



Agenda

- 1. **Open Meeting**
- 2. **Pledge of Allegiance**
- 3. **Invocation**
- 4. **Roll Call**
- 5. **Minutes**

[Special Meeting Minutes of December 1, 2023](#)

6. Committee and Official Reports

Civil Service Commission	Mr. Coleman - Mrs. Darby - Mrs. McNear
Rules and Laws	Mr. Jacobs - Mr. Vanover
Finance Committee	Mr. Vanover – Mrs. Webster
Planning Commission	Mrs. Sullivan-Wisecup – Ms. McFarland
Board of Zoning Appeals	Mr. Gleaves - Mr. Jacobs
Board of Health	Mrs. McFarland
Capital Improvements	Mrs. Sullivan-Wisecup
O-K-I	Mr. Anderson
Mayor’s Report	Mayor Hawkins
Administrator’s Report	Mr. Jones - Mr. Uhl
Law Director’s Report	Mr. Braun
Engineer’s Report	Mr. Riggs
Rental Program Committee	Mr. Vanover

7. Communications

8. Communications from the Audience *(Five minutes each speaker, Springdale Code §30.05)*

9. Ordinances and Resolutions

[Public Hearing](#)

[Ordinance No. 47-2023 \(Second Reading\)](#)

[AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FOR THE PROPERTY LOCATED AT 501 EAST KEMPER ROAD AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN AND THE FINAL DEVELOPMENT PLAN FOR THE PROPERTY](#)

[Ordinance 51-2023](#)

[AN ORDINANCE AMENDING CHAPTER 94 OF THE CODE OF ORDINANCES OF THE CITY OF SPRINGDALE, OHIO AND DECLARING AN EMERGENCY](#)

[Ordinance 52-2023](#)

[AN ORDINANCE AUTHORIZING THE PURCHASE OF CERTAIN REAL PROPERTY ASSOCIATED WITH THE NORTHLAND BOULEVARD RECONSTRUCTION PROJECT AND DECLARING AN EMERGENCY](#)

[Ordinance 53-2023](#)

[ADOPTING A SUPPLEMENTAL APPROPRIATION / ESTIMATED RECEIPTS ORDINANCE TO MAKE APPROPRIATIONS FOR CURRENT EXPENSES AND OTHER EXPENDITURES AND ADJUST ESTIMATED RECEIPTS FOR THE CITY OF SPRINGDALE, OHIO FOR THE FISCAL YEAR ENDING DECEMBER 31, 2023](#)

[Ordinance 54-2023](#)

[ADOPTING A TEMPORARY APPROPRIATION ORDINANCE FOR THE PERIOD JANUARY 1, 2024, UNTIL THE FISCAL YEAR 2024 APPROPRIATION PERMANENT ORDINANCE IS ADOPTED BY CITY COUNCIL](#)

[Ordinance 55-2023](#)

[AN ORDINANCE AMENDING ORDINANCE NO. 07-2023 TO PROVIDE FOR WAGE INCREASES FOR CERTAIN CITY EMPLOYEES AND DECLARING AN EMERGENCY](#)

Resolution No. R35-2023
A RESOLUTION APPOINTING TO SERVE AS A MEMBER
OF THE CITY OF SPRINGDALE CHARTER REVISION COMMITTEE FOR THE UNEXPIRED
TERM ENDING DECEMBER 31, 2025

10. **Old Business**
11. **New Business**
12. **Meetings and Announcements**
13. **Communications from the Audience** *(Five minutes each speaker, Springdale Code §30.05)*
14. **Update on Legislation Still in Development**
15. **Recap of Legislative Items Requested for Next Council Meeting**
16. **Adjournment**

City of Springdale Council

December 1, 2023

President of Council Vanover called Council to order on December 1, 2023 at 7:00 p.m.

The governmental body and those in attendance recited the Pledge of Allegiance.

Mrs. McNear took roll call. Council members Anderson, Hawkins, Jacobs, Sullivan-Wisecup, and Vanover were present. Mrs. Ghantous and Mr. Ramirez were absent.

President Vanover: At this point, I will dismiss the outgoing Council members, and Mayor.

(Clerk of Council, Mrs. McNear, and Mayor Webster departed the dais)

Swearing-In Ceremony by Judge Stacey DeGraffenreid

Mr. Braun: Tonight we're very honored to have among us a judge from Hamilton County, Judge Stacey DeGraffenreid, who is from the Hamilton County Common Pleas Court Juvenile Division and we're very honored tonight that she's here with us to do the swearing in. She has a long history of service here in Hamilton County, but I just want to briefly talk a little bit about it. She has over 20 years of service in Hamilton County. She's worked in the Hamilton County Prosecutor's Office, she's worked in the Public Defender's Office, she's practiced in Municipal Court, she's had a private sector practice, as well as public service. She's a member of the Cincinnati, the Ohio State, and the American Bar Associations, and she received her law degree at the University of Cincinnati. However, here in Springdale, we most remember her for the fact that she's a member of the Princeton High School Hall of Fame, and she's coached girls basketball, soccer, and many people will recognize her face, especially if you're in the Princeton School District. I would be remiss if I did not also mention, since I went to the University of Kentucky, that she went to the University of Louisville where she was a captain of the women's basketball team. We're very excited that she's here tonight to swear in our newly elected officials, who I know are very excited, and she's very excited to have the opportunity, so let's welcome Judge DeGraffenreid.

Judge DeGraffenreid: I'm happy to be here this evening. It's such an exciting day here in Springdale. We have a new Mayor, we have three new Council people. Mr. Webster has served here for 28 years just as Mayor. Just an exciting time with all the growth. I remember, I grew up here in Springdale. I don't know if you knew that. I grew up in Springdale me, riding my bike, as Mr. Hawkins said, riding my bike to the Rec Center for soccer, softball, everything here in Springdale. I'm just so excited to be invited here to today's ceremony. Thank you very much. I did want to say too, that, it made me nervous because Judge Melba Marsh because she is so good, it is hard to follow her, but I'm sure she is missed today, but, I'm happy to be here and so excited and thank you for having me here today.

Judge DeGraffenreid addressed Mr. Hawkins.

Judge DeGraffenreid: Raise your right hand.

Mr. Hawkins: I, Lawrence Hawkins III, solemnly swear to uphold the constitution of the United States of America, the constitution of the State of Ohio, the Charter and Ordinances of the City of Springdale, Ohio and to faithfully and honestly and impartially perform the duties of my elected position of Mayor to the best of my ability so help me God.

Judge DeGraffenreid: Congratulations.

Judge DeGraffenreid addressed Mr. Gleaves.

Judge DeGraffenreid: Raise your right hand.

City of Springdale Council

December 1, 2023

Mr. Gleaves: I, David Gleaves, do solemnly swear to uphold the constitution of the United States of America, the constitution of the State of Ohio, the Charter and Ordinances of the City of Springdale, Ohio and to faithfully and honestly and impartially perform the duties of my elected position of Council member to the best of my ability, so help me God.

Judge DeGraffenreid: Congratulations.

Judge DeGraffenreid addressed Mrs. McFarland.

Judge DeGraffenreid: Raise your right hand.

Mrs. McFarland: I, Michelle McFarland, do solemnly swear to uphold the constitution of the United States of America, the constitution of the State of Ohio, the Charter and Ordinances of the City of Springdale, Ohio and to faithfully and honestly and impartially perform the duties of my elected position of Council member to the best of my ability, so help me God.

Judge DeGraffenreid: Congratulations.

Judge DeGraffenreid addressed Mrs. Webster:

Judge DeGraffenreid: Raise your right hand.

Mrs. Webster: I LaVonne Webster do solemnly swear to uphold the constitution of the United States of America, the constitution of the State of Ohio, the Charter and Ordinances of the City of Springdale, Ohio and to faithfully and honestly and impartially perform the duties of my elected position of Council member to the best of my ability, so help me God.

Judge DeGraffenreid: Congratulations.

Clerk of Council Nicole Browder took roll call. Council members Anderson, Gleaves, Jacobs, McFarland, Sullivan-Wisecup, Vanover, and Webster were present.

Election of President of Council

President Vanover: At this point in the agenda, we will do the election of President of Council. We'll open the floor for nominations.

Mrs. Sullivan-Wisecup: I would like to nominate Jeffrey Anderson as President of Council.

Mr. Jacobs: Second.

President Vanover: Are there any other nominations? (None) We will now close nominations. By acclamation, Mr. Anderson, it's yours.

President Anderson: Thank you for that. I appreciate it. (inaudible)

Election of Vice-President of Council

President Anderson: Next, we have the election of Vice-President.

Mrs. Sullivan-Wisecup: I would like to nominate Dan Jacobs for Vice President of Council.

Mrs. McFarland: Second.

President Anderson: Are there any other nominations? Hearing none, I will close the nominations for Vice President of Council. Then, by acclamation, Dan Jacobs is Vice President of Council.

City of Springdale Council

December 1, 2023

Old Business	-	None
New Business	-	None
Communications from the Audience	-	None
Adjournment		

Mr. Vanover made a motion to adjourn; Mrs. Sullivan-Wisecup seconded the motion and Council adjourned at 7:15 p.m.

Respectfully submitted,

Nicole Browder
Clerk of Council

Minutes Approved:
Jeffrey Anderson, President of Council

_____, 2023

ORDINANCE NO. 47-2023

AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FOR THE PROPERTY LOCATED AT 501 EAST KEMPER ROAD AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN AND THE FINAL DEVELOPMENT PLAN FOR THE PROPERTY

WHEREAS, a Chick-fil-A restaurant is currently being operated on Hamilton County Parcel No. 059900200106 which is zoned Planned Unit Development and the restaurant seeks to consolidate adjacent Hamilton County Parcel No. 059900200135 with the existing parcel to expand their operations; and

WHEREAS, the parcel to be consolidated is currently zoned Support Services District (SS); and

WHEREAS, on November 14, 2023, the Planning Commission met and considered a modification of the existing Planned Unit Development (PUD) for the real property located at 501 East Kemper Road and an amendment to the zoning map of the City of Springdale for a portion of the consolidated parcel involving a total of 2.27 acres (the “Property”) (the “Application”); and

WHEREAS, the Application sought to rezone a portion of the Property from Support Services District (SS) to Planned Unit Development (PUD) to allow for the expansion of the business to an adjacent lot for the construction of an additional drive-thru and a lot for additional parking; and

WHEREAS, as provided for in Section 153.255(G) of the Springdale Code of Ordinances, the applicant combined the application with the Preliminary Development Plan and the Final Development Plan associated with the Property; and

WHEREAS, the City of Springdale Planning Commission, in considering the Application, recommended approval of the major modification and a zone change for the Property from Support Services District (SS) to Planned Unit Development (PUD) and recommended approval of the Preliminary Development Plan and the Final Development Plan; and

WHEREAS, on December 20, 2023 after proper notice having been given, Council of the City of Springdale held a public hearing to consider the proposed change in zoning from Support Services District (SS) to Planned Unit Development (PUD) and the proposed development plan; and

WHEREAS, upon conclusion of the public hearing, the Council of the City of Springdale considered, in an open meeting, the proposed amendment to the City of Springdale Zoning Map and the recommendation of the Planning Commission to change the zoning of 501 East Kemper Road from Support Services District (SS) to Planned Unit Development (PUD) and the proposed development plan.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. The recommendation of the City of Springdale Planning Commission with regard to the major modification to the current Planned Unit Development (PUD) at 501 East Kemper Road is hereby approved and the amendment to the City of Springdale Zoning Map is granted such that the zoning for the consolidated parcel at 501 East Kemper Road is hereby changed from Support Services District (SS) to Planned Unit Development (PUD).

Section 2. The request to approve the Preliminary Development Plan and the Final Development Plan for the property located at 501 East Kemper Road, which have been reviewed and approved by the Planning Commission in accordance with the exhibits listed and described in Exhibit “A”, which is incorporated herein by reference, is hereby approved, subject to the conditions of the Planning Commission, and any other conditions or modifications imposed by Council including:

- a. Staff, City Engineer and City Planner’s recommendations and considerations contained in their reports shall apply; and
- b. As a PUD, his shall include Staff, Law Director and City’s approval of covenants as necessary as it pertains to the project; and
- c. All lighting and re-lamping of the existing fixtures shall conform to existing City codes. Special lighting fixture conditions regarding the canopy: Canopy lighting shall be reduced to a medium use from two to ten max illumination; and
- d. Special landscaping conditions to include, allowing landscaping to be placed in the public right of way as it is illustrated which shall be maintained by Chick-fil-A, and this shall be reviewed and approved by City staff. This shall be by permit only and is not an easement; and
- e. Additional trees and landscaping in the public right of way as illustrated by the applicant to be reviewed and approved by City staff and shall be by permit with the City and is not an easement; and
- f. The existing structure is not to change; and
- g. All other zoning code regulations and conditions shall remain in effect and any change to these conditions shall constitute a change in the approved plans. Such changes would require approval from the Springdale Planning Commission.

Section 3. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. This Ordinance shall take effect on the earliest date allowed by law.

Passed this ____ day of December, 2023.

Attest:

Clerk of Council

President of Council

Approved:

Mayor

Date

City of Springdale



Building Department

(513) 346-5730

11700 Springfield Pike
Springdale, Ohio 45246

Fax (513) 346-5747

November 15, 2023

Mr. Thomas Vanover
Springdale City Council
11700 Springfield Pike
Springdale, OH 45246

RE: **Zone Map Amendment** – Change Zoning District from SS to PUD
Final Development Plan Modification to PUD – Chick-Fil-A
Application Number: 20230739

Dear Mr. Vanover:

The Springdale Planning Commission held a public hearing for the Zone Map Amendment and Final Development Plan Modification to the Chick-Fil-A PUD. Chick-Fil-A has acquired the site to the east of their existing site from Lowe's. The eastern site is currently located in Zoning District SS. Chick-Fil-A has requested approval to combine the site to the east with their current site, which is Zoned as a PUD; and develop the site located to the east and portions of their site which are described on their (Final) Development Plans.

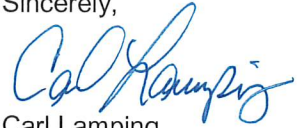
At their meeting on November 14, 2023, in a public hearing, the Planning Commission voted (6 – 0) to **RECOMMEND APPROVAL** of the Zone Map Amendment Zone District SS to the Chick-Fil-A PUD.

Also at their meeting on November 14, 2023, the Planning Commission voted to **RECOMMEND APPROVAL** of the proposed Final Development Plans for the vehicular alterations to the site parking and drive-thru features for the Chick-Fil-A PUD, with the following recommendations and considerations:

- A. Staff's, City Engineer's, City Planner's recommendations and considerations contained in their reports;
- B. As a PUD, this shall include Staff, Law Director's and City's approval of Covenants as necessary as it pertains to the project;
- C. All lighting and re-lamping of the existing fixtures shall conform with the existing codes to the City of Springdale. Special lighting fixture conditions regarding the canopy: Canopy lighting shall be reduced to a medium use from two to ten max illumination.
- D. Special landscaping conditions to include, allowing landscaping to be placed in the public right of way as it is illustrated which shall be maintained by Chick-fil-A and this shall be reviewed by staff. This shall be by permit only and is not an easement.
- E. Additional trees and landscaping in the public right of way as illustrated by the applicant to be reviewed and approved by City staff and shall be by permit with the City and not an easement.
- F. The existing structure is not to change.
- G. Whereas all other zoning code regulations and conditions not detailed in this motion shall remain in effect and any changes to the above conditions shall constitute a change in the approved plans. Such changes shall require an approval by the Springdale Planning Commission.

By this action, Planning Commission is referring this to the City of Springdale City Council for approval.

Sincerely,



Carl Lamping
Building Official
City of Springdale

CC: Doyle H. Webster, Mayor
Kathy McNear, Clerk of Council
Shawn Riggs, City Engineer
Anne McBride, City Planner

John Jones, City Administrator
Joe Braun, Law Director's Office
Council Members
Planning Commission Members



SOUTH FROM KEMPER RD



CHICK-FIL-A 1614
SPRINGDALE
501 EAST KEMPER RD
SPRINGDALE, OH

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.
THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



INTERPLAN NO. 2023

10
11-13-2023



SOUTH FROM KEMPER RD



CHICK-FIL-A 1614
SPRINGDALE
501 EAST KEMPER RD
SPRINGDALE, OH

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.
THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



INTERPLAN NO. 2023

11
11-13-2023

PRIVATE IMPROVEMENT PLANS FOR CHICK-FIL-A

501 E KEMPER ROAD
SPRINGDALE, OH 45246



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235
PHONE: 614-652-0350
WWW.KIMLEY-HORN.COM

CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000
PRINTED FOR JHP
DATE 10/30/2023
DRAWN BY AP

Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.

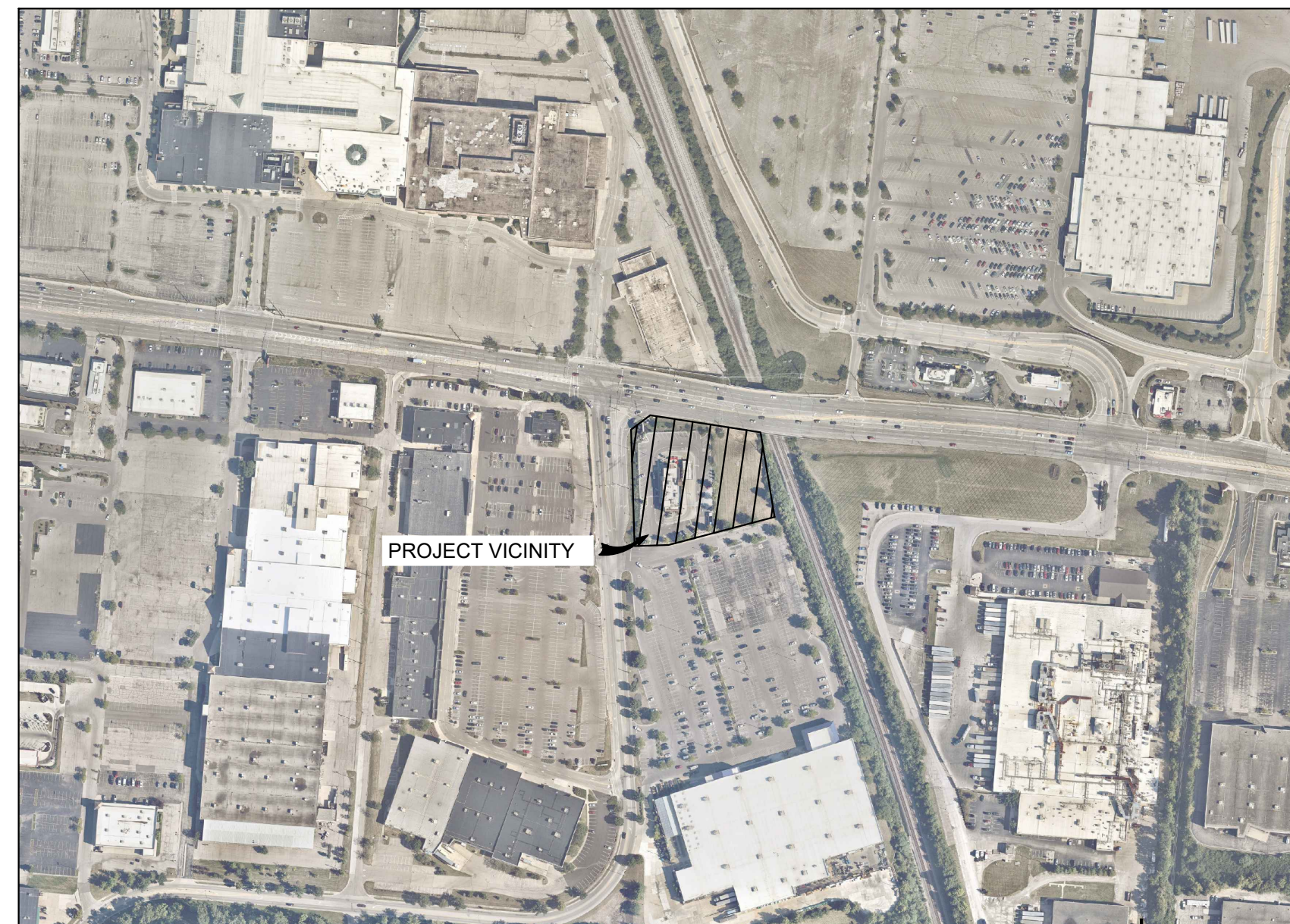
SHEET
COVER SHEET

SHEET NUMBER

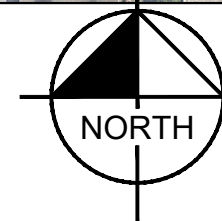
C000

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



VICINITY MAP
NTS



SCOPE OF WORK

CHICK-FIL-A INTENDS TO ADD A SECOND DRIVE-THRU LANE AND EXPAND TO THE ADJACENT EMPTY LOT OF LAND. THESE DRIVE-THRU MODIFICATIONS WILL INCLUDE THE ADDITION OF TWO NEW CANOPIES, PARKING STALL REALIGNMENT, ENTRY DRIVE EXPANSION AND ADA CURB RAMP RECONSTRUCTION, WITH THE ADDITION OF A SECOND DRIVE-THRU LANE. IT IS ANTICIPATED TO IMPROVE THE EXISTING QUEUING AND TRAFFIC FLOW. NO INTERIOR IMPROVEMENTS ARE INCLUDED IN THIS SCOPE OF WORK.

SHEET INDEX

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C-010	EXISTING CONDITIONS
C-015	EXISTING CONDITIONS
C-020	EXISTING CONDITIONS
C200	SITE PLAN
C201	DETAILS SHEET
C300	CONCEPT GRADING PLAN
PH100	SITE PHOTOMETRICS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L102	LANDSCAPE & MAINTENANCE SPECIFICATIONS

PROJECT TEAM

OWNER/DEVELOPER
KAYLA FORTNER, PE
DEVELOPMENT MANAGER
JLL, on behalf of CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
(404) 624-3616

SURVEYOR
GBC DESIGN INC.
565 WHITE POND DR.
AKRON, OH 44320-1123
(330) 836-0228

GARRY BRUMELS
STORE OPERATOR
CHICK-FIL-A
501 E KEMPER ROAD
SPRINGDALE, OH 45246
(515) 559-4511

CIVIL ENGINEER
PRIMARY CONTACT: JAKE PANTER
KIMLEY-HORN AND ASSOCIATES, INC.
111 W. JACKSON,
SUITE 1320
CHICAGO, IL 60604
(630) 487-3432
JAKE.PANTER@KIMLEY-HORN.COM

SITE DATA TABLE

SITE ADDRESS: 501 E KEMPER ROAD,
SPRINGDALE, OH 45246
PARCEL ID NO: 5990020010600 & 5590020013500
TOTAL SITE AREA: 2.27 AC / 98,785 SF
EXISTING BUILDING AREA: 4,850 SF
ZONING: PUD - GENERAL BUSINESS
OUT PARCEL ZONING: SS - SUPPORT SERVICES

FEMA FIRM FLOOD ZONE INFORMATION

ZONE: X (UNSHADED)
DEFINITION: AREA OF MINIMAL FLOOD HAZARD.
FIRM PANEL NO: 39061C0087E
COMMUNITY: CITY OF SPRINGDALE
NUMBER: 0877
EFFECTIVE DATE: 2/16/2010
REVISION DATE: NONE

PRE-DEVELOPMENT VS. POST DEVELOPMENT CONDITIONS

TOTAL SITE AREA: 2.27 ACRES / 98,785 SF
DISTURBED AREA: 2.16 ACRES / 94,021 SF
PRE-DEVELOPED IMPERVIOUS AREA: 1.12 ACRES / 48,588 SF
PRE-DEVELOPED PERVIOUS AREA: 1.15 ACRES / 50,283 SF
POST-DEVELOPED IMPERVIOUS AREA: 1.59 ACRES / 69,364 SF
POST-DEVELOPED PERVIOUS AREA: 0.68 ACRES / 29,421 SF

UTILITY CONTACTS

PLANNING/ZONING
CITY OF SPRINGDALE PLANNING DEPARTMENT
11700 SPRINGFIELD PIKE
SPRINGDALE, OH 45245
GREGG TAYLOR
513-346-5730
ghtaylor@springdale.org

FIRE MARSHAL
CITY OF SPRINGDALE BUILDING DEPARTMENT
11700 SPRINGFIELD PIKE
SPRINGDALE, OH 45245
GREGG TAYLOR
513-346-5730
ghtaylor@springdale.org

SANITARY SEWER
METROPOLITAN SEWER DISTRICT
1800 GEST STREET
CINCINNATI, OH 45204
ROBERT KERN
513-244-5588
rob.kern@cincinnati-oh.gov

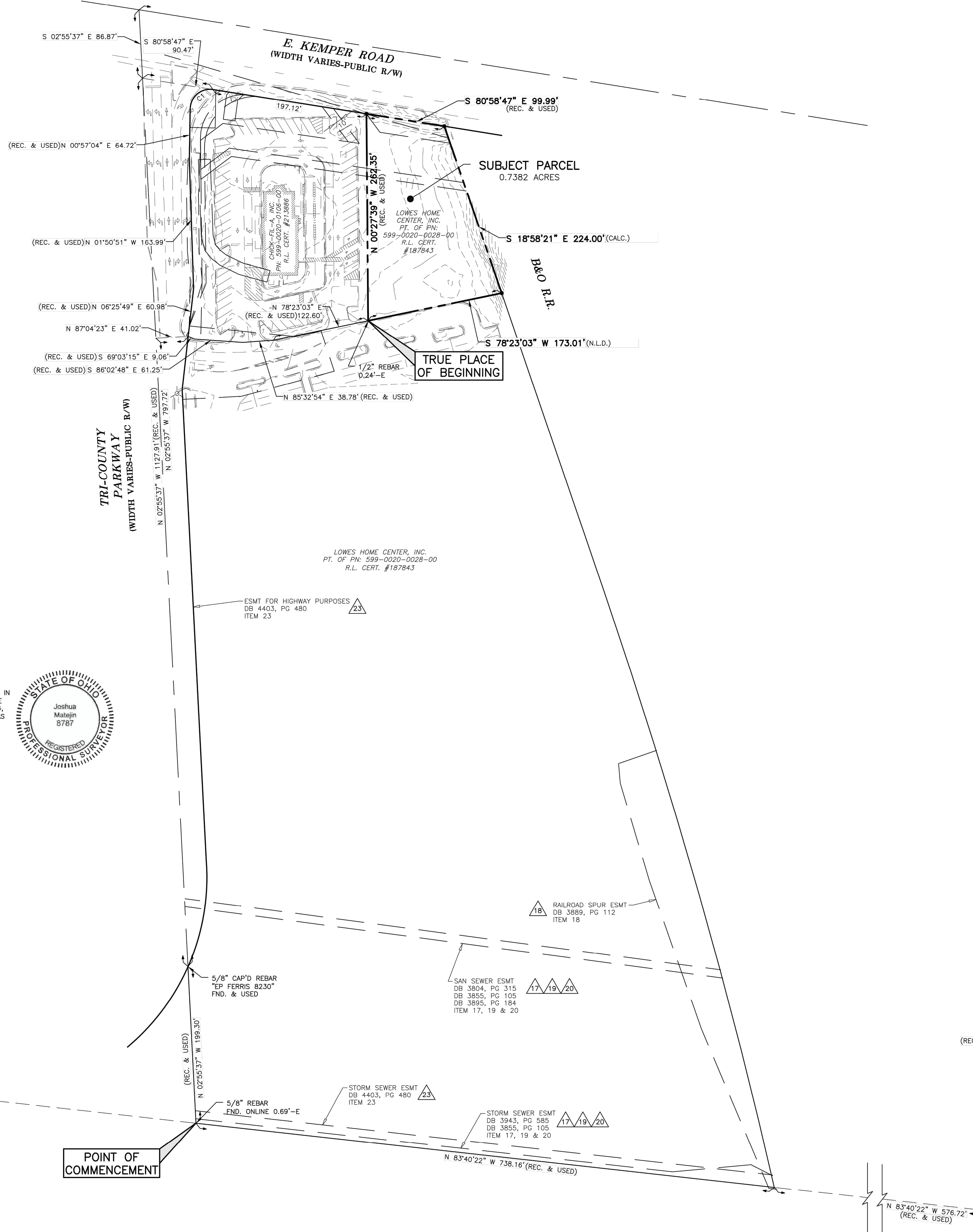
WATER
GREATER CINCINNATI WATER WORKS
4747 SPRING GROVE AVENUE
CINCINNATI, OH 45232
ELLEN BETSCH
513-591-7833
ellen.betsch@gcw.cincinnati-oh.gov

STORM DRAINAGE & EROSION CONTROL
CITY OF SPRINGDALE PUBLIC WORKS
338 NORTHLAND BOULEVARD
SPRINGDALE, OH 45246
JEFF AGRICOLA
513-346-5521
jagricola@springdale.org

GAS SERVICE
DUKE ENERGY
BRANDON PONDER
512-287-1464
brandon.ponder@duke-energy.com

ELECTRIC SERVICE
DUKE ENERGY
ZACK COTTINGHAM
513-287-4774
Zachary.cottingham@duke-energy.com

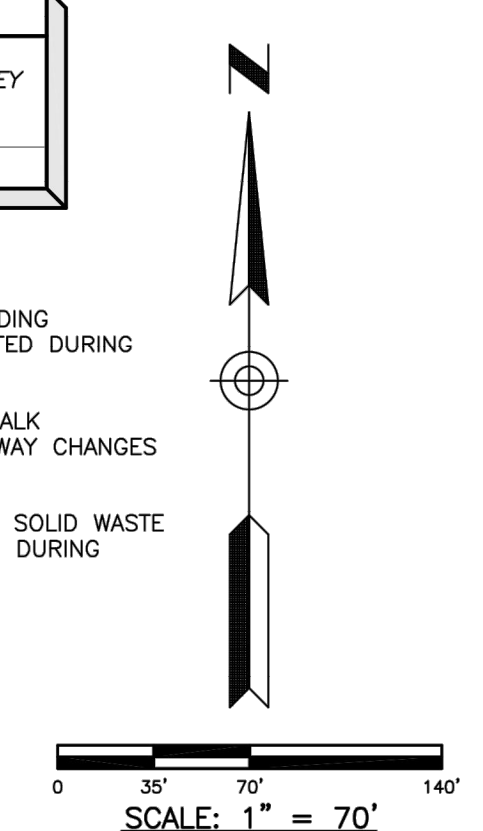
TELEPHONE SERVICE
CINCINNATI BELL TELEPHONE
RICHARD RAYLE
513-397-9071
richard.rayle@cbell.com



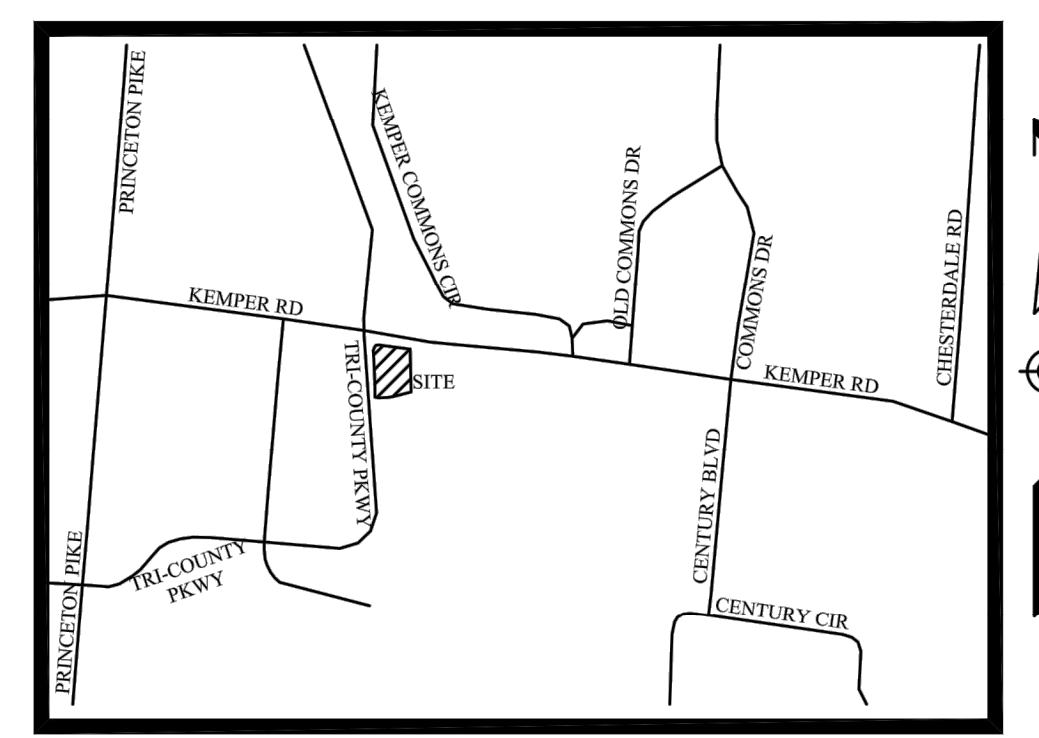
SITE BENCH MARK
C.L. TOP OF EXISTING STORM MANHOLE
7" LOCATED AS SHOWN ON THIS SURVEY
ELEVATION = 554.42

SURVEY NOTES:
NO EVIDENCE OF RECENT EARTHWORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS NOTED DURING FIELD VISIT.
NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OR RIGHT-OF-WAY CHANGES NOTED DURING FIELD VISIT.
NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL NOTED DURING FIELD VISIT.

BASIS OF BEARING:
OHIO STATE PLANE COORDINATE SYSTEM (SPCS), SOUTH ZONE (3402), NAD-83



SITUATED IN THE STATE OF OHIO,
COUNTY OF HAMILTON, CITY OF SPRINGDALE,
AND KNOWN AS BEING A PART SECTION 6,
TOWN 3, ENTIRE RANGE 1



LOCATION MAP
NOT TO SCALE
LATITUDE N 39°17'12" (39.2867)
LONGITUDE W 84°27'38" (-84.4606)

- LEGEND**
- 5/8" CAPPED REBAR SET (GBC DESIGN, INC.)
 - IRON PIN FOUND (TYPE & SIZE AS INDICATED)
 - ⊕ MAGNETIC NAIL SET
 - ⊖ MAGNETIC NAIL FOUND
 - # SCHEDULE B SECTION 2 ITEM

FLOOD ZONE DESIGNATION: SUBJECT PARCEL LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP NO. 3906100087E WITH AN EFFECTIVE DATE OF FEBRUARY 17, 2010.

UTILITY NOTE: A VIEW OF THE UNDERGROUND UTILITIES IS SHOWN ON THE SURVEY FROM OBSERVED EVIDENCE WHILE CONDUCTING THE SURVEY. EVIDENCE FROM FIELD MARKINGS LOCATED IN RESPONSE TO GPS WORK ORDER 315804, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

NOTE: ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR IN THE TITLE COMMITMENT THAT ARE ABLE TO BE PLOTTED ARE SHOWN ON THE SURVEY.

SUBJECT PARCEL ZONING: SUBJECT PARCEL IS ZONED SS-BUSINESS SUPPORT SERVICES PER SPRINGDALE ZONING MAP REVISED 06/18/2021.

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
(REC. & USED) C1	42.78'	24.99'	98°04'59"	28.79'	37.75'	N 49°59'07" E

CERTIFICATION
TO: CHICK-FIL-A, INC.; FIDELITY NATIONAL TITLE INSURANCE COMPANY;
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B(1), 8, 11A, 11B, 13, 15, 16, 17, 18, & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 5, 2022.

9/12/2023
DATE

JOSHUA MATEJIN, REGISTRATION NO. 8787



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782

CHICK-FIL-A
SPRINGDALE FSU
CUSTOM PROJECT SOLUTIONS
505 EAST KEMPER RD.
SPRINGDALE, OH 45246

FSU# 01614

REVISION SCHEDULE

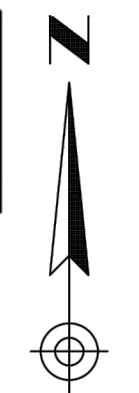
NO.	DATE	DESCRIPTION
1	2/1/2022	REVISE SUBJECT PARCEL BOUNDARY, E.A.S. TABLE & SUBJECT PARCEL LEGAL DESCRIPTION
2	2/4/2022	ADD ZONING CLASS
3	9/12/2023	ADD WATERLINE INFO PER GCWW RECORDS

GBC PROJECT # 50129R-2
PRINTED FOR
DATE 1/28/22
DRAWN BY B.A.W.

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SHEET
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER **C-010**

SITE BENCH MARK
 C.L. TOP OF EXISTING STORM MANHOLE
 "1" LOCATED AS SHOWN ON THIS SURVEY
 ELEVATION = 554.42

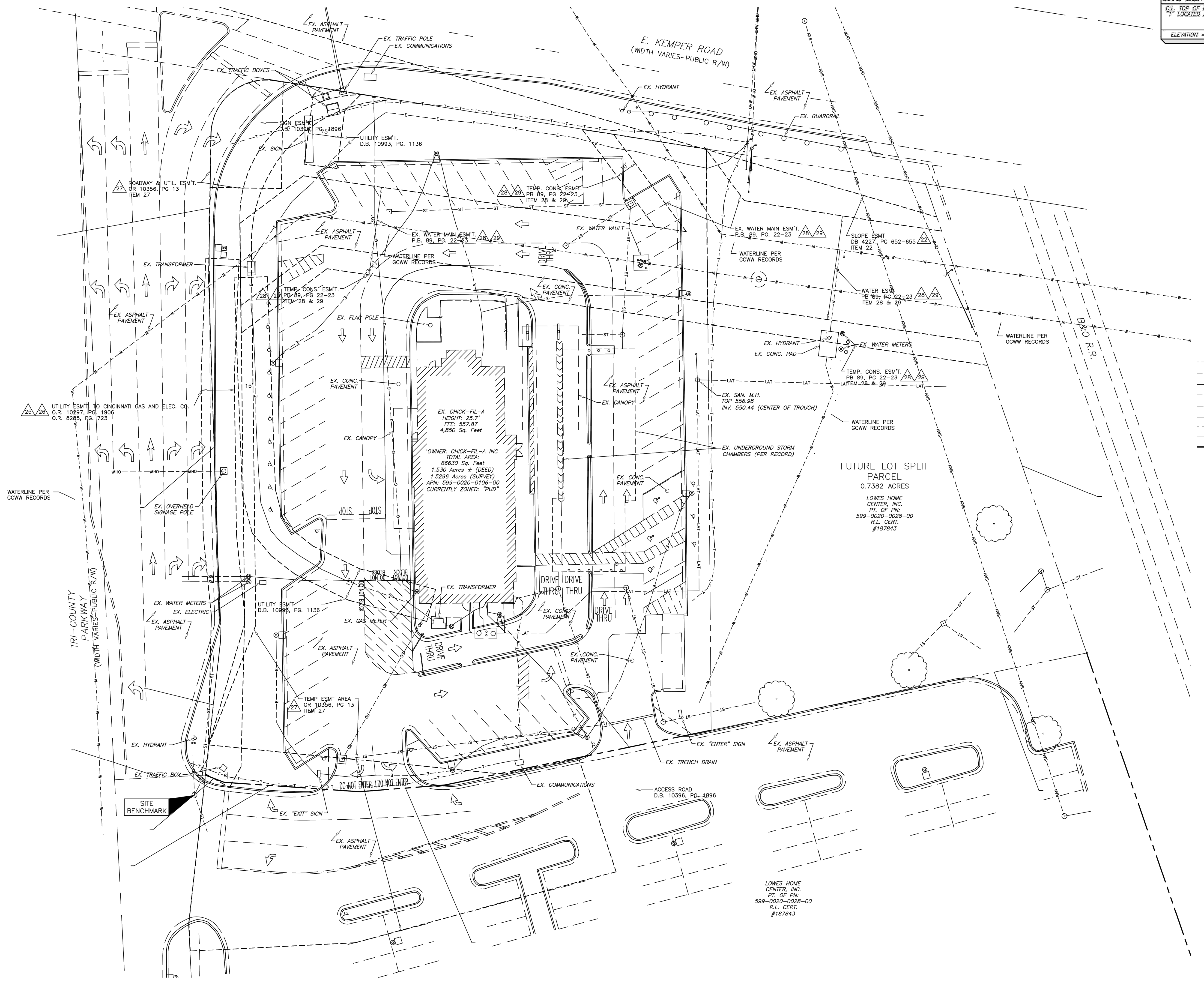


SCALE: 1" = 20'

- LEGEND**
- 5/8" CAPPED REBAR SET (GBC DESIGN, INC.)
 - IRON PIN FOUND (TYPE & SIZE AS INDICATED)
 - ⊕ MAGNETIC NAIL SET
 - ⊖ MAGNETIC NAIL FOUND
 - ⊕ EX. FIRE HYDRANT
 - ⊖ EX. VALVE
 - EX. MANHOLE
 - ⊕ EX. BOX INLET
 - ⊖ UTILITY POLE
 - ⊕ LIGHT POLE
 - ⊖ EX. TREE
 - ⊕ SCHEDULE B SECTION 2 ITEM
 - EX. CABLE T.V. LINE
 - EX. ELECTRIC LINE
 - CHW EX. OVERHEAD UTILITY LINE
 - EX. GAS LINE
 - TEL EX. TELEPHONE LINE
 - SAN EX. SANITARY SEWER
 - FO EX. FIBER OPTIC
 - MELP EX. MELP ELECTRIC LINE
 - EX. CURB

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. STM. M.H. TOP 665.54 INV. 661.16, 12" S INV. 661.60, 12" NE INV. 661.41, 12" N
2. EX. CURB INLET TOP 663.09 INV. 661.49, 12" N INV. 661.40, 12" SW
3. EX. CATCH BASIN TOP 665.23 INV. 662.56, 6" NE INV. 662.89, 4" N INV. 662.90, 4" S INV. 663.37, 15" E
4. EX. CATCH BASIN TOP 663.37 INV. 661.24, 18" N INV. 661.24, 15" W
5. EX. STM. M.H. TOP 658.96 INV. 654.39, 15" E INV. 654.49, 18" N
6. EX. STM. M.H. TOP 665.52 INV. 660.62, 18" S INV. 660.49, 6" W INV. 660.53, 24" N INV. 660.21, 4" E
7. EX. STM. M.H. TOP 664.29 INV. 659.29, 18" S INV. 660.10, 15" W
8. EX. STM. M.H. TOP 665.61 INV. 661.04, 15" N INV. 660.62, 24" S INV. 660.38, 18" W
9. EX. CATCH BASIN TOP 665.41 INV. 661.62, 15" S INV. 661.62, 15" W INV. 663.53, 6" SW INV. 664.54, 4" SW
10. EX. CATCH BASIN TOP 665.84 INV. 664.40, 6" NE INV. 664.92, 4" NW INV. 664.97, 4" SE
11. EX. CATCH BASIN TOP 664.71 INV. 662.85, 15" E
12. EX. CATCH BASIN TOP 658.74 INV. 655.98, 18" SE INV. 655.53, 30" SW INV. 655.62, 6" NE
13. EX. STM. M.H. TOP 657.96 INV. 652.41, 30" SW INV. 652.31, 30" E INV. 652.15, 12" N
14. EX. STM. M.H. TOP 658.45 INV. 652.51, 12" SW INV. 652.46, 12" S



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

GBC DESIGN, INC.

565 White Pond Dr. Akron, OH 44320-1123
 Phone 330-836-0228 Fax 330-836-5782

CHICK-FIL-A
SPRINGDALE FSU
CUSTOM PROJECT SOLUTIONS
 505 EAST KEMPER RD.
 SPRINGDALE, OH 45246

FSU# 01614

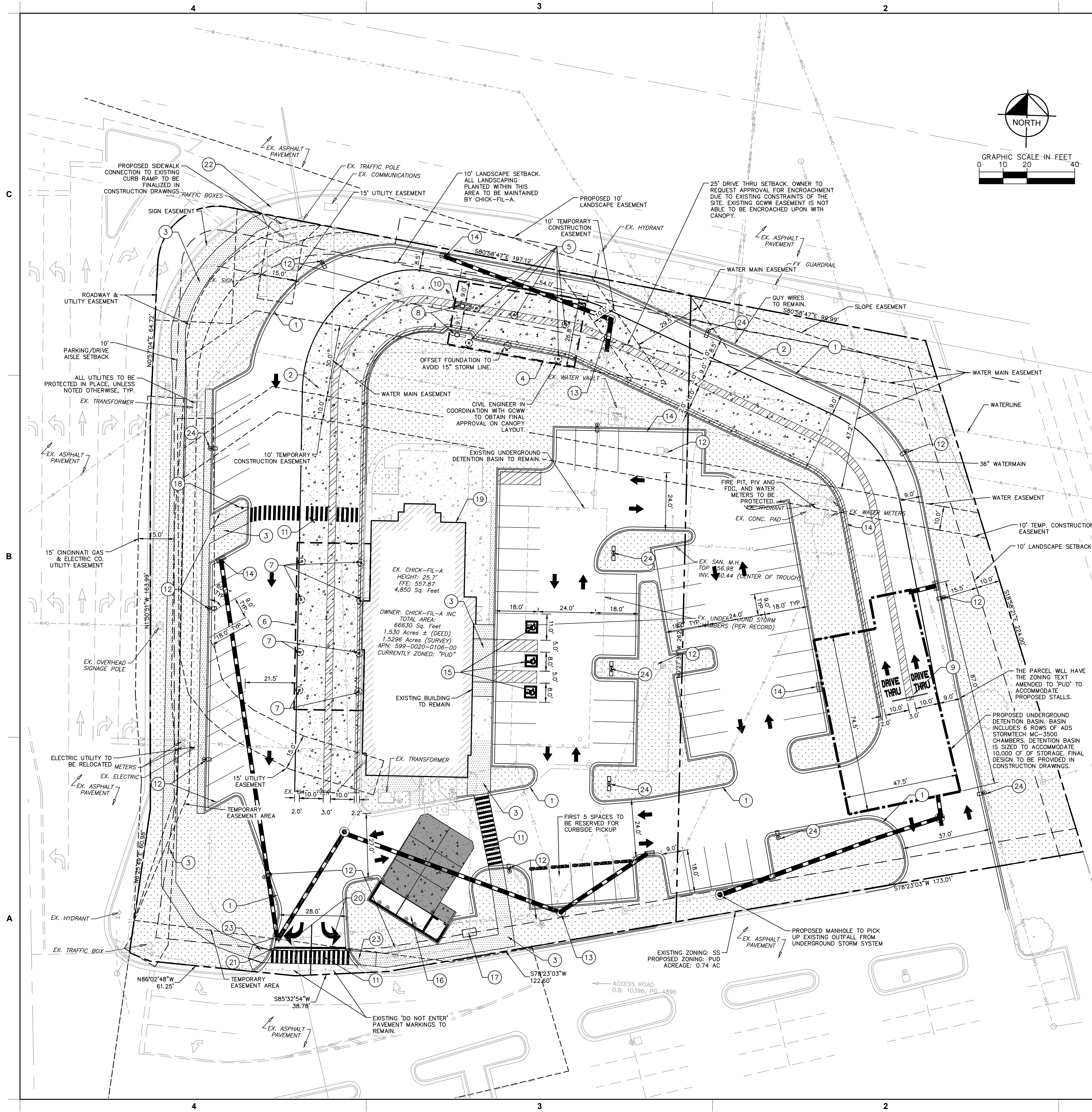
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NO.	DATE	
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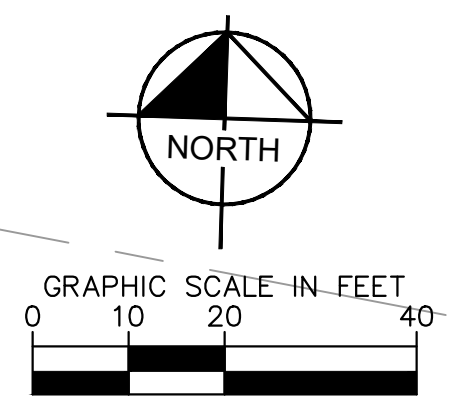
SHEET
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER
C-015



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



NOTES

1. ALL AUTOMOBILE PARKING SPACES ARE 9' WIDE X 18' LONG AND VAN ACCESSIBLE SPACES ARE 11' WIDE X 18' LONG, UNLESS SHOWN OTHERWISE.
2. CHICK-FIL-A INTENDS TO PROVIDE UNDERGROUND STORMWATER DETENTION TO MEET THE CITY'S STORMWATER MANAGEMENT ORDINANCE FOR THE ADDED IMPERVIOUS AREA.
3. THERE ARE NO MODIFICATIONS TO THE EXISTING BUILDING OR ONSITE SIGNAGE.
4. OWNER TO CLEAN AND INSPECT THE ISOLATOR ROWS AFTER CONSTRUCTION TO ENSURE THEIR FUNCTIONALITY IS MAINTAINED.
5. EXISTING TREE LOCATIONS APPROXIMATED USING AERIAL IMAGERY. LOCATIONS AND SIZES TO BE VERIFIED FOR CONSTRUCTION DRAWINGS.

LANDSCAPING SUMMARY

TOTAL SITE AREA:	98,785 SF
PRE-PROJECT LANDSCAPING AREA:	50,283 SF
PERCENT OF SITE AREA:	50.9%
POST-PROJECT LANDSCAPING AREA:	29,721 SF
PERCENT OF SITE AREA:	30.1%
PROPOSED IMPERVIOUS AREA ADDED:	20,562 SF

PARKING ANALYSIS

PARKING REQUIREMENT:	1 STALL PER 150 SF
MINIMUM REQUIRED PARKING:	32 STANDARD STALLS / 2 ADA STALLS
EXISTING PARKING:	56 STANDARD STALLS 3 ADA STALLS
PROPOSED PARKING:	69 SPACES 27 STACKING SPACES 3 ADA STALLS

*EXISTING ADA STALLS WILL BE ALTERED. ACCESSIBLE STALL COUNT WILL NOT REMAIN THE SAME.

ZONING/SETBACK REQUIREMENTS

ZONING:	PLANNED UNIT DEVELOPMENT (PUD)
OUT PARCEL ZONING:	SUPPORT SERVICES (SS)
FRONT YARD SETBACK:	75'
SIDE YARD SETBACK:	12'
REAR YARD SETBACK:	35'

SITE PLAN KEYNOTES

- 1 CONSTRUCT CONCRETE CURB & GUTTER
- 2 CONSTRUCT NEW CONCRETE DRIVE THRU
- 3 CONSTRUCT CONCRETE WALK
- 4 INSTALL NEW DUAL LANE F2F CANOPY
- 5 INSTALL NEW DUAL LANE F2F CANOPY COLUMNS
- 6 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY
- 7 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY COLUMNS
- 8 INSTALL NEW MENU BOARDS
- 9 INSTALL DRIVE-THRU CLEARANCE BAR
- 10 INSTALL DRIVE-THRU ORDER POINT ISLAND
- 11 PAINT CROSSWALK MARKINGS
- 12 RELOCATED LIGHTPOLE
- 13 REMOVE AND REPLACE INLET GRATE WITH CLOSED MANHOLE COVER
- 14 INSTALL NEW CURB INLET
- 15 RELOCATED ADA STALLS
- 16 RELOCATED TRASH ENCLOSURE
- 17 EXISTING UTILITY TO REMAIN
- 18 INSTALL FLASHING PEDESTRIAN SIGN
- 19 EXISTING BUILDING TO REMAIN WITH NO MODIFICATIONS
- 20 PROTECT EXISTING TURN MARKINGS
- 21 INSTALL STOP BAR
- 22 EXISTING HANDICAP/CURB RAMP
- 23 INSTALL CURB RAMP. FINAL DESIGN TO BE PROVIDED IN CONSTRUCTION DRAWINGS
- 24 INSTALL LIGHT POLE

COORDINATE SYSTEM USED & REFERENCE
NAD83 OHIO SOUTH (US FOOT)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

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CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000
PRINTED FOR JHP
DATE 10/30/2023
DRAWN BY AP

SHEET SITE PLAN

SHEET NUMBER

C200

MIDWEST LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

- A. GENERAL REQUIRED**
- Canopy and small/ornamental trees min. 2" cal.
 - Multi stem trees min. 3 stems, min. 1.5" cal., min. hgt. 8 FT
 - Evergreen trees min. hgt. 6 FT, min. spr. 4 FT (if for tree replacement: min. hgt. 10 FT)

- B. DIVERSITY REQUIRED**
- The following applies to REQUIRED trees and shrubs:
- < 20 required = min. 2 species needed
 - 20-40 required = min. 3 species needed
 - > 40 required = min. 4 species needed
1. Total trees required: 19 = 2 species required
2. Total shrubs required: 170 = 4 species required

- PROVIDED**
1. 4 types of trees = 4 species provided
2. 5 types of shrubs = 5 species provided

C. PERIMETER LANDSCAPE - BUFFERYARDS (Code Table 404-1)

- REQUIRED**
- E Kemper Rd (North):
 - Public ROW w/ no adjacent parking
 - 10 FT Buffer:
 - 1 tree (A) per 35 LF of street access/drive frontage
 - E Kemper Rd: 115 LF / 35 LF = 3 trees required
 - Tri County Pkwy (West), Lowe's (South), & Railroad (East):
 - Parking area or drive adjacent to non-residential use
 - 10 FT Buffer:
 - 1 tree (A) per 35 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF
 - OR 1 tree (B) per 25 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF
 - Tri County Pkwy: 185 LF / 35 LF = 5 trees required
 - Tri County Pkwy: 185 LF / 3 LF = 62 shrubs required
 - Lowe's: 105 LF / 35 LF = 3 trees required
 - Lowe's: 105 LF / 3 LF = 35 shrubs required
 - Railroad: 165 LF / 35 LF = 5 trees required
 - Railroad: 165 LF / 3 LF = 55 shrubs required
- PROVIDED**
1. E Kemper Rd: 3 Golden Raintree = 3 trees provided
2. Tri County Pkwy: 5 Wildfire Black Gum = 5 trees provided
- 48 S. Inkberry, 27 Jap. Barbary = 75 shrubs provided
- Lowe's: 3 Shumard Oak = 3 trees provided
- 34 S. Inkberry, 19 Dense Yew = 53 shrubs provided
- Railroad: 5 Wildfire Black Gum = 5 trees provided
- 33 Dense Yew, 9 A.W. Spirea, 13 S. Inkberry = 55 shrubs provided

D. INTERIOR LANDSCAPE

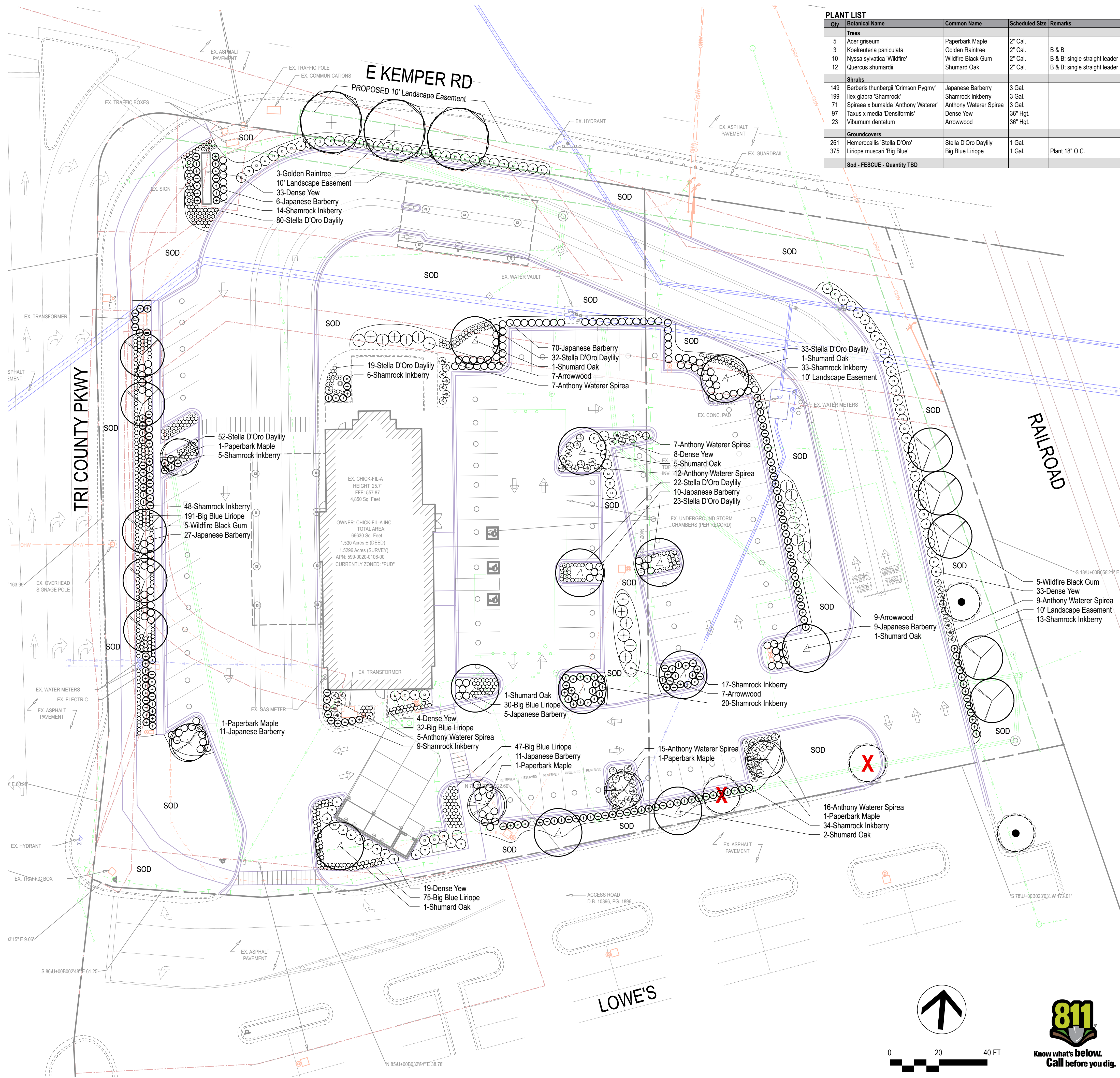
- Min. 180 SF per island, min. 8 FT distance back of curb to back of curb, all trees min. 4 FT from edge of pavement, parking trees clear trunk min. 5 FT above ground
 - Canopy or small/ornamental trees accepted to be planted in VUA landscape areas
- REQUIRED**
- 10 SF landscape area required per 100 SF VUA
 - 29,017 SF / 100 SF = 290 SF landscape area required
 - 1 tree required per 25 parking spaces (each island requires min. 1 tree)
 - 72 spaces / 25 = 3 trees required
 - 6 shrubs required per 25 parking spaces (each island requires min. 4 shrubs)
 - 72 spaces / 25 = 3 X 6 = 18 shrubs required
- PROVIDED**
1. Interior landscape area = 4,790 SF landscape area provided
2. 9 Shumard Oak, 5 Paperbark Maple = 14 trees provided
3. Minimum 4 shrubs per island - requirement exceeded > 18 shrubs provided

E. TREE PRESERVATION

- No landmark or protected trees to be removed without permission
- 2 trees to be removed, 1 tree to be preserved
- Tree survey required if more information is needed

LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING



PLANT LIST

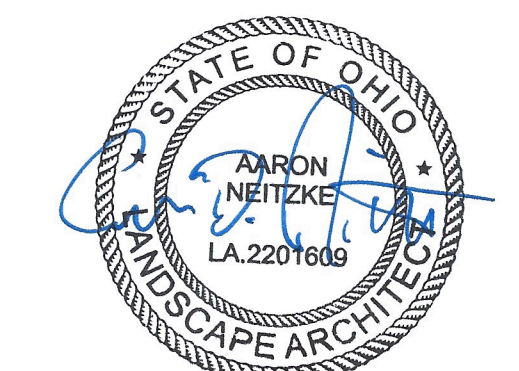
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
5	Acer griseum	Paperbark Maple	2" Cal.	B & B
3	Koeleruteria paniculata	Golden Raintree	2" Cal.	B & B; single straight leader
10	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	2" Cal.	B & B; single straight leader
12	Quercus shumardii	Shumard Oak	2" Cal.	B & B; single straight leader
Shrubs				
149	Berberis thunbergii 'Crimson Pygmy'	Japanese Barberry	3 Gal.	
199	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 Gal.	
71	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal.	
97	Taxus x media 'Densiformis'	Dense Yew	36" Hgt.	
23	Viburnum dentatum	Arrowwood	36" Hgt.	
Groundcovers				
261	Heimerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 Gal.	
375	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	Plant 18" O.C.
Sod - FESCUE - Quantity TBD				



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



Manley Land Design, Inc.
 51 Old Canton Street
 Alpharetta, Georgia 30009
 770.442.8171 tel



CHICK-FIL-A
SPRINGDALE FSU
 501 E KEMPER RD
 SPRINGDALE, OH 45246

FSU# 01614

REVISION SCHEDULE

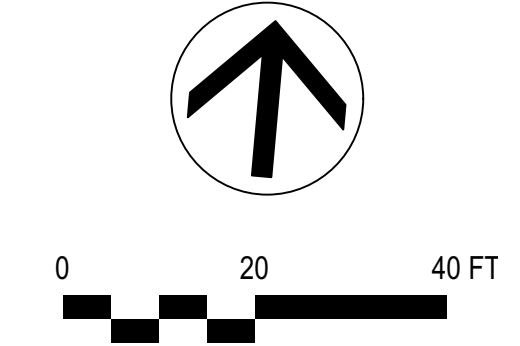
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DATE	10/5/23
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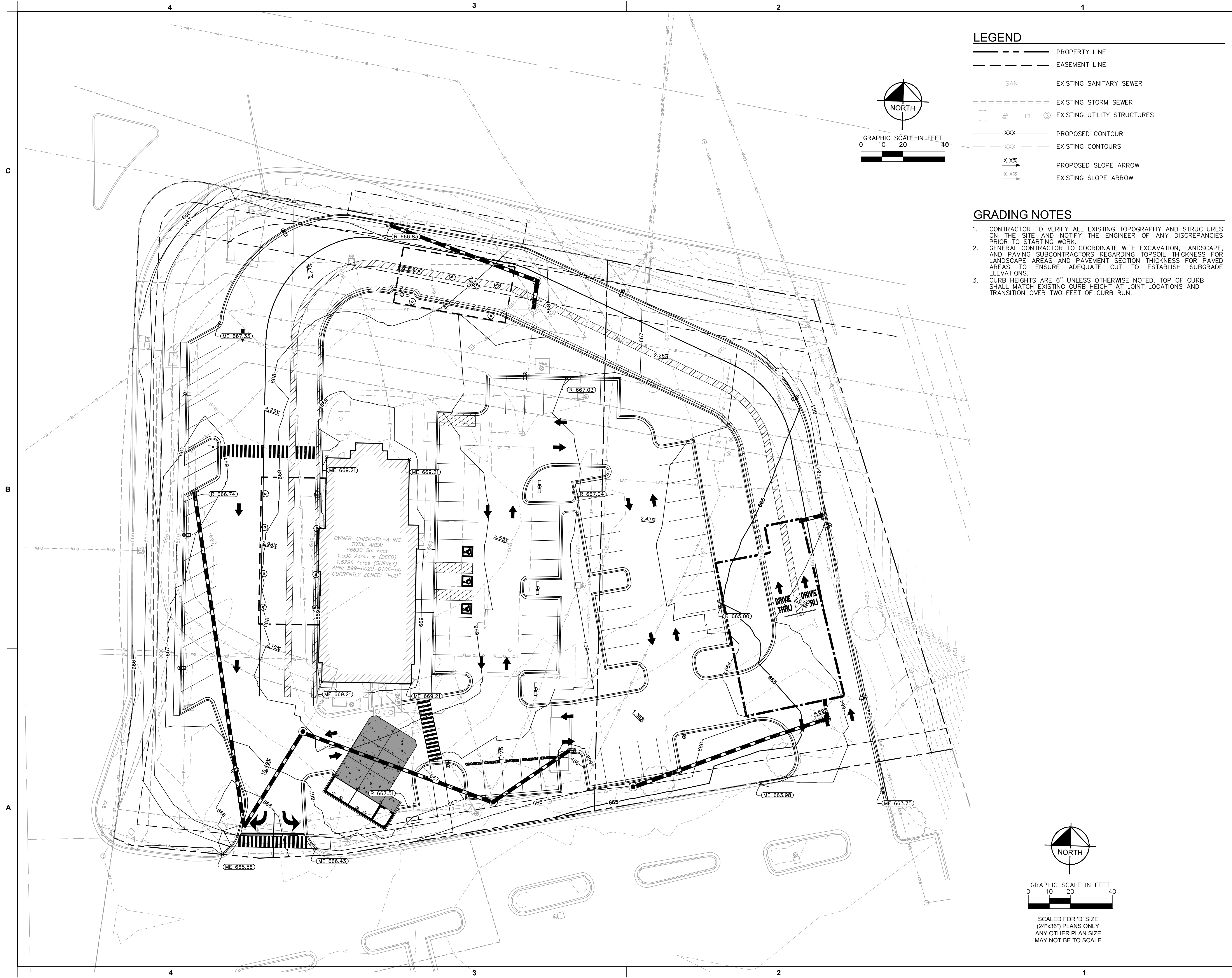
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PERMIT Landscape Plan

SHEET NUMBER **L-100**



K:\CHS_LDEV\Chick-Fil-A\1614 - Springdale FSU_Springdale_OH\2023\CADD\PLAN SHEETS\C300 DRAINAGE AND GRADING.dwg
30 October 2023



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- SAN --- EXISTING SANITARY SEWER
- - - - - EXISTING STORM SEWER
- ○ ⊕ ⊙ EXISTING UTILITY STRUCTURES
- XXX--- PROPOSED CONTOUR
- - - - - XXX - - - EXISTING CONTOURS
- X.X% PROPOSED SLOPE ARROW
- X.X% EXISTING SLOPE ARROW

NORTH

GRAPHIC SCALE IN FEET

0 10 20 40

- GRADING NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - CURB HEIGHTS ARE 6" UNLESS OTHERWISE NOTED. TOP OF CURB SHALL MATCH EXISTING CURB HEIGHT AT JOINT LOCATIONS AND TRANSITION OVER TWO FEET OF CURB RUN.

OWNER: CHICK-FIL-A INC
TOTAL AREA:
66630 Sq. Feet
1.530 Acres ± (DEED)
1.5296 Acres (SURVEY)
APN: 593-0020-0106-00
CURRENTLY ZONED: "PUD"



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

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7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235
PHONE: 816-652-0350
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CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

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SHEET CONCEPT GRADING PLAN

SHEET NUMBER

C300

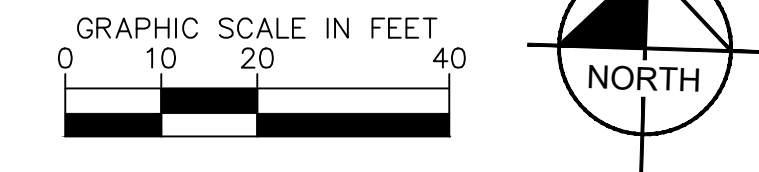
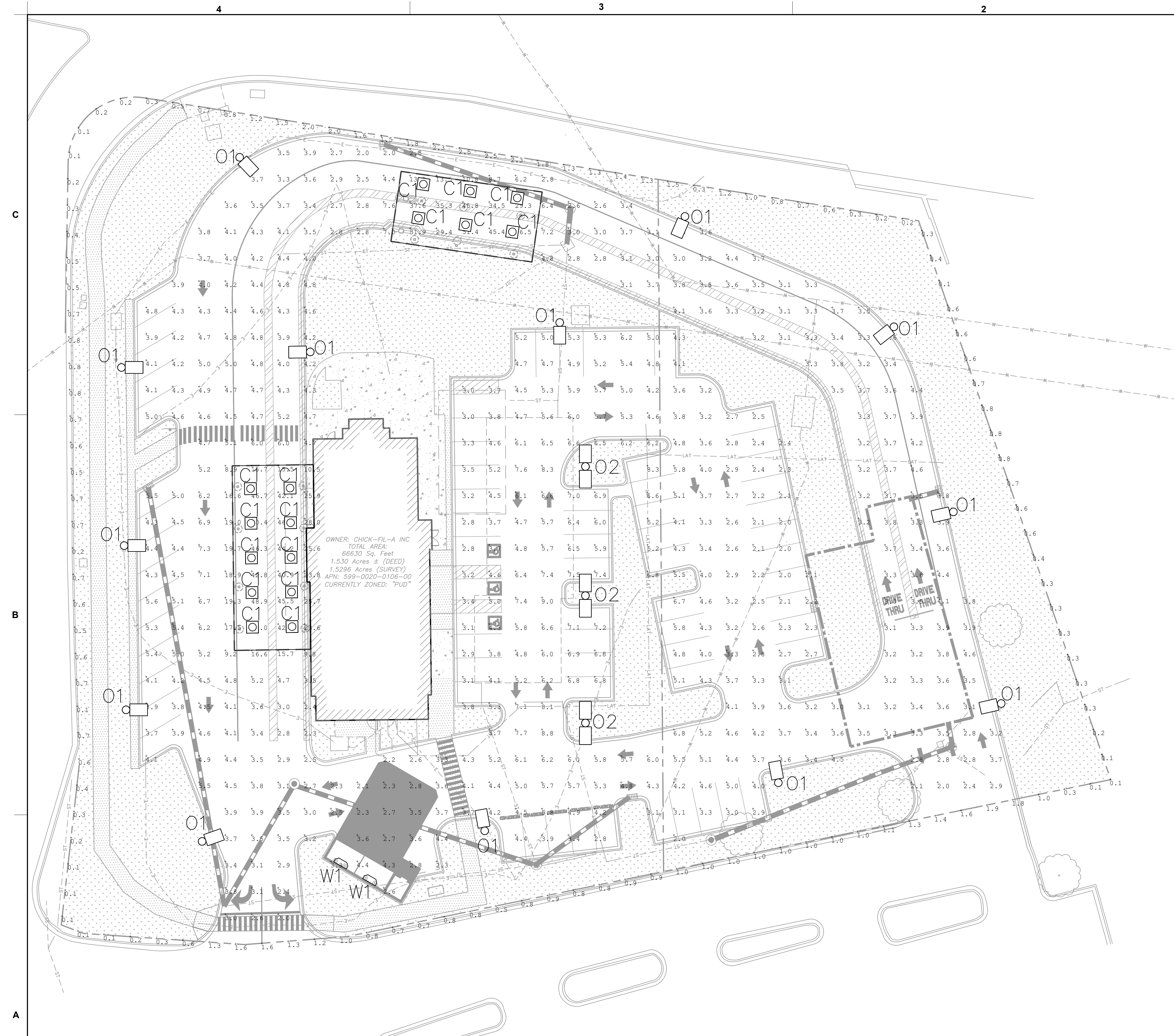
NORTH

GRAPHIC SCALE IN FEET

0 10 20 40

SCALED FOR 'D' SIZE
(24"x36") PLANS ONLY
ANY OTHER PLAN SIZE
MAY NOT BE TO SCALE

K:\CHS_DEV\Chick-Fil-A\1614 - Springdale FSU_Springdale_CADD\PLAN SHEETS\PH100 PHOTOMETRICS.dwg
25 October 2023



TARGET ILLUMINANCE VALUES						
CALC TYPE	CALC REQUIREMENT	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING LOT	CFA	4.0	9.0	1.9	2.0	-
	SPRINGDALE	2.0	10.0	-	-	15.0
SITE CANOPY	CFA	35-40	-	-	-	-
	SPRINGDALE	-	2.5	-	-	-
PROPERTY LINE	CFA	1.2	-	-	-	-
	SPRINGDALE	-	-	-	-	-

TARGET ILLUMINANCE LEVELS BASED ON THE CFA STANDARD LIGHTING LEVELS AND SPRINGDALE, OH CODE OF ORDINANCES. THE MOST STRINGENT OF THE TWO ARE OBSERVED.

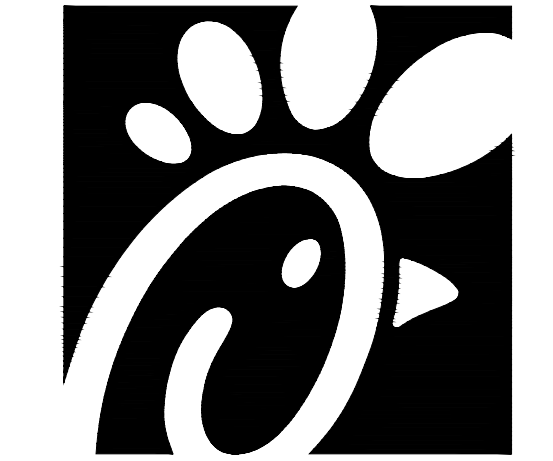
CALCULATION SUMMARY						
ZONE	CALC TYPE	AVG	MAX	MIN	AVG/MIN	MAX/MIN
①	PARKING LOT (TYPICAL)	4.15	9.00	2.00	2.08	4.50
②	NORTH CANOPY	35.48	51.40	13.20	2.69	3.89
③	WEST CANOPY	35.09	50.40	10.50	3.34	4.80
④	SITE BOUNDARY	0.79	2.50	0.10	7.90	25.00

PHOTOMETRICS LEGEND	
	SINGLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION)
	DOUBLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION)
	WALL-PACK LUMINAIRE, WALL-MOUNTED
	CANOPY DOWNLIGHT
*X.X	CALCULATION POINT

- PHOTOMETRICS NOTES**
- ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC). 1 FC = 10.76 LUX.
 - CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
 - ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
 - THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING AND LANDSCAPE LIGHTING THAT IS CONSIDERED IRRELEVANT TO THE PURPOSE OF THE STUDY.
 - CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
 - CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. ALL PROPOSED LUMINAIRE STYLES, COLORS AND MOUNTING TYPES SHALL BE SUBMITTED AND APPROVED BY ENGINEER, ARCHITECT AND OWNER. EXACT BUILDING MOUNT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND SHOULD BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. EXACT CANOPY MOUNT FIXTURE LOCATION AND MOUNTING STYLE SHALL BE COORDINATED WITH CANOPY DESIGNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THAT WALL AND CANOPY MOUNTED FIXTURES ARE COMPATIBLE WITH RESPECTIVE MOUNTING LOCATION. CONTRACTOR SHALL ORDER ACCESSORIES FOR APPROPRIATE MOUNTING.
 - ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
 - FINAL ELECTRICAL DESIGN AND POLE FOUNDATION DETAILS BY OTHERS.
 - LIGHTING DESIGN WAS PERFORMED IN ACCORDANCE WITH CFA STANDARD LIGHTING LEVELS AND WITH SECTION 153.351 OF THE CITY OF SPRINGDALE CODE OF ORDINANCES. ALL VALUE ENGINEER ALTERNATIVES SHALL BE SUBMITTED BY CONTRACTOR AND APPROVED BY ENGINEER, ARCHITECT AND OWNER PRIOR TO PURCHASE. CALCULATIONS ARE BASED ON MODEL NUMBERS LISTED IN THE LIGHT FIXTURE SCHEDULE. VALUE ENGINEER ALTERNATIVES MAY NOT PRODUCE THE SAME CALCULATIONS.
 - LUMINAIRE CONTROL PROVISIONS SHALL BE INCLUDED AND FINALIZED BY DESIGN ENGINEER. CONTROL SHALL BE COMPLIANT WITH CITY CODE. LIGHT FIXTURES SHALL BE ORDERED WITH ACCESSORIES TO MEET THE INTENT OF THE LIGHTING CONTROLS. ACCESSORIES THAT SHOULD BE INCLUDED FOR CONTROL ARE NOT LISTED ON THIS PLAN AND SHOULD BE CONFIRMED WITH DESIGN ENGINEER PRIOR TO PURCHASE.

LIGHT FIXTURE SCHEDULE												NOTES	
SYMBOL	TAG	DESCRIPTION	MODEL NUMBER	LLF	CRI	MOUNTING STYLE	LAMPS	VOLTAGE	WATTS/FIXTURE	LUMENS/FIXTURE	COLOR		MOUNTING HEIGHT
	O1	SINGLE LUMARK PREVALE LED AREA/SITE LUMINAIRE	PRV-C60-730-D-UNV-T4-XX-XX	0.90	70	POLE	LED	UNV	153	19,621	3000K	24'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	O2	DUAL LUMARK PREVALE LED AREA/SITE LUMINAIRE	PRV-C60-730-D-UNV-T4-XX-XX	0.90	70	POLE	LED	UNV	153	19,621	3000K	24'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE.
	C1	LSI SCOTTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE	CRUS-SC-LED-LW-30-UE-XXX	0.90	70	CANOPY	LED	UNV	73	10,457	3000K	9'-6"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING.
	W1	HUBBELL OUTDOOR LIGHTING LED COMPACT WALL PACK	LNC-5L-U-3K-3-X	0.90	70	WALL	LED	120-277	13	849	3000K	8'-0"	CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE.

NOTE: O=OUTDOOR, C=CANOPY MOUNT, W=WALL MOUNT



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235
PHONE: 816-652-0350
WWW.KIMLEY-HORN.COM

CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 268214000
PRINTED FOR JHP
DATE 10/30/2023
DRAWN BY CWW

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SHEET SITE PHOTOMETRICS

SHEET NUMBER

PH100



Chick-fil-A
501 East Kemper Road
Modification to a PUD and Zone Map Amendment
Application# 2023-0739
November 14, 2023

Request:

Approval of a PUD modification and a zone change to allow for the expansion of the existing drive thru area with revisions to the parking layout and site.

Proposal:

Chick-fil-A is currently located on a 1.53 acre parcel (ID# 059900200106) that is zoned “PUD” Planned Unit Development. To better serve their growing customer base, Chick-fil-A has purchased the adjacent vacant 0.74 acres (Parcel 0599-0020-00135) to the east, which is zoned “SS” Support Services. The two members of Council who sit on Planning Commission will need to determine if the modification to the request to the PUD is a major or minor amendment to the PUD. Given the proposed modifications to the site design and circulation, staff believes, per Section 153.256 (H) (1), the proposed change is a major amendment. Additionally, Planning Commission will need to make a recommendation to Council on the proposed zone map amendment from “SS” Support Services to “PUD” Planned Unit Development. The recent “Plan Springdale” designates the property as “Regional Mixed Use”. Per Section 153.255 (C) (1) (c), a parcel of less than three acres may be added to an existing “PUD”.

The applicant is proposing to revise the site layout to provide better on-site circulation for customers going into the restaurants and those using the drive thru. A total of 47 parking spaces would be located within the drive thru lane reducing the existing vehicle/pedestrian conflict points on the east side of the site. The two extended drive thru lanes increase the number of stacking spaces to 27.

Comments:

- 1) The existing 4,850 square foot store is not being modified. A total of 34 parking spaces are required per Section 153.302 (P). Currently the site has 59 parking spaces, and a total of 72 parking spaces are proposed with this request. The site does provide the additional landscaping required by Section 153.302 (Q) (1) (c) since the parking provided exceeds that required by over 30%.
- 2) The total site area is 98,785 square feet. The applicant is proposing a total of 29,755 square feet of green space (30.17%). Per Section 153.255 (E) (5), a minimum of 25% green space is required. The applicant is proposing 30.17% of the site to be landscaped open space.
- 3) A 10’ setback is required per Section 153.404 (G) where a parking area or drive aisle abuts a public or private street/access drive. This would pertain to the north, west, and south property lines. Drive aisles and parking areas are not indicated to be set

back from public or private/access drives 10 feet to the north (adjacent to East Kemper Road) or the south (adjacent to the private access drive). The applicant indicates in written correspondence that all the setbacks will be 10 feet, consistent with Section 153.404 (G) however, Sheet C-200 still shows setbacks below 10 feet and landscaping in the bypass lane.

- 4) The proposed drive thru stacking lanes are indicated to be 9 feet in width where 10 feet is required per Section 153.304 (B) (1). In written correspondence, the applicant indicates that the stacking aisles will be 10' wide, however Sheet C-200 shows them as 9' wide.
- 5) Drive thru stacking lanes, per Section 153.304 (C), must be located 25 feet from a right-of-way. The applicant indicates that due to site constraints, the stacking lanes cannot be set back 25', but they have not provided the proposed setback. The setback of the proposed drive thru stacking from the Kemper Road right-of-way needs to be provided.
- 6) Section 153.302 (D) (5) requires the bypass access drive to be a minimum of 10 feet in width. Sheet C-200 indicates the bypass access is to be only 9' in width.
- 7) To provide a safe pedestrian connection across the drive aisle and two drive thru lanes on the west side of the store, a flashing Ped X sign needs to be provided at the crosswalk. The applicant has indicated such a sign on Sheet C-200.
- 8) A landscape plan was submitted to which staff has the following comments:
 - A) There is no Landscape Plan uploaded in this latest submission. The Landscape Comment response letter, dated 10.30.2023, states bufferyard plant quantities were updated, however there is no plan.
 - B) The Landscape Comment response letter states that a tree survey is forthcoming and existing tree locations were temporary added to the Plan based on Google Maps imagery. The plan set needs to accurately identify all the trees are their current size to be removed even if they were planted as part of the recent site improvements.
 - C) Plant diversity is provided, however the plant quantities should be spread equally amongst the different species. Shrub quantities need to be more equally divided.

The Applicant requested clarification on the requirement in the code. Plant material diversity, with even distribution, is required per Section 153.403 (E).

	Shrubs	
149	Berberis thunbergii 'Crimson Pygmy'	Japanese Barberry
199	Ilex glabra 'Shamrock'	Shamrock Inkberry
71	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea
97	Taxus x media 'Densifomis'	Dense Yew
23	Viburnum dentatum	Arrowwood

- 9) Given the amount of traffic generated by the use and the potential for vehicular/pedestrian conflicts on site, staff would consider the use a medium activity level use. The applicant is proposing LED lighting for the site mounted at 24 feet which is permitted per Table 351-1. The permitted average illumination is 2.0 footcandles. The applicant is proposing an average of 4.15 footcandles in the parking areas and over 35 footcandles under the service canopy. A maximum of 10 footcandles is permitted where the applicant is proposing a maximum of 8 footcandles in the parking lot areas and 51.4 footcandles under the north service canopy. The color of the poles and fixtures is indicated as “3,000 K” with no additional information provided other than a note indicating “pole/fixture finishes to be selected by architect/owner”. Per Section 153.351 (E) (4), all fixtures and poles must be a dark non-reflective color.
- 10) The existing waste enclosure is to be relocated to the south property line. It is to remain compliant with Section 153.254 (G) and be located not less than 5 feet from the property line.
- 11) There are no modifications to the building or on-site signage needs to be provided.

Considerations:

Should Planning Commission choose to recommend approval of the “PUD” major modification and recommend approval of the zone map amendment from “SS” to “PUD”, the following items should be considered:

- 1) The two members of Planning Commission who serve on Council determine that per Section 153.256 (H) (1), the proposed modifications to the existing “PUD” is a major amendment.
- 2) The minimum landscape area of the total 98,785 square foot site is 30.71% (29,721 square feet).
- 3) A 10 foot setback, per Section 153.404 (G), be provided from all parking areas and drive aisles to public or private streets/access aisles.
- 4) All stacking lanes, per Section 153.304 (B) (1), be a minimum of 10 feet in width.
- 5) Per Section 153.302 (D) (5), the bypass access drive shall have a minimum width of 10 feet.
- 6) The applicant provide the proposed setbacks for the drive thru stacking lanes and Planning Commission determine if the proposed setback is appropriate.
- 7) The Landscape Plan be revised per staff comments.
- 8) The relocated waste enclosure will comply with all the requirements of Section 153.254 (G).

- 9) There are no modifications to the existing building, building or free standing signage.
- 10) Planning Commission needs to determine if the proposed photometric lighting plan is appropriate in terms of light levels. All fixtures and poles are to be a dark non-reflective color.

Planning Commission Actions:

- 1) Planning Commission determine that the proposed Major Amendment to the existing Final Development Plan is appropriate and recommend approval to City Council.
- 2) Planning Commission determine that the proposed zone map amendment for the 0.74 acre parcel from “SS” Support Services to “PUD” Planned Unit Development is consistent with Plan Springdale and should be approved. The submitted Preliminary/Final Development Plan submitted as a part of the zone map amendment should be approved with the “PUD” zone map amendment.

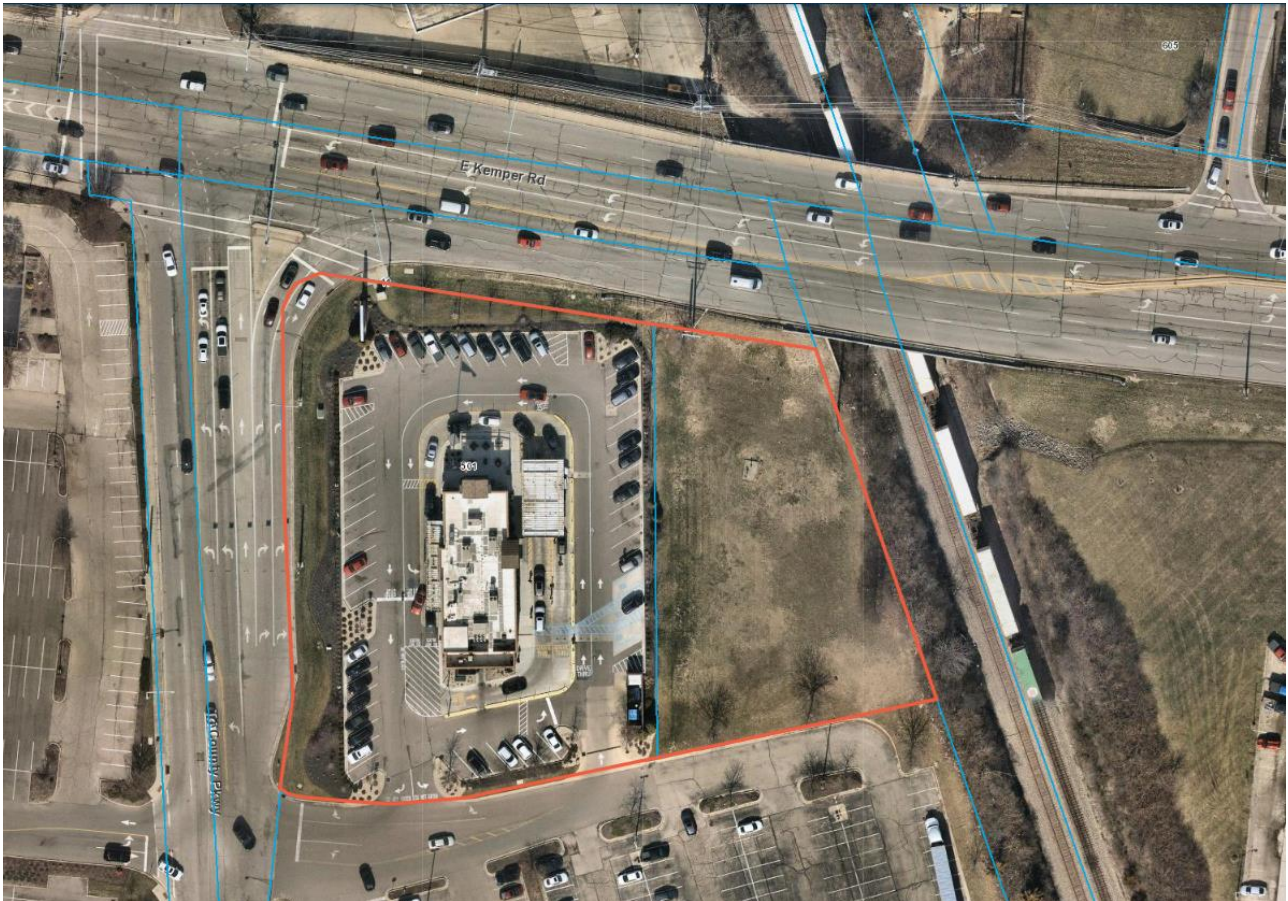
Submitted By:

Anne F. McBride, FAICP
City Planner

MDC# 1517

CHICK-FIL-A
501 E. KEMPER ROAD
PLAN REVIEW APP # 20230739
19020115
NOVEMBER 10, 2023

PLANNING COMMISSION
ENGINEERING REVIEW



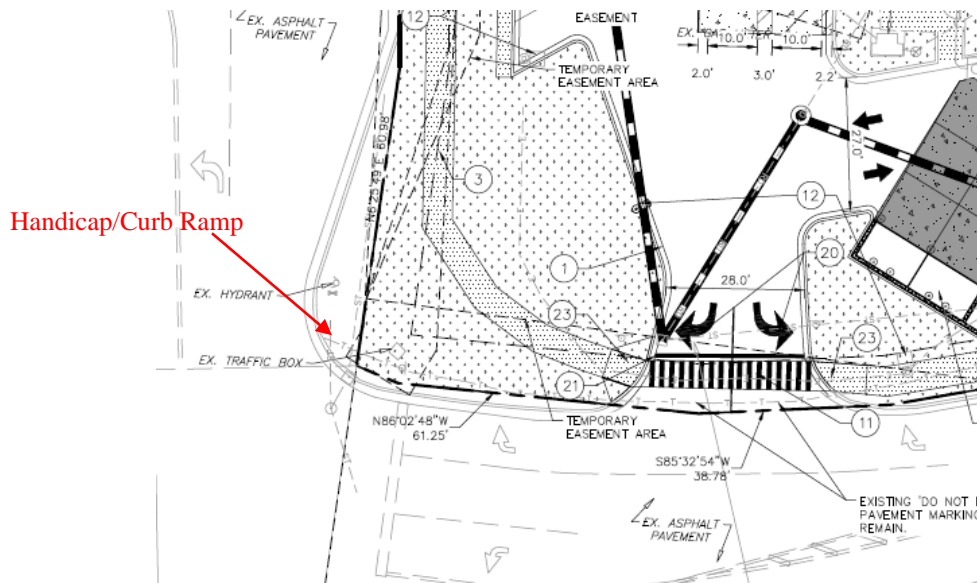
PROJECT SITE

REQUEST: The Applicant is requesting to utilize the recently acquired adjacent parcel to improve the Chick-fil-A’s service capacity. The existing conditions are such that the site experiences a significant backlog during peak hours leading to congestion along access roads. The improvements also aim to increase pedestrian connectivity by creating sidewalk paths directly to the building.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale’s Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

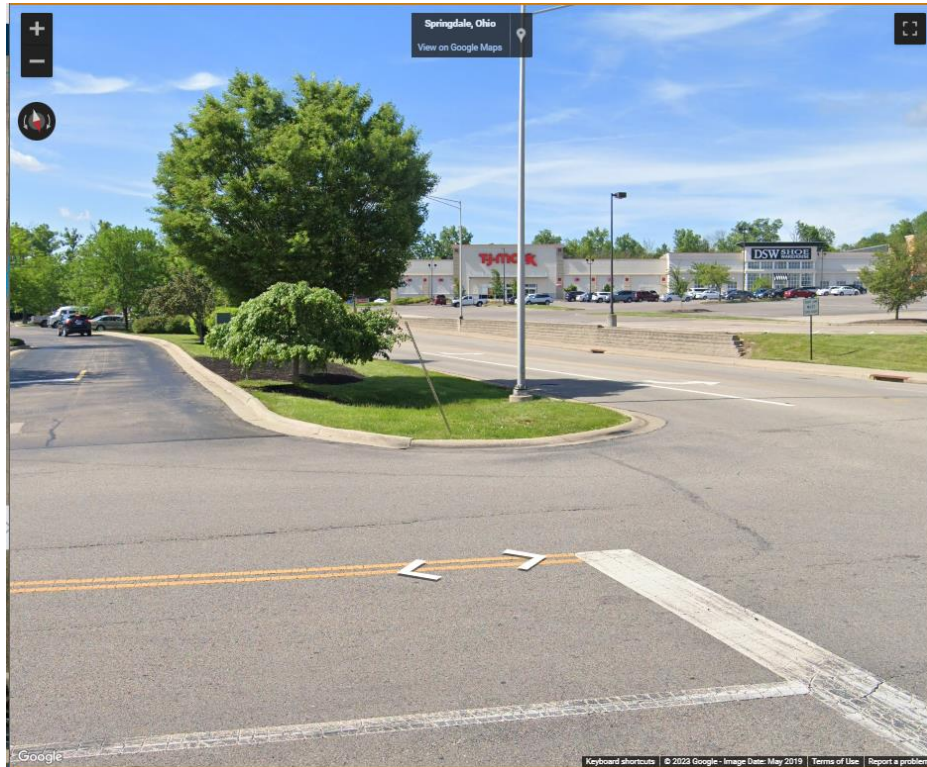
A. SITE LAYOUT

1. The sidewalk tie-in shall be revised to better align with the existing ramp. The sidewalk at this location may need to be wider and located at the back of curb. The submitted site plan dated October 30, 2023, noted that the proposed connection to the existing curb ramp is to be finalized in the construction drawings.
2. The site plans shall also be revised to extend the sidewalk to the curb at the shared entrance drive along Tri-County Parkway and construct a handicap/curb ramp. The curb ramp shall be oriented for a future ramp to the south crossing the shared entrance roadway.

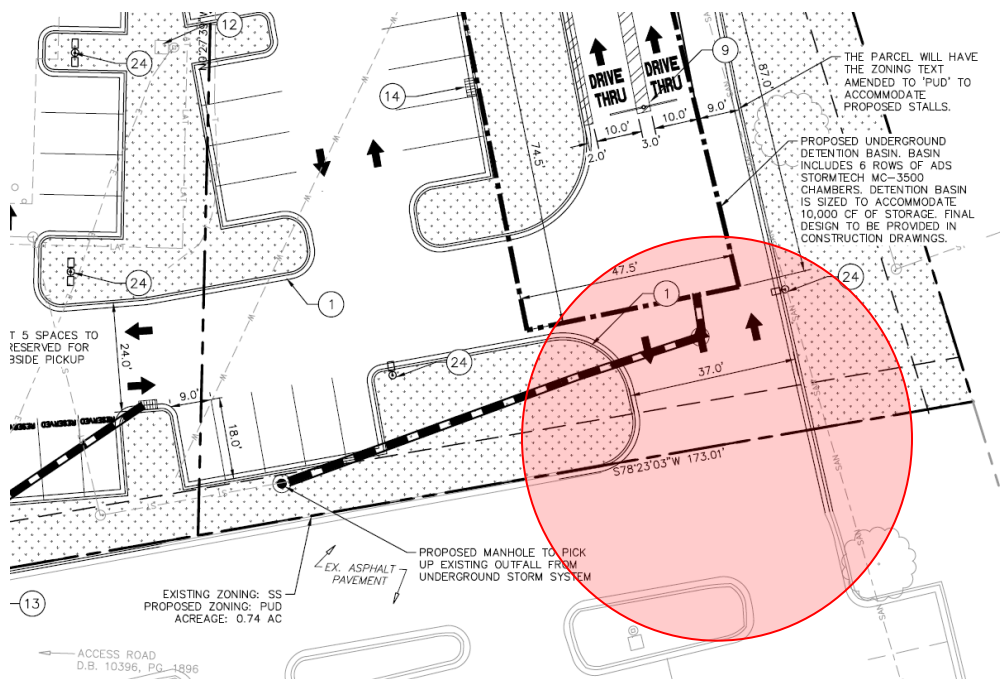


3. The proposed sidewalk to be constructed within the public right-of-way shall conform to the City regulations and PROWAG. As per City regulations, 150.31(G), One course class C concrete sidewalks shall be constructed where shown on the plan or typical sections, including all walkways. One-half inch expansion joints shall be placed at intervals not to exceed 100 feet, and contraction joints equally spaced at 5-foot intervals. All sidewalks shall connect to the pavement or curb at intersections, with 1/2-inch expansion joint between the walk and curb. Handicap ramps shall be placed in all curbs as per the city standard construction drawings. The minimum width of the sidewalk shall be 5'.
4. The site plan shall include a sidewalk detail/typical for installations included in the public right-of-way in part of the construction plans. Where the location of the proposed sidewalk varies from the typical, the distance from the back of curb shall be noted on the site plans.
5. Per City regulation §93.15, a driveway application and permit are required for work within the public right-of-way. The Applicant will need to include all details for work inside the public right-of-way such as curb replacement, pavement restoration, storm sewer installation/trench backfill, etc., in the final construction plans. The Applicant shall refer to the appropriate City / ODOT specifications and details associated with the proposed installations within the right-of-way.
6. It was noted that grading and landscaping installations / easements was proposed within the Kemper Road right-of-way. A copy of the approved permit and recorded easement from the County shall be provided by the applicant prior to issuance of the construction permit.

- 7. There is a concern with the site distance at the intersection of the at the shared entrance drive along Tri-County Parkway. It is recommended that the applicant coordinate with the adjoining property owner to the south to improve the situation.



- 8. It is recommended that the western entrance be reduced to two lanes (entrance lane and exit lane).



9. The site plan includes construction of drive-thru canopy immediately adjacent to a water main easement. The canopy shall be located outside of the easement and it is recommended that the existing easement(s) be staked prior to construction of the canopy.

B. UTILITIES

1. The city has been notified of past issues/breaks associated with the private sewer line located on the eastern property line. It is advised that the applicant inspect the line prior to construction.

C. STORMWATER MANAGEMENT

1. Post construction water quality best management practices:
 - a. As per the City regulations 151.04(A)(4), Improvements shall be designed such that, at a minimum, all developed areas are treated with an acceptable postconstruction storm water quality best management practice. Practices chosen must be sized to treat the water quality volume (WQv) and to ensure compliance to the maximum extent practicable with Ohio EPA Water Quality Standards (Ohio Administrative Code Chapter 3745-1) and Ohio EPA Construction General Storm Water NPDES discharge permit requirements applicable to the property. The WQv shall be equal to the volume of runoff from a 0.75-inch rainfall. Sites that have been previously developed where no Post-Construction BMPs were installed are required to provide:
 - a. A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
 - b. Treatment of at least 20 percent of the WQv.
 - c. A combination of (a) and (b).

The site plans and dated October 30, 2023, indicate that existing site impervious area is to be increased from 48,588 SF to 69,364 SF, providing a 20,766 SF or 42.8% increase as part of the proposed expansion. To manage the increased runoff, an additional underground detention system is proposed consisting of 6 rows of ADS Stormtech MC-3500 chambers, to accommodate 10,000 CF of storage. The stormwater memo indicates that a more detailed design of the underground detention will be provided at the time of the Construction Drawing Submittal. This is acceptable to Staff however final stormwater management calculations shall also be provided with the construction plans.

- b. As per the City regulations 151.04(F), All underground detention chambers shall be inspected by the property owner to ensure that the detention chambers are in compliance with the approved water management and sediment control plan and the city's regulations. The site plans shall be revised to include a note to clean and inspect the both the existing and proposed underground detention chamber isolator rows after construction to ensure they maintain their functionality.
- c. As per the City regulations 151.04(7)(b), an Operation and Maintenance Agreement will need to be completed for the post construction water quality measures and recorded as a covenant, prior to the Certificate of Occupancy being granted.
- d. No grading work will be permitted on the site until all OEPA and/or USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved

by the city and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#). The site plans dated October 30, 2023, indicate that the limit of disturbance encompasses 2.16 acres, therefore a detailed Storm Water Pollution Prevention Plan (SWP3) is required. The applicant shall submit a copy of the Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit with the construction plans.

It should be noted that plans approved by the City of Springdale subject to the condition of compliance with applicable Federal, State and local laws, rules, regulations and standards. Approval of plans does not constitute an assurance that the proposed improvements will properly function, operate or meet-compliance with Federal, State or local laws and regulations.

ORDINANCE NO. 51-2023

AN ORDINANCE AMENDING CHAPTER 94 OF THE CODE OF ORDINANCES OF THE CITY OF SPRINGDALE, OHIO AND DECLARING AN EMERGENCY

WHEREAS, Council of the City of Springdale (“City Council”) seeks to make certain amendments to Chapter 94 of the Code of Ordinances of the City of Springdale so that it is consistent with changes made by the Ohio legislature to state tax laws; and

WHEREAS, City Council seeks to have these amendments to the City’s tax code go into effect beginning in tax year 2024.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, _____ members elected thereto concurring:

Section 1. Chapter 94 of the Code of Ordinances of the City of Springdale shall be amended as provided for in the attached Exhibit A which is incorporated herein by reference. All other provisions contained in Chapter 94 of the Code of Ordinances of the City of Springdale not specifically revised in the attached Exhibit A shall remain in full force and effect.

Section 2. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall take effect on the earliest date allowed by law.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the emergency is the need to have these revised code sections go into effect at the beginning of tax year 2024.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

EXHIBIT A

ORDINANCE 51-2023

CHAPTER 94: TAXATION (EFFECTIVE BEGINNING JANUARY 1, 2016)

§ 94.03 DEFINITIONS.

As used in this chapter:

(1) ADJUSTED FEDERAL TAXABLE INCOME. For a person required to file as a C corporation, or for a person that has elected to be taxed as a C corporation under division 23(D) of this section, means a C corporation's federal taxable income before net operating losses and special deductions as determined under the Internal Revenue Code, adjusted as follows:

(M) Compensation paid to a person employed within the boundaries of a United States ~~air force~~Air Force base under the jurisdiction of the United States ~~air force~~Air Force that is used for the housing of members of the United States ~~air force~~Air Force and is a center for A~~air~~ F~~force~~ operations, unless the person is subject to taxation because of residence or domicile. If the compensation is subject to taxation because of residence or domicile, tax on such income shall be payable only to the municipal corporation of residence or domicile.

(O) ~~Intentionally left blank.~~ For tax years 2024 and after, the income of individuals under 18 years of age.

(44) TAX ADMINISTRATOR (Tax Commissioner). The individual charged with direct responsibility for administration of an income tax levied by a municipal corporation in accordance with this chapter, and also includes the following:

§ 94.05 COLLECTION AT SOURCE.

94.053 COLLECTION AT SOURCE; CASINO AND VLT.

(H) If a casino operator or lottery sales agent files a return late, fails to file a return, remits amounts deducted and withheld late, or fails to remit amounts deducted and withheld as required under this section, the Tax Administrator of a municipal corporation may impose the following applicable penalty:

(1) For the late remittance of, or failure to remit, tax deducted and withheld under this section, a penalty equal to 50% of the tax deducted and withheld;

(2) For the failure to file, or the late filing of, a monthly or annual return, a one-time penalty of ~~\$500~~25 for each return not filed or filed late. Interest shall accrue on past due amounts deducted and withheld at the rate prescribed in R.C. § 5703.47.

§ 94.06 INCOME SUBJECT TO NET PROFIT TAX.

EXHIBIT A

ORDINANCE 51-2023

94.062 NET PROFIT; INCOME SUBJECT TO NET PROFIT TAX; ALTERNATIVE APPORTIONMENT.

This section applies to any taxpayer engaged in a business or profession in the municipality unless the taxpayer is an individual who resides in the municipality or the taxpayer is an electric company, combined company, or telephone company that is subject to and required to file reports under R.C. Chapter 5745.

(A) Except as otherwise provide in divisions (B) and (I) of this section , ~~N~~net profit from a business or profession conducted both within and without the boundaries of the municipality shall be considered as having a taxable situs in the municipality for purposes of municipal income taxation in the same proportion as the average ratio of the following:

(D) For the purposes of division (A)(3) of this section, and except as provided in division (I) of this section, receipts from sales and rentals made and services performed shall be sitused to a municipal corporation as follows:

(I)(1) As used in this division:

(a) "Qualifying remote employee or owner" means an individual who is an employee of a taxpayer or who is a partner or member holding an ownership interest in a taxpayer that is treated as a partnership for federal income tax purposes, provided that the individual meets both of the following criteria:

(i) The taxpayer has assigned the individual to a qualifying reporting location.

(ii) The individual is permitted or required to perform services for the taxpayer at a qualifying remote work location.

(b) "Qualifying remote work location" means a permanent or temporary location at which an employee or owner chooses or is required to perform services for the taxpayer, other than a reporting location of the taxpayer or any other location owned or controlled by a customer or client of the taxpayer. "Qualifying remote work location" may include the residence of an employee or owner and may be located outside of a municipal corporation that imposes an income tax in accordance with this chapter. An employee or owner may have more than one qualifying remote work location during a taxable year.

(c) "Reporting location" means either of the following:

(i) A permanent or temporary place of doing business, such as an office, warehouse, storefront, construction site, or similar location, that is owned or controlled directly or indirectly by the taxpayer;

(ii) Any location in this state owned or controlled by a customer or client of the taxpayer, provided that the taxpayer is required to withhold taxes under § 94.05 of this Ordinance,

EXHIBIT A

ORDINANCE 51-2023

on qualifying wages paid to an employee for the performance of personal services at that location.

(d) "Qualifying reporting location" means one of the following:

(i) The reporting location in this state at which an employee or owner performs services for the taxpayer on a regular or periodic basis during the taxable year;

(ii) If no reporting location exists in this state for an employee or owner under division (I)(1)(d)(i) of this section, the reporting location in this state at which the employee's or owner's supervisor regularly or periodically reports during the taxable year;

(iii) If no reporting location exists in this state for an employee or owner under division (I)(1)(d)(i) or (ii) of this section, the location that the taxpayer otherwise assigns as the employee's or owner's qualifying reporting location, provided the assignment is made in good faith and is recorded and maintained in the taxpayer's business records. A taxpayer may change the qualifying reporting location designated for an employee or owner under this division at any time.

(2) For tax years ending on or after December 31, 2023, a taxpayer may elect to apply the provisions of this division to the apportionment of its net profit from a business or profession. For taxpayers that make this election, the provisions of division (A) of this section apply to such apportionment except as otherwise provided in this division.

A taxpayer shall make the election allowed under this division in writing on or with the taxpayer's net profit return or, if applicable, a timely filed amended net profit return or a timely filed appeal of an assessment. The election applies to the taxable year for which that return or appeal is filed and for all subsequent taxable years, until the taxpayer revokes the election.

The taxpayer shall make the initial election with the tax administrator of each municipal corporation with which, after applying the apportionment provisions authorized in this division, the taxpayer is required to file a net profit tax return for that taxable year. A taxpayer shall not be required to notify the tax administrator of a municipal corporation in which a qualifying remote employee's or owner's qualifying remote work location is located, unless the taxpayer is otherwise required to file a net profit return with that municipal corporation due to business operations that are unrelated to the employee's or owner's activity at the qualifying remote work location.

After the taxpayer makes the initial election, the election applies to every municipal corporation in which the taxpayer conducts business. The taxpayer shall not be required to file a net profit return with a municipal corporation solely because a qualifying remote employee's or owner's qualifying remote work location is located in such municipal corporation.

Nothing in this division prohibits a taxpayer from making a new election under this division after properly revoking a prior election.

EXHIBIT A

ORDINANCE 51-2023

(3) For the purpose of calculating the ratios described in division (A) of this section, all of the following apply to a taxpayer that has made the election described in division (I)(2):

(a) For the purpose of division (A)(1) of this section, the average original cost of any tangible personal property used by a qualifying remote employee or owner at that individual's qualifying remote work location shall be situated to that individual's qualifying reporting location.

(b) For the purpose of division (A)(2) of this section, any wages, salaries, and other compensation paid during the taxable period to a qualifying remote employee or owner for services performed at that individual's qualifying remote work location shall be situated to that individual's qualifying reporting location.

(c) For the purpose of division (A)(3) of this section, and notwithstanding division (D) of this section, any gross receipts of the business or profession from services performed during the taxable period by a qualifying remote employee or owner for services performed at that individual's qualifying remote work location shall be situated to that individual's qualifying reporting location.

(4) Nothing in this division prevents a taxpayer from requesting, or a tax administrator from requiring, that the taxpayer use, with respect to all or a portion of the income of the taxpayer, an alternative apportionment method as described in division (B) of this section. However, a tax administrator shall not require an alternative apportionment method in such a manner that it would require a taxpayer to file a net profit return with a municipal corporation solely because a qualifying remote employee's or owner's qualifying remote work location is located in that municipal corporation.

(5) Except as otherwise provided in this division, nothing in this division is intended to affect the withholding of taxes on qualifying wages pursuant to § 94.05 of this Ordinance.

94.094 EXTENSION OF TIME TO FILE.

(A) Any taxpayer that has duly requested an automatic six-month extension for filing the taxpayer's federal income tax return shall automatically receive an extension for the filing of a municipal income tax return. The extended due date of the municipal income tax return shall be the 15th day of the tenth month after the last day of the taxable year to which the return relates. For tax years ending on or after January 1, 2023, the extended due date of the municipal income tax return for a taxpayer that is not an individual shall be the 15th day of the eleventh month after the last day of the taxable year to which the return date relates

EXHIBIT A

ORDINANCE 51-2023

(F) If a taxpayer receives an extension for the filing of a municipal income tax return under division (A), (B), or (C) of this section, the Tax Administrator shall not make any inquiry or send any notice to the taxpayer with regard to the return on or before the date the taxpayer files the return or on or before the extended due date to file the return, whichever occurs first.

If a Tax Administrator violates division (F) of this section, the municipal corporation shall reimburse the taxpayer for any reasonable costs incurred to respond to such inquiry or notice, up to \$150.

Division (F) of this section does not apply to an extension received under division (A) of this section if the Tax Administrator has actual knowledge that the taxpayer failed to file for a federal extension as required to receive the extension under division (A) of this section or failed to file for an extension under division (A) of this section.

§ 94.10 PENALTY, INTEREST, FEES, AND CHARGES.

(C) The municipality shall impose on a taxpayer, employer, any agent of the employer, and any other payer, and will attempt to collect, the interest amounts and penalties prescribed in this section when the taxpayer, employer, any agent of the employer, or any other payer for any reason fails, in whole or in part, to make to the municipality timely and full payment or remittance of income tax, estimated income tax, or withholding tax or to file timely with the municipality any return required to be filed.

(4) (a) For tax years ending on or before December 31, 2022, ~~With~~ with respect to returns other than estimated income tax returns, the municipality shall impose a ~~monthly~~ one-time penalty of \$25 for each failure to timely file each return, regardless of the liability shown thereon for each month, or any fraction thereof, during which the return remains unfiled regardless of the liability shown thereon. The penalty shall not exceed a total of \$150 in assessed penalty for each failure to timely file a return.

(b) For tax years ending on or after January 1, 2023, with respect to returns other than estimated income tax returns, the municipality may impose a penalty not exceeding \$25 for each failure to timely file each return, regardless of the liability shown thereon, except that the municipality shall abate or refund the penalty assessed on a taxpayer's first failure to timely file a return after the taxpayer files that return.

§ 94.13 AUTHORITY AND POWERS OF THE TAX ADMINISTRATOR.

94.131 AUTHORITY OF TAX ADMINISTRATOR; ADMINISTRATIVE POWERS OF THE TAX ADMINISTRATOR.

The Tax Administrator (Tax Commissioner) has the authority to perform all duties and functions necessary and appropriate to implement the provisions of this chapter, including without limitation:

ORDINANCE NO. 52-2023

AN ORDINANCE AUTHORIZING THE PURCHASE OF CERTAIN REAL PROPERTY ASSOCIATED WITH THE NORTHLAND BOULEVARD RECONSTRUCTION PROJECT AND DECLARING AN EMERGENCY

WHEREAS, the City of Springdale (the “City”) seeks to purchase portions of real property needed in order to complete the road construction project along Northland Boulevard (the “Project”); and

WHEREAS, the City has reached an agreement with the owners of the property to be purchased in order to complete the Project.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. The City of Springdale City Council hereby authorizes the Mayor and City Administrator to enter into agreements to purchase the needed portions of the real properties identified in the attached Exhibit A which is incorporated herein by reference. These properties are needed by the City in order to complete the road construction project along Northland Boulevard.

Section 2. The Mayor and City Administrator are authorized to execute any and all documents needed in order to complete the purchase of the properties identified in the attached Exhibit A.

Section 3. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. This Ordinance shall take effect on the earliest date allowed by law.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the emergency is the need to complete these acquisitions in order to meet property acquisition deadlines associated with the Northland Boulevard road project.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

Northland Blvd. Project - Right-of-Way Summary

Parcel #	Name of Owner	Physical Address of Property	Common Name of Property	VA	VF	Pre-Negotiated Estimate	Administrative Settlement	Assumed Settlement	Docs Complete	Vender Info Sent
001	Kikko Properties Ohio, LLC	400 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Wendy's	X		\$ 1,429.00	\$ -	\$ 1,429.00		
002	Pavan of Ohio, LLC	11444 Springfield Pike, Springdale, Hamilton County, Ohio 45246	Domino's Pizza	X		\$ 949.00	\$ -	\$ 949.00		
003						\$ -	\$ -	\$ -		
004	Cobblestone Street II, LLC	11424 Springfield Pike, Springdale, Hamilton County, Ohio 45246	Shell	X		\$ 3,255.00	\$ -	\$ 3,255.00		
005	Kurman Properties, LLC	370 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	AAMCO Transmissions & Total Car Care	X		\$ 1,890.00	\$ 370.00	\$ 2,260.00		
006	INCEPT346, LLC	242 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	The Boulevard Plaza & the State Liquor Agency	X		\$ 300.00	\$ -	\$ 300.00		
007	Daniel Comer, Trustee	365 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Comers Lot	X		\$ 1,106.00	\$ -	\$ 1,106.00		
008	Chinar Management, LLC	290 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Olde Gate Plaza	X		\$ 665.00	\$ 335.00	\$ 1,000.00	10/30/2023	12/4/2023
009							\$ -	\$ -		
010	Pretzel Baron Properties, LLC AKA Ditsch USA, LLC	311 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Pretzel Baron	X		\$ 3,411.00	\$ -	\$ 3,411.00		
011	Springdale Office Center Co., LTD	230-270 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	CMC Office Buildings (3 total)		X	\$ 58,393.00	\$ -	\$ 58,393.00		
012	Steven Dehamer	301 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Springdale Bindery	X		\$ 3,116.00	\$ -	\$ 3,116.00		
013	Springdale Warehouse Center Co., LTD.	285 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Daniel's Textile Rental	X		\$ 1,808.00	\$ -	\$ 1,808.00		
014	HL Property MGMT, LLC	271 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	HighLift Off-Road	X		\$ 2,296.00	\$ -	\$ 2,296.00	12/5/2023	
015	Springdale Warehouse Center Co., LTD.	245 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	CMC Properties, Springdale Cleaners	X		\$ 2,025.00	\$ -	\$ 2,025.00		
016	RJR Real Estate, LLC	225 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Frame USA	X		\$ 7,150.00	\$ 4,030.00	\$ 11,180.00		
017	Northland Properties, Ltd.	200 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Scroggins/Grear Consultants & CPA		X	\$ 21,484.00	\$ -	\$ 21,484.00	12/5/2023	
018	Decastro Management LLC	150 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Kerry Buick GMC		X	\$ 43,988.00	\$ -	\$ 43,988.00		
019	Kemba Credit Union, Inc.	211 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Kemba Credit Union	X		\$ 4,780.00	\$ 600.00	\$ 5,380.00	11/30/2023	12/4/2023
020	The Huntington National Bank	199 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Huntington Bank		X	\$ 10,752.00	\$ -	\$ 10,752.00		
021	Sweeney Northland Realty, LLC	169 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Jake Sweeney Mitsubishi		X	\$ 10,158.00	\$ -	\$ 10,158.00		
022	Compass Community Church	161 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Compass Community Church	X		\$ 1,630.00	\$ -	\$ 1,630.00	11/29/2023	12/4/2023
023	Darly's Real Estate, LLC	157 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Turkeys R Us	X		\$ 1,430.00	\$ -	\$ 1,430.00		
024	Homefront Nursing LLC	149 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Homefront Nursing	X		\$ 4,502.00	\$ -	\$ 4,502.00	12/1/2023	12/4/2023
025	Sweeney 135 Northland, LLC	135 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	Jake Sweeney Mazda Tri-County		X	\$ 13,912.00	\$ -	\$ 13,912.00		
026	Nisvet Property Holdings LTD.	115 W Kemper Road, Springdale, Hamilton County, Ohio 45246	Kemper Square	X		\$ 5,810.00	\$ -	\$ 5,810.00		
027	Denis D. Behm	11407 Landan Lane, Springdale, Hamilton County, Ohio 45246	Denis Behm Supply, Inc.	X		\$ 408.00	\$ -	\$ 408.00		

\$ 205,218.00 \$ 5,335.00 **\$ 211,982.00**

 = pending administrative settlement
 = signed documents completed

Northland Blvd. Project - Right-of-Way Summary

Parcel #	Name of Owner	Physical Address of Property	HC Auditor's Parcel No.	Settlement Amount
001	Kikko Properties Ohio, LLC	400 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0148-00	\$ -
002	Pavan of Ohio, LLC	11444 Springfield Pike, Springdale, Hamilton County, Ohio 45246	599-0042-0161-00	\$ -
004	Cobblestone Street II, LLC	11424 Springfield Pike, Springdale, Hamilton County, Ohio 45246	599-0042-0157-00	\$ -
005	Kurman Properties, LLC	370 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0135-00	\$ -
007	Daniel Comer, Trustee	365 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0172-00	\$ -
008	Chinar Management, LLC	290 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0310-00	\$ 1,000.00
010	Pretzel Baron Properties, LLC AKA Ditsch USA, LLC	311 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0156-00	\$ -
011	Springdale Office Center Co., LTD	230-270 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0182-00, 599-0042-0196-00, 599-0042-0197-00	\$ -
012	Steven Dehamer	301 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0189-00	\$ -
013	Springdale Warehouse Center Co., LTD.	285 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0193-00	\$ -
014	HL Property MGMT, LLC	271 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0190-00	\$ 2,296.00
015	Springdale Warehouse Center Co., LTD.	245 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0184-00	\$ -
016	RJR Real Estate, LLC	225 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0173-00	\$ -
017	Northland Properties, Ltd.	200 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0158-00	\$ 21,484.00
018	Decastro Management LLC	150 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0188-00	\$ -
019	Kemba Credit Union, Inc.	211 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0175-00	\$ 5,380.00
020	The Huntington National Bank	199 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0176-00	\$ -
021	Sweeney Northland Realty, LLC	169 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0044-0023-00	\$ -
022	Compass Community Church	161 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0042-0021-00	\$ 1,630.00
023	Darly's Real Estate, LLC	157 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0044-0024-00	\$ -
024	Homefront Nursing LLC	149 northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0044-0011-00	\$ 4,502.00
025	Sweeney 135 Northland, LLC	135 Northland Boulevard, Springdale, Hamilton County, Ohio 45246	599-0044-0046-00	\$ -
026	Nisvet Property Holdings LTD.	115 W Kemper Road, Springdale, Hamilton County, Ohio 45246	599-0044-0046-00	\$ -
027	Denis D. Behm	11407 Landan Lane, Springdale, Hamilton County, Ohio 45246	599-0042-0191-00	\$ -
				\$ 36,292.00

ORDINANCE NO. 53-2023

ADOPTING A SUPPLEMENTAL APPROPRIATION/ESTIMATED RECEIPTS ORDINANCE TO MAKE APPROPRIATIONS FOR CURRENT EXPENSES AND OTHER EXPENDITURES AND ADJUST ESTIMATED RECEIPTS FOR THE CITY OF SPRINGDALE, OHIO FOR THE FISCAL YEAR ENDING DECEMBER 31, 2023

WHEREAS, supplemental appropriations are necessary at this time, to provide for the current expenses and other expenditures of the City of Springdale during fiscal year 2023.

BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That in order to provide for the current expenses and other expenditures of the City of Springdale for the fiscal year ending December 31, 2023, the following sums be, and are hereby set aside and appropriated, as adjusted. The legal level of budgetary control, for annual appropriation purposes is as follows: the General Fund at the departmental level (personal service expenditures and all other expenditures), all other funds at the fund level (personal service expenditures and all other expenditures). The General Fund departmental level is hereby defined as documented in Exhibit "A", which is attached hereto and incorporated herein by reference. Adjustments to the General Fund at the legal level of budgetary control are documented in Exhibit "B", which is attached hereto and incorporated herein by reference. The final 2023 appropriations at the legal level of budgetary control as defined above are included as documented in Exhibit "C", which is attached hereto and incorporated by reference. Also, that in order to provide for the current budgeted receipts, estimated receipts are hereby adjusted for the fiscal year ending December 31, 2023.

Section 2. That the Finance Officer/Tax Commissioner is hereby authorized to adjust transfers and advances to the following funds:

Decrease the transfer from the General Fund (010) to the Capital Improvements Fund (090) in the amount of \$2,000,000.

Section 3. That additional appropriations be made to the following funds:

General Fund (010, 085,086)	\$865,275
State Highway Fund (062):	
Personal Service Expenditures	\$5,500
Residential Recycling Fund (091):	
Other Expenditures	\$2,000
Northwest Business Center TIF Fund (095):	
Other Expenditures	\$125,000
Fire Insurance Proceeds Fund (099):	
Other Expenditures	\$1
Parks & Urban Forestry (094)	\$45,000
Other Expenditures	
Grants Fund (070)	\$350,000
Other Expenditures	

Commerce Park TIF (080) \$100,000
Other Expenditures

Section 4. That appropriations be decreased to the following funds:

(See the General Fund adjustments by department at Exhibit “B”)

One Ohio Opioid Fund (065):
Other Expenditures \$1,000

Capital Improvements Fund (090):
Other Expenditures \$4,000,000

Commerce Park TIF Fund (080):
Other Expenditures \$200,000

Tri-County Mall TIF Fund (093):
Other Expenditures \$47,033

Section 5. That estimated receipts be increased to the following funds:

One Ohio Opioid Fund (065) \$12,703

Grants Fund (070) \$225,000

Commerce Park TIF Fund (080) \$23,109

DUI Fund (083) \$1,423

Parks & Urban Forestry (094) \$128,588

Northwest Business Center TIF Fund (095) \$100,000

Section 6. That estimated receipts be decreased to the following fund:

Capital Improvements Fund (090) \$1,312,000

Section 7. That the Finance Officer/Tax Commissioner is hereby authorized to draw warrants for payments from any of the foregoing appropriations upon receiving proper certificates approved by the Mayor or City Administrator or upon effectiveness of an ordinance of Council to make the expenditures. Provided that no warrants shall be drawn or paid for salaries or wages except to persons employed by authority of and in accordance with law or ordinance. Provided further, that the appropriations for contingencies can only be expended upon approval of two-thirds vote of Council for items of expense constituting a legal obligation against the City and for purposes other than those covered by the other specific appropriations herein made.

Section 8. That it is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council, and of any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements including Section 121.22, Ohio Revised Code, and the rules of this Council adopted in accordance therewith.

Section 9. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

ORDINANCE 53-2023

EXHIBIT "A"

**Legal Level of Budgetary Control for Appropriations -
Department Level Defined for the General Fund**

<u>Department</u>	<u>Expenditure Level per the General Ledger</u>
Police Department	Law Enforcement Traffic Safety Administration
Fire Department	Fire Department
Health Department	Health Department
Parks and Recreation Department	Parks Recreation Center Concession Operation Program Subsidies Pool Operation
Building Department	Building Department Board of Zoning Appeals Planning Commission
Public Works Department	Street Maintenance
Finance Department	Finance Director's Office
Tax Department	Earnings Tax
Administration Department	Mayor's Office Economic Development Legislative Civil Service Commission Other Boards and Commissions Contractual Services Waste Collection General Administration Transfers and Advances Claims/Contingencies * Pooled Insurance *

* - Includes the Insurance Trust and Health Insurance Trust Funds

ORDINANCE 53-2023

EXHIBIT "B"

2023 Appropriation Adjustments - General Fund

<u>General Fund Departmental Adjustments</u>		<u>Increase (Decrease) Appropriations</u>
Police Department:		
Personal Services Expenditures	\$0	
Other Expenditures	\$0	
	<hr/>	\$0
Fire Department:		
Personal Services Expenditures	(\$150,000)	
Other Expenditures	\$150,000	
	<hr/>	\$0
Health Department:		
Personal Services Expenditures	\$31,895	
Other Expenditures	\$0	
	<hr/>	\$31,895
Parks and Recreation Department:		
Personal Services Expenditures	\$0	
Other Expenditures	\$0	
	<hr/>	\$0
Building Department:		
Personal Services Expenditures	(\$50,000)	
Other Expenditures	\$50,000	
	<hr/>	\$0
Public Works Department:		
Personal Services Expenditures	\$0	
Other Expenditures	\$0	
	<hr/>	\$0
Finance Department:		
Personal Services Expenditures	\$43,555	
Other Expenditures	\$0	
	<hr/>	\$43,555
Tax Department:		
Personal Services Expenditures	\$20,000	
Other Expenditures	\$669,825	
	<hr/>	\$689,825
Administration Department: *		
Personal Services Expenditures	\$100,000	
Other Expenditures	\$0	
	<hr/>	\$100,000
Total General Fund appropriation adjustment (includes funds 010 / 085 / 086)		<hr/> <hr/>
		\$865,275

* - Includes the Insurance Trust and Health Insurance Trust Funds

ORDINANCE 53-2023

EXHIBIT "C" (Continued)

2023 Final Appropriations
Set at the Legal Level of Budgetary Control

Other Funds (at the Fund Level)

Special Revenue Funds:

Street Construction and Maintenance Fund (061):		
Personal Services Expenditures	\$150,000	
Other Expenditures	\$737,975	
		\$887,975
State Highway Fund (062):		
Personal Services Expenditures	\$65,500	
Other Expenditures	\$0	
		\$65,500
Grants Fund (070):		
Personal Services Expenditures	\$33,000	
Other Expenditures	\$993,529	
		\$1,026,529
One Ohio Opioid Fund (065):		
Other Expenditures		\$11,981
Court Computerization Fund (071):		
Other Expenditures		\$14,165
Drug Law Enforcement Fund (081):		
Other Expenditures		\$8,735
Law Enforcement Fund (082):		
Other Expenditures		\$105
DUI Fund (083):		
Other Expenditures		\$8,938
Law Enforcement Training Fund (084):		
Other Expenditures		\$3,773
Residential Recycling Fund (091):		
Other Expenditures		\$136,000
Parks and Urban Forestry Fund (094):		
Other Expenditures		\$139,800

Capital Projects Funds:

Capital Improvements Fund (090):		
Other Expenditures		\$7,722,752
Commerce Park TIF Fund (080):		
Other Expenditures		\$852,100
Housing Rehabilitation Fund (089):		
Other Expenditures		\$0
Northwest Business District TIF Fund (095):		
Other Expenditures		\$1,690,194
Tri-County Mall TIF Fund (093):		
Other Expenditures		\$2,967

Debt Service Fund:

Street Improvement Debt Fund (088):		
Other Expenditures		\$559,000

Enterprise Fund:

Adult Sports Fund (050):		
Other Expenditures		\$9,228

Agency Funds:

Unclaimed Money Fund (096):		
Other Expenditures		\$4,158
Ohio Board of Building Standards Fund (097):		
Other Expenditures		\$8,000
Fire Insurance Proceeds Fund (099):		
Other Expenditures		\$40,000
Springdale Youth Boosters Fund (072):		
Other Expenditures		\$24,000

ORDINANCE NO. 54-2023

ADOPTING A TEMPORARY APPROPRIATION ORDINANCE FOR THE PERIOD JANUARY 1, 2024, UNTIL THE FISCAL YEAR 2024 APPROPRIATION PERMANENT ORDINANCE IS ADOPTED BY CITY COUNCIL

WHEREAS, it is necessary to adopt a temporary appropriation ordinance for current expenses and other expenditures of the City of Springdale for the period January 1, 2024, until the permanent fiscal year 2024 appropriation ordinance is adopted; and

WHEREAS, there will be sufficient receipts to meet these needs.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That a temporary appropriation is hereby adopted to provide for current expenses and other expenditures of the City of Springdale for the period January 1, 2024, until the permanent fiscal year 2024 appropriation ordinance is adopted.

Section 2. That said appropriations are as follows:

\$700,000 to the General Fund (Funds 010, 085, and 086).

\$20,000 to the Street Maintenance, Repair and Construction Fund (061)

\$5,000 to the State Highway Fund (062)

Section 3. That the Mayor and City Administrator are hereby authorized to draw warrants for payments from any of the foregoing appropriations upon receiving proper certificates and vouchers herefor.

Section 4. That it is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council, and of any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements including Section 121.22, Ohio Revised Code, and the rules of this Council adopted in accordance therewith.

Section 5. That this ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

ORDINANCE NO. 55-2023

AN ORDINANCE AMENDING ORDINANCE NO. 07-2023 TO PROVIDE FOR WAGE INCREASES FOR CERTAIN CITY EMPLOYEES AND DECLARING AN EMERGENCY

WHEREAS, the City of Springdale (the “City”) periodically adjusts compensation paid to City employees; and

WHEREAS, Ordinance 07-2023 is the most recent ordinance which established compensation rates for certain City employees.

BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____members elected thereto concurring:

Section 1. That Ordinance No. 07-2023 is hereby amended to reflect wage increases for certain City employees as set forth in Exhibit A which is attached and incorporated herein by reference.

Section 2. The revised compensation to be paid to City employees contained in the attached Exhibit A shall be effective December 31, 2023.

Section 3. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. That this Ordinance shall take effect from and after the earliest time allowed by law.

Section 5. That this Ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for said declaration of emergency is the need for proper pay grades to be in place at the beginning of calendar year 2024 and to allow for the continuity of services to the public.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

ORDINANCE NO. 55-2023

EXHIBIT A

PAY TABLE I

**EMPLOYEE CLASSIFICATIONS
ASSIGNED TO PAY TABLE I**

Classification	Grade	Steps
Facilities Maintenance	5	A-H
Office Manager	9	A-H
Account Clerk I	9	A-H
Police Clerk	9	A-H
Account Clerk II	10	A-H
Administrative Assistant	10	A-H
Administrative Supervisor	11	A-H
Technical Service Administrator	11	A-H
Maintenance Worker	11	A-H
Adult/Senior Programmer	11	A-H
Fleet Mechanic I	11	A-H
Building Inspector I	11	A-H
Property Maintenance Inspector	11	A-H
Director of Environmental Health	12	A-H
Fleet Mechanic II	13	A-H
Parks Maintenance Supervisor	13	A-H
Crew Leader	13	A-H
Building Inspector II	14	A-H
Public Works Inspector	14	A-H
Building Inspector III	15	A-H
Building Inspector IV	16	A-H

ORDINANCE NO. 55-2023

EXHIBIT A

**PAY TABLE I
HOURLY RATES**

Grade	Step A	Step B	Step C	Step D	Step E	Step F	Step G	Step H	Merit I	Merit II
1	14.60	15.33	16.09	16.90	17.74	18.63	19.56	20.54	21.57	22.64
2	15.33	16.09	16.90	17.74	18.63	19.56	20.54	21.57	22.64	23.78
3	16.09	16.90	17.74	18.63	19.56	20.54	21.57	22.64	23.78	24.97
4	16.90	17.74	18.63	19.56	20.54	21.57	22.64	23.78	24.97	26.21
5	17.74	18.63	19.56	20.54	21.57	22.64	23.78	24.97	26.21	27.53
6	18.63	19.56	20.54	21.57	22.64	23.78	24.97	26.21	27.53	28.90
7	19.56	20.54	21.57	22.64	23.78	24.97	26.21	27.53	28.90	30.35
8	20.54	21.57	22.64	23.78	24.97	26.21	27.53	28.90	30.35	31.86
9	21.57	22.64	23.78	24.97	26.21	27.53	28.90	30.35	31.86	33.46
10	22.64	23.78	24.97	26.21	27.53	28.90	30.35	31.86	33.46	35.13
11	23.78	24.97	26.21	27.53	28.90	30.35	31.86	33.46	35.13	36.89
12	24.97	26.21	27.53	28.90	30.35	31.86	33.46	35.13	36.89	38.73
13	26.21	27.53	28.90	30.35	31.86	33.46	35.13	36.89	38.73	40.67
14	27.53	28.90	30.35	31.86	33.46	35.13	36.89	38.73	40.67	42.70
15	28.90	30.35	31.86	33.46	35.13	36.89	38.73	40.67	42.70	44.84
16	30.35	31.86	33.46	35.13	36.89	38.73	40.67	42.70	44.84	47.08
17	31.86	33.46	35.13	36.89	38.73	40.67	42.70	44.84	47.08	49.43
18	33.46	35.13	36.89	38.73	40.67	42.70	44.84	47.08	49.43	51.90
19	35.13	36.89	38.73	40.67	42.70	44.84	47.08	49.43	51.90	54.50
20	36.89	38.73	40.67	42.70	44.84	47.08	49.43	51.90	54.50	57.22

ORDINANCE NO. 55-2023

EXHIBIT A

**EMPLOYEE CLASSIFICATIONS
ASSIGNED TO PAY TABLE II**

Classification	Grade
Public Health Nurse	1E
Fitness Center Manager	1E
Recreation Programmer	1E
Assistant Recreation Director	2E
Assistant to the City Administrator	2E
Fire Marshall	2E
Human Resources Administrator	2E
Chief Fire Inspector	3E
Assistant Director of Public Works	3E
Assistant Fire Chief	5E
Assistant Police Chief	5E
Public Health Commissioner	5E
Recreation Director	5E
Director of Public Works	5E
Finance Officer/Tax Commissioner	6E
Economic Development Director	6E
Building Official	6E
Director of Planning and Building	6E
Fire Chief	7E
Police Chief	7E
Assistant City Administrator	7E - 8E
City Administrator	9E - 10E

ORDINANCE NO. 55-2023

EXHIBIT A

PAY TABLE II

Grade	2024 Minimum Annual/Bi-Weekly	2024 Maximum Annual/Bi-Weekly
1E	56,182.08 2,160.85	87,644.05 3,370.93
2E	61,800.35 2,376.94	96,408.57 3,708.02
3E	67,643.57 2,601.68	105,523.98 4,058.61
4E	74,779.12 2,876.12	116,655.41 4,486.75
5E	82,256.62 3,163.72	128,320.33 4,935.40
6E	90,481.98 3,480.08	141,151.88 5,428.92
7E	99,530.50 3,828.10	155,267.59 5,971.83
8E	109,483.46 4,210.90	170,794.18 6,569.01
9E	144,517.78 5,558.38	187,873.11 7,225.89
10E	158,969.76 6,114.22	206,660.71 7,948.49

ORDINANCE NO. 55-2023

EXHIBIT A

PART-TIME AND SEASONAL EMPLOYEES

	2024 Minimum	2024 Maximum
Account Clerk		Grade 9
Administrative Assistant		Grade 10
Adult / Senior Programmer	\$20.07	\$30.12
Aquatic Director	\$18.04	\$20.77
Assistant Aquatic Director	\$15.97	\$18.04
Building Inspector	\$20.07	\$30.12
Child Care Worker	\$10.45	\$13.94
Concession Worker	\$10.45	\$13.94
Facilities Maintenance	\$15.31	\$19.13
Customer Service Assistant	\$10.45	\$14.76
Facilities Maintenance Technician	\$18.96	\$33.46
Facility Supervisor	\$14.50	\$17.84
Firefighter/EMT-B	\$20.18	\$22.47
Firefighter/EMT-Paramedic	\$22.47	\$24.77
Fire Inspector	\$20.18	\$24.77
Fitness Center Manager	\$20.07	\$30.12
Fitness Instructor	\$10.45	\$13.94
Fleet Mechanic	\$20.07	\$30.12

ORDINANCE NO. 55-2023

EXHIBIT A

PART-TIME AND SEASONAL EMPLOYEES

	2024 Minimum	2024 Maximum
Head Life Guard	\$14.42	\$15.97
Intern	\$14.00	\$21.00
Life Guard	\$12.36	\$14.42
Nurse	\$23.12	\$33.62
Parks/Public Works Maintenance Worker	\$14.50	\$23.42
Party Worker	\$10.45	\$13.94
Plan Reviewer/Building Official	Up to \$70 per hour	
Police Clerk		Grade 9
Pool Concession Manager	\$10.93	\$15.30
Pool Gate Attendant	\$10.45	\$13.94
Property Maintenance Inspector	\$14.50	\$23.42
Public Works Inspector	\$20.07	\$30.12
Recreation Attendant	\$12.27	\$15.62
Recreation Clerk	\$10.45	\$14.76
Reserve Police Officer	\$30.12	\$31.62
Sanitarian	\$16.73	\$26.76
Seasonal Maintenance Worker	\$13.94	\$18.63
Teen Advisor	\$11.16	\$15.62

RESOLUTION NO. R35-2023

A RESOLUTION APPOINTING _____ TO SERVE AS A MEMBER OF THE CITY OF SPRINGDALE CHARTER REVISION COMMITTEE FOR THE UNEXPIRED TERM ENDING DECEMBER 31, 2025

WHEREAS, a vacancy will occur on the City of Springdale Charter Revision Committee for the unexpired term ending December 31, 2025; and

WHEREAS, the Council of the City of Springdale, Ohio, has determined that _____ shall be appointed to fill the vacancy and serve as a member of the City of Springdale Charter Revision Committee for the remainder of the term ending December 31, 2025.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Springdale, Ohio, with _____ members elected thereto concurring:

Section 1. That _____ be and is hereby appointed to serve as a member of the City of Springdale Charter Revision Committee for the unexpired term ending December 31, 2025.

Section 2. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. That this Resolution shall take effect and be in force from and after the earliest period allowed by law.

Passed this 20th day of December, 2023.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date