

PLANNING COMMISSION  
MEETING AGENDA  
MAY 09, 2023  
7:00 P.M.

PLEASE TURN OFF CELL PHONES

- I. CALL MEETING TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. MINUTES OF THE PREVIOUS MEETING  
APRIL 11, 2023 AT 7:00 P.M.
- V. REPORT ON COUNCIL
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS
- IX. NEW BUSINESS
  - A. CHIP'S GLASS  
12190 SPRINGFIELD PIKE  
(Application #20230124)
  - B. MAPLE KNOLL VILLAGE – COVENTRY PAVILLION DEVELOPMENT PLAN  
11100 SPRINGFIELD PIKE  
(Application #20230199)
- X. DISCUSSION
- XI. CHAIRMAN'S REPORT
- XII. ADJOURNMENT

Note: The next Planning Commission Meeting is scheduled for June 13, 2023.

PLANNING COMMISSION  
MEETING SUMMARY MINUTES  
April 11, 2023  
7:00 P.M.

I. CALL MEETING TO ORDER

II. ROLL CALL

Staff Present: Carl Lamping, Building Official and Anne McBride, City Planner

Commission Members Present: Dave Okum, Chairman; Steve Galster, Vice Chair; Tom Hall, Secretary; Jeff Singleton, Meghan Sullivan-Wisecup, Joe Ramirez, and Bob Diehl

III. PLEDGE OF ALLEGIANCE

IV. MINUTES OF THE PREVIOUS MEETING

SPECIAL MEETING March 7, 2023

Mr. Galster motioned to approve minutes, Mr. Hall seconded, a voice vote was taken and the minutes were approved 7-0.

V. REPORT ON COUNCIL

Ms. Sullivan-Wisecup gave report on the March 15, 2023 and April 5, 2023 City Council Meetings. Minutes and recordings of those meetings can be found on The City Website.

VII. CORRESPONDENCE – None

VIII. OLD BUSINESS – None

IX. NEW BUSINESS

A. SPRINGDALE COMMERCE PARK – MINOR MOD TO A PUD

12110 PRINCETON PI

(Application #20230070)

Ms. McBride read her comments, then asked for any questions.

Mr. Lamping added a condition where the applicant is assuming the types of equipment that is proposed to be there and if they get a tenant that's different, and is not part of this assumption, and they choose to want to not screen it; that will come back in front of Planning Commission because it's not included in the types of equipment that they are showing here. Building Department will review it first and determine that it does not match what was approved so we have to take it in front of Planning Commission again.

Ms. McBride concurred.

Giorgio Nardi from Kleingers Group, a representative for Springdale Commerce Park, gave details of the request.

Mr. Galster voiced concerns about the quantity of items being shown on the drawings.

Ms. McBride reiterated this is a best guess scenario.

John Cummings, with Strategic Capital Partners, explained they are trying to show the worst case scenario in terms of what more light manufacturing type operations might require based on what has been seen with the first two buildings.

Mr. Lamping explained that the outdoor storage will be allowed like it was at the printing press, as long as it is screened. What the applicant is proposing is if they have outdoor storage then they will screen it. The only item they are requesting here is the ability to not have to screen parts of the equipment, mostly on the roof. The documentation shows all of the ground mounted equipment screened, they are not asking for a variance on that tonight, they are asking for approval not to have to screen a lot of the roof mounted equipment except on the west side of the building. West, north, and south sides of building one they are going to move the equipment away from the edge so that it is not visible from the right of way. Because of the conditions coming off Crescentville, because of the height elevation differences, it is next to impossible to screen the roof mounted equipment from Crescentville. When they get a tenant and they have the need to have 11 or more we need to approve it because it meets the zoning code as long as the outdoor storage is screened. The number of items is not questioned. How to screen it is what is being questioned.

Mr. Hall clarified that they are being asked to approve or disapprove something that is conceptual. He asked who the enforcer will be on this.

Mr. Lamping stated what we are asking the Commission to approve is not screening the rooftop equipment that is viewable from Crescentville. The locations of the equipment, the actual location of the equipment is not known yet. These are the best estimates of where we think they'll be, so we are only talking about the lack screening on the rooftop equipment from Crescentville.

Ms. Sullivan-Wisecup motioned to approve the following project, Springdale Commerce Park at 12110 Princeton Pk, case number 20230070, per the specifications and designs provided in the meeting packets as exhibits that were submitted by the applicant prior to this meeting and reviewed by staff. This motion includes the following Conditions:

1. Staff and City Planners recommendations and considerations contained in their reports.

Whereas, all other Zoning Code regulations and conditions not detailed in this motion shall remain in effect. As such, any changes to any of the above conditions shall constitute a change of the Approved Plan. Such changes shall require Approval of the Springdale Planning Commission, Mr. Diehl seconded.

Commission was poled and the motion was approved 7-0.

X. DISCUSSION - None

XI. CHAIRMAN'S REPORT – Nothing to report

XII. ADJOURNMENT

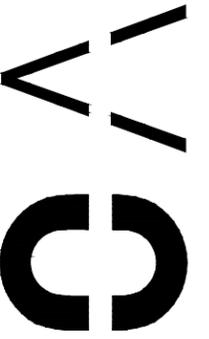
Ms. Sullivan-Wisecup motioned to adjourn, Mr. Diehl seconded, a voice vote was taken and the meeting was adjourned.

Note: The next Planning Commission Meeting is scheduled for May 9, 2023.

CLIENT

# TireDiscounters

CHIP'S AUTO GLASS - ROUTE 4



OPEN ARCHITECTURE, INC.

## PROJECT CONTACTS

**OWNER:**

TD Management, LTD  
200 W. 4th St.  
Cincinnati, OH 45202  
Phone: 513.618.7320

**BUILDING DEPARTMENT:**

City of Springdale  
11700 Springfield Pike  
Springdale, OH 45246  
Phone: 513.346.5730

**ARCHITECT:**

Open Architecture, Inc.  
1201 Harrison Ave.  
Cincinnati, OH 45214  
Contact: Emily Hiestand  
Phone: 937.926.4760  
E-Mail: emily.hiestand@openarchitecture.com

## SITE MAP



PROJECT SITE



NORTH

## PROJECT DATA

**PROJECT NAME:**

CHIP'S AUTO GLASS  
12190 SPRINGFIELD PIKE  
SPRINGDALE, OH 45246

**PARCEL NUMBER:**

599-0030-0001

TIRE DISCOUNTERS  
**CHIP'S AUTO GLASS - ROUTE 4**

ISSUED: PLANNING REV 1  
DATE: 04.12.2023  
PROJECT NO: 23001

12190 SPRINGFIELD PIKE  
SPRINGDALE, OH 45246

SHEET TITLE  
**G-001**

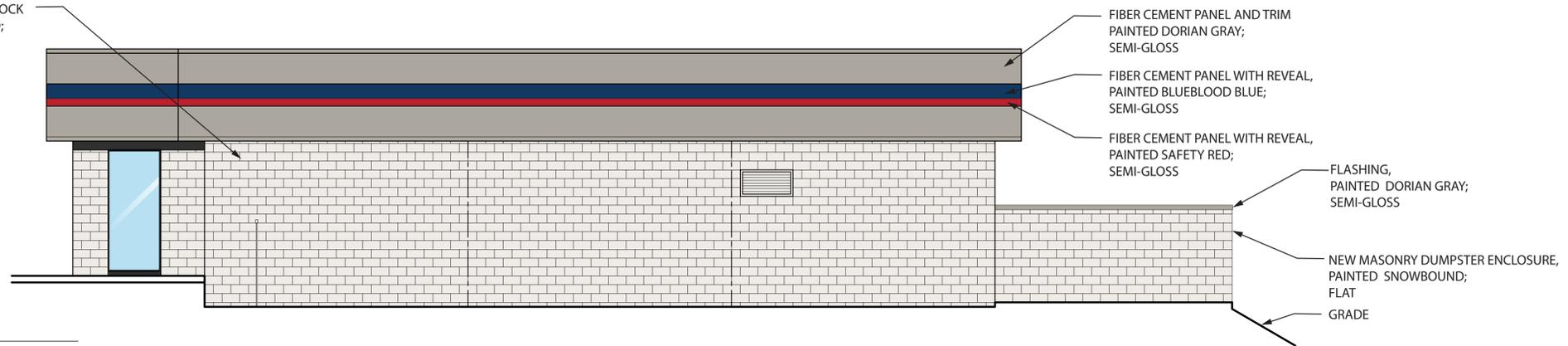
SHEET NUMBER  
**TITLE SHEET**

EXISTING MASONRY BLOCK  
PAINTED SNOWBOUND;  
FLAT

**AREA CALCULATION**

TOTAL = 1499 SF  
COLOR STRIP = 123 SF  
8.2% NON-EARTH TONE

**4 SOUTH ELEVATION**



EXISTING MASONRY BLOCK  
PAINTED SNOWBOUND;  
FLAT

**AREA CALCULATION**

TOTAL = 1354 SF  
COLOR STRIP = 121 SF  
8.9% NON-EARTH TONE

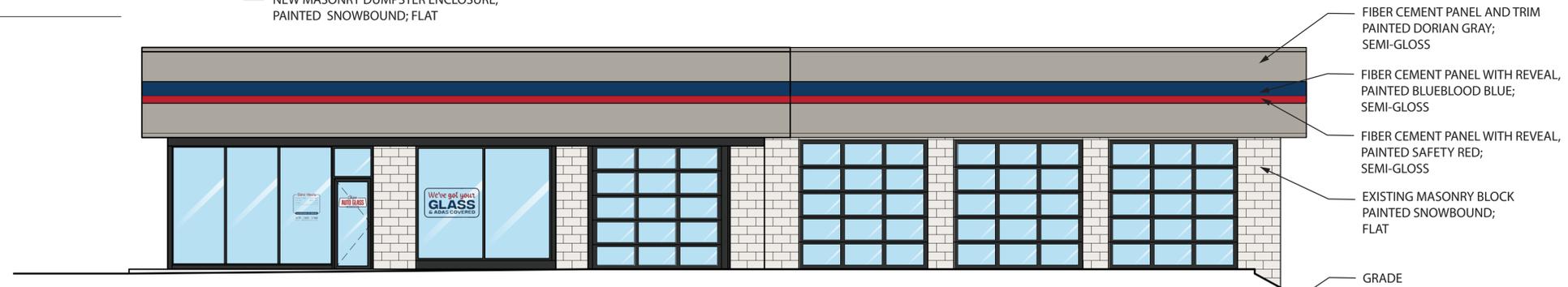
**3 NORTH ELEVATION**



**AREA CALCULATION**

TOTAL = 1507 SF  
COLOR STRIP = 150 SF  
10% NON-EARTH TONE

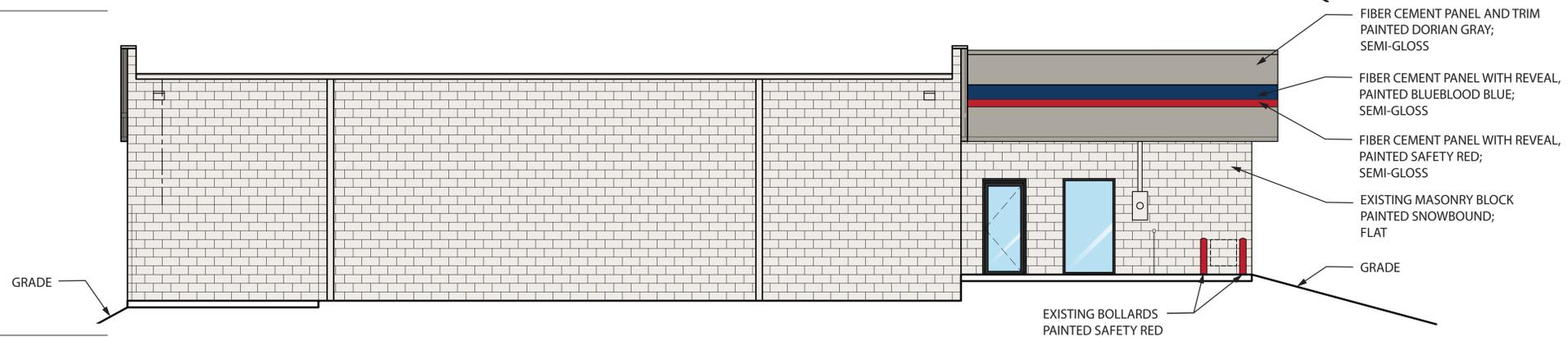
**2 WEST ELEVATION**



**AREA CALCULATION**

TOTAL = 1513 SF  
COLOR STRIP = 40 SF  
2.6% NON-EARTH TONE

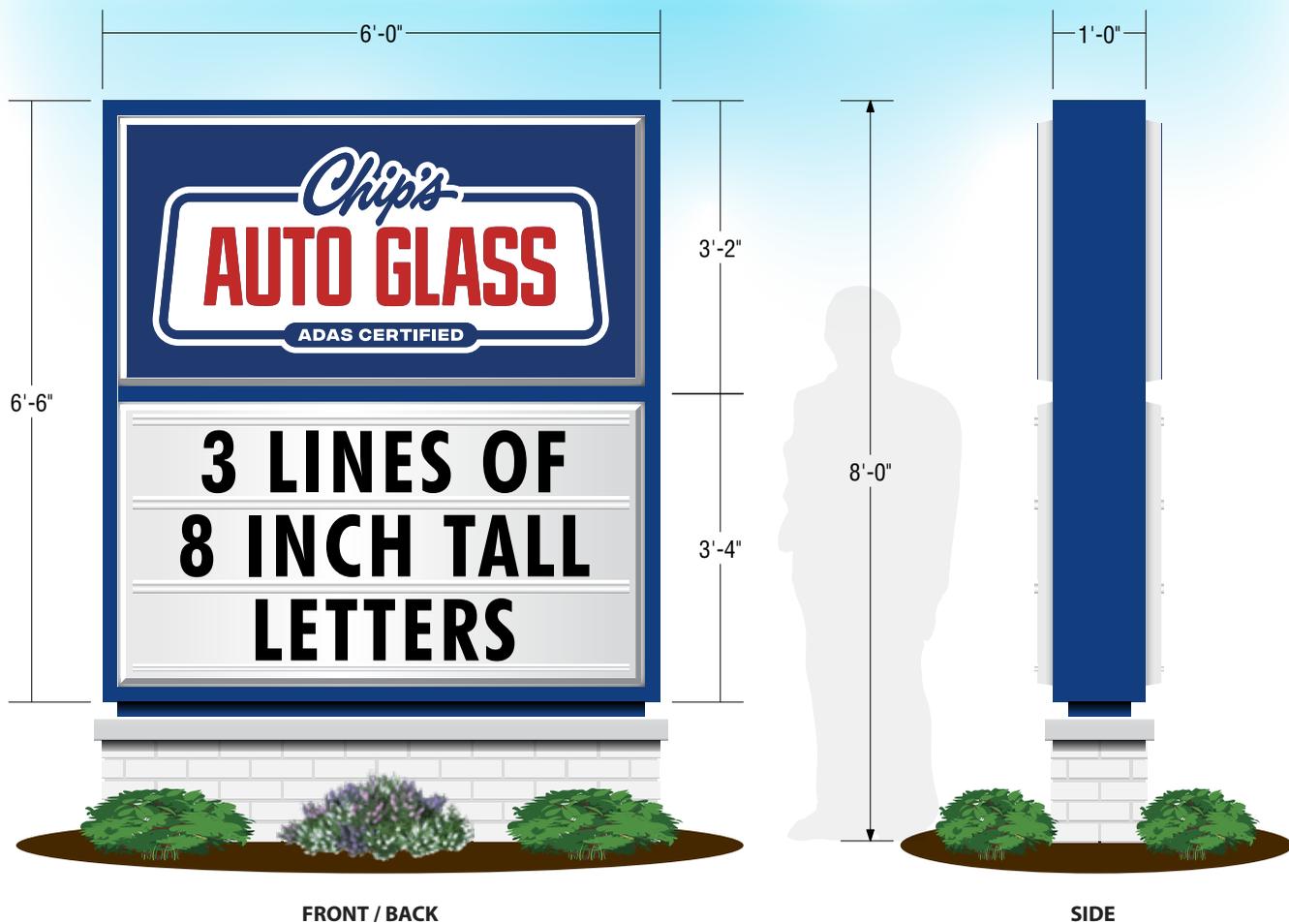
**1 EAST ELEVATION**





## Double-Sided Monument Sign

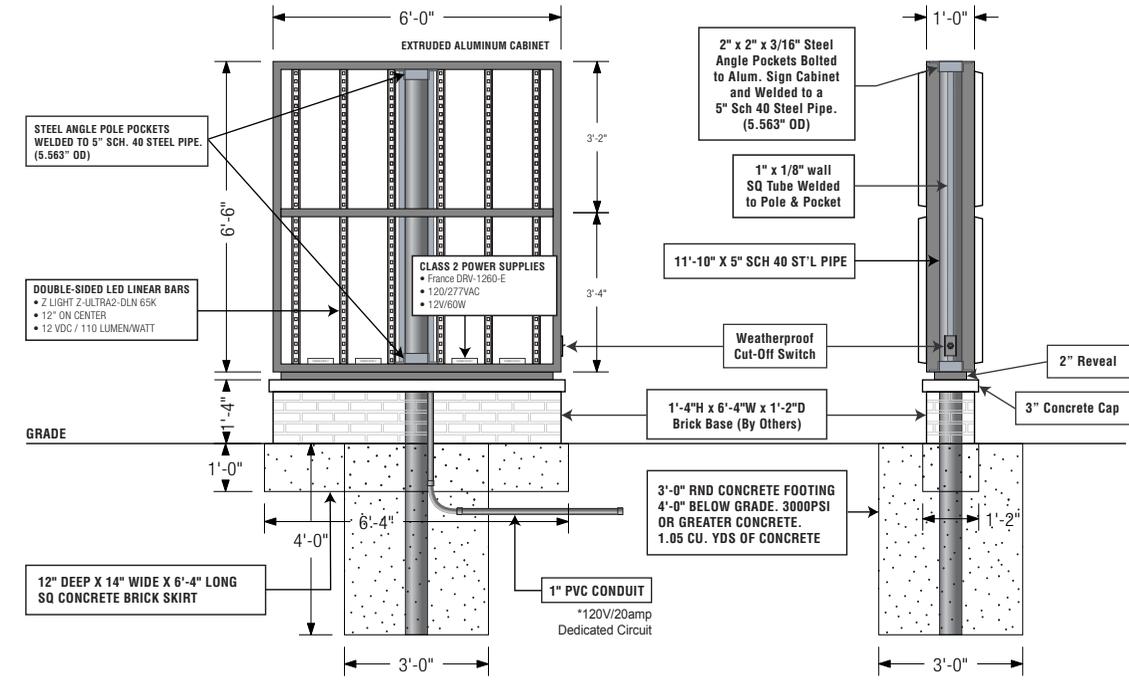
LED Internally Illuminated / Pan-Formed Acrylic Faces / UL Listed



Ground signs shall be located in a mulched and landscaped area that includes a variety of plant types or bushes and is equal to the total sign area of the applicable signs.

SIZES SHOWN MUST BE CONFIRMED TO FIT AREA/LOCATION DESIGNATED ON SITE MAP PRIOR TO PRODUCTION.

39 SQ FT PROPOSED



SCALE: 1/4"=1'

**Production Notes:**

- (1) D/S Extruded aluminum sign cabinet. / Painted Black. 2" Retainers & Divider Bar
- LED Internally Illuminated with Z-Light LED Linear Bars & France Power Supplies
- Pigmented White Acrylic, Pan Formed Faces w/ Embossed "Cloud" Logo w/ 3M Translucent vinyl applied 1st surface.
- (3) Lines of 8" on 10" Changeable copy.
- Sign cabinet to be center pole mounted to brick base. (Brick base by others)
- Sign cabinet to have weatherproof, electric cut-off switch.
- All Parts UL Approved.

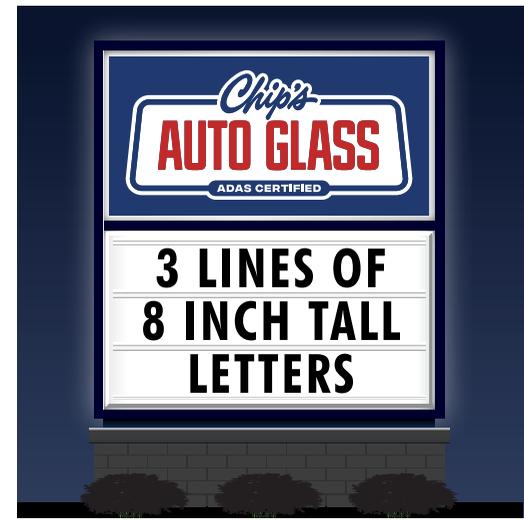
**Electrical Notes:**

- Sign electrical disconnect to comply with NEC 600.6.
- Sign grounding per NEC 600.7
- All wiring and fixtures to be suitable for damp locations.

**Engineering Notes:**

- 2019 OBC to govern construction
- Steel to be A-36, Primed Bolts to be A-325
- Wind Load: 90MPH; 1.4 ASCE 7-05 Force Coefficient

■ PANTONE 7621C  
3M RED / 3630-33
■ PANTONE 287C  
3M SULTAN BLUE / 3630-157



PROPOSED ILLUMINATION



START DATE:		REVISION DATES:			
1.	2-22-23	3.		5.	
2.	4-3-23	4.		6.	

**GROUND SIGN**

NEW Monument Sign

**Chip's Auto Glass**  
12190 Springfield Pike, Springdale, OH 45246

SALES: BD    MANAGER: TR    DESIGN: TW

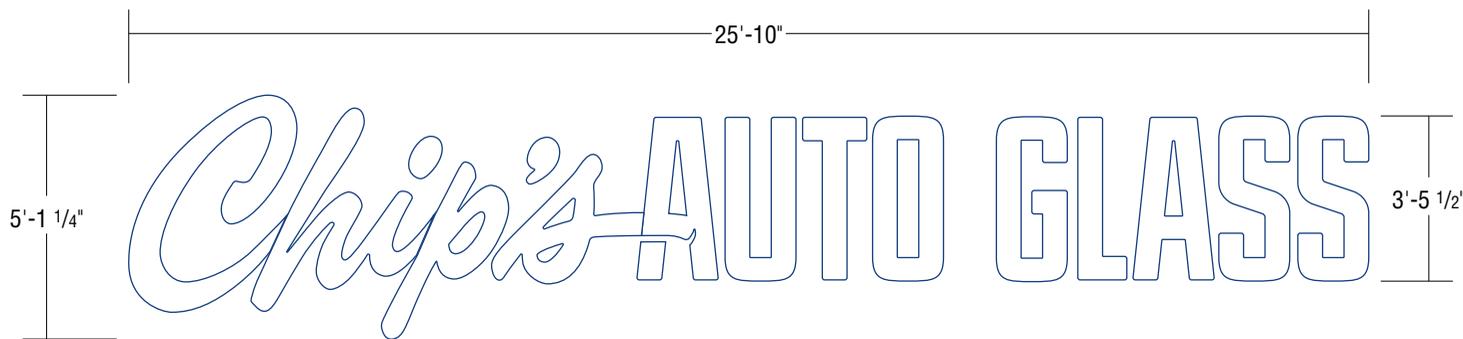
APPROVED BY: \_\_\_\_\_    DATE: \_\_\_\_\_



- (3) LED INTERNALLY ILLUMINATED SIGN CABINETS
- OVERALL SIZE: 1'-6"H X 4'-1 1/2"W X 5"D
- WHITE LED MODULES & POWER SUPPLIES
- FLAT ACRYLIC FACE w/ BLUE VINYL
- FLUSH MOUNTED; ALL PARTS UL APPROVED

WEST ELEVATION / FACING SPRINGFIELD PIKE

SCALE: 3/32"=1'



SCALE: 1/4"=1'

TRIM & RETURNS PANTONE 287C
  FACES #7328 WHITE ACRYLIC
 132 SQ FT PROPOSED

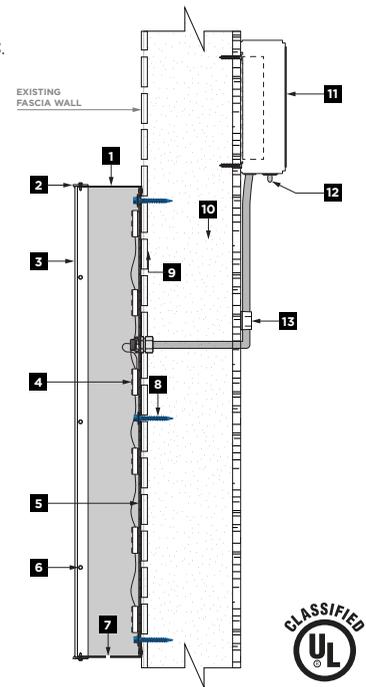
**FACE LIT LED CHANNEL LETTERS**

- ALUMINUM CONSTRUCTED LED INTERNALLY ILLUMINATED CHANNEL LETTERS.
- OVERALL SIZE: 5'-1 1/4"H X 25'-10"W X 5"D
- WHITE ACRYLIC FACES w/ 1" TRIMCAP AND RETURNS PAINTED TO MATCH PANTONE 287C.
- FLUSH MOUNTED TO EXISTING FASCIA USING APPROPRIATE NON-CORROSIVE FASTENERS.
- WHITE LED MODULES, REMOTE POWER SUPPLIES, (1) DEDICATED 120V/20 AMP CIRCUIT REQUIRED.
- ALL PARTS UL LISTED.



FRONT FACE ILLUMINATION

- 1 5" Deep .040 Returns P/T/M Pantone 287C.
- 2 1" Jewelite Trim Cap P/T/M Pantone 287C.
- 3 .177" #7328 Acrylite White acrylic face.
- 4 Z-Light White Z-ECO3X-W 7100K LED modules.
- 5 .063" Aluminum backing.
- 6 1/4" Tek screws to attach trim cap.
- 7 1/4" Dia. weep holes.
- 8 Non-Corrosive mounting hardware will vary as needed per fascia type and code requirements.
- 9 1/2" Sealtite Connector or equivalent.
- 10 1/2" Sealtite or equivalent weatherproof flexible conduit.
- 11 France LED Double Mini Fast Pack Kit wet-listed enclosure, to house two class 2 60w power supplies. (MMPS-1260-FP-1)
- 12 External disconnect switch as per NEC 600.6
- 13 Single hole mounting clips to accommodate 1/2" dia. conduit.



ALL ELECTRICAL WHIPS MUST BE A MINIMUM OF 11'-0" IN LENGTH.



480 Milford Parkway • Milford, OH 45150  
Phone 513-576-8090 • Fax 513-576-8095

START DATE:	REVISION DATES:			
2-3-23	1. 3-1-23	3. _____	5. _____	
	2. 4-6-23	4. _____	6. _____	

**BUILDING SIGN #1**

**NEW Channel Letters**

**Chip's Auto Glass**  
12190 Springfield Pike, Springdale, OH 45246

SALES: BD    MANAGER: TR    DESIGN: TW  
APPROVED BY: \_\_\_\_\_    DATE: \_\_\_\_\_

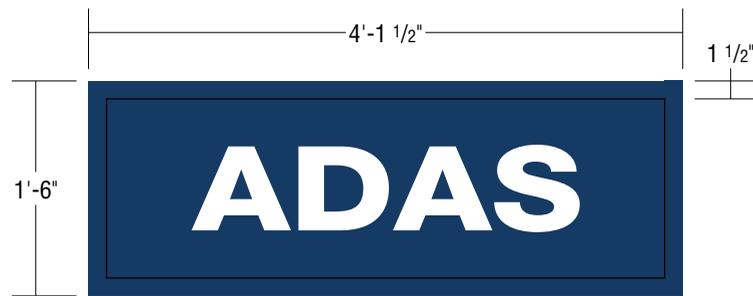


WEST ELEVATION / FACING SPRINGFIELD PIKE

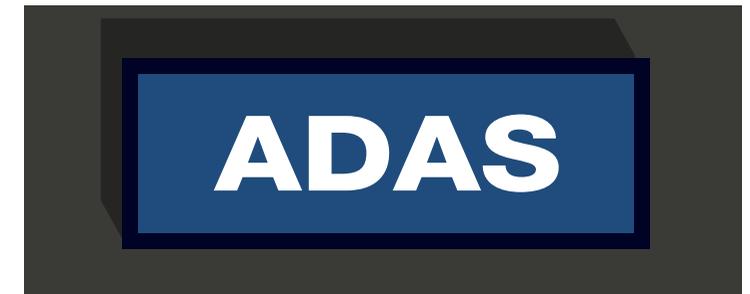
SCALE: 3/32"=1'



BUILDING SIGNS #2 & #3



BUILDING SIGN #4



FRONT FACE ILLUMINATION

SCALE: 3/4"=1'

6.2 SQ FT / EA

**(3) SINGLE SIDED LED WALL SIGNS**

- ALUMINUM CONSTRUCTED, LED INTERNALLY ILLUMINATED, SINGLE-SIDED SIGN CABINETS.
- OVERALL SIZE: 1'-6"H X 4'-1 1/2"W X 5"D / 1-1/2" RETAINER
- WHITE ACRYLIC FACES w/ DIGITALLY PRINTED TRANSLUCENT VINYL TO MATCH BUILDING COLOR TBD.
- FLUSH MOUNTED TO EXISTING FASCIA USING APPROPRIATE NON-CORROSIVE FASTENERS.
- WHITE LED MODULES, INTERNAL SUPPLIES, (1) DEDICATED 120V/20 AMP CIRCUIT REQUIRED.
- ALL PARTS UL LISTED.

 PANTONE 287C  
3M SULTAN BLUE / 3630-157

 FACES  
#7328 WHITE ACRYLIC



480 Milford Parkway • Milford, OH 45150  
Phone 513-574-8090 • Fax 513-574-8095

START DATE:	REVISION DATES:			
2-3-23	1. 3-1-23	3. _____	5. _____	
	2. 4-6-23	4. _____	6. _____	

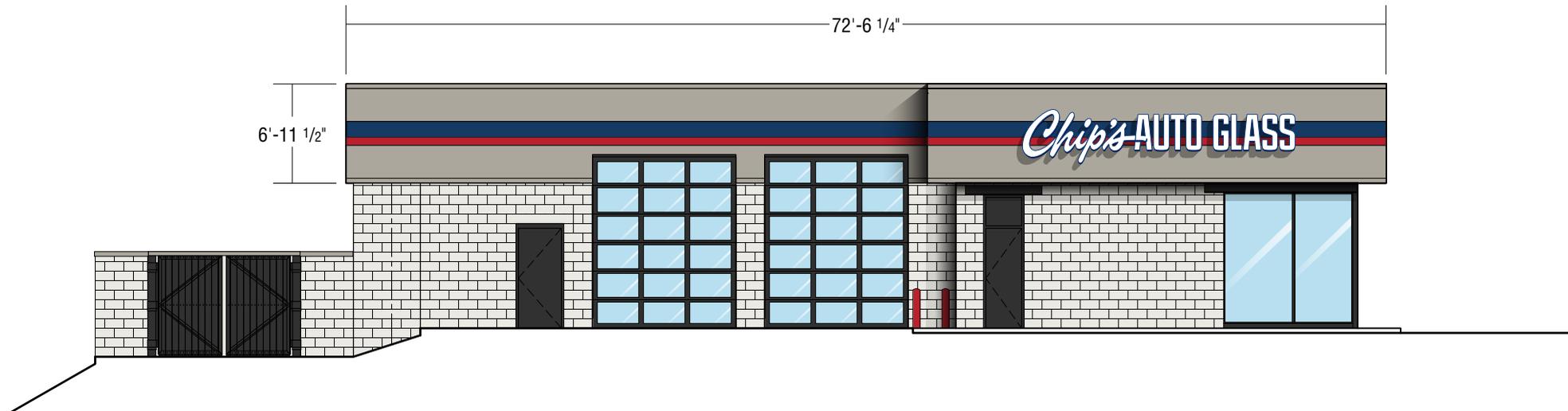
**BUILDING SIGNS #2,3,4**

**NEW  
Channel Letters**

**Chip's Auto Glass**  
12190 Springfield Pike, Springdale, OH 45246

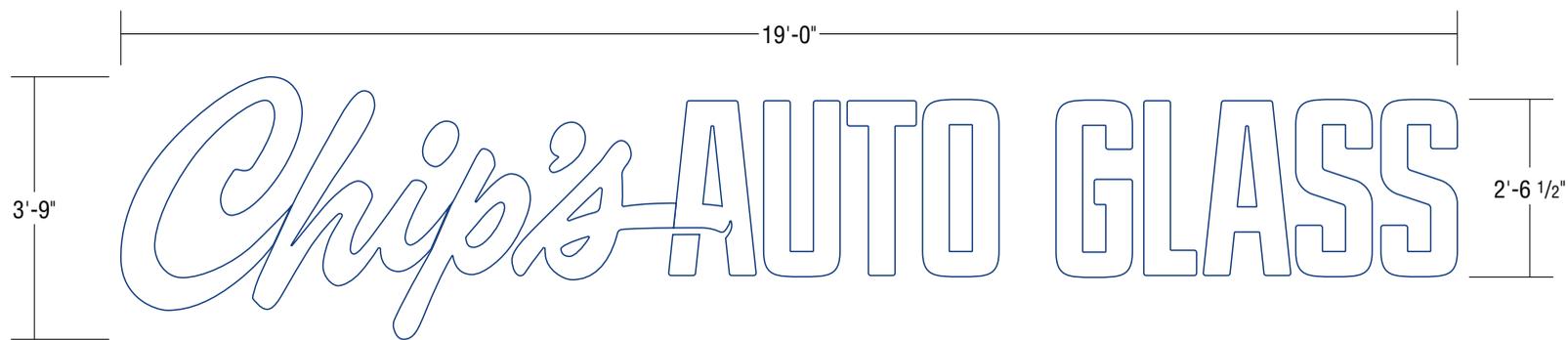
SALES: BD      MANAGER: TR      DESIGN: TW

APPROVED BY: \_\_\_\_\_      DATE: \_\_\_\_\_



NORTH ELEVATION / FACING WEST CRESCENTVILLE RD

SCALE: 3/32"=1'



SCALE: 3/8"=1'

TRIM & RETURNS PANTONE 287C
  FACES #7328 WHITE ACRYLIC
 71.25 SQ FT PROPOSED

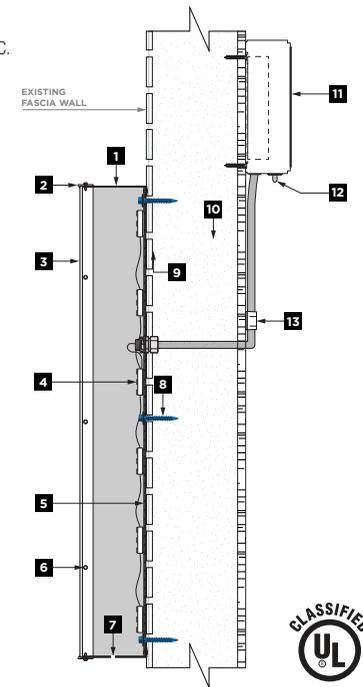
**FACE LIT LED CHANNEL LETTERS**

- ALUMINUM CONSTRUCTED LED INTERNALLY ILLUMINATED CHANNEL LETTERS.
- OVERALL SIZE: 3'-9"H X 19'-0"W X 5"D
- WHITE ACRYLIC FACES w/ 1" TRIMCAP AND RETURNS PAINTED TO MATCH PANTONE 287C.
- FLUSH MOUNTED TO EXISTING FASCIA USING APPROPRIATE NON-CORROSIVE FASTENERS.
- WHITE LED MODULES, REMOTE POWER SUPPLIES, (1) DEDICATED 120V/20 AMP CIRCUIT REQUIRED.
- ALL PARTS UL LISTED.



FRONT FACE ILLUMINATION

- 1 5" Deep .040 Returns P/T/M Pantone 287C.
- 2 1" Jewelite Trim Cap P/T/M Pantone 287C.
- 3 .177" #7328 Acrylite White acrylic face.
- 4 Z-Light White Z-ECO3X-W 7100K LED modules.
- 5 .063" Aluminum backing.
- 6 1/4" Tek screws to attach trim cap.
- 7 1/4" Dia. weep holes.
- 8 Non-Corrosive mounting hardware will vary as needed per fascia type and code requirements.
- 9 1/2" Sealtite Connector or equivalent.
- 10 1/2" Sealtite or equivalent weatherproof flexible conduit.
- 11 France LED Double Mini Fast Pack Kit wet-listed enclosure, to house two class 2 60w power supplies. (MMPS-1260-FP-1)
- 12 External disconnect switch as per NEC 600.6
- 13 Single hole mounting clips to accommodate 1/2" dia. conduit.



ALL ELECTRICAL WHIPS MUST BE A MINIMUM OF 11'-0" IN LENGTH.



480 Milford Parkway • Milford, OH 45150  
Phone 513-574-8090 • Fax 513-574-8095

START DATE:  
2-3-23

REVISION DATES:

1. 3-1-23	3. _____	5. _____
2. 4-6-23	4. _____	6. _____

**BUILDING SIGN #5**

**NEW Channel Letters**

**Chip's Auto Glass**

12190 Springfield Pike, Springdale, OH 45246

SALES: BD      MANAGER: TR      DESIGN: TW

APPROVED BY: \_\_\_\_\_      DATE: \_\_\_\_\_

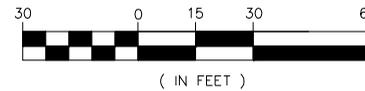
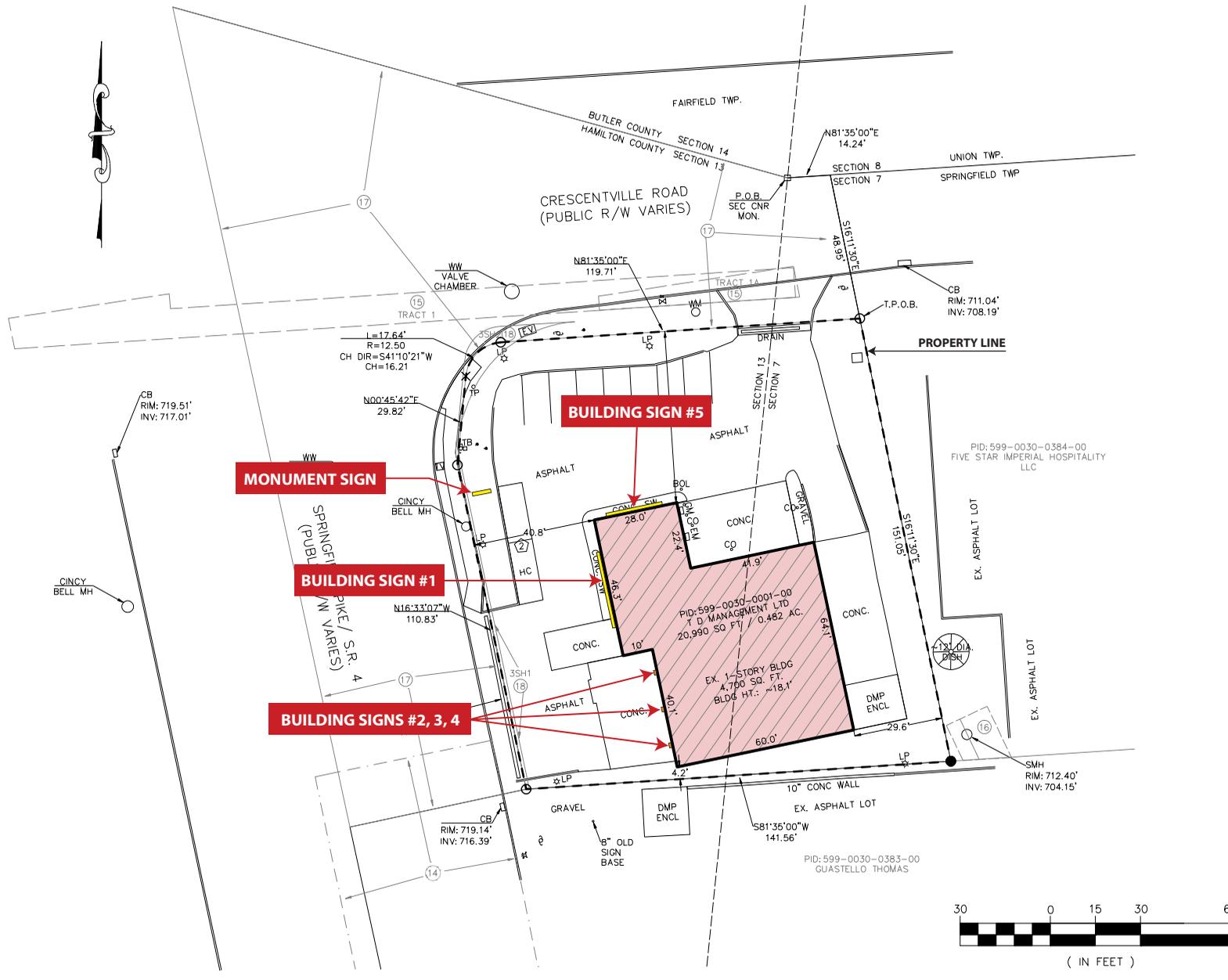
## ZONING ALLOWANCES

### WALL SIGNS

- Wall signs are only permitted on the walls facing Springfield Pike and Crescentville Road.
- The subject property is allowed approximately **155 square feet of wall signage** that can be distributed between wall signs and window signs (calculation based on the length of the building frontage x 1.5 + 20)
- Buildings located on corner lots may be permitted to have a wall sign on the secondary frontage that has a maximum sign area that is equal to the width of the secondary building frontage. That would allow approximately **72 square feet of wall signage**.
- All wall signs shall be constructed primarily with channel cut letters. A maximum of 15 percent of the proposed wall sign area may be cabinet sign if used in conjunction with channel cut letters.

### GROUND SIGNS

- One ground sign is permitted per development.
- One additional ground sign may be permitted for corner lots or lots with multiple frontages such as double or triple frontage lots.
- Maximum height for all ground signs is eight feet.
- The area for any ground sign shall **not exceed 100 square feet of total sign face area**. The area of a second ground sign, if permitted under b), shall not exceed 50 square feet of total sign face area.
- Ground signs must be **set back at least ten feet** from any non-residential zoning district or use lot line and 50 feet from any residential zoning district or use lot line.
- The base of the ground sign shall be constructed of materials, colors, and design details which match or correlate to those used in one of the principal buildings on site.
- Ground signs shall be located in a mulched and landscaped area that includes a variety of plant types or bushes and is equal to the total sign area of the applicable signs.



480 Milford Parkway • Milford, OH 45150  
Phone 513-574-8090 • Fax 513-574-8095

START DATE:	REVISION DATES:
2-3-23	1. 2-22-23
	2. 3-1-23
	3. _____
	4. _____
	5. _____
	6. _____

### Site Map

**Chip's Auto Glass**  
12190 Springfield Pike, Springdale, OH 45246

SALES: BD      MANAGER: TR      DESIGN: TW  
APPROVED BY: \_\_\_\_\_      DATE: \_\_\_\_\_



**CITY OF SPRINGDALE - BUILDING DEPARTMENT**  
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246  
 PHONE: 513-346-5730 FAX: 513-346-5747  
 WEBSITE: [www.springdale.org/building-department.aspx](http://www.springdale.org/building-department.aspx)  
 EMAIL: [Building@Springdale.org](mailto:Building@Springdale.org)

Application Number

**PLANNING/ZONING APPLICATION**

**Project Name:** Chips Glass - Route 4 **Area of Development:** 0.516 Acres  
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

**Project Location:** 12190 Springfield Pike, Springdale, OH 45246  
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

**Applicant:** Craig Bonifas (Open Architecture) 513-519-0361  
(Name) (Daytime Phone Number)

Open Architecture 1201 Harrison Ave Cincinnati, OH 45214 craig.bonifas@openarhitecture.com  
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

**APPLICATION FOR:** (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: <https://www.springdale.org/building-department.aspx>

<input type="checkbox"/> <b>Major Project:</b> Application process requires a <b>Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council.</b> Include <u>Major Projects Submission Requirements</u> Document with this Application  <i>Project Types include the following: (Pick 1 Below)</i>	<input checked="" type="checkbox"/> <b>Minor Project:</b> Application process requires a <b>Meeting and a Decision by Planning Commission.</b> Include <u>Minor Project Submission Requirements</u> Document with this Application  <i>Project Types include the following: (Pick 1 Below)</i>	<input type="checkbox"/> <b>BZA Hearing:</b> Application process requires a <b>Public Hearing and a Decision by the Board of Zoning Appeals.</b> Include <u>BZA Submission Requirements</u> document <i>Project Types: (Pick 1 Below)</i>
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<input type="checkbox"/> <b>Zoning Text or Map Amendments</b> Describe Zone Change and Total (Net) Acres Below Section 153.202	<input type="checkbox"/> Concept Plan <small>(Hearing by PC/ No Decision)</small> <input type="checkbox"/> Development Plan <small>Section 153.203</small> <input type="checkbox"/> Conditional Use Permits <small>Section 153.204</small> <input type="checkbox"/> Determination of Similar Uses <small>Sec 153.205</small>	<input type="checkbox"/> <b>Variance</b> <small>Section 153.206</small>
<b>Planned Unit Development (PUD):</b> <input type="checkbox"/> Preliminary Development Plan <small>Sec 153.255(F)(1)</small> <input type="checkbox"/> Major Modification <small>Section 153.255 (H)(1)</small>	<b>Planned Unit Development (PUD):</b> <input type="checkbox"/> Final Development Plan <small>Section 153.255(F)(5)</small> <input type="checkbox"/> Minor Modification <small>Section 153.255 (H)(2)</small>	<input type="checkbox"/> <b>Appeal</b> <small>Section 153.208</small>
<b>Transition Overlay District (T-District):</b> <input type="checkbox"/> Preliminary Development Plan <small>Sec 153.256(F)(1)</small> <input type="checkbox"/> Major Modification <small>Section 153.256 (G)(1)</small>	<b>Transition Overlay District (T-District):</b> <input type="checkbox"/> Final Development Plan <small>Sect. 153.256 (F)(5)</small> <input type="checkbox"/> Minor Modification <small>Section 153.256 (G)(2)</small>	
	<input checked="" type="checkbox"/> <b>Route 4 Corridor Review District Plan</b> All new <u>exterior</u> work on properties in the Rt 4 Corridor required to be Approved. <small>Sec 153.257(I)</small>	

**BRIEFLY DESCRIBE PROJECT:** \_\_\_\_\_  
(Provide Existing and Proposed Zoning for this Property)

Zoning designation not changing. Current zoning is GB (General Business) and proposed is GB (General Business).  
~~Proposed Scope: Re-brand of the existing "Tire Discounters Glass" to "Chips Glass" which will include exterior building color and signage changes. Additional, the entrance to the site off of Crescentville Rd will be re-grading to prevent vehicles from bottoming out when entering.~~

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

\_\_\_\_\_  
(12/16/2020) (Signature of Owner/Agent) (Print Name) (Date)



**CITY OF SPRINGDALE - BUILDING DEPARTMENT**  
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246  
 PHONE: 513-346-5730 FAX: 513-346-5747  
 WEBSITE: [www.springdale.org/building-department.aspx](http://www.springdale.org/building-department.aspx)  
 EMAIL: [Building@Springdale.org](mailto:Building@Springdale.org)

Application Number

**PLANNING/ZONING APPLICATION**

**Project Name:** Chips Glass - Route 4 **Total Area/Development:** 0.516 Acres  
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

**Project Location:** 12190 Springfield Pike, Springdale, OH 45246  
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

**Area of this Parcel:** 0.516 Acres **Parcel ID:** 059900 30-0001-00  
(From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

**Property Owner:** TD Management LTD  
(Name From Auditor's Website) (Daytime Phone Number)

7525 Wooster Pike, Cincinnati, OH 45227  
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

**Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.**

**OWNER'S AFFIDAVIT**

STATE OF OHIO, COUNTY OF HAMILTON

I (we) TD Management LTD (by William M. Wood, Manager), hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

William M. Wood  
 Signature

200 W. 4th Street  
 Mailing Address

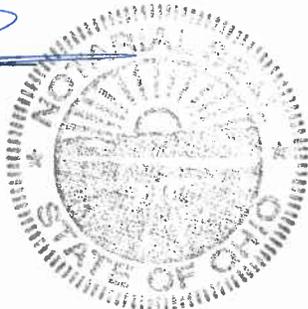
Cincinnati, OH  
 City and State

513 617 7308  
 Phone

Subscribed and sworn to before  
 me this 11<sup>th</sup> day of February, 2023

[Signature]  
 Notary Public

ROBERT ALAN OESTREICHER, Attorney At Law  
 NOTARY PUBLIC - STATE OF OHIO  
 My commission has no expiration date  
 Sec. 147.03 R.C.





**Chip's Glass  
12190 Springfield Pike  
Application# 2023-0124  
May 9, 2023**

**Request:**

To make modifications to the exterior of the existing building and add a ground mounted and building signage.

**Comments:**

The 0.516 acres of property is located at the southeast corner of Springfield Pike and Crescentville Road and contains a 4,724 square foot building built in 1965. The property is currently occupied by "Tire Discounters Auto Glass." Existing zoning for the site is "GB" General Business District, and the parcel is located within Sub Area "A" of the "CRD" Corridor Review District. The applicant is proposing to repaint the exterior of the building, add new building signage, and add two new pole signs to the site. Additional modifications have been made to the site without City approval.

- 1) The applicant is proposing to paint the existing masonry block building "Snowbound White" on all four elevations. Fiber cement siding and trim is proposed for the top of the north, west, and south elevations as well as a portion of the east elevation. The fiber cement panel is proposed to be painted "Dorian Gray" with "Blue Blood Blue" and "Safety Red" accent colors. Section 153.257 (C) (2) (a-c) of the Code requires a coordinated color scheme for buildings in the "CRD" consisting mainly of earthtone colors. The use of non-earthtone colors as accent colors, such as the "Safety Red" and "Blue Blood Blue," are limited to 10% of any elevation. The inclusion of the proposed non-earthtone colors are consistent with the 10% maximum permitted as represented by the applicant (north 8.9%, west 10%, south 8.2%, and east 2.6%).
- 2) Sometime between the CAGIS aerial photos being taken in 2021 and 2022, the applicant has removed all of the mature landscape material on both Springfield Pike and Crescentville Road without City approval. A Landscape Plan for the site must be submitted for Staff review and approval indicating the planting of trees and shrubs consistent with the requirements of Sections 153.404 (F) and (G). The applicant has indicated that they will submit a landscape plan compliant with Sections 153.404 (F) and (G) and Section 153.459 (C) (3) (g) with their building permit set for staff review and approval.
- 3) Sometime between the CAGIS aerial photos being taken in 2021 and 2022, the applicant has added two parallel parking spaces in the northern part of the site adjacent to Springfield Pike without City approval. Details need to be provided for the two spaces, one of which is an ADA space, to indicate compliance with the requirements of Section 153.302 (B). The applicant has indicated that they will submit a site plan with their building permit set to indicate the two new parking spaces are consistent with the requirements of Section 153.302 (B).

- 4) There is an existing wood fence waste enclosure on the east side of the building that was constructed without City approval and does not meet the requirements of Section 153.254 (G). The current dumpster on site does not fit in the enclosure, and the gates are not kept closed as required by Section 153.254 (G) (3). The applicant is proposing to construct a new waste enclosure of masonry block painted “Snowbound” to match the building. Details of the proposed enclosure and gates need to be provided to staff for review and consistency with Section 153.254 (G) determined.
- 5) Several of the lighting fixtures have been replaced with LED fixtures without City approval. Details of the fixtures and a Lighting Plan, consistent with Section 153.351 of the Zoning Code, need to be submitted for City approval. The applicant indicates they will be supplying this information with their building permit set.
- 6) The west elevation fronting on Springfield Pike has 90 lineal feet of building frontage which, per Section 153.459 (C) (2) (a), would be permitted 155 square feet of sign area with no one sign exceeding 150 square feet. The applicant is proposing the following signage on the west elevation:
  - A) “Chip’s Auto Glass” 132 square feet in channel cut letters on the building.
  - B) Three internally illuminated cabinet signs (“Glass”, “Glass” “ADAS”) each containing 6.2 square feet, for a total of 18.6 square feet. A maximum of 10% of the proposed sign area can be cabinet signs per Section 153.459 (C) (2) (d). The proposed 18.6 square feet of cabinet signs exceeds the square footage (13.2) square feet permitted for cabinet signs. Planning Commission will need to approve the additional 5.4 square feet of cabinet signage.
- 7) The north elevation of the building contains 72 lineal feet. Per Section 153.459 (C) (2) (b), the elevation is permitted to 72 square feet of sign area. The applicant is proposing one sign on the elevation “Chip’s Auto Glass” in channel cut letters containing 71.25 square feet.
- 8) The applicant is proposing an 8 foot tall ground mounted sign on the Springfield Pike frontage. The sign would contain 39 square feet of which 20 square feet is a manual change copy sign. The sign would be mounted on a 1’ 6” brick base. The proposed sign is consistent with the requirements of the Zoning Code, provided it is located a minimum of 10 feet from the right-of-way and located in a landscape bed that is a minimum of 39 square feet. A site plan/landscape plan needs to be submitted for staff review and approval by staff.

**Considerations:**

Should Planning Commission choose to approve the modifications to the building and site, the following items need to be considered:

- 1) A Landscape Plan be prepared for the Springfield Pike and Crescentville Road frontages and the base of the ground mounted sign to comply with the requirements of Sections 153.404 (F) and (G), and Section 153.459 (C) (3) (g). The landscape material is to be planted within 30 days of approval of the Landscape Plan by Staff.
- 2) A site plan indicating the two parallel parking spaces added adjacent to Springfield Pike be submitted for review to determine they meet the requirements of Section 153.302 (B).
- 3) Details of the LED light fixtures and a Lighting Plan, consistent with the requirements of Section 153.351, be submitted for City review and approval.
- 4) Planning Commission determine that the additional 5.4 square feet of proposed cabinet signage is appropriate for the west building elevation.
- 5) A site plan and details of the proposed waste enclosure, consistent with the requirements of Section 153.254 (G) (3), be submitted to the City for review and approval. All waste and receptacles are to be contained within the enclosure with gates closed.

Submitted By:

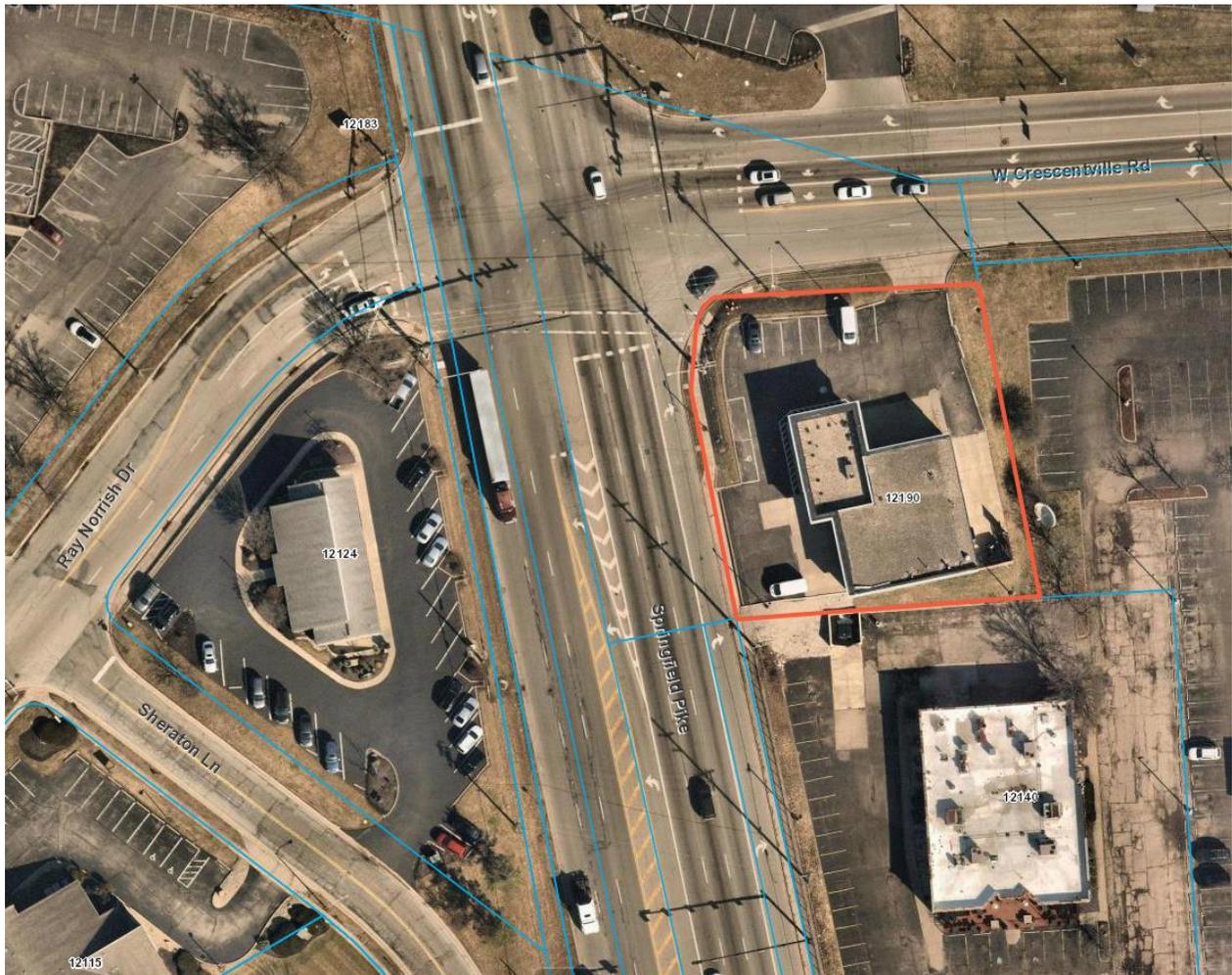
Anne F. McBride, FAICP  
City Planner

MDC# 5017



**CHIP'S AUTO GLASS**  
**12190 SPRINGFIELD PIKE**  
**PLAN REVIEW APP #20230124**  
**23020106**  
**MAY 5, 2023**

**PLANNING COMMISSION**  
**ENGINEERING REVIEW**



**PROJECT SITE**

**REQUEST:** To make exterior building modification and entrance improvements at the property located at 12190 Springfield Pike (SR 4) to rebrand the “Tire Discounters Auto Glass” to “Chip’s Auto Glass”.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale’s Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

## A. LAND USAGE (Chapter 150)

1. The applicant's original application submission noted that the entrance to the site off Crescentville Road will be regraded to prevent vehicles from bottoming out when entering however after preliminary review comments were provided the applicant has indicated there is no site work proposed in part of the project. The existing driveway apron off W. Crescentville Road appears to be damaged and warrants repairs/replacement.



- a. A resolution of necessity for the driveway replacement ahead of the upcoming city project along Crescentville Road is planned to go before council during the May 17th meeting. The City's estimate to replace the driveway located 12190 Springfield Pike is \$5,100. At this time, the property owner will not have the ability to self-perform any driveway apron repairs/replacement as they will be done under the city's roadway improvement contract. If the applicant wishes to make repairs/replacement to the driveway apron it must be performed prior to the project, or their proposed improvements are made a part of the approved city project plans through the Building Department.
2. Per City regulations 150.13(A) of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. The City's current Thoroughfare Plan (1998) classifies Springfield Pike as a major arterial with a 100' typical right-of-way width and Crescentville Road as a secondary arterial with a 80' typical right-of-way width. The existing right-of-way along the property appears to be consistent with the Thoroughfare Plan.
  3. Multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the City in an effort to eliminate connectivity gaps for all users. Per the City's current Bike and Pedestrian Connectivity Plan (2022), this section of Springfield Pike is recommended to include an 8' wide sidewalk whereas the section of Crescentville Road is recommended to include a 12' multi-use path or on-road bike facilities. Currently only a 5' sidewalk exists along Springfield Pike and no multi-modal are proposed by the Applicant.

**B. STORMWATER MANAGEMENT (Chapter 151)**

1. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.
  - a. According to the CAGIS Property Report, the parcel's deeded acreage is 0.516 which is exempt from City's the detention requirements.

# MAPLE KNOLL VILLAGE COVENTRY PAVILION



OVERALL SITE PLAN  
SCALE: 1" = 100'-0"

### ZONING CODE INFORMATION

ZONING CLASSIFICATION: PF-2, CITY OF SPRINGDALE

PROJECT: MAPLE KNOLL VILLAGE - COVENTRY PAVILION  
PROJECT ADDRESS: 600 MAPLE TRACE DR. CINCINNATI, OH 45246

EXISTING MANOR HOUSE: 10,234 SQ. FT.  
EXISTING PARKING SPACES: 106 SPACES

COVENTRY PAVILION: 6,962 SQ. FT. (PORCH INCLUDED)  
PARKING SPACES AFTER CONSTRUCTION: 104 SPACES

### PROJECT SUMMARY:

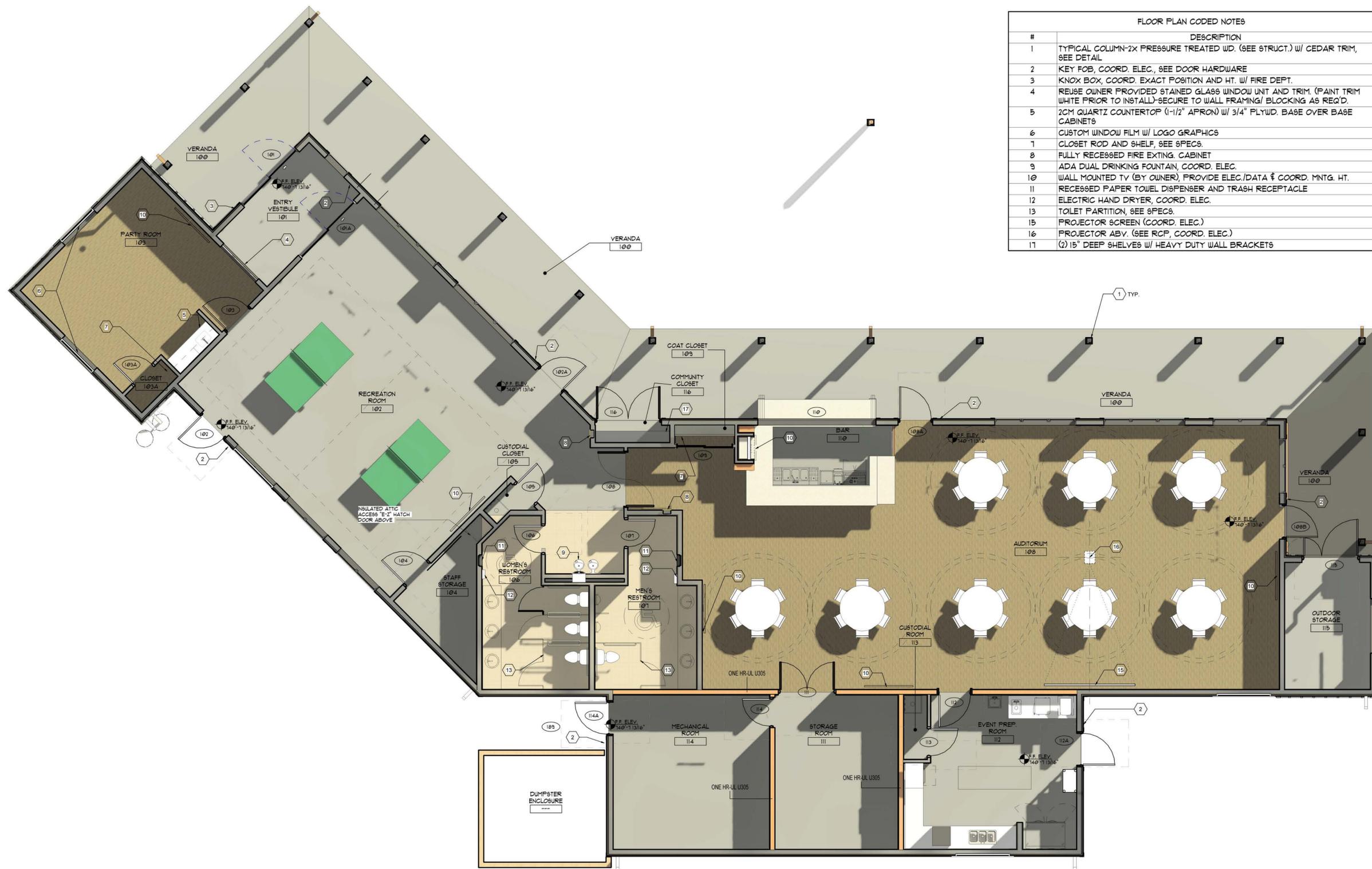
EXISTING MANOR HOUSE IS TO BE DEMOLISHED. NEW COVENTRY PAVILION IS TO BE BUILT AT THE SAME LOCATION. COVENTRY PAVILION WILL BE 6,692 SQ. FT. AND INCLUDE NEW OUTDOOR AMENITIES: PUTTING GREEN, PICKLEBALL COURT, AND OUTDOOR RECREATION.



COVENTRY PAVILION - SITE PLAN  
SCALE: 1" = 10'-0"



# MAPLE KNOLL VILLAGE COVENTRY PAVILION



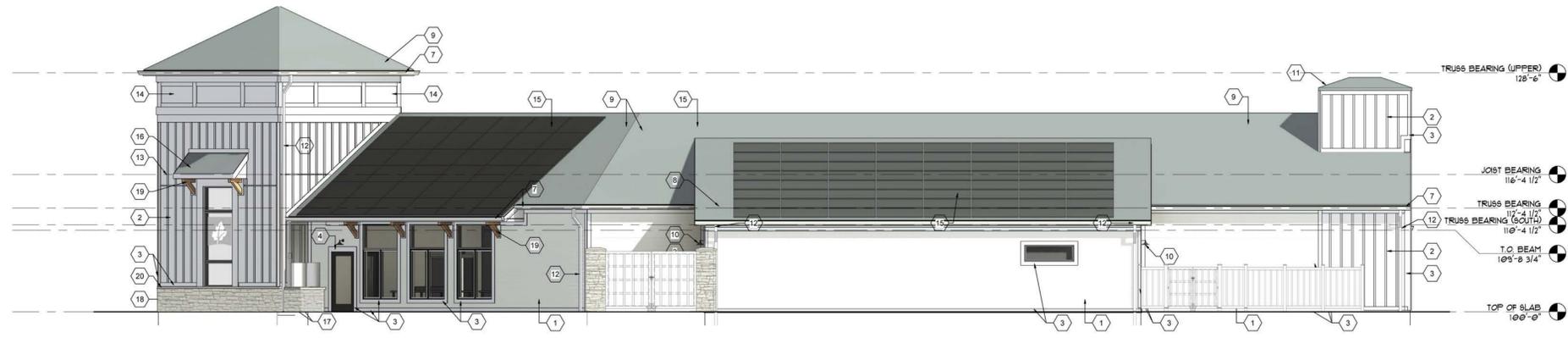
FLOOR PLAN CODED NOTES	
#	DESCRIPTION
1	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL
2	KEY FOB, COORD. ELEC., SEE DOOR HARDWARE
3	KNOX BOX, COORD. EXACT POSITION AND HT. W/ FIRE DEPT.
4	REUSE OWNER PROVIDED STAINED GLASS WINDOW UNIT AND TRIM. (PAINT TRIM WHITE PRIOR TO INSTALL)-SECURE TO WALL FRAMING/ BLOCKING AS REQ'D.
5	2CM QUARTZ COUNTERTOP (1-1/2" APRON) W/ 3/4" PLYWD. BASE OVER BASE CABINETS
6	CUSTOM WINDOW FILM W/ LOGO GRAPHICS
7	CLOSET ROD AND SHELF, SEE SPECS.
8	FULLY RECESSED FIRE EXTING. CABINET
9	ADA DUAL DRINKING FOUNTAIN, COORD. ELEC.
10	WALL MOUNTED TV (BY OWNER), PROVIDE ELEC./DATA & COORD. MNTG. HT.
11	RECESSED PAPER TOWEL DISPENSER AND TRASH RECEPTACLE
12	ELECTRIC HAND DRYER, COORD. ELEC.
13	TOILET PARTITION, SEE SPECS.
15	PROJECTOR SCREEN (COORD. ELEC.)
16	PROJECTOR ABV. (SEE RCP, COORD. ELEC.)
17	(2) 15' DEEP SHELVES W/ HEAVY DUTY WALL BRACKETS

1 OVERALL FLOOR PLAN  
SCALE: 3/16" = 1'-0"

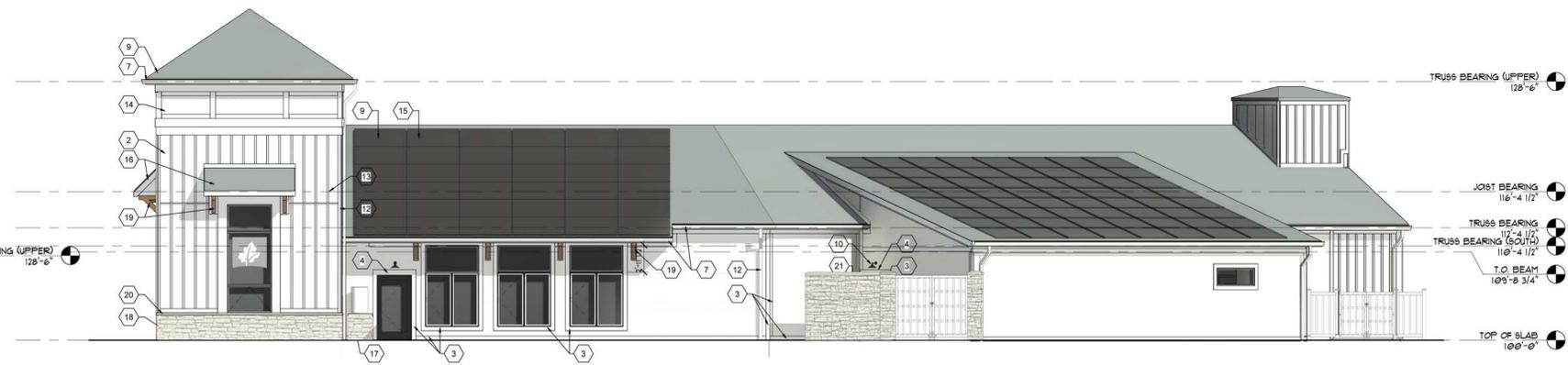
# MAPLE KNOLL VILLAGE COVENTRY PAVILION



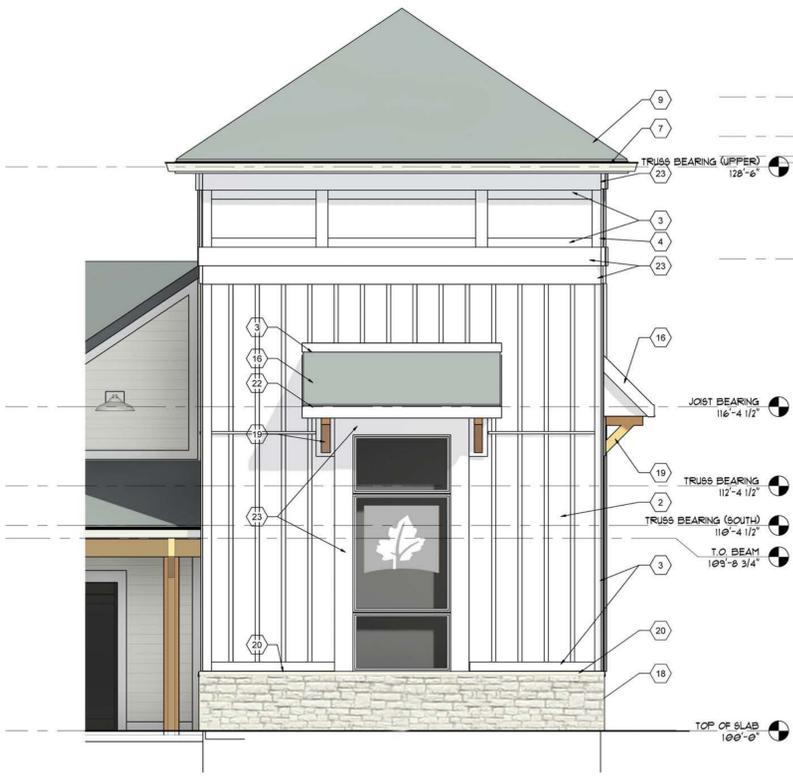
#	DESCRIPTION
1	ENGINEERED WD. LAP SIDING (PREFINISHED, SMOOTH)
2	ENGINEERED WD. VERTICAL BOARD & BATTEN SIDING (PREFINISHED, SMOOTH)
3	5/4 X 6 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ WINDOW SURROUNDS
4	5/4 X 8 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD
5	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL
6	TYPICAL PORCH BEAM-3 GANG 2X12 PRESSURE TREATED WD. W/ 5/4X ENGINEERED TRIM.BD. WRAP, SEE DETAIL
7	6" OGEE PROFILE ALUM. GUTTER
8	4:12 PITCH STANDING BEAM METAL ROOF (SSMR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SFECS.
9	8:12 PITCH STANDING BEAM METAL ROOF (SSMR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SFECS.
10	LIGHT FIXTURE, SEE ELEC. (5/4 X TRIM BD. W/ FLASHING FOR MOUNTING)
11	4:12 PITCH CUSTOM CAP FLASHING FINISH TO MATCH SSMR
12	ALUM. DOWSPOUT, SECURED TO EXT. WALL, SEE ROOF PLAN
13	HEMMED FLASHING TO MATCH SIDING COLOR AT BEAM B/N WALL PANELS (COORD.H.T. & ALIGNMENT AS SHOWN)
14	CORNICE- ENGINEERED WD. CORNICE PANEL AND TRIM BD., SEE DETAIL
15	SOLAR PANELS, SECURED TO ALUM. STRUCTURAL RAIL, ATTACHED TO SSMR VERTICAL RIBS, SEE DETAIL
16	12:12 PITCH STANDING BEAM METAL ROOF (SSMR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SFECS.
17	RAIN BARRELS, CONNECTED TO STORM WATER LINES BELOW, SEE SITE PLAN DRAWINGS
18	ARTIFICIAL STONE VENEER
19	WOOD BRACKET, SEE DETAIL
20	CUT STONE STILL
21	DUMPSTER ENCLOSURE
22	5/4 X 8 ENGINEERED WD. FASCIA BD. (PREFINISHED, SMOOTH)
23	5/4 X 12 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD



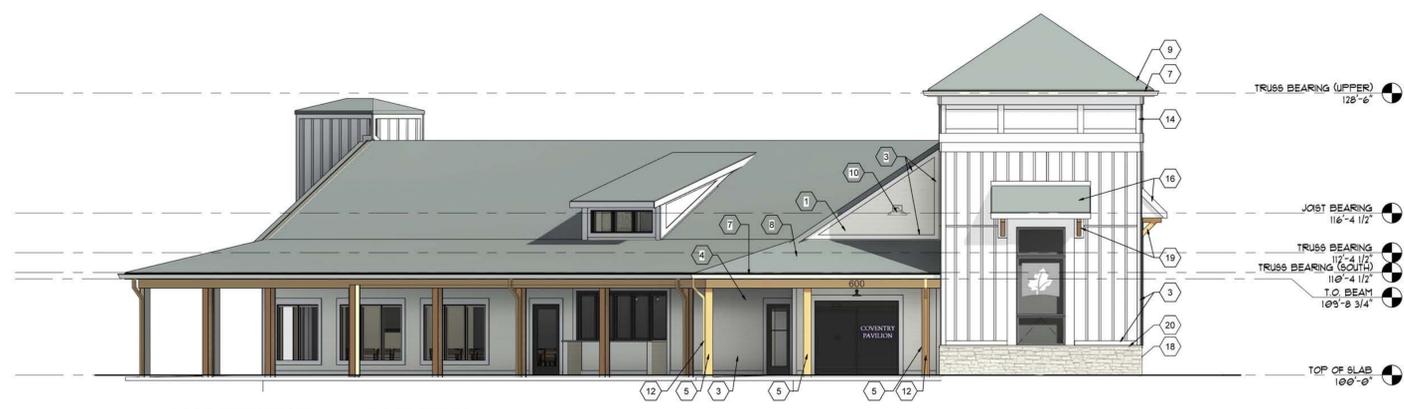
**3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 MAIN ENTRY ELEVATION DETAIL**  
SCALE: 1/4" = 1'-0"

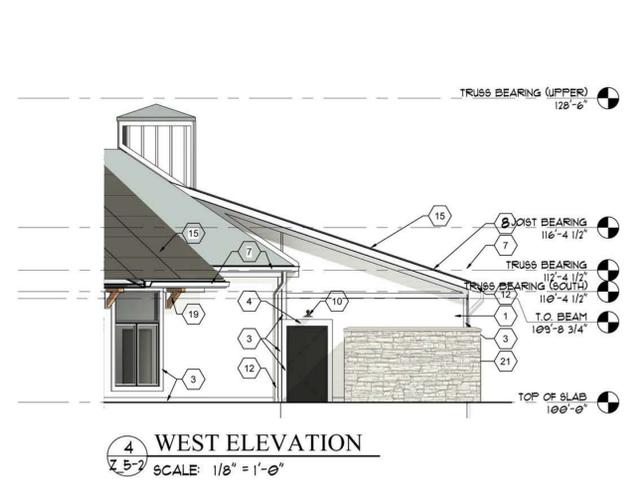
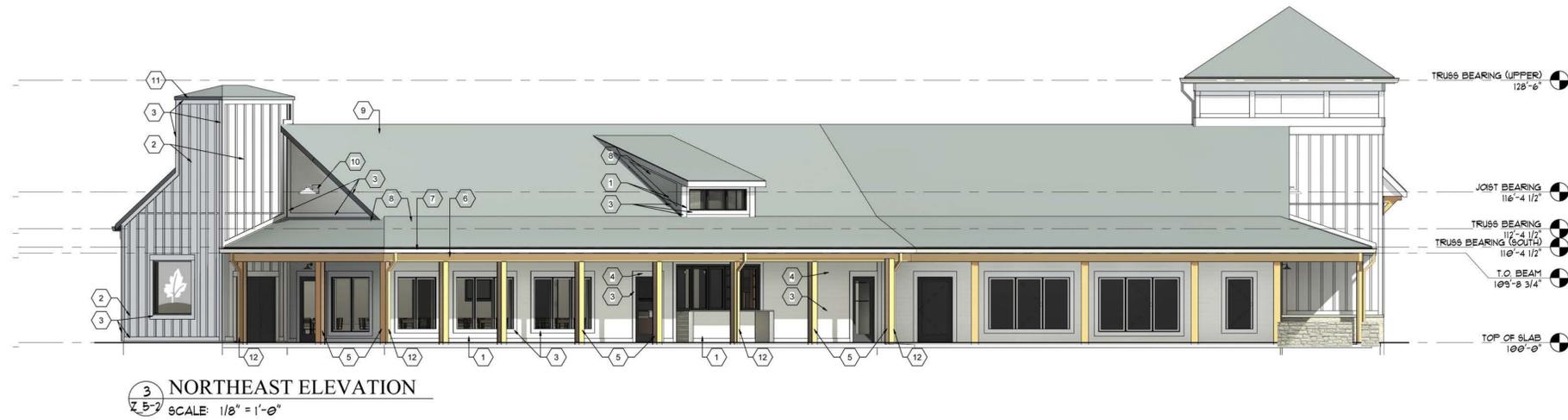


**1 NORTHWEST - MAIN ENTRY**  
SCALE: 1/8" = 1'-0"

# MAPLE KNOLL VILLAGE COVENTRY PAVILION



#	DESCRIPTION
1	ENGINEERED WD. LAP SIDING (PREFINISHED, SMOOTH)
2	ENGINEERED WD. VERTICAL BOARD & BATTEN SIDING (PREFINISHED, SMOOTH)
3	5/4 X 6 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ WINDOW SURROUNDS
4	5/4 X 8 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD
5	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL
6	TYPICAL PORCH BEAM-3 GANG 2X12 PRESSURE TREATED WD. W/ 5/4X ENGINEERED TRIM BD. WRAP, SEE DETAIL
7	6" OGEE PROFILE ALUM. GUTTER
8	4:12 PITCH STANDING SEAM METAL ROOF (S9MR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SPECS.
9	8:12 PITCH STANDING SEAM METAL ROOF (S9MR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SPECS.
10	LIGHT FIXTURE, SEE ELEC. (5/4 X TRIM BD. W/ FLASHING FOR MOUNTING)
11	4:12 PITCH CUSTOM CAP FLASHING FINISH TO MATCH S9MR
12	ALUM. DOWNSPOUT, SECURED TO EXT. WALL, SEE ROOF PLAN
13	HEMMED FLASHING TO MATCH SIDING COLOR AT SEAM B/N WALL PANELS (COORD. HT. & ALIGNMENT AS SHOWN)
14	CORNICE- ENGINEERED WD. CORNICE PANEL AND TRIM BD., SEE DETAIL
15	SOLAR PANELS, SECURED TO ALUM. STRUCTURAL RAIL, ATTACHED TO S9MR VERTICAL RIBS, SEE DETAIL
16	12:12 PITCH STANDING SEAM METAL ROOF (S9MR) W/ 16" SPACING 2 LOW BEAD PROFILE, SEE SPECS.
17	RAIN BARRELS, CONNECTED TO STORM WATER LINES BELOW, SEE SITE PLAN DRAWINGS
18	ARTIFICIAL STONE VENEER
19	WOOD BRACKET, SEE DETAIL
20	CUT STONE SILL
21	DUMPSTER ENCLOSURE
22	5/4 X 8 ENGINEERED WD. FASCIA BD. (PREFINISHED, SMOOTH)
23	5/4 X 12 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD



GROUND SIGN AND WAYFINDING DIRECTIONAL SIGNAGE ARE COMBINED INTO A SINGULAR GROUND SIGN. AREA SUMMARY BELOW, MEETING COMPLIANCE WITH ZONING AREAS:

- LOGO PANEL = 14 SF
- MAPLE KNOLL VILLAGE TEXT = 3.4 SF
- COVENTRY COURT PIN MOUNTED LETTERING (IDENTIFIES COMMUNITY AT LARGE) = 9 SF (SEE DIAGRAM BELOW)
- TOTAL = 26.4 SF FOR COMMUNITY IDENTIFICATION PORTION OF SIGNAGE [LESS THAN 100 SF FOR GROUND SIGN LETTERING AND LOGO PANEL]

TOTAL SIGN STRUCTURE AREA FACING THE STREET = 78.2 [LESS THAN 100 SF, IF CONSIDERING THE ENTIRE SIGN STRUCTURE FOR AREA COMPARISON]

DIRECTIONAL PORTION OF SIGNAGE STREET NAMES AND ARROWS ON LOW STONE WALL

- 5.16 SF AREA (SEE DIAGRAM BELOW)
- [LESS THAN 6 SF OF AREA FOR DIRECTIONAL LETTERING AND ARROWS]

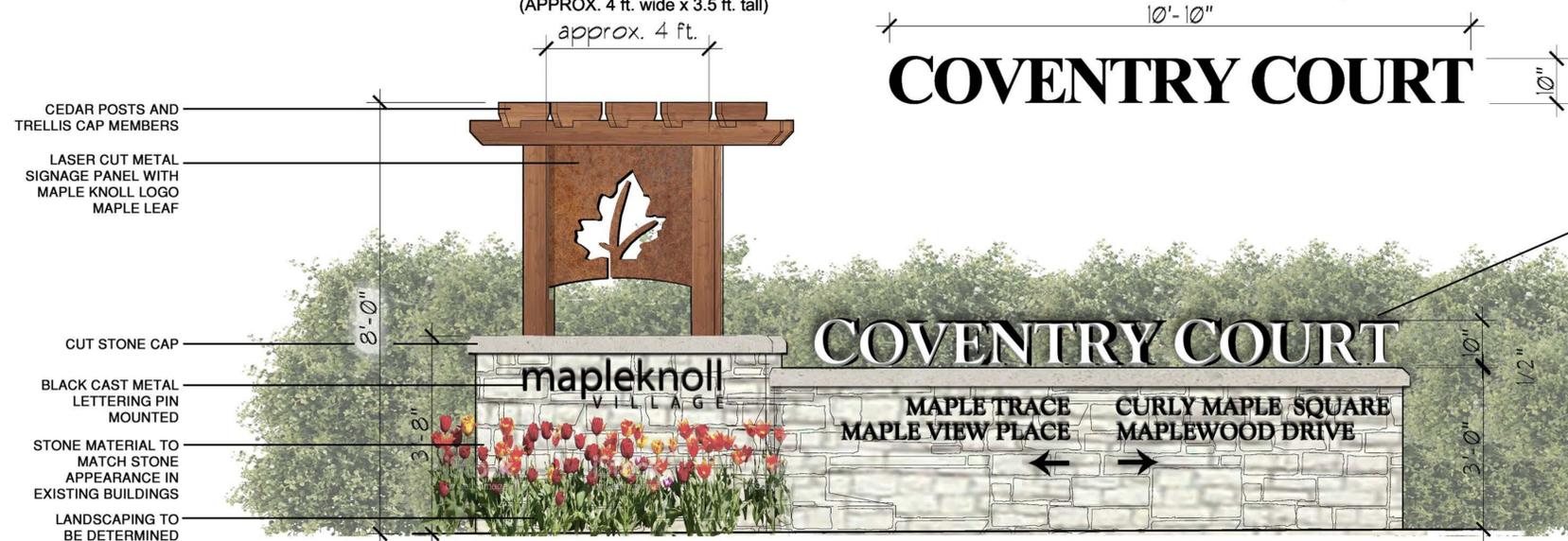
(EXACT GRAPHICS AND FONTS FOR THE ADDRESS NUMBERS AND WINDOW FILM 'COVENTRY PAVILION' TEXT TO BE DETERMINED)

# MAPLE KNOLL VILLAGE COVENTRY PAVILION



PANEL WITH LOGO AREA = APPROX. 14 square feet  
(APPROX. 4 ft. wide x 3.5 ft. tall)

TEXT DIMENSIONAL AREA = APPROX. 9 square feet



PIN MOUNTED CAST METAL LETTERING AT TOP OF CUT STONE CAP AROUND RADIUS OF LANDSCAPING WALL CURVATURE



MAPLE TRACE MAPLE VIEW PLACE  
CURLY MAPLE SQUARE MAPLEWOOD DRIVE

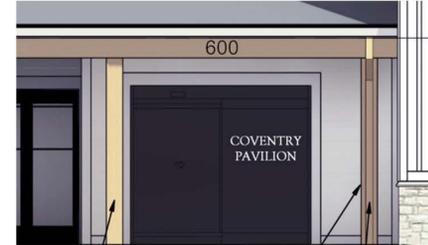
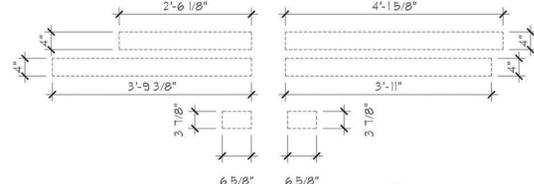
## COVENTRY COURT / WAYFINDING SIGNAGE ELEVATION

## SIDE ELEVATION

DIRECTIONAL LETTERING & ARROWS TOTAL AREA = 5.16 S.F. (LESS THAN 6 SF)

(EXACT GRAPHICS AND FONTS FOR THE SIGNAGE ARE TO BE CONFIRMED)

(EXACT GRAPHICS AND FONTS FOR THE SIGNAGE ARE TO BE CONFIRMED)



BUILDING ADDRESS AND NAMING

- "600" ADDRESS NUMBER IN 6" TO 8" TALL BLACK LETTERING MOUNTED TO PORCH BEAM NEAR ENTRY
- "COVENTRY PAVILION" LETTERING AS WINDOW FILM AT ENTRY AUTOMATIC SLIDING DOOR PANEL AT APPROXIMATELY 3.5 SF AREA

(EXACT GRAPHICS AND FONTS FOR THE ADDRESS NUMBERS AND WINDOW FILM 'COVENTRY PAVILION' TEXT TO BE DETERMINED)



(EXACT GRAPHICS AND FONTS FOR THE CUSTOM PICKLEBALL COURT WINDSCREENING ARE TO BE CONFIRMED- DESIGN INTENT FOR PREDOMINATELY OPAQUE MESH, GRAPHICS AT CENTER BAY AND AT BASE OF MESH. EXAMPLE IMAGE BELOW)



## PICKLEBALL COURT / ENTRY WALK ELEVATION

(EXACT GRAPHICS AND FONTS FOR THE SIGNAGE ARE TO BE CONFIRMED)



**MAPLE KNOLL VILLAGE - COVENTRY PAVILION**  
**11100 SPRINGFIELD PIKE**  
**PLAN REVIEW APP #20230199**  
**23020107**  
**APRIL 27, 2023**

**ENGINEERING REVIEW**



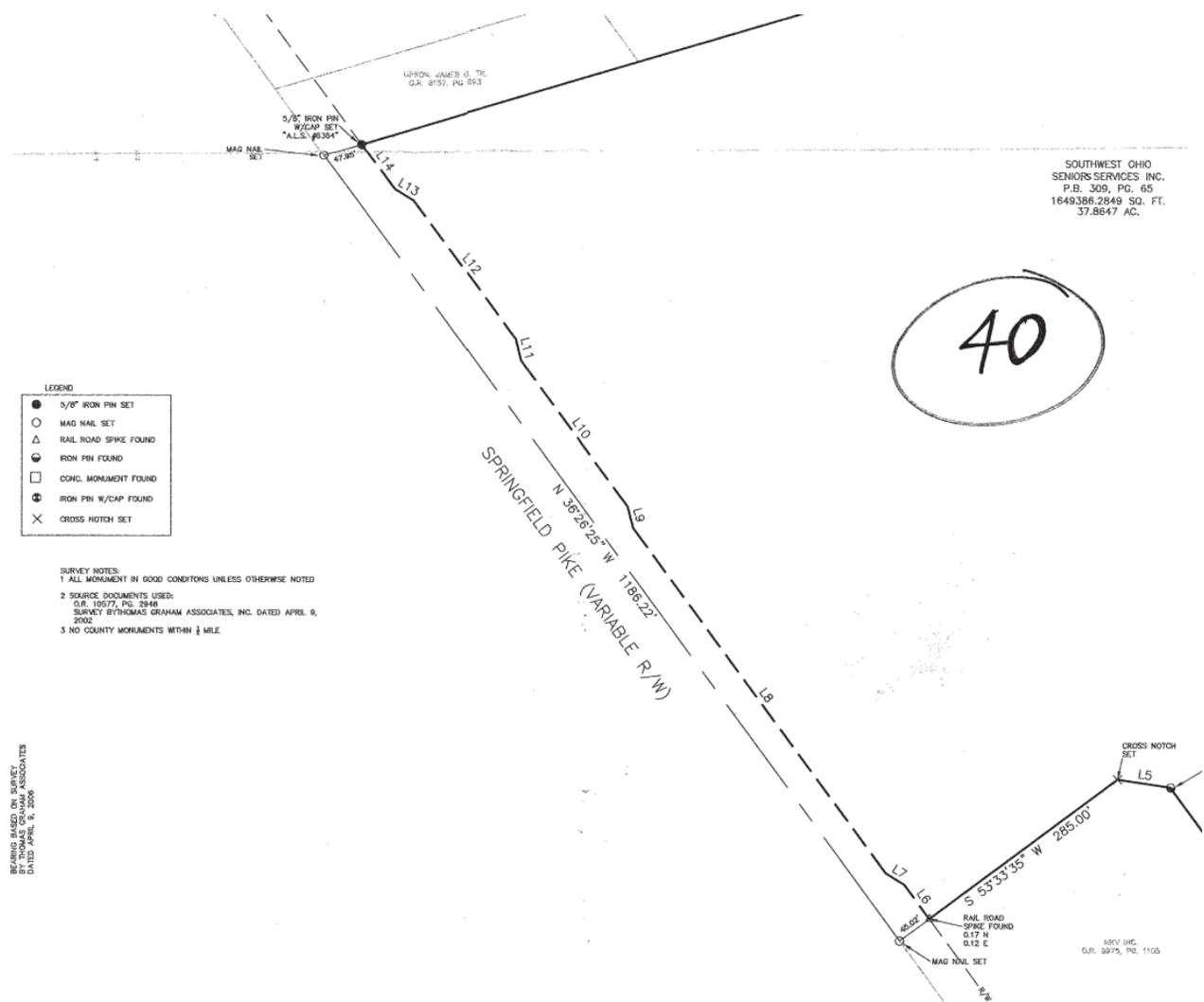
**PROJECT SITE**

**REQUEST:** To demolish the existing 10,234 SF Manor House and replace it with the 6,780 SF Coventry Pavilion. The proposed community building will have multi-purpose spaces and exterior activities, including pickleball and a putting green.

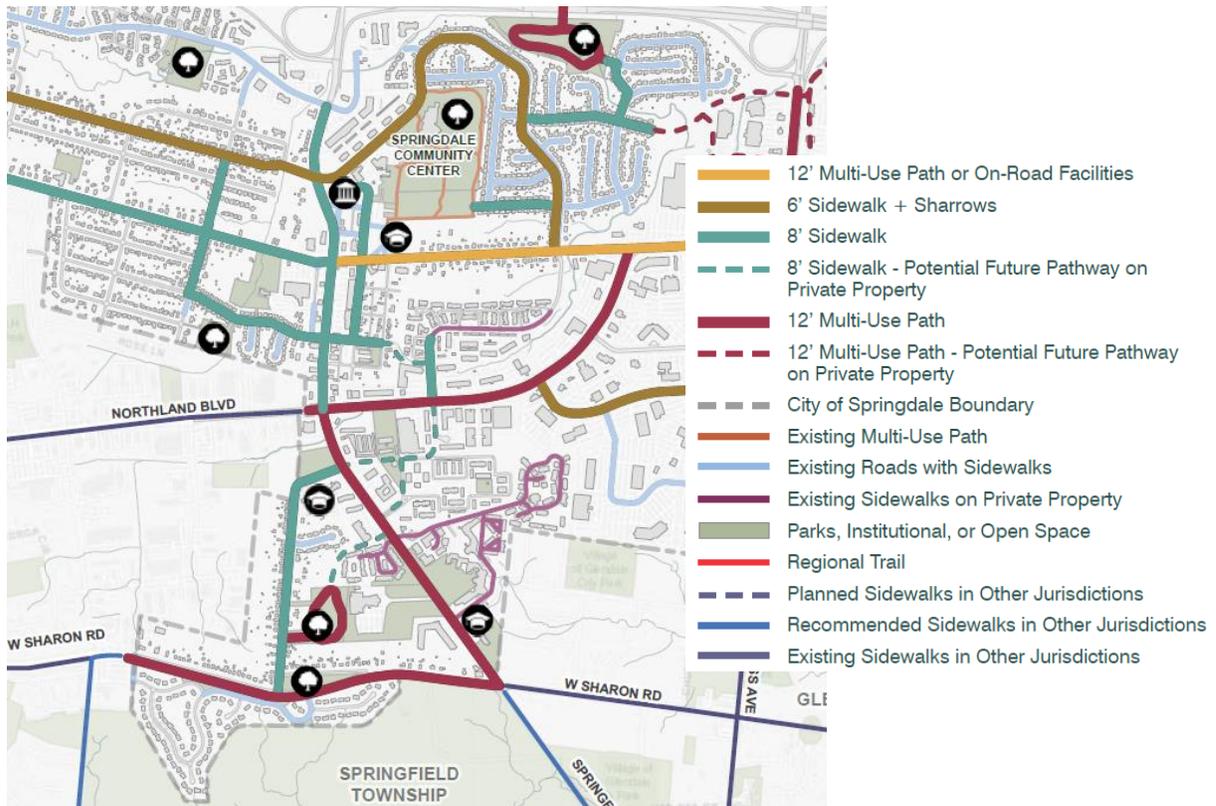
A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

**A. LAND USAGE (Chapter 150)**

1. Per City regulations 150.13(A) of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. The City's current Thoroughfare Plan (1998) classifies Springfield Pike as a major arterial with a 100' typical right-of-way width. The existing right-of-way along the property at north near the Maple Trace intersection appears to be consistent with the Thoroughfare Plan however, the frontage extending south appears to have a typical right-of-way width of approximately 85'.



2. Multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the City in an effort to eliminate connectivity gaps for all users. Per the City's current Bike and Pedestrian Connectivity Plan (2022), this section of Springfield Pike is recommended to include a 12' multi-use path. Currently only a 5' sidewalk exists along the east side of Springfield Pike and no multi-modal improvements are proposed by the Applicant.



## B. STORMWATER MANAGEMENT (Chapter 151)

1. Per §151.03(A), erosion control shall be practiced whenever a parcel is cleared, graded, or otherwise disturbed by the movement of earth, regardless of exemptions outlined in § 151.02(B).
2. Per City regulations 151.03(B)(4), the installation of the specific Storm Water Management Plan measures shall be accomplished in accordance with the standards and specifications contained in the City Regulations and the latest edition of the ODNR Rainwater and Land Development Manual or ODOT Location and Design Manual - Volume 2 - Drainage Design.
  - a. The stormwater management plan as required by City regulation 151.03(C) shall be provided with the construction plans. The stormwater management plan shall include but not be limited to detailed plans of all proposed storm water provisions, vegetative practices, erosion and sediment control measures, post-construction storm water quality best management practices, and other protective measures to be constructed in connection with, or as a part of the proposed work shall be provided with the construction plans.
    - i. The submitted plans dated April 24, 2023, include an erosion controls details sheet however an erosion control plan was not included. An erosion control plan sheet shall be included in the construction plans.

3. No grading work may be permitted on the site until all OEPA and/or USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved by the City and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' Rainwater and Land Development Manual or ODOT Location and Design Manual - Volume 2 - Drainage Design. It should be noted that an Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit is not required for sites that includes a disturbance area greater less 1 acre.
  - a. The submitted plans dated April 24, 2023, indicates that the proposed site disturbance area is 0.89 acre therefor an OEPA NOI is not required however this will be confirmed with the construction plan submission.
  - b. The submitted erosion control details sheet appears to have been copied from another project as reference is made to the Scioto River. A revised erosion control details sheet shall be included in the construction plans.
4. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.
  - a. The submitted plans dated April 24, 2023 do not indicate existing and proposed impervious surface areas within the project limits. In the event that there is a proposed increase in impervious surface area, then the Applicant shall provide evidence that the existing stormwater detention facilities and associated storm sewer system can accommodate the site modifications while providing no increase in stormwater discharge.
    - i. A drainage map and Hydraflow storm sewer tabulations were provided in the April 24, 2023, submission however it is unclear what this information is intended to convey. The calculations shall be presented in a separate written report provided with the construction plans. The report shall generally consist of a narrative portion and appendices with supporting calculations and other pertinent information. The narrative shall lead the reader logically through the entire analysis and design process and provide a clear picture of all stormwater management issues. The narrative portion shall provide detailed discussion regarding the general location and description of the site, off-site and on-site drainage basins and sub-basins, drainage design criteria, stormwater management facility design, and conclusions. Discussion of methodology, assumptions, input, and a summary of results shall be provided in the narrative for all hydrologic or hydraulic modeling efforts. Peak flow rates, storage volumes, critical water surface elevations, and stormwater management facility sizes shall also be summarized or discussed in the report narrative. The appendices must provide the appropriate backup information and calculations, but the reader should not have to review information contained in the appendices to have a clear and thorough understanding of the project and the stormwater management analysis and facility designs.
5. Per § 151.04(F)(1), All detention/retention and Post Construction BMP(s) shall be routinely inspected as determined by the city. A copy of the City's 2020 basin inspection report has been uploaded to iWorQ for the Applicant's reference. All comments noted on the inspection

form not previously addressed shall be required to be addressed with the project and included in the construction plans.

6. Per § 151.05(E), a performance bond in the amount of the cost of any proposed Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan.



**CITY OF SPRINGDALE - BUILDING DEPARTMENT**  
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246  
 PHONE: 513-346-5730 FAX: 513-346-5747  
 WEBSITE: [www.springdale.org/building-department.aspx](http://www.springdale.org/building-department.aspx)  
 EMAIL: [Building@Springdale.org](mailto:Building@Springdale.org)

Application Number

**PLANNING/ZONING APPLICATION**

**Project Name:** Maple Knoll Village - Coventry Pavilion **Area of Development:** 0.60 Acres  
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

**Project Location:** 600 Maple Trace / 11100 Springfield Pike Springdale, OH 45246  
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

**Applicant:** JMM Architects, Inc. - Steve Busch 614-326-5565  
(Name) (Daytime Phone Number)

4685 Larwell Dr., Columbus, OH 43220 steve@jmmarch.com  
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

**APPLICATION FOR:** (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: <https://www.springdale.org/building-department.aspx>

<input type="checkbox"/> <b>Major Project:</b> Application process requires a <b>Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council.</b> Include <a href="#">Major Projects Submission Requirements</a> Document with this Application  <i>Project Types include the following: (Pick 1 Below)</i>	<input checked="" type="checkbox"/> <b>Minor Project:</b> Application process requires a <b>Meeting and a Decision by Planning Commission.</b> Include <a href="#">Minor Project Submission Requirements</a> Document with this Application  <i>Project Types include the following: (Pick 1 Below)</i>	<input type="checkbox"/> <b>BZA Hearing:</b> Application process requires a <b>Public Hearing and a Decision by the Board of Zoning Appeals.</b> Include <a href="#">BZA Submission Requirements</a> document <i>Project Types: (Pick 1 Below)</i>
<input type="checkbox"/> <b>Zoning Text or Map Amendments</b> Describe Zone Change and Total (Net) Acres Below Section 153.202	<input checked="" type="checkbox"/> <b>Concept Plan</b> (Hearing by PC/ No Decision) <input type="checkbox"/> <b>Development Plan</b> Section 153.203 <input type="checkbox"/> <b>Conditional Use Permits</b> Section 153.204 <input type="checkbox"/> <b>Determination of Similar Uses</b> Sec 153.205	<input type="checkbox"/> <b>Variance</b> Section 153.206
<b>Planned Unit Development (PUD):</b> <input type="checkbox"/> <b>Preliminary Development Plan</b> Sec 153.255(F)(1) <input type="checkbox"/> <b>Major Modification</b> Section 153.255 (H)(1)	<b>Planned Unit Development (PUD):</b> <input type="checkbox"/> <b>Final Development Plan</b> Section 153.255(F)(5) <input type="checkbox"/> <b>Minor Modification</b> Section 153.255 (H)(2)	<input type="checkbox"/> <b>Appeal</b> Section 153.208
<b>Transition Overlay District (T-District):</b> <input type="checkbox"/> <b>Preliminary Development Plan</b> Sec 153.256(F)(1) <input type="checkbox"/> <b>Major Modification</b> Section 153.256 (G)(1)	<b>Transition Overlay District (T-District):</b> <input type="checkbox"/> <b>Final Development Plan</b> Sect. 153.256 (F)(5) <input type="checkbox"/> <b>Minor Modification</b> Section 153.256 (G)(2)	
	<input type="checkbox"/> <b>Route 4 Corridor Review District Plan</b> All new <u>exterior</u> work on properties in the Rt 4 Corridor required to be Approved. Sec 153.257(I)	

**BRIEFLY DESCRIBE PROJECT:** Maple Knoll Village wants to improve their community activity spaces.  
(Provide Existing and Proposed Zoning for this Property)

The existing 10,234 sf Manor House will be demolished and replaced with the 6,780 sf (including porches) Coventry Pavilion. This community building will have multi purpose spaces and exterior activities, including pickle ball and a putting green.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

Timothy P. McGowan (Signature of Owner/Agent) Timothy P. McGowan (Print Name) 3/29/23 (Date)



CITY OF SPRINGDALE - BUILDING DEPARTMENT

11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
PHONE: 513-346-5730 FAX: 513-346-5747
WEBSITE: www.springdale.org/building-department.aspx
EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Maple Knoll Village - Coventry Pavilion Total Area/Development: 0.60 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 600 Maple Trace / 11100 Springfield Pike Springdale, OH 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: 37.865 Acres Parcel ID: 059900 41-0040-00
(From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

Property Owner: Maple Knoll Communities 513-782-2717
(Name From Auditor's Website) (Daytime Phone Number)
11100 Springfield Pike, Cincinnati, OH 45246 acraig@mkcommunities.org
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

STATE OF OHIO, COUNTY OF HAMILTON

I (we) Timothy P. McGowan, hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

Signature Timothy P. McGowan

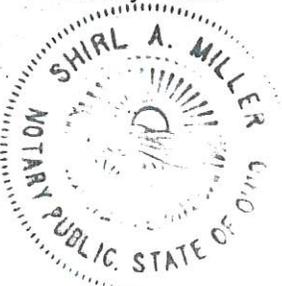
Mailing Address 11100 Springfield Pike

City and State Springdale Ohio

Phone 513-782-2788

Subscribed and sworn to before me this 29th day of March, 2023

Notary Public Shirl Miller



SHIRL A. MILLER
NOTARY PUBLIC, STATE OF OHIO
My Commission Expires 7/14/2023

# ABBREVIATIONS

A.B.	ANCHOR BOLT	GALV.	GALVANIZED
A.C.	AIR CONDITIONING	GALV.I.	GALVANIZED IRON
A.D.	ACCESS DOOR	GYP.	GYP&UM
A.F.P.	ACCESS PANEL	H.M.	HOLLOW METAL
A.T.	ACOUSTIC TILE	HDW.	HARDWARE
AC.	ACOUSTIC	HORIZ.	HORIZONTAL
ADJ.	ADJUSTABLE	HT.	HEIGHT
ALT.	ALTERNATE	I.D.	INSIDE DIAMETER
ALUM.	ALUMINUM	INSUL.	INSULATION
ASPH.	ASPHALT	INT.	INTERIOR
AT		INV.	INVERT
®		JT.	JOINT
BM.	BEAM	K.O.FNL.	KNOCK OUT PANEL
BD.	BOARD	LAM.PLAS.	LAMINATED PLASTIC
BET.	BETWEEN	MAX.	MAXIMUM
B.C.	BOTTOM CURB	M.C.B.	METAL CORNER BEAD
BLDG.	BUILDING	MECH.	MECHANICAL
BLKG.	BLOCKING	MET.	METAL
B.N.	BULL NOSE	MFR.	MANUFACTURER
BOT.	BOTTOM	MIN.	MINIMUM
B.U.	BUILT UP	M.O.	MASONRY OPENING
BULL.	BULLETIN	MOS.	MOSAIC
		MET.P.S.	METAL PLASTER SCREED
C.BD.	CHALK BOARD	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN	O.A.	OVERALL
CEM.	CEMENT	O.C.	ON CENTER
CEM.	CERAMIC	O.D.	OUTSIDE DIAMETER
C.I.	CAST IRON	OPNG.	OPENING
CLG.	CEILING	OPP.	OPPOSITE
COL.	COLUMN	PL.	PLATE
CONC.	CONCRETE	PLAS.	PLASTER
CONST.	CONSTRUCTION	PL.WD.	PLYWOOD
CONT.	CONTINUOUS	P.G.B.	PAINT GRADE BIRCH
CONTR.	CONTRACTOR	R.D.	ROOF DRAIN
C.S.F.H.	COUNTERSUNK FLAT HD.	REQD.	REQUIRED
CL.	CENTERLINE	RES.	RESIN
C.T.	CERAMIC TILE	RISERS	RISERS
		R.O.	ROUGH OPENING
DBL.	DOUBLE	S.C.	SOLID CORE
DET.	DETAIL	SCHED.	SCHEDULE
DIA.	DIAMETER	SECT.	SECTION
DIM.	DIMENSION	SH.	SHEET
D.S.	DOWNSPOUT	SIM.	SIMILAR
DWG.	DRAWING	S.O.G.	SLAB ON GRADE
D.F.	DRINKING FOUNTAIN	SPEC'S.	SPECIFICATIONS
DISP.	DISPENSER/DISPOSER	SQ.	SQUARE
		S.S.	STAINLESS STEEL
EA.	EACH	STL.	STEEL
E.J.	EXPANSION JOINT	STRUC.	STRUCTURAL
E.W.	EACH WAY	SUSP.	SUSPENDED
ELEV.	ELEVATION	SYM.	SYMMETRICAL
ELL.	ELEVATION	T.	TREADS
ELEC.	ELECTRICAL	T.BD.	TACK BOARD
EQ.	EQUAL	T.J.	TOOL JOINT
E.W.C.	ELEC. WATER COOLER	TYP.	TYPICAL
EXIST.	EXISTING	T.C.	TOP CURB
EXT.	EXTERIOR	VERT.	VERTICAL
EXP.	EXPANSION	W/	WITH
		WD.	WOOD
FDN.	FOUNDATION	W.R.	WATER RESISTANT
F.E.	FIRE EXTINGUISHER		
F.E.C.	FIRE EXT. CABINET		
FIB.CEM.	FIBER CEMENT		
F.O.S.	FACE OF STUD		
F.O.M.	FACE OF MASONRY		
FL.D.	FLOOR DRAIN		
FL.H.C.	FIRE HOSE CABINET		
FIN.	FINISH		
F.F.	FLOOR FINISH		
F.T.	FIRE TREATED		
FTG.	FOOTING		
G.L.B.	GLUED LAMINATED BEAM		
GA.	GALVE		

# MAPLE KNOLL VILLAGE COVENTRY PAVILION

600 MAPLE TRACE DRIVE, CINCINNATI, OHIO 45246

**ZONING SET**  
April 24, 2023

OWNER: MAPLE KNOLL COMMUNITIES

ADDRESS: 11100 SPRINGFIELD PIKE, CINCINNATI, OHIO 45246



Stephen Busch #10393  
Expiration Date: 12/31/2023

*JMM*  
ARCHITECTS

4685 LARWELL DRIVE, COLUMBUS, OHIO 43220 (614) 326-5565

## O. B. C. NOTES

APPLICABLE CODES:  
THE 2017 OHIO BUILDING CODE  
THE 2017 OHIO MECHANICAL CODE

USE GROUP: A3  
CONSTRUCTION TYPE: 5B

## SYMBOLS

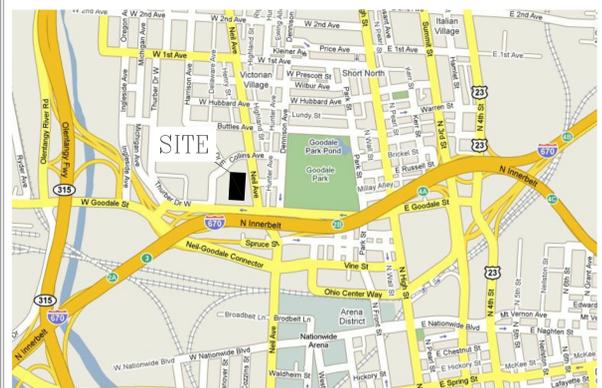
<b>FLOOR PLAN</b>	<b>SECTION OR DETAIL</b>
100 ROOM NUMBER	PLYWOOD
100 DOOR NUMBER	GYP&UM BOARD
△ WINDOW TYPE	BATT INSULATION
4 WALL TYPE	RIGID INSULATION
A SECTION OR DETAIL	GYP. CRETE
6.2 'A' ON SHEET 6.2	ACOUSTIC TILE
BRICK VENEER	METAL
STONE VENEER	ROUGH LUMBER
CONCRETE BLOCK	FINISH WOOD
PROPOSED WALLS	CONCRETE
LIMITS OF CONSTRUCTION/ DEMOLITION	EARTH OR SUB BASE
2 HR SEPARATION WALL	
FLOOR LEVELING AS REQUIRED	
WALLS TO BE REMOVED	
EXISTING WALLS TO REMAIN	

## GENERAL NOTES

## INDEX OF DRAWINGS

<b>Architectural:</b>	<b>24x36 COLOR SHEETS FOR ZONING SUBMISSION:</b>
0-1 COVER SHEET	- SITE PLAN
1-0a OVERALL SURVEY	- EXTERIOR SIGNAGE ELEVATIONS
1-0b TOPOGRAPHIC SURVEY	- FLOOR PLAN
	- EXTERIOR ELEVATIONS
	- EXTERIOR ELEVATIONS
1-1 OVERALL SITE PLAN	
1-2 COVENTRY OVERALL SITE PLAN	
1-3 LAYOUT SITE PLAN	
1-4 GRADING AND STORM SITE PLAN	
1-5 UTILITY SITE PLAN	
1-6 LANDSCAPE PLAN	
1-7 SITE DETAILS	
1-8 SITE DETAILS	
1-9 SITE DETAILS	
1-10 SITE DETAILS	
1-11 SITE DETAILS	
1-12 SITE DETAILS	
1-13 EROSION CONTROL DETAILS	
D-1 DEMOLITION PLAN	
3-1 FLOOR PLAN	
3-2 ROOF PLAN	
5-1 EXTERIOR ELEVATIONS	
5-2 EXTERIOR ELEVATIONS	

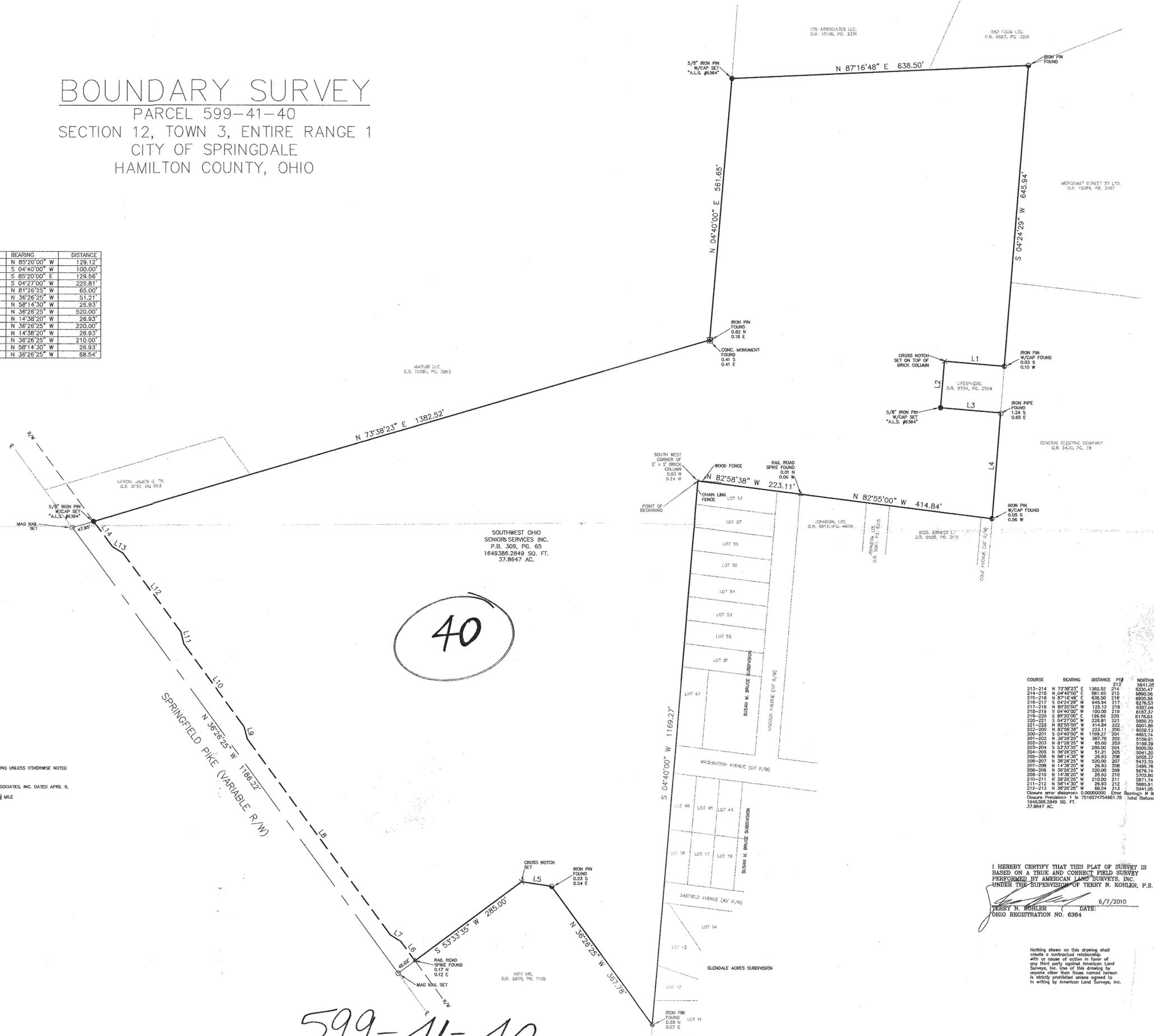
## VICINITY MAP



# BOUNDARY SURVEY

PARCEL 599-41-40  
SECTION 12, TOWN 3, ENTIRE RANGE 1  
CITY OF SPRINGDALE  
HAMILTON COUNTY, OHIO

LINE	BEARING	DISTANCE
L1	N 85°20'00" W	129.12'
L2	S 04°40'00" W	100.00'
L3	S 85°20'00" E	129.56'
L4	S 04°27'00" W	226.81'
L5	N 81°26'25" W	65.00'
L6	N 36°26'25" W	51.21'
L7	N 58°14'30" W	26.93'
L8	N 36°26'25" W	520.00'
L9	N 14°38'20" W	26.93'
L10	N 36°26'25" W	220.00'
L11	N 14°38'20" W	26.93'
L12	N 36°26'25" W	210.00'
L13	N 58°14'30" W	26.93'
L14	N 36°26'25" W	66.54'



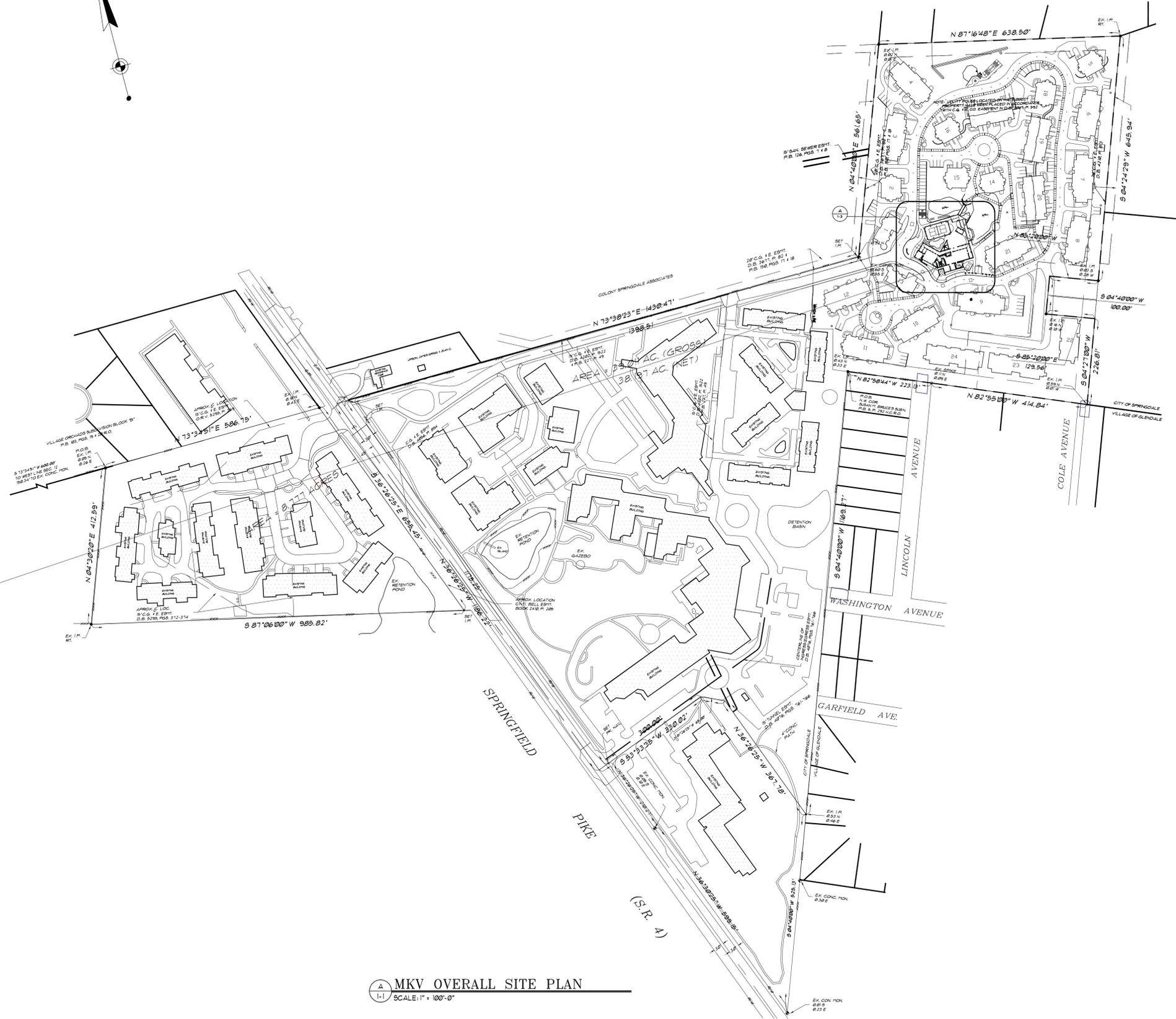
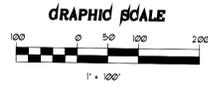
40

- LEGEND**
- 5/8" IRON PIN SET
  - MAG NAIL SET
  - △ RAIL ROAD SPIKE FOUND
  - IRON PIN FOUND
  - CONC. MONUMENT FOUND
  - ⊙ IRON PIN W/CAP FOUND
  - × CROSS NOTCH SET

**SURVEY NOTES:**  
1 ALL MONUMENT IN GOOD CONDITIONS UNLESS OTHERWISE NOTED  
2 SOURCE DOCUMENTS USED:  
D.R. 10077, PG. 2948  
SURVEY BY THOMAS GRAHAM ASSOCIATES, INC. DATED APRIL 9, 2002  
3 NO COUNTY MONUMENTS WITHIN 1 MILE

COURSE	BEARING	DISTANCE	PT#	NORTHING	EASTING	DESCRIPTION
213-214	N 73°38'23" E	1382.52	214	5841.05	5831.72	Cape
214-215	N 04°40'00" E	100.00	215	5890.06	5877.41	Cape
215-216	N 87°16'48" E	638.50	216	5820.56	6315.19	Cape
216-217	S 04°27'00" W	226.81	217	5776.53	6287.04	Cape
217-218	N 85°20'00" W	129.12	218	5786.53	6136.88	Cape
218-219	S 04°40'00" W	100.00	219	5783.73	6126.72	Cape
219-220	S 85°20'00" E	129.56	220	5776.83	6126.85	Cape
220-221	S 04°27'00" W	226.81	221	5769.03	6040.00	Cape
221-222	N 85°20'00" W	129.56	222	5801.86	5926.53	Cape
222-223	N 04°40'00" E	100.00	223	5850.86	5926.53	Cape
223-224	N 87°16'48" E	638.50	224	5781.36	5926.53	Cape
224-225	S 04°27'00" W	226.81	225	5727.55	5926.53	Cape
225-226	N 85°20'00" W	129.12	226	5737.67	5926.53	Cape
226-227	N 36°26'25" W	51.21	227	5737.70	5926.53	Cape
227-228	N 58°14'30" W	26.93	228	5737.70	5926.53	Cape
228-229	N 36°26'25" W	520.00	229	5678.74	4846.88	Cape
229-230	N 14°38'20" W	26.93	230	5678.74	4846.88	Cape
230-231	N 36°26'25" W	210.00	231	5678.74	4846.88	Cape
231-232	N 58°14'30" W	26.93	232	5678.74	4846.88	Cape
232-233	N 36°26'25" W	66.54	233	5678.74	4846.88	Cape
233-234	N 36°26'25" W	66.54	234	5678.74	4846.88	Cape
234-235	N 36°26'25" W	66.54	235	5678.74	4846.88	Cape
235-236	N 36°26'25" W	66.54	236	5678.74	4846.88	Cape
236-237	N 36°26'25" W	66.54	237	5678.74	4846.88	Cape
237-238	N 36°26'25" W	66.54	238	5678.74	4846.88	Cape
238-239	N 36°26'25" W	66.54	239	5678.74	4846.88	Cape
239-240	N 36°26'25" W	66.54	240	5678.74	4846.88	Cape
240-241	N 36°26'25" W	66.54	241	5678.74	4846.88	Cape
241-242	N 36°26'25" W	66.54	242	5678.74	4846.88	Cape
242-243	N 36°26'25" W	66.54	243	5678.74	4846.88	Cape
243-244	N 36°26'25" W	66.54	244	5678.74	4846.88	Cape
244-245	N 36°26'25" W	66.54	245	5678.74	4846.88	Cape
245-246	N 36°26'25" W	66.54	246	5678.74	4846.88	Cape
246-247	N 36°26'25" W	66.54	247	5678.74	4846.88	Cape
247-248	N 36°26'25" W	66.54	248	5678.74	4846.88	Cape
248-249	N 36°26'25" W	66.54	249	5678.74	4846.88	Cape
249-250	N 36°26'25" W	66.54	250	5678.74	4846.88	Cape
250-251	N 36°26'25" W	66.54	251	5678.74	4846.88	Cape
251-252	N 36°26'25" W	66.54	252	5678.74	4846.88	Cape
252-253	N 36°26'25" W	66.54	253	5678.74	4846.88	Cape
253-254	N 36°26'25" W	66.54	254	5678.74	4846.88	Cape
254-255	N 36°26'25" W	66.54	255	5678.74	4846.88	Cape
255-256	N 36°26'25" W	66.54	256	5678.74	4846.88	Cape
256-257	N 36°26'25" W	66.54	257	5678.74	4846.88	Cape
257-258	N 36°26'25" W	66.54	258	5678.74	4846.88	Cape
258-259	N 36°26'25" W	66.54	259	5678.74	4846.88	Cape
259-260	N 36°26'25" W	66.54	260	5678.74	4846.88	Cape
260-261	N 36°26'25" W	66.54	261	5678.74	4846.88	Cape
261-262	N 36°26'25" W	66.54	262	5678.74	4846.88	Cape
262-263	N 36°26'25" W	66.54	263	5678.74	4846.88	Cape
263-264	N 36°26'25" W	66.54	264	5678.74	4846.88	Cape
264-265	N 36°26'25" W	66.54	265	5678.74	4846.88	Cape
265-266	N 36°26'25" W	66.54	266	5678.74	4846.88	Cape
266-267	N 36°26'25" W	66.54	267	5678.74	4846.88	Cape
267-268	N 36°26'25" W	66.54	268	5678.74	4846.88	Cape
268-269	N 36°26'25" W	66.54	269	5678.74	4846.88	Cape
269-270	N 36°26'25" W	66.54	270	5678.74	4846.88	Cape
270-271	N 36°26'25" W	66.54	271	5678.74	4846.88	Cape
271-272	N 36°26'25" W	66.54	272	5678.74	4846.88	Cape
272-273	N 36°26'25" W	66.54	273	5678.74	4846.88	Cape
273-274	N 36°26'25" W	66.54	274	5678.74	4846.88	Cape
274-275	N 36°26'25" W	66.54	275	5678.74	4846.88	Cape
275-276	N 36°26'25" W	66.54	276	5678.74	4846.88	Cape
276-277	N 36°26'25" W	66.54	277	5678.74	4846.88	Cape
277-278	N 36°26'25" W	66.54	278	5678.74	4846.88	Cape
278-279	N 36°26'25" W	66.54	279	5678.74	4846.88	Cape
279-280	N 36°26'25" W	66.54	280	5678.74	4846.88	Cape
280-281	N 36°26'25" W	66.54	281	5678.74	4846.88	Cape
281-282	N 36°26'25" W	66.54	282	5678.74	4846.88	Cape
282-283	N 36°26'25" W	66.54	283	5678.74	4846.88	Cape
283-284	N 36°26'25" W	66.54	284	5678.74	4846.88	Cape
284-285	N 36°26'25" W	66.54	285	5678.74	4846.88	Cape
285-286	N 36°26'25" W	66.54	286	5678.74	4846.88	Cape
286-287	N 36°26'25" W	66.54	287	5678.74	4846.88	Cape
287-288	N 36°26'25" W	66.54	288	5678.74	4846.88	Cape
288-289	N 36°26'25" W	66.54	289	5678.74	4846.88	Cape
289-290	N 36°26'25" W	66.54	290	5678.74	4846.88	Cape
290-291	N 36°26'25" W	66.54	291	5678.74	4846.88	Cape
291-292	N 36°26'25" W	66.54	292	5678.74	4846.88	Cape
292-293	N 36°26'25" W	66.54	293	5678.74	4846.88	Cape
293-294	N 36°26'25" W	66.54	294	5678.74	4846.88	Cape
294-295	N 36°26'25" W	66.54	295	5678.74	4846.88	Cape
295-296	N 36°26'25" W	66.54	296	5678.74	4846.88	Cape
296-297	N 36°26'25" W	66.54	297	5678.74	4846.88	Cape
297-298	N 36°26'25" W	66.54	298	5678.74	4846.88	Cape
298-299	N 36°26'25" W	66.54	299	5678.74	4846.88	Cape
299-300	N 36°26'25" W	66.54	300	5678.74	4846.88	Cape
300-301	N 36°26'25" W	66.54	301	5678.74	4846.88	Cape
301-302	N 36°26'25" W	66.54	302	5678.74	4846.88	Cape
302-303	N 36°26'25" W	66.54	303	5678.74	4846.88	Cape
303-304	N 36°26'25" W	66.54	304	5678.74	4846.88	Cape
304-305	N 36°26'25" W	66.54	305	5678.74	4846.88	Cape
305-306	N 36°26'25" W	66.54	306	5678.74	4846.88	Cape
306-307	N 36°26'25" W	66.54	307	5678.74	4846.88	Cape
307-308	N 36°26'25" W	66.54	308	5678.74	4846.88	Cape
308-309	N 36°26'25" W	66.54	309	5678.74	4846.88	Cape
309-310	N 36°26'25" W	66.54	310	5678.74	4846.88	Cape
310-311	N 36°26'25" W	66.54	311	5678.74	4846.88	Cape
311-312	N 36°26'25" W	66.54	312	5678.74	4846.88	Cape
312-313	N 36°26'25" W	66.54	313	5678.74	4846.88	Cape
313-314	N 36°26'25" W	66.54	314	5678.74	4846.88	Cape
314-315	N 36°26'25" W	66.54	315	5678.74	4846.88	Cape
315-316	N 36°26'25" W	66.54	316	5678.74	4846.88	Cape
316-317	N 36°26'25" W	66.54	317	5678.74	4846.88	Cape
317-318	N 36°26'25" W	66.54	318	5678.74	4846.88	Cape
318-319	N 36°26'25" W	66.54	319	5678.74	4846.88	Cape
319-320	N 36°26'25" W	66.54	320	5678.74	4846.88	Cape
320-321	N 36°26'25" W	66.54	321	5678.74	4846.88	Cape
321-322	N 36°26'25" W	66.54	322	5678.74	4846.88	Cape
322-323	N 36°26'25" W	66.54	323	5678.74	4846.88	Cape
323-324	N 36°26'25" W	66.54	324	5678.74	4846.88	Cape
324-325	N 36°26'25" W	66.54	325	5678.74	4846.88	Cape
325-326	N 36°26'25" W	66.54	326	5678.74	4846.88	Cape
326-327	N 36°26'25" W	66.54	327	5678.74	4846.88	Cape
327-328	N 36°26'25" W	66.54	328	5678.74	4846.88	Cape
328-329	N 36°26'25" W	66.54	329	5678.74	4846.88	Cape
329-330	N 36°26'25" W	66.54	330	5678.74	4846.88	Cape
330-331	N 36°26'25" W	66.54	331	5678.74	4846.88	Cape
331-332	N 36°26'25" W	66.54	332	5678.74	4846.88	Cape
332-333	N 36°26'25" W	66.54	333	5678.74	4846.88	Cape
333-334	N 36°26'25" W	66.54	334	5678.74	4846.88	Cape
334-335	N 36°26'25" W	66.54	335	5678.74	4846.88	Cape
335-336	N 36°26'25" W	66.54	336	5678.74	4846.88	Cape
336-337	N 36°26'25" W	66.54	337	5678.74	4846.88	Cape
337-338	N 36°26'25" W	66.54	338	5678.74	4846.88	Cape
338-339	N 36°26'25" W	66.54	339	5678.74	4846.88	Cape
339-340	N 36°26'25" W	66.54	340	5678.74	4846.88	Cape
340-341	N 36°26'25" W	66.54	341	5678.74	4846.88	Cape
341-342	N 36°26'25" W	66.54	342	5678.74	4846.88	Cape
342-343	N 36°26'25" W	66.54	343	5678.74	4846.88	Cape
343-344	N 36°26'25" W	66.54	344	5678.74	4846.88	Cape
344-345	N 36°26'25" W	66.54	345	5678.74	4846.88	Cape
345-346	N 36°26'25" W	66.54	346	5678.74	4846.88	Cape
346-347	N 36°26'25" W	66.54	347	5678.74	4846.88	Cape





PROPERTY IS SUBJECT TO CABLE TELEVISION EASEMENT IN FAVOR OF WARNER BROS. CABLE RECORDED IN C.B. 442 & 534. THIS NOTE CANNOT BE PLOTTED.

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DATE	4-24-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
		REVISIONS	

OVERALL SITE PLAN

Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio

*JMM*  
ARCHITECTS, INC.  
10000 W. Chester Pike, Columbia, OH 45326  
614.332.9900

**A** MKV OVERALL SITE PLAN  
1-1 SCALE: 1" = 100'-0"

ZONING CODE INFORMATION  
 ZONING CLASSIFICATION: FF-2, CITY OF SPRINGDALE

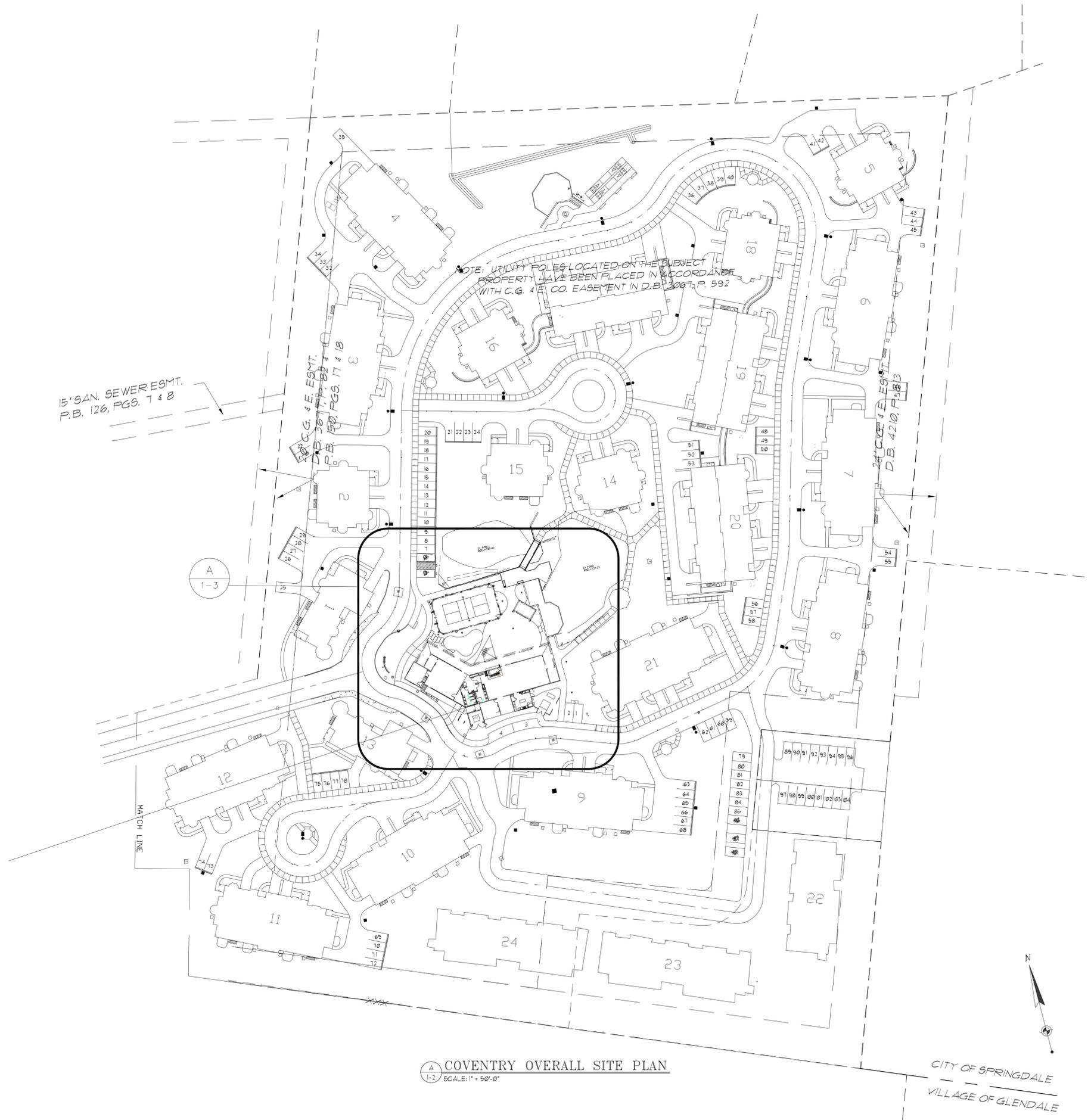
PROJECT: MAPLE KNOLL VILLAGE - COVENTRY PAVILION  
 PROJECT ADDRESS: 600 MAPLE TRACE DR. CINCINNATI, OH 45246

EXISTING MANOR HOUSE: 10,234 SQ. FT.  
 EXISTING PARKING SPACES: 106 SPACES

COVENTRY PAVILION: 6,962 SQ. FT. (PORCH INCLUDED)  
 PARKING SPACES AFTER CONSTRUCTION: 104 SPACES

PROJECT SUMMARY:

EXISTING MANOR HOUSE IS TO BE DEMOLISHED. NEW COVENTRY PAVILION IS TO BE BUILT AT THE SAME LOCATION. COVENTRY PAVILION WILL BE 6,692 SQ. FT. AND INCLUDE NEW OUTDOOR AMENITIES: PUTTING GREEN, PICKLEBALL COURT, AND OUTDOOR RECREATION.



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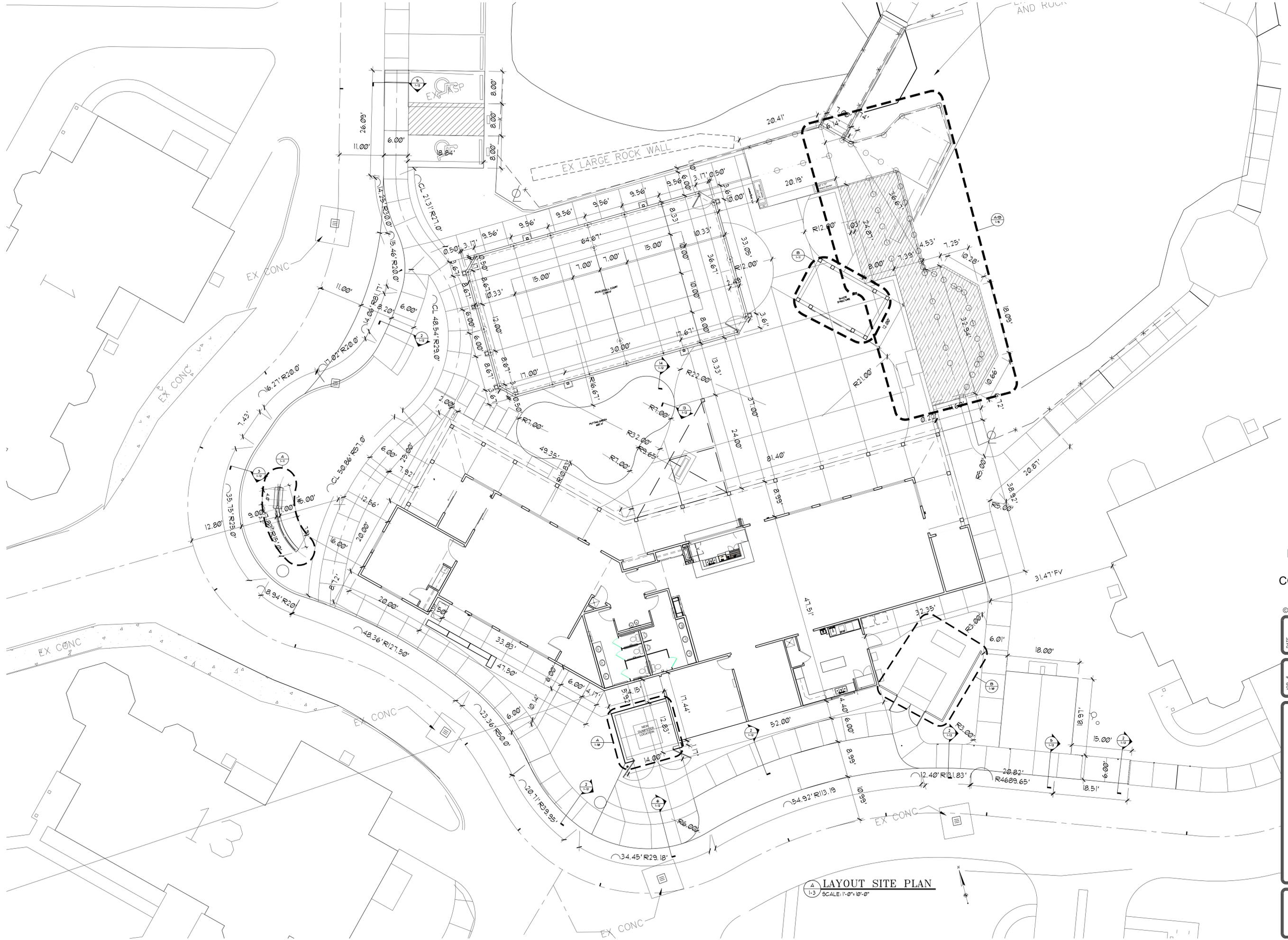
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DATE 4-24-23	CHECKED ABC	REVISIONS
JOB # 2208	DRAWN BY ABC	

Coventry Overall Site Plan  
 Maple Knoll Village - Coventry Pavilion  
 600 Maple Trace, Cincinnati, Ohio

4685 Lovell Drive, Columbus Ohio 43250  
 (614) 291-2200  
 (614) 291-2202

A COVENTRY OVERALL SITE PLAN  
 1-2 SCALE: 1" = 50'-0"



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JOB # 2208	DRAWN BY ABC	

LAYOUT SITE PLAN

Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio

JMM ARCHITECTS, INC.  
10000 Dixie Blvd., Cincinnati, OH 45240  
616.332.9999

A LAYOUT SITE PLAN  
1-3 SCALE: 1/8" = 10'-0"



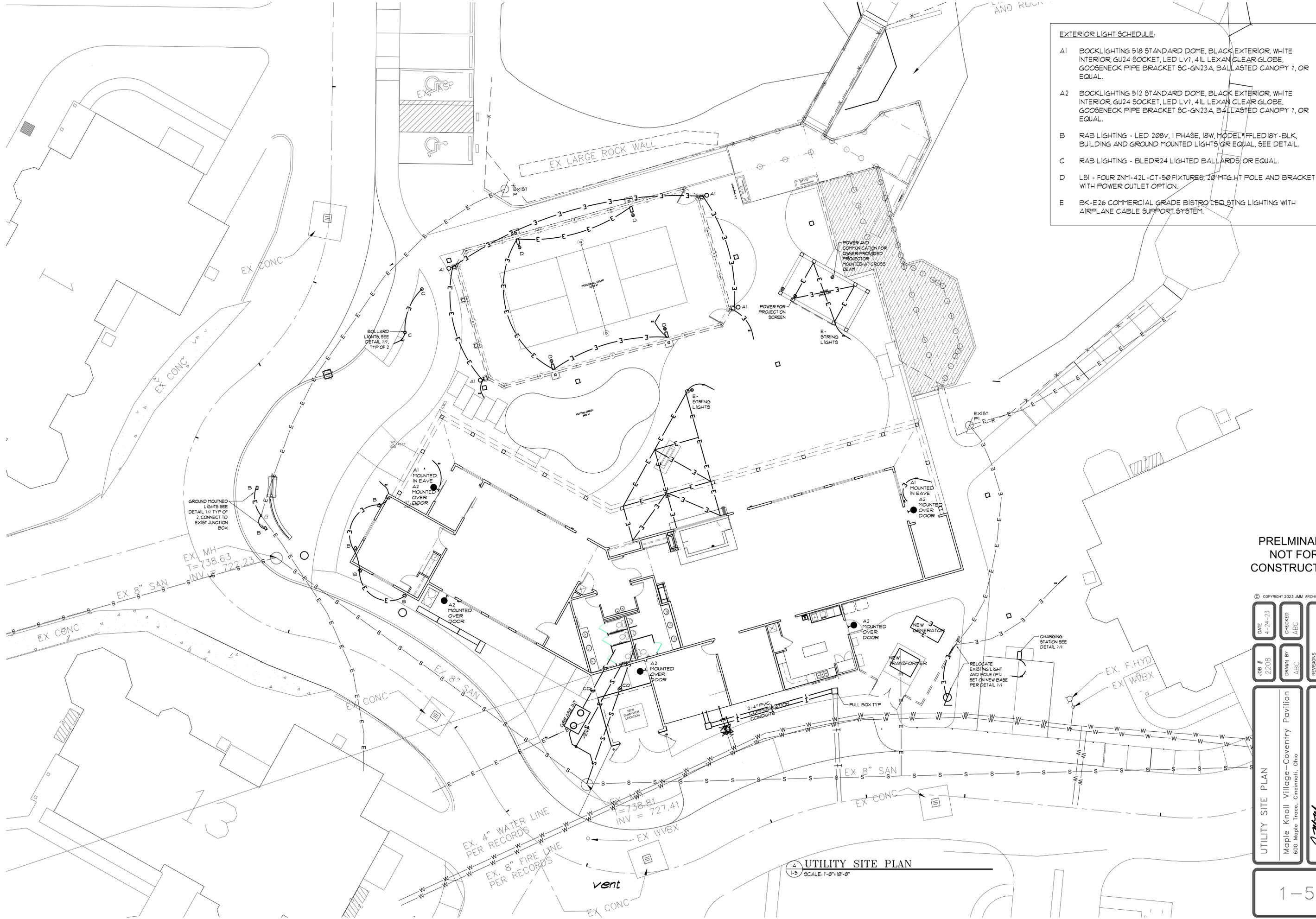
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JOB #	2208	DRAWN BY	ABC
REVISIONS			

GRADING AND STORM SITE PLAN  
 Maple Knoll Village-Coventry Pavilion  
 600 Maple Trace, Cincinnati, Ohio  
 JMM ARCHITECTS, INC.  
 10000 W. Columbia Ave. Cincinnati, OH 45241  
 (513) 332-5500

**GRADING AND STORM SITE PLAN**  
 SCALE: 1" = 0' = 10'-0"



**EXTERIOR LIGHT SCHEDULE:**

A1	BOCKLIGHTING 5/8 STANDARD DOME, BLACK EXTERIOR, WHITE INTERIOR, GU24 SOCKET, LED LV1, 4IL LEXAN CLEAR GLOBE, GOOSENECK PIPE BRACKET SC-GN23A, BALLASTED CANOPY 1, OR EQUAL.
A2	BOCKLIGHTING 5/8 STANDARD DOME, BLACK EXTERIOR, WHITE INTERIOR, GU24 SOCKET, LED LV1, 4IL LEXAN CLEAR GLOBE, GOOSENECK PIPE BRACKET SC-GN23A, BALLASTED CANOPY 1, OR EQUAL.
B	RAB LIGHTING - LED 208V, 1 PHASE, 18W, MODEL #FFLED18Y-BLK, BUILDING AND GROUND MOUNTED LIGHTS OR EQUAL, SEE DETAIL.
C	RAB LIGHTING - BLEDR24 LIGHTED BALL ARDS, OR EQUAL.
D	LSI - FOUR ZNM-42L-CT-50 FIXTURES, 20' MTG. HT POLE AND BRACKET WITH POWER OUTLET OPTION.
E	BK-E26 COMMERCIAL GRADE BISTRO LED STRING LIGHTING WITH AIRPLANE CABLE SUPPORT SYSTEM.

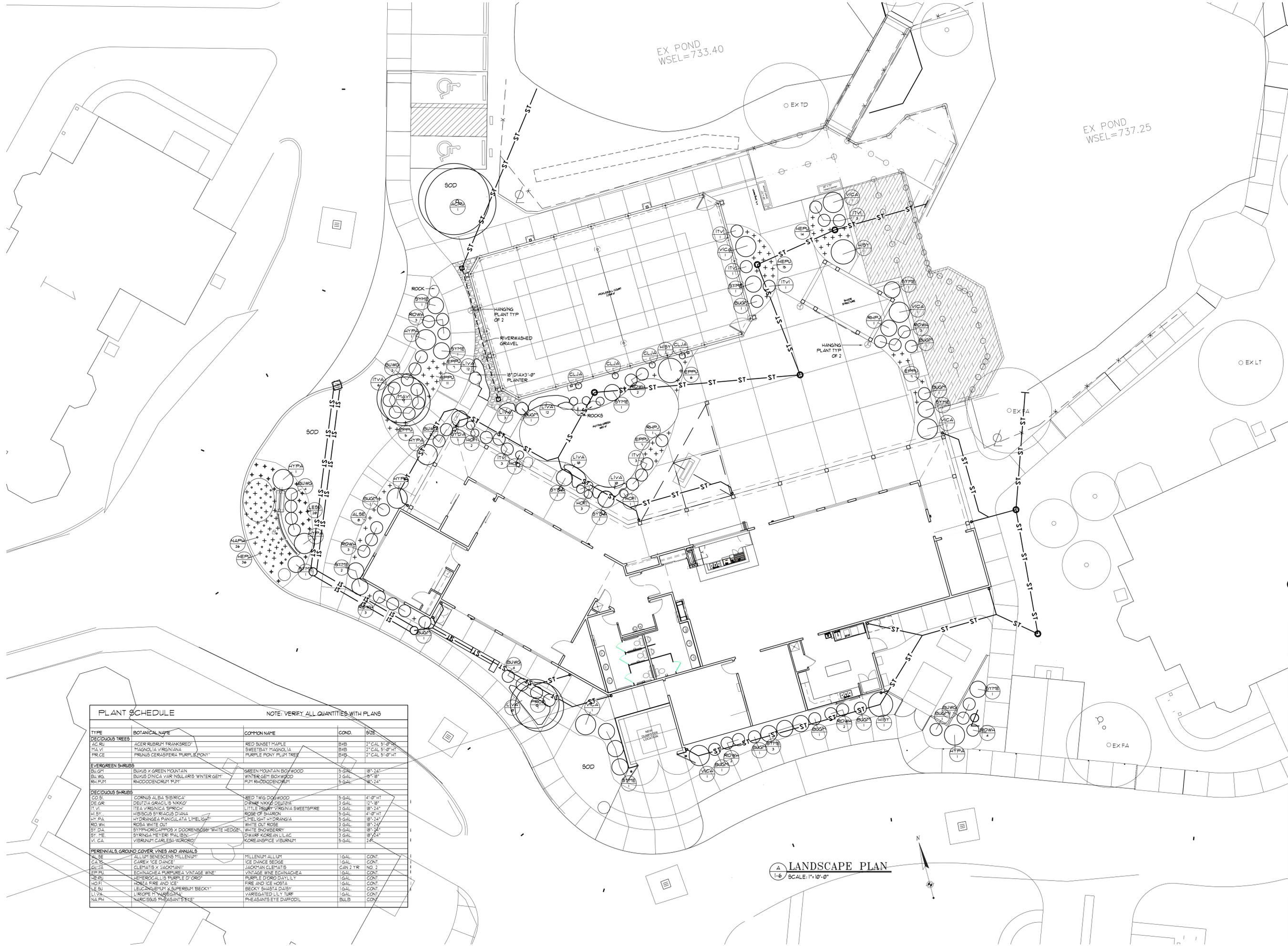
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JOB #	2208	DRAWN BY	ABC
REVISIONS		REVISIONS	

**UTILITY SITE PLAN**  
Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio  
JMM ARCHITECTS, INC.  
1000 Walnut Hill Drive, Columbus, OH 43229  
(614) 322-9991

**UTILITY SITE PLAN**  
SCALE: 1" = 10'-0"



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JOB #	2208	DRAWN BY	ABC
		REVISIONS	

**LANDSCAPE SITE PLAN**

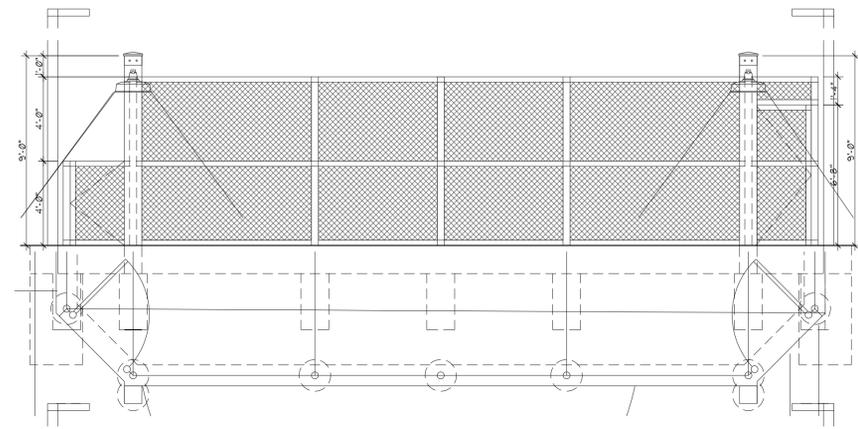
Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio

JMM ARCHITECTS, INC.  
10000 W. Columbia Ave. Suite 200  
Cincinnati, OH 45241

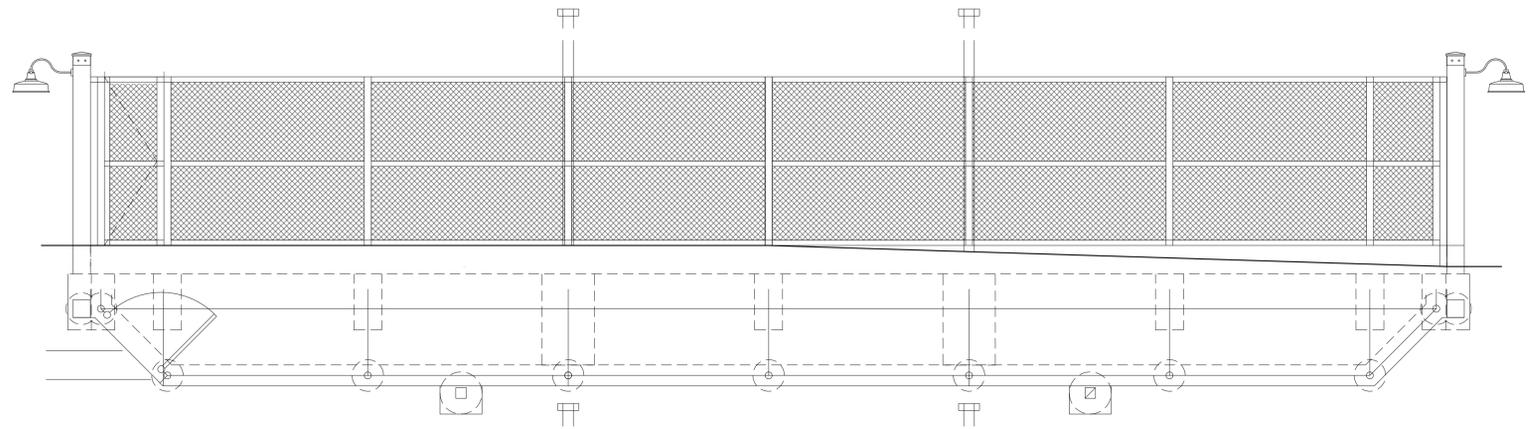
**PLANT SCHEDULE** NOTE: VERIFY ALL QUANTITIES WITH PLANS

TYPE	BOTANICAL NAME	COMMON NAME	COND.	SIZE
DECIDUOUS TREES	AC.RJ	AGER RUBRUM 'FRANKS RED'	B/B	2" GAL 5'-0" HT
	MA.VI	MAGNOLIA VIRGINIANA	B/B	2" GAL 5'-0" HT
	PR.CE	PRUNUS CERASIFERA 'PURPLE PONY'	B/B	2" GAL 5'-0" HT
EVERGREEN SHRUBS	BU.WG	BUXUS X GREEN MOUNTAIN	5 GAL	18"-24"
	BU.WG	BUXUS DINICA VAR NSULARIS 'WINTER GEM'	3 GAL	18"-24"
	RO.PJ	RHOODODENDRUM PJM	5 GAL	18"-24"
DECIDUOUS SHRUBS	CO.SI	CORNUS ALBA 'SIBIRICA'	5 GAL	4'-0" HT
	DE.GR	DEUTZIA GRACILIS 'NICKO'	3 GAL	12"-18"
	IT.VI	ITEA VIRGINICA 'SPRING'	2 GAL	18"-24"
	HI.SY	HIBISCUS SYRIACUS DIANA	5 GAL	4'-0" HT
	HY.PA	HYDRANGEA PANICULATA 'LIME LIGHT'	5 GAL	18"-24"
	RO.WH	ROSA WHITE OUT	3 GAL	18"-24"
	ST.DA	STYRACOCARPUS X DOORENBOS 'WHITE HEDGE'	5 GAL	18"-24"
	SY.ME	SYRINGA MEYERI 'PALIBIN'	3 GAL	18"-24"
	VI.CA	VIBURNUM CARLESII 'AURORA'	5 GAL	2'-2"
	PERENNIALS, GROUND COVER, VINES AND ANNUALS	AL.SE	ALLIUM SENESCENS 'MILLENIUM'	1 GAL
CA.DN		CAREX 'ICE DANCE'	1 GAL	CONT.
CL.JA		CLEMATIS X JACKMANII	JACQ'AN CLEMATIS	NO. 2
EP.PJ		ECHINACEA PURPUREA 'VINTAGE WINE'	VINTAGE WINE ECHINACEA	1 GAL
HE.SU		HEXENOCALLIS PURPLE D'ORO	PURPLE D'ORO DAY LILY	1 GAL
HO.FI		HONIA FIRE AND ICE	FIRE AND ICE HOSTA	1 GAL
LE.SU		LEUCANHELM X SUPERBUM BECKY	BECKY SHASTA DAISY	1 GAL
LI.VA		LIRIOPE 'VAREGATA'	VAREGATED LILY TURF	1 GAL
NA.PH		NARCISSUS 'PHEASANT'S EYE'	PHEASANT'S EYE DARFODIL	BULB

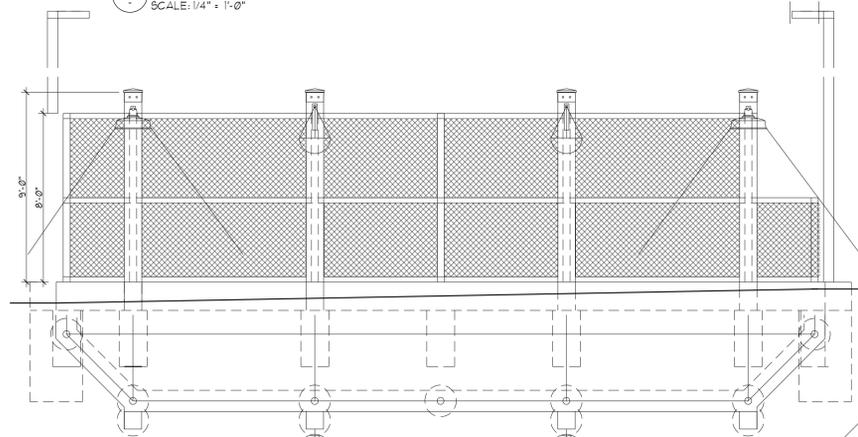
**LANDSCAPE PLAN**  
SCALE: 1" = 10'-0"



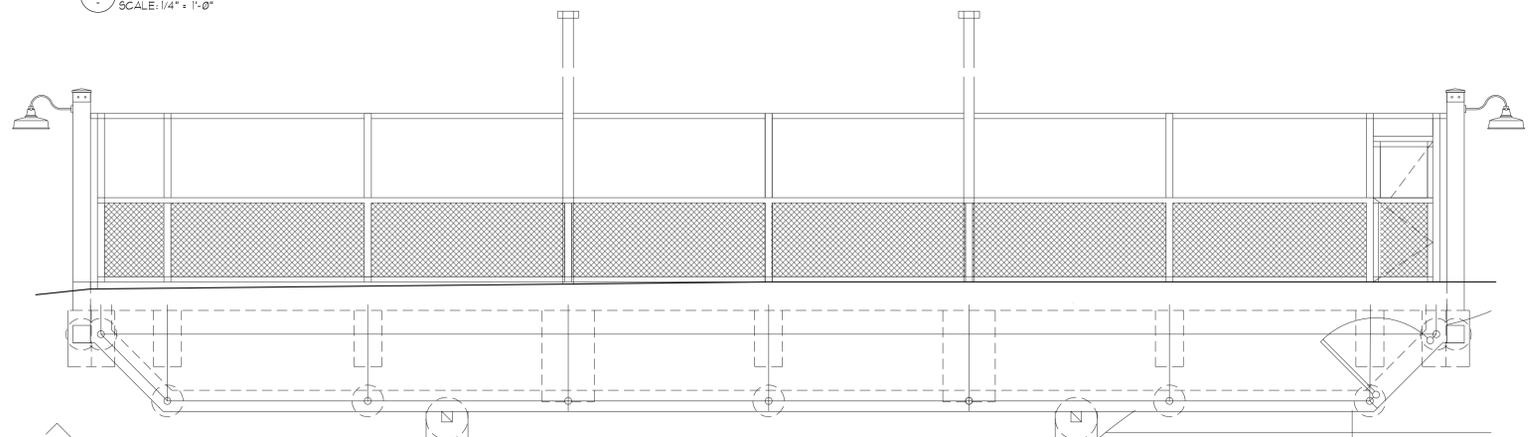
**EAST ELEVATION AND PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



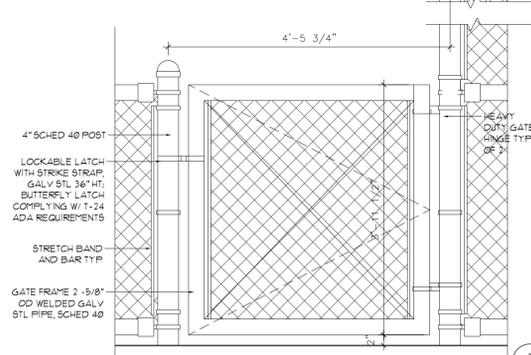
**SOUTH ELEVATION AND PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



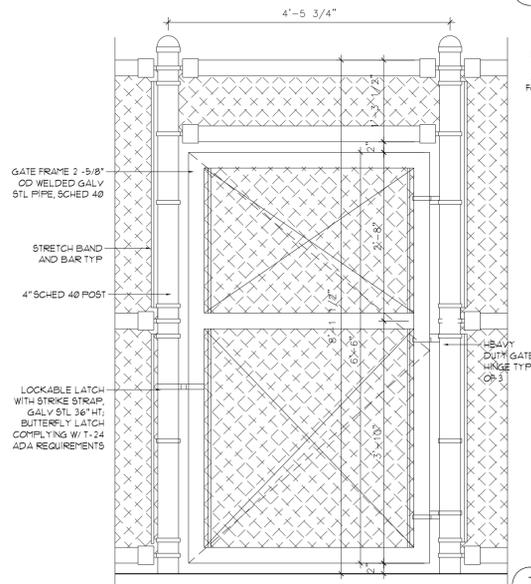
**WEST ELEVATION AND PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



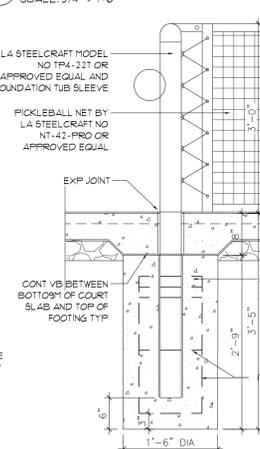
**NORTH ELEVATION AND PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



**GATE DETAIL**  
SCALE: 3/4" = 1'-0"

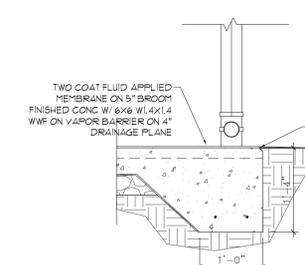
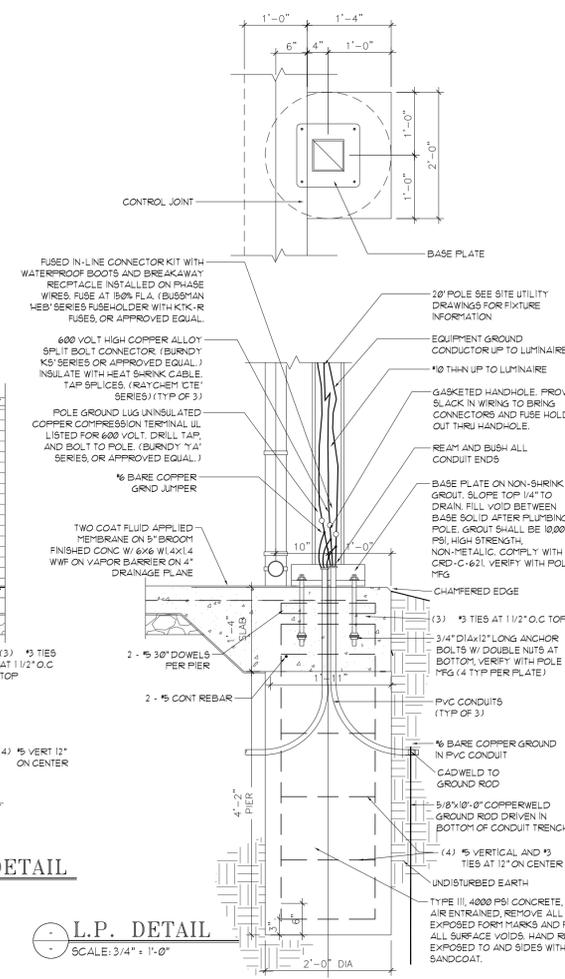


**GATE DETAIL**  
SCALE: 3/4" = 1'-0"

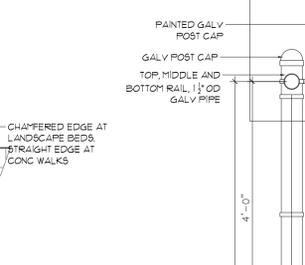


**NET POST DETAIL**  
SCALE: 3/4" = 1'-0"

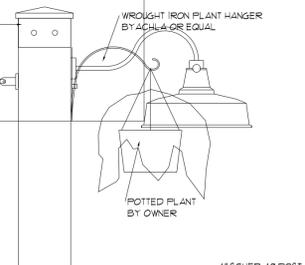
**L.P. DETAIL**  
SCALE: 3/4" = 1'-0"



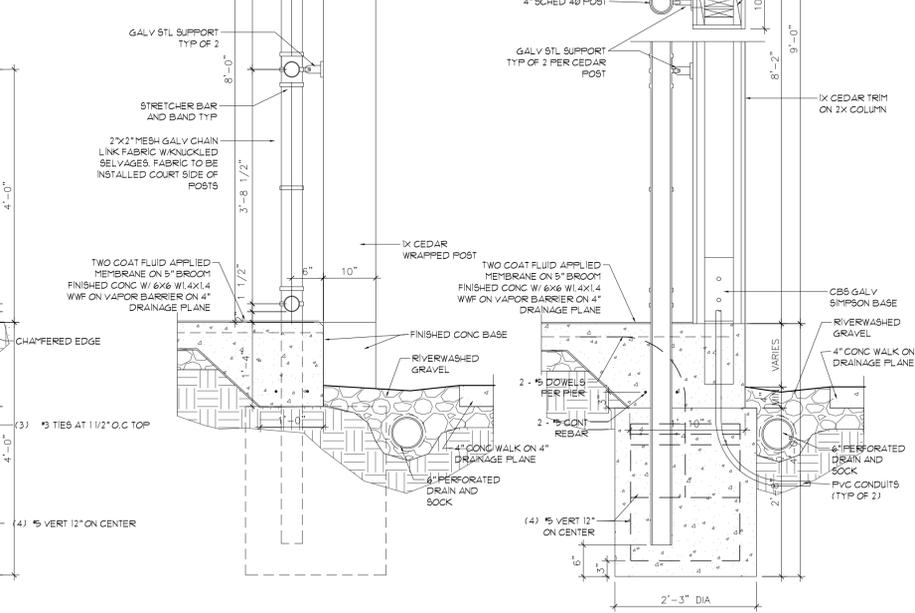
**FENCE DETAIL**  
SCALE: 3/4" = 1'-0"



**FENCE DETAIL**  
SCALE: 3/4" = 1'-0"



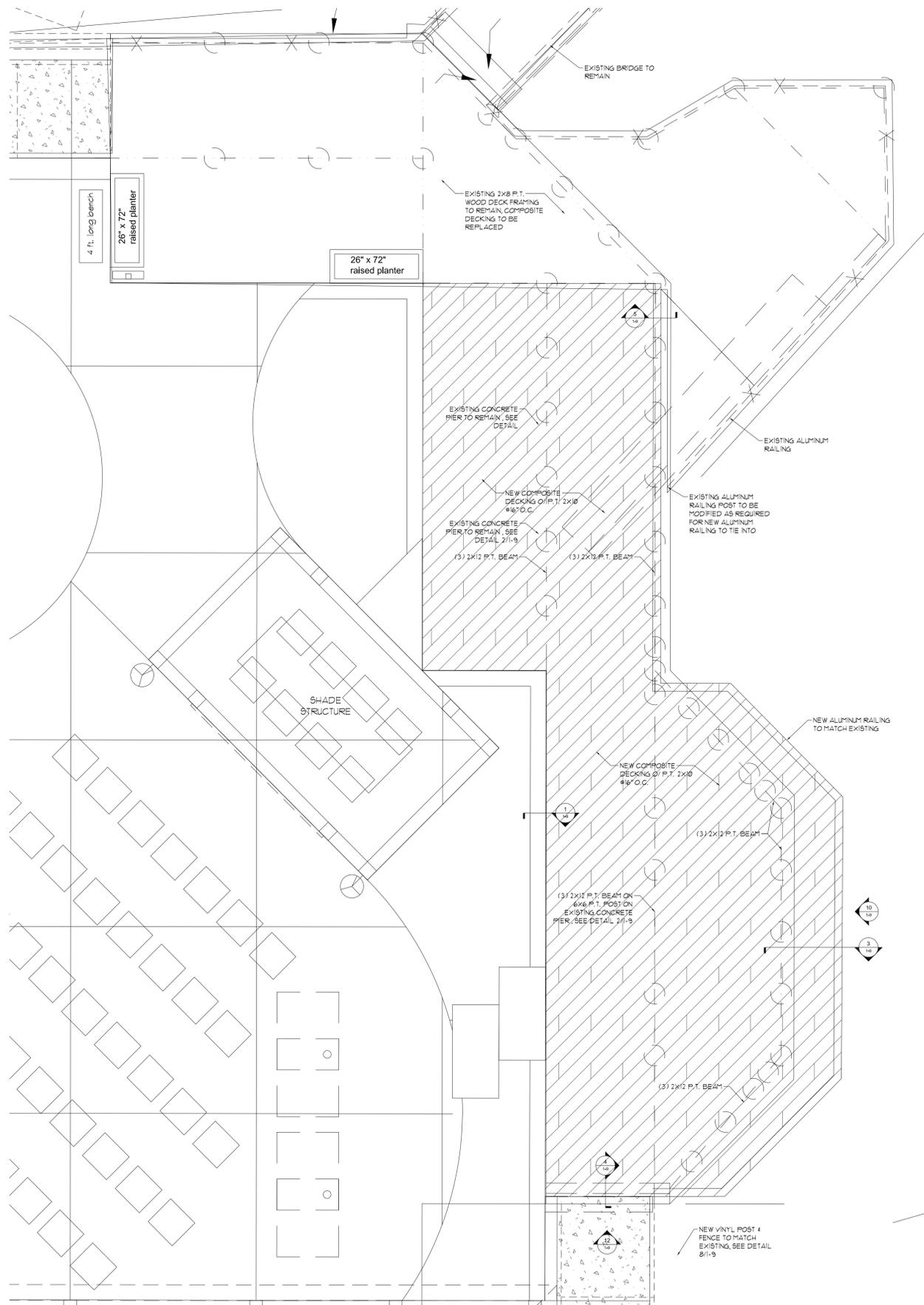
**COLUMN DETAIL**  
SCALE: 3/4" = 1'-0"



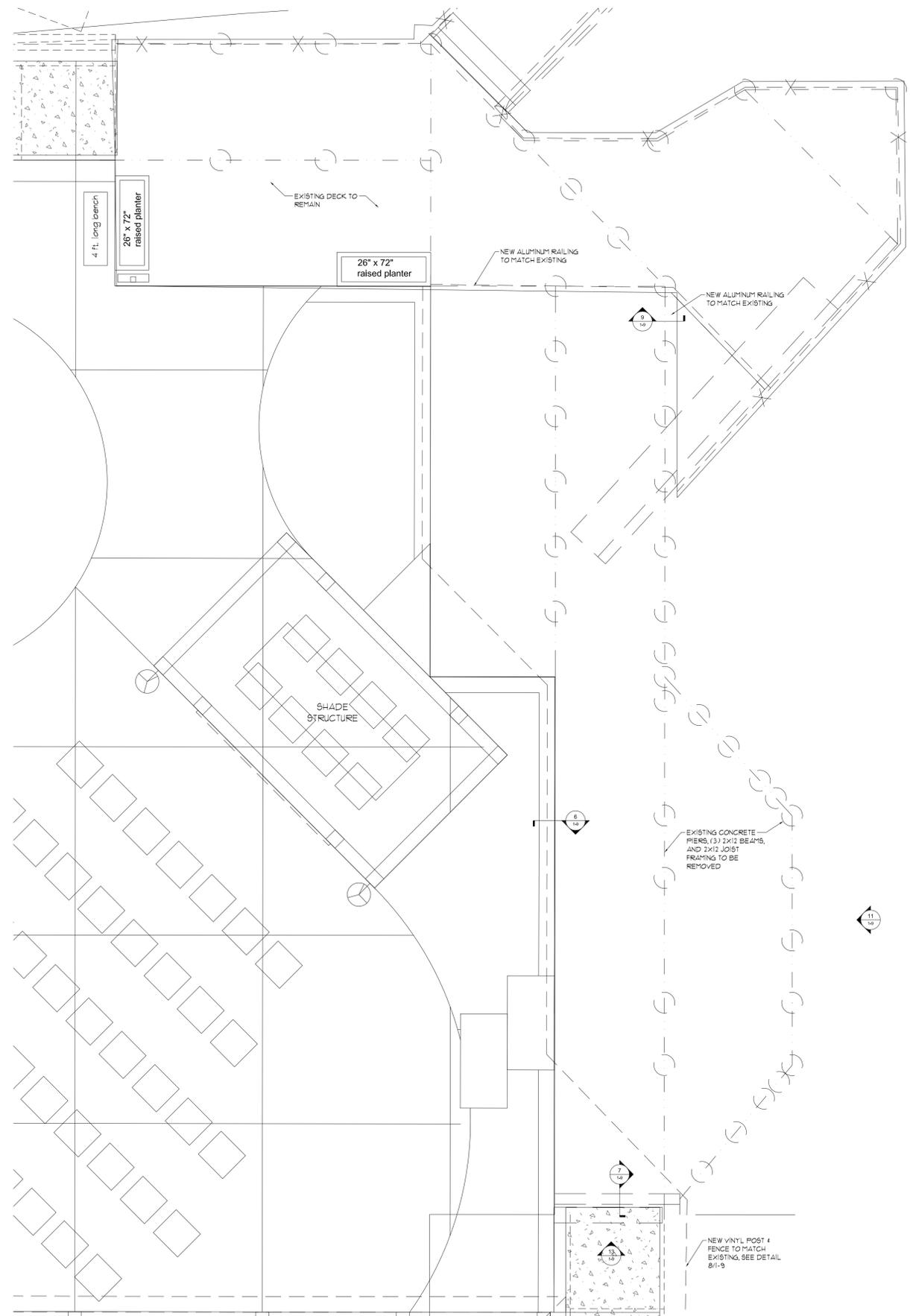
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DATE	4-24-23	CHECKED	ABC
JOB #	2208	DRAWN BY	ABC
SITE DETAILS		REVISIONS	
Maple Knoll Village-Coventry Pavilion			
600 Maple Trace, Cincinnati, Ohio			
4685 Lovell Drive, Columbus, Ohio 43228 (614) 233-8888			
1-7			



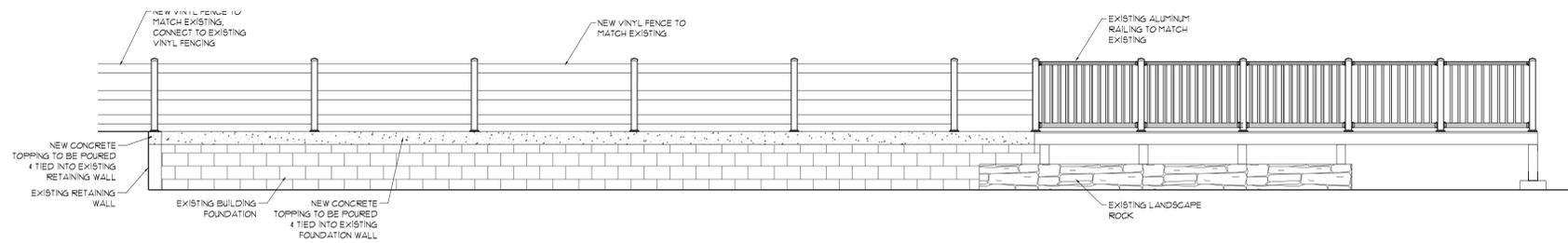
**A ENLARGED DECK PLAN - BASE BID**  
SCALE: 1/4" = 1'-0"



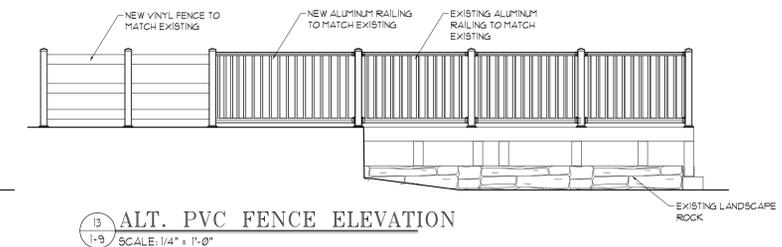
**B ENLARGED DECK PLAN - ALTERNATE**  
SCALE: 1/4" = 1'-0"

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CONSTRUCTION**

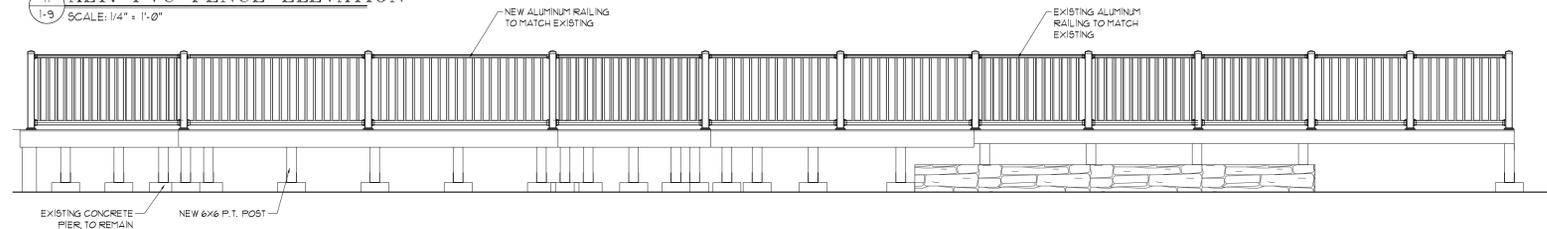
DATE 4-24-23		CHECKED ABC	
JOB # 2208		DRAWN BY ABC	
REVISIONS		ARCHITECTS, INC.	
SITE DETAILS <b>Maple Knoll Village-Coventry Pavilion</b> 600 Maple Trace, Cincinnati, Ohio  4685 Lovell Drive, Columbus, Ohio 43228 (614) 233-8888			



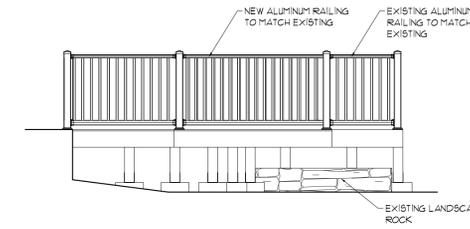
11 ALT. PVC FENCE ELEVATION  
1-9 SCALE: 1/4" = 1'-0"



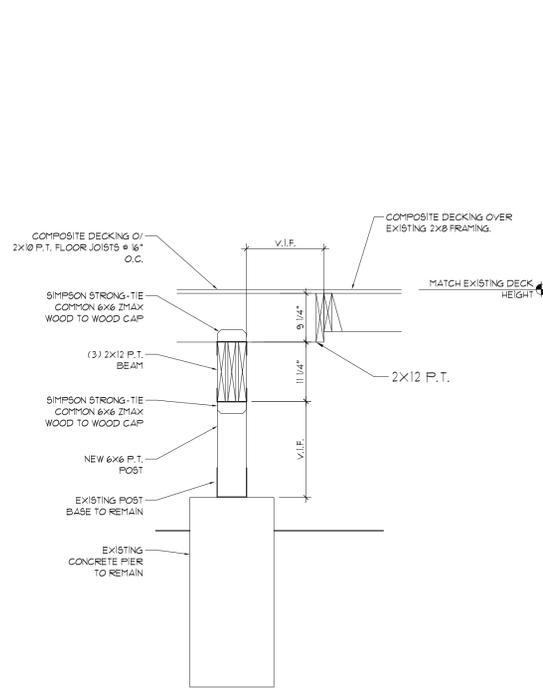
13 ALT. PVC FENCE ELEVATION  
1-9 SCALE: 1/4" = 1'-0"



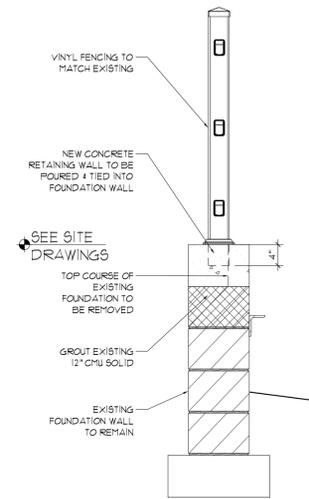
10 DECK ELEVATION  
1-9 SCALE: 1/4" = 1'-0"



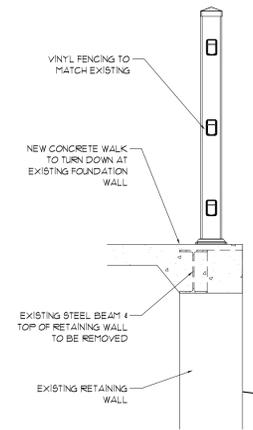
12 DECK ELEVATION  
1-9 SCALE: 1/4" = 1'-0"



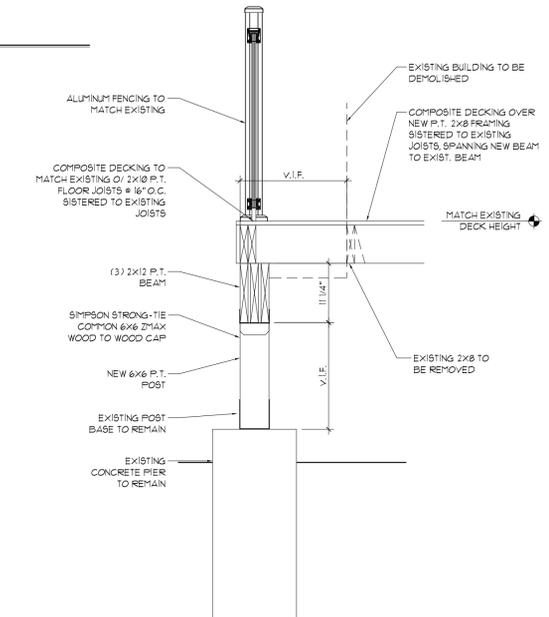
5 EXIST. DECK TRANSITION  
1-9 SCALE: 3/4" = 1'-0"



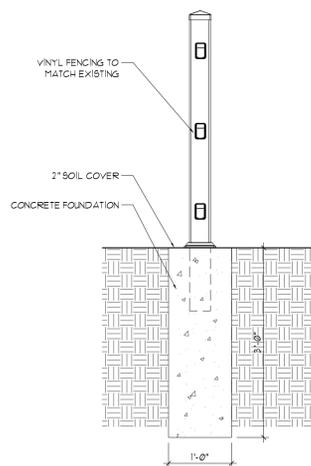
6 ALT. BLDG. FOUNDATION DETAIL  
1-9 SCALE: 3/4" = 1'-0"



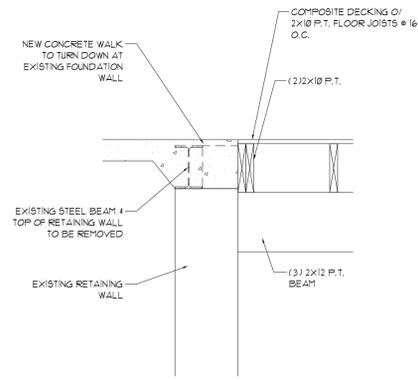
7 ALT. RETAINING WALL DETAIL  
1-9 SCALE: 3/4" = 1'-0"



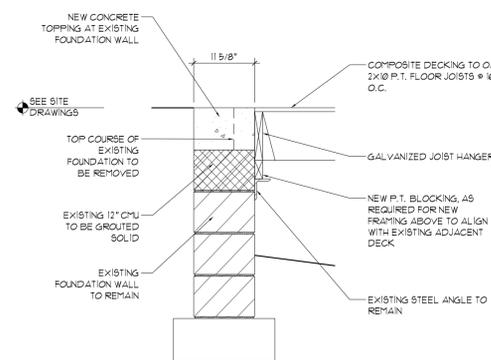
9 ALT. EXIST. DECK TRANSITION  
1-9 SCALE: 3/4" = 1'-0"



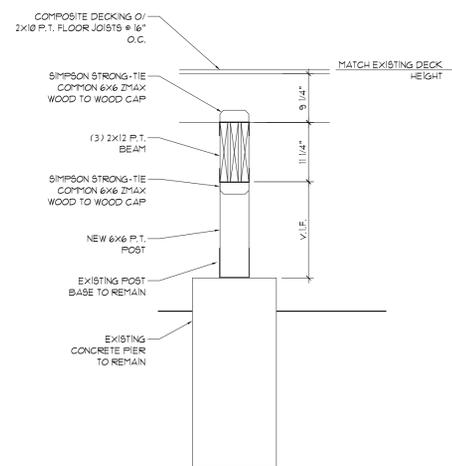
8 FENCE DETAIL  
1-9 SCALE: 3/4" = 1'-0"



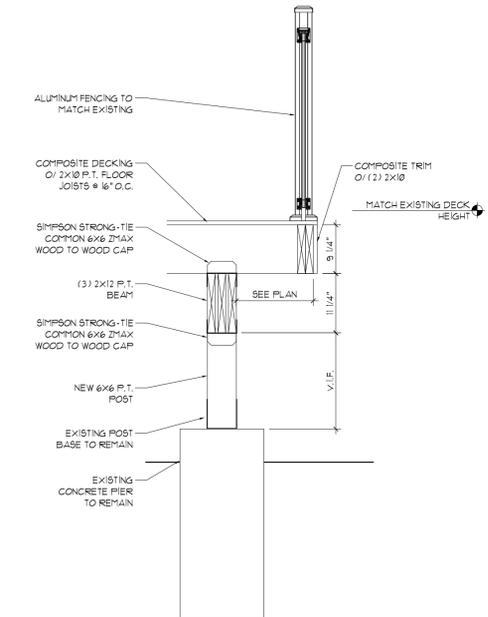
4 RETAINING WALL TRANSITION  
1-9 SCALE: 3/4" = 1'-0"



1 BLDG. FOUNDATION WALL  
1-9 SCALE: 3/4" = 1'-0"



2 PIER DETAIL  
1-9 SCALE: 3/4" = 1'-0"



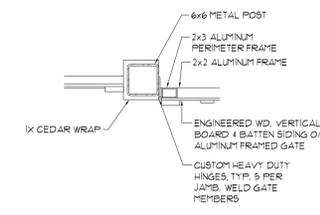
3 FENCE DETAIL  
1-9 SCALE: 3/4" = 1'-0"

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CONSTRUCTION

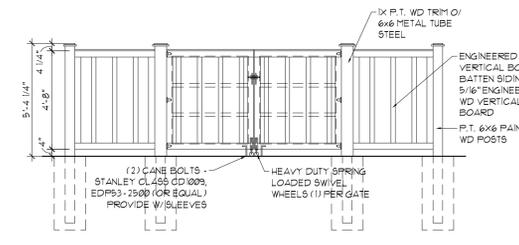
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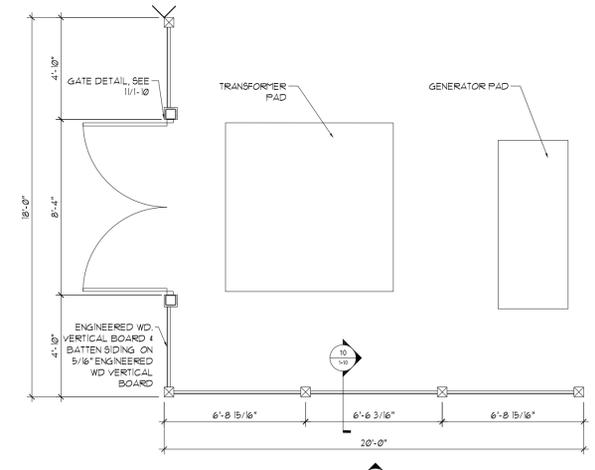
SITE DETAILS  
Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio  
JMM ARCHITECTS, INC.  
4685 Lovell Drive, Columbus, Ohio 43228  
(614) 233-8888



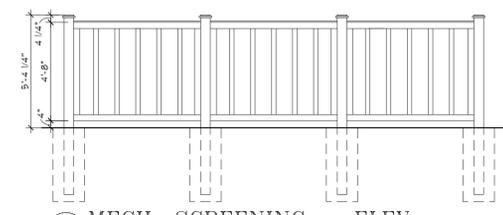
11 MECH. SCREENING - GATE DETAIL  
1-10 SCALE: 3/4" = 1'-0"



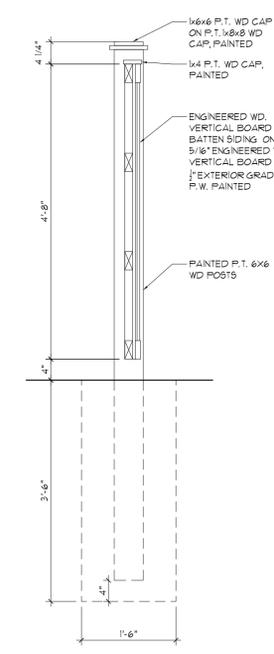
8 MECH. SCREENING - ELEV.  
1-10 SCALE: 1/4" = 1'-0"



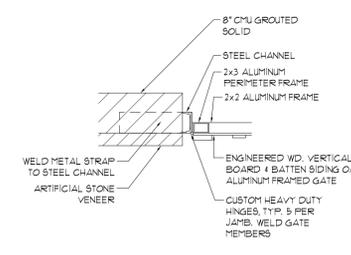
12 MECH. SCREENING - PLAN  
1-10 SCALE: 1/4" = 1'-0"



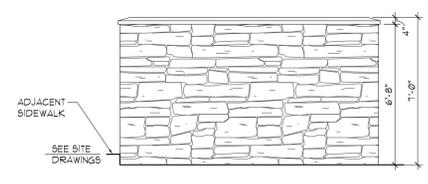
9 MECH. SCREENING - ELEV.  
1-10 SCALE: 1/4" = 1'-0"



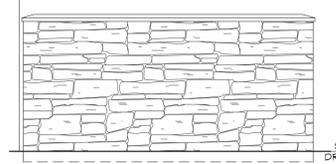
10 MECH. SCREENING - SECTION  
1-10 SCALE: 3/4" = 1'-0"



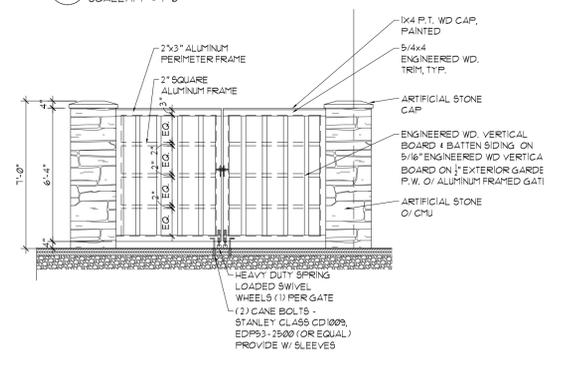
7 TRASH ENCLOSURE - GATE DETAIL  
1-10 SCALE: 3/4" = 1'-0"



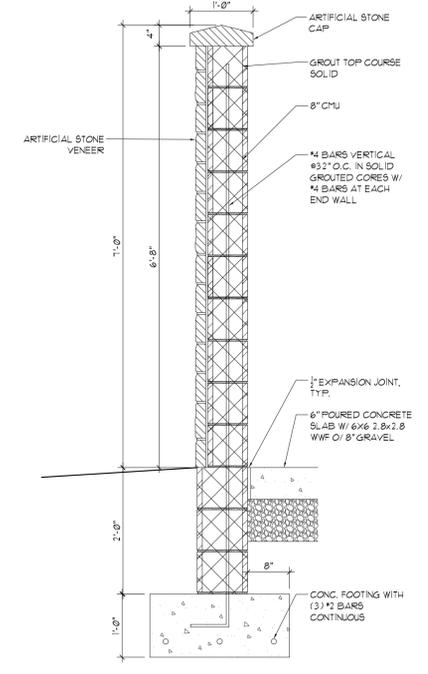
3 TRASH ENCLOSURE - ELEV.  
1-10 SCALE: 1/4" = 1'-0"



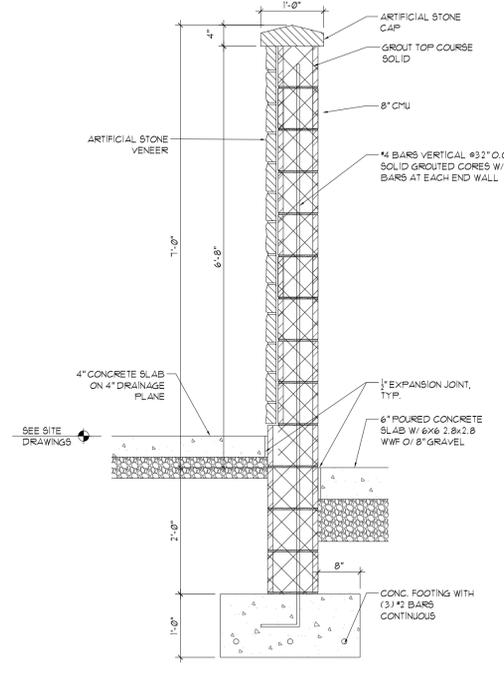
2 TRASH ENCLOSURE - ELEV.  
1-10 SCALE: 1/4" = 1'-0"



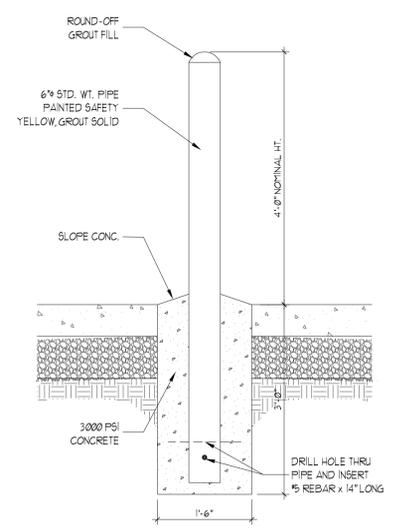
1 TRASH ENCLOSURE - ELEV.  
1-10 SCALE: 1/4" = 1'-0"



4 TRASH ENCLOSURE - SECTION  
1-10 SCALE: 3/4" = 1'-0"



5 TRASH ENCLOSURE - SECTION  
1-10 SCALE: 3/4" = 1'-0"



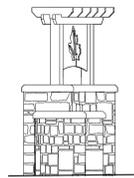
6 TYP. BOLLARD  
1-10 SCALE: 3/4" = 1'-0"

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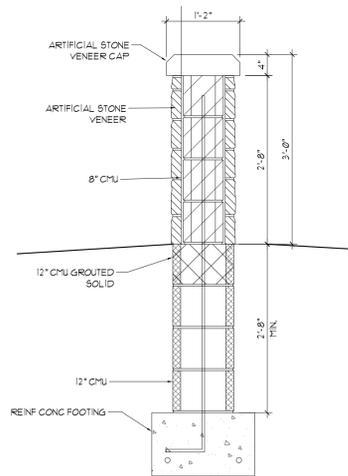
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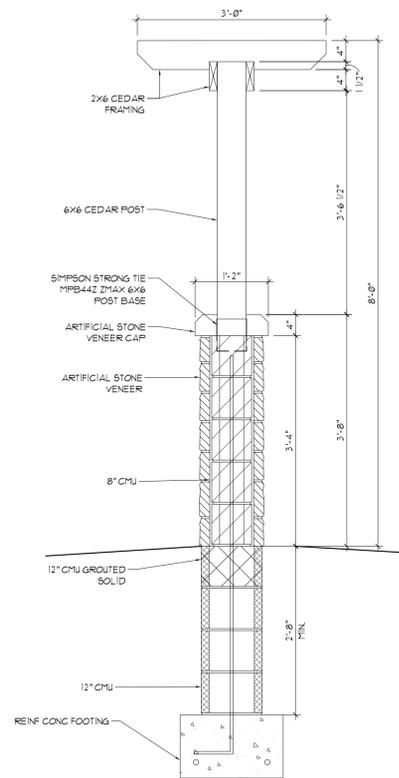
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600 Maple Trace, Cincinnati, Ohio  
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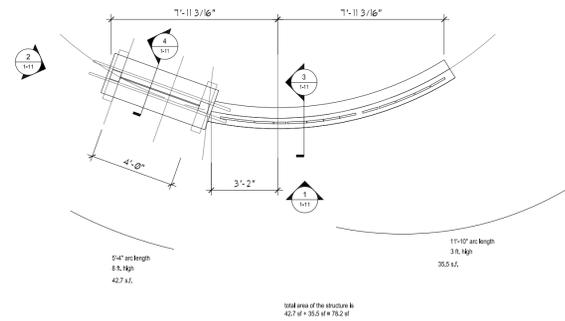
2 GROUND SIGN - ELEV.  
SCALE: 1/4" = 1'-0"



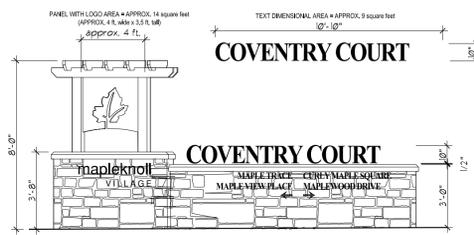
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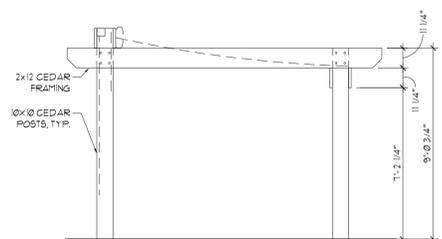
3 GROUND SIGN - SECTION  
SCALE: 1/4" = 1'-0"



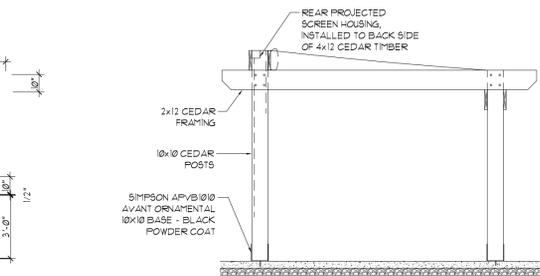
A GROUND SIGN - PLAN  
SCALE: 1/4" = 1'-0"



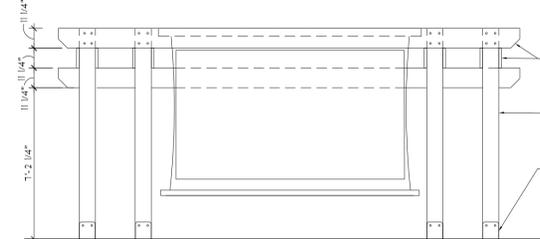
1 GROUND SIGN - ELEV.  
SCALE: 1/4" = 1'-0"



6 SHADE STRUCTURE - ELEV.  
SCALE: 1/4" = 1'-0"

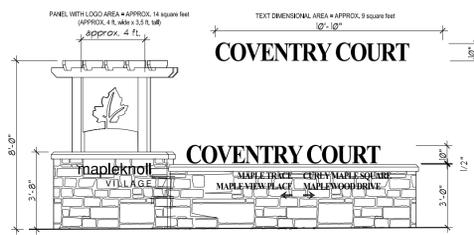


7 SHADE STRUCTURE - SECTION  
SCALE: 1/4" = 1'-0"

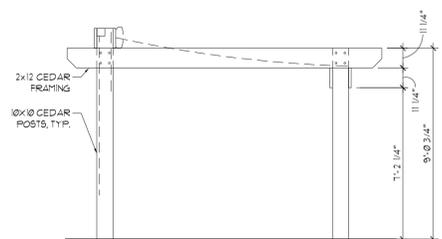


5 SHADE STRUCTURE - ELEV.  
SCALE: 1/4" = 1'-0"

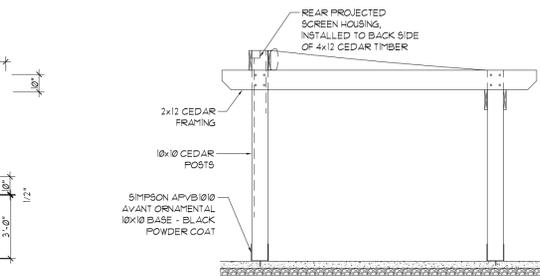
A GROUND SIGN - PLAN  
SCALE: 1/4" = 1'-0"



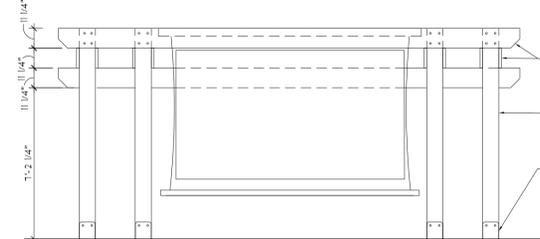
1 GROUND SIGN - ELEV.  
SCALE: 1/4" = 1'-0"



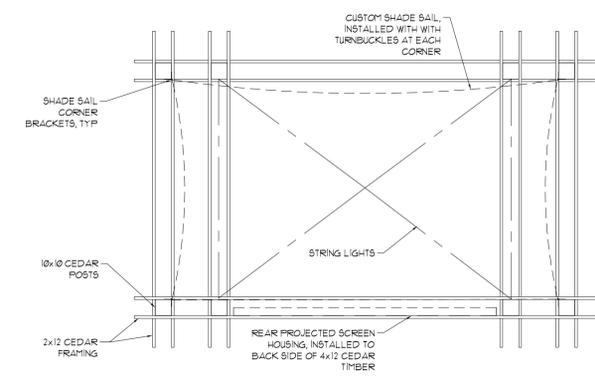
6 SHADE STRUCTURE - ELEV.  
SCALE: 1/4" = 1'-0"



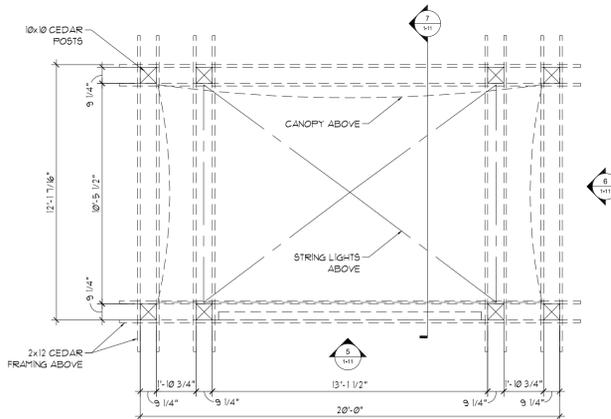
7 SHADE STRUCTURE - SECTION  
SCALE: 1/4" = 1'-0"



5 SHADE STRUCTURE - ELEV.  
SCALE: 1/4" = 1'-0"



C SHADE STRUCTURE - ROOF PLAN  
SCALE: 1/4" = 1'-0"



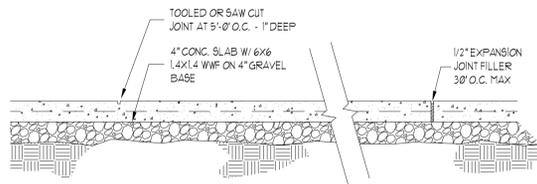
B SHADE STRUCTURE - PLAN  
SCALE: 1/4" = 1'-0"

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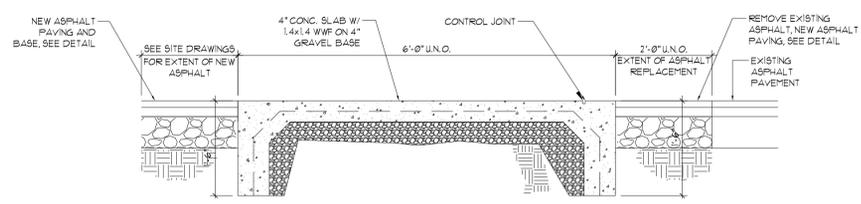
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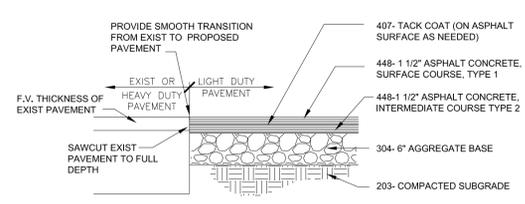
SITE DETAILS  
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600 Maple Trace, Cincinnati, Ohio  
JMM ARCHITECTS, INC.  
4685 Lovell Drive, Columbus, Ohio 43228  
(614) 291-2000



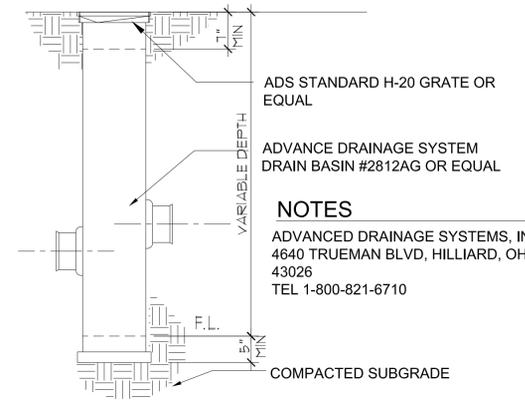
1 TYP. CONCRETE SIDEWALK  
SCALE: 3/4" = 1'-0"



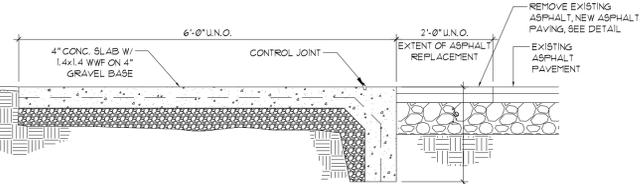
5 SIDEWALK PARKING TRANSITION  
SCALE: 3/4" = 1'-0"



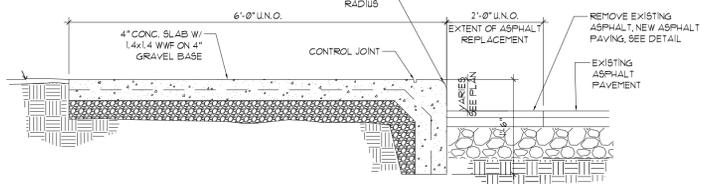
7 LIGHT DUTY PAVEMENT  
SCALE: 3/4" = 1'-0"



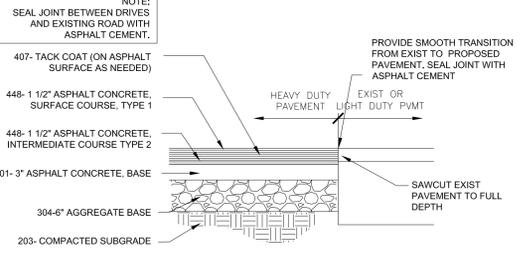
16 TYP. YARD DRAIN  
SCALE: 3/4" = 1'-0"



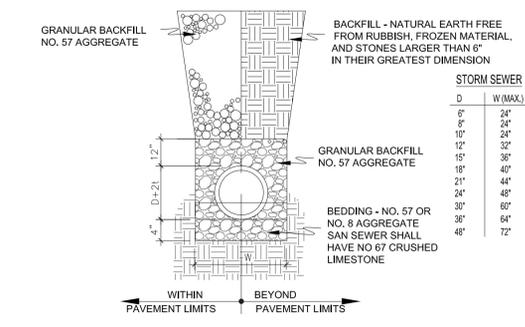
2 TYP. FLUSH INTEGRAL CURB SIDEWALK  
SCALE: 3/4" = 1'-0"



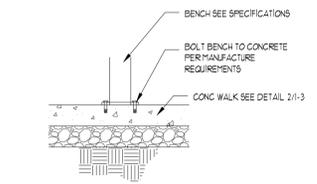
4 TYP. INTEGRAL CURB SIDEWALK  
SCALE: 3/4" = 1'-0"



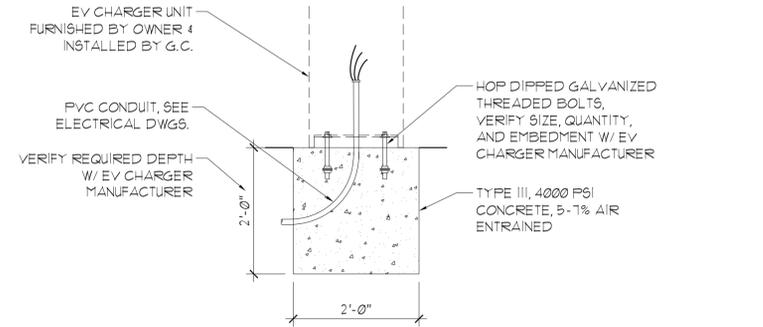
8 HEAVY DUTY PAVEMENT  
SCALE: 3/4" = 1'-0"



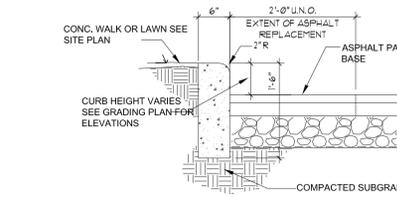
19 TYP. STORM SEWER PIPE SECTION  
SCALE: 3/4" = 1'-0"



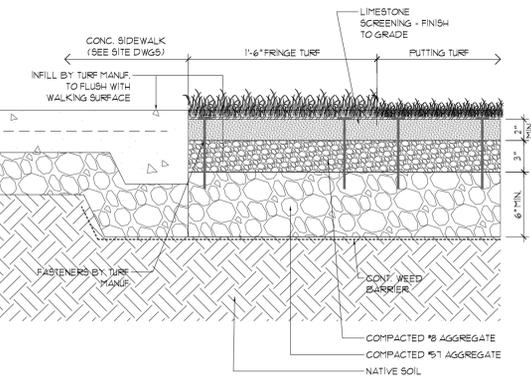
10 BENCH CONNECTION  
SCALE: 3/4" = 1'-0"



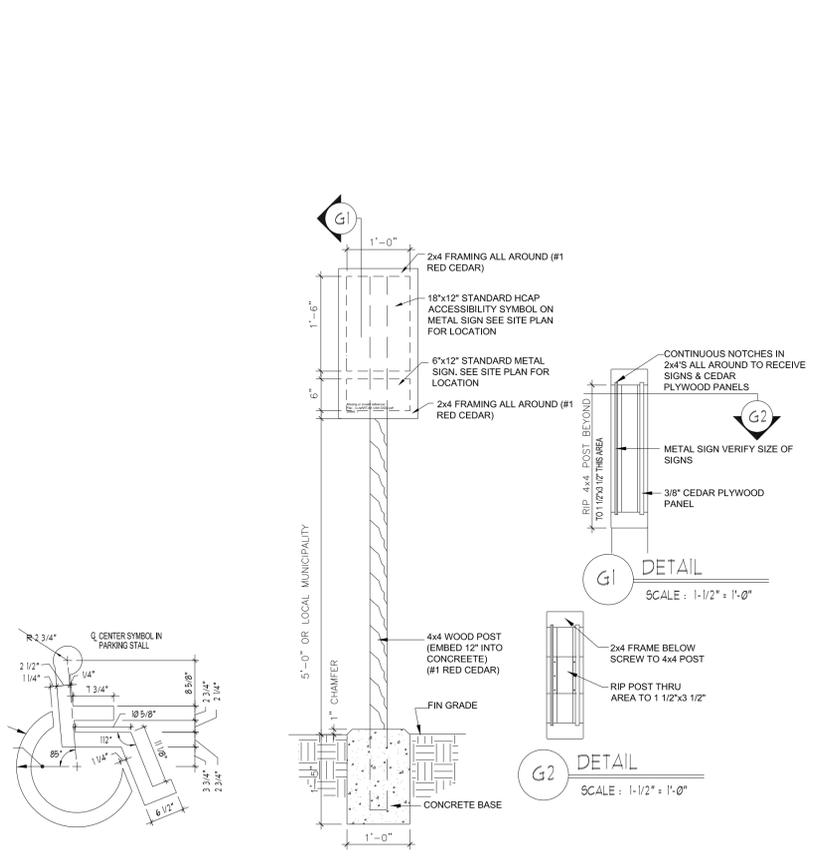
10 EV CHARGING BASE  
SCALE: 3/4" = 1'-0"



3 TYP. CONCRETE CURB  
SCALE: 3/4" = 1'-0"

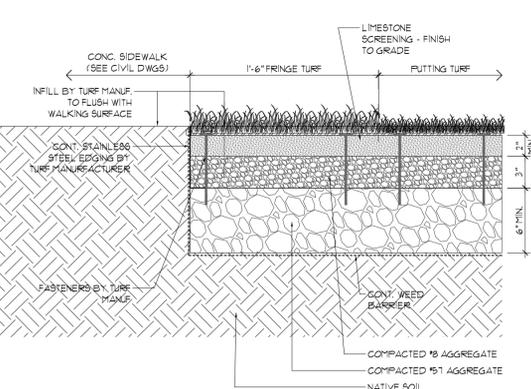


13 PUTTING GREEN - SECTION  
SCALE: 1/2" = 1'-0"

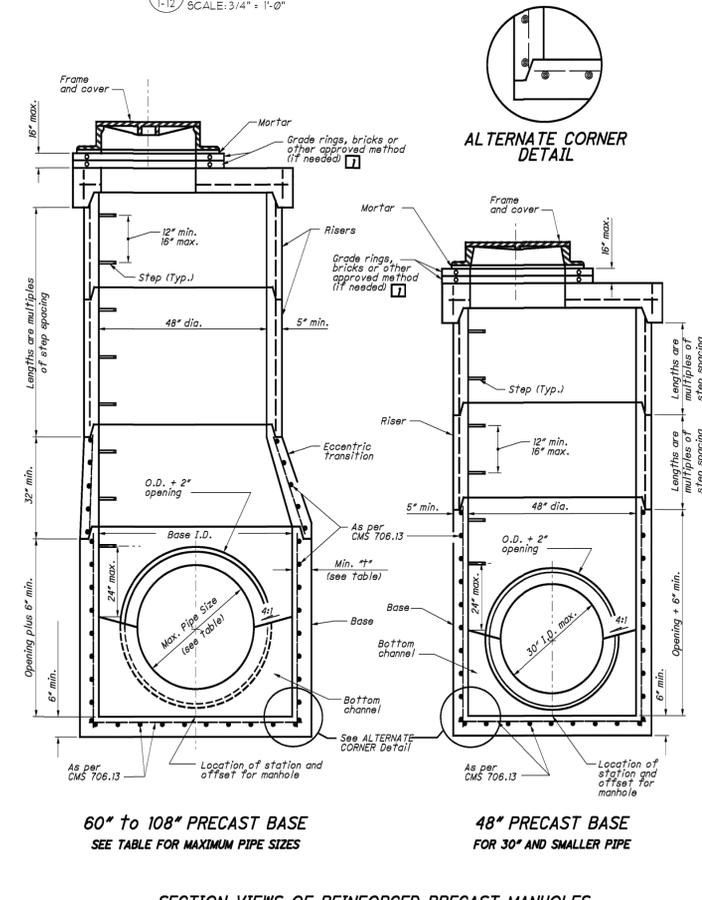


12 ACCESSIBILITY STRIPING  
SCALE: 3/4" = 1'-0"

11 ACCESSIBILITY PARKING SIGN  
SCALE: 3/4" = 1'-0"



14 PUTTING GREEN - SECTION  
SCALE: 1/2" = 1'-0"



15 STORM MANHOLE  
SCALE: 1/2" = 1'-0"

**NOTES**

**GENERAL:** With normal soil and site conditions, this standard precast manhole may be used for any required manhole depth. Cast and assemble sections of the precast manhole with either all tongue and all groove ends up. Lift holes may be provided in each section for handling. Leave handling device for the flat slab in place.

**TOP:** Provide a flat slab for this section unless an eccentric cone is specified.

**TRANSITION OR REDUCER:** This section can be either eccentric cone or flat slab.

**BASE:** Manhole No. 3 is shown with a monolithic floor and riser which may be cast in one or two operations. A permissible alternative is to cast and slip the floor and riser separately. Provide openings for inlet and outlet pipes, either when the unit is cast or later, to meet project requirements. Bottom channels may be formed of concrete or steel. The base or field constructed as shown on.

**RISER SECTIONS:** Openings for 18" and smaller inlet pipes may be either precast or cut in the field provided the sides of the pipe or the springline do not project into the manhole.

**CONNECTIONS:** Connections between precast manhole sections and pipes on sanitary sewers may be sealed with resilient connectors conforming to ASTM C 921.

**JOINT SEAL:** Furnish resilient seal between precast manhole sections on sanitary sewers and flexible gasket joints per CMS 706.11.

**OPENINGS:** Ensure pipe openings are the O.D. of the pipe being supplied plus 2" when fabricated or field cut. Fill any voids per CMS 011.

**MATERIALS:** Provide materials for bases and other precast sections, including reinforcement not specified here, that meet the requirements of CMS 706.13.

**DROP PIPE:** When specified on the plans, construct drop pipe as shown on SCD MH-2.

**STEPS, FRAMES AND COVERS:** Meet the requirements shown on SCD MH-1.

**TOP SLAB REBAR:** Use epoxy coated reinforcing steel within the top slab.

**LEGEND**

Reconstruction to grade only. Approved materials are kept on file by the Office of Materials Management.

BASE I.D.	MIN. #"	MAX. PIPE SIZE
60"	5"	36"
72"	6"	48"
84"	7"	54"
90"	7 1/2"	60"
96"	8"	66"
108"	9"	72"

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SITE DETAILS

Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio

JMM ARCHITECTS, INC.  
4685 Lovell Drive, Columbus Ohio 43228  
(614) 251-2200

## EROSION AND SEDIMENT CONTROL NARRATIVE

TOTAL ACREAGE - 17.2 AC  
 DISTURBED ACREAGE - 0.89 AC  
 PLAN DESIGNER: HARTMAN ENGINEERING  
 150 S. PARKWAY DRIVE  
 DELAWARE, OHIO 43019  
 PHONE/FAX: 740-548-4702

CONSTRUCTION MANAGER: RUSSELLI CONSTRUCTION  
 5030 ARLINGTON CENTRE BLVD  
 COLUMBUS, OHIO 43210  
 PHONE 614-876-9484  
 FAX 614-921-1108

PROJECT DESCRIPTION:  
 THE PROPOSED CONSTRUCTION INCLUDES THE DEMOLITION OF AN EXISTING BUILDING, CONSTRUCTION OF A NEW BUILDING, AND REWORKING OF THE EXISTING TURNAROUND IN FRONT OF BUILDING. A BUILDING ADDITION TO THE SOUTH OF THE NEW BUILDING IS ALSO PLANNED WITH A NEW COURTYARD AREA WITH UNDERGROUND STORAGE.

EXISTING SITE CONDITIONS:  
 THE EXISTING SITE IS DEVELOPED. THE PROJECT SITE IS LOCATED AT FRIENDSHIP VILLAGE OF DUBLIN, 6000 RIVERSIDE DRIVE, SOUTH OF DUBLIN-GRANVILLE ROAD (S.R. 161).

SITE DRAINS TO:  
 THE SITE DRAINS TO AN EXISTING STORM SEWER SYSTEM WHICH IS PIPED DIRECTLY TO THE SCIOTO RIVER AFTER BEING DETAINED VIA MULTIPLE BMP DEVICES ON SITE, INCLUDING AN EXISTING DETENTION BASIN AND THE PROPOSED UNDERGROUND STORAGE PIPES.

SOILS: FROM NRCS SOIL SURVEY, SOIL TYPES ON SITE ARE MoB (MILTON SILT LOAM), R9B (RITCHEY SILT LOAM).

EROSION AND SEDIMENT CONTROL MEASURES:  
 EROSION AND SITE RUNOFF WILL BE CONTROLLED BY THE USE OF INLET PROTECTION AT EXISTING AND PROPOSED CATCH BASINS, SILT FENCING AND TEMPORARY SEEDING.

PERMANENT STABILIZATION:  
 NON IMPERVIOUS AREAS WILL BE SEEDED.

MAINTENANCE:  
 ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED BY THE CONSTRUCTION SUPERINTENDENT DAILY AND AFTER SIGNIFICANT RAINFALLS. ANY DAMAGED MATERIALS ARE TO BE REPLACED/REPAIRED AS NECESSARY.

CONSTRUCTION SEQUENCE:  
 THE CONSTRUCTION AREA IS SURROUNDED BY EXISTING BUILDINGS ON 3 SIDES AND PARKING LOT ON THE 4TH SIDE. INLET PROTECTION AT EXISTING CATCH BASINS SHALL BE INSTALLED PRIOR TO COMMENCING CLEARING AND GRADING. THE SITE WILL THEN BE CLEARED. THE UNDERGROUND STORAGE PIPES WILL THEN BE CONSTRUCTED AND STORM SEWERS AND OTHER UTILITIES WILL BE INSTALLED WITH INLET PROTECTION PROVIDED AT ALL STORM INLET STRUCTURES. ONLY AFTER AREAS HAVE BEEN PAVED AND SEEDED/SODDED MAY THE EROSION CONTROL DEVICES BE REMOVED. THE STORM SEWER PIPES AND INLETS SHALL THEN BE CLEANED OF ALL SEDIMENT INCURRED DURING CONSTRUCTION.

SITE CONTACT: JMM ARCHITECTS, INC.  
 4685 LARWELL DRIVE  
 COLUMBUS, OHIO 43220  
 PHONE: 614-326-5565  
 FAX: 614-326-5566  
 CONTACT PERSON: STEPHEN BUSCH (PHONE & FAX SAME AS ABOVE)  
 EMAIL: STEVE@JMMARCH.COM

## SEDIMENT FENCE DETAIL

SILT FENCE: THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP AND SECURELY SEALED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST AT LEAST 1 INCH LONG. THE WIRES OR HOG RINGS OF THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MAXIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT, FENCE POST SPACING SHALL NOT EXCEED 6 FEET.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE:  
 SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR OR THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDED.

## INLET FILTER DETAIL MAINTENANCE

LAWN INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.

THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 IN.

THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2X4 CONSTRUCTION GRADE LUMBER. THE 2X4 POSTS SHALL BE DRIVEN 1'-6" INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2X4 FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6' BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.

WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.

GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.

## SEDIMENT AND EROSION CONTROL CRITERIA

IN ORDER TO CONTROL SEDIMENT POLLUTION OF WATER RESOURCES THE OWNER OR PERSON RESPONSIBLE FOR THE DEVELOPMENT AREA SHALL USE CONSERVATION PLANNING AND PRACTICES TO MAINTAIN THE LEVEL OF CONSERVATION ESTABLISHED BY THE FOLLOWING STANDARDS:

TIMING OF SEDIMENT-TRAPPING PRACTICES: SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS REESTABLISHED.

STABILIZATION OF STRIPPED AREA: STRIPPED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN 21 DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

STORM SEWER INLET PROTECTION:  
 ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SEWER SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.

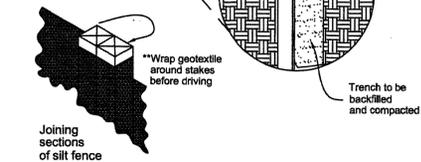
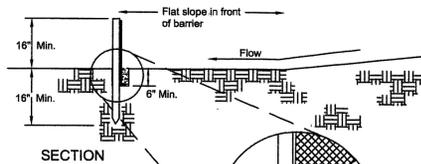
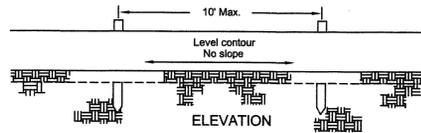
CONSTRUCTION ACCESS ROUTES:  
 MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROL STRUCTURES, OR ONTO PUBLIC ROADS.

SLOUGHING AND DUMPING:  
 A. NO SOIL, ROCK DEBRIS, OR ANY OTHER MATERIAL SHALL BE DUMPED OR PLACED INTO A WATER RESOURCE OR INTO SUCH PROXIMITY THAT IT MAY READILY SLOUGH, SLIP, OR ERODE INTO A WATER RESOURCE UNLESS SUCH DUMPING OR PLACING IS AUTHORIZED BY THE CITY ENGINEER AND, WHEN APPLICABLE, THE U.S. ARMY CORPS OF ENGINEERS, FOR SUCH PURPOSES AS, BUT NOT LIMITED, TO CONSTRUCTION BRIDGES, CULVERTS, AND EROSION CONTROL.

B. UNSTABLE SOILS PRONE TO SLIPPING OR LANDSLIDING SHALL NOT BE GRADED, EXCAVATED, FILLED OR HAVE LOADS IMPOSED UPON THEM UNLESS THE WORK IS DONE IN ACCORDANCE WITH A QUALIFIED PROFESSIONAL ENGINEER'S RECOMMENDATIONS TO CORRECT, ELIMINATE, OR ADEQUATELY ADDRESS THE PROBLEMS.

## SEQUENCE OF SEDIMENT AND EROSION CONTROL OPERATIONS

- INSTALL INLET PROTECTION AROUND EXISTING CATCH BASINS.
- STRIP TOPSOIL AND UNUSABLE MATERIAL.
- CONSTRUCT UNDERGROUND STORAGE PIPES AND INSTALL STORM DRAINS. DURING CONSTRUCTION THE ENDS OF ALL OPEN PIPES SHALL BE PROTECTED BY FILTER BARRIERS OR OTHER APPROVED MEANS. FILTER BARRIERS SHALL BE PLACED PROMPTLY UPON BACKFILL OF STORM STRUCTURES.
- CONSTRUCT FOUNDATIONS AND ERECT STRUCTURES AND APPURTENANCES.
- EXECUTE GRADING AND FILLING OPERATIONS AROUND BUILDINGS AND IN YARD AREAS.
- UPON COMPLETION OF STRUCTURES THE AREA AROUND STRUCTURES SHALL BE PROTECTED FROM EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROWING SEASON.
- ANY REMAINING EXPOSED AREAS SHALL BE SEEDED AND MULCHED OR SODDED WITH 1 DAYS OF FINAL GRADING.



## Specifications for Permanent Seeding

- Site Preparation**
- Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture. Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
  - The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
  - Topsoil shall be applied where needed to establish vegetation.

### Seedbed Preparation

- Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
- Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analyses.
- The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.

### Seeding Dates and Soil Conditions

Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above-specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

### Dormant Seedings

- Seedings should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
- The following methods may be used for "Dormant Seeding":
  - Straw and Mulch Anchoring Methods

Straw mulch shall be anchored immediately to minimize loss by wind or water.

- Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
- Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
- Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacturer or at the rate of 180 gallons per acre.

- Synthetic Binders—Synthetic binders such as Acrylic DLR (Acri-Tac), DCA-70, Petrosel, Terra Tack or equivalent may be used at rates specified by the manufacturer.
- Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gallons of water.

### Irrigation

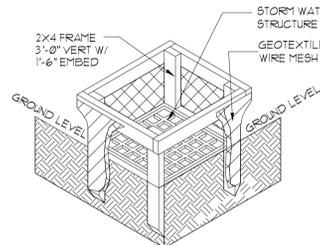
Permanent seeding shall include irrigation to establish vegetation during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth.

Irrigation rates shall be monitored to prevent erosion and damage to seeded areas from excessive runoff.

Table 7.10.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes
	Lbs./acre	Lbs./1,000 Sq. Feet	
General Use			
Creeping Red Fescue	20-40	1/2-1	For close mowing & for waterways with <math>c2.0</math> ft/sec velocity
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	20-40	1/2-1	
Tall Fescue	40-50	1-1 1/4	
Turf-type (dwarf) Fescue	80	2 1/4	
Sloped Banks or Cut Slopes			
Tall Fescue	40-50	1-1 1/4	
Crown Vetch	10-20	1/4-1/2	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Flat Pea	20-25	1/2-3/4	Do not seed later than August
Tall Fescue	20-30	1/2-3/4	
Road Ditches and Swales			
Tall Fescue	40-50	1-1 1/4	
Turf-type (Dwarf) Fescue	80	2 1/4	
Kentucky Bluegrass	5	0.1	
Lawns			
Kentucky Bluegrass	100-120	2	
Perennial Ryegrass		2	
Kentucky Bluegrass	100-120	2	For shaded areas
Creeping Red Fescue		1-1/2	

Note: Other approved seed species may be substituted.



## Specifications for Temporary Seeding

Table 7.8.1 Temporary Seeding Species Selection

Seeding Dates	Species	Lb./1000 sq. ft.	Lb./Acre
March 1 to August 15	Oats	3	128 (4 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Ryegrass	1	40
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Annual Ryegrass	1.25	55
	Perennial Ryegrass	3.25	142
	Creeping Red Fescue	0.4	17
	Kentucky Bluegrass	0.4	17
August 16th to November	Oats	3	128 (3 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Rye	3	112 (2 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Wheat	3	120 (2 bushel)
	Tall Fescue	1	40
	Annual Ryegrass	1	40
	Perennial Rye	1	40
Tall Fescue	1	40	
Annual Ryegrass	1	40	
Perennial Ryegrass	1.25	40	
Creeping Red Fescue	3.25	40	
Kentucky Bluegrass	0.4	40	
November 1 to Feb. 28	Use mulch only or dormant seeding		

Note: Other approved species may be substituted.

- Structural erosion and sediment control practices such as diversions and sediment traps shall be installed and stabilized with temporary seeding prior to grading the rest of the construction site.
- Temporary seed shall be applied between construction operations on soil that will not be graded or reworked for 14 days or greater. These idle areas shall be seeded within 7 days after grading.
- The seedbed should be pulverized and loose to ensure the success of establishing vegetation. Temporary seeding should not be postponed if ideal seedbed preparation is not possible.
- Soil Amendments—Temporary vegetation seeding rates shall establish adequate stands of vegetation, which may require the use of soil amendments. Base rates for lime and fertilizer shall be used.
- Seeding Method—Seed shall be applied uniformly with a cyclone spreader, drill, cultipacker seeder, or hydroseeder. When feasible, seed that has been broadcast shall be covered by raking or dragging and then lightly tamped into place using a roller or cultipacker. If hydroseeding is used, the seed and fertilizer will be mixed on-site and the seeding shall be done immediately and without interruption.

## Specifications for Temporary Seeding

### Mulching Temporary Seeding

- Applications of temporary seeding shall include mulch, which shall be applied during or immediately after seeding. Seedings made during optimum seeding dates on favorable, very flat soil conditions may not need mulch to achieve adequate stabilization.
- Materials:
  - Straw—If straw is used, it shall be unrotted small-grain straw applied at a rate of 2 tons per acre or 90 lbs./1,000 sq. ft. (2-3 bales)
  - Hydroseeders—If wood cellulose fiber is used, it shall be used at 2000 lbs./ac. or 46 lb./1,000-sq.-ft.
  - Other—Other acceptable mulches include mulch matings applied according to manufacturer's recommendations or wood chips applied at 6 ton/ac.
- Straw Mulch shall be anchored immediately to minimize loss by wind or water. Anchoring methods:
  - Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but left to a length of approximately 6 inches.
  - Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
  - Synthetic Binders—Synthetic binders such as Acrylic DLR (Acri-Tac), DCA-70, Petrosel, Terra Tack or equivalent may be used at rates recommended by the manufacturer.
  - Wood-Cellulose Fiber—Wood-cellulose fiber binder shall be applied at a net dry wt. of 750 lb./ac. The wood-cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lb./100 gal.

- Silt fence shall be constructed before upslope land disturbance begins.
  - All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
  - Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
  - Silt fence shall be placed on the flattest area available.
  - Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
  - The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
  - The silt fence shall be placed in an excavated or sloped trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, slicing machine, or other suitable device that will ensure an adequately uniform trench depth.
  - The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
  - Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into the ground. (see details).
  - Maintenance—Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed, 2) accumulated sediment shall be removed, or 3) other practices shall be installed.
- Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.
- Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.
- Criteria for silt fence materials
- Fence post—The length shall be a minimum of 32 inches. Wood posts will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots, splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
  - Silt fence fabric—See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (0001, 2002)

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (335 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	≤ 0.84 mm	ASTM D 4751
Minimum Permittivity	1X10-2 sec-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4365

## PRELIMINARY NOT FOR CONSTRUCTION

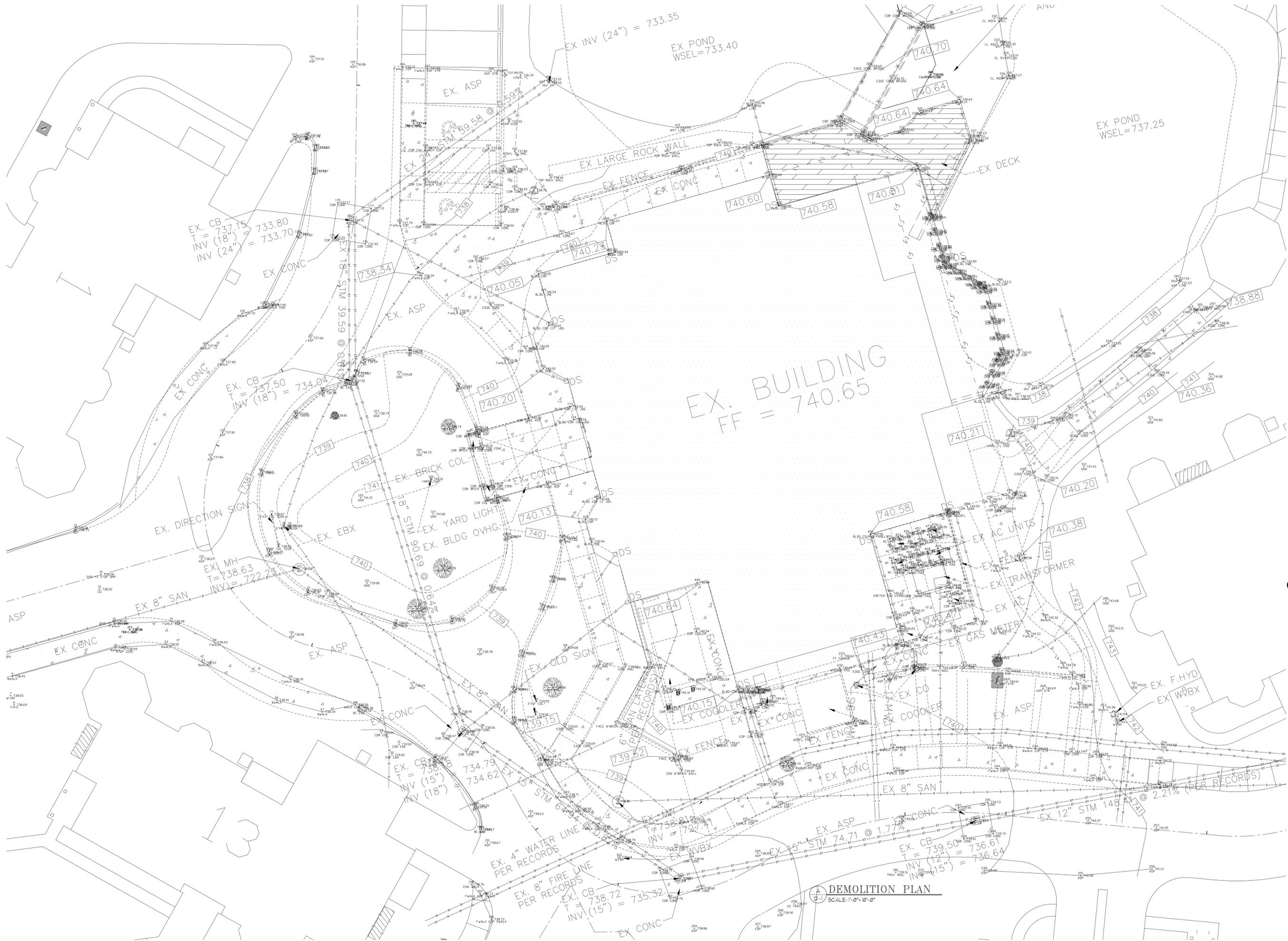
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DATE 4-24-23	CHECKED ABC
JOB # 2208	DRAWN BY ABC
REVISIONS	

EROSION CONTROL DETAILS

Maple Knoll Village-Coventry Pavilion  
 600 Maple Trace, Cincinnati, Ohio

JMM ARCHITECTS, INC.  
 4685 Larwell Drive, Columbus, Ohio 43228  
 (614) 326-5565



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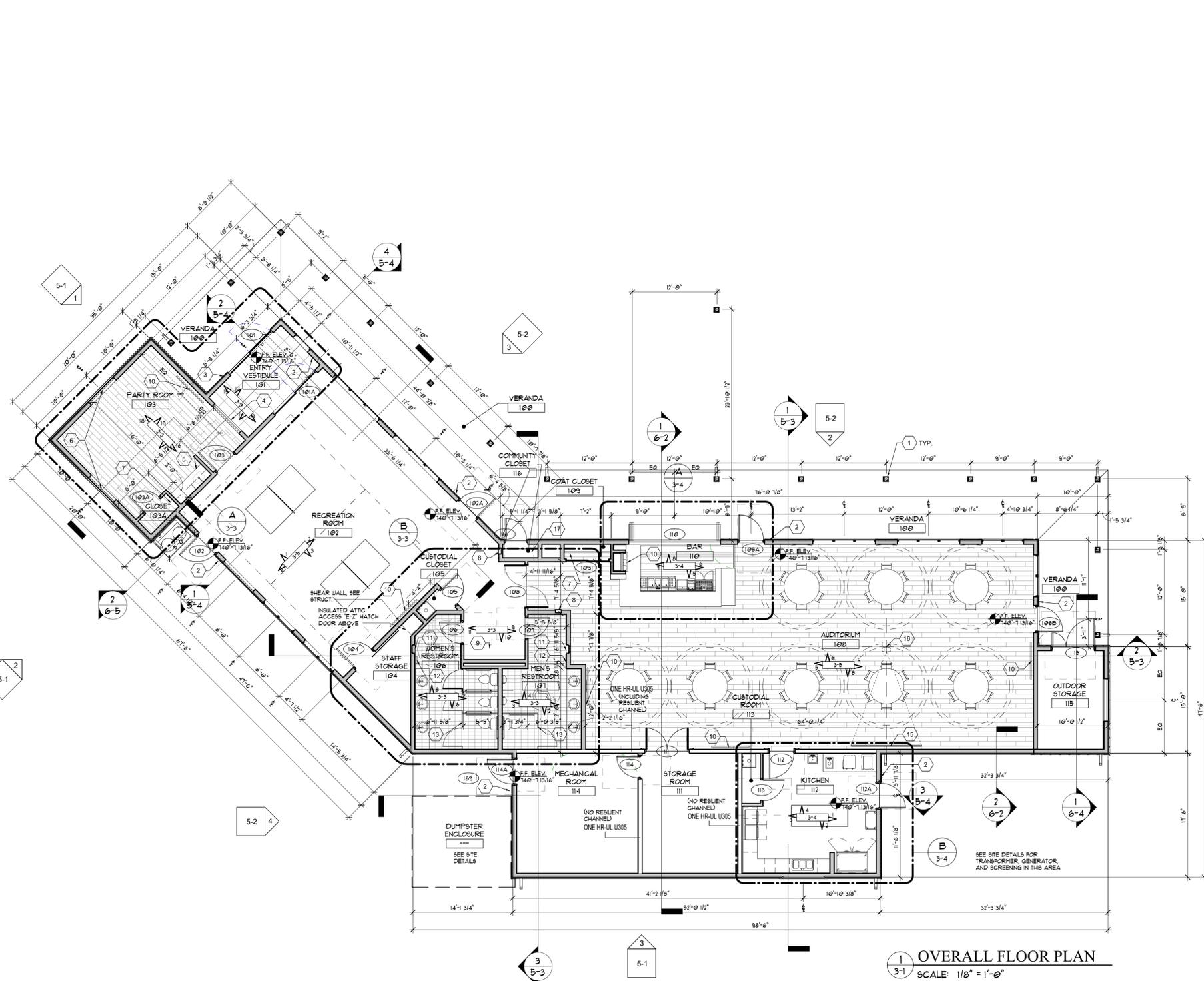
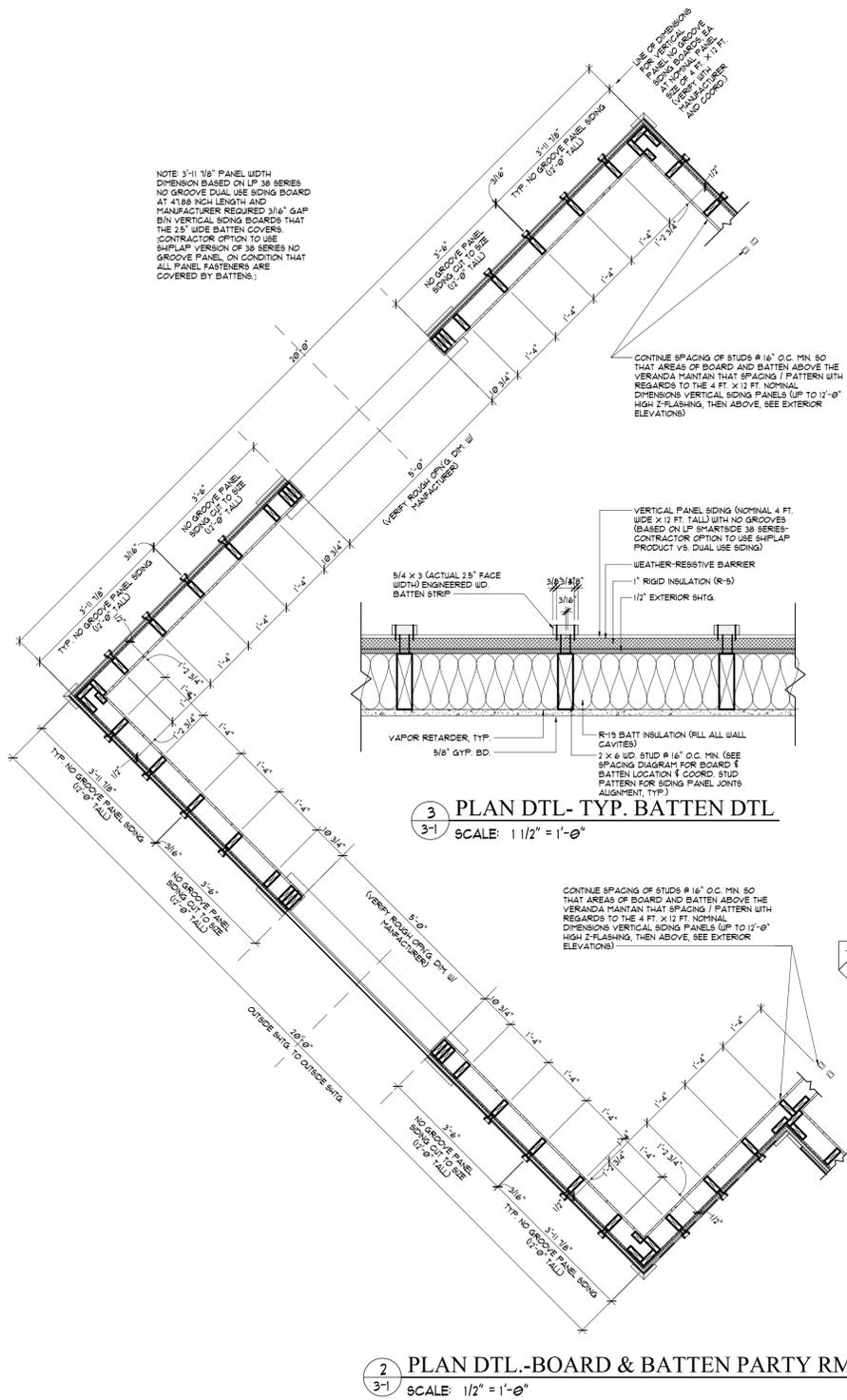
DEMOLITION PLAN  
Maple Knoll Village-Coventry Pavilion  
600 Maple Trace, Cincinnati, Ohio

JMM ARCHITECTS, INC.  
1155 W. Columbia Ave. Cincinnati, OH 45228  
(513) 332-2200

DEMOLITION PLAN  
SCALE: 1"=0'-10"=0"

D-1

FLOOR PLAN CODED NOTES	
#	DESCRIPTION
1	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL.
2	KEY FOB, COORD. ELEC., SEE DOOR HARDWARE
3	KNOX BOX, COORD. EXACT POSITION AND HT. W/ FIRE DEPT.
4	REUSE OWNER PROVIDED STAINED GLASS WINDOW UNIT AND TRIM. (PAINT TRIM WHITE PRIOR TO INSTALL)-SECURE TO WALL FRAMING/ BLOCKING AS REQ'D.
5	2CM QUARTZ COUNTERTOP (1-1/2" APRON) W/ 3/4" PLYUD. BASE OVER BASE CABINETS
6	CUSTOM WINDOW FILM W/ LOGO GRAPHICS
7	CLOSET ROD AND SHELF, SEE SPECS.
8	FULLY RECESSED FIRE EXTING. CABINET
9	ADA DUAL DRINKING FOUNTAIN, COORD. ELEC.
10	WALL MOUNTED TV (BY OWNER), PROVIDE ELEC./DATA & COORD. MNTG. HT.
11	RECESSED PAPER TOWEL DISPENSER AND TRASH RECEPTACLE
12	ELECTRIC HAND DRYER, COORD. ELEC.
13	TOILET PARTITION, SEE SPECS.
15	PROJECTOR SCREEN (COORD. ELEC.)
16	PROJECTOR ABV. (SEE RCP, COORD. ELEC.)
17	(2) 15" DEEP SHELVES W/ HEAVY DUTY WALL BRACKETS



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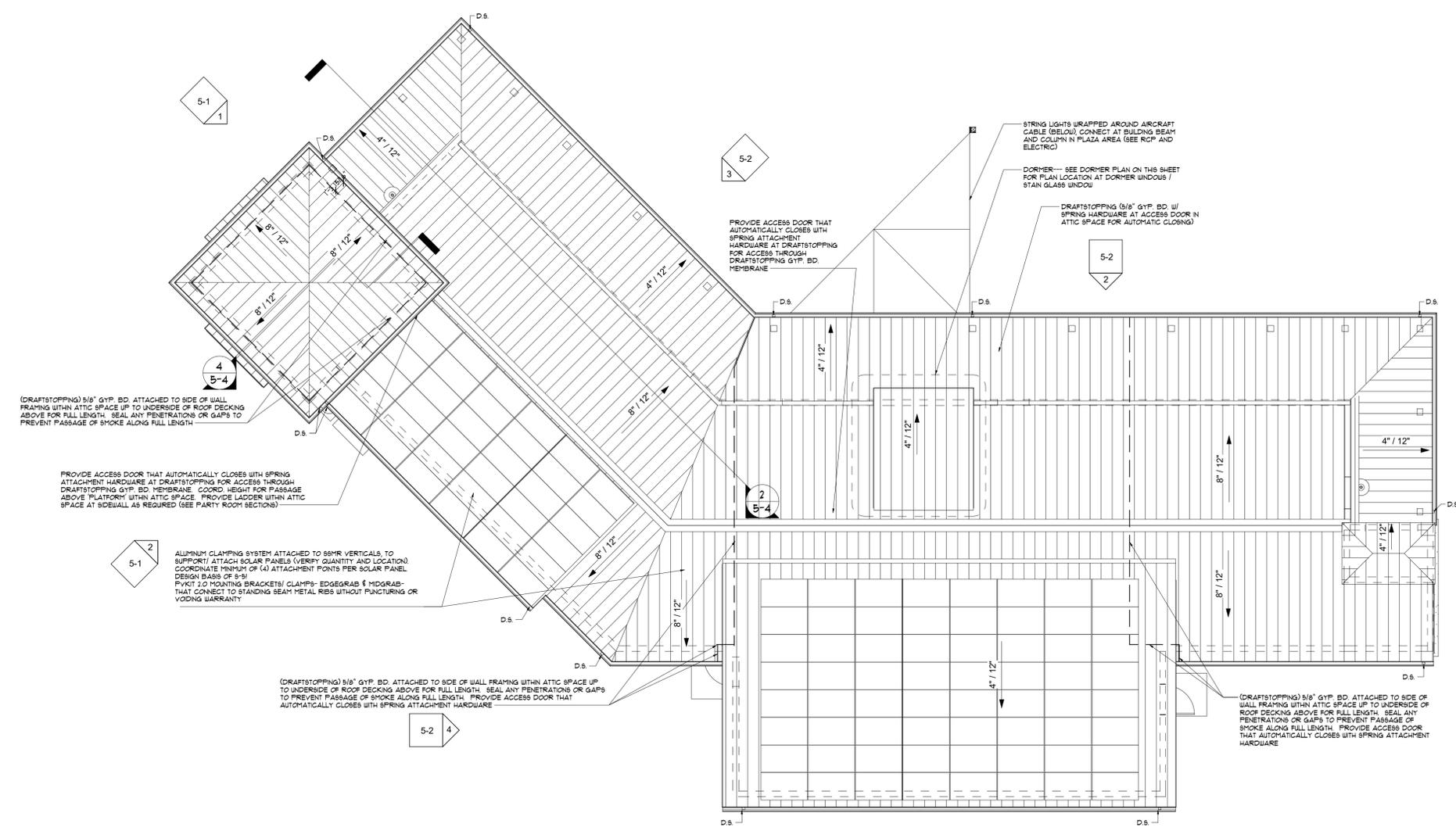
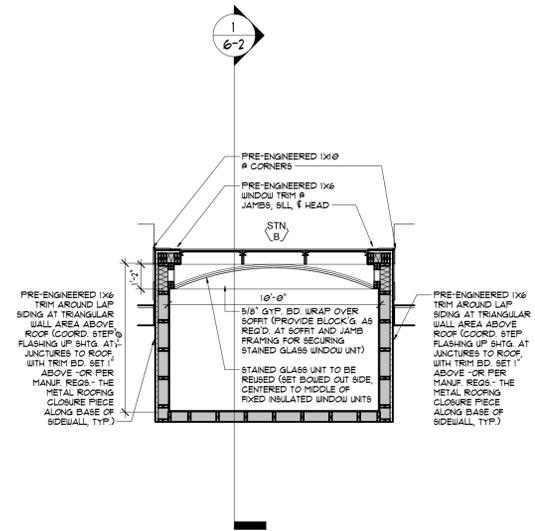
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FIRST FLOOR PLAN

MAPLE KNOLL COMMUNITIES  
600 MAPLE TRACE, CINCINNATI, OH 45246

ARCHITECTS INC.

3-1



(DRAFTSTOPPING) 5/8" GYP. BD. ATTACHED TO SIDE OF WALL FRAMING WITHIN ATTIC SPACE UP TO UNDERSIDE OF ROOF DECKING ABOVE FOR FULL LENGTH. SEAL ANY PENETRATIONS OR GAPS TO PREVENT PASSAGE OF SMOKE ALONG FULL LENGTH.

PROVIDE ACCESS DOOR THAT AUTOMATICALLY CLOSSES WITH SPRING ATTACHMENT HARDWARE AT DRAFTSTOPPING FOR ACCESS THROUGH DRAFTSTOPPING GYP. BD. MEMBRANE. COORD. HEIGHT FOR PASSAGE ABOVE PLATFORM WITHIN ATTIC SPACE. PROVIDE LADDER WITHIN ATTIC SPACE AT SIDEWALL AS REQUIRED (SEE PARTY ROOM SECTIONS).

ALUMINUM CLAMPING SYSTEM ATTACHED TO 60MM VERTICALS TO SUPPORT/ ATTACH SOLAR PANELS (VERIFY QUANTITY AND LOCATION). COORDINATE MINIMUM OF (4) ATTACHMENT POINTS PER SOLAR PANEL DESIGN BASIS OF 39" PVKIT 2.0 MOUNTING BRACKETS/ CLAMPS- EDGEGRAB & MIDGRAB- THAT CONNECT TO STANDING SEAM METAL ROOF WITHOUT PUNCTURING OR VOIDING WARRANTY.

(DRAFTSTOPPING) 5/8" GYP. BD. ATTACHED TO SIDE OF WALL FRAMING WITHIN ATTIC SPACE UP TO UNDERSIDE OF ROOF DECKING ABOVE FOR FULL LENGTH. SEAL ANY PENETRATIONS OR GAPS TO PREVENT PASSAGE OF SMOKE ALONG FULL LENGTH. PROVIDE ACCESS DOOR THAT AUTOMATICALLY CLOSSES WITH SPRING ATTACHMENT HARDWARE.

(DRAFTSTOPPING) 5/8" GYP. BD. ATTACHED TO SIDE OF WALL FRAMING WITHIN ATTIC SPACE UP TO UNDERSIDE OF ROOF DECKING ABOVE FOR FULL LENGTH. SEAL ANY PENETRATIONS OR GAPS TO PREVENT PASSAGE OF SMOKE ALONG FULL LENGTH. PROVIDE ACCESS DOOR THAT AUTOMATICALLY CLOSSES WITH SPRING ATTACHMENT HARDWARE.

**1**  
3-2 **ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

<b>DATE</b>	4/24/2023	<b>CHECKED</b>	Checker
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**ROOF PLAN**

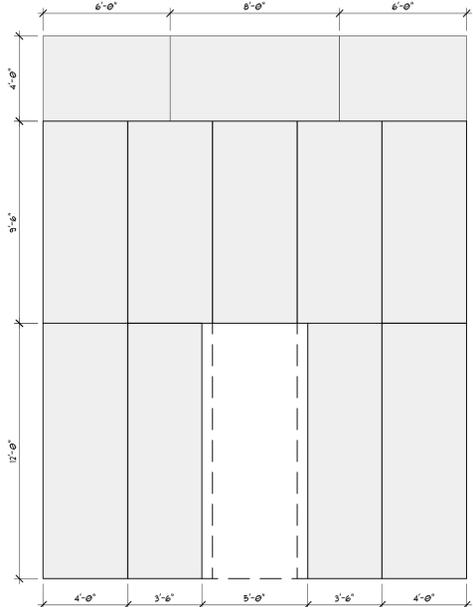
**MAPLE KNOLL COMMUNITIES**  
600 MAPLE TRACE, CINCINNATI, OH 45246

**JPM ARCHITECTS INC.**

10000 WILSON AVENUE, SUITE 100, CINCINNATI, OH 45246

3-2

ELEVATION DIAGRAM (TYPICAL AT NW AND SW SIDES OF PARTY ROOM EXT. WALLS (SIMILAR SPACING ALONG NW AND SE SIDES)  
 BASED ON 1/4" SPACING VERTICAL PANEL SIDING PANELS IN NOMINAL SIZES OF  
 4 FT. X 12 FT.  
 4 FT. X 10 FT. (CUT TO SIZE)  
 4 FT. X 8 FT. (CUT TO SIZE)  
 SEE MANUF. REQS. FOR ADDRESSING ANY CUT SIZES  
 COORDINATE SPACINGS STARTING FROM TOP OF STONE LEDGE AND WORKING UPWARD TO BEARING OR SOFFIT HEIGHT  
 TOP PANEL MAY REQ. SOME CUTTING TO SIZE  
 VERIFY THAT ALL JOINTS ARE ADEQUATELY COVERED BY TRIM BD. AND REFER TO MANUF. REQS. FOR BATTENS

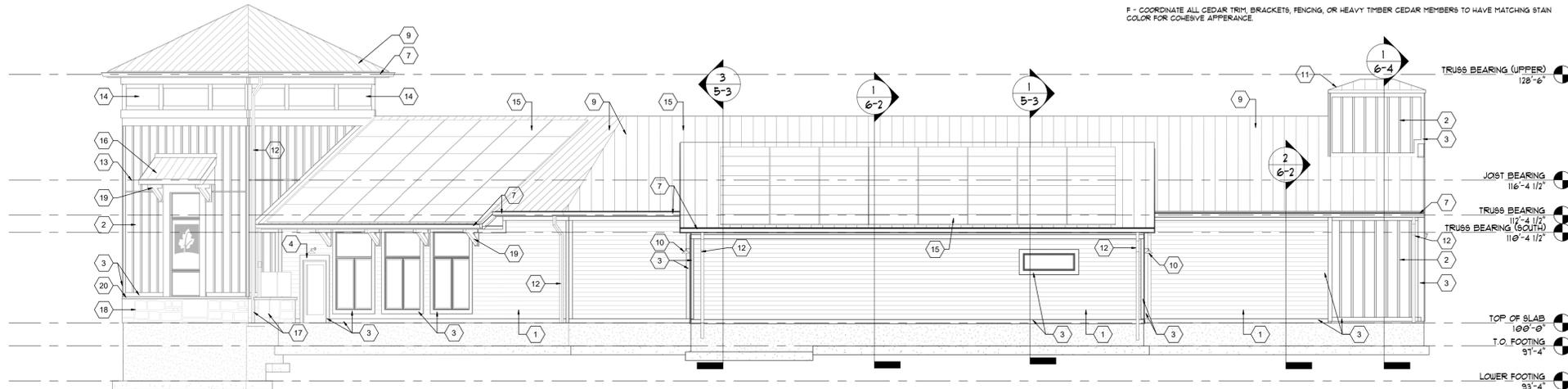


**5** VERTICAL SIDING PANEL ELEVATION DIAGRAM  
 5-1 SCALE: 1/4" = 1'-0"

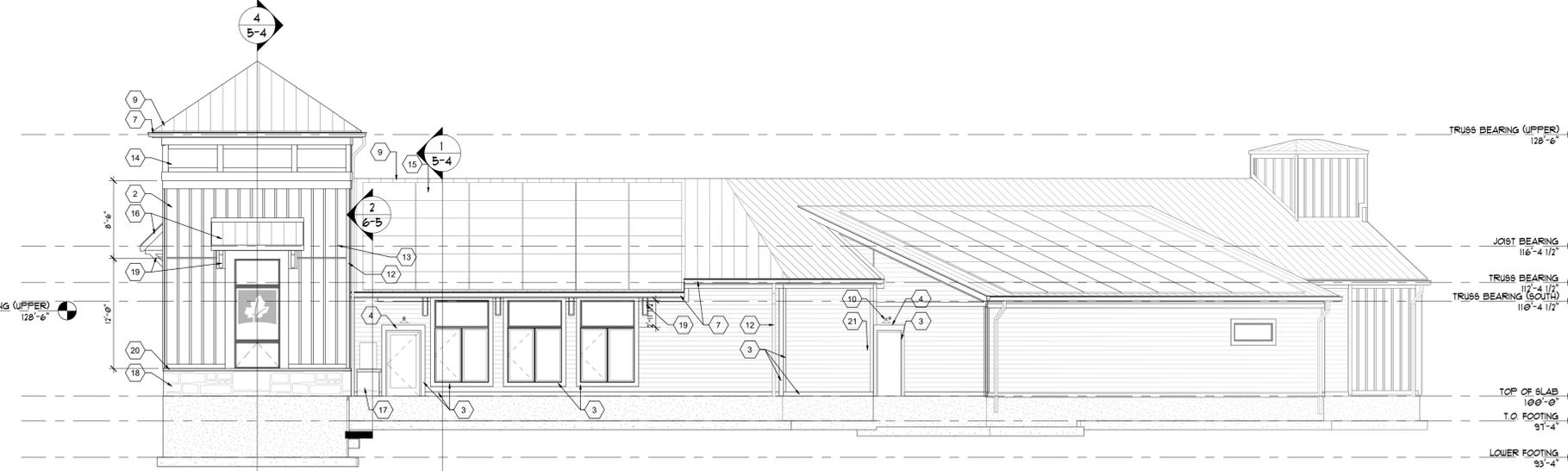
EXTERIOR ELEVATIONS GENERAL NOTES  
 A - ALIGN TOP OF WINDOW HEAD TRIM TO TOP OF DOOR HEAD TRIM, ALONG WINDOWS AND DOORS AT THE VERANDA. VERIFY WINDOW SILL HEIGHTS TO ACHIEVE THIS WITH REGARDS TO MANUFACTURER REQUIRED JOINTS AND FLASHING CONDITIONS.  
 B - PROVIDE ALL NECESSARY FLASHING PER WINDOW, TRIM, AND SIDING MANUFACTURER REQUIREMENTS. VERIFY ALL FLASHING TERMINATIONS AND JUNCTURES AT PENETRATIONS.  
 C - PROVIDE SPRAY FOAM INSULATION AT PERIMETER WINDOW AND DOOR GAPS TO WALL FRAMING TO PREVENT AIR PASSAGE.  
 D - ALUMINUM STOREFRONT, FIBERGLASS WINDOWS, AND EXPOSED METAL AT CEDAR POSTS OR BRACKETS TO BE BLACK COLOR FINISH.  
 E - COORDINATE DOWNSPOUT COLOR AT CEDAR TRIM COLUMNS TO MATCH CEDAR STAIN FINAL APPEARANCE. WHERE DOWNSPOUTS ARE ADJACENT TO SIDING, MATCH SIDING COLOR.  
 F - COORDINATE ALL CEDAR TRIM, BRACKETS, FENCING, OR HEAVY TIMBER CEDAR MEMBERS TO HAVE MATCHING STAIN COLOR FOR COHESIVE APPEARANCE.

EXTERIOR ELEVATION CODED NOTES

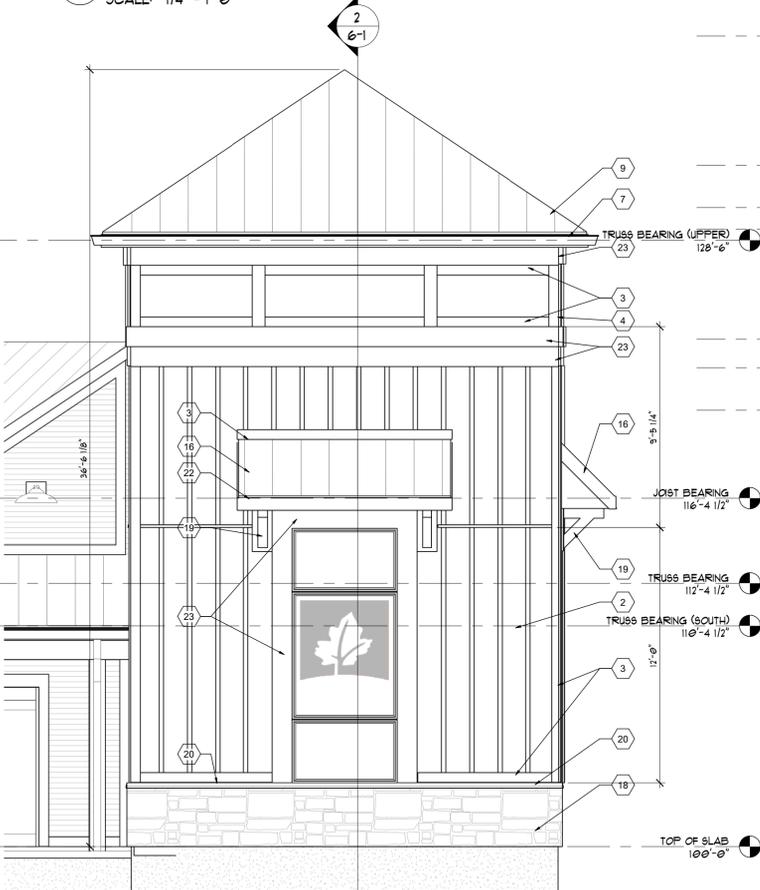
#	DESCRIPTION
1	ENGINEERED WD. LAF SIDING (PREFINISHED, SMOOTH)
2	ENGINEERED WD. VERTICAL BOARD & BATTEN SIDING (PREFINISHED, SMOOTH)
3	5/4 X 6 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ WINDOW SURROUNDS
4	5/4 X 8 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD
5	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL
6	TYPICAL PORCH BEAM-3 GANG 2X12 PRESSURE TREATED WD. W/ 5/4X ENGINEERED TRIM BD. WRAP, SEE DETAIL
7	6" OGEE PROFILE ALUM. GUTTER
8	4:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SPECS.
9	8:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SPECS.
10	8:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SPECS.
11	LIGHT FIXTURE, SEE ELEC. (5/4 X TRIM BD. W/ FLASHING FOR MOUNTING)
12	PROJECTOR ABV. (SEE RCP, COORD. ELEC.)
13	4:12 PITCH CUSTOM CAP FLASHING FINISH TO MATCH SSMR
14	ALUM. DOWNSPOUT, SECURED TO EXT. WALL, SEE ROOF PLAN
15	HEMMED FLASHING TO MATCH SIDING COLOR AT SEAM B/N WALL PANELS (COORD. HT. & ALIGNMENT AS SHOWN)
16	CORNICE- ENGINEERED WD. CORNICE PANEL AND TRIM BD., SEE DETAIL
17	SOLAR PANELS, SECURED TO ALUM. STRUCTURAL RAIL, ATTACHED TO SSMR VERTICAL RIBS, SEE DETAIL
18	12:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SPECS.
19	RAIN BARRELS, CONNECTED TO STORM WATER LINES BELOW, SEE SITE PLAN DRAWINGS
20	ARTIFICIAL STONE VENEER
21	WOOD BRACKET, SEE DETAIL
22	CUT STONE STILL
23	DUMPSTER ENCLOSURE (SEE SITE DETAILS)
24	5/4 X 8 ENGINEERED WD. FASCIA BD. (PREFINISHED, SMOOTH)
25	5/4 X 12 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD



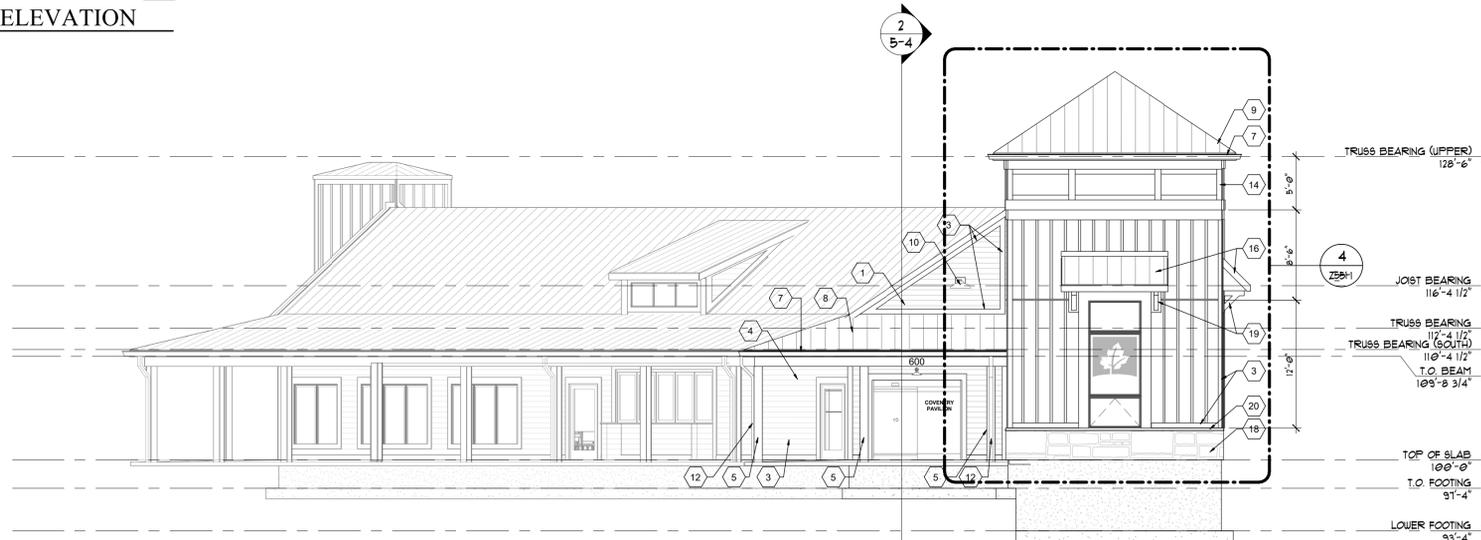
**3** SOUTH ELEVATION  
 5-1 SCALE: 1/8" = 1'-0"



**2** SOUTHWEST ELEVATION  
 5-1 SCALE: 1/8" = 1'-0"



**4** MAIN ENTRY ELEVATION DETAIL  
 5-1 SCALE: 1/4" = 1'-0"



**1** NORTHWEST - MAIN ENTRY  
 5-1 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DATE	4/24/2023	CHECKED	Checker
JOB #	2208	DRAWN BY	Author
REVISIONS			

EXTERIOR ELEVATIONS

MAPLE KNOLL COMMUNITIES  
 600 MAPLE TRACE, CINCINNATI, OH 45246

ARCHITECTS INC.

EXTERIOR ELEVATIONS GENERAL NOTES

A - ALIGN TOP OF WINDOW HEAD TRIM TO TOP OF DOOR HEAD TRIM, ALONG WINDOWS AND DOORS AT THE VERANDA. VERIFY WINDOW SILL HEIGHTS TO ACHIEVE THIS WITH REGARDS TO MANUFACTURER REQUIRED JOINTS AND FLASHING CONDITIONS.

B - PROVIDE ALL NECESSARY FLASHING PER WINDOW, TRIM, AND SIDING MANUFACTURER REQUIREMENTS. VERIFY ALL FLASHING TERMINATIONS AND JUNCTURES AT PENETRATIONS.

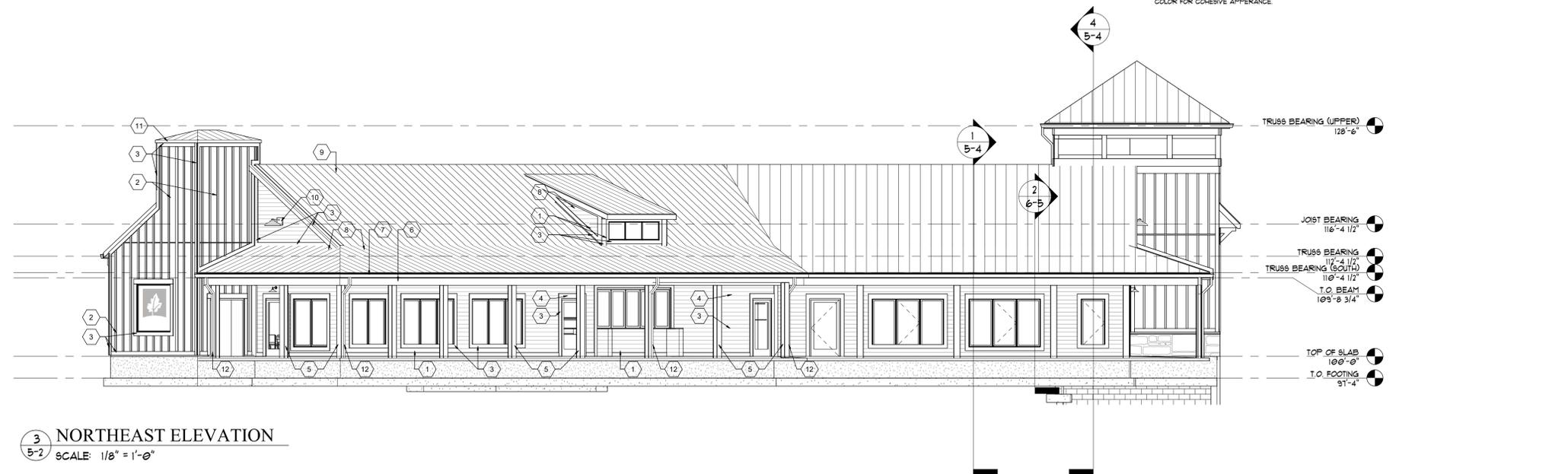
C - PROVIDE SPRAY FOAM INSULATION AT PERIMETER WINDOW AND DOOR GAPS TO WALL FRAMING TO PREVENT AIR PASSAGE.

D - ALUMINUM STOREFRONT, FIBERGLASS WINDOWS, AND EXPOSED METAL AT CEDAR POSTS OR BRACKETS TO BE BLACK COLOR FINISH.

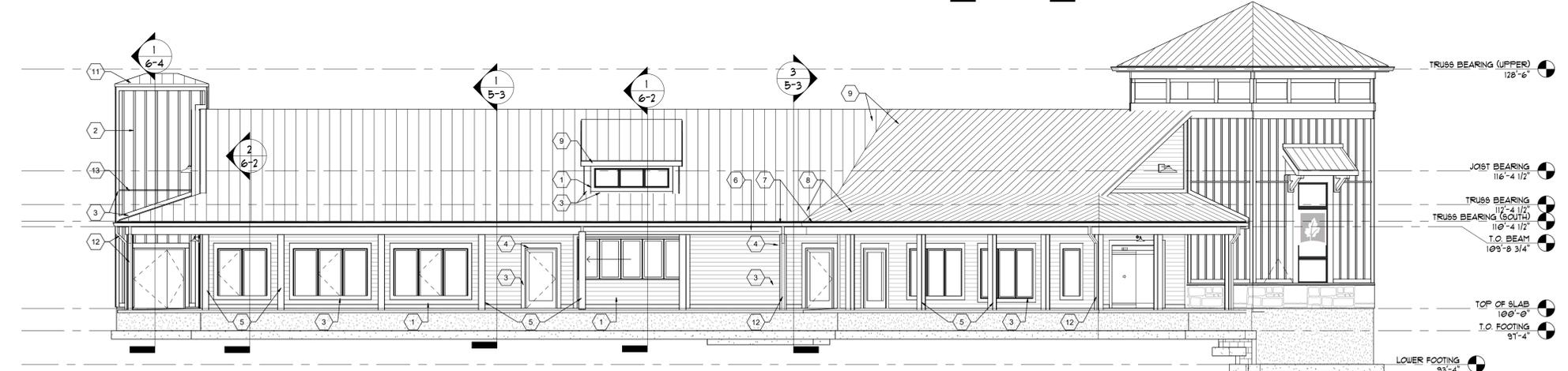
E - COORDINATE DOWNSPOUT COLOR AT CEDAR TRIM COLUMNS TO MATCH CEDAR STAIN FINAL APPEARANCE. WHERE DOWNSPOUTS ARE ADJACENT TO SIDING, MATCH SIDING COLOR.

F - COORDINATE ALL CEDAR TRIM, BRACKETS, FENCING, OR HEAVY TIMBER CEDAR MEMBERS TO HAVE MATCHING STAIN COLOR FOR COHESIVE APPEARANCE.

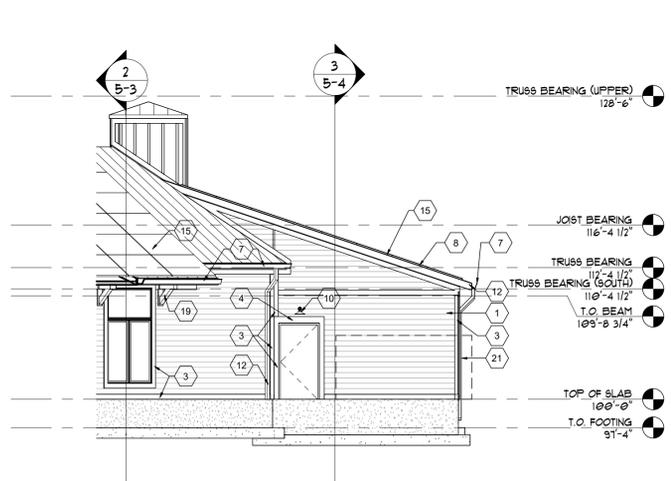
EXTERIOR ELEVATION CODED NOTES	
#	DESCRIPTION
1	ENGINEERED WD. LAF SIDING (PREFINISHED, SMOOTH)
2	ENGINEERED WD. VERTICAL BOARD & BATTEN SIDING (PREFINISHED, SMOOTH)
3	5/4 X 6 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ WINDOW SURROUNDS
4	5/4 X 8 ENGINEERED WD. TRIM BD. (PREFINISHED, SMOOTH) TYP. @ DOOR HEAD
5	TYPICAL COLUMN-2X PRESSURE TREATED WD. (SEE STRUCT.) W/ CEDAR TRIM, SEE DETAIL
6	TYPICAL PORCH BEAM-3 GANG 2X12 PRESSURE TREATED WD. W/ 5/4X ENGINEERED TRIM BD. WRAP, SEE DETAIL
7	6" OGEE PROFILE ALUM. GUTTER
8	4:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SFECS.
8	8:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SFECS.
9	8:12 PITCH STANDING SEAM METAL ROOF (SSMR) W/ 16' SPACING 2 LOW BEAD PROFILE, SEE SFECS.
10	LIGHT FIXTURE, SEE ELEC. (5/4 X TRIM BD. W/ FLASHING FOR MOUNTING)
10	PROJECTOR ABV. (SEE RCP, COORD. ELEC.)
11	4:12 PITCH CUSTOM CAP FLASHING FINISH TO MATCH SSMR
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18	ARTIFICIAL STONE VENEER
19	WOOD BRACKET, SEE DETAIL
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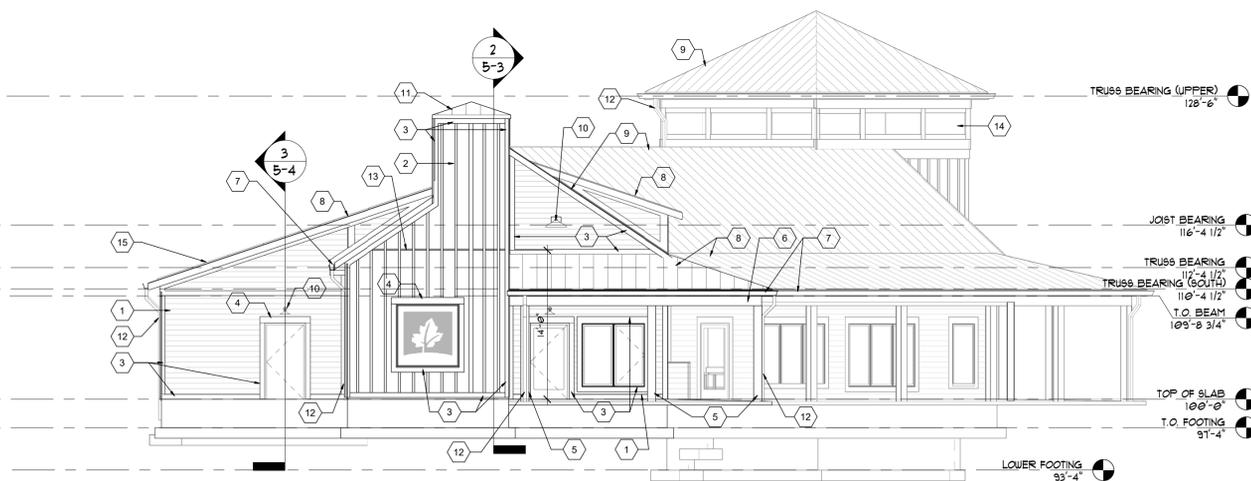
3 NORTHEAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DATE	4/24/2023	CHECKED	Checker
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EXTERIOR ELEVATIONS		REVISIONS	
MAPLE KNOLL COMMUNITIES 600 MAPLE TRACE, CINCINNATI, OH 45246			



**Maple Knoll Coventry Pavilion  
600 Maple Trace  
Development Plan Modification  
Application# 2023-0199  
May 9, 2023**

**Request:**

To remove the vacant on-site restaurant building to allow for the construction of a community facility for Maple Knoll.

**Comments:**

This portion of Maple Knoll is zoned “PF” Public Facilities District. The existing Manor House Restaurant and facility, which has been vacant for some time, contains 10,234 square feet. The applicant is proposing to demolish the building and construct a 6,780 square foot community facility “Coventry Pavilion” for Maple Knoll residents. The new Coventry Pavilion would include an auditorium, recreation room, party room, outdoor seating space, pickleball court, putting green, and outdoor recreation space. Following are Staff comments:

- 1) The proposed Maple Knoll Coventry Pavilion is an integral part of the Maple Knoll community and as such is an accessory use, as defined in Section 153.600 to the overall development. Per Section 153.253 (C), assembly halls, meeting rooms, and restaurants are all permitted as accessory uses within the “PF” District.
- 2) Per Section 153.302 (P), the proposed facility would be required to have a total of 68 parking spaces. The applicant indicates they are proposing to utilize 93 existing parking spaces for the facility. A site plan needs to be submitted indicating where the required 68 parking spaces are located. Additionally, Coventry Pavilion will be connected to a pedestrian pathway system within Maple Knoll.
- 3) The proposed waste enclosure is indicated to be made of manufactured stone at 7’ in height. The gates are to be aluminum reinforced engineered wood, consistent with Section 153.254 (G).
- 4) Any ground or roof mounted equipment needs to have screening provided per Section 153.254 (C). The applicant indicates mechanical equipment will be screened using a 5’ 4” tall engineered wood fence.
- 5) If any new lighting (pole or building mounted) is proposed, a photometric lighting plan, consistent with the requirements of Section 153.351, needs to be provided.

- 6) The applicant has provided some rendered views of direction/identification signage for Coventry Pavilion. The proposed sign is to be 8 feet tall and contain 14 square feet of sign area (4 SF logo and 10 SF “Coventry Court”). Per Section 153.459 (C) (10), permanent directional signs can only be four feet in height and a maximum of six square feet in area. If signage is to exceed that permitted, a variance will be needed from the Board of Zoning Appeals.
- 7) A Landscape Plan was submitted to which staff has the following comments:
  - A) Existing trees, and their size, are indicated on the Demolition Plan. Applicant needs to provide a summary of the caliper inches of trees that are to be removed with redevelopment/construction. Tree removal and replacement must be identified by caliper inches removed and replaced. Tree removal for redeveloped sites is one inch replacement for each one inch removed per Section 156.09.
  - B) The existing trees to remain need to be included in the Grading and Storm Site Plan (Sheet 1-4) and the Topographic Survey.
  - C) The size of the proposed trees need to meet the caliper inch size and not the identified height for single stem trees, per Section 153.403 (D) (2) (i).
  - D) Planting details, per Section 153.402, need to be provided.
  - E) The Landscape Plan needs to identify if irrigation ‘is’ or ‘is not’ going to be installed (per Section 153.402 (E)).

The Landscape Plan needs to be revised to address staff comments and resubmitted for review and approval.

- 8) The applicant is proposing a black coated 9 foot tall chain-link fence with mesh around the proposed pickleball courts. Per Section 153.253 (E) (5) (c) (iii), chain-link fencing is not permitted in the “PF” District. To utilize chain-link fencing within the “PF” District would require a variance from the Board of Zoning Appeals.

**Considerations:**

Should Planning Commission choose to approve the Development Plan modifications for the Maple Knoll Coventry Pavilion, the following items be considered:

- 1) The applicant provide staff a site plan indicating where the required 68 parking spaces are located that meet the requirements of Section 153.302.
- 2) The Landscape Plan be revised to address staff comments and submitted for staff review and approval.
- 3) If there is to be any new lighting associated with the building or outdoor recreation (pole or building mounted), a photometric lighting plan, consistent with Section 153.351, needs to be provided for staff review and approval.

- 4) To permit the use of chain-link fencing in the “PF” District, a variance will need to be obtained from the Board of Zoning Appeals.
- 5) If the proposed directional signage exceeds that permitted by Section 153.459 (C) (10), a variance will be needed from the Board of Zoning Appeals.

Submitted By:

Anne F. McBride, FAICP  
City Planner

MDC# 5018