

CITY OF SOUTH JORDAN
PLANNING COMMISSION MEETING AGENDA
CITY HALL
TUESDAY, FEBRUARY 08, 2022 at 6:30 PM



Notice is hereby given that the South Jordan City Planning Commission will hold a Planning Commission Meeting on Tuesday, February 8, 2022, in the City Council Chambers, located at 1600 W. Towne Center Drive, South Jordan, Utah with an electronic option via Zoom phone and video conferencing. Persons with disabilities who may need assistance should contact the City Recorder at least 24 hours prior to this meeting.

Attendees will be allowed to join via phone or video, using Zoom phone and video conferencing. Note, attendees joining electronically may public comment with access through video conferencing, and participant must have their video on and working to speak. Attendees who wish to present photos or documents to the Planning Commission must attend in person. Those who join via phone may listen, but not comment.

In the event the electronic portion of the meeting is disrupted in any way that the City in its sole discretion deems inappropriate, the City reserves the right to immediately remove the individual(s) from the meeting and, if needed, end the electronic portion of the meeting with or without a motion and vote. Reasons for removing an individual or ending a meeting include but are not limited to the posting of offensive pictures, remarks, or making offensive statements, disrespectful statements or actions, and other any action deemed inappropriate.

Ability to connect and comment is dependent on an individual's internet connection, not the City. To ensure comments are received regardless of technical issues, please have them submitted in writing to the City Planner, Greg Schindler, at gschindler@sjc.utah.gov by 3:00 p.m. on February 8, 2022.

Instructions on how to join the meeting electronically are below.

Join South Jordan Planning Commission Electronic Meeting February 8, 2022 at 6:30 p.m.

- Join on any device, with mobile and desktop availability
- Visit: www.sjc.utah.gov/planning-commission/
- Zoom link, Meeting ID and Meeting Password will be provided 24 hours prior to meeting start time.
- Zoom instructions are posted www.sjc.utah.gov/planning-commission/

THE MEETING WILL BEGIN AT 6:30 P.M. AND THE AGENDA IS AS FOLLOWS:

- A. **WELCOME AND ROLL CALL – Commission Chair Michele Hollist**
- B. **MOTION TO APPROVE AGENDA**
- C. **APPROVAL OF THE MINUTES**
 - [C.1.](#) January 25, 2022 Planning Commission Meeting
- D. **STAFF BUSINESS**
- E. **COMMENTS FROM PLANNING COMMISSION MEMBERS**
- F. **SUMMARY ACTION**

G. **ACTION**

H. **ADMINISTRATIVE PUBLIC HEARINGS**

**H.1. DAYBREAK SOUTH STATION PLAT 3 CONDOMINIUMS PHASE 2A
PRELIMINARY SUBDIVISION**

Location: 5208 W. Black Twig Drive

Project No: PLPP202100232

Applicant: Daybreak Communities

H.2. EOS FITNESS CENTER SITE PLAN APPLICATION

Location: 10534 S River Heights Drive

File No: PLSPR202100273

Applicant: Colby Anderson, Anderson Wahlen & Associates

I. **LEGISLATIVE PUBLIC HEARINGS**

J. **OTHER BUSINESS**

ADJOURNMENT

CERTIFICATE OF POSTING

STATE OF UTAH)

: §

COUNTY OF SALT LAKE)

I, Cindy Valdez, certify that I am the duly appointed City Deputy Recorder of South Jordan City, State of Utah, and that the foregoing Planning Commission Agenda was faxed or emailed to the media at least 24 hours prior to such meeting, specifically the Deseret News, Salt Lake Tribune and the South Valley Journal. The Agenda was also posted at City Hall, on the City's website www.sjc.utah.gov and on the Utah Public Notice Website www.pmn.utah.gov.

Dated this 3rd day of February, 2022

Cindy Valdez

South Jordan City Deputy Recorder

**CITY OF SOUTH JORDAN
ELECTRONIC
PLANNING COMMISSION MEETING
COUNCIL CHAMBERS
January 25, 2022**

Present: Chair Michele Hollist, Commissioner Nathan Gedge, Commissioner Trevor Darby, Commissioner Steven Catmull, Commissioner Laurel Bevans, Assistant City Attorney Greg Simonsen, City Planner Greg Schindler, Deputy City Recorder Cindy Valdez, Assistant City Engineer Jeremy Nielson, Planner David Mann, IT Director Jon Day, GIS Coordinator Matt Jarman, Meeting Transcriptionist Diana Baun

Others: Merlynn Newbold, Michelle, Jamie, Carol

6:37 P.M.
REGULAR MEETING

I. WELCOME AND ROLL CALL – *Commissioner Michele Hollist*

Commissioner Michele Hollist welcomed everyone to the Electronic Planning Commission Meeting.

II. OATH OF OFFICE FOR RECENTLY APPOINTED AND RE-APPOINTED COMMISSIONERS – *By Deputy City Recorder Cindy Valdez*

Commissioner Trevor Darby and Commissioner Laurel Bevans were sworn in by Deputy City Recorder Cindy Valdez.

III. MOTION TO APPROVE AGENDA

Commissioner Gedge motioned to approve the January 25, 2022 Planning Commission Agenda as published and noticed. Commissioner Hollist seconded the motion; vote was unanimous in favor.

IV. ELECTION OF COMMISSIONER CHAIRPERSON AND VICE CHAIRPERSON FOR 2022

Commissioner Michele Hollist opened the floor for chairperson nominations.

Commissioner Nathan Gedge nominated Commissioner Hollist as chairperson for 2022, Commissioner Darby seconded the nomination. There were no other nominations.

Commissioner Hollist closed the floor for chairperson nominations.

Commissioner Gedge motioned to nominate Commissioner Hollist as the chairperson for the 2022 year. Commissioner Darby seconded the motion. Roll Call Vote was 5-0, unanimous in favor.

Chair Hollist opened the floor for vice chairperson nominations.

Chair Hollist nominated Commissioner Gedge, Commissioner Catmull seconded the nomination. There were no other nominations.

Chair Hollist closed the floor for vice chairperson nominations.

Chair Hollist motioned to nominate Commissioner Gedge as the Vice Chairperson for the 2022 year. Commissioner Catmull seconded the motion. Roll Call Vote was 5-0, unanimous in favor.

V. SELECTION OF PLANNING COMMISSION REPRESENTATIVE TO ARCHITECTURAL REVIEW COMMITTEE (ARC) FOR 2022

Chair Michele Hollist mentioned there is a meeting tomorrow, those meetings occur at 8:30. She asked if anyone had an interest in the position, there were no responses. She nominated Commissioner Catmull for the position as he has indicated the meeting times would work for him and he has interest in doing it this year.

Chair Hollist motioned to nominate Commissioner Catmull as the Planning Commission representative to the Architectural Review Committee for 2022. Commissioner Gedge seconded the motion. Roll Call Vote was 5-0, unanimous in favor.

VI. APPROVAL OF THE MINUTES

Commissioner Darby motioned to approve the January 11, 2022 Planning Commission Meeting Minutes as published. Chair Hollist seconded the motion; vote was unanimous in favor.

VII. STAFF BUSINESS - *None*

VIII. COMMENTS FROM PLANNING COMMISSION MEMBERS - *None*

IX. SUMMARY ACTION – *None*

X. ACTION – *No Public Hearing*

A. THE HUMAN BEAN, SITE PLAN (REVIEW OF TRAFFIC CONTROL PLAN)

Location: 1463 W South Jordan Parkway
File No: PLSPR202100148
Applicant: Danny Bird

Planner David Mann reviewed background information from the Staff Report. He mentioned an email that was sent before the meeting, it has been included as Attachment A.

Assistant City Engineer Jeremy Nielson said Commissioner Catmull emailed him with some questions about estimated daily trips to the coffee shop. He looked in the ITE Trip Generation Manual that is used to estimate trips for any commercial business or residential housing project. It had a specific use for a drive thru, no seating, coffee shop which fit the category really well. This surveyed 50 sites across the country, and in the AM peak hour it estimates about 103 vehicles; that works out to about two vehicles per minute entering the shop. This morning, he drove to Starbucks to see how quickly they can send cars through the drive thru, and it was anywhere from 2.5 to four minutes. If we assume two vehicles are coming in every minute and waiting in the queue, and they only need to be in there for a max of four minutes, that would create a stacking of about eight cars in the queue at the peak. This matches pretty closely to what the applicant was estimating, and based on all the coffee shops they've run they've seen a max of 10-12 stacked in the queue.

Commissioner Catmull asked about special requirements when they estimate over 100 trips in a situation like this.

Planner Mann noted the code mentions an average of 25 trips per hour would require staff to direct the applicant to do a traffic study. As Engineer Nielson presented, from the applicant's research among the other stores throughout the country, they average 10-12 trips at the most during their peak hour. Therefore, it doesn't meet that threshold to require a traffic study.

Commissioner Catmull said the estimate was over 100 trips in the peak hour, and asked if that hourly amount qualifies for needing the traffic study.

Engineer Nielson said that was correct, that they were estimating over 100 trips during the peak hour. This would require a traffic study, however what the applicant submitted satisfied Engineering's concerns.

Planner Mann read over the code, it notes that a "project that may generate more than 100 trips in a peak hour, or 1000 total daily trips" would need a traffic study. It also says "all uses proposing access to residential streets that may generate more than 25 trips in a peak hour" would need that study done as well.

Commissioner Catmull mentioned that he is aware 1440 West is a private street, but said it should also qualify as a residential street.

Planner Mann agreed that 1440 W does qualify as a residential street, so the 10-12 trips that they expect to average during a peak time is under the 25 trips mentioned for residential access.

Chair Hollist asked if they mean 10-12 trips, or that they queue 10-12 cars at busy times; queuing 10-12 cars at busy times would certainly add up to more than 10-12 cars in the hour.

City Planner Greg Schindler believes the appropriate response to this is that yes, it does require a traffic study; the Engineering Department said that what the applicant submitted qualifies as the traffic study, therefore there is no need for further studies. The commission is correct though, that the 100 at peak hour is the qualifier for requiring that traffic study.

Chair Hollist invited discussion amongst the commissioners. This is a residential road with just the one access, and they do have the ability to identify issues that can have a detrimental impact and to mitigate them. She is still willing to discuss some sort of condition that if, during regular business cars stack onto 1440 W or 10400 South, it raises a flag and they look at this conditional use permit.

Commissioner Gedge said the stacking on 10400 S and 1440 W were his big concerns at the last meeting, along with public safety accessing the residential homes or the businesses. Per Planner Mann's presentation, there is still a 30 foot buffer, so that alleviates that concern of emergency access to the street even if there are two cars. He thanked the applicant for providing information and working with the corporate vendor to get their average volume numbers. We are hoping they are super successful, and that's our concern. In their paperwork, they said they were amenable to other signage or striping if necessary and he is wondering if they would be amenable to having NO STOPPING signage on 1440 W, or marking a fire lane, something to prevent the stacking of cars on the actual street.

Chair Hollist worries that doing that would create an even worse issue than the stacking, they will then go further down the road to turn around and we don't want to encourage them driving down the street.

Commissioner Gedge asked what the detriment would be, and how we communicate it; how do we establish the measurable period to trigger a review. He's hoping for a huge grand opening, and then it dies down to a normal amount. As they saw with Raising Cane's and Chick-fil-A, his main concern is during that initial rush, especially where this is the brand's first location in Utah.

Chair Hollist is thinking more towards the idea that if it doesn't happen, great, but if it does, let's have something in place that flags this for review.

Commissioner Catmull thinks this is a fairly low bar, and that there is enough queuing. He went to the site today, parked on the property and watched for a while to try and get a feel for the situation. It is a very unique situation to have two beverage drive thrus, both across the street and fairly close to a seven lane arterial road with significant speed differences between the access road and the main road; as well as each of the businesses having only one way in and out, connected to a residential road that only has one way in and one way out. This has driven him to focus on how to keep that intersection healthy, both for flow and safety. He is concerned about

people pulling out to the right and not seeing those riding in the bike line, this bike line is marked as “medium comfort” on bike trails. He found a study done by a traffic control company, regarding coffee shops and queuing for two different states in the Midwest. The maximum daily queue by frequency was 10-13, this is what we are expecting, but it is also right on the edge of what this site plan provides for. After considering all that, he wondered what we could do to make sure that happens in a way that balances the residential interest and the business development. He suggested saying the drive thru configuration is maintained to prevent queuing out to 10400 S with the aid of the city engineer, and as determined by the city council. He believes that allows traffic to be mitigated in a scientific way where it can, but if it can’t, this provides a condition by which the council can consider the conditions on the conditional use permit.

Chair Hollist asked what Commissioner Catmull would expect the city engineer to do.

Commissioner Catmull gave the example of “right in, right out” but that wouldn’t work in this situation. Essentially, whatever gives plenty of latitude to try and address the issue, give lots of help and aid, but try to prevent the very negative consequence of spilling out onto the seven lane arterial road that is 10400 South.

Chair Hollist knows that we are partners with our applicants, but she is reluctant to ultimately make it the city engineer’s issue to design this, unless the engineer’s responsibility is to sign off on another traffic plan or queuing strategy.

Commissioner Catmull is open to that, as the city council could then direct someone to look at that.

Commissioner Gedge said this would be a condition on the motion, so it would have to be triggered by some sort of appeal or other complaint to be sent through the process of city council modifying or revoking the conditional use permit.

Commissioner Catmull said someone could do that if there was a harmful effect like traffic spilling out on to 10400 S, or a situation with a pedestrian or bicyclist. The trigger would be the standard process of someone seeking to challenge whether the condition is being met.

Chair Hollist asked if we need to specify who triggers the review, or can staff make that call if they drive by.

Commissioner Gedge asked if we need to put a specific trigger, or could the review be prompted by anyone suggesting there is an issue.

Assistant City Attorney Greg Simonsen isn’t sure that any of the commissioners have officially determined that there is a detrimental effect, or that there is substantial evidence that backing out on to 10400 S is going to occur or occur on a regular basis. The new map he sees shows that this would happen with the 17th car. It’s up to the commission to determine, based on the information presented today and the public hearing previously, whether or not on a regular basis there will be 17 cars in the queue. If they have made that determination, then they need to state the evidence

they are relying upon to make that determination of a detrimental effect, then they need to discuss how they can mitigate it and the conditions to be placed on the approval. This will not go before the city council after the decision tonight, and he doesn't think that's what Commissioner Catmull is suggesting; Attorney Simonsen believes that Commissioner Catmull is suggesting the city council get involved if this becomes a problem.

Commissioner Catmull asked if frequency is a factor, does the harmful effect have to be frequent or does it just have to be a harmful effect.

Attorney Simonsen said they have to decide if it happens once, is that enough to impose the conditions and detriment; there is a reasonable standard here, and the commission is the ultimate decision maker on what is reasonable and likely.

Commissioner Catmull said he is trying to create something that doesn't put the applicant at risk for the business, just by saying there should be plenty of room. They need to consider that a conditional use lives with the land, and all owners of it in all configurations, including if the six homes down 1440 W were rezoned and became something else. He just wants to make sure there is a mechanism to ensure the condition is met. If this were to go to the city council because someone believed the condition wasn't being met, it wouldn't be taken lightly and the conditions would be reviewed.

Chair Hollist asked if they could bring it back to the planning commission.

Attorney Simonsen suggested, without telling anyone what to do, that they put some kind of limit on the amount of cars in the queue. That way, if city zoning or other enforcement officers are seeing more and this becomes a problem, then someone can make an application to bring it back before the planning commission.

Commissioner Gedge is asking if anyone can report a concern with safety, with any conditional permit, whether or not there is a condition.

Attorney Simonsen said it's a difficult process to modify a conditional use permit, but no more difficult than simply bringing in a regular conditional use permit. Based on the evidence he is seeing, he doesn't believe this will be a problem, but who knows. As far as frequency, there is no way to fully foresee that, but based on the evidence heard it shouldn't be too frequent.

Chair Hollist asked to see the map again from the staff report that shows the queuing. She brought up the citizen comments from the last meeting that presented the unique situation of this being residential homes adjacent to two businesses, all accessing a private lane. We have two different land uses adjacent to one another with unique access, as well as personal experience shared, that indicates there could be problems. As we've seen from other drive thru applications, and the impact the pandemic and staffing has had on drive thrus, she thinks we can all agree that we have personally seen situations where drive thrus run slower than usual and are more heavily used than ever anticipated in the past. Based on both what we've seen and heard, she is persuaded this is a detriment we need to work through, and that may require a condition being imposed to avoid stacking and excessive queuing impacting access to other properties as well as

safety vehicles. Knowing the applicant's business structure, and what they see at other sites, has been very helpful in this decision.

Commissioner Trevor Darby doesn't feel enough evidence has been presented to require a specific condition be added; he is inclined to approve it as it stands.

Commissioner Laurel Bevans mentioned they would have to have 17 cars in the queue before things spilled out onto 10400 South, and she is inclined to agree with Commissioner Darby

Commissioner Gedge motioned to approve File No. PLSPR202100148, for the construction of a drive thru restaurant, with the Planning Commissioner having identified a potential detriment. In the event that traffic stacking exceeds 120 vehicles per hour, as measured over a one month period of time, a circulation plan will be presented to the Planning Commission.

Chair Hollist discussed the motion with the commissioners, clarified that Commissioner Gedge was referring to a "vehicles per hour" number, rather than how many are stacked at one time. She also said the applicant indicated the customers could walk out with a mobile ordering device and start moving down the line.

Commissioner Darby said he has concerns with the 120 number; if they are getting through the line quickly, there won't be any stacking, and that's what they're trying to mitigate. He thinks this condition should be based on stacking on to 10400 S or 1440 W. As previously stated, he would prefer not to have a condition, but if there is one, it should be based on the actual perceived problem rather than the pacing.

Commissioner Laurel Bevans agreed, she doesn't want to put a condition on how many customers per hour they can have without causing a review.

Commissioner Catmull would prefer not to add a condition either. He would like to hear what some of the ramifications of queuing would be from the engineering standpoint. If a condition like this is done, he wants it to be firmly within the control of the property owners to manage, versus the ones who might spill over to 1440 W; there are other vehicles using that road and we don't know where that customer is going to go. Do they have enough availability within the property to sustain the demand in a perpetual way, and if they do, then he has no problem with the drive thru being on that property.

Commissioner Darby asked what the city's approach would be if a business suddenly had an uptick in business and cars were stacking out on to a main arterial road frequently.

Engineer Nielson assumes there is something in the code that allows the city to assess for public safety purposes. They would probably use enforcement to help direct traffic, along with signage to possibly block cars from parking on the side of the road. As far as the official code, he is not sure what specifically would address this, but he assumes there are mechanisms in place to take action. Regarding Commissioner Catmull's question about what would happen if this queuing spilled out to South Jordan Parkway, this site is quite a bit different from Cane's Chicken. There

is a large shoulder along South Jordan Parkway, and in the event the business is extremely successful and they have queuing that spills out to 1440 W, the access road is 40 feet wide which is wider than some collector streets in Daybreak that handle thousands of vehicles a day. From that perspective, they were not overly concerned about 1440 W because there is still 30 feet of access for other vehicles. It is not ideal if it spills onto South Jordan Parkway, but there is an eight foot shoulder which is sufficient width for a car to pull over and not impede the travel lane. It would likely slow vehicles down in the travel lane, but they don't view it as a major hazard and it would be infrequent.

Attorney Simonsen addressed Commissioner Darby's question. He and City Attorney Ryan Loose discussed specifically what happened with Raising Cane's, when the cars were spilling on to the road, and the response was police officers writing tickets and ordering people to move. Attorney Loose received a call from an executive with Raising Cane's, complaining about this happening; the city's response was telling them to control their property, and we will control ours. When things back out on to a city street, that's city property. This is what the city's response would be if it happened at this location as well.

Commissioner Gedge asked to remove his motion, based on the information shared.

Commissioner Gedge motioned to approve File No. PLSPR202100148, for the construction of a drive thru restaurant. Commissioner Darby seconded the motion. Roll Call vote 4-1, unanimous in favor. Chair Hollist gave "no" vote.

XI. ADMINISTRATIVE PUBLIC HEARINGS –

A. DAYBREAK SOUTH STATION MULTI FAMILY #6 PRELIMINARY SUBDIVISION

Location: Northwest Corner of Lake Avenue and Lake Run Road
File No: PLPP202100059
Applicant: LHM Real Estate

City Planner Greg Schindler reviewed background information from the Staff Report.

John Warnick (Applicant) said Sego will be the ones building the townhomes, they are very eager to get started on this project.

Chair Hollist opened the hearing for public comment, there were no comments from the public and comments were closed.

Commissioner Darby motioned to approve File No. PLPP202100059, preliminary subdivision, subject to the following: All South Jordan City requirements are met prior to recording the plat. Chair Hollist seconded the motion. Roll Call Vote was 5-0, unanimous in favor.

XII. LEGISLATIVE PUBLIC HEARINGS – None

XIII. OTHER BUSINESS

Commissioner Gedge thanked Assistant City Attorney Greg Simonsen for his training prior to the meeting.

ADJOURNMENT

Chair Hollist motioned to adjourn the January 25, 2022 Planning Commission meeting. Commissioner Gedge seconded the motion; vote was unanimous in favor.

The January 25, 2022 Planning Commission Meeting adjourned at 7:34 p.m.

Meeting minutes were prepared by Deputy Recorder Cindy Valdez

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 02-08-2022

Issue: DAYBREAK SOUTH STATION PLAT 3 CONDOMINIUMS PHASE 2A
PRELIMINARY SUBDIVISION
Address: 5208 W. Black Twig Drive
Project No: PLPP202100232
Applicant: Daybreak Communities

Submitted By: Greg Schindler, City Planner
Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve Project No. PLPP202100232 subject to the following:

1. That all South Jordan City requirements are met prior to recording the plat.

STANDARDS FOR SUBDIVISION REVIEW

The Planning Commission shall receive public comment at a public hearing regarding the proposed condominium plat. The Planning Commission may approve, approve with conditions or if the proposed condominium plat does not meet City ordinances, sanitary sewer or culinary water requirements, deny the preliminary condominium plat application.

BACKGROUND

ACREAGE	0.723 acre
CURRENT LU DESIGNATION	Mixed Use Transit Oriented Development (MU TOD)
CURRENT ZONING	Planned Community (P-C)
CURRENT USE	Vacant
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North – MU TOD, (P-C)/Vacant South- Stable Neighborhood, (PC)/South Station Apartments Phase 2 East - MU TOD, (P-C)/Condominiums West - MU TOD, (P-C)/Vacant

Daybreak Communities has filed an application for preliminary plat review and approval of the South Station Plat 3 Condominiums Phase 2A. This condominium plat is the first of a multi-phase project that will eventually include four buildings with a total sixty units. This initial phase has one 3-story building with 10 condo units and 10 tuck under parking spaces. Also shown on the plat are 16 additional parking spaces that will be covered and shared among the entire project. Once completed the project will have sixty-six parking spaces on site and additional on-street parking available adjacent to the site. The parking space requirement for the project is 1 space for each unit.

The residential density of this proposal is 13.8 units per acre, which is consistent with the P-C zone and adopted Community Structure Plan for Daybreak. The proposed unit sizes range from 1,063 sq. ft. to 1,301 sq. ft.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The Daybreak Community Structure Plan designates this area as Town.
- Section 17.72.020 describes the Town Land Use Designation as follows: “This category is designed for high density mixed use development that emphasizes office, commercial and recreational uses, but also includes residential (single- and multi-family), public/semipublic, industrial and open space uses. This category may accommodate gross residential density of fifty (50) units per acre.”
- All PC zone and Kennecott Master Subdivision requirements will be met regarding the preliminary subdivision plat.
- All State and Local subdivision review requirements have been followed.
- The proposal meets all City ordinances
- All units in the proposed subdivision will have culinary water (South Jordan City) and sanitary sewer available (South Valley Sewer District).

Conclusions:

- The proposed subdivision is consistent with the Community Structure Plan and meets the standards of review for subdivisions in the P-C zone.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Subdivision, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

- Minimal.

ALTERNATIVES:

- Approve the preliminary subdivision.
- Deny the preliminary subdivision.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

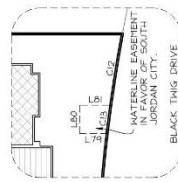
- Aerial Map
- Proposed Subdivision Plat

Grandville Ave

Black Twig Dr

Location Map





DETAIL "A"
SCALE: 1" = 20'

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	18.935	30.000	036°09'50"	S71°32'00"W	18.623
C2	10.890	17.253	036°09'50"	S71°32'00"W	10.710
C3	2.003	20.000	005°44'21"	N89°25'05"W	2.003
C4	2.993	1.500	114°18'53"	N6°42'28"W	2.521
C5	11.464	10.000	065°41'03"	N20°56'34"E	10.847
C6	7.854	5.000	070°00'00"	N08°27'06"E	7.071
C7	7.854	5.000	070°00'00"	S81°32'54"E	7.071
C8	7.854	5.000	070°00'00"	S08°27'06"W	7.071
C9	9.425	6.000	070°00'00"	N01°32'54"W	8.485
C10	7.854	5.000	070°00'00"	N01°32'54"W	7.071
C11	100.863	532.500	010°51'09"	S58°42'21"W	100.712
C12	25.599	532.500	002°45'16"	S62°45'18"W	25.597
C13	10.084	532.500	001°05'06"	S60°50'07"W	10.084

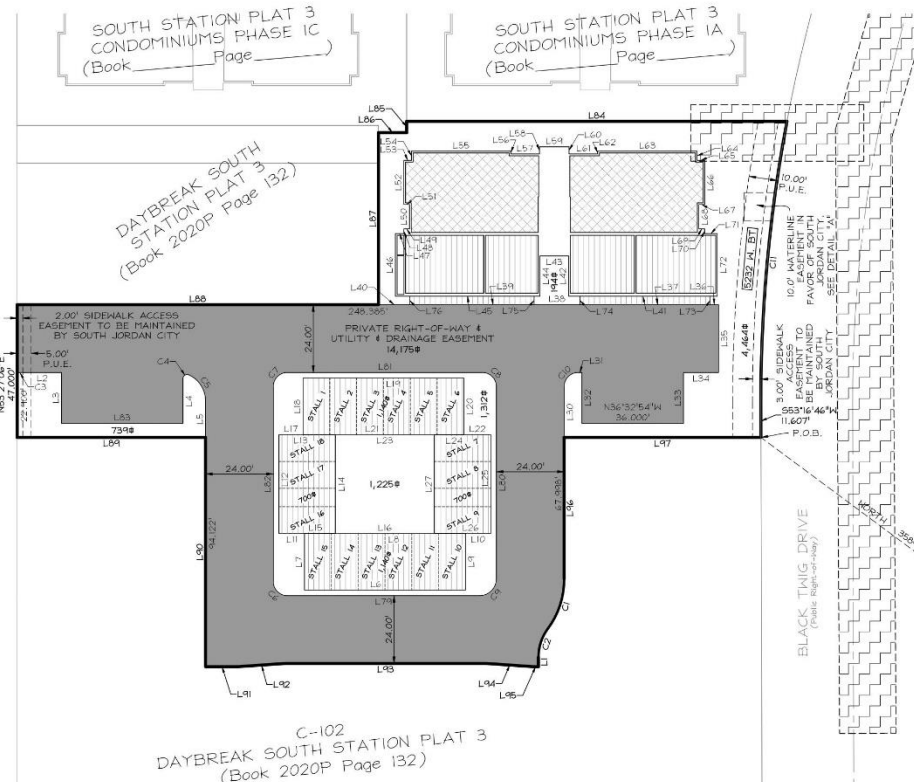
Line Table		
Line #	Length	Direction
L1	3.240	S53°27'06"W
L2	13.739	N36°32'54"W
L3	18.000	N53°27'06"E
L4	15.746	N53°27'06"E
L5	15.000	N53°27'06"E
L6	57.000	N36°32'54"W
L7	20.000	N53°27'06"E
L8	57.000	N36°32'54"W
L9	20.000	N53°27'06"E
L10	8.963	N36°32'54"W
L11	4.037	N36°32'54"W
L12	35.008	N53°27'06"E
L13	20.000	N36°32'54"W
L14	35.008	N53°27'06"E
L15	20.000	N36°32'54"W
L16	35.000	N36°32'54"W
L17	8.500	N36°32'54"W
L18	20.000	N53°27'06"E
L19	57.000	N36°32'54"W
L20	20.000	N53°27'06"E
L21	16.667	N53°27'06"E
L22	9.500	N36°32'54"W
L23	35.000	N36°32'54"W
L24	20.000	N36°32'54"W
L25	35.008	N53°27'06"E
L26	20.000	N36°32'54"W
L27	35.008	N53°27'06"E

Line Table		
Line #	Length	Direction
L28	5.351	N14°36'03"W
L29	6.359	N6°45'24"W
L30	18.000	N53°27'06"E
L31	1.250	N36°32'54"W
L32	18.000	N53°27'06"E
L33	18.000	N36°32'54"W
L34	12.396	N36°32'54"W
L35	24.000	N53°27'06"E
L36	3.000	N36°32'54"W
L37	46.042	N36°32'54"W
L38	16.292	N36°32'54"W
L39	44.000	N36°32'54"W
L40	11.073	N36°32'54"W
L41	52.646	N36°32'54"W
L42	14.250	N53°27'06"E
L43	10.188	N36°32'54"W
L44	14.250	N53°27'06"E
L45	51.146	N36°32'54"W
L46	22.146	N53°27'06"E
L47	3.000	N36°32'54"W
L48	1.667	N53°27'06"E
L49	2.000	N36°32'54"W
L50	8.646	N53°27'06"E
L51	2.000	N36°32'54"W
L52	15.604	N53°27'06"E
L53	2.667	N36°32'54"W
L54	3.250	N53°27'06"E

Item H.1.

VP DAYBREAK
OPERATIONS LLC
26-24-126-004

REVENUE DRIVE
(Public Right-of-Way)

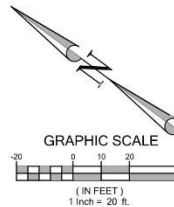


DAYBREAK SOUTH
STATION PLAT 1
(Book 10609 Page 3384)

SOUTHEAST COR. SECTION 19,
T35, R24, S18M
FND BRASS CAP
S.L. CO. MONUMENT

BLACK THING DRIVE
(Public Right-of-Way)

SOUTHWEST COR. SECTION 24,
T35, R24, S18M
FND BRASS CAP
S.L. CO. MONUMENT



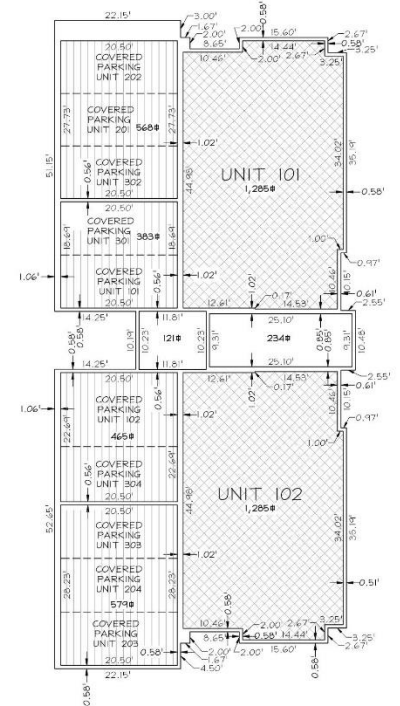
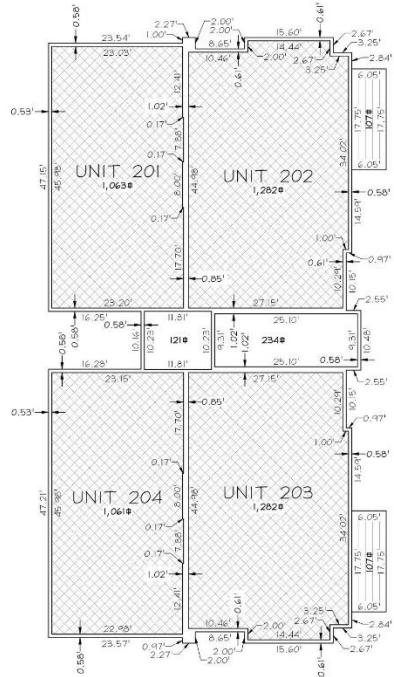
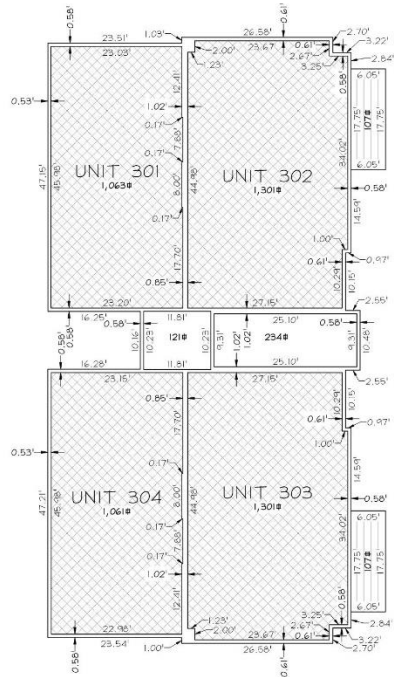
LEGEND	
	FOUND SALT LAKE COUNTY SECTION CORNER
	EXISTING STREET MONUMENT
	LIMITED COMMON AREA
	PRIVATE OWNERSHIP AREA
	COMMON AREA
	PRIVATE RIGHT-OF-WAY AND UTILITY AND DRAINAGE EASEMENT
	EXISTING 20' WIDE SEWER EASEMENT RECORDED IN BOOK 10611 PAGE 75

Sheet 2 of 5

SOUTH STATION PLAT 3 CONDOMINIUMS PHASE 2A
AMENDING A PORTION OF LOT C-102 OF THE SOUTH STATION
PLAT 3 SUBDIVISION, ALSO AMENDING A PORTION OF SOUTH
STATION PLAT 3 CONDOMINIUMS PHASE 1E

Located in the Northwest Quarter of Section 24, T35, R24,
Salt Lake Base and Meridian

RECORDED IN
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____
FEE \$ _____ SALT LAKE _____



THIRD FLOOR
SCALE: 1" = 10'

SECOND FLOOR
SCALE: 1" = 10'

FIRST FLOOR
SCALE: 1" = 10'

PROPERTY CORNERS.
PROPERTY CORNERS TO BE SET WILL BE
REBAR # CAP OR NAILS SET IN THE TOP
OF CURB OR ALLEY ON THE EXTENSION OF
SIDE LOT LINES.

PERIGEE CONSULTING
CIVIL - STRUCTURAL - SURVEY

9089 SOUTH 1320 WEST, SUITE 160 WEST JORDAN, UT 84088
801.438.6504 TEL. 801.593.6811 FAX
WWW.PERIGEECONSULTING.COM

LEGEND

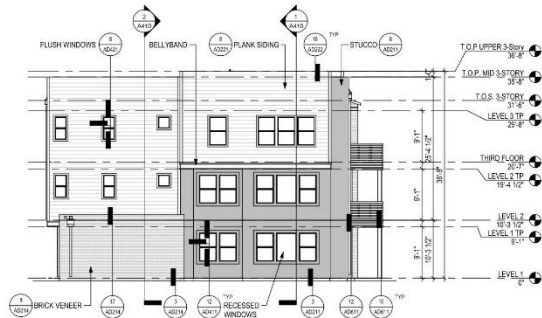
- LIMITED COMMON AREA
- PRIVATE OWNERSHIP AREA
- COMMON AREA

SOUTH STATION PLAT 3 CONDOMINIUMS PHASE 2A
AMENDING A PORTION OF LOT C-102 OF THE SOUTH STATION
PLAT 3 SUBDIVISION, ALSO AMENDING A PORTION OF SOUTH
STATION PLAT 3 CONDOMINIUMS PHASE 1E

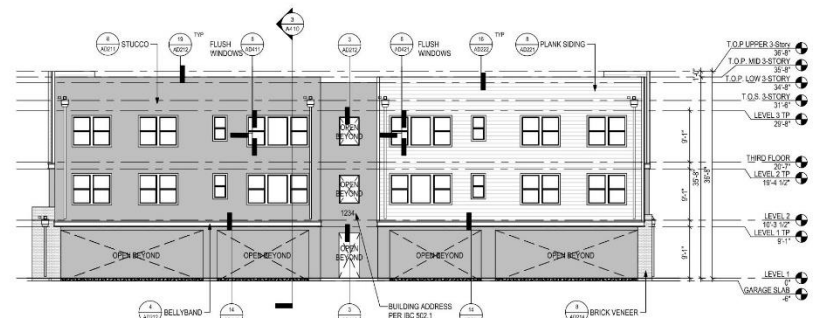
Located in the Northwest Quarter of Section 24, T35, R24,
Salt Lake Base and Meridian

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED _____
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____
FEE \$ _____ SALT LAKE COUNTY ORDER

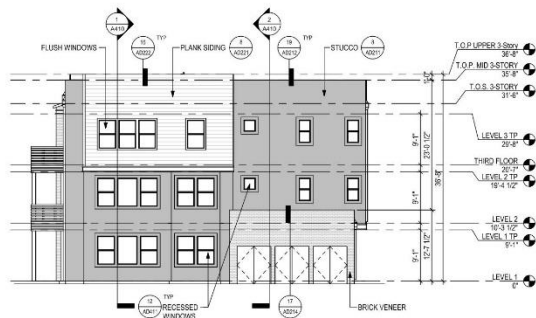
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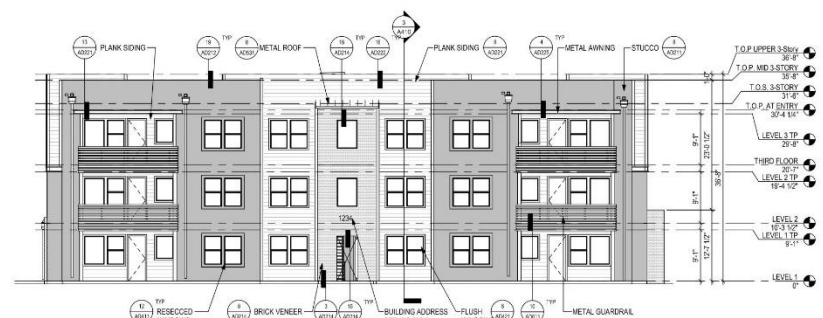
SOUTH ELEVATION
SCALE: 1" = 10'



WEST ELEVATION
SCALE: 1" = 10'



NORTH ELEVATION
SCALE: 1" = 10'



EAST ELEVATION
SCALE: 1" = 10'

BENCHMARK

THE CONTROLLING BENCHMARK IS THE FOUND BRASS CAP SALT LAKE COUNTY MONUMENT LOCATED AT THE NORTHWEST CORNER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 2 WEST AND HAS A NAVD 88 VERTICAL DATUM OF 4915.587' (CONVERTED TO FEET FROM METERS)

4947.00'-0" ON THE ABOVE SHOWN ELEVATION

PROPERTY CORNERS

PROPERTY CORNERS TO BE SET WILL BE REBAR # CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.



9099 SOUTH 1300 WEST, SUITE 160 WEST JORDAN, UT 84098
801.428.6054 TEL. 801.580.6811 FAX WWW.PERIGEECONSULTING.COM

Sheet 4 of 5

SOUTH STATION PLAT 3 CONDOMINIUMS PHASE 2A
AMENDING A PORTION OF LOT C-102 OF THE SOUTH STATION
PLAT 3 SUBDIVISION, ALSO AMENDING A PORTION OF SOUTH
STATION PLAT 3 CONDOMINIUMS PHASE 1E

Located in the Northwest Quarter of Section 24, T3S, R24W,
Salt Lake Base and Meridian

RECORDED IN
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF:

DATE: _____ TIME: _____ BOOK: _____

FEE \$ _____ SALT LAKE COUNTY

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 2/8/2022

Issue: EOS FITNESS CENTER
SITE PLAN APPLICATION

Address: 10534 S River Heights Dr South Jordan, UT 84095

File No: PLSPR202100273

Applicant: Colby Anderson, Anderson Wahlen & Associates

Submitted by: Ian Harris, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202100273**, to allow for construction of a one-story fitness center in the C-C zone at 10534 S River Heights Dr., pending approval from the Jordan Valley Water Conservancy District.

ACREAGE: 4.345 acres

CURRENT ZONE: C-C (Commercial - Community) Zone

CURRENT USE: Vacant Land

FUTURE LAND USE PLAN: EC (Economic Center)

NEIGHBORING ZONES/USES: North – C-C (Vacant Land/Sportsman’s Warehouse)
South – C-C (Storage Facility)
West – C-C (Costco)
East – River Heights Dr. / P-O (Senior Living Center)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

The proposed development is located on a vacant parcel on the west side of River Heights Dr., a few parcels south of South Jordan Pkwy. It is bordered by River Heights Dr. to the east, a storage facility to the south, Costco to the west, and vacant land to the north.

The project consists of a commercial building (a fitness center) with the front entrance oriented inward, facing west toward Costco. The main parking area will be to the west, wrapping around the south side of the building, partially bordering River Heights Dr. with a landscape buffer.

Auto access will be through two main routes. One is off River Heights Dr., toward the southern end of the parcel. The other is to the north of the lot, also off River Heights Dr. There's also access via private drives connecting the various parcels of the Harvest Village Subdivision.

The building is one story. The veneer of the building will be a mix of stucco, metal, stone, and glass. The building's colors are a mix of beige, tan, and brown, in addition to large amounts of glass, particularly at the entrance. The building is 35 feet high, which is the limit for the zone. The building received a positive recommendation from the Architectural Review Committee (ARC).

Landscaping will be a variety of trees, shrubs, groundcovers, and grasses. Rock mulch will be used around the building and parking lot islands. There will be some lawn on the north and south sides of the building. The landscaping plans meet city landscaping requirements for trees and ground cover. Staff is waiving the requirement of parking lot trees in areas on top of the Jordan Valley Aqueduct, because the Jordan Valley Water Conservancy District (JVWCD) does not allow the planting of trees atop their easement.

Discussions between the developer and the JVWCD are ongoing. Approval from the JVWCD is required for a proposed fire line crossing the Jordan Valley Aqueduct which cuts diagonal across the site. Due to the length of time this approval is likely to take, the developer asked that the site plan application move forward with approval still pending from the JVWCD. They have asked that site approval be granted by South Jordan subject to JVWCD's approval.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The business is classified as “Arts and Recreation” per city code. The use is permitted in the C-C zone.
- Operations will be typical for the company (24 hours per day, seven days per week), which is less concerning because the gym is surrounded by commercial uses.
- All uses will be indoor except for a small covered exercise area at the rear of the building near River Heights Dr.
- The outdoor exercise area is planned to be open 24/7, weather permitting.
- The developer has provided a trip generation memo that seeks to explain traffic impacts of the proposed fitness center. It is not a city-commissioned traffic study.
- The Architectural Review Committee reviewed the proposed building on October 13, 2021. The project received a positive recommendation with minor comments about the absence of relief features along the side walls at 60-foot intervals. The applicant addressed these comments by adding relief features to meet the city's architectural requirements.
- The project meets the Planning and Zoning (Title 17) and the Subdivision and Development (Title 16) Code requirements.

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus it should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

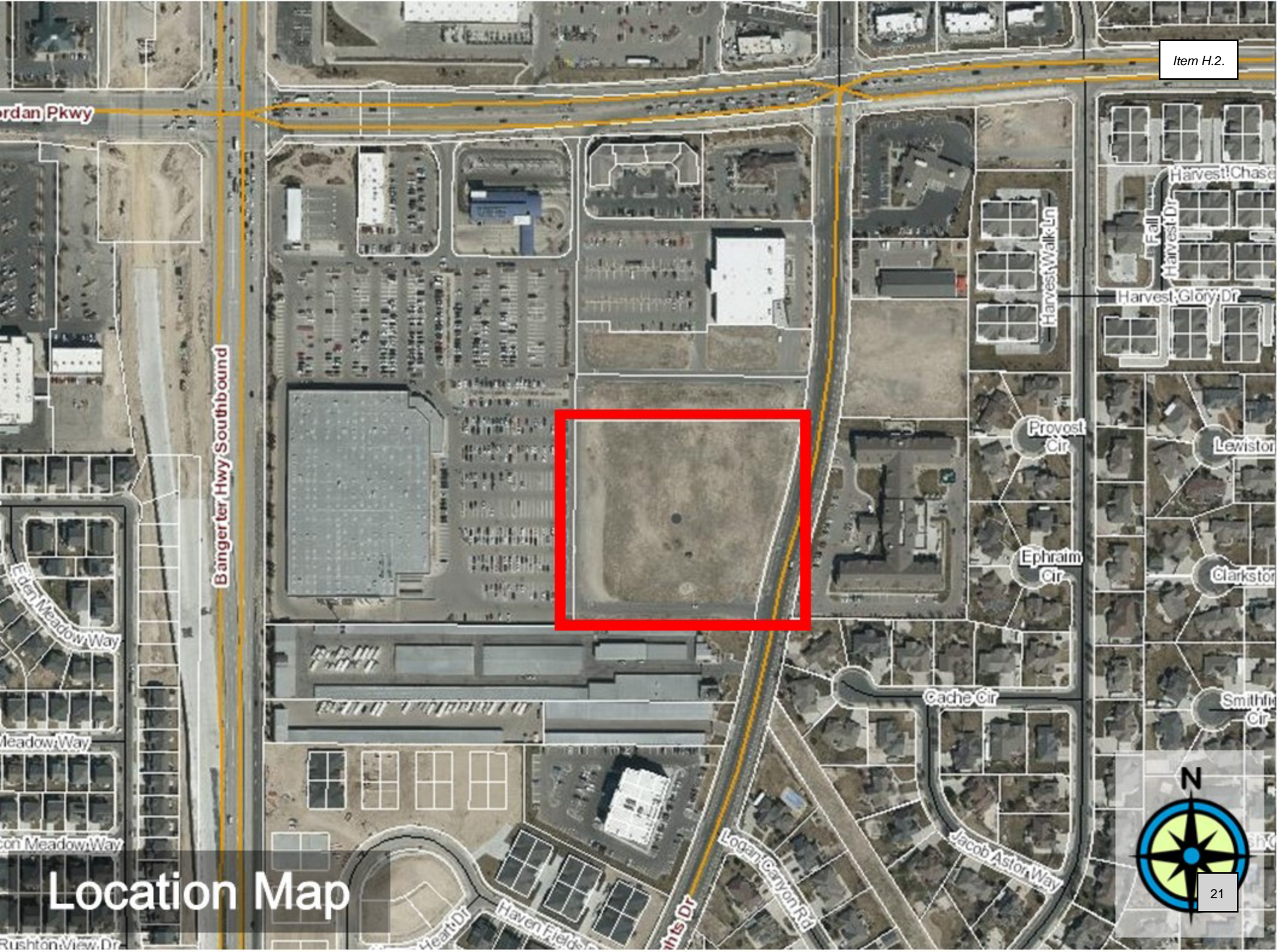
ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

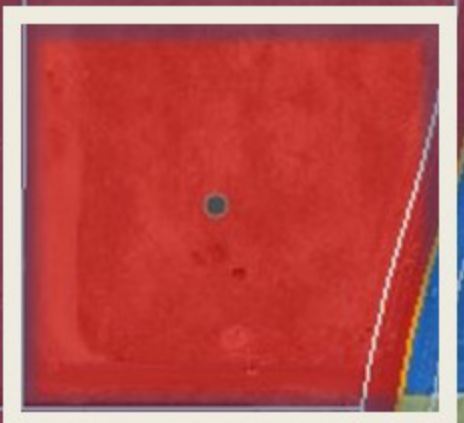
- Location Map
- Zoning Map
- Site Plan
- Grading Plan
- Landscape Plan
- Trip Generation Memo
- Building Elevations

Ian Harris
Planner I
Planning Department



Location Map

Bangerter, Hwy Southbound



Harvest Walk Ln

Fall Harvest Dr

Harvest Glory Dr

Provost Cir

Ephraim Cir

Clarks

Cache Cir

R-2.5

Smith C

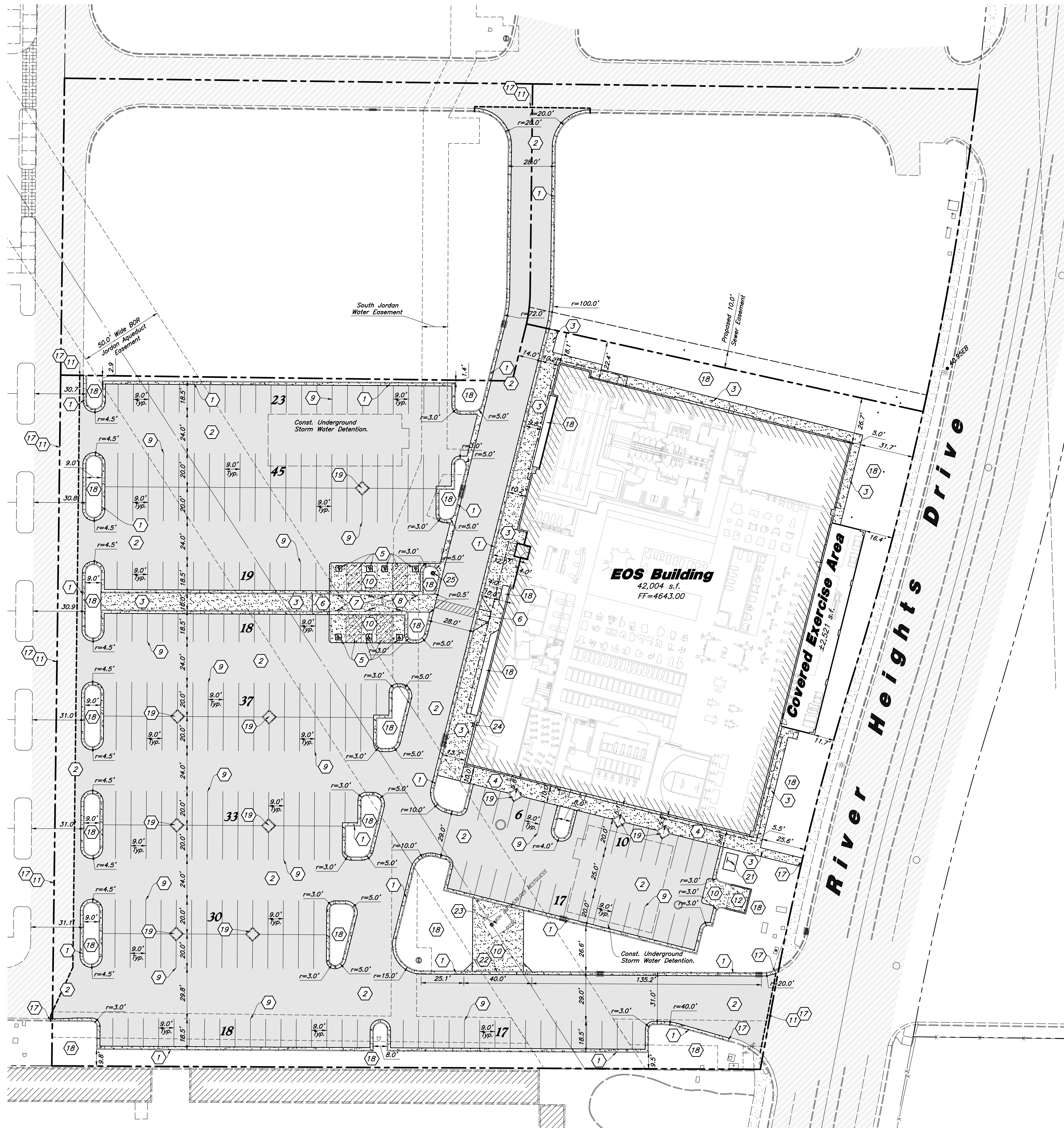
Logan Canyon Rd

Jacob Astor Way

Haven Field

Zoning Map





Site Data
Site Area = 189,258 s.f. (4.34 ac.)
Landscape Area Provided = 28,673 s.f. (15%)
Impervious Area Provided = 118,581 s.f. (63%)
Building Area = 42,004 s.f. (22%)
Parking Required = 1/200 s.f. = 210 stalls
Parking Provided = 273 stalls

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

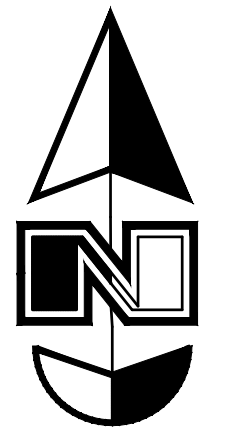
Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Scale: 1" = 30'

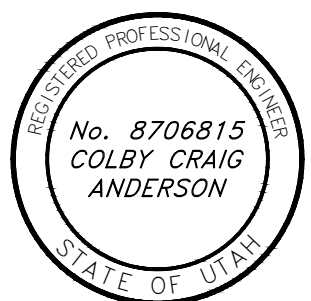


Site Construction Notes

1. Const. 24" Curb & Gutter (C4.1)
2. Const. Asphalt Paving (C4.1)
3. Const. Conc. Sidewalk (C4.1)
4. Const. Thickened Edge Sidewalk (C4.1)
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheet C2.2) (C2.3)
7. Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
9. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
10. Const. Conc. Paving (C4.1)
11. Sawcut; Provide Smooth Clean Edge
12. Dumpster Enclosure (See Arch. Plans)
13. Const. Directional Arrows per MUTCD
14. Const. 24" White Stop Bar
15. Const. Conc Wheel Stop
16. Const. Stop Sign per MUTCD R1-1
17. Conn. & Match Existing Improvements
18. Const. Landscape Area (Coordinate w/ Landscape Plan)
19. Const. 5" Diamond Planter W/ 6" Curb (C4.2)
20. Const. 5'x5' Concrete Pad
21. Transformer (See Site Electrical Plans)
22. Const. Curb Cut Access for Aqueduct Vault.
23. Exist. BOR Jordan Aqueduct Vault.
24. Const. FDC per City Requirements. (Ref. Architect's Plans)
25. Const. Fire Hydrant per City Requirements. (C4.4)

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - wahren@engineering.net

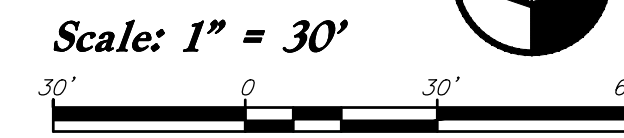
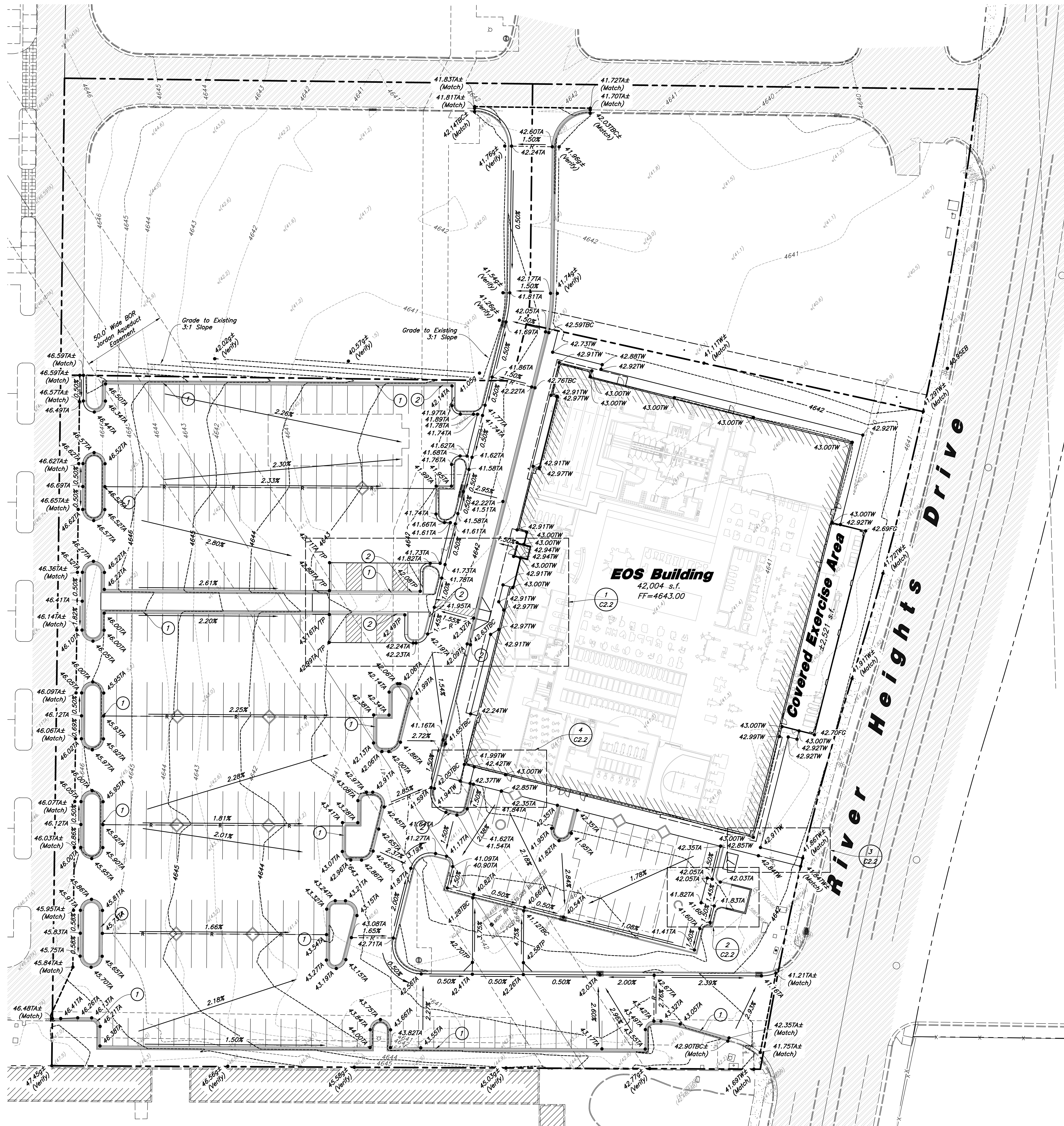
Site Plan
EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT



13 Jan, 2022

SHEET NO.

C1.1



General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
 - Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
 - Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
 - Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
 - Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
 - Fills shall be benched into competent material as per specifications and geotechnical report.
 - All trench backfill shall be tested and certified by a Geotechnical Engineer.
 - A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 - The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 - Dust shall be controlled by watering.
 - The location and protection of all utilities is the responsibility of the permittee.
 - Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
 - All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
 - The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 - The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 - Aggregate base shall be compacted per the geotechnical report prepared for the project.
 - The recommendations in the following Geotechnical Engineering Report by CMT Engineering Laboratories are included in the requirements of grading and site Preparation. The Report is titled "Geotechnical Engineering Study, Health Club Building"
- Project No.: 17371
Dated: Nov. 3, 2021
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 - If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for standard and open face curb and gutter dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided sidewalks shall be constructed with a maximum running slope of 4.5%
- Refer to the Site Plan for sidewalk dimensions.

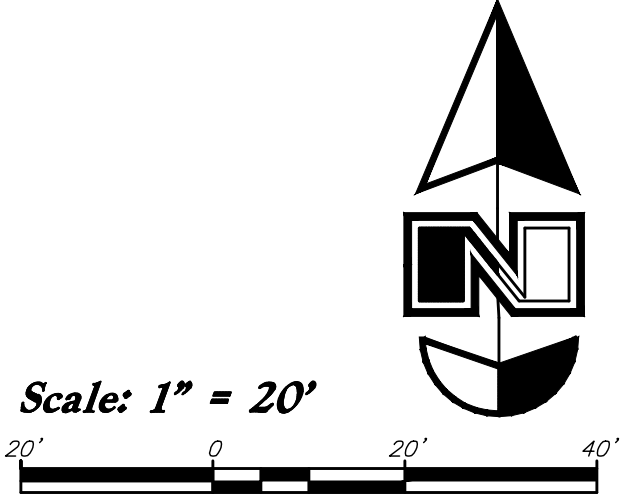
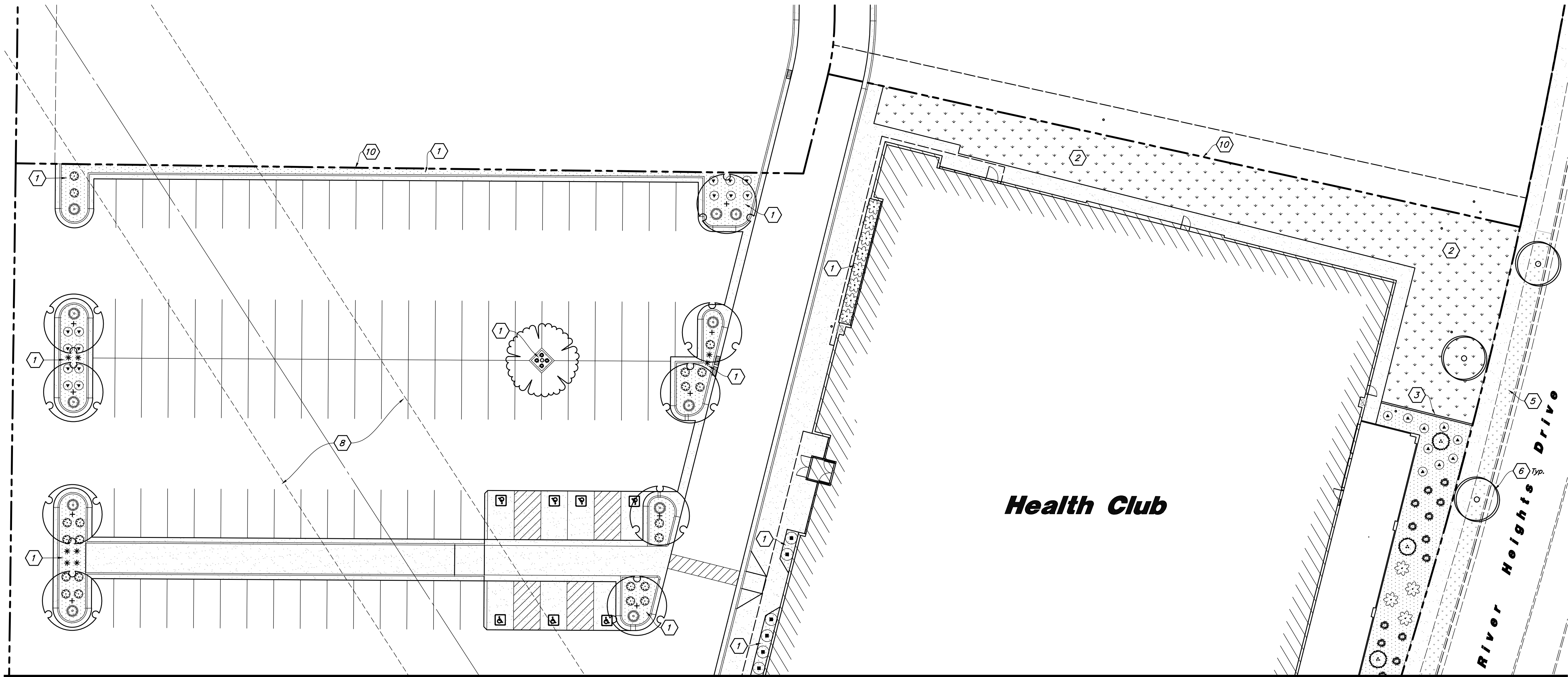
Designed by: CA
Drafted by: NE
Client Name:
EOS
21-205GR

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - NWengineering.net

Grading Plan
EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT

1/13/2022
No. 8706815
COLBY CRAIG
ANDERSON
STATE OF UTAH

13 Jan, 2022
SHEET NO.
C2.1



Landscape Data
Zone Commercial (C-C)
Site Area = 189,258 s.f. (4.34 ac.)
Landscape Area Required = 28,389 s.f. (15%)
Landscape Area Provided = 28,673 s.f. (15.2%)
Site Trees Required = 57 Trees (57 Provided)
River Heights Dr. Parkstrip Trees Req. (30') = 11 Trees
River Heights Dr. Parkstrip Trees Provided = 11 Trees
50% Plant Coverage at Maturity

Landscape Notes:
1. See Sheet L3.1 for Planting Details.
2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 and L2.2 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
3. Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
4. Landscape & Irrigation in the Park Strip Shall be Maintained by the Owner.

- Landscape Keynotes**
- 1 Install Shrub Planter with Decorative Stone and Weed Barrier
 - 2 Install Lawn
 - 3 Install Landscape Concrete Curbing
 - 4 Blend New Landscape into Existing Adjacent Landscape
 - 5 Existing Lawn to Remain; Repair Lawn Where New Street Trees will be Planted - See Keynote #6
 - 6 Install New Street Tree in Lawn Parkstrip with a 24" Diameter Tree Well with Wood Mulch
 - 7 Install Backflow Preventer Between Plant Material on a Concrete Pad with an Enclosure; Enclosure Shall be Secured to Concrete Pad; Install Backflow Within Property Line and Away From Edge of Curb - See Irrigation Plan for More Detail
 - 8 50' Wide BOR Jordan Aqueduct Easement; No Trees Shall be Planted in Easement
 - 9 Dumpster Enclosure with Plant Screening
 - 10 Provide Nice Clean Edge Between New Landscape and Undeveloped Lot
 - 11 Elect. Transformer with Screening; Adjust Plant Material as Needed to Allow Access

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	9	Acer platanoides 'Crimson Sentry' / Crimson Sentry Maple	1 1/2" Cal.
	18	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2" Caliper
	6	Quercus robur 'Fastigiata' / Pyramidal English Oak	2" Cal. / 6-8' Ht.
	7	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden *	2" Caliper
	8	Zelkova serrata 'Musashino' / Musashino Zelkova	2" Caliper
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	4	Pinus nigra / Austrian Pine	6-8' Ht.
	9	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Pine	6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	15	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal
	55	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal
	30	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper (Salt Tolerant)	5 gal
	28	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal
	13	Philadelphus x 'Snowwhite Fantasy' / Snow White Sensation Mock Orange	5 gal
	19	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal
	26	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal
	19	Rosa Meidiland series 'Red' / Red Meidiland Rose	2 gal
	71	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	2 gal
	12	Taxus x media 'Dark Green Spreading' / Dark Spreading Yew	2 gal

* Street Trees Have Been Selected From the South Jordan Parkstrip Tree List

MATERIAL SCHEDULE

Symbol	Comments	Detail
	Decorative Stone - Install a (4) Four Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Planters and Washed Prior to Installation; Stone Shall be 1 1/2" Diameter, Crushed South Towne Stone From a Local Source; Submit Sample for Approval	Detail: 3/L3.1
	4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges between Lawn and Shrub Planters; Curbing Shall be Continuous; Adjust Curbing as Needed to Avoid Existing and New Utilities	Detail: 3/L3.1

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWaengineering.net

Landscape Plan

EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT

State of Utah
Professional Engineer
Jared R. Mancill
No. 7740426-5301
01/13/2021
Landscape Arch. Text

22 Nov, 2021

SHEET NO.
L1.1

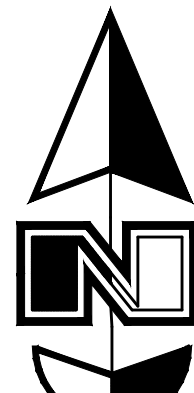
811

Know what's below.
Call before you dig.

Match Line - See Sheet L11

Health Club

Scale: 1" = 20'

**Landscape Notes:**

1. See Sheet L3.1 for Planting Details.
2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 and L2.2 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
3. Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
4. Landscape & Irrigation in the Park Strip Shall be Maintained by the Owner.

Landscape Keynotes

1. Install Shrub Planter with Decorative Stone and Weed Barrier
2. Install Lawn
3. Install Landscape Concrete Curbing
4. Blend New Landscape into Existing Adjacent Landscape
5. Existing Lawn to Remain; Repair Lawn Where New Street Trees will be Planted - See Keynote #6
6. Install New Street Tree in Lawn Parkstrip with a 24" Diameter Tree Well with Wood Mulch
7. Install Backflow Preventer Between Plant Material on a Concrete Pad with an Enclosure; Enclosure Shall be Secured to Concrete Pad; Install Backflow Within Property Line and Away From Edge of Curb - See Irrigation Plan for More Detail
8. 50' Wide BOR Jordan Aqueduct Easement; No Trees Shall be Planted in Easement
9. Dumpster Enclosure with Plant Screening
10. Provide Nice Clean Edge Between New Landscape and Undeveloped Lot
11. Elect. Transformer with Screening; Adjust Plant Material as Needed to Allow Access

General Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants
13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas. The landscape contractor shall perform a soil test on existing and/or imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
18. Provide a 12" depth of stockpiled or imported topsoil in parking islands and an 8 inch depth in all other shrub areas.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from

- the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
21. All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt ProS Weed Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
23. All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #CT32.
24. Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
25. Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
26. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
27. All lawn areas to have uniform grades by float raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
28. All trees located in lawn areas shall have a 24 inch diameter tree ring with a layer of wood mulch.
29. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 321-8529 - NWahlen@engineering.net

Landscape Plan
EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT



22 Nov, 2021

SHEET NO.

L1.2

Know what's below.
Call before you dig.

January 25, 2022

Nicole Stangl
S-DEVCORP, Inc.
90 East 7200 South #200
Midvale, Utah 84047
nicolefstangl@gmail.com
801-556-5614



RE: EOS Health Club Trip Memo – 10534 S River Heights Drive in South Jordan, UT

The following is a trip generation memo for a proposed 42,004 square foot (sf) health club. The site is located at 10534 S River Heights Drive in South Jordan, UT. The site is being developed on one of the out-parcels of the larger commercial center that includes Costco, Sportsman's Warehouse, car wash, strip retail, and office buildings. The proposed gym will utilize the existing access points to the commercial center

Figure 1 identifies the site location and Figure 2 shows the proposed site plan.



Figure 1: Site Location

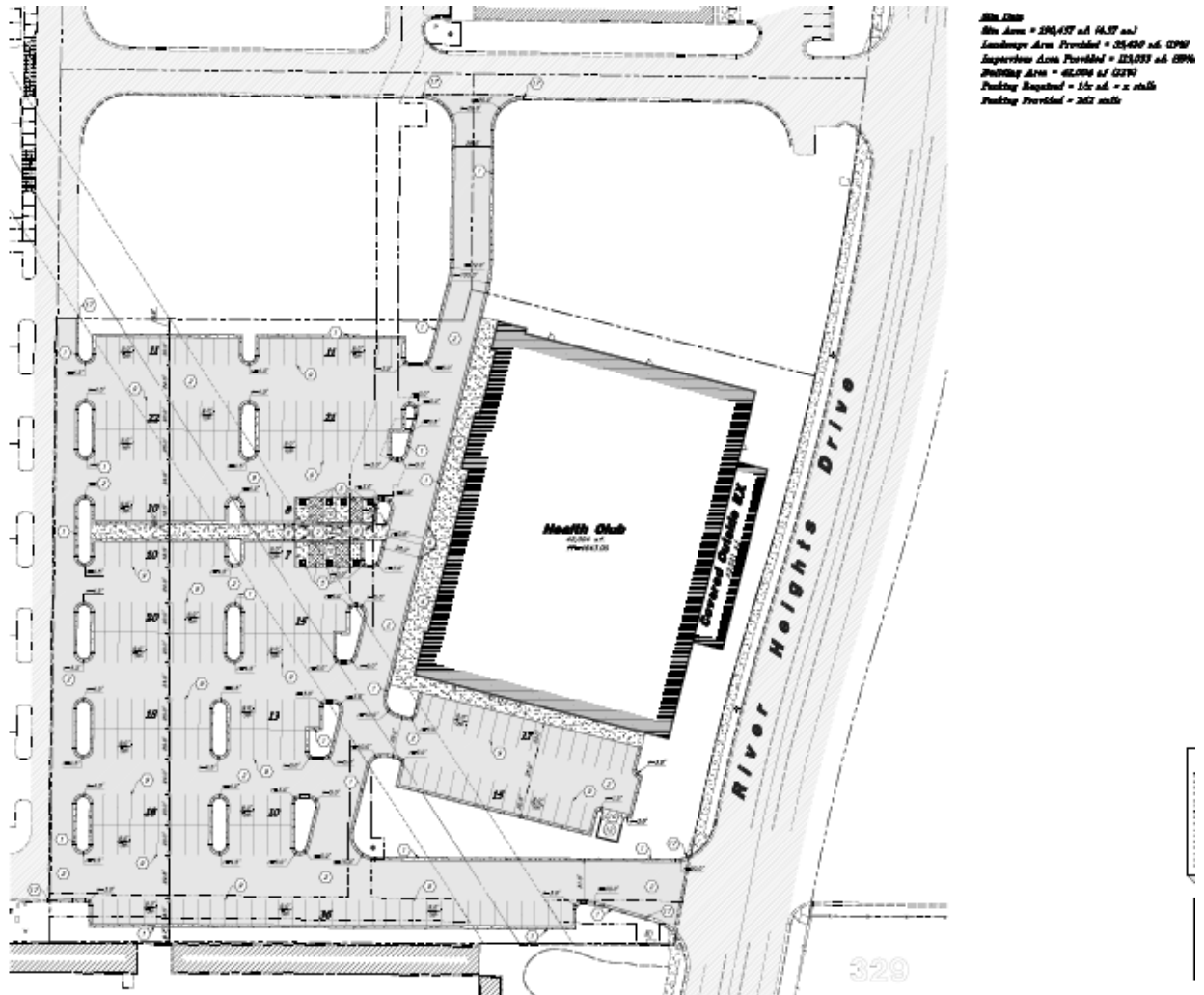


Figure 2: Proposed Site Plan

Trip Generation

Trip generation for the site is projected using the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. Based on the land use assumptions and size of the building, the projected traffic generated by the site is determined. Based on the proposed 42,002 sf health club, there is a projected 55 AM, 145 PM and 134 Saturday peak hour trips. While the ITE Trip Generation Manual does not provide a Daily trip rate for a Gym / Health Club, typically the PM peak represents 10% of the daily trips which would allow an estimate of approximately 1,450 Daily trips.

Table 1: Site Trip Generation

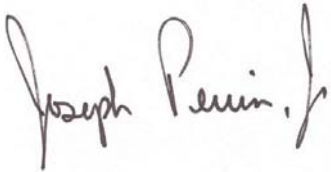
ITE 10th Ed	Size	Land Use	Trip Rate			Trips		
			AM	PM	Saturday Peak	AM	PM	Sat Peak
Gym	42,002	492	1.31	3.45	3.19	55	145	134

River Heights is an unbalanced roadway geometrically with two southbound lanes, a center turn lane and a single northbound lane so it is an atypical cross-section. The capacity of a three-lane urban roadway is 15,000 ADT and a four-lane urban roadway is 28,500 ADT. Therefore, the capacity of River Heights is approximately in midway at 21,750 ADT.

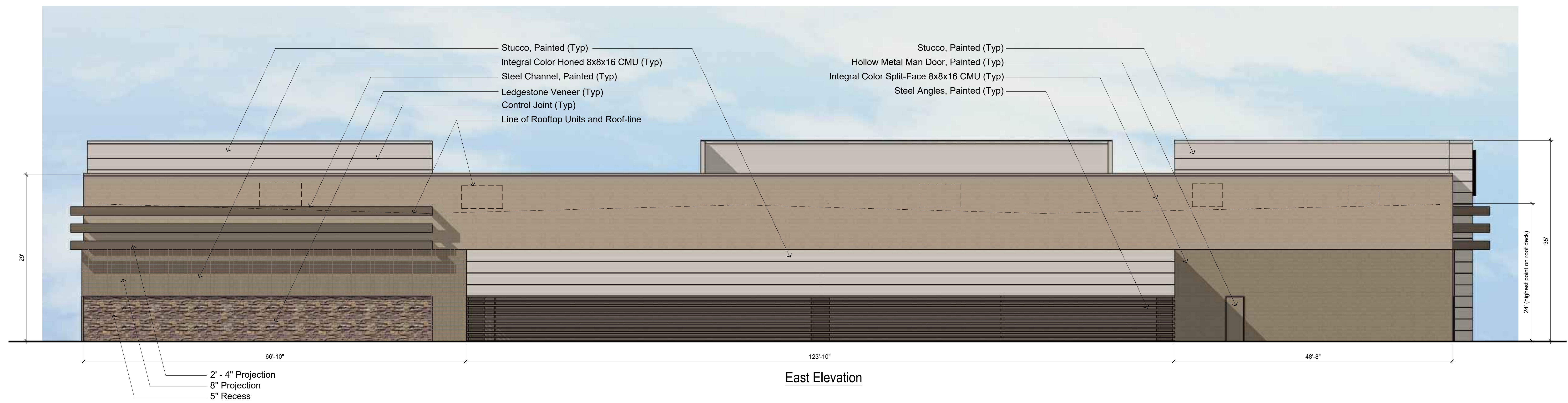
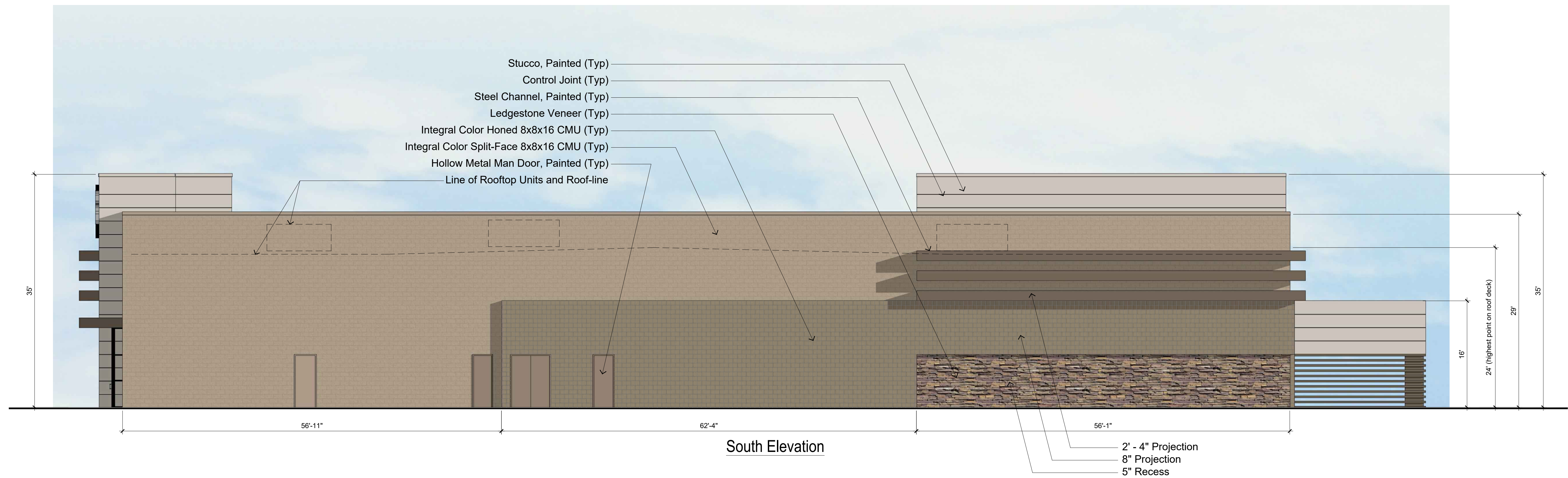
There are five access points to the commercial development with three on River Heights and two on South Jordan Parkway. This health club traffic would be divided among the access points depending on the convenient internal circulation and direction of travel. It should be noted that this commercial development includes these out-pads in the original planning of the development and therefore, the roadway sizing and accesses should have been based on the build-out conditions of the development.

Please let me know if you have any questions.

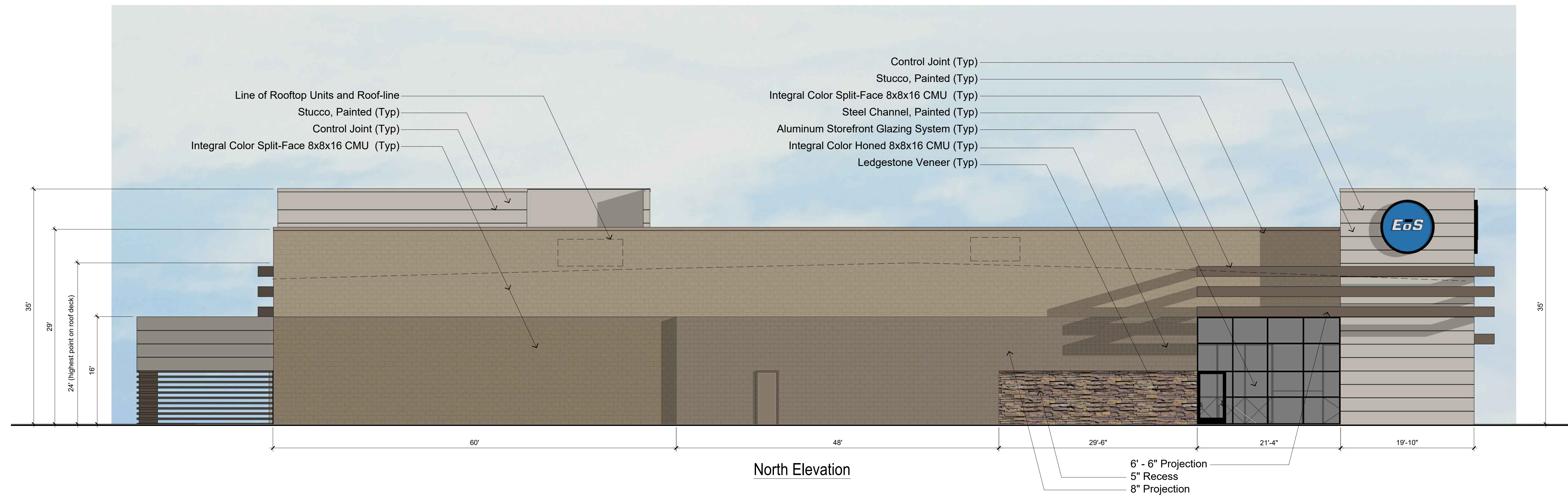
Sincerely,
A-Trans Engineering

A handwritten signature in dark ink, reading "Joseph Perrin, Jr." in a cursive style.

Joseph Perrin, PhD, PE, PTOE
Principal



EOS FITNESS • South Jordan • Elevations • October 13, 2021



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