



**CITY COUNCIL REGULAR AGENDA**  
**MONDAY, FEBRUARY 07, 2022**  
**CITY HALL at 7:00 PM**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PLEDGE OF ALLEGIANCE**
- 4. ADDITIONS OR CORRECTIONS TO AGENDA**
- 5. DISCUSSION FROM THE FLOOR**
- 6. CONSENT AGENDA**
  - [A.](#) Approval of Minutes - January 18, 2022 City Council Meeting
  - [B.](#) Contractors License
- 7. DEPARTMENT REPORTS**
  - [A.](#) Public Works Report
  - [B.](#) Code Enforcement Report
- 8. ORDINANCES AND/OR RESOLUTIONS**
  - [A.](#) Resolution 22-06, Approving a Variance From Impervious Surface Coverage and Maximum Lot Coverage by Structures Limitation to Permit Construction of a Swimming Pool at 518 Rosedale Road NE
  - [B.](#) Resolution 22-07, Granting Approval of Conditional Use Permit for Jesus Christ International Ministries at 1440-1450 85th Avenue NE
  - [C.](#) Resolution 22-08, Rescinding the Revocation of Rental Housing License at 603 81st Ave NE
  - [D.](#) Resolution 22-09, Declaring Cost to be Assessed and Ordering Preparation of Proposed Assessment
  - [E.](#) Resolution 22-10, Approving the Tentative Agreement between the City of Spring Lake Park and IUOE Local #49, Representing the Public Works Maintenance Worker Bargaining Unit, for Calendar Years 2022-2023
- 9. UNFINISHED BUSINESS**
  - [A.](#) Resolution No. 22-XX, Approving Rental License Revocation for 814 Sanburnol Drive NE
- 10. NEW BUSINESS**
  - [A.](#) Approval of Hire for Police Officer
  - [B.](#) Approval of Health Care Savings Plan Policies
  - [C.](#) Authorization to Sign Cover Sheet for 2022-2023 Mounds View Street Project - (CSAH 10 Trail Extension Project)

**SEE REVERSE SIDE FOR RULES FOR PUBLIC HEARINGS AND  
DISCUSSION FROM THE FLOOR**

Individuals with disabilities needing auxiliary aid(s) may request assistance by contacting the City Clerk at 1301 81<sup>st</sup> Avenue NE, Spring Lake Park, MN 55432. Ph.763-784-6491 at least 48 hours in advance.

**11. REPORTS**

- A. Attorney Report
- [B.](#) Engineer Report
- C. Administrator Report

**12. OTHER**

- [A.](#) Correspondence
- B. Beyond the Yellow Ribbon Report

**13. ADJOURN**

## **RULES FOR DISCUSSION FROM THE FLOOR AND PUBLIC HEARINGS**

### **DISCUSSION FROM THE FLOOR**

- Discussion from the floor is limited to three minutes per person. Longer presentations must be scheduled through the Administrator, Clerk/Treasurer's office.
- Individuals wishing to be heard must sign in with their name and address. Meetings are video recorded so individuals must approach the podium and speak clearly into the microphone.
- Council action or discussion should not be expected during "Discussion from the Floor." Council may direct staff to research the matter further or take the matter under advisement for action at the next regularly scheduled meeting.

### **PUBLIC HEARINGS**

The purpose of a public hearing is to allow the City Council to receive citizen input on a proposed project. This is not a time to debate the issue.

The following format will be used to conduct the hearing:

- The presenter will have a maximum of 10 minutes to explain the project as proposed.
- Councilmembers will have the opportunity to ask questions or comment on the proposal.
- Citizens will then have an opportunity to ask questions and/or comment on the project. Those wishing the comment are asked to limit their comments to 3 minutes.

In cases where there is a spokesperson representing a group wishing to have their collective opinions voiced, the spokesperson should identify the audience group he/she is representing and may have a maximum of 10 minutes to express the views of the group.

- People wishing to comment are asked to keep their comments succinct and specific.
- Following public input, Councilmembers will have a second opportunity to ask questions of the presenter and/or citizens.
- After everyone wishing to address the subject of the hearing has done so, the Mayor will close the public hearing.
- The City Council may choose to take official action on the proposal or defer action until the next regularly scheduled Council meeting. No further public input will be received at that time.

## OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park City Council Regular was held on January 18, 2022 at the City Hall, at 7:00 PM.

### 1. CALL TO ORDER

Mayor Nelson called the meeting to order at 7:00 PM.

### 2. ROLL CALL

#### MEMBERS PRESENT

Mayor Nelson  
Councilmember Ken Wendling  
Councilmember Brad Delfs  
Councilmember Lisa Dircks

#### MEMBERS ABSENT

Councilmember Barbara Goodboe-Bisschoff

#### STAFF PRESENT

Building Official Jeff Baker, Police Chief Josh Antoine, Recreation Director Kay Okey, City Attorney John Thames, Deputy City Clerk Wanda Brown

#### VISITORS

Danielle Jones, 814 Sanburnol Drive NE, Spring Lake Park MN 55432

### 3. PLEDGE OF ALLEGIANCE

### 4. ADDITIONS OR CORRECTIONS TO AGENDA

Deputy City Clerk Brown asked that Items 8D-8G and Items 9C-9F be removed from the Agenda since the property owners paid all outstanding fees for the rental license.

### 5. DISCUSSION FROM THE FLOOR - None

### 6. CONSENT AGENDA

- A. Approval of Minutes – January 3, 2022 Council Meeting
- B. Approval of Claims – General Disbursements - \$359,058.04
- C. Contractor's License
- D. Business License

Motion made by Councilmember Wendling to approve Consent Agenda.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson.  
Motion carried.

## **7. DEPARTMENT REPORTS**

### **A. Police Report**

Chief Antoine reported that the Police Department responded to 701 calls for service in December 2021 compared to 711 calls for service for the month of December 2020. He said that School Resource Officer Imig reported handling 7 calls for service in December, as well as handling 20 student contacts, 26 student escorts. Investigator Bennek reported handling 26 cases for the month of December, 23 of which are felony in nature and 5 forfeiture cases. He thanked SRO Imig and Investigator Bennek for the help covering shifts. He reported that he continues to manage the hiring process and hopes to close it out by the beginning of February. He went on to thank his staff for their perseverance throughout the changes over the last six months, while continuing to over the high value of service.

Mayor Nelson asked the residents of Spring Lake Park to keep their eyes open and report any suspicious activity they may see in the area. Chief Antoine recommended residents go to the website to learn more about the City's Neighborhood Watch program.

Councilmember Wendling commented on the new badges and patches. Chief Antoine commented that they removed the anniversary date and updated the colors, to create a differentiation between officer, Chief and Sergeant.

### **B. Recreation Report**

Recreation Director Okey. She highlighted the Volleyball Program that Coordinator Wesley Goldberg has coordinated with New Brighton and Fridley. She stated that ice rinks opened on December 30, 2021, and the hours can be found online for the rinks. She reported that Tower Days planning begins Tuesday, January 25 at 6:30 pm.

## **8. PUBLIC HEARINGS**

### **A. Process for Rental License Revocation**

Building Official Baker stated that on November 15, 2021 the Rental Application and the Housing Code were mailed out to all property owners and mailed again on December 16, 2021. He said that on January 3, 2022, Code Enforcement staff noted all properties that were not updated for licensing and a statement of cause was mailed to the owner and also hand delivered to the tenants to make them aware of the status of said property.

Building Official Baker provided an overview of the hearing procedure. He stated that if revocation is decided, Code Enforcement staff will post the building for 45 days. He noted that if no action is done to correct the revocation after 45 days an unlawful occupancy posting will go up.

B. Hearing on Revocation of Rental Housing License – 814 Sanburnol Drive NE

Mayor Nelson read the Resolution Approving the Revocation of the Rental License of certain property located at 814 Sanburnol Drive NE, pursuant to Sec. 12.16.140 of the City of Spring Lake Park Code.

Councilmember Delfs made motion to open Public Hearing on 814 Sanburnol Drive NE.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

Public Hearing opened at 7:18 PM.

Danielle Jones, owner of 814 Sanburnol Drive NE, stated that she resides at the premises and it is no longer rental property. Staff informed her that she needs to show proof that the property is homesteaded in order to have the rental status removed.

City Attorney Thames suggested the revocation action be tabled for one month until Ms. Jones can bring in proof of the Homestead status. She confirmed that she could meet the requirements of the City for proof of Homestead status.

Councilmember Delfs made motion to close the Public Hearing on 814 Sanburnol Drive NE.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

Public Hearing closed at 7:24 PM.

Councilmember Delfs made a motion to table the Revocation of the Rental License until February 22, 2022. Staff is authorized to cancel Revocation if the Homestead Application is filed and approved.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

C. Hearing on Revocation of Rental License – 603 81<sup>st</sup> Avenue NE

Mayor Nelson read the Resolution Approving the Revocation of the Rental License of certain property located at 603 81<sup>st</sup> Avenue NE, pursuant to Sec. 12.16.140 of the City of Spring Lake Park Code.

Building Official Baker stated that as of 4:30 PM the City had not heard from the property owner. He also informed the Council that the owner was furnished with the November and December letter. Inspector Morris did contact the tenant advising them of their rights to appear at the Council Meeting.

Seeing no Representation in the audience the Mayor called for a motion.

Motion was made by Councilmember Delfs to Open the Public Hearing for Revocation of the Rental License at 603 81<sup>st</sup> Avenue NE.

Public Hearing opened at 7:37 PM.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

Building Official Baker gave an overview of the property. Since there were no further members wishing to speak, Mayor asked for a motion to close the hearing.

Councilmember Delfs made a motion to Close the Public Hearing

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

Public Hearing closed at 7:38 PM.

## **9. ORDINANCES AND/OR RESOLUTIONS**

- A. Resolution No. 22-XX, Approving Rental License Revocation for 814 Sanburnol Drive NE

Resolution was tabled pending property owner showing documentation of homesteading.

- B. Resolution No. 22-05, Approving Rental License Revocation for 603 81st Avenue NE

Motion made by Councilmember Delfs to approve the resolution to approve rental license revocation for 603 81<sup>st</sup> Avenue NE.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

**10. NEW BUSINESS****A. Consider Expanding Membership Eligibility for Park and Recreation Commission**

Director Okey talked about the proposal to amend the Membership for the Park and Recreation Commission. She gave the Council an overview of the Commission and its makeup of members, along with the what they do (advise the council). The proposal is restructuring the Commission to be 5 City Members and 2 At-Large Members, where the person would need to live in the school district or be active in the program, such as a coach or other volunteer capacity.

Mayor Nelson clarified that the Council is the body that makes all financial decisions. Director Okey concurred, noting that the Commission is an advisory board and that they advise the Council on the park improvements and recreation programs and that the Council has final authority. She expressed her belief that the structure still allows the residents to have the majority of the vote on the issue.

Motion made by Councilmember Dircks to expand membership eligibility for the Park and Recreation Commission.

Voting Aye: Councilmember Wendling, Councilmember Delfs, Councilmember Dircks, Mayor Nelson. Motion carried.

**11. REPORTS**

- A. Engineer Report – Report in packet
- B. Attorney Report -- No Report
- C. Administrator Report – No Report

**12. OTHER****A. Correspondence**

Mayor Nelson expressed his family's gratitude for the help that his wife received after her fall.

Deputy Clerk Brown informed residents to contact the City if their recycling cart was not picked up by Waste Management. She also reminded residents that the new recycling day is Wednesday.



**13. ADJOURN**

Motion made by Councilmember Wendling to adjourn.

Voting Aye: Councilmember Delfs, Councilmember Dircks, Councilmember Wendling. Mayor Nelson.  
Motion carried.

The meeting was adjourned at 7:52 PM.

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Robert Nelson, Mayor

Attest:

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Daniel R. Buchholtz, Administrator, Clerk/Treasurer

City of Spring Lake Park  
1301 81st Avenue NE  
Spring Lake Park, MN 55432

Contractor's Licenses

February 7, 2022

General Contractor

Lakes Gas Co.

Shingobee Builders, Inc.



# Memorandum

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**To:** Mayor Nelson and Members of the City Council  
**From:** Terry Randall, Public Works Director  
**Date:** February 2, 2022  
**Subject:** January 2022 Public Works Report

**During the month of January, the Public Works Department was busy doing the following activities:**

- Continued to pick up garbage and recycling throughout the City along with doing general cleaning of all City Properties.
- Continue to do daily maintenance of the skating rinks, sweeping, shoveling and flooding them.
- Have plowed six (6) times which includes all parking lots and sidewalks. Snow was hauled away from the cul-de-sacs and parking lots.
- Trees were removed that were hanging over the water at Triangle Park. We also trimmed the branches along the sidewalk that were hitting the sidewalk machine.
- The Water Department had two water main breaks. One we at 301 Maple Street NE and the other was at 601 83<sup>rd</sup> Avenue NE. Valley Rich Company made the repairs. The water was off for approximately 1.5 hours each time.
- On the cold days staff was working on the equipment in the shop.

**January Appointments:**

- January 11 – Meeting with Director Okey and a vendor on the Able Park Building.
- January 13 – Attended the Blood Borne Pathogens Training with the Police Department.
- January 31 – Attended the Bid Opening on the Garfield-Hayes Project



**City of Spring lake Park**  
**Code Enforcement Division**  
1301 Eighty First Avenue Northeast  
Spring Lake Park, Minnesota 55432  
(763) 783-6491 Fax: (763) 792-7257

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## REPORT

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**TO:** Spring Lake Park City Council  
**FROM:** Jeff Baker, Code Enforcement Director  
**RE:** Code Enforcement Monthly Report for January 2022  
**DATE:** February 2, 2022

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The Spring Lake Park Code Enforcement department is the authority having jurisdiction for all building, mechanical, plumbing, fire, rental, property nuisance and zoning codes within Spring Lake Park.

In January, a total of 5 building, 6 mechanical, 5 plumbing, 1 Fire and 1 Zoning for a total of 18 permits issued compared to a total of 28 in 2021. Code Enforcement conducted 95 inspections in the month of January including 36 Building, 31 rental, 21 nuisance, 7 fire and 1 zoning inspections.

Inspector Morris and I, spent quite a bit of time on letters and postings for the delinquent rental properties. We have had some push back by some owners, but I feel that there has been more positive feedback than negative.

The Code Enforcement department would like to thank the Spring Lake Park City council for adopting the new Rental Housing Policy. I am happy to say that we now have every rental property in the city registered.

**Construction Update:**

Suite Living Spring Lake Park: has slowed down considerably. Lumber and construction material shortage has impacted them greatly.

McKinley Home: The final certificate of occupancy has been issued and all permits closed out.

In January of 2022, I also attended the following appointments:

- City Council meeting on Monday, January 3<sup>rd</sup> and 18<sup>th</sup>.
- Department Head meeting on January 4<sup>th</sup>.
- Building Officials Conference, January 10<sup>th</sup> through 13<sup>th</sup>.
- Plan Commission meeting January 24<sup>th</sup>.

This concludes the Code Enforcement Department monthly report for January 2020. If anyone has any questions or concerns regarding my report, I would be happy to answer them at this time.

# Memorandum

**To:** Mayor Nelson and Members of the City Council  
**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer  
**Date:** January 31, 2022  
**Subject:** Variance Request – 518 Rosedale Rd NE

## Background

Ryan and Kelsey Hollihan, 518 Rosedale Road NE, submitted an application for a variance from Section 16.20.090 of the Zoning Code limiting impervious surface coverage to 50% of any zoning lot located in the R-1 zoning district and from Appendix E of the Zoning Code limiting maximum percentage of lot coverage for all structures in the R-1 zoning district to 35%.



The applicant is seeking the variance to permit construction of a 16 foot by 32 foot pool in their backyard for aquatic therapy purposes.

The site is located on the 500 block of Rosedale Road NE, between Terrace Road and Monroe Street. The property is guided for low density residential in the 2040 Comprehensive Plan. The property is zoned

R-1, Single Family Residential – allowed uses include single-family homes. Property records show that the house on the property was constructed in 1965.

Performance standards within the R-1 zoning district are as follows:

Dwelling, single family – front yard	35 feet
Dwelling, single family – rear yard	40 feet
Dwelling, single family – side yard	10 feet
Accessory uses, rear yard	5 feet
Accessory uses, side yard	5 feet

Appendix D sets the maximum percentage of lot coverage of all structures in the R-1 district at 35%. The applicant’s property is approximately 10,050 square feet, which would accommodate a maximum structure lot coverage of 3,517 square feet. With the swimming pool addition, the total square footage of all structures on the property is 3,782 square feet or 37.6% of the total lot size.

Section 16.20.090 limits impervious surface coverage to 50% of any lot located in the R-1 zoning district. For the applicant’s property, the maximum impervious surface permitted is 5,025 square feet. The addition of the pool will increase the impervious surface amount to approximately 5,829 square feet, or 58%.

*Previous applications:* Variance from front yard setback standards to permit the construction of a porch (2020); Zoning permit for fence.

### **Variance**

Section §16.60.040 of the City of Spring Lake Park’s zoning code outlines the criteria for considering variances:

“The City Council may grant a variance from the strict application of this title and impose conditions and safeguards on the variance so granted only in instances where their strict enforcement would cause practical difficulties in complying with the official control because of circumstances unique to the individual property under consideration, and may grant a variance only when it is demonstrated that such actions will be in harmony with the general purposes and intent of this title and when the variances are consistent with the Comprehensive Plan. “Practical difficulties” as used in connection with granting of a variance means that the property owner proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties also includes, but is not limited to, direct sunlight for solar energy systems. A variance shall not be granted to allow a use that is not allowed in the zoning district involved.”

## Recommendation

The Planning Commission recommended approval of the variance on a 3-2 vote.

The majority of the Planning Commission found that the swimming pool will not alter the character of the neighborhood as the pool is a modest sized pool. In-ground pools are found on a number of properties in the community, and therefore are residential in nature. In addition, there is existing privacy fencing on the west and south property lines. Combined with the house to the south and the accessory building to the east, the pool will be completely screened. The applicant is seeking to utilize the pool for aquatic therapy and not for commercial use. The size of the existing lot is a consideration; however, the property owner did not create this unique circumstance.

A minority of the Planning Commission expressed concerns about the amount of impervious surface on the lot, rainwater runoff during significant storm event, and the negative impact the project will cause to the neighborhood character and aesthetic.

If the City Council wishes to approve the variances, the City Council would adopt Resolution 22-06, which includes the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. Applicant shall construct a rain garden to treat storm water runoff generated by additional impervious surface created by the swimming pool.
5. Applicant shall remove the concrete walkway on the west side of the existing accessory building and replace it with pervious pavers or other pervious surface approved by the City Engineer to reduce the amount of impervious surface on the property.

If the City Council wishes to deny the variance, the City Council would adopt Resolution 22-06(A)<sup>1</sup>, which makes the following findings of fact.

1. The proposed addition greatly exceeds the impervious surface standard set forth the Zoning Code.
2. Exceeding the impervious surface standard increases the amount of rainwater that can run off the property, thereby creating flooding situations for neighboring properties and further contributing to the overloading of the City's storm water system.
3. All of the homes along Rosedale Road are within the impervious surface and structure limitations set forth within City Code. The proposed pool addition will significantly increase structure and impervious surface coverage, thereby changing the character of the neighborhood.
4. The aesthetic of the property will be negatively impacted due to the significant amount of impervious surface on the property.

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<sup>1</sup> 22-06(A) is meant to assist the City Council in differentiating the two resolutions. If the City Council was to approve this resolution, it would officially be numbered Resolution 22-06.

If you have any questions regarding this application, please don't hesitate to contact me at 763-784-6491.



**RESOLUTION NO. 22-06**

**A RESOLUTION APPROVING A VARIANCE FROM IMPERVIOUS SURFACE  
COVERAGE AND MAXIMUM LOT COVERAGE BY STRUCTURES LIMITATION  
TO PERMIT CONSTRUCTION OF A SWIMMING POOL AT  
518 ROSEDALE ROAD NE**

**WHEREAS**, Kelsey and Ryan Hollihan (“Applicant”) have made an application for a variance from Section 16.20.090 of the Zoning Code, limiting impervious surface coverage to 50% of a lot in the R-1 zoning district, and Appendix E of the Zoning Code limiting the maximum lot coverage of all structures on a lot in the R-1 zoning district to 35%; and

**WHEREAS**, the Applicant desires to construct a 16 foot by 32 foot in-ground swimming pool in the rear yard; and

**WHEREAS**, the property, 518 Rosedale Road NE, is legally described as follows:

Lot 4 Block 1 Clearview Heights Addition, subject to easement of record; and

**WHEREAS**, mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS**, a public hearing to consider the proposed variance was held on January 24, 2022; and

**WHEREAS**, requests were made for a variance from Section 16.20.090 of the Zoning Code to permit impervious surface coverage of 58% on the lot and for a variance from Appendix E of the Zoning Code to increase the total square footage of all structures on the property to 37.6% of the total lot size; and

**WHEREAS**, the Planning Commission has considered the application against the practical difficulties test as outlined in Section 16.60.040 of the Spring Lake Park Zoning Code; and

**WHEREAS**, the Planning Commission has recommended approval subject to reasonable conditions, based on the following findings of fact:

1. The proposed swimming pool is modest in size and will be screened on all sides from neighboring properties, thereby not altering the essential character of the neighborhood.
2. The Applicant is proposing to use the pool for aquatic therapy purposes to address a chronic condition; therefore, the proposed swimming pool is a reasonable use of the property.
3. The Applicant’s plight is due to circumstances unique to the property not created by the landowner.

**WHEREAS**, the Spring Lake Park City Council has reviewed the application and hereby accepts the findings and recommendations of the Spring Lake Park Planning Commission.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council hereby approves the request of Kelsey and Ryan Hollihan, 518 Rosedale Road NE, for a variance from Section 16.20.090 and Appendix E of the Zoning Code; subject to the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code;
2. Applicant must apply for all building permits prior to construction of the pool;
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the Applicant's property;
4. Applicant shall construct a rain garden to treat stormwater runoff generated by the additional impervious surface created by the swimming pool; and
5. Applicant shall remove the concrete walkway on the west side of the existing accessory building and replace it with pervious pavers or other pervious surface approved by the City Engineer to reduce the amount of impervious surface on the property.

The foregoing Resolution was moved for adoption by.

Upon Vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Whereon the Mayor declared said Resolution duly passed and adopted the 7th day of February 2022.

APPROVED BY:

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Robert Nelson, Mayor

ATTEST:

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Daniel R. Buchholtz, City Administrator



**City of Spring Lake Park**  
 1301 81st Avenue NE  
 Spring Lake Park, MN 55432  
 763-784-6491 (p) 763-792-7257 (f)  
[info@slpmn.org](mailto:info@slpmn.org)

For Office Use Only	
Case Number:	
Fee Paid:	
Received by:	
Date Filed:	
Date Complete:	
Base Fee:	150 Escrow: 300

## DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal <input type="checkbox"/> Comprehensive Plan Amendment <input type="checkbox"/> Ordinance Amendment (Text) <input type="checkbox"/> Rezoning <input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Site Plan/Building Plan Review <input type="checkbox"/> Conceptual Plan Review <input type="checkbox"/> Conditional Use Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Minor Subdivision <input type="checkbox"/> Lot Combination <input type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 518 Rosedale Rd NE, Spring Lake Park MN 55432		
Property Identification Number (PIN#): 023024420005		Current Zoning: R-1
Legal Description (Attach if necessary): <b>Lot 4 BLK 1 clearview heights add</b>		
APPLICANT INFORMATION		
Name: Ryan & Kelsey Hollihan		Business Name:
Address: 518 Rosedale Rd NE		
City: Spring Lake Park	State: MN	Zip Code: 55432
Telephone: 6514600122	Fax:	E-mail: kelseyhollihan@yahoo.com
Contact: Kelsey Hollihan		Title:
OWNER INFORMATION (if different from applicant)		
Name: <b>Same as above</b>		Business Name:
Address: <b>Same as above</b>		
City:	State:	Zip Code:
Telephone:	Fax:	E-mail:
Contact:		Title:
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: <b>private residence fenced back yard</b>		
Nature of Proposed Use: <b>underground pool - Private residence</b>		
Reason(s) to Approve Request: <small>In the last 3 years, I have had a series of 7 back surgeries, leaving me with chronic back pain. It has been highly encouraged by my physician that I begin water therapy. Having a pool would allow me to begin private therapy.</small>		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:		Date of Application:
Nature of Request: <b>N/A</b>		
<b>NOTE:</b> Applications only accepted with ALL required support documents. See City Code		

**APPLICATION FEES AND EXPENSES:**

The City of Spring Lake Park required all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. **All fees and expenses are due whether the application is approved or denied.**

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. **I agree to pay to the City all costs incurred during the review process as set forth in this Agreement.** This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

E-mail kelseyhollihane@yahoo.com  Fax \_\_\_\_\_  USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: [Signature] Date: 12-23-2021  
Owner: [Signature] Date: 12-23-2021

**NOTE: Applications only accepted with ALL required support documents. See City Code**

**City of Spring Lake Park  
Variance Supplemental Application**

A variance cannot be approved unless the Planning Commission and City Council find that the "practical difficulties" standard has been met. Please provide a response as to how/why your project will meet the following criteria. Use additional sheets if necessary and consult with the Zoning Administrator if you need clarification on the intent of any of the standards set below.

1. Applicant Information:

Name: Ryan & Kelsey Hollihan Telephone: 651.460.0122  
Address: 518 Rosedale Rd NE Cell Phone: 651.460.0122  
City/State/Zip: Spring Lake Park, MN 55432 E-mail: kelseyhollihan@yahoo.com

2. Property Owner Information (if different from above):

Name: SAME AS ABOVE Telephone: \_\_\_\_\_  
Address: \_\_\_\_\_ Cell Phone: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_ E-mail: \_\_\_\_\_

3. Project Location (Address and Legal Description): 518 Rosedale Rd NE, Spring Lake Park MN 55432  
LOT 4 BLK 1 CLEARVIEW HEIGHTS ADD

4. Present Use of Property: \_\_\_\_\_ Residential - Homestead

5. Description of Project: In-ground pool

6. Specify Section of the Ordinance from which variance is sought: 16.20.090 - Set Backs: Lot Coverage  
Impervious Surface

7. Explain how you wish to vary from the applicable provisions of this Ordinance: We are requesting a  
variance to exceed the 50% maximum usage by a reasonable 8% to install an in-ground pool in our  
backyard. The pool would be utilized specifically for aquatic therapy specific to ADA guidelines. (see  
attached)

8. Please attach a site plan or accurate survey as may be required by Ordinance.

9. **Practical Difficulties Test:** Please answer the following questions as they relate to your specific variance request.

a. In your opinion, is the variance in harmony with the purposes and intent of the Ordinance?

Yes  No Why or why not?

We currently have an completely fenced in (6' cedar privacy fence) surrounding our yard. The pool  
will not be visible from the public roadway. As stated above, it has been advised by my medical team  
that I begin aquatic physical therapy, this variance will allow me to do that a minimum of 3 times per week.

b. In your opinion, is the variance consistent with the Comprehensive Plan?

Yes  No Why or why not?

We are asking for a small overage of the allotted impervious land usage (approximately 8%), as well as assisting in the management of long-term health and pain of a fairly young family.

c. In your opinion, does the proposal put property to use in a reasonable manner?

Yes  No Why or why not?.

Again, it is a small overage that we are requesting permission to exceed. Also, it is highly encouraged that I begin aquatic therapy in addition to the multitude of other treatments that I am currently active in.

d. In your opinion, are there circumstances unique to the property? (physical characteristics of the property – i.e. sloping topography or other natural features like wetlands or trees)?

Yes  No Why or why not?

Our backyard is completely fenced and is relatively flat.

e. In your opinion, will the variance maintain the essential character of the locality?

Yes  No Why or why not?

It is completely fenced in and located in the back yard. Neither are visible from the public roadway.

The Planning Commission must make an affirmative finding on all of the five criteria listed above in order to grant a variance. The applicant for a variance has the burden of proof to show that all of the criteria listed above have been satisfied.

The undersigned certifies that they are familiar with application fees and other associated costs and also with the procedural requirements of the City Code and other applicable ordinances.

Applicant Signature:



Date:

12.24.2021

Fee Owner's (Property Owner) Signature:



Date:

12.24.2021

## **16.60.040 Variances**

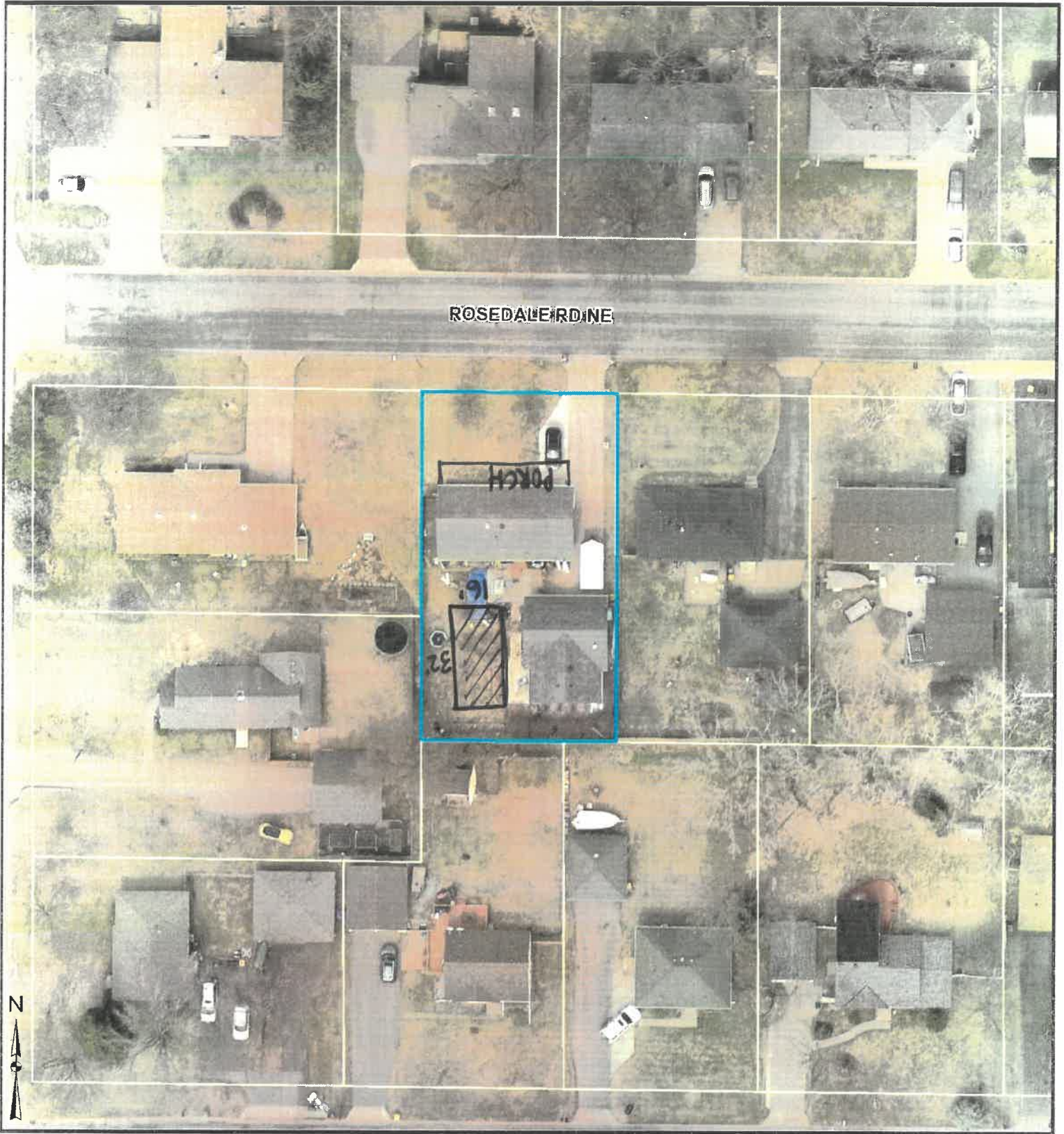
- A. *Purpose.* The City Council may grant a variance from the strict application of this title and impose conditions and safeguards on the variance so granted only in instances where their strict enforcement would cause practical difficulties in complying with the official control because of circumstances unique to the individual property under consideration, and may grant a variance only when it is demonstrated that such actions will be in harmony with the general purposes and intent of this title and when the variances are consistent with the Comprehensive Plan. "Practical difficulties" as used in connection with the granting of a variance means that the property owner proposes to use the property in a reasonable manner not permitted by an official control, the plight of the landowner is due to circumstances unique to the property not created by the landowner, and the variance, if granted, will not alter the essential character of the locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties also includes, but is not limited to, direct sunlight for solar energy systems. A variance shall not be granted to allow a use that is not allowed in the zoning district involved.
- B. The City Council may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- C. *Application.* An application for a variance shall be filed with the Zoning Administrator and shall state the unique circumstances claimed as a basis for the variance. The application shall contain at least the following information:
1. The signature of each owner of affected property or his agent.
  2. The legal description of the property and the common address.
  3. A description of the variance requested and a statement demonstrating that the variance would conform to the requirements necessary for approval.
  4. The present use.
  5. Any maps, drawings and plans that the Zoning Administrator considers to be of value in considering the application.
- D. *Referral to Planning Commission.* The application shall be referred to the Planning Commission for study concerning the effect of the proposed variance upon the Comprehensive Plan, and upon the character and development of the surrounding neighborhood. The Planning Commission shall make a recommendation to the City Council to grant or deny the variance, and may recommend imposing conditions in the granting of the variance. The conditions may include considerations such as location, character and other features of the proposed building.
- E. *Approval; denial.* Variances require the approval of a majority vote of the City Council. Variances may be denied by motion of the City Council and such motion shall constitute a determination that the findings required for approval do not exist. No application for a variance which has been denied in whole or in part shall be resubmitted within six months of the date of the order of denial, except upon grounds of new evidence or upon proof of change of conditions. The City Council may impose conditions upon the granting of a variance. The conditions may include considerations such as location, aesthetics and other features of the proposed buildings. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.
- F. *Decision period.* All applications shall be reviewed consistent with M.S. § 15.99.
- G. *Revocation.* A violation of any condition attached to the approval of a variance shall constitute a violation of this title and shall constitute sufficient cause for the termination of the variance by the

City Council.

H. *Expiration.* If the development does not proceed within one year of the date on which the variance was granted, such variance shall become void, except that, on application, the City Council may extend the variance for such additional period as it deems appropriate.



# Anoka County Parcel Viewer

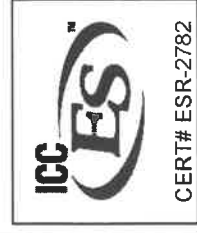
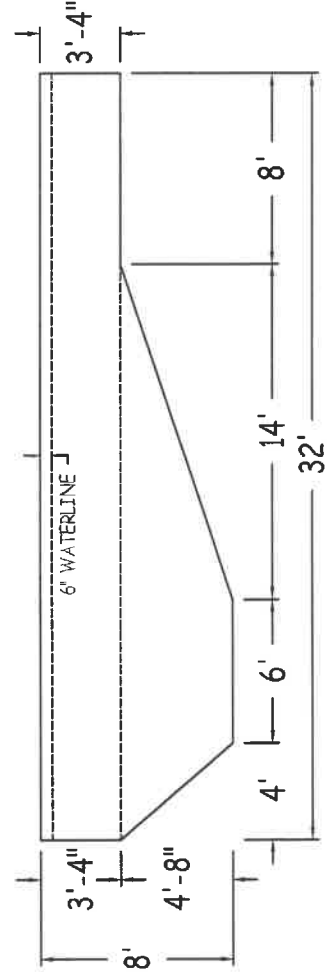
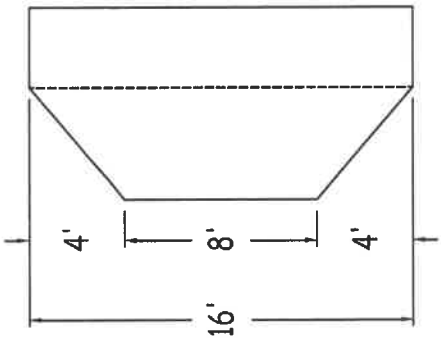
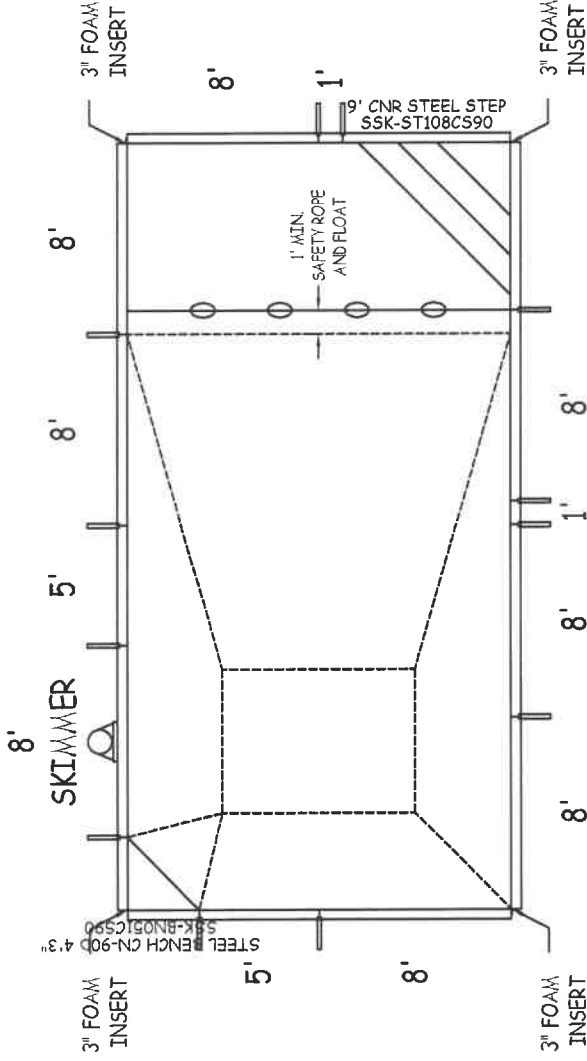


**Parcel Information:** Approx. Acres: 0.23  
02-30-24-42-0005 Commissioner: ROBYN WEST  
518 ROSEDALE RD NE  
SPRING LAKE PARK  
MN 55432  
Plat: CLEARVIEW HEIGHTS ADDITION

## Owner Information:

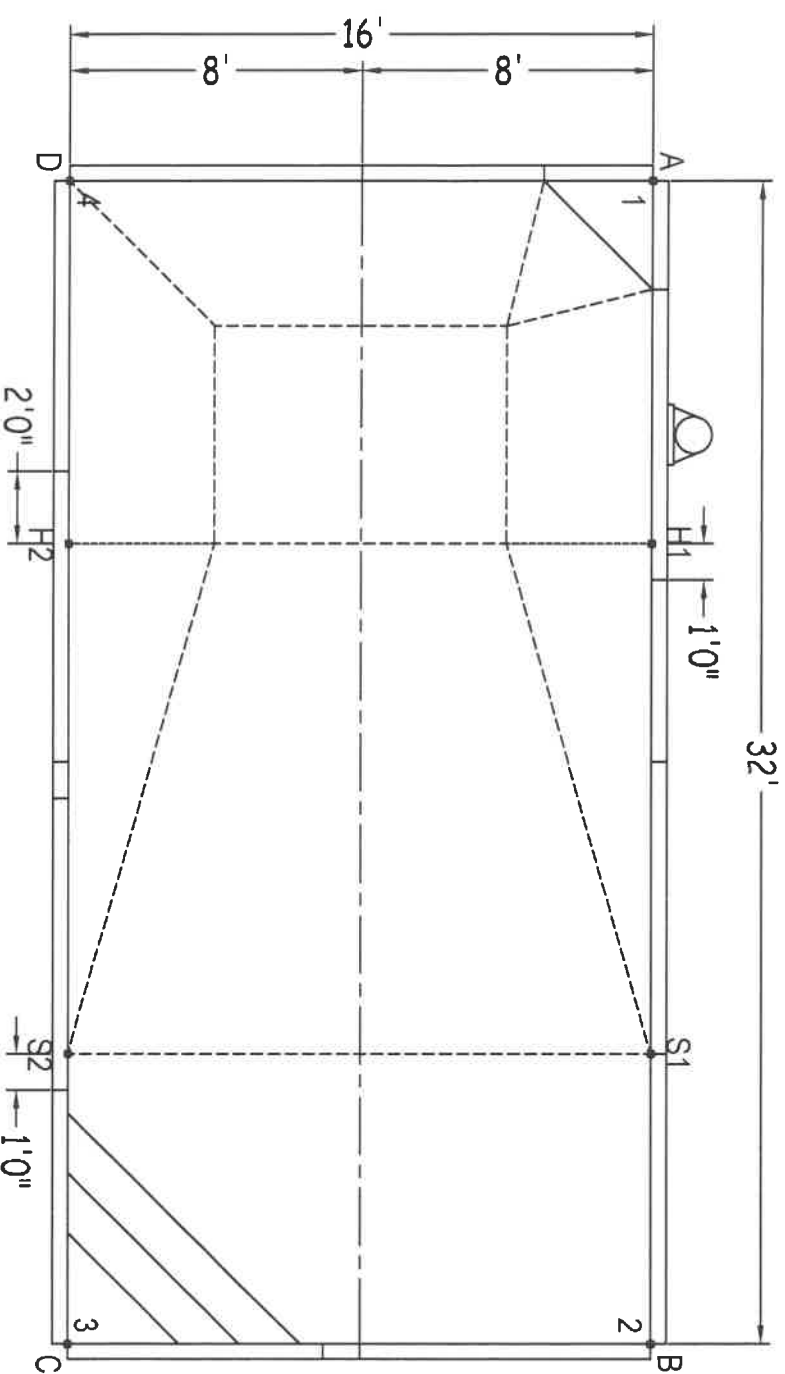


IN ACCORDANCE WITH ANSI/APSP/ICC-5 2011, THE INSTALLER IS RESPONSIBLE FOR PLACING ONE SKIMMER FOR EVERY 800 SQUARE FEET OF SURFACE AREA AND ONE RETURN FOR EVERY 300 SQUARE FEET OF SURFACE AREA.



<b>LATHAM STEEL</b>		<b>RECTANGLE 16-0 X 32-0</b>		CUSTOMER: SPP/MINNEAPOLIS	
42" STEEL PANELS	PERIMETER:	96'-0"	VOLUME (US Gal):	16800	<p><b>Feet First</b></p> <p>ALL ASPECTS OF THIS DRAWING COMPLIES WITH ANSI/APSP/ICC-5 2011 AND 2015 ISPPSC</p>
DWG#:	SURFACE (ft²):	512	VOLUME (Liters):	63600	
2021-SPL-78166	LINER (ft²):	512	DATE:	11/9/2021	
KIT#:	CUSTOMKIT COVER (ft²):	612	SCALE:	1/8" = 1'-0"	JOB NAME: SPARKLE/HOLLIHAN 2
<b>RECTANGLE</b>					
					SHEET: 1 OF 2

Diagonals			
S1toS2	16'-0"	S1toH2	21'-3"
H1toH2	16'-0"	H1toS2	21'-3"
S1toH1	14'-0"	1 to 2	32'-0"
S2toH2	14'-0"	1 to 3	35'-9 1/4"
		1 to 4	16'-0"



Part number	Description	QTY
ST0960002X	8"	7
ST0960002*	8" SKIMMER	1
ST0600001X	5"	2
ST0120000X	1"	2
12-159	3" FOAM INSERT	4
Brace	Brace	12
IPC-AB90	CONNECTOR CNR ANGLE 90D 42"	2
IPC-STPK25	REBAR STAKE 18" 25PC	2
IPC-HDWS1RT150	BOLT STR 3/8-16X1" CW NUT 150PC	2
SSK-BN051CS90	STEEL BENCH CN-90D 43"	1
SSK-ST108CS90	STEEL STEP CN-90D 3 TRD 9"	1

	A	B	C	D
1	0"	32'-0"	35'-9 1/4"	16'-0"
2	32'-0"	0"	16'-0"	35'-9 1/4"
3	35'-9 1/4"	16'-0"	0"	32'-0"
4	16'-0"	35'-9 1/4"	32'-0"	0"
S2	28'-10 3/4"	17'-10 3/4"	8'-0"	24'-0"
S1	24'-0"	8'-0"	17'-10 3/4"	28'-10 1/4"
H2	18'-10 1/2"	27'-2 1/2"	22'-0"	10'-0"
H1	10'-0"	22'-0"	27'-2 1/2"	18'-10 1/2"
A	-	32'-0"	35'-9 1/4"	16'-0"

RECTANGLE 16-0 X 32-0

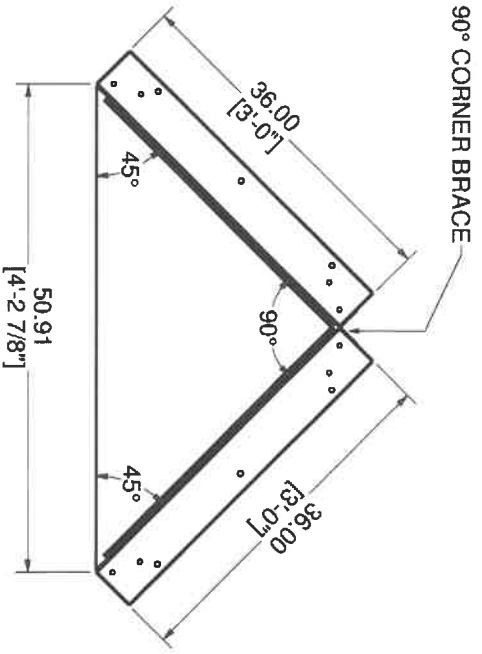
DWG #: 2021-SPL-78166

DATE: 11/9/2021

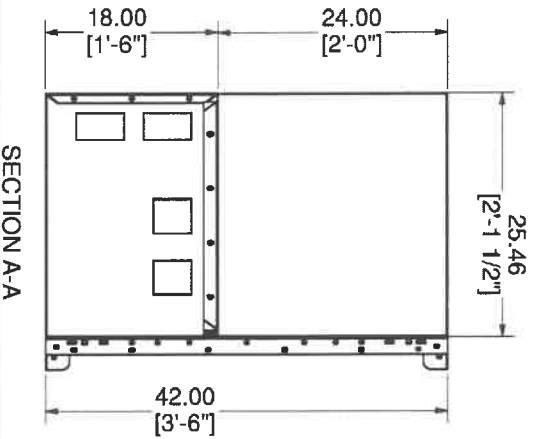
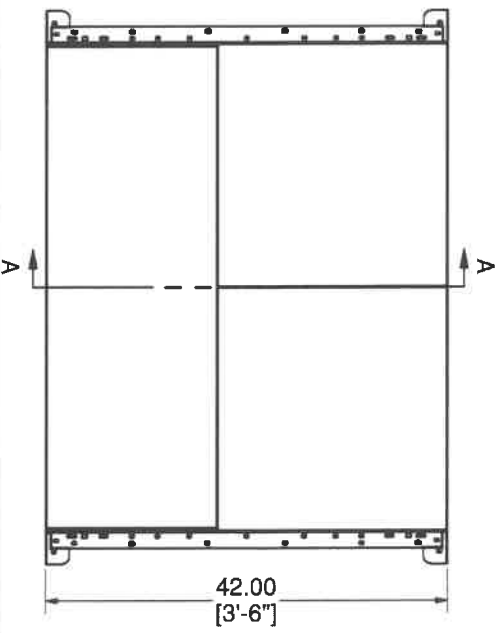
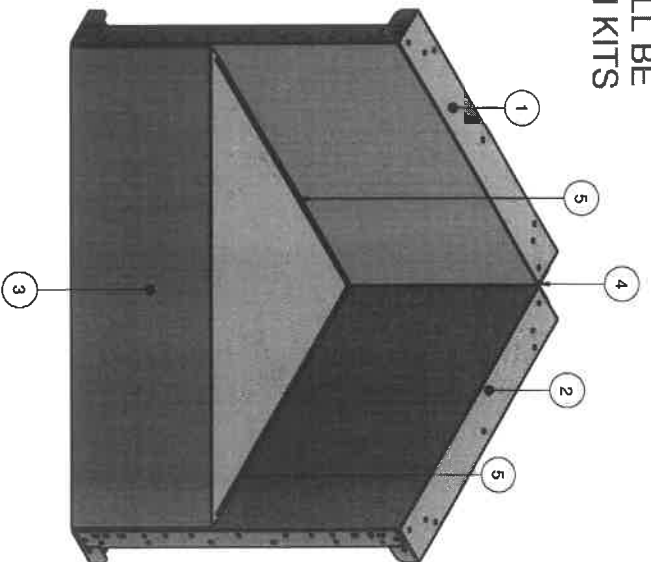
SHEET: 2 OF 2

ITEM		QTY	PART NUMBER	DESCRIPTION
1	1	SSC-1677-A	36" X 42" BENCH SIDE WALL, LEFT	
2	1	SSC-1676-A	36" X 42" BENCH SIDE WALL, RIGHT	
3	1	SSC-1675-A	STRAIGHT, 51" X 18" X 25.5" BENCH	
4	1	IPC-AB90	90 DEGREE BRACE	
5	2	SSC-1099	BEAD RECEIVER, 34"	

Parts List



NOTE: PVC 6 " RADIUS INSERTS WILL BE PROVIDED WITH ALL STEP/BENCH KITS THAT HAVE 90 DEGREE CORNER.



# STEEL BENCH, CN-90D 4'-3"



TOLERANCES EXCEPT AS NOTED:

0/0	0.0	0.00	0.000	0°
±1/8	±0.25	±0.0625	±0.03125	±1/2°

DATE : 1/10/2017

PART #: SSK-BN051CS90

SHEET : 1 OF 1

SECTION: 18 - 2

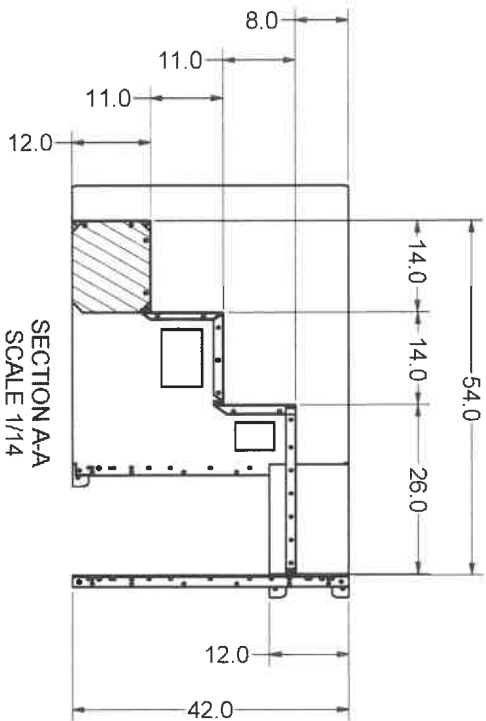
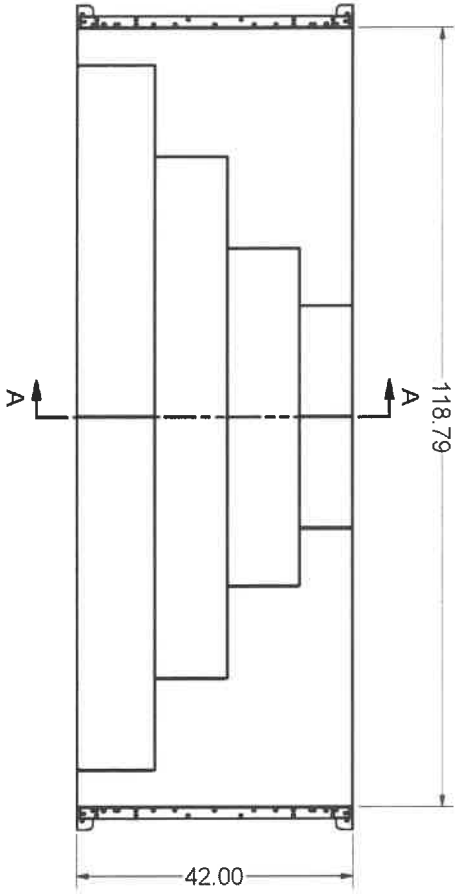
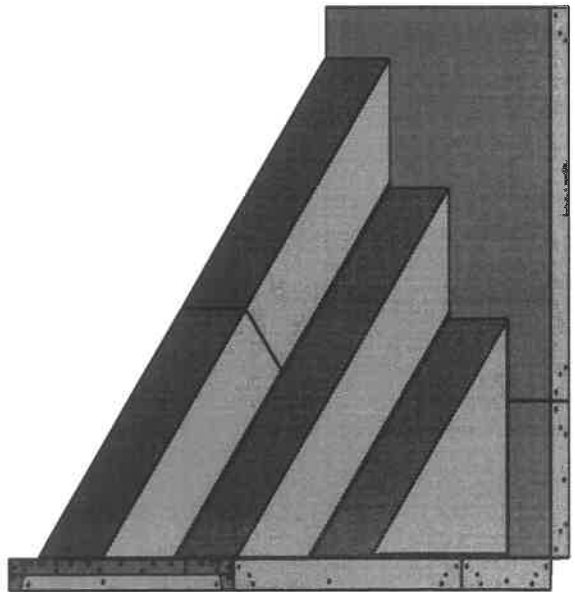
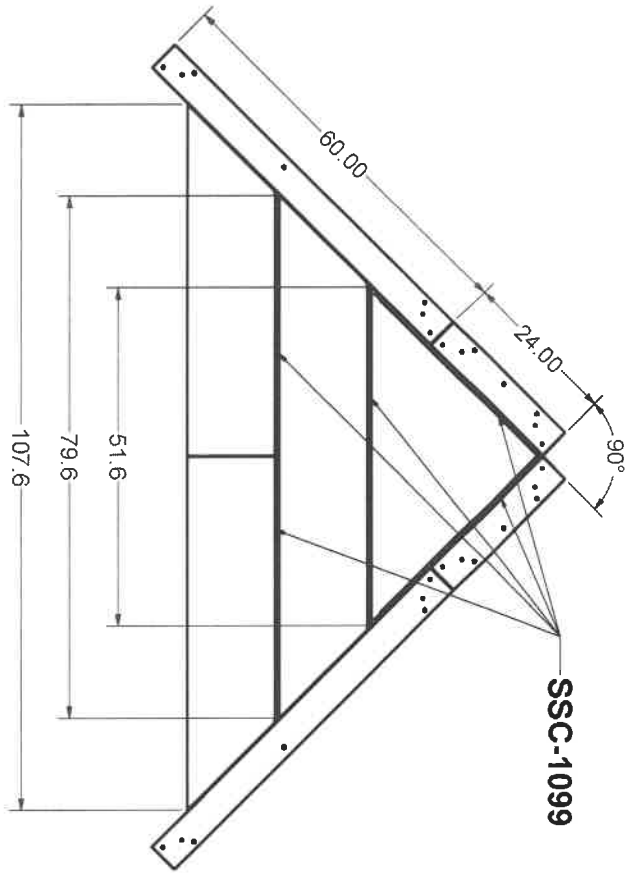


TOLERANCES EXCEPT AS NOTED:  
 0/0 0.0 0.00 0.000 0°  
 ±1/8 ±0.25 ±0.0625 ±0.03125 ±.1/2°

DATE : 1/10/2017  
 SHEET : 1 OF 2

PART #: SSK-ST108CS90  
 SECTION: 8 - 3

# STEEL STEP CN-90D 3 TRD 9'



## OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park Planning Commission was held on January 24, 2022, at the City Hall, at 7:00 PM

### 1. CALL TO ORDER

Chair Hansen called the meeting to order at 7:00 PM.

### 2. ROLL CALL

#### MEMBERS PRESENT

Chair Hans Hansen  
Commissioner Doug Eischens  
Commissioner Jeff Bernhagen  
Commissioner Rick Cobbs  
Commissioner Eric Julien

#### STAFF PRESENT

Building Official Baker, City Planner Lauren Wahlberg, Administrator Buchholtz

#### OTHERS PRESENT

Ryan and Kelsey Hollihan, 518 Rosedale Road NE  
Marty Fischer, Premier Commercial Properties  
Reverend Zuku John Yalley, Jesus Christ International Ministry

### 3. PLEDGE OF ALLEGIANCE

### 4. ELECT OFFICERS

#### A. Chair

Motion made by Commissioner Eischens, seconded by Commissioner Julien, to elect Commissioner Hansen as Chair for 2022.

Voting Yea: Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Abstain: Chair Hansen. Motion carried.

#### B. Vice Chair

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to elect Commissioner Bernhagen as Vice Chair for 2022.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

**5. APPROVAL OF MINUTES****A. Approval of Minutes - October 25, 2021**

Motion made by Commissioner Bernhagen, seconded by Commissioner Julien, to approve the minutes from the October 25, 2021 Planning Commission meeting.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

**6. PUBLIC HEARING****A. Conditional Use Permit for Assembly Use - Jesus Christ International Ministry, 1440 85th Ave NE**

Planner Wahlberg provided an overview of the conditional use permit request from Jesus Christ International Ministry. She stated that the applicant is seeking to lease space in the 1440-1450 85<sup>th</sup> Avenue NE for a church, which is classified as an assembly use in the Zoning Code. She noted that the Zoning Code classifies assembly uses in the C-1 zoning district as a conditional use.

Planner Wahlberg said that the church will use 4,000 square feet of leased space for a preaching/sanctuary space, restrooms, educational space and administrative offices. She noted that the applicant stated that 22 people will be in the worship area and 10 children in the education area at any one time. She stated the church predicts a maximum parking need of 7 cars on Sunday mornings.

Planner Wahlberg stated that she has reviewed the application and is recommending approval of the application, with the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional

Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.

Rev. Zuku John Yalley, head pastor of Jesus Christ International Ministries (J-CIM), stated that they plan to start a small ministry in Spring Lake Park. He stated that J-CIM plans to deliver a service to the community, providing support to people in areas such as hunger, emotional stress, hopelessness, confusion, sickness, joblessness and homelessness.

Administrator Buchholtz inquired about growth plans for the congregation. Rev. Yalley stated that he is unsure how much the church will grow over the 4-year term of the lease. He stated that if the church outgrew the facility, they would look for a more permanent home.

Commissioner Eischens inquired about code requirements. Building Official Baker noted that, should the CUP be approved, the applicant will need to apply for a Certificate of Occupancy for the site, which could result in improvements to bring the site up to current Building and Accessibility Codes. Administrator Buchholtz noted that while these could be significant and could result in the applicant not moving forward, the Commission is evaluating the CUP application based on zoning ordinance requirements.

Commissioner Bernhagen inquired about parking lot striping. Administrator Buchholtz noted that parking lot striping can be included as a condition of approval.

Chair Hansen opened the public hearing at 7:45 pm. Hearing no public input, Chair Hansen closed the public hearing at 7:46 pm.

Motion made by Commissioner Cobbs, seconded by Commissioner Julien to recommend approval of the conditional use permit to J-CIM for an assembly use at 1440 85<sup>th</sup> Avenue NE, subject to the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.



5. All parking lot areas shall be striped in accordance with current Code standards.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

B. Variance from Impervious Surface Maximum and Maximum Percentage of Lot Coverage for Structures Regulations for Backyard Pool - Ryan & Kelsey Hollihan, 518 Rosedale Road NE

Administrator Buchholtz provided an overview of the variance application. He stated that Ryan and Kelsey Hollihan are requesting a variance from two sections of the City Code to permit the construction of a 16 foot by 32 foot in-ground swimming pool in their backyard for aquatic therapy purposes. He stated that the pool addition would require a variance from Section 16.20.090 of the Zoning Code which limits impervious surface coverage to 50% of any zoning lot in the R-1 district and from Appendix E of the Zoning Code limiting the maximum percentage of lot coverage for all structures in the R-1 district to 35%.

Administrator Buchholtz stated that staff's review determined the pool will not alter the character of the neighborhood as in-ground pools are found in the community and that the pool will be screened by existing fencing on the south and west property lines, the home to the north and the accessory building to the east. Administrator Buchholtz did note that concerns about excess impervious surface are valid and stormwater runoff from the additional impervious surface would need to be addressed.

Administrator Buchholtz stated that if the Planning Commission wished to recommend approval, it could do so with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. [Optional] Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool.

Kelsey Hollihan, 518 Rosedale Road NE, stated that she has been facing significant mobility issues resulting from nerve damage in her leg. She stated that she has exhausted surgical options to address the nerve damage and insurance benefits for off-site aquatic therapy. She stated that she had a letter from her surgeon strongly supporting the construction of the swimming pool.

Commissioner Julien inquired if there was a way to reduce the amount of impervious surface on the lot, including the possibility of replacing concrete with pervious pavers or an alternative solution. Ryan Hollihan, 518 Rosedale Road NE, stated that they could explore the installation of pervious pavers to replace concrete on the west side of the existing accessory building.

Chair Hansen opened the public hearing at 8:10 pm. Hearing no public comment, Chair Hansen closed the public hearing at 8:11 pm.

Commissioner Bernhagen expressed his opinion that the applicant has a number of structures and hard surfaces on the property already and that the addition of the swimming pool would be out of character for the neighbor and have negative stormwater impacts on neighboring properties and the City's stormwater collection system. Eischens agreed, stating he would like the applicant to make changes to the property to reduce the number of impervious surfaces and structures to meet the existing code.

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to approve the variance at 518 Rosedale Road NE with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool. Rain garden design and location shall be reviewed by the City Engineer prior to construction.
5. Applicant shall remove the concrete walkway located on the west side of the existing accessory building and replace it with pervious pavers or other pervious surface to reduce storm water runoff.

Voting Yea: Chairperson Hansen, Commissioner Cobbs, Commissioner Julien. Voting Nay: Commissioner Eischens, Commissioner Bernhagen. Motion carried.

## **7. OTHER**

Administrator Buchholtz reported that there is an opening on the Planning Commission. He requested that any residents interested in serving on the Commission to please contact City Hall for an application.

## **8. ADJOURN**

Motion made by Commissioner Eischens, seconded by Commissioner Bernhagen, to adjourn.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

Meeting adjourned at 8:20pm.

## Daniel Buchholtz

---

**From:** Karen Hedtke <karen\_a1971@live.com>  
**Sent:** Tuesday, January 18, 2022 6:49 PM  
**To:** Daniel Buchholtz  
**Subject:** Re: 518 Rosedale Road

Thank you Dan!

I do actually have one other thought on this pool. So, let's say this is approved - how long will be before they ask for a dome or some kind of enclosure for this pool? This could go on and on and on.....

Karen

---

**From:** Daniel Buchholtz <dbuchholtz@slpmn.org>  
**Sent:** Tuesday, January 18, 2022 12:23 PM  
**To:** Karen Hedtke <karen\_a1971@live.com>  
**Subject:** Re: 518 Rosedale Road

Thank you, Karen, for your email. I will make sure your email is included in the Planning Commission packet for next week's meeting. If you have any other thoughts on the application, please let me know.

Thanks!

Dan

Get [Outlook for iOS](#)

---

**From:** Karen Hedtke <karen\_a1971@live.com>  
**Sent:** Friday, January 14, 2022 5:47:16 PM  
**To:** Jeff Baker <jbaker@slpmn.org>; Bob Nelson <rnelson@slpmn.org>; Barbara Bisschoff <bbisschoff@slpmn.org>; Brad Delfs <bdelfs@slpmn.org>; Lisa Dircks <ldircks@slpmn.org>; Ken Wendling <kwendling@slpmn.org>; Daniel Buchholtz <dbuchholtz@slpmn.org>  
**Subject:** 518 Rosedale Road

I saw the Notice of Public Hearing in the Anoka County Shopper regarding yet another variance request at 518 Rosedale Road.

Now they are asking for a variance to add a 16'x32' pool for "aquatic therapy purposes", seriously - this is Minnesota!! Will it be used all year round or just in the summer months? It seems unlikely that a pool outside in Minnesota would be. Not to mention there is very little yard left on the property with that huge front porch and the extended garage. I think the council needs to block this - think of the people that will purchase that house at some point when the current owner decides to move. If I remember from the variance request for the front porch - there was kind of an ultimatum...

I would like to be at the Planning Commission Meeting on Monday evening, but at this point I am unable to attend so am sending my thoughts.

Thanks  
Karen

**RESOLUTION NO. 22-06(A)**

**A RESOLUTION DENYING A VARIANCE A VARIANCE FROM IMPERVIOUS SURFACE COVERAGE AND MAXIMUM LOT COVERAGE BY STRUCTURES LIMITATIONS TO PERMIT CONSTRUCTION OF A SWIMMING POOL AT 518 ROSEDALE ROAD NE**

**WHEREAS**, Kelsey and Ryan Hollihan (“Applicant”) have made an application for a variance from Section 16.20.090 of the Zoning Code, limiting impervious surface coverage to 50% of a lot in the R-1 zoning district, and Appendix E of the Zoning Code limiting the maximum lot coverage of all structures on a lot in the R-1 zoning district to 35%; and

**WHEREAS**, the Applicant desires to construct a 16-foot by 32-foot in-ground swimming pool in the rear yard; and

**WHEREAS**, the property, 518 Rosedale Road NE, is legally described as follows:

Lot 4 Block 1 Clearview Heights Addition, subject to easement of record; and

**WHEREAS**, mailed and published notice of a public hearing to consider the proposed variance was given; and

**WHEREAS**, a public hearing to consider the proposed variance was held on January 24, 2022; and

**WHEREAS**, requests were made for a variance from Section 16.20.090 of the Zoning Code to permit impervious surface coverage of 58% on the lot and for a variance from Appendix E of the Zoning Code to increase the total square footage of all structures on the property to 37.6% of the total lot size; and

**WHEREAS**, the Planning Commission has considered the application against the practical difficulties test as outlined in Section 16.60.040 of the Spring Lake Park Zoning Code; and

**WHEREAS**, the Planning Commission, on a 3-2 vote, recommended approval of the application; and

**WHEREAS**, the Spring Lake Park City Council has reviewed the application and disagrees with the findings and recommendations of the Spring Lake Park Planning Commission, making the following findings of fact:

1. The proposed increase in impervious surface generated from the construction of the proposed swimming pool would exceed the performance standard for overall impervious surface on a lot located in the R-1 zoning district by 16%. The proposed increase in structure coverage as a result of the proposed swimming pool would exceed the performance standard by 7%. Deviations of this size are not in harmony with the general purposes and intent of the City’s Zoning Code.

2. The property owner can continue to utilize the property as a single-family home without the approval of the variance.
3. The proposed front porch addition will substantially alter the essential character of the neighborhood as all of the properties on this block of Rosedale Road fall beneath the 35% maximum lot coverage limitation and the 50% impervious surface limitation; and
4. Exceeding the impervious surface standard increases the amount of rainwater that can run off the property, thereby negatively impacting the City's already overtaxed stormwater system and neighboring properties.

**WHEREAS**, the City Council determines that, based on the findings of fact listed above, the practical difficulties test outlined in Section 16.60.040 of the Zoning Code has not been met.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council does hereby deny the request of Kelsey and Ryan Hollihan, 518 Rosedale Road NE, for a variance from Section 16.20.090 of the Zoning Code and Appendix E of the Zoning Code<sup>3</sup>

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Whereon the Mayor declared said Resolution duly passed and adopted the 7th day of February 2021.

APPROVED BY:

---

Robert Nelson, Mayor

ATTEST:

---

Daniel R. Buchholtz, City Administrator

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To:	Spring Lake Park Planning Commission	From:	Lauren Walburg, Stantec Michelle Lincoln, Stantec
	City of Spring Lake Park		
File:	Jesus Christ International Ministry 1440-1450 85th Avenue NE Applicant: Pastor Zyku John Yalley Owners: Brickner Braan LLC	Date:	January 24, 2022

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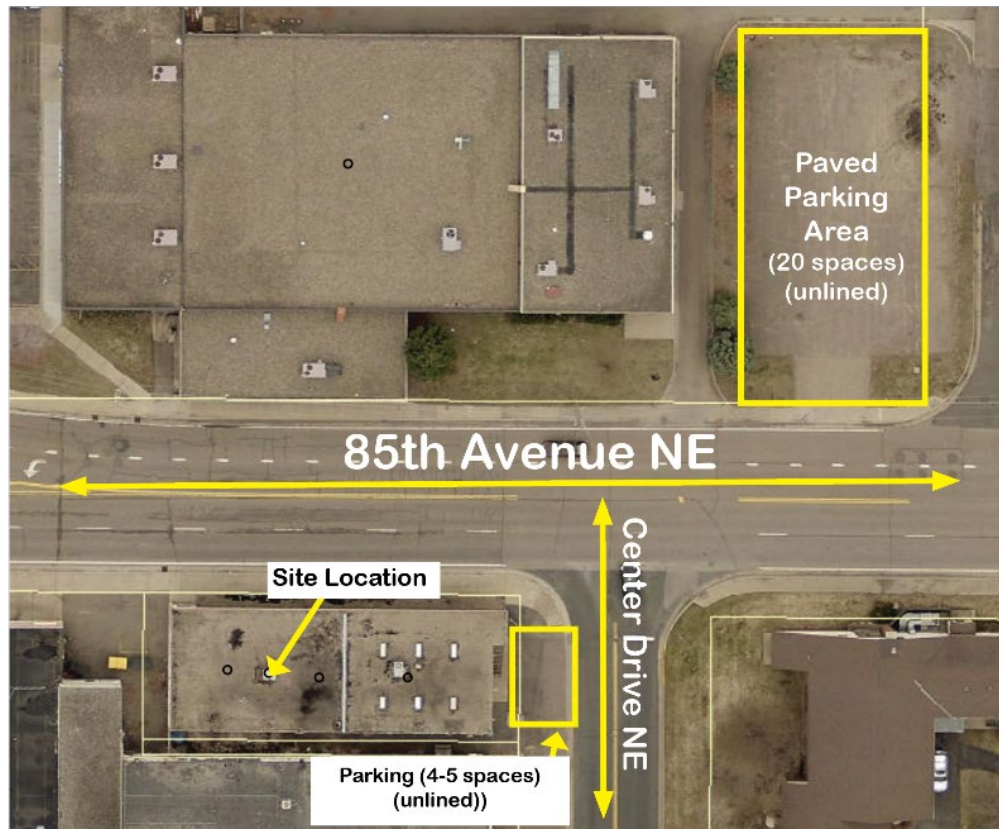
**Re: Conditional Use Permit, Jesus Christ International Ministry, 1440-1450 85<sup>th</sup> Avenue NE**

## INTRODUCTION

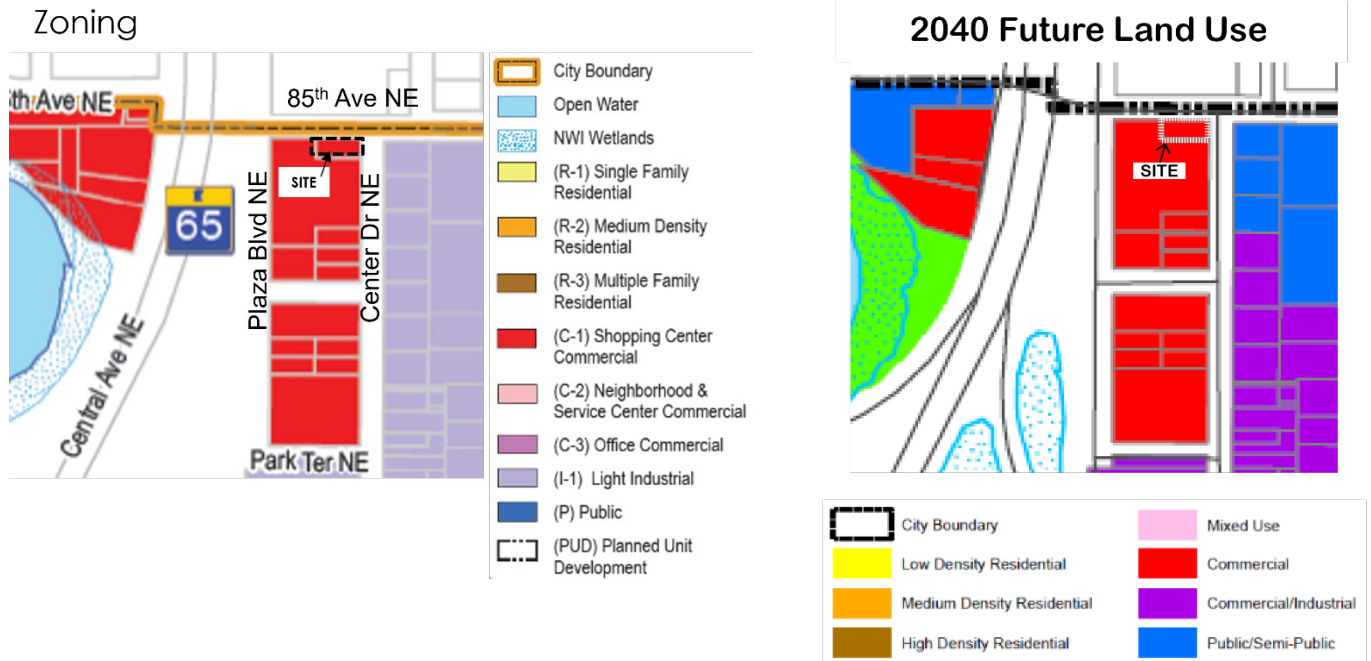
Jesus Christ International Ministry (referred to hereafter as the “church”) is seeking to lease 1440-1450 85<sup>th</sup> Avenue NE. Churches are considered an “assembly” use in the Zoning Code, requiring a Conditional Use Permit (CUP). The church would occupy an existing space in the building and make little or no changes to the exterior of the building and site.

The property is guided Commercial and zoned C-1 Shopping Center Commercial – see map excerpts on the next page. “Assembly uses, including auditoriums, religious and philanthropic uses” are allowed by Conditional Use Permit in the C-1 district.

Surrounding uses are commercial in the other building tenant spaces and other parcels south on the same block; church and industrial in the block to the east; commercial uses across 85<sup>th</sup> Avenue in Blaine; and Highway 65 to the west.



Re: **Conditional Use Permit, Jesus Christ International Ministry, 1440 85th Avenue NE**



**SITE ISSUES – CONDITIONAL USE PERMIT**

The Zoning Code allows the City to impose reasonable conditions on certain uses to address issues that may impact surrounding properties or public health, safety, and welfare. Conditional uses are considered *permitted uses to which reasonable conditions may be attached based on findings of fact*. The assumption is that the use is allowed and the City can articulate the conditions under which the use might be approved, not deny it because of potential conditions that do not yet exist. If it appears there is no reasonable way to accommodate the use in this location, the City can deny the use.

In this case, there is an existing multi-tenant commercial building with several other uses. The church would join those uses and share parking, but no changes are proposed to the exterior of the building or site, other than occupying space on the existing signage.

The church will use 4,000 square feet of leased office space and has designated space for preaching/sanctuary space, restrooms, Sunday school and educational space for members and children, and church administrative offices. A layout is shown in the lease agreement, which is included in this application.

The applicant has stated in their application that they will have a maximum of 22 people in the worship setting at any one time and the classrooms could have up to 12 kids. The total number of cars is expected to be 7 at any one time and they will operate worship services on Sunday. About 1,200 square feet of the space will be office space, and the rest will be worship, education, childcare and restrooms.

Other tenants in the building include a tattoo artist and retail/online Man Cave items which occupy a total of 4,000 square feet. The owner has estimated that these businesses typically use 2 parking stalls each during their open hours, which do not include Sunday mornings.



**Re: Conditional Use Permit, Jesus Christ International Ministry, 1440 85th Avenue NE**

*Parking*

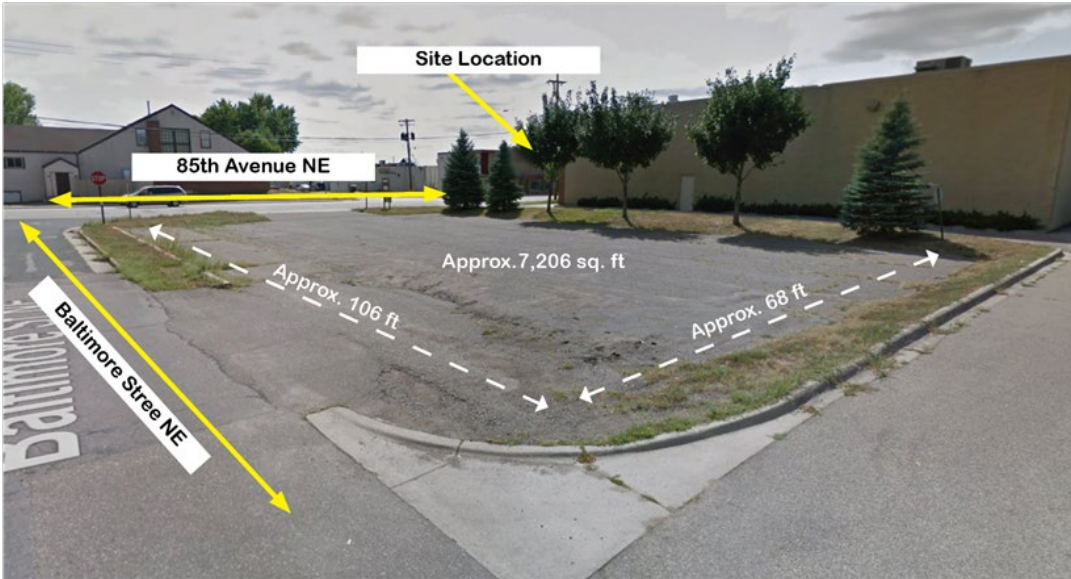
The key issue for this use on this site is parking. A church use can have intense parking needs, but the largest gatherings are typically on Sunday, when other businesses are often closed. Parking demand for a church typically adds up the various components of uses separately – sanctuary, classrooms, office space. Parking analysis is as follows:

- Available Parking:
  - 25 total parking spaces (4-5 paved, unmarked spaces directly adjacent to 1440 85<sup>th</sup> Avenue NE on the east side; Approximately 7,206 square feet of unmarked, paved parking (estimate 20 spaces) located north, across 85<sup>th</sup> Avenue NE in Blaine, MN)
  - The owners anticipate that the church would have full use of both parking lots on Sunday mornings as other businesses are closed during those hours. During the week the church could occupy 20 spaces



**East Parking**

Re: **Conditional Use Permit, Jesus Christ International Ministry, 1440 85th Avenue NE**



**North Parking**

- Building Use
  - Sanctuary, occupying about 2,800 square feet, seated capacity for 22 people
  - Classroom, occupying about 600 square feet, capacity for 12 people
  - Offices, restrooms etc, occupying about 600 square feet, capacity for 8 people
- Parking Demand based on Spring Lake Park Zoning Code
  - Sanctuary: 1 space per 3 seats = 8 spaces (at 22 seating)
  - Classrooms: 2 spaces per classroom = 2 spaces
  - Office: Pastor and Assistant Pastors Office = 2 space
  - Sunday (maximum use) total: 12 spaces

The key issue for this use on this site is parking. Three potential areas of concern could be addressed by conditions to this application:

- The approximately 25 spaces in the east parking and north parking lots may not be sufficient for this use, depending on the membership growth projections for the church;
- Congestion on the site due to the church use might interfere with deliveries for other businesses sharing the block;
- Safe pedestrian crossing from the paved parking area north of 85<sup>th</sup> Avenue NE may be necessary.

**Re: Conditional Use Permit, Jesus Christ International Ministry, 1440 85th Avenue NE**

*East Parking directly adjacent to Site Building*

There are 4-5 spaces on the east side of the office/commercial building with access from Center Drive NE. It is unclear if the spaces are available for the entire building or only for the adjacent business. The parking lines have faded and may need to be repainted to fully and consistently utilize these spaces.

*North Parking across 85<sup>th</sup> Avenue NE*

There is approximately 7,206 square feet of unmarked, paved parking space across 85<sup>th</sup> Avenue NE. The lot has access points on Baltimore Street NE and 85<sup>th</sup> Avenue NE. The owner indicates that this lot will hold approximately 32 spaces. Based on standard 90-degree stalls and two access points, we estimate approximately 20 spaces.

*Church attendance/outgrowing available parking*

The amount of parking on site is finite and the City can limit the use of the building and space with clear conditions of approval. The conditions would indicate the amount of parking that must be available with assurance that it will be clearly marked and enforced. If parking problems arise, the City can review the Conditional Use Permit and insist that the conditions be adhered to or revoke the permit for use of the space by the church.

*Congestion interfering with other uses*

Similar to the above issue of total parking on site, if the use of the parking lot poses problems or interference with other uses in the building and nearby on other sites, the City can review or revoke the Conditional Use Permit.

*Additional parking off-site*

With the limited parking on the site and parking demand for the proposed church use, the building owner and the church might make arrangements with another adjacent property for use of some parking at certain times – “joint parking” as permitted in the Zoning Code. If this were to be arranged:

- Such a joint parking agreement would have to be in writing and agreed to by the City and all property owners;
- The additional off-site parking would be sufficient to keep adequate parking for all other uses in the building at 1440 85<sup>th</sup> Avenue NE;
- The City would need to review the parking situation for the off-site property to determine that excess parking exists on that site and that allowing parking for the site at 1440 85<sup>th</sup> Avenue NE would not create parking, traffic, or safety problems on either site.

## **CONCLUSION**

The provided parking of 25 spaces should be sufficient for the zoning code anticipated demand of 12 parking spaces, and applicant anticipated demand of 7 parking spaces. The church is a reasonable use of the property and should not be injurious to other neighboring property owners or tenants. Stantec recommends that the Planning Commission recommend approval of the Conditional Use Permit for 1440 85<sup>th</sup> Ave NE with the following conditions:

*Approval*

- 1) The property owners will reserve at least 11 spaces on Sunday morning for exclusive use by the church. The applicant and property owner would need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City’s opinion, on site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space, or revoke the Conditional Use permit for the church.
- 2) *Optional Condition – only if the Planning Commission anticipates issues with parking:* The property owner and church will arrange for off-site joint parking with an adjacent property
- 3) The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City’s sign regulations.

**Re: Conditional Use Permit, Jesus Christ International Ministry, 1440 85th Avenue NE**

- 4) Any changes proposed to the exterior of the building or site as a result of this church use, other than signage, will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.

*Findings of Fact for Approval of the CUP*

- 1) The proposed church use in an existing multi-tenant commercial building appears to not involve issues beyond parking. From information submitted by the applicant and owners, parking appears to be adequate.
- 2) It is reasonable and appropriate for the City to review and respond to potential parking issues on site which could result in traffic or safety issues. Such review may involve imposing additional conditions on the use, which is an appropriate function of the City's zoning authority.

*Denial*

The Planning Commission might recommend denial of the Conditional Use Permit for 1440 85<sup>th</sup> Ave NE, with findings for denial including the following:

*Findings of Fact for Denial of the CUP*

- 1) The commercial building at 1440 85<sup>th</sup> Avenue NE comprises approximately 8,000 square feet of space with approximately 25 parking spaces, a ratio of 3 spaces per 1,000 square feet of floor area, which is a low parking ratio for commercial space.
- 2) The proposed church use would lease 4,000 sq ft of space. If visitors to the church during business hours, peak hours, or off-peak hours are found to exceed the number of available parking spaces, then the ratio of parking for building will be inadequate for the uses on the property.
- 3) Therefore, based on current information from the property owner and the application, there is not a reasonable way to accommodate the parking needs of the proposed church use on this site without creating significant parking shortages, resulting in inconvenience or traffic and safety concerns for owners, leasers, and patrons of the uses in the area.

**OPTIONS**

- 1) Recommend approval of the CUP as presented with the recommended conditions and findings, or as modified by the Planning Commission.
- 2) Recommend denial of the CUP, with findings for denial for each.
- 3) Continue the items to a future meeting to gather more information or more discussion, including the potential for joint parking off-site.

**60-DAY RULE**

The Conditional Use Permit application was received on December 10, 2021 and was considered complete on January 18, 2022 with receipt of information on site and building use. The 60-day deadline for final action by the City Council is March 19, 2022.



**City of Spring Lake Park**  
 1301 81st Avenue NE  
 Spring Lake Park, MN 55432  
 763-784-6491 (p) 763-792-7257 (f)  
[info@slpmn.org](mailto:info@slpmn.org)

#01380600 ~~01380600~~

For Office Use Only	
Case Number:	
Fee Paid:	4000.00
Received by:	
Date Filed:	
Date Complete:	
Base Fee:	500
Escrow:	1500

12/10/21 #138311

### DEVELOPMENT APPLICATION

TYPE OF APPLICATION (Check All That Apply)		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Site Plan/Building Plan Review	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Conceptual Plan Review	<input type="checkbox"/> Lot Combination
<input type="checkbox"/> Ordinance Amendment (Text)	<input checked="" type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Variance	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Street or Easement Vacation	<input type="checkbox"/> Other _____
PROPERTY INFORMATION		
Street Address: 1990 85th Ave NE Spring Lake Park		
Property Identification Number (PIN#): 01-30-24-12-0038		Current Zoning:
Legal Description (Attach if necessary):		
APPLICANT INFORMATION		
Name: Pastor Zulus John Halloy	Business Name: Jesus Christ International Ministry (J-CIM)	
Address: 2421 96th Way	State: MN	Zip Code: 55444
City: Brooklyn Park	Fax:	E-mail: Isweetking@gmail.com
Telephone: 612-407-8105	Title: Pastor	
Contact:	1SweetKing@gmail.com	
OWNER INFORMATION (if different from applicant)		
Name: BRICKNER BRICKNER LLC	Business Name:	
Address: 6240 Hwy 65 #207	State: MN	Zip Code: 55482
City: Fridley MN 55482	Fax: —	E-mail: rick@bricknerbuilders.com
Telephone: 763-245-9507	Title: Owner	
Contact: RICK BRICKNER		
DESCRIPTION OF REQUEST (attach additional information if needed)		
Existing Use of Property: VACANT OFFICE SPACE		
Nature of Proposed Use: For church services Current members 5 adults		
Reason(s) to Approve Request:		
PREVIOUS APPLICATIONS PERTAINING TO THE SUBJECT SITE		
Project Name:	Date of Application:	
Nature of Request:		
<p><b>NOTE:</b> Applications only accepted with ALL required support documents.          See City Code</p>		

**APPLICATION FEES AND EXPENSES:**

The City of Spring Lake Park requires all applicants to reimburse the City for any and all costs incurred by the City to review and act upon applications.

The application fee includes administrative costs which are necessary to process the application. The escrow fee will include all charges for staff time by the City Planner, City Engineer, City Attorney, and/or any other consultants as needed to process the application.

Minnesota Statute § 471.462 requires all cities to provide, upon request, a nonbinding estimate of consulting fees in connection with applications for permits, licenses, or other approvals relating to real estate development or construction. If the applicant requests the estimate, the application shall not be deemed complete until the City has (1) provided an estimate to the applicant; (2) received the required application fees, as specified by the City; (3) received a signed acceptance of the fee estimate from the applicant; and (4) received a signed statement that the applicant has not relied on the estimate of fees in its decision to proceed with the final application from the applicant.

The City will track all consultant costs associated with the application. If these costs are projected to exceed the money initially deposited to your escrow account, you will be notified in the manner that you have identified below that additional monies are required in order for your application process to continue. If you choose to terminate the application (notice must be in writing), you will be responsible for all costs incurred to that point. If you choose to continue the process you will be billed for the additional monies and an explanation of expenses will be furnished. Remittance of these additional fees will be due within thirty (30) days from the date the invoice is mailed. If payment is not received as required by this agreement, the City may approve a special assessment for which the property owner specifically agrees to be assessed for 100 percent per annum and waives any and all appeals under Minnesota Statutes Section 429.081 as amended. All fees and expenses are due whether the application is approved or denied.

With my signature below, I hereby acknowledge that I have read this agreement in its entirety and understand the terms herein. I agree to pay to the City all costs incurred during the review process as set forth in this Agreement. This includes any and all expenses that exceed the initial Escrow Deposit to be paid within 30 days of billing notification. I further understand that the application process will be terminated if payment is not made and application may be denied for failure to reimburse City for costs. I further understand that the City may approve a special assessment against my property for any unpaid escrows and that I specifically waive any and all appeals under Minnesota Statutes 429.081, as amended.

I wish to be notified of additional costs in the following manner (select one):

- E-mail \_\_\_\_\_
- Fax \_\_\_\_\_
- USPS – Certified Mail

I, the undersigned, hereby apply for the considerations described above and declare that the information and materials submitted in support of this application are in compliance with adopted City policy and ordinance requirements are complete to the best of my knowledge.

I acknowledge that I have read the statement entitled "Application Fees and Expenses" as listed above.

I understand that this application will be processed in accordance with established City review procedures and Minnesota Statutes Section 15.99 as amended, at such time as it is determined to be complete. Pursuant to Minnesota Statutes Section 15.99, the City will notify the applicant within fifteen (15) business days from the filing date of any incomplete or other information necessary to complete the application, including all four requirements of Minnesota Statute § 471.462, should I request a written estimate of consultant fees. Failure on my part to supply all necessary information as requested by the City may be cause for denying this application.

Applicant: X ZYKU John Valley Date: 12/2/2021  
Owner: Richard T Buckner Date: 11/20/21

**NOTE: Applications only accepted with ALL required support documents.  
See City Code**

**City of Spring Lake Park  
Conditional Use Permit Worksheet**

A conditional use permit cannot be approved unless the Planning Commission and the City Council make certain findings and recommendations. Please provide a response on how/why your project meets the below stated criteria. Use additional sheets if necessary. If some items are not applicable for your project, write N/A. Contact the Zoning Administrator with any questions.

1. That the proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community. \_\_\_\_\_

YES, we are Providing Religious Services to the Community

2. That the proposed use will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity of the use or injurious to property values/ improvements within the vicinity of the use. \_\_\_\_\_

NO we are Providing Education, and spiritual Counseling to our Community, and some other Help

3. That the proposed use will comply with the regulations specified in Chapter 16 of the City Code. \_\_\_\_\_

yes we comply with city code for Church use, a church is located across the street, and one half blocks to the East.

4. That the proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity. \_\_\_\_\_

NO, our services take place only on Evening and weekend's.

5. That the proposed use will not lower property values or impact scenic views in the surrounding area. No

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6. That existing utilities, streets, highways and proposed access roads will be adequate to accommodate anticipated traffic. Yes

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7. Sufficient off-street parking and loading space is available to serve the proposed use. \_\_\_\_\_

Yes, there is a parking lot that contains 20 plus parking spaces

8. That the proposed use includes adequate protection for the natural drainage system and natural topography. Yes

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9. That the proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise or vibration so that none of these will constitute a nuisance. Yes

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10. That the proposed use will not stimulate growth incompatible with prevailing density standards.

It will not

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11. Please submit twelve copies of the following documents:

- a. Complete details of the proposed site development, including location of buildings, driveways, parking spaces, garages, refuse disposal areas, loading areas, dimensions of the lot, lot area and yard dimensions. The plans shall identify all adjoining properties
- b. An elevation of at least one building in detail and any sides facing onto all classes of residence districts, if different from the single elevation required.
- c. Complete landscaping plans, including species and size of trees and shrubs, proposed and required screening.\*
- d. A site plan indicating final contours at two-foot vertical intervals.\*
- e. Proposed sewer and water connections.\*
- f. Complete plans for storm water drainage systems sufficient to drain and dispose of all surface water accumulations within the area.\*
- g. Complete plans for proposed sidewalks to service parking, recreation and service areas within the proposed development.\*
- h. Complete structural, electrical and mechanical plans for the proposed buildings.\*
- i. Complete plans and specifications for exterior wall finishes proposed for all principal and accessory buildings.\*

*\* Items required to be submitted if requested by the Zoning Administrator, Planning Commission or City Council.*

## **16.56 CONDITIONAL USE PERMITS**

### **16.56.010 Purpose**

### **16.56.020 Conditional Uses**

### **16.56.030 Application Procedure**

#### **16.56.010 Purpose**

The principal objective of this zoning title is to provide for an orderly arrangement of compatible building and land uses, and for the proper location of all types of uses required in the social and economic welfare of the city. To accomplish this objective, each type and kind of use is classified as permitted in one or more of the various districts established by this title. However, in addition to those uses specifically classified and permitted in each district, there are certain additional uses which it may be necessary to allow because of their unusual characteristics or the service they provide the public. These conditional uses require particular consideration as to their proper location in relation to adjacent established or intended uses, or to the planned development of the community.

#### **16.56.020 Conditional Uses**

Conditional use permits may be issued for any of the following:

- A. Any of the uses or purposes for which these permits are required or permitted by the provisions of this title;
- B. Public utility or public service uses or public building in any district when found to be necessary for the public health, safety, convenience, or welfare; or
- C. Commercial excavating of natural materials used for building or construction purposes, in any district.

#### **16.56.030 Application Procedure**

- A. *Initiation.* An application for a conditional use shall be in triplicate and may be made by any governmental unit, department, board, or commission or by any person or persons having a freehold interest, or a contractual interest which may become a freehold interest, applicable to the parcel described in the application.
- B. *Application content.* An application shall be by written petition in the form prescribed by the Zoning Administrator, signed by the applicant, and shall be filed with the Zoning Administrator. A fee as established by an ordinance of the City Council shall be required for the filing of the petition.
  - 1. In addition to the written petition, the following shall be required with an application for a conditional use:
    - a. Complete details of the proposed site development, including location of buildings, driveways, parking spaces, garages, refuse disposal areas, loading areas, dimensions of the lot, lot area, and yard dimensions. The plans shall identify all adjoining properties; and
    - b. An elevation of at least one building in detail and any sides facing onto all classes of residence districts, if different from the single elevation required.
  - 2. The following additional information may be required by the Zoning Administrator, Planning Commission, or City Council:

- a. Complete landscaping plans, including species and size of trees and shrubs, proposed and required screening;
- b. A site plan indicating final contours at two-foot vertical intervals;
- c. Proposed sewer and water connections;
- d. Complete plans for storm water drainage systems sufficient to drain and dispose of all surface water accumulations within the area;
- e. Complete plans for proposed sidewalks to service parking, recreation, and service areas within the proposed development;
- f. Complete structural, electrical, and mechanical plans for the proposed buildings; and
- g. Complete plans and specifications for exterior wall finishes proposed for all principal and accessory buildings.

3. Twelve copies of all required plans shall be submitted at the time of application. Applicant shall also provide all application materials in an electronic format as prescribed by the Zoning Administrator.

C. *Hearing notice.* Notice of the time and place of the public hearing shall be given not more than 30 nor less than ten days in advance by publishing a notice in the official newspaper of the city and by like notification, at least ten days prior to the date of public hearing, to the owner or owners of property within 350 feet of the subject property. This notice shall describe the particular conditional use and shall contain a brief description thereof. City Assessor tax records shall be deemed sufficient for the location or certification of ownership of the adjacent properties.

D. *Public hearing.* The public hearing shall be held.

E. *Findings and recommendations.* The Planning Commission shall then make its findings and recommendations to the City Council within 30 days following the end of the public hearing.

1. The City Council may then authorize the conditional use permit, provided the applicant has provided evidence establishing the following:

- a. The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;
- b. The use will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity;
- c. The proposed use will comply with the regulations specified in this title for the district in which the proposed use is to be located;
- d. The use is one of the conditional uses specifically listed for the district in which it is to be located;
- e. The proposed use shall not have a detrimental effect on the use and enjoyment of other property in the immediate vicinity;
- f. The use will not lower property values or impact scenic views in the surrounding area;
- g. Existing streets and highways and proposed access roads will be adequate to accommodate anticipated traffic;

- h. Sufficient off-street parking and loading space will be provided to serve the proposed use;
- i. The use includes adequate protection for the natural drainage system and natural topography;
- j. The proposed use includes adequate measures to prevent or control offensive odor, fumes, dust, noise, or vibration so that none of these will constitute a nuisance; and
- k. The proposed use will not stimulate growth incompatible with prevailing density standards.

2. If no recommendation is transmitted by the Planning Commission within 60 days after the date of the hearing, the City Council may take action without awaiting the recommendations.

F. *Conditions.* The City Council may impose conditions and safeguards upon the premises benefitted by a conditional use as may be necessary to prevent injurious effects therefrom upon other property in the neighborhood.

G. *Term.* No conditional use permitting the erection or alteration of a building shall be valid for a period longer than one year unless the building is erected or altered within that period, unless a longer time is specified when permit is issued. An extension may be applied for, in writing, before the City Council.

H. *Violations; suspension and revocation.*

1. Violation of the conditions and safeguards, when made a part of the terms under which the conditional use is granted, shall be deemed a violation of this title. If within ten days of written notice from the Zoning Administrator the violation has not been corrected, the City Council may pursue the following procedure to suspend or revoke the permit.

- a. Written notice of suspension or revocation shall be provided to the permittee, as provided in Paragraph H,1,b, at least ten business days prior to the permit being suspended or revoked.
- b. Notice to the permittee and owner of record shall be served personally or sent by first class mail. Such written notice of suspension or revocation shall contain the effective date of the suspension or revocation, the nature of the violation constituting the basis of the suspension or revocation, the facts which support the conclusion that a violation has occurred and a statement that if the owner desires to appeal, the owner must, within ten business days, exclusive of the day of service, file a request for a hearing.
- c. The hearing request shall be in writing, stating the grounds for appeal and served personally or received by first class mail by the Administrator, Clerk/Treasurer at City Hall not later than 4:30 p.m. on the tenth business day following notice of suspension or revocation.
- d. Following the receipt of a request for hearing, the City Council shall set a time and place for the hearing. The Administrator, Clerk/Treasurer shall notify the permittee of the time and place of the hearing in the same manner as prescribed in Paragraph H,1,b.
- e. The hearing shall be conducted pursuant to the Administrative Procedures Act, M.S. §§ 14.57 to 14.70, as it may be amended from time to time. The City Council may act as the hearing body under that act, or it may contract with the Office of Administrative Hearings for a hearing officer.

2. In addition to the potential suspension or revocation of the conditional use permit, violations are punishable under SLPC 16.60.070. The city's enforcement rights are cumulative and no action taken by the city shall prohibit the city from seeking any other remedy under this section or at law.



**PREMIER**  
COMMERCIAL  
PROPERTIES

# FOR LEASE

1440 85th Ave NE Spring Lake Park MN 55432



## For Lease: Office

1440 85th Ave NE Spring Lake Park, MN 55432

### PROPERTY FEATURES

- ◆ **CONVENIENT LOCATION ON HWY 65**
- ◆ **TWO SECOND LEVEL OFFICE SUITES**
- ◆ **PRIVATE BATHROOMS**
- ◆ **PRIVATE ENTRANCE**

### PROPERTY DETAILS:

**2000 SF** APPROX. PER UNIT

**\$900.00** PER MONTH GROSS

### FOR MORE INFORMATION, CONTACT

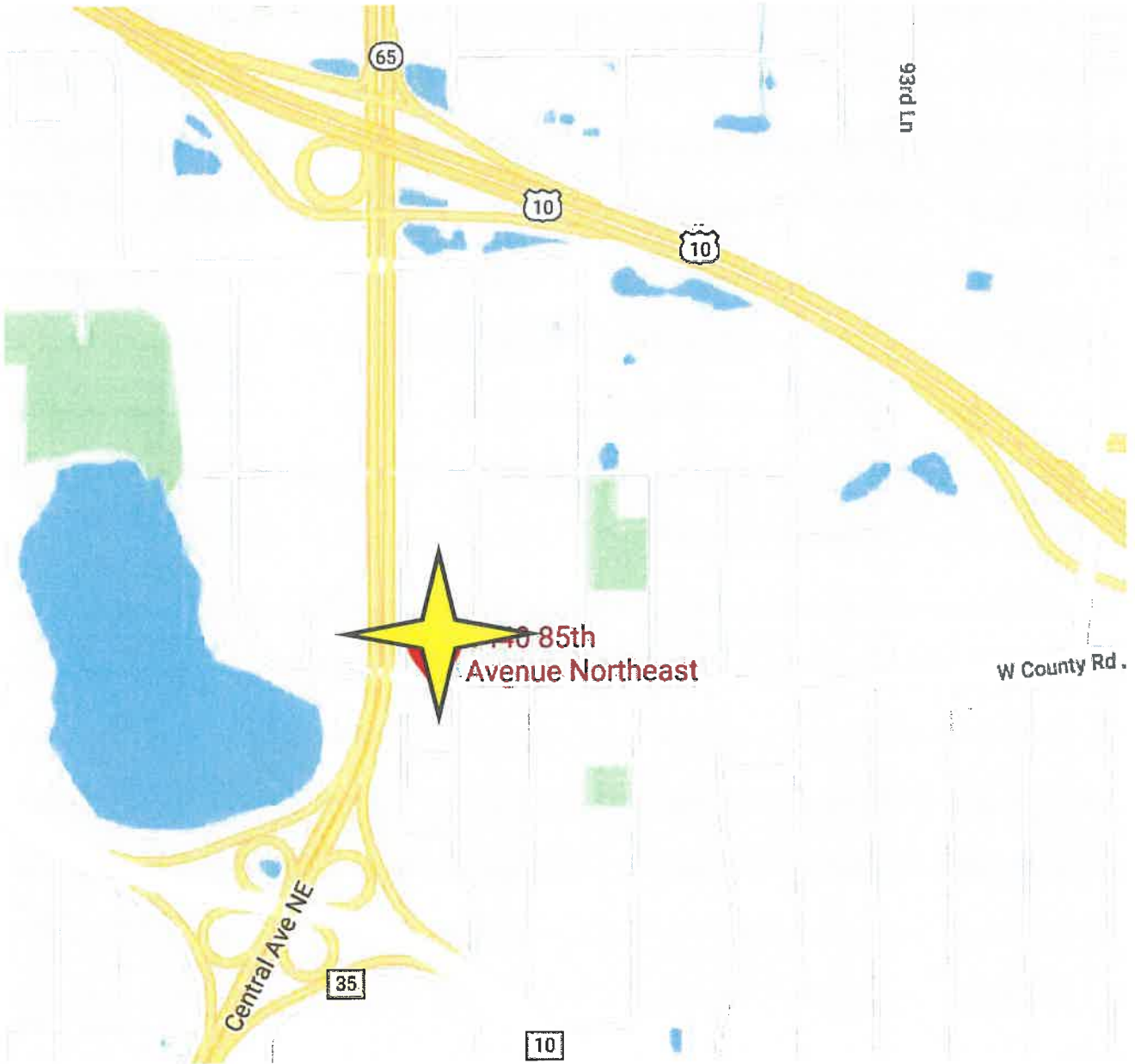
Bradee Thompson  
763.862.2005



**PREMIER**  
COMMERCIAL  
PROPERTIES

**FOR LEASE**

1440 85th Ave NE Spring Lake Park MN 55432

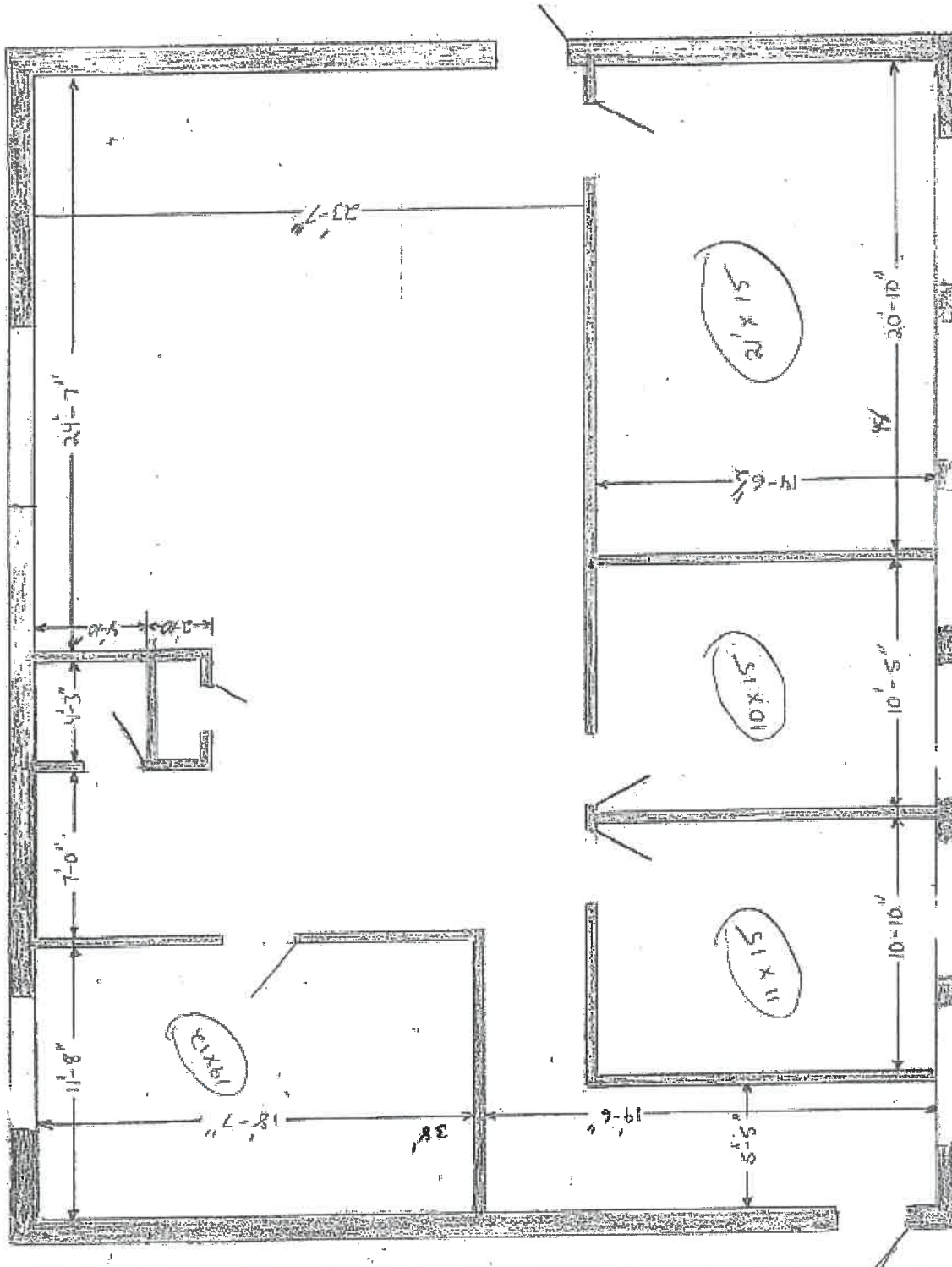




**PREMIER**  
COMMERCIAL  
PROPERTIES

**FOR LEASE**

1440 85th Ave NE Spring Lake Park MN 55432



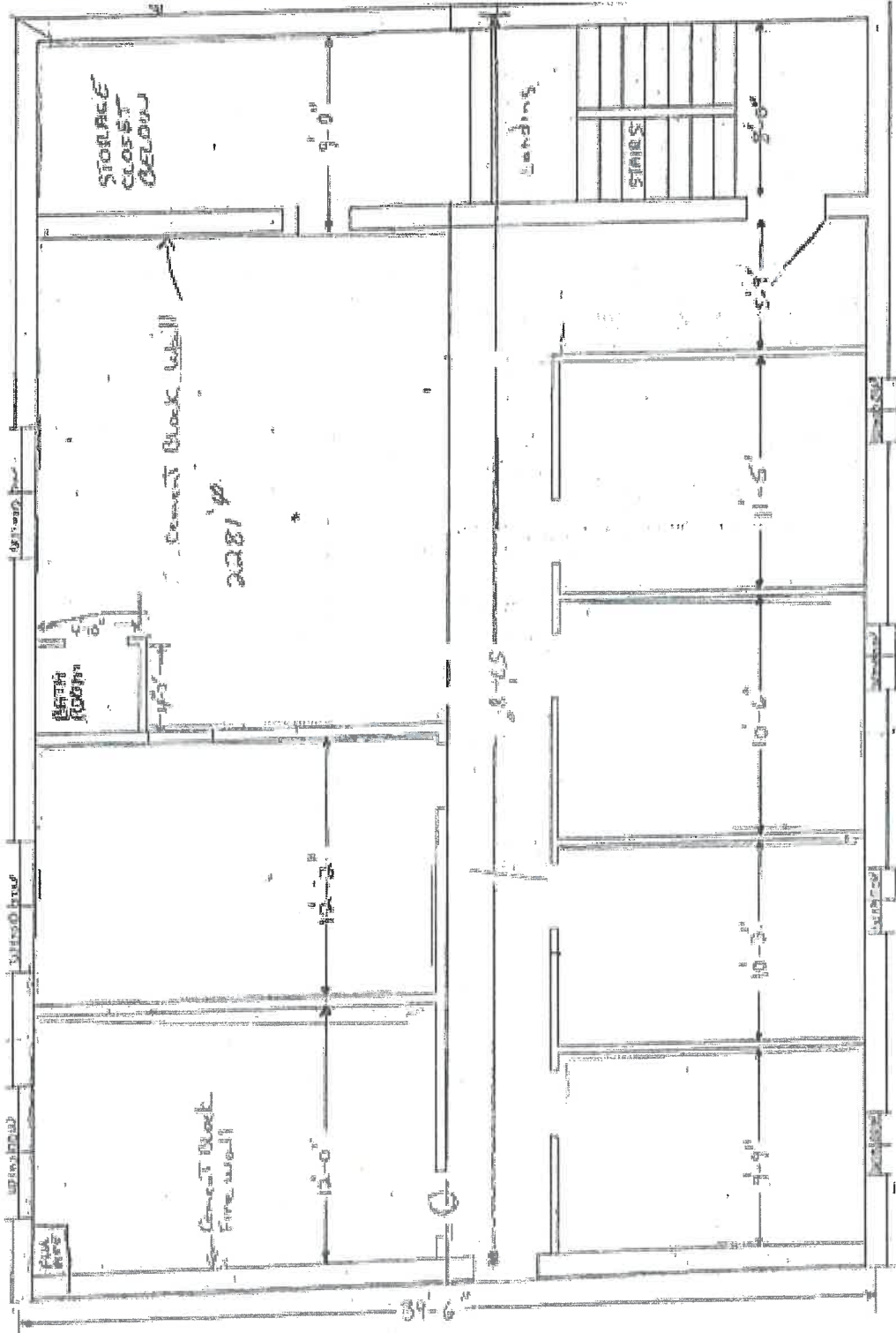




**PREMIER**  
COMMERCIAL  
PROPERTIES

**FOR LEASE**

1440 85th Ave NE Spring Lake Park MN 55432





**PREMIER**  
COMMERCIAL  
PROPERTIES

**FOR LEASE**

1440 85th Ave NE Spring Lake Park MN 55432



**From:** [CYNTHIA BRAAM](#)  
**To:** [Walburg, Lauren](#)  
**Cc:** [rick@bricknerbuilders.com](#); [Lincoln, Michelle](#); [Bradee Thompson](#)  
**Subject:** RE: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application  
**Date:** Tuesday, January 18, 2022 2:25:18 PM  
**Attachments:** [85th Plat.pdf](#)

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Hi Lauren –

Attached is a Platt and aerial view. The parking lot is across the street from the building.

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**From:** Bradee Thompson <[BThompson@premiercommercialproperties.com](mailto:BThompson@premiercommercialproperties.com)>  
**Sent:** Tuesday, January 18, 2022 1:26 PM  
**To:** Walburg, Lauren <[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)>; CYNTHIA BRAAM <[CJBraam@msn.com](mailto:CJBraam@msn.com)>  
**Cc:** [rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com); Lincoln, Michelle <[Michelle.Lincoln@stantec.com](mailto:Michelle.Lincoln@stantec.com)>  
**Subject:** RE: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

Hi Lauren,

See attached fully executed lease. The lease is contingent upon CUP approval.

**Bradee N. Thompson**

Direct 763.235.2066 | Main 763.862.2005

Mobile 612.355.0750 | [bthompson@premiercommercialproperties.com](mailto:bthompson@premiercommercialproperties.com)



---

**From:** Walburg, Lauren <[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)>  
**Sent:** Tuesday, January 18, 2022 1:02 PM  
**To:** CYNTHIA BRAAM <[CJBraam@msn.com](mailto:CJBraam@msn.com)>  
**Cc:** [rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com); Bradee Thompson <[BThompson@premiercommercialproperties.com](mailto:BThompson@premiercommercialproperties.com)>; Lincoln, Michelle <[Michelle.Lincoln@stantec.com](mailto:Michelle.Lincoln@stantec.com)>  
**Subject:** RE: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

Hi Cynthia,

Thank you so much for this information – it is very helpful for our review of the Conditional Use Permit request.

For parking, where are the 32 spaces you mentioned located? It would be helpful if you could outline where those are located on an aerial or site plan.  
Do you have a formal lease agreement with the church, or is that the next step after CUP approval?

Thanks so much!  
Lauren

**Lauren Walburg**

Urban Planner

Direct: 612 712-2071

[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)

Stantec

733 Marquette Avenue Suite 1000

Minneapolis MN 55402-2309



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**From:** CYNTHIA BRAAM <[CJBraam@msn.com](mailto:CJBraam@msn.com)>

**Sent:** Monday, January 17, 2022 4:06 PM

**To:** Walburg, Lauren <[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)>

**Cc:** [rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com); [BThompson@premiercommercialproperties.com](mailto:BThompson@premiercommercialproperties.com)

**Subject:** RE: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

Hi Lauren –

Rick is out of town, so I did not see your email until this past weekend.

Perhaps the church has already responded with the information you are looking for. If not, I can provide the following:

- **Area in sq ft of the space you are leasing.** 4,000 Sq feet
- **Total parking spaces on the property (for all uses, not just the proposed church).** We figured approx. 32 spaces.
- **Uses and square footage of other businesses in the building.**

There is an additional 4,000 Sq feet that is leased by two other tenants

Tattoo Artist

Retail/online ManCave items

Both are very limited use of the parking lot. The owner and probably one customer at a time during their open hours, which would typically not include Sunday morning.

Please let me know if I can look up additional information for you,

Cindy Braam

---

**From:** Rick Brickner <[rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com)>  
**Sent:** Saturday, January 15, 2022 9:39 AM  
**To:** Gary and Cindy Braam ([cjbraam@msn.com](mailto:cjbraam@msn.com)) <[cjbraam@msn.com](mailto:cjbraam@msn.com)>  
**Subject:** Fwd: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

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**From:** Walburg, Lauren <[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)>  
**Sent:** Friday, January 14, 2022 2:59:36 PM  
**To:** [1sweetking@gmail.com](mailto:1sweetking@gmail.com) <[1sweetking@gmail.com](mailto:1sweetking@gmail.com)>; Rick Brickner <[rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com)>  
**Cc:** Carlson, Phil <[Phil.Carlson@stantec.com](mailto:Phil.Carlson@stantec.com)>; Lincoln, Michelle <[Michelle.Lincoln@stantec.com](mailto:Michelle.Lincoln@stantec.com)>; Daniel Buchholtz <[dbuchholtz@slpmn.org](mailto:dbuchholtz@slpmn.org)>  
**Subject:** RE: Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

Hello Pastor Zyku John Yalley and Rick,

Could you please respond to my questions below at your earliest convenience? We will need this information by Tuesday morning in order to put together a complete report for the Planning Commission meeting on 1/24. Rick, you may be in a better position to answer some of these questions.

Thank you so much, and do not hesitate to give me a call at 612-712-2071 if you have any questions or would prefer to answer these over the phone.

Lauren

## Lauren Walburg

Urban Planner

Direct: 612 712-2071

[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)

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**From:** Walburg, Lauren

**Sent:** Tuesday, January 11, 2022 3:59 PM

**To:** [1sweetking@gmail.com](mailto:1sweetking@gmail.com); [rick@bricknerbuilders.com](mailto:rick@bricknerbuilders.com)

**Cc:** Carlson, Phil <[Phil.Carlson@stantec.com](mailto:Phil.Carlson@stantec.com)>; Lincoln, Michelle <[Michelle.Lincoln@stantec.com](mailto:Michelle.Lincoln@stantec.com)>

**Subject:** Jesus Christ International Ministry at 1440 85th Ave NE - Conditional Use Permit Application

Hello,

I am the planner for Spring Lake Park and will be reviewing your application for a Conditional Use Permit for Jesus Christ International Ministry in the building at 1440 85<sup>th</sup> Ave NE.

I understand from your application that there are no changes proposed to the site or exterior of the building. One of the key issues with use of a multi-tenant building like this (for any kind of use, not just churches) is parking. We need to know:

- Area in sq ft of the space you are leasing.
- Seating capacity of the meeting spaces and/or classrooms you propose within the area you are leasing. Maybe there will be one large sanctuary or gathering space for church services plus smaller rooms/classrooms for other meetings, Sunday school, etc. We need to know the seating capacity of all of these spaces.
- Number of employees/staff/volunteers on site at the busiest time.
- Total parking spaces on the property (for all uses, not just the proposed church).
- Number of parking spaces available to the church at its peak times, which we assume to be Sunday morning and one or more evenings during the week.
- Evidence of a written agreement between the property owner and the church that these parking spaces will be available for the church.
- Uses and square footage of other businesses in the building.
- Will there be any change to exterior signage on the building? If so, please provide a description and scaled drawing of the signage.

If you could provide as much of this information as possible by **Friday 1/14** (at the latest), that would be most helpful in keeping us on track for the January 24<sup>th</sup> planning commission meeting.

Please don't hesitate to reach out with any questions!

Thanks,  
Lauren

**Lauren Walburg**

Urban Planner

Direct: 612 712-2071

[Lauren.Walburg@stantec.com](mailto:Lauren.Walburg@stantec.com)

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733 Marquette Avenue Suite 1000

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Brickner/Braam Office Building  
Brickner Braam, LLC  
1458 85<sup>th</sup> Ave. NE  
Spring Lake Park, MN 55432

AGREEMENT OF LEASE

THIS AGREEMENT OF LEASE is made this \_\_\_ day of \_\_\_\_\_ 2021 by and between Brickner Braam, LLC, a Minnesota Limited Liability Company (hereinafter called "Landlord"), and Jesus Christ International Ministry (Pastor Zuko John Yalley) (hereinafter called "Tenant").

WITNESSETH

SECTION 1. PREMISES.

(a) Subject to and upon the terms, provisions and conditions hereinafter set forth, and each in consideration of the duties, covenants, and obligations of the other hereunder, Landlord does hereby lease, demised and let to Tenant and Tenant does hereby lease from Landlord those certain premises (the "Premises") in the building and known as Brickner/Braam Office Building (the "Building") comprising Rentable Area of 4,000 square feet approximately, at 1450 85<sup>th</sup> AVE NE and 1440 85<sup>th</sup> AVE NE

(b) The term "Rentable Area", as used herein shall refer to the area or areas of space within the Project determined as follows:

- (1) Rentable Area if the Tenant leases the entire Building is determined by measuring from the outside surface of the outer glass and exterior wall to the outside surface of the opposite outer glass and exterior wall and shall include all areas within the outside walls; and
- (2) Rentable Area if the Tenant leases part of the Building shall include all space within the demising walls (measured from the mid-point of demising walls and in the case of exterior walls, measured as defined in (1) above, plus Tenant's proportionate share of any areas in the Building devoted to entranceways, lobbies, corridors and toilet rooms shared by tenants in the Building ("Common Areas").

SECTION 2. TERM.

The term of this Lease shall be for a period of 48 months, Commencing on the March 1, 2022 and terminating on the FEBRUARY 28, 2026 unless sooner terminated or extended as hereinafter provided.

SECTION 3. RENTAL.

As rental for the Premises, tenant shall pay the Landlord the sum of Seventeen Hundred Dollars (\$1,700.00 per month). Which rental shall be paid in advance, without set-off, deduction or demand, on or before the first day of each and every month during term of lease.

SECTION 4. TENANT'S SHARE OF REAL ESTATE TAXES.

Intentionally Deleted

SECTION 5. PARKING AREA.

Landlord grants to Tenant, its customers and employees, the right to use the parking area adjacent to the Building. Such use of the parking area shall be limited to vehicular parking and ingress and egress, unless Tenant obtains prior written consent of Landlord for some other use.



## SECTION 6. MAINTENANCE, INSURANCE AND UTILITIES.

- (a) **Parking Area and Structural Maintenance.** Landlord shall, at its own expense, maintain, landscape, clean, stripe, and provide necessary utilities for and remove dirt and snow from the parking area; maintain the bituminous surface areas and sidewalks; maintain, replace or repair the roof, foundation, exterior walls plumbing and utility lines and structural members of the Premises and the building of which the Premises are a part.
- (b) **Tenant's obligations of Repair, Replacement and Maintenance.** Tenant, at its sole cost and expense, shall keep and maintain the Premises, including all glass, glass windows, and glass doors and their appurtenant sills and frames, and all light fixtures, light bulbs, appliances, equipment, plumbing and utility fixtures thereon in good appearance, condition and repair, ordinary wear and tear excepted, and keep the same free from filth, nuisance or danger of fire, and in all respects and at all times use and maintain the Premises in a manner which will fully meet and comply with all health, police and fire regulations and ordinances and all other laws which are now in force or which may thereafter be enacted by any governmental body or agency now or hereafter having jurisdiction of the premises. All repairs made by Tenant shall be at least equal to the original work in class and quality. During the term of this Lease, Tenant shall replace all glass on the Premises which may be damaged in any way from the interior with glass of the same kind and quality. Tenant shall not do or have anything on the Premises, or permit anything to be done or kept thereon, that would increase insurance rates on the Premises or that could cause a cancellation of any insurance on the building in which the Premises are located. Tenant shall not do or permit to be done any act or thing on the Premises that disturbs the quiet enjoyment of any other occupant of the building in which the Premises are located. Tenant shall neither commit nor permit any waste or nuisance upon the Premises.
- (c) **Maintenance of Common Areas.** Landlord, at its sole cost and expense, shall keep and maintain the Common Areas in good appearance, condition and repair, including, but not limited to, maintenance and repair of exterior doors, bathroom doors, water heaters, ceramic tile, plumbing, electrical and other utility lines, and fixtures, fans, light fixtures, and bulbs, and windows; including glass that maybe damaged from the outside provided, however, that if the Premises have their own private entry and/or toilet facilities, Tenant shall provide all such maintenance.
- (d) **Tenant's Insurance.** During the term of this Lease, Tenant shall maintain, in full force, a policy of public liability insurance, with an insurance company acceptable to Landlord, in which Landlord and Tenant are named as insured's and under which the insurer agrees to defend, indemnify and hold Landlord and Tenant harmless within the policy limits from and against all costs, expense and liability arising out of or based upon any and all personal injuries sustained and accidents occurring in or about the Premises as an alleged consequence of any act or omission on the Premises. Evidence of such insurance shall be furnished by Tenant when Tenant takes occupancy and the term of the lease begins. Said insurance shall provide it shall not be cancelled without at least thirty (30) days prior written notice to Landlord. Not less then Fifteen (15) days prior to the expiration date of said policy or policies, Tenant shall furnish Landlord satisfactory evidence that such required insurance has been provided or renewed and the premium paid.
- (e) **Utilities.** Landlord shall pay all charges for water, gas furnished to the Premises; Tenant shall pay all charges for telephone and other utility services (Electric) furnished to the Premises, which charges shall be billed directly by the utility companies.

## SECTION 7. SECURITY DEPOSIT.

Tenant shall deposit with Landlord Seventeen Hundred (\$1,700.00) for security deposit according to the payment schedule below. It is agreed that in the event Tenant defaults in respect of any of the terms, provisions, and conditions of this Lease, Landlord may use, apply or retain the whole or any part of the security deposit to the extent required for the payment of any rent and additional rent or any other sum as to which Tenant is in default or for any sum which Landlord may be required to expend by reason of Tenant's default in respect of any of the terms, covenants, and conditions of this Lease, including, but not limited to, any damages or deficiency in the reletting of the Premises, whether such damages or

deficiency accrued before or after summary proceedings or other re-entry by Landlord. It is expressly intended, understood and agreed that the right of the Landlord to use the security deposit as aforesaid in no manner limits or precludes the Landlord from exercising such other rights and remedies as are provided in this Lease. Interest earned on the security deposit, if any, shall belong to the Landlord.

In the event that tenant shall fully and faithfully comply with all the terms, provisions, covenant, and conditions of this Lease, the security deposit of Seventeen Hundred (\$1,700.00) shall be returned to Tenant after the date fixed as the end of the Lease and after delivery of the entire possession of the Premises to Landlord.

In the event that Landlord sells or assigns its interest in the Premises, as provided in Section 14 hereof, upon delivery of the security deposit to such purchaser or assignee of Landlord's interest, thereupon Landlord shall be discharged from any further liability with respect to such deposit and Tenant agrees to look to such purchaser or assignee for the return of the same.

#### SECTION 8. PAYMENTS TO LANDLORD.

All payments due under this lease shall be paid by Tenant to Landlord at: Brickner Braam, LLC; 6240 Highway 65 NE. - Suite 207, Fridley, MN 55432 or at such other place or places as Landlord may from time to time require in writing.

#### SECTION 9. EQUIPMENT AND TRADE FIXTURES.

Whether owned by Landlord at the commencement of the term, subsequently purchased by Landlord, or purchased by Tenant, all equipment considered necessary to the general operation and maintenance of the Premises shall be the property of the Landlord.

Trade fixtures, including machinery and other equipment which are supplied and used by Tenant in the conduct of its business and which are not necessary for the general operation and maintenance of the Premises shall be the property of Tenant and may be removed by Tenant at any time prior to termination of this Lease or shall be removed by it upon demand of Landlord at the expiration thereof. Any such fixtures remaining on the Premises after the expiration of their term of this Lease, upon reasonable notice from Landlord to Tenant, shall be deemed abandoned by Tenant and shall become the Property of Landlord. In the event that, in Landlord's sole judgment, any removal of said fixtures shall injure or damage the Premises, Tenant shall repair such injury or damage to the Premises at its expense.

#### SECTION 10. USE; COMPLIANCE WITH LAWS, QUIET ENJOYMENT

- (a) Tenant covenants and agrees so long as this Lease remains in force to use and occupy the premises for office use and for no other purpose or purposes whatsoever without the prior written consent of Landlord.
- (b) Tenant shall not commit or permit any act to be performed on the premises or omission to occur which will be in violation of any statute, regulation or ordinance of any governmental body, or which will increase the insurance on the building, or which will be in violation of any insurance policy carried on the Premises by Landlord. Tenant agrees to defend, indemnify and hold Landlord harmless against all costs, expenses, liabilities, losses, fines, penalties, claims and demands, arising out of any violation or act of default of Tenant in the conditions and covenants of this Lease.
- (c) Landlord covenants and agrees with Tenant that upon Tenant paying the rent and performing all of the terms and conditions of Tenant's part to be observed and performed, Tenant may peaceably and quietly enjoy the Premises hereby leased, subject, nevertheless, to the terms and conditions of this Lease.
- (d) Tenant agrees that the entire Building will be a non-smoking area.

#### SECTION 11. DESTRUCTION OR CONDEMNATION.

In the event that the Premises shall become untenable or unfit for occupancy, in whole or in part, by the total or partial destruction of the said building by fire or other casualty or through condemnation proceedings and Landlord shall fail or refuse within thirty (30) days after written notice of

the same from Tenant to agree in writing to commence restoration of the said Premises within ninety (90) days of such notice, this Lease may be terminated by either Landlord or Tenant in writing. In the event the Landlord shall agree in writing to commence restoration of the Premises within the said time, the rent to be paid hereunder pending such restoration shall be abated in proportion to the loss and impairment of the use of the Premises. It is agreed by and between the parties hereto that in the event of condemnation by public authorities of the whole or any part of the Premises, the landlord shall be entitled to the entire award for the land and buildings and all other sums, but nothing herein contained shall be construed to prevent the Tenant from asserting and recovering damages against the condemners for damages occurring by reason of such condemnation for removal expenses for Tenant's personal property and trade fixtures. The term condemnation shall include the exercise of any similar power and any purchase or other acquisition in lieu of condemnation.

#### SECTION 12. DAMAGE TO TENANT'S PROPERTY.

Tenant, as a material part of the consideration to be rendered to Landlord under this Lease, Hereby waives all claims against Landlord for damage to goods, wares and merchandise, in, upon or about the Premises and for injuries to persons in or about the Premises, caused by theft, burglary, fire, water, snow, gas, electricity, or any other cause whatsoever arising at any time; and Tenant will defend, indemnify and hold harmless the Landlord from and against all claims of whatever nature arising from any accident, injury or damage to person or property during the term hereof in or about the Premises or arising from any accident, injury or damage to personal property occurring outside of the Premises but within the Project, where such accident, injury or damage or negligence on the part of Tenant, or on the part of any of its licensees, agents, invitees, servants or employees. This indemnity agreement shall include indemnity against all costs, claims, expense, penalties, liens and liabilities incurred in or in connection with any such claim or proceeding brought thereon and in the defense thereof, including attorneys' fees.

#### SECTION 13. ALTERATIONS.

Tenant shall not make any alterations or additions of any nature whatsoever to the Premises without the express written consent of Landlord. All alterations and additions made with the consent of the Landlord shall be at the sole cost and expense of Tenant and shall immediately become and be the sole property of Landlord and Landlord shall in no way be liable to compensate Tenant for the cost thereof. Tenant shall not permit any mechanic's, materialmen's, or other lien to stand against the Premises for work or material furnished to Tenant and shall deposit sufficient security with Landlord for the due payment of such alteration and additions.

PER EXHIBIT  
12. COST  
BY TENANT  
24

#### SECTION 14. ACCESS BY LANDLORD.

Landlord, or its duly authorized agents may enter the Premises at all reasonable times for the purpose of inspecting the Premises, showing same to prospective purchasers or tenants, or making any repairs, alterations, or improvements which Landlord, in its sole discretion, deems necessary.

#### SECTION 15. ASSIGNMENT AND SUBLEASING.

Tenant shall not sell, assign, sublet or in any way set over any of its right, title and interest in this Lease, or permit this Lease to be transferred without the written consent of landlord first being had and obtained. In the event of such consent being given, Tenant's obligations in terms of this Lease shall not terminate, but shall be in addition to the obligation of the assignee or sublessee of Tenant.

Landlord may at any time, without Tenant's consent, sell, transfer and convey the Premises and assign its interest in this Lease. In the event of transfer of Landlord's interest in the Premises, Landlord shall be automatically freed and relieved from and after the date of such transfer of all liability hereunder, provided that any funds in the hands of Landlord in which Tenant has an interest shall be turned over to the transferee, in trust for application pursuant to the provisions hereof, and any amount then due and payable to Tenant by landlord under any provision of this Lease shall be paid to Tenant.

#### SECTION 16. SIGNS

Tenant shall not erect or permit to be erected on the Premised, any signs or lighted decorations of any kind or nature without the prior written consent of Landlord.

#### SECTION 17. DEFAULT AND REMEDIES.

(a) Events of Default. In the event that:

- (1) Tenant fails to make payment of any amount due by the terms of this Lease on the due date thereof; or
- (2) Tenant defaults in any of the covenants, agreements, stipulations or conditions herein contained; or
- (3) Tenant shall make an assignment for the benefit of creditors; or
- (4) A voluntary or involuntary petition is filed by or against Tenant under any law for the purpose of adjudication of Tenant as bankrupt, or for the extension of the time, payment, composition, arrangement, adjustment, modification, settlement, or satisfaction of the liabilities of Tenant, or for the reorganization of Tenant under the Bankruptcy Act of the United States or any future law of the United States having the same general purpose; or a receiver is appointed for Tenant by reason of insolvency of Tenant; and such adjudication, order, judgment, decree, custody or supervision has not been vacated or set aside or otherwise terminated or permanently stayed within sixty (60) days after the date of entry or beginning thereof;

The occurrence of such event shall be a breach of this Lease and considered a default hereunder.

(b) Remedies in Default.

Upon the occurrence of an event of default as set forth in Section 17 (a) hereof the Landlord may, at its option, at any time hereafter, give written notice to Tenant specifying such event of default and stating that this Lease and the term demised shall expire and terminate on the date specified in such notice, which shall be at least ten (10) days after giving of such notice; provided that no written notice of the default described in 17 (a) shall be required for the Landlord's remedies under this Section to become effective and Tenant shall surrender the Premises to Landlord but shall remain fully liable hereunder for all rents to be paid and covenants to be performed by Tenant during the then remaining balance of the term of this Lease.

In the event that the term of this Lease shall terminate as provided in this Section before the expiration date originally fixed, or in the event Tenant is dispossessed or removed there from by summary proceedings or otherwise, Landlord, at its option, may elect from time to time to rent the Premises or any part thereof in its own name, or for the account of Tenant, for the remainder of the term of this Lease or for a longer period of which said remainder is a part, or for a shorter period or periods, at such rentals and upon such terms as Landlord deems best, and may receive rents therefore applying any monies collected for the remainder of such term, first, to the payment of such reasonable expense, including reasonable attorneys' fees, to which Landlord may have been put to obtain possession, accomplish such reletting and care for the Premises while vacant; and, second, the balance of the net amount of the rents to the performance of Tenant's obligations under this Lease. Any surplus shall belong to Landlord but Tenant shall remain liable for any deficiency. In the event of a reletting of the Premises, Tenant agrees to pay to Landlord as damages for such breach (notwithstanding any entry or re-entry by Landlord, whether by summary proceedings, termination or otherwise) any excess of amounts payable as rent which shall be collected and received by Landlord as provided above for the Premises during the residue of such term. Such damages shall be paid in equal monthly payments on the rent payment dates provided by the Lease, as the amount of such excess shall from time to time be ascertained.

At any time after termination of this Lease as above provided, and immediately upon the occurrence of an event of default specified in Section 17 (a) (3) or (4), Landlord may, at Landlord's option, without notice or other action by Landlord, become entitled to recover from Tenant, as damages for such breach, an amount equal to the difference between the rent reserved in this Lease for the balance of the Lease term and then fair and reasonable rental value for the same period. Said damages shall become immediately due and payable to Landlord. In the computation of such damages, the difference between any installment of rent thereafter becoming due and the fair and reasonable rental value of the Premises for the period for which such installment was payable shall be discounted at the rate of not more than four percent (4%) per annum.

- (c) Cumulative Rights. No right or remedy herein conferred upon or reserved to Landlord is intended to be exclusive of any other right or remedy herein or by law provided, but each shall be cumulative and in addition to every other right or remedy herein or now or hereafter existing at

- law or in equity or by statute.
- (d) **Late Charge.** In the event Tenant fails to pay any installment of rent hereunder as and when such installment is due, or any other charge payable hereunder as and when such charge is due, Tenant, if permitted by law, shall pay to Landlord on demand a late charge if an amount equal to one and one-half percent (1.5%) of such installment or other such charge, or \$50.00, whichever is greater, and failure to pay such late charge within ten (10) days after demand therefore shall be an event of default hereunder. The provision for such late charge shall be in addition to all of Landlord's other rights and remedies hereunder or at law and shall not be construed as liquidated damages or as limiting landlord's remedies in any manner.
  - (e) **Other Remedies of Landlord.** Landlord, after notice to Tenant, may perform for the account of Tenant any covenant in the performance of which Tenant is in default. Tenant shall pay to Landlord as additional rent upon demand any amounts, which Landlord shall have paid by reason of failure of Tenant to comply with any covenant or provision of this Lease, in connection with prosecution, or defense or any proceedings instituted by reason of default of Tenant.
  - (f) **Effect of Waiver of Forbearance.** No waiver by Landlord of any breach by Tenant of any of its obligations, agreement or covenants hereunder shall be a waiver of any subsequent breach of any obligation, agreement or covenant, nor shall any forbearance by landlord of its right and remedies with respect to such or any subsequent breach constitute such a waiver. No waiver, change, modification or discharge by either party hereto of any provision of this Lease shall be deemed to have been made or shall be effective unless expressed in writing.

#### SECTION 18. SUBORDINATION.

This Lease shall be subject to the lien of any prior existing mortgage or mortgages and shall be subordinate to any mortgage or mortgages which at any time may be placed upon the Premises by Landlord, its successors or assigns, and to any replacements, renewals, or extensions thereof, and Tenant agrees, at any time, on demand, to execute and deliver any instruments, estoppel agreements, releases or other documents that may be required for any purpose, including subjecting and subordinating this Lease to the lien of any such mortgage or mortgages. Tenant further agrees to modify provisions of this lease as reasonably required by Landlord's mortgage lenders.

If any mortgagee shall elect to have this Lease prior to the lien of its mortgage, and shall give written notice thereof to Tenant, this lease shall be deemed prior to such mortgage.

#### SECTION 19. NOTICE.

Any notice which is required to be given by either party to the other party shall be in writing and shall be sent by registered mail to Landlord at 6240 Highway 65 – Suite 207, Fridley, MN 55432 or such other places as Landlord may from time to time in writing require, and by first class prepaid mail to Tenant at the Premises.

#### SECTION 20. SUCCESSORS AND ASSIGNS.

The covenants and agreements herein contained shall bind and inure to the benefit of the Landlord (except that Landlord shall have no further liability after sale of the Premises), its successors and assigns, and to the Tenant and its permitted successors and assigns.

#### SECTION 21. HOLDING OVER.

If Tenant remains in possession of the Premises or any part thereof after the expiration or termination of this Lease without the express written consent of Landlord, Tenant shall pay as liquidated damages twice the rent which Tenant was obligated to pay for the month immediately preceding the end of the term of this Lease for each month or any part thereof of any such holdover period. No holding over by tenant shall operate to extend the lease term; in the event of any unauthorized holding over, Tenant shall indemnify Landlord against all claims for damages by any other tenant to whom Landlord may have leased all or any part of the Premises covered hereby effective upon the termination of this Lease. Any holding over with the consent of Landlord in writing shall thereafter constitute this Lease Agreement a lease from month to month.

#### SECTION 22. PARTIAL INVALIDITY.

If any term or provision of this Lease shall be held invalid or unenforceable, the remaining terms

and provisions of this Lease shall not be affected thereby, but each term and provision shall be valid and be enforced to the fullest extent permitted by law.

SECTION 23. GOVERNING LAW.

This lease shall be governed, construed and enforced in accordance with the laws of the State of Minnesota.

SECTION 24. OPTION TO RENEW.

Intentionally deleted

SECTION 25. WHOLE AGREEMENT.

This is the whole agreement between the parties and any alterations or additions hereto shall have effect only if reduced to writing and signed by both parties or their duly authorized representative.

IN WITNESS WHEREOF, the Landlord and Tenant have duly executed this Lease on the day and year first written above.

LANDLORD:

Richard T. Brickner  
Brickner Braam, LLC

TENANT:

*Zak Valley*  
Jesus Christ International Ministry  
Pastor Zak Valley

*Head Pastor of the Church*  
Title

*Contingent upon Approval of Tenant's Conditional  
USE permit with City of Spring Lake Park by  
FEB 28, 2022*

*Zak Valley*  
7

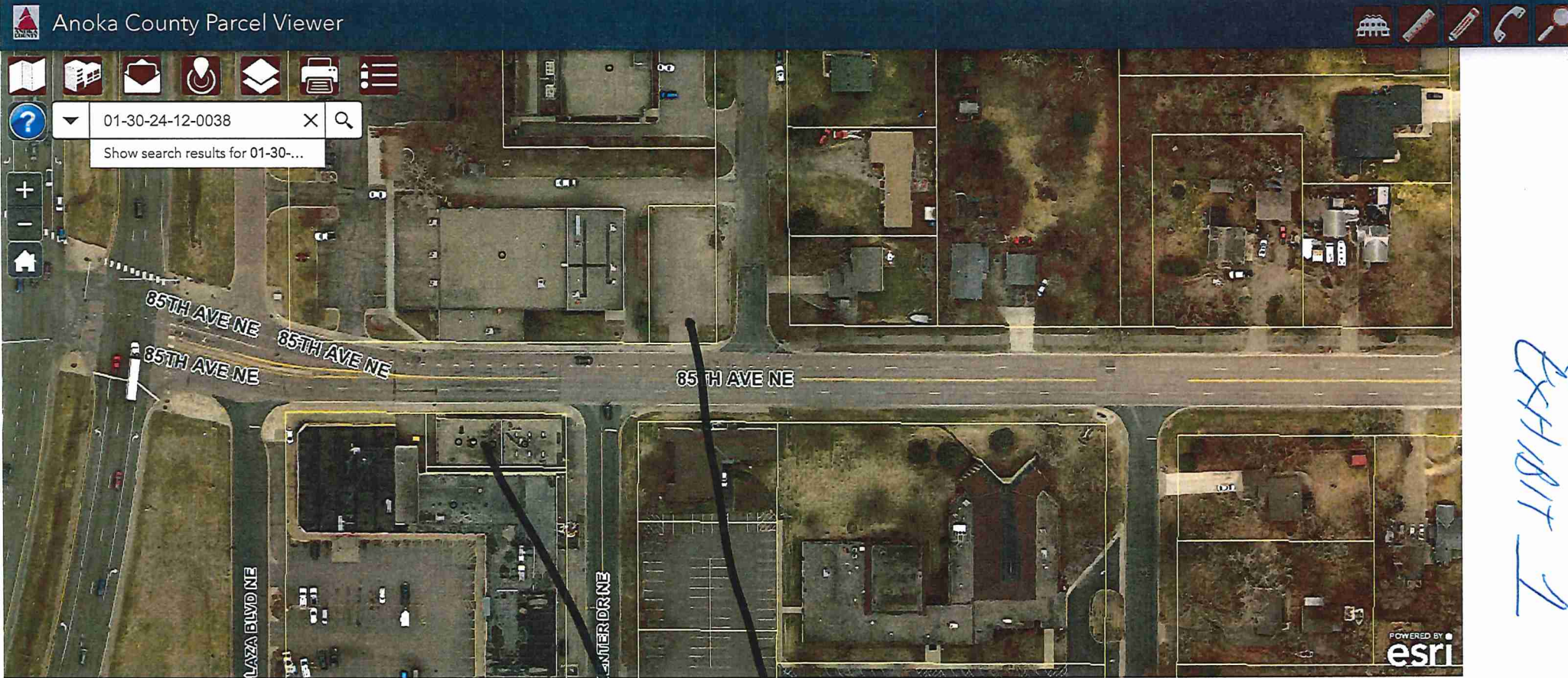
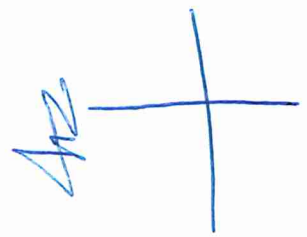


EXHIBIT 1

Building  
Parking



100ft  
508,794,808 132,439,354 Feet



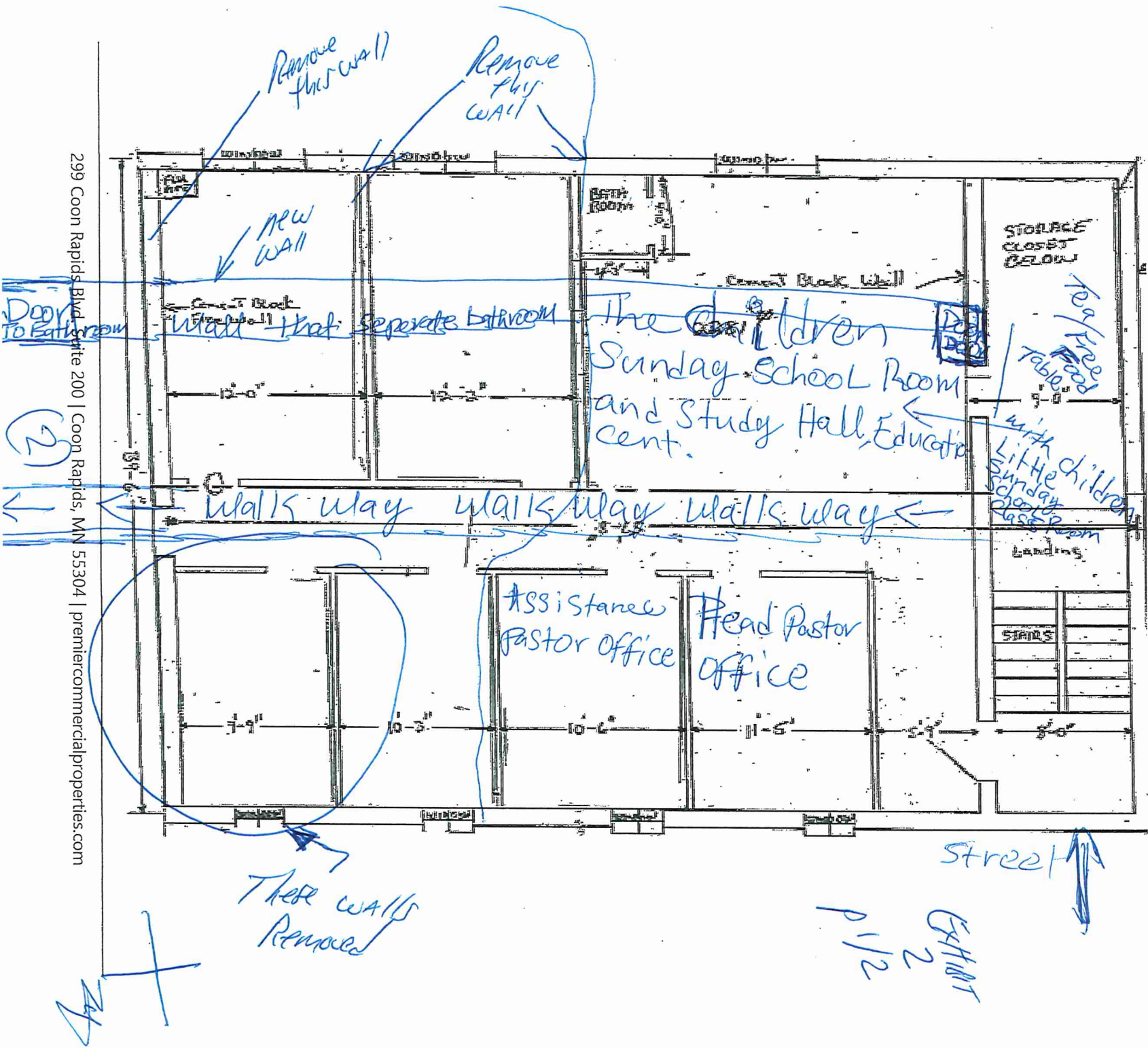
**PREMIER**  
COMMERCIAL  
PROPERTIES

1440 85th Ave NE Spring Lake Park MN 55432

**FOR LEASE**

(1)

299 Coon Rapids Blvd Suite 200 | Coon Rapids, MN 55304 | premiercommercialproperties.com





(3)



**PREMIER**  
COMMERCIAL  
PROPERTIES

**FOR LEASE**

1440 85th Ave NE Spring Lake Park MN 55432

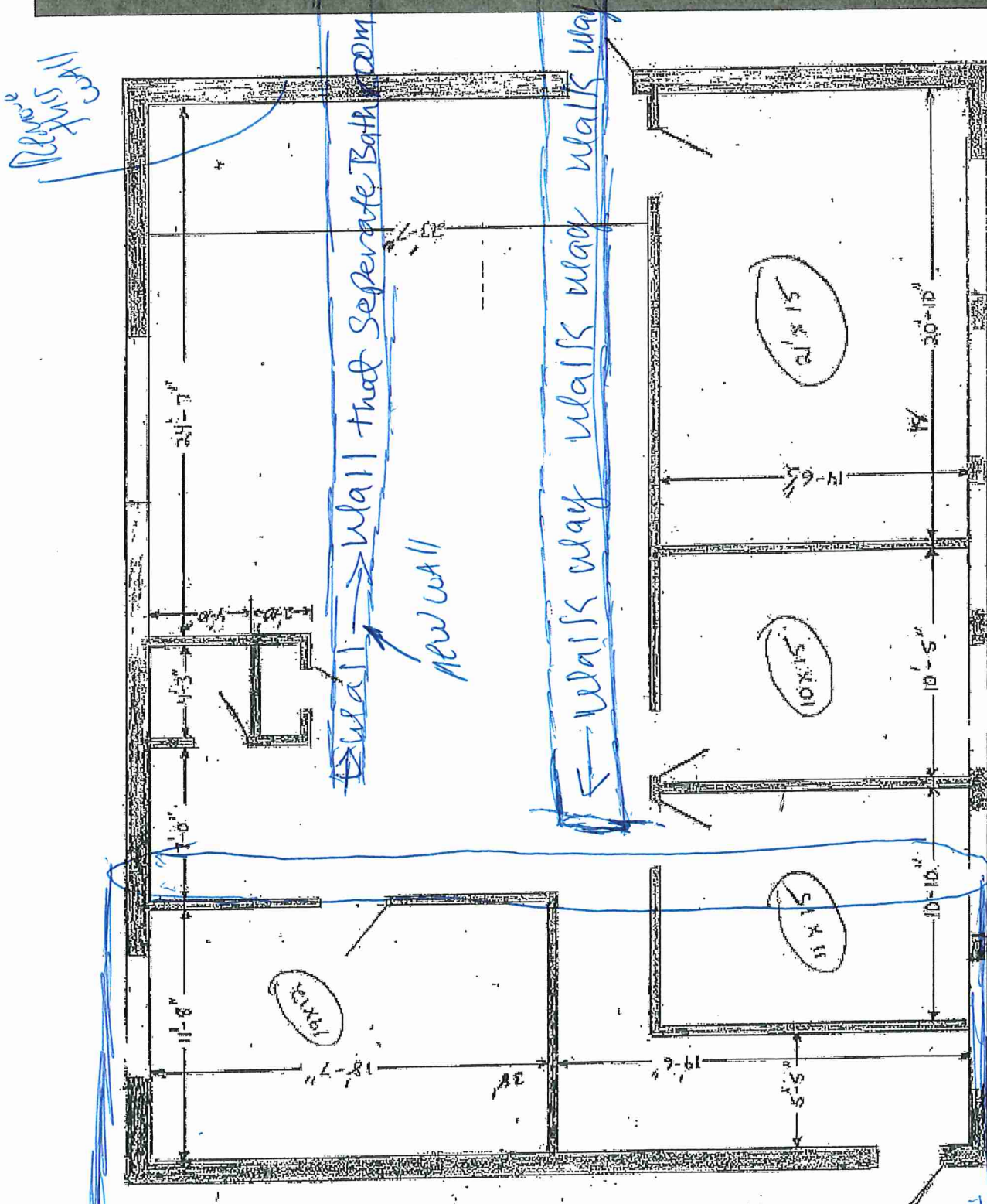
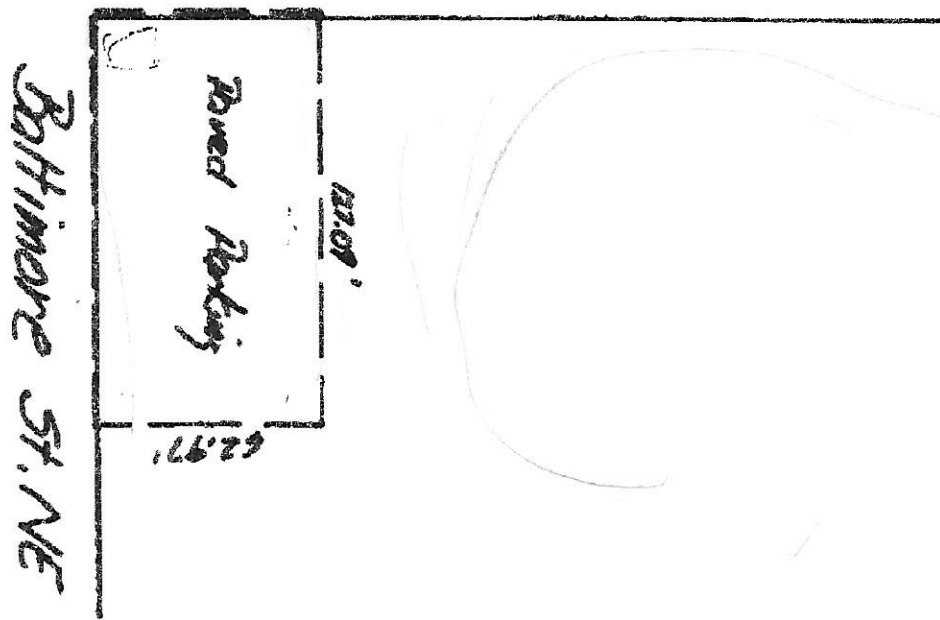
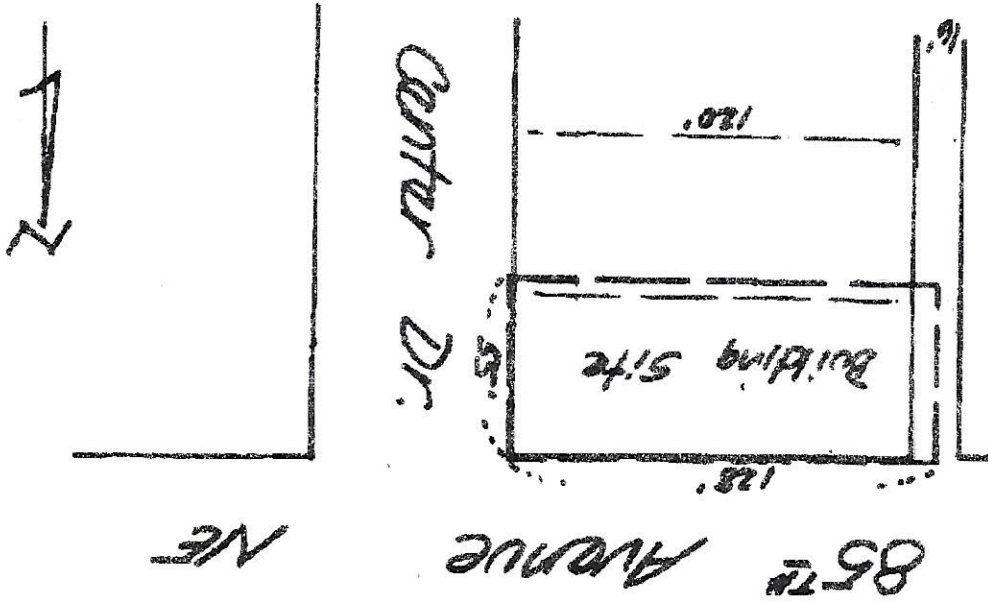


EXHIBIT  
2  
p 2/2

+

Preacher Backwall (H) Pay Pit area

FLAT MAP



These are some of the respond for the city of spring lake park.MN from Jesus Christ international ministries (J-Cim) 01/19/2022!..

- (1) The total squire foot is 4000.00 but up to 1200,00 square foot of space will be use for two offices, and one Sunday school classroom.
- (2) Seating capacity for the people we have now is 22 total
- (3) Classroom /Sunday school for children occupant 12 kids right now.
- (4) Head of church office Reverend. Yalley office space occupant up to 5 people
- (5) My assistance pastor. Ishmael office space occupant up to 3 people.
- (6) The total number numbers of volunteers are 4 people for now.
- (7) The total cars from the church worshiper that will occupy the parking space are 7 cars for now.
- (8) Yes, their will be a change to the interior, and a church sing on the outside of the building, but we have not reached that point in our planning.

Thanks for trying to really help our church Ms. Lauren Walbury, and the member of the city, who are giving us an ear to hear our case, however especially in times like this people hopes are going down, so we just want to do everything right to have our new church home in the city of spring lake park.MN

Rev.Zuku John Yalley

Church email: [jchristinternationalministry@gmail.com](mailto:jchristinternationalministry@gmail.com)

My personal email: [Mr.zyalley@gmail.com](mailto:Mr.zyalley@gmail.com) or [1sweetking@gmail.com](mailto:1sweetking@gmail.com)

My phone number is (612) 407-8105 or (763) 951-9931

My address: 2421 96<sup>th</sup> way Brooklyn park.MN 55444

**CITY OF SPRING LAKE PARK**

**RESOLUTION NO. 22-07**

**RESOLUTION GRANTING APPROVAL OF CONDITIONAL USE PERMIT FOR  
JESUS CHRIST INTERNATIONAL MINISTRIES AT 1440-1450 85<sup>TH</sup> AVENUE NE**

**WHEREAS**, Jesus Christ International Ministries (the “Applicant”) submitted an application for approval of a conditional use permit to permit the operation of an assembly use at 1440-1450 8<sup>5th</sup> Avenue NE; and

**WHEREAS**, the legal description for the planned unit development is as follows:

Lot 38 and the North 5 feet of Lot 37, Spring Lake Park Plaza, according to the map or plat thereof on file and of record in the office of the Registrar of Titles in and for Anoka County, Minnesota; and

That part of the East half of the vacated alley in the plat of Spring Lake Park Plaza, Anoka County, Minnesota, lying Northerly of the Westerly extension across it of the South line of the North 5.00 feet of Lot 37, said plat, and lying Southerly of a line drawn from the Northwest corner of Lot 38, said plat, to the Northeast corner of Lot 39, said plat; and

**WHEREAS**, the Planning Commission considered the Applicant’s request at a duly noticed Public Hearing which took place on January 24, 2022; and

**WHEREAS**, the Planning Commission recommended approval of the application of an assembly use to the City Council; and

**WHEREAS**, the City Council considered the application at its February 7, 2022 meeting and has made the following findings in support of approval of the conditional use permit application for an assembly use:

1. The proposed church use in an existing multi-tenant commercial building appears to not involve issues beyond parking. From the information submitted by the applicant and owners, parking appears to be adequate for the proposed use.
2. It is reasonable and appropriate for the City to review and respond to potential parking issues on site which could result in traffic or safety issues. Such review may involve imposing additional conditions on the use, which is an appropriate function of the City’s zoning authority.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park that the City Council does hereby approve the application made by Jesus Christ International Ministries for a conditional use permit to permit the operation of an assembly use at 1440-1450 85<sup>th</sup> Avenue NE, subject to the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.
5. All parking lot areas shall be striped in accordance with current Code standards.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Whereon the Mayor declared said Resolution duly passed and adopted the 7th day of February 2022.

APPROVED BY:

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Robert Nelson, Mayor

ATTEST:

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Daniel R. Buchholtz, City Administrator

## OFFICIAL PROCEEDINGS

Pursuant to due call and notice thereof, the regularly scheduled meeting of the Spring Lake Park Planning Commission was held on January 24, 2022, at the City Hall, at 7:00 PM

### 1. CALL TO ORDER

Chair Hansen called the meeting to order at 7:00 PM.

### 2. ROLL CALL

#### MEMBERS PRESENT

Chair Hans Hansen  
Commissioner Doug Eischens  
Commissioner Jeff Bernhagen  
Commissioner Rick Cobbs  
Commissioner Eric Julien

#### STAFF PRESENT

Building Official Baker, City Planner Lauren Wahlberg, Administrator Buchholtz

#### OTHERS PRESENT

Ryan and Kelsey Hollihan, 518 Rosedale Road NE  
Marty Fischer, Premier Commercial Properties  
Reverend Zuku John Yalley, Jesus Christ International Ministry

### 3. PLEDGE OF ALLEGIANCE

### 4. ELECT OFFICERS

#### A. Chair

Motion made by Commissioner Eischens, seconded by Commissioner Julien, to elect Commissioner Hansen as Chair for 2022.

Voting Yea: Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Abstain: Chair Hansen. Motion carried.

#### B. Vice Chair

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to elect Commissioner Bernhagen as Vice Chair for 2022.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

## 5. APPROVAL OF MINUTES

### A. Approval of Minutes - October 25, 2021

Motion made by Commissioner Bernhagen, seconded by Commissioner Julien, to approve the minutes from the October 25, 2021 Planning Commission meeting.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

## 6. PUBLIC HEARING

### A. Conditional Use Permit for Assembly Use - Jesus Christ International Ministry, 1440 85th Ave NE

Planner Wahlberg provided an overview of the conditional use permit request from Jesus Christ International Ministry. She stated that the applicant is seeking to lease space in the 1440-1450 85<sup>th</sup> Avenue NE for a church, which is classified as an assembly use in the Zoning Code. She noted that the Zoning Code classifies assembly uses in the C-1 zoning district as a conditional use.

Planner Wahlberg said that the church will use 4,000 square feet of leased space for a preaching/sanctuary space, restrooms, educational space and administrative offices. She noted that the applicant stated that 22 people will be in the worship area and 10 children in the education area at any one time. She stated the church predicts a maximum parking need of 7 cars on Sunday mornings.

Planner Wahlberg stated that she has reviewed the application and is recommending approval of the application, with the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional

Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.

Rev. Zuku John Yalley, head pastor of Jesus Christ International Ministries (J-CIM), stated that they plan to start a small ministry in Spring Lake Park. He stated that J-CIM plans to deliver a service to the community, providing support to people in areas such as hunger, emotional stress, hopelessness, confusion, sickness, joblessness and homelessness.

Administrator Buchholtz inquired about growth plans for the congregation. Rev. Yalley stated that he is unsure how much the church will grow over the 4-year term of the lease. He stated that if the church outgrew the facility, they would look for a more permanent home.

Commissioner Eischens inquired about code requirements. Building Official Baker noted that, should the CUP be approved, the applicant will need to apply for a Certificate of Occupancy for the site, which could result in improvements to bring the site up to current Building and Accessibility Codes. Administrator Buchholtz noted that while these could be significant and could result in the applicant not moving forward, the Commission is evaluating the CUP application based on zoning ordinance requirements.

Commissioner Bernhagen inquired about parking lot striping. Administrator Buchholtz noted that parking lot striping can be included as a condition of approval.

Chair Hansen opened the public hearing at 7:45 pm. Hearing no public input, Chair Hansen closed the public hearing at 7:46 pm.

Motion made by Commissioner Cobbs, seconded by Commissioner Julien to recommend approval of the conditional use permit to J-CIM for an assembly use at 1440 85<sup>th</sup> Avenue NE, subject to the following conditions:

1. The property owners will reserve at least 12 spaces on Sunday morning for exclusive use by the church. The applicant and the property owner will need to discuss the number of spaces the church needs during evenings and weekdays. The spaces for church use will be clearly marked and the building owner will enforce the use of them. If parking becomes a problem, in the City's sole opinion, on-site or on the street, the City reserves the right to review the Conditional Use Permit and impose additional conditions, limit the use of the space or revoke the Conditional Use Permit.
2. The property owner and church will arrange for off-site joint parking with an adjacent property if parking needs grow beyond available parking.
3. The church or the property owners will apply for a sign permit if and when the church wishes to install new signage, which will comply with the City's sign regulations.
4. Any changes proposed to the exterior of the building or site as a result of this church use, other than signage will be reviewed by City staff to see if such changes require review of the Conditional Use Permit. In such a case, the City reserves the right to refer the Conditional Use Permit to the Planning Commission and City Council and impose additional conditions or limit the use of the space.



5. All parking lot areas shall be striped in accordance with current Code standards.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

B. Variance from Impervious Surface Maximum and Maximum Percentage of Lot Coverage for Structures Regulations for Backyard Pool - Ryan & Kelsey Hollihan, 518 Rosedale Road NE

Administrator Buchholtz provided an overview of the variance application. He stated that Ryan and Kelsey Hollihan are requesting a variance from two sections of the City Code to permit the construction of a 16 foot by 32 foot in-ground swimming pool in their backyard for aquatic therapy purposes. He stated that the pool addition would require a variance from Section 16.20.090 of the Zoning Code which limits impervious surface coverage to 50% of any zoning lot in the R-1 district and from Appendix E of the Zoning Code limiting the maximum percentage of lot coverage for all structures in the R-1 district to 35%.

Administrator Buchholtz stated that staff's review determined the pool will not alter the character of the neighborhood as in-ground pools are found in the community and that the pool will be screened by existing fencing on the south and west property lines, the home to the north and the accessory building to the east. Administrator Buchholtz did note that concerns about excess impervious surface are valid and stormwater runoff from the additional impervious surface would need to be addressed.

Administrator Buchholtz stated that if the Planning Commission wished to recommend approval, it could do so with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. [Optional] Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool.

Kelsey Hollihan, 518 Rosedale Road NE, stated that she has been facing significant mobility issues resulting from nerve damage in her leg. She stated that she has exhausted surgical options to address the nerve damage and insurance benefits for off-site aquatic therapy. She stated that she had a letter from her surgeon strongly supporting the construction of the swimming pool.

Commissioner Julien inquired if there was a way to reduce the amount of impervious surface on the lot, including the possibility of replacing concrete with pervious pavers or an alternative solution. Ryan Hollihan, 518 Rosedale Road NE, stated that they could explore the installation of pervious pavers to replace concrete on the west side of the existing accessory building.

Chair Hansen opened the public hearing at 8:10 pm. Hearing no public comment, Chair Hansen closed the public hearing at 8:11 pm.

Commissioner Bernhagen expressed his opinion that the applicant has a number of structures and hard surfaces on the property already and that the addition of the swimming pool would be out of character for the neighbor and have negative stormwater impacts on neighboring properties and the City's stormwater collection system. Eischens agreed, stating he would like the applicant to make changes to the property to reduce the number of impervious surfaces and structures to meet the existing code.

Motion made by Commissioner Julien, seconded by Commissioner Cobbs, to approve the variance at 518 Rosedale Road NE with the following conditions:

1. Applicant shall comply with all swimming pool performance standards specified in Section 16.28.020 of the Zoning Code.
2. Applicant shall apply for a building permit prior to construction of the pool.
3. Applicant shall ensure that no runoff from the additional impervious surface shall impact property owners to the west and south of the applicant's property.
4. Applicant shall construct a rain garden to treat stormwater runoff generated by additional impervious surfaces created by the swimming pool. Rain garden design and location shall be reviewed by the City Engineer prior to construction.
5. Applicant shall remove the concrete walkway located on the west side of the existing accessory building and replace it with pervious pavers or other pervious surface to reduce storm water runoff.

Voting Yea: Chairperson Hansen, Commissioner Cobbs, Commissioner Julien. Voting Nay: Commissioner Eischens, Commissioner Bernhagen. Motion carried.

## **7. OTHER**

Administrator Buchholtz reported that there is an opening on the Planning Commission. He requested that any residents interested in serving on the Commission to please contact City Hall for an application.

## **8. ADJOURN**

Motion made by Commissioner Eischens, seconded by Commissioner Bernhagen, to adjourn.

Voting Yea: Chairperson Hansen, Commissioner Bernhagen, Commissioner Cobbs, Commissioner Eischens, Commissioner Julien. Motion carried.

Meeting adjourned at 8:20pm.

**CITY OF SPRING LAKE PARK, MINNESOTA**

**RESOLUTION NO. 22-08**

**RESOLUTION RESCINDING THE REVOCATION OF THE RENTAL HOUSING  
LICENSE AT 603 81<sup>ST</sup> AVENUE NE**

WHEREAS, the City Council, at its January 18, 2022 meeting, approved Resolution 22-05, A Resolution Approving Rental License Revocation for Certain Property Located at 603 81<sup>ST</sup> Ave NE, Pursuant to Section 12.16.140 of the City of Spring Lake Park Code; and

WHEREAS, Rozanne Slater-Olson submitted the renewal rental license application and fees on January 19, 2022; and

WHEREAS, the rental property is now in compliance with Section 12.16.140 of the City Code.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Spring Lake Park that the City Council does hereby rescind the revocation of the rental housing license at 603 81<sup>ST</sup> Avenue NE.

The foregoing resolution was moved for adoption by Councilmember.

Upon roll call, the following voted aye:

And the following voted nay:

Whereupon, the Mayor declared said resolution duly passed and adopted this 7th day of February, 2022.

\_\_\_\_\_  
Robert Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Daniel R. Buchholtz, Administrator



**Stantec Consulting Services Inc.**  
733 Marquette Avenue, Suite 1000, Minneapolis MN 55402

February 2, 2022

Mr. Dan Buchholtz, Administrator  
City of Spring Lake Park  
City Hall  
1301 81<sup>st</sup> Avenue NE  
Spring Lake Park, MN 55432

Re: 2022 Street Improvements Project  
Project No. 193805383  
**Declare Amount to be Assessed and Order Final Assessment Roll**

Dear Dan:

Bids were opened for the 2022 Street Improvements Project (and sidewalk projects) on January 31, 2022. The bid amounts for the street work (base bid) were lower than the amount estimated as part of the Feasibility Report for the Project. The table below summarizes the results of the Bids. The Base Bid is the Street Project, Alternate A is the sidewalk on Able St., and Alternate B is the sidewalk on 81<sup>st</sup> Avenue.

	<u>Contractor</u>	<u>Base Bid</u>	<u>Alternate A</u>	<u>Alternate B</u>	<u>TOTAL</u>
Low	Northwest Asphalt	\$ 371,695.50	\$ 17,172.31	\$ 75,889.71	\$ 464,757.52
2	ASTEC Corp.	\$ 392,142.48	\$ 23,101.60	\$ 61,883.84	\$ 477,127.92
3	Valley Paving Inc.	\$ 397,177.92	\$ 17,562.07	\$ 64,134.01	\$ 478,874.00
4	Park Construction	\$ 392,360.15	\$ 22,877.85	\$ 71,233.20	\$ 486,471.20
5	Aslakson's Services	\$ 424,086.50	\$ 16,759.75	\$ 52,459.50	\$ 493,305.75
6	North Valley Inc.	\$ 390,827.65	\$ 21,390.17	\$ 82,245.04	\$ 494,462.86
7	New Look Contracting	\$ 450,037.50	\$ 29,176.00	\$ 82,444.00	\$ 561,657.50
8	Forest Lake Cont.	\$ 596,358.00	\$ 27,310.00	\$ 67,956.00	\$ 691,624.00

No action regarding the bids is necessary at this time. The next step in the process for the street project is to prepare for an assessment hearing. We have updated the estimated total project cost for the street project based on the low bid received from Northwest Asphalt.

Based on the low bid, the current total project cost estimate for the street project is \$483,205. The current estimated amount to be assessed is \$207,161. These numbers are about 20% less than the estimated costs presented in the Feasibility Report for the project.

**At this time, we request that the council declare the amount to be assessed and order preparation of a final assessment roll.** This action should include a Resolution.

The council can receive the Final Assessment Roll on February 22<sup>nd</sup>. The Assessment Hearing can be held on March 22<sup>nd</sup>. Contract Award can take place after the Assessment Hearing.

Should you have any questions, please feel free to contact me at 612-712-2053.

Sincerely,  
**STANTEC CONSULTING SERVICES INC.**

  
Phil Gravel

**CITY OF SPRING LAKE PARK**

**RESOLUTION NO. 22-09**

**RESOLUTION DECLARING COST TO BE ASSESSED AND ORDERING  
PREPARATION OF PROPOSED ASSESSMENT**

**WHEREAS**, estimated costs have been calculated for the 2022 Street Improvement Project, the improvement of Garfield Street between the centerline of 81st Avenue NE to its terminus at 80th Avenue NE, 80th Avenue NE between the centerline of Garfield Street and the centerline of Hayes Street, and Hayes Street NE between the centerline of 81st Avenue NE to its terminus at 80th Avenue NE by rehabilitating said streets and performing repairs to the existing public storm sewer system, along with any needed sanitary sewer and water system repairs discovered during the project; and

**WHEREAS**, the estimated cost for such improvement is \$371,695.50, and the expenses incurred or to be incurred in the making of such improvement amount to \$111,508.65 so that the total cost of the improvement will be \$483,204.15.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota:

1. The portion of the cost of such improvement to be paid by the city is hereby declared to be \$276,043.07 and the portion of the cost to be assessed against benefited property owners is declared to be \$207,161.08.
2. Assessments shall be payable in equal annual installments extending over a period of 10 years, the first of the installments to be payable on or before the first Monday in January, 2023, and shall bear interest at the rate of 3.60% per annum from the date of the adoption of the assessment resolution.
3. The Administrator, Clerk/Treasurer, with the assistance of the City Engineer, shall forthwith calculate the proper amount to be specially assessed for such improvement against every assessable lot, piece or parcel of land within the district affected, without regard to cash valuation, as provided by law, and he shall file a copy of such proposed assessment in his office for public inspection.
4. The Administrator, Clerk/Treasurer shall upon the completion of such proposed assessment, notify the Council thereof.

The foregoing resolution was moved for adoption by Councilmember .

Upon roll call, the following voted aye:

And the following voted nay:

Whereupon the Mayor declared said resolution duly passed and adopted this 7th day of February 2022.

---

Robert Nelson, Mayor

ATTEST:

---

Daniel R. Buchholtz, Administrator



**ASSESSABLE AMOUNT BASED ON LOW BID**

2022 STREET IMPROVEMENTS PROJECT

PROJECT NO. 193805383

CITY OF SPRING LAKE PARK

February 2022

No.	Item	Units	Qty	Bid Unit Price	ASSESSABLE	NON-ASSESSABLE
<b>BASE BID</b>						
1	MOBILIZATION	LS	1	\$ 10,962.00	\$ 10,962.00	
2	TRAFFIC CONTROL	LS	1	\$ 3,270.00	\$ 3,270.00	
3	EROSION AND SEDIMENT CONTROL	LS	1	\$ 4,885.00	\$ 4,885.00	
4	BULKHEAD SEWER PIPE (STORM)	EACH	2	\$ 250.00		\$ 500.00
5	RECONSTRUCT INVERT & DOG HOUSES (STORM-EXCBMH6)	EACH	1	\$ 800.00		\$ 800.00
6	REMOVE STRUCTURE (STORM EXCBMH3)	EACH	1	\$ 500.00		\$ 500.00
7	REMOVE CB CASTING (STORM)	EACH	7	\$ 50.00		\$ 350.00
8	SALVAGE MH CASTING (STORM)	EACH	1	\$ 50.00	\$ 50.00	
9	SALVAGE MH CASTING (SANITARY)	EACH	24	\$ 50.00	\$ 1,200.00	
10	REMOVE CURB AND GUTTER	LIN FT	650	\$ 8.12	\$ 5,278.00	
11	SAWCUT BITUMINOUS PAVEMENT	LIN FT	160	\$ 3.00	\$ 480.00	
12	FULL DEPTH RECLAMATION (FDR) (P)	SQ FT	104000	\$ 0.08	\$ 8,320.00	
13	HAUL EXCESS RECLAIM MATERIAL TO CITY SITE	CY	100	\$ 5.95	\$ 595.00	
14	HAUL AND DISPOSE EXCESS MATERIAL	LS	1	\$ 15,055.00	\$ 15,055.00	
15	SUBGRADE PREPARATION	LS	1	\$ 16,950.00	\$ 16,950.00	
16	ADJUST EXISTING VALVE BOX	EACH	5	\$ 634.00	\$ 3,170.00	
17	ADJUST EXISTING MH FRAME AND CASTING (STORM)	EACH	1	\$ 774.00	\$ 774.00	
18	ADJUST EXISTING MH FRAME AND CASTING (SAN)	EACH	24	\$ 774.00	\$ 18,576.00	
19	ADJUST EXIST CB WITH NEW FRAME AND CASTING	EACH	6	\$ 923.00	\$ 5,538.00	
20	SUBGRADE EXCAVATION (EV)	CU YD	200	\$ 29.28	\$ 5,856.00	
21	SELECT GRANULAR BORROW (CV)	CU YD	200	\$ 0.01	\$ 2.00	
22	LOAM TOPSOIL BORROW (LV)	CU YD	48	\$ 60.00	\$ 2,880.00	
23	TYPE SP 9.5 WEARING COURSE MIXTURE (3,B) - STREET	TON	1050	\$ 78.51	\$ 82,435.50	
24	TYPE SP 12.5 NON WEARING COURSE (3,B) - STREET	TON	1750	\$ 73.55	\$ 128,712.50	

No.	Item	Units	Qty	Bid Unit Price	ASSESSABLE	NON-ASSESSABLE
25	PREPARE SURFACE FOR WEAR PAVING	LS	1	\$ 1,175.00	\$ 1,175.00	
26	TACK COAT	GAL	725	\$ 2.00	\$ 1,450.00	
27	CONCRETE CURB & GUTTER	LIN FT	650	\$ 38.71	\$ 25,161.50	
28	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	57	\$ 72.00		\$ 4,104.00
29	2-INCH THICK POLYSTYRENE INSULATION	SQ FT	120	\$ 3.50		\$ 420.00
30	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EACH	2	\$ 3,200.00		\$ 6,400.00
31	CONNECT TO EXISTING STORM SEWER PIPE	EACH	3	\$ 1,000.00		\$ 3,000.00
32	CONNECT TO EXIST STORM STRUCTURE (CORE DRILL)	EACH	1	\$ 1,500.00		\$ 1,500.00
33	4" PVC PERFORATED DRAINTILE W/ SOCK	LIN FT	57	\$ 28.00	\$ 1,596.00	
34	SOD (YARD TYPE)	SQ YD	650	\$ 15.00	\$ 9,750.00	
<b>Total Estimated Construction - BASE BID</b>					<b>\$ 354,121.50</b>	<b>\$ 17,574.00</b>
<b>Legal, Administration, Contingency and Engineering</b>					<b>\$ 106,236.45</b>	<b>\$ 5,272.20</b>
					<b>\$ 460,357.95</b>	<b>\$ 22,846.20</b>

Net Assessable Amount based on the low bid is \$460,357.95

City policy is to assess 45-percent of net assessable amount. 45-percent of \$460,357.95 is: \$ 207,161.08

\$207,168.08 divided by 76 parcels is: \$ 2,725.80 per parcel.

(The amount per parcel from Feasibility Report was \$3,400)



	<b><u>Contractor</u></b>	<b><u>Base Bid</u></b>	<b><u>Alternate A</u></b>	<b><u>Alternate B</u></b>	<b><u>TOTAL</u></b>
Low	Northwest Asphalt	\$ 371,695.50	\$ 17,172.31	\$ 75,889.71	\$ 464,757.52
2	ASTEC Corp.	\$ 392,142.48	\$ 23,101.60	\$ 61,883.84	\$ 477,127.92
3	Valley Paving Inc.	\$ 397,177.92	\$ 17,562.07	\$ 64,134.01	\$ 478,874.00
4	Park Construction	\$ 392,360.15	\$ 22,877.85	\$ 71,233.20	\$ 486,471.20
5	Aslakson's Services	\$ 424,086.50	\$ 16,759.75	\$ 52,459.50	\$ 493,305.75
6	North Valley Inc.	\$ 390,827.65	\$ 21,390.17	\$ 82,245.04	\$ 494,462.86
7	New Look Contracting	\$ 450,037.50	\$ 29,176.00	\$ 82,444.00	\$ 561,657.50
8	Forest Lake Cont.	\$ 596,358.00	\$ 27,310.00	\$ 67,956.00	\$ 691,624.00

**CITY OF SPRING LAKE PARK**

**RESOLUTION NO. 22-10**

**A RESOLUTION APPROVING THE TENTATIVE AGREEMENT BETWEEN THE CITY OF SPRING LAKE PARK AND IUOE LOCAL #49, REPRESENTING THE PUBLIC WORKS MAINTENANCE WORKER BARGAINING UNIT, FOR CALENDAR YEARS 2022-2023**

**WHEREAS**, representatives of the City of Spring Lake Park and representatives of IUOE Local #49, representing the Public Works Maintenance Worker bargaining unit of the City have negotiated a 2 year labor agreement for the term of January 1, 2022 through December 31, 2023; and

**WHEREAS**, the attached document summaries the substantive agreement between the parties.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park, Minnesota that the City Council approves and ratifies the tentative agreement and that the appropriate individuals designated by the City are authorized and directed to execute the original contracts.

The foregoing Resolution was moved for adoption by Councilmember .

Upon Vote being taken thereon, the following voted in favor thereof:

And the following voted against the same:

Whereon the Mayor declared said Resolution duly passed and adopted the 7th day of February, 2022.

APPROVED BY:

---

Robert Nelson, Mayor

ATTEST:

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Daniel R. Buchholtz, City Administrator

**APPENDIX A**

**TENTATIVE AGREEMENT BETWEEN CITY OF SPRING LAKE PARK  
AND IUOE LOCAL #49**

- 1. Article XVI Duration: Two year contract for 2022 and 2023 calendar years
- 2. Article X Wages: Implementation of following compensation table

*Maintenance Worker*

	1/1/2022	2.5% 1/1/2023
Step 1	\$26.80	\$27.47
Step 2 (6 months)	\$27.73	\$28.43
Step 3 (1 year)	\$28.70	\$29.42
Step 4 (2 years)	\$29.71	\$30.45
Step 5 (3 years)	\$30.75	\$31.52
Step 6 (4 years)	\$31.82	\$32.62
Step 7 (5 years)	\$32.94	\$33.76

*Lead Maintenance Worker*

	1/1/2022	2.5% 1/1/2023
Step 1	\$30.11	\$30.86
Step 2 (6 months)	\$31.16	\$31.94
Step 3 (1 year)	\$32.25	\$33.06
Step 4 (2 years)	\$33.38	\$34.22
Step 5 (3 years)	\$34.55	\$35.41
Step 6 (4 years)	\$35.76	\$36.65
Step 7 (5 years)	\$37.01	\$37.94

- 3. Article XI: Clothing Allowance Increase to \$625 in 2022 and \$675 in 2023
- 4. Article VIII: Overtime Increase in compensatory cap from 60 hours to 80 hours  
  
Standby duty weekends increased from 30 weekends to 35 weekends per year.

5. Article III: Sick Leave

Reword the section as follows:

**Section 4. Injury on Duty:** When an employee is injured on duty and has a long-term disability, the employee must take the first ten (10) days from his/her own accrued sick leave and thereafter, the City of Spring Lake Park will pay full wages for the next forty-five (45) working days with no loss in accrued sick leave, pending doctor's authorization. During this period of ~~illness~~injury, all monies received from Workers' Compensation shall be turned over to the City of Spring Lake Park.

Provision is retroactive to January 1, 2021.

6. Article V: Holidays

Add language stating if the Minnesota State Legislature adds Juneteenth to the list of holidays under M.S. 645.44, subd. 5, the City will include Juneteenth as a holiday under Article 21, Section 1 (A).

7. COVID Pay

Employees will be eligible for \$500 in COVID pay. This will be outlined in a separate MOU payable first payroll in February.



# Memorandum

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**To:** Mayor Nelson and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** February 3, 2022

**Subject:** Rental License Revocation – 814 Sanburnol Drive NE

Danielle Jones, the owner of rental property located at 814 Sanburnol Drive NE, has submitted her renewal rental license application and fees to the City.

Staff is requesting the City Council adopt a motion to deny the resolution revoking the rental license for 814 Sanburnol Drive NE.

If you have any questions, please don't hesitate to contact me at 763-784-6491.

**City of Spring Lake Park**

**Resolution NO. 2022-XX**

**RESOLUTION APPROVING RENTAL LICENSE REVOCATION FOR CERTAIN PROPERTY LOCATED AT 814 SANBURNOL DR NE, PURSUANT TO SECTION 12.16.140 OF THE CITY OF SPRING LAKE PARK CODE**

**WHEREAS**, Danielle Jones (Hereinafter “License Holder”) is the legal owner of the reape property at 814 Sanburnol Dr NE Spring Lake Park MN, 55432; and

**WHEREAS**, pursuant to City Code, 12.16.140 of the City of Spring Lake Park written notice setting forth the causes and reasons for the proposed council action contained herein and notice of a public hearing to be held on January 18,2022 was given to the license holder on January 06, 2022

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Spring Lake Park that, in accordance with the foregoing, and all ordinances and regulations of the City of Spring Lake Park, the City Council adopts the following.

**Findings of Fact**

1. That on or about November 15, 2021 Code Enforcement staff sent a letter requesting the owner of the property submit the rental license application for this property. The letter was mailed by regular mail to the owner at the address listed in the property records.
2. That on or about December 16, 2021 Code Enforcement staff sent a letter requesting the owner of the property submit the rental license application for this property. The letter was mailed by regular mail to the owner at the address listed in the property records.
3. That on January 3, 2022 Code Enforcement staff reviewed the property file and noted that the property remained unlicensed. A statement of cause was mailed by regular mail to the owner at the address listed in the property records.
4. That based upon said records of the Code Enforcement, the following conditions and violations of the City Property Maintenance Code were found to exist, to-wit:
  - a. Failure to submit renewal rental license application and fees prior to 01-01-2022
5. That all parties, including the license holder and any occupants or tenants, have been given the appropriate notice of this hearing according to the provisions of the City Code, Chapter 12 Article 16.140 of the City of Spring Lake Park.

**Order of Council**

1. The rental license belonging to the license holder described herein and identified by Danielle Jones is hereby revoked;
2. The City will post for the purpose of preventing occupancy a copy of this order on the buildings covered by the license held by license Holder;
3. All tenants shall remove themselves from the premises within 45 days from the first day of posting of this Order revoking the license as held by license Holder.



February 2<sup>nd</sup>, 2022

To: Mayor and City Council

From: Chief Antoine

Re: New officer hire

Dear Mayor and City Council Members,

As you are aware, the Police Department has been conducting a hiring process since November 1, 2022. We have narrowed the field of candidates down to one individual. I have one more important item I want to finish before naming that individual. I am hoping to bring this hiring process to a close at the February 7th, 2022 council meeting. I will have a new memorandum for your review before the city council meeting on February 7th, 2022.

Sincerely,

Chief Josh Antoine

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Joshua Antoine, Chief of Police

**Spring Lake Park Police Department**

1301 81st Avenue NE | Spring Lake Park, MN 55432

Emergency) 911/763-427-1212 Administration) 763-792-7200 Fax) 763-784-3638

[www.slpmn.org](http://www.slpmn.org)



# Memorandum

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**To:** Mayor Nelson and Members of the City Council

**From:** Daniel R. Buchholtz, MMC, Administrator, Clerk/Treasurer

**Date:** January 20, 2022

**Subject:** Health Care Savings Plan contract approval

The City offers its employees the opportunity to participate in the Health Care Savings Plan (HCSP), as administered by the Minnesota State Retirement System. The HCSP is an employer-sponsored program that allows employees to invest in a *tax-free* medical savings account while employed with the City. Once an employee ends public employment, they can access the HCSP account balance for reimbursement of eligible health care expenses incurred by the employee, their spouse, legal tax dependents and adult children up to their 26<sup>th</sup> birthday. The dollars go into the plan pre-tax and, when used for eligible health care expenses, are returned to the employee tax free, on a reimbursement basis.

Each bargaining group has their own Health Care Savings Plan. In addition, the non-bargained employees and the Department Heads each have their own Plan. The employee's severance payment, when they leave employment, is deposited in the fund. In addition, the plan can require employees to contribute dollars out of each paycheck to supplement the severance.

The following groups have proposed amendments to their HCSP:

- Non-bargained employees
- Department Heads

The new HCSPs will remain in effect indefinitely, until such time it is superseded. The contribution levels can only be changed once every two years.

Staff recommends approval of the proposed HCSPs.

If you have any questions, please don't hesitate to contact me at 763-784-6491.



CITY OF SPRING LAKE PARK  
HEALTH CARE SAVINGS PLAN  
NON-BARGAINED EMPLOYEES

The Non-Bargained Employees for the City of Spring Lake Park are eligible to participate in the Minnesota Health Care Savings Plan (HCSP) established under Minnesota Statutes, Section 352.98 (Minn. Supp. 2001) and as outlined in the Minnesota State Retirement System's Trust and Plan Documents. All funds collected by the employer on the behalf of the employee will be deposited into the employee's post health care savings plan account as follows:

A. Employee Lump Sum Contributions

The Employees have agreed to contribute to the Health Care Savings Plan as set out below:

All employees shall contribute 2% of gross pay.

B. Severance Pay Out

Upon separation, Non-Bargained Employees will have unused sick leave converted into cash to be deposited into their Health Care Savings Plan in accordance with the following schedule:

Upon completion of five (5) years, but less than twenty (20) years of service with the City – 50% of unused sick leave.

Upon completion of twenty (20) years, but less than twenty-five (25) years of service with the City – 60% of unused sick leave.

Upon completion of twenty-five (25) years, but less than thirty (30) years of service with the City – 65% of unused sick leave.

Upon completion of thirty (30) years of service to the City – 75% of unused sick leave.

Upon separation, all employees with unused vacation days will have 100% of those hours converted into cash and deposited in their Health Care Savings Plan.

Upon an employee's death, contributions owed but not yet paid to the HCSP will be paid to the employee's designated beneficiary. If an employee has been approved by MSRS to waive participation in the HCSP, severance will be paid in cash.

C. Banked Sick Leave

The City will convert into cash, 6 (six) days per year from the employee's banked sick leave account and deposit it to their Health Care Savings Plan in December of each year on the condition that the employee has accrued 90 days of regular sick leave.

Effective:

CITY OF SPRING LAKE PARK  
POST RETIREMENT HEALTH CARE SAVINGS PLAN  
DEPARTMENT HEADS

The Department Heads for the City of Spring Lake Park are eligible to participate in the Minnesota Post Employment Health Care Savings Plan (HCSP) established under Minnesota Statutes, Section 352.98 (Minn. Supp. 2001) and as outlined in the Minnesota State Retirement System's Trust and Plan Documents. All funds collected by the employer on the behalf of the employee will be deposited into the employee's post health care savings plan account as follows:

A. Employee Lump Sum Contributions

The Employees have agreed to contribute to the Post Retirement Health Care Savings Plan as set out below:

Employees will contribute \$125.00 per pay period.

B. Severance Pay Out

Upon separation, Department Heads are entitled to convert unused sick leave into cash to be deposited into their Post Retirement Health Care Savings Plan in accordance with the following schedule:

Upon completion of five (5) years, but less than twenty (20) years of service with the City – 50% of unused sick leave.

Upon completion of twenty (20) years, but less than twenty-five (25) years of service with the City – 60% of unused sick leave.

Upon completion of twenty-five (25) years, but less than thirty (30) years of service with the City – 65% of unused sick leave.

Upon completion of thirty (30) years of service to the City – 75% of unused sick leave.

Upon separation, all employees with unused vacation days will have 100% of those hours converted into cash and deposited in their Post Retirement Health Care Savings Plan.

C. Banked Sick Leave

The City will convert into cash, 6 days per year from the employee's banked sick leave account and deposit it to their Post Retirement Health Care Savings Plan in December of each year on the condition that the employee has accrued 90 days of regular sick leave.

Adopted:



Stantec Consulting Services Inc.  
733 Marquette Avenue Suite 1000, Minneapolis MN 55402-2309

February 2, 2022

Attention: Dan Buchholtz, Administrator  
City of Spring Lake Park  
1308 81<sup>st</sup> Avenue NE  
Spring Lake Park, MN 55432

**Reference: Sign Cover Sheet for Trail Project on County Road 10**

Dear Dan,

This letter is a follow-up from our meeting last November with City of Mounds View Staff. Mounds View has requested that Spring Lake Park participate in their 2022-2023 street project by including a segment of trail along the south side of County Road 10 (Mounds View Boulevard) from the city limits westward to Spring Lake Road.

Mounds View has prepared construction plans for the project and would like to submit them to MnDOT for approval. Since a portion of the project is in the Spring Lake Park City limits, the cover sheet of the plans needs to include a signature from the Spring Lake Park City Engineer.

**I am requesting authorization to sign the cover sheet so that Mounds View can submit the plans to MnDOT for approval.** Authorization should only include direction to sign the cover sheet and specifically should not include final approval or commitment from the city to participate in the project.

Mounds View has prepared a preliminary cost estimate for the project (copy attached). The estimated construction cost for Spring Lake Park at this time is \$104,641.21. A City of Spring Lake Park Municipal State Aid number has been assigned for our portion of the trail work (183-020-009). State Aid funds can be used for the city's eligible portion of the project.

I know that you are working with the Mounds View City Administrator to see if the Spring Lake Park portion can be somehow reduced. I assume that a formal agreement on cost sharing will be executed before a contract award is made.

Attached are selected plan sheets from the project and a current estimate of construction costs as recently provided by Mounds View.

Please feel free to contact me if you have any questions or require any additional information.

Regards,  
**STANTEC**

Phil Gravel

Attachment: Mounds View project plan sheets and cost table





THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

# CITY OF MOUNDS VIEW RAMSEY COUNTY, MINNESOTA

## 2022-2023 STREET REHABILITATION PROJECT 2021-CO3 AREAS J AND K

### PROJECT NUMBER: 193805303

CONSTRUCTION PLAN FOR: RECLAIM PAVEMENT, AGGREGATE BASE, CONCRETE CURB AND GUTTER, BITUMINOUS PAVEMENT, GRADING, STORM SEWER, TRAIL CONSTRUCTION AND ADA IMPROVEMENTS.

SAP 146-244-001 LOCATED ON <u>SPRING LAKE ROAD (MSAS 244)</u> FROM <u>COUNTY ROAD H2</u> TO <u>WEST COUNTY ROAD J</u>
SAP 146-020-013 LOCATED ON <u>MOUNDS VIEW BLVD (CSAH 10)</u> FROM <u>SPRING LAKE RD (MSAS 244)</u> TO <u>400 SOUTHEAST OF GROVELAND RD</u>
SAP 183-020-009 LOCATED ON <u>MOUNDS VIEW BLVD (CSAH 10)</u> FROM <u>SPRING LAKE RD (MSAS 244)</u> TO <u>EAST CITY LIMITS OF SPRING LAKE RD</u>
<u>PLEASANT VIEW DRIVE</u> FROM <u>HIGHWAY 10 SERVICE ROAD</u> TO <u>100 FEET NORTH OF 84TH AVE NE</u>
<u>PLEASANT VIEW CT</u> FROM <u>PLEASANT VIEW DRIVE</u> TO <u>TERMINUS (500 FEET)</u>
<u>84TH AVE NE</u> FROM <u>PLEASANT VIEW DRIVE</u> TO <u>SPRING LAKE ROAD</u>

**DESIGN DESIGNATION SPRING LAKE ROAD (SAP 146-244-001)**

DESIGNATION	URBAN
FUNCTIONAL CLASS	LOCAL
NO. OF TRAFFIC LANES	2
NO. OF PARKING LANES	N/A
DRIVING LANE WIDTH	13 FT
SHOULDER WIDTH	N/A
R-VALUE	60
20 YEAR ESALS	100,000
SPRING LAKE RD (N) ADT (PRESENT YEAR) 2022	920
SPRING LAKE RD (S) ADT (PRESENT YEAR) 2022	320
SPRING LAKE RD (N) ADT (FUTURE YEAR) 2042	1120
SPRING LAKE RD (S) ADT (FUTURE YEAR) 2042	390
HCA DT (FUTURE YEAR) 2040	N/A
DESIGN SPEED	30 MPH
DESIGN LOAD	9 TON
DESIGN SPEED BASED ON	
STOPPING SIGHT DISTANCE:	
HEIGHT OF EYE = 3.5 FT	
HEIGHT OF OBJECT = 2.0 FT	
DESIGN SPEED NOT ACHIEVED AT:	
SPRING LAKE ROAD STA.	38+82.21 TO 40+16.24

**SAP 146-244-001 SPRING LAKE ROAD (MSAS 244)**

GROSS LENGTH	8731.15 FEET	1.654 MILES
BRIDGE LENGTH	0.00 FEET	0.000 MILES
EXCEPTION LENGTH	1258.13 FEET	0.238 MILES
NET LENGTH	7473.02 FEET	1.415 MILES

LENGTH AND DESCRIPTION BASED ON: SPRING LAKE ROAD ALIGNMENT

**DESIGN DESIGNATION SAP 146-020-013 (TRAIL)**

DESIGNATION	TRAIL
DESIGN SPEED	20 MPH
TRAIL WIDTH	10 FT
GROSS LENGTH	1573.05 FT
DESIGN SPEED BASED ON	
STOPPING SIGHT DISTANCE:	
HEIGHT OF EYE = 3.85 FT	
HEIGHT OF OBJECT = 0.0 FT	

**DESIGN DESIGNATION SAP 183-020-009 (TRAIL)**

DESIGNATION	TRAIL
DESIGN SPEED	20 MPH
TRAIL WIDTH	10 FT
GROSS LENGTH	702.59 FT
DESIGN SPEED BASED ON	
STOPPING SIGHT DISTANCE:	
HEIGHT OF EYE = 3.85 FT	
HEIGHT OF OBJECT = 0.0 FT	

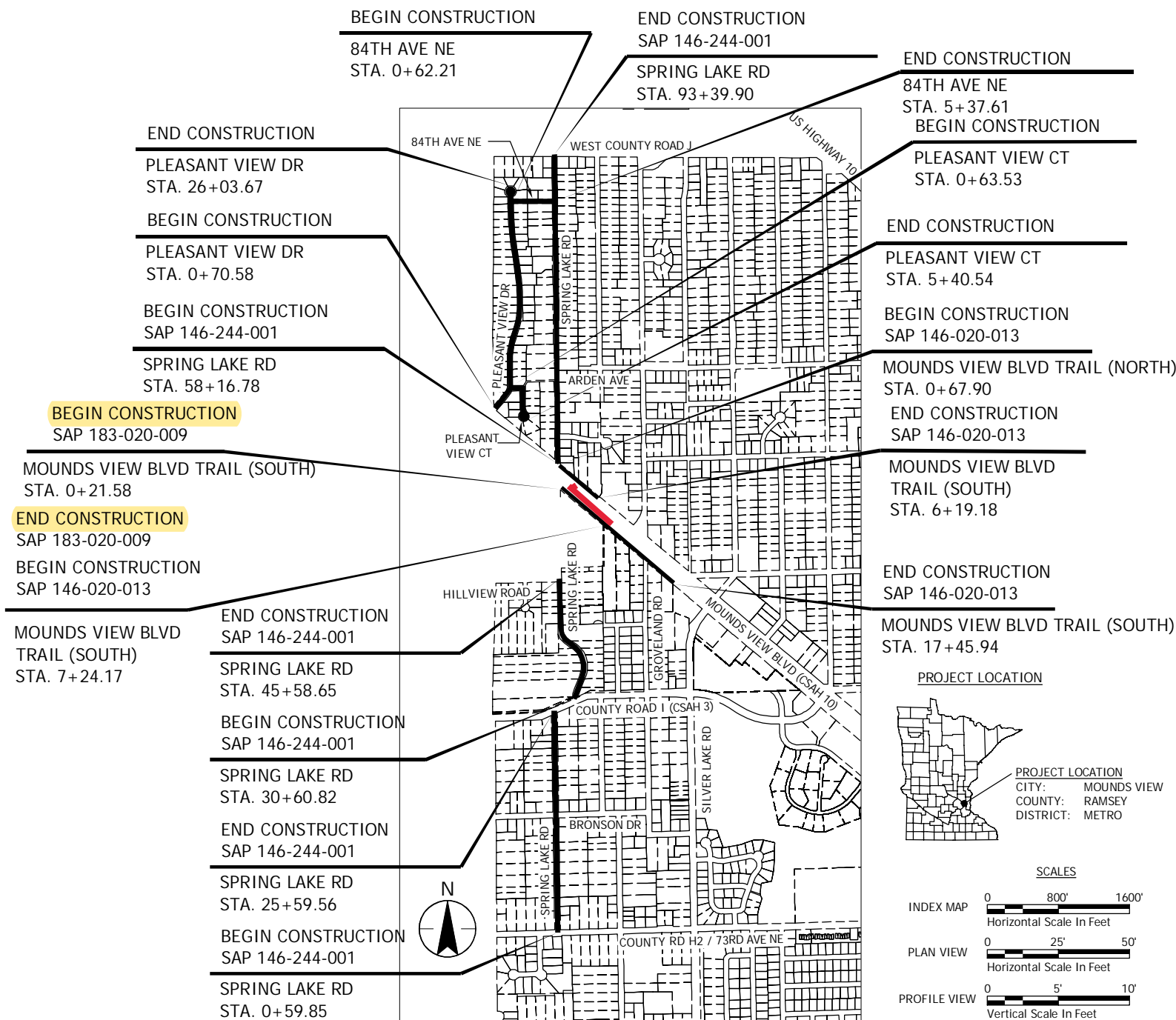
THIS PROJECT HAS BEEN GRANTED A VARIANCE FROM MINNESOTA RULE 8820.9936, DATED NOVEMBER 20, 2017, SO AS TO PERMIT SPEED LIMIT TO 20 MPH IN LIEU OF 30 MPH SPEED LIMIT. THE VARIANCE WAS SIGNED BY KRISTINE ELWOOD ON OCTOBER 7, 2021.

**HORIZONTAL DATA**  
RAMSEY COUNTY COORDINATE SYSTEM  
DATUM: NAD83, 1986 ADJUSTMENT (NON HARN)  
UNITS: US SURVEY FOOT

**VERTICAL DATA**  
DATUM: NGVD29

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C1/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

COMMENTS	DATE



SHEET NO.	SHEET DESCRIPTION
G0.01	TITLE SHEET
G0.02	LEGEND
G0.03	GENERAL NOTES & SCHEDULES
G0.04	GENERAL LAYOUT - 2022 CONSTRUCTION
G0.05	GENERAL LAYOUT - 2023 CONSTRUCTION
G3.01-G3.02	STATEMENT OF ESTIMATED QUANTITIES
G4.01-C4.02	EARTHWORK SUMMARY TABLES
C1.01-C1.05	TYPICAL SECTIONS
C1.06	ALIGNMENT PLAN & TABULATION
C1.07-C1.08	RETAINING WALL DETAILS
C0.01-C0.12	EXISTING CONDITIONS & REMOVALS
C2.01-C2.11	EROSION CONTROL & TURF ESTABLISHMENT
C4.01-C4.03	SANITARY SEWER AND WATERMAIN PLAN
C5.01-C5.11	DRAINAGE PLAN & PROFILE
C6.01-C6.24	STREET IMPROVEMENTS
C6.25-C6.29	INTERSECTION DETAILS AND ADA PLAN
C8.01-C8.14	STANDARD DETAILS
C9.01-C9.10	MAILBOX PLAN
T9.01-T9.10	SIGNING & STRIPING PLAN
E2.01	LIGHTING LAYOUT
E3.01	ELECTRICAL DETAILS

THIS PLAN CONTAINS 119 SHEETS



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME Tyler McLeete LIC. NO. 51774  
SIGNATURE [Signature] DATE 01-21-2022

APPROVED: MOUNDS VIEW CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: MOUNDS VIEW PUBLIC WORKS DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: RAMSEY COUNTY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: SPRING LAKE PARK CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

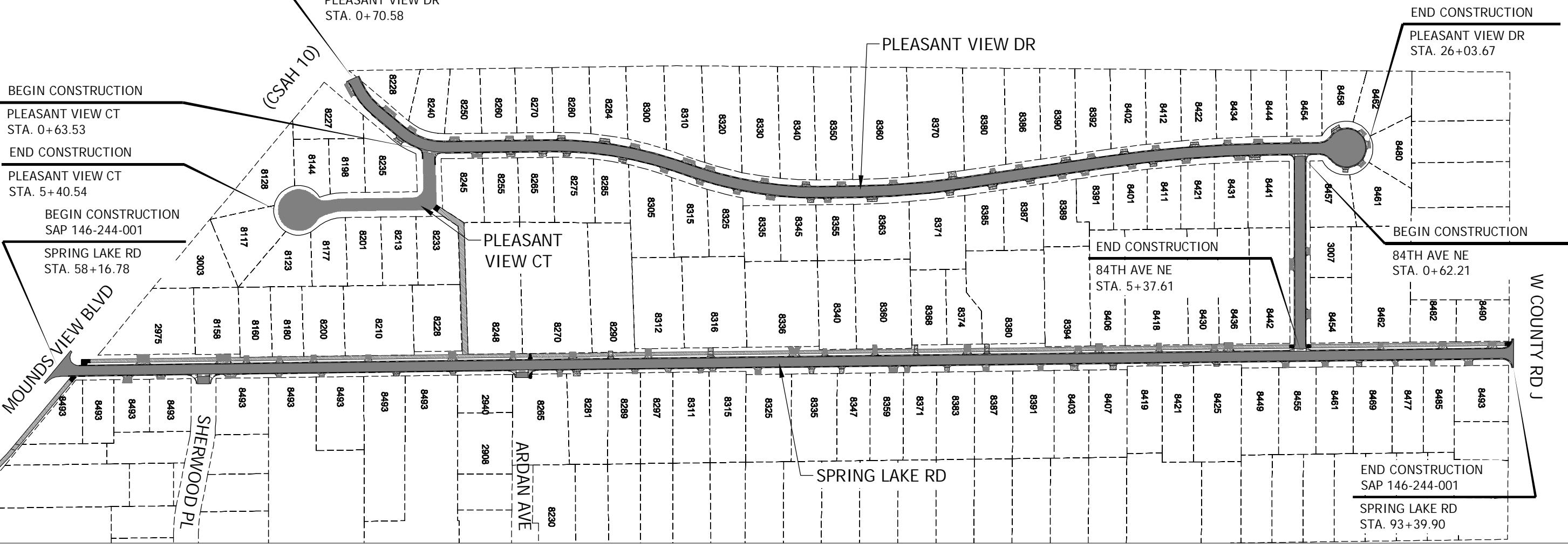
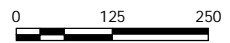
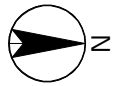
DISTRICT STATE AID ENGINEER: REVIEWED FOR COMPLIANCE WITH STATE AID RULES/POLICY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED FOR STATE AID FUNDING: STATE AID ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

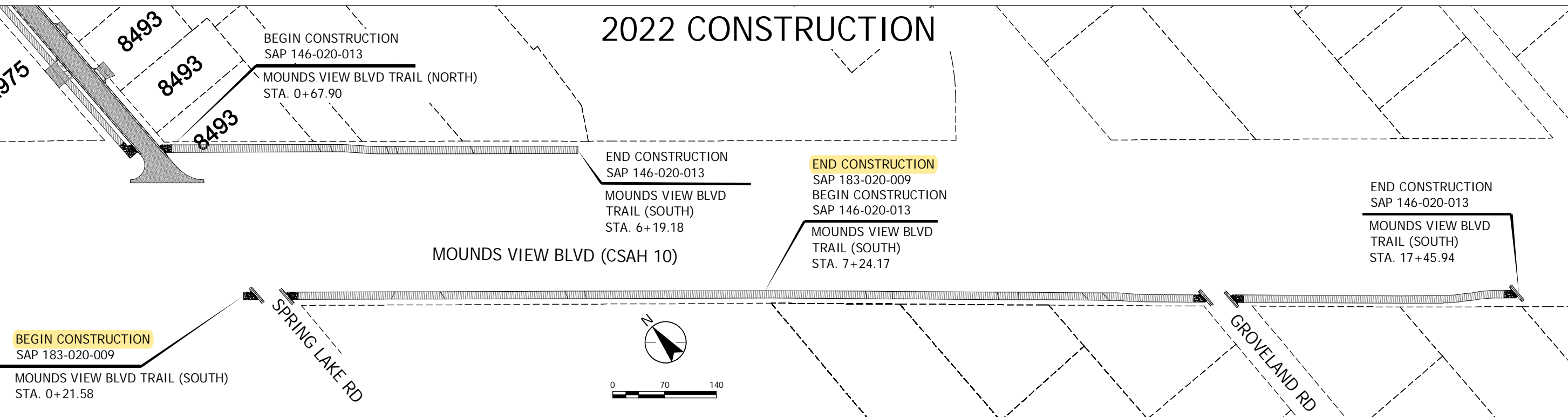
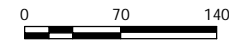
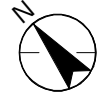
SAP 146-244-001, SAP 146-020-013, SAP 183-020-009 SHEET G0.01

Plot Date: 01/25/2022 - 4:03pm  
 Drawing Name: C:\pwworking\stntec\193805303\G001.dwg  
 User: tmcleete

# 2022 CONSTRUCTION



# 2022 CONSTRUCTION



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.  
 Plot Date: 07/25/2022 - 4:03pm  
 Drawing Name: C:\pwworking\stntec\193805303\2022-2023 Street Rehabilitation Project - 2022 Construction\GENERAL LAYOUT - 2022 CONSTRUCTION.dwg  
 User: jmclee  
 Scale: 1/8" = 1'-0"



733 Marquette Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

DATE: 07/25/2022  
 UIC NO.: 1717  
 SIGNATURE: [Signature]  
 PRINT NAME: TYLER J. MCLEETE  
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

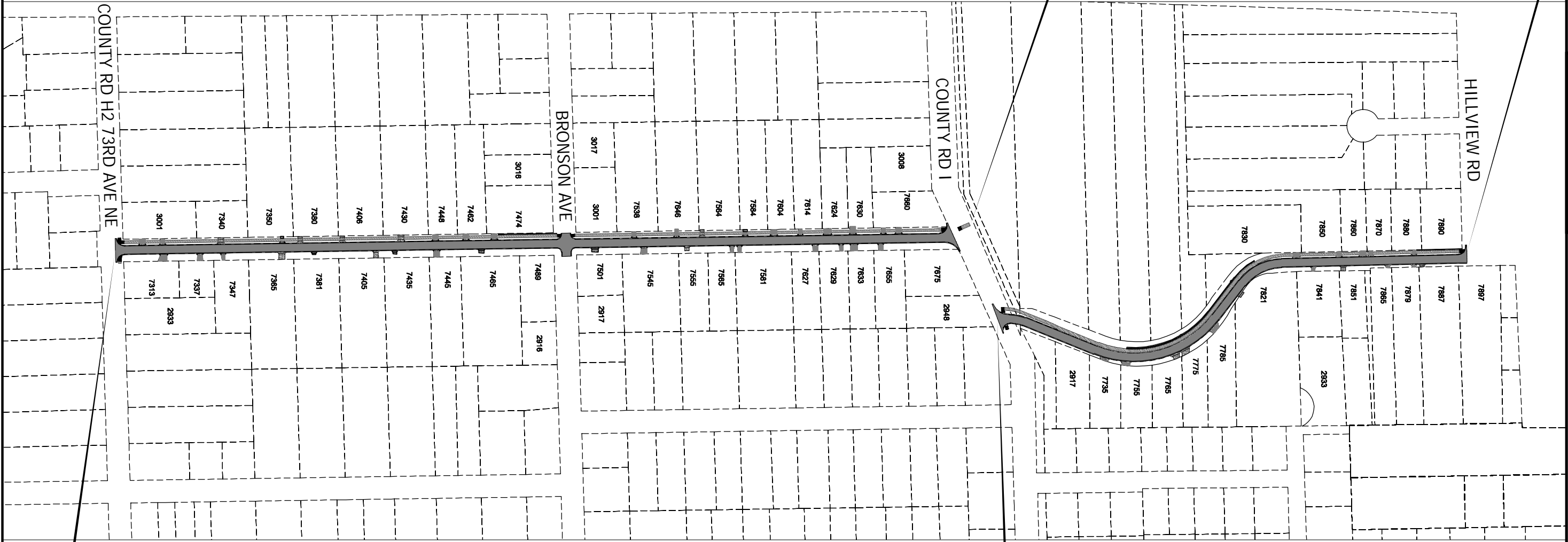
CITY OF MOUNDS VIEW, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 GENERAL LAYOUT - 2022 CONSTRUCTION

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	G0.04

# 2023 CONSTRUCTION

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

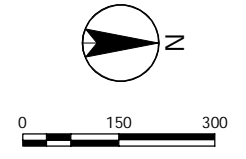


BEGIN CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 0+59.85

BEGIN CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 30+60.82

END CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 25+59.56

END CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 45+58.65



Plot Date: 07/25/2022 - 4:03pm  
Drawing name: C:\pwworking\stntec\193805303\193805303.dwg  
User: jstntec

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: *[Signature]*  
DATE: 07/22/2022  
LIC. NO.: 5172

CITY OF MOUNDS VIEWS, MINNESOTA  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
GENERAL LAYOUT - 2023 CONSTRUCTION

NO	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	G0.05



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHIN 10 DAYS OF THE DATE OF THE DRAWING. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC'S FORBIDDEN.

STATEMENT OF ESTIMATED QUANTITIES

Table with columns: NO., ITEM NO., DESCRIPTION, UNITS, TOTAL EST QUANTITIES, SAP 146-244-001 (A) ROAD, STORM, LOCAL ROAD (NON PARTICIPATING) (B), SAP 146-020-013 TRAIL (MOUNDS VIEW) (C), SAP 183-020-009 TRAIL (SPRING LAKE) (D)

STATEMENT OF ESTIMATED QUANTITIES

Table with columns: NO., ITEM NO., DESCRIPTION, UNITS, TOTAL EST QUANTITIES, SAP 146-244-001 ROAD, STORM, LOCAL ROAD (NON PARTICIPATING) (B), SAP 146-020-013 TRAIL (MOUNDS VIEW) (C), SAP 183-020-009 TRAIL (SPRING LAKE) (D)

NOTES:

- (P) PLAN QUANTITY
(1) PRO RATA
(2) ALL PROJECT PLANTING LESS THAN 4" IN DIAMETER
(3) TREES EQUAL TO OR GREATER THAN 4" IN DIAMETER
(4) SANITARY AND WATER MAIN SERVICES NOT SHOWN IN PLAN
(5) QUANTITY ASSUMED AT 33% OF ROADWAY AREA. INSTALL AS DIRECTED BY THE ENGINEER
(6) FOR ROADWAY CLEANUP ASSOCIATED WITH STREET SWEEPER
(7) ONSITE USE OF RECLAIM MATERIAL
(8) LOCATIONS DIRECT BY ENGINEERS
(9) 0.08 GAL/SY
(10) DRIVES AND TRAILS
(11) ROADWAYS
(12) 2x3' CATCH BASIN
(13) 27" DIA. CATCH BASIN
(14) CONCRETE WALK BEHIND MODULAR BLOCK RETAINING WALL B
(15) SODDING TO REPLACE SEED RESTORATION OUT OF PUBLIC ROW IF ACCEPTED

FUNDING NOTES:

- (A) SPRING LAKE ROAD
(B) PLEASANT VIEW DR., 84TH AVE., PLEASANT VIEW CT.
(C) MOUNDS VIEW BLVD TRAIL CONSTRUCTION WITHIN MOUNDS VIEW CITY LIMIT
(D) MOUNDS VIEW BLVD TRAIL CONSTRUCTION WITHIN SPRING LAKE PARK CITY LIMIT

Plot Date: 07/25/2022 - 4:03pm
Drawing Name: C:\p\_w\stn\_bh\_inf\ad\193805303\_0300.dwg
User: tyler.j.mcleete



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Minneapolis, MN 55402
www.stantec.com

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SIGNATURE: Tyler J. McLeete
DATE: 07/25/2022
LIC. NO. 517Z

CITY OF MOUNDS VIEW, MINNESOTA
2022-2023 STREET REHABILITATION PROJECT
SAP 146-244-001
STATEMENT OF ESTIMATED QUANTITIES

Table with columns: NO., REVISION, DATE. Includes a checklist for SURVEY, DRAWN, DESIGNED, CHECKED, APPROVED, PROJ. NO. (193805303), SHEET NUMBER (G3.01)

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERROR OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 07/25/2022 - 4:03pm  
Drawing Name: C:\pwworking\stntec\dwg\9303\193805303\_G300.dwg  
User: yjg@stntec.com

### STATEMENT OF ESTIMATED QUANTITIES

NO.	ITEM NO	DESCRIPTION	UNITS	TOTAL EST QUANTITIES	SAP 146-244-001		LOCAL ROAD (NON PARTICIPATING) (B)	SAP 146-020-013 TRAIL (MOUNDS VIEW) (C)	SAP 183-020-009
					ROAD	STORM			TRAIL (SPRING LAKE) (D)
101	2557.503	WIRE FENCE DESIGN SPECIAL VINYL COATED	LIN FT	475	475				
102	2557.503	WIRE FENCE DESIGN 48-9322 (8)	LIN FT	50	50				
103	2563.601	TRAFFIC CONTROL	LUMP SUM	1	0.59	0.15	0.23	0.02	0.01
104	2564.502	INSTALL SIGN TYPE C	EACH	33	33				
105	2564.518	SIGN PANELS TYPE C	SQ FT	70	60			5	5
106	2573.502	STORM DRAIN INLET PROTECTION	EACH	77		64	13		
107	2573.502	CULVERT END CONTROLS	EACH	6		6			
108	2573.503	SILT FENCE; TYPE MS	LIN FT	6169	3476		693	1400	600
109	2573.602	STABILIZED CONSTRUCTION EXIT	EACH	7	6		1		
110	2574.507	COMMON TOPSOIL BORROW	CU YD	2007	1317		361	230	99
111	2574.508	FERTILIZER TYPE 3	POUND	1140	756		201	128	55
112	2575.504	SODDING TYPE LAWN (15)	SQ YD	570	570				
113	2575.505	SEEDING	ACRE	1.28	1.28		0.00	0.00	0.00
114	2575.508	SEED MIXTURE 25-151	POUND	447	293		81	51	22
115	2575.508	SEED MIXTURE 33-262	POUND	2	2				
116	2575.508	SEED MIXTURE 35-241	POUND	1	1				
117	2575.508	HYDRAULIC BONDED FIBER MATRIX	POUND	7600	5035		1342	856	367
118	2575.602	SITE RESTORATION	EACH	1.00	1.00				
119	2582.503	4" SOLID LINE MULTI-COMPONENT	LIN FT	8000	8000				
120	2582.503	4" DOUBLE SOLID LINE MULTI-COMPONENT	LIN FT	16000	16000				
121	2582.518	CROSSWALK MULTI-COMPONENT	SQ FT	750	500			250	

#### NOTES:

- (P) PLAN QUANTITY
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- (4) SANITARY AND WATER MAIN SERVICES NOT SHOWN IN PLAN
- (5) QUANTITY ASSUMED AT 33% OF ROADWAY AREA. INSTALL AS DIRECTED BY THE ENGINEER
- (6) FOR ROADWAY CLEANUP ASSOCIATED WITH STREET SWEEPER
- (7) ONSITE USE OF RECLAIM MATERIAL
- (8) LOCATIONS DIRECT BY ENGINEERS
- (9) 0.08 GAL/SY
- (10) DRIVES AND TRAILS
- (11) ROADWAYS
- (12) 2'x3' CATCH BASIN
- (13) 27" DIA. CATCH BASIN
- (14) CONCRETE WALK BEHIND MODULAR BLOCK RETAINING WALL B
- (15) SODDING TO REPLACE SEED RESTORATION OUT OF PUBLIC ROW IF ACCEPTED

#### FUNDING NOTES:

- (A) SPRING LAKE ROAD
- (B) PLEASANT VIEW DR., 84TH AVE., PLEASANT VIEW CT.
- (C) MOUNDS VIEW BLVD TRAIL CONSTRUCTION WITHIN MOUNDS VIEW CITY LIMIT
- (D) MOUNDS VIEW BLVD TRAIL CONSTRUCTION WITHIN SPRING LAKE PARK CITY LIMIT

THE FOLLOWING STANDARD PLATES, APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION, SHALL APPLY ON THIS PROJECT.

### STANDARD PLATES

3000M	REINFORCED CONCRETE PIPE (6 SHEETS)
3006H	GASKET JOINT FOR R.C. PIPE (2 SHEETS)
3014K	REINFORCED CONCRETE PIPE ARCH (3 SHEETS)
3100G	CONCRETE APRON FOR REINFORCED CONCRETE PIPE
3110G	CONCRETE APRON FOR REINFORCED CONCRETE PIPE-ARCH
4020J	MANHOLE OR CATCH BASIN (FOR USE WITH OR WITHOUT TRAFFIC LOADS) (2 SHEETS)
4101D	RING CASTING FOR MANHOLE OR CATCH BASIN
4108F	ADJUSTING RINGS FOR CATCH BASINS AND MANHOLES
4180J	MANHOLE OR CATCH BASIN STEP
7038A	DETECTABLE WARNING SURFACE TRUNCATED DOMES
7111J	INSTALLATION OF CATCH BASIN CASTINGS (CONCRETE CURB AND GUTTER)
8000K	TEMPORARY CHANNELIZERS TYPE A-C (3 SHEETS)

### BASIS OF QUANTITIES

ITEM	RATE OF APPLICATION	NOTES
BITUMINOUS MIX	113 LB/SY-IN	
BITUMINOUS TACK COAT	0.08 GAL/SQ YD	
FERTILIZER TYPE 3	300 POUND/ACRE	
SEED MIXTURE 25-151	120 POUND/ACRE	
SEED MIXTURE 33-261	44 POUND/ACRE	
SEED MIXTURE 35-241	36.5 POUND/ACRE	
HYDRAULIC BONDED FIBER MATRIX	2000 POUND/ACRE	



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PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: \_\_\_\_\_  
DATE: 07/25/2022 I.C. NO. 517ZL

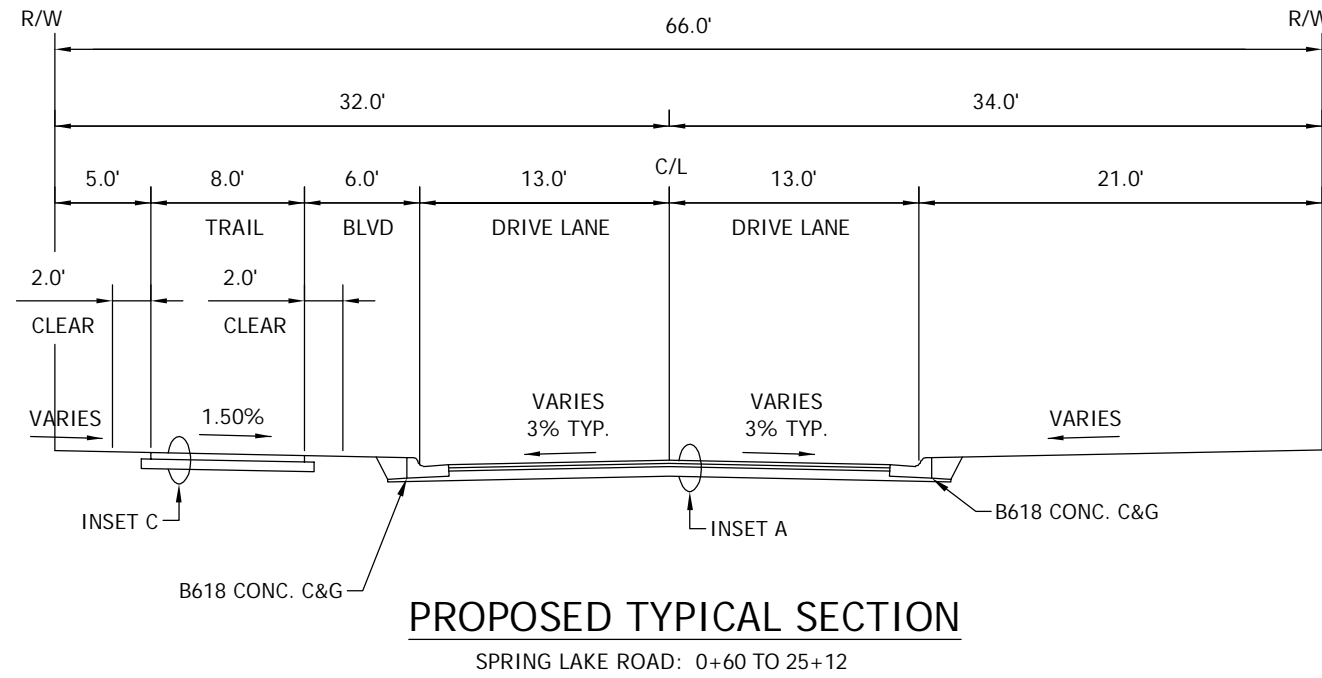
CITY OF MOUNDS VIEW, MINNESOTA  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
STATEMENT OF ESTIMATED QUANTITIES

NO	REVISION	DATE

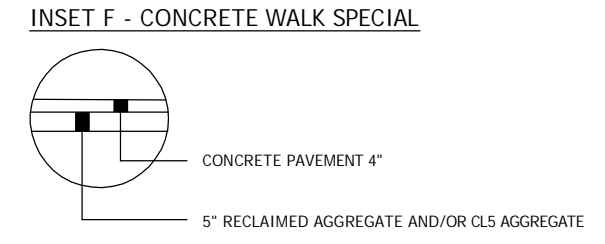
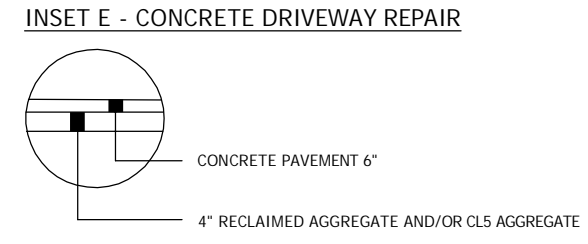
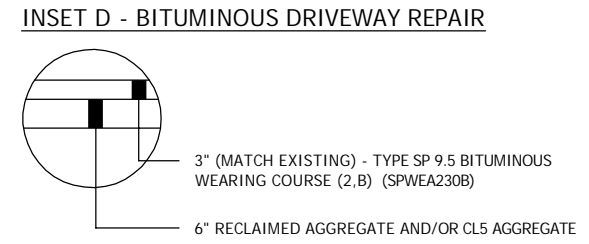
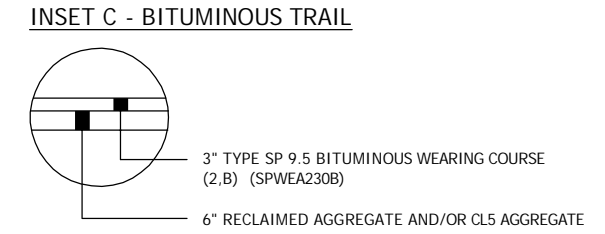
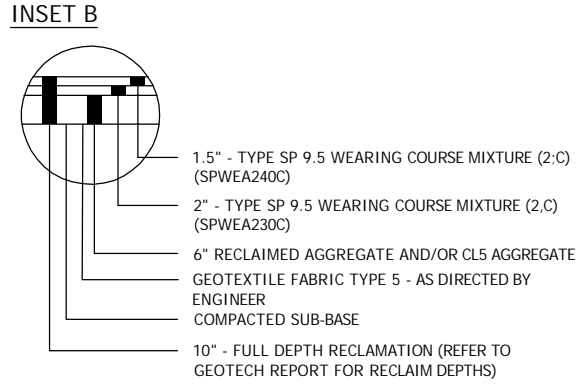
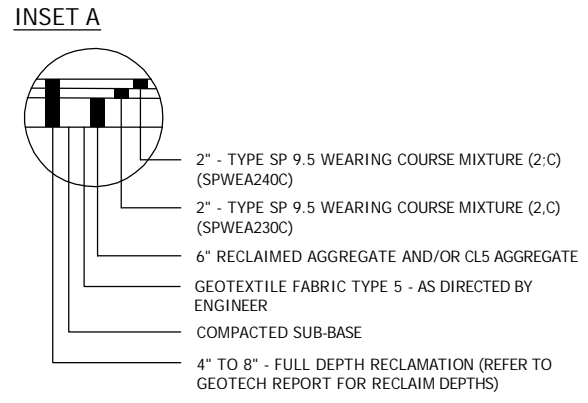
SURVEY \_\_\_\_\_ BLW  
DRAWN \_\_\_\_\_ XWM/JDP  
DESIGNED \_\_\_\_\_ TJM  
CHECKED \_\_\_\_\_ ###  
APPROVED \_\_\_\_\_ ###  
PROJ. NO. 193805303

SHEET NUMBER  
**G3.02**

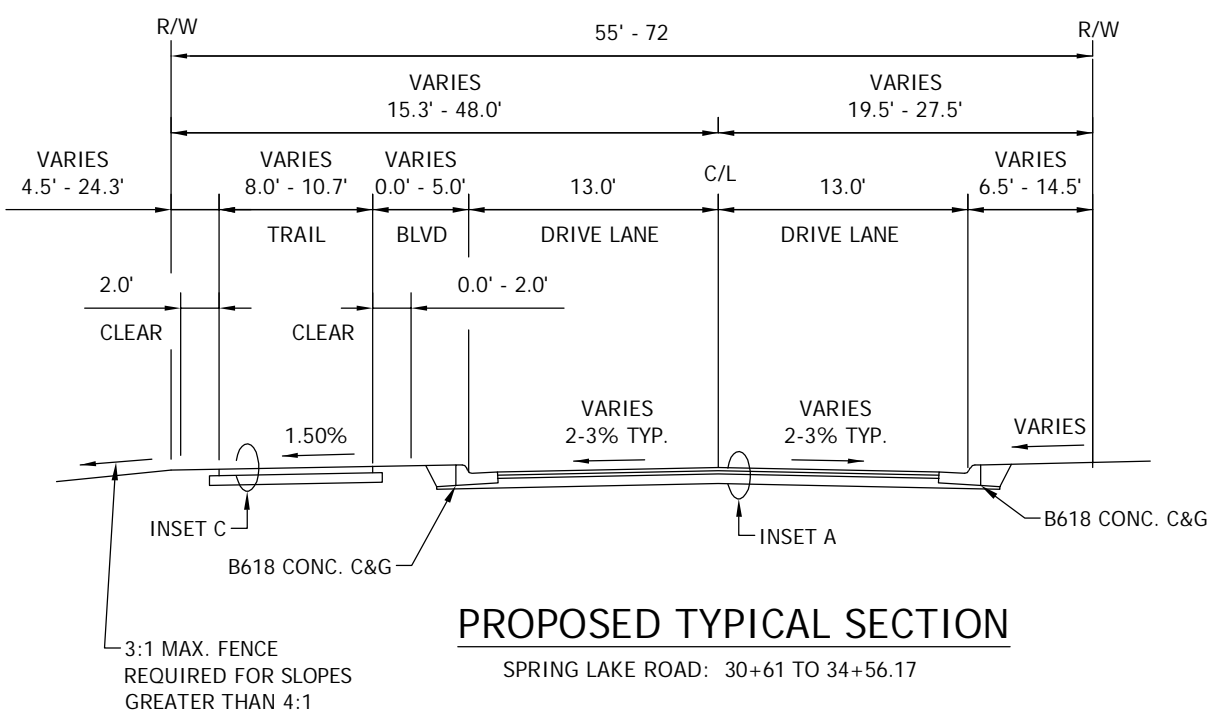
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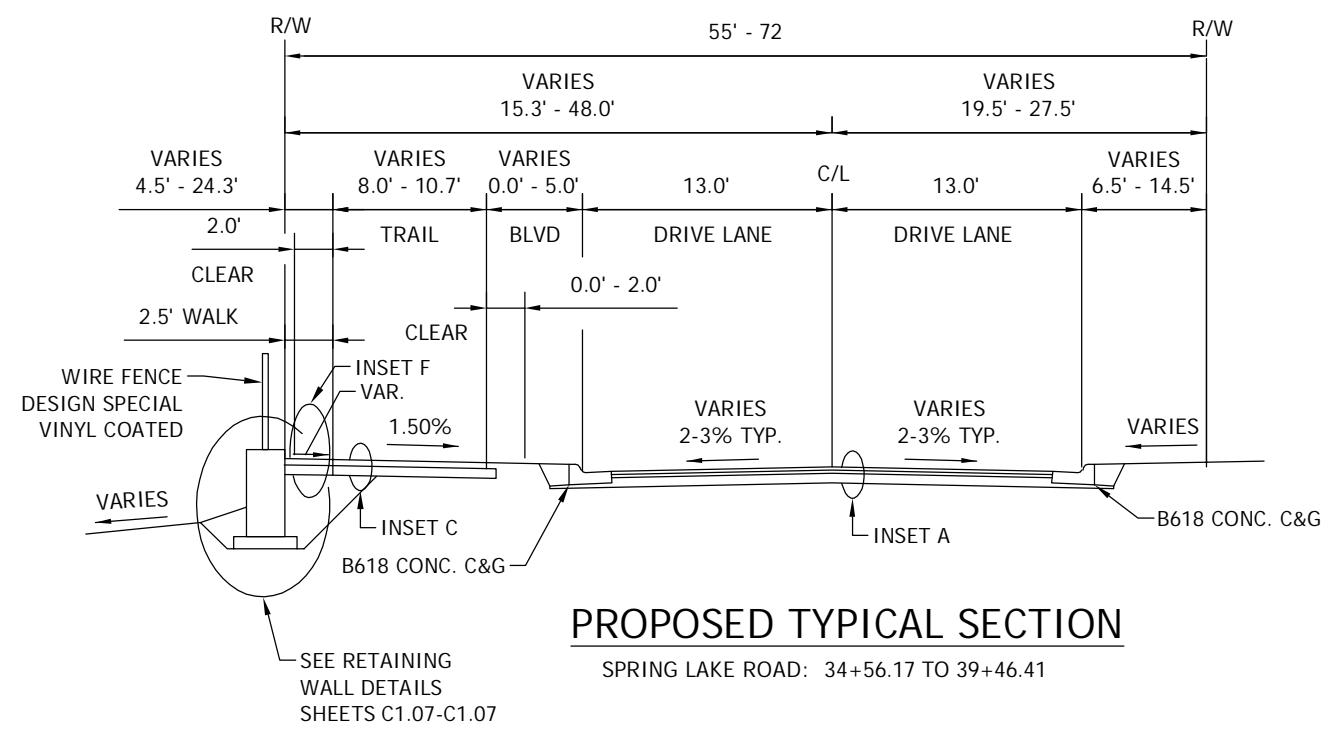
**PROPOSED TYPICAL SECTION**  
SPRING LAKE ROAD: 0+60 TO 25+12



GENERAL NOTES:  
 TYPICAL SECTIONS ARE NOT TO SCALE  
 SEE CROSS SECTIONS FOR CROSS SLOPES AND ELEVATIONS.  
 SEE STREET IMPROVEMENTS, SHEETS C6.01-C6.29 FOR ADDITIONAL DETAILS.  
 RECLAIM CONSTRUCTION NOTES:  
 1. RECLAIM EXISTING BITUMINOUS PAVEMENT AND EXISTING BASE PER RECOMMENDATIONS IN GEOTECHNICAL REPORT AND AS DIRECTED BY THE ENGINEER IN THE FIELD.  
 2. REMOVE AND STOCKPILE RECLAIMED MATERIAL.  
 3. EXCAVATE TO BOTTOM OF ROADWAY SECTION TO MEET PROPOSED ROADWAY PROFILE.  
 4. PLACE AND SHAPE RECLAIMED MATERIAL AS AGGREGATE BASE TO MEET PROPOSED GRADES. SUPPLEMENT WITH CLASS 5 AS DIRECTED BY THE ENGINEER IN THE FIELD.  
 5. PLACE 2" BITUMINOUS BASE COURSE (MIX SPWEA240C)  
 6. PLACE 2" BITUMINOUS WEARING COURSE (MIX SPWEA230C)  
 SPECIFIC NOTES:  
 ① SPOT REPLACEMENT AS DIRECTED BY THE ENGINEER.



**PROPOSED TYPICAL SECTION**  
SPRING LAKE ROAD: 30+61 TO 34+56.17



**PROPOSED TYPICAL SECTION**  
SPRING LAKE ROAD: 34+56.17 TO 39+46.41

Plot Date: 07/25/2022 - 4:05pm  
 Drawing Name: C:\pwworking\stntec\193805303\_C1.03.dwg  
 User: jay@stntec.com  
 Title: 193805303\_S&I

3:1 MAX. FENCE REQUIRED FOR SLOPES GREATER THAN 4:1



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 SIGNATURE: TYLER J. MCLEETE  
 DATE: 07/22/2022

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CITY OF MOUNDS VIEWS, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 TYPICAL SECTIONS

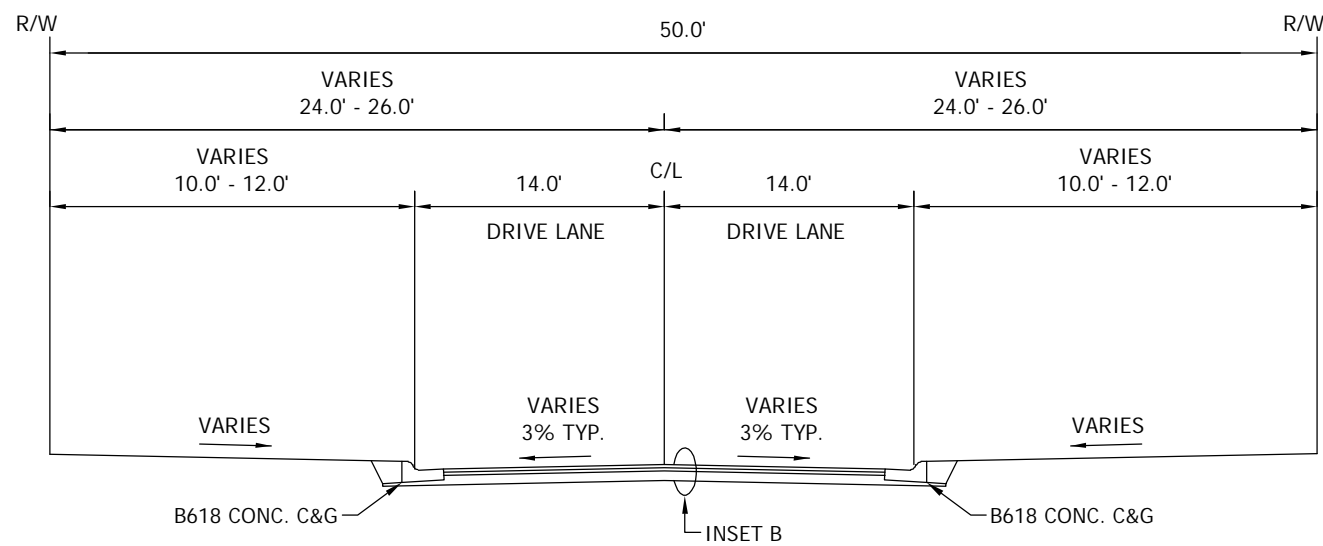
NO.	REVISION	DATE

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SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	<b>C1.03</b>

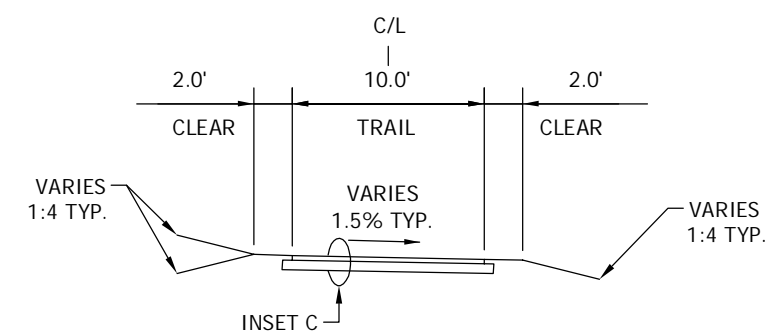
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SEE SHEET C1.03 FOR GENERAL NOTES AND PAVEMENT INSETS.



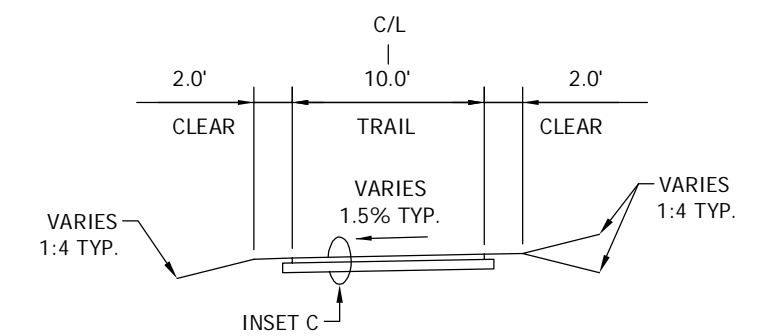
**PROPOSED TYPICAL SECTION**

84TH AVE.



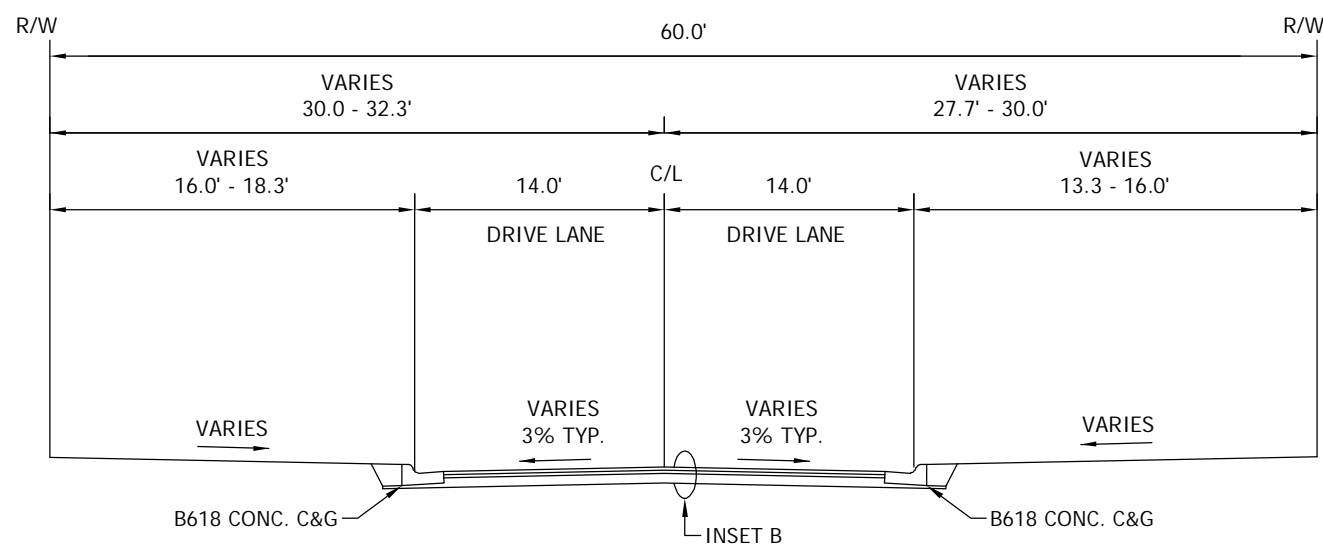
**PROPOSED TYPICAL SECTION**

MOUNDS VIEW BLVD TRAIL NORTH



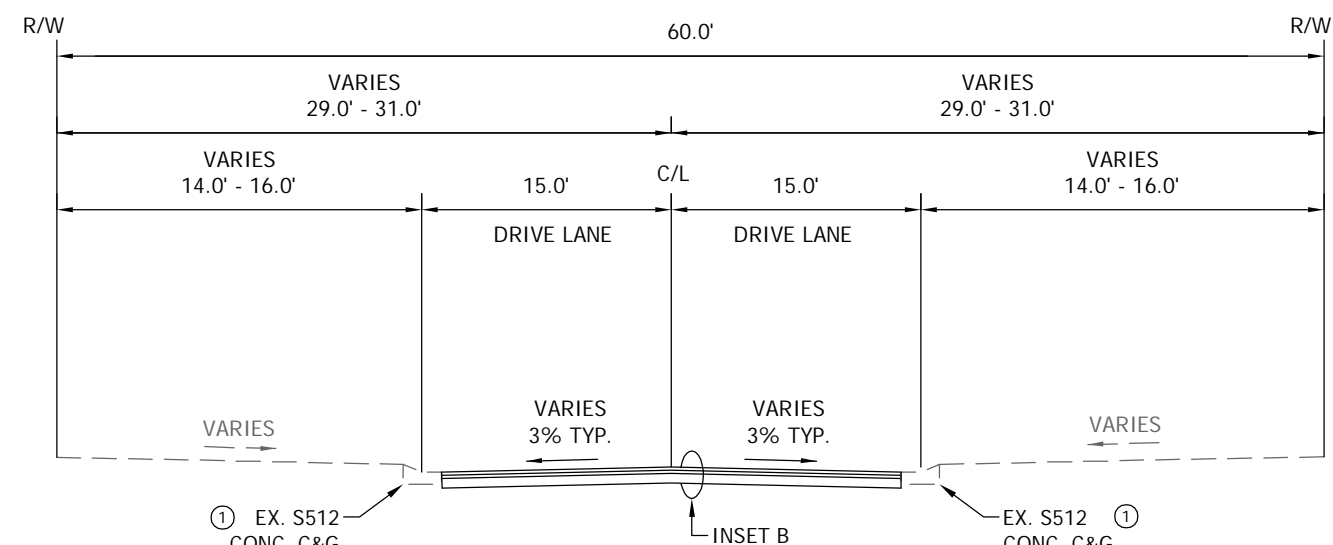
**PROPOSED TYPICAL SECTION**

MOUNDS VIEW BLVD TRAIL SOUTH



**PROPOSED TYPICAL SECTION**

PLEASANT VIEW DR.



**PROPOSED TYPICAL SECTION**

PLEASANT VIEW CT.

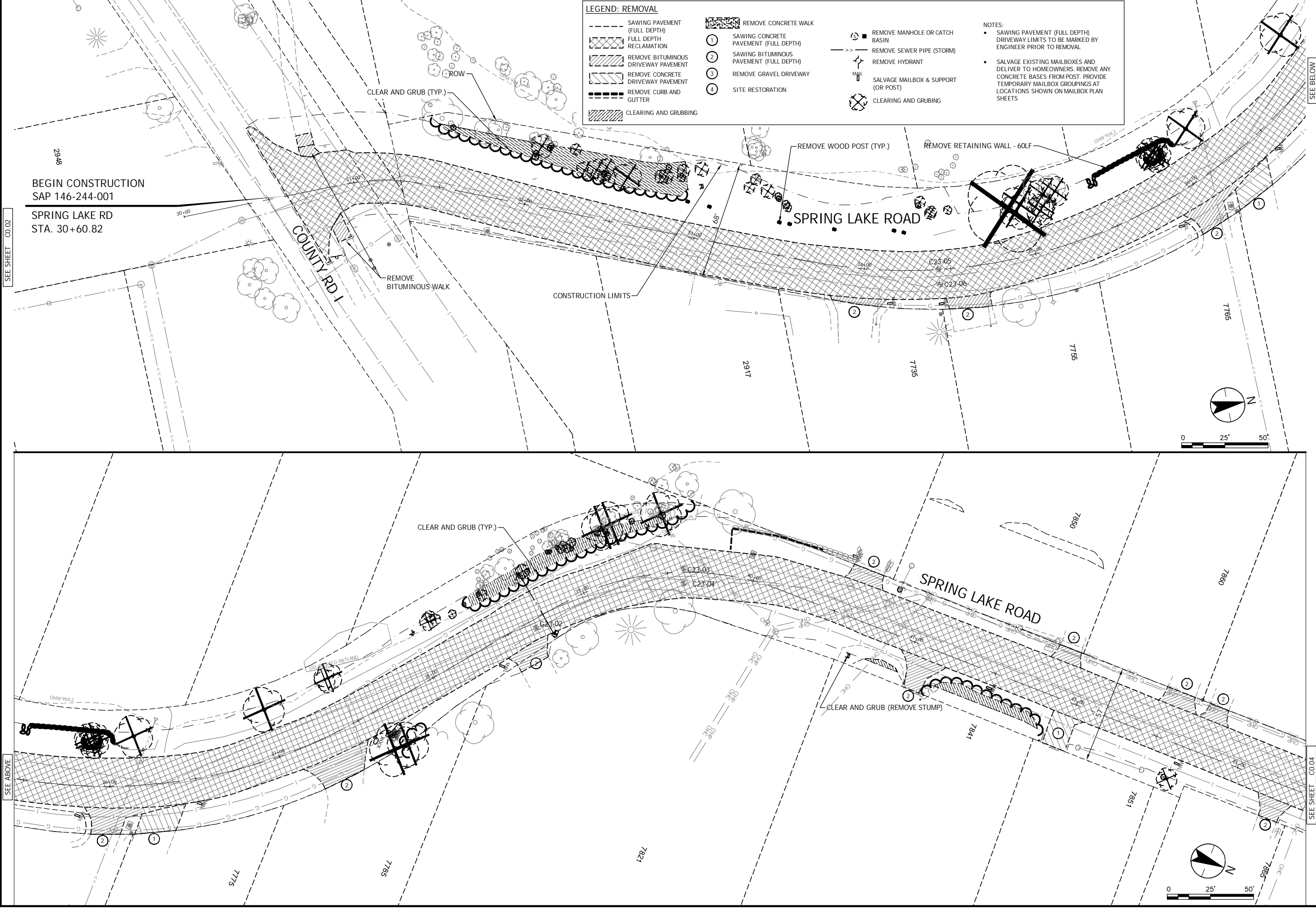
NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

Plot Date: 01/25/2022 - 4:05pm  
Drawing Name: C:\p\...\_ctn.dwg  
User: 193805303\_xstl

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Plot Date: 07/25/2022 - 4:08pm  
 Drawing Name: C:\New\_Inv\_Bit\_LinFile\193805303\_C001.dwg  
 User: jstancik  
 Title: 193805303\_PlanSheet\_193805303.dwg



**LEGEND: REMOVAL**

--- SAWING PAVEMENT (FULL DEPTH)	REMOVE CONCRETE WALK	REMOVE MANHOLE OR CATCH BASIN
FULL DEPTH RECLAMATION	① SAWING CONCRETE PAVEMENT (FULL DEPTH)	--- REMOVE SEWER PIPE (STORM)
REMOVE BITUMINOUS DRIVEWAY PAVEMENT	② SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	REMOVE HYDRANT
REMOVE CONCRETE DRIVEWAY PAVEMENT	③ REMOVE GRAVEL DRIVEWAY	SALVAGE MAILBOX & SUPPORT (OR POST)
REMOVE CURB AND GUTTER	④ SITE RESTORATION	CLEARING AND GRUBBING
CLEARING AND GRUBBING		

**NOTES:**

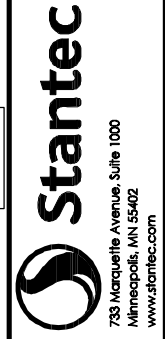
- SAWING PAVEMENT (FULL DEPTH) DRIVEWAY LIMITS TO BE MARKED BY ENGINEER PRIOR TO REMOVAL
- SALVAGE EXISTING MAILBOXES AND DELIVER TO HOMEOWNERS. REMOVE ANY CONCRETE BASES FROM POST. PROVIDE TEMPORARY MAILBOX GROUPINGS AT LOCATIONS SHOWN ON MAILBOX PLAN SHEETS

BEGIN CONSTRUCTION  
 SAP 146-244-001  
 SPRING LAKE RD  
 STA. 30+60.82

SEE SHEET C0.02

SEE BELOW

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: TYLER J. MCLEETE  
 SIGNATURE: [Signature]  
 DATE: 07/25/2022 U.C. NO. 517Z



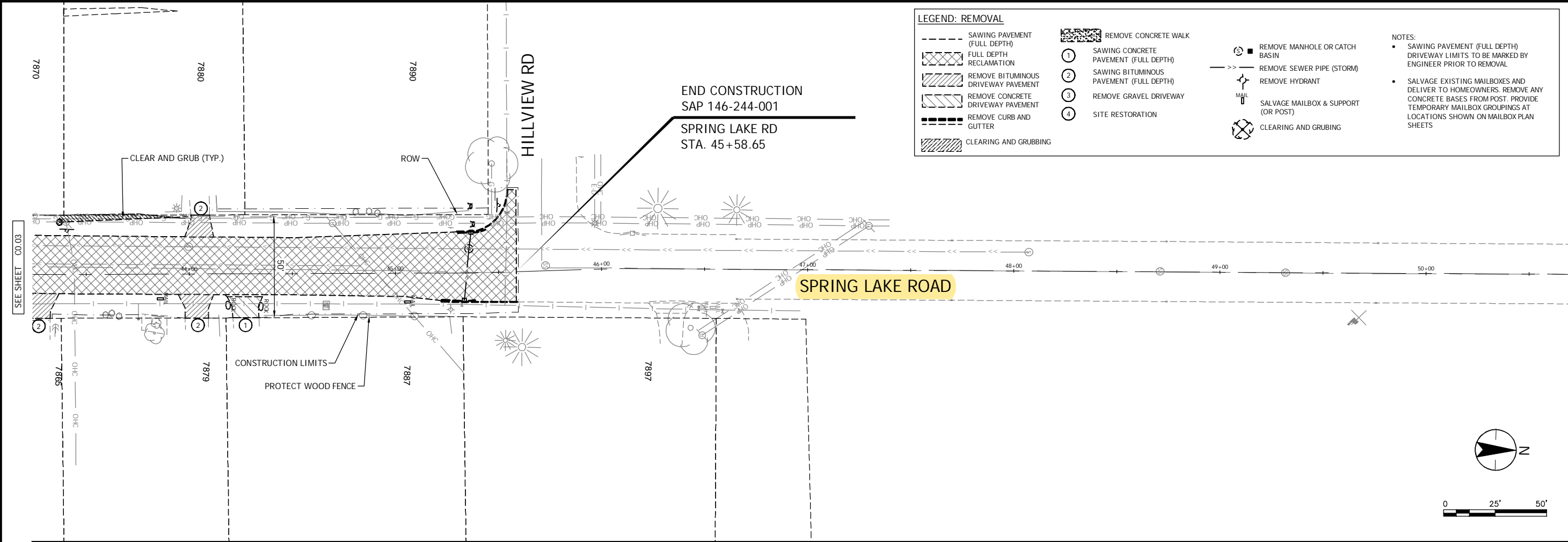
**CITY OF MOUNDS VIEWS, MINNESOTA**  
**2022-2023 STREET REHABILITATION PROJECT**  
 SAP 146-244-001  
 EXISTING CONDITIONS & REMOVALS

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	<b>C0.03</b>

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Plot Date: 01/25/2022 - 4:08pm  
 Drawing Name: C:\pwworking\stntec\193805303\_C001.dwg  
 User: jmclee@stntec.com



**LEGEND: REMOVAL**

	SAWING PAVEMENT (FULL DEPTH)		REMOVE CONCRETE WALK		REMOVE MANHOLE OR CATCH BASIN
	FULL DEPTH RECLAMATION		SAWING CONCRETE PAVEMENT (FULL DEPTH)		REMOVE SEWER PIPE (STORM)
	REMOVE BITUMINOUS DRIVEWAY PAVEMENT		SAWING BITUMINOUS PAVEMENT (FULL DEPTH)		REMOVE HYDRANT
	REMOVE CONCRETE DRIVEWAY PAVEMENT		REMOVE GRAVEL DRIVEWAY		SALVAGE MAILBOX & SUPPORT (OR POST)
	REMOVE CURB AND GUTTER		SITE RESTORATION		CLEARING AND GRUBBING
	CLEARING AND GRUBBING				

**NOTES:**

- SAWING PAVEMENT (FULL DEPTH) DRIVEWAY LIMITS TO BE MARKED BY ENGINEER PRIOR TO REMOVAL.
- SALVAGE EXISTING MAILBOXES AND DELIVER TO HOMEOWNERS. REMOVE ANY CONCRETE BASES FROM POST. PROVIDE TEMPORARY MAILBOX GROUPINGS AT LOCATIONS SHOWN ON MAILBOX PLAN SHEETS.

SEE SHEET C0.03

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SIGNATURE: PRINT NAME: TYLER J. MCLEEE DATE: 01/25/2022 LIC. NO. 5177L

**CITY OF MOUNDS VIEW, MINNESOTA**  
**2022-2023 STREET REHABILITATION PROJECT**  
 SAP 146-244-001  
 EXISTING CONDITIONS & REMOVALS

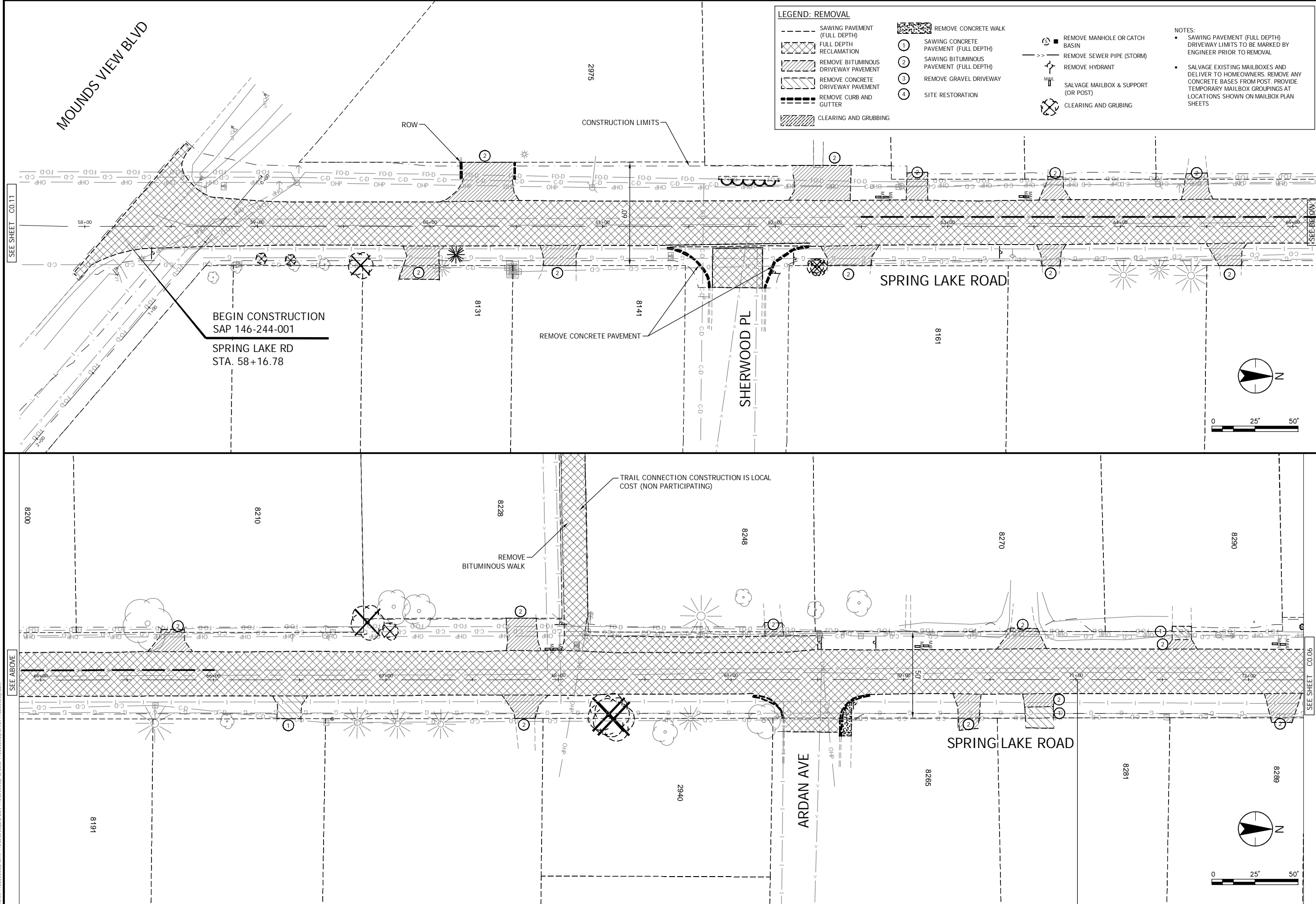
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DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER <b>C0.04</b>	

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Plot Date: 07/25/2022 - 4:08pm  
 Drawing Name: C:\pwworking\stntec\193805303\2001.dwg  
 User: jmcleelee



**LEGEND: REMOVAL**

- |           |   |           |                                     |          |                                     |
|-----------|---|-----------|-------------------------------------|----------|-------------------------------------|
| ---       | SAWING PAVEMENT (FULL DEPTH)            | [Hatched] | REMOVE CONCRETE WALK                | [Symbol] | REMOVE MANHOLE OR CATCH BASIN       |
| [Hatched] | FULL DEPTH RECLAMATION                  | [Hatched] | REMOVE BITUMINOUS DRIVEWAY PAVEMENT | [Symbol] | REMOVE SEWER PIPE (STORM)           |
| [Hatched] | REMOVE BITUMINOUS DRIVEWAY PAVEMENT     | [Hatched] | REMOVE CONCRETE DRIVEWAY PAVEMENT   | [Symbol] | REMOVE HYDRANT                      |
| [Hatched] | REMOVE CONCRETE DRIVEWAY PAVEMENT       | [Hatched] | REMOVE CURB AND GUTTER              | [Symbol] | SALVAGE MAILBOX & SUPPORT (OR POST) |
| [Hatched] | CLEARING AND GRUBBING                   | [Hatched] | REMOVE GRAVEL DRIVEWAY              | [Symbol] | CLEARING AND GRUBBING               |
| [Symbol]  | SAWING CONCRETE PAVEMENT (FULL DEPTH)   | [Hatched] | REMOVE CONCRETE DRIVEWAY PAVEMENT   | [Symbol] |                                     |
| [Symbol]  | SAWING BITUMINOUS PAVEMENT (FULL DEPTH) | [Hatched] | REMOVE GRAVEL DRIVEWAY              | [Symbol] |                                     |
| [Symbol]  | REMOVE BITUMINOUS DRIVEWAY PAVEMENT     | [Hatched] | REMOVE CONCRETE DRIVEWAY PAVEMENT   | [Symbol] |                                     |
| [Symbol]  | REMOVE GRAVEL DRIVEWAY                  | [Hatched] | REMOVE CURB AND GUTTER              | [Symbol] |                                     |
| [Symbol]  | SITE RESTORATION                        | [Hatched] | CLEARING AND GRUBBING               | [Symbol] |                                     |

**NOTES:**

- SAWING PAVEMENT (FULL DEPTH) DRIVEWAY LIMITS TO BE MARKED BY ENGINEER PRIOR TO REMOVAL.
- SALVAGE EXISTING MAILBOXES AND DELIVER TO HOMEOWNERS. REMOVE ANY CONCRETE BASES FROM POST. PROVIDE TEMPORARY MAILBOX GROUPINGS AT LOCATIONS SHOWN ON MAILBOX PLAN SHEETS

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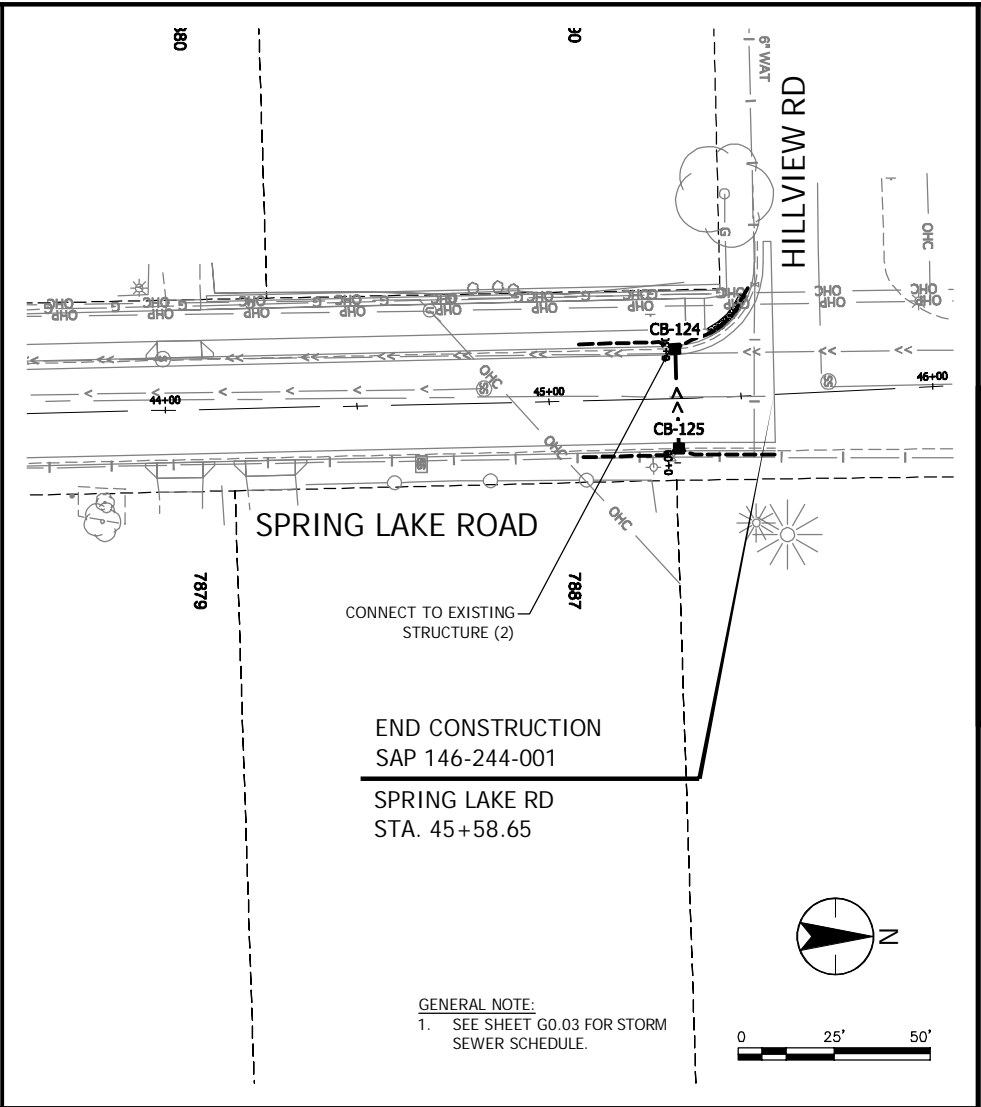
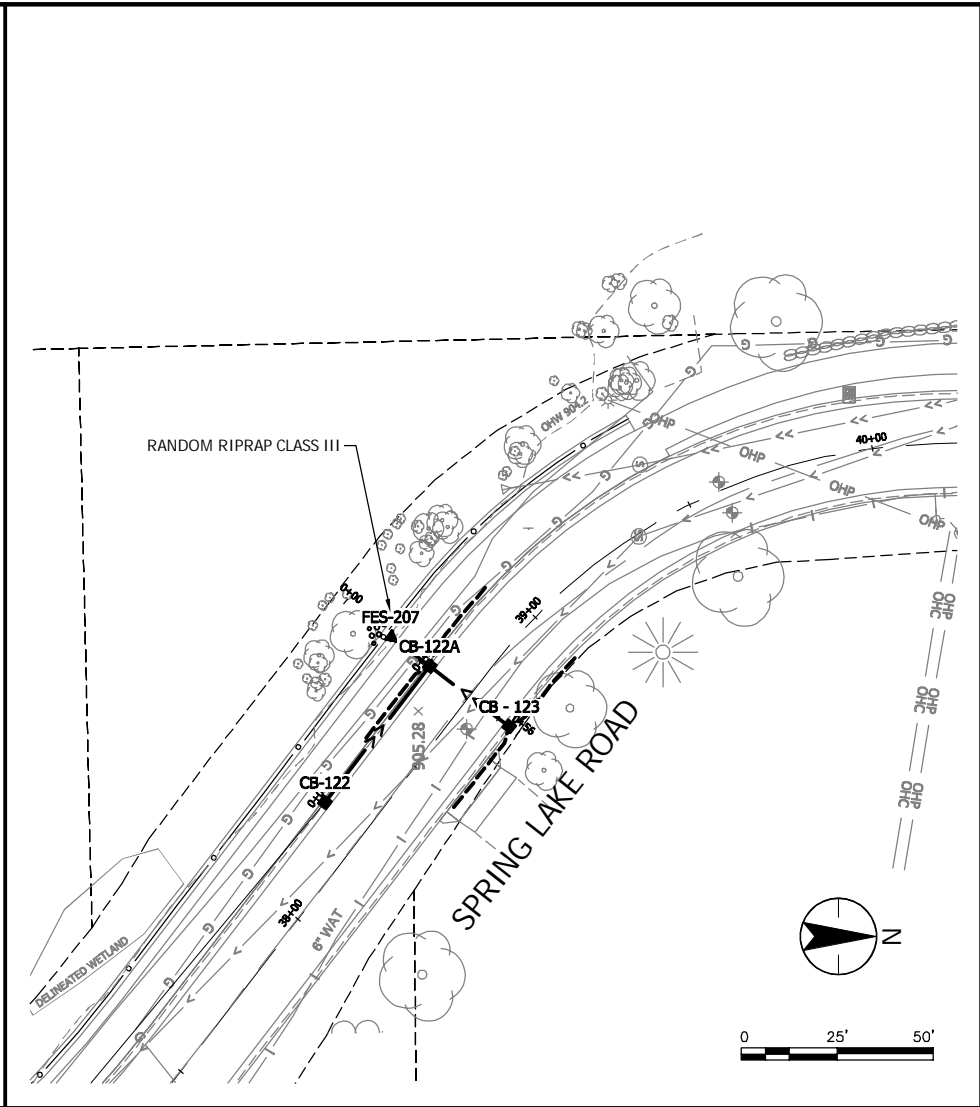
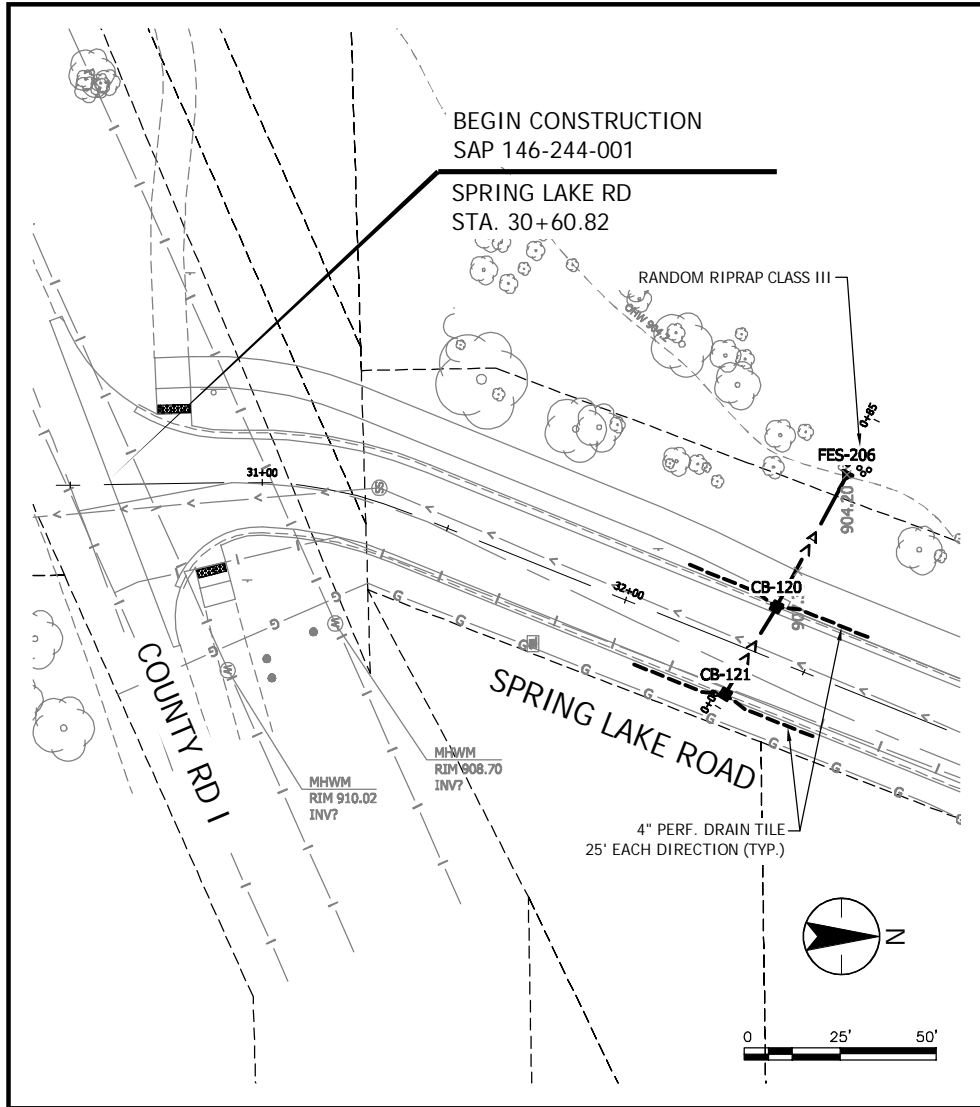
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 SIGNATURE: [Signature]  
 PRINT NAME: TYLER J. MCLEEE  
 DATE: 07/22/2022  
 LIC. NO. 5172

**CITY OF MOUNDS VIEW, MINNESOTA**  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 EXISTING CONDITIONS & REMOVALS

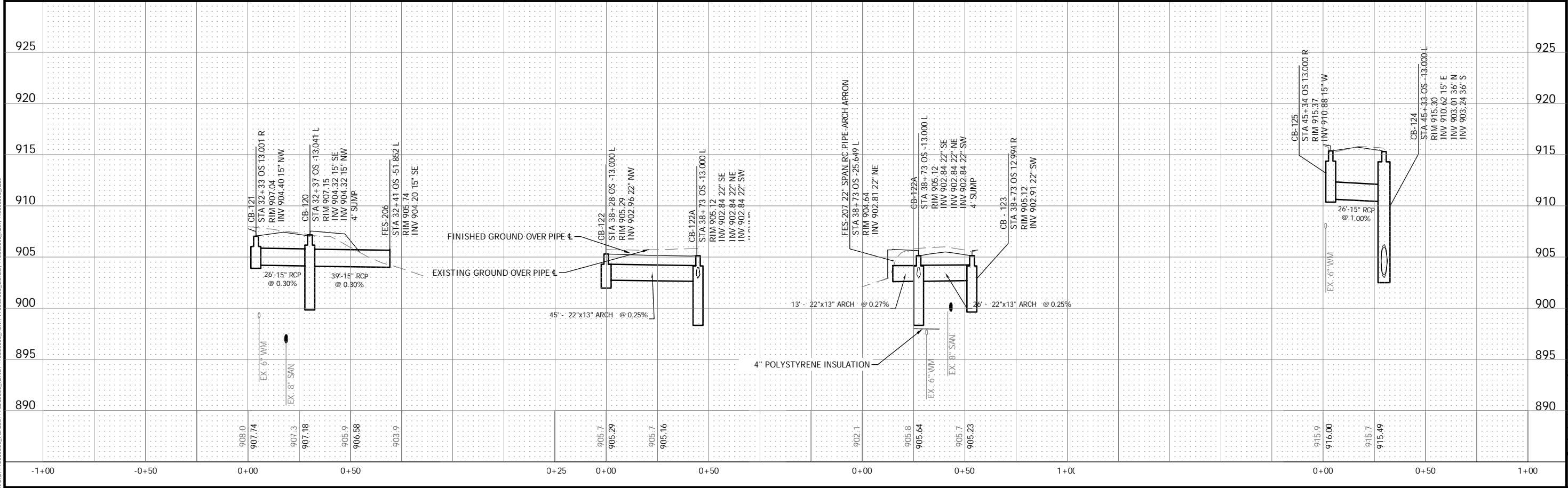
NO	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	C0.05

Plot Date: 07/25/2022 - 4:13pm  
 Drawing Name: C:\pwworking\193805303\_C503.dwg  
 User: j...  
 Job Number: 193805303  
 Project Name: 2022-2023 Street Rehabilitation Project



GENERAL NOTE:  
 1. SEE SHEET G0.03 FOR STORM SEWER SCHEDULE.





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 SIGNATURE: TYLER J. MCLEETIE  
 DATE: 07/25/2022  
 LIC. NO.: 5172

CITY OF MOUNDS VIEW, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 DRAINAGE PLAN & PROFILE

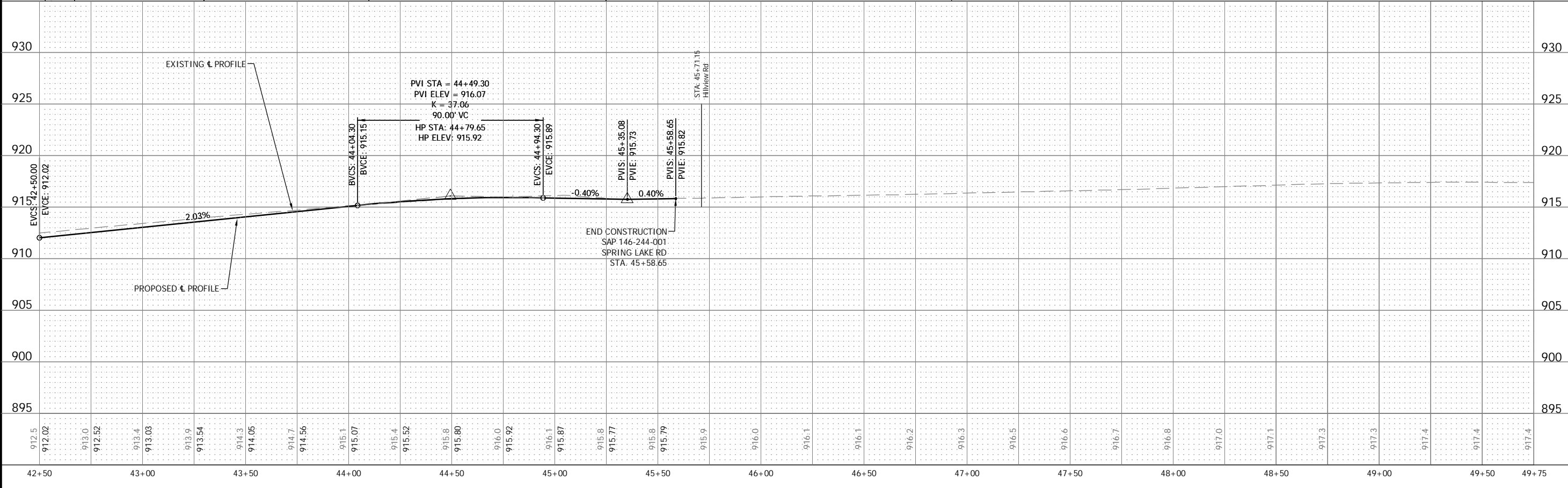
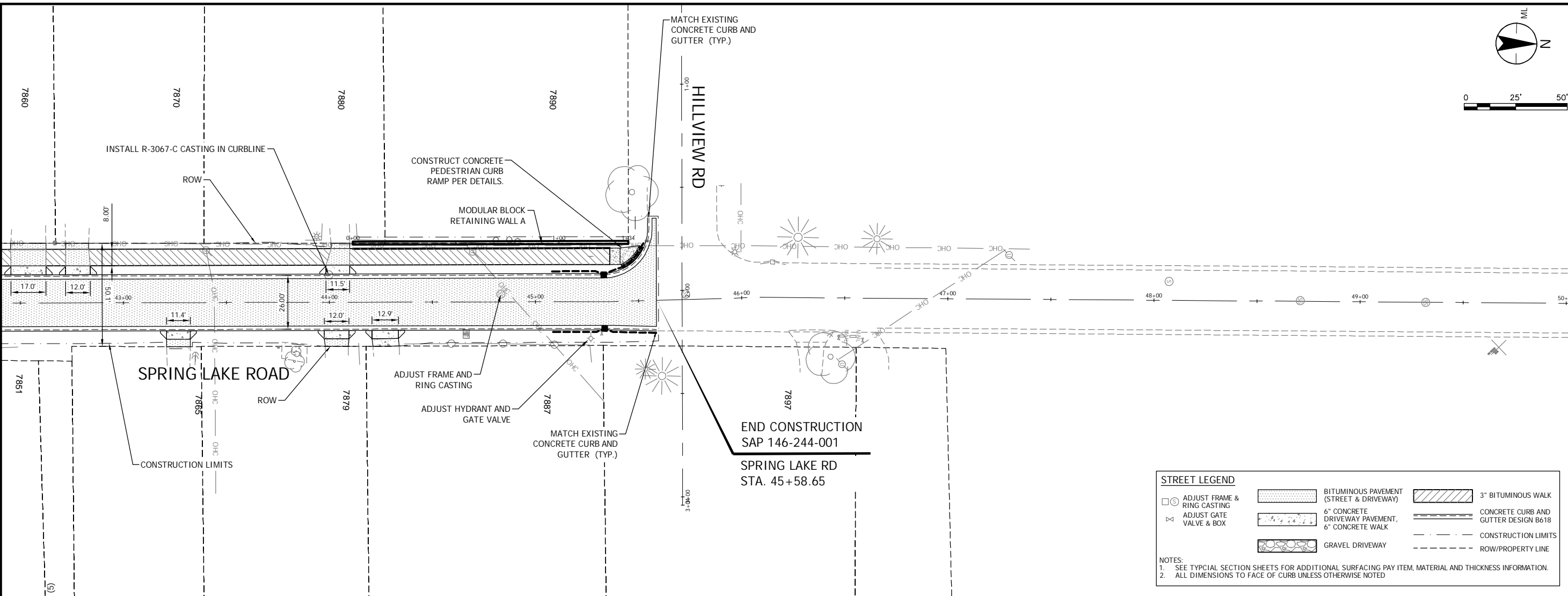
NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

SHEET NUMBER  
**C5.03**

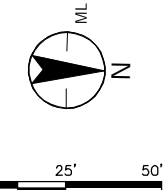


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STREET LEGEND					
	ADJUST FRAME & RING CASTING		BITUMINOUS PAVEMENT (STREET & DRIVEWAY)		3\" BITUMINOUS WALK
	ADJUST GATE VALVE & BOX		6\" CONCRETE DRIVEWAY PAVEMENT, 6\" CONCRETE WALK		CONCRETE CURB AND GUTTER DESIGN B618
			GRAVEL DRIVEWAY		CONSTRUCTION LIMITS
					ROW/PROPERTY LINE

NOTES:  
 1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
 2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.



CITY OF MOUNDS VIEW, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 STREET IMPROVEMENTS-SPRING LAKE RD

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 SIGNATURE: *[Signature]*  
 PRINT NAME: TYLER J. MCGEEHEE  
 DATE: 01/23/2022  
 LIC. NO. 51774

Plot Date: 01/25/2022 - 4:15pm  
 Drawing name: C:\pwworking\Stantec\Projects\193805303\2022-2023 Street Rehabilitation\193805303\_C601.dwg  
 Author: tyler.mcgeehee  
 Date: 01/23/2022 11:38:33 AM  
 User: tyler.mcgeehee

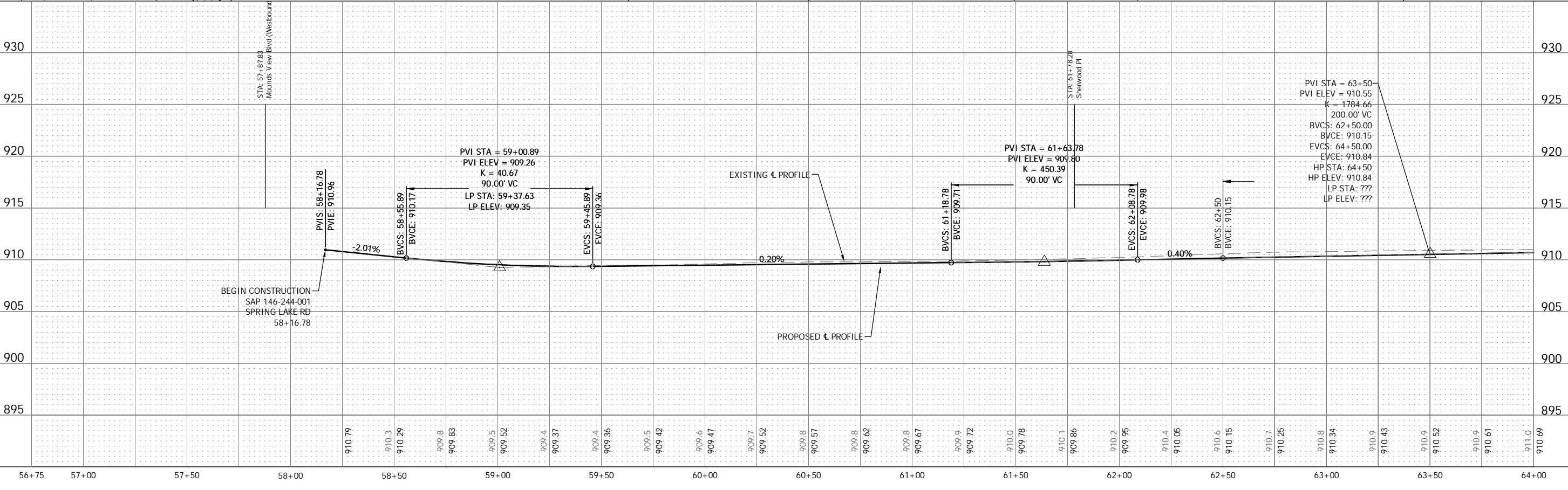
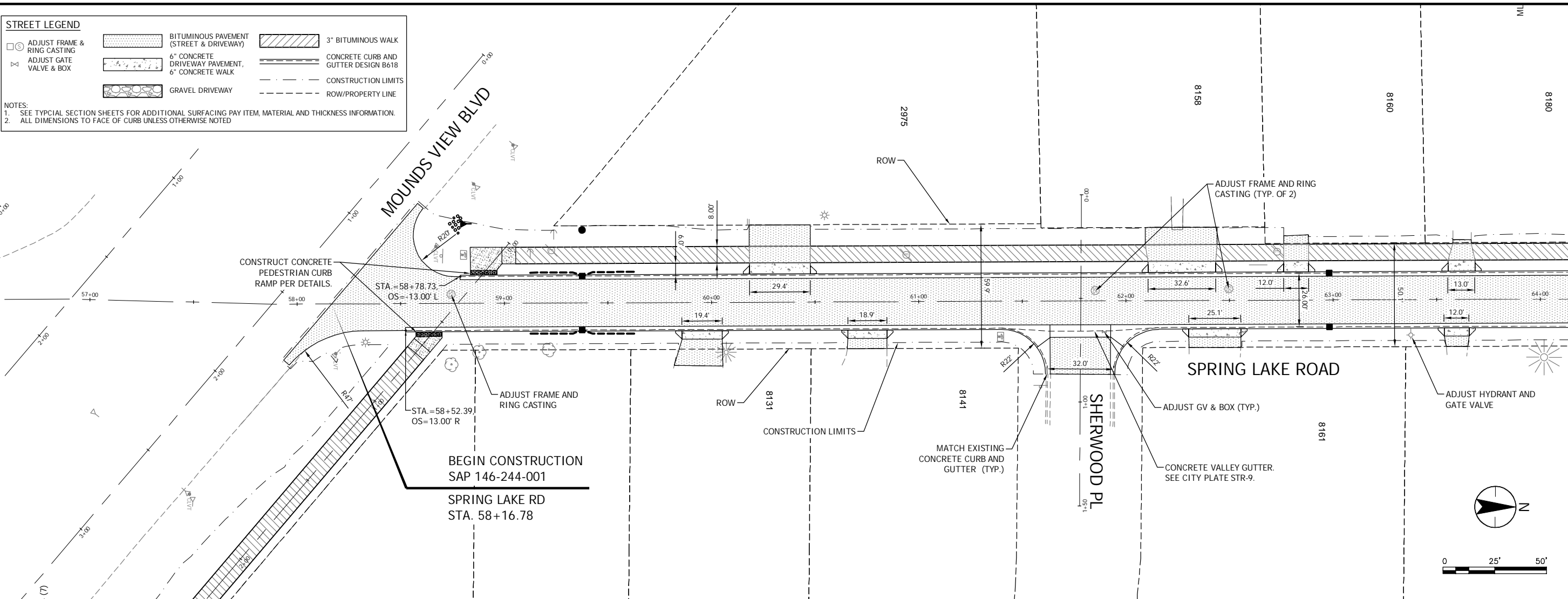
NO.	REVISION	DATE

SURVEY: BLW  
 DRAWN: XWM/JDP  
 DESIGNED: TJM  
 CHECKED: ###  
 APPROVED: ###  
 PROJ. NO.: 193805303  
 SHEET NUMBER: **C6.07**

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**STREET LEGEND**


NOTES:  
 1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
 2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.



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 PRINT NAME: TYLER J. MCLEETE  
 SIGNATURE:   
 DATE: 02/22/2022 UIC NO. 517Z

**CITY OF MOUNDS VIEW, MINNESOTA**  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 STREET IMPROVEMENTS-SPRING LAKE RD

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

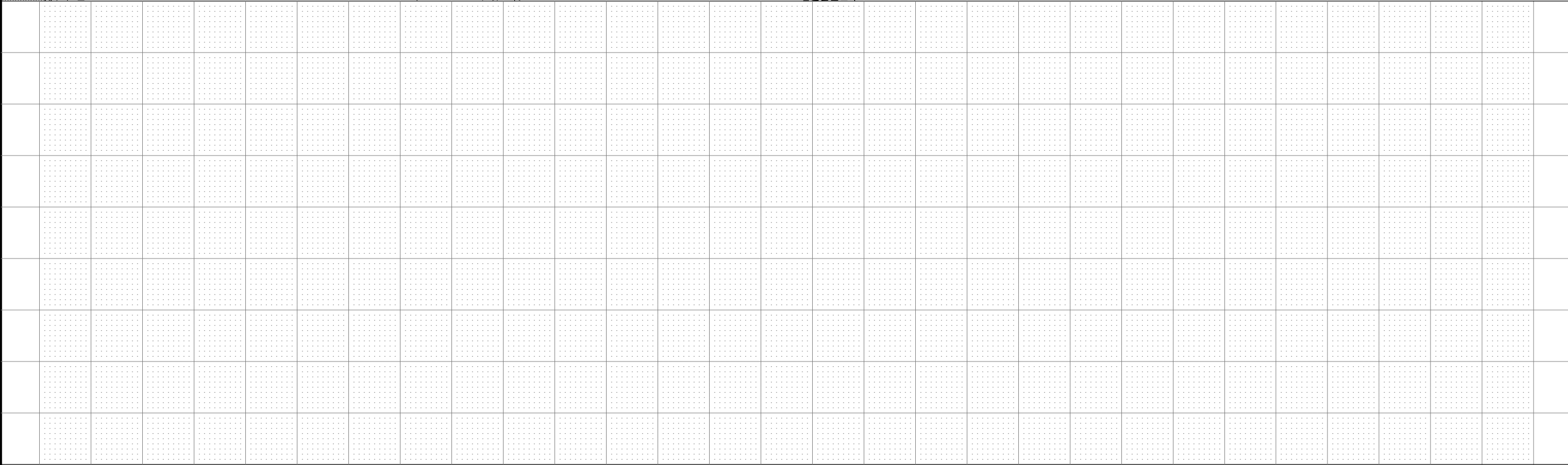
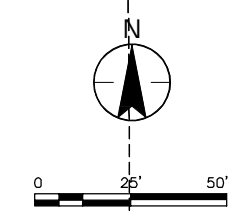
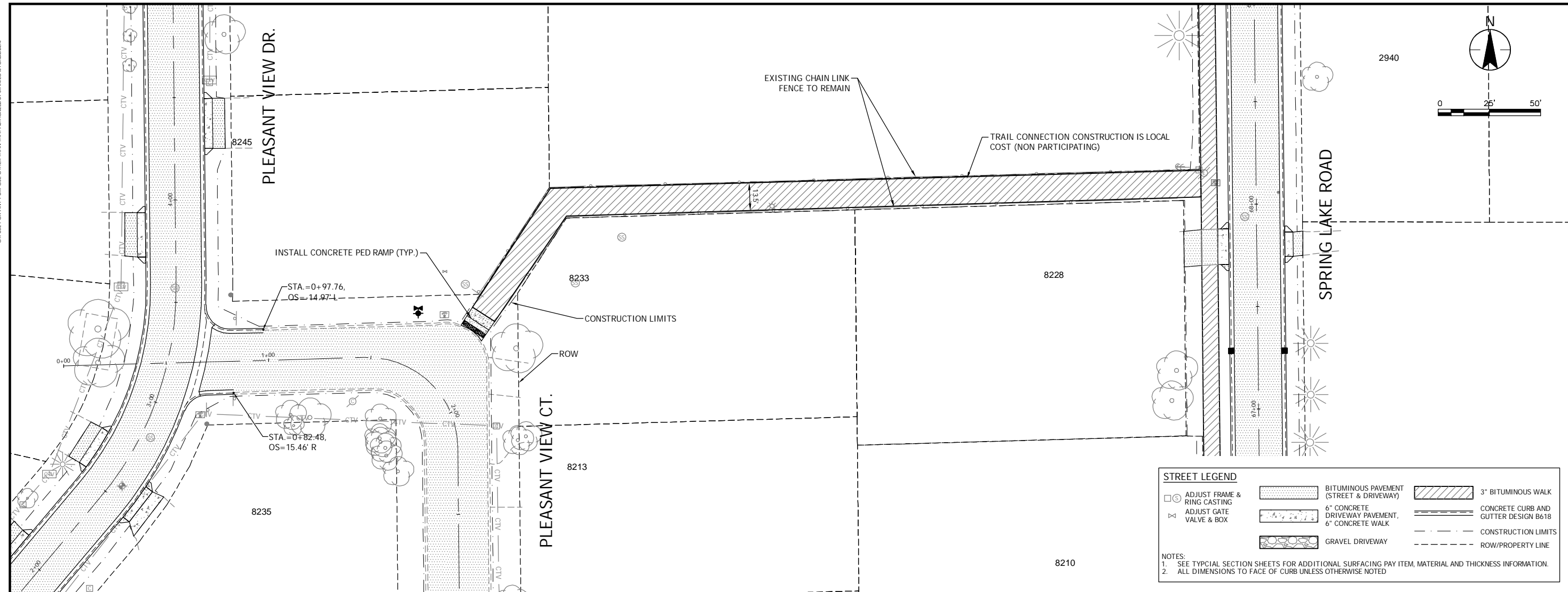
SHEET NUMBER  
**C6.08**

Plot Date: 07/25/2022 - 4:15pm  
 Drawing Name: C:\p\m\m\m\193805303\_C601.dwg  
 User: tyler.j.mcleete  
 Title: 193805303\_Plan



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Plot Date: 07/25/2022 - 4:17pm  
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 Author: 193805303\_Parcels, 193805303\_SST, 193805303\_SS, 193805303\_SS1, 193805303\_SS1, 193805303\_SS1, 193805303\_SS1



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PRINT NAME: TYLER J. MCGLEETE  
 SIGNATURE:   
 DATE: 01/22/2022 UIC NO. 517Z

---

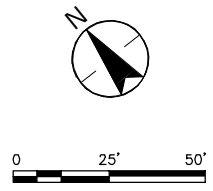
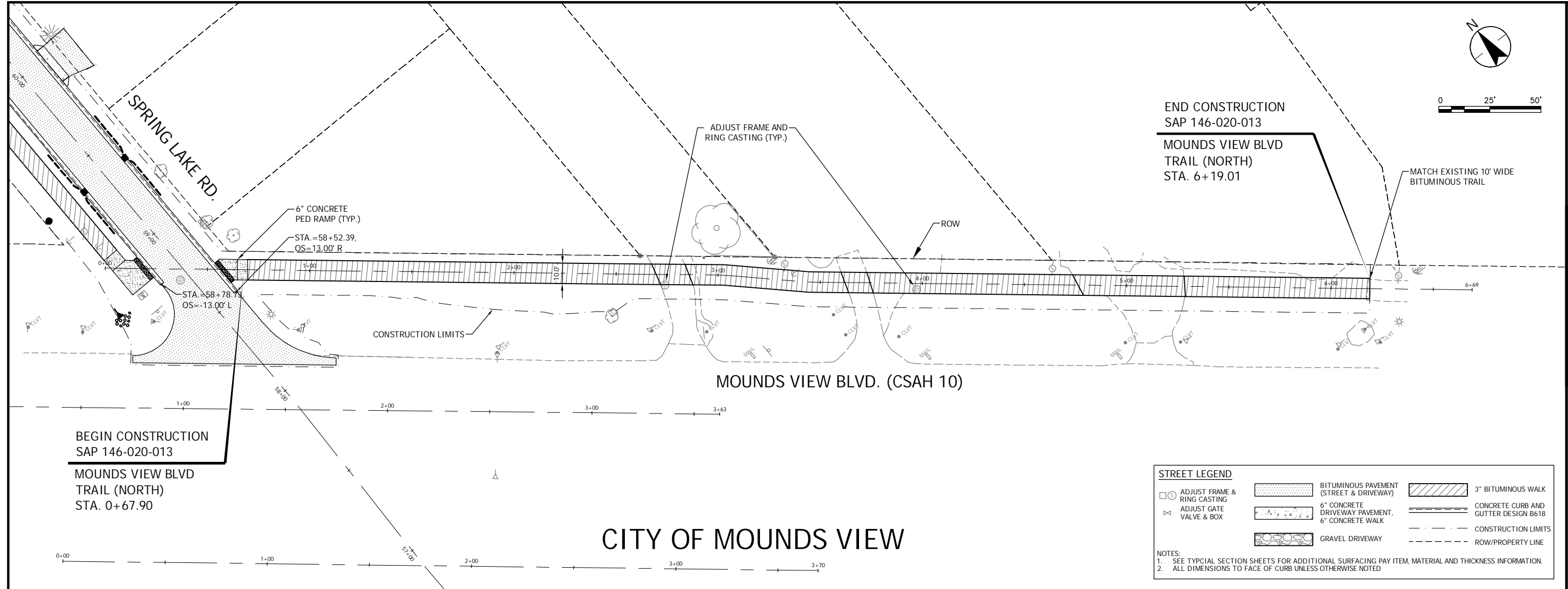
**CITY OF MOUNDS VIEW, MINNESOTA**  
**2022-2023 STREET REHABILITATION PROJECT**  
 SAP 146-244-001  
 STREET IMPROVEMENTS-PLEASANT VIEW CT TRAIL CONNECTION

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

**SHEET NUMBER**  
C6.20

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**END CONSTRUCTION**  
 SAP 146-020-013  
**MOUNDS VIEW BLVD TRAIL (NORTH)**  
 STA. 6+19.01

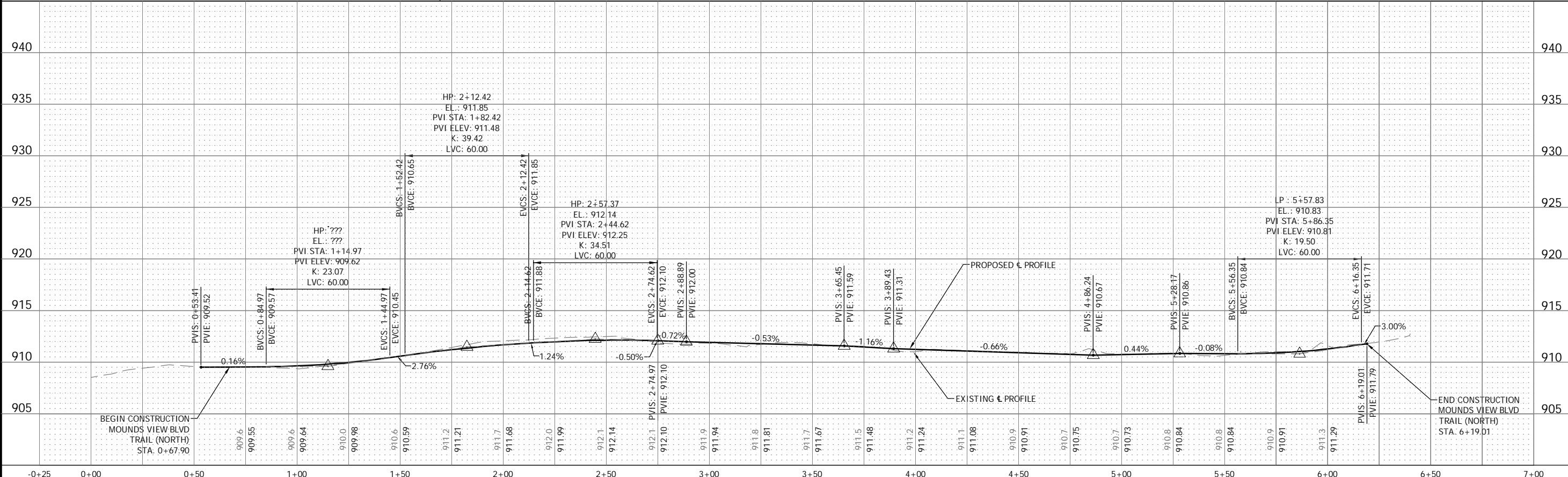
**BEGIN CONSTRUCTION**  
 SAP 146-020-013  
**MOUNDS VIEW BLVD TRAIL (NORTH)**  
 STA. 0+67.90

**STREET LEGEND**

	ADJUST FRAME & RING CASTING		BITUMINOUS PAVEMENT (STREET & DRIVEWAY)		3" BITUMINOUS WALK
	ADJUST GATE VALVE & BOX		6" CONCRETE DRIVEWAY PAVEMENT, 6" CONCRETE WALK		CONCRETE CURB AND GUTTER DESIGN B618
	GRAVEL DRIVEWAY		CONSTRUCTION LIMITS		ROW/PROPERTY LINE

NOTES:  
 1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
 2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.

# CITY OF MOUNDS VIEW



Plot Date: 07/25/2022 - 4:17pm  
 Drawing Name: C:\pwworking\stntec\2022\193805303\_25\193805303.dwg  
 User: jstntec  
 Plotter: HPGL2 Plotter



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 SIGNATURE: [Signature]  
 PRINT NAME: TYLER J. MCLEETE  
 DATE: 07/25/2022  
 LIC. NO.: 51774

CITY OF MOUNDS VIEW, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 STREET IMPROVEMENTS-MOUNDS VIEW TRAIL

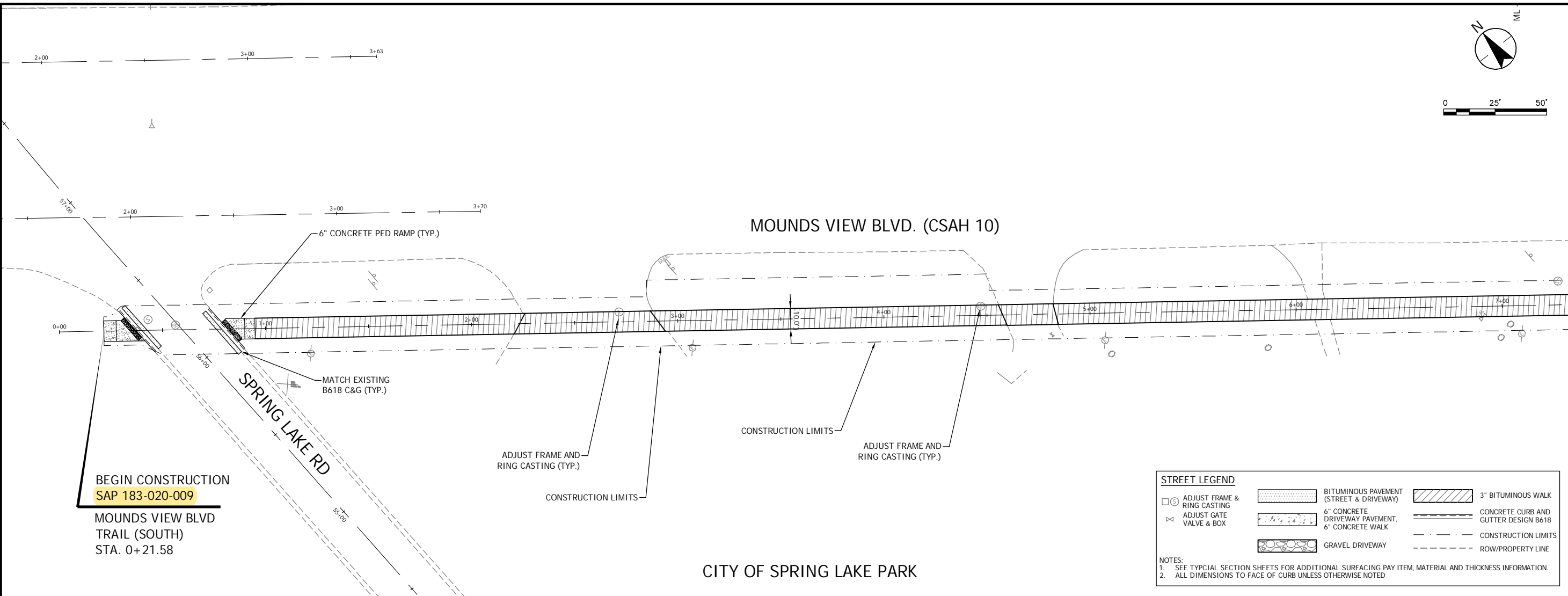
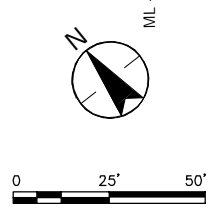
NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

SHEET NUMBER  
**C6.21**

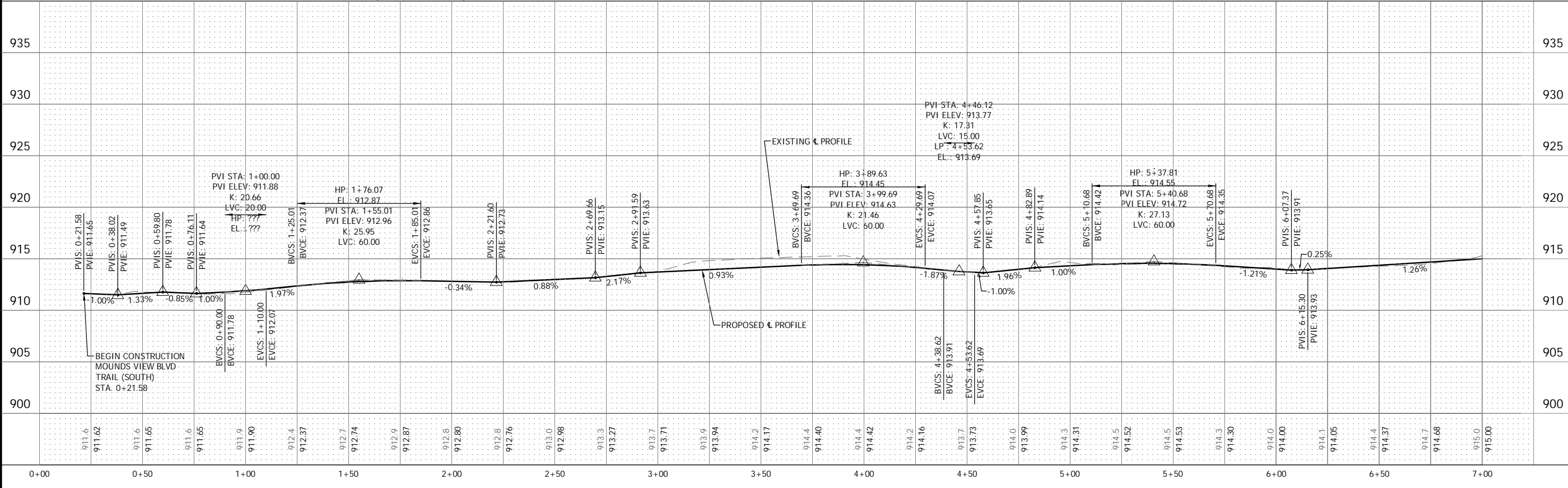
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BEGIN CONSTRUCTION  
SAP 183-020-009  
MOUNDS VIEW BLVD  
TRAIL (SOUTH)  
STA. 0+21.58

STREET LEGEND			
	ADJUST FRAME & RING CASTING		BITUMINOUS PAVEMENT (STREET & DRIVEWAY)
	ADJUST GATE VALVE & BOX		6" CONCRETE DRIVEWAY PAVEMENT, 6" CONCRETE WALK
	GRAVEL DRIVEWAY		3" BITUMINOUS WALK
	CONCRETE CURB AND GUTTER DESIGN B618		CONSTRUCTION LIMITS
	ROW/PROPERTY LINE		

NOTES:  
1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.



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PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: [Signature]  
DATE: 02/22/2022  
LIC. NO.: 5172

CITY OF MOUNDS VIEW, MINNESOTA  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
STREET IMPROVEMENTS-MOUNDS VIEW TRAIL

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	C6.22

Plot Date: 07/25/2022 - 4:17pm  
Drawing Name: C:\p\m\m\193805303\_C601.dwg  
User: tyler.j.mcleete  
Scale: 1/8"=1'-0"

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END CONSTRUCTION  
SAP 183-020-009

MOUNDS VIEW BLVD  
TRAIL (SOUTH)  
STA. 7+24.17

BEGIN CONSTRUCTION  
SAP 146-020-013

MOUNDS VIEW BLVD  
TRAIL (SOUTH)  
STA. 7+24.17

MOUNDS VIEW BLVD (CSAH 10).

6" CONCRETE PED RAMP (TYP.)

CONSTRUCTION LIMITS

ADJUST FRAME AND  
RING CASTING (TYP.)

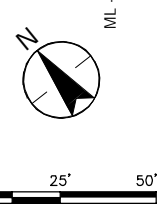
ADJUST FRAME AND  
RING CASTING (TYP.)

ROW

MATCH EXISTING  
B618 C&G (TYP.)

GROVELAND RD

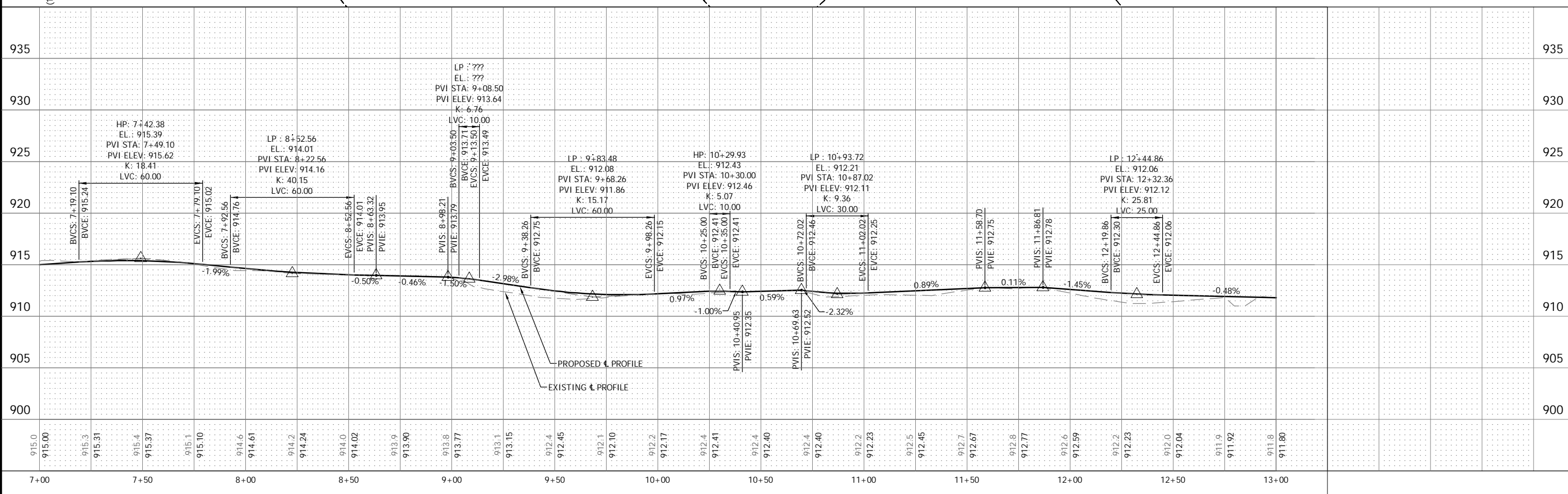
CITY OF MOUNDS VIEW  
CITY OF SPRING LAKE PARK



**STREET LEGEND**

	ADJUST FRAME & RING CASTING		BITUMINOUS PAVEMENT (STREET & DRIVEWAY)		3\" BITUMINOUS WALK
	ADJUST GATE VALVE & BOX		6\" CONCRETE DRIVEWAY PAVEMENT, 6\" CONCRETE WALK		CONCRETE CURB AND GUTTER DESIGN B618
	GRAVEL DRIVEWAY		CONSTRUCTION LIMITS		ROW/PROPERTY LINE

NOTES:  
1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED



Plot Date: 07/25/2022 - 4:17pm  
Drawing Name: C:\pwworking\Stantec\Projects\193805303\193805303\_C601.dwg  
User: jay.dwyer  
Title: 193805303\_Planets

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DATE: 07/25/2022  
LIC. NO. 5172

PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: [Signature]  
DATE: 07/25/2022

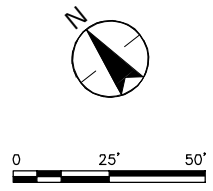
**CITY OF MOUNDS VIEW, MINNESOTA**  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
STREET IMPROVEMENTS-MOUNDS VIEW TRAIL

NO	REVISION	DATE

SURVEY: BLW  
DRAWN: XWM/JDP  
DESIGNED: TJM  
CHECKED: ###  
APPROVED: ###  
PROJ. NO.: 193805303

SHEET NUMBER  
**C6.23**

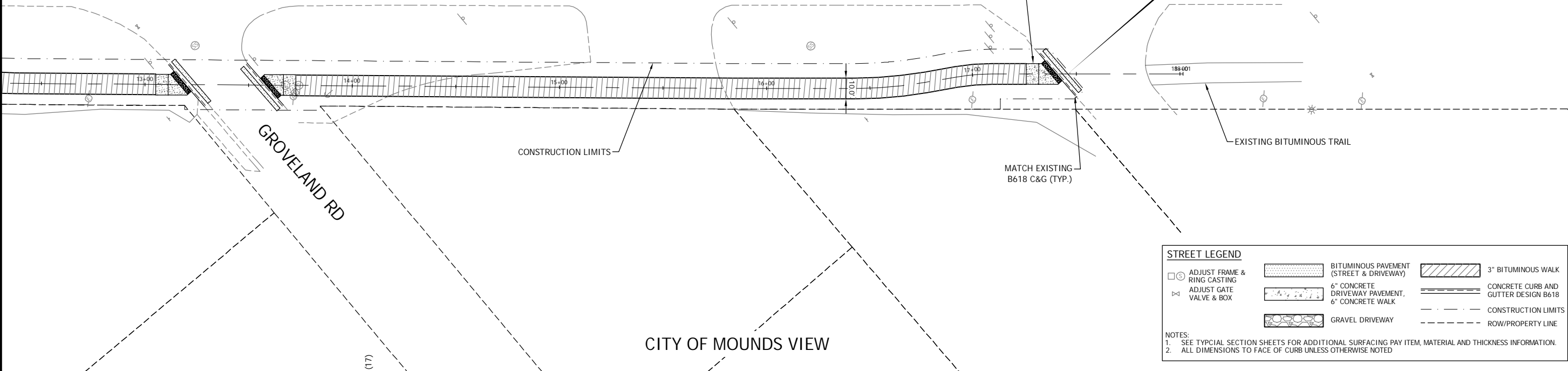
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MOUNDS VIEW BLVD. (CSAH 10)

END CONSTRUCTION  
SAP 146-020-013

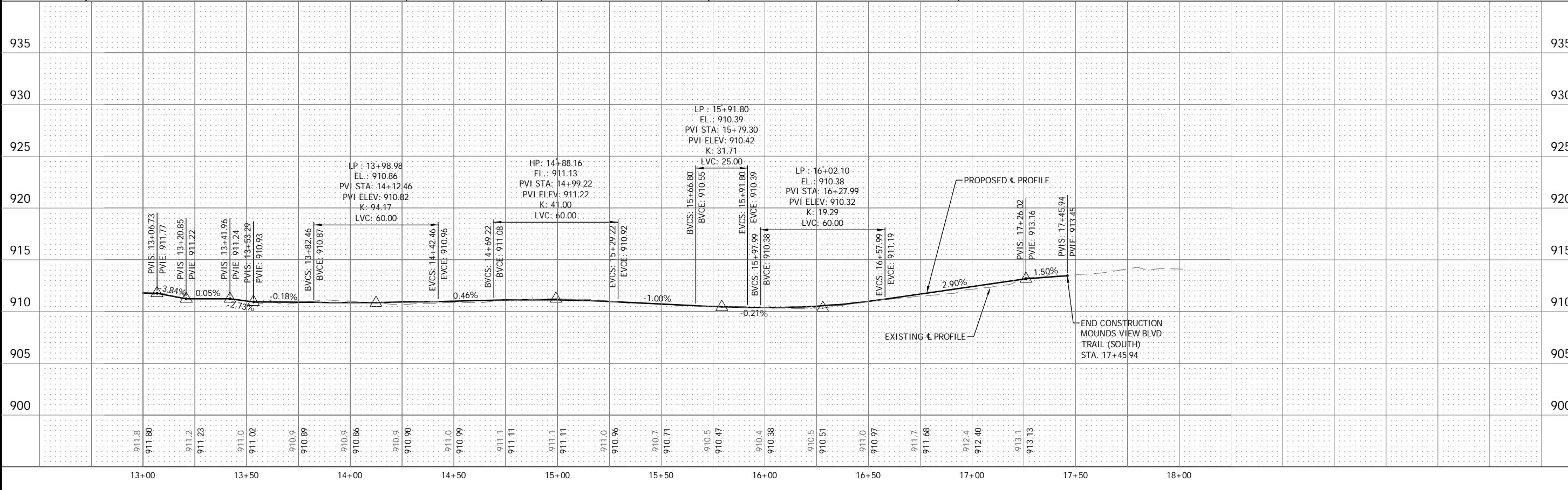
MOUNDS VIEW BLVD  
TRAIL (SOUTH)  
STA. 17+45.94



**STREET LEGEND**

	ADJUST FRAME & RING CASTING		BITUMINOUS PAVEMENT (STREET & DRIVEWAY)		3" BITUMINOUS WALK
	ADJUST GATE VALVE & BOX		6" CONCRETE DRIVEWAY PAVEMENT, 6" CONCRETE WALK		CONCRETE CURB AND GUTTER DESIGN B618
	GRAVEL DRIVEWAY		CONSTRUCTION LIMITS		ROW/PROPERTY LINE

**NOTES:**  
1. SEE TYPICAL SECTION SHEETS FOR ADDITIONAL SURFACING PAY ITEM, MATERIAL AND THICKNESS INFORMATION.  
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.



Plot Date: 07/25/2022 - 4:18pm  
Drawing Name: C:\p\m\m\193805303\_C601.dwg  
User: 193805303\_Perkins, 193805303\_SST, 193805303\_KNO, 193805303\_JSS, 193805303\_KSM

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PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: [Signature]  
DATE: 07/22/2022  
LIC. NO.: 5172L

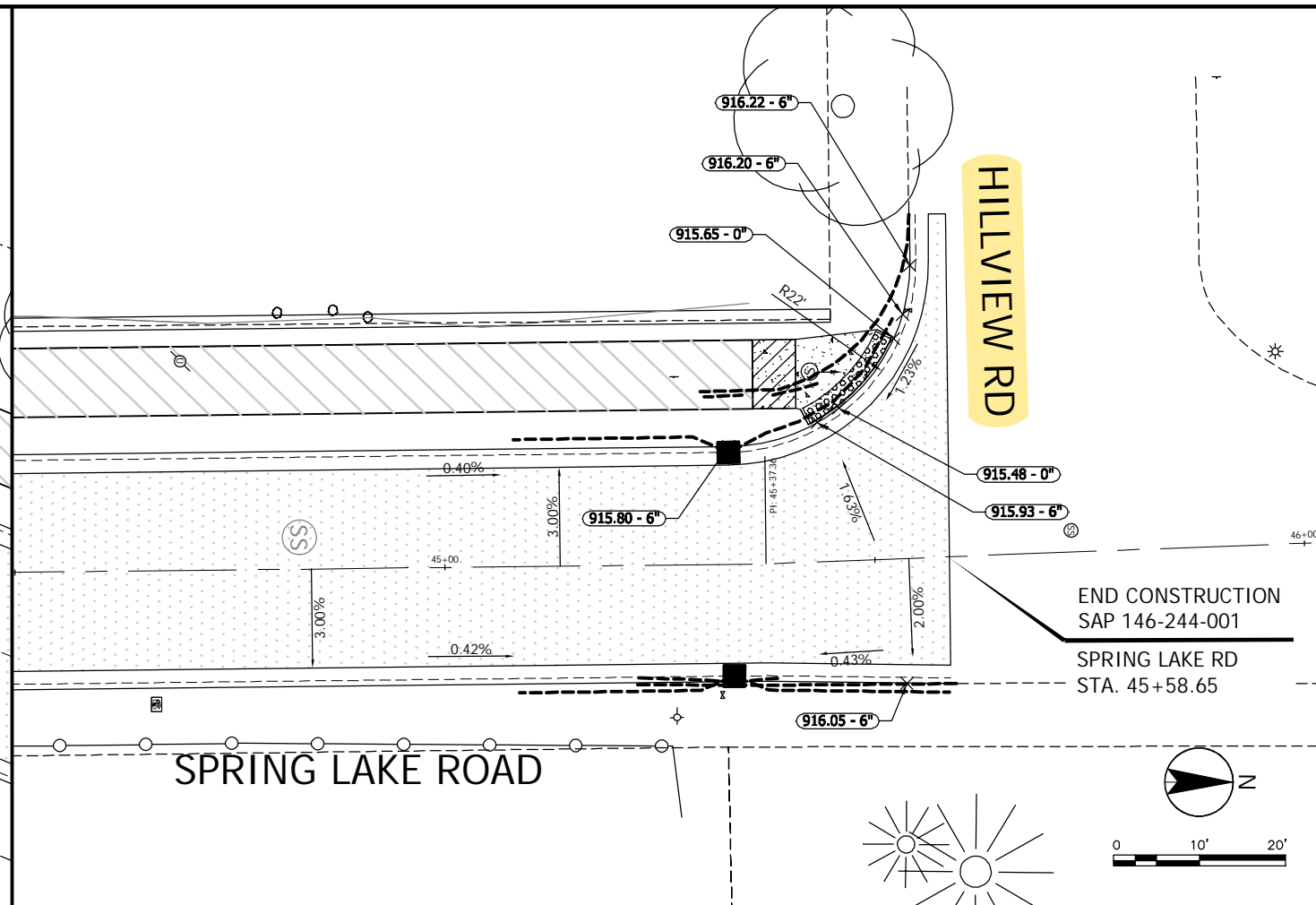
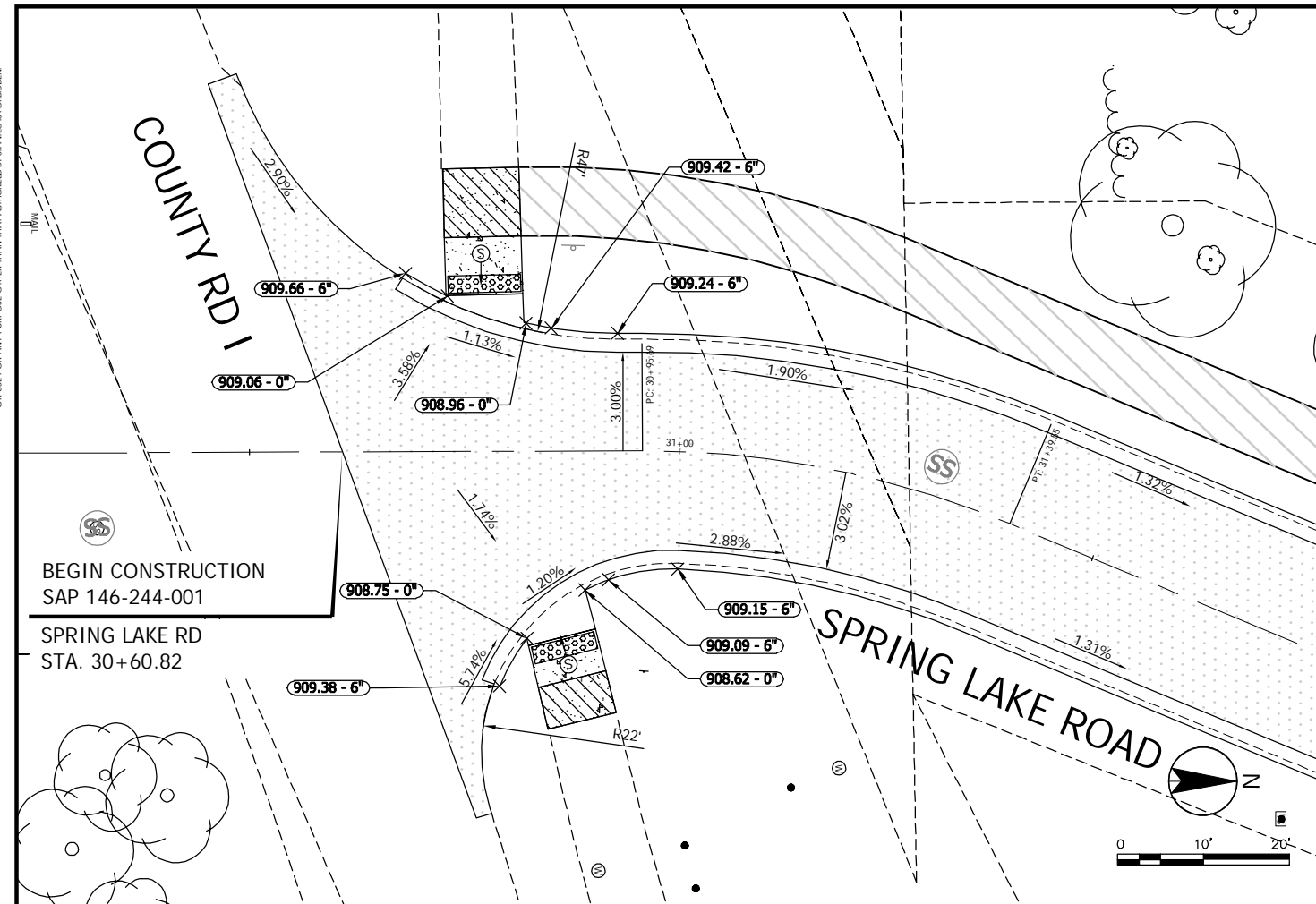
CITY OF MOUNDS VIEW, MINNESOTA  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
STREET IMPROVEMENTS-MOUNDS VIEW TRAIL

NO.	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	C6.24



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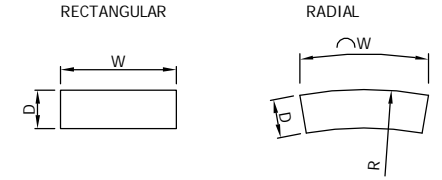
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
PRINT NAME: TYLER J. MCLEETE  
SIGNATURE: [Signature]  
DATE: 02/23/2022  
LIC. NO.: 517ZL

BEGIN CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 30+60.82

END CONSTRUCTION  
SAP 146-244-001  
SPRING LAKE RD  
STA. 45+58.65

LEGEND	
	TRUNCATED DOMES (SEE STANDARD PLATE 7038)
	LANDING AREA - 4' X 4' MIN. DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS
	SPOT ELEVATION - CURB HEIGHT AT BACK OF CURB
	SPOT ELEVATION
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%
	DRAINAGE FLOW ARROW

ALL PEDESTRIAN RAMPS SHALL BE REINFORCED WITH THE CURBLINE. SEE STANDARD PLAN 5-297.250 SHEET 25 FOR CURB LINE REINFORCEMENT DETAIL.



- NOTES:
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  - RADIAL DIMENSIONS ARE TO FACE OF CURB.
  - ALL SPOT ELEVATIONS ARE AT TOP BACK OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB JOINTS WITHIN THE PAR SHALL BE SAW CUT.
  - DOWEL INTO EXISTING CURB AND GUTTER.

Plot Date: 07/25/2022 - 4:19pm  
Drawing Name: C:\p\p\p\193805303\_02.dwg  
User: tyler.j.mcleete  
PLOT: 193805303\_PLOT.dwg  
PROJECT: 193805303

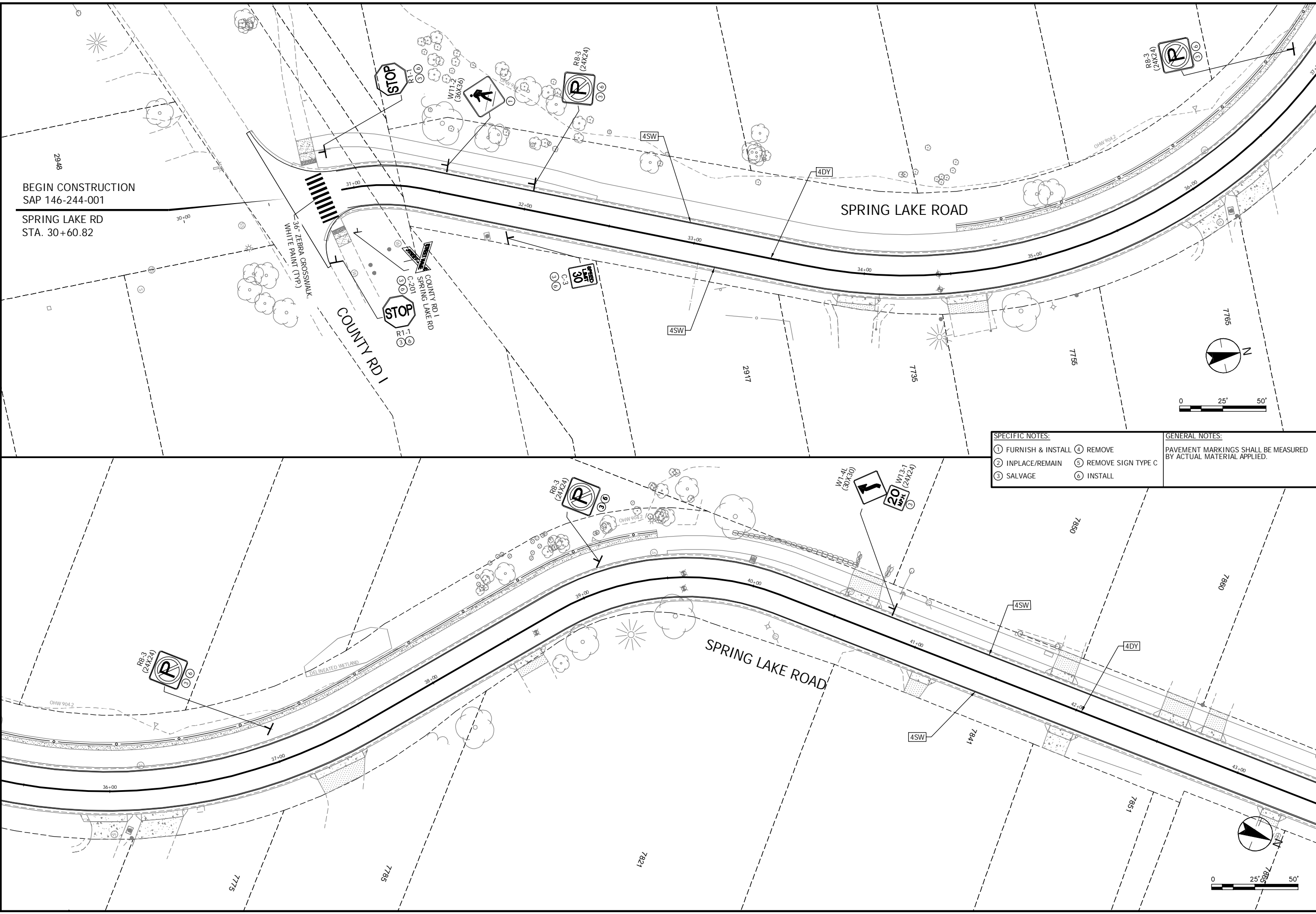
CITY OF MOUNDS VIEWS, MINNESOTA  
2022-2023 STREET REHABILITATION PROJECT  
SAP 146-244-001  
INTERSECTION DETAILS AND ADA PLAN

NO	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	C6.26

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. NO USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

Plot Date: 07/25/2022 - 4:22pm  
 Drawing Name: C:\New\_31n.dwg  
 User: 193805303  
 Title: 193805303



BEGIN CONSTRUCTION  
 SAP 146-244-001  
 SPRING LAKE RD  
 STA. 30+60.82

36" ZEBRA CROSSWALK  
 WHITE PAINT (TP)

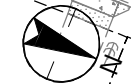
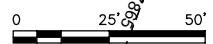
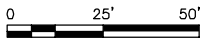
COUNTY RD 1  
 SPRING LAKE RD

SPRING LAKE ROAD

SPRING LAKE ROAD

- SPECIFIC NOTES:**
- ① FURNISH & INSTALL
  - ② INPLACE/REMAIN
  - ③ SALVAGE
  - ④ REMOVE
  - ⑤ REMOVE SIGN TYPE C
  - ⑥ INSTALL

**GENERAL NOTES:**  
 PAVEMENT MARKINGS SHALL BE MEASURED BY ACTUAL MATERIAL APPLIED.



733 Marquette Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *[Signature]*  
 PRINT NAME: TYLER J. MCLEETE  
 DATE: 07/22/2022  
 LIC. NO.: 5172

CITY OF MOUNDS VIEW, MINNESOTA

2022-2023 STREET REHABILITATION PROJECT

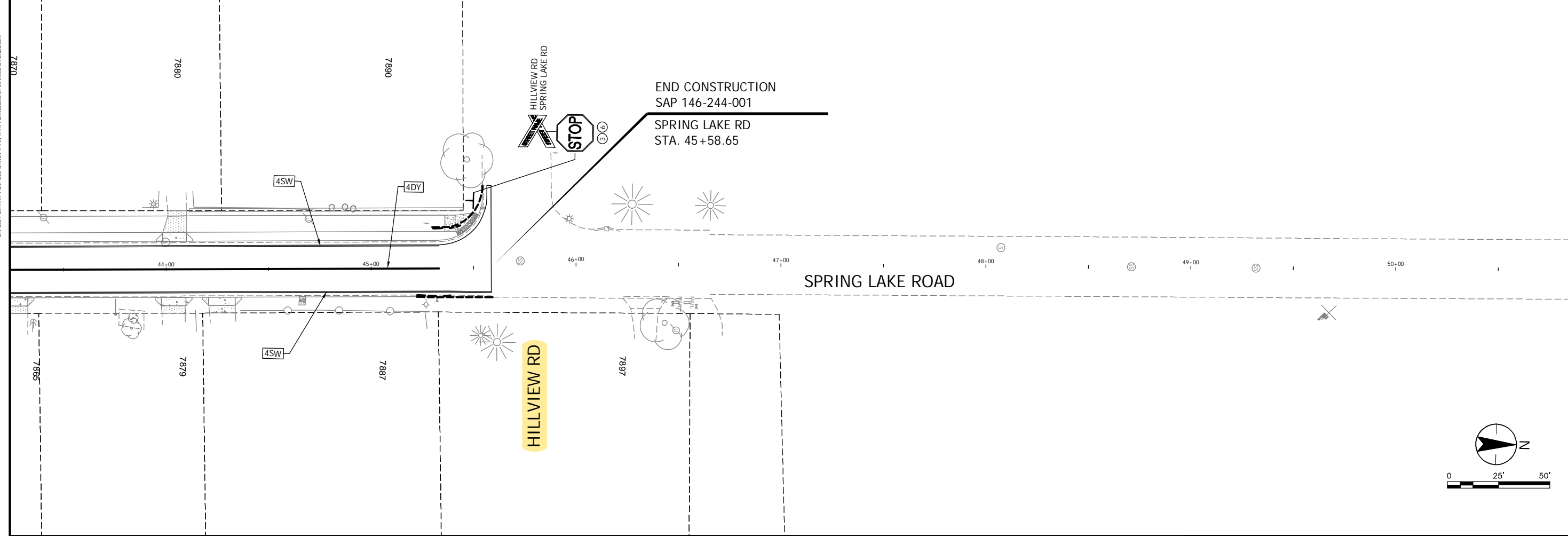
SAP 146-244-001  
 SIGNING & STRIPING PLAN

NO	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303
SHEET NUMBER	19.03

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. THIS DRAWING IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC'S FORBIDDEN.

Plot Date: 01/25/2022 - 4:27pm  
 Drawing name: C:\p\p\193805303\_1900.dwg  
 User: 193805303\_email\_193805303\_Parcels\_193805303\_XSNG\_193805303\_border



- SPECIFIC NOTES:**
- ① FURNISH & INSTALL
  - ② INPLACE/REMAIN
  - ③ SALVAGE
  - ④ REMOVE
  - ⑤ REMOVE SIGN TYPE C
  - ⑥ INSTALL

**GENERAL NOTES:**  
 PAVEMENT MARKINGS SHALL BE MEASURED BY ACTUAL MATERIAL APPLIED.

**Stantec**  
 733 Marquette Avenue, Suite 1000  
 Minneapolis, MN 55402  
 www.stantec.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: TYLER J. MCLEETE  
 SIGNATURE:   
 DATE: 01/23/2022 UIC NO. 517ZL

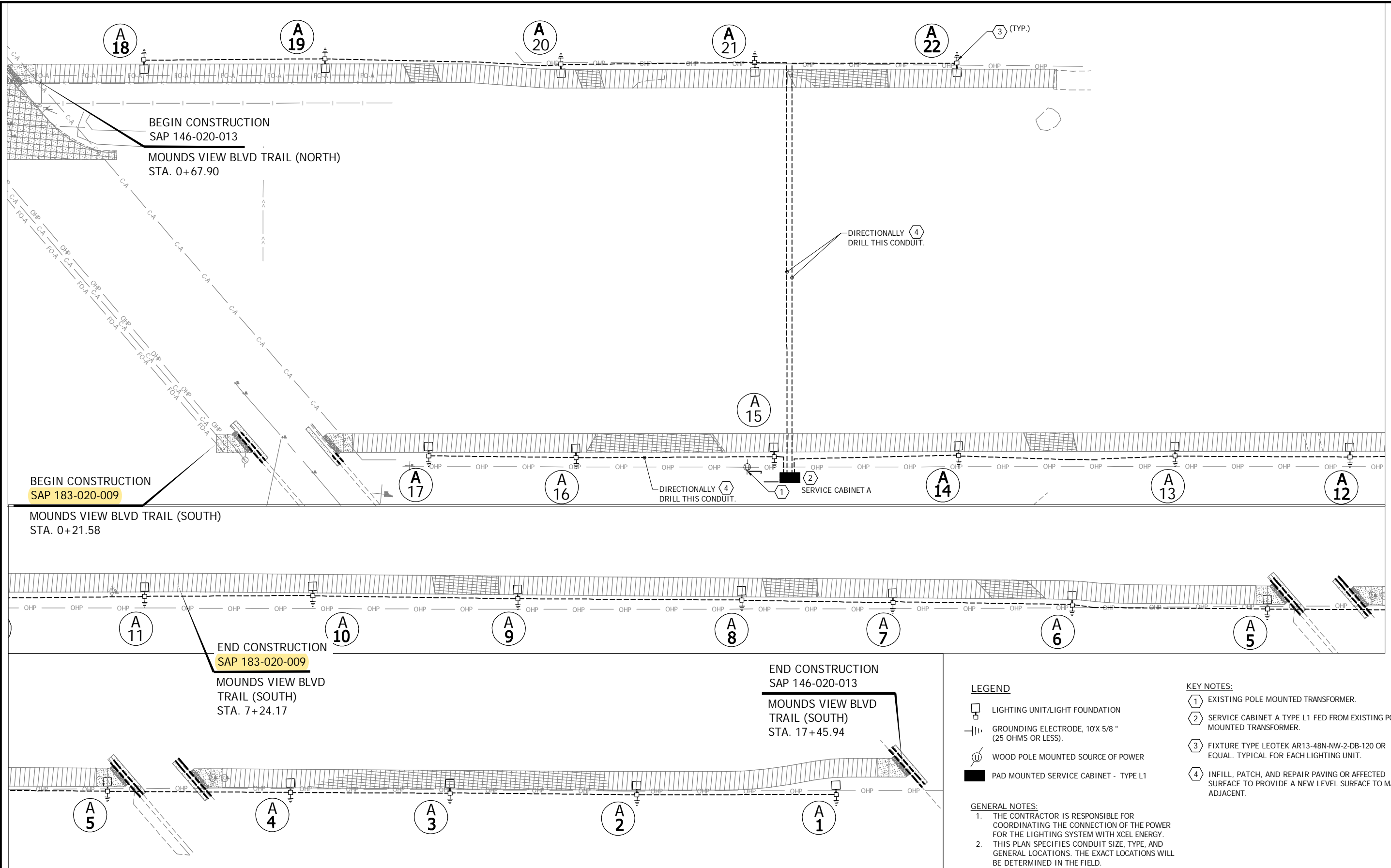
CITY OF MOUNDS VIEW, MINNESOTA  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 SIGNING & STRIPING PLAN

NO	REVISION	DATE

SURVEY	BLW
DRAWN	XWM/JDP
DESIGNED	TJM
CHECKED	###
APPROVED	###
PROJ. NO.	193805303

SHEET NUMBER  
**T9.04**

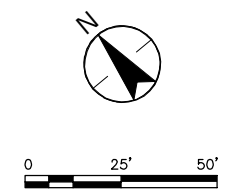
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



- LEGEND**
- LIGHTING UNIT/LIGHT FOUNDATION
  - GROUNDING ELECTRODE, 10'x 5/8" (25 OHMS OR LESS).
  - WOOD POLE MOUNTED SOURCE OF POWER
  - PAD MOUNTED SERVICE CABINET - TYPE L1

- KEY NOTES:**
- 1 EXISTING POLE MOUNTED TRANSFORMER.
  - 2 SERVICE CABINET A TYPE L1 FED FROM EXISTING POLE MOUNTED TRANSFORMER.
  - 3 FIXTURE TYPE LEOTEK AR13-48N-NW-2-DB-120 OR EQUAL. TYPICAL FOR EACH LIGHTING UNIT.
  - 4 INFILL, PATCH, AND REPAIR PAVING OR AFFECTED SURFACE TO PROVIDE A NEW LEVEL SURFACE TO MATCH ADJACENT.

- GENERAL NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE CONNECTION OF THE POWER FOR THE LIGHTING SYSTEM WITH XCEL ENERGY.
  - THIS PLAN SPECIFIES CONDUIT SIZE, TYPE, AND GENERAL LOCATIONS. THE EXACT LOCATIONS WILL BE DETERMINED IN THE FIELD.
  - ALL CONDUIT SHALL BE TRENCHED UNLESS OTHERWISE NOTED.



Plot Date: 07/25/2022 - 4:24pm  
 Drawing name: C:\p\proj\193805303\_E2.01.dwg  
 User: 193805303\_KNOX, 193805303\_KNOX, 193805303\_KNOX

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
 PRINT NAME: MICHAEL T. FITZPATRICK  
 SIGNATURE: *Michael T. Fitzpatrick*  
 DATE: 12/09/2021 LIC. NO.: 53078

**CITY OF MOUNDS VIEWS, MINNESOTA**  
 2022-2023 STREET REHABILITATION PROJECT  
 SAP 146-244-001  
 LIGHTING LAYOUT MOUNDS VIEW BLVD

NO.	REVISION	DATE

SURVEY	KEL/MTF
DRAWN	KEL/MTF
DESIGNED	KEL/MTF
CHECKED	KEL/MTF
APPROVED	MTF
PROJ. NO.	193805303
SHEET NUMBER	E1.01





City of Spring Lake Park  
Engineer's Project Status Report

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To: Council Members and Staff

Re: **Status Report for 02.07.22 Meeting**

From: Phil Gravel

File No.: R-18GEN

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**Note:** Updated information is shown in *italics*.

**2021 MS4 Permit and SWPPP Update (193805251).** Annual Report and Public Meeting due by June 30<sup>th</sup>. Pond, structural BMP, and outfall inspections due by July 31<sup>st</sup>. Program analysis due in December. Coordination with CCWD related to TMDL information will happen as needed. Annual Public Meeting was held on July 6, 2021. Ordinance updates have been processed. 2021 Annual training was completed in December.

**Suite Living Spring Lake Park (Hampton Cos. project at 525 Osborne).** Site work (including parking lot) complete for 2021. Finish work in 2022. Developer has completed parking lot restoration at Spring Crest Estates but needs to resolve issues with irrigation system.

**Stormwater Utility Plan (193804944).** The city has approved a stormwater utility charge. Ordinance has been processed. The next step is to implement the billing in 2022.

**2021 Sewer Lining Project (193805204).** This project included lining in the general area between Terrace and Monroe and south of 81<sup>st</sup> Avenue. Terry Randall is watching this project. Construction Contracts have been signed. *Lining begins in February 2022 after Pre-televising.*

**2022 Street Seal Coat and Crack Repair Project (193805507).** 2022 project area will include all of 81<sup>st</sup> Avenue, Arthur Street, Middletown, and Service Drive southwest of 10 and 65. *Plans are being prepared. Public Works Director is reviewing the necessary street patch areas.*

**Sidewalk Project:** Possible sidewalk improvements crossing Able St. at Lund Ave. (near Triangle Park) and along 81<sup>st</sup> Ave. by City Hall. Alternate bids have been included with the 2022 Street Project.

**2022 Street Improvements Project (193805383).** This project will include pavement replacement in the Garfield-Hayes neighborhood. Feasibility Report was received on 9/7/21. Public Improvement Hearings were on 10/4/21 and 11/15/21. Construction Plans and Specifications were approved on 12/6/21. *Bids were received on January 31<sup>st</sup>. See separate letter regarding assessment process.*

Open Bids	January 31, 2022 ✓
<i>Declare Costs to Be Assessed and Order Final Assessment Roll</i>	<i>February 7, 2022</i>
Receive Assessment Roll and Order Assessment Hearing	February 22, 2022
Public Assessment Hearing	March 21, 2022
Award Contract (Award Bids)	March 21, 2022
Begin Construction	May 2022
Final Wear Course Paving	August 2022

**2022-2023 City of Mounds View Street Project (trail in Spring Lake Park along Co. Rd 10):** SAP 183-020-009. Spring Lake Park has been asked to participate in a Mounds View project. The city's part of the project would be a segment of bituminous trail along the south side of Co. Rd. 10 east of Spring Lake Road to the east city limits.

## 01-20-22 Status of Spring Lake Park Cellular Antenna Installations on Water Towers:

- **2021 T-Mobile/Sprint antennae replacement on Arthur Street tower (A1O0091).** This request is based on a 12-30-20 email message from Shane Bagley of Begley Wireless Consultants to Dan Buchholtz. Construction Drawings (CDs) prepared by Fullerton Engineering Design (dated 12/15/20 and updated 5/25/21). A second Construction Documents (CDs) Review memo was sent to applicant on 6/8/2021 - CDs are okay - remaining issues will be resolved at Preconstruction Conference. Lease negotiations complete as of 9/20/21 with approval of Lease Amendment #4. Contractor will need to provide insurance certificate and bond, then schedule precon. Responses received from Begley on 12/3/21, 12/17/21, and 12/30/21. *SACW (Construction Contractor) would like to get started on construction (as of 1/28/22). Sent message to SACW on 1/31/22 telling them to schedule a Preconstruction Conference.*

Below is the recap of all other items requested as of 12/30/21.

- *Verify that Lease Amendment 4 has been processed and signed. Lease Amendment has been NLG approved and Lease is currently in DocuSign with T-Mobile waiting for Notary Monday, Daniel and the Mayor Nelson should receive DocuSign envelope Monday 12/20 or 12/21 at the latest. Mr. Thames will receive a fully signed and executed copy once all signatures have been collected.*
- *Provide a Certificate of Insurance to cover the construction (T-Mobile, your office, or the construction contractor can provide). Attached*
- *Provide a \$50,000 construction bond/surety (T-Mobile, your office, or the construction contractor can provide). Waiting on executive approval, should have bond by 12/23*
- *Building Permit. Application dated 10.18.21 was resubmitted on 12/30/21.*
- *Schedule an onsite preconstruction with the city public works director ([trandall@slpmn.org](mailto:trandall@slpmn.org)) and city water tower engineer ([mark.rolfs@stantec.com](mailto:mark.rolfs@stantec.com)). This has been documented in the instructions for the T-Mobile NTP Team. Once a construction schedule has been finalized, they will schedule the precon meeting as instructed above.*
- **T-Mobile Antenna Maintenance on Able Street Tower (2020 Anchor).** Building permit 2021-00048. This project includes antennae replacement. The contact person for the design is Tom Jemilo at insite inc. Review of the Construction Drawings (CDs) for this project were approved on 9/29/20. The Second Amendment to T-Mobile Lease Agreement was approved in January 2021. Preconstruction Conference was held with Premise Electrical on 2/17/21. The Electrical portion of the work was done as of 4/5/21. The antenna work has been completed. *9/20/21 msg to contractor: They need to remove the unused conduit as shown on the drawings and discussed at the precon. This project is **not** OK to finalize. Sent message to Rolfs and Randall on 1/20/22 requesting a status update on this project.*
- **T-Mobile Utility Upgrade/Generator - Able Street Tower (Network Hardening).** Building permit 2019-00229. Contact people for the project are Tom Jemilo at insite inc. and Jason Bayer from JDR (contractor). Review of the drawings was completed in 2020. Precon was held on 1/13/21. Construction was substantially complete as of 2/9/21. Natural gas has been installed. Generator has been startup has been completed. *Restoration is an issue (5/12/21): The turf not acceptable, fence is broken. Photos have been sent to the Contractor. 7/13/21: No Change. Site will be inspected this week. 9/20/21: This project is acceptable from an inspection standpoint. The City and the Contractor can take the next steps to finalizing the project. Building permit has been closed out as of 10-14-21.*
- **2021 Clearwire equipment removal from Able Street tower (MS52XC144).** Equipment removal project (from Qualtek Wireless - fall of 2020). City Building Permit Number for this project is 2020-00449. Precon was on March 20, 2021 (minutes sent on 4/2/21). Construction started on April 28, 2021. Removal work on tank completed June 2021. 7/13/21: Tom Slack has completed his paint touch-up work. 9/20/21: This project is acceptable from an inspection standpoint. 9/27/21: *City and Contractor can take the next steps to finalizing the project. Building permit 2020-00449 has been closed out as of 10-13-21. Escrow can be released in January 2022 – sent message to City Administrator on 1-19-22.*
- **2019-2021 Verizon on Arthur Street tower.** This is a new installation. The contact person is Michael Raia of TechScape. Revised Construction Drawings labeled Revision E were submitted in March 2019 and are considered approvable. Final Lease was approved by city council on October 21, 2019. *Construction may not occur until late 2021*

Feel free to contact Harlan Olson, Phil Carlson, Jim Engfer, Mark Rolfs, Marc Janovec, Peter Allen, or me if you have any questions or require any additional information.



February 2, 2022

Mr. Dan Buchholtz, Administrator  
City of Spring Lake Park  
1301 81<sup>st</sup> Avenue NE  
Spring Lake Park, MN 55432

**Re: Municipal State Aid Account**

Dear Dan:

This letter is to provide you with an update on the city's Municipal State Aid account.

**2022 Annual Distribution.** The MnDOT Office of State Aid recently announced the 2022 Maintenance and Construction Apportionments for the MSAS cities as approved by the Commissioner of Transportation. A copy of the annual Notice is attached. The City of Spring Lake Park received the following allocations:

- Construction allocation of \$257,098 (compared to \$217,170 in 2021, \$234,385 in 2020, \$212,486 in 2019, \$204,421 in 2018, \$180,097 in 2017, \$176,127 in 2016, and \$168,062 in 2015).
- Maintenance allocation of \$85,699 (compared to \$72,390 in 2021, \$78,129 in 2020, \$70,829 in 2019, \$68,140 in 2018, \$60,033 in 2017, \$58,709 in 2016, \$56,021 in 2015, and \$49,981 in 2014).

**The total combined construction and maintenance allocation for 2022 is \$342,797.** The 2022 total allotment is a big increase from last year. With the exception of 2021 (lower because of reduced gas tax revenue), The total allocation had been increasing steadily over the past 6 years.

In addition to the normal State Aid allocation, the city has been notified that they are able to receive \$21,533 from Federal Coronavirus Response and Relief Supplemental Appropriations Act (see attached).

The City still has a pending reimbursement amount in the State Aid system because of the 2014-2015 Street Improvement project. This means that for the next 2 or 3 years the city will receive the construction portion of their State Aid allocation without needing to submit any additional reimbursement requests. The City will also be able to draw construction funds from the 2021 Anoka County paving and from the pending Co. Rd. 10 trail project.

**2021 Annual Certification of Mileage.** We completed the paperwork associated with the annual certification of mileage a few weeks ago and submitted it to the Office of State Aid. A copy of the certification form is attached. There were no mileage changes from the previous year.

**2021 Annual Map Update.** We completed the MnDOT requested annual map update paperwork. A copy of the current MnDOT city map is attached.

Feel free to contact Jeff Preston or me if you have any questions or require any additional information.

Sincerely,  
**Stantec**

A handwritten signature in black ink that reads "Phil Gravel".

Phil Gravel, City Engineer





Financial Management, State Aid Finance  
395 John Ireland Blvd., Mail Stop 215  
St. Paul, MN 55155

January 31, 2022

MUNICIPALITY OF SPRING LAKE PARK

Phil Gravel

733 Marquette Ave S, Suite 1000  
Minneapolis, MN 55402

**RE: NOTICE OF ANNUAL DISTRIBUTION**

Dear Phil Gravel:

The following allotments will be credited to the accounts listed below in compliance with the 2022 Commissioner's Order, and will be released in accordance with the current rules.

<u>ACCOUNT NUMBER</u>	<u>ACCOUNT DESCRIPTION</u>	<u>ALLOCATION AMOUNT</u>
90	MUNI CONST	\$257,098.00
94	MUNI MAINT	\$85,699.00

If you have any questions please contact Cindy Degener at [cindy.degener@state.mn.us](mailto:cindy.degener@state.mn.us) of the State aid Finance Office.

Sincerely,

Margaret Anderson Kelliher  
Commissioner of Transportation

cc: City Clerk

**From:** Rubenstrunk, Alyssa K (DOT) <alyssa.rubenstrunk@state.mn.us>  
**Sent:** Thursday, January 27, 2022 1:05 PM  
**To:** Gravel, Phil <Phil.Gravel@stantec.com>  
**Subject:** City Coronavirus Response and Relief Supplemental Appropriations Act - RESPONSE REQUIRED

Dear Phil Gravel,

MnDOT Metro State Aid is happy to inform you that your portion of the Federal **Coronavirus Response and Relief Supplemental Appropriations Act** will be available to you shortly. \$20 Million has been provided to Metro Counties and State Aid Cities from the CRRSAA funds.

The portion available to Spring Lake Park is \$21,533.

Revenue loss from the County State Aid Highway (CSAH) and Municipal State Aid Streets (MSAS) funds were used as the approval for authorization of the CRRSAA funds transfer to the local agencies, which led to maximum flexibility for these funds. Therefore, CRRSAA funds can be used on maintenance and operations on any route under your jurisdiction or construction of an existing local, state aid or federal aid projects.

For State Aid or Federal Aid Construction projects, these funds may be used at 100% and do not require a match, however cannot be used as a match to existing federal funds on a project.

For maintenance and operations activities, these funds can be used at 100% on costs incurred retroactive to January 27<sup>th</sup> 2020.

**Please reply to this email and copy your accountant/finance director to indicate the specific letter that corresponds to the intended use of your allocation. If you have more than one choice, please specify amount of funding on each. Include SP number or SAP number if applicable. Please respond by Monday February 28<sup>th</sup>, 2022.**

- A. MSAS Regular Maintenance
- B. City Road Maintenance
- C. MSAS Regular Construction (includes state aid eligible costs on federal aid projects) Please include SAP or SP.
- D. City Road Construction
- E. Vehicle (Excludes cars and pickups)

During your year-end reporting, the municipality will be required to submit this [reporting form](#) that contains the Annual Summary of Highway Information **and** the CRRSAA Certification documenting the funds. It is critical we receive this form so that the spending is easily auditable and assurances are made that CRRSAA funds have not been used on the same expenditures as the American Rescue Plan Act of 2021, the Corona Relief Fund of 2020 or any other federal, bond or state funds.

Please see the [Questions and Answers](#) for more information.

For eligibility questions please contact [Elisa Bottos](#)

For finance specific questions please contact [Cindy Degener](#).

Dan Erickson

[dan.erickson@state.mn.us](mailto:dan.erickson@state.mn.us)

MnDOT - Metro District State Aid

Metro District State Aid Engineer

Phone: 651-234-7763

# 2021 ANNUAL CERTIFICATION OF MILEAGE

SEE INSTRUCTIONS INCLUDED ON WEB SITE  
RECORD REVISIONS ON BACK OF FORM  
SUBMIT TO YOUR DSAE BY JANUARY 15, 2022

	Municipal Mileage as of Dec. 31, 2020				Revisions During Current Year 2021 (+ or -)				Municipal Mileage as of Dec. 31, 2021			
	Non-Existing	Improved	Total		Non-Existing	Improved	Total		Non-Existing	Improved	Total	
	I	II	III	IV	V	VI	VII	VIII	IX	X	XI	XII
MILEAGE NOT CONSIDERED IN THE COMPUTATION OF BASIC MILEAGE												
1. Trunk Highways			3.05									
2. Trunk Highways Turnbacks (Designated as MSAS - mileage above 20%)			3.05	3.05							3.05	3.05
3. County State Aid Highways (Exclude mileage designated as MSAS)			2.62	2.62							2.62	2.62
4. County State Aid Highway Turnbacks (Designated as MSAS - mileage above 20%)												
5. Total Mileage of Line 1 Thru 4	Previous =			5.67	Adjustment =				Current =			5.67
BASIC MILEAGE: MILEAGE CONSIDERED IN THE COMPUTATION OF ALLOWABLE MILEAGE												
6. Municipal State Aid Streets (Exclude Trunk and County Highway Turnbacks and Mileage Partly Outside the City Limits in a non MSAS city)												
7. County Road Turnbacks (Designated as MSAS)			5.52	5.52							5.52	5.52
8. County Roads (Exclude mileage designated as MSAS)			0.29	0.29							0.29	0.29
9. Other Local Roads And Streets - not designated (Include T.H. & CSAH frontage roads)			0.32	0.32							0.32	0.32
10. Total Improved Basic Mileage (lines 6 + 7 + 8 + 9)	Previous =			27.87	Adjustment =				Current =			27.87
11. Percentage Limitation Allowed by Statute												X <b>0.20</b>
12. MAXIMUM MILEAGE ALLOWED FOR M.S.A.S. DESIGNATIONS (Col XI, Line 10 Times Line 11)												
13. Total Municipal State Aid Street Designated (Column XII, Line 2 + 4 + 6 + 7)												5.81
14. Total Miles of T.H. & County Turnbacks designated as MSAS Above 20% (Col. XII Line 2 + 4 + 7)												(-) 0.29
15. Mileage designated MSAS - not including T.H. and County Turnback mileage (Line 13 minus Line 14).												(-) 5.52
16. MSAS Mileage Partly Outside the City Limits in a non MSAS city (if any)												(-)
17. Municipal State Aid Street Mileage Over/Under Maximum Allowed. (Line 12 minus line 15 minus Line 16)												0.05

I hereby certify that the total Improved Mileage (Col.XI. Line 5 + 10) in the Municipality of Spring Lake Park as of December 31, 2021 is 33.54 Miles.

Signed: Phil Gravel Title: City Engineer Date: 12/28/2021

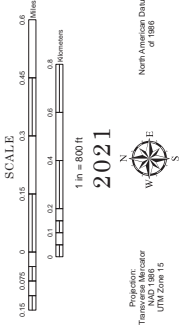
NOTE: Lines 2, 4, 6, & 7 are MSAS mileage categories

Shaded Fields contain formulas. These fields get filled automatically as data is entered.

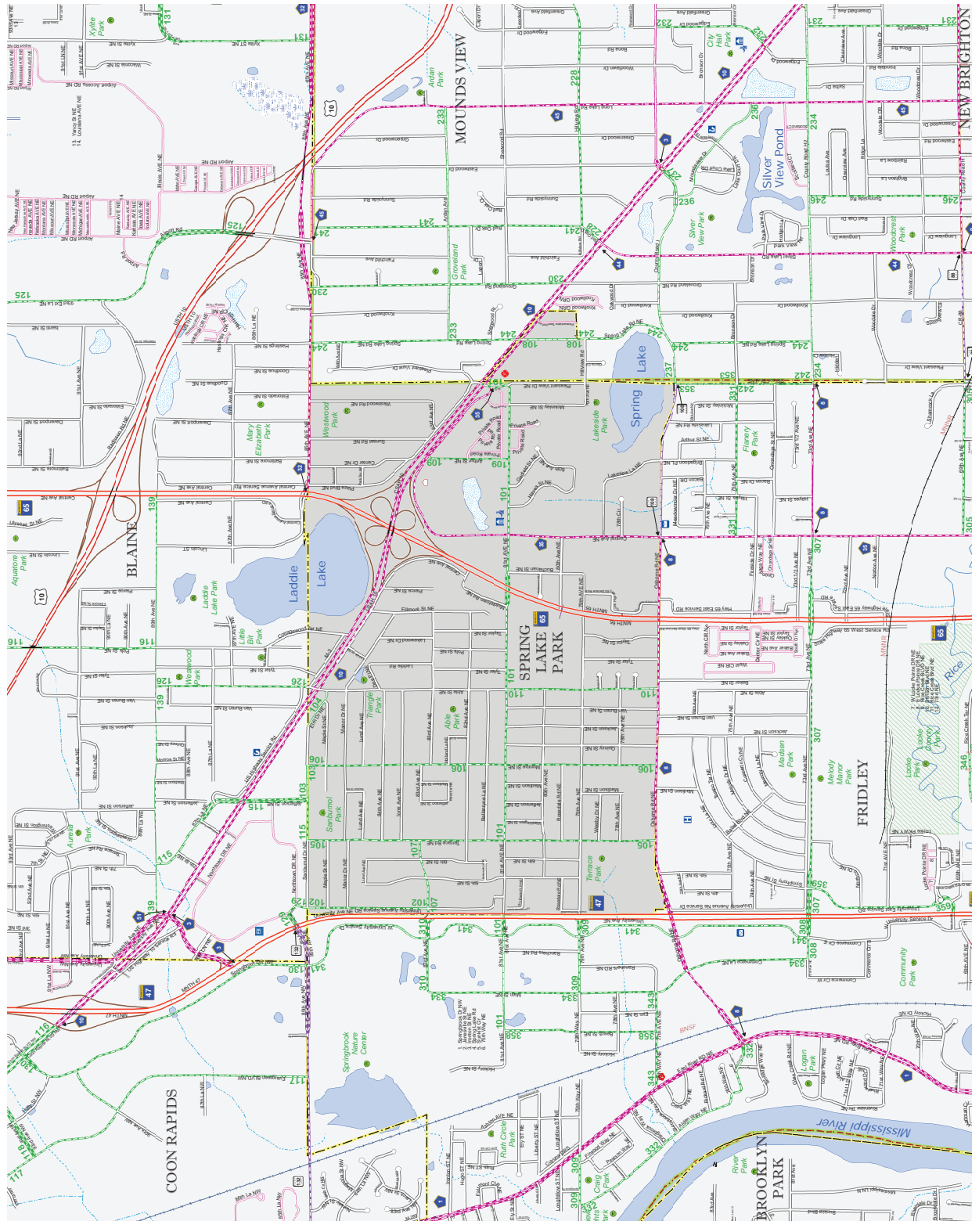
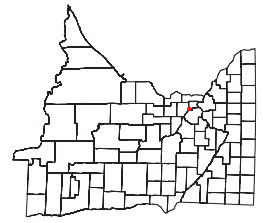
# MUNICIPALITY OF SPRING LAKE PARK

PREPARED BY THE  
MINNESOTA DEPARTMENT OF TRANSPORTATION  
OFFICE OF TRANSPORTATION SYSTEM MANAGEMENT

IN COOPERATION WITH  
U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION



Symbol	Description
[Symbol]	Interstate
[Symbol]	State Highway
[Symbol]	County Road
[Symbol]	Local Road
[Symbol]	Waterway
[Symbol]	Park
[Symbol]	Water Pond
[Symbol]	Water Lake
[Symbol]	Water Stream
[Symbol]	Water Wetland
[Symbol]	Water Marsh
[Symbol]	Water Swamp
[Symbol]	Water Bay
[Symbol]	Water Inlet
[Symbol]	Water Outlet
[Symbol]	Water Canal
[Symbol]	Water Ditch
[Symbol]	Water Trench
[Symbol]	Water Embankment
[Symbol]	Water Cut
[Symbol]	Water Bridge
[Symbol]	Water Tunnel
[Symbol]	Water Viaduct
[Symbol]	Water Overpass
[Symbol]	Water Underpass
[Symbol]	Water Culvert
[Symbol]	Water Retention Pond
[Symbol]	Water Treatment Plant
[Symbol]	Water Pumping Station
[Symbol]	Water Dam
[Symbol]	Water Lock
[Symbol]	Water Weir
[Symbol]	Water Sluice
[Symbol]	Water Barrage
[Symbol]	Water Lock and Dam
[Symbol]	Water Lock and Sluice
[Symbol]	Water Lock and Weir
[Symbol]	Water Lock and Barrage
[Symbol]	Water Lock and Dam and Sluice
[Symbol]	Water Lock and Dam and Weir
[Symbol]	Water Lock and Dam and Barrage
[Symbol]	Water Lock and Dam and Sluice and Weir
[Symbol]	Water Lock and Dam and Sluice and Barrage
[Symbol]	Water Lock and Dam and Weir and Barrage
[Symbol]	Water Lock and Dam and Sluice and Weir and Barrage



LAST EDITED ON 12-14-2021

To request information from this document in an alternate format, call 651-366-4755 or 1-800-657-3774 (Greater Minnesota only) or 1-800-657-3529 (Minnesota Relay). You may also send an email to [adaRequest.dot@state.mn.us](mailto:adaRequest.dot@state.mn.us). (Please request at least one week in advance.)

Population (U.S. Census 2000): 7188

# **CORRESPONDENCE**



FOR THE EXCLUSIVE USE OF DRBUCHHO@GMAIL.COM

From the Minneapolis / St. Paul Business Journal:  
<https://www.bizjournals.com/twincities/news/2022/02/01/hy-vee-sells-five-mn-locations.html>

## Hy-Vee sells 6 MN locations in leaseback deals totaling more than \$88 million

Feb 1, 2022, 11:22am CST Updated: Feb 1, 2022, 3:39pm CST

Hy-Vee Inc. has sold six of its Minnesota properties in leaseback deals that total more than \$88 million.

Oak Brook, Illinois-based The Inland Real Estate Group of Cos. Inc. bought the locations in January from the West Des Moines-based grocery chain, according to public filings with the Minnesota Department of Revenue.

Mark Cosenza, senior vice president of Inland Real Estate Acquisitions, confirmed in an email that Inland acquired a total of six Hy-Vees in the state. Information about five of the properties is publicly available, but details on the sixth property was not yet public as of Tuesday.

The locations will be leased back to Hy-Vee for 240 months, or 20 years.

Inland owns properties across the U.S., including a handful of commercial and one multifamily property in Minnesota.

Hy-Vee didn't return a media requests as of publication time.

The known acquired properties are located in Rochester, Spring Lake Park, Lakeville and two are in New Prague. The New Prague locations are a gas station and a combined grocery and liquor store location, which are across the street from one another. The grocery and liquor store replaced a former Shopko.

The sold Hy-Vee properties include:



CLARE KENNEDY | MSPBJ

Hy-Vee Inc. has sold five of its Minnesota properties to The Inland Real Estate Group of Cos.

A Spring Lake Park location at 8101 and 8155 Highway 65 NE. It opened just last year and sold for over \$29.5 million.

The Hy-Vee at 17380 Cedar Ave. in Lakeville, which sold for almost \$8.7 million.

Rochester's Hy-Vee at 4221 W. Circle Drive NW. that sold for around \$32.1 million.

Two locations in New Prague. The gas station, at 100 10th Ave. SE., sold for nearly \$5.7 million. The grocery and liquor store, at 200 10th Ave. SE., sold for around \$11.7 million.

Late last year, a local developer scrapped plans for a Hy-Vee grocery store at Bloomington's Southtown Shopping Center. Kraus-Anderson Cos. Inc. had plans to redevelop part of the retail center into a 132,000-square-foot Hy-Vee with a separate liquor store.

**Kelly Busche**

Reporter

*Minneapolis / St. Paul Business Journal*







# METRO F Line Technical Advisory Committee

Meeting #1 | January 21, 2022

# Agenda

- Introductions
- Project introduction
  - Arterial BRT overview
  - F Line background & corridor concept
  - Cost estimate & funding status
  - Project schedule
- Planning scope and decision process
- Project coordination
- Segment 1 introduction
- Action items & next steps



August 2021



# Introductions

# Arterial BRT improves our region's highest-ridership routes with:



- A faster, more reliable ride that's 20-25% faster than existing local bus



- Frequent, all day, every day access to a network of destinations



- A dignified, improved experience at the station and on board

# Arterial Bus Rapid Transit

2-3 stations per mile, designed for faster stops

Pre-boarding fare payment for faster stops

Higher-capacity buses & boarding through all doors

High-tech, high-amenity, secure stations

Faster, frequent, all-day service

Bus priority signals & lanes

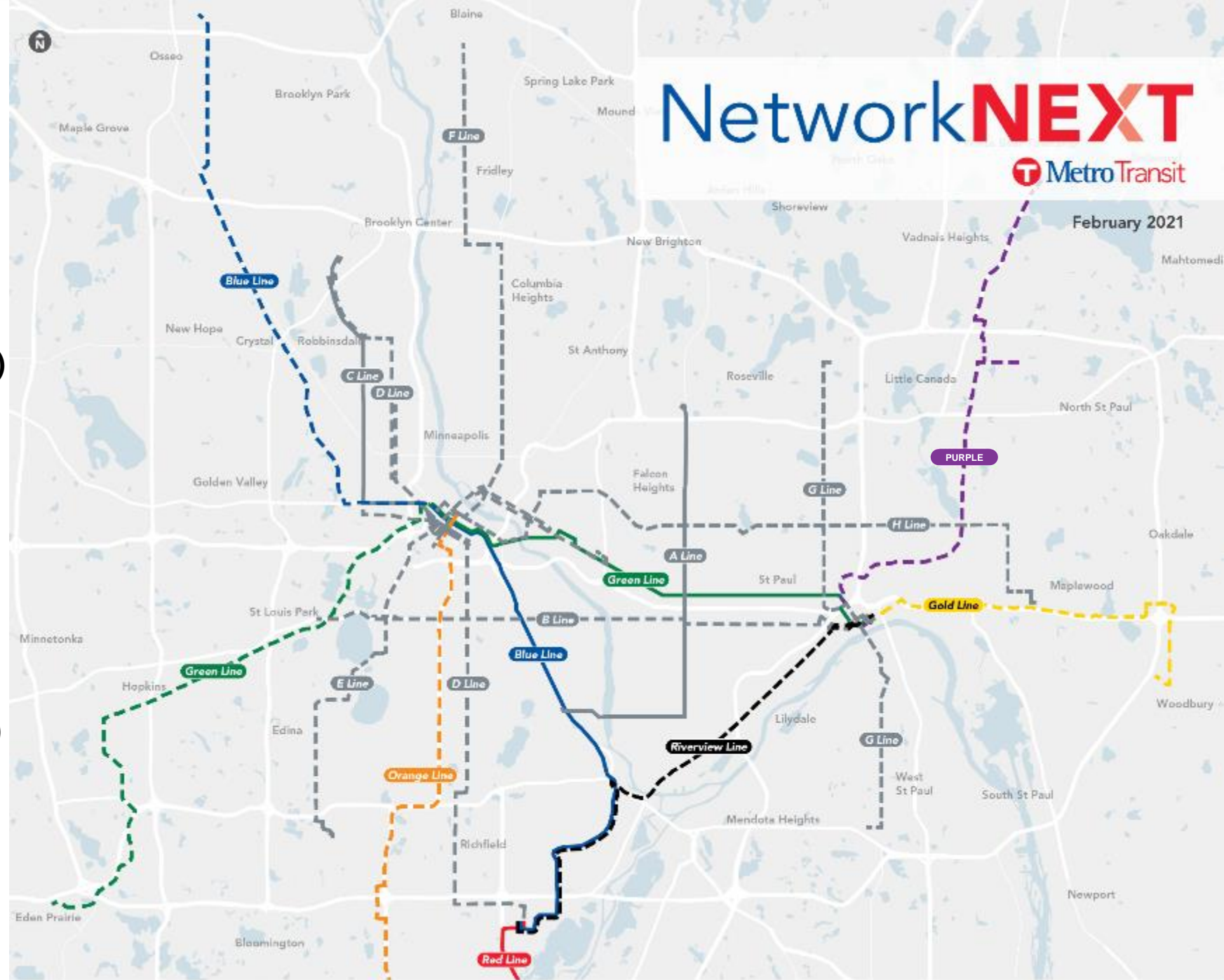


# Consistent design & experience, tailored to fit each context



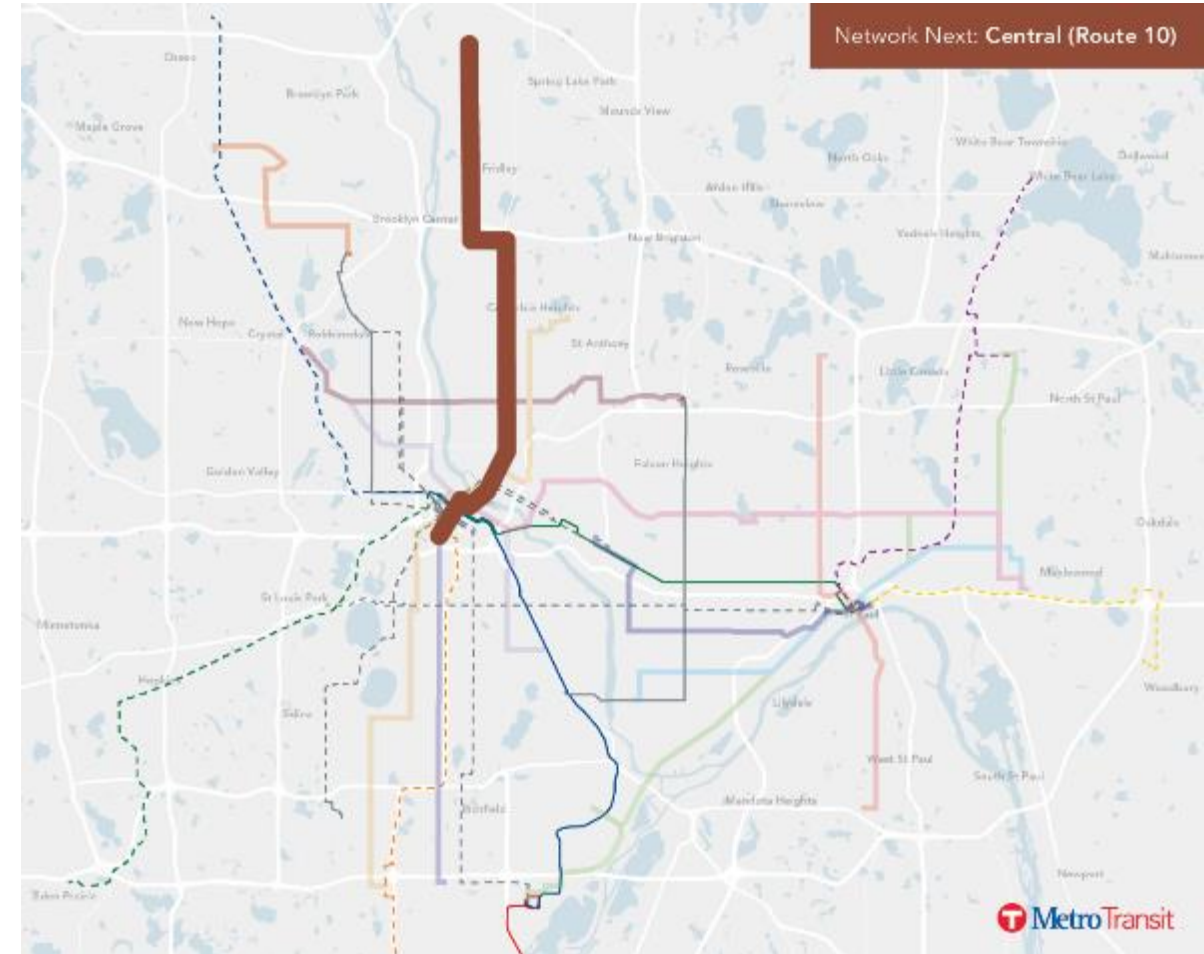
# Eight arterial BRT lines operating by 2030

- A Line (Snelling): Open 2016
- C Line (Penn): Open 2019
- D Line (Chicago/Fremont – Route 5) *Opens late 2022*
- B Line (Lake/Selby – Route 21) *Construction 2023, opens 2024*
- E Line (Hennepin/France – Route 6) *Construction 2024, opens 2025*
- F Line (Central Avenue – Route 10) *Construction 2025, opens 2026*
- G Line (Rice/Robert – Routes 62/68) 2025-2030 implementation
- H Line (Como/Maryland – Route 3) 2025-2030 implementation



# F Line background

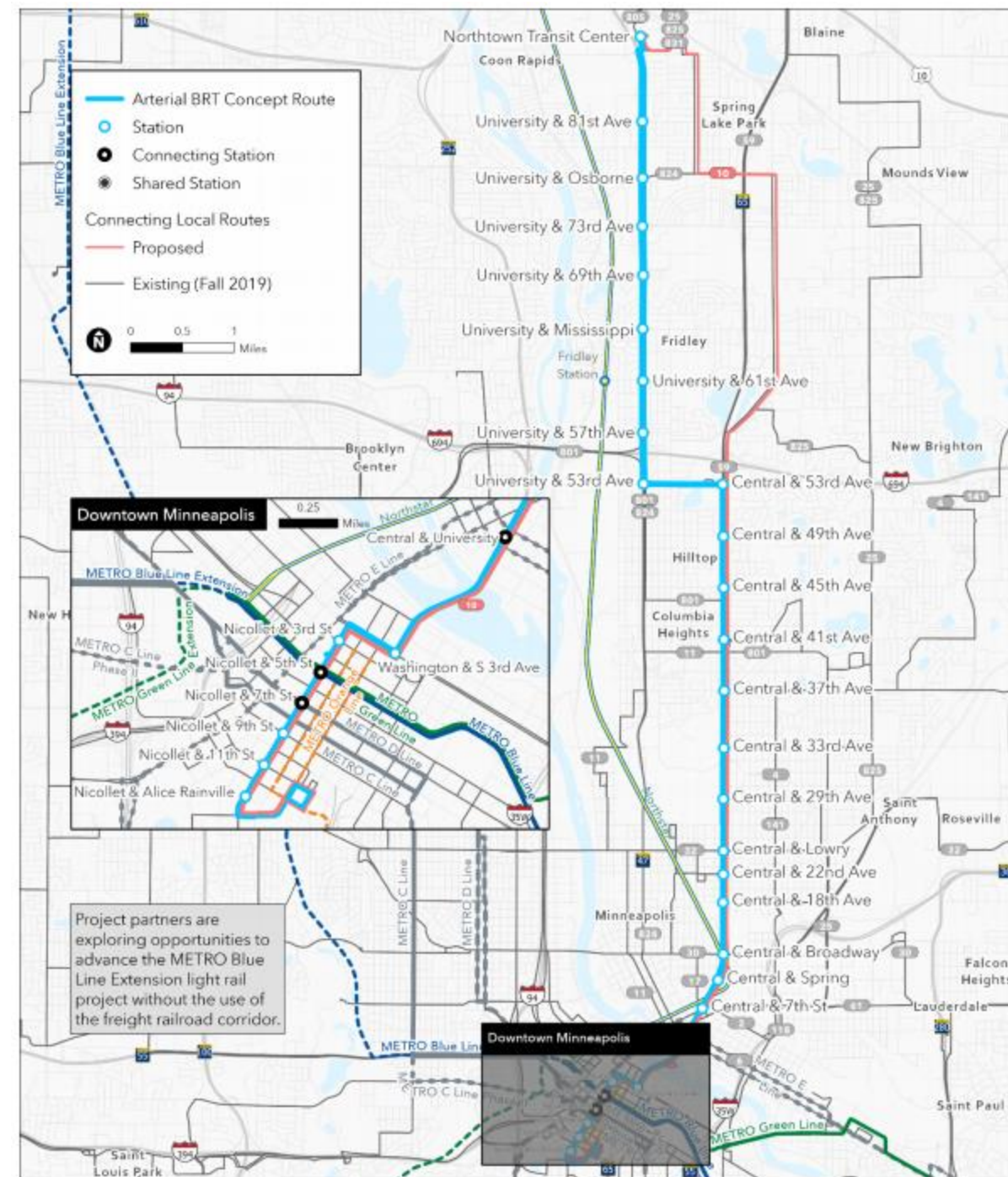
- Corridor identified in 2012 Arterial Transitway Corridors Study
- Network Next: 2040 plan with priorities for implementation
  - 2020-2021 planning focused on arterial BRT
- Principles:
  - Advance equity and reduce regional racial disparities
  - Build on success to grow ridership
  - Design a network that supports a transit-oriented lifestyle
  - Ensure the long-term sustainable growth of the bus network
- Final prioritization factors: ridership; operating & capital cost; corridor access, benefits & people served
- Public feedback on corridors
- Central Avenue prioritized as F Line from 10 corridors evaluated





# Initial corridor concept

- 30 preliminary station locations
- Preliminary service plan for F Line and existing routes in the corridor
  - F Line service every 10 minutes replaces Route 10U branch
  - Local service every 30 minutes on Route 10N branch
  - Both operate together south of 53rd Avenue
  - Route 59 replaced by F Line
  - [Central Avenue corridor summary](#)



# Project budget and funding

- The estimated cost of the F Line project is approximately \$75-85 million
  - Costs will be refined as the project scope is further developed in 2022-2023
- To date, the F Line has received substantial funding commitments from regional and state sources, including:
  - \$25 million of federal funds was allocated by Transportation Advisory Board (TAB) through the regional solicitation grant process
  - approximately \$17.5 million in State funding was appropriated in the 2021 legislative session
- However, a project funding gap of approximately **\$30 million** remains.
- Metro Transit is pursuing several strategies toward a fully-funded F Line project in order to stay on track for 2025 construction

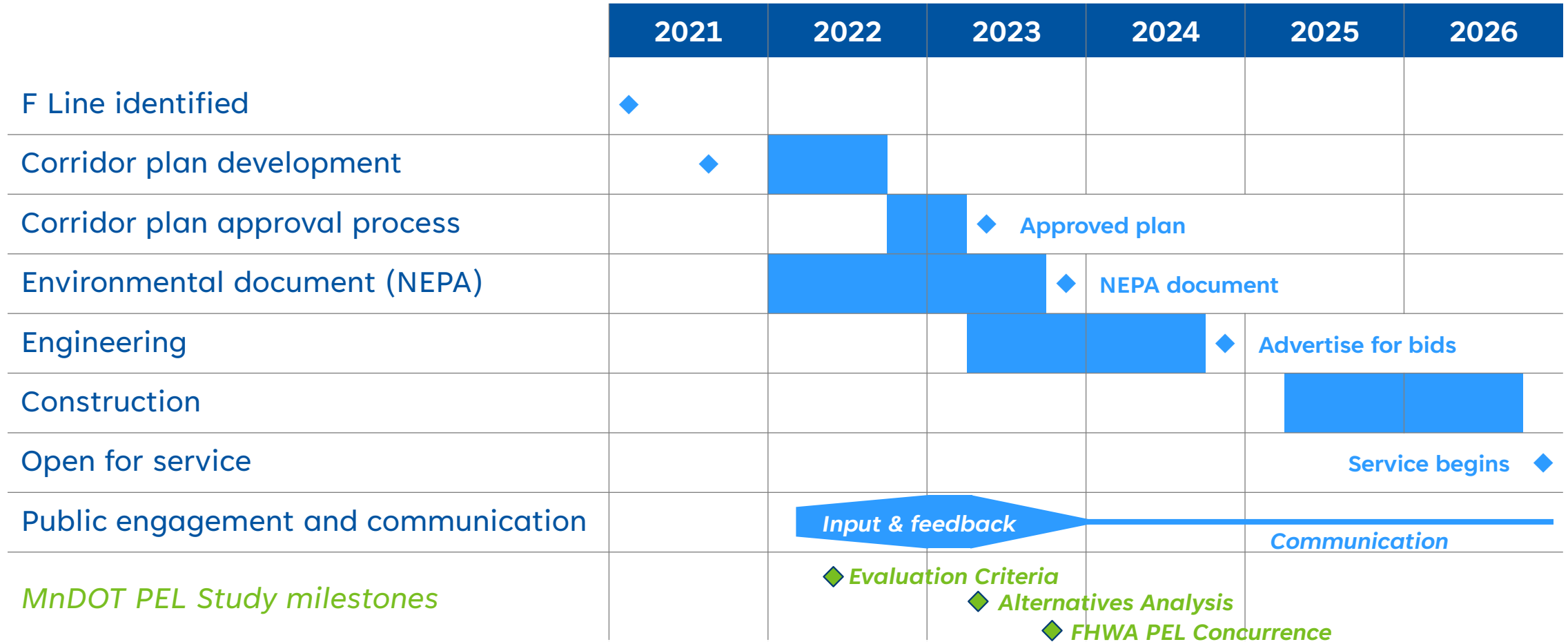
# Small Starts pursuit

- As one strategy, Metro Transit will pursue a Small Starts Grant through FTA's Capital Investment Grant (CIG) Program
  - This is a new approach for arterial BRT, but not a new approach for Metro Transit. The METRO Orange Line was funded by FTA Small Starts.
  - The CIG Program is a highly competitive grant process but based on high ridership and low cost relative to other projects competing in the funding program, the F Line is a strong candidate corridor that is well-positioned to receive a Small Starts rating.
  - A Small Starts Grant pursuit is feasible based on the current F Line project development schedule, with 2026 targeted for the beginning of service.

# Small Starts pursuit

- The 2021 State appropriation for arterial BRT was the earliest non-federal funding ever secured for projects in the arterial BRT program pipeline which benefits a CIG application.
- As a result, Metro Transit has a new opportunity to leverage this early investment in pursuit of a Small Starts Grant, which if awarded, would:
  - bring additional federal dollars into the region
  - fully fund the F Line
  - allow for potential future state investment to advance the arterial BRT program across the region, starting with the G Line
- Metro Transit will continue to evaluate options for fully funding the F Line and may opt to discontinue a Small Starts pursuit if other funding becomes available or timelines change.
- Key decision points for determining whether to continue the Small Starts funding pursuit are as follows:
  - March 2022: Requesting entry into Small Starts Project Development
  - August 2022: Submittal of project information for initial project rating

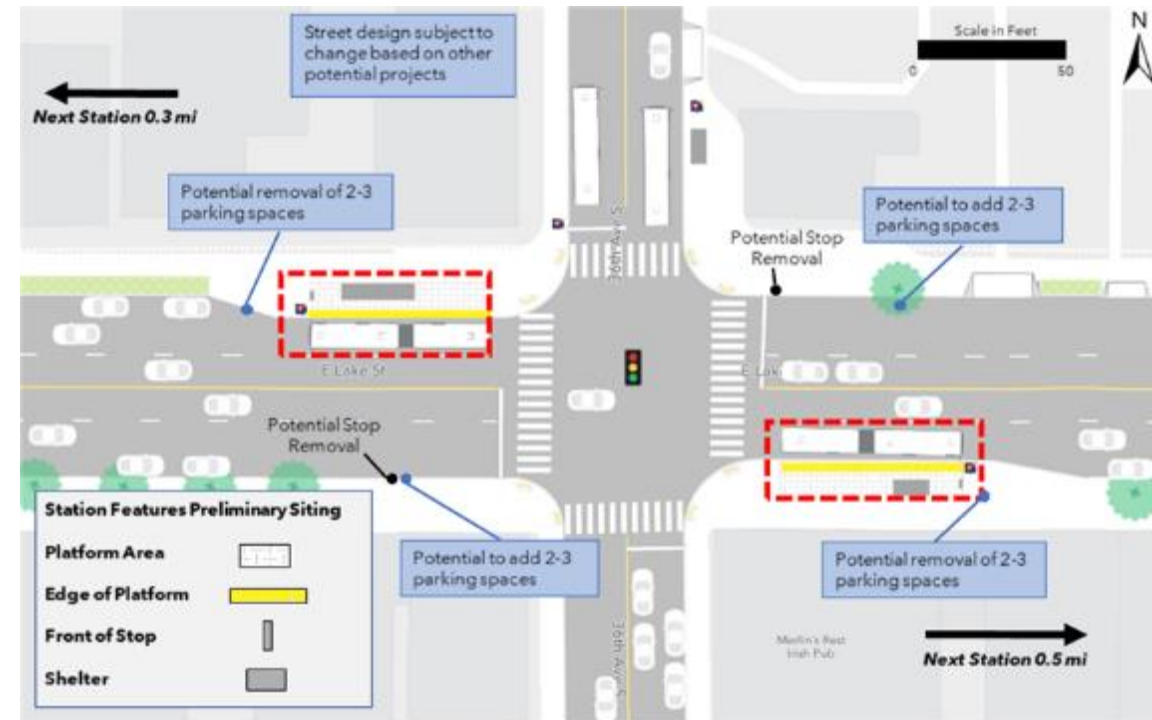
# Project schedule



Schedule is pending full funding, and subject to change pending funding opportunities

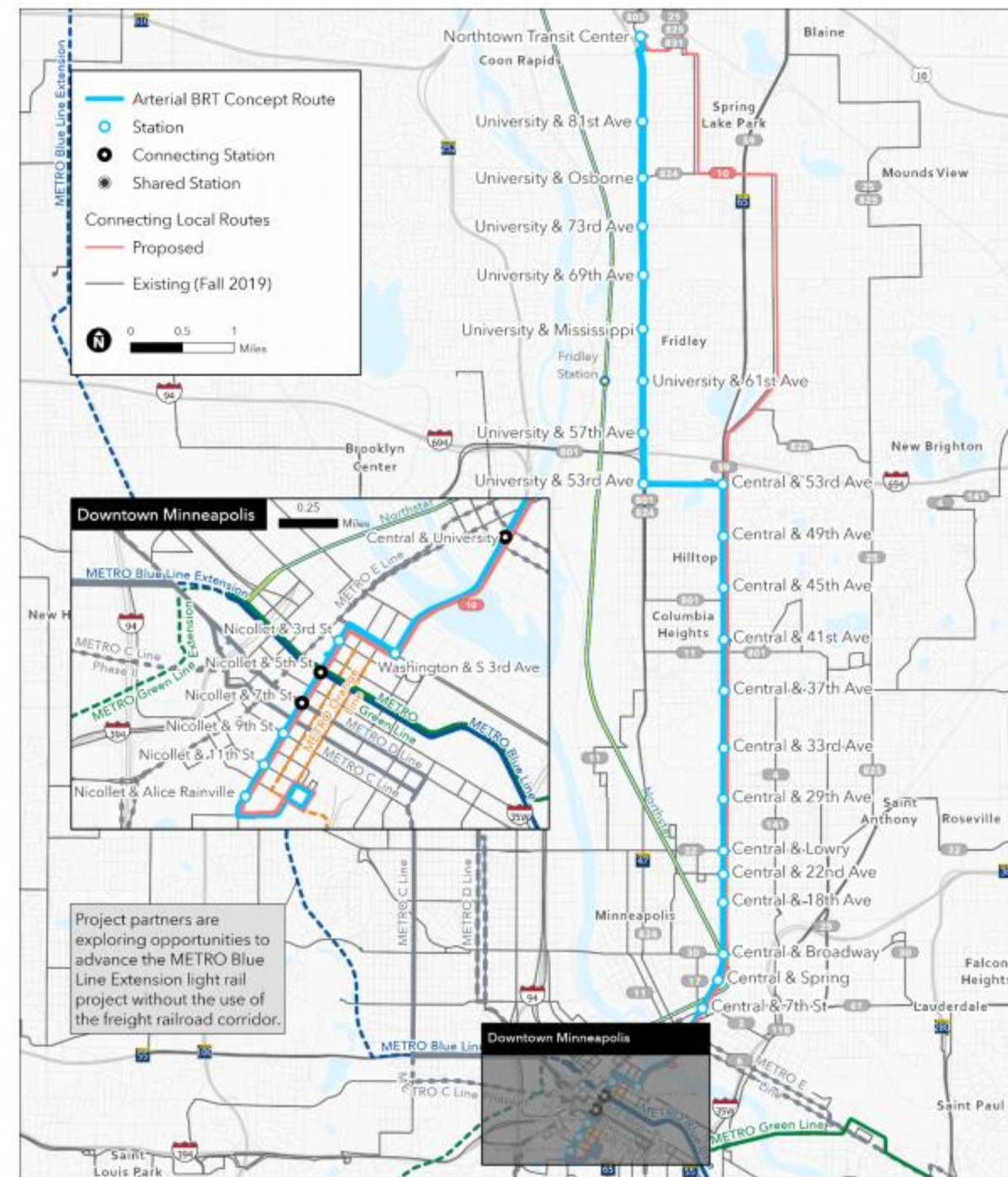
# Corridor plan scope

- Corridor plan will address key station location questions:
  - What intersections will have BRT stations?
  - In which quadrants of the intersections will platforms be located?
  - How was the location determined?
- Other planning issues to resolve:
  - River crossing alignment
  - Bus priority treatments
  - Bus service mix (ongoing beyond plan)



# Station locations

- 30 concept stations identified in Network Next
- Average station spacing: ~0.4 miles
- Primary considerations:
  - Station spacing based on BRT guidelines
  - Transit ridership patterns
  - Walk/roll access
  - Transit network connections
  - Existing/future land use patterns
  - Existing/future roadway characteristics, traffic patterns
  - Geometric constraints (ROW width, driveways, etc.)
  - Interaction with bus priority treatments
  - Public feedback



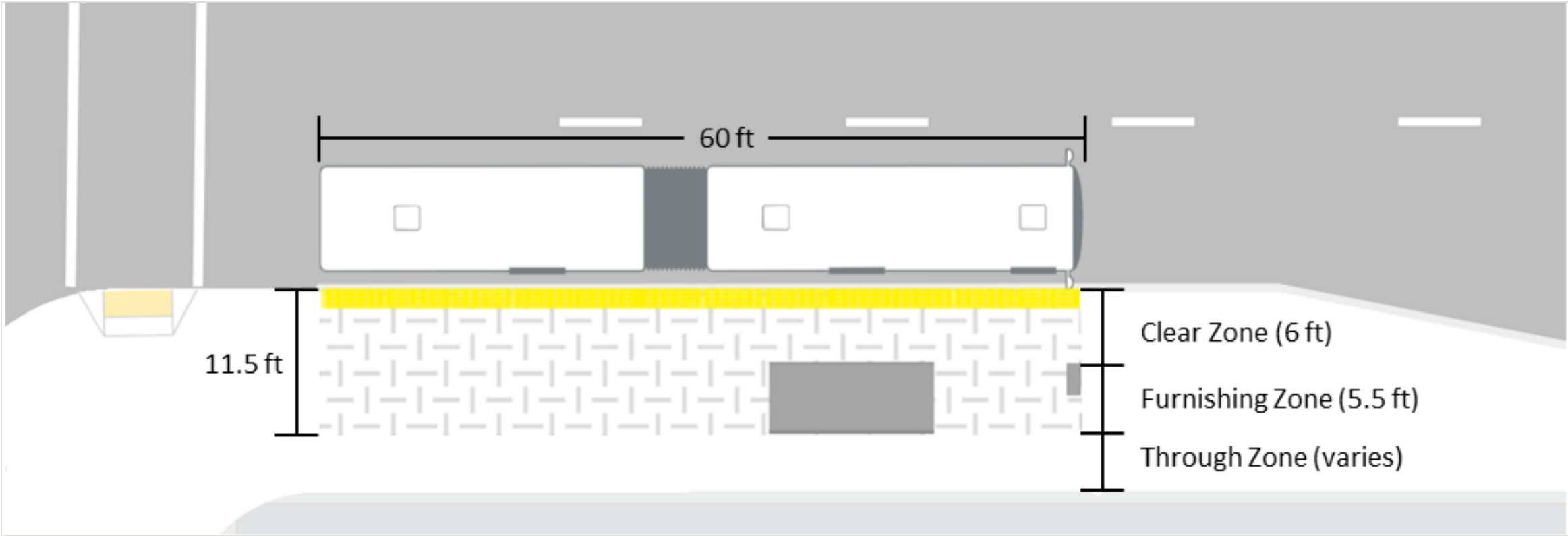
# Platform quadrant layouts

- Review station locations for platform feasibility
- Develop platform scenarios and recommendations
- Share with TAC for discussion and review
- General Metro Transit platform configuration preferences:
  - Far-side: reduce “double stops,” maximize transit signal priority (TSP)
  - In-lane: avoid delays pulling out of and into traffic (context-dependent)
  - Bump-outs: allow more space for station amenities where ROW constrained





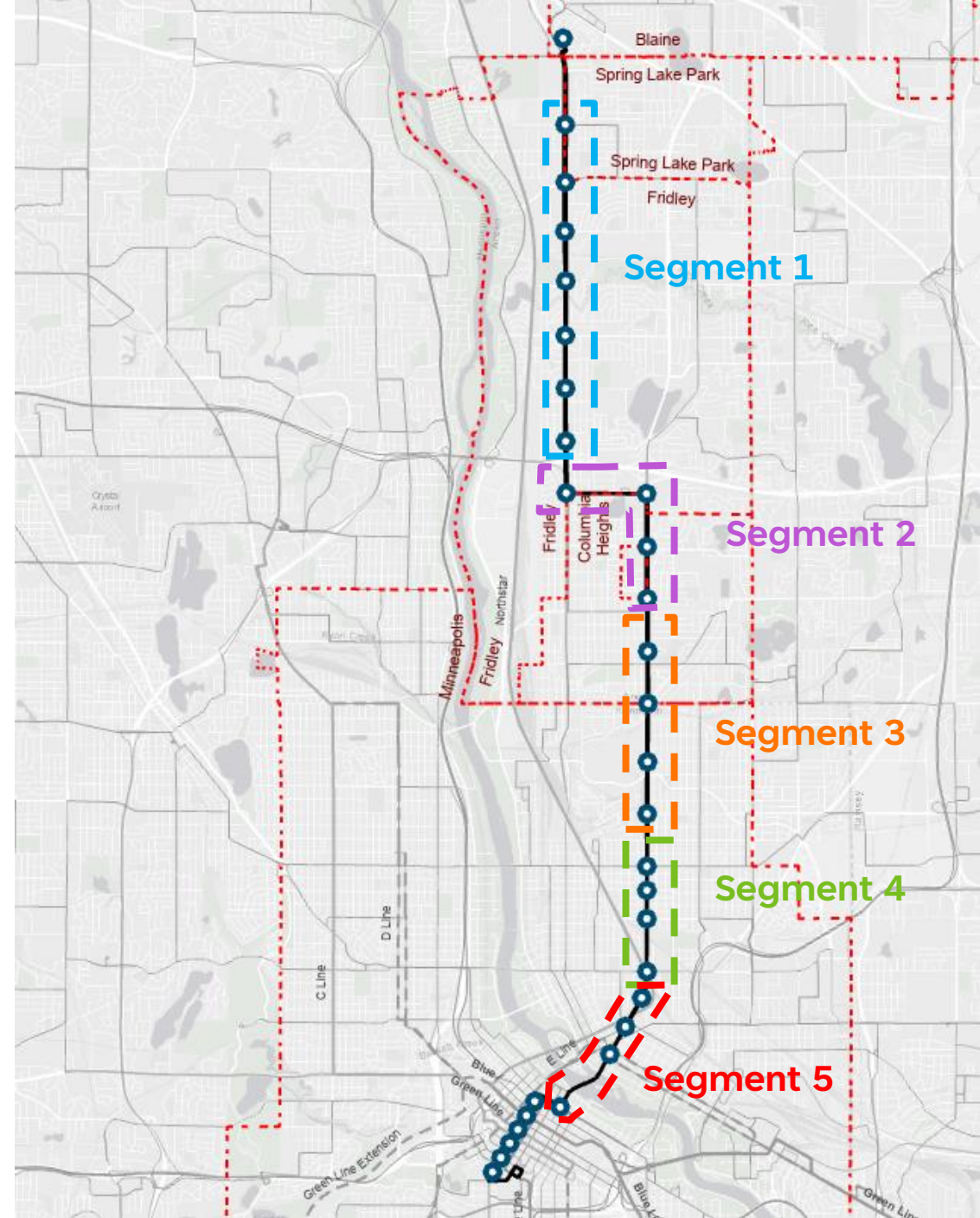
# Standard station platform layout



Note: not all features of a typical station are shown.

# F Line segments

- Stations sorted into groups based on segment to facilitate platform location development and review
- Will develop and review through TAC process
- Northtown Transit Center, Nicollet Mall station locations have been finalized



# Issue resolution process

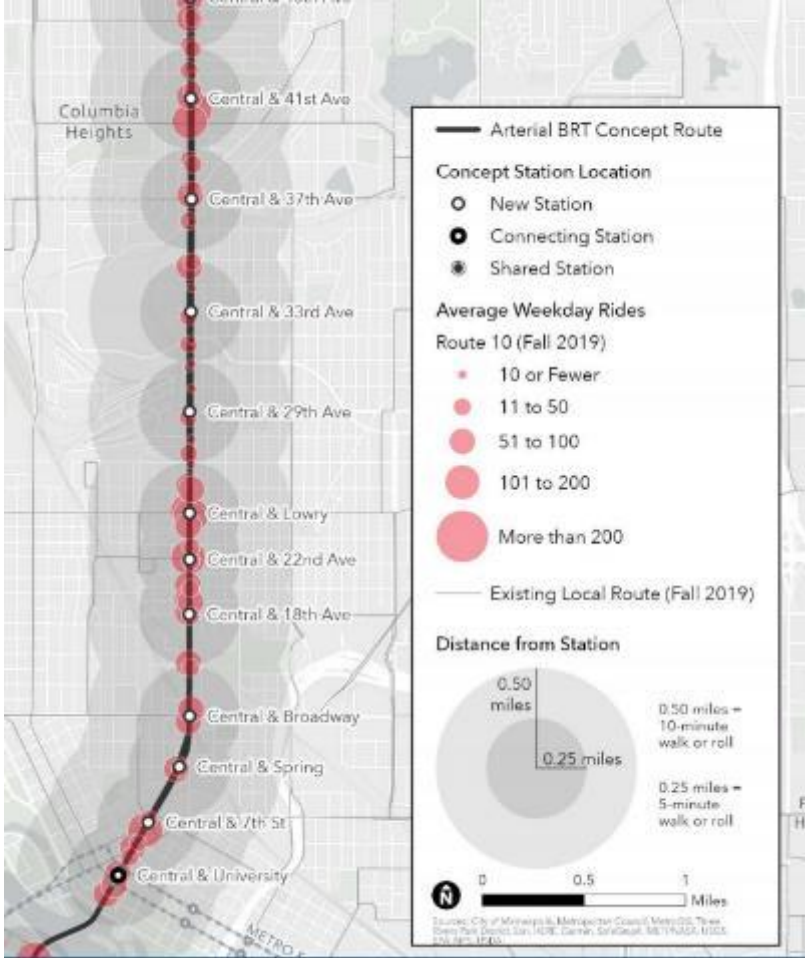
- Project team develops internal recommendations/scenarios to share with TAC
- Station and platform locations – target two TAC meetings/segment
  - First meeting: Introduce locations and optional platform locations
    - Review primary considerations
    - Review initial preference/feasibility of platform locations
    - Identify other information needs to make a recommendation
  - Between meetings: review and comment
    - Seek other internal viewpoints, information
    - Comments provided to Metro Transit within **two weeks** of TAC meeting
  - Second meeting: Detailed discussion toward TAC recommendation
    - Elevate issues as needed
- Resolved issues into draft corridor plan
- Formal comment from corridor agencies requested on draft and recommended plan releases

# Project coordination

- Hwy 47/Hwy 65 Planning and Environmental Linkages (PEL) Study
  - Hwy 47/65: Pedestrian safety improvements and repair/replace drainage infrastructure from 37th Ave to Hwy 10 (2025)
  - Hwy 65: Resurfacing from 37th Ave to 53rd Ave (2028)
  - Hwy 47: Resurfacing from 40th Ave to Hwy 10 (2030); lighting installation from 53rd Ave to 85th Ave (2024)
- Hennepin and First roadway improvements (2024)
- Lowry Ave reconstruction (2023)
- 37th Avenue reconstruction (2023)
- 53rd Ave Turn About Project and Multi-Modal Improvements (2023)
- Mississippi St 4-to-3 conversion (2025)
- 69th Ave pedestrian overpass (TBD)
- 73rd Ave 4-to-3 conversion (2026)
- Northtown Mall Redevelopment Master Plan (2022)
- Development projects (public and private) throughout corridor

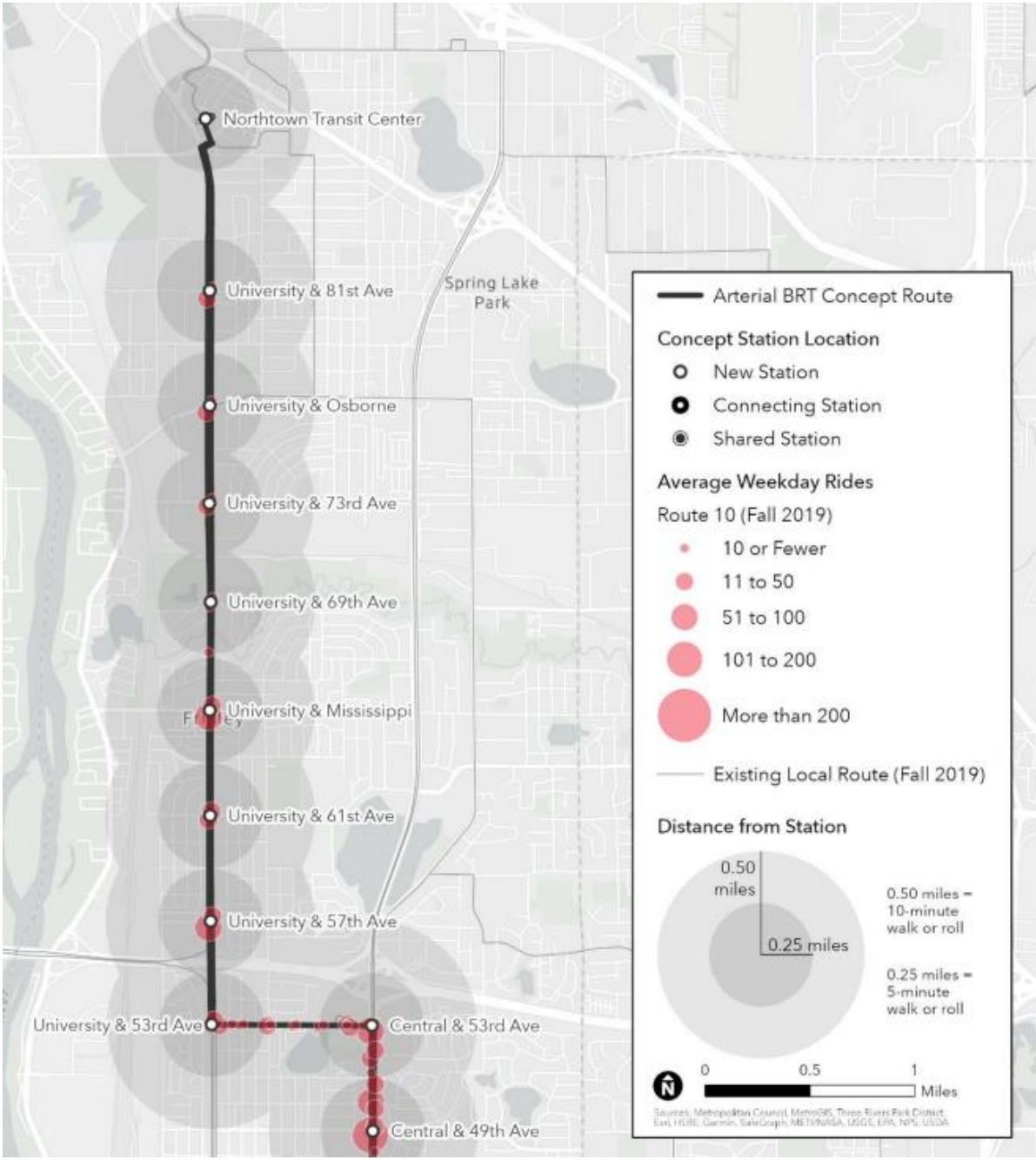
# Corridor-wide station location review

- **TAC request:** review preliminary station locations and provide comment
- Are there intersections (give or take a block or two) that should be considered for an F Line station but **are not** included in corridor concept?



# Segment 1 Introduction

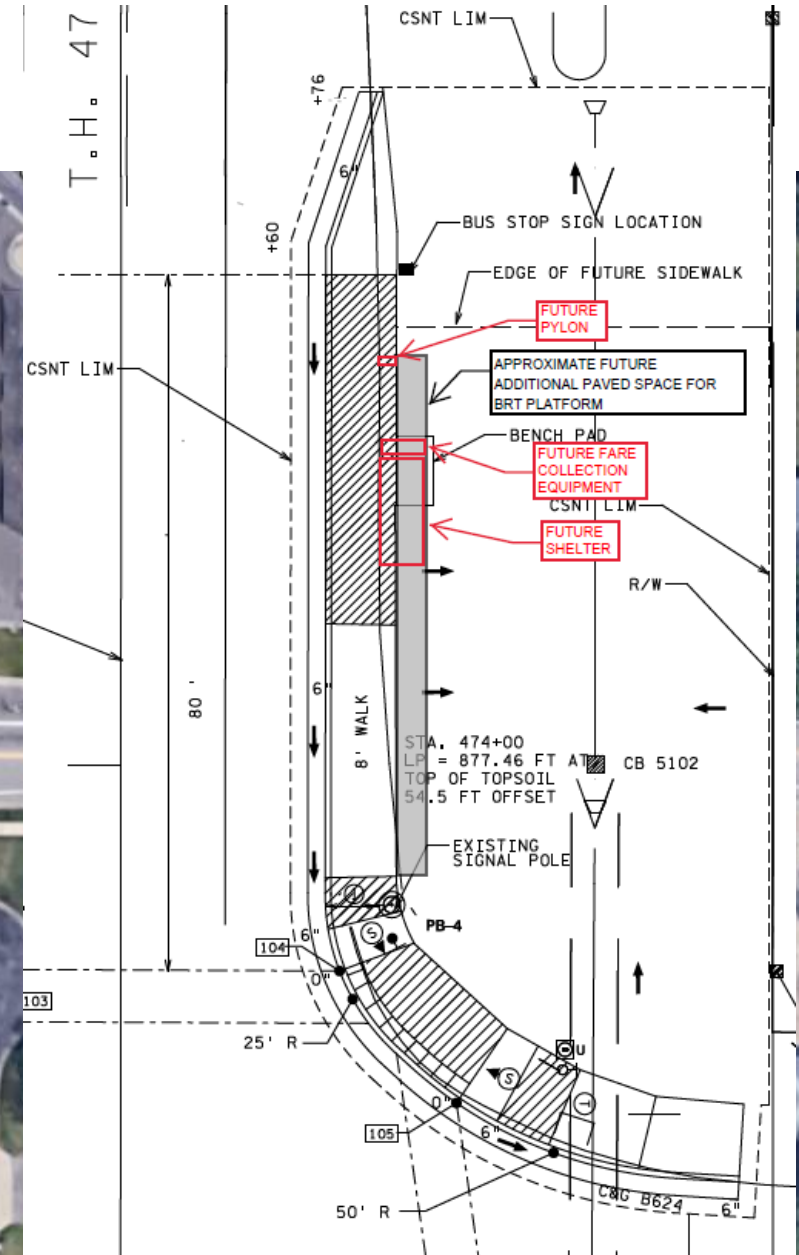
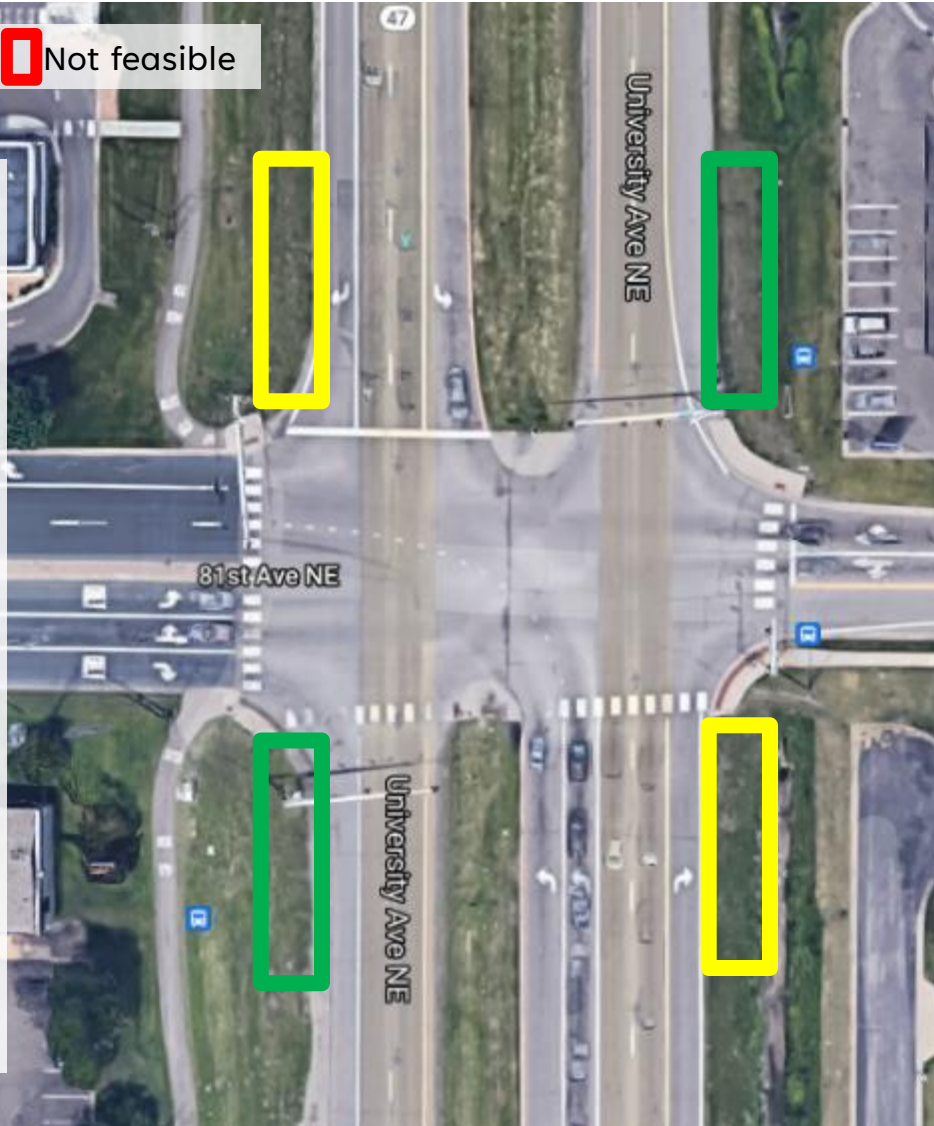
- University & 81st Ave
  - Fridley & Spring Lake Park; City cross street
- University & Osborne
  - Fridley & Spring Lake Park; County cross street
- University & 73rd Ave
  - Fridley; City cross street
- University & 69th Ave
  - Fridley; City cross street
- University & Mississippi
  - Fridley; County cross street
- University & 61st Ave
  - Fridley; City cross street
- University & 57th Ave (Fridley)
  - Fridley; County (west leg) and City (east leg) cross street






# University & 81st Ave

  Preferred  
   Feasible but not preferred  
   Not feasible

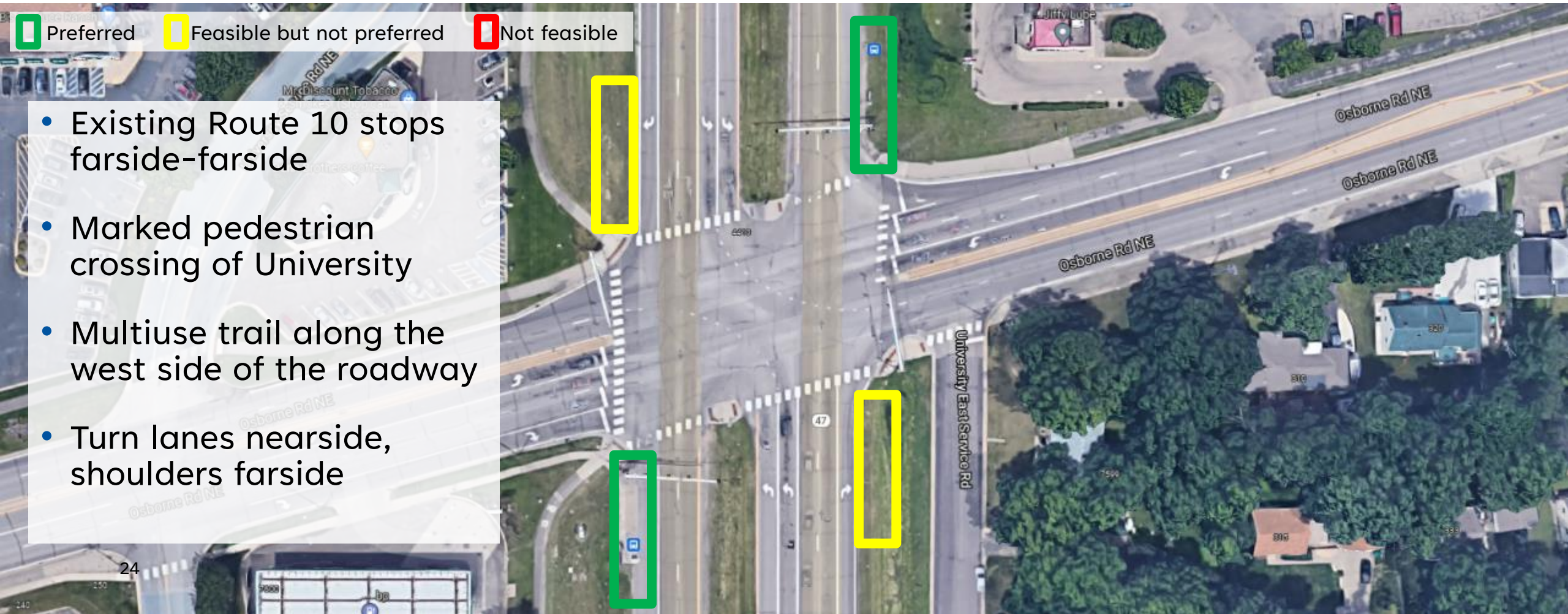
- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Recent ADA improvements, multiuse trail along the west side of the roadway
- Consideration of potential future BRT facilities in northeast and southwest quadrants
- Turn lanes nearside, shoulders farside



# University & Osborne




 Preferred    Feasible but not preferred    Not feasible

- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Multiuse trail along the west side of the roadway
- Turn lanes nearside, shoulders farside

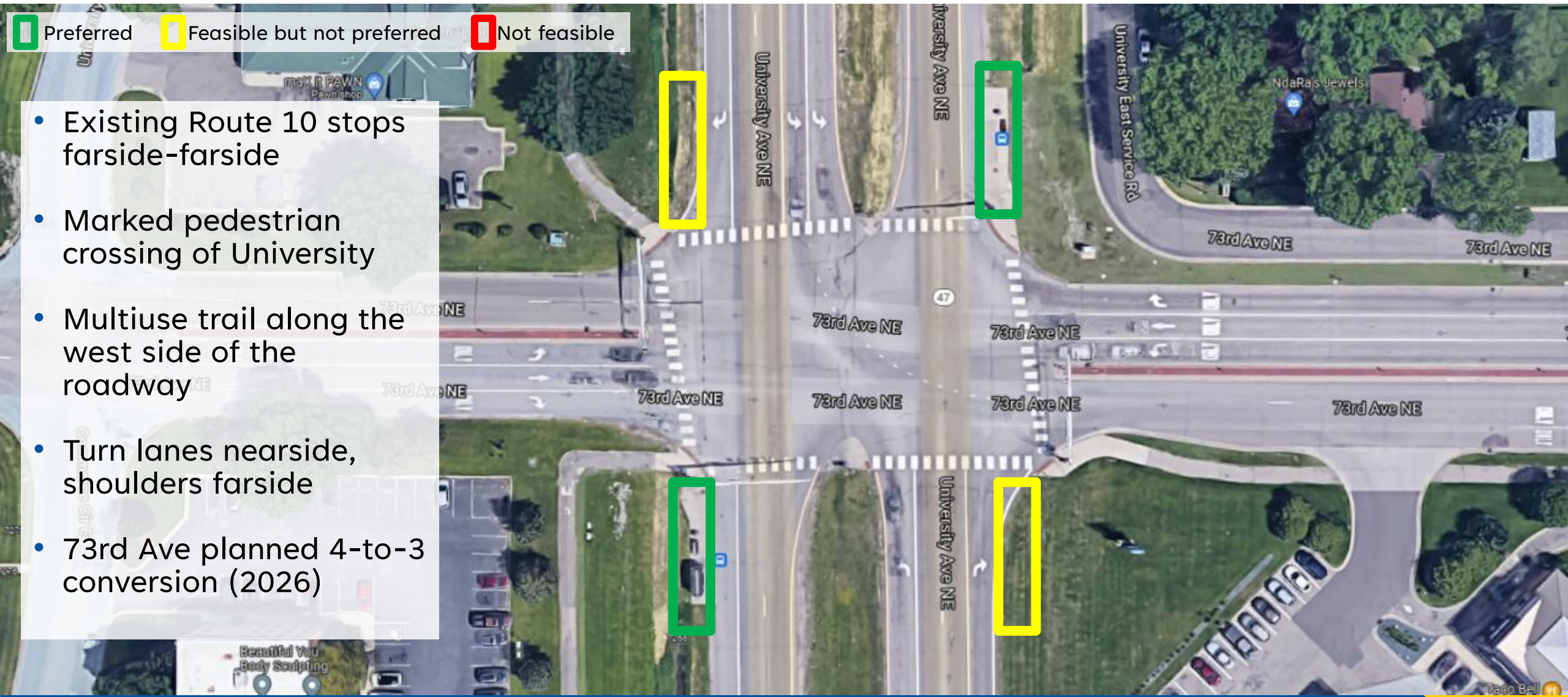







# University & 73rd Ave

 Preferred  Feasible but not preferred  Not feasible

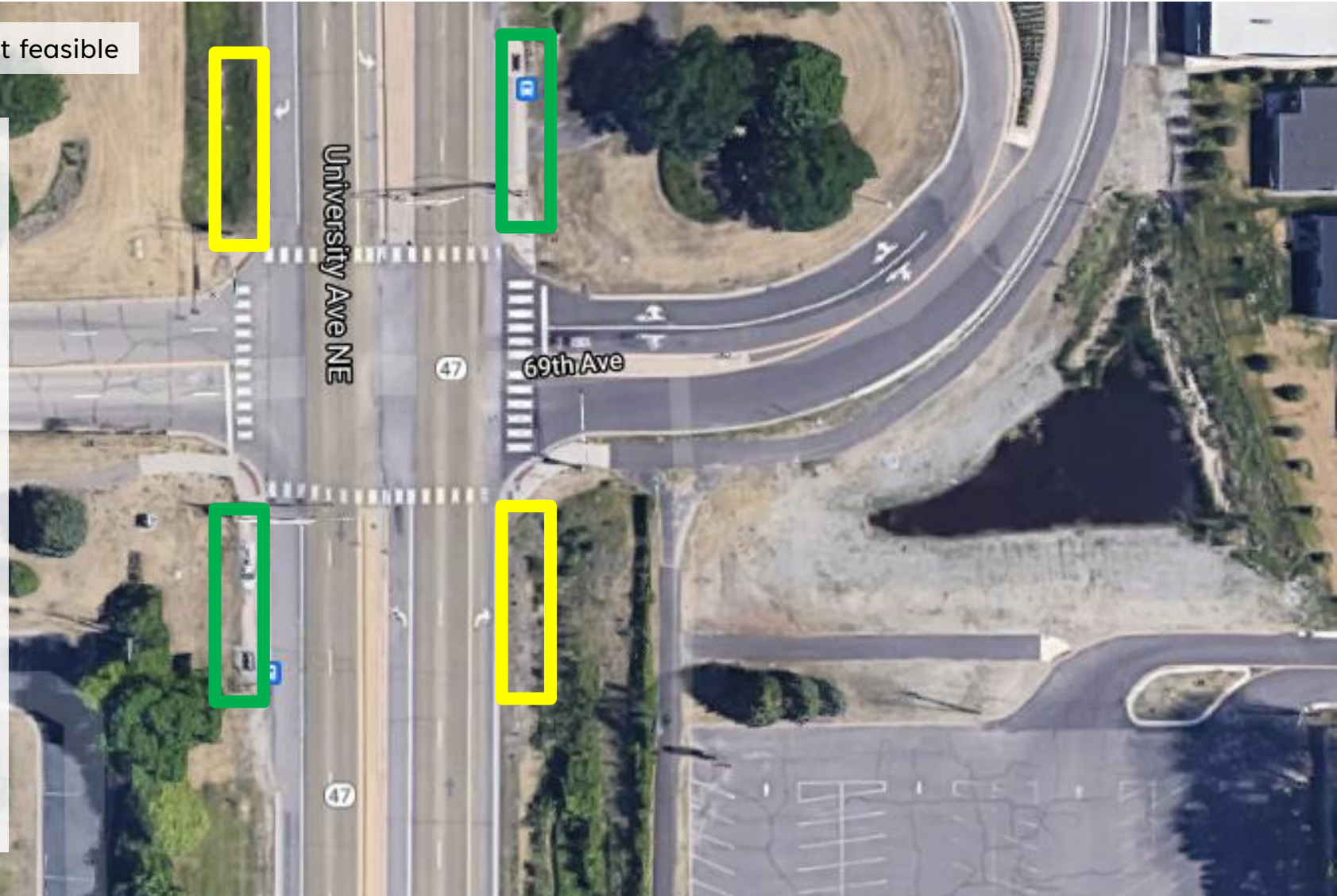
- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Multiuse trail along the west side of the roadway
- Turn lanes nearside, shoulders farside
- 73rd Ave planned 4-to-3 conversion (2026)



# University & 69th Ave

 Preferred  Feasible but not preferred  Not feasible

- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Multiuse trail along the east side of the roadway
- Turn lanes nearside, shoulders farside
- Park, trail, civic connections
- Potential future pedestrian overpass



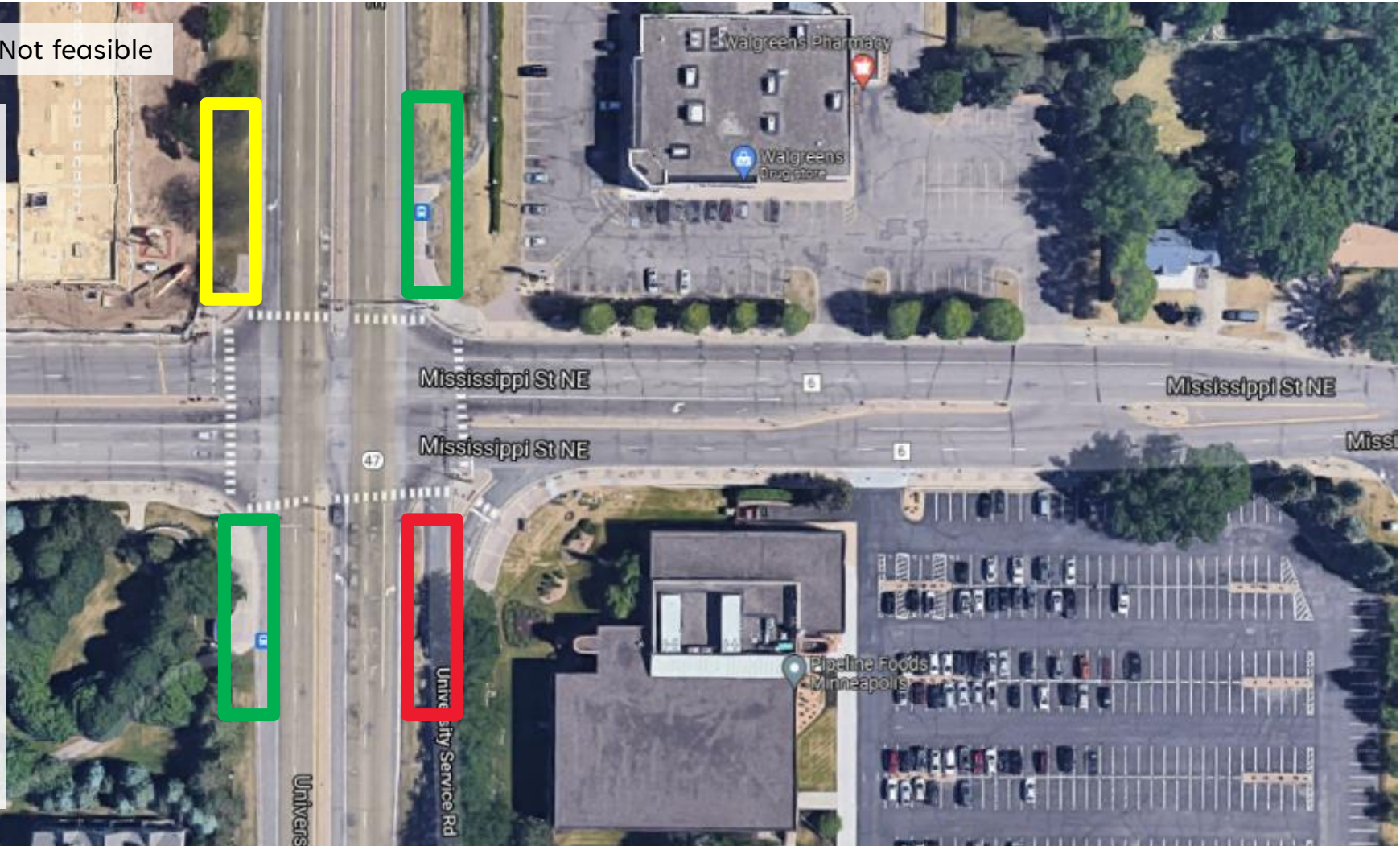
# University & Mississippi

AWP Apartments




Preferred Feasible but not preferred Not feasible

- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Trail connections in southwest and northeast quadrants
- Turn lanes nearside, shoulders farside; close proximity of service road in southeast quadrant
- Mississippi St. planned 4-to-3 conversion (2025)

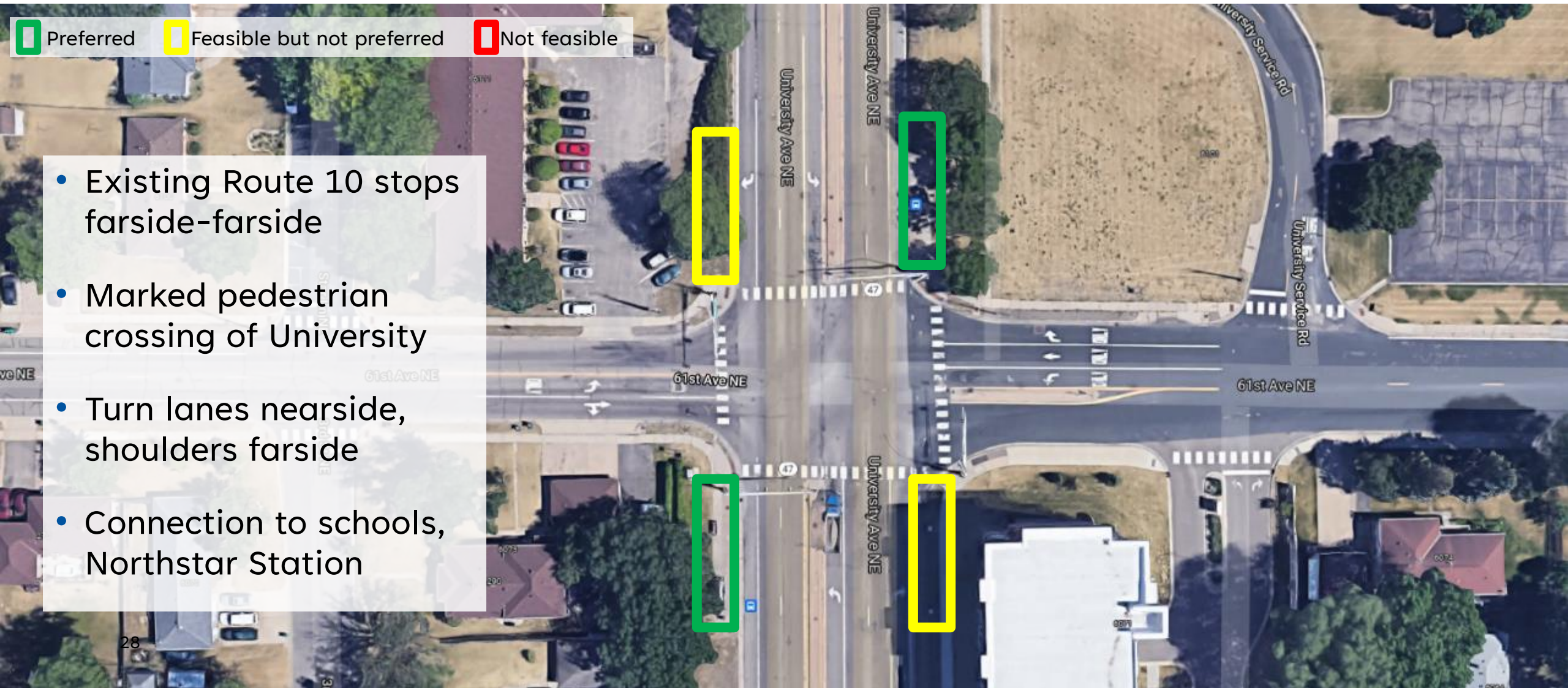
27






# University & 61st Ave

 Preferred  Feasible but not preferred  Not feasible

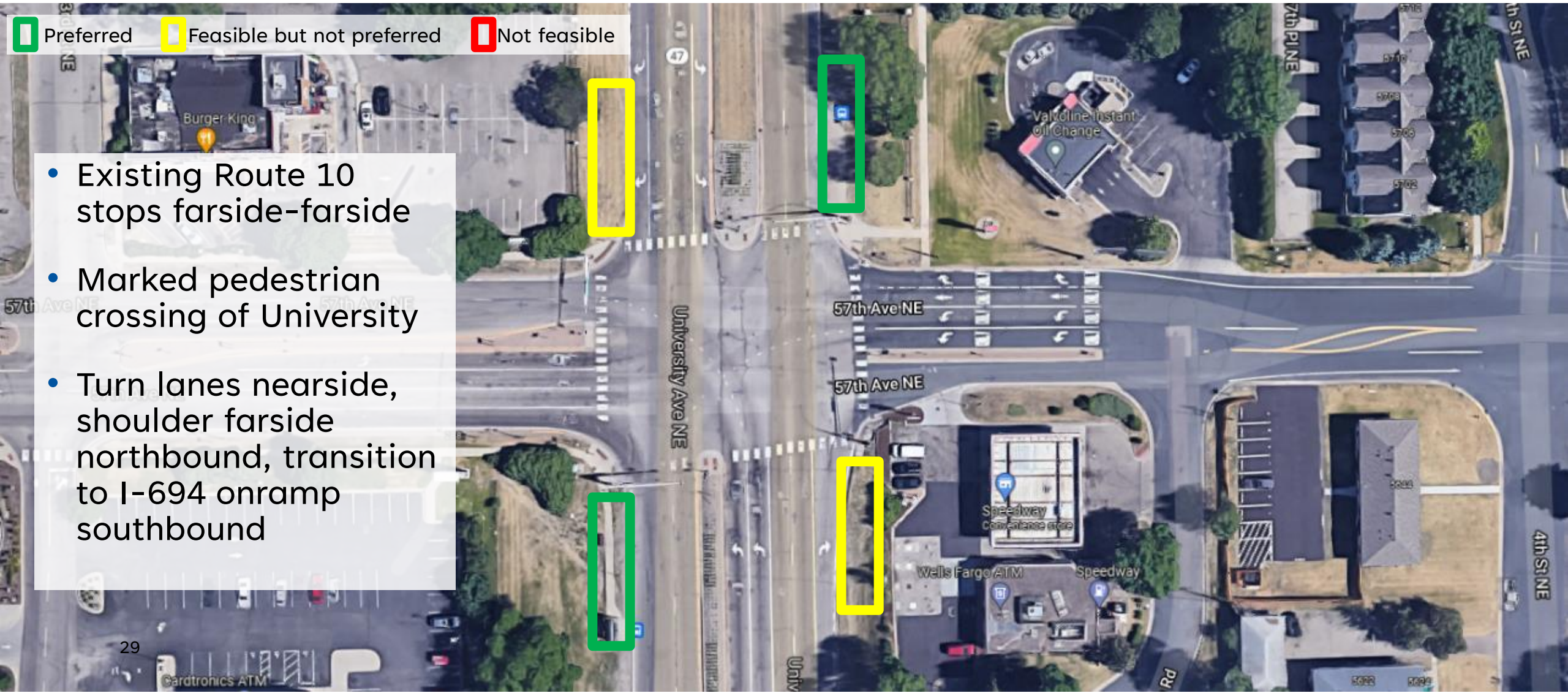
- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Turn lanes nearside, shoulders farside
- Connection to schools, Northstar Station



# University & 57th Ave

 Preferred    Feasible but not preferred    Not feasible

- Existing Route 10 stops farside-farside
- Marked pedestrian crossing of University
- Turn lanes nearside, shoulder farside northbound, transition to I-694 onramp southbound



# Action items and next steps

- Recurring meeting dates and file/comment sharing platform
- Next meeting, draft agenda:
  - Discuss bridge alignment recommendation
  - Discussion and platform recommendations for Segment 1
  - Introduce Segment 2 (University & 53rd Ave to Central & 45th Ave)
  - Traffic analysis scope
  - Public engagement plan
- TAC action items:
  - Recurring meeting dates – poll responses requested by **January 28**
  - Corridor-wide station location review – comments requested by **February 11**
  - Segment 1 station & platform review – comments requested by **February 11**

# Thank You!

**Adam Smith**

*adam.smith@metrotransit.org*

612-349-7160

January 19, 2022

Jeff Stein  
Hy-Vee Inc  
5820 Westown Pkwy  
West Des Moines, IA 50266-8223

RE: Petroleum Storage Tank Release  
Site: Hy-Vee Fast and Fresh, 8101 Highway 65 NE, Spring Lake Park, Anoka County 55432  
MPCA Site ID: LS0021656

Dear Jeff Stein:

The Minnesota Pollution Control Agency (MPCA) has learned there was a petroleum tank release at the Site referenced above. As the owner/operator of the tank(s), you are responsible for the contamination caused by the release. According to state law, you must investigate, and if necessary clean up the contamination.

**Your first step:** Complete and submit the enclosed *Leak site ownership form* **within 30 days**. If you believe that you are not legally responsible for the release, please contact me immediately.

**Definition of legally responsible:** You are considered legally responsible for a petroleum tank release if you owned or operated the tank either during or after the release, unless specifically exempted under the law. See Minn. Stat. § 115C.021.

**Next steps:** Hire a qualified environmental consulting firm to help you investigate and address the contamination. A site investigation must fully define the extent and magnitude of the soil and/or groundwater contamination caused by the release. Investigation and clean-up guidance documents, standardized report forms, and related information are located on the MPCA website at <https://www.pca.state.mn.us/waste/petroleum-remediation-program>. Once the investigation is complete, your consultant should summarize the results in an MPCA report form, including a recommendation for additional investigation or monitoring, corrective action, or site closure. If your site is **high priority** (see below), you must submit the report to the MPCA **within 90 days** of the date of this letter. For all other sites, you must submit the report **within 10 months**.

**High-priority** sites have one or more of the following conditions. See guidance document 1-01 *Petroleum Remediation Program general policy* for detailed descriptions of each condition. If you are uncertain whether your site is high priority, please contact me.

- Existing or high risk of drinking water contamination
- Existing or high risk of vapor intrusion into occupied buildings or risk of explosive vapor buildup
- Surface water impacts



- Recent or ongoing releases
- Petroleum free product

**Paying for the work:** The Minnesota Petrofund helps tank owners, operators, and volunteer property owners pay for the cost of investigating and cleaning up contamination from petroleum tank releases. You will receive a separate mailing from the Minnesota Department of Commerce, which administers the Petrofund, explaining eligibility criteria and how to apply for reimbursement. Please note that applicants are required to use an environmental consulting firm registered with the Petrofund and obtain written competitive bids. Read the Petrofund mailing thoroughly so you know how to be eligible for the maximum reimbursement.

**Please respond:** Your timely response is important. If you do not submit the completed *Leak site ownership form* within 30 days, the MPCA will assume that you do not intend to comply and will begin enforcement actions. Also, please be aware that failure to cooperate in a timely manner will reduce your reimbursement from the Petrofund. Finally, should you fail to take necessary corrective actions, the MPCA may take them on your behalf and request the Petrofund to recover the costs from you.

**More information:**

- **MPCA Petroleum Remediation Program guidance documents:** Found on the MPCA website at <https://www.pca.state.mn.us/waste/cleanup-guidance>.
- **Petrofund:** Reimbursement questions? Call 651-539-1515 or 1-800-638-0418, or go to the Minnesota Department of Commerce website at <http://mn.gov/commerce/industries/fuel/petrofund/index.jsp>.
- **MPCA Brownfield Program:** Selling or redeveloping contaminated property? Go to the MPCA website at <https://www.pca.state.mn.us/waste/brownfields>.

If you have questions about this letter or MPCA's requirements, please contact Shonda Wright, MPCA Project Manager, at 651-757-2832 or by email at [shonda.wright@state.mn.us](mailto:shonda.wright@state.mn.us). When contacting the MPCA, please have your MPCA Site ID (LS0021656) available.

SLW:kg

Enclosures

ec: Daniel Buchholtz, Administrator, City of Spring Lake Park  
Rhonda Sivarajah, Administrator, Anoka County  
John Wyciskalla, Braun Intertec  
Minnesota Department of Commerce Petrofund

# You as a responsible party in the Petroleum Remediation Program

You have received a letter because the Minnesota Pollution Control Agency (MPCA) has identified you as a person responsible for a petroleum storage tank release, or you are someone who has volunteered to accept this responsibility.

## About the MPCA's Petroleum Remediation Program

The Petroleum Remediation Program protects human health and the environment from the dangers associated with leaking petroleum storage tanks. Leaking tanks contaminate drinking water, streams, rivers, or lakes, and generate harmful vapors.

The MPCA is responsible for minimizing the environmental impact of leaking petroleum tanks. The agency does this by enforcing the law that requires tank owners and operators responsible for these releases to investigate them, and if necessary, clean up the leaking petroleum products.

## Where to start

You first need to hire an experienced environmental consultant to investigate your petroleum release.

**Find a consultant:** Consultants and contractors who perform these services must be registered with the Department of Commerce's Petrofund program. The Petrofund program provides a list of registered consultants at <https://mn.gov/commerce/industries/fuel/petrofund/>.

**Get financial help:** The Petrofund reimburses tank owners, operators, and volunteer property owners a portion of the costs associated with investigating and cleaning up contamination from leaking petroleum storage tanks.

In order to maximize the amount of Petrofund reimbursement available, obtain written competitive bids from consulting firms registered with the Petrofund. Read the mailing from the Petrofund thoroughly so you know how to be eligible for the maximum reimbursement.

Apply for reimbursement at <https://mn.gov/commerce/industries/fuel/petrofund/reimbursement.jsp>. For more information about the Petrofund program, call 651-539-1515 or 1-800-638-0418.

**Questions?** The MPCA has assigned a project manager to you. You or your consultant can contact the project manager whenever you have questions. This will help ensure the work your consultant performs meets the MPCA's requirements.

## For more information

Consultant guidance documents for leaking petroleum storage tank investigations and cleanup are available on our website at <http://www.pca.state.mn.us/waste/cleanup-guidance>.

If you are purchasing, selling, or developing property that is contaminated with petroleum, assistance is available through the Brownfield Program. Visit our website at <http://www.pca.state.mn.us/waste/brownfields>, or call 651-296-6300 and ask to speak to a Brownfield staff person.

# your **Connexus Connection**

For Connexus Energy Members

Winter 2022 Edition

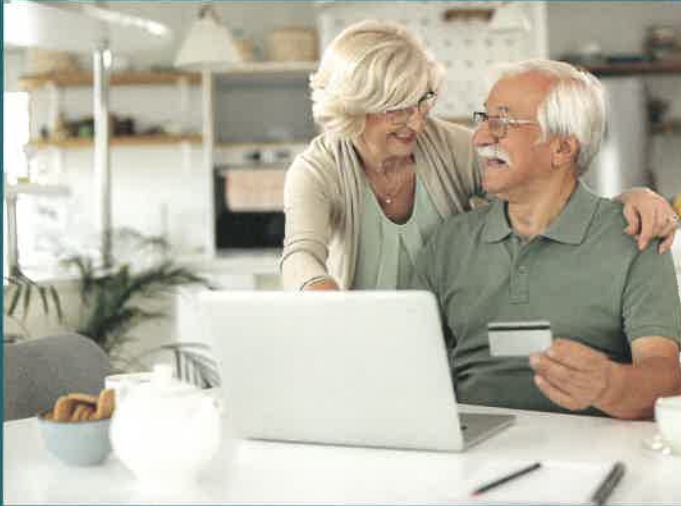
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#### Phone

Member Services: 763.323.2650

Report an Outage: 763.323.2660

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Email: [info@connexusenergy.com](mailto:info@connexusenergy.com)

Facebook: [facebook.com/connexusenergy](https://facebook.com/connexusenergy)

Twitter: [@connexusnews](https://twitter.com/connexusnews)

#### Address

14601 Ramsey Blvd.  
Ramsey, MN 55303

*Connexus Energy is an equal opportunity/  
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### BOARD OF DIRECTORS

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(Big Lake)

Michael Cady, Assistant  
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# Reliable



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We are Connexus Energy.

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Connexus Energy is offsetting 100% of the energy used for printing this newsletter with renewable energy credits.

# CEO sparks

Greg Ridderbusch, President & CEO

## Five Years of No Rate Increase: affordability you can count on all year long

When our call center received its second, third, and fourth call after a TV news segment about rising electricity costs our team was ready. We were still in the thick of budgeting for 2022 as questions about our 2022 rates were being asked by members.

In early December, as with each year, the Connexus Energy Board representing our member owners heard the details of how inflation, investment, strategic initiatives, member conservation, and market prices would affect the 2022 budget.

The good news, with the efforts of employees, members, and a bit of growth, 2022 will be Connexus Energy's fifth consecutive year of no rate increase.

While several of Minnesota's largest electric utilities are proposing to raise their rates and increase bills, Connexus Energy is happy to be an outlier. Connexus' mix of modern electric grid technologies, the hard work of our staff, and a well-designed and maintained system empowers us to provide nationally competitive reliability at an affordable cost.

Looking forward, we are reaching deeper to find additional efficiencies, looking in detail at our wholesale power supply. A unanimous vote by Connexus Energy's board directed staff to pursue competitive wholesale power savings, flexibility, and local control. Negotiations with Great River Energy, our current wholesale power provider, are ongoing and being pursued while maintaining the reliability and safety of our service to you and our commitment to cooperative values. As reported in our last several annual meetings, our wholesale power costs have been the highest of all electric cooperatives in Minnesota for the past decade.

Last fall, we were pleasantly surprised with recognition by our business peers at the Anoka Chamber of Commerce with the 2021 Service Business of the Year Award. Chamber CEO Pete Turok observed that "Affordable, reliable energy is the lifeblood of our communities and creates advantages that spur economic growth."

Swimming against a stream of rising costs for five consecutive years is an achievement we're proud of at Connexus. It takes hard work from our employees, and courageous choices by your elected Board members. The energy transition that is presently occurring is an exciting time and Connexus Energy's approach is always grounded by your expectation of affordable, reliable, safe, and increasing sustainable electricity.



# Controlling costs caring for community

Training hundreds new farmers each year, KaZuoa Berry manages her budget down to the dollar. The program she leads, an emerging farmer conference and incubator training program at Big River Farm near Marine on St. Croix, teaches entrepreneurship to experienced farmers and farming to experienced entrepreneurs.



*KaZuoa Berry of Big River Farms leads the organization's program training new farmers.*

In talking about the importance of prudent financial management and energy use, Anoka County Administrator Rhonda Sivarajah notes that “County government is that invisible layer of government and we provide services and impact people’s lives from birth to death.”

Anoka County services include management of a park system that now draws more than 4 million visits annually, as well as the library system, and more than 400 miles of roadway. Reducing costs from energy usage is critical to successfully providing such a diversity of important services.

“Sustainable funding models for this work are hard to come by,” says Berry. “When propane heating costs suddenly explode it has a huge impact on our ability to serve the community. We’re glad to be working with Connexus to identify strategies to take control of our heating costs.”

“We’re here to help all our members make informed decisions regarding their short- and long-term energy costs,” said Connexus Energy’s Jen Sweeney, who advises Anoka County and other large energy consumers. “Electric technologies are constantly getting better in performance as well as price. Fuel switching from propane to electricity is increasingly popular among our members. Another key strategy we recommend to control costs is energy efficiency.”

Anoka County is several years into the process of switching its buildings and infrastructure to use modern LED lights that will result in significant savings.

***“We’re here to help all our members make informed decisions regarding their short- and long-term energy costs.”***

“We provide all of the law enforcement for several cities in the county, and also have programs like senior services, and medical and food assistance, to help people if they run into difficult times,” says Sivarajah.

Care for community is one of the seven principles guiding the work of all member-owned nonprofit cooperatives. Whether it is homeowners or farmers, nonprofits or businesses, or town, city, or county government, controlling costs while caring for community is part of Connexus’ mission.



*For Anoka County, reducing costs from energy usage is critical to successfully providing valuable social services including home visits for senior citizens.*

## NO RATE INCREASE

Key dates for your 2022 calendar



### JANUARY

**No rate increase.** Happy New Year!

### FEBRUARY

**No rate increase.** Happy Valentine’s Day!

### MARCH

**No rate increase.** Happy first day of Spring!

### APRIL

**No rate increase.** Happy Earth Day!

### MAY

¡Feliz Cinco de Mayo! **No aumento en la tarifa.**

### JUNE

**No rate increase.** Happy first day of summer!

### JULY

**No rate increase.** Happy Independence Day!

### AUGUST

**No rate increase.** Celebrate at Bunker Beach!

### SEPTEMBER

Leaves turn. Rates stay the same. **No rate increase.**

### OCTOBER

All treats, no tricks. **No rate increase.**

### NOVEMBER

**No rate increase.** Happy Thanksgiving!

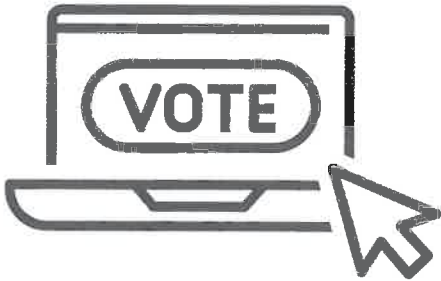
### DECEMBER

**No rate increase.** Merry Christmas and happy holidays!

**Our fifth consecutive year of no rate increases.**

# At Connexus your vote matters

Online and printed ballot options make co-op voting easy



A score of “aye” votes changed the course of history in our community – creating a cooperative to provide reliable, affordable electric service. Eighty-four years later, we have grown to more than 140,000 members providing electric service that is consistently more reliable and affordable than the state’s largest investor-owned utility.

“Connexus sets a good example for Minnesota co-op elections,” said Duane Ninneman, executive director of Greater Minnesota nonprofit, CURE. The organization’s mission is to protect and restore resilient rural landscapes and build vibrant, just, and equitable rural communities.

Connexus Energy's Board of Directors is elected by you and other co-op members to set the policies and is charged with the responsibility to manage the cooperative, subject to the laws of the state of Minnesota, and the bylaws established by the membership.

Information about the Board candidates will be available and online voting will begin at the end of March. Paper ballots will also be mailed to all members (a requirement of Minnesota law that pre-dates online voting) and accommodations for in-person voting will be provided.

Connexus works with Survey & Ballot Systems, a Minnesota-based organization that independently handles elections for more than 200 cooperatives nationwide. In coordination with the election, Survey & Ballot Systems will hold a drawing for a personal one-year supply (12 jars) of honey harvested from our flowering solar farms as well as other prizes.



## Happy New Year

**Green energy and energy efficiency are easy-to-make  
– and even easier to keep – New Year’s resolutions**

Celebrate today with a plan for a fresh start in 2022 with any of Connexus’ many green energy and convenient energy management programs. Find out more at [connexusenergy.com](http://connexusenergy.com).



# Co-op cuisine

## HEARTWARMING TOMATO SOUP

From Chris Nye

1/4 cup Olive Oil, separated  
1/2 Red Onion, thinly sliced  
2 Cloves Garlic, thinly sliced  
28 oz Diced Canned Tomato,  
preferable San Marzano  
2 cups canned Tomato Juice  
1 Sprig Fresh Basil

Equipment:

Induction cooktop

Immersion blender

2 qt or larger pot, spatula

Instructions:

1. Over medium heat, cook the red onion and garlic in half of the olive oil. Stir frequently until the onion has softened and become translucent.
2. Add the diced tomato and tomato juice. Season with 1 Tbsp of salt and bring to a boil. Reduce the heat to medium and continue to cook, stirring occasionally for 20 minutes.
3. After the soup is done cooking, blend with the immersion blender until smooth. Season as needed with salt and pepper. Divide into serving dishes and garnish with torn basil and a drizzle of the remaining olive oil.



*Chris Nye of Coon Rapids, an accomplished professional chef, provided the recipe. While you can use whatever cooktop you have, Chris likes both the power and performance of induction cooktops as well as the fast and convenient cleanup.*

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\*Cash transactions only. Produced in partnership with Bare Honey.



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# Oh Snap!



Connexus toured the National Guard aviation facility at the St. Cloud Airport and is honored to have them as a member and to be a trusted energy partner to one of our state's critical defense facilities.



Renson Obongo (center) and Amy Wallace (right) take in a fun round of Can Jam at the annual Connexus Energy employee picnic.



Electrical engineer Erica Schmidt with her family were a few of the employees and friends dressed and ready to walk the Anoka Halloween Parade route with the decorated Connexus bucket truck.



Connexus Energy was honored with the top prize in a national electric service reliability competition among electric utilities and solution providers.

Connexus Energy is offsetting 100% of the energy used for printing this newsletter with renewable energy credits.



## Daniel Buchholtz

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**From:** Blue Rose Capital Advisors <marketing@blueroseadvisors.com>  
**Sent:** Wednesday, February 2, 2022 10:53 AM  
**To:** Daniel Buchholtz  
**Subject:** The Shield - January 2022 Municipal Market Update



[The Shield - A Monthly Newsletter](#)

## January 2022 Municipal Market Update

By: [Brandon Lippold](#), Assistant Vice President

2021 saw a continued demand for - and high issuance of - municipal bonds following record performance in 2020, though higher education issuance was down compared to the prior year, following a decline in taxable issuances. Both absolute yields and credit spreads retracted in the spring to the lows seen prior to the start of the COVID-19 pandemic. Rates have come off those levels leading into the beginning of the year, though the market remains strong for borrowers. As discussed in our October Shield newsletter [\[1\]](#), college and university endowments saw record investment returns, helping offset some of the negative credit pressure applied by the ongoing COVID-19 pandemic. As we turn our focus to the coming year a few market trends we are focusing on at Blue Rose are:

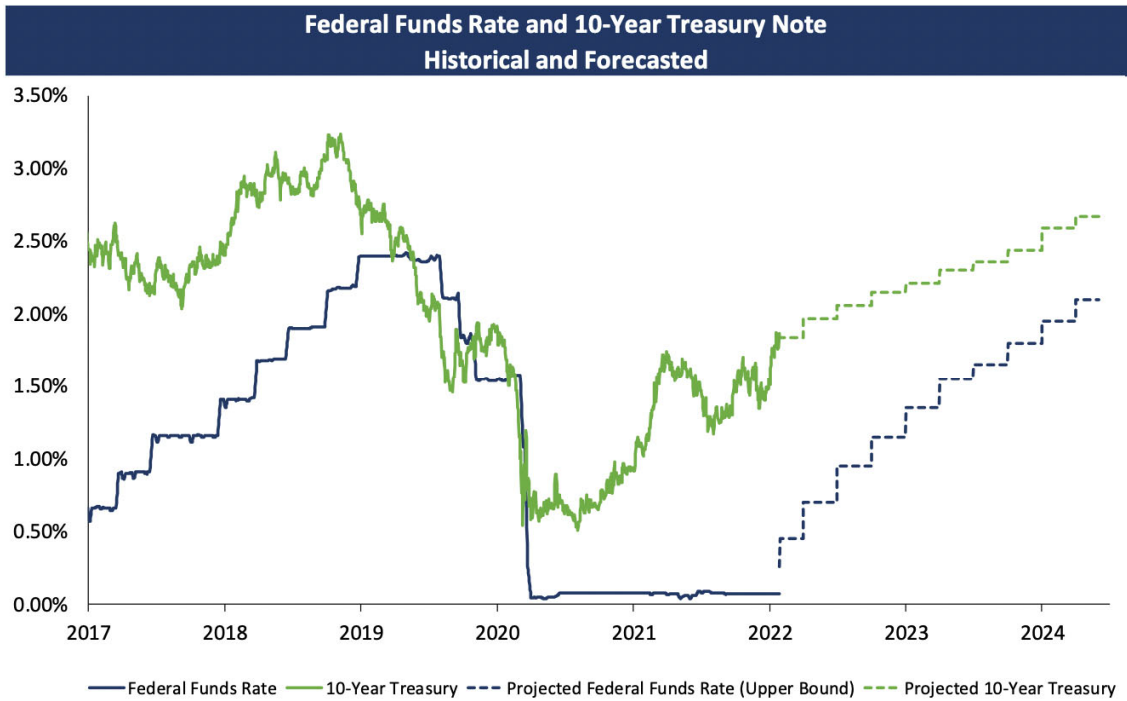
### Inflation

The consumer price index (CPI) rose 7% last year, and economists expect it to grow by a more moderate 3% in 2022. [\[2\]](#) Clearly, a variety of factors will impact this projection, though one of the major drivers is

expected to be COVID variants such as Omicron, which have the potential to further disrupt supply chains and spending patterns in 2022. The impacts of high inflation on institutions we serve primarily relate to budgetary pressure, though there is concern that, depending on rate movement, inflation could also have a negative impact on new issuance volume.

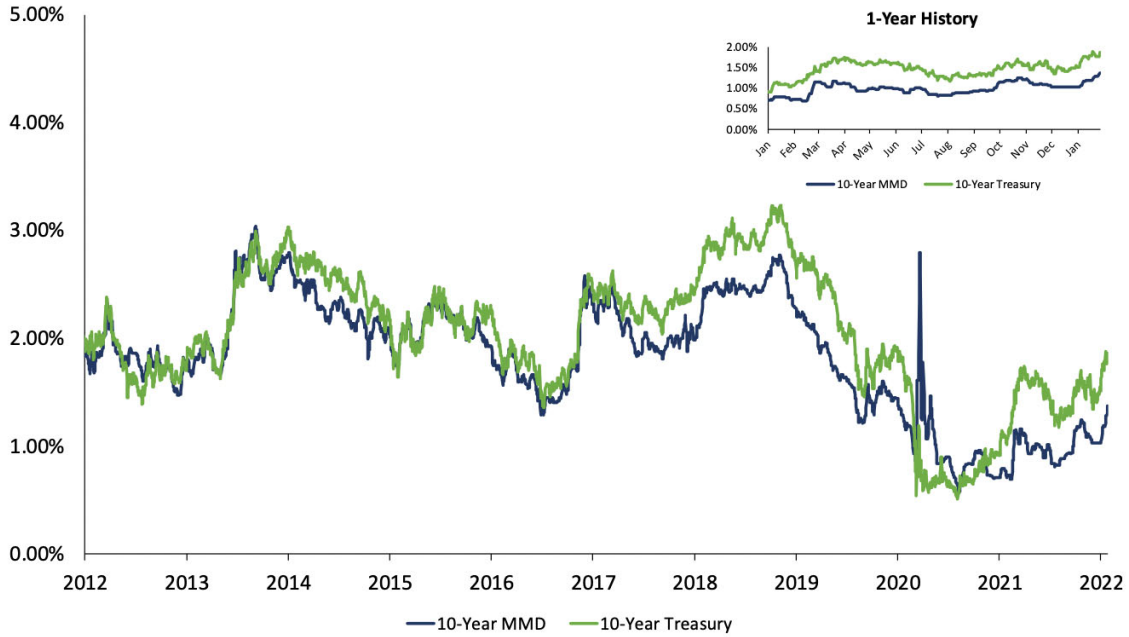
**Movement of Interest Rates**

Since the Fed’s overnight target rate fell in response to the COVID-19 pandemic, each market update we’ve written has included an economist forecast graph like the one below, where the consensus forecast for short and long term rates is shown to project a rising rate environment. Like most predictions, these forecasts aren’t 100% accurate, and so far, short-term rates have remained near 0%. However, the Fed has begun to set the stage more definitively for interest rate hikes starting as soon as March as one measure to curb inflation. Conversely, long term rates have increased over the last year and are now nearing pre-pandemic levels, leading some to believe that this interest rate growth may have already been captured by most forecasts. While general market expectations are for some increase in long-term rates, it is not predicted to be as substantial as the projected rise on the shorter end of the yield curve. One major factor that could dampen the pace of interest rate hikes in 2022 would be a continued slide of equity markets, as signs of economic slowdown might cause the Fed to reduce or slow its planned cadence of rate increases.



Source: Bloomberg, Bloomberg Weighted Average of Economic Forecasts as of January 26, 2021

## 10-Year MMD and the 10-Year Treasury 10-Year History

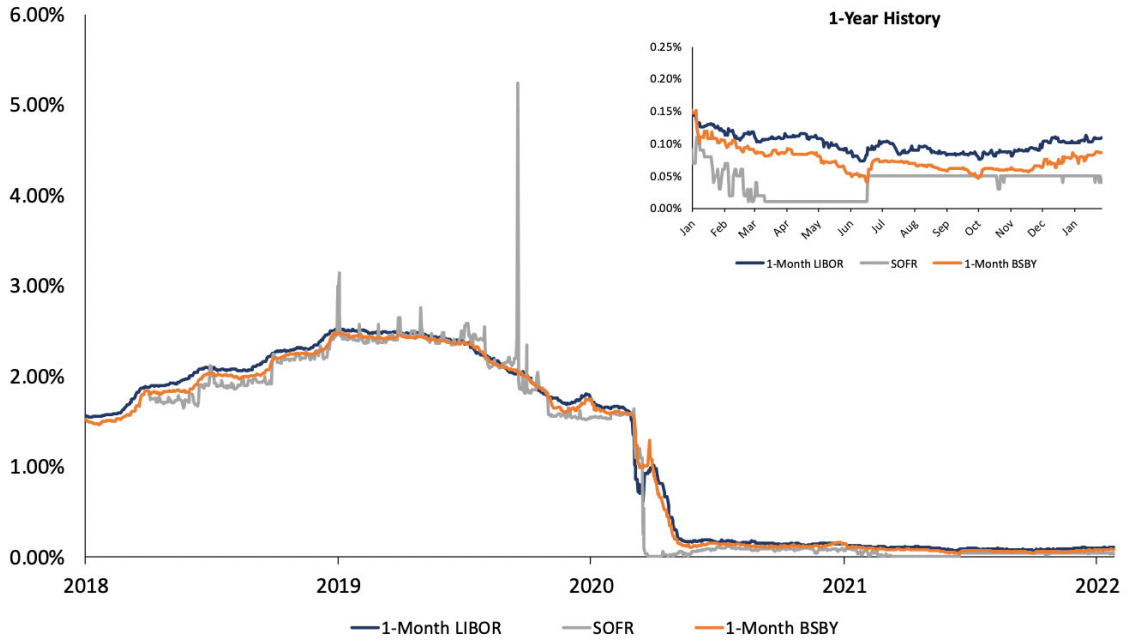


Sources: Bloomberg and Thomson Reuters

### LIBOR Transition

The transition from LIBOR to alternative reference rates continues, with most banking institutions no longer allowed to transact LIBOR based instruments. Preferred replacement rates vary from bank to bank, though SOFR remains the replacement rate of choice for U.S. governing bodies with other rates like BSBY continuing to gain popularity. We anticipate most borrowers will prefer to use this year to address their legacy LIBOR exposure rather than waiting until 2023, with the ultimate cessation date of LIBOR scheduled for June 30, 2023.

## Short-Term Interest Rates 4-Year History



If you have LIBOR exposure or would like to discuss capital plans in the context of these market conditions, then please reach out to your Blue Rose advisor to schedule some time to chat.

[1] <https://www.bluroseadvisors.com/post/the-shield-endowment-growth-trend-and-considerations>

[2] <https://www.bloomberg.com/news/articles/2022-01-12/inflation-in-u-s-registers-biggest-annual-gain-since-1982>

TALK TO THE AUTHOR



**Brandon Lippold** | [blippold@bluroseadvisors.com](mailto:blippold@bluroseadvisors.com) | 952-746-6054

Brandon Lippold joined Blue Rose in 2018 as a Quantitative Analyst, providing modeling, analytics, market data, and research in support of the delivery of capital planning, debt and derivatives advisory, and reinvestment services to our clients. In the role of Associate, he utilized his experience as a Quantitative Analyst in a more client-facing role, while still performing much of the analysis utilized in this capacity. In his role of Assistant Vice President, he will be tasked with growing client management responsibilities, in particular ensuring that our clients' transactions run smoothly through closing.

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## Comparable Issues Commentary

Shown below are the results of two higher education issues which sold in the month of January. Miami University of Ohio priced its tax-exempt bonds on January 13<sup>th</sup>. The following week on January 19<sup>th</sup>, Claremont McKenna College priced its taxable century bond. Miami's Series 2022A bonds were issued to execute a forward current refunding of the university's outstanding Series 2012 bonds, which become callable on September 1, 2022. Claremont McKenna's Series 2022 taxable bonds were issued for several purposes, including the advance refunding of \$96.3 million of the College's outstanding Series 2015A bonds, callable on January 1, 2026. Claremont McKenna plans to use the remaining proceeds from its century bond for a variety of capital projects. These projects include the new Robert Day Sciences Center, as well as the development of 75 acres of recently purchased land which will house the College's east campus sports complex.

Both schools' bonds were rated "Aa3" by Moody's, with Miami's bonds also carrying a AA rating from Fitch. However, the structure and amortization of the transactions varied significantly. Miami's tax-exempt issue was fully serialized across the scale from 2022-2034 and utilizes a forward delivery structure, with closing not scheduled until June 2022. The University chose to pursue a forward delivery as opposed to waiting to execute a standard current refunding in order to lock in guaranteed savings in a potentially rising interest rate environment. Miami used exclusively 5% coupons on the issue, which carries a 9-year call date, matching that of its Series 2021A bonds issued last summer. In contrast, Claremont McKenna's issue was a taxable century bond featuring a single bullet maturity in 2122 and carrying an interest rate of 3.775%. This structure will allow Claremont to normalize debt service at approximately \$18 million per year until the 2051 bullet maturity of its Series 2019 bonds, after which debt service will decrease to just over \$11 million per year. Claremont McKenna's century bond is also notable in that it is the first deal of its kind to price in the higher education sector since the onset of the COVID-19 pandemic in early 2020. The sizing of the two transactions was also meaningfully different, with Miami's bonds coming in at just under \$48 million compared to a larger \$300 million transaction for Claremont McKenna.

The two transactions each priced into the rising interest rate environment that has been prevalent for the beginning of 2022, with both tax-exempt and taxable rates increasing sharply during the month of January. MMD increased by 13-16 bps in the week prior to Miami's pricing, but stabilized more during the week of January 10<sup>th</sup>, increasing another 2-11 bps on the first 9 years of the yield curve, but by just 1 bp on later maturities heading into the January 13<sup>th</sup> pricing. The market was quite steady on the actual pricing date for the University's bonds, with MMD on January 13<sup>th</sup> unchanged through 2031 and reduced by 1 bp on all maturities thereafter. Claremont McKenna priced in similar conditions, with the 30-year treasury rising by over 25 bps over the month of January heading into its pricing. The 30-year treasury rose by 7 bps the day leading up to the College's bond sale, before falling by 1 bp on the January 19<sup>th</sup> pricing date. Despite these challenging market conditions Claremont still achieved solid pricing when compared to pre-pandemic century bonds of similar credit quality, with a final credit spread of 160 bps to the 30-year treasury. In comparison, the University of Southern California (rated AA by S&P) priced a century bond in January of 2020 at a spread of 120 bps with a 3.226% rate, and just a few months prior, in November 2019, Cal Tech (rated Aa3/AA- by Moody's and S&P) achieved a spread of 145 bps with a rate of 3.65%.

#### Recent Bond Sales

Miami University, OH					Claremont McKenna College, CA				
Issue Detail	Maturity	Coupon	Yield	+/- "AAA" <sup>1</sup>	Issue Detail	Maturity	Coupon	Yield	Spread to US Treasury <sup>2</sup>
\$47,935,000					\$300,000,000				
Revenue and Refunding Bonds	09/01/22	5.000%	0.690%	--	Taxable Bonds				
Series 2022A	09/01/23	5.000%	0.700%	0.37%	Series 2022				
	09/01/24	5.000%	0.870%	0.41%					
Aa3 (Moody's)	09/01/25	5.000%	1.040%	0.44%	Aa3 (Moody's)				
AA (Fitch)	09/01/26	5.000%	1.190%	0.48%					
	09/01/27	5.000%	1.290%	0.48%					
1/13/22 Sale	09/01/28	5.000%	1.420%	0.47%	1/19/22 Sale				
Negotiated	09/01/29	5.000%	1.500%	0.47%	Negotiated				
RBC	09/01/30	5.000%	1.560%	0.46%	Morgan Stanley				
	09/01/31	5.000%	1.620%	0.48%					
	* 09/01/32	5.000%	1.670%	0.49%					
	* 09/01/33	5.000%	1.700%	0.50%					
	* 09/01/34	5.000%	1.720%	0.50%					
						1/1/22	3.775%	3.775%	1.60%

\* Priced to 9/1/31 call date at 100%

<sup>1</sup> Spreads to AAA MMD are based on end-of-day uninterpolated MMD on the day of pricing, and incorporate forward premium through 6/7/2022 closing date.

<sup>2</sup> Spread to the 30-year US Treasury

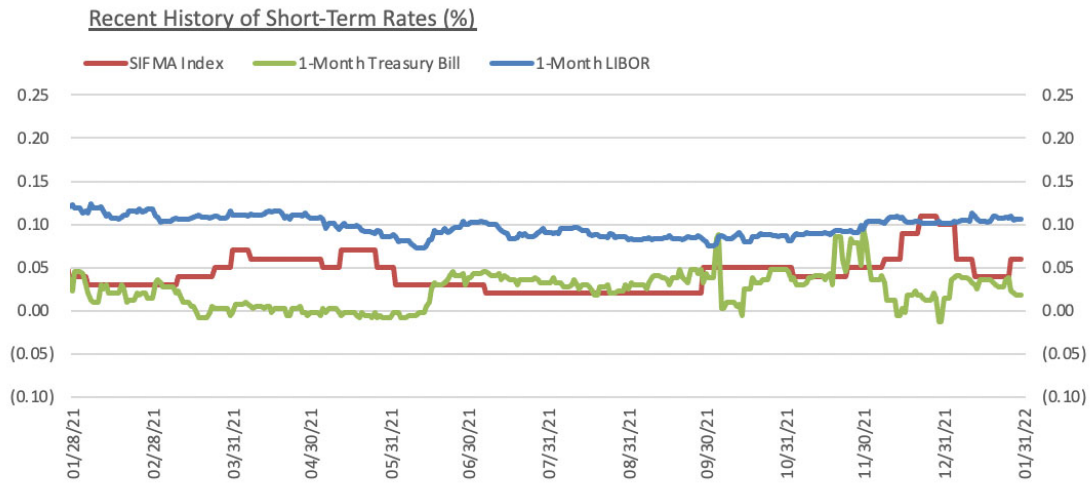
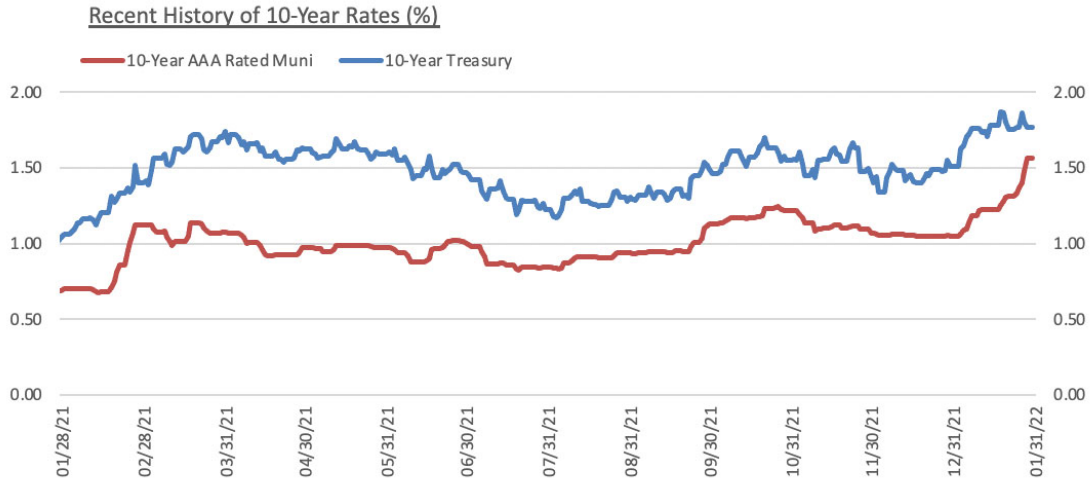
## Interest Rates



Select Interest Rates								
	Treasuries	1 Month Change	AAA Rated Muni	1 Month Change	AAA Rated Higher Ed	1 Month Change	A Rated Higher Ed	1 Month Change
2-Year	1.16	0.41	0.89	0.65	0.91	0.59	1.06	0.54
5-Year	1.61	0.37	1.24	0.64	1.30	0.64	1.46	0.55
10-Year	1.77	0.29	1.57	0.51	1.61	0.54	1.88	0.48
20-Year	n/a	n/a	1.83	0.49	1.83	0.44	2.37	0.57
30-Year	2.07	0.17	1.99	0.46	1.97	0.34	2.49	0.41

Swap Ratios/Rates		
	80% of LIBOR	1 Month Change
2-Year	1.05	0.30
5-Year	1.35	0.27
10-Year	1.47	0.23
20-Year	1.57	0.17
30-Year	1.53	0.14

Source: Bloomberg Market Data. Rates as of 1/28/2022



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# Volatility Prevails as We Begin 2022

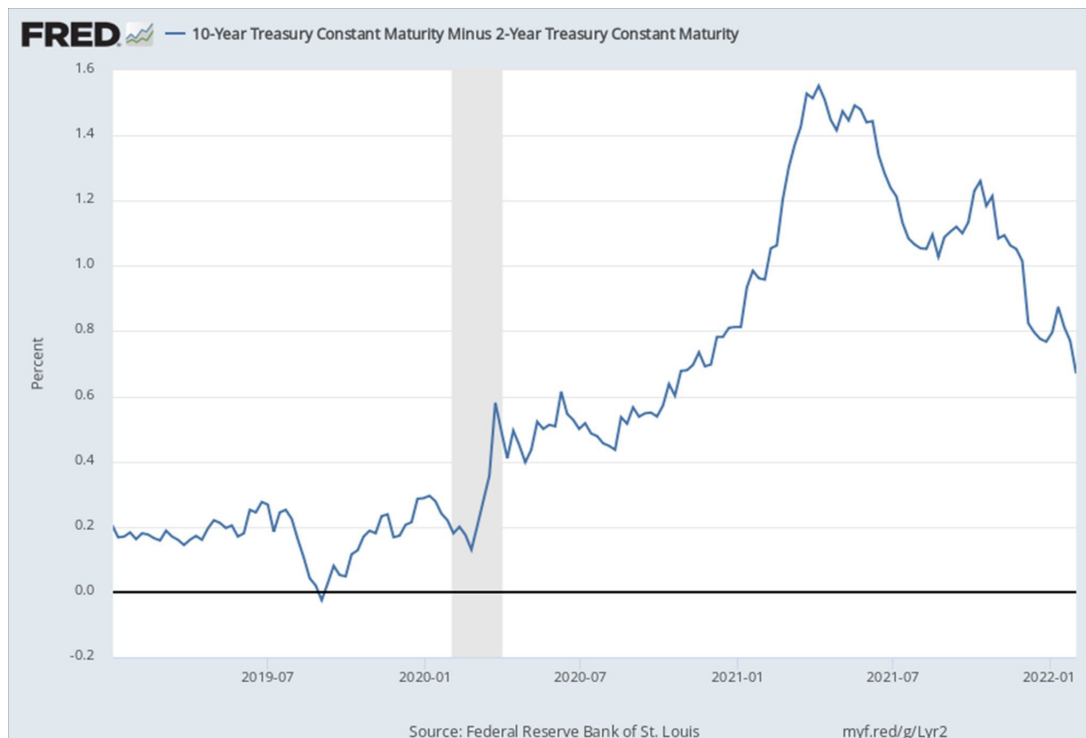


Market Commentary - February 2, 2022

by Brian Reilly, CFA

Financial market performance for the first month of the calendar year would have made for a great proverbial amusement park ride. Volatility reigned across nearly every major asset class. Broad stock market indices saw some of the best and worst single-day moves in nearly a year or more, with percentage gains and losses of 2% – 3% (and more). The S&P 500 finished the month strong, recovering from what was at one point a 10% monthly decline to finish January with a 5.3% loss. The Nasdaq 100 surged 6.6% in two sessions to close out the month with a loss of 8.5%, the worst since December of 2018. The Dow Jones Industrial Average experienced large intraday swings, sometimes in the neighborhood of 1,000 points, ending the month with a modest decline of 3.3%.

Fixed income was not a safe haven during this time, as there was a steady rise in yields, which were most pronounced on the shorter end of the interest rate curve. Increases in yields for U.S. Treasuries during the month of January ranged from about 30 – 45 basis points (1 basis point = 0.01%) from 1 – 7 years, with the most pronounced increases at the 2-year mark. The benchmark 10-year Treasury rose in yield by nearly 30 bps to just under 1.80%. These recent moves in rates have resulted in what market observers would describe as a “bear flattening” of the curve, where the spread between short and long rates compresses. In fact, the spread between 2- and 10-year Treasuries is presently the tightest it has been since October of 2020.



Broad bond market indices were down 2% – 3% for the month, depending on their duration and composition. Investment grade bonds tallied their fifth-worst monthly performance on record, according to CreditSights. High yield, or “junk bonds,” posted one of the worst starts to the year ever based on metrics provided by Bloomberg. This was a result of not only increasing yields generally, but widening credit spreads, as represented in the chart below, although for the lowest class of investment grade credit (“Baa”).



## Market Continues to Adapt in Anticipation of Fed Actions

The Federal Open Market Committee (FOMC) concluded its January meeting last Wednesday, January 26. The customary policy statement did not necessarily provide any surprises – rather it largely reiterated the FOMC’s intentions previously communicated to the market. The Fed will continue with reductions in monthly asset purchases through March of this year. The policy statement carried a more definitive assessment of potential changes to the target range for the fed funds rate. “With inflation well above 2 percent and a strong labor market, the Committee expects it will soon be appropriate to raise the target range for the federal funds rate.” Prior FOMC statements indicated increases to the fed funds rate would occur only after asset purchases were ended entirely. This would align with the FOMC’s next scheduled meeting for mid-March, and the market is widely anticipating a quarter-point increase in the fed funds rate upon conclusion of that meeting, although there has been ample speculation of a half-point increase. If the FOMC indeed declares an increase to the fed funds rate in March, it will be the first such action since December of 2018.

Markets are clearly at an inflection point, as investors attempt to digest what may be the end of one of the most aggressive monetary policy postures across the globe in modern history. The Fed’s balance sheet has expanded to over \$9 trillion and broad measures of money supply have increased nearly 40% since February of 2020. The total monetary base has increased roughly 100% since the beginning of 2020.

In turn, financial assets are experiencing a “re-pricing” of sorts as investors adjust expectations amidst a backdrop of heavy uncertainty. Market participants generally view the Fed as “behind the curve” as we endure inflation at 40-year highs and nominal levels of GDP at 6.00%+, along with low measures of unemployment. This has clearly led to price discovery and higher levels of volatility have rippled through markets, as investors begin to contemplate the potential for more fed funds rate increases this calendar year than may have originally been thought. As recently as the final quarter of last year, there was a large consensus around three quarter-point rate hikes throughout 2022. Markets are now grappling with the prospect of four-to-five increases, which would bring the fed funds rate into a range of 1.00% – 1.25%. In light of generational highs in inflation, this could hardly be considered “tight” monetary policy in a historical context.

What was likely more unsettling for investors was the release of a policy statement from the FOMC that outlined “principles for reducing the size of the balance sheet.” Balance sheet reduction is considered a bit more “hawkish” than what markets have been anticipating from the Fed. During Chair Powell’s press conference, he stated, “The balance sheet is substantially larger than it needs to be... There’s a substantial amount of shrinkage in the balance sheet to be done. That’s going to take some time. We want that process to be orderly and predictable.” This process would see the Fed reinvest only some of its monthly cash inflows from existing bond holdings. Only time will tell what might be forthcoming.

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## **Municipal Market**

The municipal market was not immune to the aforementioned volatility, and monthly declines in fixed income. In fact, the downdraft in municipals was even greater than in taxable bonds. AAA-yields are up 45 – 65 basis points at major benchmarks. Much of this has to do with how “rich” tax-exempt bonds were priced before the recent run-up in yields. As we noted in our prior Market Commentaries, ratios of tax-exempt to taxable yields were at very low levels on a historical basis. The ratio at 5-years as of the beginning of this year was about 50%, and 70% at 10-years. At the end of the month, these ratios increased rather dramatically to 76% and 87%, respectively. The ratio at 10-years is the highest since about November of 2020.

This may be a swinging of the pendulum that could see some corrections over the next few weeks, with ratios declining to some degree. However, some damage has been done, with tax-exempt bond funds experiencing two consecutive weeks of investor withdrawals after an uninterrupted period of net inflows for nearly 40 straight weeks. Widely tracked municipal indices fell nearly 2.75% for the month of January, one of the worst performances in almost 40 years.

New issue volume reportedly declined in January roughly 15% year-over-year. This likely lessened the overall impact of increasing tax-exempt yields, as the market absorbed a smaller supply of new bonds. It's not uncommon for issuers and borrowers to wait out volatility when seeking to price a new issue – weekly volume may ebb and flow as deal teams attempt to “pick their spot” with the expectation this heightened volatility will subside.

In the grand scheme, rates are still near generational lows, even if they have moved higher in the last month, or so. We generally recommend our clients take a long-term perspective to capital financing, using purposeful planning, so that interest rates are not their primary focus. For more interest rate sensitive initiatives, such as project finance and refundings, we might argue the preponderance of evidence suggests rates will have a bias to the upside for at least the foreseeable future.

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# Inflation, Tapering, Potential Rate Hikes... Among Other Worries...Dominate Economic Headlines



Market Commentary - January 19, 2022

by Greg Johnson

## Inflation, tapering, potential rate hikes, and ongoing pandemic worries dominate economic landscape

As COVID-19 cases spike (largely the result of the spread of the Omicron variant), inflation worries continue, and businesses deal with supply and labor market challenges, expectations for economic growth have slowed.

Economists surveyed in January by *The Wall Street Journal* ratcheted down their forecasts for annual growth in Gross Domestic Product to 3.3% for the current year from 3.6% in October 2021. In comparison, the consensus forecast for final 2021 nominal GDP is 5.2%.

Other notable results from *The Wall Street Journal's* economists survey include:

- By the end of 2022, wage inflation is expected to cool slightly to an estimated 4.5% year-over-year increase in average hourly earnings.
- Survey respondents expect annualized inflation, presently at 7%, to moderate to 5% by mid-year. By the end of 2022, annualized inflation is expected to decline further to 3.1%.
- More than half of economists surveyed expect supply chain disruptions to persist at least until the second half of this year, with one third expecting disruptions to continue until 2023 or later.
- Two thirds of economists surveyed expect the Fed to start increasing the target range for the fed funds rate at its March 2022 policy meeting. Over half of the economists surveyed expect three, quarter-point increases to the fed funds rate this year, and nearly one-third expect more than three. By comparison, last October 5% of survey respondents expected a fed funds rate increase in March and over 40% expected no rate increases at all in 2022.

The CME's FedWatch Tool implies a 91.6% probability of the target range for the federal funds rate increasing to 0.25% – 0.50% at the March meeting.

## Inflation worries persist

Last week the U.S. Department of Labor reported that inflation finished 2021 at its highest levels since 1982, as measured by the consumer price index, which was up an annualized 7% in December versus a year earlier. December marked the third straight month in which inflation exceeded an annualized rate of 6%.

A report released by the Conference Board, a business research group, which surveyed more than 900 global CEOs found more than half expect price pressures to persist until at least mid-2023. U.S. executives cited labor shortages as the top concern for the year, followed by inflation and supply chain challenges, and ongoing COVID-19 disruptions. It is worth noting this data was collected prior to the Omicron outbreak.

How the Federal Reserve will respond to ongoing inflation concerns remains at the forefront for many market observers. Last year, the Fed largely viewed inflation as a "transitory" concern. The Fed's response to this "transitory" inflation was slow and

focused on keeping interest rates low with the expectation inflation would subside as the year unfolded, believing high inflation stemmed from supply chain bottlenecks associated with reopening the economy.

Late in 2021, comments from Fed officials, especially those of Fed Chair Jerome Powell, dramatically changed tone, striking the “transitory” qualifier when speaking about inflation and crafting policy statements upon conclusion of Federal Open Market Committee (FOMC) meetings. In prior periods of heightened inflation (e.g., the early 1980s), the Fed would generally embark on a campaign of increases to the fed funds rate, which has historically been its primary monetary policy tool. The trick was to do so at a pace and magnitude that wouldn’t necessarily hamper economic growth or spur a recession. Whether or not the Fed has been successful in those efforts is another discussion, entirely.

However, this time things are, indeed, different. The Fed’s balance sheet has grown to almost \$9 trillion since 2008, about half of which is a result of its most recent asset purchase activities, which had previously been considered an “emergency measure.” The Fed’s first phase in normalization of monetary policy is to wind down asset purchases to zero, then evaluate prevailing data as it transitions to potential increases to the fed funds rate. The market has quickly migrated to a consensus that intermediate-term rates are likely to increase in the near term and an expectation that a series of fed funds rate increases will unfold over the remainder of the year. There is still plenty of uncertainty about the “when” and “how much” in this saga. This is further complicated by the activities of other global central banks and their progression towards removing policy accommodation, as well.

During congressional testimony last week, Fed Chair Powell stated inflation was a severe threat to the economy. In addition, there has been a steep drop in the number of Americans seeking jobs despite the higher numbers of job openings. Chair Powell noted in his testimony a strong rebound in hiring to draw workers into the workforce that aren’t actively seeking jobs now will require a period of long economic expansion, which in turn requires price stability. High inflation is a severe threat to achieving maximum employment. It might also be that it’s becoming abundantly clear that low interest rates are having no further practical effect on employment. Price stability has become the primary motivator of Fed policy, but there is little certainty that changes in monetary policy will alleviate the current logistical disruptions prevailing across the globe.

## Trends in Municipal Bond Yields

Municipal bond yields have increased steadily across the curve since the beginning of the year. However, since the end of last week, yields have been mostly flat.

Trends in Municipal Bond Yields December 10, 2021 to January 14, 2022					
AAA Yields*	Dec. 10, 2021	Dec. 31, 2021	Jan. 14, 2022	Change Since 12/10	Change Since 12/31
5 Years	0.61%	0.60%	0.83%	0.22%	0.23%
10 Years	1.06%	1.05%	1.23%	0.17%	0.18%
20 Years	1.36%	1.35%	1.52%	0.16%	0.17%
30 Years	1.55%	1.54%	1.71%	0.16%	0.17%
Bond Buyer 20 Bond Index**	2.05%	2.06%	2.19%	0.14%	0.13%

Source:

\* Bloomberg Valuation

\*\* The Bond Buyer, average yield on a portfolio of municipal bonds maturing in 20 years, AA/Aa2 average rating

Strong demand was a large factor driving the municipal bond market in 2021. The S&P Municipal Bond Index had a total return for 2021 of 1.76%. That compares to -2.13% for the S&P U.S. Treasury Bond Index and -1.79% for the S&P U.S. Investment

Grade Corporate Bond "A" Index. The S&P Municipal Bond High Yield Index had a total return of 6.77% for the year, as investors sought higher yields and credit spreads tightened dramatically.

New issue municipal bond volume is \$7.12 billion for this holiday-shortened week, but volume is expected to pick up over the next few months, especially as issuers seek to secure funds for spring capital projects. Tax-exempt municipals still remain "rich" compared to taxable Treasury equivalents. We also note that rates in the 1 – 5-year portion of the curve are migrating higher compared to intermediate and long-term rates due to the anticipated effects of the Fed's removal of monetary policy accommodation. We generally expect a higher level of volatility in rates, as the market sorts through the seismic shifts and related impacts. It is worth noting that, while rates are up from recent lows, they are still quite favorable from a historical perspective. Now is an excellent time to discuss capital plans in greater depth with your Ehlers advisory team.

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# Feel the Power!

A Minnesota Laborers - Employers Cooperation & Education Trust Publication

## HISTORIC \$1.2 TRILLION INFRASTRUCTURE DEAL PASSES

The bipartisan Infrastructure Investment and Jobs Act (IIJA) is a once-in-a-generation investment in our infrastructure and global competitiveness

President Biden signed the IIJA on November 15, 2021 marking the largest investment in the nation's infrastructure since the creation of the Federal Interstate Highway System, under the Eisenhower Administration some 60 years earlier.

This historic investment provides a critical boost for the nation's construction industry, injecting over \$1 trillion to restore roads and bridges, extend our transit systems, expand access to clean drinking water and ensure access to high-speed broadband internet. The new law will create hundreds of thousands of family-supporting union jobs for the men and women of LIUNA and their signatory Union contractor employers. The Federal Davis-Bacon Act (Prevailing Wages) will apply to most of the IIJA funding, leveling the playing field for signatory Union Contractors and LIUNA members.

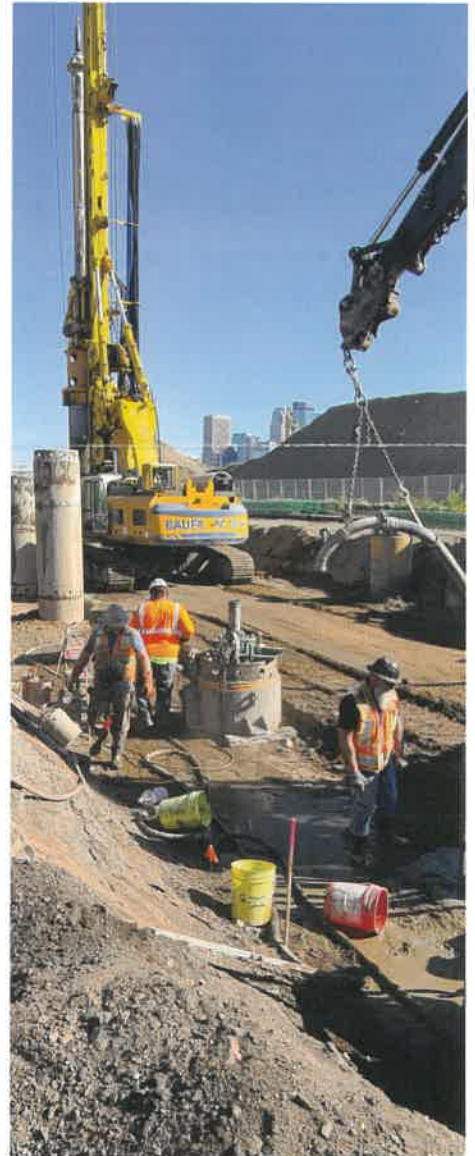
Laborers International Union of North America (LIUNA) General President Terry O'Sullivan was honored to be a part of the signing ceremony at the White House. "With the President's signature, the United States commits to the single greatest infrastructure investment in generations to restore our roads

and bridges, our water systems, transit, and broadband," said O'Sullivan. "The investment will put Laborers to work in every community, revitalize our nation's economy, and open doors to the middle-class for hundreds of thousands of working men and women."

**"This legislation is the single greatest jobs-creating infrastructure investment in generations,"**

**- Terry O'Sullivan  
LIUNA General President**

The collaboration and cooperation from both parties on this historic legislation is both a testament to the importance of infrastructure and an encouraging sign that lawmakers and the President can work together on issues vital to the American people. LIUNA looks forward to working with the White House on the rollout of the infrastructure bill, the *Build Back Better* Agenda, and the creation of good union jobs building our nation.



LIUNA Members and Signatory Contractors are the Infrastructure experts. SouthWest Light Rail Transit Project, 2021 - Minnesota LECET

### IN THIS ISSUE

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# LIUNA!

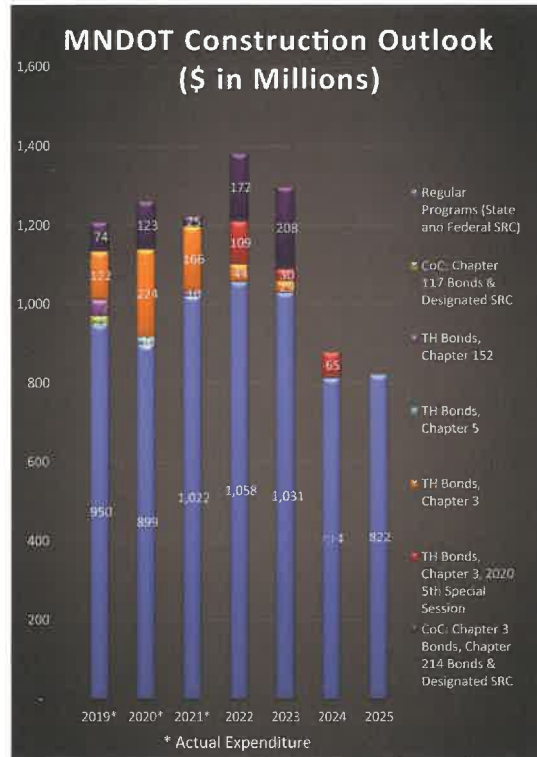
Feel the Power

# 2022 CONSTRUCTION OUTLOOK REMAINS STRONG

Reports coming in from leading national construction industry economists are sending positive vibes for the construction industry with an expected overall gain of 6% nationally forecasted for 2022.

Leading the way are commercial starts (up 15%), retail (up 14%), warehouse construction (up 24%) and health care construction expected to see an 8% increase this year. For Infrastructure and non-building construction forecasts, the passage of the infrastructure bill will yield to an initial projected 6% increase this year with more to come as projects come on line in years 2-5.

Residential startups in single family and multifamily housing are expected to flatten, yet see small increases in 2022. Other market sectors expected to flatten are the hotel sector and the education sector.



The Minnesota Department of Transportation (MNDOT) 2022 Construction Outlook for 2022 looks positive for projects and jobs building and maintaining roads and bridges.

Concerns for the construction industry continue to be with the Covid-19 virus, labor markets, building materials and material pricing, fuel and oil pricing and the supply chain. Economist believe that

getting materials produced and to the jobsites will continue to affect the construction industry and new construction starts.

Locally, the Associated General Contractors of Minnesota reports general optimism going forward among contractors from their 2021 Minnesota Construction Industry Assessment survey. Nearly 80% of the contractors are forecasting either unchanged or improved market conditions for 2022. North Dakota construction looks optimistic once again with economic trends looking positive.

Construction is a major contributor to the US Economy through the creation and building of \$1.4 trillion worth of structures each year. LIUNA Minnesota & North Dakota and signatory Union contractors make a significant positive impact to both state's economies through their proven track record of building high quality, long-lasting projects and creating good family-supporting Union wage jobs that have full benefits.

## WELCOME NEW CONTRACTORS!

- M M Miller Brothers Excavating, Inc.
- Michels Construction Inc
- Michels Road & Stone Inc
- Olsen Trenching
- Sarah's Hydro Vac

### LECET Mission

The Minnesota Laborers-Employers Cooperation & Education Trust (LECET) fund was created in 1992 as a non-profit joint Labor/Management cooperation effort affiliated with the Minnesota Laborers Union. LECET aims to promote the many benefits of Union construction while addressing a number of initiatives that are of mutual benefit to both signatory Union Contractors and LiUNA members.

### MN LECET Board of Trustees

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**LiUNA!** MINNESOTA & NORTH DAKOTA  
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651.653.9776 | Council@LiunaMinnesota.org  
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# LABORERS TRAINING CENTER HOSTS LIUNA CAREER FAIR WITH UNION CONTRACTORS

On Saturday, December 11, over 50 interested career seekers attended the first ever stand-alone LIUNA Career Fair, held at the Laborers Training Center (LTC) in Lino Lakes.

LIUNA Minnesota & North Dakota has been involved in hundreds of career events over the past five years making connections with thousands of potential construction career candidates, but this career fair was the first featuring just the Laborers craft and Union Signatory Contractors at the LTC.

A unique factor for this career fair was the invitation of a handful of Union Signatory Contractors representing a variety of construction markets to provide hiring information at the career fair, alongside LIUNA. A special thank you is in order for these contractors donating their time and talents: **Advanced Masonry Restoration, Ames Construction, Bituminous Roadways Inc, Carl Bolander & Sons, Mavo Systems, McGough, PCL Construction and Ryan Companies US.**

“We really appreciate events like the career fair to strengthen our industry,” said Gabby Forstner, Business Development and Marketing Manager of Mavo Systems. “In these uncertain times, it’s great to show people there are unconventional options for their future with unlimited growth potential!”

LECET and LIUNA continue to make a strong push in engaging the next generation workforce through events like these and by special advertising and targeted promotions with the Minnesota State High School league (via Hubbard Broadcasting), tv, radio, social and digital media channels.





# MINNESOTA BENEFITS FROM NEW INFRASTRUCTURE LAW

The new Infrastructure Investment and Jobs Act (IIJA) will make life better for millions of Minnesota residents, create a generation of good-paying union jobs, stimulate economic growth, and position the United States to win the 21st century. The IIJA invests approximately \$6.8 billion in Minnesota's critical infrastructure including major investments in the following areas:

## TRANSPORTATION ROADS & BRIDGES: \$4.8 billion

Minnesota will receive \$4.5 billion for federal-aid highway apportioned programs and another \$302 for bridge replacement over five years. This funding will repair and rebuild our roads and bridges with a focus on climate change mitigation, resilience, equity, and safety for all users, including cyclists and pedestrians.

## PUBLIC TRANSPORTATION: \$818 million

Minnesota will receive \$818 million over five years for public transportation projects across the state including significant investments in bus and rail lines.

## ELECTRIC VEHICLE NETWORK: \$68 million

Minnesota will receive \$68 million over five years to support the expansion of an EV charging network in the state. Minnesota will also have the opportunity to apply for specific grants from a \$2.5 billion competitive project fund allocation in the bill. The investment is part of a national plan to build the nation's first – ever network of EV chargers to facilitate long-distance travel and provide convenient charging options.

## BROADBAND CONNECTIVITY: \$100 million

Minnesota will receive a minimum allocation of \$100 million to help provide broadband coverage across the state, including providing access to the at least 83,000 Minnesotans who currently lack it. Under the IIJA, 1,071,000 or 18.9% of people in Minnesota will be eligible for the Affordability Connectivity Benefit, which will help low-income families afford internet access.

## CLIMATE & CYBER SECURITY: \$37 million

Minnesota will receive \$20 million over five years to protect against wildfires and extreme weather events. We will receive an additional \$17 million to protect against cyberattacks. Minnesotans will also benefit from the bill's historic \$3.5 billion national investment in weatherization programs aimed at reducing energy costs for families.

## CLEAN WATER: \$680 million

Minnesota will receive \$680 million over five years to improve water infrastructure across the state and to ensure that clean, safe drinking water is a right in all communities. The investment will upgrade systems and replace lead service lines and pipes.

## AVIATION: \$297 million

Minnesota will receive approximately \$297 million for infrastructure development for airports over five years to make improvements and modernizations across the state.

The Federal Davis-Bacon Act (Prevailing Wages) covers most IIJA funding work ensuring a level playing field for signatory contractors and family-supporting wages. We encourage contractors to prepare now for upcoming IIJA related work opportunities.

The Infrastructure Investment and Jobs Act

**Delivers for Minnesota's Working Families**

- 102,000 Good Jobs
- \$302 MILLION for Bridge Repair and Replacement
- \$4.5 BILLION for Highways
- \$818 MILLION for Public Transit
- \$680 MILLION for Water Infrastructure

#BuildBackBetter

**LiUNA!**  
Feel the Power.

# NORTH DAKOTA BENEFITS FROM NEW INFRASTRUCTURE LAW

The historic Infrastructure Investment and Jobs Act (IIJA) will make life better for hundreds of thousands of North Dakota residents, create a generation of good-paying union jobs and economic growth, and position the United States to win the 21st century. The IIJA invests approximately \$2.64 billion in infrastructure including:

## TRANSPORTATION ROADS & BRIDGES: \$1.925 billion

North Dakota would expect to receive \$1.7 billion for federal-aid highway apportioned programs and \$225 million for bridge replacement and repairs under the Infrastructure Investment and Jobs Act over five years. This funding will work to Repair and rebuild our roads and bridges with a focus on climate change mitigation, resilience, equity, and safety for all users, including cyclists and pedestrians.

## PUBLIC TRANSPORTATION: \$109 million

North Dakota would expect to receive \$109 million over five years under the Infrastructure Investment and Jobs Act to improve public transportation options across the state.

## ELECTRIC VEHICLE NETWORK: \$26 million

North Dakota would expect to receive \$26 million over five years to support the expansion of an EV charging network in the state. North Dakota will also have the opportunity to apply for the \$2.5 billion in grant funding dedicated to EV charging in the bill. The investment is part of a national plan to build the nation's first – ever network of EV chargers to facilitate long-distance travel and provide convenient charging options.

## BROADBAND CONNECTIVITY: \$100 million

North Dakota will receive a minimum allocation of \$100 million to help provide broadband coverage across the state, including providing access to the at least 19,800 North Dakotans who currently lack it. And, under the Infrastructure Investment and Jobs Act, 159,000 or 21% of people in North Dakota will be eligible for the Affordability Connectivity Benefit, which will help low-income families afford internet access.

## CLIMATE & CYBER SECURITY: \$32 million

North Dakota will expect to receive \$21 million over five years to protect against wildfires and extreme weather events plus another \$11 million to protect against cyberattacks. North Dakotans will also benefit from the bill's historic \$3.5 billion national investment in weatherization which will reduce energy costs for families.

## CLEAN WATER: \$355 million

North Dakota will expect to receive \$355 million over five years to improve water infrastructure across the state and ensure that clean, safe drinking water is a right in all communities. The investment will upgrade systems and replace lead service lines and pipes.

## AVIATION: \$94 million

North Dakota would receive approximately \$94 million for infrastructure development for airports over five years to make improvements and modernizations across the state.

The Federal Davis-Bacon Act (Prevailing Wages) covers most IIJA funding work ensuring a level playing field for signatory contractors and family-supporting wages. We encourage contractors to prepare now for upcoming IIJA related work opportunities.





# LABORERS FAMILY CLINICS

WITH 3 LOCATIONS.

## ZERO COST!

### EAGAN CLINIC

1519 Central Parkway Suite 110  
Eagan, MN 55121

#### HOURS

Mon, Wed, Fri-8:30am to 5:00pm  
Tues, Thurs-9:30am to 6:00pm  
Saturday-8:00am to 11:30am  
Sunday-Closed

### HUGO CLINIC

14665 Mercantile Drive N.  
Hugo, MN 55038

#### HOURS

Mon, Wed, Fri-9:30am to 6:00pm  
Tues, Thurs-8:30am to 5:00pm  
Saturday & Sunday-Closed

### ROGERS CLINIC

13785 Rogers Dr.  
Rogers, MN 55374

#### HOURS

Mon, Wed, Fri-8:30am to 5:00pm  
Tues, Thurs-9:30am to 6:00pm  
Saturday-8:00am to 11:30am  
Sunday-Closed

**MN Laborers Health and Wellness Clinics are available for your FAMILY! Below is many of the primary care and specialty care services we offer:**

- Preventative Care • Chronic Condition Management
- Lab Tests • Cold and Flu • Seasonal Allergies • Sinus Infections
- Strep Throat • Ear Infections • Minor Injuries • Immunizations
- Sexual Health • Gastro-Intestinal Issues • Common Prescriptions

**MAKE AN APPOINTMENT BY PHONE**  
Once your HealthPartners account is set up, all future appointments can be scheduled online at: [healthpartners.com/appointment](http://healthpartners.com/appointment)

**952-687-8100**

# Covid-19

**Booster Shots  
Now Available!**



# GET YOUR VACCINE TODAY!

## ULTIMATE PROTECTION FOR YOUR FAMILY AND CO-WORKERS.

Scheduling is now available for COVID-19 vaccine appointments at the Minnesota Laborers Health & Wellness Clinics. Vaccines will be available on Mondays and Thursdays for eligible fund participants and their dependents age 12 and older.

### APPOINTMENT SCHEDULING OPEN.

Your Minnesota Laborers Health & Wellness Clinic will have the Pfizer vaccine available. For more information about COVID-19 vaccines, visit [healthpartners.com/vaccine](http://healthpartners.com/vaccine).

If you are a **new patient** please call 952-687-8100 to set up your HealthPartners account and schedule your first appointment. If you are a **returning patient**, you can schedule your vaccine and all other appointments online at [healthpartners.com/appointment](http://healthpartners.com/appointment)

### MAKE AN APPOINTMENT TODAY!

### TO SCHEDULE ONLINE:

1. Visit [healthpartners.com/appointment](http://healthpartners.com/appointment) and log onto your HealthPartners account.
2. Select Primary care as your visit type.
3. Answer the questions about your visit - including if you want a phone or video visit.
4. Your Minnesota Laborers Health & Wellness Clinic will be listed under search by location.



**MAKE AN APPOINTMENT BY PHONE**  
Once your HealthPartners account is set up, all future appointments can be scheduled online at: [healthpartners.com/appointment](http://healthpartners.com/appointment)

**952-687-8100**

## SAFETY DRIVEN | THE POWER OF PARTNERSHIP

3rd Quarter 2021 Safety Driven Quarterly Award Winners

LABORER	CONTRACTOR	LABORER	CONTRACTOR
Leah Presler	Ames Construction Inc	Rick Bourdeau	J M F Construction Inc
Russell Reiter	Atlas Foundation Company	Tanner Casey	Jorgenson Construction Inc
Bruce Hinkemeyer	C & L Excavating Inc	Daniel Antilla	Kellington Construction Inc
Lane Watne	Charps Llc	Justin Birkholz	Kraus Anderson
Travis Holm	Custom Drywall Inc	Joshua Junker	Kuechle Underground Inc
Kyle Kliniski	Darold Berger Masonry Inc	Nickolas Schlussler	Restoration Systems Inc
Rudy Hansen	Donlar Construction Company	Mario Chirinos Rodriguez	Rice Lake Construction Group
Andy Dahler	Global Specialty Contractors Inc	Christopher Wojciechowski	Rjm Construction
Kyle Bushelle	Gustafson & Goudge Inc	Cody Leibold	S R Weidema Inc
Dylan Becker	Hammerlund Construction	Cheyenne Losey	The Boldt Company

All winners receive their choice of a Quarterly Award prize and have been nominated by Union Contractors in accordance with the LECET Safety Driven Program rules.

**APPRENTICE OF THE MONTH AWARDS**

**October**  
**Troy Rees**

**November**  
**Andres Lugo**

**December**  
**Lorenzo Rodriguez**

**Due to concerns over COVID-19, please visit the LTC website at [www.LTCMN.org](http://www.LTCMN.org) to verify all classes.**

*Note: Students are reminded that all day classes begin at 7:00 am at the LTC. Trainees must come to class dressed as if they were reporting to work at a construction site. This includes appropriate work boots, long pants and shirt. Failure to do so can result in being asked to leave and to reschedule the class at a later date.*

### CONSTRUCTION LABORERS TRAINING CENTER

2350 Main Street  
Lino Lakes, MN 55038  
(651) 653-6710  
[www.Ltcmn.org](http://www.Ltcmn.org)

#### January 31, 2022

Fall Protection - Fargo, ND	Feb 03
Lead Worker Refresher	Feb 03
Intro to Union & Apprenticeship Program - Fargo, ND	Feb 03
Asbestos Supervisor Refresher	Feb 04
Asbestos Supervisor Refresher - Moorhead, MN	Feb 04
Lead Supervisor Refresher - Moorhead, MN	Feb 05

#### February 07, 2022

Asbestos Worker Initial	Feb 07-10
Blueprint Reading	Feb 07-11
Concrete Practices/Insulated Forms	Feb 07-11
Heavy Highway Skills/MnDOT Flag - Virginia, MN	Feb 07-11
Heavy Highway Skills/MnDOT Flag Pipelaying 1	Feb 07-11
Safety Week/OSHA 30/CPR First Aid	Feb 07-11
Torch Cutting Demo Safety	Feb 07-08
Welding/Torch Cutting Air Arc	Feb 07-Mar 11
Rigging & Signaling Qualified - 24 Hr	Feb 09-11
Intro to Union & Apprenticeship Program - Virginia, MN	Feb 10
Asbestos Worker Refresher	Feb 11
Mine Safety & Health Admin - Virginia, MN	Feb 12

#### February 14, 2022

Blueprint Reading - Mankato, MN	Feb 14-18
Blueprint Reading	Feb 14-24
Flagging/MnDOT - Duluth, MN	Feb 14
General Construction/Flagging/Pro-10	Feb 14-18
Hazardous Waste Initial	Feb 14-18
Line & Grade	Feb 14-18
Mason Tending	Feb 14-18
Plumbing Code - Duluth, MN	Feb 14
Safety Week/OSHA 30/CPR First Aid - Rochester, MN	Feb 14-18
Safety Week/OSHA 30/CPR First Aid	Feb 14-18
CPR/First Aid - Duluth, MN	Feb 15
Excavation Confined Space - Duluth, MN	Feb 16
Plumbing Code - Mankato, MN	Feb 16

Hazardous Waste Refresher - Duluth, MN	Feb 17
Intro to Union & Apprenticeship Program	Feb 17
Intro to Union & Apprenticeship Program - Online Training	Feb 17
Intro to Union & Apprenticeship Program - Rochester, MN	Feb 17
Intro to Union & Apprenticeship Program - Mankato, MN	Feb 17
Asbestos Supervisor Refresher - Superior, WI	Feb 18
Mine Safety & Health Admin - Duluth, MN	Feb 19

#### February 21, 2022

CPR/First Aid	Feb 21
Excavation Confined Space - St. Cloud, MN	Feb 21
General Construction/Flagging/Pro-10	Feb 21-25
Infection Control Risk Assessment (ICRA)	Feb 21-22
Pipelaying 2	Feb 21-25
Safety Week/OSHA 30/CPR First Aid	Feb 21-25
Scaffold Erecting Competent Person	Feb 21-25
Excavation Confined Space	Feb 22
Hazardous Waste Refresher - St. Cloud, MN	Feb 22
Air Sampling	Feb 23-24
CPR/First Aid - St. Cloud, MN	Feb 23
Hazardous Waste Refresher	Feb 23
Fall Protection	Feb 24
Mine Safety & Health Admin - St. Cloud, MN	Feb 24
Aerial Lift Training	Feb 25
Flagging/MnDOT - St. Cloud, MN	Feb 25
Plumbing Code - St. Cloud, MN	Feb 25

#### February 28, 2022

General Construction/Flagging/Pro-10	Feb 28-Mar 04
Heavy Highway Skills/MnDOT Flag	Feb 28-Mar 10
Lead Supervisor Initial	Feb 28-Mar 03
Line & Grade	Feb 28-Mar 04
Mine Safety & Health Admin/CPRFA	Feb 28-Mar 02
Pipeline Technology/MnDOT Flagging	Feb 28-Mar 04
Plaster Tending	Feb 28-Mar 04
Safety Week/OSHA 30/CPR First Aid	Feb 28-Mar 04
Mine Safety & Health Admin	Mar 03
Asbestos Worker Refresher	Mar 04
Lead Supervisor Refresher	Mar 04
Mine Safety & Health Admin - Grand Rapids, MN	Mar 05

## PREVENT COLD STRESS ON THE JOB THIS WINTER

In Minnesota and North Dakota, LIUNA members and Union contractors are generally well prepared to work in all weather conditions. Preparation has always been the key and it is crucial as we work in extreme cold weather elements.

### EMPLOYER TIPS FOR COLD WEATHER:

- Monitor workers' physical condition, looking out for signs of cold stress.
- Schedule breaks in warm, dry areas.
- Monitor the weather and try to schedule work during the warmest part of the day.

- When possible, use heaters to regulate worksite temperature.
- Implement the buddy system and train workers on common signs and symptoms of cold stress (e.g., shivering, confusion, slurred speech, heart rate/breathing slow, loss of consciousness).

- Monitor jobsites throughout the day for ice and snow conditions

### WORKERS TIPS FOR WORKING IN WINTER CONDITIONS:

- Dress in layers. The first two layers should be wool, silk or synthetic to keep moisture away from the body

and provide insulation. The outer layer should provide wind and rain protection and allow ventilation to prevent overheating.

- Avoid tight clothing, as it reduces blood circulation to vulnerable extremities like fingers and toes.
- Wear a hat that covers the ears, insulated gloves and insulated, waterproof work boots with good traction.

- Keep extra clothing handy in case you get wet and need to change.

For more information, visit the Laborers Health & Safety Fund of North America. [www.LHSFNA.org](http://www.LHSFNA.org)

Minnesota Laborers-Employers  
Cooperation & Education Trust-LECET  
81 East Little Canada Road  
Little Canada, MN 55117



\*\*\*\*\*AUTO\*\*ALL FOR AADC 553

City Administrator  
City of Spring Lake Park  
1301 81st Ave NE  
Spring Lk Pk MN 55432-2188

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3452  
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## LIUNA MINNESOTA DELIVERS OVER 40,000 MEALS

In record fashion, LIUNA Minnesota & North Dakota far eclipsed other previous food donation levels in the past with donations throughout the state. With 41,678 meals generated during this holiday season, that brings the total to over 125,000 meals donated since 2010.

The large increase of food donations this year can be attributed to the raising of over \$11,000 in cash which greatly aids the food shelves who then use the dollars to purchase perishable food items: fruits, milk, meat, bread. Included in this was a significant contribution of \$2,500

from Local 563 to Second Harvest Heartland. Donations went to the following food shelf distribution groups: The Food Group Twin Cities, Second Harvest Food Banks, CHUM in Duluth, Channel 1 Food Bank in Rochester, Bemidji Food Shelf, Grand Rapids Food Shelf, Salvation Army Virginia and Quad City Food Shelf.

Thank you to Zenith American Solutions, LIUNA Minnesota and the Laborers Training Center Staff and LIUNA member Trainees who contributed greatly to the effort along with LIUNA Locals 405, 563, 1091 and 1097.

