



PLANNING COMMISSION AGENDA
MONDAY, SEPTEMBER 27, 2021
CITY HALL at 7:00 PM

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

[A.](#) Approval of Minutes - August 23, 2021

5. PUBLIC HEARING

[A.](#) Public Hearing - Side Yard Variance - 8317 Fillmore Street

[B.](#) Public Hearing - Variance from Side Yard Setback for Industrial Property next to Residential Property - 8457 Sunset Road NE

[C.](#) Public Hearing - Conditional Use Permit for Adult Daycare - 1330-1334 81st Ave NE

[D.](#) Public Hearing - Conditional Use Permit for Market/Boutique Shop and Office - 8409-8421 Center Drive

[E.](#) Public Hearing - Conditional Use Permit to Operate Construction Business with Auto Repair and Outdoor Storage - 8375 Sunset Road

6. NEW BUSINESS

[A.](#) Review 2022 Street Improvement Project for Compliance with Comprehensive Plan

7. OTHER

A. Administrator Report

8. ADJOURN

**SEE REVERSE SIDE FOR RULES FOR PUBLIC HEARINGS AND
DISCUSSION FROM THE FLOOR**

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 1301 81st Avenue NE, Spring Lake Park, MN 55432. Ph.763-784-6491 at least 48 hours in advance.

CITY OF SPRING LAKE PARK RULES FOR PUBLIC HEARINGS

Public hearings are formal proceedings giving citizens an opportunity to express their concerns on a specific issue. Some issues on which the Planning Commission is required to hold public hearings include subdivisions, zoning changes, conditional use permits, and ordinance amendments.

The following format will be used to conduct a public hearing:

1. Planning Commission Chair opens the hearing.
2. City staff describes the proposal.
3. The applicant has an opportunity to further explain the proposal and respond to questions/ comments on the proposal from the Planning Commissioners.
4. Citizens will then have the opportunity to ask questions and/or comment on the proposed project.
 - a. Those wishing to comment are asked to limit their comments to 3 minutes
 - b. A group of residents wishing to have their collective opinions voiced may elect a spokesperson to represent them. The spokesperson may have a maximum of 10 minutes to express the views of the group.
 - c. People wishing to comment are asked to keep their comments succinct and specific.
5. After everyone wishing to address the subject of the hearing has done so, the Planning Commission Chair will close the hearing.
6. Planning Commissioners will have an additional opportunity to comment and ask questions on the issue.
7. The Planning Commission will make a formal recommendation on the issue to the City Council or defer decision pending additional information.

OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park Planning Commission was held on August 23, 2021 at the City Hall, at 7:00 PM.

1. CALL TO ORDER

Chair Hansen called the meeting to order at 7:00 PM.

2. ROLL CALL

MEMBERS PRESENT

Commissioner Aisha Ali
Commissioner Jeff Bernhagen
Commissioner Rick Cobbs
Commissioner Doug Eischens
Commissioner Hans Hansen
Commissioner Eric Julien

STAFF PRESENT

Building Official Jeff Baker; Administrator Daniel Buchholtz; Planner Lauren Walburg, Stantec

OTHERS PRESENT

Dinesh Singh, Infinity Automotive
Dave Singh, Infinity Automotive
Nancy Singh, Infinity Automotive
Brad Delfs, City Council

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES

A. Approval of Minutes - June 28, 2021

Motion made by Commissioner Bernhagen, seconded by Commissioner Cobbs, to approve the minutes from the June 28, 2021 Planning Commission meeting.

Voting Yea: Chairperson Hansen, Commissioner Ali, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

5. PUBLIC HEARING

A. Public Hearing - Conditional Use Permit for Auto Repair/Detailing - Infinity Automotive, 8443 University Avenue NE

Planner Walburg provided an overview of the request for a conditional use permit (CUP) for automotive repair and detailing. She stated that there is an existing special use permit (SUP) on the property that limits overnight parking to six cars in the rear parking lot and five cars in the front parking lot. She said that the applicant is requesting the right to park 10 cars in the front parking lot and 10 cars in the rear parking lot. She noted that since January 2020, City Code Enforcement has recorded complaints and violations of the SUP on several occasions for having too many cars parked overnight on site, resulting in administrative offense tickets of over \$12,000. She said that the goal of the CUP is to help resolve this situation.

Planner Walburg stated that she is recommending approval of this request with conditions that include voiding the previous SUP upon approval of the new CUP, limit of operational hours between 7am and 9pm seven days per week, repair work done inside the building with overhead doors closed, and installation of new landscaping to screen the parking lot from University Avenue. She recommended staying the outstanding administrative offense tickets and waiving those tickets if the business satisfactorily follows the conditions in the CUP.

Commissioner Cobbs inquired if the applicant would be able to comply with the overnight parking restrictions in the proposed CUP. Dave Singh, Infinity Automotive, requested the ability to use their entire lot of 43 spaces for overnight storage of cars. Administrator Buchholtz noted that the recommendation was based on the original request from Nancy Singh to allow 20 cars to be parked overnight. He stated that it is not feasible to permit the entire lot to be used for overnight vehicle storage as parking spaces need to be available for employees and customers. Administrator Buchholtz inquired how many employees work at Infinity Auto during the major shift. Dave Singh responded twelve employees. Administrator Buchholtz recommended the Commission reserve twelve to fifteen spaces for employees and customers.

Commissioner Eischens inquired about hours of operation. Dinesh Singh, Infinity Automotive, stated that their hours of operation are Monday through Friday from 7am to 6pm. Eischens suggested limiting hours to more closely correspond to their hours of operation.

Commissioner Julien inquired about the requirement for the overhead doors to be closed while working on vehicles. He expressed his opinion that the requirement be removed as it can get very hot inside the shop during the summer months. Administrator Buchholtz stated that the requirement is in the Zoning Code.

Nancy Singh, Infinity Automotive, expressed concern about the landscaping requirement, noting that they do not own the building. Commissioner Cobbs stated his belief that it was a reasonable condition in light of the City granting Infinity Automotive the ability to store

additional cars overnight. He recommended the permit outline a specific timeline for submittal of a landscaping plan and the planting of the trees and shrubs.

Chair Hansen opened the public hearing at 7:32pm. He noted that the City received an email from Carolyn Lohman, 359 Manor Drive, expressing support for the application. Hearing no additional comments, Chair Hansen closed the public hearing at 7:33pm.

Motion made by Commissioner Cobbs, seconded by Commissioner Eischens, to recommend approval of a Conditional Use Permit for Infinity Automotive at 8443 University Avenue NE subject to the following conditions: 1) the previous Special Use Permit is voided upon approval of this Conditional Use Permit; 2) hours of operation shall be from 7:00 AM to 7:00 PM, Monday through Saturday; 3) overhead doors are to be closed and all work on vehicles shall be performed inside the building; 4) there shall be no outside storage of parts or equipment; 5) No more than ten (10) vehicles will be parked overnight (24 hours) on the front (west) side of the property and no more than twenty-four (24) vehicles shall be parked overnight in the rear (east) side of the building; 6) new landscaping shall be installed pursuant to a landscape plan approved by the City Planner within a timeframe established by the City Council on the boulevard at the front (west) side of the property, consisting of at least four overstory trees and at least twelve shrubs that will be 3 to 5 feet in height at maturity. All plant materials will be maintained for the duration of the Conditional Use Permit and will be replaced with approved equal if dead, damaged or destroyed; 7) if, in the opinion of the City's Building Official, the business satisfactorily follows the conditions in this Conditional Use Permit for a period of one year, the amounts owing on the outstanding administrative offense tickets will be waived by the City. If the conditions are not followed, new tickets may be issued and the additional amounts owing will be added to the existing amounts, with all such amounts to be certified to the property taxes to be paid in full; and 8) if the conditions of this permit are not met, the City Council may revoke the Conditional Use Permit under the provisions and process set forth under the City's Zoning Code.

Voting Yea: Chairperson Hansen, Commissioner Ali, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

6. OTHER

A. Administrator Report

Administrator Buchholtz stated that the City has received three zoning application for consideration at the September 27 Planning Commission meeting. He noted that the Commission would also review the 2022 Street Improvement Project for conformance with the City's Comprehensive Plan.

Commissioner Cobbs inquired about proposed Metro Transit route changes. Administrator Buchholtz stated that due to ongoing litigation between the ownership of Northtown Mall and Metro Transit, the 10N bus route will be modified to remove the segment of Monroe Street between 81st Avenue and Sanburnol Drive and replace it with a segment along 81st Avenue between Monroe Street and University Avenue.

7. ADJOURN

Motion made by Commissioner Julien, seconded by Commissioner Eischens to adjourn the meeting.

Voting Yea: Chairperson Hansen, Commissioner Ali, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

The meeting adjourned at 7:59 PM.

Memorandum

To: Chair Hansen and Members of the Planning Commission
From: Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer
Date: September 17, 2021
Subject: Variance Request – 8317 Fillmore St NE

Background

Bill Hendrickson, 8317 Fillmore St NE, has applied for a variance from the side yard setback standard for an addition to his accessory building and to allow a zero-lot line setback for his driveway.



The applicant is seeking a variance from the five foot side yard setback requirement as set forth in Appendix E of the Spring Lake Park City Code (for the accessory building) and Section 16.40.030 of the Spring Lake Park City Code (for the driveway).

The site is located on the 8300 block of Fillmore Street, between 83rd Avenue and Manor Drive. The

property is guided for low density residential in the 2040 Comprehensive Plan. The property is zoned R-1, Single Family Residential ~ allowed uses include single family homes. Property records show that the house on the property was constructed in 1967.

The City's current yard setback standards for the R-1 zoning district is as follows:

Dwelling, single family – front yard	35 feet
Dwelling, single family – rear yard	40 feet
Dwelling, single family – side yard	10 feet
Accessory uses, rear yard	5 feet

Accessory uses, side yard	5 feet
Driveway	5 feet

The existing garage is four feet off the property line. The property owner would like to construct a 24' by 22' addition to the existing garage. The property owner also plans to remove the existing, original driveway, replace with concrete and widen the driveway to 22 feet at the street.

Section 16.20.070 regulates accessory building and uses. The Code states that no single detached accessory building can occupy more than 30% of any rear yard and the sum of all land occupied by all accessory building shall not exceed 40% of the area of the required rear yard or 1,200 square feet, whichever is less. The applicant's accessory building with the proposed addition will equal 1,100 square feet. The rear yard area is approximately 8,000 square feet. The accessory building after the proposed addition would cover 13.75% of the rear yard, well under the standard.

Appendix D sets the maximum percentage of lot coverage of all structures in the R-1 district at 35%. The applicant's property is approximately 14,175 square feet, which would accommodate a maximum structure lot coverage of 4,961 square feet. With the addition, the total square footage of all structures on the property is 2,815 or 19.8% of the total lot size.

Section 12.52.060 sets the maximum driveway width in the public right-of-way at 29 feet. The applicant is proposing the driveway width be 22 feet.

The applicant is proposing to utilize the addition to accommodate additional storage in his accessory building.

Previous applications: Zoning permit for a fence.

Variance

Section §16.60.040 of the City of Spring Lake Park's zoning code outlines the criteria for considering variances:

“The City Council may grant a variance from the strict application of this title and impose conditions and safeguards on the variance so granted only in instances where their strict enforcement would cause practical difficulties in complying with the official control because of circumstances unique to the individual property under consideration, and may grant a variance only when it is demonstrated that such actions will be in harmony with the general purposes and intent of this title and when the variances are consistent with the Comprehensive Plan. “Practical difficulties” as used in connection with granting of a variance means that the property owner proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties. Practical

difficulties also include, but is not limited to, direct sunlight for solar energy systems. A variance shall not be granted to allow a use that is not allowed in the zoning district involved.”

Recommendation

Staff recommends approval of the variance. Staff’s analysis of the application shows that the proposed addition will not alter the character of the neighborhood as the proposed addition is residential in nature. Staff believes the proposed addition will not change the aesthetic of the home and will increase the value and usability of the property. Granting the variance will allow a flat wall on the north side of the building, rather than a one foot offset mid-building.

There are also a number of zero lot line driveways in the area, so a zero lot line driveway will not impact the character of the neighborhood.

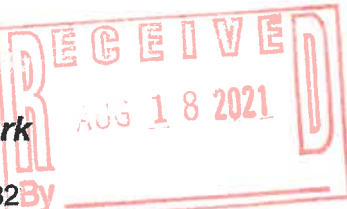
If the Planning Commission wishes to recommend approval of the variances, it would be with the following conditions:

1. Addition must be architecturally compatible with the existing garage (siding, roof pitch, roof material and the like) and must comply with all other requirements as set forth in the City’s zoning code.
2. Driveway modifications must be constructed pursuant to the standards set forth by the City of Spring Lake Park. Applicant must secure a zoning permit from the Code Enforcement Department for the expanded driveway.
3. Drainage must be handled in such a way not to deposit storm water or snow onto a neighboring property.
4. Applicant must apply for all building permits as required.

If you have any questions regarding this application, please don’t hesitate to contact me at 763-784-6491.



City of Spring Lake Park
 1301 81st Avenue NE
 Spring Lake Park, MN 55432
 763-784-6491 (p) 763-792-7257 (f)
 info@slpmn.org



For Office Use Only	
Case Number:	
Fee Paid:	450.00
Received by:	KP
Date Filed:	8/18/21
Date Complete:	
Base Fee:	150
Escrow:	300

CK# 12667
 #136054

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 8317 Fillmore ST NE		Current Zoning: Residential
Property Identification Number (PIN#):		
Legal Description (Attach if necessary): LOT 7 Block 7 park Manor Unit 2		
APPLICANT INFORMATION		
Name: Bill Hennrickson	Business Name:	
Address: 8317 Fillmore ST NE	State: mn	Zip Code: 55432
City: SPRING LAKE PARK	Fax:	E-mail:
Telephone: 651-272-9904	Contact: Bill Hennrickson @ Cloud Title	
Contact: Bill Hennrickson	Title:	
OWNER INFORMATION (if different from applicant)		
Name:	Business Name:	
Address:	State:	Zip Code:
City: SAME AS ABOVE	Fax:	E-mail:
Telephone:	Contact:	
Contact:	Title:	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: Single Family Residence		
Nature of Proposed Use: Single Family Residence		
Reason(s) to Approve Request: update driveway and garage AT SAME TIME Improving curb appeal		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:	Date of Application: 6/21	
Nature of Request: Fenced in back yard		
NOTE: Applications only accepted with ALL required support documents. See City Code		

APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

E-mail Bill.Henrickson@Icloud.com Fax _____ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Bill Henrickson Date: 08/17/21

Owner: Bill Henrickson Date: 08/17/21

NOTE: Applications only accepted with ALL required support documents. See City Code

**City of Spring Lake Park
Variance Application**

A variance cannot be approved unless the Planning Commission and City Council find that the "practical difficulties" standard has been met. Please provide a response as to how/why your project will meet the following criteria. Use additional sheets if necessary and consult with the Zoning Administrator if you need clarification on the intent of any of the standards set below.

1. Applicant Information:

Name: Bill Hennrickson Telephone: N/A
Address: 8317 Fillmore ST NE Cell Phone: 651-272-9904
City/State/Zip: Spring Lake Park Mn 55432 E-mail: bill.hennrickson@icloud.com

2. Property Owner Information (if different from above):

Name: SAME AS ABOVE Telephone: _____
Address: _____ Cell Phone: _____
City/State/Zip: _____ E-mail: _____

3. Project Location (Address and Legal Description): 8317 Fillmore ST NE
Lot 7 Block 7 Park Manor Unit #2

4. Present Use of Property: Single Family Residence

5. Description of Project: Widen Driveway by 12', extend garage by 24'

6. Specify Section of the Ordinance from which variance is sought: _____
Appendix E of Chapter 16 of the City Code

7. Explain how you wish to vary from the applicable provisions of this Ordinance: _____
building and Driveway line consistent with original building and Driveway

8. Please attach a site plan or accurate survey as may be required by Ordinance.

9. Practical Difficulties Test: Please answer the following questions as they relate to your specific variance request.

a. In your opinion, is the variance in harmony with the purposes and intent of the Ordinance?

Yes No Why or why not?

I'm not changing building or garage line, original line is only 4' off property line, I have plenty of room for snow removal on south side of Driveway

b. In your opinion, is the variance consistent with the Comprehensive Plan?

Yes No Why or why not?

Garage and driveway are TYPICAL FOR Single Family Residence

c. In your opinion, does the proposal put property to use in a reasonable manner?

Yes No Why or why not?.

Single Family Residence

d. In your opinion, are there circumstances unique to the property? (physical characteristics of the property – i.e. sloping topography or other natural features like wetlands or trees)?

Yes No Why or why not?

TYPICAL RESIDENTIAL LOT

e. In your opinion, will the variance maintain the essential character of the locality?

Yes No Why or why not?

it will maintain the character, AS WELL AS IMPROVING THE CURB APPEAL

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria listed above have been satisfied.

The undersigned certifies that they are familiar with application fees and other associated costs and also with the procedural requirements of the City Code and other applicable ordinances.

Applicant Signature:

Bill Henderson

Date:

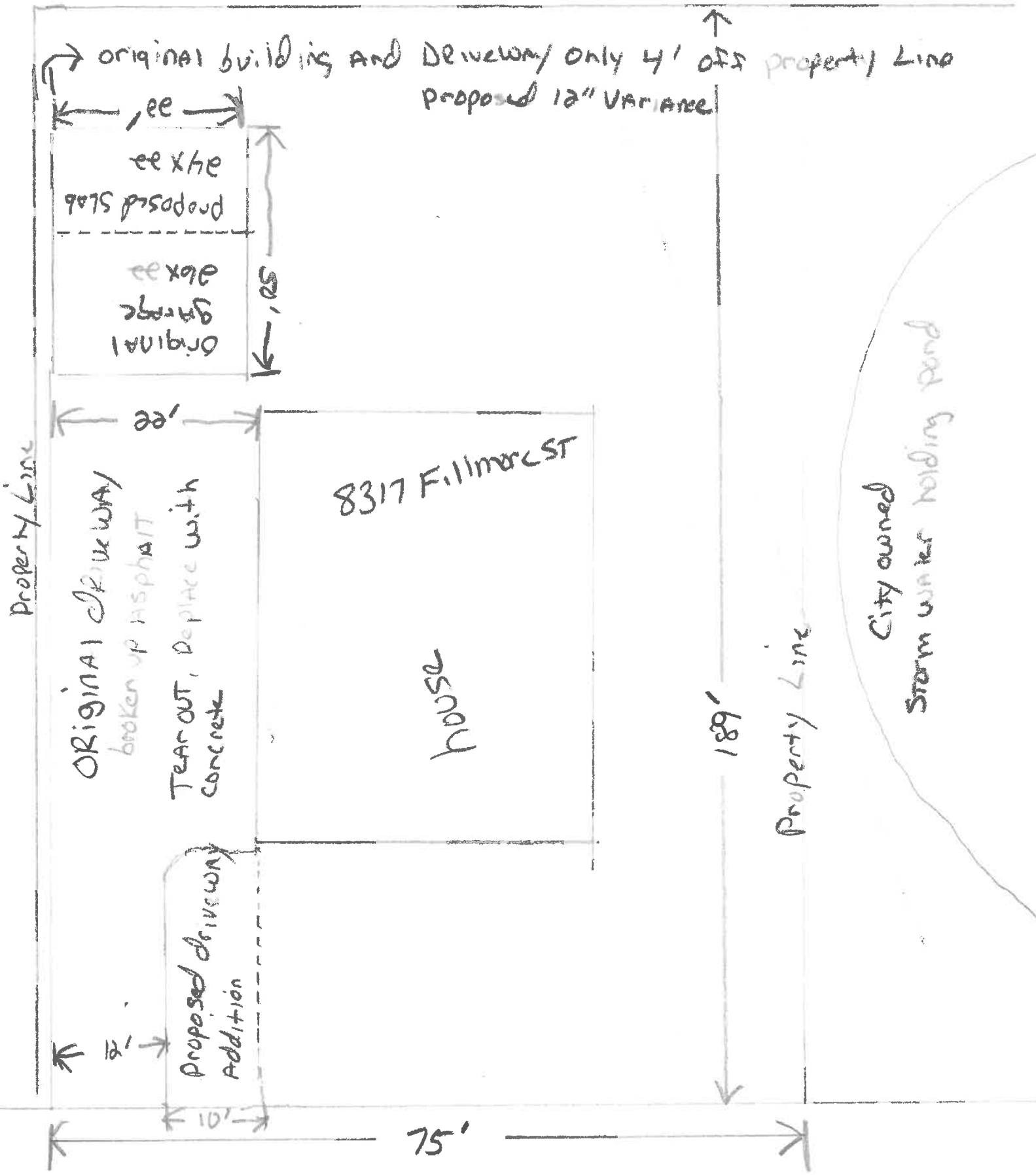
8/17/21

Fee Owner's (Property Owner) Signature:

Bill Henderson

Date:

8/17/21



Fillmore ST

To: Planning Commission
 City of Spring Lake Park

File: Variance Request
 8457 Sunset Road NE

From: Lauren Walburg,
 Stantec

Date: September 27, 2021

Re: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

BACKGROUND

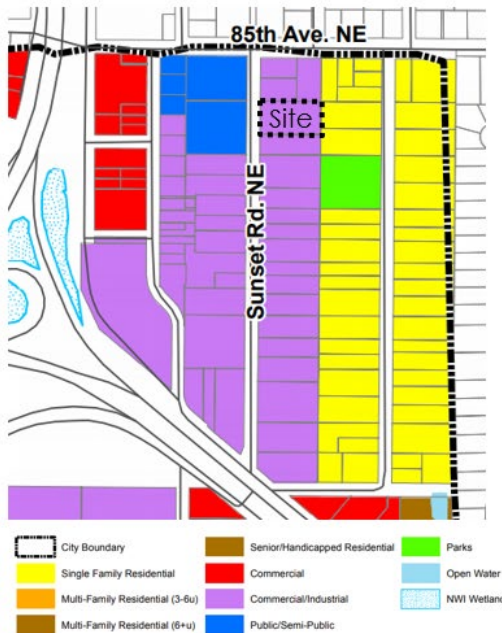
The 1.1-acre Industrial site at 8457 Sunset Road NE is a rectangular parcel located in the northeast corner of Spring Lake Park in the industrial park, south of 85th Avenue NE, fronting Sunset Road NE on its west side. The site abuts existing single family homes to the north, which are guided Industrial but still occupied as single family homes. The applicant Bob Fearing wants to build a 12,000-sq-ft building for an industrial use on the I-1 zoned property. The Zoning Code requires larger setbacks from industrial to residential uses and the applicant is requesting a variance to the side yard setbacks for the project and front yard parking setback for the project. The property was previously approved for a similar variance in May 2020, however since that time the location of the building on the site has been reconfigured, requiring an amended variance.

The property is currently vacant and borders another industrial use to the south, the Eagle Brook Church to the west across Sunset Road, two single family homes to the north, and single family homes to the east, which front on Westwood Road NE.

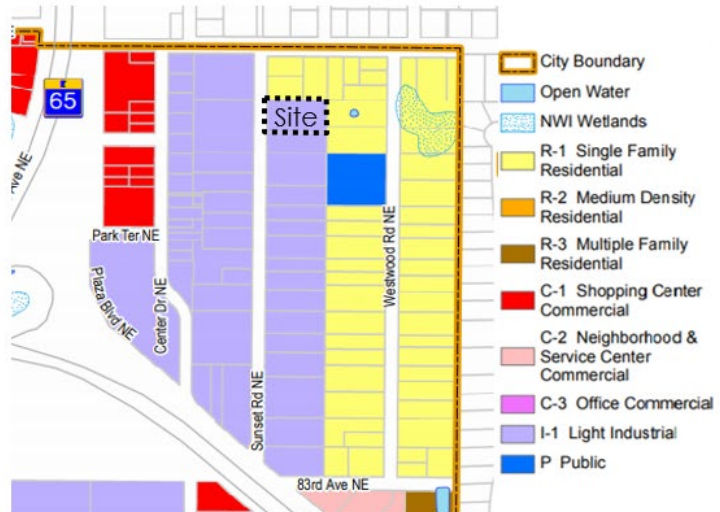


Reference: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

Land Use Plan



Zoning Map



LAND USE & ZONING

The land use and zoning pattern in the area is complex, but the request is simple (see map excerpts above):

- The site at 8457 Sunset Road NE is guided Commercial/Industrial and zoned I-1 Light Industrial.
- The Eagle Brook Church across Sunset Road NE is guided Public/Semi-Public but zoned I-1 Light Industrial.
- The homes to the north are guided Commercial/Industrial but zoned R-1 Single Family Residential.
- The homes to the east are guided and zoned Single Family Residential.
- In the Metropolitan Area, cities are obliged to have the zoning conform to the Land Use Plan. The Land Use Plan take precedence over the zoning.
- The single family homes north of the site could therefore be rezoned and redeveloped with Industrial uses at any time – the City would be obliged to rezone the property to I-1 to conform with the Land Use Plan.
- The request is for a variance to the side setback to the north that is the same as a future industrial use would require (if zoned according to the Land Use Plan) vs. what the existing residential uses require.

The required setbacks are as follows in the I-1 Light Industrial district, compared to what is proposed on the site plan:

<u>Yard</u>	<u>To Comm or Ind</u>	<u>To Residential</u>	<u>Proposed</u>
Side – Building	25 ft	50 ft	25 ft (North)
Side – Building	25ft		17 ft (South)
Rear - Building	35 ft	50 ft	68 ft
Front – Parking	25 ft		10ft

Reference: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

VARIANCE REQUEST

The previous variance request and the new variance requests are shown in the diagrams below. The yellow lines indicate variance requests (to either the required parking or building setback), and the red lines indicated the code required setback. The applicant is requesting to reduce the required 50 foot building side setback on the north (adjacent to residential) to a 25 foot setback. The applicant is also requesting a variance to the south side building setback from a required 25 feet to 17 feet. These setbacks will accommodate a rectangular building, with parking in front. Finally, the applicant is requesting a variance to reduce the required front parking setback from 25 feet to 10 feet to accommodate for their parking lot.

The site plan is laid out to have a sturdy 8 foot fence and landscaping facing north to the existing residences. Screening is required for all parking areas abutting residential uses per Zoning Code Section 153.138, but that will be handled in the Site Plan review process and no variance is requested for that here.

Previous (May 2020) Variance Request



Reference: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

Current (September 2021) Variance Requests



Section §153.224 of the City of Spring Lake Park’s Zoning Code requires that practical difficulty be proven for the approval of a variance, according to the following criteria:

(a) *Is the variance in harmony with the purposes and intent of the Ordinance?*
 The Zoning Code has setbacks to provide reasonable separation of uses. The separation provided by the requested variance is reasonable in this situation.

(b) *Is the variance consistent with the comprehensive plan?*
 The 2040 Comprehensive Plan includes the following Land Use Policy 4 relevant to this proposal:

4. Continue to provide for zoning restrictions on properties designated for commercial/industrial uses so that there will be appropriate buffers between commercial/industrial development and adjacent residential uses.

This policy supports the increased setbacks and screening in the Zoning Code and the question is whether the requested variance and site plan provide an “appropriate buffer”.

(c) *Does the proposal put property to use in a reasonable manner?*

Reference: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

The use itself is reasonable – a typical industrial building on a site zoned for industrial. The specific proposal requests to develop the property using the setback that would be required for an industrial use, which is what is anticipated in the Land Use Plan.

- (d) *Are there circumstances unique to the property not created by the applicant? (physical characteristics of the property i.e. sloping topography or other natural features like wetlands or trees)?*

The circumstance unique to this property is that the adjacent properties are guided for industrial development but still zoned residential. That is not created by the applicant.

- (e) *Will the variance maintain the essential character of the locality?*

The immediate neighborhood is mostly industrial and commercial in character, with a large church being the one active use nearby across the street. The character of this area is now industrial on this site and further south, but residential to the north. But the City has intended that the character of those residential properties eventually be industrial as well.

Reference: Bob Fearing – Variance, Side Yard Setbacks and Front Parking Setback, 8457 Sunset Road NE

CONCLUSION & RECOMMENDATION

I recommend that the Planning Commission recommend approval of the variance request as presented, with the following conditions:

- 1) The side setback to the north is approved at 25 feet vs. the required 50 feet only if the main entrance to the building is not located on the north side and requested fence and landscaping is installed as indicated on the site plan.
- 2) Variances to the side setback to the south and parking setback in the front yard are approved only if the entire site is fenced for security.
- 3) Landscaping shall be provided in the north side yard as suggested on the site plan, with details to be reviewed and approved by the City Planner at the time of Site Plan review.
- 4) All other details of the proposed development will be reviewed in the Site Plan review process, including grading, drainage, stormwater management, landscaping and screening, signage, lighting, number of parking spaces, and other details as required by City Code.

OPTIONS

The Planning Commission has the following options:

- 1) Recommend approval of the variance as submitted with conditions noted.
- 2) Recommend approval of the variance as modified by the Planning Commission.
- 3) Recommend denial of the PUD.
- 4) Continue the item to a future meeting to gather more information or for more discussion.

FINDINGS OF FACT

For any of the recommendations, the Planning Commission should adopt Findings of Fact. If the recommendation is for approval, Findings might be:

- 1) Developing the property with an industrial use if reasonable on property that is guided and zoned for industrial use.
- 2) Adhering to the side yard setback required for industrial uses is reasonable considering that the property to the north is guided for industrial uses in the City's Land Use Plan.
- 3) Arranging the site plan so that there is a minimum of activity on the north side facing the existing single family uses is reasonable and appropriate.
- 4) The proposed site plan and landscape plan provide an appropriate buffer as suggested in the 2040 Comprehensive Plan policy.
- 5) The request reasonably meets the criteria in the Zoning Code for approval of variances.



Spring Lake Park

City of Spring Lake Park
 1301 81st Avenue NE
 Spring Lake Park, MN 55432
 763-784-6491 (p) 763-792-7257 (f)
 info@slpmn.org

For Office Use Only

Case Number:	
Fee Paid:	
Received by:	
Date Filed:	
Date Complete:	
Base Fee:	Escrow:

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input checked="" type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 8457 Sunset RD NE		
Property Identification Number (PIN#): 01-30-24-11-0048		Current Zoning: I-1
Legal Description (Attach if necessary): The North 162' of Lot 18, Spring Lake Park Plat A, Anoka County, MN		
APPLICANT INFORMATION		
Name: Bob Fearing		Business Name: City Moving and Storage
Address: 4327 Parkview Cir.		
City: Anoka	State: Minnesota	Zip Code: 55303
Telephone: 612-816-2888	Fax:	E-mail: bobfearing@gmail.com
Contact: Bob Fearing		Title: Owner
OWNER INFORMATION (if different from applicant)		
Name: Tony Mezzenga		Business Name:
Address: 6 Maycomb Lane		
City: St. Paul	State: MN	Zip Code: 55127
Telephone: 612-604-0487	Fax:	E-mail:
Contact: Tony Mezzenga		Title:
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property:	Vacant	
Nature of Proposed Use:	Light Industrial	
Reason(s) to Approve Request:	To accomodate parking.	
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See City Code		

APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

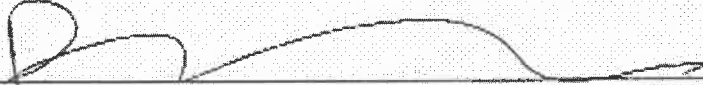
I wish to be notified of additional costs in the following manner (select one):

E-mail bobfearing@gmail.com Fax _____ USPS - Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant:  Date: 09/08/2021
DocuSigned by
Owner: Anthony Messinger Date: 9/8/2021

**NOTE: Applications only accepted with ALL required support documents.
See City Code**

**City of Spring Lake Park
Variance Supplemental Application**

A variance cannot be approved unless the Planning Commission and City Council find that the "practical difficulties" standard has been met. Please provide a response as to how/why your project will meet the following criteria. Use additional sheets if necessary and consult with the Zoning Administrator if you need clarification on the intent of any of the standards set below.

1. Applicant Information:

Name: Bob Fearing
Address: 4327 Parkview Cir
City/State/Zip: Anoka, MN 55303

Telephone: 612-666-2858
Cell Phone: _____
E-mail: bobfearing@gmail.com

2. Property Owner Information (if different from above):

Name: Tony Mezzenga
Address: 5 Maycomb Lane
City/State/Zip: St. Paul MN 55127

Telephone: 612-804-0487
Cell Phone: _____
E-mail: _____

3. Project Location (Address and Legal Description):

8457 Sunset Rd NE
Spring Lake Park, MN 55432

4. Present Use of Property: Vacant

5. Description of Project: Light Industrial

6. Specify Section of the Ordinance from which variance is sought: setbacks 16.20.090

7. Explain how you wish to vary from the applicable provisions of this Ordinance: _____

From a 50 foot setback down to a 25 foot building
setback along the north property line.

8. Please attach a site plan or accurate survey as may be required by Ordinance.

9. Practical Difficulties Test: Please answer the following questions as they relate to your specific variance request.

a. In your opinion, is the variance in harmony with the purposes and intent of the Ordinance?

Yes No Why or why not?

yes, It should have minimal affects
on the neighboring properties.

b. In your opinion, is the variance consistent with the Comprehensive Plan?

Yes No Why or why not?

It allows for the best usage of the
land for maximum truck parking.

c. In your opinion, does the proposal put property to use in a reasonable manner?

Yes No Why or why not?

It allows for the most efficient use
of the property.

d. In your opinion, are there circumstances unique to the property? (physical characteristics of the property - i.e. sloping topography or other natural features like wetlands or trees)?

Yes No Why or why not?

The size of the lot in general and
location to maximize our business
needs.

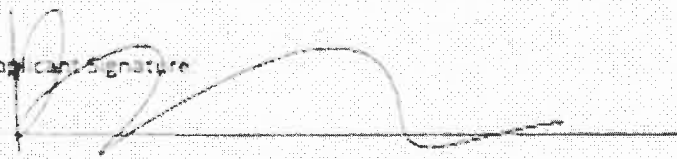
e. In your opinion, will the variance maintain the essential character of the locality?

Yes No Why or why not?

It is similar to the other businesses
in the immediate area. Concerning the
residential properties to the North, we can install
some type of privacy fence.

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria listed above have been satisfied.

The undersigned certifies that they are familiar with application fees and other associated costs and also with the procedural requirements of the City Code and other applicable ordinances.

Applicant's Signature 

Date 09/08/2021

Fee Owner's (Property Owner) Signature Anthony Messenza

Date 9/8/2021

CITY MOVING & STORAGE

CONSTRUCTION PLANS FOR CLEARING AND GRUBBING, SITE GRADING, SEWER AND WATER SERVICE,
STORM SEWER, CONCRETE CURB AND GUTTER, BITUMINOUS PAVING AND MISCELLANEOUS CONSTRUCTION
FOR BOB FEARING, CITY MOVING & STORAGE
IN THE CITY OF SPRING LAKE PARK

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN FOR STORM SEWER AND PARKING LOT WORK.

THE 2018 EDITION OF THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL GOVERN FOR SANITARY SEWER AND WATERMAIN WORK.

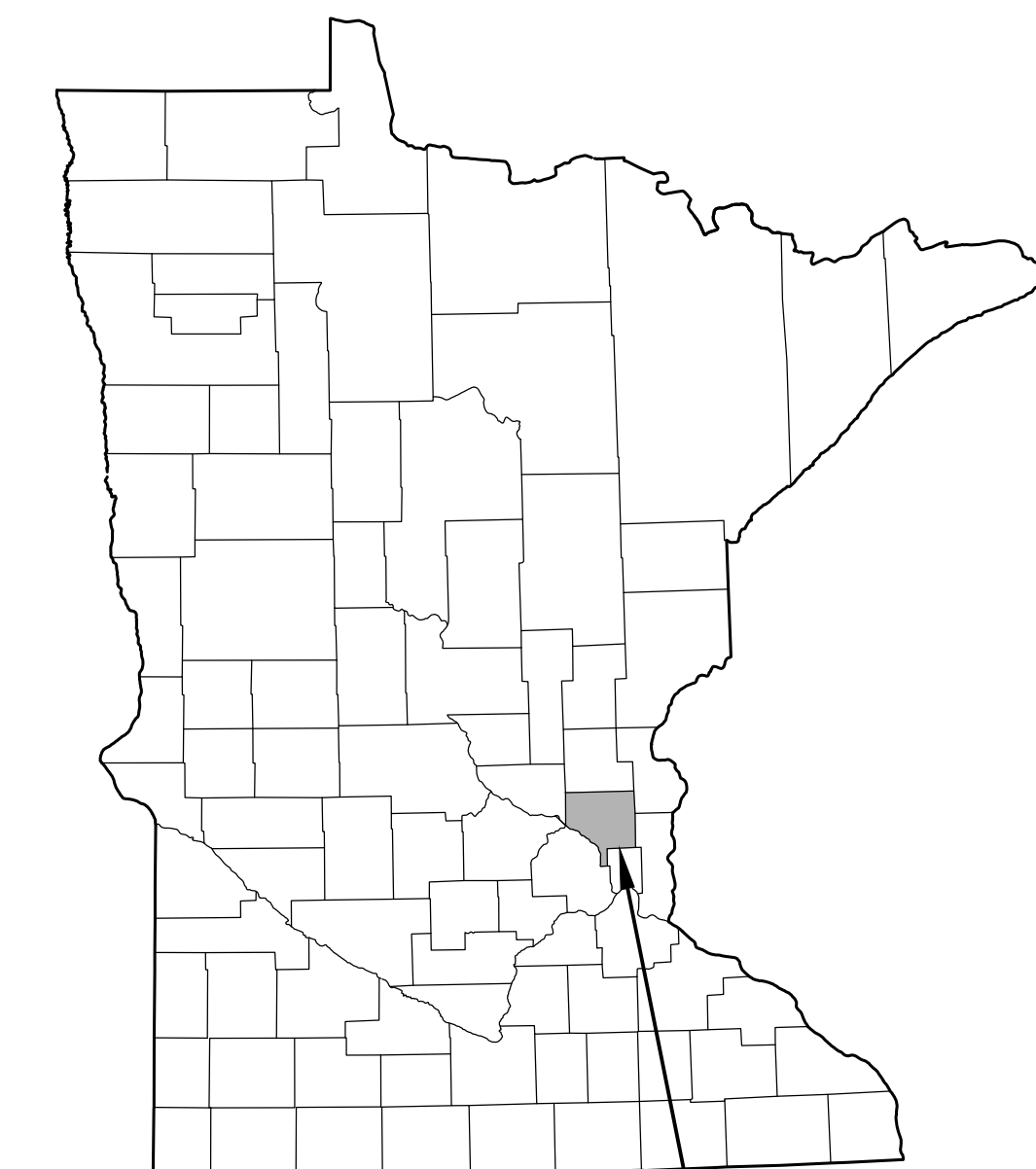
ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET INDEX

THIS PLAN CONTAINS 8 SHEETS

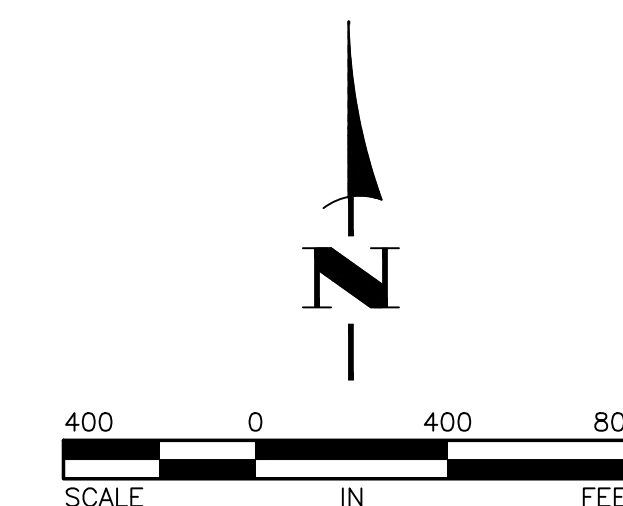
SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	CONSTRUCTION NOTES, DETAILS AND PROJECT LEGEND
C3	DETAILS
C4	EXISTING TOPOGRAPHY AND REMOVALS PLAN
C5	GRADING, DRAINAGE AND EROSION CONTROL PLAN
C6	STAKING PLAN
C7	UTILITY PLAN
C8	PAVING AND RESTORATION PLAN



CITY OF
SPRING LAKE PARK,
ANOKA COUNTY,
MINNESOTA

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

BENCHMARK:
1. TOP NUT OF HYDRANT LOCATED ON THE EAST SIDE OF SUNSET ROAD, APPROXIMATELY 210 FEET SOUTH OF THE SOUTHWEST CORNER OF THE CITY MOVING & STORAGE SITE.
ELEVATION=912.89 (NAVD 88)



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Tim Eggerichs
TIMOTHY A. EGGERICHS, P.E.
HAKANSON ANDERSON
DESIGN ENGINEER

43362 DATE 8/27/21
LIC. NO.

DATE	REVISION

SHEET C1 OF C8 SHEETS



Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520

GENERAL CONSTRUCTION AND SOILS NOTES:

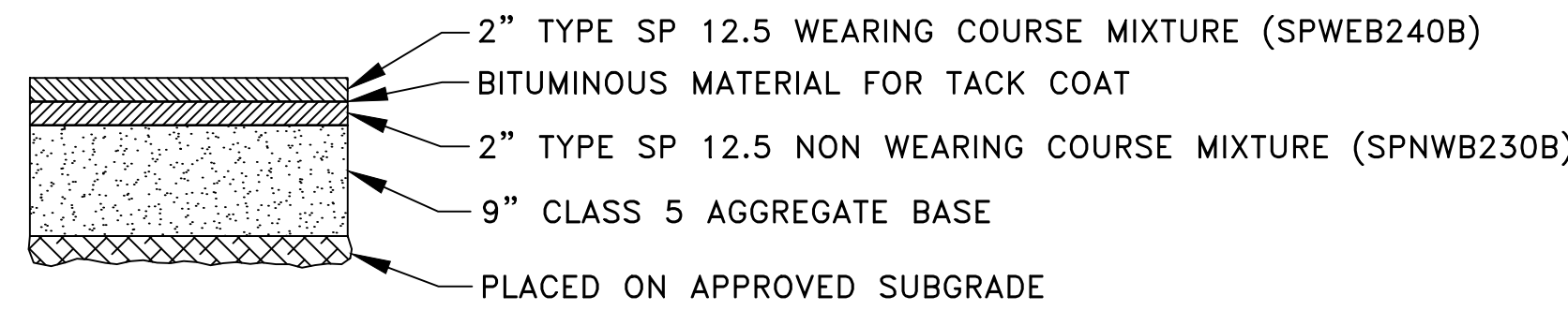
1. STRIP ALL IN PLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT AND BUILDING CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
2. UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
3. SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
4. CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY HAUGO GEOTECHNICAL SERVICES, DATED AUGUST 25, 2021, FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.
5. PROVIDE A SAWCUT WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT AND AT TERMINI OF CONSTRUCTION TO ENSURE A UNIFORM JOINT.
6. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPEC. 2104.
7. USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.04 GAL/SY TO 0.06 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS.
8. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF MN/DOT SPECIFICATIONS 2360 AND 3139.
9. CONTRACTOR SHALL APPLY FOR A DEPARTMENT OF LABOR AND INDUSTRY PERMIT PRIOR TO CONSTRUCTING ANY UNDERGROUND UTILITIES SHOWN ON THESE PLANS. CONTRACTOR SHALL ADDRESS ALL THE COMMENTS FROM THE DEPARTMENT OF LABOR AND INDUSTRY AS PART OF THE PERMIT APPLICATION PROCESS.

GENERAL EROSION CONTROL NOTES:

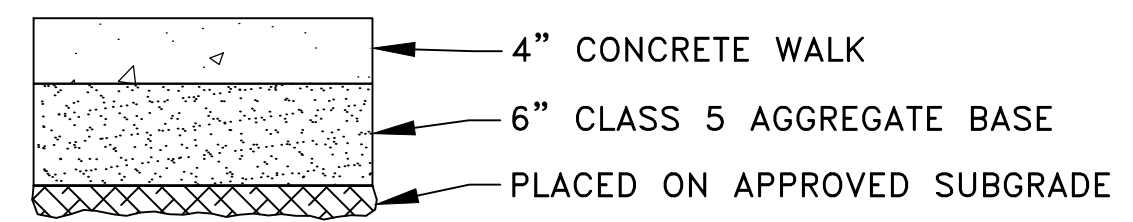
1. PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE MPCA CONSTRUCTION STORMWATER GENERAL PERMIT (NPDES).
2. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
4. THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
5. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN AN INSPECTION LOG.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.
7. THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITH THE MPCA AFTER FINAL STABILIZATION HAS BEEN APPROVED.

REFERENCE NOTES:

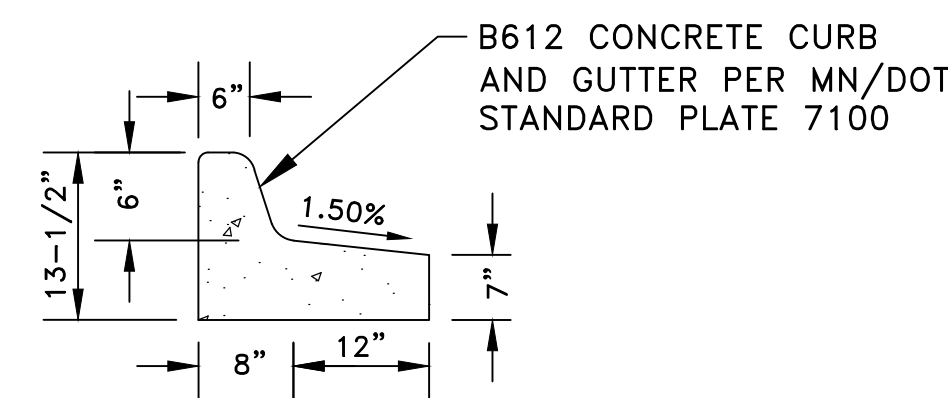
- ① CONTRACTOR SHALL PROTECT THE INFILTRATION BASIN WITH 48" HIGH ORANGE SAFETY FENCE PRIOR TO THE START OF CONSTRUCTION.
- ② CONSTRUCTION EQUIPMENT SHALL BE MINIMIZED OVER THE FOOTPRINT OF THE BASIN. ONLY LOW PRESSURE, WIDE TRACKED EQUIPMENT SHALL BE USED FOR CONSTRUCTION.
- ③ SEE SHEET C8 FOR INFILTRATION BASIN RESTORATION REQUIREMENTS.
- ④ INFILTRATION BASIN SHALL NOT BE GRADED TO WITHIN THREE FEET OF THE FINAL GRADES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED OR RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS, SUCH AS DIVERSION BERMS, TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREAS HAVE BEEN PROVIDED.



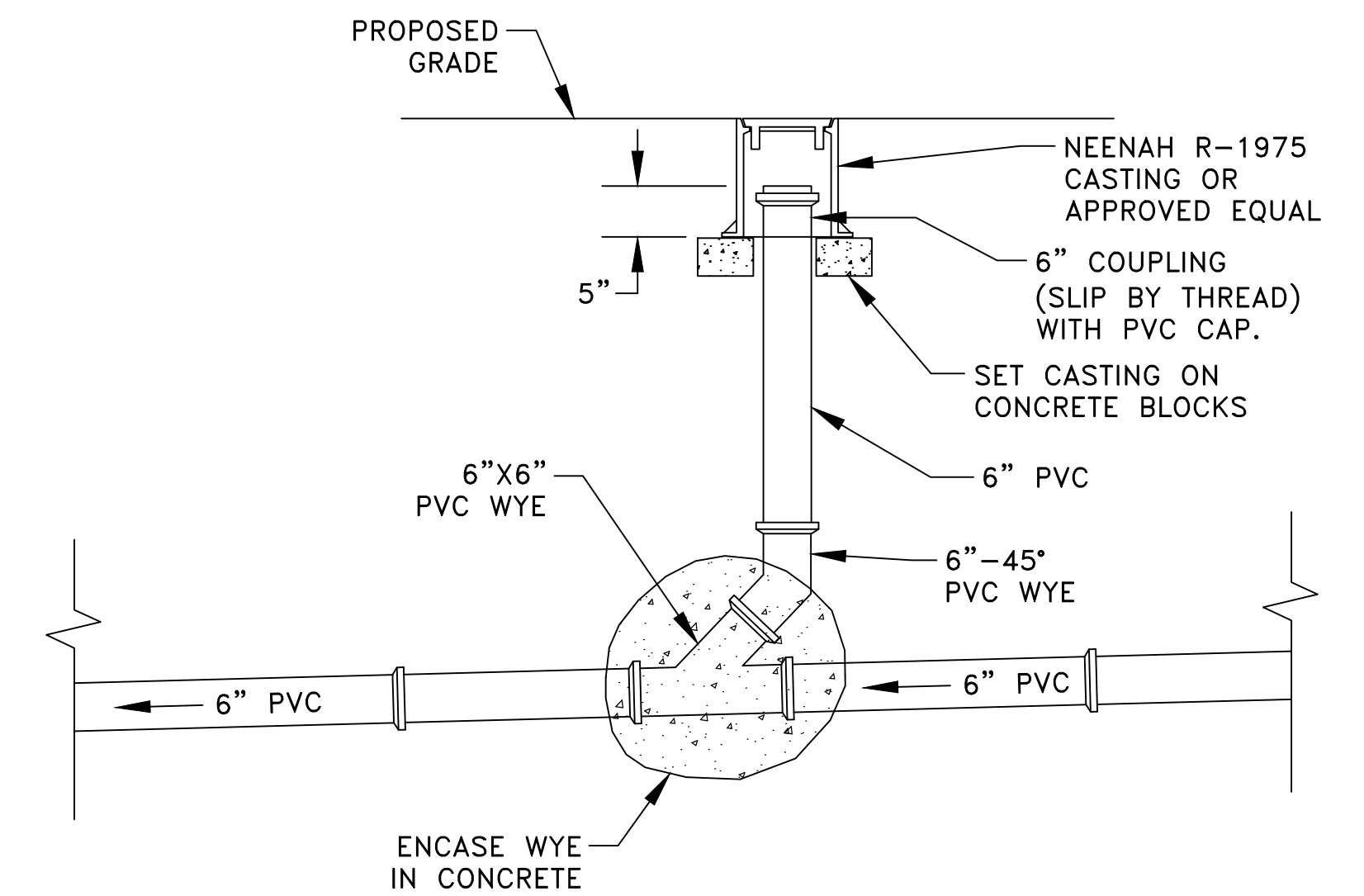
1 BITUMINOUS PAVEMENT SECTION
NO SCALE



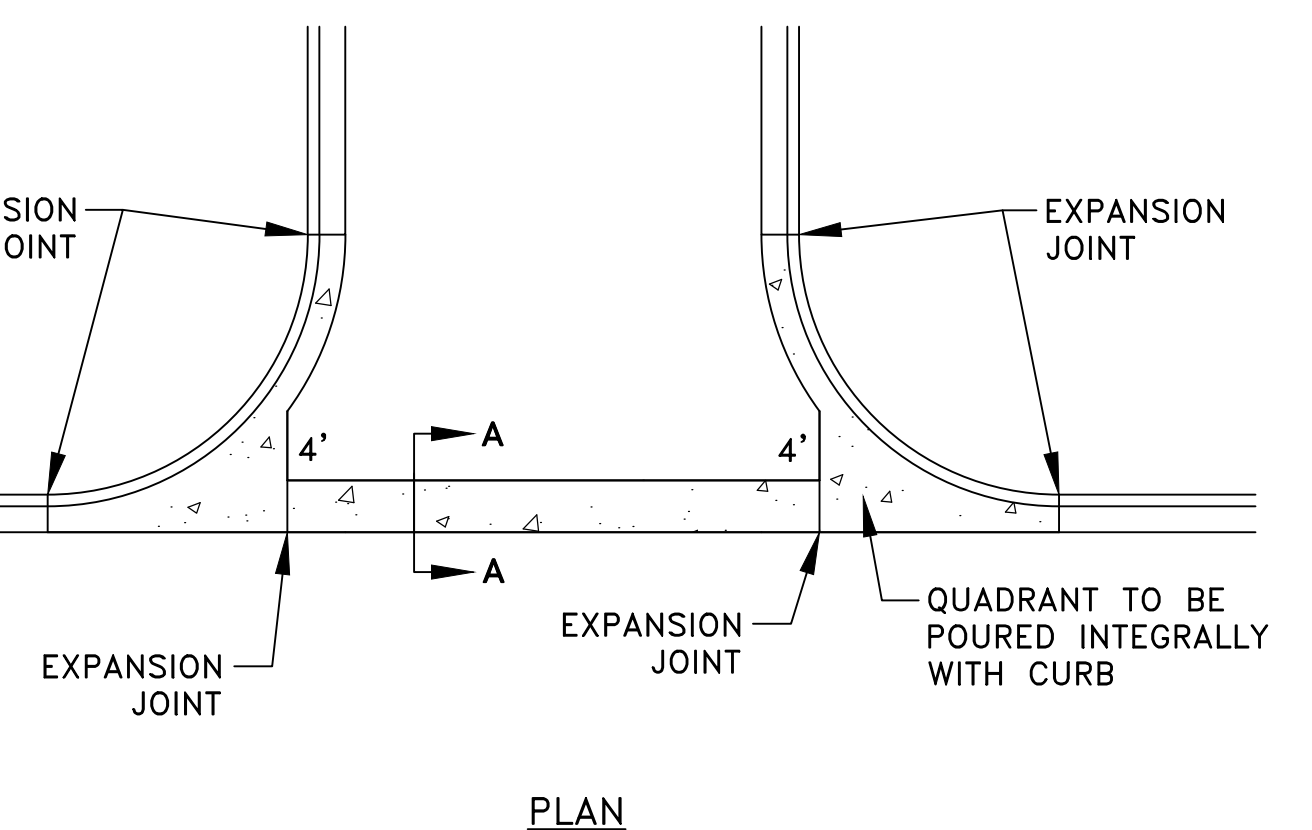
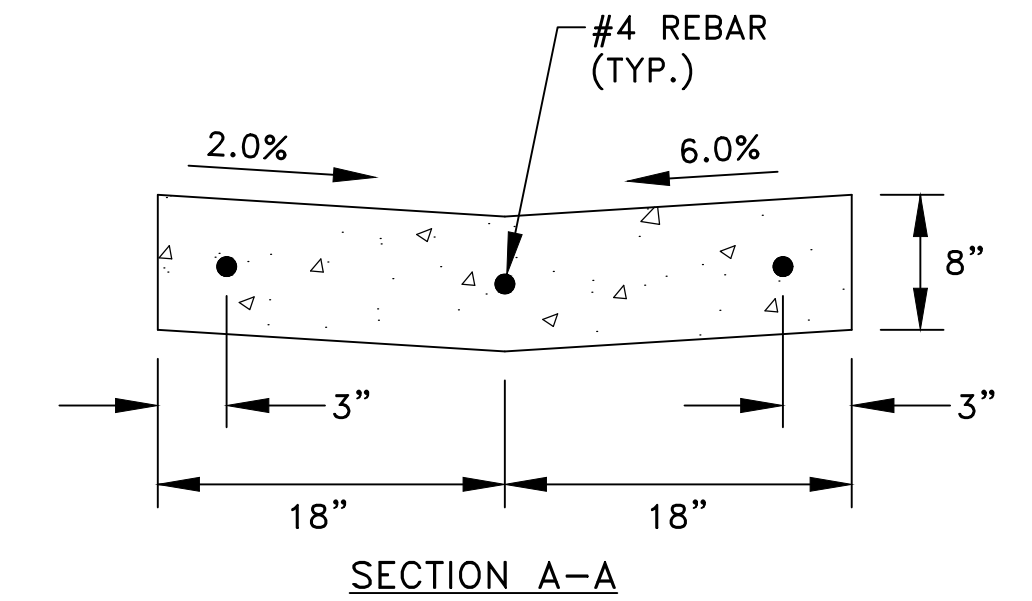
2 CONCRETE WALK SECTION
NO SCALE



3 TIPOUT CURB DETAIL
NO SCALE



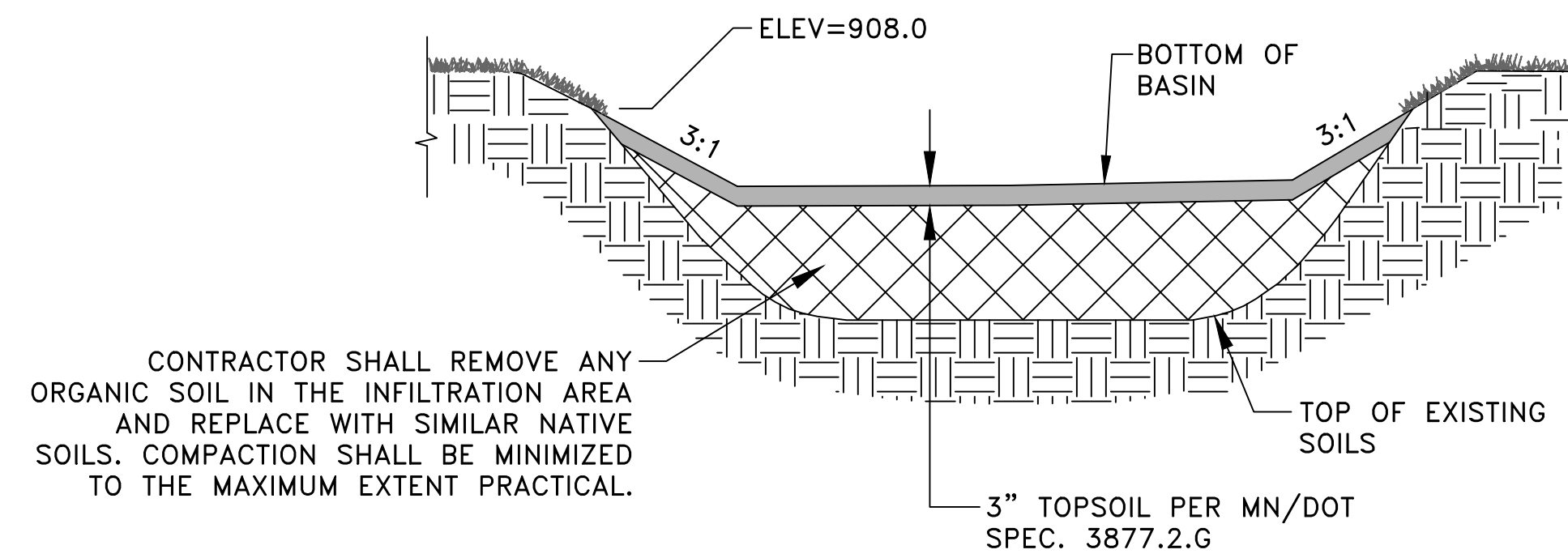
5 SANITARY SEWER CLEANOUT
NO SCALE



6 CONCRETE VALLEY GUTTER
NO SCALE

LEGEND

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
---	PROPOSED CONTOUR
G	BURIED GAS MAIN
T-BUR	BURIED TELEPHONE LINE
U-OH	OVERHEAD UTILITY LINE
P-BUR	BURIED ELECTRIC LINE
TV-BUR	BURIED TELEVISION LINE
I	EXISTING WATERMAIN
>	EXISTING SANITARY SEWER
>>	EXISTING STORM SEWER
---	EXISTING STORM SEWER
---	FENCE
⊗	EXISTING CATCH BASIN
⊙	EXISTING STORM MANHOLE
⊙	EXISTING SANITARY MANHOLE
○	UTILITY POLE
→	GUY WIRE
■	UTILITY PEDESTAL
☆	LIGHT POLE
⊗	EXISTING WATERMAIN VALVE
⊗	SIGN
⊗	CONIFEROUS AND DECIDUOUS TREES
---	EDGE OF BRUSH/TREE DRIPLINE
I	PROPOSED WATERMAIN
>	PROPOSED SANITARY SEWER
>>	PROPOSED STORM SEWER
⊗	PROPOSED CATCH BASIN/OUTLET STRUCTURE
⊙	PROPOSED STORM SEWER MANHOLE
⊗	PROPOSED WATERMAIN VALVE
---	PROPOSED CURB AND GUTTER
●	SOIL BORING LOCATION
ST-X	
X	DETAIL NUMBER
X	SHEET NUMBER



CONTRACTOR SHALL REMOVE ANY ORGANIC SOIL IN THE INFILTRATION AREA AND REPLACE WITH SIMILAR NATIVE SOILS. COMPACTION SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICAL.

4 INFILTRATION BASIN ①②③④
NO SCALE

Aug 26, 2021 - 2:06pm K:\PRIVATE\4642.01\ENGINEERING\464201_DETAILS.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Eggen
TIMOTHY A. EGGEN, P.E.
Date 8/27/21 Lic. No. 43362

DESIGNED BY: TAE
DRAWN BY: TAE
CHECKED BY: CJJ

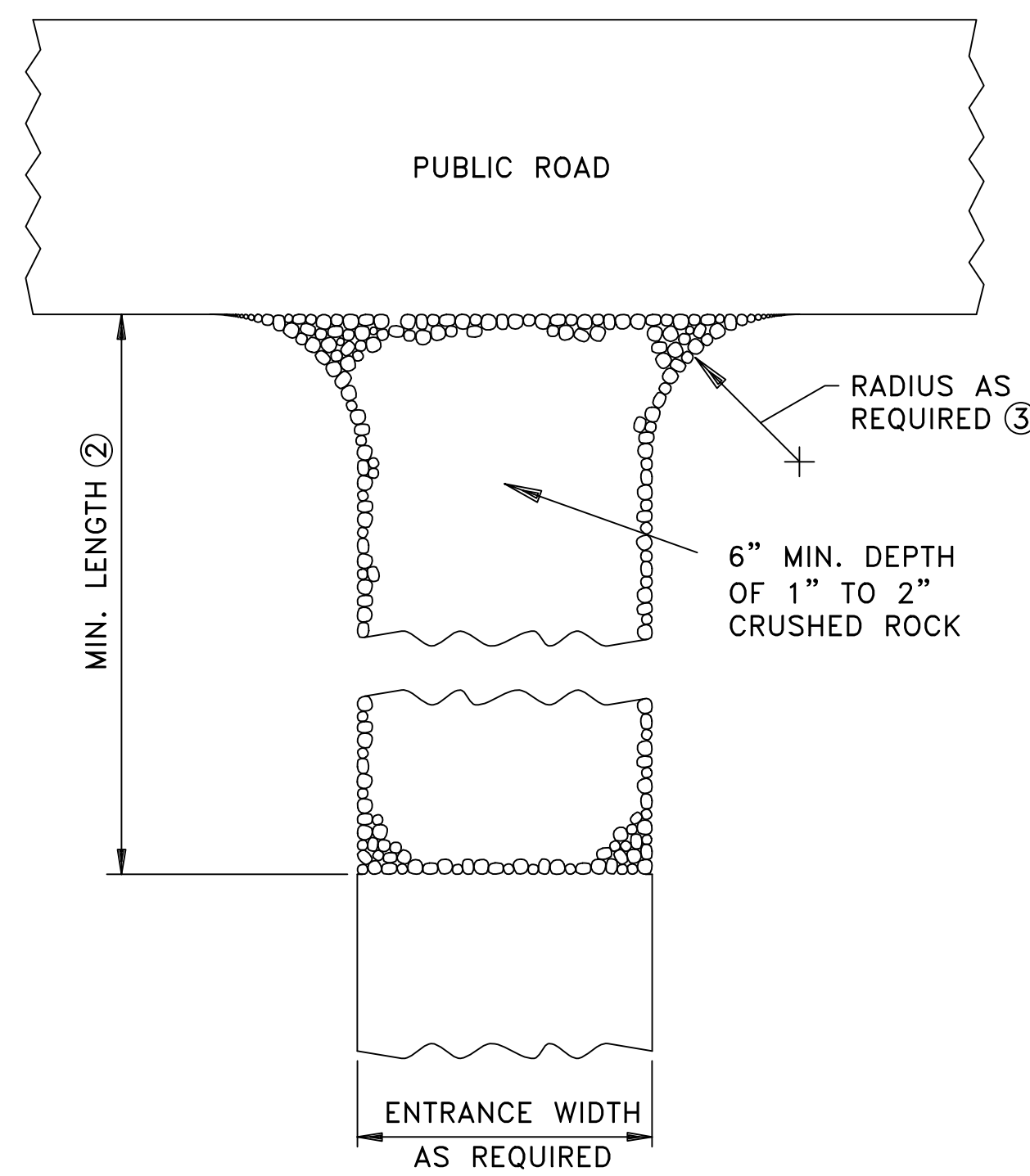


Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
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www.hakanson-anderson.com

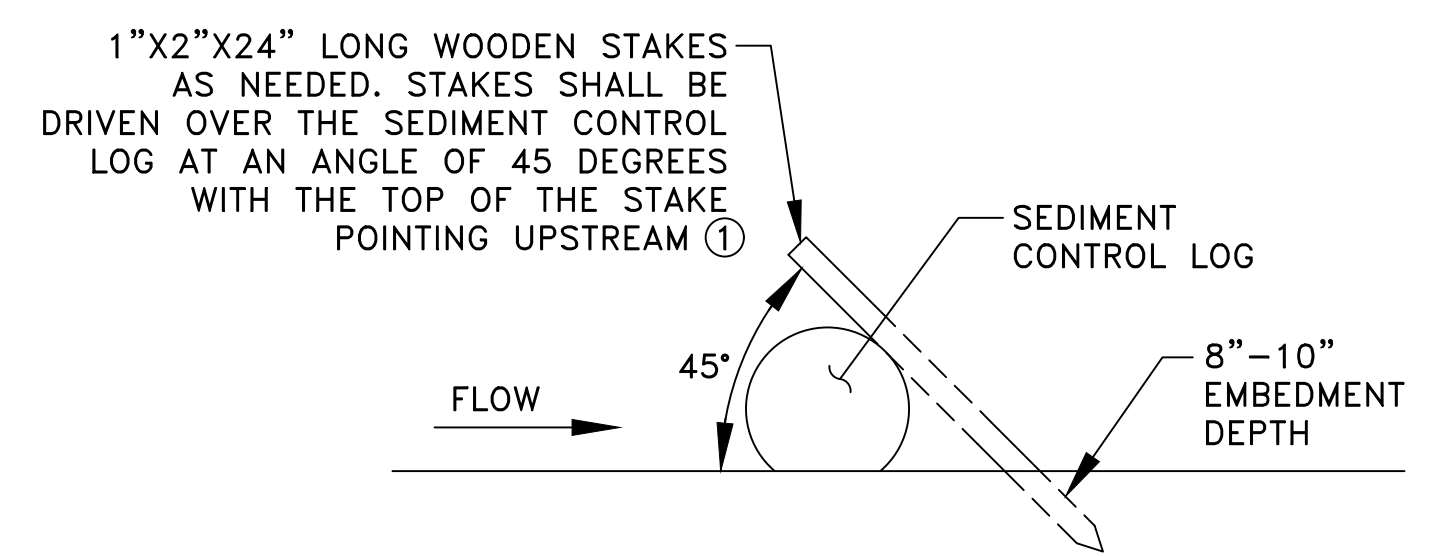
CITY MOVING & STORAGE

CONSTRUCTION NOTES, DETAILS AND PROJECT LEGEND
CITY OF SPRING LAKE PARK, MINNESOTA

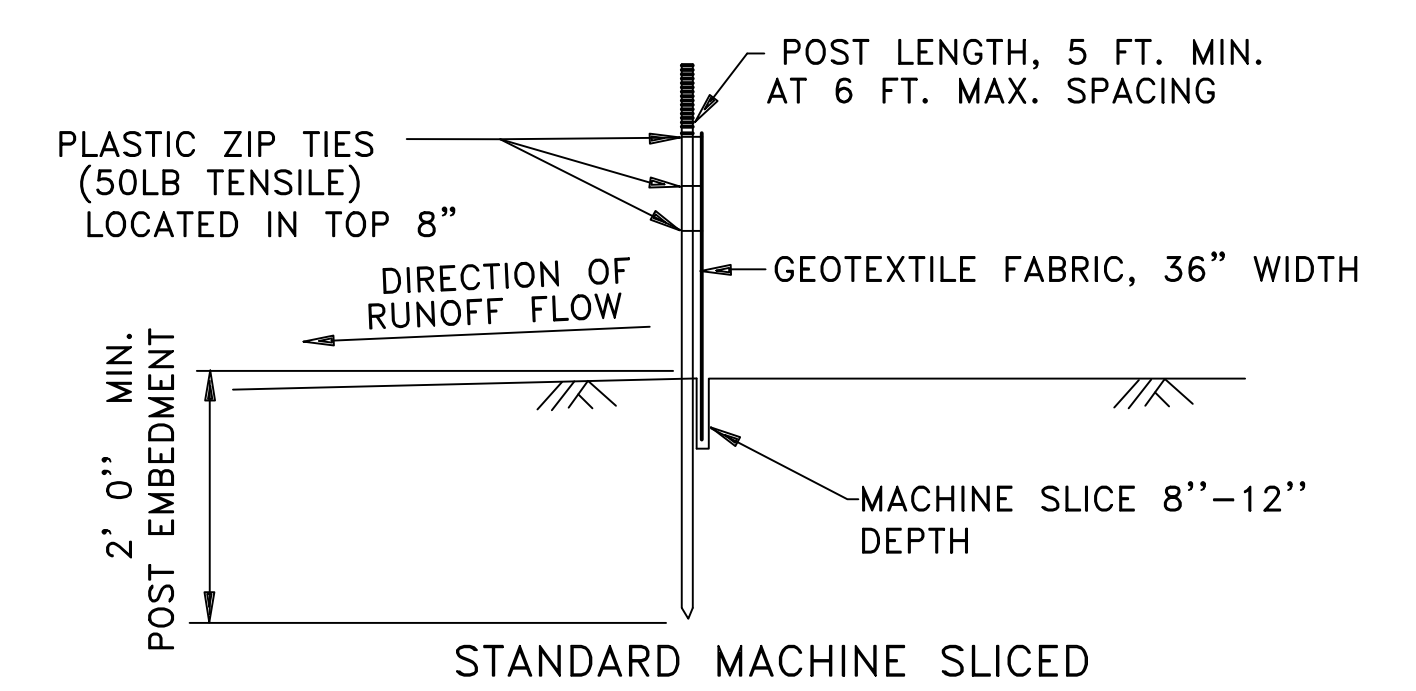
SHEET C2 OF C8 SHEETS



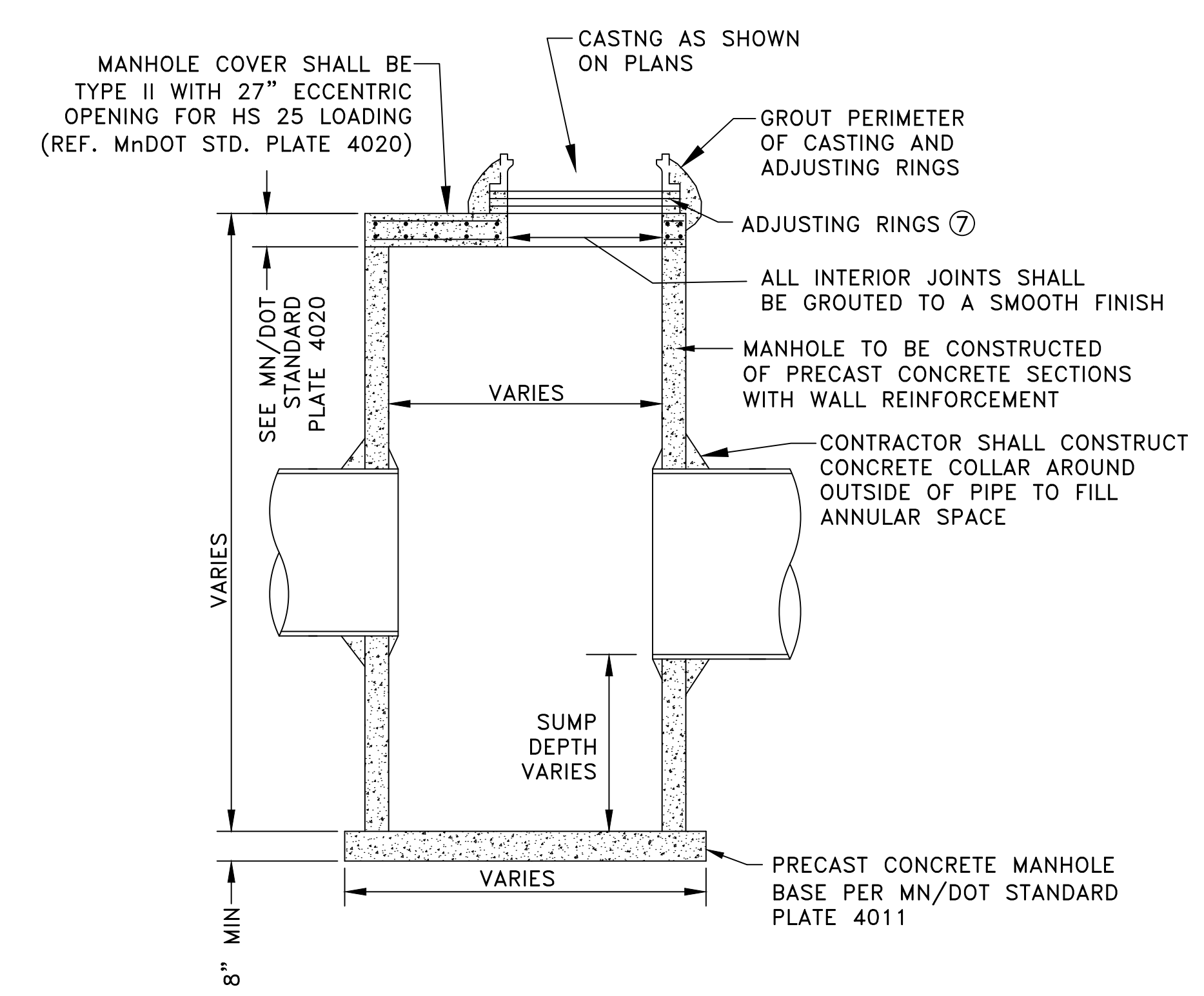
1 CRUSHED ROCK CONSTRUCTION EXIT
C3



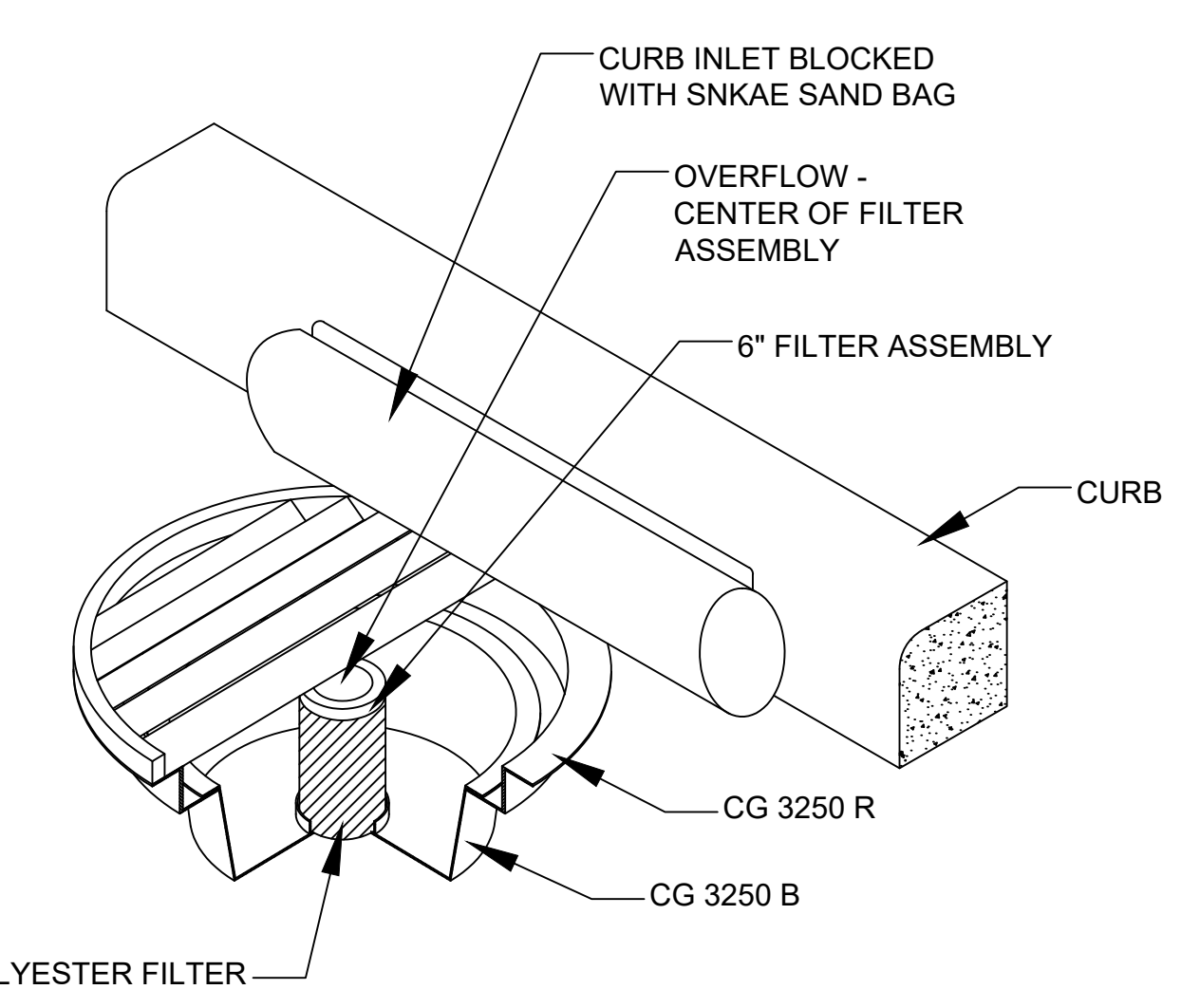
2 SEDIMENT CONTROL LOG TYPE COMPOST
C3



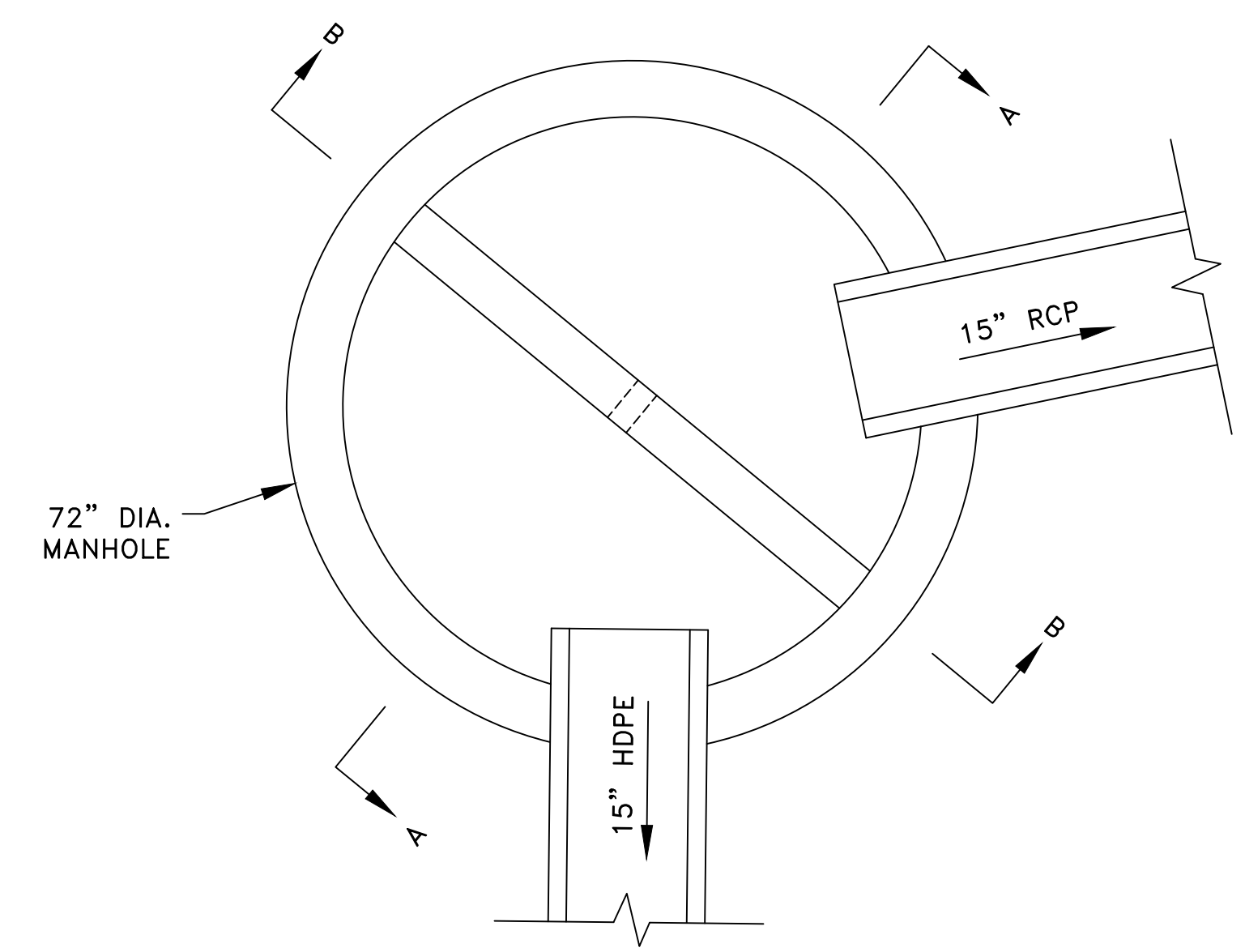
3 SILT FENCE DETAILS
C3



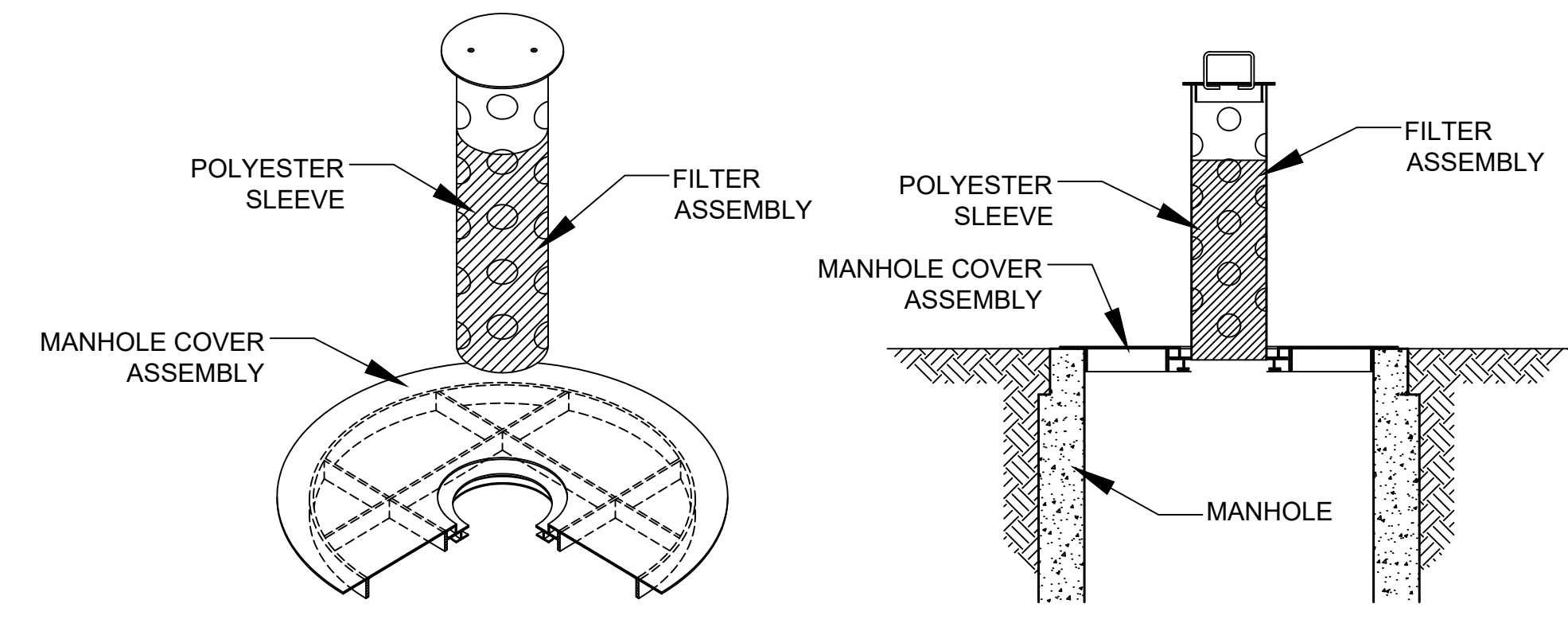
5 STANDARD SLAB-TOP MANHOLE
C3 (STORM SEWER) NO SCALE



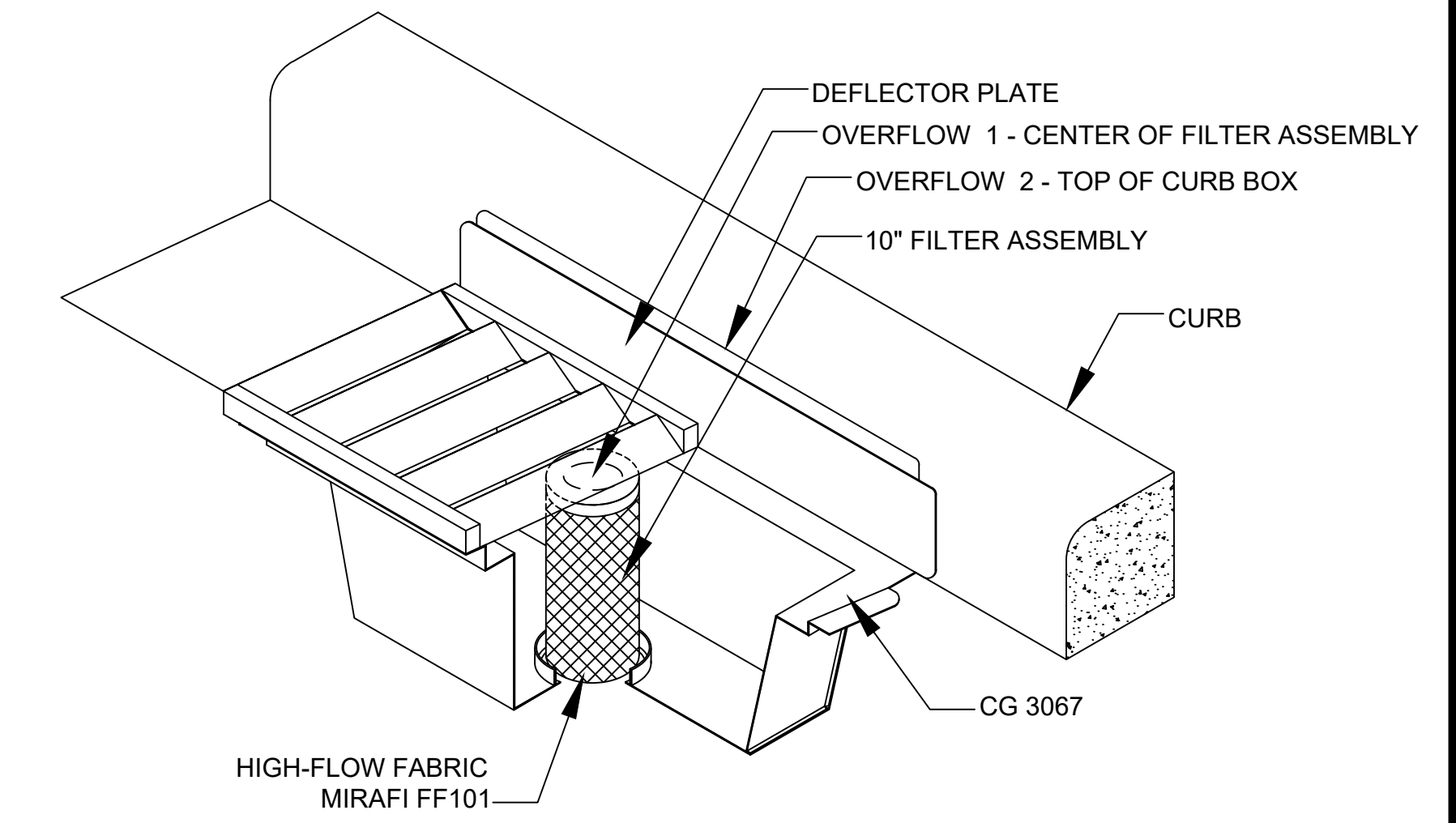
6 STORM DRAIN INLET PROTECTION TYPE 2
C3 POST-CURB



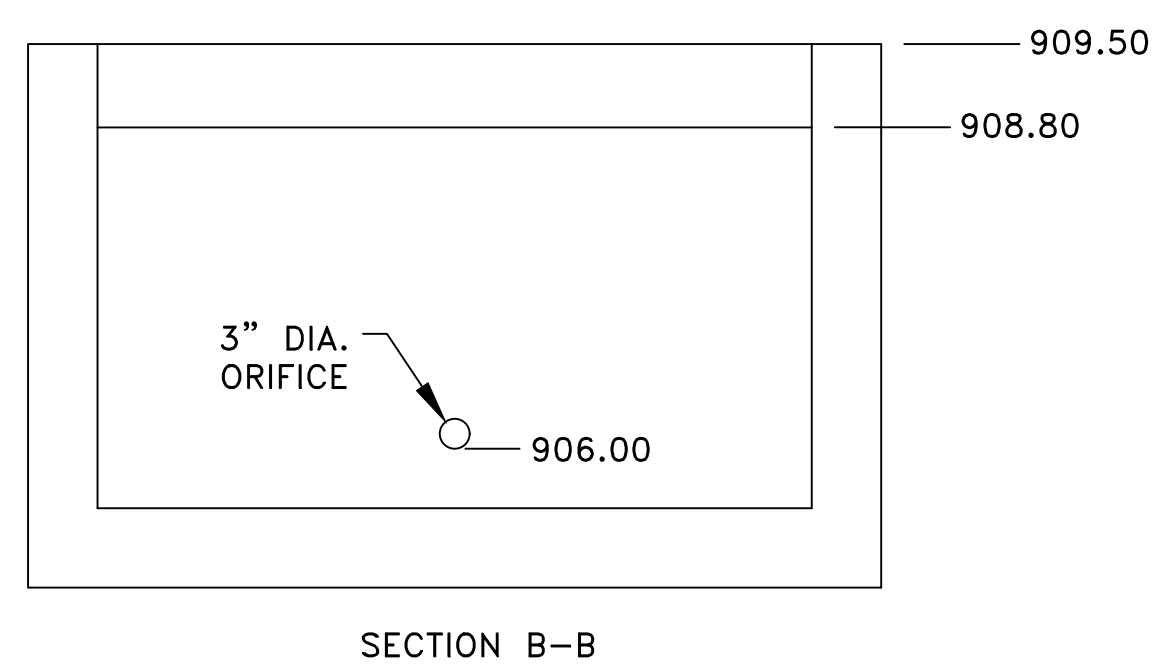
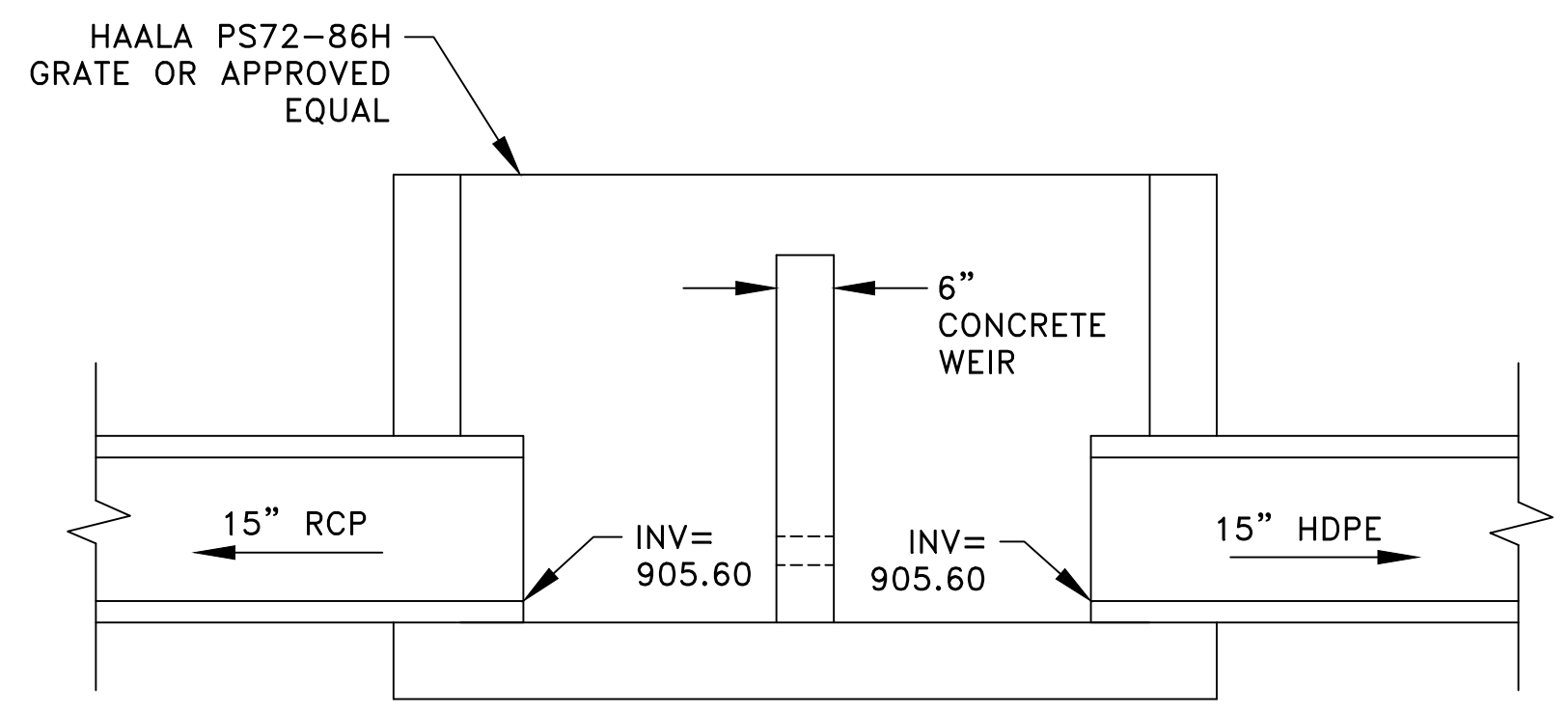
4 OUTLET STRUCTURE DETAIL
C3



7 STORM DRAIN INLET PROTECTION TYPE 1
C3 PRE-CURB



8 STORM DRAIN INLET PROTECTION TYPE 2
C3 POST-CURB



- REFERENCE NOTES:
- PLACE STAKES AS NEEDED TO PREVENT MOVEMENT OF SEDIMENT CONTROL LOGS PLACED ON SLOPES OR AS NEEDED DUE TO OTHER FACTORS. STAKES SHALL BE INCIDENTAL.
 - MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
 - PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
 - MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.
 - TYPE 1 INLET PROTECTION SHALL BE INSTALLED AS NECESSARY TO MINIMIZE PONDING OF WATER DURING CONSTRUCTION. WIMCO MODEL 'RD 27' IS SHOWN.
 - TYPE 2 INLET PROTECTION SHALL BE INSTALLED ON ALL CASTINGS RECEIVING RUNOFF FROM THE PROJECT AREA. WIMCO MODELS 'CG 3250 R' AND 'CG 3067' ARE SHOWN.
 - THE CONTRACTOR SHALL USE STANDARD AVAILABLE RING THICKNESSES THAT MINIMIZE THE NUMBER OF RINGS REQUIRED. A MAXIMUM OF 3 RINGS SHALL BE USED FOR ADJUSTMENT. THE MINIMUM ADJUSTMENT HEIGHT SHALL BE 2 INCHES AND THE MAXIMUM ADJUSTMENT HEIGHT SHALL BE 8 INCHES.

Aug. 26, 2021 - 2:06pm K:\PRIVATE\4642.01\ENGINEERING\464201_DETAILS.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Eggen
TIMOTHY A. EGGEN, P.E.
Date 8/27/21 Lic. No. 43362

DESIGNED BY: TAE
DRAWN BY: TAE
CHECKED BY: CJJ



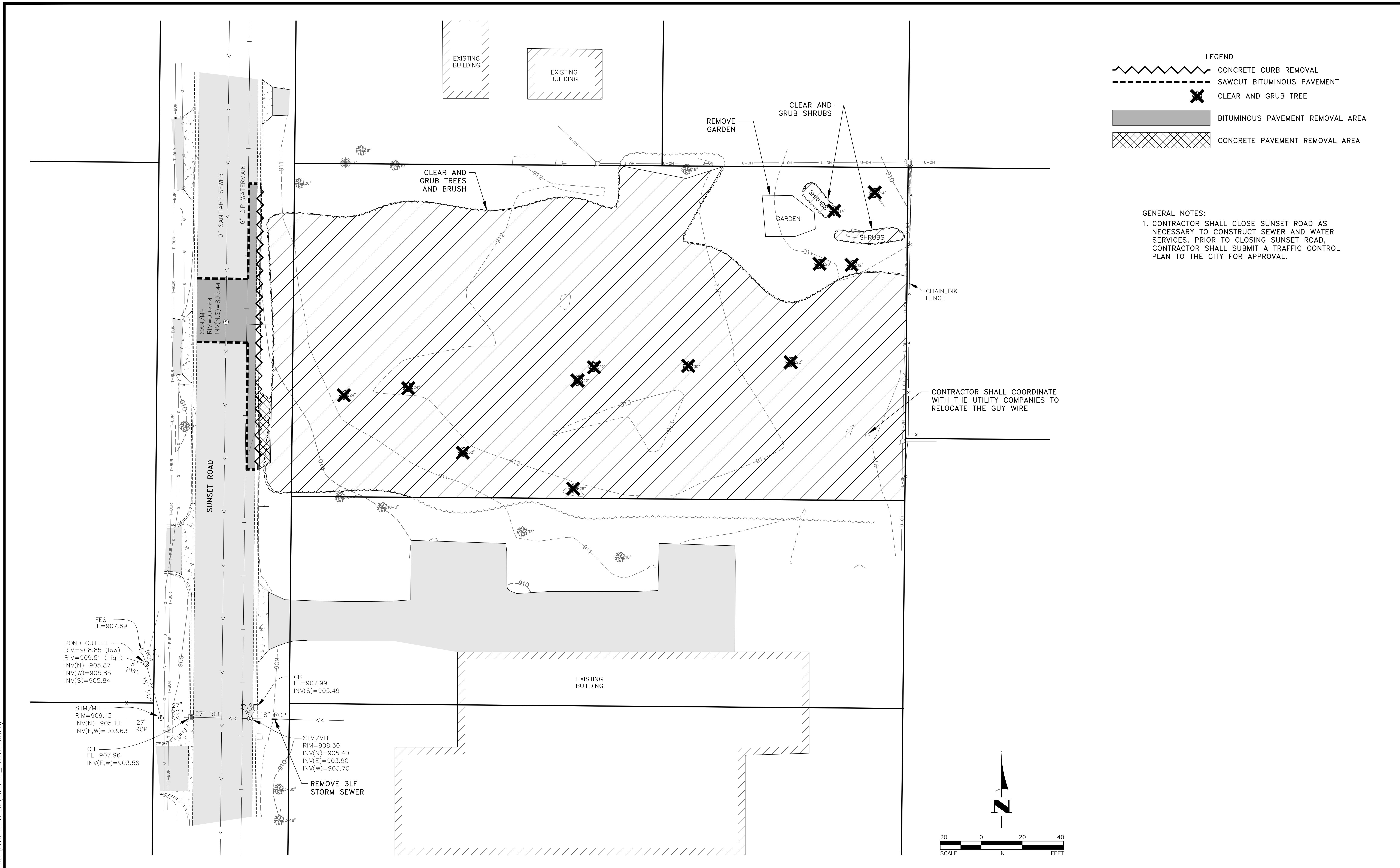
Hakanson Anderson
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CITY MOVING & STORAGE

DETAILS
CITY OF SPRING LAKE PARK, MINNESOTA

SHEET C3 OF C8 SHEETS

Aug. 26, 2021 - 2:06pm
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LEGEND

- CONCRETE CURB REMOVAL
- SAWCUT BITUMINOUS PAVEMENT
- CLEAR AND GRUB TREE
- BITUMINOUS PAVEMENT REMOVAL AREA
- CONCRETE PAVEMENT REMOVAL AREA

GENERAL NOTES:

1. CONTRACTOR SHALL CLOSE SUNSET ROAD AS NECESSARY TO CONSTRUCT SEWER AND WATER SERVICES. PRIOR TO CLOSING SUNSET ROAD, CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL.

CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO RELOCATE THE GUY WIRE

FES
IE=907.69

POND OUTLET
RIM=908.85 (low)
RIM=909.51 (high)
INV(N)=905.87
INV(W)=905.85
INV(S)=905.84

STM/MH
RIM=909.13
INV(N)=905.1±
INV(E,W)=903.63

CB
FL=907.96
INV(E,W)=903.56

CB
FL=907.99
INV(S)=905.49

STM/MH
RIM=908.30
INV(N)=905.40
INV(E)=903.90
INV(W)=903.70

REMOVE 3LF
STORM SEWER

DATE	REVISION

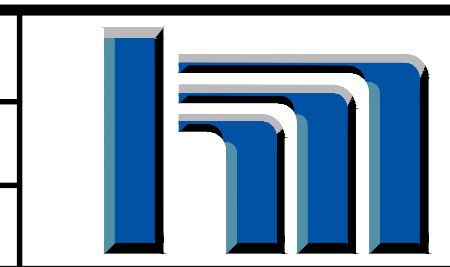
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Eggen
TIMOTHY A. EGGEN, P.E.
Date 8/27/21 Lic. No. 43362

DESIGNED BY:
TAE

DRAWN BY:
TAE

CHECKED BY:
CJJ



Hakanson Anderson
Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
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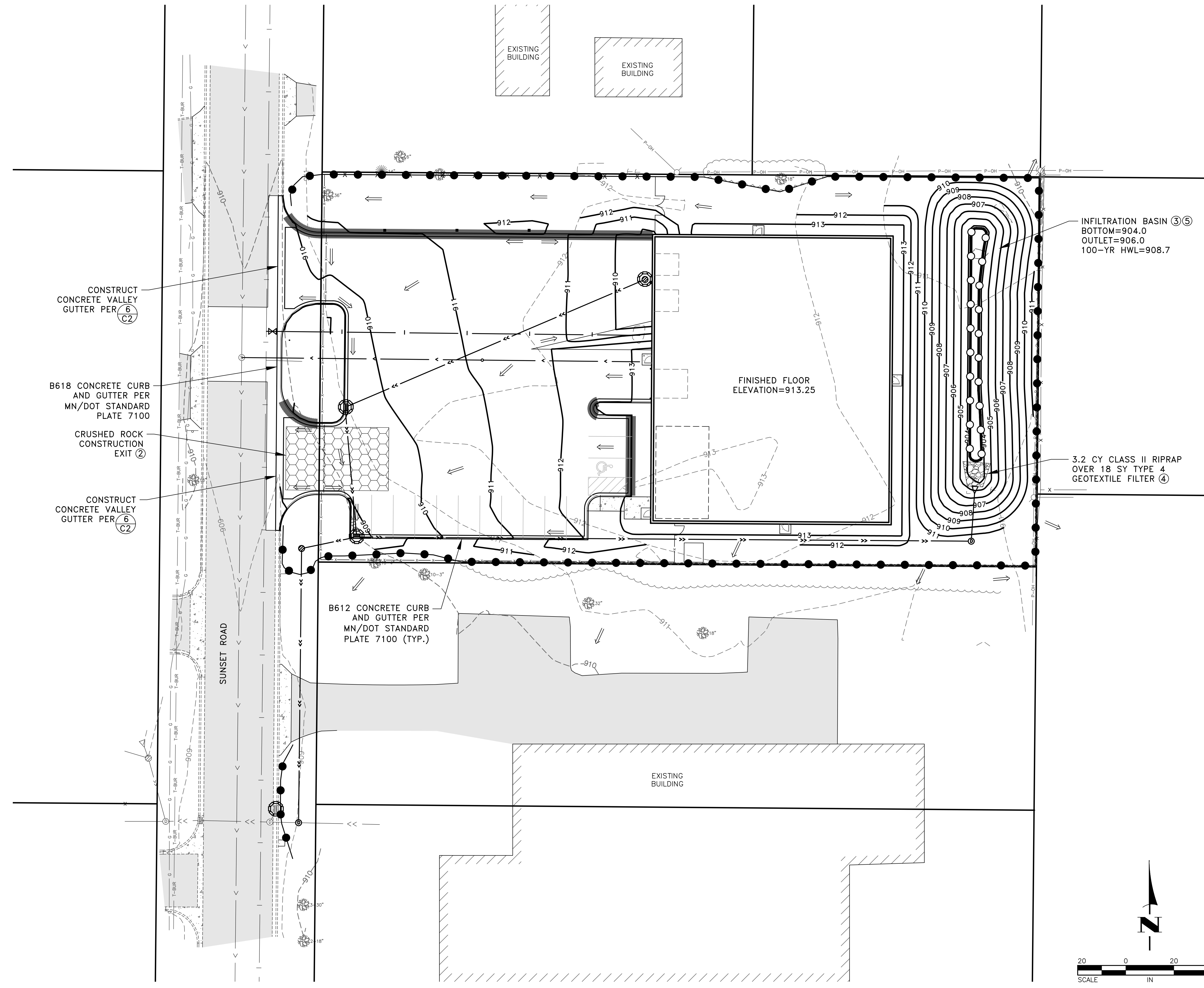
CITY MOVING & STORAGE

EXISTING TOPOGRAPHY
AND REMOVALS PLAN

CITY OF SPRING LAKE PARK, MINNESOTA

SHEET
C4
OF
C8
SHEETS

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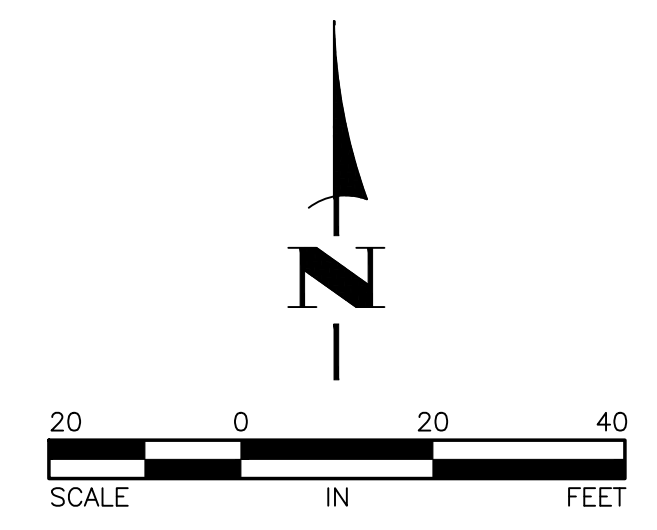
LEGEND

- EXISTING BITUMINOUS PAVEMENT
- PROPOSED TIPOUT CURB PER (3/C2)
- SILT FENCE PER (3/C3)
- SEDIMENT CONTROL LOG PER (2/C3) (6)
- INLET PROTECTION DEVICE (1)
- DRAINAGE ARROW

TOTAL DISTURBED AREA = 51,163 SF
 PROPOSED IMPERVIOUS SURFACE AREA = 29,343 SF

- GENERAL NOTES:**
1. CONTRACTOR MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. CONTRACTOR MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY.
 2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 3. PERVIOUS AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF ROUGH GRADING OR INACTIVITY.
 4. SEDIMENT SHALL BE REMOVED FROM ALL PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY.
 5. SEE SHEET C6 FOR THE STAKING PLAN.
 6. SEE SHEET C7 FOR THE UTILITY PLAN.
 7. SEE SHEET C8 FOR THE PAVING AND RESTORATION PLAN.
 8. CONTRACTOR SHALL DETERMINE A LOCATION FOR CONCRETE AND OTHER WASHOUT WASTE. A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASTES.

- REFERENCE NOTES:**
- (1) INSTALL INLET PROTECTION DEVICES PER (6/C3), (7/C3) AND (8/C3) AT ALL CATCH BASINS THAT MAY RECEIVE STORMWATER RUNOFF FROM THE SITE.
 - (2) PRIOR TO IMPORTING OR EXPORTING MATERIAL FROM THE SITE, CONTRACTOR SHALL CONSTRUCT A CRUSHED ROCK CONSTRUCTION EXIT PER (1/C3).
 - (3) CONSTRUCT INFILTRATION BASIN PER (4/C2).
 - (4) PLACE RIPRAP PER MN/DOT STANDARD PLATE 3133.
 - (5) CONTRACTOR SHALL NOT EXCAVATE THE INFILTRATION BASIN TO FINAL GRADE, OR WITHIN THREE FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION BASIN ARE PROVIDED.
 - (6) PLACE SEDIMENT CONTROL LOG AFTER GRADING.



DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Eggen
 TIMOTHY A. EGGEN, P.E.
 Date 8/27/21 Lic. No. 43362

DESIGNED BY:
TAE

DRAWN BY:
TAE

CHECKED BY:
CJJ



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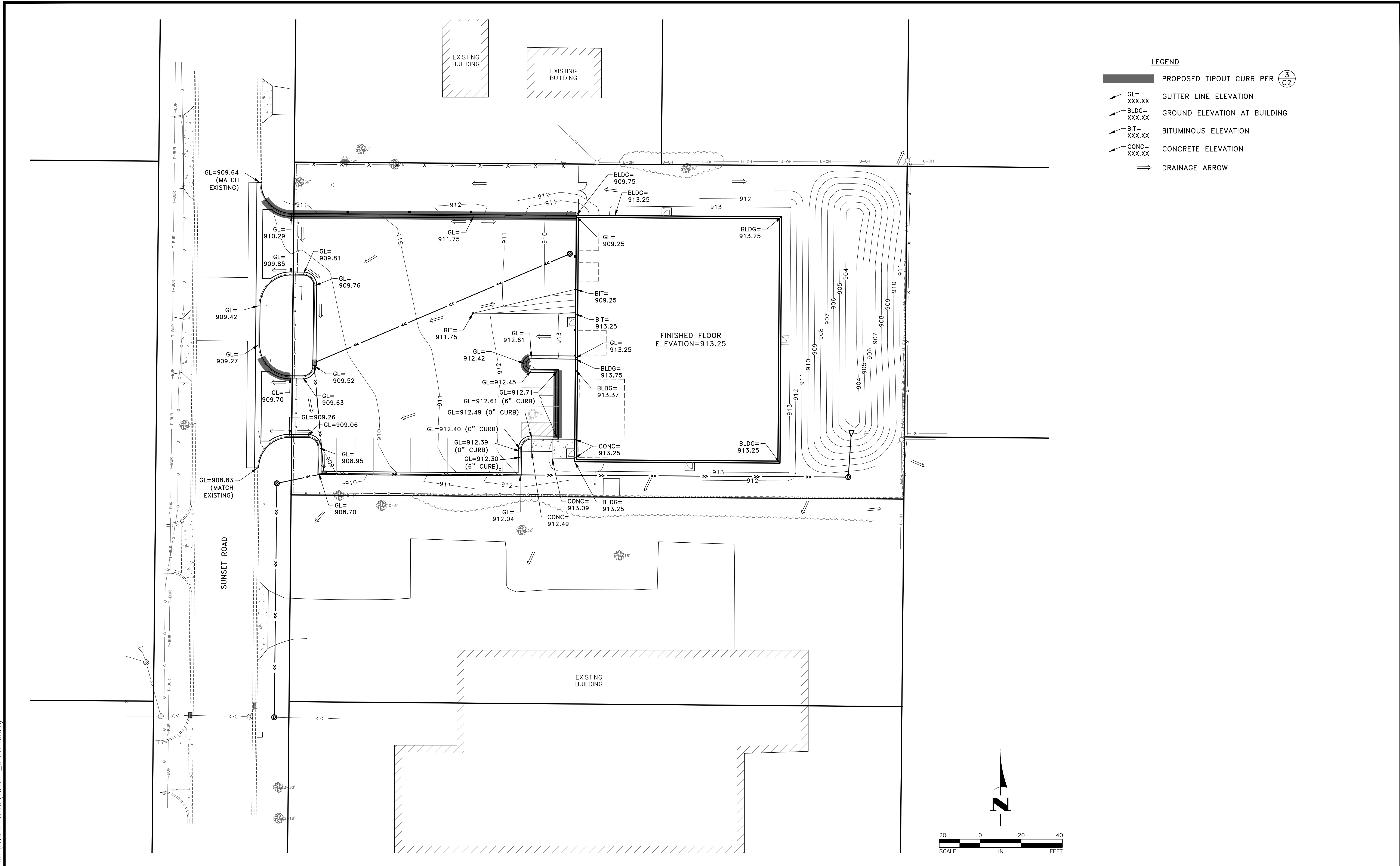
CITY MOVING & STORAGE

GRADING, DRAINAGE AND
 EROSION CONTROL PLAN

CITY OF SPRING LAKE PARK, MINNESOTA

SHEET
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 OF
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Tim Eggen
 TIMOTHY A. EGGEN, P.E.
 Date 8/27/21 Lic. No. 43362

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TAE

DRAWN BY:
TAE

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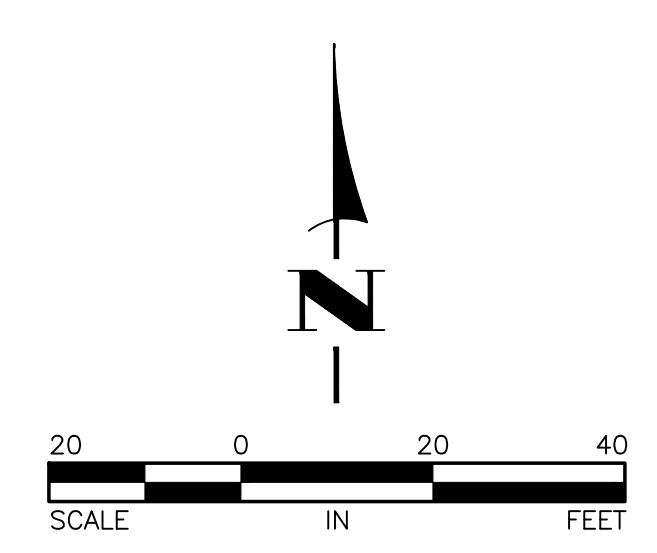
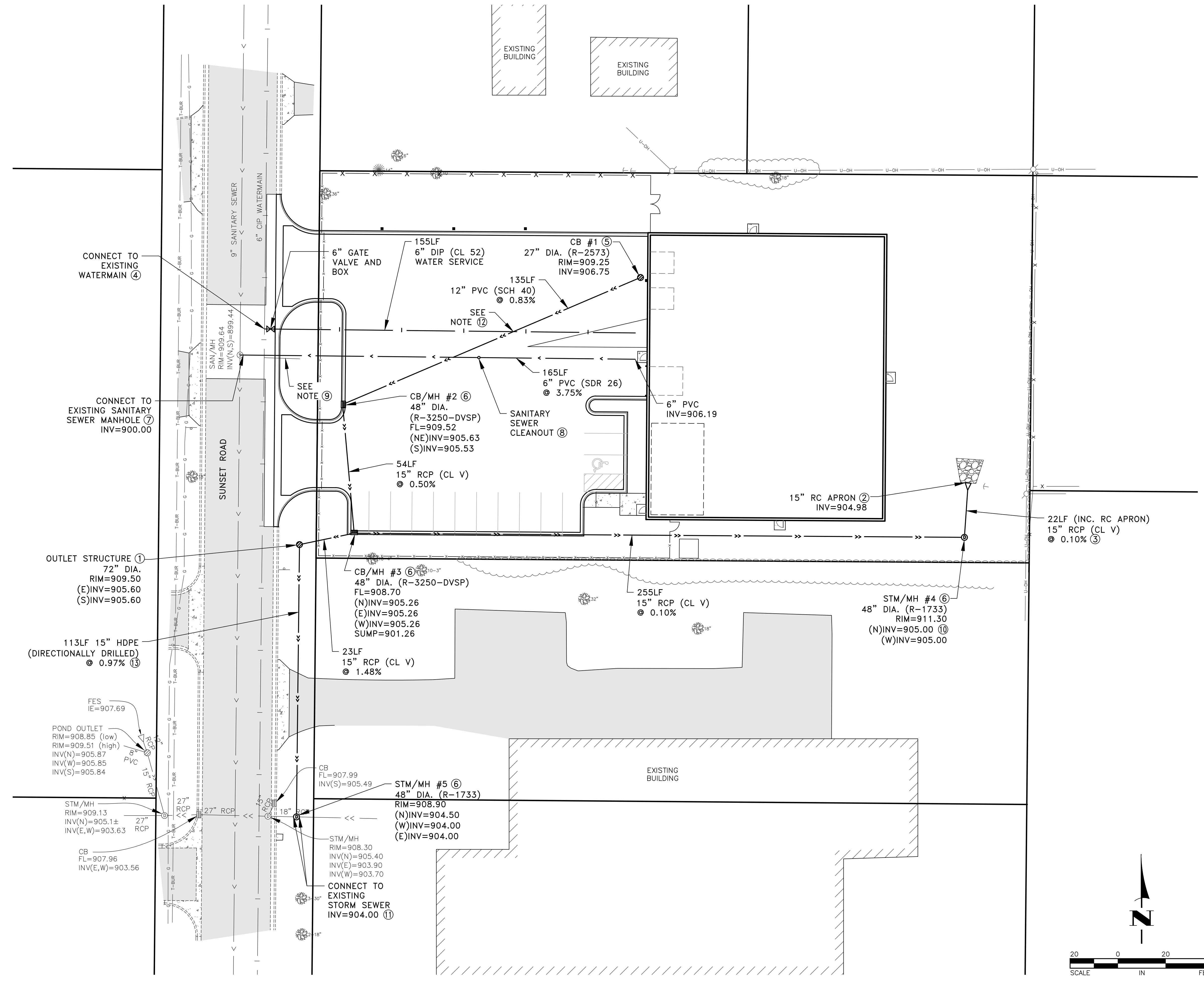
CITY MOVING & STORAGE

STAKING PLAN

CITY OF SPRING LAKE PARK, MINNESOTA

SHEET
C6
OF
C8
SHEETS

- GENERAL NOTES:
- CONTRACTOR SHALL APPLY FOR A DEPARTMENT OF LABOR AND INDUSTRY PERMIT PRIOR TO CONSTRUCTING ANY UNDERGROUND UTILITIES SHOWN ON THESE PLANS. CONTRACTOR SHALL ADDRESS ALL THE COMMENTS FROM THE DEPARTMENT OF LABOR AND INDUSTRY AS PART OF THE PERMIT APPLICATION PROCESS.
 - CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO RELOCATE OR SALVAGE AND REINSTALL THEIR FACILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - VERIFY SEWER AND WATER SERVICE LOCATIONS AT THE PROPOSED BUILDING PRIOR TO CONSTRUCTION.
 - MAINTAIN A MINIMUM OF 7.5' OF COVER OVER THE WATER SERVICE.
 - ALL R-3250-DVSP CASTINGS SHALL HAVE 4" FRAMES.
 - CONTRACTOR SHALL CLOSE SUNSET ROAD AS NECESSARY TO CONSTRUCT SEWER AND WATER SERVICES. PRIOR TO CLOSING SUNSET ROAD, CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL.
- REFERENCE NOTES:
- CONSTRUCT OUTLET STRUCTURE PER (4) (C3).
 - APRON SHALL INCLUDE A TRASH GUARD.
 - TIE ALL PIPE JOINTS.
 - WATER SERVICE CONNECTION SHALL INCLUDE CUTTING IN A 6"x6" DIP TEE AND CONNECTING TO THE EXISTING WATERMAIN WITH 6" DIP SLEEVES. CONTRACTOR SHALL NOTIFY THE CITY OF SPRING LAKE PARK AND AFFECTED PROPERTY OWNERS A MINIMUM OF 3 DAYS PRIOR TO SHUTTING THE WATER OFF TO ANY PROPERTY.
 - CONSTRUCT CATCH BASIN PER MN/DOT STANDARD PLATE 4006-DESIGN H.
 - CONSTRUCT STRUCTURE PER (5) (C3).
 - CORE DRILL EXISTING MANHOLE AND INSTALL A WATERTIGHT BOOT.
 - CONSTRUCT SANITARY SEWER CLEANOUT PER (5) (C2).
 - A WATER SERVICE STUB MAY EXIST IN THIS LOCATION. ABANDON WATER SERVICE BY REMOVING THE PIPE AND CLOSING THE CORPORATION VALVE AT THE WATERMAIN.
 - PLACE A TEMPORARY PLUG IN THE NORTH STORM SEWER UNTIL THE CONTRIBUTING DRAINAGE AREA AND THE INFILTRATION BASIN HAVE PERMANENT COVER.
 - VERIFY EXISTING INVERT PRIOR TO THE START OF CONSTRUCTION.
 - CONSTRUCT WATER SERVICE SUCH THAT THERE ARE NO PIPE JOINTS WITHIN 10 FEET OF THE STORM SEWER CROSSING.
 - IN THE AREA OF THE DIRECTIONALLY DRILLED STORM SEWER, CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES, INCLUDING ANY SEWER AND WATER SERVICES, PRIOR TO THE START OF CONSTRUCTION. ADJUSTMENTS TO THE STORM SEWER MAY HAVE TO BE MADE BASED ON THE LOCATION OF THE UTILITIES.



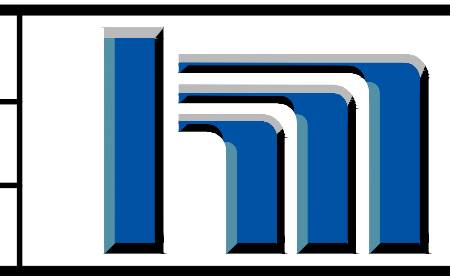
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Timothy A. Egger
 TIMOTHY A. EGGER, P.E.
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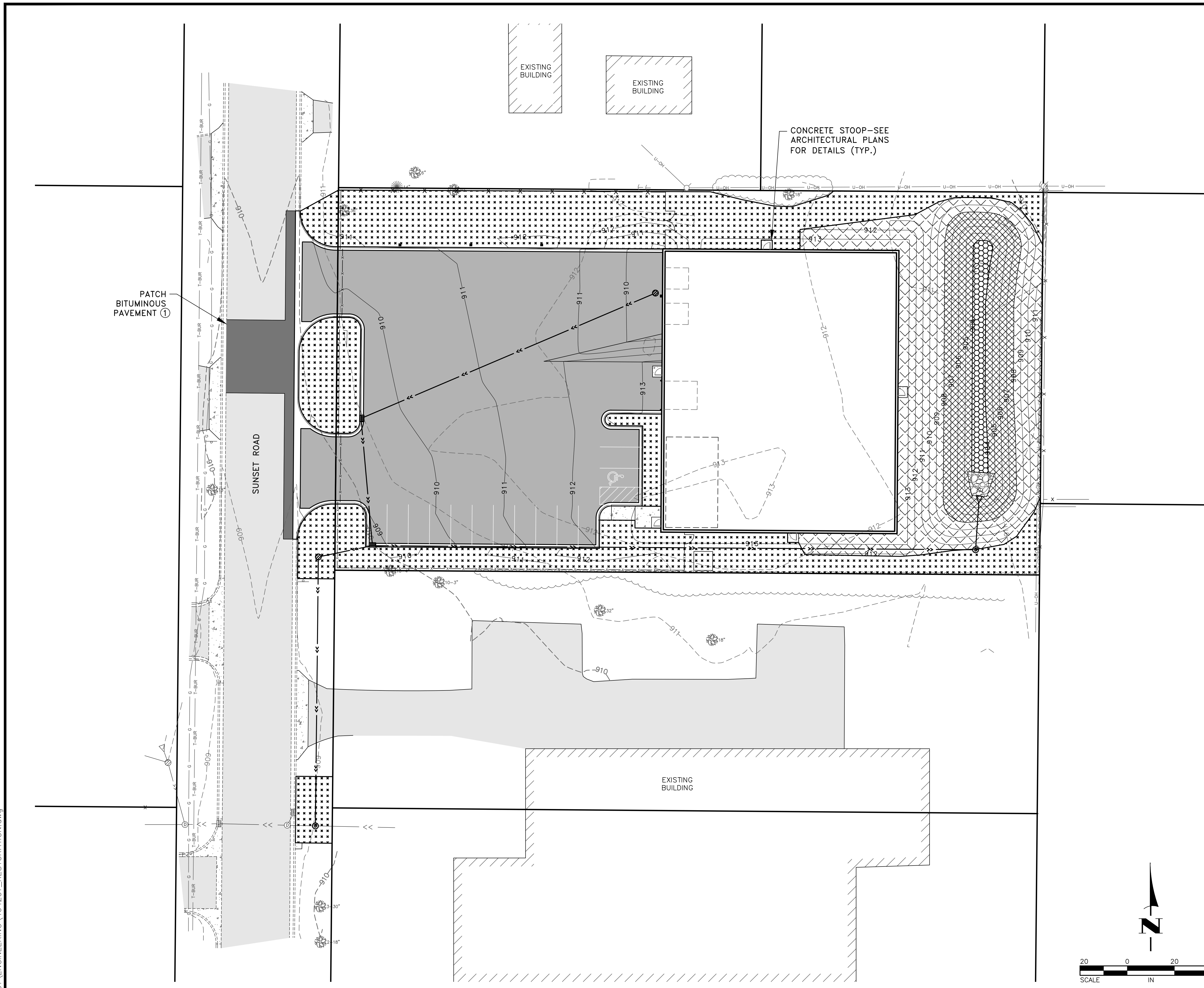
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CITY MOVING & STORAGE

UTILITY PLAN
 CITY OF SPRING LAKE PARK, MINNESOTA

SHEET
C7
 OF
C8
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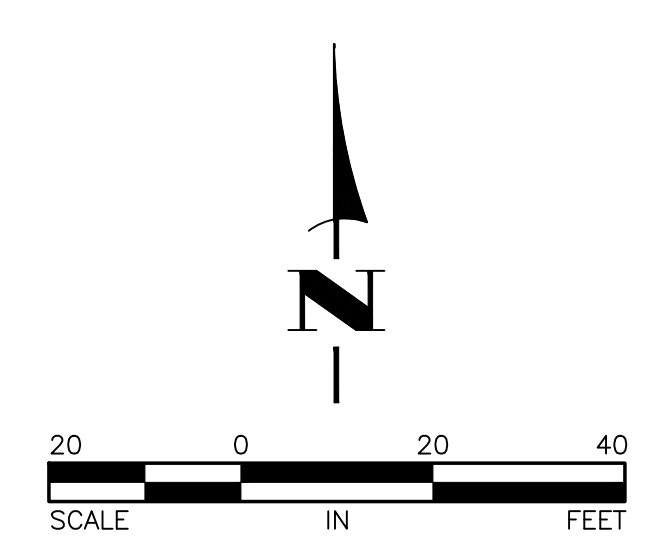
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LEGEND

	EXISTING BITUMINOUS PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT PER (1) C2
	PROPOSED CONCRETE WALK PER (2) C2
	SEED MIX 25-131 (220 POUNDS/ACRE) TYPE 1 FERTILIZER (300 POUNDS/ACRE) CATEGORY 3 EROSION CONTROL BLANKET
	SEED MIX 25-131 (220 POUNDS/ACRE) TYPE 1 FERTILIZER (300 POUNDS/ACRE) HYDRAULIC MULCH MATRIX (2500 POUNDS/ACRE)
	SEED MIX 33-261 (35 POUNDS/ACRE) TYPE 1 FERTILIZER (300 POUNDS/ACRE) CATEGORY 3 EROSION CONTROL BLANKET
	SEED MIX 33-261 (35 POUNDS/ACRE) TYPE 1 FERTILIZER (300 POUNDS/ACRE) HYDRAULIC MULCH MATRIX (2500 POUNDS/ACRE)

- GENERAL NOTES:**
- ALL DISTURBED AREAS SHALL BE RESTORED WITH SEED MIX, FERTILIZER AND EITHER HYDRAULIC MULCH MATRIX OR EROSION CONTROL BLANKET AS SHOWN. THE INFILTRATION BASIN REQUIRES 3" OF TOPSOIL AS SHOWN ON (4) C2 AND ALL OTHER DISTURBED AREAS REQUIRE 4" OF TOPSOIL.
- REFERENCE NOTES:**
- BITUMINOUS PATCHING SECTION SHALL MATCH THE EXISTING SECTION ON SUNSET ROAD. CONSTRUCT PATCH SECTION WITH A MINIMUM CROWN OF 2%.

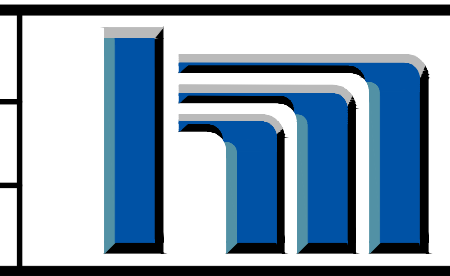


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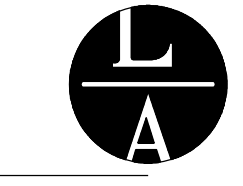


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CITY MOVING & STORAGE

PAVING AND RESTORATION PLAN
CITY OF SPRING LAKE PARK, MINNESOTA

SHEET
C8
OF
C8
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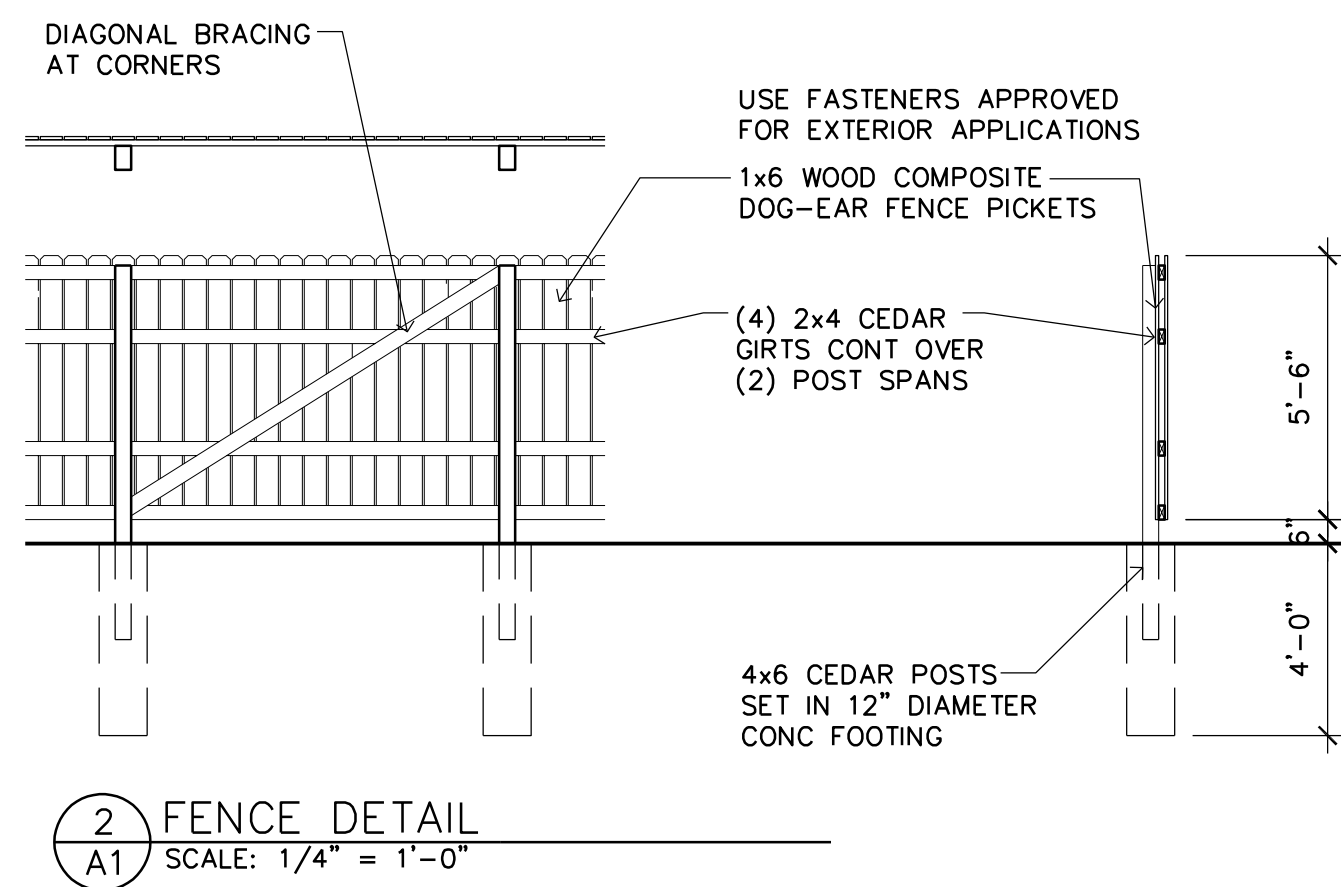


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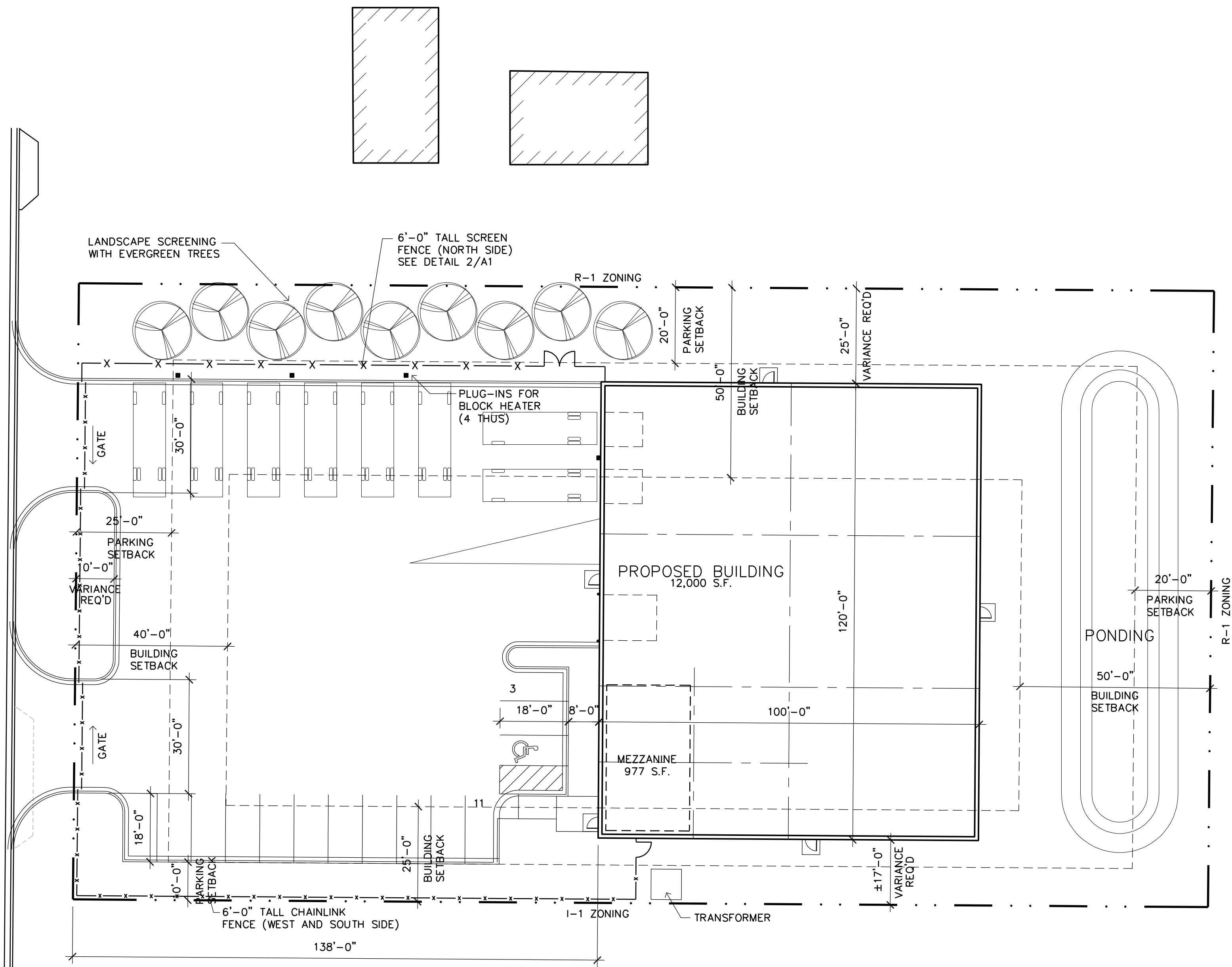
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LEONARD LAMPERT
13669
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SUNSET ROAD NORTHEAST



1 SITE PLAN A1 SCALE: 1" = 20'-0"



SITE DATA

LOT SIZE - 48,375 S.F. 1.11 ACRES

ZONING - I-1 LIGHT INDUSTRIAL

BUILDING - 12,000 S.F. WAREHOUSE + 1,600 S.F. MEZZANINE

BUILDING COVERAGE - 12,000/48,375 = 24.8% < 35% MAX

IMPERVIOUS COVERAGE - ±29,955/48,375 = 61.3% < 75% MAX

PARKING DATA

OFFICE 1,600 S.F. @ 1/200 = 8 STALLS

WAREHOUSE 12,000 S.F. @ 1/2,000 = 6 STALLS

STALLS REQUIRED - 14 STALLS

STALLS PROVIDED - 14 STALLS

CITY MOVING AND STORAGE
Spring Lake Park, Minnesota

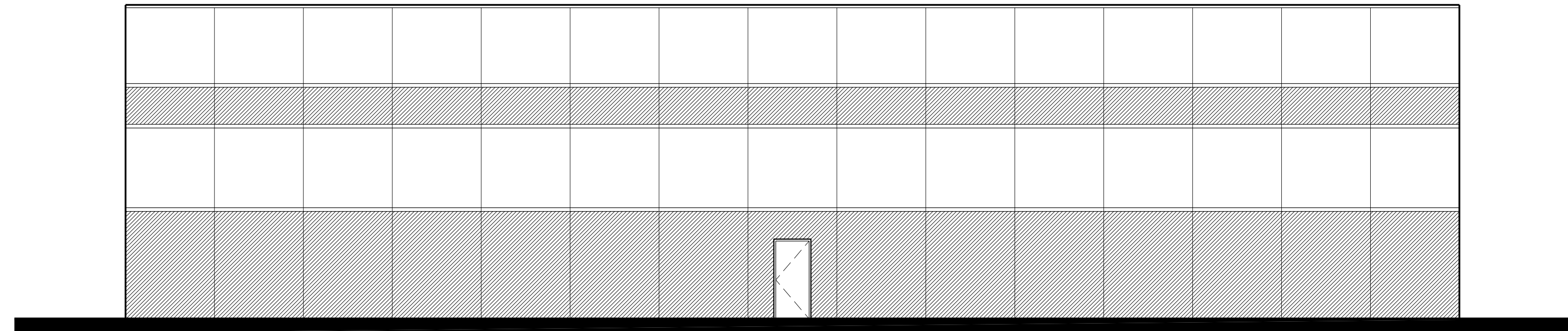
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Drawn By: ALE
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Revisions

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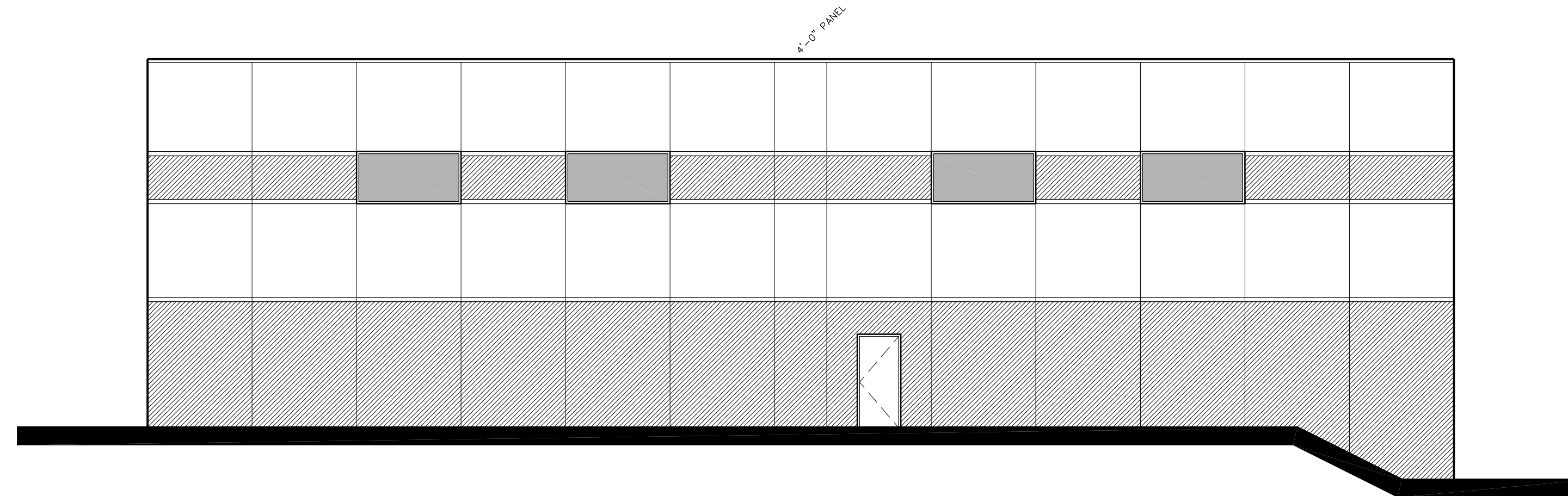
SITE PLAN

Sheet Number

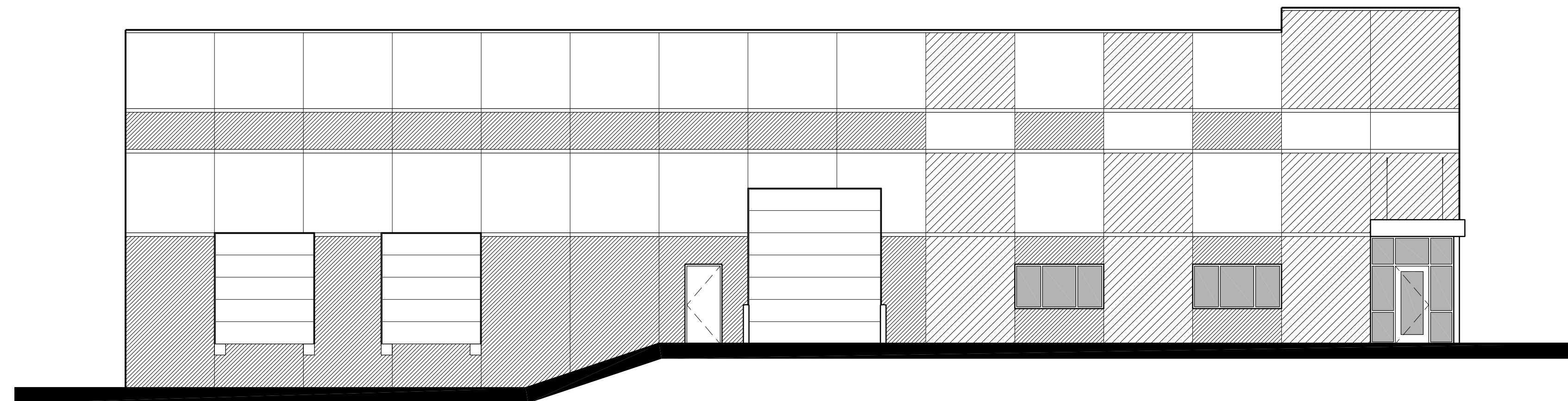
A1



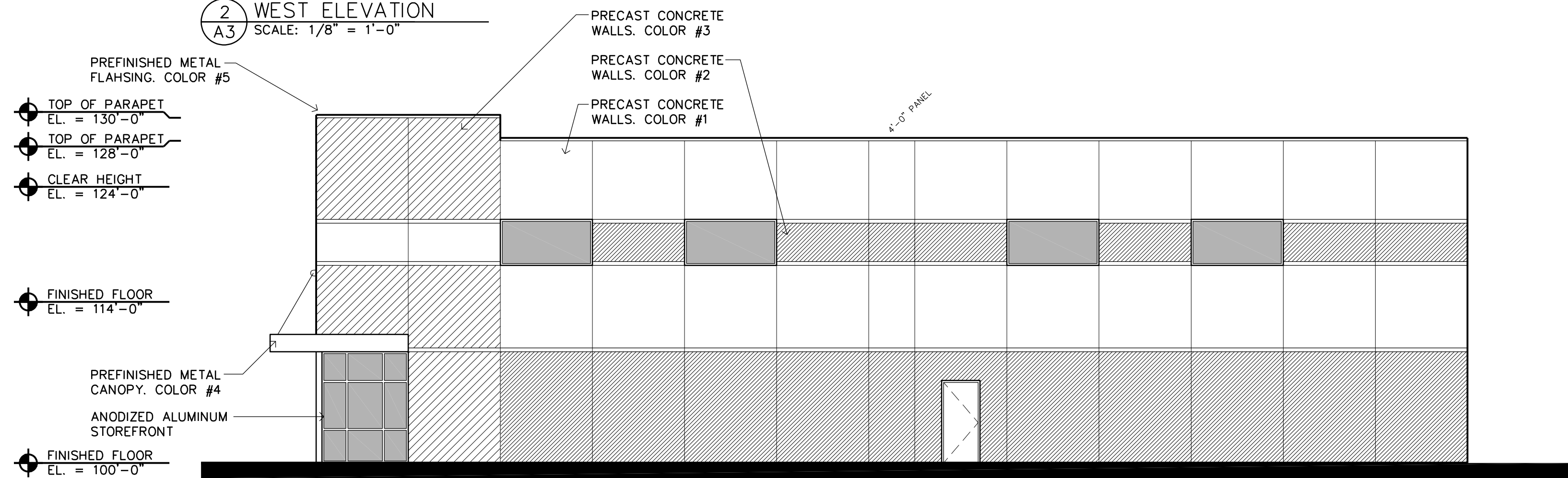
4 EAST ELEVATION
A3 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
A3 SCALE: 1/8" = 1'-0"



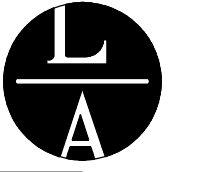
2 WEST ELEVATION
A3 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
A3 SCALE: 1/8" = 1'-0"

- TOP OF PARAPET
EL. = 130'-0"
- TOP OF PARAPET
EL. = 128'-0"
- CLEAR HEIGHT
EL. = 124'-0"
- FINISHED FLOOR
EL. = 114'-0"
- FINISHED FLOOR
EL. = 100'-0"

- PRECAST CONCRETE WALLS, COLOR #3
- PRECAST CONCRETE WALLS, COLOR #2
- PRECAST CONCRETE WALLS, COLOR #1



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Spring Lake Park, Minnesota

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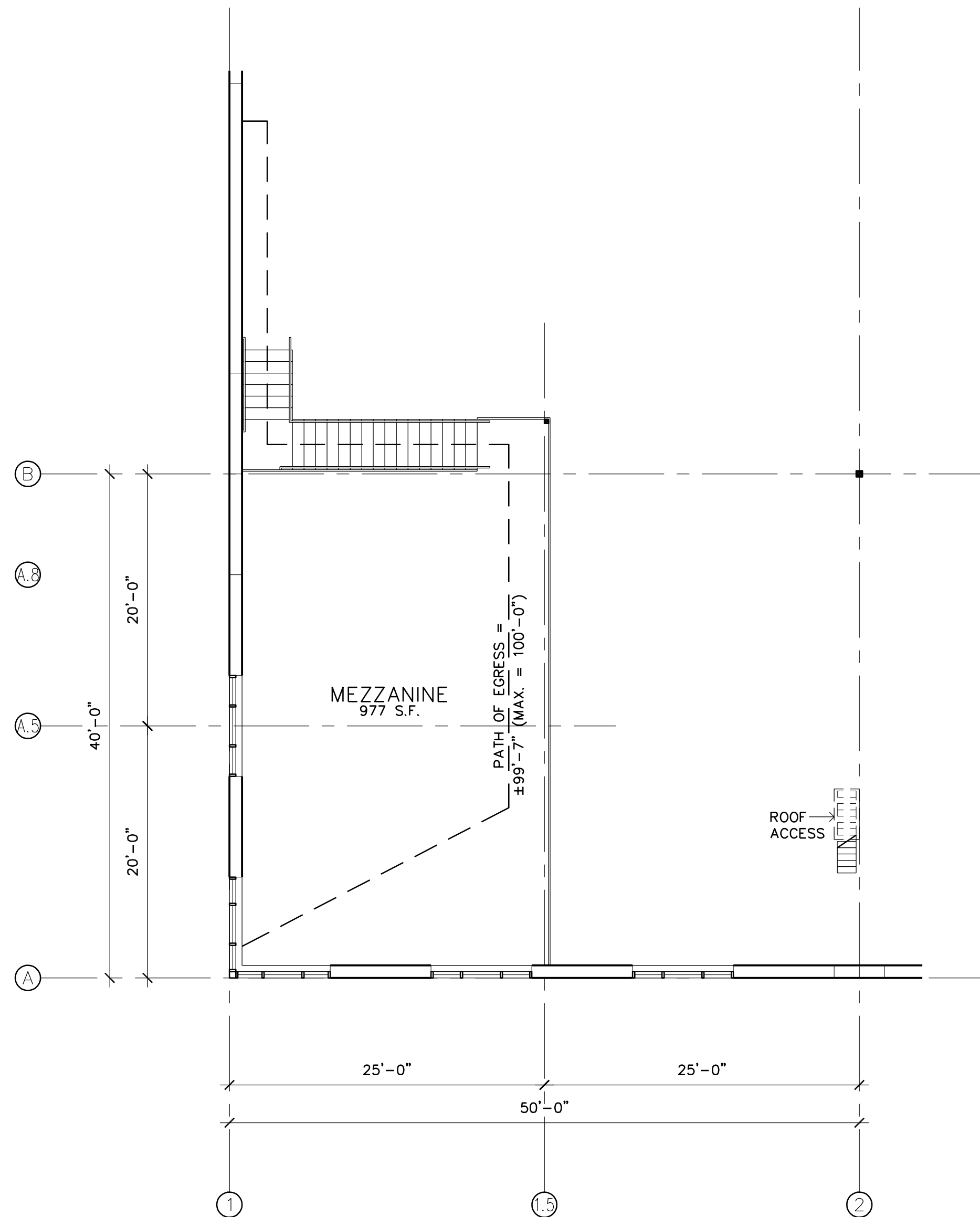
7/2/21	PRELIMINARY

BUILDING ELEVATIONS

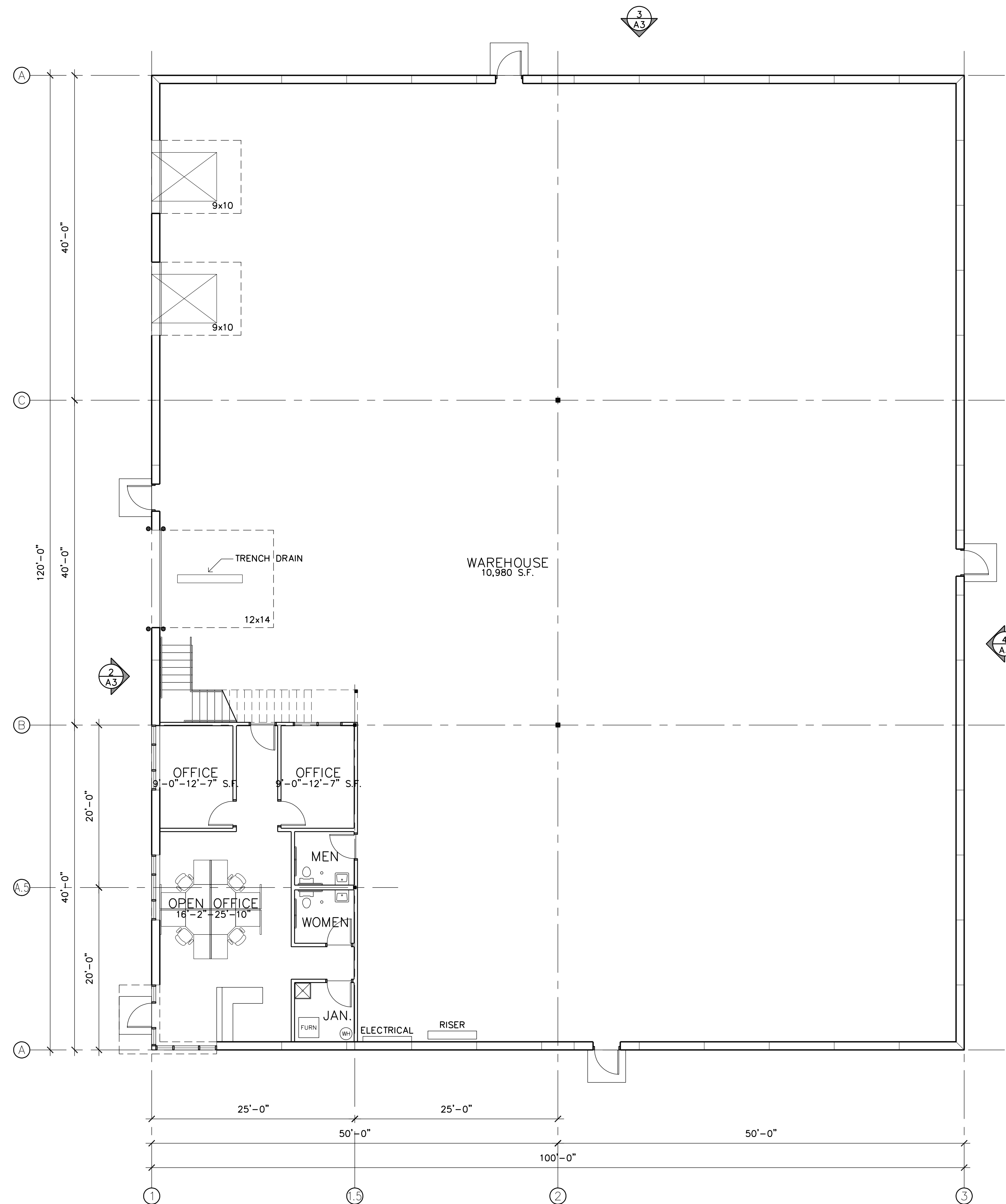
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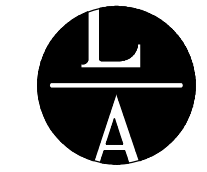
Project No. 201027-2



2 MEZZANINE PLAN
A2 SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
A2 SCALE: 1/8" = 1'-0"



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Spring Lake Park, Minnesota

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Drawn By: ALE

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Revisions

7/2/21 PRELIMINARY

FLOOR PLAN

Sheet Number

A2

To:	Planning Commission City of Spring Lake Park	From:	Lauren Walburg Stantec
File:	Peaceful Adult Day Center LLC – Conditional Use Permit	Date:	September 27, 2021

Re: Peaceful Adult Day Center LLC CUP | 1330 - 1334 81st Ave NE

BACKGROUND

Peaceful Adult Day Center LLC proposes to operate an adult day care center at 1330-1334 81st Ave NE. The property is guided Commercial/Industrial and zoned C-1: Shopping Center Commercial. Daycare facilities are considered a Conditional Use in this zoning district. The property shares open space and parking with the other tenants in the Spring Park Office Suites multi-tenant complex. Other tenants include general office and office commercial businesses.

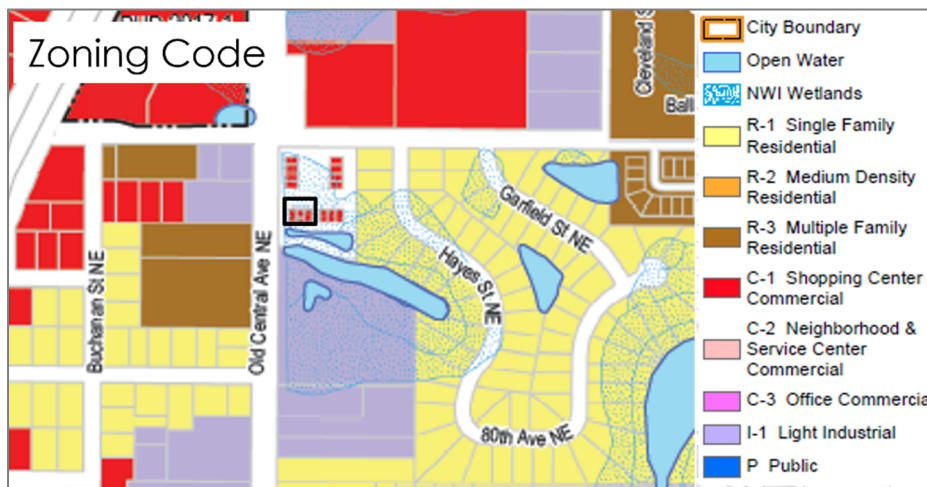
The site is located east of Central Ave NE and South of 81st Ave NE. Adjacent uses are single-family residential to the east, commercial/industrial to the south (with a pond in-between), Central Ave NE to the west with a mix of commercial and multi-family residential uses across the street, and 81st Ave NE to the north with the Spring Lake Park City Hall across the street from the site.



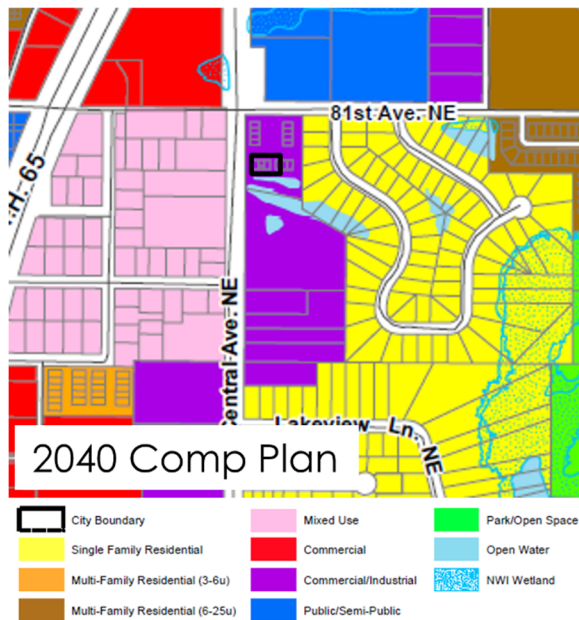
Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE

PLANNING ISSUES DISCUSSION

- 1) **Comprehensive Plan and Zoning.** The property is guided Commercial/Industrial in the 2040 Comprehensive Plan. The zoning is C-1: Shopping Center Commercial which is intended as a business district which may be applied to land in single ownership or unified control with a unified and organized arrangement of buildings which are centrally located within the residential area they are intended to serve.



Zoning: C-1 Shopping Center Commercial



Land Use Guidance: Commercial/Industrial in 2040 Comprehensive Plan

Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE

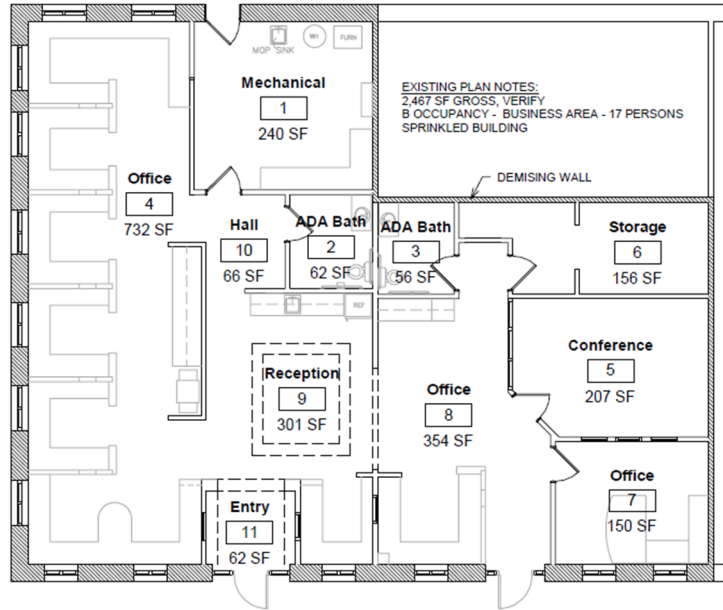
Requirements for property in the C-1 zoning district include:

- If any yards are to be landscaped, they shall be landscaped attractively with lawns, trees, shrubs, and the like. Any areas left in a natural state shall be properly maintained in a sightly and well-kept condition (§153.058).
- Where any business or industrial use (i.e., structure, parking or storage) abuts a residential zone or use, such business or industry shall provide a buffer yard and screening along the boundary of the residential property. The buffer area and screening shall also be provided where a business or industry is across the street from a residential zone or use, but not on that side of a business or industry considered to be the front as defined by the city. (§153.064) The proposed use includes outdoor parking of boats, but the site is not adjacent to any residential use.
- All materials, supplies, merchandise, or other similar matter not on display for direct sale, rental, or lease to the ultimate consumer or user shall be stored within a completely enclosed building within the commercial and industrial districts or within the confines of an opaque wall or fence not less than six feet high. (§153.066) No supplies or merchandise are proposed to be stored outdoors.
- Performance standards apply to buildings within the C-2 Commercial district, as guided in §153.100. These standards regulate noise, odor, exterior lighting, glare, vibration, fumes and gases, smoke, dust, hazards, and visual impacts. The site plan review process implements these regulations to ensure that development is compatible with neighboring properties and that negative external impacts are minimized.

Additionally, the following specific development standards apply to daycare centers. While Peaceful Adult Day Center is a daycare use, it does not cater to children, and therefore could be shown flexibility from these standards. The standards themselves are written as though intended for typical day care centers that cater to young kids and outdoor play areas.

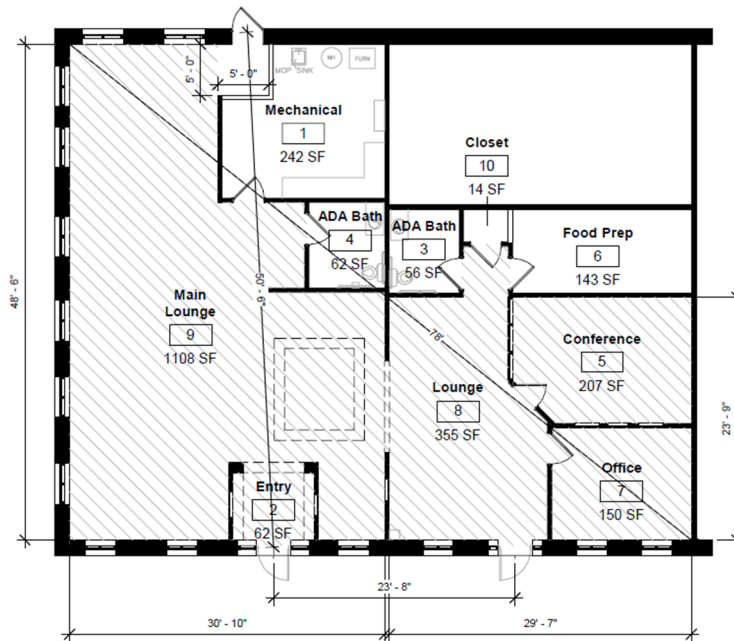
1. The building and any exterior fenced areas shall meet the setback requirements for a principal structure in the zoning district in which the use is located.
 2. The play area shall be located away from the main entrance to the daycare facility and shall be contained with a fence at least five feet in height.
 3. For child daycare centers, at least 50 square feet of outside play area shall be provided for each child under care. For adult daycare facilities, at least 150 square feet of outdoor area for seating or exercise shall be provided for each adult under care.
 4. The use shall provide a designated area for the short-term parking of vehicles engaged in loading and unloading of children under care. The designated area shall be located as close as practical to the principal entrance of the building and shall be connected to the building by a sidewalk.
 5. The facility shall meet all applicable building and fire codes and be licensed as required by the State of Minnesota. (16.36.020 (D)).
- 2) **Application Request.** The applicant proposes to open an adult daycare facility in the building located at 1330-1334 81st Ave NE, which is the building in the southwest corner of the Spring Lake Park Office Suites complex. Current tenants in the complex include office users, as well as other service businesses such as the Spark School of Music and Prime Time Medical Training LLC. The property itself is comprised of four existing multi-tenant office buildings and a surface parking lot. The request is to use the 1330-1334 building for an adult day care, providing care and companionship for older adults. The applicant is not proposing any changes to the existing building or lot. The applicant does plan to reconfigure the inside of the building, as shown in the figures on the next page. There is existing tree screening between this lot and the single-family residential to the east of the site. The parking spaces are assigned by the building owner, and no changes are proposed to the parking lot itself.

Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE



① Existing Plan
 1/8" = 1'-0"

Existing Site Plan



① Proposed Plan - Occupancy Areas
 1/8" = 1'-0"

Proposed Site Plan

Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE

The applicant also operates a Peaceful Adult Day Center on University Ave in Fridley. These types of uses are regulated and licensed by the State under the Department of Human Services. The Minnesota Department of Human Services defined adult day centers as center-based facilities that provide adult day services to adults who have functional impairments on a regular basis for periods of fewer than 24 hours during the day in a setting that is not a residence. Adult daycare centers provide planned programs and activities, as well as professional health and mental care to seniors, with the goal of delaying institutionalized living, and taking the burden off at-home family caretakers.

- 3) **Conditional Use Permit.** Section §16.56 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit. This application has been analyzed with respect to those requirements, listed below. The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:

(a) The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;

The adult day care use will provide a service to senior residents and their families residing in and nearby Spring Lake Park. Adult daycare uses and services aimed at providing mental and physical stimulation for senior citizens are growing in popularity. As mentioned in the City's Comprehensive Plan, the City's population is aging, indicating that a use aimed at seniors would contribute to the general welfare of the neighborhood and community.

(b) The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity;

The site has robust existing screening and is buffered to the adjacent single-family residential. The adult daycare use will mostly be conducted indoors, and therefore will not be injurious to surrounding properties. The use will be located in a visually pleasing and landscaped office park.

(c) The proposed use will comply with the regulations specified in this chapter for the district in which the proposed use is to be located;

The proposed use is compliant with all applicable standards in the C-1 Shopping Center Commercial district.

(d) The use is one of the conditional uses specifically listed for the district in which it is to be located;

Daycare facilities are considered a Conditional Use in the C-1 Shopping Center Commercial district.

(e) The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity;

The property has existing screening in place, and the applicant is not proposing any changes to the building or site itself. The property is currently landscaped with shrubs and decorative rocks, which add to the visual appeal of the property. The applicant has stated that daycare participants mostly stay inside the facility, with the exception of pick-up/drop-off and occasional short outdoor breaks. With little outdoor activity, the use should not have a detrimental effect on properties in the vicinity.

(f) The use will not lower property values or impact scenic views in the surrounding area;

Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE

There is existing screening between the residential uses to the east, as well as screening to the natural pond area to the south. The property has existing landscaping and an attractive building, which the applicant will maintain.

(g) Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic;

This property can be accessed from 81st Ave NE, which is adequate to handle the minimal amount of traffic expected from this type of use.

(h) Sufficient off-street parking and loading space will be provided to serve the proposed use;

The applicant is supplying adequate parking for employees and pick-up and drop-off of adult daycare participants. The facility offers handicap parking with a ADA accessible ramp and sidewalk connecting to the main entrance of the building. The Spring Lake Park Zoning Code requires daycare centers to provide 1 space per employee and 5 additional spaces per building. The applicant has stated that they anticipate 5 staff on the largest shift, and the daycare will be housed within one building, requiring 10 parking spaces. There are currently 10 spaces allocated to this use directly in front of the building (including 1 ADA accessible spot). It is also possible that the facility would have use of the 4 parking spaces south of the 1310-1316 building, as it is not clear which building those spaces serve. Parking spaces are provided by the building owner, and no changes are proposed to the parking lot.

(i) The use includes adequate protection for the natural drainage system and natural topography;

The applicant does not propose any changes to the property, therefore the natural drainage system and natural topography will not be affected.

(j) The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance; and

Peaceful Adult Day Center is an adult daycare business. It will not require measures to mitigate odor, fumes, dust, noise, and vibrations.

(k) The proposed use will not stimulate growth incompatible with prevailing density standards.

The applicant is not proposing any residential units as part of the project.

RECOMMENDATIONS

We recommend that the Planning Commission recommend approval of the Conditional Use Permit for 1330-1334 81st Ave NE with the following conditions, based on the analysis provided by Planning staff:

- 1) The applicant shall apply for and receive all applicable building permits prior to beginning work.
- 2) The applicant shall ensure daycare participants are secured within the building for their safety, except supervised outdoor time.
- 3) The applicant shall provide outdoor seating for adult daycare participants, including at least two (2) benches.

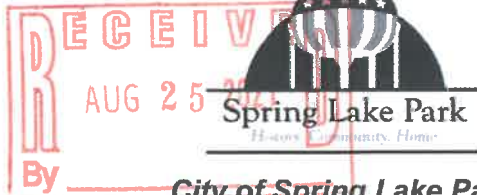
Reference: Peaceful Adult Day Center LLC CUP | 1330-1334 81st Ave NE

- 4) The applicant shall ensure that employee and customer cars are parked only in spaces designated for use by Peaceful Adult Day Center.

FINDINGS OF FACT

We recommend the following findings of fact for approval of the Conditional Use Permit:

- 1) The proposed use is a reasonable use of the property, anticipated as a Conditional Use in the C-1 zoning district.
- 2) The use is screened from adjacent residential uses and is therefore not expected to have a detrimental effect on surrounding properties or lower property values.
- 3) Adjacent roadways and the existing parking lot are adequate to handle anticipated traffic and vehicles using the site.
- 4) No changes are proposed to site grading and drainage and therefore stormwater management should be adequate as it exists now.
- 5) There are no unusual odors, fumes, dust, noise or vibration associated with the use, and all work will be conducted indoors.
- 6) No residential use is proposed on the site and therefore incompatible growth in that regard is not an issue with this use.



#136106
8/25/21
ck# 3311

City of Spring Lake Park
1301 81st Avenue NE
Spring Lake Park, MN 55432
763-784-6491 (p) 763-792-7257 (f)
info@slpmn.org

For Office Use Only	
Case Number:	
Fee Paid:	2,000 ⁰⁰
Received by:	
Date Filed:	8/25/2021
Date Complete:	
Base Fee:	500
Escrow:	1500

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input checked="" type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input checked="" type="checkbox"/> Rezoning	<input type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 1330-1334 81ST AVE NE , SPRING LAKE PARK, MN 55432		
Property Identification Number (PIN#):		Current Zoning:
Legal Description (Attach if necessary):		Office (Condo)
APPLICANT INFORMATION		
Name: Maftuha Hassan		Business Name: Peaceful Adult Day Center LLC
Address: 6267 University Ave NE		
City: Fridley	State: Minnesota	Zip Code: 55432
Telephone: 763-742-0952	Fax: 763-432-3750	E-mail: peacefuladuldaycenter@gmail.com
Contact: Maftuha Hassan		Title: Owner
OWNER INFORMATION (if different from applicant)		
Name:		Business Name:
Address:		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:		Title:
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property:		office
Nature of Proposed Use:		Adult Day Care
Reason(s) to Approve Request:		The city of spring lake park will get advantage for my business.
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See City Code		

APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park requires all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

Minnesota Statute § 471.462 requires all cities to provide, upon request, a nonbinding estimate of consulting fees in connection with applications for permits, licenses, or other approvals relating to real estate development or construction. If the applicant requests the estimate, the application shall not be deemed complete until the City has (1) provided an estimate to the applicant; (2) received the required application fees, as specified by the City; (3) received a signed acceptance of the fee estimate from the applicant; and (4) received a signed statement that the applicant has not relied on the estimate of fees in its decision to proceed with the final application from the applicant.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

E-mail Peacefuadultdaycenter@gmail.com Fax 763-432-3750 USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application, including all four requirements of Minnesota Statute § 471.462, should I request a written estimate of consultant fees. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Maftuha Hassan Date: 8/24/2021

Owner: Owner Date: 08/24/2021

**NOTE: Applications only accepted with ALL required support documents.
See City Code**

**City of Spring Lake Park
Conditional Use Permit Worksheet**

A conditional use permit cannot be approved unless the Planning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. _____
Adult Day Care Centers are designed to provide care and companionship for older adults who need assistance or supervision during the day Programs offer relief to family members and caregivers, allowing them to go to work, handle personal business, or just relax while knowing their relative is well cared for and safe

2. That the proposed use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/ improvements within the vicinity of the use. Yes, _____
The goals of the programs are to delay or prevent institutionalization by providing alternative care, to enhance self-esteem, and to encourage socialization.

3. That the proposed use will comply with the regulations specified in Chapter 16 of the City Code. Yes, the proper location of all types of uses required in the social and economic welfare of the city.

4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. Yes. Adult day care provides social activities, Adult day health care offers intensive health, therapeutic.

5. That the proposed use will not lower property values or impact scenic views in the surrounding area. Yes, provides social activities

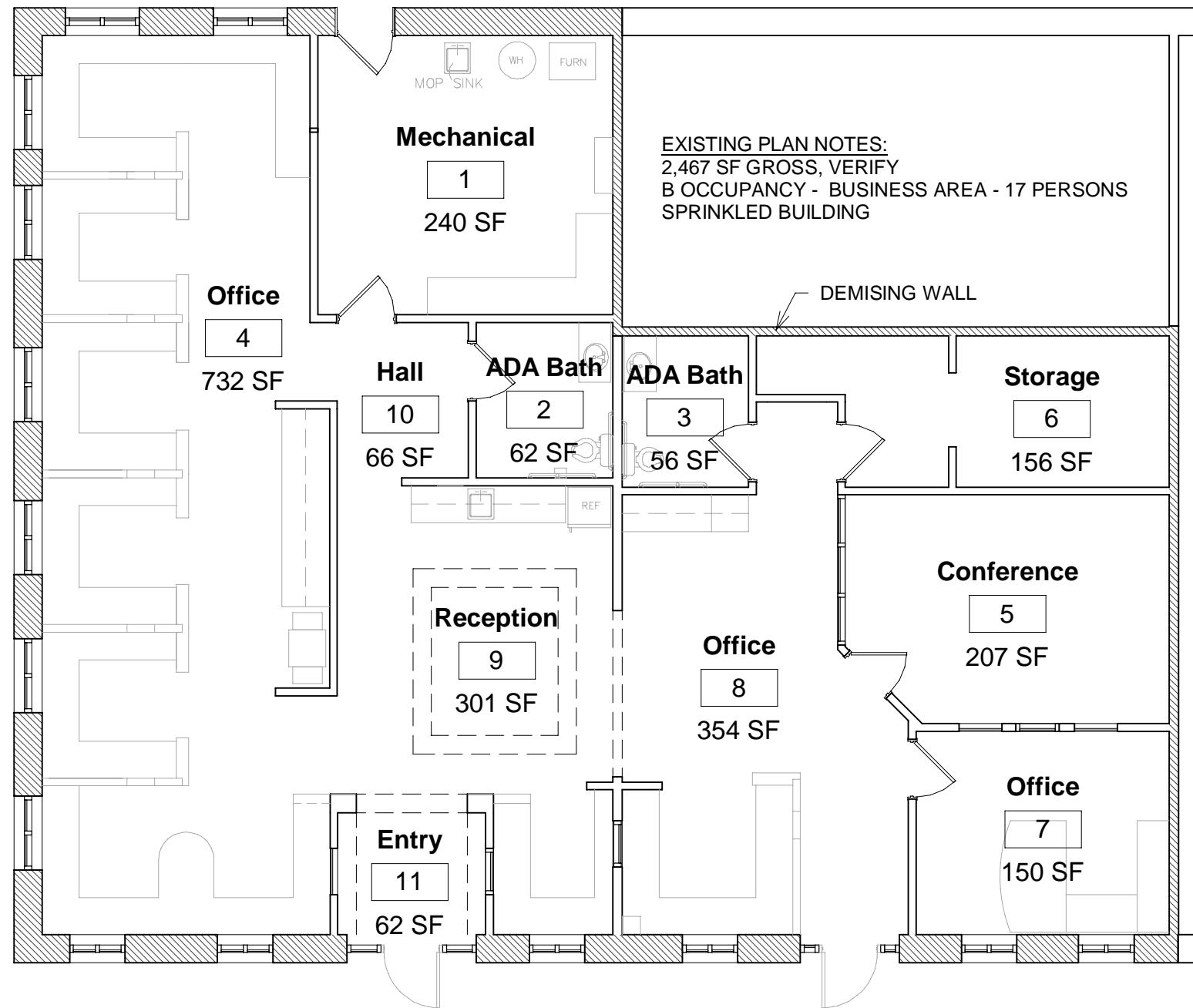
6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. Yes,

7. Sufficient off-street parking and loading space is available to serve the proposed use. _____
Yes, Easy access to Highway 65 & 610 City Hall and new Hy Vee across the street
Close to Shopping & Restaurants Well Kept, Healthy Association
Potential Expansion to Adjacent Unit.

8. That the proposed use includes adequate protection for the natural drainage system and natural topography. Yes,

9. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. Yes,
Beautiful built-out office space Total Building Size 4,512 SF
Parking Ratio 2.66/1,000 SF Lot Size 2.04 AC.

10. That the proposed use will not stimulate growth incompatible with prevailing density standards.
Yes, It is Office Condo Unit



① Existing Plan
1/8" = 1'-0"

A1

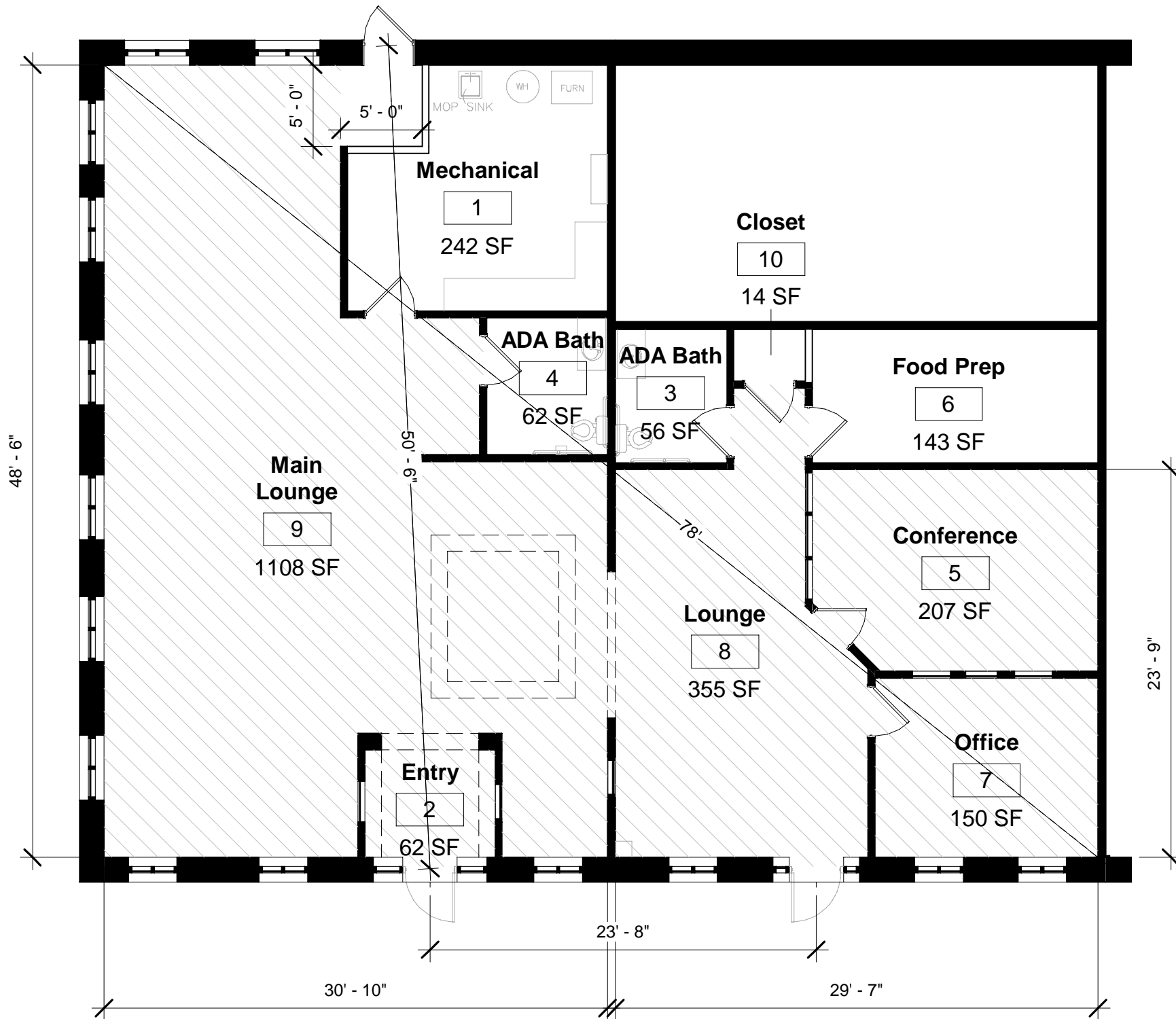
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Existing
Plan

Change of Occupancy
Peaceful Adult Day Center, LLC

1330-1334 81st Ave NE
Spring Lake Park, MN 55432

ALM
DESIGN
STUDIO



PEACEFUL ADULT DAY CENTER, LLC CODE ANALYSIS – PRELIMINARY		
CODES REVIEWED:	2020 MINNESOTA BUILDING CODE	
	2020 MN CONSERVATION CODE FOR EXISTING BUILDINGS, PRESCRIPTIVE COMPLIANCE METHOD	
	SPRING LAKE PARK MUNICIPAL CODE – ZONING	
ZONING	(C-1) SHOPPING CENTER COMMERCIAL	
OCCUPANCY	DAYCARE FACILITY	SLPC 16.36.010 -VERIFY OUTDOOR AREA REQ.
CONSTRUCTION TYPE	E (Adult Day Care)	MBC CHPT. 3
ALLOWABLE AREA	V-B	MBC CHPT. 6
ACTUAL BUILDING AREA	9,000 SF NS / 38,000 SF S	MBC TABLE 506.2
OCCUPANCY AREAS	2,467 SF GROSS	
ACTUAL BUILDING STORIES	1,882 SF NET E	SEE AREA PLAN
AUTO SPRINKLER SYSTEM	1 STORY	
OCCUPANCY / EGRESS	YES	MCCEB 403.1
FIRST FLOOR	DAY CARE	MBC CHPT. 10, TABLE 1004.5
	1 OCCUPANT / 35 SF NET	
	1882 SF / 35 SF = 54 OCCUPANTS	
	TOTAL OCCUPANCY: 54	
MAX COMMON PATH OF EGRESS TRAVEL	75' S	MBC TABLE 1006.2.1
EXIT & EXIT ACCESS DOORWAYS	TWO REQUIRED	MBC TABLE 1006.2.1
DOOR SWING	MUST SWING IN DIRECTION OF EGRESS TRAVEL UNLESS OCCUPANCY < 50	MBC 1010.1.2.1
EXIT ACCESS TRAVEL DISTANCE	250 FEET, SPRINKLED	MBC TABLE 1017.2
EXIT DOORWAY CONFIGURATION	1/3 OF THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF AREA SERVED	MBC 1007.1.1
	78/3 = 26'	
TOILET FACILITIES		
REQUIRED TOILET FACILITIES	E (Adult Day Care)	MBC TABLE 2902.1
	1 WC / 50 OCCUPANTS = 2	
	54 OCCUPANTS	
	DRINKING FOUNTAIN, 1 PER 100	OR WATER AVAILABLE FROM SERVICE AREA
	1 SERVICE SINK	
EXISTING TOILET FACILITIES	2 W/ 1 WC AND 1 LAV (ADA, UNISEX)	
FIRE EXTINGUISHERS	MIN. (1) 2-A EXTINGUISHER PER FLOOR, MIN. 75' TRAVEL DISTANCE TO EXTINGUISHER	MSBC TABLE 906
FIRE ALARM AND DETECTION SYSTEMS	INSTALL PER CODE	MSBC 907
EXIT SIGNS	INSTALL PER CODE	MSBC 1013

1 Proposed Plan - Occupancy Areas
1/8" = 1'-0"

A2

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Proposed
Plan, Code
Analysis

Change of Occupancy
Peaceful Adult Day Center, LLC
1330-1334 81st Ave NE
Spring Lake Park, MN 55432

ALM
DESIGN
STUDIO



PEACEFUL ADULT DAY CENTER, LLC

Ph : 763-432-3750 FAX: 763-432-3857

6267 UNIVERSITY AVE NE, FRIDLEY MN. 55432

Peaceful Adult Day Center is a planned program of activities in a professional care setting designed for older adults who require supervised care during the day, or those who are isolated and lonely.

Adult Day Care Centers are designed to provide care and companionship for older adults who need assistance or supervision during the day. Programs offer relief to family members and caregivers, allowing them to go to work, handle personal business, or just relax while knowing their relative is well cared for and safe.

The goals of the programs are to delay or prevent institutionalization by providing alternative care, to enhance self-esteem, and to encourage socialization. There are two types of adult day care: adult social day care and adult day health care. Adult social day care provides social activities, meals, recreation, and some health-related services. Adult day health care offers intensive health, therapeutic, and social services for individuals with serious medical conditions and those at risk of requiring nursing home care.

Older adults generally participate on a scheduled basis. Services may include:

- **Counseling**
- **Education**
- **Evening care**
- **Exercise**
- **Health screening**
- **Meals**
- **Medical care**
- **Physical therapy**
- **Recreation**
- **Respite care**
- **Socialization**
- **Supervision**
- **Transportation**
- **Medication management**

A Peaceful Adult Day Center program improves mental and physical wellbeing through socialization, mentally stimulating games and physical activity. Every week disabled adults are able to participate in new social activities and games.

Adult Day Services is a system of professionally delivered, integrated, home and community-based, therapeutic, social and health-related services provided to individuals to sustain living within the community.

Adult day service centers provide a coordinated program of professional and compassionate services for adults in a community-based group setting. Services are designed to provide social and some health services to adults who need supervised care in a safe place outside the home during the day. They also afford



PEACEFUL ADULT DAY CENTER, LLC

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6267 UNIVERSITY AVE NE, FRIDLEY MN. 55432

caregivers respite from the demanding responsibilities of caregiving. Adult day centers generally operate during normal business hours five days a week. Some programs offer services in the evenings and on weekends. Although each facility may differ in terms of features, these general services are offered by most adult day centers:

Social activities—interaction with other participants in planned activities appropriate for their conditions

Transportation—door-to-door service

Meals and snacks—participants are provided with meals and snacks, those with special dietary needs are offered special meals

Personal care—help with toileting, grooming, eating and other personal activities of daily living

Therapeutic activities—exercise and mental interaction for all participants.

In general, there are three types of adult day centers:

- **social (which provides meals, recreation and some health-related services)**
- **medical/health (which provides social activities as well as more intensive health and therapeutic services) and**
- **specialized (which provide services only to specific care recipients, such as those with diagnosed dementias or developmental disabilities.**

Caregivers typically select the type of center a care recipient attends based on the care needed.

Adult Day Services Are Leaders in Community-Based Care for Individuals with Alzheimer’s Disease and Other Dementias

- **Adult day services centers provide an interactive, safe, and secure environment.**
- **Nearly half of all participants have some level of dementia.**



PEACEFUL ADULT DAY CENTER, LLC

Ph : 763-432-3750 FAX: 763-432-3857

6267 UNIVERSITY AVE NE, FRIDLEY MN. 55432

- **Approximately 90% of centers offer cognitive stimulation programs, almost 80% provide memory training programs, and more than 75% offer educational programs.**
- **The care provided may allow these individuals to delay nursing home placement.**

Adult Day Services Are an Essential Source of Support for Family Caregivers

- **Adult day services provide a reliable source of support, restore balance in times of crisis, and enhance overall quality of life for caregivers.**
- **Adult day services provide respite to family caregivers.**
- **Over 80% of participants attend full days and 46% attend five days per week, enabling family caregivers to remain in the workforce.**
- **Most centers provide caregiver support programs, including educational programs (70%), caregiver support groups (58%), and individual counseling (40%).**

To:	Planning Commission City of Spring Lake Park	From:	Lauren Walburg Stantec
File:	Shashe Market – Conditional Use Permit	Date:	September 27, 2021

Re: **Shashe Market CUP | 8421B Center Drive NE**

BACKGROUND

Shashe Market proposes to open a small convenience store in the building located at 8409-8421 Center Drive NE. The multi-tenant building is owned by Center Drive Holdings LLC and includes a variety of commercial and light industrial tenants. Shashe Market would occupy the space at 8421B, which includes roughly 3,510 rentable square feet. The property is guided Commercial/Industrial and zoned I-1: Light Industrial. Retail and service establishments essential to the operation of an I-1 district and providing goods and services primarily for the use of the persons employed in the district are considered a Conditional Use in this zoning district.

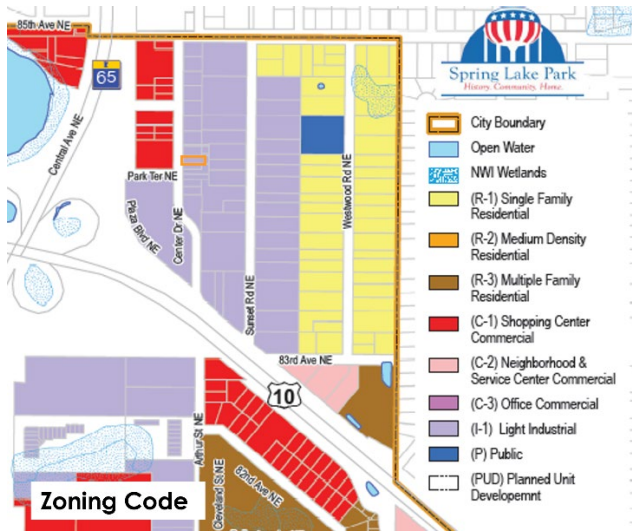
The site is located on the east side of Center Drive NE and north east of the County Highway 10/Central Avenue NE interchange. The site is accessible by Center Drive NE and the adjacent uses are commercial/industrial to the west including Dala Thai Restaurant, Wells Fargo and Spring Lake Park Lumber, commercial/industrial to the north, commercial/industrial to the east and multi-family residential to the south.



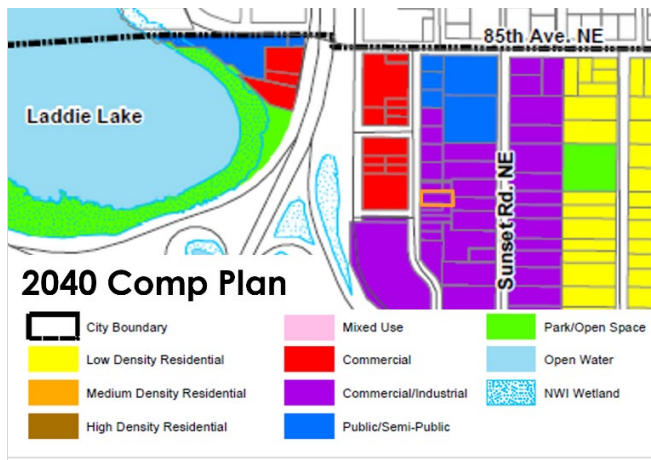
Reference: Shashe Market CUP | 8421B Center Drive NE

PLANNING ISSUES DISCUSSION

- 1) **Comprehensive Plan and Zoning.** The property is guided Commercial/Industrial in the 2040 Comprehensive Plan. The zoning is I-1: Light Industrial which is intended to provide employment opportunities and to group certain uses in locations accessible to highways for the safe and effective movement of raw materials, finished products and employees



Zoned I-1: Light Industrial



Guided Commercial Industrial in 2040 Comprehensive Plan

Reference: Shashe Market CUP | 8421B Center Drive NE

Other requirements for property in the I-1 district include:

- If any yards are to be landscaped, they shall be landscaped attractively with lawns, trees, shrubs, and the like. Any areas left in a natural state shall be properly maintained in a sightly and well-kept condition (§16.20.040).
- Where any business or industrial use (i.e., structure, parking or storage) abuts a residential zone or use, such business or industry shall provide a buffer yard and screening along the boundary of the residential property. The buffer area and screening shall also be provided where a business or industry is across the street from a residential zone or use, but not on that side of a business or industry considered to be the front as defined by the city. (§16.200.100(l)(4)(a.))
- All materials, supplies, merchandise, or other similar matter not on display for direct sale, rental, or lease to the ultimate consumer or user shall be stored within a completely enclosed building within the commercial and industrial districts or within the confines of an opaque wall or fence not less than six feet high. (§16.20.120)
- Performance standards apply to buildings within the I-1 Light Industrial district, as guided in §16.28.010. These standards regulate noise, odor, exterior lighting, glare, vibration, fumes and gases, smoke, dust, hazards, and visual impacts. The site plan review process implements these regulations to ensure that development is compatible with neighboring properties and that negative external impacts are minimized.

2) **Application Request.** The storefront that the applicant proposes to use for Shashe Market is currently vacant. Other tenants in the building include auto-related commercial businesses, Lyke’s boxing gym and Quarve Contracting adjacent, but in a separately owned building. The approximate location of the space is shown in the diagram below. The entire multi-tenant building is roughly 19,000 square feet with a 40-spot surface parking lot. However, 8421 is its own parcel, which includes about a 6,930 square foot building and 11 total parking spaces. The request is to use the space as a small grocery/convenience store offering Ethiopian and American groceries and other convenience items. The applicant is proposing minor changes to the interior of the building to make the space an open storefront, instead of office space, but no external changes to the building or site. The leased space is about 3,510 square feet.

The parking spaces are assigned by the building owner, and no changes are proposed to the parking lot itself. The entire lot owned by Center Drive Holdings has 40 parking spaces. The tenants at 8421 share 11 of those 40 parking spaces, and the prorated share of stalls available for the tenants of 8421B is 7 stalls.



Reference: Shashe Market CUP | 8421B Center Drive NE

- 3) **Conditional Use Permit.** Section §16.56 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit. This application has been analyzed with respect to those requirements, listed below. The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:

(a) The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;

The proposed use of a small convenience grocery store can serve employees of the businesses in the area, as well as other residents of Spring Lake Park. The proximity to Highway 10 and Central Ave NE could also bring residents from elsewhere within and surrounding the community.

(b) The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity;

The applicant is not proposing any modifications to the exterior of the building or outdoor storage that would be detrimental to the other businesses in the vicinity. While a small convenience grocery store is a commercial use, it would fit with the general light industrial and commercial nature of the existing tenants and businesses in the area.

(c) The proposed use will comply with the regulations specified in this chapter for the district in which the proposed use is to be located;

The proposed use is compliant with all applicable standards in the I-1 Light Industrial district.

(d) The use is one of the conditional uses specifically listed for the district in which it is to be located;

Retail and service establishments essential to the operation of an I-1 district and providing goods and services primarily for the use of persons employed in the district are considered a Conditional Use in the I-1 light industrial district. The convenience store will provide a service to employees within the vicinity.

(e) The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity;

While the property does not have existing screening in place, the nature of the industrial and commercial businesses, and the guiding of the area for industrial/commercial fits with this use. The applicant is not proposing any changes to the building or site itself, and all business will be conducted within the building.

(f) The use will not lower property values or impact scenic views in the surrounding area;

The applicant is not proposing any changes to the exterior of the building. The business will attract employees within the district and will not lower surrounding property values or scenic views in the area. The nearest existing residential use is south of the property but is surrounded by existing commercial/industrial uses and is guided commercial/industrial in the 2040 Comprehensive Plan.

(g) Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic;

Reference: Shashe Market CUP | 8421B Center Drive NE

This property can be accessed from Center Drive NE and Highway 10 Service Road and is adjacent to the Highway 10/Central Ave NE interchange, which are adequate to handle the minimal amount of traffic expected from this type of use.

(h) Sufficient off-street parking and loading space will be provided to serve the proposed use;

Depending on peak business times and the overall traffic to the business, the applicant may need more parking than is provided currently. The owner of the building has stated that the applicant will have use of 7 parking spaces on site in the shared parking lot and there is no on-street parking on Center Drive NE. The Spring Lake Park zoning code requires 10 spaces of parking per 1,000 square feet of gross floor area for retail and department stores. Without additional context, this would require 30 spaces of parking for this use alone. However, a small convenience store is not the same as a large department store. Given that this space is within an industrial/commercial district, we could also calculate parking based on the industrial standard which is calculated by square footage/use of the building. The applicant proposes about 1,600 square feet of retail space and about 1,900 square feet of distributing/warehouse/storage space. Adding these uses together with their required parking would equal roughly 7 parking spaces, which is the amount provided on site. If there is concern regarding parking, the owner and applicant could also discuss ways to increase the parking available including allocating more spaces on site to the business or sharing parking with adjacent uses with excess parking.

(i) The use includes adequate protection for the natural drainage system and natural topography;

The applicant does not propose any changes to the property, therefore the natural drainage system and natural topography will not be affected.

(j) The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance; and

All business at Shashe Market will be conducted inside the existing building. The business will not require measures to mitigate odor, fumes, dust, noise, and vibrations.

(k) The proposed use will not stimulate growth incompatible with prevailing density standards.

The applicant is not proposing any residential units as part of the project.

RECOMMENDATIONS

We recommend that the Planning Commission recommend approval of the Conditional Use Permit for 8421B Center Drive NE with the following conditions, based on the analysis provided by Planning staff:

- 1) The applicant shall apply for and receive all applicable building and signage permits prior to beginning work.
- 2) The applicant shall ensure that customer any employee cars are parked only in spots designated for use by Shashe Market. If parking becomes a problem, in the City's opinion, the City reserves the right to revisit the Conditional Use Permit and impose conditions or limit the use of the space
- 3) Optional: If parking is a concern, the planning commission could require the owner and applicant to work together to either provide more parking on-site or share parking with an adjacent use with excess parking.

Reference: Shashe Market CUP | 8421B Center Drive NE

FINDINGS OF FACT

We recommend the following findings of fact for approval of the Conditional Use Permit:

- 1) The proposed use is a reasonable use of the property, anticipated as a Conditional Use in the I-1 zoning district.
- 2) The use is not adjacent to residential uses and is within a commercial/industrial district and is therefore not expected to have a detrimental effect on surrounding properties or lower property values.
- 3) Adjacent roadways and the existing parking lot are adequate to handle anticipated traffic and vehicles using the site.
- 4) No changes are proposed to site grading and drainage and therefore stormwater management should be adequate as it exists now.
- 5) There are no unusual odors, fumes, dust, noise or vibration associated with the use, and all work will be conducted indoors.
- 6) No residential use is proposed on the site and therefore incompatible growth in that regard is not an issue with this use.



City of Spring Lake Park
 1301 81st Avenue NE
 Spring Lake Park, MN 55432
 763-784-6491 (p) 763-792-7257 (f)
info@slpmn.org

CK# 396
 8/17/2021
 #136051

For Office Use Only	
Case Number:	
Fee Paid:	500 + 1500 escrow
Received by:	KP
Date Filed:	8/17/2021
Date Complete:	
Base Fee:	500
Escrow:	1500

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text) <input type="checkbox"/> Rezoning <input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Site Plan/Building Plan Review <input type="checkbox"/> Conceptual Plan Review <input checked="" type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Variance <input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Lot Combination <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 8409 - 8421 Center Dr NE, Minneapolis, MN 55432		
Property Identification Number (PIN#): 01-30-24-12-0081		Current Zoning: Industrial Pref
Legal Description (Attach if necessary):		
APPLICANT INFORMATION		
Name: Burqaa Adema Bullo		Business Name: Shashe Market
Address: 1189 Bradley St		
City: St Paul, MN	State: MN	Zip Code: 55130
Telephone: 651 214 9752	Fax:	E-mail: daalebullo@yahoo.com
Contact:		Title: owner
OWNER INFORMATION (if different from applicant)		
Name: CENTER DRIVE HOLDINGS LLC		Business Name:
Address: 2738 winnetka ave n #201		
City: New Hope	State: MN	Zip Code: 55427
Telephone: 6125980780	Fax:	E-mail: Mike@commercialinvestorsgroup.com
Contact: Mike sowers		Title:
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property:		Mixed Use
Nature of Proposed Use:		Market and Boutique shop and office
Reason(s) to Approve Request:		This business will bring value to the building and the community
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See City Code		

daalebullo@yahoo.com

APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park requires all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

Minnesota Statute § 471.462 requires all cities to provide, upon request, a nonbinding estimate of consulting fees in connection with applications for permits, licenses, or other approvals relating to real estate development or construction. If the applicant requests the estimate, the application shall not be deemed complete until the City has (1) provided an estimate to the applicant; (2) received the required application fees, as specified by the City; (3) received a signed acceptance of the fee estimate from the applicant; and (4) received a signed statement that the applicant has not relied on the estimate of fees in its decision to proceed with the final application from the applicant.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

E-mail daalebulio@yahoo.com Fax _____ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application, including all four requirements of Minnesota Statute § 471.462, should I request a written estimate of consultant fees. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: BURGAN BUILD  Date: 08/17/21

Owner:  Date: Aug 17, 2021
Mike Sowers (Aug 17, 2021 11:48 CDT)

**NOTE: Applications only accepted with ALL required support documents.
See City Code**

**City of Spring Lake Park
Conditional Use Permit Worksheet**

A conditional use permit cannot be approved unless the Planning and Zoning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. The location is center and comply the interest of neighborhood or community. It will be social and economic welfare of the community.
2. That the use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/improvements within the vicinity of the use. The use of this location will not harm any one or any property under any circumstances. It will be improvements of the surrounding property.
3. That the proposed use will comply with the regulations specified in Chapter 153 of the Zoning Code. The proposal use will obey and established based on the zoning code. It will comply with all rule and regulations and conditions specified in the zoning code.
4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. the proposed use will not cause any harm to the other properties in our area or around us. for example by avoiding activities that led to the threat of others property like soliciting loitering and idling using our business area

5. That the use will not lower property values or impact scenic views in the surrounding area. _____
 The proposed use and development will not cause anything that lower property values.

6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. _____
 No traffic congestion, will not cause demonstrably undue traffic congestion nor draw demonstrably significant amount of traffic through residential or community.

7. That the use includes adequate protection for the natural drainage system and natural topography. _____
 The proposal will not cause destruction or loss, or damage to any natural or historic feature of significant importance.

8. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. _____
 The proposed will use adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration.

9. That the proposed use will not stimulate growth incompatible with prevailing density standards. _____
 The proposed use will not rise level of physiological or nervous activity in any biological system we will make sure that the proposed use will not be contradictory with the current use. We will adhere to the city regulation by not littering and allowing mechanical works
 8.






8421 Center Drive Development App Filled Out

Final Audit Report

2021-08-17

Created:	2021-08-17
By:	James Smith (james@commercialinvestorsgroup.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA6b2Vryf_q6FXZNRIFhfoPDI4WGrxdB8

"8421 Center Drive Development App Filled Out" History

-  Document created by James Smith (james@commercialinvestorsgroup.com)
2021-08-17 - 3:14:35 PM GMT- IP address: 68.46.30.162
-  Document emailed to Mike Sowers (mike@commercialinvestorsgroup.com) for signature
2021-08-17 - 3:16:35 PM GMT
-  Email viewed by Mike Sowers (mike@commercialinvestorsgroup.com)
2021-08-17 - 4:46:54 PM GMT- IP address: 74.125.212.136
-  Document e-signed by Mike Sowers (mike@commercialinvestorsgroup.com)
Signature Date: 2021-08-17 - 4:48:43 PM GMT - Time Source: server- IP address: 174.219.8.210
-  Agreement completed.
2021-08-17 - 4:48:43 PM GMT

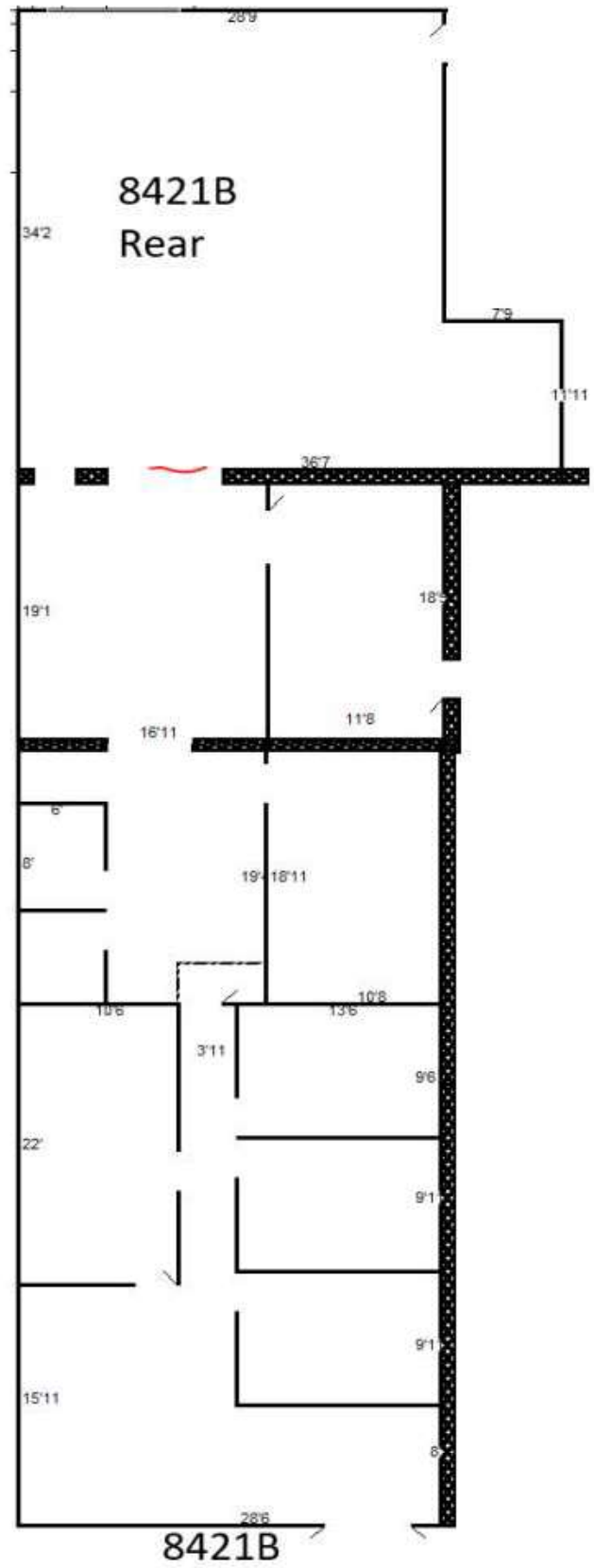


7401 Bush Lake Rd
Suite 7
Edina MN 55439

8421B

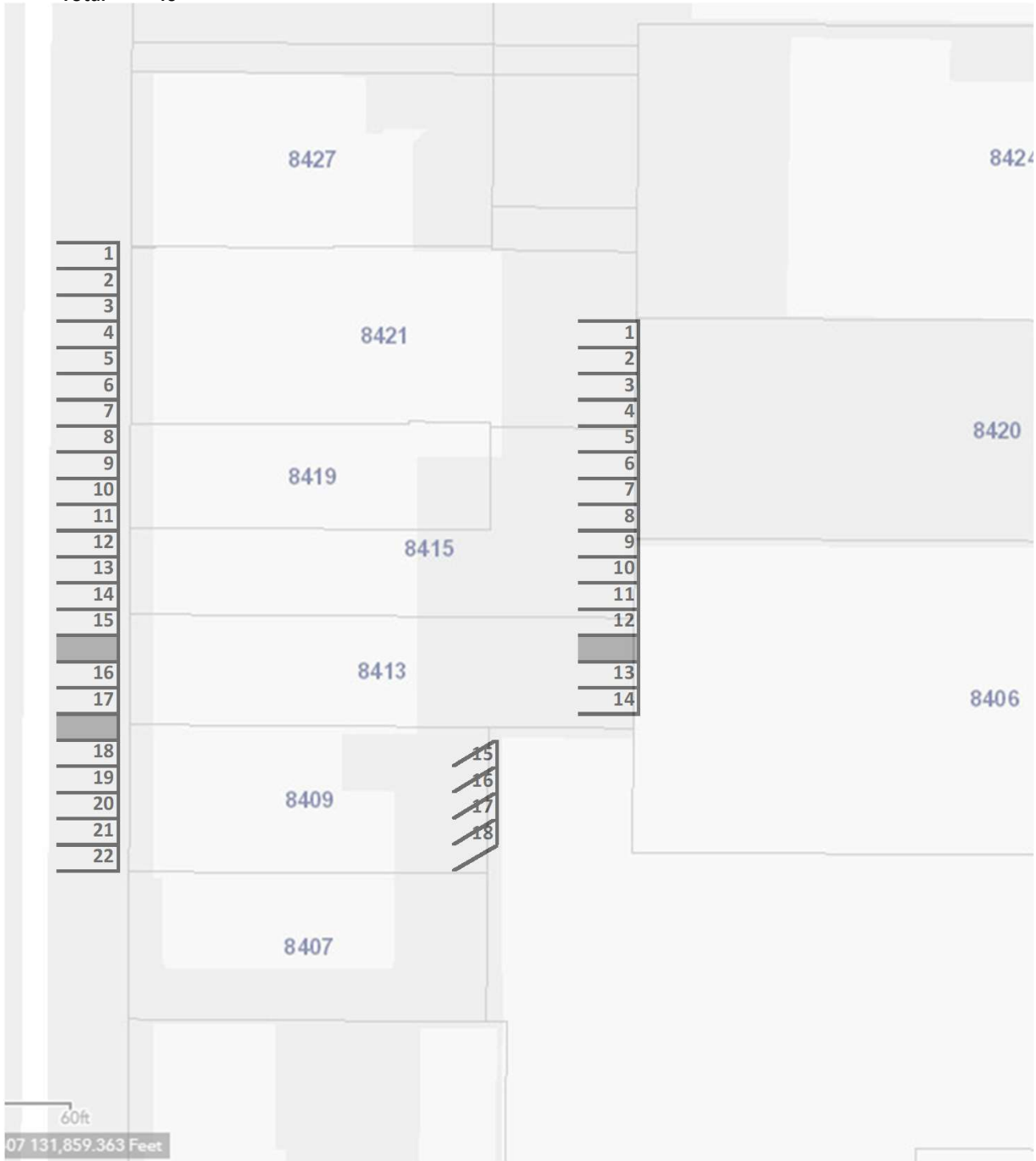
Center Dr, Spring Lake Park, MN 55432\

3,510 RSF



8409-8421 Center Drive Parking
 Parking Stalls owned by Center Drive Holdings

Front	22
Rear	18
Total	40



From: [Mike Sowers](#)
To: [Walburg, Lauren](#)
Date: Friday, September 10, 2021 8:31:33 PM
Attachments: [suntide-commercial-realty_small_e0047168-3b30-4db7-be2a-db517a28c639.jpg](#)
[phoneicon\(2\)_a883bb43-6975-4502-a3fa-da41254836db.jpg](#)
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[420d3930-9e84-40af-9b0d-56da81869304.png](#)
[60b3a279-d9fc-47c9-b75f-95fd8810f6e4.png](#)
[8409-8421_Parking_Plan.pdf](#)
[8421B_Space_Plan.pdf](#)

Here you go!

Mike Sowers, CCIM
612.598.0780

mike@commercialinvestorsgroup.com

This email was composed on a mobile phone. I appreciate your grace in excusing any errors.

----- Forwarded message -----

From: **Rebekah Buck** <Rebekah@suntide.com>
Date: Tue, Sep 7, 2021, 4:46 PM
Subject: RE: Spring Lake Park - application for Shashe Market
To: Mike Sowers <mike@commercialinvestorsgroup.com>
Cc: James Smith <james@commercialinvestorsgroup.com>

Attached are Parking and 8421B plans along with notes below in Green. Parcel 8421 has 11 parking spaces and Center Drive Holdings owned properties have a total of 40 parking stalls.

- Total square feet in the building. **Parcel 8421 has 6,930 RSF**
- Square feet of space being leased to Shashe Market. **Tenant is taking entire 8421B (Front and Back) totaling 3,510 RSF**
- Total parking spaces on site **There are 11 parking stall on Parcel 8421. Center Drive Holdings owned properties has 40 stalls.**
- Number of parking spaces reserved for Cargreen and the other businesses **11 Parcel stalls shared with one tenant in 8421A. 8421B prorated share of Center Drive Holding owned stalls is 17.71% or 7 stalls.**
- This information is needed to ensure that there is adequate parking for all the activities on site.

Let me know if you would like me to send this information to the tenant and Lauren Walburg.

Rebekah Buck | Property Manager

Suntide Commercial Realty, Inc.

o [651-603-0321](tel:651-603-0321) | **d** [651-209-9610](tel:651-209-9610) | **c** [612-481-8653](tel:612-481-8653)

To:	Planning Commission City of Spring Lake Park	From:	Lauren Walburg Stantec
File:	HLP Construction LLC – Conditional Use Permit	Date:	September 27, 2021

Re: HLP Construction LLC CUP | 8375 Sunset Road NE

BACKGROUND

HLP Construction LLC currently operates a construction siding business at 8375 Sunset Road NE. The applicant proposes to open an auto repair and auto sale business for their company vehicles. The property is guided Commercial/Industrial and zoned I-1 Light Industrial. The siding business, categorized as light manufacturing/building materials sales and storage, is a permitted use within the I-1. The proposed auto repair use is allowed as a conditional use in the light industrial district, and automobile sales are not permitted in the district.

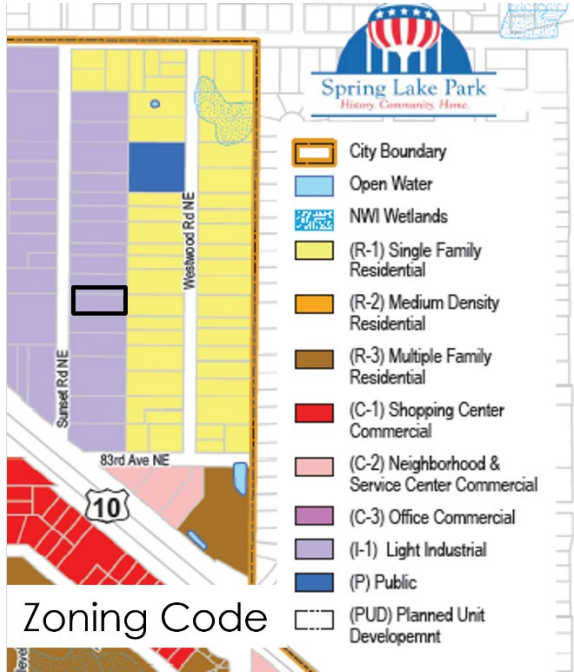
The site is located on the east side of Sunset Road NE and north west of the County Highway 10/Central Avenue NE interchange in the industrial park. The site is accessible by Sunset Road NE and the adjacent uses are single-family residential to the east, Aggressive Industries to the south, and industrial uses to the west and north.



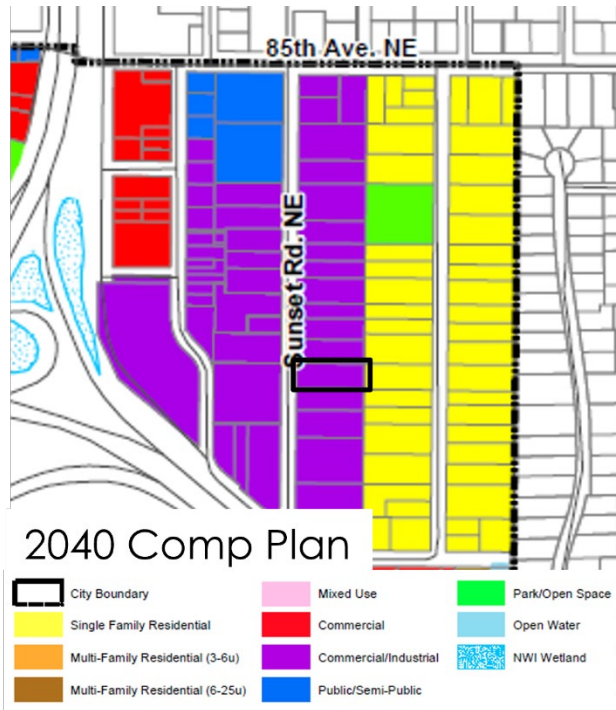
PLANNING ISSUES DISCUSSION

- 1) **Comprehensive Plan and Zoning.** The property is guided Commercial/Industrial in the 2040 Comprehensive Plan. The zoning is I-1: Light Industrial which is intended to provide employment opportunities and to group certain uses in locations accessible to highways for the safe and effective movement of raw materials, finished products and employees.

Reference: HLP Construction LLC CUP | 8375 Sunset Road NE



Zoning: I-1 Light Industrial



Land Use Guidance: Commercial/Industrial in 2040 Comprehensive Plan

Reference: HLP Construction LLC CUP | 8375 Sunset Road NE

Requirements for property in the I-1 zoning district include:

- If any yards are to be landscaped, they shall be landscaped attractively with lawns, trees, shrubs, and the like. Any areas left in a natural state shall be properly maintained in a sightly and well-kept condition (§153.058).
- Where any business or industrial use (i.e., structure, parking or storage) abuts a residential zone or use, such business or industry shall provide a buffer yard and screening along the boundary of the residential property. The buffer area and screening shall also be provided where a business or industry is across the street from a residential zone or use, but not on that side of a business or industry considered to be the front as defined by the city. (§153.064)
- All materials, supplies, merchandise, or other similar matter not on display for direct sale, rental, or lease to the ultimate consumer or user shall be stored within a completely enclosed building within the commercial and industrial districts or within the confines of an opaque wall or fence not less than six feet high. (§153.066)
- Performance standards apply to buildings within the I-1 Industrial district, as guided in §153.100. These standards regulate noise, odor, exterior lighting, glare, vibration, fumes and gases, smoke, dust, hazards, and visual impacts. The site plan review process implements these regulations to ensure that development is compatible with neighboring properties and that negative external impacts are minimized.

- 2) **Application Request.** Because auto repair is a conditional use within the I-1 district, the City can attach reasonable conditions to the permit to ensure the use is not harmful to neighboring properties or the community. Although the applicant is also requesting to sell vehicles at the property, auto sale is not currently a permitted use within the I-1 district, so that use is not being considered at this time. The applicant is not proposing any changes to the existing building or lot at this time, although has said that changes to the building to improve storage may be necessary in the future. If changes to the building or site are made in the future, the Planning Commission may want to revisit the conditional use permit at that time to ensure compliance.

Currently, the property also is being used for outdoor storage of materials and vehicles. The building inspector has informed the applicant that to receive a Certificate of Occupancy and comply with City regulations, the outdoor storage will need to be fenced for screening to adjacent properties. The property also abuts a residential zone to the east, where the applicant will be required to provide a buffer yard and screening along the boundary of the residential property. The applicant will need to work with the City Planner to ensure screening and buffering to residential uses is adequate.

Similar to other auto repair uses, the applicant proposes to conduct maintenance inside their building. The Planning Commission could also consider conditions regarding hours of operation and noise to surrounding properties. The parking lot is unstriped and relatively informal, so calculating parking spaces available is challenging. The applicant has stated that they currently have two employees working at the property, although this may increase should the auto repair use be approved. Even with increased employees, the applicant appears to have sufficient parking on-site to accommodate both their siding business and auto repair business.

- 3) **Conditional Use Permit.** Section §153.202 of the City of Spring Lake Park's zoning code outlines the requirements to approve a conditional use permit. This application has been analyzed with respect to those requirements, listed below. The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:

(a) The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;

Reference: HLP Construction LLC CUP | 8375 Sunset Road NE

The auto repair use is compatible with the industrial/commercial nature of the district. The ability to conduct maintenance on their own vehicles would provide a service to the business, and the neighborhood should the applicant choose to expand this business.

(b) The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity;

The applicant will be required to provide a buffer to the residential properties to the east and provide screening for any outdoor storage on their property. The Planning Commission should also consider conditions that set reasonable hours of operation and require work to be done inside to lessen the impact on neighboring properties.

(c) The proposed use will comply with the regulations specified in this chapter for the district in which the proposed use is to be located;

The proposed use is compliant with all applicable standards in the I-1 Light Industrial district.

(d) The use is one of the conditional uses specifically listed for the district in which it is to be located;

Auto repair is considered a Conditional Use in the I-1 Light Industrial district.

(e) The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity;

The applicant will be required to install the buffer and screening as discussed, and the applicant is not proposing any changes to the building or site itself. The Planning Commission could also consider conditions that lessen the effect on properties in the immediate vicinity.

(f) The use will not lower property values or impact scenic views in the surrounding area;

There is existing screening to the residential properties to the east and the applicant will be required to add additional screening for their outdoor storage, improving the visual appearance of the property.

(g) Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic;

This property can be accessed from Sunset Road NE, which is adequate to handle the minimal amount of traffic expected from this type of use.

(h) Sufficient off-street parking and loading space will be provided to serve the proposed use;

The applicant is supplying adequate parking for employees and the proposed auto repair business. The applicant has stated that currently two employees work at the property, which could increase with the addition of an auto repair business. While the parking lot is not striped, and it is difficult to assess how many parking spaces are available, an estimated 30 cars would fit on the property, which is more than adequate for the proposed uses.

(i) The use includes adequate protection for the natural drainage system and natural topography;

The applicant does not propose any changes to the property, therefore the natural drainage system and natural topography will not be affected.

Reference: HLP Construction LLC CUP | 8375 Sunset Road NE

(j) The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance; and

Measures should be put in place to ensure that noise is minimal from the auto repair business, however it will not require measures to mitigate odor, fumes, dust, noise, and vibrations.

(k) The proposed use will not stimulate growth incompatible with prevailing density standards.

The applicant is not proposing any residential units as part of the project.

RECOMMENDATIONS

At this point, planning staff has no recommendation for this request. Should the Planning Commission feel that they have enough information to make a recommendation to the City Council, the following conditions could be included. If the Planning Commission feels that more information is needed to make a recommendation to the City Council, the PC could consider continuing the request to their next meeting.

- 1) The applicant shall apply for and receive all applicable building permits prior to beginning work.
- 2) The applicant shall conduct auto repair work inside the building, with the garage door shut.
- 3) Hours of operation shall be 7am to 9pm seven days per week (or as modified by City Council).
- 4) Applicant shall provide screening to the residential properties to the east, including fencing or additional landscaping, to the satisfaction of the City Planner.
- 5) Outdoor storage shall be screened as soon as practical after the approval of the permit, and before a certificate of occupancy is issued for the property.
- 6) Should the applicant decide to improve the building, the conditional use permit and conditions will be revisited to ensure compliance.

FINDINGS OF FACT

We recommend the following findings of fact for approval of the Conditional Use Permit:

- 1) The proposed use is a reasonable use of the property, anticipated as a Conditional Use in the I-1 zoning district.
- 2) The use is screened from adjacent residential uses and additional screening will be added, therefore it is not expected to have a detrimental effect on surrounding properties or lower property values.
- 3) Adjacent roadways and the existing parking lot are adequate to handle anticipated traffic and vehicles using the site.
- 4) No changes are proposed to site grading and drainage and therefore stormwater management should be adequate as it exists now.
- 5) There are no unusual odors, fumes, dust, noise or vibration associated with the use, and all work will be conducted indoors.

Reference: HLP Construction LLC CUP | 8375 Sunset Road NE

- 6) No residential use is proposed on the site and therefore incompatible growth in that regard is not an issue with this use.



City of Spring Lake Park
 1301 81st Avenue NE
 Spring Lake Park, MN 55432
 763-784-6491 (p) 763-792-7257 (f)
info@slpmn.org

For Office Use Only

Case Number:
 Fee Paid: 8/11/21
 Received by: *NRB*
 Date Filed: 8/11/21
 Date Complete:
 Base Fee: \$500.00 Escrow: \$1,500.00

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input checked="" type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: <i>8375 Sunset Rd Spring Lake Park, MN 55432</i>		
Property Identification Number (PIN#):		Current Zoning: <i>Industrial</i>
Legal Description (Attach if necessary):		
APPLICANT INFORMATION		
Name: <i>Hector Lara Mondragon</i>		Business Name: <i>HLP Construction LLC</i>
Address: <i>161531 Reader Rd</i>		
City: <i>Eden Prairie</i>	State: <i>MN</i>	Zip Code: <i>55347</i>
Telephone: <i>763-742-6325</i>	Fax: <i>N/A</i>	E-mail: <i>hlpcnstruction@gmail.com</i>
Contact: <i>N/A</i>		Title: <i>@hotmail.com</i>
OWNER INFORMATION (if different from applicant)		
Name:		Business Name:
Address:		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:		Title:
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: <i>some material storage, parking lot for company vehicles.</i>		
Nature of Proposed Use: <i>to create more efficient and organized storage unit for the company.</i>		
Reason(s) to Approve Request: <i>It benefits our business. Would be more visually pleasing to surrounding neighboring businesses.</i>		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See City Code		

APPLICATION FEES AND EXPENSES:

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The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

E-mail hlpcconstructionllc@hotmail.com Fax _____ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application, including all four requirements of Minnesota Statute § 471.462, should I request a written estimate of consultant fees. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: Hector Lara Mandragon Date: 08/05/21
Owner: [Signature] Date: 08/05/21

**NOTE: Applications only accepted with ALL required support documents.
See City Code**

**City of Spring Lake Park
Conditional Use Permit Worksheet**

A conditional use permit cannot be approved unless the Planning and Zoning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. Yes because the proposed use will boost our business, when businesses in an area do well so does the community around it.

2. That the use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/improvements within the vicinity of the use. The proposed use will add efficient storage to empty space that will help the business store things neatly and organized, thus boosting the safety and improve the property.

3. That the proposed use will comply with the regulations specified in Chapter 153 of the Zoning Code. If it didn't we wouldn't be allowed to move forward with our use.

4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. There is zero possibility of that happening, our use will not interfere and does not involve other properties.

5. That the use will not lower property values or impact scenic views in the surrounding area. _____

Will not. matter of fact it will add to the scenic view because our use will be a quality build

6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. _____

Yes, there is not going to be a surge of traffic because that's not its intended use.

7. That the use includes adequate protection for the natural drainage system and natural topography. Yes

8. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. N/A

9. That the proposed use will not stimulate growth incompatible with prevailing density standards. _____

No it will not stimulate incompatible growth, because that is not the intended use.

Sent

For SLP.pdf



Hector,

The City received your application for a CUP on August 6, 2021. In reviewing the application, the escrow amount (\$1,500) and the CUP application fee (\$500) has not been paid. As such, pursuant to M.S. 15.99, the application is deemed incomplete. Please submit the \$1500 escrow amount and \$500 application fee at your earliest convenience. If we receive the application fee by September 2, 2021, we can proceed with the public hearing at the September 27, 2021 City Council meeting.

I have copied the Cities Administrator on this email. Dan Buchholtz is the contact for the CUP process.

Regards

Jeff Baker, CBO, CFI-II
Building Official/Fire Marshal
City of Spring Lake Park
1301 81st Ave NE
Spring Lake Park MN 55432
763-792-7212



www.slpark.org



Memorandum

To: Chair Hansen and Members of the City Council
From: Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer
Date: September 17, 2021
Subject: 2022 Street Improvement Project

The City Council has identified the following streets for reconstruction as part of the City's 2022 Street Improvement Project: Garfield Street, 80th Avenue, and Hayes Street. These streets are shown in the picture below.



These streets were constructed in 1986. They have held up well for their age. However, Public Works has invested significant time and resource over the past several years patching potholes on these streets. Based on this increased maintenance, staff has identified these streets for reconstruction.

The streets will be reconstructed within the existing curb lines. The curb and gutter is in relatively good shape and will not need to be reconstructed as part of this project. There will be some storm sewer work completed as part of this project.

The City Council plans to special assess a portion of the project cost

to the benefiting property owners in accordance with the 1998 Pavement Management Plan. As part of the special assessment process, the Planning Commission must make findings that the proposed project is consistent with the City's Comprehensive Plan.

Chapter 5 of the City's Comprehensive Plan addresses Transportation. The City Council adopted a policy to "continue regular maintenance of existing City streets, including reconstruction of older streets as necessary." This project is consistent with this policy.

Staff requests that the Planning Commission review the feasibility report and authorize the Chair of the Planning Commission make a written finding to the City Council that the proposed 2022 Street Improvement Project complies with the 2040 Comprehensive Plan.

If you have any questions regarding this memorandum, please don't hesitate to contact me at 763-784-6491.



City of Spring Lake Park Feasibility Report

2022 Street Improvements Project Hayes Avenue NE, 80th Avenue NE, and Garfield Avenue NE.

September 2021

Stantec Project No. 193805383



Stantec Consulting Services Inc.
733 Marquette Avenue, Suite 1000
Minneapolis MN 55402
Tel: (612) 712-2000

September 7, 2021

Honorable Mayor and City Council
City of Spring Lake Park
1301 81st Avenue NE
Spring Lake Park, MN 55432-2116

Re: Feasibility Report
2022 Street Improvements Project
Stantec Project No.: 193805383

Dear Mayor and Council:

Submitted herewith is our Report on providing improvements on:

- Hayes Avenue NE,
- 80th Avenue NE, and
- Garfield Avenue NE.

The streets are in the Spring Lake Estates neighborhood. The report was authorized by the City Council on July 19, 2021 (Resolution 21-27).

The Report includes a discussion of the existing condition of the streets, as well as a description of the improvements recommended for inclusion in this project. The improvements primarily include street rehabilitation and select repairs to the existing public storm sewer system.

A planning-level cost estimate for the recommended improvements is also included in the Report, along with a possible method of cost allocation for division of cost between the City, properties that will benefit from the improvements.

We would be pleased to meet with the City Council and Staff at any mutually convenient time to discuss the findings of this Report.

Sincerely,
STANTEC

Phil Gravel, City Engineer

I hereby certify that this report, plan, or specification was prepared by me or under my direct supervision and that I am a duly Registered Professional Engineer under the laws of the State of Minnesota.

Phil Gravel, P.E.

Date: September 7, 2021 Registration No. 19864

Table of Contents

Letter of Transmittal.....	1
Table of Contents.....	3
Executive Summary.....	4
Introduction and Existing Roadway Conditions.....	4
Roadway Design Considerations.....	5
Storm Sewer.....	5
Water Main.....	5
Sanitary Sewer.....	5
Permits.....	6
Project Schedule.....	6
Opinion of Probable Project Costs.....	7
Cost Allocation and Assessments.....	7
City Assessment Policy and Practice.....	7
Assessment Rate Assumptions for This Project.....	8
Assessment Rate Calculations.....	8
Proposed Assessment Rates.....	8
Area to be Assessed.....	8
Conclusions and Recommendations.....	9

Figure 1 – Project Location – Area To Be Assessed

Figure 2 – Typical Section

Appendix A – Opinions of Probable Project Costs

Appendix B – Preliminary Assessment Roll

Executive Summary

Since the late 1990's, the City of Spring Lake Park has undertaken a comprehensive city-wide street maintenance program. Street Improvement Projects were completed from 2002-2015. This report presents information for completing improvements on the remaining street segments in the Spring Lake Estates area of the City:

- Hayes Avenue NE,
- 80th Avenue NE, and
- Garfield Avenue NE.

The proposed improvements presented herein are similar to the improvements that were completed in 2014 and 2015. It is proposed to complete the project in one construction season.

The estimated total project cost is \$689,000. The estimated amount to be assessed is \$258,345. The net estimated City share of the project is \$430,655.

The proposed assessment rates presented herein are consistent with the city's assessment practice. The proposed assessment rates are similar to rates from previous projects when adjusted for inflation.

If the Council wishes to proceed with the project, the next steps would include preparation of a detailed financial analysis, sharing information with the public, and preparation of plans and specifications.

Introduction and Existing Roadway Conditions

In July of 2021, the City Council authorized preparation of a Feasibility Report to complete a street improvements project on the streets in the project area.

The streets in the project area are existing urban, bituminous roadways with concrete curb and gutter. The streets are 34-feet wide (back of curb to back of curb) and were originally constructed in 1984-1985. Per the original project plans, the streets were constructed with 4-inches of aggregate base and 3-inches of bituminous.

Following is a summary of the characteristics of the existing streets:

Street Width	34-feet (back of curb to back of curb)
Number of Driving Lanes	2 (one in each direction)
Parking	Allowable
Sidewalk	None

Based on a current inspection, the existing curb and gutter along the roads is generally in fair condition, with minor cracks and settlements. Areas of curb recommended for replacement as part of this project will primarily occur storm sewer catch basin locations. Various other spot curb repairs will be minor.

Storm sewer catch basin structures, located in the existing gutter, are in need of repair or replacement throughout the project. The storm sewer piping which connects the catch basins to the main storm sewer lines is generally in fair shape.

Roadway Design Considerations

STREET SECTION

According to available record documents, the existing bituminous section on the streets in the project area is 3.0-inches of bituminous over 4.0-inches of Class 5 aggregate. The subgrade is silty sand.

The proposed construction will include reclamation of the existing bituminous. This process involves grinding the existing bituminous into a granular material to use as a base for new bituminous. The proposed design section will include 4.0-inches of new bituminous over 8-inches of Class 5 or reclaimed material.

Storm Sewer

The existing storm sewer structures have been inspected by the Public Works Director to determine pipe conditions and identify necessary repairs.

The majority of the catch basins and leads throughout the project are deemed to be in acceptable condition. Some catch basin structures will be removed and replaced with new structures. All storm sewer structures will receive new castings and concrete adjustment rings.

Water Main

The existing water distribution system in the project area is deemed to be in an acceptable condition based on the history of past repairs in the neighborhood. The existing water main is 6-inches in diameter.

No significant improvements or extensions will be made to the water distribution system as part of this project. Work on the system will be limited to adjustment of valve boxes or hydrants as part of the street improvements, and the addition of gate valves in key locations determined by the Public Works Director.

Sanitary Sewer

Sanitary sewer mains exist along the length of the streets in the project area. The existing sewer mains are 8-inch diameter and are made Polyvinyl Chloride (PVC).

No extensions or upgrades to the sanitary sewer system are proposed as part of this project. Any sanitary sewer work included in this project would be only for the maintenance or repair of the existing sanitary sewer system.

Permits

To construct the proposed improvements discussed herein, it is anticipated the following permits will need to be obtained prior to the start of construction:

- Minnesota Pollution Control Agency: A NPDES General Storm Water Permit for Construction Activities will be required from the Minnesota Pollution Control Agency.
- Rice Creek Watershed District (RCWD):
Per the current RCWD rules, an erosion and sediment control plan will be required, but a Rule C permit should not be required:
[RCWD Rule C - Stormwater Management](#)
 - Construction activity other than Public Linear projects that results in 10,000 square feet or more of new or reconstructed impervious surface area. The following are exceptions to this threshold:
 - Mill, Reclamation & Overlay project areas.
 - Sidewalks and trails 10 feet wide or less with 5 feet of vegetated area down-gradient.
 - Development on an individual lot within a residential subdivision if it conforms to a development plan approved by the district.
 - Water quality treatment and rate control requirements do not apply to single family residential subdivisions creating 7 or fewer lots that establish no new public roadway or private roadway serving 3 or more lots.

Project Schedule

The following schedule outlines the major project tasks necessary to complete the project.

Authorize Preparation of Feasibility Report	July 19, 2021
Accept Feasibility Report and Call for Public Improvement Hearing	September 7, 2021
Public Improvement Hearing	October 4, 2021
Authorize Preparation of Plans and Specifications	October 18, 2021
City Council Approve Plans and Specifications	December 6, 2021
Open Bids	January 2022
Declare Costs to Be Assessed and Order Final Assessment Roll	February 7, 2022
Receive Assessment Roll and Order Assessment Hearing	February 22, 2022
Public Assessment Hearing	March 21, 2022
Award Contract (Award Bids)	March 21, 2022
Begin Construction	May 2022
Final Wear Course Paving	August 2022

Opinion of Probable Project Costs

An opinion of Probable Project Costs has been prepared for the proposed improvements based on current information, including an allowance for engineering, administrative fees, financing. Costs are not included for capitalized interest that will accrue during the construction period. It is anticipated that a separate financing analysis of the project will be prepared when funding and financing decisions are made.

A detailed list of the estimated improvement costs is included in an attachment to this report. The total estimated project cost is \$689,000. The project cost estimate will be updated and refined as part of the design process.

Cost Allocation and Assessments

The costs for the improvements will be recovered through a combination of assessment to the properties benefiting from this project and City funding.

CITY ASSESSMENT POLICY AND PRACTICE

The City Council adopted Resolution 98-48 on November 16, 1998 establishing a Pavement Management Policy. The City adopted an addendum to the policy in January 1999 to clarify construction issues. Resolution 98-48 established assessment policy to be applied to street improvement projects. This policy provides that commercial, industrial, school, and church properties shall pay 100 percent of the actual cost based on the front footage of the property adjacent to the streets being improved. For purposes of this report, public lands are treated in a manner identical to school and church. This includes City-owned properties.

In residential areas, the policy says that costs will be split, with approximately 45% being assigned to the residential properties, and approximately 55% being funded by the City. The assignment of costs to residential properties will be made based on the total number of equivalent units involved in the project. For this method, a single-family lot is assigned a value of one unit. Multiple housing lots (if any) are counted as proportions of equivalent single-family lots. Duplex units are counted at a rate of 0.8 single-family lots per unit, town homes are counted at a rate of 0.6 single-family lots per unit, and apartments are counted as 0.4 single-family lots per unit. No differentiation will be made between attached and detached town home units.

In accordance with the Pavement Management Policy, all costs of public utility improvements incurred on this project, including sanitary sewer, water main, and storm sewer, will be completely funded by the City, with no portion assessed.

Residential lots are only to be assessed for one street improvement project. Therefore, corner lots that have been assessed for a previous street improvement project are not assessed twice. No corner lots within the 2022 Street Improvements Project area have previously been assessed.

ASSESSMENT RATE ASSUMPTIONS FOR THIS PROJECT

The streets in the 2022 Street Improvements project are typical residential streets with no oversizing of the street width or street section included.

ASSESSMENT RATE CALCULATIONS

To determine the proposed assessment rate for this project, an Opinion of Probable Construction Costs estimate was prepared. The final assessment rate will be based on costs received as part of a competitive construction bid for the project.

The total estimated project cost is \$689,000. However, the city assessment practice does not include all project costs in the assessments (no storm, sanitary, or water main costs). The net assessable cost for the project is \$574,100. The City assessment practice calls for assessing 45% of the net assessable project cost.

45-percent of \$574,100 is \$258,345.

There are 76 assessable parcels in the project area. \$258,345 divided by 76 parcels equals \$3,399.28 per parcel. For purposes of this report and related discussions, the amount can be rounded to \$3,400 per parcel.

Estimated Per Parcel Assessment: $\$258,345 \div 76 \text{ parcels} = \$3,400 \text{ per parcel}$

PROPOSED ASSESSMENT RATES

Based on the assumptions and methodology presented above, the resulting estimated assessment rates for a standard residential street are shown below. An analysis of financing and funding options should be prepared based on the information contained herein.

PROPOSED ASSESSMENT RATES: 2022 STREET IMPROVEMENTS PROJECT

Unit Assessment Rate	\$3,400 / parcel
----------------------	------------------

ESTIMATED TOTAL ASSESSMENTS: 2022 STREET IMPROVEMENTS PROJECT

Per Parcel Assessments	<u>\$258,345</u>
Total Estimated Project Assessments	\$258,345

AREA TO BE ASSESSED

The area proposed to be assessed included the parcels adjacent to the improvements. The parcels are located in the Spring Lake Estates development. The area to be assessed is shown on Figure 1 of this report. The parcels are listed in the Preliminary Assessment Roll.

Conclusions and Recommendations

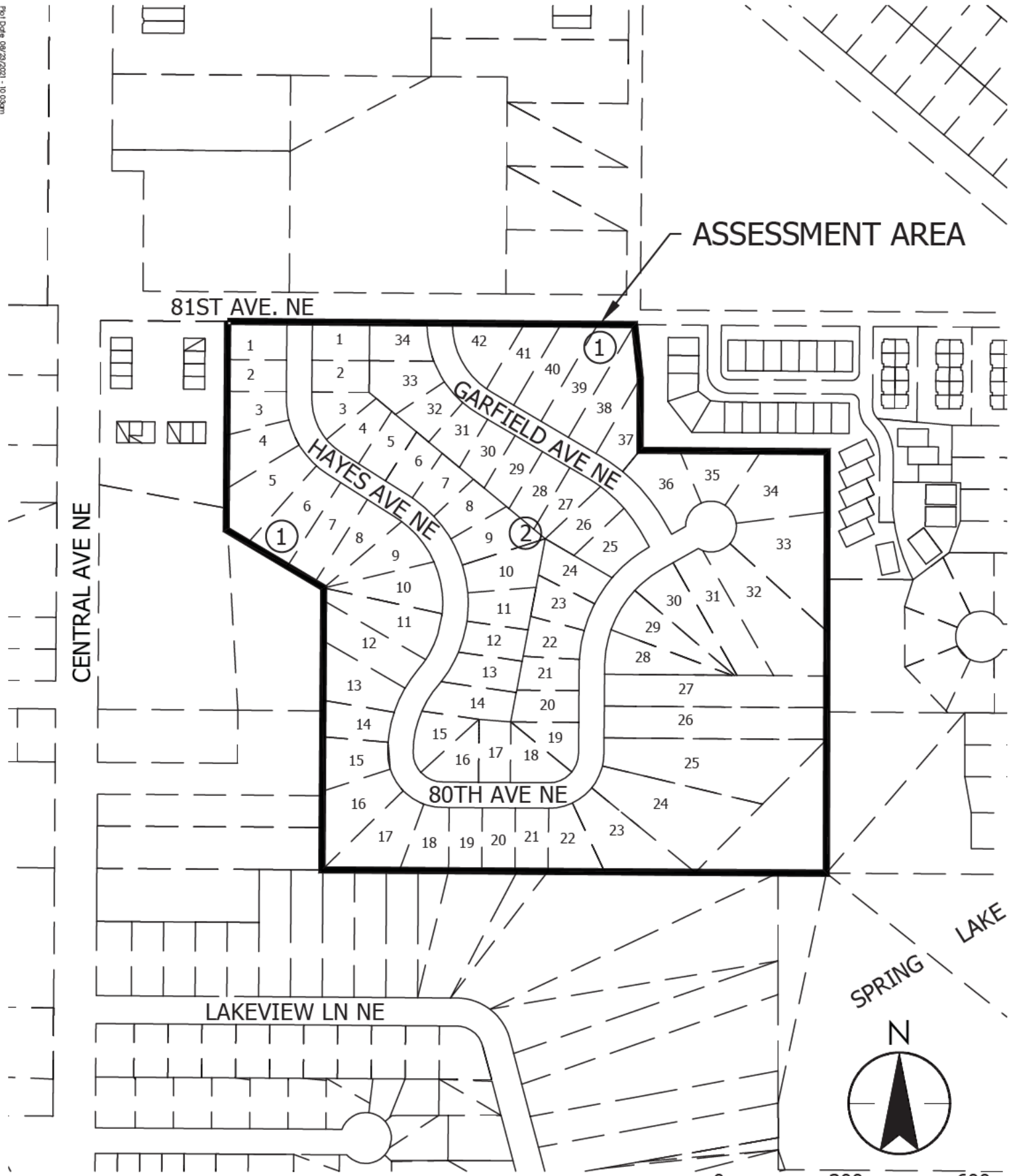
This Feasibility Report was ordered by the City Council based on the age and condition of streets included in the project. Through the course of this Report, it has been determined that a capital improvement project to reconstruct these streets should be undertaken. The project is necessary, cost effective and feasible.

A project schedule has been presented for completing the improvements in one construction season.

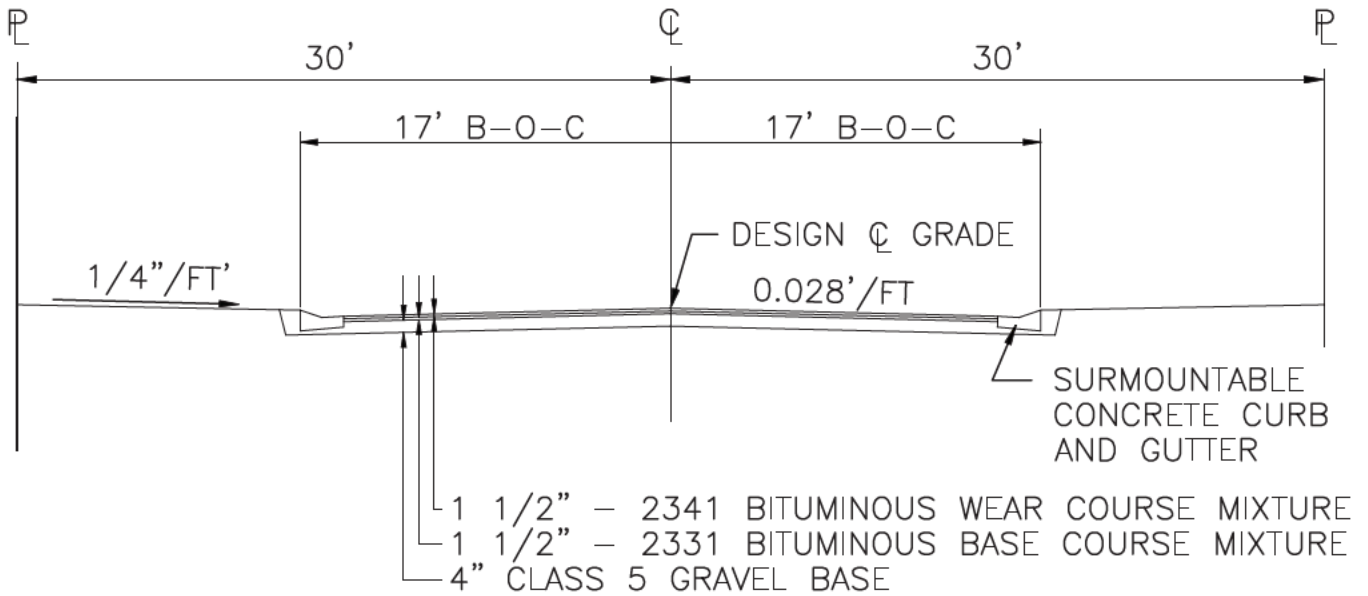
The following recommendations are presented for consideration by the Spring Lake Park City Council:

- A financing analysis for the project should be prepared.
- The City should accept this Report and adopt it as a guide for completion of the proposed improvements.
- The City should consider assessing a portion of the cost of this project to abutting properties in accordance with approved City policy.
- The City should hold informal neighborhood open house meetings to present the available information to the property owners along the streets included in the project.
- The City should schedule a public improvement hearing to receive input on the proposed improvements.
- Upon completion of the public hearing, if the City wishes to proceed, the City Council should formally order the project.

Plot Date 08/23/2021 - 10:08am
Project Name Spring Lake
User 193805383_XYZ
Xref 193805383_XYZ

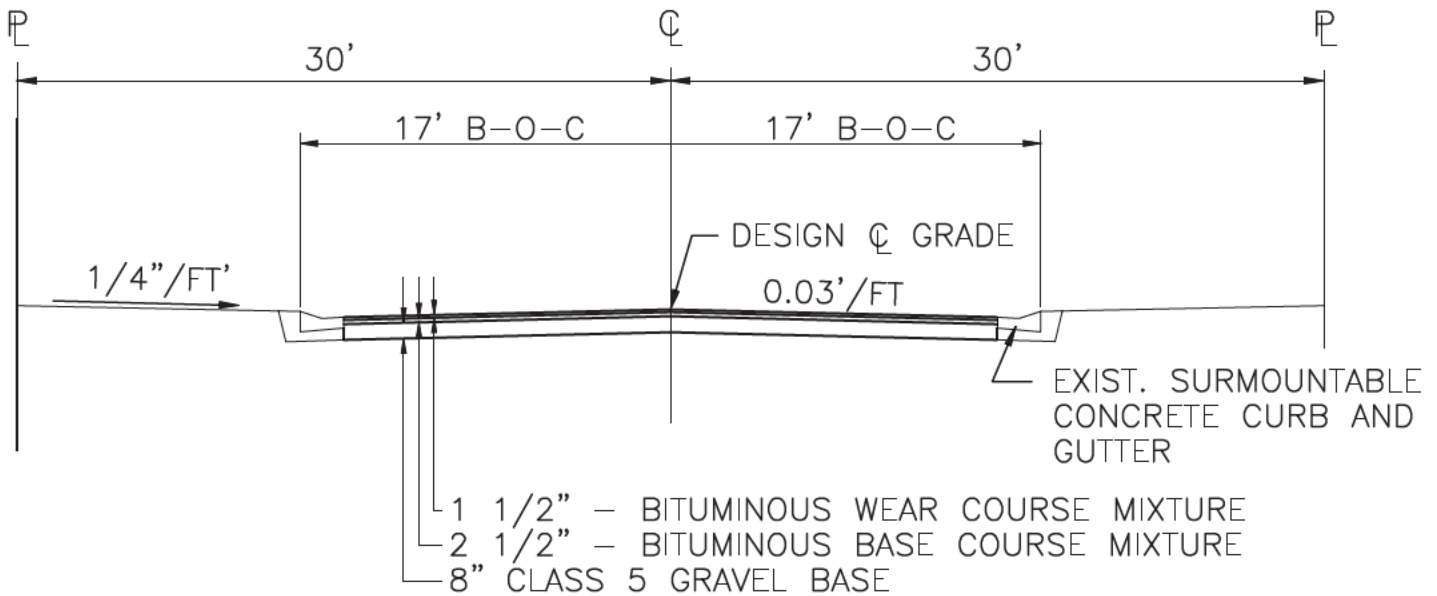


LOCATION PLAN - ASSESSMENT AREA



EXIST. TYPICAL SECTION

NO SCALE



PROPOSED TYPICAL SECTION

NO SCALE

TYPICAL SECTIONS



OPINION OF PROBABLE PROJECT COSTS
2022 STREET IMPROVEMENTS PROJECT

PROJECT NO. 193805383
SPRING LAKE PARK, MINNESOTA
September 2022

No.	Item	Units	Qty	Unit Price	Total Price
BASE BID					
1	MOBILIZATION	LS	1	\$ 25,000.00	\$ 25,000.00
2	TRAFFIC CONTROL	LS	1	\$ 5,000.00	\$ 5,000.00
3	EROSION AND SEDIMENT CONTROL	LS	1	\$ 10,000.00	\$ 10,000.00
4	REMOVE STRUCTURE (STORM)	EACH	2	\$ 1,500.00	\$ 3,000.00
5	REMOVE CURB AND GUTTER	LIN FT	650	\$ 20.00	\$ 13,000.00
6	REMOVE BITUMINOUS STREET PAVEMENT (P)	SQ FT	104,100	\$ 0.50	\$ 52,050.00
7	REMOVE BITUMINOUS NON-STREET PAVEMENT	SQ FT	150	\$ 1.00	\$ 150.00
8	SAWCUT BITUMINOUS PAVEMENT	LIN FT	30	\$ 5.00	\$ 150.00
9	ADJUST EXISTING VALVE BOX	EACH	5	\$ 300.00	\$ 1,500.00
10	ADD VALVE TO EXIST HYDRANT LEAD	LS	7	\$ 4,000.00	\$ 28,000.00
11	ADJUST EXISTING MANHOLE FRAME, CASTING, AND RINGS	EACH	25	\$ 1,000.00	\$ 25,000.00
12	ADJUST EXISTING CB WITH NEW CASTING, FRAME AND RINGS	EACH	5	\$ 1,000.00	\$ 5,000.00
13	COMMON EXCAVATION - STREETS (P)	CU YD	2850	\$ 15.00	\$ 42,750.00
14	LOAM TOPSOIL BORROW (LV)	CU YD	100	\$ 40.00	\$ 4,000.00
15	AGGREGATE BASE (CV) CLASS 5 (ROADWAY)	CU YD	2840	\$ 28.00	\$ 79,520.00
16	AGGREGATE BASE (CV) CLASS 5 (DRIVEWAY)	CU YD	5	\$ 100.00	\$ 500.00
17	TYPE SP 9.5 WEARING COURSE MIXTURE (3,B) - STREET	TON	1050	\$ 83.00	\$ 87,150.00
18	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,B) - STREET	TON	1750	\$ 70.00	\$ 122,500.00

No.	Item	Units	Qty	Unit Price	Total Price
19	TYPE SP 9.5 WEARING COURSE MIXTURE (3, B) - DRIVEWAY	TON	4	\$ 200.00	\$ 800.00
20	PREPARE SURFACE FOR WEAR PAVING	LS	1	\$ 5,000.00	\$ 5,000.00
21	TACK COAT	GAL	725	\$ 3.00	\$ 2,175.00
22	CONCRETE CURB & GUTTER DESIGN B618	LIN FT	650	\$ 25.00	\$ 16,250.00
23	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	60	\$ 100.00	\$ 6,000.00
24	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EACH	3	\$ 2,500.00	\$ 7,500.00
25	CONNECT TO EXISTING STORM SEWER	EACH	3	\$ 500.00	\$ 1,500.00
26	CONNECT TO EXISTING STORM STRUCTURE (CORE DRILL)	EACH	1	\$ 935.00	\$ 935.00
27	BULKHEAD EXISTING STORM SEWER	EACH	2	\$ 500.00	\$ 1,000.00
28	2-INCH THICK POLYSTYRENE INSULATION	SQ FT	80	\$ 4.00	\$ 320.00
29	SOD	SQ YD	650	\$ 5.00	\$ 3,250.00
	TOTAL ESTIMATED CONSTRUCTION				\$ 549,000.00
	CONTINGENCY				\$ 25,000.00
	LEGAL, ADMINISTRATIVE, AND ENGINEERING				\$ 115,000.00
	TOTAL ESTIMATED PROJECT COST				\$ 689,000.00

PRELIMINARY ASSESSMENT ROLL
2022 STREET IMPROVEMENTS PROJECT
 SPRING LAKE PARK, MINNESOTA
 September 2022

NAME	PARCEL ID#	ADDRESS	PROPOSED ASSESSMENT
PHAM TRUC B & HOA T	PIN: 01-30-24-42-0035	8017 GARFIELD ST NE	\$ 3,400.00
JOHNSON KURT E & JEAN M	PIN: 01-30-24-42-0055	8025 HAYES ST NE	\$ 3,400.00
NEHRING, ROBERT IVAN	PIN: 01-30-24-42-0052	8039 HAYES ST NE	\$ 3,400.00
BOHL, PETER J	PIN: 01-30-24-42-0023	8006 HAYES ST NE	\$ 3,400.00
HOWELL GREGORY G & D J KANIS-	PIN: 01-30-24-42-0074	8090 GARFIELD ST NE	\$ 3,400.00
BREISTER-BOLF, SUSAN	PIN: 01-30-24-42-0061	8008 GARFIELD ST NE	\$ 3,400.00
LATHE, KARI A	PIN: 01-30-24-42-0056	8019 HAYES ST NE	\$ 3,400.00
NOVY, BRADLEY J	PIN: 01-30-24-42-0028	1452 80TH AVE NE	\$ 3,400.00
BISCH, ROSE ANN	PIN: 01-30-24-42-0057	8015 HAYES ST NE	\$ 3,400.00
LOESCH WILLIAM & LEEANN	PIN: 01-30-24-42-0024	8000 HAYES ST NE	\$ 3,400.00
MOHAMOUD, HODON A	PIN: 01-30-24-42-0059	1455 80TH AVE NE	\$ 3,400.00
DIAZ, TANYA M	PIN: 01-30-24-42-0018	8036 HAYES ST NE	\$ 3,400.00
KHANGKYI, TSERING S	PIN: 01-30-24-42-0033	8005 GARFIELD ST NE	\$ 3,400.00
BOROWITZ, PETER	PIN: 01-30-24-42-0068	PO BOX 32341	\$ 3,400.00
EGGERT TRUSTEE, JOHN G	PIN: 01-30-24-41-0043	8065 GARFIELD ST NE	\$ 3,400.00
HYDEMAN, JOANN E	PIN: 01-30-24-42-0063	8020 GARFIELD ST NE	\$ 3,400.00
STIMPEL, RICHARD	PIN: 01-30-24-42-0044	8085 HAYES ST NE	\$ 3,400.00
HAUKOM, JOSHUA R	PIN: 01-30-24-41-0039	8041 GARFIELD ST NE	\$ 3,400.00
LAMPI, SHANE A	PIN: 01-30-24-42-0070	8072 GARFIELD ST NE	\$ 3,400.00
TEEKASINGH C & SINGH G	PIN: 01-30-24-42-0048	8049 HAYES ST NE	\$ 3,400.00
WESTLING, ROBIN K	PIN: 01-30-24-42-0011	8078 HAYES ST NE	\$ 3,400.00
CHESLEY RENAE E	PIN: 01-30-24-42-0019	8030 HAYES ST NE	\$ 3,400.00
MCMAHON TERRANCE & JERRI	PIN: 01-30-24-42-0038	8073 GARFIELD ST NE	\$ 3,400.00
GAASLAND, KRISTIAN PEDAR	PIN: 01-30-24-42-0062	8016 GARFIELD ST NE	\$ 3,400.00
POLKINGHORNE, JEANNETTE	PIN: 01-30-24-42-0064	8024 GARFIELD ST NE	\$ 3,400.00
POLAND GUY B & BEVERLY N	PIN: 01-30-24-42-0040	8085 GARFIELD ST NE	\$ 3,400.00
BANICK-OLIVEROS MEGAN ELIZABETH	PIN: 01-30-24-42-0041	8089 GARFIELD ST NE	\$ 3,400.00
RETKA, ANITA J	PIN: 01-30-24-42-0042	8097 GARFIELD ST NE	\$ 3,400.00
DOMINO MICHAEL L & DIANE C	PIN: 01-30-24-41-0040	8049 GARFIELD ST NE	\$ 3,400.00
SALO LORI J	PIN: 01-30-24-42-0069	8068 GARFIELD ST NE	\$ 3,400.00
AHMED, ABDI FARAH	PIN: 01-30-24-42-0014	8060 HAYES ST NE	\$ 3,400.00
LOEGERING JAMES M & SANDRA M	PIN: 01-30-24-42-0010	8084 HAYES ST NE	\$ 3,400.00
MARTIN, KENNETH L	PIN: 01-30-24-42-0067	8050 GARFIELD ST NE	\$ 3,400.00
WONG-ELDREDGE, LICHEEH	PIN: 01-30-24-42-0051	8041 HAYES ST NE	\$ 3,400.00
KHANGCHUNG, TINLEY C	PIN: 01-30-24-42-0013	8066 HAYES ST NE	\$ 3,400.00
DESHAW, KIMBERLY A	PIN: 01-30-24-42-0036	8021 GARFIELD ST NE	\$ 3,400.00
FOSSUM TIMOTHY & JANET	PIN: 01-30-24-41-0037	8033 GARFIELD ST NE	\$ 3,400.00
TRAVIS RONALD G & JANET L	PIN: 01-30-24-42-0075	8094 GARFIELD ST NE	\$ 3,400.00
LECY JOHN A & GALE E	PIN: 01-30-24-42-0050	8045 HAYES ST NE	\$ 3,400.00
HAFERMAN, JACOB	PIN: 01-30-24-42-0012	8072 HAYES ST NE	\$ 3,400.00
WORKMAN, TIMOTHY S	PIN: 01-30-24-42-0045	8075 HAYES ST NE	\$ 3,400.00
HAMMER, MARK F	PIN: 01-30-24-42-0025	1410 80TH AVE NE	\$ 3,400.00
ALHAMMOURI, SHARIF	PIN: 01-30-24-42-0060	1477 80TH AVE NE	\$ 3,400.00
SCAVO, ANTHONY M	PIN: 01-30-24-42-0022	8012 HAYES ST NE	\$ 3,400.00
LAWRENCE, BRIAN J	PIN: 01-30-24-42-0020	8024 HAYES ST NE	\$ 3,400.00
SHIMANSKI TRUSTEE, MARY LOU	PIN: 01-30-24-41-0036	8025 GARFIELD ST NE	\$ 3,400.00
POGORELY RICHARD & DOROTHY	PIN: 01-30-24-42-0053	8035 HAYES ST NE	\$ 3,400.00
OSTERLUND JENNIFER L & JAY P	PIN: 01-30-24-42-0016	8048 HAYES ST NE	\$ 3,400.00

RADISEWITZ, GWEN M	PIN: 01-30-24-42-0049	8047 HAYES ST NE	\$ 3,400.00
KOWALZEK JEFFREY & TAMMY	PIN: 01-30-24-42-0076	8098 GARFIELD ST NE	\$ 3,400.00
EYER, GLORIA	PIN: 01-30-24-42-0072	8086 GARFIELD ST NE	\$ 3,400.00
GAPINSKI, SANDRA KIM	PIN: 01-30-24-42-0030	1480 80TH AVE NE	\$ 3,400.00
CAFFARI, JULIE ANNE	PIN: 01-30-24-42-0054	8031 HAYES ST NE	\$ 3,400.00
EICHER, ROBERT W	PIN: 01-30-24-42-0015	8054 HAYES ST NE	\$ 3,400.00
HODET, MICHAEL PRESTON	PIN: 01-30-24-42-0071	8082 GARFIELD ST NE	\$ 3,400.00
LEE RYAN	PIN: 01-30-24-42-0029	1466 80TH AVE NE	\$ 3,400.00
LUECK, JENNIFER K	PIN: 01-30-24-42-0032	8001 GARFIELD ST NE	\$ 3,400.00
JOHNSON LEE R & NANCY J	PIN: 01-30-24-42-0058	1433 80TH AVE NE	\$ 3,400.00
MILLER TRUSTEE, SANDRA ANN	PIN: 01-30-24-41-0038	8037 GARFIELD ST NE	\$ 3,400.00
BOETTCHER TRUSTEE, DOREEN LOUISE	PIN: 01-30-24-42-0027	1438 80TH AVE NE	\$ 3,400.00
AALUND, STEVEN G	PIN: 01-30-24-42-0026	1424 80TH AVE NE	\$ 3,400.00
CALL JOSEPH RICHARD	PIN: 01-30-24-42-0034	8009 GARFIELD ST NE	\$ 3,400.00
SAINIO DANIEL	PIN: 01-30-24-42-0073	8088 GARFIELD ST NE	\$ 3,400.00
HARTSOOK JANICE J & GOTSCH P	PIN: 01-30-24-42-0046	8063 HAYES ST NE	\$ 3,400.00
WILLIAMS CLARE L & STEVEN B	PIN: 01-30-24-42-0037	8069 GARFIELD ST NE	\$ 3,400.00
MONSON-HOKENSON S W & L A	PIN: 01-30-24-42-0066	8030 GARFIELD ST NE	\$ 3,400.00
HAGEN PAMELA S	PIN: 01-30-24-42-0017	8042 HAYES ST NE	\$ 3,400.00
ELBARHAMTOSHI, JOULAN A	PIN: 01-30-24-41-0042	8057 GARFIELD ST NE	\$ 3,400.00
HAGEN, ASHLEY J	PIN: 01-30-24-42-0047	8055 HAYES ST NE	\$ 3,400.00
PUPO-QUIALA, WILLIAM	PIN: 01-30-24-42-0043	8091 HAYES ST NE	\$ 3,400.00
LARSON TRUSTEE, ROBYN F	PIN: 01-30-24-42-0031	1494 80TH AVE NE	\$ 3,400.00
DUFEK PATRICK A & LYNETTE J	PIN: 01-30-24-42-0021	8018 HAYES ST NE	\$ 3,400.00
DOLMA, YONTEN	PIN: 01-30-24-42-0065	8028 GARFIELD ST NE	\$ 3,400.00
WYATT, JACQUELINE R	PIN: 01-30-24-41-0041	8053 GARFIELD ST NE	\$ 3,400.00
JONES CHRISTINE	PIN: 01-30-24-42-0039	8081 GARFIELD ST NE	\$ 3,400.00
DENYES TRUSTEE, SHIRLEY	PIN: 01-30-24-42-0009	8090 HAYES ST NE	\$ 3,400.00

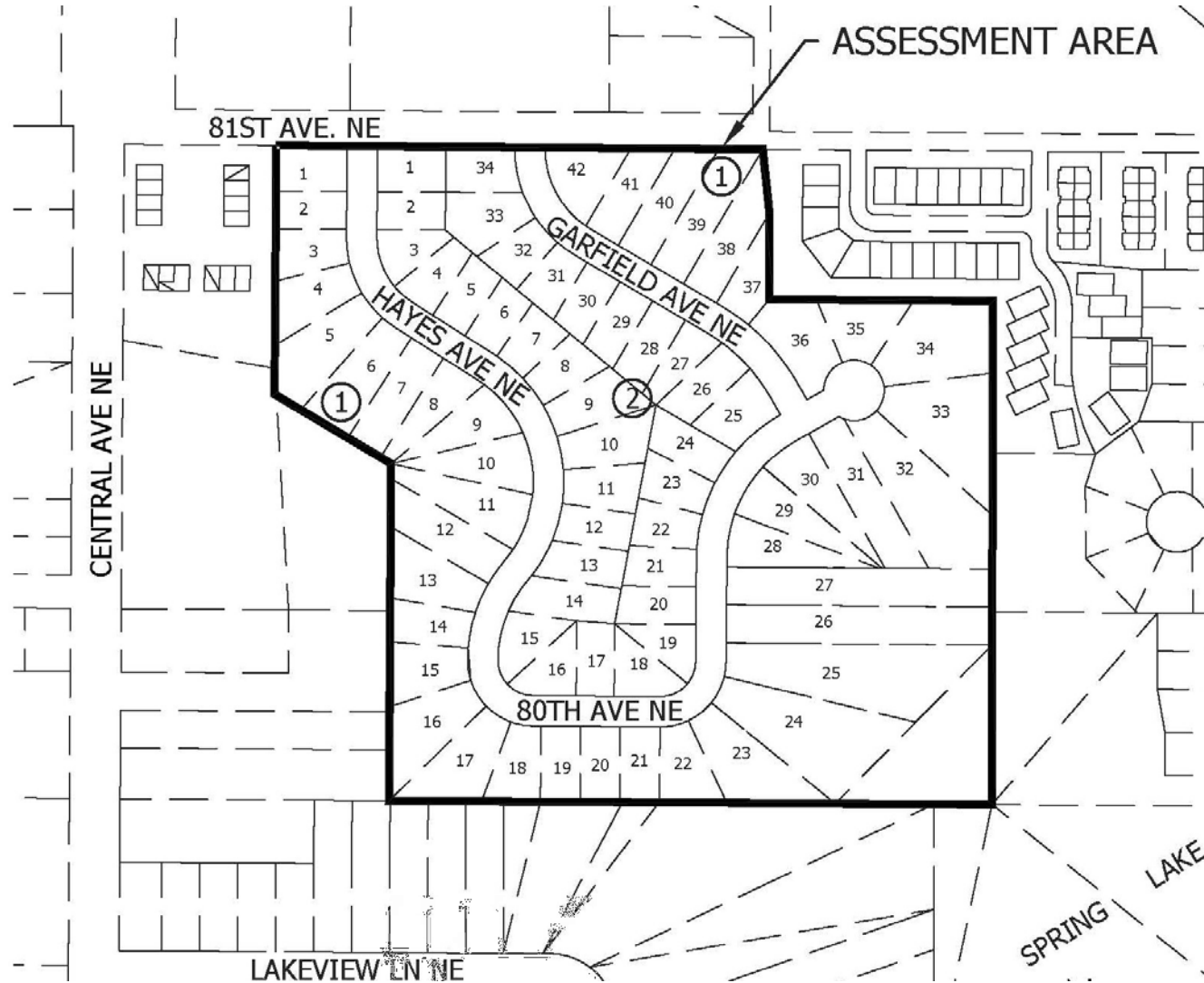
City of Spring Lake Park

2022 Street Improvements Project
Neighborhood Open House

September 13, 2021



Project Location



Existing Conditions – Some potholes & bituminous flaking

3

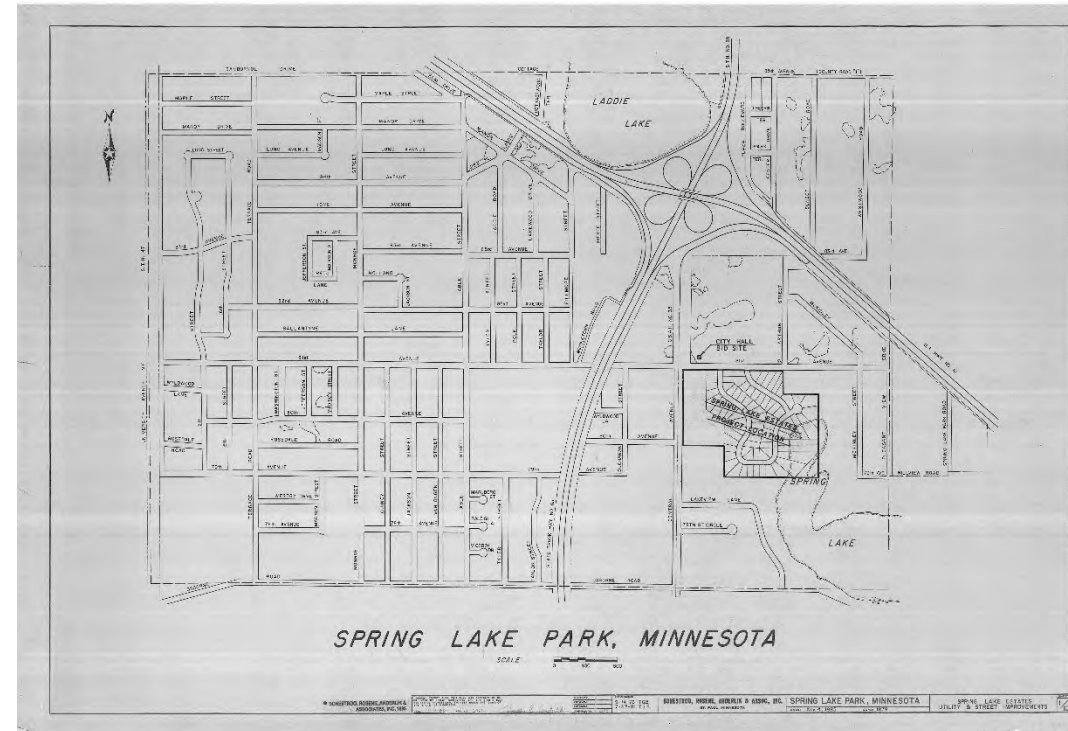


- Some potholes.
- Some cracking.
- Bituminous surface spalling/flaking.
- Ongoing patching required.
- Existing concrete curbing is generally in acceptable condition.
- Existing sanitary sewer and water main is in acceptable condition.
- Some storm sewer structure improvements are necessary.

Feasibility Report

4

- The proposed project is a continuation of the City's Pavement Management Policy that began in the 1990's (Resolution 98-48).
- Project area includes the Spring Lake Estates neighborhood.
 - Hayes Avenue NE,
 - 80th Avenue NE, and
 - Garfield Avenue NE.
- These streets originally constructed in 1984-85.
- Feasibility Report
 - ▣ Proposed Improvements
 - ▣ Opinion of Probable Construction Costs
 - ▣ Assessment Information
 - ▣ Schedule
 - ▣ Preliminary Assessment Roll



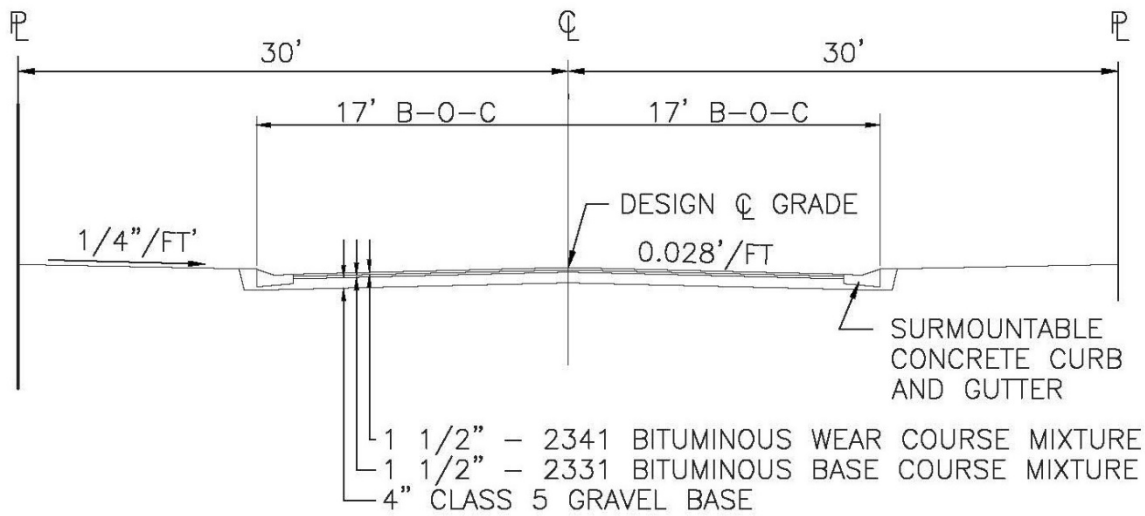
Project Components

5

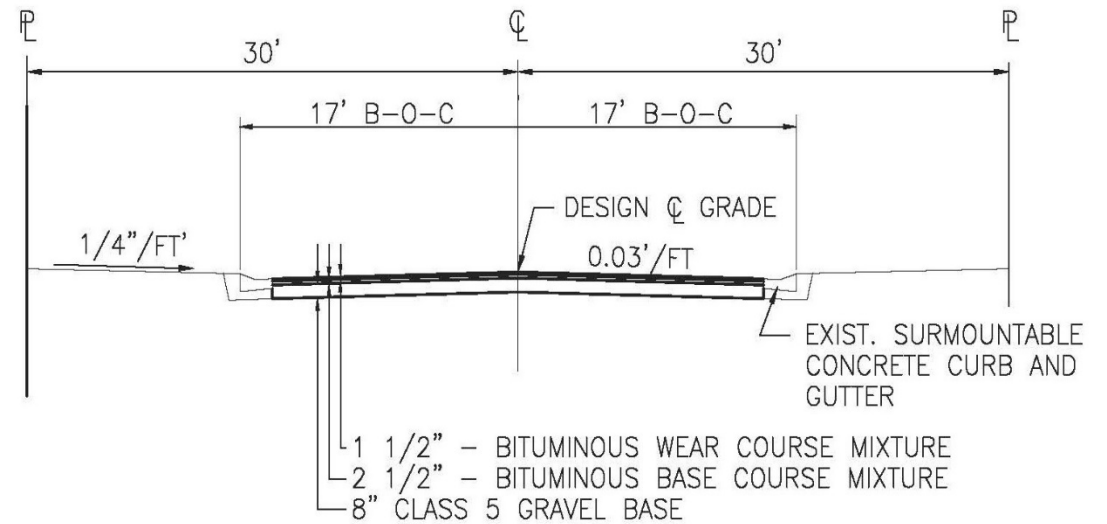
- Street Improvements
 - ▣ Reclaim Existing Bituminous to create Class 5 material.
 - ▣ Shape and compact reclaim material.
 - ▣ Place new bituminous surface.
- Storm Sewer Improvements
 - ▣ Replace some storm sewer structures.
 - ▣ Replace some pipe near #8068 and #8072 Garfield.
 - ▣ Replace structure castings, frames and concrete adjustment rings on all catch basins.
- Sanitary Sewer and Water Main Improvements
 - ▣ None proposed.



Typical Section – Reclaim & Overlay



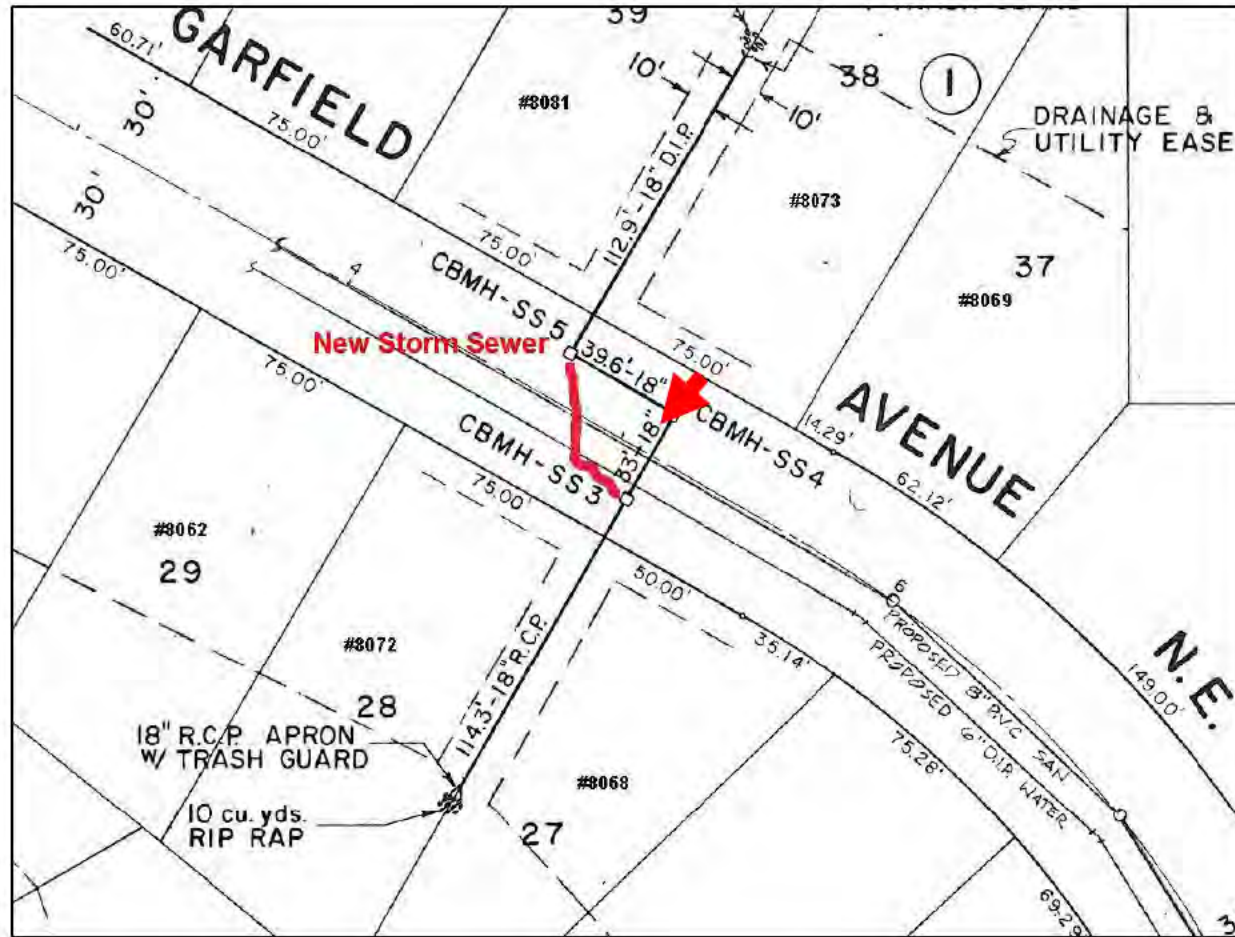
EXIST. TYPICAL SECTION
NO SCALE



PROPOSED TYPICAL SECTION
NO SCALE

Proposed Storm Sewer Improvements

7



Estimated Project Costs & Funding

8

- Estimated Total Project Cost
 - ▣ \$ 689,000

- Funding Sources
 - ▣ Street Fund and Utility Funds: \$430,655
 - ▣ Assessments: \$258,345

Assessments - CITY ASSESSMENT POLICY AND PRACTICE

CITY ASSESSMENT POLICY AND PRACTICE

The City Council adopted Resolution 98-48 on November 16, 1998 establishing a Pavement Management Policy. The City adopted an addendum to the policy in January 1999 to clarify construction issues. Resolution 98-48 established assessment policy to be applied to street improvement projects. This policy provides that commercial, industrial, school, and church properties shall pay 100 percent of the actual cost based on the front footage of the property adjacent to the streets being improved. For purposes of this report, public lands are treated in a manner identical to school and church. This includes City-owned properties.

In residential areas, the policy says that costs will be split, with approximately 45% being assigned to the residential properties, and approximately 55% being funded by the City. The assignment of costs to residential properties will be made based on the total number of equivalent units involved in the project. For this method, a single-family lot is assigned a value of one unit. Multiple housing lots (if any) are counted as proportions of equivalent single-family lots. Duplex units are counted at a rate of 0.8 single-family lots per unit, town homes are counted at a rate of 0.6 single-family lots per unit, and apartments are counted as 0.4 single-family lots per unit. No differentiation will be made between attached and detached town home units.

In accordance with the Pavement Management Policy, all costs of public utility improvements incurred on this project, including sanitary sewer, water main, and storm sewer, will be completely funded by the City, with no portion assessed.

Residential lots are only to be assessed for one street improvement project. Therefore, corner lots that have been assessed for a previous street improvement project are not assessed twice. No corner lots within the 2022 Street Improvements Project area have previously been assessed.

Estimated Assessments

ASSESSMENT RATE CALCULATIONS

The total estimated project cost is \$689,000. However, the city assessment practice does not include all project costs in the assessments (no storm, sanitary, or water main costs). The net assessable cost for the project is \$574,100. The City assessment practice calls for assessing 45% of the net assessable project cost.

45-percent of \$574,100 is \$258,345.

There are 76 assessable parcels in the project area. \$258,345 divided by 76 parcels equals \$3,399.28 per parcel. For purposes of this report and related discussions, the amount can be rounded to \$3,400 per parcel.

Estimated Per Parcel Assessment: $\$258,345 \div 76 \text{ parcels} = \$3,400 \text{ per parcel}$

Project Schedule – Spring Lake Park 2022 Street Improvements

Authorize Feasibility Report Preparation	July 19, 2021
Order Public Improvement Hearing	September 7, 2021
Public Improvement Hearing	October 4, 2021
Approve Construction Plans / Authorize Bidding	December 6, 2021
Receive Bids	January 27, 2022
Public Assessment Hearing	March 21, 2022
Council Award Construction Bids	March 21, 2022
Begin Construction	May 2022

Conclusion - Questions from residents

Questions?

2022 Street Improvement Project Open House

The City of Spring Lake Park invites residents and property owners within the project area to an Open House to learn more about the 2022 Street Improvement Project.

Staff will provide an overview of the project, answer questions and take public comment.

The 2022 Street Improvement Project will reconstruct Garfield Street, Hayes Street and 80th Avenue. Repairs to curb, gutter, storm sewer catch basins and utility manholes will be performed as needed.



Estimated Project Timeline

Start Date: May 2022
Completion Date: July 2022

Project Funding

The street reconstruction will be funded through a combination of City funds (55%) and special assessments (45%). Storm sewer repairs will be funded entirely by the City.

Estimated Assessments

Preliminary estimate of assessment is \$3,000-\$3,500 per parcel. The final assessment will be based on awarded low bid.

If you have any questions regarding the project and are unable to attend the open house, please contact Public Works Director Terry Randall or Administrator, Clerk/Treasurer Daniel Buchholtz at 763-784-6491. Additional information will be posted on the City's website — www.slpmn.org.



Monday, September 13, 2021

Open House - 5:30-7:00pm
Presentation - 6:00pm

Spring Lake Park City Hall
1301 81st Avenue NE



September 28, 2021

Robert Nelson
Mayor
City of Spring Lake Park
1301 81st Avenue NE
Spring Lake Park, MN 55432

Dear Mayor Nelson:

The Spring Lake Park Planning Commission, at the request of the City Council, reviewed the 2022 Street Improvement Project at its September 27, 2021 meeting.

The Planning Commission reviewed the 2022 Street Improvement Project for conformance to the City's 2040 Comprehensive Plan, as required under M.S. 462.356. The Planning Commission finds that the proposed street project complies with the City's Comprehensive Plan's Transportation policy that the City "continue regular maintenance of existing City streets, including reconstruction of older streets as necessary." The Planning Commission concurs with the Feasibility Report that the project is necessary, cost-effective and feasible.

If you have any questions regarding the Planning Commission's review of the 2022 Street Improvement Project, please don't hesitate to contact Zoning Administrator Daniel Buchholtz at 763-784-6491.

Sincerely,

Hans Hansen
Chair, Planning Commission

cc: Daniel Buchholtz, Zoning Administrator
Spring Lake Park City Council

