

PLANNING COMMISSION
MEETING AGENDA
JUNE 13, 2023
7:00 P.M.

PLEASE TURN OFF CELL PHONES

- I. CALL MEETING TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. MINUTES OF THE PREVIOUS MEETING
MAY 09, 2023
- V. REPORT ON COUNCIL
- VII. CORRESPONDENCE
- VIII. OLD BUSINESS
- IX. NEW BUSINESS
 - A. OVERBECK AUTO
11452 SPRINGFIELD PIKE
(Application #20230316)
 - B. Wawa C- Store Development Plan
370 GLENSPRINGS DR
(Application #20230312)
- X. DISCUSSION
- XI. CHAIRMAN'S REPORT
- XII. ADJOURNMENT

Note: The next Planning Commission Meeting is scheduled for July 11, 2023.

PLANNING COMMISSION MEETING
SUMMARY MINUTES
May 9, 2023
7:00 P.M.

I. CALL MEETING TO ORDER

The meeting was called to order at 7:00 p.m. by Chairman Okum.

II. ROLL CALL

Staff Present: Carl Lamping, Building Official; Anne McBride, City Planner;
Shawn Riggs, City Engineer

Members Present: Dave Okum, Chairman; Steve Galster, Vice Chair; Tom Hall,
Secretary; Bob Diehl, Joe Ramirez, Jeff Singleton, Meghan
Sullivan-Wisecup

III. PLEDGE OF ALLEGIANCE

IV. MINUTES OF THE REGULAR MEETING ON APRIL 11, 2023

Mr. Galster made a motion to accept the minutes; Mrs. Sullivan-Wisecup seconded the motion. A voice vote taken and the minutes were approved with a 7-0 vote.

V. REPORT ON COUNCIL

Report on City Council presented by Mrs. Sullivan-Wisecup for the meeting held on May 3, 2023. Minutes and recording of that meeting can be found on the City website.

VI. CORRESPONDENCE - None

VII. OLD BUSINESS - None

VIII. NEW BUSINESS

A. CHIP'S AUTO GLASS - MINOR PROJECT – ROUTE 4 CORRIDOR REVIEW
12190 SPRINGFIELD PIKE
(Application # 20230124)

Ms. McBride read her comments and noted that while separate from the application this evening, she noticed that landscape has been removed from the site in the past few years, and has yet to be added back. Once Ms. McBride's comments were completed, she then asked for any questions. There were none.

Mr. Riggs also read his comments and noted that the original application had included driveway improvements. Mr. Riggs noted that although this second application does not include any road improvements, there will be a road project by the City to replace aprons on Crescentville Road which is being brought before Council on May 17th. If approved this will be made part of the project, then asked for any questions.

There was some discussion after Mr. Riggs comments regarding possible implementation of the City of Springdale's connectivity plan as well as the upcoming renovations to Crescentville Road. Mr. Okum asked if the connectivity plan would have any impact on the landscape plan that Ms. McBride had mentioned. Mr. Riggs stated that it could possibly.

Craig Boniface of Open Architecture gave further details of the request.

Mr. Okum entertained a motion to approve the following project Chip's Glass at 12190 Springfield Pike, Case Number 20230124, per the specifications and designs provided in the meeting packet as exhibits which were submitted by the applicant prior to this meeting and reviewed by staff. This motion includes the following conditions:

1. Staff's, City Engineer's, and City Planner's recommendations and considerations contained in their report. Furthermore, whereas all other zoning code regulations and conditions not detailed in this motion shall remain in effect. As such, any changes to the above conditions shall constitute a change of the approved plan. Such changes shall require approval of the Springdale Planning Commission.

Mr. Hall made a motion to approve as presented. Mrs. Sullivan-Wisecup seconded.

Commission was polled and the motion was approved 7-0.

B. MAPLE KNOLL VILLAGE – DEVELOPMENT PLAN REVIEW
11100 SPRINGFIELD PIKE
(Application # 20230199)

Ms. McBride read her comments. Ms. McBride noted that the fence that they nine foot tall chain link fence that the applicant is requesting is not allowable at this location. Ms. McBride noted that the applicant would have to go before BZA to get that approved. Ms. McBride then asked if there were any questions.

Mr. Riggs read his comments. Mr. Riggs expressed concern that the detail sheet that was included in the application referenced a different location. He stated that a new detail sheet with the construction plans will be needed. Mr. Riggs noted other items that would be required in his comments that were submitted to Planning Commission prior to this meeting. He then asked if there were any questions.

Ms. Megan Ulrich, Vice President of Marketing and Business Development for Maple Knoll spoke in regards to the submitted application. Mr. Steve Busch of JMM Architects, Inc. addressed questions regarding demolition of the previous building. Mr. Okum asked if the applicant intended to file an application to the Board of Zoning Appeals for the higher chain link fence that was previously mentioned in this application. The applicant stated that will plan on moving ahead with filing an application with the Board of Zoning Appeals (BZA) regarding the fence. Mr. Okum further asked if there would be lighting and some noise reduction plans for the pickle ball court. The applicant stated that those items have been addressed in the plans. Ms. McBride reminded the applicant that when they are doing the photometric plan, the lighting for the pickle ball court will need to be included as well.

Mr. Okum entertained a motion to approve the following project Maple Knoll Village at 11100 Springfield Pike, Case # 20230199 for the specifications and designs provided in our meeting packet as exhibits, which were submitted by the applicant prior to this meeting and reviewed by Staff. This motion includes

1. Staff, our City Engineer, and City Planners recommendations contained in their report. Just in closing, whereas all other Zoning Code regulations and conditions not detailed in this motion shall remain in effect.

Mr. Galster made a motion to approve as submitted. Mr. Hall seconded.

Commission was polled and the motion was approved 7-0.

IX. DISCUSSION - None.

X. CHAIRMAN'S REPORT - None.

PLANNING COMMISSION MEETING
9 MAY, 2023

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XI. ADJOURNMENT

Ms. Sullivan-Wisecup moved to adjourn; Mr. Hall seconded

Meeting was adjourned with a voice vote of 7 to 0.

Respectfully submitted,

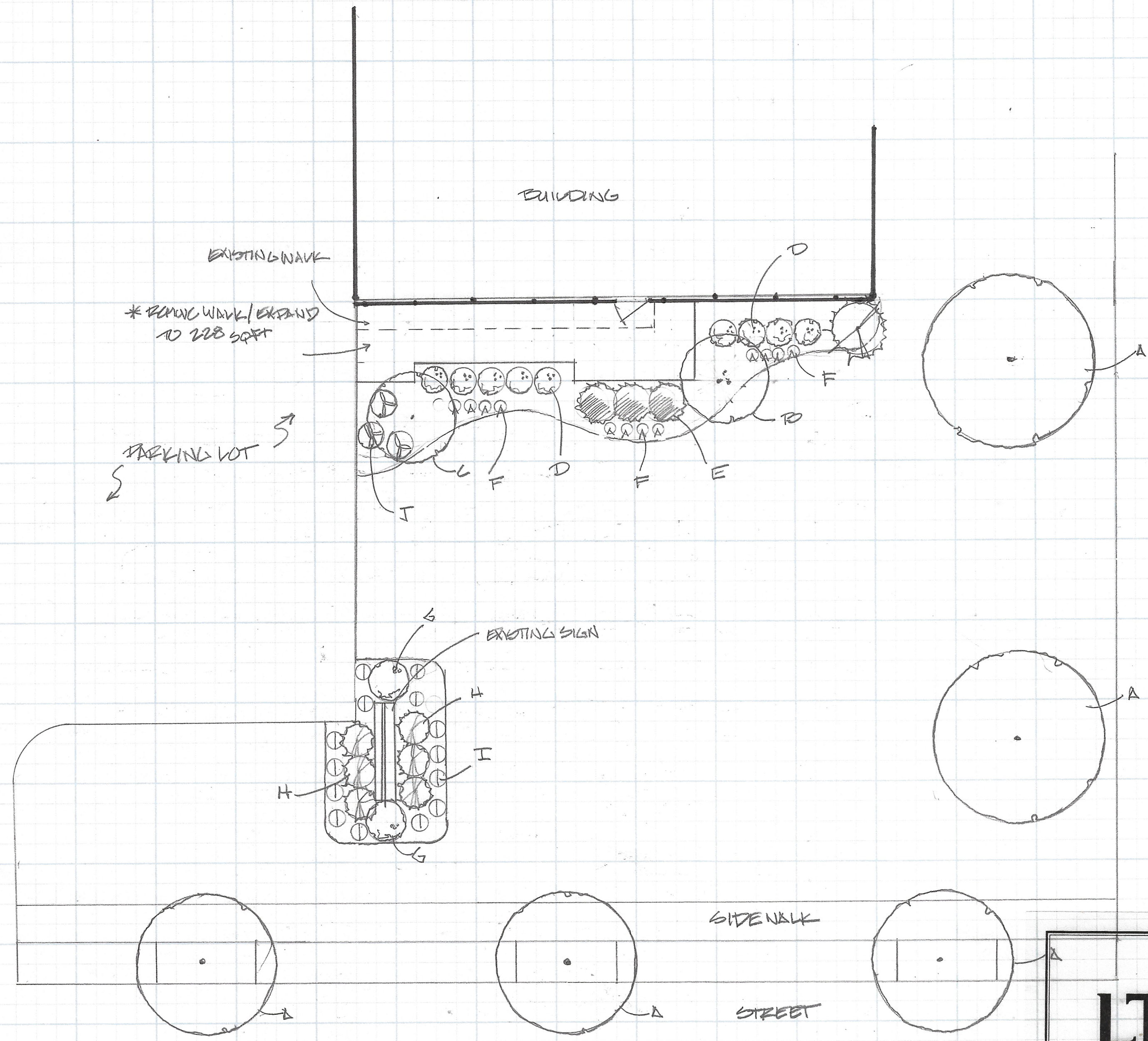
_____, 2023 _____
Dave Okum, Chairman

_____, 2023 _____
Tom Hall, Secretary

Note: The next Planning Commission Meeting is scheduled for June 13, 2023.

MATT **Overbeck**

PROPOSED LANDSCAPE IMPROVEMENTS
 FOR
 11452 SPRINGFIELD PIKE
 5/5/23
 SCALE 1/8" = 1'



PLANT KEY

- A EXISTING DELICIOUS SHADE TREES (5)
- B SWEET BAY MAGNOLIA (1)
- C BLOODGOOD JAPANESE MAPLE (1)
- D GOLD FLAME SPREA (9)
- E NABERIAN TAXUS (3)
- F VARIAGATED LIRIODE (11)
- G LITTLE QUICKFIRE HYDRANGEA (2)
- H 'KINGS GOLD' CYPRESS (6)
- I DWARF FOUNTAIN GRASS (14)
- J BLUE STAR JUNIPER
- SOIL MIX (4) YARDS
- MULCH (3) YARDS



- Design
- Installation
- Maintenance

313 Water Street • Milford, Ohio 45150 • (513) 831-2822
www.ltdlandscapes.com

3" DEEP UL LISTED LED ILLUMINATED CHANNEL LETTERS
 WHITE FACES WITH BLK OPAQUE VINYL
 WITH WHITE OUTLINE/WINDSHIELD/HEAD LIGHTS/SMILE
 WHITE RETURNS AND TRIM CAPS

3" DEEP UL LISTED LED ILLUMINATED CHANNEL LETTERS
 WHITE FACES WITH MED BLUE VINYL
 WHITE RETURNS AND TRIM CAPS

3" DEEP UL LISTED LED ILLUMINATED
 CHANNEL LETTERS
 WHITE FACES WITH BLK PERF VINYL
 WHITE RETURNS AND TRIM CAPS



SCALE: 3/4" = 1'



SHERWIN WILLIAMS SW9162 AFRICAN GREY
 SHERWIN WILLIAMS SW6965 HYPER BLUE

SCALE: 3/8" = 1'

PREVIOUS SIGNAGE



2336 Iowa Ave. Cincinnati, OH
 513-241-8884
 www.abcsign.com

OUR OFFICE

r1: _____
 r2: _____
 r3: _____
 r4: _____
 r5: _____
 r6: _____



SKETCH NUMBER:	NUMBER
JOB NAME:	OVERBECK AUTO
ADDRESS:	11452 SPRINGFIELD PIKE
SALES:	PHIL SWISHER
DESIGNER:	R.A. LINES
DATE:	04-25-23
DRAWING ID:	DRAWING-ID

CUSTOMER APPROVAL

SIGNED: _____ DATE: _____

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper **grounding and bonding** of the sign.
 The location of the **disconnect switch** after installation shall comply with Article 600. 6(A) (1) of the National Electrical Code

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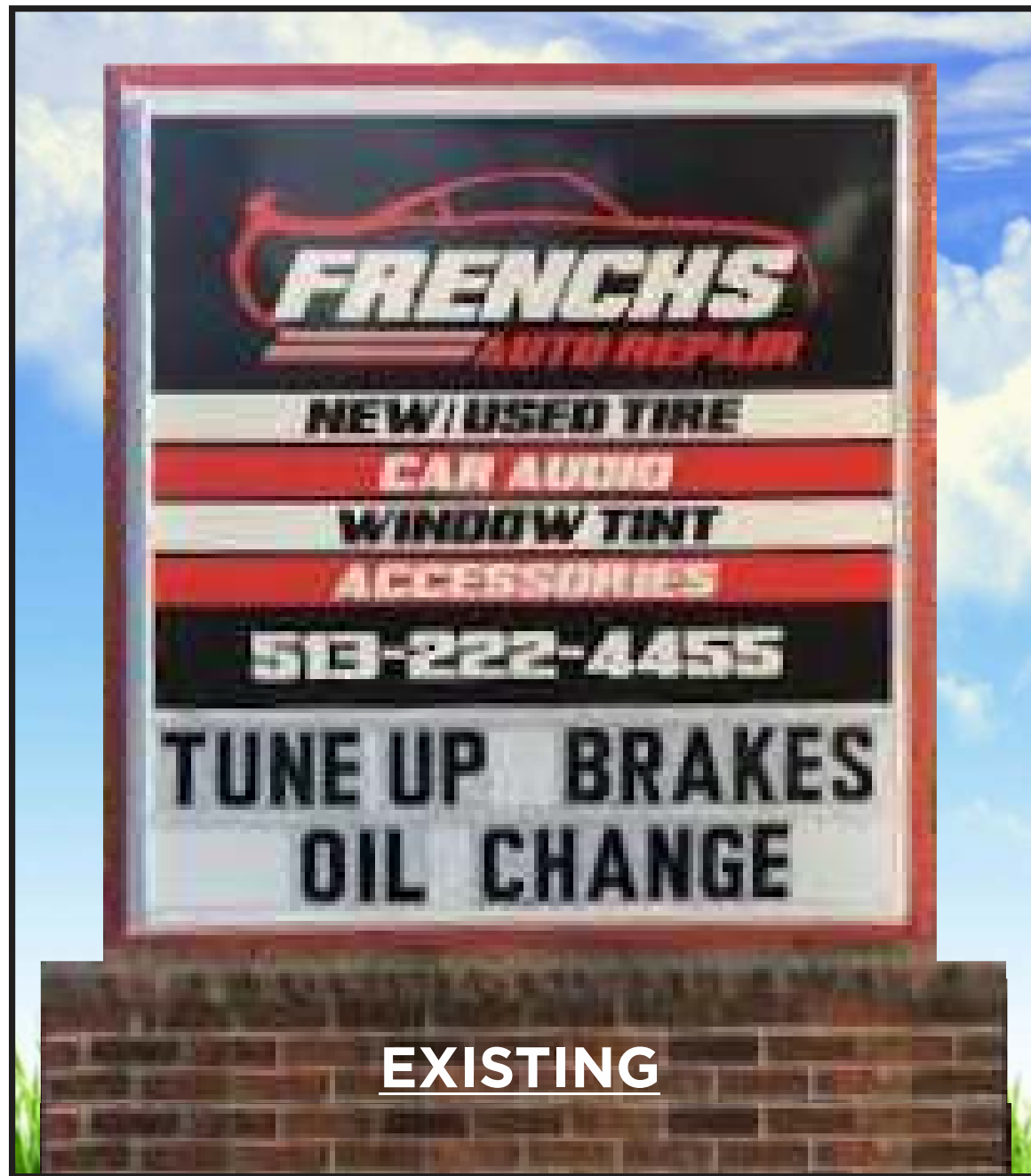


(2) NEW REPLACEMENT PAN FACES DECORATED ON FIRST SURFACE WITH TRANS BLUE AND OPAQUE VINYLs and CHANGEABLE COPY TRACK FOR SIX INCH LETTERS

OPTION: REPAINT CABINET AND RETAINER BLUE TO MATCH VINYLs ON FACE

APPROX. 6'-6"

APPROX. 7'-0"



EXISTING



PROPOSED

SCALE: 3/4" = 1'

2336 Iowa Ave. Cincinnati, OH
513-241-8884
www.abcsign.com

OUR OFFICE

r1: _____
r2: _____
r3: _____
r4: _____
r5: _____
r6: _____



SKETCH NUMBER:	NUMBER
JOB NAME:	OVERBECK AUTO
ADDRESS:	11452 SPRINGFIELD PIKE
SALES:	PHIL SWISHER
DESIGNER:	R.A. LINES
DATE:	04-25-23
DRAWING ID:	DRAWING-ID

CUSTOMER APPROVAL

SIGNED: _____ DATE: _____

PAGE
2

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper **grounding and bonding** of the sign.
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**Overbeck Auto
11452 Springfield Pike
Conditional Use / Corridor Review
Application# 2023-0316
June 13, 2023**

Request:

A Conditional Use and “CRD” Development Plan approval is being requested for the property to allow it to operate as an auto repair facility and approval of building/site modifications within the “CRD” District.

Comments:

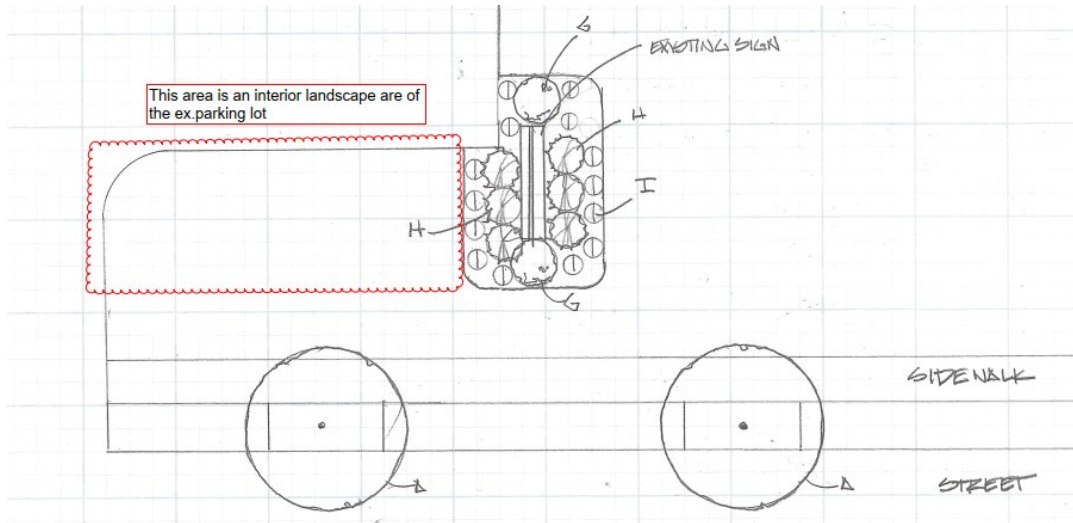
The 0.406 acres is zoned “GB” General Business District and is located in Sub Area “C” of the “CRD” Corridor Review District. The existing 4,000 square foot building was, according to Hamilton County records, constructed in 1923. A previous Conditional Use was approved for Pep Boys in 2010 to operate as an auto repair facility. Per Section 153.204 (D) (2), the approval of the Conditional Use is null and void since the property has been vacant for over six months.

- 1) When considering the Conditional Use request, Planning Commission needs to consider the following standards contained in Section 153.203 (B):
 - A) The Conditional Use is consistent with the spirit, purpose, and intent of the comprehensive plan and will not negatively affect or harm the appropriate use of neighboring property.
 - B) The proposed Conditional Use is to be located in a district wherein such use may be permitted, subject to the requirements of this section.
 - C) The use complies with all applicable use-specific provisions established in Sections 153.252 (E); Public and Institutional Use-Specific Regulations and 153.253 (D); Non-Residential Use-Specific Regulations.
 - D) The proposed use shall be adequately served by essential public facilities and services such as, but not limited to, roads, public safety forces, storm water facilities, water, sanitary sewer, refuse pick-up, and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
 - E) The proposed use will comply with all applicable development standards, except as specifically altered by the Planning Commission in the approved Conditional Use.

- F) The proposed use will be harmonious with the existing or intended character of the area, will not be hazardous or have a negative impact on adjacent properties, and will not be detrimental to property values or the economic welfare of the general vicinity.
- G) The proposed use will not involve uses, activities, processes, materials, equipment, and conditions of operations, including but not limited to, hours of operation, that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odor, or other characteristic not compatible to the uses permitted in the base zoning district.
- H) The proposed use will not impede the normal and orderly development and improvement of the surrounding properties for uses permitted in the district.

The applicant indicates the proposed use of the property will conform with the standards contained in Section 153.203 (B).

- 2) The applicant did not provide a site plan for the proposed site to meet the requirements of the city for modifications to the Development Plan within the Corridor Review District.
- 3) The applicant indicated on their application that they proposed to paint the existing façade and sign frame a combination of “African Grey”, “Hyper Blue” and “Tricon Black”. The lower portion of the front elevation and all of the west elevation is unpainted brick which, per Section 153.257 (C) (1) (b), cannot be painted. The applicant now indicates that none of the unpainted brick will be painted. Section 153.257 (C) (2) (a-c) of the Code requires a coordinated color scheme for buildings in the “CRD” consisting mainly of earthtone colors. The use of non-earthtone colors as accent colors, such as the “Hyper Blue”, are limited to 10% of any elevation. The applicant indicates that the proposed percentage of the west/front elevation to be painted “Hyper Blue” will not exceed 10%. No information was provided for the north elevation, and the south and east elevations are to remain as is.
- 4) A landscape plan was submitted to which staff has the following comments:
 - A) A Plant Schedule is required per Section 153.402 (B). Provide a plant schedule with the required proposed plant material information which includes installation size.
 - B) Shrubs are required in interior landscape areas per Section 153.404 (C) (2) (e). Each landscape island must have a minimum of one tree and four shrubs. There is one existing interior landscape island that does not meet these requirements and need to have plant material added.



- C) Plantings are required for the base of the ground sign, per Section 153.247 (C) (4) (e).
 - D) Shrubs are required in interior landscape areas per Section 153.404 (C) (2) (e). Each landscape island needs to have a minimum of one tree and four shrubs. There is one existing interior landscape island that does not meet these requirements and needs to have plant material added.
- 5) There are no modifications proposed to site lighting (pole or building mounted).
 - 6) The applicant indicates there will not be any outdoor storage of auto parts or other items on the site. Cars being serviced will be located in the parking area to the rear/east of the building. The five existing parking spaces will be reserved for customer use.
 - 7) All automotive work is to be done within the building, according to the applicant.
 - 8) The applicant is proposing a wall sign on the west/front elevation. The sign is to be constructed of channel cut letters with a cabinet logo. The following information needs to be provided to determine compliance with the Code:
 - A) Area of the entire sign.
 - B) Area of the cabinet logo sign.
 - C) The dimension of the west elevation of the building.

Considerations:

Should Planning Commission choose to approve the Conditional Use request and the Development Plan, the following items should be considered:

- 1) Planning Commission determine that the proposed use of the property as an automobile repair facility meets the standards contained in Section 153.203 (B).
- 2) The applicant submit to the City a site plan, meeting the requirements of the City, indicating any and all improvements or modifications to be made to the property.
- 3) Planning Commission determine that the proposed color scheme of “African Grey”, “Hyper Blue” and “Tricon Black” constitutes an acceptable earthtone color coordinated scheme. The inclusion of the “Hyper Blue” accent color is to be incorporated only on the upper portion of the west/front façade and will not exceed 10% of the elevation.
- 4) The Landscape Plan be revised per staff comments and resubmitted for City review and approval.
- 5) All work on vehicles is to take place within the enclosed building.
- 6) Details of the proposed building wall sign be submitted for staff review and approval prior to a permit being issued.
- 7) If the area at the rear of the building is to be used for the storage of vehicles waiting for repair, then a six foot opaque screen is required around the storage area. A screening plan shall be submitted to the City for review and approval.

Submitted By:

Anne F. McBride, FAICP
City Planner

MDC# 5020

May 9, 2023

City of Springdale – Building Department

11700 Springfield Pike

Springdale Ohio 45246

To whom it may concern,

I am submitting these materials for consideration of the City of Springdale Building Department. The property in question is located at 11452 Springfield Pike, a currently vacant 5 bay automotive repair facility. I am in the process of purchasing this property to open a 3rd location of Overbeck Auto Services. I currently own and operate 2 other high performing, high quality independent auto repair facilities in Madisonville (Cincinnati) and Amelia OH. I have attached the Planning/Zoning Application, a rendering of the business signs from ABC Sign co, Sherwin Williams paint chip samples and pictures of similar improvements made at our Amelia store. We'd like to represent the same brand on Springfield Pike. I am still waiting for the rendering from a landscape architect for planned landscaping and curb appeal improvements. Those will be submitted once received.

Thank you for your consideration.

Sincerely,

Matt Overbeck

Overbeck Auto Services, 1793 East Ohio Pike, Amelia OH 45102, June 2021



Sherwin Williams exterior paint colors

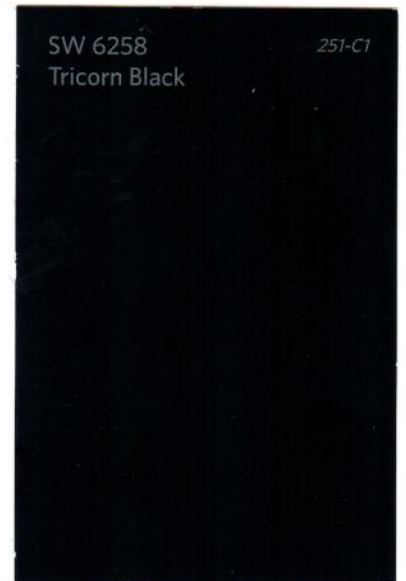
Main color



Accent



Accent





CITY OF SPRINGDALE - BUILDING DEPARTMENT

11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246

PHONE: 513-346-5730 FAX: 513-346-5747

WEBSITE: www.springdale.org/building-department.aspx

EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Overbeck Auto Area of Development: .406 Acres

Project Location: 11452 Springfield Pike 45246

Applicant: Matt Overbeck 513-405-2455
6403 Madison Rd Cincinnati OH 45227 matt@overbeckauto.com

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: https://www.springdale.org/building-department.aspx

Major Project, Minor Project, BZA Hearing options with descriptions and project type selections.

Zoning Text or Map Amendments, Concept Plan, Development Plan, Conditional Use Permits, Determination of Similar Uses, Variance, Appeal, Planned Unit Development, Transition Overlay District, Route 4 Corridor Review District Plan options.

BRIEFLY DESCRIBE PROJECT: Clean up and update the existing vacant 5 bay auto repair facility located at 11452 Springfield Pike. Replace existing signage with updated content in the existing format, improve landscaping and curb appeal, paint existing facade and yard sign frame, replace failed existing HVAC equipment, and freshen up the interior with paint and flooring with the intent to reopen the facility as a 5 bay independent automotive repair center.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

Signature of Owner/Agent: [Signature] (12/16/2020)
(Print Name): JOHNSON #
(Date): 5-9-23



May 26, 2023

City of Springdale – Building Department

11700 Springfield Pike

Springdale Ohio 45246

Anne F. McBride

This letter is in response to the comments received in regard to the Conditional Use / Corridor Review, Application# 2023-0316.

1 The proposed use of the property by Overbeck Auto Services Inc, will conform with the standards contained in Section 153.203 (B).

The intended use will be to perform general mechanical repairs and maintenance on late model (primarily 2000 model year and newer) vehicles. No collision repair, painting, restoring or vehicle modifications. The proposed operating hours will be no earlier than 6:30AM and no later than 8:00PM Monday through Friday. Other OAS locations currently operate a 8:00am to 5:30pm Monday through Friday schedule. Overbeck Auto Services provides a customer-focused service experience. Upscale professional look to the facilities and employees. Overbeck Auto Services is an independent brand. Appearance is clean and neat, we do not use retail style signage, banners or stickers to advertise tire brands, oil manufacturers, suppliers or others.

2. More info needed.

3. None of the unpainted brick on the building will be painted. The south and east (back) of the building will remain as is. The front upper fascia of the building facing Springfield Pike will be painted. This area is approximately 50' x 5' or 250sqft. This area will be painted "African Grey" with the top trim work, consisting of approximately 25sqft, will be painted "Hyper Blue". This equals 10% of the painted surface. The drawings submitted, prepared by ABC Signs show the accent color on the top and bottom trim. This was done following what has existed on the building since 2011. According to the auditors' web page. However, adding the bottom accent as has been done historically, will exceed the 10% maximum. As a result, it will be eliminated from the plan.

4. See landscape plan prepared by LTD landscapes

5. No proposed changes in lighting

6. Outdoor storage will consist of vehicles either awaiting repairs or vehicles with completed repairs, as needed. These vehicles will be in the paved parking lot behind the building. The 5 parking spaces (1 handicap accessible) near the front of the property will be reserved for incoming and outgoing customers, no storage. No other outdoor storage will be used. There is an existing enclosure behind the building for a trash receptacle.

7. The ground sign will be in a landscape bed per the plan prepared by LTD Landscapes

8. All automotive work will be performed inside the building.

Thank you for your consideration.

Sincerely,

Matt Overbeck



CESO
WWW.CESOINC.COM



WAWA - SPRINGDALE, OH
370 GLENSPRINGS DRIVE
SPRINGDALE, OH 45246

WAWA

SITE LEGEND

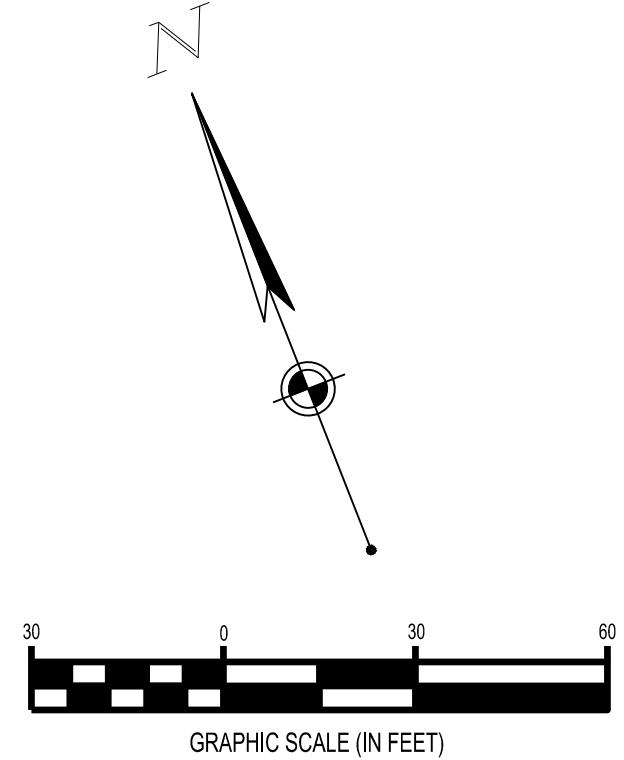
- EXISTING**
REFER TO XXX FOR EXISTING FEATURES LEGEND
- PROPOSED**
- PROPOSED CONCRETE PAVEMENT
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK
 - EASEMENT
 - BUILDING
 - CONCRETE CURB
 - PAVEMENT/WALK
 - PARKING SPACE COUNT
 - SIGN
 - CURB INLET
 - LIGHT POLE

GENERAL NOTES:

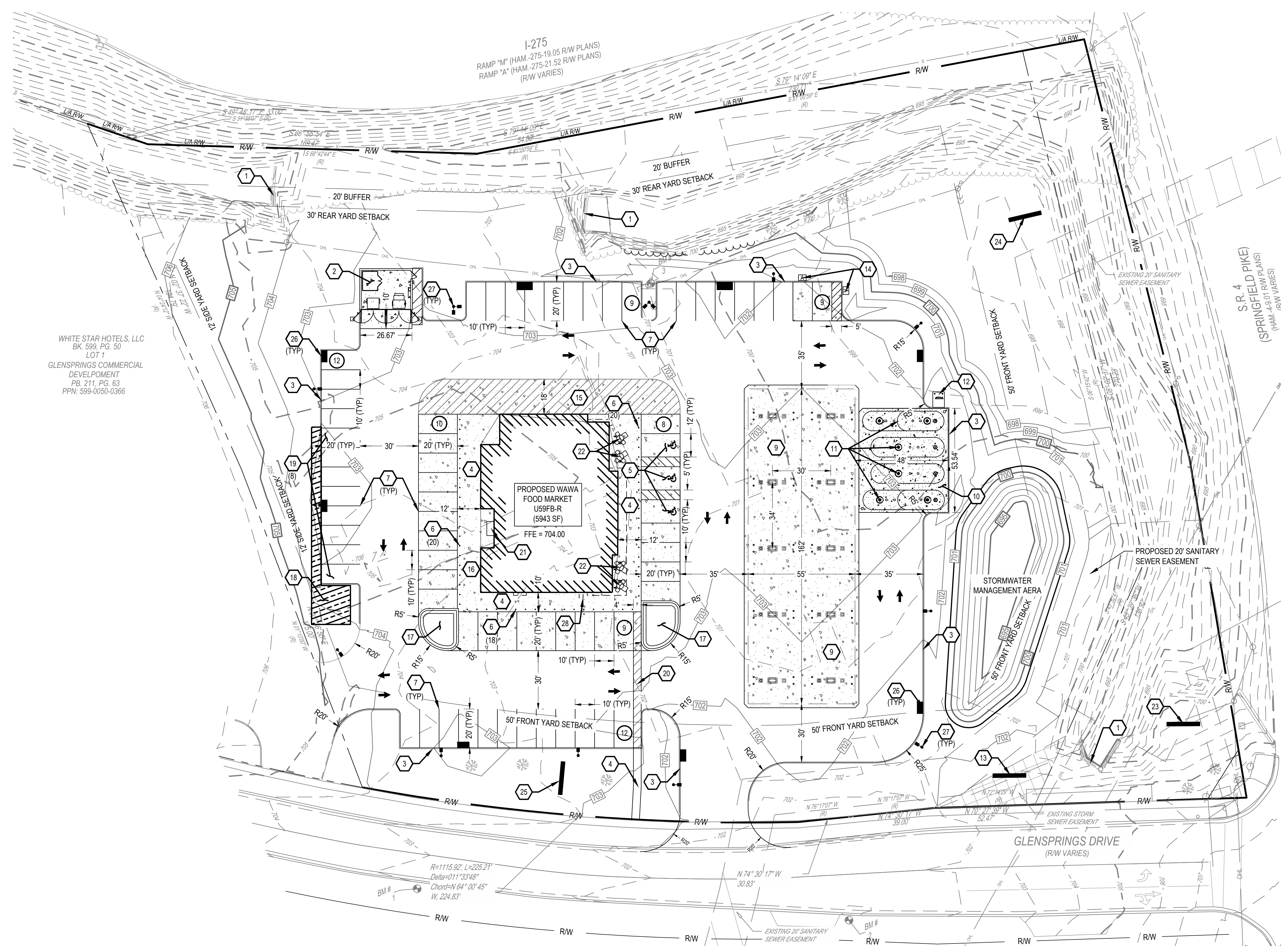
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL [DOT] STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY PRIOR TO CONSTRUCTION.
- ALL WET OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED PRIOR TO PAVEMENT CONSTRUCTION. REFER TO GEOTECHNICAL REPORT.
- ALL DIMENSIONS AND COORDINATES REFER TO EDGE OF PAVEMENT AND/OR FACE OF CURB WHERE APPLICABLE.
- ALL RADII TO BE 3'-0" UNLESS OTHERWISE NOTED.
- REFER TO CONSTRUCTION DETAILS SHEET/GEOTECHNICAL REPORT FOR PAVEMENT SECTION RECOMMENDATIONS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS AND PROPOSED SIGNS.

CODED NOTES:

- EXISTING CONCRETE HEADWALL. DO NOT DISTURB.
- PROPOSED 8" MASONRY TRASH ENCLOSURE W/ 6" REINFORCED CONCRETE PAD.
- PROPOSED 6" STRAIGHT CURB. REFER TO CONSTRUCTION DETAILS, SHEET XX.
- PROPOSED 4" CONCRETE SIDEWALK (3500 PSI).
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS, SHEET XX.
- PROPOSED 6" CONCRETE BOLLARD. NUMBER IN PARENTHESIS REFERS TO NUMBER OF BOLLARDS SHOWN. REFER TO CONSTRUCTION DETAILS, SHEET XX.
- PROPOSED 4" YELLOW PAINT PARKING LOT PAVEMENT MARKINGS.
- PROPOSED LIGHT POLE. REFER TO CONSTRUCTION DETAILS, SHEET XX.
- PROPOSED 162' X 55' FUELING CANOPY (8,910 SF)
- PROPOSED 8" CONCRETE PAD (4,000 PSI)
- PROPOSED TWO (2) 22K AND TWO (2) 20K FUEL STORAGE TANKS.
- PROPOSED 6'X6' VENT RISER CONCRETE PAD (4,000 PSI).
- PROPOSED SIGN. ALTERNATE MONUMENT SIGN LOCATION #1.
- PROPOSED AIR PUMP.
- PROPOSED 8" CONCRETE LOADING ZONE (4,000 PSI).
- PROPOSED GREASE TRAP. TO BE SHOWN AND DESIGNED IN CONSTRUCTION PLAN DOCUMENTS.
- PROPOSED MOUNTABLE CURB LANDSCAPE ISLAND.
- LIMITED BUILD AREA FOR FUTURE EV EQUIPMENT.
- FUTURE EV PARKING SPACES.
- PROPOSED 4' WIDE ADA ACCESS ROUTE.
- PROPOSED ICE CHEST.
- PROPOSED TABLES W/ SEATING.
- EXISTING POLE SIGN, PREFERRED SIGN LOCATION.
- ALTERNATE MONUMENT SIGN #2.
- PROPOSED MONUMENT SIGN. SEE SIGN PACKAGE FOR DETAILS.
- PROPOSED STORM WATER INLET (TYP). FINAL LOCATIONS TO BE DETERMINED WITH CONSTRUCTION PLANS.
- 20' LIGHT POLE (TYP). REFER TO PHOTOMETRIC PLAN.
- PROPOSED BIKE RACK



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE. THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



SITE REQUIREMENTS:

- BUILDING SETBACKS:**
FRONT YARD - 50', REAR YARD - 30'
RIGHT YARD - 12', LEFT YARD - 12'
- PARKING SETBACKS:**
FRONT YARD - 10', REAR YARD - 10'
RIGHT YARD - 10', LEFT YARD - 10'
- SIGN SETBACKS:**
10' FROM RIGHT-OF-WAY
- STANDARD PARKING DIMENSIONS:**
9'Wx18'
- PARKING REQUIRED:**
WAWA C-STORE:
(1) SPACE PER 200 S.F. OF FLOOR AREA
5,943 x (1/200) = 30 SPACES

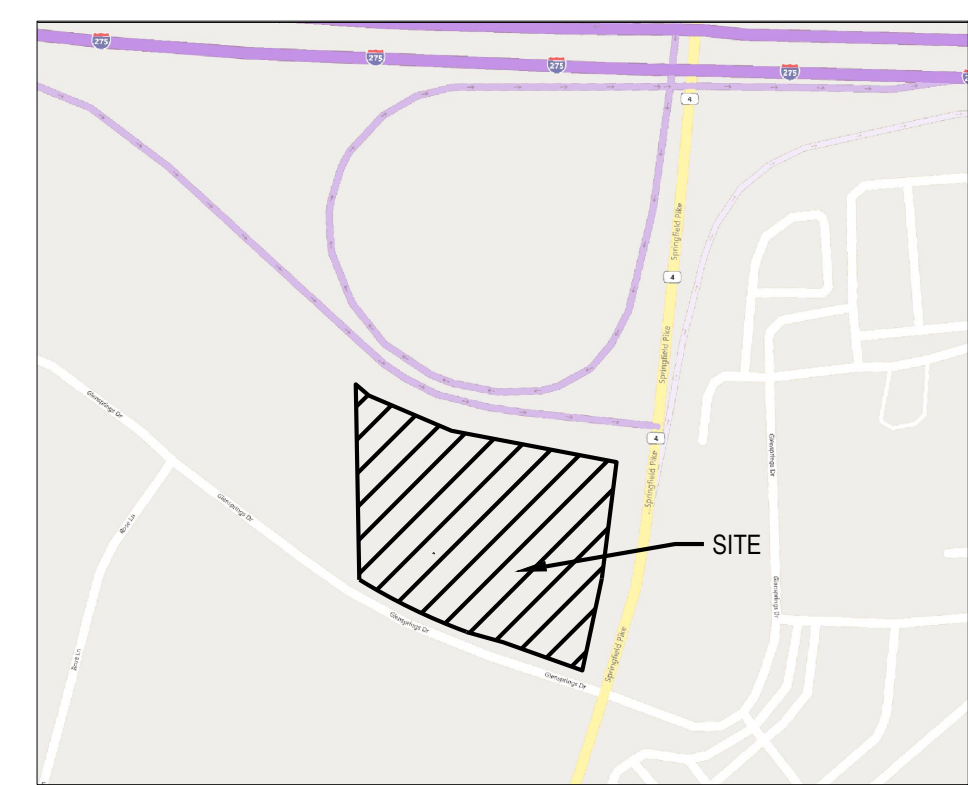
(1) SPACE PER EMPLOYEE ON LARGEST SHIFT
5 EMPLOYEES x 1 (SPACE PER EMPLOYEE) = 5

GASOLINE FUELING STATION:
(1) SPACE PER PUMP
20 PUMPS x 1 (SPACE PER PUMP) = 20

TOTAL PARKING REQUIRED = 55 SPACES
TOTAL PARKING PROPOSED = 69 SPACES

SITE AREA

TOTAL SITE AREA = 4.01 AC
PROPOSED IMPERVIOUS AREA = 1.17 AC (29%)



W:\PROJECTS\Wawa\762010 Springdale_OH\03-CIVIL\PLAN\LOT762010_SITE_PLAN.dwg - 05/30/23 - Michael Smith

Revisions / Submissions		
ID	Description	Date

© 2023 CESO, INC.
Project Number: 762010
Scale: 30
Drawn By: MBS
Checked By: JMS
Date: 05/30/23
Issue: NOT FOR CONSTRUCTION

Drawing Title:
SITE PLAN



1 FRONT - EAST ELEVATION
3/16" = 1'-0"

GLAZING CALCS - FRONT - EAST ELEVATION:		MATERIAL CALCS - FRONT - EAST ELEVATION:	
CLEAR GLAZING - 454 SQFT	25%	BRICK - 649 SQFT	36%
SPANDREL GLASS - 85 SQFT	5%	STUCCO/EIFS - 453 SQFT	24%
TOTAL - 539 SQFT		TILE - 101 SQFT	5.5%
		GLAZING - 539 SQFT	30%
		SUNSHADE - 80 SQFT	4.5%
GLAZING - 539/1,822 =	30%	TOTAL BUILDING - 1,822 SQFT	



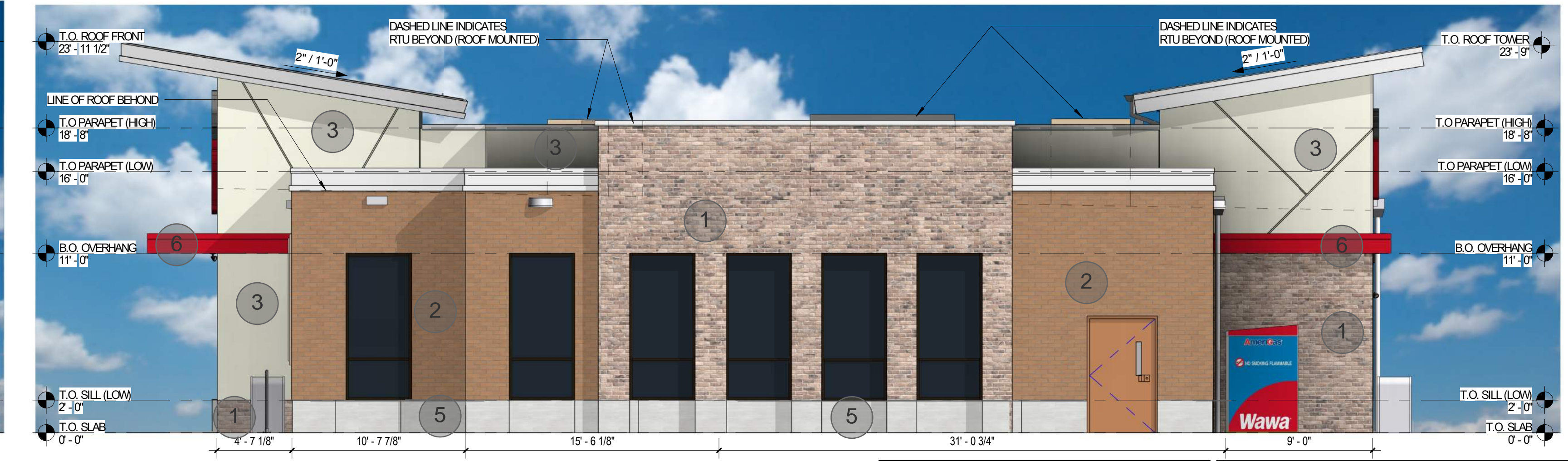
2 REAR - WEST ELEVATION
3/16" = 1'-0"

GLAZING CALCS - REAR - WEST ELEVATION:		MATERIAL CALCS - REAR - WEST ELEVATION:	
CLEAR GLAZING - 70 SQFT	4%	BRICK - 870 SQFT	50%
SPANDREL GLASS - 384 SQFT	21.5%	STUCCO/EIFS - 320 SQFT	18%
TOTAL - 454 SQFT		TILE - 73 SQFT	3.5%
		GLAZING - 454 SQFT	25.5%
		SUNSHADE - 45 SQFT	3%
GLAZING - 454/1,756 = 25.5%		TOTAL BUILDING - 1,756 SQFT	



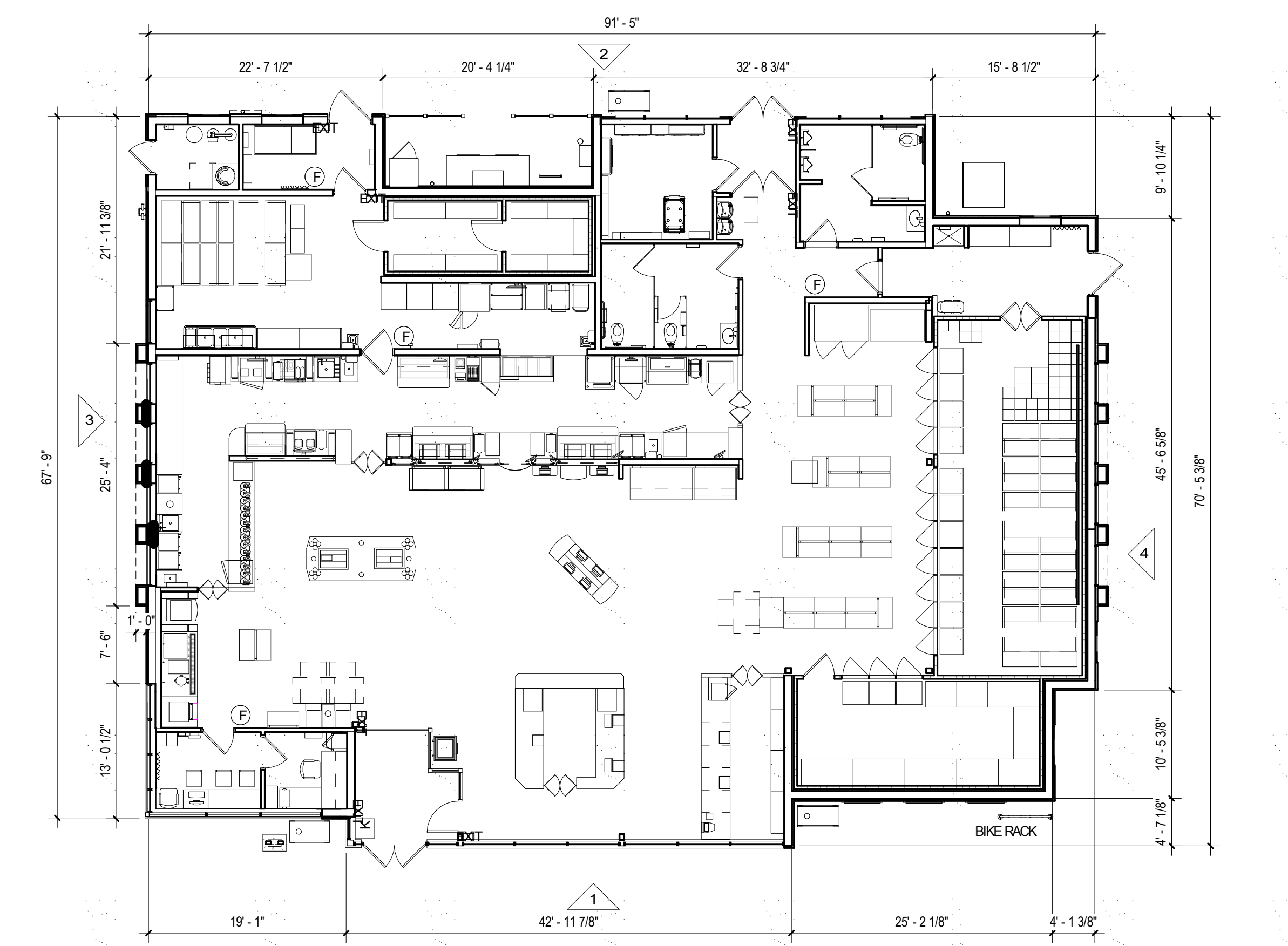
3 SIDE - SOUTH ELEVATION
3/16" = 1'-0"

GLAZING CALCS - SIDE - SOUTH ELEVATION:		MATERIAL CALCS - SIDE - SOUTH ELEVATION:	
CLEAR GLAZING - 124 SQFT	9.6%	BRICK - 852 SQFT	63%
SPANDREL GLASS - 141 SQFT	10.4%	STUCCO/EIFS - 88 SQFT	7%
TOTAL - 265 SQFT		TILE - 115 SQFT	9%
		GLAZING - 265 SQFT	20%
		SUNSHADE - 26 SQFT	4%
GLAZING - 265/1,346 =	20%	TOTAL BUILDING - 1,346 SQFT	



4 SIDE - NORTH ELEVATION
3/16" = 1'-0"

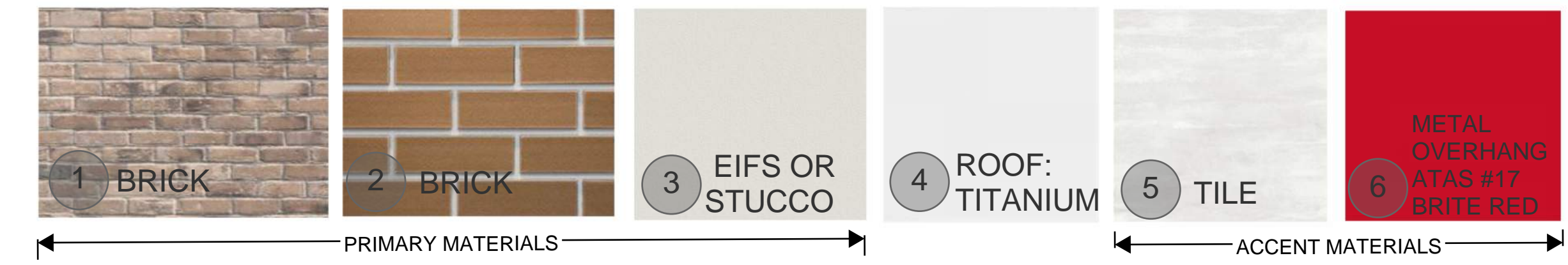
GLAZING CALCS - SIDE - NORTH ELEVATION:		MATERIAL CALCS - SIDE - NORTH ELEVATION:	
CLEAR GLAZING - 0 SQFT	0%	BRICK - 761 SQFT	55.3%
SPANDREL GLASS - 218 SQFT	16%	STUCCO/EIFS - 258 SQFT	20.0%
TOTAL - 218 SQFT		TILE - 118 SQFT	8.0%
		GLAZING - 218 SQFT	16.0%
		SUNSHADE - 24 SQFT	1.7%
GLAZING - 218/1,378 =	16%	TOTAL BUILDING - 1,1378SQFT	



5 FLOOR PLAN
1" = 10'-0"

BUILDING FOOTPRINT =	5,919 SF	C-STORE ROOF (FLAT) SF =	5,054 SF	50% OF THE SITE COVERAGE OF ANY STRUCTURES SHOULD HAVE PITCHED ROOF: 50% OR 15,507 SF IS 7,754 SF. TOTAL SF OF PITCHED/SLOPED ROOF IS EQUAL TO 9,931 SF
FUEL CANOPY FOOTPRINT =	9,019 SF	FRONT TOWER ROOF (PITCHED/SLOPED) SF =	1,226 SF	
TRASH COMPOUND FOOTPRINT =	569 SF	REAR TOWER ROOF (PITCHED/SLOPED) SF =	630 SF	
TOTAL STRUCTURE SF =	15,507 SF	FUEL CANOPY ROOF (PITCHED/SLOPED) SF =	8,076 SF	
		TRASH COMPOUND ROOF (FLAT) SF =	NO ROOF	
		TOTAL ROOF SF =	14,982 SF	

MATERIALS:





FRONT RIGHT PERSPECTIVE



REAR RIGHT PERSPECTIVE



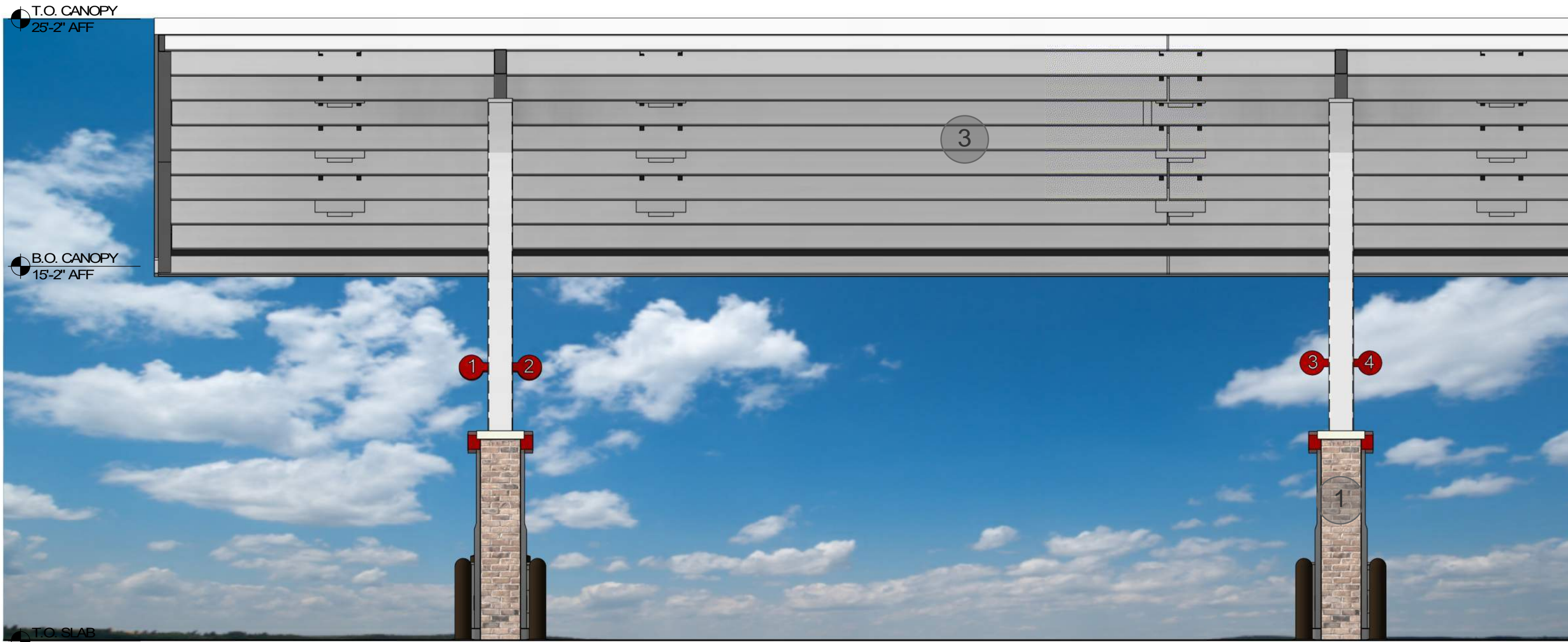
FRONT LEFT PERSPECTIVE



REAR LEFT PERSPECTIVE



7 FUEL CANOPY ELEVATION
1/4" = 1'-0"



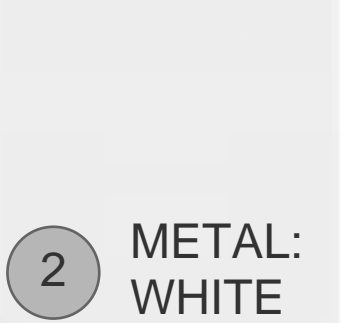





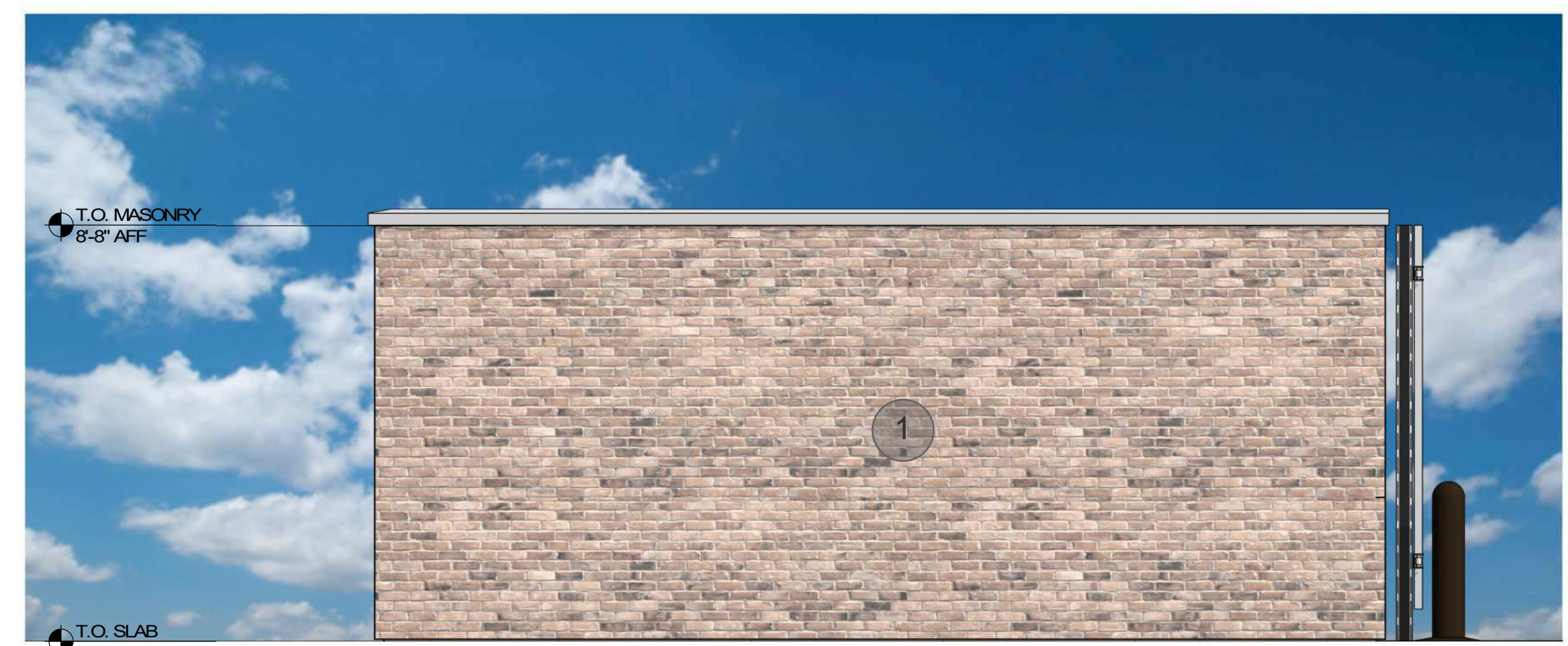
4 FUEL CANOPY ELEVATION - LONG
1/4" = 1'-0"



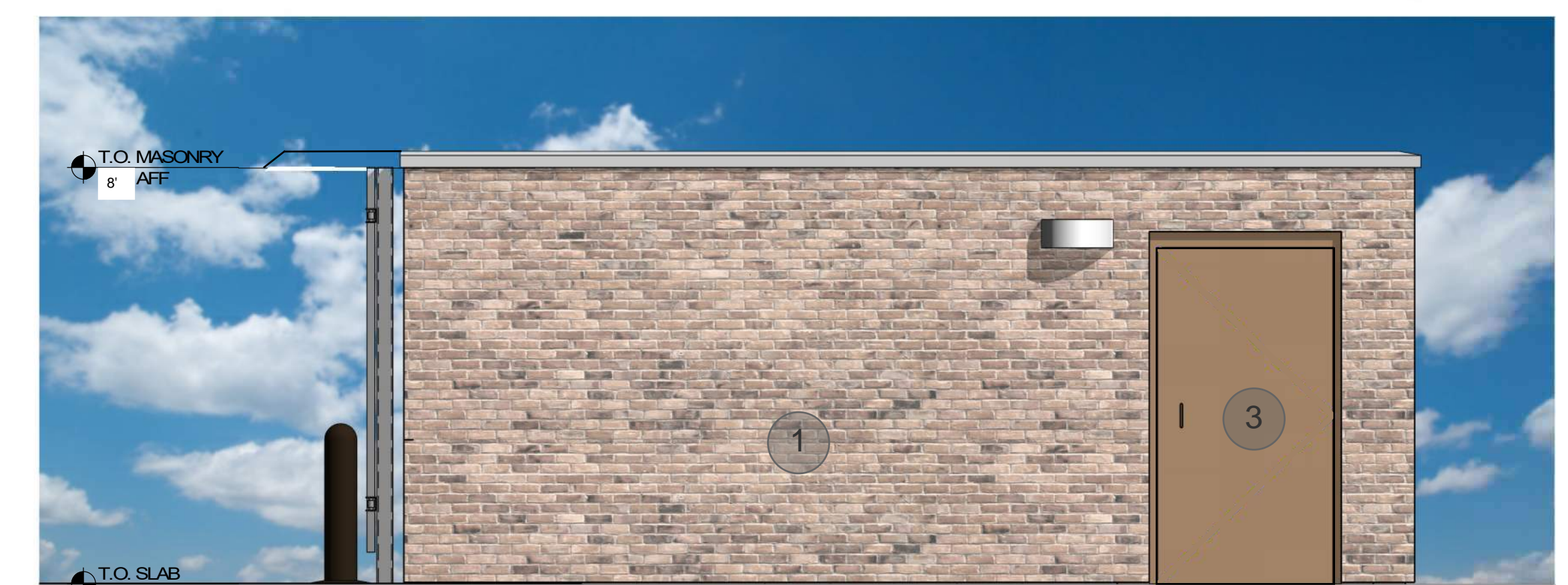
1 FUEL CANOPY PERSPECTIVE

MATERIALS:

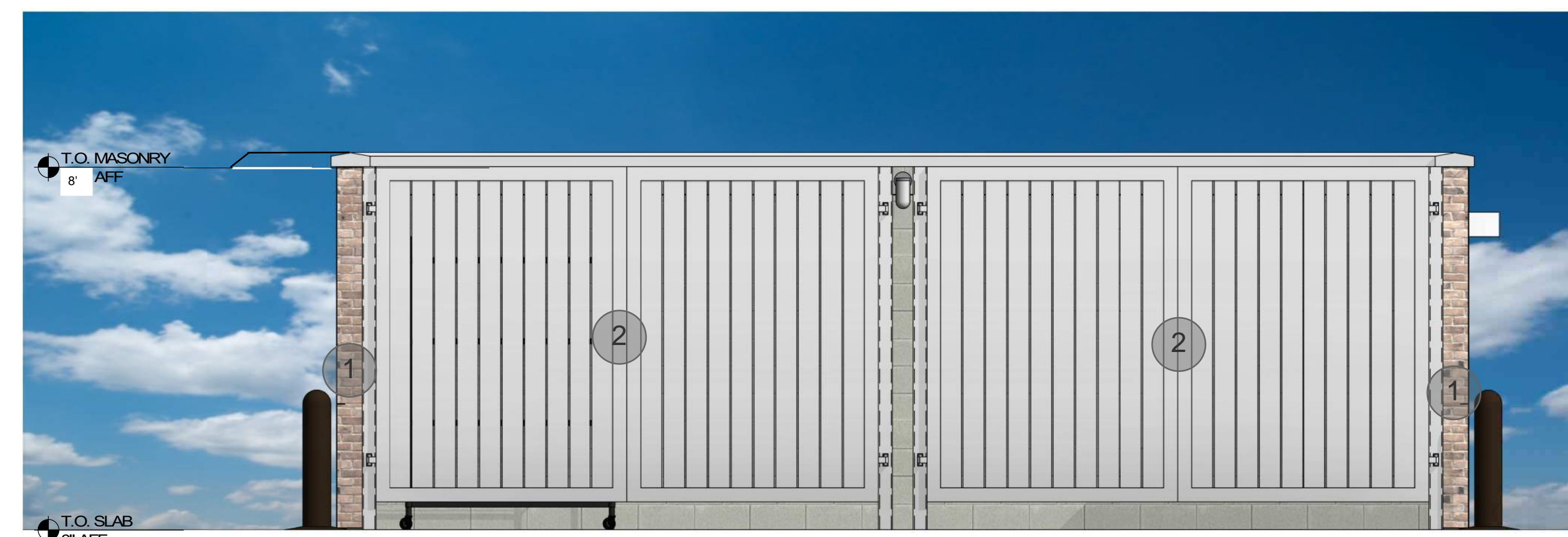
 1 BRICK	 1 BRICK
 2 METAL: WHITE	 2 METAL: WHITE
 3 ROOF: TITANIUM	 3 DOOR TO MATCH BUILDING



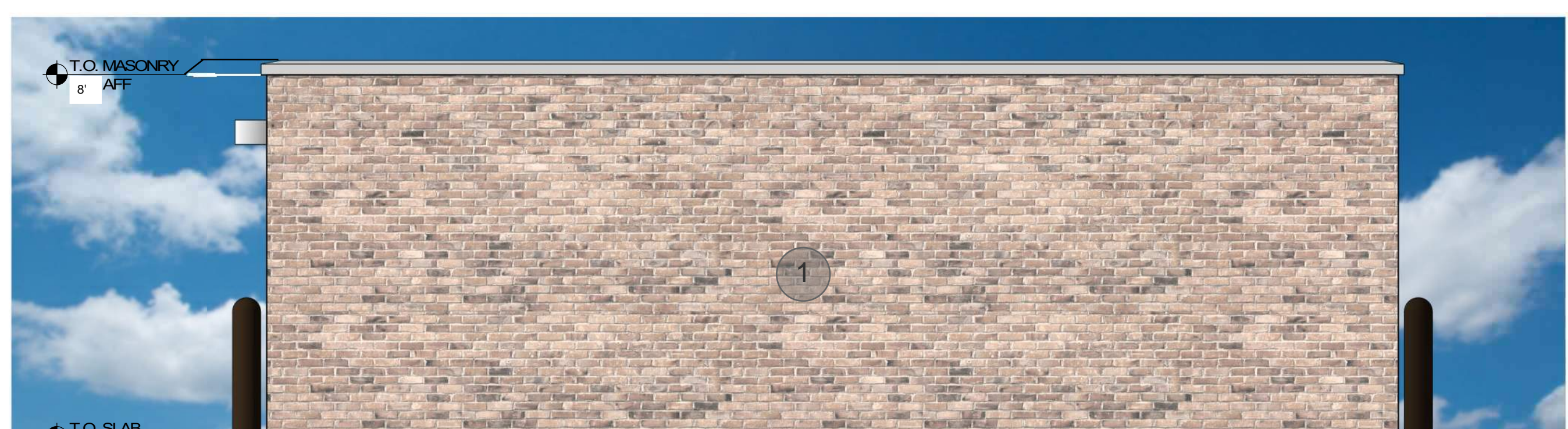
6 TRASH COMPOUND SIDE - WEST ELEVATION
3/8" = 1'-0"



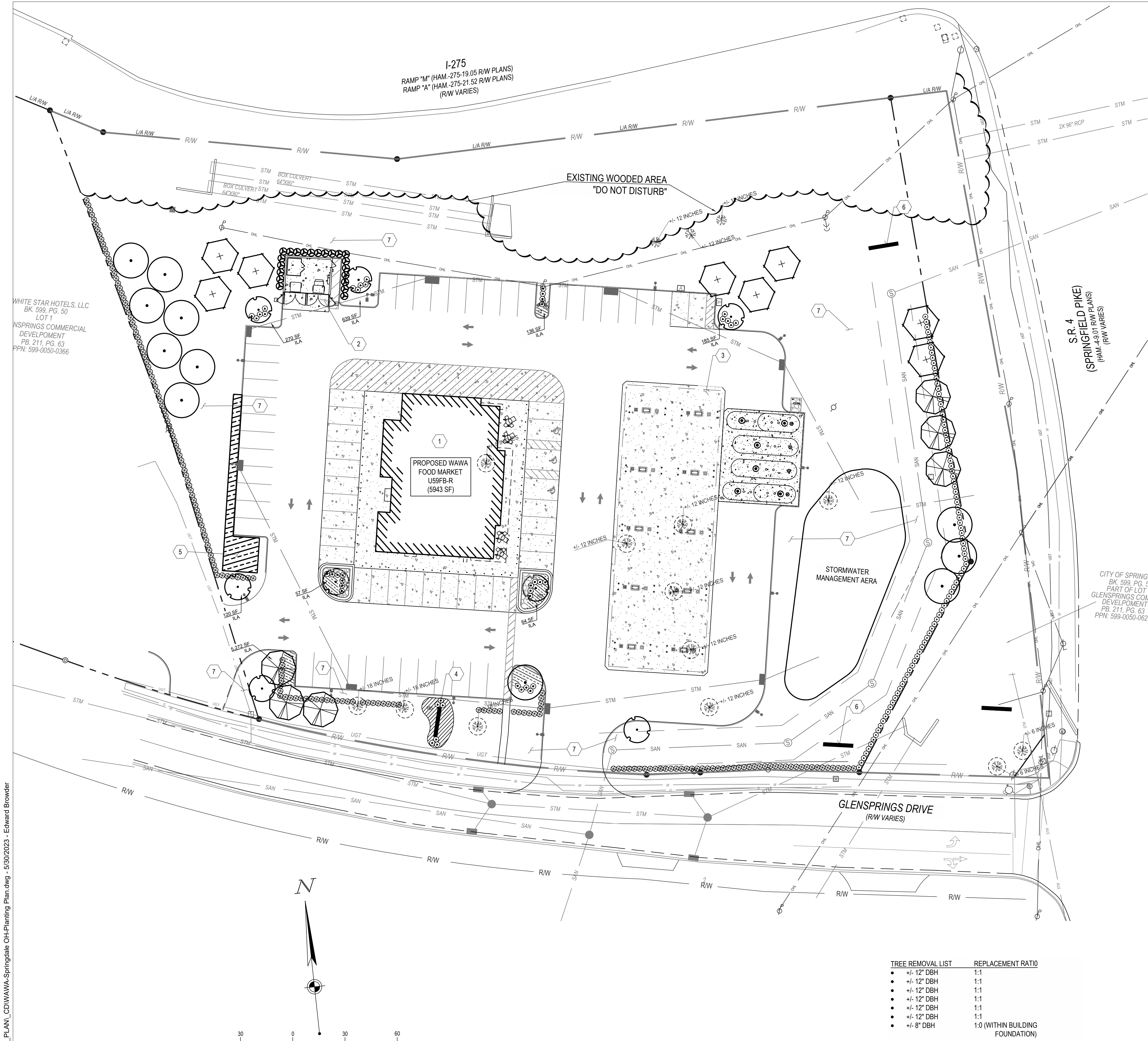
5 TRASH COMPOUND SIDE - EAST ELEVATION
3/8" = 1'-0"



3 TRASH COMPOUND FRONT - NORTH ELEVATION
3/8" = 1'-0"



2 TRASH COMPOUND REAR - SOUTH ELEVATION
3/8" = 1'-0"



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPB	SPACING
(Symbol)	8	ACER RUBRUM RED MAPLE	3" CAL	12' HT	AS SHOWN
(Symbol)	6	GLEDITSIA TRICANTHOS HONEY LOCUST	3" CAL	12' HT	AS SHOWN
(Symbol)	8	PRUNUS SERRULATA FIRST BLUSH FIRST BLUSH CHERRY	2" CAL	8' HT	AS SHOWN
(Symbol)	11	QUERCUS RUBRA RED OAK	3" CAL	12' HT	AS SHOWN
(Symbol)	21	THUJA OCCIDENTALIS 'YELLOW RIBBON' YELLOW RIBBON ARBORVITAE	—	6' HT	4'-0" OC

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPB	SPACING
(Symbol)	176	ABELIA X EDWARD GOUCHER EDWARD GOUCHER ABELIA	3 GAL	24" HT	3' OC
(Symbol)	22	BUXUS X 'GREEN VELVET' GREEN VELVET BOXWOOD	3 GAL	12" HT	3' OC
(Symbol)	93	ILEX GLABRA INBERRY HOLLY	3 GAL	24" HT	3'-0" OC
(Symbol)	21	SPRAEA X BUMALDA LITTLE PRINCESS LITTLE PRINCESS SPIREA	3 GAL	18" HT	3' OC

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPB	SPACING
(Symbol)	178	JUNIPERUS HORIZONTALIS 'BLUE RUG' BLUE RUG JUNIPER	3 GAL	—	1'-0" OC
(Symbol)	563	VINCA MINOR COMMON PERIWINKLE	—	4" FLAT	1'-0" OC

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH
- CONTRACTOR TO PLACE 4" DIAMETER HARDWOOD MULCH RING AROUND ALL TREES IN LAWN
- LANDSCAPE ISLANDS ADJACENT TO THE TANK MAP AND BUILDING SHALL CONTAIN RIVER STONE MULCH, 1-3" JACKS, LOCALLY SOURCED

LANDSCAPE REQUIREMENTS

VEHICULAR USE AREAS (61,915 SF) (PARKING EXCEEDS MIN BY 30%)
 10 SF OF LANDSCAPING PER 100 SF OF VUA
 REQUIRED: 6,192 SF
 PROPOSED: 6,743 SF (SEE AREAS LABELED xx SF ILA)

INTERIOR LANDSCAPE REQUIREMENTS
 1 TREE (GROUP A) PER 25 PARKING SPACES, ONE TREE PER ISLAND
 6 SHRUBS PER 25 PARKING SPACES, 4 SHRUBS PER ISLAND
 69 PARKING SPACES
 REQUIRED: 3 TREES, 17 SHRUBS
 PROPOSED: 3 TREES, 18 SHRUBS

SCREENING REQUIREMENTS
 REQUIRED: CONTINUOUS PLANTING OF EVERGREENS (3 SIDES), 1' ABOVE HEIGHT OF STRUCTURE, NOT EXCEEDING 10'

LANDSCAPE REQUIREMENTS FOR STATE ROUTE 4 CORRIDOR REVIEW DISTRICT
 1 TREE (GROUP A) PER 35 LF
 SPRINGFIELD PIKE 337 LF
 REQUIRED: 10 TREES
 PROPOSED: 10 (2 EXISTING)

BUFFERYARD REQUIREMENTS
 1 TREE PER 35LF, 1 SHRUB PER 3LF OF FRONTAGE

ADJACENT PROPERTY - WEST (275 LF)
 REQUIRED: 7 TREES, 84 SHRUBS
 PROPOSED: 8 TREES, 84 SHRUBS

GLENSPRINGS DRIVE (295 LF)
 REQUIRED: 8 TREES, 99 SHRUBS
 PROPOSED: 8 TREES (3 EXISTING), 99 SHRUBS

SPRINGFIELD PIKE (337 LF)
 REQUIRED: 10 TREES, 112 SHRUBS
 PROPOSED: 10 TREES (SEE STATE ROUTE 4 CORRIDOR DISTRICT REQUIREMENTS ABOVE), 112 SHRUBS

INTERSTATE I-275 (320 LF)
 REQUIRED: 9 TREES, 107 SHRUBS
 PROPOSED: 9 TREES (3 EXISTING), EXISTING SHRUBS NOT TO BE DISTURBED

LEGEND

(Symbol)	PROPERTY BOUNDARY LINE
(Symbol)	EASEMENT LINE
(Symbol)	SITE FENCE
(Symbol)	OVERHEAD POWER LINE
(Symbol)	STORM DRAIN
(Symbol)	GAS LINE
(Symbol)	UNDERGROUND TELEPHONE LINE
(Symbol)	EXISTING TREE CANOPY
(Symbol)	EXISTING TREE TO REMAIN, SEE PROTECTION DETAIL, SHEET 10
(Symbol)	EXISTING TREE TO BE REMOVED, SEE DEMOLITION PLAN, SHEET 4

TREE REMOVAL LIST

REMOVAL LIST	REPLACEMENT RATIO
• +/- 12" DBH	1:1
• +/- 12" DBH	1:1
• +/- 12" DBH	1:1
• +/- 12" DBH	1:1
• +/- 12" DBH	1:1
• +/- 12" DBH	1:1
• +/- 8" DBH	1:0 (WITHIN BUILDING FOUNDATION)

- CODED NOTES:**
- PROPOSED BUILDING
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED FUELING CANOPY
 - PROPOSED SIGN
 - LIMITED BUILD AREA FOR FUTURE EV EQUIPMENT
 - ALTERNATIVE SIGN LOCATION
 - KENTUCKY BLUEGRASS SOD, TYPICAL

TOTAL REPLACEMENT REQUIRED: 72" DBH
 TOTAL REPLACEMENT TREES: 75" CALIPER

NOTE:

- ALL TREES BEING REMOVED ARE CATEGORY I TREES
- ALL REPLACEMENT TREES ARE 3" CALIPER AND 12' HIGH



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO UTILITIES PROTECTION SERVICE AT 811 OR 800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



WAWA

WAWA - SPRINGDALE, OH

370 GLENSPRINGS DRIVE
 SPRINGDALE, OH 45246

Revisions / Submissions

ID	Description	Date

© 2023 CESO, INC.

Project Number: 762010
 Scale: 1"=30'
 Drawn By: TRH
 Checked By: EAB
 Date: 05/30/23
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
PLANTING PLAN

9 OF X



Wawa
370 and 380 Glensprings Drive
Development Plan Review
Application# 2023-0312
June 13, 2023

Request:

To approve a Development Plan for the property at the northwest corner of Springfield Pike and Glensprings Drive for use as a fuel station and convenience store.

Comments:

The applicant has submitted a Development Plan for the redevelopment of the three parcels containing 4.01 acres at the northwest corner of Springfield Pike and Glensprings Drive. The redevelopment property is made up of three parcels:

- A) Parcel: 599-0050-0368
Treble Properties, LLC.
2.002 acres

- B) Parcel: 599-0050-0368
Pablo Ramirez
1.596 acres

- C) Parcel: 599-0050-0629
City of Springdale
0.403 acres

The parcels are zoned “GB” General Business District and are located in Sub Area “B” of the Corridor Review District (“CRD”). The properties contain two buildings, a 10,992 square foot building (DJ’s Sports Tavern) on the west parcel, and a 5,042 square foot building (Las Islas Marias) on the middle parcel. The third parcel, adjacent to Springfield Pike, is owned by the City and does not contain a building but does have a pylon sign located on it. The existing buildings would be demolished, the three parcels consolidated, and the site redeveloped as Wawa fuel center with 10 pump islands (20 dispensing points) and a 5,943 square foot convenience store. The front of the building would be oriented toward Springfield Pike. Access to the site would be from two curb cuts on Glensprings Drive. The balance of the site would remain vacant for future development.

- 1) The “GB” District, per Section 153.253, permits convenience stores as of right and allows automobile fueling stations subject to the Standards of Section 153.253 (D) (4) as follows:
 - A) Fuel canopies and buildings shall both be set back a minimum of 50 feet from the front lot line.

- B) Lubrication, washing, incidental servicing of motor vehicles and all supply and merchandising shall be completely within an enclosed building except as otherwise provided herein.
- C) Outdoor sales and display shall be subject to the Standards in Section 153.253 (E) (9): Outdoor Sales/Display.
- D) Outdoor storage shall be subject to the Standards in Section 153.253 (E) (10): Outdoor Storage.
- E) Electronic fuel price displays shall be subject to the Standards in Section 153.460 (D): Electronic Fuel Price Displays.
- F) The parking spaces adjacent to each fuel pump may count towards the parking requirements set forth in Table 302-2: Number of Off-Street Parking Space Requirements.
- G) Automotive fueling stations do not include facilities designed for the fueling of semi-trailer trucks. (Ord. 04-2020, passed 01-15-2020).

The applicant is aware of these standards and does not foresee any issues complying.

- 2) Per Section 153.302 (P), parking is required as follows:

Convenience Store: One space per 200 square feet and one space per employee on the largest shift.

Automotive Fueling Center: One space per pump plus one space per employee on the largest shift.

The number of employees on the largest shift is indicated to be five employees. A total of 55 parking spaces for the site are required for Wawa as proposed. A total of 69 parking spaces are provided on the lot and 20 additional spaces are provided at the pumps for a total of 89 parking spaces on the site. Since the parking provided exceeds that required by over 30%, additional landscaping is required per Section 153.404 (C) (1). The applicant has provided the additional landscaping required.

- 3) The applicant submitted a sign brand book, site plans with multiple sign locations indicated, and building/canopy elevations. There is conflicting sign information on these documents.

Ground Mounted Signage:

The Site Plan indicates a number of “alternative” sign locations indicating a ground mounted sign at the southeast corner of the site, and alternate locations east of the access point and at the northeast corner of the site. There is an existing non-conforming pole sign on the parcel currently owned by the City. A portion of that sign has lost its non-conforming status since one of the businesses identified has been

vacant for more than six months. Given that the site has frontage on Glensprings, Springfield Pike, and I-275, it is permitted to have two ground mounted signs. The final locations for the two permitted ground signs needs to be determined. The proposed ground mounted sign at the southeast corner of the site is to be seven feet tall and contain 44.33 square feet of area. The sign is to be mounted on an 18” masonry base. The base material needs to be identified as one of the materials used on the building. Signs must be set back 10 feet from any right-of-way or lot line and be located in a landscape bed equal in area to the area of the sign. The proposed sign is to include 16.6 square feet of electronic fuel price signs. Per Section 153.460 (D), the sign can only display one color LED Technology and must meet the dimming requirements of Section 153.460 (D) (4). In addition, page 4 of the sign brand book also proposes a 24’ tall pylon sign between the two access points that would contain 125 square feet of signage. This sign would not be permitted.

Building Signage Proposed:

“Front Elevation” / (East)

“Wawa” & Logo: 120.8 square feet
Channel cut letters with logo

Cabinet Signs:

“Burger” 28 square feet
“Built to Order” 28 square feet
“Coffee Cup” 28 square feet
Total: 84 square feet

Total proposed sign area: 204.8 square feet.

Given the 94 feet of building area on the front elevation, a total of 161 square feet of sign area is permitted.

Issues:

- A) The area of the goose logo needs to be provided to confirm that the non-channel cut letter sign does not exceed the 15% proposed sign area permitted per Section 153.459 (C) (2) (d).
- B) The three cabinet signs totaling 84 square feet are not permitted and would exceed (204.8 square feet proposed) the 161 square feet permitted on the front elevation.

“Side Elevation” / (South)

The sign brand book indicates that there will not be any signage on this elevation, but the building elevations include the following:

“Wawa & Logo: 42.5 square feet
Channel cut letters with logo.

The elevation is entitled to 177 square feet of sign area with no one sign exceeding 150 square feet. The area of the goose logo needs to be provided to confirm that the non-channel cut letter sign does not exceed the 15% proposed cabinet sign area per Section 153.459 (C) (2) (d).

“Side Elevation” / (North)

The building elevations do not include signage on this elevation.

The sign brand book indicates that there will be the following signage on this elevation:

“Wawa & Logo: 42.5 square feet
Channel cut letters with logo.

The elevation is entitled to 177 square feet of sign area with no one sign exceeding 150 square feet. The area of the goose logo needs to be provided to confirm that the non-channel cut letter sign does not exceed the 15% proposed cabinet sign area per Section 153.459 (C) (2) (d).

“Rear Elevation” / (West)

Included on building elevations and in sign brand book.

“Wawa & Logo: 51.46 square feet
Channel cut letters with logo.

The sign brand book includes the cabinet signs, but they are not indicated on the building elevations.

Cabinet Signs:

“Burger”	28 square feet
“Coffee Cup”	28 square feet
Total:	56 square feet

Issues:

No signage is permitted on this elevation since it does not have frontage on a public right-of-way, per Section 153.459 (C) (2) (b). If the site did have frontage, the following would be issues:

- A) The area of the goose logo needs to be provided to confirm that the non-channel cut letter sign does not exceed the 15% proposed sign area per Section 153.459 (C) (2) (d).
- B) The two cabinet signs totaling 56 square feet are not permitted, and if they were permitted, would exceed (173.46 square feet) the 161 square feet permitted on the rear elevation if it had frontage.

Canopy Signage:

The canopy elevations do not indicate any signage on the canopy. The sign brand book indicates the following signage:

Spanner Signs: South & North Elevations

“Wawa” 27.8 square feet.

Signs are not permitted as they are not constructed using channel cut letters.

Pump Identification Signs:

Signs for indication of pump number that are non-illuminated and contain less than 2.25 square feet each. Per Section 153.600, staff would not consider these signage.

Since the applicant has submitted inconsistent sign information for free standing, building, and canopy signage, staff suggests Planning Commission defer action on signage until the applicant determines what signage they want.

- 4) The proposed outdoor dining area is permitted provided it meets the Standards of Section 153.253 (E) (8). Details need to be provided to indicate compliance.
- 5) Bicycle parking is required per Section 153.302 (S). A bike rack is indicated on the south elevation.
- 6) Two stacking spaces are required for each pump island per Section 153.304. Location needs to be provided on the site plan to indicate compliance.
- 7) The only outdoor storage or display of items for sale or equipment will be an ice machine and a propane cage on the west/rear elevation.
- 8) All roof or ground mounted equipment must be screened per Section 153.254 (C).
- 9) A landscape plan was submitted to which staff has the following comments:
 - A) Plant material diversity, with even distribution, is required per Section 153.403 (E). The proposed quantity of Abelia does not meet this requirement. Adjust plant quantities for more matched quantities on the site.

- B) Landscape Plan needs to show mulch beds.
- C) Existing trees, and their size, need to be indicated on the existing site plan. If trees are removed, the applicant must provide a summary of the caliper inches of trees that are removed with redevelopment/construction. Tree removal and replacement must be identified per caliper inches removed and replaced. Tree removal for redeveloped sites is one inch replacement for each one inch removed per Section 156.09.
- D) Bufferyards are required for parking or access drives adjacent to a right-of way (public street) or adjacent use (non-residential use) per Section 153. 404 (G) (1) Table 404-1. Bufferyard requirements for parking or access drive adjacent to adjacent public right-of-way are one canopy tree per 35' (or one small/ornamental tree per 25') and one shrub per 3'. The following bufferyards are required:

Springfield Pike

The requirements for the 277 lf of parking bufferyard are eight canopy trees and 93 shrubs. A total of 10 trees and 112 shrubs are provided. No additional plants are required.

Glensprings Drive

The requirements for the 271 lf of parking bufferyard are eight canopy trees and 91 shrubs. A total of eight trees and 99 shrubs lineal feet along the parking are provided. No additional plants are required.

West Property Line

The requirements for the 251 lf of parking bufferyard adjacent to commercial use is seven canopy trees and 84 shrubs. A total of 10 trees and 112 shrubs are provided. No additional plants are required.

Interstate I-275

The requirements for the 320 lf of parking bufferyard are nine canopy trees and 107 shrubs. If the buffer is accomplished by maintaining existing wooded area, the applicant needs to provide surveyed documentation of trees in in existing vegetation. Existing wooded areas need to be labeled on the site plan and landscape plan as “Do Not Disturb” to be considered as satisfying bufferyard requirement.



- E) Additional interior landscape is required for a development that exceeds the minimum parking requirement by 30%, per Section 153.404 (Q) (1) (c). Over-parking a development requires 10 sf of interior landscape area for each 100 sf of vehicular use area in lieu. The applicant has only provided 5% interior landscape (3,096 sf). Applicant needs to identify 10% Interior landscape areas and needs to identify where they are calculating interior landscaping as to meet the zoning requirements.
- F) Interior landscape islands need to meet the minimum plant material requirements (one tree and four shrubs), per Section 153.404 (C) (2).
- G) Plant material diversity, with even distribution, is required per Section 153.403 (E).

- H) Shrubs need to be installed with a minimum container size of 3 gallon (153.403 (D) (2) (v) (A).
 - I) The Landscape Plan needs to show mulch beds. Areas that stone mulch will be used must be clearly designated on the Landscape Plans Section 153.403 (D) (4) (d).
 - J) All lawn areas need to be labeled.
- 10) Since the property is within Sub Area “B” of the “CRD”, Sections 153.257 (C) (2) and (3) and (F) (1) need to be applied relative to the building design.
- A) Section 153.257 (F) (1) requires that at least three elevations and any elevation visible from a public right-of-way be at least 50% brick and/or stone. The primary building is to be brick or stone per Section 153.257 (C) (1) (b). The percentage of each elevation that is brick.
 - East/Front Elevation: 36% Brick
 - West/Rear Elevation: 50% Brick
 - South/Side Elevation: 63% Brick
 - North/Side Elevation: 55.3% Brick

Planning Commission needs to determine if it is appropriate for the front/east elevation to have 36% brick where 50% is required.
 - B) The building materials used on each elevation have been provided. Section 153.257 (C) (1) (a) allows not more than two primary building materials and one or two accent materials. Planning Commission determine that the proposed five building materials are appropriate.
 - C) Per Section 153.257 (C) (2) (c), the use of non-earthtone colors is limited to 10% of any elevation. The percentage of each elevation that is to non-earthtone colors needs to be provided.
 - D) The applicant has demonstrated that there are no uninterrupted lengths of building 40’ or more.
 - E) The percentage of transparency on the front elevation is 30%. The rear of the building has 25.5%, the south side has 20%, and the north side has 16%. Section 153.257 (C) (3) (b) requires 35% transparency for any elevation visible from a public right-of-way (rear and sides).
 - F) At least 50% of the site coverage of any structure (building and canopy) is to be a residential pitched roof form. The applicant indicates that the store will have a pitched roof in excess of 50%, and the fuel canopy roof is sloped.

- 11) The applicant submitted details of the waste enclosure which is to be located in the northwest corner of the site. The enclosure is to be brick with stainless steel gates which complies with Section 153.254 (G) (2).
- 12) A Photometric Lighting Plan and cut sheets were submitted which indicates the site will be illuminated by a series of LED fixtures mounted at 20' 6". The color of the fixtures and poles needs to be provided. Per Section 153.351 (E) (4), they need to be a dark non-reflective color. The footcandle level at the property lines complies with the permitted 2.5 footcandles, with the exception of the western access point (3.6 footcandles) and the south access point (3.8 footcandles). Under the canopy, the average light level is 9.43 footcandles, with a maximum of 15 footcandles. Per Section 153.351 (B), the average footcandles permitted is 3.0 footcandles with a maximum of 15 footcandles. Staff believes in this instance an average light level of 9.43 footcandles is appropriate.
- 13) The percentage of the site that is to remain open space is 71% which exceeds the 25% required by Section 153.257 (D).

Considerations:

Should Planning Commission choose to approve the Wawa Development Plan, the following items should be considered:

- 1) Planning Commission determine that the Standards of Section 153.253 (D) (4) have been complied with.
- 2) Given the inconsistencies between the sign brand book, site plans, and building elevations, staff would suggest that the applicant determine what signage they are requesting and return to Planning Commission for consideration and action.
- 3) Planning Commission determine that the inclusion of brick on 36% of the front/east elevation is acceptable where 50% is required by Code.
- 4) Planning Commission determine if the inclusion of five building materials on each elevation is acceptable where two primary and one or two accent materials are permitted.
- 5) Planning Commission determine if the reduced transparency (30%, 25.5%, 20%, and 16%) on elevations below the 35% required is acceptable.
- 6) The light fixtures and poles be dark bronze in color. Planning Commission approve the proposed light levels at the east (3.8 footcandles) and west (3.6 footcandles) access points. Planning Commission approves the proposed average light level of 9.43 footcandles under the canopy.
- 7) The lighting under the canopy shall be screened and pointed downward to ensure that there is no glare from that lighting to the adjacent roadways per Section 153.351(D).

- 8) Details, consistent with the Standards of Section 153.253(E)(8), be provided for the proposed outdoor dining area.
- 9) The two required (Section 153.304) stacking spaces for each fuel pump need to be indicated on the site plan.
- 10) The only outdoor storage or display of items for sale be limited to ice and propane adjacent to the west building elevation.
- 11) All roof and ground mounted equipment be screened per Section 153.254(C).
- 12) A revised landscape plan to address staff comments be submitted to the City for review and approval.
- 13) The percentage of non-earthtone colors be provided for each elevation.

Submitted By:

Anne F. McBride, FAICP
City Planner

MDC# 5019



WAWA CONVENIENT STORE
370 GLENSPRINGS DRIVE
PLAN REVIEW APP #20230312
23020108
JUNE 8, 2023

PLANNING COMMISSION
ENGINEERING REVIEW



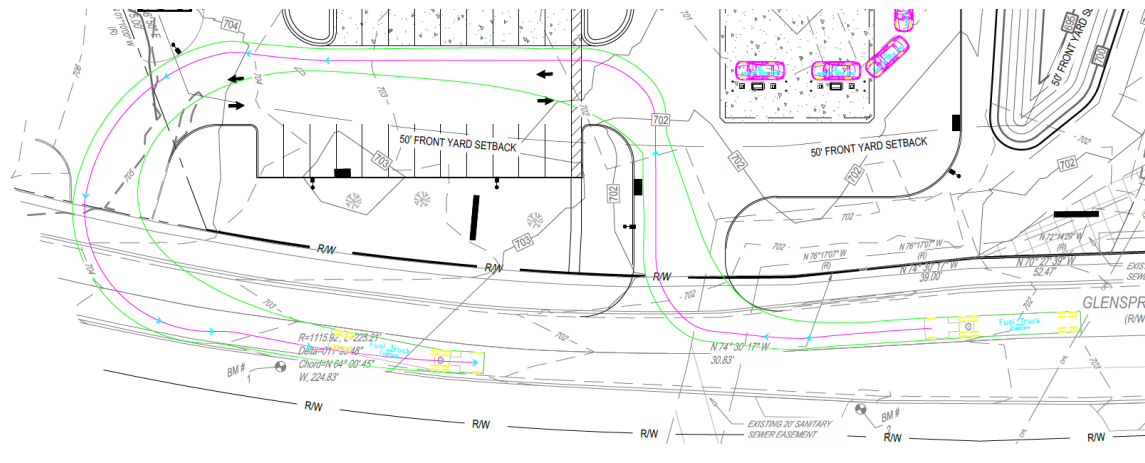
PROJECT SITE

REQUEST: To consolidate lots and redevelop the parcels to convert the existing uses into a proposed fuel station / convenience store and other associated improvements at the property located at 370 Glensprings Drive.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

A. LAND USAGE (Chapter 150)

1. The redevelopment is proposed to continue to utilize the shared entrance located on the hotel property to the west. The Applicant shall provide documentation of the cross-access agreement or similar.
 - a. The Applicants review comments response letter dated May 25, 2023, indicated that they will provide documentation showing that the cross access will continue in place for both properties.
2. Per City regulation §93.15, a driveway application and permit are required for work within the public right-of-way. It should be noted that that the submitted demolition plan dated May 30, 2023, indicates the existing sanitary sewer is to be relocated to accommodate the redevelopment. The Applicant shall provide plans/details for the removal and reconstruction of the drive apron, curb, sidewalk, storm drain etc., with the construction plans. The work inside the public right-of-way (apron, curb replacement, etc.) shall adhere to City Specifications and/or Standard Construction Drawings.
 - a. The Applicant has provided an auto exhibit utilizing a WB-55 truck movement as that what a fuel delivery truck represents.



The Applicants review comments response letter dated May 25, 2023, indicated that the full extent of additional pavement widening for any roadway work, will be shown within the construction plans. Public Improvements to Glensprings Drive will likely be necessary to create a dual EB left turn lanes all to be completed on the north side of the roadway. Any sidewalk work will be identified at that time as well and will comply with local requirements for sidewalk width.

3. Per City regulations 150.13(A) of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. The City's current Thoroughfare Plan (1998) classifies Glensprings Drive as a collector street with a 60' typical right-of-way width. The existing right-of-way along the property appears to be consistent with the Thoroughfare Plan however additional right-of-way may be necessary to be provided by the Applicant to accommodate the necessary roadway improvements.
4. Multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the city in an effort to eliminate connectivity gaps for all users. Per the City's current Bike and Pedestrian Connectivity Plan (2022), this section of Glensprings Drive was noted to be an existing road with sidewalks. Currently 5' sidewalks exist along both sides

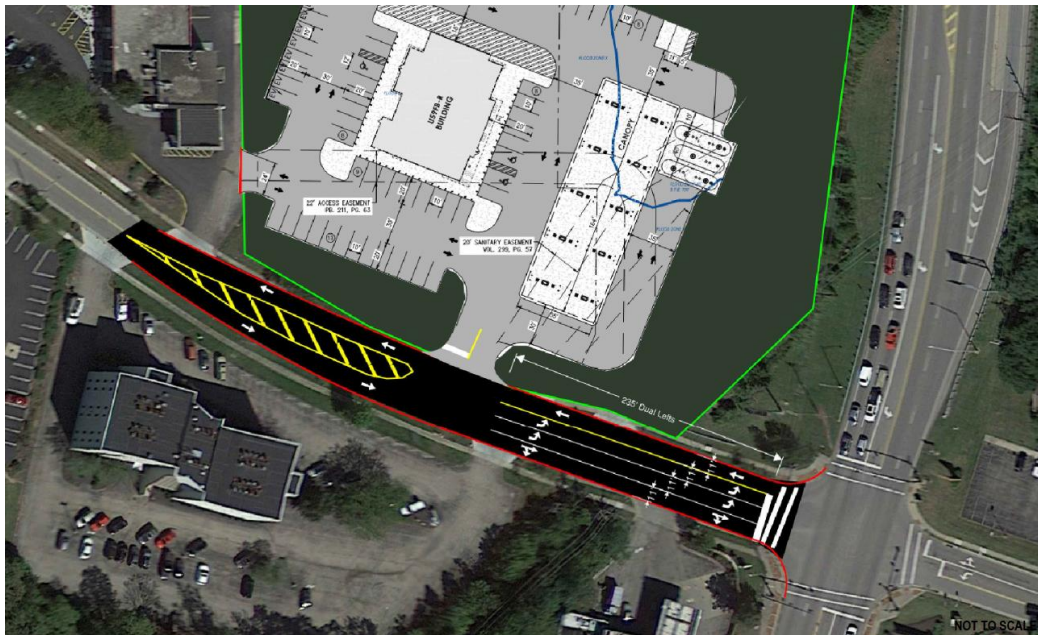
of Glensprings Drive and no multi-modal improvements are proposed by the Applicant. This is acceptable to Staff however the existing public sidewalk shall be reconstructed if impacted by the redevelopment.

B. LOT CONSOLIDATION PLAT

1. The consolidation plat has been revised including showing the additional parcel to be purchased from the City of Springdale. Please refer to the attached redlined plat and legal description for review comments regarding the revised submission. A copy of OAC 4733 highlighting the basis of bearings, and based upon a survey statement requirement has been attached for quick reference.
 - a. The Applicant shall provide any additional right-of-way necessary to accommodate construction of any required public improvements. While a southbound right turn lane is not necessary based on the TIS, there may be a need in the future given the level of trips expected from I-275. This should be taken into account with any Right-of-Way transfer, leaving enough right-of-way for a future SR 4 southbound right turn lane.

C. TRAFFIC

1. The Applicant submitted a draft Traffic Impact Study (TIS) dated May 26, 2023. The site is proposed to be accessed by two full-movement driveway connections to Glensprings Drive. Site Access #1 is to be located approximately 250' west of the Springfield Pike and Glensprings Drive intersection whereas the exiting Site Access #2 is located approximately 485' west of the Springfield Pike and Glensprings Drive intersection. The full buildout of the Wawa Development is estimated to generate 6,916 trips per day on a typical weekday (3,458 inbound and 3,458 outbound), of which 632 trips will be generated during the Weekday AM Peak Hour (316 inbound and 316 outbound) and 538 trips will be generated during the Weekday PM Peak Hour (269 inbound and 269 outbound). Under the 2024 No-Build Traffic Scenario, the Springfield Pike/Glensprings intersection operates at overall level of service (LOS) "D" or better conditions during the AM/PM Peak Hours. Under both the 2024 and 2034 Build Traffic Scenario, the Springfield Pike/Glensprings Drive intersection operates at an overall level of service (LOS) "D" or better conditions during the AM/PM Peak Hours. However, based on the results of the capacity analysis, an additional EBL turn lane is required to accommodate additional EBL traffic volumes generated by the Wawa Development. The submitted TIS also indicated that the left turn lanes and right turn lanes are not warranted at any of the proposed driveway connections.



- a. The City Traffic Engineer's TIS review comments memorandum dated June 5, 2023, is attached. The applicant shall submit a revised TIS with the construction plans.
- b. The Applicant shall be responsible for constructing the recommendations included in the approved traffic study. It should be noted that a right-turn lane at the eastern drive (Site Access #1) is believed to be warranted with the revised TIS.
- c. The Applicants review comments response letter dated May 25, 2023, indicated that the full extent of additional pavement widening for any roadway work, will be shown within the construction plans. The applicant shall also provide any necessary traffic signal modification plans and truck turning templates for trucks turning to/from the site as well as SR 4 to Glensprings with the construction plans.
- d. If necessary, the Construction plans shall also include details for extending the culvert(s) to accommodate the proposed improvements. The condition of the existing culverts is to be assessed by the City prior to beginning the design to establish the appropriate scope of work.

D. UTILITIES

1. Per City regulations §150.32, Greater Cincinnati Water Works (GCWW) shall be responsible for design, review, and inspection of all water mains. Hydrant type shall be approved by the City of Springdale Fire Department.
 - a. The Applicants review comments response letter dated May 25, 2023, indicated that they will coordinate with GCWW when developing the construction plans and obtain the necessary approvals.
 - i. At the request of the Springdale Fire Chief, the applicant has agreed to relocate the fire hydrant in the northwest corner of Glensprings Drive/ SR 4 intersection as it is frequently damaged.
2. Per City regulations §150.33, Metropolitan Sewer District (MSD) shall be responsible for design, review, and inspection of all sanitary sewers.
 - a. The Applicants review comments response letter dated May 25, 2023, indicated that they will coordinate with GCWW when developing the construction plans and obtain the necessary approvals. It should be noted that that the submitted demolition plan dated May

30, 2023, indicates the existing sanitary sewer is to be relocated to accommodate the redevelopment.

E. STORMWATER MANAGEMENT (Chapter 151)

1. Per City regulations 151.03(A), Erosion control shall be practiced whenever a parcel is cleared, graded, or otherwise disturbed by the movement of earth.
 - a. The Applicants review comments response letter dated May 25, 2023, indicated that they will show all the necessary erosion control measures within the construction plans for approval.
2. Per City regulations 151.03(B)(4), the installation of the specific Storm Water Management Plan measures shall be accomplished in accordance with the standards and specifications contained in the City Regulations and the latest edition of the [ODNR Rainwater and Land Development Manual](#) or [ODOT Location and Design Manual - Volume 2 - Drainage Design](#).
 - a. The stormwater management plan as required by City regulation 151.03(C) shall be provided with the construction plans. The stormwater management plan shall include but not be limited to detailed plans of all proposed storm water provisions, vegetative practices, erosion and sediment control measures, post-construction storm water quality best management practices, and other protective measures to be constructed in connection with, or as a part of the proposed work shall be provided with the construction plans.
 - i. The Applicants review comments response letter dated May 25, 2023, indicated that they will show all the necessary storm water control measures within the construction plans for approval.
3. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.
 - a. The submitted site plan does not indicate how or if the existing site stormwater is being detained however stormwater detention for the proposed development will be achieved by a proposed detention basin east of the fueling canopy. The Applicant is to provide all data and design information used for the design of drainage facilities and for determining downstream runoff information.
 - i. The Applicants review comments response letter dated May 25, 2023, indicated that they will show all the necessary storm water control measures for detention within the construction plans for approval.
4. Per City regulations 151.04(A)(4), Improvements shall be designed such that, at a minimum, all developed areas are treated with an acceptable post-construction storm water quality best management practice. Practices chosen must be sized to treat the water quality volume (WQv) and to ensure compliance to the maximum extent practicable with Ohio EPA Water Quality Standards (Ohio Administrative Code Chapter 3745-1) and Ohio EPA Construction General Storm Water NPDES discharge permit requirements applicable to the property. The WQv shall be equal to the volume of runoff from a 0.75-inch rainfall. Sites that have been previously developed where no Post-Construction BMPs were installed are required to provide:

-
- (a) A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
 - (b) Treatment of at least 20 percent of the WQv.
 - (c) A combination of (a) and (b).
 - a. The submitted site plan dated May 30, 2023, noted that the proposed site impervious area is 1.17 AC (33%). The preliminary plans do not note the proposed change in site impervious area however the post-construction water quality is required to be addressed. The Applicant shall submit drainage calculations for review with the construction plans.
 - i. The Applicants review comments response letter dated May 25, 2023, indicated that they will show all the necessary storm water quality control measures within the construction plans for approval.
 - 2. Per §151.04(A)(7), an Inspection and Maintenance Agreement shall be made between the property owner and the city ensuring that the Post-Construction Stormwater BMP(s) are inspected and properly maintained. An Inspection and Maintenance Agreement will need to be submitted for the proposed post construction water quality measures prior to issuance of the building permit and recorded as a covenant, prior to the Certificate of Occupancy being granted. A template of such an agreement has been upload into iWorQ.
 - a. The Applicants review comments response letter dated May 25, 2023, indicated that they will work with the city to prepare a Post-Construction Stormwater BMP Inspection and Maintenance Agreement.
 - 3. Per §151.05(E), a performance bond in the amount of the cost of the Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan.

CUSTOMER APPROVAL

Approved Approved as Noted Not Approved
Resubmit with Changes

Print Name _____

Title _____

Signature _____

Date _____



BRANDBOOK

CLIENT: WaWa
LOCATION: 370 & 380 Glensprings,
Springdale, OH
DATE: 5/6/2023
VARIANCE: NO

TABLE OF CONTENTS

PAGE 1 - Cover Checklist
PAGE 2 - Cover
PAGE 3 - Program Specifications
PAGE 4 - Exterior Signage Site Plan
PAGE 5 - Code Check
PAGE 6 - S1/S2/S3/S4 Proposed Rendering
PAGE 7 - S1 Sign Details
PAGE 8 - S2/S3/S4 Sign Details
PAGE 9 - S5/S6/S7 Proposed Rendering (Rear)
PAGE 10 - S7 Sign Details
PAGE 11 - S8 Proposed Rendering (Side)
PAGE 12 - S8 Sign Details
PAGE 13 - S9 Double Face Monument Sign
PAGE 14 - S10 Canopy Spanners
PAGE 15 - S11 Pump Indicators
PAGE 16 - S12 Pump Indicators
PAGE 17 - Safety Criteria / General Installation Info

CONTACTS

Project Manager: Katie Kopas
Email: kkopas@blairimage.com
Phone: (512) 649-4584

DOCUMENT INFO

BLAIR PROJECT#: 103983
SALES ORDER #: TBD
DOC #: AD-TCA-103983_Springdale_2

REVISIONS

REV	DATE	DESCRIPTION
<u>1</u>	<u>5/4/23</u>	<u>UPDATE AS PER REQUESTED</u>
<u>2</u>	<u>5/6/23</u>	<u>UPDATE AS PER REQUESTED</u>
<u>3</u>	<u>5/30/23</u>	<u>UPDATE AS PER REQUESTED</u>

BRAND STANDARD
REVISION DATE:

- All provided image elements and / or services meet the current brand revision.
- The following image elements and / or services do not meet the current brand standard due to municipal code and / or specific site conditions. _____
- _____

blair
IMAGE ELEMENTS™



Sign Legend

Illuminated Face Lit Channel letters & Halo Lit Logo

- Wawa 24"
- Wawa 28"
- Wawa 31"
- Wawa 32"
- Wawa 35"
- Wawa 38"
- Wawa 44"
- Wawa 53"
- Wawa 59"

D/F Illuminated Pylon Signs

- P-50, P-75,
- P-100, P-150
- P-200

D/F Illuminated Monument Signs

- M-50

D/F Illuminated Directional Signs

- 30" Vehicular Directional
- 20" Vehicular Directional
- 16" Vehicular Directional

S/F Illuminated Canopy Signs

- S/F LED Illuminated Canopy Sign

D/F Non-Illuminated Pump Spanners

- Straight Pumps
- Stacked Pumps

D/F Non-Illuminated Pump Indicators

- Gas
- Gas / Diesel
- Gas / Diesel / Ethanol Free

Color Material Legend

	EXAMPLE	CLIENT COLOR	PANTONE (PMS)	VINYL; <i>Opacity (V)</i>	PLASTIC(PL)	PAINT (P)	TRIM CAP(TC)
1.		White		3M 7725-10 'White'; <i>Opaque</i>	#7328 White	White; Smooth Satin	Standard White
2.		Milky White		3M 3635-70 'Diffuser Film'; <i>Trans.</i>	#2447 Milky White		Standard White
3.		Black Gloss	PMS Process BlackC	3M 7725-12 'Black'; <i>Opaque</i>	#2025 Opaque Black	Black	Standard Black
4.		Wawa Grey				Paint to Match PMS 421C	Jewelite 'Silver'
11.		Wawa Red 186	PMS 186C	3M 7725-263 "Perfect Match Red"; <i>Opaque</i> 3m 3630-83 "Regal Red"; <i>Trans</i>	#2793 Red	Paint to Match PMS 186C	Jewelite 'Red'
13.						RAL #1013 OYSTER WHITE	
16.		Kelly Green / Vivid Green	PMS 355C	3M 7725-46 'Kelly Green'; <i>Opaque</i> 3M 3630-156 'Vivid Green'; <i>Trans.</i>		Paint to Match PMS 355C	Jewelite 'Green'
17.		Olympic Blue	PMS 7461C	3M 7725-57 'Olympic Blue'; <i>Opaque</i> 3M 3630-57 'Olympic Blue'; <i>Trans.</i>		Paint to Match PMS 7461C	
20.		Limestone Cap					
21.		Masonry/Stone Fascia					
22.		#12 Brushed Aluminum - Metal Finish					
23.		Wawa Grey - Perforated Print		3M 3635-210 Perforated 'White' Vinyl			
24.		Diesel Number Sign Green	PMS 377C			Paint to Match PMS 377C	

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WaWa
370 & 380 Glensprings,
Springdale, OH

STORE #
XXX

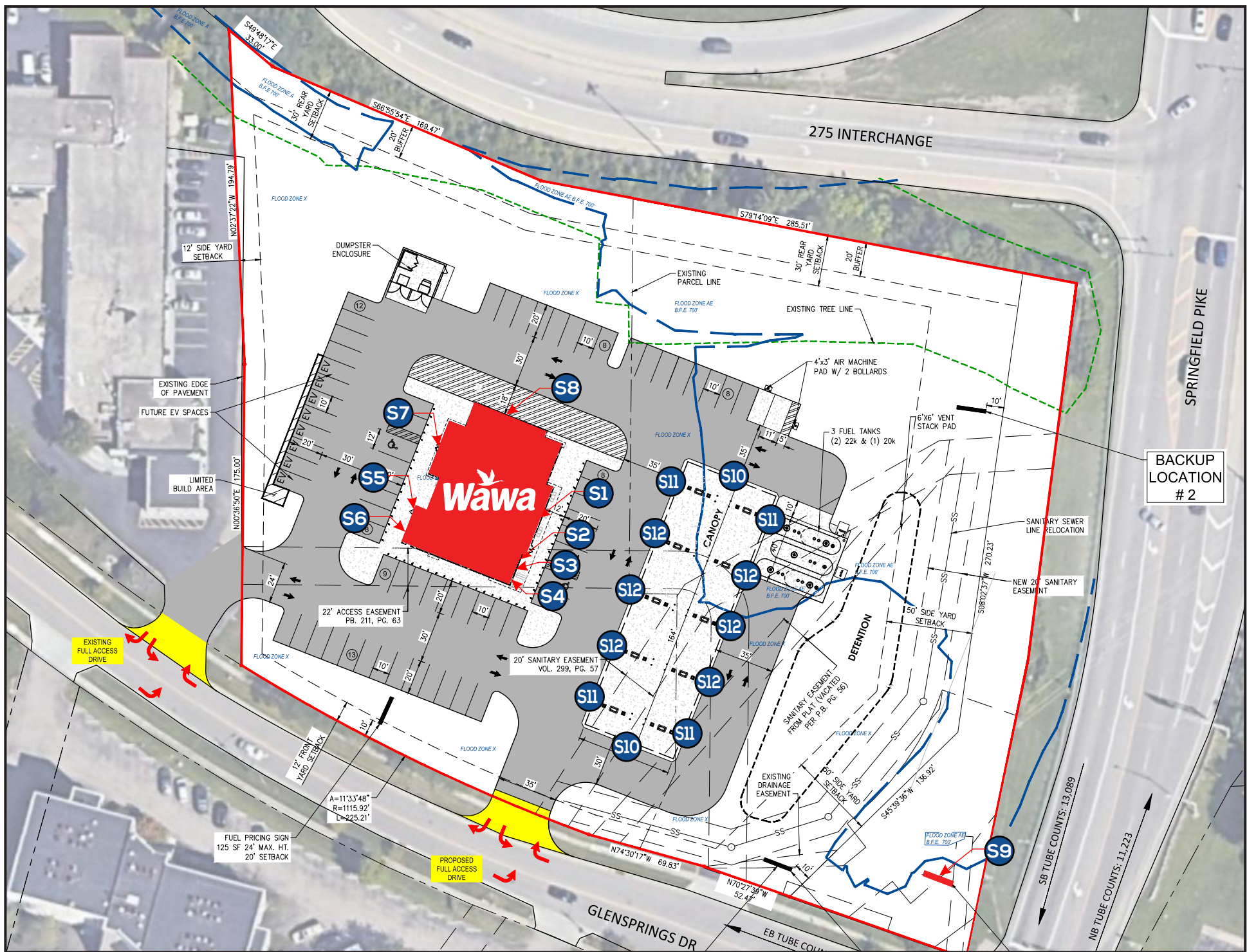
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Drawn By: Mike C.

REV	DATE	DESCRIPTION
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2	5/6/23	UPDATE AS PER REQUESTED
3	5/30/23	UPDATE AS PER REQUESTED

Rev: 3
Date: 5/30/2023
Doc #: AD-WAW_103983_Springdale_3
Blair Project #: 103983
Blair Sales Order #: TBD

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Altoona, PA 16601
P: (814) 949.8287
blairimage.com





SIGN ID	DESCRIPTION	QTY
S1	GOOSE LOGO	1
S2	BURGER CABINET LEFT	1
S3	HAPPINESS BUILT TO ORDER CABINET	1
S4	BURGER CABINET RIGHT	1
S5	BURGER CABINET LEFT	1
S6	BURGER CABINET RIGHT	1
S7	GOOSE LOGO	1
S8	GOOSE LOGO	1
S9	DOUBLE FACE MONUMENT	1
S10	CANOPY SPANNERS	1
S11	PUMP INDICATORS	1
S12	PUMP INDICATORS	1

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Rev: 3
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SCALE: 1"=118"

FRONT VIEW

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Springdale, OH

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XXX

Issue Date: 5/1/2023
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SCALE: 1"=118"

BACK VIEW

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Springdale, OH

STORE #
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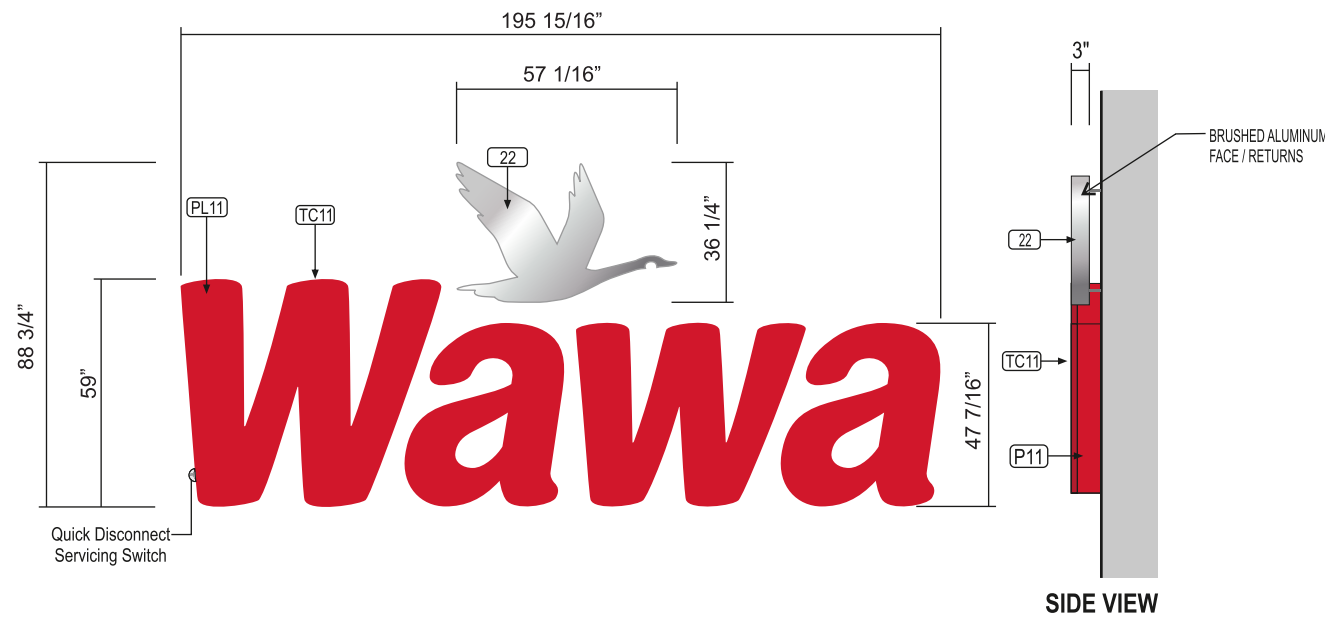
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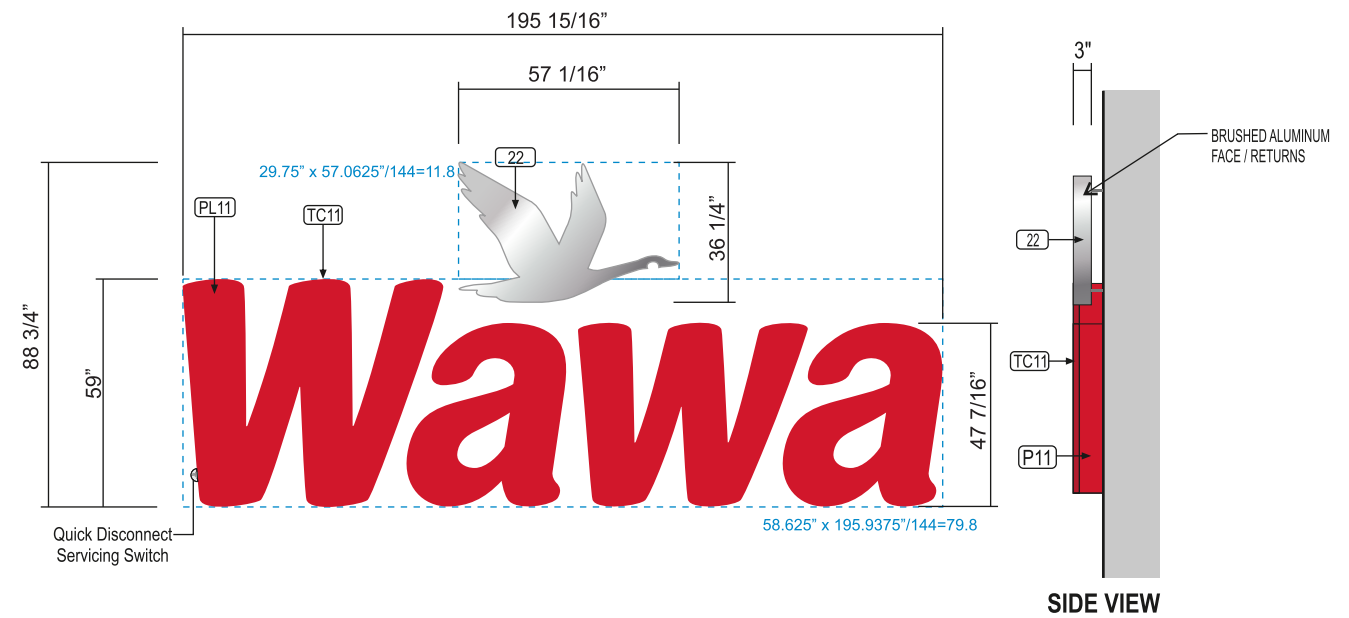
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X 59" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of ONE(1) GEOMETRIC SHAPE = **120.8 SQ FT**
 SCALE: NTS







X 59" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO
 QTY: 1
 STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of TWO(2) GEOMETRIC SHAPES = **91.6 SQ FT**
 SCALE: NTS

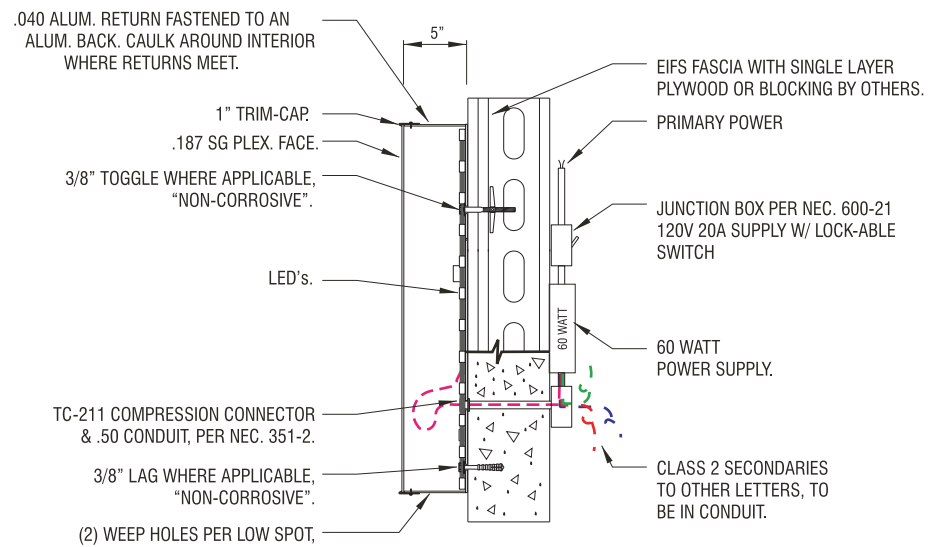
WALL MATERIAL:
to vary per site

INSTALL:
 Logo: Thru bolted w/ 2" stand off from wall
 Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

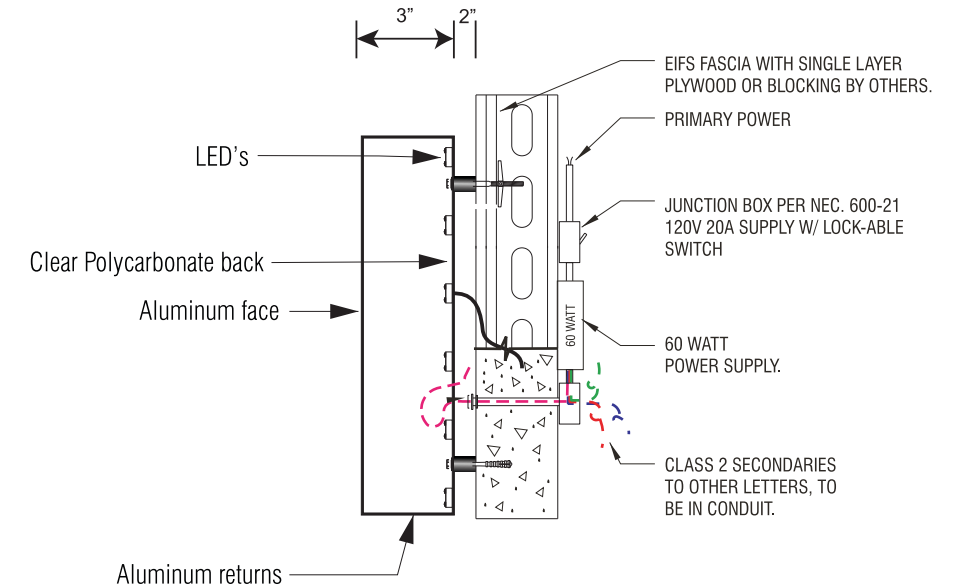
QUANTITY:
(1) one set required

COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ FACE-LIT CHANNEL LETTER
SCALE: NTS



SECTION @ HALO-LIT GOOSE LOGO
SCALE: NTS

Note: The power supply location shown in this detail in no way reflects the actual location when installed. In the field GC / Installer to determine appropriate mounting locations at site.

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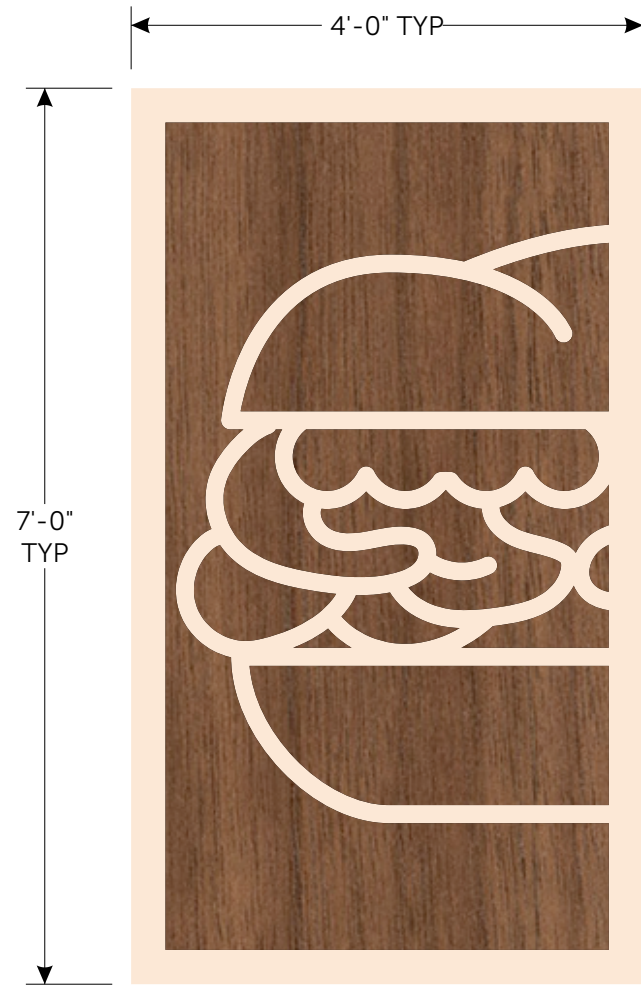
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S2 S5 FRONT VIEW
SCALE: 1"=18" 28 SQ.FT.



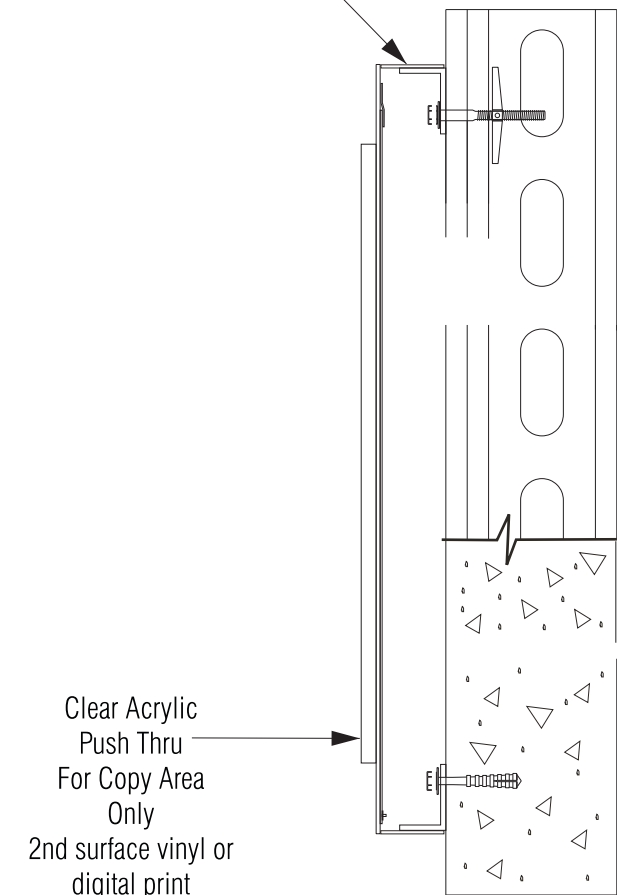
S3 FRONT VIEW
SCALE: 1"=18" 28 SQ.FT.



S4 S6 FRONT VIEW
SCALE: 1"=18" 28 SQ.FT.

Boarder to be digitally printed on same level as wood grain. Copy to be acrylic push thru.

ACM panel

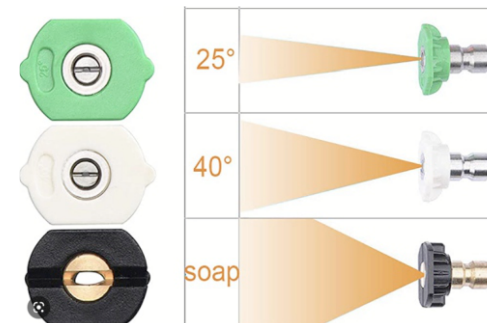


Clear Acrylic Push Thru For Copy Area Only 2nd surface vinyl or digital print

SECTION @ Non Lit ACM Push Thru

SCALE: NTS

CLEANING CRITERIA
Pressure Wash Acceptable. If using 25° tip and over. Use ONLY mild detergent soap and water.



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Wawa
370 & 380 Glensprings,
Springdale, OH

STORE #
XXX

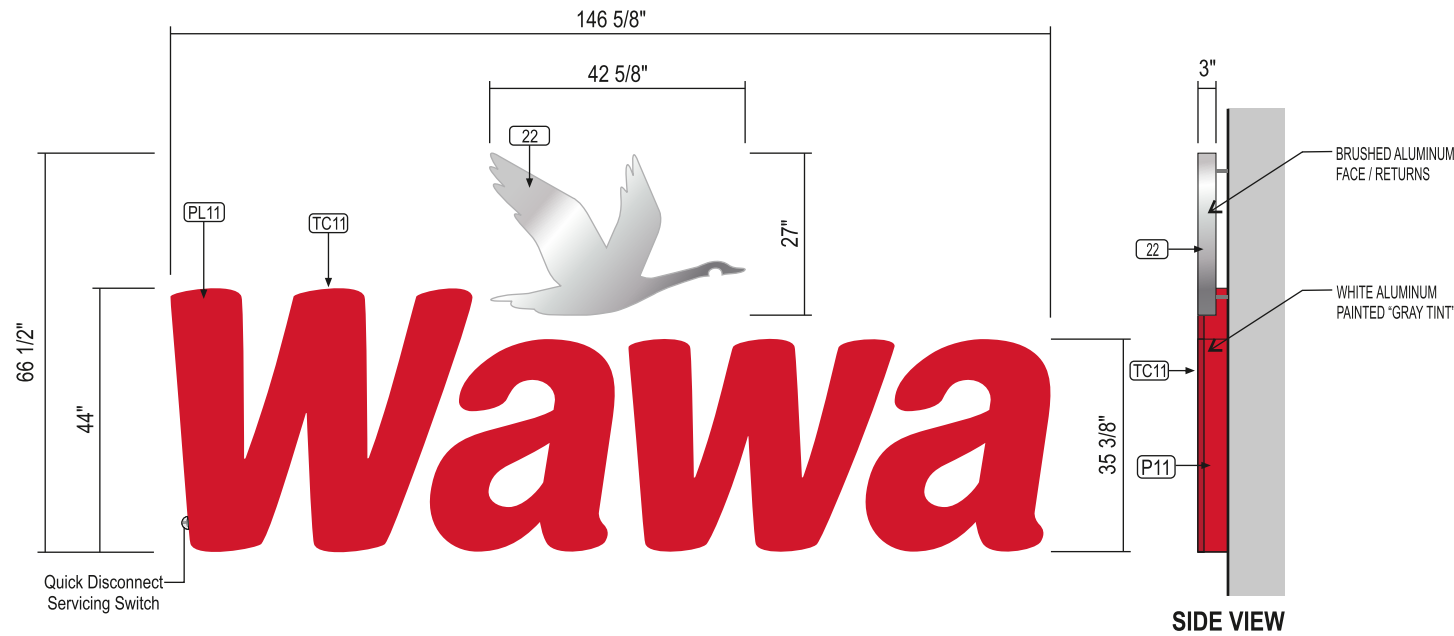
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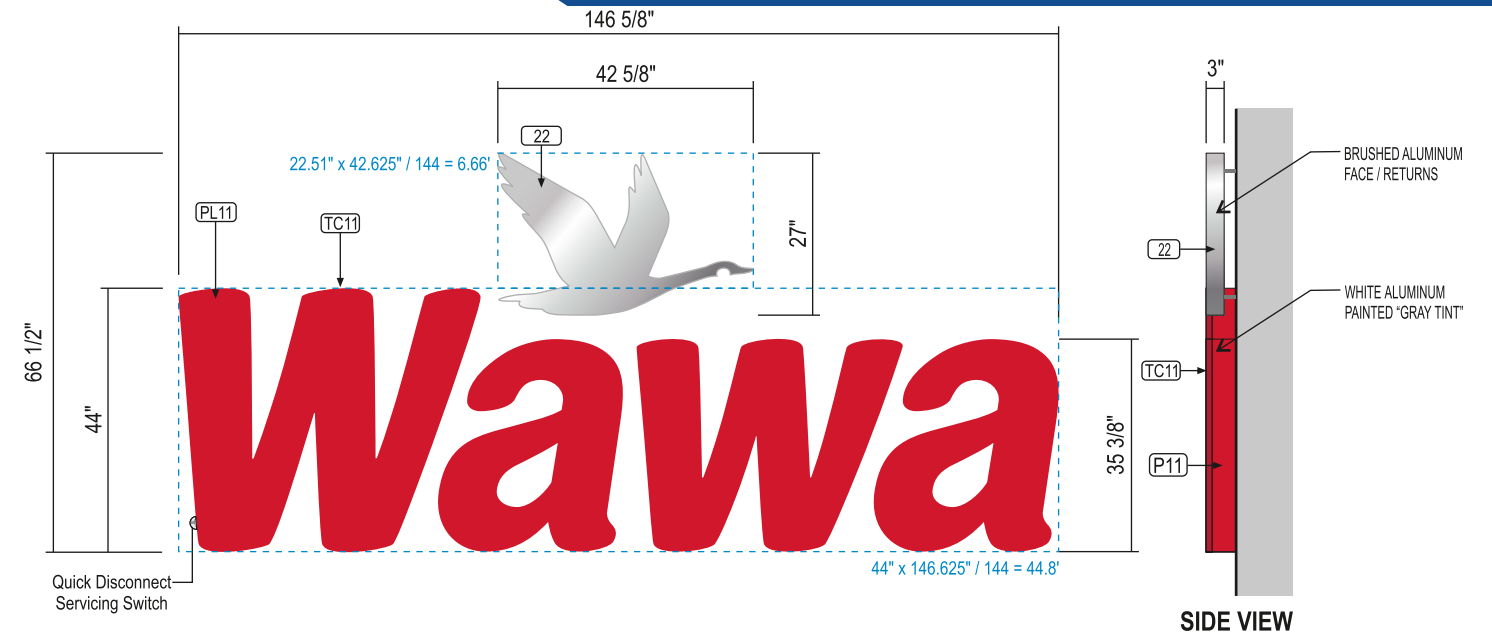




X 44" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of ONE(1) GEOMETRIC SHAPE = 67.71 SQ. FT.

SCALE: 3/8"=1'-0"



X 44" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of TWO(2) GEOMETRIC SHAPES = 51.46 SQ. FT.

SCALE: 3/8"=1'-0"

WALL MATERIAL:

to vary per site





INSTALL:

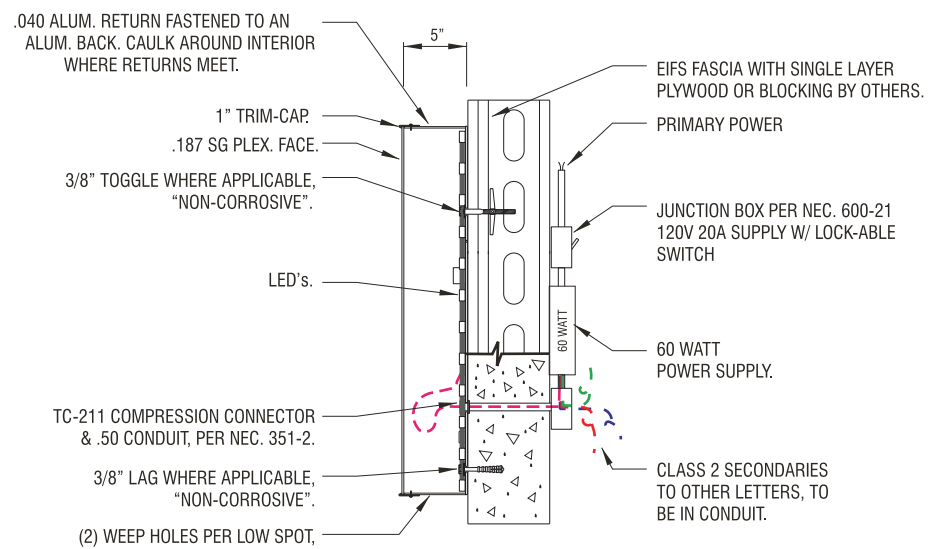
Logo: Thru bolted w/ 2" stand off from wall
Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

QUANTITY:

(1) one set required

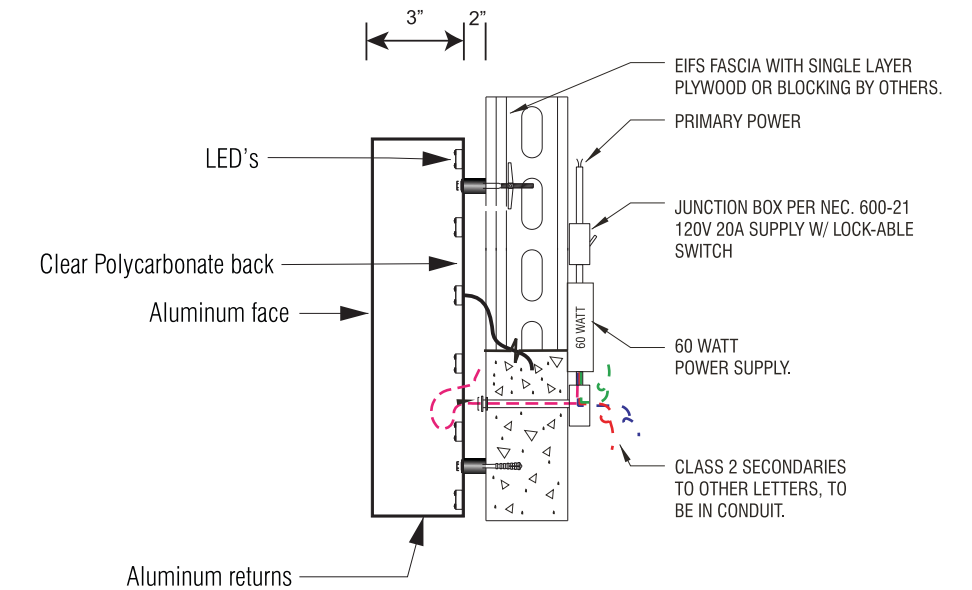
COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ FACE-LIT CHANNEL LETTER

SCALE: NTS



SECTION @ HALO-LIT GOOSE LOGO

SCALE: NTS

Note: The power supply location shown in this detail in no way reflects the actual location when installed. In the field GC / Installer to determine appropriate mounting locations at site.

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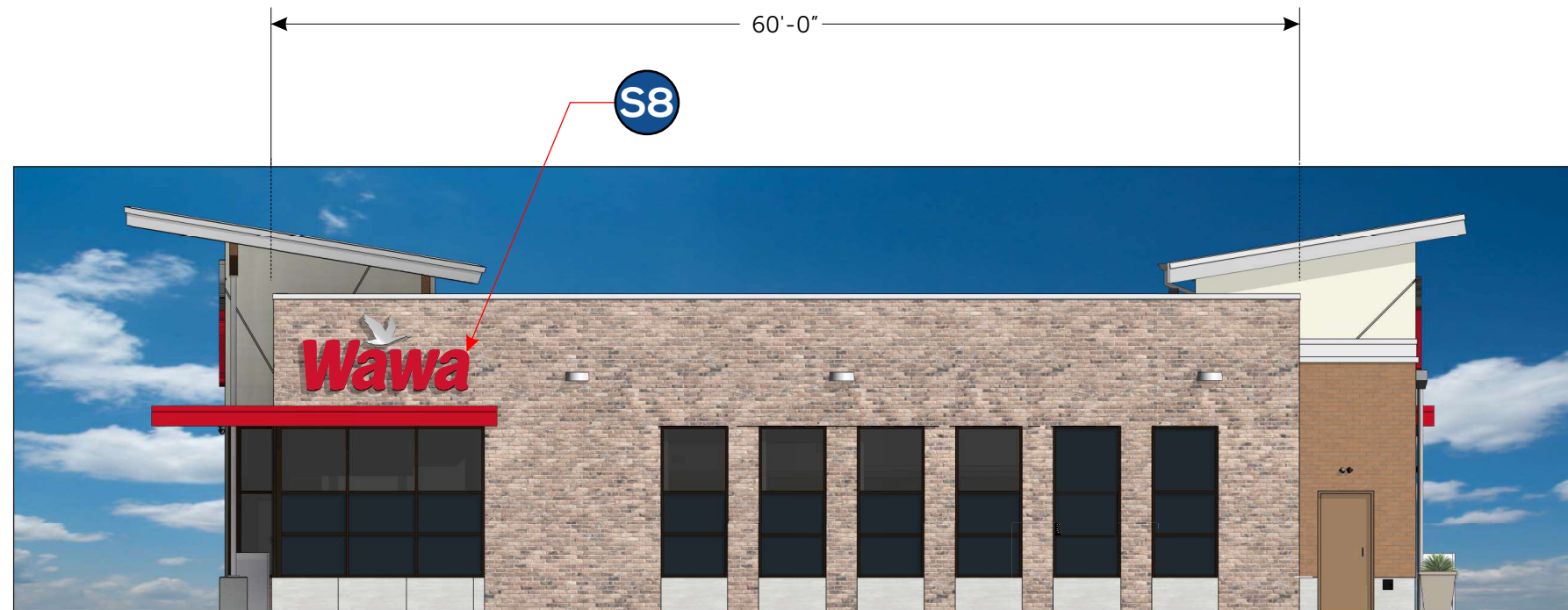
STORE #
XXX

Issue Date: 5/1/2023 Drawn By: Mike C.		
REV	DATE	DESCRIPTION
1	5/4/23	UPDATE AS PER REQUESTED
2	5/6/23	UPDATE AS PER REQUESTED
3	5/30/23	UPDATE AS PER REQUESTED

Rev: 3
Date: 5/30/2023
Doc #: AD-WAW_103983_Springdale_3
Blair Project #: 103983
Blair Sales Order #: TBD

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SCALE: 1"=118"

SIDE VIEW

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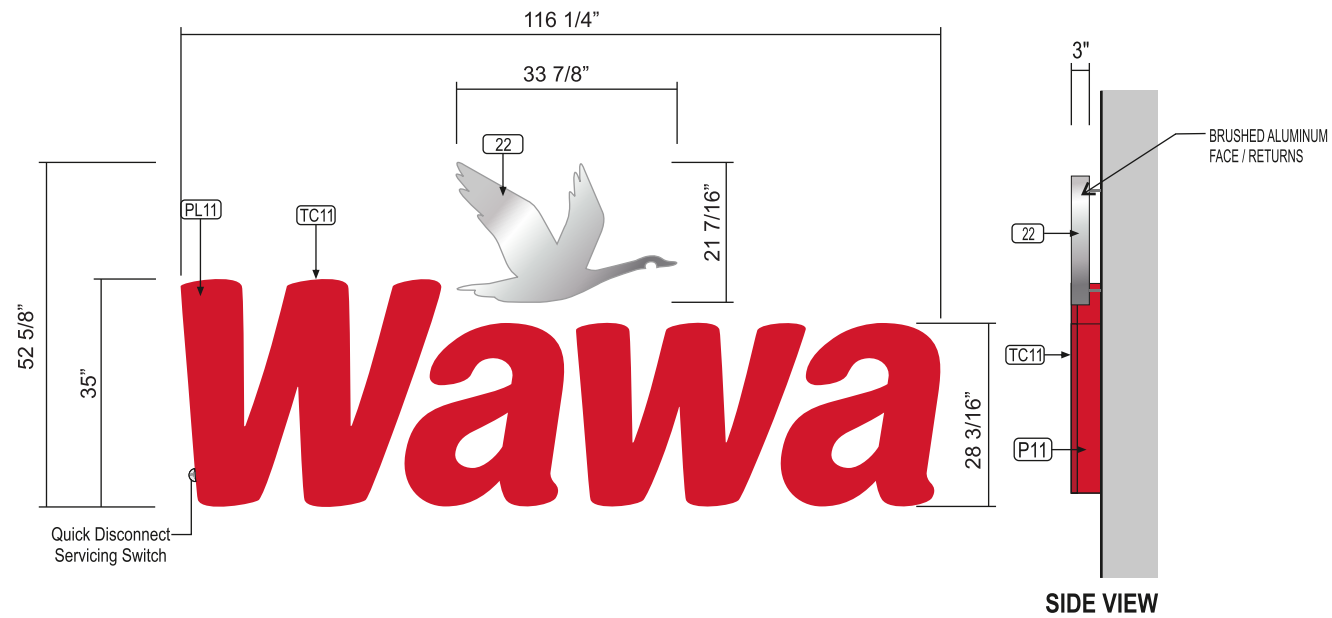
Issue Date: 5/1/2023
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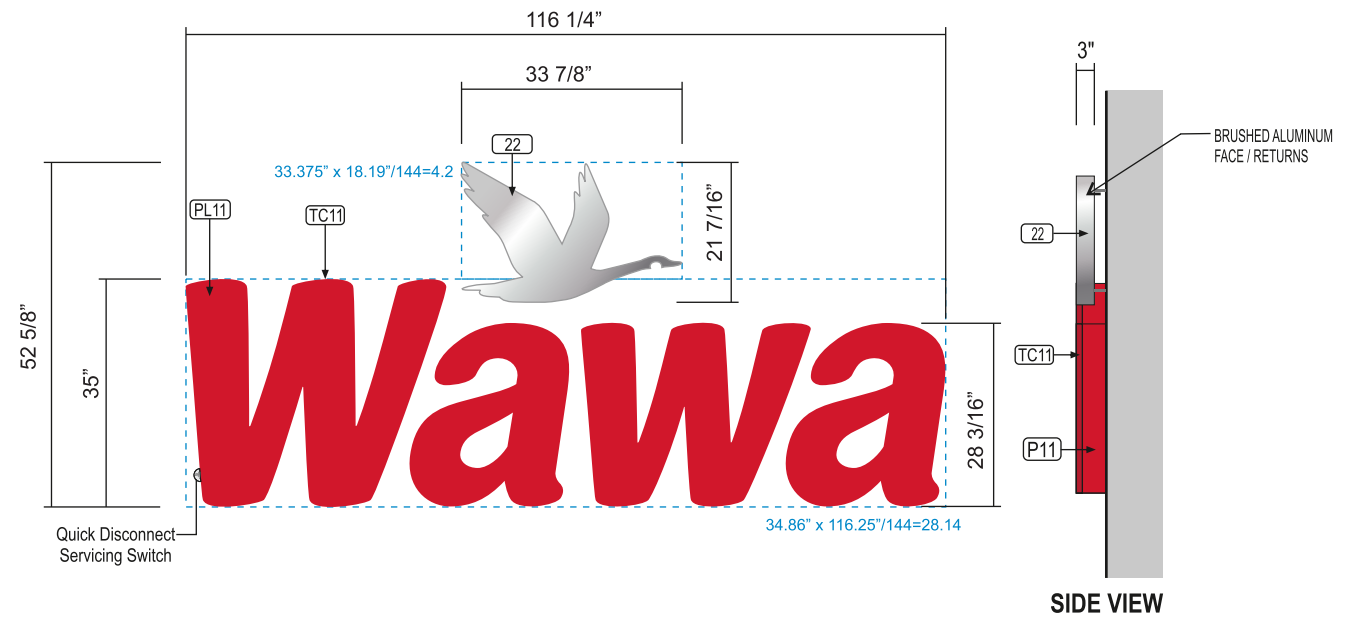




X 35" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of ONE(1) GEOMETRIC SHAPE = **42.5 SQ FT**

SCALE: 3/8"=1'-0"



X 35" ILLUMINATED CHANNEL LETTERS w/ HALO LIT GOOSE LOGO

QTY: 1
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of TWO(2) GEOMETRIC SHAPES = **32.34 SQ FT**

SCALE: 3/8"=1'-0"

WALL MATERIAL:

to vary per site





INSTALL:

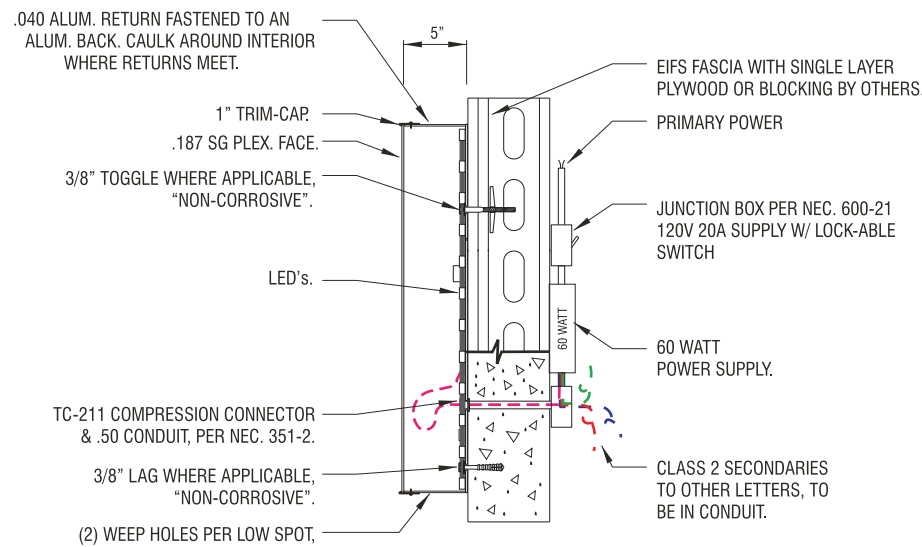
Logo: Thru bolted w/ 2" stand off from wall
Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

QUANTITY:

(1) one set required

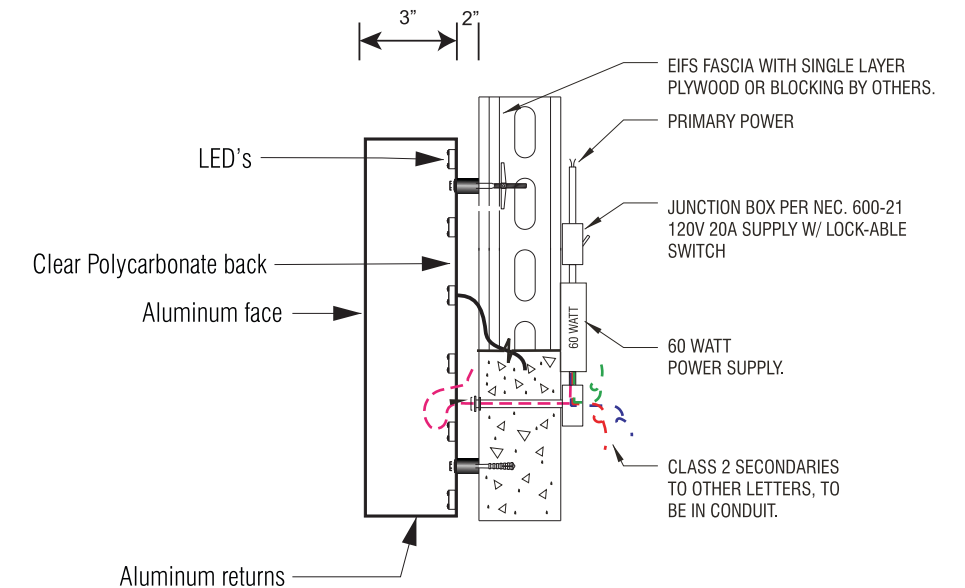
COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ FACE-LIT CHANNEL LETTER

SCALE: NTS



SECTION @ HALO-LIT GOOSE LOGO

SCALE: NTS

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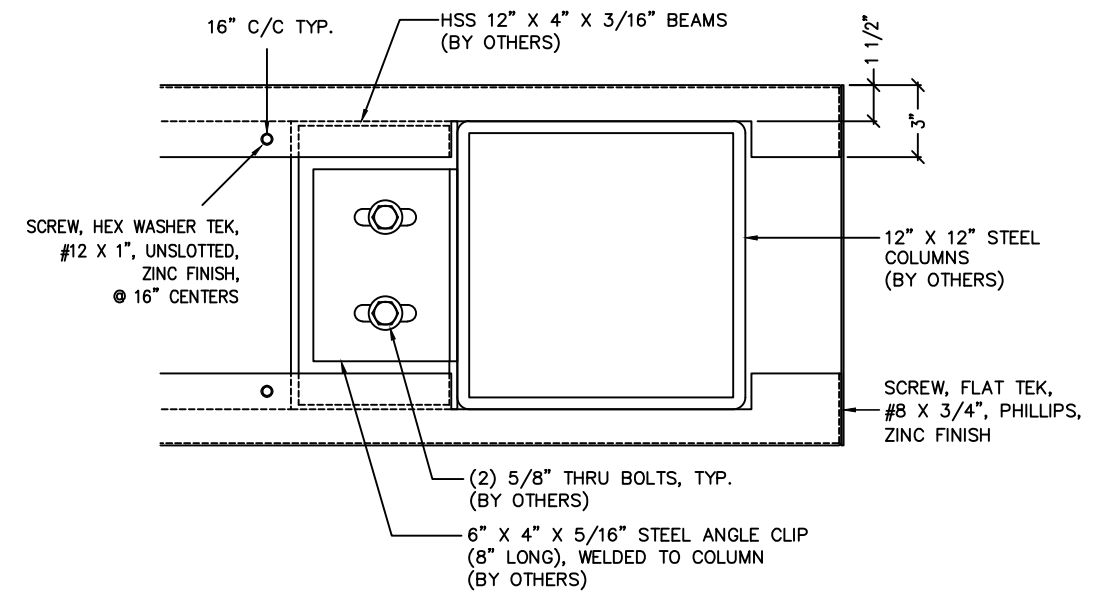
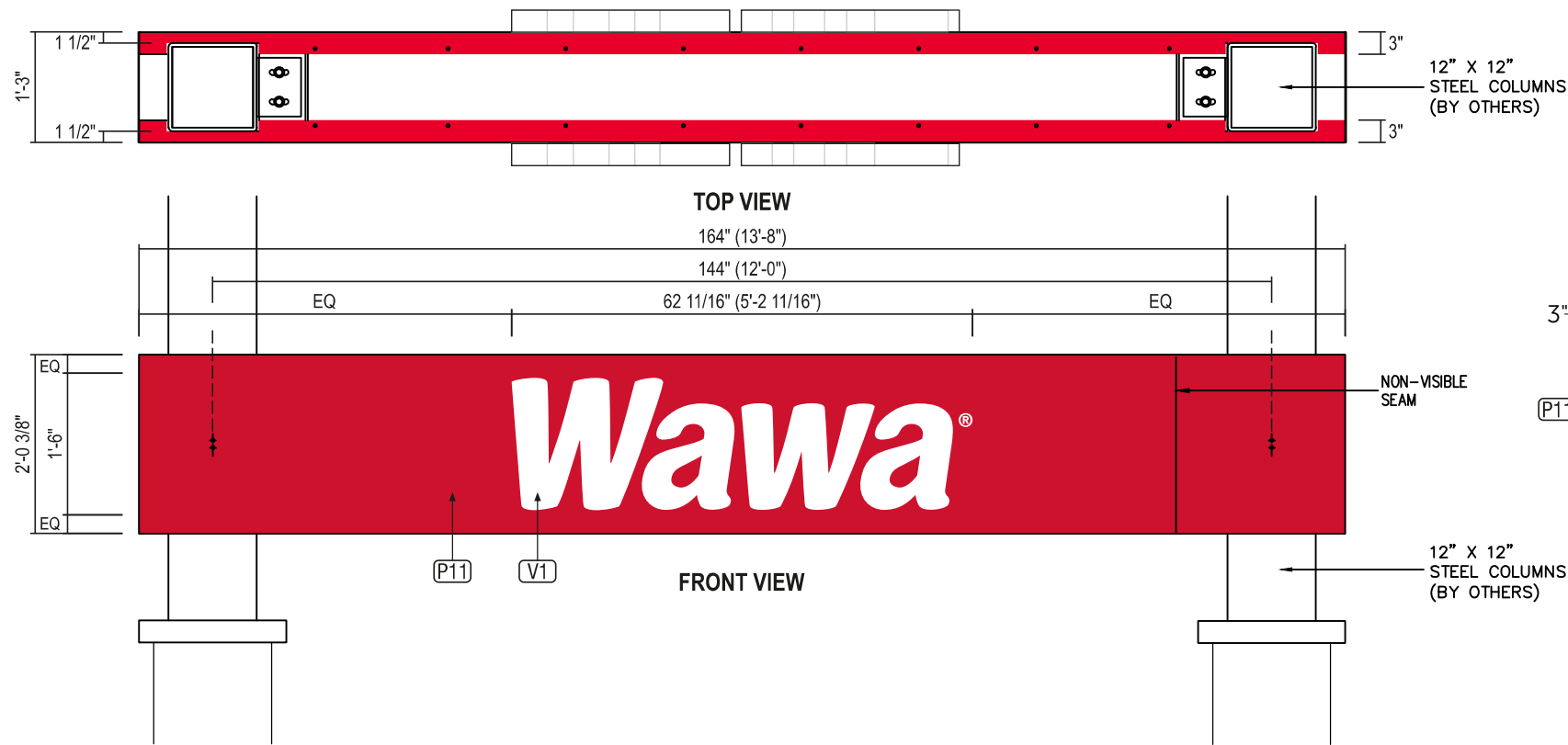
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DETAIL @ TOP VIEW

SCALE: 1 1/2" = 1'-0"

2'-0 3/8" X 13'-8" NON-ILLUMINATED GAS PUMP SPANNER (STRAIGHT PUMPS)

QTY: 2
STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 1/2" = 1'-0"

SIDE VIEW



CANOPY ELEVATION (STRAIGHT PUMPS)

SCALE: 1/8" = 1'-0"

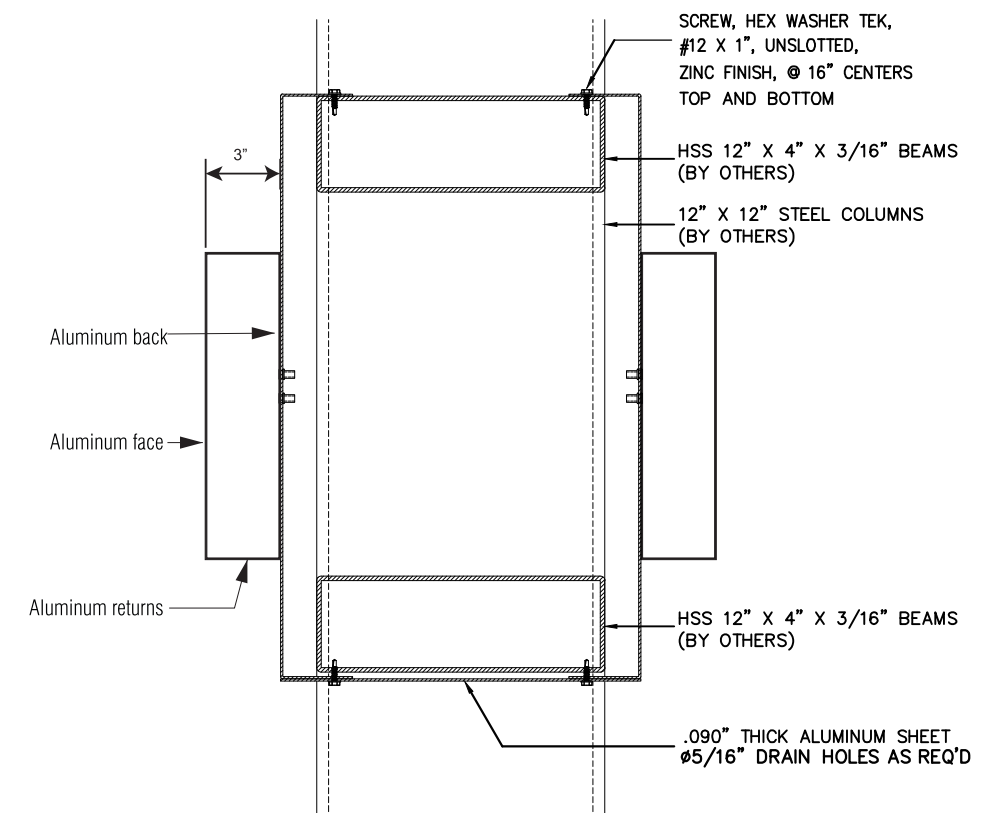
COLOR REFERENCE

P11	V1
Paint to match PMS 186 C	3M 7725-10 'White' Opaque

AREA/WEIGHT
SIGN SQUARE FOOTAGE: 27.8 sq. ft.
ESTIMATED SIGN WEIGHT: 120 Lb.

TOLERANCE: ± 1/16" ON ALL DIMENSIONS

DESIGN LOADS:
170 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C.
FLORIDA BUILDING CODE 6TH EDITION (2017)



SECTION @ SPANNER SIGN

SCALE: 1 1/2" = 1'-0"

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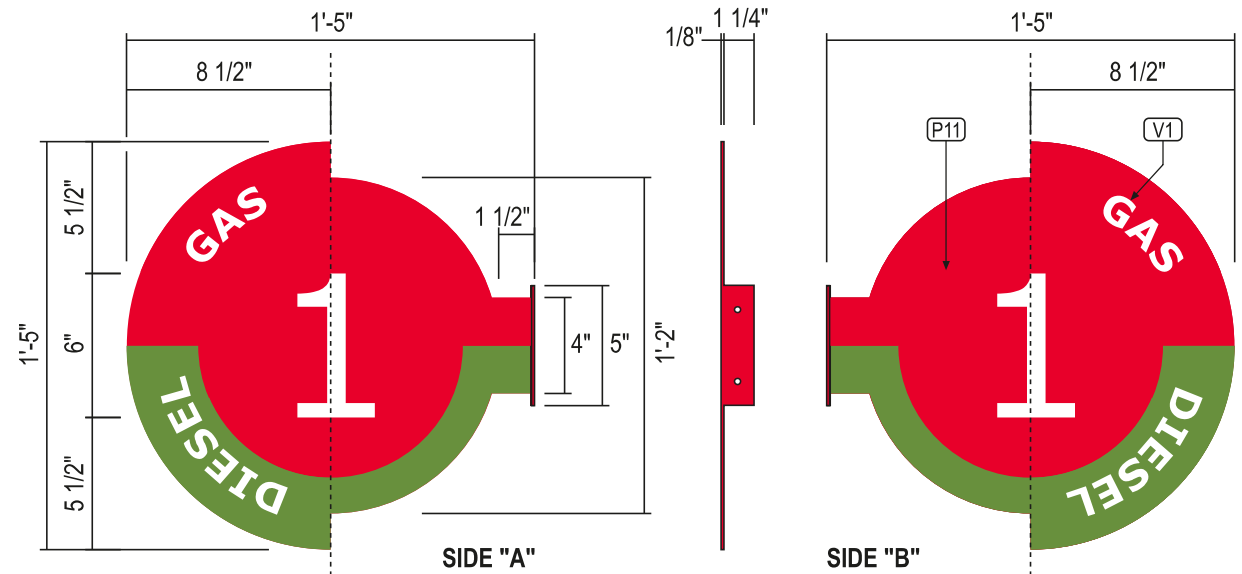
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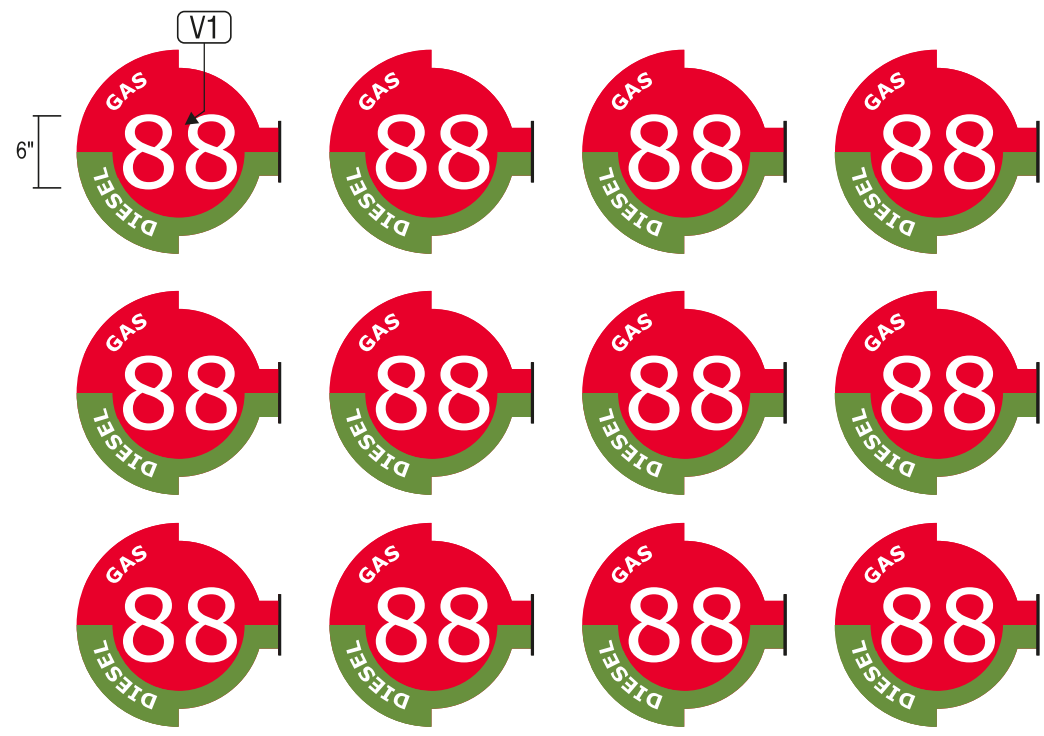


DETAIL @ D/F PUMP INDICATOR SIGN - GAS & DIESEL

QTY: TBD
 ALUMINUM FACES PAINTED RED & GREEN.
 WHITE VINYL COPY & NUMBERS.
 FONT STYLE: VERDANA

■ Paint to match PMS 186 C ■ Paint to match PMS 377C GREEN

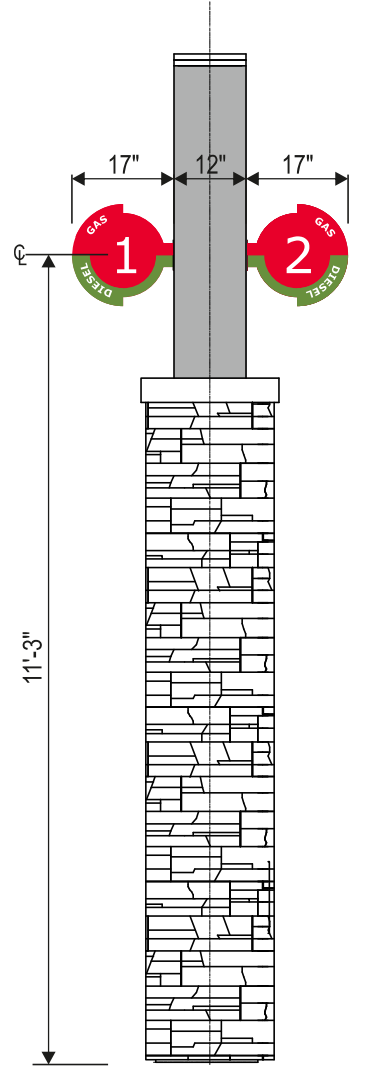
SCALE: 1 1/2"=1'-0"



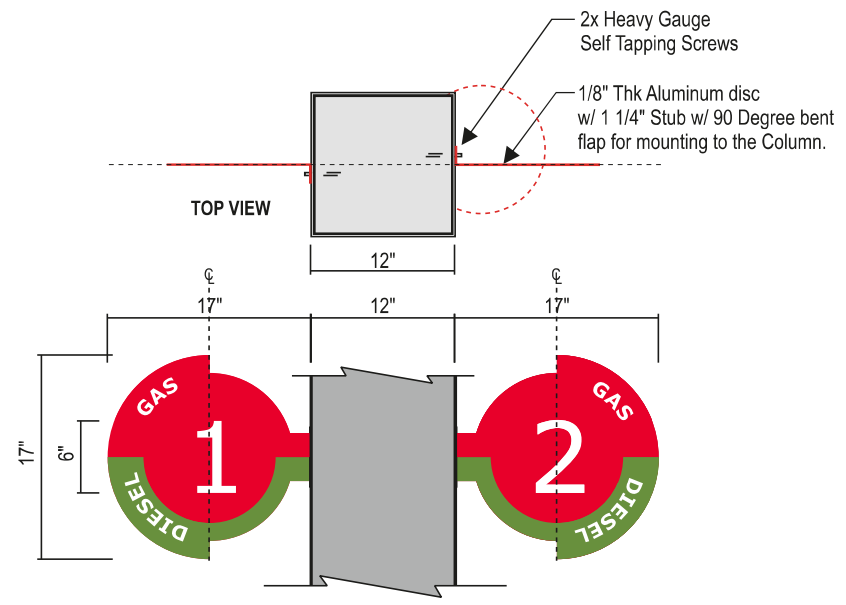
DETAIL @ WHITE VINYL PUMP NUMBERS - GAS & DIESEL

QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
 WHITE VINYL NUMBERS.
 FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN
 SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN
 SCALE: 3/4"=1'-0"

*** NOTE: CONFIRM PUMP NUMBER SEQUENCE PRIOR TO MANUFACTURING**

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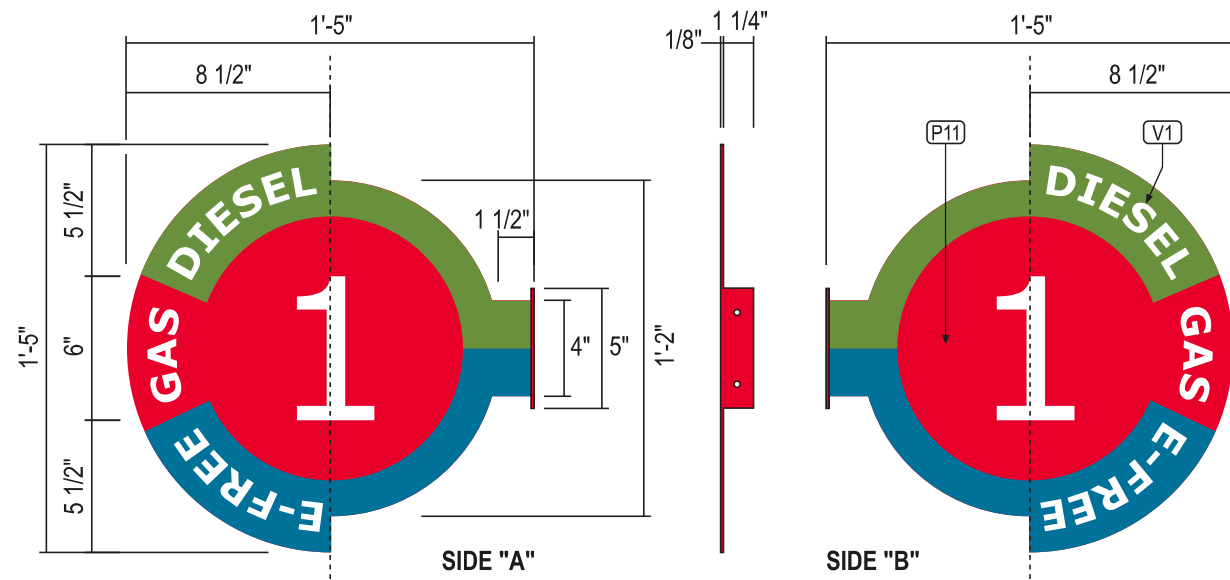
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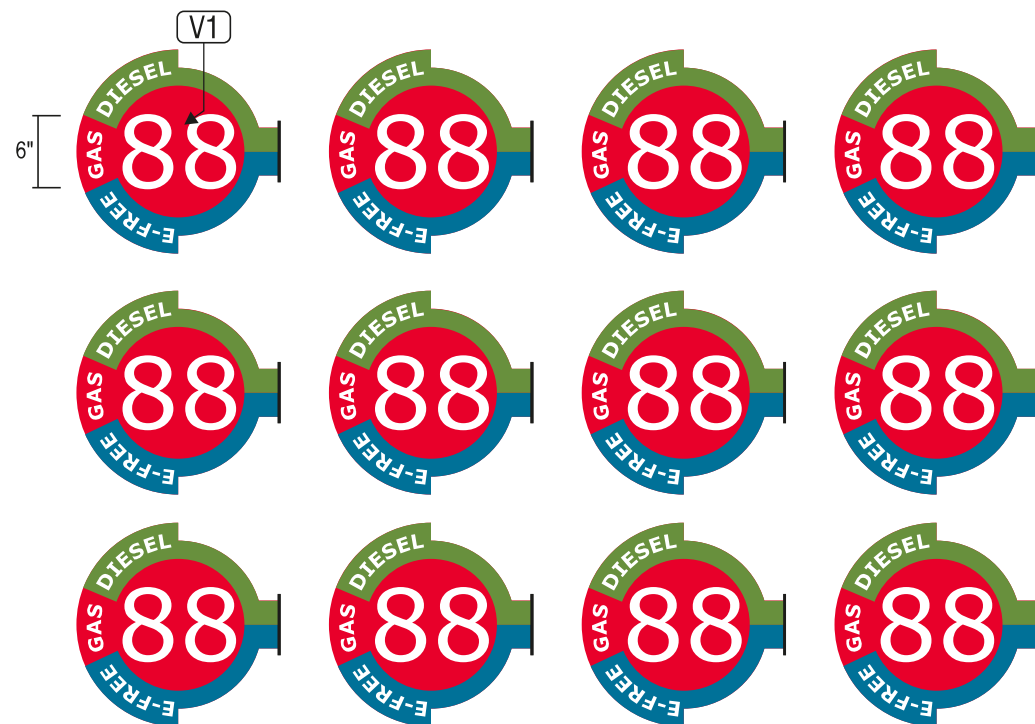


DETAIL @ D/F PUMP INDICATOR SIGN - E-FREE, GAS & DIESEL

QTY: TBD
 ALUMINUM FACES PAINTED RED, BLUE AND GREEN.
 WHITE VINYL COPY & NUMBERS.
 FONT STYLE: VERDANA

SCALE: 1 1/2"=1'-0"

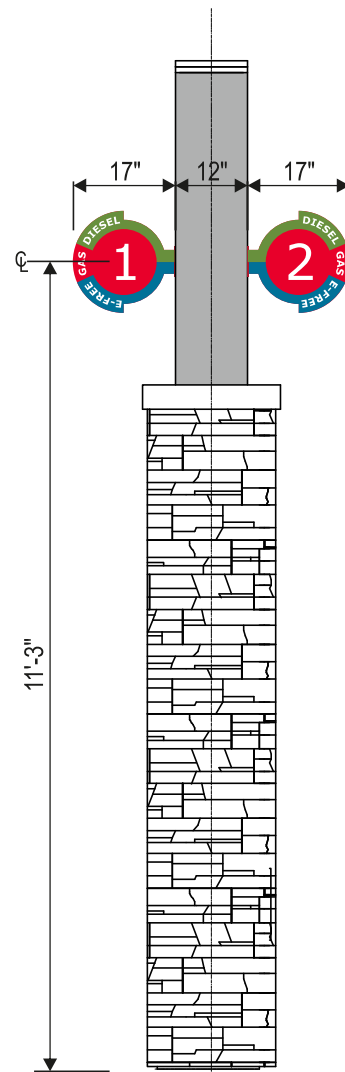
Paint to match PMS 186 C
 Paint to match PMS 377C GREEN
 PMS 7468C BLUE



DETAIL @ WHITE VINYL PUMP NUMBERS - E-FREE, GAS & DIESEL

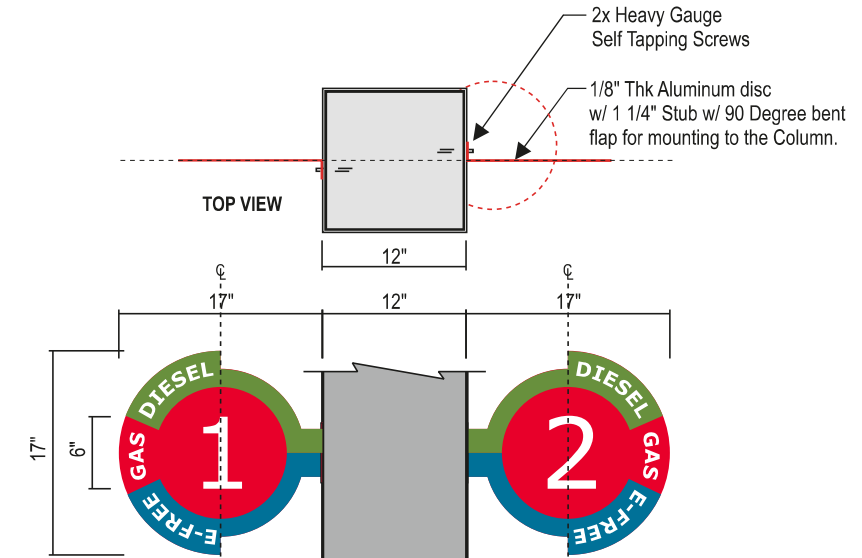
QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
 WHITE VINYL NUMBERS.
 FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN

SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN

SCALE: 3/4"=1'-0"

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