



PLANNING COMMISSION AGENDA
MONDAY, MARCH 28, 2022
CITY HALL at 7:00 PM

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **APPROVAL OF MINUTES**
 - A. Approval of Minutes - January 24, 2022
5. **PUBLIC HEARING**
 - A. Conditional Use Permit - Mister Car Wash - 8188/8200 Hwy 65 NE
 - B. Preliminary Plat - Middletown 65 Addition (Mister Car Wash)
6. **OTHER**
7. **ADJOURN**

**SEE REVERSE SIDE FOR RULES FOR PUBLIC HEARINGS AND
DISCUSSION FROM THE FLOOR**

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 1301 81st Avenue NE, Spring Lake Park, MN 55432. Ph.763-784-6491 at least 48 hours in advance.

CITY OF SPRING LAKE PARK RULES FOR PUBLIC HEARINGS

Public hearings are formal proceedings giving citizens an opportunity to express their concerns on a specific issue. Some issues on which the Planning Commission is required to hold public hearings include subdivisions, zoning changes, conditional use permits, and ordinance amendments.

The following format will be used to conduct a public hearing:

1. Planning Commission Chair opens the hearing.
2. City staff describes the proposal.
3. The applicant has an opportunity to further explain the proposal and respond to questions/ comments on the proposal from the Planning Commissioners.
4. Citizens will then have the opportunity to ask questions and/or comment on the proposed project.
 - a. Those wishing to comment are asked to limit their comments to 3 minutes
 - b. A group of residents wishing to have their collective opinions voiced may elect a spokesperson to represent them. The spokesperson may have a maximum of 10 minutes to express the views of the group.
 - c. People wishing to comment are asked to keep their comments succinct and specific.
5. After everyone wishing to address the subject of the hearing has done so, the Planning Commission Chair will close the hearing.
6. Planning Commissioners will have an additional opportunity to comment and ask questions on the issue.
7. The Planning Commission will make a formal recommendation on the issue to the City Council or defer decision pending additional information.

OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park Planning Commission was held on January 24, 2022, at the City Hall, at 7:00 PM

1. CALL TO ORDER

Chair Hansen called the meeting to order at 7:00 PM.

2. ROLL CALL

MEMBERS PRESENT

Chair Hans Hansen
Commissioner Doug Eischens
Commissioner Jeff Bernhagen
Commissioner Rick Cobbs
Commissioner Eric Julien

STAFF PRESENT

Building Official Baker, City Planner Lauren Wahlberg, Administrator Buchholtz

OTHERS PRESENT

Ryan and Kelsey Hollihan, 518 Rosedale Road NE
Marty Fischer, Premier Commercial Properties
Reverend Zuku John Yalley, Jesus Christ International Ministry

3. PLEDGE OF ALLEGIANCE

4. ELECT OFFICERS

A. Chair

Motion made by Commissioner Eischens, seconded by Commissioner Julien, to elect Commissioner Hansen as Chair for 2022.

Voting Yea: Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Abstain: Chair Hansen. Motion carried.

B. Vice Chair

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to elect Commissioner Bernhagen as Vice Chair for 2022.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

5. APPROVAL OF MINUTES

A. Approval of Minutes - October 25, 2021

Motion made by Commissioner Bernhagen, seconded by Commissioner Julien, to approve the minutes from the October 25, 2021 Planning Commission meeting.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

6. PUBLIC HEARING

A. Conditional Use Permit for Assembly Use - Jesus Christ International Ministry, 1440 85th Ave NE

Planner Wahlberg provided an overview of the conditional use permit request from Jesus Christ International Ministry. She stated that the applicant is seeking to lease space in the 1440-1450 85th Avenue NE for a church, which is classified as an assembly use in the Zoning Code. She noted that the Zoning Code classifies assembly uses in the C-1 zoning district as a conditional use.

Planner Wahlberg said that the church will use 4,000 square feet of leased space for a preaching/sanctuary space, restrooms, educational space and administrative offices. She noted that the applicant stated that 22 people will be in the worship area and 10 children in the education area at any one time. She stated the church predicts a maximum parking need of 7 cars on Sunday mornings.

Planner Wahlberg stated that she has reviewed the application and is recommending approval of the application, with the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional

Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.

Rev. Zuku John Yalley, head pastor of Jesus Christ International Ministries (J-CIM), stated that they plan to start a small ministry in Spring Lake Park. He stated that J-CIM plans to deliver a service to the community, providing support to people in areas such as hunger, emotional stress, hopelessness, confusion, sickness, joblessness and homelessness.

Administrator Buchholtz inquired about growth plans for the congregation. Rev. Yalley stated that he is unsure how much the church will grow over the 4-year term of the lease. He stated that if the church outgrew the facility, they would look for a more permanent home.

Commissioner Eischens inquired about code requirements. Building Official Baker noted that, should the CUP be approved, the applicant will need to apply for a Certificate of Occupancy for the site, which could result in improvements to bring the site up to current Building and Accessibility Codes. Administrator Buchholtz noted that while these could be significant and could result in the applicant not moving forward, the Commission is evaluating the CUP application based on zoning ordinance requirements.

Commissioner Bernhagen inquired about parking lot striping. Administrator Buchholtz noted that parking lot striping can be included as a condition of approval.

Chair Hansen opened the public hearing at 7:45 pm. Hearing no public input, Chair Hansen closed the public hearing at 7:46 pm.

Motion made by Commissioner Cobbs, seconded by Commissioner Julien to recommend approval of the conditional use permit to J-CIM for an assembly use at 1440 85th Avenue NE, subject to the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.

5. All parking lot areas shall be striped in accordance with current Code standards.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

B. Variance from Impervious Surface Maximum and Maximum Percentage of Lot Coverage for Structures Regulations for Backyard Pool - Ryan & Kelsey Hollihan, 518 Rosedale Road NE

Administrator Buchholtz provided an overview of the variance application. He stated that Ryan and Kelsey Hollihan are requesting a variance from two sections of the City Code to permit the construction of a 16 foot by 32 foot in-ground swimming pool in their backyard for aquatic therapy purposes. He stated that the pool addition would require a variance from Section 16.20.090 of the Zoning Code which limits impervious surface coverage to 50% of any zoning lot in the R-1 district and from Appendix E of the Zoning Code limiting the maximum percentage of lot coverage for all structures in the R-1 district to 35%.

Administrator Buchholtz stated that staff's review determined the pool will not alter the character of the neighborhood as in-ground pools are found in the community and that the pool will be screened by existing fencing on the south and west property lines, the home to the north and the accessory building to the east. Administrator Buchholtz did note that concerns about excess impervious surface are valid and stormwater runoff from the additional impervious surface would need to be addressed.

Administrator Buchholtz stated that if the Planning Commission wished to recommend approval, it could do so with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. [Optional] Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool.

Kelsey Hollihan, 518 Rosedale Road NE, stated that she has been facing significant mobility issues resulting from nerve damage in her leg. She stated that she has exhausted surgical options to address the nerve damage and insurance benefits for off-site aquatic therapy. She stated that she had a letter from her surgeon strongly supporting the construction of the swimming pool.

Commissioner Julien inquired if there was a way to reduce the amount of impervious surface on the lot, including the possibility of replacing concrete with pervious pavers or an alternative solution. Ryan Hollihan, 518 Rosedale Road NE, stated that they could explore the installation of pervious pavers to replace concrete on the west side of the existing accessory building.

Chair Hansen opened the public hearing at 8:10 pm. Hearing no public comment, Chair Hansen closed the public hearing at 8:11 pm.

Commissioner Bernhagen expressed his opinion that the applicant has a number of structures and hard surfaces on the property already and that the addition of the swimming pool would be out of character for the neighbor and have negative stormwater impacts on neighboring properties and the City's stormwater collection system. Eischens agreed, stating he would like the applicant to make changes to the property to reduce the number of impervious surfaces and structures to meet the existing code.

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to approve the variance at 518 Rosedale Road NE with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool. Rain garden design and location shall be reviewed by the City Engineer prior to construction.
5. Applicant shall remove the concrete walkway located on the west side of the existing accessory building and replace it with pervious pavers or other pervious surface to reduce storm water runoff.

Voting Yea: Chairperson Hansen, Commissioner Cobbs, Commissioner Julien. Voting Nay: Commissioner Eischens, Commissioner Bernhagen. Motion carried.

7. OTHER

Administrator Buchholtz reported that there is an opening on the Planning Commission. He requested that any residents interested in serving on the Commission to please contact City Hall for an application.

8. ADJOURN

Motion made by Commissioner Eischens, seconded by Commissioner Bernhagen, to adjourn.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

Meeting adjourned at 8:20pm.

To: Spring Lake Park Planning Commission From: Phil Carlson, AICP, Stantec

City of Spring Lake Park

File: Mr. Car Wash Date: March 28, 2022
 8200 Central Ave NE
 Applicant: Brittney Whitley, CWP West Corp
 Owners: Tam Le, Jin Yuan

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

INTRODUCTION

Mr. Car Wash proposes to build a new car wash facility at 8200 Central Avenue NE, on the parcels now occupied by Taco Lindo restaurant and Hope’s Chinese Buffet. The property address is Central Avenue, but its access is from Middletown Road, the frontage road for Central Avenue/Highway 65.

Surrounding uses are commercial uses fronting Highway 65 both north and south of the site, with the Cottages and Middletown townhouse residential uses west across Middletown Road. Across Highway 65 to the east is the HyVee Foods store and gas station.

The property is guided Commercial and zoned C-1 Shopping Center, shown on the maps below. A car wash is a conditional use in the C-1 district, noted in the list of uses in the code as “Auto and marine; service, parts, repair and wash”. They are also applying to plat the property.



2040 Land Use Plan



-  City Boundary
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Mixed Use
-  Commercial
-  Commercial/Industrial
-  Public/Semi-Public

Zoning Map



-  City Boundary
-  Open Water
-  NWI Wetlands
-  (R-1) Single Family Residential
-  (R-2) Medium Density Residential
-  (R-3) Multiple Family Residential
-  (C-1) Shopping Center Commercial
-  (C-2) Neighborhood & Service Center Commercial
-  (C-3) Office Commercial
-  (I-1) Light Industrial
-  (P) Public
-  (PUD) Planned Unit Development

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

SITE ISSUES – CONDITIONAL USE PERMIT

The Zoning Code allows the City to impose reasonable conditions on certain uses to address issues that may impact surrounding properties or public health, safety, and welfare. Conditional uses are considered *permitted uses to which reasonable conditions may be attached based on findings of fact*. The assumption is that the use is allowed and the City needs to articulate the conditions under which the use might be approved, rather than deny it because of potential conditions that do not yet exist. If it appears there is no reasonable way to accommodate the use in this location, the City can deny the use.

Site Operation & Access

Car wash customers would enter off Middletown Road at the SW corner of the site, through the four-lane automated pay stations, then turn into the long, enclosed car wash building. Much of the wash operation is automated but there are attendants on duty for detailing, drying, interior vacuuming and cleaning, etc. Exiting the car wash at the north end of the building, customers can either go straight out the north end of the site, turning right to get directly onto Highway 65, or turn left within the site and get back to the parking area in front of the building where there are vacuums at each parking space for customers. Exiting from the parking/vacuum area is one-way out onto Middletown Road. The site plan is illustrated on the next page.

Within the building there are also restrooms for customers, office space and service functions for staff, and mechanical equipment. The pay station canopy is a separate structure apart from the main building. There are two small, enclosed structures for the vacuum equipment, one on each end of the parking area with underground tubing connecting to each vacuum station. Next to the south vacuum equipment enclosure is the trash dumpster enclosure.

Traffic

The access points described above are the three driveways for the site: one-way in at the SW corner of the site from Middletown Road, one-way out next to it from the parking/vacuum area, also onto Middletown Road, and one-way out at the NE corner of the site. It will be important to have clear signage so that traffic can be managed safely.

The current two properties have four driveways onto Middletown Road between them – separate entrance and exit driveways for Taco Lindo on the west side of the site, a two-way driveway for Hope's Chinese Buffet on the west side of the site, and a two-way driveway out the north end of the site for Hope's. The proposed Mr. Car Wash plan would replace these four with the three described above. Public works and engineering recommends that the north access drive, proposed as one-way out, be signed to only allow right turns onto Highway 65, and not allow traffic to go straight onto northbound Middletown Road. The existing and proposed driveways are illustrated on the site plan on the next page.

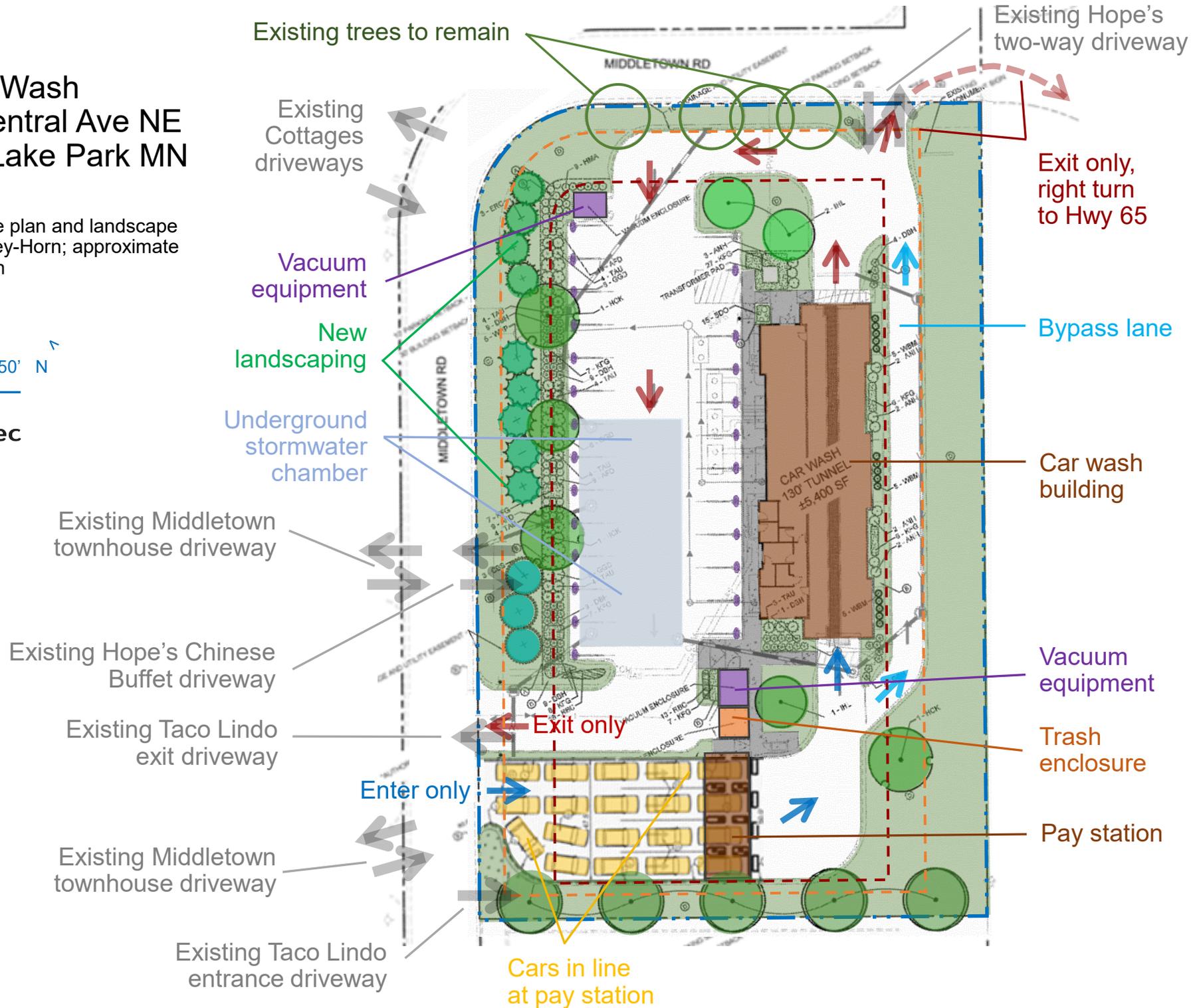
An issue with any drive-through type facility is adequate stacking and making sure that cars waiting in line don't interfere with cars on the adjacent street. The site plan submitted by the applicants shows 19 cars waiting in the pay station lines. This may be adequate, depending on their experience with their facilities. But on a very busy day cars may back up onto Middletown Road, or be tempted to do so. There needs to be clear signage so that stacking onto the road is not allowed and also a condition in the CUP that any traffic problems could result in review and revocation of the permit.

Parking

There are 24 parking spaces in front of the building in the parking/vacuum area. This would serve customers and staff for the facility. Spring Lake Park's parking standards require 10 spaces per lane in a commercial car wash. This facility may be different than what was imagined for a "commercial car wash" when the code was written. We recommend relying on the applicants' experience with their facilities to propose adequate parking.

Mr. Car Wash 8200 Central Ave NE Spring Lake Park MN

3-22-22
Based on site plan and landscape plan by Kimley-Horn; approximate for discussion



Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

Landscaping & Screening

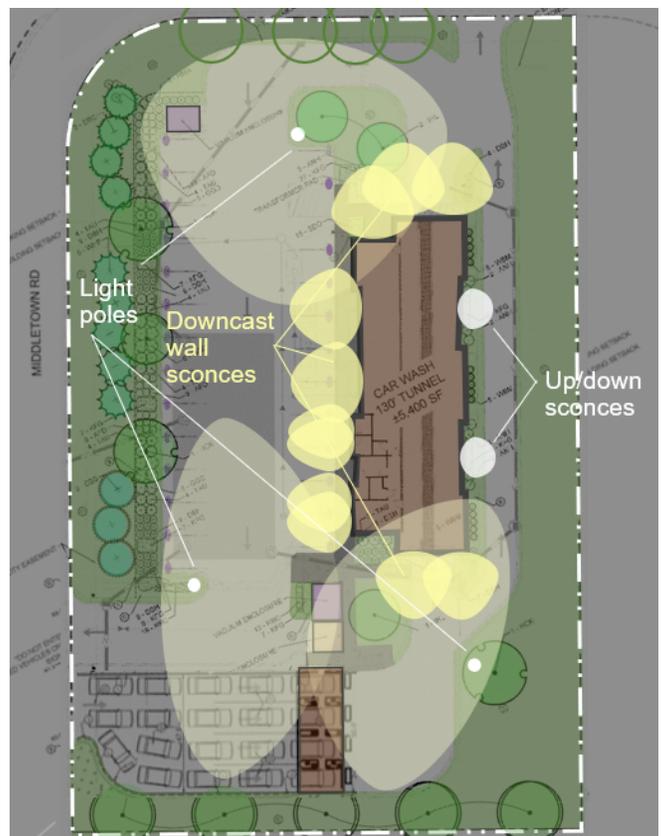
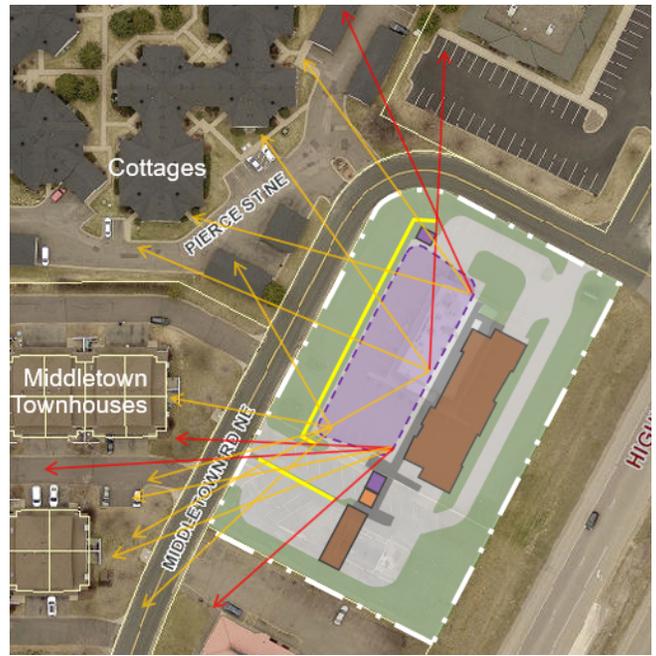
The landscape plan proposes significant landscaping on the west side of the site towards the existing townhouses, consisting of spruce, cedar and pine trees. There are large deciduous trees proposed in other parts of the site and four existing trees on the north side of the site are to be saved. There is a generous and varied complement of shrubs and perennials around the site and building as well.

Noise

The car wash operations are noisy, especially the blowers for drying, but they will be within the building and should be significantly muffled by the building and by the fact that the entry and exit doors face north and south, not toward the nearby residential uses. The vacuums can also be noisy and may need more muffling than would be provided by the proposed landscaping. We have asked for noise information from the applicants. Even if the site meets State standards a noise source can still be pretty annoying. We suggest some reasonable mitigation, which could include a solid fence or wall on the west side of the site to block noise. The graphic above right shows the site plan over an aerial. The purple area is where the vacuums are, the yellow lines are potential fence/wall locations to block the noise. The arrows show noise from four locations in the vacuum area. The orange arrows show noise that is directly blocked or at least muffled by the fence and red lines show noise that would get past the fences. With the two yellow fence lines suggested the only places noise would get directly through is to the south to other commercial uses, to the west at the driveway between the Middletown townhouses, and to the NW past the east edge of the Cottages. If we require a fence, we want it to block as much noise as possible but not block visibility for cars going in and out of the site.

Lighting

Lighting is proposed with wall-mounted fixtures on all sides of the building plus 20-ft tall light poles in three locations. All lights will be downcast cutoff type fixtures which will not spill more than 0.5 footcandle beyond the property lines or onto the public street. Initially the lights on the east side of the building facing Highway 65 were proposed as “up/down sconces” meaning that they would shine both up and down. We recommend there be no up lighting. The lighting scheme is illustrated, approximately, to the right.



Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

Hours

The applicants' narrative proposed hours of 7:30 am to 7:00 pm, which is reasonable.

Signage

Signage is proposed on all four sides of the building and will need to meet the City's sign permit standards.

Building Materials

The exterior materials on the main building will be a combination of decorative block, concrete block, EIFS, pre-finished metal panels, and stone veneer. As we understand the architectural drawings, parts of the main building and accessory buildings are proposed to be painted concrete block or painted wood siding. The architecture is interesting and varied, but we recommend that the building materials not include painted concrete block, but rather integrally colored block and no wood.

PRELIMINARY PLAT

The property is now two lots and the applicants propose to plat it into one new lot, a plat to be called Middletown 65. The City Engineer is requesting including the following within that plat:

- 1) Include a 5-wide drainage and utility easement along the south and east sides of the plat.
- 2) Include a 15-foot wide drainage and utility easement along the west and north sides of the plat.
- 3) Provide a separate, 10-foot wide road and sidewalk easement document covering the west and north sides of the plat. Record this road and sidewalk easement when the plat is recorded.

RECOMMENDATION

Conditional Use Permit

I recommend that the Conditional Use Permit for the proposed Mr. Car Wash at 8200 Central Avenue NE be approved as submitted on plans from Kimley-Horn dated 3-3-2022 and architectural elevations from Mr. Car Wash (no date), with following conditions:

- 1) Hours of operation will be 7:30 am to 7:00 pm.
- 2) If noise information from the applicants warrants additional sound mitigation, a solid fence or wall 6 feet in height will be installed on the west side of the site as illustrated in the Planner's report dated March 28, 2022, to block noise from the vacuum and parking area. The fence or wall will be of materials and colors compatible with the building, to be reviewed and approved by the City Administrator.
- 3) The entry drive on Middletown Road will be signed as entrance only and indicating that no stacking is allowed onto the public street. If the City becomes aware of problems with cars stacking in the street or other traffic problems on site, the City Council reserves the right to review and potentially revoke the Conditional Use Permit.
- 4) Building materials will not include painted concrete block or wood. All concrete block will be integrally colored.

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

- 5) All lighting will be downcast cutoff type fixtures that allow no more than 0.5 footcandle of light spillage beyond the property lines or onto the public road rights-of-way. This includes the up/down sconces proposed on the east side of the car wash building, which will not include any up lighting.
- 6) Signage will be submitted for a sign permit before a building permit is issued.
- 7) The driveway at the north side of the site will include signage indicating exit only and right turn onto Highway 65.
- 8) All landscaping will be installed as indicated on the landscape plan and guaranteed for at least one year.
- 9) All requirements of the City Engineer will be followed for engineering and utility issues prior to issuing a building permit.

Finding of Fact for Approval of Conditional Use Permit

- 1) The City has standards for review of conditional uses to review and regulate potential impacts to surrounding properties and public roadways.
- 2) The proposed car wash use may generate traffic that could impact area roadways. Limiting and regulating traffic on and around the site is a reasonable exercise of the City's authority.
- 3) The proposed car wash use may generate noise beyond an acceptable level given its location near existing residential uses. Requiring screening to block noise is a reasonable exercise of the City's authority.
- 4) The use as conditioned with this approval meets the criteria for approving a Conditional Use Permit in Section 16.56.030(E)(1) of the City Code.

Preliminary Plat

I recommend that the Planning Commission recommend approval of the preliminary plat with the following conditions:

- 1) Include a 5-wide drainage and utility easement along the south and east sides of the plat.
- 2) Include a 15-foot wide drainage and utility easement along the west and north sides of the plat.
- 3) Provide a separate, 10-foot wide road and sidewalk easement document covering the west and north sides of the plat. Record this road and sidewalk easement when the plat is recorded.

Finding of Fact for Approval of Preliminary Plat

- 1) The City has reasonable expectations for provision of streets, sidewalks, utilities, and other public functions. Requiring property to dedicate easements for such features is reasonable.

OPTIONS

- 1) Recommend approval of the CUP and Preliminary Plat as presented with the recommended conditions and findings, or as modified by the Planning Commission.
- 2) Recommend denial of the CUP and Preliminary Plat, with findings for denial.
- 3) Continue one or both items to a future meeting to gather more information or more discussion.

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

60-DAY RULE

The Conditional Use Permit application was received on March 2, 2022 and was considered complete on March 11, 2022, with receipt of the landscape plan. The 60-day deadline for final action by the City Council is May 11, 2022.

The Preliminary Plat has its own 120-day deadline under State statute. The application was received on March 2, 2022. The deadline for final action by the City Council is July 10, 2022.



City of Spring Lake Park
 1301 81st Avenue NE
 Spring Lake Park, MN 55432
 763-784-6491 (p) 763-792-7257 (f)
info@slpmn.org

For Office Use Only

Case Number:	
Fee Paid:	
Received by:	
Date Filed:	
Date Complete:	
Base Fee:	Escrow:

DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input checked="" type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input checked="" type="checkbox"/> Conditional Use Permit	<input checked="" type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 8188 and 8200 Highway 65 NE, Spring Lake Park, MN 55432		
Property Identification Number (PIN#): 01-30-24-24-0012 and 01-30-24-24-0011		Current Zoning: c-1
Legal Description (Attach if necessary):		Reference attached survey
APPLICANT INFORMATION		
Name: CWP West Corp. - ATTN: Brittny Whitley		Business Name:
Address: 222 E 5th Street		
City Tucson	State: Arizona	Zip Code: 85705
Telephone: 256-558-4742	Fax:	E-mail: bwhitley@mistercarwash.com
Contact: Brittny Whitley	Title: Project Manager	
OWNER INFORMATION (if different from applicant)		
Name: 1) Tam Le (8188 Central Ave) 2) Jin Yuan (8200 Central Ave)		Business Name: 1) Taco Lindo 2) Hope's Chinese Restaurant
Address: 1) 634 Main Street NE 2) 2417 Tournament Players Circle S.		
City 1) Minneapolis 2) Blaine	State: 1) MN 2) MN	Zip Code: 1) 55413 2) 55449
Telephone:	Fax: n/a	E-mail: see contact
Contact: 1) tam.le@pinnaclerealty.com 2) weiqai@gmail.com	Title: 1) owner 2) owner	
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property:		Mexican and Chinese Restaurants
Nature of Proposed Use:		Automated Car Wash (single tunnel) with associated vacuum parking stalls
Reason(s) to Approve Request:		1. Provide the community with a service in a segment that continues to experience increased consumer demand. 2. Redevelopment and reinvestment in underutilized properties. 3. Stormwater Management and Treatment per MPCA, City, and Watershed guidelines.
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name: N/A		Date of Application:
Nature of Request:		
NOTE: Applications only accepted with ALL required support documents. See City Code		

APPLICATION FEES AND EXPENSES:

The City of Spring Lake Park requires all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

Minnesota Statute § 471.462 requires all cities to provide, upon request, a nonbinding estimate of consulting fees in connection with applications for permits, licenses, or other approvals relating to real estate development or construction. If the applicant requests the estimate, the application shall not be deemed complete until the City has (1) provided an estimate to the applicant; (2) received the required application fees, as specified by the City; (3) received a signed acceptance of the fee estimate from the applicant; and (4) received a signed statement that the applicant has not relied on the estimate of fees in its decision to proceed with the final application from the applicant.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

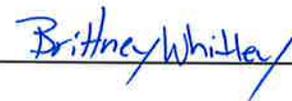
I wish to be notified of additional costs in the following manner (select one):

E-mail _____ Fax _____ USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application, including all four requirements of Minnesota Statute § 471.462, should I request a written estimate of consultant fees. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant:   Date: 3/2/22
Owner:  Tam Le Date: 03/02/22

**NOTE: Applications only accepted with ALL required support documents.
See City Code**

City of Spring Lake Park Conditional Use Permit Worksheet

A conditional use permit cannot be approved unless the Planning and Zoning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. _____

The proposed use will revitalize the existing lot via providing a desirable and convenient service that is becoming more popular as consumer demand increases in this segment. Along with the investment in a modern building, the site will utilize specific planting, traffic patterns, and provide stormwater management that will all benefit the community.

2. That the use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/improvements within the vicinity of the use. _____

The proposed use will not be detrimental to the health, safety, morals, or welfare of persons near the facility. The proposed building and site provide adequate accessible routes throughout the site. Also, the building is positioned in such a way on the site that it is closer to Highway 65, the noisiest portion of the site that carries 40,000 vehicles per day.

3. That the proposed use will comply with the regulations specified in Chapter 153 of the Zoning Code. _____

Chapter 153 does not currently exist within the City's Code, however the development team will continue to work with City Staff such that the project will comply with zoning code ordinances.

4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. _____

It is anticipated that the proposed use will not have a detrimental effect on the use and enjoyment of other property in the vicinity. The current site consists of a pair of restaurants - the proposed project will revitalize the parcel with a reinvestment in modern sustainable building materials and landscaping, providing a welcoming experience for members of the community.

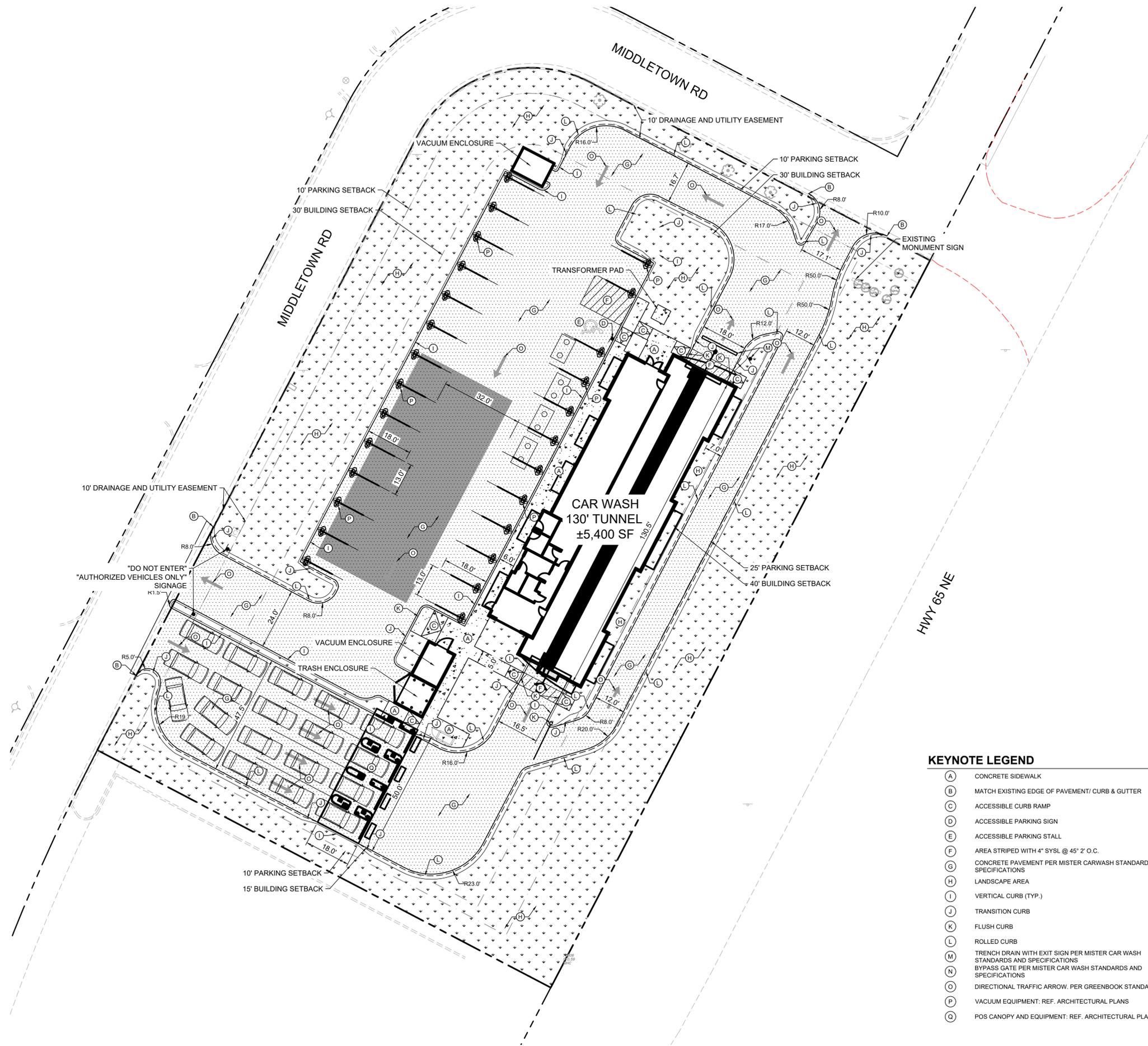
5. That the use will not lower property values or impact scenic views in the surrounding area. _____
N/A - no anticipated scenic views, and no anticipated lowering of adjacent property values.

6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. _____
It is anticipated that the existing infrastructure is suitable to accommodate the anticipated traffic generated as part of this redevelopment.

7. That the use includes adequate protection for the natural drainage system and natural topography. _____
The proposed project and topography generally follows the existing drainage patterns. There is a ditch within the Hwy-65 right-of-way that is proposed to be unchanged as part of this redevelopment, and stormwater on-site will be collected and treated such that it is released at a lower rate than the existing condition.

8. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. _____
The development team will continue to work with the city such that suitable measures to reduce noise are employed. The project includes the latest car wash technologies to minimize noise and the building has been located along a state hwy that carries 40,000 vehicles per day. Additionally, the hours of operation are proposed to be between the daytime hours of 7:30am and 7:00pm.

9. That the proposed use will not stimulate growth incompatible with prevailing density standards.
It is anticipated that the proposed use will not stimulate growth incompatible with prevailing density standards.



LEGEND

	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK

PROPERTY SUMMARY

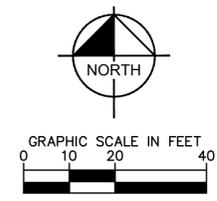
SPRING LAKE PARK, MN MISTER CAR WASH	
TOTAL PROPERTY AREA	1.46 AC
ZONING SUMMARY	
EXISTING ZONING	C-1
PROPOSED ZONING	C-1
PARKING SETBACKS	FRONT: 25' SIDE: 10' REAR: 10'
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BUILDING DATA SUMMARY

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PROPOSED PROPERTY	1.46 AC
BUILDING AREA	±5,400 SF
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REQUIRED PARKING	4 SPACES PER 1,000 SF
PROPOSED PARKING	25 SPACES
ADA STALLS REQ'D / PROVIDED	1 STALLS / 1 STALLS

- SITE PLAN NOTES**
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 - ALL INNER CURBED RADII ARE TO BE 2' AND OUTER CURBED RADII ARE TO BE <10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
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 - (B) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
 - (C) ACCESSIBLE CURB RAMP
 - (D) ACCESSIBLE PARKING SIGN
 - (E) ACCESSIBLE PARKING STALL
 - (F) AREA STRIPED WITH 4" SYSL @ 45° Z' O.C.
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 - (H) LANDSCAPE AREA
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 - (Q) POS CANOPY AND EQUIPMENT: REF. ARCHITECTURAL PLANS



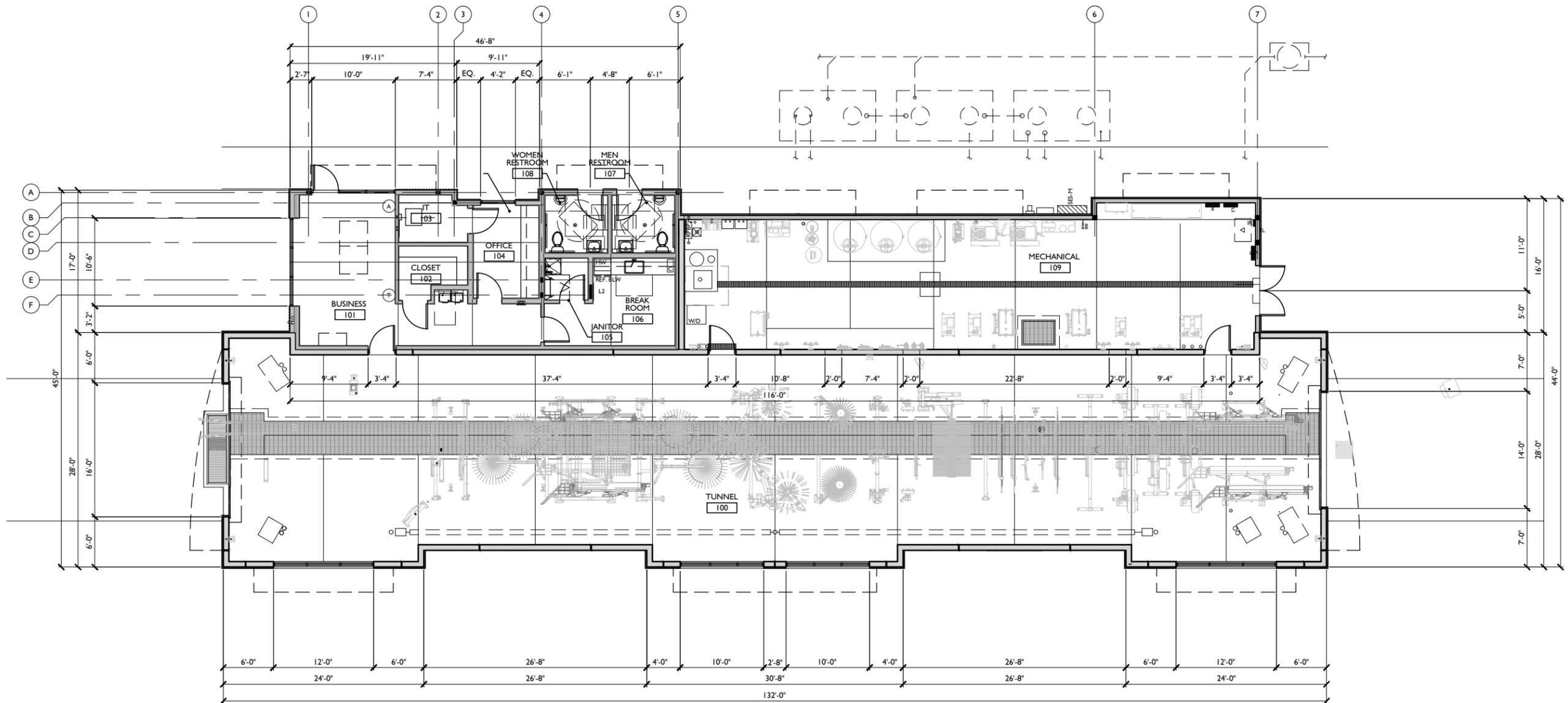
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DATE: 03/03/2022
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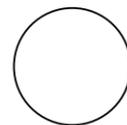
SITE PLAN

MINN
SPRING LAKE WASH
MISTER CAR WASH
LAKE PARK, MN
PREPARED FOR

<p>MCW - SPRING LAKE PARK, MN</p> <p>SHEET NUMBER C400</p>	<p>Kimley»Horn</p> <p>© 2018 KIMLEY-HORN AND ASSOCIATES, INC. 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-452-4197 WWW.KIMLEY-HORN.COM</p>						
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<p>GRAPHIC SCALE IN FEET</p> <p>0 10 20 40</p>	<p>NORTH</p>						
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No.	DATE	BY					



NORTH



MISTER CAR WASH I30 COLD PROTOTYPE - FLOOR PLAN

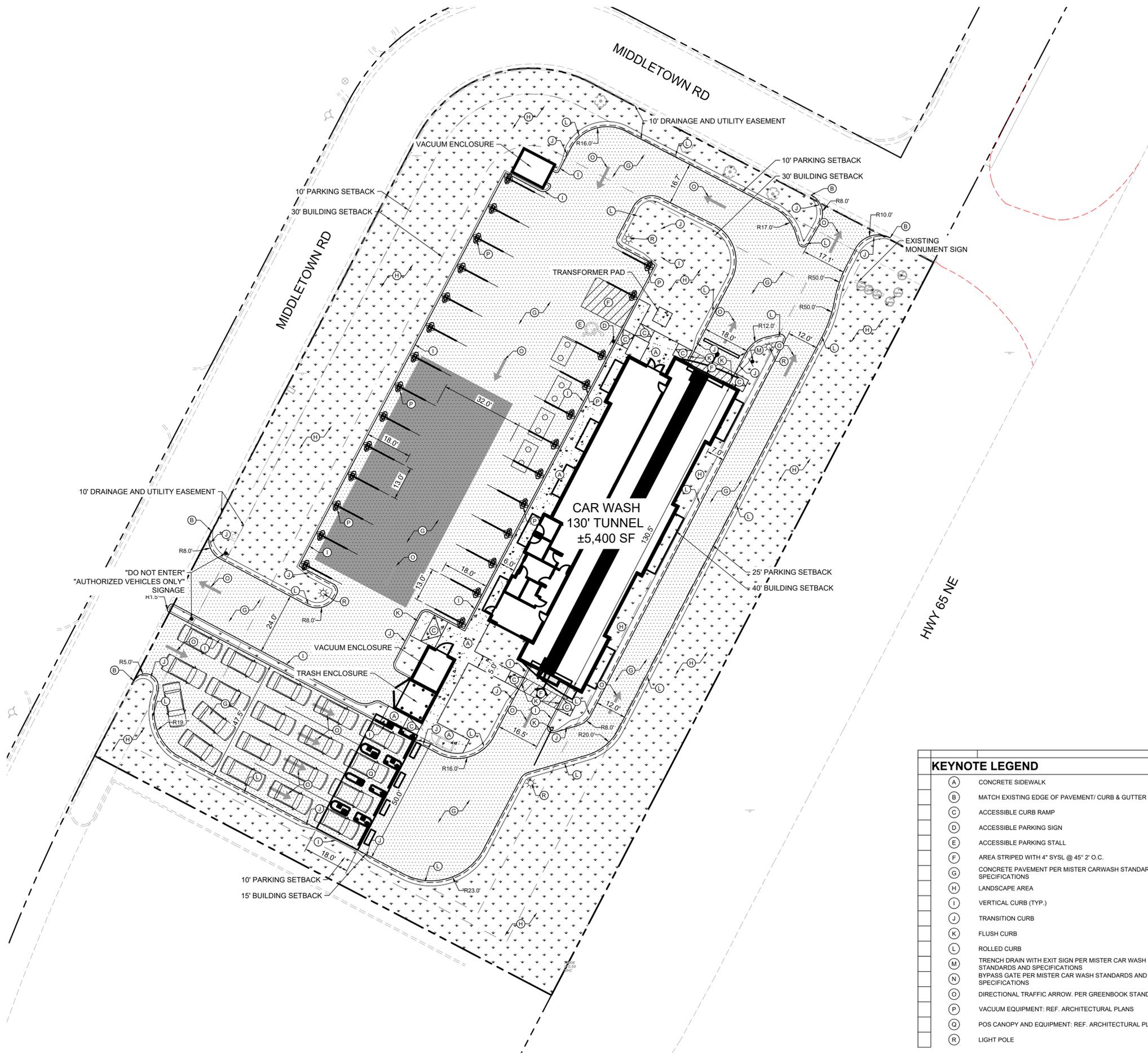
NOT TO SCALE DATE: 07.08.21 JOB# I8080

a.23studios

711 E 9th St.
Tucson, AZ 85719
520.245.4010 phone

NOTE: THIS IS A SCHEMATIC ONLY FLOOR PLAN AND SUBJECT TO MUNICIPALITY APPROVALS. ALL DIMENSIONS REFERENCE USE ONLY.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

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	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE PAVEMENT
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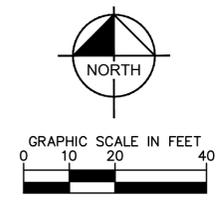
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(Q)	POS CANOPY AND EQUIPMENT: REF. ARCHITECTURAL PLANS
(R)	LIGHT POLE



PRELIMINARY - NOT FOR CONSTRUCTION

MCW - SPRING LAKE PARK, MN
PREPARED FOR MISTER CAR WASH
SPRING LAKE PARK, MN

SITE PLAN

KHA PROJECT	160284005
DATE	03/23/2022
SCALE	AS SHOWN
DESIGNED BY	ACL
DRAWN BY	ACL
CHECKED BY	BMW

THIS PROJECT WAS PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER THE SUPERVISION AND SEAL OF A PROFESSIONAL ENGINEER LICENSED UNDER THE LAWS OF THE STATE OF MINNESOTA.
BRIAN M. WURDEMAN, P.E.
DATE: 03/23/2022 LIC. NO. 53113

Kimley»Horn
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787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-454-1197
WWW.KIMLEY-HORN.COM

PROPERTY SUMMARY

SPRING LAKE PARK, MN MISTER CAR WASH	
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NO.	REVISIONS	DATE	BY

SHEET NUMBER
C400



MATERIAL TAKE OFF

- Exterior Building Finishes - 8,885 sqft - 100%
- A. (SV-1) Natural Stone (Veneer) - 2,108 sqft - 24%
 - B. (ALU) Store Front and Glass - 511 sqft - 6%
 - C. (EIFS) EIFS - 1,609 sqft - 18%
 - D. (CU-1/2) CMU - 1,032 sqft - 12%
 - E. (MP-1) Alumaboard - 2,422 sqft - 27%
 - F. (MP-2) Metal Wall Panel - 798 sqft - 9%
 - G. Polycarbonate Overhead Doors - 312 sqft - 3%
 - H. Painted Hollow Metal Doors - 93 sqft - 1%

- MP-2** METAL PANEL - CTMRS / PRE-FINISHED R-PANEL / IN THE NAVY - SW9178
- MP-4** METAL PANEL - CTMRS / PRE-FINISHED STANDING SEAM METAL ROOF / 436B3488 FLUROPON IN THE NAVY
- MP-1** METAL PANEL - ALUMABOARD / PRE-FINISHED METAL SCREEN SYSTEM / HAZELNUT BROWN
- SV-1** STONE VENEER - CORONADO / 6" LIMESTONE / CREAM
- PT-9** EXTERIOR PAINT - SHERWIN-WILLIAMS / IN THE NAVY SW9178
- PT-6** EXTERIOR PAINT - SHERWIN-WILLIAMS / MORNING FOG SW6225

FINISH LEGEND

- ALU** WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
- CU-1** CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
- CU-2** CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
- PT-3** EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
- PT-7** EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
- EIFS** EXTERIOR INSULATION FINISHING SYSTEM

1 CAR WASH TUNNEL EXIT
NOT TO SCALE



2 CAR WASH TUNNEL WALL ELEVATION
NOT TO SCALE



MATERIAL TAKE OFF

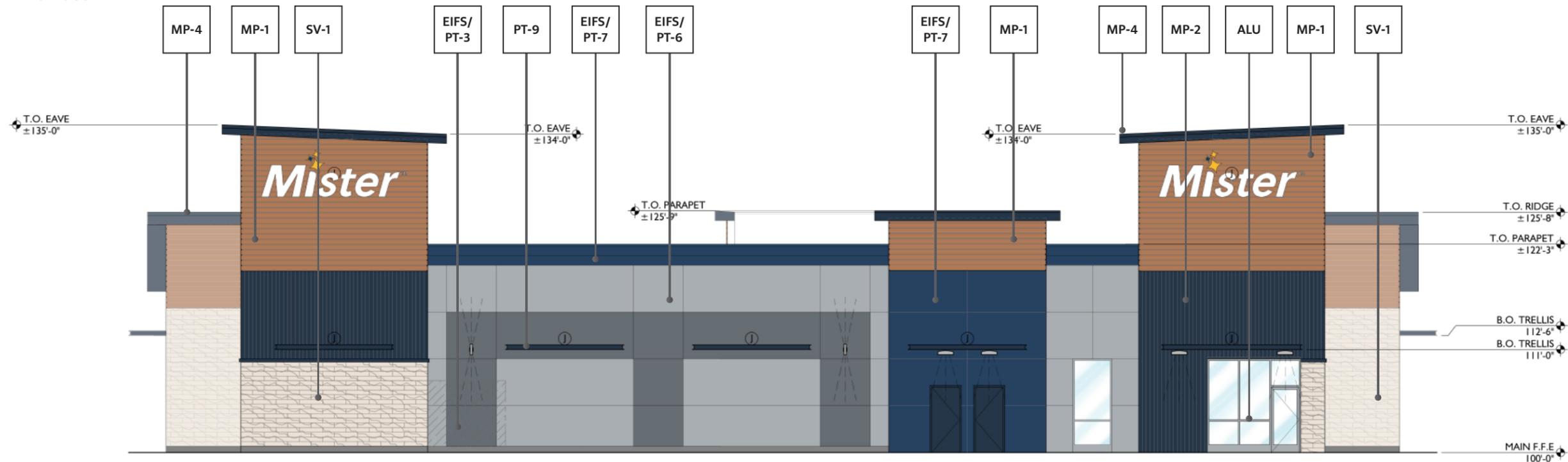
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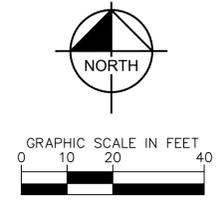
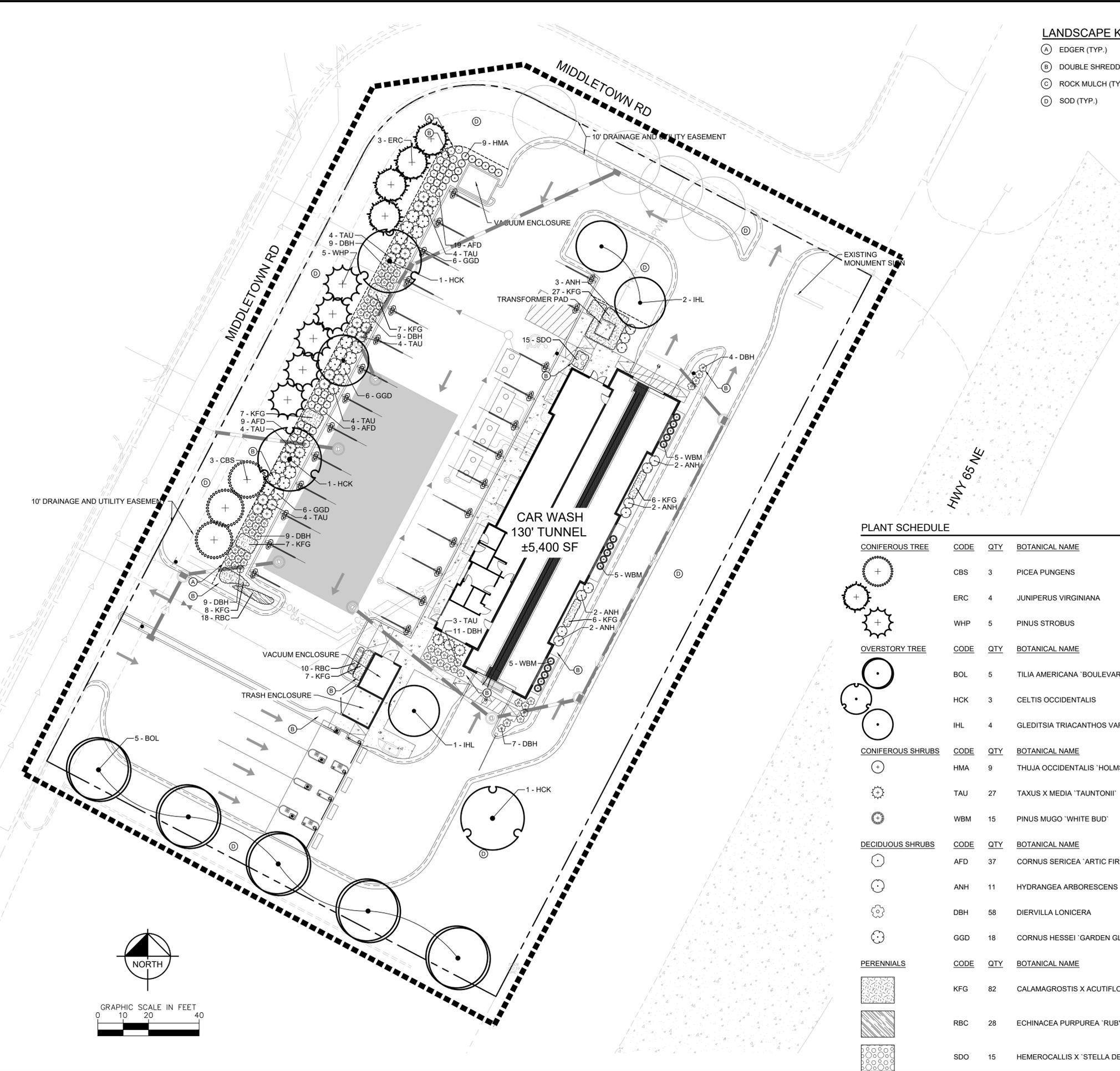
- ALU** WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
- CU-1** CMU (TEXTURED) - COLOR TO BE CLOSE TO WALL STREET SW7665
- CU-2** CMU (SMOOTH) - COLOR TO BE CLOSE TO MORNING FOG SW6255
- PT-3** EXTERIOR PAINT - SHERWIN-WILLIAMS / WALL STREET SW7665
- PT-7** EXTERIOR PAINT - SHERWIN-WILLIAMS / DRESS BLUES SW9176
- EIFS** EXTERIOR INSULATION FINISHING SYSTEM

3 CAR WASH TUNNEL ENTRANCE
NOT TO SCALE



4 BUSINESS/ MECHANICAL ELEVATION
NOT TO SCALE

K:\TWC_LDE\Mister Car Wash\Spring Lake Park, MN\3 Design\CAD\PlanSheets\L1-LANDSCAPE PLAN.DWG March 11, 2022 - 8:31am
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LANDSCAPE KEYNOTES**
- (A) EDGER (TYP.)
 - (B) DOUBLE SHREDED HARDWOOD MULCH (TYP.)
 - (C) ROCK MULCH (TYP.)
 - (D) SOD (TYP.)

- LANDSCAPE LEGEND**
- EXISTING DECIDUOUS TREE (TYP.)
 - EXISTING CONIFEROUS TREE (TYP.)
 - EXISTING SHRUB (TYP.)
 - EDGER (TYP.)
 - APPROXIMATE LIMITS OF SOD / IRRIGATION, SOD ALL DISTURBED AREAS (TYP.)

LANDSCAPE SUMMARY

OFF STREET PARKING REQUIREMENTS

OVERSTORY TREES REQUIRED: 3 TREES = 1 TREE / 10 PARKING SPACES = 25 SPACES / 10 TREES
 OVERSTORY TREES PROVIDED: 3 TREES

SCREENING REQUIRED: BUFFER YARD REQUIRED WHEN COMMERCIAL ABUTS A RESIDENTIAL ZONE
 SCREENING PROVIDED: SEE PLAN

BUILDING PERIMETER REQUIREMENTS

FOUNDATION PLANTINGS REQUIRED: AT LEAST 50% OF TOTAL PERIMETER TO BE SODDED OR LANDSCAPED
 FOUNDATION PLANTINGS PROVIDED: 180 LF OF FOUNDATION PLANTINGS = 360 LF PERIMETER / 2

PLANT DIVERSITY REQUIREMENTS

*NOTE: PLAN MUST MEET 3 OF THE FOLLOWING

*OVERSTORY TREES REQUIRED: 12 TREES = 1 TREE / 3,000 SF OF OPEN AREA = 35,322 SF / 3,000
 OVERSTORY TREES PROVIDED: 12 TREES

*ORNAMENTAL TREES REQUIRED: 24 TREES = 1 TREE / 1,500 SF OF OPEN AREA = 35,322 SF / 1,500
 ORNAMENTAL TREES PROVIDED: 4 EXISTING ORNAMENTAL TREES

*EVERGREEN TREES REQUIRED: 12 TREES = 1 TREE / 3,000 SF OF OPEN AREA = 35,322 SF / 3,000
 EVERGREEN TREES PROVIDED: 12 TREES

*SHRUBS REQUIRED: 354 SHRUBS = 1 DECIDUOUS OR 1 EVERGREEN SHRUB / 100 SF OF OPEN AREA = 35,322 SF / 100
 SHRUBS PROVIDED: 175 SHRUBS

PLANT SCHEDULE

CONIFEROUS TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/SIZE	
	CBS	3	PICEA PUNGENS	COLORADO SPRUCE	B & B	8' HT.	
	ERC	4	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B & B	8' HT.	
	WHP	5	PINUS STROBUS	WHITE PINE	B & B	8' HT.	
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL/SIZE	
	BOL	5	TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	B & B	2.5" CAL.	
	HCK	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL.	
	IHL	4	GLEDITSIA TRIACANTHOS VAR. INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.	
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	
	HMA	9	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	#5 CONT.	3' O.C.	
	TAU	27	TAXUS X MEDIA 'TAUNTONII'	TAUTON YEW	#5 CONT.	5' O.C.	
	WBM	15	PINUS MUGO 'WHITE BUD'	MUGO WHITE BUD PINE	#5 CONT.	3' O.C.	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	
	AFD	37	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	#5 CONT.		
	ANH	11	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.	
	DBH	58	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3' O.C.	
	GGD	18	CORNUS HESSEI 'GARDEN GLOW'	GARDEN GLOW DOGWOOD	#5 CONT.	5' O.C.	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	KFG	82	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT.		30" o.c.
	RBC	28	ECHINACEA PURPUREA 'RUBY STAR'	RUBY STAR CONEFLOWER	#1 CONT.		20" o.c.
	SDO	15	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	#1 CONT.		18" o.c.

PRELIMINARY - NOT FOR CONSTRUCTION

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 787 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-454-1197
 WWW.KIMLEY-HORN.COM

LANDSCAPE PLAN

MCW - SPRING LAKE PARK, MN
 PREPARED FOR
MISTER CAR WASH
 SPRING LAKE PARK

SHEET NUMBER
L100

NO.	REVISIONS	DATE	BY

LIBRARY CREDIT: THIS PLAN IS AN EXHIBIT TO REPORT NO. 2022-001 PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 MITCHELL G. COOKAS, P.L.A.
 MN LIC. NO. 96522
 DATE: 03/03/2022

To: Spring Lake Park Planning Commission From: Phil Carlson, AICP, Stantec

City of Spring Lake Park

File: Mr. Car Wash Date: March 28, 2022
 8200 Central Ave NE
 Applicant: Brittney Whitley, CWP West Corp
 Owners: Tam Le, Jin Yuan

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

INTRODUCTION

Mr. Car Wash proposes to build a new car wash facility at 8200 Central Avenue NE, on the parcels now occupied by Taco Lindo restaurant and Hope’s Chinese Buffet. The property address is Central Avenue, but its access is from Middletown Road, the frontage road for Central Avenue/Highway 65.

Surrounding uses are commercial uses fronting Highway 65 both north and south of the site, with the Cottages and Middletown townhouse residential uses west across Middletown Road. Across Highway 65 to the east is the HyVee Foods store and gas station.

The property is guided Commercial and zoned C-1 Shopping Center, shown on the maps below. A car wash is a conditional use in the C-1 district, noted in the list of uses in the code as “Auto and marine; service, parts, repair and wash”. They are also applying to plat the property.



2040 Land Use Plan



-  City Boundary
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Mixed Use
-  Commercial
-  Commercial/Industrial
-  Public/Semi-Public

Zoning Map



-  City Boundary
-  Open Water
-  NWI Wetlands
-  (R-1) Single Family Residential
-  (R-2) Medium Density Residential
-  (R-3) Multiple Family Residential
-  (C-1) Shopping Center Commercial
-  (C-2) Neighborhood & Service Center Commercial
-  (C-3) Office Commercial
-  (I-1) Light Industrial
-  (P) Public
-  (PUD) Planned Unit Development

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

SITE ISSUES – CONDITIONAL USE PERMIT

The Zoning Code allows the City to impose reasonable conditions on certain uses to address issues that may impact surrounding properties or public health, safety, and welfare. Conditional uses are considered *permitted uses to which reasonable conditions may be attached based on findings of fact*. The assumption is that the use is allowed and the City needs to articulate the conditions under which the use might be approved, rather than deny it because of potential conditions that do not yet exist. If it appears there is no reasonable way to accommodate the use in this location, the City can deny the use.

Site Operation & Access

Car wash customers would enter off Middletown Road at the SW corner of the site, through the four-lane automated pay stations, then turn into the long, enclosed car wash building. Much of the wash operation is automated but there are attendants on duty for detailing, drying, interior vacuuming and cleaning, etc. Exiting the car wash at the north end of the building, customers can either go straight out the north end of the site, turning right to get directly onto Highway 65, or turn left within the site and get back to the parking area in front of the building where there are vacuums at each parking space for customers. Exiting from the parking/vacuum area is one-way out onto Middletown Road. The site plan is illustrated on the next page.

Within the building there are also restrooms for customers, office space and service functions for staff, and mechanical equipment. The pay station canopy is a separate structure apart from the main building. There are two small, enclosed structures for the vacuum equipment, one on each end of the parking area with underground tubing connecting to each vacuum station. Next to the south vacuum equipment enclosure is the trash dumpster enclosure.

Traffic

The access points described above are the three driveways for the site: one-way in at the SW corner of the site from Middletown Road, one-way out next to it from the parking/vacuum area, also onto Middletown Road, and one-way out at the NE corner of the site. It will be important to have clear signage so that traffic can be managed safely.

The current two properties have four driveways onto Middletown Road between them – separate entrance and exit driveways for Taco Lindo on the west side of the site, a two-way driveway for Hope's Chinese Buffet on the west side of the site, and a two-way driveway out the north end of the site for Hope's. The proposed Mr. Car Wash plan would replace these four with the three described above. Public works and engineering recommends that the north access drive, proposed as one-way out, be signed to only allow right turns onto Highway 65, and not allow traffic to go straight onto northbound Middletown Road. The existing and proposed driveways are illustrated on the site plan on the next page.

An issue with any drive-through type facility is adequate stacking and making sure that cars waiting in line don't interfere with cars on the adjacent street. The site plan submitted by the applicants shows 19 cars waiting in the pay station lines. This may be adequate, depending on their experience with their facilities. But on a very busy day cars may back up onto Middletown Road, or be tempted to do so. There needs to be clear signage so that stacking onto the road is not allowed and also a condition in the CUP that any traffic problems could result in review and revocation of the permit.

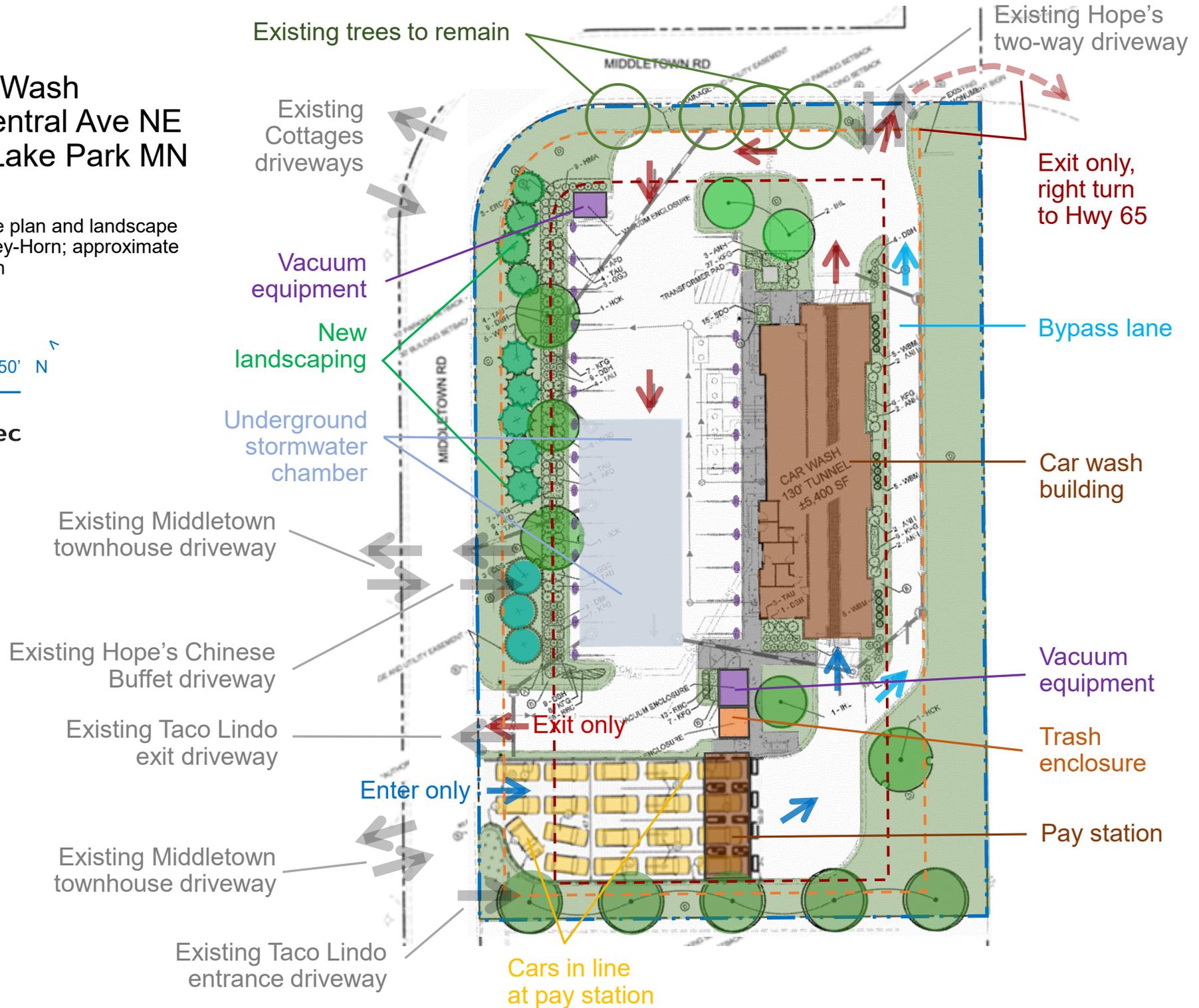
Parking

There are 24 parking spaces in front of the building in the parking/vacuum area. This would serve customers and staff for the facility. Spring Lake Park's parking standards require 10 spaces per lane in a commercial car wash. This facility may be different than what was imagined for a "commercial car wash" when the code was written. We recommend relying on the applicants' experience with their facilities to propose adequate parking.

Mr. Car Wash

8200 Central Ave NE
Spring Lake Park MN

3-22-22
Based on site plan and landscape plan by Kimley-Horn; approximate for discussion



Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

Landscaping & Screening

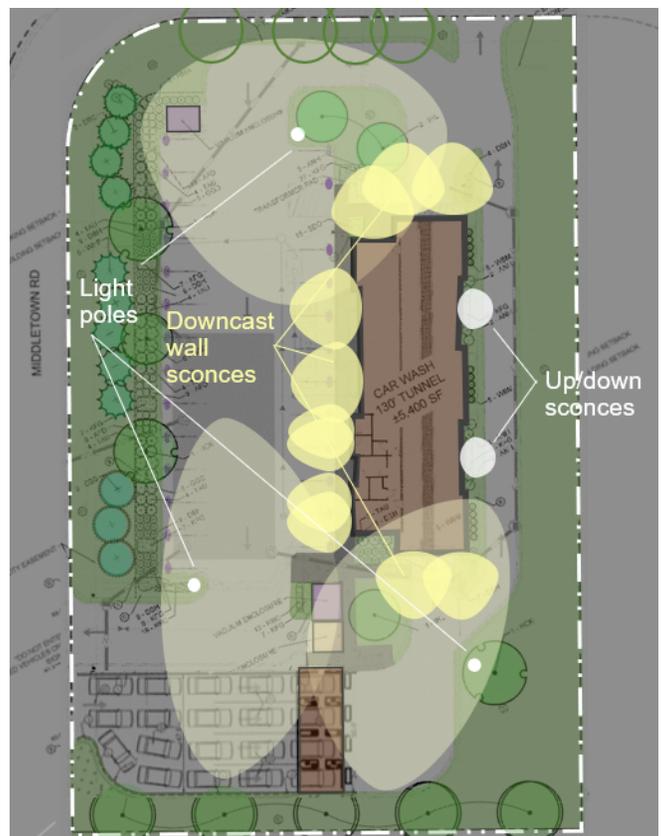
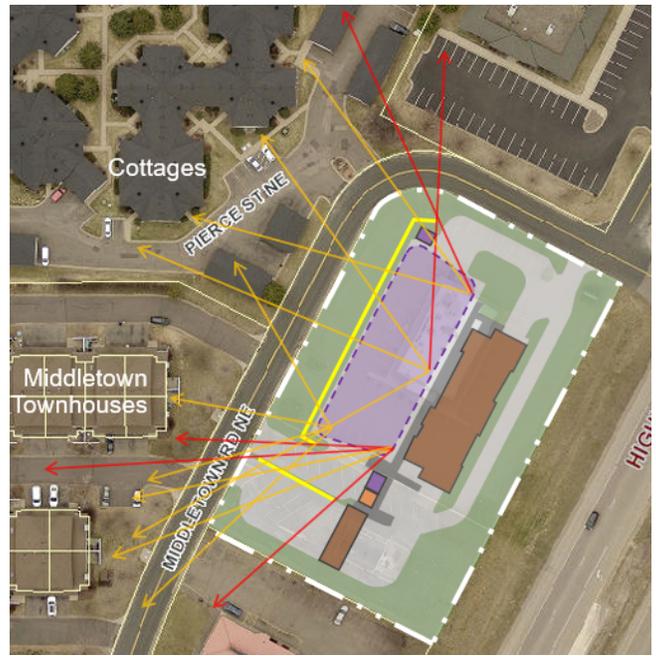
The landscape plan proposes significant landscaping on the west side of the site towards the existing townhouses, consisting of spruce, cedar and pine trees. There are large deciduous trees proposed in other parts of the site and four existing trees on the north side of the site are to be saved. There is a generous and varied complement of shrubs and perennials around the site and building as well.

Noise

The car wash operations are noisy, especially the blowers for drying, but they will be within the building and should be significantly muffled by the building and by the fact that the entry and exit doors face north and south, not toward the nearby residential uses. The vacuums can also be noisy and may need more muffling than would be provided by the proposed landscaping. We have asked for noise information from the applicants. Even if the site meets State standards a noise source can still be pretty annoying. We suggest some reasonable mitigation, which could include a solid fence or wall on the west side of the site to block noise. The graphic above right shows the site plan over an aerial. The purple area is where the vacuums are, the yellow lines are potential fence/wall locations to block the noise. The arrows show noise from four locations in the vacuum area. The orange arrows show noise that is directly blocked or at least muffled by the fence and red lines show noise that would get past the fences. With the two yellow fence lines suggested the only places noise would get directly through is to the south to other commercial uses, to the west at the driveway between the Middletown townhouses, and to the NW past the east edge of the Cottages. If we require a fence, we want it to block as much noise as possible but not block visibility for cars going in and out of the site.

Lighting

Lighting is proposed with wall-mounted fixtures on all sides of the building plus 20-ft tall light poles in three locations. All lights will be downcast cutoff type fixtures which will not spill more than 0.5 footcandle beyond the property lines or onto the public street. Initially the lights on the east side of the building facing Highway 65 were proposed as “up/down sconces” meaning that they would shine both up and down. We recommend there be no up lighting. The lighting scheme is illustrated, approximately, to the right.



Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

Hours

The applicants' narrative proposed hours of 7:30 am to 7:00 pm, which is reasonable.

Signage

Signage is proposed on all four sides of the building and will need to meet the City's sign permit standards.

Building Materials

The exterior materials on the main building will be a combination of decorative block, concrete block, EIFS, pre-finished metal panels, and stone veneer. As we understand the architectural drawings, parts of the main building and accessory buildings are proposed to be painted concrete block or painted wood siding. The architecture is interesting and varied, but we recommend that the building materials not include painted concrete block, but rather integrally colored block and no wood.

PRELIMINARY PLAT

The property is now two lots and the applicants propose to plat it into one new lot, a plat to be called Middletown 65. The City Engineer is requesting including the following within that plat:

- 1) Include a 5-wide drainage and utility easement along the south and east sides of the plat.
- 2) Include a 15-foot wide drainage and utility easement along the west and north sides of the plat.
- 3) Provide a separate, 10-foot wide road and sidewalk easement document covering the west and north sides of the plat. Record this road and sidewalk easement when the plat is recorded.

RECOMMENDATION

Conditional Use Permit

I recommend that the Conditional Use Permit for the proposed Mr. Car Wash at 8200 Central Avenue NE be approved as submitted on plans from Kimley-Horn dated 3-3-2022 and architectural elevations from Mr. Car Wash (no date), with following conditions:

- 1) Hours of operation will be 7:30 am to 7:00 pm.
- 2) If noise information from the applicants warrants additional sound mitigation, a solid fence or wall 6 feet in height will be installed on the west side of the site as illustrated in the Planner's report dated March 28, 2022, to block noise from the vacuum and parking area. The fence or wall will be of materials and colors compatible with the building, to be reviewed and approved by the City Administrator.
- 3) The entry drive on Middletown Road will be signed as entrance only and indicating that no stacking is allowed onto the public street. If the City becomes aware of problems with cars stacking in the street or other traffic problems on site, the City Council reserves the right to review and potentially revoke the Conditional Use Permit.
- 4) Building materials will not include painted concrete block or wood. All concrete block will be integrally colored.

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

- 5) All lighting will be downcast cutoff type fixtures that allow no more than 0.5 footcandle of light spillage beyond the property lines or onto the public road rights-of-way. This includes the up/down sconces proposed on the east side of the car wash building, which will not include any up lighting.
- 6) Signage will be submitted for a sign permit before a building permit is issued.
- 7) The driveway at the north side of the site will include signage indicating exit only and right turn onto Highway 65.
- 8) All landscaping will be installed as indicated on the landscape plan and guaranteed for at least one year.
- 9) All requirements of the City Engineer will be followed for engineering and utility issues prior to issuing a building permit.

Finding of Fact for Approval of Conditional Use Permit

- 1) The City has standards for review of conditional uses to review and regulate potential impacts to surrounding properties and public roadways.
- 2) The proposed car wash use may generate traffic that could impact area roadways. Limiting and regulating traffic on and around the site is a reasonable exercise of the City's authority.
- 3) The proposed car wash use may generate noise beyond an acceptable level given its location near existing residential uses. Requiring screening to block noise is a reasonable exercise of the City's authority.
- 4) The use as conditioned with this approval meets the criteria for approving a Conditional Use Permit in Section 16.56.030(E)(1) of the City Code.

Preliminary Plat

I recommend that the Planning Commission recommend approval of the preliminary plat with the following conditions:

- 1) Include a 5-wide drainage and utility easement along the south and east sides of the plat.
- 2) Include a 15-foot wide drainage and utility easement along the west and north sides of the plat.
- 3) Provide a separate, 10-foot wide road and sidewalk easement document covering the west and north sides of the plat. Record this road and sidewalk easement when the plat is recorded.

Finding of Fact for Approval of Preliminary Plat

- 1) The City has reasonable expectations for provision of streets, sidewalks, utilities, and other public functions. Requiring property to dedicate easements for such features is reasonable.

OPTIONS

- 1) Recommend approval of the CUP and Preliminary Plat as presented with the recommended conditions and findings, or as modified by the Planning Commission.
- 2) Recommend denial of the CUP and Preliminary Plat, with findings for denial.
- 3) Continue one or both items to a future meeting to gather more information or more discussion.

Re: Conditional Use Permit, Preliminary Plat, Mr. Car Wash, 8200 Central Avenue NE

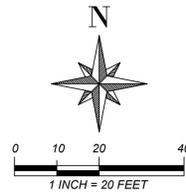
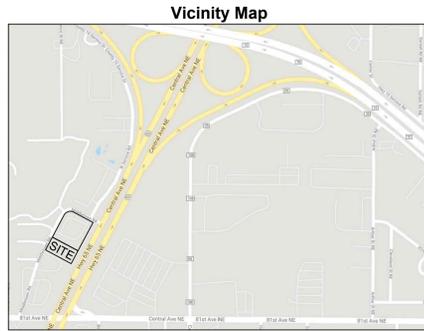
60-DAY RULE

The Conditional Use Permit application was received on March 2, 2022 and was considered complete on March 11, 2022, with receipt of the landscape plan. The 60-day deadline for final action by the City Council is May 11, 2022.

The Preliminary Plat has its own 120-day deadline under State statute. The application was received on March 2, 2022. The deadline for final action by the City Council is July 10, 2022.

ALTA/NSPS LAND TITLE SURVEY

St. Croix Surveying
Professional Land Surveyors
www.stcroixsurveying.com
Ph: (715) 222-5544
info@stcroixsurveying.com



Legal Description of Surveyed Property

(Per Schedule A of the herein referenced Title Commitment)

That part of Lot 2, Block 2, Middletown, according to the recorded plat thereof, Anoka County, Minnesota, lying Southwesterly of a line drawn parallel to and 60 feet Southwesterly of the Northeastly line of said Lot 2, as measured at right angles.

Anoka County, Minnesota

Survey Notes

- The observed address of the subject property is 8188 Highway 65 NE, Spring Lake Park MN.
- The subject property is contained in Zone X (areas determined to be outside the 0.2% annual chance floodplain), per Flood Insurance Rate Map No. 27003C0401E, with an effective date of 12/16/2015.
- The total land area of the subject property is 20,000 square feet or 0.46 acres.
- The subject property has 26 standard parking spaces and 1 accessible parking space. Striping of identifiable parking spaces are shown hereon.
- No evidence of division or party walls were observed during the fieldwork.
- The names of adjoining owners are shown per the respective County G.I.S. Maps if available.
- No evidence of recent earth moving work, building construction, or building additions were observed during the fieldwork.
- No information on proposed changes in street right of way lines were provided to St. Croix Surveying.
- No evidence of recent street or sidewalk construction or repairs were observed during the fieldwork.
- No evidence of potential wetlands were observed at the time the fieldwork was conducted, nor has St. Croix Surveying received any documentation of any wetlands or waterways being located on the subject property.
- The east line bears S28°01'25"W, as referenced to the Anoka County Coordinate System.
- The subject property has direct access to and from Middletown Road, a public R/W, on the north & west side of the property.

Title Commitment Exceptions

(Per Schedule B, Part 2 of the herein referenced Title Commitment)

The numbers below correspond to those numbers listed in the Title Commitment. Items not listed do not require Survey comment.

12 Drainage and utility easements as shown on plat of Middletown.

Affects - plotted.

13 Right of access to Trunk Highway 65 is restricted as shown by Final Certificate dated June 13, 1960, filed September 23, 1960, as Document No. 214588, in Book 492 Misc. Page 447.

Affects - plotted.

Certification

To: CWP West Corp., a Delaware corporation, its affiliates, successors, subsidiaries and assigns, Fidelity National Title Insurance Company and The Mathews Company, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Table A items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 10, 13, 14, 16, 17 and 19. The fieldwork was completed on December 17, 2021.

Greg B. Lundquist
By: Greg B. Lundquist
Minnesota P.L.S. License No. 52146
Date Signed: December 29, 2021
greg@stcroixsurveying.com



The property depicted on this Survey and the easements of record shown hereon are the same as the property and the easements described in the Commitment for Title Insurance, issued by Fidelity National Title Insurance Company, Commitment No. 59281, with an effective date of November 2, 2021 at 7:00 AM.

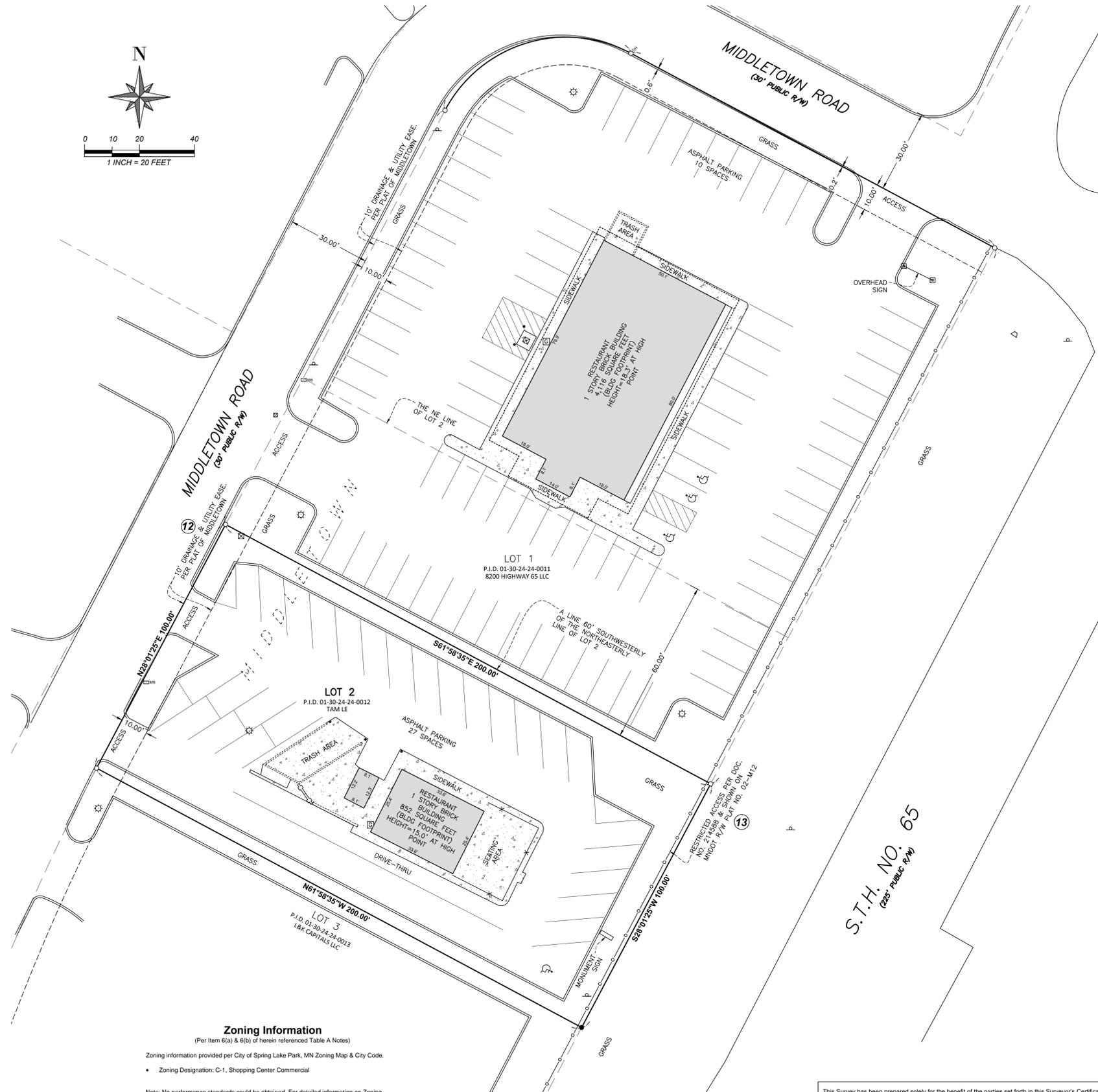
Zoning Information

(Per Item 6(a) & 6(b) of herein referenced Table A Notes)

Zoning information provided per City of Spring Lake Park, MN Zoning Map & City Code.

- Zoning Designation: C-1, Shopping Center Commercial

Note: No performance standards could be obtained. For detailed information on Zoning requirements contact said Municipality or an official Zoning Report. St. Croix Surveying does not guarantee the accuracy of the provided Zoning information.



Possible Encroachments

None were visible at the time of the Survey.

Legend

⬆	HYDRANT	○	SET 1/2" x 15" IRON REBAR CAPPED W/LS NO. 52146
⊠	CATCH BASIN	⊗	SET 1" MAG NAIL
⊠	SIGN	○ ^{CH}	SET DRILL HOLE
⊠	GUARD POST	●	FOUND 1/2" IRON PIPE (OR NOTED)
⊠	GATE VALVE	●	FOUND 3/4" REBAR (OR NOTED)
⊠	UTILITY POLE	○ ^{CH}	FOUND MAG NAIL
⊠	TREE	⊠	UTILITY VAULT
⊠	VENT PIPE	⊠	UTILITY PEDESTAL
⊠	CONTROL POINT	⊠	UTILITY MANHOLE
⊠	CULVERT END	⊠	FLAG POLE
⊠	TRAFFIC SIGNAL	⊠	LIGHT POLE/SPOTLIGHT
⊠	MAILBOX	⊠	GUY WIRE ANCHOR
---	BOUNDARY LINE	---	EASEMENT LINE
---	SETBACK LINE	---	ADJ. BOUNDARY LINE
---	CURB LINE	---	RESTRICTED ACCESS
---	BUILDING	---	CONCRETE
---	OVERHEAD UTILITY LINE		
---	FENCE		
---	RETAINING WALL		
---	BRICK WALL		

"ALTA / NSPS LAND TITLE SURVEY"

PREPARED FOR:

THE MATTHEWS COMPANY, Inc.

17220 Newhope Street, Suites 108 - 110, Fountain Valley, CA 92708
Tel: (714) 979-7181 Fax: (714)-641-2840
www.themathewscos.com

MARK	DATE	REVISION	BY	AP/VD
Mister Car Wash				
8188 Central Avenue Spring Lake Park, MN (Spring Lake II)				
SCALE: 1"=20'	DATE: 12/29/21	DWN BY: GBL	COLLECTED BY: BPL	CHKD/APP/VD: APPROVED: SCS JOB NO. 2021.126 SHEET 1/1

This Survey has been prepared solely for the benefit of the parties set forth in this Surveyor's Certification and may not be quoted or relied upon by, nor may copies be delivered to, any other party or used for any other purpose including, without limitation, the preparation of zoning reports or any other third party reports, without The Mathews Company, Inc. and St. Croix Surveying's prior written consent. The Mathews Company, Inc. and St. Croix Surveying expressly disclaims any duty or obligation towards any party that is not identified in this Surveyor's Certification.

Please be advised that The Mathews Company, Inc. and St. Croix Surveying will not include the providers of any third party reports in the Surveyor's Certification.

MIDDLETOWN 65

KNOW ALL PERSONS BY THESE PRESENTS: That CWP West Corp., a Delaware corporation, owner of the following described property:
 Lots 1 and 2, Block 2, Middletown, except that part of said Lot 2, Block 2, lying Southwesterly of a line drawn parallel to and 60 feet Southwesterly, as measured at right angles, of the Northeastly line of said Lot 2, Block 2.
 and
 That part of Lot 2, Block 2, Middletown, according to the recorded plat thereof, Anoka County, Minnesota, lying Southwesterly of a line drawn parallel to and 60 feet Southwesterly of the Northeastly line of said Lot 2, as measured at right angles.
 Has caused the same to be surveyed and plotted as MIDDLETOWN 65.
 In witness whereof said CWP West Corp., a Delaware corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: CWP West Corp.

 Casey Lindsay, Vice President

STATE OF _____
 COUNTY OF _____

This instrument was acknowledged before me on _____ day of _____, 20____ by Casey Lindsay, Vice President of CWP West Corp., a Delaware corporation, on behalf of the corporation.

 (Signature)

 (Print Name)

Notary Public _____ County, _____
 My commission expires _____

I, Christopher A. Terwedo do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Christopher A. Terwedo, Licensed Land Surveyor
 Minnesota License No. 53536

STATE OF _____
 COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____ by Christopher A. Terwedo.

 (Signature)

 (Print Name)

Notary Public _____ County, _____
 My commission expires _____

CITY COUNCIL, CITY OF SPRING LAKE PARK, MINNESOTA

This plat of MIDDLETOWN 65 was approved and accepted by the City Council of the City of Spring Lake Park, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Spring Lake Park, Minnesota

By: _____ Mayor
 By: _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By: _____
 David M. Ziegmeier
 Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

Property Tax Administrator

By: _____ Deputy

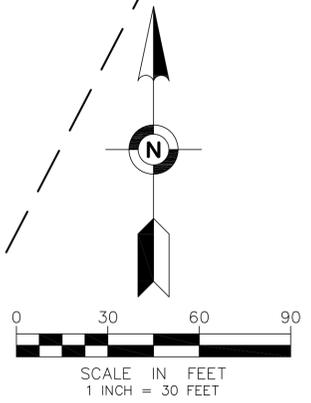
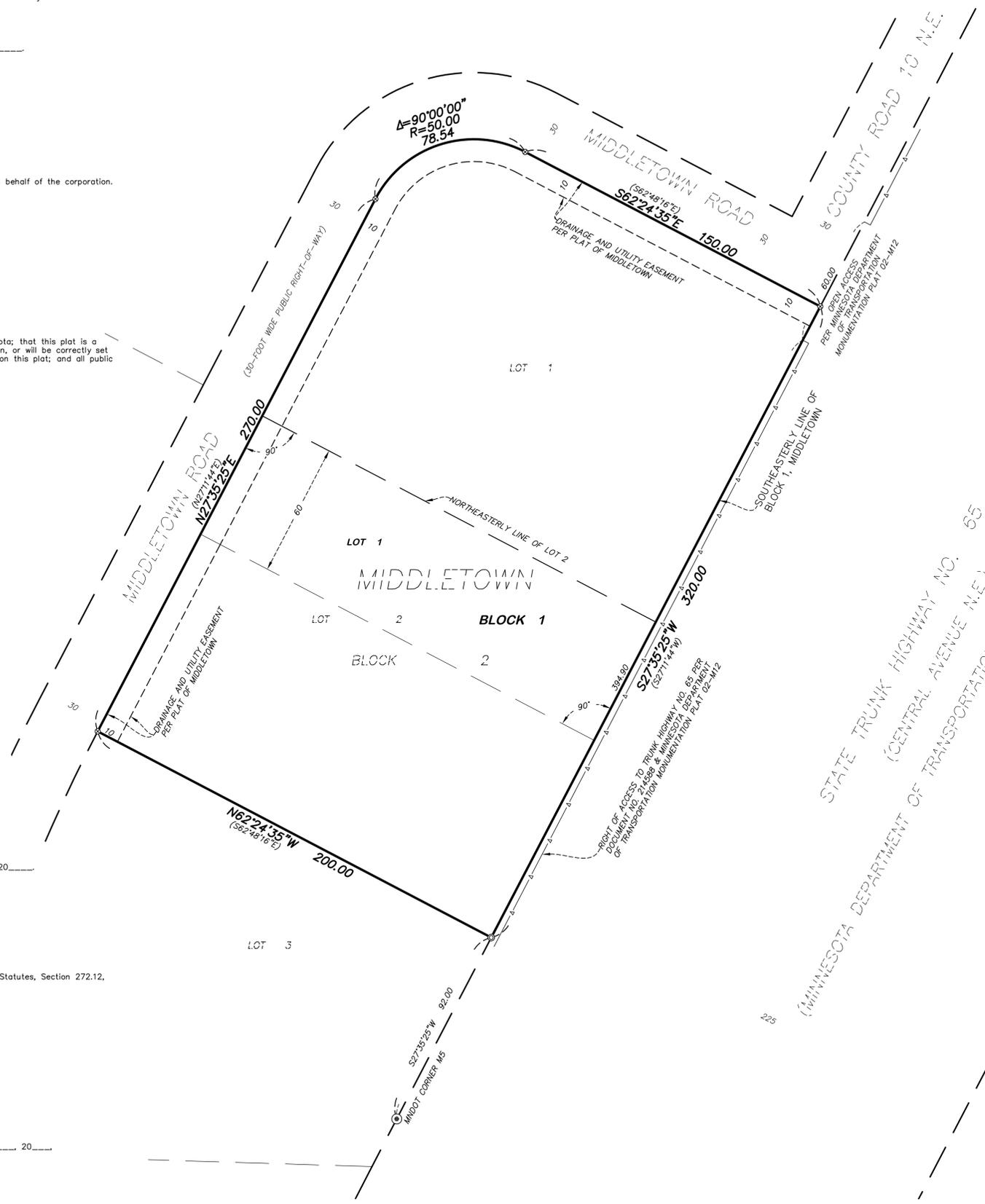
COUNTY RECORDER/REGISTRAR OF TITLES
 County of Anoka, State of Minnesota

I hereby certify that this plat of MIDDLETOWN 65 was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____.

at _____ o'clock _____M. and was duly recorded as Document Number _____

County Recorder/Registrar of Titles

By: _____ Deputy



THE SOUTHEASTERLY LINE OF BLOCK 1, MIDDLETOWN IS ASSUMED TO BEAR SOUTH 27 DEGREES 35 MINUTES 25 SECONDS WEST

- ⊙ FOUND CAST IRON MONUMENT
- ⊙ SET PK NAIL WITH DISK MARKED "L.S. 53536"
- ⊙ SET 5/8-INCH X 14-INCH REBAR WITH CAP MARKED "L.S. 53536"
- DENOTES EDGE OF WET LAND
- (N90°00'00"E) DENOTES RECORD BEARING PER THE PLAT OF MIDDLETOWN

