08/09/24	15.99	07/18/24	8/24	10	0	41540	437

PORTAPROS LLC	CL	3963	1	128708K-1 960 Main Portable Re	08/09/24	488.80 08/08/24	8/24 10	0	41540	411
RCX SPORTS LLC	CL	3965	5	Gloves	08/09/24	210.00 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	3	Sleeves	08/09/24	120.00 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	1	Jerseys	08/09/24	4,590.00 / /	8/24 10	215	44021	
RCX SPORTS LLC	CL	3965	2	Shorts	08/09/24	1,530.00 / /	8/24 10	215	44021	
RCX SPORTS LLC	CL	3965	4	Socks	08/09/24	292.50 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	6	Mouthguard	08/09/24	122.50 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	8	Belts	08/09/24	50.00 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	9	Standard Footballs	08/09/24	350.00 / /	8/24 10	216	44021	
RCX SPORTS LLC	CL	3965	7	Coach Shirts	08/09/24	405.00 / /	8/24 10	216	44021	
REPUBLIC SERVICES INC	CL	3964	7	001368485 Star City Hall	08/09/24	220.83 07/31/24	8/24 10	0	41810	411
REPUBLIC SERVICES INC	CL	3964	1	001368118 Hunters Creek Park	08/09/24	523.35 07/31/24	8/24 10	0	41540	411
REPUBLIC SERVICES INC	CL	3964	3	001368179 Star River Access 10	08/09/24	89.39 07/31/24	8/24 10	0	41540	411
REPUBLIC SERVICES INC	CL	3964	8	001368505 Blake Haven Park	08/09/24	111.51 07/31/24	8/24 10	0	41540	411
ROYALTY ELECTRIC LLC	CL	3966	1	24052-2 Cameras for Freedom Pa	08/09/24	21,224.00 08/02/24	8/24 10	708	45110	747
ROYALTY ELECTRIC LLC	CL	3966	2	24001-8 Phone Service August	08/09/24	1,080.00 08/05/24	8/24 10	0	42200	373
STAR MERCANTILE INC	CL	3970	1	Mult Jul Bldg & Grounds Suppli	08/09/24	558.96 07/31/24	8/24 10	0	41540	611
STATE OF IDAHO FEDERAL SURPLUS	CL	3967	1	8062 Battery Charger/Misc Supp	08/09/24	49.00 08/06/24	8/24 10	0	41540	434
SWAGGART BUILDERS LLC	CL	3968	1	Refund - Cancelled Permit	08/09/24	1,926.48 08/07/24	8/24 10	0	41510	698
TATES RENTS	CL	3971	1	713462-000 Laser Level	08/09/24	332.23 08/08/24	8/24 10	0	41540	442
TRAVIS LIMERICK	CL	3969	1	Refund - Baseball Uniform	08/09/24	51.49 08/06/21	8/24 10	0	44021	698
ULINE	CL	3972	1	180112784 Waste Bags/Receptacl	08/09/24	6,438.00 07/02/24	8/24 10	0	41540	435
ULINE	CL	3972	5	180112784 Freight/Handling	08/09/24	378.97 07/02/24	8/24 10	0	41540	745
VALLEY WIDE COOP	CL	3973	3	A79538 Gas	08/09/24	1,338.59 07/23/24	8/24 10	0	41540	626
VALLEY WIDE COOP	CL	3973	2	A78939 Gas	08/09/24	1,162.01 07/09/24	8/24 10	0	41540	626
VALLEY WIDE COOP	CL	3973	4	E02162 Gas Credit	08/09/24	-66.83 07/29/24	8/24 10	0	41540	626
WESTERN RECORDS DESTRUCTION	CL	3974	1	0708534 02-64 Gallon City Hall	08/09/24	62.00 08/01/24	8/24 10	0	41810	411
YOUNG ELEVATOR INC	CL	3975	1	1208 Routine Service/Maintenan	08/09/24	150.00 08/01/24	8/24 10	0	41810	431

Section 5, Item A.

**FINDINGS OF FACT AND CONCLUSIONS OF LAW
AMAZON VILLAS SUBDIVISION PRELIMINARY PLAT**

The above-entitled Preliminary Plat came before the Star City Council for action on July 16, 2024, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. *Proposed Project Summary:*

The Applicant is requesting approval of a Preliminary Plat (PP-24-02) for a proposed townhome development subdivision consisting of 94 single-family residential lots and one common lot for a total of 95 lots. The property is located at 7800 W Coyote Flats Lane in Star, Ada County, Idaho, and consists of 6.52 acres. The density of the project is 14.41 dwelling units per acre. The subject property is generally located north of State Highway 44 and east of N. Short Lane, Ada County Parcel No's. R3720000212, R3720000227 & R3720000232.

B. *Application Submittal and Agency Transmittal:*

A neighborhood meeting was held on March 5, 2024, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1A-6C). The Land Use applications were accepted by the City on April 18, 2024. Original notice was sent to agencies having jurisdiction in the City of Star on May 13, 2024.

C. *Notice of Public Hearing:*

Notice of Public Hearing on the application for the City of Star City Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code, and the Star Unified Development Code on June 21, 2024. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on June 18, 2024. The property was posted in accordance with the Star Unified Development Code on June 27, 2024.

D. *Property History:*

June 19, 2018 Council approved applications for Annexation and Zoning (AZ-18-04), and Preliminary Plat (PP-18-04) for Amazon Falls Subdivision. During the hearing the Council tabled the southern portion of the subject property for the Owner and City staff to work out a development agreement for the site to include a majority of the acreage to be planned for commercial uses. The remainder is planned for high density residential use over 10 units per acre.

with conditions protecting the City's recently), adopted Economic Corridor Access Management Plan, while taking into account the property owner's property rights and the City's goals and objectives for the area.

- November 20, 2018 Council approved the remaining portion of applications for Annexation and Zoning (AZ-18-04), and Preliminary Plat (PP-18-04).

- February 19, 2019 City signed the Development Agreement for Amazon Falls Subdivision. Property owners signed the DA on March 7 and 8, 2019 respectively.

- November 16, 2020 Council approved a Development Agreement Modification, adding the inclusion of ITD Proportionate Share fees.

- January 24, 2022 Council approved the second amendment to the original Development Agreement, including permitted uses on the site.

E. Comprehensive Plan Land Use Map and Zoning Map Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Mixed Use (MU-DA)	High Density Residential/Commercial	Vacant/ Private Street Constructed
Proposed	Mixed Use (MU-DA)	High Density Residential	Single Family Residential
North of site	High Density Residential (R-13) /Rural Urban Transition (RUT)	High Density Residential/Mixed Use	Amazon Falls Apts./Vacant Pasture
South of site	Residential (R-8)	Commercial	Eagle Christian Church
East of site	Rural Urban Transition (RUT)	Commercial	Single Family Residential/Agriculture
West of site	Mixed Use (MU)	Commercial	Wright Brothers HQ/Junction Falls Development

F. Development Features:

PRELIMINARY PLAT:

The applicant is requesting that the originally approved multi-family dwelling development known as Amazon Falls No 2, approved in 2018, and subsequently approved as part of Zoning Certificate ZC-21-07 in 2021, be platted as a single-family attached development. The single-family attached housing was previously approved as part of the original development approval, therefore, a conditional use permit is not required.

The new preliminary plat submitted contains 94 single-family attached residential lots and 1 common lot on a total of 6.52 acres with a proposed density of 14.42 dwelling units per acre. All lots will have access and frontage from private streets that have already been installed and names approved by Ada County. Each unit has also had addresses assigned by Ada County as this development was previously approved to be attached rental units. This new plat will not negatively affect the addressing. The attached residential lots range in size from 902 square feet to 1,496 square feet with the average buildable lot being 1,220 square feet. All private streets were built as previously approved.

The application has indicated that the proposed overall usable open space provided is 1.73 acres (26.5%), satisfying the minimum requirement of 10% usable open space. Amenities include a large, grassy park area and walking paths throughout the development.

ADDITIONAL DEVELOPMENT FEATURES:

- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. Streetlights are already installed per previous approval and meet City Standards.
- Street Names
The applicant has provided documentation from Ada County that the street names are acceptable and have been approved.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements.
- **Setbacks – The applicant is requesting that setbacks be applied to this development similar to the previously approved development. This includes zero-lot-lines and minimum 10' side yard setbacks between buildings.**

- Mailbox Cluster – Applicant has provided approval from the Eagle Postmaster for the location of the mailbox clusters in the parking lot of the park area. The mailbox cluster shall be covered with an architectural structure.
- Original ITD Proportionate Shares – ITD originally requested \$88,438.00 in proportionate shares, including \$84,000.00 for State Highway Improvements, and \$4,438.00 for the future Palmer Road signal. This requirement shall be included as part of the conditions of approval for the preliminary plat.
- Addressing – The applicant shall work with Ada County regarding addressing the new residential lots.

G. On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – None.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

H. Agencies Responding:

The following agencies responded, and correspondence was attached to the staff report.

ACHD	June 21, 2024
ITD	May 13, 2024
Pioneer Ditch Company	May 20, 2024

I. Staff received the following letters & emails in support and opposition of the development application:

None

J. Comprehensive Plan and Unified Development Code Provisions:

8.2.3 Land Use Map Designations:

Mixed Use

Generally suitable for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific area designated as Mixed Use. See Mixed Use Implementation Policies for specific criteria. Development within this land use designation is to proceed through the PUD and/or development agreement process.

Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is that this land use designation will allow the development community to be more innovative in design and placement of structures. Development design guidelines should also be established to guide development within mixed-use areas. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed-Use areas are not being used simply to justify high density residential use.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Preserve the family friendly feel of Star.
- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.7 Policies Related Mostly to the Mixed-Use Planning Areas:

- A. Council, at their sole discretion, shall determine what mix of uses are appropriate for any mixed-use area considering existing property owners rights.

Development within the Mixed-Use Designation is to proceed through the CUP, PUD, and/or Development Agreement process, and a concept plan must be included with any such proposed use.

In general, mixed-use areas along state highways should be predominantly commercial with a very minor component of residential unless the residential is placed on upper floors as part of a mixed-use building.

Mixed use areas along state and U.S. Highways where direct access to the state highway is prohibited, like along State Highway 16 between State Highway 44 and US Highway 20/26, should be predominately residential with a minor component of neighborhood commercial, or light industrial if sufficient roadway access, by means of backage or other roads, to the State Highway is provided.

Mixed use areas located between commercial and residential land use designations are to provide a compatible transition between the higher intensity use of commercial and the lower intensity use of Neighborhood Residential. Uses for these mixed-use areas could include multi-family housing and or office related uses if determined by the Council through the public hearing process, to be appropriate.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

UNIFIED DEVELOPMENT CODE (UDC):

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

(MU) MIXED USE DISTRICT: To provide for a mixture of uses which may, at the sole discretion of the Council, include office, commercial, and/or residential depending upon the specific comprehensive plan area designated s Mixed Use. Development within this zone is to proceed through the PUD process unless a development agreement has already been executed for the particular property. Identifying areas for mixed-use development has two objectives. The first objective is to give the city a better tool to manage the type of developments through the planned unit development and/or the Development Agreement process. The second objective is

that this zone may allow the development community to be more innovative in design and placement of structures subject to Council review and approval. Rezoning within this land use designation is to be strictly monitored by the city to assure that the Mixed0Use areas are not being used simply to justify high density residential use. Residential uses may be part of an overall mixed-use development that includes a non-residential component and may not exceed 30% of the overall size of the development.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	MU
Dwelling:	
Multi-family 1	C
Secondary 1	C
Single-family attached	C
Single-family detached	C
Two-family duplex	C
Live/Work Multi-Use 1	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height	Minimum Yard Setbacks			
		Note Conditions			
Note Conditions	Front ⁽¹⁾	Rear	Interior Side	Street Side	

MU	35'	For MU and CBD – Unless otherwise approved by the Council as part of a PUD or development agreement, all residential buildings shall follow the residential setbacks shown in the this table based upon the project density and all other buildings shall follow setbacks for the C-2 zone. 3			
R-12 and higher	35'	15' to living area 20' to garage	15' 4' if alley load	0' for common walls 7.5' for single story 10'feet for multi-story	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
2. Each development is required to have at least one site amenity.
3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

- a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
- b. Qualified natural areas;
- c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
- d. A plaza.

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

- a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
- b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

- 1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
- 2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
- 3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

- 1. Clubhouse;
- 2. Fitness facilities, indoors or outdoors;

3. Public art;
 4. Picnic area; or
 5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. Any unresolved

access or traffic generation issues related to ACHD or ITD regulated roadways shall be resolved by the applicant prior to acceptance of any application. A letter from the appropriate transportation agency or servient property owner shall be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty four inches by thirty six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.
3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location

- and elevation;
- h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and concerns and how the development has been designed to address those concerns;
 - p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

- c. F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

8-6A-7: PRELIMINARY PLAT FINDINGS:

1. The plat is in conformance with the Comprehensive Plan;
The Council finds that the Preliminary Plat, as approved and conditioned, meets all requirements associated with Section 8-6A-3 of the UDC and is consistent with the Comprehensive Plan and will meet the intent of the Land Use designation. Further, the property is required to develop under the guidelines of the Comprehensive Plan and requirements of the Unified Development Code.
2. Public Services are available or can be made available and are adequate to accommodate the proposed development;
The Council finds that Agencies having jurisdiction on this parcel were notified of this action. The City has not received notice that public services are not available or cannot be made available for this development. Emergency services were reviewed, and mitigation recommended by the Star Fire District.
3. There is public financial capability of supporting services for the proposed development;
The Council finds that the City has not received notice from any jurisdictional agency that there are any problems with public financial capability for this development.
4. The development will not be detrimental to the public health, safety, or general welfare;
The Council finds that the City has not been made aware of any known detriment that will be caused by this development. Residential uses are a permitted use and are compatible with other residential uses in the immediate area.
5. The development preserves significant natural, scenic, or historic features;
The Council finds that there are no known natural, scenic, or historic features that have been identified with this Preliminary Plat. The property has been in previous agricultural production.

Public Hearing of the Council:

- a. A public hearing on the application was heard by the City Council on July 16, 2024, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.

- b. Shawn L Nickel, City of Star Planning and Zoning Director presented the application.
- c. Oral testimony in favor of or opposing the application was presented to the City Council by:
 - Jay Walker
 - Taylor Cook
- d. Additional testimony from City Staff, Agencies
 - Victor Islas, Star Fire District
- e. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:
 - None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed preliminary plat application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the platting of the development. Review and discussion included development layout, access and street configuration, setbacks, open space, pathways and landscaping. The Council concluded that the Applicant’s request meets the requirements for preliminary plat. Council hereby incorporates the staff report dated July 16, 2024, together with the hearing minutes into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds and concludes that the Applicant has met all requirements of the applicable Unified Development Code and the intent and purpose of the applicable Comprehensive Plan and Map requirements for preliminary plat.

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Amazon Villas Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **As per the development agreement, the owner agrees to pay \$88,438 traffic mitigation fee as required by the Idaho Transportation Department to include \$4,438 for the future Palmer Road signal, and \$84,000 for the SH-16/SH-44 interchange. This shall be paid directly to the City of Star prior to signature of final plat or at building permit for the individual buildings.**
3. **The applicant shall pay all required public safety mitigation fees to the City, as determined by City Council.**

4. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association.
5. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
6. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
7. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
8. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
9. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
10. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
11. A letter from Ada County shall be provided approving the street names in the development and all names shall be reflected correctly on all pages of the final plat, before the mylar will be signed.
12. **The Applicant shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application. The UDC Section 8-4D-3-C states the applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review.**
13. Private streets shall be maintained by the Homeowners Association.
14. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
15. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions, or as stated herein.

- 16. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 17. All common areas shall be owned and maintained by the Homeowners Association.
- 18. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 19. A sign application is required for any subdivision signs.
- 20. Any additional Condition of Approval as required by Staff and City Council.**

Council Decision:

The Council voted 4-0 to approve the Preliminary Plat application on July 16, 2024.

Dated this 20th day of August, 2024.

Star, Idaho

By: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk

**FINDINGS OF FACT AND CONCLUSIONS OF LAW
LAKE HAVEN SUBDIVISION PRELIMINARY PLAT & PRIVATE STREET**

The above-entitled Preliminary Plat and Private Street came before the Star City Council for action on July 16, 2024, at which time public testimony was taken and the public hearing was closed. The Star City Council, having requested and taken oral and written testimony, and having duly considered the matter, does hereby make the following Findings of Fact and Conclusions of Law.

Procedural History:

A. *Proposed Project Summary:*

The Applicant is requesting approval of a Preliminary Plat for a proposed residential subdivision consisting of 30 residential lots and 7 common lots with private streets and gates. The property is located at 21831 and 21875 Koa Lane in Star, Ada County, Idaho, and consists of approximately 65.30 acres with a proposed density of 0.46 dwelling units per acre.

B. *Application Submittal and Agency Transmittal:*

A neighborhood meeting was held on March 5, 2024, in compliance with the application submittal requirement of the Star Unified Development Code (Section 8-1A-6C). The Land Use applications were accepted by the City on April 18, 2024. Original notice was sent to agencies having jurisdiction in the City of Star on May 13, 2024. The subject property is generally located east of Bent Lane, south of Highway 44. Canyon County Parcel No's. R34035010A0, R34035010A1, and R3403901100.

C. *Notice of Public Hearing:*

Notice of Public Hearing on the application for the City of Star City Council was published in accordance with the requirements of Title 67, Chapter 65, Idaho Code, and the Star Unified Development Code on June 21, 2024. Notice of this public hearing was mailed to property owners within three-hundred feet (300') of the subject property in accordance with the requirements of Title 67, Chapter 65, Idaho Code and Star Unified Development Code on June 18, 2024. Notice was sent to agencies having jurisdiction in the City of Star on May 13, 2024. The property was posted in accordance with the Star Unified Development Code on July 3, 2024.

D. *Property History:*

March 5, 2024	Council approved applications for Annexation and Zoning (AZ-24-01), and Development Agreement (DA-24-01) for Lake Haven Subdivision consisting of 64.70 acres. Property was zoned residential (R-2-DA)
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E. Comprehensive Plan Land Use Map and Zoning Map Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-2-DA)	Estate Urban Residential	Agricultural/Single Family Residential
Proposed	Residential (R-2-DA)	Estate Urban Residential	Single Family Residential
North of site	AG (Canyon County)	Estate Urban Residential	Agricultural
South of site	AG (Canyon County)	Estate Urban Residential/Flood Way	Single Family Residential/Boise River
East of site	Residential (R-4-DA)/RUT (Canyon County)	Estate Urban Residential	Approved Cranefield Subdivision/Agricultural
West of site	Residential (R-2)	Estate Urban Residential	Star River Ranch Subdivision

F. Development Features:

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat contains 30 single family residential lots, 6 common area lots and 1 common driveway for a total of 37 lots on 64.70 acres. This equates to 0.46 dwelling units per acre. The lots will have access and frontage from the proposed private streets. The private streets are proposed to be gated. The residential lots range in size from 13,200 square feet to 812,392 square feet with the average buildable lot being 70,712 square feet. The private street will be built to ACHD (& HD4), City of Star and Star Fire District standards. The submitted preliminary plat shows three different roadway sections.

KOA LANE: is proposed in a 60-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalks are proposed to be detached with a 6-foot-wide landscape strip and a 5-foot wide, concrete sidewalk.

LAKE HAVEN LANE: is proposed in a 49-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Sidewalk is proposed along the east side of the road only, to be 5-foot-wide, detached with a 60-foot-wide landscape strip.

CHATEAU PLACE: is proposed in a 69-foot wide right of way with paved streets measuring 42 feet from back of curb to back of curb with a 12-foot-wide island dividing the entrance into two separate lanes. Sidewalks are proposed to be detached with an 8-foot-wide landscape strip and a 5-foot wide, concrete sidewalk on the north side of the road only. This access will be controlled by a gate.

The UDC allows the applicant to request a modification or waiver of sidewalks in certain low-density subdivisions. In this case, sidewalk in specific areas are requested to be on one side of the private street.

The applicant has included a draft private street maintenance plan, including proposed funding, with this application. Street names must be obtained by working with the City of Star and Canyon County prior to signature of the final plat. The subdivision name has been reserved already and the applicant has provided documentation supporting the reservation. The applicant is proposing 10.89 acres (16.61%) of open space, including 6.53 acres (14.2%) usable open space including areas that are in the AE flood zone and will not be developed.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 4 site amenities. The applicant is proposing a central pond, pickleball courts and a pathway along the canal with connecting sidewalks. These amenities satisfy the code requirement for development amenities.

The applicant has not provided approval from the Postmaster for the location of the mailbox cluster. This will be required prior to signing the final plat. Mailbox clusters must also be covered and adequately lit per the Unified Development Code.

The future water features within the development shall be designed and maintained in a manner that protects the public safety. This will include aerators to prevent algae and mosquito issues, safety ring stations throughout the water feature locations, safety shelves and erosion consideration.

Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight plan. All other proposed light locations satisfy City code. **Applicant has not provided a streetlight design/cut sheet for City approval. This will be required at submittal of the final plat.**

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. The submitted landscape plan appears to satisfy these requirements.

The applicant is not requesting any setback waivers and will adhere to the R-2 requirements outlined earlier in this report.

The Unified Development Code, Section 8-6B-2, paragraph F states that In the residential districts, no block shall be more than seven hundred fifty feet (750') in length without an intersecting street, alley, or other City and ACHD/CHD4 approved remedy. **The proposed streets are longer than 750 feet, however they do end in a cul-de-sac. The applicant is requesting a block length waiver from the Council with this application.**

G. On-Site Features:

- ☼ Areas of Critical Environmental Concern – No known areas.

- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – Yes, adjacent to Boise River; existing ponds
- ✧ Floodplain – Yes, Zone AE and Flood Way.
- ✧ Mature Trees – Yes.
- ✧ Riparian Vegetation – Yes, along the southern border.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – Yes, Boise River.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – Yes. No sensitive wildlife observed.

H. Agencies Responding:

The following agencies responded, and correspondence was attached to the staff report.

ITD	May 22, 2024
Highway District #4	June 10, 2024
Flood Control District # 10	May 28, 2024
DEQ	May 28, 2024

I. Staff received the following letters & emails in support and opposition of the development application:

None

J. Comprehensive Plan and Unified Development Code Provisions:

8.2.3 Land Use Map Designations:

Estate Urban Residential:

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational

opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

UNIFIED DEVELOPMENT CODE (UDC):

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted

after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Accessory structure	A
Dwelling:	
Multi-family 1	C
Secondary 1	A
Single-family attached	C
Single-family detached	P
Two-family duplex	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-2	35'	20'	20'	10'	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Private gates or other obstacles shall not be allowed, unless approved by Council and the Fire District.

B. Construction Standards:

1. Obtain approval from the county street naming committee and/or City for a private street name(s);
2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.
4. Street Width and Construction: The private street may be constructed within an easement for low density developments of R-1 or less with a Fire District approved base and width of no less than 28'. All other residential developments shall be constructed within a common lot and shall have a 36' street width, and shall meet ACHD/CHD4 construction standards, unless otherwise determined by the Council and Star Fire District.
5. Sidewalks: A minimum five foot (5') detached sidewalk shall be provided on at least

one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets in some lower density developments may request a modification or waiver of sidewalks to be approved by Council. All other residential developments shall have a minimum 5' detached sidewalks on both sides of the street and shall further meet the requirements of 8-4A-17 of this title.

6. All private streets shall be paved unless a waiver is obtained by Council. Waivers for paving shall only be considered in low density developments of R-1 or less. Any unpaved streets shall be required to meet all Highway District standards for paving the approaches onto public streets.

7. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

8. Permits shall not be issued for any structure using a private street until the private street has been approved and inspected by the City Engineer and Fire District, and the transportation authority has signed off on all permits associated with access to a public street.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Street Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private street components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
 - b. The study required by this section shall at a minimum include:
 - i. Identification of the private street components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.

- iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private street components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):

- 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
- 2. Each development is required to have at least one site amenity.
- 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
- 4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.

B. Qualified Open Space: The following may qualify to meet the common open space requirements:

- 1. Any open space that is active or passive in its intended use, and accessible or visible by all

residents of the development, including, but not limited to:

- a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
 - b. Qualified natural areas;
 - c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;
 - d. A plaza.
2. Additions to a public park or other public open space area.
 3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.
 4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:
 - a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.
 - b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.
 - c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:
 1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
 2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
 3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.
 5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.
- C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:
1. Clubhouse;
 2. Fitness facilities, indoors or outdoors;

- 3. Public art;
 - 4. Picnic area; or
 - 5. Recreation amenities:
 - a. Swimming pool.
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 5% usable space.
 - e. RV parking for the use of the residents within the development.
 - f. School and/or Fire station sites if accepted by the district.
 - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

8-6A-3: PRELIMINARY PLAT PROCESS

- A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.
- B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.
- C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. Any unresolved

access or traffic generation issues related to ACHD or ITD regulated roadways shall be resolved by the applicant prior to acceptance of any application. A letter from the appropriate transportation agency or servient property owner shall be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty four inches by thirty six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.
3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten

- percent (10%) or less, referenced to an established benchmark, including location and elevation;
- h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and concerns and how the development has been designed to address those concerns;
 - p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

- c. F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

8-6A-7: PRELIMINARY PLAT FINDINGS:

1. The plat is in conformance with the Comprehensive Plan;
The Council finds that the Preliminary Plat, as approved and conditioned, meets all requirements associated with Section 8-6A-3 of the UDC and is consistent with the Comprehensive Plan and will meet the intent of the Land Use designation. Further, the property is required to develop under the guidelines of the Comprehensive Plan and requirements of the Unified Development Code.
2. Public Services are available or can be made available and are adequate to accommodate the proposed development;
The Council finds that Agencies having jurisdiction on this parcel were notified of this action. The City has not received notice that public services are not available or cannot be made available for this development. Emergency services were reviewed, and mitigation recommended by the Star Fire District.
3. There is public financial capability of supporting services for the proposed development;
The Council finds that the City has not received notice from any jurisdictional agency that there are any problems with public financial capability for this development.
4. The development will not be detrimental to the public health, safety, or general welfare;
The Council finds that the City has not been made aware of any known detriment that will be caused by this development. Residential uses are a permitted use and are compatible with other residential uses in the immediate area.
5. The development preserves significant natural, scenic, or historic features;
The Council finds that there are no known natural, scenic, or historic features that have been identified with this Preliminary Plat. The property has been in previous agricultural production.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;

Council finds that the private streets and proposed gates meets the requirements of the Code as submitted.

B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and

Council finds that the construction of the private streets and gates would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity.

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

Council finds that approval of the private streets and gates will not be in conflict with the comprehensive plan or the regional transportation plan.

Public Hearing of the Council:

a. A public hearing on the application was heard by the City Council on July 16, 2024, at which time testimony was heard and the public hearing was closed. The City Council made their decision at that time.

b. Shawn L Nickel, City of Star Planning and Zoning Director presented the application.

c. Oral testimony in favor of or opposing the application was presented to the City Council by:

- Stephanie Hopkins
- Tim Eck

d. Additional testimony from City Staff, Agencies

- Ryan Morgan, City Engineer & Flood Administrator

e. Written testimony in favor of or opposing the application was presented to the City Council at the hearing by:
None

Deliberations and Conclusions of Law:

The Council reviewed the particular facts and circumstances of this proposed preliminary plat application in accordance with the City of Star Title 8 (Unified Development Code), deliberated on the matter, resulting in review of the record, including the staff report, and discussions on the platting of the development. Review and discussion included development layout, access and street configuration including gates, sidewalks and pathways. The Council concluded that the Applicant’s request meets the requirements for preliminary plat. Council hereby incorporates the staff report dated July 16, 2024, together with the hearing minutes into the official decision as part of these Findings of Fact, Conclusions of Law.

Statement of Compliance:

Council finds and concludes that the Applicant has met all requirements of the applicable Unified Development Code and the intent and purpose of the applicable Comprehensive Plan and Map requirements for a preliminary plat and private street.

Council added to the Preliminary Plat and Private Street application the following conditions of approval to their decision to approve the applications to include the following:

- **Council hereby approves private streets and gates with this development.**
- **Council hereby approves a waiver of sidewalks on the west side of Lake Haven Lane and along the southern entrance street (Koa Lane).**
- **Council hereby approves waivers to block length within the development.**

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Lake Haven Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Council hereby approves the following:
 1. Sidewalk waivers for one-side of private streets, as approved by Council.
 2. Council approves waivers to maximum block length.
 3. Private Streets with gates are hereby approved by Council.
3. **The applicant shall receive approval of all Floodplain applications and meet all FEMA requirements, if applicable, prior to approval of the final plat. The applicant shall also submit a Permit to Develop in an Area of Special Flood Hazard to the Floodplain Manager for review and approval prior to any development work on the property.**
4. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
5. **The applicant shall pay all required public safety mitigation fees to the City, as determined by City Council.**
6. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD/HD4 standards. The private street shall meet all requirements of the Star Fire District.
7. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
8. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a**

streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.

9. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
10. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.
11. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
12. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
13. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
14. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 15. A letter from the US Postal Service shall be given to the City at Final Plat stating the subdivision is in compliance with the Postal Service and the location of the mailbox cluster. The mailbox cluster must be covered and reasonably lit.**
16. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
17. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
18. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
19. All common areas shall be owned and maintained by the Homeowners Association.
20. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
21. A sign application is required for any subdivision signs.
- 22. Any additional Condition of Approval as required by Staff and City Council.**

Council Decision:

The Council voted 4-0 to approve the Preliminary Plat and Private Street application on July 16, 2024.

Dated this 20th day of August, 2024.

Star, Idaho

By: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M. Qualls, City Clerk



CITY OF STAR
**LAND USE STAFF REPORT
MEMO**

TO: Mayor & Council
FROM: City of Star – Planning & Zoning *Shen J. Nish*
MEETING DATE: **August 20, 2024**
FILE(S) #: TE-24-07 Time Extension Cherished Estates Subdivision

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Representative:
Brian Sinderhoff
Sterling Land Development, Inc.
1159 E. Iron Eagle Drive #170
Eagle, ID 83616

REQUEST

Request: The Applicant is seeking approval of a time extension for Cherished Estates Subdivision, consisting of 252 residential lots and 22 common lots, and Private Streets. The property is located at N Brandon Rd & Floating Feather in Star, Idaho.

SUMMARY

The original preliminary plat was approved by Council on October 5, 2021. An administrative time extension was approved by the Zoning Administrator on August 23, 2023 for one year. On July 24, 2024, the applicant filed a time extension for an additional year to submit a final plat for the development. The applicant has requested an additional 1-year time extension that must be approved by the City Council. The new expiration date for signature of the final plat by the City Engineer is October 5, 2025.



Floating Feather Road - Star, ID

Parcel No. S0408212400

No Custom Logo Available

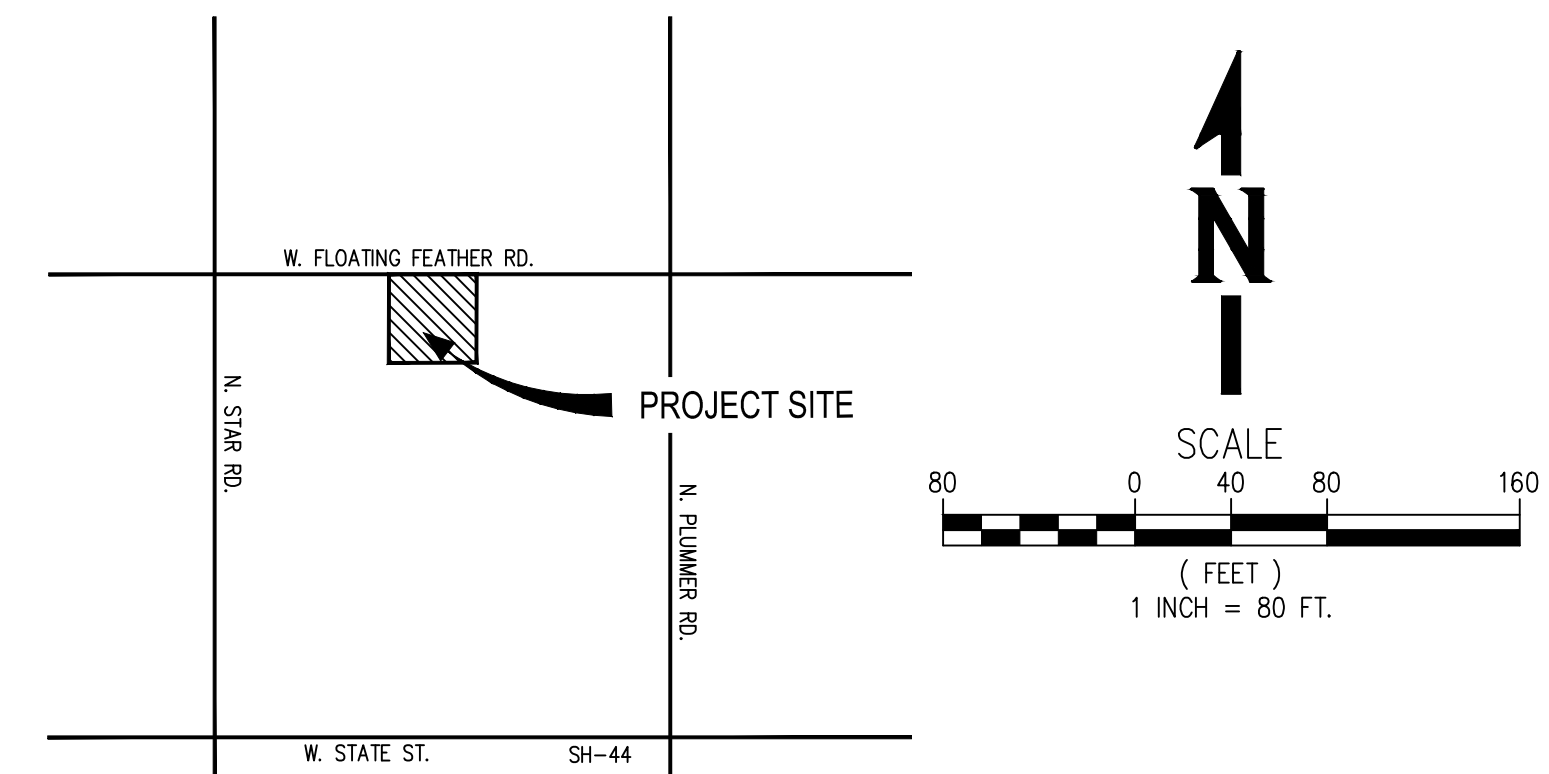
Section 5, Item D.

Contact us at
to add your custom logo here



A PRELIMINARY PLAT OF CHERISHED ESTATES SUBDIVISION

SITUATED ENTIRELY IN THE
NW¹/₄ OF SECTION 8, T.4N.,
R.1W., B.M. CITY OF STAR,
ADA COUNTY, IDAHO



VICINITY MAP
-NTS-

NV5

680 Industry Way, Suite 10
Meridian, ID 83642
208-342-5400 www.nv5.com



LEGEND

- x - x - x -	EXISTING FENCE
- - - - -	PROPERTY BOUNDARY
- - - - -	RIGHT OF WAY LINE
- - - - -	EXISTING ROAD CENTERLINE
- - - - -	EDGE OF PAVEMENT
- - - - -	EXISTING LOT LINE
SSx - - - - - SSx	EXISTING SEWER LINE W/ MANHOLE
- Wx - - - - - Wx	EXISTING WATER MAIN
⊗	EXISTING WATER VALVE
⊙	EXISTING WATER WELL
⊞	EXISTING STORM CATCH BASIN
⊛	EXISTING LIGHT POLE
⬢	EXISTING SIGN
- - - - -	PROPOSED ROAD CENTERLINE
- - - - -	PROPOSED ROAD RIGHT OF WAY
- - - - -	PROPOSED LOT LINE
BLOCK 5 5	BLOCK AND LOT NUMBER
- - - - -	PROPOSED REVERSE LIP ROLLED CURB, GUTTER & SIDEWALK
●	PROPOSED SANITARY SEWER W/ MANHOLE
8" W	PROPOSED 8" WATER MAIN
IRR	PROPOSED PRESSURE IRRIGATION
●	PROPOSED FIRE HYDRANT
⊙	PROPOSED DOWNWARD FACING LED STREETLIGHT W/ FLUSH FACE
- - - - -	PROPOSED UTILITY EASEMENT

DEVELOPMENT FEATURES

TOTAL ACRES.....	40.22 ACRES
TOTAL LOTS.....	113 LOTS
COMMON LOTS.....	13 LOTS
BUILDING LOTS.....	100 LOTS
AVERAGE BUILDING LOT SIZE.....	9990 SF
MINIMUM BUILDING LOT SIZE.....	8454 SF
RESIDENTIAL DENSITY (GROSS).....	2.49 UNITS/AC.
EXISTING ZONING.....	R-2
PROPOSED ZONE.....	R-3
TOTAL OPEN SPACE.....	7.90 AC. (19.64% MEETS CODE)
QUALIFIED OPEN SPACE.....	6.43 AC. (16.0% MEETS CODE GREATER THAN 10% OF TOTAL)

- SEWER**
STAR SEWER AND WATER DISTRICT
- WATER**
STAR SEWER AND WATER DISTRICT
- IRRIGATION**
MIDDLETON MILL DITCH CO.
- SCHOOL**
WEST ADA COUNTY SCHOOL DISTRICT
- EMERGENCY SERVICES**
FIRE - STAR FIRE DISTRICT
POLICE - CITY OF STAR

NOTES:

- 1) ALL LOT LINES COMMON TO A PUBLIC RIGHT-OF-WAY SHALL HAVE A 10' UTILITY EASEMENT.
- 2) ALL SANITARY SEWER MAINS SHALL BE 8" Ø UNLESS OTHERWISE SHOWN.
- 3) ALL WATER MAINS SHALL BE 8" Ø UNLESS OTHERWISE SHOWN.
- 4) DRAINAGE SHALL BE DETAINED ON SITE VIA SURFACE AND/OR SUBSURFACE FACILITIES AS APPROVED BY THE CITY OF STAR AND ACHD.
- 5) POTABLE WATER SERVICE PROVIDED BY STAR SEWER AND WATER DISTRICT.
- 6) SANITARY SEWER SERVICE PROVIDED BY STAR SEWER AND WATER DISTRICT.
- 7) BLOCK 1 LOTS 1 & 19, BLOCK 2 LOTS 1 & 8, BLOCK 3 LOT 13, BLOCK 4 LOT 1 & 16, BLOCK 5 LOT 7, BLOCK 6 LOT 7, 8, & 15, BLOCK 7 LOT 1 & BLOCK 8 LOT 7 ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE H.O.A.
- 8) THIS SUBDIVISION IS SUBJECT TO COMPLIANCE WITH THE IDAHO CODE SECTION 31-3805 CONCERNING IRRIGATION WATER. SANITARY SEWER SERVICE PROVIDED BY STAR SEWER AND WATER DISTRICT.

APPLICANT BRIAN SINDERHOFF STERLING LAND DEVELOPMENT, INC. 1159 E. IRON EAGLE DRIVE, STE 170-K EAGLE, ID 83616 (949) 226-4482	PLANNER BONNIE LAYTON NV5 680 INDUSTRY WAY, STE 10 MERIDIAN, ID 83642 (208) 342-5400
ENGINEER RYAN YOUNG, P.E. NV5 680 INDUSTRY WAY, STE 10 MERIDIAN, ID 83642 (208) 342-5400	SURVEYOR TRAVIS FOSTER, PLS, CFEed NV5 680 INDUSTRY WAY, STE 10 MERIDIAN, ID 83642 (208) 342-5400



XREF INDEX:
 [DATE: 10/13/2021 3:53 PM] [AUTHOR: ryan.young] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb]
 [PATH: P:\Sterling Land Development, Inc\229120-B000196.00-Execution\Drawings\Civil\B000196.00-C-PPL\T03.dwg] [LAYOUT: PRELIMINARY PLAT]

PRELIMINARY PLAT

STERLING LAND DEVELOPMENT, INC.
CHERISHED ESTATES SUBDIVISION

SHEET NUMBER
PP1

PROJECT NUMBER
B000196.00

SCALE
AS NOTED

SHEET INFO	DESIGNED	RCY		
DRAWN	KVP			
CHECKED	RCY			
APPROVED	RCY			
LAST EDIT	PLOT DATE			
10/12/2021	10/13/2021			
REVISIONS	NO.	BY	DATE	REMARKS
1	LAG	05/24/21	ADDRESSED KELLER ASSOCIATES' COMMENTS 1-6	
2	LAG	05/24/21	CREATED STREET LIGHT DETAIL SHEET PP3	
3	KVP	06/07/21	LOT ADJ. & FLOATING FEATHER IMPROVEMENTS	
4	KVP	08/03/21	LOT ADJ.	
5	KVP	09/01/21	LOT ADJ. ADD DRAINAGE LOTS	
6	RCY	10/13/21	LOT ADJ. ADD COMMON LOTS MOVE PARK	

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **August 20, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Joplin Rim Subdivision

Files #'s AZ-24-04 Annexation & Rezone
DA-24-04 Development Agreement
PP-24-01 Preliminary Plat
PR-24-03 Private Street

Representative: Emily Mueller, Idaho Holdings, LLC 839 S Bridgeway Pl, Eagle, Idaho 83616

Owner: John Bottles

Action: The Applicant is requesting approval of an Annexation & Zoning (AZ-24-04), Development Agreement (DA-24-04) and a Preliminary Plat (PP-24-01) for a proposed residential subdivision consisting of 49 residential lots and 7 common lots, and a Private Street (PR-24-03). The property is located on the southeast corner of Can Ada Road on Joplin Road, Ada County, Idaho, and consists of 13.5 acres with a proposed density of 3.46 dwelling units per acre.

Property Location: The subject property is generally located near the southeast corner of W. Joplin Road and N. Can Ada Road. Ada County Parcel No's. S0419233700 & S0419325561.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning & Zoning Department *Shen J. Mueller*

MEETING DATE: **August 20, 2024 – PUBLIC HEARING**
FILE(S) #: AZ-24-04 Annexation and Zoning
 DA-24-04 Development Agreement
 PP-24-01 Preliminary Plat for Joplin Rim Subdivision
 PR-24-03 Private Street

OWNER/APPLICANT/REPRESENTATIVE

Property Owner:

John Bottles
839 S. Bridgeway Place
Eagle, Idaho 83616

Applicant:

Emily Mueller
Idaho Holdings, LLC
839 S. Bridgeway Place
Eagle, Idaho 83616

Representative:

Ryan Cutler
Horrocks
2775 W. Navigator Drive, Ste. 210
Meridian, Idaho 83642

REQUEST

Request: The Applicant is seeking approval of an Annexation and Zoning (R-4), a Development Agreement, Preliminary Plat for a proposed residential subdivision consisting of 49 residential lots and 7 common lots, and a Private Street. The property is located at the southeast corner of W. Joplin Road and N. Can Ada Road and consists of 13.5 acres with a proposed density of 3.46 dwelling units per acre.

PROPERTY INFORMATION

Property Location: The subject property is generally located near the southeast corner of W. Joplin Road and N. Can Ada Road. Ada County Parcel No's. S0419233700 and S0419325561.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	RUT (Ada County)	South of the River Neighborhood Residential	Agriculture/Vacant Land
Proposed	Residential (R-4)	South of the River Neighborhood Residential	Single Family Residential
North of site	RUT (Ada County)	South of the River Estate Residential	Agriculture/Single Family Residential
South of site	RUT (Ada County)	South of the River Neighborhood Residential	Agriculture/Vacant Land
East of site	Residential (R-4-DA)	South of the River Neighborhood Residential	Naismith Commons Subdivision
West of site	RR (Canyon County)	Estate Rural Residential/Mixed Use	Agriculture

Existing Site Characteristics: The property currently is vacant/bare ground.

Irrigation/Drainage District(s): Pioneer Irrigation District
P.O. Box 426
Caldwell, Idaho 83606

Flood Zone: This property is not located in a Special Flood Hazzard Area.
Flood Zone: Zone X
FEMA FIRM Panel Number: 16001C0120J
Effective Date: 6/19/2020

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – Several existing mature trees.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.

- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	June 15, 2024
Neighborhood Meeting Held	October 17, 2023/February 15, 2024
Application Submitted & Fees Paid	April 10, 2024
Application Accepted	May 2, 2024
Residents within 300' Notified	July 30, 2024
Agencies Notified	May 2, 2024
Legal Notice Published	August 2, 2024
Property Posted	July 30, 2024

HISTORY

This property does not have any history of land use applications within the City of Star.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

1. The subject property shall meet the minimum dimensional standards and/or density standards_of the proper district.
2. The city shall require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement, building elevations, including front and rear (when backing up to a collector or arterial street), and concept plan shall be required for any annexation or rezone to a commercial, mixed-use or residential zone or use, or land which includes steep slope (land over 25%) or floodway. An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority, or a letter from the transportation authority waiving said study is received by the administrator. A hearing date before the Council shall not be scheduled until any required traffic impact study has been approved and the transportation authority has

issued a staff report on the development application. The administrator may waive these requirements in certain circumstances.

3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

- 1. The map amendment complies with the applicable provisions of the comprehensive plan;
- 2. The map amendment complies with the regulations outlined for the proposed district;
- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- 5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and

septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

<u>ZONING DISTRICT USES</u>	A	R-R	R
Accessory structure	A	A	A
Dwelling:			
Multi-family 1	N	N	C
Secondary 1	A	A	A
Single-family attached	N	N	C
Single-family detached	P	P	P
Two-family duplex	N	N	P

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
R-4	35'	15' to living area 20' to garage face	15'	7.5' ⁽²⁾	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a

Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);
2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.
4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.
5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.
6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.
7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.
 - a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.

- b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
 - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the total gross acreage of land area of the development. A minimum of 10% of the total gross acreage of the development shall be for useable area open space. Open space shall be designated as a total of 15% minimum for residential developments in all zones with densities of R-2 or greater.
 - 2. Each development is required to have at least one site amenity.
 - 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
 - 4. Developments with a density of 1 dwelling unit per acre or less may request a waiver

of open space and amenities to the Council. Developments with a density of 2 dwelling units per acre or less may request a 50% reduction in total required open space and amenities to the Council.

5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Usable Area Open Space: The following qualifies to meet the useable area open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;

b. Qualified natural areas, as determined by the Administrator;

c. Ponds or water features where active fishing, paddle boarding, or other activities are provided (50% qualifies towards total required usable area open space, must be accessible by all residents to qualify. Ponds must be aerated. All ponds shall be provided with safety floatation devices (rings) located at reasonable distances, as determined by the administrator;

d. A plaza.

e. Common lots that include a pathway providing local or regional connectivity that is a minimum of 20' in width.

f. Irrigation easements/ditches when a pathway is included (to be measured from the center of the ditch to the property line of the common lot).

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total, as determined by the Administrator.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
 - a. Swimming pool with an enlarged deck and changing and restroom facility (pools shall count towards 3 required site amenities).
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 10% qualified usable space.

- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- h. Pond and/or waterway amenities including, but not limited to docks, shade structures, ADA access, and fish stocking.

6. Community Gardens.

D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

E. Maintenance:

- 1. All common open space and site amenities shall be owned by and be the responsibility of an owners' association for the purpose of maintaining the common area and improvements thereon.

8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
 - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
 - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:

1. Exterior finishes shall be primarily horizontal/vertical wood or wood product siding, brick, stucco, stone, or other decorative masonry product. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
 3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
 4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
 5. Additional landscaping buffers may also be required.
2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles

and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:

- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

8-4A-21: MAILBOXES:

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. When possible, any unresolved access or traffic generation issues related to ACHD/HD4 or ITD regulated roadways should be resolved by the applicant prior to acceptance of any application. The administrator may require a letter from the appropriate transportation agency or servient property owner to be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty-four inches by thirty-six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.

3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
 - h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting

letter, copy of mailing labels, and detailed summary of neighbor questions and concerns and how the development has been designed to address those concerns;

- p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
- q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
- r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
- s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.

5. Additional information in the application as determined by the administrator may include the following:

- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
- b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Neighborhood Residential

Suitable primarily for single family residential use. Densities in the majority of this land use area are to range from 3 units per acre to 5 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to

existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

PROJECT OVERVIEW

ANNEXATION & REZONE:

The applicant is requesting approval of an annexation and rezone application on 13.5 acres from Rural Urban Transitional (RUT) to Neighborhood Residential (R-4). This zoning district would allow for a maximum residential density of 4 dwelling unit per acre. The property is located in an area that can be serviced with central sewer and water provided by Star Sewer and Water District. Star Sewer and Water will be extending services along Joplin Road from the new sewer lift station completing construction on the west side of Star Road. The zoning request includes a development agreement that will address future density and development requirements.

PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat submitted contains 49 single family residential lots and 7 common area lots on 13.50 acres. This equates to 3.46 dwelling units per acre. The rim lots will have access and frontage from a private street running adjacent to Joplin Road. The southern portion of the development will have access and frontage from public streets. The residential lots range in size from 5,153 square feet to 15,040 square feet with the average buildable lot being 7,283 square feet. The private street is being proposed to be built in a 28-foot easement with the road being 28 feet from back of curb to back of curb. The applicant is requesting no sidewalk on the private street. The submitted preliminary plat is showing the local streets in a 50 ft wide right of way with paved streets measuring 36 feet from back of curb to back of curb. Internal sidewalks are proposed to be detached with a 6-foot-wide landscape strip and a 5-foot, concrete sidewalk. Joplin Road is proposed as a collector road with 36 feet roadway and 7-foot sidewalks. A private street maintenance plan, including proposed funding, shall also be required by Staff prior to final plat signature. Street names must be obtained by the Ada County Street Naming Committee prior to signature of the final plat. The applicant is proposing 2.11 acres (15%) of open space, and 1.91 acres (14%) of usable open space.

The current Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a playground with walking paths and gathering areas. These amenities satisfy the code requirement for development amenities.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be detached throughout the southern portion of the subdivision with a six (6') foot landscape strip. **Unified Development Code 8-4A-17 states that landscape strips shall be a minimum of eight (8') feet wide on both sides of the road. Applicant will need to adjust the plat to accommodate the wider landscape strip.**
- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a streetlight plan. All other proposed light locations satisfy City code. **Applicant has not provided a streetlight design/cut sheet for City approval. This will be required at submittal of the final plat.**
- Street Names
Applicant has not provided documentation from Ada County that the street names are acceptable and have been approved. This will be required at final plat.
- Subdivision Name
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements with the exception of the private road. If street trees are to be placed by the builder, Certificate of Occupancy may be withheld until trees are verified in place per code.**
- Setbacks – The applicant is requesting set back waivers on specific lots in the development. These lots are north of the proposed re-aligned Joplin Road. All other lots will adhere to the R-4 setbacks outlined in this report. **The applicant shall provide Council with an exhibit showing which lots in Block 1 are requested to have setback modifications, along with justification.**

- Block lengths – All blocks meet the 750' block length requirement.
- Mailbox Cluster – Applicant has provided documentation from the Meridian Postmaster depicting the approved location for the mailbox cluster for the development. Mailbox clusters shall be covered and provided with lighting.
- Phasing – The development has not proposed a phasing plan at this time.
- Mitigation fees – All future building permits shall be subject to emergency service mitigation fees, as determined by Council.
- Future Home Elevations/Building Permits – The applicant shall meet all future residential building standards associated with Section 8-3B-3J of the UDC. **The applicant has not submitted building elevations for review by Staff and Council. An exhibit shall be submitted to Staff and Council prior to the public hearing.**

DEVELOPMENT AGREEMENT

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Density;
- ITD Proportionate Share Fees;
- Private Road Maintenance;
- Private Road Study Every Three (3) Years;
- Setback Waivers
- Street Trees
- Compliance With Weed Abatement Code
- Mitigation Fees
- Future Residential Building Elevations

AGENCY RESPONSES

ITD	May 13, 2024
Star Fire District	July 29, 2024
DEQ	May 10, 2024
Ada County Development Services	May 15, 2024
ACHD	June 14, 2024
Transportation Committee	August 8, 2024
City Engineer	July 22, 2024

PUBLIC RESPONSES

No public comments have been submitted.

STAFF RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed annexation and zoning request and associated applications including the preliminary plat meets the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed maximum allowed density of 3.46 dwelling units per acre is within the range of 1-4 dwelling units per acre allowed in the Neighborhood Residential Comprehensive Plan Land Use Map. Staff is supportive of proposed diversity in lot sizes, housing sizes and density that the (R-4) zoning designation will provide.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION/REZONE FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*
 - ✓ *Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.

- 2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the Estate Residential District is to provide for development suitable primarily for residential use. Densities in this land use area are to range from 1 unit per acre to 3 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future. Clustering is encouraged to preserve open space.

- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

- 5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

PRELIMINARY PLAT FINDINGS:

- 1. The plat is in compliance with the Comprehensive Plan.

The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:

- 1. Designing development projects that minimize impacts on existing adjacent properties, and*
- 2. Managing urban sprawl to protect outlying rural areas.*

- 2. Public Services are available or can be made available and are adequate to accommodate the proposed development.
The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.
- 3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
- 4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
- 5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;
The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

- 1. The Ordinance and standards used in evaluating the application;
- 2. The reasons for recommending approval or denial; and
- 3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Joplin Rim Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
3. **The applicant shall pay all required emergency services mitigation fees to the City, as determined by City Council.**
4. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD standards, unless otherwise approved by Council and the Fire District. The private street shall meet all requirements of the Star Fire District.
5. **All sidewalks and planter strips shall be built to UDC standards, unless otherwise approved by Council.**
6. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
7. **The Applicant shall provide approval for all street names from the Ada County Street Naming Committee and all names shall be correctly depicted on the final plat prior to signature.**
8. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
9. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
10. Street trees along the private street shall be installed per Chapter 8, including Section 8-8C-2-M(2) Street Trees. If the trees will be installed by the builder, Certificate of Occupancy may be withheld until trees have been verified they are installed per code.
11. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
12. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the

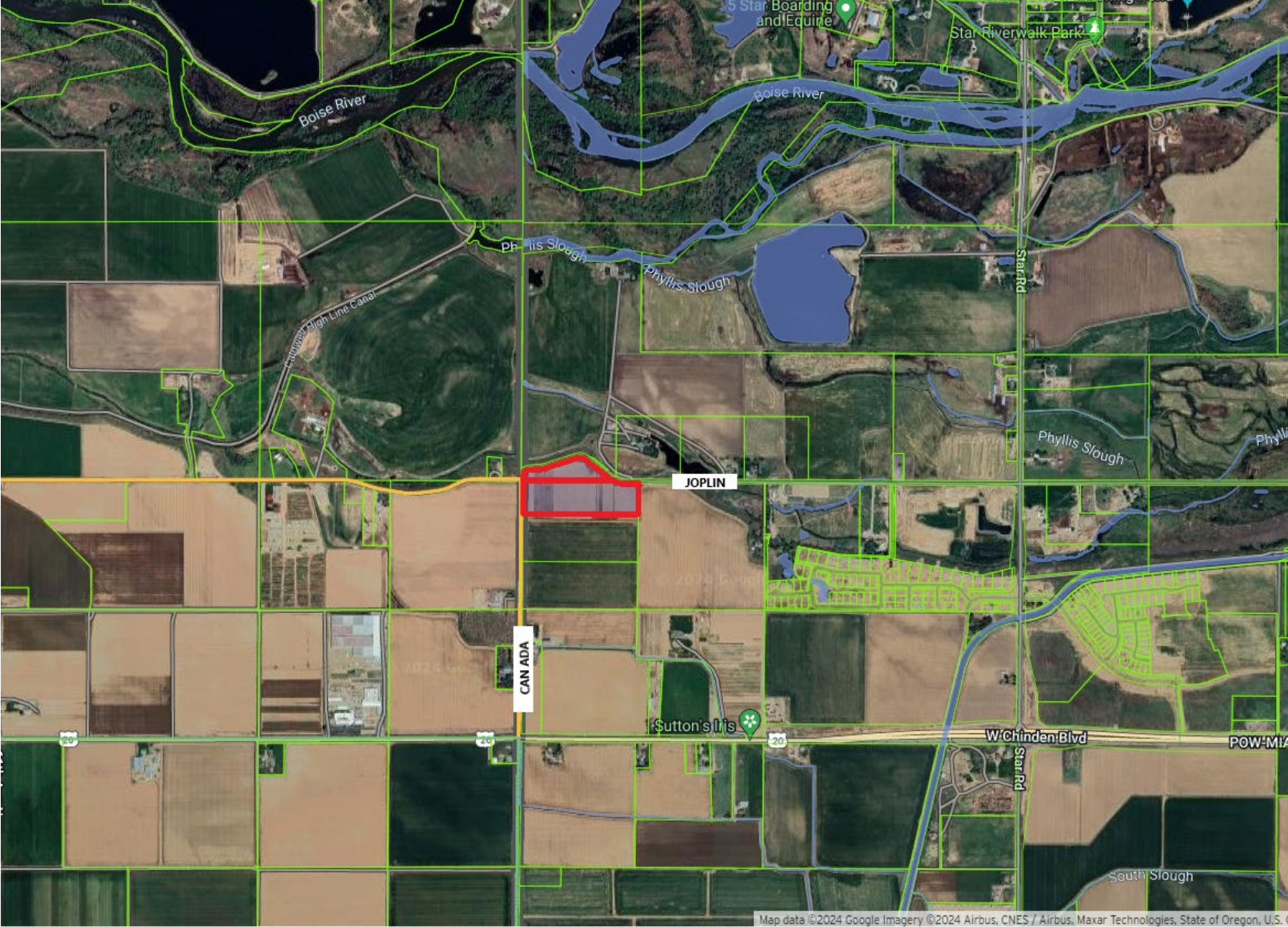
development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

- 13. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
- 14. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
- 15. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
- 16. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
- 17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
- 18. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
- 19. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
- 20. All common areas shall be owned and maintained by the Homeowners Association.
- 21. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
- 22. A sign application is required for any subdivision signs.
- 23. Any additional Condition of Approval as required by Staff and City Council.**

COUNCIL DECISION

The Star City Council _____ File Number AZ-24-04/DA-24-04/PP-24-01/PR-24-03 for Joplin Rim Subdivision on _____, 2024.

VICINITY MAP – JOPLIN RIM SUBDIVISION



March 27, 2024

City of Star Planning & Zoning
Attn: Shawn Nickle
10769 W. State St
Star, ID 83669

RE: Joplin Rim Subdivision; Annexation, Initial Zoning, Preliminary Plat, and Development Agreement

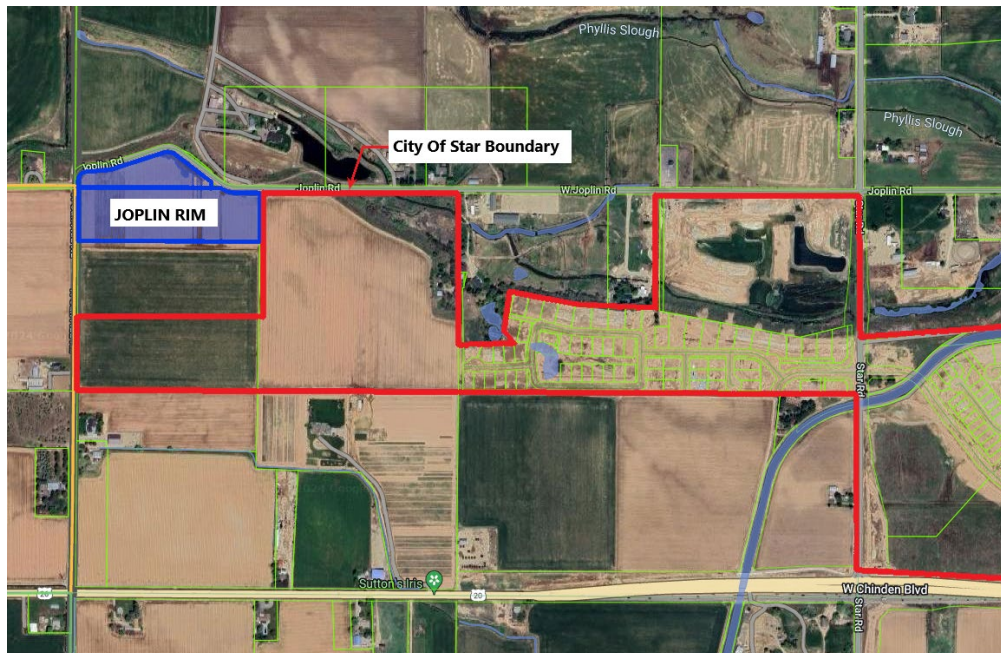
Dear Planning Staff, Mayor, and City Council:

We are pleased to present applications for annexation, initial rezoning, preliminary plat, and a development agreement for the Joplin Rim Subdivision (“**Joplin Rim**”). Joplin Rim will be a single-family residential community with 49 homes. The variety of housing types and lot sizes provided at Joplin Rim are currently in high demand in Star and will provide needed housing for the community.

Property Overview

Joplin Rim is located on approximately 14 acres of vacant property located east of Can Ada Rd. south of Joplin Road, consisting of Ada County parcel nos. S0419233660 and S0419325560 (the “**Property**”). The Property is currently zoned RUT in Ada County and located within the City of Star’s comprehensive planning area. *Figure 1* below shows the Property. As requested by the City of Star Staff and Fire Department, and to mitigate existing safety concerns due to the roadway’s current curved alignment. Applicant plans on straightening and re-aligning Joplin Road through the middle of Joplin Rim.

Figure 1



Annexation of the Property

The Applicant requests annexation of the Property into the City of Star as a Category “A” annexation under Idaho Code Section 50-222. The Property is annexable because the owner has consented to annexation, the Property is contiguous to the current city limits, and the Property is in the City’s comprehensive plan future land use map (“FLUM”) planning area.¹ *Figure 1* above shows the current city limits. Annexation of the Property is also appropriate because City services are available and the City has planned for annexation of the Property by including the land in the FLUM. Overall, the proposed annexation constitutes orderly development in accordance with the City’s planning documents.

Initial Zoning

Applicant is requesting an initial zoning designation of Single-Family Residential (R-4). The R-4 zoning proposed is supported by the FLUM, which designates the Property as neighborhood residential (see *Figure 2* below). R-4 zoning is also appropriate because it is compatible with zoning and uses in the area. Just east of the Property, the City has annexed and zoned large areas of land as R-4 for single-family residential development. These include Naismith Commons, Starpoint, Oaklawn and Inspirado projects. Because the FLUM also designates all of the land around the Property as residential (see *Figure 2*), the requested R-4 zoning is also compatible with future anticipated residential development in the vicinity. Joplin Rim also supports many of the City’s comprehensive planning goals.

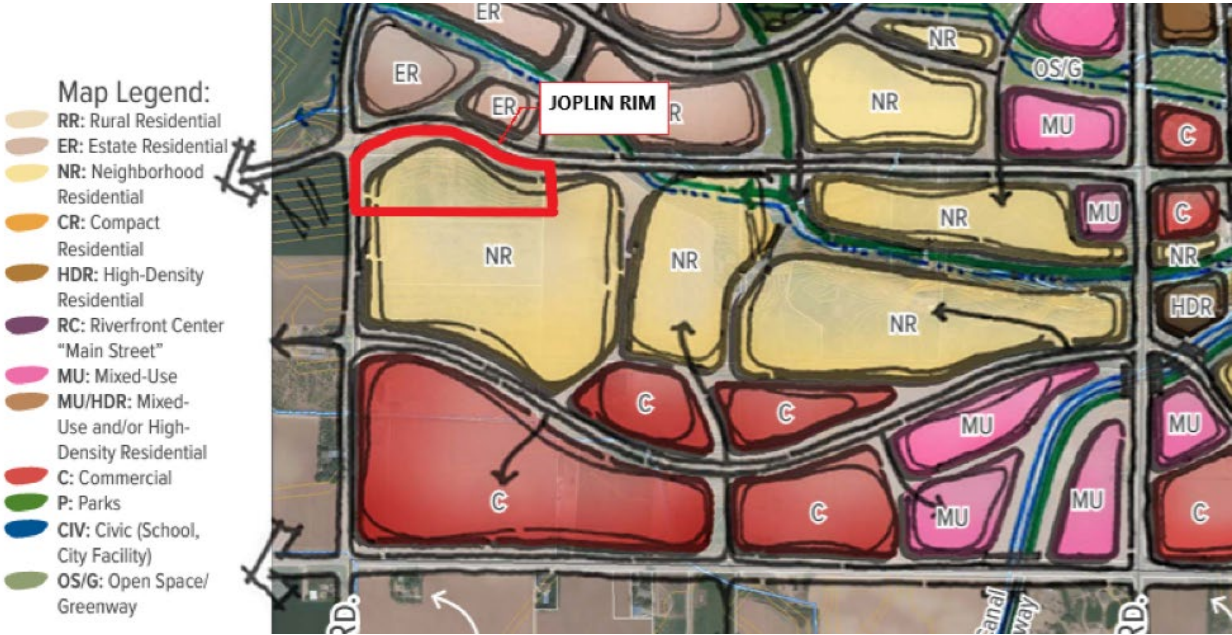


Figure 2 – South of the River Future Land Use Map

¹ Idaho Code § 50-222(3)(a)(i).

Preliminary Plat

Joplin Rim is a residential community with 49 single-family residential lots, and 7 common lots. The dimensions of the proposed plat meet all City code standards set forth in the Star City Code. The details of the preliminary plat include:

General Project Overview	
Single-family residential lots	49
Common lots	7
Gross density	3.46 DU/Acre
Usable Open Space	1.91 Acres / 14%
Maximum Lot Size	15,040 Square Feet
Minimum Lot Size	5,153 Square Feet

Joplin Rim will be accessed through (1) the re-aligned Joplin Road and (2) the adjoining Naismith Subdivision. Based on conversations with City Staff and City of Star Fire District, Applicant will re-align and straighten Joplin Road to mitigate safety concerns with the current curved alignment. Applicant held two neighborhood meetings for this Project, on October 17, 2023 and February 15, 2024. Surrounding property neighbors were able to attend both meetings and ask questions about the project and the realignment of Joplin Road.



Modifications to Standards

Applicant is requesting the following lot-specific modifications to the R-4 dimensional standards:

Modifications to Setbacks	
Lot 3, Block 1	14' Rear Yard Setback
Lot 4, Block 1	12' Rear Yard Setback
Lot 5, Block 1	8' Rear Yard Setback
Lot 12, Block 1	3.5' Rear Yard Setback
Lot 13, Block 1	4' Side Yard Setback
Lot 3, Block 1	14' Rear Yard Setback

The above requested modifications are specific to the residential lots located north of the newly aligned Joplin Road. The modifications are appropriate because of the location of the newly aligned Joplin Road and are needed to make those salable lot, providing a variety of housing types within Joplin Rim.

Joplin Road Vacation/Exchange Applications

Applicant has been in communication with ACHD Right of Way agents about the process for vacating/exchanging the existing Joplin Road. Applicant understands that it will need to file the appropriate applications to vacate/exchange the existing Joplin Road with ACHD after Applicant's Preliminary Plat is approved. A traffic impact study (TIS) is not required because Joplin Rim only contains 49 Residential Units (See Table 1, Section 7106.1, ACHD Policy Manual).

Conclusion

Thank you for your time and consideration of the enclosed applications. Our team has thoughtfully designed Joplin Rim as a first-class complete residential community which will provide excellent housing, recreation, and schooling opportunities for both current and future residents of the City of Star. We look forward to the opportunity to bring this community to the City. Please do not hesitate to contact us regarding any questions you may have.

Sincerely,



Emily Mueller
Idaho Holdings, LLC
(208)-866-2405
emily@markbottles.com



PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: **PP-24-01**
 Date Application Received: **4/10/2024** Fee Paid: **\$4180.00**
 Processed by: City: **BN**

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Emily Mueller - Idaho Holdings, LLC
 Applicant Address: 839 S Bridgeway Pl., Eagle ID Zip: 83616
 Phone: (208) 866-2405 Email: emily@markbottles.com

Owner Name: John Bottles, et. al
 Owner Address: 839 S Bridgeway Pl., Eagle ID Zip: 83616
 Phone: (208) 994-2255 Email: john@markbottles.com

Representative (e.g., architect, engineer, developer):
 Contact: Ryan Cutler Firm Name: Horrocks
 Address: 2775 W Navigator Dr., Suite 210, Meridian ID Zip: 83642
 Phone: (986) 226-5725 Email: ryan.cutler@horrocks.com

Property Information:

Subdivision Name: Joplin Rim
 Site Location: TBD Can Ada Rd
 Approved Zoning Designation of Site: County RUT
 Parcel Number(s): S0419233660, S0419325560

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	County RUT	Neighborhood Residential	Ag.
Proposed	R-4	Neighborhood Residential	Single Family Residential
North of site	County RUT	Estate Residential	Estate Residential and Ag.
South of site	County RUT	Neighborhood Residential	Ag.
East of site	R-4	Neighborhood Residential	Single Family Residential
West of site	County RUT	Canyon County	Ag.

SITE DATA (to be noted on the Preliminary Plat):

Total Acreage of Site - 13 Acres
 Breakdown of Acreage of Land in Contiguous Ownership - N/A
 Total Acreage of Site in Special Flood Hazard Area - N/A
 Dwelling Units per Gross Acre (Density) - 3.46
 Minimum Lot Size - 5,253 SF
 Minimum Lot Width - 15,040 SF

Total Number of Lots - 56
 Residential - 49
 Commercial - 0
 Industrial - 0
 Common - 7

Total Number of Residential Units - 49
 Single-family - 49
 Duplex - 0
 Multi-family - 0

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -
15 % / 2.15 acres
 Percent of Site and Total Usable Open Space Area (min 10% of entire site) -
14 % / 1.91 acres
 Percent of Common Space to be used for drainage - 9%
 Describe Common Space Areas (amenities, landscaping, structures, etc.) -
playground with walking paths + gathering areas

Public Streets - 4 Private Streets - 1
 Describe Pedestrian Walkways (location, width, material) - All public Streets (Can Ada, Joplin, and local neighborhood Streets "A" and "B") will have detached sidewalks ranging from 5-7'
 Describe Bike Paths (location, width, material) - Detached Sidewalks along Public Streets

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: N/A
 FIRM effective date(s): mm/dd/year N/A
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: N/A
 Base Flood Elevation(s): AE .0 ft., etc.: N/A

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer and Water
 Irrigation Water- Pioneer Irrigation
 Sanitary Sewer- Star Sewer and Water District
 Fire Protection - Star Fire Protection District
 Schools - West Ada School District
 Roads - Ada County Highway District

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - No. Floodplain - No.
 Evidence of Erosion - No. Fish Habitat - No.
 Historical Assets - No. Mature Trees - No.
 Riparian Vegetation - No. Steep Slopes - No. Property situated on the rim.
 Stream/Creek - No. Unstable Soils - No.
 Unique Animal Life - No. Unique Plant Life - No.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (✓)	Description	Staff (✓)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
✓	Completed and signed Preliminary Plat Application	BN
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative explaining the project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	BN
✓	Recorded warranty deed for the subject property	BN
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
✓	Electronic copy in pdf. format of Preliminary Plat	BN

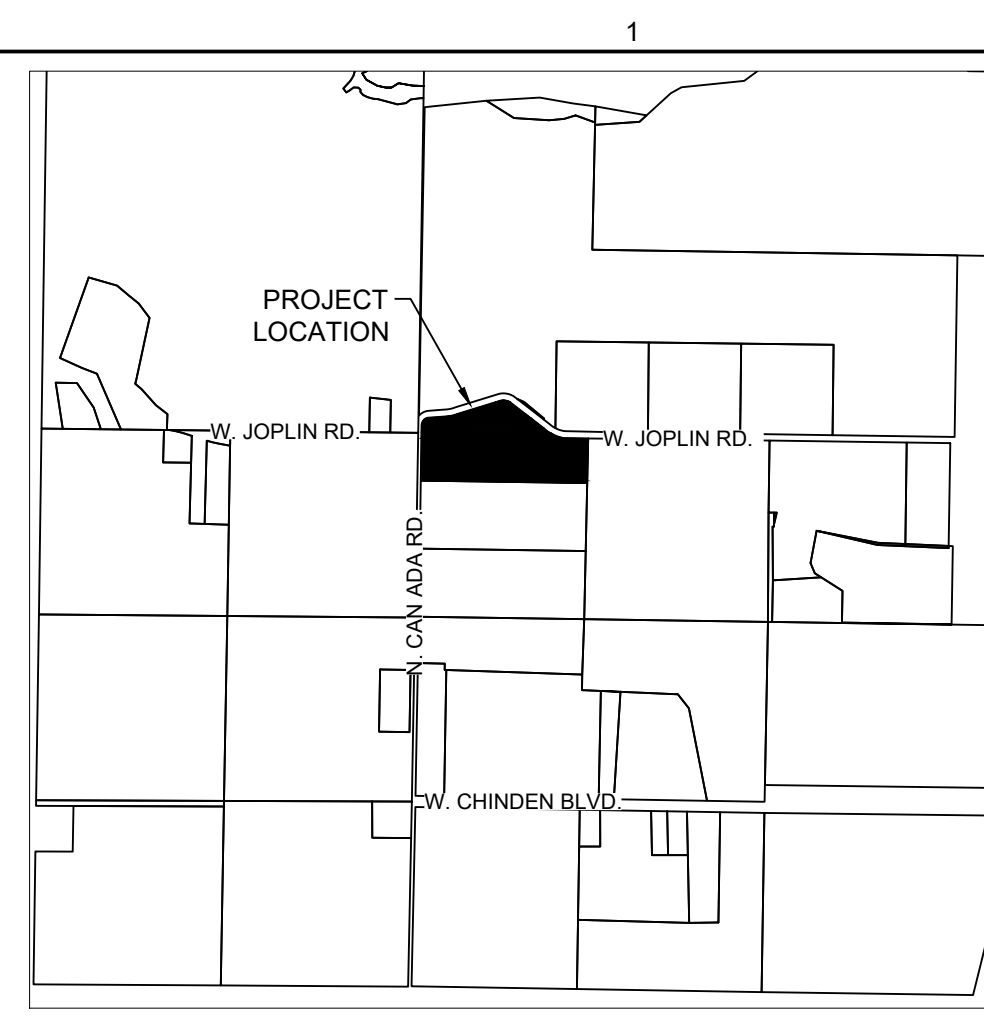
✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	BN
✓	Electronic copy in pdf. format of landscape plan	BN
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans	BN
N/A	Phasing plan shall be included in the application if the project is to be phased.	BN
✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	BN
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development.	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
N/A	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
✓	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements.	BN
✓	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	
N/A	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date. ✓ will do	
N/A at this time N/A at this time	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details. ✓ Will do	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

Ernie Mueller
Applicant/Representative Signature

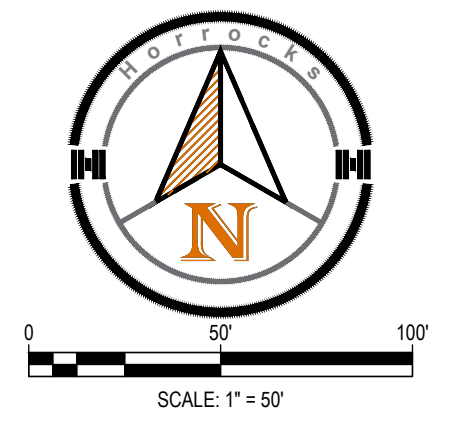
3-27-2024
Date



VICINITY MAP (NOT TO SCALE)

PROJECT BENCHMARK
5/8" IRON PIN WITH "JUB" CONTROL CAP
NORTHING 731290.9067
EASTING 2422837.6290
ELEVATION 2496.31'

PRELIMINARY PLAT
FOR
JOPLIN RIM SUBDIVISION
LOCATED IN A PORTION OF GOVERNMENT LOTS 2 & 3 OF SECTION 19,
TOWNSHIP 4 NORTH, RANGE 1 WEST, BOISE MERIDIAN
CITY OF STAR, ADA COUNTY, IDAHO
-2024-



LEGEND

- ▲ CALCULATED POINT
- PLSS CORNER
- BOUNDARY LINE
- - - LOT LINE
- · - · STREET CENTERLINE
- · - · SECTION LINE
- · - · ACHD SIDEWALK EASEMENT
- · - · CROSS ACCESS & PUBLIC UTILITY UTILITIES EASEMENT AS NOTED
- · - · PUBLIC UTILITIES EASEMENT
- · - · CROSS ACCESS EASEMENT
- · - · PUBLIC RIGHT-OF-WAY

P.U.E. PUBLIC UTILITIES EASEMENT
C.A.E. CROSS ACCESS EASEMENT
ROW PUBLIC RIGHT-OF-WAY

WARNING

IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

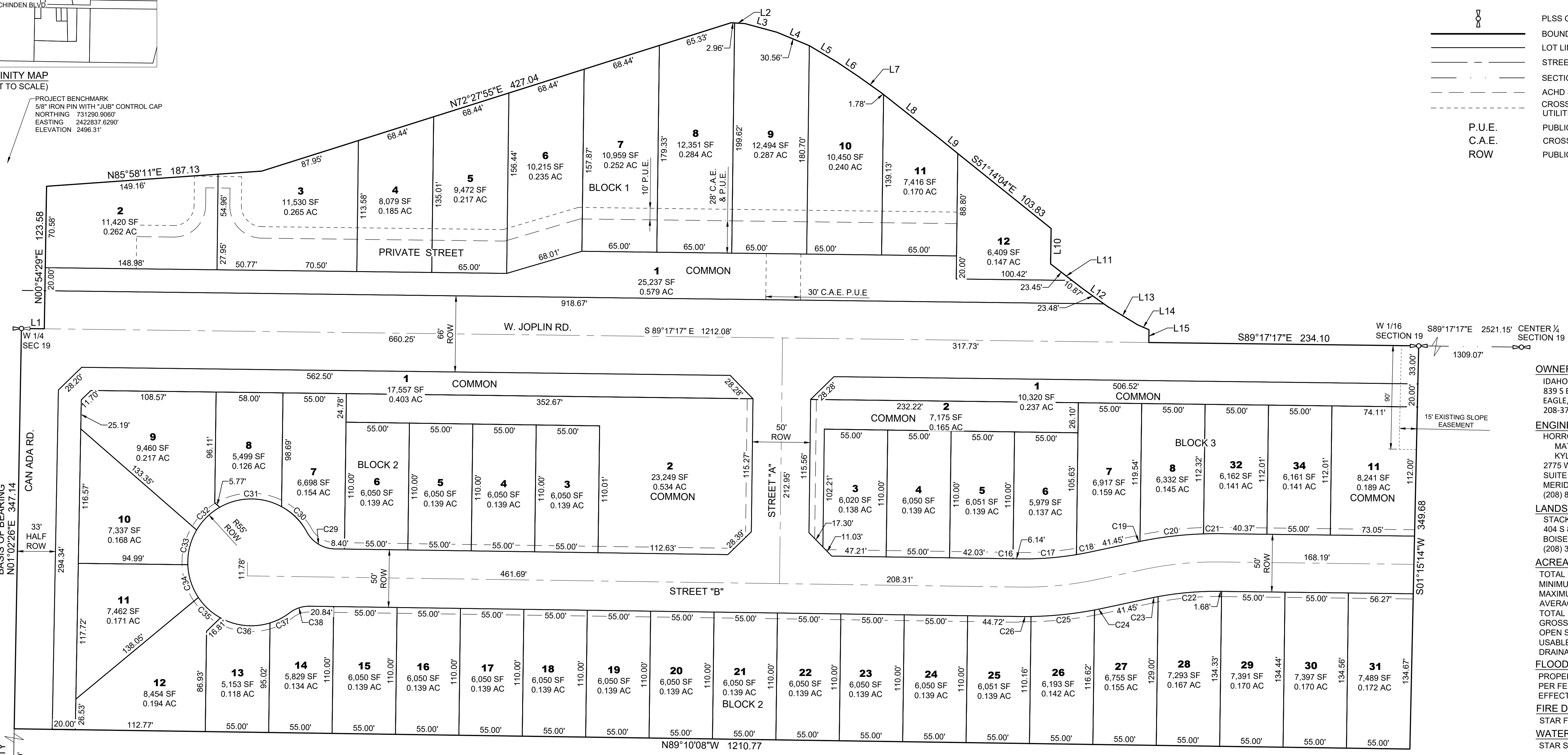
REVISIONS

REV #	DATE	DESCRIPTION
1	07/24/24	

DRAWING INFO

DATE	DESIGNED	MDK	DRAWN	MDK	CHECKED	MSKG	PROJECT
03/14/24							ID-8727-23

SEE GENERAL NOTES SHEET



OWNERS/DEVELOPERS:
IDAHO HOLDINGS, LLC
839 S BRIDGEWAY PLACE
EAGLE, ID 83616
208-377-5700

ENGINEER/PLANNER
HORROCKS ENGINEERS
MATHEW GRAHAM, P.E.
KYLE GOCHNOUR, PLS
2775 W NAVIGATOR DR.,
SUITE 210
MERIDAIN, ID 83642
(208) 895-2520

LANDSCAPE ARCHITECT
STACK ROCK GROUP
404 S 8TH ST., SUITE 300A1
BOISE, ID 83702
(208) 345-0500

ACREAGE SUMMARY
TOTAL = 13.53 ACRES
MINIMUM LOT SIZE: 5153 SF
MAXIMUM LOT SIZE: 12494 SF
AVERAGE RESIDENTIAL LOT SIZE: 7855 SF
TOTAL BUILDABLE LOTS: 48
GROSS DENSITY 3.54 LOT/AC
OPEN SPACE AREA: 2.11 AC/15%
USABLE OPEN SPACE AREA: 1.91 AC/14%
DRAINAGE AREA: 0.21 AC

FLOOD PLAIN
PROPERTY IS ZONED X
PER FEMA FLOOD PANEL 16001C0120J
EFFECTIVE DATE: JUNE 19, 2020

FIRE DISTRICT
STAR FIRE DISTRICT

WATER PROVIDER
STAR SEWER & WATER DISTRICT

SEWER PROVIDER
STAR SEWER & WATER DISTRICT

STORM WATER RETENTION
ALL STORM WATER TO BE RETAINED IN SURFACE OR SUB-SURFACE RETENTION BASINS

IRRIGATION DISTRICT
PIONEER IRRIGATION DISTRICT

ROADWAY JURISDICTION
CANYON HIGHWAY DISTRICT NO. 4
ADA COUNTY HIGHWAY DISTRICT
ZONING
AG WITH REZONE TO R3

SHEET INDEX

- PP1.0 OVERALL SITE AND SURVEY DATA AND LOT DIMENSIONS
- PP2.0 NATURAL FEATURES & UTILITIES
- PP3.0 TYPICAL STREET CROSS SECTIONS
- PP4.0 PRELIMINARY GRADING AND DRAINAGE PLAN

BASIS OF BEARING
N01°02'26"E ALONG THE WEST LINE FROM THE SOUTH 1/16 CORNER TO THE WEST QUARTER CORNER OF SECTION 19.

PROJECT BENCHMARK
A 5/8" IRON PIN WITH "JUB" CONTROL CAP IN THE NORTH WEST CORNER OF PROJECT.
NORTHING 731290.9067
EASTING 2422837.6290
ELEVATION 2496.31'

- NOTES**
- ALL BUILDING SETBACK DISTANCES AND DIMENSIONAL STANDARDS IN THIS SUBDIVISION SHALL BE IN COMPLIANCE WITH THE DEVELOPMENT AGREEMENT WITH THE CITY OF STAR, INSTRUMENT NO. _____.
 - COMMON LOTS, AS SHOWN, WILL BE USED FOR OPEN SPACE, WALKING PATHS, AND STORM WATER FACILITIES TO BENEFIT RESIDENTS OF THE COMMUNITY AND GUESTS. ALL COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - PRESSURE IRRIGATION WILL BE SUPPLIED TO EACH LOT AND CONNECTED TO AN OFF SITE PRIVATE PRESSURE IRRIGATION SYSTEM.
 - STORM DRAINAGE WILL BE DESIGNED IN ACCORDANCE WITH ALL CITY OF STAR STORMWATER DESIGN STANDARDS AND REQUIREMENTS.
 - ALL PROPOSED SEWER MAINS WILL CONNECT TO AND DISCHARGE INTO THE STAR SEWER AND WATER DISTRICT.
 - WATER WILL BE PROVIDED BY THE STAR SEWER AND WATER DISTRICT.
 - PUBLIC UTILITY AND IRRIGATION EASEMENTS WILL BE AS FOLLOWS:
 - 10 FOOT WIDE ADJACENT TO THE SUBDIVISION BOUNDARY AND PUBLIC RIGHT-OF-WAY
 - 5 FOOT WIDE ON EACH SIDE OF INTERIOR LOT LINES
 - 5 FOOT WIDE REAR LOT LINES
 - ALL OTHER EASEMENTS ARE AS SHOWN
 - EASEMENTS FOR WATER AND SEWER WILL BE PROVIDED AS REQUIRED BY THE STAR SEWER AND WATER DISTRICT FOR AREAS OUTSIDE THE PUBLIC RIGHT-OF-WAY.
 - NO PORTION OF THE SITE IS LOCATED IN A FEMA DESIGNATED FLOOD PLAIN OR FLOODWAY ZONE.
 - PRIVATE DRAINAGE SYSTEMS AND COMMON SITE IMPROVEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - ALL PUBLIC ROADS AND RIGHT-OF-WAY WILL BE DEDICATED TO ADA COUNTY HIGHWAY DISTRICT.
 - THE SUBDIVISION FINISHED SURFACE ELEVATION IS PLANNED TO BE INCREASED TO ENSURE MINIMUM COVER FOR FUTURE SEWER MAINS. THE ELEVATION INCREASE VARIES AND IS ANTICIPATED TO BE AN INCREASE BETWEEN APPROXIMATELY 0' AND 4' FEET AS NEEDED. ALL STORMWATER IS PLANNED TO BE RETAINED WITH THE USE OF SURFACE AND SUB-SURFACE INFILTRATION FACILITIES. STORMWATER RUNOFF IS EXPECTED ALONG THE FRONT OF EACH LOT INTO THE STREET BUT HOMEOWNERS WILL BE EXPECTED TO RETAIN AS MUCH STORMWATER AS POSSIBLE IN THE BACK OF EACH LOT. THE PROJECT DESIGN WILL ENSURE JURISDICTIONAL MINIMUM DESIGN REQUIREMENTS ARE MET AND/OR EXCEEDED.

CURVE TABLE

CURVE #	Δ	ARC LENGTH	RADIUS	DIRECTION	DISTANCE
C16	002° 42' 14"	12.98'	274.95'	S 89° 10' 09" E	12.97'
C17	010° 13' 59"	49.12'	275.00'	N 85° 42' 52" E	49.05'
C18	002° 38' 31"	12.68'	275.00'	N 79° 16' 36" E	12.68'
C19	000° 23' 12"	2.19'	325.00'	N 78° 08' 57" E	2.19'
C20	009° 47' 28"	55.54'	325.00'	N 83° 14' 17" E	55.47'
C21	002° 34' 45"	14.63'	325.00'	N 89° 25' 23" E	14.63'
C22	011° 10' 45"	53.66'	275.00'	S 85° 07' 24" W	53.57'
C23	001° 34' 41"	7.57'	275.00'	S 78° 44' 41" W	7.57'
C24	001° 17' 28"	7.32'	325.00'	S 78° 36' 04" W	7.32'
C25	009° 46' 20"	55.43'	325.00'	S 84° 07' 58" W	55.36'
C26	001° 48' 43"	10.28'	325.00'	S 89° 55' 30" W	10.28'
C27	012° 52' 31"	67.41'	300.00'	N 84° 23' 36" E	67.27'
C28	012° 45' 26"	66.80'	300.00'	N 84° 20' 03" E	66.66'
C29	060° 37' 31"	29.63'	28.00'	S 58° 51' 23" E	28.28'
C30	036° 19' 49"	31.60'	49.83'	S 44° 57' 06" E	31.07'
C31	058° 20' 22"	56.00'	55.00'	N 89° 28' 15" E	53.61'
C32	029° 38' 36"	28.46'	55.00'	N 45° 28' 46" E	28.14'
C33	032° 47' 15"	31.47'	55.00'	N 14° 15' 51" E	31.05'
C34	031° 28' 43"	30.22'	55.00'	N 17° 52' 09" W	29.84'

CURVE TABLE

CURVE #	Δ	ARC LENGTH	RADIUS	DIRECTION	DISTANCE
C35	027° 24' 23"	26.31'	55.00'	N 47° 18' 42" W	26.06'
C36	046° 17' 46"	44.44'	55.00'	N 84° 09' 46" W	43.24'
C37	022° 03' 20"	19.21'	49.90'	S 62° 41' 39" W	19.09'
C38	038° 07' 55"	18.63'	28.00'	S 71° 45' 54" W	18.29'

LINE TABLE

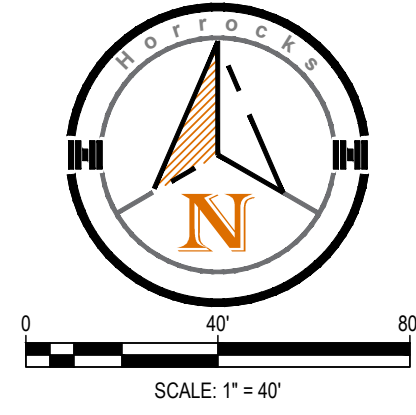
LINE #	DISTANCE	DIRECTION
L1	19.81'	S 89° 19' 01" E
L2	11.89'	S 86° 25' 57" E
L3	28.68'	S 74° 52' 47" E
L4	30.56'	S 67° 31' 21" E
L5	28.01'	S 59° 20' 29" E
L6	22.11'	S 56° 07' 33" E
L7	25.24'	S 54° 29' 42" E
L8	65.38'	S 51° 43' 50" E
L9	18.61'	S 50° 53' 16" E
L10	30.70'	S 00° 51' 30" W
L11	34.32'	S 52° 19' 29" E
L12	27.28'	S 54° 17' 55" E
L13	30.79'	S 58° 43' 32" E
L14	10.57'	S 66° 35' 42" E
L15	11.09'	S 00° 38' 22" W

JOPLIN RIM SUBDIVISION
ADA COUNTY, IDAHO
PRELIMINARY PLAT
OVERALL SITE AND SURVEY DATA AND LOT DIMENSIONS

PP1.0

PAGE 1 OF 4

PRELIMINARY PLAT FOR JOPLIN RIM SUBDIVISION



LEGEND

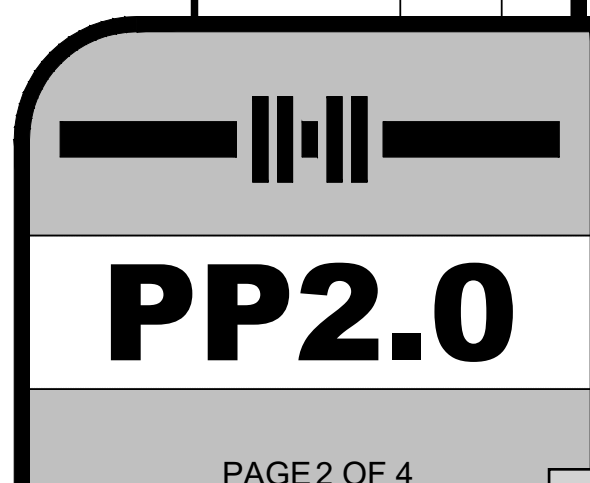
- BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- CROSS ACCESS & P.U.E.
- SIDEWALK EASEMENT
- PROPOSED WATER MAIN
- PROPOSED SEWER MAIN
- PROPOSED PRESSURE IRRIGATION MAIN
- PROPOSED STORM DRAIN MAIN
- ELECTRICAL LINE
- GAS LINE
- EDGE OF ASPHALT
- EXISTING SANITARY SEWER LINE
- ROAD CENTERLINE
- OVER HEAD POWER LINE
- TOP OF SLOPE
- TOE OF SLOPE
- OVER HEAD TELEPHONE LINE
- FLOW LINE
- WATER LINE
- FIBER OPTIC LINE
- TELEPHONE LINE
- 5' CONTOUR LINE
- 1' CONTOUR LINE
- EXISTING FENCE
- CLEANOUT
- SEWER MANHOLE
- POWER POLE
- TELEPHONE BOX
- BLOW-OFF
- DITCH FLOW ARROWS

HORROCKS ENGINEERS
 2775 West Navigator Dr., Suite 210
 Meridian, ID 83642
 (208) 895-2520
 www.horrocks.com

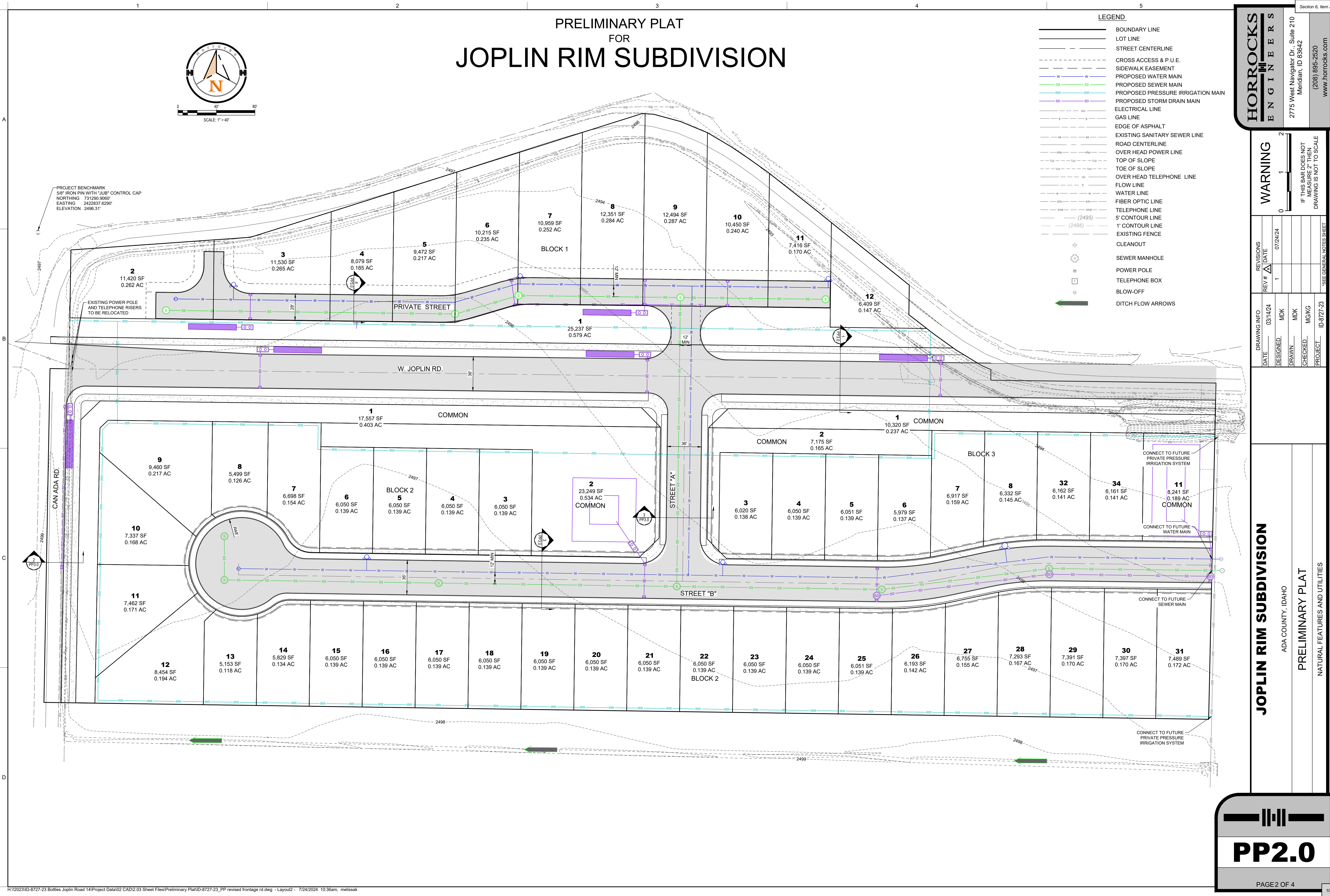
WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

DRAWING INFO		REVISIONS	
DATE	REV #	DATE	DESCRIPTION
03/14/24	1	07/24/24	
DESIGNED: MDK	DRAWN: MDK	CHECKED: MGBK	PROJECT: ID-8727-23

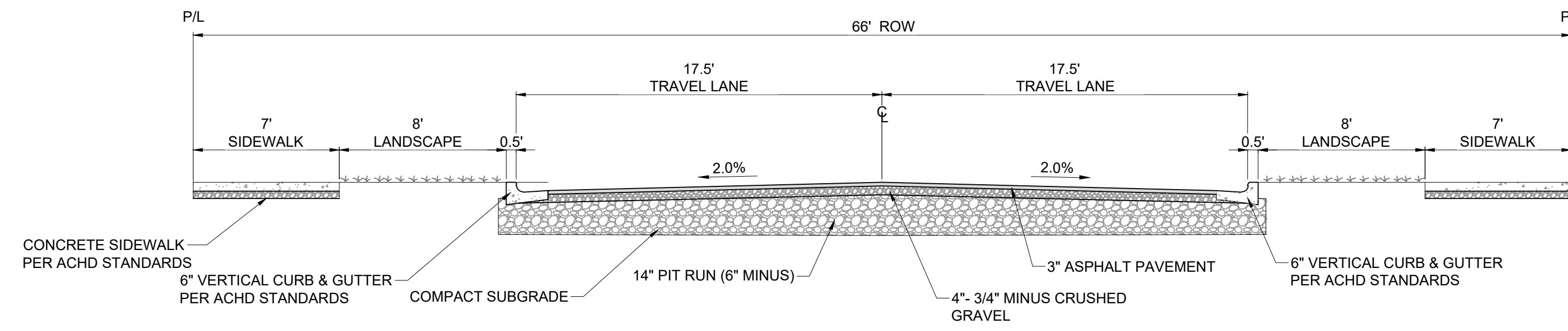
JOPLIN RIM SUBDIVISION
 ADA COUNTY, IDAHO
 PRELIMINARY PLAT
 NATURAL FEATURES AND UTILITIES



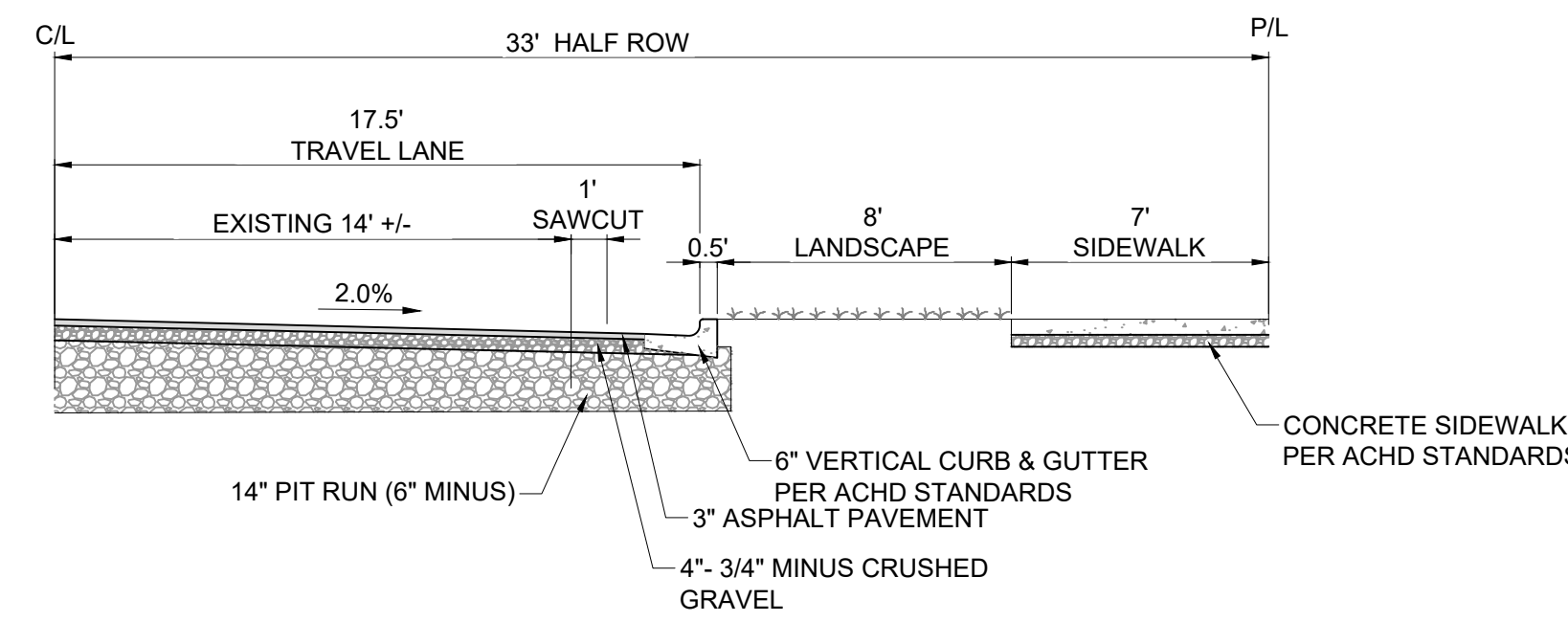
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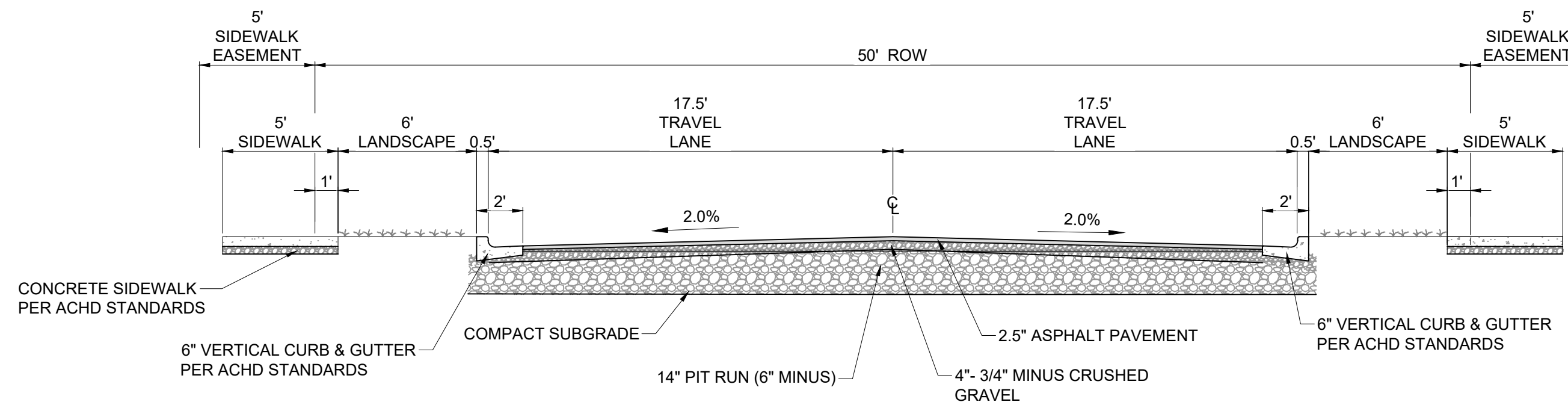
PRELIMINARY PLAT FOR JOPLIN RIM SUBDIVISION



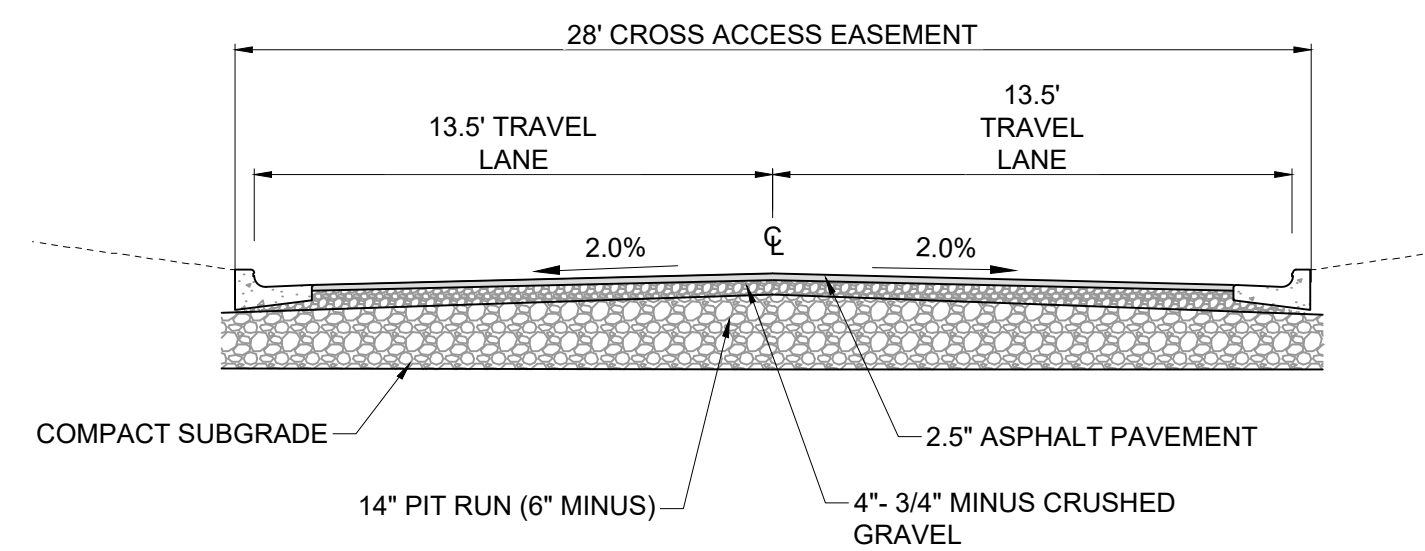
1 COLLECTOR ROAD - JOPLIN ROAD CROSS SECTION
PP3.0 SCALE: NTS



2 COLLECTOR ROAD - CAN-ADA ROAD CROSS SECTION
PP3.0 SCALE: NTS



3 LOCAL NEIGHBORHOOD STREET- CROSS SECTION
PP3.0 SCALE: NTS



4 PRIVATE STREET- CROSS SECTION
PP2.4 SCALE: NTS

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REVISIONS	REV #	DATE	DESIGNED	MDK	DRAWN	MDK	CHECKED	MGKG	PROJECT
	1	07/24/24							

*SEE GENERAL NOTES SHEET

JOPLIN RIM SUBDIVISION

ADA COUNTY, IDAHO

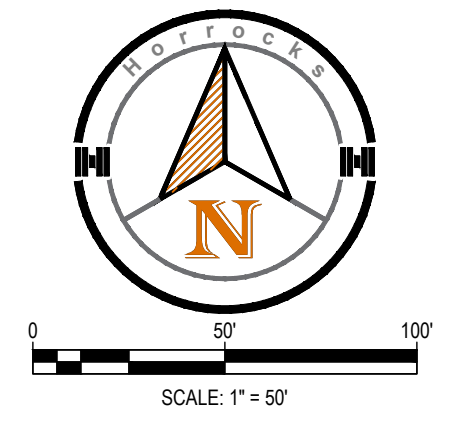
PRELIMINARY PLAT

TYPICAL STREET CROSS SECTION



PP3.0

PRELIMINARY PLAT FOR JOPLIN RIM SUBDIVISION



LEGEND
 ANTICIPATED FLOW DIRECTION



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REVISIONS	DATE
REV #	DATE
1	07/24/24
DRAWING INFO	DATE
DESIGNED	03/14/24
MDK	
DRAWN	MDK
CHECKED	MDK
PROJECT	MGNG
	ID-8727-23

JOPLIN RIM SUBDIVISION
 ADA COUNTY, IDAHO
PRELIMINARY PLAT
 PRELIMINARY GRADING AND DRAINAGE PLAN

PP4.0



(208) 345-0500
 404 S 8th St. #300A1
 Boise, ID 83702
 StackRockGroup.com

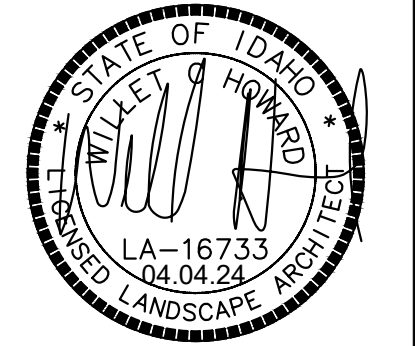
WILLET C HOWARD, PLA
 OFFICE: (208) 345.0500 EMAIL:
 WILLET@STACKROCKGROUP.COM
 WWW.STACKROCKGROUP.COM

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Seals PRELIMINARY



NOT FOR CONSTRUCTION

BOTTLES JOPLIN SUBDIVISION

LOCATION: STAR, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO:	24-2926
DATE:	04.04.2024
DRAWN BY:	DW
CHECKED BY:	JB

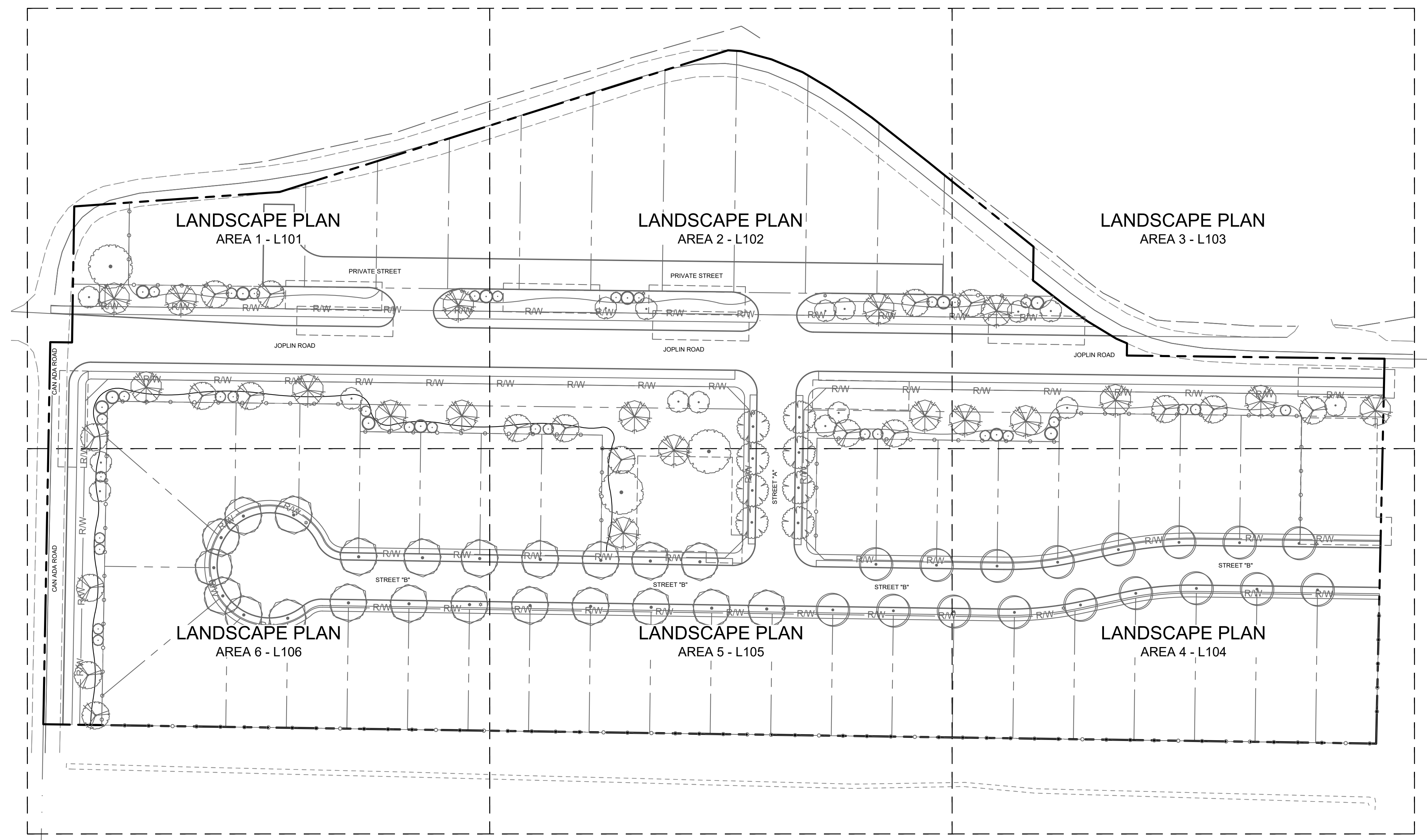
DRAWING TITLE

LANDSCAPE PLAN - OVERALL

SHEET NUMBER

L100

LANDSCAPE PLAN - OVERALL:



LANDSCAPE NOTES:

- REGULATIONS & STANDARDS**
 - All contractor work shall be conducted in accordance with ISRWG (Idaho Standard Public Works Construction), 2020 (or most recent published); and City of Star, ID codes, standards and state and local regulations.
- EXISTING CONDITIONS**
 - All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - See Engineer's plans for information about existing features.
 - Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
- GRADING & SITE PREPARATION**
 - Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - All gravel overprep to be removed and disposed of off site. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - No pooling or standing water will be accepted per industry standards.
- SOILS**
 - Lawn areas shall receive 12" min depth of screened topsoil.
 - All planter beds shall receive 18" min depth of screened topsoil.
 - Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - Topsoil shall have a pH of 6.5 to 8.0.
 - If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
 - Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
 - Amend all new plantings with 2 parts topsoil, 1 part compost.
- LAWN AREAS**
 - All lawn areas shall be sodded with tall turf type fescue.
 - Sod shall be regionally harvested, laid within 24 hours of harvesting, and laid with tight fitting joints.
- PLANTER BED MULCH**
 - All planter beds to receive 3" depth of permbark rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
- PLANTS**
 - All plant material shall be installed per industry standards.
 - All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
 - Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
- IRRIGATION**
 - Irrigation system shall be built to the following specifications:
 - Adhere to city codes when connecting to city water.
 - All irrigation material to be new with manufacturers' warranty fully intact.
 - Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - All remote control valves (including master control valve) to have flow control device.
 - Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, 22, 11.
 - Use common trenching where possible.
 - All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - Connect mainline to point of connection in approximate location shown on plan.
 - Contractor is responsible complying with all codes and paying all permits necessary.
 - Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
 - All drip irrigation to be buried 2" below finished grade.
 - Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
 - Install all irrigation per irrigation drawings, utilize material specified or approved equal.
 - Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 90 psi. If any discrepancies are found, then local codes shall prevail.
 - CONTRACTOR RESPONSIBILITIES**
 - Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by owner's representative.
 - In the event of a discrepancy, notify the Landscape Architect immediately.

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER STAR, ID

STREET BUFFER:

- MINIMUM 20' WIDE BUFFER AREA WITH (2) SHADE TREES AND (2) EVERGREEN TREES PER 100 LINEAR FEET.
- MINIMUM 5' HEIGHT BUFFER OF A BERM, WALL OR FENCE ALONG LENGTH OF BUFFER.

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
CAN ADA ROAD	310'	6 DECID / 6 EVGRN	6 / 6
JOPLIN ROAD (NORTH)	814' (MINUS CURB CUTS)	16 DECID / 16 EVGRN	16 / 16
JOPLIN ROAD (SOUTH)	1,099' (MINUS CURB CUTS)	22 DECID / 22 EVGRN	22 / 22

PARKWAY STRIP REQUIREMENTS:

- (1) TREE PER 35 LINEAL FEET.
- 20' ASSUMED FOR DRIVEWAY WIDTHS ALONG STREET, SUBTRACTED FROM STREET LENGTH TOTAL.
- ROOT BARRIER REQUIRED FOR ALL NEW TREES ADJACENT TO SIDEWALKS IN PARKWAY STRIPS UNDER 8' WIDE.

STREET NAME	LENGTH (LF)	TREES REQUIRED	TREES PROVIDED
STREET "A" (WEST)	138'	4	4
STREET "A" (EAST)	138'	4	4
STREET "B" (NORTH)	708' (MINUS CURB CUTS)	20	20
STREET "B" (SOUTH)	667' (MINUS CURB CUTS)	19	19

COMMON LOTS:

- MINIMUM (1) SHADE TREE PER 4,000 SQ.FT.

COMMON LOT	AREA (SQ.FT)	TREES REQUIRED	TREES PROVIDED
BLOCK 1, LOT 2	3,649 SQ.FT.	1	1
BLOCK 2, LOT 2	23,249 SQ.FT.	6	6
BLOCK 3, LOT 2	7,175 SQ.FT.	2	2
BLOCK 3, LOT 11	8,241 SQ.FT.	2	2**

** ADDITIONAL TREES PROVIDED JUST OUTSIDE OF LOT LINE IN STREET BUFFER LOT DUE TO STORM DRAIN BASIN CLEARANCES IN LOT 11.

BIODIVERSITY REQUIREMENTS:

- 11-20: 2 SPECIES REQ, 21-30: 3 SPECIES REQ, 31-40: 4 SPECIES REQ, 41+: 5 SPECIES REQ.

TOTAL TREES ON SITE	NUMBER OF SPECIES REQUIRED	NUMBER OF SPECIES PROVIDED
146	5	9

MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
EVERGREEN TREES:	8" Ø HT. MIN. B&B
TREES:	2" CALIPER MIN. B&B
SHADE TREES:	2" CALIPER MIN.
WOODY SHRUBS:	2 GAL. MIN.



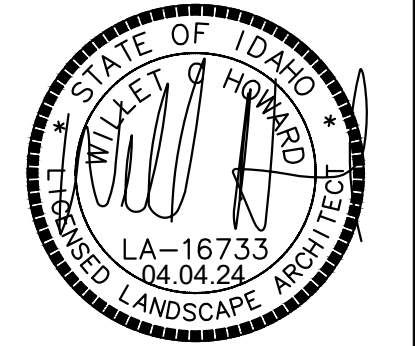
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LOCATION: STAR, ID

MRK	DATE	Description
△	**	**

JOB NO: 24-2926
 DATE: 04.04.2024
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DRAWING TITLE

LANDSCAPE PLAN - AREA 1

SHEET NUMBER

L101

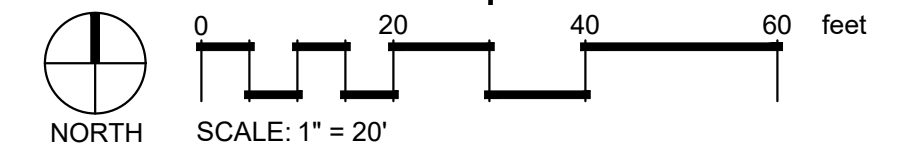
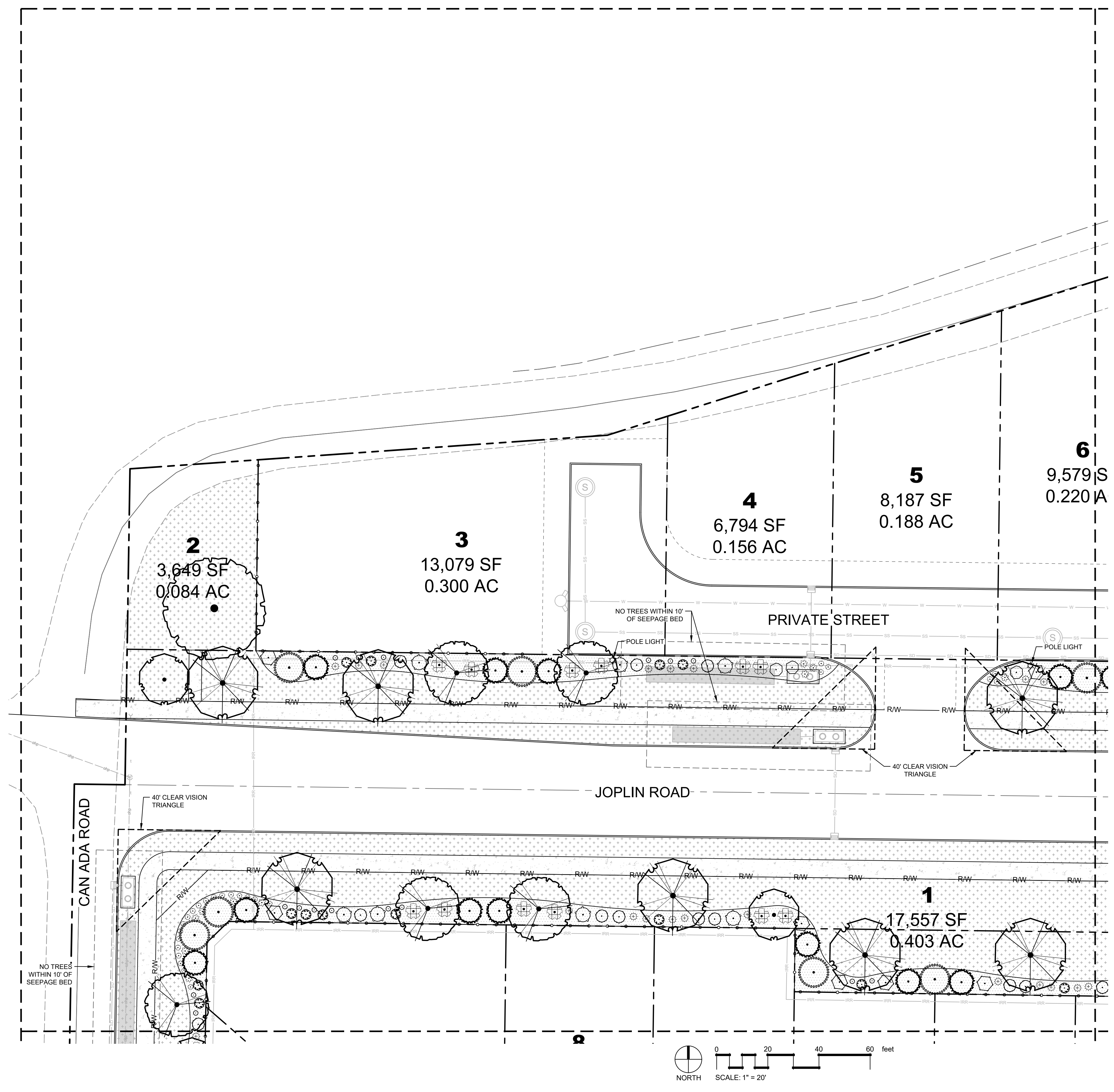
PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45'h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35'h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30'h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7' H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7' H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h X 35-50' w	B & B	3"Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5'h x 3' w	2 gal			69
	Cerasium tomentosum / Snow In Summer 6'h x 24" w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30'h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPM5' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4'h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3'h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7'h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' H X 2' W	2 gal			51

LANDSCAPE MATERIALS LEGEND:

LANDSCAPE MULCH - SEE NOTE 6/L100

SOD LAWN - SEE NOTE 5/L100

6" VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150





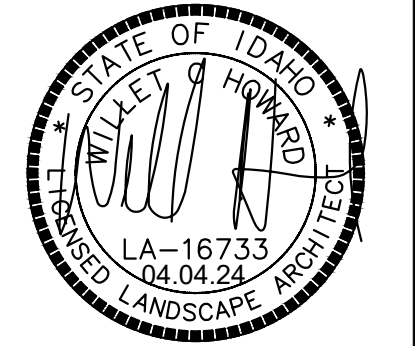
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 DATE: 04.04.2024
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DRAWING TITLE

LANDSCAPE PLAN - AREA 2

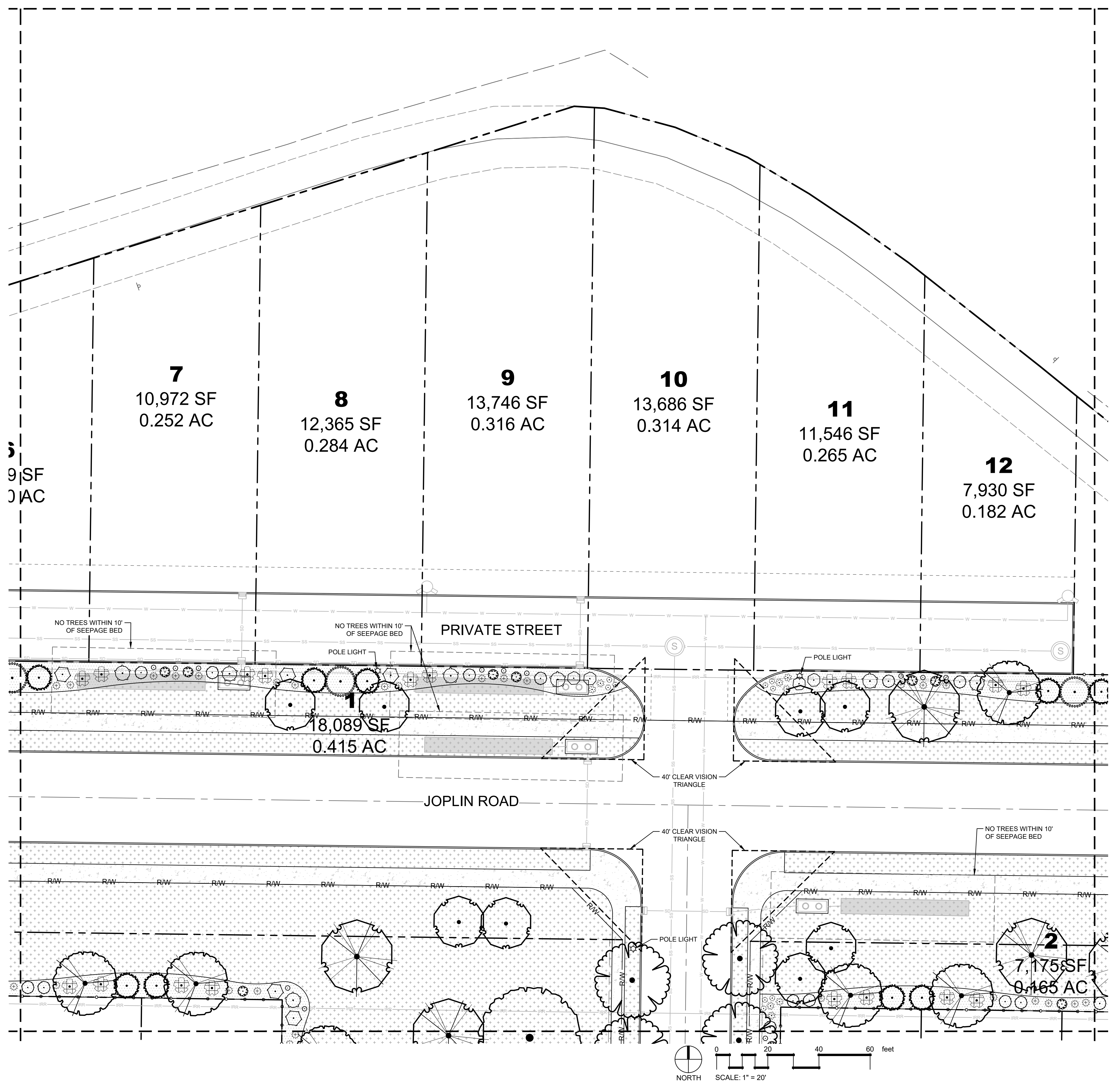
SHEET NUMBER

L102

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45' h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35' h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30' h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7" H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7" H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h x 35-50' w	B & B	3" Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5' h x 3' w	2 gal			69
	Cerastium tomentosum / Snow In Summer 6' h x 24' w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30' h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPMS' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4' h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3' h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7' h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' h x 2' w	2 gal			51

LANDSCAPE MATERIALS LEGEND:

	LANDSCAPE MULCH - SEE NOTE 6/L100
	SOD LAWN - SEE NOTE 5/L100
	6" VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150



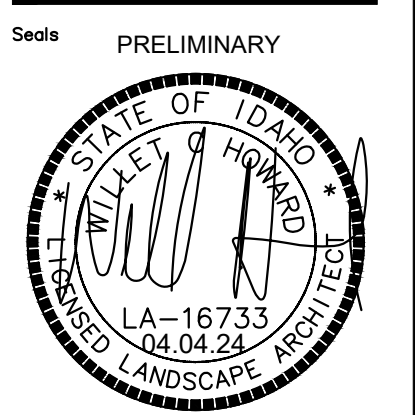


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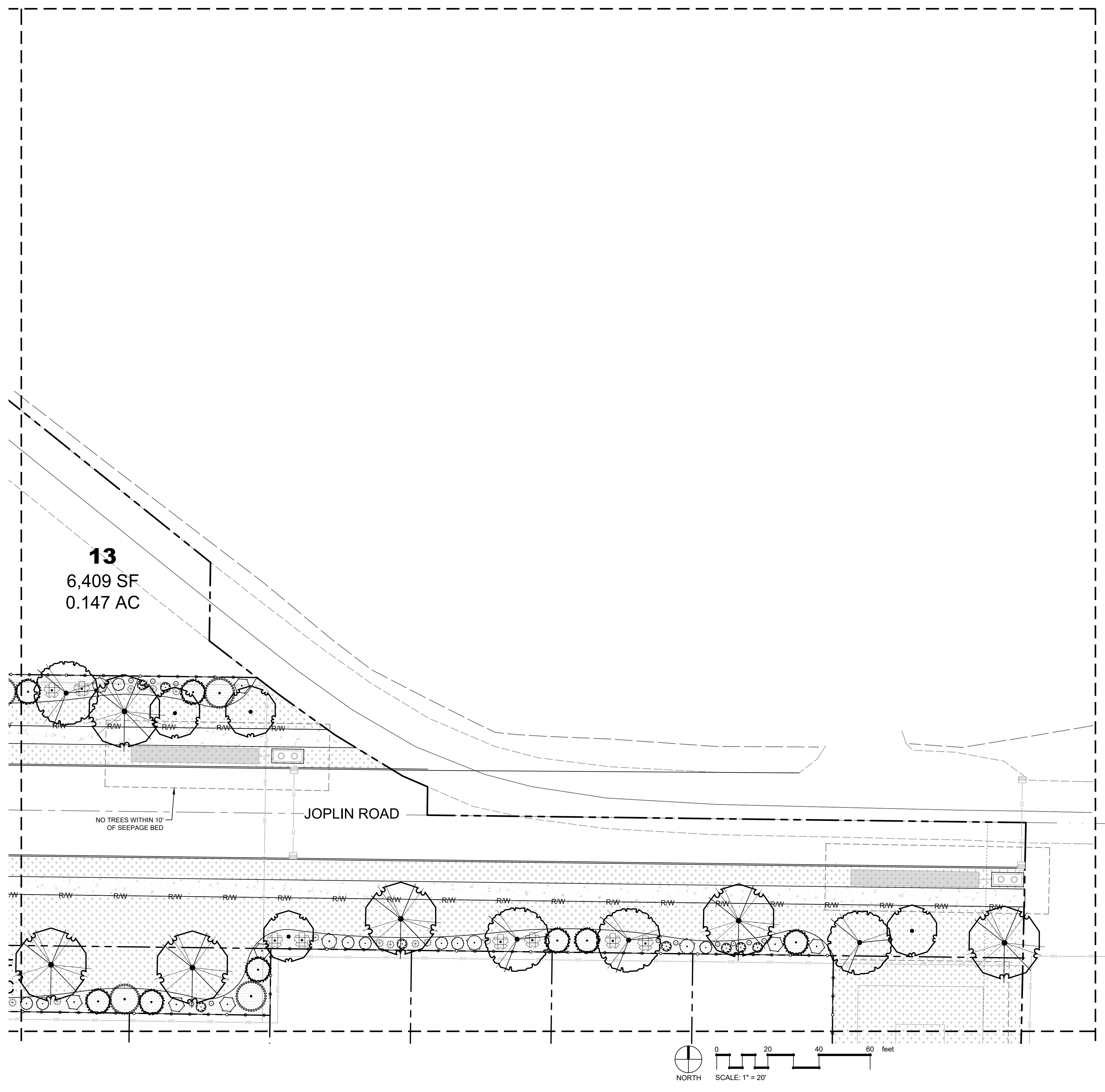
LANDSCAPE PLAN - AREA 3

SHEET NUMBER
L103

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45' h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35' h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30' h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7' H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7' H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h X 35-50' w	B & B	3"Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5' h x 3' w	2 gal			69
	Cerasium tomentosum / Snow In Summer 6' h x 24" w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30" h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPMS' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4' h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3' h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7' h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' H X 2' W	2 gal			51

LANDSCAPE MATERIALS LEGEND:

	LANDSCAPE MULCH - SEE NOTE 6/L100
	SOD LAWN - SEE NOTE 5/L100
	6" VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150



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LANDSCAPE PLAN - AREA 4

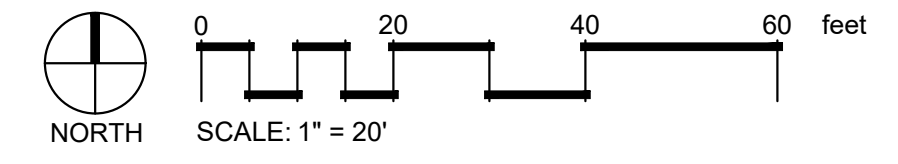
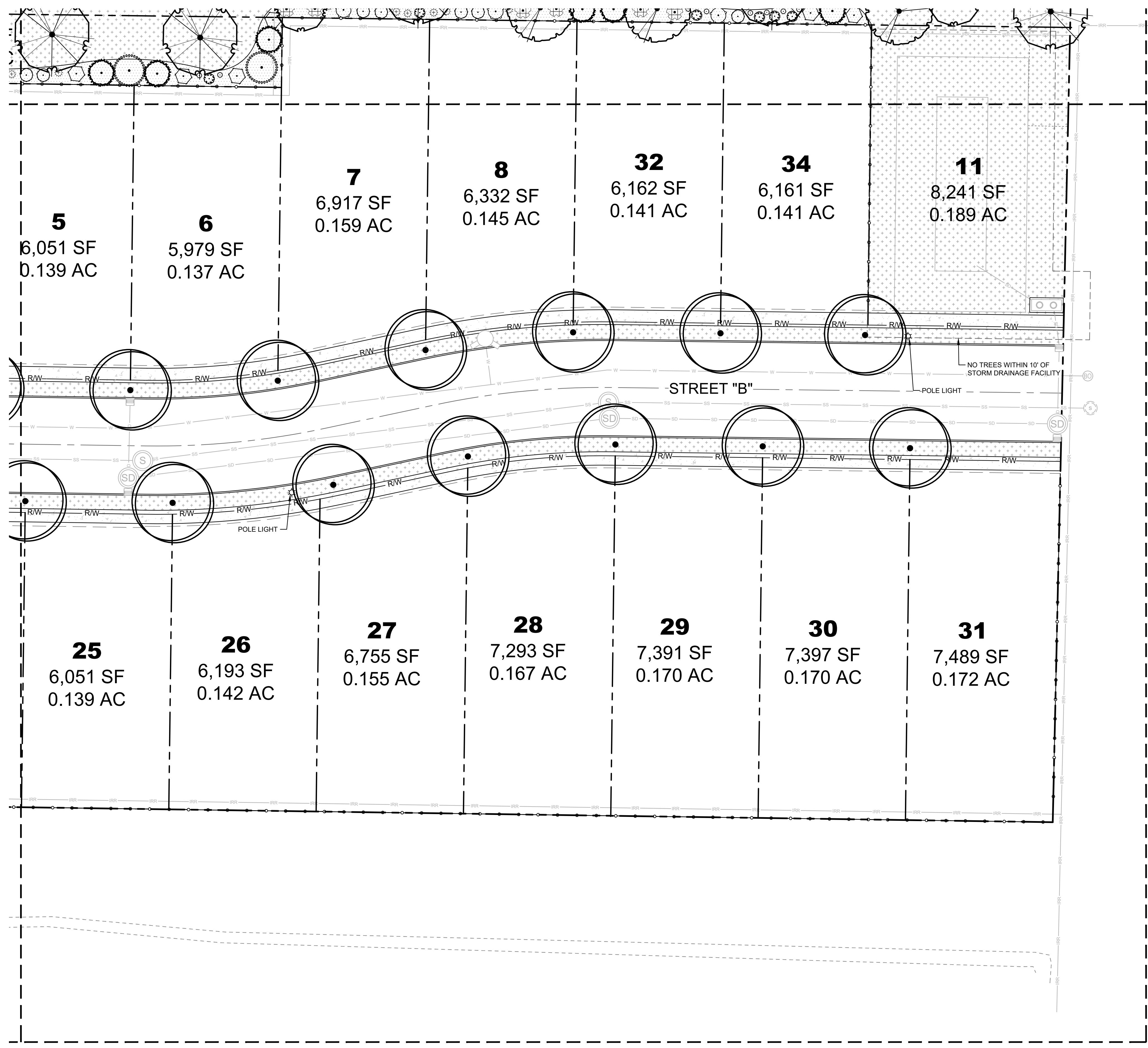
SHEET NUMBER

L104

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45'h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35'h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30'h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7' H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7' H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h x 35-50' w	B & B	3"Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5' h x 3' w	2 gal			69
	Cerasium tomentosum / Snow In Summer 6' h x 24' w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30' h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPM5' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4' h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3' h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7' h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' h x 2' w	2 gal			51

LANDSCAPE MATERIALS LEGEND:

	LANDSCAPE MULCH - SEE NOTE 6/L100
	SOD LAWN - SEE NOTE 5/L100
	6' VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150



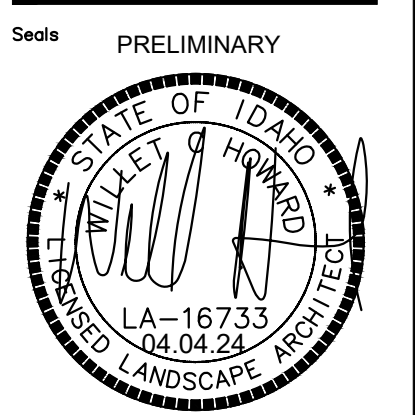


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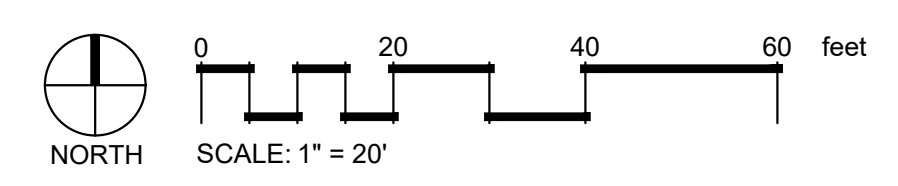
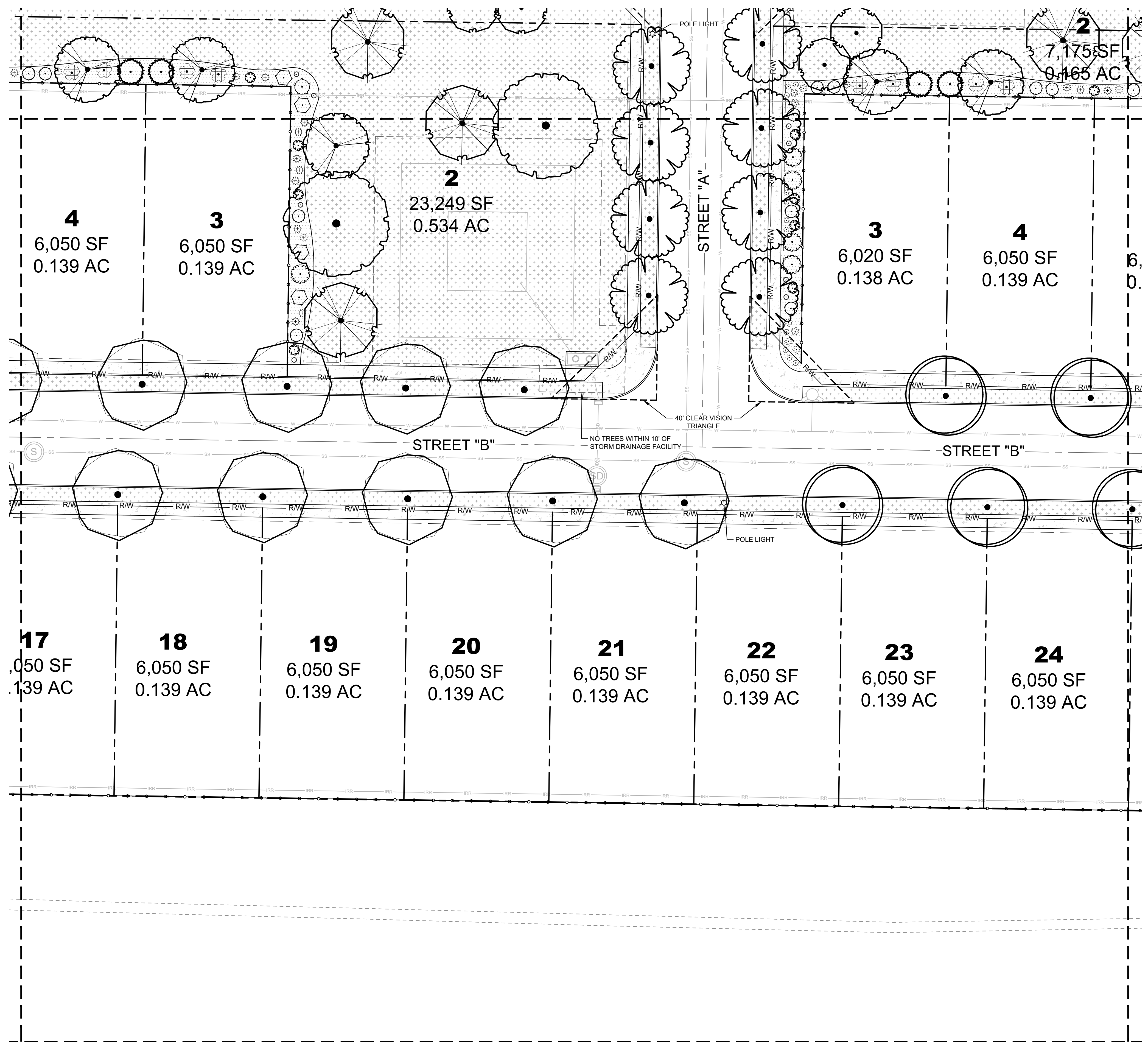
DRAWING TITLE
LANDSCAPE PLAN - AREA 5

SHEET NUMBER
L105

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45'h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35'h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30'h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7' H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7' H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h X 35-50' w	B & B	3"Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5' h x 3' w	2 gal			69
	Cerasium tomentosum / Snow In Summer 6'h x 24" w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30" h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPMS' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4'h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3'h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7'h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' h X 2' W	2 gal			51

LANDSCAPE MATERIALS LEGEND:

- LANDSCAPE MULCH - SEE NOTE 6/L100
- SOD LAWN - SEE NOTE 5/L100
- 6" VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150





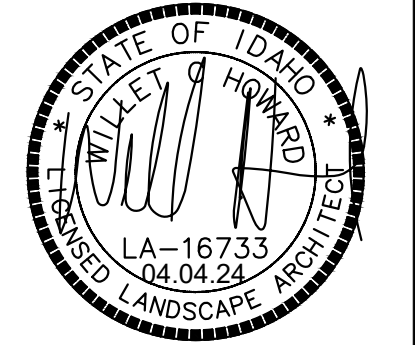
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CHECKED BY:	JB

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LANDSCAPE PLAN - AREA 6

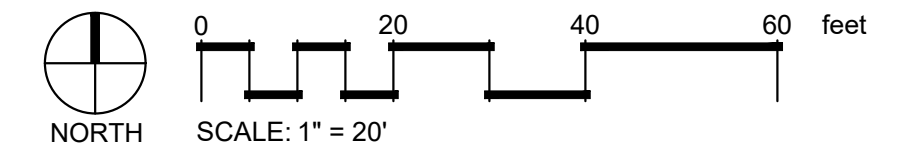
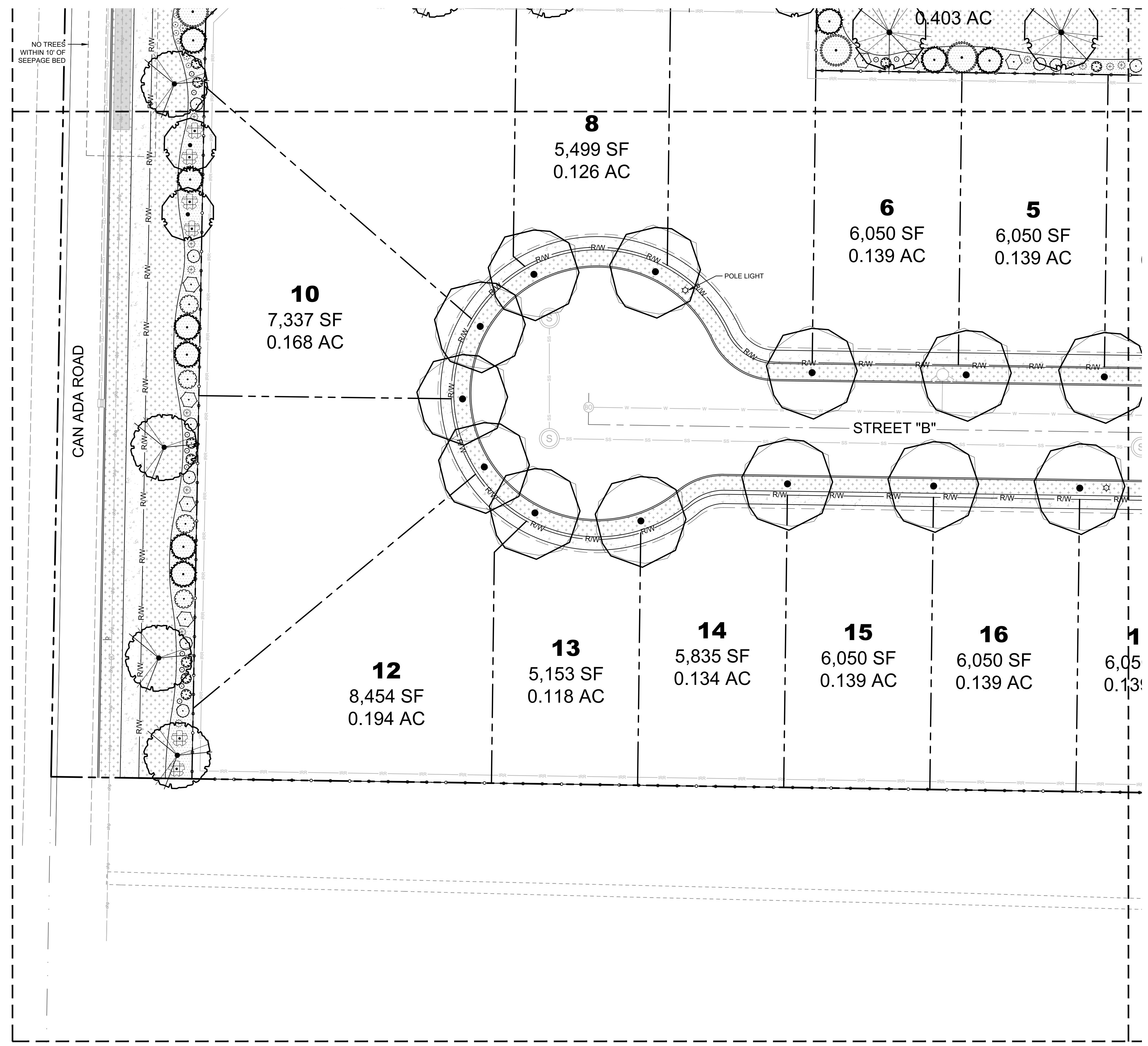
SHEET NUMBER

L106

PLANT SCHEDULE					
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer platanoides 'Columnar Broad' / Parkway Maple 45'h x 25' w Class II	B & B	1.5"		16
	Acer platanoides 'Crimson King' / Crimson King Norway Maple 35'h x 30' w	B & B	2"		18
	Celtis occidentalis 'Prairie Pride' / Prairie Pride Hackberry 40' h x 50' w Class II	B & B	2"		22
	Cladrastis kentukea 'Perkins Pink' / Perkins Pink Yellowwood 30'h x 30' w, Class II	B & B	2"		8
	Picea omorika 'Bruns' / Bruns Spruce 30' h x 10' w	B&B		6'-7' H	32
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine 25' h x 12' w	B & B		6'-7' H	12
	Platanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree 50-70' h X 35-50' w	B & B	3"Cal		3
	Tilia americana 'Boulevard' / Boulevard American Linden 50' h x 25' w Class II	B & B	2"		18
	Tilia americana 'Redmond' / Redmond American Linden 50' h x 30' w Class II	B & B	2"		17
SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY
SHRUBS					
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5' h x 3' w	2 gal			69
	Cerastium tomentosum / Snow In Summer 6'h x 24" w	1 gal			31
	Juniperus squamata 'Blue Star' / Blue Star Juniper 30" h x 4' w	2 gal			7
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender 2-3' h x 2-3' w	2 gal			11
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass 3' h x 3' w	1 gal			22
	Philadelphus x virginialis / Mock Orange 7' h x 6' w	5 gal			25
	Physocarpus opulifolius 'SMNPMS' TM / Summer Wine Black Ninebark	5 gal			18
	Pinus mugo 'Mops' / Mops Mugo Pine 4'h x 4' w	2 gal			41
	Potentilla fruticosa 'Goldfinger' / Goldfinger Bush Cinquefoil 3'h x 4' w	3 gal			41
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' h x 6' w	5 gal			44
	Sambucus nigra 'Eva' TM / Black Lace Elderberry 7'h x 7' w	5 gal			9
	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem Grass 2-4' H X 2' W	2 gal			51

LANDSCAPE MATERIALS LEGEND:

- LANDSCAPE MULCH - SEE NOTE 6/L100
- SOD LAWN - SEE NOTE 5/L100
- 6" VINYL PRIVACY FENCE, SAND COLOR SEE DETAIL 4/L150



H
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B
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LANDSCAPE ARCHITECTURE & MASTER PLANNING

(208) 345-0500
404 S 8th St. #300A1
Boise, ID 83702
StackRockGroup.com

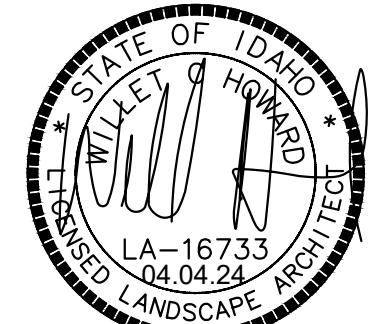
WILLET C HOWARD, PLA
OFFICE: (208) 345.0500 EMAIL:
WILLET@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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Seals PRELIMINARY



NOT FOR CONSTRUCTION

BOTTLES JOPLIN SUBDIVISION

LOCATION: STAR, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 24-2926
DATE: 04.04.2024
DRAWN BY: DW
CHECKED BY: JB

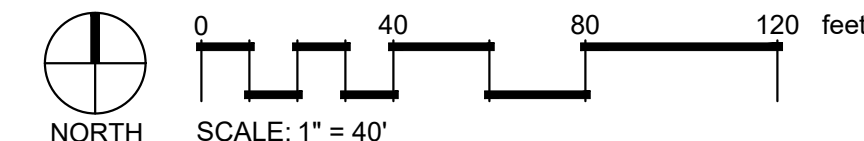
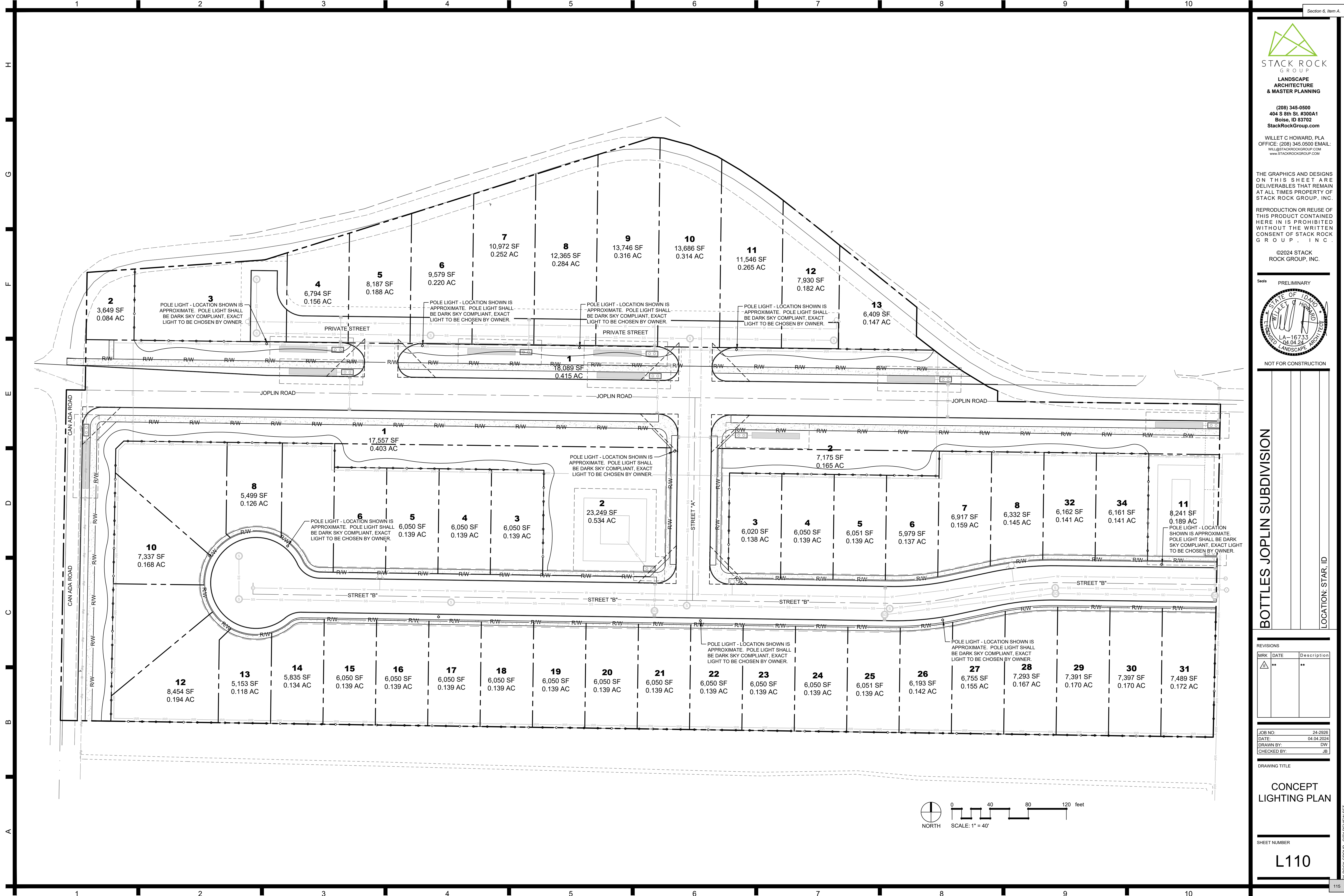
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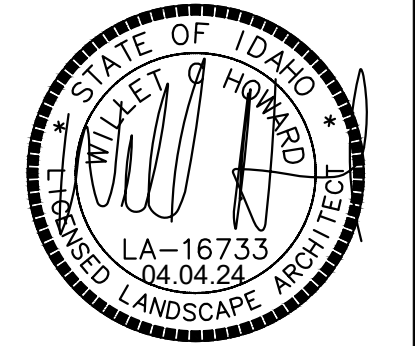
CONCEPT LIGHTING PLAN

SHEET NUMBER

L110

STACK ROCK GROUP - CITY REVIEW SET





BOTTLES JOPLIN SUBDIVISION

LOCATION: STAR, ID

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO:	24-2926
DATE:	04.04.2024
DRAWN BY:	DW
CHECKED BY:	JB

DRAWING TITLE

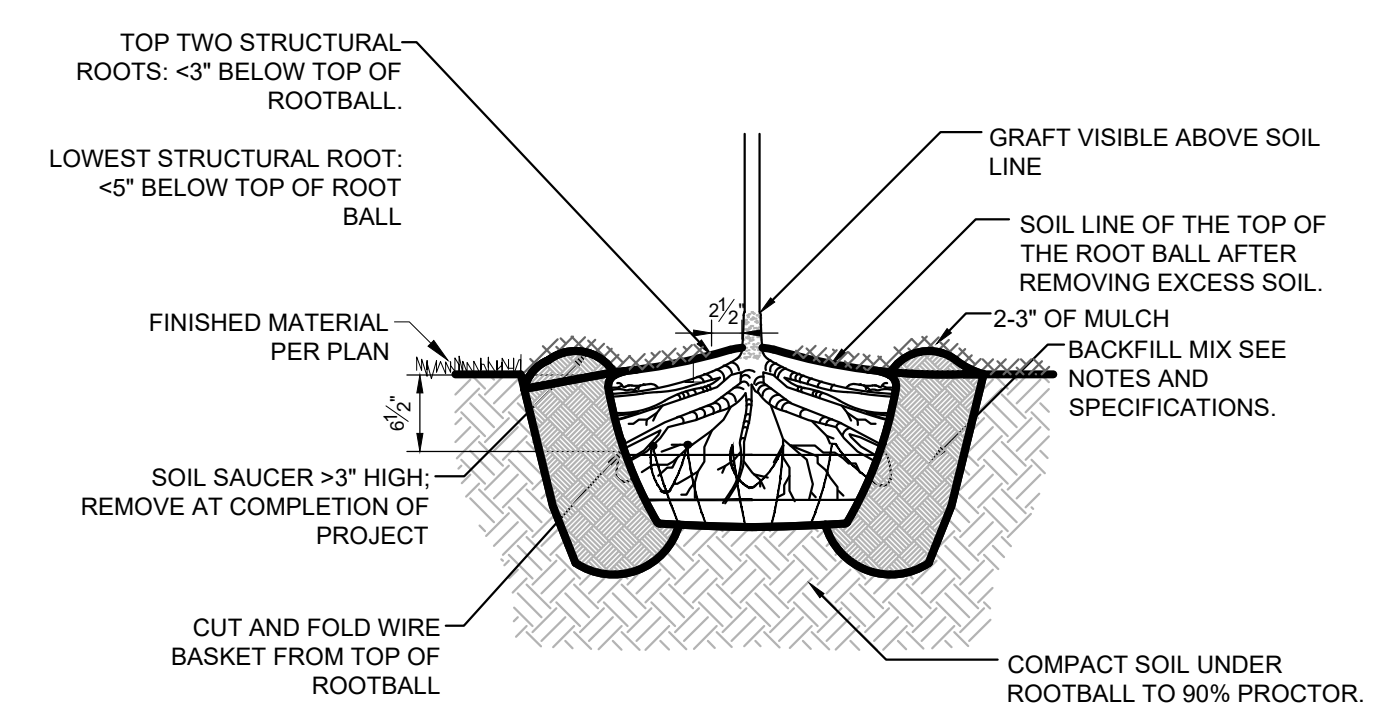
LANDSCAPE DETAILS

SHEET NUMBER

L150

NOTES:

- DO NOT DAMAGE OR CUT LEADER
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
- TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
- REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
- 4" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



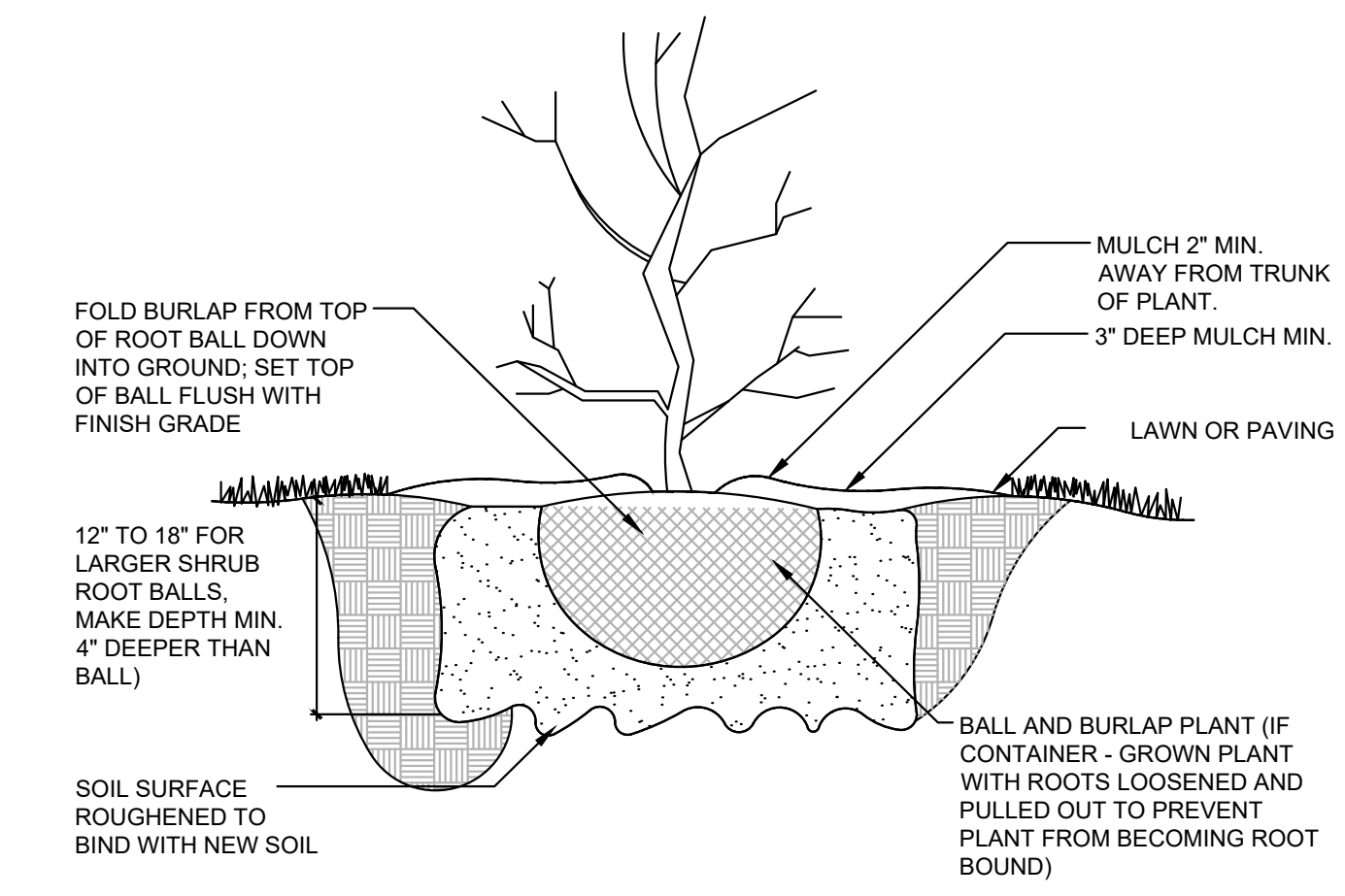
1 BALL AND BURLAP TREE PLANTING

3/4" = 1'-0"

NOTE:

REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



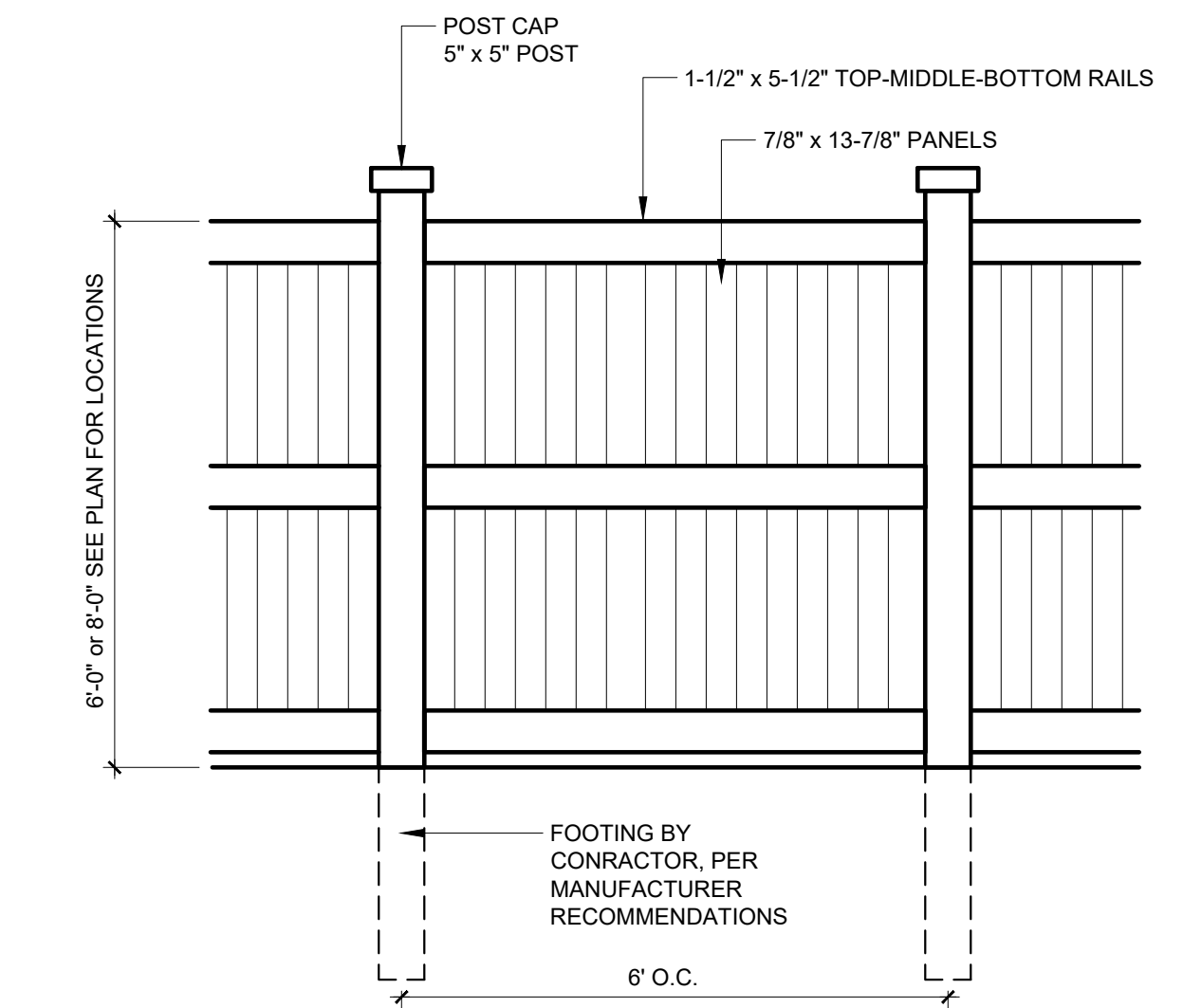
2 SHRUB PLANTING

1" = 1'-0"

329333.16-01

NOTES:

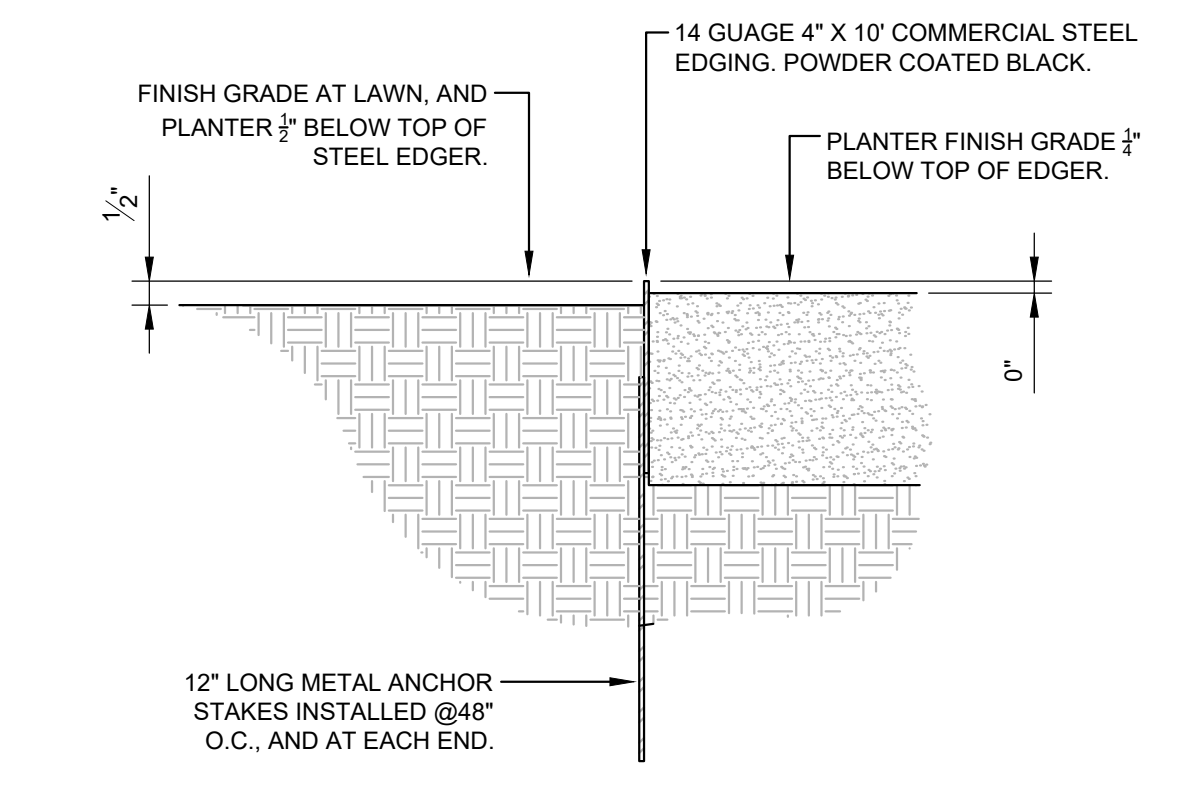
*VINYL FENCE STYLE MAY VARY SLIGHTLY
*LOCATE FENCE ON COMMON LOT SIDE OF P/L



4 6'-8" VINYL FENCE

1/2" = 1'-0"

323123-04



3 STEEL LANDSCAPE EDGING

3" = 1'-0"

329413.23-02



Project/File: **Joplin Rim/SPP24-0001/AZ-24-04/DA-24-04/PP-24-01**
 This is an annexation with rezone from RUT (Rural-Urban Transition) to R-4 (Single-Family Residential) and a preliminary plat application to allow for the development of a 56-lot subdivision consisting of 49 single-family lots and 7 common lots on 14 acres. This application also includes a development agreement with the City of Star.

Lead Agency: City of Star

Site address: SE Corner of Joplin Road and Can Ada Road

Staff Approval: June 14, 2024

Applicant: Emily Mueller
 Idaho Holdings, LLC
 839 S Bridgeway Place
 Eagle, ID 83613

Representative: Ryan Cutler
 Horrocks Engineers
 2775 W Navigator Dr., Suite 210
 Meridian, ID 83642

Staff Contact: Dawn Battles, Senior Planner
 Matt Pak, Planner
 Phone: 387-6218 & 387-6171
 E-mail: dbattles@achdidaho.org
mpak@achdidaho.org

Report Summary:

- ACHD Planned Improvements – pg 2
1. Conditions of Area Roadways – pg 2
 - A. Site Specific Conditions of Approval – pg 3-4
 - o Vicinity Map – pg 5
 - B. Site Plan – pg 6
 - C. Findings – pg 7-10
 - D. Policies – pg 10-15
 - E. Standard Conditions of Approval – pg 15-16
 - F. Appeal Guidelines – pg 17

ACHD Planned Improvements

1. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):

- Star Road is listed in the CIP to be widened to 5-lanes from Chinden Boulevard (US 20/26) to State Street (SH 44) between 2031 and 2035.
- The intersection of Chinden Boulevard (US 20/26) and Star Road is listed in the CIP to be widened to 5-lanes on the north leg, 5-lanes on the south, 7-lanes east, and 7-lanes on the west leg, and signalized between 2031 and 2035.

2. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Joplin Road	1,263-feet	Collector	13	Better than "D"
Can Ada Road	463-feet	Collector	N/A	N/A

* Acceptable level of service for a two-lane collector is "D" (425 VPH).

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Joplin Road west of Star Road was 339 on January 12, 2023.
- There are no current traffic counts for Can Ada Road

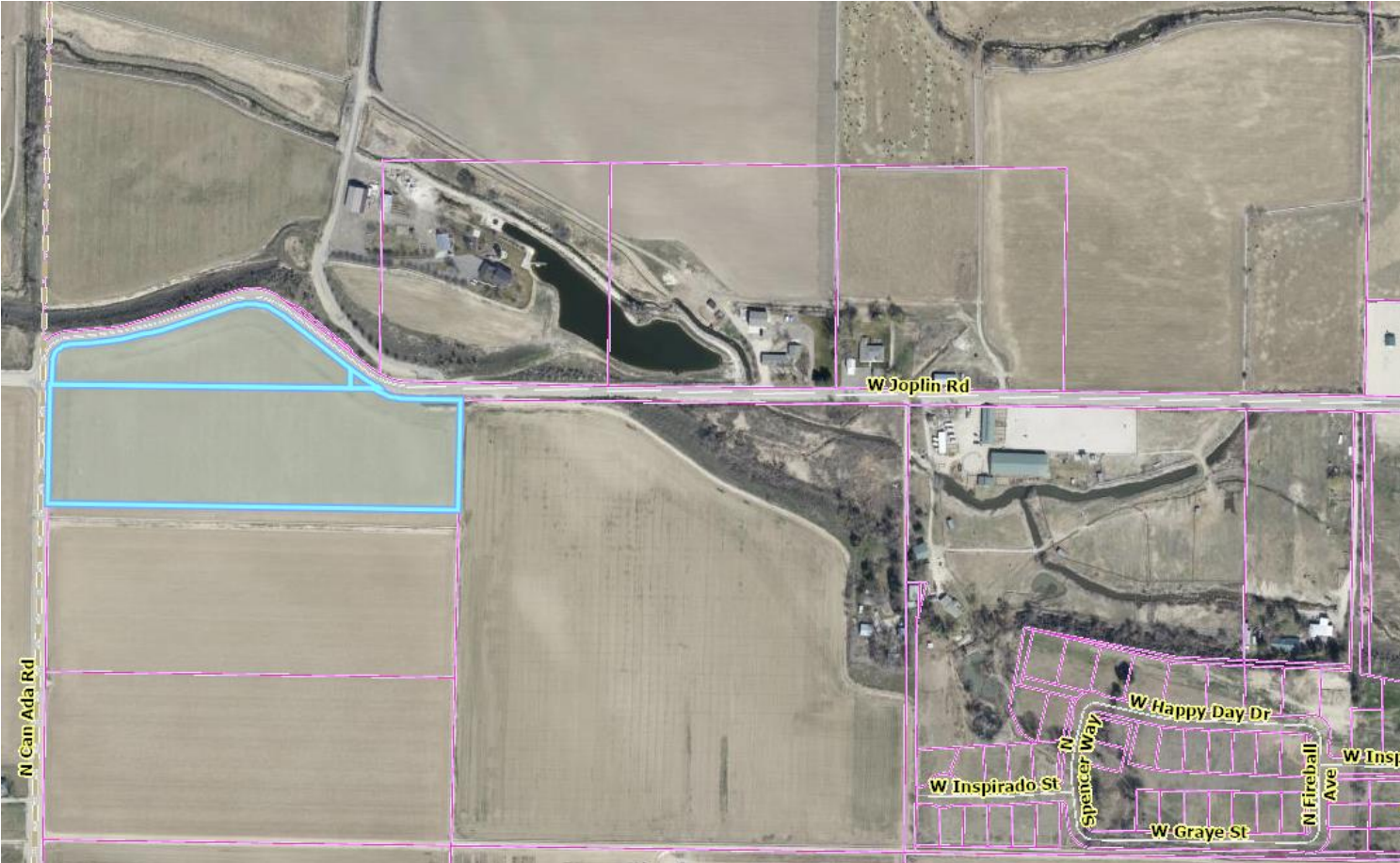
A. Site Specific Conditions of Approval

1. Apply to vacate/exchange the existing right-of-way for Joplin Road. A right-of-way vacation is a separate application with its own public hearing process. The vacation/exchange shall be completed prior to plan approval.
2. If Joplin Road is not vacated abutting the site's north property line then construct Joplin Road as ½ of a 36-foot wide collector street section with vertical curb, gutter and concrete sidewalk (7-foot wide attached or 5-foot wide detached) abutting the site.
3. If existing Joplin Road is vacated, then construct the realigned Joplin Road as a 36-foot wide collector street section with vertical curb, gutter, an 8-foot wide landscape strip and 5-foot wide detached concrete sidewalk.
4. Construct Can Ada Road as ½ of a 36-foot wide collector street section with vertical curb, gutter, an 8-foot wide planter strip and 5-foot wide detached concrete sidewalk abutting the site.
5. As an alternative to on-street bike lanes and standard sidewalks, 10-foot wide multi-use pathways may be constructed on Joplin Road and Can Ada Road. An 8-foot wide planter strip is required for use of multi-use pathways.
6. Dedicate right-of-way to 2-feet behind back of pedestrian facilities, or for detached pedestrian facilities, the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of the pedestrian facilities.
7. Construct Street A and Street B, as 36-foot wide street sections with curb, gutter, a 6-foot wide planter strip and 5-foot wide detached concrete sidewalk. Provide an 8-foot wide planter strip if street trees are desired.
8. Dedicate right-of-way to 2-feet behind back of sidewalk, or for detached sidewalk, reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement to extend from the right-of-way line to 2-feet behind back of sidewalk.
9. If existing Joplin Road is vacation , then construct Joplin Road to intersect Can Ada Road in alignment with Joplin Road on the west side of Can Ada Road across from the site.
10. Construct a local street, Street A, to intersect the realigned Joplin Road located 664-feet east of Can Ada Road, as proposed.
11. Construct a local street, Street B, to stub to the site's east property line located 188-feet south of Joplin Road and in alignment with the approved stub street, Sawyer Kaye Drive, to the site's east property line.
12. If Sawyer Kaye Drive is not constructed to the site's east property line, then construct a temporary cul-de-sac turnaround at the terminus of the stub street, Street A, as it extends greater than 150-feet in length. The temporary cul-de-sac turnaround should be paved with a minimum 50-foot turning radius. If the temporary turnaround extends onto a buildable lot, the entire lot shall be encumbered by an easement and identified on the plat as a non-buildable lot until the street is extended. Install a sign at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
13. Construct one 30-foot wide curb return type driveway onto the proposed realigned Joplin Road located a minimum of 150-feet east of Can Ada Road.
14. If the applicant chooses to construct the driveway onto the proposed realigned Joplin Road located 663-feet east of Can Ada Road and in alignment with the proposed Street A, then the applicant

should be required to redesign the driveway as a curb return type driveway and not an extension of Street A (see image page 10).

15. Other than the access specifically approved with this application, direct lot access is prohibited to Can Ada Road and Joplin Road and should be noted on the final plat.
16. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
17. There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
18. Comply with all Standard Conditions of Approval.

Vicinity Map



Site Plan

PRELIMINARY PLAT FOR BOTTLES JOPLIN SUBDIVISION



- LEGEND.**
- BOUNDARY LINE
 - LOT LINE
 - STREET CENTERLINE
 - CROSS ACCESS & P.U.E.
 - SIDEWALK EASEMENT
 - PROPOSED WATER MAIN
 - PROPOSED SEWER MAIN
 - PROPOSED PRESSURE IRRIGATION MAIN
 - PROPOSED STORM DRAIN MAIN
 - ELECTRICAL LINE
 - DIAL LINE
 - EDGE OF ASPHALT
 - EXISTING SANITARY SEWER LINE
 - ROAD CENTERLINE
 - OVER HEAD POWER LINE
 - TOP OF SLOPE
 - OVER HEAD TELEPHONE LINE
 - FLOW LINE
 - WATER LINE
 - FIBER OPTIC LINE
 - TELEPHONE LINE
 - 5' CONTOUR LINE
 - 1' CONTOUR LINE
 - EXISTING FENCE
 - CLEANOUT
 - SEWER MANHOLE
 - POWER POLE
 - TELEPHONE BOX
 - BLOW-OFF

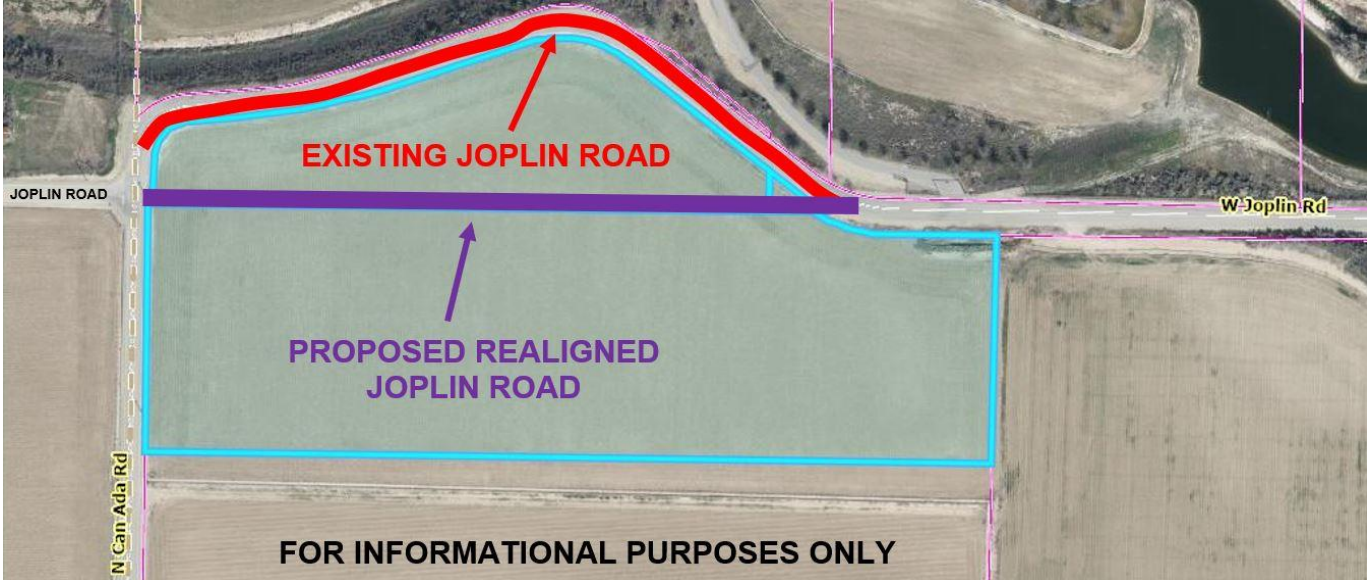


B. Findings for Consideration

1. Joplin Road

- a. **Existing Conditions:** Joplin Road currently abuts the site’s north property line and the roadway has a substantial curve that begins near the site’s east property line and continues west to the site’s west property line. Joplin Road is improved with 24-feet of pavement and there is 36 to 40-feet of right-of-way for Joplin Road abutting the site.
- b. **Applicant’s Proposal:** The applicant is proposing to vacate the existing segment of Joplin Road that runs along the site’s north property line to realign and straighten Joplin Road (shown in purple). The applicant’s proposal is to mitigate safety concerns regarding the existing curved alignment of the roadway raised by City Star staff and the Star Fire Department.

The applicant is proposing to incorporate the right-of-way for existing Joplin Road (vacated area) into the site as part of the development.



- c. **Staff Comments/Recommendations:** Staff is supportive of the applicant’s proposal to vacate existing Joplin Road to realign the roadway through the site. The applicant should be required to vacate/exchange the right-of-way for Joplin Road abutting the site’s north property line and the vacation/exchange should be completed prior to plan approval.

The vacation/exchange is a separate process with its own application and approvals. Questions regarding this process should be directed to ACHD’s Right-of-Way staff. If Joplin Road abutting the site’s north property line is not vacated/exchange, then the applicant should be required to construct Joplin Road abutting the site as ½ of a 36-foot wide collector street section with vertical curb, gutter and concrete sidewalk (7-foot wide attached or 5-foot wide detached).

Or as an alternative to on-street bike lanes and standard sidewalks, 10-foot wide multi-use pathways may be constructed. An 8-foot wide planter strip is required for use of multi-use pathways.

The applicant should be required to dedicate right-of-way to 2-feet behind back of pedestrian facilities, or for detached pedestrian facilities, the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of the pedestrian facilities.

2. Joplin Road Realignment

- a. **Existing Conditions:** Joplin Road is not constructed within the site.
- b. **Applicant Proposal:** As noted above, the applicant is proposing to vacate existing Joplin Road to realign the roadway to extend through the site to intersect Can Ada Road. The applicant is proposing to construct the realignment of Joplin Road as a 36-foot wide collector street section with vertical curb, gutter, an 8-foot wide landscape strip and 7-foot wide detached concrete sidewalk within 66-feet of right-of-way.
- c. **Staff Comments/Recommendations:** Staff is supportive of the applicant's proposal to realign Joplin Road. If the vacation/ exchange is approved, then the applicant's proposal to construct Joplin Road as a 36-foot wide collector street section meets District policy with the exception of the 7-foot wide detached concrete sidewalk, which exceeds District policy and should be approved, as proposed.

As an alternative to on-street bike lanes and standard sidewalks, 10-foot wide multi-use pathways may be constructed. An 8-foot wide planter strip is required for use of multi-use pathways.

The applicant should be required to dedicate right-of-way to 2-feet behind back of pedestrian facilities, or for detached pedestrian facilities, the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of the pedestrian facilities.

2. Can Ada Road

- a. **Existing Conditions:** Can Ada Road is improved with 2-travel lanes, 25-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 24-feet of right-of-way from centerline for Can Ada Road abutting the site.
- b. **Applicant Proposal:** The applicant is proposing to construct Can Ada Road as ½ of a 36-foot wide collector street section with vertical curb, gutter, an 8-foot wide planter strip and 7-foot wide detached concrete sidewalk within 33-feet of right-of-way abutting the site.
- c. **Staff Comments/Recommendations:** The applicant's proposal to construct Can Ada Road as ½ of a 36-foot wide collector street section meets District policy with the exception of the 7-foot wide detached concrete sidewalk, which exceeds District policy and should be approved, as proposed.

As an alternative to on-street bike lanes and standard sidewalks, 10-foot wide multi-use pathways may be constructed. An 8-foot wide planter strip is required for use of multi-use pathways.

The applicant should be required to dedicate right-of-way to 2-feet behind back of pedestrian facilities, or for detached pedestrian facilities, the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement from the right-of-way line to 2-feet behind back of the pedestrian facilities.

3. Internal Local Streets

- a. **Existing Conditions:** There are no local streets within the site. There is a local street, Sawyer Kaye Drive, approved to stub to the site's east property line.
- b. **Applicant's Proposal:** The applicant is proposing to extend the stub street into the site and construct the internal local streets, Street A and Street B, as 36-foot wide street sections with vertical curb, gutter, a 6-foot wide planter strip and a portion of the 5-foot wide detached concrete sidewalk within 50-feet of right-of-way and the remainder of the sidewalk with a permanent sidewalk easement.

- c. **Staff Comments/Recommendations:** The applicant’s proposal meets District policy and should be approved, as proposed.

The applicant should be required to dedicate right-of-way to 2-feet behind back of sidewalk, or for detached sidewalk, the applicant may reduce the right-of-way width to 2-feet behind back of curb and provide a permanent right-of-way easement to extend from the right-of-way line to 2-feet behind back of sidewalk.

4. Roadway Offsets

- a. **Existing Conditions:** There are no roadways within the site.
- b. **Applicant’s Proposal:** The applicant is proposing to realign Joplin Road near the site’s east property line to continue west through the site to intersect Can Ada Road in alignment with Joplin Road on the west side of Can Ada Road across from the site.

The applicant is proposing to construct a local street, Street A, to intersect the realigned Joplin Road located 664-feet east of Can Ada Road.

- c. **Staff Comments/Recommendations:** The applicant’s proposals meet District policy and should be as proposed.

5. Stub Streets

- a. **Existing Conditions:** Sawyer Kaye Drive, a local street, is proposed to stub to the site’s east property line as part of ACHD’s approval of Neismith Subdivision.
- b. **Applicant Proposal:** The applicant is proposing to construct a local street, Street B, to stub to the site’s east property line located 188-feet south of Joplin Road (measured centerline-to-centerline) and in alignment with the approved stub street, Sawyer Kaye Drive, to the site’s east property line.
- c. **Staff Comments/Recommendations:** The applicant’s proposal meets District policy and should be approved, as proposed. The applicant should be required to construct a temporary cul-de-sac turnaround at the terminus of the stub street, as it extends greater than 150-feet in length. The temporary cul-de-sac turnaround should be paved with a minimum 50-foot turning radius. If the temporary turnaround extends onto a buildable lot, the entire lot shall be encumbered by an easement and identified on the plat as a non-buildable lot until the street is extended. Install a sign at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

If Sawyer Kaye Drive has been constructed as a stub street to the site’s east property line as part of Neismith Subdivision, then the construction of a turnaround and the installation of a sign is not required at the terminus of the roadway.

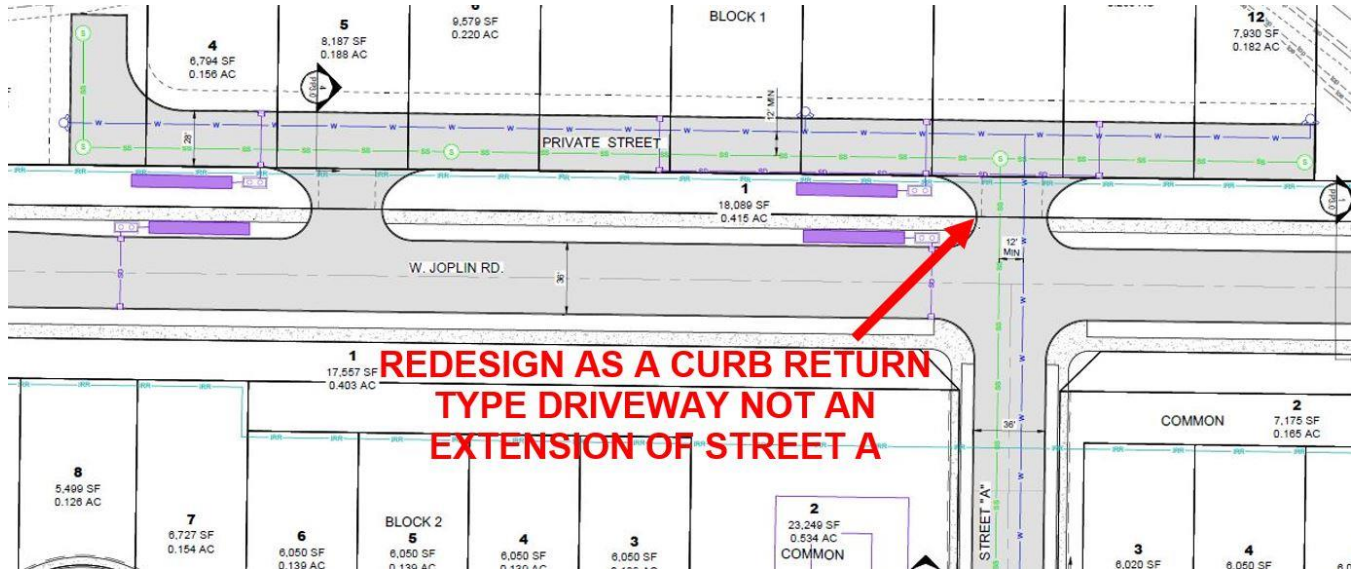
6. Driveways

6.1 Joplin Road Realignment

- a. **Existing Conditions:** Joplin Road is not constructed within the site.
- b. **Applicant’s Proposal:** The applicant is proposing to construct two 30-foot wide driveways on the proposed realigned Joplin Road located 338 and 663-feet east of Can Ada Road.
- c. **Staff Comments/Recommendations:** The applicant's proposal to construct two 30-foot wide driveways on Joplin Road does not meet District Access Management which limits or controls access onto collector roadways and should not be approved as proposed, as the driveway is proposed to provide connection to a private street that will provide access to 11 lots.

Staff recommends approval of the construction of one driveway onto Joplin Road. The driveway should be required to be located a minimum of 150-feet east of Can Ada Road (measured centerline to centerline) and constructed as a 30-foot wide curb return type driveway.

If the applicant chooses to construct the driveway onto Joplin Road located 663-feet east of Can Ada Road and in alignment with the proposed Street A, as proposed, then the applicant should be required to redesign the driveway as a curb return type driveway and not an extension of Street A.



7. Traffic Calming

- a. **Applicant’s Proposal:** The applicant is proposing to realign Joplin Road near the site’s east property line to continue west through the site to connect to Can Ada Road as a long straight segment of roadway greater in length than 750-feet.
- b. **Staff Comments/Recommendations:** The applicant should be required to redesign to reduce the length or include passive design elements and submit a revised preliminary plat showing the redesigned roadway for review and approval prior to ACHD’s signature on the first final plat.

Stop signs, speed humps/bumps and valley gutters will not be accepted as traffic calming.

8. Other Access

Joplin Road and Can Ada Road are classified as collector roadways. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

C. Policy

1. Federal Accessibility Design Guidelines and Standards

District policy 7203.1.1 states that developers shall follow the current version of the U.S. Access Board’s Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way (PROWAG), 36 CFR Part 1190, September 7, 2023; (Also see, <https://www.access-board.gov/prowag> and <https://www.access-board.gov/files/prowag/planning-and-design-for-alternatives.pdf> for additional information).

2. Minor Improvements

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing Highways adjacent to a proposed development may be required. These needed transportation

facilities are to correct deficiencies or replace deteriorated facilities. Included are sidewalk and/or bike lane construction or replacement (with physical buffers if missing and needed); construction of transitional sidewalk segments; crosswalk construction or replacement; curb and gutter construction or replacement; repair, replacement or expansion of curb extensions; replacement of unused driveways with curb, gutter, sidewalk, repair or addition of traffic calming or speed mitigation features; installation or reconstruction of pedestrian ramps; pavement repairs; signs, motor vehicle, pedestrian and bicycle traffic control devices; and other similar items. The current version of PROWAG will determine the applicable accessibility requirements for alterations and elements added to existing streets. ACHD staff is responsible for identifying the minor improvements that would be proportionate to the size and complexity of the development.

3. Livable Street Performance Measures

District policy 7203.8 states that ACHD has adopted performance measures (level of stress) for evaluating the experience of bicyclists and pedestrians. ACHD seeks to create a transportation network that serves all ages and abilities. Bike and pedestrian facilities built through development should achieve a bike and pedestrian level of traffic stress 1 or 2, with no new bike lane below a minimum of 5-feet.

4. Joplin Road and Can Ada Road

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets. Improvements shall include transitional segments in accordance with ADA and the current version of PROWAG.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default. ACHD reserves the right to require bicycle and pedestrian facilities above those identified in the Livable Streets Design Guide and Master Street Map to ensure the safest facility possible based on current best practice.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk or multi-use path and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk or multi-use path is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 47-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes. If a multi-use path is determined to be the required treatment, the street section shall be reduced to 37-feet. If it is determined a continuous center left-turn lane is not appropriate and a path is installed, the street section may be reduced to 26-feet.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

At the discretion of Traffic Engineering staff, adjustments may be made to the street section, including removal of the continuous center turn lanes or modification to lane widths, where no driveways or intersections are present or to ensure adequate space for pathways and buffers.

Pedestrian Facilities: District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 8-feet wide between

the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District’s planter width policy if trees are to be placed within the parkway strip. Sidewalk constructed next to the back-of-curb shall be a minimum of 7-foot wide. Alternatively, on roadways identified as low-stress bikeways in ACHD’s Bike Master Plan, a minimum 10-foot wide multi-use path may be required in lieu of sidewalks. ACHD Development Review staff will be responsible for determining the required facility. The path shall be built 8-feet behind the back-of-curb as measured to the closest edge of the path. Street trees are encouraged between the pedestrian facility and the roadway when irrigation and maintenance will occur by the adjacent property owner or HOA through an approved license agreement. Vertical hardscape alternatives to street trees may be considered in the buffer space when street trees are not practicable.

Pedestrian facilities should be parallel to the adjacent roadway. Pedestrian facilities will only be allowed to deviate from a straight line when authorized by Development Review staff to meet site specific conditions (i.e., street trees, utilities, etc.).

Appropriate easements shall be provided if public sidewalks or multi-use paths are placed out of the right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk or multi-use path. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Curb ramps or blended transitions shall be provided to connect the pedestrian access route at each pedestrian street crossing in accordance with the current version of PROWAG. Provide detectable warning surface in accordance with the current version of PROWAG.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Joplin Road, an east/west roadway, and Can Ada Road, a north/south roadway, are designated in the MSM as a Residential Collectors with 2-lanes and on-street bike lanes, a 36-foot street section within 54 to 66-feet of right-of-way.

5. Internal Local Streets

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street—33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Continuation of Streets Policy: District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 50-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

6. Roadway Offsets

Collector Offset Policy: District policy 7206.4.2 states that the preferred spacing for new collectors intersecting existing collectors is ¼ mile to allow for adequate signal spacing and alignment.

District policy 7206.4.5, states that the preferred spacing for a new local street intersecting a collector roadway to align or offset a minimum of 330-feet from any other street (measured centerline to centerline).

Local Offset Policy: District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

7. Stub Streets

Stub Street Policy: District policy 7207.2.4.3 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.4 except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE".

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7207.2.4.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

8. Driveways

8.1 Joplin Road

Access Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

District Policy 7206.1 states that the primary function of a collector is to intercept traffic from the local street system and carry that traffic to the nearest arterial. A secondary function is to service adjacent property. Access will be limited or controlled. Collectors may also be designated at bicycle and bus routes.

Driveway Location Policy (Stop Controlled Intersection): District policy 7206.4.4 requires driveways located on collector roadways near a STOP controlled intersection to be located outside of the area of influence; OR a minimum of 150-feet from the intersection, whichever is greater. Dimensions shall be measured from the centerline of the intersection to the centerline of the driveway.

Successive Driveways: District policy 7206.4.5 Table 1 requires driveways located on collector roadways with a speed limit of 25 MPH and daily traffic volumes greater than 100 VTD to align or offset a minimum of 245-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7206.4.6 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7206.4.6, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7206.4.6.

9. Traffic Calming

Speed Control and Traffic Calming Policy: District policy 7206.3.8 states that collector streets should be designed to discourage speeds above 35 MPH and in a residential area, collector streets should be designed to discourage speeds above 30 MPH. The design of collector street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require a maintenance and/or license agreement.

10. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

11. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

12. Pathway Crossings: United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

D. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).

2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA), Public Right-of-Way Accessibility Guidelines (PROWAG), ISPWC, or ACHD requirements. The applicant's engineer should provide documentation of compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

E. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

Request for Appeal of Staff Decision

To request an appeal of a staff level decision, see District policy 7101.6.7 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>

Request for Reconsideration of Commission Action

To request reconsideration of a Commission Action, see District policy 1006.11 at <https://www.achdidaho.org/home/showpublisheddocument/452/638243231708370000>



Star Fire Protection District

DATE: July 29, 2024

TO: City of Star – Planning and Zoning

CC: Idaho Holdings, LLC – Emily Mueller
Horrocks - Matt Graham

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Comment

PROJECT: Joplin Rim Subdivision
File: AZ-24-04, DA-24-04, PP-24-01

The Star Fire Protection District has reviewed the documents provided by the City of Star for our review on the Annexation & Rezone, Preliminary Plat, and Private Road applications for Joplin Rim Subdivision, comments are as follows.

The Applicant is requesting approval of an Annexation & Zoning (AZ-24-04), Development Agreement (DA-24-04) and a Preliminary Plat (PP-24-01) for a proposed residential subdivision consisting of 49 residential lots and 7 common lots. The property is located on the southeast corner of Can Ada Road on Joplin Road, Ada County, Idaho, and consists of 13.5 acres with a proposed density of 3.46 dwelling units per acre.

This development will be serviced by Station 51 located at 11665 W. State St., Star, ID. Station 51 is 2.6 miles from the development entrance with an estimated 5-minute travel time under normal driving conditions.

The Fire District level of service expectation goal is 5 minutes. This development sits within the Fire District service level expectations when resources are available.

The Star Fire Protection District does not oppose the applications subject to compliance with all the following code requirements and conditions of approval.

CONDITIONS OF APPROVAL:

1. Codes
 - a. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. Side Set Back
 - a. Side Set back to be as per city code with no reduction allowed.
3. Water Supply
 - a. Fire hydrants, capable of producing the required fire flow, shall be located along approved the development.
 - i. This development will be serviced by the Star Sewer and Water district.
 - ii. Fire hydrant spacing and installation shall meet the requirements of Star Sewer and Water District.
 - iii. Fire hydrants to be placed between lot 7 and 8 of block 1.
 - iv. If sufficient fire flow cannot be provided, an alternative such as automatic residential fire sprinkler system would be considered as an equivalent.



Star Fire Protection District

4. Fire Apparatus Access

- a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
- b. The Fire District supports the proposed realignment of Joplin Rd. This section of Joplin Rd has been a dangerous area, and we look forward to the improvements that will enhance the safety of our community.
- c. The proposed Private Road section to meet City of Star Standards with no modifications.
 - i. No parking in emergency turnaround “Hammer Head”
- b. The purposed public road shall be required to connect to Naismith Commons Subdivision before building permit 31 can be issued.

5. Additional Comments

- a. Fire District Review and Permit will be required for each lot before the building permit is issued by City of Star that exceeds a total sq. ft. of 4,000.
- b. Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.



ADA COUNTY DEVELOPMENT SERVICES

200 W. FRONT STREET, BOISE, IDAHO 83702-7300
<https://adacounty.id.gov/developmentservices>

Section 6, Item A.

PHONE (208) 287-7900
FAX (208) 287-7909

BUILDING • COMMUNITY PLANNING • ENGINEERING & SURVEYING • PERMITTING

May 15, 2024

Shawn Nickel
City of Star Planning & Zoning
10769 W State St
Star, ID 83669

RE: AZ-24-04 / Parcel Nos. S0419233700 & S0419325561 / Joplin Rim Subdivision

Feedback has been requested regarding the proposed annexation with a rezone from RUT (Rural Urban Transition) to R-4 (Medium density Residential) and a preliminary plat for the Joplin Rim Subdivision, which will consist of 49 single-family homes and seven common lots on 13.5-acres generally located on the southeast corner of Can Ada Road and Joplin Road, more specifically on Parcel Nos S0419233700 & S0419325561.

Ada County is supportive of the application due to the proximity of the site to existing public services. The Star Comprehensive Plan, as adopted by Ada County, designates the western portion of the site as *Low Density Residential*, which is intended for single-family homes at densities of up to two units per acre. The proposed rezone to R-4 (Medium density Residential) does not conform to the Low Density Residential designated by the Star Comprehensive Plan, as adopted by Ada County, however, the proposed R-4 zoning is consistent with development directly east of the site and south of the site, which is also zoned R-4. Therefore, the subdivision of land into 49 single-family lots is supported by *Goal 2.2* of the Ada County Comprehensive Plan, which calls for urban development to be directed to Areas of City Impact where investments in urban services have already been made.

Additionally, the proposal to set aside 14% open space is compatible with *Residential Policy 3* of the Star Comprehensive Plan, which encourages neighborhood parks and open spaces to be provided within residential areas.

Thank you for this opportunity to provide feedback.

Sincerely,

Stacey Yarrington

Stacey Yarrington
Community & Regional Planner
Ada County Development Services

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

May 10, 2024

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Joplin Rim Subdivision
AZ-24-04 Annexation & Rezone
DA-24-04 Development Agreement
PP-24-01 Preliminary Plat

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:

<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.

- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK

Shawn Nickel

From: snickel@staridaho.org
Subject: FW: Agency Transmittal - Joplin Rim Subdivision

From: D3 Development Services <D3Development.Services@itd.idaho.gov>
Sent: Monday, May 13, 2024 10:57 AM
To: Barbara Norgrove <bnorgrove@staridaho.org>
Cc: Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>
Subject: RE: Agency Transmittal - Joplin Rim Subdivision

Hello,

After careful review of the transmittal submitted to ITD on May 2, 2024 regarding Joplin Rim Subdivision - AZ-24-04, DA-24-04 , PP-24-01, the Department has no comments or concerns to make at this time.

Thank you

Mila Kinakh

D3 Planning and Development



From: Barbara Norgrove <bnorgrove@staridaho.org>
Sent: Thursday, May 2, 2024 2:18 PM
To: chopper@hwydistrict4.org; Iriccio@hwydistrict4.org; jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; bryce@sawtoothlaw.com; gtiminsky@midstarfire.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@midstarfire.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Cheryl.imlach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>; Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; CalahanH <CalahanH@landproDATA.com>; Brian Duran <Brian.Duran@itd.idaho.gov>; gmprdclerk@gmail.com
Cc: Shawn Nickel <snickel@staridaho.org>
Subject: FW: Agency Transmittal - Joplin Rim Subdivision

Shawn Nickel

From: Richard Girard
Sent: Thursday, August 8, 2024 4:04 PM
To: Shawn Nickel; John Tensen
Subject: Re: Subdivision Review

Thanks for re-sending Joplin Rim Subdivision for review by the Transportation Committee.

here are my findings and recommendations:

- I concern that the sidewalks along Joplin Road re-alignment that both sides should 7' wide walks
- The section for Can Ada Road shows only 5' wide sidewalks and the City of Star requires 7' wide sidewalks along Collector roads. Recommend change to the 7' standard.

Let know if there is any other information I can help with this project

From: Shawn Nickel <snickel@staridaho.org>
Sent: Thursday, August 8, 2024 9:46 AM
To: Richard Girard <rgirard@starpathways.org>
Subject: RE: Subdivision Review

Here you go, Richard.

Thanks.

Shawn

SHAWN L NICKEL
PLANNING DIRECTOR AND ZONING ADMINISTRATOR
CITY OF STAR
SNICKEL@STARIDAHO.ORG
208-286-7247 EXT. 3004



LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **August 20, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Files #'s AZ-24-05 Annexation & Rezone
DA-24-05 Development Agreement
CU-24-03 Conditional Use Permit

Applicant/Representative: Lance Humphreys of UHC of Idaho, 8155 Chinden BLVD

Owner: AMERCO Real Estates Company, 2727 N. Central, Ave Phoenix, AZ 85004

Action: The Applicant is requesting approval of an Annexation & Zoning (Commercial), a Development Agreement and Conditional Use Permit for a U-HAUL moving and storage facility to include U-Box storage warehouse and maintenance and regional business operations facility. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26) in Star, Idaho, and consists of 14.47 acres.

Property Location: The subject property is generally located on the north side of Chinden Blvd, east of Star Road. Ada County Parcel No's S0420438501, S0420438600, S0420438613, S0420438701.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR
LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shen J. Muth*

MEETING DATE: **August 20, 2023 – PUBLIC HEARING**
FILE(S) #: AZ-24-05 – Annexation & Zoning
 DA-24-05 – Development Agreement
 CU-24-03 – Conditional Use Permit U-Haul

OWNER/APPLICANT/REPRESENTATIVE

<p>Applicant: Lance Humphreys UHC of Idaho 8155 Chinden BLVD Boise, Idaho 83714</p>	<p>Applicant: Brett Gulash Hillside Architecture 345 W. Bobwhite Ct., Ste 120 Boise, Idaho 83706</p>	<p>Owner: Americo Real Estate Company 2727 N. Central Avenue Phoenix, Arizona 85004</p>
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REQUEST

Request: The Applicant is requesting approval of an Annexation & Zoning (Commercial C-2), a Development Agreement, and a Conditional Use Permit for a self-storage, warehouse storage and regional maintenance operation facility for UHAUL. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26), Star, Idaho, Ada County and consists of 14.47 acres.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the north side of Chinden Blvd, between S. Star Road and Highway 16. Ada County Parcel No's S0420438501, S0420438600, S0420438613, S0420438701.

Existing Site Characteristics: The property has been used as single family residential with outbuildings and bare ground.

Irrigation/Drainage District(s): - Boise Project Board of Control
2465 W. Overland Road
Boise, Idaho 83705

Flood Zone: This property is not located in a Special Flood Hazard Area.

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – No.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	March 21, 2023
Neighborhood Meeting Held	May 1, 2023
Application Submitted & Fees Paid	May 21, 2024
Application Accepted	June 6, 2024
Residents within 300' Notified	July 30, 2024
Agencies Notified	June 11, 2024
Legal Notice Published	August 4, 2024
Property Posted	August 8, 2024

HISTORY

The city does not have any previous land use history for this parcel.

SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Ada County Rural Transitional (RUT)	South of the River Mixed Use (MU)	Single Family Residential/Bare Ground
Proposed	General Commercial District (C-2)	South of the River Commercial	Storage Facility/Maintenance Shop
North of site	Residential (R-3-PUD-DA)	South of the River Neighborhood Residential	Inspirado Subdivision
South of site	Commercial (C-2) (Ada County)	City of Meridian	Vacant
East of site	Ada County Rural Transitional (RUT)	Commercial/Compact Residential	Single Family Residential/Bare Ground
West of site	Residential (R-3-PUD-DA)	South of the River Mixed Use (MU)Neighborhood Residential	Inspirado Subdivision

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-1B-1: ANNEXATION AND ZONING; REZONE:

B. Standards:

1. The subject property shall meet the minimum dimensional standards and/or density standards_of the proper district.
2. The city shall require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement, building elevations, including front and rear (when backing up to a collector or arterial street), and concept plan shall be required for any annexation or rezone to a commercial, mixed-use or residential zone or use, or land which includes steep slope (land over 25%) or floodway. An application for annexation or rezone

shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority, or a letter from the transportation authority waiving said study is received by the administrator. A hearing date before the Council shall not be scheduled until any required traffic impact study has been approved and the transportation authority has issued a staff report on the development application. The administrator may waive these requirements in certain circumstances.

3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

- 1. The map amendment complies with the applicable provisions of the comprehensive plan;
- 2. The map amendment complies with the regulations outlined for the proposed district;
- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
- 4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
- 5. The annexation (as applicable) is in the best interest of city.

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

The following zoning districts are hereby established for the interpretation of this title, the

zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(C-2) GENERAL COMMERCIAL_DISTRICT: To provide for the establishment of areas for commercial uses allowed in other commercial zones and commercial uses which are more intensive than those permitted in other commercial zones, and typically located adjacent to arterial roadways and not immediately adjacent to residential, including the establishment of areas for travel related services such as hotels, motels, service stations, drive-in restaurants, offices, limited warehousing, commercial services and retail sales.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	C-1	C-2	MU
Storage facility, outdoor (Commercial) 1	C	C	C
Storage facility, self-service (Commercial) 1	C	C	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front ⁽¹⁾	Rear	Interior Side	Street Side
C-2	35'/60' ⁵	20'	5'	0' ⁴	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhanging onto the sidewalk.

2. Zero-Lot-Line, reduced street side yard setbacks and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless approved by Council as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, LI, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone. A waiver may be requested if the adjacent property has the potential to redevelop as a non-residential use in the future.
4. As approved by the Fire District.
5. 35' height requirement unless a height exception is approved by Council through the Conditional Use Permit or Planned Unit Development Process.

8-1B-4: CONDITIONAL USES:

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a specific property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use within this title. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through issuance of a conditional use permit, development agreement or PUD, upon approval by Council.

C. Process:

1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a conditional use.
2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.
3. An application and appropriate application fees shall be submitted to the City on forms provided by the city.
4. Prior to issuing the conditional use permit, the administrator may require additional information, including studies, concerning the social, economic, fiscal or environmental effects of the proposed conditional use. Traffic studies may be required by the transportation authority prior to acceptance of an application.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.

- 4. Assure that the use and the property in which the use is located is maintained properly.
- 5. Designate the location and nature of the use and the property development.
- 6. Require the provision for on site or off-site public facilities or services.
- 7. Require more restrictive standards than those generally required in this title.
- 8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

E. Findings: The council shall base its determination on the conditional use permit request upon the following:

- 1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
- 2. That the proposed use shall meet the intent of the Star comprehensive plan and be in compliance with the requirements of this title.
- 3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity.
- 4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
- 5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
- 6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
- 7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
- 8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance as determined by the City.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Commercial

Suitable primarily for the development of a wide range of commercial activities including offices, retail, and service establishments. Rezoning to this designation should not be allowed unless adequate ingress/egress to major transportation corridors are assured. Light industrial uses may be considered at the discretion of the City Council without amending this plan.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.6 Policies Related Mostly to the Commercial Planning Areas:

- A. Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star's role as the urban core while protecting existing property rights.
- B. Encourage commercial facilities to locate on transportation corridors.
- C. Locate neighborhood services within walking distance to residential development.
- D. Discourage the development of strip commercial areas.
- E. Maintain and develop convenient access and opportunities for shopping and employment activities.
- F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas should be submitted

for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.

- G. Allow for some light industrial uses within the Commercial areas at the sole discretion of the City Council.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

21.1 – South of the River Planning Area

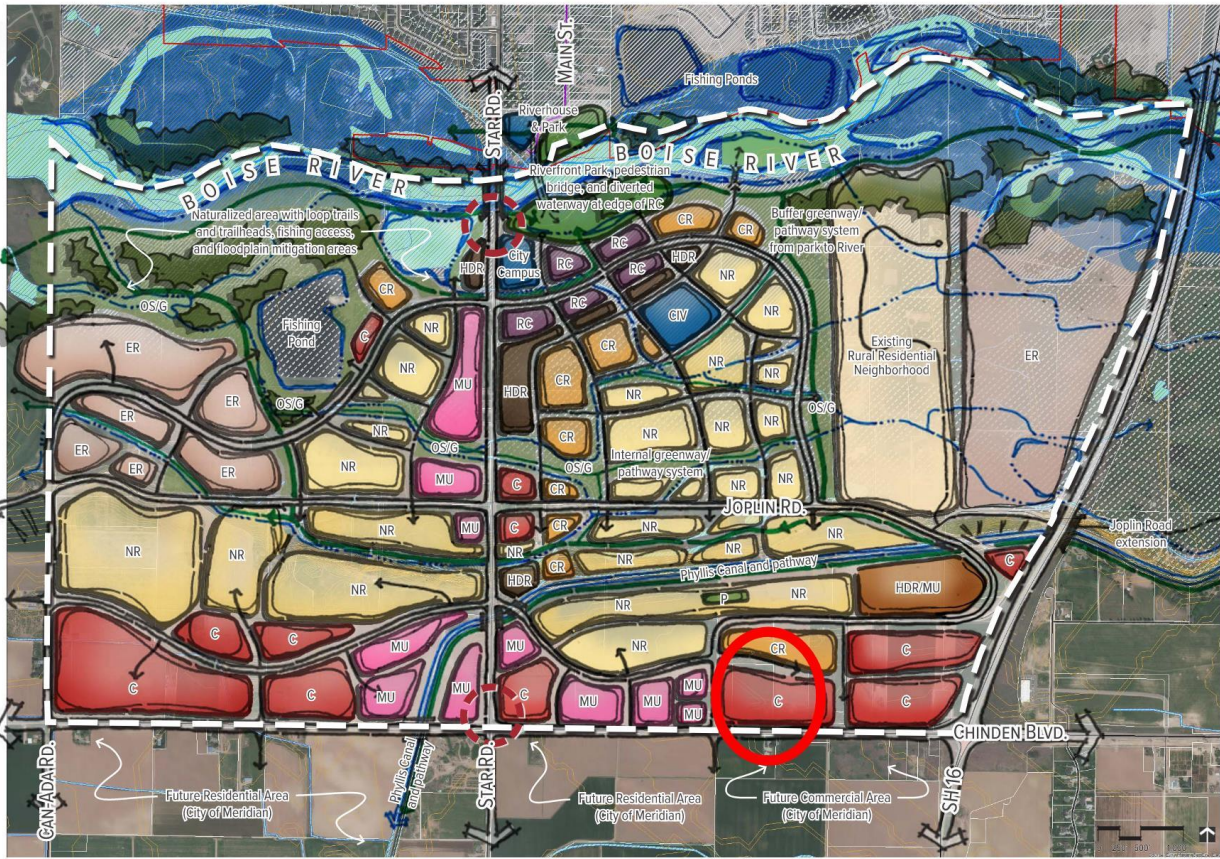
Refer to the South of the River Area Document

Illustrative Vision Plan – South of the River Planning Area Document

ILLUSTRATIVE VISION PLAN
 The Illustrative Vision Plan highlights a visionary concept depicting the possible distribution of land uses, connectivity between neighborhoods and to arterials, and the level of amenities expected in regard to natural areas and open space, pathways and parks. The Vision Plan is illustrative in nature, and defines only one possible development option.

Map Legend:
 RR: Rural Residential
 ER: Estate Residential
 NR: Neighborhood Residential
 CR: Compact Residential
 HDR: High-Density Residential
 RC: Riverfront Center
 "Main Street"
 MU: Mixed-Use
 HDR/MU: High-Density Residential/ Mixed-Use
 C: Commercial
 P: Parks
 CIV: Civic (School, City Facility)
 OS/G: Open Space/
 Greenway
 Gateway

Note: The Illustrative Vision Plan is conceptual in nature and distribution of land uses, road alignments, and park and school locations may change as development occurs.



PROJECT OVERVIEW

ANNEXATION & REZONE:

The annexation and zoning request to General Commercial District (C-2) on the applicant’s property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan South of the River Plan. Sewer and Water will be provided by the Star Sewer and Water District and is available at the northwest corner of the property. Annexation into the Sewer and Water District will be required.

CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for a multiple use commercial use campus consisting of several buildings and covered vehicle storage spaces. Building #1 will

be a three-story, climate-controlled building that will house individual storage units and contain a showroom and retail space that will offer rental trucks and trailers as well as various supplies/materials. This building is approximately 101,291 square feet in size and will be available to the public.

Building #2 will be single-story, approximately 24,442 square feet and will be used as a warehouse storage for U-Boxes. This building will not be open to the general public. Building #3 will be one story, approximately 42,988 square feet and built to house the maintenance and regional operations business. This building will not be open to the public.

The site will also have 81 covered RV parking spaces located between buildings 1 and 3. These covered spaces will be encircled by three self-storage building that will contain individual 100 square foot storage units. The building to the west of the covered spaces will be approximately 1,123 square feet and to the south of the RV parking will be two buildings, one is approximately 2,146 square feet and the second is approximately 2,040 square feet.

Primary site access will come from Highway 20/26 via a future stop light and collector road that was approved as part of the Inspirado Development. This site is also providing an access road to the adjacent eastern property for future circulation. This access road meets the intent of the street circulation plan that is part of the South of the River Vision Plan. The site has approximately 600 feet of frontage along W. Chinden BLVD. This requires a minimum 40-foot buffer, as W. Chinden is classified as a principal arterial, and appropriate landscaping, per code. The proposed landscape plan appears to satisfy these requirements. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan appears to satisfy these requirements.

The applicant has provided exterior elevations and color renderings with this packet. The buildings will need to go through the Design Review process as part of a Zoning Certificate, separate from this application.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Commercial setbacks.

The developer is building the collector road from W. Chinden BLVD north that will allow access to this site. Streetlights will be required along this collector road and will be done by U-Haul unless completed by the Inspirado developer. The Applicant has not provided any specification on site or building lights. The Applicant shall work with Staff on site lighting plan and obtaining approval on site/building lights.

DEVELOPMENT AGREEMENT:

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Access to Site
- Landscaping
- Specifically requested Conditional Use Approvals
- Emergency Access
- Traffic Signal

AGENCY RESPONSES

Star Fire District	July 29, 2024
ACHD	Pending
City Engineer	July 23, 2024

PUBLIC RESPONSES

No public responses have been submitted.

STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed annexation, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

ANNEXATION & ZONING FINDINGS:

- 1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:

 - ✓ *Protection of property rights.*
 - ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
 - ✓ *Ensure the local economy is protected.*
 - ✓ *Encourage urban and urban-type development and overcrowding of land.*
 - ✓ *Ensure development is commensurate with the physical characteristics of the land.*

The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.

- 2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the Estate Residential District is to provide for development suitable primarily for residential use. Densities in this land use area are to range from 1 unit per acre to 3 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future. Clustering is encouraged to preserve open space.

- 3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.

5. The annexation is in the best interest of the city.

The Council must find that this annexation is reasonably necessary for the orderly development of the City.

CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

The Council must find that the proposed use be adequately served by essential public facilities and services.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.

CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight, site and building light design that meets city standards prior to Building Permit.**
3. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
4. Streetlights on the new collector road shall be installed by U-Haul unless otherwise provided for by the Inspirado developer.
5. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
6. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
7. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.

8. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
9. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
10. A Certificate of Zoning Compliance will be required prior to the start of construction.
11. Any additional Condition of Approval as required by Staff and City Council.
12. Any Conditions of Approval as required by Star Fire Protection District.
13. The property associated with this approved annexation and conditional use permit shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit or building permit.
14. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File Number AZ-24-05, DA-24-05, CUP-24-03, for U-Haul on _____, 2024.



CHINDEN BLVD

AMERCO[®]

REAL ESTATE COMPANY

2727 North Central Avenue, 5-N • Phoenix, Arizona 85004
Phone: 602.263.6555 •

Project Narrative

AMERCO Real Estate Company (AREC) has prepared this Annexation & Rezone application package, for the opportunity to receive the City of Star's participation and counseling regarding the property located at 7230 W. Chinden Blvd, Meridian ID 83646.

AREC is the wholly owned real estate subsidiary of the U-Haul System.

U-Haul is proposing three buildings at this site:

1. U-Haul Moving and Storage Store facility which consist of self-storage, U-Haul truck and trailer sharing, and related retail sales.
2. U-Haul warehouse storage facility which is utilized to store U-Boxes. This facility is not open to the public.
3. U-Haul maintenance and regional business operation facility which will serve to provide maintenance to their truck and trailer fleet. This building will house their regional business operations. This facility is not open to the public.

The proposed multi-story building will be air-conditioned and will contain the U-Haul uses of self-storage and related retail sales. The retail sales will be conducted through the proposed 'Showroom' area on the first floor of this building.

The site will also provide 81 RV covered RV storage spaces which will be surrounded by 3 outdoor mini storage buildings. Each of these three buildings is composed of individual 10x10 outdoor mini storage units.

Please see site plan for additional details.

The Property is currently zoned as RUT – Rural Urban Transition and is part of Ada County. This proposal is requesting for an Annexation & Zoning - Rezone to incorporate these parcels (S0420438501, S0420438600, S0420438613, and S0420438701) into the City of Star with a Commercial zoning designation. This proposal currently aligns with the City of Star's Comp Plan designation and long term land use planning for the property. In addition, this proposal will pursue a Conditional Use permit to allow for the Storage Facility/Self-service component of our proposal. Lastly, this proposal will include a Certificate of Zoning compliance per the city requirements.

Custom site design for every U-Haul store assures that the facility complements the community it serves. Adherence to community objectives is key to ensuring that each U-Haul store is both a neighborhood asset and an economic success. U-Haul is more of a commercial type of use that serves residential communities within a 3-5-mile radius. We feel the U-Haul would be an appropriate use for the property and there are proven benefits for allowing self-storage facilities in communities:

- Self-storage facilities are quiet
- They provide an excellent buffer between zones
- They create very little traffic
- They have little impact on utilities
- They have no impact on schools
- They provide a good tax revenue
- They provide a community service

U-Haul Moving and Storage is a convenience business. Our philosophy is to place U-Haul stores in high growth residential areas, where we fill a need for our products and services. Customers are made aware of the U-Haul store, primarily via drive-by awareness, much like that of a convenience store, restaurant, or hardware store. Attractive imaging and brand name recognition bring in area residents — by our measures, those who live within a four-mile radius of the center.

The U-Haul Store:

U-Haul stores characteristically serve the do-it-yourself household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time. Families will generally arrive in their own automobiles, enter the showroom, and may choose from a variety of products and services offered there. When situated near public transit, approximately 50% of those families utilize alternative transportation to access U-Haul equipment and services.

- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country.
- Families who need packing supplies in advance of a move or to ship personal packages can choose from a variety of retail sales items, including cartons, tape, and sustainable packing materials.
- Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- Moving and storage are synergistic businesses. Over half of our storage customers tell us they used U-Haul storage because of a household move. Customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through the singular customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.

Significant Policies:

- Hours of Operation:

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.
- All U-Haul storage customers are issued a card-swipe style identification card that must be used to gain access to their room. This is but one of many security policies which protect the customer’s belongings and decrease the ability of unauthorized access to the facility.
- It is against policy for a business to be operated from a U-Haul storage room.
- Customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so and are assessed an additional fee.

- Items that may not be stored include: chemicals, flammables, and paints.
- U-Haul stores are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to our customers with disabilities.

Traffic Study:

- U-Haul stores generate less vehicular traffic volume while still embodying an active-use site. Truck and trailer sharing, and self-storage all represent dynamic transitions from one customer to another. DIY moving customers are presented with opportunities to utilize equipment and storage on a temporary basis, supporting a shared-economy, an effective economic model, and an environmentally-sound way to conduct business.

USE COMPARISON					
Use	Square Feet	Traffic Volume		Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours - 24 hours	7
Gas Station w/ Convenience Store	2,200 sq ft	1,200 trips	2,200 trips	18 hours - 24 hours	7
Hotel	50,000 sq ft	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq ft	1,075 trips	1,258 trips	11 am - 11 pm 12 hours	7
U-Haul Center	80,000 sq ft	31 trips	53 trips	7 am - 7 pm 12 hours	7

U-Haul looks forward to working with the City of Star, ID as you consider this Annexation & Zoning - Rezone application package.



ANNEXATION & ZONING - REZONE APPLICATION

***All information must be filled out to be processed.

FILE NO.: <u>AZ-24-05</u>
Date Application Received: <u>05/10/2024</u> Fee Paid: <u>\$2190.00</u>
Processed by: City: <u>BN</u>

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: LANCE HUMPHREYS OF UHC OF IDAHO
 Applicant Address: 8155 CHINDEN BLVD, BOISE ID Zip: 83714
 Phone: 208-860-5064 Email: lance_humpherys@uhaul.com

Owner Name: AMERCO REAL ESTATE COMPANY
 Owner Address: 2727 N. CENTRAL AVE. PHOENIX, AZ Zip: 85004
 Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
 Contact: BRETT GULASH Firm Name: HILLSIDE ARCHITECTURE
 Address: 345 W BOBWHITE CT, SUITE 120, BOISE, ID Zip: 83706
 Phone: 775-722-1682 Email: Bgulash@hillside-architecture.com

Property Information:

Site Address: 7230 W. CHINDEN BLVD, MERIDIAN 83646 Parcel Number: S0420438501, S0420438600, S0420438613, S0420438701
 Total Acreage of Site: 13.9 (605,484 SQFT)
 Total Acreage of Site in Special Flood Hazard Area: _____
 Proposed Zoning Designation of Site: COMMERCIAL

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
Proposed	COMMERCIAL	COMMERCIAL	RURAL
North of site	R-3 (ADA COUNTY)	COMPACT RESIDENTIAL	RURAL
South of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
East of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
West of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	MIXED-USE	RURAL

Special On-Site Features (Yes or No – If yes explain):

- Areas of Critical Environmental Concern - NO
- Evidence of Erosion - NO
- Fish Habitat - NO
- Floodplain - NO
- Mature Trees - NO
- Riparian Vegetation - NO
- Steep Slopes - NO
- Stream/Creek - NO
- Unique Animal Life - NO
- Unique Plant Life - NO
- Unstable Soils - NO
- Wildlife Habitat - NO
- Historical Assets - NO

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with the Planning Department required prior to neighborhood meeting. Date of Pre-App Meeting: 03.21.2023	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Annexation & Zoning/Rezone Application	BN
✓	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: <u>Lance Humpherys</u>	
✓	An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, CDH4) has issued a staff report on the development application.	
✓	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative fully describing the proposed project (must be signed by applicant)	
✓	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> • Include a metes & bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet. 	

	<ul style="list-style-type: none"> Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h. If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map. Submit word.doc and pdf version with engineer's seal. 	
✓	Recorded warranty deed for the subject property	
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Vicinity map showing the location of the subject property with minimum 1-mile radius	
✓	Copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, a conceptual development plan for the property is required.	
✓	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	
✓	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development. SEE NEXT PAGE	
✓	Copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels (additional fee required).	
✓	Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.	
✓	Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.	

APPLICANT ACKNOWLEDGEMENT:**

**** I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.**

Lance Humpherys
Applicant/Representative Signature

05.07.2024
Date

IRRIGATION DISTRICT CONTACTS

Section 6, Item B.

Settler's Irrigation District	P.O. Box 7571 Boise, ID 83707	stefanie@settlersirrigation.org mack@settlersirrigation.org	Stefanie Keen Mack Myers	Secretary District Manager	208-344-2471 208-343-5271
Nampa & Meridian Irrigaiton District	1503 First Street South Nampa, ID 83651	nmid@nmid.org	Lacee Sharpe	Admin. Asst.	208-466-7861

PROPERTY LOCATION WITH RELATED IRRIGATION DISTRICT





CONDITIONAL USE PERMIT APPLICATION

****All applicable information must be filled out to be processed.*

FILE NO.: **CU-24-03**
Date Application Received: **5/10/2024** Fee Paid: **\$1660.00**
Processed by: City: **BN**

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: LANCE HUMPHREYS OF UHC OF IDAHO
Applicant Address: 8155 CHINDEN BLVD, BOISE ID Zip: 83714
Phone: 208-860-5064 Email: lance_humpherys@uhaul.com

Owner Name: AMERCO REAL ESTATE COMPANY
Owner Address: 2727 N. CENTRAL AVE. PHOENIX, AZ Zip: 85004
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
Contact: BRETT GULASH Firm Name: HILLSIDE ARCHITECTURE
Address: 345 W BOBWHITE CT, SUITE 120, BOISE, ID Zip: 83706
Phone: 775-722-1682 Email: Bgulash@hillside-architecture.com

Property Information:

Site Address: 7230 W. CHINDEN BLVD, MERIDIAN 83646 Parcel Number: _____
Requested Condition(s) for Conditional Use: STORAGE FACILITY / SELF-SERVICE (COMMERICAL)

	Zoning Designation	Comp Plan Designation
Existing	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
Proposed	COMMERICAL	COMMERCIAL
North of site	R-3 (ADA COUNTY)	COMPACT RESIDENTIAL
South of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
East of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
West of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	MIXED-USE

Site Data:

Total Acreage of Site: 13.9 Acres (605,575 sqft)

Proposed Percentage of Site Devoted to Bldg Coverage: TBD

Proposed Percentage of Site Devoted to Landscaping: TBD

Number of Parking spaces: Proposed 10 Required _____

Requested Front Setback: REQUIRED: 30'-0"
PROPOSED: 30'-0" Requested Rear Setback: 10'-0" / 25'-0"

Requested Side Setback: 25'-0" Requested Side Setback: 20'-0"

Requested Side Setback: 25'-0"

Existing Site Characteristics: RURAL

Number and Uses of Proposed Buildings: 3 BUILDINGS - STORAGE

Location of Buildings: PLEASE SEE SITE PLAN

Gross Floor Area of Proposed Buildings: 107,238 SF

Describe Proposed On and Off-Site Traffic Circulation: GENERAL PUBLIC CIRCULATION FOR UTILIZATION OF INDOOR STORAGE UNITS, AND RENTAL TRUCK FLEET. IRREGULAR USE OF SEMI-TRUCKS FOR DELIVERY OF U-BOXES TO WAREHOUSE BUILDING (SOUTHWEST PORTION OF SITE). CROSS ACCESS EASEMENT AT NORTHERN PORTION OF SITE, PER CITY REQUEST FOR ADJACENT PARCELS.

Proposed Signs – number, type, location: TBD - SUBMITTED UNDER SEPARATE PERMIT
(include draft drawing) _____

Public Services (state what services are available and what agency is providing the service):

- Potable Water - STAR WATER AND SEWER DISTRICT
- Irrigation Water - STAR WATER AND SEWER DISTRICT
- Sanitary Sewer - STAR WATER AND SEWER DISTRICT
- Schools - N/A
- Fire Protection - STAR FIRE PROTECTION DISTRICT
- Roads - ACHD AND ITD

NOT IN FLOOD ZONE

Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):

Subdivision/Project Name: _____ Phase: _____

Special Flood Hazard Area: total acreage _____ number of homes/structures _____

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: _____
 FIRM effective date(s): mm/dd/year _____
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: _____
 Base Flood Elevation(s): AE____.0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)


Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
✓	Completed and signed Conditional Use Application	BN
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and electronic version with engineer's seal):	BN
✓	Copy of recorded warranty deed.	BN
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
✓	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development. SEE LAST PAGE	BN
✓	Vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	BN
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	BN
✓	Building elevations showing construction materials	BN
✓	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
✓	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

Site Plan (If applicable):

✓	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	BN
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	BN
	• Existing boundaries, property lines, and dimensions of the lot	BN
	• Relationship to adjacent properties, streets, and private lanes	BN
	• Easements and right-of-way lines on or adjacent to the lot	BN
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	<ul style="list-style-type: none"> • Open/common spaces 	
	<ul style="list-style-type: none"> • Refuse and service areas 	
	<ul style="list-style-type: none"> • Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed) 	
	<ul style="list-style-type: none"> • All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances 	

Landscape Plan (If applicable):

	The following items must be included on the landscape plan:	
	<ul style="list-style-type: none"> • Date, scale, north arrow, and project name 	BN
	<ul style="list-style-type: none"> • Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan 	BN
	<ul style="list-style-type: none"> • Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings 	BN
	<ul style="list-style-type: none"> • Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed. 	BN
	<ul style="list-style-type: none"> • Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements 	BN
	<ul style="list-style-type: none"> • Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours 	BN
	<ul style="list-style-type: none"> • Sight Triangles as defined in 8-4 A-7 of this Ordinance 	
	<ul style="list-style-type: none"> • Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size 	
	<ul style="list-style-type: none"> • Proposed screening structures 	
	<ul style="list-style-type: none"> • Design drawings(s) of all fencing proposed 	
	<ul style="list-style-type: none"> • Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> ➢ Number of street trees and lineal feet of street frontage ➢ Width of street buffers (exclusive of right-of-way) ➢ Width of parking lot perimeter landscape strip ➢ Buffer width between different land uses ➢ Number of parking stalls and percent of parking area with internal landscaping ➢ Total number of trees and tree species mix ➢ Mitigation for removal of existing trees, including number of caliper inches being removed 	

SIGNS (If applicable):

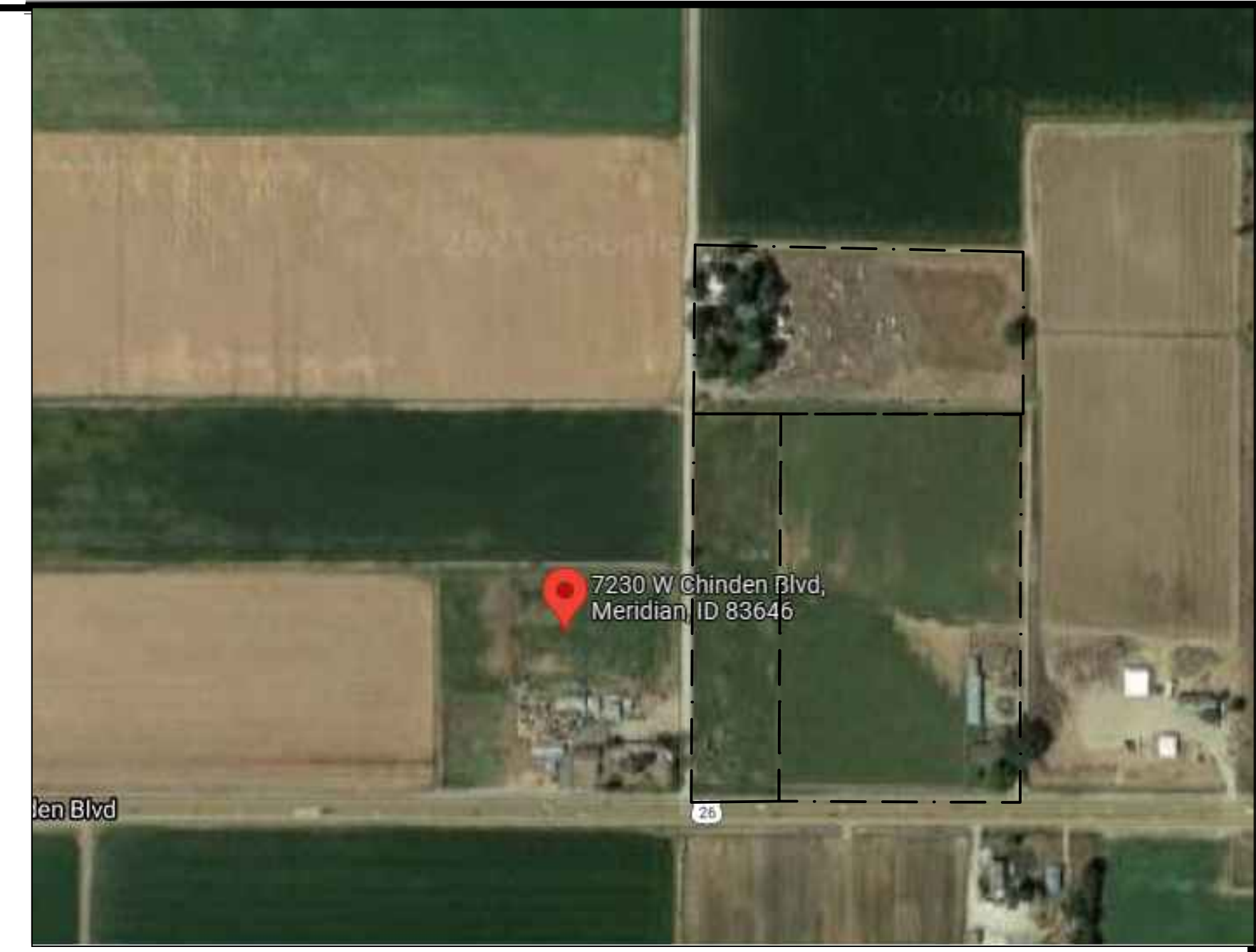
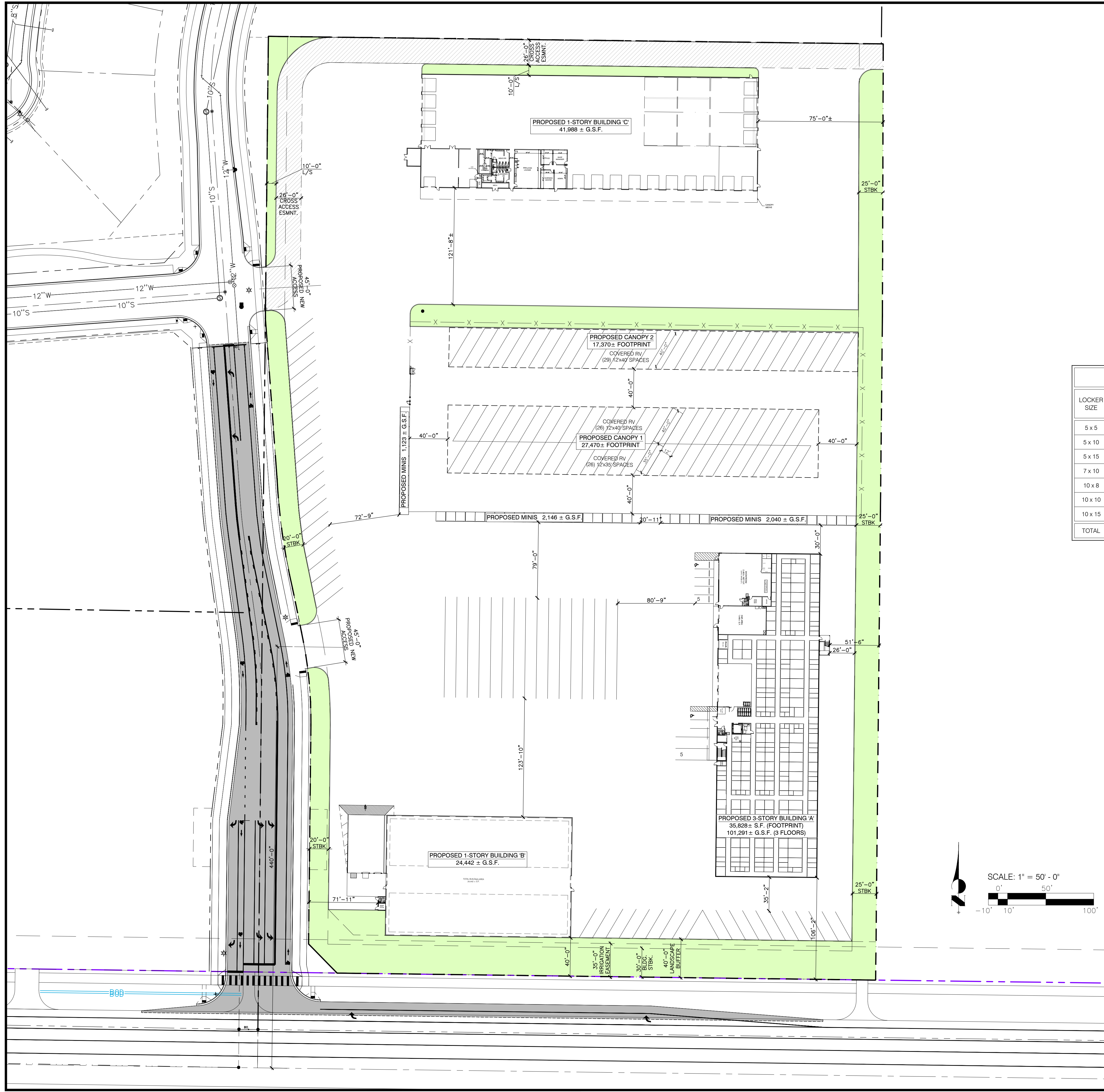
All signs will require separate submittal of a sign application.

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

Lance Humpherys
Applicant/Representative Signature

05.07.2024
Date



AERIAL N.T.S.

PROPOSED MIX

LOCKER SIZE	INTERIOR						TOTAL			EXTERIOR MINIS			GRAND TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	33	825	4%	43	1,075	5%	50	1,250	5%	126	3,150	5%	0	0	0%	126	3,150	4%
5 x 10	111	5,550	27%	91	4,550	22%	118	6,100	23%	320	16,000	24%	0	0	0%	320	16,000	22%
5 x 15	0	0	0%	1	75	0%	0	0	0%	1	75	0%	0	0	0%	1	75	0%
7 x 10	2	140	1%	1	70	0%	1	70	0%	4	280	0%	0	0	0%	4	280	0%
10 x 8	1	80	0%	2	160	1%	1	80	1%	4	320	0%	0	0	0%	4	320	1%
10 x 10	101	10,100	49%	99	9,900	47%	129	12,900	49%	329	32,900	48%	52	5,200	100%	381	38,100	52%
10 x 15	27	4,050	19%	36	5,400	25%	39	5,850	22%	102	15,300	23%	0	0	0%	102	15,300	21%
TOTAL	275	20,745	100%	273	21,230	100%	338	26,250	100%	886	68,025	100%	52	5,200	100%	938	73,225	100%

(55) 40' RV CANOPY SPACES
 (28) 35' RV CANOPY SPACES
 61 TOTAL RV CANOPY SPACES

U-BOX AREA = 23,902 ± S.F.
 TOTAL U-BOXES = 1,122 (374 x 3-HIGH)

Zoning Information

Project Name: Project # 718082
 U-Haul Moving & Storage of South Star
 Ada County
 Project Address: 7230 W. Chinden Blvd., Meridian, ID 83646

APN / Acre / Area: S0420438500; S0420438700; S0420438600; S0420438610 / 13.9± acres / 605,575± SQ. FT.

Zone: RUT – Rural-Urban Transition
 Adjacent Zoning: N-RUT – Rural-Urban Transition
 E-RUT – Rural-Urban Transition
 S-RUT – Rural-Urban Transition
 W-RUT – Rural-Urban Transition

Uses: Storage Facility/ Self-service – Outdoor Only (C)
 C = Conditional Use

Bulk Requirements

Setbacks:

	Required	Provided
Front yard:	30-ft.	30' - 0"
Interior Side yard:	25-ft.	51' - 6"
Side yard on local street:	20-ft.	72' - 3"
Rear yard:	25-ft.	25' - 0"

Height Limit: 35-ft. max.

Max lot Coverage: 5%, or 20% on non-conforming property
 Allowed: 605,575 x 5% = 30,279 sqft, OR 605,575 x 20% = 121,115 sq ft
 Proposed: 152,405 / 605,575 sq ft = 25% (0.252) Lot Coverage (Request Variance)

Parking:

Storage Facility/ Self-service = 1 space per entrance to site. Required: 3; Provided: 10 sp

Landscape:

40' Landscape Buffer along Hwy 20/26, per Planning Director

General Screening Standards:

A. Screening Elements: For the purposes of this article, screening elements shall include, but not be limited to: deciduous trees (shade and ornamental), evergreen trees, berms, solid fences, walls, and sound walls. Cyclone or chainlink fencing (with or without slats) shall not be deemed a screening material nor shall such fencing be eligible for points as set forth in table 8-4F-3 of this article.

B. Solid Fence Or Sound Wall: Where a solid fence, wall, or sound wall is used for screening, the landscape plan shall incorporate vegetative materials along the length of the screening to soften the appearance of such features.

Perimeter Landscaping and Screening Standards:

A. Property Lines That Do Not Abut A Roadway: All principally permitted and accessory uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title shall be exempt from the regulations of this article. Requirements of this article may be modified or waived by the commission for conditional uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title. Where the dimensional standards for the base district of the subject property require a setback of 10-ft. or more, the following shall apply, unless otherwise noted.

- The min. depth of the landscaped area shall be 6-ft.
- Abutting a residential district, a min. of 16 landscape points shall be required per 10 linear ft.
- Abutting a rural, commercial or industrial district, a min. of 8 landscape points shall be required per 10 linear ft.
- The director may waive perimeter landscaping requirements along portions of property lines not abutting a roadway where needed to accommodate construction of vehicular cross-access across property lines and where cross-access easements to adjacent properties are provided.

B. Property Lines That Abut A Roadway: Entryway corridors shall be as identified in the applicable comprehensive plan. Interstate, arterial, collector, and local streets shall be as identified by the Ada County long range highway and street map functional street classification system.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	11/22/22	EMA	MINOR REVISIONS
2	11/30/22	EMA	ADA ROOMS/ RICH MARK UPS
3	12/02/22	EMA	BASIC ELEVATIONS
4	12/06/22	EMA	MAKE DOUBLE PITCH ROOF ON STRG BLDG A
5	12/07/22	EMA	REV. ROOF SLOPE NORTH TO SOUTH
6	12/07/22	BLC	ADD WINDOWS, REV MIX
7	01/23/23	EMA	ADDED SHOP BUILDING
8	01/31/23	EMA	SHOP BUILDING BASIC ELEVATIONS

PROFESSIONAL SEAL:

**PRELIMINARY DOCUMENTS,
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 FOR INFORMATION ONLY**

ARCHITECT LOGO:

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CONSTRUCTION DEPARTMENT
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 PHOENIX, ARIZONA 85004
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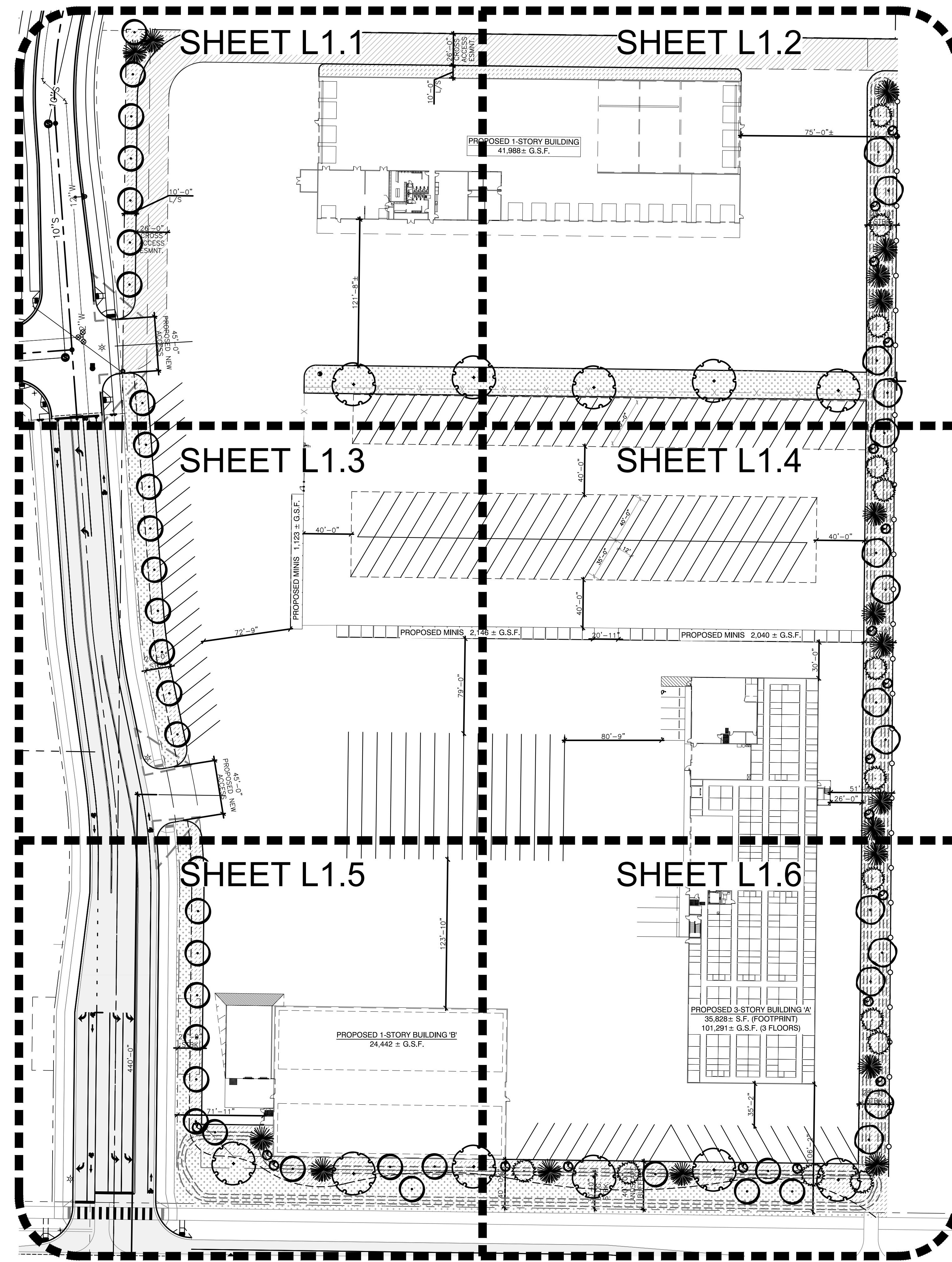
SITE ADDRESS:
 U-Haul of South Star
 7230 W. Chinden Blvd.
 Meridian, ID 83646

SHEET CONTENTS:
 Site Plan

718082

DRAWN: EMA
 CHECKED: NH
 DATE: 11/18/22

718082_A1K



PARCELS OF LAND;
7230 W CHINDEN BLVD.
MERIDIAN, ADA COUNTY IDAHO
FEBRUARY 2024



VICINITY MAP
SCALE: NTS

LANDSCAPING INFORMATION

LANDSCAPE BUFFERS:

W. CHINDEN BLVD. (ENTRY CORRIDOR):
30' REQUIRED STREET BUFFER
592' LINEAR FEET OF BUFFER; 710 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 14 TREES, 140 TOTAL POINTS PROPOSED
EVERGREENS @ 5 pts = 15 TREES, 75 TOTAL POINTS PROPOSED
SHRUBS @ 3 pts = 106 SHRUBS, 309 TOTAL POINTS PROPOSED
GROUNDCOVER @ 1 pt/100sqft = 9,851SQFT, 98.5 TOTAL POINTS PROPOSED
DROUGHT TOLERANT TURF @ 1 pt/100sqft = 10,119 SQFT, 101 TOTAL POINTS PROPOSED
3' HIGH BERM @ 4 pts/10 Inft = 592' TOTAL, 236.8 TOTAL POINTS PROPOSED
TOTAL POINTS PROPOSED = 960 POINTS

EAST PROPERTY LINE (RUT DISTRICT ADJACENT):
25' REQUIRED LANDSCAPE BUFFER
981' LINEAR FEET OF BUFFER; 1,765 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 14 TREES, 140 TOTAL POINTS PROPOSED
EVERGREENS @ 5 pts = 35 TREES, 175 TOTAL POINTS PROPOSED
SHRUBS @ 3 pts = 165 SHRUBS, 495 TOTAL POINTS PROPOSED
GROUNDCOVER @ 1 pt/100sqft = 22,942 SQFT, 229 TOTAL POINTS PROPOSED
3' HIGH BERM @ 4 pts/10 Inft = 920' TOTAL, 368 TOTAL POINTS PROPOSED
6' FENCE @ 4pts/10 Inft = 900' TOTAL, 360 TOTAL POINTS PROPOSED
TOTAL POINTS PROPOSED = 1767 POINTS PROPOSED

SOUTHWEST PROPERTY LINE (STREET ADJACENT):
20' REQUIRED STREET BUFFER
626' LINEAR FEET OF BUFFER; 751 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 17 TREES, 170 TOTAL POINTS PROPOSED
EVERGREENS @ 5 pts = 3 TREES, 15 TOTAL POINTS PROPOSED
SHRUBS @ 3 pts = 149 SHRUBS, 447 TOTAL POINTS PROPOSED
GROUNDCOVER @ 1 pt/100sqft = 3,201SQFT, 32 TOTAL POINTS PROPOSED
DROUGHT TOLERANT TURF @ 1 pt/100sqft = 3,976 SQFT, 39.7 TOTAL POINTS PROPOSED
TOTAL POINTS PROPOSED = 703.7 POINTS PROPOSED

NORTHWEST PROPERTY LINE (STREET BUFFER):
10' REQUIRED STREET BUFFER
238' LINEAR FEET OF BUFFER; 238 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 7 TREES, 70 TOTAL POINTS PROPOSED
EVERGREENS @ 5 pts = 2 TREES, 10 TOTAL POINTS PROPOSED
SHRUBS @ 3 pts = 52 SHRUBS, 156 TOTAL POINTS PROPOSED
GROUNDCOVER @ 1 pt/100sqft = 2,916SQFT, 29 TOTAL POINTS PROPOSED
TOTAL POINTS PROPOSED = 265 POINTS PROPOSED

OWNER
AMERCO
REAL ESTATE
LANE HUMPHREYS
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PHOENIX, AZ 85004
602-263-6502

ARCHITECT
HILLSIDE ARCHITECTURE
BRETT GULASH, A.I.A.
409 S. 8TH ST., STE 201
BOISE, ID 83702
775-722-1682

LANDSCAPE ARCHITECT
SOUTH BECK & BAIRD
JIM MIHAN
2002 S VISTA AVENUE
BOISE, ID 83705
208-342-2999

LANDSCAPE SET SHEET INDEX

- L1.1 - L1.6 DETAILED LANDSCAPE PLANS.
- L2.0 - L2.1 LANDSCAPE NOTES AND DETAILS.



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REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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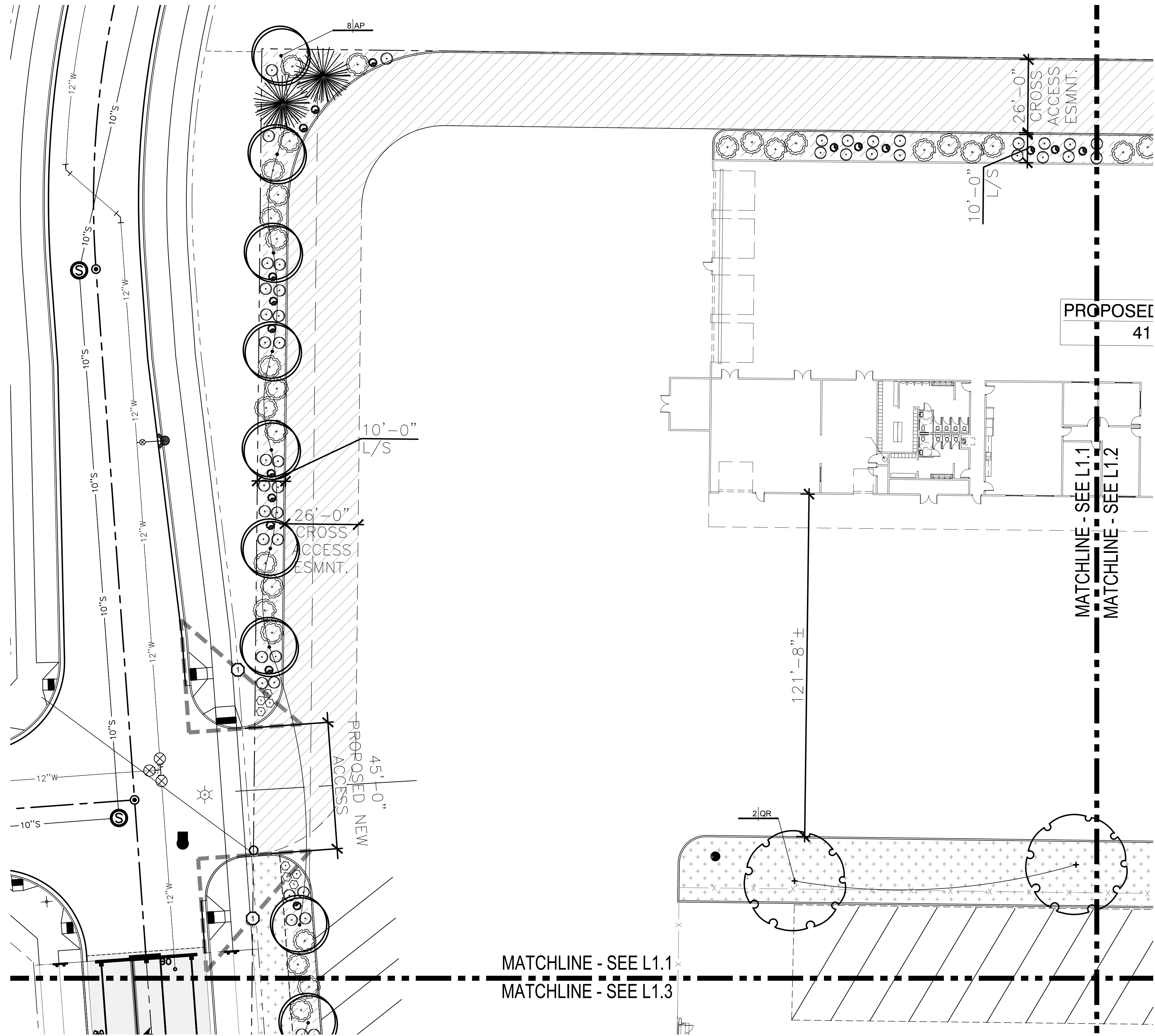
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SHEET CONTENTS:

OVERALL
LANDSCAPE
PLAN

718082

DRAWN: JRB
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DATE: 02/16/2024



LANDSCAPE PLAN

LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES SEE DETAIL 1/L2.1				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
CONIFEROUS TREES SEE DETAIL 2/L2.1				
	Pinus nigra Austrian Pine	6" B&B	40' hgt. 25' w	CONIF.
	Pinus strobus 'Fastigiata' Fastigate White Pine	6" B&B	30' hgt. 10' w	CONIF.
	Picea pungens 'glauca' Colorado Blue Spruce	6" B&B	35' hgt. 15' w	CONIF.
SHRUBS SEE DETAIL 3/L2.1				
	Cotinus coggygria 'Velvet Cloak' Velvet Cloak Smoke Tree	2 Gal.	12' hgt. x 10' wide	
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius 'Monlo' Diablo® Ninebark	2 Gal.	8' hgt. x 8' wide	
	Rhus aromatica 'Gro Low' Gro Low Sumac	2 Gal.	2' hgt. x 6' wide	
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. 3' wide	
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

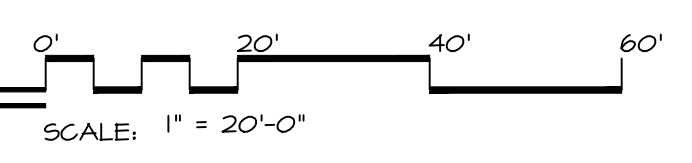
CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

PROPOSED
41

MATCHLINE - SEE L1.1
MATCHLINE - SEE L1.2

MATCHLINE - SEE L1.1
MATCHLINE - SEE L1.3



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Meridian, ID 83646

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LANDSCAPE PLAN

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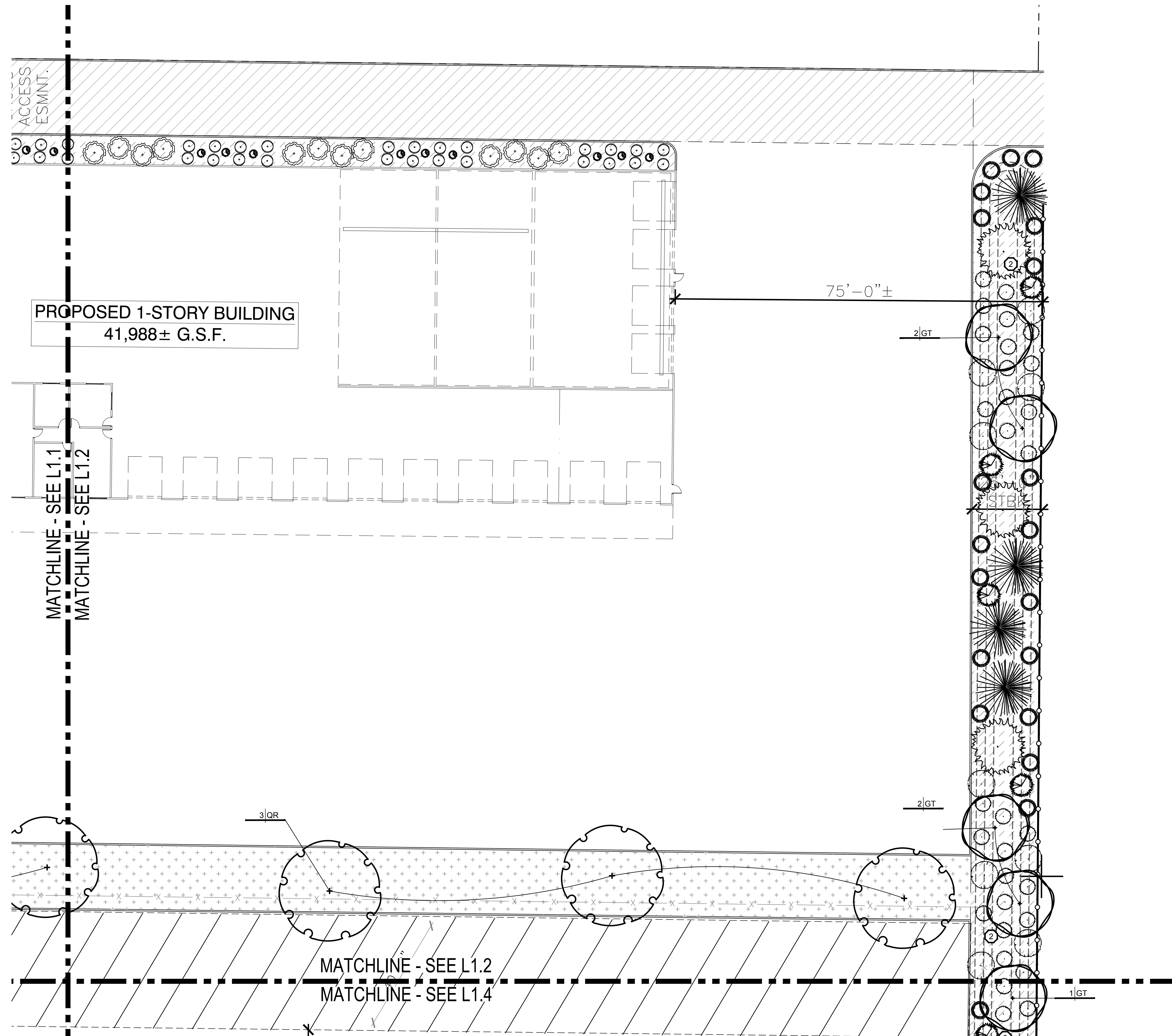
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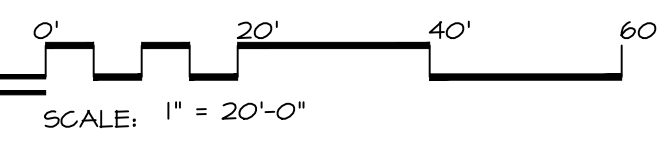
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2024 LANDSCAPE ARCHITECT
STATE OF IDAHO
LA 270
2/16/2024



LANDSCAPE PLAN



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES SEE DETAIL 1/L2.1				
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QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
CONIFEROUS TREES SEE DETAIL 2/L2.1				
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	Pinus strobus 'Fastigiata' Fastigate White Pine	6" B&B	30' hgt. 10' w	CONIF.
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SHRUBS SEE DETAIL 3/L2.1				
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	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.1				
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CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

REVISIONS:

NO.	DATE	INITIALS	NOTES
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ARCHITECT LOGO:



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PHOENIX, ARIZONA 85004
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Meridian, ID 83646

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LANDSCAPE
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DATE:	02/06/2024	

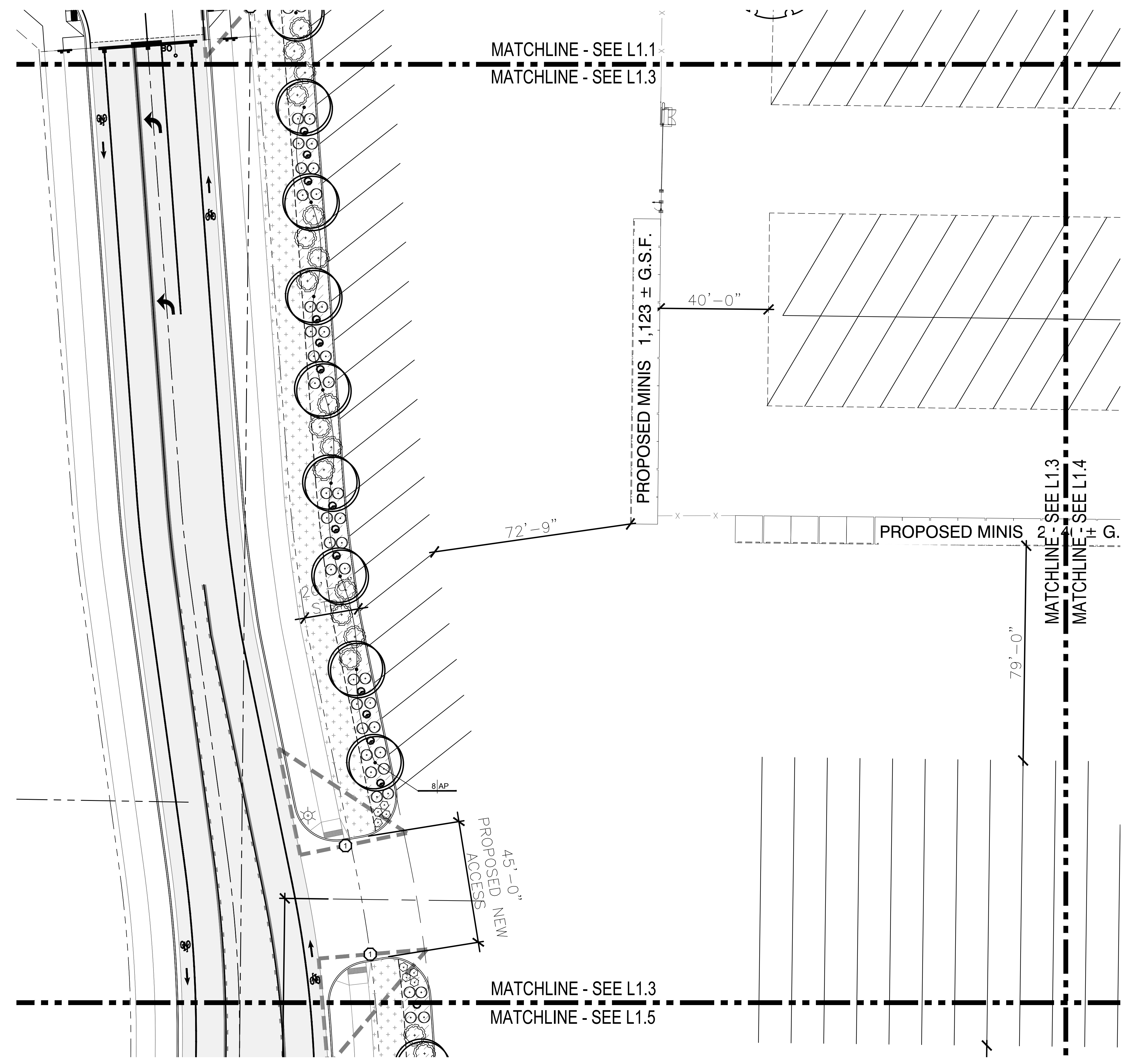
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PRELIMINARY
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CONSTRUCTION
L.A. 210
2/16/2024



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
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- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

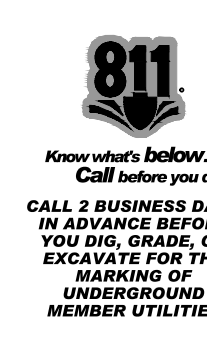
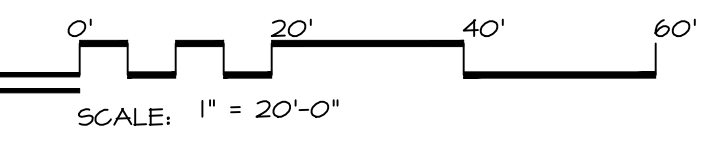
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- ① 40" VISION TRIANGLE
- ② 3'-4" BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

LANDSCAPE PLAN



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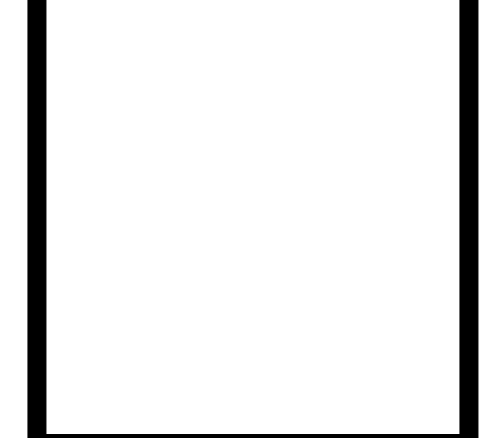
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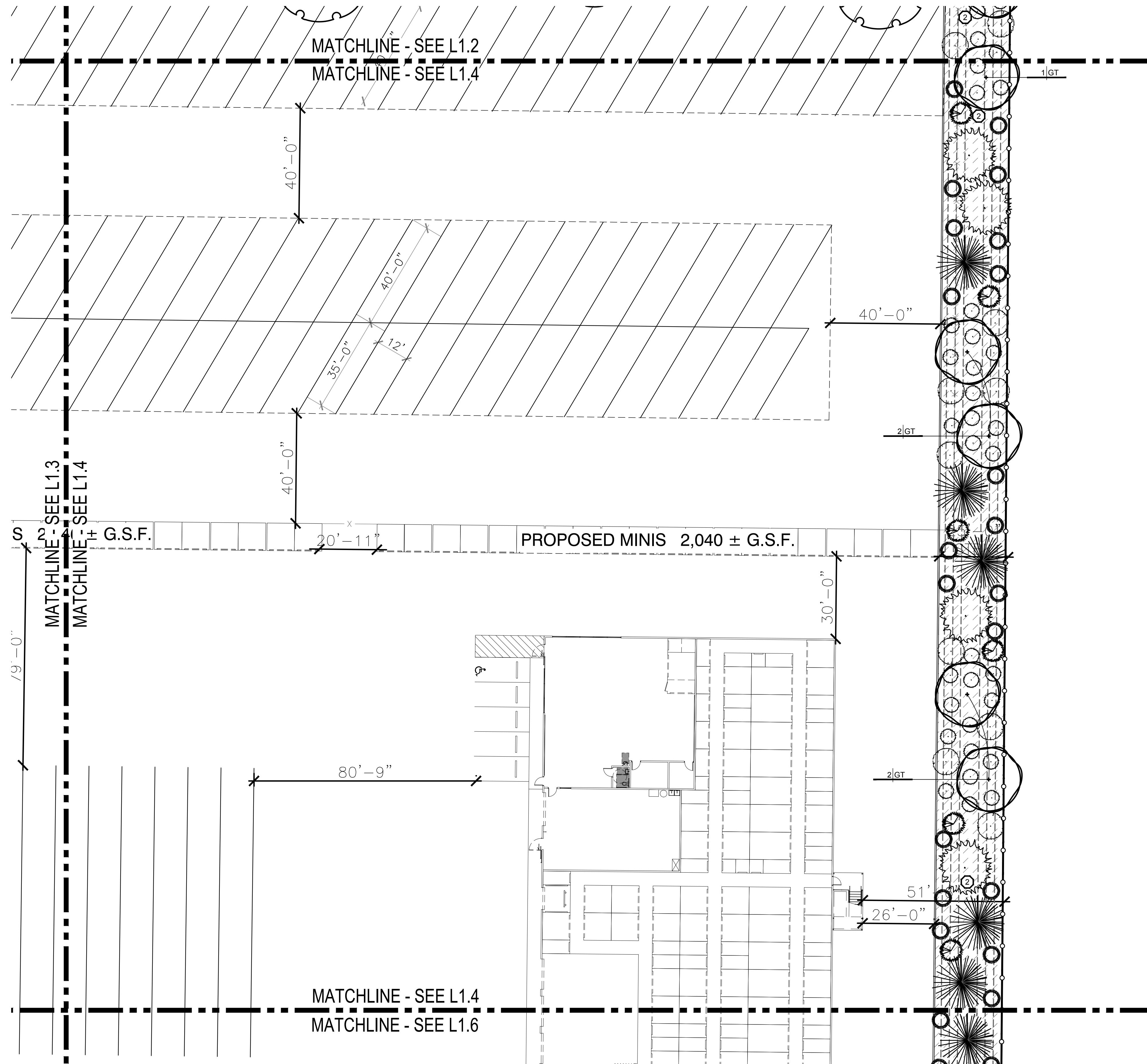
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 PLAN

718082

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 DATE: 02/06/2024



LANDSCAPE LEGEND

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Meridian, ID 83646

SHEET CONTENTS:

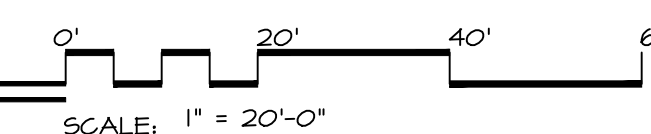
OVERALL
LANDSCAPE
PLAN

718082

DRAWN:	JRB
CHECKED:	JDR
DATE:	02/06/2024

718082_A1Q

LANDSCAPE PLAN

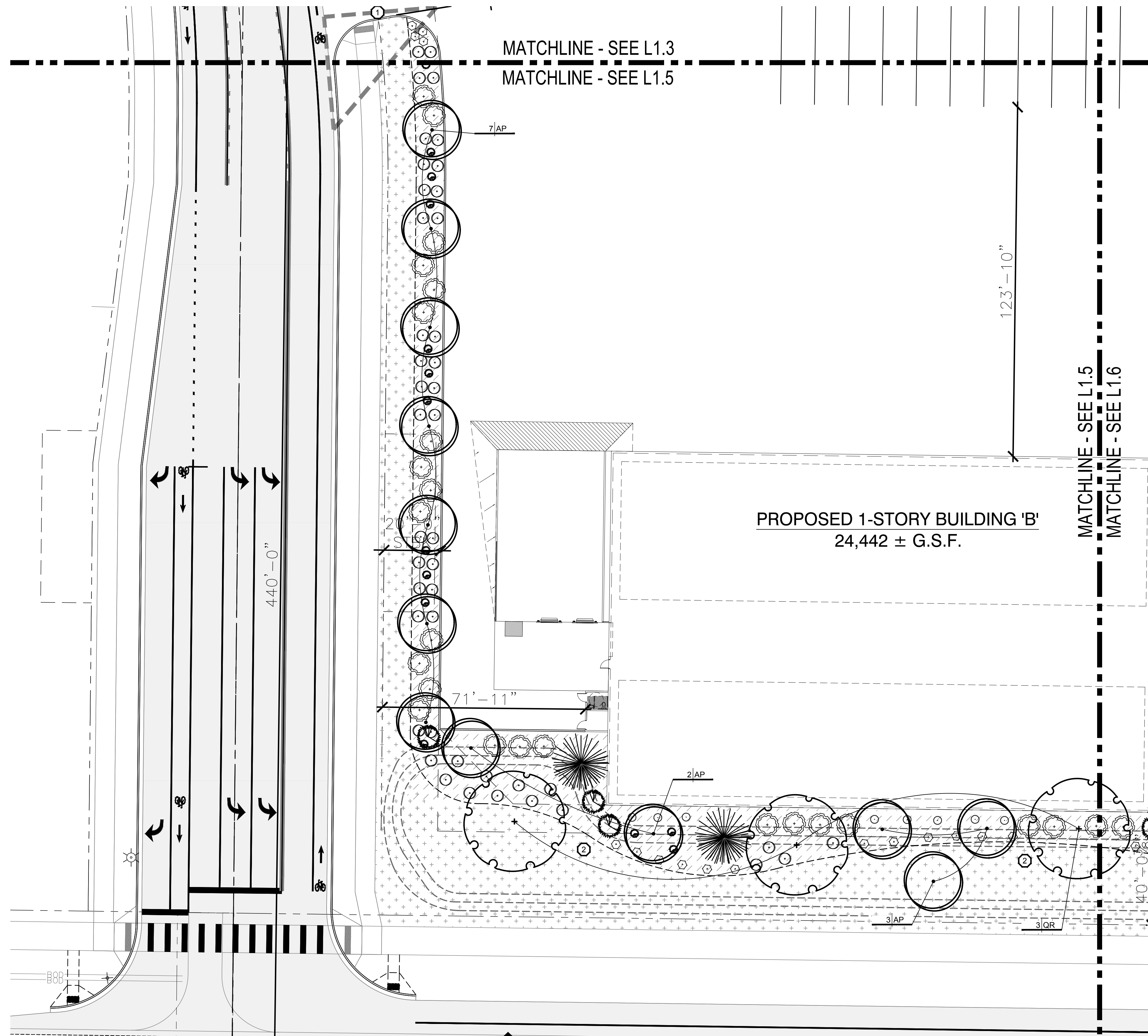


South Landscape Architecture P.C.
Db a South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave
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PH: 208.342.2999
info@sbbgo.com
www.sbbgo.com



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LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

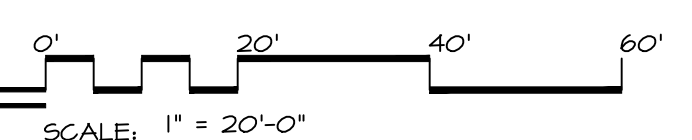
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
DECIDUOUS TREES SEE DETAIL 1/L2.1				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
CONIFEROUS TREES SEE DETAIL 2/L2.1				
	Pinus nigra Austrian Pine	6" B&B	40' hgt. 25' w	CONIF.
	Pinus strobus 'Fastigiata' Fastigiata White Pine	6" B&B	30' hgt. 10' w	CONIF.
	Picea pungens 'glauca' Colorado Blue Spruce	6" B&B	35' hgt. 15' w	CONIF.
SHRUBS SEE DETAIL 3/L2.1				
	Cotinus coggygria 'Velvet Cloak' Velvet Cloak Smoke Tree	2 Gal.	12' hgt. x 10' wide	
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius 'Monlo' Diablo® Ninebark	2 Gal.	8' hgt. x 8' wide	
	Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	2' hgt. x 6' wide	
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. 3' wide	
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

LANDSCAPE PLAN



REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

ARCHITECT LOGO:

HillSide
architecturepllc
345 W. BOBWHITE CT
SUITE 120
BOISE, ID 83706
P: 208-810-7745

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

U-Haul of South Star
7230 W. Chinden Blvd.
Meridian, ID 83646

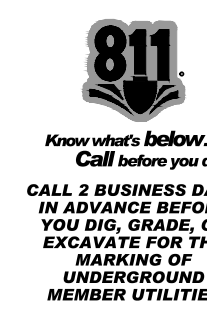
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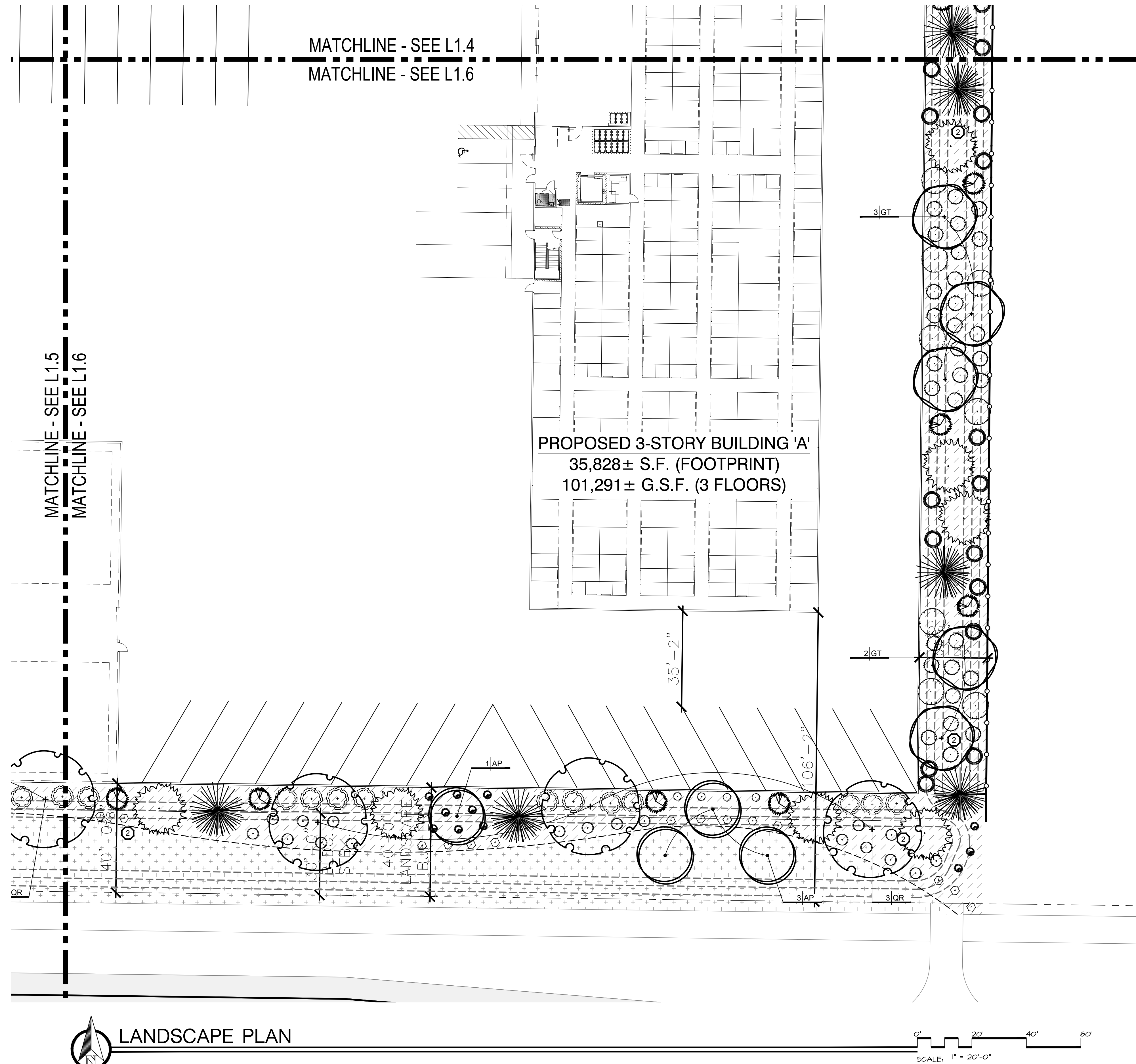
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CHECKED:	JDR	
DATE:	02/06/2024	

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dba South Beck & Baird Landscape Architecture P.C.
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LANDSCAPE LEGEND

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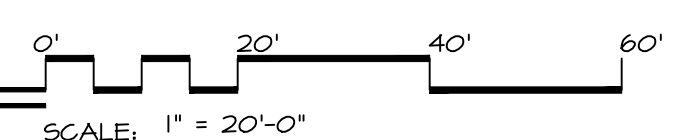
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LANDSCAPE PLAN



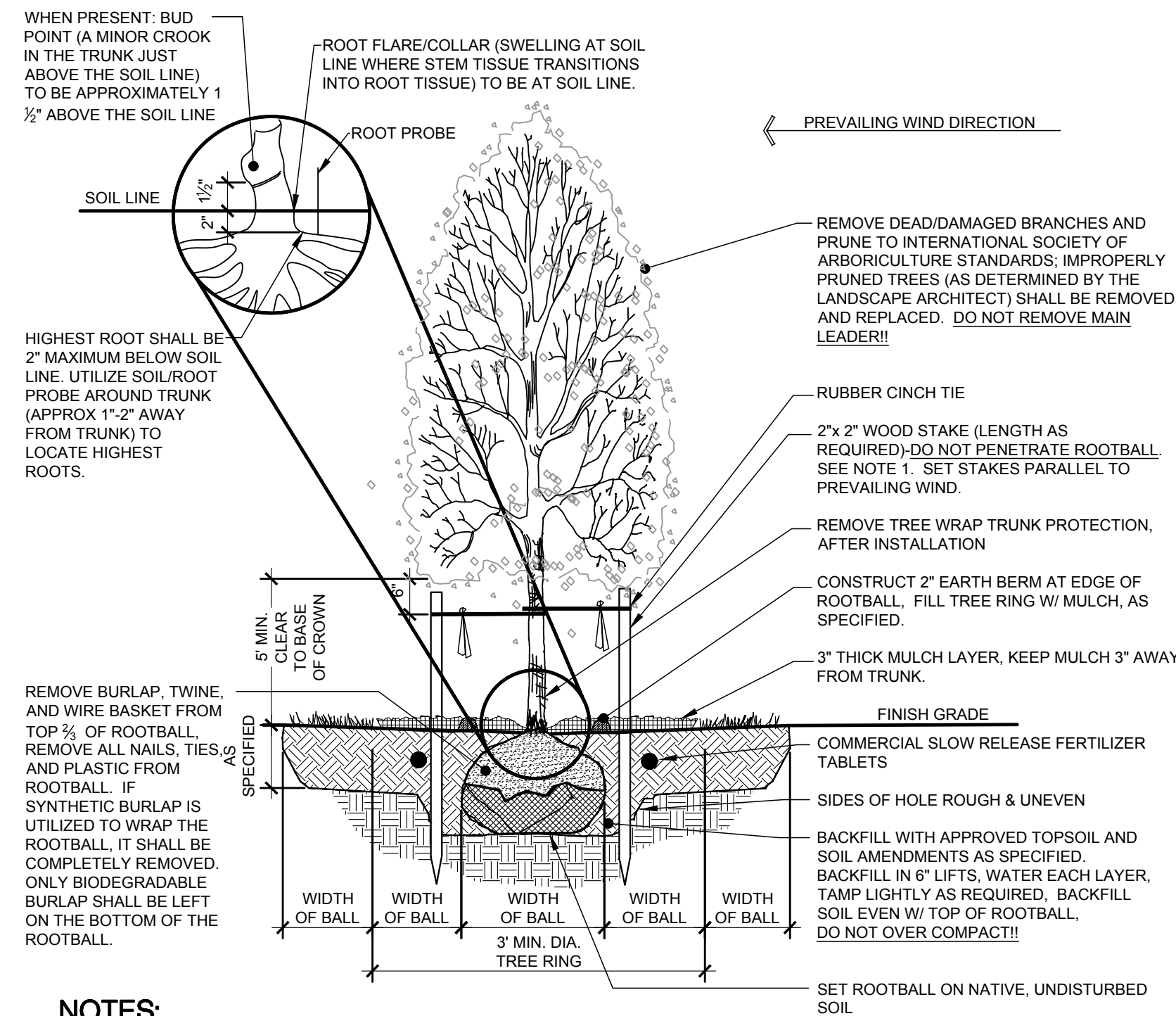
811
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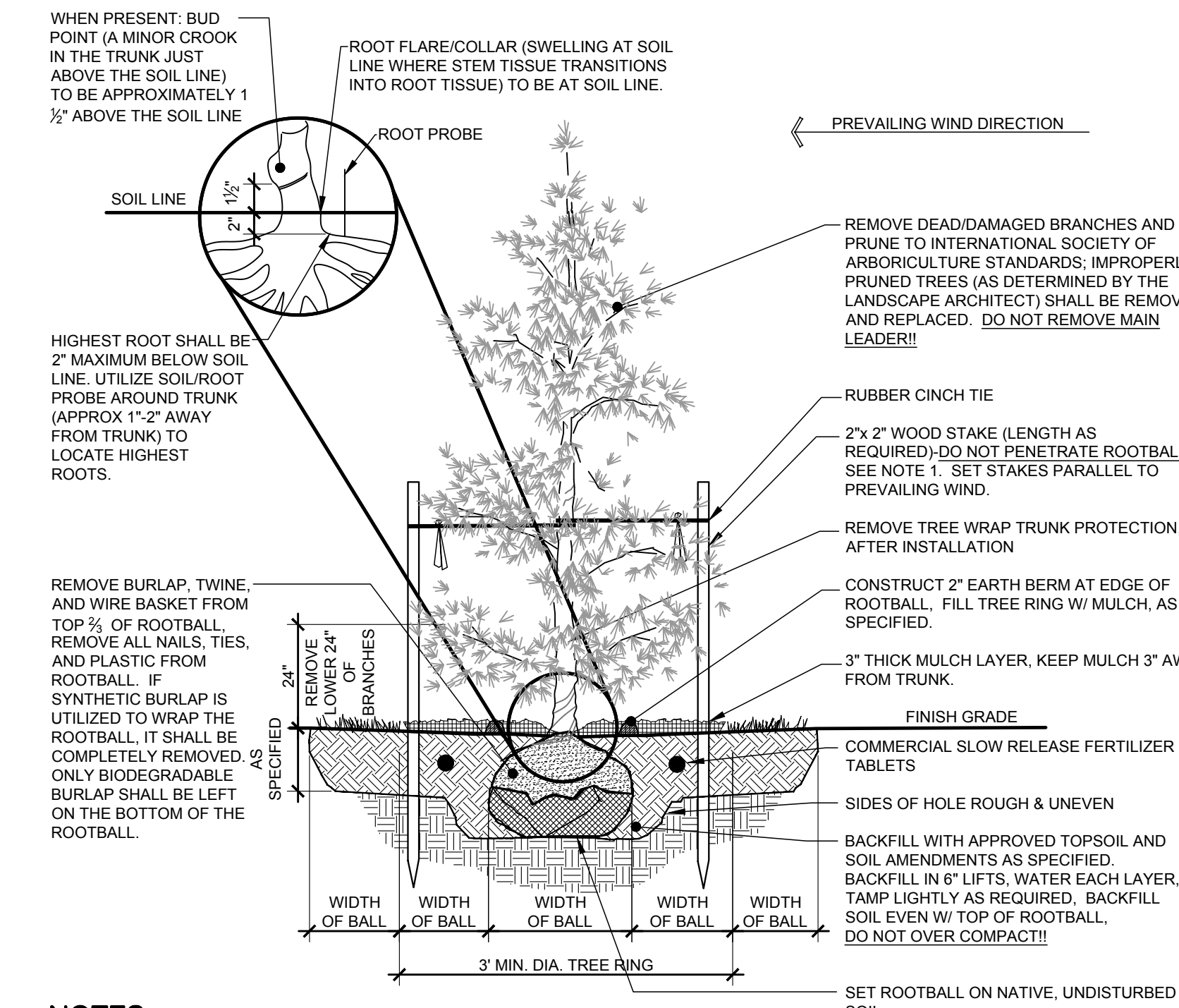
LANDSCAPE ARCHITECT
STATE OF IDAHO
LA 270
2/16/2024

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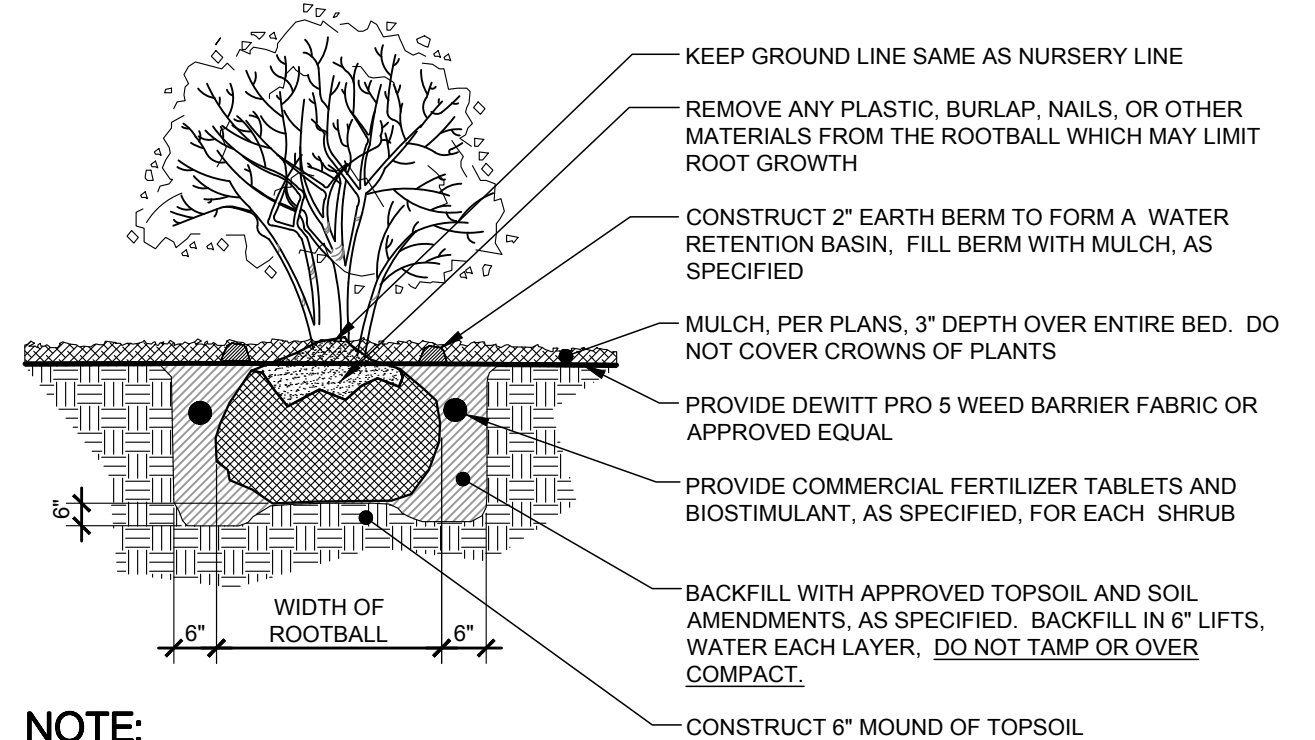
- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICHEVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 - IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - FOR TREES LOCATED WITHIN 5'-0" OF A CONCRETE CURB OR WALKWAY, PROVIDE TREE ROOT BARRIER (DEEPROUT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS. CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

1 DECIDUOUS TREE PLANTING
NOT TO SCALE



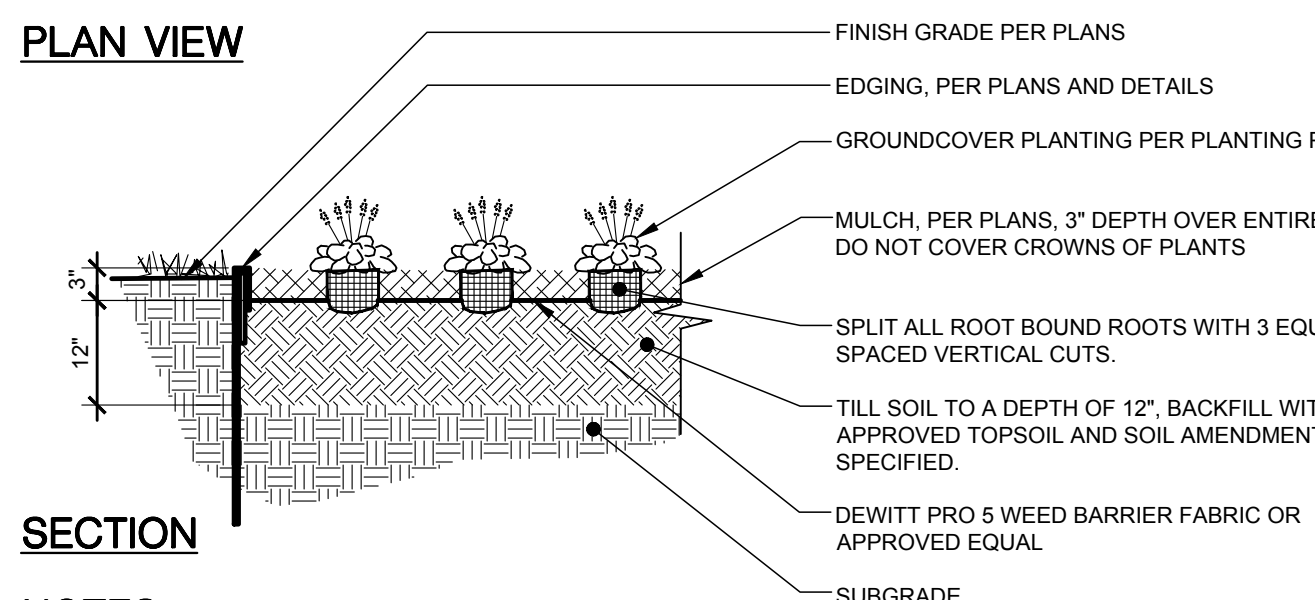
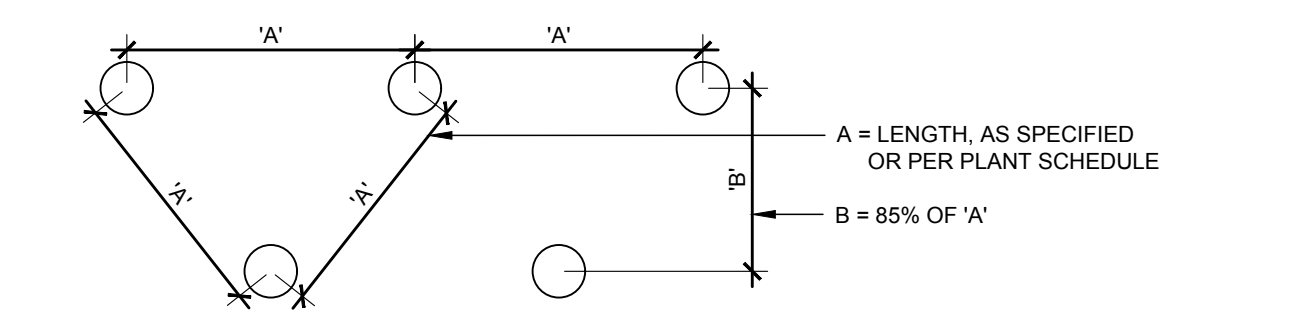
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 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

2 CONIFEROUS TREE PLANTING
NOT TO SCALE



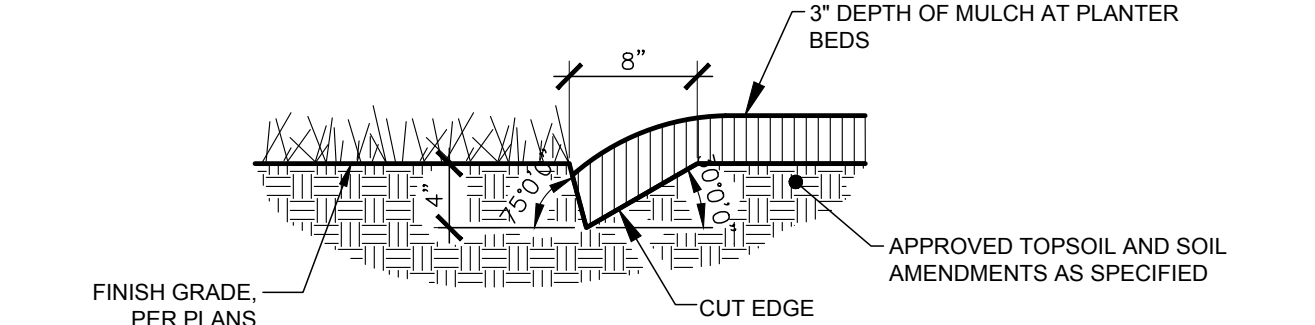
- NOTE:**
- WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
 - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

3 SHRUB PLANTING
NOT TO SCALE

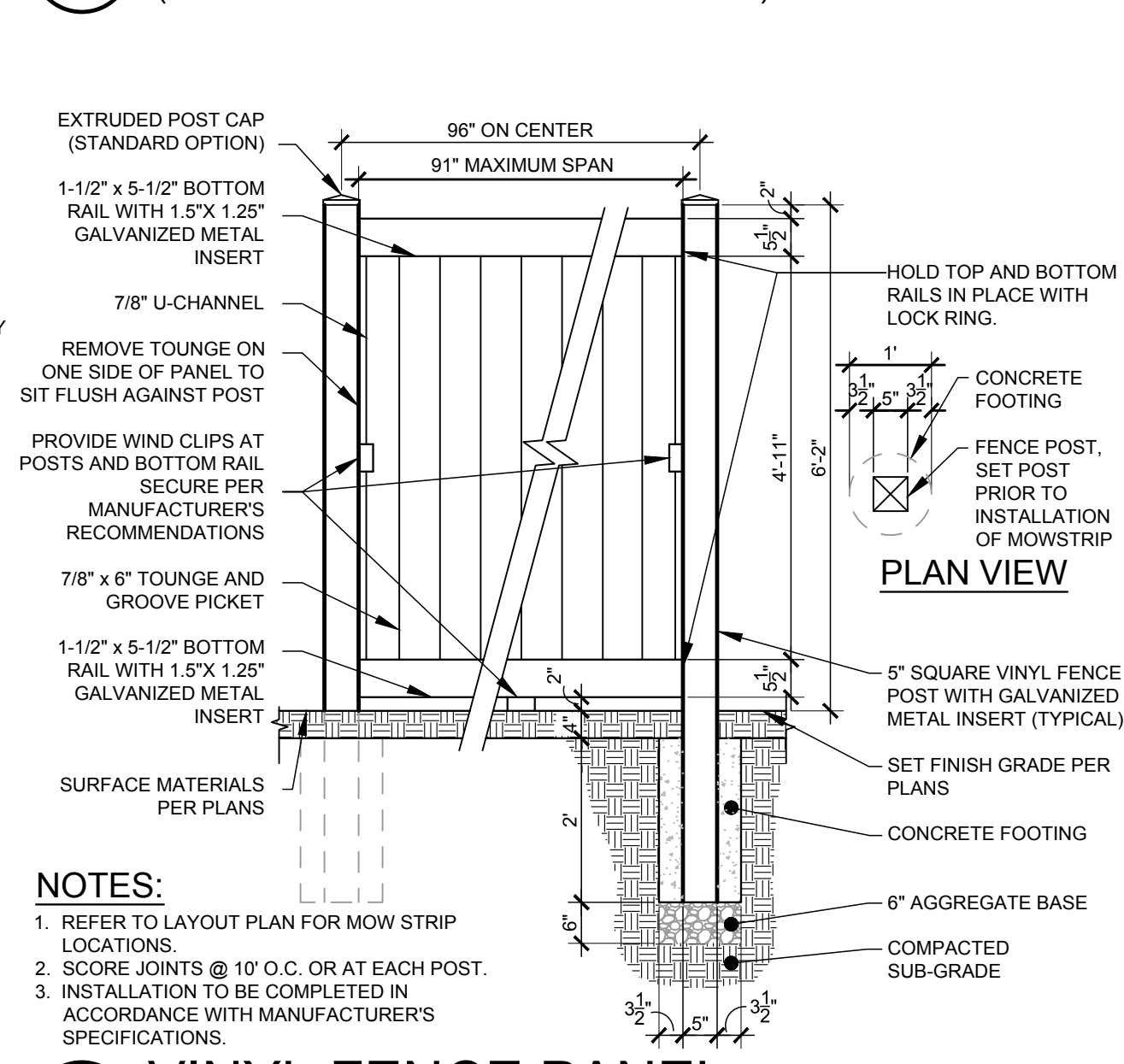


- NOTES:**
- ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
 - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

4 PERENNIAL & GROUNDCOVER PLANTING
NOT TO SCALE



5 PLANTER BED CUT EDGE
(TYPICAL AT TREES IN TURF AREAS)
NOT TO SCALE



6 VINYL FENCE PANEL
SCALE: 1/2" = 1'-0"

- NOTES:**
- REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS.
 - SCORE JOINTS @ 10' O.C. OR AT EACH POST.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

7 BERM SECTION
Scale: 3/8" = 1'-0"

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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PROFESSIONAL SEAL:

NO.	DATE	INITIALS	NOTES
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ARCHITECT LOGO:

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AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
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P: (602) 263-6502

SITE ADDRESS:
U-Haul of South Star
7230 W. Chinden Blvd.
Meridian, ID 83646

SHEET CONTENTS:
LANDSCAPE
DETAILS

718082

DRAWN: JRB
CHECKED: JDR
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L2.1

718082_A1Q

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NOT FOR
CONSTRUCTION
LA-270
3/16/2024
LANDSCAPE ARCHITECTURE

South Landscape Architecture P.C.
Db a South Beck & Baird Landscape Architecture P.C.



2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: 602.263.6841



Preliminary Proposal

SHEET 01



CURVILINEAR CORNICE TO ACCENTUATE BUILDING ELEMENTS

CHANGE IN MATERIAL COLORS TO PROVIDE VISUAL SEPARATION TO THE ELEVATION

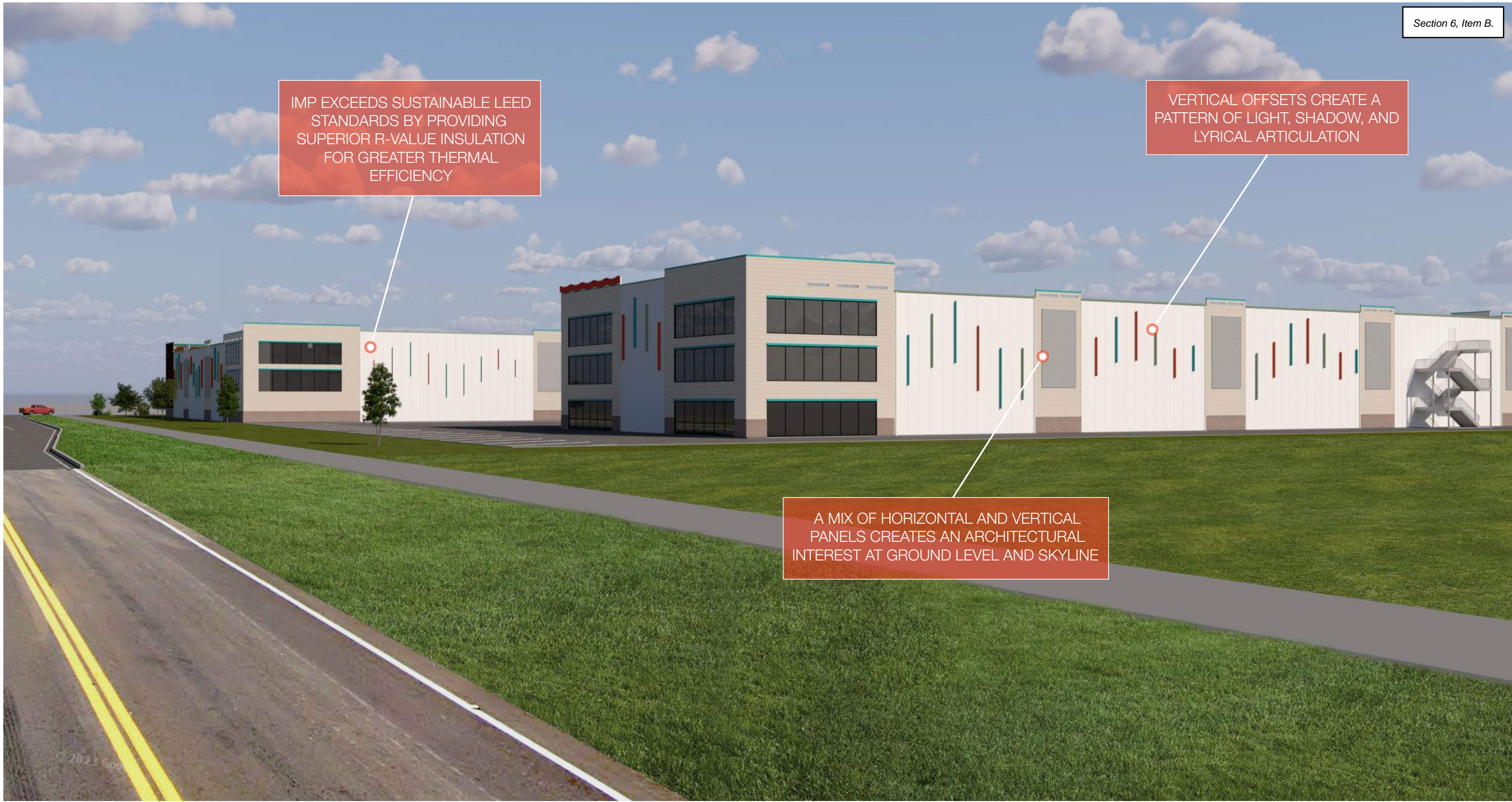
VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

PROJECTION OVER THE STORAGE LOAD/UNLOAD AREA, CREATES ARCHITECTURAL INTEREST AND PROTECTION FROM THE ELEMENTS

IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

A MIX OF HORIZONTAL AND VERTICAL PANELS CREATES AN ARCHITECTURAL INTEREST AT GROUND LEVEL AND SKYLINE



IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

ARTISTIC USE OF MATERIALS CREATES AN ARCHITECTURAL INTEREST AT THE SKYLINE

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA



2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: 602.263.6841



Southwest Elevation
Composite Rendering

SHEET 04



EAST ELEVATION - BLDG. A

Scale: 1/30" = 1'



NORTH ELEVATION - BLDG. A

Scale: 1/30" = 1'



SOUTH ELEVATION - BLDG. A

Scale: 1/30" = 1'



WEST ELEVATION - BLDG. A

Scale: 1/30" = 1'

GENERAL NOTES:

D1 - THE PROPOSED IMP USES FULL-WIDTH PANELS. **DO NOT CUT IMP** DUE TO PAINT VARIATIONS. CONTACT THE DESIGNER AT A&M ASSOCIATES TO FIND A SOLUTION. P: 602.623.6841

D2 - THE PROPOSED PROJECT CONSISTS OF **42" WIDE IMP**. DEVIATING FROM THIS SIZE PANEL WILL ALTER THE LYRICAL FIN DESIGN. PLEASE CONTACT THE DESIGNER AT A&M ASSOCIATES SO THE PLAN DRAWINGS CAN BE UPDATED. P: 602.623.6841

COLOR CHART			
A	POLAR WHITE (IMP CUSTOM COLOR)	J	SIERRA SUNSET
B	SANDSTONE (IMP CUSTOM COLOR)	K	BLUEPRINT
C	U-HAUL GREEN (MBCI CUSTOM COLOR)	L	WALNUT (FAUX WOODGRAIN FINISH)
D	GALVANIZED	M	PEWTER (BEST PANEL COMPANY)
E	DESERT JEWEL (SW 6767 AQUARIUM)		
F	SW 6884 OBSTINATE ORANGE		
G	SW 6451 NURTURE GREEN		
H	LIGHT BROOM FINISHED TILT WALL		
I	U-HAUL PROMO GREEN		

MATERIALS	
1	42"W METL-SPAN SANTA FE STUCCO EMBOSSED VERTICAL IMP
2	24"W METL-SPAN SANTA FE STUCCO EMBOSSED HORIZONTAL IMP
3	16"W METL-SPAN CONCEPT SERIES CS-620 HORIZONTAL PANELS
4	ULTRA-GRAIN CLASSIC WALNUT CARRIAGE DOORS
5	FLAT METAL PANEL
6	9"H x 3"D ARCHITECTURAL DETAILS
7	9"D LYRICAL ARTICULATED ACCENT FIN (DESIGN ELEMENT)
8	LIGHT BROOM TILT-UP CONCRETE
9	ARCHITECTURAL DETAILS
10	BEST PANEL COMPANY REVOLUTION SERIES
11	2'H x 55'W x 10'D STORAGE: LOAD/UNLOAD AWNING
12	1'H x 37'W x 2'D CUSTOMER ENTRANCE AWNING
13	HORIZONTAL LAP SIDING W/ 2"W GALVANIZED TRIM ON SIDES
14	4.5"H TRIM TYP.



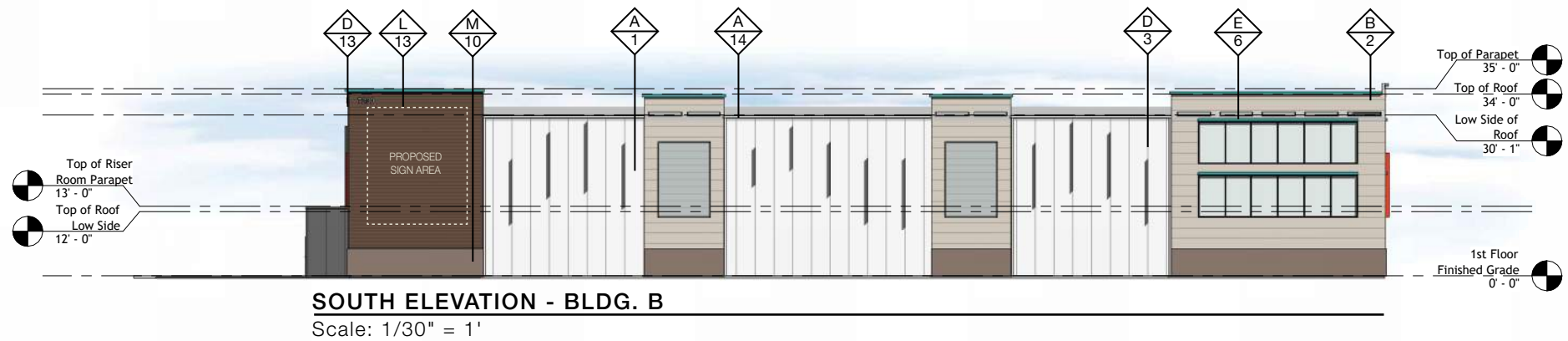
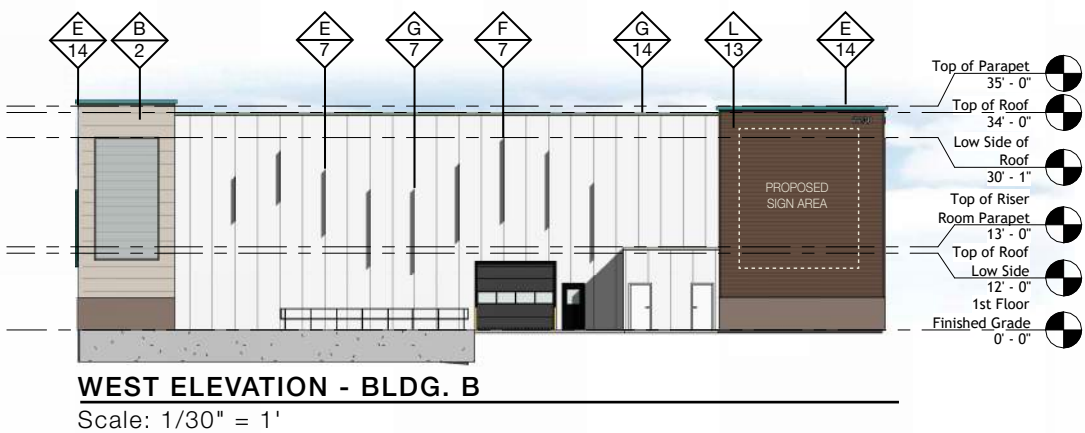
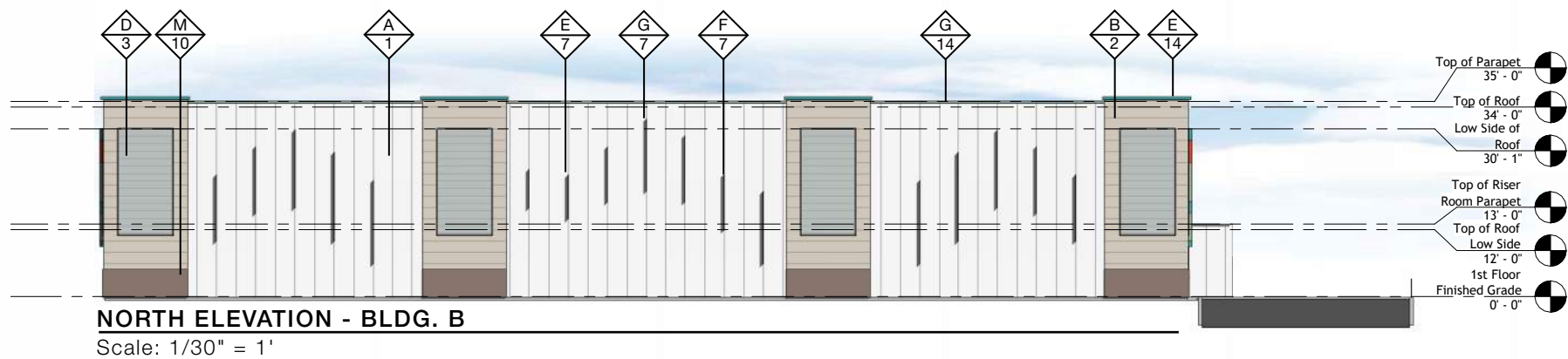
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 2727 N. CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: 602.263.6841



of South Star
 Meridian, ID
 (718082)

Colors and Materials

SHEET 05



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B	SANDSTONE (IMP CUSTOM COLOR)	K	BLUEPRINT
C	U-HAUL GREEN (MBCI CUSTOM COLOR)	L	WALNUT (FAUX WOODGRAIN FINISH)
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of South Star
Meridian, ID
(718082)

Colors and Materials

SHEET 06



NORTH ELEVATION - BLDG. C

Scale: 1/30" = 1'



WEST ELEVATION - BLDG. C

Scale: 1/30" = 1'



EAST ELEVATION - BLDG. C

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SOUTH ELEVATION - BLDG. C

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MATERIALS	
1	42"W METL-SPAN SANTA FE STUCCO EMBOSSED VERTICAL IMP
2	24"W METL-SPAN SANTA FE STUCCO EMBOSSED HORIZONTAL IMP
3	16"W METL-SPAN CONCEPT SERIES CS-620 HORIZONTAL PANELS
4	ULTRA-GRAIN CLASSIC WALNUT CARRIAGE DOORS
5	FLAT METAL PANEL
6	9"H x 3"D ARCHITECTURAL DETAILS
7	9"D LYRICAL ARTICULATED ACCENT FIN (DESIGN ELEMENT)
8	LIGHT BROOM TILT-UP CONCRETE
9	ARCHITECTURAL DETAILS
10	BEST PANEL COMPANY REVOLUTION SERIES
11	2'H x 55'W x 10'D STORAGE: LOAD/UNLOAD AWNING
12	1'H x 37'W x 2'D CUSTOMER ENTRANCE AWNING
13	HORIZONTAL LAP SIDING W/ 2"W GALVANIZED TRIM ON SIDES
14	4.5"H TRIM TYP.



A&M ASSOCIATES, INC.
 2727 N. CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: 602.263.6841



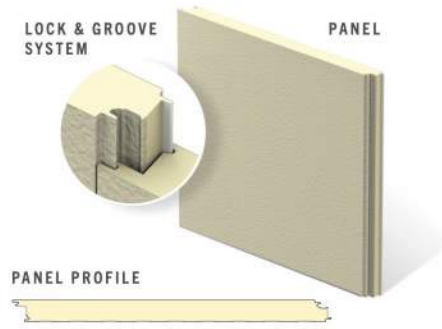
of South Star
 Meridian, ID
 (718082)

Colors and Materials

SHEET 07

Metl-Span Santa Fe (or Equivalent IMP)

The Metl-Span CF Santa Fe panel has a flat exterior profile with a heavy, embossed stucco texture that mimics the look of a masonry stucco finish but with the added value of an insulated metal panel. The profile is flush with the warmth of an old-world finish, providing a visually pleasing building.



PRODUCT SPECIFICATIONS

- WIDTH** • 24", 30", 36", 42"
- THICKNESS** • 2", 2½", 2¾", 3", 4"
- LENGTH** • 8'-0" to 32'-0" Horizontal
8'-0" to 40'-0" Vertical
- EXTERIOR PROFILE** • Flat profile with heavy embossing resembling desert southwestern appearance
- EXTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated steel in 24 and 22 Ga.
- INTERIOR PROFILE** • Light Mesa, nominal ¼" deep, embossed or unembossed
- INTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated in 26, 24 and 22 Ga.
- CORE** • Foamed-in-place, PUR Foam Core, zero ozone depleting (zero ODP) Class 1 foam
- JOINT** • Offset double tongue-and-groove with extended metal shelf for positive face fastening
- REVEAL** • Up to 1" reveal options in ¼", ½", ¾" and 1" increments

U-FACTORS AND R-VALUES**

U-FACTOR (BTU/h-ft ² -F)		R-VALUE (h-ft ² -F/BTU)	
PANEL WIDTH: 42"		PANEL WIDTH: 42"	
2"	0.059	2"	17.5
2.5"	0.046	2.5"	21.9
3"	0.038	3"	26.2
4"	0.028	4"	35.0



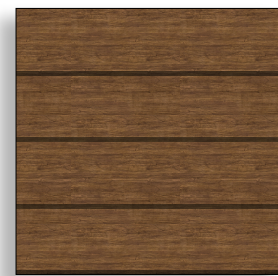
*Available only from Nevada plant
**Based on ASTM C518, ASTM C1363 and thermal modeling



Faux Brick Pewter
EXAMPLE

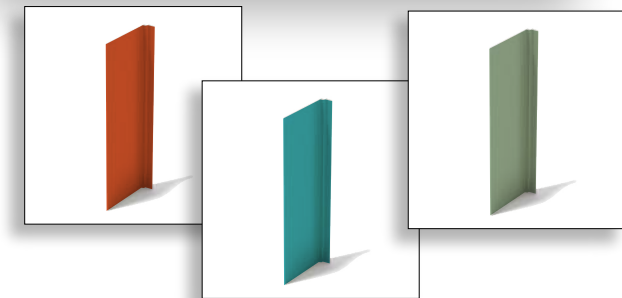


Stucco Embossed IMP
EXAMPLE



Horizontal Lap Siding
ATAS Rumba Shake
Wood grain finish
(or Equivalent)

9"D Lyrical Articulated Design Element



CS-620 Panel (or Equivalent Panel)

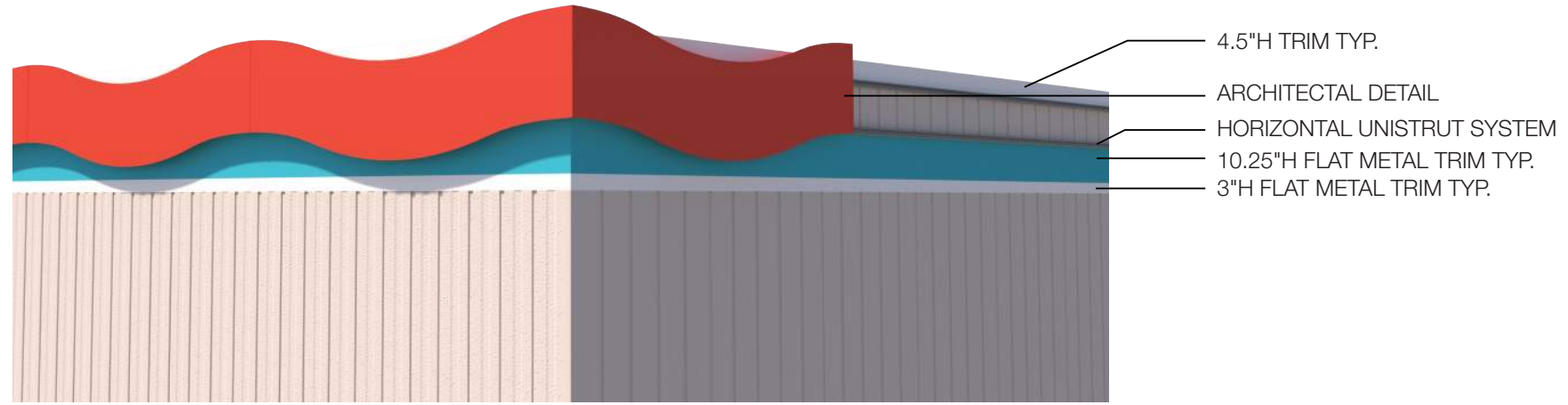
Concept Series single-skin wall panels feature concealed fasteners and a common-lock joint that allows the panels to be integrated with each other. CS-620 interchangeable single-skin metal panels have 16" wide coverage along with 7/8" deep profiled panels featuring two asymmetrical ribs.

Concealed fastener metal siding systems may vary from an uninsulated screen wall to a lock joint metal wall system utilizing BW Systems, an insulated composite backup panel system. This wall panel system has two attachment clip options.

All Concept Series wall panels can be installed in a variety of horizontal or vertical rainscreen applications to form a complete wall system.



16" w panel - CS-620



- 4.5"H TRIM TYP.
- ARCHITECTURAL DETAIL
- HORIZONTAL UNISTRUT SYSTEM
- 10.25"H FLAT METAL TRIM TYP.
- 3"H FLAT METAL TRIM TYP.



City of Star
P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569
www.staridaho.org

Mayor:
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsén
Kevan Wheelock
David Hershey

23 July 2024

Brett Gulash
Hillside Architecture
345 W Bobwhite Ct Suite 120
Boise, ID 83706

Re: U-Haul – CUP Application

Dear Mr. Gulash

The City of Star Engineering Department has reviewed the CUP for the U-Haul Moving and Storage project dated June 11, 2024. We reviewed the applicant’s package to check conformance with the City’s Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final development. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
2. Stormwater design will be required to meet City of Star code and design standards.
3. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
4. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
5. Finish grades at property boundaries shall match existing finish grades. Runoff shall be maintained on the property unless otherwise approved.

6. 10-foot easements for pressure irrigation lines will need to be shown once the applicant determines the alignment location(s) for the facilities. Show all ditch and drainage easements.
7. This subdivision will need to be annexed into the Star Sewer and Water District to provide water and sewer to the site. Easements for sewer/water facilities will be required where placed outside of public right of way.

We recommend that the application be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above referenced application does not relieve the applicant of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.
City Engineer

Enclosures



Star Fire Protection District

DATE: July 29, 2024

TO: City of Star – Planning and Zoning

CC: AMERCO Real Estate Company
Hillside Architecture – Brett Gulash

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Comment

PROJECT: U-Haul
File: AZ-24-05, DA24-05, CU-24-03

The Star Fire Protection District has reviewed the documents provided by the City of Star for the Annexation & Rezone, Development Agreement, and Conditional Use Permit applications for U-Haul comments are as follows.

The Applicant is requesting approval of an Annexation & Zoning (Commercial), a Development Agreement and Conditional Use Permit for a U-HAUL moving and storage facility to include U-Box storage warehouse and maintenance and regional business operations facility. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26) in Star, Idaho, and consists of 14.47 acres.

This development will be serviced by Station 51 located at 11665 W. State St., Star, ID. Station 51 is 4.0 miles from the development entrance with an estimated 8-minute travel time under normal driving conditions.

The Star Fire Protection District does not oppose the applications subject to compliance with all the following code requirements and conditions of approval.

CONDITIONS OF APPROVAL:

1. Codes
 - a. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. Side Set Back
 - a. Side Set back to be as per city code with no reduction allowed.
3. Water Supply
 - a. Fire hydrants, capable of producing the required fire flow, shall be located within the development.
 - i. This development will be serviced by the Star Sewer and Water district.
 - ii. Fire hydrant spacing and installation shall meet the requirements of Star Sewer and Water District.
 - iii. Accessible fire hydrants shall be installed and usable before construction of any building can begin.
 - iv. Fire Flow for each building as per IFC Appendix B Table B105.1(2)
 - v. Required hydrants on site will be based on required fire flow. Each building equipped with Fire Sprinklers shall have a hydrant located 100 ft from the FDC.



Star Fire Protection District

4. Fire Apparatus Access

- a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
- b. This project shall comply with IFC Appendix D105 Aerial Fire Apparatus Access Roads
- c. Gates and Barriers shall comply with Fire District Standards.
 - i. Information available at <https://midstarfire.org/commercial-building>
- d. No parking signs are required at the entrance and throughout the site.
- e. Emergency access to the site shall always be clear and available.

5. Addressing/Street Signs:

- a. Upon commencement of initial construction on the site, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.

6. Additional Comments

- a. The IFC Chapter 33 Fire Safety During Construction and Demolition will apply to this project.
- b. Construction of structure on this site will require fire district review for code compliance and construction permits.
- c. Applicant to submit phasing plan for review.
- d. Fire Protection Systems submittal information available at <https://midstarfire.org/fire-systems>
- e. Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.

NOTICE

**ALL ROADS ARE
FIRE LANES**

**PARK IN MARKED
STALLS ONLY**

**VIOLATING VEHICLES WILL BE
TOWED AT THE OWNERS EXPENSE
AND OR CITED**

Per International Fire Code



FIRE DISTRICT ACCESS – GATES AND BARRIERS

SCOPE AND PURPOSE

Required Fire Department Access roads and fire lanes shall always be maintained unobstructed and in good condition for vehicular usage. The Fire Department may allow closure by approved gates that comply with the standards outlined within the document.

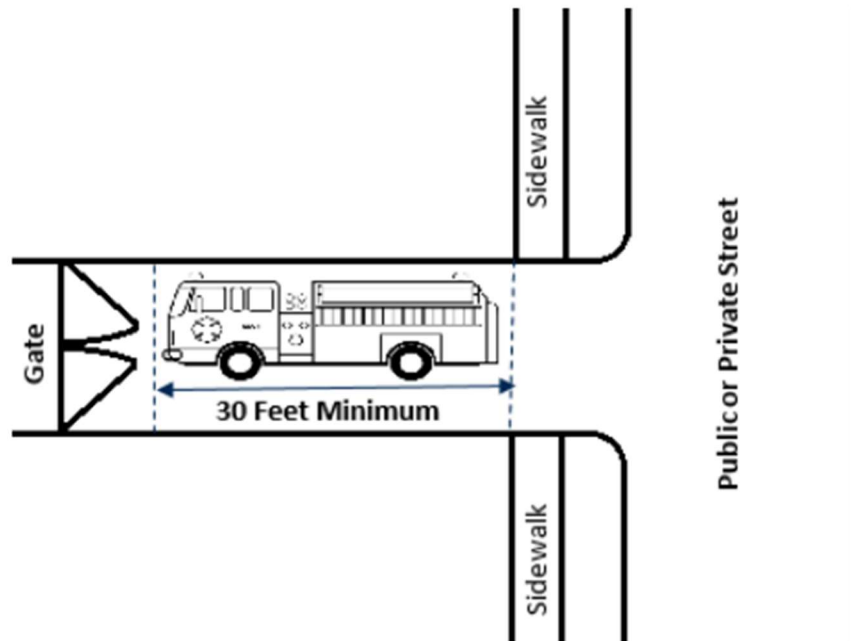
A gate or other barrier may only be installed across a required fire department access road or driveway after first submitting for a permit and being approved by the Fire Code Official and the City or County where the property is located.

WIDTH

Gate width shall be a minimum of 20 feet unobstructed. When open, gates shall not obstruct any portion of the required driveway or access road width.

GATE SET BACK (STACKING LANE)

Entry gates shall be set back from the nearest curb line of any public or private street to provide a minimum of 30 feet from the face of the curb or back of the sidewalk when there is a sidewalk so as not to obstruct vehicular or pedestrian traffic. In cases where the gate swings toward the staged fire apparatus, the additional distance shall be accounted for, and the setback increased.





ELECTRONICALLY OPERATED GATES

Key Switch (Knox Key Switch #3500 Series or KLS-3261MUG)

All gates electronically controlled shall have an approved fire department override key switch (Knox). Activation of an approved key switch for an electronically controlled gate shall open gate/gates to the fully open position within 10 seconds and remain in the open position until reset by fire department personnel. Contact the Fire Code Official before ordering.



Automatic Traffic Control – Activating Strobe Light Sensor

In addition to the Key Switch (Knox), gates accessing more than three residences or residential lots, or gates accessing hazardous, institutional, educational, multi-family, assembly occupancy group structures, or by order of the Fire Code Official, shall be equipped with an approved automatic traffic control - activating strobe light sensor capable of detecting emergency vehicle Opticom IR emitter as the vehicle approaching (exterior), overriding all commands and opening the gate(s).

An example of the above criteria that the fire districts have tested is the Fire Strobe 2000. For more information, visit <https://www.firestrobe.com>

Fail-Safe Operation Requirements

In the event of a power failure, including battery back-up, the gate(s) shall automatically open, be spring tension or other non-electrical method, or the gate must be capable of being pushed open without additional steps having to be performed.

MANUALLY (NON-AUTOMATIC) OPERATED GATES

All manually operated gates shall be designed to remain in the open position when left unattended. Manual locking mechanisms, such as padlocks, shall be Knox brand only.

Manual gates are subject to the same opening width and plan approval process as automatic gates. Manual gates shall be provided with an approved method for emergency access. Approved methods shall consist of one of the following:

- High-security padlock (Knox Brand) Keyed to the Fire Department emergency access keyway, or (Daisy Chain of locks is permitted)
- Installation of a Knox rapid access key box containing the gate key.
 - If a key is used, it shall be installed on a gate support pillar or post adjacent to the gate. The box must be visible to anyone approaching the gate at all times.





GATE SIGNAGE

An approved "No Parking Fire Lane" signage shall be installed to prevent the obstruction of the gate. Signs to be posted on both sides of the gate.



BOLLARDS



When used to limit access to a fire department access roadway or designated fire lane, Bollards shall comply with the following.

Bollards shall be Maxiforce Wrench Operated Bollards.
<https://maxiforcebollards.com/>

Bollards shall be Safety Yellow in color with Five Rows High Intensity Prismatic 1-inch wide reflective tape (Red, White, Red, White, Red) Located 2 inches from the top of the bollard, and Three Rows High-Intensity Prismatic 1-inch wide reflective Tape (Red, White, & Red)

starting 1 foot above grade.

BOLLARD SIGNAGE

An approved "No Parking Fire Lane Authorized Vehicles Only" signage shall be installed to prevent the obstruction of the bollards and unauthorized access



MAINTENANCE

The gate opening system shall be maintained in approved operating conditions as delineated below:

- The mechanical components shall be serviced regularly and maintained in an approved operating condition.
- The electrical components shall be maintained in an approved operating condition.
- A power supply shall be continuously maintained to electronic components.
- All components of the gate operating system, including Knox Switches, Automatic Traffic Control, signage, and other gate devices, shall be provided, installed, and maintained by the property owner.

LEGAL NOTICE PUBLIC HEARING

Notice is hereby given that the Star City Council will hold a Public Hearing on **August 20, 2024** at the Star City Hall, 10769 W. State Street, Star, Idaho at 7:00 pm, or as soon thereafter as the matter may be heard.

Application: Dieter & Catherine Grunder
Files # V-24-01 Variance

Representative: Bruce Hessing

Owner: Deiter & Catherine Grunder, 686 S. Star Rd. Star, Idaho 83669

Action: The Applicant is seeking approval of a variance to the standards of the Flood Plain Application. The property is located at 686 S. Star Road in Star, Idaho 83669

Property Location: The subject property is generally located at 686 S. Star Road. Ada County Parcel No R1842701804.

Information/Comments: A complete copy of the applications are available at City Hall for public review. The City invites all interested parties to attend the meeting and provide public testimony. Written comments will be accepted by the City up to 2 days prior to the date of the public hearing.

Services for persons with disabilities may be made available if notice is received in advance of the meeting by calling Star City Hall at (208) 286-7247.

Shawn L. Nickel
Planning Director and Zoning Administrator
snickel@staridaho.org



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department *Shawn T. Mack*

MEETING DATE: **August 20, 2024 – PUBLIC HEARING**

FILE(S) #: V-24-01 – 686 S. Star Road Variance

OWNER/APPLICANT/REPRESENTATIVE

<p><u>Applicant/Owner:</u> Dieter & Catherine Gruner 686 S. Star Road Star, Idaho 83669</p>	<p><u>Representative:</u> Bruce Hessing, Hesscomm 2338 W. Boulder Bar Drive Meridian, Idaho 83646</p>
--	--

REQUEST

Request: The Applicant is seeking approval of a variance from City Council to the Flood Ordinance 10-1-2 to construct a residential addition without adhering to the 2’ requirement to construct above the base flood elevation. The property is located at 686 S. Star Road in Star, Idaho.

PROPERTY INFORMATION

Property Location: The subject property is generally located on the west side of N. Star Road, south of S. Main Street. Ada County Parcel No. S0418417322.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	May 7, 2024
Neighborhood Meeting Held	July 10, 2024
Application Submitted & Fees Paid	July 15, 2024
Application Accepted	July 15, 2024
Residents within 300’ Notified	July 30, 2024
Legal Notice Published	August 4, 2024
Property Posted	August 6, 2024

HISTORY

- There are no previous applications for development on this property. The home was built in 1995. A remodel occurred in 2018.

ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN

Chapter 1 Flood Ordinance:

10-1-2: Definitions

FLOOD PROTECTION ELEVATION (FPE): The base flood elevation plus the freeboard.

1. **In special flood hazard areas where base flood elevations (BFEs) have been determined, this elevation shall be the BFE plus two feet (2') of freeboard;** and
2. In special flood hazard areas where no BFE has been established, this elevation shall be at least two feet (2') above the highest adjacent grade.

10-1-4: Administration

C. Floodplain Development Application, Permit, And Certification Requirements:

2. Permit Requirements: The floodplain development permit shall include, but not be limited to:

- a. A complete description of all the development to be permitted under the floodplain development permit (i.e. house, garage, pool, septic, bulkhead, cabana, pole barn, chicken coop, pier, bridge, mining, dredging, filling, rip-rap, docks, grading, paving, excavation or drilling operations, or storage of equipment or materials, etc.).
- b. The special flood hazard area determination for the proposed development in accordance with available data specified in subsection 10-1-3B.**
- c. The flood protection elevation required for the lowest floor and all attendant utilities.**
- d. The flood protection elevation required for the protection of all utility equipment and machinery.

E. Variance Procedures:

1. **The City Council, hereinafter referred to as the "appeal board", shall hear and decide requests for variances from the requirements of this chapter.**
2. Variances may be issued for:

- a. The repair or rehabilitation of historic structures upon the determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and that the variance is the minimum necessary to preserve the historic character and design of the structure;
 - b. Functionally dependent facilities, if determined to meet the definition as stated in section 10-1-2, provided provisions of subsections E8b, E8c, and E8d have been satisfied, and such facilities are protected by methods that minimize flood damages during the base flood and create no additional threats to public safety; or
 - c. Any other type of development, provided it meets the requirements of this section.
3. In passing upon variances, the appeal board shall consider all technical evaluations, all relevant factors, all standards specified in other sections of this chapter, and:
- a. The danger that materials may be swept onto other lands to the injury of others;
 - b. The danger to life and property due to flooding or erosion damage;
 - c. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 - d. The importance of the services provided by the proposed facility to the community;
 - e. The necessity to the facility of a waterfront location as defined under section 10-1-2 as a functionally dependent facility, where applicable;
 - f. The availability of alternative locations, not subject to flooding or erosion damage, for the proposed use;
 - g. The compatibility of the proposed use with existing and anticipated development;
 - h. The relationship of the proposed use to the comprehensive plan and floodplain management program for that area;
 - i. The safety of access to the property in times of flood for ordinary and emergency vehicles;
 - j. The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
 - k. The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, and streets and bridges.
4. The applicant shall include a written report addressing each of the above factors in subsections E3a through E3k with their application for a variance.
5. Upon consideration of the factors listed above and the purposes of this chapter, the appeal board may attach such conditions to the granting of variances as it deems necessary to further the purposes and objectives of this chapter.
6. Any applicant to whom a variance is granted shall be given written notice specifying the difference between the base flood elevation (BFE) and the elevation to which the structure is to be built and that such construction below the BFE increases risks to life and property, and that the issuance of a variance to construct a structure below the BFE will result in increased premium rates for flood insurance up to twenty five dollars (\$25.00) per one

hundred dollars (\$100.00) of insurance coverage. Such notification shall be maintained with a record of all variance actions, including justification for their issuance.

7. The Floodplain Administrator shall maintain the records of all appeal actions and report any variances to the Federal Emergency Management Agency and the State of Idaho upon request.

8. Conditions For Variances:

- a. Variances shall not be issued when the variance will make the structure in violation of other Federal, State, or local laws, regulations, or ordinances.
- b. Variances shall not be issued within any designated floodway if the variance would result in any increase in flood levels during the base flood discharge.
- c. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
- d. Variances shall only be issued prior to development permit approval.
- e. Variances shall only be issued upon:
 - 1) A showing of good and sufficient cause;
 - 2) A determination that failure to grant the variance would result in exceptional hardship; and
 - 3) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances.

PROJECT OVERVIEW

VARIANCE:

The applicant is requesting a variance to Section 10-1-2 of the Star Municipal Code Flood Ordinance regarding the Flood Protection Elevation (FPE) requirement of a new addition to an existing single-family dwelling to be two feet (2') above the base flood elevation (BFE). The owner's representative indicates that a new addition is being sought for the existing residence, and that compliance with the requirement to construct the new addition "roughly 1.6 feet above finish floor" of the existing dwelling would negatively impact the owner's accessibility within the structure due to physical mobility limitations of the owner. The applicant requests a variance from the Council to remedy this "unique hardship".

PUBLIC RESPONSES

Idaho Department of Water Resources

May 23, 2024 Via Email

STAFF ANALYSIS & RECOMMENDATIONS

The City of Star Floodplain Manager has reviewed the variance request and supporting documentation and has recommended denial of the request for variance before the Council. In the review letter provided by the Manager, it is stated that alternative construction options exist that would allow ADA accessibility to be achieved without the need for the variance. In addition, the letter indicates that floodplain elevations are dictated by FEMA, with the City being responsible for maintaining an ordinance requirement on the additional elevation from the base flood that is a State of Idaho standard. Finally, it is pointed out in the letter the increased risks to the well-being of the owner, given their mobility concerns, along with the increased safety risks of emergency responders due to rising floodwaters within a floodplain during a 100-year flood event, should these standards not be followed.

The Council should consider the entire record and testimony presented at their scheduled public hearing, including testimony from the applicant and additional input from the City Flood Administrator, and any additional public testimony prior to rendering its decision on the matter. Council should determine if the approval of the variance to allow the addition to the existing residential structure without the addition being elevated 2' above the base flood elevation would meet the following:

- f. Variances shall only be issued upon:
 - 4) A showing of good and sufficient cause;
 - 5) A determination that failure to grant the variance would result in exceptional hardship; and
 - 6) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, or extraordinary public expense, create nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances.

Should the Council vote to approve the variance, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

COUNCIL DECISION

The Star City Council _____ File Number V-24-01 for 686 S. Star Road on _____, 2024.



VICINITY MAP
NOT TO SCALE

ACKERMAN ESTVOLD
 7661 West Riverside Drive, Ste. 102 · Garden City, ID 83714
 208.853.8470 · www.ackerman-estvold.com
Professional Engineer License # 46369

GRUNER RESIDENCE
 686 S STAR ROAD, STAR, IDAHO

DRAWN BY: AMC
 CHECKED BY: AMC

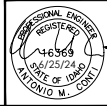
DATE: 06/25/2024

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Δ	-/-/----
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Project No.
R24073

DRAWING NAME
VICINITY MAP

1



Application for Variance: Narrative

Introduction:

I, Bruce Hessing, on behalf of the property owner, Dieter and Catherine Gruner, hereby submit this application for a variance for the property located at 686 S. Star Rd. Star, Idaho 83669, within the city of Star. The purpose of this variance is to address a unique hardship specific to the site, taking into consideration the fact that the property owner has mobility issues. This variance is sought without granting any special privileges or rights that are not otherwise permitted within the city.

Statement of Purpose:

We are proposing to construct an addition to the existing house to allow handicap mobility; due to the change in the Boise Flood Elevation, we were told that the new addition should be 2' above base elevation, which amounts to roughly 1.6' above finished floor therefore not making the addition ADA accessible. The requested variance is not intended to provide any special privileges or rights that are not afforded to other properties within the city. Instead, it seeks to alleviate an undue hardship resulting from the unique characteristics of the site, particularly in light of the property owner's handicap accessibility needs.

Justification:

The property at 686 S. Star Rd. Star, Idaho 83669 faces a unique set of challenges due to its topography and location within the designated flood plain of the city, compounded by the accessibility requirements of the property owner. The current flood plain regulations pose significant limitations on the development potential of the site, making it difficult to conform without causing undue hardship to the property owner, who has mobility issues.

Compliance with Regulations:

It is crucial to emphasize that the variance being sought will not result in any special privileges that are denied to other lands, structures, or buildings within the city. FEMA dictates flood elevation height approximately 2' lower than the city of star flood elevations. The proposed variance aims to bring the property into alignment with the city regulations while addressing the specific challenges that the site presents, essential in accommodating mobility needs. Also, considering the adjoining neighbor to the south successfully obtained approval for their permit.

Community Impact:

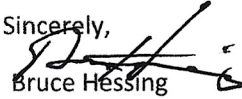
The granting of this variance will not be detrimental to public health, safety, or welfare. On the contrary, it will enable the responsible and sustainable development of the property in a manner that is inclusive and accessible, thereby enhancing the quality of life for the property owner and contributing positively to the surrounding community and neighborhood.

Conclusion:

In conclusion, the requested variance is essential to address the unique hardships presented by the site at 686 S. Star Rd. Star, Idaho 83669, particularly in consideration of the property owner's mobility needs. This variance will allow for a reasonable and fair use of the property while ensuring that the rights and privileges of others in the city are not compromised. I respectfully urge the mayor and city council to consider this application favorably and grant the variance to facilitate the appropriate development of the property.

Thank you for your attention to this matter.

Sincerely,



Hesscomm

Bruce.hesscom@aol.com



07/15/2024 2:34:05 PM

VARIANCE APPLICATION

***All information must be filled out to be processed.

File No.: <u>V-24-01</u>	Fee Paid: _____
Date Application Received: <u>07/15/2024</u>	Fee Paid: _____
Processed by: City: <u>BN</u>	

Applicant Information:

PRIMARY CONTACT IS: Applicant ___ Owner ___ Representative

Applicant Name: Dieter and Catherine Gruner
 Applicant Address: 686 S. Star Rd Star, ID Zip: 83669
 Phone: 805 588 3061 Fax: _____ Email: dcg1820@gmail.com

Owner Name: Dieter and Catherine Gruner
 Owner Address: 686 S. Star Rd Star, ID Zip: 83669
 Phone: 805 588 3060 Fax: _____ Email: dcg1820@gmail.com

Representative (e.g., architect, engineer, developer):
 Contact: Bruce Hessing Firm Name: Hesscomm
 Address: 2338 W. Boulder Blvd Meridian, ID Zip: 83646
 Phone: 208 831 7111 Fax: _____ Email: bruce.hesscom@aol.com

Property Information:

Site Address: 686 S. Star Rd Star, ID 83669
 Approved Zoning: R1C Parcel Number(s): R1842701804

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (✓)	Description	Staff (✓)
✓	Pre-application meeting with the Planning Department required prior to neighborhood meeting.	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
✓	Completed and signed Variance Application	BN
✓	Fee	

✓	Narrative fully describing the request: (must be signed by applicant) Address in the narrative how this request meets the following findings: <ul style="list-style-type: none"> ➤ The variance shall not grant a right or special privilege that is not otherwise allowed in the district. ➤ Granting the variance will not provide any special privilege that is denied to other lands, structures or buildings in the same district. ➤ The variance relieves an undue hardship because of characteristics of the site ➤ The variance shall not be detrimental to the public health, safety, and welfare. 	BN
✓	Recorded warranty deed for the subject property	
✓	One (1) 8 ½" X 11" Copy of the recorded plat the property lies within	BN
✓	Legal description of the subject property with engineer's seal. (Lot, Block, and Subdivision name if located in a recorded subdivision OR a metes and bounds legal description of the property if not in a subdivision) <ul style="list-style-type: none"> • Submit two (2) paper and one (1) electronic copy 	BN
✓	Two (2) 11" X 17" vicinity maps showing the location of the subject property	BN
✓	One (1) 8 ½" X 11" vicinity maps showing the location of the subject property	BN
✓	Two (2) 11" X 17" copies of site plan	
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Names and addresses, printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office.	BN
	Two (2) Electronic versions of the site plan, vicinity map, & legal description in PDF format submitted on disks with the files named with project name & plan type. We encourage you to submit at least one color version.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form)	

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Brian Bruner
Applicant/Representative Signature

6/11/2024
Date

****Note:** All presentation boards, material boards, and documentation that are a part of the public hearing shall become property of the City of Star.



Saint Alphonsus

A Member of Trinity Health

Section 6, Item C.

SAINT ALPHONSUS STAR FAMILY MEDICINE

10717 W STATE ST

STAR ID 83669-6046

Phone: 208-302-6300

Fax: 208-302-6355

July 2, 2024

Patient: **Dieter Gruner**

Date of Birth: **6/16/1945**

Date of Visit: **6/27/2024**

To Whom It May Concern:

Dieter Gruner was seen in my clinic on 6/26/2024. He has parkinson's, history of falls and an unsteady gait requiring the use of a 4 wheeled walker for safe ambulation. He would benefit from widened doorways in his home to allow for easy mobility. In addition would benefit from having his home as a single level given his chronic gait issues are expected to continue.

If you have any questions or concerns, please don't hesitate to call.

Sincerely,

Nathan R Mason, MD

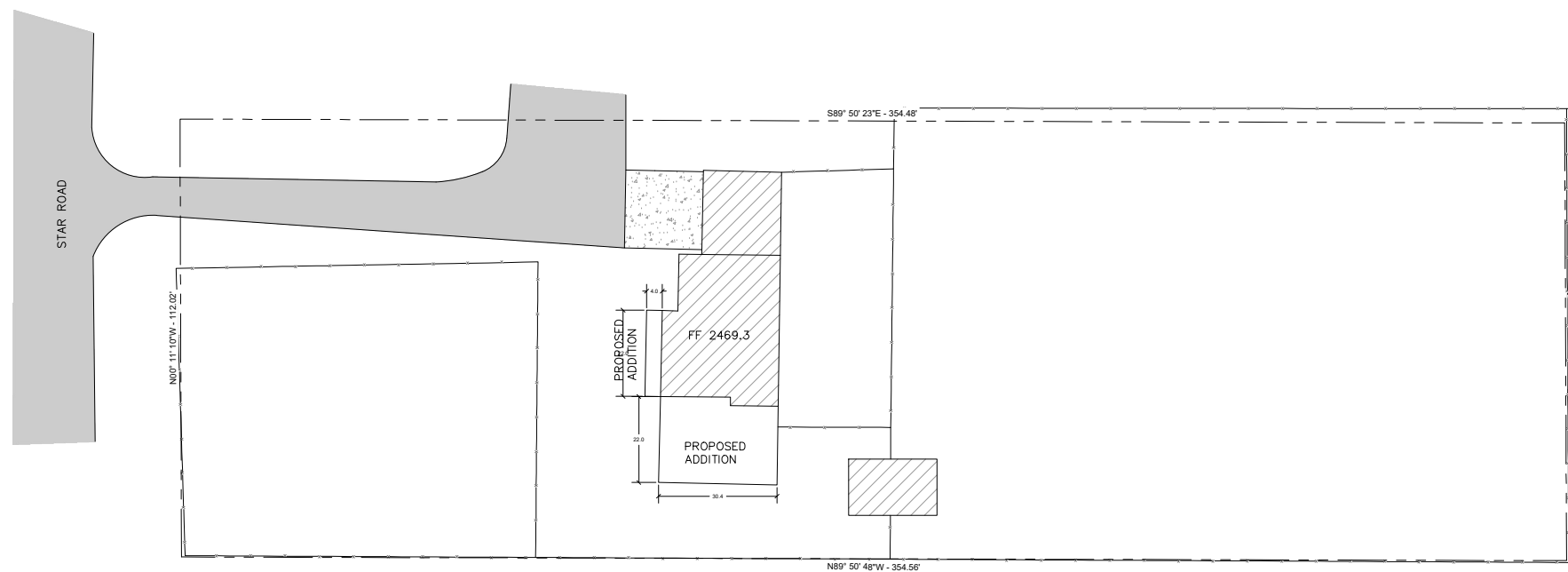
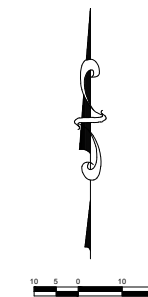
CC:

No Recipients

ACKERMAN
ESTVOLD
7661 West Riverside Drive, Ste. 102 · Garden City
208.853.6470 · www.ackerman-estvold.com
Minot, ND | Fargo, ND | Williston, ND | Boise, ID

BOUNDARY INFORMATION IS APPROXIMATE. A
BOUNDARY SURVEY WAS NOT PERFORMED AT
THIS TIME

FLOOD INFORMATION
ZONE AE
BASE FLOOD ELEVATION: 2,468.9



GRUNER RESIDENCE
686 S STAR ROAD, STAR, IDAHO

DRAWN BY: AMC
CHECKED BY: AMC

DATE: 06/25/2024

REVISIONS

#	DATE
1	--/--
2	--/--
3	--/--

Project No.
R24073

DRAWING NAME
SITE PLAN



City of Star

P.O. Box 130
Star, Idaho 83669
208-286-7247
Fax 208-286-7569

www.staridaho.org



Mayor: Section 6, Item C.
Trevor A. Chadwick

Council:
Kevin Nielsen
Jennifer Salmonsens
Kevan Wheelock
David Hershey

8 August 2024

Bruce Hessing
Hesscomm
2338 W Boulder Bar Dr
Meridian, ID 83642

Re: Gruner Home Floodplain Variance Application

Dear Mr. Hessing

As the City Floodplain Manager, I have reviewed your Variance Application and supporting documents submitted to the City on July 15, 2024. I am recommending denial of the application. The reasons for my recommendation are listed in the following paragraphs.

First, you indicate that this variance is based on a unique hardship. While I understand that your client has some health concerns and limited mobility, I received a similar request for constructing an addition to a home located around the corner from this property only two months ago. During my conversations with that property owner, they also mentioned their limited mobility and difficulty with stairs. I sympathize with health concerns but suggest that they are not a unique situation, even for homes located within the floodplain.

Secondly, you claim that construction of a finish floor higher than the existing floor would make the house non-ADA accessible. There are ways to construct the home with the elevated floor ADA accessible. Again, referring to the other property around the corner from you, we explored several options, including the construction of a ramp located within an adjacent hallway to the new elevated rooms.

Some additional clarifications I would like to provide here. The City of Star does not dictate or determine floodplain elevations, that is done by FEMA and their consultants. Star does have a floodplain ordinance that requires buildings to elevate the finish floor of a building two feet above the Base Flood Elevations determined by FEMA. This requirement is not unusual and is the recommended requirement by the State of Idaho. The language used in our ordinance is included as part of the State's standard floodplain ordinance template.

You also refer to your neighbor to the south successfully obtaining a building permit. I assume you are referring to 720 S Star Road. If I am correct in this assumption, they went through the

floodplain ordinance, submitted a floodplain application and met all the requirements. Their existing building was already elevated to the required height of the floodplain ordinance and so their new addition was also in compliance with this ordinance. Additionally, Your claim that the proposed variance aims to bring the property into alignment with the City regulations is an incorrect statement. If you wanted to bring it into compliance you would not need a variance request.

Finally, I disagree with your claim that granting the variance will not be detrimental to public health, safety or welfare. I would argue that you are actually creating more health, safety and welfare concerns. What happens if a 1.0 percent flood (also known as the hundred-year flood) as determined by FEMA where to occur. Your client with their limited mobility would be trapped in the home, the additional elevation would allow them to remain in the home safe from rising floodwaters. A rescue attempt for homes not built to the Flood Ordinance requirements also endangers emergency responders. This request, while it may appear to reduce cost, in the long term that is not the case. Your client would be responsible for higher insurance premiums and the cost to rebuild after flood may be higher. It also increases the City and possibly the surrounding community cost to rebuild as there will be more potential for damage to the home and furnishings. This is the exact reason for floodplain ordinances.

Again, I am sympathetic to the health concerns of your client but do not feel that granting a variance to the floodplain ordinance does them, the community or the first responders, any long-term benefits. There are other alternatives for constructing a safe home to meet their needs. I have reached out to the State Floodplain Coordinator regarding this matter, and he agrees with the recommendation for denial. I have included his email, and the preceding emails to his comments for your review.

Sincerely,

Ryan V. Morgan, P.E.
Floodplain Manager/City Engineer

Ryan Morgan

From: Jackson, Peter <Peter.Jackson@idwr.idaho.gov>
Sent: Thursday, May 23, 2024 8:02 AM
To: Ryan Morgan; Antonio Conti; Bruce Hessing
Cc: Building Dept; Shawn Nickel; Ryan Field; Tim Clark
Subject: RE: 686 S Star Road

Ryan,

The City of Star is correctly looking out for the safety of its residents.

This area is in a Special Flood Hazard Area, Zone AE. Variances are not a good idea and add increased risks to the public.

Granting a Variance for a homeowner that is dependent on a walker only increases the risk to persons during a flood event and makes emergency response a greater risk.

Items # 2 & 9 in your variance procedures are highlighted below.

Variance Procedures:

1. The City Council, hereinafter referred to as the "appeal board", shall hear and decide requests for variances from the requirements of this chapter.
2. Variances may be issued for:
 1. The repair or rehabilitation of historic structures upon the determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and that the variance is the minimum necessary to preserve the historic character and design of the structure;
 2. Functionally dependent facilities, if determined to meet the definition as stated in section 10-1-2, provided provisions of subsections E8b, E8c, and E8d have been satisfied, and such facilities are protected by methods that minimize flood damages during the base flood and create no additional threats to public safety; or
 3. Any other type of development, provided it meets the requirements of this section.
3. In passing upon variances, the appeal board shall consider all technical evaluations, all relevant factors, all standards specified in other sections of this chapter, and:
 1. The danger that materials may be swept onto other lands to the injury of others;
 2. The danger to life and property due to flooding or erosion damage;
 3. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 4. The importance of the services provided by the proposed facility to the community;
 5. The necessity to the facility of a waterfront location as defined under section 10-1-2 as a functionally dependent facility, where applicable;
 6. The availability of alternative locations, not subject to flooding or erosion damage, for the proposed use;
 7. The compatibility of the proposed use with existing and anticipated development;
 8. The relationship of the proposed use to the comprehensive plan and floodplain management program for that area;
 9. The safety of access to the property in times of flood for ordinary and emergency vehicles;
 10. The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and

11. The costs of providing governmental services during and after flood conditions, maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, and streets and bridges.

IDWR supports the City of Star in their recommendation of denial of a variance at this location.

IDWR recommends that you verify that these two additions do not exceed your Substantial Improvement provision of your ordinance.

Please let me know if you have any other questions or concerns. I am available to attend a meeting to discuss further.

Thanks for all that you do,



*Peter Jackson, CFM
Idaho Dept. of Water Resources
State Floodplain Manager/NFIP
Coordinator*

Office # 208-287-4973
Cell # 208-912-5123

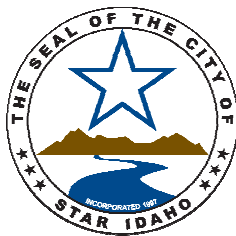
Peter.Jackson@idwr.idaho.gov
<https://www.idwr.idaho.gov/floods/>

From: Ryan Morgan <rmorgan@staridaho.org>
Sent: Thursday, May 23, 2024 7:51 AM
To: Antonio Conti <Antonio.Conti@ackerman-estvold.com>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>; Jackson, Peter <Peter.Jackson@idwr.idaho.gov>; Shawn Nickel <snickel@staridaho.org>; Ryan Field <rfield@staridaho.org>; Tim Clark <tclark@staridaho.org>
Subject: RE: 686 S Star Road

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

See comments

Ryan V. Morgan; P.E., CFM
City Engineer
City of Star
P.O. Box 130
Star, ID 83669
208-286-7247 x3002



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From: Antonio Conti <Antonio.Conti@ackerman-estvold.com>
Sent: Wednesday, May 22, 2024 7:19 PM
To: Ryan Morgan <rmorgan@staridaho.org>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>; Jackson, Peter <Peter.Jackson@idwr.idaho.gov>; Shawn Nickel <snickel@staridaho.org>; Ryan Field <rfield@staridaho.org>; Tim Clark <tlark@staridaho.org>
Subject: RE: 686 S Star Road

Ryan,

Thank you for the detailed response. There are a couple of items I would like to point out.

Portion of the improvements are tied to extending the bedroom for 4' so the owner can easily move around the bed with the walker. This extension account for less than 50SF and needs to be at level with the existing finish floor. **This is still a structural change and a building expansion and therefor must meet current code requirements. If the improvements where to be done all within the existing structure then the rules are a little more flexible. I also want to point out that if the wall is removed then the entire room has to be elevated. See link to the document below. Specifically the Figure 8-4 on page 8-12.**

https://www.fema.gov/pdf/floodplain/nfip_sg_unit_8.pdf

The other expansion could be handled with ramps on the inside of the house if we have to.

I do not agree with labeling this house a non-conforming use. When the house was built it was constructed above the then Base Flood Elevation. FEMA decided to raise the BFE. The finish floor is still above the BFE but does not meet the 2' freeboard which is a City requirement. **See the definition of nonconforming use.**

NONCONFORMING STRUCTURE: A structure that was lawfully constructed and/or existing prior to the effective date of this title but that does not conform to the standards for the district in which it is located.

NONCONFORMING USE: A use that lawfully existed prior to the effective date of this title but that does not now conform to the allowed uses for the district in which it is located. For the purposes of this title, **nonconforming** parking lot design and landscaping shall be deemed a **nonconforming** use.

This is the exact thing that is labeled as nonconforming, it was built under old codes but does not meet new codes.

Variances are usually granted due to undo hardship and forcing an elderly person with a walker to go up steps or ramps is an undue hardship. **That is your opinion, but in my opinion does not meet the other requirements outlined in the variance, there are other solutions, and any response I provide to a variance request will state as much.**

Could we set up the pre application meeting to go over this ? I do not schedule the preapps, this is something that has to go to City Council so you will have to schedule this with Shawn.

Thank you

Antonio Conti
Ackerman-Estvold

From: Ryan Morgan <rmorgan@staridaho.org>
Sent: Wednesday, May 22, 2024 2:14 PM
To: Antonio Conti <Antonio.Conti@ackerman-estvold.com>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>; Jackson, Peter <Peter.Jackson@idwr.idaho.gov>; Shawn Nickel <snickel@staridaho.org>; Ryan Field <rfield@staridaho.org>; Tim Clark <tclark@staridaho.org>
Subject: RE: 686 S Star Road

Antonio,

Here is what our Code says on variances

8-1B-6: Variance

1. Authority To Grant Variances: The council may authorize, in specific cases, such variance from the terms of this title as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this title would result in unnecessary hardship. No nonconforming use of neighboring lands, structures or buildings in the same district and no permitted or nonconforming use of lands, structures or buildings in other districts shall be considered grounds for issuance of a variance. Variances shall not be granted on the grounds of convenience or profit, but only where strict application of the provisions of this title would result in unnecessary, non-financial hardship.
2. Process:
 1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a variance.
 2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.
 3. An application and fees shall be submitted to the administrator on forms provided by the city.
3. Standards: The variance shall comply with Idaho Code section 67-6516. A variance may be considered as a waiver of development standards when associated with a conditional use permit, development agreement or planned unit development.
4. Required Findings: In order to grant a variance, the council shall review the application at a public hearing and use its discretion to make the following findings:
 1. The variance does not grant a right or special privilege that is not otherwise allowed in the district;
 2. The variance relieves an undue hardship because of characteristics of the site, which must be other than financial in nature; and
 3. The variance is not detrimental to the public health, safety, and welfare.

8-2-4: Nonconforming Use

1. The nonconforming use may continue as long as the use remains lawful and is not extended, subject to the following provisions:
 1. Alteration: No existing structure containing a nonconforming use may be enlarged, extended, constructed, reconstructed, moved or structurally altered except: a) through the approval of a conditional use permit in accord with the procedures set forth in this title; or b) where the use of the structure is changed to a conforming use.
 2. Extension: A nonconforming use may be extended to occupy additional land area only through the approval of a conditional use permit in accord with the procedures set forth in this title.
2. If a nonconforming use has ceased for twelve (12) consecutive months or has been replaced with a conforming use, the nonconforming use shall be deemed abandoned and shall not be reestablished.
3. A nonconforming use or structure housing a nonconforming use that is damaged more than fifty percent (50%) of its current assessed taxable value by fire, flood, explosion, wind, earthquake, war, riot, calamity, or other catastrophic event, shall comply with this title upon reconstruction. If the damage to the nonconforming use or structure housing the nonconforming use is fifty percent (50%) or less of its current assessed taxable value, the nonconforming use may continue, provided that the nonconforming use commences within twelve (12) months of the event.

8-2-5: Nonconforming Structure

1. Nonconforming structures may be enlarged, repaired or modified, with approval of a conditional use permit, provided that the additions or modifications to the structure conform to the requirements of this title.
2. A nonconforming structure that is damaged more than fifty percent (50%) of its current assessed taxable value by fire, flood, explosion, wind, earthquake, war, riot, calamity, or other catastrophic event, shall comply with this title upon restoration or reconstruction. If the damage to the nonconforming structure is fifty percent (50%) or less of its current assessed taxable value, the structure may be restored or reconstructed, provided that restoration or reconstruction commences within twelve (12) months of the event.
3. Structures listed on the national register of historic places shall be exempt from the regulations of this section.

From the floodplain ordinance:

Variance Procedures:

1. The City Council, hereinafter referred to as the "appeal board", shall hear and decide requests for variances from the requirements of this chapter.
2. Variances may be issued for:
 1. The repair or rehabilitation of historic structures upon the determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and that the variance is the minimum necessary to preserve the historic character and design of the structure;
 2. Functionally dependent facilities, if determined to meet the definition as stated in section 10-1-2, provided provisions of subsections E8b, E8c, and E8d have been satisfied, and such facilities are protected by methods that minimize flood damages during the base flood and create no additional threats to public safety; or
 3. Any other type of development, provided it meets the requirements of this section.

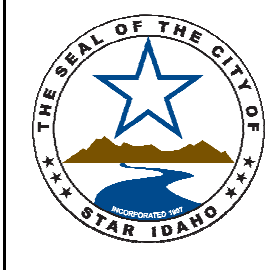
3. In passing upon variances, the appeal board shall consider all technical evaluation factors, all standards specified in other sections of this chapter, and:
1. The danger that materials may be swept onto other lands to the injury of others;
 2. The danger to life and property due to flooding or erosion damage;
 3. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 4. The importance of the services provided by the proposed facility to the community;
 5. The necessity to the facility of a waterfront location as defined under section 10-1-2 as a functionally dependent facility, where applicable;
 6. The availability of alternative locations, not subject to flooding or erosion damage, for the proposed use;
 7. The compatibility of the proposed use with existing and anticipated development;
 8. The relationship of the proposed use to the comprehensive plan and floodplain management program for that area;
 9. The safety of access to the property in times of flood for ordinary and emergency vehicles;
 10. The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
 11. The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, and streets and bridges.

In my opinion you do not meet most of these requirements and my report to City Council would be to deny any variance for this parcel. Not trying to be harsh here, but the City adopted these Codes for a reason and granting variances defeats these reasons. Also it sets a precedence as if have had similar conversations for three other properties located within 1/2 mile of this address.

I have included the State Floodplain Coordinator on this email as well. Peter, please feel free to weigh in on granting variances to floodplain ordinances for residential building additions.

Sincerely,

Ryan V. Morgan; P.E., CFM
City Engineer
 City of Star
 P.O. Box 130
 Star, ID 83669
 208-286-7247 x3002



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From: Antonio Conti <Antonio.Conti@ackerman-estvold.com>
Sent: Tuesday, May 21, 2024 1:09 PM
To: Ryan Morgan <rmorgan@staridaho.org>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>
Subject: RE: 686 S Star Road

Ryan

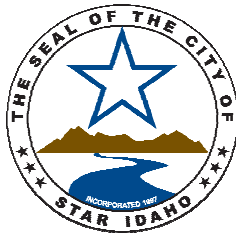
Thank you. I have one more. Can we ask council to override your denial due to the required 2' above BFE? Not sure we can build it if that is the case.

Antonio Conti
Ackerman-Estvold

From: Ryan Morgan <rmorgan@staridaho.org>
Sent: Tuesday, May 21, 2024 12:59 PM
To: Antonio Conti <Antonio.Conti@ackerman-estvold.com>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>
Subject: RE: 686 S Star Road

See below for responses

Ryan V. Morgan; P.E., CFM
City Engineer
City of Star
P.O. Box 130
Star, ID 83669
208-286-7247 x3002



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From: Antonio Conti <Antonio.Conti@ackerman-estvold.com>
Sent: Tuesday, May 21, 2024 11:27 AM
To: Ryan Morgan <rmorgan@staridaho.org>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>
Subject: RE: 686 S Star Road

Ryan

I am reviewing your comments on this application and I have some questions:

- In the Narrative Description, I am not sure what is needed. We are not doing any significant grading. Just building an addition to the house and minor landscape around the house. No watercourse alteration, no road fills, embankments etc. **Sounds like this will be a short paragraph or two.**
- Certification of registered engineer. I thought that it applies to non-residential structure. **Required for all floodplain improvements (elevation certificate)**
- Due to ADA needs, we cannot change the floor elevation of the addition. The finish floor is less than the minimum 2’ above BFE, but still above BFE. Any thoughts? **I cannot approve anything bellow the 2 foot requirement.**

Thank you

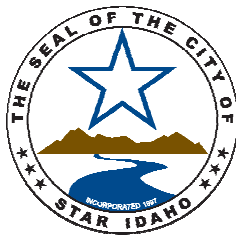
Antonio Conti
Ackerman-Estvold

From: Ryan Morgan <rmorgan@staridaho.org>
Sent: Tuesday, May 7, 2024 8:40 AM
To: Antonio Conti <Antonio.Conti@ackerman-estvold.com>; Bruce Hessing <bruce.hesscom@aol.com>
Cc: Building Dept <building@staridaho.org>
Subject: 686 S Star Road

Bruce,

I have reviewed the attached floodplain application. I have several comments that I have included on the marked up document. Additionally, please note that an elevation certificate will be required for the new addition. I also need some additional information on the new addition. What will be the finished floor of this addition, what is the finished floor of the existing structure, please note that the new addition may have to be elevated higher than the existing building to meet our floodplain ordinance.

Ryan V. Morgan; P.E., CFM
City Engineer
City of Star
P.O. Box 130
Star, ID 83669
208-286-7247 x3002



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CITY OF STAR
STAFF MEMO

TO: Mayor & Council

FROM: Shawn L. Nickel, Planning Director and Zoning Administrator *Shawn L. Nickel*

MEETING DATE: **August 20, 2024**

RE: Moyle Ave Traffic Signal Funding Request

OWNER/APPLICANT/REPRESENTATIVE

Applicant

Baron Properties

REQUEST

Request: Baron Properties, owners of the Star Crest Apartments and additional commercial property on Wildbranch Street/State Street, request the City of Star’s participation in the funding of the Moyle Avenue traffic signal, planned for the intersection of Moyle Avenue and W. State Street. As part of the development agreements for both the Star Crest Apartments (Baron) and the East Star River Ranch Development (Paul Larson properties), both parties are required to participate in the partial funding of the signal light (35% each). The remaining 30% needs to be funded by future residential and commercial development in the immediate area that would utilize the signal light in the future. Baron Properties has offered to take the lead on the signal project, which is fully approved by ACHD and ITD, and could start constructing in 30-90 days. Baron has also agreed to front an additional 15% (of the remaining 30%), leaving 15% unfunded. It is Baron’s request to have the City fund the remaining 15% in order to get the signal construction moving forward asap. The 30% (Baron and potentially the City) would then enter into a late-comers agreement for payback of the 30% when the remaining undeveloped properties develop. The estimated amount for the 15% requested from the City would be \$467,574.25. Council should be prepared to discuss this request at the upcoming Council meeting.



**Background and Terms for Request to Star City Council
To Authorize Funding for SH44/Moyle Intersection
August 6, 2024 Council Meeting**

- The City of Star, along with landowners Baron Properties (and related entities) and Paul Larson (and related entities), have been working toward a signal and related improvements at the SH44/Moyle Intersection for several years (“Improvements”).
- The construction plans for the Improvements have now been approved by ITD and ACHD (Attachment A), and the anticipated cost to construct the Improvements has been established with an accepted bid of \$3,117,161.69 (Attachment B).
- Baron owns properties near the intersection that are subject to a development agreement requiring Baron to contribute 35% of the Improvements cost .
- Larson also owns properties adjacent and near the intersection that are subject to a development agreement requiring Larson to contribute 35% of the Improvements cost.
- Initially, Larson had planned to construct the Improvements and obtain reimbursement from the City for the remaining unfunded 30% through a credit agreement.
- Now, Baron, Larson, and the City have discussed the following terms to allow Baron to take over construction and management of the Improvements:
 - An escrow account will be established for Baron’s use to construct the Improvements, with an estimated commencement of late August or early September 2024, once all funds and right of way have been contributed.
 - Larson has already contributed \$821,175.92 in prior expenditures toward the Improvements cost. Larson will contribute into escrow the balance of his 35% share of the Improvements cost ($\$1,091,006.59 - \$821,175.92 = 269,830.67$). Larson will also provide necessary right of way for the Improvements.
 - The City will contribute into escrow 15% of the Improvements cost (\$467,574.25); and
 - Baron will contribute into escrow its 35% share of the Improvements cost (\$1,091,006.59), plus the remaining unfunded 15% (\$467,574.25), which is eligible for reimbursement to Baron pursuant to a credit agreement as new development occurs that benefits from the Improvements.
 - Any contributions that exceed the ultimate actual expenditures for the Improvements will be reimbursed to the parties consistent with the percentages of their contributions.
- The parties request City Council authorization for: (1) The City to contribute \$467,574.25 into escrow; and (2) to authorize the City attorney to finalize the terms of the Credit Agreement with Baron (Draft Agreement, Attachment C) and the Mayor to sign.

Shawn Nickel

From: Greg Hector <ghector@baronproperties.com>
Sent: Thursday, August 15, 2024 11:42 AM
To: Shawn Nickel; Deborah E. Nelson
Cc: Chris Yorgason; Trevor Chadwick
Subject: RE: Moyle Signal Funding Council Memo

Thanks for the memo Shawn, and the update.

Looks good, and is correct, but I'm just wanting to make sure we are all clear regarding the "ask". As I read the memo, even being familiar with the proportionate shares, it seems it can be confusing. Below is clarification re the ask.

Initial up front escrow funding deposits

\$467,574.25	Star 15%
\$1,558,580.84	Baron 50%
\$269,830.67	Larson 35% (Over what he has already spent)
\$2,295,985.76	Total escrow

(TOTAL PROJECT, INCLUSIVE OF PAID TO DATE, AND COMPLETION SCOPE - \$3,117,161.69)

Future latecomers reimbursement to Baron, from credit agreement

- \$467,574.25 – (which gets Baron back to 35% after future development)

I believe the memo says all of this, but still seems confusing maybe to a first time reader.

Let me know if there are any questions re this.

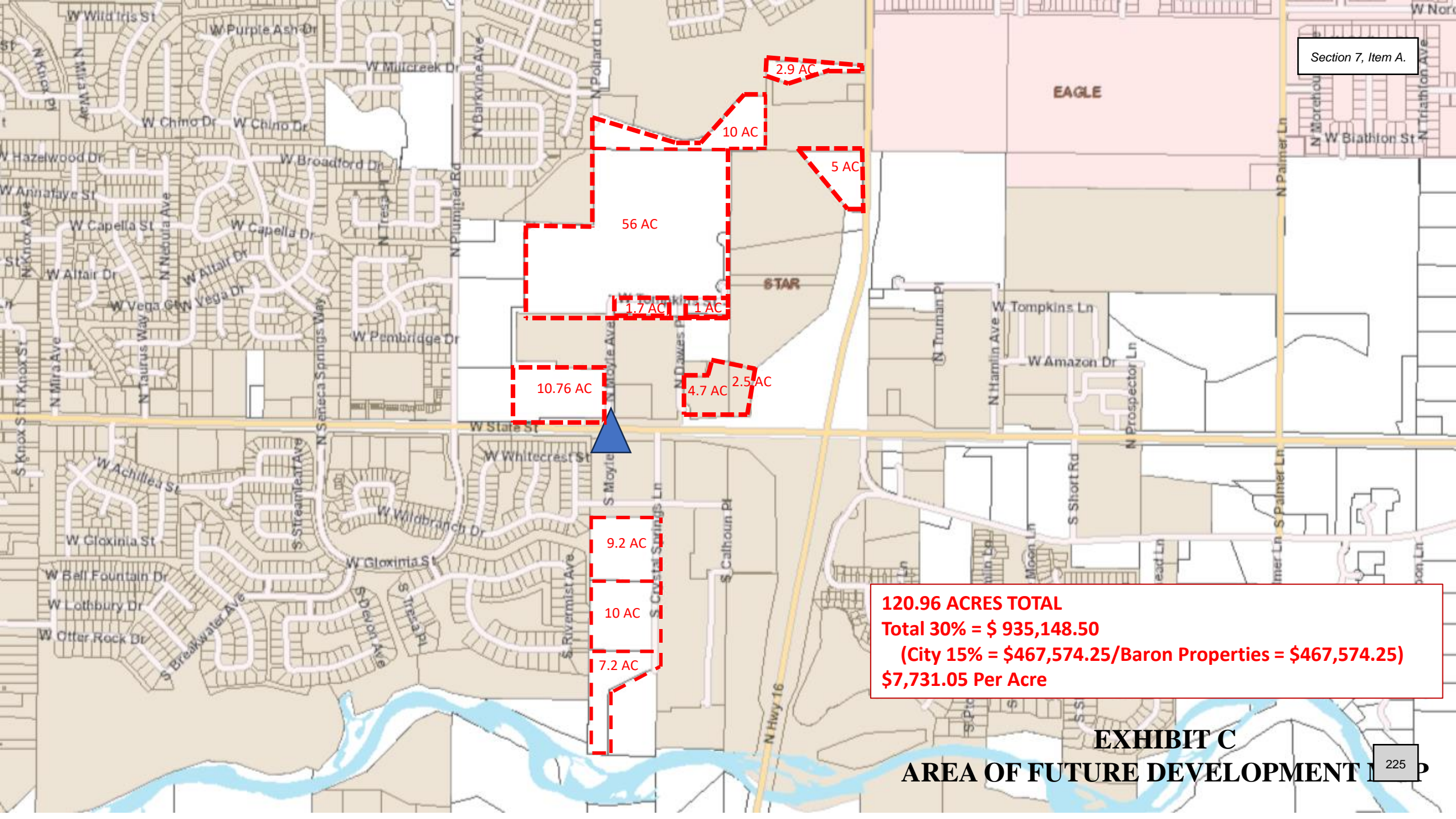
Greg Hector | Senior Vice President of Construction & Development
Baron Property Services LLC | Mountain West Industrial Properties

Cell: 720-937-0746
Email: ghector@baronproperties.com

IDAHO OFFICE
6557 N. Crafted Lane, Suite #120
Meridian, ID. 83646

DENVER OFFICE
2401 E. 2nd Ave, Suite #300
Denver, CO. 80206





120.96 ACRES TOTAL
Total 30% = \$ 935,148.50
(City 15% = \$467,574.25/Baron Properties = \$467,574.25)
\$7,731.05 Per Acre

**ANIMAL WELFARE AND ENFORCEMENT AGREEMENT
BY AND BETWEEN
STAR AND THE IDAHO HUMANE SOCIETY**

This Animal Welfare and Enforcement Agreement (this “Agreement”) is entered into by and among the Idaho Humane Society, Incorporated, an Idaho non-profit corporation (“IHS”) and City of Star, a municipal corporation and governmental subdivision, organized and existing pursuant to the laws of the State of Idaho (“Star”). Star may sometimes be referred to herein as a “Public Agency”. IHS or the Public Agency individually may be referred to herein as a “Party” and collectively as the “Parties.”

WHEREAS the Public Agency desires the assistance of a third-party provider to aid in the provision of certain animal welfare and enforcement services, more particularly described in Exhibit A attached hereto and made a part hereof (the “Scope of Service”), which the Public Agency is authorized to provide pursuant to Idaho Code Sections 50-302, 50-319, 31-714, and various code provisions of the Public Agency; and

WHEREAS IHS is uniquely qualified and able to provide the desired services within the territorial limits of the Public Agency safely and humanely, pursuant to the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual covenants and conditions set forth herein, the Parties agree as follows:

- A. Effective Date; Term.** The term of this Agreement is from October 1, 2024 (the “Effective Date”) through September 30, 2025 (the “Termination Date”) (the “Term”).
- B. Purpose; Grant of Authority.** IHS shall be the Public Agency’s animal welfare and enforcement contractor and shall be responsible for the enforcement of all applicable animal regulatory ordinances of that Public Agency’s codes and applicable provisions of Idaho Code, except as otherwise stated herein or as IHS and the Public Agency may otherwise subsequently agree in writing. Additionally, IHS is the “Animal Control Agency” for the Public Agency as that term is defined in Public Agency’s code, as applicable. Nothing contained herein shall be interpreted to preclude the Public Agency from contracting separately with IHS for the provision of other services.
- C. Contract Price; Payment; Additional Compensation.**

Contract Price. The Parties agree that the overall annual contract fee for IHS’ performance of services as contemplated by this Agreement shall be eighty-two thousand, four hundred thirty-two dollars (\$82,432), paid in twelve (12) equal monthly installments, each installment payable on or before the 15th of each month during the Term.

1. Additional Compensation. IHS shall sell animal licenses on behalf of the Public Agency and collect such fees. These fees shall be either retained or remitted to the Public Agency as set forth in detail in Schedule 2, attached hereto and incorporated into this Agreement by reference. IHS shall make a good faith effort to collect these animal licensing fees as set forth in Exhibit A. Nothing in this section shall be construed to limit the ability of the Public Agency to sell its own animal licenses or to permit other third-party entities to sell such Public Agency’s animal licenses, and to collect the fees from such sales.

2. Annual Review of Operating Expenses. IHS's operating expenses shall be reviewed annually by the Parties and contract adjustments made based on the budgeted amount in comparison to the actual amount spent on operating costs.

D. Independent Contractor. In all matters between the Parties pertaining to this Agreement, the relationship between the Public Agency and IHS is that of principal and independent contractor. Neither IHS nor any person performing work on behalf of IHS shall be deemed to be an employee of the Public Agency. The selection and supervision of IHS's personnel performing work pursuant to this Agreement shall be in the sole discretion of IHS. Neither IHS nor any person performing work on behalf of IHS shall be deemed to acquire any of the rights, privileges, powers, or advantages of an employee of the Public Agency, or vice versa; however, those persons performing work on behalf of IHS shall act as a limited agent on behalf of the Public Agency, which limited agency granted herein shall be strictly limited to performance under this Agreement expressly set forth herein and shall not extend to any other purpose.

E. Audits and Inspection. At any time during normal business hours and as often as the Public Agency may deem necessary, there shall be made available to the Public Agency for examination all IHS's records concerning all matters covered by this Agreement. IHS shall permit the Public Agency to audit, examine, and make excerpts or transcripts from such records, and to make audits of all contracts, invoices, materials, payrolls, and other data relating to all matters covered by this Agreement. At their own expense, the Public Agency may hire an independent auditor to conduct a fiscal year audit of all expenses and revenues and services provided hereunder. Any auditor engaged by the Public Agency must use the generally accepted auditing standards. IHS shall maintain books, records, reports, and accounts adequate to allow the auditor to evaluate fully, assess, and audit IHS's performance of the Scope of Service.

F. Scope of Work.

1. Enforcement. IHS shall act as a limited agent for the Public Agency to enforce applicable animal provisions of the Public Agency's codes and applicable animal provisions of Idaho Code, and shall be responsible for selecting and training qualified animal enforcement and administration officers and employees to carry out these services. These enforcement officers shall be "Animal Control Officer[s]" as that term is defined and used in the Public Agency's code, as applicable. The expected service levels by which IHS shall provide the enforcement of applicable animal codes, train and manage animal enforcement and administration officers, and perform other related tasks are set forth with specificity in Exhibit A.

2. Animal Welfare Services. IHS shall provide animal welfare services within the respective territorial limits of the Public Agency, including investigating complaints, responding to calls for service, patrolling (as time and personnel permit), issuing citations to suspected violators and following through by appearing to testify in court as appropriate, apprehending and impounding stray and other animals, picking up dead or injured animals within the public right-of-way and respective territorial limits of the Public Agency, and other services as appropriate. The expected service levels by which IHS shall provide animal welfare services and perform other related tasks are set forth with specificity in Exhibit A.

3. Recordkeeping. IHS shall prepare and maintain complete and accurate records regarding the performance of services under this Agreement, including, but not limited to, detailed annual operating expenses records and the disposition of impounded animals. IHS shall account for services under this Agreement separately from other functions to the extent administratively feasible and shall provide a reasonable basis for allocated costs. IHS shall make all records,

accounting information, and related documents concerning matters covered by this Agreement available to the Public Agency upon request for inspection, copying, and audit. The expected service levels by which IHS shall maintain certain records and provide reports and documentation based on these records are set forth with specificity in Exhibit A.

- 4. Promote Responsible Animal Ownership.** IHS shall provide services designed to support the goal of responsible animal ownership in the respective territorial limits of the Public Agency, including but not limited to public information and education, making recommendations for needed changes in policies, fees, ordinances, and legislation, and other community animal welfare matters. The expected service levels by which IHS shall promote responsible animal ownership are set forth with specificity in Exhibit A.
- 5. Data Management.** IHS shall follow all local, state, and federal laws and regulations with respect to personally identifiable information and credit card information. IHS shall implement best practices standards for administrative, physical, and technical safeguards to protect personally identifiable information from unauthorized use, access, or disclosure. In the event of a breach, IHS must immediately notify the Public Agency in writing of any unauthorized disclosure of personally identifiable information or information that would generally be considered confidential. Upon the expiration or termination of this Agreement, IHS shall promptly provide to the Public Agency all copies of their respective data and information, whether in written, electronic, or other form or media format.
- 6. Additional Scope of Work.** Additional services to be provided by IHS, if any, are described in the attached Exhibit A.
- 7. Exceptions to Scope of Work.** IHS shall not be required to perform any task or be responsible for any duty, except as expressly stated herein.
- G. Grant of Authority to IHS.** The Public Agency agrees to, and shall, ensure that such Public Agency takes whatever action such Public Agency deems necessary to grant or delegate authority to IHS to perform services under this Agreement for that Public Agency within such Public Agency's territorial limits.
- H. Compliance with Laws.** In the performance of services under this Agreement, IHS shall comply with all applicable federal, state, and the Public Agency's laws, regulations, and ordinances in effect or promulgated during the Term. This obligation includes timely payment of all taxes and license fees. If IHS determines it is unable to comply with any law, regulation, or ordinance in the performance of services under this Agreement, IHS must immediately notify the Public Agency in writing, and the Parties shall meet to attempt to resolve the matter between themselves with due diligence.
- I. Non-Waiver of Agreement Provisions.** Failure by the representatives of any of the Parties to, at any time, enforce or require strict compliance with any terms or conditions of this Agreement shall not constitute a waiver of, or affect, or impair such terms or conditions in any way; nor shall such failure affect the rights of the Parties to avail themselves at any time of such remedies as they may have for any breach of such terms or conditions against another Party.
- J. Indemnification.** These indemnification provisions apply only between IHS and the Public Agency.

1. IHS shall indemnify, save, hold harmless, and defend the Public Agency from, for, and against any and all direct or third-party claims, actions, judgments, damages, injuries to persons or property, losses, liabilities, and expenses caused by, or arising out of an act or omission of IHS or IHS’s officers, employees, agents, servants, and volunteers in connection with IHS’s performance under this Agreement and not caused by or arising out of the tortious conduct of the Public Agency or its respective officers, officials, employees, agents, servants, and volunteers, or the Public Agency’s code that is deemed unconstitutional or in conflict with state or federal law.

2. Notwithstanding anything to the contrary in this Agreement, the liability of the Public Agency is at all times strictly limited and controlled by the provisions of the Idaho Tort Claims Act, Idaho Code Sections 6-901 through 6-929, inclusive, as or hereafter amended. Nothing herein shall be deemed a waiver of any privilege, immunity, protection, or defense afforded to the Public Agency as a political subdivision of the state of Idaho, under the Idaho Constitution, the Idaho Tort Claims Act, or any other applicable law, and shall not be construed to waive any such protections, which are hereby expressly retained.

K. Certification Regarding Ownership and Operation. Pursuant to Idaho Code § 67-2357, Provider certifies that it is not currently owned or operated by the government of China and will not, for the duration of this Contract, be owned or operated by the government of China.

L. Certification Regarding Anti-Boycott of Israel. Pursuant to Idaho Code § 67-2346, if this contract is one hundred thousand dollars (\$100,000) or more and/or vendor/contractor employs ten (10) or more persons, vendor/contractor certifies that it is not currently engaged in, and will not for the duration of the Project engage in, a boycott of goods or services from Israel or territories under its control.

M. Certification Regarding Abortion. Pursuant to Idaho Code § 18-8703, vendor/contractor certifies that it is not an abortion provider nor an affiliate of an abortion provider such that entry into this Agreement is not prohibited.

N. Insurance.

1. **Insurer’s A.M. Best Rating.** IHS shall, at its own expense, procure and maintain insurance coverage, written by an insurance company or companies with an A.M. Best rating of A VIII or better and authorized to do business in the state of Idaho, throughout the Term.

2. **Standard Insurance Coverages and Limits of Liability Required:**

a. **Worker’s Compensation Insurance.** Where required by law, IHS shall have and maintain during the Term of this Agreement, Worker’s Compensation Insurance, including Employer’s Liability, meeting the statutory requirements of the state of Idaho. Employer’s Liability insurance in the following minimum amounts:

Bodily Injury by Accident	\$100,000 each accident
Bodily Injury by Disease	\$500,000 policy limit
Bodily Injury by Disease	\$100,000 each employee

In case any such work is sublet, IHS shall require its sub-contractors to provide Worker’s Compensation and Employer’s Liability Insurance.

b. Commercial General Liability. IHS shall have and maintain throughout the Term, Commercial General Liability Insurance, with the following minimum limits of liability:

General Aggregate	\$2,000,000
Product/Completed Operations Aggregate	\$2,000,000
Personal & Advertising Injury Liability	\$1,000,000
Per Occurrence	\$1,000,000
Fire Legal Liability	\$ 50,000

c. Automobile Liability Insurance. For all owned, non-owned, and hired vehicles, IHS shall maintain throughout the Term, Business Automobile Liability insurance providing bodily injury and property damage liability coverage for a minimum of one million dollars (\$1,000,000) per occurrence limit. Business Automobile Liability insurance shall be written on a standard ISO policy form, or equivalent, providing coverage for liability arising out of owned, hired, or non-owned vehicles in connection with this Agreement. If IHS has no owned motor vehicles, then hired and non-owned motor vehicle liability coverage with a minimum limit of one million dollars (\$1,000,000) per accident for bodily injury and property damage is required. Where applicable, the Public Agency shall be named as additional insured.

3. Public Agency as Additional Insured. IHS shall include the Public Agency as an additional insured to all of the insurance coverage listed above; which shall also be as primary and non-contributory with any insurance or self-insurance coverage or limits of liability maintained by the respective Public Agency, and in the form of a duly issued additional insured endorsement and attached to the policy or by the appropriate blanket additional insured policy wording, and in any other manner further required by IHS’s insurance coverage to provide the Public Agency additional insured coverage as set forth herein.

4. No Limitation of Liability. Insurance coverage and limits of liability as specified herein are minimum coverage and liability requirements only. Nothing in this Agreement’s requirements for minimum insurance coverage shall be interpreted to limit or release the liability of IHS or any of IHS’s insurers.

5. Require Separation of Insured Provision; Cross-Liability Exclusion; and Other Endorsements Prohibited. IHS’s insurance policy shall include a “separation of insureds” or “severability” clause that applies coverage separately to each insured and additional insured, except with respect to the limits of the insurer’s liability. IHS’s insurance policy shall not contain any provisions, exclusion, or endorsement that limits, bars, or effectively precludes the Public Agency from coverage or asserting a claim under IHS’s insurance policy on the basis that the coverage or claim is brought by an insured or additional insured against an insured or additional insured under the policy. Failure to comply with any of the requisite insurance provisions shall be a material breach of this Agreement and grounds for termination of the Agreement or, if applicable, and at the discretion of the Public Agency, shall serve as grounds for the Public Agency to procure or renew insurance coverage with any related costs of premiums to be repaid by IHS or offset against the Contract payment to IHS.

6. Evidence of Insurance. IHS shall provide the following as evidence of insurance:

- a. A certificate of liability insurance evidencing coverages, limits of liability, and other terms and conditions as specified herein. In the “Certificate Holder” field of the certification of insurance, the individual Public Agency’s name shall be written in; and
- b. An attached designated additional insureds endorsement or blanket additional insureds wording to the required insurance policies that names the Public Agency.

At any time upon the Public Agency’s request, IHS shall also cause to be timely furnished a copy of declarations pages and schedules of forms and endorsements. If the Public Agency tenders a claim or lawsuit for defense and indemnity invoking additional insured status, and the insurer either denies the tender or issues a reservation of rights letter, IHS shall also cause a complete and certified copy of the requested policy to be timely furnished to the requesting Public Agency.

7. Notice of Cancellation or Modification, Renewal. IHS’s certificates of insurance shall be signed by an authorized representative of the issuing insurance carrier and shall state that the issuing company shall provide the Parties with a minimum of thirty (30) days’ written notice prior to canceling or reducing any of the policies or limits required by this Agreement. Renewal certificates or binders must be provided to the Parties a minimum of five (5) days prior to the effective date of the renewal. If binders are used, they must be replaced by appropriate insurance certificates no later than thirty (30) days after the effective date.

O. Termination.

- 1. Termination of this Agreement shall not relieve the Parties of their obligations or liability to each other incurred prior to the Termination Date.
- 2. This Agreement shall automatically terminate between the Public Agency and IHS immediately upon the following events:
 - a. IHS is dissolved; or
 - b. The Term expires.
- 3. This Agreement shall terminate between the Public Agency and IHS upon the following events and with thirty (30) business days prior written notice to the other Party:
 - a. The Public Agency or IHS gives the other Party written notice of termination, which termination shall be effective on the first day of the calendar month that is at least thirty (30) calendar days after delivery of such notice of termination. The Public Agency or IHS may terminate, in whole or in part, its interest in the Agreement for any reason or no reason.
 - b. The Public Agency fails to appropriate adequate funds for this Agreement in its budget for the fiscal year, in which case the Public Agency shall notify IHS of any non-appropriation of funds within thirty (30) business days of such non-appropriation.
 - c. The Public Agency and IHS agree, in writing, to terminate this Agreement.

4. Termination for any reason under this section shall be effected by delivery to IHS or the Public Agency, as applicable, of a termination notice at least thirty (30) calendar days prior to the termination effective date, specifying the extent to which performance of services is terminated, and the time when such termination becomes effective.

5. **Obligations Upon Expiration or Termination.** Upon expiration or termination of the Agreement for any of the reasons, IHS shall be compensated for all services it rendered prior to the effective date of termination. The terminating Public Agency shall not be liable for services performed after the effective date of termination. Upon termination, IHS shall return all materials, documents, equipment, data and information, or property owned by the Public Agency or items held by IHS on the terminating Public Agency's behalf.

6. **Survival.** This section shall survive the expiration or termination of this Agreement.

P. Additional Terms and Conditions. Additional terms and conditions are contained in the attached Exhibit A.

Q. Miscellaneous Terms.

1. **Integration.** This Agreement constitutes the entire agreement of the Parties with respect to its subject matter, and this Agreement supersedes all prior agreements and understandings, whether written or oral, with respect to its subject matter.

2. **Amendment.** This Agreement may be amended at any time by mutual written agreement signed by the authorized representative of each Party; provided, however, nothing contained herein shall be interpreted to preclude the Public Agency from contracting separately with IHS for the provision of other services.

3. **Interpretation.** This Agreement was reviewed by the Parties' legal counsel. Accordingly, this Agreement shall be interpreted and construed fairly, according to its plain language, and not for or against any Party, regardless of which Party drafted it or caused its drafting.

4. **Notices.** Each Party shall deliver all communications in writing either in person, by certified or registered mail (return receipt requested and postage prepaid), by email, or by a recognized overnight courier service, and addressed to the other Parties as set forth below:

Idaho Humane Society
ATTN: Chief Executive Officer
1300 S. Bird Street
Boise, Idaho 83709
jrosenthal@idahohumanesociety.org

City of Star
ATTN: City Clerk
10769 W. State Street
P.O. Box 130
Star, Idaho 83669
jqalls@staridaho.org

A Party may change its notice address by notifying each other Party as described in this section.

- 5. **Attorney’s Fees.** In the event of any dispute or litigation arising from this Agreement or its subject matter, the prevailing party in such dispute or litigation may recover its costs and reasonable attorneys’ fees as may be provided by applicable Idaho law.
- 6. **Assignment.** Neither IHS nor the Public Agency may assign any of their rights or obligations under this Agreement without first obtaining the written consent of all the Parties.
- 7. **Choice of Law.** This Agreement shall be governed by and construed and enforced in accordance with the laws of the state of Idaho. Venue for any action brought pursuant to this Agreement shall be in the Fourth Judicial District of the State of Idaho, in and for Ada County.
- 8. **Non-Discrimination in Employment.** In performing the services required herein, IHS or its sub-contractor shall not discriminate against any person on the basis of race, color, religion, sex, sexual orientation, gender identity/expression, national origin or ancestry, age, or disability. It is IHS’s responsibility to ensure that its sub-contractor complies with this section.
- 9. **Severability.** Any section or provision of this Agreement that is held invalid by a court of competent jurisdiction shall be stricken, and the remainder of this Agreement shall continue in full effect.
- 10. **Counterparts.** The Parties may execute this Agreement in one or more counterparts, each of which shall be deemed an original, but all of which together shall be deemed on and the same instrument.
- 11. **Authority.** By such person’s signature below, the person executing this Agreement on behalf of a Party warrants that such person has authority to sign on behalf of that Party.
- 12. **Approval Required.** This Agreement shall not become effective or binding until approved and executed by the Parties.

End of Agreement

[Signatures appear on the following pages]

IN WITNESS WHEREOF, the authorized agent or representatives of the Public Agency and IHS executed this Agreement and made it effective as hereinabove provided.

Idaho Humane Society, Incorporated:

By: _____
Dr. Jeff Rosenthal, Chief Executive Officer

Date: _____

City of Star:

By: _____
Trevor A. Chadwick, Mayor

Date: _____

ATTEST:

Jacob Qualls, City Clerk

EXHIBIT A

Scope of Service

The terms and conditions contained in this scope of service are expressly made a part of this Animal Welfare and Enforcement Agreement:

I. Statutes and Ordinances; Public Agency Specific Scope of Service.

A. Statutes and Ordinances. IHS shall perform its duties under this Agreement in accordance with federal, state, and local laws and regulations.

B. Public Agency Specific Scope of Service.

1. Star Specific Scope of Service. IHS shall provide animal enforcement services to all areas, both public and private, within Star's municipal boundaries. During the term of this Agreement, IHS shall serve as the Animal Control Agency and shall be responsible for the City of Star's Animal Control Ordinance, except as otherwise expressly stated herein or as City of Star and IHS may otherwise agree in writing.

II. Animal Code Enforcement. IHS shall act as the limited agent for the Public Agency in enforcing applicable animal provisions of that Public Agency's codes and shall be responsible for selecting and training qualified animal enforcement and administration officers and employees to carry out these services.

A. General Enforcement.

1. General Hours and Days of Service. Enforcement services shall operate seven (7) days per week, from 8:00 a.m. to 6:00 p.m.

2. In performing duties under Section I of this Scope of Service:

- a. IHS shall timely investigate all calls for animal enforcement service, and as contemporaneously as possible, draft clear and complete reports sufficient to support the prosecution of the offense.
- b. IHS shall collect available evidence at the time of investigation and shall include it with the corresponding reports as may be necessary.
- c. IHS shall timely file all citations, reports, and any required notices with the Court and/or the Public Agency as appropriate.
- d. Upon request by a Public Agency, IHS shall timely provide the Public Agency the citation, reports, or evidence.
- e. IHS shall appear on time for all court hearings and trials and shall be fully prepared to testify, including, without limitation: having reviewed all relevant reports, audio recordings, video recordings, and other records and evidence in regard to which the subpoenaed IHS employee may be asked to testify.

- f. For any cases involving animal cruelty and nuisance violations (i.e., bites, barking, aggressive behavior, etc.) the investigating IHS Animal Control Officer shall search IHS's internal case management database for any prior incidents involving the same suspect animal-owner and/or animal. If prior incidents are discovered, a reference to such priors shall be included in the current investigation report.
- g. IHS officers and/or employees shall obey subpoenas and notify the relevant Public Agency at the earliest opportunity of any scheduling conflicts that may prevent the appearance of a subpoenaed IHS employee at a scheduled court date or meeting.
- h. The Public Agency shall notify IHS at the earliest opportunity of any changes, delays, or cancellations of any court hearings or meetings to which the IHS employee is subpoenaed or scheduled to attend.
- i. For cases involving designation of dogs as at-risk or dangerous, impoundment, or other civil enforcement decisions, IHS will prepare and serve any notices required by the Public Agency's code or Idaho State Code on the parties required to be served and will process appeal of those enforcement decisions as set forth in the Public Agency's code.
- j. IHS shall provide to the Public Agency an accurate telephone contact list containing the names, titles and direct office telephone numbers of IHS CEO, CFO, and Director of Animal Control.
- k. All IHS staff, including, without limitation: Animal Control Officers, and animal welfare dispatch staff, shall return all telephone messages and emails within forty-eight (48) hours of receipt of the message or email.
- l. All Public Agency staff shall return all telephone messages and emails from IHS employees within forty-eight (48) hours of receiving the message or email.

B. Emergency Services.

- 1. Hours and Days of Emergency Services.** Emergency services shall operate twenty-four (24) hours per day, seven (7) days per week.
- 2. Staffing.** IHS employee staffing levels shall be sufficient to provide on-going emergency services to the Public Agency. For purposes of this Agreement, "Emergency Services" shall include field calls for the following:
 - a. Injured stray dog or cat;
 - b. Dog bite or cat bite with animal still at-large;
 - c. Dog bite of such severity to require quarantine of the animal;
 - d. Vicious or threatening dog with the dog still at-large, constituting a threat to persons or domesticated animals;
 - e. Animal, caught in a trap that is making a disturbance, or that is injuring itself;
 - f. Dog, cat, or livestock causing traffic safety issue;

- g. Animal cruelty violations;
- h. Dangerous animal at-large;
- i. Exotic animals and wildlife;
- j. Multiple calls received on the same non-emergency animal-related problem (IHS officer to be on-call, and police dispatch will evaluate the circumstances to determine whether to respond); and
- k. Request from a law enforcement agency, received after the hours of regular enforcement services, for assistance with an animal.

C. IHS Employee Training.

1. **New Hires.** All new IHS Animal Control Officers and Dispatchers shall be provided adequate training by IHS. Such professional training shall include, without limitation: citation writing, incident report writing, witness interviewing and investigation skills, evidence collection, case management, preparation for court appearances, and court testimony.
2. **On-Going Training.** IHS shall provide on-going training to its IHS Animal Control Officers and Dispatchers for any gaps in skill sets and to address issues raised by the Public Agency regarding the performance of humane services by IHS in their jurisdictions.

III. Animal Welfare Services. IHS shall provide animal welfare services within the respective territorial limits of the Public Agency, including investigating complaints, responding to calls for service, patrolling (as time and personnel permit), issuing citations to suspected violators and following through by appearing to testify in court as appropriate, apprehending and impounding stray and other animals, picking up dead or injured animals within the public areas within the respective territorial limits of the Public Agency.

- A. General Animal Welfare Services.** IHS employee staffing levels shall be sufficient to provide the on-going general animal welfare services within the jurisdictions of the Public Agency as follows:
1. Impoundment of free-roaming animals to protect the public from animal attacks, bites, and accidents caused by such free-roaming animals.
 2. Protection of public health through animal disease surveillance in conjunction with the Idaho Department of Health and Welfare.
 3. Protection of public health by designating dogs as dangerous or at-risk where appropriate, and managing such dogs as set forth in the Public Agency's code.
 4. Quarantine of disease-suspect and bite case animals.
 5. Participation in local disaster planning to address animal-related issues.
 6. Protection of animals by:

- a. enforcement of cruelty to animals' statutes and codes;
 - b. transport of stray dogs to IHS's shelter; and
 - c. the transport of injured animals to IHS's veterinary hospital or other critical care facilities.
7. Removal and disposition of small dead domesticated and wild animals from public areas of the Public Agency's jurisdictions. Large wild animals will be referred to Fish and Game.
8. Referrals to appropriate governmental agencies, private entities, and volunteer service groups who respond to reports of injured wild animals and provide transportation of such animals to veterinary hospitals or local wild animal rehabilitation facilities. IHS to act as a liaison in these cases to create a great customer service experience and to ensure that animals are safe.
9. The provision of field services include, without limitation, responding to the following complaints and calls for service:
- a. dog at large;
 - b. trapped dog;
 - c. livestock at large;
 - d. excessive dog barking;
 - e. unlicensed dog;
 - f. dog without rabies vaccination;
 - g. dogs threatening a person or domestic animal;
 - h. dog or cat bite;
 - i. injured or sick stray dog, cat, or other domesticated animals;
 - j. abandoned or mistreated animal;
 - k. negligently confined animal;
 - l. animal cruelty or neglect;
 - m. dead dog, cat, or other animals (including wild animals);
 - n. private kennel inspection;
 - o. prohibited or dangerous mammal or reptile investigation; and
 - p. unsanitary premises (*e.g.*, excessive animal waste inspection).

B. Shelter Services.

1. **Hours and Days of Shelter Services.** Shelter Services shall be open to the public seven (7) days per week from 10:00 a.m. to 6:00 p.m.
 2. IHS employee staffing levels shall be sufficient to provide the on-going shelter services for the Public Agency. For purposes of this Agreement, “Shelter Services” shall include:
 - a. Maintaining a lost and found program for animals.
 - b. Holding stray or lost animals in accordance with the applicable Public Agency’s ordinance.
 - c. Examining stray and lost animals for licenses or identification chips, and if a license or chip is found, to make a reasonable attempt to return such animal to its owner.
 - d. Coordinating with IHS’s veterinary clinic to ensure that all dogs and cats are spayed or neutered prior to adoption.
- C. Inspection of Breeding Operations.** IHS shall assist in the inspection of breeding operations, pet stores, and vendors of pets for compliance with any Public Agency’s applicable ordinances.

IV. Promotion of Responsible Animal Ownership.

- A. Promotion of Animal Code Compliance.** IHS shall provide services designed to support the goal of responsible animal ownership in the respective territorial limits of the Public Agency, including, without limitation, public information and education, making recommendations for needed changes in policies, fees, ordinances and legislation, and other community animal welfare matters. IHS shall strive to reduce animal-related violations and increase voluntary compliance with animal-related provisions. This goal may be achieved by vigorous and prompt animal code enforcement, public education, and positive reinforcement for responsible pet owners who abide by the law.
- B. Reduction in Surrender, Impoundment, and Euthanization of Animals.** The Parties shall seek to reduce the number of animals surrendered and impounded at the IHS shelter and subsequently euthanized. For purposes of this Scope of Service and the underlying Agreement, an “Impounded Animal” is any animal picked up by IHS, a Public Agency, or a private citizen and then delivered to IHS.
- C. Humane Education Classes.** IHS shall provide court-ordered humane animal education classes to individuals convicted of animal cruelty and neglect regularly (no less frequently than every sixty (60) days). IHS may charge a fee for such humane animal education classes, which is paid by the individuals who attend such classes.
- D. Promote Animal Adoptions; Spay and Neuter.** To maximize the live-release rate of animals, IHS will make reasonable efforts to promote animal adoptions. IHS shall continually educate the public (with special educational outreach provided by IHS to local youth) regarding the benefits of spaying or neutering pets.
- E. Promote Dog License Code Compliance.** IHS shall promote citizen compliance with the Public Agency’s dog license ordinance provisions through participation in and cooperation with such Public Agency’s licensing programs.

F. IHS Recommendations to Public Agency. IHS may provide the Public Agency with written recommendations for amendments to such Public Agency's animal-related ordinances in writing. Whether to accept and adopt such recommendations is in the sole discretion of the Public Agency.

V. Recordkeeping; Reports and Documentation; Operating Procedures.

A. Recordkeeping. IHS shall prepare and maintain complete and accurate records regarding the performance of Scope of Services, including, without limitation, detailed annual operating expenses records and the disposition of Impounded Animals. IHS shall account for services under this Agreement separately from other functions to the extent administratively feasible and shall provide a reasonable basis for allocated costs.

- 1. Operating Expense Records.** IHS shall maintain accurate and complete records of its operating expenses in connection with the Scope of Services.
- 2. Fees Reconciliation Records.** IHS shall maintain accurate and complete records of the fees it collects on behalf of the Public Agency. Each year as part of its annual report to the Public Agency, IHS shall accurately reconcile all the fees on behalf of the Public Agency for the purpose of calculating the offset amount of the Public Agency's paid portion of IHS's annual operating expenses.

B. Annual Report. IHS shall provide a written annual report, no later than January 31st of each year to the Public Agency. The annual report shall be written in the format provided in Schedule 1, attached hereto and incorporated by reference, and share information regarding IHS's operational expenses, collection and reconciliation of fees, provided service levels, and education efforts provided to the Public Agency for the prior twelve (12) months. IHS shall maintain books, records, reports, and accounts adequate to allow the auditor to fully evaluate, assess and audit IHS's performance of the Scope of Service, as provided further in Section E of the Agreement.

- 1. In-Person Presentation to Public Agency.** The Public Agency may request IHS to present the annual report or a subsequent report to its governing body (i.e., Mayor and City Council or Board of County Commissioners) at a public meeting. The in-person presentation shall occur within thirty (30) days of the request.
- 2. Target Service Levels Documentation.** Part of the annual report to the Public Agency shall include documentation showing the current service levels in the Public Agency's jurisdiction in comparison to a three-year average baseline and provide projected target service levels for the next twelve (12) months. The documentation shall include statistical information with respect to the following services:
 - a.** number of field calls within the jurisdiction of the Public Agency, sorted by call category;
 - b.** IHS shall make available to the Public Agency the raw data of IHS Animal Control Officer response times to the calls for service upon request. IHS shall calculate and provide the average response times to calls for service within the jurisdiction of the Public Agency;
 - c.** number of citations issued for animal code violations;

- d. number of Impounded Animals;
- e. number of days Impounded Animals were boarded;
- f. number of Impounded Animals returned to the owner;
- g. number of animals adopted;
- h. number of dog licenses sold by IHS;
- i. number of spay and neuter procedures performed;
- j. number of volunteer hours logged;
- k. number of animals fostered;
- l. live-release rates for dogs and cats; and
- m. number of Humane Education Program youth reached.

C. Requested Reports and Documentation. The Public Agency may request that IHS provide reports or documentation in addition to the annual report as may be necessary to assist the Public Agency in its fiscal year-end budgeting process. IHS shall timely respond to all Public Agency requests for additional reports and documents; which requests shall not be made more frequently than once every three (3) months by any Public Agency.

D. Standard Operating Procedures. IHS shall develop internal standard operating procedures and policies (“SOPs”) related to the services provided under this Agreement. All applicable IHS employees are to be trained on these SOPs. Upon request, IHS shall produce a current and accurate written copy of these SOPs.

**SCHEDULE 1
ANNUAL REPORT
STAR
Idaho Humane Society Annual Statistics
For the Calendar Year Ended December 31, 2024**

	2024	3-Year Average	Projection
City/County Field Calls divided by category:			
Aggressive			
Attack			
Barking			
Bite			
Dead/Injured			
Dog at Large			
Large/Small Animal Cruelty/Neglect			
Miscellaneous			
Pickup - Cat			
Pickup - Dog			
Loose Livestock			
Wildlife Related Calls			
Extra Patrol			
Barrister/Sheriff's Office/City Hall, etc			
Total number of calls			
IHS average response times to Priority Calls for Service - Minutes			
Number of city licenses sold by IHS			
Number of Citations issued for Animal Code Violations			
Number of Letters and Warnings issued for Barking Dogs (1st and 2nd offenses)			
Number of Letters issued for Dog at Large Notices - 2nd year			
Number of Warnings issued for Animal Code Violations other than Barking Dog or Dog at Large			
Number of times officers educated vs. citing			
Number of animals handled			
Number of animals impounded			
Number of animals returned to owner			

IHS General Stats (non-agency specific)

Live Release rate total	
Cats	
Dogs	
Number of cats adopted	
Number of dogs adopted	
Total Number of animals adopted	
Number of animals fostered	
Number of spay/neuter procedures performed	
Number of volunteer hours logged	
Humane Education program youth reached	

SCHEDULE 2

DOG LICENSING FEES PER PUBLIC AGENCY

The animal licensing fees that IHS collects on behalf of the Public Agency shall be collected, applied, or remitted as follows:

Star: IHS shall have non-exclusive rights to collect animal licensing and impound fees according to the fee schedule adopted by the Star City Council. For all the licenses and impound fees IHS collects on behalf of the City of Star, IHS shall remit the accrued amounts to the City of Star on or before the fifteenth (15th) day of the of the following calendar month during the Term of this Agreement.



ADDENDUM #1

This addendum to the Master Services Agreement dated _____, is made by and between the **City of Star**, referred to as the "Client" located at **10769 W. State St. Star, Idaho 83669**, AND **Clearwater Financial, LLC** located at **PO Box 505 Eagle, ID 83616**, referred to as the "Consultant."

1. **Scope of Services.** The Client hereby employs the Consultant to perform the following services in accordance with the terms and conditions set forth in this addendum and any attached exhibits. These services include:

- a. Parks Capital Improvement Plan and Impact Fee: See **Exhibit A** to this addendum.

The completion of this scope will be dependent on the availability of information needed to complete the scope as identified in **Exhibit A**, some of which may be provided by the Client.

2. **Terms of Agreement.** This addendum will begin when this addendum is fully executed by both the Client and the Consultant. The time frames for delivery of services will be measured from the execution of this addendum and as outlined in **Exhibit A**.

3. **Cost of Services.** The Client will pay the costs for these services will be:

- a. Exhibit A:
 - a. Parks Capital Improvement Plan and Impact Fee Project: \$ 46,000

The Consultant will submit a monthly invoice for progress billing of services performed on the scope to date. The Client will pay the Consultant the amount due as indicated within thirty (30) days of the invoice date.

If additional expenses such as travel, meals, communications, print, software, data sources, and other out-of-pocket expenses are required; these costs will be paid by the Client to the Consultant.

4. All other terms and conditions as outlined in the Master Services Agreement remain in force.

Client: _____
Name: _____
Title: _____

Consultant: Clearwater Financial
Name: Cameron Arial
Title: President

/s/: _____
Date: _____

/s/: _____
Date: _____



CITY OF STAR

Capital Improvement Plan and Development Impact Fees: Parks. PROJECT SCOPE

OVERVIEW – EXHIBIT A

1. Project Background and Description

- i** Definition of Capital Improvement Plan: Idaho code defines a Capital Improvement Plan (CIP) as: A capital improvement plan is a long-range plan that identifies future capital needs, prioritizes capital projects, and specifies funding sources. Idaho Code Section 67-8208 requires that capital improvement plans be adopted prior to imposing impact fees.

Definition of Impact Fees: Idaho Code defines an impact fee as "... a payment of money imposed as a condition of development approval to pay for a proportionate share of the cost of system improvements needed to serve development." Impact fees are one-time assessments established by local governments to assist with the payment of capital improvements as a result of new growth and development. Idaho Code Section 67-82.

Project Purpose: As the City is a fast-growing municipal entity that needs additional funding to keep up with service demands, the City is asking Clearwater Financial (CWF) to advise and service its needs in a comprehensive way, beginning with the development of a Capital Improvement Plan (CIP) and impact fee (IF) services particularly focused on Parks services. It is contemplated that a future Master Facilities Plan (MFP) would include the results of these IF efforts.

Organization Background: The City of Star is in the SW of Idaho in north Canyon County.

- o Population approximately 17,000 (2023 estimate)
- o Part of the Boise-Nampa Metropolitan Statistical Area (MSA)
- o Employs 25 full-time and 2 part-time employees
- o The City would like to engage the community in a process to establish a Capital Improvement Plan (CIP) and development Impact Fees (IF) to fund capital needs for its Parks department because of growth. This process would be underpinned by Public Engagement (PE) services.

Committed City Staff: Mayor Trevor Chadwick, Clerk/Treasurer Jacob "Mac" Qualls, Deputy Clerk/Treasurer Meredith Hudson, Parks Director and City PIO staff.

2. Project Scope

- i** **Initiation: Project Logistics and Data Gathering**
 - o Project Logistics: includes establishing points of contact, communication preferences and expectations, determination of project timeline and milestones, and establishment of client approval process.
 - o Establish and document project logistics including project team and contact information, approval processes, web, social and branding assets
 - o Set goals and criteria for prioritizing projects, project budgets, and timelines
 - o Gather and review existing documentation including comp plans, prior CIP and impact fee analyses, projects, staffing, funding sources, established level of service (LOS), land use policies
 - o Existing Documentation Review: includes obtaining lists of all facilities, determining a standardized measure (or service unit) of public facilities consumption, deficiency identification and cataloguing, impact fee cash flow analysis, current impact fee report & existing CIP review, current and future land use policy review, current department staffing assessment, current service level, and evaluation of what needs to be updated, including project, costs, and demographic variables



**Capital Improvement Plan and Development Impact Fees:
Parks. PROJECT SCOPE**

- Public Engagement includes building a communication and public engagement plan, establishing dates and calendars of events, determining communication tools and platforms, making social posts and website edits with draft review and approval by Client, and communicating via email to employees.
- Stakeholder Engagement: Assist in the creation of the CIP/ Development Impact Fee Advisory Committee. Includes determining stakeholders, establishing contact, scheduling dates and coordination of meetings, and providing summary of results.

Analysis:

- Legal Authority & Framework: includes determining the legal authority and framework for imposing impact fees, state statute, ordinance, resolution and client approval, and consultation of legal counsel to ensure that the proposed impact fee program adheres to legal requirements.
- Needs Identification & Impacts: includes identification of public services and infrastructure impacted by new development, assessment with staff and development of impact fee committee of identified services and infrastructure, estimation of costs associated with providing or expanding these services and infrastructure. Internal staff interviews; capital projects and development budget review; demographic analysis; financial, economic, and cost forecasts; operational analysis; draft fee calculation.
- Demographics and Land Use Analysis: current and forecasted development: population, housing units, employment, nonresidential building for a period of 10 but not to exceed 20 years. Possible sources include COMPASS, Census and ACS, nonresidential square footage projections, building permit histories and other sources.
- Impact Fee Study: includes conducting an impact fee study to quantify the specific impacts of new development on public services and infrastructure; determining the appropriate fee amounts for varying types of development, utilizing specific calculations to determine current & future levels of service, projected growth, calls per unit and other calculations as needed.
- Conditions Analysis: *Assumes city will provide or outsource detail on:*
 - Identify needs and prioritize projects by reviewing current and assumed future uses of facilities, conducting internal staff interviews, internal department, advisory committee, and community stakeholder interviews.
 - Inventory and analyze existing infrastructure assets, conditions, performance and functionality, deficiencies and plans to address, project costs and funding sources.
 - Determine assets eligible for impact fees based on growth impacts
- Usage Analysis: Current and Future Levels of Service:
 - Analysis of the total capacity, the level of current usage, and commitments for usage of capacity of existing capital improvements by service type.
 - Estimate costs associated with maintaining, improving, or expanding services and infrastructure. Consider facilities, land, equipment, staffing, upgrades, and CIP/Impact Fee creation costs.
- System Improvements and Cost Analysis: *Assumes city will provide or outsource detail on:*
 - Determine and inventory system improvements and their costs necessitated by and attributable to new development in the service area based on the approved land use assumption.
 - The total number of service units necessitated by and attributable to new development within the service area.
 - The projected demand for system improvements required by new service units projected over a reasonable period not to exceed twenty (20) years
- Methodologies
 - Evaluate and determine the most appropriate methodology for each component of the impact fees: Ex: Demand Analysis, System Buy-in Approach, Incremental Expansion, Cost Recovery, Negotiated Fees, Benefit Districts, Standardized Fees.
- Credits and Exemptions: Document and account for the allowed credits and exemptions to impact fees. Developers, schools, large lots, donated land, etc. will be considered in this analysis.
- Funding and Cash Flow Analysis: Identification of all sources and levels of funding available for the financing of the system improvements. Identify gross revenues, capital facility costs and possible



**Capital Improvement Plan and Development Impact Fees:
Parks. PROJECT SCOPE**

funding (grants, bonds, etc.), deficits, credits and exemptions, anticipated funding sources and other governmental cost sharing.

- Deploy public engagement objectives and deliverables: Includes hosting public meetings and workshops, updating websites, providing content and updates to social media platforms, and engaging employees and stakeholders via email communication.

Build:

- Impact fees:
 - Build proposed IF calculations from a transparent and equitable methodology based on current service level analysis and current assets analysis, CIP value and IF portion and per residential unit.
 - Create table establishing the specific level or quantity of use, consumption, generation, or discharge of a service unit for each category of system improvements and an equivalency or conversion table establishing the ratio of a service unit to various types of land uses, including residential, commercial, agricultural, and industrial.
- Assist with inter-governmental relations:
 - Support relations and documentation including the legal basis, fee schedule, collection procedures, exemptions, credits, and administrative processes for cost sharing of improvements by reasonable share of funding by each unit.
 - Draft ordinances: includes the preparation of a draft ordinance or resolution establishing the impact fee program, and presentation of draft.
 - Public engagement: Deploy public engagement materials according to the approved plan. Includes provision of public notice of the proposed impact fee program(s), determination of any necessary public hearings, scheduling and coordination of determined meetings, and stakeholder and employee email communication.
 - Provide materials for leadership and the CIP / Impact Fee Advisory Committee
 - Meet with and obtain Advisory Committee letter of support
 - Create CIP and Impact Fee report.

Implementation:

- Advise on IF ordinance creation and adoption;
- Assist with the execution of intergovernmental agreements if needed;
- Assist with the creation and coordination of the Advisory Committee as it relates to the creation of impact fees;
- Assist with the creation and adoption of specialized assessments, donation, credit/reimbursement, spending, and update process policies for IF.
- Annual updates: Create a calendar for annual reviews that would include reviewing the CIP/IF with leadership and the Advisory Committee for:
 - changes in facility needs
 - additions or subtractions of assets
 - assessment of performance and impact of projects including completed projects and/or analysis of projects not completed and plan for completion strategies
 - inclusion of any identified future projects
 - annual updates proposed to the City Council
 - Five (5) year comprehensive review.
- Assist client in preparation and adoption of changes to the CIP due to identified changes.
- Public Engagement: includes social media content and posts, and stakeholder and employee email communication required due to changes to the CIP and IF.



3. High-Level Requirements

- i** City staff will provide Clearwater Financial Staff with:
 - o Single point of contact to staff and assist in the IF process
 - o Timely response for providing information, reviewing progress documents, and providing approvals as detailed in the project timelines. Failure to adhere to deadlines may compromise the project timeline and impede our ability to complete the project within scope and on schedule.
 - o Essential background information on Parks
 - o Available demographic data including current COMPASS data
 - o Three years of financial audits
 - o Current operating budget
 - o Project lists including project costs; intend 5-year projection of projects
 - o Operation and maintenance plans
 - o Creation of a list of Advisory Committee participants and assist with the logistics of the Committee
 - o Identification of all existing Parks public facilities and other assets
- City staff will engage with Clearwater staff throughout the process by:
- o timely providing required information for analysis listed above
 - o approving scope and work deliverables
 - o attending meetings as scheduled
 - o reviewing and approving information as needed to complete the Project

4. Deliverables

- i** **Comprehensive Capital Improvement Plan (CIP) and Impact Fee Schedule and Report:** Executive summary, methodologies, LOS standards, completed CIP, IF schedule by land use type, cash flow analysis, implementation & administrative procedures, demographic report, public engagement report.
 - o Land Use Assumptions: description of land use assumptions and a detailed table showing the LOS for each type of improvement.
 - o Conditions analysis: general description of all existing public facilities, their deficiencies, and a plan to address these deficiencies
 - o Usage Analysis: total capacity, current usage, and future demand for the facilities.
 - o System Improvements: details of the system improvements needed due to new development, along with costs and the projected number of service units.
 - o Funding Sources: identification of all potential funding sources for these improvements.
 - o Credits and Exemptions: documentation of allowable credits and exemptions from impact fees
 - o Intergovernmental Agreements: If improvements involve multiple governmental entities, (a)n agreement(s) detailing the cost-sharing arrangements
 - o Timeline: the commencement and completion of the planned improvements.
 - o Proposed Impact Fee schedules by land use type and activity.
 - o Public engagement and material summary: website, social media, and news content throughout the project.
 - o Implementation recommendations.

5. Affected Parties

- i** City of Star, Mayor, Council, City staff, Parks & Facilities Departments



6. Specific Exclusions from Scope

- i** Does not include:
 - Any other CIP or Impact fee development except for those relating to the Parks Department
 - Annual update and administration of IF without annual renewal of retainer with CWF
 - Master Facility Plan, but does contemplate the inclusion of this scope in a future MFP process
 - Guaranteed results and approval of development impact fees ordinance

7. Affected Business Processes or Systems

- i** Parks Department, City operations, maintenance, facilities, services, budgeting, accounting, and public engagement

8. Implementation Plan

- i** CWF will work with City staff to develop a comprehensive and integrated timeline for the Project.

9. High-Level Timeline/Schedule

- i**
 - Project start: September 2024 or when City can start the process.
 - Project completion: The project is estimated to take 6-7 months from when it starts. The project timeline will be outlined before the project starts. Failure to adhere to deadlines may compromise the project timeline and impede our ability to complete the project within scope and on schedule.

10. Cost

Comprehensive Capital Improvement Plan and Impact Fees for Parks: \$46,000

Other Costs: If more expenses such as travel, meals, communications, print, software, data sources, and other out-of-pocket expenses are required; these costs will be paid by the Client to the Consultant.



ADDENDUM #2

This addendum to the Master Services Agreement dated _____, is made by and between the **City of Star**, referred to as the "Client" located at **10769 W. State St. Star, Idaho 83669**, AND **Clearwater Financial, LLC** located at **PO Box 505 Eagle, ID 83616**, referred to as the "Consultant."

1. **Scope of Services.** The Client hereby employs the Consultant to perform the following services in accordance with the terms and conditions set forth in this addendum and any attached exhibits. These services include:

- a. Police Capital Improvement Plan and Impact Fee: See **Exhibit A** to this addendum.

The completion of this scope will be dependent on the availability of information needed to complete the scope as identified in **Exhibit A**, some of which may be provided by the Client.

2. **Terms of Agreement.** This addendum will begin when this addendum is fully executed by both the Client and the Consultant. The time frames for delivery of services will be measured from the execution of this addendum and as outlined in **Exhibit A**.

3. **Cost of Services.** The Client will pay the costs for these services will be:

- a. Exhibit A:
 - a. Police Capital Improvement Plan and Impact Fee Project: \$ 46,000

The Consultant will submit a monthly invoice for progress billing of services performed on the scope to date. The Client will pay the Consultant the amount due as indicated within thirty (30) days of the invoice date.

If additional expenses such as travel, meals, communications, print, software, data sources, and other out-of-pocket expenses are required; these costs will be paid by the Client to the Consultant.

4. All other terms and conditions as outlined in the Master Services Agreement remain in force.

Client: _____
Name: _____
Title: _____

Consultant: Clearwater Financial
Name: Cameron Arial
Title: President

/s/: _____
Date: _____

/s/: _____
Date: _____



CITY OF STAR

Capital Improvement Plan and Development Impact Fees: Police. PROJECT SCOPE

OVERVIEW – EXHIBIT A

1. Project Background and Description

- i** Definition of Capital Improvement Plan: Idaho code defines a Capital Improvement Plan (CIP) as: A capital improvement plan is a long-range plan that identifies future capital needs, prioritizes capital projects, and specifies funding sources. Idaho Code **Section 67-8208** requires that capital improvement plans be adopted prior to imposing impact fees.

Definition of Impact Fees: Idaho Code defines an impact fee as "... a payment of money imposed as a condition of development approval to pay for a proportionate share of the cost of system improvements needed to serve development." Impact fees are one-time assessments established by local governments to assist with the payment of capital improvements as a result of new growth and development. Idaho Code **Section 67-82.**

Project Purpose: As the City is a fast-growing municipal entity that needs additional funding to keep up with service demands, the City is asking Clearwater Financial (CWF) to advise and service its needs in a comprehensive way, beginning with the development of a Capital Improvement Plan (CIP) and impact fee (IF) services particularly focused on Police services. It is contemplated that a future Master Facilities Plan (MFP) would include the results of these IF efforts.

Organization Background: The City of Star is in the SW of Idaho in north Canyon County.

- Population approximately 17,000 (2023 estimate)
- Part of the Boise-Nampa Metropolitan Statistical Area (MSA)
- Employs 25 full-time and 2 part-time employees
- The City would like to engage the community in a process to establish a Capital Improvement Plan (CIP) and development Impact Fees (IF) to fund capital needs for its Police department because of growth. This process would be underpinned by Public Engagement (PE) services.

Committed City Staff: Mayor Trevor Chadwick, Clerk/Treasurer Jacob "Mac" Qualls, Deputy Clerk/Treasurer Meredith Hudson, Police Director, and City PIO staff.

2. Project Scope

- i** **Initiation: Project Logistics and Data Gathering**
 - Project Logistics: includes establishing points of contact, communication preferences and expectations, determination of project timeline and milestones, and establishment of client approval process.
 - Establish and document project logistics including project team and contact information, approval processes, web, social and branding assets
 - Set goals and criteria for prioritizing projects, project budgets, and timelines
 - Gather and review existing documentation including comp plans, prior CIP and impact fee analyses, projects, staffing, funding sources, established level of service (LOS), land use policies
 - Existing Documentation Review: includes obtaining lists of all facilities, determining a standardized measure (or service unit) of public facilities consumption, deficiency identification and cataloguing, impact fee cash flow analysis, current impact fee report & existing CIP review, current and future land use policy review, current department staffing assessment, current service level, and evaluation of what needs to be updated, including project, costs, and demographic variables



- Public Engagement includes building a communication and public engagement plan, establishing dates and calendars of events, determining communication tools and platforms, making social posts and website edits with draft review and approval by Client, and communicating via email to employees.
- Stakeholder Engagement: Assist in the creation of the CIP/ Development Impact Fee Advisory Committee. Includes determining stakeholders, establishing contact, scheduling dates and coordination of meetings, and providing summary of results.

Analysis:

- Legal Authority & Framework: includes determining the legal authority and framework for imposing impact fees, state statute, ordinance, resolution and client approval, and consultation of legal counsel to ensure that the proposed impact fee program adheres to legal requirements.
- Needs Identification & Impacts: includes identification of public services and infrastructure impacted by new development, assessment with staff and development of impact fee committee of identified services and infrastructure, estimation of costs associated with providing or expanding these services and infrastructure. Internal staff interviews; capital projects and development budget review; demographic analysis; financial, economic, and cost forecasts; operational analysis; draft fee calculation.
- Demographics and Land Use Analysis: current and forecasted development: population, housing units, employment, nonresidential building for a period of 10 but not to exceed 20 years. Possible sources include COMPASS, Census and ACS, nonresidential square footage projections, building permit histories and other sources.
- Impact Fee Study: includes conducting an impact fee study to quantify the specific impacts of new development on public services and infrastructure; determining the appropriate fee amounts for varying types of development, utilizing specific calculations to determine current & future levels of service, projected growth, calls per unit and other calculations as needed.
- Conditions Analysis: *Assumes city will provide or outsource detail on:*
 - Identify needs and prioritize projects by reviewing current and assumed future uses of facilities, conducting internal staff interviews, internal department, advisory committee, and community stakeholder interviews.
 - Inventory and analyze existing infrastructure assets, conditions, performance and functionality, deficiencies and plans to address, project costs and funding sources.
 - Determine assets eligible for impact fees based on growth impacts
- Usage Analysis: Current and Future Levels of Service:
 - Analysis of the total capacity, the level of current usage, and commitments for usage of capacity of existing capital improvements by service type.
 - Estimate costs associated with maintaining, improving, or expanding services and infrastructure. Consider facilities, land, equipment, staffing, upgrades, and CIP/Impact Fee creation costs.
- System Improvements and Cost Analysis: *Assumes city will provide or outsource detail on:*
 - Determine and inventory system improvements and their costs necessitated by and attributable to new development in the service area based on the approved land use assumption.
 - The total number of service units necessitated by and attributable to new development within the service area.
 - The projected demand for system improvements required by new service units projected over a reasonable period not to exceed twenty (20) years
- Methodologies
 - Evaluate and determine the most appropriate methodology for each component of the impact fees: Ex: Demand Analysis, System Buy-in Approach, Incremental Expansion, Cost Recovery, Negotiated Fees, Benefit Districts, Standardized Fees.
- Credits and Exemptions: Document and account for the allowed credits and exemptions to impact fees. Developers, schools, large lots, donated land, etc. will be considered in this analysis.
- Funding and Cash Flow Analysis: Identification of all sources and levels of funding available for the financing of the system improvements. Identify gross revenues, capital facility costs and possible



Capital Improvement Plan and Development Impact Fees:
Police. PROJECT SCOPE

funding (grants, bonds, etc.), deficits, credits and exemptions, anticipated funding sources and other governmental cost sharing.

- Deploy public engagement objectives and deliverables: Includes hosting public meetings and workshops, updating websites, providing content and updates to social media platforms, and engaging employees and stakeholders via email communication.

Build:

- Impact fees:
 - Build proposed IF calculations from a transparent and equitable methodology based on current service level analysis and current assets analysis, CIP value and IF portion and per residential unit.
 - Create table establishing the specific level or quantity of use, consumption, generation, or discharge of a service unit for each category of system improvements and an equivalency or conversion table establishing the ratio of a service unit to various types of land uses, including residential, commercial, agricultural, and industrial.
- Assist with inter-governmental relations:
 - Support relations and documentation including the legal basis, fee schedule, collection procedures, exemptions, credits, and administrative processes for cost sharing of improvements by reasonable share of funding by each unit.
 - Draft ordinances: includes the preparation of a draft ordinance or resolution establishing the impact fee program, and presentation of draft.
 - Public engagement: Deploy public engagement materials according to the approved plan. Includes provision of public notice of the proposed impact fee program(s), determination of any necessary public hearings, scheduling and coordination of determined meetings, and stakeholder and employee email communication.
 - Provide materials for leadership and the CIP / Impact Fee Advisory Committee
 - Meet with and obtain Advisory Committee letter of support
 - Create CIP and Impact Fee report.

Implementation:

- Advise on IF ordinance creation and adoption;
- Assist with the execution of intergovernmental agreements if needed;
- Assist with the creation and coordination of the Advisory Committee as it relates to the creation of impact fees;
- Assist with the creation and adoption of specialized assessments, donation, credit/reimbursement, spending, and update process policies for IF.
- Annual updates: Create a calendar for annual reviews that would include reviewing the CIP/IF with leadership and the Advisory Committee for:
 - changes in facility needs
 - additions or subtractions of assets
 - assessment of performance and impact of projects including completed projects and/or analysis of projects not completed and plan for completion strategies
 - inclusion of any identified future projects
 - annual updates proposed to the City Council
 - Five (5) year comprehensive review.
- Assist client in preparation and adoption of changes to the CIP due to identified changes.
- Public Engagement: includes social media content and posts, and stakeholder and employee email communication required due to changes to the CIP and IF.



3. High-Level Requirements

- i** City staff will provide Clearwater Financial Staff with:
 - o Single point of contact to staff and assist in the IF process
 - o Timely response for providing information, reviewing progress documents, and providing approvals as detailed in the project timelines. Failure to adhere to deadlines may compromise the project timeline and impede our ability to complete the project within scope and on schedule.
 - o Essential background information on Police
 - o Available demographic data including current COMPASS data
 - o Three years of financial audits
 - o Current operating budget
 - o Project lists including project costs; intend 5-year projection of projects
 - o Operation and maintenance plans
 - o Creation of a list of Advisory Committee participants and assist with the logistics of the Committee
 - o Identification of all existing Police public facilities and other assets
- City staff will engage with Clearwater staff throughout the process by:
- o timely providing required information for analysis listed above
 - o approving scope and work deliverables
 - o attending meetings as scheduled
 - o reviewing and approving information as needed to complete the Project

4. Deliverables

- i** **Comprehensive Capital Improvement Plan (CIP) and Impact Fee Schedule and Report:**

Executive summary, methodologies, LOS standards, completed CIP, IF schedule by land use type, cash flow analysis, implementation & administrative procedures, demographic report, public engagement report.

 - o Land Use Assumptions: description of land use assumptions and a detailed table showing the LOS for each type of improvement.
 - o Conditions analysis: general description of all existing public facilities, their deficiencies, and a plan to address these deficiencies
 - o Usage Analysis: total capacity, current usage, and future demand for the facilities.
 - o System Improvements: details of the system improvements needed due to new development, along with costs and the projected number of service units.
 - o Funding Sources: identification of all potential funding sources for these improvements.
 - o Credits and Exemptions: documentation of allowable credits and exemptions from impact fees
 - o Intergovernmental Agreements: If improvements involve multiple governmental entities, (a)n agreement(s) detailing the cost-sharing arrangements
 - o Timeline: the commencement and completion of the planned improvements.
 - o Proposed Impact Fee schedules by land use type and activity.
 - o Public engagement and material summary: website, social media, and news content throughout the project.
 - o Implementation recommendations.

5. Affected Parties

- i** City of Star, Mayor, Council, City staff, Police & Facilities Departments



6. Specific Exclusions from Scope

- i** Does not include:
 - o Any other CIP or Impact fee development except for those relating to the Police Department
 - o Annual update and administration of IF without annual renewal of retainer with CWF
 - o Master Facility Plan, but does contemplate the inclusion of this scope in a future MFP process
 - o Guaranteed results and approval of development impact fees ordinance

7. Affected Business Processes or Systems

- i** Police Department, City operations, maintenance, facilities, services, budgeting, accounting, and public engagement

8. Implementation Plan

- i** CWF will work with City staff to develop a comprehensive and integrated timeline for the Project.

9. High-Level Timeline/Schedule

- i**
 - o Project start: September 2024 or when City can start the process.
 - o Project completion: The project is estimated to take 6-7 months from when it starts. The project timeline will be outlined before the project starts. Failure to adhere to deadlines may compromise the project timeline and impede our ability to complete the project within scope and on schedule.

10. Cost

Comprehensive Capital Improvement Plan and Impact Fees for Police: \$46,000

Other Costs: If more expenses such as travel, meals, communications, print, software, data sources, and other out-of-pocket expenses are required; these costs will be paid by the Client to the Consultant.

ORDINANCE NO. 410 - 2024
(2024-2025 APPROPRIATIONS)

AN ORDINANCE, TO BE TERMED THE ANNUAL APPROPRIATION ORDINANCE OF THE CITY OF STAR, IDAHO, FOR THE FISCAL YEAR COMMENCING **OCTOBER 1, 2024**, AND ENDING ON **SEPTEMBER 30, 2025**, APPROPRIATING SUMS OF MONEY IN THE AGGREGATE AMOUNT OF **\$17,467,273.71** TO DEFRAY ALL NECESSARY EXPENSES AND LIABILITIES OF THE CITY OF STAR FOR SAID FISCAL YEAR; SPECIFYING THE OBJECT AND PURPOSES FOR WHICH SUCH APPROPRIATIONS ARE MADE AND THE AMOUNT APPROPRIATED FOR EACH OBJECT AND PURPOSE; AUTHORIZING THE CERTIFICATION TO THE COUNTY COMMISSIONERS OF ADA & CANYON COUNTIES, IDAHO, THE AMOUNT OF **\$2,014,430.00** PROPERTY TAXES TO BE LEVIED AND ASSESSED UPON THE TAXABLE PROPERTY IN THE CITY; PROVIDING FOR THE FILING OF A COPY OF THIS ORDINANCE WITH THE OFFICE OF THE IDAHO SECRETARY OF STATE AS PROVIDED BY LAW; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF STAR, IDAHO, as follows:

Section 1: The sum of **\$17,467,273.71** is hereby appropriated to defray all necessary expenses and liabilities of the City of Star, Idaho, for the fiscal year commencing **October 1, 2024**, and ending on **September 30, 2025 (the "2025 Fiscal Year")**.

Section 2: The objects and purposes for which such appropriation is made, and the amount appropriated for each object and purpose are hereby approved.

Section 3: The amount of **\$2,014,430.00** is hereby authorized to be certified by the City of Star to the Board of Commissioners of Ada and Canyon Counties, Idaho, in accordance with Section 30-1007, Idaho Code, to be levied and assessed as a property tax on the taxable property within the City of Star for the **2024/2025 Fiscal Year**.

Section 4: All Ordinances and parts of Ordinances in conflict with this Ordinance are hereby repealed.

Section 5: The City Clerk is hereby authorized and directed to cause a certified copy of this Ordinance to be filed with the Office of the Secretary of State of the State of Idaho, as required by Section 50-1003, Idaho Code.

Section 6: This Ordinance shall be published once in full in the official newspaper of the City and shall take effect and be in force from and after its passage, approval, and publication.

APPROVED this **20th** day of **August 2024**.

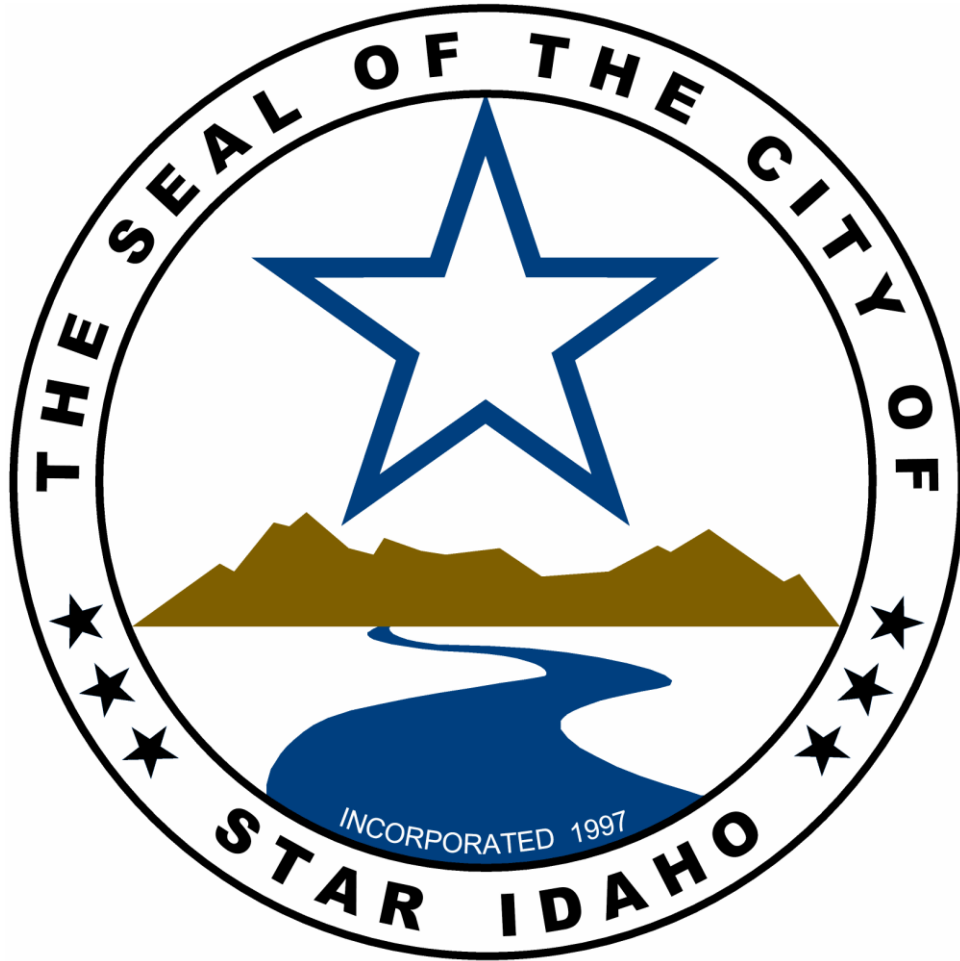
CITY OF STAR, IDAHO

By: _____
Trevor A. Chadwick, Mayor

ATTEST:

Jacob M Qualls, City Clerk / Treasurer

2024/2025 Star City Budget



Prepared by

Mayor Trevor A. Chadwick

10769 W. State Street, Star Idaho 83669

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208-286-7247

City Council

David Hershey Kevin Nielsen Jennifer Salmonsens Kevin Wheelock

Table of Contents

Mayor’s Message..... 4

Reliable Income versus Mandatory Expenses..... 6

Pass Through Income versus Pass Through Expenses..... 7

Savings..... 9

Revenue 9

 Property Taxes..... 9

 Foregone..... 9

 Exhibit 1: Residential Property Tax Example..... 10

 Exhibit 2: Business Property Tax Example..... 11

 Revenue Sharing and Liquor Revenue.....12

 Franchise Fees..... 12

 Exhibit 3: City of Star Reliable Income.....12

 Impact Fees and Proportionate Share..... 12

 Building Fees and Land Use Fees.....13

 Exhibit 4: Approved Proportionate Shares per ITD.....14

 General License and Fees..... 15

 Grants and Events.....16

 Sports and Recreation Programing Fees.....16

 Court Fines, Scholarships, Misc. Revenue and Unrestricted Funds..... 16

 Exhibit 5: 2024/2025 Revenue Budget..... 18

Expenses..... 19

 Law Enforcement..... 19

 Exhibit 6: 2024/2025 City of Star Police Contract with Ada County Sheriff..... 20

 Executive and Legislative Pay..... 20

 Remaining Payroll/Employee Costs..... 21

 Animal Control.....21

 Exhibit 7: 2024/2025 City of Star Organizational Chart.....22

 Legal, Professional Services, ICRMP.....23

Parks Development.....23

Future Parks Development.....24

Professional Dues.....24

Committees.....25

Building Expenses and Land Use Bonds..... 26

Impact Fees and Proportionate Share..... 26

Sports and Recreation.....27

Planning..... 27

Buildings and Grounds..... 28

Capital..... 28

Closing..... 28

Exhibit 8: City of Star 2024/2025 Expenses..... 30

Mayor's Message

Thank you for taking an interest in your City of Star budget. We continue to see unprecedented population growth in the State of Idaho, the Treasure Valley and our great City of Star.

The Star City Council and I have taken steps to legally address these growth challenges. Many want us to just stop the building permits which we are not allowed to do by State Statute. What we can do and what we have done is update our Comprehensive Plan, update our City Codes and put plans in place to adjust to these growth challenges. We completed this task for the third time since 2020 in June of this year.

Since the 2020 challenges we all faced in our country, we have seen many exceptional and historic events that have shaped our country, state, and city. The various events touched each one of us differently, presenting both challenges and unique opportunities for us to come together as a community.

During this time, many individuals chose to make Star their home, seeking refuge from economic challenges and shutdowns in other parts of the country. Despite the hurdles, our city thrived, thanks to the prudent policies and careful planning implemented by the Star City Council and me. We made a collective decision not to impose restrictions on businesses, churches, or individual freedoms. Instead, we encouraged personal responsibility while continuing to contribute to the local economy.

This resilience has led to the growth and success of Star. By fostering a business-friendly environment and keeping government out of private industry, we have not only seen existing businesses flourish but also witnessed new investments in our community. The commercial growth in Star serves three vital purposes: generating property tax relief from the residential community, creating job opportunities, and enhancing local services.

Currently, the property tax burden falls heavily on homeowners. In 2020, prior to these events, residential property owners were burdened with 93% of the total property tax compared to only 7% coming from the commercial and agricultural industries. With nearly 100 brick and mortar businesses opening in Star since 2020, and the updated business value of over \$348 million we have seen these investments in business start to reverse this burden to 87% for residential and 13% to commercial and agricultural.

The influx of new businesses not only shifts our tax ratio but also creates a stronger local job market, providing opportunities for our citizens to work close to home. Further, with the expansion of local services and goods, there will be fewer short car trips on our roads and highways.

With this growth the City of Star is strong financially. We have no debt, a balanced budget and a strong savings account.

I want to express my sincere gratitude for your endurance and patience throughout this period of rapid growth in our city. Together, we have laid the foundation for a bright future for Star, one that we can all be proud of.

I encourage all to actively participate and share your thoughts and ideas. Your input is vital as we shape the future of our great city. Together, we can continue to build a strong and prosperous city for generations to come.

Star = Community

With Respect and Gratitude,

A red scribbled signature, likely of Mayor Trevor A. Chadwick, consisting of several overlapping loops and lines.

Mayor Trevor A. Chadwick

Reliable Income vs Mandatory Expenses

When formulating the budget, we look at reliable income versus mandatory expenses. Our goal over the past four years has been to maintain a level as close to a zero net as possible. This would indicate that our city is functioning at an efficient level.

Reliable Income

Reliable income categories are as follows: Property Taxes, Revenue Sharing, Liquor Revenue, and Franchise Fees from power, cable, natural gas, and waste management.

Property Taxes

Property taxes are taxes paid from all property owners (homeowners, businesses, and agriculture) within the boundaries of the taxing district. Property taxes can be increased with either/or a combination of a 3% increase allowed by law, new construction roll, and/or annexation roll.

New Construction Value

House Bill 389 from 2021 has made the goal of having growth pay for itself more challenging. Instead of realizing 100% of our new construction rolls, we are only able to realize 8% of the 90% of the new construction total. Under the old formula, Star would be able to realize \$295,763.00 in income for fiscal year 2024/2025. With the new formula, the city will be able to increase **\$145,093.00** in additional revenue on a combined market value from residential, commercial and agriculture of \$4,145,655,500.00 and a combined taxable value of \$ 3,526,221,471.00.

Revenue Sharing

Revenue Sharing is a process where the state returns 11.5% of the sales tax revenue to cities and counties in Idaho. Star's revenue sharing dollars went from \$656,392 for the 2020/2021 budget year, \$1,007,190.00 for the 2021/2022 budget year, to \$1,355,372.00 for the 2022/2023 budget year, to \$1,385,739.00 for the 2023/2024 budget year, to a projected **\$1,322,104.00** for the upcoming 2024/2025 budget year. Due to the projected decreases in state sales tax revenue, we will see a reduction in the amount of revenue sharing.

State Liquor Revenue

Additional money is collected from the state and passed onto local governments in the form of State Liquor Revenue distribution. 50% of the revenues collected are disbursed to cities and counties. Of this 50%, 51.2% goes to cities, 36.8% goes to counties and 12% goes to magistrate court funding. For fiscal year 2024/2025, the City of Star is expected to receive **\$130,930.00** from this fund. This is an increase of 6.6% from the \$122,880.00 in revenue collected in the current fiscal year of 2023/2024.

Franchise Fees

Idaho Code allows cities to collect franchise fees from electric, natural gas, cable TV and waste management. Cities are allowed to collect up to 3% unless there is a previous agreement in place. The

City of Star has all four of these franchise fees in place. We are currently collecting 1% from Idaho Power, 2% from Cable One/Sparklight, 3% from Intermountain Gas and 8% from Republic Services.

Mandatory Expenses

Mandatory expenses are expenses that are required to keep the city running in times of reduced revenue from other sources when the economy begins to struggle or slow down. We include the following in mandatory expenses: Police, Animal Control, City Attorney, and associated legal fees with Ada and Canyon County Prosecutor’s offices, city payroll with associated employee costs, and liability insurance for the city.

Pass Through Income vs Pass Through Expenses

The City of Star has several income sources that are related to the number of permits issued and passed through to the agencies that utilize the money for improvements. These come in the form of impact fees and proportionate share revenue.

Impact fees allow taxing districts to assure that growth pays its part in capital improvements. The City of Star collects impact fees for Star Parks Development, Ada County Highway District (ACHD), Star Fire District, and for Canyon Highway District #4 (CHD4). Additionally, the City of Star set up the first of its kind agreement with the Idaho Transportation Department in the form of a Proportionate Share Agreement. The city recovers a processing fee to collect impact fees for Star Fire, ACHD and HD4.

Star Parks Impact Fees

Each new single family residential unit and each door on multifamily projects pays a \$2,050.00 impact fee. These fees can only be used for improvements to current parks, the purchase of property for future parks, or the development of property into parks. Currently, the City of Star is working with the Impact Fee Committee to discuss the addition of trailways, pathways, police and an update of the park impact fees.

ACHD Impact Fee

Each new residential development (single family home) pays a \$3,493.00 impact fee to the city which is passed through to ACHD for capital improvements on the county owned roadways. Each business and multifamily unit pays a fee as well, but these fees are collected directly by ACHD, and the fee structure varies based on the type of business being developed. ACHD’s Impact Fee can only be for specific improvements. Every year this fee can be adjusted by ACHD. 100% of these fees pass through to ACHD; no processing fee is collected. You can view a list of these fees by going to the following link at ACHD:

[ACHD Impact Fee Schedule](#)

Star Fire District Impact Fee

In 2019, the Star Fire District entered into an agreement with the City of Star to assess an impact fee for all new housing and business permits. In 2023, the Star Fire District adjusted its impact fees. Each new residential unit pays a \$2,152.00 impact fee, each multifamily unit pays \$1,227.00 per door for impact fees and each commercial facility pays between \$0.32-\$0.84 per square foot towards impact fees. These fees go towards the Star Fire District executing their capital improvement plan that includes the construction of additional stations as necessary. The city receives a \$20.00 processing fee for each permit issued, the remainder is passed through to the fire district each month. A list of the Star Fire District Fees can be found here: [Star Fire District Impact Fees](#)

Highway District 4 Impact Fee

With the goal of growth paying for itself, the Cities of Star and Middleton entered into an agreement with Highway District 4 (HD4) to do a feasibility study on impact fees for HD4. The City of Star has roadways in Canyon County that HD4 maintains and improves. In December 2021, the City of Star Adopted the Impact Fee Ordinance to allow growth to help with roads on the Canyon County segment of Star. The fees for each new residential unit are \$5,050.00 which is significantly higher than ACHD. As with ACHD, the commercial impact fee for HD4 varies depending on the type of commercial business. A list of the impact fees can be found on page 10 of the following link: [HD4 Impact Fee Schedule](#)

Proportionate Share with Idaho Transportation Department

In April 2020, the City of Star entered into an agreement with Idaho Transportation Department (ITD) to collect a proportionate share of costs associated with improvements on the State Highways within the city limits of Star. All money collected can only be used on state highway improvements within Star. To date we have agreed to over **\$7,185,312.75** in Proportionate Share with the development community. The money must be paid prior to a developer receiving their final plats for each phase of the development. The City of Star utilized these funds and widened Highway 44 (State Street) from Bent Lane to Star Road in 2023. Star has three state highways these funds can be used on: Highway 44, Highway 16, and Highway 20/26. There are no fees associated with collecting these shares, all money stays in Star for highway improvements. This program has been successful with various agencies and the development community working together to improve transportation through Star.

Building Fees

The city collects fees associated with plan reviews, inspections, and reinspections. The cost for these fees varies depending on the project. A list of fees can be found on our website at: <https://www.staridaho.org/bp/page/building-permit-fee-schedule>. The city uses contractors for electrical, plumbing, and mechanical inspections. Up to 60% of these fees are paid to the contractors the remainder covers costs associated with the employees needed to provide additional building services. In January 2024, the City of Star moved the building official and building inspector inhouse as full-time employees.

Savings

The City of Star is positioned well financially. The city has no debt and has a sizable amount in savings that could help the city in the event of an economic downturn. We have funds in several banks, and in our Local Government Investment Pool. With the continued growth in our city, we have seen our savings remain strong and stable.

Currently, we have **\$17,163,630.46** in all the City of Star bank accounts

REVENUE

The city has reliable income in the form of Property Taxes, Revenue Sharing and Franchise Fees. We have additional pass thru income relating to impact fees and building fees. The city generates additional revenue through licenses, grants, sponsorships, sports/recreation programs and other miscellaneous revenue sources.

Property Taxes

Every year, each taxing district sets their budget using property taxes as a source of revenue for their district. For the 2024/2025 Budget Year, Star's property tax revenue is roughly 11.53% of the total budget. House Bill 389, from 2021, allows a taxing district to increase its taxing authority by a maximum of 8% through a combination of the 3% allowed and 90% of new construction and annexations. If the city were to tax all taxpayers with a 3% increase, this would be passed on to each homeowner, business, and agriculture property on the tax rolls within the city, thus increasing the additional tax burden for all property owners. If we utilize new construction and annexations as the source of the additional income, the current taxpayer will not see an increase in their taxes if all valuations stay equal. Star has enough new construction that we are increasing the property tax levy amount by 8%, all through new construction. The City of Star's new levy dollar amount will be **\$2,014,430.00**. In Exhibits 1 and 2 below you can see how this new levy amount will impact taxes associated with the city, you will in fact see a deduction in the taxes paid to the city due to the increased new construction roll.

The City of Star had \$269,460,778.00 in new construction value between all new residential and all new commercial construction completed. Star's total taxable value is \$ 3,526,221,471.00. For many years Star's property taxes have been burdened heavily on the residential taxpayer with a 93% residential to 7% commercial/agriculture ratio. This year saw this burden drop to 87.21% residential to 12.79% commercial/agricultural.

Foregone

Foregone is the amount of money the city did not add to the tax rolls but could take in future years. That dollar amount can be banked and assessed in future years as an increase in property tax. HB389 limits the city to taking 1% of this total each year for basic business operations, or we can take up to 3% for capital projects that would fall off after the capital project is funded. Currently, Star has a balance of

\$ 663,040.00 in the foregone balance. Since we are taking the full 8% available through new construction and a long-lasting policy of the current Mayor and Council, Star will not be adding funds to the Foregone balance this fiscal year.

Exhibit 1: Residential Property Tax Example

Residential Tax Example #1 (Steven Springs Subdivision Property)									
Year 2020/2021									
Valuation		Year 2021/2022		Year 2022/2023		Year 2023/2024		Year 2024/2025	
Valuation	Homestead Exemption	Taxable Value	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	% of Tax	% of Tax
\$663,040.00	\$240,000.00	\$423,040.00	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426
\$663,040.00	\$240,000.00	\$423,040.00	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426
Total Tax		Total Tax		Total Tax		Total Tax		Total Tax	
\$ 8,218.05		\$ 8,218.05		\$ 8,218.05		\$ 8,218.05		\$ 8,218.05	
Adult Community Library	8	0.00018426	26,213.1	24,226.5	0.00018426	26,213.1	24,226.5	0.00018426	26,213.1
Adult Community Library	31	0.00018426	851.59	772.58	0.00018426	851.59	772.58	0.00018426	851.59
Adult Community Library	6	0.00018426	262.47	235.5	0.00018426	262.47	235.5	0.00018426	262.47
Star Sewer and Water	37	0.00048973	2,048.83	1,842.47	0.00048973	2,048.83	1,842.47	0.00048973	2,048.83
College of Western Idaho	100	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Emergency Medical	3	0.00009848	394.45	352.5	0.00009848	394.45	352.5	0.00009848	394.45
Star Community	25	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Star Community	43	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Municipal Attachment	43	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Total Tax: \$ 8,218.05									

Residential Tax Example #2 (Craftsman Subdivision Property)									
Year 2021/2022									
Valuation		Year 2022/2023		Year 2023/2024		Year 2024/2025		Year 2025/2026	
Valuation	Homestead Exemption	Taxable Value	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	% of Tax	% of Tax
\$653,000.00	\$225,000.00	\$428,000.00	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426
\$653,000.00	\$225,000.00	\$428,000.00	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426	0.00018426
Total Tax		Total Tax		Total Tax		Total Tax		Total Tax	
\$ 7,888.72		\$ 7,888.72		\$ 7,888.72		\$ 7,888.72		\$ 7,888.72	
Adult Community Library	8	0.00018426	26,213.1	24,226.5	0.00018426	26,213.1	24,226.5	0.00018426	26,213.1
Adult Community Library	31	0.00018426	851.59	772.58	0.00018426	851.59	772.58	0.00018426	851.59
Adult Community Library	6	0.00018426	262.47	235.5	0.00018426	262.47	235.5	0.00018426	262.47
Star Sewer and Water	37	0.00048973	2,048.83	1,842.47	0.00048973	2,048.83	1,842.47	0.00048973	2,048.83
College of Western Idaho	100	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Emergency Medical	3	0.00009848	394.45	352.5	0.00009848	394.45	352.5	0.00009848	394.45
Star Community	25	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Star Community	43	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Municipal Attachment	43	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33	4,779.1	0.00011842	5,323.33
Total Tax: \$ 7,888.72									

Exhibit 2: Business Property Tax Example

Business Tax Example 1 (B-Mart)				Business Tax Example 2 (El Mariachi Loco Restaurants)							
		Year 2020/2021		Year 2021/2022		Year 2022/2023		Year 2023/2024			
Valuation	Rate	Amount	Rate	Amount	Rate	Amount	Rate	Amount	Rate		
Valuation	\$ 4,477,100.00	5.4%	\$ 241,816.20	\$ 4,432,700.00	5.8%	\$ 257,116.60	\$ 4,403,900.00	28.85%	\$ 1,270,283.00	31.89%	\$ 1,408,900.00
Taxable Value	\$ 4,477,100.00		\$ 4,432,700.00	\$ 4,432,700.00		\$ 4,432,700.00	\$ 4,403,900.00		\$ 4,403,900.00		\$ 4,403,900.00
Total Tax	\$ 45,381.96		\$ 45,379.39	\$ 264,837.39		\$ 281,735.99	\$ 284,837.37		\$ 34,925.58		\$ 34,925.58
Item	Description	Tax District	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate
8	West Ada School	8	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914
31	Star Fire	31	0.00095916600	0.00095916600	0.00095916600	0.00095916600	0.00095916600	0.00095916600	0.00095916600	0.00095916600	0.00095916600
37	Star Sewer and Water	37	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996
13	Ada Community Library	13	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229
100	College of Western Idaho	100	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000
45	Flood Control District #10	45	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288
25	Star Cemetery	25	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213
43	Mosquito Abatement	43	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108
Valuation	\$ 701,300.00		\$ 701,300.00	\$ 701,300.00		\$ 701,300.00	\$ 701,300.00		\$ 701,300.00		\$ 701,300.00
Taxable Value	\$ 701,300.00		\$ 701,300.00	\$ 701,300.00		\$ 701,300.00	\$ 701,300.00		\$ 701,300.00		\$ 701,300.00
Total Tax	\$ 537.77		\$ 537.77	\$ 537.77		\$ 537.77	\$ 537.77		\$ 537.77		\$ 537.77
Item	Description	Tax District	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate	Levy Rate
8	West Ada School	8	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914	0.001587914
31	Star Fire	31	0.000959166	0.000959166	0.000959166	0.000959166	0.000959166	0.000959166	0.000959166	0.000959166	0.000959166
37	Star Sewer and Water	37	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996	0.000460996
13	Ada Community Library	13	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229	0.000348229
100	College of Western Idaho	100	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000	0.000418000
45	Flood Control District #10	45	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288	0.00021288
25	Star Cemetery	25	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213	0.000023213
43	Mosquito Abatement	43	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108	0.00001108

Revenue Sharing and Liquor Revenue

The City of Star expects to receive **\$1,322,104.00** from the State of Idaho in the form of sales tax revenue sharing. This is a 5.6% decrease from the prior year. The state is expecting lower sales tax revenue.

Liquor Sales Revenue is expected to be **\$130,930.00**. This is an increase of 6.7% from the year prior.

Franchise Fees

The City of Star receives franchise fees from Idaho Power, Intermountain Gas, Cable One/Sparklight and Republic Services. With the growth experienced in Star, the City is expecting an increase of 33.9% in fees from these franchises during fiscal year 2024/2025. The total the city anticipates collecting is **\$380,803.21**.

Exhibit 3 shows the increases in each of the reliable income categories over the past seven years.

Exhibit 3: City of Star Reliable Income



Impact Fees and Proportionate Share

Between 2020 and 2024 the Treasure Valley saw an incredible amount of people move from other states. Star saw this same growth, with an average of 682 new residential permits per year and an average of 20 commercial permits. As growth continues in the State of Idaho, growth will continue in Star.

Forecasts call for a modest slowdown in residential construction. Therefore, in the 2024/2025 budget year, Star plans to budget for 600 residential building permits. Star in Canyon County has seen several developments receiving final plats. Star should expect to see an increase in building permits in Canyon County. Below is the revenue expected in each category from impact fees.

ACHD Impact Fee:	\$ 1,833,825.00 (525 * \$ 3,493.00)
Star Park Impact Fee:	\$ 1,230,000.00 (600 * \$ 2,050.00)
Star Fire Impact Fee:	\$ 1,291,200.00 (600 * \$ 2,152.00)
HD4 Impact Fee:	\$ 378,750.00 (75 * \$ 5,050.00)

The city has **\$7,274,146.41** committed to the proportionate share fund, however these funds are not collected by the city until the final plat is approved with each phase of a development. The City of Star has budgeted **\$100,000.00** to be collected and will adjust this area of the budget as final plats are completed and fees are paid. Exhibit 4 on the following page shows the projects and proportionate shares as determined by Idaho Transportation Department (ITD) and agreed upon by the developer and the City of Star.

Building Fees and Land Use Fees

In January 2024, the City of Star moved the building official from a contract position to an inhouse salaried position. The City of Star contracts services related to our electrical, plumbing and mechanical inspectors and plan reviews. The average residential building permit fee is \$2,609.26 and the average building plan review fee is \$ 1,658.50. Electrical, Plumbing and Mechanical fees are 60% pass thru. The projected revenue for building fees is as follows:

Building Permit Fees	(600 * \$2,609.26 avg)	\$ 1,565,556.00
Building Plan Review Fee	(600 * \$1,658.50 avg)	\$ 995,100.00
Electrical Fees	(600 * \$ 291.67 avg)	\$ 175,000.00
Plumbing Fees	(600 * \$ 291.67 avg)	\$ 175,000.00
Mechanical Fees	(600 * \$ 350.00 avg)	\$ 210,000.00
Re-Inspection Fees		\$ 12,000.00

There are various Land Use fees associated with the many developments in Star. These fees range from \$50.00 to \$3,000.00 plus. Land use applicants will pay any additional costs incurred by the City in obtaining a review of the application by architects, engineers, or other professionals.

Bonding of projects happens when weather does not permit the completion of a projects landscaping, irrigation, streetlights, fencing and other site amenities within the time specified for the signing of the final plat. Bonds are 150% of the cost of those improvements. These bonds are given back to the owner once the city engineer verifies the completion of the required improvements. Bonds are typically pass thru revenue.

Zoning Admin Land Use Fees
 Bonding

\$ 140,000.00
 \$ 200,000.00

Exhibit 4: Approved Proportionate Shares per ITD

ITD Proportionate Share - City of Star

Subdivision Name	Committed	Paid
Addington	\$ 34,000.00	
Amazon Falls	\$ 88,838.00	\$ 88,838.00
Bretenbach Ridge	\$ 14,072.00	\$ 14,072.00
Canopi Estates	\$ 3,324.00	\$ 3,324.00
Canvasback (Phase 1 Only)	\$ 188,000.00	\$ 108,188.38
Cherished Estates	\$ 83,599.00	
Colt Heights	\$ 5,000.00	
Craftsman Estates North	\$ 12,665.00	\$ 12,665.00
Cranefield (Phase 1 & 2 Only)	\$ 72,798.00	\$ 50,055.00
Cresta Del Sol	\$ 109,660.05	\$ 109,660.05
Crystal Springs Apartments	\$ 216,000.00	\$ 216,000.00
East Star River Ranch (Phase 1 Only)	\$ 237,600.00	\$ 61,200.00
Earlbach Properties	\$ 4,000.00	
First Street Townhomes	\$ 30,000.00	
Fountain Park	\$ 312,380.00	
Garnett	\$ 5,000.00	
Glendora	\$ 13,000.00	
Haven Ranch	\$ 2,770.00	
Inspirado (Phase 1 Only)	\$ 488,000.00	\$ 96,000.00
Iron Mountain Vista	\$ 46,000.00	
Langtree Bungalows (Phase 1 Only)	\$ 92,000.00	\$ 42,000.00
Lakehave Estates	\$ 31,000.00	
Loran Estates	\$ 2,690.00	\$ 2,690.00
Madenford	\$ 15,000.00	
Magnolia	\$ 1,000.00	\$ 1,000.00
McDonalds West	\$ 88,977.00	\$ 88,977.00
Milepost Commons	\$ 72,000.00	
Milestone Ranch	\$ 39,222.00	\$ 39,222.00
Mink Creek	\$ 9,000.00	
Moyle Heights	\$ 3,474.36	
Naismith Commons	\$ 208,000.00	
Norterra	\$ 664,046.00	\$ 664,046.00
Oaklawn	\$ 105,950.00	\$ 105,950.00
Oliver Estates	\$ 88,000.00	
Paint Point	\$ 14,056.00	\$ 14,056.00
River Park	\$ 210,787.00	
Rivercreek Landing	\$ 123,659.00	\$ 123,659.00
Rivermoor	\$ 294,168.00	
Rooster Hollow	\$ 52,000.00	
Rosti Farms (Phase 1 thru 6 Only)	\$ 874,625.00	\$ 644,676.56
Ryken Meadows	\$ 5,000.00	
Saddlewood (Phase 1 Only)	\$ 36,250.00	\$ 18,495.00
Saunders Ridge	\$ 5,000.00	
Sellwood (Phase 1 Only)	\$ 113,191.00	\$ 69,048.00
Springtree Estates	\$ 13,000.00	
Stardale	\$ 22,000.00	
Stardust Ranch	\$ 8,318.00	
Star River Ranch North	\$ 72,000.00	
Stargazer	\$ 109,361.00	
Starpointe	\$ 131,671.00	\$ 131,671.00
Starpointe #2	\$ 12,000.00	
Stonecrest	\$ 9,894.00	\$ 9,894.00
Sunfield Estates	\$ 52,630.00	\$ 52,630.00
Talega Village	\$ 500,000.00	
Torchlight	\$ 39,000.00	\$ 39,000.00
Trapper Ridge	\$ 3,000.00	\$ 3,000.00
Wildrye Creek	\$ 91,471.00	\$ 91,471.00
Willowbrook	\$ 1,094,000.00	
Totals	\$ 7,274,146.41	\$ 2,901,487.99

Proportionate Share is collected by phase of project

General License and Fees

General Licenses and Fees include Dog Licenses, Vendors Permits, Alcohol Beverage Licenses, Park Reservations and Facility Rentals.

Every year the city collects fees related to dog licenses. Our goal is to have all dogs licensed within our city limits for two reasons. One is to make certain our pups are returned to the rightful owner if they escape from their owners and the other is to work towards paying for the required animal control costs the city is required to provide. Cost for these licenses vary from \$9.00 to \$41.00 annually.

Vendor permits are issued to all vendors attending the various events in our parks and city facilities throughout the year. Food Trucks also fall into this category. Vendor permits range from \$25.00 to \$125.00 depending on class of vendor.

Every June each business that sells alcohol in Star must reapply for their Alcohol Beverage License. Costs associated with these licenses are set by the State. Costs range from \$50.00 to \$1,062.50, depending on the type of alcohol license desired. The City of Star continues to work with the State of Idaho to increase the number of Liquor Licenses available to business due to the increase in population.

With the increase in population, our parks and facilities are seeing an increase in use. Fees associated with these rentals range from \$25.00 to \$800.00 depending on the venue. For 2024/2025 the expected revenue generated for General Licenses are as follows:

Dog Licenses	\$ 2,700.00
Vendors License	\$ 3,000.00
Alcohol Beverage License	\$ 11,312.50
Park Reservations	\$ 10,000.00
Facility Rentals	\$ 30,000.00

General Fees include interest revenue realized on our various banking accounts and donations received from generous businesses and individuals. These donations go to help the youth of our communities attend some of our sports and camps when their families are in need.

Fiscal year 2024/2025 General Fees income are as follows:

Interest Revenue	\$ 210,000.00
Donations	\$ 9,000.00

Grants and Events

The City of Star continues to utilize grants to assist in completing needed projects and or pay for recreation programs and part of our police contract. In 2024/2025, the City of Star will be applying for the ITD Police Grant, Parks/Pathways Grant and a Transportation Planning Grant. As additional grants come available, the City of Star will apply for those grants and adjust the Grant Revenues as they are received. The anticipated revenues are listed below:

ITD Police Grant	\$ 79,000.00
Park/Pathways Grant	\$ 50,000.00
Transportation Planning Grant	\$ 50,000.00

The City of Star works hard to obtain sponsorships for our annual Hometown Celebration. It is the goal and desire of the city to have sponsorships pay for this event. With the uncertainty of the economy in the next couple of years, the City of Star is anticipating a slight reduction in the number of sponsorships.

Hometown Celebration	\$ 53,000.00
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Sports and Recreation Programing Fees

We have a robust sports and recreation program. Many classes are offered through our recreation department such as: mosaic arts, fit and fall, kid’s camps, yoga, etc. Our sports programing includes soccer, baseball, softball, football, lacrosse, and more. The Star Riverhouse and the Star Recreation Center (located between the Star Police and Star Fire Stations), have created amazing sports and recreation opportunities in Star for kid’s summer camps, various classes, and programs. The city has roughly 1,600 plus participants every year in the various programs. Additionally, the team was able to secure an ION Grant to help pay for programing. Revenue collected from these programs for 2024/2025 are expected as follows:

Sports Fees	\$ 173,585.00
Classes and Activities Fees	\$ 194,978.00
ION Grant	\$ 65,000.00

Court Fines, Scholarships, Miscellaneous Revenue, and Unrestricted Funds

Court Fines are paid back to the city for various criminal activities that have taken place within the city limits of Star. There is no real formula to determine how much the city will receive in these fines. With the creation of the Problem Oriented Policing (POP) team we continue to see an increase in revenues received from these fines.

Our Star Mayor’s Youth Council (MYC) has been focusing on increasing the amount of Mayor’s Youth Scholarship donations. The goal of the MYC is to raise money through fundraising. At this year’s Hometown Celebration and other events these fantastic young men and women collected more than \$10,000.00 to be applied towards scholarships. Additionally, the City of Star Mayors Youth Council has created a golf tournament expecting to raise additional funds.

Miscellaneous revenue is revenue that comes into the city that does not fit into any other defined category.

In September of 2022, I worked with the Building Contractors Association (BCA) to find assistance with making certain our Police and Fire services are not negatively impacted by growth. With HB389 and the inability to increase revenue with new construction growth it was essential that a funding mechanism was put in place. With this collaboration the Council adopted Police and Fire Mitigation Fees for every new home built in Star. These fees help increase the number of personnel needed to service our growing city. In July of 2024, the Mayor and City Council worked to increase these fees.

In Spring of 2023, the City Clerks Office provided a new service to the citizens of our community by opening up a Passport office. The Passport Office has seen an incredible demand creating additional revenue for the City of Star through federally set passport fees.

Below is the expected revenue for these items:

Court Fines	\$ 24,000.00
Scholarships	\$ 10,000.00
Miscellaneous Revenue	\$ 1,000.00
Police Mitigation (\$3,360.00 * 600 Permits)	\$ 2,016,000.00
Fire Mitigation (\$3,600.00 * 600 Permits)	\$ 2,160,000.00
Passports Issuance	\$ 105,000.00
Passport Pictures	\$ 45,000.00

The total projected revenue from all sources for budget year 2024/2025 is **\$17,467,273.71**.

It is important to note that only **\$ 2,014,430.00** of the 2024/2025 budget year revenue is coming from property tax revenue, or 11.53% of the total revenue.

Additionally, there is an anticipated increase of \$3,016,000.00 from the Police and Fire Mitigation Fees and an increase of \$ 1,479,925.00 from impact fees.

Exhibit 5: 2024/2025 Revenue Budget

2024/2025 City of Star Revenue			
Item	Budget 2023/2024	2024 / 2025 Request	Notes
Property Tax	\$1,869,337.00	\$ 2,014,430.00	
Sales & Use Tax			
Revenue Sharing	\$1,567,849.00	\$ 1,322,104.00	
Liquor Revenue	\$122,880.00	\$ 130,930.00	
Franchise Fees			
Power (3%)	\$59,400.00	\$ 82,285.11	
Cable (3%)	\$8,748.00	\$ 8,700.00	
Natural Gas (3%)	\$105,995.13	\$ 156,142.60	
Waste Management (8%)	\$110,005.91	\$ 133,675.50	
General Licenses			
Dog Licenses	\$3,500.00	\$ 2,700.00	
Vendors Licenses	\$2,400.00	\$ 3,000.00	
Alcoholic Beverage	\$7,170.00	\$ 11,312.50	
Park Reservation	\$10,000.00	\$ 10,000.00	
Rentals	\$16,000.00	\$ 30,000.00	
Scholarships	\$10,000.00	\$ 10,000.00	
Events			
Hometown Celebration	\$55,000.00	\$ 53,000.00	
Fish Rodeo	\$0.00	\$ 5,000.00	
Other	\$0.00	\$ 5,000.00	
Grants			
ITD Police Grant	\$120,000.00	\$ 79,000.00	
Park/Pathways Grant	\$50,000.00	\$ 50,000.00	
Fiber Grant	\$50,000.00	\$ -	
Transportation Planning Grant	\$50,000.00	\$ 50,000.00	
Star Middle School Pathways Grant	\$250,000.00	\$ -	
Court Fines	\$7,000.00	\$ 24,000.00	
Building Fees			
Building Permit Fee	\$1,086,275.00	\$ 1,565,556.00	\$2609.26*600 (AVG)
Building Plan Review Fee	\$758,195.00	\$ 995,100.00	\$1658.50*600(AVG)
Electrical	\$156,852.00	\$ 175,000.00	
Plumbing	\$156,852.00	\$ 175,000.00	
Mechanical	\$174,352.00	\$ 210,000.00	
Re-Inspection Fees	\$5,000.00	\$ 12,000.00	
Impact Fee/Prop. Share			
Park Impact Fees	\$1,025,000.00	\$ 1,230,000.00	\$2050*600
ACHD	\$1,571,850.00	\$ 1,833,825.00	\$3493*525
Star Fire	\$404,500.00	\$ 1,291,200.00	\$2152*600
ITD Proportionate Share	\$100,000.00	\$ 100,000.00	Varies, collected with final plat
CHD4 Impact Fees	\$252,500.00	\$ 378,750.00	\$5050*75
Land Use Fees			
Zoning Admin Fees	\$120,000.00	\$ 140,000.00	
Bonding	\$200,000.00	\$ 200,000.00	
Recreation			
Sports	\$97,800.00	\$ 173,585.00	
Classes & Activities	\$113,700.00	\$ 194,978.00	
ION Grant	\$40,027.66	\$ 65,000.00	
General Fees			
Interest Revenue	\$100,000.00	\$ 210,000.00	
Donations	\$9,000.00	\$ 9,000.00	
Miscellaneous			
Miscellaneous	\$1,000.00	\$ 1,000.00	
Passport Issuance	\$109,200.00	\$ 105,000.00	
Passport Pictures	\$25,000.00	\$ 45,000.00	
Police Mitigation Fees	\$560,000.00	\$ 2,016,000.00	\$3360*600
Fire Mitigation Fees	\$600,000.00	\$ 2,160,000.00	\$3600*600
Unrestricted Funds			
Transfer in from General Funds	\$0.00	\$ -	
Transfer in from Park Funds	\$740,000.00	\$ -	
Transfer in from Police Mitigation Fee	\$560,000.00	\$ -	
Revenue Totals	\$13,442,388.70	\$ 17,467,273.71	
Reliable Income			
Pass Thru Income			

EXPENSES

The City of Star considers the following expenses to be mandatory: law enforcement, payroll and benefits for the executive and legislative branches, administrative costs, legal department, city engineer, IT, animal control, and city liability insurance with ICRMP.

Law enforcement is our number one priority. In times of economic down turn it is essential the City of Star maintains the same service levels we have today to protect our citizens and their quality of life. We strive to have the entire law enforcement expense funded 100% through property taxes. Police Mitigation Fees help with the shortfall of property taxes.

Law Enforcement

Our Police Department services are provided through a contract with the Ada County Sheriff’s Office. The current contract provides for ten (10) patrol deputies, two (2) problem oriented policing deputies, two (2) sergeants, three (3) detectives, one (1) administrator and one (1) Chief. There are several metrics located in Star’s Comprehensive Plan in regards to police service in Star. These metrics include: Four minute or less response time on Code 3 calls, Less than 18 crimes per 1,000 residents and a proactive versus a reactive policing model. These goals require a ratio of one (1) commissioned officer per 1,000 residents.

Below are the Calls/Deputy statistics along with Crimes/1,000 residents. In 2022/2023 the City of Star began the proactive policing model resulting in more calls.

<u>Year</u>	<u>Deputies</u>	<u>Total Calls</u>	<u>Calls per Deputy</u>	<u>Crimes per 1,000</u>
2019	6	8,584	1,431	16.4
2020	6	9,360	1,560	18.8
2021	6	7,934	1,322	13.8
2022	6	12,612	2,102	17.5
2023	10	18,071	1,807	19.6
2024(YTD)	14	26,056	1,861	TBD

Per FBI crime statistics for 2017, the number of sworn-in officers per 1,000 inhabitants nationwide averaged 2.4 officers. With the 2024 population estimate from COMPASS of 20,340 citizen and 18 commissioned deputies, our citizen to police ratio is 0.88 officers per 1,000 citizens.

The increase in calls for service combined with the projected growth of our city and the number of officers per 1,000 have made it necessary to add one (1) Admin Sergeant, one (1) K9 Deputy and a Summer SRO Deputy for fiscal year 2024/2025. With these additions and our current population of 20,340 citizens, the City of Star’s citizen to police ratio will be 1.023.

The number one benefit of using a police contract model are the resources available at the Ada County Sheriff’s Office at no additional cost to the citizens of Star. If the city has a major incident, the city will have the full staff of the Sheriff’s office at it’s disposal.

The total contract cost to add one (1) Admin Sergeant, one (1) K9 Deputy and a Summer SRO Deputy deputies and the 4% cost of living adjustment (as approved by the Ada County Commissioners) and increased costs of equipment, is **\$3,453,095.00**.

With our current property tax levy amount of \$2,014,430.00, we are covering 58.33% of the cost of this contract with property taxes. The remaining will be covered with \$1,359,665.00 from the Police Mitigation Fee and \$ 79,000.00 from the ITD Police Grant.

Police Contract Budget	<u>\$3,453,095.00</u>
Property Taxes Collected	\$ 2,014,430.00
Police Mitigation Fee	\$ 1,359,665.00
ITD Police Grant	\$ 79,000.00

Exhibit 6: 2024/2025 City of Star Police Contract with Ada County Sheriff.

FY25 City of Star Contract - 4% COLA		POLICE CITY OF STAR		Admin Sgt.	Admin Sgt. + K9	Admin/K9/Summer SRO
Consolidated Contract City Budget Summary		FY 24 Final	Base	Option 1	Option 2	Option 3
Personnel	\$ 2,789,243	\$ 2,940,889		\$ 3,128,401	\$ 3,281,855	\$ 3,319,252
Special Event Overtime						
Equipment / Uniforms	\$ 80,190	\$ 86,102		\$ 80,886	\$ 85,666	\$ 96,865
Operational	\$ 17,496	\$ 25,716		\$ 25,871	\$ 26,177	\$ 26,252
Vehicles	\$ 216,621	\$ 225,297		\$ 237,300.92	\$ 258,532.00	\$ 255,532.01
Support	\$ 9,310	\$ 11,340		\$ 11,340	\$ 11,340	\$ 11,340
Property & Evidence	\$ -	\$ -		\$ -	\$ -	\$ -
Victim Services Unit	\$ -	\$ -		\$ -	\$ -	\$ -
Extra Operational Items Requested	\$ -	\$ 3,500		\$ 3,500	\$ 3,500	\$ 3,500
Total Expenses before credit	\$ 3,112,860	\$ 3,292,845		\$ 3,492,299	\$ 3,677,777	\$ 3,712,742
Less Shared Services Credit	\$ (217,900)	\$ (230,254)		\$ (24,216)	\$ (256,911)	\$ (259,647)
New FY25 Contract Amount	\$ 2,894,960	\$ 3,062,591		\$ 3,248,083	\$ 3,416,866	\$ 3,453,095
Prior year contract amount		\$ 2,894,959		2,894,959	2,894,959	\$ 2,894,959
Net change to contract for FY25		\$ 167,632		\$ 353,124	\$ 521,897	\$ 558,136

Executive and Legislative Pay

The City of Star Mayor is a full time position. There are four city council members, who particiapte in all City Council Meetings and various other meeting as required in our area. Per Idaho State Statue, the Mayor and Council salaries can only be changed during an election year of council members. Below is the total cost including: FICA/Medicare/Workmans Compensation/Public Retirement and Health Insurance:

Mayor and City Council	\$ 243,945.30
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Remaining Payroll/Employee Costs

All staff payroll, including additional employee costs, are part of our mandatory expense formula. The executive payroll is shown above and the remaining payroll for city staff is shown below including employee costs: FICA/Medicare/Workmans Compensation/Public Retirement and Health Insurance:

Clerk’s/Treasurers Office	\$ 569,610.16 (6 FTE)
Planning and Zoning/Building Department	\$ 1,087,881.70 (11 FTE)
Sports and Recreation Department	\$ 231,136.53 (2 FTE, 4 seasonal)
Buildings and Grounds Department	\$ 722,031.30 (9 FTE, 4 seasonal)
Family Insurance	\$ 413,735.00

The City of Star has a very strong team of employees who service all customers professionally and ethically. During this time of incredible growth and a difficult recruiting process in the Treasure Valley, the city has been fortunate to have a group of highly motivated employees who work hard to handle the increased workloads presented to them. With this growth, the city will be adding additional positions as needed, to assure this level of customer service continues. We have a history of running lean. When and if the economy declines, adjustments will need to be made from the top down.

Exhibit 7 on the following page shows the current organizational structure along with potential future positions.

Animal Control

Idaho Code 50-319 requires the cities in Idaho to provide Animal Control. In fiscal year 2023/2024 the City of Star moved to the Idaho Humane Society as our animal control agency. Idaho Humane Society has done a good job of handling animal control calls. The new contract will be \$84,695.00.00. This contract will continue to free up the City of Star’s Police to respond to calls and be more proactive in our community.

Idaho Humane Society	\$ 84,695.00
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Exhibit 7: 2024/2025 City of Star Organizational Chart

CITY OF STAR ORGANIZATION CHART



COLOR LEGEND

Elective Position	Appointed Position	City Employee	Contract Position	Seasonal Position	Partnering Agencies
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Legal, Professional Services and ICRMP

In 2006, the City of Star annexed approximately 650 acres from Canyon County into the city. Several additional developments have annexed into Star located in Canyon County over the past few years. These annexations have changed Star into a dual county city, thus requiring agreements to be put in place with the prosecutors of both Ada and Canyon Counties. The fees associated with prosecuting services are part of our mandatory expenses. The Prosecutors office handle all Felony cases at no additional cost to the city, however, the misdemeanor cases require the city to pay an additional fee. Due to the increase in misdemeanor cases, the prosecuting services increased in Ada County by 34.66%. For the Canyon County Prosecutor the fees have reduced by 84.76% due to the very limited case volume as growth in Star in Canyon County has not increased the misdemeanor cases at this time.

Ada County Prosecutor	\$ 42,502.86
Canyon County Prosecutor	\$ 2,400.00

Idaho State Statute requires the city to have an appointed attorney. Our attorney provides legal advise and opinions over many subjects, including land use and daily operations of the city. We have also budgeted for special council in the event of extended litigation or potential conflicts of interest. The City of Star has a contract in place with White Petersen Law Offices for additional legal services.

City Attorney	\$ 48,000.00
Additional Legal	\$ 30,000.00

The City of Star, Star Fire District and Star Sewer and Water share the employee for our Information Technology (IT) department. This collaboration only costs the city 1/3 of the salary and benefits for this position.

Idaho Counties Risk Management Program (ICRMP) is our city liability insurance provider. Many cities and counties belong to this organization. They have provided top notch coverage and advice on all aspects of safety, human resources and city operations. The insurance industry continues to see increases. For fiscal year 2024/2025 the City of Star’s insurance with ICRMP has increased by 94.99%.

IT (Contract share with Star Fire and Star Sewer and Water)	\$ 36,050.00
ICRMP	\$ 33,280.00

Parks Development

We made great progress in the development of our park facilities between 2020-2024. We completed Star’s Recreation Building and Riverhouse which provides the city with nearly 6,000 square feet of recreation, meeting and event space. The Riverhouse has become a very popular destination for our citizens with Freedom Park nearing completion adding 60+ acres of outdoor activity. The city is currently

paving a new parking lot for the additional traffic at the Riverhouse/Freedom Park complex. The city also completed improvements to Pavilion Park adding Pickleball Courts, Basketball Court and grassing the remaining park for open play.

The City of Star will continue developing parks as part of our capital improvement plan. Fiscal year 2024/2025 will see the following improvements completed for the betterment of the community.

Pavilion Park (Fully ADA playground and added trees)	\$ 500,000.00
Hunter’s Creek (Walking Path from flagpole to east pathway)	\$ 40,900.00
Star Riverwalk (Restroom Facility)	\$ 225,000.00
Cowboy (Boothill) Park (Fencing, grass and irrigation)	\$ 575,000.00
Roselands Park (grass, trees and irrigation)	\$ 535,000.00
Riverhouse Complex (Building Plans for center)	\$ 250,000.00

Future Development of Parks

Trident Ridge Pathways Park	Fiscal Year 2025/2026
Roselands Park (Additional Amenities)	Fiscal year 2025/2026

Professional Dues

The City of Star is a member of many organizations that provide assistance to the city in various aspects of city planning, city administration and partnerships. There has been an increase in dues for many of the organizations. Below is a list of the organizations the City of Star pays yearly dues:

Ada County Emergency Management	\$ 7,815.00
Association of Idaho Cities	\$ 7,156.00
Boise Valley Economic Partnership	\$ 2,750.00
COMPASS	\$ 8,981.00
AIC – Clerks	\$ 180.00
IIMC	\$ 435.00
International Code Council	\$ 180.00
Treasure Valley Partnership	\$ 1,400.00
Boise Metro Chamber of Commerce	\$ 500.00
Star Chamber of Commerce	\$ 150.00
SW Idaho Business Alliance	\$ 50.00
Idaho Parks and Recreation Association	\$ 200.00
National Park and Rec Association (NRPA)	\$ 200.00
Building Officials Association	\$ 470.00

Committees

The City of Star has several active committees. These committees are staffed entirely with volunteers. You may have recently participated in Star's Hometown Celebration on July 4th. This fantastic event is organized entirely by volunteers.

The Activities Committee spends most of the year planning for this event. This committee worked hard to make this year's event even more special than in years past. We had a record turnout for the Hometown 4th of July Parade and Hunters Creek Park was packed with citizens and members of our community, taking in the music, games, food and the best fireworks show in the valley. Additionally, the Activities Committee Members are working on Trunk or Treat, the City of Star's Christmas celebration and a New Years Eve celebration. Their budget is included in another area of the 2024/2025 budget worksheet.

The Parks, Art & Beautification Committee is very active in Star. You can often find them cleaning up areas of our city, planning art projects and looking for ways to beautify our wonderful city. The PAB Committee is very active in our community with awesome volunteers and has many great things planned for our city.

The Transportation and Pathways Committee (TPC), works hand in hand with ACHD, ITD and HD4. This committee has updated our transportation master plan, called the Economic Corridor Access Management Plan (ECAMP). Additionally the TPC has put together a master pathways plan and working with a consultant to put the final touches on the plan. This plan will be used by the upcoming impact fee committee for future capital improvement projects.

The Mayor's Youth Council attends many community events and works to raise funds for the Mayor's Youth Scholarship Fund. These kids are learning to be future leaders in our community and will be visiting and learning about all levels of local and state government.

The Star Historical Committee is a newer committee. We have families that have lived in Star for many years, and this committee has put together audio/video interviews to retain Star's history. Their budget is a little higher than others as they will have to purchase items for historical document storage. It is important to recognize Star's unique history for many generations to come.

The Impact Fee Committee will regroup this fall to review all of our capital improvement plans and update it with new fees associated with the Star Parks Impact Fee. Below are the proposed budgets for each of these committees.

Transportation	\$ 2,000.00
Parks, Art and Beautification	\$ 31,000.00
Impact Fee Committee	\$ 2,000.00
Mayors Youth Council	\$ 5,000.00
Historical Committee	\$ 36,428.00

Building Expenses and Land Use Bonds

The city contracts with three specialty building inspectors. Per the contract the city pays up to 60% of the fee to the electrical, plumbing and mechanical officials and keep the remaining as income for the city. The large growth we are currently seeing in the valley has created an increase in the revenue generated.

Electrical Inspector	\$ 105,000.00
Plumbing Inspector	\$ 105,000.00
Mechanical Inspector	\$ 126,000.00

Land use bonds are pass through expenses paid back to developers. Very rarely would these bonds need to be cashed to completed a project. City Engineer inspects the project for completion prior to releasing the bond.

Land Use Bonds	\$ 200,000.00
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Impact Fees and Proportional Share

The impact fees and proportionate share are pass through expenses. Each month we send the total amount collected to ACHD, HD4 and Star Fire respectively less \$20.00 per permit administration fee.

The funds collected for ACHD can only be used for specific project improvements as identified in ACHD’s Capital Improvement Plan. Many of the upcoming projects can be viewed on ACHD’s five year integrated work plan.

HD4 is a new impact fee approved by the City Council in December 2021. These impact fees will go towards HD4’s capital improvement plan and improve roadways in Canyon County within Star’s growth area.

As we collect ITD’s proportion share, we will hold these funds in a separate savings account to be used on highway improvements on one of the three state highways in Star. This is a great program for our city and will result in much needed highway improvements and better traffic flow. Currently, you can see the results of this program with the improvements of five lanes on Highway 44 from Bent Lane to

Star Road. There will not be an additional projected started or completed with this program for budget year 2024/2025.

Star Fire Impact fees are passed through to the district once each month. In the Fall of 2024 Star Fire will build a new station on Floating Feather Road utilizing the collected impact fees.

ACHD Impact Fee (525 * \$3,493.00) – (525 * \$20.00)	\$ 1,823,325.00
Star Fire Impact (600 * \$2,152.00) – (600 * \$20.00)	\$ 1,279,200.00
CHD4 (75 * \$ 5,050.00) – (75 * \$20.00)	\$ 377,250.00

Sports and Recreation

There are several expenses associated with the various sports and recreation programs the city offers. Our Recreation team does a great job working to control costs. The goal is to have the registration fees and grants pay for 100% of expenses.

The recreation program hosts roughly 1,600 people in both classes and camps. Over 20 different classes were offered this year including Fit and Fall, Yoga, Tai Chi, Pilates, Art Classes, Before and After School Programs, Kids camps and various education classes.

The City of Star provides sports programs to approximately 1,400 participants every year. Sporting programs include: soccer, baseball, softball, football, la crosse, and more.

Expenses associated with both of these programs include, equipment, fields, restrooms, coaches, referees, uniforms, league fees, training, rental equipment and instructors.

Sporting Expenses	\$ 143,000.00
Classes and Activities Expenses	\$ 163,526.00

Planning

The City Council worked for seven months updating the Star City Code. This code is important for the appropriate development of our community.

With the increase in the commercial properties along the Highway 44 corridor, the City of Star will begin to work on a Downtown Parking Plan. This plan will help with the safe pedestrian and vehicle traffic to the many new businesses that choose to call Star Home.

Downtown Parking Plan	\$ 100,000.00
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Buildings and Grounds

By the end of 2024, the City of Star’s park system will increase by 76.75 acres with the completions of Freedom Park and Pavilion Park. Currently, the park system is 35.05 acres. This is an increase of 218% of park space for the citizens of all ages and abilities to enjoy. In future years, 2025 and beyond, the City is expected to increase the park system by an additional 69.23 acres, which would be a 58.27% of additional park space. These additions necessitate the increase in the budget for the items below.

As vandalism increases we will see an increased need to fix these areas. The city has been very proactive this past year in placing cameras in our city parks to catch some of these criminals. It has been successful and our police have cleared many of the issues.

Buildings (Increase of 77.85%)	\$ 95,150.00
Grounds (Increase of 47.31%)	\$ 125,900.00
Equipment (Increase of 6.43%)	\$ 24,800.00
Tools (Increase of 63.63%)	\$ 18,000.00
Repair (Increase of 49.48%)	\$ 72,500.00
Uniform (Increase of 71.43%)	\$ 3,000.00
Landscaping (No Increase)	\$ 28,000.00

Capital

In budget year 2024/2025 the City of Star will need to repaint City Hall. The paint has faded and is chipping in many locations. Additionally, with the changes in EPA regulations regarding cooling systems, all of the heating and air units located at City Hall will be required to be replaced as it is becoming nearly impossible for parts to be found for the systems that are about 12 years old.

With the increase in parks and the amount of amazing work our parks crew completes, it is necessary for additional equipment to be purchased. This equipment includes mowers, Kubota’s and trailers.

Equipment	\$ 93,648.00
General/Buildings	\$ 130,431.00

Closing

We have created a great and strong fiscally responsible community, and others with similar values want to be part of it. I believe what gives Star its hometown feel is not how small it stays, or how big it grows; it’s the people that give Star its character, by treating each other with respect and helping each other out when needed.

As we continue to work to improve our city, provide top notch public safety, expand our open space, develop additional parks, put planning documents in place, work with agencies to assure we are getting max value from them and the development community, bringing the wealth of business into our community, we hope and strive to create a community that is the envy of the Treasure Valley and Idaho. We will continue to look for innovative ways to make our community stronger. Thank you for taking the time to read this and being part of our wonderful city.

Exhibit 8: City of Star 2024/2025 Expenses

2024/2025 City of Star Expenses				
Item	Budget 2023/2024	Budget 2024/2025	Notes	
Executive (Mayor and Council)				
Payroll	\$ 142,600.00	\$ 142,600.00		
FICA/Medicare	\$ 11,122.80	\$ 11,122.80		
Workmans Comp	\$ 1,320.00	\$ 3,976.50		
Public Retirement	\$ 27,350.00	\$ 11,666.00		
Health Insurance	\$ 66,000.00	\$ 74,580.00		
Clerks/Treasurers Office				
Payroll	\$ 311,376.18	\$ 408,329.46		
FICA/Medicare	\$ 17,822.23	\$ 31,849.70		
Workmans Comp	\$ 1,056.00	\$ 4,771.80		
Public Retirement	\$ 25,133.92	\$ 48,836.20		
Health Insurance	\$ 66,000.00	\$ 75,823.00		
Planning & Zoning/Building Department				
Payroll	\$ 498,873.48	\$ 790,314.00		
FICA/Medicare	\$ 29,509.23	\$ 61,644.49		
Workmans Comp	\$ 1,584.00	\$ 7,157.70		
Public Retirement	\$ 41,615.58	\$ 94,521.55		
Health Insurance	\$ 79,200.00	\$ 134,244.00		
Sports and Recreation Department				
Payroll	\$ 214,067.52	\$ 126,606.48		
Seasonal (For Sports Programs)	\$ -	\$ 48,540.00		
FICA/Medicare	\$ 13,673.59	\$ 9,875.31		
Workmans Comp	\$ 792.00	\$ 1,590.60		
Public Retirement	\$ 19,283.26	\$ 15,142.14		
Health Insurance	\$ 39,600.00	\$ 29,382.00		
Bldg & Grounds Mtn.				
Payroll	\$ 376,824.00	\$ 446,166.00		
Seasonal (up to 4 employees)	\$ 30,000.00	\$ 40,000.00		
FICA/Medicare	\$ 26,027.04	\$ 37,920.95		
Workmans Comp	\$ 2,904.00	\$ 10,338.90		
Public Retirement	\$ 33,404.80	\$ 53,361.45		
Health Insurance	\$ 105,600.00	\$ 134,244.00		
Employee Costs				
Additional Employee Insurance		\$ 413,735.00		
Merit Increases	\$ 30,000.00	\$ 30,000.00		
Training	\$ 10,000.00	\$ 12,500.00		
Travel & Per Diem	\$ 10,000.00	\$ 12,500.00		
Bank Service Charge	\$ 500.00	\$ 750.00		
Grant Expense	\$ 280,000.00	\$ 100,000.00		
Legal				
City Attorney	\$ 48,000.00	\$ 48,000.00		
Outside Legal Fees	\$ 20,000.00	\$ 30,000.00		
Ada County Prosecuting Attorney	\$ 31,561.68	\$ 42,502.86		
Canyon County Prosecuting Attorney	\$ 15,750.00	\$ 2,400.00		
Student Scholarships	\$ 30,000.00	\$ 30,000.00		
General Office				
Supplies	\$ 30,000.00	\$ 32,000.00		
Postage & Supplies	\$ 6,500.00	\$ 6,500.00		
Passport Postage	\$ 6,500.00	\$ 2,700.00		
Promotions	\$ 5,000.00	\$ 5,000.00		
Advertising-Publications	\$ 8,000.00	\$ 8,000.00		
Resource Material	\$ 1,000.00	\$ 1,000.00		
Events				
Hometown Celebration	\$ 45,000.00	\$ 70,800.00		
Misc Events	\$ 16,000.00	\$ 16,100.00		
Police Fishing Rodeo	\$ 7,500.00	\$ 10,000.00		
Insurance (ICRMP)	\$ 17,067.00	\$ 33,280.00		
Subscriptions & Fees				
Archive Social	\$ 2,632.77	\$ 3,000.00		
Muniweb (changed from GovOffice)	\$ 7,500.00	\$ -		Remove
Mtn. Alarm	\$ 1,260.00	\$ 3,000.00		

Office 365	\$ 10,913.35	\$ 4,500.00	
Bluebeam	\$ 15,224.38	\$ 7,600.00	
Doctopia/Treno	\$ 7,704.00	\$ 12,000.00	
Elevator	\$ 1,800.00	\$ 2,100.00	
Terminex	\$ -	\$ 4,000.00	
Xerox/Allied	\$ 15,000.00	\$ 16,000.00	
Western Heating (Changed from AirCare)	\$ 1,771.00	\$ 2,000.00	
Zoom Licensing	\$ 2,418.50	\$ 2,600.00	
Misc Software	\$ 3,000.00	\$ 2,500.00	
Adobe Acrobat	\$ 2,815.16	\$ 3,000.00	
Data Backups	\$ 4,533.00	\$ -	Remove
Black Mountain	\$ 17,715.00	\$ 20,000.00	
UKG	\$ 2,430.00	\$ 3,500.00	
Syncro Management		\$ 750.00	New
iWorq		\$ 25,750.00	New
Rec Software (Sawyer, Sports Plus)		\$ 20,000.00	New
Arc GIS		\$ 1,000.00	New
CivicPlus Website	\$ -	\$ 6,590.00	
Municode		\$ 3,500.00	New
CivicPlus Meeting Management		\$ 3,000.00	New
IT Improvements	\$ 30,000.00	\$ 42,500.00	
Professional Services			
Keller Associates	\$ 10,000.00	\$ -	Remove
IT Shared Service with Fire and Sewer and Water	\$ 35,000.00	\$ 36,050.00	
Clearwater Financial	\$ -	\$ 12,000.00	
Audit	\$ 8,000.00	\$ 15,000.00	
Professional Dues			
Ada County Emerg. Mg	\$ 6,947.00	\$ 7,815.00	
Assoc. of ID Cities	\$ 5,164.80	\$ 7,156.00	
BVEP	\$ 1,102.50	\$ 2,750.00	
COMPASS	\$ 7,799.00	\$ 8,981.00	
AIC - Clerks	\$ 180.00	\$ 180.00	
IIMC	\$ 600.00	\$ 435.00	
Intn'l Code Council	\$ 155.00	\$ 180.00	
TV Partners	\$ 1,112.00	\$ 1,400.00	
Valley Reg. Transit	\$ 8,000.00	\$ -	Per Council Remove \$11,812
Boise Chamber	\$ 500.00	\$ 500.00	
Star Chamber	\$ 150.00	\$ 150.00	
Idaho Nursery Assn.	\$ 100.00	\$ -	Remove
Recreation Today	\$ 650.00	\$ -	Remove
Arbor Assn.	\$ 150.00	\$ -	Remove
NORFMA	\$ 275.00	\$ -	Remove
SW Idaho Business Alliance	\$ 50.00	\$ 50.00	
National Park and Rec Association (NRPA)	\$ 500.00	\$ 200.00	
Idaho Parks and Recreation Association	\$ 200.00	\$ 200.00	
Building Officials	\$ -	\$ 470.00	New
PR/Marketing			
Public Relations	\$ 15,000.00	\$ 15,000.00	
Committees			
Transporation & Pathways	\$ 2,000.00	\$ 2,000.00	
Parks, Art and Beautification	\$ 19,000.00	\$ 31,000.00	
Impact Fee Committee	\$ 2,000.00	\$ 2,000.00	
Mayors Youth Council	\$ 5,000.00	\$ 5,000.00	
Historical Committee	\$ 33,518.00	\$ 36,428.00	
Utilities			
Telephone	\$ 20,000.00	\$ -	
Waste Management	\$ 10,000.00	\$ 12,000.00	
Power	\$ 30,000.00	\$ 36,000.00	
Streetlights	\$ 5,000.00	\$ 10,000.00	
Natural Gas	\$ 4,500.00	\$ 8,000.00	
Irrigation Shares	\$ 3,500.00	\$ 4,000.00	
Sewer & Water	\$ 4,000.00	\$ 6,000.00	
VOIP Phone Service	\$ -	\$ 13,000.00	New breakout from telephone
Cellular Phone Service	\$ -	\$ 15,000.00	New breakout from telephone
Fiber	\$ 30,000.00	\$ 54,000.00	

Impact Fee/Prop. Share			
ACHD	\$ 1,571,850.00	\$ 1,823,325.00	\$10,500 for administration
Star Fire Dept.	\$ 394,500.00	\$ 1,279,200.00	\$12,000 for administration
CHD4	\$ 251,500.00	\$ 377,250.00	\$1,500 for administration
Building Expenses			
Building Inspector	\$ 480,367.75	\$ -	Moved In house
Electrical Inspector	\$ 94,111.20	\$ 105,000.00	
Plumbing Inspector	\$ 94,111.20	\$ 105,000.00	
Mechanical Inspector	\$ 111,611.20	\$ 126,000.00	
Land Use-Bond Returns	\$ 200,000.00	\$ 200,000.00	
Recreation			
Sports			
Equipment	\$ 9,000.00	\$ 10,000.00	
Coaches	\$ 10,000.00	\$ 10,000.00	
Referees	\$ 17,000.00	\$ 23,000.00	
Promotions	\$ 1,000.00	\$ 1,000.00	
Refunds	\$ 1,000.00	\$ 1,000.00	
Uniforms	\$ 20,000.00	\$ 57,000.00	
League Fees	\$ -	\$ 9,000.00	
Rentals	\$ 1,000.00	\$ 2,000.00	
Staff Training	\$ 5,000.00	\$ 10,000.00	
Professional Dues	\$ -	\$ 1,000.00	
Recreation Software	\$ 1,770.00	\$ -	Moved to IT
Miscellaneous		\$ 19,000.00	
Classes & Activities			
Equipment	\$ 6,000.00	\$ 30,000.00	
Instructors/Counselors	\$ 106,000.00	\$ 107,526.00	
Promotions	\$ 1,000.00	\$ 1,000.00	
Refunds	\$ 1,500.00	\$ 1,500.00	
Miscellaneous (Equip, supplies)	\$ 15,000.00	\$ 2,000.00	
Training	\$ 2,500.00	\$ 10,000.00	
Rentals (Equipment, Storage, Buildings)	\$ 7,500.00	\$ 11,500.00	
Parks Development			
Blake Haven Park	\$ -	\$ -	
Hunters Creek Park	\$ 15,000.00	\$ 40,900.00	Concrete Pathway
Westpointe Park	\$ -	\$ -	
River Walk	\$ -	\$ 225,000.00	Restroom Facility
960 S. Main Park (Freedom Park)	\$ 1,000,000.00	\$ -	
Pavilion Park	\$ 650,000.00	\$ 500,000.00	ADA Playground and trees
Trident Ridge Park	\$ -	\$ -	
Cowboy (Boothill) Park		\$ 575,000.00	Fence on E Path, Grass/Sprinklers
Roselands Park	\$ -	\$ 535,000.00	Grass, Irrigation, Trees
946 S Main Street	\$ 400,000.00	\$ 250,000.00	Plans for Bldg
Plans			
Safe Route To Star Middle School	\$ 600,000.00	\$ -	
Downtown Star Parking Plan	\$ 100,000.00	\$ 100,000.00	
Buildings & Grounds			
Buildings			
Wood Surface Rep/Mtnc	\$ 5,000.00	\$ 8,500.00	
Carpet/Floor Cleaning	\$ 1,000.00	\$ 1,000.00	
Rpr/Mtnc City Hall Ext.	\$ 3,000.00	\$ 10,000.00	
Janitorial Supplies	\$ 8,000.00	\$ 14,000.00	
Plumbing Rpr/Mtnc.	\$ 10,000.00	\$ 20,000.00	
Building Rpr/Mtnc.	\$ 10,000.00	\$ 20,000.00	
Electrical Rpr/Mtnc.	\$ 10,000.00	\$ 20,000.00	
Locksmith & Keys	\$ 1,000.00	\$ 1,000.00	
Backflow Annual Inspec.	\$ 500.00	\$ 650.00	
Security Cameras	\$ 5,000.00	\$ -	Moved to IT
Grounds			
Fertilizer/Seed/Spray	\$ 25,000.00	\$ 25,000.00	
Paint for Sports Field	\$ 5,000.00	\$ 8,000.00	
Trash Recptacle	\$ 10,000.00	\$ 15,000.00	
Cement Curb/trash base	\$ 2,500.00	\$ 25,000.00	
Parking Lot Mtnc.	\$ 20,000.00	\$ 25,950.00	
Irrigation Mtnc/Eng Rpr	\$ 15,000.00	\$ 20,000.00	

Fence Posts/Hardware	\$ 1,000.00	\$ 5,000.00	
Porta Potties	\$ 7,000.00	\$ 2,000.00	
Equipment			
Fuel	\$ 15,000.00	\$ 18,000.00	
Diesel/Mtnc. Items	\$ 3,000.00	\$ 3,000.00	
Tires & Repair	\$ 3,000.00	\$ 3,000.00	
Auto Parts/Mtnc.	\$ 1,500.00	\$ -	Combine with Diesel mtnc
Fire Extinguisher	\$ 800.00	\$ 800.00	
Tools			
Hand Tools	\$ 2,000.00	\$ 2,000.00	
Rental Equip.	\$ 5,000.00	\$ 12,000.00	
Power Tools	\$ 4,000.00	\$ 4,000.00	
Repair			
Vandalism Repair	\$ 8,000.00	\$ 10,000.00	
Mower/ Heavy Equipment Repair	\$ 5,000.00	\$ 5,000.00	
Flag Rpr/Mtnc.	\$ 4,000.00	\$ 4,000.00	
Pump Rpr/Mtnc.	\$ 8,000.00	\$ 30,000.00	
Nuts/Bolts/Screws	\$ 500.00	\$ 500.00	
Bldg Materials	\$ 5,000.00	\$ 5,000.00	
LOF/Mtnc.	\$ 6,500.00	\$ 6,500.00	
Painter Rpr/Parts	\$ 1,500.00	\$ 1,500.00	
Playground Rpr/Mtnc.	\$ 10,000.00	\$ 10,000.00	
Uniform			
Mtnc Uniforms	\$ 750.00	\$ 1,000.00	
Safety Apparel/Supplies	\$ 1,000.00	\$ 2,000.00	
Landscaping			
Trees & Shrubs	\$ 15,000.00	\$ 15,000.00	
Landfill Fees	\$ 3,500.00	\$ 3,500.00	
Wood Bark	\$ 2,500.00	\$ 2,500.00	
Top Soil	\$ 5,000.00	\$ 5,000.00	
Perma Bark	\$ 2,000.00	\$ 2,000.00	
Animal Control	\$ 82,225.00	\$ 84,695.00	
Law Enforcement	\$ 2,838,829.00	\$ 3,437,788.00	
Fire Mitigation Fee Payment		\$ 2,160,000.00	
Miscellaneous			
Miscellaneous	\$ 1,000.00	\$ 1,000.00	
Transfer to Park Fund	\$ -	\$ -	
Capital			
Buildings (1)*	\$ 100,000.00	\$ 130,431.00	
Equipment(2)**	\$ 15,000.00	\$ 93,648.00	
General	\$ 45,000.00	\$ 45,000.00	
Signs	\$ 5,000.00	\$ 7,000.00	
Streetlight Rpr/Mtnc.	\$ 5,000.00	\$ 10,000.00	
Transfer to General Fund	\$ 732,474.58	\$ 287,902.82	
	\$ 13,442,388.70	\$ 17,467,273.71	\$ -

Mandatory Expenses
Pass-Thru Expenses

Buildings(1)*

Replace HVAC Units at City Hall	\$ 101,461.00
Repaint City Hall	\$ 28,970.00
Capital Buildings Total	\$ 130,431.00

Equipment(2)**

Tilt Trailer	\$ 9,629.00	
Kubota RTV 520 (2 Total)	\$ 34,674.00	
Grass/Landscape Trailer	\$ 8,795.00	
Gravely Prostance 48	\$ 9,800.00	
Gravely Proturn 672	\$ 16,250.00	
Kubota SCL 1000 (Stand on Loader	\$ 34,557.00	Removed
Gravely Fertilizer/Spray Stand On	\$ 14,500.00	
Capital Equipment Total	\$ 128,205.00	
Less Stand on Loader per council	\$ 93,648.00	