



TOWN OF SOUTHERN SHORES
TOWN COUNCIL REGULAR MEETING

5375 N. Virginia Dare Trail, Southern Shores, NC 27949

Phone 252-261-2394 / Fax 252-255-0876

www.southernshores-nc.gov

PITTS CENTER

Tuesday, January 03, 2023 at 5:30 PM

AGENDA

Call Meeting to Order

Pledge of Allegiance

Moment of Silence

Amendments to / Approval of Agenda

Consent Agenda

1. Minute Approval-emailed
2. Surplus Resolution-Resolution 2023.01.01

Presentations

Staff Reports

Deputy Town Manager/Planning Director

Monthly Permit Reports

Planning Board Update

Police Chief

Fire Chief

Town Manager

Beach Nourishment Update

Town Attorney

General Public Comment (Limit: 3 minutes per speaker.)

Old Business

New Business

3. Public Hearing-SUP-22-01, a Special Use Permit application submitted by Timmons Group on behalf of Fire Service Real Estate, Inc. to construct a new EMS/Fire Station at 28 E. Dogwood Trl.
4. Public Hearing-TCA-22-04, a Town Code Amendment application submitted by the Town of Southern Shores to add Town Code Section 1-13, Conflicts of Interest.
5. 2023-2024 Biennium Legislative Goals

General Public Comment (Limit: 3 minutes per speaker.)

Council Business

Adjourn



Town of Southern Shores

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Item 2.

**A RESOLUTION DECLARING CERTAIN PROPERTY
OF THE TOWN TO BE SURPLUS
AND AUTHORIZING THE DISPOSITION OF SAID PROPERTY
#2023.01.01**

WHEREAS, the Town Council of the Town of Southern Shores, North Carolina, has determined that the Town owns certain personal property that is no longer needed or usable by the Town; and

WHEREAS, the property is described below:

Surplus Property Information

Make	Model	Year	Department	V.I.N. / Description	Surplus
Dodge	Charger	2013	Police	2C3CDXAT9DH742633	Gov-Deals

NOW, THEREFORE, BE IT RESOLVED by the Southern Shores Town Council that the Town Manager or his designee are hereby authorized to dispose of the aforementioned property by any means allowable to include offering for sale at public auction, donation to a nonprofit organization, internet on-line offering, private negotiation and sale, upset bid process, or destruction.

AND BE IT FURTHER RESOLVED that property described in this resolution is surplus as of January 3, 2023.

ATTEST:

Elizabeth Morey, Mayor

Sheila Kane, Deputy Clerk

From: [David Kole](#)
To: [Sheila Kane](#)
Cc: [Cliff Ogburn](#)
Subject: Surplus vehicle
Date: Monday, December 19, 2022 3:41:33 PM
Attachments: [image001.png](#)

Good afternoon, Sheila, below is the vehicle we would like to surplus on Gov. Deals.

Thank you

D Kole

2013 Dodge Charger
VIN # 2C3CDXAT9DH742633
Mileage 59,366 miles



*177th
Session*

David M. Kole
Chief of Police
Southern Shores Police Dept.
5375 N. Virginia Dare Trail
Southern Shores, NC. 27949
W-252-261-3331 Fax-252-261-4851



AGENDA ITEM SUMMARY FORM

MEETING DATE: January 3, 2023

ITEM TITLE: SUP-22-01

ITEM SUMMARY:

The applicant seeks a Special Use Permit to construct an 8,756 sq. ft. EMS/Fire Station at 28 E. Dogwood Trl. Parking for the proposed EMS/Fire Station is shown on site as well as in the Town right-of-way along E. Dogwood Trl. The site plan also shows a 10 ft. wide landscaped buffer along the northern and eastern property lines (as discussed at the March 21, 2022 Planning Board meeting). The applicable lot coverage requirement for Fire Stations is 85% and the site plan shows a proposed total of 68.9%. There are no lights shown on the proposed plans. There are two permanent signs shown at a total of 46.9 sq. ft. and there is one appx. 4 ft. tall, 6 sq. ft. temporary sign shown. The Planning Board granted a Variance on December 1, 2022 to allow stormwater in the drainage area that contains the concrete apron off of E. Dogwood Trl. to be collected and stored in the retention area located at 29 E. Dogwood Trl. as it is today.

Fire Stations are a permitted use in the R-1, Low-density Residential District provided that a Special Use Permit is granted by the Town Council following a recommendation made by the Town Planning Board. In granting any Special Use Permit, the Board may recommend appropriate conditions and safeguards in conformity with Article X, Administration and Enforcement. Before granting any Special Use Permit, the Town shall make affirmative findings that:

- a. The applicant has met the requirements of the applicable provisions of the Town Chapter pertaining to Zoning, Subdivision Chapter, and all other applicable Ordinances.
- b. That the use as proposed will conform with the Town's Land Use Plan, and will be compatible with the area in which it is to be located, if developed in accordance with the conditions specified in the Chapter and additionally required by the Town Council as authorized by the Chapter.
- c. That the use will not materially endanger the public health and safety if located where proposed and developed according to the plan submitted.
- d. That the use as proposed will not overburden the Town Volunteer Fire Department fire-fighting capabilities and the County water supply capacity to the Town, as said facilities and capabilities will exist on the completion date of the Special Use for which the application is made

STAFF RECOMMENDATION:

The Land Use Plan identifies this area as Residential in the R-1, Low-density Residential Zoning District which is consistent with the improvements proposed in the application. All applicable regulations in the Town Zoning Ordinance and all of Town Staff's concerns that are applicable to this application have been identified or are addressed in the recommended conditions. Town Staff recommends conditional approval of the application and the Town Planning Board recommended conditional approval of the application with the following conditions:

1. The following permit shall be issued prior to submittal of a Building Permit application:
 - a. Improvement Permit and Authorization to Construct a new wastewater collection, treatment and disposal system as issued by the Dare County Health Department.
2. A lighting plan shall be submitted with the Building Permit and Zoning Permit application.
3. A maximum of two wall signs shall be permitted not to exceed 64 sq. ft. A maximum of five temporary signs, not exceeding 6 sq. ft. and 5 ft. in height each, shall be permitted while the building is under construction. Revised plans shall be submitted with the Building Permit and Zoning Permit application (this recommended condition has been satisfied).
4. The applicant must strictly abide by all requirements of the Town Code and must also strictly comply with all other applicable local, State, and Federal requirements.

REQUESTED ACTION:

Motion to approve SUP-22-01 with the recommended conditions (1, 2, and 4).

STAFF REPORT

To: Southern Shores Town Council
Date: January 3, 2023
Case: SUP-22-01
Prepared By: Wes Haskett, Deputy Town Manager/Planning Director

GENERAL INFORMATION

Applicant: Timmons Group, Kimberly D. Hamby
 1805 W. City Drive, Unit E.
 Elizabeth City, NC 27909

Property Owner: Fire Service Real Estate, Inc.
 15 South Dogwood Trl.
 Southern Shores, NC 27949

Requested Action: Special Use Permit application to construct a new EMS/Fire Station at 28 E. Dogwood Trl.

PIN #: 986819516864
Location: 28 E. Dogwood Trl.
Zoning: R-1, Low-Density Residential District

Existing Land Use: “Residential”

Surrounding Land Use & Zoning:

North- Residential; RS-1, Single-Family Residential District
South- Residential; RS-1, Single-Family Residential District
East- Residential; RS-1, Single-Family Residential District
West- Residential; RS-1, Single-Family Residential District

Physical Characteristics: Developed (existing EMS/Fire Station).

Applicable Regulations: Town Zoning Ordinance: Article III, Interpretation and Definition of Terms; Article IV, Application of Regulations; Article VI, General Provisions; Article VII, Schedule of District Regulations; Article X, Administration and Enforcement.

ANALYSIS

The applicant seeks a Special Use Permit to construct an 8,756 sq. ft. EMS/Fire Station at 28 E. Dogwood Trl. Parking for the proposed EMS/Fire Station is shown on site as well as in the Town right-of-way along E. Dogwood Trl. The site plan also shows a 10 ft. wide landscaped buffer along the northern and eastern property lines (as discussed at the March 21, 2022 Planning Board meeting). The applicable lot coverage requirement for Fire Stations is 85% and the site plan shows a proposed total of 68.9%. There are no lights shown on the proposed plans. There are two permanent signs shown at a total of 46.9 sq. ft. and there is one appx. 4 ft. tall, 6 sq. ft. temporary sign shown. The Planning Board granted a Variance on December 1, 2022 to allow stormwater in the drainage area that contains the concrete apron off of E. Dogwood Trl. to be collected and stored in the retention area located at 29 E. Dogwood Trl. as it is today.

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- d. That the use as proposed will not overburden the Town Volunteer Fire Department fire-fighting capabilities and the County water supply capacity to the Town, as said facilities and capabilities will exist on the completion date of the Special Use for which the application is made.

RECOMMENDATION

The Land Use Plan identifies this area as Residential in the R-1, Low-density Residential Zoning District which is consistent with the improvements proposed in the application. All applicable regulations in the Town Zoning Ordinance and all of Town Staff's concerns that are applicable to this application have been identified or are addressed in the recommended conditions. Town Staff recommends conditional approval of the application and the Town Planning Board recommended conditional approval of the application with the following conditions:

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PLANNING BOARD GENERAL APPLICATION FORM TOWN OF SOUTHERN SHORES, NC 27949

Date: 11/18/22 Filing Fee: \$10/SF Receipt No. N/A Application No. SUP-22-01

NOTE: The Planning Board will follow the specific provisions of the Zoning Ordinance Chapter 36. Article X Administration and Enforcement, Section 36-299.

Please check the applicable Chapter/Article:

- ☐ Chapter 30. Subdivisions-Town Code
- ☐ Chapter 36. Article VII. Schedule of District Regulations. Section 36-207 C-General Commercial District
- ☐ Chapter 36. Article IX. Planned Unit Development (PUD)
- ☒ Chapter 36. Article X. Administration and Enforcement, Section 36-299 (b) Application for Building Permits and Site Plan Review other than one and two family dwelling units *
- ☒ Chapter 36. Article X. Section 36-300-Application for Permit for Conditional Use
- ☐ Chapter 36. Article X. Section 36-303 Fees
- ☐ Chapter 36. Article X. Section 36-304-Vested Rights
- ☐ Chapter 36. Article XIV. Changes and Amendments

Certification and Standing: As applicant of standing for project to be reviewed I certify that the information on this application is complete and accurate.

Applicant

Name Fire Service Real Estate, Inc. (Applicant must be property owner by Town policy)

Address: 15 S. Dogwood Trail

Southern Shores, NC 27949

Phone _____ Email _____

Applicant's Representative (if any)

Name Kimberly D. Hamby, PE, Timmons Group

Agent, Contractor, Other (Circle one)

Address 1805 W. City Drive, Unit E

Elizabeth City, NC 27909

Phone 252.621.5030 Email kim.hamby@timmons.com

Property Involved: ☒ Southern Shores ☐ Martin's Point (Commercial only)

Address: 28 E. Dogwood Trail Zoning district R1

Section 3 Block 33 Lot 23-25, part Lot size (sq.ft.) 26,755
of 22

Request: ☒ Site Plan Review ☐ Final Site Plan Review ☒ Conditional Use ☐ Permitted Use
☐ PUD (Planned Unit Development) ☐ Subdivision Ordinance ☐ Vested Right ☐ Variance

Change To: ☐ Zoning Map ☐ Zoning Ordinance

DocuSigned by:
Patrick Regan
97F188A9D1C14F5...
Signature

11/17/2022

Date

* Attach supporting documentation and twelve copies of the site plan.

Wes Haskett

From: Kim Hamby <Kim.Hamby@timmons.com>
Sent: Wednesday, November 23, 2022 12:38 PM
To: Wes Haskett
Subject: FW: Dare EMS - waterline connections (Southern Shores and Med Flight)

Wes,

Good afternoon. See below from Pat. He has no comments on the SS water services.

Thanks and Have a Happy Thanksgiving!

Kimberly D. Hamby, PE
Senior Project Manager

TIMMONS GROUP | www.timmons.com
1805 West City Drive, Unit E | Elizabeth City, NC 27909
Office: 252.621.5029 | Fax: 252.562.6974
Mobile: 252-340-3264 | kim.hamby@timmons.com
Your Vision Achieved Through Ours

To send me files greater than 20MB [click here](#).

From: Pat Irwin <pat.irwin@darenc.com>
Sent: Wednesday, November 23, 2022 12:35 PM
To: Kim Hamby <Kim.Hamby@timmons.com>
Subject: Re: Dare EMS - waterline connections (Southern Shores and Med Flight)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Kim:

Received, thank you. We have no comments. Enjoy your Thanksgiving!

Pat

On Mon, Nov 21, 2022 at 3:00 PM Kim Hamby <Kim.Hamby@timmons.com> wrote:

Good afternoon, Pat. I hope you are doing well and looking forward to a long holiday weekend.

As you probably know, I am working on multiple EMS station for the county.

Southern Shores (EMS #4) has been submitted to the Town for a variance and site plan review. Wes has asked me to get your comments on the water which is only a domestic and fire service just as what is existing. I have attached the utility plan sheet and detail sheet for your review and comment.

Med Flight (EMS #7) is going to have a main extension since we are coming across the road with a 6" line for fire and tapping the domestic off of that. I have again attached the pertinent sheets.

Please let me know your thoughts on both when you get the chance.

Thank you,

Kimberly D. Hamby, PE

Senior Project Manager

TIMMONS GROUP | www.timmons.com

1805 West City Drive, Unit E | Elizabeth City, NC 27909

Office: 252.621.5029 | Fax: 252.562.6974

Mobile: 252-340-3264 | kim.hamby@timmons.com

Your Vision Achieved Through Ours

To send me files greater than 20MB [click here](#).

Mr. Patrick Irwin

Utilities Director

Department of Water

600 Mustian Street

Kill Devil Hills, NC 27948

(252) 475-5603 (phone)

Wes Haskett

From: Josh Coltrain <joshc@darenc.com>
Sent: Monday, November 14, 2022 10:03 AM
To: Kim Hamby
Subject: Dare EMS stations 4/7

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Kim,

The revised plans for the new Dare EMS stations look good. I am ready to write the permits. Could you please send me the final sets of plans showing the calculations, pumps/selection based on curve and any other septic details so I can prepare the final permit package.

Thanks,

Josh Coltrain, REHS

Environmental Health Supervisor

Department of Health & Human Services

Public Health Division

P.O. Box 669, Manteo, NC 27954

252.475.5014 phone

www.darenc.com



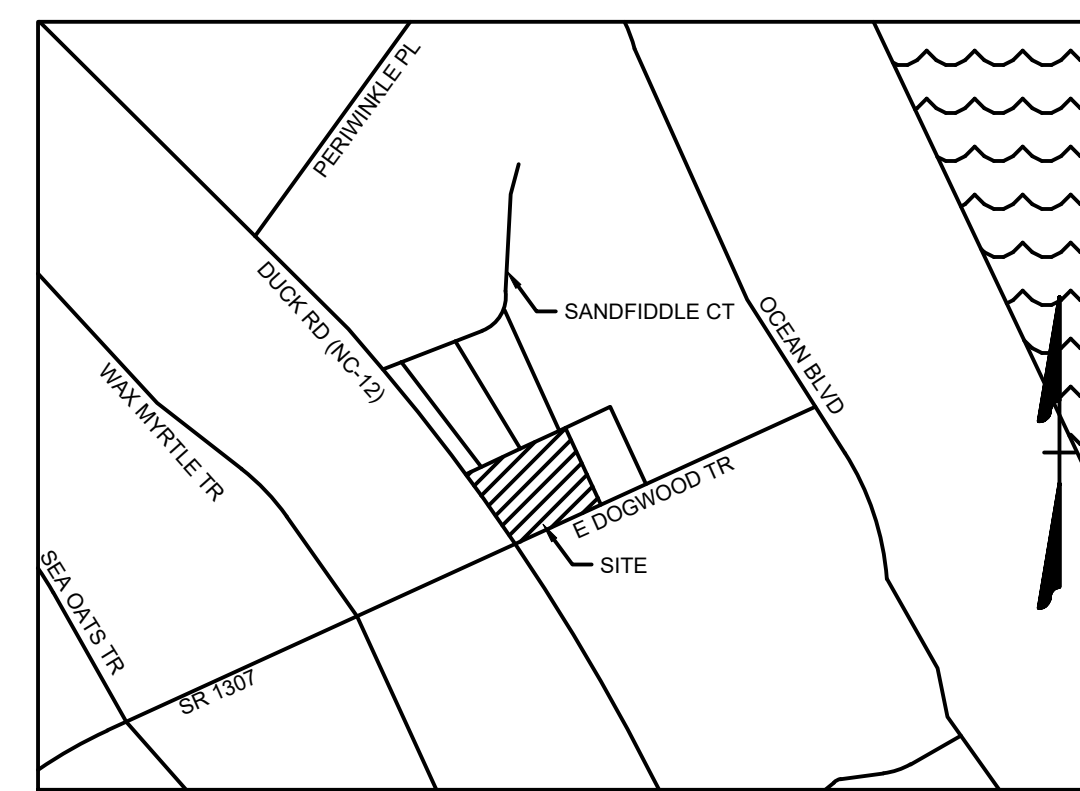
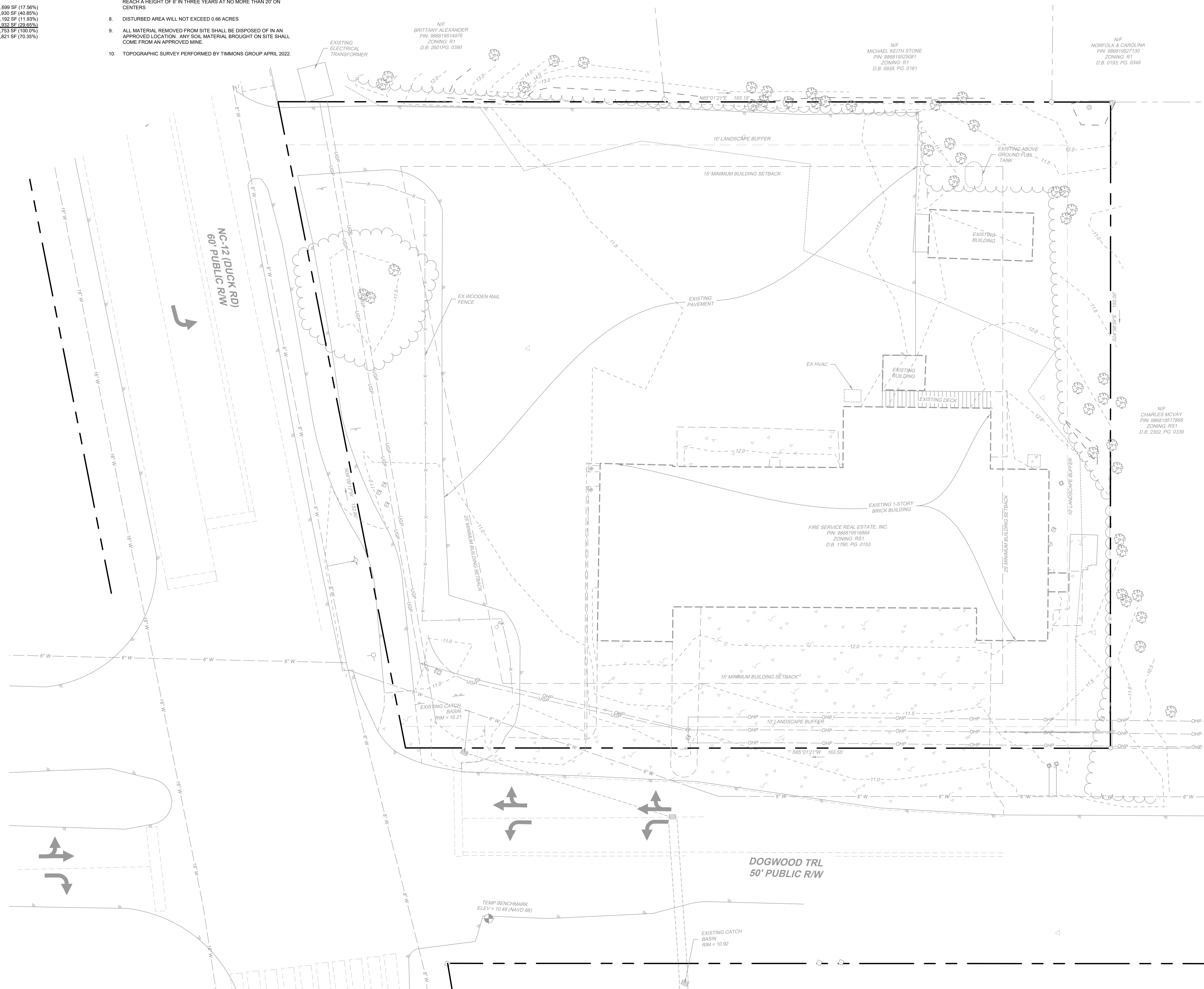
This document and/or its attachments may contain confidential information, including protected health information, which is legally privileged under federal or state law. This information is intended for the use of the individual or entity named above. The authorized recipient of this information is prohibited from disclosing this information to any other party unless required to do so by law or regulation and is required to destroy the information after its stated need has been fulfilled. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or action taken in reliance on the contents of these documents is strictly prohibited. If you have received this information in error, please notify the sender immediately and destroy these documents. Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties

- SITE DATA:
- OWNER:
FIRE SERVICE REAL ESTATE, INC SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
 - SITE INFORMATION:
PIN: 886819516864
D.B. 1790, PG. 153
ZONING: COMMERCIAL
SITE AREA: 0.62 AC
SITE ADDRESS: 28 E DOGWOOD TRL
SOUTHERN SHORES, NC 27949
 - ACCORDING TO FIRM MAP NUMBER 3720968800K, DATED JUNE 19, 2020,
THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.
 - BUILDING SETBACKS:
FRONT: 25'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'
 - IMPERVIOUS AREA CALCULATIONS:

EXISTING COVERAGE:	4,699 SF (17.56%)
BUILDING:	10,930 SF (40.85%)
ASPHALT:	3,192 SF (11.83%)
CONCRETE/SIDEWALK:	7,492 SF (29.65%)
GREEN SPACE:	26,753 SF (100.0%)
TOTAL:	18,621 SF (70.35%)
TOTAL IMPERVIOUS:	

PROPOSED COVERAGE:	8,006 SF (33.26%)
BUILDING:	8,126 SF (30.27%)
ASPHALT:	1,408 SF (5.20%)
CONCRETE/SIDEWALK:	8,315 SF (31.08%)
GREEN SPACE:	26,753 SF (100.0%)
TOTAL:	18,440 SF (66.93%)
DECREASE IN IMPERVIOUS AREA:	381 SF

- PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
ONE SPACE/FOUR SEATS IN TRAINING ROOM
10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM
12 SPACES REQUIRED
PROVIDED: 16 SPACES (INCLUDING 1 ADA)
- TYPE "B" BUFFER: A 10' WIDE BUFFER WITH VEGETATION THAT WILL
REACH A HEIGHT OF 6' WITHIN THREE YEARS PLUS A FENCE WITH THE
HEIGHT OF NO LESS THAN 6' ON THE OUTSIDE PERIMETER OF THE
VEGETATION.
- TYPE "C" BUFFER: A 5' WIDE VEGETATIVE BUFFER THAT WILL REACH
A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
REACH A HEIGHT OF 6' IN THREE YEARS AT NO MORE THAN 20' ON
CENTERS
- DISTURBED AREA WILL NOT EXCEED 0.66 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL
COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.



VICINITY MAP
NO SCALE

LEGEND

	BENCHMARK
	EX FIRE HYDRANT
	EX WATER VALVE
	EX WATER METER
	EX SEWER MANHOLE
	EX SEWER CLEANOUT
	EX POWER POLE
	EX GUY ANCHOR
	EX ELECTRIC METER
	EX TELECOM PEDESTAL
	EX SIGN
	EX TREE
	PROP SEWER CLEANOUT
	PROP SEWER MANHOLE
	PROP WATER VALVE
	PROP WATER METER
	PROP FIRE HYDRANT
	PROPERTY BOUNDARY
	RIGHT OF WAY
	SETBACK
	EX EDGE OF PAVEMENT
	EX FENCE
	EX OVERHEAD POWER
	EX 6" WATER LINE
	EX 8" WATER LINE
	EX 16" WATER LINE
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX EDGE OF TREE LINE
	PROP FENCE
	PROP MAJOR CONTOUR
	PROP MINOR CONTOUR
	PROP WATER LINE
	PROP SEWER LINE
	PROP FORCE MAIN
	PROP EDGE OF TREE LINE
	PROP DITCH/SWALE
	PROP. LIGHT DUTY PAVEMENT
	PROP. HEAVY DUTY PAVEMENT
	PROP. CONCRETE
	PROP. CONCRETE PAVEMENT

SCALE 1"=10'
0 10' 20'

NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

GENERAL NOTE:
Prior to construction
start, Contractor shall
verify & be responsible
for all Dimensions.

Revisions:
#1 2023-09-21 UPDATES PER ARCHITECT
COMMENTS
#2 2023-10-31 ADDENDUM #3 PER BCC

Date: 9/14/22
Project No: 52044.004

Drawn By: JBF
Sheet No: C1.0

Checked By: KDH
Sheet Title: EXISTING CONDITIONS



Know what's below.
Call before you dig.

- SITE DATA:
- OWNER:
FIRE SERVICE REAL ESTATE, INC. SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
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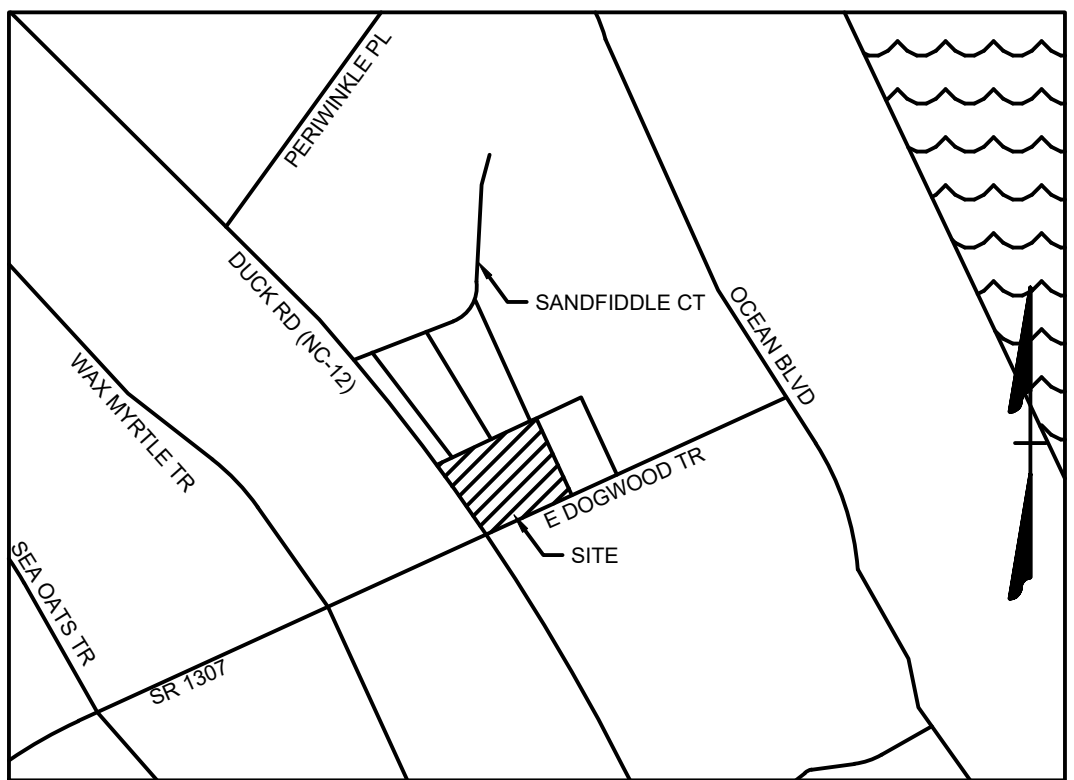
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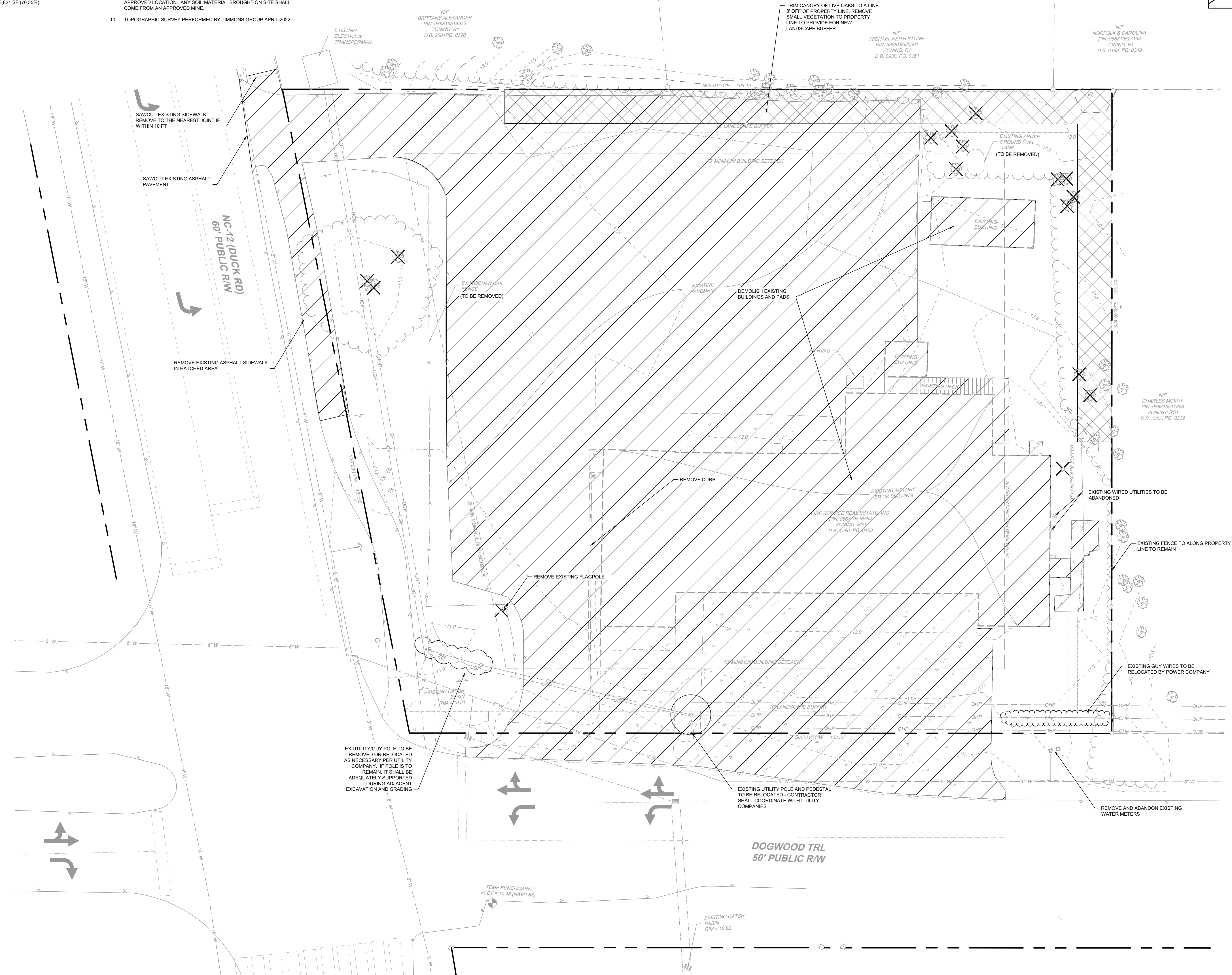
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- PROP FORCE MAIN
- PROP EDGE OF TREE LINE
- PROP DITCH/SWALE
- PROP. LIGHT DUTY PAVEMENT
- PROP. HEAVY DUTY PAVEMENT
- PROP. CONCRETE
- PROP. CONCRETE PAVEMENT
- AREA TO BE REMOVED
- REMOVE OBJECT
- REMOVE GROUP OF TREES

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Date: 9/14/22
Project No: 52044.004

Drawn By: JBF
Sheet No: C1.1

Checked By: KDH
Sheet Title: DEMOLITION PLAN



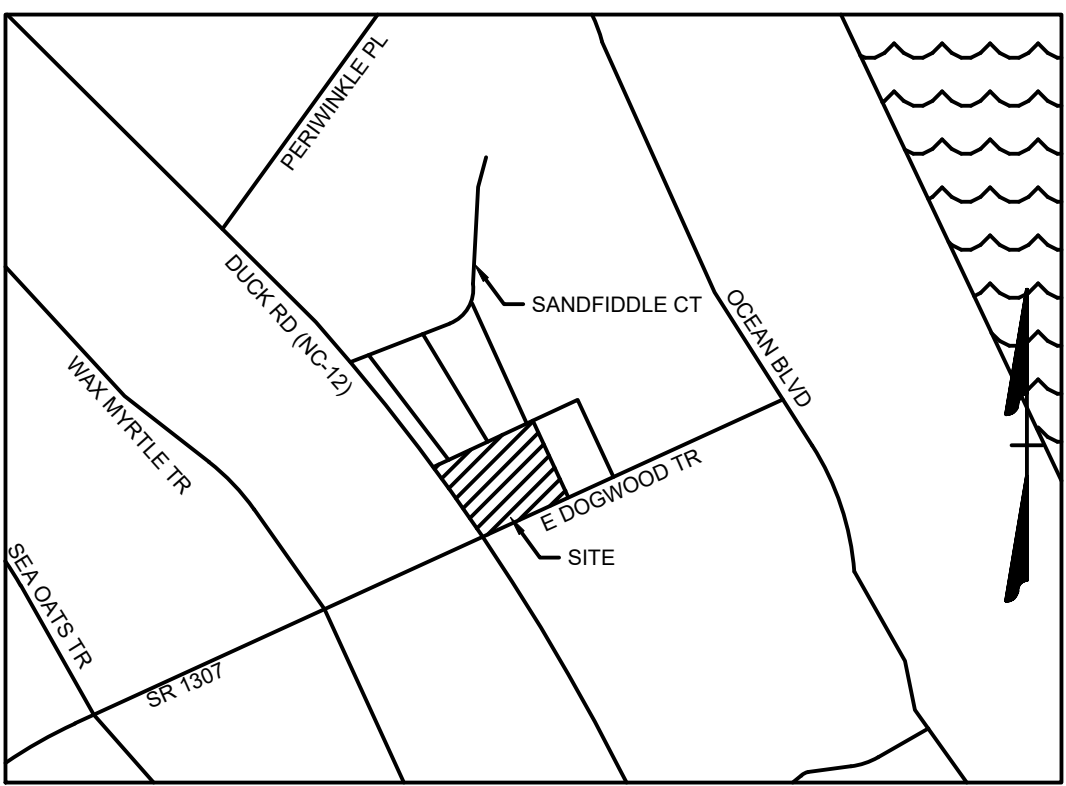
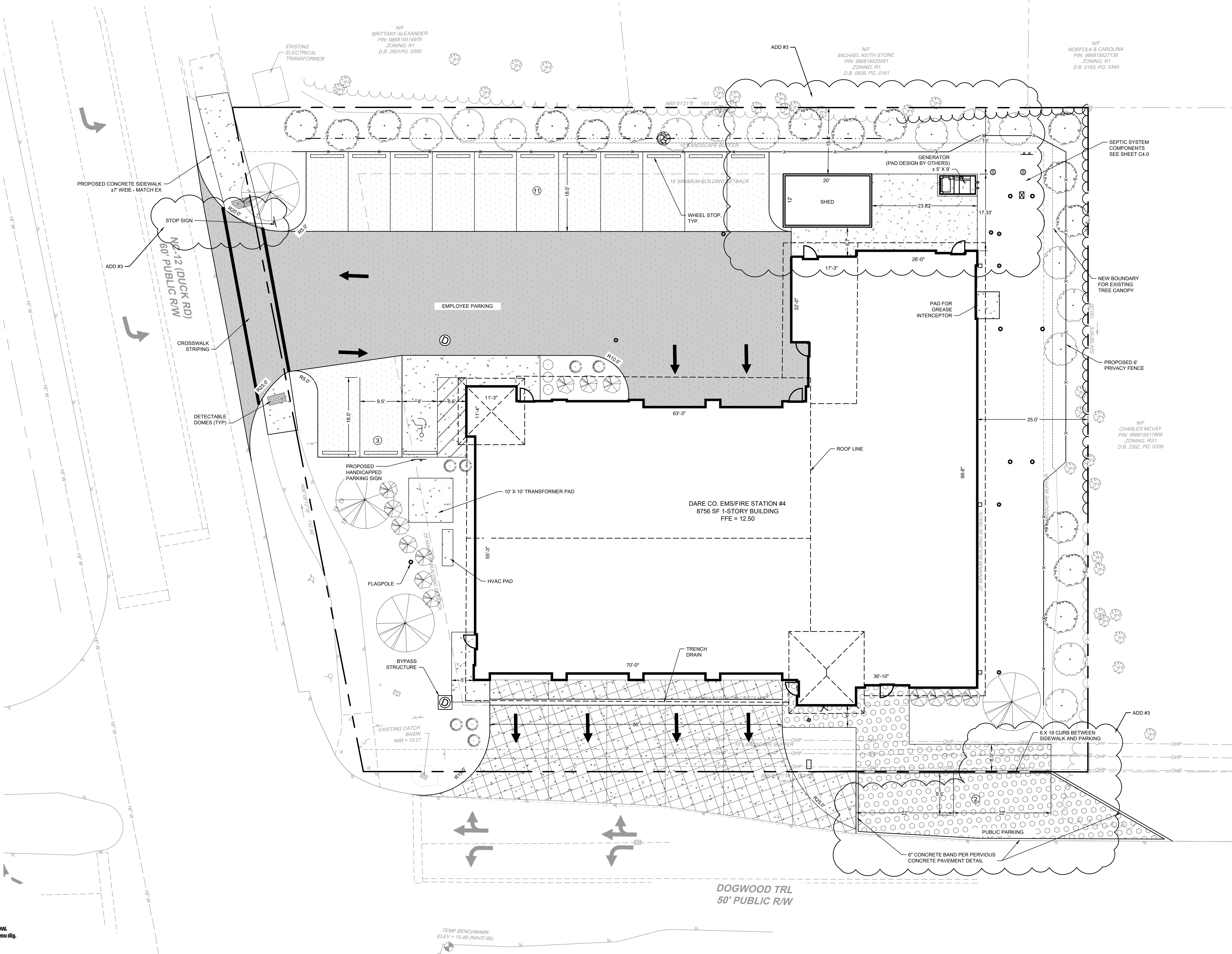
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THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.
- BUILDING SETBACKS:
FRONT: 25'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'
- IMPERVIOUS AREA CALCULATIONS:

EXISTING COVERAGE:
BUILDING: 4,699 SF (17.56%)
ASPHALT: 10,930 SF (40.85%)
CONCRETE/SIDEWALK: 3,192 SF (11.83%)
GREEN SPACE: 7,932 SF (29.63%)
TOTAL: 26,753 SF (100.0%)
TOTAL IMPERVIOUS: 18,621 SF (70.35%)

PROPOSED COVERAGE:
BUILDING: 8,906 SF (33.29%)
ASPHALT: 8,126 SF (30.37%)
CONCRETE/SIDEWALK: 1,409 SF (5.26%)
GREEN SPACE: 8,315 SF (31.08%)
TOTAL: 26,756 SF (100.0%)
TOTAL IMPERVIOUS: 18,440 SF (68.93%)
DECREASE IN IMPERVIOUS AREA: 381 SF

- PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
ONE SPACE/FOUR SEATS IN TRAINING ROOM
10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM:
12 SPACES REQUIRED
PROVIDED: 16 SPACES (INCLUDING 1 ADA)
- TYPE "B" BUFFER: A 10' WIDE BUFFER WITH VEGETATION THAT WILL
REACH A HEIGHT OF 6' WITHIN THREE YEARS PLUS A FENCE WITH THE
HEIGHT OF NO LESS THAN 6' ON THE OUTSIDE PERIMETER OF THE
VEGETATION.
- TYPE "C" BUFFER: A 5' WIDE VEGETATIVE BUFFER THAT WILL REACH
A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
REACH A HEIGHT OF 6' IN THREE YEARS AT NO MORE THAN 20' ON
CENTERS
- DISTURBED AREA WILL NOT EXCEED 0.66 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL
COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.



VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX WATER METER
- EX SEWER MANHOLE
- EX SEWER CLEANOUT
- EX POWER POLE
- EX GUY ANCHOR
- EX ELECTRIC METER
- EX TELECOM PEDESTAL
- EX SIGN
- EX TREE
- PROP SEWER CLEANOUT
- PROP SEWER MANHOLE
- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROP STORM STRUCTURE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- SETBACK
- EX EDGE OF PAVEMENT
- EX FENCE
- EX OVERHEAD POWER
- 6" W WATER LINE
- 8" W WATER LINE
- 16" W WATER LINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX EDGE OF TREE LINE
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP WATER LINE
- PROP SEWER LINE
- PROP FORCE MAIN
- PROP EDGE OF TREE LINE
- PROP DITCH/SWALE
- PROP LIGHT DUTY PAVEMENT
- PROP HEAVY DUTY PAVEMENT
- PROP. CONCRETE
- PROP. REINFORCED CONCRETE PAVEMENT
- PROP. PERVIOUS CONCRETE

SCALE 1"=10'
0 10' 20'

NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all dimensions.	
Revisions: #1 2022-09-21 UPDATES PER ARCHITECT COMMENTS #2 2022-10-31 ADDENDUM #3 PER BCC	
Date: 9/14/22	Project No: 52044.004
Drawn By: JBF	Sheet No: C2.0
Checked By: KDH	Sheet Title: SITE PLAN



SITE DATA:

- OWNER:
FIRE SERVICE REAL ESTATE, INC. SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
- SITE INFORMATION:
PIN: 086810516864
D.B. 1700, PG. 153
ZONING: COMMERCIAL
SITE AREA: 0.62 AC
SITE ADDRESS: 28 E DOGWOOD TRL
SOUTHERN SHORES, NC 27949
- ACCORDING TO FIRM MAP NUMBER 3720986800K, DATED JUNE 19, 2020,
THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.

- BUILDING SETBACKS:
FRONT: 25'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'

IMPERVIOUS AREA CALCULATIONS:

EXISTING COVERAGE:	
BUILDING:	4,609 SF (17.56%)
ASPHALT:	10,930 SF (40.85%)
CONCRETE/SIDEWALK:	3,192 SF (11.83%)
GREEN SPACE:	7,932 SF (29.63%)
TOTAL:	26,753 SF (100.0%)
TOTAL IMPERVIOUS:	18,621 SF (70.35%)

PROPOSED COVERAGE:	
BUILDING:	8,906 SF (33.29%)
ASPHALT:	8,126 SF (30.37%)
CONCRETE/SIDEWALK:	1,400 SF (5.24%)
GREEN SPACE:	8,315 SF (31.08%)
TOTAL:	26,753 SF (100.0%)
TOTAL IMPERVIOUS:	18,440 SF (68.93%)

DECREASE IN IMPERVIOUS AREA: 381 SF

- PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
ONE SPACE/FOUR SEATS IN TRAINING ROOM
10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM:
12 SPACES REQUIRED
PROVIDED: 16 SPACES (INCLUDING 1 ADA)

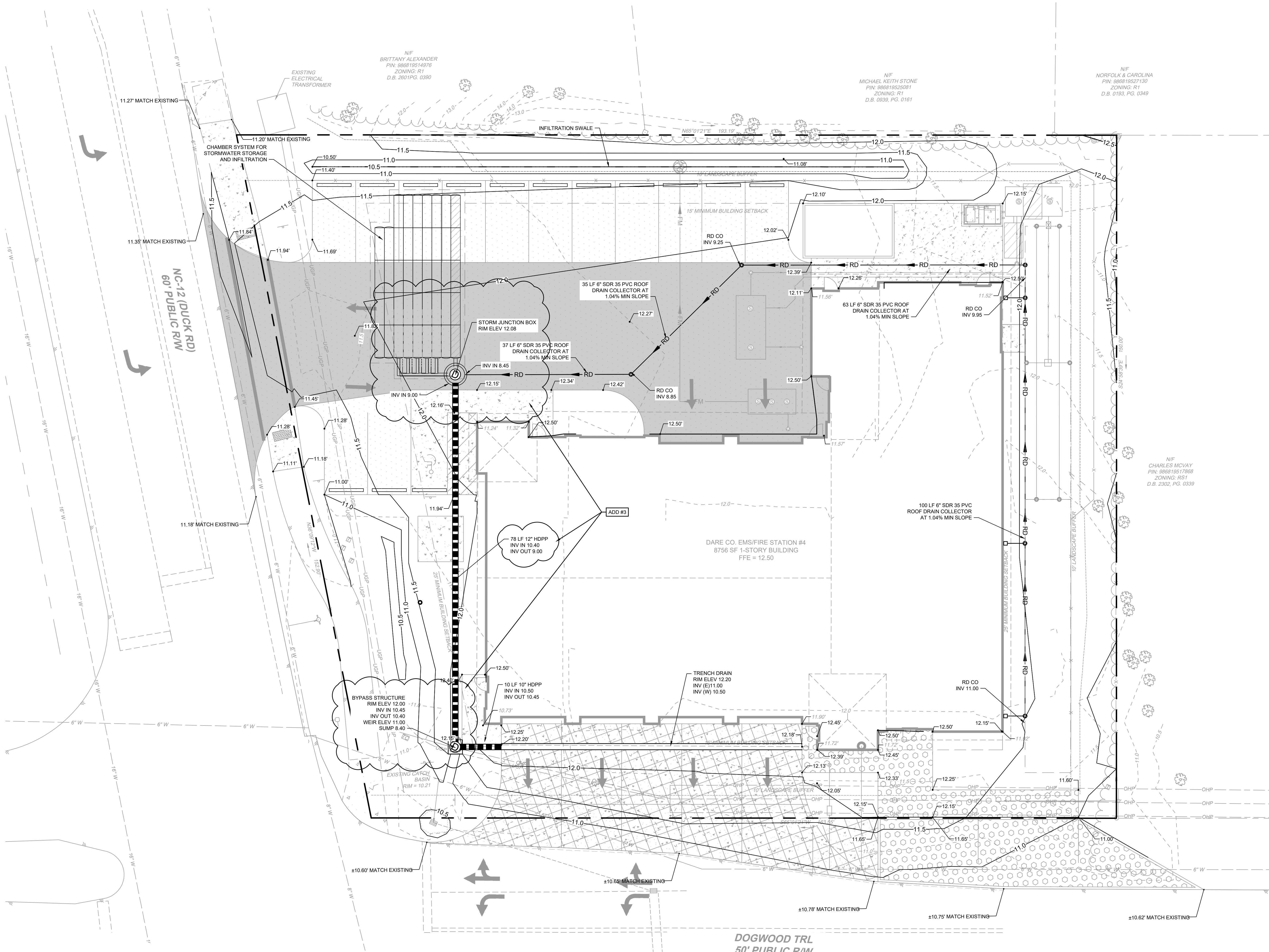
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VEGETATION.

- TYPE "C" BUFFER: A 5' WIDE VEGETATIVE BUFFER THAT WILL REACH
A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
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CENTERS

- DISTURBED AREA WILL NOT EXCEED 0.66 ACRES

- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL
COME FROM AN APPROVED MINE.

- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.

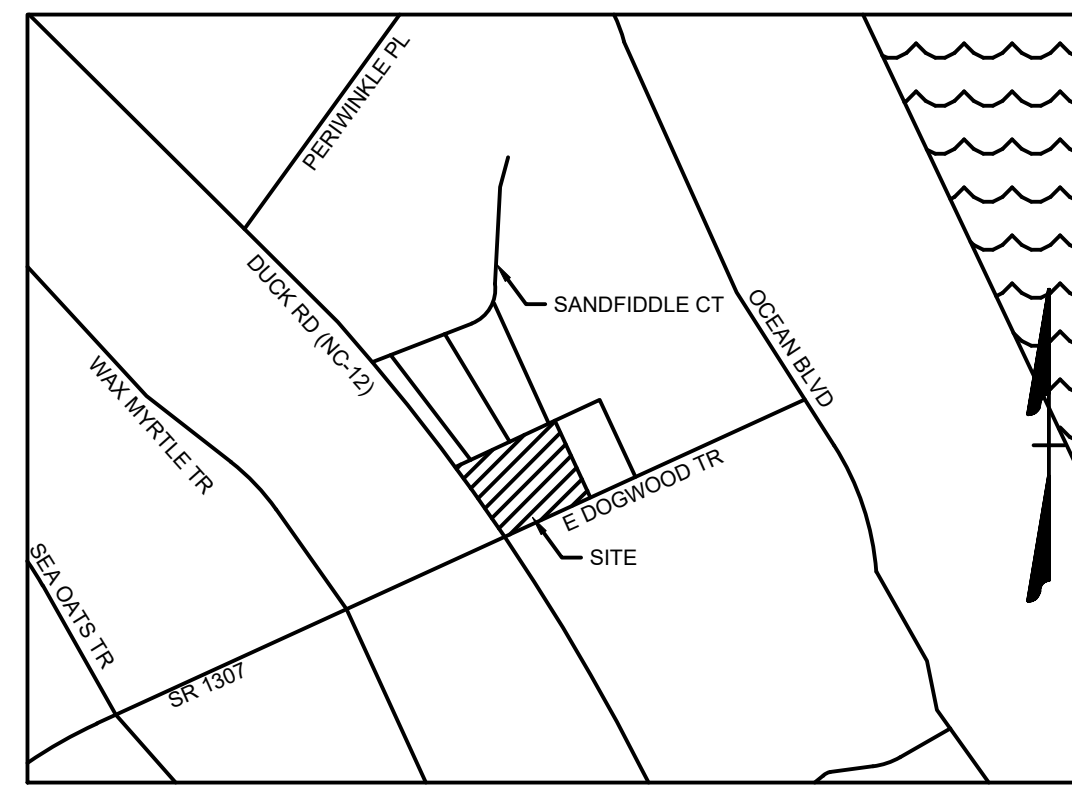


LEGEND

- BENCHMARK
- EX FIRE HYDRANT
- EX WATER VALVE
- EX WATER METER
- EX SEWER MANHOLE
- EX SEWER CLEANOUT
- EX POWER POLE
- EX GUY ANCHOR
- EX ELECTRIC METER
- EX TELECOM PEDESTAL
- EX SIGN
- EX TREE
- PROP SEWER CLEANOUT
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- PROP WATER VALVE
- PROP WATER METER
- PROP FIRE HYDRANT
- PROP STORM STRUCTURE
- PROPERTY BOUNDARY
- RIGHT OF WAY
- SETBACK
- EX EDGE OF PAVEMENT
- EX FENCE
- EX OVERHEAD POWER
- EX 6" WATER LINE
- EX 8" WATER LINE
- EX 16" WATER LINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX EDGE OF TREE LINE
- PROP FENCE
- PROP MAJOR CONTOUR
- PROP MINOR CONTOUR
- PROP WATER LINE
- PROP SEWER LINE
- PROP FORCE MAIN
- PROP EDGE OF TREE LINE
- PROP DITCH/SWALE
- PROP LIGHT DUTY PAVEMENT
- PROP HEAVY DUTY PAVEMENT
- PROP CONCRETE
- PROP REINFORCED CONCRETE PAVEMENT
- PROP PERVIOUS CONCRETE

SCALE 1"=10'

0 10' 20'



VICINITY MAP

NO SCALE

NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

GENERAL NOTE:
Prior to construction
start, Contractor shall
verify & be responsible
for all dimensions.

Revisions:
#1 2022-09-21 UPDATES PER ARCHITECT
COMMENTS
#2 2022-10-31 ADDENDUM #3 PER BCC

Date: 9/14/22 Project No: 52044.004

Drawn By: JBF Sheet No:

Checked By: KDH C3.0

Sheet Title:

GRADING PLAN



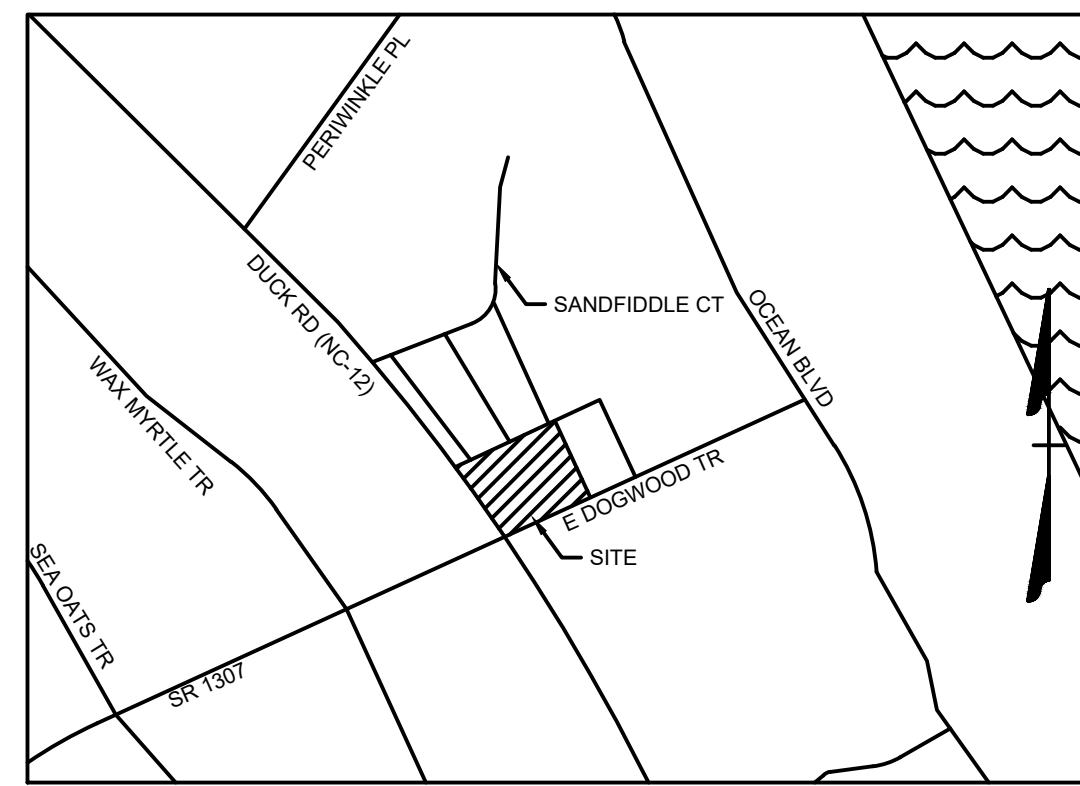
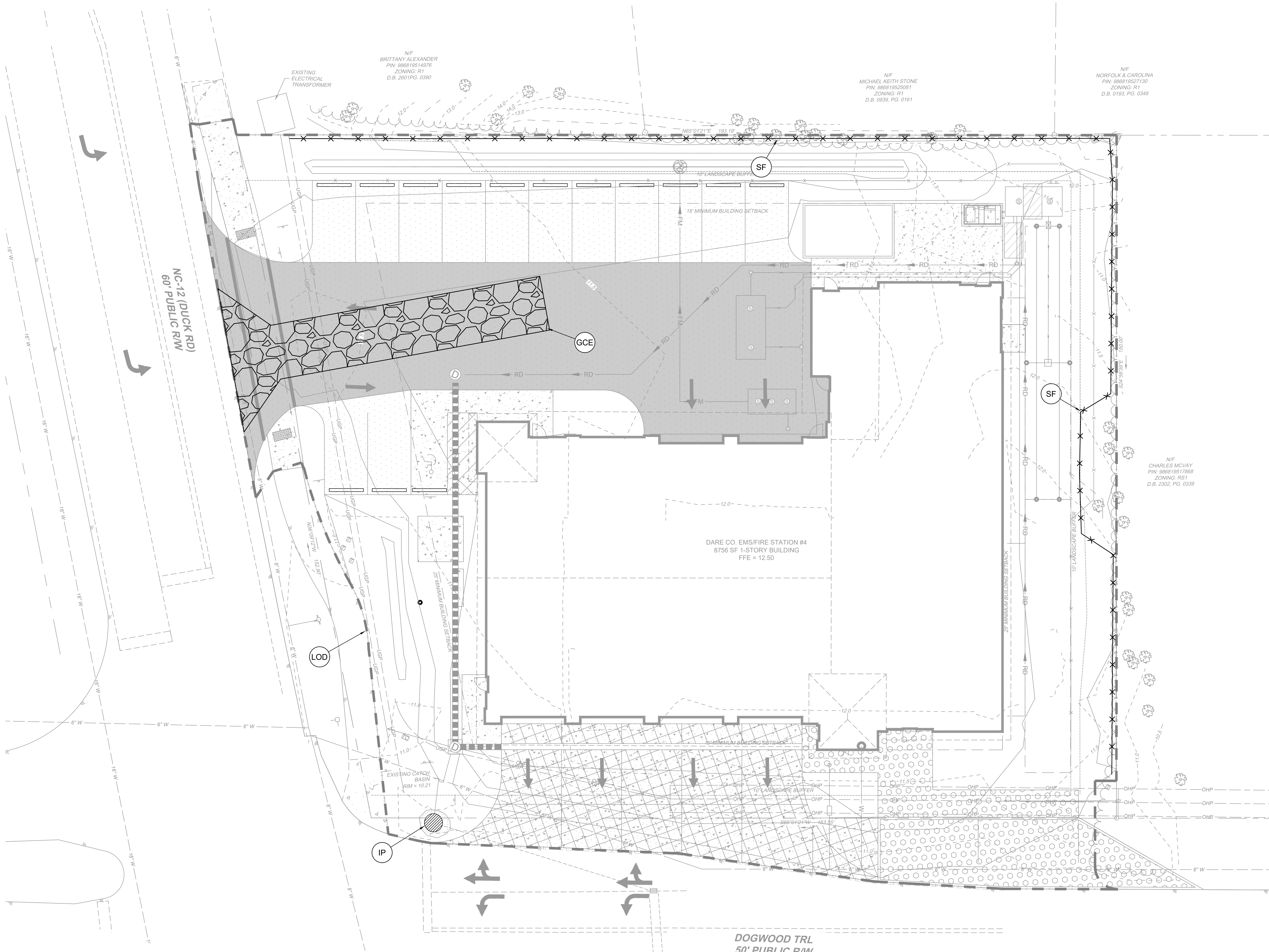


- SITE DATA:
- OWNER:
FIRE SERVICE REAL ESTATE, INC SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
 - SITE INFORMATION:
PIN: 986819516864
D.B. 1790, PG. 153
ZONING: COMMERCIAL
SITE AREA: 0.62 AC
SITE ADDRESS: 28 E DOGWOOD TRL
SOUTHERN SHORES, NC 27949
 - ACCORDING TO FIRM MAP NUMBER 3720986900K, DATED JUNE 19, 2020,
THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.
 - BUILDING SETBACKS:
FRONT: 25'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'
 - IMPERVIOUS AREA CALCULATIONS:

EXISTING COVERAGE:
BUILDING: 4,699 SF (17.56%)
ASPHALT: 10,930 SF (40.85%)
CONCRETE/SIDEWALK: 3,162 SF (11.93%)
GREEN SPACE: 7,932 SF (29.65%)
TOTAL: 26,723 SF (100.00%)
TOTAL IMPERVIOUS: 18,621 SF (70.35%)

PROPOSED COVERAGE:
BUILDING: 8,906 SF (33.29%)
ASPHALT: 8,126 SF (30.37%)
CONCRETE/SIDEWALK: 1,408 SF (5.26%)
GREEN SPACE: 8,215 SF (30.88%)
TOTAL: 26,755 SF (100.00%)
TOTAL IMPERVIOUS: 18,440 SF (68.93%)
DECREASE IN IMPERVIOUS AREA: 381 SF

- PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
ONE SPACE/FOUR SEATS IN TRAINING ROOM
10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM:
12 SPACES REQUIRED
PROVIDED: 16 SPACES (INCLUDING 1 ADA)
- TYPE "B" BUFFER: A 10' WIDE BUFFER WITH VEGETATION THAT WILL
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VEGETATION.
- TYPE "C" BUFFER: A 5' WIDE VEGETATIVE BUFFER THAT WILL REACH
A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
REACH A HEIGHT OF 6' IN THREE YEARS AT NO MORE THAN 20' ON
CENTERS
- DISTURBED AREA WILL NOT EXCEED 0.66 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL
COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.

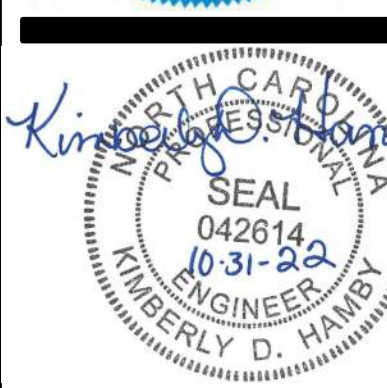


VICINITY MAP
NO SCALE

- LEGEND
- LOD LIMIT OF DISTURBANCE
 - GCE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
 - IP INLET PROTECTION
 - SF SILT FENCE

SCALE 1"=10'
0 10' 20'

NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.	
Revisions: #1 2022-09-11 UPDATES PER ARCHITECT COMMENTS #2 2022-10-31 ADDENDUM #3 PER BCC	
Date: 9/14/22	Project No: 52044.004
Drawn By: JBF	Sheet No: C3.1
Checked By: KDH	Sheet Title: EROSION CONTROL PLAN

TIMMONS GROUP
YOUR VISION. OUR PASSION. OUR COMMITMENT.
THESE DRAWINGS WERE PREPARED AT THE
ELIZABETH CITY OFFICE
100 West City Street, Suite 404
Elizabeth City, NC 27935
TEL: 252-333-8899
FAX: 252-333-8899
www.timmonsgrp.com
North Carolina License No. C-13452

OAKLEY COLLIER ARCHITECTS
OCA ARCHITECTS
109 Cordlewood Road, Rocky Mount, NC 27864 (P) 252-923-2300
1111 Hayes Street, Suite 109, Raleigh, NC 27664 (P) 919-965-7700



Know what's below.
Call before you dig.

- SITE DATA:
- OWNER:
FIRE SERVICE REAL ESTATE, INC SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
 - SITE INFORMATION:
PIN: 986819516864
D.B. 1790, PG. 163
ZONING: COMMERCIAL
SITE AREA: 0.82 AC
SITE ADDRESS: 28 E DOGWOOD TRL
SOUTHERN SHORES, NC 27949
 - ACCORDING TO FIRM MAP NUMBER 3720186800K, DATED JUNE 19, 2020,
THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.
 - BUILDING SETBACKS:
FRONT: 20'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'
 - IMPERVIOUS AREA CALCULATIONS:

EXISTING COVERAGE:
BUILDING: 4,699 SF (17.56%)
ASPHALT: 10,830 SF (40.85%)
CONCRETE/SIDEWALK: 3,192 SF (11.83%)
GREEN SPACE: 7,932 SF (29.45%)
TOTAL: 26,753 SF (100.00%)
TOTAL IMPERVIOUS: 18,821 SF (70.35%)

PROPOSED COVERAGE:
BUILDING: 8,906 SF (33.29%)
ASPHALT: 8,126 SF (30.37%)
CONCRETE/SIDEWALK: 1,408 SF (5.26%)
GREEN SPACE: 8,235 SF (30.98%)
TOTAL: 26,735 SF (100.00%)
TOTAL IMPERVIOUS: 18,440 SF (68.93%)
DECREASE IN IMPERVIOUS AREA: 381 SF

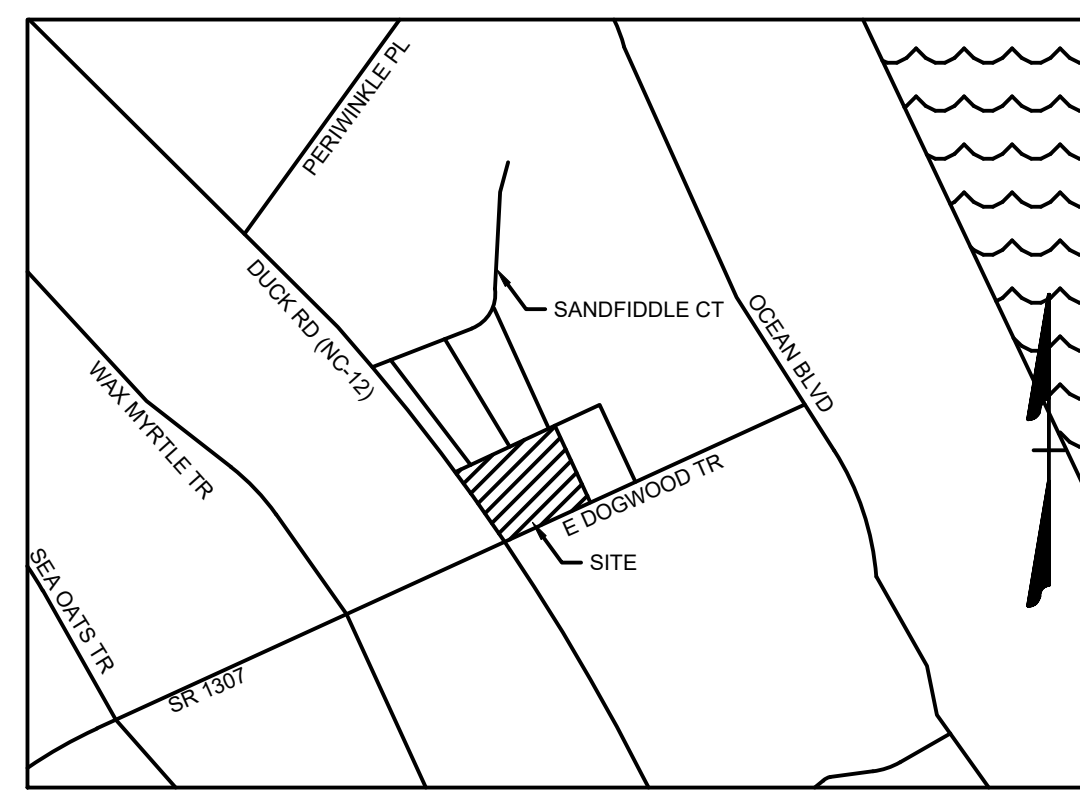
- PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
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10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM:
12 SPACES REQUIRED
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- TYPE 'C' BUFFER: A 5' WIDE VEGETATIVE BUFFER THAT WILL REACH
A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
REACH A HEIGHT OF 6' IN THREE YEARS AT NO MORE THAN 20' ON
CENTERS
- DISTURBED AREA WILL NOT EXCEED 0.66 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL
COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.

UTILITY NOTES:

- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION
AVAILABLE. TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND
UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION
PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING
CONSTRUCTION. CONTRACTOR SHALL CONTACT NO ONE CALL AT 811 FOR UTILITY
LOCATION.
- ALL INSPECTIONS SHALL BE COORDINATED WITH DARE COUNTY WATER SYSTEM
AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
- ALL WATERMANS SHALL BE EITHER C-900 PVC OR DUCTILE IRON AS SHOWN ON
PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS
AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF
LOGO FOR POTABLE WATER.
- THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER
(SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING
MANS PRIOR TO ORDERING MATERIALS.
- DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY DARE
COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER
DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE
INSPECTION OF WATERLINE.
- THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE
DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF
CONSTRUCTION.
- ALL WATERMANS SHALL HAVE A MINIMUM OF 36" COVER.

- ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A
CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE
AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
- WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY
NCDEQ AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE
INSPECTED BY A REPRESENTATIVE OF DARE COUNTY WATER SYSTEM AND/OR THE
ENGINEER.
- UNDERGROUND WATERLINES SHALL BE INSTALLED PER NFPA REQUIREMENTS
FOR THE SPRINKLER SYSTEM. THESE LINES SHALL BE PRESSURE TESTED AT 200
PSI FOR TWO HOURS, AFTER WHICH, THEY SHALL BE THOROUGHLY FLUSHED. THIS
APPLIES TO THE MAIN LINE OF THE SYSTEM.
- LPP SUPPLY LINE SHALL HAVE A MINIMUM OF 24" COVER IN GRASS AREAS AND
SHALL HAVE 36" MINIMUM COVER UNDER ANY DRIVEWAY OR PARKING AREA.
- GRAVITY SEWER UNDER GRASS AREAS ON SITE SHALL BE 6" SOLID CORE SCH40
PVC W/ DWV FITTINGS @ 1% MINIMUM SLOPE. GRAVITY SEWER UNDER ANY
DRIVEWAY OR PARKING AREA SHALL BE DUCTILE IRON.
- FOR ALL WASTE WATER TANK CONNECTIONS, LINE SIZES AND MATERIALS, AND
ALL OTHER SPECIFICATIONS PLEASE REFER TO SHEET C6.6

REV #2



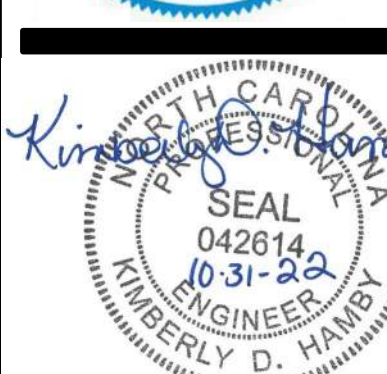
VICINITY MAP
NO SCALE

LEGEND

- BENCHMARK
- EX FIRE HYDRANT
 - EX WATER VALVE
 - EX WATER METER
 - EX SEWER MANHOLE
 - EX SEWER CLEANOUT
 - EX POWER POLE
 - EX GUY ANCHOR
 - EX ELECTRIC METER
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 - PROP. CONCRETE
 - PROP. REINFORCED CONCRETE PAVEMENT
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SCALE 1"=10'
0 10' 20'

NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



PERMIT
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Revisions
#1 2022-09-21 UPDATES PER ARCHITECT
COMMENTS
#2 2022-10-31 MATERIAL NOTES PER DCH

Date: 9/14/22
Project No: 52044.004

Drawn By: JBF
Sheet No: C4.0

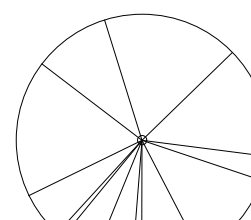
Checked By: KDH
Sheet Title: UTILITY PLAN



- SITE DATA:
- OWNER:
FIRE SERVICE REAL ESTATE, INC. SOL
15 S DOGWOOD TRL
KITTY HAWK, NC 27949
 - SITE INFORMATION:
PIN: 986819516864
D.B. 1700, PG. 153
ZONING: COMMERCIAL
SITE AREA: 0.62 AC
SITE ADDRESS: 28 E DOGWOOD TRL
SOUTHERN SHORES, NC 27949
 - ACCORDING TO FIRM MAP NUMBER 3720986800K, DATED JUNE 19, 2020,
THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.
 - BUILDING SETBACKS:
FRONT: 25'
SIDE (NORTH): 15'
SIDE (SOUTH): 10'
REAR: 25'
 - IMPERVIOUS AREA CALCULATIONS:
EXISTING COVERAGE: 4,699 SF (17.56%)
BUILDING: 10,930 SF (40.85%)
ASPHALT: 3,192 SF (11.83%)
CONCRETE/SIDEWALK: 7,932 SF (29.63%)
GREEN SPACE: 26,753 SF (100.0%)
TOTAL: 18,621 SF (70.35%)
TOTAL IMPERVIOUS: 18,621 SF (70.35%)

- PROPOSED COVERAGE:
- BUILDING: 8,906 SF (33.29%)
ASPHALT: 8,126 SF (30.37%)
CONCRETE/SIDEWALK: 1,401 SF (5.26%)
GREEN SPACE: 8,316 SF (31.08%)
TOTAL: 26,753 SF (100.0%)
TOTAL IMPERVIOUS: 18,443 SF (68.93%)
DECREASE IN IMPERVIOUS AREA: 381 SF
6. PARKING:
REQUIRED: ONE SPACE/EMPLOYEE PLUS
ONE SPACE/FOUR SEATS IN TRAINING ROOM
10 EMPLOYEES AND 8 SEATS IN CONFERENCE ROOM:
12 SPACES REQUIRED
PROVIDED: 16 SPACES (INCLUDING 1 ADA)
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A HEIGHT OF 3' WITHIN 3 YEARS PLUS EVERGREEN TREES THAT WILL
REACH A HEIGHT OF 6' IN THREE YEARS AT NO MORE THAN 20' ON
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8. DISTURBED AREA WILL NOT EXCEED 0.66 ACRES
9. ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN
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COME FROM AN APPROVED MINE.
10. TOPOGRAPHIC SURVEY PERFORMED BY TIMMONS GROUP APRIL 2022.

LANDSCAPE LEGEND



PLANT NAME
SWEET BAY MAGNOLIA
MAGNOLIACEAE

QTY
4



PLANT NAME
DWARF YAUPOON HOLLY
VOMITORIA

QTY
13



PLANT NAME
INKBERRY
ILEX GLABRA

QTY
7



PLANT NAME
ORANGE CONEFLOWER
RUDBECKIA FULGIDA

QTY
3



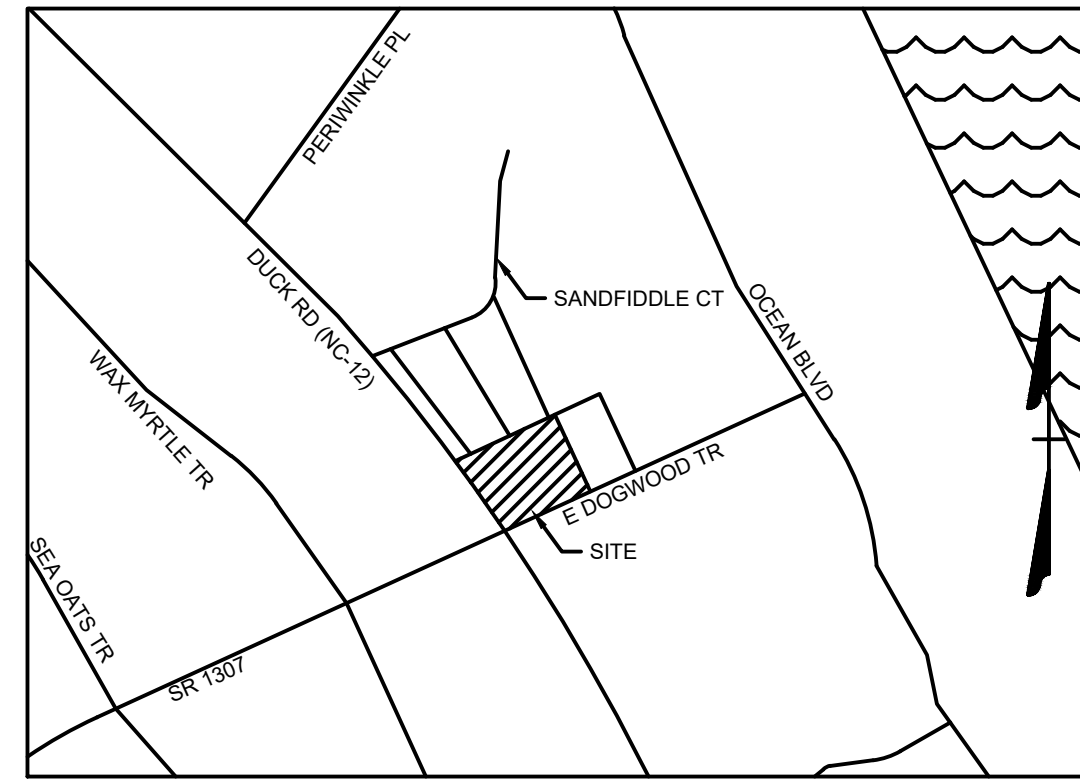
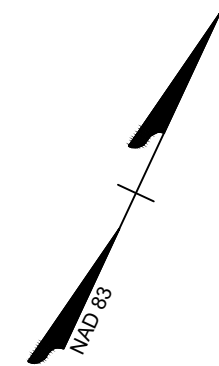
PLANT NAME
WAX MYRTLE
MORELLA CERIFERA

QTY
14

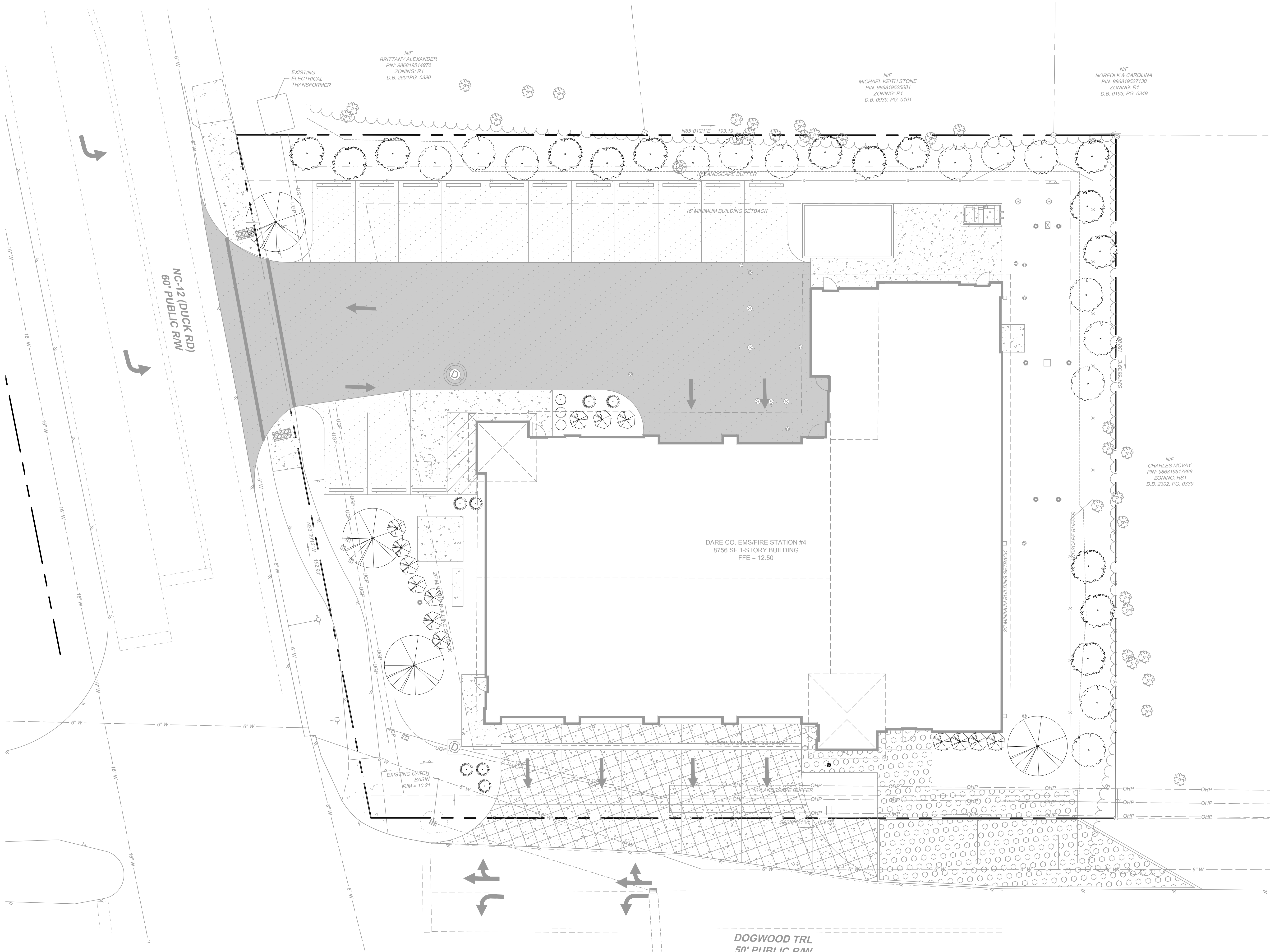


PLANT NAME
YAUPOON HOLLY
ILEX VOMITORIA

QTY
15



VICINITY MAP
NO SCALE



SCALE 1"=10'
0 10' 20'

NEW BUILDING FOR
DARE COUNTY
EMS STATION 4
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA



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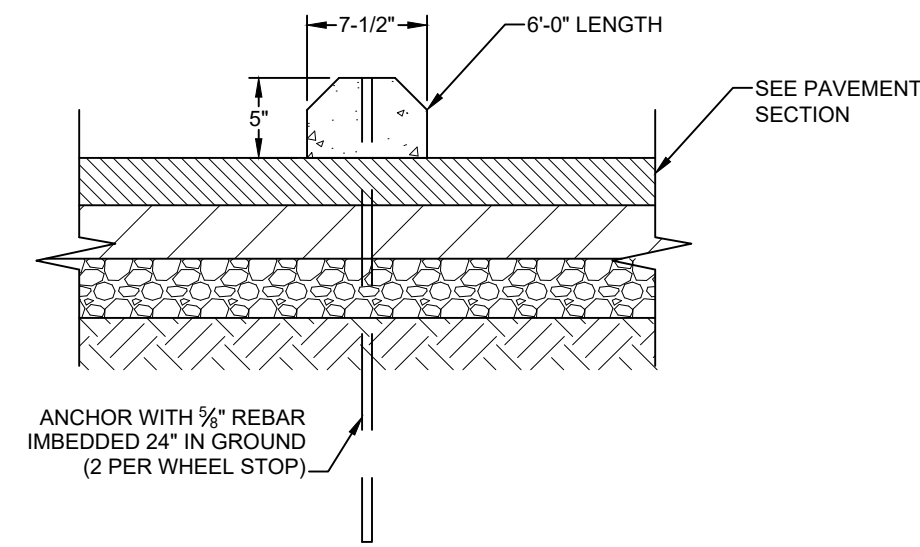
GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all dimensions.	
Revisions: #1 2022-09-11 UPDATES PER ARCHITECT COMMENTS: #2 2022-10-31 ADDENDUM #3 PER BEC	
Date: 9/14/22	Project No: 52044.004
Drawn By: JBF	Sheet No: C5.0
Checked By: KDH	Sheet Title: LANDSCAPE PLAN

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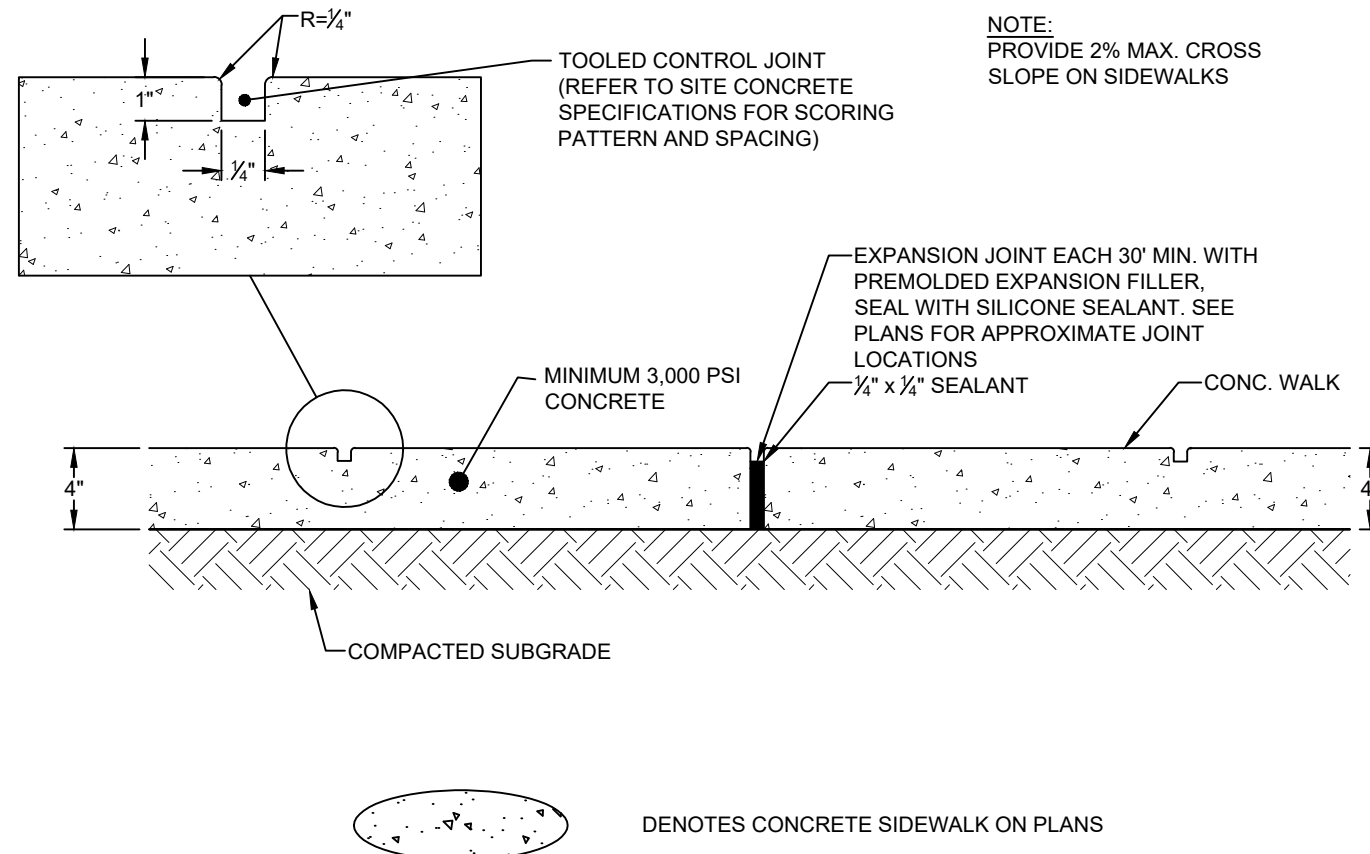
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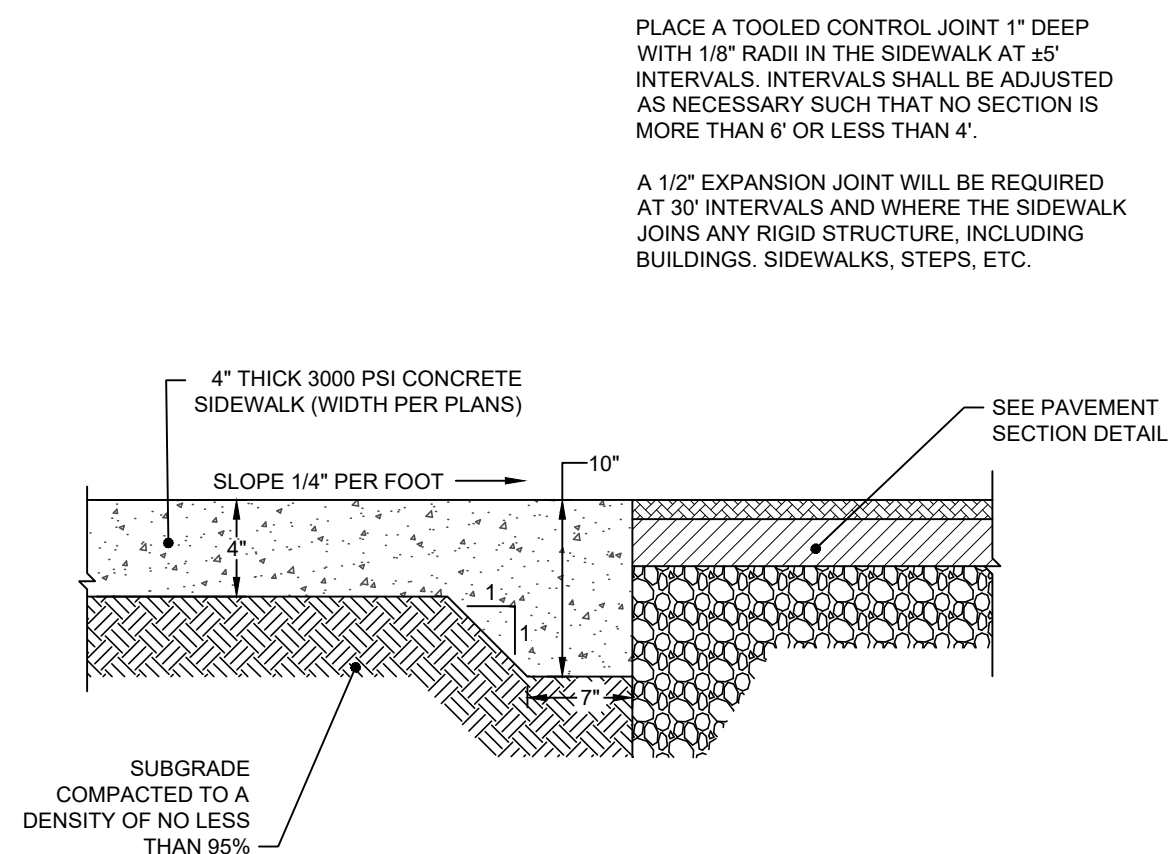
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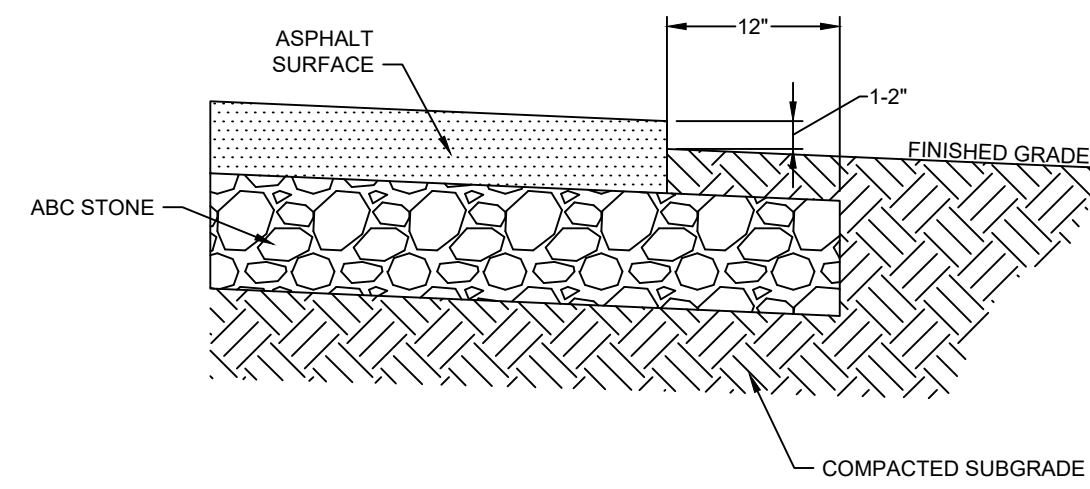
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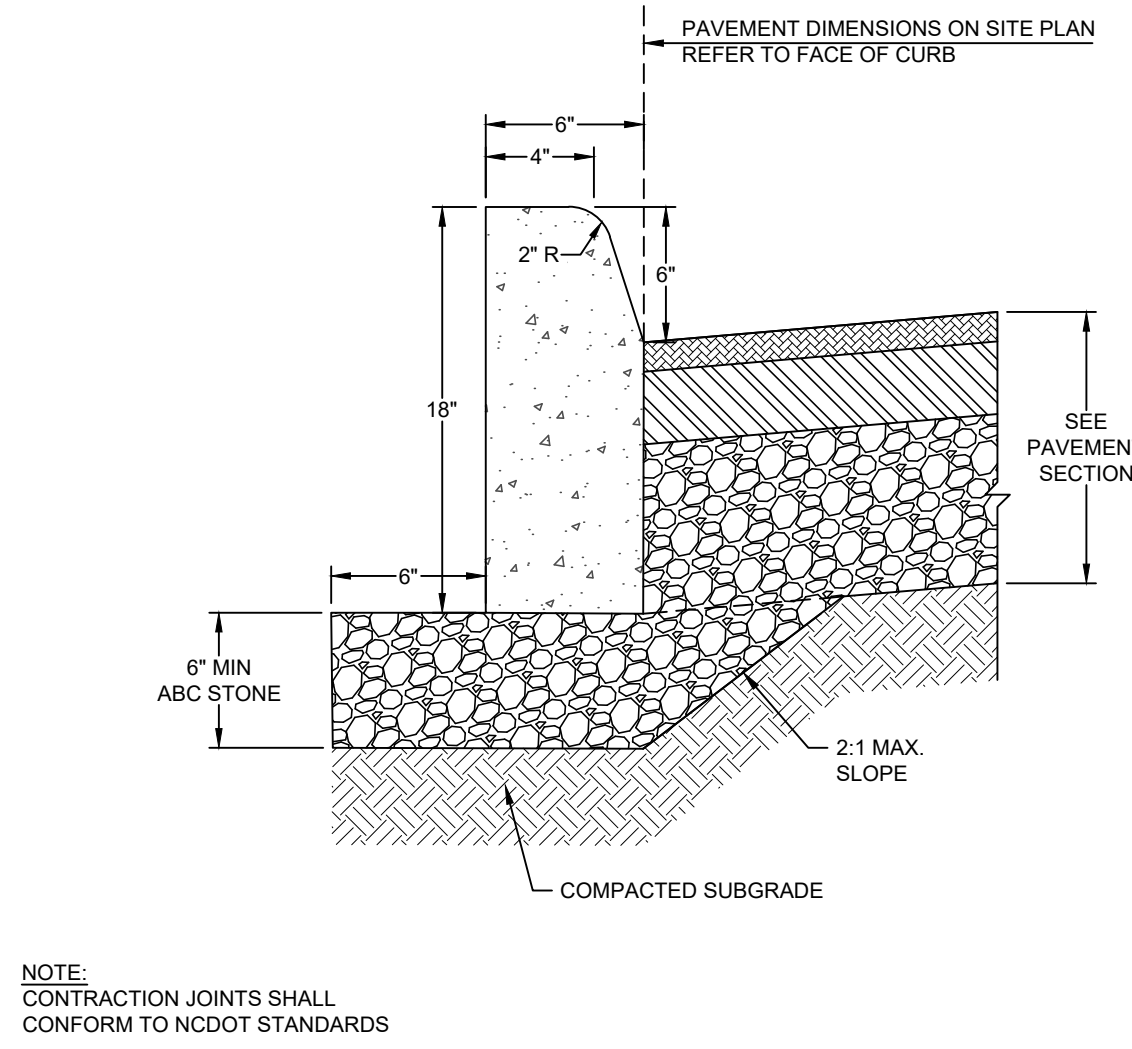
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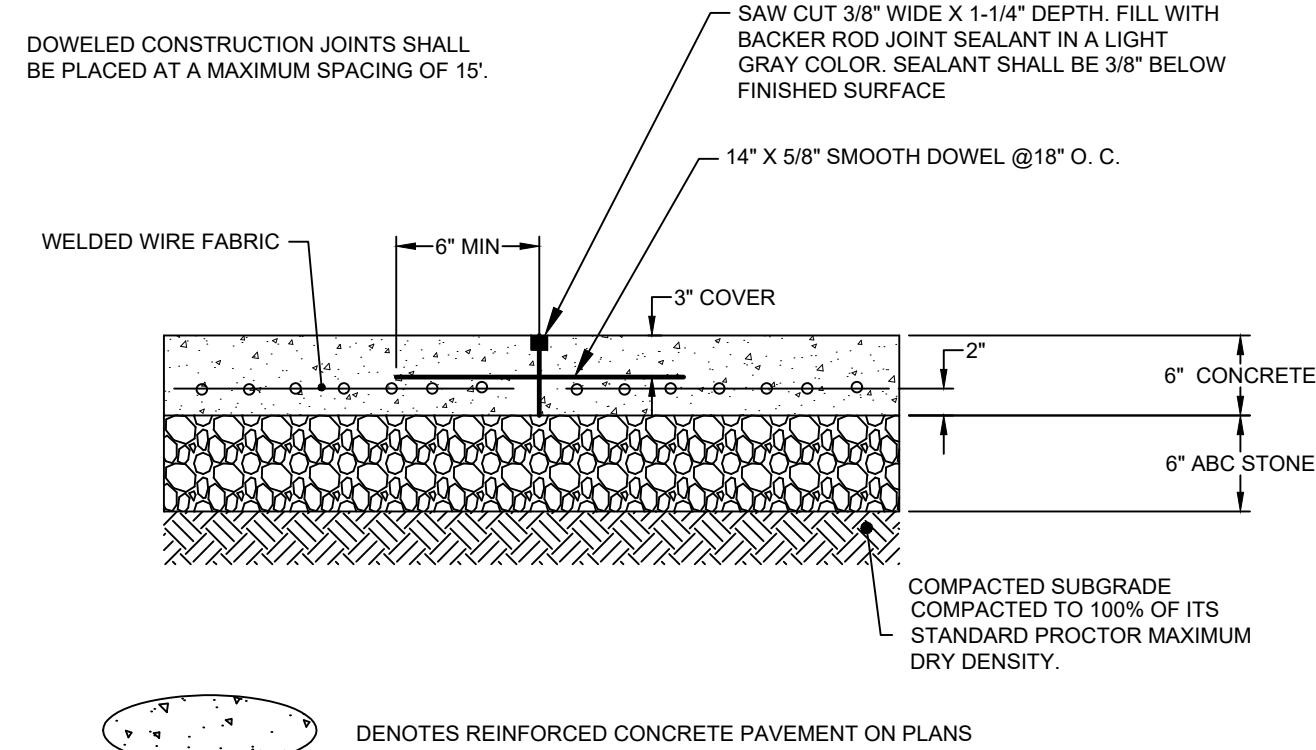
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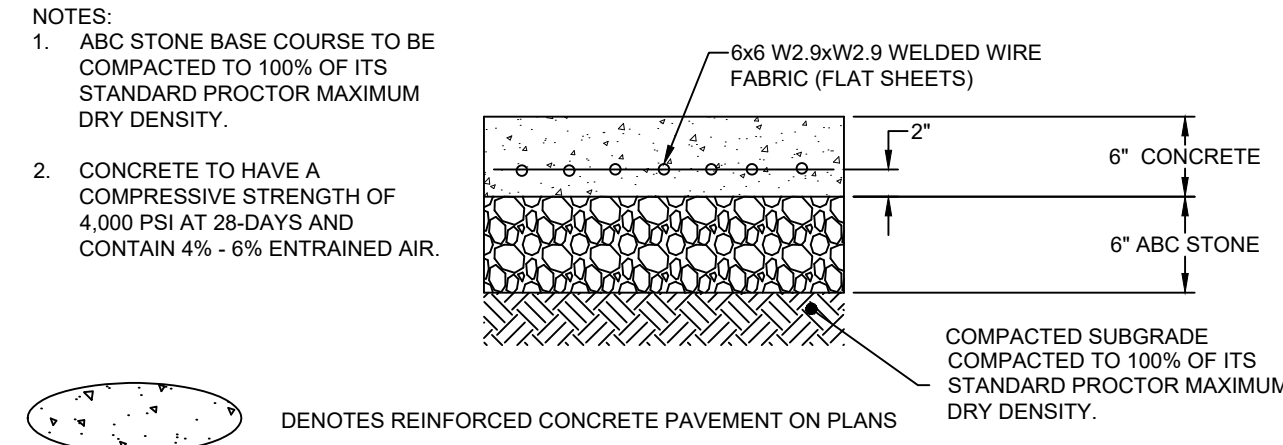
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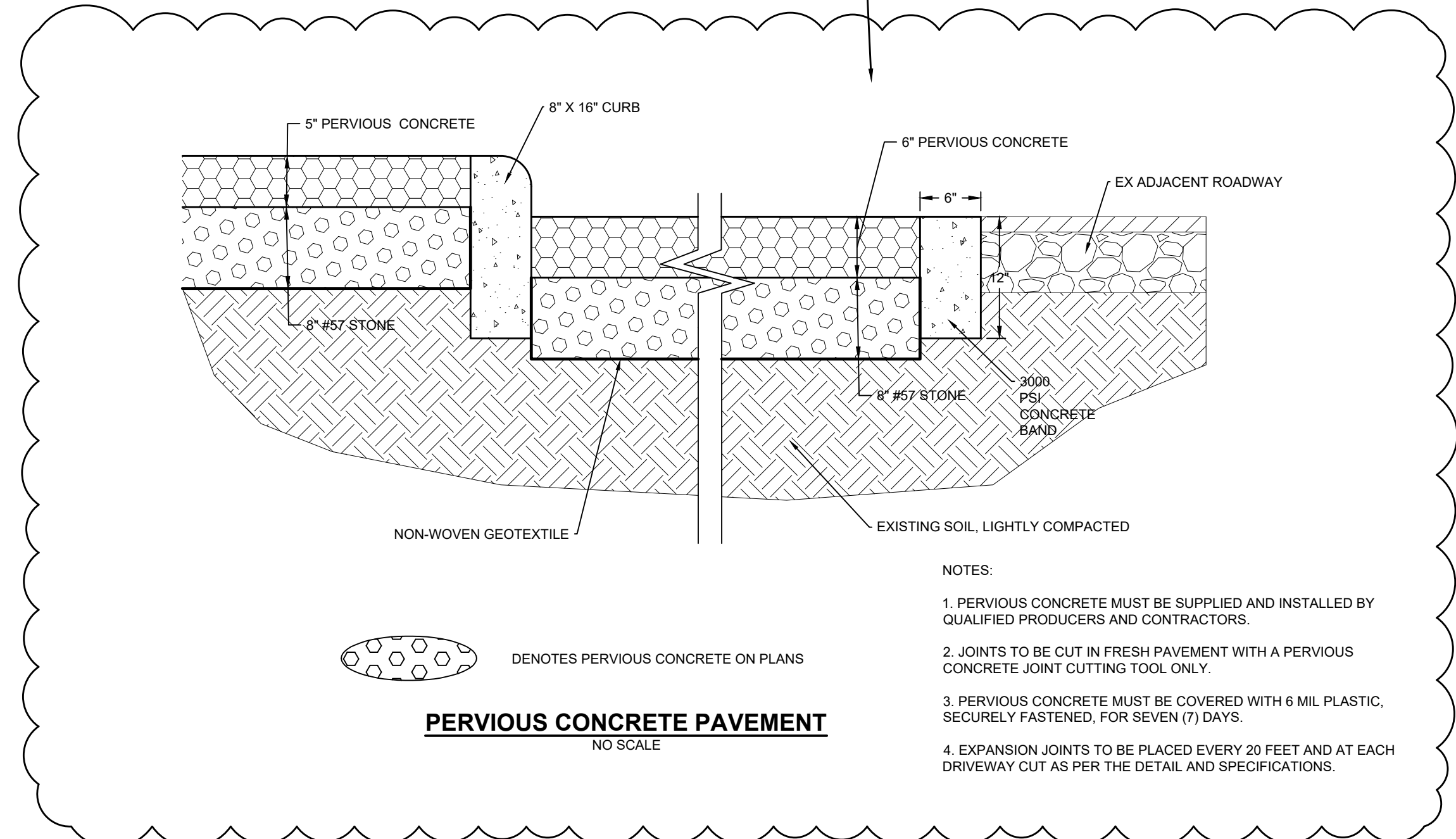
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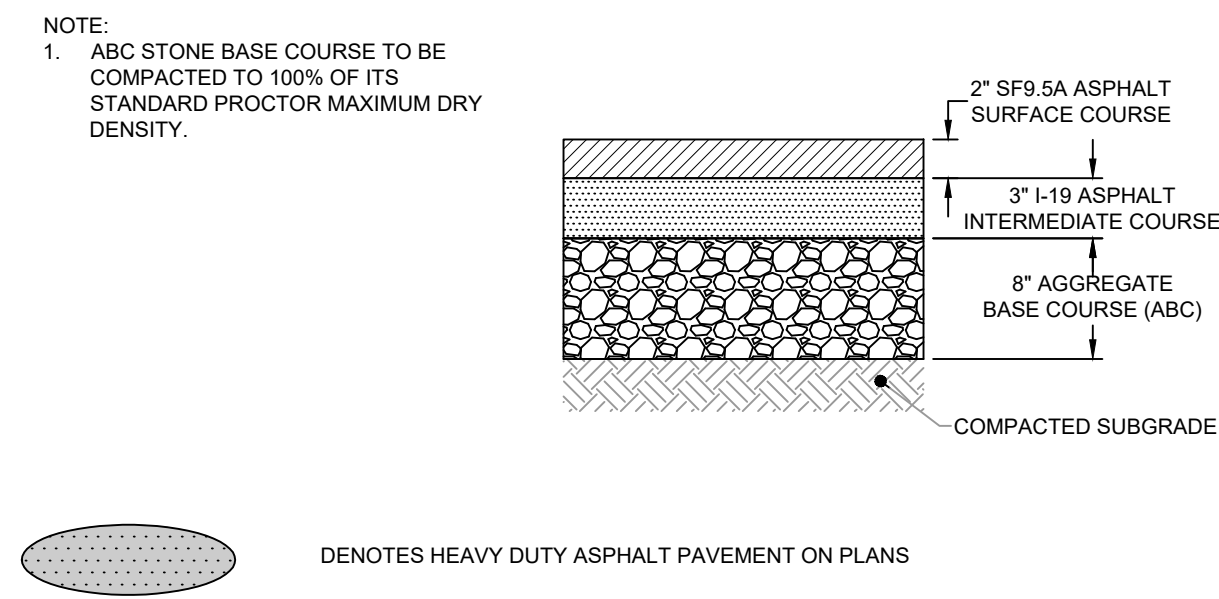
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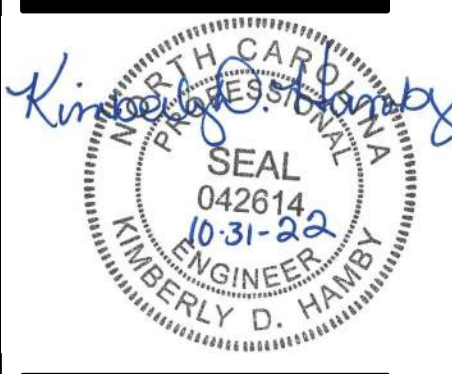
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NEW BUILDING FOR
**DARE COUNTY
EMS STATION 4**
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA

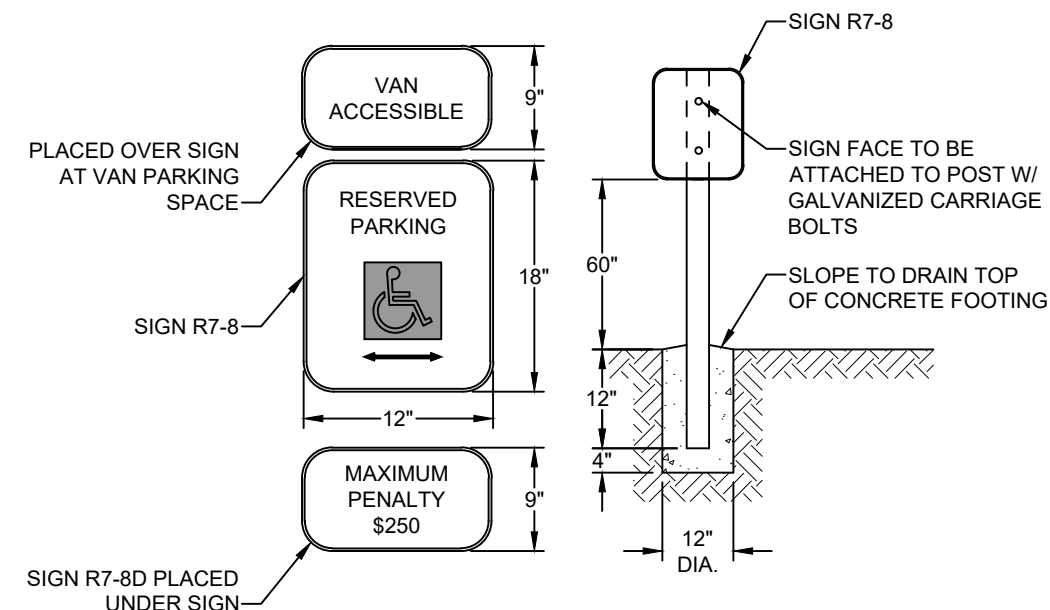


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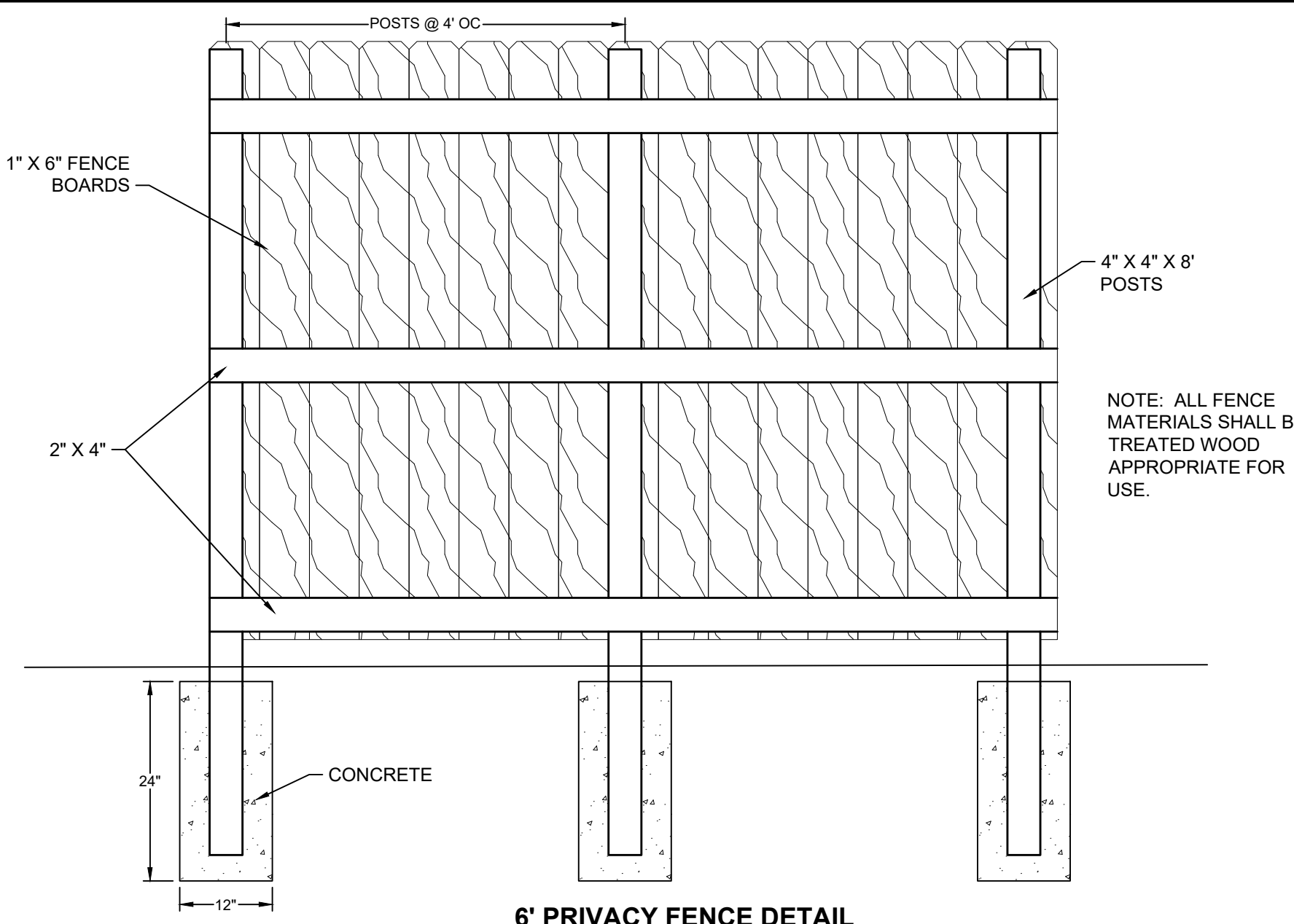
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Drawn By: JBF	Sheet No: C6.0
Checked By: KDH	Sheet Title: SITE DETAILS

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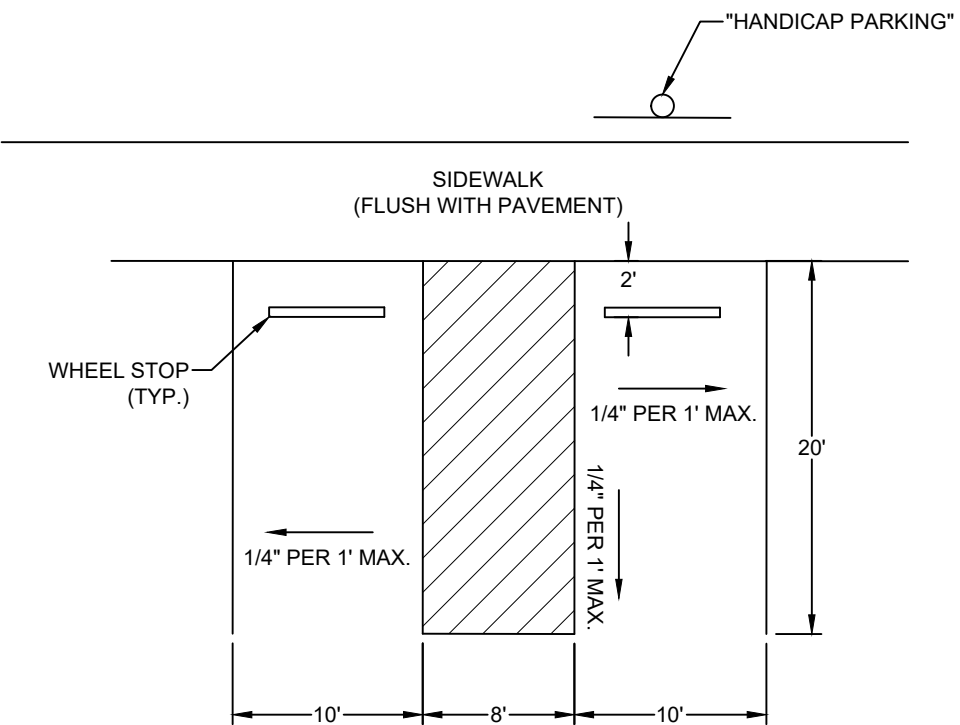
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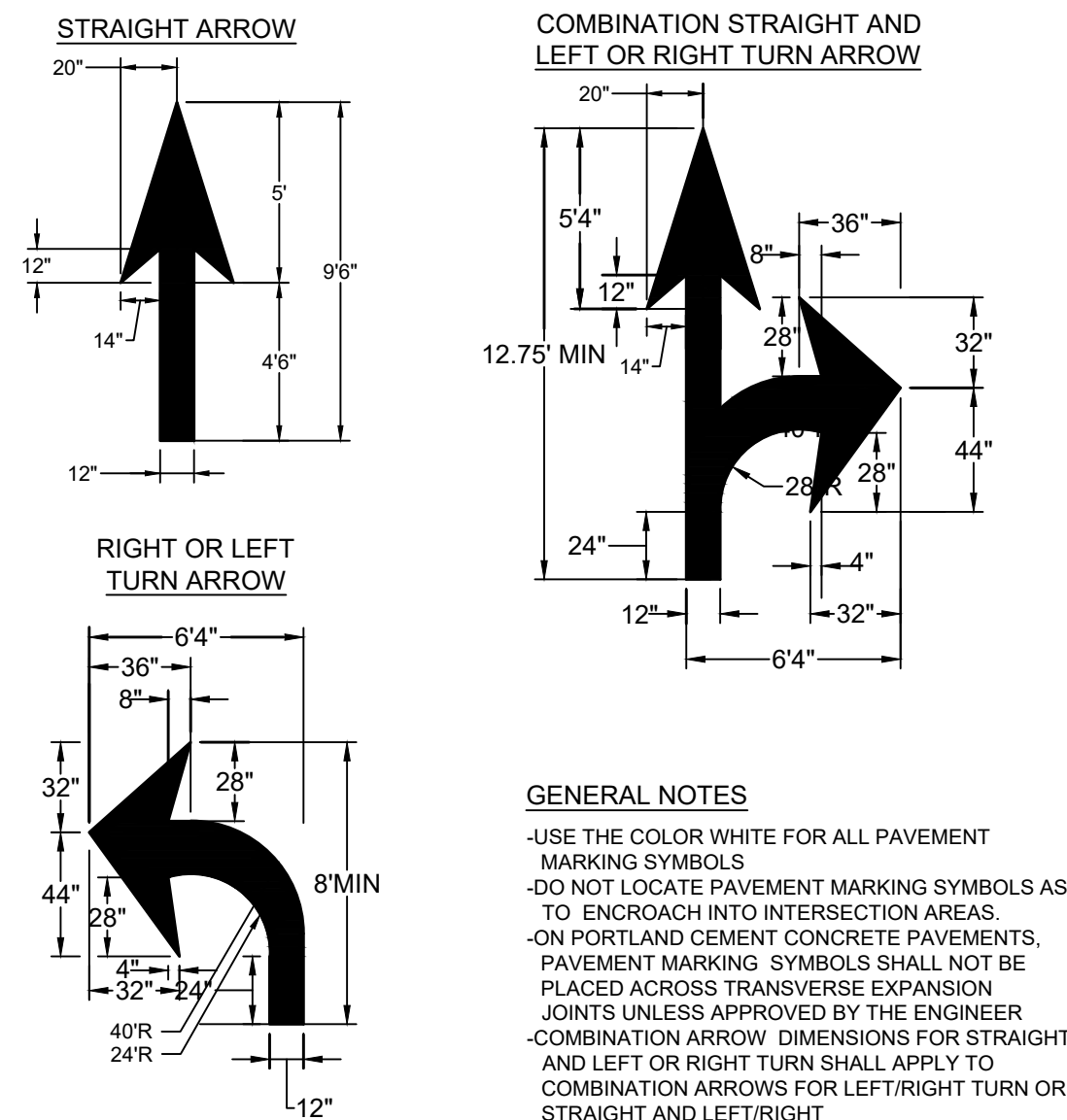
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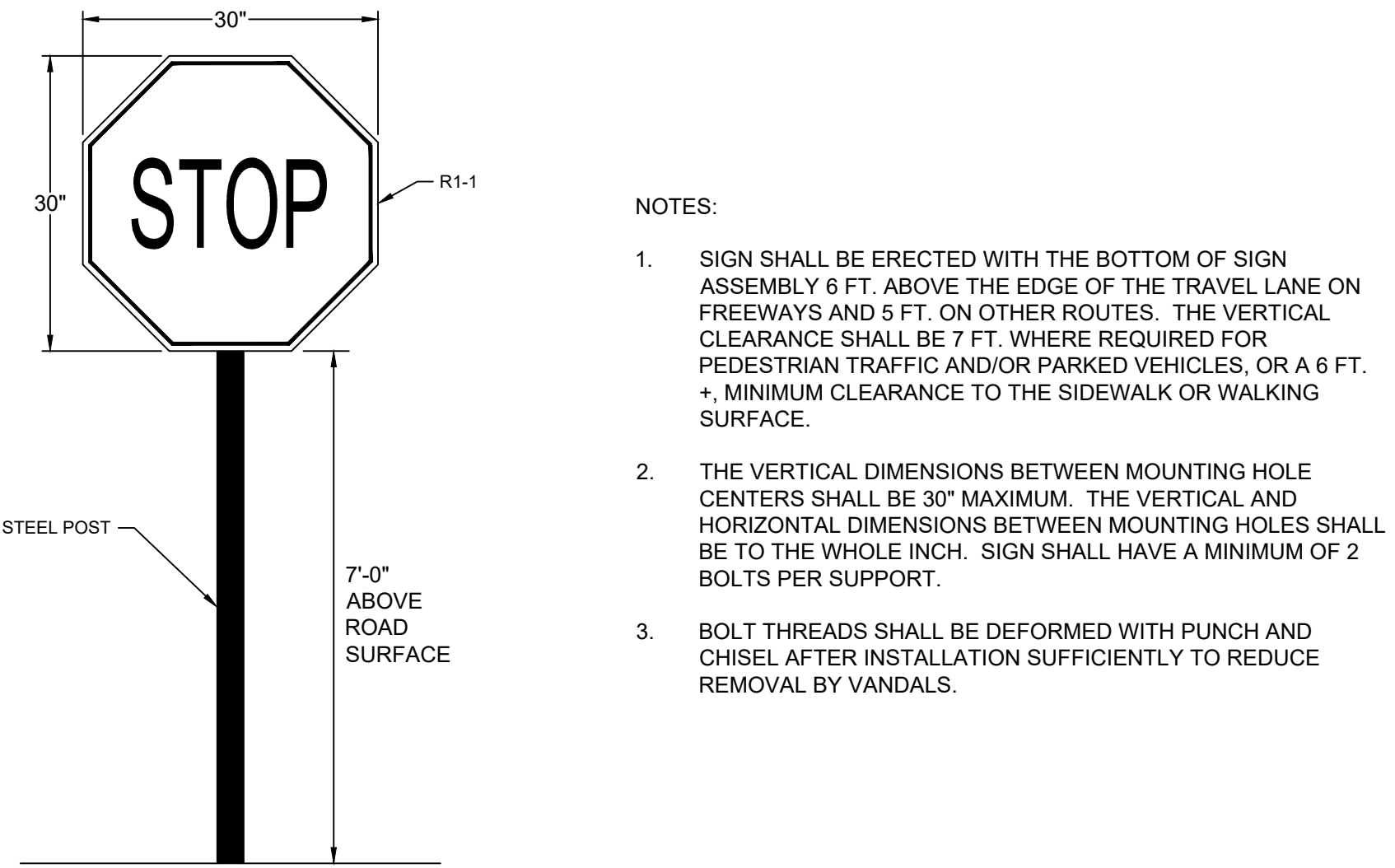
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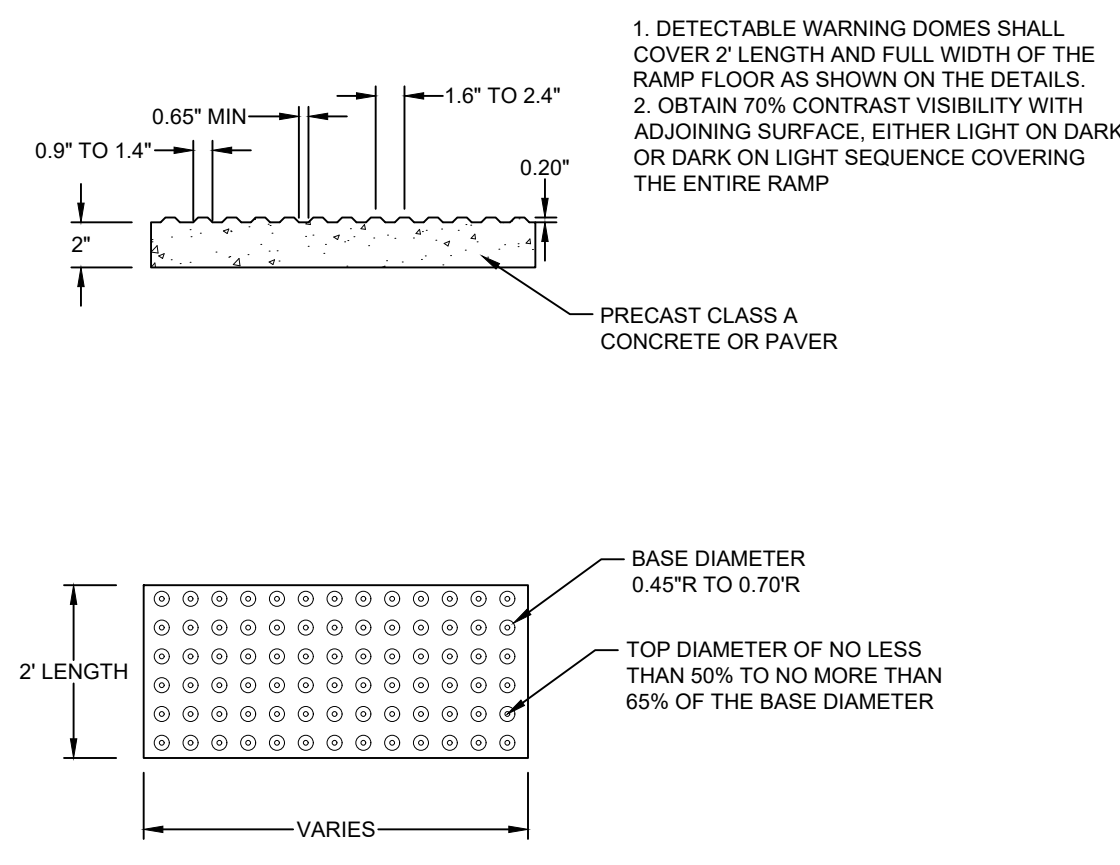
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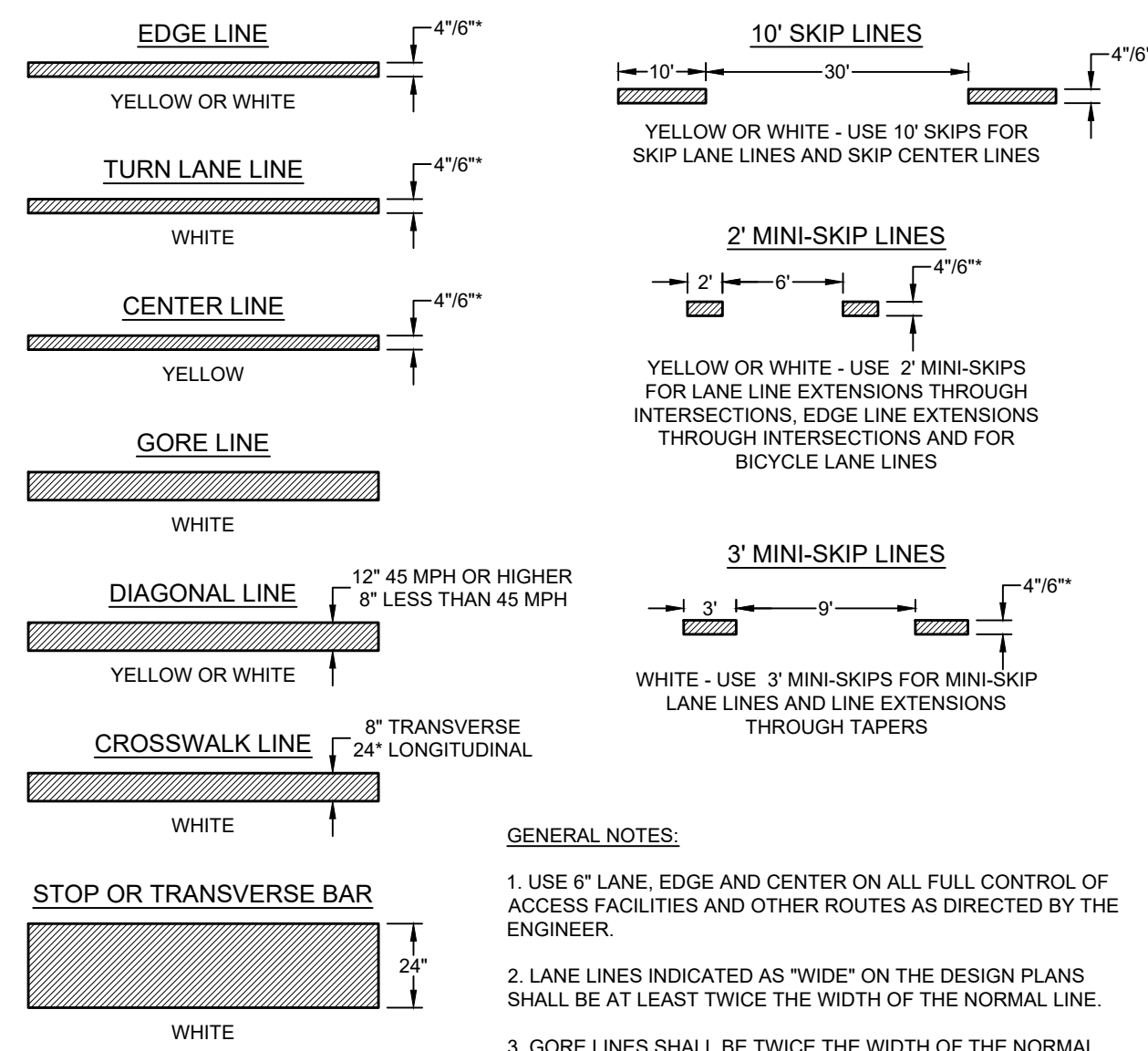
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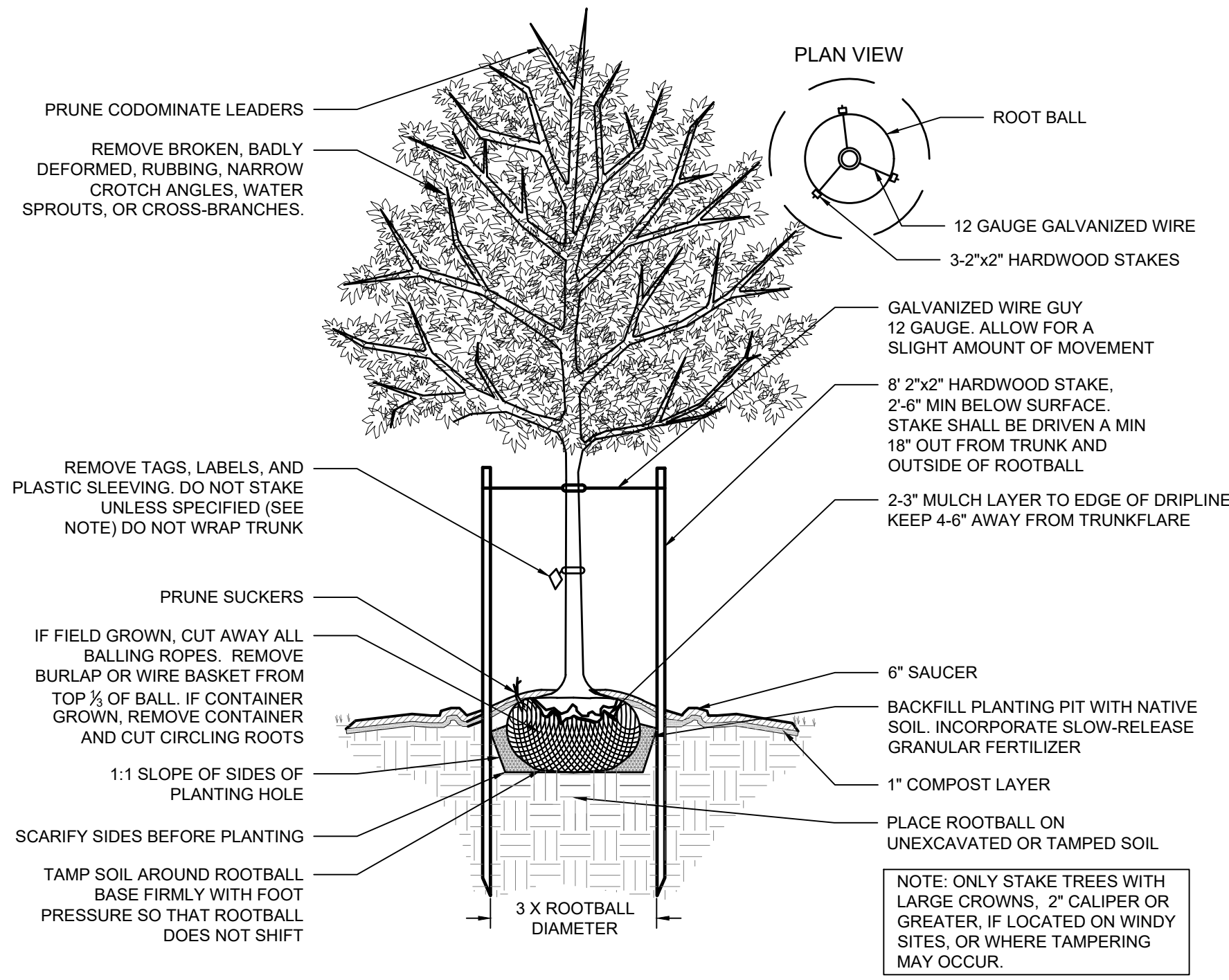
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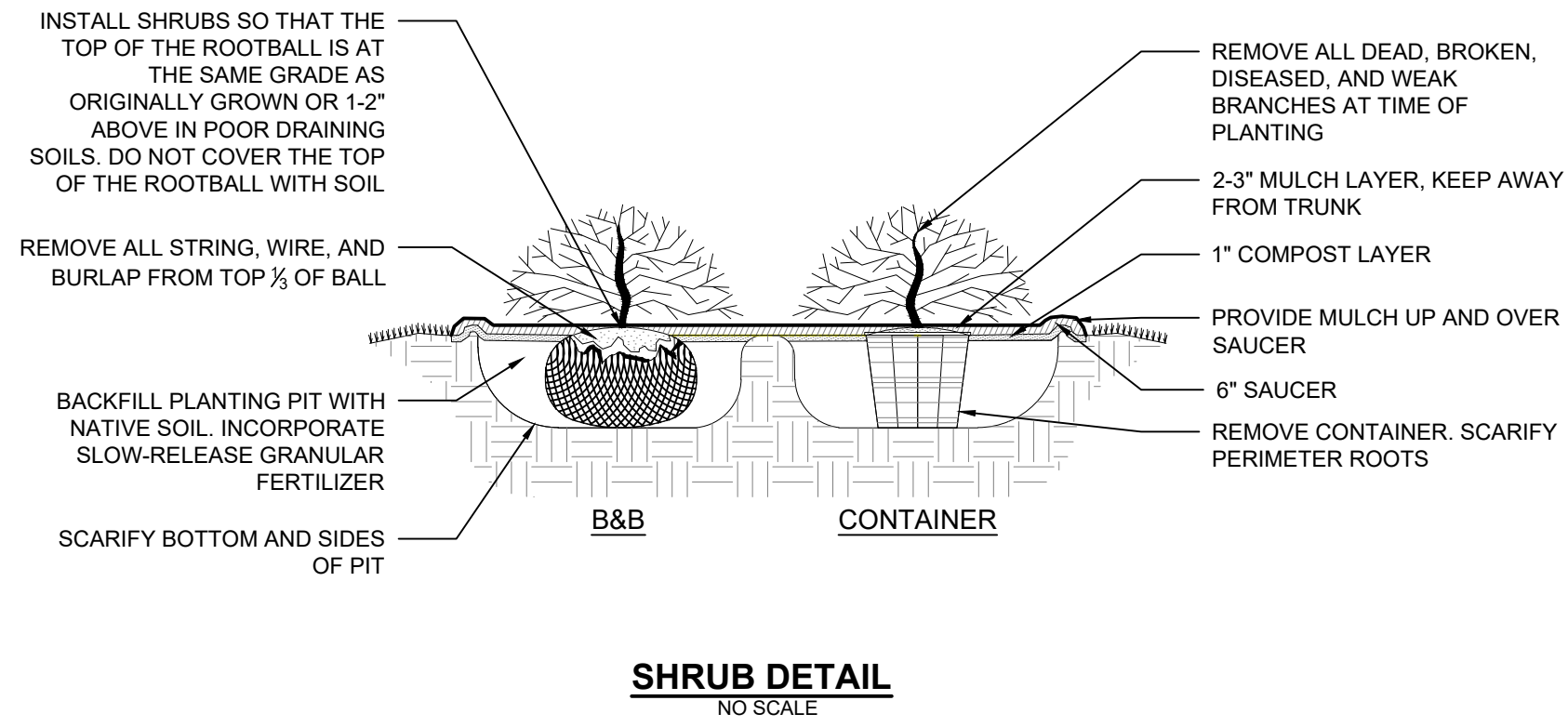
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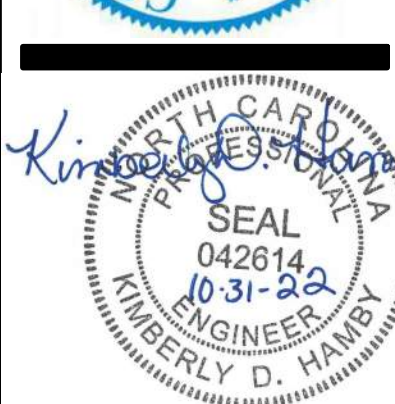
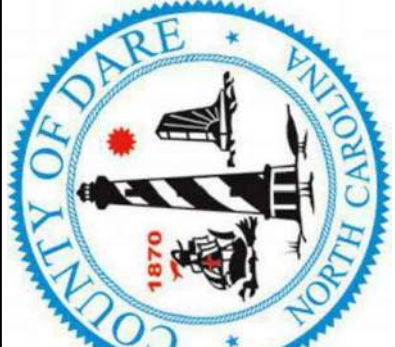


CANOPY TREE DETAIL
NO SCALE



SHRUB DETAIL
NO SCALE

NEW BUILDING FOR
DARE COUNTY
EMS STATION 4
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PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



DARE EMS #4

SOUTHERN SHORES, NC

SC-160LP STORMTECH CHAMBER SPECIFICATIONS

2. CHAMBERS SHALL BE STORMTOST SC-160LP.
3. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
4. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL, STIFFENER COLLECTION CHAMBERS."
5. CHAMBERS SHALL PROVIDE CONTINUOUS UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPROVE UP OR LIMIT ACCESS OR INSPECTION.
6. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE ASHITO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG TERM DEAD LOAD (PERMANENT) AND 2) INSTANTANEOUS ≤ 1 MIN ASHITO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) ASHITO DESIGN TRUCK.
7. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE INSTALLATIONS SHALL BE DESIGNED TO RESIST THE FOLLOWING: 1) INSTANTANEOUS ≤ 1 MIN ASHITO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) ASHITO DESIGN TRUCK.
8. REQUIREMENTS FOR HANDLING AND INSTALLATION:
- TO PREVENT THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
- TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 12".
- TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE ≥ 1.0 PER INCH OF ARCH RADIUS.
- TO PREVENT CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 22° C), CHAMBERS SHALL BE PRODUCED WITH AN EFFECTIVE COEFFICIENT OF THERMAL EXPANSION ≤ 1.0 PER INCH OF ARCH RADIUS.
9. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
- THE STRUCTURAL EVALUATION SHALL BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.35 FOR LOADS 12.12.1 AND 12.12.2 AND GREATER THAN OR EQUAL TO 1.5 FOR LOADS 12.12.3 AND SECTIONS 3.1 AND 3.2 OF THE ASHITO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
10. EXCEPT WHERE SPECIFIED AS DESCRIBED IN ASTM F2418, SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN.
11. EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-160LP SYSTEM

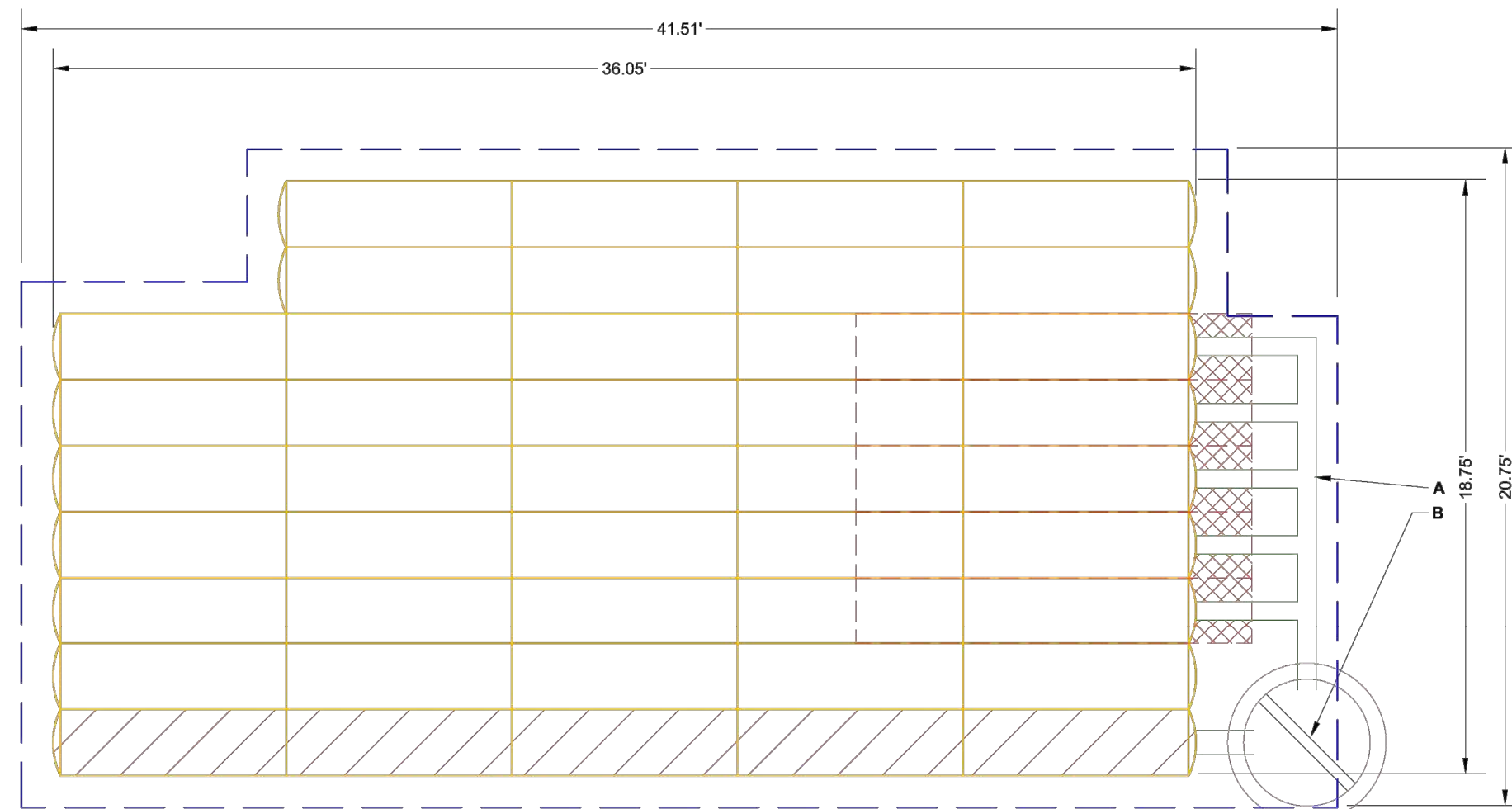
1. STORMTECH SC-160LP CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-160LP CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
3. FOUNDATION STONE AND EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE: AASHTO M43 #3, 4, 467, 3, 56, OR 57.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. THE DEPTH OF FOUNDATION STONE SHALL BE DETERMINED BASED ON THE SUBGRADE BEARING CAPACITY PROVIDED BY THE SITE DESIGN ENGINEER.
6. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES CONCERNING CHAMBER FOUNDATION DESIGN AND SUBGRADE BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
7. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
8. CHAMBERS SHALL BE INSTALLED "TOE TO TOE"; NO ADDITIONAL SPACING BETWEEN ROWS IS REQUIRED.
9. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/ROCKS LOCATED OFF THE CHAMBER BED,
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
10. AGS RECOMMENDS THE USE OF "FLEXITORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

1. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-160LP CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-160LP CONSTRUCTION GUIDE".
2. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT		PROPOSED ELEVATIONS		INVERT ABOVE BASE OF CHAMBER				
				PART TYPE	ITEM ON LAYOUT	DESCRIPTION	INVERT	MAX FLOW
43	STORMWATER SC-160/P CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED):	19.50					
44	STORMWATER SC-160/P END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	11.12	MANHOLE	A	8" x 8" BOTTOM MANHOLE, MOLDED FITTINGS	0.66'	
1	STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	10.00	CONCRETE STRUCTURE	B	(DESIGN BY ENGINEER / PROVIDED BY OTHERS)		1.3 CFS IN
6	STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):	10.00					
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	10.07					
828	INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE	9.50					
		TOP OF SC-160/P CHAMBER	9.50					
		COVER STONE INCLUDED	9.50					
		PERIMETER STONE INCLUDED	9.50					
		(BASE STONE INCLUDED)	6.50					
819	SYSTEM AREA (SF)	8" x 8" BOTTOM MANHOLE INVERT:	8.50					
1243	SYSTEM PERIMETER (ft)	BOTTOM OF SC-160/P CHAMBER	8.50					
		TOP OF STONE	9.50					



- ISOLATOR ROW PLUS
(SEE DETAIL)
- PLACE MINIMUM 12.50'
STONE AND UNDERNEATH
CHAMBER INLET ROWS

NOTES

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #632 FOR MANHOLE SIZING GUIDANCE.
 IF THE CAPACITATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS. THE FOLLOWING ARE THE DESIGN CRITERIA TO BE USED:
 • THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
 • THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS AVAILABLE.
NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

• **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

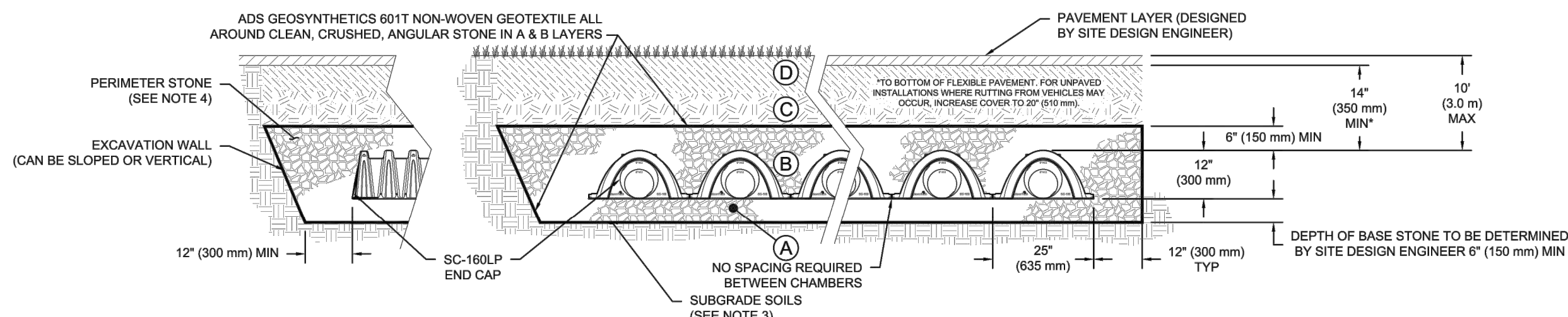
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ACCEPTABLE FILL MATERIALS: STORMTECH SC-160LP CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D* STARTS FROM THE TOP OF THE C* LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D* LAYER	ANY SLOOPEK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK MATERIALS FOR PAVEMENT SUBBASE REQUIREMENTS.	NA	PREPARE PER SITE DESIGN ENGINEERS PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C* STARTS FROM THE TOP OF THE EMBEDEDMENT STONE (B* LAYER) TO 10" (254 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE C* LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M443 ²¹ A-1, A-2, A-3 OR AASHTO M43 ²² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AT 10" (254 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS 8" (203 mm) MAX TO ACHIEVE A MIN. 95% PROCT DENSITY PER AASHTO T-99. WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLL TO ACHIEVE A MIN. VEHICLE WEIGHT WATER TO EXCEED 12000 LBS (53 kN), DYNAMIC FORCE NOT TO EXCEED 20000 LBS (89 kN).
B	EMBEDEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A* LAYER) TO THE C* LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ²² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SURGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ²² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ²³

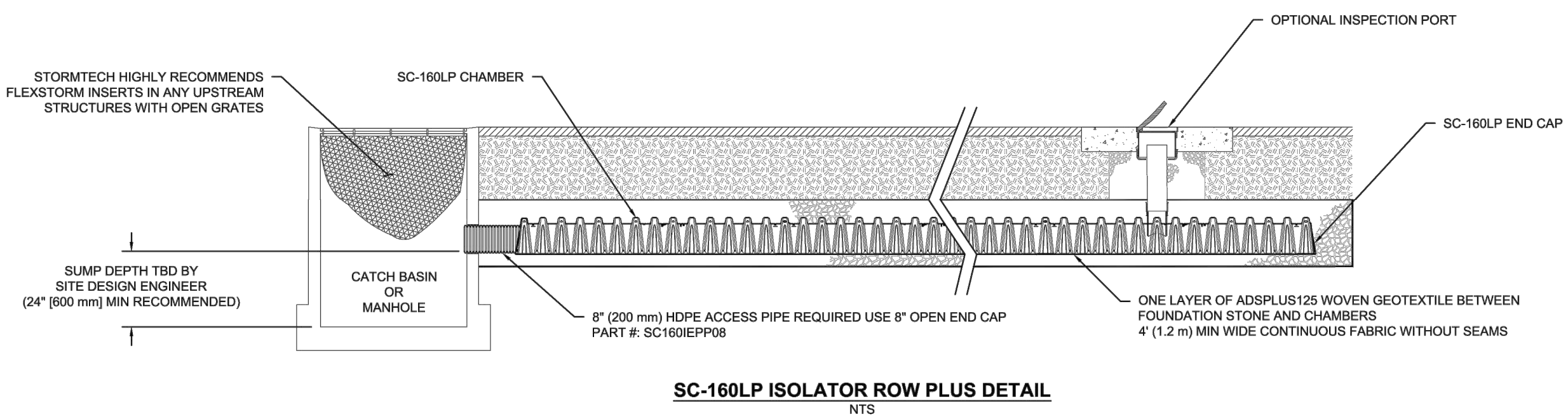
PLEASE NOTE:

1. THE LISTED ASBESTOS DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR A STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHTO M3) STONE".
2. THE COMPACTOR REQUIREMENTS ARE MET FOR A 1' LAYER OF 1.00 TONS MATERIAL WHEN PLACED AND COMPACTED IN A 1' (150 mm) LIFT USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SPACES MAY BE COMPROMISED BY COMPACTOR, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR FURTHER INFORMATION.
4. ONCE LAYER 'C' IS PLACED, ANY SOLI-MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOLLS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEERS DISCRETION.



NOTES:

2. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. CHAMBERS SHALL BE MANUFACTURED FROM A HIGH DENSITY POLYMER WITH AN ULTIMATE TENSILE STRENGTH OF AT LEAST 10,000 PSI AND A MINIMUM ELONGATION TO FAILURE OF 10%.
4. THE PLASTIC CORRUATED WALL STORMWATER COLLECTION CHAMBERS' LOAD CONFIGURATIONS SHALL INCLUDE:
- a) INSTANTANEOUS (1-MIN) ASDR DESIGN TRUCK LIVE LOAD ON MINIMUM CURVE
 - b) MAXIMUM PERMANENT (72-HR) COVER LOADED AND
 - c) ALLOWABLE CURE WITH PARKED (1-WEEK) ASDR DESIGN TRUCK.
- THE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE ALLOWABLE BEARING CAPACITY OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. THE FOLLOWING ARE REQUIRED FOR HANDLING AND INSTALLATION:
- a) TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS
 - b) TO PREVENT DAMAGE TO THE CHAMBER WALL, THE HEIGHT OF THE GRIEBT JOINT SHALL NOT EXCEED 1/4"
 - c) TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ANCHT STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LB/FT². THE ASDC IS DEFINED IN SECTION 6.2.6 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° / 23° C), CHAMBERS SHALL BE PRODUCED FROM

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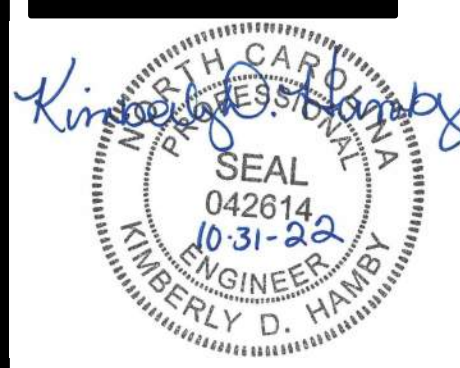
SC-160LP ISOLATOR ROW PLUS DETAIL
NTS

INSPECTION & MAINTENANCE

- | | |
|--------|--|
| STEP 1 | INSPECT ISOLATOR ROW PLUS FOR SEDIMENT |
| | <ul style="list-style-type: none"> A. INSPECTION PORTS (IF PRESENT) <ul style="list-style-type: none"> 1. REMOVE OPEN LIDS ON UP-CAST IN-LINE DRAIN 2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED B. VISUAL INSPECTION OF SEDIMENT DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL) B.2. RECORD IS AT OTHER END OF ROW PLUS (IF POSSIBLE) AND PROCEED TO STEP 3 |
| | <ul style="list-style-type: none"> ALL ISOLATOR ROW PLUS ROWS B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGHT OUTLET PIPE B.3. HAZARDS ON POLES OR OTHERS (IF ANY) MAY BE USED TO AVOID A CONFINE SPACE ENTRY 1. FOLLOW OSHA REGULATIONS FOR CONFINE SPACE ENTRY IF ENTERING MANHOLE 2. SEDIMENT IS AT, OR ABOVE, THE TOP OF THE ISOLATOR ROW PLUS? IF YES, DO NOT PROCEED TO STEP 3 |
| | <ul style="list-style-type: none"> B.3. CLEAN OUT ISOLATOR ROW PLUS USING THE ACTIVE PROCESS A. VACUUM CLEANING NOZZLE WITH REACH RACING OF 50' (11 m) OR MORE IS PREFERRED B. USE A LARGE TUBE PASSAGE OF 12" OR MORE BACKFLOW WATER IS CLEAN C. FIRMED STRUCTURE SUMP AS REQUIRED |
| STEP 3 | REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS. |
| STEP 4 | INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTRENCH SYSTEM. |

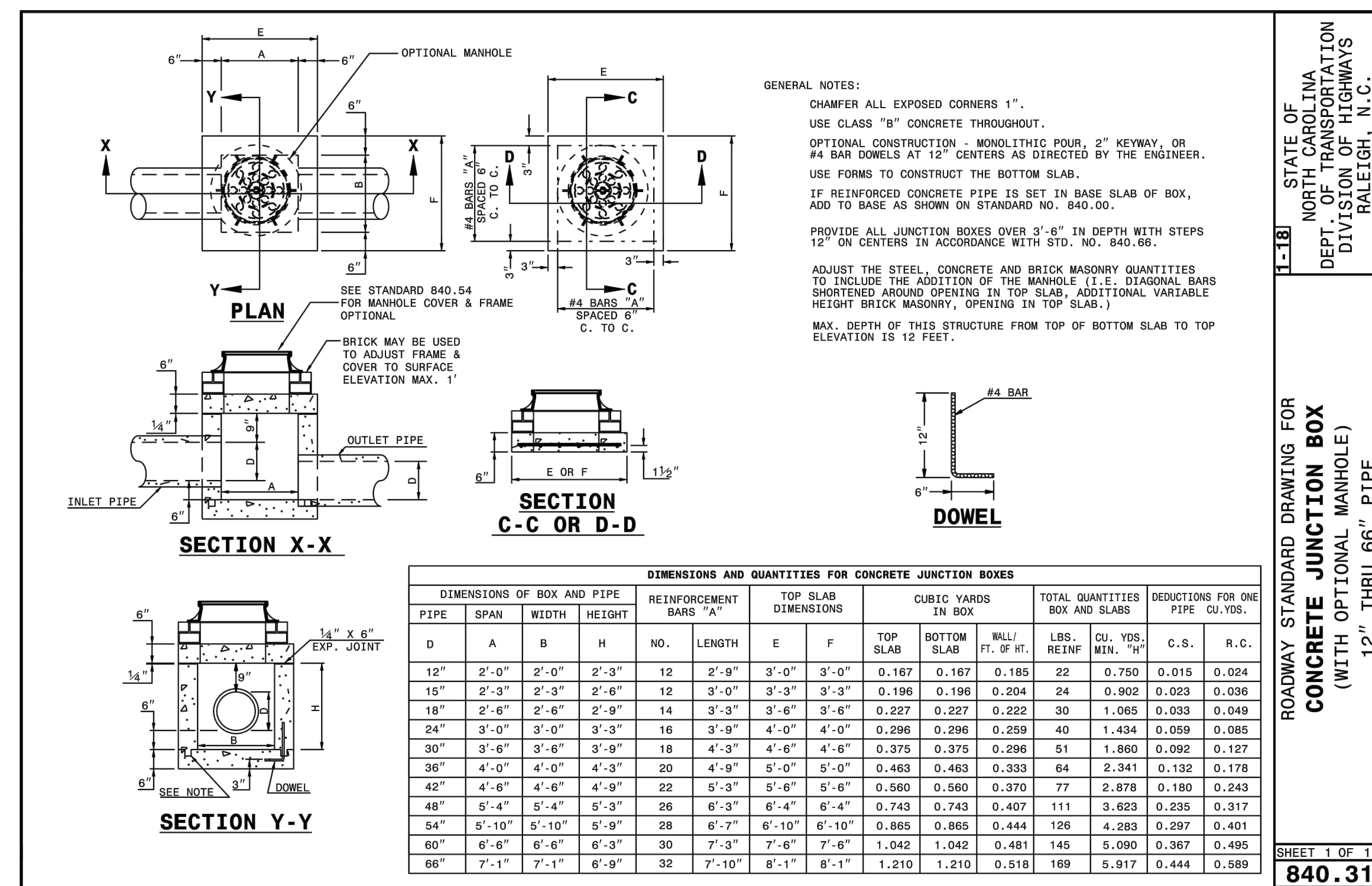
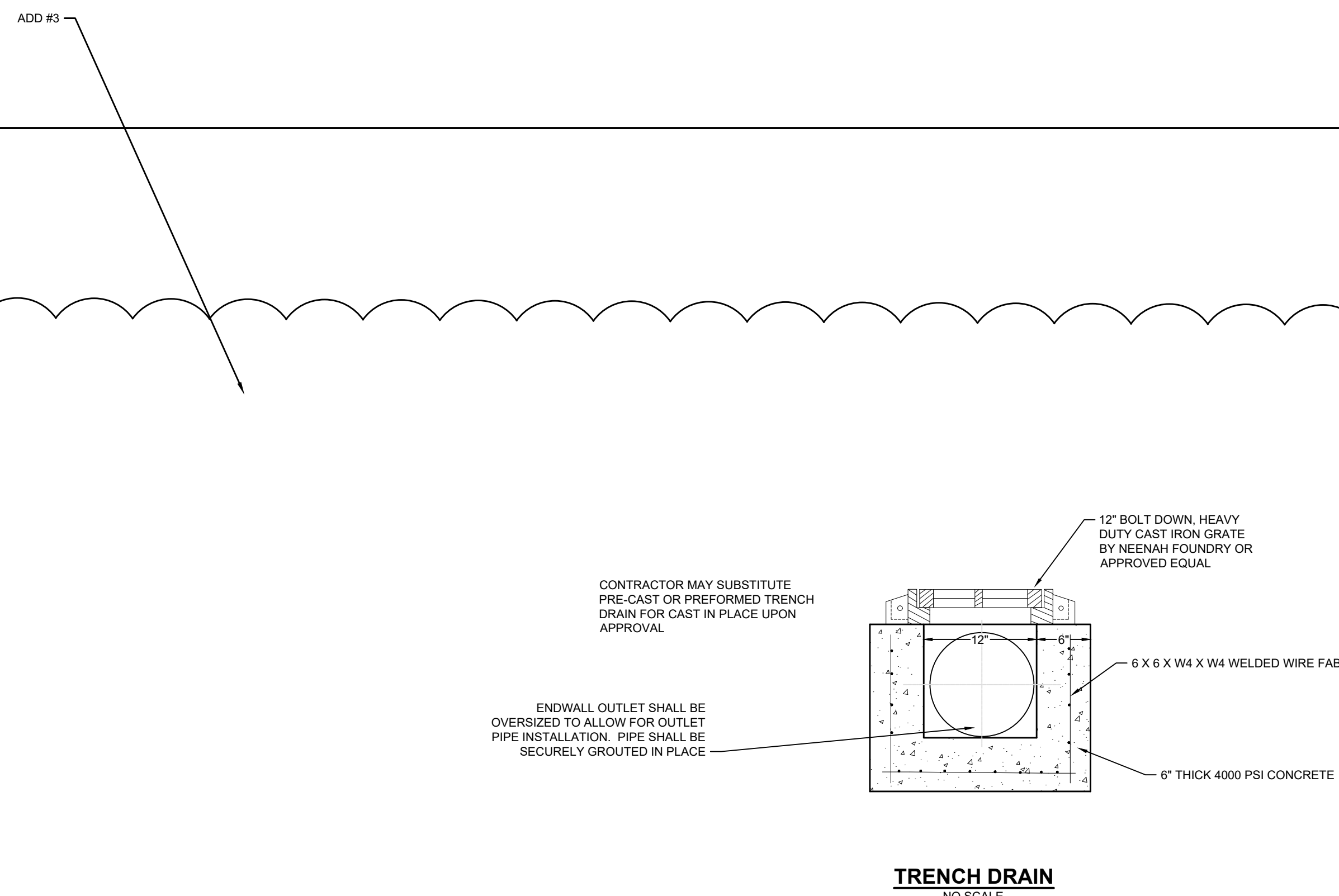
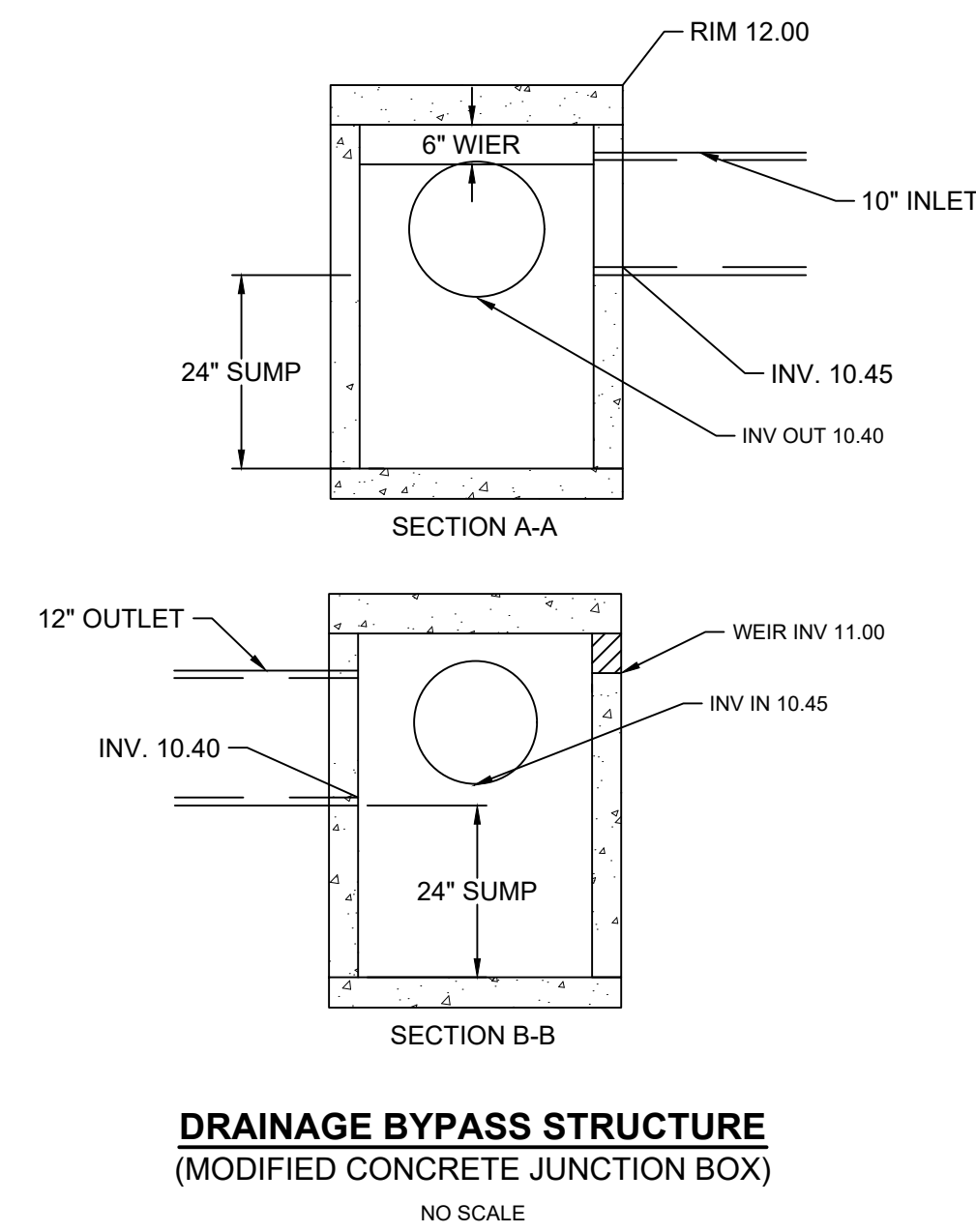
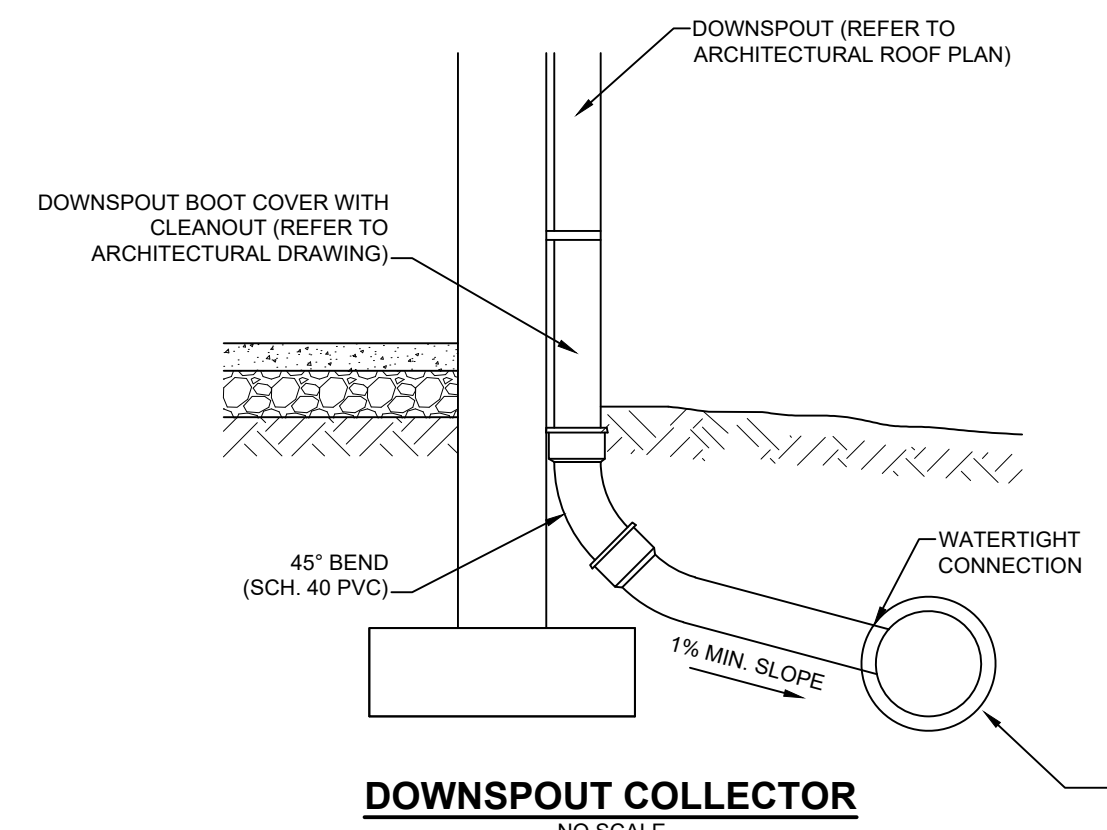
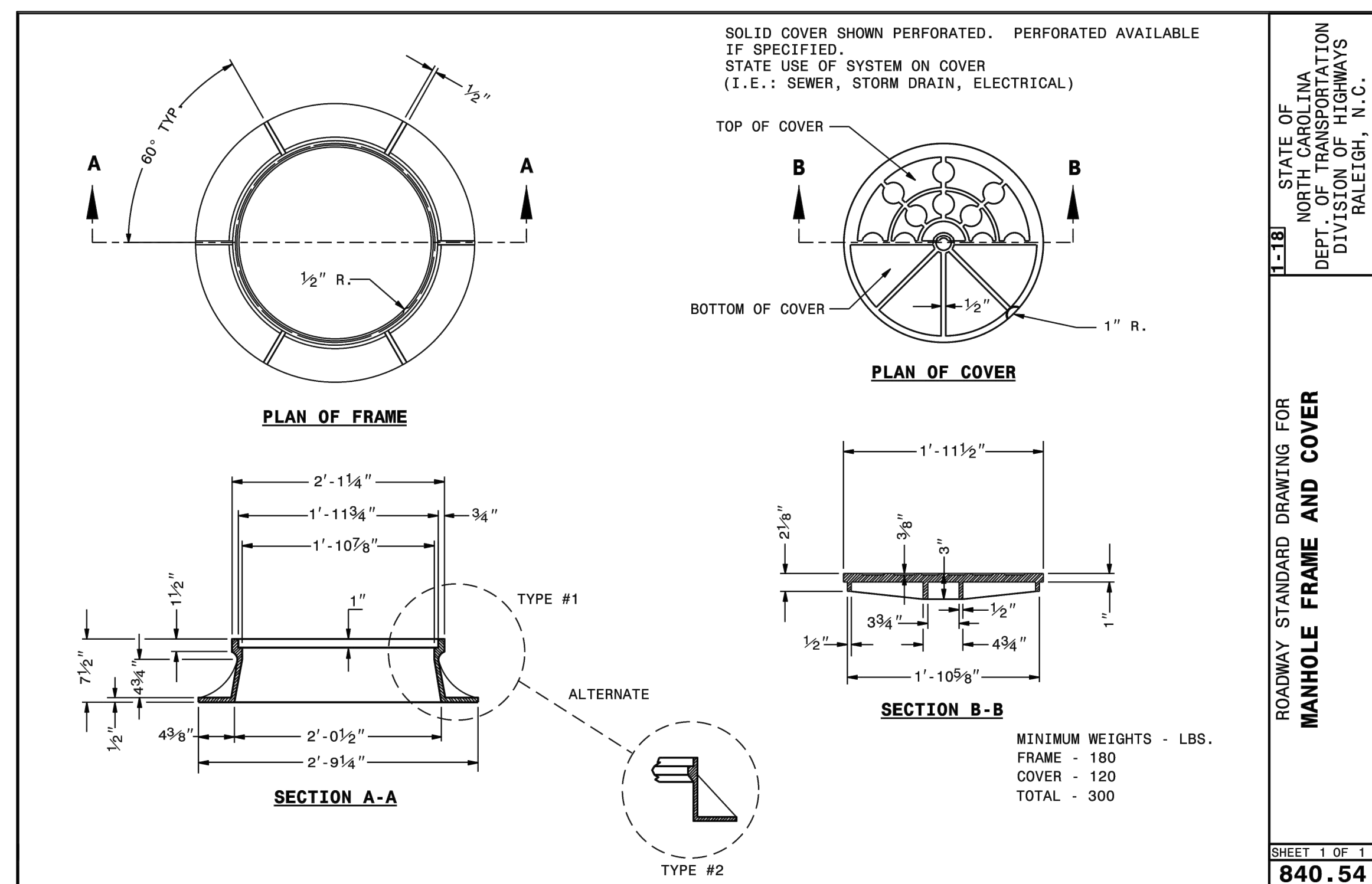
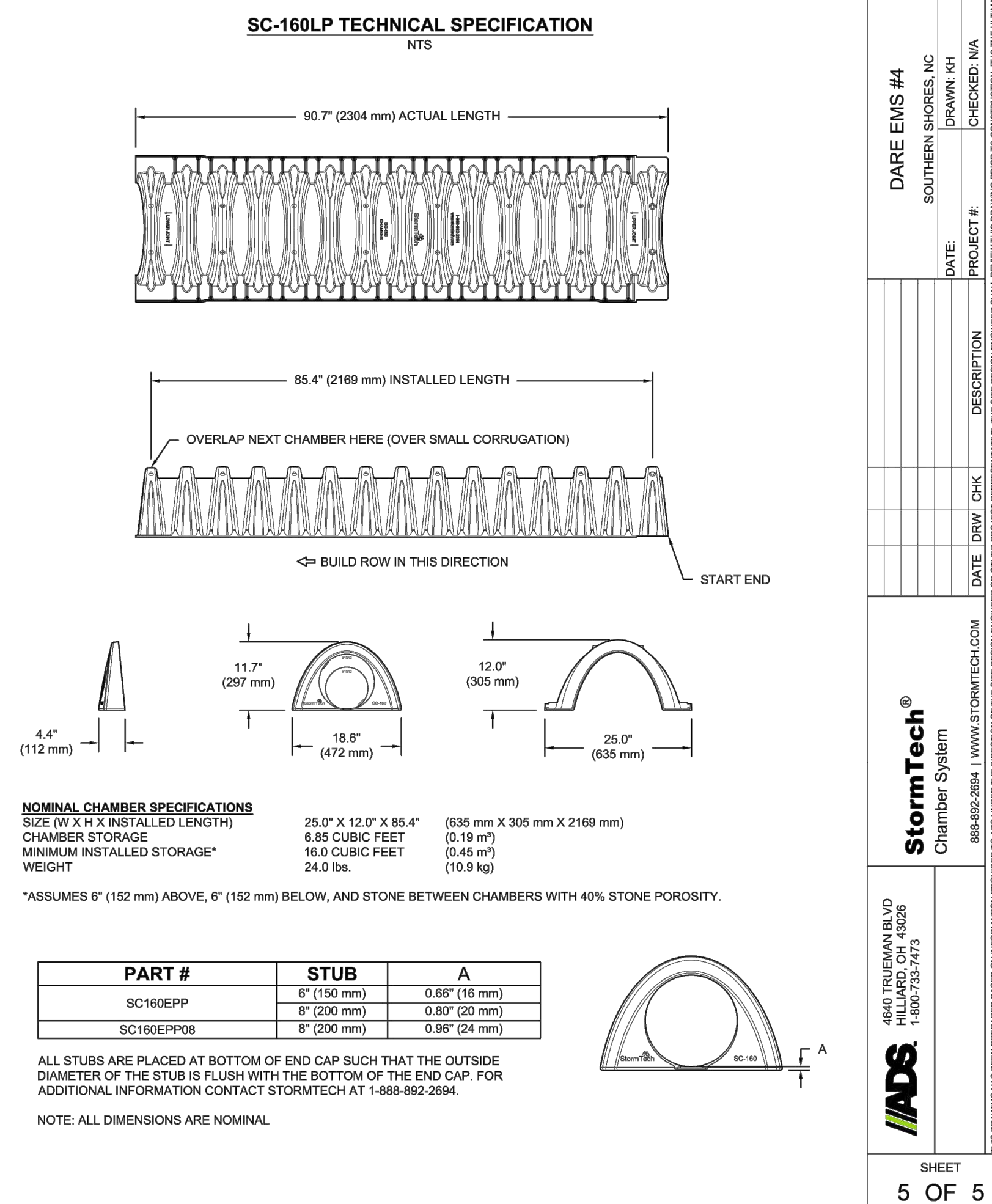
NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

[illegible]

PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

<p>GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.</p>	
<p>Revisions #1: 2022-09-21 UPDATES PER ARCHITECT COMMENTS #2: 2022-10-31 ADDENDUM #3 PER BCC</p>	
Date	Project No.
9/14/22	52044.004
Drawn By	Sheet No.
JBF	C6.2
Checked By	
KDH	
Sheet Title	
STORM WATER DETAILS	



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Section E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, and perimeter slopes	7	None	
(b) High Quality Water (HQW) Zones	7	None	
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.	
(d) Slopes 3:1 to 4:1	14	7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed	
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 10 days for Falls Lake Watershed unless there is zero slope	

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roll-on erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roll-on erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

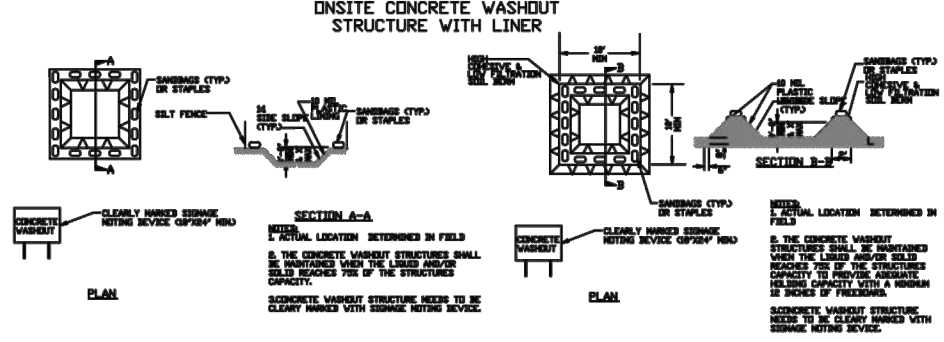
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not dispose these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspection	Frequency (after normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall measurement. If no daily rain gauge observations are made during weekend or holiday periods, and no individual daily rainfall information is available, record the cumulative rain measurement for those two weekend days. If no rain fell on a weekend, record that no rain occurred. If rain fell on a weekend, record the amount of rain. The permittee may use another rain-measuring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measure inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outlets (SDCO)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outlets inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken. 7. If visible sedimentation is found outside site limits, then a record of the following shall be made: a. Actions taken to clean up or stabilize the sediment that has left the site limits. b. Description, evidence, and date of corrective actions taken, and c. An explanation as to the actions taken to control future sedimentation.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: a. Description, evidence and date of corrective actions taken, and b. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (3)(d) of this permit.
(5) Stormwater discharge outlets (SDCO)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: a. Description, evidence and date of corrective actions taken, and b. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (3)(d) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. Description of the phase of grading. 2. Documentation that the required ground stabilization measures have been provided within the required timeframes or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these terms.
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part II, Section C, Item (2)(c) and (d) of this permit.
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, wet tanks, and filtration systems.
- (d) Vegetated, upland areas of the site or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING



EFFECTIVE: 04/01/19

CONSTRUCTION SEQUENCING

1. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION.
2. PERFORM CLEARING DEMOLITION WORK.
3. INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
4. INSTALL THE ASPHALT FOR THE PROPOSED PARKING & DRIVEWAYS.
5. PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES', THIS SHEET.
6. MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
7. REMOVE ANY REMAINING CONTROL DEVICES.

PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

DATE	TYPE	BROADCAST SEEDING RATES
OCT 1 - APR 1	SERICEA LESPEDEZA	15 LBS/ACRE
AUG 30 - MAR 15	KY 31 TALL FESCUE	200-250 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	40 LBS/ACRE
APR 15 - AUG 15	GERMAN MILLET	10 LBS/ACRE

TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATES
DEC 1 - APR 15	ANNUAL LESPEDEZA (KOBIE IN PIEDMONT AND COASTAL PLAIN)	50 LBS/ACRE
APR 15 - AUG 15 (COASTAL PLAIN)	GERMAN MILLET	40 LBS/ACRE
AUG 15 - DEC 30 (COASTAL PLAIN)	RYE	120 LBS/ACRE

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE A GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH. FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HQW ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

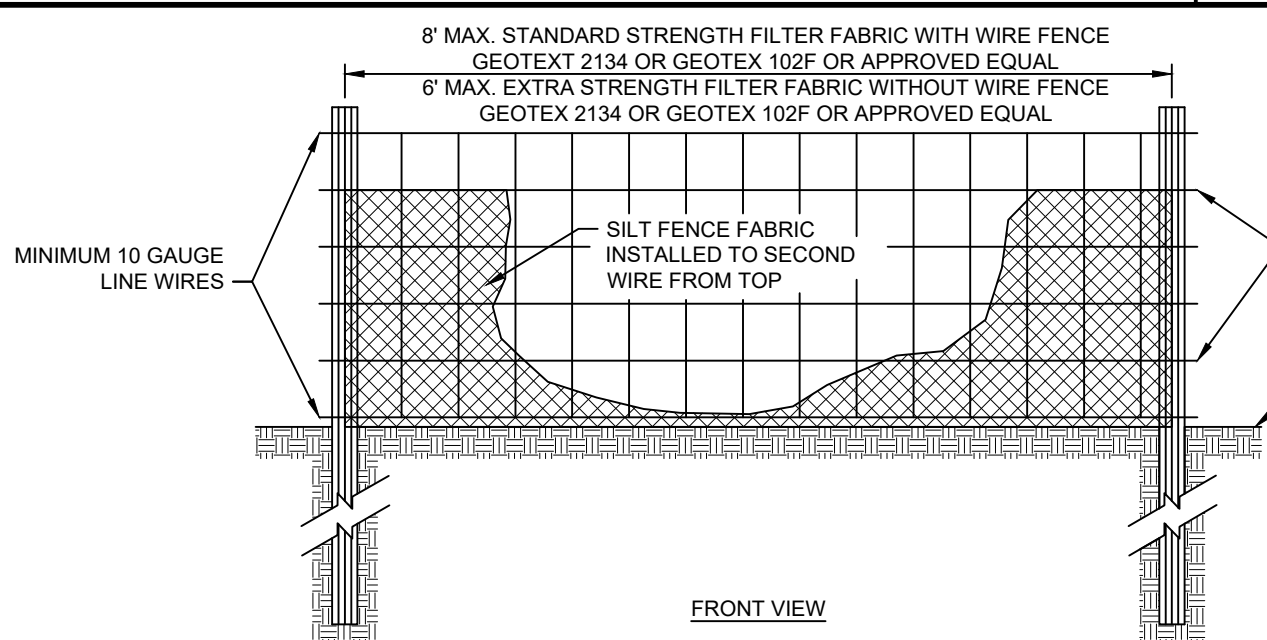
PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 2:1 OR FLATTER GREATER THAN 10' IN LENGTH. FOR SLOPES 3:1 OR FLATTER GREATER THAN 10' IN LENGTH, ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER ON ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING, SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

EROSION CONTROL MEASURES

NO SCALE



CONSTRUCTION SPECIFICATIONS

1. USE SYNTHETIC FILTER FABRIC OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS OR POLYESTER, WHICH IS CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE REQUIREMENTS IN ASTM D 6641.
2. SYNTHETIC FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0-120 DEGREES F.
3. ENSURE THAT POSTS FOR SEDIMENT FENCES ARE 1.33 LB/LF STEEL WITH A MINIMUM LENGTH OF 5'. MAKE SURE THAT STEEL POSTS HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC.
4. FOR REINFORCEMENT OF STANDARD STRENGTH FILTER FABRIC, USE WIRE FENCE WITH A MINIMUM 1/4 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

SILT FENCE

NO SCALE

SEEDBED PREPARATION

CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
3. SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
4. MULCH IMMEDIATELY AFTER SEEDING.
5. CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDBED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

*APPLY: FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS). OTHERWISE, APPLY AS DESCRIBED BELOW.

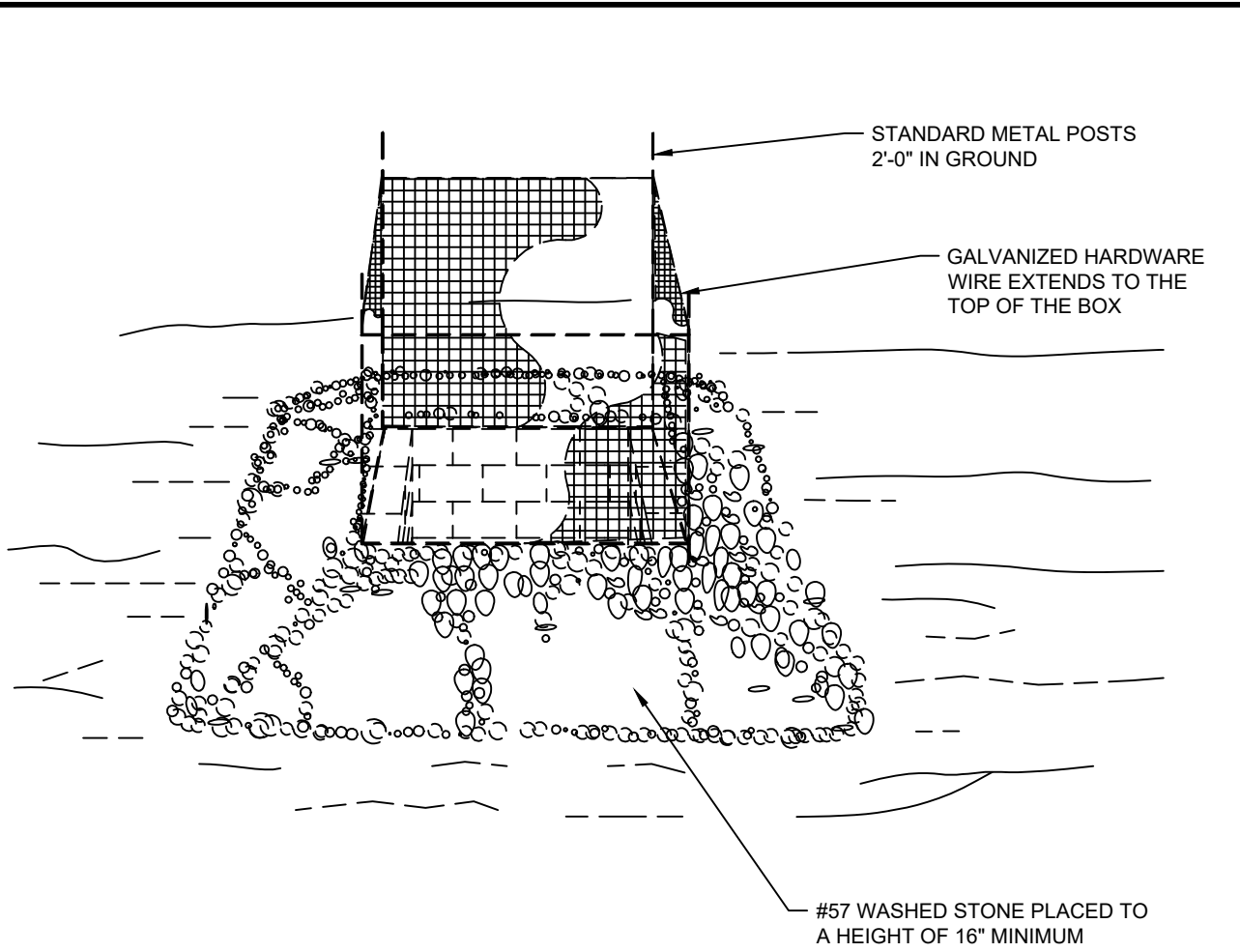
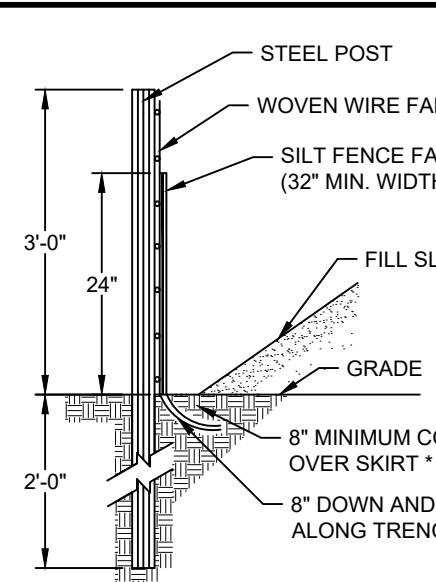
AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COURSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE TEXTURED SOILS.

SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIME.

FERTILIZER - 700/1000 LBS/ACRE (10-10-10).

MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW).

ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE.



MAINTENANCE

INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

INLET PROTECTION

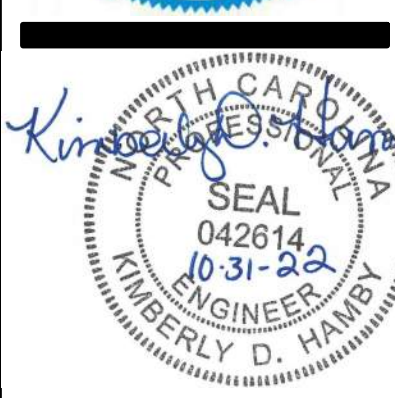
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NEW BUILDING FOR
DARE COUNTY
EMS STATION 4
28 E DOGWOOD TRAIL
SOUTHERN SHORES, NORTH CAROLINA

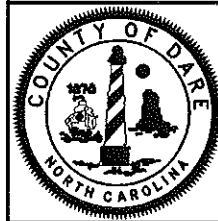
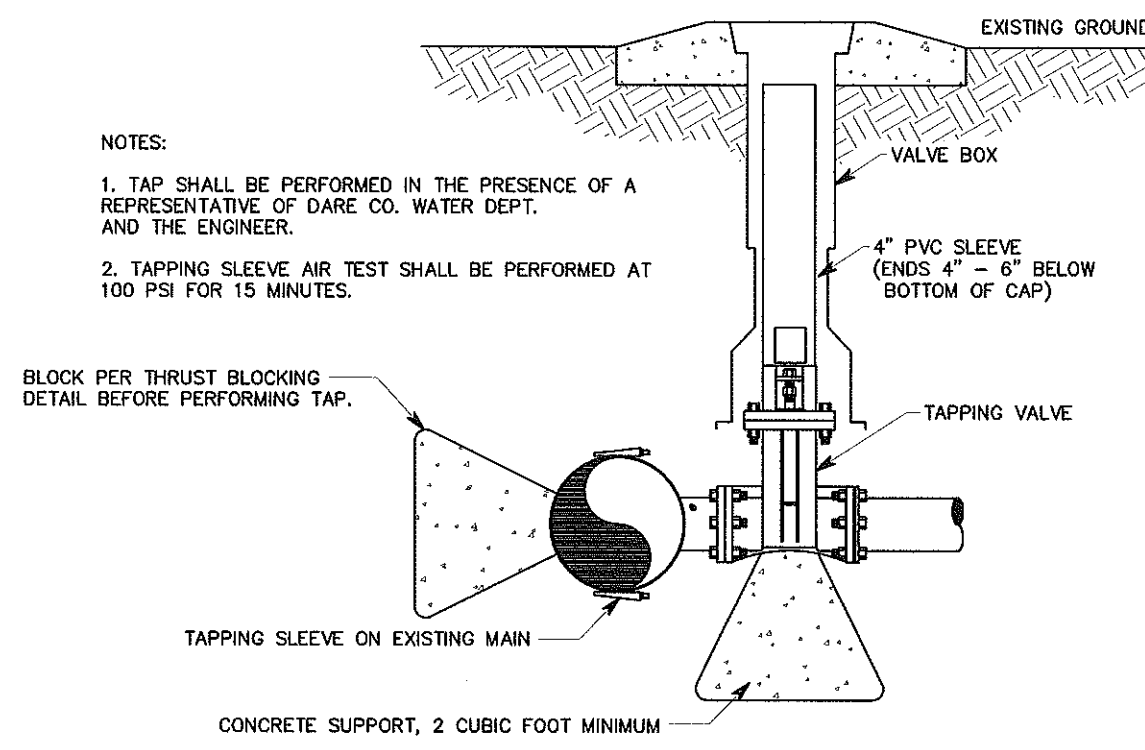


PERMIT
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GENERAL NOTE:
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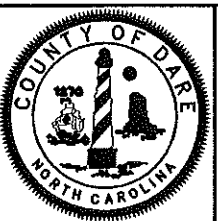
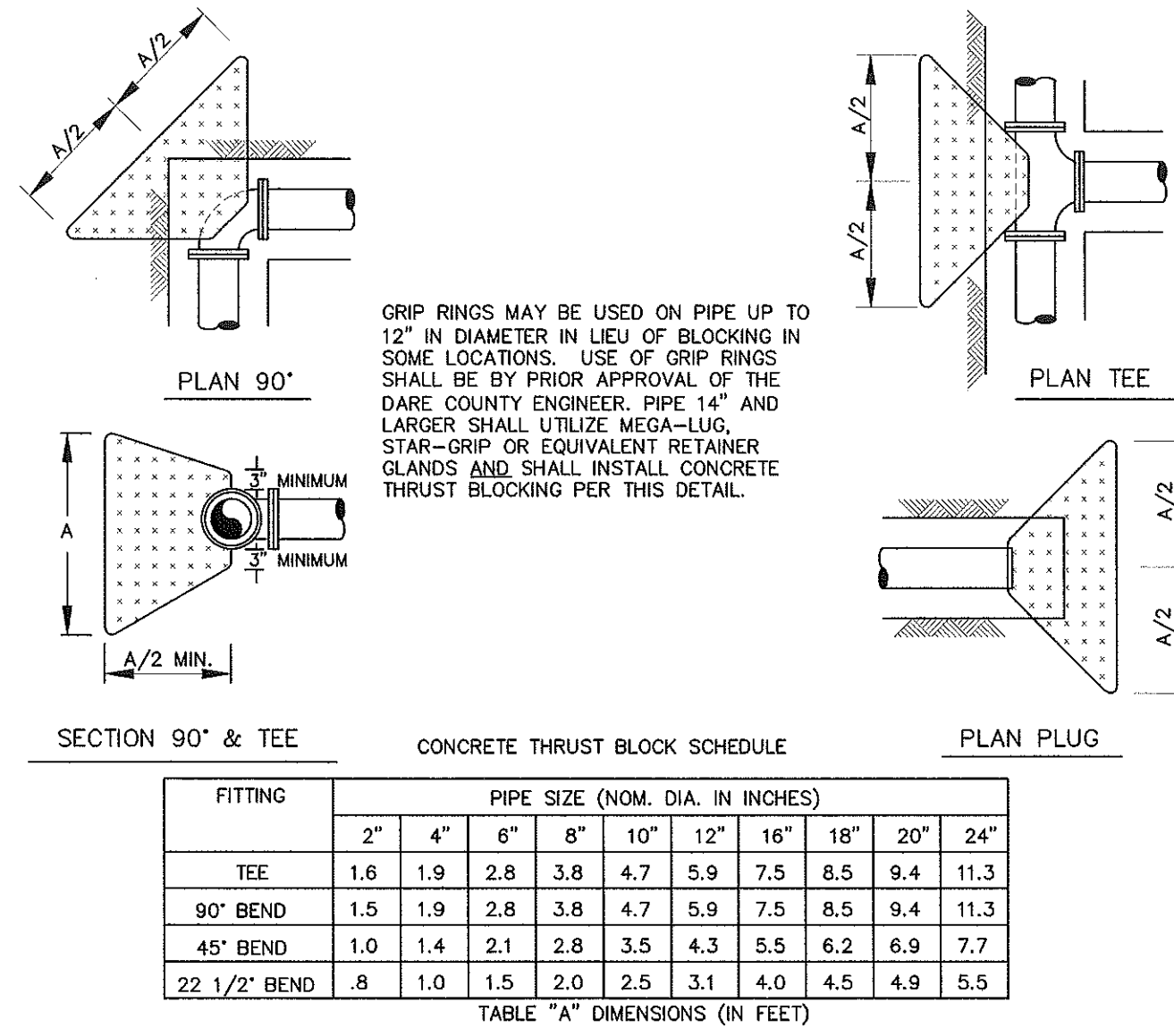
Revisions:
#1 03/22/2021 UPDATES PER ARCHITECT COMMENTS
#2 03/22/2021 ADDENDUM #3 PER BEC

Date	9/14/22	Project No.	52044.004
Drawn By	JBN	Sheet No.	C6.4
Checked By	KDH		
Sheet Title	EROSION CONTROL DETAILS		



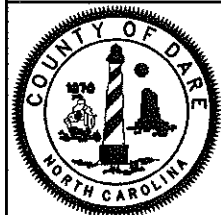
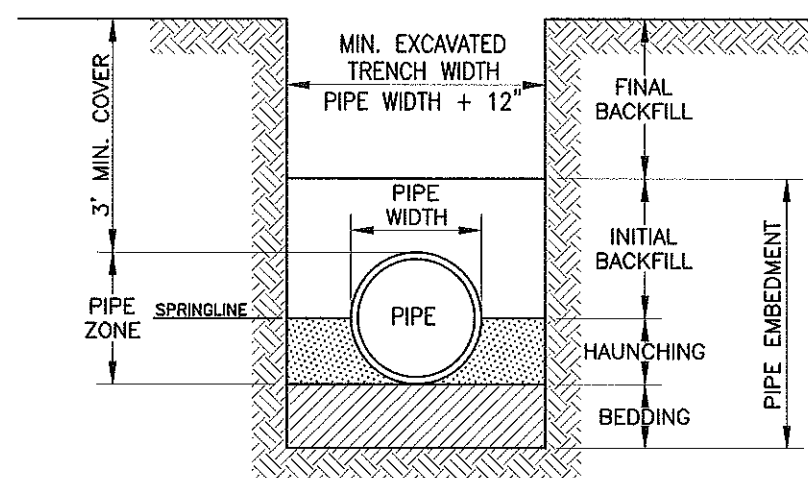
TAPPING DETAIL

NOT TO SCALE
ISSUED: 7/31/18
DETAIL NUMBER
7



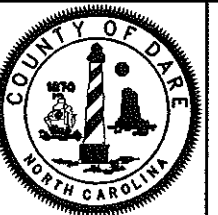
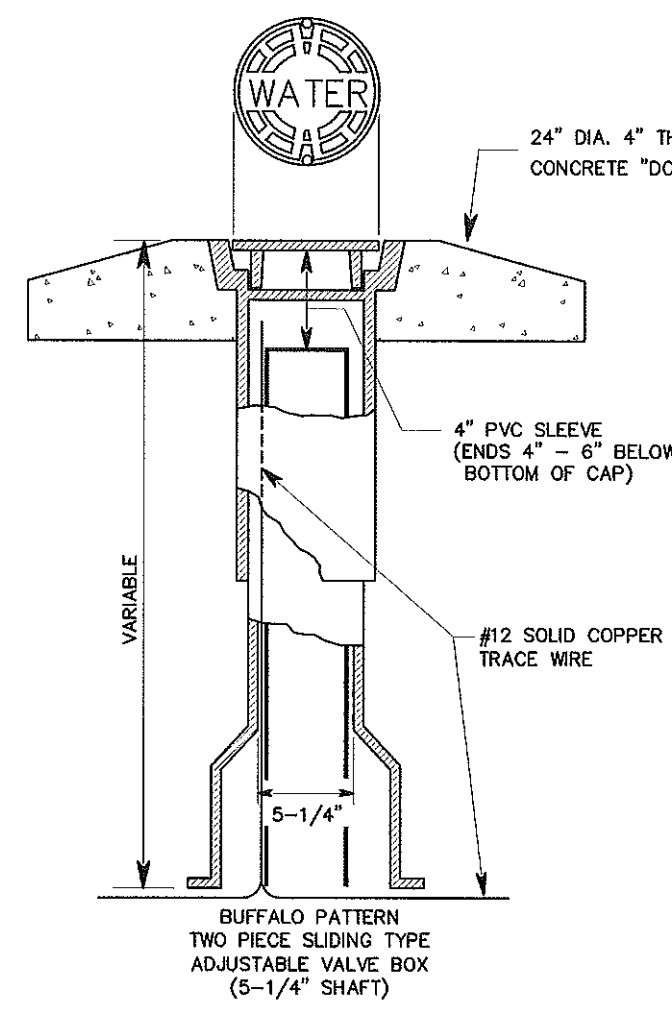
THRUST BLOCK DETAIL

NOT TO SCALE
ISSUED: 7/31/18
DETAIL NUMBER
11



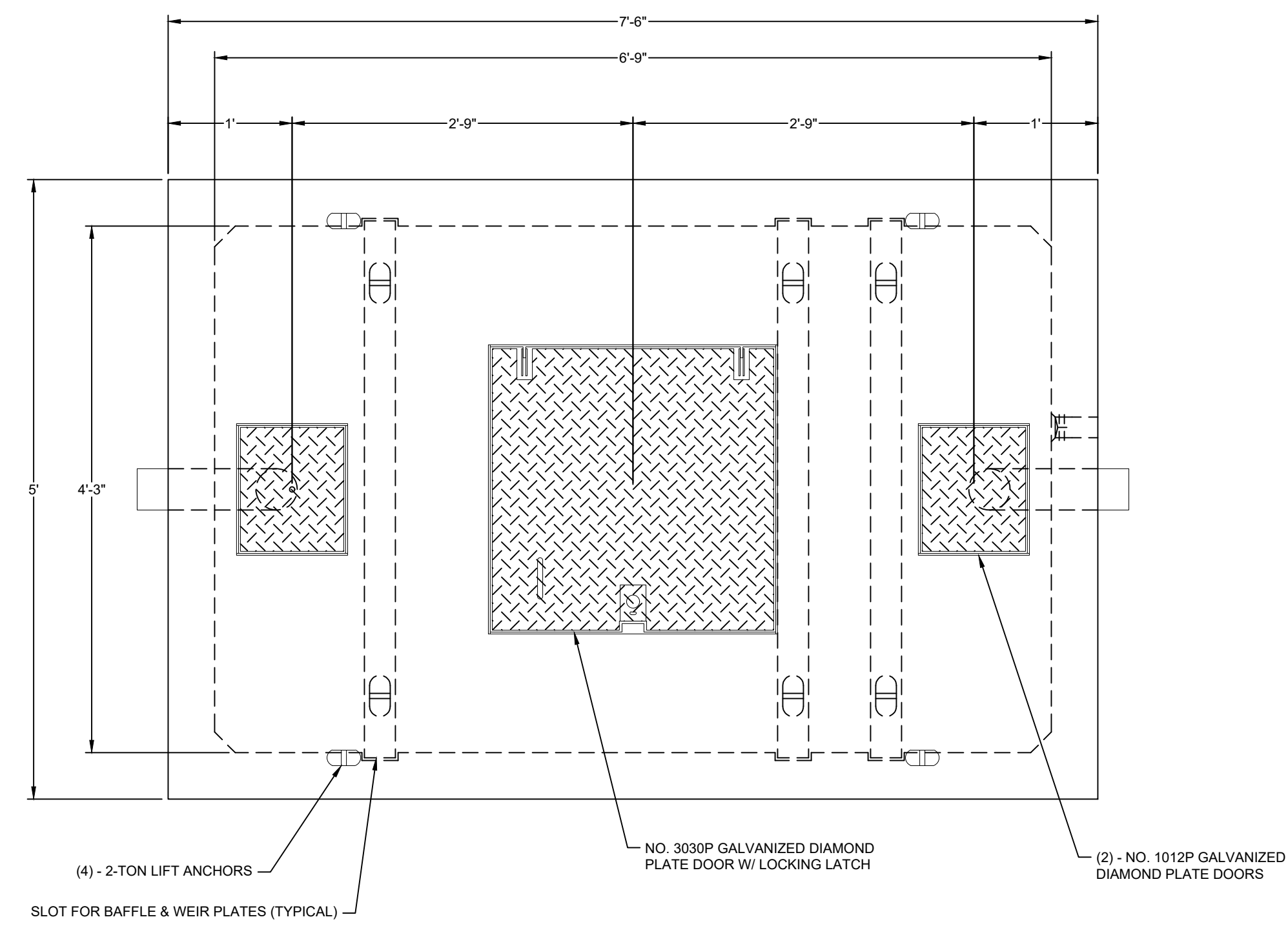
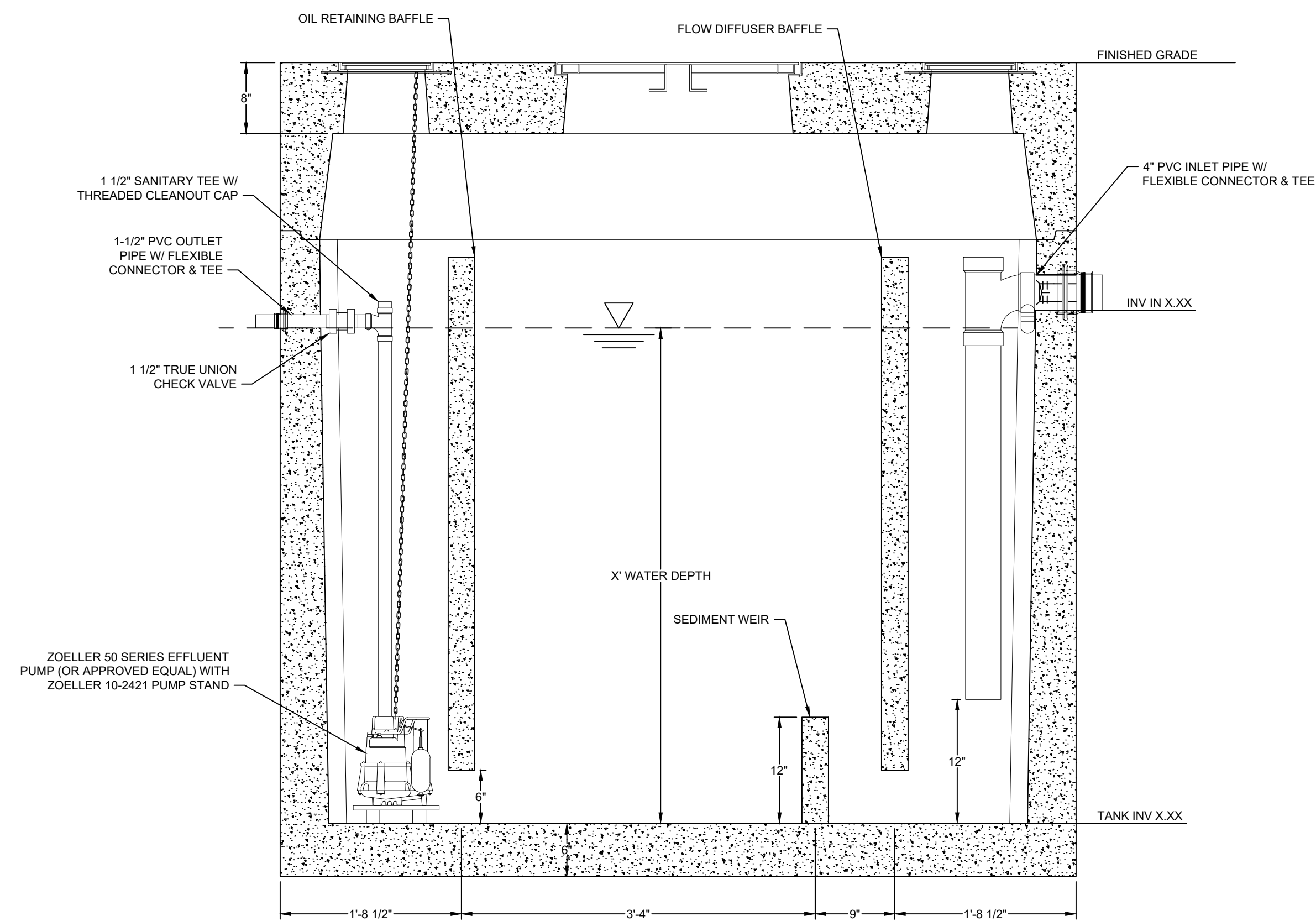
TRENCH DETAIL

NOT TO SCALE
ISSUED: 7/31/18
DETAIL NUMBER
16



VALVE BOX DETAIL

NOT TO SCALE
ISSUED: 7/31/18
DETAIL NUMBER
14

PLAN VIEW
NO SCALEOIL/WATER SEPARATOR
NO SCALE

Know what's below.
Call before you dig.



PERMIT
DRAWINGS
NOT FOR
CONSTRUCTION

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions:
#1 2022-09-21 UPDATES PER ARCHITECT COMMENTS
#2 2022-10-31 ADDENDUM #3 PER BCC

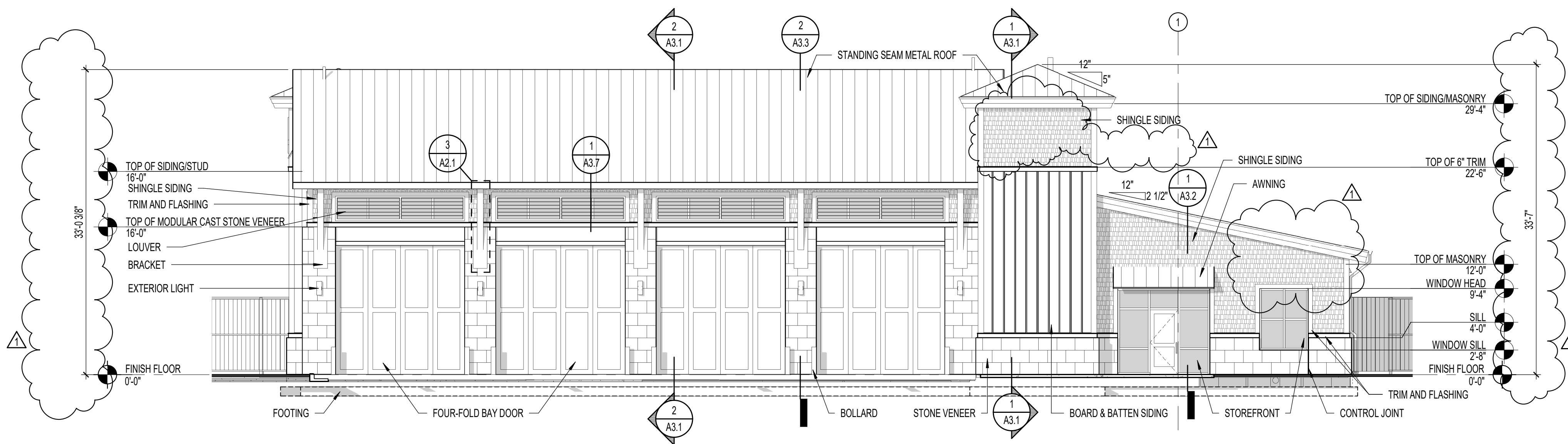
Date: 9/14/22 Project No: 52044.004

Drawn By: JBF Sheet No: C6.5

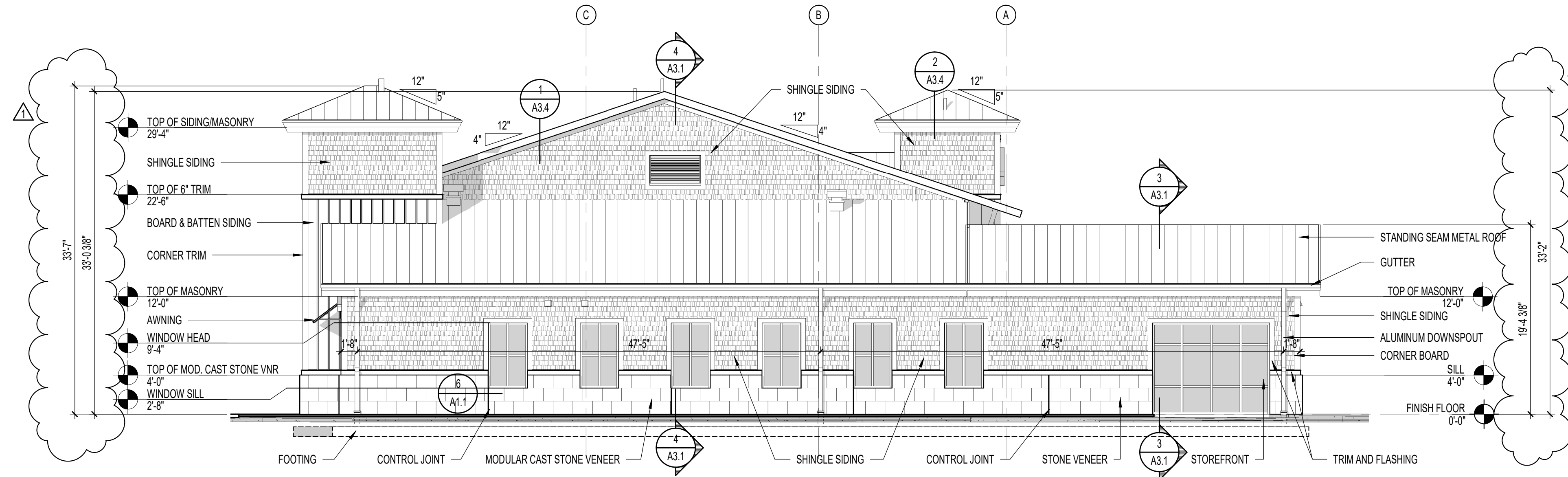
Checked By: KDH

Sheet Title: UTILITY DETAILS

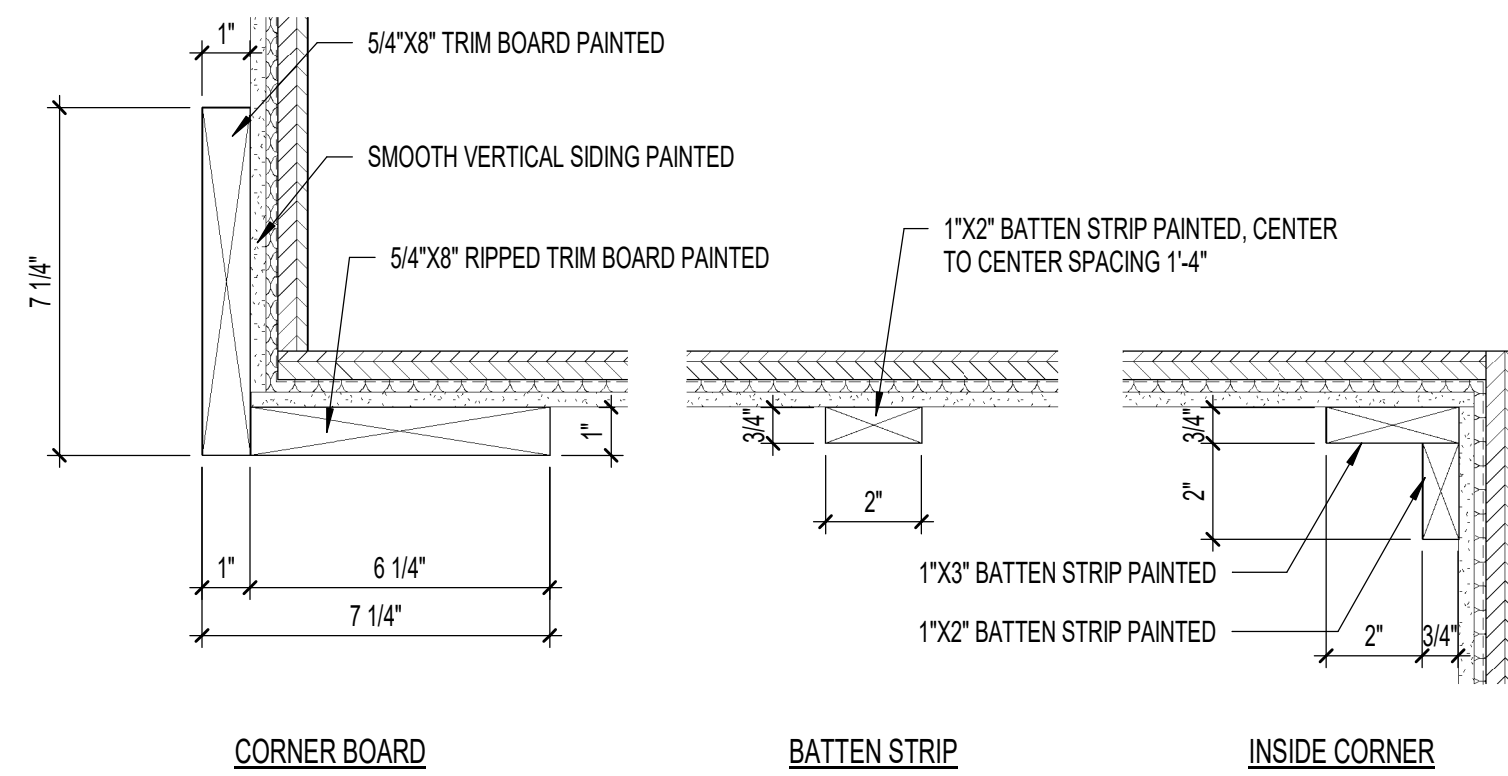
Copyright © 2022 Oakley Collier Architects. These drawings are of the property of the Architect for use under his supervision. No reproduction or other use is allowed without permission.



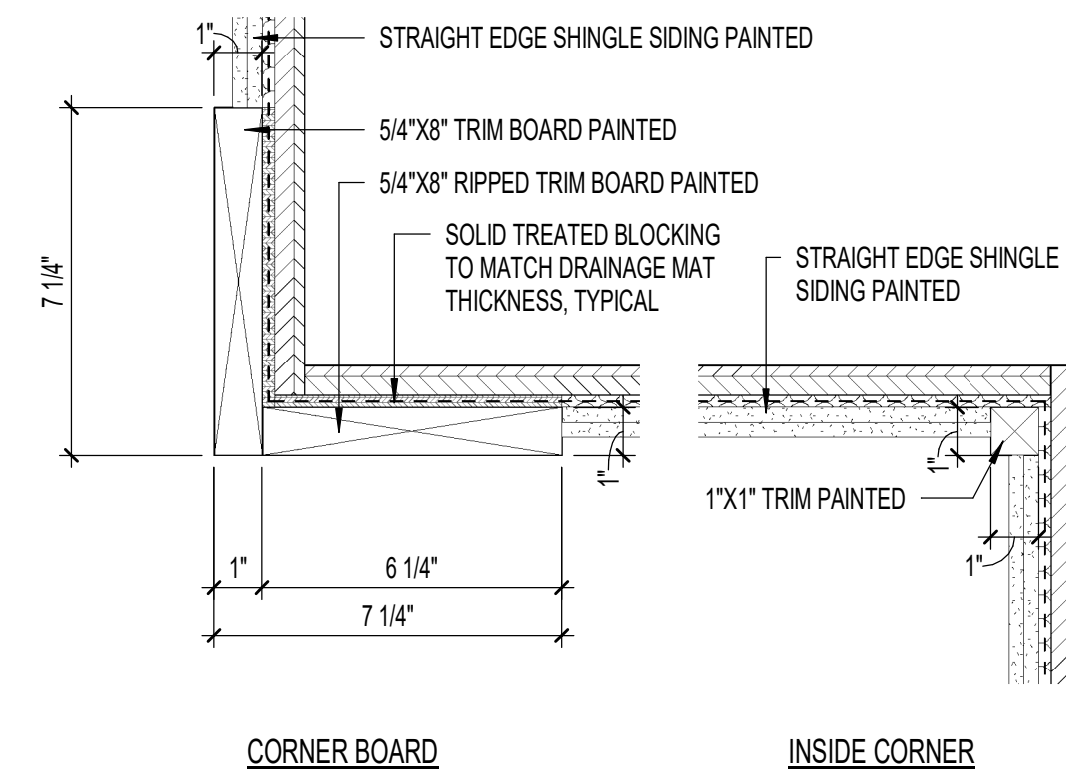
1 FRONT ELEVATION
1/8" = 1'-0"



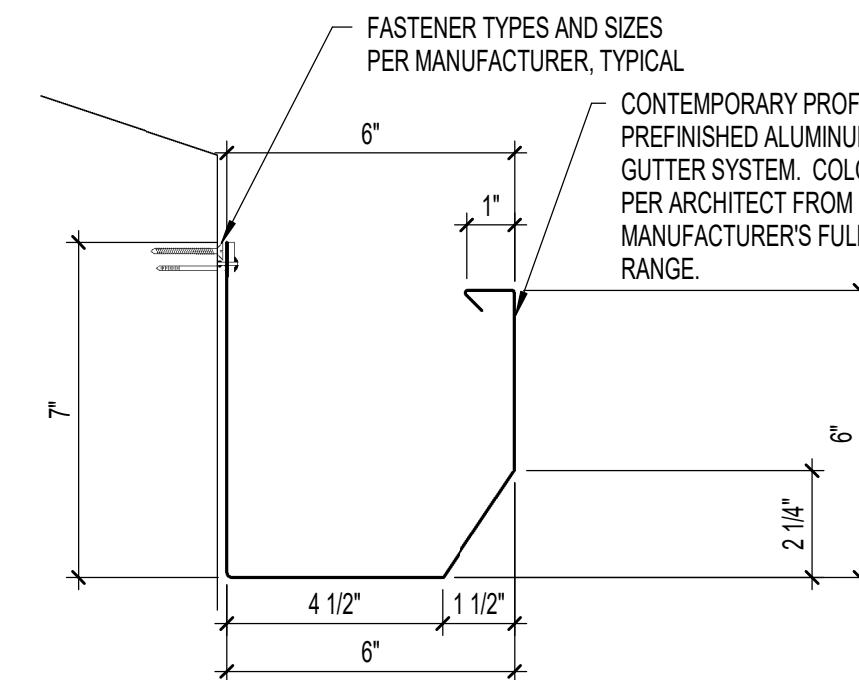
2 RIGHT SIDE ELEVATION
1/8" = 1'-0"



4 DETAIL
3" = 1'-0"

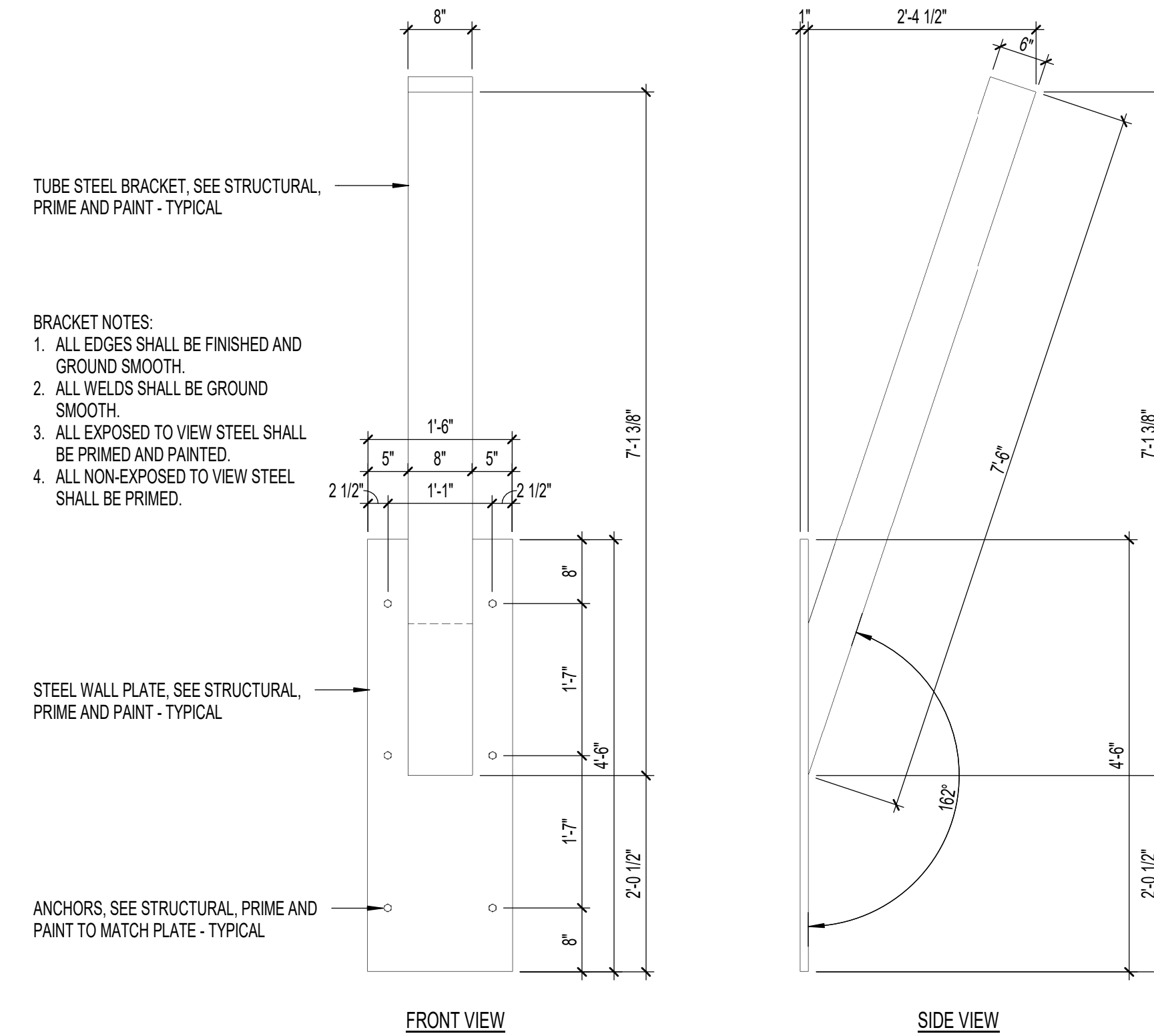


5 DETAIL
3" = 1'-0"

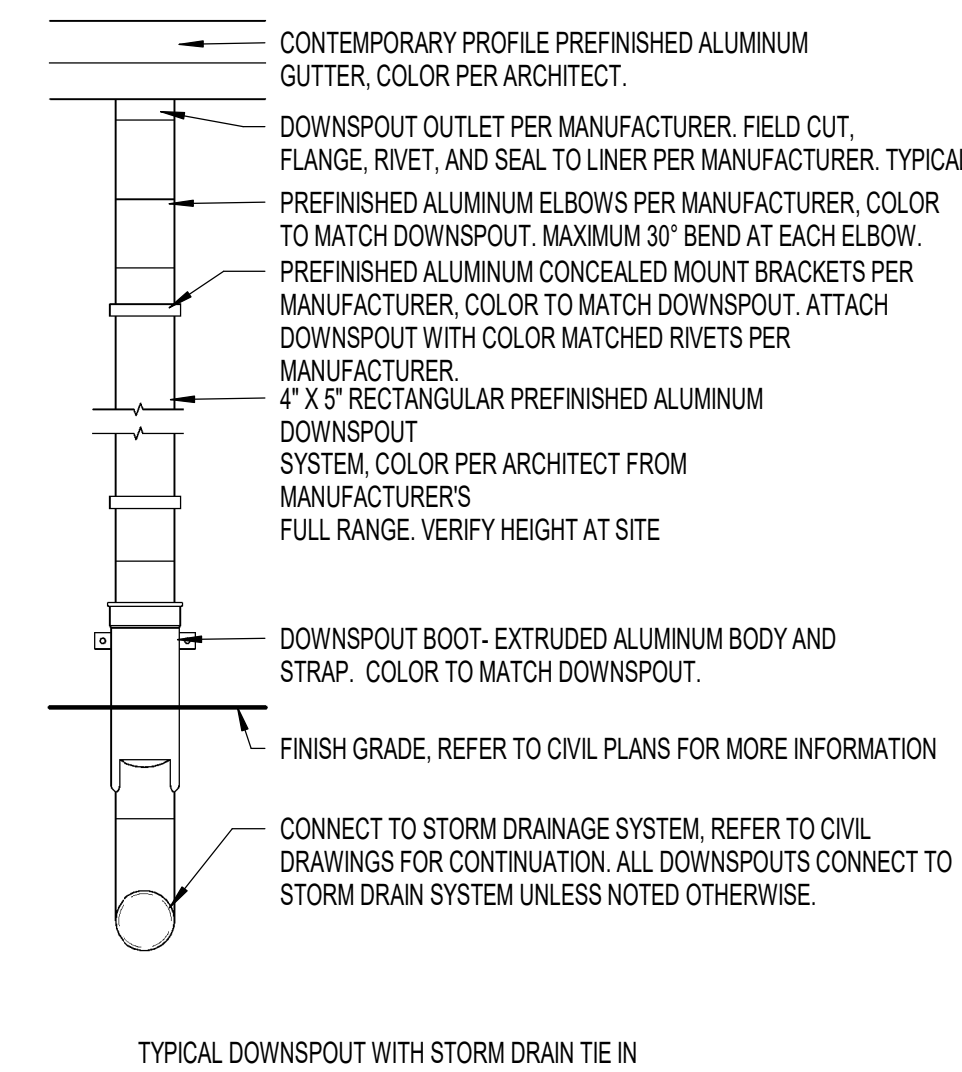


7 GUTTER DETAIL
3" = 1'-0"

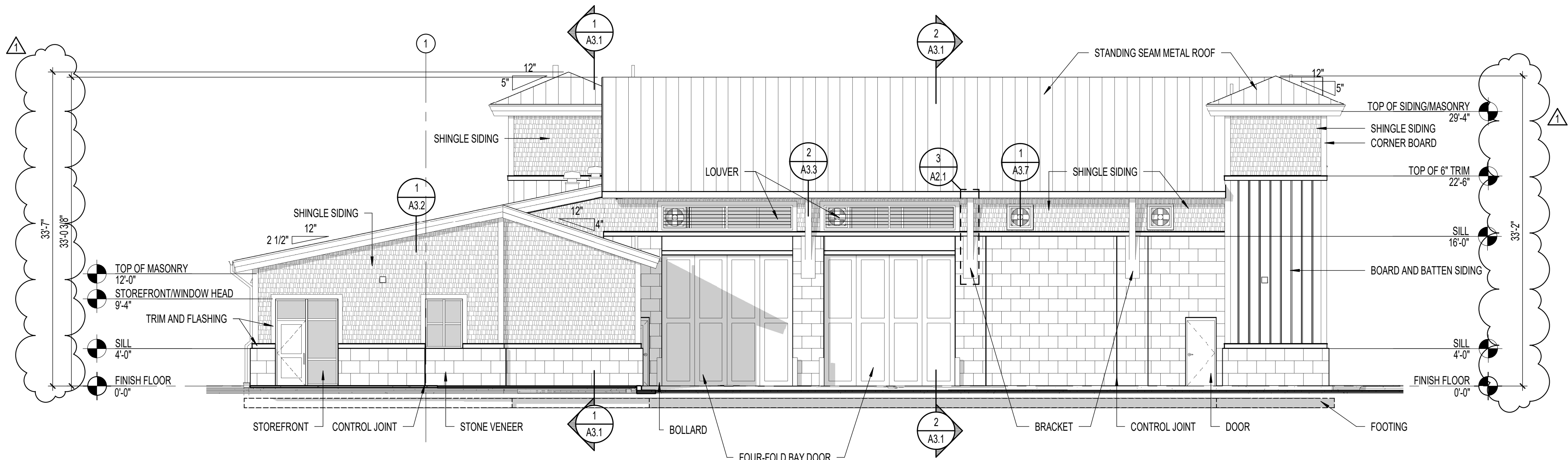
EXTERIOR FINISH LEGEND		
MATERIAL	DESCRIPTION	NOTES:
VERTICAL SIDING	HARDIPANEL VERTICAL SIDING - SMOOTH MANUFACTURER: JAMES HARDIE COLOR: FIELD PAINT COLOR AS SELECTED BY ARCHITECT	1. MANUFACTURER'S INDICATED ARE BASIS OF DESIGN; SEE SPECIFICATION SECTION 01 60 00 - PRODUCT REQUIREMENTS FOR SUBSTITUTION REQUESTS. 2. ALL EXTERIOR SIDING AND TRIM SHALL BE FACTORY PRIMED AND FIELD PAINTED UNLESS NOTED OTHERWISE. 3. ALL FACTORY FINISHED TRIM SHALL BE TOUCHED UP IN FIELD AS NECESSARY FOR AND AFTER INSTALLATION. 4. TRIM INCLUDES ALL HORIZONTAL AND VERTICAL PIECES, INCLUDING FASCIA, FRIEZES, AND BATTENS. 5. SEE DETAILS AND WALL SECTIONS FOR SIZES OF TRIM. 6. INSTALL AND FINISH ALL COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.
SHINGLE SIDING	HARDIESHINGLE SIDING - STRAIGHT EDGE REVEAL: 6" MANUFACTURER: JAMES HARDIE COLOR: FIELD PAINT COLOR AS SELECTED BY ARCHITECT	
TRIM	HARDIETRIM BOARDS - SMOOTH MANUFACTURER: JAMES HARDIE COLOR: FIELD PAINT COLOR AS SELECTED BY ARCHITECT	
SOFFIT	HARDIESOFFIT PANELS - NON-VENTED SMOOTH MANUFACTURER: JAMES HARDIE COLOR: FIELD PAINT COLOR AS SELECTED BY ARCHITECT	
VENEER	PRESTIGE CAST - SMOOTH MANUFACTURER: J. JOHNSON CONCRETE PRODUCTS COLOR: TALC JCL-C103 OR DOLOMITE JCL-C111 AS SELECTED BY ARCHITECT - ONLY ONE COLOR TO BE SELECTED	



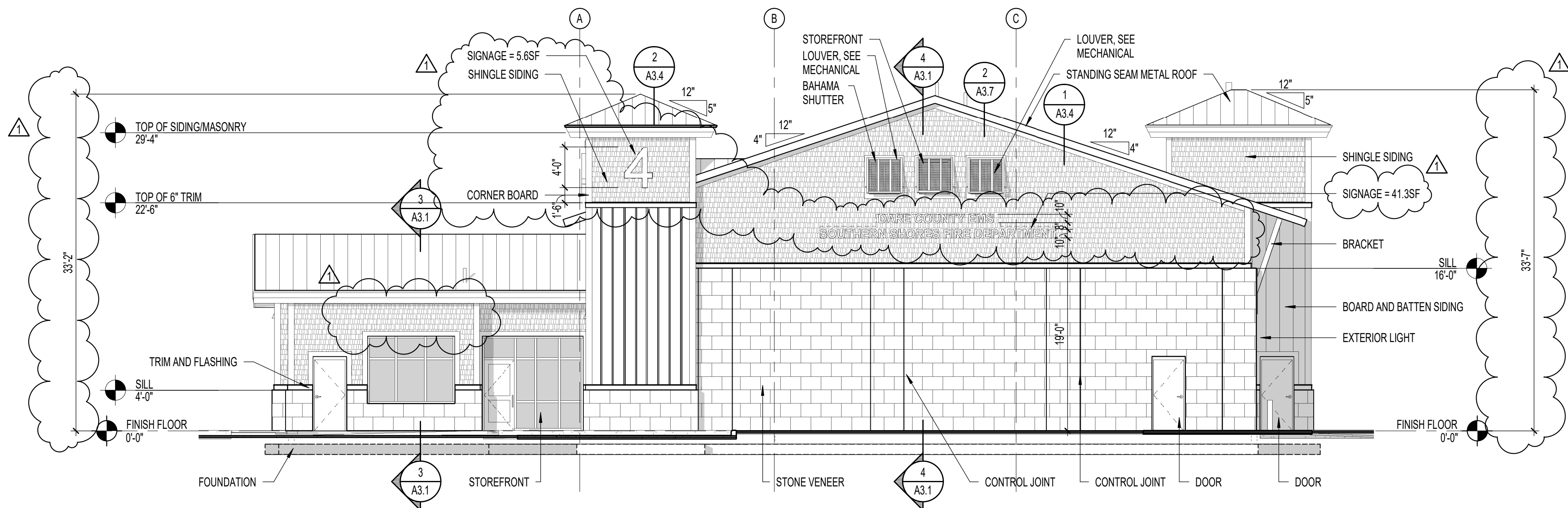
3 DETAIL
3/4" = 1'-0"



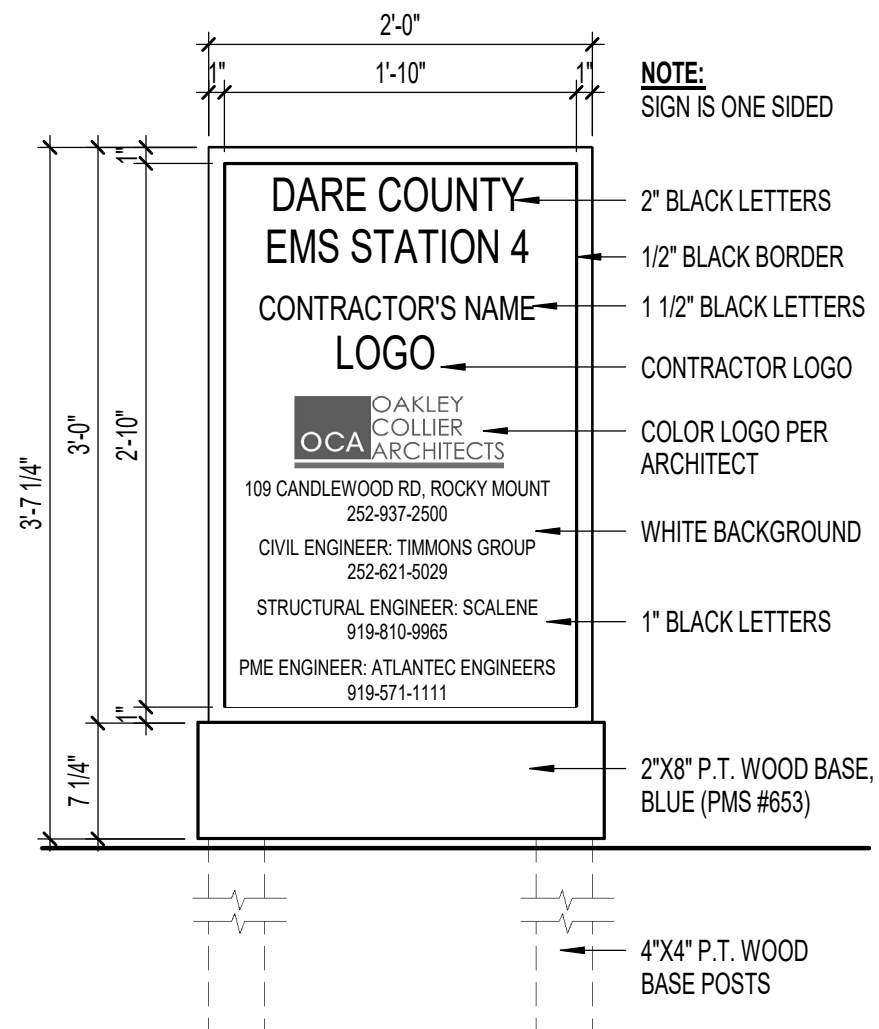
6 DOWNSPOUT
3/4" = 1'-0"



1 REAR ELEVATION
A2.2 1/8" = 1'-0"

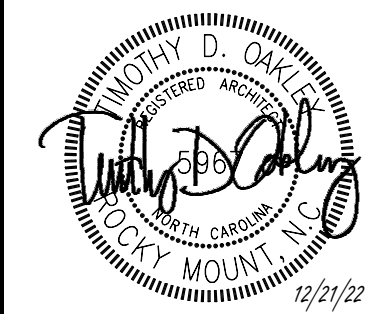
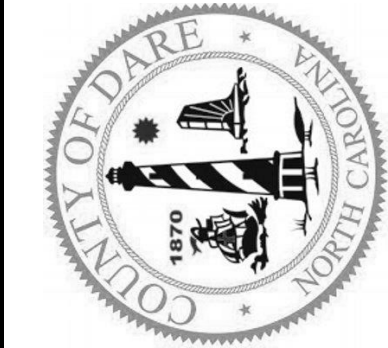


2 LEFT SIDE ELEVATION
A2.2 1/8" = 1'-0"



3 JOB SIGN
A2.2 1" = 1'-0"

EXTERIOR SIGNAGE AREA LEGEND			
FACING STREET	ELEVATION	CONTENT	AREA (SF)
NC-12 (DUCK RD)	LEFT SIDE	DARE COUNTY EMS SOUTHERN SHORES FIRE DEPARTMENT	41.3 SF
		4	5.6 SF
		TOTAL	46.9 SF



GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.	
Revisions	
12/7/22 - TOWN REVIEW	
Date	Project No.
12-21-22	21032
Drawn By	Sheet No.
JH	A2.2
Checked By	
TDO	
Sheet Title	
EXTERIOR ELEVATIONS	



AGENDA ITEM SUMMARY FORM

MEETING DATE: January 3, 2023

ITEM TITLE: TCA-22-04

ITEM SUMMARY:

In 2019, the N.C. General Assembly enacted North Carolina General Statutes Chapter 160D, Local Planning and Development Regulation, which consolidated and clarified former Chapters 160A and 153A that addressed development regulations for Municipalities and Counties. The Chapter became effective January 1, 2021 with the requirement that all Municipalities and Counties update their ordinances to be compliant with it by July 1, 2021. Due to the Town Code Update project, Town Staff chose to postpone amending the Town Code to be compliant with Chapter 160D until the amendments from the Town Code Update project were complete.

As a result of that postponement, and in an effort to bring the Town Code into compliance with Chapter 160D without making numerous amendments, the Town Council adopted Town Code Amendment TCA-21-05 on July 6, 2021 that clarified that the North Carolina General Statutes (in particular Chapter 160D) must be satisfied whenever the Town Code conflicts with, contradicts or is otherwise inconsistent with the North Carolina General Statutes. The next proposed amendment required under Chapter 160D is a Town Code Amendment (TCA) that incorporates conflicts of interest requirements from 160D into the Town Code.

STAFF RECOMMENDATION:

Town Staff recommends approval of the application to the Town Council recommended approval of the application at the December 19, 2022 Planning Board meeting.

REQUESTED ACTION:

Motion to approve TCA-22-04.

STAFF REPORT

To: Southern Shores Town Council
Date: January 3, 2023
Case: TCA-22-04
Prepared By: Wes Haskett, Deputy Town Manager/Planning Director

GENERAL INFORMATION

Applicant: Town of Southern Shores

Requested Action: Amendment of the Town Code by adding Section 1-13.

ANALYSIS

In 2019, the N.C. General Assembly enacted North Carolina General Statutes Chapter 160D, Local Planning and Development Regulation, which consolidated and clarified former Chapters 160A and 153A that addressed development regulations for Municipalities and Counties. The Chapter became effective January 1, 2021 with the requirement that all Municipalities and Counties update their ordinances to be compliant with it by July 1, 2021. Due to the Town Code Update project, Town Staff chose to postpone amending the Town Code to be compliant with Chapter 160D until the amendments from the Town Code Update project were complete.

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RECOMMENDATION

Town Staff recommends approval of the application to the Town Council recommended approval of the application at the December 19, 2022 Planning Board meeting.



Town of Southern Shores

5375 N. Virginia Dare Trail, Southern Shores, NC 27949

Phone 252-261-2394 / Fax 252-255-0876

info@southernshores-nc.gov

www.southernshores-nc.gov

TCA-22-04

11-29-22

Ordinance 2022-XX-XX

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE TOWN OF SOUTHERN SHORES, NORTH CAROLINA

ARTICLE I. Purpose(s) and Authority.

WHEREAS, pursuant to N.C.G.S. Chap. 160A, the Town has duly codified the Town's Code of Ordinances (the "Town Code"); and

WHEREAS, the North Carolina General Assembly adopted 2019 N.C. Sess. Law 111 to clarify and change the land-use regulatory laws of the State, including the recodification of many existing land-use regulatory laws in a newly created N.C.G.S. Chap. 160D pursuant to 2019 N.C. Sess. Law 111, Part II; and

WHEREAS, the Town desires to amend its Town Code to conform to N.C.G.S. Chap. 160D as provided in this ordinance amendment; and

WHEREAS, the Town further finds that in accordance with the findings above it is in the interest of and not contrary to the public's health, safety, and general welfare for the Town to amend the Town Code as stated below.

ARTICLE II. Construction.

For purposes of this ordinance amendment, underlined words (underline) shall be considered as additions to existing Town Code language and strikethrough words (~~strikethrough~~) shall be considered deletions to existing language. Any portions of the adopted Town Code which are not repeated herein, but are instead replaced by an ellipses ("...") shall remain as they currently exist within the Town Code.

ARTICLE III. Amendment of Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Southern Shores, North Carolina, that the Town Code shall be amended as follows:

PART I. That **Sec. 1-13. Conflicts of interest.** Be amended as follows:

Sec. 1-13. Conflicts of interest.

- 1 (a) Town council. A town council member shall not vote on any legislative decision
 2 regarding a development regulation adopted pursuant to this Town Code where
 3 the outcome of the matter being considered is reasonably likely to have a direct,
 4 substantial, and readily identifiable financial impact on the member. A town
 5 council member shall not vote on any zoning amendment if the landowner of the
 6 property subject to a rezoning petition or the applicant for a text amendment is a
 7 person with whom the member has a close familial, business, or other
 8 associational relationship.
 9
- 10 (b) Appointed boards. Members of appointed boards shall not vote on any advisory or
 11 legislative decision regarding a development regulation adopted pursuant to this
 12 Town Code where the outcome of the matter being considered is reasonably likely
 13 to have a direct, substantial, and readily identifiable financial impact on the
 14 member. An appointed board member shall not vote on any zoning amendment if
 15 the landowner of the property subject to a rezoning petition or the applicant for a
 16 text amendment is a person with whom the member has a close familial, business,
 17 or other associational relationship.
 18
- 19 (c) Administrative staff. No staff member shall make a final decision on an
 20 administrative decision required by this Town Code if the outcome of that
 21 decision would have a direct, substantial, and readily identifiable financial impact
 22 on the staff member or if the applicant or other person subject to that decision is a
 23 person with whom the staff member has a close familial, business, or other
 24 associational relationship. If a staff member has a conflict of interest under this
 25 section, the decision shall be assigned to the supervisor of the staff person or such
 26 other staff person as may be designated by the development regulation or other
 27 ordinance.
 28
- 29 1. No staff member shall be financially interested or employed by a business
 30 that is financially interested in a development subject to regulation under
 31 this Town Code unless the staff member is the owner of the land or
 32 building involved. No staff member or other individual or an employee of
 33 a company contracting with the town to provide staff support shall engage
 34 in any work that is inconsistent with his or her duties or with the interest
 35 of the town, as determined by the town.
 36
- 37 (d) Quasi-judicial decisions. A member of any board exercising quasi-judicial
 38 functions pursuant to this Town Code shall not participate in or vote on any quasi-
 39 judicial matter in a manner that would violate affected persons' constitutional
 40 rights to an impartial decision maker. Impermissible violations of due process
 41 include, but are not limited to, a member having a fixed opinion prior to hearing
 42 the matter that is not susceptible to change, undisclosed ex parte communications,
 43 a close familial, business, or other associational relationship with an affected
 44 person, or a financial interest in the outcome of the matter.
 45

(e) Resolution of objection. If an objection is raised to a board member's participation at or prior to the hearing or vote on a particular matter and that member does not recuse himself or herself, the remaining members of the board shall by majority vote rule on the objection.

(f) Familial relationship. For purposes of this section, a "close familial relationship" means a spouse, parent, child, brother, sister, grandparent, or grandchild. The term includes the step, half, and in-law relationships.

ARTICLE IV. Severability.

All Town ordinances or parts of ordinances in conflict with this ordinance amendment are hereby repealed. Should a court of competent jurisdiction declare this ordinance amendment or any part thereof to be invalid, such decision shall not affect the remaining provisions of this ordinance amendment nor the Zoning Ordinance or Town Code of the Town of Southern Shores, North Carolina which shall remain in full force and effect.

ARTICLE V. Effective Date.

This ordinance amendment shall be in full force and effect from and after the ____ day of _____, 2023.

Elizabeth Morey, Mayor

ATTEST:

Town Clerk

APPROVED AS TO FORM:

Town Attorney

Date adopted:

Motion to adopt by Councilmember:

Motion seconded by Councilmember:

Vote: ____AYES____NAYS



2023-2024 Biennium Legislative Goals | Designate Your Municipality's Voting Delegate

The League's member-driven legislative goals development process coincides with the start of each new legislative biennium. During even-numbered years, members come together to submit their legislative goals and priorities. Over the last few months, the Legislative Policy Committee considered these ideas, then presented its recommendations to the Board of Directors at their December meeting. The Board refined the position further before sending them to the full League membership for a final vote. After the final voting period closes, cities and towns will have a focused advocacy agenda to pursue at the state and federal levels.

Designation of the Voting Delegate: Each Voting Delegate shall cast the single vote of the municipality for the Legislative Goals and Core Municipal Principles.

Deadline to Designate Voing Delegate: Thursday, January 12, 2023

Membership Voting Period: Thursday, December 15, 2022 - Friday, January 13, 2023

If you have questions, contact Derrick Applewhite | dapplewhite@nclm.org | 919-715-1229

VOTING DELEGATE INFORMATION

Name *

Title	First	Last
-------	-------	------

Municipality *

Preferred Email - unique to voting delegate to receive ballot *

Cell Number *

Preferred Address *

Address Line 1

City

North Carolina

Zip Code

PERSON COMPLETING FORM (if different from above)

Name

Title

First

Last

Email

Preferred Phone Number

Submit