

PLANNING COMMISSION  
MEETING AGENDA  
NOVEMBER 14, 2023  
7:00 P.M.

PLEASE TURN OFF CELL PHONES

- I. CALL MEETING TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. MINUTES OF THE PREVIOUS MEETING  
OCTOBER 10, 2023
- V. REPORT ON COUNCIL
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS
- IX. NEW BUSINESS
  - A. Wawa C- Store Minor Modification to Development Plan – Building Colors  
370 GLENSPRINGS DR  
(Application #20230794)
  - B. Chick-Fil-A Store – Parking Lot Expansion & Modification  
501 E. KEMPER RD
    - 1. Zone Change
    - 2. PUD Modification(Application #20230739)
- X. DISCUSSION
- XI. CHAIRMAN'S REPORT
- XII. ADJOURNMENT

Note: The next Planning Commission Meeting is scheduled for December 12, 2023.

PLANNING COMMISSION MEETING  
SUMMARY MINUTES  
OCTOBER 10, 2023  
7:00 P.M.

I. CALL MEETING TO ORDER

The meeting was called to order at 7:00 p.m. by Chairman Okum.

II. ROLL CALL

Members Present: Jeff Singleton, Tom Hall, Joe Ramirez, Steve Galster, Megan Sullivan-Wisecup, Michelle Miller, Dave Okum

Staff Present: Carl Lamping, Building Official,  
Jonathan Wochoer, (Filling in for Anne McBride, City Planner)

III. PLEDGE OF ALLEGIANCE

After the Pledge of Allegiance, Mr. Okum requested a moment of silence for the recent events in Israel.

IV. MINUTES OF THE REGULAR MEETING ON SEPTEMBER 12, 2023

Motion to adopt minutes made by Mr. Galster.

Mr. Hall seconded the motion.

Voice vote taken and the minutes were adopted by a vote of 5-0, with Mr. Ramirez abstaining.

V. REPORT ON COUNCIL

Report on City Council presented by Mr. Ramirez for the meeting held on October 4, 2023. Minutes and recording of that meeting can be found on the City website.

VI. CORRESPONDENCE - None

VII. OLD BUSINESS - None

VIII. NEW BUSINESS

A. WAWA C – STORE DEVELOPMENT PLAN – ELECTRONIC SIGNS  
370 GLENSPRINGS DRIVE

PUBLIC HEARING

1. Conditional Use

Mr. Lamping gave an overview of the entire project, and what was still required of the applicant regarding the electronic signs. Mr. Wochoer of McBride Dale Clarion gave Ms. McBride's comments regarding the electronic sign. Mr. Wochoer explained that while most of the conditions were met, Item number five was the item that needed to be reviewed because only one electronic sign is allowed per parcel. The Planning Commission would need to act on that condition as a modification since there will now be three electronic signs. Other standards that apply to electronic fuel price signs includes that the size not exceed 40 percent of the permitted sign area, and/or greater than 40 square feet. That is an additional item of modification. Mr. Wochoer stated that the eight conditional use standards normally considered by Planning Commission are listed in the comments as well and that Staff believes that the application complies with that. Mr. Wochoer stated that related to the

modifications, Section 153.257 of the Zoning Code allows Planning Commission to make findings that allow modifications if there's unusual conditions to a development area, or the nature and quality of the proposed design is appropriate. That relates to allowing more than one electronic sign, and as was mentioned, each of the two ground signs and the pole sign would have electronic components; that would be the fuel prices, so, there would be a request for three instead of one. The size of the electronic copy sign on the pole sign exceeds the 40 percent and the 40 square feet. The applicant is requesting 74.75 square feet, which accounts for 65 percent. The third item is simply a repeat that there should be no additional electronic signage, which is a repeat of not more than one per parcel. The Conditional Use, and staff would recommend the following consideration that Planning Commission determine that the inclusion of electronic signs as part of the Wawa Development is appropriate, and that the applicant in its proposal meets the standards for Conditional Use contained in Section 153.204(B), and then in relation to the modifications to the Code requirements, the consideration is that Planning Commission determine that due to unusual conditions of the development, or nature and quality of design, the following modifications to the Code are appropriate; a total of three electronic signs are permitted on the property, where only one electronic sign is permitted. And, the electronic sign to be located on the pole sign can contain 74.75 square feet, which is 65% of the proposed sign area.

Mr. Okum noted that the comments from Mr. Woche were for both items to be brought forth to the Planning Commission.

Mr. Ramirez asked Mr. Wilhoite, a representative of ComptonAddy if the signs would be static other than the price change on the fuel, so there won't be any "moving parts" on that signage. Mr. Wilhoite stated that the only time that would change is if the price changes. Mr. Wilhoite was unclear how often that would happen. Mr. Ramirez also asked if all types of fuel would be in the same color. Mr. Wilhoite stated yes. Mr. Okum asked if since the signs are considered information, would the applicant be able to change that sign to a digital information sign instead of simply having gas prices? Mr. Lamping stated not without approval of the Planning Commission.

Mr. Okum entertained a motion to approve the following project Wawa at 370 Glensprings Drive, Conditional Use request Case # 20230668 for specifications and designs provided in our meeting packet as Exhibits, which were submitted by the applicant prior to the meeting and reviewed by staff. This motion includes our Staff's, City Planner's recommendations and considerations contained in their report.

Mr. Hall made a motion to approve as presented. Mr. Ramirez seconded.

Commission was polled and the motion was approved 6-0.

2. Modifications to Zoning Code Requirements  
(Application # 20230668)

Mr. Okum entertained a motion to approve the following project Wawa C 370 Glensprings Drive, Zoning Approval Case # 20230668 per specifications and designs provided in our meeting packet as exhibits, which were submitted by the applicant prior to this meeting and reviewed by Staff. This motion includes the following conditions of our Staff's, City Planner's recommendations, and considerations contained in their report.

Mr. Hall made a motion to approve as presented. Mr. Ramirez seconded.

Commission was polled and the motion was approved 6-0.

PLANNING COMMISSION MEETING  
OCTOBER 10, 2023

PAGE 3

IX. DISCUSSION

Mr. Ramirez stated that he went to the Wawa launch and that it was well attended, and Wawa stated that they have ten new locations going in. Springdale will either be the first or the second location. That would depend on who gets all their approvals in line first. Mr. Ramirez wanted the Board to realize that if they are good citizens, Springdale might jump to number one.

X. CHAIRMAN'S REPORT - None.

XI. ADJOURNMENT

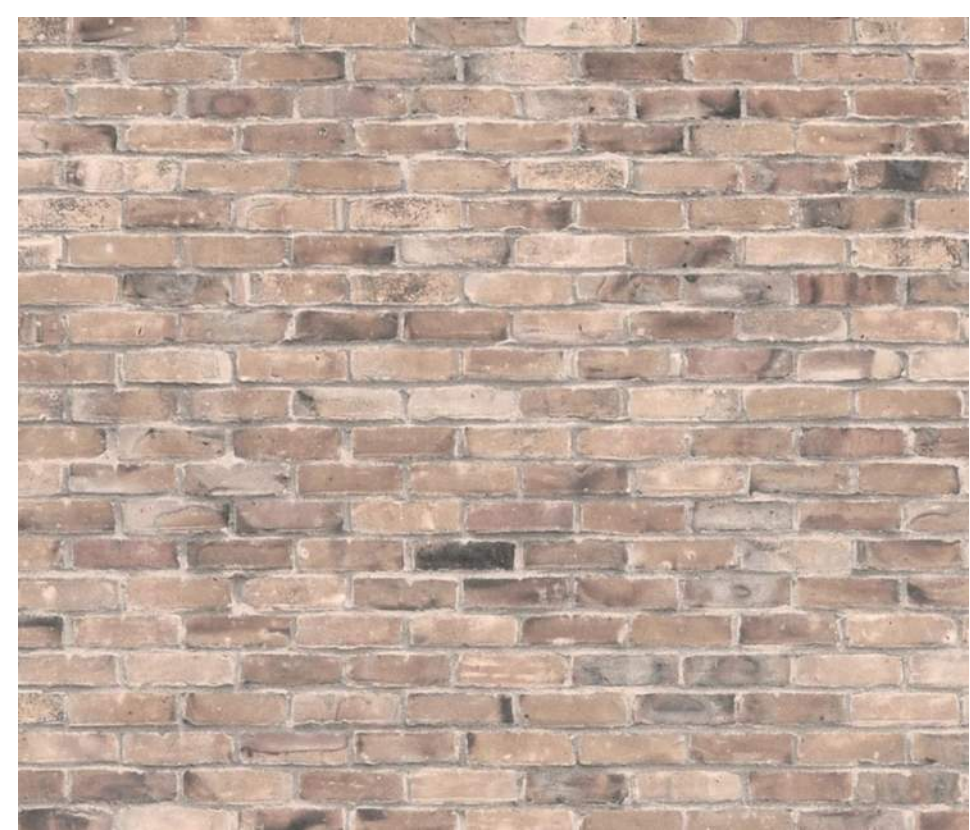
Mr. Hall moved to adjourn; Ms. Miller seconded the motion.  
Meeting was adjourned with a voice vote of 6 to 0.

Respectfully submitted,

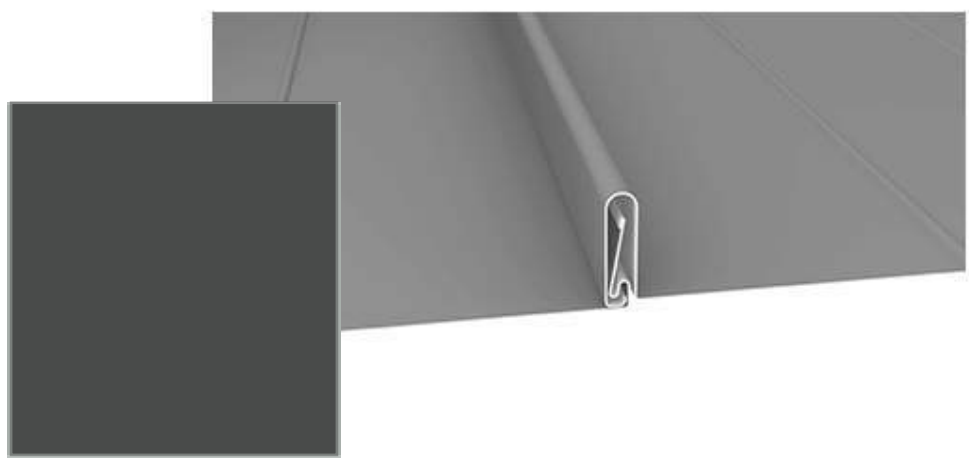
\_\_\_\_\_, 2023 \_\_\_\_\_  
Dave Okum, Chairman

\_\_\_\_\_, 2023 \_\_\_\_\_  
Tom Hall, Secretary

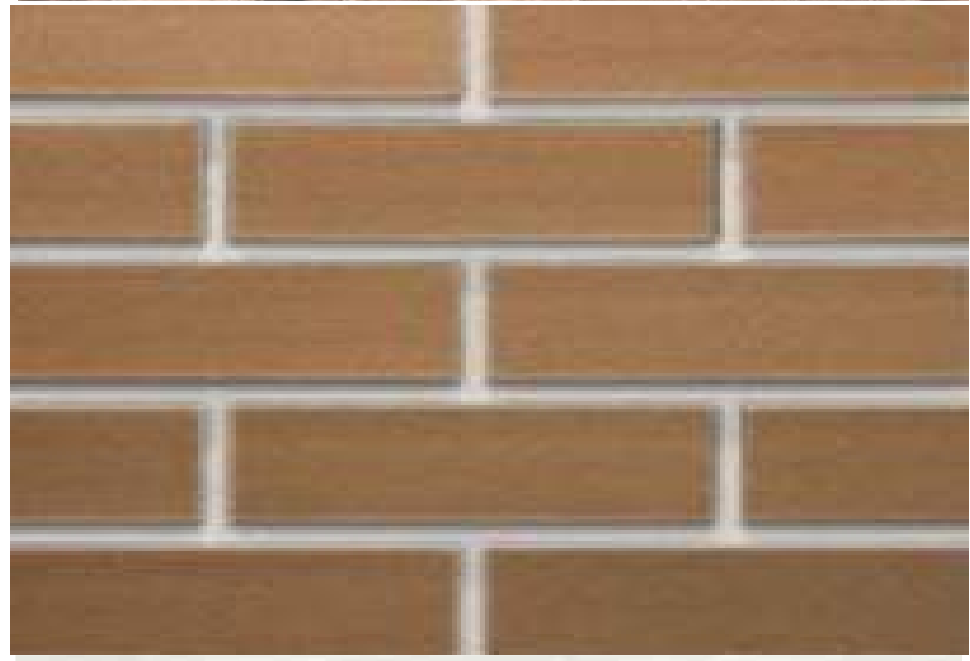
Note: The next Planning Commission Meeting is scheduled for November 14, 2023



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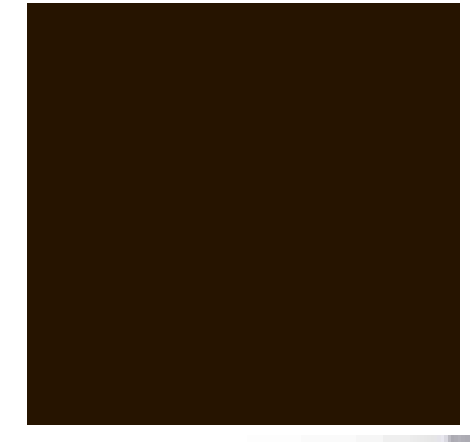
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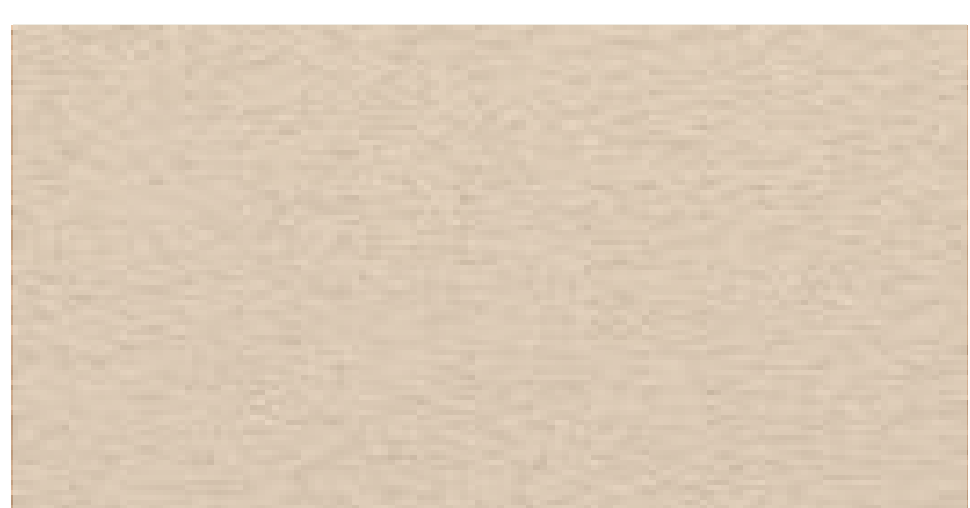


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8b

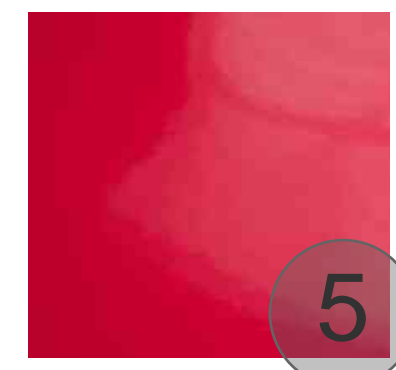
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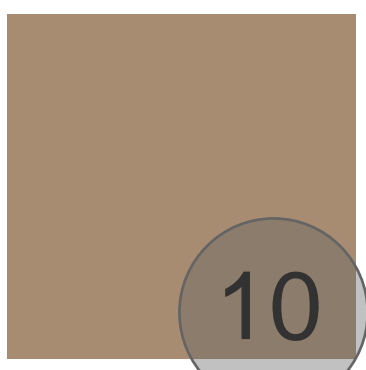
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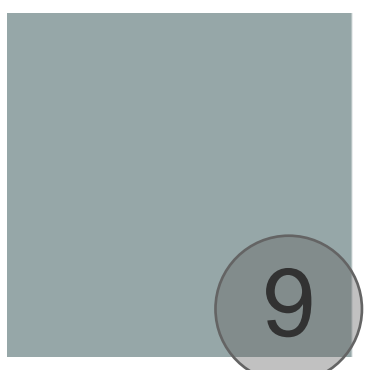
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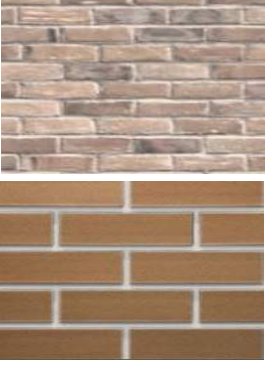

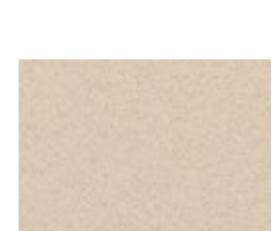



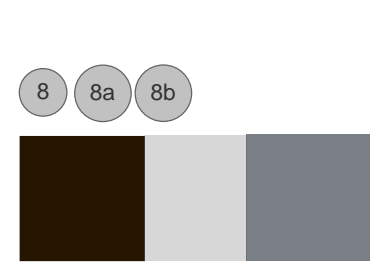

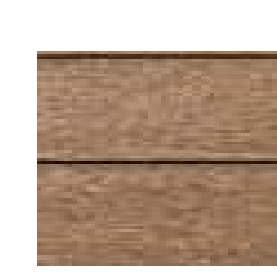


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**MATERIAL LEGEND:**

- 1  **EXTERIOR - THIN BRICK**  
TAYLOR CLAY PRODUCTS  
DOBINSHIRE, BLADE CUT,  
ENGINEER SIZE  
MORTAR COLOR - DCB101
- 2  **EXTERIOR TILE**  
ATLA CONCODE  
REFLEX MERCURY  
24"x48", GROUT LATICRETE  
SPECTR-LOCK; COLOR 87M  
STORMY GREY
- 3  **EXTERIOR EIFS/STUCCO**  
SIKA  
PEBBLE FINISH  
SHERWIN WILLIAM SW7011:  
NATURAL CHOICE
- 4  **SUNSHADE**  
FENWELL PRE-FAB MTL FABRICATOR  
FINISH/COLOR:  
POWDER COAT/  
PANTONE PMS186C
- 5  **METAL ROOF**  
ATAS DUTCH SEAM  
COLOR: SLATE GREY
- 6  **TIMBER BEAM**  
SMARTLAM - CROSS LAMINATED  
TIMBER  
LCOLOR: SANSIN STAIN CC#  
220908WS-1
- 7  **EXTERIOR STOREFRONT**  
KAWNEER :TRIFAB 451STOREFRONT  
COLOR: DARK BRONZE  
**GLAZING**  
VITRO :  
7a- SOALR GRAY  
7b SOLARCOOL PACIFICA GLASS
- 8  **DOWNSPOUTS & SCUPPERS**  
ATAS INTERNATIONAL INC.  
COLOR: SLIVERSMITH 28
- 9  **HOLLOW MTL DOORS**  
COLOR: SW9108  
DOUBLE LATTE
- 10  **GROUND EQUIP. SCREENING**  
CITYSCAPE-  
CORVIT WALL SYSTEM  
GATE-  
HORIZONTAL PLANK ENGINEERED  
WOOD,  
8FT TALL, COLOR:  
WEATHERED TEAK
- 11  **CANOPY STRUCTURE &  
GATE AT TRASH COMPOUND**  
SHERWIN WILLIAMS  
SW7011  
NATURAL CHOICE



**1 FRONT - EAST ELEVATION**  
3/16" = 1'-0"

NON - EARTHTONE COLORS		GLAZING CALCS - FRONT - EAST ELEVATION:		MATERIAL CALCS - FRONT - EAST ELEVATION:	
SUNSHADE - 80 SQFT	4.5%	CLEAR GLAZING - 454 SQFT	25%	BRICK - 505 SQFT	28%
		SPANDREL GLASS - 229 SQFT	12%	STUCCO/EIFS - 453 SQFT	24%
		<b>TOTAL - 683 SQFT</b>		TILE - 101 SQFT	5.5%
				GLAZING - 683 SQFT	37%
				SUNSHADE - 80 SQFT	4.5%
				<b>TOTAL BUILDING - 1,822 SQFT</b>	



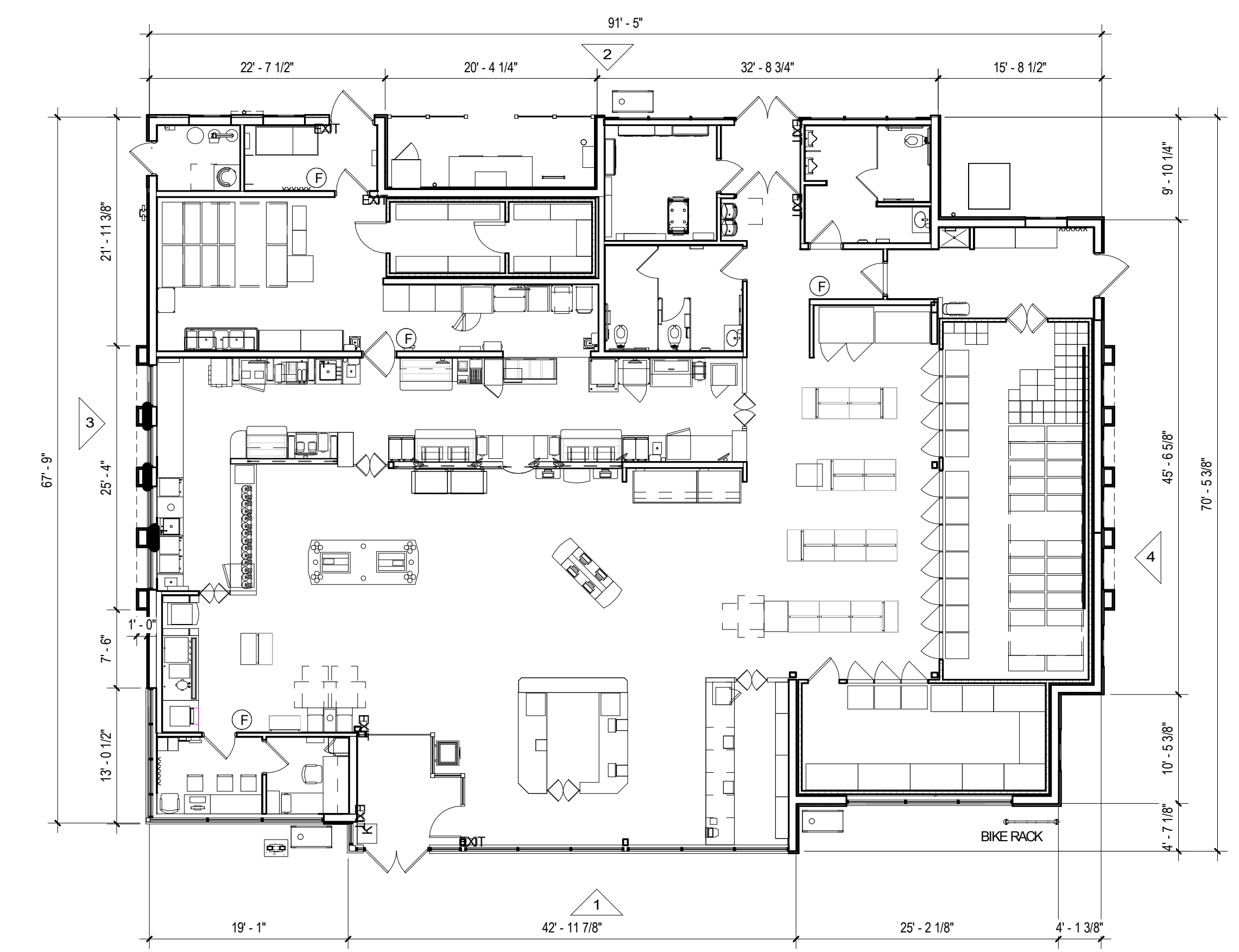
**2 REAR - WEST ELEVATION**  
3/16" = 1'-0"

NON - EARTHTONE COLORS		GLAZING CALCS - REAR - WEST ELEVATION:		MATERIAL CALCS - REAR - WEST ELEVATION:	
SUNSHADE - 45 SQFT	3.0%	CLEAR GLAZING - 70 SQFT	4%	BRICK - 870 SQFT	50%
		SPANDREL GLASS - 384 SQFT	21.5%	STUCCO/EIFS - 320 SQFT	18%
		<b>TOTAL - 454 SQFT</b>		TILE - 73 SQFT	3.5%
				GLAZING - 454 SQFT	25.5%
				SUNSHADE - 45 SQFT	3%
				<b>TOTAL BUILDING - 1,756 SQFT</b>	



**3 SIDE - SOUTH ELEVATION**  
3/16" = 1'-0"

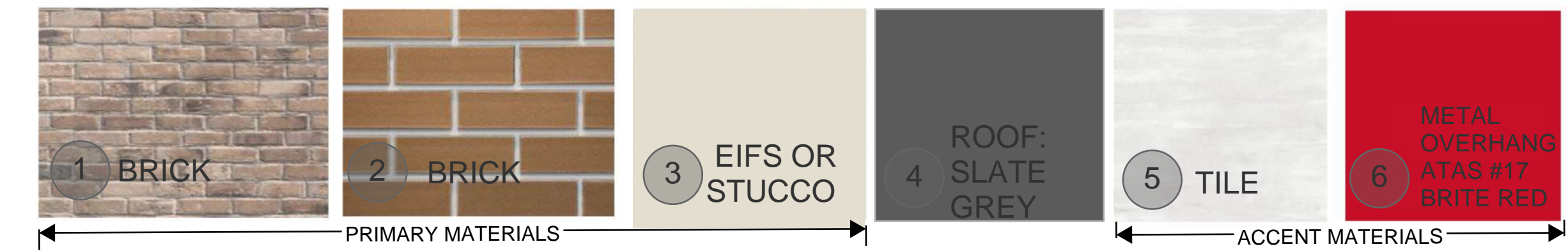
NON - EARTHTONE COLORS		GLAZING CALCS - SIDE - SOUTH ELEVATION:		MATERIAL CALCS - SIDE - SOUTH ELEVATION:	
SUNSHADE - 26 SQFT	4.0%	CLEAR GLAZING - 124 SQFT	9.6%	BRICK - 852 SQFT	63%
		SPANDREL GLASS - 141 SQFT	10.4%	STUCCO/EIFS - 88 SQFT	7%
		<b>TOTAL - 265 SQFT</b>		TILE - 115 SQFT	9%
				GLAZING - 265 SQFT	20%
				SUNSHADE - 26 SQFT	4%
				<b>TOTAL BUILDING - 1,346 SQFT</b>	



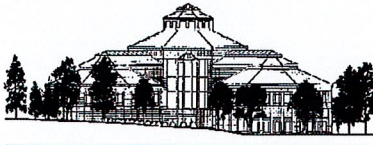
**5 FLOOR PLAN**  
1" = 10'-0"

BUILDING FOOTPRINT =	5,919 SF	C-STORE ROOF (FLAT) SF =	5,054 SF	50% OF THE SITE COVERAGE OF ANY STRUCTURES SHOULD HAVE PITCHED ROOF: 50% OR 15,507 SF IS 7,754 SF
FUEL CANOPY FOOTPRINT =	9,019 SF	FRONT TOWER ROOF (PITCHED/SLOPED) SF =	1,226 SF	TOTAL SF OF PITCHED/SLOPED ROOF IS EQUAL TO 9,931 SF
TRASH COMPOUND FOOTPRINT =	569 SF	REAR TOWER ROOF (PITCHED/SLOPED) SF =	630 SF	
TOTAL STRUCTURE SF =	15,507 SF	FUEL CANOPY ROOF (PITCHED/SLOPED) SF =	8,078 SF	
		TRASH COMPOUND ROOF (FLAT) SF =	NO ROOF	
		TOTAL ROOF SF =	14,982 SF	

**MATERIALS:**



EXTERIOR FINISH PACKAGE BRICK-2



City of Springdale

**Wawa  
390 Glensprings Drive  
Corridor Review District  
Application# 2023-0764  
November 14, 2023**

**Request:**

To approve the proposed building colors for the Wawa convenience store.

**Comments:**

The site is located within Sub Area “B” of the Corridor Review District (“CRD”). Per Section 153.257 (C) (2) (c), the use of non-earthtone colors is limited to 10% of any elevation. The applicant is proposing the following use of colors:

Front / East Elevation:

Total Elevation Area: 1,822 SF  
Non-Earthtone Color Area: 80 SF (4.5 %)

Rear / West Elevation:

Total Elevation Area: 1,756 SF  
Non-Earthtone Color Area: 45 SF (3.0 %)

Side / South Elevation:

Total Elevation Area: 1,346 SF  
Non-Earthtone Color Area: 26 SF (4.0 %)

Side / North Elevation:

Total Elevation Area: 1,378 SF  
Non-Earthtone Color Area: 24 SF (1.7 %)

The only use of non-earthtone colors in the “ATAS #17 Bright Red” which is used on the metal overhangs. The paint is a powder coat Pantone PMS 186C. Given that the area of non-earthtone colors is significantly below the 10% permitted, staff believes the request should be approved.

Submitted By:

Anne F. McBride, FAICP  
City Planner

# PRIVATE IMPROVEMENT PLANS FOR CHICK-FIL-A

501 E KEMPER ROAD  
SPRINGDALE, OH 45246



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235  
PHONE: 614-652-0350  
WWW.KIMLEY-HORN.COM

**CHICK-FIL-A**  
**SPRINGDALE FSU**  
501 E KEMPER RD  
SPRINGDALE, OH 45246  
**FSR#1614**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000  
PRINTED FOR JHP  
DATE 10/30/2023  
DRAWN BY AP

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.  
SHEET  
COVER SHEET

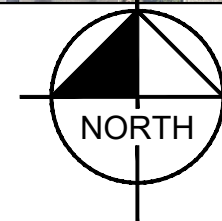
SHEET NUMBER  
**C000**

## LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



VICINITY MAP  
NTS



## SCOPE OF WORK

CHICK-FIL-A INTENDS TO ADD A SECOND DRIVE-THRU LANE AND EXPAND TO THE ADJACENT EMPTY LOT OF LAND. THESE DRIVE-THRU MODIFICATIONS WILL INCLUDE THE ADDITION OF TWO NEW CANOPIES, PARKING STALL REALIGNMENT, ENTRY DRIVE EXPANSION AND ADA CURB RAMP RECONSTRUCTION, WITH THE ADDITION OF A SECOND DRIVE-THRU LANE. IT IS ANTICIPATED TO IMPROVE THE EXISTING QUEUING AND TRAFFIC FLOW. NO INTERIOR IMPROVEMENTS ARE INCLUDED IN THIS SCOPE OF WORK.

## SHEET INDEX

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C-010	EXISTING CONDITIONS
C-015	EXISTING CONDITIONS
C-020	EXISTING CONDITIONS
C200	SITE PLAN
C201	DETAILS SHEET
C300	CONCEPT GRADING PLAN
PH100	SITE PHOTOMETRICS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L102	LANDSCAPE & MAINTENANCE SPECIFICATIONS

## PROJECT TEAM

**OWNER/DEVELOPER**  
KAYLA FORTNER, PE  
DEVELOPMENT MANAGER  
JLL, on behalf of CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349  
(404) 624-3616

**SURVEYOR**  
GBC DESIGN INC.  
565 WHITE POND DR.  
AKRON, OH 44320-1123  
(330) 836-0228

GARRY BRUMELS  
STORE OPERATOR  
CHICK-FIL-A  
501 E KEMPER ROAD  
SPRINGDALE, OH 45246  
(515) 559-4511

**CIVIL ENGINEER**  
PRIMARY CONTACT: JAKE PANTER  
KIMLEY-HORN AND ASSOCIATES, INC.  
111 W. JACKSON,  
SUITE 1320  
CHICAGO, IL 60604  
(630) 487-3432  
JAKE.PANTER@KIMLEY-HORN.COM

## SITE DATA TABLE

SITE ADDRESS: 501 E KEMPER ROAD,  
SPRINGDALE, OH 45246  
PARCEL ID NO: 5990020010600 & 5590020013500  
TOTAL SITE AREA: 2.27 AC / 98,785 SF  
EXISTING BUILDING AREA: 4,850 SF  
ZONING: PUD - GENERAL BUSINESS  
OUT PARCEL ZONING: SS - SUPPORT SERVICES

## FEMA FIRM FLOOD ZONE INFORMATION

ZONE: X (UNSHADED)  
DEFINITION: AREA OF MINIMAL FLOOD HAZARD.  
FIRM PANEL NO: 39061C0087E  
COMMUNITY: CITY OF SPRINGDALE  
NUMBER: 0877  
EFFECTIVE DATE: 2/16/2010  
REVISION DATE: NONE

## PRE-DEVELOPMENT VS. POST DEVELOPMENT CONDITIONS

TOTAL SITE AREA: 2.27 ACRES / 98,785 SF  
DISTURBED AREA: 2.16 ACRES / 94,021 SF  
PRE-DEVELOPED IMPERVIOUS AREA: 1.12 ACRES / 48,588 SF  
PRE-DEVELOPED PERVIOUS AREA: 1.15 ACRES / 50,283 SF  
POST-DEVELOPED IMPERVIOUS AREA: 1.59 ACRES / 69,364 SF  
POST-DEVELOPED PERVIOUS AREA: 0.68 ACRES / 29,421 SF



**UTILITY CONTACTS**

**PLANNING/ZONING**  
CITY OF SPRINGDALE PLANNING DEPARTMENT  
11700 SPRINGFIELD PIKE  
SPRINGDALE, OH 45245  
GREGG TAYLOR  
513-346-5730  
ghtaylor@springdale.org

**FIRE MARSHAL**  
CITY OF SPRINGDALE BUILDING DEPARTMENT  
11700 SPRINGFIELD PIKE  
SPRINGDALE, OH 45245  
GREGG TAYLOR  
513-346-5730  
ghtaylor@springdale.org

**SANITARY SEWER**  
METROPOLITAN SEWER DISTRICT  
1800 GEST STREET  
CINCINNATI, OH 45204  
ROBERT KERN  
513-244-5588  
rob.kern@cincinnati-oh.gov

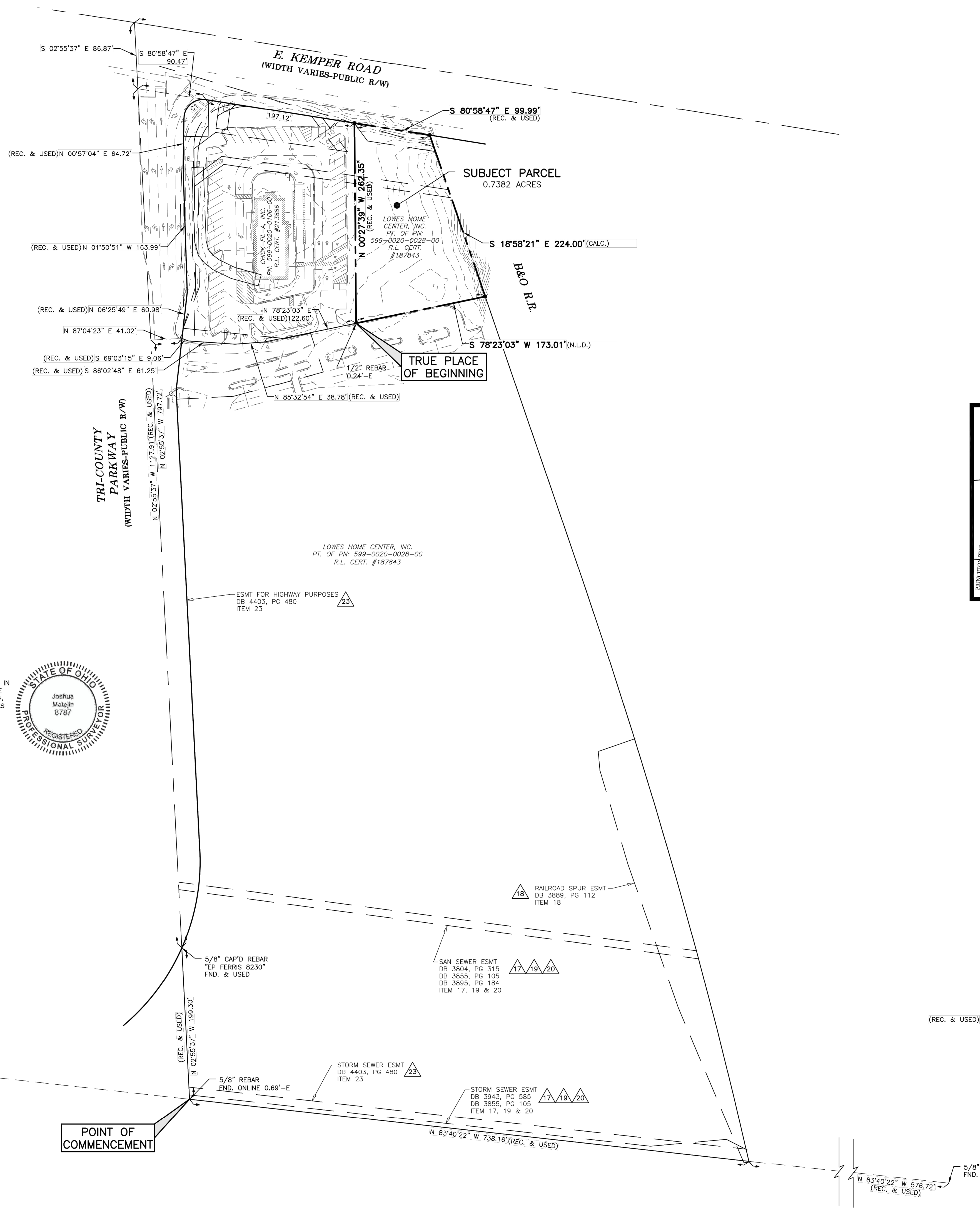
**WATER**  
GREATER CINCINNATI WATER WORKS  
4747 SPRING GROVE AVENUE  
CINCINNATI, OH 45232  
ELLEN BETSCH  
513-591-7833  
ellen.betsch@gcw.cincinnati-oh.gov

**STORM DRAINAGE & EROSION CONTROL**  
CITY OF SPRINGDALE PUBLIC WORKS  
338 NORTHLAND BOULEVARD  
SPRINGDALE, OH 45246  
JEFF AGRICOLA  
513-346-5521  
jagricola@springdale.org

**GAS SERVICE**  
DUKE ENERGY  
BRANDON PONDER  
512-287-1464  
brandon.ponder@duke-energy.com

**ELECTRIC SERVICE**  
DUKE ENERGY  
ZACK COTTINGIM  
513-287-4774  
Zachary.cottigim@duke-energy.com

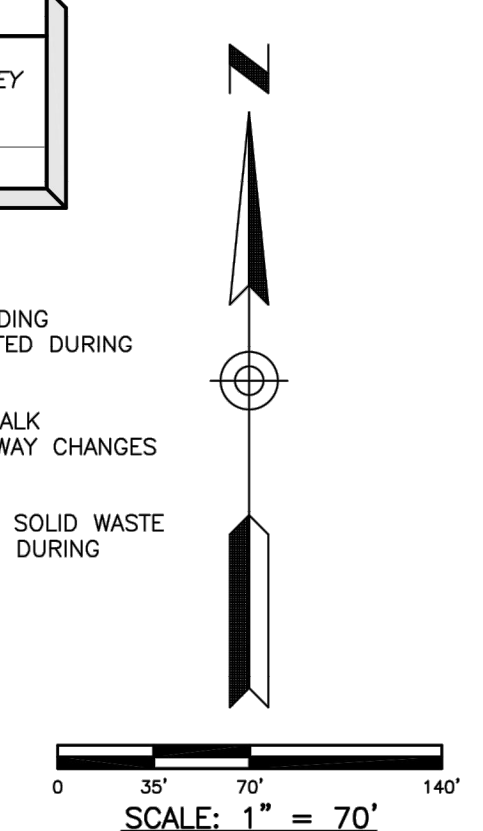
**TELEPHONE SERVICE**  
CINCINNATI BELL TELEPHONE  
RICHARD RAYLE  
513-397-9071  
richard.rayle@cbell.com



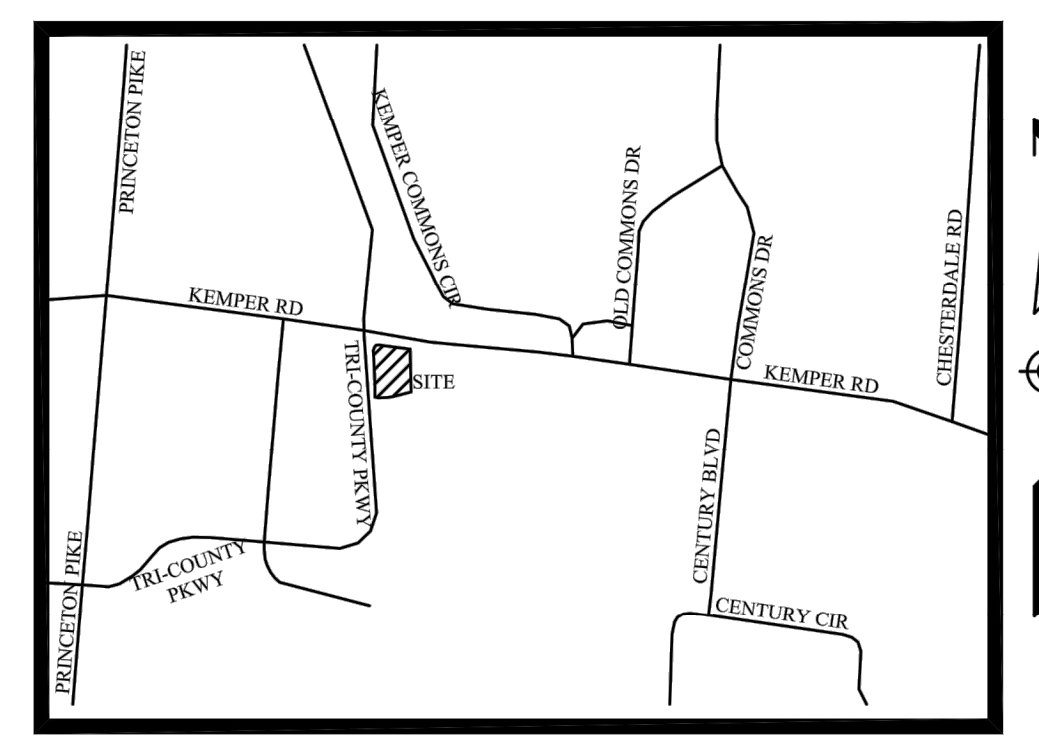
**SITE BENCH MARK**  
C.L. TOP OF EXISTING STORM MANHOLE  
7\"/>

**SURVEY NOTES:**  
NO EVIDENCE OF RECENT EARTHWORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS NOTED DURING FIELD VISIT.  
NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OR RIGHT-OF-WAY CHANGES NOTED DURING FIELD VISIT.  
NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL NOTED DURING FIELD VISIT.

**BASIS OF BEARING:**  
OHIO STATE PLANE COORDINATE SYSTEM (SPCS), SOUTH ZONE (3402), NAD-83



SITUATED IN THE STATE OF OHIO,  
COUNTY OF HAMILTON, CITY OF SPRINGDALE,  
AND KNOWN AS BEING A PART SECTION 6,  
TOWN 3, ENTIRE RANGE 1



**LOCATION MAP**  
NOT TO SCALE  
LATITUDE N 39°17'12\"/>

- LEGEND**
- 5/8\"/>

**FLOOD ZONE DESIGNATION:** SUBJECT PARCEL LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP NO. 39061C0087E WITH AN EFFECTIVE DATE OF FEBRUARY 17, 2010.

**UTILITY NOTE:** A VIEW OF THE UNDERGROUND UTILITIES IS SHOWN ON THE SURVEY FROM OBSERVED EVIDENCE WHILE CONDUCTING THE SURVEY. EVIDENCE FROM FIELD MARKINGS LOCATED IN RESPONSE TO GPS WORK ORDER 315804, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

**NOTE:** ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR IN THE TITLE COMMITMENT THAT ARE ABLE TO BE PLOTTED ARE SHOWN ON THE SURVEY.

**SUBJECT PARCEL ZONING:** SUBJECT PARCEL IS ZONED SS-BUSINESS SUPPORT SERVICES PER SPRINGDALE ZONING MAP REVISED 06/18/2021.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
(REC. & USED) C1	42.78'	24.99'	98°04'59\"/>			

**CERTIFICATION**  
TO: CHICK-FIL-A, INC.; FIDELITY NATIONAL TITLE INSURANCE COMPANY;  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B(1), 8, 11A, 11B, 13, 15, 16, 17, 18, & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 5, 2022.

9/12/2023  
DATE

JOSHUA MATEJIN, REGISTRATION NO. 8787



**Chick-fil-A**

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

**GBC DESIGN, INC.**  
565 White Pond Dr. Akron, OH 44320-1123  
Phone 330-836-0228 Fax 330-836-5782

**CHICK-FIL-A**  
**SPRINGDALE FSU**  
**CUSTOM PROJECT SOLUTIONS**  
505 EAST KEMPER RD.  
SPRINGDALE, OH 45246

**FSU# 01614**

**REVISION SCHEDULE**

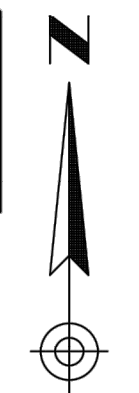
NO.	DATE	DESCRIPTION
1	2/1/2022	REVISE SUBJECT PARCEL BOUNDARY, E.A.S. TABLE & SUBJECT PARCEL LEGAL DESCRIPTION
2	2/4/2022	ADD ZONING CLASS
3	9/12/2023	ADD WATERLINE INFO PER GCWW RECORDS

GBC PROJECT # 50129R-2  
PRINTED FOR  
DATE 1/28/22  
DRAWN BY B.A.W.

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**SHEET**  
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER **C-010**

**SITE BENCH MARK**  
 C.L. TOP OF EXISTING STORM MANHOLE  
 "1" LOCATED AS SHOWN ON THIS SURVEY  
 ELEVATION = 554.42



SCALE: 1" = 20'

- LEGEND**
- 5/8" CAPPED REBAR SET (GBC DESIGN, INC.)
  - IRON PIN FOUND (TYPE & SIZE AS INDICATED)
  - ⊕ MAGNETIC NAIL SET
  - ⊖ MAGNETIC NAIL FOUND
  - ⊕ EX. FIRE HYDRANT
  - ⊖ EX. VALVE
  - EX. MANHOLE
  - EX. BOX INLET
  - ⊕ UTILITY POLE
  - ⊖ LIGHT POLE
  - ⊕ EX. TREE
  - ⊖ SCHEDULE B SECTION 2 ITEM
  - EX. CABLE T.V. LINE
  - EX. ELECTRIC LINE
  - EX. OVERHEAD UTILITY LINE
  - EX. GAS LINE
  - EX. TELEPHONE LINE
  - EX. SANITARY SEWER
  - EX. FIBER OPTIC
  - EX. MELP ELECTRIC LINE
  - EX. CURB

**EXISTING STORM SEWER STRUCTURE SCHEDULE**

1. EX. STM. M.H.  
TOP 665.54  
INV. 661.16, 12" S  
INV. 661.60, 12" NE  
INV. 661.41, 12" N
2. EX. CURB INLET  
TOP 663.09  
INV. 661.49, 12" N  
INV. 661.40, 12" SW
3. EX. CATCH BASIN  
TOP 665.23  
INV. 662.56, 6" NE  
INV. 662.89, 4" N  
INV. 662.90, 4" S  
INV. 663.37, 15" E
4. EX. CATCH BASIN  
TOP 663.37  
INV. 661.24, 18" N  
INV. 661.24, 15" W
5. EX. STM. M.H.  
TOP 658.96  
INV. 654.39, 15" E  
INV. 654.49, 18" N
6. EX. STM. M.H.  
TOP 665.52  
INV. 660.62, 18" S  
INV. 660.49, 6" W  
INV. 660.53, 24" N  
INV. 660.21, 4" E
7. EX. STM. M.H.  
TOP 664.29  
INV. 659.29, 18" S  
INV. 660.10, 15" W
8. EX. STM. M.H.  
TOP 665.61  
INV. 661.04, 15" N  
INV. 660.62, 24" S  
INV. 660.38, 18" W
9. EX. CATCH BASIN  
TOP 665.41  
INV. 661.62, 15" S  
INV. 661.62, 15" W  
INV. 663.53, 6" SW  
INV. 664.54, 4" SW
10. EX. CATCH BASIN  
TOP 665.84  
INV. 664.40, 6" NE  
INV. 664.92, 4" NW  
INV. 664.97, 4" SE
11. EX. CATCH BASIN  
TOP 664.71  
INV. 662.85, 15" E
12. EX. CATCH BASIN  
TOP 658.74  
INV. 655.98, 18" SE  
INV. 655.53, 30" SW  
INV. 655.62, 6" NE
13. EX. STM. M.H.  
TOP 657.96  
INV. 652.41, 30" SW  
INV. 652.31, 30" E  
INV. 652.15, 12" N
14. EX. STM. M.H.  
TOP 658.45  
INV. 652.51, 12" SW  
INV. 652.46, 12" S



**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998

**GBC DESIGN, INC.**

565 White Pond Dr. Akron, OH 44320-1123  
 Phone 330-836-0228 Fax 330-836-5782

**CHICK-FIL-A**  
**SPRINGDALE FSU**  
**CUSTOM PROJECT SOLUTIONS**  
 505 EAST KEMPER RD.  
 SPRINGDALE, OH 45246

**FSU# 01614**

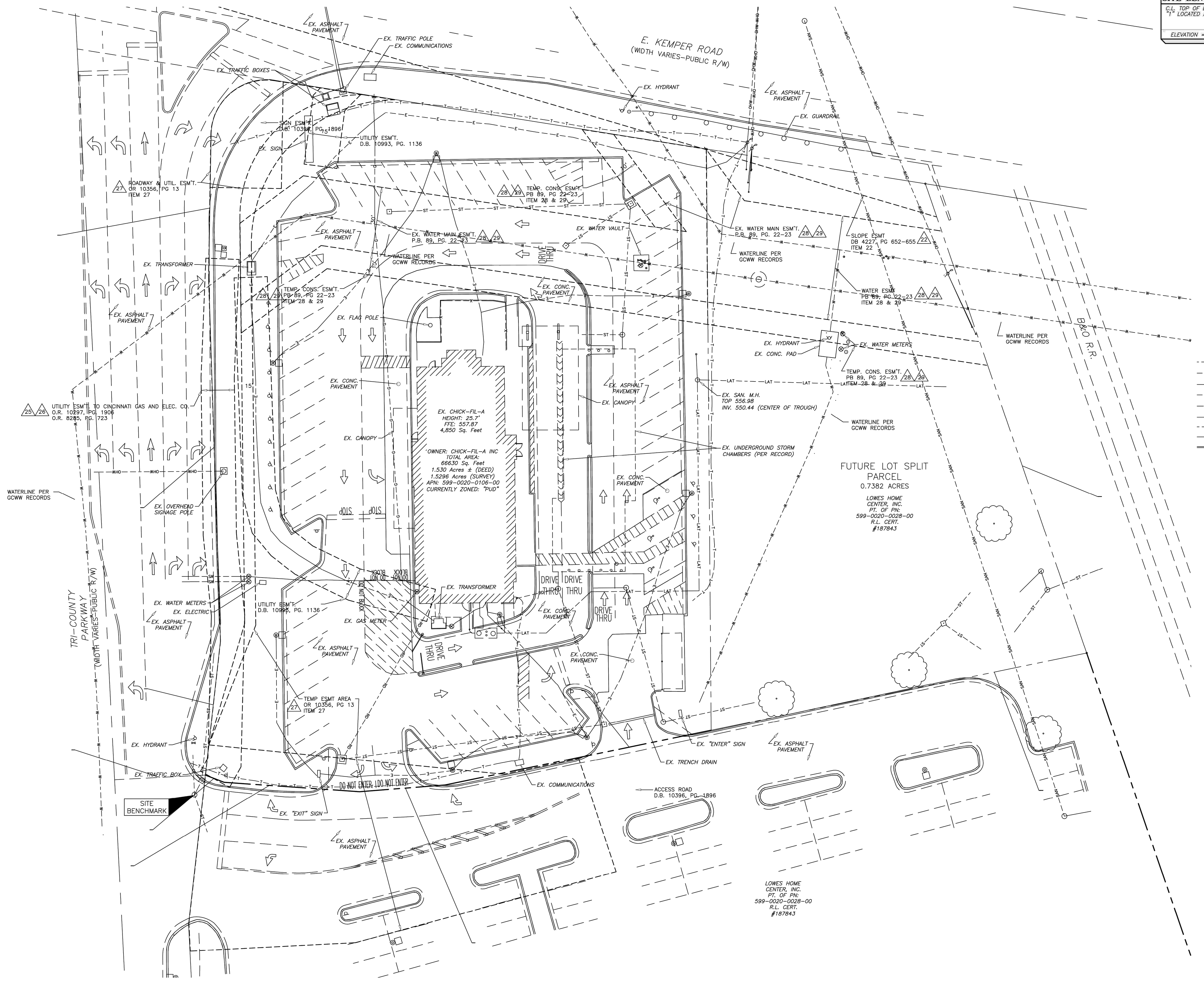
REVISION SCHEDULE		DESCRIPTION
NO.	DATE	
1	2/1/2022	REVISE SUBJECT PARCEL BOUNDARY, E.R.S. TABLE & SUBJECT PARCEL LEGAL DESCRIPTION
2	9/12/2023	ADD WATERLINE INFO PER GCWW RECORDS

GBC PROJECT # 50129R-2  
 PRINTED FOR  
 DATE 1/28/22  
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**SHEET**  
**ALTA/NSPS LAND**  
**TITLE SURVEY**

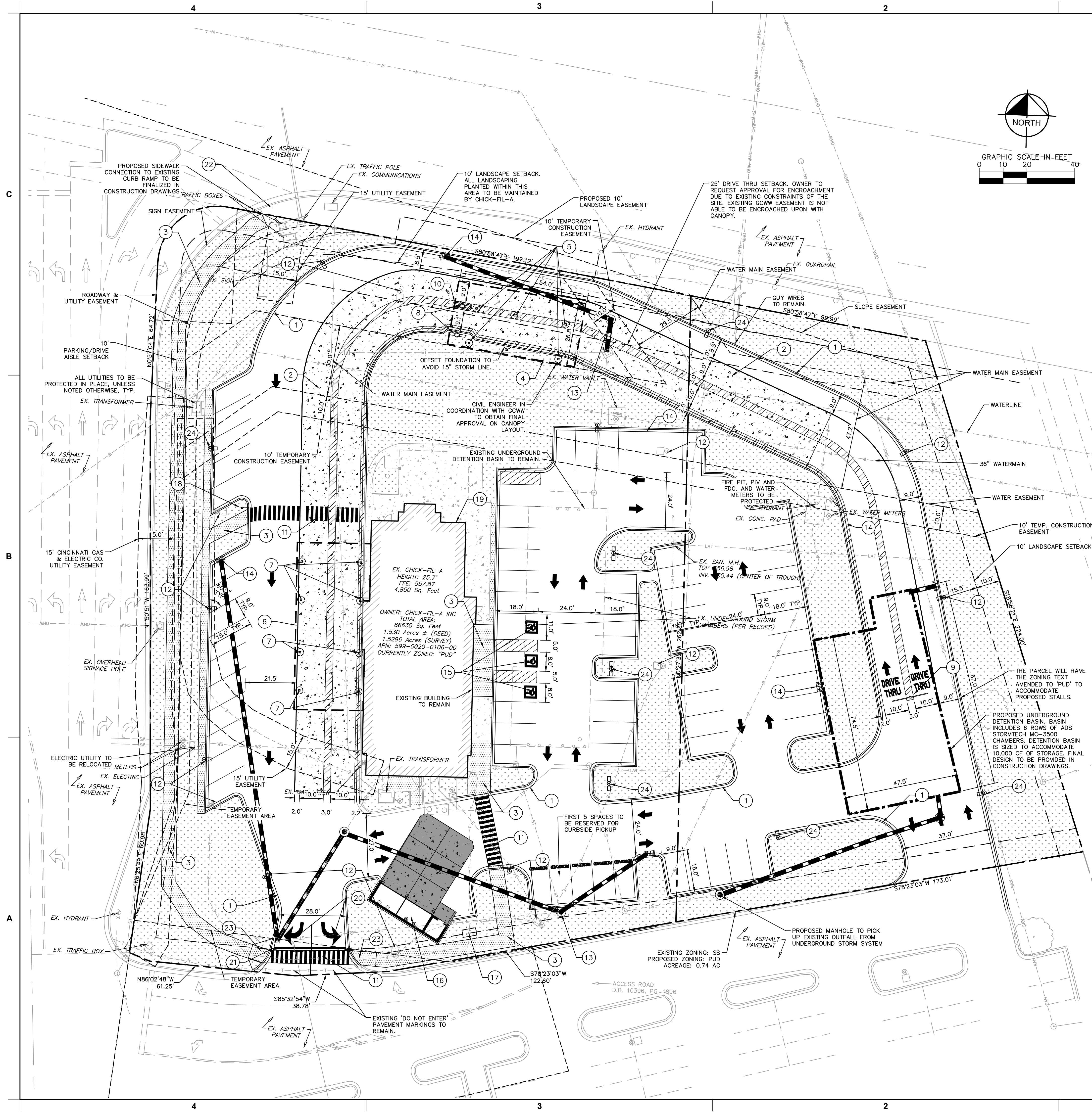
SHEET NUMBER **C-015**



OWNER: CHICK-FIL-A INC  
 TOTAL AREA:  
 66630 Sq. Feet  
 1.530 Acres ± (DEED)  
 1.5296 Acres (SURVEY)  
 APN: 599-0020-0106-00  
 CURRENTLY ZONED: "PUD"

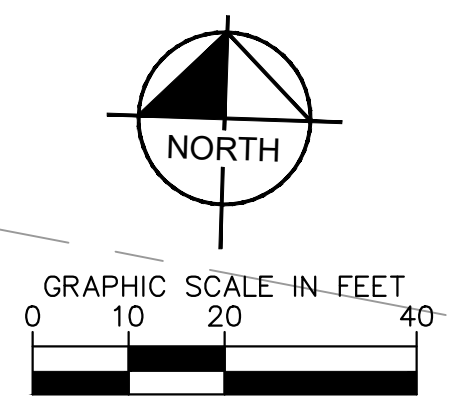
FUTURE LOT SPLIT  
 PARCEL  
 0.7382 ACRES  
 LOWES HOME  
 CENTER, INC.  
 PT. OF PN:  
 599-0020-0028-00  
 R.L. CERT.  
 #187843

LOWES HOME  
 CENTER, INC.  
 PT. OF PN:  
 599-0020-0028-00  
 R.L. CERT.  
 #187843



**LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



**NOTES**

1. ALL AUTOMOBILE PARKING SPACES ARE 9' WIDE X 18' LONG AND VAN ACCESSIBLE SPACES ARE 11' WIDE X 18' LONG, UNLESS SHOWN OTHERWISE.
2. CHICK-FIL-A INTENDS TO PROVIDE UNDERGROUND STORMWATER DETENTION TO MEET THE CITY'S STORMWATER MANAGEMENT ORDINANCE FOR THE ADDED IMPERVIOUS AREA.
3. THERE ARE NO MODIFICATIONS TO THE EXISTING BUILDING OR ONSITE SIGNAGE.
4. OWNER TO CLEAN AND INSPECT THE ISOLATOR ROWS AFTER CONSTRUCTION TO ENSURE THEIR FUNCTIONALITY IS MAINTAINED.
5. EXISTING TREE LOCATIONS APPROXIMATED USING AERIAL IMAGERY. LOCATIONS AND SIZES TO BE VERIFIED FOR CONSTRUCTION DRAWINGS.

**LANDSCAPING SUMMARY**

TOTAL SITE AREA:	98,785 SF
PRE-PROJECT LANDSCAPING AREA:	50,283 SF
PERCENT OF SITE AREA:	50.9%
POST-PROJECT LANDSCAPING AREA:	29,721 SF
PERCENT OF SITE AREA:	30.1%
PROPOSED IMPERVIOUS AREA ADDED:	20,562 SF

**PARKING ANALYSIS**

PARKING REQUIREMENT:	1 STALL PER 150 SF
MINIMUM REQUIRED PARKING:	32 STANDARD STALLS / 2 ADA STALLS
EXISTING PARKING:	56 STANDARD STALLS 3 ADA STALLS
PROPOSED PARKING:	69 SPACES 27 STACKING SPACES 3 ADA STALLS

\*EXISTING ADA STALLS WILL BE ALTERED. ACCESSIBLE STALL COUNT WILL NOT REMAIN THE SAME.

**ZONING/SETBACK REQUIREMENTS**

ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
OUT PARCEL ZONING:	SUPPORT SERVICES (SS)
FRONT YARD SETBACK:	75'
SIDE YARD SETBACK:	12'
REAR YARD SETBACK:	35'

**SITE PLAN KEYNOTES**

- 1 CONSTRUCT CONCRETE CURB & GUTTER
- 2 CONSTRUCT NEW CONCRETE DRIVE THRU
- 3 CONSTRUCT CONCRETE WALK
- 4 INSTALL NEW DUAL LANE F2F CANOPY
- 5 INSTALL NEW DUAL LANE F2F CANOPY COLUMNS
- 6 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY
- 7 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY COLUMNS
- 8 INSTALL NEW MENU BOARDS
- 9 INSTALL DRIVE-THRU CLEARANCE BAR
- 10 INSTALL DRIVE-THRU ORDER POINT ISLAND
- 11 PAINT CROSSWALK MARKINGS
- 12 RELOCATED LIGHTPOLE
- 13 REMOVE AND REPLACE INLET GRATE WITH CLOSED MANHOLE COVER
- 14 INSTALL NEW CURB INLET
- 15 RELOCATED ADA STALLS
- 16 RELOCATED TRASH ENCLOSURE
- 17 EXISTING UTILITY TO REMAIN
- 18 INSTALL FLASHING PEDESTRIAN SIGN
- 19 EXISTING BUILDING TO REMAIN WITH NO MODIFICATIONS
- 20 PROTECT EXISTING TURN MARKINGS
- 21 INSTALL STOP BAR
- 22 EXISTING HANDICAP/CURB RAMP
- 23 INSTALL CURB RAMP. FINAL DESIGN TO BE PROVIDED IN CONSTRUCTION DRAWINGS
- 24 INSTALL LIGHT POLE

COORDINATE SYSTEM USED & REFERENCE  
NAD83 OHIO SOUTH (US FOOT)



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235  
PHONE: 614-652-0350  
WWW.KIMLEY-HORN.COM

**CHICK-FIL-A**  
**SPRINGDALE FSU**  
501 E KEMPER RD  
SPRINGDALE, OH 45246  
**FSR#1614**

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000  
PRINTED FOR JHP  
DATE 10/30/2023  
DRAWN BY AP

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SHEET  
SITE PLAN

SHEET NUMBER  
**C200**

**MIDWEST LANDSCAPE NOTES**

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

**LANDSCAPE REQUIREMENTS**

- A. GENERAL REQUIRED**
- Canopy and small/ornamental trees min. 2" cal.
  - Multi stem trees min. 3 stems, min. 1.5" cal., min. hgt. 8 FT
  - Evergreen trees min. hgt. 6 FT, min. spr. 4 FT (if for tree replacement: min. hgt. 10 FT)

- B. DIVERSITY REQUIRED**
- The following applies to REQUIRED trees and shrubs:
- < 20 required = min. 2 species needed
  - 20-40 required = min. 3 species needed
  - > 40 required = min. 4 species needed
1. Total trees required: 19 = 2 species required  
 2. Total shrubs required: 170 = 4 species required

- PROVIDED**
1. 4 types of trees = 4 species provided  
 2. 5 types of shrubs = 5 species provided

**C. PERIMETER LANDSCAPE - BUFFERYARDS (Code Table 404-1)**

- REQUIRED**
- E Kemper Rd (North):  
 Public ROW w/ no adjacent parking  
 10 FT Buffer:  
 1 tree (A) per 35 LF of street access/drive frontage  
 E Kemper Rd: 115 LF / 35 LF = 3 trees required
  - Tri County Pkwy (West), Lowe's (South), & Railroad (East):  
 Parking area or drive adjacent to non-residential use  
 10 FT Buffer:  
 1 tree (A) per 35 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF  
 OR 1 tree (B) per 25 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF  
 Tri County Pkwy: 185 LF / 35 LF = 5 trees required  
 Tri County Pkwy: 185 LF / 3 LF = 62 shrubs required  
 Lowe's: 105 LF / 35 LF = 3 trees required  
 Lowe's: 105 LF / 3 LF = 35 shrubs required  
 Railroad: 165 LF / 35 LF = 5 trees required  
 Railroad: 165 LF / 3 LF = 55 shrubs required
- PROVIDED**
1. E Kemper Rd: 3 Golden Raintree = 3 trees provided  
 2. Tri County Pkwy: 5 Wildfire Black Gum = 5 trees provided  
 48 S. Inkberry, 27 Jap. Barberry = 75 shrubs provided  
 Lowe's: 3 Shumard Oak = 3 trees provided  
 34 S. Inkberry, 19 Dense Yew = 53 shrubs provided  
 Railroad: 5 Wildfire Black Gum = 5 trees provided  
 33 Dense Yew, 9 A.W. Spirea, 13 S. Inkberry = 55 shrubs provided

**D. INTERIOR LANDSCAPE**

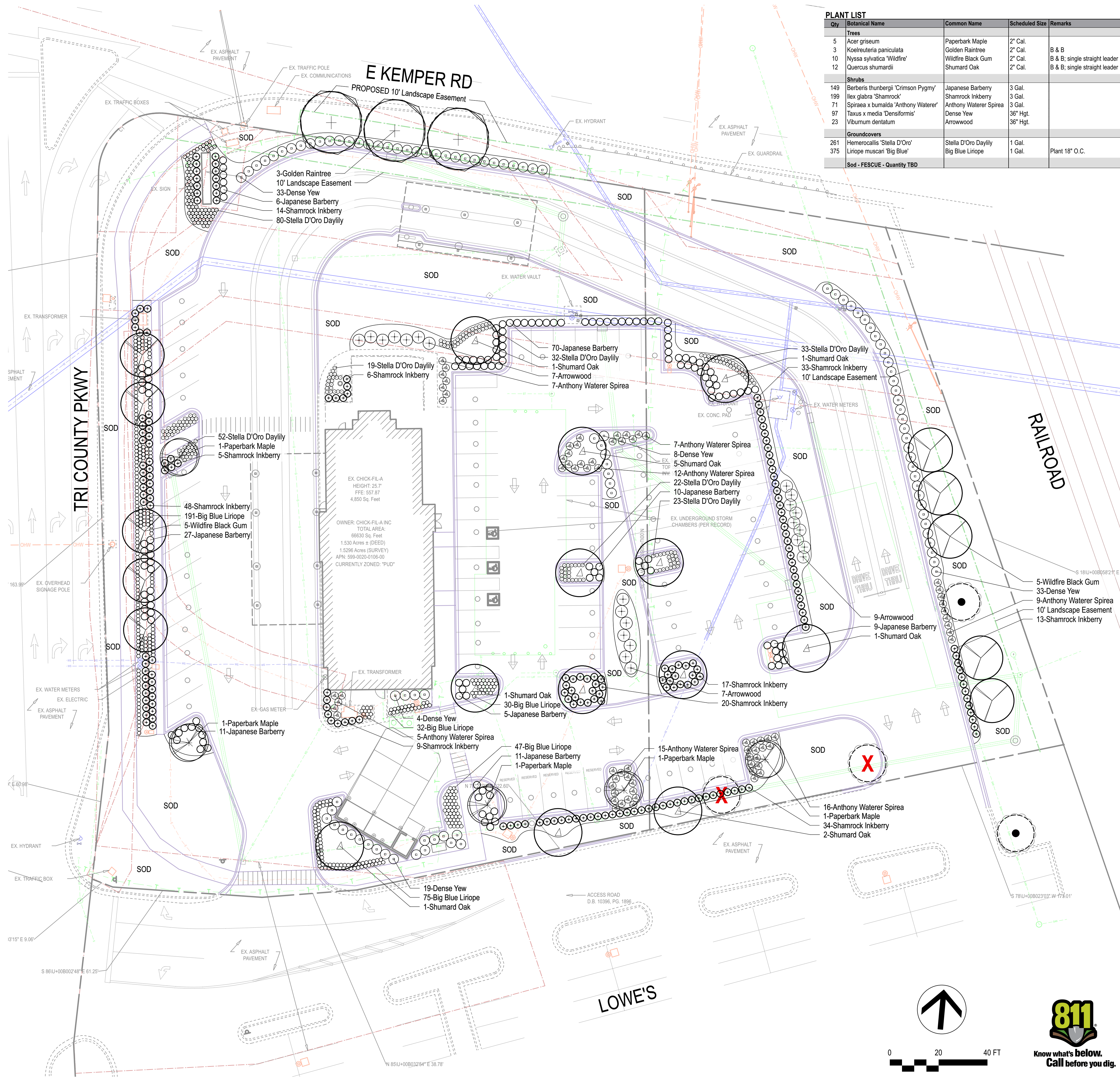
- Min. 180 SF per island, min. 8 FT distance back of curb to back of curb, all trees min. 4 FT from edge of pavement, parking trees clear trunk min. 5 FT above ground
  - Canopy or small/ornamental trees accepted to be planted in VUA landscape areas
- REQUIRED**
- 10 SF landscape area required per 100 SF VUA  
 29,017 SF / 100 SF = 290 SF landscape area required  
 29,017 SF / 25 = 1161 trees required  
 72 spaces / 25 = 3 trees required
  - 6 shrubs required per 25 parking spaces (each island requires min. 4 shrubs)  
 72 spaces / 25 = 3 X 6 = 18 shrubs required
- PROVIDED**
1. Interior landscape area = 4,790 SF landscape area provided  
 2. 9 Shumard Oak, 5 Paperbark Maple = 14 trees provided  
 3. Minimum 4 shrubs per island - requirement exceeded > 18 shrubs provided

**E. TREE PRESERVATION**

- No landmark or protected trees to be removed without permission
- 2 trees to be removed, 1 tree to be preserved
- Tree survey required if more information is needed

**LEGEND**

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING



**PLANT LIST**

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>				
5	Acer griseum	Paperbark Maple	2" Cal.	B & B
3	Koeleruteria paniculata	Golden Raintree	2" Cal.	B & B; single straight leader
10	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	2" Cal.	B & B; single straight leader
12	Quercus shumardii	Shumard Oak	2" Cal.	B & B; single straight leader
<b>Shrubs</b>				
149	Berberis thunbergii 'Crimson Pygmy'	Japanese Barberry	3 Gal.	
199	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 Gal.	
71	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal.	
97	Taxus x media 'Densiformis'	Dense Yew	36" Hgt.	
23	Viburnum dentatum	Arrowwood	36" Hgt.	
<b>Groundcovers</b>				
261	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal.	
375	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
Sod - FESCUE - Quantity TBD				



**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998



Manley Land Design, Inc.  
 51 Old Canton Street  
 Alpharetta, Georgia 30009  
 770.442.8171 tel



**CHICK-FIL-A**  
**SPRINGDALE FSU**  
 501 E KEMPER RD  
 SPRINGDALE, OH 45246

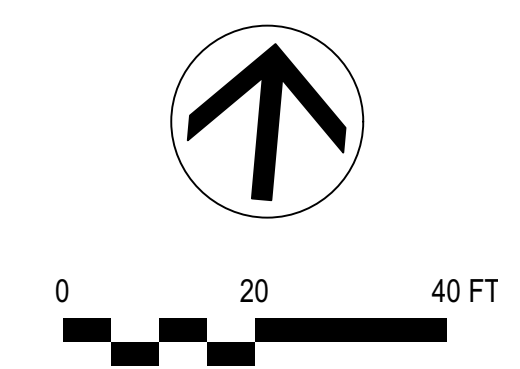
**FSU# 01614**

**REVISION SCHEDULE**  
 NO. DATE BY DESCRIPTION

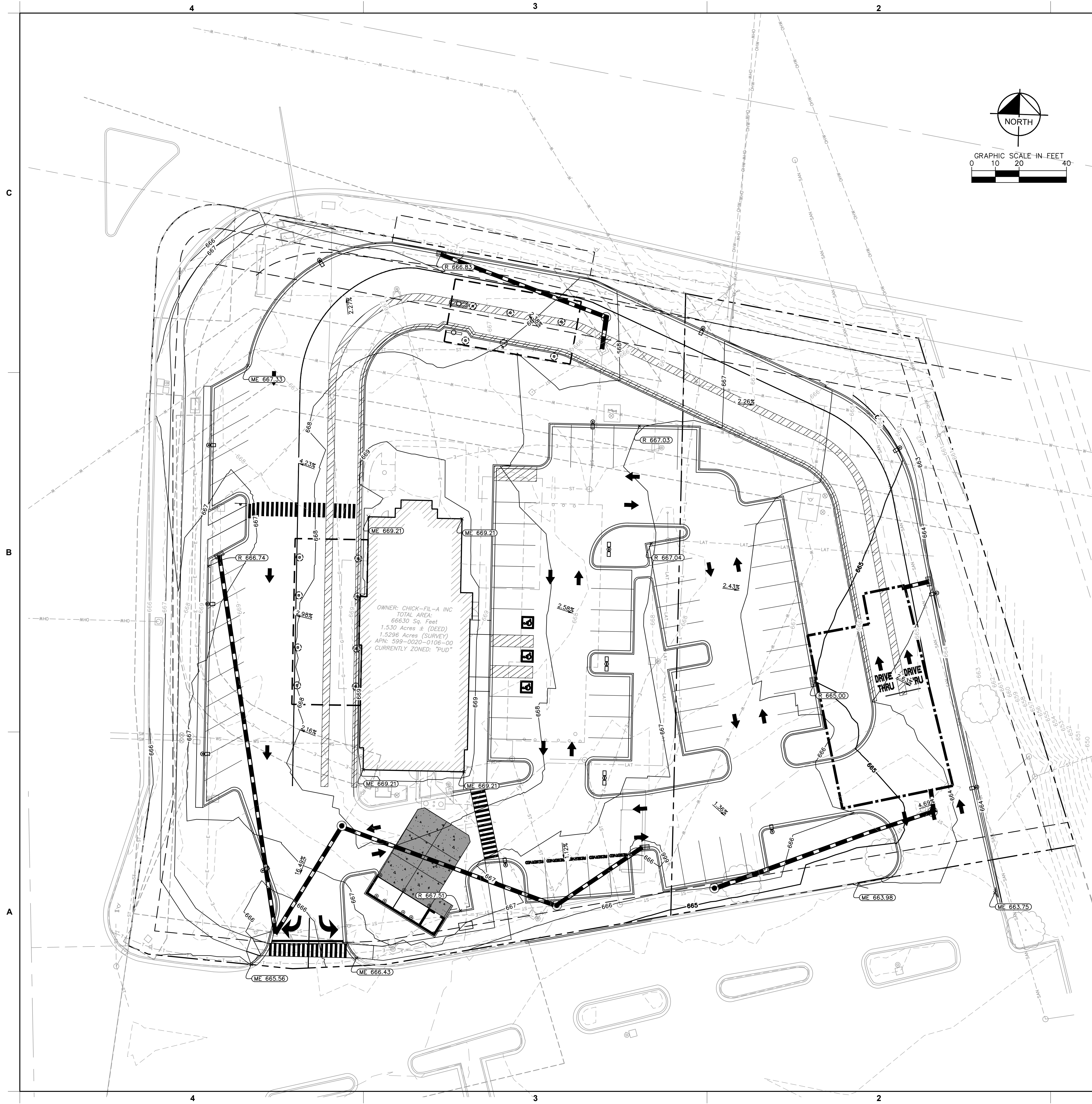
MLD PROJECT # 2023250  
 PRINTED FOR PERMIT  
 DATE 10/5/23  
 DRAWN BY DO

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SHEET  
**PERMIT Landscape Plan**  
 SHEET NUMBER  
**L-100**



K:\CHS\_LDEV\Chick-Fil-A\1614 - Springdale FSU\_Springdale\_OH\2023\CADD\PLAN SHEETS\C300 DRAINAGE AND GRADING.dwg  
30 October 2023



**LEGEND**

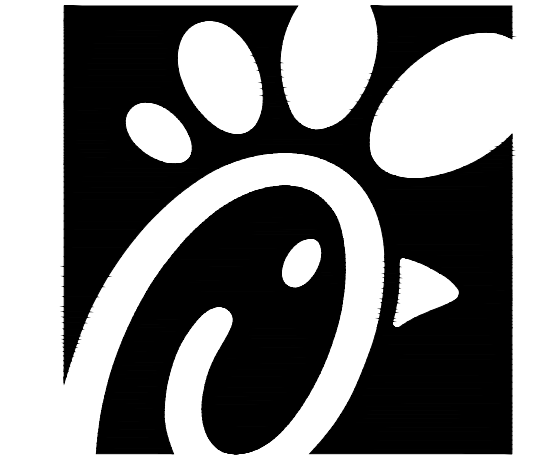
- PROPERTY LINE
- - - EASEMENT LINE
- SAN --- EXISTING SANITARY SEWER
- --- EXISTING STORM SEWER
- ⊠ ⊡ ⊞ ⊚ EXISTING UTILITY STRUCTURES
- XXX --- PROPOSED CONTOUR
- - - XXX - - - EXISTING CONTOURS
- X.X% PROPOSED SLOPE ARROW
- X.X% EXISTING SLOPE ARROW

NORTH

GRAPHIC SCALE IN FEET

- GRADING NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
  - GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
  - CURB HEIGHTS ARE 6" UNLESS OTHERWISE NOTED. TOP OF CURB SHALL MATCH EXISTING CURB HEIGHT AT JOINT LOCATIONS AND TRANSITION OVER TWO FEET OF CURB RUN.

OWNER: CHICK-FIL-A INC  
TOTAL AREA:  
66630 Sq. Feet  
1.530 Acres ± (DEED)  
1.5296 Acres (SURVEY)  
APN: 593-0020-0106-00  
CURRENTLY ZONED: "PUD"



Chick-fil-A

**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235  
PHONE: 816-652-0350  
WWW.KIMLEY-HORN.COM

**CHICK-FIL-A**  
**SPRINGDALE FSU**  
501 E KEMPER RD  
SPRINGDALE, OH 45246  
**FSR#1614**

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000  
PRINTED FOR JHP  
DATE 10/30/2023  
DRAWN BY AP

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SHEET CONCEPT GRADING PLAN

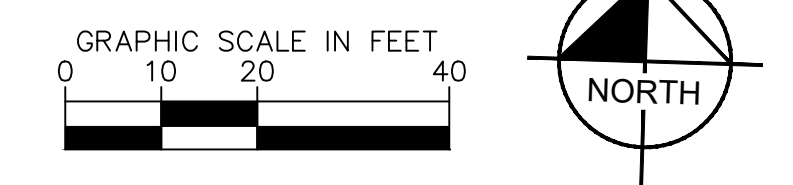
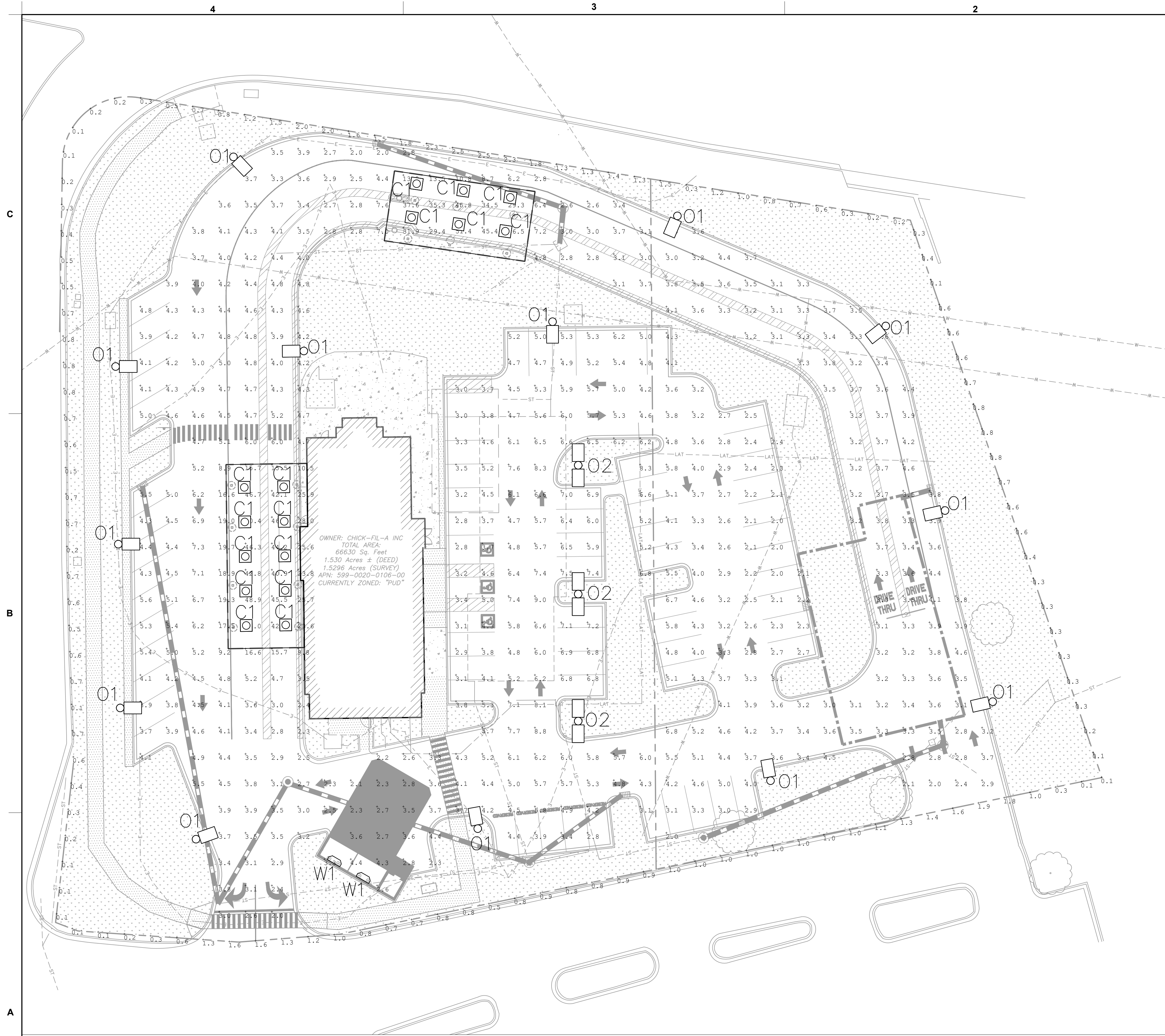
SHEET NUMBER **C300**

NORTH

GRAPHIC SCALE IN FEET

SCALED FOR 'D' SIZE  
(24"x36") PLANS ONLY  
ANY OTHER PLAN SIZE  
MAY NOT BE TO SCALE

K:\CHS\_DEV\Chick-Fil-A\1614 - Springdale FSU\_Springdale\_CADD\PLAN SHEETS\PH100 PHOTOMETRICS.dwg  
25 October 2023



TARGET ILLUMINANCE VALUES						
CALC TYPE	CALC REQUIREMENT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	CFA	4.0	9.0	1.9	2.0	-
	SPRINGDALE	2.0	10.0	-	-	15.0
SITE CANOPY	CFA	35-40	-	-	-	-
	SPRINGDALE	-	2.5	-	-	-
PROPERTY LINE	CFA	1.2	-	-	-	-
	SPRINGDALE	-	-	-	-	-

TARGET ILLUMINANCE LEVELS BASED ON THE CFA STANDARD LIGHTING LEVELS AND SPRINGDALE, OH CODE OF ORDINANCES. THE MOST STRINGENT OF THE TWO ARE OBSERVED.

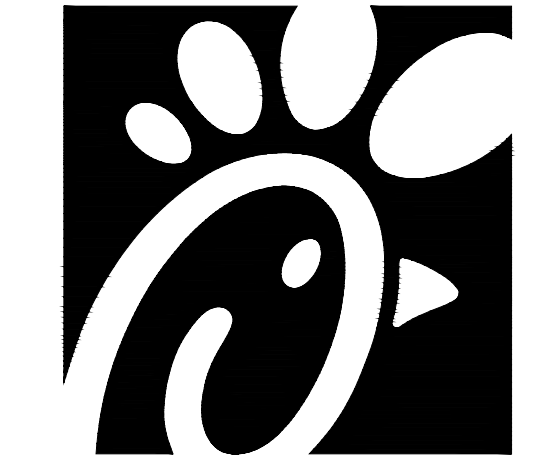
CALCULATION SUMMARY						
ZONE	CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
①	PARKING LOT (TYPICAL)	4.15	9.00	2.00	2.08	4.50
②	NORTH CANOPY	35.48	51.40	13.20	2.69	3.89
③	WEST CANOPY	35.09	50.40	10.50	3.34	4.80
④	SITE BOUNDARY	0.79	2.50	0.10	7.90	25.00

PHOTOMETRICS LEGEND	
	SINGLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION)
	DOUBLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION)
	WALL-PACK LUMINAIRE, WALL-MOUNTED
	CANOPY DOWNLIGHT
*X.X	CALCULATION POINT

- PHOTOMETRICS NOTES**
- ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC). 1 FC = 10.76 LUX.
  - CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
  - ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
  - THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING AND LANDSCAPE LIGHTING THAT IS CONSIDERED IRRELEVANT TO THE PURPOSE OF THE STUDY.
  - CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
  - CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. ALL PROPOSED LUMINAIRE STYLES, COLORS AND MOUNTING TYPES SHALL BE SUBMITTED AND APPROVED BY ENGINEER, ARCHITECT AND OWNER. EXACT BUILDING MOUNT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND SHOULD BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. EXACT CANOPY MOUNT FIXTURE LOCATION AND MOUNTING STYLE SHALL BE COORDINATED WITH CANOPY DESIGNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THAT WALL AND CANOPY MOUNTED FIXTURES ARE COMPATIBLE WITH RESPECTIVE MOUNTING LOCATION. CONTRACTOR SHALL ORDER ACCESSORIES FOR APPROPRIATE MOUNTING.
  - ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
  - FINAL ELECTRICAL DESIGN AND POLE FOUNDATION DETAILS BY OTHERS.
  - LIGHTING DESIGN WAS PERFORMED IN ACCORDANCE WITH CFA STANDARD LIGHTING LEVELS AND WITH SECTION 153.351 OF THE CITY OF SPRINGDALE CODE OF ORDINANCES. ALL VALUE ENGINEER ALTERNATIVES SHALL BE SUBMITTED BY CONTRACTOR AND APPROVED BY ENGINEER, ARCHITECT AND OWNER PRIOR TO PURCHASE. CALCULATIONS ARE BASED ON MODEL NUMBERS LISTED IN THE LIGHT FIXTURE SCHEDULE. VALUE ENGINEER ALTERNATIVES MAY NOT PRODUCE THE SAME CALCULATIONS.
  - LUMINAIRE CONTROL PROVISIONS SHALL BE INCLUDED AND FINALIZED BY DESIGN ENGINEER. CONTROL SHALL BE COMPLIANT WITH CITY CODE. LIGHT FIXTURES SHALL BE ORDERED WITH ACCESSORIES TO MEET THE INTENT OF THE LIGHTING CONTROLS. ACCESSORIES THAT SHOULD BE INCLUDED FOR CONTROL ARE NOT LISTED ON THIS PLAN AND SHOULD BE CONFIRMED WITH DESIGN ENGINEER PRIOR TO PURCHASE.

LIGHT FIXTURE SCHEDULE												NOTES	
SYMBOL	TAG	DESCRIPTION	MODEL NUMBER	LLF	CRI	MOUNTING STYLE	LAMPS	VOLTAGE	WATTS/FIXTURE	LUMENS/FIXTURE	COLOR		MOUNTING HEIGHT
	O1	SINGLE LUMARK PREVALE LED AREA/SITE LUMINAIRE	PRV-C60-730-D-UNV-T4-XX-XX	0.90	70	POLE	LED	UNV	153	19,621	3000K	24'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	O2	DUAL LUMARK PREVALE LED AREA/SITE LUMINAIRE	PRV-C60-730-D-UNV-T4-XX-XX	0.90	70	POLE	LED	UNV	153	19,621	3000K	24'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	C1	LSI SCOTTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE	CRUS-SC-LED-LW-30-UE-XXX	0.90	70	CANOPY	LED	UNV	73	10,457	3000K	9'-6"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	W1	HUBBELL OUTDOOR LIGHTING LED COMPACT WALL PACK	LNC-5L-U-3K-3-X	0.90	70	WALL	LED	120-277	13	849	3000K	8'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE.

NOTE: O=OUTDOOR, C=CANOPY MOUNT, W=WALL MOUNT



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

Kimley»Horn

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7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235  
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**CHICK-FIL-A**  
**SPRINGDALE FSU**  
501 E KEMPER RD  
SPRINGDALE, OH 45246  
**FSR#1614**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000  
PRINTED FOR JHP  
DATE 10/30/2023  
DRAWN BY CWW

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SHEET SITE PHOTOMETRICS

SHEET NUMBER

**PH100**



**Chick-fil-A**  
**501 East Kemper Road**  
**Modification to a PUD and Zone Map Amendment**  
**Application# 2023-0739**  
**November 14, 2023**

**Request:**

Approval of a PUD modification and a zone change to allow for the expansion of the existing drive thru area with revisions to the parking layout and site.

**Proposal:**

Chick-fil-A is currently located on a 1.53 acre parcel (ID# 059900200106) that is zoned “PUD” Planned Unit Development. To better serve their growing customer base, Chick-fil-A has purchased the adjacent vacant 0.74 acres (Parcel 0599-0020-00135) to the east, which is zoned “SS” Support Services. The two members of Council who sit on Planning Commission will need to determine if the modification to the request to the PUD is a major or minor amendment to the PUD. Given the proposed modifications to the site design and circulation, staff believes, per Section 153.256 (H) (1), the proposed change is a major amendment. Additionally, Planning Commission will need to make a recommendation to Council on the proposed zone map amendment from “SS” Support Services to “PUD” Planned Unit Development. The recent “Plan Springdale” designates the property as “Regional Mixed Use”. Per Section 153.255 (C) (1) (c), a parcel of less than three acres may be added to an existing “PUD”.

The applicant is proposing to revise the site layout to provide better on-site circulation for customers going into the restaurants and those using the drive thru. A total of 47 parking spaces would be located within the drive thru lane reducing the existing vehicle/pedestrian conflict points on the east side of the site. The two extended drive thru lanes increase the number of stacking spaces to 27.

**Comments:**

- 1) The existing 4,850 square foot store is not being modified. A total of 34 parking spaces are required per Section 153.302 (P). Currently the site has 59 parking spaces, and a total of 72 parking spaces are proposed with this request. The site does provide the additional landscaping required by Section 153.302 (Q) (1) (c) since the parking provided exceeds that required by over 30%.
- 2) The total site area is 98,785 square feet. The applicant is proposing a total of 29,755 square feet of green space (30.17%). Per Section 153.255 (E) (5), a minimum of 25% green space is required. The applicant is proposing 30.17% of the site to be landscaped open space.
- 3) A 10’ setback is required per Section 153.404 (G) where a parking area or drive aisle abuts a public or private street/access drive. This would pertain to the north, west, and south property lines. Drive aisles and parking areas are not indicated to be set

back from public or private/access drives 10 feet to the north (adjacent to East Kemper Road) or the south (adjacent to the private access drive). The applicant indicates in written correspondence that all the setbacks will be 10 feet, consistent with Section 153.404 (G) however, Sheet C-200 still shows setbacks below 10 feet and landscaping in the bypass lane.

- 4) The proposed drive thru stacking lanes are indicated to be 9 feet in width where 10 feet is required per Section 153.304 (B) (1). In written correspondence, the applicant indicates that the stacking aisles will be 10' wide, however Sheet C-200 shows them as 9' wide.
- 5) Drive thru stacking lanes, per Section 153.304 (C), must be located 25 feet from a right-of-way. The applicant indicates that due to site constraints, the stacking lanes cannot be set back 25', but they have not provided the proposed setback. The setback of the proposed drive thru stacking from the Kemper Road right-of-way needs to be provided.
- 6) Section 153.302 (D) (5) requires the bypass access drive to be a minimum of 10 feet in width. Sheet C-200 indicates the bypass access is to be only 9' in width.
- 7) To provide a safe pedestrian connection across the drive aisle and two drive thru lanes on the west side of the store, a flashing Ped X sign needs to be provided at the crosswalk. The applicant has indicated such a sign on Sheet C-200.
- 8) A landscape plan was submitted to which staff has the following comments:
  - A) There is no Landscape Plan uploaded in this latest submission. The Landscape Comment response letter, dated 10.30.2023, states bufferyard plant quantities were updated, however there is no plan.
  - B) The Landscape Comment response letter states that a tree survey is forthcoming and existing tree locations were temporary added to the Plan based on Google Maps imagery. The plan set needs to accurately identify all the trees are their current size to be removed even if they were planted as part of the recent site improvements.
  - C) Plant diversity is provided, however the plant quantities should be spread equally amongst the different species. Shrub quantities need to be more equally divided.

The Applicant requested clarification on the requirement in the code. Plant material diversity, with even distribution, is required per Section 153.403 (E).

	Shrubs	
149	Berberis thunbergii 'Crimson Pygmy'	Japanese Barberry
199	Ilex glabra 'Shamrock'	Shamrock Inkberry
71	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea
97	Taxus x media 'Densifomis'	Dense Yew
23	Viburnum dentatum	Arrowwood



- 9) Given the amount of traffic generated by the use and the potential for vehicular/pedestrian conflicts on site, staff would consider the use a medium activity level use. The applicant is proposing LED lighting for the site mounted at 24 feet which is permitted per Table 351-1. The permitted average illumination is 2.0 footcandles. The applicant is proposing an average of 4.15 footcandles in the parking areas and over 35 footcandles under the service canopy. A maximum of 10 footcandles is permitted where the applicant is proposing a maximum of 8 footcandles in the parking lot areas and 51.4 footcandles under the north service canopy. The color of the poles and fixtures is indicated as “3,000 K” with no additional information provided other than a note indicating “pole/fixture finishes to be selected by architect/owner”. Per Section 153.351 (E) (4), all fixtures and poles must be a dark non-reflective color.
- 10) The existing waste enclosure is to be relocated to the south property line. It is to remain compliant with Section 153.254 (G) and be located not less than 5 feet from the property line.
- 11) There are no modifications to the building or on-site signage needs to be provided.

**Considerations:**

Should Planning Commission choose to recommend approval of the “PUD” major modification and recommend approval of the zone map amendment from “SS” to “PUD”, the following items should be considered:

- 1) The two members of Planning Commission who serve on Council determine that per Section 153.256 (H) (1), the proposed modifications to the existing “PUD” is a major amendment.
- 2) The minimum landscape area of the total 98,785 square foot site is 30.71% (29,721 square feet).
- 3) A 10 foot setback, per Section 153.404 (G), be provided from all parking areas and drive aisles to public or private streets/access aisles.
- 4) All stacking lanes, per Section 153.304 (B) (1), be a minimum of 10 feet in width.
- 5) Per Section 153.302 (D) (5), the bypass access drive shall have a minimum width of 10 feet.
- 6) The applicant provide the proposed setbacks for the drive thru stacking lanes and Planning Commission determine if the proposed setback is appropriate.
- 7) The Landscape Plan be revised per staff comments.
- 8) The relocated waste enclosure will comply with all the requirements of Section 153.254 (G).

- 9) There are no modifications to the existing building, building or free standing signage.
- 10) Planning Commission needs to determine if the proposed photometric lighting plan is appropriate in terms of light levels. All fixtures and poles are to be a dark non-reflective color.

Planning Commission Actions:

- 1) Planning Commission determine that the proposed Major Amendment to the existing Final Development Plan is appropriate and recommend approval to City Council.
- 2) Planning Commission determine that the proposed zone map amendment for the 0.74 acre parcel from “SS” Support Services to “PUD” Planned Unit Development is consistent with Plan Springdale and should be approved. The submitted Preliminary/Final Development Plan submitted as a part of the zone map amendment should be approved with the “PUD” zone map amendment.

Submitted By:

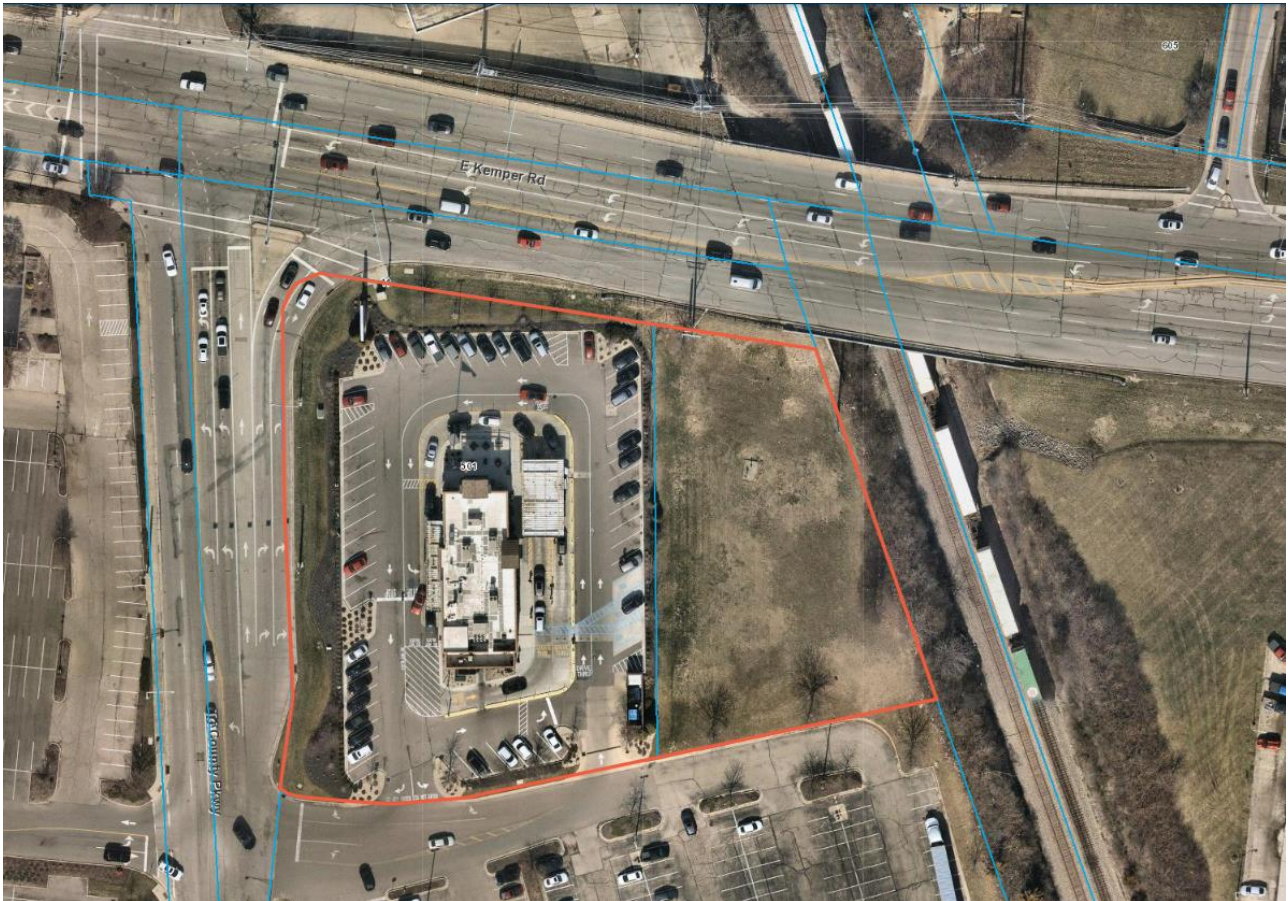
Anne F. McBride, FAICP  
City Planner

MDC# 1517



**CHICK-FIL-A**  
**501 E. KEMPER ROAD**  
**PLAN REVIEW APP # 20230739**  
**19020115**  
**NOVEMBER 10, 2023**

**PLANNING COMMISSION**  
**ENGINEERING REVIEW**



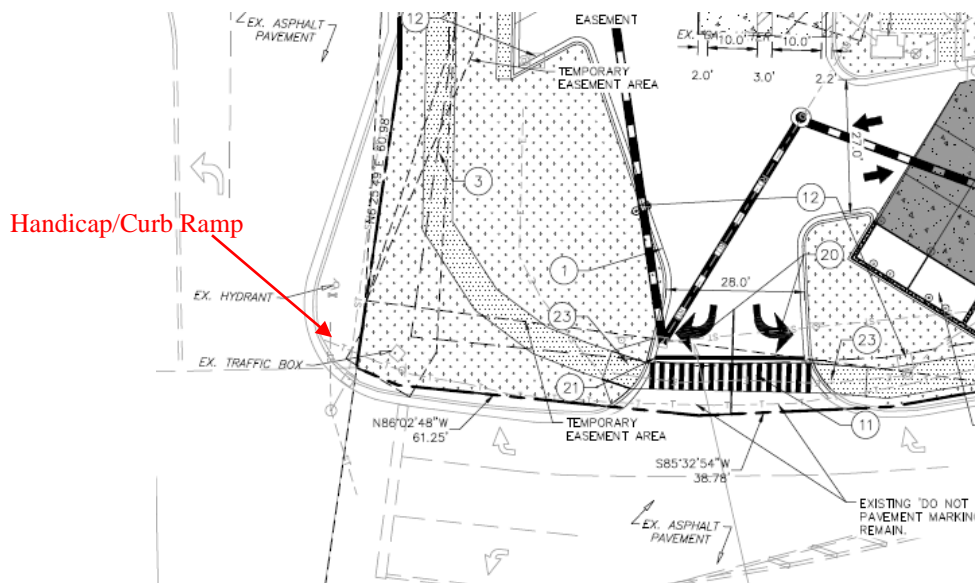
***PROJECT SITE***

**REQUEST:** The Applicant is requesting to utilize the recently acquired adjacent parcel to improve the Chick-fil-A's service capacity. The existing conditions are such that the site experiences a significant backlog during peak hours leading to congestion along access roads. The improvements also aim to increase pedestrian connectivity by creating sidewalk paths directly to the building.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

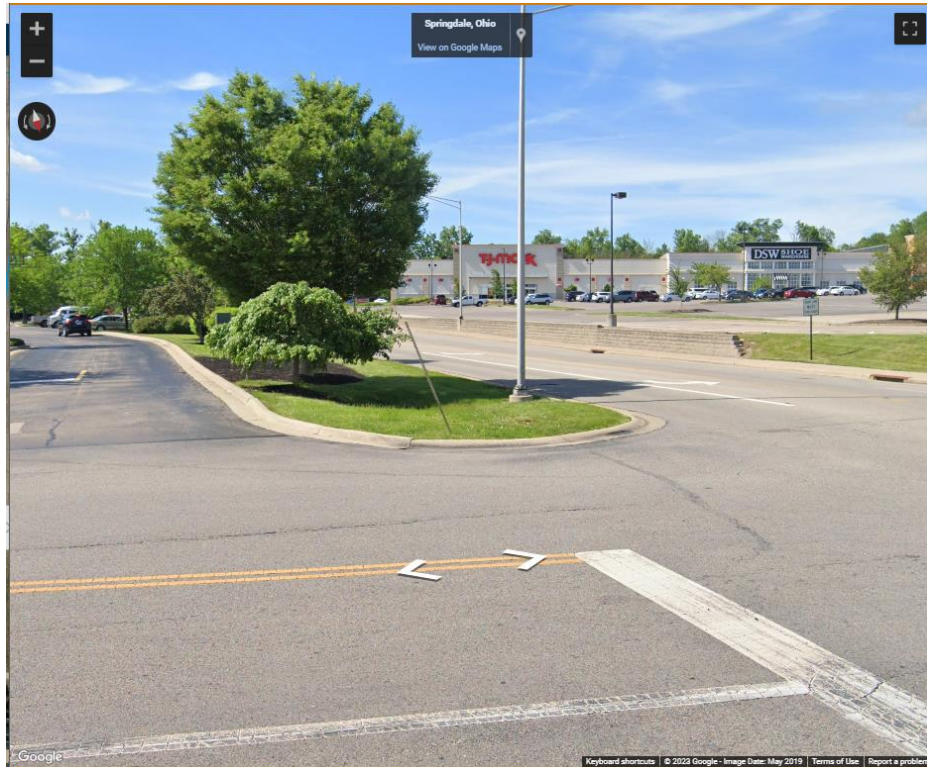
## A. SITE LAYOUT

1. The sidewalk tie-in shall be revised to better align with the existing ramp. The sidewalk at this location may need to be wider and located at the back of curb. The submitted site plan dated October 30, 2023, noted that the proposed connection to the existing curb ramp is to be finalized in the construction drawings.
2. The site plans shall also be revised to extend the sidewalk to the curb at the shared entrance drive along Tri-County Parkway and construct a handicap/curb ramp. The curb ramp shall be oriented for a future ramp to the south crossing the shared entrance roadway.

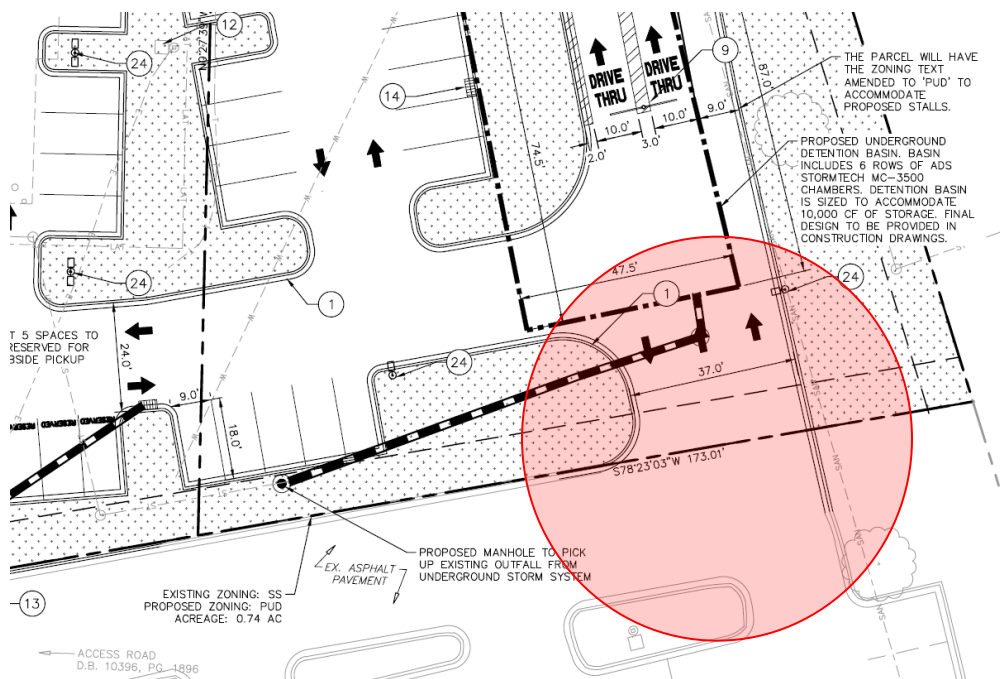


3. The proposed sidewalk to be constructed within the public right-of-way shall conform to the City regulations and PROWAG. As per City regulations, 150.31(G), One course class C concrete sidewalks shall be constructed where shown on the plan or typical sections, including all walkways. One-half inch expansion joints shall be placed at intervals not to exceed 100 feet, and contraction joints equally spaced at 5-foot intervals. All sidewalks shall connect to the pavement or curb at intersections, with 1/2-inch expansion joint between the sidewalk and curb. Handicap ramps shall be placed in all curbs as per the city standard construction drawings. The minimum width of the sidewalk shall be 5'.
4. The site plan shall include a sidewalk detail/typical for installations included in the public right-of-way in part of the construction plans. Where the location of the proposed sidewalk varies from the typical, the distance from the back of curb shall be noted on the site plans.
5. Per City regulation §93.15, a driveway application and permit are required for work within the public right-of-way. The Applicant will need to include all details for work inside the public right-of-way such as curb replacement, pavement restoration, storm sewer installation/trench backfill, etc., in the final construction plans. The Applicant shall refer to the appropriate City / ODOT specifications and details associated with the proposed installations within the right-of-way.
6. It was noted that grading and landscaping installations / easements was proposed within the Kemper Road right-of-way. A copy of the approved permit and recorded easement from the County shall be provided by the applicant prior to issuance of the construction permit.

7. There is a concern with the site distance at the intersection of the at the shared entrance drive along Tri-County Parkway. It is recommended that the applicant coordinate with the adjoining property owner to the south to improve the situation.



8. It is recommended that the western entrance be reduced to two lanes (entrance lane and exit lane).



9. The site plan includes construction of drive-thru canopy immediately adjacent to a water main easement. The canopy shall be located outside of the easement and it is recommended that the existing easement(s) be staked prior to construction of the canopy.

## B. UTILITIES

1. The city has been notified of past issues/breaks associated with the private sewer line located on the eastern property line. It is advised that the applicant inspect the line prior to construction.

## C. STORMWATER MANAGEMENT

1. Post construction water quality best management practices:
  - a. As per the City regulations 151.04(A)(4), Improvements shall be designed such that, at a minimum, all developed areas are treated with an acceptable postconstruction storm water quality best management practice. Practices chosen must be sized to treat the water quality volume (WQv) and to ensure compliance to the maximum extent practicable with Ohio EPA Water Quality Standards (Ohio Administrative Code Chapter 3745-1) and Ohio EPA Construction General Storm Water NPDES discharge permit requirements applicable to the property. The WQv shall be equal to the volume of runoff from a 0.75-inch rainfall. Sites that have been previously developed where no Post-Construction BMPs were installed are required to provide:
    - a. A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
    - b. Treatment of at least 20 percent of the WQv.
    - c. A combination of (a) and (b).

The site plans and dated October 30, 2023, indicate that existing site impervious area is to be increased from 48,588 SF to 69,364 SF, providing a 20,766 SF or 42.8% increase as part of the proposed expansion. To manage the increased runoff, an additional underground detention system is proposed consisting of 6 rows of ADS Stormtech MC-3500 chambers, to accommodate 10,000 CF of storage. The stormwater memo indicates that a more detailed design of the underground detention will be provided at the time of the Construction Drawing Submittal. This is acceptable to Staff however final stormwater management calculations shall also be provided with the construction plans.

- b. As per the City regulations 151.04(F), All underground detention chambers shall be inspected by the property owner to ensure that the detention chambers are in compliance with the approved water management and sediment control plan and the city's regulations. The site plans shall be revised to include a note to clean and inspect the both the existing and proposed underground detention chamber isolator rows after construction to ensure they maintain their functionality.
- c. As per the City regulations 151.04(7)(b), an Operation and Maintenance Agreement will need to be completed for the post construction water quality measures and recorded as a covenant, prior to the Certificate of Occupancy being granted.
- d. No grading work will be permitted on the site until all OEPA and/or USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved

by the city and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#). The site plans dated October 30, 2023, indicate that the limit of disturbance encompasses 2.16 acres, therefore a detailed Storm Water Pollution Prevention Plan (SWP3) is required. The applicant shall submit a copy of the Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit with the construction plans.

It should be noted that plans approved by the City of Springdale subject to the condition of compliance with applicable Federal, State and local laws, rules, regulations and standards. Approval of plans does not constitute an assurance that the proposed improvements will properly function, operate or meet-compliance with Federal, State or local laws and regulations.