

Board of Zoning Appeals
Meeting Agenda
July 25, 2023
7:00 P.M.

PLEASE TURN OFF CELL PHONES

- I. CALL MEETING TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. MINUTES
 1. REGULAR MEETING OF June 27, 2023
- V. CORRESPONDENCE
 1. Anonymous Letter concerning BZA Application 20230116
 2. Email from Applicant requesting to Withdraw BZA Application 20230116
- VI. REPORTS
 - Report on Council
 - Report on Planning Commission
- VII. CHAIRMAN'S STATEMENT AND SWEARING IN OF APPLICANTS
- VIII. OLD BUSINESS
 1. Continued from June 6, 2023 BZA Special Meeting
Danielle & Joseph Little, Property Owner at 582 Smiley Ave, is requesting an Amended Variance concerning the existing gravel driveway in violation Zoning Code Section 153.302 (J); which requires all parking surfaces in the city to be improved with asphalt or concrete.
(BZA Application 20230116)
- IX. NEW BUSINESS
 1. Maple Knoll, the Property Owner at 11100 Springfield Pike, is requesting two Variances for the new proposed Coventry Pavilion located at 600 Maple Trace.
 - i. Variance One is a request to approve the proposed increase of light levels of 34 foot-candles for the new proposed pickleball courts in violation of Section 153.351(B)(2); where a light level of only 10 foot-candles is permitted for this development type.
 - ii. Variance Two is a request to approve one additional ground sign, proposed to be 78.2 square foot ground sign and 8 feet in height at the intersection of Maple Trace, where several ground signs already exist for the development. The new proposed ground sign is in violation of Section 153.459(C)(3); where only one ground sign is permitted per development.
PUBLIC HEARING (BZA Application 20230484)
- X. DISCUSSION
- XI. ADJOURNMENT

Note: The next Board of Zoning Appeals Meeting is scheduled for August 22, 2023.

BOARD OF ZONING APPEALS MEETING
JUNE 27, 2023
7:00 P.M.

I CALL MEETING TO ORDER

Meeting called to order by Chairman Anderson.

II ROLL CALL

Members Present: Jeffrey Anderson, Dave Nienaber, Tom Hall, Carolyn Ghantous, Douglas Stahlgren, David Gleaves (Michelle Miller was absent)

Staff Present: Carl Lamping

III PLEDGE OF ALLEGIANCE

IV MINUTES OF THE REGULAR MEETING OF MAY 23, 2023

Mr. Anderson: The next item on our agenda is the review of the minutes. The first one is for the regular meeting of May 23, 2023. If there are any additions or corrections. (None from Board members). I do have one I'd like to bring forward at this time. And, keep in mind as we go through the minute revision, I do want to say that we've, in the past year or two years, we switched to summary minutes, which can be challenging, so it's possible some things slipped through the cracks. It is not an easy job to review everything that gets said in these meetings, and make sure that all the key points are brought out. So, I don't want to make this seem like it's a "gotcha" moment. But, there is a key point in the minutes that I think was not reflected, or from the meeting, was not reflected in the minutes. Reviewing the draft minutes, on Page three after the first paragraph, and, for anyone that review the audio file for that meeting, it would be on file MZ000003.mp3, about 50 seconds in. The transcript, I had said, and this is a quote from the meeting, "I want to be clear about that, right? So, if they're approved to have access driveway, if it was a driveway, they're no longer that limitation, and they would be able to park multiple vehicles on it, if it was approved as an access driveway. That's why I was asking the questions about minimal and smaller variance, or a more tailored variance that would prevent you from having to dig up ten years of gravel because now we'd discovered this gravel driveway is there and you're not permitted to have it. So, I'm trying to understand what the impact is because, to me, it's a meaningful difference if it's been there for ten years. I have a hard time, when I go down the criteria saying that it damages the character of the neighborhood because it's been part of the neighborhood for ten years, so, that part isn't, at least for me, an issue. And, there are special circumstances where you should be able to maintain it, which you've talked about a bit, but then where's the harm? And, after ten years, I feel like being asked to dig up ten years of gravel is a lot, especially when we've permitted, as a Board, side gravel, and rear lot gravel. The front yard gravel I still have a challenge with, and this would be the first one that I'm aware of." So, knowing that that was said, in it, what I'm proposing the amendment make, and make it a motion to amend the minutes to reflect this. This summary should be added after that, "Mr. Anderson reviewed portions of the variance criteria, including character of the community, special circumstances, and unnecessary hardship and stated that the fact that the current gravel driveway, having been a part of the neighborhood for more than ten years, along with the City's position that to remediate the issue would be to dig up ten years of gravel completely. While the Board in the past has permitted similar side and rear gravel driveways meets the criteria for variance, at least for the side and rear drive." That would be the end of the amendment that I'm proposing. I do want to say though that while it's still in motion, to be aware that this is just to reflect what was said in the meeting. I'm not asking, as part of this to have debate or reopen discussion on that item that's still on our agenda later today. This is simply to have the fact that the minutes should reflect what was said in the meeting. It's not to debate that topic. It's just that that was said, and I felt it was an important point, especially since it commented directly on the special circumstances and hardship. So, that's my motion to amend before I ask for a second or discussion on that. Mr. Lamping did you have a comment?

Mr. Lamping: It's my understanding that the summary minutes summarize discussion, and the motion documents action. Based on the work done with the minutes that we currently have, I think that the documentation summarizes the discussion sufficiently. The points made during discussion are just discussion. They're not voted on. Unless they are written into the motion it is just discussion.

Mr. Anderson: And that point's well taken. I think in the past, in past minutes, if we review the BZA minutes, any time that we talk about special circumstances as a Board, those have been highlighted in the minutes, even if they're not part of the motion.

Mr. Lamping: I agree, when we were doing verbatim minutes. None of the enforcement of the variance comes from the discussion.

Mr. Anderson: That's true. So, this section, and before we get into more discussion on the amendment, I just want to make sure, right now, at this point, we just have a motion to amend with this section to reflect that those comments were part of the discussion. This portion of the minutes is for the discussion portion of that. In order for us to amend the minutes, we would need to second and then vote on it in order to have that be entered as the corrected minutes. So, at this point there's just a motion to amend. Is there a second? (Mr. Stahlgren or Ms. Ghantous?) So, moved and seconded. So, now we can continue discussion on the motion to amend the minutes. So, is there anyone else that wants to speak on whether or not we should amend the minutes to reflect that summary statement that I provided? (none) Seeing none, at this point, I will do it by voice acclamation. All those in favor of amending the minutes as read, signify by saying "Aye". Opposed (none). Abstaining (Mr. Nienaber). One abstention. The motion to amend the minutes to reflect the statement provided earlier has been approved. At this point, we're still reviewing the minutes from May 23rd. Are there any other additions or corrections that we want for those minutes? (None) Seeing none, we'll do by voice acclamation again. All those in favor of approving the minutes as amended signify by saying, "Aye". I'm sorry, I made a mistake there. We need a motion to approve the minutes first.

Motion to approve the minutes as amended by Mrs. Ghantous and seconded by Mr. Stahlgren.

(Voice vote taken and the minutes were approved with a vote of 5 to 0, with one abstention {Nienaber})

MINUTES OF THE SPECIAL MEETING OF JUNE 6, 2023

Motion to approve the minutes presented by Mrs. Ghantous and seconded by Mr. Gleaves.

(Voice vote taken and the minutes were approved with a vote of 6 to 0)

V CORRESPONDENCE

None.

VI REPORTS

Report on City Council

Mrs. Ghantous provided a report on City Council meeting held on June 21, 2023. Springdale Police Chief Wells was recognized for his 33 years of service and his upcoming retirement. There were four ordinances presented at the meeting. Mrs. Ghantous stated that if individuals wanted further information, the recordings can be found on the City's website.

Report on Planning Commission

Mr. Hall provided a report on the Planning Commission for June 13, 2023. Overbeck Auto came before the Commission, which passed 6-0. Wawa store development was also brought before the Commission. That passed with a 6-0 vote as well. There were no questions or discussion.

VII CHAIRMAN'S STATEMENT

Chairman Anderson read the Chairman's Statement.
One member of the audience, Mr. Bush was sworn in.

VIII OLD BUSINESS

1. Continuation from June 6, 2023 BZA Meeting (Application # 20230116).
Danielle and Joseph Little, Property owner at 582 Smiley Ave., is requesting a variance to maintain the existing gravel driveway in violation of Zoning Code Section 153.302(J); which requires all parking surfaces in the City to be improved with asphalt or concrete

Mr. Anderson did state that the Board did receive communication from the applicant and the applicant had requested, due to the timing of this continued hearing to be pushed to the July 25, 2023 meeting, and have asked for this case to be tabled this evening. This information was confirmed by Mr. Lamping. Mr. Anderson stated that the Board had the option to table the application, or take other action as the Board saw fit. Mr. Hall made a motion to table Application # 20230116 until the July 25, 2023 meeting. Mr. Gleaves seconded the motion. The Board voted 6-0 to table Application 20230116 until the July 25, 2023 meeting.

IX NEW BUSINESS

1. **PUBLIC HEARING** (Application #20230379)
Maple Knoll, the Property Owner at 600 Maple Trace, is requesting a Variance to permit an 8 foot high chain link type fence around the proposed new pickle ball courts in violation of Zoning Code Section 153.253(E)(5)(c)ii; which permits chain link type fences only in the General Industrial "GI" zoning district.

Mr. Lamping, Building Official, gave an overview of the project.

Mr. Bush from J and L Architects stated that Mr. Lamping's overview explained the project as needed. Public Hearing was opened for the audience to speak for or against the variance. There were no members of the audience that came forward.

Mr. Stahlgren asked for clarification on the custom graphic mesh that was to be included on the fencing around the pickle ball court. Mr. Bush stated that it would be a wind break fabric that would go over the fencing. While a logo was originally part of the project, there will no longer be a logo there on the fabric. The fabric will act as a wind break, as well as a sound reduction measure.

Mr. Stahlgren asked about the wooden posts that were in the drawings presented to the Board of Zoning Appeals. Mr. Bush stated that the posts were added on either end for some lighting and decorative effect to break down the overall mass of the court as perceived from the street.

Mr. Stahlgren also noted that although landscaping was not required, there was significant landscaping added. Mr. Stahlgren asked if that could be added as part of the variance. Mr. Lamping stated that the landscaping that had been proposed was submitted through Planning Commission. It is a code requirement as something that the applicant is providing as part of the Planning Commission approval.

Mr. Stahlgren stated that as he looked at the zoning and the codes as to what was permissible, he was wondering if the cost of a rot iron fence or an aluminum slat-type fence were feasible. Mr. Bush stated that both types of fencing are cost prohibitive to the project, and, much more rigid and not conducive to individuals if they move into the fence while playing on the court. The chain link fence that was proposed does have a bit more "give" than a rot iron or aluminum slat fence would.

Mr. Gleaves asked how far the fence would be away from the perimeter of the pickle ball court. Mr. Bush stated that it appears that the dimensions are approximately

eight feet from the side, and the end dimension was ten feet, four inches, which is a standard pickle ball court size.

Mr. Hall asked staff if there was any conflict directly that granting this would be in direct conflict with any City ordinance. Mr. Lamping stated that while there is a code requirement for this zone classification "PF" that no chain link is allowable. While there are other districts in the City that allow for chain link fence, the specific provision that barbed wire is not allowable.

Mr. Anderson asked Mr. Lamping if the height of the chain link fence was an issue. Mr. Lamping stated that eight feet is compliant. Mr. Lamping added that the material was the item in question before the Board. Mr. Anderson added that staff comments had also indicated that the proposed pickle ball court would not function well with a wooden or vinyl fence, since the ball would pass through the slats, in addition to comments from the applicant regarding the "give" factor of the chain link fence.

Mr. Stahlgren asked if the fabric was a requirement since he did not find that information in the packet provided to the board members. Mr. Lamping stated that he believed that the fabric would be code-compliant. The material of the fence that was cited as non-code-compliant. No other comments or questions came forward from the audience after questions were answered from the Board.

Mr. Stahlgren made a motion to grant a variance to property owner Maple Knoll, 600 Maple Trace regarding BZA Application 20230379. Applicant is requesting a variance to Springdale Zoning Code Section 153.253 302(E)(5)(c)(ii), which permits chain link type fences only in a General Industrial Zoning District. Specifically, the applicant is requesting a variance to permit the use of chain link fencing in a non-industrial public facilities zone. The Code permits fencing in public facilities zones to be constructed out of wood, vinyl, rot iron, aluminum, or similar materials. Details of the request are to enclose the pickle ball court with the chain link fence. Mr. Hall seconded the motion.

Mr. Anderson asked Mr. Lamping if he felt that the motion as read is in line with the applicant's intent and something that he would be able to execute. He said it would be. Mr. Lamping found an error in the Code that was cited in the original motion. While Mr. Lamping was looking to verify the Code to be used, Mr. Anderson added that he did believe that the factors required for a variance have been met reviewing them, including, but not limited to the special considerations that he had mentioned earlier that the proposed pickle ball court would not function well with wood or vinyl fence, as well as the safety concerns. Mr. Lamping gave an update stating that the Code should read 153.253(E)(5)(c)(ii). Mr. Anderson requested a motion to amend the original motion for clarification. Mr. Nienaber made a motion to amend the original motion from 153.253 302(E)(5)(c)(ii) to be 153.253(E)(5)(c)(ii). Mrs. Ghantous seconded the motion. By voice acclamation, the motion to amend the original motion was approved 6-0. A vote was taken and this variance was granted 6-0.

X DISCUSSION

Mr. Lamping asked if Mr. Anderson wanted to bring up discussion of a sub-committee within Board of Zoning Appeals. Mr. Anderson stated that he, Mr. Lamping, and Mr. Braun had discussed creating a working group inside of the Board of Zoning Appeals to take a look at some of the processes and procedures. Mr. Anderson stated that this could be discussed in greater detail at the July or August meetings.

XI ADJOURNMENT

Mr. Nienaber made a motion to adjourn and Mr. Hall seconded.

Mr. Anderson stated we are adjourned.

Respectfully submitted,

_____, 2023 _____
Chairman, Jeffrey Anderson

_____, 2023 _____
Secretary, Tom Hall

June 23, 2023

Re: Upcoming Board Meeting on June 28, 2023
Concerning Amended Variance Request for
582 Smiley Avenue



To the Members of the Zoning Board:

I live on the Smiley and frequently drive or walk by this house. As you are most likely already aware, since they moved in there have been a lot of vehicles parked in their side yard at any given time. I and other neighbors wondered why the police or city never said or did anything to stop it. It has been going on for approximate 2 years. I am glad something is being done about it now. During that time most of the gravel from that driveway has disappeared. It was never kept up and driving numerous vehicles over it time and time again, the gravel is nearly gone. Surely this was part of the violation, not just the fact that there were weeds where the gravel used to be.

I have read the minutes of the May 23, 2023, meeting. I'm not sure I completely understand what they are intending to do.

I would like to address an issue that is incorrect regarding information provided by the wife at the May 23, 2023, BZA Hearing. Up until a few years ago, I believe it was 2018, the parking was on one side of Smiley Avenue (south side) and the fire hydrants and mailboxes were on the opposite side (the north side). It is true the City moved the parking to the north side of Smiley Avenue and this was due to the fact that the City moved the fire hydrants to the south side of Smiley Avenue. The mailboxes were *never* moved. To my knowledge the mailboxes have been in the same place for several decades. I do not understand why this would make a difference with the decision on whether to approve a variance. Since they moved in they haven't had any issue with getting all those vehicles in and out of their yard even with the mailboxes there.

I'm not sure what she means when she says the "situation of the street parking?" For one thing, recreational vehicles aren't allowed to be parked on the street, are they? Also, there doesn't seem to be big issue with parking on the street near that house. I've noticed in passing that the guy right across from them occasionally parks his truck in front of their house, but there is room behind that most of the time. There is no reason to block the mailboxes. There is rarely any cars parked between the mailboxes and the next driveway up since someone finally moved that car that sat there for several years and wasn't moved.

Please note, the previous owner only kept one vehicle, a camper or RV, parked there and had a nice gravel driveway. That is why they gravel drive started at the side of their driveway, and not from the street. The mailboxes were no issue for them. No complaints from the neighbors about the gravel drive or the RV, therefore, no reason for the city to ever find the previous owners in violation of anything. It always looked nice, and they always kept it looking nice for several years. I always enjoyed walking by and seeing the pretty house and yard. Now when I walk by, it seems a mess. Stuff leaning against the outside garage wall and outside of the fence. Recently I noticed stuff stored under the front of the camper. They did have a flag in their front landscaping that said, Welcome to the shithouse. Offensive, yet it says so much about that house.

Questions that come to mind:

1. If the variance is approved and they extend the fence to the edge of the garage, are they also planning to widen the fence?
2. Is the plan to park both vehicles behind the fence? It doesn't appear that there would be enough room to park both end to end. The camper/RV looks to be longer than the garage itself.
3. Is it their plan to park one behind the fence and the other in the yard beside the fence? This would mean two vehicles in their side yard. Wouldn't this be a violation of the number of vehicles allowed in the side yard?
4. Without a driveway of some type, wouldn't there be tire tracks in the yard that would eventually kill the grass? They come and go a lot with the camper and boat. Sometimes the boat is parked there and sometimes the camper.
5. If a concrete driveway was put in where the gravel driveway used to be, would they only be allowed to park one recreational vehicle there? It's still a side yard and this would need to be clarified for everyone.

You've already got people parking a bus and flat bed tow truck in their driveways on this street with nothing being done about that. I think I speak for a few other people on this street when I say it is just asking for trouble to approve a variance of any kind. They have already proven they didn't take care of what they already had.

Maybe you should take a drive by there and see for yourself before making a decision. I want to remain anonymous. Thanks.

Carl Lamping

From: Danielle Little <dreneelittle@gmail.com>
Sent: Sunday, July 9, 2023 8:54 AM
To: Carl Lamping
Subject: Re: BZA Application No. 20230116 - Little - 582 Smiley Ave

Carl,

Please withdraw our variance request.

Thank you,
Danielle

On Thu, Jul 6, 2023 at 5:16 PM Carl Lamping <CLamping@springdale.org> wrote:

Good Afternoon Ms. Little.

The City Board of Zoning Appeals (BZA) indicated at their June 27, 2023 meeting, that your project will be discussed during July 25, 2023 meeting, and that they intend to discuss and render a decision on your variance request.

The City has not yet received a written amended variance from you as requested by the BZA at the June 6, 2023 BZA meeting.

To consider an amended request, the City will need your written amended variance request by 8:00 am Monday morning to make the announcement deadlines for the Public Hearing.

Without a written amended variance request, the BZA will be forced to consider the original written request for a variance.

Please let the City know your intentions.

Thanks in advance.

Carl.

Carl Lamping

Director/Building Official

Building Department



11700 Springfield Pike • Springdale, Ohio 45246

(513) 346-5730 • www.springdale.org

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CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Maple Knoll Village - Coventry Pavilion **Area of Development:** 0.60 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 600 Maple Trace / 11100 Springfield Pike Springdale, OH 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Applicant: JMM Architects, Inc. - Steve Busch 614-326-5565
(Name) (Daytime Phone Number)

4685 Larwell Dr., Columbus, OH 43220 steve@jmmarch.com
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: <https://www.springdale.org/building-department.aspx>

<input type="checkbox"/> Major Project: Application process requires a Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council. Include <u>Major Projects Submission Requirements</u> Document with this Application <i>Project Types include the following: (Pick 1 Below)</i>	<input type="checkbox"/> Minor Project: Application process requires a Meeting and a Decision by Planning Commission. Include <u>Minor Project Submission Requirements</u> Document with this Application <i>Project Types include the following: (Pick 1 Below)</i>	<input checked="" type="checkbox"/> BZA Hearing: Application process requires a Public Hearing and a Decision by the Board of Zoning Appeals. Include <u>BZA Submission Requirements</u> document <i>Project Types: (Pick 1 Below)</i>
<input type="checkbox"/> Zoning Text or Map Amendments Describe Zone Change and Total (Net) Acres Below Section 153.202	<input type="checkbox"/> Concept Plan (Hearing by PC/ No Decision) <input type="checkbox"/> Development Plan Section 153.203 <input type="checkbox"/> Conditional Use Permits Section 153.204 <input type="checkbox"/> Determination of Similar Uses Sec 153.205	<input checked="" type="checkbox"/> Variance Section 153.206
Planned Unit Development (PUD): <input type="checkbox"/> Preliminary Development Plan Sec 153.255(F)(1) <input type="checkbox"/> Major Modification Section 153.255 (H)(1)	Planned Unit Development (PUD): <input type="checkbox"/> Final Development Plan Section 153.255(F)(5) <input type="checkbox"/> Minor Modification Section 153.255 (H)(2)	<input type="checkbox"/> Appeal Section 153.208
Transition Overlay District (T-District): <input type="checkbox"/> Preliminary Development Plan Sec 153.256(F)(1) <input type="checkbox"/> Major Modification Section 153.256 (G)(1)	Transition Overlay District (T-District): <input type="checkbox"/> Final Development Plan Sect. 153.256 (F)(5) <input type="checkbox"/> Minor Modification Section 153.256 (G)(2)	
	<input type="checkbox"/> Route 4 Corridor Review District Plan All new <u>exterior</u> work on properties in the Rt 4 Corridor required to be Approved. Sec 153.257(I)	

BRIEFLY DESCRIBE PROJECT: _____
(Provide Existing and Proposed Zoning for this Property)
 Maple Knoll Village wants to improve their community activity spaces. The existing 10,234 sf Manor House will be demolished and replaced with the 6,780 sf (including porches) Coventry Pavilion. This community building will have multi purpose spaces and exterior activities, including pickle ball and a putting green. Ownership requests variances to permit lighting levels of maximum of 34 fc, and a new ground sign located approximately 1500 feet from the public right of way.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

(12/16/2020) Andrew Craig Andy Craig June 30, 2023
(Signature of Owner/Agent) (Print Name) (Date)



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Maple Knoll Village - Coventry Pavilion **Total Area/Development:** 0.60 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 600 Maple Trace / 11100 Springfield Pike Springdale, OH 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: 37.865 Acres **Parcel ID:** 059900 41-0040-00
(From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

Property Owner: Maple Knoll Communities **513-782-2717**
(Name From Auditor's Website) (Daytime Phone Number)

11100 Springfield Pike, Cincinnati, OH 45246 **craig@mkcommunities.org**
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

STATE OF OHIO, COUNTY OF HAMILTON

I (we) Andy Craig, Vice President, hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.



SHIRL A. MILLER
NOTARY PUBLIC, STATE OF OHIO
 My Commission Expires 7/14/2023

Andrew Craig
 Signature

11100 Springfield Pike
 Mailing Address

Cincinnati, OH 45246
 City and State

513-782-2721
 Phone

Subscribed and sworn to before
 me this 30th day of June, 2023

Shirl Miller
 Notary Public



**APPLICATION FOR
ZONING VARIANCE or ADMINISTRATIVE APPEAL
CITY OF SPRINGDALE BUILDING DEPARTMENT
11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
TELEPHONE: (513) 346-5730**

1.) Please describe in detail your request for a Variance or Appeal.

Ownership requests two variances:

Lighting Levels: Request a maximum of 34 fc site lighting instead of the maximum 10 fc defined in the zoning code.

Ground Sign: Request a new ground sign located approximately 1500 feet from the public right of way.

**2.) FOR AN ADMINISTRATIVE APPEAL ONLY, Please indicate how you believe the Building Department or the Springdale Planning Commission erred in interpreting or applying the Zoning Code with respect to your application.
(If this Application is for a VARIANCE, please mark this question Not Applicable.)**

(attach additional pages as necessary)

DESCRIPTION OF REQUEST AND REASONS FOR VARIANCE

THE FOLLOWING ITEMS ARE REVIEWED BY THE BOARD AND ARE KEY TO SECURING A VARIANCE. ALL SECTIONS MUST BE ANSWERED FULLY AND COMPLETELY AND LEGIBLY WRITTEN OR TYPED (Attach additional pages if necessary).

1. Explain in detail what unusual characteristics about your property that make it impractical to comply with the Zoning Code requirements (i.e. topography or slope, narrow lot, irregular shaped lot, vegetation, location of existing structures, etc.).

Lighting: Pickle ball requires a minimum of 20 to 30 fc average light across the court for recreational use. To obtain these averages our fixtures will have areas at the that are 34 fc that transition to approximately 20 fc at the back of the court.

Ground Sign: The Maple Knoll Village sits on approximately 47 acres. On the back 13 plus acres is the Coventry Court community. The existing community building is being replaced with the recently submitted Coventry Pavilion. The owner would like to install a ground sign specifically defining this area of the campus. The proposed sign is approximately 1500 feet from the public-right-of-way and is only visible to the community. The sign terminates at the end of this entry road and needs to be large enough for people to read as they approach the Coventry Court area.

2. Please explain in detail how you would be deprived from using your property in a manner currently enjoyed by your neighbors, if your variance request were denied.

Lighting: The maximum 10 fc lighting level defined in the zoning code would not permit the safe use of the pickleball court in the evening.

Ground Sign: The sign helps create a sense of place within the overall Maple Knoll community. Residents and visitors are able to identify and locate the area with greater ease with ground signage. A 6 sf directional sign would be too small for senior residents to see until they were at the three way stop within this are of the campus.

3. Did you purchase the property with knowledge of the zoning restriction? If no, were you aware that zoning requirements existed in Springdale? If no, please explain.

Lighting: We were unaware of the maximum foot candle requirement defined in the zoning code.

Ground Sign: The originally submitted sign had directional component that were removed. We thought this brought us into compliance with zoning as a ground signs requirement of 100 sf and max 8'-0" in height. We were not aware of the single ground sign restriction to be located on the public-right-of-way.

4. Are there ways in which you could use the property as desired and comply with the Zoning Code? Please explain.

Lighting: Without the variance the pickleball court lighting would have to be eliminated. It would not be practical or safe to play pickleball in the evening with 10 fc of light.

Ground Sign: We could produce a much smaller 6 sf sign; unfortunately, senior residents would not be able to read the sign until they reached they were at the sign. The sign would also not create a sense of place.

(attach additional pages as necessary)

**MAPLE KNOLL VILLAGE
COVENTRY PAVILION**



OVERALL SITE PLAN
SCALE: 1" = 100'-0"

ZONING CODE INFORMATION

ZONING CLASSIFICATION: PF-2, CITY OF SPRINGDALE

PROJECT: MAPLE KNOLL VILLAGE - COVENTRY PAVILION
PROJECT ADDRESS: 600 MAPLE TRACE DR. CINCINNATI, OH 45246

EXISTING MANOR HOUSE: 10,234 SQ. FT.
EXISTING PARKING SPACES: 106 SPACES

COVENTRY PAVILION: 6,962 SQ. FT. (PORCH INCLUDED)
PARKING SPACES AFTER CONSTRUCTION: 104 SPACES

PROJECT SUMMARY:

EXISTING MANOR HOUSE IS TO BE DEMOLISHED. NEW COVENTRY PAVILION IS TO BE BUILT AT THE SAME LOCATION. COVENTRY PAVILION WILL BE 6,692 SQ. FT. AND INCLUDE NEW OUTDOOR AMENITIES: PUTTING GREEN, PICKLEBALL COURT, AND OUTDOOR RECREATION.



COVENTRY PAVILION - SITE PLAN
SCALE: 1" = 10'-0"





JAMES MICHAEL MILLIGAN
STEPHEN A. BUSCH

4685 LARWELL DRIVE COLUMBUS, OHIO 43220
(614) 326-5565 FAX: (614) 326-5566
WEB SITE: WWW.JMMARCH.COM

June 27, 2023

City of Springdale – Building Department
11700 Springdale Pike
Springdale, Ohio 45246

RE: Maple Knoll Village - Coventry Pavilion Variance Request
Application #20230452

Dear Zoning Department:

Please accept the enclosed Variance Request for the Maple Knoll Village Coventry Pavilion at 600 Maple Trace permitting the proposed ground/directional sign and pickleball court lighting.

The applicant submitted a photometric lighting plan and cut sheets. Staff would consider the site a “medium intensity use” which allows an average light level of 2.0 footcandles and a maximum of 10.0 footcandles. The photometrics submitted indicates a maximum average 64-foot candles on the pickle ball court and 2.5 footcandles site wide. The Board of Zoning Appeals will need to approve the proposed increase of light levels over those permitted by Section 153.351(B)(2).

The permitting the proposed ground/directional signage to include an 80-sf structure and 28 sf of text and logo.

The documents defined 64 fc light level on the pickleball court. We are revising the site lighting to reduce the foot candles on site to a maximum of 34 fc. The light level was originally defined for Club Level pickleball court. Recreational level pickleball courts require 20 to 30 fc of light across the entire surface. In senior developments lighting levels need to be a little higher, so we propose reducing the light level to 34 fc at the center of the court. This light level reduces to approximately 20 fc at the back of the court in this arrangement. This exceeds the maximum of 10 fc permitted by zoning, but reduces the site average to 2.0 fc. The owner requests a variance to permit maximum lighting at 34 fc on site.

The applicant indicates they are proposing a 78.2 square foot ground sign at 8’ in height at the intersection of Maple Trace, which is a private road. Ground signs are only permitted if the parcel is adjacent to a public right-of-way, with only one Maple Knoll sign permitted per development. Several ground signs already exist for the development. To construct the sign as proposed would require a variance from Section 153.459(C)(3) from the Board of Zoning Appeals.

The owner requests a variance to permit a ground sign approximately 1,500 feet from the public right-of-way to define the Coventry Court community at the back of the Maple Knoll Village campus.

Enclosed is the Variance Application and supporting information. If additional information is required or if there are questions, please contact me at the phone number above or my email: steve@jmmarch.com.

Sincerely,

Stephen A. Busch
Vice President,
JMM Architects, Inc.



June 22, 2023

Mr. Carl Lamping
Building Official
City of Springdale
11700 Springfield Pike
Springdale, OH 45246

Via Email

RE: Maple Knoll Village
Coventry Pavilion
600 Maple Trace
Application #20230384

Dear Mr. Lamping:

It is our understanding Maple Knoll filed construction documents on May 31, 2023, which we received on June 13, 2023, for the development of a new community center. This development plan was reviewed and approved with conditions by the Planning Commission on May 9, 2023. Following are our review comments of the current construction submission:

- 1) The applicant submitted a photometric lighting plan and cut sheets. Staff would consider the site a “medium intensity use” which allows an average light level of 2.0 footcandles and a maximum of 10.0 footcandles. The photometrics submitted indicates a maximum average 64-foot candles on the pickle ball court and 2.5 footcandles site wide. The Board of Zoning Appeals will need to approve the proposed increase of light levels over those permitted by Section 153.351(B)(2).
- 2) The Board of Zoning Appeals will need to approve a variance request for the construction of an eight-foot chain link fence to surround the pickle ball court which is not permitted per Section 153.253 (E)(5)(C) in the “PF” Public Facilities District.
- 3) The applicant indicates they are proposing a 78.2 square foot ground sign at 8’ in height at the intersection of Maple Trace, which is a private road. Ground signs are only permitted if the parcel is adjacent to a public right-of-way, with only one Maple Knoll sign permitted per development. Several ground signs already exist for the development. To construct the sign as proposed would require a variance from Section 153.459(C)(3) from the Board of Zoning Appeals.

Should you have any questions, please call me (513-673-4225).

Sincerely,

Anne F. McBride, FAICP

AFM/ss

MDC #5018

**CONDITIONS AND FINDINGS OF THE BOARD OF ZONING APPEALS
VARIANCE ONE**

Application Number: **202300484**

Property Address: **11100 SPRINGFIELD (600 MAPLE TRACE) (PF Zoning District)**

Date of Meeting: **July 25, 2023**

Requested Variance: **Maple Knoll, the Property Owner at 600 Maple Trace, with this application is requesting TWO Variances.**

Variance One is a request to approve the proposed increase of light levels of 34 foot-candles for the new proposed pickleball courts in violation of Section 153.351(B)(2); where light level of only 10 foot-candles is permitted for this development type.

(Extracted from Zoning Code Section 153.206 (B) Review Factors

CRITERIA	STAFF COMMENT	NOTES
Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district; examples of such special conditions or circumstances are: exceptional irregularity, narrowness, shallowness, or steepness of the lot, or adjacency to nonconforming and inharmonious uses, structures, or conditions.	Staff believes there are special circumstances. The proposed pickleball court would not function well with a light level of only 10 foot candles. In an effort to comply with the intent of the Zoning Code, the Applicant has reduced the request from 64 foot candles to 34 foot candles.	
Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.	We believe the property will yield a reasonable return without the variance.	
Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures.	We believe this request for a Variance is NOT substantial.	
Whether the essential character of the neighborhood would be substantially altered or whether adjacent properties would suffer substantial detriment as a result of the variance.	We believe the essential character of the neighborhood would NOT be substantially altered; as the light from the pickleball court should not leave the property and should not affect the adjacent properties.	
Whether the variance would adversely affect the delivery of governmental services such as water, sewer, and refuse pick-up	We believe the variance would NOT adversely affect the delivery of governmental services.	

**CONDITIONS AND FINDINGS OF THE BOARD OF ZONING APPEALS
VARIANCE ONE**

Application Number: **202300484**

Property Address: **11100 SPRINGFIELD (600 MAPLE TRACE) (PF Zoning District)**

Date of Meeting: **July 25, 2023**

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Variance One is a request to approve the proposed increase of light levels of 34 foot-candles for the new proposed pickleball courts in violation of Section 153.351(B)(2); where light level of only 10 foot-candles is permitted for this development type.

CRITERIA	STAFF COMMENT	NOTES
Whether special conditions or circumstances exist as a result of actions of the owner	No Special Conditions are known	
Whether the property owner's predicament can feasibly be obviated through some method other than a variance	None identified by the applicant.	
Whether the spirit and intent behind these code requirements would be observed and substantial justice done by granting a variance	The spirit and intent behind the code requirements would be observed by granting a variance	
Whether the granting of the variance requested will confer on the owner any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district	We believe that granting this variance requested would NOT confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district	
No single factor listed above may control, and not all factors may be applicable in each case. Each case shall be determined on its own facts		

**CONDITIONS AND FINDINGS OF THE BOARD OF ZONING APPEALS
VARIANCE TWO**

Application Number: **202300484**

Property Address: **11100 SPRINGFIELD (600 MAPLE TRACE) (PF Zoning District)**

Date of Meeting: **July 25, 2023**

Requested Variance: **Maple Knoll, the Property Owner at 600 Maple Trace, with this application is requesting TWO Variances.**

Variance Two is a request to approve one additional ground sign, proposed to be 78.2 square foot ground sign and 8 feet in height at the intersection of Maple Trace, where several ground signs already exist for the development. The new proposed ground sign is in violation of Section 153.459(C)(3); where only one ground sign is permitted per development.

(Extracted from Zoning Code Section 153.206 (B) Review Factors

CRITERIA	STAFF COMMENT	NOTES
Whether special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable generally to other lands or structures in the same zoning district; examples of such special conditions or circumstances are: exceptional irregularity, narrowness, shallowness, or steepness of the lot, or adjacency to nonconforming and inharmonious uses, structures, or conditions.	Staff believes there are special circumstances. The proposed ground sign illustrates the location of the proposed new Coventry Building on the Maple Knoll property.	
Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.	We believe the property will yield a reasonable return without the variance.	
Whether the variance is substantial and is the minimum necessary to make possible the reasonable use of the land or structures.	We believe this request for a Variance is NOT substantial.	
Whether the essential character of the neighborhood would be substantially altered or whether adjacent properties would suffer substantial detriment as a result of the variance.	We believe the essential character of the neighborhood would NOT be substantially altered; as the new ground sign will help visitor locate the new building within the development.	

**CONDITIONS AND FINDINGS OF THE BOARD OF ZONING APPEALS
VARIANCE TWO**

Application Number: **202300484**

Property Address: **11100 SPRINGFIELD (600 MAPLE TRACE) (PF Zoning District)**

Date of Meeting: **July 25, 2023**

Requested Variance: **Maple Knoll, the Property Owner at 600 Maple Trace, with this application is requesting TWO Variances.**

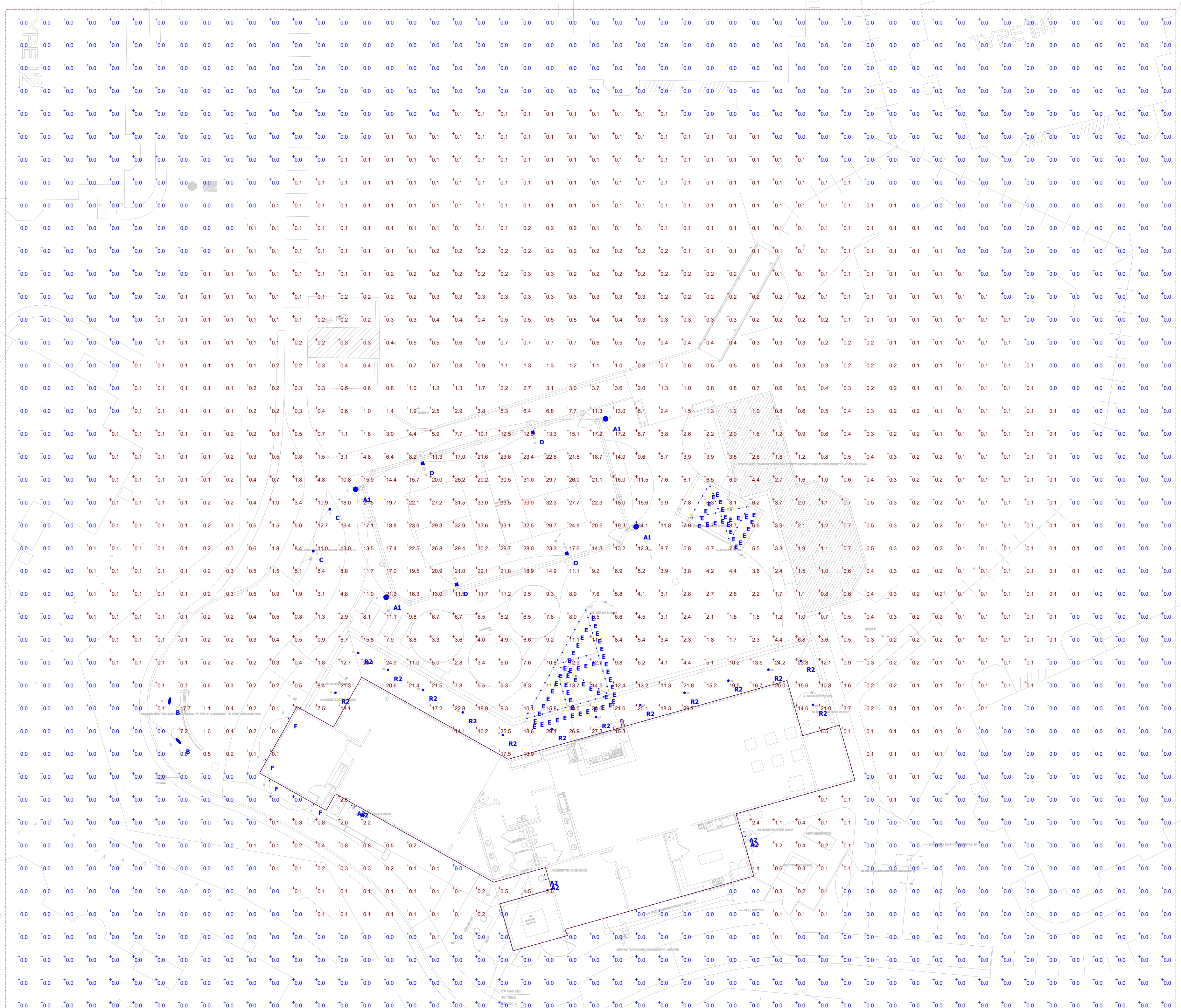
Variance Two is a request to approve one additional ground sign, proposed to be 78.2 square foot ground sign and 8 feet in height at the intersection of Maple Trace, where several ground signs already exist for the development. The new proposed ground sign is in violation of Section 153.459(C)(3); where only one ground sign is permitted per development.

CRITERIA	STAFF COMMENT	NOTES
Whether the variance would adversely affect the delivery of governmental services such as water, sewer, and refuse pick-up	We believe the variance would NOT adversely affect the delivery of governmental services.	
Whether special conditions or circumstances exist as a result of actions of the owner	No Special Conditions are known	
Whether the property owner's predicament can feasibly be obviated through some method other than a variance	None identified by the applicant.	
Whether the spirit and intent behind these code requirements would be observed and substantial justice done by granting a variance	The spirit and intent behind the code requirements would be observed by granting a variance	
Whether the granting of the variance requested will confer on the owner any special privilege that is denied by this regulation to other lands, structures, or buildings in the same district	We believe that granting this variance requested would NOT confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district	
No single factor listed above may control, and not all factors may be applicable in each case. Each case shall be determined on its own facts		

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.9 fc	33.9 fc	0.0 fc	N/A	N/A

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
○	A		0	RAB LIGHTING INC.			1	2059	0.91	19,276Z	
○	B		2	RAB LIGHTING INC.			1	2059	0.91	19,276Z	
□	C		2	RAB LIGHTING INC.	BLED24		1	2724	0.91	22,537Z	
○	E		74	GREEN CREATIVE LTD		STRING LIGHTS	1	989	0.91	7.7	
○	R2		14	Lithonia Lighting	LDN6 ALOZ (2000LM) SWH1 (3500K) AN LSS RCR1	6IN LDN Downlight 2000LM 3500K Clear Semi-Specular RCR1	1	2600	0.91	24.98	
□	D		4	LSI INDUSTRIES, INC.	ZNH-24L-CT-50-SH		1	20104	0.91	160	
□	A2		6	GREEN CREATIVE LTD			1	953	0.91	9.14	
○	F		0	RAB LIGHTING INC.	COLED2W-20W-200940	EXTRUDED BLACK PAINTED ALUMINUM HOUSING, 2 WHITE CIRCUIT BOARD EACH WITH ONE LED, POLYCARBONATE TRIM LENS ON TOP OF THE LED, ALUMINUM TRIM DOOR WITH GLASS LENS.	2	340	0.91	21.1	
○	F		4	RAB LIGHTING INC.	COLED2(W), S, PC, PS-10W-202940	EXTRUDED BLACK PAINTED ALUMINUM HOUSING, 1 WHITE CIRCUIT BOARD WITH ONE LED, POLYCARBONATE TRIM LENS ON TOP OF THE LED, ALUMINUM TRIM DOOR WITH GLASS LENS.	1	754	0.91	12	
○	A1		4			516 - 41 - 31DCG - LVE01-2530 - 1800	1	1800	0.91	16,619	



Plan View
Scale - 1" = 16'

ABBREVIATIONS

AB	ANCHOR BOLT	G.L.B.	GLUED LAMINATED BEAM
A.C.	AIR CONDITIONING	GA.	GAUGE
A.D.	ACCESS DOOR	GALV.	GALVANIZED
A.F.	ACCESS PANEL	GALV.I.	GALVANIZED IRON
A.T.	ACOUSTIC TILE	G.T.F.	G.T.F.SUM
AC.	ACOUSTIC		
ADJ.	ADJUSTABLE	H.M.	HOLLOW METAL
A.I.B.	AIR INFILTRATION BARRIER	H.W.	HARDWARE
ALT.	ALTERNATE	HORIZ.	HORIZONTAL
ALUM.	ALUMINUM	HT.	HEIGHT
ASPH.	ASPHALT		
A	AT	I.D.	INSIDE DIAMETER
		INSUL.	INSULATION
		INT.	INTERIOR INV. INVERT
BM.	BEAM	JT.	JOINT
BET.	BETWEEN	K.O.P.NL.	KNOCK OUT PANEL
B.C.	BOTTOM CURB	LAM.PLAS.	LAMINATED PLASTIC
BLDG.	BUILDING		
BLKG.	BLOCKING		
B.N.	BULL NOSE	MAX.	MAXIMUM
BOT.	BOTTOM	M.C.B.	METAL CORNER BEAD
B.U.	BUILT UP	MECH.	MECHANICAL
BULL.	BULLETIN	MET.	METAL
		MFR.	MANUFACTURER
C.B.D.	CHALK BOARD	MIN.	MINIMUM
CAB.	CABINET	M.O.	MASONRY OPENING
C.B.	CATCH BASIN	MOSAIC	MOSAIC
CEM.	CEMENT	MET.P.S.	METAL PLASTER SCREED
CER.	CERAMIC		
C.I.	CAST IRON		
C.L.G.	CEILING	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	O.A.	OVERALL
CONST.	CONSTRUCTION	O.C.	ON CENTER
CONT.	CONTINUOUS	O.D.	OUTSIDE DIAMETER
CONTR.	CONTRACTOR	OPNG.	OPENING
C.S.F.H.	COUNTERSINK FLAT HD.	OPP.	OPPOSITE
C.L.	CENTERLINE		
C.T.	CERAMIC TILE	PL.	PLATE
		PLAS.	PLASTER
DBL.	DOUBLE	PLWD.	PLYWOOD
DET.	DETAIL	P.G.B.	PAINT GRADE BIRCH
DIA.	DIAMETER		
DIM.	DIMENSION	R.D.	ROOF DRAIN
D.S.	DOWNSPOUT	REQD.	REQUIRED
DUG.	DRAINAGE	RES.	RESIN
D.F.	DRINKING FOUNTAIN	R.	RISERS
DISP.	DISPENSER/DISPOSER	R.O.	ROUGH OPENING
		S.C.	SOLID CORE
EA.	EACH	SCHED.	SCHEDULE
E.J.	EXPANSION JOINT	SECT.	SECTION
E.W.	EACH WAY	SH.	SHEET
ELEV.	ELEVATION	SIM.	SIMILAR
ELEC.	ELECTRICAL	S.O.G.	SLAB ON GRADE
EQ.	EQUAL	SPEC.	SPECIFICATIONS
E.W.C.	ELEC. WATER COOLER	SQ.	SQUARE
EXIST.	EXISTING	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	STL.	STEEL
EXP.	EXPANSION	STRUC.	STRUCTURAL
		SUSP.	SUSPENDED
FDN.	FOUNDATION	SYM.	SYMMETRICAL
F.E.	FIRE EXTINGUISHER		
F.E.C.	FIRE EXT. CABINET	T.	TREADS
FIB.CEM.	FIBER CEMENT	T.B.D.	TACK BOARD
F.O.S.	FACE OF STUD	T.J.	TOOL JOINT
F.O.M.	FACE OF MASONRY	TYP.	TYPICAL
F.L.D.	FLOOR DRAIN	T.C.	TOP CURB
F.H.C.	FIRE HOSE CABINET		
FIN.	FINISH	VERT.	VERTICAL
FL.	FLOOR		
F.T.	FOOTING	W/.	WITH
FTG.	FIRE TREATED	W.D.	WOOD
		W.R.	WATER RESISTANT

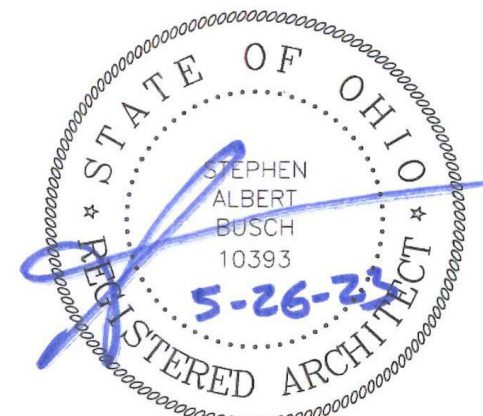
PROJECT DESCRIPTION:
 AN EXISTING BUILDING CALLED THE MANOR HOUSE IS TO BE DEMOLISHED. STAINED GLASS WINDOW UNITS ARE TO BE REUSED IN A NEW BUILDING, BUT PREDOMINANTLY THE ENTIRE BUILDING AND MOST SITE COMPONENTS ARE TO BE REMOVED AND SITE PREPARED FOR A NEW COMMUNITY USE BUILDING.
 THE NEW COMMUNITY BUILDING IS TO BE A 3-ASSEMBLY INTENDED USE IN 5B WOOD CONSTRUCTION. A LARGE PORCH IS INCLUDED, AS WELL AS SOME SITE FEATURES SUCH AS PICKLEBALL COURT AND SHADE STRUCTURE.
 A SMALL PARTY ROOM AND TWO LARGER SPACES WILL ALLOW FOR PRIVATE COMMUNITY (NO-SALES-TRANSACTION) EVENTS. SOLAR PANELS ARE TO BE INSTALLED ON THE ROOF AND GEOTHERMAL SYSTEM INCORPORATED, AS THE BUILDING IS INTENDED TO EXHIBIT GREEN INITIATIVES TO THE COMMUNITY, AS WELL AS PURSUING WHAT CAN BE CALLED A "NET ZERO" BUILDING WITH RESPECT TO ENERGY USAGE PER YEAR.
 TRASH ENCLOSURE AND UTILITY CONNECTIONS OCCUR ALONG THE SOUTH SIDE OF THE SITE, IN A SIMILAR LOCATION TO THE CURRENT MANOR HOUSE SERVICES AND WERE CONSIDERED WITH THE NEW BUILDING TO LIMIT SIGNIFICANT SITE UTILITY REWORK.

MAPLE KNOLL VILLAGE COVENTRY PAVILION

600 MAPLE TRACE, CINCINNATI, OH 45246

2208

BID AND PERMIT DOCUMENTS - 5/26/23



Stephen Busch #10393
 Expiration Date: 12/31/2023

ARCHITECTS INC.

4685 LARWELL DRIVE, COLUMBUS, OHIO 43220
 614.26.5565 FAX: 614.326.5566
 WWW.JMMARCH.COM

OWNER: MAPLE KNOLL COMMUNITIES
 11100 SPRINGFIELD PIKE
 CINCINNATI, OHIO 45246
 PH: 513-909-1935

STRUCTURAL ENGINEER: JEZERINAC GEERS & ASSOCIATES
 5640 FRANTZ ROAD
 DUBLIN, OHIO 43011
 PH: 614-766-0066

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER: PRATER ENGINEERING
 6130 WILCOX ROAD
 DUBLIN, OHIO 43016
 PH: 614-766-4836

CIVIL ENGINEER: THOMAS GRAHAM ASSOCIATES, INC.
 803 COMPTON RD
 CINCINNATI, OHIO 45231
 PH: 513-521-4160

CODE NOTES

THE OHIO BUILDING CODE

USE GROUP: A-3
 CONSTRUCTION: TYPE 5B

BUILDING AREA:

ENCLOSED SPACE:	5,302 GSF
PORCH:	1,660 GSF
ENCLOSED SPACE & PORCHES TOTAL:	6,962 GSF

TOTAL OCCUPANCY FOR BUILDING = 104 (SEE SHEET 3-1 CODE PLAN)

BUILDING IS NOT SPRINKLERED.
 PER TABLE 506.2 ALLOWABLE AREA, SPRINKLER SYSTEM IS NOT REQUIRED.
 TABLE 506.2 TABULAR AREA FOR 5B CONSTRUCTION TYPE = 6,000 SF.
 ENCLOSED AREA FOR THE BUILDING IS 5,302 SF. ✓
 ALSO:
 ALLOWABLE AREA INCLUDING ENCLOSED SPACE AND PORCHES TOGETHER, ALSO COMPLIES WITH THE USE OF THE FRONTAGE INCREASE FORMULA (EQUATION 5-1).
 ALLOWABLE AREA = 6,000 SF (TABULAR AREA) + 16,000 NON-SPRINKLERED AREA X .15 AREA FACTOR:
 ALLOWABLE AREA = 6,000 + 4,500 = 10,500 SF ALLOWABLE W/ FRONTAGE INCREASE ✓

PER TABLE 601
 TYPE 5B CONSTRUCTION TYPE--- ZERO HOURS RATING FOR WALLS, FLOORS, AND ROOF STRUCTURE. SEE PLANS FOR WALL RATINGS INCORPORATED BASED ON OTHER FACTORS.

PER 118.4.3 DRAFTSTOPPING IS REQUIRED IN ATTIC AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SF.

CHAPTER 29-PLUMBING FIXTURES

WATER CLOSETS
 ONE PER 125 MALE (ONE PROVIDED PLUS 2 URINALS); ✓
 ONE PER 65 FEMALE (3 PROVIDED); ✓
LAVATORIES
 ONE PER 200 (3 PROVIDED IN EA. BATHROOM); ✓
DRINKING FOUNTAINS
 PER OPC 410.4
 OWNER SUPPLIED ADA COMPLIANT, UV HYGIENIC WATER DISPENSER SYSTEM TO MEET REQUIREMENTS FOR DRINKING FOUNTAIN AS SUBSTITUTION.
SERVICE SINKS
 ONE PER 500 (2 PROVIDED); ✓

CODE PLAN AND OCCUPANCY LISTINGS:
 - A SEE SHEET 3-1 FOR CODE PLAN DIAGRAM WITH OCCUPANCIES LISTED
 - A GENERAL LIST OF OCCUPANCIES AT A MINIMUM REQUIRING POSTED PLAQUARDS ARE BELOW:
 RECREATION ROOM 102 - 20 OCC. MAX.
 PARTY ROOM 103 - 12 OCC. MAX.
 AUDITORIUM 108 - 10 OCC. MAX.

CONTRACTOR TO PROVIDE DELEGATED DESIGN SHOP-FABRICATED WOOD TRUSS DESIGN DOCUMENTS PRIOR TO ERECTION PER OBC 106.1. SEE SPECIFICATION 061153 SHOP-FABRICATED WOOD TRUSSES & STRUCTURAL

SYMBOLS

ROOM NAME	ROOM NAME
101	101
DOOR NUMBER	DOOR NUMBER
101	101
WINDOW TYPE	WINDOW TYPE
101	101
WALL TYPE	WALL TYPE
101	101
ENLARGED PLAN, SECTION OR DETAIL 'A' ON SHEET 6.2	ENLARGED PLAN, SECTION OR DETAIL 'A' ON SHEET 6.2
101	101
VIEW REFERENCE	VIEW REFERENCE
101	101
COLUMN GRID MARKER	COLUMN GRID MARKER
101	101
HEX NOTES	HEX NOTES
101	101
REVISION TAG	REVISION TAG
101	101

OCCUPANCY LIST:

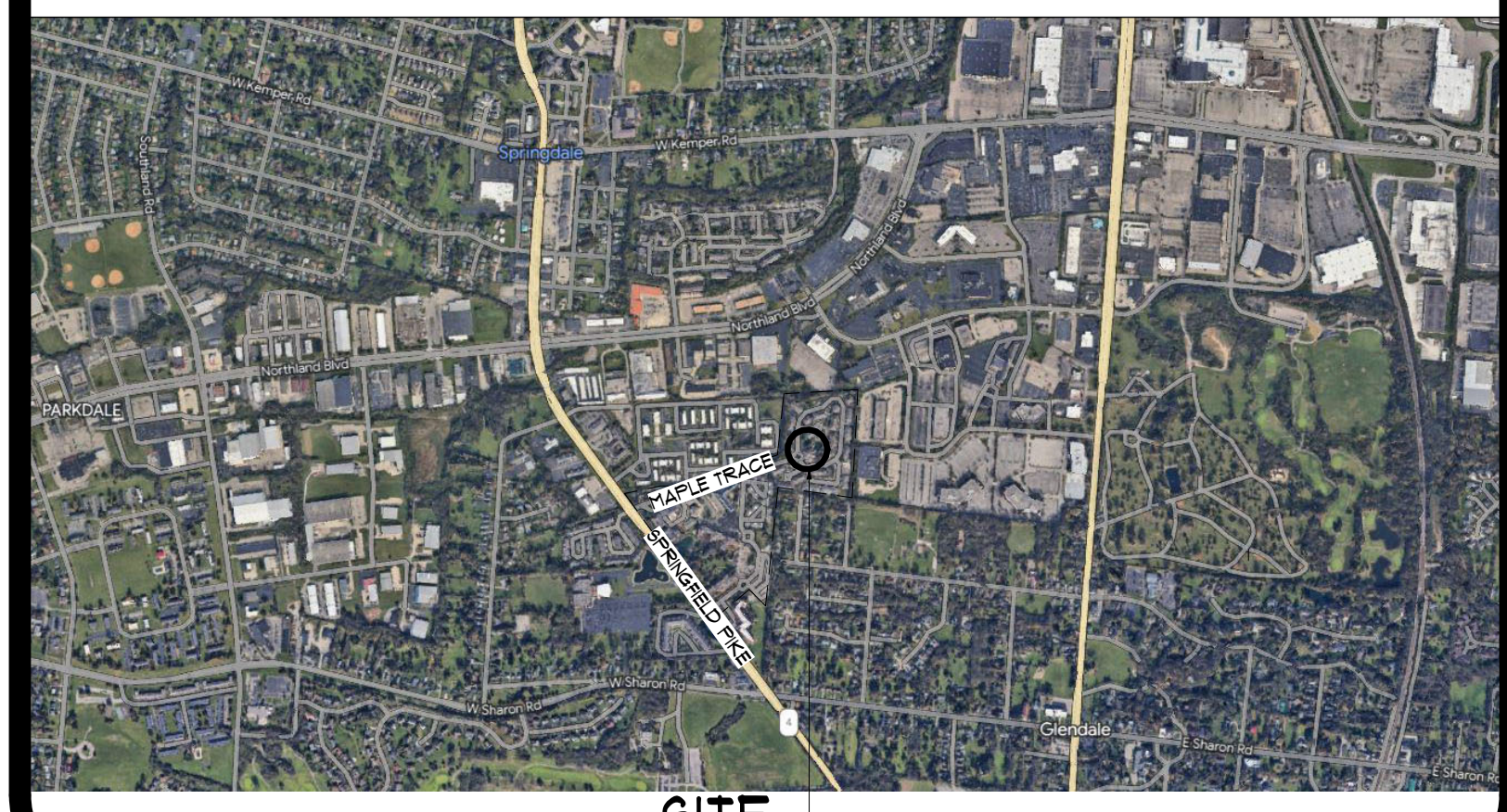
GENERAL NOTES

- EXTERIOR DIMENSIONS ARE TYPICALLY FROM FACE OF FOUNDATION OR FACE OF SHEATHING. INTERIOR DIMENSIONS ARE FROM FACE OF MASONRY OR FACE OF STUD TYPICALLY, UNLESS NOTED OTHERWISE. CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT FOR RESOLUTION OF ANY DISCREPANCIES.
- DOOR NUMBERS ARE THE SAME AS THE ROOM SERVED. ROOMS W/ MULTIPLE DOORS ARE LABELED "A", "B", "C", ETC.
- CALL RESPECTIVE UTILITY COMPANIES A MINIMUM OF 48 HOURS BEFORE DIGGING; DO NOT PROCEED UNTIL LOCATIONS ARE KNOWN 1-800-362-2164 AND SANITARY DEPT.
- CONTRACTORS ARE REQUIRED TO INSPECT THE SITE PRIOR TO BIDDING TO ASCERTAIN ALL ITEMS IN EVIDENCE THAT MUST BE ADDRESSED IN COMPLETION OF THE WORK AND INCLUDE THE COST OF THE REQUIRED WORK IN THEIR BID.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS. OWNER WILL BE RESPONSIBLE ONLY FOR BUILDING DEPARTMENT PLANS EXAMINER REVIEW FEES. ALL OTHER ITEMS BY CONTRACTOR.
- CONTRACTORS SHALL VERIFY ALL FIELD AND DESIGN CONDITIONS PRIOR TO BEGINNING WORK. NOTIFY THE ARCHITECT OF DISCREPANCIES FOR RESOLUTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SUB-CONTRACTOR BIDS. ALL BIDS SHOULD BE ASSEMBLED USING A COMPLETE SET OF DOCUMENTS. G.C. RESPONSIBILITY TO COORDINATE WITH RELATIVE TRADES INVOLVED. CONFLICTS DUE TO LACK OF COORDINATION WILL BE RESPONSIBILITY OF THE G.C. AND SUB-CONTRACTORS.
- SEE SPECIFICATIONS AND DRAWINGS FOR REQUIRED TESTED FIRE RATED ASSEMBLY INFORMATION.
- PROVIDE DRAFTSTOPPING IN ATTIC AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SF. SEE DOCUMENTS FOR LOCATIONS. PROVIDE AUTOMATICALLY CLOSING 36" W X 48" T ACCESS DOORS ABOVE INSULATION HEIGHT IN EACH LOCATION FOR ACCESS PURPOSES.

INDEX OF DRAWINGS

GENERAL	COVER SHEET/DRAWING INDEX	06.23.2023
SITE AND CIVIL		
1-0A	OVERALL SURVEY	
1-0B	TOPOGRAPHIC SURVEY	
D-1	DEMOLITION PLAN	
D-2	DEMOLITION PLAN - UTILITIES	
1-1	OVERALL SITE PLAN	
1-2	COVENTRY OVERALL SITE PLAN	
1-3	LAYOUT SITE PLAN	06.23.2023
1-4	GRADING AND STORM SITE PLAN	
1-5	UTILITY SITE PLAN	06.23.2023
1-6	LANDSCAPE SITE PLAN	06.14.2023
1-7	SITE DETAILS	06.23.2023
1-8	SITE DETAILS	
1-9	SITE DETAILS	
1-10	SITE DETAILS	
1-11	SITE DETAILS	
1-12	SITE DETAILS	06.23.2023
SUPP-1	SUP COVER	
SUPP-2	EXISTING-DEMO PLAN	
SUPP-3	GRADING, STORM & EROSION CONTROL PLAN	
SUPP-4	EROSION CONTROL DETAILS	
SUPP-5	SEEDING AND SOD	
STRUCTURAL		
2-0	GENERAL STRUCTURE INFORMATION	
2-1	FOUNDATION PLAN	
2-2	ROOF FRAMING PLAN	
2-3	FOUNDATION DETAILS	
2-4	FRAMING DETAILS	
2-5	TRUSS PROFILE	
ARCHITECTURAL		
3-1	FIRST FLOOR PLAN	06.23.2023
3-2	ROOF PLAN	06.23.2023
3-3	ENLARGED PLANS & INTERIOR ELEV.	06.14.2023
3-4	ENLARGED PLANS & INTERIOR ELEV.	06.23.2023
3-5	INTERIOR ELEVATIONS	
3-6	MISCELLANEOUS & TYPICAL DETAILS	06.14.2023
3-7	ADA STANDARDS, REQUIRED CLEARANCES & MOUNTING HEIGHTS	
4-1	DOOR SCHEDULES & DETAILS	
4-2	WINDOW ELEVATIONS AND DETAILS	
4-3	FINISH PLAN & LEGEND	06.14.2023
5-1	EXTERIOR ELEVATIONS	
5-2	EXTERIOR ELEVATIONS	
5-3	BUILDING SECTIONS	
5-4	BUILDING SECTIONS	
6-0	WALL TYPES	
6-1	WALL SECTIONS	
6-2	WALL SECTIONS	
6-3	WALL SECTIONS	06.14.2023
6-4	WALL SECTIONS	
6-5	EXTERIOR DETAILS	06.14.2023
7-1	FIRST FLOOR CEILING PLAN	06.14.2023
PLUMBING		
P-1A	UNDERGROUND PLUMBING PLAN	
P-1B	PLUMBING PLAN	
P-2	PLUMBING DETAILS	
P-3	PLUMBING DETAILS	
P-4	PLUMBING DETAILS	
HVAC		
H-1	HVAC PIPING PLAN	
H-2	HVAC PLAN	06.23.2023
H-3	HVAC SCHEDULES	06.23.2023
H-4	HVAC DETAILS	
H-5	OUTSIDE AIR & EXHAUST CALCULATIONS	06.23.2023
ELECTRICAL		
E-0	ELECTRICAL SITE PLAN	06.23.2023
E-1	ELECTRICAL PLAN	06.23.2023
E-2	ELECTRICAL POWER PLAN	06.23.2023
E-3	ELECTRICAL DETAILS	06.23.2023
E-4	LIGHTING DETAILS	06.23.2023
E-5	SOLAR DETAILS	06.23.2023
E-6	ELECTRICAL DETAILS	06.23.2023

VICINITY MAP

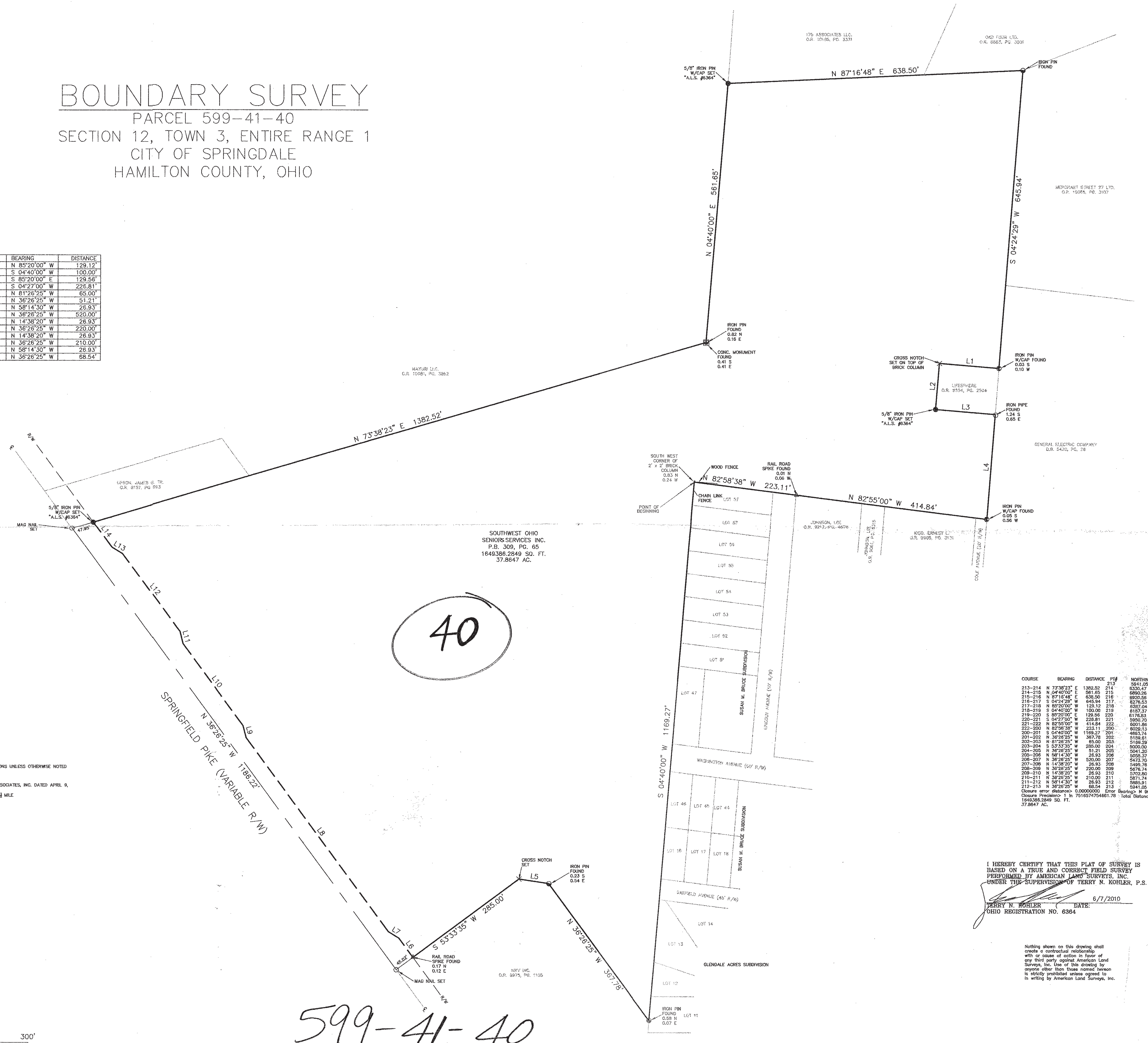


SITE

BOUNDARY SURVEY

PARCEL 599-41-40
SECTION 12, TOWN 3, ENTIRE RANGE 1
CITY OF SPRINGDALE
HAMILTON COUNTY, OHIO

LINE	BEARING	DISTANCE
L1	N 85°20'00" W	129.12'
L2	S 04°40'00" W	100.00'
L3	S 85°20'00" E	129.56'
L4	S 04°27'00" W	226.81'
L5	N 81°26'25" W	65.00'
L6	N 36°26'25" W	51.21'
L7	N 58°14'30" W	26.93'
L8	N 36°26'25" W	520.00'
L9	N 14°38'20" W	26.93'
L10	N 36°26'25" W	220.00'
L11	N 14°38'20" W	26.93'
L12	N 36°26'25" W	210.00'
L13	N 58°14'30" W	26.93'
L14	N 36°26'25" W	66.54'



- LEGEND**
- 5/8" IRON PIN SET
 - MAG NAIL SET
 - △ RAIL ROAD SPIKE FOUND
 - IRON PIN FOUND
 - CONC. MONUMENT FOUND
 - ⊙ IRON PIN W/CAP FOUND
 - ✕ CROSS NOTCH SET

SURVEY NOTES:
 1 ALL MONUMENT IN GOOD CONDITIONS UNLESS OTHERWISE NOTED
 2 SOURCE DOCUMENTS USED:
 D.R. 10077, PG. 2948
 SURVEY BY THOMAS GRAHAM ASSOCIATES, INC. DATED APRIL 9, 2002
 3 NO COUNTY MONUMENTS WITHIN 1 MILE

COURSE	BEARING	DISTANCE	PT#	NORTHING	EASTING	DESCRIPTION
213-214	N 73°38'23" E	1382.52	214	5841.05	5831.72	Cape
214-215	N 04°40'00" E	100.00	215	5890.06	5877.41	Cape
215-216	N 87°16'48" E	638.50	216	5820.56	6315.19	Cape
216-217	S 04°27'00" W	226.81	217	5776.53	6287.04	Cape
217-218	N 85°20'00" W	129.12	218	5786.53	6136.88	Cape
218-219	S 04°40'00" W	100.00	219	5193.73	6126.72	Cape
219-220	S 85°20'00" E	129.56	220	5178.83	6227.25	Cape
220-221	S 04°27'00" W	226.81	221	5008.03	6240.20	Cape
221-222	N 85°20'00" W	414.84	222	5001.86	5826.53	Cape
222-223	N 04°40'00" E	100.00	223	5008.11	5827.14	Cape
223-224	N 87°16'48" E	638.50	224	4863.74	5812.01	Cape
224-225	S 04°40'00" W	100.00	225	4869.74	5823.28	Cape
225-226	N 81°26'25" W	65.00	226	4869.74	5823.28	Cape
226-227	N 36°26'25" W	51.21	227	4869.74	5823.28	Cape
227-228	N 58°14'30" W	26.93	228	4869.74	5823.28	Cape
228-229	N 36°26'25" W	520.00	229	4869.74	5823.28	Cape
229-230	N 14°38'20" W	26.93	230	4869.74	5823.28	Cape
230-231	N 36°26'25" W	220.00	231	4869.74	5823.28	Cape
231-232	N 14°38'20" W	26.93	232	4869.74	5823.28	Cape
232-233	N 36°26'25" W	210.00	233	4869.74	5823.28	Cape
233-234	N 58°14'30" W	26.93	234	4869.74	5823.28	Cape
234-235	N 36°26'25" W	66.54	235	4869.74	5823.28	Cape

I HEREBY CERTIFY THAT THIS PLAT OF SURVEY IS BASED ON A TRUE AND CORRECT FIELD SURVEY PERFORMED BY AMERICAN LAND SURVEYS, INC. UNDER THE SUPERVISION OF TERRY N. KOHLER, P.S.
 TERRY N. KOHLER DATE: 6/7/2010
 OHIO REGISTRATION NO. 6364

Nothing shown on this drawing shall create a contractual relationship with or cause of action in favor of any third party against American Land Surveys, Inc. Use of this drawing by anyone other than those named herein is strictly prohibited unless agreed to in writing by American Land Surveys, Inc.

DESCRIPTION ACCEPTABLE
 HAMILTON COUNTY ENGINEER
 Tax Map 20 (6-10-10)
 CAGIS: 25 6-11-10

REVISION	BY
REVISED DEED REFERENCE 6/7/2010	MJM

BOUNDARY SURVEY
 SECTION 12, TOWN 3, ENTIRE RANGE 1
 CITY OF SPRINGDALE
 HAMILTON COUNTY, OHIO

AMERICAN LAND SURVEYS
 2008 GLENN PARKWAY
 SUITE A
 BATAVIA, OHIO 45103
 (513) 735-4200

STATE OF OHIO
 TERRY N. KOHLER
 #6364
 REGISTERED PROFESSIONAL SURVEYOR

DRAWN: MJM
 CHECKED: TNK
 DATE: 5/12/2010
 SCALE: 1" = 100'
 JOB NO: 6754.02
 SHEET
0-1A
 OF 1 SHEETS

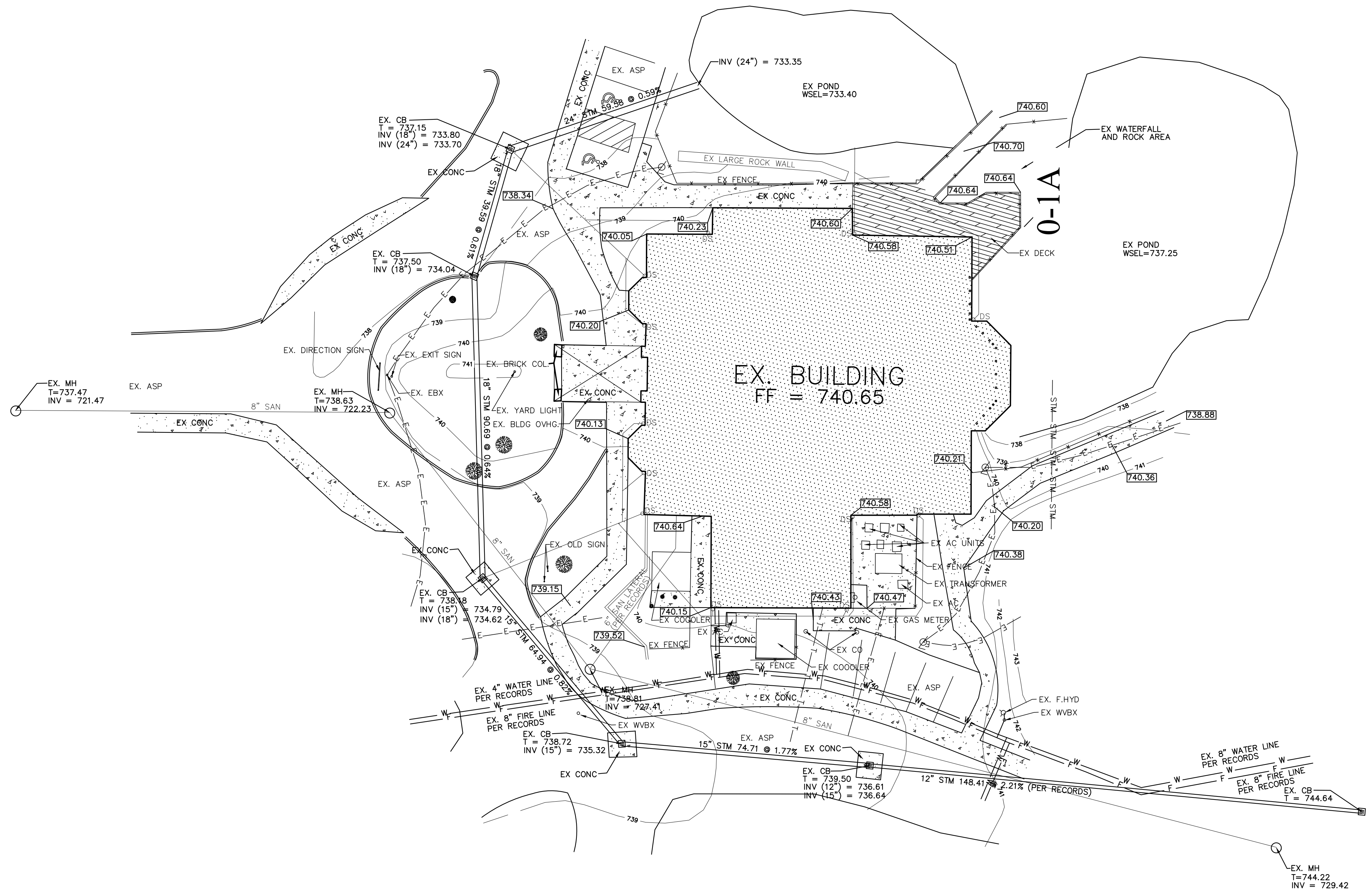
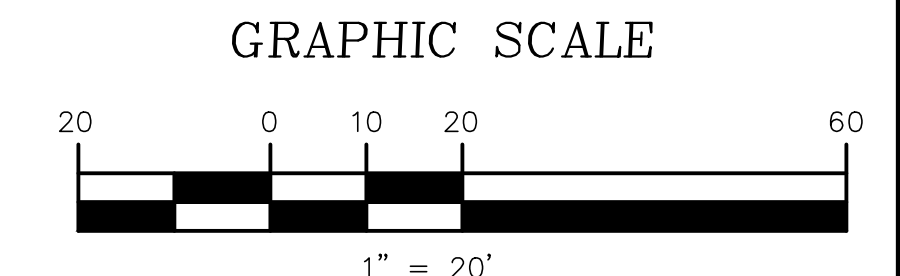
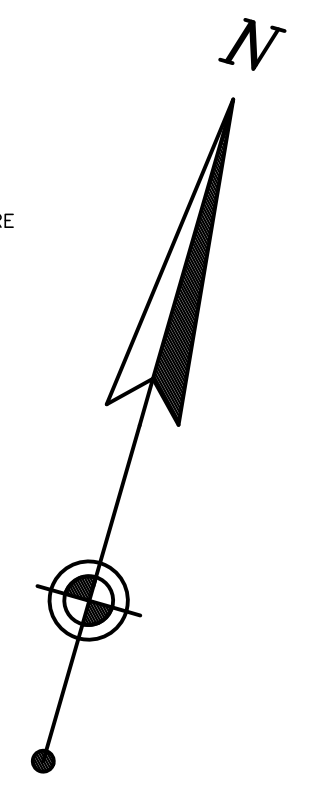
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599-41-40

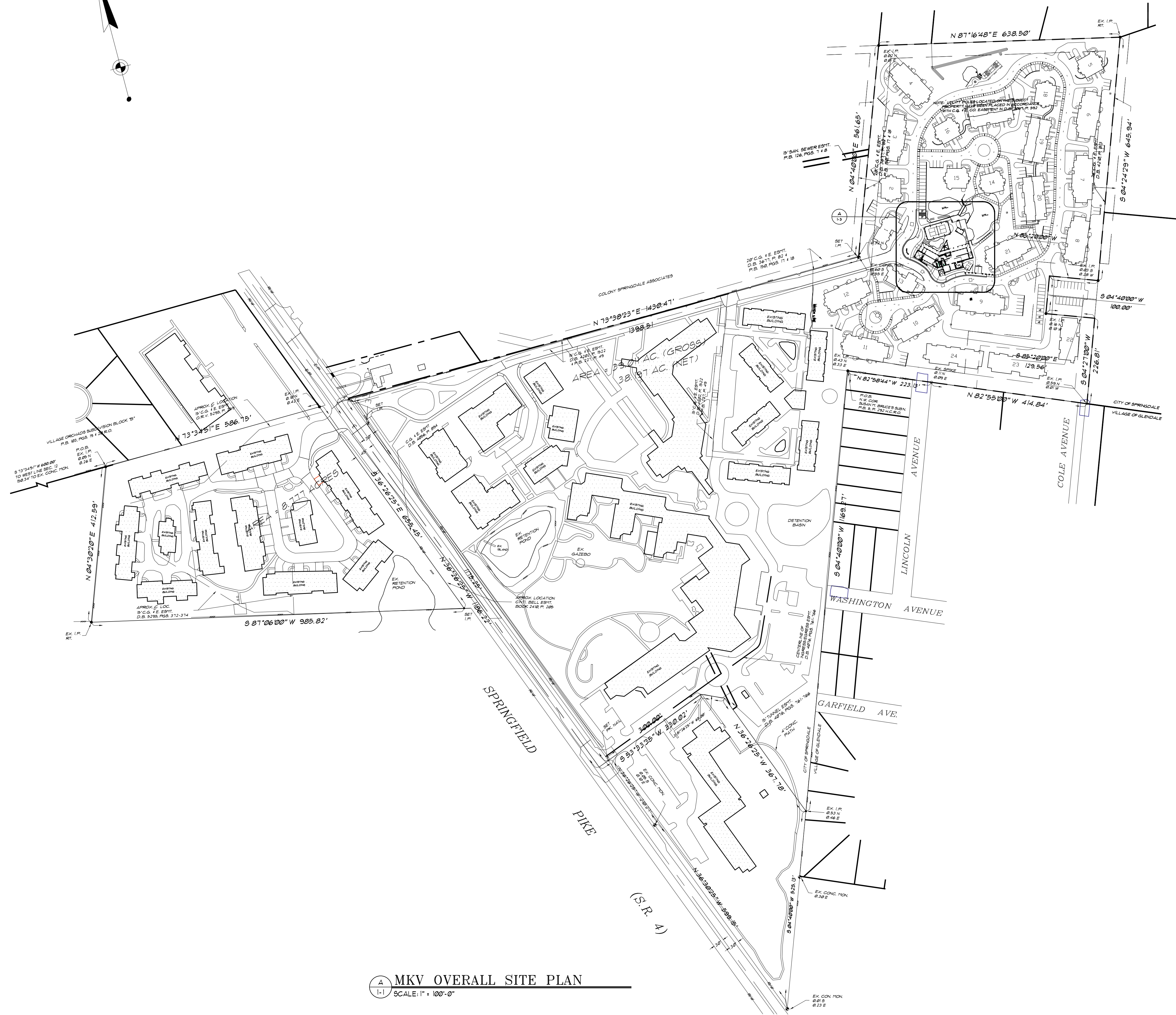
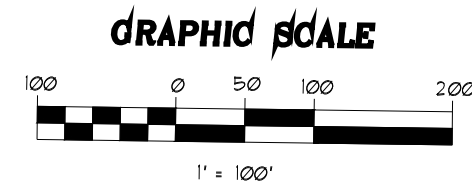
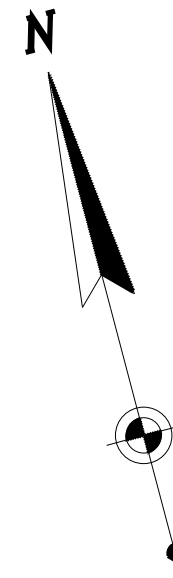
EXISTING CONDITIONS LEGEND

- | | | |
|---|---|---|
| <p>EX BX
 D.C.
 CO.
 F.HYD
 WVBX
 WWH
 TEL MH
 WMBX
 FDC
 PLY</p> | <p>INDICATES EX. GAS VALVE BOX
 INDICATES DEPRESSED CURB
 INDICATES METAL POST
 INDICATES CLEAN OUT
 INDICATES EX TELEPHONE POLE
 INDICATES EX. LIGHT POLE
 INDICATES TELE. CABLE AND ELEC. POLE
 INDICATES TELEPHONE AND ELECTRIC POLE
 INDICATES GUY POLE
 INDICATES EX GUY WIRE
 INDICATES EX. SINGLE GRATE INLET
 INDICATES EX. HEADWALL
 INDICATES EX. INLET (2'X2')
 INDICATES EX. FIRE HYDRANT
 INDICATES EX. WATER VALVE BOX
 INDICATES EX. WATER VALVE MANHOLE
 INDICATES EX. TELEPHONE MANHOLE
 INDICATES EX. WATER METER BOX
 INDICATES EX. FIRE DEPARTMENT CONNECTION
 INDICATES EX. POST INDICATOR VALVE</p> | <p>UGE
 W
 G
 E
 OHW
 TEC
 TE
 Fg/W
 695</p> <p>INDICATES EX. UNDERGROUND ELECTRIC
 INDICATES EX. UNDERGROUND WATER
 INDICATES EX. UNDERGROUND GAS
 INDICATES EX. OVERHEAD ELECTRIC WIRE
 INDICATES EX. OVERHEAD WIRE
 INDICATES EX. OVERHEAD TELEPHONE, ELECTRIC, CABLE WIRE
 INDICATES EX. OVERHEAD TELEPHONE & ELECTRIC WIRE
 INDICATES RIGHT OF WAY</p> |
|---|---|---|



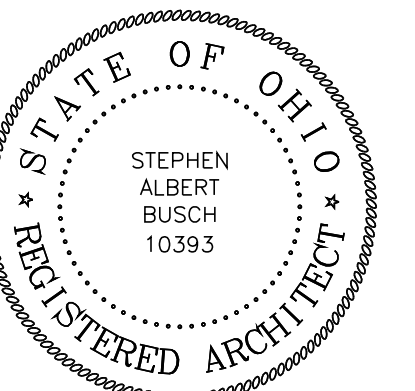
TOPOGRAPHIC SURVEY

ADDRESS: 11100 SPRINGFIELD PIKE
 SITUATE IN:
 SECTION 12, TOWN 3, E. RANGE 1
 HAMILTON COUNTY, OHIO



PROPERTY IS SUBJECT TO CABLE TELEVISION EASEMENT IN FAVOR OF WARNER BROS. CABLE RECORDED IN C.B. 442.8 S.W. THIS PLAN CANNOT BE PLOTTED.

A MKV OVERALL SITE PLAN
1-1 SCALE: 1" = 100'-0"



Stephen Busch #10393
Expiration Date: 12/31/2023

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DATE	5-26-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
		REVISIONS	

OVERALL SITE PLAN
 Maple Knoll Village-Coventry Pavilion
 600 Maple Trace, Cincinnati, Ohio
 JAM ARCHITECTS, INC.
 600 Maple Trace, Cincinnati, Ohio 45202
 (513) 333-9900

ZONING CODE INFORMATION
 ZONING CLASSIFICATION: FF-2, CITY OF SPRINGDALE

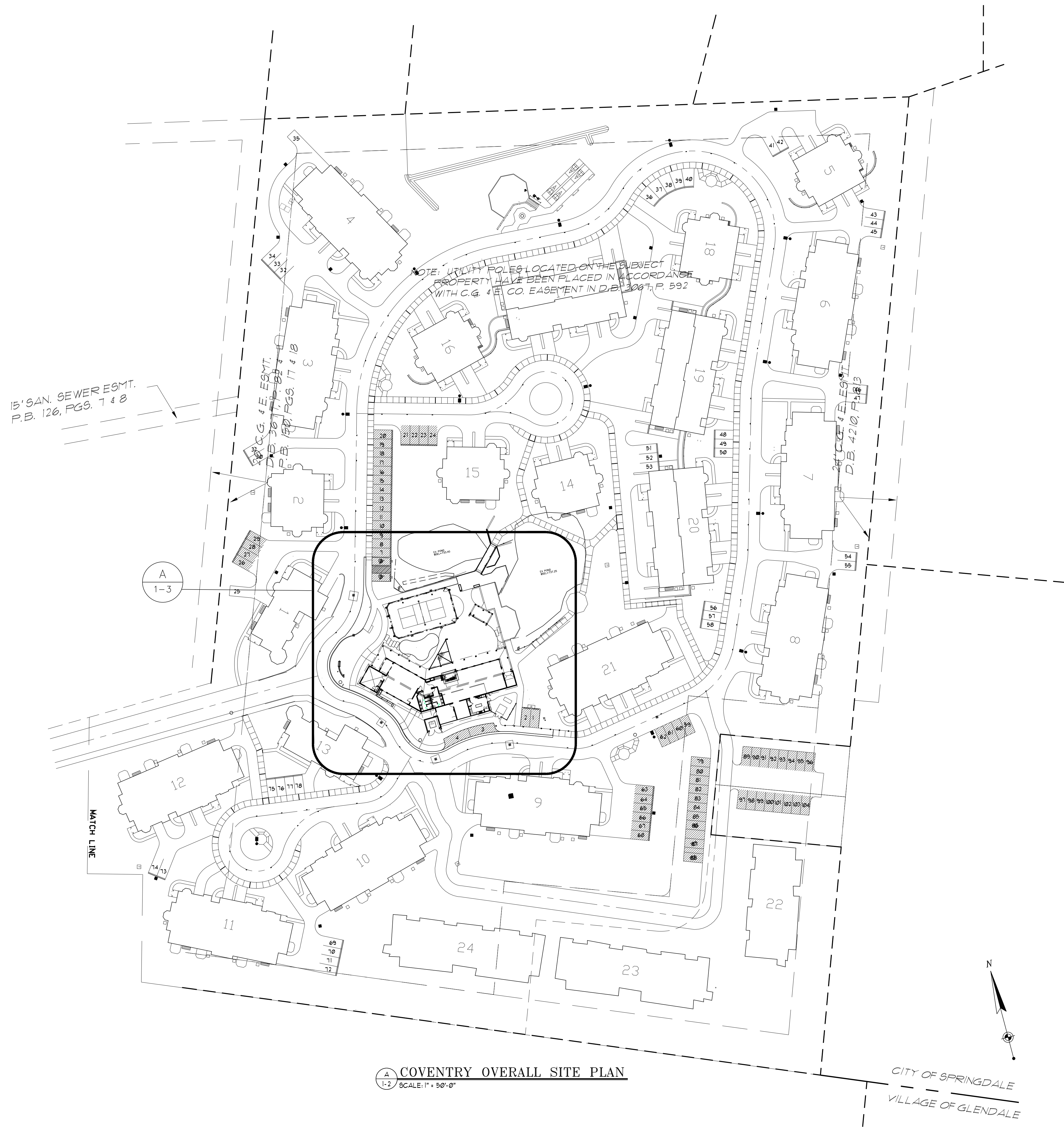
PROJECT: MAPLE KNOLL VILLAGE - COVENTRY PAVILION
 PROJECT ADDRESS: 600 MAPLE TRACE DR. CINCINNATI, OH 45246

EXISTING MANOR HOUSE: 10,234 SQ. FT.
 EXISTING PARKING SPACES: 106 SPACES

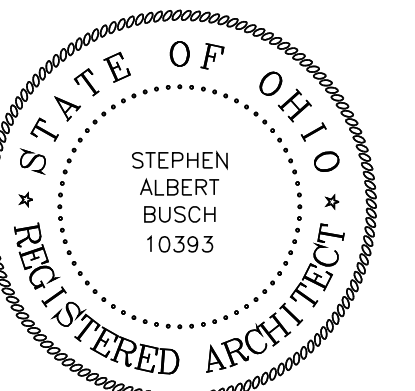
COVENTRY PAVILION: 6,962 SQ. FT. (PORCH INCLUDED)
 PARKING SPACES AFTER CONSTRUCTION: 104 SPACES
 COVENTRY PAVILION PARKING SPACES: 68 SPACES

PROJECT SUMMARY:

EXISTING MANOR HOUSE IS TO BE DEMOLISHED. NEW COVENTRY PAVILION IS TO BE BUILT AT THE SAME LOCATION. COVENTRY PAVILION WILL BE 6,962 SQ. FT. AND INCLUDE NEW OUTDOOR AMENITIES: PUTTING GREEN, PICKELBALL COURT, AND OUTDOOR RECREATION.



A COVENTRY OVERALL SITE PLAN
 SCALE: 1" = 50'-0"

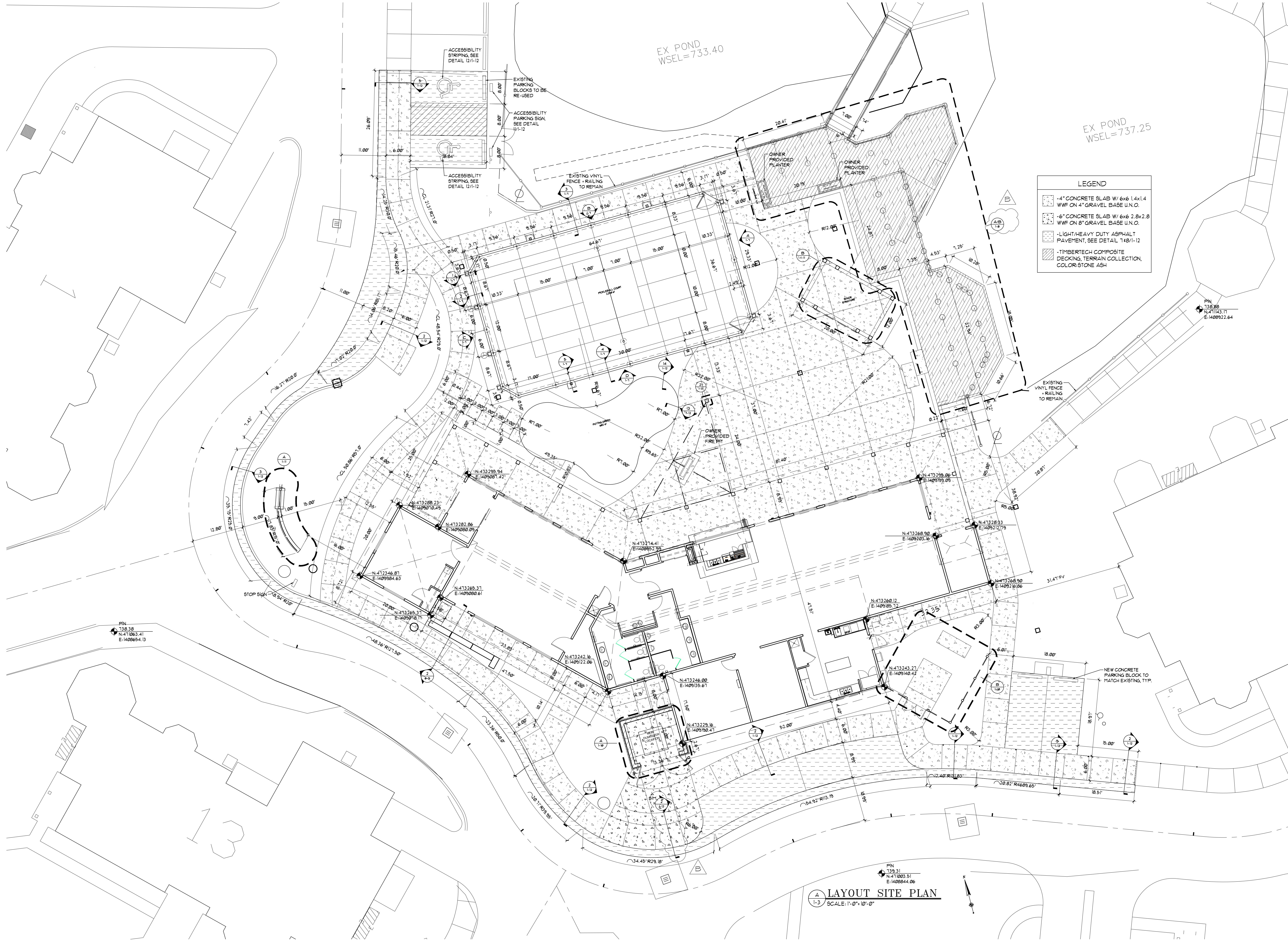


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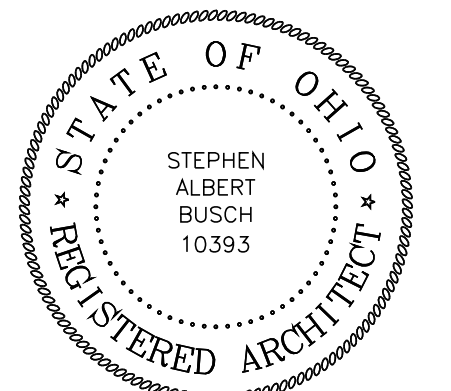
DATE	5-26-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
		REVISIONS	

Coventry Overall Site Plan
 Maple Knoll Village-Coventry Pavilion
 600 Maple Trace, Cincinnati, Ohio



LEGEND

- 4" CONCRETE SLAB W/ 6x6 1.4x1.4 WWF ON 4" GRAVEL BASE U.N.O.
- 6" CONCRETE SLAB W/ 6x6 2.0x2.0 WWF ON 8" GRAVEL BASE U.N.O.
- LIGHT/HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL 148/1-12
- TIMBERTECH COMPOSITE DECKING, TERRAIN COLLECTION, COLOR: STONE ASH



Stephen Busch #10393
Expiration Date: 12/31/2023

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DATE	5-26-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
REVISIONS		06.23.2023	
		Addendum B	

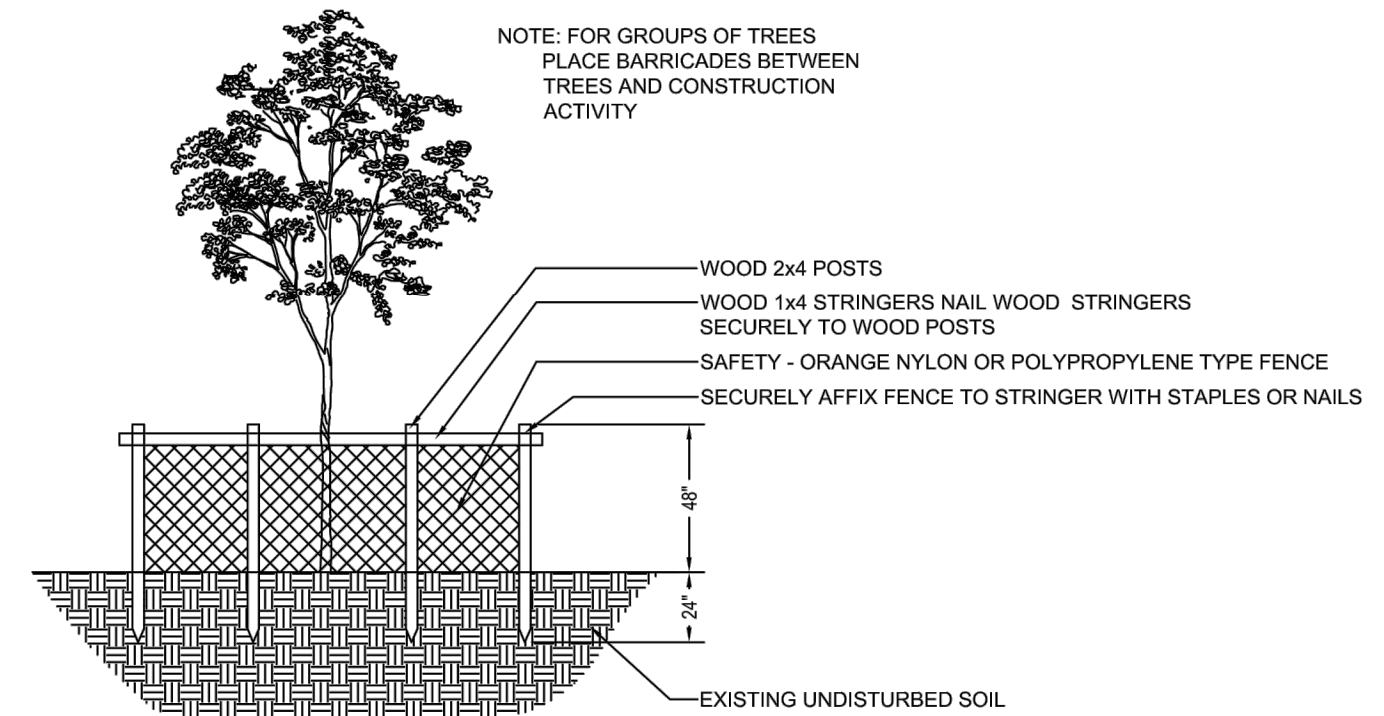
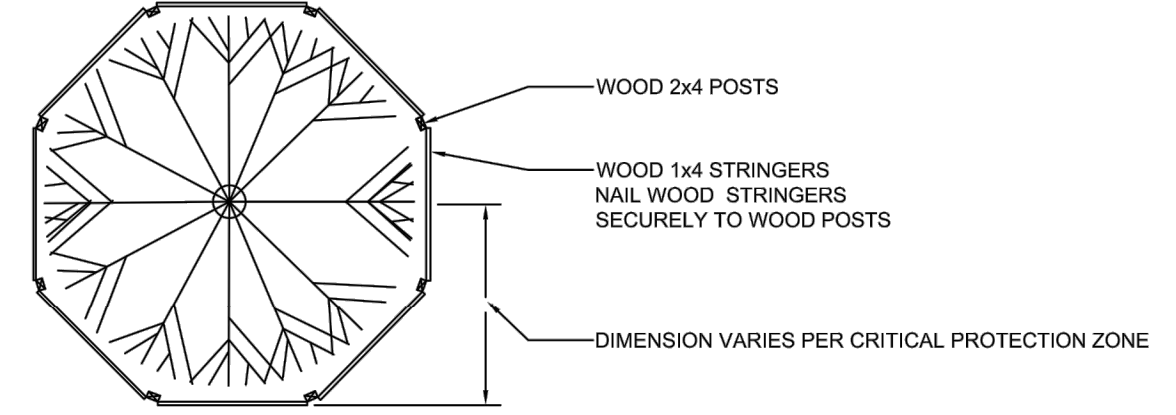
LAYOUT SITE PLAN

Maple Knoll Village-Coventry Pavilion
600 Maple Trace, Cincinnati, Ohio

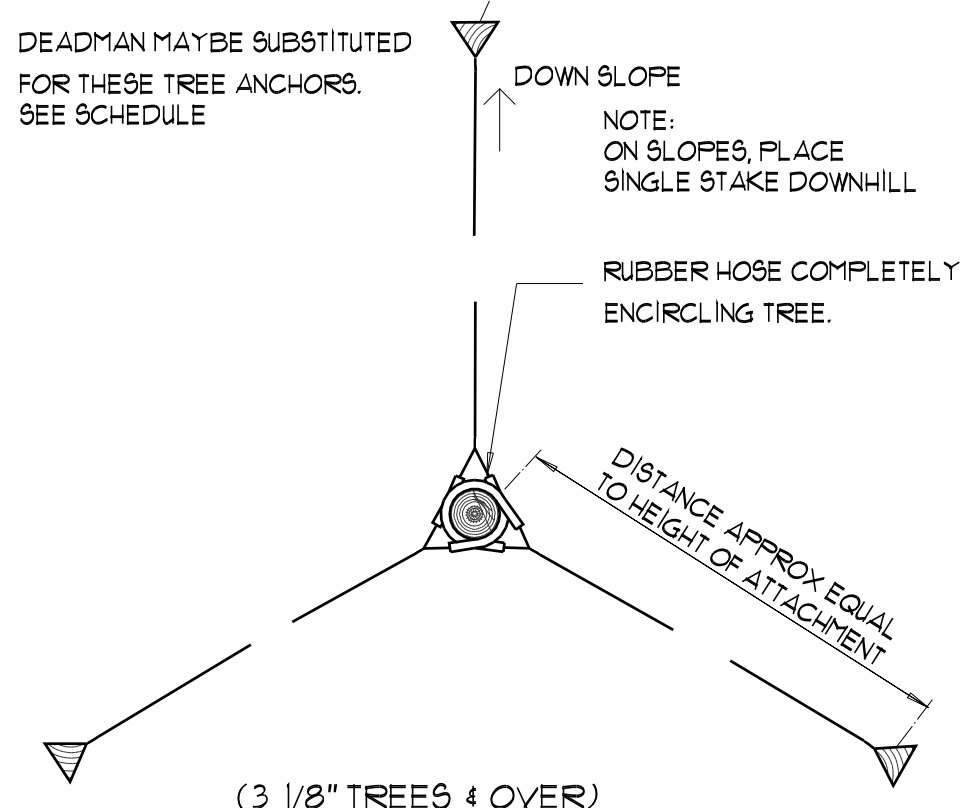
JAM ARCHITECTS, INC.
10450 Winton Hills Drive, Cincinnati, Ohio 45241
954.332.9991

LAYOUT SITE PLAN
SCALE: 1"=0'-10"-0"

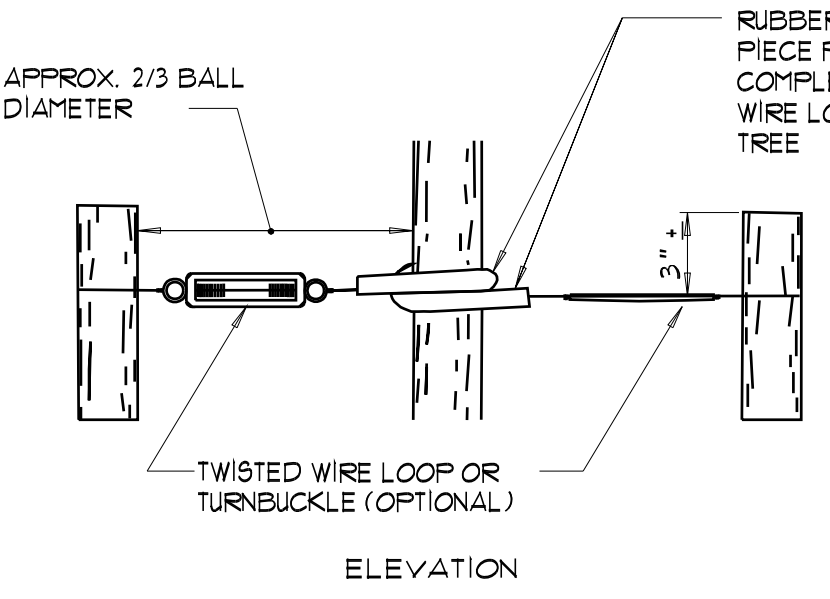
- NOTE:
 1. FOR GROUPS OF TREES:
 A. PLACE THE BARRICADES AT THE DRIFLINE AROUND THE GROUPS PERIMETER.
 2. INSTALLATION OF TREE PROTECTION BARRICADES SHALL BE PERFORMED BEFORE ANY SITE DEVELOPMENT ACTIVITY TAKES PLACE.
 3. THE TREE PROTECTION BARRICADES SHALL REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL ALL SITE DEVELOPMENT ACTIVITIES ARE FULLY COMPLETE.
 4. ANY DAMAGE THAT MAY OCCUR TO THE BARRICADES SHALL BE REPAIRED OR REPLACED TO THE ORIGINAL SPECIFICATIONS WITHIN 24 HOURS OF THE DAMAGE OCCURRING.
 5. THE AREA WITHIN THE TREE PROTECTION BARRICADES SHALL NOT BE USED FOR THE STORAGE OF ANY MATERIALS, SUPPLIES OR DEBRIS OR THE DISPOSAL OF ANY SOLID, LIQUID OR GASEOUS MATERIALS THAT COULD CAUSE HARM TO THE TREES.
 6. ANY TREE SCHEDULED TO REMAIN IF DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY PROVIDING EQUIVALENT MONETARY VALUE TO THE CITY'S TREE FUND.
 7. MONETARY TREE VALUE SHALL BE DETERMINED BY USING THE GUIDE FOR PLANT APPRAISAL, PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE OR OTHER SOURCES AS DETERMINED BY THE CITY FORESTER.
 8. BARRICADES SHALL PROTECT ALL TREES SCHEDULED TO REMAIN BEFORE AND DURING ALL CONSTRUCTION ACTIVITIES.
 9. ANY PROPOSED UNDERGROUND UTILITIES SHALL BE ROUTED AROUND PROTECTED TREES TO THE OUTSIDE OF THE TREES DRIFLINE. IF THIS IS NOT FEASIBLE, AS DETERMINED BY THE COUNTY, A SLEEVE MAY BE USED UNDER THE TREE, PROVIDED THAT ALL ACCEPTABLE HORTICULTURAL/ARBORICULTURAL PRACTICES ARE ADHERED TO.
 *TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.



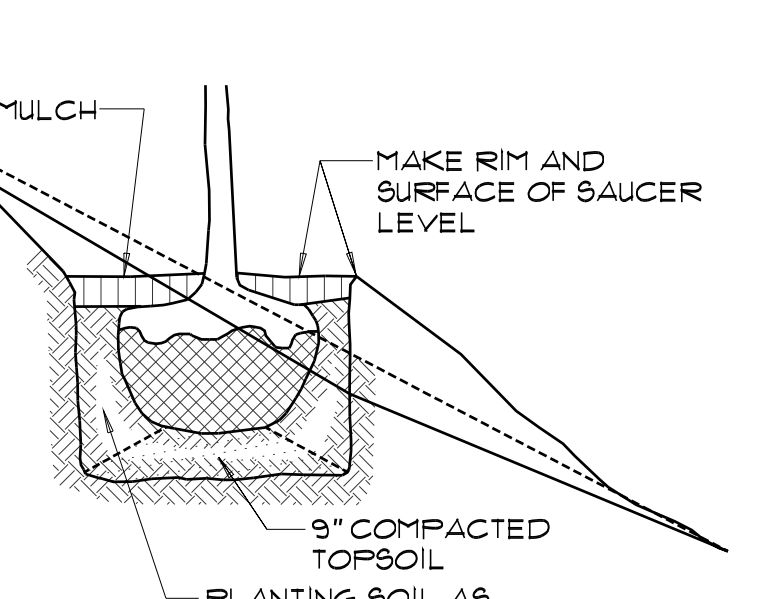
L8 TREE PROTECTION DETAIL
 1-11 SCALE: NO SCALE



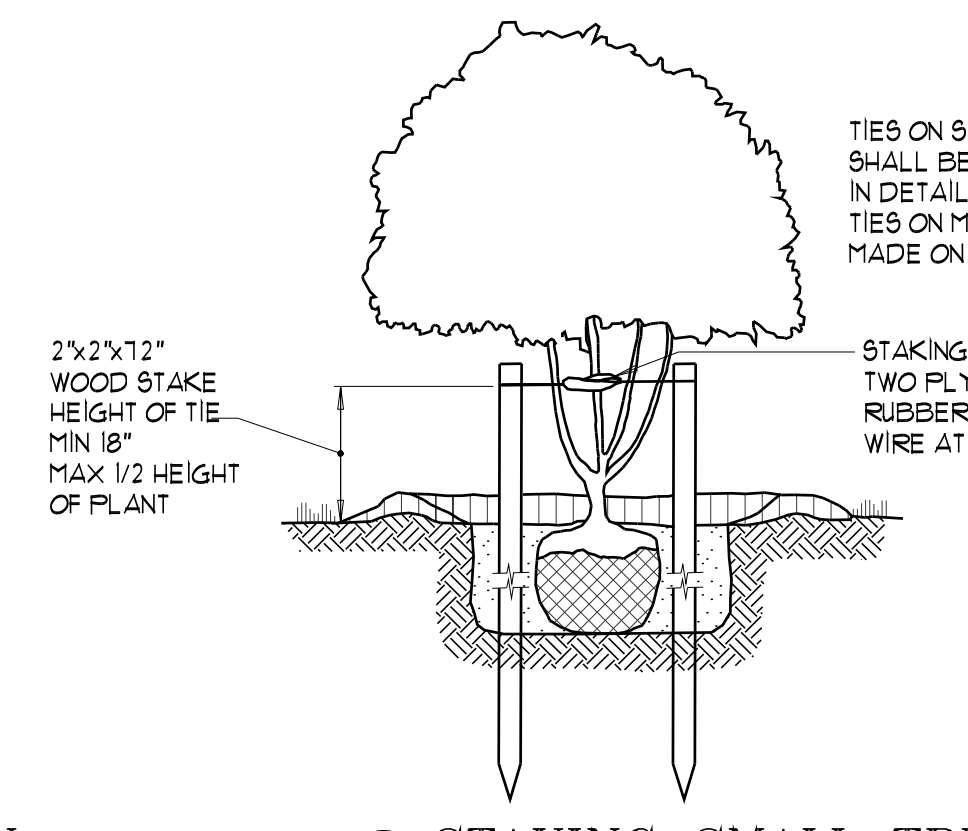
L7 GUYING TIE DETAIL
 1-11 SCALE: NO SCALE



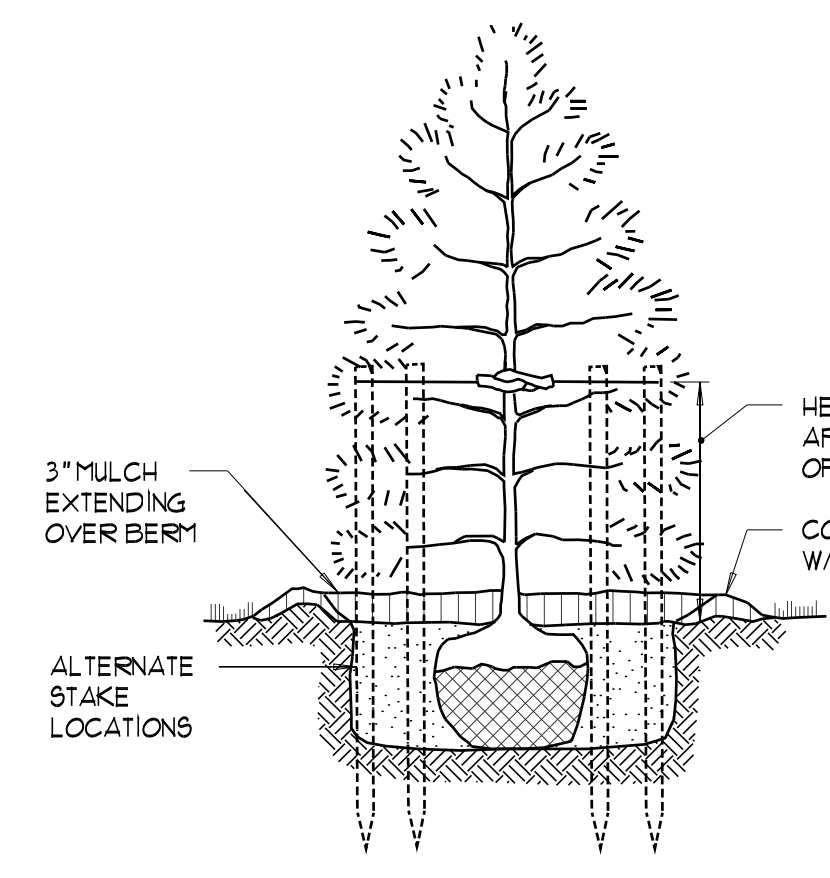
L6 STAKING TIE DETAIL
 1-11 SCALE: NO SCALE



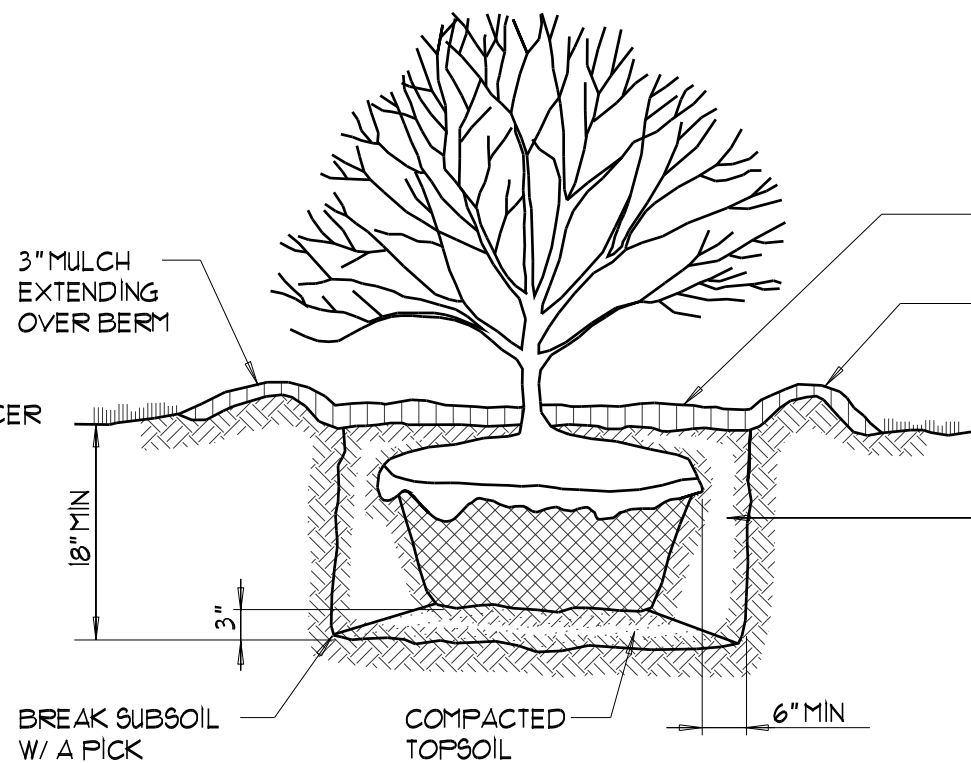
L5 SLOPED PLANTING SECTION
 1-11 SCALE: NO SCALE



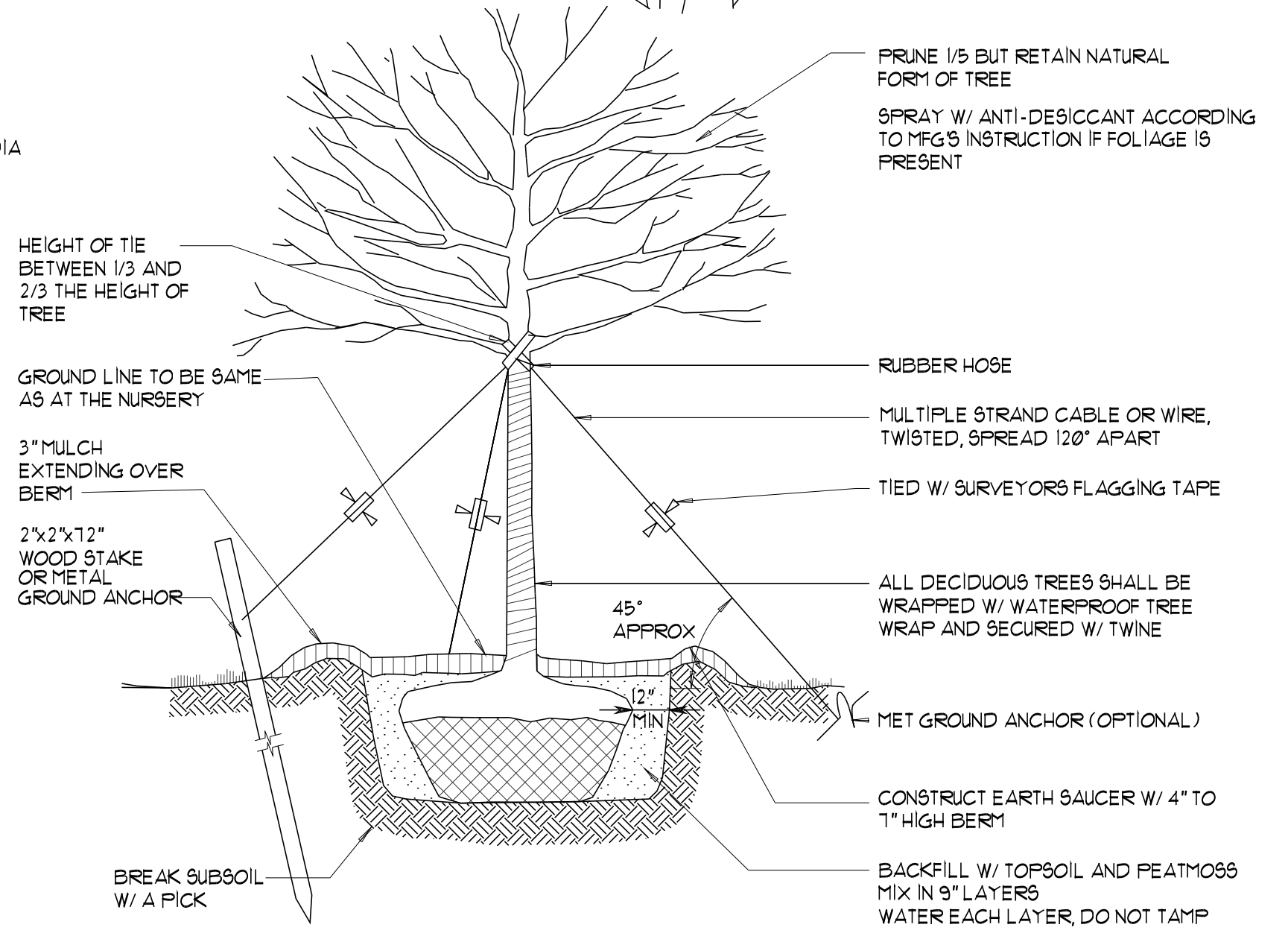
L4 STAKING SMALL TREES
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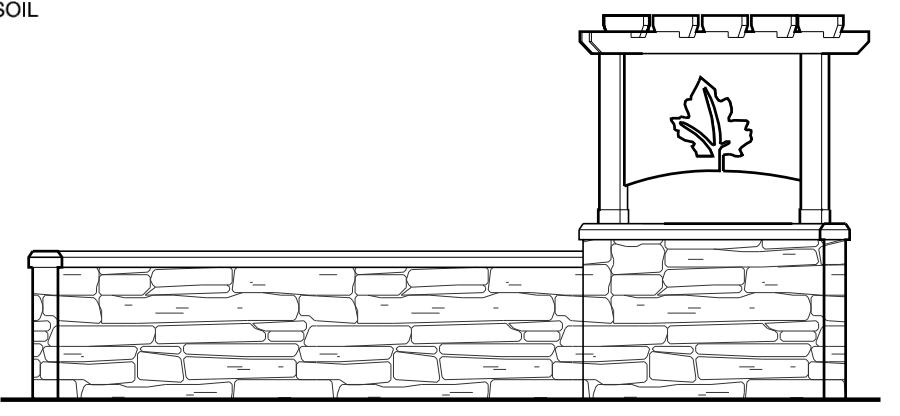
L3 STAKING EVERGREEN TREES
 1-11 SCALE: NO SCALE



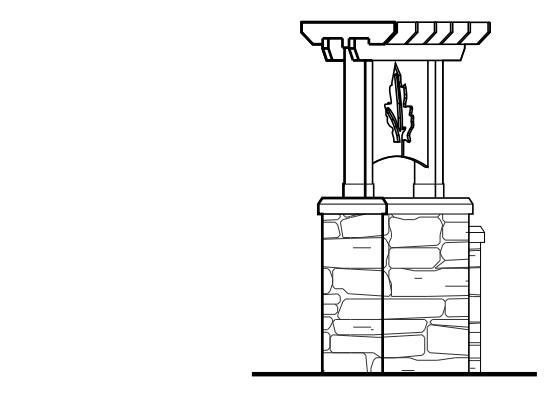
L2 SHRUB PLANTING DETAIL
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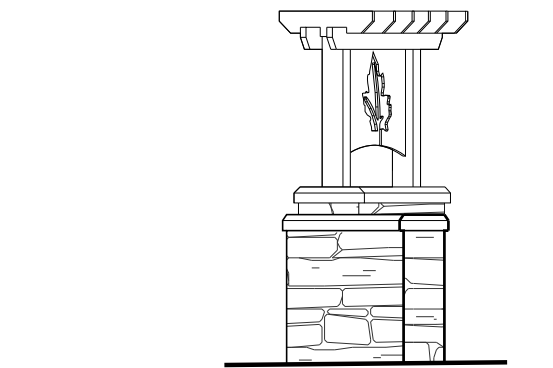
L1 TREE PLANTING SECTION
 1-11 SCALE: NO SCALE



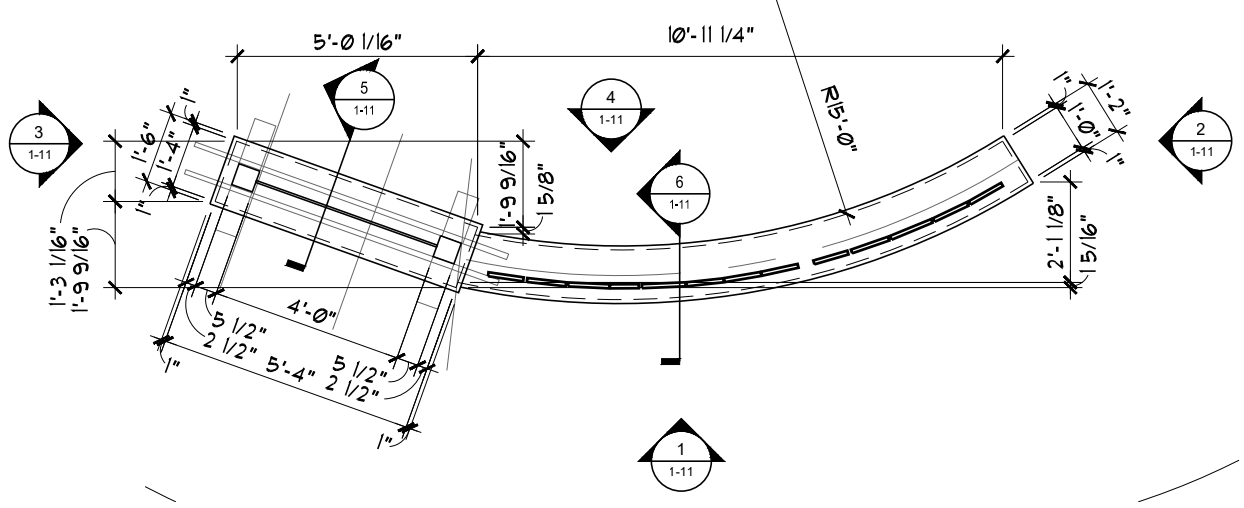
4 GROUND SIGN - ELEV.
 1-11 SCALE: 1/4\"/>



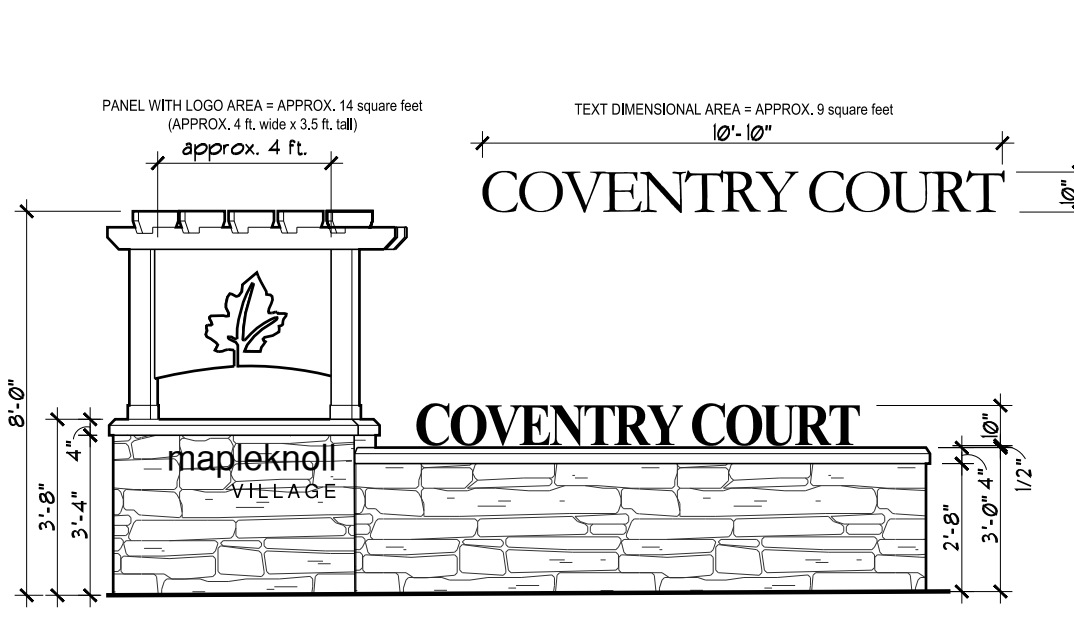
3 GROUND SIGN - ELEV.
 1-11 SCALE: 1/4\"/>



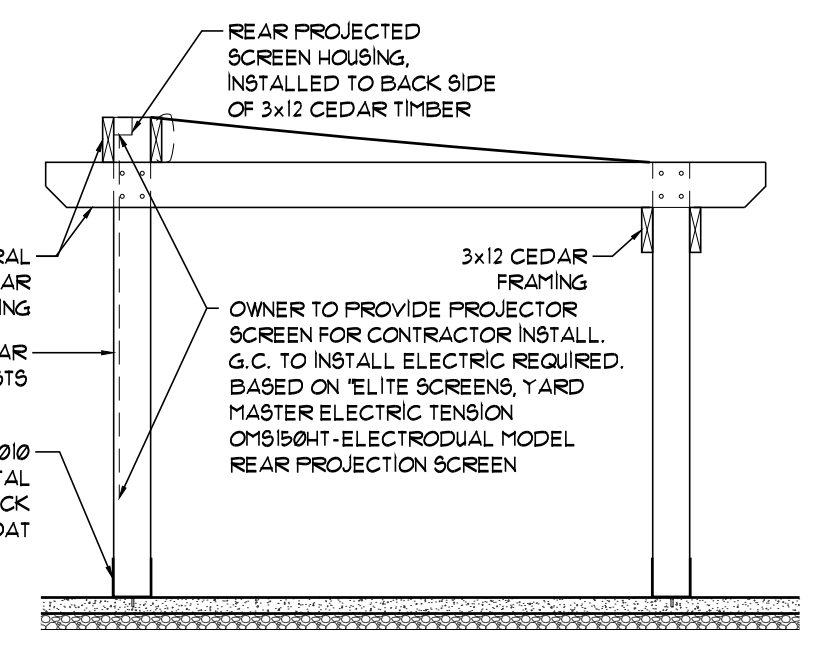
2 GROUND SIGN - ELEV.
 1-11 SCALE: 1/4\"/>



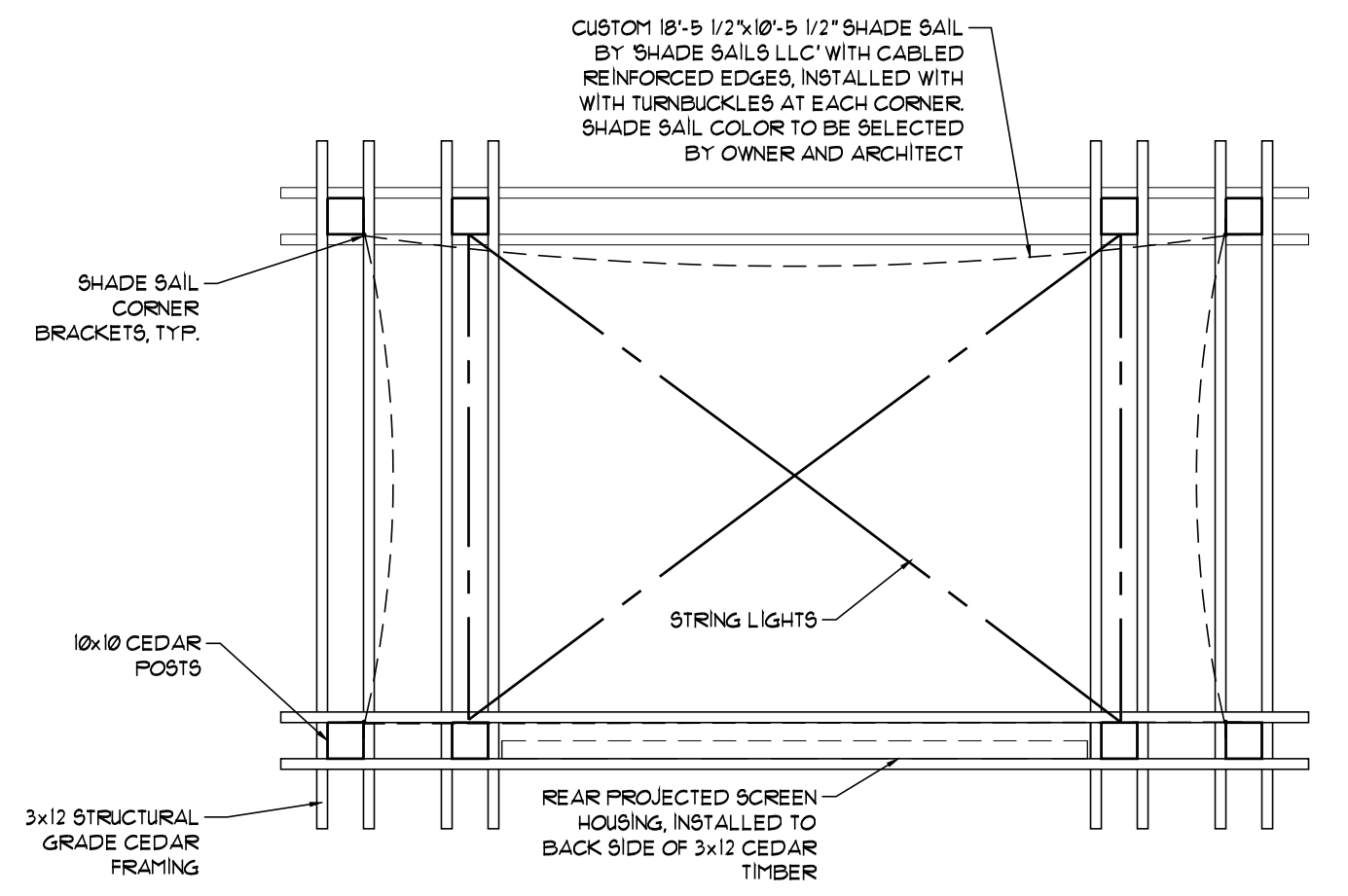
A GROUND SIGN - PLAN
 1-11 SCALE: 1/4\"/>



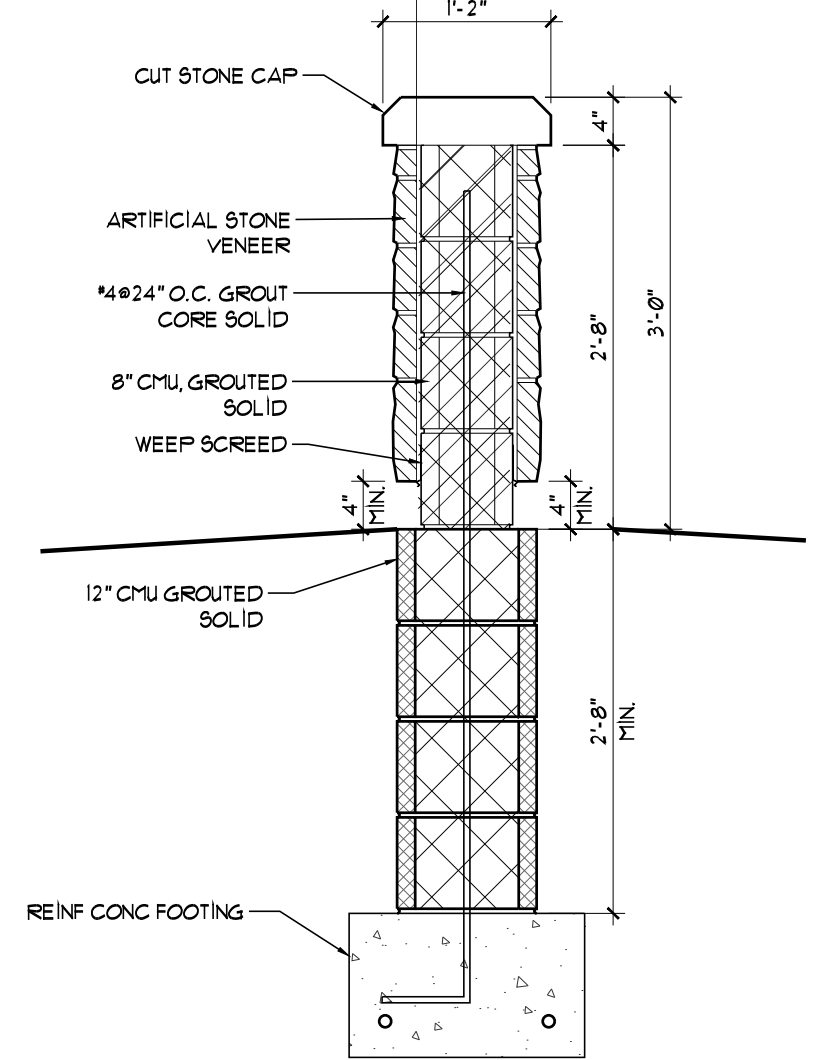
1 GROUND SIGN - ELEV.
 1-11 SCALE: 1/4\"/>



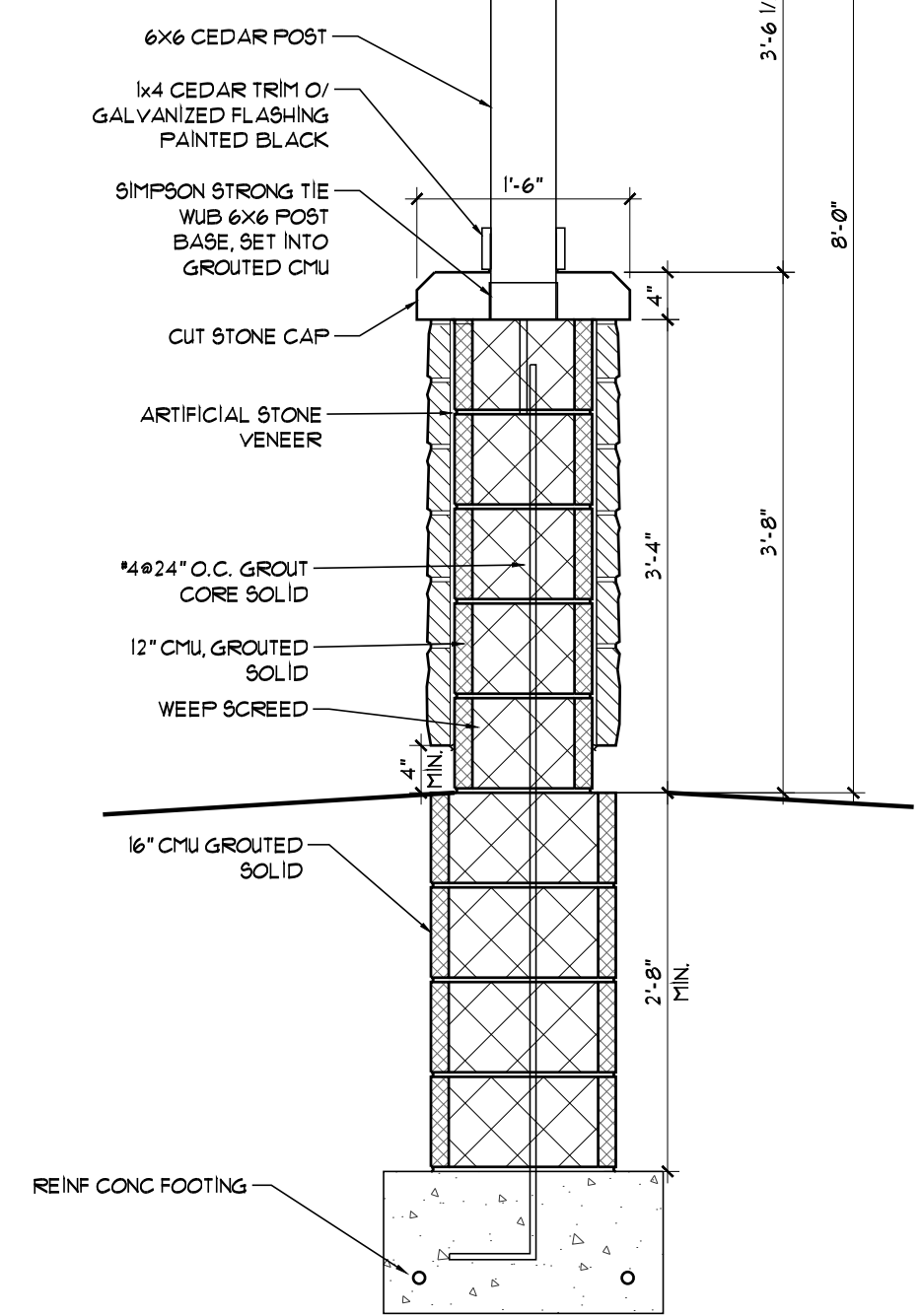
1 SHADE STRUCTURE - SECTION
 1-11 SCALE: 1/4\"/>



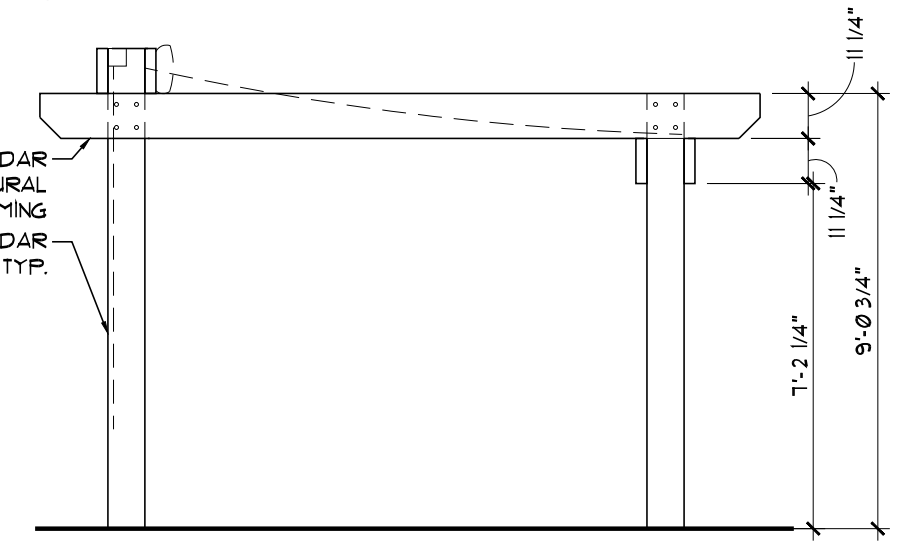
C SHADE STRUCTURE - ROOF PLAN
 1-11 SCALE: 1/4\"/>



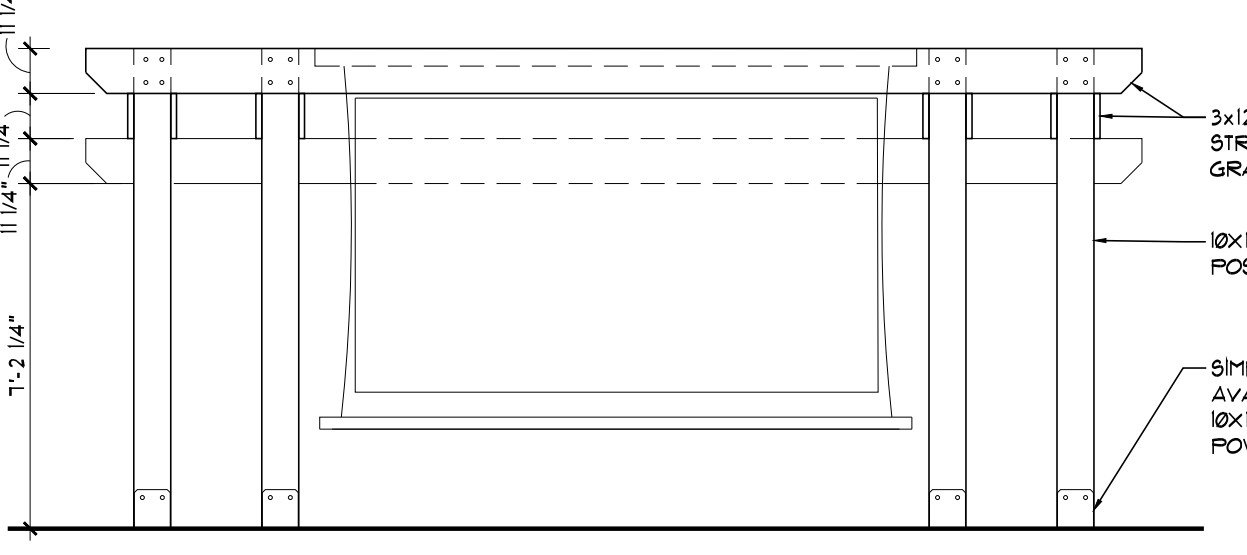
6 GROUND SIGN - SECTION
 1-11 SCALE: 3/4\"/>



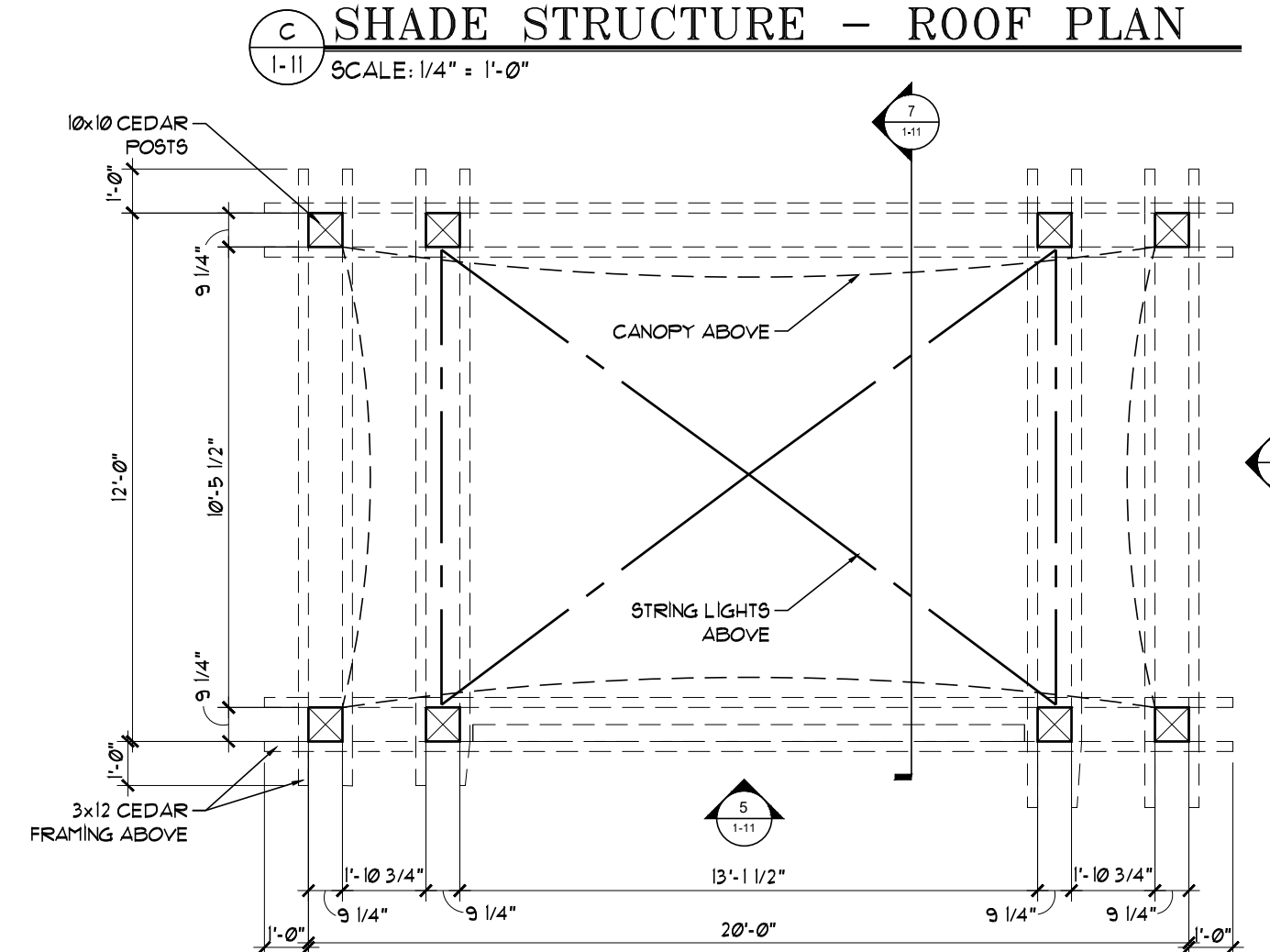
5 GROUND SIGN - SECTION
 1-11 SCALE: 1/4\"/>



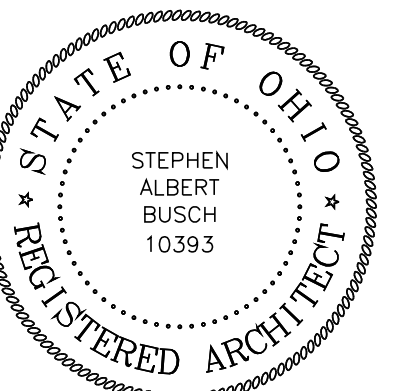
6 SHADE STRUCTURE - ELEV.
 1-11 SCALE: 1/4\"/>



5 SHADE STRUCTURE - ELEV.
 1-11 SCALE: 1/4\"/>



B SHADE STRUCTURE - PLAN
 1-11 SCALE: 1/4\"/>



Stephen Busch #10393
 Expiration Date: 12/31/2023

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DATE	5-26-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
REVISIONS			

SITE DETAILS
 Maple Knoll Village - Coventry Pavilion
 600 Maple Trace, Cincinnati, Ohio
 JAM ARCHITECTS, INC.
 6143 Beechmont Drive, Columbus, OH 43229
 (614) 322-2200