

PLANNING COMMISSION MEETING
SUMMARY MINUTES
June 14, 2023
7:00 P.M.

I. CALL MEETING TO ORDER

The meeting was called to order at 7:00 p.m. by Chairman Okum.

II. ROLL CALL

Staff Present: Carl Lamping, Building Official,
Anne McBride, City Planner
Shawn Riggs, City Engineer

Members Present: Dave Okum Chairman; Tom Hall, Secretary; Bob Diehl,
Joe Ramirez, Jeff Singleton, Meghan Sullivan-Wisecup

III. PLEDGE OF ALLEGIANCE

IV. MINUTES OF THE REGULAR MEETING ON MAY 9, 2023

Motion to adopt minutes made by Mr. Hall.

Mrs. Sullivan-Wisecup seconded the motion.

Voice vote taken and the minutes were adopted by a vote of 6-0. (Galster was absent)

V. REPORT ON COUNCIL

Report on City Council presented by Mrs. Sullivan-Wisecup for the meeting held on June 7, 2023. Minutes and recording of that meeting can be found on the City website.

VI. CORRESPONDENCE - None

VII. OLD BUSINESS - None

VIII. NEW BUSINESS

A. OVERBECK AUTO – CONDITIONAL USE – ROUTE 4 CORRIDOR REVIEW
11452 SPRINGFIELD PIKE
(Application # 20230316)

Ms. McBride read her comments. Ms. McBride noted that a previous conditional use was approved for this property in 2010 for Pep Boys and that there subsequently another automotive repair facility after Pep Boys left. However, since the property has been vacant for over six months, thereby the previous conditional use has now expired. Ms. McBride stated that staff did not receive a site plan for this application. Staff is recommending a six foot solid fence to screen from the residential use to the north this property. While the applicant did include signage proposal in the submission, it was unclear what staff should recommend in regards to allowable signage size due to the lack of a site plan from the applicant.

Mr. Riggs did not have any additional comments.

Matt Overbeck of Overbeck Auto Services gave further details of the request.

Mr. Okum opened up the floor for the Public Hearing. Ms. Jennifer Hoinke-Klekamp, one of the owners of the property gave her endorsement of this project moving forward.

Mr. Okum entertained a motion to approve the following request, Overbeck Auto at 11452 Springfield Pike, Case Number 20230316, per the specifications and designs provided in the meeting packet as exhibits were submitted by the applicant prior to this meeting and review by staff. This motion includes:

1. Staff's, City Planner's, recommendations and considerations contained in their report.

2. Whereas all other Zoning Code regulations and conditions not detailed in this motion shall remain in effect.

Mrs. Sullivan-Wisecup made a motion to approve as presented. Mr. Hall seconded. Commission was polled and the motion was approved 6-0.

B. WAWA – DEVELOPMENT PLAN REVIEW
370 AND 380 GLENSPRINGS DRIVE
(Application # 20230312)

Ms. McBride read her comments. Ms. McBride stated that of the three pieces of property that are being considered, one of them is owned by the City of Springdale. The property owned by the City of Springdale has a pylon sign. While that sign has signage for the Days Inn, and the former Las Isla Maria restaurant, it was a non-conforming sign. Since the Las Isla Maria restaurant has been closed for over six months, that panel has to come down because it has lost its non-conforming status.

Mr. Riggs read his comments. Mr. Riggs stated that the applicant submitted a traffic impact study. The results stated that for the traffic to work at a Level of Service "D", at the no build condition, which without any changes, without the development, in 2024, the intersection will continue to operate at a Level of Service "D". With the addition of another left turn lane on Glensprings, it would continue to operate at a Level of Service "D" in the build condition for both 2024 and 2034 traffic. With a revision to the right turn analysis, a dedicated right turn only lane into the first entrance off of Springfield Pike on to Glensprings, would then result in possibly widening Glensprings two lane instead of just one. Mr. Riggs stated that staff had some concerns regarding the widening of lanes to the north end of the property since this would possibly affect the headwall and an extension to the culvert may also be necessary.

Paul Hanson, CESO gave further details about the request. Mr. Hanson did state that while the original application did state potential development of a specific area on the acreage, that has been changed and it will now be additional green space. Mr. Hanson also stated that the existing non-conforming pole sign located at the corner of Springfield Pike and Glensprings Drive will be removed and one ground-mounted sign on Glensprings and one on Springfield Pike, which will be worked out with staff regarding the final location. They are currently in negotiations with Days Inn regarding the highway pylon sign that exists that is also non-conforming. Mr. Hanson also stated that it was willing to work with staff regarding the results of the traffic study which dealt with any additional lanes that would be needed. The tree count would be included in the final landscape plan as well.

Mr. Warnement, Wawa gave information regarding the expansion of Wawa in the area.

Mr. Hall asked if the land was purchased for this potential Wawa location. Mr. Warnement introduced Jory Zola of Compton Addy for an update as the purchase of the land. Mr. Zola stated that it is currently under contract, with plans to close on the transaction in September

Mr. Ramirez asked if there would possibly be charging stations at this location. Mr. Warnement stated that Wawa has a corporate agreement with Tesla and showed on the presentation where the eight parking spots would be located with conduit run to them. However, it would be up to Tesla to install beyond that point.

Mr. Okum asked further questions regarding the color of the metal canopy structure since certain colors are required in the Route 4 corridor. Mr. Grassman of Wawa answered further questions regarding the canopy. Mr. Riggs was able to provide an image of the canopy for the Planning Commission.

Ms. McBride asked Planning Commission to make some decisions regarding the percentages of brick and transparency, and color scheme. Ms. McBride did note that Wawa has a challenging situation with road frontage on three elevations. Ms. McBride requested that Wawa provide a percentage of each elevation that will be non-earth tone colors.

Mr. Okum entertained a motion to approve the following project Wawa C Store Development Plan 370 Glensprings Drive, Project 20230312 per the specifications and designs provided in our meeting packet as exhibits which were submitted by the applicant prior to this meeting and reviewed by staff. This motion includes the following conditions:

1. Staff's, City Engineer's, and City Planner's recommendations and considerations contained in their report. This motion also includes whereas all other zoning regulations and conditions not detailed in this motion will remain in effect. Any changes to the above conditions shall constitute a change to the approved plan. Such changes shall require approval of the Springdale Planning Commission.

Mr. Hall made a motion to approve as presented. Mrs. Sullivan-Wisecup seconded.

Ms. McBride noted that the applicant had also indicated that they would be taking down the pylon sign on the City-owned property.

Mr. Okum stated that the motion would further include removal of the pylon sign at Springfield Pike and Glensprings.

Mr. Hall made a motion to include the addition of the removal of the pylon sign at Springfield Pike and Glensprings. Mrs. Sullivan-Wisecup seconded. Commission was polled and the motion was approved 6-0.

IX. DISCUSSION - None.

X. CHAIRMAN'S REPORT

Mr. Okum stated that he would not be at the July 11, 2023 meeting. Mr. Galster would be the Chair at the July meeting.

XI. ADJOURNMENT

Mr. Hall moved to adjourn.

Mrs. Sullivan-Wisecup seconded the motion.

Meeting was adjourned with a voice vote of 6 to 0.

Respectfully submitted,

_____, 2023 _____
Dave Okum, Chairman

_____, 2023 _____
Tom Hall, Secretary



August 21, 2023

Mr. Carl Lamping
Building Official
City of Springdale
11700 Springfield Pike
Springdale, OH 45246

Via Email

Re: Plant Aid Donation Box
Kemper Commons PUD
600 Kemper Commons Circle
Application #2023-0509

Dear Mr. Lamping

Planet Aid would like to place a 20'x 8' x 9' donation box in three parking spaces in the parking lot of the Tri-County Commons at 600 Kemper Commons Circle. Per Section 153.253 (E) (3) (i), the size of donation boxes is limited to 36 square feet, but we would like to place a donation box which is over four times the size permitted. We would like to provide the following details of the proposed donation box:

1. **Parking Tabulations:** We would like to place the donation box in three parking spaces. Kemper Commons currently has 2,890 total parking spaces.



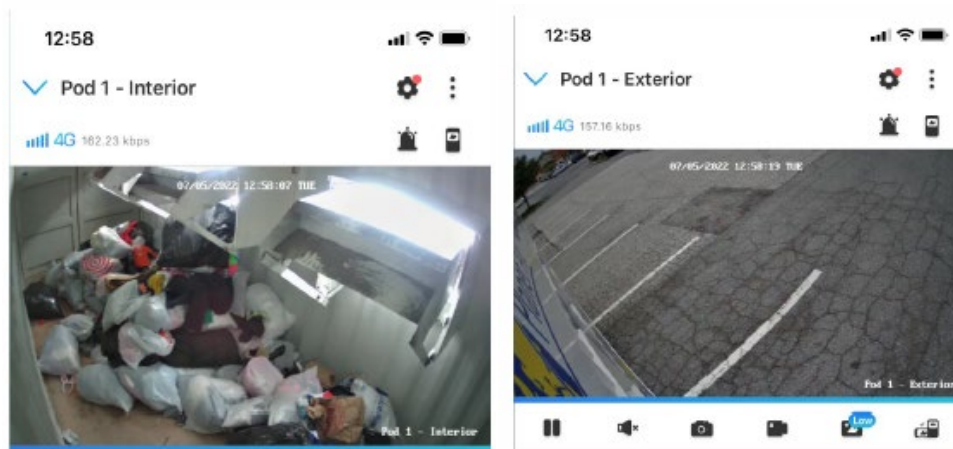
- Signage on the Box:** Please see attached pictures of the Planet Aid box signage. Please see below. This is the exact model we will place in the Kemper Commons parking lot. The Box will be embellished with art work showing the mission of Planet Aid. Signage explains which items can be donated and how the Donation Box is monitored.



- Lights:** All Donation Boxes are equipped with outdoor lights. There are three lights at the top of the front of the box. As seen in Exhibit A. The lights and the cameras are both powered by solar panels which are installed on the roof.



4. **Service Schedule:** Our Donation Boxes are serviced by a dedicated attendant at least five times a week. We anticipate that this Donation Box will be successful and we will monitor the number of donations received and adjust the schedule accordingly.
5. **Box Security:** There are several cameras that monitor both the inside and outside of the Donation Box. The cameras are directly connected to Planet Aid's operations team through modems and are monitored online 24 hours, 7 days a week. This allows us to constantly check the outside and inside areas of the Donation Box and gauge the level of donations placed. The Box is a recycled shipping container that is made out of Corten steel (weathering steel). Our boxes are secured with durable locks and are fireproof. The cargo doors that split down the middle will only be assessable by Planet Aid staff and the two shoots on the front of the container will only open for clothes and close automatically. As an added protection, all Planet Aid boxes are covered by liability insurance.
6. **Lease Agreement:** Planet Aid will not be purchasing the property for the Donation Box. The company is in a Lease Agreement with Tri-County Commons Associates (LLC) where we intend to lease three parking spaces in the parking lot of the Shopping Center to place our Donation Box.
7. **Monitored Donation Box:** There is one camera that monitors the outside of the donation box and one camera that monitors the inside of the donation box. See example below.



8. **City of Cincinnati:** Planet Aid does not currently have any of our Donation Bins or Donation Boxes (Centers) within the city of Cincinnati, OH. The closest Donation Bins we have are at a Recycling Center in West Union, OH. We are hoping to expand our footprint in the Cincinnati vicinity.

Please let me know if you require any additional information.





Thank you for your prompt attention to this matter, and please feel free to contact me by phone at 240-319-0535 or by email at awaithe@planetaid.org.

Sincerely,

Anneve Waithe

Anneve Waithe
Permit Compliance Specialist





010022500

MONITORED DONATION CENTERS



HOW DOES IT WORK?

- SECURITY CAMERAS 24/7
- A DEDICATED SITE ATTENDANT
- SERVICED BY OUR OWN FLEET OF TRUCKS AND DRIVERS



Contact us:

Uli Stosch

Chief Officer of Strategic Development

✉ ustosch@planetaid.org

☎ (240) 653-7345

Lauren Bailey

New Business Development Manager

✉ lbailey@planetaid.org

☎ (443) 827-7057

New England

📍 47 Sumner St. Milford, MA 01757

☎ (508) 893-0644

Mid-Atlantic

📍 6730 Santa Barbara Ct. Elkridge, MD 21075

☎ (410) 796-1510

BRINGING THE COMMERCIAL AND CHARITABLE SECTORS TOGETHER

GENERATE ADDITIONAL
INCOME BY LEASING YOUR
OUTDOOR SPACE



BRINGING THE COMMERCIAL AND CHARITABLE SECTORS TOGETHER



Planet Aid's mission is to inform, mobilize and inspire individuals and communities to work together to bring about worldwide environmental and social progress.

• Generate Additional Income

When you lease your outdoor space to Planet Aid you can generate additional income from your properties.

• Build a Sustainable Future

According to the EPA, more than 84% of all textiles end up in the waste stream. Planet Aid's clothes collections help reduce CO2 emissions and save millions of gallons of water.

• Strengthening Communities

Planet Aid is your charity of choice. We support communities in Asia, Africa, Latin America and the United States. Our focus is health, education, food and community development.



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Planet Aid Donation Center **Area of Development:** _____ Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 600-810 Kemper Commons Circle, Cincinnati, OH 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Applicant: Planet Aid, Inc. 240-319-0535
(Name) (Daytime Phone Number)

6730 Santa Barbara Ct, Elkridge, MD 21075 awaithe@planetaid.org
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at:
<https://www.springdale.org/building-department.aspx>

<input type="checkbox"/> Major Project: Application process requires a Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council. Include Major Projects Submission Requirements Document with this Application <i>Project Types include the following: (Pick 1 Below)</i>	<input checked="" type="checkbox"/> Minor Project: Application process requires a Meeting and a Decision by Planning Commission. Include Minor Project Submission Requirements Document with this Application <i>Project Types include the following: (Pick 1 Below)</i>	<input type="checkbox"/> BZA Hearing: Application process requires a Public Hearing and a Decision by the Board of Zoning Appeals. Include BZA Submission Requirements document <i>Project Types: (Pick 1 Below)</i>
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<input type="checkbox"/> Zoning Text or Map Amendments Describe Zone Change and Total (Net) Acres Below Section 153.202	<input type="checkbox"/> Concept Plan <small>(Hearing by PC/ No Decision)</small> <input type="checkbox"/> Development Plan <small>Section 153.203</small> <input type="checkbox"/> Conditional Use Permits <small>Section 153.204</small> <input type="checkbox"/> Determination of Similar Uses <small>Sec 153.205</small>	<input type="checkbox"/> Variance <small>Section 153.206</small>
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Planned Unit Development (PUD): <input type="checkbox"/> Preliminary Development Plan <small>Sec 153.255(F)(1)</small> <input type="checkbox"/> Major Modification <small>Section 153.255 (H)(1)</small>	Planned Unit Development (PUD): <input type="checkbox"/> Final Development Plan <small>Section 153.255(F)(5)</small> <input checked="" type="checkbox"/> Minor Modification <small>Section 153.255 (H)(2)</small>	<input type="checkbox"/> Appeal <small>Section 153.208</small>
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Transition Overlay District (T-District): <input type="checkbox"/> Preliminary Development Plan <small>Sec 153.256(F)(1)</small> <input type="checkbox"/> Major Modification <small>Section 153.256 (G)(1)</small>	Transition Overlay District (T-District): <input type="checkbox"/> Final Development Plan <small>Sec. 153.256 (F)(5)</small> <input type="checkbox"/> Minor Modification <small>Section 153.256 (G)(2)</small>	
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<input type="checkbox"/> Route 4 Corridor Review District Plan All new exterior work on properties in the Rt 4 Corridor required to be Approved. <small>Sec 153.257(I)</small>
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BRIEFLY DESCRIBE PROJECT: We would like to place a 20'(feet) by 8'(feet) by 9'(feet) recycled shipping container that has been architecturally embellish to recieve clothing and shoe donations at this location. The container will take up of three, excess parking spaces. The container will be monitored by an attendant and have 24/7 surveillance cameras.
(Provide Existing and Proposed Zoning for this Property)

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

Anneve Waithe Anneve Waithe 7/13/2023
(12/16/2020) (Signature of Owner/Agent) (Print Name) (Date)



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Planet Aid Donation Center Total Area/Development: _____ Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 600-810 Kemper Commons Circle, Cincinnati, OH 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: _____ Acres Parcel ID: 059900
(From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

Property Owner: Tri-County Commons Associates LLC 914-570-3442
(Name From Auditor's Website) (Daytime Phone Number)

550 Mamaroneck Ave, Suite 411, Harrison, NY 10528
(Mailing Address; Street No; Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

STATE OF OHIO, COUNTY OF HAMILTON

I (we) Robert Y. Shasha, manager of managing member hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

[Signature]
 Signature

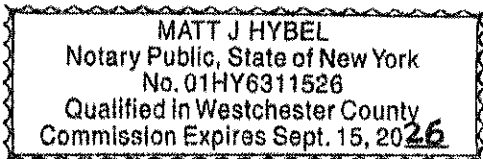
The Cotswold Group, 550 Mamaroneck Avenue, Suite 411
 Mailing Address

Harrison, NY 10528
 City and State

Subscribed and sworn to before me this 21st day of June, 2023

914-570-3442
 Phone

[Signature]
 Notary Public





**Planet Aid Donation Box
Kemper Commons PUD
600 Kemper Commons Circle
Application# 2023-0509
September 12, 2023**

Request:

A modification to the Kemper Commons PUD to allow for a donation box to be located within the development.

Comments:

Planet Aid would like to locate a 20' x 8' x 9' donation box in three parking spaces in the parking lot of the Tri-County Commons at 600 Kemper Commons Circle. The property is zoned "PUD" Planned Unit Development. The approximate location of the box would be southeast of the proposed U-Haul/existing Appliance Factory parcel space.

Section 153.253 (E) (3) of the Zoning Code regulates Donation Drop Boxes as follows:

Donation drop boxes:

Donation drop boxes are subject to the following development standards:

- a) Donation drop boxes shall be maintained in good condition and appearance with no structural damage, dents, holes, or visible rust, and shall be free of graffiti or deformation to the outside painted surface;
- b) Donation drop boxes shall be locked or otherwise secured;
- c) Donation drop boxes shall contain the following contact information in two inch type visible from the front of each unattended donation box: the name, address, email, and phone number of both the permittee and operator;
- d) Donation drop boxes shall be serviced and emptied as needed, but at least every 30 days;
- e) The area surrounding the donation drop box shall be free of any junk, debris, or other material;
- f) A maximum of one donation drop box is permitted per parcel;
- g) Donation drop boxes are not permitted to be located in any required drive aisle, parking spaces or buffers and not permitted in any required front yard setback. Drop boxes must be located on a hard paved surface;

- h) Donation drop boxes may not be located within 100 feet of a residential district and must not be closer than 400 feet to another donation drop box; and
 - i) The donation drop box cannot be larger than six feet wide, six feet deep, and eight feet tall. Donation drop boxes must have a lid.
- 1) The two members of Planning Commission, who also sit on City Council, will need to determine the inclusion of donation box within the Kemper Commons PUD site is a minor amendment to the approved PUD per Section 153.256 (H). Staff believes the modification to be a minor amendment.
 - 2) The proposed donation box is 160 square feet (20' x 8') and is 9' tall. Per Section 153.253 (E) (3) (i), the size of donation boxes is limited to 36 square feet (six feet wide, six feet deep, and six feet tall). Planning Commission would need to approve the larger donation box which is over four times the size permitted.
 - 3) The donation box is proposed to be located in three parking spaces. The applicant indicates that there is a total of 2,890 parking spaces within the Kemper Commons PUD. Although calculations to assure compliance with Section 153.302 (P) (1) were not provided, staff believes the loss of three parking spaces will not be an issue on the site.
 - 4) The proposed donation box appears to have signage on all four sides of the unit. Dimensions of the signage have been requested but not provided. Staff believes signage should be limited to a maximum of two sides. Details of the signage is to be submitted for Staff review and approval.
 - 5) The box is to be serviced five times per week according to the applicant. No donations are to be left outside of the donation box for more than 23 hours.
 - 6) There are to be three lights proposed for the exterior of the box that are solar powered. Given the lighting available in the parking field, staff does not believe additional lighting on the donation box is appropriate.

Considerations:

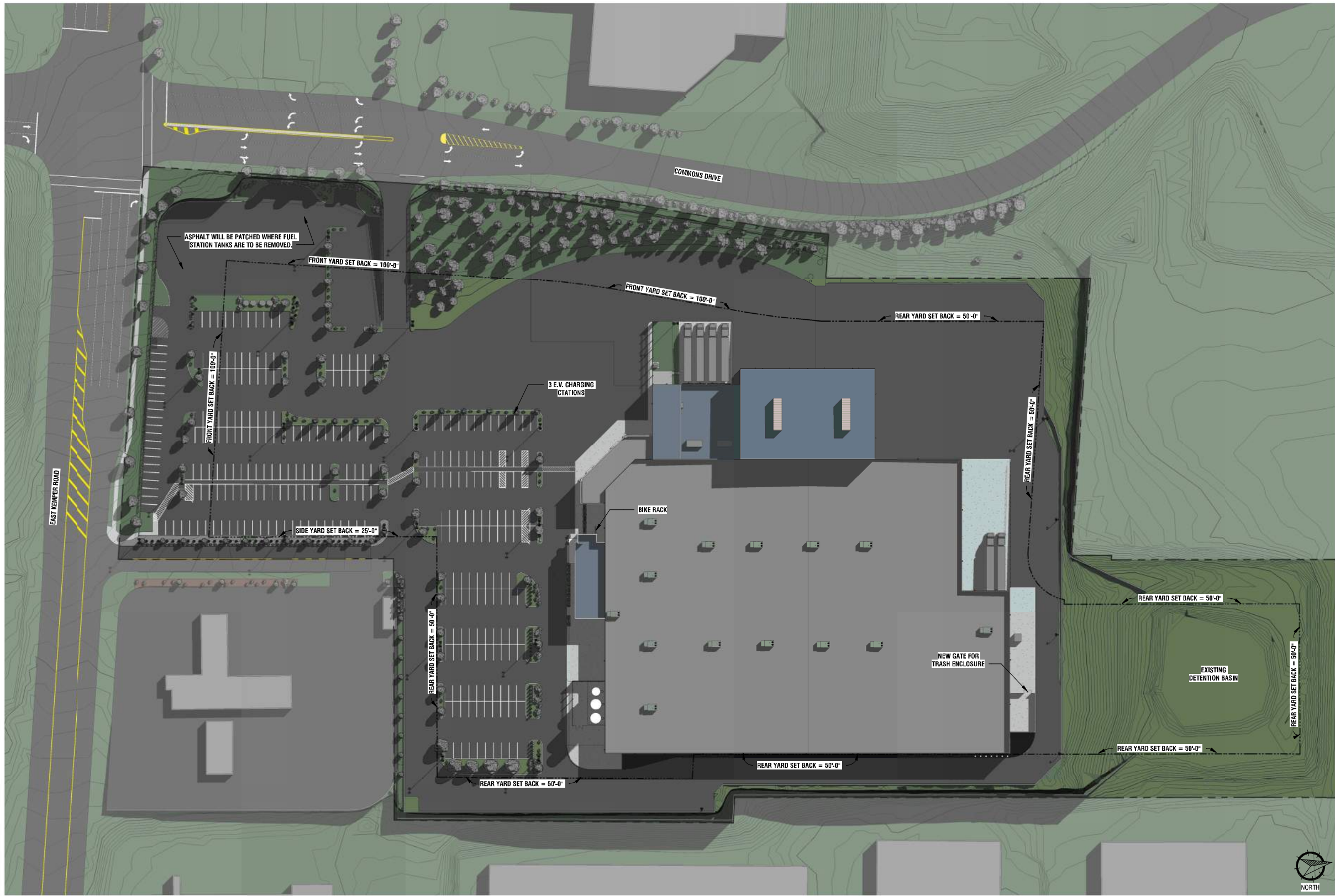
In considering the inclusion of a donation drop box within Kemper Commons PUD, the following items should be considered:

- 1) The two members of Planning Commission, who also serve on City Council, determine that the proposed request is a minor amendment to the PUD per Section 153.256 (H). Staff believes the request to be a minor amendment.
- 2) Planning Commission determine that it is appropriate to exceed the maximum donation box size permitted in Section 153.253 (E) (3) (i) of 36 square feet (6' x 6') and 6' tall and approve a box that is 160 square feet (20' x 8') and 9' tall.
- 3) Planning Commission determine that adequate parking will be provided for the PUD with the loss of three parking spaces.

- 4) Planning Commission determine that the signage on the donation box be limited to two sides of the box with dimensions of signage to be submitted for review and approval by staff.
- 5) The box is to be serviced a minimum of five times per week, and more frequently if warranted.
- 6) There is to be no donations of any items left outside of the box for more than 23 hours.
- 7) Planning Commission determine that the existing lighting on the site is adequate to provide illumination for the donation box. No additional lighting on the box is permitted.

Submitted by:

Anne. F. McBride, FAICP
City Planner



Phase 1:	
Existing Facility:	146,026 sf
Office Addition:	6,800 sf
Freezer Addition:	17,200 sf
Shipping Dock Addition:	7,000 sf
Total:	177,026 sf

GREEN SPACE CALCULATIONS		
HARD SURFACE	ISLANDS	GREEN AREA
205,726 Building		100,773 Basin
56,447 Pavement		27,307 New Buffer
40,876 NW drive		4,830 Entry Buffer
31,376 E drive		16,218 Corner Buffer
35,527 Gas		
4,722 Entry 1		
157,610 Parking	8,660	21,820 NW Buffer
5,112 Entry 2		
537,396	8,660	170,948
537,396		179,608
25.05%		

PHASE 1 SITE PLAN

PHASE 1 SITE PLAN

Ditsch Kemper Property, LLC
 Kemper Road Bakery
 1100 E Kemper Road, Springdale, OH 45246



A - Phase 1 (View of Main Entrance from Parking Lot)

Conceptual Designs by
STRUCTURA^{ltd}
architects

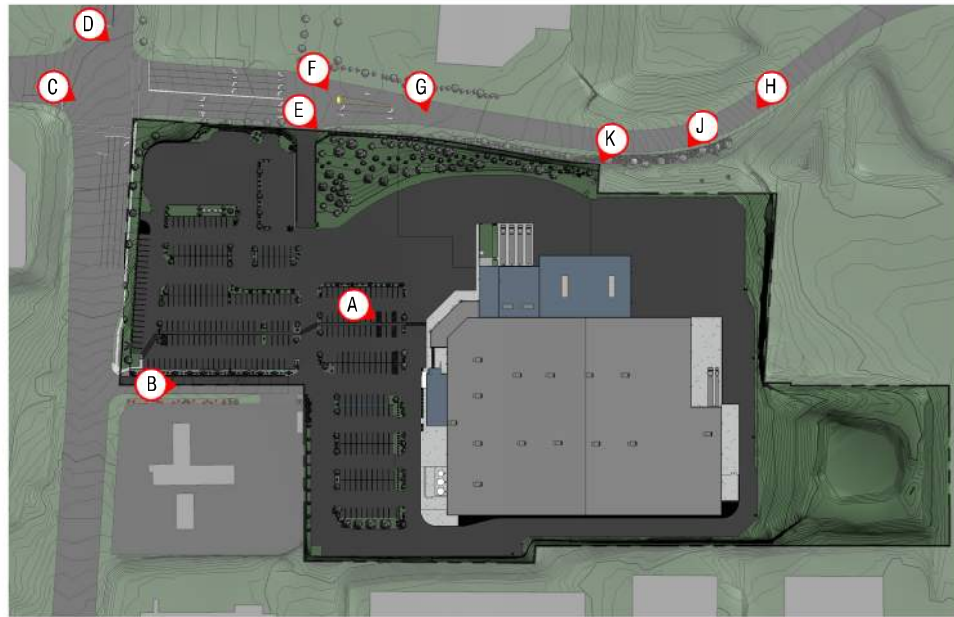
Issued: 09/01/2023

PHASE 1 SITE PLAN AND RENDERINGS

Ditsch Kemper Property, LLC
Kemper Road Bakery
1100 E Kemper Road, Springdale, OH 45246



SK-03.1



SITE PHASE I
 1" = 160'-0"
 NORTH



B - Phase 1 (Entrance from East Kemper Road)



C - Phase 1 (From Century Blvd at East Kemper Intersection)



D - Phase 1 (From East Kemper turning Left at Intersection to Commons Drive)

Conceptual Designs by
STRUCTURA *ltd*
 architects

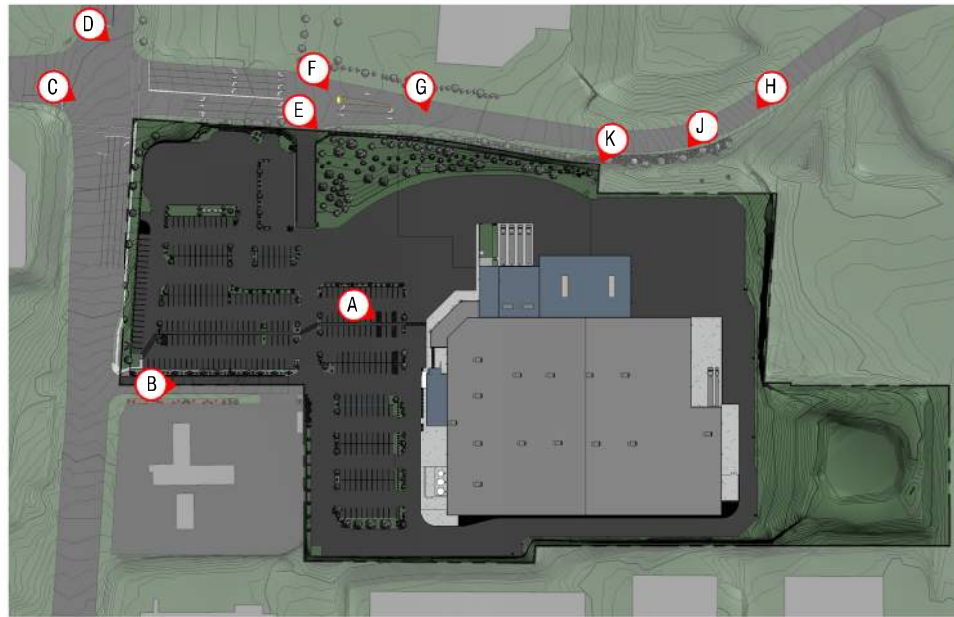
Issued: 09/01/2023

PHASE 1 SITE PLAN AND RENDERINGS

Ditsch Kemper Property, LLC
 Kemper Road Bakery
 1100 E Kemper Road, Springdale, OH 45246



SK-03.2



SITE PHASE I
1" = 160'-0"
NORTH



E - Phase 1 (View from Commons Drive near top of Entrance Ramp)

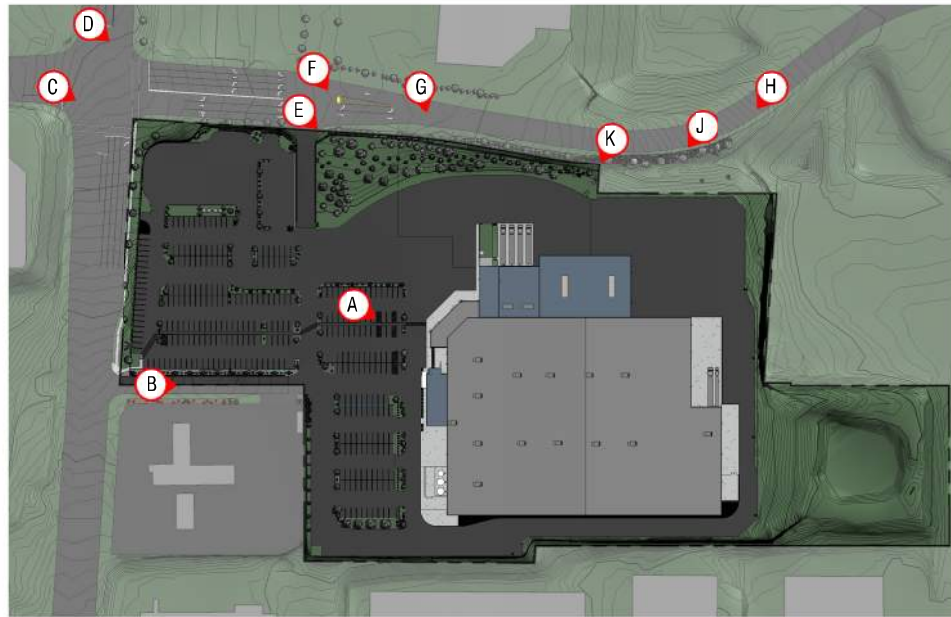


F - Phase 1 (View from Target South Exit onto Commons Drive)r1



G - Phase 1 (View from Target north Exit onto Commons Drive)

PHASE 1 SITE PLAN AND RENDERINGS



SITE PHASE I
1" = 160'-0"



H - Phase 1 (View from Commons Drive at the Bottom of Hill Heading South)



J - Phase 1 (View from Commons Drive Climbing Hill Heading South)



K - Phase 1 (View From Commons Drive Climbing Hill Heading South)

Conceptual Designs by
STRUCTURA *ltd*
architects

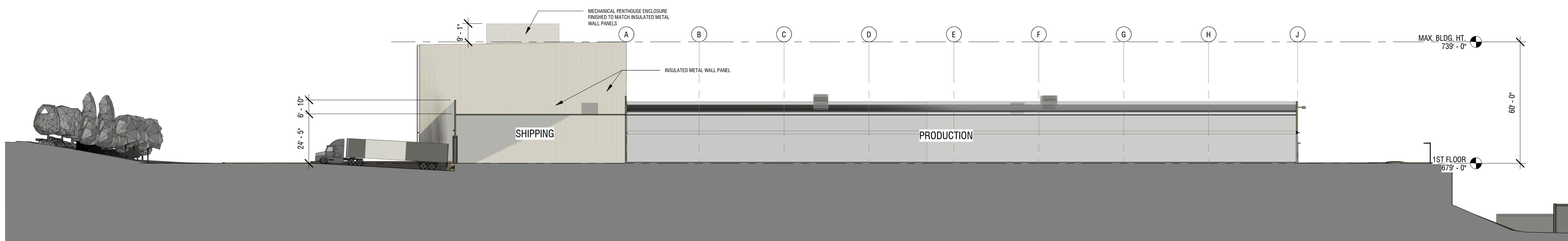
Issued: 09/01/2023

PHASE 1 SITE PLAN AND RENDERINGS

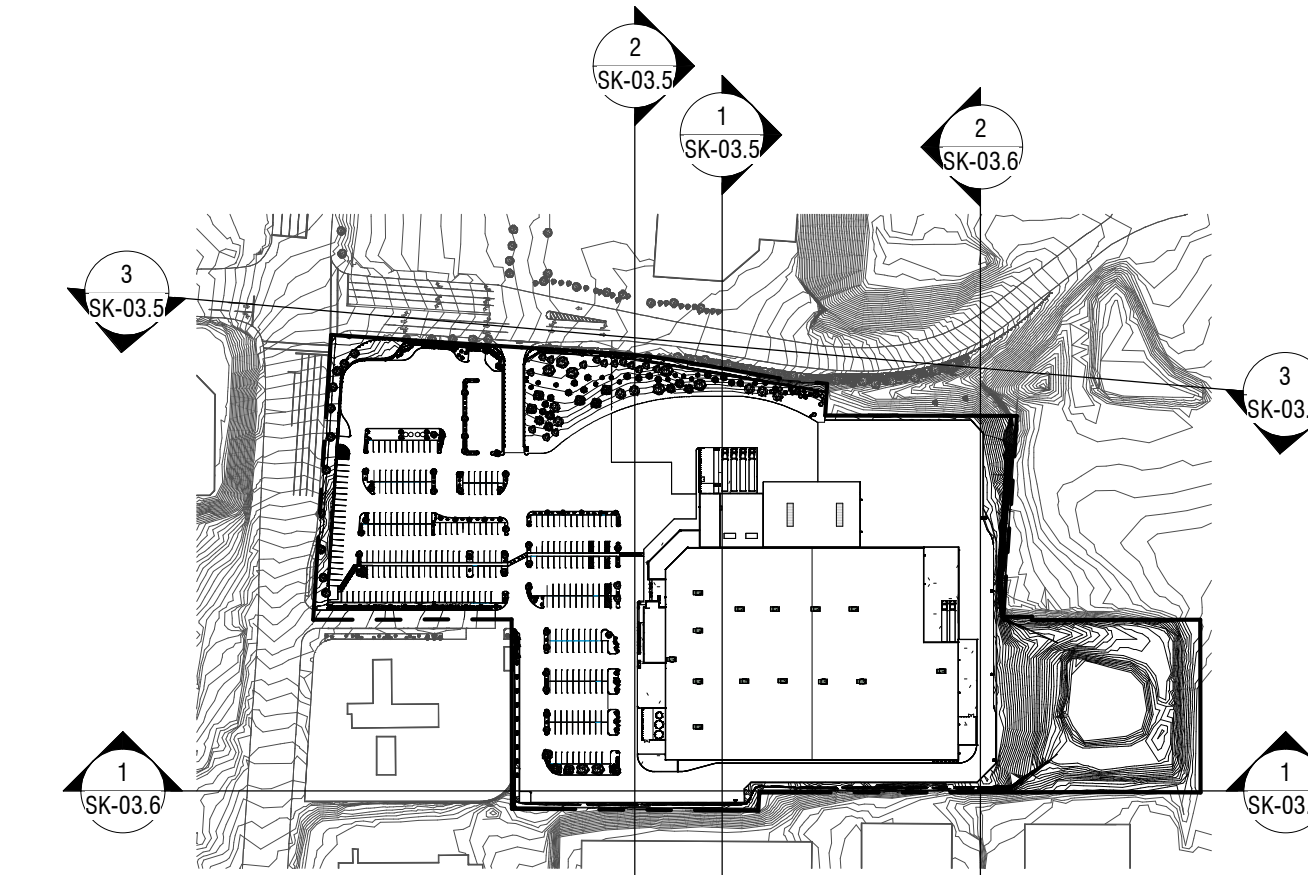
Ditsch Kemper Property, LLC
Kemper Road Bakery
1100 E Kemper Road, Springdale, OH 45246



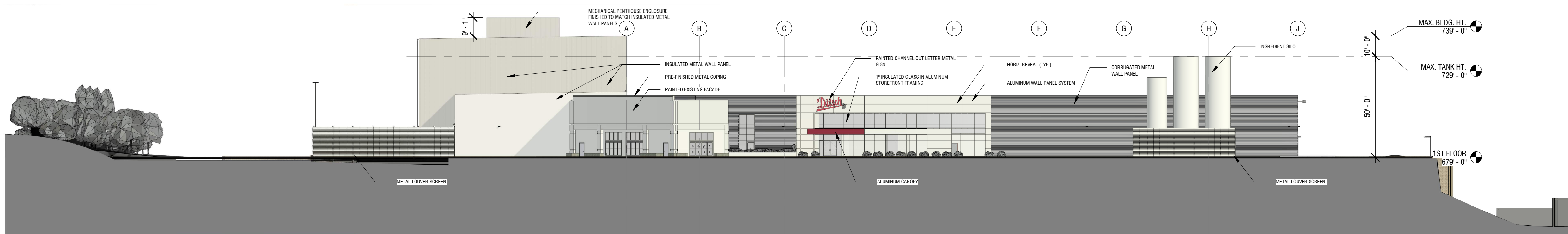
SK-03.4



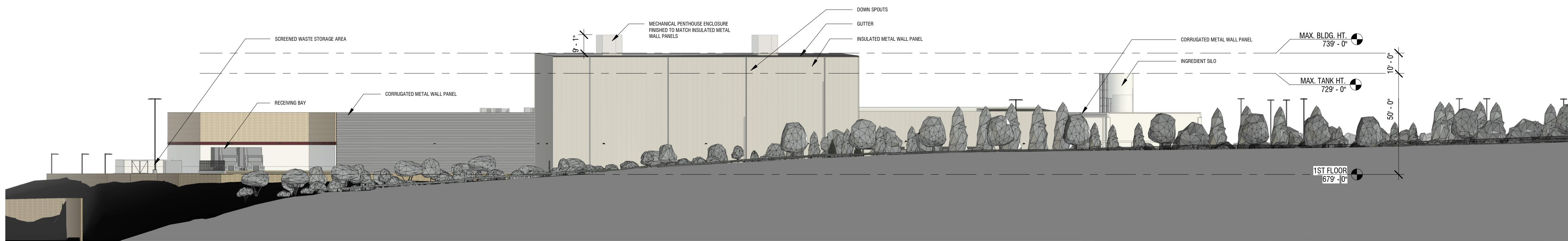
1
SK-03.5
DOCKS & BLDG SECTION - LOOKING NORTH
1" = 30'-0"



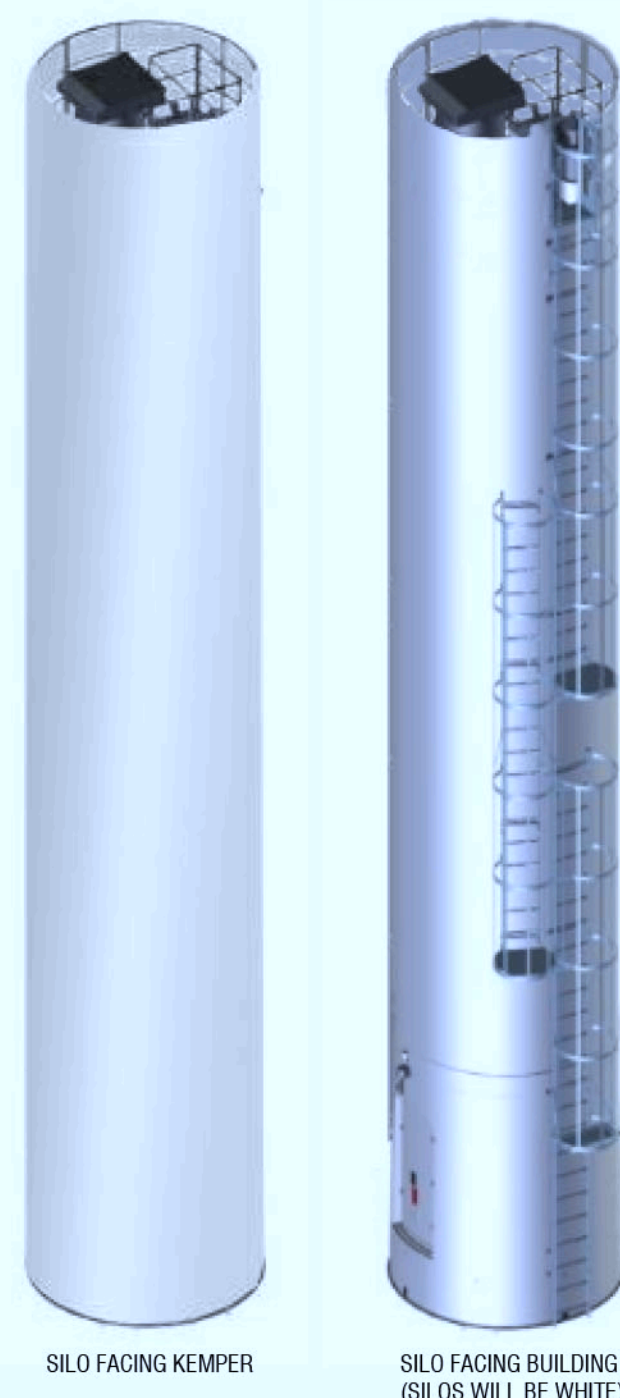
SECTION PHASE I KEY PLAN 04



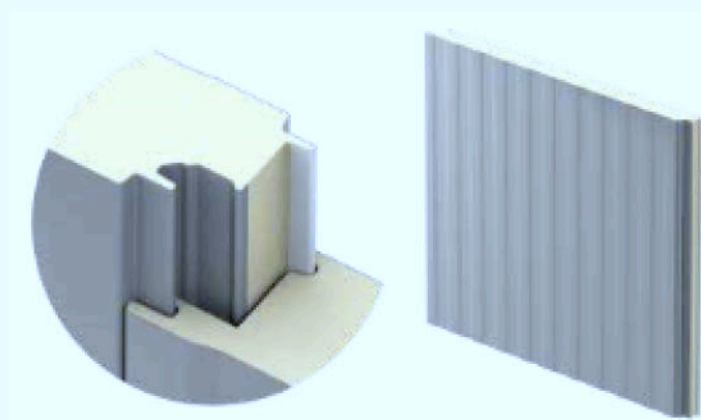
2
SK-03.5
DOCKS & BLDG ELEVATION - LOOKING NORTH
1" = 30'-0"



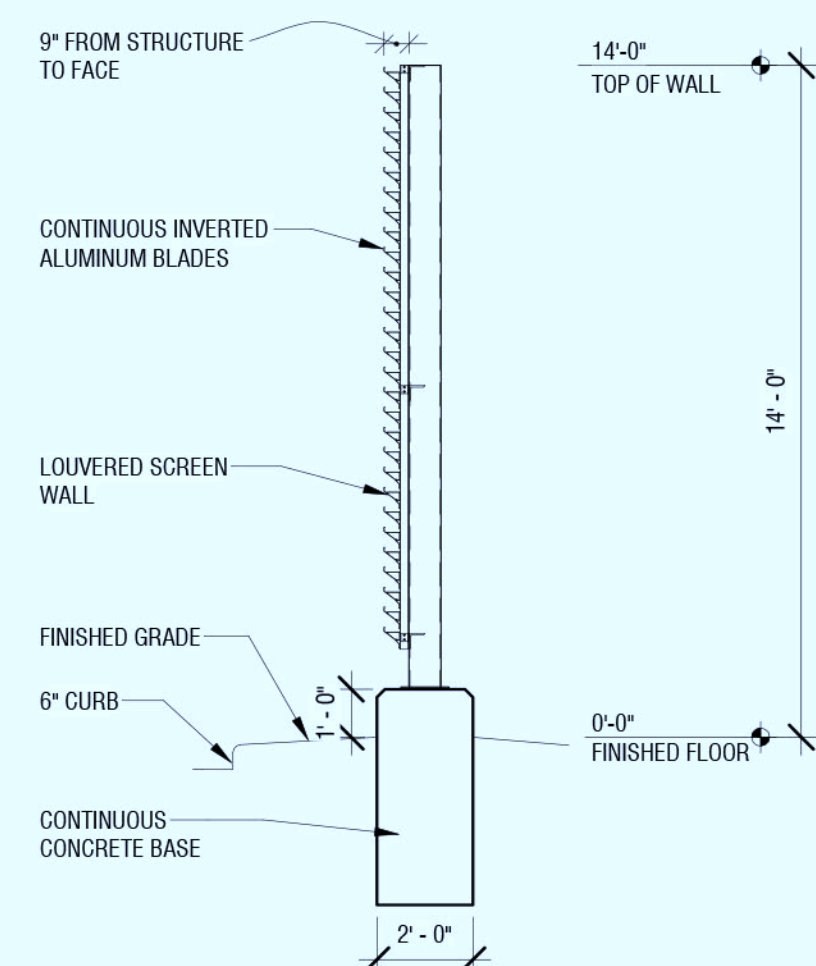
3
SK-03.5
SITE SECTION & BLDG ELEVATION - LOOKING EAST
1" = 30'-0"



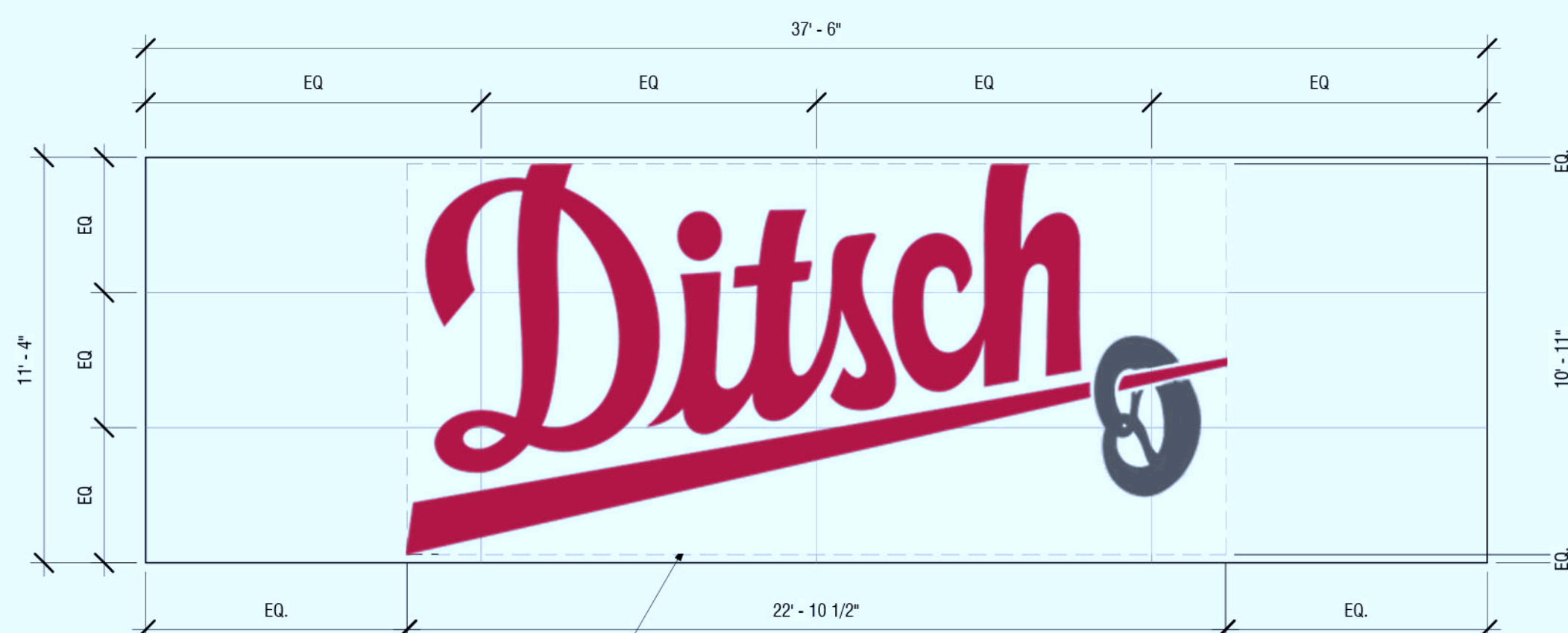
INGREDIENT SILOS



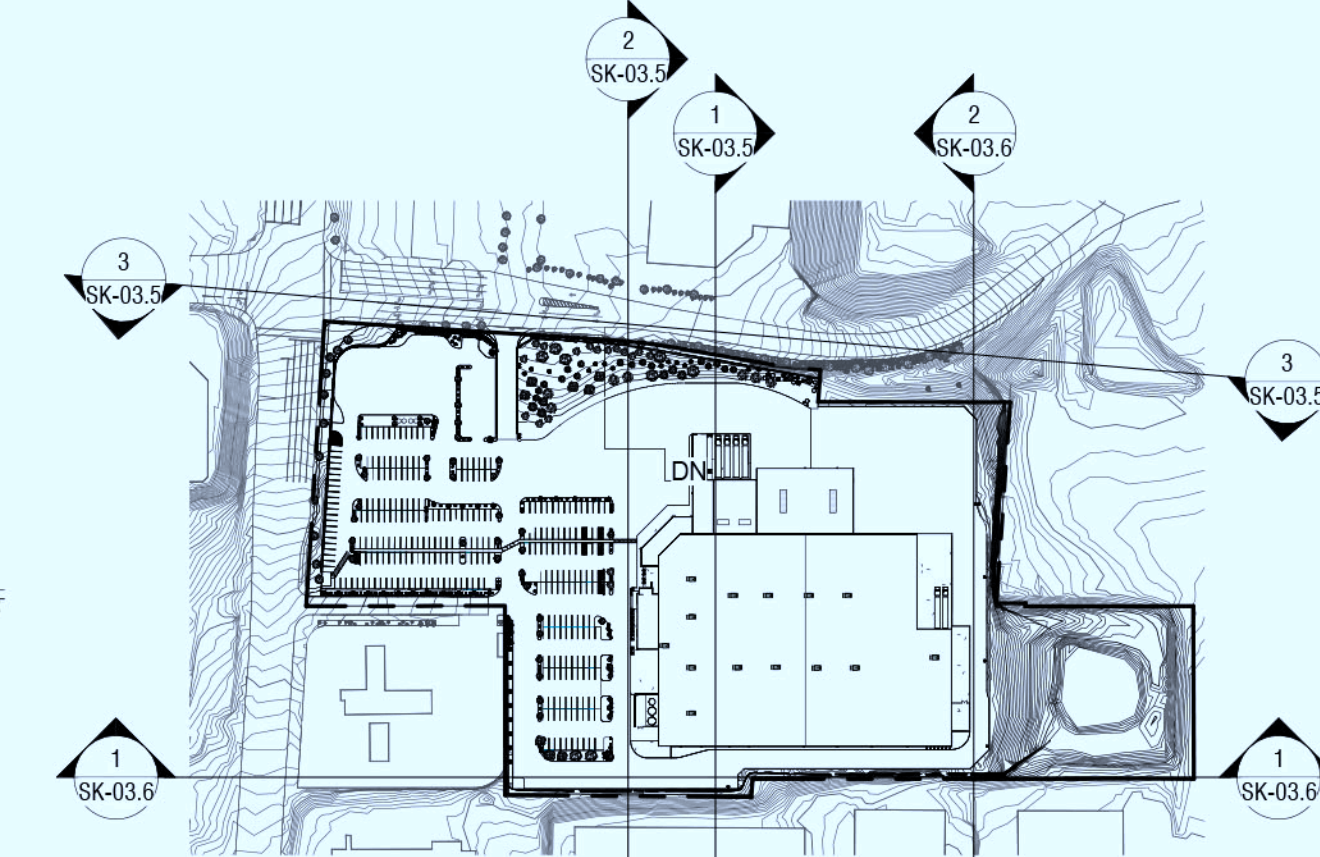
ROOF TOP UNIT



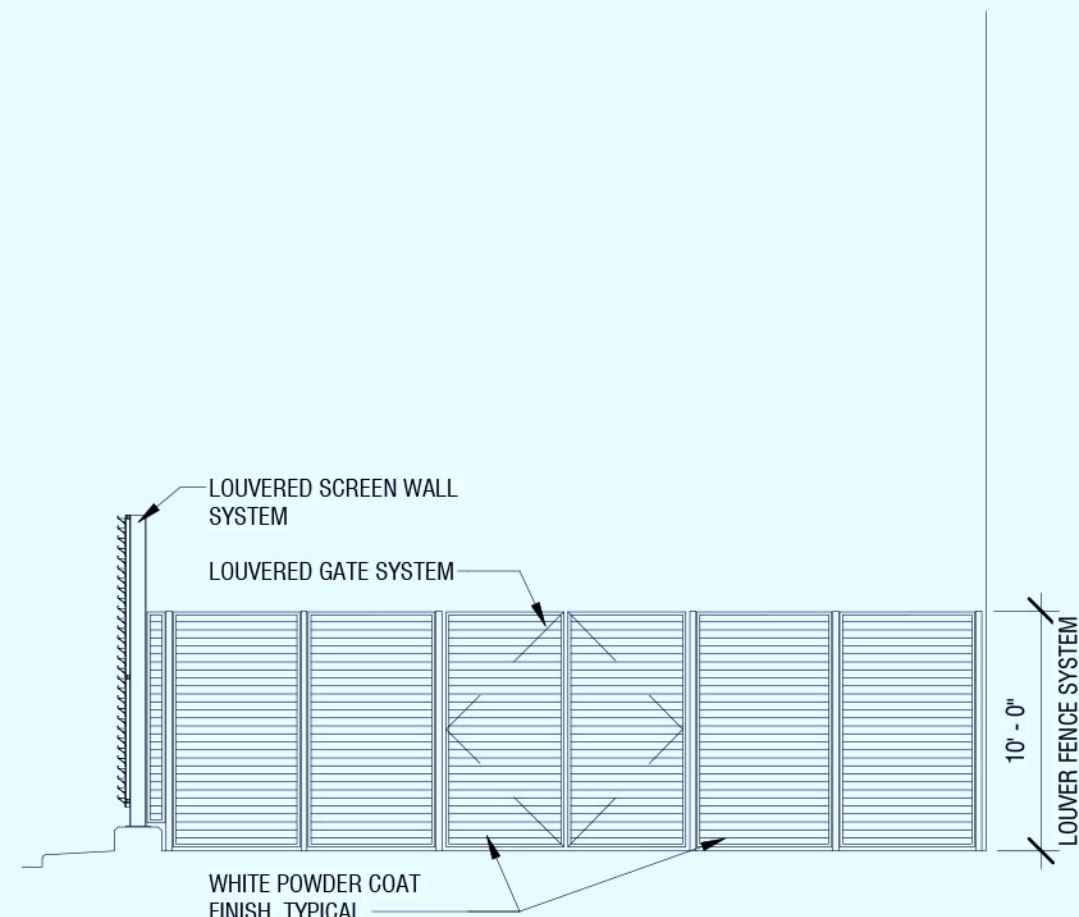
5 SK-03.6 Louver Wall Section
1/4" = 1'-0"



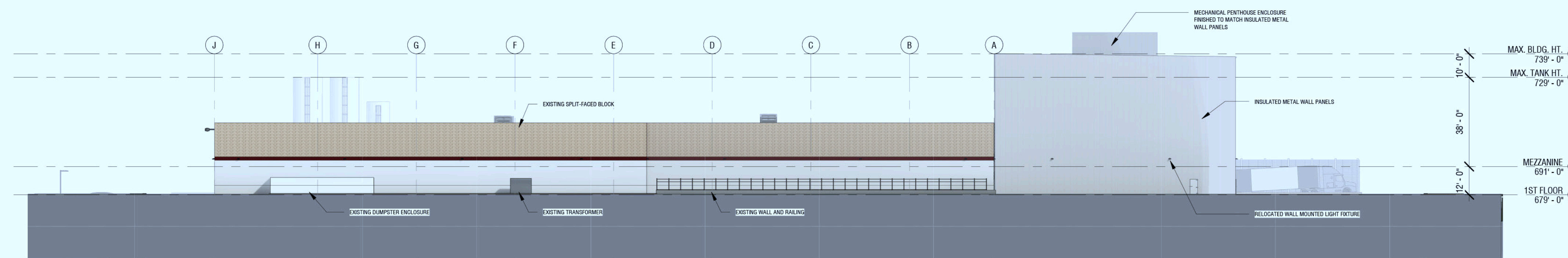
3 SK-03.6 Building Signage
1/4" = 1'-0"



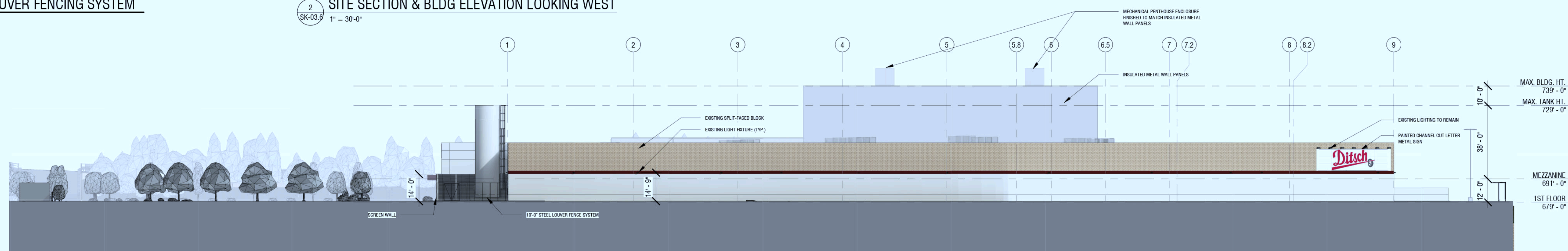
SECTION PHASE I KEY PLAN 05



STEEL LOUVER FENCING SYSTEM



2 SK-03.6 SITE SECTION & BLDG ELEVATION LOOKING WEST
1" = 30'-0"



1 SK-03.6 SITE SECTION & BUILDING ELEVATION LOOKING NORTH
1" = 30'-0"



Ditsch
1100 East Kemper Road
Final Development Plan
Application# 2023-0573
September 12, 2023

Request:

The applicant is requesting Final Development Plan review to move forward with the Industrial Redevelopment.

Comments:

The site was rezoned to “PUD” Planned Unit Development District in 1999 to allow for the 16.3 acres to be developed as a 148,686 square foot Costco retail store with a fuel center and parking. Costco has vacated the site, and Ditsch USA, LLC. is redeveloping the site for use in conjunction with their existing pretzel business on Northland Boulevard. At their February 14, 2023 meeting, Planning Commission recommended approval of a major modification to the PUD and approval of the Preliminary Development Plan for the Ditsch USA facility. City Council adopted the recommendation of Planning Commission, and the applicant is now requesting consideration of a Final Development for the first phase of the redevelopment.

- 1) The initial phase of construction would include a 6,800 square foot office addition, a 17,200 square foot freezer addition, and 7,000 square feet of shipping dock addition. The proposed size of the building with Phase One completed is 177,026 square feet.
- 2) Four loading docks are proposed to be added to the southern end of the west building elevation. Planning Commission and Council approved the proposed location of the loading docks, provided there was screening. Screening is provided using a 14’ tall metal louver screen system.
- 3) Removal of the existing fuel station in the southwest corner of the site will be done with the initial phase of construction. This will include the removal of the fuel structure, landscape islands, light poles, utilities, pavement striping, etc. The area will not be used in the first phase.
- 4) Per Section 153.302 (P), the first phase of the proposed development containing 177,026 square feet would be required to provide the following parking:
Phase I:
Office: (6,800 SF) 23 spaces
Manufacturing/Warehouse: (170,226 SF) 170 spaces
193 spaces required

The applicant is proposing 300 parking spaces for the redevelopment. Three electric vehicle charging stations are being provided.

- 5) Per the approval of Planning Commission and City Council, the open space on the site is increasing from the existing 22.3% to 25%.
- 6) The proposed building addition on the west elevation is to be 60 feet tall which is permitted per Section 153.253 (F) with the Major Modification. The height of the proposed addition on the south elevation will be 30' 8" consistent with the existing building height.
- 7) All new roof, silo, or ground mounted equipment will be screened per the requirements of Section 153.254 (C). Screening details have been provided with the Final Development Plan.
- 8) The applicant indicates that they will be using the trash/waste enclosure which exists on the north side of the building. The existing enclosure is in compliance with Section 153.254 (G) for the waste containers with exception of not having gates. The applicant indicates the inclusion of gates per Code requirements will be provided.
- 9) The applicant is proposing to utilize existing on-site lighting with minor modifications to wall mounted and pole mounted fixture locations.
- 10) The applicant is proposing one wall mounted sign that is to be located on the front/south building elevation. The sign is to contain 250 square feet and is to be painted metal channel cut letters applied to the white metal building panels. Given the length and location of the building, the 250 square feet of sign area is permitted. Section 153.459 (C) (2) (d) requires that all wall signs be constructed of channel cut letters unless modified by Planning Commission. No indication is given as to illumination of the sign.
- 11) A Landscape Plan was submitted with the Final Development Plan which addresses Staff comments.

Any plant material that has not survived since the initial planting will be required to be replaced to meet the landscape/bufferyard requirements, per Section 153.404 (G).
- 12) Bicycle parking (12 spaces) are shown on the Final Development Plan as required per Section 153.302 (S).
- 13) The applicant indicates that there will be 14 foot tall metal louvre screening wall located on the south elevation to screen the silos on the front elevation.
- 14) As an industrial use, the site will need to conform to the Industrial Performance Standards contained in Section 153.253 (D) (7).
- 15) The applicant indicates there will not be any outdoor storage.

- 16) The covenants for the “PUD” will need to be modified to reflect the proposed additions in uses and modifications to the site. Such covenants shall be modified, approved by the Law Director, and executed by the City and property owner. A recorded copy of same shall be provided to the City prior to a Certificate of Occupancy being issued.

Considerations:

Should Planning Commission choose to approve the Final Development Plan, the following items should be considered:

- 1) The former fuel center area in the southwest corner of the site shall be maintained as a paved area without parking or storage during Phase 1.
- 2) All new roof, silo, or ground mounted equipment will be screened per Section 153.254 (C).
- 3) A detail will be provided of the gate to be added to the existing waste enclosure consistent with Section 153.254 (G).
- 4) Planning Commission determine that the proposed 250 square foot sign be constructed of painted metal channel cut letters is appropriate. Details as to the illumination of the sign need to be provided.
- 5) Any plant material that has not survived since the initial planting will be required to be replaced to meet the landscape/bufferyard requirements, per Section 153.404 (G).
- 6) The proposed use will conform to the Industrial Performance Standards contained in Section 153.253 (D) (7).
- 7) The PUD Covenants be amended to reflect the proposed use and reflect any specific modifications to the site, approved by the City Law Director, and executed by the City and property owner. A copy, recorded in Hamilton County, be provided to the City prior to the Certificate of Occupancy being issued.

Submitted By:

Anne F. McBride, FAICP
City Planner

MDC# 5015



DITSCH-COSTCO SITE
1100 EAST KEMPER ROAD
PLAN REVIEW APP #20230573
23020103
SEPTEMBER 7, 2023

FINAL DEVELOPMENT PLAN
ENGINEERING REVIEW



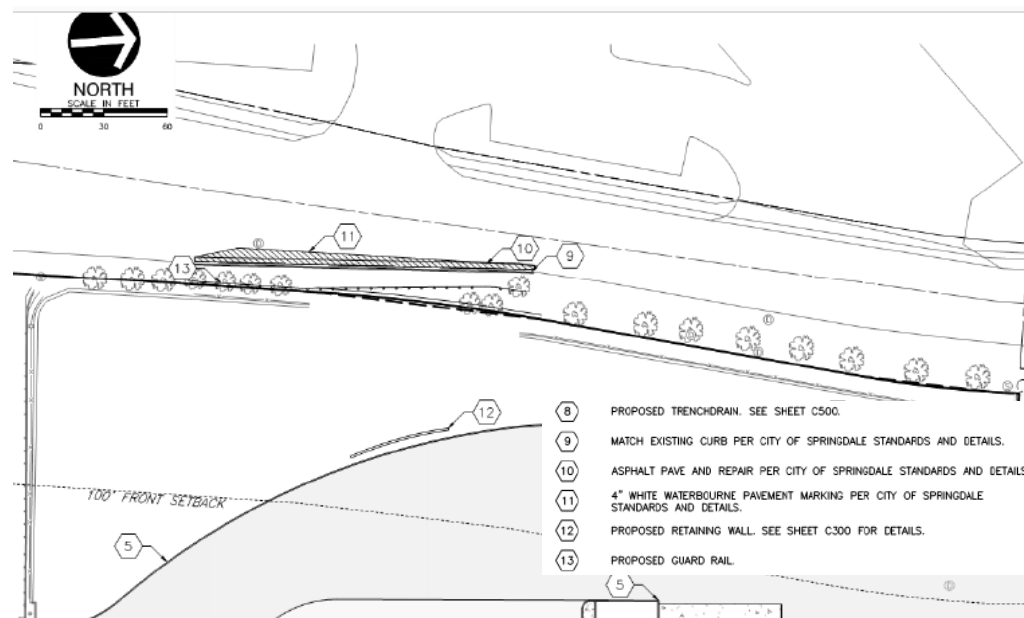
PROJECT SITE

REQUEST: Final Development Plan approval for the property located at 1100 East Kemper Road to redevelop former Costco site to be into food processing / production facility.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

A. LAND USAGE (Chapter 150)

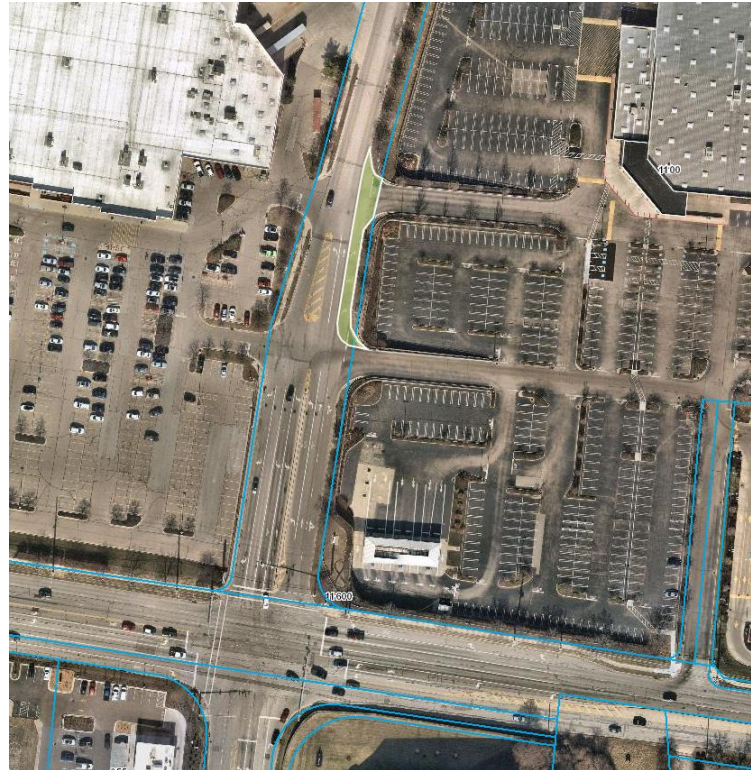
1. The project site is approximately 16.32 acres that is currently accessed by two full-movement entrances off Commons Drive as well as a by a shared right-in/right-out private entrance drive off E. Kemper Road.
 - a. The applicant is proposing to remove the northern entrance off Commons Drive with the southern entrance which is located approximately 250 LF north of the Kemper Road intersection to remain. The existing shared right-in/right-out private entrance drive located off E. Kemper Road is to also remain.
 - i. The submitted final development plans dated August 31, 2023, noted an area of Commons Drive to be replaced with the removal of the existing northern entrance.



The applicant has proposed to extend the curb across the former entrance and repair the asphalt to the city's typical pavement section for roadway, curb and lawn restoration with the existing thru-right turn lane to be converted to a right only lane into the southern entrance to remain and terminate by a pavement marking taper.

- (1) The guardrail should be extended across the removed entrance if warrants are met otherwise appropriate end terminals will need to be installed on the guardrail that is to remain. If the existing guardrail is no longer warranted with construction of the site improvements/grading, then the construction plans shall show the extents of the existing guardrail to be removed as well as the installation of the appropriate end treatments. The street trees should be placed as far from the public travel way as possible.
- (2) OMUTCD Section 3B.24 discusses Chevron Crosshatch Markings and Diagonal Crosshatch Markings. When crosshatch markings are used on paved shoulders, they shall be diagonal markings that slant 35 away from traffic in the adjacent travel lane. The diagonal lines used for crosshatch markings should be at least 8 inches wide for roadways having posted or statutory speed limit of less than 45 mph. For roadways where the posted or statutory speed limit is less than 45 mph, the formula $L = WS^2 / 60$ should be used to compute the appropriate lane reduction taper length. While the terminating the right-turn by pavement markings is an

acceptable method, it is preferred that the right-turn lane be terminated by extending the curb as shown below:



- ii. The construction plan submittal shall also include documentation/calculation of any additional change in drainage areas and/or inlets with the removal of the northern access drive and potential curb extension so that impacts to both the public and private storm sewer systems may be reviewed.

B. STORMWATER MANAGEMENT (Chapter 151)

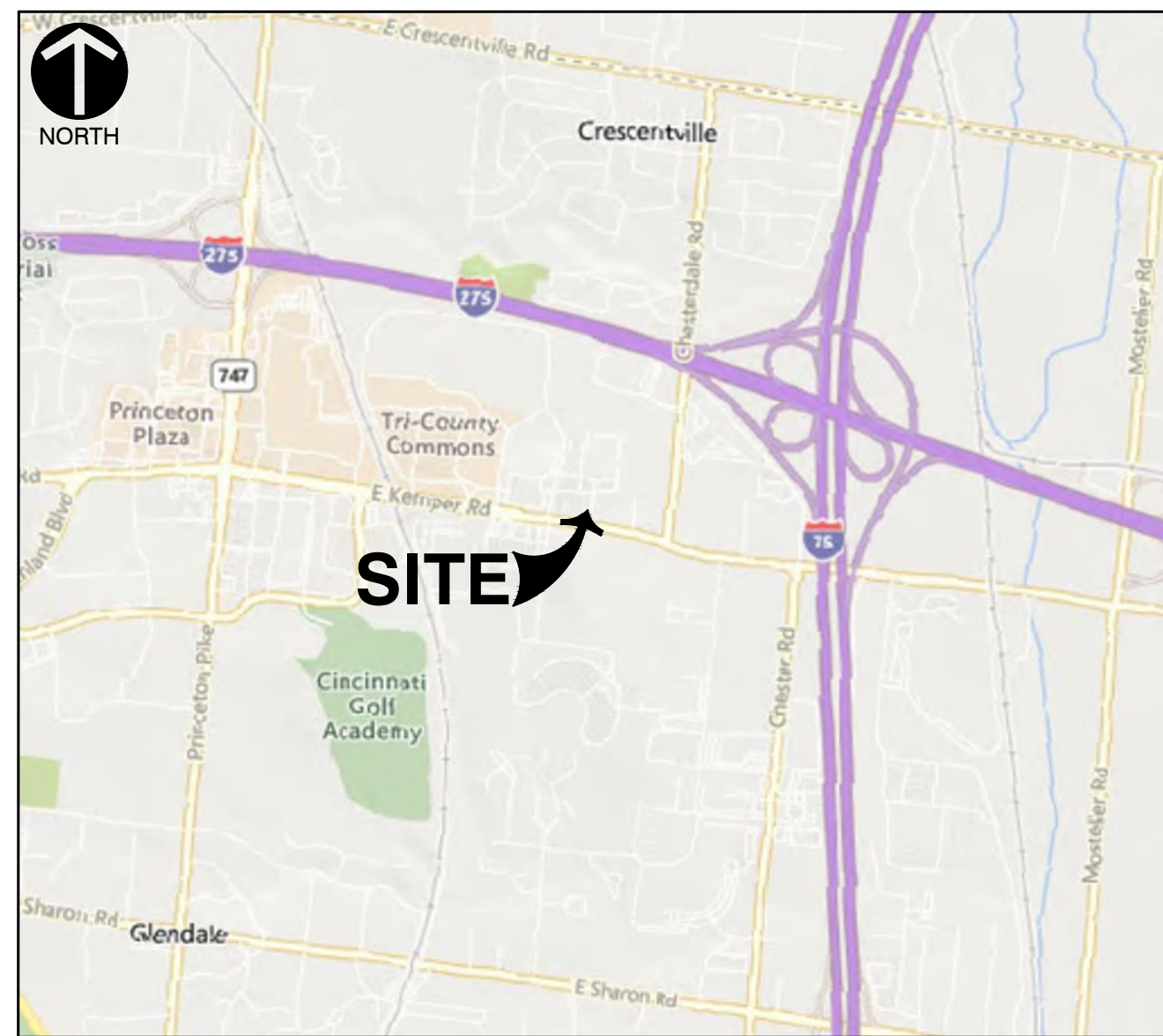
1. Per §151.03(B)(4), no grading work will be permitted on the site until all OEPA and USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved by the City and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#) or [ODOT Location and Design Manual - Volume 2 - Drainage Design](#). It should be noted that an Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit is not required for sites that includes a disturbance area greater less 1 acre.
 - a. The applicant's review comments response letter dated August 31, 2023, indicated that the owner will obtain an NOI prior to the start of construction.
2. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.

- a. Stormwater detention for the proposed development will be achieved by an existing detention basin north of the existing building. The previously submitted proposed master plan dated January 9, 2023, noted that the site impervious area is to remain the same as existing with the proposed redevelopment. The submitted final development plans dated August 31, 2023, noted that the existing site impervious area is 12.685 acres and the proposed site impervious area is to be 12.24 acres, providing an approximate 3.5% reduction. This is acceptable to Staff.
3. Per §151.04(A)(7), an Inspection and Maintenance Agreement will need to be submitted for the existing and any proposed post construction water quality measures prior to issuance of the building permit and recorded as a covenant, prior to the Certificate of Occupancy being granted.
 - a. The applicant has submitted a draft O&M plan in part of the final development plan submittal however was not prepared on the city's Post-Construction Water Quality Best Management Practices Operation and Maintenance Plan template. A copy of the city's template/agreement has been uploaded into iWorQ for the applicants use.
4. Per § 151.04(F)(1), All detention/retention and Post Construction BMP(s) shall be routinely inspected as determined by the city. A copy of the City's 2020 basin inspection report was previously uploaded to iWorQ for the Applicant's reference. All comments noted on the inspection form not previously addressed shall be required to be addressed with the redevelopment.
 - a. The submitted final development plans dated August 31, 2023, refer to the 2020 basin inspection report for cleanup and maintenance of the existing detention basin.
5. Per § 151.05(E), a performance bond in the amount of the cost of any proposed Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan.

DITSCH KEMPER PROPERTY, LLC KEMPER ROAD BAKERY

1100 EAST KEMPER ROAD
SPRINGDALE, OH 45246
CITY OF SPRINGDALE, HAMILTON COUNTY

DESIGN DEVELOPMENT
AUGUST 2023



VICINITY MAP
1"=2,000'
SCALE IN FEET

PROJECT CONTACTS

PLANNING & ZONING

CITY OF SPRINGDALE PLANNING & ZONING
11700 SPRINGFIELD PIKE
SPRINGDALE, OH 45246
CONTACT: DAVE OKUM (CHAIRMAN)
PH: 513-346-5730

GREATER CINCINNATI WATER WORKS (GCWW)
4747 SPRING GROVE AVE
CINCINNATI, OH 45232
CONTACT: JOHN WATERS
PH: 513-591-7837
BRANCH.SERVICES@GCWW.CINCINNATI-OH.GOV

ELECTRIC SERVICE

DUKE ENERGY
CONTACT: GARRETT BURNS
PH: 513-310-0130

GAS SERVICE

DUKE ENERGY
CONTACT: TONY GISKA
PH: 513-267-0821

TELEPHONE SERVICE

CINCINNATI BELL
CONTACT: BILL SAVITS
PH: 513-397-9848

EMERGENCY SERVICE

CITY OF SPRINGDALE FIRE & RESCUE
12147 LAWNVIEW AVENUE
SPRINGDALE, OH 45246
CONTACT: ANTHONY STANLEY (FIRE CHIEF)
PH: 513-346-5580

STORM WATER FACILITIES

SPRINGDALE PUBLIC WORKS DEPARTMENT
JEFF AGRICOLA, DIRECTOR OF PUBLIC WORKS
335 NORTHLAND BLVD, SPRINGDALE OH 45246
513-346-5520
jagricola@springdale.org

SANITARY SEWER

METROPOLITAN SEWER DISTRICT OF GREATER CINCINNATI (MSD)
1600 GEST STREET
PH: 513-244-1330
CINCINNATI, OH 45204

WATER SERVICE



SITE MAP
SCALE: 1"=150'
SCALE IN FEET

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C101	DEMOLITION PLAN
C102	DEMOLITION PLAN
C103	DEMOLITION PLAN
C104	DEMOLITION PLAN
C200	SITE LAYOUT PLAN
C201	SITE LAYOUT PLAN
C202	SITE LAYOUT PLAN
C203	SITE LAYOUT PLAN
C300	SITE GRADING PLAN
C400	EROSION CONTROL PLAN
C500	SITE UTILITY PLAN
C501	PROFILES
C700	OVERALL LANDSCAPE PLAN
C701	LANDSCAPE PLAN
C702	LANDSCAPE PLAN
C703	LANDSCAPE PLAN
C704	LANDSCAPE DETAILS
C800	SITE DETAILS
C801	SITE DETAILS
C802	SITE DETAILS
C803	SITE DETAILS

SITE DEVELOPMENT DATA

OVERALL EXISTING SITE

ZONING:
EXISTING TOTAL PROPERTY AREA: 16.32 ACRES
EXISTING PERVIOUS AREA: 3.635 ACRES = 22.3%
EXISTING IMPERVIOUS AREA: 12.685 ACRES = 77.7%
PROPOSED PERVIOUS AREA: 4.08 ACRES = 25%
PROPOSED IMPERVIOUS AREA: 12.24 ACRES = 75%
ZONING DISTRICT: PLANNED UNIT DEVELOPMENT "PUD"
ADJACENT ZONING: GENERAL INDUSTRIAL "GI", PLANNED UNIT DEVELOPMENT "PUD"

OVERALL PROPOSED SITE

ZONING:
FRONT YARD SETBACK: 100'
REAR YARD SETBACK: 50'
SIDE YARD SETBACK: 25'
PROPOSED PERVIOUS AREA: 4.08 ACRES = 25%
PROPOSED IMPERVIOUS AREA: 12.24 ACRES = 75%

PARKING:
PROPOSED BUILDING SQUARE FOOTAGE: 177,062 S.F.
PHASE I :
OFFICE (6,800 SF) PARKING REQUIREMENT: 23 SPACES
MANUFACTURING/WAREHOUSE (170,226 S.F.): 170 SPACES
193 SPACES REQUIRED

PARKING PROVIDED: 300 SPACES PROVIDED

ELECTRIC VEHICLE CHARGING STATIONS: 3 PROVIDED

ADA PARKING: 12 REQUIRED
ADA PARKING: 12 PROVIDED
ADA VAN PARKING: 4 PROVIDED

BICYCLE PARKING: 12 REQUIRED
BICYCLE PARKING: 12 PROVIDED

OWNER
DITSCH KEMPER PROPERTY, LLC
311 NORTHLAND BLVD.
CINCINNATI, OHIO 45246

CEC
CIVIL ENGINEER
CIVIL & ENVIRONMENTAL
CONSULTANTS, INC.
5899 MONTCLAIR BLVD.
CINCINNATI, OH 45150
CONTACT: MARY MCCONNELL,
P.E.
PH: (513) 985-0226
MMCCONNELL@CECINC.COM

ARCHITECT
STRUCTURA ARCHITECTS LTD
60 S. MAPLE ST. SUITE 301 AKRON, OH 44303
CARL BELL
330.253.6950
330.592.2886
carl.bell@structuraltd.com

REVISION RECORD

CEC
Civil & Environmental Consultants, Inc.
5899 Montclair Blvd. - Cincinnati, OH 45150
513-985-0226 · 800-759-5614
www.cecinc.com

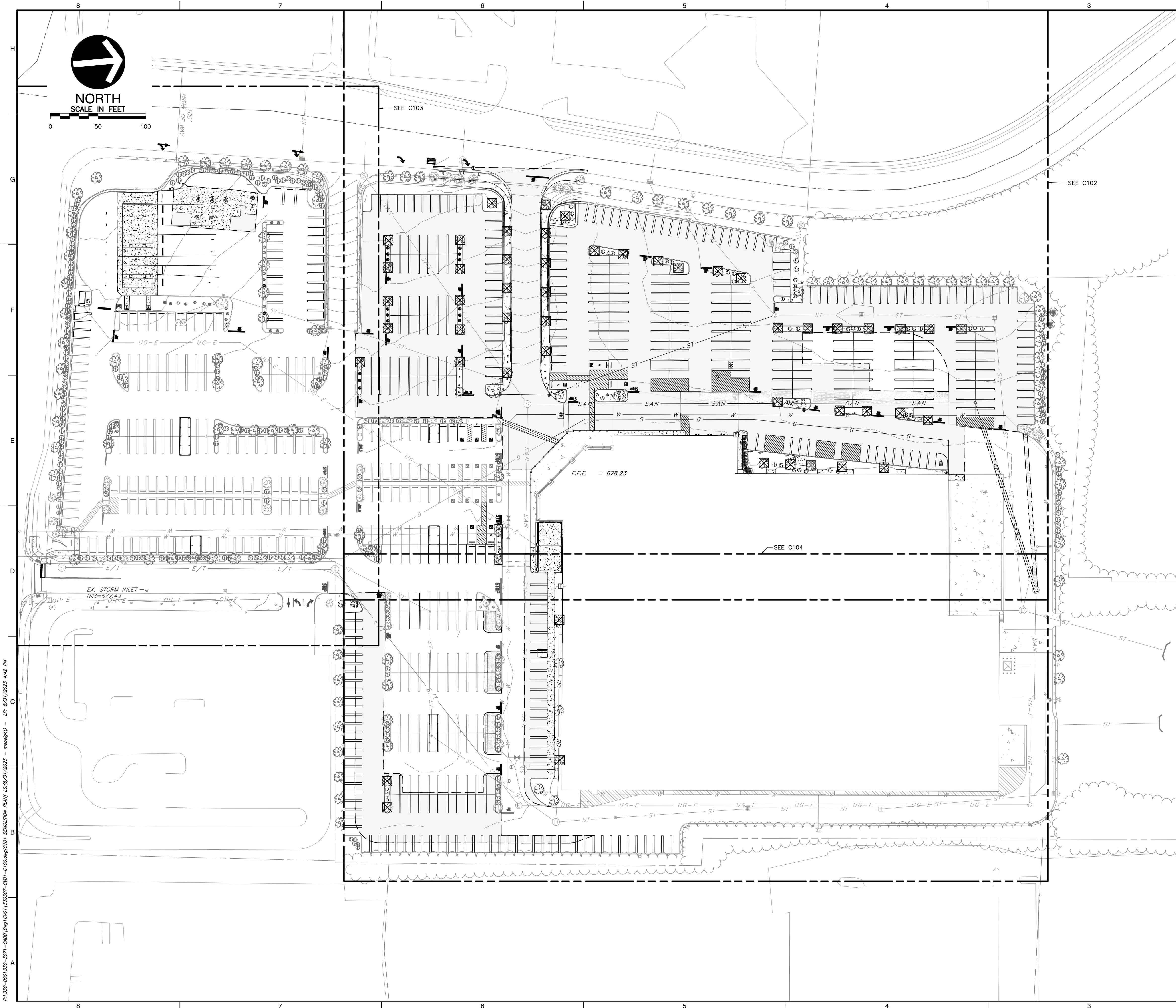
DITSCH KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

COVER SHEET
DATE: AUGUST 2023 DRAWN BY: JRK
DWG SCALE: AS SHOWN CHECKED BY: DRAFT
PROJECT NO: 330-307
APPROVED BY: DRAFT

DRAWING NO.:
C000

SHEET OF

P:\330-001\330-307-1\CAD\DWG\C001\330307-C001-C000.dwg COVER SHEET LS(8/21/2023 - mmpghd) - LP: 8/21/2023 4:41 PM



DEMO LEGEND

---	EXISTING PROPERTY LINE
- - - -	EXISTING INDEX (MAJOR) CONTOUR
- · - · -	EXISTING INTERMEDIATE (MINOR) CONTOUR
- - - -	EXISTING EDGE OF PAVEMENT
ST	EXISTING STORM PIPE
W	EXISTING WATER LINE
SAN	EXISTING SANITARY SEWER LINE
G	EXISTING GAS LINE
UG-E	EXISTING UNDERGROUND ELECTRIC LINE
(Tree Symbol)	EXISTING TREE
(Sign Symbol)	EXISTING SIGN
(Inlet Symbol)	EXISTING STORM INLETS
(Manhole Symbol)	EXISTING STORM MANHOLE
(Valve Symbol)	EXISTING WATER VALVE
(Hydrant Symbol)	EXISTING FIRE HYDRANT
(Lighting Symbol)	EXISTING LIGHTING
(Telephone Symbol)	EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
(Sanitary Symbol)	EXISTING SANITARY CLEANOUT/MANHOLE
(Gas Meter Symbol)	EXISTING GAS METER/TAP
(Electrical Symbol)	EXISTING ELECTRICAL BOXES/METER/MANHOLE
(Crossed Box)	EXISTING TREE TO BE REMOVED
(Stippled Area)	EXISTING CONCRETE
(Dashed Line)	SAWCUT, SEE KEYNOTE 3.
(Hatched Area)	REMOVE PAVEMENT
(Dotted Area)	REMOVE CONCRETE

GENERAL NOTES

- SEE DEMOLITION PLAN SHEETS C102, C103, C104 FOR KEYED NOTES, LABELS, AND GENERAL NOTES FOR DEMOLITION

REVISION RECORD

NO.	DATE	DESCRIPTION


Civil & Environmental Consultants, Inc.
 5899 Montclair Blvd. - Cincinnati, OH 45150
 513-985-0226 · 800-759-5614
 www.cecinc.com

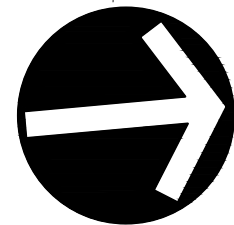
DITSCHEM KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

DEMOLITION PLAN

DATE:	AUGUST 2023	DRAWN BY:	JRK
DWG SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	330-307	APPROVED BY:	DRAFT

DRAWING NO.: **C101**
SHEET 1 OF

P:\330-001\330-307-0420\DWG\C101\330307-001-C100.dwg(101) DEMOLITION PLAN LS(8/21/2023 - msp@cec) - LP: 8/21/2023 4:42 PM



NORTH
SCALE IN FEET

0 30 60

RIGHT TURN ONLY
PAVEMENT MARKINGS
TO BE REMOVED

RIGHT TURN MUST
TURN RIGHT SIGN TO
BE REMOVED

DEMO LEGEND

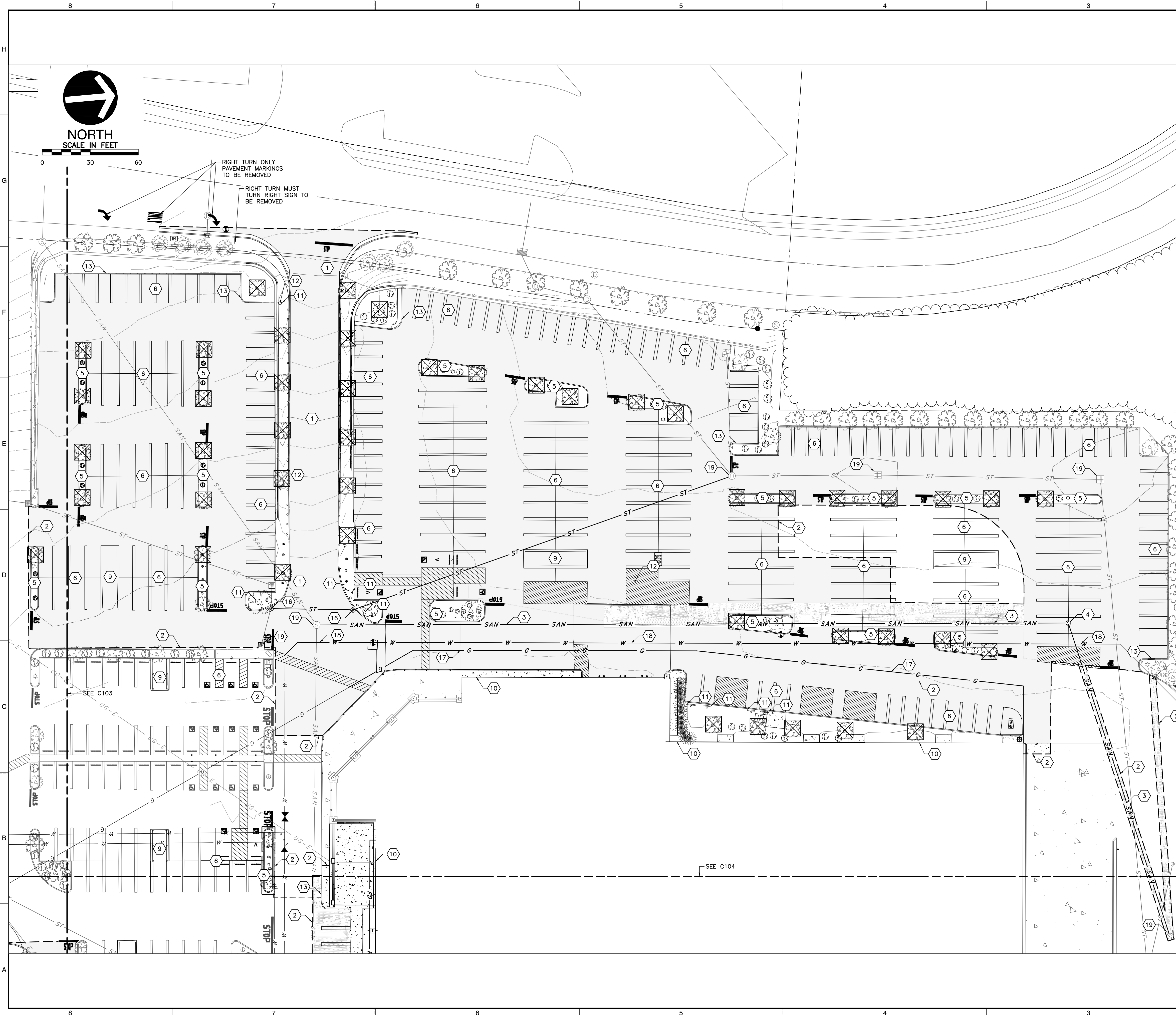
- EXISTING PROPERTY LINE
- EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING EDGE OF PAVEMENT
- ST --- EXISTING STORM PIPE
- W --- EXISTING WATER LINE
- SAN --- EXISTING SANITARY SEWER LINE
- G --- EXISTING GAS LINE
- UG-E --- EXISTING UNDERGROUND ELECTRIC LINE
- ⊙ EXISTING TREE
- ↑ EXISTING SIGN
- ⊕ EXISTING STORM INLETS
- ⊕ EXISTING STORM MANHOLE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING LIGHTING
- ⊕ EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
- ⊕ EXISTING SANITARY CLEANOUT/MANHOLE
- ⊕ EXISTING GAS METER/TAP
- ⊕ EXISTING ELECTRICAL BOXES/METER/MANHOLE
- ⊕ EXISTING TREE TO BE REMOVED
- EXISTING CONCRETE
- SAWCUT, SEE KEYNOTE 3.
- REMOVE PAVEMENT
- REMOVE CONCRETE

KEY NOTES

- 1 REMOVE EXISTING ENTRY ROAD. SEE GENERAL NOTE 1.
- 2 SAWCUT PAVEMENT EDGE IN NEAT, STRAIGHT LINES TO CREATE A CLEAN BUT JOINT. REMOVE DAMAGED PAVEMENT AND DISPOSE OFF SITE. REFER TO LAYOUT PLAN FOR ASPHALT PLACING AND SEALING INFORMATION.
- 3 REMOVE EXISTING SANITARY LINE.
- 4 REMOVE EXISTING SANITARY MANHOLE. SEE GENERAL NOTE 3
- 5 REMOVE EXISTING ISLANDS WITHIN SAWCUT, INCLUDING SIGNAGE, LIGHTPOLES, AND VEGETATION.
- 6 REMOVE EXISTING STRIPING.
- 7 REMOVE EXISTING BOLLARDS AND CONCRETE PAD. SEE GENERAL NOTE 2.
- 8 REMOVE EXISTING RETAINING WALL AND FOUNDATION WALL HEIGHT VARIES 0 TO 13 FT INCLUDING ANY AND ALL AGGREGATE BACKFILL, GEOGRID, TIE BACKS, OR OTHER GEOTECHNICAL ITEMS.
- 9 REMOVE CART CORRAL.
- 10 SEE STRUCTURAL PLANS FOR REMOVAL OF EXISTING BUILDING WALL.
- 11 SIGN TO BE REMOVED
- 12 LIGHT POLE TO BE REMOVED
- 13 CURB TO BE REMOVED
- 14 TANKS TO BE REMOVED BY COSTCO UNDER A SEPARATE CONTRACT
- 15 STORM LINE TO BE REMOVED
- 16 STORM DRAIN TO BE REMOVED
- 17 GAS LINE TO BE REMOVED AND GAS METER TO BE RELOCATED. SEE SHEET C500.
- 18 WATER LINE TO BE REMOVED
- 19 PROTECT MANHOLE/DRAIN TO REMAIN
- 20 REMOVE ROOF DRAIN

GENERAL NOTES

- 1) REMOVE ASPHALT PAVEMENT, CONCRETE CURBS, SOIL BACKFILL, GUARDRAIL, GUARDRAIL POSTS, AND LANDSCAPING. SEE LANDSCAPING PLANS FOR EXISTING. CONTRACTOR TO COORDINATE PERMIT TO PERFORM ROADWAY WORK WITHIN THE RIGHT OF WAY. TO REMAIN THE DRIVEWAY WITH CITY OF SPRINGDALE PUBLIC WORKS DEPT.
- 2) REMOVE BOLLARDS AND CONCRETE ELECTRICAL PAD. REMOVE EXISTING WIRE AND SAW CUT CONDUIT TO 1 FOOT BELOW SUB-GRADE AND CAP AND ABANDON. COORDINATE WITH ARCHITECT TO BULKHEAD AND ABANDON SANITARY CONNECTION AT BUILDING.
- 3)



REVISION RECORD

NO	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
5899 Montclair Blvd. - Cincinnati, OH 45150
513-985-0226 · 800-759-5614
www.cecinc.com

DITCH KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

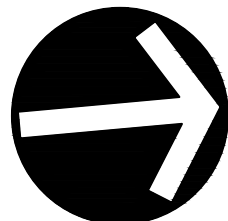
DEMOLITION PLAN

DATE: AUGUST 2023 DRAWN BY: JRK
DWG SCALE: AS SHOWN CHECKED BY: DRAFT
PROJECT NO: 330-307
APPROVED BY: DRAFT

DRAWING NO.: **C102**

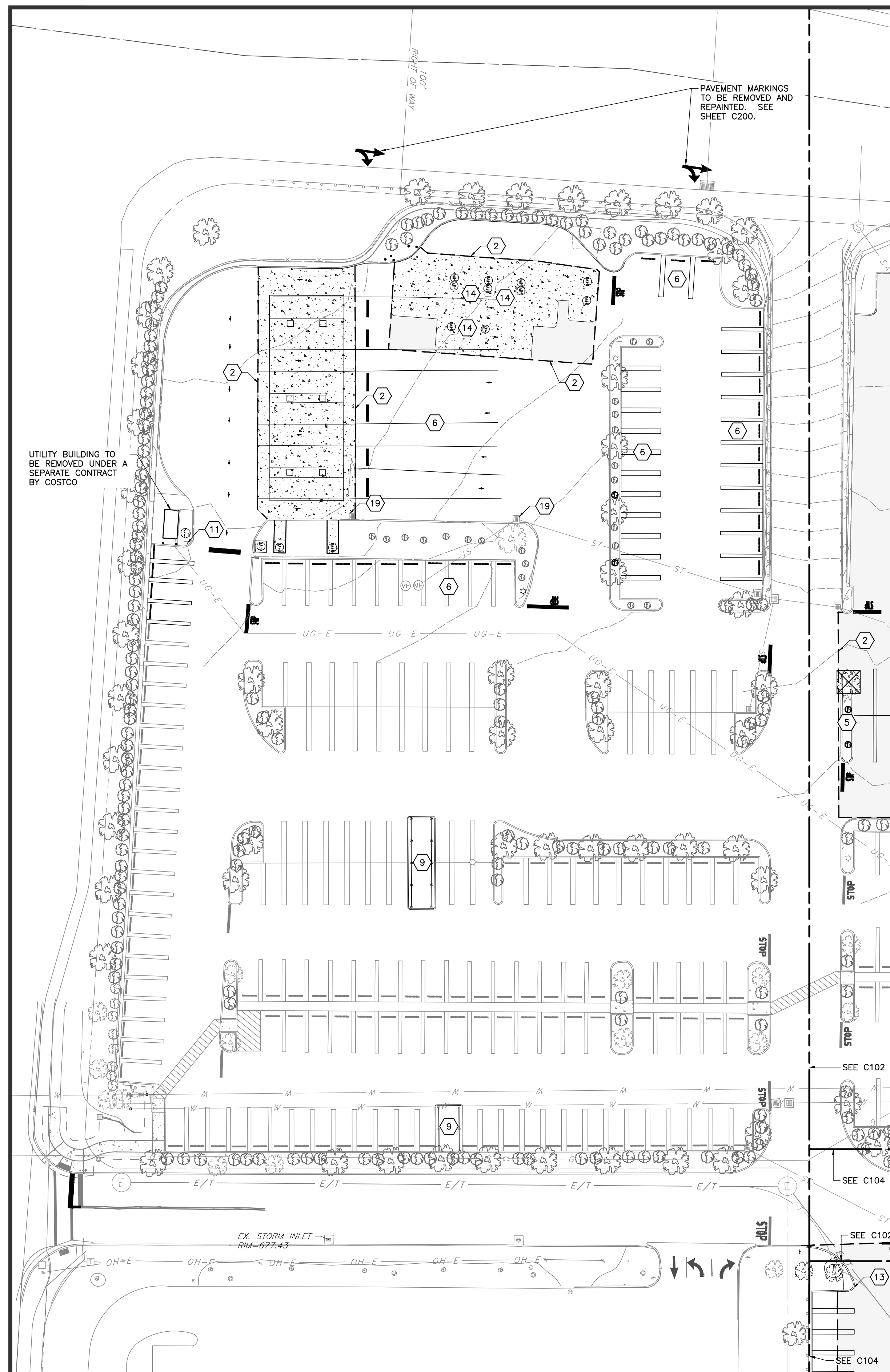
SHEET OF

P:\330-001\330-307-CAD\DWG\C101\330-307-C101.dwg(1102 DEMOLITION PLAN) LS(8/21/2023 - msp@cec) - LP: 8/21/2023 4:42 PM



NORTH
SCALE IN FEET

0 30 60



DEMO LEGEND

- EXISTING PROPERTY LINE
- - - - EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING EDGE OF PAVEMENT
- ST — EXISTING STORM PIPE
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- G — EXISTING GAS LINE
- UG-E — EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING TREE
- EXISTING SIGN
- EXISTING STORM INLETS
- EXISTING STORM MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING LIGHTING
- EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
- EXISTING SANITARY CLEANOUT/MANHOLE
- EXISTING GAS METER/TAP
- EXISTING ELECTRICAL BOXES/METER/MANHOLE
- EXISTING TREE TO BE REMOVED
- EXISTING CONCRETE
- — — SAWCUT, SEE KEYNOTE 3.
- REMOVE PAVEMENT
- REMOVE CONCRETE

KEY NOTES

- ① REMOVE EXISTING ENTRY ROAD. SEE GENERAL NOTE 1.
- ② SAWCUT PAVEMENT EDGE IN NEAT, STRAIGHT LINES TO CREATE A CLEAN BUT JOINT. REMOVE DAMAGED PAVEMENT AND DISPOSE OFF SITE. REFER TO LAYOUT PLAN FOR ASPHALT PLACING AND SEALING INFORMATION.
- ③ REMOVE EXISTING SANITARY LINE.
- ④ REMOVE EXISTING SANITARY MANHOLE. SEE GENERAL NOTE 3
- ⑤ REMOVE EXISTING ISLANDS WITHIN SAWCUT, INCLUDING SIGNAGE, LIGHTPOLES, AND VEGETATION.
- ⑥ REMOVE EXISTING STRIPING.
- ⑦ REMOVE EXISTING BOLLARDS AND CONCRETE PAD. SEE GENERAL NOTE 2.
- ⑧ REMOVE EXISTING RETAINING WALL AND FOUNDATION WALL HEIGHT VARIES 0 TO 13 FT INCLUDING ANY AND ALL AGGREGATE BACKFILL, GEGRID, TIE BACKS, OR OTHER GEOTECHNICAL ITEMS.
- ⑨ REMOVE CART CORRAL.
- ⑩ SEE STRUCTURAL PLANS FOR REMOVAL OF EXISTING BUILDING WALL.
- ⑪ SIGN TO BE REMOVED
- ⑫ LIGHT POLE TO BE REMOVED
- ⑬ CURB TO BE REMOVED
- ⑭ TANKS TO BE REMOVED BY COSTCO UNDER A SEPARATE CONTRACT
- ⑮ STORM LINE TO BE REMOVED
- ⑯ STORM DRAIN TO BE REMOVED
- ⑰ GAS LINE TO BE REMOVED AND GAS METER TO BE RELOCATED. SEE SHEET C500.
- ⑱ WATER LINE TO BE REMOVED
- ⑲ PROTECT MANHOLE/DRAIN TO REMAIN
- ⑳ REMOVE ROOF DRAIN

GENERAL NOTES

- 1) REMOVE ASPHALT PAVEMENT, CONCRETE CURBS, SOIL BACKFILL, GUARDRAIL, GUARDRAIL POSTS, AND LANDSCAPING. SEE LANDSCAPING PLANS FOR EXISTING. CONTRACTOR TO COORDINATE PERMIT TO PERFORM ROADWAY WORK WITHIN THE RIGHT OF WAY. TO REMAIN THE DRIVEWAY WITH CITY OF SPRINGDALE PUBLIC WORKS DEPT.
- 2) REMOVE BOLLARDS AND CONCRETE ELECTRICAL PAD. REMOVE EXISTING WIRE AND SAW CUT CONDUIT TO 1 FOOT BELOW SUB-GRADE AND CAP AND ABANDON. COORDINATE WITH ARCHITECT TO BULKHEAD AND ABANDON SANITARY CONNECTION AT BUILDING.

REVISION RECORD

NO.	DATE	DESCRIPTION

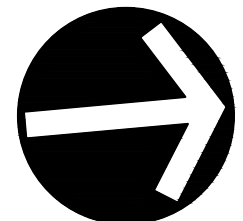
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KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

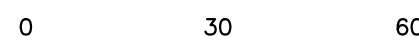
DEMOLITION PLAN

DATE:	AUGUST 2023	DRAWN BY:	JRK
DWG. SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	330-307	APPROVED BY:	DRAFT

DRAWING NO.:
C103
SHEET OF



NORTH
SCALE IN FEET



DEMO LEGEND

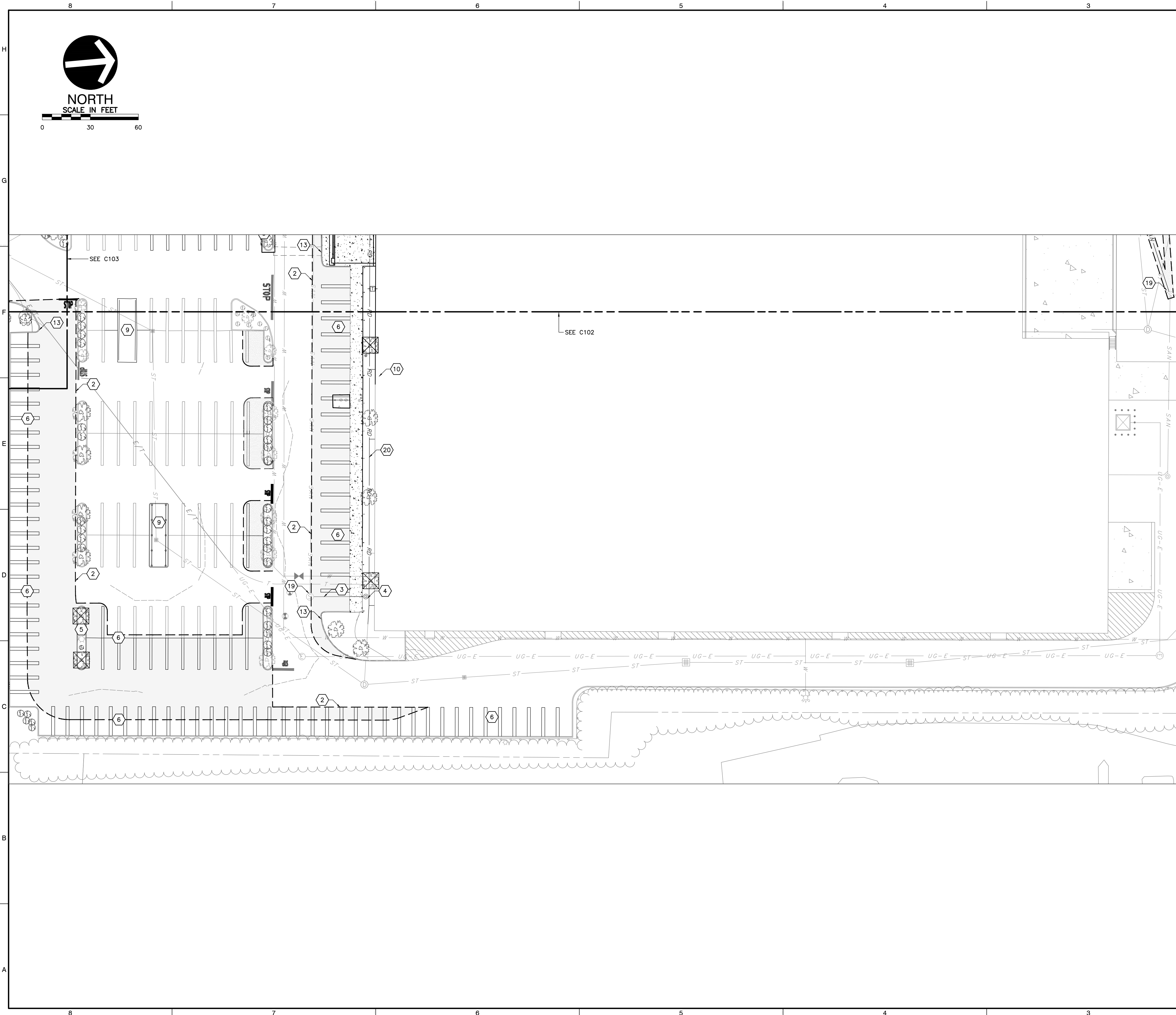
---	EXISTING PROPERTY LINE
---	EXISTING INDEX (MAJOR) CONTOUR
---	EXISTING INTERMEDIATE (MINOR) CONTOUR
---	EXISTING EDGE OF PAVEMENT
ST	EXISTING STORM PIPE
W	EXISTING WATER LINE
SAN	EXISTING SANITARY SEWER LINE
G	EXISTING GAS LINE
UG-E	EXISTING UNDERGROUND ELECTRIC LINE
☀	EXISTING TREE
+	EXISTING SIGN
☐	EXISTING STORM INLETS
⊙	EXISTING STORM MANHOLE
⊙	EXISTING WATER VALVE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING LIGHTING
⊙	EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
⊙	EXISTING SANITARY CLEANOUT/MANHOLE
⊙	EXISTING GAS METER/TAP
⊙	EXISTING ELECTRICAL BOXES/METER/MANHOLE
⊙	EXISTING TREE TO BE REMOVED
▨	EXISTING CONCRETE
---	SAWCUT, SEE KEYNOTE 3.
---	REMOVE PAVEMENT
---	REMOVE CONCRETE

KEY NOTES

- 1) REMOVE EXISTING ENTRY ROAD. SEE GENERAL NOTE 1.
- 2) SAWCUT PAVEMENT EDGE IN NEAT, STRAIGHT LINES TO CREATE A CLEAN BUT JOINT. REMOVE DAMAGED PAVEMENT AND DISPOSE OFF SITE. REFER TO LAYOUT PLAN FOR ASPHALT PLACING AND SEALING INFORMATION.
- 3) REMOVE EXISTING SANITARY LINE.
- 4) REMOVE EXISTING SANITARY MANHOLE. SEE GENERAL NOTE 3
- 5) REMOVE EXISTING ISLANDS WITHIN SAWCUT, INCLUDING SIGNAGE, LIGHTPOLES, AND VEGETATION.
- 6) REMOVE EXISTING STRIPING.
- 7) REMOVE EXISTING BOLLARDS AND CONCRETE PAD. SEE GENERAL NOTE 2.
- 8) REMOVE EXISTING RETAINING WALL AND FOUNDATION WALL HEIGHT VARIES 0 TO 13 FT INCLUDING ANY AND ALL AGGREGATE BACKFILL, GEOGRID, TIE BACKS, OR OTHER GEOTECHNICAL ITEMS.
- 9) REMOVE CART CORRAL.
- 10) SEE STRUCTURAL PLANS FOR REMOVAL OF EXISTING BUILDING WALL.
- 11) SIGN TO BE REMOVED
- 12) LIGHT POLE TO BE REMOVED
- 13) CURB TO BE REMOVED
- 14) TANKS TO BE REMOVED BY COSTCO UNDER A SEPARATE CONTRACT
- 15) STORM LINE TO BE REMOVED
- 16) STORM DRAIN TO BE REMOVED
- 17) GAS LINE TO BE REMOVED AND GAS METER TO BE RELOCATED. SEE SHEET C500.
- 18) WATER LINE TO BE REMOVED
- 19) PROTECT MANHOLE/DRAIN TO REMAIN
- 20) REMOVE ROOF DRAIN

GENERAL NOTES

- 1) REMOVE ASPHALT PAVEMENT, CONCRETE CURBS, SOIL BACKFILL, GUARDRAIL, GUARDRAIL POSTS, AND LANDSCAPING. SEE LANDSCAPING PLANS FOR EXISTING. CONTRACTOR TO COORDINATE PERMIT TO PERFORM ROADWAY WORK WITHIN THE RIGHT OF WAY. TO REMAIN THE DRIVEWAY WITH CITY OF SPRINGDALE PUBLIC WORKS DEPT.
- 2) REMOVE BOLLARDS AND CONCRETE ELECTRICAL PAD. REMOVE EXISTING WIRE AND SAW CUT CONDUIT TO 1 FOOT BELOW SUB-GRADE AND CAP AND ABANDON. COORDINATE WITH ARCHITECT TO BULKHEAD AND ABANDON SANITARY CONNECTION AT BUILDING.
- 3)



REVISION RECORD

NO	DATE	DESCRIPTION

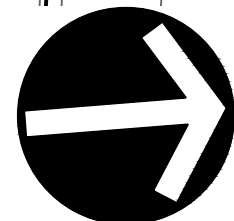
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KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

DEMOLITION PLAN

DATE:	AUGUST 2023	DRAWN BY:	JRK
DWG SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	330-307	APPROVED BY:	DRAFT

P:\330-001\330-307\1-CAD\DWG\C104\1330307-C101-C104.dwg(1/14) DEMOLITION PLAN LS(8/21/2023 - mspgho) - LP: 8/21/2023 4:43 PM

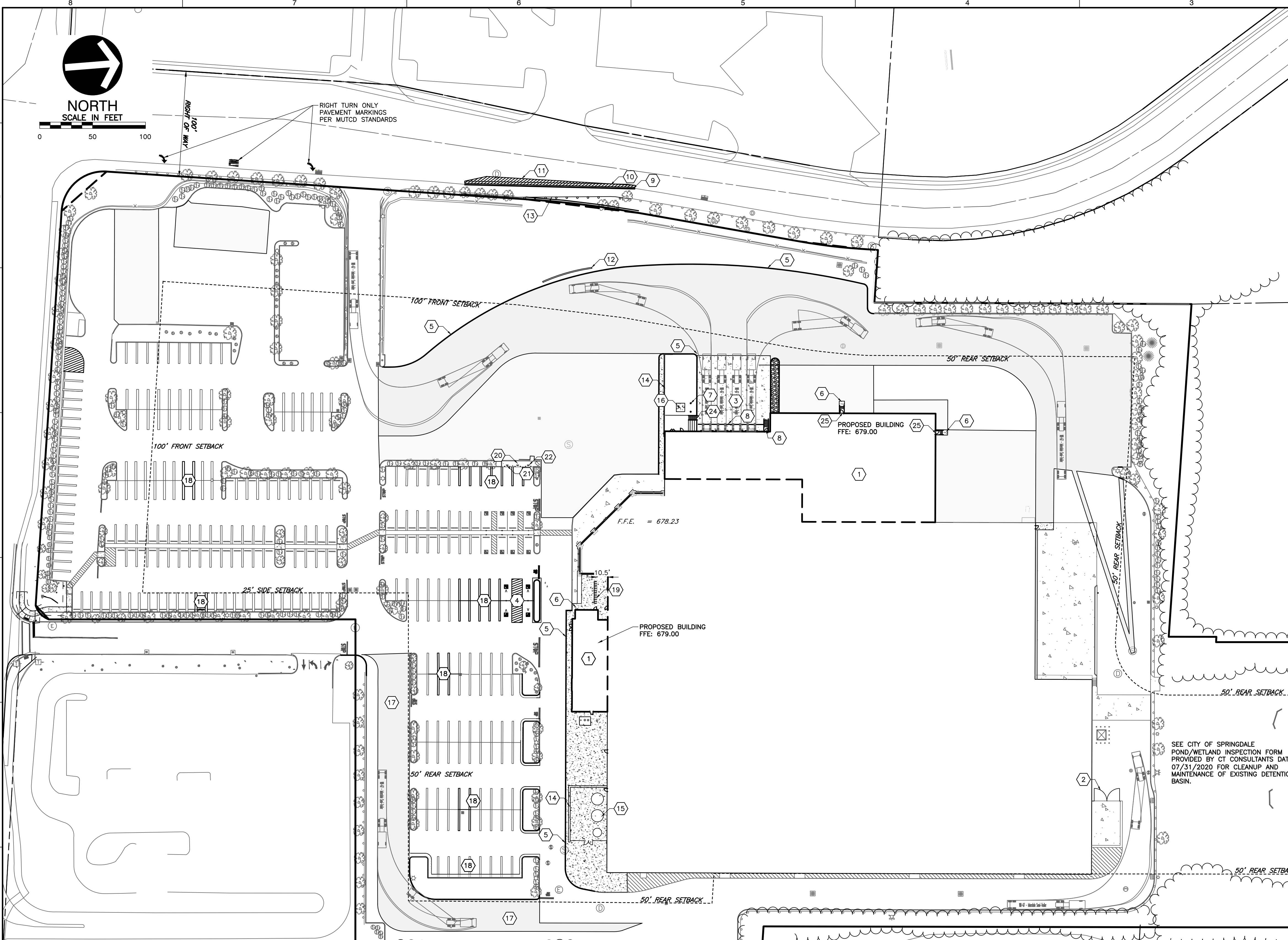


NORTH
SCALE IN FEET

0 50 100

RIGHT TURN ONLY
PAVEMENT MARKINGS
PER MUTCD STANDARDS

100'
RIGHT OF WAY



SITE LAYOUT LEGEND

- EXISTING PROPERTY LINE
- - - - EXISTING SETBACK
- EXISTING BUILDING
- - - - EXISTING GUARDRAIL
- EXISTING CURB
- ☀ EXISTING TREE
- EXISTING SIGN
- ☒ EXISTING STORM INLETS
- ⊙ EXISTING STORM MANHOLE
- ⊕ EXISTING WATER VALVE
- ⚡ EXISTING FIRE HYDRANT
- ☆ EXISTING LIGHTING
- ☒ ☒ EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
- ⊙ ⊙ EXISTING SANITARY CLEANOUT/MANHOLE
- ⊕ ⊕ EXISTING GAS METER/TAP
- ☒ ☒ ☒ EXISTING ELECTRICAL BOXES/METER/MANHOLE
- ▒ EXISTING CONCRETE
- ▒ PROPOSED CONCRETE
- ▒ PROPOSED HEAVY DUTY PAVEMENT
- ▒ PROPOSED LIGHT DUTY PAVEMENT
- ▒ PROPOSED LANDSCAPE RESTORATION
- ▒ PROPOSED SIGNAGE
- ▒ PROPOSED WALL
- ▒ PROPOSED GUARD RAIL
- ▒ PROPOSED CURB

LAYOUT KEY NOTES

- ① PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. SEE LANDSCAPE PLANS FOR PLANTING DETAILS.
- ② EXISTING TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. PROVIDE NEW GATE PER CITY OF SPRINGDALE STANDARDS, SHEET C803.
- ③ PROPOSED HEAVY DUTY CONCRETE PAD. SEE DETAIL 2/C800 AND GEN NOTE 1
- ④ PROPOSED ACCESSIBLE PARKING WITH SIGNAGE. SEE DETAIL 3/C800.
- ⑤ PROPOSED CURB 6". SEE DETAIL 1/C800.
- ⑥ PROPOSED CONCRETE. SEE DETAIL 5/C800.
- ⑦ PROPOSED BOLLARDS
- ⑧ PROPOSED TRENCHDRAIN. SEE SHEET C500.
- ⑨ MATCH EXISTING CURB PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- ⑩ ASPHALT PAVE AND REPAIR PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- ⑪ 4" WHITE WATERBOURNE PAVEMENT MARKING PER OMUTCD.
- ⑫ PROPOSED RETAINING WALL. SEE SHEET C300 FOR DETAILS.
- ⑬ 160 L.F. PROPOSED GUARD RAIL TO MATCH EXISTING GUARD RAIL TO REMAIN.
- ⑭ PROPOSED PRIVACY WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑮ PROPOSED SILOS. SEE DETAIL ARCHITECTURAL PLANS FOR DETAILS.
- ⑯ PROPOSED TRANSFORMER
- ⑰ PROPOSED ALTERNATE FIRE LANE
- ⑱ PROPOSED BIKE RACK WITH 12 SPACES, SEE DETAIL 12/C800.
- ⑲ CONTRACTOR TO AVOID DISCONNECTING ELECTRIC SERVICE TO EXISTING UTILITY
- ⑳ INSTALL EV CHARGER WITH BOLLARD PROTECTION. (DETAILS BY OTHERS)
- ㉑ PROPOSED ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS FOR DETAILS AND CONDUIT)
- ㉒ SITE LIGHTING TO REMAIN (REFER TO ELECTRICAL PLANS). SEE ARCHITECTURAL PLANS FOR BUILDING MOUNTED LIGHTING.
- ㉓ PROPOSED CONCRETE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
- ㉔ PROPOSED METAL STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.

GENERAL NOTES

- 1) NEW TRUCK DOCK TO BE 48" HEIGHT FROM FFE TO PAVEMENT SURFACE.
- 2) SEE SHEET C802 FOR CITY OF SPRINGDALE STANDARD CONSTRUCTION DRAWINGS COMMERCIAL ZONE TYPICAL SECTION FOR ROADWAY, CURB, AND LAWN RESTORATION.

REVISION RECORD

NO	DATE	DESCRIPTION

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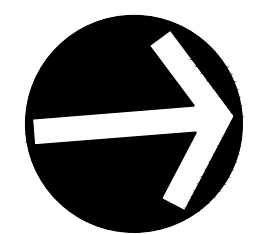
SITE LAYOUT PLAN

DATE:	AUGUST 2023	DRAWN BY:	JRK	PROJECT NO:	330-307
DWG SCALE:	AS SHOWN	CHECKED BY:		PROJECT NO:	330-307
APPROVED BY:		APPROVED BY:		PROJECT NO:	330-307
			DRAFT		

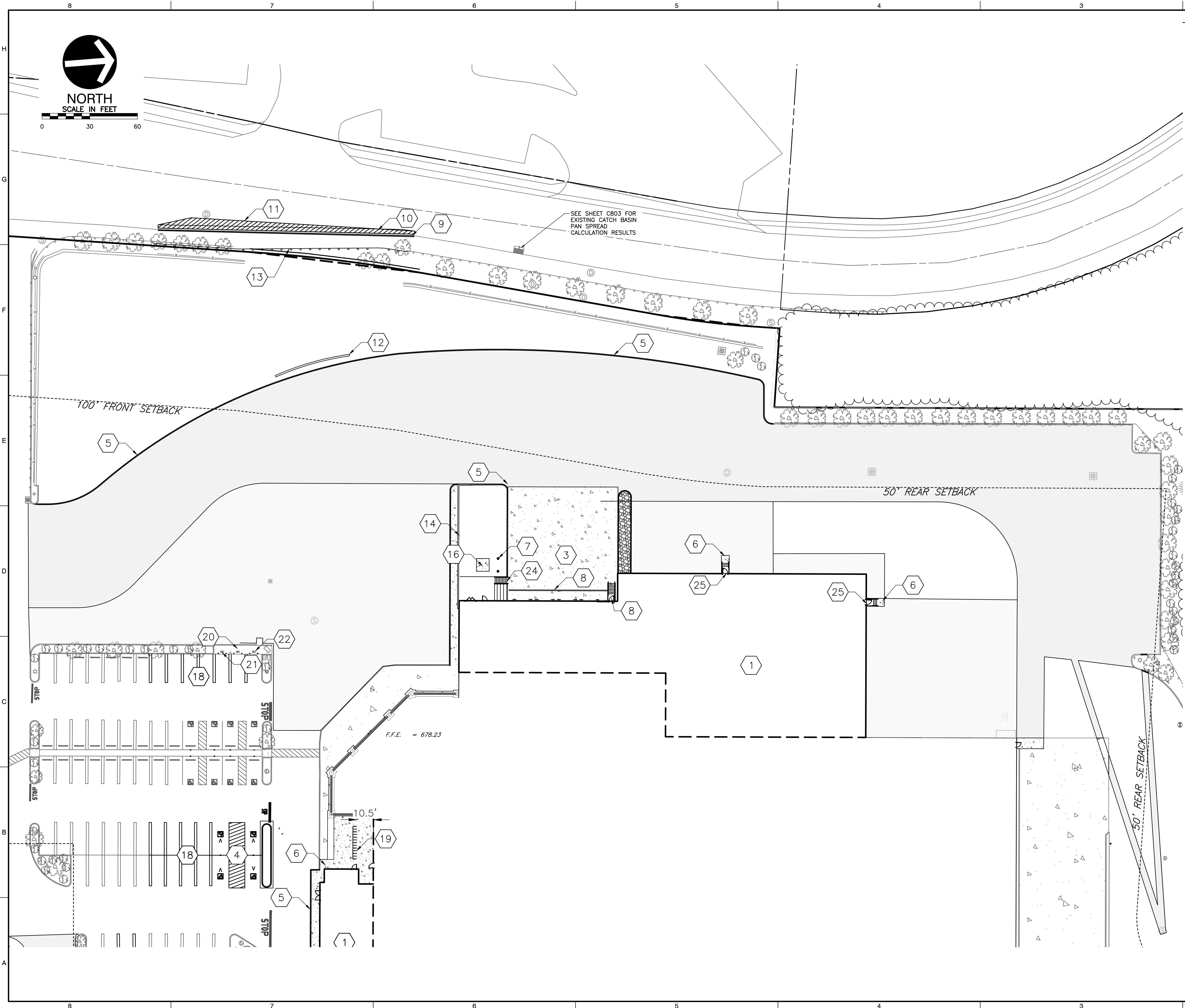
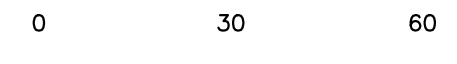
DRAWING NO: **C200**

SHEET OF

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NORTH
SCALE IN FEET



SEE SHEET C803 FOR
EXISTING CATCH BASIN
PAN SPREAD
CALCULATION RESULTS

F.F.E. = 678.23

10.5'

SITE LAYOUT LEGEND

- EXISTING PROPERTY LINE
- - - - - EXISTING SETBACK
- EXISTING BUILDING
- EXISTING GUARDRAIL
- EXISTING CURB
- ☀ EXISTING TREE
- ☀ EXISTING SIGN
- ☀ EXISTING STORM INLETS
- ☀ EXISTING STORM MANHOLE
- ☀ EXISTING WATER VALVE
- ☀ EXISTING FIRE HYDRANT
- ☀ EXISTING LIGHTING
- ☀ EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
- ☀ EXISTING SANITARY CLEANOUT/MANHOLE
- ☀ EXISTING GAS METER/TAP
- ☀ EXISTING ELECTRICAL BOXES/METER/MANHOLE
- ▨ EXISTING CONCRETE
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED HEAVY DUTY PAVEMENT
- ▨ PROPOSED LIGHT DUTY PAVEMENT
- ▨ PROPOSED LANDSCAPE RESTORATION
- ▨ PROPOSED BUILDING
- ▨ PROPOSED WALL
- ▨ PROPOSED GUARD RAIL
- ▨ PROPOSED CURB

LAYOUT KEY NOTES

- 1) PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. SEE LANDSCAPE PLANS FOR PLANTING DETAILS.
- 2) EXISTING TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. PROVIDE NEW GATE PER CITY OF SPRINGDALE STANDARDS, SHEET C803.
- 3) PROPOSED HEAVY DUTY CONCRETE PAD. SEE DETAIL 2/C800 AND GEN NOTE 1.
- 4) PROPOSED ACCESSIBLE PARKING WITH SIGNAGE. SEE DETAIL 3/C800.
- 5) PROPOSED CURB 6". SEE DETAIL 1/C800.
- 6) PROPOSED CONCRETE. SEE DETAIL 5/C800.
- 7) PROPOSED BOLLARDS
- 8) PROPOSED TRENCHDRAIN. SEE SHEET C500.
- 9) MATCH EXISTING CURB PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 10) ASPHALT PAVE AND REPAIR PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 11) 4" WHITE WATERBOURNE PAVEMENT MARKING PER OUMTCD.
- 12) PROPOSED RETAINING WALL. SEE SHEET C300 FOR DETAILS.
- 13) 160 L.F. PROPOSED GUARD RAIL TO MATCH EXISTING GUARD RAIL TO REMAIN.
- 14) PROPOSED PRIVACY WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 15) PROPOSED SILOS. SEE DETAIL ARCHITECTURAL PLANS FOR DETAILS.
- 16) PROPOSED TRANSFORMER
- 17) PROPOSED ALTERNATE FIRE LANE
- 18) PROPOSED PAVEMENT STRIPING
- 19) PROPOSED BIKE RACK WITH 12 SPACES, SEE DETAIL 12/C800.
- 20) CONTRACTOR TO AVOID DISCONNECTING ELECTRIC SERVICE TO EXISTING UTILITY
- 21) INSTALL EV CHARGER WITH BOLLARD PROTECTION. (DETAILS BY OTHERS)
- 22) PROPOSED ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS FOR DETAILS AND CONDUIT)
- 23) SITE LIGHTING TO REMAIN (REFER TO ELECTRICAL PLANS). SEE ARCHITECTURAL PLANS FOR BUILDING MOUNTED LIGHTING.
- 24) PROPOSED CONCRETE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
- 25) PROPOSED METAL STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.

GENERAL NOTES

- 1) NEW TRUCK DOCK TO BE 48" HEIGHT FROM FFE TO PAVEMENT SURFACE.
- 2) SEE SHEET C802 FOR CITY OF SPRINGDALE STANDARD CONSTRUCTION DRAWINGS COMMERCIAL ZONE TYPICAL SECTION FOR ROADWAY, CURB, AND LAWN RESTORATION.

REVISION RECORD

NO	DATE	DESCRIPTION



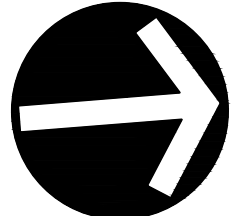
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DITCH KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

SITE LAYOUT PLAN	
DATE:	AUGUST 2023
DWG SCALE:	AS SHOWN
PROJECT NO.:	330-307
DRAWN BY:	JRK
CHECKED BY:	DRAFT
APPROVED BY:	DRAFT

DRAWING NO.:
C201
SHEET OF

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NORTH
SCALE IN FEET

0 30 60



SITE LAYOUT LEGEND

	EXISTING PROPERTY LINE
	EXISTING SETBACK
	EXISTING BUILDING
	EXISTING GUARDRAIL
	EXISTING CURB
	EXISTING TREE
	EXISTING SIGN
	EXISTING STORM INLETS
	EXISTING STORM MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING LIGHTING
	EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
	EXISTING SANITARY CLEANOUT/MANHOLE
	EXISTING GAS METER/TAP
	EXISTING ELECTRICAL BOXES/METER/MANHOLE
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED LIGHT DUTY PAVEMENT
	PROPOSED LANDSCAPE RESTORATION
	PROPOSED BUILDING
	PROPOSED WALL
	PROPOSED GUARD RAIL
	PROPOSED CURB

LAYOUT KEY NOTES

- 1) PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. SEE LANDSCAPE PLANS FOR PLANTING DETAILS.
- 2) EXISTING TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. PROVIDE NEW GATE PER CITY OF SPRINGDALE STANDARDS, SHEET C803.
- 3) PROPOSED HEAVY DUTY CONCRETE PAD. SEE DETAIL 2/C800 AND GEN NOTE 1.
- 4) PROPOSED ACCESSIBLE PARKING WITH SIGNAGE. SEE DETAIL 3/C800.
- 5) PROPOSED CURB 6". SEE DETAIL 1/C800.
- 6) PROPOSED CONCRETE. SEE DETAIL 5/C800.
- 7) PROPOSED BOLLARDS
- 8) PROPOSED TRENCHDRAIN. SEE SHEET C500.
- 9) MATCH EXISTING CURB PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 10) ASPHALT PAVE AND REPAIR PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 11) 4" WHITE WATERBOURNE PAVEMENT MARKING PER OUMTCD.
- 12) PROPOSED RETAINING WALL. SEE SHEET C300 FOR DETAILS.
- 13) 160 L.F. PROPOSED GUARD RAIL TO MATCH EXISTING GUARD RAIL TO REMAIN.
- 14) PROPOSED PRIVACY WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 15) PROPOSED SILOS. SEE DETAIL ARCHITECTURAL PLANS FOR DETAILS.
- 16) PROPOSED TRANSFORMER
- 17) PROPOSED ALTERNATE FIRE LANE
- 18) PROPOSED PAVEMENT STRIPING
- 19) PROPOSED BIKE RACK WITH 12 SPACES, SEE DETAIL 12/C800.
- 20) CONTRACTOR TO AVOID DISCONNECTING ELECTRIC SERVICE TO EXISTING UTILITY
- 21) INSTALL EV CHARGER WITH BOLLARD PROTECTION. (DETAILS BY OTHERS)
- 22) PROPOSED ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS FOR DETAILS AND CONDUIT)
- 23) SITE LIGHTING TO REMAIN (REFER TO ELECTRICAL PLANS). SEE ARCHITECTURAL PLANS FOR BUILDING MOUNTED LIGHTING.
- 24) PROPOSED CONCRETE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
- 25) PROPOSED METAL STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.

GENERAL NOTES

- 1) NEW TRUCK DOCK TO BE 48" HEIGHT FROM FFE TO PAVEMENT SURFACE.
- 2) SEE SHEET C802 FOR CITY OF SPRINGDALE STANDARD CONSTRUCTION DRAWINGS COMMERCIAL ZONE TYPICAL SECTION FOR ROADWAY, CURB, AND LAWN RESTORATION.

REVISION RECORD

NO.	DATE	DESCRIPTION



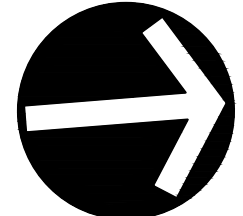
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KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

SITE LAYOUT PLAN	
DATE:	AUGUST 2023
DWG SCALE:	AS SHOWN
PROJECT NO.:	330-307
DRAWN BY:	JRK
CHECKED BY:	AS SHOWN
APPROVED BY:	
DRAFT	DRAFT
DRAFT	DRAFT

DRAWING NO.: **C202**

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NORTH
SCALE IN FEET

0 30 60

SITE LAYOUT LEGEND

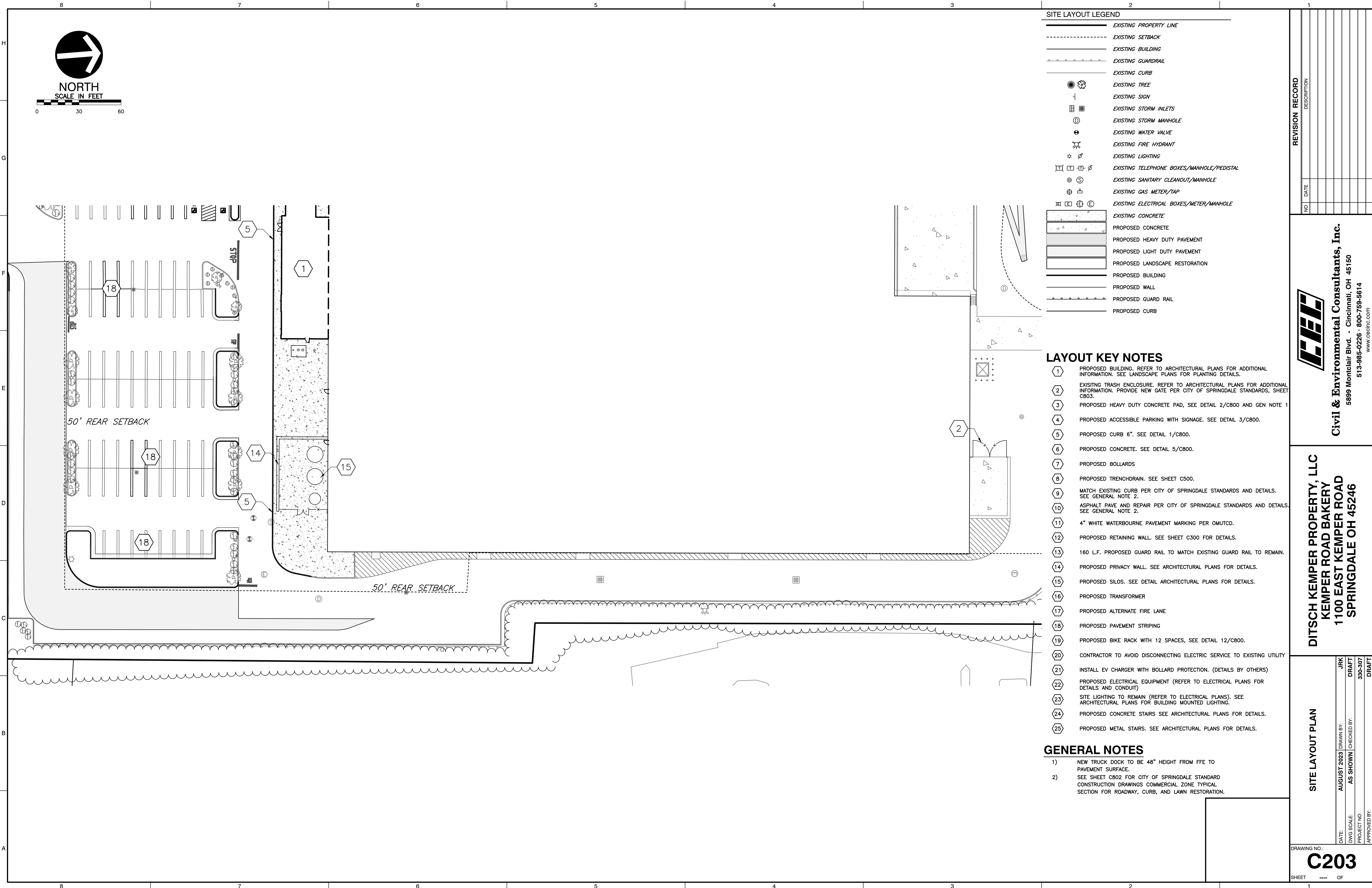
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	EXISTING CURB
	EXISTING TREE
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	EXISTING STORM MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING LIGHTING
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	EXISTING GAS METER/TAP
	EXISTING ELECTRICAL BOXES/METER/MANHOLE
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED LIGHT DUTY PAVEMENT
	PROPOSED LANDSCAPE RESTORATION
	PROPOSED BUILDING
	PROPOSED GUARD RAIL
	PROPOSED CURB

LAYOUT KEY NOTES

- 1) PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. SEE LANDSCAPE PLANS FOR PLANTING DETAILS.
- 2) EXISTING TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. PROVIDE NEW GATE PER CITY OF SPRINGDALE STANDARDS, SHEET C803.
- 3) PROPOSED HEAVY DUTY CONCRETE PAD. SEE DETAIL 2/C800 AND GEN NOTE 1.
- 4) PROPOSED ACCESSIBLE PARKING WITH SIGNAGE. SEE DETAIL 3/C800.
- 5) PROPOSED CURB 6". SEE DETAIL 1/C800.
- 6) PROPOSED CONCRETE. SEE DETAIL 5/C800.
- 7) PROPOSED BOLLARDS
- 8) PROPOSED TRENCHDRAIN. SEE SHEET C500.
- 9) MATCH EXISTING CURB PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 10) ASPHALT PAVE AND REPAIR PER CITY OF SPRINGDALE STANDARDS AND DETAILS. SEE GENERAL NOTE 2.
- 11) 4" WHITE WATERBOURNE PAVEMENT MARKING PER OUMTCD.
- 12) PROPOSED RETAINING WALL. SEE SHEET C300 FOR DETAILS.
- 13) 160 L.F. PROPOSED GUARD RAIL TO MATCH EXISTING GUARD RAIL TO REMAIN.
- 14) PROPOSED PRIVACY WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 15) PROPOSED SILOS. SEE DETAIL ARCHITECTURAL PLANS FOR DETAILS.
- 16) PROPOSED TRANSFORMER
- 17) PROPOSED ALTERNATE FIRE LANE
- 18) PROPOSED PAVEMENT STRIPING
- 19) PROPOSED BIKE RACK WITH 12 SPACES, SEE DETAIL 12/C800.
- 20) CONTRACTOR TO AVOID DISCONNECTING ELECTRIC SERVICE TO EXISTING UTILITY
- 21) INSTALL EV CHARGER WITH BOLLARD PROTECTION. (DETAILS BY OTHERS)
- 22) PROPOSED ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS FOR DETAILS AND CONDUIT)
- 23) SITE LIGHTING TO REMAIN (REFER TO ELECTRICAL PLANS). SEE ARCHITECTURAL PLANS FOR BUILDING MOUNTED LIGHTING.
- 24) PROPOSED CONCRETE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
- 25) PROPOSED METAL STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.

GENERAL NOTES

- 1) NEW TRUCK DOCK TO BE 48" HEIGHT FROM FFE TO PAVEMENT SURFACE.
- 2) SEE SHEET C802 FOR CITY OF SPRINGDALE STANDARD CONSTRUCTION DRAWINGS COMMERCIAL ZONE TYPICAL SECTION FOR ROADWAY, CURB, AND LAWN RESTORATION.



P:\330-001\330-3071-CAD\DWG\CIVIL\330307-001-C200.dwg (2023) SITE LAYOUT PLAN (LS) (8/31/2023 - mmmmm) - LP: 8/31/2023 4:43 PM

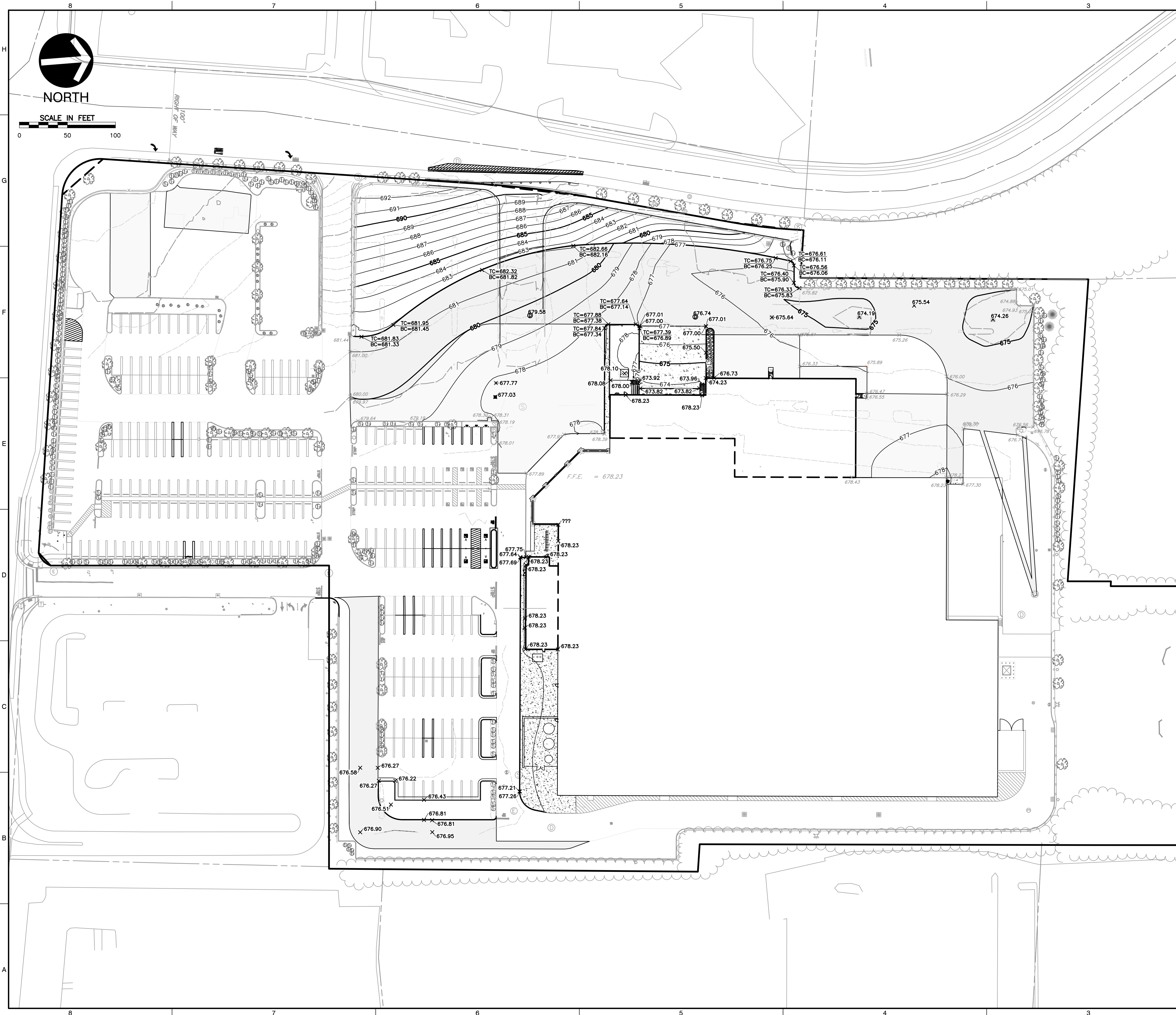
REVISION RECORD	
NO.	DESCRIPTION

Civil & Environmental Consultants, Inc.
5899 Montclair Blvd. - Cincinnati, OH 45150
513-985-0226 · 800-759-5614
www.cecinc.com

DITSCHEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

DATE: AUGUST 2023		DRAWN BY: JRK	
DWG SCALE: AS SHOWN		CHECKED BY: []	
PROJECT NO: 330-307		DRAFT	
APPROVED BY: []		DRAFT	

DRAWING NO.: **C203**
SHEET 1 OF



GRADING PLAN LEGEND

—	EXISTING PROPERTY LINE
- - - - -	EXISTING SETBACK
—	EXISTING BUILDING
—	EXISTING GUARDRAIL
—	EXISTING CURB
☀	EXISTING TREE
⊕	EXISTING SIGN
⊕	EXISTING STORM INLETS
⊕	EXISTING STORM MANHOLE
⊕	EXISTING WATER VALVE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING LIGHTING
⊕	EXISTING TELEPHONE BOXES/MANHOLE/PEDISTAL
⊕	EXISTING SANITARY CLEANOUT/MANHOLE
⊕	EXISTING GAS METER/TAP
⊕	EXISTING ELECTRICAL BOXES/METER/MANHOLE
▨	EXISTING CONCRETE
▨	PROPOSED CONCRETE
▨	PROPOSED HEAVY DUTY PAVEMENT
▨	PROPOSED LIGHT DUTY PAVEMENT
▨	PROPOSED LANDSCAPE RESTORATION
▨	PROPOSED BUILDING
▨	PROPOSED WALL
▨	PROPOSED GUARD RAIL
▨	PROPOSED CURB
855	PROPOSED INDEX CONTOUR
854	PROPOSED INTERMEDIATE CONTOUR
X 854.40	EXISTING SPOT ELEVATION
X 855.64	PROPOSED SPOT ELEVATION
X 895.50 TC	PROPOSED CURB ELEVATION;
X 895.00 BC	TC = TOP OF CURB
	BC = BOTTOM OF CURB
⊕	PROPOSED INLET PROTECTION

GENERAL NOTES

- 1) NEW TRUCK DOCK TO BE 48" HEIGHT FROM FFE TO PAVEMENT SURFACE.

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
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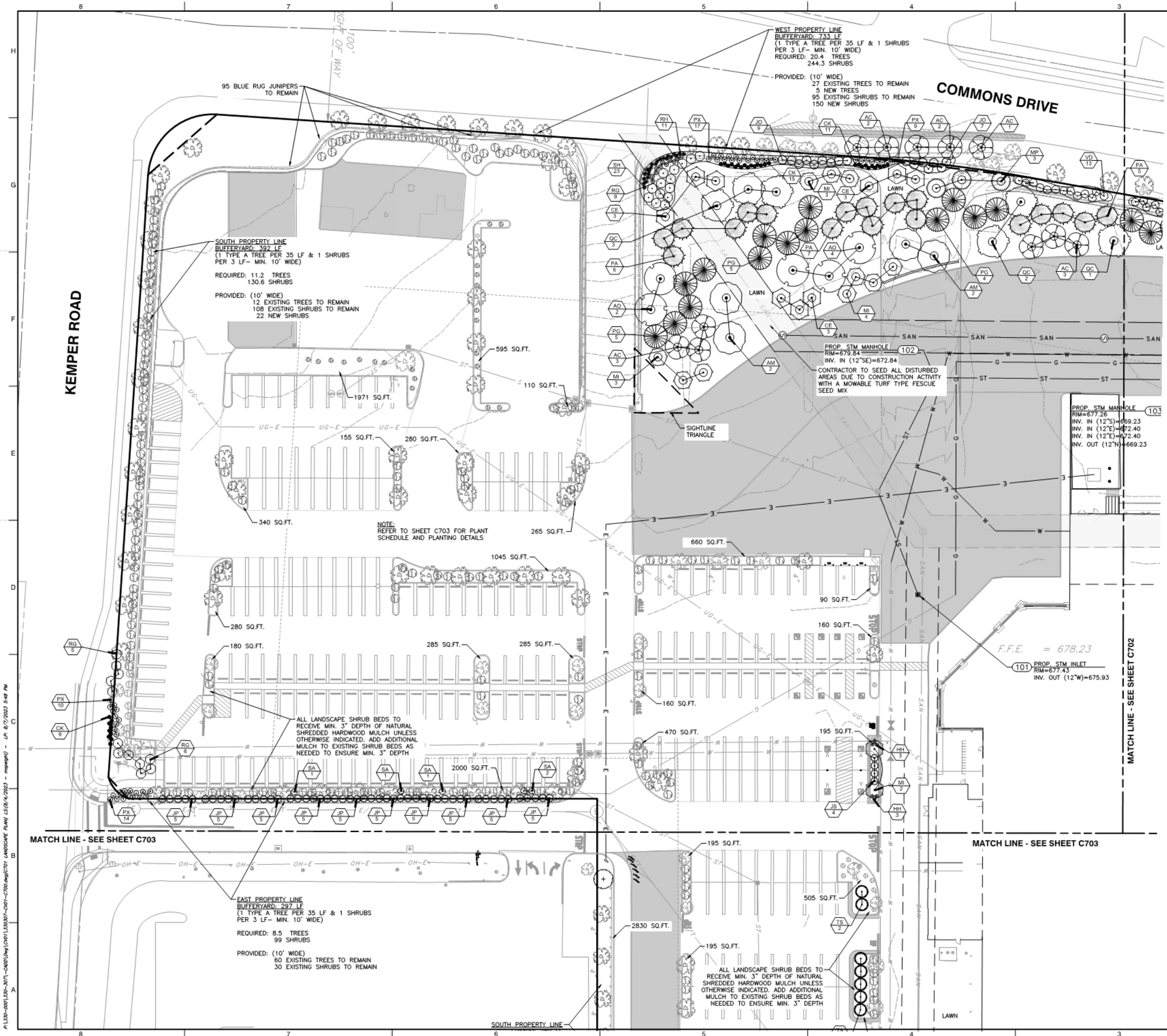
DITSCH KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

SITE GRADING PLAN

DATE:	AUGUST 2023	DRAWN BY:	JRK
DWG SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	330-307	APPROVED BY:	DRAFT

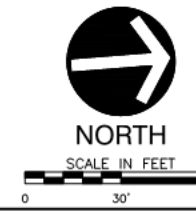
DRAWING NO.: **C300**
 SHEET 1 OF 1

P:\330-001\330-307-001\CAD\DWG\C300-001-C300.dwg (330) GRADING PLAN (S) (8/21/2023 4:44 PM) - LP: 8/21/2023 4:44 PM



- GENERAL LANDSCAPE NOTES:**
- ALL CONSTRUCTION AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
 - NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
 - ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
 - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
 - ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
 - WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
 - THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
 - THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
 - IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
 - CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
 - STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
 - ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
 - IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
 - IRRIGATION TO BE PROVIDED FOR ALL PROPOSED PLANTINGS; CONTRACTOR TO COORDINATE INSTALLATION.
 - LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT. WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
 - ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

- PLANTING SOIL PREPARATION NOTES:**
- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXISTING MATERIALS HARMFUL TO PLANT GROWTH.
 - MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
 - FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.
PROVIDE SPECIFIED FERTILIZER AT A RATE OF:
SHADE TREE: 2 POUNDS PER INCH OF CALIPER
SMALL TREE: 1 POUND PER INCH OF CALIPER
 - FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
 - GROUND COVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS. USED FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
 - FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PLANTING.
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 15"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF TOPSOIL.
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS. LOOSE COMPACTED HARDPAN - MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.



REVISION RECORD	
NO.	DATE

Civil & Environmental Consultants, Inc.
5899 Montclair Blvd. - Cincinnati, OH 45150
513-985-0226 · 800-759-5614
www.cecinc.com

DITSCHE KEMPER PROPERTY, LLC
KEMPER ROAD BAKERY
1100 EAST KEMPER ROAD
SPRINGDALE OH 45246

LANDSCAPE PLAN

DATE:	AUGUST 8, 2023	DRAWN BY:	JPK
DWG SCALE:	AS SHOWN	CHECKED BY:	DRAFT
PROJECT NO.:	330-307	APPROVED BY:	DRAFT

DRAWING NO.: **C701**
SHEET ___ OF ___



CITY OF SPRINGDALE - BUILDING DEPARTMENT

11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246

PHONE: 513-346-5730 FAX: 513-346-5747

WEBSITE: www.springdale.org/building-department.aspx

EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

DITSCH KEMPER PROPERTY, LLC

Project Name: KEMPER ROAD BAKERY Area of Development: 16.321 Acres

Project Location: 1100 E KEMPER ROAD SPRINGDALE, OHIO 45246

Applicant: CARL BELL, on behalf of DITSCH KEMPER PROPERTY, LLC (330) 592-2886

60 SOUTH MAPLE STREET, SUITE 301, AKRON, OH 44303 carl.bell@structuraltd.com

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: https://www.springdale.org/building-department.aspx

Major Project: Application process requires a Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council. Include Major Projects Submission Requirements Document with this Application Project Types include the following: (Pick 1 Below)

Minor Project: Application process requires a Meeting and a Decision by Planning Commission. Include Minor Project Submission Requirements Document with this Application Project Types include the following: (Pick 1 Below)

BZA Hearing: Application process requires a Public Hearing and a Decision by the Board of Zoning Appeals. Include BZA Submission Requirements document Project Types: (Pick 1 Below)

Table with 3 columns and 4 rows of checkboxes for various zoning options like Zoning Text or Map Amendments, Concept Plan, Development Plan, Conditional Use Permits, Determination of Similar Uses, Variance, Appeal, etc.

BRIEFLY DESCRIBE PROJECT: (Provide Existing and Proposed Zoning for this Property)

Ditsch Kemper Property, LLC, is submitting documents for the Final Review of the Approved Preliminary Development Plan.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

Signature of Carl T. Bell, Date 08/07/2023, Print Name Carl T. Bell



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

DITSCH KEMPER PROPERTY, LLC

Project Name: KEMPER ROAD BAKERY **Total Area/Development:** 16.321 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 1100 E KEMPER ROAD
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: 16.321 Acres **Parcel ID:** 059900100032
(From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

Property Owner: DITSCH KEMPER PROPERTY, LLC
(Name From Auditor's Website) **CONTACT: THORSTEN SCHROEDER** (513) 240-0311
(Daytime Phone Number)

311 NORTHLAND BLVD., SPRINGDALE, OH 45246 thorsten.schroeder@ditsch.com
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

STATE OF OHIO, COUNTY OF HAMILTON

I (we) DITSCH KEMPER PROPERTY, LLC, hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.



SHAWNA M JOHNSON
 Notary Public, State of Ohio
 My Commission Expires
 February 6, 2025

[Handwritten Signature]

Signature

311 NORTHLAND BLVD.

Mailing Address

SPRINGDALE, OH 45246

City and State

(513) 240-0311

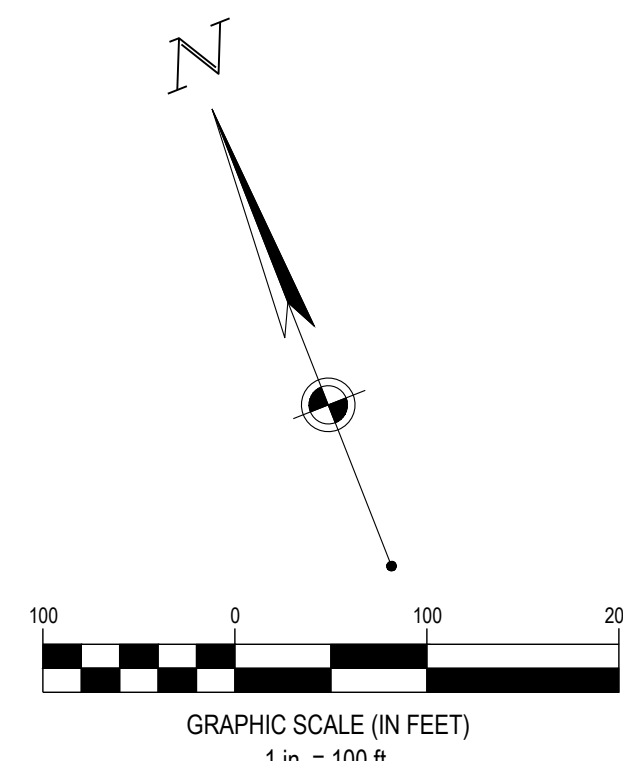
Phone

Subscribed and sworn to before

me this 5th day of August, 2023

[Handwritten Signature: Shawna M. Johnson]

Notary Public



WAWA #7212

WAWA - SPRINGDALE, OH

370 GLENSPRINGS DRIVE
SPRINGDALE, OH 45246

Revisions / Submissions

ID	Description	Date

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Project Number: 762010
 Scale: 100
 Drawn By: MBS
 Checked By: JMS
 Date: 08/29/23
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
AERIAL MAP

CUSTOMER APPROVAL

Approved Approved as Noted Not Approved
Resubmit with Changes

Print Name _____

Title _____

Signature _____

Date _____



BRANDBOOK

CLIENT: WaWa
LOCATION: 370 & 380 Glensprings,
Springdale, OH
DATE: 8/3/2023
VARIANCE: NO

TABLE OF CONTENTS

PAGE 1 - Cover Checklist
PAGE 2 - Cover
PAGE 3 - Program Specifications
PAGE 4 - Exterior Signage Site Plan
PAGE 5 - Code Check
PAGE 6 - S1 Proposed Rendering
PAGE 7 - S1 Sign Details
PAGE 8 - S2 Proposed Rendering (Side)
PAGE 9 - S3 Proposed Rendering (Side)
PAGE 10 - S2/S3 Sign Details
PAGE 11 - S4 Double Face Monument Sign
PAGE 12 - S4/S5 Proposed Rendering
PAGE 13 - S5 Mid Sign Replacement Face
PAGE 14 - S6 Double Face Monument Sign
PAGE 15 - S7 High Rise Sign Replacement Face
PAGE 16 - S8 Canopy Sign
PAGE 17 - S9 CANOPY SPANNER WITH CHANNLE LETTERS
PAGE 18 - S10 Pump Indicators
PAGE 19 - S11 Pump Indicators
PAGE 20 - Safety Criteria / General Installation Info

CONTACTS

Project Manager: Katie Kopas
Email: kkopas@blairimage.com
Phone: (512) 649-4584

DOCUMENT INFO

BLAIR PROJECT#: 103983
SALES ORDER #: 80876
DOC #: AD-TCA-103983_Springdale_10

REVISIONS

REV	DATE	DESCRIPTION
<u>8</u>	<u>7/31/23</u>	<u>ADD HIGH RISE AND MID SIGN</u>
<u>9</u>	<u>8/3/23</u>	<u>UPDATE CODE AND SOW</u>
<u>10</u>	<u>8/30/23</u>	<u>UPDATE AS PER REQUEST</u>

BRAND STANDARD
REVISION DATE:

- All provided image elements and / or services meet the current brand revision.
- The following image elements and / or services do not meet the current brand standard due to municipal code and / or specific site conditions. _____

blair
IMAGE ELEMENTS™



Sign Legend

Illuminated Face Lit Channel letters & Halo Lit Logo

- Wawa 24"
- Wawa 28"
- Wawa 31"
- Wawa 32"
- Wawa 35"
- Wawa 38"
- Wawa 44"
- Wawa 53"
- Wawa 59"

D/F Illuminated Pylon Signs

- P-50, P-75,
- P-100, P-150
- P-200

D/F Illuminated Monument Signs

- M-50

D/F Illuminated Directional Signs

- 30" Vehicular Directional
- 20" Vehicular Directional
- 16" Vehicular Directional

S/F Illuminated Canopy Signs

- S/F LED Illuminated Canopy Sign

D/F Non-Illuminated Pump Spanners

- Straight Pumps
- Stacked Pumps

D/F Non-Illuminated Pump Indicators

- Gas
- Gas / Diesel
- Gas / Diesel / Ethanol Free

Color Material Legend

	EXAMPLE	CLIENT COLOR	PANTONE (PMS)	VINYL; <i>Opacity (V)</i>	PLASTIC(PL)	PAINT (P)	TRIM CAP(TC)
1.		White		3M 7725-10 'White'; <i>Opaque</i>	#7328 White	White; Smooth Satin	Standard White
2.		Milky White		3M 3635-70 'Diffuser Film'; <i>Trans.</i>	#2447 Milky White		Standard White
3.		Black Gloss	PMS Process BlackC	3M 7725-12 'Black'; <i>Opaque</i>	#2025 Opaque Black	Black	Standard Black
4.		Wawa Grey				Paint to Match PMS 421C	Jewelite 'Silver'
11.		Wawa Red 186	PMS 186C	3M 7725-263 "Perfect Match Red"; <i>Opaque</i> 3m 3630-83 "Regal Red"; <i>Trans</i>	#2793 Red	Paint to Match PMS 186C	Jewelite 'Red'
13.						RAL #1013 OYSTER WHITE	
16.		Kelly Green / Vivid Green	PMS 355C	3M 7725-46 'Kelly Green'; <i>Opaque</i> 3M 3630-156 'Vivid Green'; <i>Trans.</i>		Paint to Match PMS 355C	Jewelite 'Green'
17.		Olympic Blue	PMS 7461C	3M 7725-57 'Olympic Blue'; <i>Opaque</i> 3M 3630-57 'Olympic Blue'; <i>Trans.</i>		Paint to Match PMS 7461C	
20.		Limestone Cap					
21.		Masonry/Stone Fascia					
22.		#12 Brushed Aluminum - Metal Finish					
23.		Wawa Grey - Perforated Print		3M 3635-210 Perforated 'White' Vinyl			
24.		Diesel Number Sign Green	PMS 377C			Paint to Match PMS 377C	

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WaWa
370 & 380 Glensprings,
Springdale, OH

STORE #
N/A

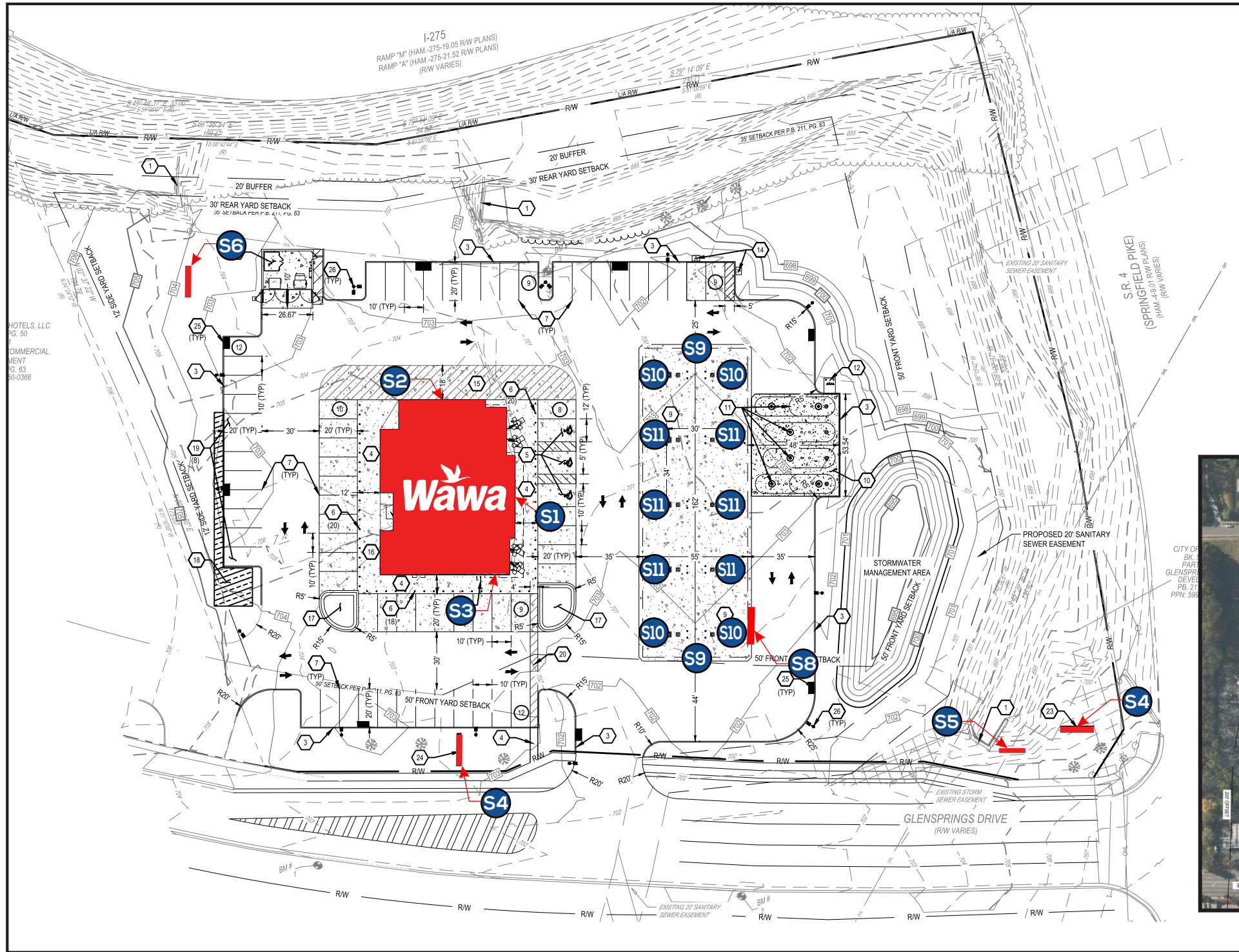
Issue Date: 5/1/2023
Drawn By: Mike C.

REV	DATE	DESCRIPTION
8	7/31/23	ADD HIGH RISE AND MID SIGN
9	8/3/23	UPDATE CODE AND SOW
10	8/30/23	UPDATE AS PER REQUEST

Rev: 10
Date: 8/30/2023
Doc #: AD-WAW_103983_Springdale_10
Blair Project #: 103983
Blair Sales Order #: 80876

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com





SIGN ID	DESCRIPTION	QTY
S1	GOOSE LOGO	1
S2	GOOSE LOGO	1
S3	GOOSE LOGO	1
S4	DOUBLE FACE MONUMENT	2
S5	MID SIGN	1
S6	DOUBLE FACE POLE SIGN	1
S7	HIGH RISE SIGN	1
S8	GAS CANOPY SIGN	1
S9	CANOPY SPANNERS	1
S10	PUMP INDICATORS	1
S11	PUMP INDICATORS	1



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WaWa
370 & 380 Glensprings,
Springdale, OH

STORE #
N/A

Issue Date: 5/1/2023
Drawn By: Mike C.

REV	DATE	DESCRIPTION
8	7/31/23	ADD HIGH RISE AND MID SIGN
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Rev: 10
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Blair Project #: 103983
Blair Sales Order #: 80876

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com





Wawa
370 and 380 Glensprings Drive
Development Plan Review
Applications# 2023-0572 and 0627
September 12, 2023

Request:

At the June 13, 2023 meeting, Planning Commission approved the Development Plan for the construction of a Wawa fuel center and convenience store. The approval did not include building colors or signage for the building, canopy, or site.

Comments:

The applicant submitted a sign brand book for the site. Following is a summary of the proposed building, canopy, ground, and pole signage reviewed per the requirements of “GB” General Business District and SubArea “B” of the “CRD” Corridor Review District.

1) Building Signage:

A) East/Front Building Elevation:

A 120.8 square foot “Wawa” sign (“S1”) with “goose logo” is proposed for the east/front building elevation. Based on the approximately 89 lineal feet of building frontage, and provided that the applicant acquires the parcel fronting on Springfield Pike from the city, the elevation is permitted 173.5 square feet of sign area with no one sign exceeding 150 square feet. The proposed sign is constructed of channel cut letters with the “goose logo” which contains 11.8 square feet (10% of the proposed sign area). This sign conforms to the Zoning Code.

B) North/Side Elevation:

A Wawa sign with a “goose logo” (“S2”) containing 42.5 square feet in channel cut letters is proposed for the north side building elevation. The goose logo contains 4.2 square feet (10% of the sign area). The building elevation, which faces I-275, is permitted approximately 70.5 square feet of sign area based on the 70.5 lineal feet of building frontage. This sign conforms to the Zoning Code.

C) South/Side Building Elevation:

A “Wawa” sign (“S3”) in channel cut letters containing 42.5 square feet is proposed for the south elevation fronting Glensprings Drive. The proposed “goose” logo contains 4.2 square feet, which is 10% of the proposed sign area. Based on the approximately 70.5 lineal feet of building frontage on Glensprings Drive, the elevation is entitled to 70.5 square feet of sign area. This sign conforms to the Zoning Code.

Ground Mounted Signs:

A) Glensprings Drive East Access Point:

A 7 foot tall ground mounted sign (“S4”) containing 44.33 square feet of sign area is proposed on Glensprings Drive, west of the east access point. The material of the base, which is 1’ 8” tall, is not identified. The setback of the sign from the right-of-way to Glensprings Drive is not provided. The required landscape bed, equal to the area of the sign, needs to be indicated on the landscape plan. All of the fuel price LED signage is to be illuminated in one color as required. The signage proposed needs to indicate it will conform to the requirements of Section 153.460 (D) for electronic signs. The inclusion of the electronic sign will require Conditional Use approval from Planning Commission per Section 153.257 (C) (4) (g).

B) Northwest Corner of Glensprings Drive and Springfield Pike:

A 7 foot tall ground mounted sign (“S4”) containing 44.33 square feet of sign area is proposed for the southeast corner of the site at the intersection of Springfield Pike and Glensprings Drive. The material of the base, which is 1’ 8” tall, is not identified. The setback of the sign from the right-of-way to Glensprings Drive is not provided. The required landscape bed, equal to the area of the sign, needs to be indicated on the landscape plan. All of the fuel price LED signage is to be illuminated in one color as required. The signage proposed needs to indicate it will conform to the requirements of Section 153.460 (D) for electronic signs. The inclusion of the electronic sign will require Conditional Use approval from Planning Commission per Section 153.257 (C) (4) (g). The proposed ground sign must be located outside of the required sight visibility triangle which is formed 35 feet from the intersection of the right-of-way lines of Springfield Pike and Glensprings Drive.

Pole Sign:

The applicant is proposing a 50 foot tall pylon sign (“S9”) containing 115.2 square feet of area to be located in the northwest corner of the site adjacent to I-275. The sign would contain the “Wawa” logo (40.44 square feet) and three electronic fuel price signs (74.75 square feet total). Pole signs are permitted in the “GB” District subject to the provisions of Section 153.459 (C) (4). The “CRD” prohibits the inclusion of pole signs within the District, however, Planning Commission could approve the pole sign per Section 153.257 (I) (5) if it is determined that unusual conditions exist on the site or the nature/quality of the design warrant adjustment of the “CRD” regulations. Planning Commission would need to approve a Conditional Use for inclusion of the electronic fuel pricers on the pole sign prior to their being included on the sign. The sign will need to comply with the provisions of Section 153.459 (C) (4) as follows:

Section 153.459 (C) (4):

- a) Maximum height for any pole sign is 50 feet.
- b) The total area for any pole sign shall not exceed 150 square feet of total sign face area.
- c) The sign shall be constructed of materials, colors, and design details which match or correlate to one of the principal buildings on site. The sign shall incorporate architectural features or finishes such as a gable, arch, or pediment.
- d) No bare metal poles shall be allowed. All poles must be wrapped or covered with a material that complements the overall design of the sign and is consistent with (c) above.
- e) All pole signs shall be set back a minimum distance equal to the height of the sign from the right-of-way of the interstate highway.
- f) Pole signs shall be located in a mulched and landscaped area that includes a variety of plant types or bushes and is equal to or larger than the total sign area of the applicable signs.

Canopy Signage:

East Canopy Elevation facing Springfield Pike:

A “Wawa” sign with goose logo (“S7”) containing 9.02 square feet in channel cut letters is proposed for the east fuel canopy elevation. The sign includes the goose logo, however the area of the goose logo, which cannot exceed 1.35 square feet, is not provided. The location of the sign on the canopy needs to be provided to determine compliance with Section 153.459 (C) (2) (f). The area of the goose logo needs to be provided.

Canopy Spanner Sign (“S8”)

Illuminated signage is proposed to be located at the north and south ends of the canopy. Each “Spanner” sign is to contain 39.3 square feet of area. The signs are to be illuminated channel cut letters. Planning Commission will need to determine if these signs are permitted given that they are not attached to the fascia of the canopy.

Considerations:

Should Planning Commission choose to approve the proposed signage for the Wawa, the following items need to be considered.

- 1) The base of the two ground mounted signs shall be constructed of materials and colors to be consistent with the building and approved by staff. Both

ground signs are to be located in landscaped beds of at least 45 square feet with planting plans provided for staff review and approval. Signs are to be set back a minimum of ten feet from the right-of-way line and not located within the sight triangle as defined in Section 153.254 (E).

- 2) The inclusion of the proposed three electronic signs within the “CRD” is not a part of any approval granted by Planning Commission.
- 3) Planning Commission determine that unusual conditions exist on the site, or the nature/quality of design allow for adjustment in the “CRD” regulations and allow for the inclusion of a pole sign on site. Planning Commission determine if the sign should meet the requirements of Section 153.459 (C) (4). Plans demonstrating compliance are to be submitted for staff review and approval.
- 4) Compliance with Section 153.459 (C) (2) (f) and Section 153.459 (C) (2) (d) needs to be submitted for staff review and approval of the proposed canopy sign on the east elevation.
- 5) Planning Commission determine if the two proposed 39.3 illuminated canopy spanner signs are appropriate.

Submitted By:

Anne F. McBride, FAICP
City Planner

MDC# 5019

5	S4	DOUBLE FACED MONUMENT	2	44.33
6	S5	MID SIGN	1	51.46
7	S6	HIGH RISE SIGN	1	TBD
8	S7	GAS CANOPY SIGN	1	9.02
9	S8	CANOPY SPANNER	1	9.02
10	S9	PUMP INDICATORS	1	2.33
11	S10	PUMP INDICATORS	1	2.33
12				
13				

Wall Signs	ALLOWED total sf	CURRENTLY INSTALLED	PROPOSED	CODE	VARIANCE (Y/N)	
S1 GOOSE LOGO			120.8	Buildings located on corner lots may be permitted to have wall signs on each frontage provided that the primary frontage conforms with section a) above "the second frontage has a maximum sign area that is equal to the width of the secondary building frontage times one" If the sign includes a separate logo or graphic element that is detached from the primary sign text, then two rectangles can be used to calculate the total sign area. The sum of the area of the two rectangles must be less than the maximum wall signage allowed for that specific tenant or building. **Wall panels may not need to be included" Non-commercial signs displaying messages, including residential real estate signs, construction signs, and garage and yard sale signs. Such signs shall not be located within the public right-of-way and shall be allowed to remain on premises for the period of time as designated in their respective sections"		
S2 GOOSE LOGO			42.5			
S3 GOOSE LOGO			42.5			
S8 GAS CANOPY SIGN			9.02			
S9 CANOPY SPANNER			9.02			
S10 PUMP INDICATORS			2.33			
S11 PUMP INDICATORS			2.33			
Free Standing Signs	ALLOWED total sf	CURRENTLY INSTALLED	PROPOSED		CODE	VARIANCE (Y/N)
S4 DF MONUMENT			44.33		Landscaping around base should equal sign face size Only one electronic sign per parcel; only one color LED; 12mm Max LED pitch, Max daytime brightness- 7500nits; nighttime- 500 nits; min hold time 20secs All pole signs shall be set back a minimum distance equal to the height of the sign from the right-of-way of the interstate highway. Min. 10ft Sign area calculations shall exclude the supportive structure if such structure does not form or include a part of the advertisement of the sign.	
S5 DIRECTIONAL SIGN			6			
S6 DF MONUMENT			115.2			
S7 HIGH RISE SIGN			TBD			

COMMENTS
<ul style="list-style-type: none"> Wall sign area = building frontage lineal feet x 1.5 + 20 square feet). NTE 150sqft Freestanding signs cannot exceed 7ft OAH / 100sqft Each page with channel letters & logo show SQ.FT. of goose separate from overall size of goose w/letters to show it is within 15% of the size of the sign. S1 Goose Logo = 11.8 SF 13% of 91.6 Overall Sign SF S2 Goose Logo = 6.66 SF 13% of 51.46 Overall Sign SF S3 Goose Logo = 4.2 SF 13% of 32.34 Overall Sign SF

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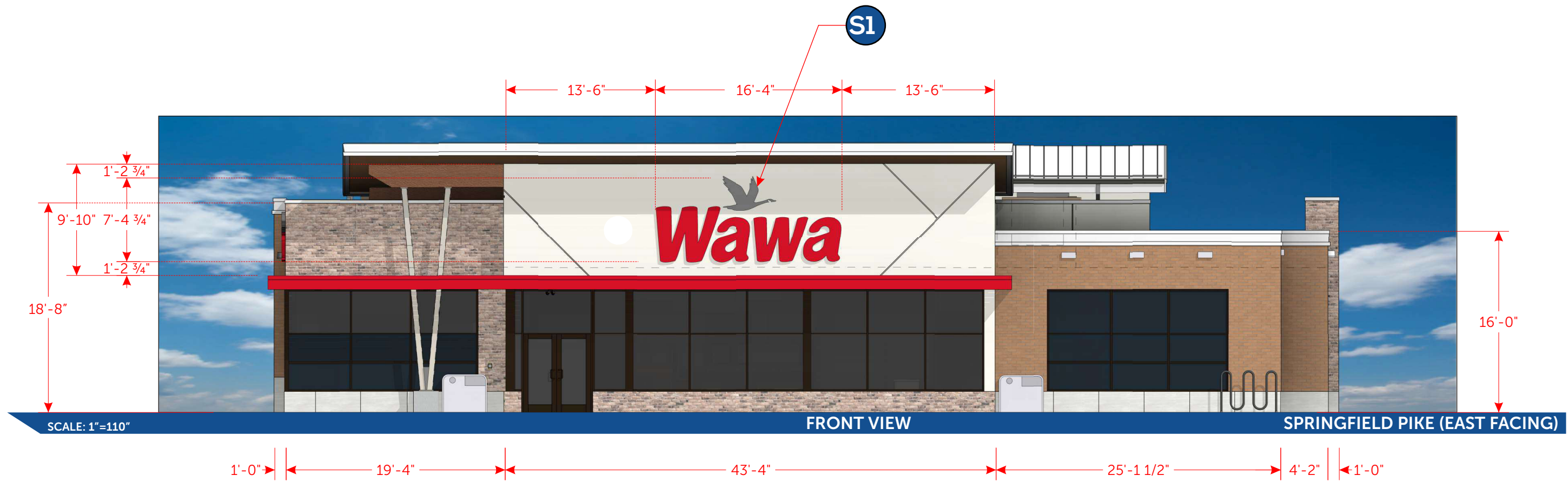
STORE #
N/A

Issue Date: 5/1/2023 Drawn By: Mike C.		
REV	DATE	DESCRIPTION
8	7/31/23	ADD HIGH RISE AND MID SIGN
9	8/3/23	UPDATE CODE AND SOW
10	8/30/23	UPDATE AS PER REQUEST

Rev: 10
Date: 8/30/2023
Doc #: AD-WAW_103983_Springdale_10
Blair Project #: 103983
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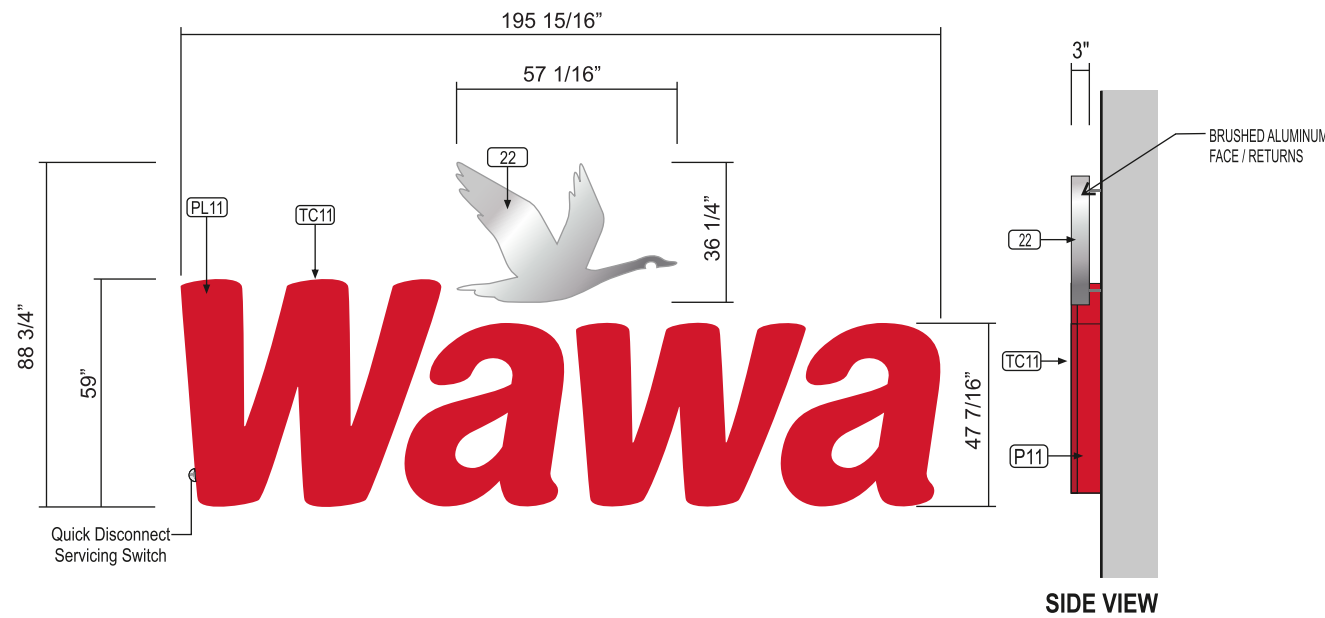
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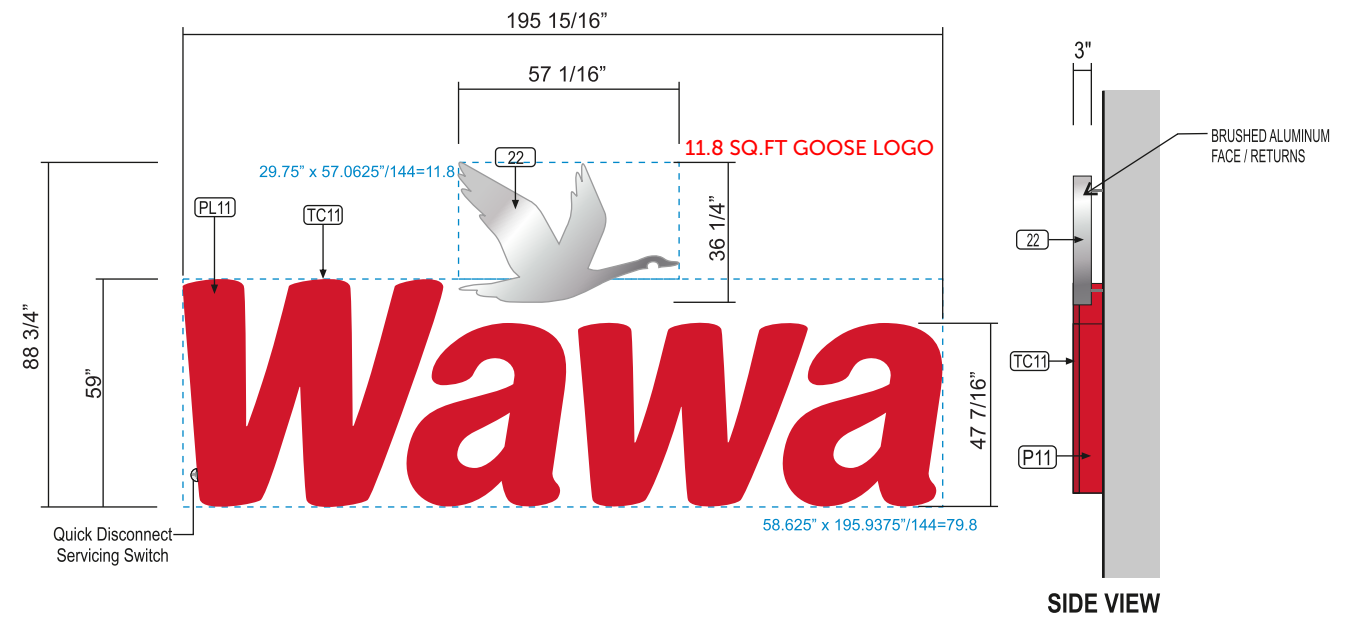
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X 59" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of ONE(1) GEOMETRIC SHAPE = **120.8 SQ FT**
 SCALE: NTS







X 59" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of TWO(2) GEOMETRIC SHAPES = **91.6 SQ FT**
 SCALE: NTS

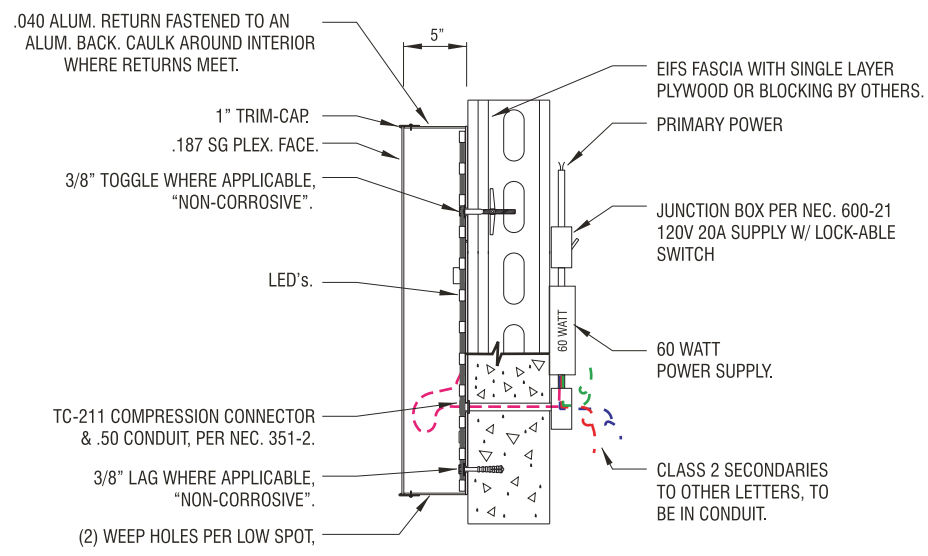
WALL MATERIAL:
to vary per site

INSTALL:
 Logo: Thru bolted w/ 2" stand off from wall
 Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

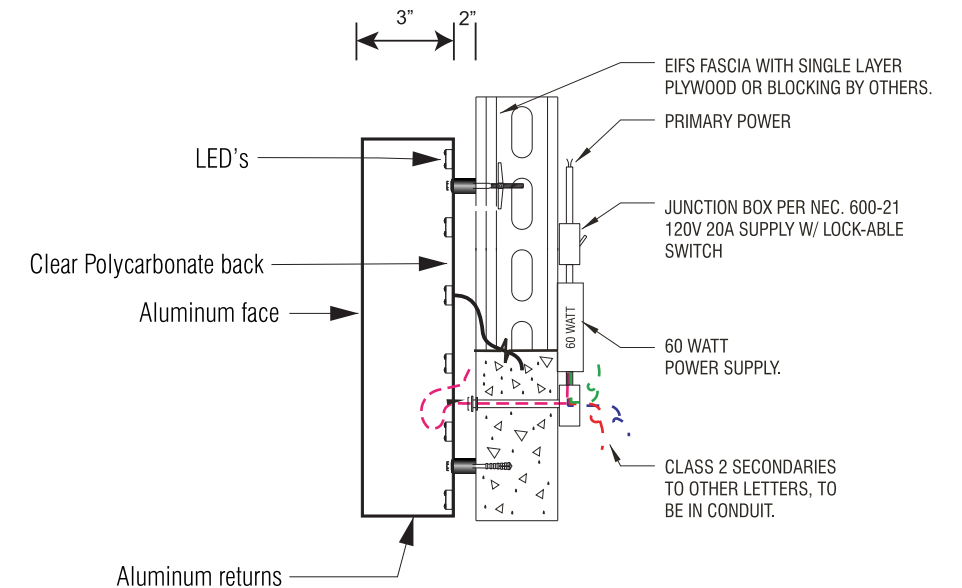
QUANTITY:
(1) one set required

COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelrite Red	 FACES: PL11 2793 Red acrylic



SECTION @ FACE-LIT CHANNEL LETTER
SCALE: NTS



SECTION @ HALO-LIT GOOSE LOGO
SCALE: NTS

Note: The power supply location shown in this detail in no way reflects the actual location when installed. In the field GC / Installer to determine appropriate mounting locations at site.

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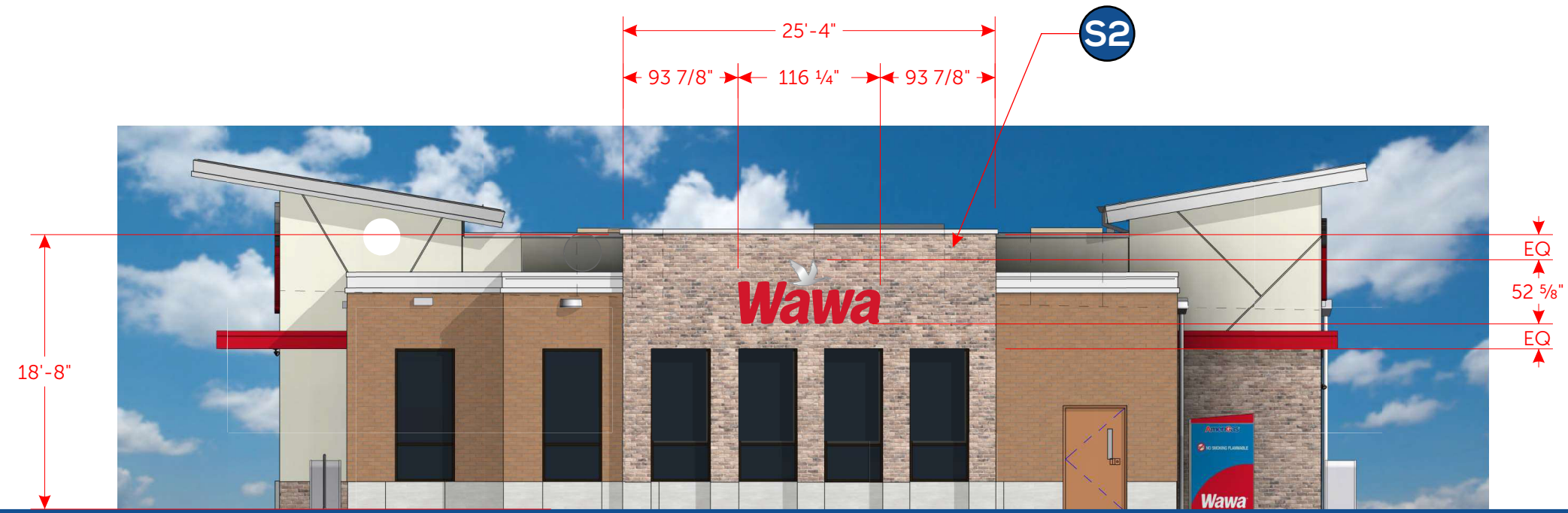
Issue Date: 5/1/2023
Drawn By: Mike C.

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SCALE: 1"=118"

SIDE VIEW

I-275 (NORTH FACING)

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Page 8

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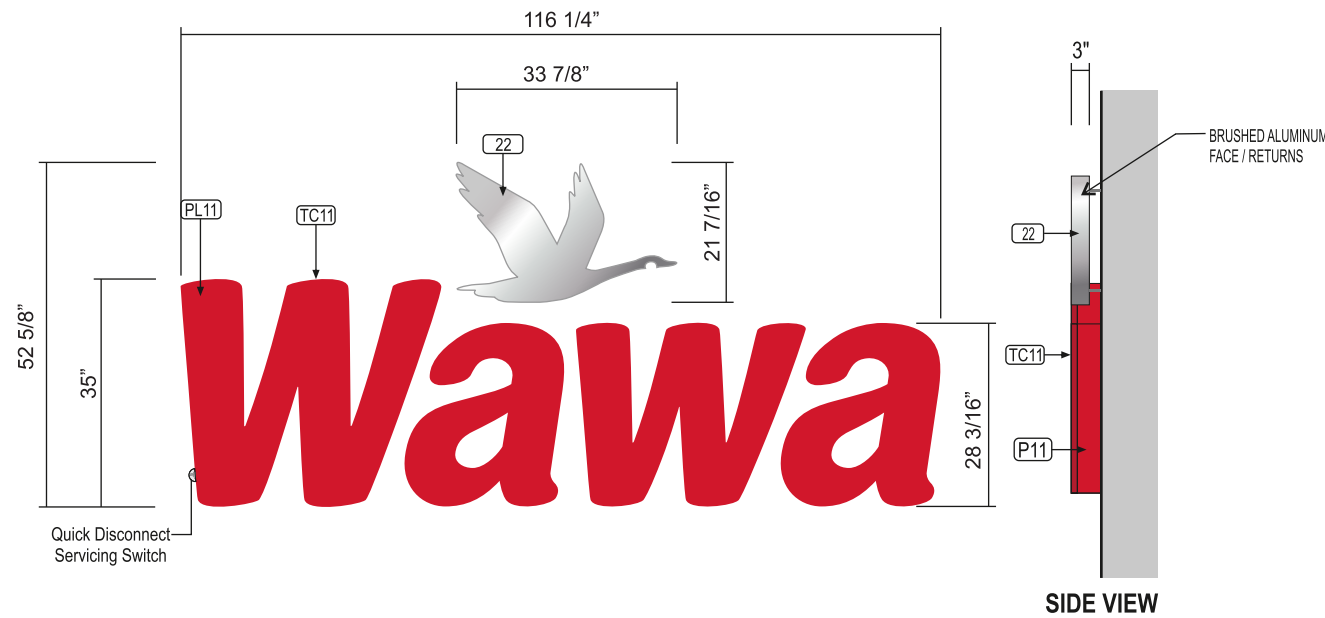
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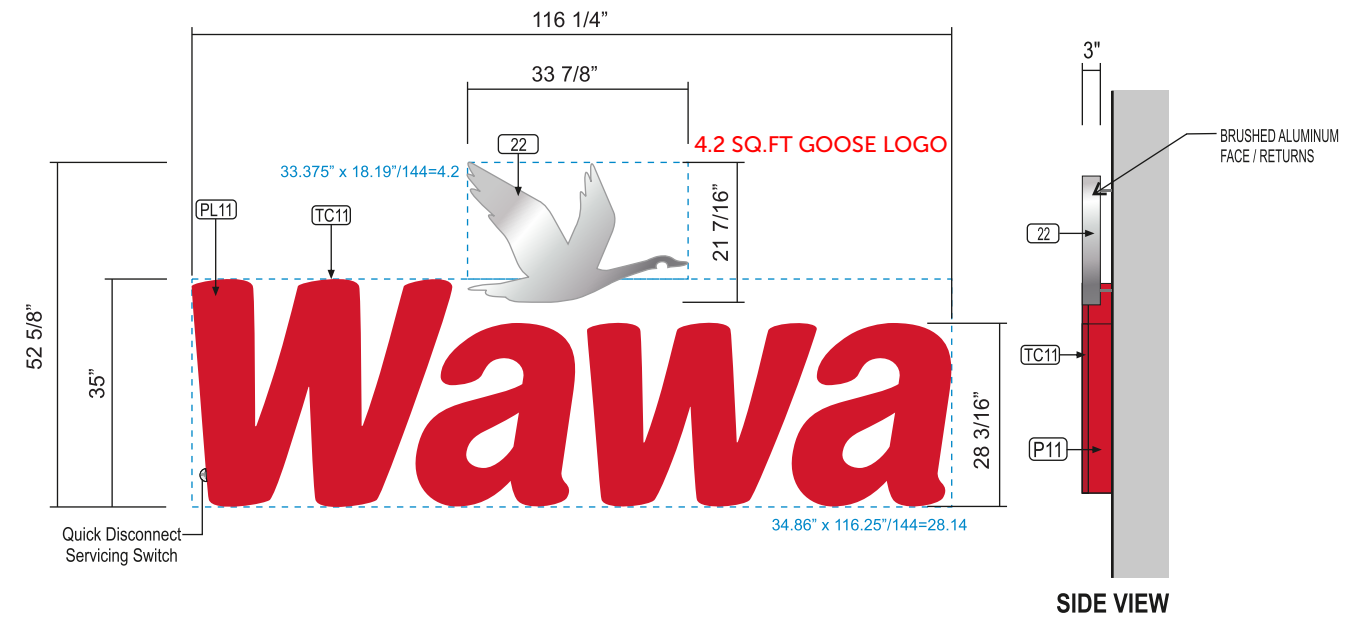
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X 35" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of ONE(1) GEOMETRIC SHAPE = **42.5 SQ FT**
 SCALE: 3/8"=1'-0"







X 35" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of TWO(2) GEOMETRIC SHAPES = **32.34 SQ FT**
 SCALE: 3/8"=1'-0"

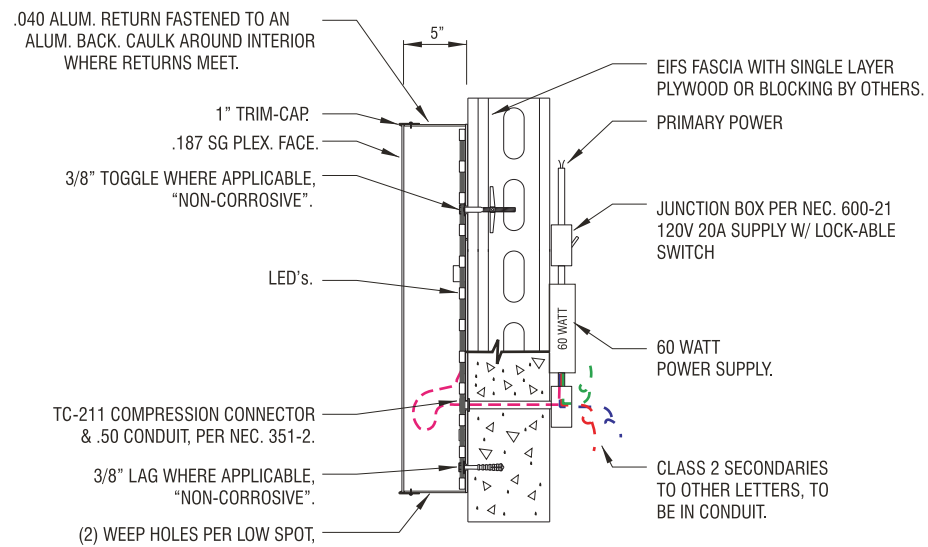
WALL MATERIAL:
to vary per site

INSTALL:
 Logo: Thru bolted w/ 2" stand off from wall
 Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

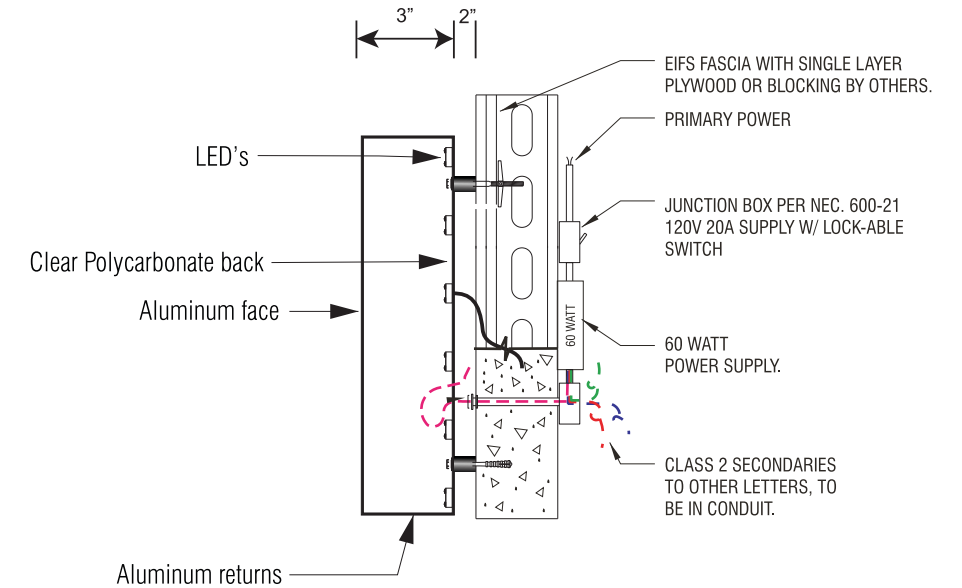
QUANTITY:
(1) one set required

COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ FACE-LIT CHANNEL LETTER
SCALE: NTS



SECTION @ HALO-LIT GOOSE LOGO
SCALE: NTS

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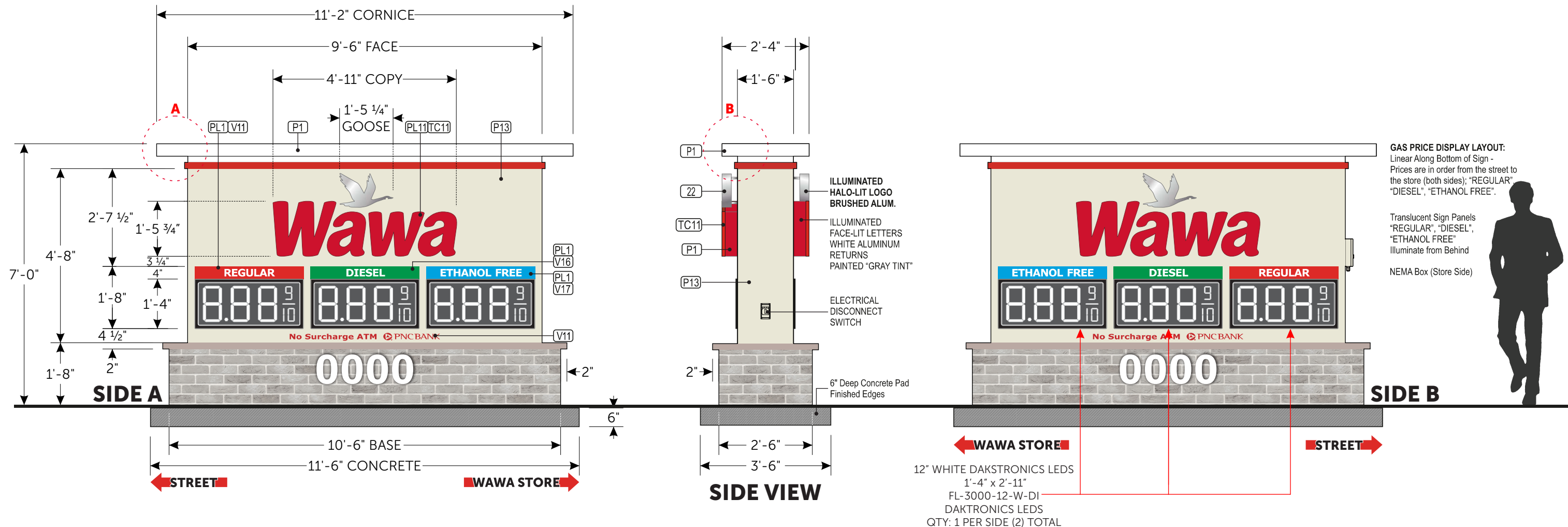
Issue Date: 5/1/2023
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REV	DATE	DESCRIPTION
8	7/31/23	ADD HIGH RISE AND MID SIGN
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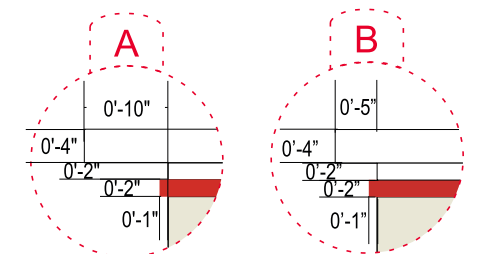
**12" / 3 PRODUCT (CUSTOM MONUMENT)
M-50 D/F ILLUMINATED MONUMENT SIGN (44.33 SQ. FT.)**

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 3/8"=1'-0"

COLOR REFERENCE

V1	TC11	PL11	V11	V16	V17	P13	P1	20	21	22
3M 7725-10 "White" Opaque	Jewelrite 'Red' Trim Cap	#2793 Red Acrylic	3M 3630-83 "Regal Red" Translucent	3M 3630-153 "Vivid Green" Translucent	3M 3630-57 "Olympic Blue" Translucent	RAL #1013 OYSTER WHITE	Painted White	Limestone Cap By Others	Stone/Masonry Base By Others	Brushed Aluminum Metal Finish w/



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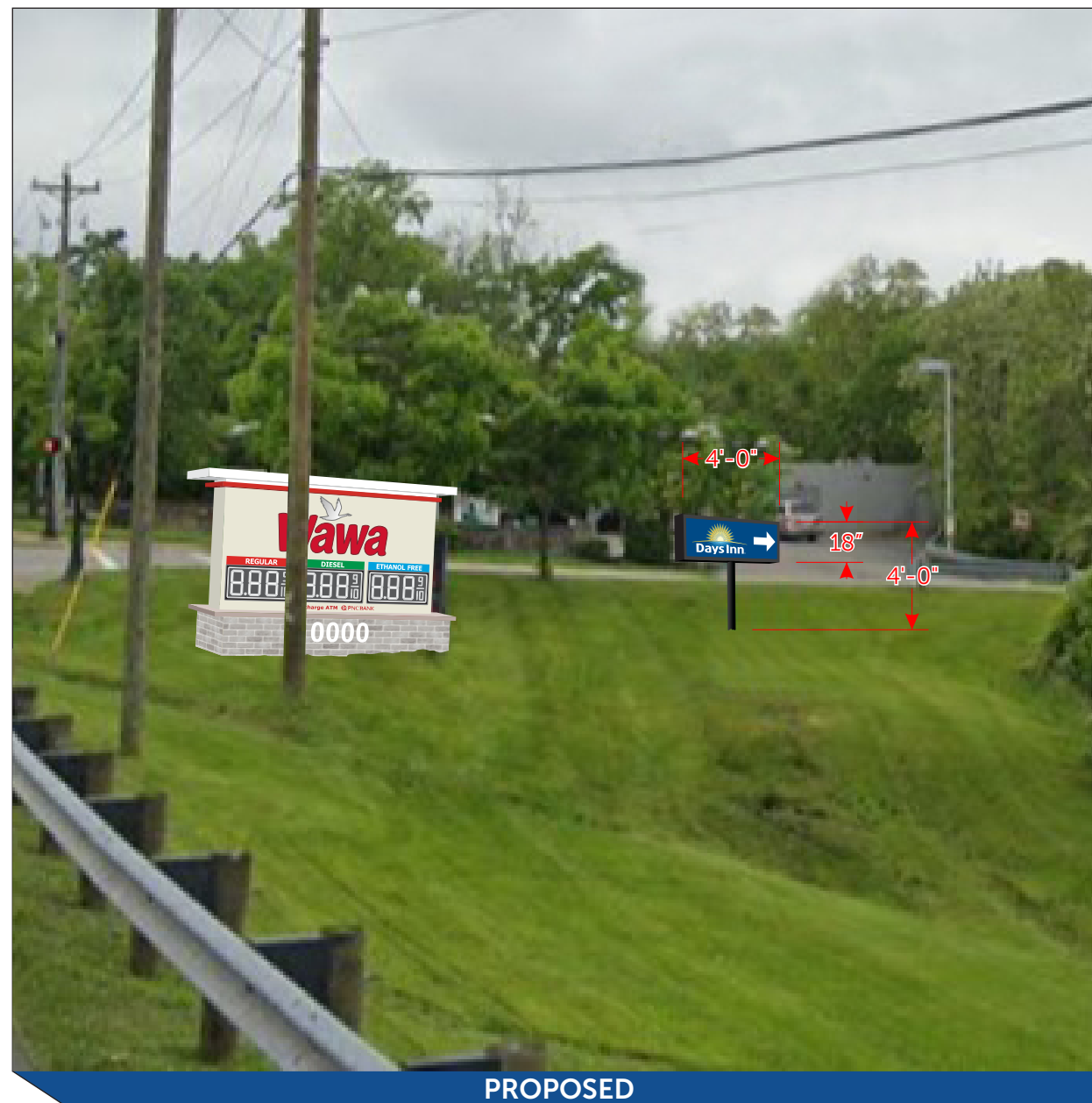
NOTE: THAT FINAL SCOPE AND CONTRACTOR TO COMPLETE TBD. IF BLAIR TO COMPLETE 100% OF SCOPE THEN VECTOR FILES & FINAL DESIGN APPROVAL BY DAYS INN ARE REQUIRED

SCOPE OF WORK

Directional to meet Days Inn typical logo standards, to be provided and confirmed by Days Inn.
Directional will not exceed 6sf per sign face or 4ft OAH.

CODE

- A) Maximum sign area is 6sqft per sign face.
- B) Maximum sign height is 4'.
- C) Signs must be set back at least 10' from any side lot line and 5' from any street right-of-way line provided that the sight distance is maintained.



PROPOSED



EXISTING

SQUARE FOOTAGES

DAY'S INN DIRECTIONAL SIGN:
6 sq.ft.

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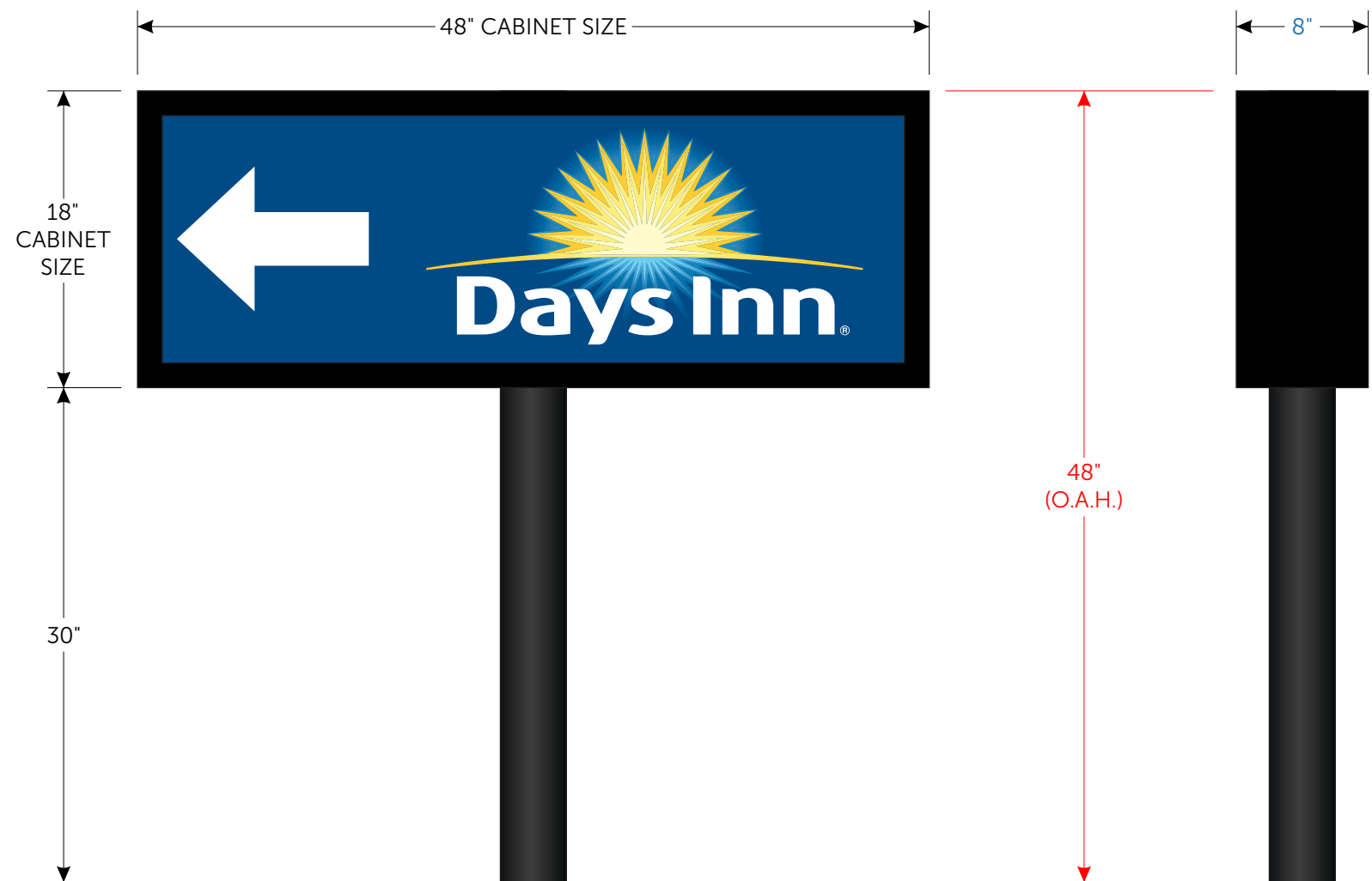
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FRONT VIEW

SIDE VIEW

SCALE: 3/4"=1'

ACTUAL SHAPE SQ FT: 6

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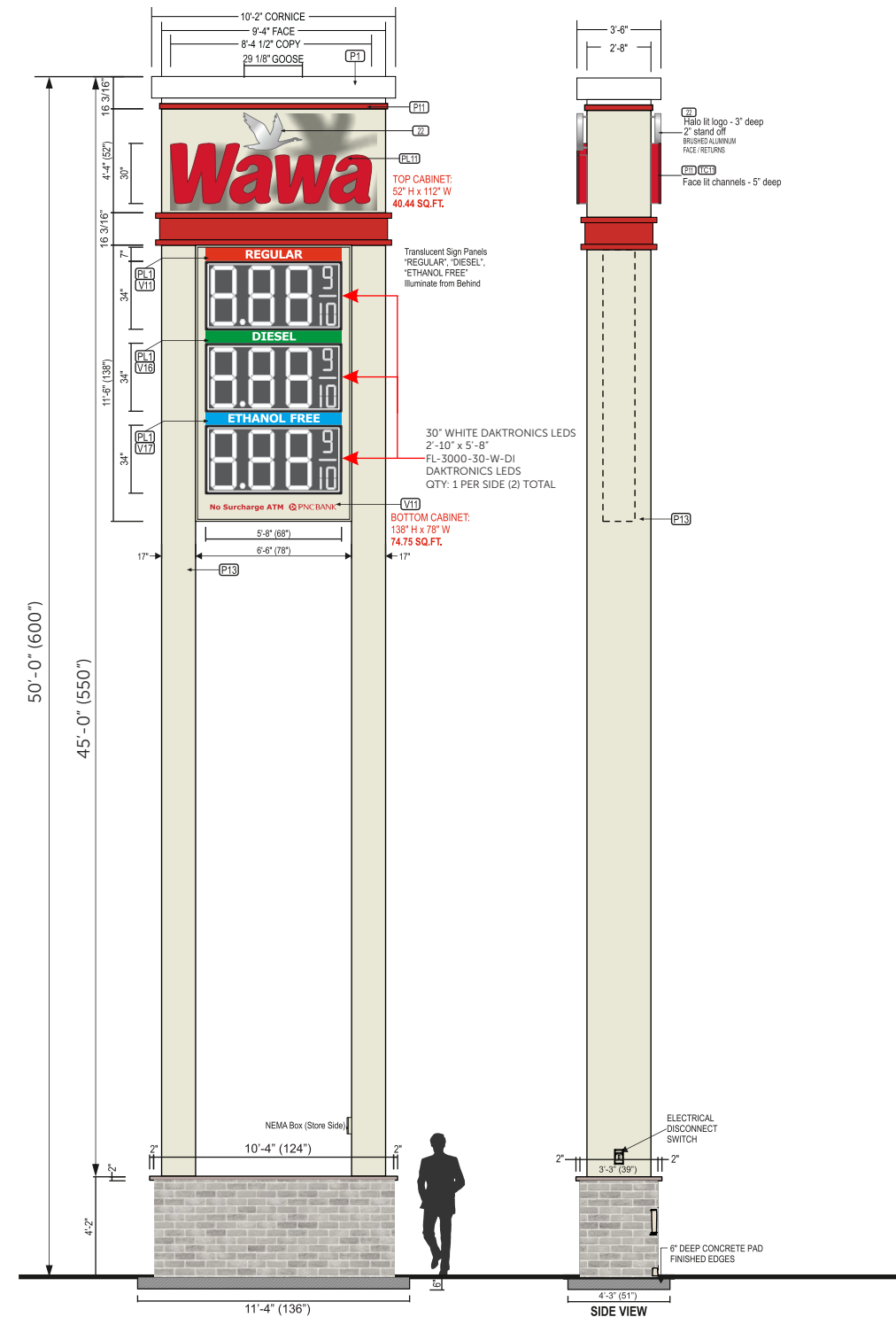
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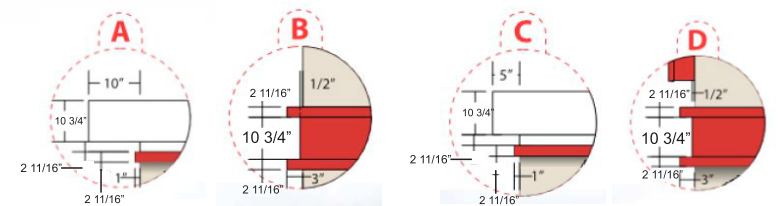
30" / 3 PRODUCT
P-100 D/F ILLUMINATED PYLON SIGN (115.2 SQ. FT.)
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 1" = 85"

NOTE: LOCATION TO BE DETERMINED.

COLOR REFERENCE

- P11**
 Paint to Match
 PMS 186 C
- TC11**
 Jewelite 'Red'
 Trim Cap
- PL11**
 #2793 Red
 Acrylic
- V11**
 3M 3630-83
 "Regal Red"
 Translucent
- V16**
 3M 3630-153
 "Vivid Green"
 Translucent
- V17**
 3M 3630-57
 "Olympic Blue"
 Translucent
- P13**
 RAL #1013
 OYSTER WHITE
- P1**
 Painted White
 Smooth Satin
- 20**
 Limestone Cap
 By Others
- 21**
 Stone/Masonry
 Base By Others
- 22**
 Brushed Aluminum
 Metal Finish w/
 Protective Clear Coat



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NOTE: THAT FINAL SCOPE AND CONTRACTOR TO COMPLETE TBD. IF BLAIR TO COMPLETE 100% OF SCOPE THEN VECTOR FILES & FINAL DESIGN APPROVAL BY DAYS INN ARE REQUIRED

SCOPE OF WORK

Reface Only.

SOW excludes any structural modifications.



SQUARE FOOTAGES

To be determined upon completion of the Survey.

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Wawa
370 & 380 Glensprings,
Springdale, OH

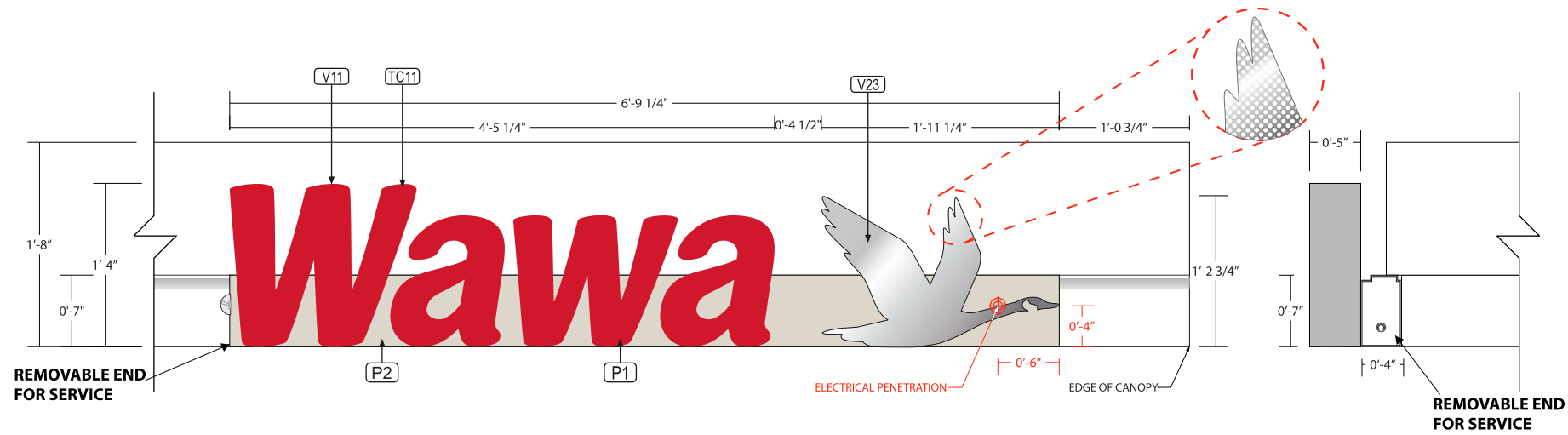
STORE #
N/A

Issue Date: 5/1/2023		
Drawn By: Mike C.		
REV	DATE	DESCRIPTION
8	7/31/23	ADD HIGH RISE AND MID SIGN
9	8/3/23	UPDATE CODE AND SOW
10	8/30/23	UPDATE AS PER REQUEST

Rev: 10
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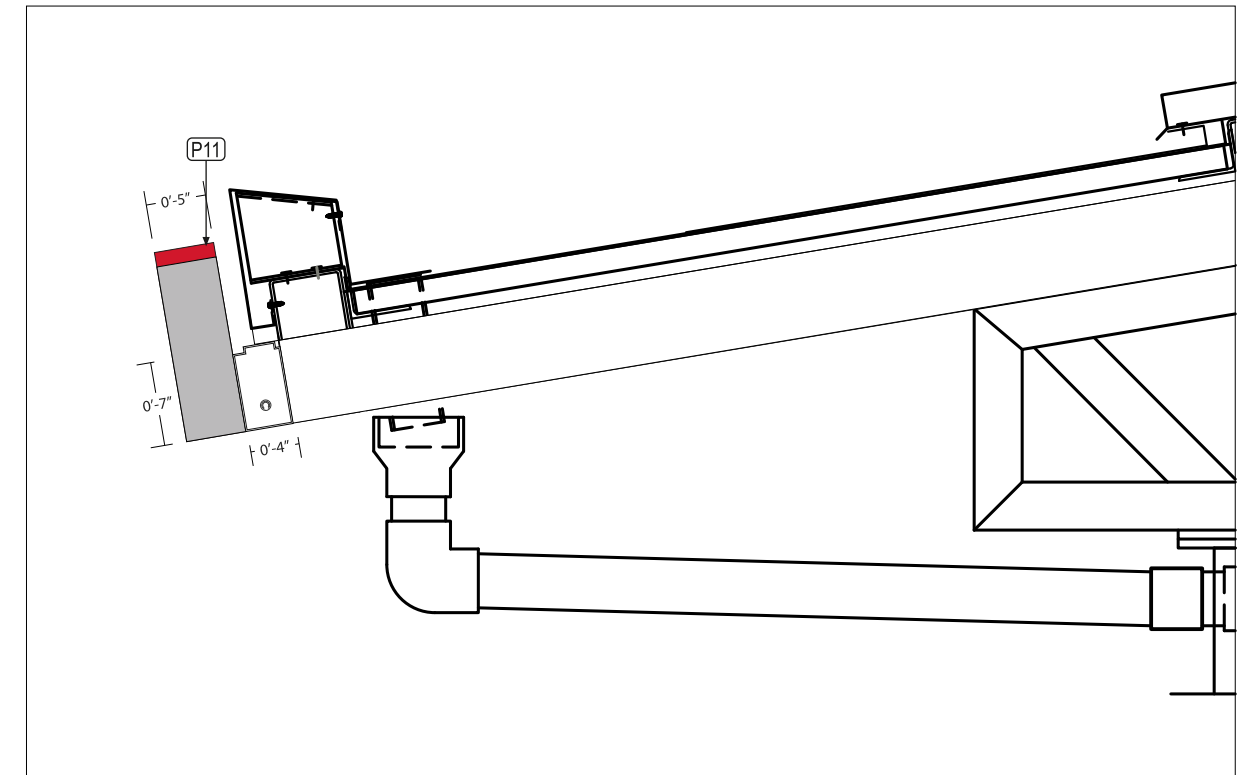
X 5" DEEP FRONT LIT LED ILLUMINATED LETTERS & LOGO (ON 4" X 7" EXTRUDED RACEWAY) - RIGHT SIDE

9.02 SQ.FT.
SCALE: 3/4"=1'-0"

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
END OF RACEWAY TO BE REMOVABLE TO ALLOW FOR SERVICING.

COLOR REFERENCE

P11	TC11	PL11	V23	P1	PL2	P2
Paint to Match PMS 186 C	Jewelrite 'Red' Trim Cap	#2793 Red Acrylic	3M 3635-210 Printed to match 'Wawa Grey'	PAINTED WHITE SMOOTH SATIN	#2447 Milky White Acrylic	RACEWAY Sw7011 NATURAL CHOICE

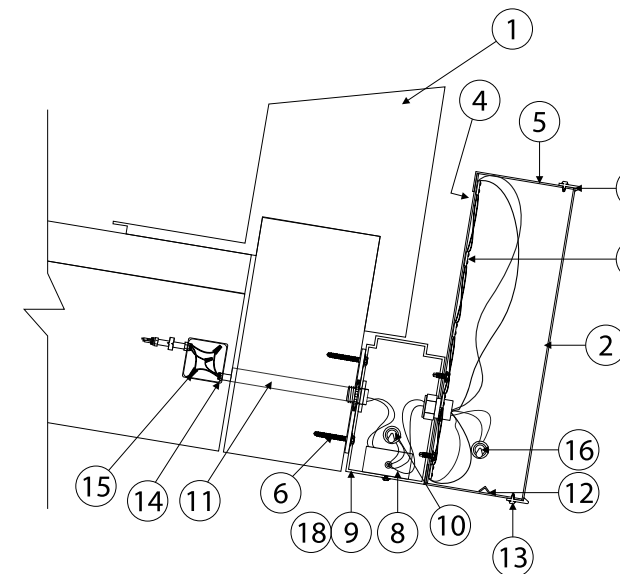


SELF-CONTAINED FLUSH MOUNT CANOPY SIGN (SIDE VIEW)

SCALE: 3/4"=1'-0"



CHANNEL LETTERS ON RACEWAY



1. EXISTING CANOPY
2. ACRYLIC FACES
3. 1" JEWELITE TRIM CAP
4. ALUMINUM BACKS
5. ALUMINUM RETURNS PAINTED
6. WALL FASTENERS (AS REQUIRED)
7. LED LIGHTS
8. LED POWER SUPPLY
9. EXTRUDED ALUMINUM RACEWAY
10. 120V LISTED DISCONNECT SWITCH
11. PRIMARY ELECTRICAL SOURCE 1/2" MIN CONDUIT, LIQUID TIGHT SHOWN
12. DRAIN HOLES WITH LIGHT COVERS IF OUTDOORS
13. TECH SCREW ATTACHMENT OF FACES
14. BRANCH CIRCUIT (WIRING HOT TO HOT, NEUTRAL TO NEUTRAL, GROUND/ BOND TO GROUND)
15. UL RATED WIRENUTS
16. WEATHERPROOF DISCONNECT SWITCH
18. REMOVABLE RACEWAY END TO ALLOW SERVICE

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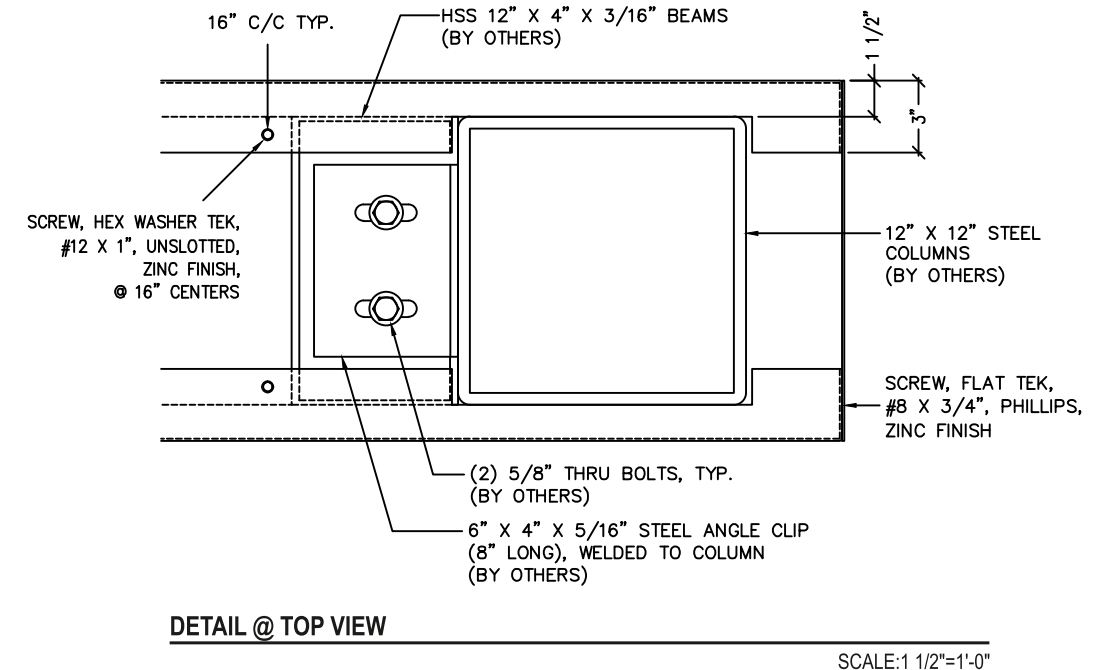
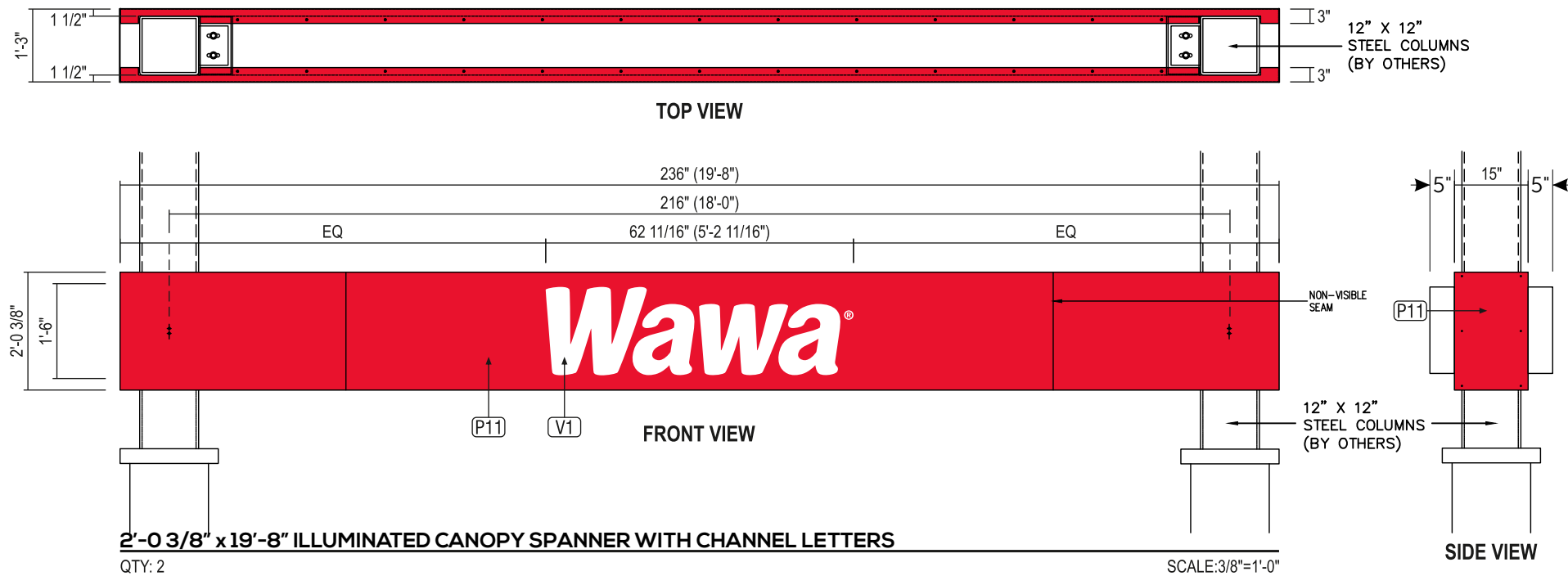
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2'-0 3/8" x 19'-8" ILLUMINATED CANOPY SPANNER WITH CHANNEL LETTERS

QTY: 2
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 3/8"=1'-0"

DETAIL @ TOP VIEW

SCALE: 1 1/2"=1'-0"

COLOR REFERENCE

P11	V1
Paint to match PMS 186 C	3M 7725-10 'White' Opaque

AREA/WEIGHT

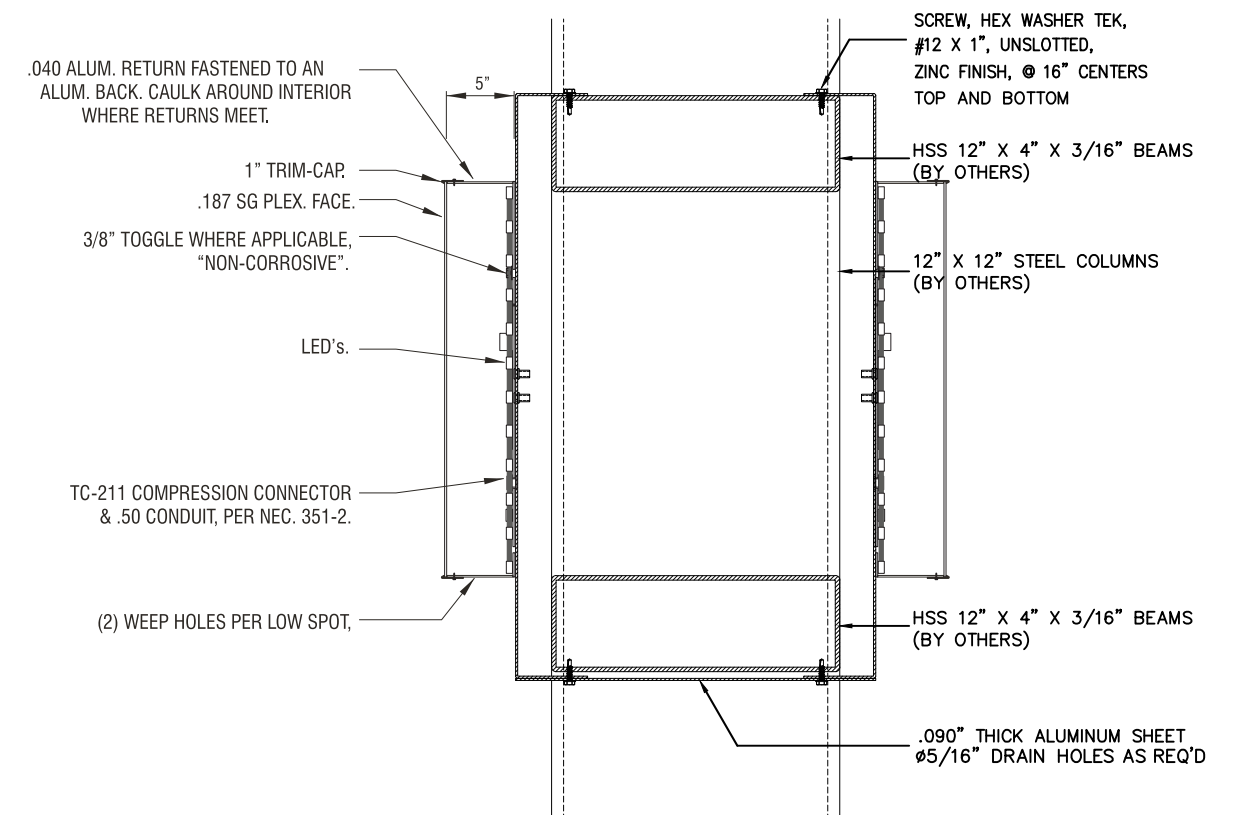
SIGN SQUARE FOOTAGE: 39.3 sq. ft.
ESTIMATED SIGN WEIGHT: 170 Lb. (HEADER)

DESIGN LOADS:
170 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C.
FLORIDA BUILDING CODE 6TH EDITION (2017)

TOLERANCE: ± 1/16" ON ALL DIMENSIONS



CANOPY END ELEVATION (STACKED PUMPS)



SECTION @ SPANNER SIGN

SCALE: 1 1/2"=1'-0"

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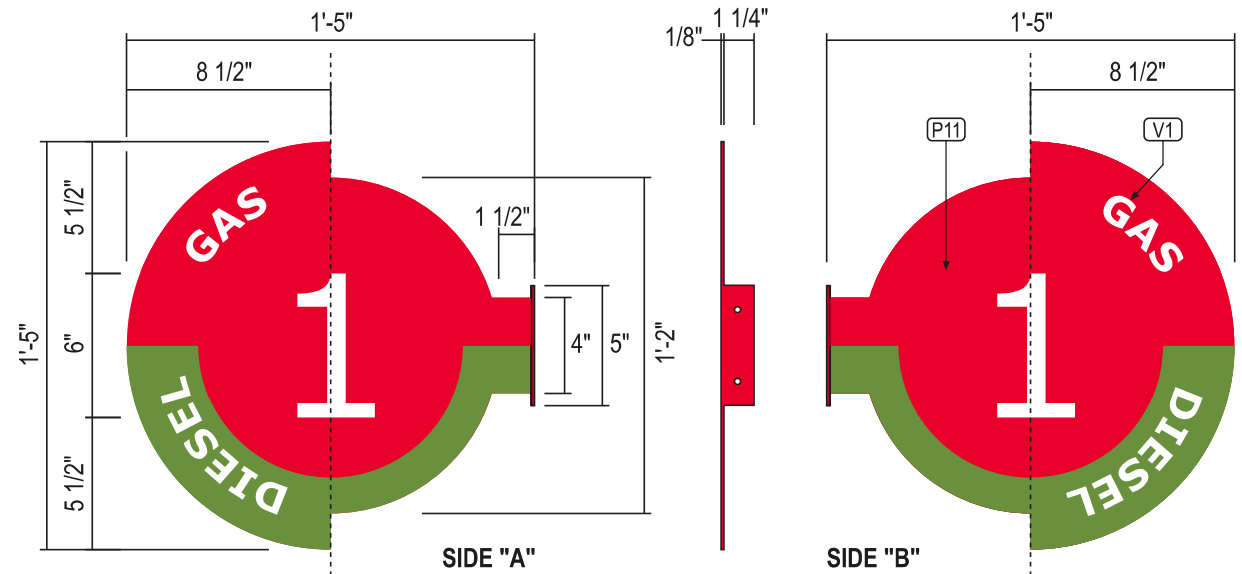
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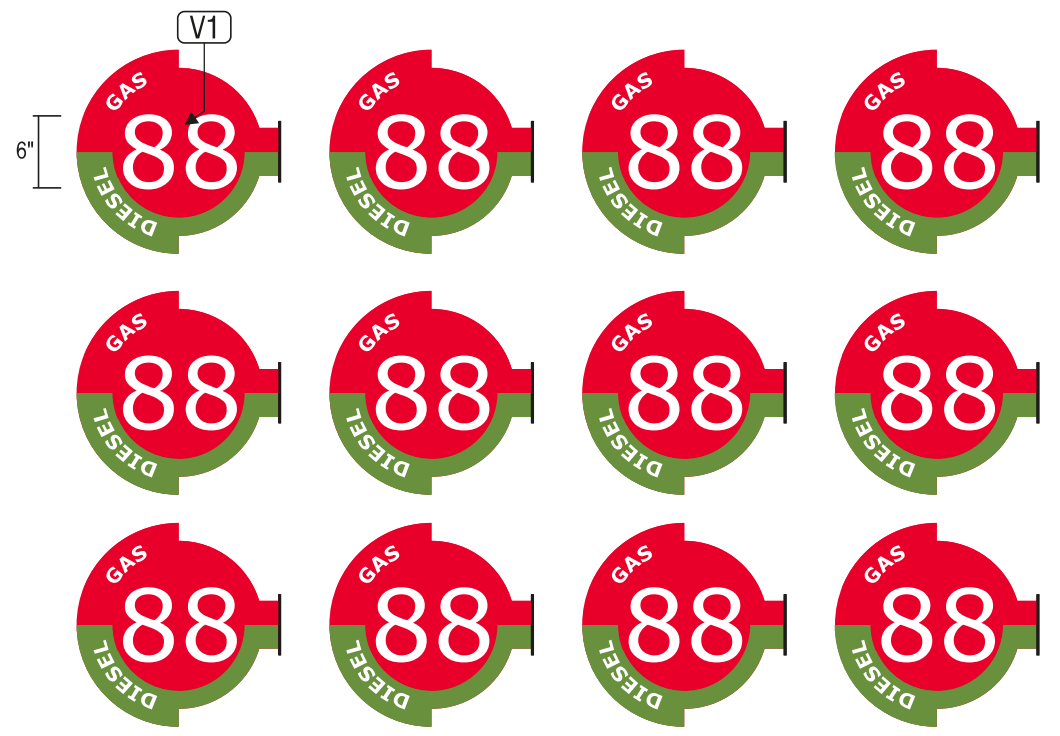


DETAIL @ D/F PUMP INDICATOR SIGN - GAS & DIESEL

QTY: TBD
 ALUMINUM FACES PAINTED RED & GREEN.
 WHITE VINYL COPY & NUMBERS.
 FONT STYLE: VERDANA

■ Paint to match PMS 186 C
 ■ Paint to match PMS 377C GREEN

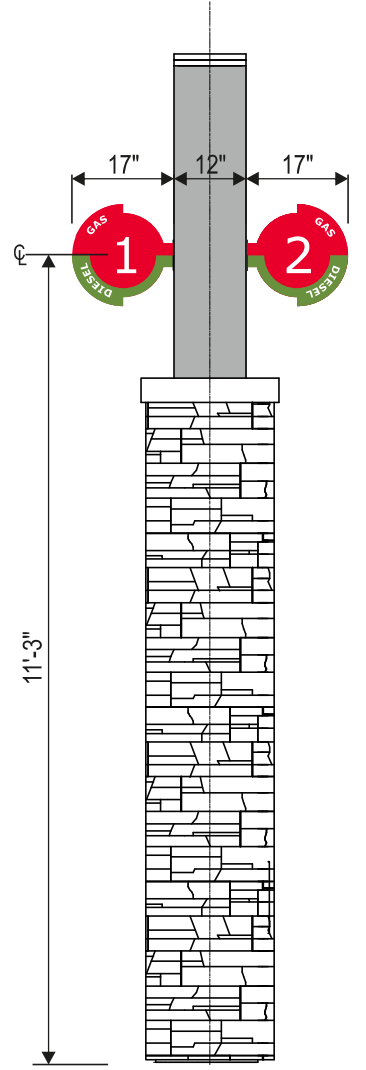
SCALE: 1 1/2"=1'-0"



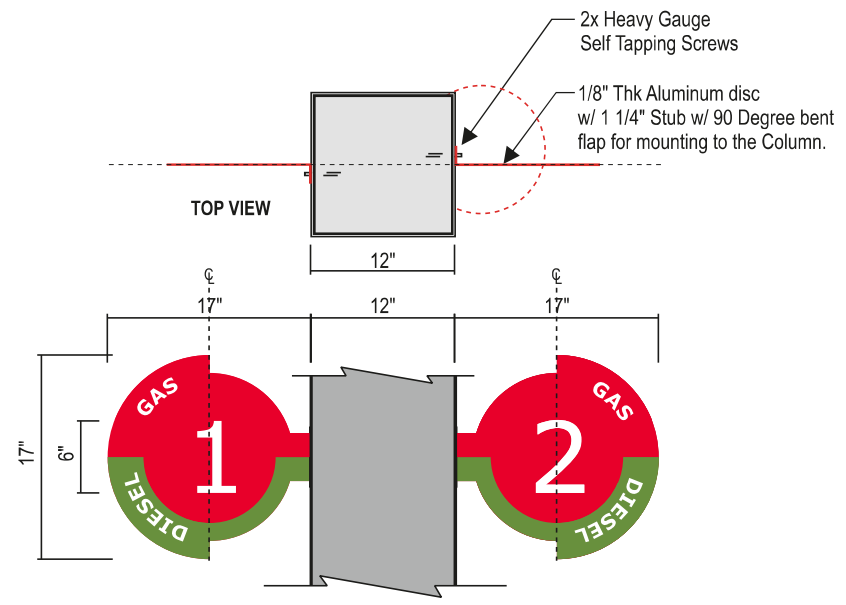
DETAIL @ WHITE VINYL PUMP NUMBERS - GAS & DIESEL

QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
 WHITE VINYL NUMBERS.
 FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN
 SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN
 SCALE: 3/4"=1'-0"

*** NOTE: CONFIRM PUMP NUMBER SEQUENCE PRIOR TO MANUFACTURING**

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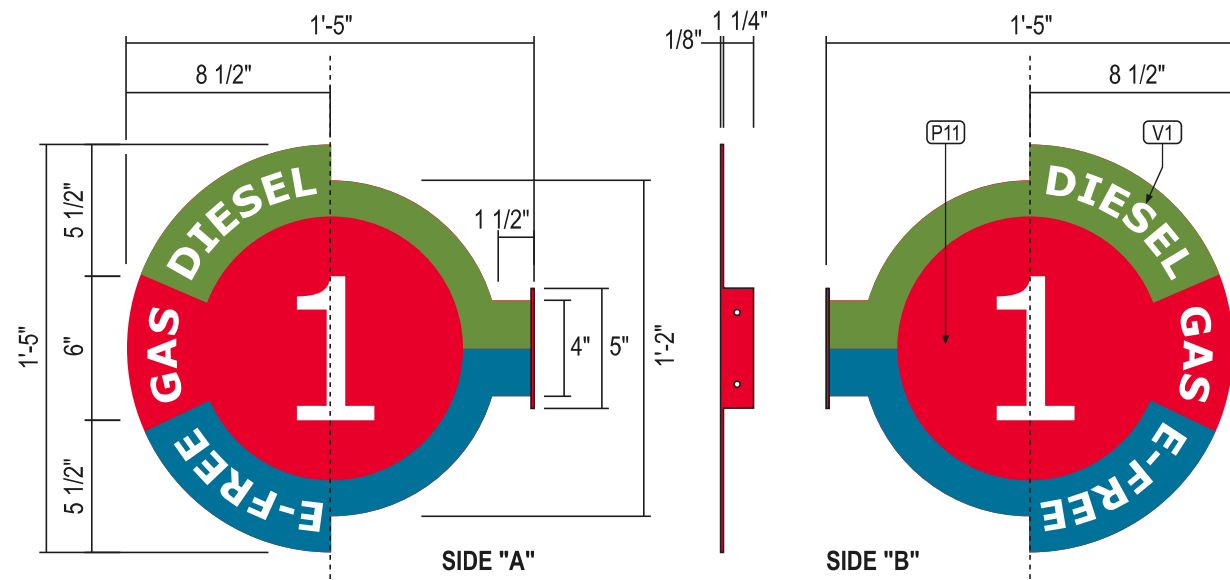
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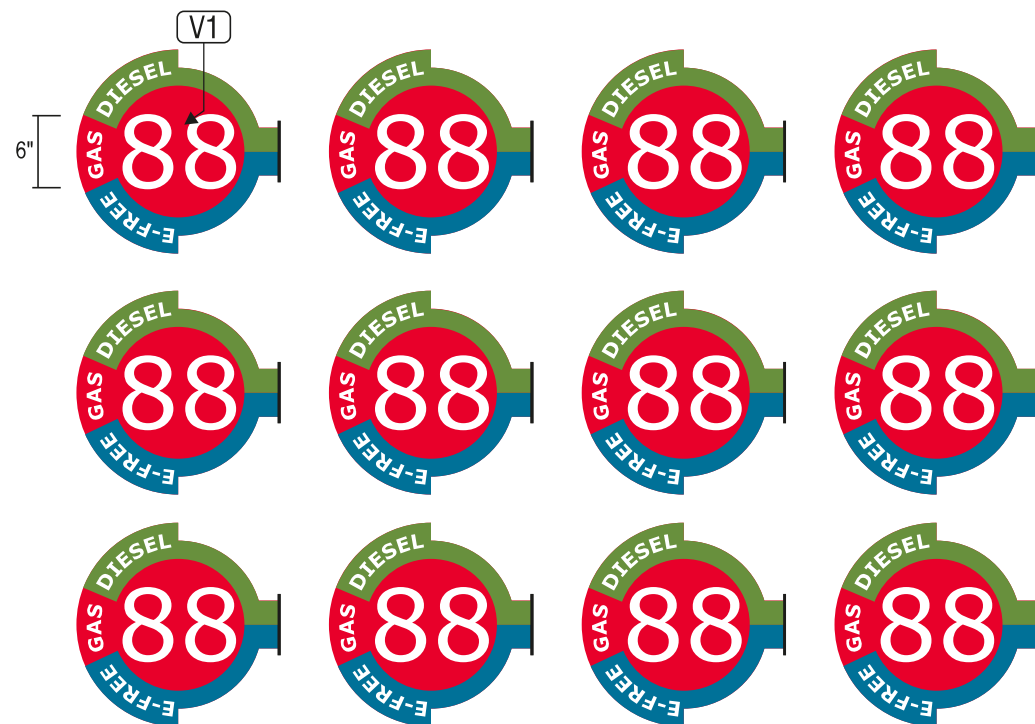


DETAIL @ D/F PUMP INDICATOR SIGN - E-FREE, GAS & DIESEL

QTY: TBD
 ALUMINUM FACES PAINTED RED, BLUE AND GREEN.
 WHITE VINYL COPY & NUMBERS.
 FONT STYLE: VERDANA

■ Paint to match PMS 186 C
 ■ Paint to match PMS 377C GREEN
 ■ PMS 7468C BLUE

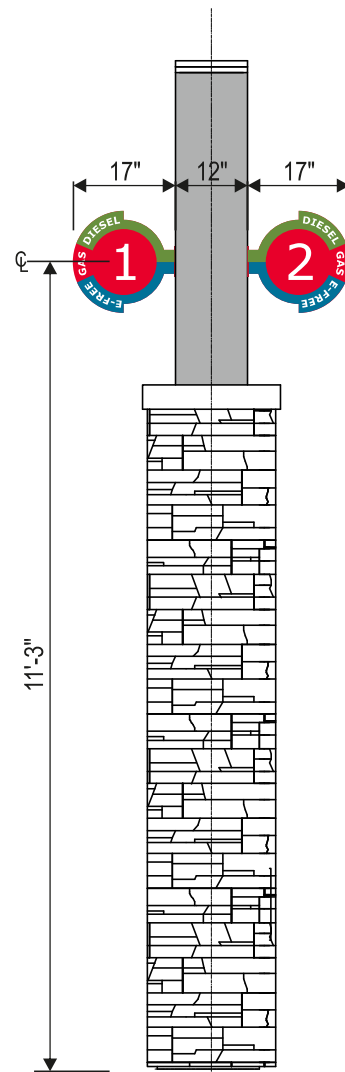
SCALE: 1 1/2"=1'-0"



DETAIL @ WHITE VINYL PUMP NUMBERS - E-FREE, GAS & DIESEL

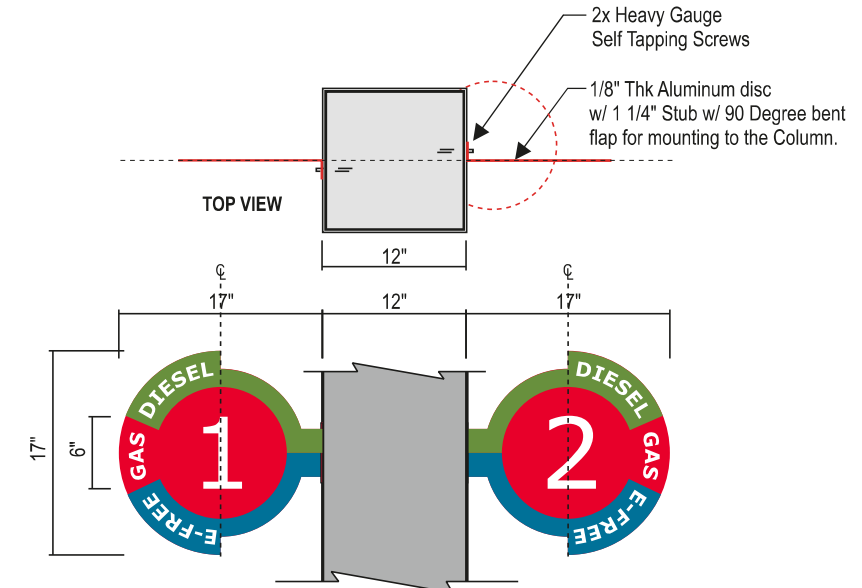
QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
 WHITE VINYL NUMBERS.
 FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN

SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN

SCALE: 3/4"=1'-0"

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**Days Inn
400 Glensprings Drive
Development Plan Review
Application# 2023-0628
September 12, 2023**

Request:

To reactivate the use of a pylon sign adjacent to I-275 that has lost its non-conforming status.

Comments:

A two panel pylon sign exists at the northwest corner of the property located at 400 Glensprings Drive which formerly identified the Howard Johnson (now Days Inn) and Perkins. The sign has not been utilized in a number of years, and both panels blacked out for some time. Per Section 153.462 (C), the existing sign has lost its non-conforming status. The applicant is requesting to be able to reuse the 200 square foot upper panel on the sign, formerly used by the hotel, for "Days Inn". The sign panel is indicated as containing a maximum of 200 square feet at an undetermined height.

Should Planning Commission choose to approve the request, any such action should require the removal of the lower oval panel and all cellular equipment not currently in use. The existing support poles should be painted a neutral color. Given the sign's location adjacent to residential uses, the sign should be located in a landscape bed of at least 200 square feet, as required by Section 153.257 (C) (4) (e), with a landscape plan submitted to staff for review and approval.

Submitted By:

Anne F. McBride, FAICP
City Planner

City of Springdale



Building Department

(513) 346-5730

11700 Springfield Pike
Springdale, Ohio 45246

Fax (513) 346-5747

Sign Permit Application

Date: 08/30/2023

Applicant / Owner

Applicant Name: Paul Hanson
Address: 3601 Rigby Rd, Suite 300
City, State, Zip: Miamisburg
Phone: 6186047157
Email: paul.hanson@cesoinc.com

Owner Name: Days Inn
Address: 400 Glensprings Drive
City, State, Zip: Springdale OH 45246
Phone: (513) 401-8683
Email: TBD

Project

Project Name: WAWA HIGHWAY SIGN PANEL
UPDATES Days Inn -
Glensprings Drive
Project Location: 400 Glensprings Dr
Flood Area: No
Work Type: Alteration

Res/NonRes: Non-Residential
Project Cost: 10000

Project Description: Highway sign panel updates Refer to Wawa Sign Package for further details of signage size and rendering

Sign Information

Sign Type: Other Signs
Total Signs: 1

Square Feet.: 200

I do hereby certify that the information contained herein is true and correct.

Paul Hanson

Name

Date