



Shallotte Board of Aldermen Regular Meeting Agenda

April 01, 2025 at 5:15 PM

Meeting Chambers – 110 Cheers Street

I. CALL TO ORDER

II. INVOCATION & PLEDGE

III. CONFLICT OF INTEREST

1. Statement

IV. AGENDA AMENDMENTS & APPROVAL OF AGENDA

V. BOY SCOUTS TROOP 262 / GIRL SCOUTS TROOP 1262

VI. PUBLIC COMMENTS (3 minutes or less per person & sign in please)

VII. DEPARTMENT REPORTS

1. POLICE

2. FIRE

3. PLANNING

4. PUBLIC WORKS

5. FINANCE

6. PARKS & RECREATION

7. ADMINISTRATION

8. MAYOR

VIII. CONSENT AGENDA

A. March 4, 2025 Regular Meeting minutes

B. March 18, 2025 Work Session Meeting Minutes

IX. PUBLIC HEARINGS

1. **Bay Landing Annexation & PUD**

Parcel ID # 2300005602, 230000503

Mr. & Mrs. Jones Brian Fler (agent)

County R-7500 to Shallotte PUD

25 acres +/-

75 Single Family Lots

1. Motion to open public hearing
2. Public Comments/Questions
3. Motion to close public hearing
4. Board Comments/Questions
5. Motion to approve Annexation Ordinance 25-09, annexing PIDs 2300005602 and 2300005003
6. Motion to approve the Board of Aldermen Zoning Statement of Consistency
7. Motion to approve rezoning PID 2300005602 to Planned Unit Development (PUD)

2. PETITION FOR VOLUNTARY ANNEXATION: ALL-IN, INC PARCEL ID #'s (2140005803, 214IA005, 214IA006, 214IA007, 214IA008, 214IA009, 214IA004, 214IA012, 214IA011, 214IA010, 214IA013, 214IA016, 214IA014, 214IA003, 214IA002, & 214IA001). All-In, Inc. has submitted an Annexation Petition for property located at the above-referenced parcels, near the intersection of Copas Rd. and Greenwich Ct. SW..

1. Motion to open public hearing
2. Public Comments/Questions
3. Motion to close public hearing
4. Board Comments/Questions
5. Motion to approve Annexation Ordinance 25-07
6. Motion to approve the Board of Aldermen Zoning Statement of Consistency
7. Motion to approve rezoning the property from RA-15 to R-10

3. Solserra Annexation & PUD

Parcel ID # 1980000205, 198JB00115, 198JC001, 198JC002, 198JC003, & 2140002302

Stars & Stripes 21, LLC.

Shallotte MF-10 & County R-7500 to Shallotte PUD

360 acres +/-

545 Single-Family Lots, 174 Town-homes, 300 Multi-Family Units

1. Motion to open public hearing
2. Public Comments/Questions
3. Motion to close public hearing

4. Board Comments/Questions
5. Motion to approve Annexation Ordinance 25-08
6. Motion to approve the Board of Aldermen Zoning Statement of Consistency
7. Motion to approve rezoning to Planned Unit Development (PUD)

4. SPECIAL USE PERMIT PARCEL ID # 1670006004 (Hardwick Office & Yard)

(Being this is a quasi-judicial hearing, anyone that wishes to speak regarding this matter will need to be sworn in by the Town Clerk prior to any comments)

Norris & Bland Consulting Engineers, P.C., on behalf of S&H Investment Group, LLC., has submitted a request for consideration of a Special Use Permit (SUP) so as to develop a sales office and warehouse for a metal fabrication business-- with no fabrication occurring on-site, at the parcel/address listed above. The property is zoned Business 2 (B-2).

1. Motion to open public hearing
2. Swear in parties
3. Public Comments/Questions
4. Motion to close public hearing
5. Board Comments/Questions
6. Motion to approve the Specific Findings of Fact
7. Motion to approve SUP 24-05

X. DISCUSSION

XI. ADJOURN

Town of Shallotte Board of Aldermen Conflict of Interest Statement

Taking into consideration the general statute below and the items described on this month's agenda, does any member of the Board of Aldermen or staff have any potential conflicts of interest that should be addressed by the Board at this time? If so, please make those concerns known now.

§ 160D-109. Conflicts of interest.

(a) Governing Board. – A governing board member shall not vote on any legislative decision regarding a development regulation adopted pursuant to this Chapter where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. A governing board member shall not vote on any zoning amendment if the landowner of the property subject to a rezoning petition or the applicant for a text amendment is a person with whom the member has a close familial, business, or other associational relationship.

(b) Appointed Boards. – Members of appointed boards shall not vote on any advisory or legislative decision regarding a development regulation adopted pursuant to this Chapter where the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. An appointed board member shall not vote on any zoning amendment if the landowner of the property subject to a rezoning petition or the applicant for a text amendment is a person with whom the member has a close familial, business, or other associational relationship.

(c) Administrative Staff. – No staff member shall make a final decision on an administrative decision required by this Chapter if the outcome of that decision would have a direct, substantial, and readily identifiable financial impact on the staff member or if the applicant or other person subject to that decision is a person with whom the staff member has a close familial, business, or other associational relationship. If a staff member has a conflict of interest under this section, the decision shall be assigned to the supervisor of the staff person or such other staff person as may be designated by the development regulation or other ordinance.

No staff member shall be financially interested or employed by a business that is financially interested in a development subject to regulation under this Chapter unless the staff member is the owner of the land or building involved. No staff member or other individual or an employee of a company contracting with a local government to provide staff support shall engage in any work that is inconsistent with his or her duties or with the interest of the local government, as determined by the local government.

(d) Quasi-Judicial Decisions. – A member of any board exercising quasi-judicial functions pursuant to this Chapter shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons' constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.

(e) Resolution of Objection. – If an objection is raised to a board member's participation at or prior to the hearing or vote on a particular matter and that member does not recuse himself or herself, the remaining members of the board shall by majority vote rule on the objection.

(f) Familial Relationship. – For purposes of this section, a "close familial relationship" means a spouse, parent, child, brother, sister, grandparent, or grandchild. The term includes the step, half, and in-law relationships. (2019-111, s. 2.4; 2020-3, s. 4.33(a); 2020-25, s. 51(a), (b), (d).)



Shallotte Police Department Monthly -March 2025

Highlights

- 1166 Calls for Service and Self-Initiated incidents
- Uniform Patrol issued 69 citations
- 35 Traffic Accident Investigations
- 238 Volunteer Hours
- Staff participated in “Read Across America” at Waccamaw School & New Beginnings
- DARE Class at Southeastern Christian Academy
- Staff attended School Safety meeting at The COAST.
- Staff attended HOA meeting at Owendon Plantation
- Staff attended Career Days at BCC, Shallotte Middle, and Waccamaw School
- Staff participated in checkpoint mutual aid with BCSO

Investigations and Reports Summary

The Shallotte Police Department’s Investigative Division managed 8 cases in March. The division filed charges in two cases, which resulted in 5 felony charges., while obtaining four search warrants. In addition to this month’s newly assigned cases, the detective division continues to work several high priority cold cases.

Details of some of this month’s newly assigned cases and one follow-up are provided below.

1. Felony Financial Fraud:

On March 12, 2025, an officer from the Shallotte Police Department was called to Lowe’s Home Improvement regarding a past incident. An asset protection employee explained that on February 16, 2025, a man had returned lumber and nails to the store and received a Lowe’s gift card worth \$170.80. The man then left in a company truck from Impex Glass Shop.



On March 14, 2025, the detective investigated the incident and identified the suspect using a DMV photo and video footage from Lowe's. During the investigative interview with the detective division, the suspect admitted to the crime and was charged with Felony Obtaining Property by False Pretenses.

2. Felony Financial Transaction Card Fraud:

On February 24, 2025, the Shallotte Police Department received a report from Myrtle Beach PD regarding an ongoing fraud investigation. Myrtle Beach PD initially took a report after the owner of Buddy's Services LLC reported several fraudulent transactions from the company account. These transactions were authorized by an individual employed as the business's accountant.

According to the report, the accountant used company cards to make purchases and transfers totaling more than \$16,000. Authorities attempted to reach the business owner for further details but were only able to leave a voicemail.

The business and its accountant are still in the process of sorting through financial records in preparation for tax filing. They have stated they will contact law enforcement once they are ready to submit all relevant documentation. In addition to the ongoing investigation by Myrtle Beach and Shallotte PD, both BCSO and Leland law enforcement agencies are also looking into similar fraud reports involving the accountant from previous employers within their jurisdiction.

3. FOLLOW-UP on a December's statutory rape of a child case:

In a significant development in the ongoing investigation, authorities have identified an additional female victim connected to the case of December's Statutory rape case. As a result, the adult male offender now faces four new felony sex charges with a child. This update follows further forensic analysis, which led to the victim's identification and the strengthening of the case against the suspect. The investigation remains ongoing as law enforcement continues to pursue justice for all involved.



TOWN OF SHALLOTTE FIRE/RESCUE

Monthly Activity Report

FISCAL YEAR ENDING June 30, 2025

Reporting Period: February 26, 2025 – March 26, 2025

NCGS § 58-79-45: Incident Reports...

(Last 30 Days)

112	Total Alarms
05:53	Avg Response Time
18%	Overlapping Incidents

(Year to Date)

52	Incidents within County Contract Area
23	Incidents within Mutual Aid Area
207	Incidents within Town Limits

(Year to date)

133	High Acuity Medical Incidents
147	Fire Incidents

(Year to Date)

Property Saved	\$13,787,480
Fire Loss	\$54,225

Incident Type Summary (Last 30 Days)

Fire	12
Rescue & Emergency Medical Service Incident	47
Hazardous Condition (No Fire)	6
Service Call	15
Good Intent Call	18
False Alarm & False Call	9

NCCRS 5: Training...

478:00 hours

- Image Trend Slate
- (EMT) Continuing Education
- (ISO) Company Training
- (ISO) Driver/Operator Training
- (ISO) Company Officer Training
- (ISO) Facility Training

Notes:

Technical Review (TR) and Code Enforcement Items

- Invited to County TRC - No projects impacting Shallotte's fire protection
- Technical Review – Rutledge III
- Technical Review – Bay Landing

Staffing Notes

- 1 staff position vacancy
 - Chief and Deputy Chief covering staffing shortages when part-time staff are unavailable.
 - On-boarding of one underway
 - Process reopened for the remaining vacancy

Community Outreach

- 4 Community CPR Class
- 5 Fire & Life Safety Events

- 1 Child Safety Seat Inspection/Installation
- 2 Smoke Alarm Inspections

Other Notables

- Al Street Fatal Fire
 - Under investigation and will be for some time
 - Victims
 - Male victim located in a bedroom
 - Female victim located in living room area
 - Pet located in crate
 - Cause and Origin
 - Under investigation
 - Investigating Team
 - SBI
 - Brunswick County Sheriff's Office
 - Brunswick County Fire Marshal's Office
 - Town of Shallotte Police Dept
 - Town of Shallotte Fire Dept
- 2025 Structure Fire summary for Shallotte fire crews
 - Crews responded to 6 structure fires in the last 30 days
 - Al Street is the 2nd fatal fire of which Shallotte crews responded
 - Shallotte crews have been involved with locating and removing 4 fire victims
 - Al Street is the 1st fatal fire for the Town of Shallotte since 2006
- Operations and Policy Review
 - Shallotte Police Department Evidence Chain of Custody
 - Pertaining to Hazards Communications
 - Hazardous Materials
 - Clandestine Labs



TOWN OF SHALLOTTE

PLANNING & ZONING DEPARTMENT

Post Office Box 2287 • Shallotte, North Carolina 28459 Telephone: (910) 754-4032 • Facsimile: (910) 754-2740

TO: Board of Aldermen
 FROM: Robert Waring, Planning Director
 DATE: April 1, 2025
 RE: Monthly Planning Department Report

This memo & attached reports provide a summary of the Planning & Zoning Depart. in the past month:

1. The Planning Board met March 11
 - a. The Board reviewed & provided recommendations for three projects:
 - i. Solserra Master Plan
 - ii. Bay Road PUD
 - iii. Copas Rd ANX
 - b. The Board’s next meeting is scheduled for April 08
2. The TRC did not meet for the March meeting:
 - a. The next meeting scheduled for April 17
3. Staff attended the bi-monthly TIA review meeting with Brunswick County & NCDOT, projects reviewed:
 - a. Forest St. Ext. PUD
4. Staff, GSATS, & Bolton & Menk (Consultants) have met twice to discuss the Town’s collector street planning efforts
5. Staff & consultants held a public open house for the Town’s collector street planning efforts
 - a. Please note that we have an interactive map and survey to collect public input regarding town transportation needs.
 - b. <https://www.townofshallotte.org/transportation>
6. Staff participated in the Resilient Costal Communities Program webinar
7. Staff met with developers to discuss a number of projects that may be proposed for the Town
 - a. 0 Smith Ave.
 - b. Main & White multi-family
 - c. Rivers Edge lots
8. Please forward any zoning or nuisance complaints to Brandon Eaton, Planner, beaton@townofshallotte.org Phone: (910) 754-4032
9. The Town collected \$130,299 for March 2025. Fees collected in March 2024 totaled \$96,037

Permit Report

02/27/2025 - 03/27/2025

Permit #	Permit Date	Permit Type	Owner Name	Map Address	Parcel #	Total Fees
3897	3/25/2025		DR Horton		197ID001	\$7,090.00
3896	3/25/2025		DR Horton		197ID003	\$5,720.00
3895	3/25/2025		Clemit Allison Holden		18200027	\$50.00
3894	3/21/2025		DFC SUMMERS WALK LLC		213JB061	\$5,720.00
3893	3/21/2025		DFC SUMMERS WALK LLC		213JB002	\$5,720.00
3892	3/21/2025		DFC SUMMERS WALK LLC		213JB062	\$5,720.00
3891	3/21/2025		DFC SUMMERS WALK LLC		213JB003	\$5,720.00
3890	3/21/2025		H & H Homes		213KA032	\$50.00
3889	3/21/2025		RS PARKER DEVELOPMENT LLC		198BC005	\$8,460.00
3888	3/21/2025		RS PARKER DEVELOPMENT LLC		198BC002	\$5,720.00
3887	3/20/2025		WJ McLamb Enterprise Limited		1970001931	\$588.30
3886	3/14/2025		Richard & Debra McKeithan		23000015	\$12,660.00
3885	3/14/2025		Autumn Corp		197DB00202	\$50.00
3884	3/12/2025		Danny Epps & Kimberly Boumpani		2141B036	\$50.00
3883	3/11/2025		RS PARKER DEVELOPMENT LLC		198BC009	\$5,720.00
3882	3/11/2025		DFC SUMMERS WALK LLC		213JA005	\$5,720.00
3881	3/11/2025		DFC SUMMERS WALK LLC		213JA002	\$5,720.00
3880	3/11/2025		DFC SUMMERS WALK LLC		213JA004	\$5,720.00
3879	3/6/2025		Town of Shallotte		197DC00501	
3878	3/5/2025		Real Estate Business Trust Wal-Mart		18200025	\$50.00
3877	3/5/2025		Clemit Allison Holden		18200027	\$250.86
3876	3/4/2025		Ladee J Piner		182BA020	\$4,400.00
3875	3/4/2025		Zachary Collin		213GC025	\$50.00
3874	2/28/2025		RABAH LAND HOLDINGS LLC		2132A024	\$12,660.00
3873	2/28/2025		RABAH LAND HOLDINGS LLC		2132C016	\$12,660.00
3872	2/28/2025		RABAH LAND HOLDINGS LLC		2132C007	\$14,030.00
						\$130,299.16

Total Records: 26

3/27/2025

Monthly Code Report (Town of Shallotte, NC) 3/2025
Prepared by Brandon Eaton, CZO, CCEO (Planner II/Code Enforcement)

Public Nuisances

1. Case Number: PN-24-005

Original Complaint: Tall grass/junk, etc.* See also Z-24-007

Latest Update: 3/27/25, CE has been given no new updates on case status as of 3/27.

- Owner has refused to abate all violations
- CE has been informed by Town attorney that the property has been served.
- CE brought the item before the Board at the regular August 2024 meeting to ask that the Board direct the Town attorney to bring the case to superior court for a corrective action order.
- For the nuisance portion of the violation, the property owner began abatement, but stopped after completing half of the work.
- No changes have been made on property owner's part.

2. Case Number: PN-24-006

Original Complaint: Tall grass/junk, etc.* See also Z-24-008

Latest Update: 3/27/25, CE has been given no new updates on case status as of 3/27.

- Owner has refused to abate all violations
- CE has been informed by Town attorney that the property has been served.
- CE brought the item before the Board at the regular August meeting to ask that the Board direct the Town attorney to bring the case to superior court for a corrective action order.
- CE is waiting on next steps from Town Attorney.
- No changes have been made on property owner's part.

Zoning Violations

1. Case Number: Z-24-007

Original Complaint: 4450 Main St. Old junk mobile home that was once used for office, shipping container, nuisances.

Latest Update: 3/27/25, CE has been given no new updates on case status as of 3/27.

- Owner has refused to abate all violations
- CE has been informed by Town attorney that the property has been served.
- CE brought the item before the Board at the regular August meeting to ask that the Board direct the Town attorney to bring the case to superior court for a corrective action order.
- CE is waiting on next steps from Town Attorney.
- No changes have been made on property owner's part.

2. Case Number: Z-24-008

Original Complaint: 4479 Main St. Old junk mobile home that was once used for auto sales business. Sign violation. Accessory structure violation and nuisances.

Latest Update: 3/27/25, CE has been given no new updates on case status as of 3/27.

- Owner has refused to abate all violations
- CE has been informed by Town attorney that the property has been served.
- CE brought the item before the Board at the regular August meeting to ask that the Board direct the Town attorney to bring the case to superior court for a corrective action order.
- CE is waiting on next steps from Town Attorney.
- No changes have been made on property owner's part.

3. Case Number: Z-24-009

Original Complaint: Crane business not meeting the conditions of an issued special use permit.

Latest Update: 3/27/25, CE issued final notice of violation.

- Board of Adjustment hearing was conducted on 2/27/2025. CE is still waiting on the Findings of Fact to be completed and accepted by Board and Town Attorneys.
- Board of Adjustment hearing will take place 2/27/2025.
- Property owner has filed a formal appeal of the zoning decision with the Town.

4. Case Number: Z-25-003

Original Complaint: Recreational vehicle (camper) potentially being used as a permanent dwelling.

Latest Update: 3/27/25, CE made initial site visit to collect evidence on 3/26/25.

- Images were taken and a case has been open to investigate.

5. Case Number: Z-25-004

Original Complaint: Possible abandoned structure/Nuisance property.

Latest Update: 3/27/25, CE opened a case on 3/26/25 and has reached out to Brunswick County for assistance as the property is located in the ETJ.

Vehicles

Currently no cases

Public Works Monthly Report

March 2025

To: *Board of Aldermen*

From: *Dan Formyduval, Director of Public Services*

Sewer

- Responded to 14 sewer calls during the day and 6 after hours.
- Randomly inspected 45 pressure sewer services resulting in multiple repairs.
- Repaired root intrusion on one commercial gravity sewer lateral.
- Replaced failed 3” pressure sewer valve in Brierwood on Sand Trap.
- Replaced 150’ of pressure sewer line in Rivers Edge.
- Replaced 25 back flow preventers on sewer services.
- Welcomed one new supervisor to our sewer department.

Parks & Streets

- Have begun mowing.
- Have almost completed mulching.

Construction & Engineering

- Responded to **306** NC811 locate tickets.
- Witnessed the sewer tap for the Tideland project.
- Participated in weekly meetings with contractors working on Price Landing.
- Held a preconstruction meeting with contractors for Spectrum Cable.

- Hauled 150 cubic yards of top soil from the Price landing Project.

Fleet Maintenance

- Made six repairs on fire service vehicles
- Oil changes – 8
- Tire replacement for one of the pump trucks.
- Tire replacement on 12 passenger vehicles
- Replaced brakes 4 passenger vehicles
- Replaced two hydraulic hoses on Excavator 337
- Repaired trailer lights on landscaping trailer.



Gravity Sewer Repair



Replacement of original 40+ year old valve on Sand Trap



TOWN OF SHALLOTTE

Monthly Financial Dashboard

FISCAL YEAR ENDING June 30, 2025

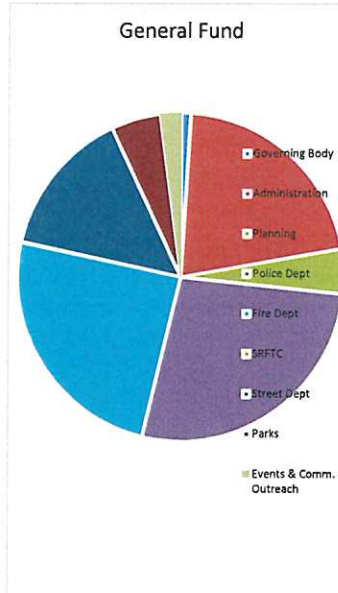
Section VII, Item 5.

Reporting Period: March 31, 2025

SPECIFIC REVENUE COLLECTIONS AT A GLANCE...			
General Fund	Collected TD	FY Budget	Total Budget
PROPERTY TAX		\$ 3,188,102	\$ 10,960,143
Revs YTD/% Coll/% of Budget	\$ 3,304,249	103.64%	29.09%
SALES & USE TAX			
Fiscal Year Budget		\$ 2,004,566	\$ 10,960,143
Revs YTD/% Coll/% of Budget	\$ 1,066,912	53.22%	18.29%
UTILITY FRANCHISE TAX			
Fiscal Year Budget		\$ 471,286	\$ 10,960,143
Revs YTD/% Coll/% of Budget	\$ 149,171	31.65%	4.30%
FIRE FEES			
Fiscal Year Budget		\$ 1,082,431	\$ 10,960,143
Revs YTD/% Coll/% of Budget	\$ 846,976	78.25%	9.88%
OTHER REVENUES			
Fiscal Year Budget		\$ 4,213,758	\$ 10,960,143
Revs YTD/% Coll/% of Budget	\$ 1,159,118	27.51%	38.45%
Enterprise Fund			
OTHER REVENUES		\$ 2,618,359	\$ 5,328,244
Revs YTD/% Coll/% of Budget	\$ 963,319	36.79%	49.14%
SYSTEM DEV FEES		\$ 300,000	\$ 5,328,244
Revs YTD/% Coll/% of Budget	\$ 364,455	121.49%	5.63%
Revs YTD/% Coll/% of Budget	\$ -	0.00%	0.00%
SEWER CHARGES		\$ 2,409,885	\$ 5,328,244
Revs YTD/% Coll/% of Budget	\$ 1,574,633	65.34%	45.23%
FUND TOTALS		90% of Budget	
General Fund		\$ 10,960,143	\$ 9,864,129
Revenues FYTD	\$ 6,526,426	60%	
Enterprise Fund		\$ 5,328,244	\$ 4,795,420
Revenues FYTD	\$ 2,902,407	54%	

EXPENDITURES AT A GLANCE...			
GENERAL FUND	Fiscal Year	YTD Expenses	
DEPARTMENTS	24/25 Budget	Current FY	Current FYTD%
Governing Body	\$ 100,305	\$ 54,476	54.31%
Administration	2,359,116	1,037,072	43.96%
Planning	483,348	307,592	63.64%
Police Dept	2,964,180	2,139,991	72.20%
Fire Dept	2,688,567	1,508,682	56.11%
SRFTC	7,500	5,862	78.16%
Street Dept	1,594,225	507,634	31.84%
Parks	537,197	221,037	41.15%
Events & Comm. Outreach	225,705	161,556	71.58%
	\$ 10,960,143	\$ 5,943,902	54.23%
Fiscal Year Budget	\$ 10,960,143	\$ 5,943,902	
Unspent Budget Remaining	\$ 5,016,241	45.77%	
ENTERPRISE FUND			
DEPARTMENTS			
Sewer Department	\$ 5,328,244	\$ 2,851,940	53.52%
	\$ 5,328,244	\$ 2,851,940	53.52%
Fiscal Year Budget	\$ 5,328,244	\$ 2,851,940	
Unspent Budget Remaining	\$ 2,476,304	46.48%	

OUR CASH AND INVESTMENTS			
Balances on Feb 25, 2025 in whole dollars - Bold - As of 1.31.25			
CASH & INVESTMENTS BY FUND			
GENERAL FUND	June 2024	March 2025	
General Fund	\$ 814,138	\$ 853,735	
NCCMT	9,057,805	10,629,631	
United Bank	240,667	241,722	
General Fund Savings	84,583	49,611	
TOTAL GENERAL FUND	\$ 10,197,193	\$ 11,774,699	
ENTERPRISE FUNDS	June 2024	March 2025	
Sewer Fund	\$ 727,099	\$ 756,219	
United Bank	336,358	337,833	
NCCMT	3,394,772	3,806,353	
Sewer Fund Savings	136,576	86,621	
TOTAL OTHER FUNDS	\$ 4,594,805	\$ 4,987,026	
Special Revenue Fund	\$ 100	\$ 100	
Police Evidence Acct	313	313	
Capital Project Acct	3,492,181	2,545,666	
TOTAL CASH & INVESTMENTS TOWN-WIDE			
	June 2024	March 2025	
ALL FUNDS	\$ 18,284,592	\$ 19,307,804	



Capital Project - Riverfront Project		
CP Expenditures	FY Budget	Current Exp
Mulberry Park	\$ 1,662,873.00	\$ 502,046.54
Riverwalk II	\$ 1,132,300.20	\$ 178,444.63
Professional Svc	\$ 1,322,600.95	\$ 233,739.24
Price Landing Cap	\$ 2,500,000.00	\$ 850,743.80
New Town Hall	\$ 16,342,363.00	
Cheers St Parking	\$ 337,396.00	
Total	\$ 23,297,533.15	\$ 1,764,974.21
CP Revenues	FY Budget	Current Rev
App Fund Balance	\$ 250,000.00	
Transfer from GF	\$ 2,982,177.16	\$ 266,339.24
Grant-Riverwalk	\$ 250,000.00	
SCIF Grant-Riverw	\$ 815,355.99	\$ 183,144.63
SCIF Grant-Mulb	\$ 3,000,000.00	\$ 1,315,490.34
USDA Loan	\$ 16,000,000.00	\$ -
Total	\$ 23,297,533.15	\$ 1,764,974.21

NCCMT Interest Rate February 25 3.93%

Cash:	March-24	March-25	Difference
General Fund	\$ 10,725,728	\$ 11,774,699	
Sewer Fund	4,794,781	4,987,026	
Special Revenue Fd	100	100	
Police Evidence Acct	313	313	
Capital Account	3,543,978	2,545,666	
	\$ 19,064,900	\$ 19,307,804	242,904

Receipts for March 25:
 Dec 2024 Sales Tax 174,658.32
 Town Prop Tax Feb 25 66,809.43
 Franchise Tax Qtr 12-31-24 119,053.73



Town Of Shallotte

Expenditure Statement : 2024 - 2025

for Accounting Period 3/31/2025

GENERAL FUND	Dept #	Department	Approp Amount	Activity this Period	Expenditure YTD	Encumbrance YTD	Unencumbered Balance	% Exp. & Enc.
	4100	Governing Body	\$100,305.00	\$54,475.56	\$54,475.56	\$0.00	\$45,829.44	54.31
	4200	Administration	\$2,359,116.00	\$1,036,354.98	\$1,036,354.98	\$716.81	\$1,322,044.21	43.96
	4300	Planning Department	\$483,348.00	\$307,591.68	\$307,591.68	\$0.00	\$175,756.32	63.64
	4400	Events & Community Outreach	\$225,705.00	\$156,869.06	\$156,869.06	\$4,687.12	\$64,148.82	71.58
	5100	Police	\$2,964,179.49	\$2,124,223.26	\$2,124,223.26	\$15,767.94	\$824,188.29	72.20
	5300	Fire	\$2,688,567.00	\$1,507,687.18	\$1,507,687.18	\$994.68	\$1,179,885.14	56.11
	5400	SRFTC	\$7,500.00	\$5,862.23	\$5,862.23	\$0.00	\$1,637.77	78.16
	5600	Streets	\$1,594,225.40	\$507,330.88	\$507,330.88	\$302.99	\$1,086,591.53	31.84
	5700	Parks	\$537,196.64	\$218,963.50	\$218,963.50	\$2,073.52	\$316,159.62	41.15
Total Fund		GENERAL FUND	\$10,960,142.53	\$5,919,358.33	\$5,919,358.33	\$24,543.06	\$5,016,241.14	54.23



Town Of Shallotte
Expenditure Statement : 2024 - 2025
for Accounting Period 3/31/2025

ENTERPRISE FUND									
Dept #	Department	Approp Amount	Activity this Period	Expenditure YTD	Encumbrance YTD	Unencumbered Balance	% Exp. & Enc.		
8200	Sewer	\$5,328,243.50	\$2,700,752.57	\$2,700,752.57	\$151,187.55	\$2,476,303.38	53.52		
Total Fund	ENTERPRISE FUND	\$5,328,243.50	\$2,700,752.57	\$2,700,752.57	\$151,187.55	\$2,476,303.38	53.52		

Section VII, Item 5.

Board Report
Parks/Recreation
April

March Recap

Met with Shallotte Shallywags regarding TDA Sponsorship , community involvement etc.

Staff completed Career Day Bags for Shallotte Middle School

Staff attending Career Day for Shallotte Middle and Waccamaw School

Market Started

- Market 1 37 vendors, Market 2 32 vendors, upcoming market 47 vendors
- Local bands playing during market are helping traffic
- Back at the park
- A lot of new vendors

Working with fellow Dpt Heads and staff on Price Landing

- McGill
- Great Southern Recreation

Attended 401k Presentation with staff

On-going

Burn Ban notifications

Sewer Notification

PD App Notifications

Social Media Notifications

Assisting Planning Dpt on Collector Street Project

- Webpage
- Distributing flyers, QR codes etc.
- Social Media Outlets

Completed Discipline Training from HR with fellow Dpt Heads

Vendor Spotlights for Market on Social Media weekly

Completing Budget Forms

Preparing for Easter Event

Scheduling Kids Event at Park

Concert Schedule/Contracts being finalized

Working with staff on spring flowers/beautification around town

Upcoming Event Dates

Market April 5th & 26th

Easter Egg Hunt April 12th

Community Garden Newsletter

April 2025

- April is a great time to select and plant fruit trees and berry plants. Fruits and berries do best when planted in full sun.
- Plant perennial vegetables like Asparagus etc. It's also time to plant Peas, Carrots, Beets, Spinach, Cauliflower, Cabbage. Root crops like Potatoes, radishes, parsnips and onions can be planted at anytime. Late this month you can plant beans and corn.
- Take a stroll in the woods or Mulberry Park each season and enjoy a little bit of Mother Natures gardening handiwork!

Gardening Tool Tips

- Always remove the soil from your digging tools after each use. Usually hosing is all it takes.
- Never put your tools away wet. Allow them to dry completely before storing to prevent rusting and handle rot.
- After each use wipe the metal parts of pruners, shears, and loppers with an oily rag.
- Thoroughly clean any tools which have been used for chemical applications. Fertilizers and other chemicals will rapidly corrode any metal parts.

Happy Spring. I'm sure by now your cars are covered with that yucky yellow stuff that visits us each year.

The park expansion project is well underway and we are excited here at the Town of Shallotte to soon share with you what all the new park has to offer. Stay Tuned.



Presents **Easter**
Eggstravaganza
Egg Hunt

Saturday
APRIL
12TH
2025

9AM - 10AM

hunt starts promptly at 9AM

Mulberry Park
123 Mulberry St.

Join us for our annual
EASTER EGG HUNT
at Mulberry Park!

- 3 Separate Hunts
- Age 3 and Under
- Age 4-6
- Age 7-10
- Photos with the Easter Bunny

FREE Entry for All





MEMORANDUM

TO: BOARD OF ALDERMEN
FROM: MIMI GAITHER, TOWN MANAGER
SUBJECT: ADMINISTRATION REPORT
DATE: 3.27.25

- BOA prep 3.3.25
- BOA Meeting 3.4.25
- Meet with Auditor re Feasibility Audit
- Work on retreat materials 3.10.25
- NCCMC/ICMA Webinar – retention 3.12.25
- Review data for feasibility study 3.12.25
- 401K Seminar 3.13.25
- Allstate claim for accident submittal bridge fence 3.14.25
- Phone conference Isaac and Tobias with USDA 3.17.25
- BOA Workshop – Fire Study 3.18.25
- Retreat materials 3.20 and 3.21.25
- Follow up with Projects – Price Landing and Riverwalk 3.25.25
- NCLM Insurance Lunch & Learn Seminar 3.26.25
- Press conference re fires 3.26.25
- Retreat Preparation – valuations 3.27.25
- Staff Meeting 3.27.25

- Waccamaw Career Day 3.28.25

Project Update – Riverwalk

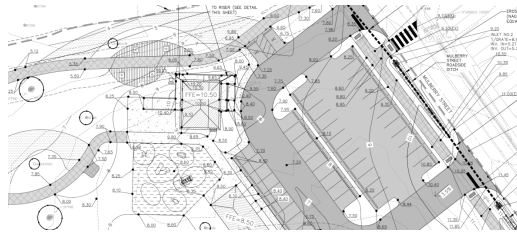
Sea Dog has mobilized and has been on site. They have completed pilings and are working on boards for floating dock. Difficulties were encountered when pilings were driven in the slipway as they were not embedding the proper distance, but they were able to work a solution in conjunction with the architect.

Project Update – Price Landing

Contractor has again made significant progress on site. All pilings have been driven and blocks are being laid for the bathroom. I have included McGill's report for March. Dan has attended site meetings and can answer any questions.

New Town Facility

After revisions to the draft of the feasibility study, we presented the draft to USDA. The debit ratios were acceptable to USDA however, we are still waiting for the pricing information from Creech. I am expecting the results soon, however Rusty with Creech did mention that he believes pricing is coming in higher so modification may be needed.



**MONTHLY
JOB REPORT**
March 2025
3/25/2025

Project Number: 22.07019
Town of Shallotte Project # 8/07/2024
Project Owner: Town of Shallotte
Project Name: Price Landing Park

Contractor: Cinderella Partners (or “Cinderella” herein)

Contract Amount: \$3,070,099.60
No. of Contract Modifications: 4
Revised Contract Amount: N/A – Change Orders Within Allowances to Date

NTP: 8/07/2024
Original Contract Time: 211 Calendar Days to Substantial Completion
225 Calendar Days to Final Completion

Contract Time Remaining: 66 Calendar Days to Substantial Completion
Completion Date (Substantial): 5/29/2025 (CO #4)
Completion Date (Final): 6/13/2025 (CO #4)
Liquidated Damages \$500 Per Calendar Day after Substantial Completion
\$500 Per Calendar Day after Final Completion

Outstanding Items

- Geotech recommendations on additional wet areas in northern parking lot.

Contractor’s Schedule

- A construction schedule has been provided and reviewed.
 - Contractor has been granted a time extension to June 13, 2025 for final completion.

Construction Activities – Past 30 Days

- Grading of parking lot.
- Completed boardwalk pile installation.
- Pavilion footers and slab poured.
- Restroom foundation poured, inspected and approved by Brunswick County.
- Restroom plumbing installed.
- Restroom wall construction progressing.
- Removed stockpile of dirt from northern parking lot.

Construction Activities – Next 30 Days

- Installing ABC stone for parking lots.
- Construction of boardwalk deck.
- Construction of masonry restroom walls.
- Cinderella to move the stockpile of dirt on the northern parking lot so that further evaluation of soils can be completed by ECS.
- Once a recommendation is received from ECS, they will proceed with grading and paving of the northern parking lot.

Submittals

- None outstanding

Request for Information

- None outstanding

Request for Proposals

- No requests for proposal have been initiated

Proposals Received

- No proposals received

Change Orders Billed Against Owner’s Contingency

- CO #1 – Water Connection Changes (Brunswick County) – \$9,980.00
- CO #2 – Overage on Excavation / Unsuitable Soils – \$9,992.24.
- CO #3 – Drainage revisions (ECS) for North Parking Lot – \$21,333.76

Change Orders to Contract

- CO #1 – Water Connection Changes (Brunswick County) – 5 Days
- CO #2 – Overage on Excavation / Unsuitable Soils – 5 Days
- CO #3 – Drainage revisions (ECS) for North Parking Lot – 7 Days
- CO #4 – Final Completion Extension to June 13, 2025.

Change Orders Rejected

- None pending

General Discussion

Everything seems to be back on track.

Contractor Action Items

- No outstanding items.

Engineer and Subcontractor Action Items

- McGill continues to review documents from the contractor as they arrive.

Owner Action Items

- None currently

Engineer's Observations

- Work has resumed over the month so signs of progress should become apparent.

Material Stored on Site

- Timber Piles
- Playground equipment
 - Delivered onsite by freight and wrapped in shrink wrap.

Next Monthly Job Report:

- April 30, 2025

End of Monthly Job Report

MEMORANDUM FOR: SHALLOTTE BOARD OF ALDERMEN
MEMORANDUM FROM: WALTER ECCARD
SUBJECT: MARCH ACTIVITIES

During March I worked on the following matters:

1. Visited Price Landing and Riverfront to review progress. Met with staff on these projects;
2. Arranged a call for Brunswick County managers to discuss potential investments in Crypto by State pension funds;
3. Attended GSATS meeting on April 1;
4. Talked with GSATS staff on status of signal light project; and
5. Met with Senator Rabon.

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**SHALLOTTE BOARD OF ALDERMEN
REGULAR MEETING
March 4, 2025
5:15 P.M.**

The Shallotte Board of Aldermen met for a regular meeting on March 4, 2025 at 5:15 p.m. in the meeting chambers located at 110 Cheers Street with Mayor Walt Eccard presiding.

Aldermen present: Larry Harrelson, Gene Vasile, Jimmy Bellamy, Karmen Custer and Bobby Williamson

Staff present: Mimi Gaither, Robert Waring, Brandon Eaton, Natalie Goins, Isaac Norris, Adam Stanley, Robert Gravino, Paul Dunwell, Dan Formyduval and Attorney Laura Thompson.

- I. CALL TO ORDER**
Mayor Eccard called the meeting to order. A motion was made by Jimmy Bellamy seconded by Gene Vasile to open the meeting. Motion carried 5 yes 0 no.

- II. INVOCATION & PLEDGE**
Matt Farabow, Pastor from Seaside United Methodist Church, gave the Invocation followed by the Board and audience reciting the Pledge of Allegiance.

- III. CONFLICT OF INTEREST**
Mayor Eccard asked if any member of the Board had a conflict of interest or the appearance of a conflict of interest with regard to any item on the agenda. None stated.

- IV. AGENDA AMENDMENTS & APPROVAL OF AGENDA**
A motion was made by Bobby Williamson seconded by Gene Vasile to approve the agenda as submitted. Motion carried 5 yes 0 no.

- V. PUBLIC COMMENTS**
David Cypher, 843 Village Point Road, expressed gratitude to Mayor Eccard for his help with an animal-related issue.

- VI. DEPARTMENT REPORTS**
 - 1. Police

 - 2. Fire

 - 3. Planning
Planning Director Robert Waring extended thanks to the Board of Adjustment for a job well done during the February 27, 2025 meeting.
The Collector Street Committee will host a drop-in meeting for public feedback on March 20, 2025 at 5:00 p.m.

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The Board was asked to consider if there would be any interest in the annexation of Rutledge Phase 3. It was the consensus of the Board to place this item on the March 18, 2025 Work Session agenda.

- 4. Public Utilities
- 5. Finance
- 6. Media & Events
- 7. Administration
- 8. Mayors Monthly Activities

VII. CONSENT AGENDA

A motion was made by Gene Vasile seconded by Bobby Williamson to approve the following consent agenda items:

- A. January 28, 2025 Work Session minutes
- B. February 4, 2025 Regular Meeting minutes
- C. February 18, 2025 Work Session minutes

Motion carried 5 yes 0 no.

VIII. PUBLIC HEARINGS

1) SPECIAL USE PERMIT PARCEL IDs # 2132B00101, 2132B001, 2141A001, 2141A092, & 2132A038 (BRIERWOOD GOLF COURSE)

Blum Investment Group Golf has submitted a request for consideration of a Special Use Permit (SUP) so as to develop a 9-hole golf course, clubhouse and restaurant, and other recreational amenities at the parcel/address listed above. The property is zoned Residential (R-15).

Mayor Eccard explained the quasi-judicial process and reviewed the Board statement regarding standing in a quasi-judicial hearing.

- 1. A motion was made by Karmen Custer seconded by Gene Vasile to open the Public Hearing. Motion carried 5 yes 0 no.

2. Town Clerk Natalie Goins administered the Oath to the following:

- Robert Waring – Town Planning Director
- Brandon Eaton – Town Planner
- Gregory Coffey – 5009 Pender Road
- Tammy Underwood – 5011 Pender Road
- Kevin Blum – Applicant, Blum Investment Group Golf LLC
- Elizabeth Nelson – ELI Engineering
- Steve Collins – 18 Fairway Drive
- Eileen Brennan
- Annmarie Cozzi – 111 Country Club Drive
- Joanne Weller – 11 Stratford Place

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- Peter Heuschneider – 34 Queens Grant

Town Planner Brandon Eaton gave a power point presentation, first reviewing quasi-judicial hearings and special use permits, followed by an overview of SUP 24-12. The applicant, Blum Investments Golf, submitted an application to develop a 9-hole golf course, consisting of +/- 76.5 acres, across several parcels within the Brierwood residential community. In addition to the golf course, the applicant also intends to rehabilitate the former clubhouse, adding a restaurant, and will also develop additional recreational amenities. The zoning for the subject parcels is RA-15 and will remain as such. He also reviewed permitted uses within the RA-15 zoning.

Attorney James E. McNeil, on behalf of the applicant, Blum Investment Group Golf, LLC addressed the six special use standards:

- *That the use will not materially endanger the public safety and health.* The Brierwood Golf Club and restaurant have operated in the past without public safety or health issues. The applicant will obtain liability insurance policies and implement standard golf course and restaurant amenity safety precautions through staff training and quality assurance programs. Reasonable safety protocols as dictated by insurers and management staff will be established by the applicant in order to address health and safety concerns of the golf course and restaurant guests.
- *That the use will not substantially injure the value of adjoining or abutting property.* Within golf course communities, golf course lots have a higher value than interior lots. The applicant retained Mike Powell Appraisal Group to perform an analysis to determine if there is a difference in values based on the location of the lots. Mike Powell was not in attendance. Mr. McNeil presented questions to the applicant, Kevin Blum, regarding Mr. Powell's report. Of the twelve lots evaluated in Brickland, six golf course lots and six interior lots, Mr. Blum responded that Mr. Powell found the golf course lots to be more valuable. Mr. McNeil noted that the report indicated an \$8,000 difference between golf course and non-golf course lots. When asked about Brierwood, Mr. Blum answered that Mr. Powell was of the opinion that reopening the Brierwood golf course would increase property values of lots in Brierwood. Entered into the record were two exhibits: Ext. A (also Ext. 1) Packet dated February 21, 2025 from Mike Powell Appraisal Group and Ext. B (also Ext. 2) Letter dated February 27, 2025 from Mike Powell Appraisal Group.
- *That the use will be in harmony with the area in which it is to be located.* The Brierwood golf course was opened in the 1960s and Brierwood has been recognized as a golf course community for over 50 years.
- *That the use will be in general conformity with the Land Use Plan, Thoroughfare Plan or other plans officially adopted by the Board of Aldermen.* The applicant's submission for the special use permit presents a plan of development that is consistent with and meets the Town's Land Use and Thoroughfare standards.
- *That the use will have adequate facilities to provide ingress and egress designed to minimize traffic congestion on public streets and also have adequate utilities, access roads, drainage, sanitation or other necessary infrastructure.* The Brierwood neighborhood roads will not be negatively impacted by the golf course and restaurant reopening. There will be peak traffic times but it is not expected to impair the safety and health of the neighborhood.
- *That the use meets all required conditions and specifications established by the Board of Aldermen.* The applicant has worked with the Town and staff as well as Elizabeth Nelson, Eli Engineering, to address conditions and specifications in the facility's reopening process.

3. Public Comments/Questions

- Gregory Coffey voiced concerns with noise from the proposed pickleball courts planned to be adjacent to his back yard, which he considers his sanctuary. He referred to, and submitted into

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record, a study titled "Pickleball Noise Impact Assessment and Abatement Planning" prepared by Spendiarian & Willis Acoustics & Noise Control LLC. Mr. Coffey shared from the report that the sharp popping sound, classified as highly impulsive, can be heard hundreds of feet from the courts. Noise abatement, setbacks, and hours of operation were also of concern.

- Tammy Underwood stated that she found properties next to pickleball courts experience a decrease in value. As someone who works from home, she values the current quiet of the neighborhood and worries that the pickleball courts will introduce distractions from people, noise and lights. Ms. Underwood submitted into record an article from International Journal of Environmental Research and Public Health titled " Association between Noise Annoyance and Mental Health Outcomes: A Systematic Review and Meta-Analysis, as well as a letter from her medical provider. She asked for consideration of removing pickleball from the proposal.
- Steve Collins, on behalf of the Facebook members of Brierwood, voiced five concerns: 1) Are there any plans for improving Wendy Lane? 2) Are there any plans for the golf course irrigation system which is in a state of disrepair? 3) Plans for stormwater runoff, potholes and cart paths on the fairway? 4) Who is eligible for membership? 5) Timelines for project; when will first phase be completed?
- Eileen Brennan requested further clarification on what the special use permit allows and restricts. Ms. Brennan stated that since the closing of the golf course, the residents of Brierwood have invested their time, money and equipment to maintain the fairways.
- Annmarie Cozzi asked if the numerous trees that have grown since the closing of the golf course will be removed with the reopening. She also inquired about a phase that would include a pool.
- Elizabeth Nelson responded to some of the question and concerns. She noted that Phase III has been removed from the application. There is no pool proposed. Existing tennis courts will be resurfaced to be used as pickleball courts.
- Joanne Weller would like assurance that the section of Claremont Drive believed to be owned by the golf course will be repaired and maintained.
- Kevin Blum responded, indicating that Claremont Drive is not owned by the golf course.
- Peter Heuschneider has concerns with increased traffic on Village Road and questioned if a traffic study would be conducted.

Brandon Eaton read the following imposed special conditions into record:

1. A full site and landscape plan application must be submitted; and
2. Plans must include a landscape plan including any required project boundary buffering in accordance with Shallotte UDO Section 17-14; and
3. Parking must be clearly detailed on submitted plans, specifically in Phase 2; and
4. Parking lot for Phase 2 and maintenance building must consist of impervious pavement; and
5. Building elevation shall be submitted detailing required screening; and
6. A lighting plan must be submitted, particularly detailing the areas of expanded recreation; and
7. Stormwater drainage crossings for proposed course needs to be surveyed and repaired, if necessary, with a copy of the survey provided to the Town; and
8. All required fees shall be paid prior to final zoning approval; and
9. Per Sec. 12-12, all required site improvements shall commence within 12 months of SUP approval date or applicant shall request an extension of up to six months from the Shallotte Board of Aldermen; and
10. All required local, state, and federal permits shall be obtained and copies provided prior to final zoning approval; and
11. The site be maintained in accordance with the approved site plans.

Brandon Eaton also recommended adding a condition that sidewalks be included to access the areas of pickleball if they are approved.

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- The Board asked for more details and information regarding the pickleball facilities including hours of operation and lighting. Attorney McNeil responded that the top priority is reopening the golf course and restaurant, noting that pickleball plans are still in the preliminary stages.

A motion was made by Larry Harrelson seconded by Gene Vasile at 6:35 p.m. to take a ten minute recess. Motion carried 5 yes 0 no.

A motion was made by Karmen Custer seconded by Gene Vasile to resume open session at 6:45 p.m. Motion carried 5 yes 0 no.

- Annmarie Cozzi asked if Mr. Blum would be maintaining the golf course during within the SUP's 12 month timeframe for required site improvements and questioned why 9 holes instead of 18?
- Attorney McNeil stated that after discussing with Mr. Blum, it was established that there will be no lighting for the proposed pickleball courts, as it will be a daytime operation.
- Kevin Blum stated that pickleball is an amenity he would like to see included in the project, but without community support, he doesn't have to move forward with that portion. He reiterated that the golf course and restaurant are his priorities.

4. A motion was made by Jimmy Bellamy seconded by Bobby Williamson to close the public hearing. Motion carried 5 yes 0 no.

5. Board Comments/Questions

6. A motion was made by Larry Harrelson seconded by Karmen Custer to approve the Specific Findings of Fact. Motion carried 5 yes 0 no.

7. A motion was made by Gene Vasile seconded by Jimmy Bellamy to approve SUP 24-12, with the following special conditions imposed:

- 1) A full site and landscape plan application must be submitted; and
- 2) Plans must include a landscape plan including any required project boundary buffering in accordance with Shallotte UDO Section 17-14; and
- 3) Parking must be clearly detailed on submitted plans, specifically in Phase 2; and
- 4) Building elevation shall be submitted detailing required screening; and
- 5) A lighting plan must be submitted, particularly detailing the areas of expanded recreation; and
- 6) Stormwater drainage crossings for proposed course needs to be surveyed and repaired, if necessary, with a copy of the survey provided to the Town; and
- 7) All required fees shall be paid prior to final zoning approval; and
- 8) Per Sec. 12-12, all required site improvements shall commence within 12 months of SUP approval date or applicant shall request an extension of up to six month from the Shallotte Board of Aldermen; and
- 9) All required local, state, and federal permits shall be obtained and copies provided prior to final zoning approval; and
- 10) The site be maintained in accordance with the approved site plans.
- 11) Conditions specific to Phase II:

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- There shall be no outdoor lighting in the recreation area of Phase II; and
 - Sidewalks shall be installed to provide access to Phase II from the clubhouse parking lot, in accordance with UDO standards, and must be included on submitted plans; and
 - The required project boundary buffer must be installed between Phase II recreation and adjacent residential properties; and
 - These items must be shown on the site and landscape plan.
- The applicant, Kevin Blum, agreed to the imposed conditions.

2) SPECIAL USE PERMIT PARCEL IDs # 1670006004 (HARDWICK OFFICE & YARD)

Norris & Bland Consulting Engineers, P.C., on behalf of S&H Investment Group, LLC, has submitted a request for consideration of a Special Use Permit (SUP) so as to develop a sales office and warehouse for a metal fabrication business-- with no fabrication occurring on-site, at the parcel/address listed. The property is zoned Business 2 (B-2).

1. A motion was made by Jimmy Bellamy seconded by Karmen Custer to open the public hearing. Motion carried 5 yes 0 no.
2. A motion was made by Gene Vasile seconded by Karmen Custer to continue the public hearing to the April 1, 2025 Board of Aldermen meeting. Motion carried 5 yes 0 no.

IX. DISCUSSION

X. ADJOURN

A motion was made by Bobby Williamson seconded by Karmen Custer to adjourn the meeting at 7:16 p.m. Motion carried 5 yes 0 no.

Respectfully submitted,

Natalie Goins
Town Clerk

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SHALLOTTE BOARD OF ALDERMEN

WORK SESSION MEETING

March 18, 2025

5:15 P.M.

The Shallotte Board of Aldermen met for a work session meeting on March 18, 2025 at 5:15 p.m. in the meeting chambers located at 110 Cheers Street with Mayor Walt Eccard presiding.

Aldermen present: Gene Vasile, Bobby Williamson, Larry Harrelson, Karmen Custer and Jimmy Bellamy

Staff present: Mimi Gaither, Robert Waring, Natalie Goins, Dan Formyduval, Adam Stanley, Paul Dunwell, Isaac Norris, and Brandon Eaton.

I. Call to Order

A motion was made by Jimmy Bellamy seconded by Gene Vasile to open the meeting. Motion carried 5 yes 0 no.

II. Conflict of Interest

Mayor Eccard asked if any member of the Board had a conflict of interest or the appearance of a conflict of interest with regard to any item on the agenda. None stated.

III. Agenda Amendments & Approval of Agenda

A motion was made by Larry Harrelson seconded by Karmen Custer to make the following amendments and approve the amended agenda:

VIII. Consent Agenda – Add D. Proclamation: First Responders Wellness Week in the Town of Shallotte March 24-28, 2025

Add IX. Cinderella – Request for Extension

Motion carried 5 yes 0 no.

IV. Fire Study

Chief Greg Grayson from the North Carolina Association of Fire Chiefs delivered a PowerPoint presentation on fire station location analysis. Copies of the PowerPoint and Fire Station Location Analysis and Strategic Planning Initiative are attached to and made a part of these minutes.

V. Rutledge Annexation

The Board reviewed staff recommendations concerning the proposed Rutledge annexation. Following the discussion, the Board requested that staff contact the applicants to obtain responses to the questions raised and subsequently include this item on the agenda for a future work session.

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VI. NC Resilient Coastal Communities Program

A motion was made by Karmen Custer seconded by Gene Vasile to authorize staff to proceed with the North Carolina Resilient Coastal Communities Program (RCCP) application. Motion carried 5 yes 0 no.

VII. Retreat

Town Manager Mimi Gaither provided Strategic Goals forms and worksheets to the Board to complete for the April 4, 2025 Budget Retreat.

VIII. Consent Agenda

A motion was made by Gene Vasile seconded by Karmen Custer to approve the following consent agenda items:

- A. Budget Amendment BA-24-25-10: TPSA Feasibility Study (Town Hall USDA loan) \$17,500
- B. The Tides Lift Station Dedication (Resolution 25-02)
- C. Fee Schedule Amendment (\$300 per lot sewer user fees for the San Rio / Solserra development)
- D. Proclamation: First Responders Wellness Week in the Town of Shallotte March 24-28, 2025

Motion carried 5 yes 0 no.

IX. Cinderella – Request for Extension

A motion was made by Larry Harrelson seconded by Karmen Custer to grant Cinderella Partners' request for extension until June 13, 2025. Motion carried 5 yes 0 no.

X. Discussion

Planning Director Robert Waring reminded the Board and staff of the collector street drop in meeting scheduled for March 20, 2025 from 5-8 p.m.

XI. Adjourn

A motion was made by Jimmy Bellamy seconded by Karmen Custer to adjourn the meeting at 6:57 p.m. Motion carried 5 yes 0 no.

Respectfully submitted,

Natalie Goins
Town Clerk



Town of Shallotte Board of Aldermen
ACTION AGENDA ITEM
2025

TO: Board of Aldermen

ACTION ITEM #: ANX 24-28

FROM: Robert Waring, Planning Director

MEETING DATE: 4/1/2025

DATE SUBMITTED: _____

ISSUE/ACTION REQUESTED:

PUBLIC HEARING: YES NO

Review the Bay Landing PUD project & take action on their request for annexation & rezoning.

BACKGROUND/PURPOSE OF REQUEST: Mr. Brian Fler on behalf of Mr. & Mrs. Jones has submitted a petition for the annexation of property along Bay Rd. & adjacent to the Forest Run subdivision (PID # 2300005602 & 2300005003). He has requested that the property be rezoned to Planned Unit Development (PUD). The +/-25 acres property is vacant.

The PUD plans provided show a 75-lot single-family development with a density of 3 units/acre. This use & density is in keeping with the Future Land Use Plan prescription for the property, low density residential. This suggests a max density of 3 units/acre and uses limited to single-family residential. Please note the surrounding uses are all similar and thus would not require buffering.

The proposed project size falls below the Town’s threshold for Traffic Impact Analysis. A NCDOT driveway permit will be required for access to Bay Rd. SW. The project’s road layout will connect to adjacent roads in Forest Run & will stub to large undeveloped tracts. Internal roads will be designed to DOT standard and dedicated to the Town.

The development will connect to the Town’s sewer line with utility details to be provided with additional permitting. The project will require a Town & state stormwater permit. Wetland delineation will need to be approved by the Army Corps of Engineers. There are no mapped flood hazards on the property.

The surrounding properties are all zoned for residential use (County R-7500 or Shallotte R-10).

The Board may:
Vote to approve the proposed annexation & rezoning; or
Vote to deny the proposed annexation; or
Continue the item until additional information is presented.

FISCAL IMPACT:

- | | | |
|--|------------------------------|--|
| BUDGET AMENDMENT REQUIRED: | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| CAPITAL PROJECT ORDINANCE REQUIRED: | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| PRE-AUDIT CERTIFICATION REQUIRED: | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| REVIEWED BY DIRECTOR OF FISCAL OPERATIONS | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |

CONTRACTS/AGREEMENTS:

REVIEWED BY TOWN ATTORNEY:

YES NO N/A

ADVISORY BOARD RECOMMENDATION: Planning Board recommended approval at their March 11 meeting

STAFF RECOMMENDATION: Staff believes the project is consistent with the Town’s objectives & policies & recommends approval with the following conditions:

1. HOA documents detailing SW maintenance be recorded with subdivision plats
2. New Town of Shallotte SW permit applications be submitted with phased subdivisions
3. Copies of all state & federal permits (NCDOT,CAMA, USACE) be provided as they are available

FINANCE RECOMMENDATION: NA

ATTACHMENTS:

1. Area map
 2. Annexation/Rezoning Application
 3. Proposed Master Plan
 4. TRC Comments/Responses
 5. Table of Permitted Uses
 6. Town of Shallotte 2018 Land Use Plan, Low Density Description
 7. Signed Planning Board Statement of Consistency
 8. Ordinance 25-09
 9. Board of Aldermen Statement of Consistency
-

ACTION OF THE BOARD OF ALDERMEN

APPROVED:

ATTEST:

CLERK TO THE BOARD

DENIED:

**DEFERRED
UNTIL:**

SIGNATURE

OTHER:



MAJOR SUBDIVISION/ PRD/PUD APPLICATION

<i>Official Use</i>	Section IX, Item 1.
P&Z #: _____	
Date Rec'd: _____	
Rec'd By: _____	
Amount Paid: \$ _____	

Town of Shallotte • PO Box 2287, Shallotte, NC 28459 • 116 Cheers Street, Shallotte, NC 28470 • Phone: (910) 754-4032 • Fax: (910) 754-2740

All applications must be complete and accompanied by the appropriate application fee, payable in cash or by check made to the Town of Shallotte. Contact the Town of Shallotte Planning Department to determine the appropriate fee or consult the current Town of Shallotte Fee Schedule. Applicants will also be responsible for the full cost of public notices, if any, which will be billed at a later time. Additionally, applicants may be charged for the balance of any professional review fees that exceed the application fee. Contact the Town of Shallotte Public Works Department to determine utility fees. All fees due must be paid in full before an application will be submitted for review by the Planning Board or Board of Aldermen or a preliminary or final plat will be signed.

The procedure and regulations for developing a Planned Residential Developments and Planned Unit Developments can be found in articles 15 and 16 respectively of the Unified Development Ordinance. Regulations for Major Subdivisions can be found in articles 27 through 31. Applicants are encouraged to schedule a pre-application meeting with staff prior to submitting a final application.

Project Name: Bay Road Landing		
SECTION 1: APPLICANT INFORMATION		
Applicant Name: Brian Fleer		
Mailing Address: 1001 Military Cutoff Rd, Suite 10, Wilmington, NC 28405		
Phone: 910-515-1830	Fax: _____	Email: brianfleer@kw.com
SECTION 2: PROPERTY OWNER INFORMATION (if different from above)		
Owner Name(s): James and Marion Jones		
Mailing Address: 534 Planters Ridge Drive		
Phone: 910-575-5072	Fax: _____	Email: ab4d63@atmc.com
SECTION 3: PROPERTY INFORMATION		
Street Address and/or Description of Location: West of Bay Rd, near intersection of Bay Rd and Village Point Rd		
Parcel Tax ID #(s): PID 2300005602	Total Site Acres: 25 of 28.88 acres to be annexed	
Current Zoning District(s): County zoned to R7500		
SECTION 4: PROJECT INFORMATION		
Proposed Zoning District(s): PUD - 3 units per acre <input checked="" type="checkbox"/> PUD <input type="checkbox"/> PRD Overlay		
Project to be developed in phases? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<i>Phase Lines must be shown on Master Development Plans.</i>
Brief Project Description: 25-acre, 75-lot single-family residential lot subdivision, 7,000 sq. ft. minimum lot size, 56-ft wide. Main Road throughout subdivision connecting Bay Rd to Weir Rd in the neighboring Forest Run - Village Point Rd subdivision. Project proposed to be a single-phase subdivision with Town of Shallotte sewer and Brunswick County water.		

SECTION 4: PROJECT INFORMATION (continued)

PROPOSED LAND USE MIX	UNITS	ACRES	SQUARE FOOTAGE
Single-Family Detached Residential	75	25	NA
Single-Family Attached Residential (Townhomes)	N/A		NA
Multi-Family Residential (Triplex, Quadraplex, Apartments, Condos)	N/A		NA
Office & Institutional (including religious, civic, and educational uses)	N/A		
Retail	N/A		
Other Non-retail Commercial	N/A		
Light Industrial	N/A		
Recreation & Open Space (privately owned and maintained)	NA		NA
Recreation & Open Space (dedicated to Town of Shallotte)	NA		NA

SECTION 5: SUPPLEMENTAL INFORMATION REQUIRED

Each application use must include:

- An application fee in cash or check made payable to the Town of Shallotte.
- Applicable utility fees, including transmission recovery fees and sewer allocation fees.
- For conventional subdivisions: a preliminary plat pursuant to Appendix IV.
- For PUDs: a Master Development Plan/Land Use Plan/Site Plan pursuant to Section 16-9 and Appendix IV.
- For PRDs: a Master Development pursuant to Sections 15-4, 15-5, and Appendix IV.
- A Traffic Impact Study pursuant to Section 30-25, if required.
- A copy of property deeds and any referenced maps for all tracts under consideration.
- A notarized letter of authorization if acting as the agent for the property owner(s).

SECTION 6: APPLICANT/OWNER SIGNATURE

In filing this application, I hereby certify that I am authorized to submit this application and that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.

Signature: _____ Date: _____

Official Use Only

Planning Board Hearing Date: _____ Recommendation: _____ Staff: _____

Board of Aldermen Hearing Date: _____ Action: _____ Staff: _____

Comments: _____

CERTIFICATE OF SUFFICIENCY

To the Mayor and Board of Aldermen of the Town of Shallotte, North Carolina:

I, Natalie Goins, Town Clerk, do hereby certify that I have investigated the annexation petition of property located east of Bay Road, near the intersection of Bay Road and Village Point Road (PID 2300005602) and hereby make the following findings:

- a. The petition contains a metes and bounds description of the area proposed for annexation and a map showing the proposed satellite area in relation to the primary corporate limits.
- b. The petition is signed by and includes addresses of all owners of real property lying in the area described therein.
- c. The undersigned therefore certifies that the Petition is sufficient for the voluntary annexation of a non-contiguous area pursuant to NCGS §160A-58.1.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Shallotte, this 25th day of March, 2025.



Natalie Goins

Natalie Goins, Town Clerk

Petition Requesting Voluntary Non-Contiguous Annexation

TO THE BOARD OF ALDERMEN OF THE TOWN OF SHALLOTTE, NORTH CAROLINA:

1. We the undersigned owner(s) of real property respectfully request that the area described in paragraph 2 below be annexed to the TOWN OF SHALLOTTE.
2. The area to be annexed is not contiguous to the Town of Shallotte and the boundaries of such territory are described in the attached metes and bounds description (Exhibit "A"), attached hereto and incorporated herein by reference.
3. The nearest point on this proposed non-contiguous annexation is not more than three miles from the primary corporate limits of the TOWN OF SHALLOTTE.
4. No point on this proposed non-contiguous corporate limits is closer to the primary corporate limits of other municipality than to the primary corporate limits of the TOWN OF SHALLOTTE.
5. The area within this proposed non-contiguous corporate limits is so situated that the TOWN OF SHALLOTTE will be able to provide the same services within the proposed non-contiguous corporate limits that it provides within its primary corporate limits.
6. There is no subdivision, which is a portion or all of this proposed non-contiguous corporate limits, as subdivision is defined in N.C.G.S. 160A-376, which is less than completely included within this proposed non-contiguous corporate limits.
7. A map, showing the area proposed for non-contiguous annexation, together with the relation of this area to the primary corporate limits of the TOWN OF SHALLOTTE, is attached hereto (Exhibit "B") and incorporated herein by reference.

Vested rights, with respect to such property, have not been established, under N.C.G.S. 160A-385.1, except as described in Exhibit "C", attached hereto and incorporated herein by reference.

Respectfully,

Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
James W. Jones	534 Planters Ridge Dr.	2300005602	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<i>James W. Jones</i>	1/2/25
Marian M. Jones	Sunset Beach, NC 28468	2300005602	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<i>Marian M. Jones</i>	1/2/25

Parcels: 2300005602

Property Tax Cards

2024 Tax Card

2023 Tax Card

2022 Tax Card

2021 Tax Card

2020 Tax Card

Parcel Information

Parcel ID: 2300005602

Parcel PIN: 108611676216

Calc. Acreage: 28.88

Legal Description

TR-1A & P/O 1 28.880 AC PL-144/4

Owner Information

Owner Name:

JONES JAMES W ETUX

JONES MARIAN M

Mailing Address:

534 PLANTERS RIDGE DR

SUNSET BEACH, NC 28468

Deed and Plat References

Deed Book: 04905

Deed Page: 0018

Plat Book: 00144

Plat Page: 00004

PARCEL PHOTO

**Legal Description For
TOWN OF SHALLOTTE, NORTH CAROLINA
ANNEXATION
JAMES W. JONES and wife, MARIAN M. JONES LANDS
TRACT 1-R MAP CABINET 165 PAGE 2
Deed Book 4905 Page 18
Portion of Tax Parcel ID: 2300005602**

Being a certain tract of land located in Shallotte Township, Brunswick County, North Carolina, all referenced deeds and maps as recorded at the Brunswick County Registry, all bearings and coordinates are NC Grid-NAD 83 (2011) and being more fully described as follows:

Beginning at an iron rod (set) in the eastern right of line of Bay Road (N.C.S.R. 1511-60' Public Right of Way), said rod marking the northwestern corner of Tract 1A-R as shown on map recorded in Map Cabinet 165 Page 2,

Running thence, from the point of beginning, along and with said line of Bay Road North 09 degrees 36 minutes 30 seconds East 238.78 feet to an iron rod (found), said iron rod marking the southwestern corner of a tract conveyed to Olaf W. Thorsen & Debra L. Thorsen in Deed Book 1149 Page 762, said Thorsen tract having a Tax Parcel ID 2290003211;

Running thence with a southern line of said Thorsen tract, South 80 degrees 23 minutes 30 seconds East 81.27 feet to an iron rod (found);

Thence continuing with another southern line of said tract South 80 degrees 21 minutes 09 seconds East 90.77 feet to an iron rod (found) marking the southeastern corner of said Thorsen tract;

Running thence with the eastern line of said Thorsen tract North 07 degrees 00 minutes 00 seconds East 398.92 feet to an iron rod (found) marking the northeastern corner of said Thorsen tract and the southeastern corner of a parcel conveyed to James M. Huddleston in Deed Book 1137 Page 1084;

Running thence with the eastern line of said Huddleston tract and the eastern line of a tract conveyed to Earl Butterworth & Laurie Butterworth in Deed Book 2020 Page 461 North 20 degrees 07 minutes 14 seconds East 142.69 feet to an iron rod (found) marking the southwestern corner of a tract of land conveyed to Hector M. Santiago & Amand R. Sanchez in Deed Book 4797 Page 1014;

Running thence with the southern line of said Santiago tract South 71 degrees 16 minutes 44 seconds East 177.31 feet to and iron pipe (found);

Thence continuing with another southern line of said Santiago tract South 71 degrees 00 minutes 58 seconds East 162.52 feet to an iron rod (found) marking the southern corner of said tract and the southwestern corner of a lot conveyed to James A. Stanley & Lena Stanley in Deed Book 4797 Page 1061;

Running thence with a southern line of said Stanley tract South 71 degrees 38 minutes 59 seconds East 14.79 feet to and iron rod (set);

Thence continuing with another southern line of said Stanley tract South 78 degrees 54 minutes 50 seconds East 105.52 feet to a tall iron pipe marking the southeastern corner of said Stanley tract and the southwestern corner of a tract conveyed to Jeffery E. McDonald, Jr. and Kimberly H. McDonald in Deed Book 4238 Page 274;

Running thence with the southern line of said McDonald tract South 72 degrees 31 minutes 10 seconds East 229.73 feet to an iron rod (set) marking the southeastern corner of said McDonald tract and the southwestern corner of a parcel conveyed to John M. Faulner & Irene B. Faulkner in Deed Book 3472 Page 592;

Running thence with the southern line of said Faulkner parcel North 79 degrees 00 minutes 58 seconds East 151.09 feet to and iron rod (set) marking the southeastern corner of said Falkner parcel and the southwestern corner of a parcel conveyed to Roberth Harford & Valerie Harford in Deed Book 3515 Page 810;

Running thence with a southern line of said Harford parcel North 79 degrees 11 minutes 22 seconds East 44.22 feet to an iron rod (set);

Thence continuing with another southern line of said Harford parcel and the southern line of a tract conveyed to Glen N. Williamson, Jr. in Deed Book 4909 Page 204, South 78 degrees 36 minutes 39 seconds East 349.75 feet to an iron rod (found) marking the southeastern corner of said Williamson tract and being in the western line of Tract B as conveyed to 1295 Village Point Road, LLC in Deed Book 5068 Page 85, said rod having NC Grid-NAD 83 (2011) coordinates; N 67,641.35, E 2,187,337.03 and combined factor of 1.00013734 ;

Running thence with said line of Tract B, South 04 degrees 52 minutes 02 seconds West 927.04 feet to an iron rod (found) in the northern line of a tract conveyed to Kurt A. Kocek in Deed Book 3576 Page 1267 and marking the southwestern corner of the above referenced Tract B, said rod having NC Grid coordinates; N 66,717.66, E 2,187,258.37;

Running thence with the northern line of said Kocek tract North 80 degrees 00 minutes 36 seconds West 735.67 feet to an iron rod (found) marking the northwestern corner of said Kocek tract and the northeastern corner of a tract conveyed to Aubrey Faatz & Amanda Faatz in Deed Book 4802 Page 388;

Running thence with said northern line North 87 degrees 27 minutes 44 seconds West 96.61 feet to and iron rod (set) marking the southeastern corner of Tract 1A-R of the James W. Jones and wife, Marian M. Jones Tract Division as shown of Map Cabinet 165 Page 2;

Running thence with the eastern line of said Tract 1A-R, North 02 degrees 41 minutes 58 seconds East 262.00 feet to an iron rod (set) marking the northeastern corner of Tract 1A-R;

Running thence with the northern line of Tract 1A-R, North 87 degrees 16 minutes 39 seconds West 614.00 feet to the point of beginning.

Being all of Tract 1-R of the James W. Jones and wife, Marian M. Jones Tract as shown on Map Cabinet 165 Page 2 of the Brunswick County Register of Deeds Office.

Containing 25.085 acres, more or less.

**Prepared in the office of
Danford & Associates Land Surveying, PC.
4002 ½ Oleander Drive Suite 203
Wilmington, NC 28403
(910) 799-4916**

NC License No. C-2797

**Vernon Derek Danford, PLS
NC Professional Land Surveyor
NC License No. L-4528**

CERTIFICATE OF SUFFICIENCY

To the Mayor and Board of Aldermen of the Town of Shallotte, North Carolina:

I, Natalie Goins, Town Clerk, do hereby certify that I have investigated the annexation petition of property located at 1295 Village Point Road (PID 2300005003) and hereby make the following findings:

- a. The petition contains a metes and bounds description of the area proposed for annexation and a map showing the proposed satellite area in relation to the primary corporate limits.
- b. The petition is signed by and includes addresses of all owners of real property lying in the area described therein.
- c. The undersigned therefore certifies that the Petition is sufficient for the voluntary annexation of a non-contiguous area pursuant to NCGS §160A-58.1.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Shallotte, this 25th day of March, 2025.



Natalie Goins
Natalie Goins, Town Clerk


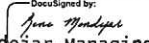
Petition Requesting Voluntary Non-Contiguous Annexation

TO THE BOARD OF ALDERMEN OF THE TOWN OF SHALLOTTE, NORTH CAROLINA:

1. We the undersigned owner(s) of real property respectfully request that the area described in paragraph 2 below be annexed to the TOWN OF SHALLOTTE.
2. The area to be annexed is not contiguous to the Town of Shallotte and the boundaries of such territory are described in the attached metes and bounds description (Exhibit "A"), attached hereto and incorporated herein by reference.
3. The nearest point on this proposed non-contiguous annexation is not more than three miles from the primary corporate limits of the TOWN OF SHALLOTTE.
4. No point on this proposed non-contiguous corporate limits is closer to the primary corporate limits of other municipality than to the primary corporate limits of the TOWN OF SHALLOTTE.
5. The area within this proposed non-contiguous corporate limits is so situated that the TOWN OF SHALLOTTE will be able to provide the same services within the proposed non-contiguous corporate limits that it provides within its primary corporate limits.
6. There is no subdivision, which is a portion or all of this proposed non-contiguous corporate limits, as subdivision is defined in N.C.G.S. 160A-376, which is less than completely included within this proposed non-contiguous corporate limits.
7. A map, showing the area proposed for non-contiguous annexation, together with the relation of this area to the primary corporate limits of the TOWN OF SHALLOTTE, is attached hereto (Exhibit "B") and incorporated herein by reference.

Vested rights, with respect to such property, have not been established, under N.C.G.S. 160A-385.1, except as described in Exhibit "C", attached hereto and incorporated herein by reference.

Respectfully,

Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
1295 Village Point Rd. LLC, Steve Shuttleworth, Managing Member	711 Carolina Beach Ave. North, Carolina Beach, NC 28428	2300005003	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	DocuSigned by:  Steve Shuttleworth, Managing Member of 1295 Village Point Rd, LLC	3/13/2025
1295 Village Point Rd. LLC, Rene Modejar, Managing Member	50 Polo Pony Dr, Colorado Springs, CO 80906	2300005003	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	DocuSigned by:  Rene Modejar, Managing Member of 1295 Village Point Rd, LLC	3/13/2025

Brunswick County GIS Layer List

- Address & Parcel
- > BRUNSWICK COUNTY GIS
- ORTHOIMAGERY 2024
- PICTOMETRY_2023
- PICTOMETRY_2021
- PICTOMETRY 2019
- PICTOMETRY 2016
- PICTOMETRY 2012
- PICTOMETRY 2010

Parcels: 2300005003

Section IX, Item 1.

Zoom to

Property Tax Cards

[2024 Tax Card](#)

[2023 Tax Card](#)

[2022 Tax Card](#)

[2021 Tax Card](#)

[2020 Tax Card](#)

Parcel Information

Parcel ID: 2300005003

Parcel PIN: 108611773002

Calc. Acreage: 0.83

Legal Description

.83 AC

Owner Information

Owner Name:

1295 VILLAGE POINT ROAD LLC

Mailing Address:

711 CAROLINA BEACH AVE N

CAROLINA BCH, NC 28428-6018

Deed and Plat References

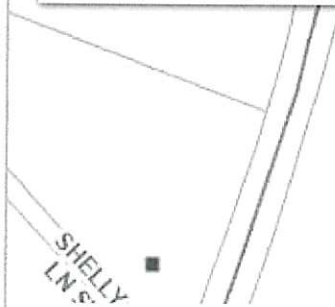
Deed Book: 05068

Deed Page: 0085

Plat Book:00000

Plat Page: 00000

[PARCEL PHOTO](#)



Brunswick County GIS

100 m
200 ft

Powered by Esri

[Home](#) [Business Registration](#) [Search](#) [Limited Liability Company](#)

Limited Liability Company

Actions

- [File an Annual Report/Amend Order a Document Online](#)
- [Print a Pre-Populated Annual Report form](#)
- [Add Entity to My Email Notification List](#)
- [Print an Amended a Annual Report form](#)
- [Online Filing](#)
- [View Filings](#)

Legal name: 1295 Village Point Road LLC

Secretary of State Identification Number (SOSID): 2693045

Status: Current-Active

Citizenship: Domestic

Date formed: 8/23/2023

Registered agent: [Steve Shuttleworth](#)

mailing address

711 Carolina Beach Ave N
Carolina, NC 28428

Principal office address

711 Carolina Beach Ave N
Carolina, NC 28428

Registered office address

711 Carolina Beach Ave. N.
Carolina Beach, NC 28428-6018

Registered mailing address

711 Carolina Beach Ave. N.
Carolina Beach, NC 28428-6018

Company officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

- **Member**
Brian M Flear
1001 Military Cutoff Rd., Ste 101
Wilmington NC 28405-4377
- **Member**
Rene Mondejar
50 Polo Pony Dr.
Colorado Springs CO 80906-3106
- **Member**
Steve Shuttleworth
711 Carolina Beach Ave. N.
Carolina Beach NC 28428-6018
- **Member**
Chris Vitale
4252 West Lake Rd.
Auburn NY 13021-1196
- **Member**
Paul Vitale
4252 West Lake Rd.
Auburn NY 13021-1196

[Return to top](#)

Other Agencies

[NC Gov](#)

Links of Interest

[National Association of Secretaries of State](#)

**ASSIGNMENT OF LLC MEMBERSHIP INTEREST
OF VITALE MANAGEMENT SOLUTIONS, INC.**

THIS ASSIGNMENT OF LLC MEMBERSHIP INTEREST (this "Assignment"), is made effective the 19th day of September, 2024, by and between Vitale Management Solutions, Inc. (the "Assignor"), and 1295 Village Point Road, LLC (the "Company"), or Assignee's assigns.

EXPLANATORY STATEMENT

WHEREAS, the Assignor is the owner of a 25% Membership Interest (the "Membership Interest") in the Company;

WHEREAS, the Company is governed by an Operating Agreement dated August 23, 2023; and

WHEREAS, the Assignor desires by this Assignment to assign to the Assignee all of his Membership Interest, and the Assignee desires by this Assignment to accept the same.

NOW, THEREFORE, FOR AND IN CONSIDERATION of the payment by the Assignee to the Assignor of the sum of Five Hundred and Eighty-Five Thousand and NO/100 Dollars (\$585,000.00) and for other good and valuable consideration, the receipt and adequacy of which is acknowledged by each party hereto, the parties agree as follows:

1. *ASSIGNMENT.*

Effective as of the date hereinabove written (the "Effective Date") the Assignor assigns to the Assignee and the Assignee accepts and assumes from the Assignor (a) the Membership Interest (so that from and after the Effective Date, and until any other or further assignment made in accordance with the provisions of the Act, the Assignor shall have a 0% Membership Interest in the Company); and, (b) any and all right, title, and interest which the Assignor has under the provisions of the Act, or in and to any of the Company's assets, with respect to the Membership Interest so assigned.

2. *REPRESENTATIONS.*

2.1. *By Assignor.* To induce the Assignee to accept the delivery of this Assignment, the Assignor hereby represents and warrants to the Assignee that: the Assignor is the sole legal and beneficial owner of the Membership Interest; the Assignor has not sold, transferred, or encumbered any or all of the Membership Interest; and subject to the provisions of the Act, the Assignor has the full and sufficient right at law and in equity to transfer and assign the Membership Interest and is transferring and assigning the Membership Interest to the Assignee free and clear of any and all right, title, or interest of any other person whatsoever. Without limiting the generality of the foregoing, the transfer of the Membership Interest and the admission of the Assignee as a member of the Company are subject to the provisions of the Act.

2.2. *By Each Party.* Each party represents and warrants to the other parties hereto that it has been duly authorized to execute and deliver this Assignment, and to perform its obligations under this Assignment.

2.3. *By Assignee.* Assignee represents and warrants that he is currently a member of the Company and that, to his knowledge, no other party has any right or option to purchase the Assignor's Membership Interest.

3. *MISCELLANEOUS.*

3.1. *Effectiveness.* This Assignment shall become effective on its execution and delivery by each party.

3.2. *Applicable law.* All questions concerning the construction, validity, and interpretation of this Agreement and the performance of the obligations imposed hereby shall be governed by the internal law, not the law of conflicts, of the State of North Carolina.

3.3. *Assignment.* This Assignment shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, personal representatives, successors, and assigns hereunder.

3.4. *Further Assurances.* The parties shall cooperate with each other and shall execute and deliver, or cause to be delivered, all other instruments and shall take all other actions, as either party hereto may reasonably request from time to time, in order to effectuate the provisions hereof.

3.5. *Assumption.* From and after the Effective Date, the Assignee acknowledges that he continues to be bound by the provisions of the Operating Agreement as a Member.

**REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.
SIGNATURES APPEAR ON FOLLOWING PAGE(S).**

IN WITNESS WHEREOF, each party hereto has executed and sealed this Assignment, the day and year first above written.

VITALE MANAGEMENT SOLUTIONS, INC.

Paul Vitale (SEAL)

Name: *Paul Vitale*
Title: *Partner*
ASSIGNOR

Chris Vitale (SEAL)

Name: *Chris Vitale*
Title: *Partner*
ASSIGNOR

1295 VILLAGE POINT ROAD, LLC

Steve Shuttleworth (SEAL)

Name:
Title:
ASSIGNEE

**ASSIGNMENT OF LLC MEMBERSHIP INTEREST
OF VITALE MANAGEMENT SOLUTIONS, INC.**

THIS ASSIGNMENT OF LLC MEMBERSHIP INTEREST (this “Assignment”), is made effective the 19th day of September, 2024, by and between Brian M. Fleer Realty, Inc. (the “Assignor”), and 1295 Village Point Road, LLC (the “Company”), or Assignee’s assigns.

EXPLANATORY STATEMENT

WHEREAS, the Assignor is the owner of a 25% Membership Interest (the “Membership Interest”) in the Company;

WHEREAS, the Company is governed by an Operating Agreement dated August 23, 2023; and

WHEREAS, the Assignor desires by this Assignment to assign to the Assignee all of his Membership Interest, and the Assignee desires by this Assignment to accept the same.

NOW, THEREFORE, FOR AND IN CONSIDERATION of the payment by the Assignee to the Assignor of the sum of Fifteen Thousand and NO/100 Dollars (\$15,000.00) and for other good and valuable consideration, the receipt and adequacy of which is acknowledged by each party hereto, the parties agree as follows:

1. *ASSIGNMENT.*

Effective as of the date hereinabove written (the “Effective Date”) the Assignor assigns to the Assignee and the Assignee accepts and assumes from the Assignor (a) the Membership Interest (so that from and after the Effective Date, and until any other or further assignment made in accordance with the provisions of the Act, the Assignor shall have a 0% Membership Interest in the Company); and, (b) any and all right, title, and interest which the Assignor has under the provisions of the Act, or in and to any of the Company’s assets, with respect to the Membership Interest so assigned.

2. *REPRESENTATIONS.*

2.1. *By Assignor.* To induce the Assignee to accept the delivery of this Assignment, the Assignor hereby represents and warrants to the Assignee that: the Assignor is the sole legal and beneficial owner of the Membership Interest; the Assignor has not sold, transferred, or encumbered any or all of the Membership Interest; and subject to the provisions of the Act, the Assignor has the full and sufficient right at law and in equity to transfer and assign the Membership Interest and is transferring and assigning the Membership Interest to the Assignee free and clear of any and all right, title, or interest of any other person whatsoever. Without limiting the generality of the foregoing, the transfer of the Membership Interest and the admission of the Assignee as a member of the Company are subject to the provisions of the Act.

2.2. *By Each Party.* Each party represents and warrants to the other parties hereto that it has been duly authorized to execute and deliver this Assignment, and to perform its obligations under this Assignment.

2.3. *By Assignee.* Assignee represents and warrants that he is currently a member of the Company and that, to his knowledge, no other party has any right or option to purchase the Assignor's Membership Interest.

3. *MISCELLANEOUS.*

3.1. *Effectiveness.* This Assignment shall become effective on its execution and delivery by each party.

3.2. *Applicable law.* All questions concerning the construction, validity, and interpretation of this Agreement and the performance of the obligations imposed hereby shall be governed by the internal law, not the law of conflicts, of the State of North Carolina.

3.3. *Assignment.* This Assignment shall be binding upon and shall inure to the benefit of the parties hereto and their respective heirs, personal representatives, successors, and assigns hereunder.

3.4. *Further Assurances.* The parties shall cooperate with each other and shall execute and deliver, or cause to be delivered, all other instruments and shall take all other actions, as either party hereto may reasonably request from time to time, in order to effectuate the provisions hereof.

3.5. *Assumption.* From and after the Effective Date, the Assignee acknowledges that he continues to be bound by the provisions of the Operating Agreement as a Member.

3.6. *Resignation as Manager.* Member's sole member, Brian Fleeer, contemporaneously resigns as Manager of Company, and signs only to acknowledge such resignation.

**REMAINDER OF PAGE INTENTIONALLY LEFT BLANK.
SIGNATURES APPEAR ON FOLLOWING PAGE(S).**

IN WITNESS WHEREOF, each party hereto has executed and sealed this Assignment, the day and year first above written.

BRIAN M. FLEER REALTY, INC.

DocuSigned by:
Brian M. Fleer (SEAL)
Name: Brian M. Fleer
Title: Manager
ASSIGNOR

DocuSigned by:
Brian M. Fleer (SEAL)
Name: Brian M. Fleer, only as to
Section 3.6

1295 VILLAGE POINT ROAD, LLC

DocuSigned by:
Steve Shuttleworth (SEAL)
Name: Steve Shuttleworth
Title: Member manager
ASSIGNEE

**Legal Description For
TOWN OF SHALLOTTE, NORTH CAROLINA
ANNEXATION
1295 VILLAGE POINT ROAD LLC LANDS
Tract B
Certain Tract of land as described in Deed Book 5068 Page 85
Parcel ID: 2300005003**

Being a certain tract of land located in Shallotte Township, Brunswick County, North Carolina, all referenced deeds and maps as recorded at the Brunswick County Registry, all bearings are NC Grid-NAD 83 (2012B) and being more fully described as follows:

Beginning at an iron rod found and said iron rod found being the southwestern corner of Tract B, of the 1295 Village Point Road LLC Lands, as recorded in Deed Book 5068 Page 85, said beginning point having NC Grid-NAD 83 Coordinates of N 66,717.66, E 2,187,258.37 and Combined Factor of 1.00013734;

running thence from said described point of beginning along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and the James W. Jones and Marion M. Jones Tract as recorded in Deed Book 4905 page 18, North 04 degrees 52 minutes 02 seconds East 927.04 feet to an iron rod found being the northeast corner of the said James W. Jones and Marion M. Jones Tract, and also being the southeastern corner of the Glen N. Williamson, Jr. Tract as recorded in Deed Book 4909 Page 204, said iron rod found having NC Grid-NAD 83 Coordinates of N 67,641.35, E 2,187,337.03;

running thence from said iron rod found along and with the division line of said Glen N. Williamson, Jr. Tract and Tract B, of the 1295 Village Point Road LLC Lands, North 04 degrees 59 minutes 02 seconds East 39.76 feet to an iron rod found being the northern corner of the Tract B, of the 1295 Village Point Road LLC Lands, said iron rod found having NC Grid-NAD 83 Coordinates of N 67,680.96, E 2,187,340.48;

running thence from said iron rod found along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and Tract A of the 1295 Village Point Road LLC Lands, as recorded in Deed Book 5068 Page 88, South 00 degrees 28 minutes 20 seconds West 975.85 feet to an iron rod set and being the southeast corner of the said Tract B and the southwest corner of said Tract A, and also falling in the northern line of the Kurt A. Kocek Tract as recorded in Deed Book 3576 Page 1267, said iron rod found having NC Grid-NAD 83 Coordinates of N 66,705.12, E 2,187,332.44;

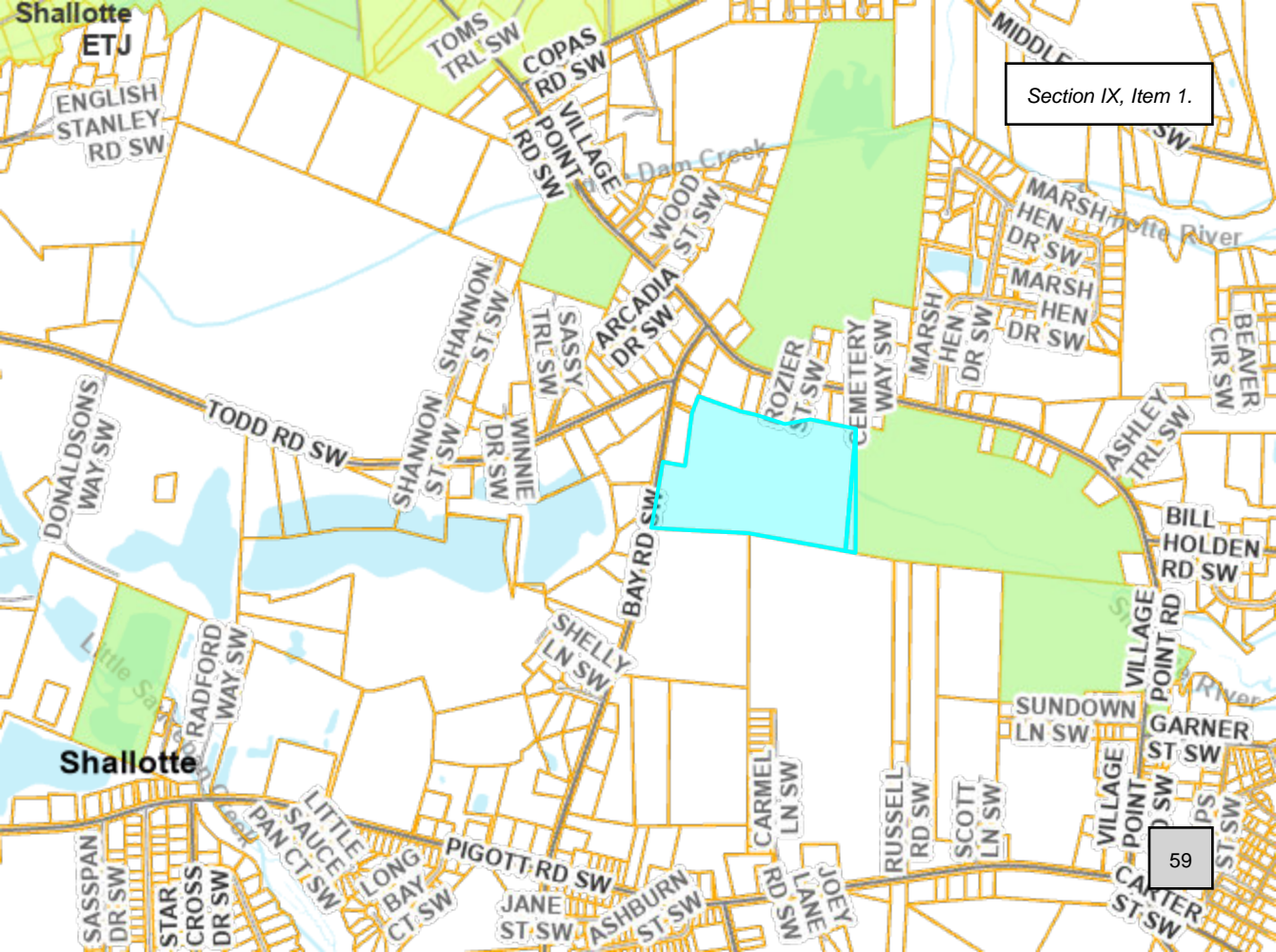
running thence from said iron rod set along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and the said Kurt A. Kocek Tract, North 80 degrees 23 minutes 37 seconds West 75.12 feet to point of beginning.

Containing 0.83 acres, more or less.

**Prepared in the office of
Danford & Associates Land Surveying, PC.
4002 ½ Oleander Drive Suite 203
Wilmington, NC 28403
(910) 799-4916**

NC License No. C-2797

**Vernon Derek Danford, PLS
NC Professional Land Surveyor
NC License No. L-4528**



Section IX, Item 1.

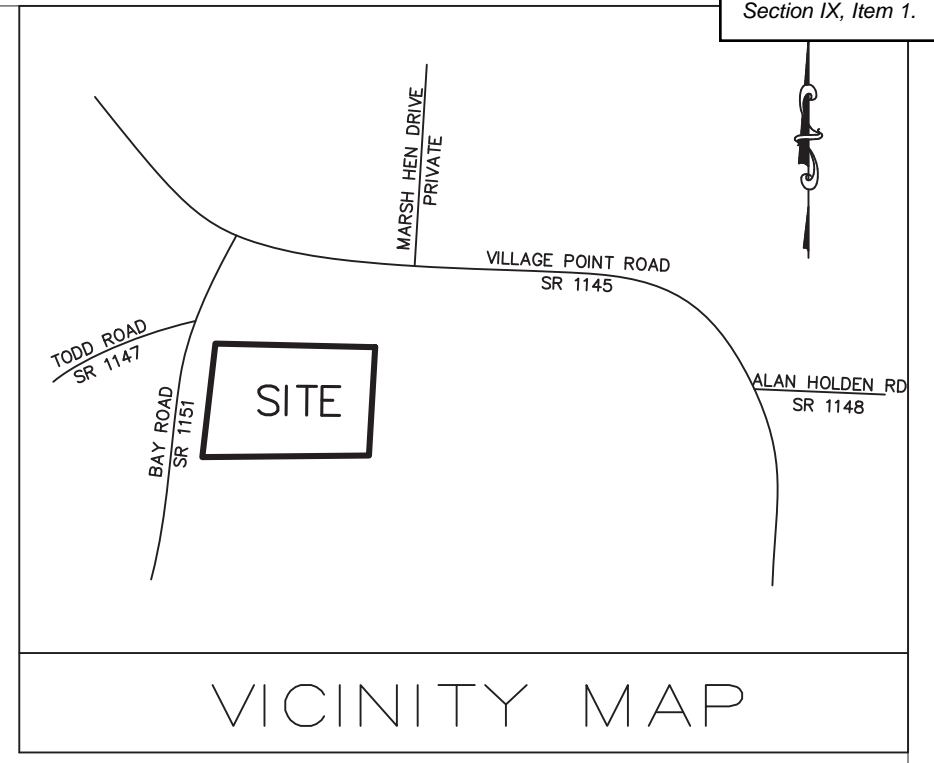
SITE DATA

PARCEL ID	2300005602
PARCEL PIN	108611676216
MAP BOOK/PAGE	144/4
DEED BOOK/PAGE	4905/18
ZONING	TOS PUD
PROPERTY AREA	25.00 AC
OPEN SPACE REQUIRED	1,089,000 SF
OPEN SPACE (GROSS)	3.75 AC
OPEN SPACE (NET)	7.64 AC
POND AREA	3.99 AC
DISTURBANCE LIMITS	1.65 AC
RECEIVING STREAM	20 AC
CLASSIFICATION	SMASH
STREAM INDEX	15-25-2-14
RIVER BASIN	LUMBER

PROPOSED LOTS	75
PROPOSED DENSITY	3.0 UNITS/AC
PROPOSED PHASES	1
MINIMUM LOT AREA	7,000 SF
MINIMUM LOT WIDTH	56'
MINIMUM FRONT YARD	15'
MINIMUM SIDE YARD	6'
MINIMUM REAR YARD	15'
PERIPHERY SETBACKS	5'
MAXIMUM BLDG HEIGHT	35'

BUA

LOTS (75 @ 3,000)	225,000 SF
STREETS	109,543 SF
SIDEWALKS	35,674 SF
RESERVE	10,000 SF
TOTAL BUA	380,217 SF
% OF PROPERTY	34.9 %



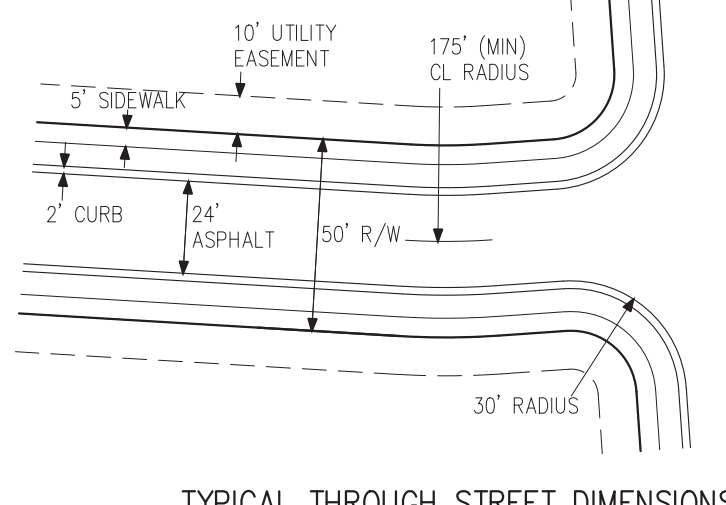
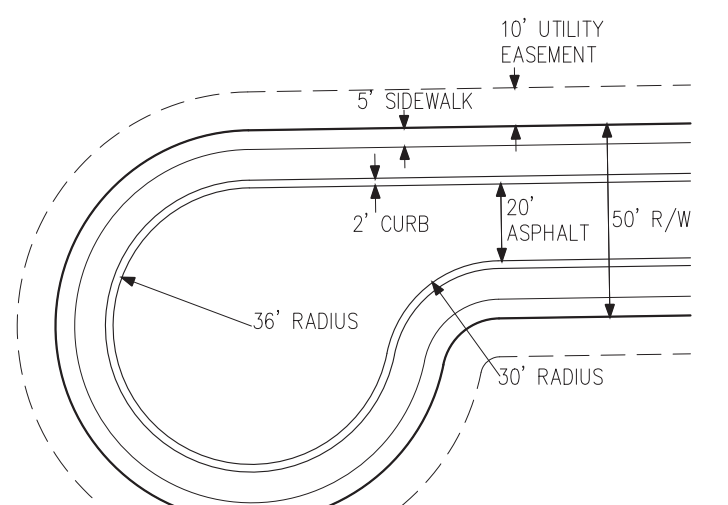
SURVEY NOTE:
 SURVEY INFORMATION, INCLUDING BOUNDARY AND WETLANDS, IS BY DANFORD AND ASSOCIATES LAND SURVEYING, P.C. REFER TO THE MAP OF SURVEY FOR THE SUBJECT PARCEL DATED 12/23/2024.

UTILITY OWNERSHIP NOTE:
 WATER SYSTEM IS OWNED AND OPERATED BY BRUNSWICK COUNTY. REFER TO BRUNSWICK COUNTY DETAILS AND SPECIFICATIONS FOR WATER SYSTEM INSTALLATION.
 SEWER SYSTEM IS OWNED AND OPERATED BY TOWN OF SHALLOTTE. REFER TO TOWN OF SHALLOTTE DETAILS AND SPECIFICATIONS FOR SEWER SYSTEM INSTALLATION.
 ELECTRIC SERVICE PROVIDED BY BRUNSWICK ELECTRIC MEMBERSHIP CORPORATION.

UTILITY CALCULATIONS
 SEWER FLOW: 210 GPD PER 3 BR UNIT X 75 = 15,750 GPD
 WATER DEMAND: 400 GPD PER UNIT X 75 = 30,000 GPD

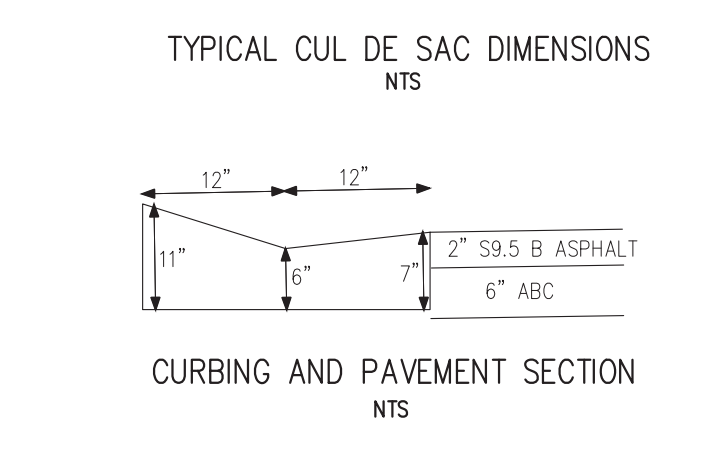
STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT STANDARDS AND DEDICATED TO THE TOWN OF SHALLOTTE AS PUBLIC.

ON STREET PARKING WILL NOT BE ALLOWED. THIS PROHIBITION SHALL BE DISCLOSED IN HOA COVENANTS.



LEGEND

PROJECT BOUNDARY	---
EX WATER MAIN	---
EX FORCE MAIN	---
STORMDRAIN	---
EX CONTOURS	---
SILT FENCE	---
DISTURBED AREA	---

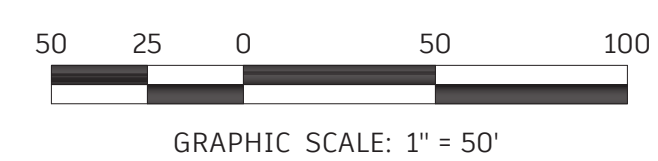
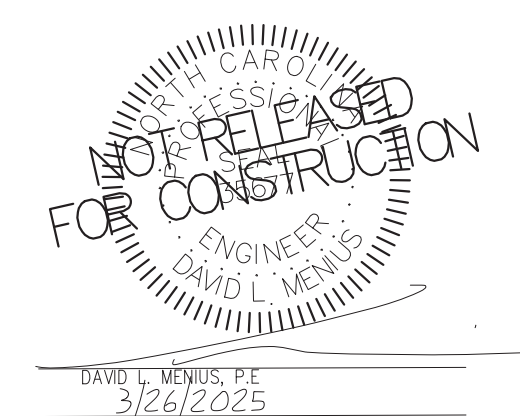


VEHICLE TRIP GENERATION
 THE ITE TRIP GENERATION MANUAL PROVIDES THE FOLLOWING ESTIMATES OF TRIPS:
 SINGLE FAMILY HOMES (ITE CODE 210) W/ 18 DWELLING UNITS:
 AM PEAK HOUR TRIPS: 14
 PM PEAK HOUR TRIPS: 18
 DAILY TRIPS: 171

A TRAFFIC IMPACT ANALYSIS IS NOT PROPOSED.

AUBREY FAATZ & AMANDA FAATZ
 2300003505
 DEED BOOK 4802 PAGE 388
 MAP CABINET 23 PAGE 429
 R-7500 (BRUNSCO)

KURT A. KOCEK
 23000038
 DEED BOOK 3576 PAGE 1267
 MAP CABINET 42 PAGE 13
 R-7500 (BRUNSCO)



BAY ROAD LANDING
 BAY ROAD SW
 SHALLOTTE, NC 28470

DEVELOPER:
 BAY ROAD INVESTMENTS, INC.
 1001 MILITARY CUTOFF ROAD, SUITE 101
 WILMINGTON, NC 28405
 (910) 515-1830

STROUD ENGINEERING, P.A.
 102-D CINEMA DRIVE
 WILMINGTON, NC 28403
 (910) 815-0775 LICENSE # C-0647

DATE: 2/20/2025
 SCALE: 1" = 50'
 SHEET: 1 OF 1
 PUD MASTER PLAN

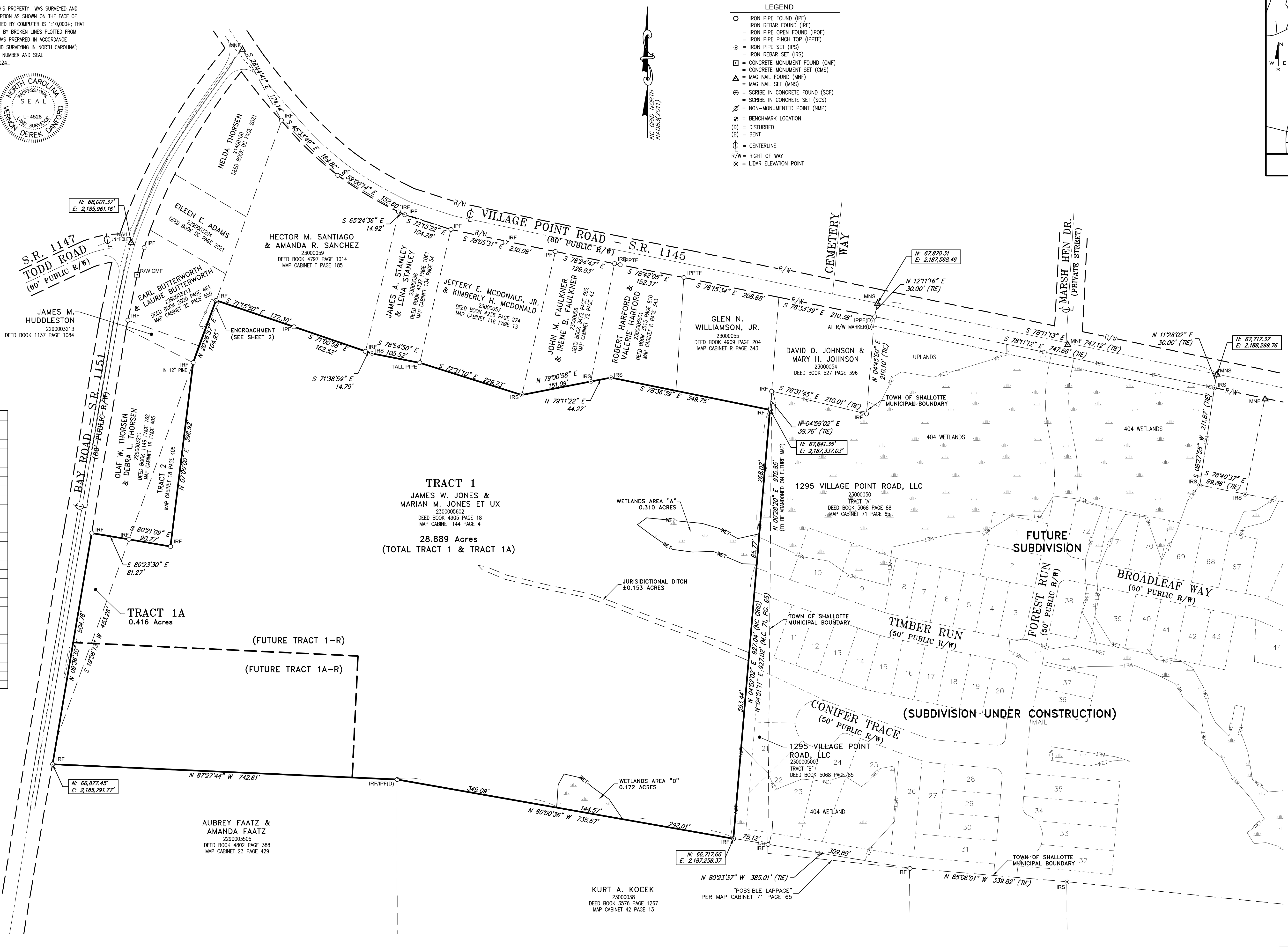
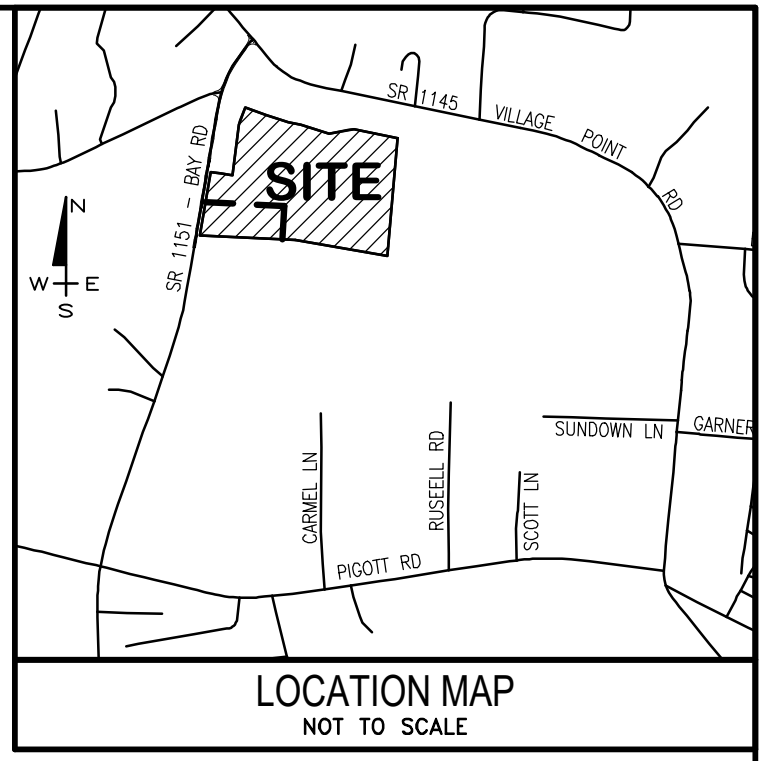
I, VERNON DEREK DANFORD, CERTIFY THAT THIS PROPERTY WAS SURVEYED AND MAP DRAWN UNDER MY SUPERVISION... THIS 23RD DAY OF DECEMBER, A.D. 2024.

V. Derek Danford
VERNON DEREK DANFORD
N.C. PLS No. L-4528



SURVEY REFERENCES table with columns for DEED BOOK, PAGE, MAP CABINET, and PAGE.

- LEGEND: IRON PIPE FOUND (IPF), IRON REBAR FOUND (IRF), IRON PIPE OPEN FOUND (IPOF), IRON PIPE PINCH TOP (IPPT), IRON PIPE SET (IPS), IRON REBAR SET (IRS), CONCRETE MONUMENT FOUND (CMF), CONCRETE MONUMENT SET (CMS), MAG NAIL FOUND (MNF), MAG NAIL SET (MNS), SCRIBE IN CONCRETE FOUND (SCF), SCRIBE IN CONCRETE SET (SCS), NON-MONUMENTED POINT (NMP), BENCHMARK LOCATION, DISTURBED, BENT, CENTERLINE, R/W = RIGHT OF WAY, LIDAR ELEVATION POINT.



- NOTES: 1. THIS TRACT IS LOCATED IN ZONE "X" PER FRIS ON FIRM MAP NUMBER 3720108600K DATED: 08/28/2018. 2. THIS TRACT IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD. 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT... 18. THIS TOPOGRAPHIC SURVEY REPRESENTS ABOVE GROUND VISUAL EVIDENCE. IT IS NECESSARY TO CALL AN UNDERGROUND LOCATOR BEFORE ANY EXCAVATION.

AREA table: TRACT 1 = 28.889 ACRES, TRACT 1A = 0.416 ACRES, TOTAL = 28.889 ACRES.

WETLAND AREA CALCULATIONS table: AREA "A" = 0.310 ACRES, AREA "B" = 0.172 ACRES, JURISDICTIONAL DITCH = 0.153 ACRES, TOTAL = 0.635 ACRES.

DANFORD & ASSOCIATES LAND SURVEYING, P.C. 4002 1/2 OLEANDER DRIVE SUITE 203 WILMINGTON, NC 28403 PHONE (910) 799-4916

BOUNDARY, TOPOGRAPHIC, TREE & 404 WETLANDS SURVEY FOR BRIAN FLEER REALTY, INC. JAMES W. JONES and wife, MARIAN M. JONES TRACT ALL OF TRACT 1 & TRACT 1A OF LAND AS DESCRIBED DEED BOOK 4905 PAGE 18 MAP CABINET 18 PAGE 405 PARCEL ID: 2300005602 MAP CABINET 144 PAGE 4 SHALLOTTE TOWNSHIP BRUNSWICK COUNTY NORTH CAROLINA

DECEMBER 23, 2024 28.889 ACRES 100 0 50 100 200 1 INCH = 100 FEET ONE FOOT CONTOUR INTERVAL - NAVD 88 DATUM DANFORD & ASSOCIATES LAND SURVEYING, PC

LIDAR NOTE

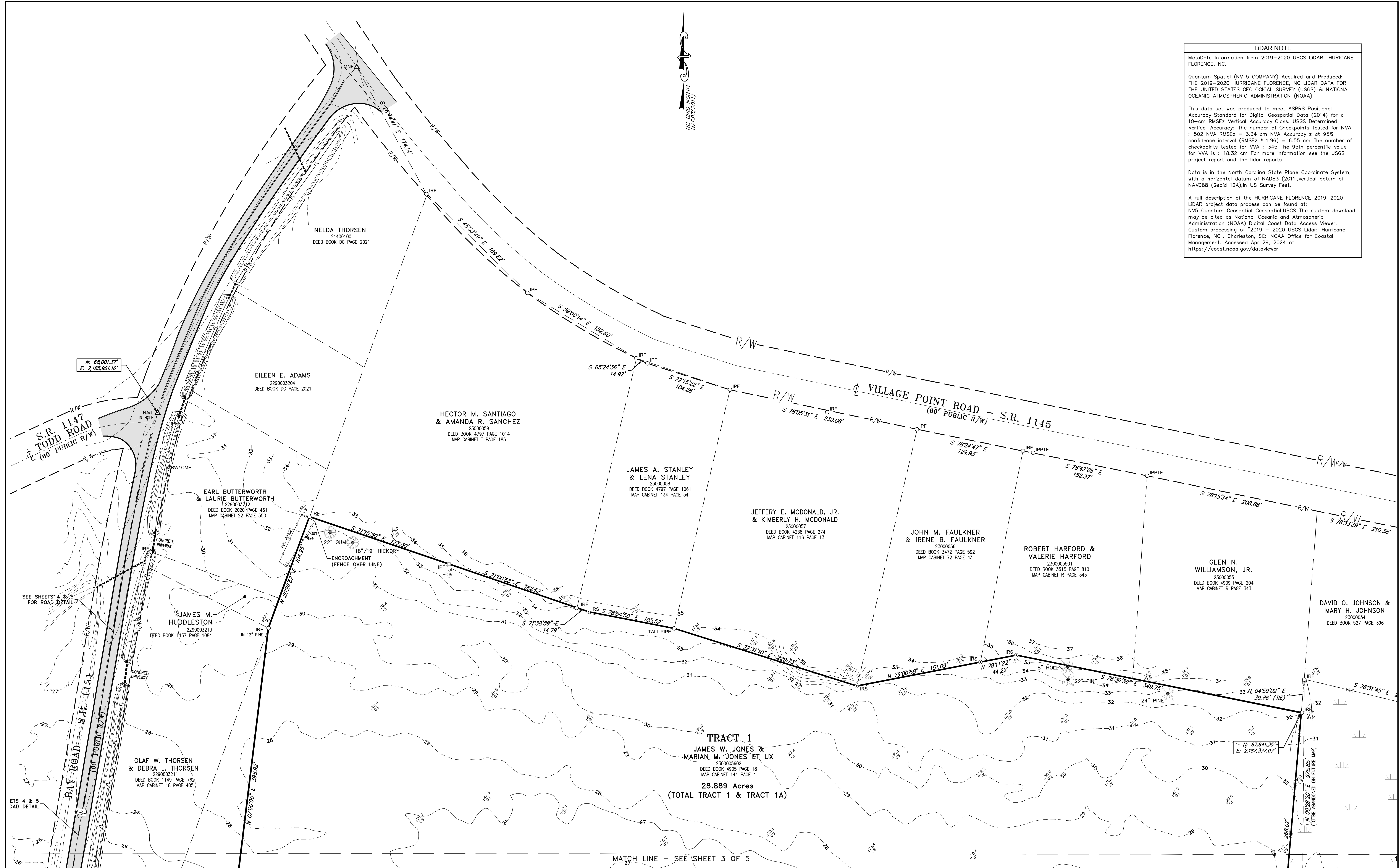
MetaData Information from 2019-2020 USGS LIDAR: HURRICANE FLORENCE, NC.

Quantum Spatial (NV 5 COMPANY) Acquired and Produced: THE 2019-2020 HURRICANE FLORENCE, NC LIDAR DATA FOR THE UNITED STATES GEOLOGICAL SURVEY (USGS) & NATIONAL OCEANIC ATMOSPHERIC ADMINISTRATION (NOAA)

This data set was produced to meet ASPRS Positional Accuracy Standard for Digital Geospatial Data (2014) for a 10-cm RMSEz Vertical Accuracy Class. USGS Determined Vertical Accuracy: The number of Checkpoints tested for NVA : 502 NVA RMSEz = 3.34 cm NVA Accuracy z at 95% confidence interval (RMSEz * 1.96) = 6.55 cm The number of checkpoints tested for VVA : 345 The 95th percentile value for VVA is : 18.32 cm For more information see the USGS project report and the lidar reports.

Data is in the North Carolina State Plane Coordinate System, with a horizontal datum of NAD83 (2011), vertical datum of NAVD88 (Geoid 12A), in US Survey Feet.

A full description of the HURRICANE FLORENCE 2019-2020 LIDAR project data process can be found at: NV5 Quantum Geospatial Geospatial, USGS The custom download may be cited as National Oceanic and Atmospheric Administration (NOAA) Digital Coast Data Access Viewer. Custom processing of "2019 - 2020 USGS Lidar: Hurricane Florence, NC". Charleston, SC: NOAA Office for Coastal Management. Accessed Apr 29, 2024 at <https://coast.noaa.gov/dataviewer>.



DANFORD & ASSOCIATES
LAND SURVEYING, P.C.

4002 1/2 OLEANDER DRIVE
SUITE 203
WILMINGTON, NC 28403
PHONE (910) 799-4916

FIRM LIC# C-2797
email: ddanf@danfordlandsurveying.com

BOUNDARY, TOPOGRAPHIC, TREE & 404 WETLANDS SURVEY FOR
BRIAN FLEER REALTY, INC.

JAMES W. JONES and wife, MARIAN M. JONES TRACT
ALL OF TRACT 1 & TRACT 1A OF LAND AS DESCRIBED DEED BOOK 4905 PAGE 18 MAP CABINET 18 PAGE 405
PARCEL ID: 2300005602 MAP CABINET 144 PAGE 4

SHALLOTTE TOWNSHIP BRUNSWICK COUNTY NORTH CAROLINA

DECEMBER 23, 2024 28.889 ACRES

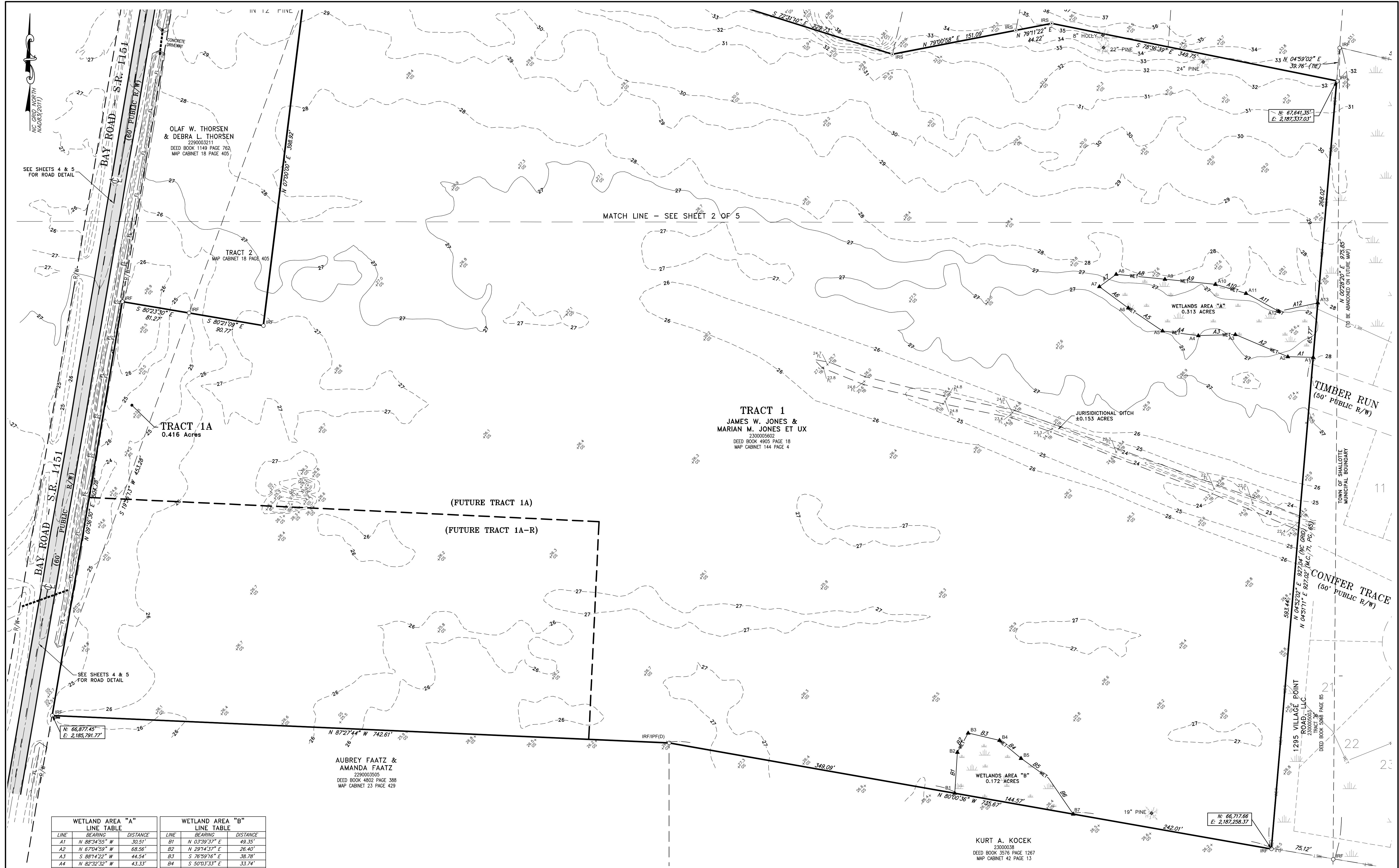
0 25 50 100
1 INCH = 500 FEET
ONE FOOT CONTOUR INTERVAL - NAVD 88 DATUM
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V. Derek Danford

VERNON DEREK DANFORD
N.C. PLS No. L-4528
DECEMBER 23, 2024

NORTH CAROLINA
PROFESSIONAL
SEAL
L-4528
LAND SURVEYING
VERNON DEREK DANFORD

SHEET 2 OF 5



OLAF W. THORSEN
& DEBRA L. THORSEN
229003211
DEED BOOK 1149 PAGE 782
MAP CABINET 18 PAGE 405

TRACT 1A
0.416 Acres

TRACT 1
JAMES W. JONES &
MARIAN M. JONES ET UX
230005602
DEED BOOK 4905 PAGE 18
MAP CABINET 144 PAGE 4

KURT A. KOCEK
23000038
DEED BOOK 3576 PAGE 1267
MAP CABINET 42 PAGE 13

AUBREY FAATZ &
AMANDA FAATZ
229000305
DEED BOOK 4902 PAGE 388
MAP CABINET 23 PAGE 429

WETLAND AREA "A"			WETLAND AREA "B"		
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
A1	N 88°34'55" W	30.51'	B1	N 03°30'37" E	49.35'
A2	N 67°04'59" W	68.56'	B2	N 29°14'37" E	26.40'
A3	S 88°14'22" W	44.54'	B3	S 76°59'16" E	38.78'
A4	N 82°32'32" W	43.33'	B4	S 50°03'33" E	33.74'
A5	N 56°10'17" W	49.75'	B5	S 54°18'49" E	40.78'
A6	N 53°31'05" W	43.08'	B6	S 34°22'59" E	52.33'
A7	N 53°32'27" E	24.98'			
A8	S 84°15'11" E	59.08'			
A9	S 84°13'50" E	60.92'			
A10	S 73°30'42" E	38.48'			
A11	S 67°16'43" E	45.00'			
A12	N 77°39'10" E	47.96'			

DANFORD & ASSOCIATES
LAND SURVEYING, P.C.
4002 1/2 OLEANDER DRIVE
SUITE 203
WILMINGTON, NC 28403
PHONE 910 799-4916
FIRM LIC# C-2797
email: danford@danfordsurveying.com

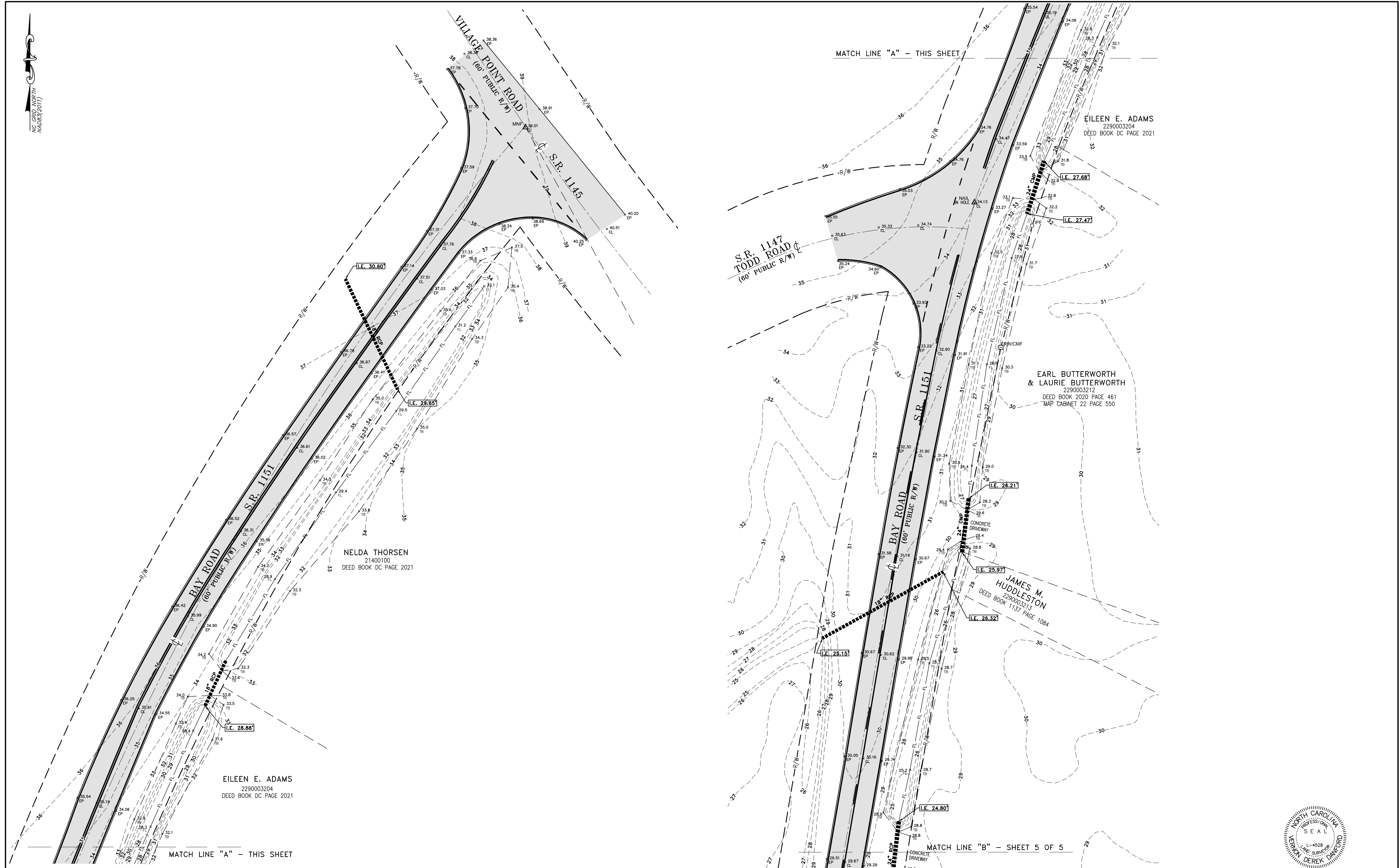
BOUNDARY, TOPOGRAPHIC, TREE & 404 WETLANDS SURVEY FOR
BRIAN FLEER REALTY, INC.
JAMES W. JONES and wife, MARIAN M. JONES TRACT
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PARCEL ID: 230005602 MAP CABINET 144 PAGE 4
SHALLOTTE TOWNSHIP BRUNSWICK COUNTY NORTH CAROLINA

DECEMBER 23, 2024 28.889 ACRES
50 0 25 50 100
1 INCH = 500 FEET
ONE FOOT CONTOUR INTERVAL - NAVD 88 DATUM
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V. Derek Danford
VERNON DEREK DANFORD
N.C. PLS No. L-4528
DECEMBER 23, 2024
SHEET 3 OF 5



NC GRID NORTH
MADE3(2011)



MATCH LINE "A" - THIS SHEET

MATCH LINE "A" - THIS SHEET

MATCH LINE "B" - SHEET 5 OF 5

DANFORD & ASSOCIATES
LAND SURVEYING, P.C.

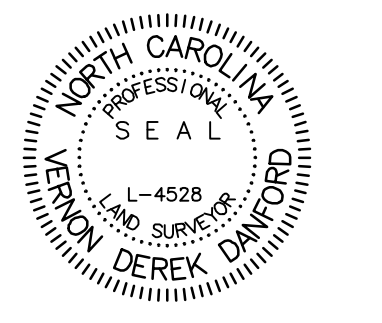
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FIRM LIC# C-2797
email: ddanf@danfordlandsurveying.com

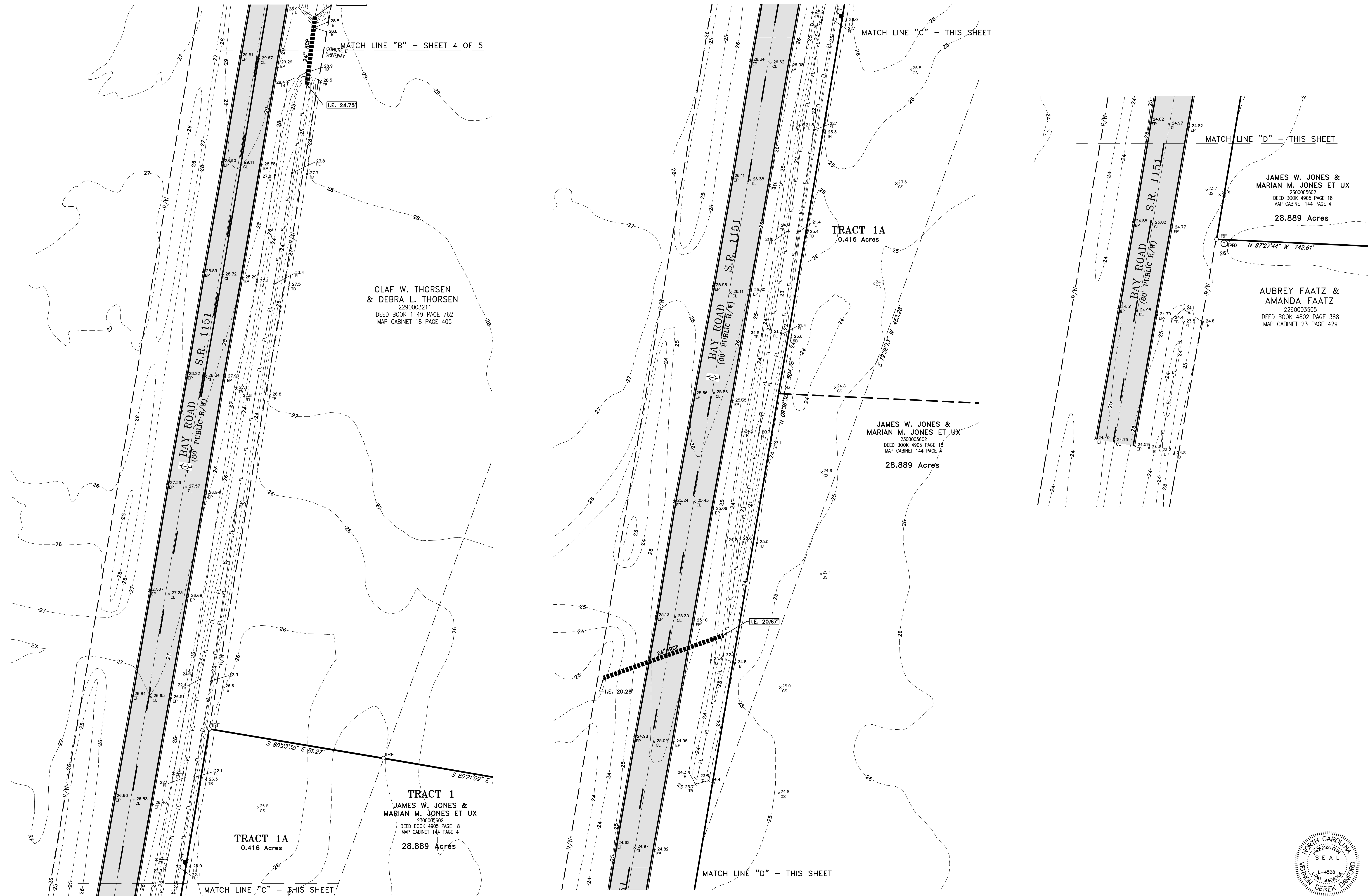
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SHALLOTTE TOWNSHIP BRUNSWICK COUNTY NORTH CAROLINA

DECEMBER 23, 2024 28.889 ACRES

1 INCH = 20 FEET
ONE FOOT CONTOUR INTERVAL - NAVD 88 DATUM
© DANFORD & ASSOCIATES LAND SURVEYING, PC



NC GRID NORTH
MADE3(2011)



OLAF W. THORSEN
& DEBRA L. THORSEN
2290003211
DEED BOOK 1149 PAGE 762
MAP CABINET 18 PAGE 405

TRACT 1A
0.416 Acres

JAMES W. JONES &
MARIAN M. JONES ET UX
2300005602
DEED BOOK 4905 PAGE 18
MAP CABINET 144 PAGE 4
28.889 Acres

JAMES W. JONES &
MARIAN M. JONES ET UX
2300005602
DEED BOOK 4905 PAGE 18
MAP CABINET 144 PAGE 4
28.889 Acres

AUBREY FAATZ &
AMANDA FAATZ
2290003505
DEED BOOK 4802 PAGE 388
MAP CABINET 23 PAGE 429

TRACT 1A
0.416 Acres

TRACT 1
JAMES W. JONES &
MARIAN M. JONES ET UX
2300005602
DEED BOOK 4905 PAGE 18
MAP CABINET 144 PAGE 4
28.889 Acres

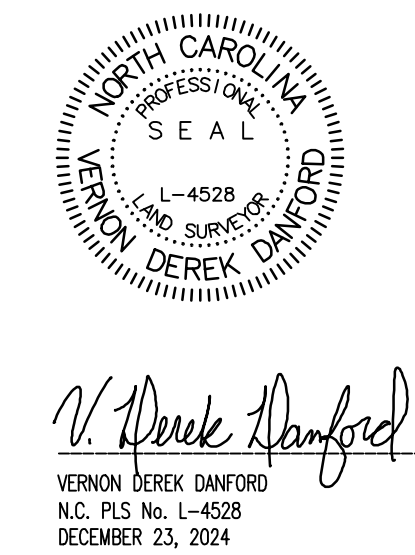
FB 8792_BAY RD-JONES TRACT (8669)

DANFORD & ASSOCIATES
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WILMINGTON, NC 28403
PHONE (910) 799-4916
FIRM LIC# C-2797
email: ddanford@danfordsurveying.com

BOUNDARY, TOPOGRAPHIC, TREE & 404 WETLANDS SURVEY FOR
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DECEMBER 23, 2024 28.889 ACRES
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SHEET 5 OF 5





TOWN OF SHALLOTTE

PLANNING & ZONING DEPARTMENT

Post Office Box 2287 • Shallotte, North Carolina 28459

Telephone: (910) 754-4032 • Facsimile: (910) 754-2740

December 19, 2024

Town of Shallotte Technical Review Committee
Brian Flear Attn:
1001 Military Cutoff, Suite 101
Wilmington, NC 28405

RE: Bay Road Landing PUD (Master Plan) & Annexation ANX 24-28

Mr. Flear,

Please find the notes below, which were compiled from the recent Technical Review Committee meeting of your project. I will need responses to each comment as well as revised preliminary plans that reflect those comments and updates.

I will place your rezoning/PUD on the next available Planning Board agenda and subsequent Board of Alderman agenda once your responses and revised master subdivision plans have been reviewed.

Planning

- 1. Label plan as PUD master plan
Master Plan shall be labeled PUD Master Plan with final submittal
- 2. It appears that the .83 acre parcel to the east (parcel 2300005003) has not been annexed this will need to be included with the annexation application
The .83 acre parcel has been submitted as a separate annexation application and Surveyor Derek Danford is preparing an annexation plat for submittal to the Town – Town staff has been in communication with the parcel ownership for proper signatures
- 3. Please provide the information detailed in Sections 4 & 5 of the PUD application
 - a. Staff suggests referencing the 2018 Shallotte CAMA Land Use Plan
Proposed Zoning District(s): ♦ PUD ♦ PRD Overlay Project to be developed in phases? NO Phases 25-acre, 75-lot single-family residential lot subdivision, 7,000 - 7,500 sq. ft. minimum lot size, 56-60-ft wide. Main Road throughout subdivision connecting Bay Rd to Weir Rd in the neighboring Forest Run - Village Point Rd subdivision. Project proposed to be a single-phase subdivision with Town of Shallotte sewer and Brunswick County water.

PROPOSED LAND USE MIX UNITS ACRES SQUARE FOOTAGE Single-Family Detached Residential NA Single-Family Attached Residential (Townhomes) NA Multi-Family Residential (Triplex, Quadraplex, Apartments, Condos) NA Office & Institutional (including religious, civic, and educational uses) Retail Other Non-retail Commercial Light Industrial Recreation & Open

Space (privately owned and maintained) NA - Recreation & Open Space (dedicated to Town of Shallotte

For PUDs: a Master Development Plan/Land Use Plan/Site Plan pursuant to Section 16-9 and Appendix IV.

- 4. Staff will need a list of adjacent property owners for notification of the public hearing
See annexation plat prepared by surveyor Derek Danford for names of adjoining property owners
- 5. Once approved, please include master plan sheet with all future plans and/or preliminary subdivision plans. Preliminary subdivision plan to be provided by Stroud Engineering and Derek Danford Surveying
- 6. Will the project be phased in any way? No Phasing proposed
- 7. Please provide the source (NCDOT manual) of the road design The basis for the roadway design is the current (2010 edition with the 2020 revisions) NCDOT Subdivision Road Minimum Construction Standards.
- 8. Please ensure that plans show proposed road is stubbed out to the southern boundary. As shown on current plan set
- 9. Please ensure that a sign is posted showing this as a future road connection for public use. Will provide

Please detail the cul-de-sac's lengths. Cul de sac lengths are:

- #1: 345'
- #2: 295'
- #3: 230'
- #4: 185'
- #6: 470'

- 10. Plans need to include the details listed in Sec. 16-10 (c); this should include open space details.
 - a. Note, SW ponds do not constitute open space – See open Space Exhibit as prepared by Stroud Eng
- 11. We will also need to see the draft HOA details listed in Sec. 16-11 – To be submitted at time of Final Plat
 - a. Please ensure that HOA covenants restrict on-street (public streets) parking or modify street design to account for on-street parking - On street parking to be restricted per HOA covenants
- 12. Please provide wetland delineations once approved by USACE 14. Are there any heritage trees on the site? See surveyed wetland delineation along with surveyed heritage trees – as prepared by Derek Danford Surveying
- 15. Street names are to be submitted to Brunswick County for approval. Stroud Eng to provide
- 16. Once the county approves street names and assigns street range, we will assign addresses.

- a. Please submit proposed road names to Brunswick County GIS and copy Debra Horn on correspondence. **Stroud Eng to provide**
- 17. Please note that the Town will only accept performance guarantees for incomplete sidewalks, all other work must be complete and inspected prior to final zoning inspection – **Understood**
- 18. Please ensure that all public infrastructure is dedicated to the Town prior to final zoning inspection/approval - **Understood**
- 19. The Town will review the street light plan site and Landscape Plan review **Understood**
- 20. To avoid confusion, Development signs should be considered during planning - see sign ordinance below. - **Understood**
- 21. Sign permit will be reviewed and issued separately. **Understood**
- 22. Sewer fees will be assessed based on current fee schedules and collected as phased site plans are receiving initial zoning approval - **Understood**
- 23. Will they be paying water/sewer assessment fees all at once or as they build each home or by Phase? If all at once or per Phase, I will need the bedroom count per home (per Phase). If they pay as they build, I will calculate the fees as they submit the zoning application per home. **To be paid at time of building permit application**
- 24. Must complete Zoning permit application and all fees must be paid prior to zoning permit approval. **Understood**
- 25. Please provide copies of any permits and delineations from USACE **Understood**
- 26. Please provide copy of NCDOT driveway permit and NCDEQ stormwater permit as they are obtained
- 27. **Understood**

Shallotte Public Utilities

- 1. Allocation of sewer is issued to only 60 lots at a time. **In communication with Town Planning that allocation of all 75-lots will be granted at one time**
- 2. Gravity sewer is to be installed wherever possible. Pressure Sewer is only allowed by the approval of the Board of Aldermen. (Code of Ordinances 52.030 B) **Noted, none proposed.**
 - a. No utility line may be placed deeper than 10’ **Noted.**
- 3. All sewer must be permitted by the state prior to construction of water/sewer lines, lift-stations, etc. **Noted.**
- 4. Lift station must be built according to state requirements and Town of Shallotte specs. **Noted.**
- 5. A final for the state permits we be required prior to any sewer connections. **Noted.**
- 6. Must have easement access to lift station and all sewer lines. **Noted.**
- 7. Lift station is to be located on a separate parcel which is included with the dedication of the utility to the Town. **Noted.**
- 8. All water and sewer lines are to have copper wiring for locating. **Tracer wire to be provided on water and PRESSURE sewer mains. Please confirm this is required on GRAVITY sewer.**

- 9. Any damage to pavement, concrete, etc. due to removing/replacing sewer tank or lines will not be the responsibility of the town. **Noted.**
 - 10. Need at least a 10-foot utility easement on both side of the roads **Noted.**
 - 11. Correct As-builds in CAD form need to be submitted to the Town’s engineer prior to c/o. **Noted.**
 - 12. Landscape cannot block access to water or sewer meter and lines or lift station(s). **Noted.**
 - 13. Need at least a 10-foot utility easement on both side of the roads (Dan may recommend a larger easement). **Noted.**
 - 14. Any amenities (clubhouse, pools, etc.) that require system development fees, need to apply for zoning compliance individually and pay system developing fees prior to issuing a zoning compliance. Debra Horn, CZO Development & Regulatory Compliance Manager dphorn@atmc.net **Noted, none proposed.**
-
- 1. Street names? **Developer to provide.**
 - 2. Please add something similar to the following to the master plan: “DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES” and “ALL EXISTING DITCHES AND OUTFALLS SHALL BE PROPERLY MAINTAINED AND FREE OF ALL VEGETATIVE DEBRIS OR ENCUMBRANCES” **Noted.**
 - 3. Plan on adding some form of odor control for the lift station. **Noted. I’m looking at providing some additional buffer between the lift station and lots.**
 - 4. Let’s talk about placement of lift station and routing of force main. **At your convenience.**

Further comment reserved for the submission of actual utility drawings.

Dan Formyduval, Public Works Utility Supervisor dformyduval@townofshallotte.org

Town Engineer Service

- 1.

David B. Bowman, PE, CFM
Town Engineer
dbowman@atmc.net

Shallotte FD

- 1. Attached separately **Comments have been reviewed and noted.**

Paul Dunwell, Shallotte Fire Chief

Brunswick County Plan Review (Fire Inspection)

- 1. Fire Hydrant flow for residential shall be minimum 1,000 GPM. **Noted.**
- 2. No hydrant plan is shown, hydrants be spaced in accordance with Brunswick County Engineering. Hydrants to be placed at entrance of subdivision and spaced at 500 feet. Hydrants should not be placed at dead ends unless exceeds distance from intersection. **Noted.**
- 3. Fire development permit will be required with Brunswick County before any construction or combustibles arrive on site **Noted.**
- 4. Need to apply for a fire development permit. **Noted.**
<https://www.brunswickcountync.gov/codeadministration/permits/>
 - a. Select Fire Application and complete all applicable fields. And upload civil/utility plans **Noted.**

Joe Oliver, Deputy Fire Marshal 910-253-2043 Joseph.oliver@brunswickcountync.gov

Floodplain

1. . NA

James Paggioli, CFM
Floodplain Administrator Brunswick
County
james.paggioli@brunswickcountync.gov

NCDOT

- 1. A driveway permit will be required. **Noted.**
- 2. NCDOT requires a protected stem length – preferably 50-100 feet. The stem length will need to be measured from the NCDOT R/W and labelled on submitted driveway plans to NCDOT **Noted.**
- 3. Site triangles are to be added from the ROW **Noted.**
- 4. If roads are to be public, they would need to be reviewed by NCDOT for Subdivision Review by Nick Drees. If town public roads, the would need to state not being accepted/approved by NCDOT as state maintained roadways. **They are to be TOS public, noted.**
- 5. Please follow the driveway permit checklist (attached). **Noted.**
- 6. Utilities will require an NCDOT encroachment agreement. **Noted.**
- 7. Driveway and utility encroachments to be submitted to NCDOT by use of the electronic portal: **Noted.**

<https://connect.ncdot.gov/municipalities/Utilities/Pages/help.aspx> Angela Hammers - Engineering
Technician III, NCDOT Div. 3 District 3 – (910) 398-9100 / 9119 - akhammers@ncdot.gov.

Sent via e-mail 12/19/2024
RW

Table 10-2: Table of Permitted Uses

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L1	HI	C	PUD
RESIDENTIAL – HOUSEHOLD LIVING															
DWELLING, MULTI-FAMILY [pursuant to 10-3(H)]	S	S	S				S	S	S	S					P
DWELLING, SINGLE-FAMILY (excluding manufactured homes)	P	P	P	P	P	P	S	S	S	S	P				P
DWELLING, TWO-FAMILY (DUPLEX)	P	S	P				S	S	S	S					P
MANUFACTURED HOME, CLASS A [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME, CLASS B [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME PARK [pursuant to 10-3(S)]			S			S									
RESIDENTIAL CLUSTER DEVELOPMENT [pursuant to Article 13]	S	S		S			S	S	S						S
Residential Micro-grid Solar Collector Battery Storage System (pursuant to Article 31)	P														
RESIDENTIAL – GROUP LIVING															
ADULT CARE HOME	S									S	S				
ALCOHOL AND/OR SUBSTANCE ABUSE REHABILITATION FACILITIES, RESIDENTIAL (Six or fewer residents)		P	P	P	P										
ASSISTED LIVING RESIDENCE	S							S		S	S				S
FAMILY CARE HOME	P	P	P	P	P	P		S	S	S	P				P
MULTI-UNIT ASSISTED HOUSING WITH SERVICES	S							S		S	S				S
NURSING HOME	S							S		S					P
ACCOMMODATION SERVICES															
BED AND BREAKFAST	S	S	S	S	S	S	S	S	S	S	S				S
MOTELS/HOTELS [pursuant to 10-3(V)]							S	S	S	S					
TRAVEL TRAILER AND RECREATIONAL VEHICLE PARKS/CAMPGROUNDS [pursuant to 10-3(FF)]	S		S			S				S					
PUBLIC & CIVIC															
ALCOHOLIC BEVERAGES PACKAGED, RETAIL							P	P							
AMBULANCE SERVICE/RESCUE SQUAD								P		P	P	P	P	P	
BOAT RAMPS									S						
NON-MOTORIZED (CANOES, KAYAKS, BOAT LAUNCH)							S								
BUILDINGS, GOVERNMENTAL	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
CEMETERY [pursuant to 10-3(D)]					S	S				S					S
CHURCH	S	S	S	S	S	S	S	P	P	P					P
CIVIC, CHARITABLE, POLITICAL, FRATERNAL, SOCIAL, AND RELIGIOUS ORGANIZATIONS							P	P		P	P				
GAZEBO/PIERS/DOCKS, COMMUNITY ¹ [pursuant to 10-3(K)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
GAZEBO/PIERS/DOCKS, PRIVATE ¹ [pursuant to 10-3(L)]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
GAZEBO/PIERS/DOCKS, PUBLIC ¹	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
HOSPITALS			P					P		P					
NATURE OBSERVATION POINTS	S	S	S	S	S	S	S	S	S	S	S				S
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, OWNED AND OPERATED BY NON-PROFIT CIVIC ORGANIZATIONS [pursuant to 10-3(Y)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P

¹As permitted by CAMA.

PERMITTED USES	MF-14/10/06	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, MUNICIPALLY OWNED	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
PARKS AND RECREATION AREAS (other governmental) [pursuant to 10-3(Z)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P
SCHOOL, PUBLIC AND PRIVATE	S	S	S	S	S	S	S	P		P					S
US POSTAL SERVICES							S	P		S		P			S
RECREATION, ENTERTAINMENT, AND PUBLIC ASSEMBLY															
ADULT AND SEXUALLY ORIENTED BUSINESSES [pursuant to Article 24]													S		
BILLIARD AND POOL HALLS								S		S					
BOWLING ALLEYS								P		P					
RECREATIONAL FACILITY (INDOOR-PRIVATE)							S	P	P	P	P				
DANCE HALLS										P					
DRIVE-IN THEATERS										S					
ELECTRONIC GAMING OPERATION [pursuant to 10-3(I)]												S			
ENTERTAINMENT ESTABLISHMENTS (GAMES, AMUSEMENT CENTERS, ETC.)							S	P		P					
GOLF COURSE, MINIATURE								S		S					
GOLF DRIVING RANGE								S		S					
GOLF, SWIMMING, AND TENNIS CLUBS [pursuant to 10-3(M)]	S	S		S	S	S	S	P	S	P					S
HEALTH CLUBS							S	P	P	P					P
INDOOR THEATER							P	P		P					
MARINA [pursuant to 10-3(T)]	S	S	S	S	S	S	S		P						S
RECREATION FACILITY, PRIVATE							S	S	S			S			S
SKATING RINKS								S		S					
VIDEO ARCADES							S	P		P					
COMMERCIAL SALES AND RENTALS															
ANTIQUE SHOPS							P	P	P	P	S				
ARTIST AND CRAFTSMAN STUDIOS, DISPLAYS, OR SHOPS							P	P	P	P					P
AUTOMOBILE AND TRUCK DEALERS								S		S		P			
AUTOMOBILE PARTS AND SUPPLY STORE								P		P					
AUTOMOBILE (INCLUDING TRUCKS) AND/OR TRAILER RENTALS							S	S		S					
BANKS, FINANCIAL INSTITUTIONS							P	P	P	P					P
BOAT SALES AND SERVICE								P	P	P					
BOAT STORAGE								S	S	S					
BOOK STORES							P	P		P					
BUILDING MATERIALS SALES AND STORAGE								S		S		P			
CARPET AND RUG DEALERS							S	P		P		P	P		
CELLULAR TELEPHONE STORES							P	P		P	P				
CLUB, PRIVATE							S			S					
COFFEE SHOPS							P	P		P					
CONVENIENCE FOOD STORES								P		P		P			P
CONVENIENCE STORES WITH EXISTING GAS PUMPS							S	P		P					P
CONVENIENCE STORES (NEW CONSTRUCTION) WITH GAS PUMPS								P		P					
CONSIGNMENT SHOPS, USED MERCHANDISE							P	P		P	P				

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
COMPUTER AND ASSOCIATED EQUIPMENT STORES							P	P		P					
ELECTRICAL AND ELECTRICAL MACHINERY, EQUIPMENT AND SUPPLIES								S		S		P			
FARMER'S MARKET							S	P		P		P			
FLEA MARKETS/VENDOR MARKETS							S	S		S		P			
FLORIST SHOPS							P	P	P	P					P
FOOD STORES (less than 5,000 SF)							P	P		P					P
FOOD, BEVERAGE, & CRAFT BREWING PROCESSING AND PRODUCTION WITH RETAIL SALES							P	P	P	P					
FUEL AND ICE DEALERS												S	S		
FURNITURE AND FIXTURES							S	P		P		P			
GAS COMPANIES												P	P		
GLASS AND MIRROR REPAIR SALES								P		P		P	P		
GROCERY STORES (5,000 SF or greater)							S	P		P					
HARDWARE STORES							S	S		S		P			P
ICE CREAM PARLORS AND LIKE ESTABLISHMENTS							P	P		P					
ICE VENDING MACHINES (AUTOMATIC)								P		P					
LAWN AND GARDEN STORES							P	P		P					
LEATHER PRODUCTS (no tanning)							P	P		P					
LUMBER AND WOOD PRODUCTS, SALES [pursuant to 10-3(O)]							S	S		S		P	P		
MANUFACTURED HOME SALES AND SERVICE										S					
MEASURING, ANALYZING, CONTROLLING, AND OPTICAL GOODS, WATCHES, CLOCKS							P	P		P		P			
MICROBREWERY (5,000 SF or less and production of less than 1,000 barrels per year)							P	P							
MOTION PICTURE PRODUCTION AND DISTRIBUTION												P	P		
MOTORCYCLE SALES AND SERVICES								S		S					
OUTSIDE STORAGE FACILITY [pursuant to 10-3(X)]								S							
PAWNSHOP OR USED MERCHANDISE STORE								P		P					
PET SALE & SUPPLIES (excluding kennel activities, breeding operations, and/or outside storage of animals)							P	P		P					
POTTERY AND RELATED PRODUCTS							P	P	P	P		P			
PRINTING AND PUBLISHING ESTABLISHMENTS							S	S		S		P	P		
PRINTING, COMMERCIAL							S	S		S		P	P		
RE-UPHOLSTERY AND FURNITURE REPAIR								P		P		P	P		
RECREATIONAL VEHICLE AND UTILITY TRAILER SALES AND SERVICE								S		S		P			
REFRIGERATION, HEATING, AND AIR CONDITIONING MACHINERY								S		S		P			
REPAIR SHOPS (radio, television, small appliances, shoes, etc.)							P	P		P		P	P		
RESTAURANTS							P	P	P	P					P
RETAIL SALES ESTABLISHMENTS (less than 5,000 SF)							P	P	P	P		P			P
RETAIL STORES (5,000 SF or greater)							S	P		P					
RETIREMENT/ELDERLY FACILITIES							P	P	S						P
SEAFOOD MARKET							P	P	P	P		P			
TOBACCO/VAPE SPECIALTY STORE [pursuant to 10-3 (GG)]								P		P		P			
TIRE DEALERS AND SERVICE								S		S		P			
UPHOLSTERY SHOPS								P		P		P	P		
VIDEO RENTAL							P	P		P					P

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
WATER DEPENDENT COMMERCIAL USES							S	S	S						
OFFICE AND COMMERCIAL SERVICE															
ALCOHOLIC AND/OR SUBSTANCE ABUSE REHABILITATION SERVICES, NON-RESIDENTIAL								P		P	P	P	P		
ANIMAL HOSPITALS/ VETERINARIANS [pursuant to 10-3(B)]								P		P					
AUTOMATED TELLER MACHINES (STAND ALONE)								P	P	P	P				
AUTOMOTIVE REPAIR FACILITY [Tier 1]										P		P			
AUTOMOTIVE REPAIR FACILITY [Tier 2]										S					
AUTOMOTIVE REPAIR FACILITY [Tier 3]												P			
AUTOMOBILE SERVICE STATION With Fuel Pumps								S		P					S
BARBER AND BEAUTY SHOPS							P	P	P	P	P				P
BAIL BONDING SERVICES								P		P	P				
CALL CENTER								P		P			P		
CAR WASHES								S		P		P			
CARPET AND UPHOLSTERY CLEANERS										S		P			
CATERING ESTABLISHMENTS							P	P	S	P					
COLLEGES, UNIVERSITIES, & PROFESSIONAL SCHOOLS								P		P	P				
CONTRACTORS, BUILDING (with storage)										S		P			
CONTRACTORS, EQUIPMENT										S		P			
CONTRACTORS, HEAVY CONSTRUCTION										S		P			
CONTRACTORS, SPECIAL TRADES (no storage)								P		P		P			
COPY CENTERS							P	P		P					
DAY CARE FACILITIES [pursuant to 10-3(F)]								P		P					S
DAY SPAS							P	P		P					
DIALYSIS CENTERS								P		P	P				
DIET CENTERS								P		P	P				
DRY CLEANERS AND LAUNDRIES [pursuant to 10-3(G)]							P	P		P		P			
ELECTRONIC DATA PROCESSING								P		P	P	P	P		
ENGINEERING, ARCHITECTURAL, AND SURVEYING OFFICES							P	P	P	P	P	P			
EXTERMINATING SERVICES												P	P		
FORTUNE TELLERS (to include Palm Readers, Crystal Ball Reading, Tarot Card Reading, and similar fortune telling techniques).								S		S		S			
FUNERAL HOME [pursuant to 10-3(J)]								S		S		S			
GROOMING SERVICES, ANIMALS								P		P		P	P		
INDUSTRIAL RESEARCH OFFICES AND LABORATORIES												P	P		
KENNEL OPERATIONS, BOARDERS, BREEDERS, AND ANIMAL SHELTERS (no outside pens, no permanent outside boarding, all operations must be located in the rear yard and must not be visible from any right-of-way) [pursuant to 10-3(N)]								S		S		P	P		
LABOR UNIONS							P	P		P					
LABORATORIES								P		P	P	P			
LOCKSMITH, GUNSMITH							P	P		P		P			
MENTAL HEALTH, INPATIENT											S	S			
OFFICE, ACCOUNTANTS CERTIFIED PUBLIC							P	P		P	P	P			
OFFICES, INCLUDING BUT NOT LIMITED TO PROFESSIONAL SERVICES (ATTORNEY, DOCTOR, HEALTHCARE PROFESSIONAL, STAFFING ETC.)							P	P	P	P	P	P			P

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L/I	HI	C	PUD
PHOTOGRAPHERS							P	P	P	P	P				P
SUBSTANCE ABUSE TREATMENT FACILITY, INPATIENT								S			S				
SUBSTANCE ABUSE TREATMENT FACILITY, OUTPATIENT								P		P	P				
TATTOO AND BODY PIERCING ESTABLISHMENTS [pursuant to 10-3(DD)]								S		S		S			
TAXIDERMIST								S				P	P		
TEACHING STUDIO (including fine arts, yoga, martial arts, etc.)							P	P		P	P				
VETERINARY SERVICES WITH CLOSED PENS												P	P		P
INDUSTRIAL, MANUFACTURING, AND HEAVY REPAIR															
APPAREL & ACCESSORY MANUFACTURING												P	P		
ASPHALT, CONCRETE, CEMENT, STONE MANUFACTURING													P		
AUTOMOBILE JUNKYARD [pursuant to 10-3(C)]										S			S		
BAKERY PRODUCT, CANDY, CONFECTIONARY MANUFACTURING												P	P		
BOAT AND SHIPBUILDING												P	P		
BOTTLING												P	P		
BRICK AND CLAY MANUFACTURING													P		
CABINET MAKING AND COUNTER TOP MANUFACTURING								S				P	P		
CARGO STORAGE CONTAINERS (including tractor trailers)										S		P	P		
CLOTHING AND FINISHED FABRIC PRODUCTS												P	P		
ELECTRIC MOTOR REPAIR												P			
INDUSTRIAL USES NOT HAVING AN INJURIOUS EFFECT ON THE TOWN												S	S		
MACHINERY (engines, construction tools) [pursuant to 10-3(P)]								S		S		P	P		
MANUFACTURING (textiles, clothing, scientific instruments, and small machine assembly)												P	P		
PAPERBOARD CONTAINERS AND BOXES												P	P		
QUARRY AND EXTRACTION OPERATION													S		
SCREW MACHINE PRODUCTS (bolts, nuts, screws)												P	P		
SMALL ENGINE REPAIR								S		S		P			
TEXTILES												P	P		
WELDING REPAIR								S		S		P	P		
TRANSPORTATION, WHOLESALING, AND WAREHOUSING															
BUS REPAIR AND STORAGE TERMINAL ACTIVITIES												S	S		
BUS STATIONS								P		P					
COMMERCIAL PARKING LOTS [pursuant to 10-3(E)]							S	S	S	S					S
GAS PUMPING STATIONS (unmanned, credit cards only)								P		P					
MOTOR FREIGHT TERMINALS												P	P		
MINI-STORAGE FACILITIES [pursuant to 10-3(U)]								S		S		P			
MINI-WAREHOUSING AND DRY STORAGE												P	P		
MOVERS, VAN LINES, AND STORAGE								S		S		P	P		
OFF-STREET AUTOMOBILE PARKING							P	P		P		P	P		P
PACKAGE DELIVERY SERVICES, COMMERCIAL								S		S		P			
SHIP CHANDLERS												P	P		
SHIPPING BROKERS, FREIGHT AND CARGO												P	P		

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L1	HI	C	PUD
TAXI STANDS LIMITED TO 5 TAXIS							P	P		P					
TOWING SERVICES								S	S			P			
WAREHOUSE								S	S			P	P		
WHOLESALE MERCHANTS								P	P			P	P		
WHOLESALE STORAGE OF GASOLINE OR BULK TERMINAL PLANTS [pursuant to 10-3(GG)]													S		
UTILITIES AND COMMUNICATIONS															
PUBLIC UTILITY STORAGE OR SERVICE YARDS								P		P		P	P		
PUBLIC UTILITY SUBSTATIONS/ SWITCHING STATIONS [pursuant to 10-3(BB)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
PUMP STATIONS (MUNICIPALLY OWNED)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
RADIO AND TELEVISION BROADCASTING STUDIOS							P	P		P		P			P
UTILITY STATIONS							S	S	S	S	S	P	P		P
TELECOMMUNICATION FACILITIES [pursuant to Article 18]	S	S	S	S	S	S	S	S	S	S		S	S	S	S
AGRICULTURAL AND FOOD PRODUCTION															
AGRICULTURAL, HORTICULTURAL, OR HUSBANDRY USES (excluding poultry houses and hog parlors)					P	P									
APICULTURE (BEEKEEPING)				P	P	P									
FISHING, COMMERCIAL									S			P	P		
FRUIT AND VEGETABLE MARKETS, WHOLESALE												P	P		
FOOD PROCESSING FACILITIES												P	P		
GREENHOUSES								P		P		P	P		
ACCESSORY AND TEMPORARY															
ACCESSORY DWELLING [pursuant to 10-4(A)]	P	P	P	P	P	P	P	S	S	S	S				P
ACCESSORY STRUCTURE [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P	P	P		P
ACCESSORY USES, OTHER [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P				P
ACCESSORY RETAIL [pursuant to 10-4(E)]							P	P	P	P	P	P	P		P
DRIVE-THROUGH FACILITIES							S	S		S	S				S
DUMPSTERS AND ENCLOSURES [pursuant to 10-4(B)]	P	T	T	T	T	T	S	P	P	P	P	P	P		P
HOME OCCUPATION [pursuant to 10-4(D)]	P	P	P	P	P	P	P	P	P	P					P
MODULAR/MOBILE OFFICE, TEMPORARY [pursuant to 10-3(S)]	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
OUTDOOR DISPLAY, OUTDOOR STORAGE, OUTDOOR SALES [pursuant to 10-3(X)]							S	P		P					
STORAGE, INDUSTRIAL [pursuant to 10-3(Y)]												P	P		
TEMPORARY USES, OTHER	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
VEHICLE STORAGE IN CONJUNCTION WITH REPAIR								S		P		P			

¹As permitted by CAMA.

(Ord. 07-33, 9/07; Ord. 09-04, 7/09; Ord. 09-06, 9/09; Ord. 10-15, 11/11; Ord. 11-12, 5/11; Ord. 11-17, 10/11; Ord. 12-02, 1/12; Ord. 13-01, 1/13; Ord. 14-12, 10/07/14; Ord. 14-16, 12/02/14; Ord. 15-01, 01/06/15; Ord. 15-07, 06/02/15; Ord. 15-10, 07/07/15; Ord. 15-14, 10/6/15; Ord. 15-15, 10/6/15; Ord. 16-02, 01/05/16; Ord. 16-08, 04/05/16; Ord. 16-09, 5/3/16; Ord. 16-12, 7/5/16; Ord. 16-13, 7/5/16; Ord. 16-16, 10/4/16; Ord. 17-7, 10/9/17; Ord. 19-03, 04/2/19; Ord. 20-04, 2/4/20; Ord. 20-05, 7/7/20; Ord. 23-10, 12/5/23)

LOW DENSITY RESIDENTIAL

Low density residential land uses are located at the fringe of the planning boundary, generally beyond the existing Town ETJ and in areas without direct access to primary roads. These areas are typically rural in nature with an existing low density residential development pattern. Water and sewer services are often not available in these areas. Appropriate uses include single-family residences, manufactured homes, agriculture and forestry activities, and neighborhood-scale institutional facilities. Commercial and industrial uses are generally inappropriate in these areas, as are large institutions and other significant traffic generators. Target densities are between zero (0) and three (3) dwelling units per acre.

Desired Uses:

- Single-family residential uses
- Recreation, parks, and open space

Low Density Residential

Inappropriate Uses:

- Non-residential development
- Multi-family residential uses
- Two-family residential uses

Desired Density:

- Residential uses: 3 dwelling units per acre

Planning Board Zoning Amendment Statement of Consistency

The Town of Shallotte *Planning Board* has reviewed in full the petition ANX #24-28 to rezone ±25 acres of real property (tax ID 2300005602) owned by James & Marion Jones from County R7500 to Shallotte PUD. After review of the petition, the Planning Board hereby *recommends* that the property be rezoned to PUD from its current zoning. In making this *recommendation*, the *Planning Board* finds that

[*check all that apply*]:

This request **(X) IS () IS NOT** consistent with the objectives and policies of the following plans adopted by the Town of Shallotte:

- It is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use (single-family homes) and density; and

This request **(X) IS () IS NOT** reasonable and in public interest:

- The proposed PUD master plan aligns with the Town's Future Land Use Map for low density residential development.

The proposed amendment(s) are in conformance with the following:

- UDO Table of Permitted Uses
- 2018 CAMA Land Use Plan
- Bike & Pedestrian Plan (If applicable)
- Future Land Use Map

Other comments:

3/11/2025
Date

Richard Grayson
Planning Board Chairman
Town of Shallotte

ORDINANCE: 25-09

**AN ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE TOWN OF SHALLOTTE,
NORTH CAROLINA
(NON-CONTIGUOUS ANNEXATION)**

WHEREAS, the Town of Shallotte has been petitioned under G.S. 160A-58.1 to annex the are described below; and

WHEREAS, the Town of Shallotte has by resolution directed the Town Clerk to investigate the sufficiency of the petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at the Shallotte Town Hall at 5:15 p.m. (or soon thereafter) on April 1, 2025 after due notice by publication; and

WHEREAS, the Town of Shallotte finds that the area described therein meets the standards of G.S. 160A-58.1 (b), to wit:

- a. The nearest point on the proposed satellite corporate limits is not more than three (3) miles from the corporate limits of the Town;
- b. No point on the proposed satellite corporate limits is closer to another municipality than to the Town;
- c. The area described is so situated that the Town will be able to provide the same services within the proposed satellite corporate limits that is provided within the primary corporate limits;
- d. No subdivision, as defined in G.S. 160A-376, will be fragmented by the proposed annexation;
- e. The area within the proposed satellite corporate limits, when added to the area within all other satellite corporate limits, does not exceed ten percent (10%) of the area within the primary corporate limits of the Town; and

WHEREAS, the Town of Shallotte further finds that the petition has been signed by all the owners of real property in the area who are required by law to sign; and

WHEREAS, the Town of Shallotte further finds that the petition is otherwise valid and that the public health, safety and welfare of the Town and of the area proposed for annexation will be best served by annexing the area described:

NOW, THEREFORE, BE IT ORDAINED by the Board of Aldermen of the Town of Shallotte, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-58.2, the following described non-contiguous territory is hereby annexed and made part of the Town of Shallotte as of April 1, 2025.

Beginning at an iron rod (set) in the eastern right of line of Bay Road (N.C.S.R. 1511-60' Public Right of Way), said rod marking the northwestern corner of Tract 1A-R as shown on map recorded in Map Cabinet 165 Page 2,

Running thence, from the point of beginning, along and with said line of Bay Road North 09 degrees 36 minutes 30 seconds East 238.78 feet to an iron rod (found), said iron rod marking the southwestern corner of a tract conveyed to Olaf W. Thorsen & Debra L. Thorsen in Deed Book 1149 Page 762, said Thorsen tract having a Tax Parcel ID 2290003211;

Running thence with a southern line of said Thorsen tract, South 80 degrees 23 minutes 30 seconds East 81.27 feet to an iron rod (found);

Thence continuing with another southern line of said tract South 80 degrees 21 minutes 09 seconds East 90.77 feet to an iron rod (found) marking the southeastern corner of said Thorsen tract;

Running thence with the eastern line of said Thorsen tract North 07 degrees 00 minutes 00 seconds East 398.92 feet to an iron rod (found) marking the northeastern corner of said Thorsen tract and the southeastern corner of a parcel conveyed to James M. Huddleston in Deed Book 1137 Page 1084;

Running thence with the eastern line of said Huddleston tract and the eastern line of a tract conveyed to Earl Butterworth & Laurie Butterworth in Deed Book 2020 Page 461 North 20 degrees 07 minutes 14 seconds East 142.69 feet to an iron rod (found) marking the southwestern corner of a tract of land conveyed to Hector M. Santiago & Amand R. Sanchez in Deed Book 4797 Page 1014;

Running thence with the southern line of said Santiago tract South 71 degrees 16 minutes 44 seconds East 177.31 feet to and iron pipe (found);

Thence continuing with another southern line of said Santiago tract South 71 degrees 00 minutes 58 seconds East 162.52 feet to an iron rod (found) marking the southern corner of said tract and the southwestern corner of a lot conveyed to James A. Stanley & Lena Stanley in Deed Book 4797 Page 1061;

Running thence with a southern line of said Stanley tract South 71 degrees 38 minutes 59 seconds East 14.79 feet to and iron rod (set);

Thence continuing with another southern line of said Stanley tract South 78 degrees 54 minutes 50 seconds East 105.52 feet to a tall iron pipe marking the southeastern corner of said Stanley tract and the southwestern corner of a tract conveyed to Jeffery E. McDonald, Jr. and Kimberly H. McDonald in Deed Book 4238 Page 274;

Running thence with the southern line of said McDonald tract South 72 degrees 31 minutes 10 seconds East 229.73 feet to an iron rod (set) marking the southeastern corner of said McDonald tract and the southwestern corner of a parcel conveyed to John M. Faulner & Irene B. Faulkner in Deed Book 3472 Page 592;

Running thence with the southern line of said Faulkner parcel North 79 degrees 00 minutes 58 seconds East 151.09 feet to and iron rod (set) marking the southeastern corner of said Falkner parcel and the southwestern corner of a parcel conveyed to Roberth Harford & Valerie Harford in Deed Book 3515 Page 810;

Running thence with a southern line of said Harford parcel North 79 degrees 11 minutes 22 seconds East 44.22 feet to an iron rod (set);

Thence continuing with another southern line of said Harford parcel and the southern line of a tract conveyed to Glen N. Williamson, Jr. in Deed Book 4909 Page 204, South 78 degrees 36 minutes 39 seconds East 349.75 feet to an iron rod (found) marking the southeastern corner of said Williamson tract and being in the western line of Tract B as conveyed to 1295 Village Point Road, LLC in Deed Book 5068 Page 85, said rod having NC Grid-NAD 83 (2011) coordinates; N 67,641.35, E 2,187,337.03 and combined factor of 1.00013734 ;

Running thence with said line of Tract B, South 04 degrees 52 minutes 02 seconds West 927.04 feet to an iron rod (found) in the northern line of a tract conveyed to Kurt A. Kocek in Deed Book 3576 Page 1267 and marking the southwestern corner of the above referenced Tract B, said rod having NC Grid coordinates; N 66,717.66, E 2,187,258.37;

Running thence with the northern line of said Kocek tract North 80 degrees 00 minutes 36 seconds West 735.67 feet to an iron rod (found) marking the northwestern corner of said Kocek tract and the northeastern corner of a tract conveyed to Aubrey Faatz & Amanda Faatz in Deed Book 4802 Page 388;

Running thence with said northern line North 87 degrees 27 minutes 44 seconds West 96.61 feet to and iron rod (set) marking the southeastern corner of Tract 1A-R of the James W. Jones and wife, Marian M. Jones Tract Division as shown of Map Cabinet 165 Page 2;

Running thence with the eastern line of said Tract 1A-R, North 02 degrees 41 minutes 58 seconds East 262.00 feet to an iron rod (set) marking the northeastern corner of Tract 1A-R;

Running thence with the northern line of Tract 1A-R, North 87 degrees 16 minutes 39 seconds West 614.00 feet to the point of beginning.

Being all of Tract 1-R of the James W. Jones and wife, Marian M. Jones Tract as shown on Map Cabinet 165 Page 2 of the Brunswick County Register of Deeds Office.

Containing 25.085 acres, more or less.

And

Beginning at an iron rod found and said iron rod found being the southwestern corner of Tract B, of the 1295 Village Point Road LLC Lands, as recorded in Deed Book 5068 Page 85, said beginning point having NC Grid-NAD 83 Coordinates of N 66,717.66, E 2,187,258.37 and Combined Factor of 1.00013734;

running thence from said described point of beginning along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and the James W. Jones and Marion M. Jones Tract as recorded in Deed Book 4905 page 18, North 04 degrees 52 minutes 02 seconds East 927.04 feet to an iron rod found being the northeast corner of the said James W. Jones and Marion M. Jones Tract, and also being the southeastern corner of the Glen N. Williamson, Jr. Tract as recorded in Deed Book 4909 Page 204, said iron rod found having NC Grid-NAD 83 Coordinates of N 67,641.35, E 2,187,337.03;

running thence from said iron rod found along and with the division line of said Glen N. Williamson, Jr. Tract and Tract B, of the 1295 Village Point Road LLC Lands, North 04 degrees 59 minutes 02 seconds East 39.76 feet to an iron rod found being the northern corner of the Tract B, of the 1295 Village Point Road LLC Lands, said iron rod found having NC Grid-NAD 83 Coordinates of N 67,680.96, E 2,187,340.48;

Map_____ Page_____

running thence from said iron rod found along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and Tract A of the 1295 Village Point Road LLC Lands, as recorded in Deed Book 5068 Page 88, South 00 degrees 28 minutes 20 seconds West 975.85 feet to an iron rod set and being the southeast corner of the said Tract B and the southwest corner of said Tract A, and also falling in the northern line of the Kurt A. Kocek Tract as recorded in Deed Book 3576 Page 1267, said iron rod found having NC Grid-NAD 83 Coordinates of N 66,705.12, E 2,187,332.44;

running thence from said iron rod set along and with the division line of said Tract B, of the 1295 Village Point Road LLC Lands and the said Kurt A. Kocek Tract, North 80 degrees 23 minutes 37 seconds West 75.12 feet to point of beginning.

Containing 0.83 acres, more or less.

Section 2. Upon and after an effective date of April 1, 2025, the above described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the Town of Shallotte and shall be entitled to the same privileges and benefits as other parts of the Town of Shallotte. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor of the Town of Shallotte shall cause to be recorded in the office of the Register of Deeds of Brunswick County and in the office of the Secretary of State in Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the County Board of Elections as required by G.S. 163-288.1.

Adopted this 1st day of April 2025.

Mayor

ATTEST:

Town Clerk

APPLICANT: James & Marian Jones (Bay Road SW – PID 2300005602) & 1295 Village Point Road, LLC. (PID 2300005003)

**Brunswick County
North Carolina**

I certify that the following persons personally appeared before me this day, and I have personal knowledge of the identity of the principals; each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose state therein and in the capacity indicated: Town Clerk.

Notary Public

My Commission Expires:

Map_____ Page_____

Board of Aldermen Zoning Amendment Statement of Consistency

The Town of Shallotte *Board of Aldermen* have reviewed in full the petition ANX #24-28 to rezone ±25 acres of real property (tax ID 2300005602) owned by James & Marion Jones from County R7500 to Shallotte PUD.

After review of the petition, the Board hereby **APPROVES** **DENIES** that the property be rezoned to PUD from its current zoning.

In taking this action, the *Board* finds that [check all that apply]:

This request **(X) IS () IS NOT** consistent with the objectives and policies of the following plans adopted by the Town of Shallotte:

- It is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use (single-family homes) and density; and

This request **(X) IS () IS NOT** reasonable and in public interest:

- The proposed PUD master plan aligns with the Town's Future Land Use Map for low density residential development.

The proposed amendment(s) are in conformance with the following:

- (X) UDO Table of Permitted Uses
- (X) 2018 CAMA Land Use Plan
- () Bike & Pedestrian Plan (If applicable)
- (X) Future Land Use Map

Other comments:

Date

Mayor
Town of Shallotte



Town of Shallotte Board of Aldermen
ACTION AGENDA ITEM
2025

TO: Board of Aldermen

ACTION ITEM #: ANX 25-07

FROM: Brandon Eaton, Planner II

MEETING DATE: 4/01/2025

DATE SUBMITTED: _____

ISSUE/ACTION REQUESTED: **PUBLIC HEARING:** YES NO
Review the petition for annexation (ANX #25-07), along with the supporting documentation, conduct a public hearing, and take action upon the request.

BACKGROUND/PURPOSE OF REQUEST:
The property owners of the parcels in question have submitted a petition for annexation & rezoning of property located near Greenwich St. and Copas Rd., (PID#s 2140005803, 214IA005, 214IA006, 214IA007, 214IA008, 214IA009, 214IA004, 214IA012, 214IA011, 214IA010, 214IA013, 214IA016, 214IA014, 214IA003, 214IA002, & 214IA001).

The property is vacant and is intended for new single-family home construction.

The property in question is located in the Town’s extra territorial jurisdiction (ETJ). As part of this process, the property owner has requested that this parcel be zoned Residential (R-10). The property is currently zoned Residential Agricultural 15 (RA-15). The R-10 district is congruent with the surrounding in-town zoning district and adjacent parcels, and the area is designated as “medium density” on our Future Land Use Map.

The surrounding properties are zoned as follows:

- North- RA-15
- South- CO-R-7500
- East- RA-15
- West- RA-15

The Board may:
Vote to recommend the annexation as proposed; or
Vote to recommend denying the annexation as proposed; or
Continue the item until additional information is presented.

FISCAL IMPACT:

- BUDGET AMENDMENT REQUIRED:** YES NO
- CAPITAL PROJECT ORDINANCE REQUIRED:** YES NO
- PRE-AUDIT CERTIFICATION REQUIRED:** YES NO
- REVIEWED BY DIRECTOR OF FISCAL OPERATIONS** YES NO

CONTRACTS/AGREEMENTS:

- REVIEWED BY TOWN ATTORNEY:** YES NO N/A

ADVISORY BOARD RECOMMENDATION: The Town of Shallotte Planning Board voted to recommend rezoning from the current zoning to R-10 at their 3/11/2025 meeting.

STAFF RECOMMENDATION: Staff recommends that the Board approves the annexation as presented.

FINANCE RECOMMENDATION: NA

ATTACHMENTS:

1. Area map
2. Annexation Petition
3. Clerk Certification
4. Medium Density Residential Description
5. Table of Permitted Uses
6. Planning Board Statement of Consistency
7. BOA Draft Statement of Consistency
8. Draft Ordinance

<u>ACTION OF THE BOARD OF ALDERMEN</u>	
APPROVED: <input type="checkbox"/> DENIED: <input type="checkbox"/> DEFERRED UNTIL: _____ OTHER:	ATTEST: _____ CLERK TO THE BOARD <hr/> SIGNATURE

Petition Requesting Voluntary Contiguous Annexation

TO THE BOARD OF ALDERMEN OF THE TOWN OF SHALLOTTE, NORTH CAROLINA:

1. We the undersigned owner(s) of real property respectfully request that the area described in paragraph 2 below be annexed to the TOWN OF SHALLOTTE.
2. The area to be annexed is contiguous to the Town of Shallotte and the boundaries of such territory are described in the attached metes and bounds description (Exhibit "A") and annexation map (Exhibit "B"), attached hereto and incorporated herein by reference.

Vested rights, with respect to such property, have not been established, under N.C.G.S. 160A-385.1, except as described in Exhibit "C", attached hereto and incorporated herein by reference.

Respectfully,

Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
All-In, LLC by Samuel N. Varnam Managing Member	1574 Monster Buck Est NW Supply, NC 28462	2140005803 & see below	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	All-In LLC by Samuel N. Varnam managing member	3-25-25
All-In, LLC by Lisa Lewis Varnam Managing Member	1574 Monster Buck Est NW Supply, NC 28462	2140005803 & see below	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	All-In, LLC by Lisa Lewis Varnam Managing member	3/25/25
		214IA001 214IA002 214IA003	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
		214IA004 214IA005 214IA006	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
		214IA007 214IA008 214IA009	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
		214IA010 214IA011 214IA012	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
		214IA013 214IA014 214IA016	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		

CERTIFICATE OF SUFFICIENCY

Re: Petition for Annexation

Applicant: All-In, LLC
Managing Members: Samuel N. Varnam
Lisa Lewis Varnam

Address: Copas Tract
PID#s: 2140005803, 214IA001, 214IA002, 214IA003, 214IA004, 214IA005,
214IA006, 214IA007, 214IA008, 214IA009, 214IA010, 214IA011, 214IA012,
214IA013, 214IA014, 214IA016

To: The Mayor and Board of Aldermen of the Town of Shallotte, North Carolina:

I, Natalie Goins, Town Clerk, do hereby certify that I have investigated the petition attached hereto and found as a fact that said petition is signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-31, as amended, and in all respects appears to be valid and sufficient.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Shallotte, this 25th day of March, 2025.



Natalie Goins

Natalie Goins, Town Clerk

Parcels: 2140005803

Zoom to

Property Tax Cards

[2024 Tax Card](#)

[2023 Tax Card](#)

[2022 Tax Card](#)

[2021 Tax Card](#)

[2020 Tax Card](#)

Parcel Information

Parcel ID: 2140005803

Parcel PIN: 108719721168

Calc. Acreage: 22.33

Legal Description

22.50 AC PLAT P/204

Owner Information

Owner Name:

ALL IN LLC

Mailing Address:

1574 MONSTER BUCK EST NW

SUPPLY, NC 28462-3802

Deed and Plat References

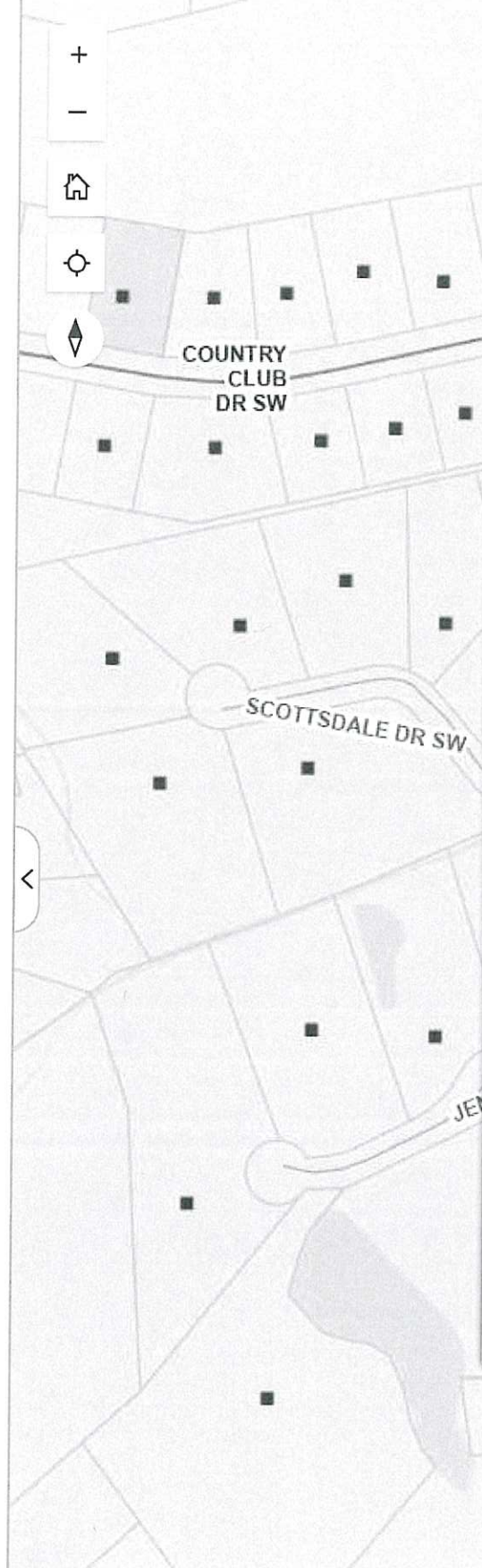
Deed Book: 05053

Deed Page: 0661

Plat Book:00000

Plat Page: 00000

[PARCEL PHOTO](#)



Brunswick County
GIS Data Viewer

100 m
200 ft

2140005803



Draw



Measure...



Print

Search

Share

Secretary of State
Elaine F. Marshall

MENU

Home Business Registration Search Limited Liability Company

Limited Liability Company

Actions

- [File an Annual Report/Amend an Annual Report](#)
- [Online Filing](#)
- [Order a Document Online](#)
- [Add Entity to My Email Notification List](#)
- [View Filings](#)
- [Print a Pre-Populated Annual Report form](#)
- [Print an Amended a Annual Report form](#)

Legal name: All-In, LLC

Secretary of State Identification Number (SOSID): 0714371

Status: Current-Active

Citizenship: Domestic

Date formed: 3/3/2004

Registered agent: [Samuel N. Varnam](#)

mailing address

1574 Monster Buck Estates
Supply, NC 28462

Principal office address

1574 Monster Buck Estates
Supply, NC 28462

Registered office address

1574 Monster Buck Estates
Supply, NC 28462

Registered mailing address

1574 Monster Buck Estates
Supply, NC 28462

Company officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

- **Managing Member**

[Lisa Lewis Varnam](#)

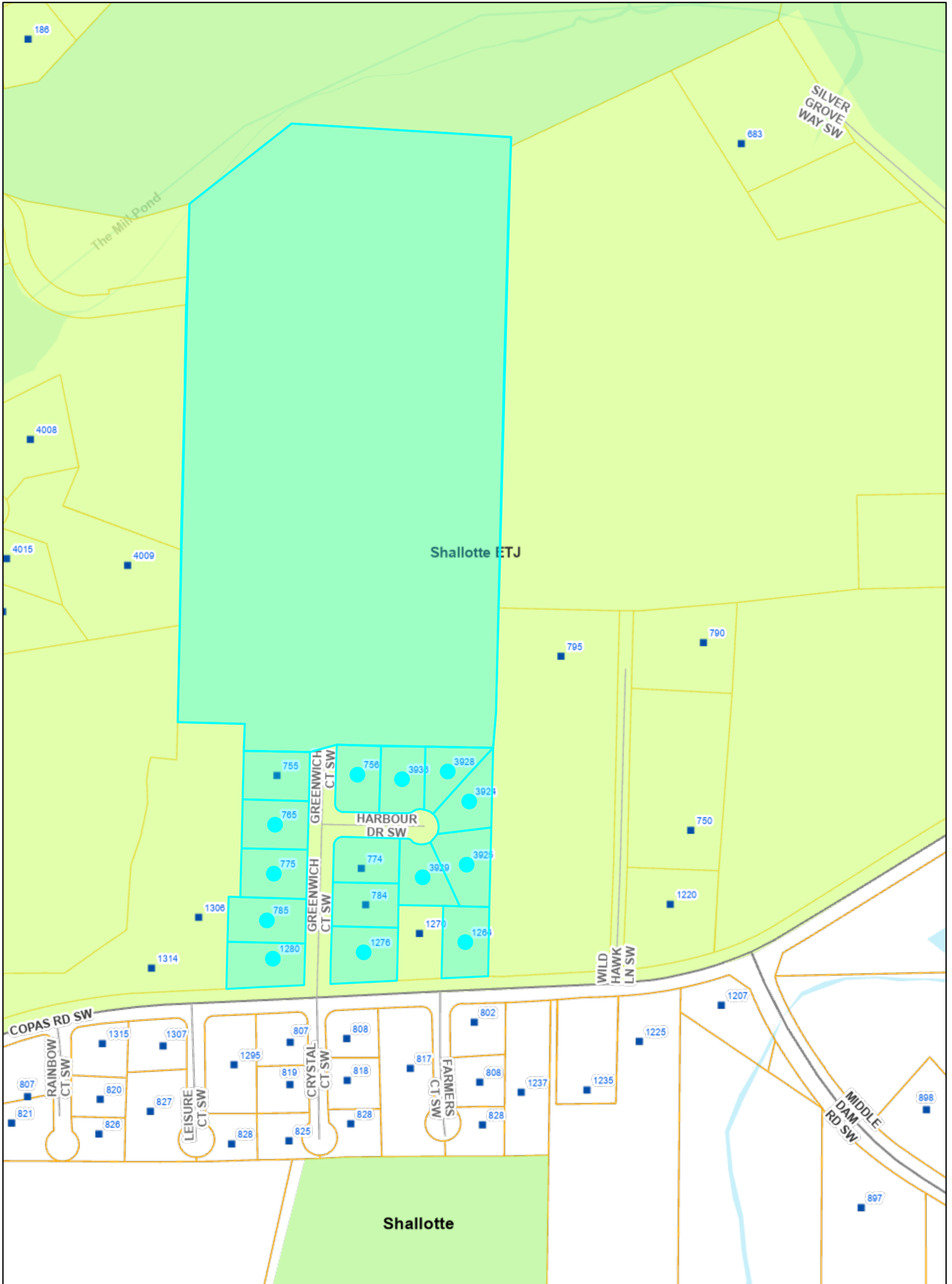
1574 Monster Buck Estates
Supply NC 28462

- **Managing Member**








[Samuel N. Varnam](#)

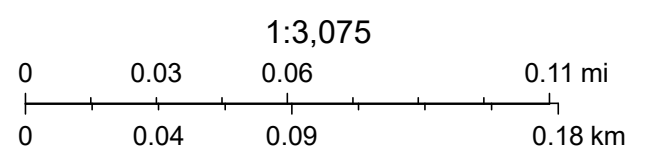
1574 Monster Buck Estates
Supply NC 28462

Brunswick County GIS Data Viewer



1/17/2025, 1:54:46 PM

- | | |
|--|--|
|  County Boundary | Roads |
|  Parcels |  State Road |
| Municipalities |  Minor |
|  Shalotte City |  Addresses |
|  Shalotte ETJ | |



MEDIUM DENSITY RESIDENTIAL

Medium density residential land uses are generally located within the extraterritorial planning jurisdiction (ETJ) boundary and are, for the most part, existing residential subdivisions and nearby vacant properties not designated for commercial use. Appropriate uses include single-family residences and subdivisions, duplexes, community recreation and open space uses like golf courses and pools, and neighborhood-scale institutional uses such as religious and civic organizations.

Planned communities may also include well-integrated multi-family and single-family attached residences and limited neighborhood-scale commercial and office uses. Industrial and manufacturing uses, as well as commercial and office uses not located within a planned community are inappropriate. Large institutional uses, such as high schools, community colleges, and mega-churches are also generally inappropriate. Target densities are between four (4) and six (6) dwelling units per acre.

Medium Density Residential

Desired Uses:

- Single-family residential uses
- Two-family residential uses
- Townhouse development
- Age appropriate retirement housing
- Recreation, parks, and open space

Inappropriate Uses:

- Multi-family residential uses
- Commercial, office, and institutional development
- Industrial development

Desired Density:

- Residential uses: 6 dwelling units per acre

Table 10-2: Table of Permitted Uses

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
RESIDENTIAL – HOUSEHOLD LIVING															
DWELLING, MULTI-FAMILY [pursuant to 10-3(H)]	S	S	S				S	S	S	S					P
DWELLING, SINGLE-FAMILY (excluding manufactured homes)	P	P	P	P	P	P	S	S	S	S	P				P
DWELLING, TWO-FAMILY (DUPLEX)	P	S	P				S	S	S	S					P
MANUFACTURED HOME, CLASS A [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME, CLASS B [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME PARK [pursuant to 10-3(S)]			S			S									
RESIDENTIAL CLUSTER DEVELOPMENT [pursuant to Article 13]	S	S	S	S	S	S	S	S	S	S					S
Residential Micro-grid Solar Collector Battery Storage System (pursuant to Article 31)	P														
RESIDENTIAL – GROUP LIVING															
ADULT CARE HOME	S									S	S				
ALCOHOL AND/OR SUBSTANCE ABUSE REHABILITATION FACILITIES, RESIDENTIAL (Six or fewer residents)		P	P	P	P										
ASSISTED LIVING RESIDENCE	S							S		S	S				S
FAMILY CARE HOME	P	P	P	P	P	P		S	S	S	P				P
MULTI-UNIT ASSISTED HOUSING WITH SERVICES	S							S		S	S				S
NURSING HOME	S							S		S					P
ACCOMMODATION SERVICES															
BED AND BREAKFAST	S	S	S	S	S	S	S	S	S	S	S				S
MOTELS/HOTELS [pursuant to 10-3(V)]							S	S	S	S					
TRAVEL TRAILER AND RECREATIONAL VEHICLE PARKS/CAMPGROUNDS [pursuant to 10-3(FF)]	S		S			S				S					
PUBLIC & CIVIC															
ALCOHOLIC BEVERAGES PACKAGED, RETAIL							P	P							
AMBULANCE SERVICE/RESCUE SQUAD								P		P	P	P	P	P	
BOAT RAMPS									S						
NON-MOTORIZED (CANOES, KAYAKS, BOAT LAUNCH)							S								
BUILDINGS, GOVERNMENTAL	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
CEMETERY [pursuant to 10-3(D)]					S	S				S					S
CHURCH	S	S	S	S	S	S	S	P	P	P					P
CIVIC, CHARITABLE, POLITICAL, FRATERNAL, SOCIAL, AND RELIGIOUS ORGANIZATIONS							P	P		P	P				
GAZEBO/PIERS/DOCKS, COMMUNITY ¹ [pursuant to 10-3(K)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
GAZEBO/PIERS/DOCKS, PRIVATE ¹ [pursuant to 10-3(L)]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
GAZEBO/PIERS/DOCKS, PUBLIC ¹	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
HOSPITALS			P					P		P					
NATURE OBSERVATION POINTS	S	S	S	S	S	S	S	S	S	S	S				S
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, OWNED AND OPERATED BY NON-PROFIT CIVIC ORGANIZATIONS [pursuant to 10-3(Y)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P

¹As permitted by CAMA.

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, MUNICIPALLY OWNED	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
PARKS AND RECREATION AREAS (other governmental) [pursuant to 10-3(Z)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P
SCHOOL, PUBLIC AND PRIVATE	S	S	S	S	S	S	S	P		P					S
US POSTAL SERVICES							S	P		S		P			S
RECREATION, ENTERTAINMENT, AND PUBLIC ASSEMBLY															
ADULT AND SEXUALLY ORIENTED BUSINESSES [pursuant to Article 24]													S		
BILLIARD AND POOL HALLS								S		S					
BOWLING ALLEYS								P		P					
RECREATIONAL FACILITY (INDOOR-PRIVATE)							S	P	P	P	P				
DANCE HALLS										P					
DRIVE-IN THEATERS										S					
ELECTRONIC GAMING OPERATION [pursuant to 10-3(I)]												S			
ENTERTAINMENT ESTABLISHMENTS (GAMES, AMUSEMENT CENTERS, ETC.)							S	P		P					
GOLF COURSE, MINIATURE								S		S					
GOLF DRIVING RANGE								S		S					
GOLF, SWIMMING, AND TENNIS CLUBS [pursuant to 10-3(M)]	S	S		S	S	S	S	P	S	P					S
HEALTH CLUBS							S	P	P	P					P
INDOOR THEATER							P	P		P					
MARINA [pursuant to 10-3(T)]	S	S	S	S	S	S	S		P						S
RECREATION FACILITY, PRIVATE							S	S	S			S			S
SKATING RINKS								S		S					
VIDEO ARCADES							S	P		P					
COMMERCIAL SALES AND RENTALS															
ANTIQUe SHOPS							P	P	P	P	S				
ARTIST AND CRAFTSMAN STUDIOS, DISPLAYS, OR SHOPS							P	P	P	P					P
AUTOMOBILE AND TRUCK DEALERS								S		S		P			
AUTOMOBILE PARTS AND SUPPLY STORE								P		P					
AUTOMOBILE (INCLUDING TRUCKS) AND/OR TRAILER RENTALS							S	S		S					
BANKS, FINANCIAL INSTITUTIONS							P	P	P	P					P
BOAT SALES AND SERVICE								P	P	P					
BOAT STORAGE								S	S	S					
BOOK STORES							P	P		P					
BUILDING MATERIALS SALES AND STORAGE								S		S		P			
CARPET AND RUG DEALERS							S	P		P		P	P		
CELLULAR TELEPHONE STORES							P	P		P	P				
CLUB, PRIVATE							S			S					
COFFEE SHOPS							P	P		P					
CONVENIENCE FOOD STORES								P		P		P			P
CONVENIENCE STORES WITH EXISTING GAS PUMPS							S	P		P					P
CONVENIENCE STORES (NEW CONSTRUCTION) WITH GAS PUMPS								P		P					
CONSIGNMENT SHOPS, USED MERCHANDISE							P	P		P	P				

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
COMPUTER AND ASSOCIATED EQUIPMENT STORES							P	P		P					
ELECTRICAL AND ELECTRICAL MACHINERY, EQUIPMENT AND SUPPLIES								S		S		P			
FARMER'S MARKET							S	P		P		P			
FLEA MARKETS/VENDOR MARKETS							S	S		S		P			
FLORIST SHOPS							P	P	P	P					P
FOOD STORES (less than 5,000 SF)							P	P		P					P
FOOD, BEVERAGE, & CRAFT BREWING PROCESSING AND PRODUCTION WITH RETAIL SALES							P	P	P	P					
FUEL AND ICE DEALERS												S	S		
FURNITURE AND FIXTURES							S	P		P		P			
GAS COMPANIES												P	P		
GLASS AND MIRROR REPAIR SALES								P		P		P	P		
GROCERY STORES (5,000 SF or greater)							S	P		P					
HARDWARE STORES							S	S		S		P			P
ICE CREAM PARLORS AND LIKE ESTABLISHMENTS							P	P		P					
ICE VENDING MACHINES (AUTOMATIC)								P		P					
LAWN AND GARDEN STORES							P	P		P					
LEATHER PRODUCTS (no tanning)							P	P		P					
LUMBER AND WOOD PRODUCTS, SALES [pursuant to 10-3(O)]							S	S		S		P	P		
MANUFACTURED HOME SALES AND SERVICE										S					
MEASURING, ANALYZING, CONTROLLING, AND OPTICAL GOODS, WATCHES, CLOCKS							P	P		P		P			
MICROBREWERY (5,000 SF or less and production of less than 1,000 barrels per year)							P	P							
MOTION PICTURE PRODUCTION AND DISTRIBUTION												P	P		
MOTORCYCLE SALES AND SERVICES								S		S					
OUTSIDE STORAGE FACILITY [pursuant to 10-3(X)]								S							
PAWNSHOP OR USED MERCHANDISE STORE								P		P					
PET SALE & SUPPLIES (excluding kennel activities, breeding operations, and/or outside storage of animals)							P	P		P					
POTTERY AND RELATED PRODUCTS							P	P	P	P		P			
PRINTING AND PUBLISHING ESTABLISHMENTS							S	S		S		P	P		
PRINTING, COMMERCIAL							S	S		S		P	P		
RE-UPHOLSTERY AND FURNITURE REPAIR								P		P		P	P		
RECREATIONAL VEHICLE AND UTILITY TRAILER SALES AND SERVICE								S		S		P			
REFRIGERATION, HEATING, AND AIR CONDITIONING MACHINERY								S		S		P			
REPAIR SHOPS (radio, television, small appliances, shoes, etc.)							P	P		P		P	P		
RESTAURANTS							P	P	P	P					P
RETAIL SALES ESTABLISHMENTS (less than 5,000 SF)							P	P	P	P		P			P
RETAIL STORES (5,000 SF or greater)							S	P		P					
RETIREMENT/ELDERLY FACILITIES							P	P	S						P
SEAFOOD MARKET							P	P	P	P		P			
TIRE DEALERS AND SERVICE								S		S		P			
UPHOLSTERY SHOPS								P		P		P	P		
VIDEO RENTAL							P	P		P					P
WATER DEPENDENT COMMERCIAL USES							S	S	S						

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
OFFICE AND COMMERCIAL SERVICE															
ALCOHOLIC AND/OR SUBSTANCE ABUSE REHABILITATION SERVICES, NON RESIDENTIAL								P		P	P	P	P		
ANIMAL HOSPITALS/ VETERINARIANS [pursuant to 10-3(B)]								P		P					
AUTOMATED TELLER MACHINES (STAND ALONE)								P	P	P	P				
AUTOMOBILE BODY REPAIR GARAGES								S		S		P			
AUTOMOBILE OIL CHANGE AND LUBRICATION SHOPS								S		S					
AUTOMOBILE SERVICE STATION								S		S					S
BARBER AND BEAUTY SHOPS							P	P	P	P	P				P
BAIL BONDING SERVICES								P		P	P				
CALL CENTER								P		P			P		
CAR WASHES								S		P		P			
CARPET AND UPHOLSTERY CLEANERS										S		P			
CATERING ESTABLISHMENTS							P	P	S	P					
COLLEGES, UNIVERSITIES, & PROFESSIONAL SCHOOLS								P		P	P				
CONTRACTORS, BUILDING (with storage)										S		P			
CONTRACTORS, EQUIPMENT										S		P			
CONTRACTORS, HEAVY CONSTRUCTION										S		P			
CONTRACTORS, SPECIAL TRADES (no storage)								P		P		P			
COPY CENTERS							P	P		P					
DAY CARE FACILITIES [pursuant to 10-3(F)]								P		P					S
DAY SPAS							P	P		P					
DIALYSIS CENTERS								P		P	P				
DIET CENTERS								P		P	P				
DRY CLEANERS AND LAUNDRIES [pursuant to 10-3(G)]							P	P		P		P			
ELECTRONIC DATA PROCESSING								P		P	P	P	P		
ENGINEERING, ARCHITECTURAL, AND SURVEYING OFFICES							P	P	P	P	P	P			
EXTERMINATING SERVICES												P	P		
FORTUNE TELLERS (to include Palm Readers, Crystal Ball Reading, Tarot Card Reading, and similar fortune telling techniques).								S		S		S			
FUNERAL HOME [pursuant to 10-3(J)]								S		S		S			
GROOMING SERVICES, ANIMALS								P		P		P	P		
INDUSTRIAL RESEARCH OFFICES AND LABORATORIES												P	P		
KENNEL OPERATIONS, BOARDERS, BREEDERS, AND ANIMAL SHELTERS (no outside pens, no permanent outside boarding, all operations must be located in the rear yard and must not be visible from any right-of-way) [pursuant to 10-3(N)]								S		S		P	P		
LABOR UNIONS							P	P		P					
LABORATORIES								P		P	P	P			
LOCKSMITH, GUNSMITH							P	P		P		P			
MENTAL HEALTH, INPATIENT											S	S			
OFFICE, ACCOUNTANTS CERTIFIED PUBLIC							P	P		P	P	P			
OFFICES, INCLUDING BUT NOT LIMITED TO PROFESSIONAL SERVICES (ATTORNEY, DOCTOR, HEALTHCARE PROFESSIONAL, STAFFING ETC.)							P	P	P	P	P	P			P
PHOTOGRAPHERS							P	P	P	P	P				P
SUBSTANCE ABUSE TREATMENT FACILITY, INPATIENT								S			S				

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
SUBSTANCE ABUSE TREATMENT FACILITY, OUTPATIENT								P		P	P				
TATTOO AND BODY PIERCING ESTABLISHMENTS [pursuant to 10-3(DD)]								S		S		S			
TAXIDERMIST								S				P	P		
TEACHING STUDIO (including fine arts, yoga, martial arts, etc.)							P	P		P	P				
VETERINARY SERVICES WITH CLOSED PENS												P	P		P
INDUSTRIAL, MANUFACTURING, AND HEAVY REPAIR															
APPAREL & ACCESSORY MANUFACTURING												P	P		
ASPHALT, CONCRETE, CEMENT, STONE MANUFACTURING													P		
AUTOMOBILE JUNKYARD [pursuant to 10-3(C)]										S			S		
BAKERY PRODUCT, CANDY, CONFECTIONARY MANUFACTURING												P	P		
BOAT AND SHIPBUILDING												P	P		
BOTTLING												P	P		
BRICK AND CLAY MANUFACTURING													P		
CABINET MAKING AND COUNTER TOP MANUFACTURING								S				P	P		
CARGO STORAGE CONTAINERS (including tractor trailers)										S		P	P		
CLOTHING AND FINISHED FABRIC PRODUCTS												P	P		
ELECTRIC MOTOR REPAIR												P			
INDUSTRIAL USES NOT HAVING AN INJURIOUS EFFECT ON THE TOWN												S	S		
MACHINERY (engines, construction tools) [pursuant to 10-3(P)]								S		S		P	P		
MANUFACTURING (textiles, clothing, scientific instruments, and small machine assembly)												P	P		
PAPERBOARD CONTAINERS AND BOXES												P	P		
QUARRY AND EXTRACTION OPERATION													S		
SCREW MACHINE PRODUCTS (bolts, nuts, screws)												P	P		
SMALL ENGINE REPAIR								S		S		P			
TEXTILES												P	P		
WELDING REPAIR								S		S		P	P		
TRANSPORTATION, WHOLESALING, AND WAREHOUSING															
BUS REPAIR AND STORAGE TERMINAL ACTIVITIES												S	S		
BUS STATIONS								P		P					
COMMERCIAL PARKING LOTS [pursuant to 10-3(E)]							S	S	S	S					S
GAS PUMPING STATIONS (unmanned, credit cards only)								P		P		P			
MOTOR FREIGHT TERMINALS												P	P		
MINI-STORAGE FACILITIES [pursuant to 10-3(U)]								S		S		P			
MINI-WAREHOUSING AND DRY STORAGE												P	P		
MOVERS, VAN LINES, AND STORAGE								S		S		P	P		
OFF-STREET AUTOMOBILE PARKING							P	P		P		P	P		P
PACKAGE DELIVERY SERVICES, COMMERCIAL								S		S		P			
SHIP CHANDLERS												P	P		
SHIPPING BROKERS, FREIGHT AND CARGO												P	P		
TAXI STANDS LIMITED TO 5 TAXIS							P	P		P					
TOWING SERVICES								S		S		P			

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
WAREHOUSE								S	S			P	P		
WHOLESALE MERCHANTS								P		P		P	P		
WHOLESALE STORAGE OF GASOLINE OR BULK TERMINAL PLANTS [pursuant to 10-3(GG)]													S		
UTILITIES AND COMMUNICATIONS															
PUBLIC UTILITY STORAGE OR SERVICE YARDS								P		P		P	P		
PUBLIC UTILITY SUBSTATIONS/ SWITCHING STATIONS [pursuant to 10-3(BB)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
PUMP STATIONS (MUNICIPALLY OWNED)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
RADIO AND TELEVISION BROADCASTING STUDIOS							P	P		P		P			P
UTILITY STATIONS							S	S	S	S	S	P	P		P
TELECOMMUNICATION FACILITIES [pursuant to Article 18]	S	S	S	S	S	S	S	S	S	S		S	S	S	S
AGRICULTURAL AND FOOD PRODUCTION															
AGRICULTURAL, HORTICULTURAL, OR HUSBANDRY USES (excluding poultry houses and hog parlors)					P	P									
APICULTURE (BEEKEEPING)				P	P	P									
FISHING, COMMERCIAL									S			P	P		
FRUIT AND VEGETABLE MARKETS, WHOLESALE												P	P		
FOOD PROCESSING FACILITIES												P	P		
GREENHOUSES								P		P		P	P		
ACCESSORY AND TEMPORARY															
ACCESSORY DWELLING [pursuant to 10-4(A)]	P	P	P	P	P	P	P	S	S	S	S				P
ACCESSORY STRUCTURE [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P	P	P		P
ACCESSORY USES, OTHER [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P				P
ACCESSORY RETAIL [pursuant to 10-4(E)]							P	P	P	P	P	P	P		P
DRIVE-THROUGH FACILITIES							S	S		S	S				S
DUMPSTERS AND ENCLOSURES [pursuant to 10-4(B)]	P						S	P	P	P	P	P	P		P
HOME OCCUPATION [pursuant to 10-4(D)]	P	P	P	P	P	P	P	P	P	P					P
MODULAR/MOBILE OFFICE, TEMPORARY [pursuant to 10-3(S)]	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
OUTDOOR DISPLAY, OUTDOOR STORAGE, OUTDOOR SALES [pursuant to 10-3(X)]							S	P		P					
STORAGE, INDUSTRIAL [pursuant to 10-3(Y)]												P	P		
TEMPORARY USES, OTHER	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
VEHICLE STORAGE IN CONJUNCTION WITH REPAIR								S		S					

¹As permitted by CAMA.

(Ord. 07-33, 9/07; Ord. 09-04, 7/09; Ord. 09-06, 9/09; Ord. 10-15, 11/11; Ord. 11-12, 5/11; Ord. 11-17, 10/11; Ord. 12-02, 1/12; Ord. 13-01, 1/13; Ord. 14-12, 10/07/14; Ord. 14-16, 12/02/14; Ord. 15-01, 01/06/15; Ord. 15-07, 06/02/15; Ord. 15-10, 07/07/15; Ord. 15-14, 10/6/15; Ord. 15-15, 10/6/15; Ord. 16-02, 01/05/16; Ord. 16-08, 04/05/16; Ord. 16-09, 5/3/16; Ord. 16-12, 7/5/16; Ord. 16-13, 7/5/16; Ord. 16-16, 10/4/16; Ord. 17-7, 10/9/17; Ord. 19-03, 04/2/19; Ord. 20-04, 2/4/20; Ord. 20-05, 7/7/20)

Planning Board Zoning Amendment Statement of Consistency

The Town of Shallotte *Planning Board* has reviewed in full the petition ANX #24-20 to rezone ±29.42 acres of real property (tax IDs 2140005803, 214IA005, 214IA006, 214IA007, 214IA008, 214IA009, 214IA004, 214IA012, 214IA011, 214IA010, 214IA013, 214IA016, 214IA014, 214IA003, 214IA002, & 214IA001) owned by All-In, LLC from RA-15 to R-10. After review of the petition, the Planning Board hereby *recommends* that the property be rezoned to R-10 from its current zoning. In making this *recommendation*, the *Planning Board* finds that [*check all that apply*]:

This request **IS** () **IS NOT** consistent with the objectives and policies of the following plans adopted by the Town of Shallotte; *and*

- It is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use (single-family homes) and density.

This request **IS** () **IS NOT** reasonable and in public interest; *and*

- The proposed rezoning aligns with the Town's Future Land Use Map for medium density residential development.

In making this *recommendation*, the **Table of Permitted Uses** included in the **Town of Shallotte Unified Development Ordinance** has been reviewed by the *Planning Board*
 YES () **NO**

The proposed amendment(s) are in conformance and consistent with the following:

- (X) UDO Table of Permitted Uses
- (X) 2018 CAMA Land Use Plan
- () Bike & Pedestrian Plan (If applicable)
- (X) Future Land Use Map

Other comments:

Date: 3/11/2025

Richard Gorman
Planning Board Chairman
Town of Shallotte

ORDINANCE 25-07

ORDINANCE OF THE TOWN OF SHALLOTTE, NORTH CAROLINA TO EXTEND THE CORPORATE LIMITS OF THE TOWN OF SHALLOTTE, NORTH CAROLINA (CONTIGUOUS ANNEXATION)

WHEREAS, the Town of Shallotte has been petitioned under G.S. 160A-31 to annex the area described below; and

WHEREAS, the Town of Shallotte has the resolution directing the Town Clerk to investigate the sufficiency of the petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at 5:15 p.m. on April 01, 2025 after notice by publication; and

WHEREAS, the Town of Shallotte finds that the petition meets the requirements of G.S. 160A-31;

NOW, THEREFORE BE IT ORDAINED by the Board of Aldermen of the Town of Shallotte, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-31, the following described territory is hereby annexed and made part of the Town of Shallotte as of April 01, 2025;

Lot 0 - 2140005803

Beginning at a point being the northeast corner of Lot 8, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N51°47'26"W, 734.07 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from the beginning point and with the northern lot lines of Lots 6, 7 and 8, Greenwich Harbor Villas, N88°50'23"W, 355.73 to a point; thence S75°24'16"W, 62.34 feet to a point; thence N88°50'26"W, 150.00 feet to a point; thence N01°09'36"E, 59.16 feet to a point; thence S89°10'08"W, 145.72 feet to a point; thence N00°55'17"E, 1188.31 feet to a point, said point being in the southern boundary line of the lands claimed by Robert H. White as recorded in Deed Book 3519, Page 238 (Map Cabinet 75, Page 1), Brunswick County Registry; thence with

Map _____ Page # _____

the southernly boundary line of Robert H. White, N52°42'46"E, 290.28 feet to a point; thence S86°29'51"E, 493.23 feet to a point; thence S03°19'37"E, 18.56 feet to a point; said point being the northwest corner of a parcel of land claimed by Olive King as shown on Map Cabinet I, Page 65, Brunswick County Registry; thence with the Olive King line S01°23'54"W, 1049.40 feet to a point; said point being the northwest corner of a parcel claimed by Marlowe Farm, LLC as recorded in Deed Book 3819, Page 158 (Map Cabinet 22, Page 280); thence S01°19'44"W, 317.91 feet to the place and point of beginning.

Containing 22.48 acres as shown on a survey titled "Annexation Survey For Town of Shallotte, NC" as prepared by Christopher D. Stanley, PLS dated August 5, 2024 to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 1

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point in the northern right of way line of SR 1191 Copas Road (60' Public Right of Way), said point being located S85°44'39"W, 1182.29 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way), said point also being the southwestern corner of Lot 1, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds.

Thence from said beginning point N01° 21'57"E, 106.93 feet to a point, thence S88°50'26"E, 175.03 feet to a point on the westerly right of way line of Greenwich Court (60' Private Right of Way), thence along said easterly right of way, S01° 09'34"W, 93.76 feet to a point in the northerly right of way of SR 1191 Copas Road (60' Public Right of Way); thence S86° 51'56"W, 175.91 feet to the place and point of beginning.

Containing 0.40 acres and being all of Lot 1, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 2

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southwestern corner of Lot 2, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N89°04'00"W, 1176.63 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point $N01^{\circ} 21'57''E$, 99.82 feet to a point, thence $S89^{\circ}16'25''E$, 24.67 feet to a point; thence $S88^{\circ}50'20''E$, 150.00 feet to a point on the westerly right of way line of Greenwich Court (60' Private Right of Way), thence along said easterly right of way, $S01^{\circ} 09'34''W$, 100.00 feet to a point; thence $N88^{\circ} 50'26''W$, 175.03 feet to the place and point of beginning.

Containing 0.40 acres and being all of Lot 2, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 3

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southwestern corner of Lot 3, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located $N84^{\circ}06'26''W$, 1155.54 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point $N01^{\circ} 09'34''E$, 110.00 feet to a point; thence $S88^{\circ}50'26''E$, 150.00 feet to a point on the westerly right of way line of Greenwich Court (60' Private Right of Way), thence along said westerly right of way, $S01^{\circ} 09'34''W$, 110.00 feet to a point; thence $N88^{\circ} 50'20''W$, 150.00 feet to the place and point of beginning.

Containing 0.38 acres and being all of Lot 3, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 4

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southwestern corner of Lot 4, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located $N78^{\circ}43'47''W$, 1169.76 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point $N01^{\circ}09'34''E$, 110.00 feet to a point; thence $S88^{\circ}50'26''E$, 150.00 feet to a point on the westerly right of way line of Greenwich Court

(60' Private Right of Way), thence along said westerly right of way, S01° 09'34"E, 110.00 feet to a point; thence N88° 50'26"W, 150.00 feet to the place and point of beginning.

Containing 0.38 acres and being all of Lot 4, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deed to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 5

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southwestern corner of Lot 5, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N73°31'34"W, 1193.99 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point N01°09'34"E, 110.00 feet to a point; thence S88°50'26"E, 150.00 feet to a point on the westerly right of way line of Greenwich Court (60' Private Right of Way), thence along said westerly right of way, S01°09'34"W, 110.00 feet to a point; thence N88° 50'26"W, 150.00 feet to the place and point of beginning.

Containing 0.38 acres and being all of Lot 5, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 6

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the northeastern corner of Lot 6, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N61°06'55"W, 950.68 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, S01°09'34"W, 150.00 feet to a point on the northerly right of way line of Harbor Drive (60' Private Right of Way); thence with said northerly right of way line of Harbor Drive, N88°50'26"W, 80.00 feet to a point of curvature with a curve to the right having a radius of 20.00 feet and a chord bearing and distance of N43°50'26"W, 28.28 feet to a point on the easterly right of way line of Greenwich Court (60' Private Right of Way); thence along said easterly right of way line of Greenwich

Court, N01°09'34"E, 130.00 feet to a point; thence S88°50'26"E, 100.00 to the place and point of beginning.

Containing 0.34 acres and being all of Lot 6, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 7

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the northeastern corner of Lot 7, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N58°01'36"W, 863.41 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, S01°09'34"W, 140.00 feet to a point on the northerly right of way line of Harbour Drive (60' Private Right of Way); thence with a curve to the left having a radius of 40.00 feet and a chord bearing and distance of S74°22'50"W 23.09 feet to a point of reverse curvature; thence with a curve to the right having a radius of 20.00 feet and a chord bearing and distance are as follows, S74°22'51"W, 11.55 feet to a point; thence N88°50'26"W, 66.83 feet to a point in the northern right of way line of Harbour Drive; thence N01°09'34"E, 155.00 to a point; thence S88°50'26"E, 100.00 feet to the place and point of beginning.

Containing 0.34 acres and being all of Lot 7, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North

Lot 8

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the northeast corner of Lot 8, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N51°47'26"W, 734.07 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, S42°00'46"W, 197.97 feet to a point on the northerly right of way line of Harbour Drive (60' Private Right of Way); thence with curve to the

left having a radius of 40.00 feet and a chord bearing and distance of N68°24'51"W, 27.92 feet to a point; thence N01°09'34"E, 140.00 feet to a point; thence S88°50'26"E, 155.66 to the place and point of beginning.

Containing 0.31 acres and being all of Lot 8, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 9

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 9, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N64°44'33"W, 642.38 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, N88°50'26"W, 115.13 feet to a point on the right of way line of Harbour Drive (60' Private Right of Way); thence with a curve to the left having a radius of 40.00 feet and a chord bearing and distance of N23°24'50"W, 33.27 feet to a point; thence N42°00'46"E, 197.97 feet to a point; thence S01°19'44"W, 180.00 to the place and point of beginning.

Containing 0.30 acres and being all of Lot 9, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 10

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 10, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N80°51'36"W, 592.67 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, N88°50'26"W, 65.00 feet to a point; thence N25°18'13"W, 161.07 feet to a point on the southerly right of way line of Harbour Drive (60' Private Right of Way); thence with a curve to the left having a radius of 40.00 feet and a chord bearing and distance of N32°55'40"E, 42.12 feet to a point; thence

S88°50'26"E, 115.13 feet to a point; thence S01°19'44"W, 180.00 to the place and point of beginning.

Containing 0.43 acres and being all of Lot 10, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 11

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southwest corner of Lot 11, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N82°54'20"W, 795.80 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, N01°09'34"E, 150.00 feet to a point in the southerly right of way line of Harbour Drive (60' Private Right of Way); thence with said southerly right of way line of Harbour Court, S88°50'26"E, 16.83 feet to a point; thence with a curve to the right having a radius of 20.00 feet and a chord bearing and distance of S72°03'43"E, 11.55 feet to a point of reverse curvature; thence with a curve to the left having a radius of 40.00 feet and a chord bearing and distance of S85°17'36"E, 40.01 feet; thence S25°18'13"W, 161.07 feet to a point; thence N88°50'26"W, 139.60 feet to the place and point of beginning.

Containing 0.34 acres and being all of Lot 11, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 12

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 12, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N79°21'10"W, 802.51 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, N88°50'26"W, 150.00 feet to a point in the eastern right of way line of Greenwich Court (60' Private Right of Way); thence with the eastern

right of way line of Greenwich Court, N01°09'34"E, 80.00 feet to a point; thence with a curve to the right having a radius of 20.00 feet and a chord bearing and distance of N46°09'35"E, 28.28 feet to a point in the southerly right of way line of Harbour Drive (60' Private Right of Way); thence with said southern right of way line of Harbour Drive, N88°50'26"E, 130.00 feet; thence S01°09'34"W, 100.00 feet to the place and point of beginning.

Containing 0.34 acres and being all of Lot 12, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 13

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 13, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located N86°30'18"W, 792.19 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point, N88°50'26"W, 150.00 feet to a point in the eastern right of way line of Greenwich Court (60' Private Right of Way); thence, with said eastern right of way line of Greenwich Court, N01°09'34"E, 100.00 feet to a point; thence S88°50'26"E, 150.00 feet to a point; thence S01°09'34"W, 100.00 feet to the place and point of beginning.

Containing 0.34 acres and being all of Lot 13, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 14

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 14, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located S85°10'49"W, 795.87 from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point and with the northern right of way line of SR 1191 Copas Road (60' Public Right of Way), S86°54'19"W, 150.47 feet to a point of intersection with its eastern right of way line of Greenwich Court (60' Private Right of Way); thence, with the eastern right of way line of Greenwich Court, N01°09'34"E, 126.35 feet to a point; thence S88°50'26"E, 150.00 feet to a point; thence S01°09'34"W, 115.19 feet to the place and point of beginning.

Containing 0.42 acres and being all of Lot 14, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Lot 16

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point being the southeastern corner of Lot 16, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds; said point being located S84°35'00"W, 591.27 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way).

Thence from said beginning point and with the northern right of way line of SR 1191 Copas Road (60' Public Right of Way), N86°54'19"W, 102.36 feet to a point; thence N01°09'34"E, 157.59 feet to a point; thence S88°50'26"E, 102.52 feet to a point; thence S01°19'44"W, 150.00 feet to the place and point of beginning.

Containing 0.36 acres and being all of Lot 16, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Existing Street R/W Within Greenwich Harbor Villas

Being all that certain tract or parcel of land lying and being in Shallotte Township, Brunswick County, North Carolina and being more particularly described as follows:

Beginning at a point in the intersection of the northern right of way line of SR 1191 Copas Road (60' Public Right of Way) and the western right of way line of Greenwich Court (60' Private Right of Way); said point being located S85°32'54"W, 1006.42 feet from a PK Nail found in the approximate intersection of SR 1191 Copas Road and SR 1146 Middle Dam Road (60' Public Right of Way), said point also being the southeast corner of Lot 1, Phase 1, Greenwich Harbor Villas as recorded in Map Cabinet R, Page 240 in the Brunswick County Register of Deeds.

Thence from said beginning point and with the western right of way line of Greenwich Court, N01°09'34"E, 523.76 feet to a point; thence N75°24'16"E, 62.34 feet to a point in the eastern right of way line of Greenwich Court; thence with the eastern right of way line of Greenwich Court, S01°09'34"W, 130.00 feet to a point; thence with a curve to the left having a radius of 20.00 feet and a chord bearing and distance of S43°50'25"E, 28.28 feet to a point in the northern right of way line of Harbour Court (60' Private Right of Way); thence with the northern right of way line of Harbour Court, S88°50'23"E, 146.90 feet to a point; thence with a curve to the left having a radius of 20.00 feet and a chord bearing and distance of N74°22'53"E, 11.55 feet to a point; thence with a curve to the right having a radius of 40.00 feet and a chord bearing and distance of S01°09'37"W, 66.67 feet to a point in the southern right of way line of Harbour Court; thence with the southern right of way line of Harbour Court and with a curve to the left having a radius of 20.00 feet and a chord bearing and distance of N72°03'40"W, 11.55 feet to a point; thence N88°50'23"W, 146.90 to a point; thence with a curve to the left having a radius of 20.00 feet and a chord bearing and distance of S46°09'35"W, 28.28 feet to a point in the eastern right of way line of Greenwich Court; thence with the eastern right of way line of Greenwich Court, S01°09'34"W, 306.35 feet to a point in the northern right of way line of SR 1191 Copas Road aforesaid mentioned; thence with the northern right of way line of SR 1191 Copas Road, S87°01'17"W, 60.16 feet to the place and point of beginning.

Containing 1.08 acres and being all of the land within the rights of way of Greenwich Court and Harbour Court referenced above and to which reference is hereby made for a more full and accurate description. All bearings have been rotated to NC Grid North.

Adopted this 1st day of April, 2025.

Walt Eccard, Mayor

ATTEST:

Natalie Goins, Town Clerk

APPLICANT: All-In, Inc. (PID#s 2140005803, 214IA005, 214IA006, 214IA007, 214IA008, 214IA009, 214IA004, 214IA012, 214IA011, 214IA010, 214IA013, 214IA016, 214IA014, 214IA003, 214IA002, & 214IA001)

Map _____ Page # _____

I certify that Natalie Goins personally appeared before me this 1st day of April, 2025 and I have personal knowledge of the identity of the principal; acknowledging to me that she voluntarily signed the forgoing document for the purpose stated therein and in the capacity indicated: Town Clerk

Maria O. Gaither, Notary Public

(Seal)

My Commission Expires: February 19, _____

STATE OF NORTH CAROLINA
County of Brunswick

Clerk’s Certification

The undersigned, Natalie Goins, Clerk to the Board of Aldermen of the Town of Shallotte, North Carolina, hereby certifies that Ordinance 25-07 attached hereto for the Town of Shallotte is a true and accurate copy of the ordinance adopted unanimously by the Board of Aldermen for the Town of Shallotte, North Carolina on the 1st day of April, 2025; that the ordinance was duly adopted during a session of the Board of Aldermen and remains in full force and effect; and that the Board of Aldermen has taken no action which would in any manner modify or repeal the terms of such ordinance; and that the same remains in full force and effect as of the date hereof.

This the 1st day of April, 2025.

Natalie Goins, Town Clerk
Town of Shallotte

Board of Aldermen Zoning Amendment Statement of Consistency

The Town of Shallotte *Board of Aldermen* has reviewed in full the petition ANX #25-07 to rezone ±29.42 acres of real property (tax IDs 2140005803, 214IA005, 214IA006, 214IA007, 214IA008, 214IA009, 214IA004, 214IA012, 214IA011, 214IA010, 214IA013, 214IA016, 214IA014, 214IA003, 214IA002, & 214IA001) owned by All-In, LLC from RA-15 to R-10. After review of the petition, the Board hereby *approve* that the property be rezoned to R-10 from its current zoning. In this *approval*, the *Board of Aldermen* finds that [check all that apply]:

This request (X) IS () IS NOT consistent with the objectives and policies of the following plans adopted by the Town of Shallotte; *and*

- It is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use (single-family homes) and density.

This request (X) IS () IS NOT reasonable and in public interest; *and*

- The proposed rezoning aligns with the Town's Future Land Use Map for medium density residential development.

In making this *approval*, the **Table of Permitted Uses** included in the **Town of Shallotte Unified Development Ordinance** has been reviewed by the *Board of Aldermen*
(X) YES () NO

The proposed amendment(s) are in conformance and consistent with the following:

- (X) UDO Table of Permitted Uses
- (X) 2018 CAMA Land Use Plan
- () Bike & Pedestrian Plan (If applicable)
- (X) Future Land Use Map

Other comments:

Date: _____

Mayor
Town of Shallotte



Town of Shallotte Board of Aldermen
ACTION AGENDA ITEM
2025

TO: Board of Aldermen

ACTION ITEM #: REZ 24-27

FROM: Robert Waring, Planning Director

MEETING DATE: 4/1/2025

DATE SUBMITTED: _____

ISSUE/ACTION REQUESTED: PUBLIC HEARING: YES NO

Review a request to annex the remainder of the Solserra (formerly San Rio) project & update/revise the master plan & take action on their request for annexation & rezoning.

BACKGROUND/PURPOSE OF REQUEST: The Solserra development is a partially plated subdivision along the Shallotte River off Grey Bridge Rd. Originally named San Rio, the development was permitted as a Planned Residential Development (PRD) circa 2007. The current master plan dated 2011 entails a 6-phase layout with a total of 2,022 residential units (708 single-family & 1,314 multi-family units). The 2011 plan’s listed density is 4 units/acre.

There are currently 151 SF lots recorded in phase 1. Subdivision plans for phase 3 totaling 108 SF lots have been submitted & will be approved as they are consistent with the 2011 plan. Phases 4, 5, & 6 were not annexed into the Town with the original plan, but did acknowledge that this would need to take place before sewer utilities could be extended.

The Town’s Future Land Use Map (FLU map) identifies the area “Medium Density Residential” with a target density of 4 to 6 dwellings/acre & desired uses as single-family, two-family, townhomes. Inappropriate uses include commercial, industrial, & multi-family development.

The developer has submitted a revised master plan showing the remaining tracts as a Planned Unit Development PUD & annex the entire project (including a new 17⁺ acre tract around Tar Landing Rd.) into the Town. The PUD tracts would be broken into 3 phases with 1,019 residential units (545 SF, 300 MF, & 174 townhomes, 419 fewer units/lots). The proposed PUD would have a density of 2.8 units/acre.

NCDOT approved a new Traffic Impact Analysis for the project with those required improvements summarized in their approval letter. The internal roads will remain private, and the Town will need to review HOA documents providing for their maintenance as subdivision plans are approved.

Water will be provided via the County; sewer will be provided by the Town.

Once the revised master plan is approved, the developer will submit subdivision or site landscape plans for the various tracts. These plans will include greater detail for utility and road construction.

The Board may:

Vote to approve the proposed changes; or Vote to deny the proposed changes; or Continue the item until additional information is presented.

FISCAL IMPACT:

BUDGET AMENDMENT REQUIRED:

YES NO

CAPITAL PROJECT ORDINANCE REQUIRED:

YES NO

PRE-AUDIT CERTIFICATION REQUIRED:

YES NO

REVIEWED BY DIRECTOR OF FISCAL OPERATIONS

YES NO

CONTRACTS/AGREEMENTS:

REVIEWED BY TOWN ATTORNEY:

YES NO N/A

ADVISORY BOARD RECOMMENDATION: Planning Board recommended approval at their March 11 meeting

STAFF RECOMMENDATION: Staff believes the requested master plan updates to be consistent with the Town’s objectives & policies; staff recommends approval with the following conditions:

1. HOA documents detailing SW and road maintenance be recorded with subdivision plats
2. Sewer allocation will be issued in 60 lot/unit increments
3. New Town of Shallotte SW permit applications be submitted with phased subdivisions
4. Copies of all state & federal permits (NCDOT, CAMA, USACE) be provided as they are available

FINANCE RECOMMENDATION: NA

ATTACHMENTS:

1. Area map
2. Annexation/Rezoning Application
3. Current Master Plan (2011)
4. Proposed Master Plan
5. NCDOT TIA Approval Letter
6. TRC Comments/Responses
7. Table of Permitted Uses
8. Town of Shallotte 2018 Land Use Plan, Medium Density Description
9. Signed Planning Board Statement of Consistency
10. Ordinance 25-08
11. Board of Aldermen Statement of Consistency

ACTION OF THE BOARD OF ALDERMEN

APPROVED:
DENIED:

ATTEST: **CLERK TO THE BOARD**

**DEFERRED
UNTIL:** _____

SIGNATURE

OTHER:


Petition Requesting Voluntary Contiguous Annexation

TO THE BOARD OF ALDERMEN OF THE TOWN OF SHALLOTTE, NORTH CAROLINA:

1. We the undersigned owner(s) of real property respectfully request that the area described in paragraph 2 below be annexed to the TOWN OF SHALLOTTE.
2. The area to be annexed is contiguous to the Town of Shallotte and the boundaries of such territory are described in the attached metes and bounds description (Exhibit "A") and annexation map (Exhibit "B"), attached hereto and incorporated herein by reference.

Vested rights, with respect to such property, have not been established, under N.C.G.S. 160A-385.1, except as described in Exhibit "C", attached hereto and incorporated herein by reference.

Respectfully,

Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
Sebastian Drpac, its Manager	1031 Marietta Street NW, Atlanta, Ga 30318	19800002	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		11/22/24
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		

RESOLUTION
OF THE BOARD OF MANAGERS OF
DSSII HOLDING CO, LLC.
IN LIEU OF A MEETING

The undersigned, being the Board of Managers of DSSII Holding Co, LLC, (the “**Company**”) under the Operating Agreement of the Company (as amended, the “**Operating Agreement**”) hereby adopts the resolutions set forth below, and consents in writing to the adoption of said resolution without the holding of a meeting;

WHEREAS, the Company is the sole member and manager of Stars & Stripes 2I, LLC (“Stars”);

WHEREAS, Stars is the owner of that certain property in Brunswick County, North Carolina known as Solserra (formerly San Rio) (the “**Property**”);

WHEREAS, Stars wishes to annex in a portion of the Property into the Town of Shallotte; and

WHEREAS, the Company consents to the annexation of the Property.

NOW, THEREFORE, BE IT RESOLVED, that the Company consents and approves of the annexation of the Property into the Town of Shallotte; and

RESOLVED FURTHER, that Sebastian Drapac or Amanda Avery, in their capacity as manager of the Company, Manager of the Stars, be, and hereby are, authorized and empowered to execute and deliver any necessary petition or application pursuant to the annexation of the Property, with such changes therein as he or she may approve, such approval to be conclusively evidenced by his execution and delivery thereof

Effective the 21st day of February 2025.

[Signatures begin on following page]

IN WITNESS WHEREOF, the foregoing resolutions have been approved by the Board of Managers of the Company as of the date written above

Signed by:

E200CF0C8049481...
MICHAEL DRAPAC

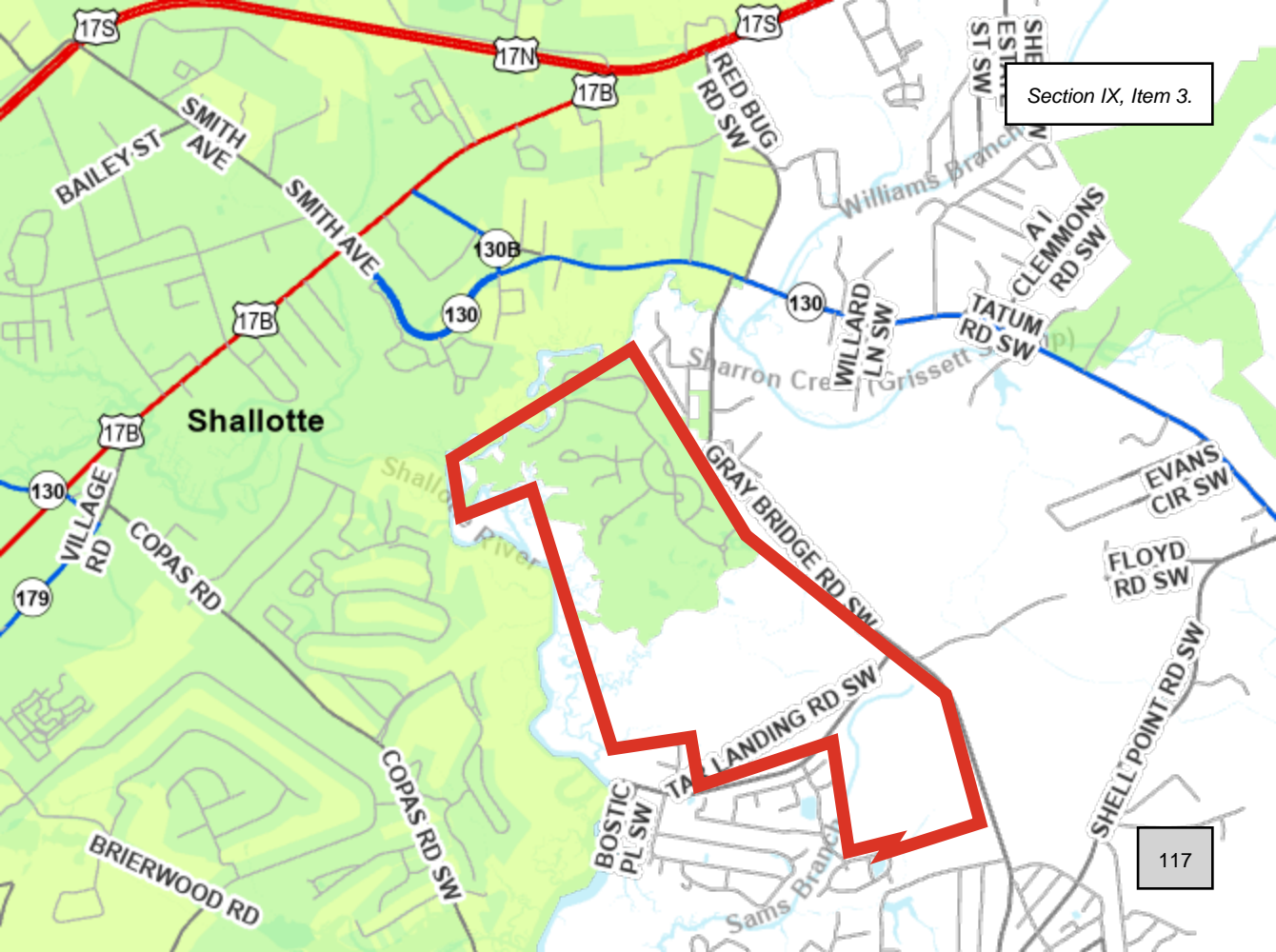
Signed by:

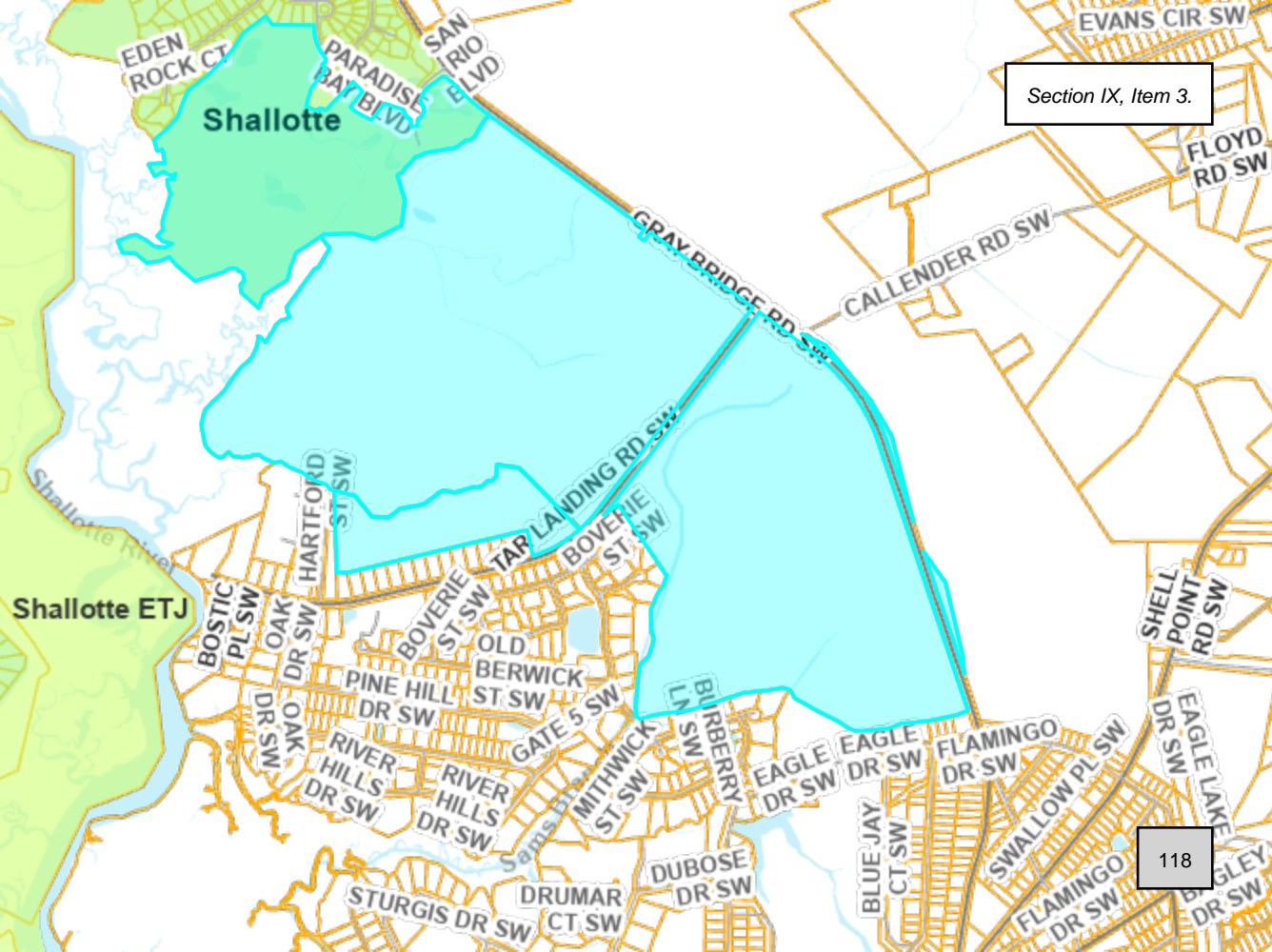
11A0DB33511249D...
SEBASTIAN DRAPAC

DocuSigned by:

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AMANDA AVERY

Section IX, Item 3.





Section IX, Item 3.



ANNEXATION APPLICATION

<i>Official Use Only</i>	
P&Z #:	_____
Date Rec'd:	_____
Rec'd By:	_____
Amount Paid: \$	_____

Town of Shallotte • PO Box 2287, Shallotte, NC 28459 • 116 Cheers Street, Shallotte, NC 28470 • Phone: (910) 754-4032 • Fax: (910) 754-2740

All applications for annexation into the Town of Shallotte must be complete and accompanied by the application fee of **\$225.00** (150.00 application, \$45.00 public notice fee, \$30.00 recording fee), **and a \$25.00 per plat page recording fee** payable in cash or by check made to the Town of Shallotte. Applicants will also be responsible for any additional costs of public notices in excess of \$45.00, which will be billed at a later time.

Annexation may also require a change in the zoning of the property. Please consult with the Planning & Zoning staff to determine whether rezoning is required. Any annexation petition that includes a rezoning will require a recommendation from the Planning Board before a hearing will be set by the Board of Aldermen.

All applications must be complete and all fees must be paid in full before a petition will be forwarded to the Planning Board or Board of Aldermen. Applicants are responsible for attending all Planning Board and Board of Aldermen meetings where this petition will be considered.

Project Name (if applicable): SOLSERRA		
SECTION 1: APPLICANT INFORMATION		
Applicant Name: Stars & Stripes 2I, LLC		
Mailing Address: 1031 Marietta Street NW, Atlanta, Georgia 30318		
Phone: 404-480-4900	Fax: _____	Email: richard@stbourne.com
SECTION 2: PROPERTY OWNER INFORMATION (if different from above)		
Owner Name(s): Stars & Stripes 2I, LLC		
Mailing Address: 1031 Marietta Street NW, Atlanta, Georgia 30318		
Phone: 404-480-4900	Fax: _____	Email: ricjard@stbourne.com
SECTION 3: PROPERTY INFORMATION		
Street Address and/or Description of Location: Gray Bridge Road, Shallotte, North Carolina		
Parcel Tax ID #(s): 19800002	Total Site Acres or Square Feet: 304.66 acres	
Current Zoning District(s): CO-R7500		
Proposed Zoning Change(s): PUD		
NOTE: If any change in zoning accompanies this annexation petition, a separate rezoning application is required.		
SECTION 4: VESTED RIGHTS		
Do you declare vested rights? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		

A vested right is the right to undertake and complete an approved site-specific development plan or an approved phased development plan. A site-specific development plan may include any of the following plans or approvals: A planned unit development plan, a subdivision plat, a preliminary or general development plan, a conditional or special use permit, a conditional or special use district zoning plan, or any other land-use approval designation as may be utilized by the Town.

When land is annexed into the Town of Shallotte and that land has an existing vested right from a site-specific development plan approved by Brunswick County or another municipality, the property owner has the right develop the property according to the site-specific development plan if (1) vested rights are declared at the time of annexation, (2) proof of such right is provided, and (3) the Town determines based on the information provided that such right exists.

If you declare vested rights, please describe those rights in writing (use additional sheets as necessary):

The project has vested rights as detailed in the approved Planned Residential Development Master Plan for San Rio, approved February 2007 and later amended January 2011.

If you declare vested rights, you must submit evidence of such right with this application. Evidence must be in sufficient detail to determine whether such right exists and the extent of such right. Necessary information may include an approved building permit, development permit, conditional use permit, site plan, preliminary plat, or master plan.

SECTION 5: MUNICIPAL CONTIGUITY

An area is deemed contiguous if it either abuts directly on the primary Town boundary or is separated from the Town boundary by a street or street right-of-way, a creek or river, or the right-of-way of a railroad or other public service corporation, lands owned by the municipality or some other political subdivision, or lands owned by the State of North Carolina. An area is not deemed contiguous if it abuts the boundary of a non-contiguous municipal area.

Is the territory petitioned for annexation contiguous to the primary boundary of the Town of Shallotte?

- Contiguous Non-Contiguous

SECTION 6: SUPPLIMENTAL INFORMATION REQUIRED

Each annexation application use must include:

- A complete contiguous annexation petition, signed by all owners of property included in the annexation territory.
- An application fee of \$150.00 plus public notice fee of \$45.00 and recording fee of \$30.00 in cash or check made payable to the Town of Shallotte.
- One (1) 18" X 24" Mylar annexation map bearing the seal of a licensed surveyor, including the existing Town limits.
- Two (2) paper copies of the sealed annexation map.
- One (1) paper copy of a legal metes and bounds description of the property bearing the seal of a licensed surveyor.
- One (1) electronic text document of the legal metes and bounds description emailed to the Town Clerk at ngoins@townofshallotte.org
- One (1) paper copy of evidence of ownership (i.e. deed).
- Evidence of vested rights, if claimed.
- A notarized letter of authorization, if acting as the agent for the property owner(s).

SECTION 7: APPLICANT/OWNER SIGNATURE

In filing this Annexation Application, I hereby certify that I am authorized to submit this application and that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.

Signature: 

Date: 12/17/24 ~~12/20~~ 2/21/25

Amanda Avery, Manager, BSSII Holding Co. managing member, Stars & Stripes 21, LLC

Official Use Only

Planning Board Hearing Date: _____ Recommendation: _____ Staff: _____

Board of Aldermen Hearing Date: _____ Action: _____ Staff: _____

Petition Requesting Voluntary Contiguous Annexation

TO THE BOARD OF ALDERMEN OF THE TOWN OF SHALLOTTE, NORTH CAROLINA:

1. We the undersigned owner(s) of real property respectfully request that the area described in paragraph 2 below be annexed to the TOWN OF SHALLOTTE.
2. The area to be annexed is contiguous to the Town of Shallotte and the boundaries of such territory are described in the attached metes and bounds description (Exhibit "A") and annexation map (Exhibit "B"), attached hereto and incorporated herein by reference.

Vested rights, with respect to such property, have not been established, under N.C.G.S. 160A-385.1, except as described in Exhibit "C", attached hereto and incorporated herein by reference.

Respectfully,

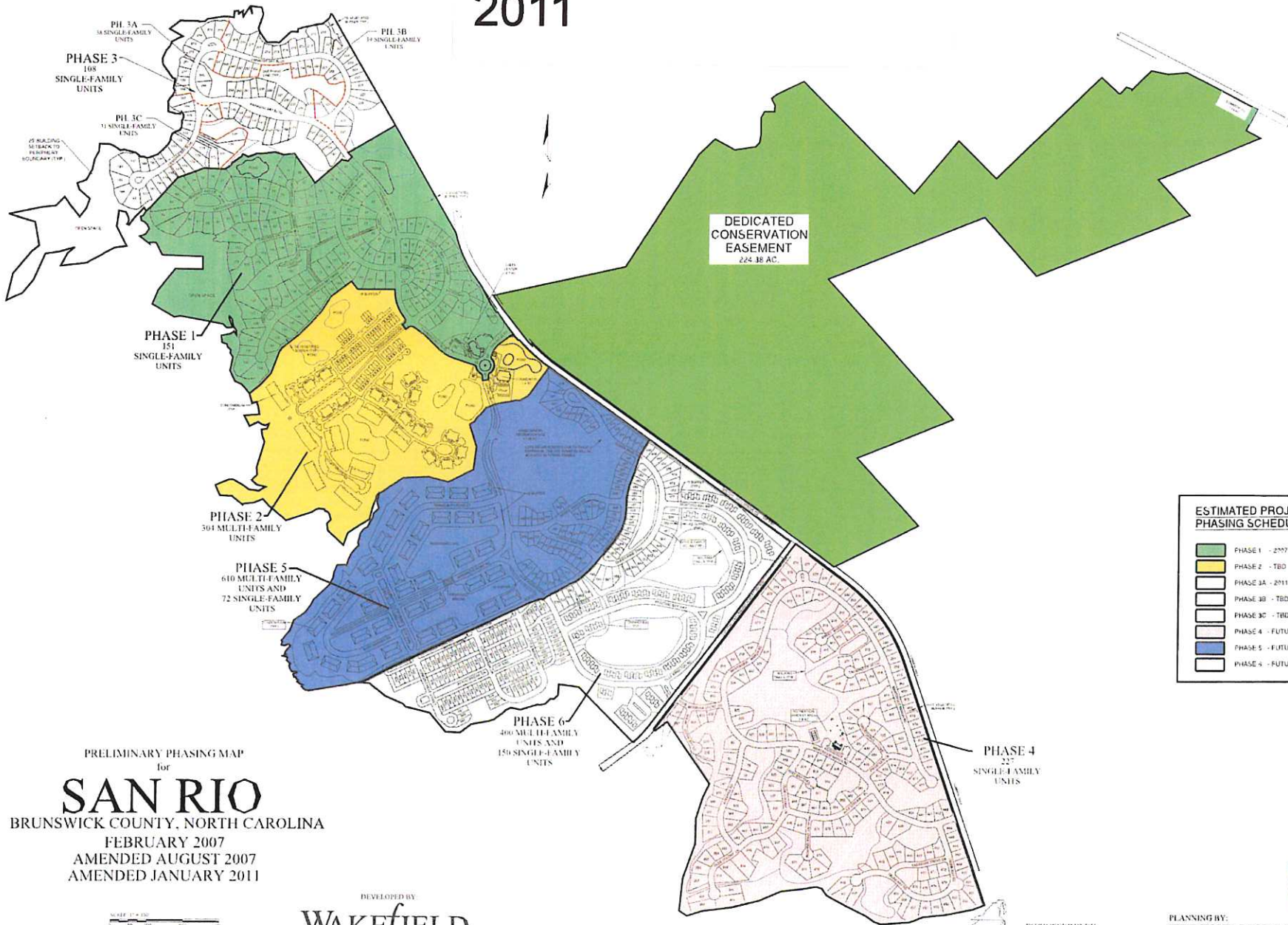
Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
Stars & Stripes 21, LLC	1031 Marietta Street NW, Atlanta, GA 30318	19800002	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<i>[Handwritten Signature]</i>	2/21/25 12/17/24
			<input type="checkbox"/> Yes <input type="checkbox"/> No	<small>By: Amanda Avery, manager, DSSII Holding Co, LLC, its managing member</small>	
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		
			<input type="checkbox"/> Yes <input type="checkbox"/> No		

Important Information Regarding the Voluntary Annexation Process

1. All property owners must print and sign the petition for voluntary annexation.
2. When printing or signing, you must sign and print the name of the property owner exactly how it appears on the deed.
3. If the property is owned by a business, trust, or other corporate entity, you must apply as such, and must print and sign the application and petition as the acting agent with authority to petition for annexation. The following are examples:
 - a. If you are the “Enter Your Name Here Revocable Trust”, and you would like to petition for voluntary annexation, you would apply as, “Enter Your Name Here Revocable Trust”, and the trustee would sign the petition as, “John Doe, As Trustee for the John Doe Revocable Trust”.
 - b. If the property is owned by an LLC, Inc., etc., you would apply under the name of the corporate entity (e.g., “My Name, Inc.”), and then the registered agent(s) would print and sign exactly as they are listed in corporate documents (you can find this information by conducting a business entity search on the North Carolina Secretary of State Website). For example, “John Doe, Managing Member” or “Jane Doe, President”.
 - c. *See the examples below for more clarification.
4. Vested rights are preapproved, site-specific rights to continue development as previously approved by another jurisdiction, prior to annexation. County approval to develop a twenty single-family subdivision would be an example of a vested right. The burden is on the applicant to provide information on any vested rights.
5. If the annexation petition involves multiple parcels, a legal metes & bounds description is needed for each individual parcel.

Printed Name	Mailing Address	Parcel ID #(s)	Vested Rights?	Signature	Date
John Doe, As Trustee for the John Doe Revocable Trust	111 Main St. Shallotte, NC	1234567	<input type="checkbox"/> Yes <input type="checkbox"/> No	<i>John Doe, As Trustee for the John Doe Revocable Trust</i>	11/22/1963
John Doe, Managing Member	222 Copas Rd. Shallotte, NC	8675309	<input type="checkbox"/> Yes <input type="checkbox"/> No	<i>John Doe, Managing Member</i>	07/20/1969
Jane Doe, President	333 Smith Ave. Shallotte, NC	138138138	<input type="checkbox"/> Yes <input type="checkbox"/> No	<i>Jane Doe, President</i>	10/31/2024

Current Master Plan 2011



ESTIMATED PROJECT PHASING SCHEDULE	
[Green Box]	PHASE 1 - 2007
[Yellow Box]	PHASE 2 - TBD
[White Box]	PHASE 3A - 2011
[White Box]	PHASE 3B - TBD
[White Box]	PHASE 3C - TBD
[Light Blue Box]	PHASE 4 - FUTURE
[Dark Blue Box]	PHASE 5 - FUTURE
[Light Pink Box]	PHASE 6 - FUTURE

PRELIMINARY PHASING MAP
for
SAN RIO
BRUNSWICK COUNTY, NORTH CAROLINA
FEBRUARY 2007
AMENDED AUGUST 2007
AMENDED JANUARY 2011



DEVELOPED BY
WAKEFIELD
DEVELOPMENT COMPANY
3209 GRESHAM LAKE ROAD, SUITE 140
RALEIGH, NC 27615
(919) 556-4110

ENGINEERING BY:
EAST COAST ENGINEERING
COMPANY, P.A.
1014 Main Street - P.O. Box 2104
Millsboro, North Carolina 28451

PLANNING BY:
THE JOHN R. McADAMS
COMPANY, INC.
ENGINEERS/PLANNERS/SURVEYORS
RESEARCH TRIANGLE PARK, NC
P.O. BOX 14005 ZIP 27709-4005
(919) 361-5600



PRELIMINARY
NOT FOR CONSTRUCTION OR FOR CONSTRUCTION PERMITS
MASTER PLAN SUBJECT TO CHANGE IN RESPONSE TO MARKET CONDITIONS



VICINITY MAP
SITE LOCATION

LEGEND

- SINGLE FAMILY
- MULTIFAMILY
- RECREATIONAL/RECREATION-RELATED
- COMMERCIAL AREA
- OPEN SPACE
- WATERWAYS
- DEDICATED CONSERVATION EASEMENT

DEVELOPMENT SUMMARY

TOTAL LAND AREA	1,000.00 AC
TOTAL DEVELOPMENT AREA	800.00 AC
TOTAL DEDICATED CONSERVATION EASEMENT	224.38 AC
RESIDENTIAL	
SINGLE FAMILY	750
MULTIFAMILY	100
TOTAL RESIDENTIAL UNITS	850
TOTAL RESIDENTIAL AREA	650.00 AC
COMMERCIAL	
TOTAL COMMERCIAL AREA	150.00 AC
RECREATION	
TOTAL RECREATION AREA	150.00 AC
TOTAL RECREATION IMPROVEMENTS	\$1,000,000
WATERWAYS	
TOTAL WATERWAY IMPROVEMENTS	\$500,000
TOTAL WATERWAY IMPROVEMENTS PER AC	\$3,333
TOTAL OPEN SPACE IMPROVEMENTS	\$1,500,000
TOTAL OPEN SPACE IMPROVEMENTS PER AC	\$10,000
TOTAL IMPROVEMENTS	\$3,000,000
TOTAL IMPROVEMENTS PER AC	\$3,000
TOTAL IMPROVEMENTS PER RESIDENTIAL UNIT	\$3,529

PLANNED RESIDENTIAL DEVELOPMENT
MASTER PLAN
for
SAN RIO
BRUNSWICK COUNTY, NORTH CAROLINA
FEBRUARY 2007
AMENDED AUGUST 2007
AMENDED JANUARY 2011

DEVELOPED BY:
WAKEFIELD
DEVELOPMENT COMPANY

PLANNING BY:
THE JOHN R. McADAMS
COMPANY, INC.
ENGINEERS/PLANNERS/SUBVEYORS
P.O. BOX 14895 ZIP 27709-4905
(919) 361-0000

ENGINEERING BY:
EAST COAST ENGINEERING
COMPANY, P.A.
Wilmington, North Carolina 28405
4318 Main Street • P.O. Box 2569

ORIGINAL USE OF APPROVAL
GRANTED BY BRUNSWICK COUNTY
PLANNING BOARD ON MAY 22, 2006
AS "STRAND RIVER"
PRELIMINARY
NOT FOR CONVEYANCE OF PROPERTY
OR FOR CONSTRUCTION
MASTER PLAN SUBJECT TO CHANGE IN
RESPONSE TO MARKET CONDITIONS

GENERAL NOTES

1. ALL UTILITIES SHALL BE RELOCATED AS SHOWN.
2. LAND USE OF THIS PROJECT IS IN ACCORDANCE WITH THE MASTER PLAN FOR THE TOWN OF SAN RIO.
3. SANRIO DEVELOPMENT IS TO BE FINANCED BY TOWN OF SAN RIO. ESTIMATION OF DEVELOPER COSTS TO BE DETERMINED.
4. FOR EASEMENT AND PROPOSED WATER AND SEWER LINES, SEE PLANS PREPARED BY THE OFFICE OF THE TOWN ENGINEER.
5. ALL WATER UTILITIES SHALL BE IN ACCORDANCE WITH THE TOWN OF SAN RIO WATER AND SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
6. A DEDICATED CONSERVATION EASEMENT SHALL BE REQUIRED TO MAINTAIN EXISTING FORESTED AREAS AND OPEN SPACE. THE ASSOCIATION SHALL BE ESTABLISHED PRIOR TO THE START OF DEVELOPMENT. FOR APPROVAL OF THIS DEVELOPMENT, THE TOWN OF SAN RIO SHALL BE REQUIRED TO ACCEPT THE DEDICATED CONSERVATION EASEMENT.
7. ALL UTILITIES SHALL BE DEIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF THE TOWN OF SAN RIO SPECIFICATIONS.
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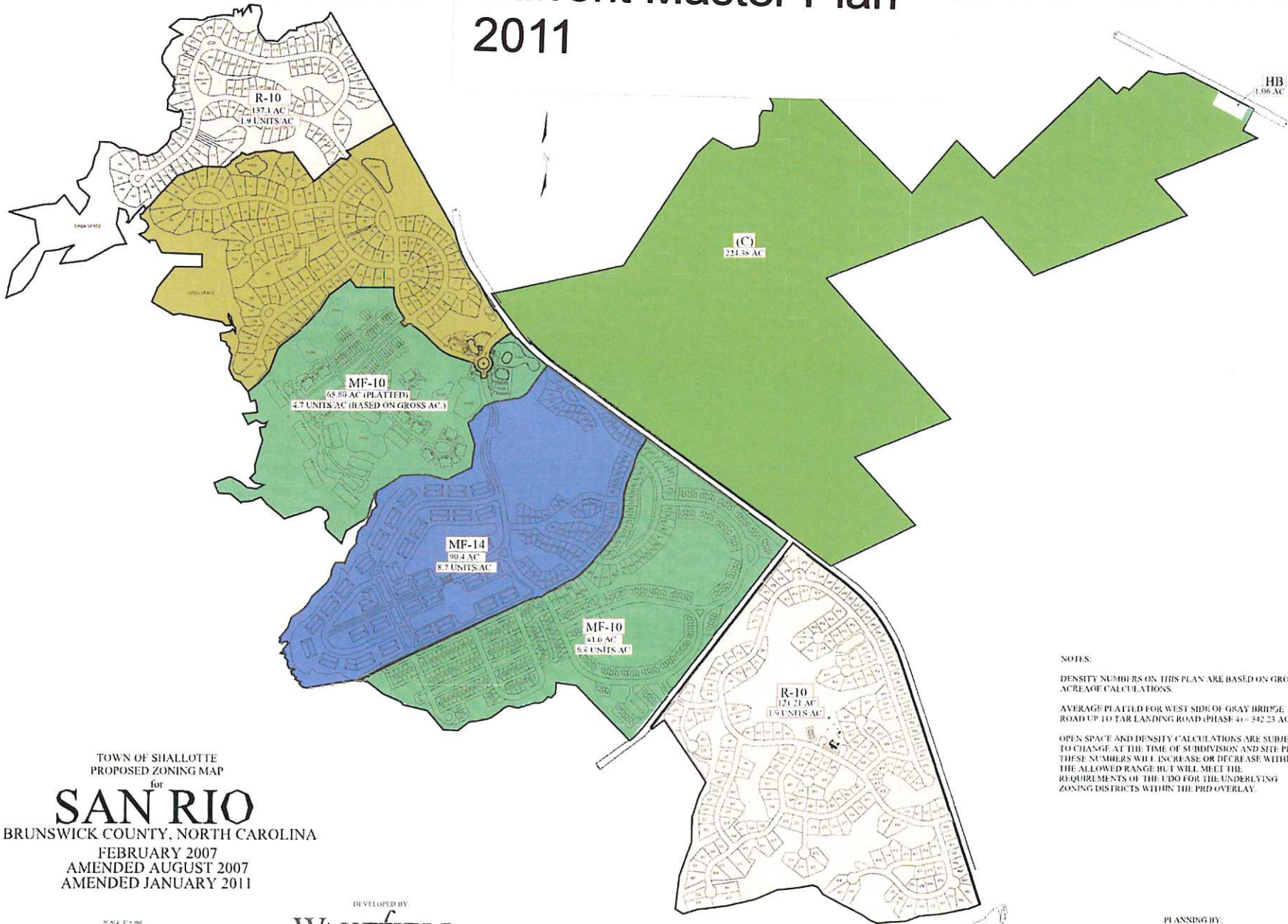
REQUIRED NOTES FOR TOWN APPROVAL

1. DEVELOPER AND TOWN SHALL ENTER INTO A DEVELOPMENT AGREEMENT.
2. ALL UTILITIES SHALL BE DEIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF THE TOWN OF SAN RIO SPECIFICATIONS.
3. DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES TO BE DEIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF THE TOWN OF SAN RIO SPECIFICATIONS.
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SINGLE-FAMILY BUDGET SUMMARY

ITEM	QUANTITY	UNIT PRICE	TOTAL PRICE
LAND	100	\$10,000	\$1,000,000
CONCRETE	100	\$5,000	\$500,000
STEEL	100	\$5,000	\$500,000
LABOR	100	\$5,000	\$500,000
PERMITS	100	\$5,000	\$500,000
UTILITIES	100	\$5,000	\$500,000
LANDSCAPE	100	\$5,000	\$500,000
TOTAL			\$3,500,000

Current Master Plan 2011



NOTES:
 DENSITY NUMBERS ON THIS PLAN ARE BASED ON GROSS ACRES OF CALCULATIONS.
 AVERAGE PLATTED FOR WEST SIDE OF GRAY BRIDGE ROAD UP TO TAR LANDING ROAD (PHASE 4) - 342.23 AC.
 OPEN SPACE AND DENSITY CALCULATIONS ARE SUBJECT TO CHANGE AT THE TIME OF SUBDIVISION AND SITE PLAN. THESE NUMBERS WILL INCREASE OR DECREASE WITHIN THE ALLOWED RANGE BUT WILL MEET THE REQUIREMENTS OF THE UDO FOR THE UNDERLYING ZONING DISTRICTS WITHIN THE PRD OVERLAY.

TOWN OF SHALLOTTE
 PROPOSED ZONING MAP
 for
SAN RIO
 BRUNSWICK COUNTY, NORTH CAROLINA
 FEBRUARY 2007
 AMENDED AUGUST 2007
 AMENDED JANUARY 2011



DEVELOPED BY
WAKEFIELD
 DEVELOPMENT COMPANY

1289 GRESHAM LAKE ROAD, SUITE 100
 RALEIGH, NC 27617
 (919) 536-6110

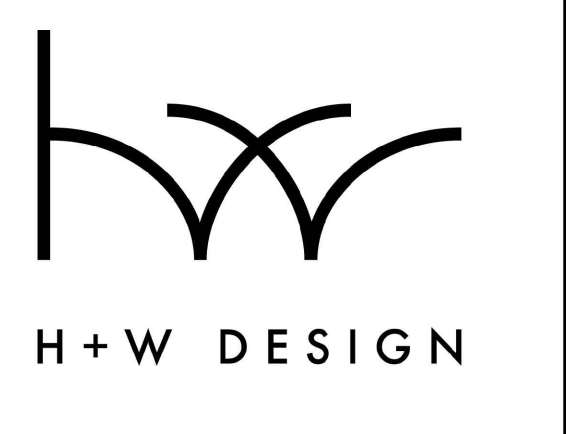
PRELIMINARY
 NOT FOR ANNUAL LANCEL OF PROPERTY
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 MASTER PLAN SUBJECT TO CHANGE IN
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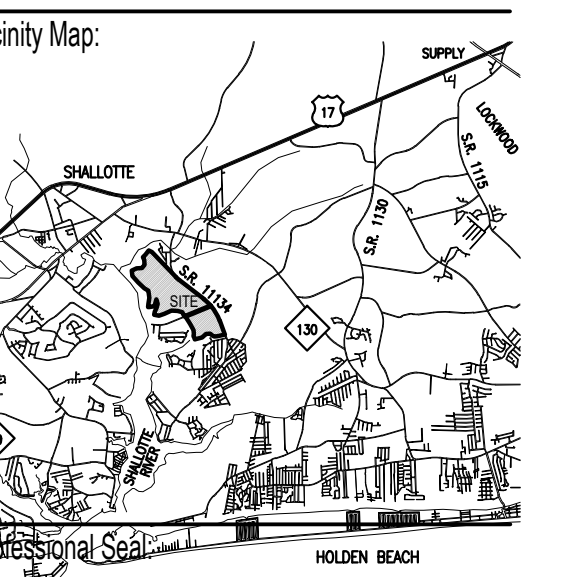
ENGINEERING BY
**EAST COAST ENGINEERING
 COMPANY, P.A.**

Shelby, North Carolina 29517
 1410 Main Street, P.O. Box 2400

PLANNING BY:
**THE JOHN R. McADAMS
 COMPANY, INC.**
 ENGINEERS/PLANNERS/SURVEYORS
 RESEARCH TRIANGLE PARK, NC
 P.O. BOX 14005 ZIP 27709-4005
 (919) 361-5000



2512 Independence Boulevard
Suite 200
Wilmington, North Carolina 28412



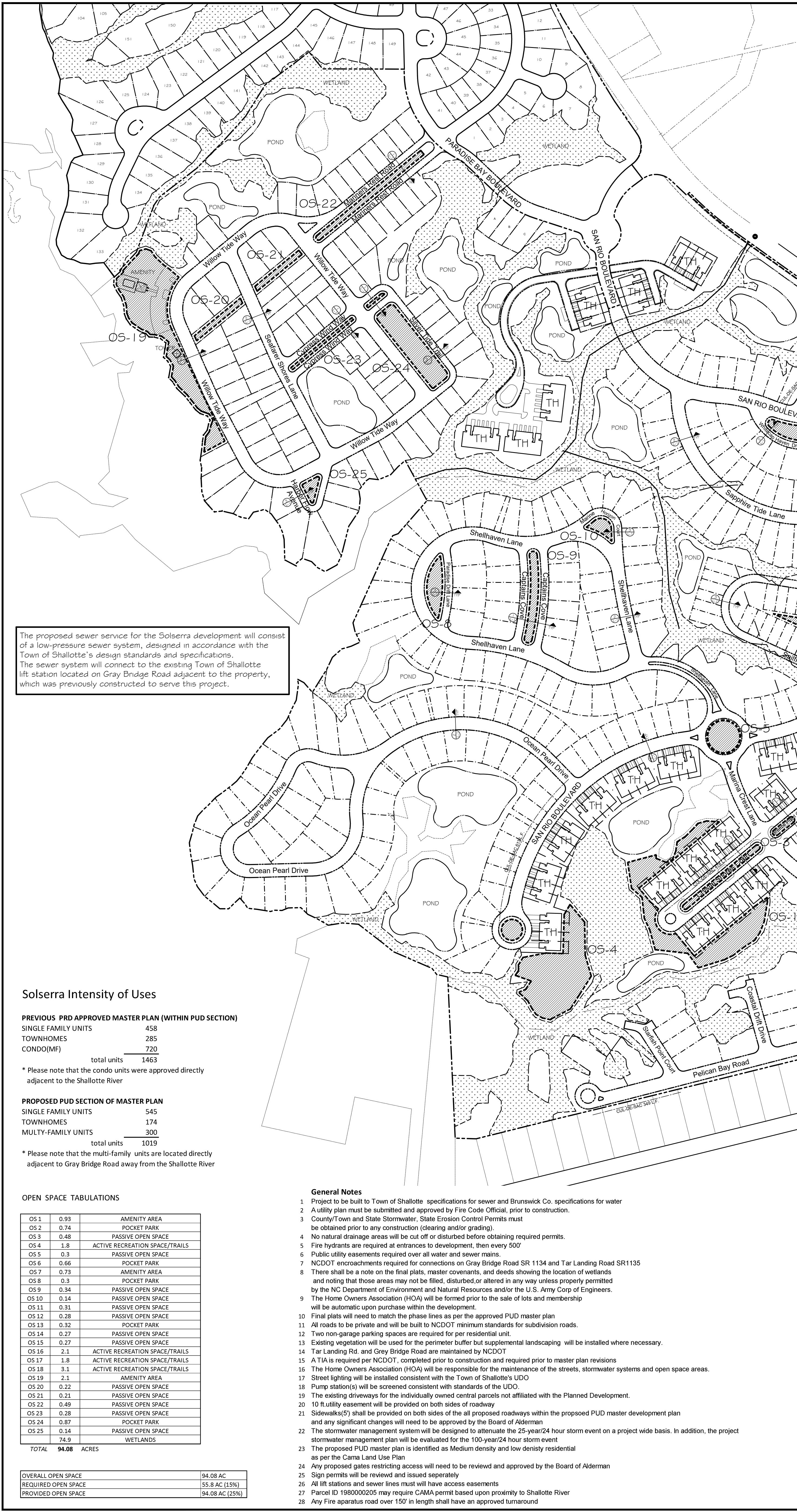
Project Title:

SITE TABULATIONS - PUD- SOLSERRA

APPLICANT INFORMATION	Stars and Stripes 21 LLC
PROJECT ADDRESS	Gray Bridge Road 288 (Brunswick Co.)
EXISTING ZONING	CO R7500
ZONING AND LAND USE ADJ. PROPERTIES	CO R7500, CO RR CO 5BR6000, CO R6000, SH-MF10
WETLAND ACREAGE	74.9
UPLAND ACREAGE	297.1
Parcel ID	300002,1980000205,198J800115,198IC001,198IC002,198JC003

OVERALL SITE ACREAGE	372	AVERAGE LOT SIZE	50' x 110'
SINGLE FAMILY ACREAGE	234.8	SMALLEST LOT SIZE	40' x 110'
TOWN HOUSE ACREAGE	20	PARKING CALCULATIONS	2 /RESIDENTIAL UNITS
MULTI-FAMILY ACREAGE	22.5	PARKING CALCULATIONS SINGLE FAMILY	2/UNIT - 1090 PROVIDED
COMMERCIAL ACREAGE	0	174 TOTAL - 2/UNIT	
REQUIRED OPEN SPACE (PUD)	55.8 AC (15%)	348 TOTAL - 2/UNIT	
PROVIDED OPEN SPACE (PUD)	94.08 AC (25%)	600 TOTAL - 2/UNIT	
MULTI-FAMILY UNITS	300	650 TOTAL - 2/UNIT	
TOWN HOUSE UNITS	174	BUILDING SETBACKS	
SINGLE FAMILY UNITS	545	SF CORNER LOTS 15'	
TOTAL RESIDENTIAL UNITS	1019	SF FRONT YARD 10'	
GROSS DENSITY	2.73	SF SIDE YARD 5'	
		REAR YARD 10'	
		MF/TH UNITS 20' SEPERATION BETWEEN UNITS	
		MF/TH UNITS 20' FRONT YARD	
		MF/TH UNITS 10' REAR YARD	

PROJECT BOUNDARY BUFFER (MF)	10'
STREET BUFFER	8' REQUIRED TAR LANDING ROAD GRAY BRIDGE ROAD
EXTERNAL ACCESS	6 POINTS PROVIDED
ROADWAYS WITHIN BOUNDARY	PRIVATE
LINK/NODE RATIO	56 LINKS/41NODES 1.36
10' UTILITY EASEMENT ON ALL INTERIOR LOTS	
PROPOSED BUILDING HEIGHT	
SINGLE FAMILY - 40'	
TOWNHOMES - 40'	
MULTI-FAMILY - 40'	



The proposed sewer service for the Solserra development will consist of a low-pressure sewer system, designed in accordance with the Town of Shallotte's design standards and specifications. The sewer system will connect to the existing Town of Shallotte lift station located on Gray Bridge Road adjacent to the property, which was previously constructed to serve this project.

Solserra Intensity of Uses

PREVIOUS PRD APPROVED MASTER PLAN (WITHIN PUD SECTION)	
SINGLE FAMILY UNITS	558
TOWNHOMES	285
CONDO(MF)	720
total units	1463

* Please note that the condo units were approved directly adjacent to the Shallotte River

PROPOSED PUD SECTION OF MASTER PLAN	
SINGLE FAMILY UNITS	545
TOWNHOMES	174
MULTY-FAMILY UNITS	300
total units	1019

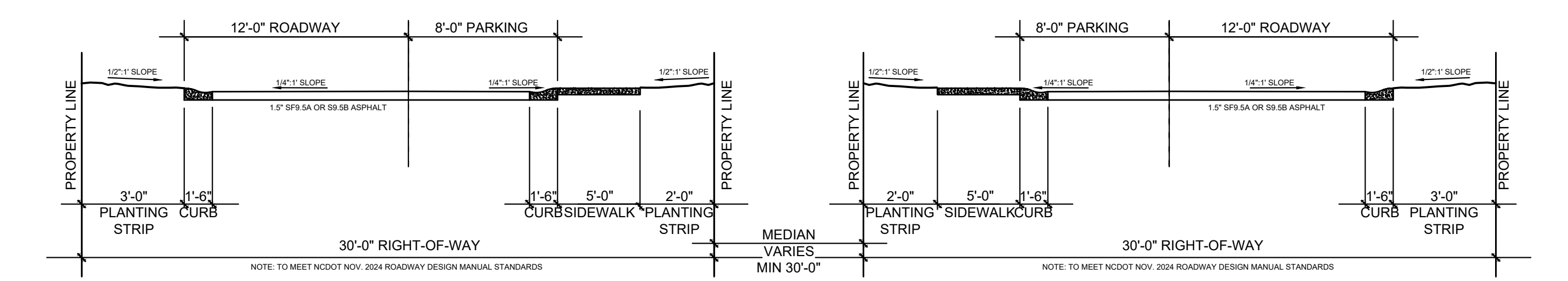
* Please note that the multi-family units are located directly adjacent to Gray Bridge Road away from the Shallotte River

OPEN SPACE TABULATIONS

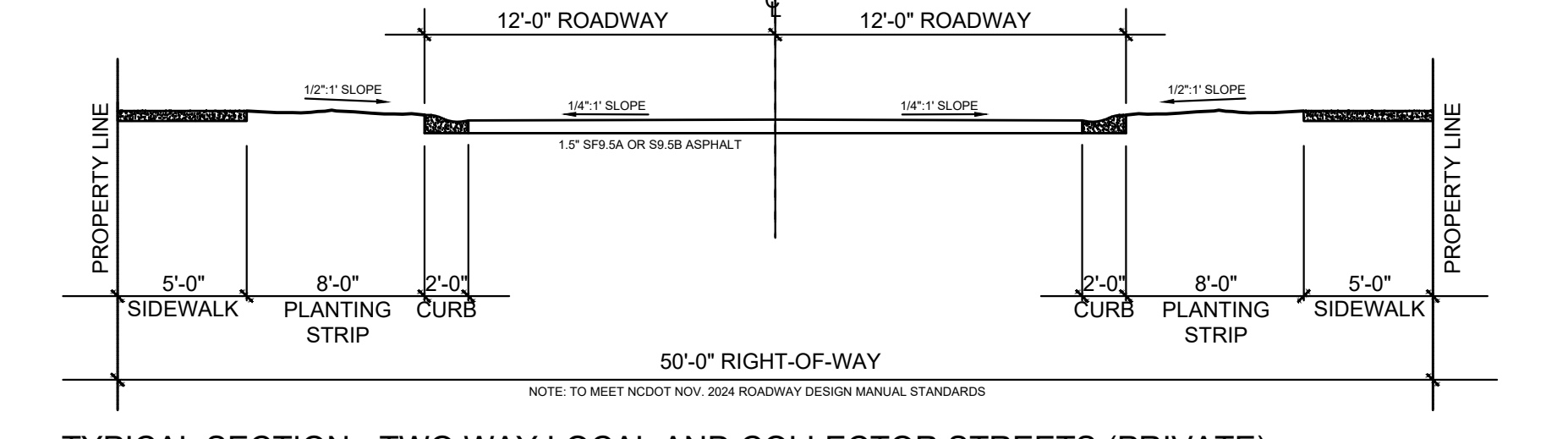
OS 1	0.93	AMENITY AREA
OS 2	0.74	POCKET PARK
OS 3	0.48	PASSIVE OPEN SPACE
OS 4	1.8	ACTIVE RECREATION SPACE/TRAILS
OS 5	0.3	PASSIVE OPEN SPACE
OS 6	0.66	POCKET PARK
OS 7	0.73	AMENITY AREA
OS 8	0.3	POCKET PARK
OS 9	0.34	PASSIVE OPEN SPACE
OS 10	0.14	POCKET PARK
OS 11	0.31	PASSIVE OPEN SPACE
OS 12	0.28	PASSIVE OPEN SPACE
OS 13	0.32	POCKET PARK
OS 14	0.27	PASSIVE OPEN SPACE
OS 15	0.27	PASSIVE OPEN SPACE
OS 16	2.1	ACTIVE RECREATION SPACE/TRAILS
OS 17	1.8	ACTIVE RECREATION SPACE/TRAILS
OS 18	3.1	ACTIVE RECREATION SPACE/TRAILS
OS 19	2.1	AMENITY AREA
OS 20	0.22	PASSIVE OPEN SPACE
OS 21	0.21	PASSIVE OPEN SPACE
OS 22	0.49	PASSIVE OPEN SPACE
OS 23	0.28	PASSIVE OPEN SPACE
OS 24	0.87	POCKET PARK
OS 25	0.14	PASSIVE OPEN SPACE
OS 26	74.9	WETLANDS
TOTAL	94.08	ACRES

General Notes

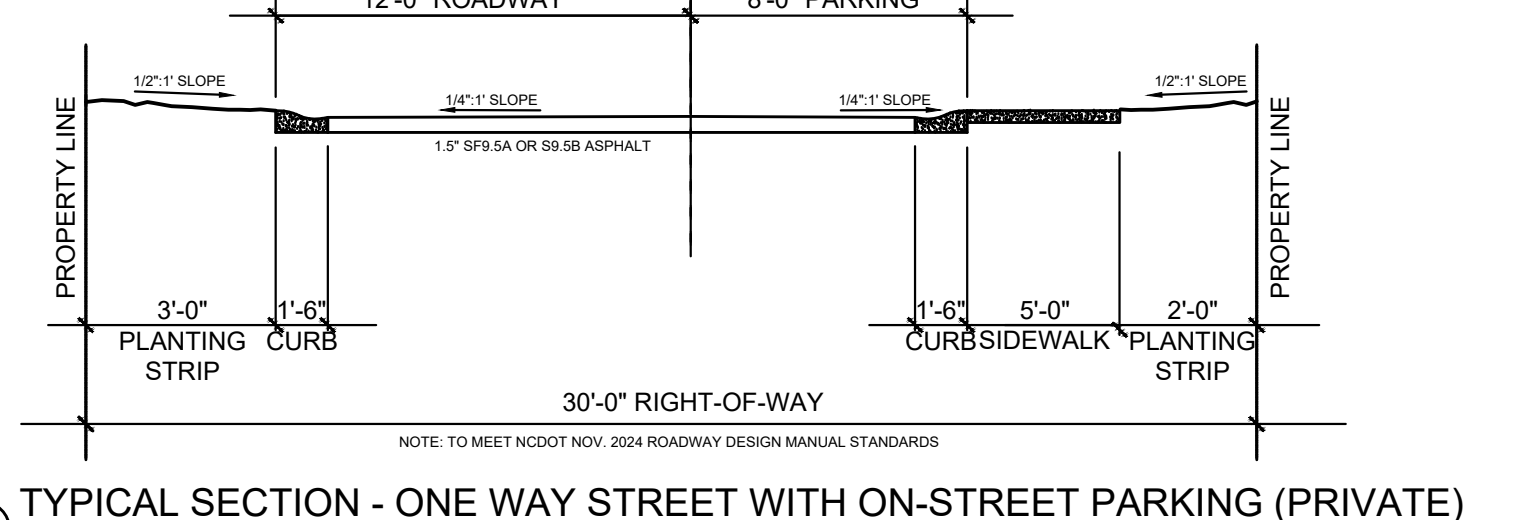
- Project to be built to Town of Shallotte specifications for sewer and Brunswick Co. specifications for water
- A utility plan must be submitted and approved by Fire Code Official, prior to construction.
- County/Town and State Stormwater, State Erosion Control Permits must be obtained prior to any construction (clearing and/or grading)
- No natural drainage areas will be cut off or disturbed before obtaining required permits.
- Fire hydrants are required at entrances to development, then every 500'
- Public utility easements required over all water and sewer mains.
- NC DOT encroachments required for connections on Gray Bridge Road SR 1134 and Tar Landing Road SR 1135
- There shall be a note on the final plats, master covenants, and deeds showing the location of wetlands and noting that those areas may not be filled, disturbed or altered in any way unless properly permitted by the NC Department of Environment and Natural Resources and/or the U.S. Army Corp of Engineers.
- The Home Owners Association (HOA) will be formed prior to the sale of lots and membership will be automatic upon purchase within the development.
- Final plats will need to match the phase lines as per the approved PUD master plan
- All roads to be private and will be built to NC DOT minimum standards for subdivision roads.
- Two non-garage parking spaces are required for per residential unit.
- Existing vegetation will be used for the perimeter buffer but supplemental landscaping will be installed where necessary.
- Tar Landing Rd. and Gray Bridge Road are maintained by NCDOT
- A TIA is required per NCDOT, completed prior to construction and required prior to master plan revisions
- The Home Owners Association (HOA) will be responsible for the maintenance of the streets, stormwater systems and open space areas.
- Street lighting will be installed consistent with the Town of Shallotte's UDO
- Pump station(s) will be screened consistent with standards of the UDO.
- The existing driveways for the individually owned central parcels not affiliated with the Planned Development.
- 10' Utility easement will be provided on both sides of roadway
- Sidewalk(s) shall be provided on both sides of the all proposed roadways within the proposed PUD master development plan and any significant changes will need to be approved by the Board of Alderman
- The stormwater management system will be designed to attenuate the 25-year/24 hour storm event on a project wide basis. In addition, the project stormwater management plan will be evaluated for the 100-year/24 hour storm event
- The proposed PUD master plan is identified as Medium density and low density residential as per the Cama Land Use Plan
- Any proposed gates restricting access will need to be reviewed and approved by the Board of Alderman
- Sign permits will be reviewed and issued separately.
- All lift stations and sewer lines must have access easements
- Parcel ID 1980000205 may require CAMA permit based upon proximity to Shallotte River
- Any Fire apparatus road over 150' in length shall have an approved turnaround



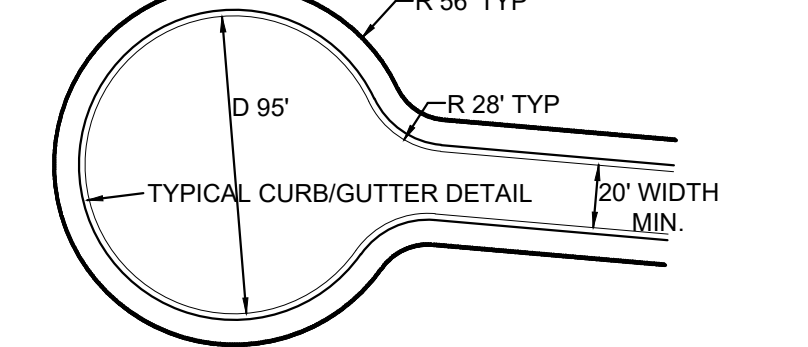
1 TYPICAL SECTION - MEDIAN STREET WITH ON-STREET PARKING (PRIVATE)
NTS



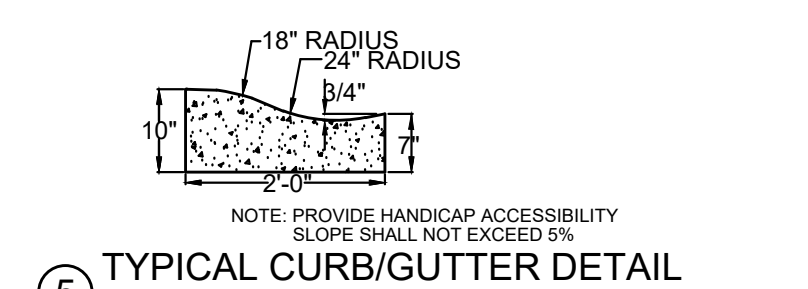
2 TYPICAL SECTION - TWO WAY LOCAL AND COLLECTOR STREETS (PRIVATE)
NTS



3 TYPICAL SECTION - ONE WAY STREET WITH ON-STREET PARKING (PRIVATE)
NTS



4 TYPICAL CUL-DE-SAC DETAIL
NTS

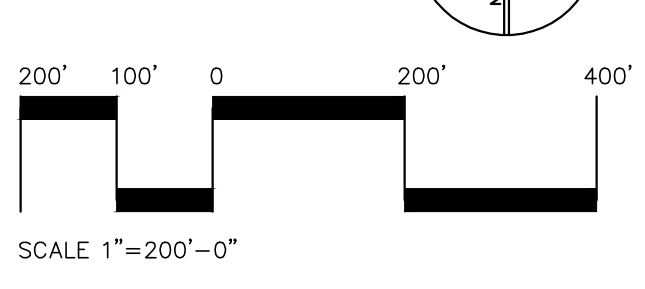


5 TYPICAL CURB/GUTTER DETAIL
NTS

Roadway Section 1
MARNERS REST ROAD
CYPRESS WIND WAY
CRYSTAL SHORES COURT
BREEZE POINT COURT
CAPTAINS COVE

Roadway Section 2
WILLOW TIDE WAY
SEAFARER SHORES LANE
PARADISE BAY BOULEVARD
SAN RIO BOULEVARD
SAPPHIRE TIDE LANE
SHELLHAVEN LANE
OCEAN PEARL DRIVE
MARNER CREST LANE
MISTY HARBOR WAY
LASCION BREEZE WAY
TIDAL CURRENT COURT
MOONLIT BAY DRIVE
AQUA VISTA LOOP
HARBOR MIST WAY
DUNE CREST WAY
CORAL VISTA COURT
HORIZON KEY LOOP

Roadway Section 3
SILVER TIDE TRAIL
HARBOR FLOW AVENUE
WHITECAP HAVEN DRIVE
SALFISH BAY LOOP
PARADISE DRIFT LANE
MARINE HORIZON COURT



SOLSERRA

Planned Unit Development
Town of Shallotte, North Carolina

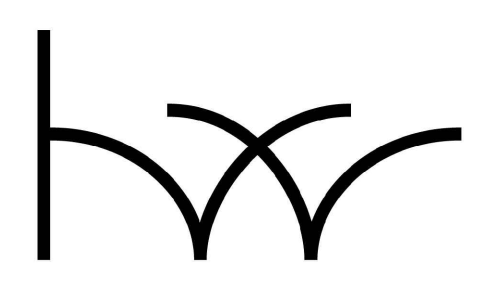
This drawing and details on it are the sole property of the professional and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or in part, or for any other purpose or project without the written consent of the professional.

No.	Revision Description	Date
1	TRC Review	January 15, 2025
2	TRC Revisions	January 31, 2025

Sheet Title:
PUD Master Plan

Date: November 28, 2024 Sheet No:
L-1

Project No: 24036

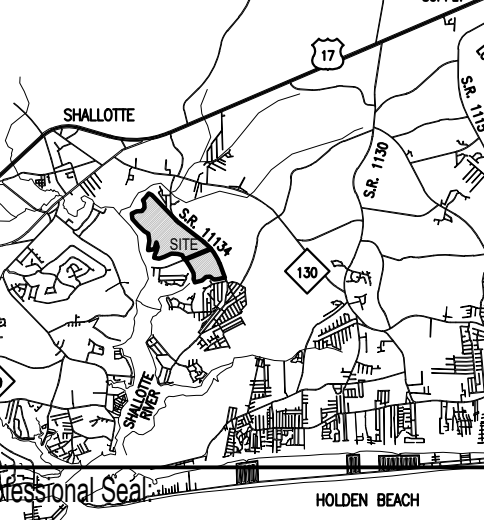


H+W DESIGN

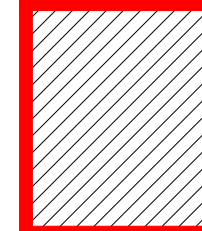
2512 Independence Boulevard
Suite 200
Wilmington, North Carolina 28412

This plan is a graphic representation and should be utilized for discussion purposes only. Plan approximates existing conditions relating to property boundaries. Plan components may change based upon regulatory and municipal regulations and requirements at time of approvals and/or development activity.
NOT FOR CONSTRUCTION

Vicinity Map:



Project Title:

 EXISTING PRD ZONING TO REMAIN TOWN OF SHALLOTTE

EXISTING APPROVED PRD

PHASE ONE
91 Single-Family Lots
36 Townhomes

PHASE TWO
238 Single-Family Lots
138 Townhomes
300 MF Units

PHASE THREE
216 Single-Family Lots

Planned Unit Development:

SOLSERRA
Town of Shallotte, North Carolina

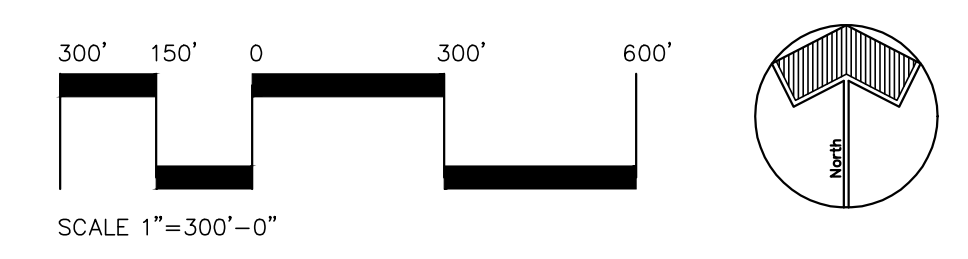
This drawing and details on it are the sole property of the professional and may be used for this specific project only. It shall not be loaned, copied or reproduced, in whole or in part, or for any other purpose or project without the written consent of the professional.

No.	Revision Description	Date
1	TRC Review	January 15, 2025
2	TRC Revisions	February 5, 2025

Sheet Title:
Overall Master & Phasing Plan

Date: November 28, 2024 Sheet No:
L-2

Project No: 24036



Attachment A

Area A is to remain the same as approved PRD

Area B is proposing a rezoning from PRD-R-10 to PUD

Red line denotes 304 acres being annexed into the Town Of Shallotte

Area C once annexed into the Town of Shallotte is proposing to be zoned PUD

A

EXISTING/PROPOSED +119 ACRES
TOWN OF SHALLOTTE
R-10/PRD ZONING TO REMAIN
259 SINGLE FAMILY LOTS

B

EXISTING +56 ACRES
TOWN OF SHALLOTTE
MF-10/PRD ZONING
PROPOSED
TOWN OF SHALLOTTE
REZONE TO PUD
91 SINGLE FAMILY LOTS
36 TOWNHOUSE UNITS

C

EXISTING +304 ACRES
BRUNSWICK COUNTY
PROPOSED
TOWN OF SHALLOTTE
ANNEXATION TO PUD
442 SINGLE FAMILY LOTS
136 TOWNHOUSE UNITS
300 MULTI-FAMILY UNITS

Solserra Intensity of Uses

PREVIOUS PRD APPROVED MASTER PLAN (WITHIN PUD SECTION)

SINGLE FAMILY UNITS	458
TOWNHOMES	285
CONDO(MF)	720
total units	1463

* Please note that the condo units were approved directly adjacent to the Shallotte River

PROPOSED PUD SECTION OF MASTER PLAN

SINGLE FAMILY UNITS	545
TOWNHOMES	174
MULTY-FAMILY UNITS	300
total units	1019

* Please note that the multi-family units are located directly adjacent to Gray Bridge Road away from the Shallotte River



H+W DESIGN
2 5 1 2
Independence Blvd.
Suite 200
Wilmington, NC
2 8 4 1 2
November 13, 2024

This plan is a graphic representation and should be utilized for discussion purposes only. This plan approximates existing conditions relating to property boundaries. Plan components may change based upon regulatory and municipal regulations and requirements at time of approvals and/or development activity.
NOT FOR CONSTRUCTION.

Conceptual Zoning Exhibit

SOLSERRA

Town of Shallotte, North Carolina



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSH STEIN
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

March 5, 2025

Chanlin Wong, PE
Exult Engineering
P.O. Box 130
Wallace, NC 28466

RE: Approval of the Traffic Impact Analysis (TIA) associated with the proposed **Solserra Subdivision** in Shallotte, Brunswick County, NC.

The NCDOT and Brunswick County staff have reviewed the analysis provided for the Solserra Subdivision TIA dated February 3, 2025. This development consists of:

Phase 1

- 351 dwelling units: Single Family Detached Housing (LUC 210)
- 36 dwelling units: Single Family Attached Housing (LUC 215)
Build Year: 2029

Phase 2

- 589 dwelling units: Single Family Detached Housing (LUC 210)
- 172 dwelling units: Single Family Attached Housing (LUC 215)
- 300 dwelling units: Multifamily Housing (Low-Rise) (LUC 220)
Build Year: 2033

Full Build

- 805 dwelling units: Single Family Detached Housing (LUC 210)
- 172 dwelling units: Single Family Attached Housing (LUC 215)
- 300 dwelling units: Multifamily Housing (Low-Rise) (LUC 220)
Build Year: 2035

Based on review of the analysis provided in the TIA report, the following improvements are required by the developer:

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DISTRICT 3 ENGINEER'S OFFICE
5911 OLEANDER DRIVE SUITE 101
WILMINGTON, NC 28403
04-11-03 COURIER

Telephone: 910-398-9100
Customer Service: 1-877-368-4968

Website: ncdot.gov

Location:
5911 OLEANDER DRIVE SUITE 101
WILMINGTON, NC 28403

Note: All references to turn lane storage lengths in this document are to be accompanied by appropriate deceleration and taper lengths in accordance with NCDOT standards.

US 17 (Ocean Highway) and SR 1136 (Red Bug Road) (existing signalized left-over)

- Phase 1
 - Construct an additional northbound right turn lane on Red Bug Road with 100 feet of full width storage.
 - Modify the signal plan to accommodate the above improvements.
- Phase 2
 - No further improvements are required.
- Full Build
 - No further improvements are required.

NC 130 (Holden Beach Road) and SR 1136 (Red Bug Road) (existing unsignalized intersection)

- Phase 1
 - Install a cluster traffic signal that will operate with the intersection of NC 130 (Holden Beach Road) and SR 1134 (Gray Bridge Road).
 - Construct a westbound right turn lane on Holden Beach Road with 100 feet of full width storage.
- Phase 2
 - No further improvements are required.
- Full Build
 - No further improvements are required.

NC 130 (Holden Beach Road) and SR 1134 (Gray Bridge Road) (existing signalized intersection)

- Phase 1
 - Modify signal timings and phasing related to installation of a cluster traffic signal at NC 130 (Holden Beach Road) and SR 1136 (Red Bug Road).
- Phase 2
 - Construct an exclusive eastbound right turn lane on Holden Beach Road with 200 feet of full width storage.
- Full Build
 - No further improvements are required.

SR 1134 (Gray Bridge Road) at San Rio Boulevard (existing unsignalized intersection)

- Phase 1
 - No improvements are required in this phase.
- Phase 2
 - Monitor for signalization and install a traffic signal if warranted.

- Full Build
 - Signalize the intersection if not warranted in Phase 2.

SR 1134 (Gray Bridge Road) at SR 1135 (Tar Landing Road) (existing unsignalized intersection)

- Phase 1
 - No improvements are required in this phase.
- Phase 2
 - Construct a southbound right turn lane on Gray Bridge Road with 125 feet of full width storage.
- Full Build
 - No further improvements are required.

SR 1134 (Gray Bridge Road) at SR 1132 (Shell Point Road) (existing unsignalized intersection)

- Phase 1
 - No improvements are required.
- Phase 2
 - No improvements are required.
- Full Build
 - No improvements are required.

SR 1134 (Gray Bridge Road) at Northern Tract Driveway (proposed unsignalized full movement driveway)

- Phase 2
 - Construct the Northern Tract Driveway (eastbound approach) with one ingress lane and one egress lane.
 - Provide stop control for the eastbound approach.
 - Provide an internal protected stem of 100 feet, as measured from the right-of-way line.
 - Construct a southbound right turn lane on Gray Bridge Road with 175 feet of full width storage.
- Full Build
 - No further improvements are required.

SR 1135 (Tar Landing Road) at Western Driveway (proposed unsignalized full movement driveway)

- Phase 2
 - Construct the southbound leg of the Western Driveway with one ingress lane and one egress lane.
 - Provide stop control for the southbound approach.
 - Provide an internal protected stem of 50 feet for the southbound approach, as measured from the right-of-way line.

- Full Build
 - Construct the northbound leg of the Western Driveway with one ingress lane and one egress lane.
 - Provide stop control for the northbound approach.
 - Provide an internal protected stem of 50 feet for the northbound approach, as measured from the right-of-way line.

SR 1135 (Tar Landing Road) at Central Driveway (proposed unsignalized full movement driveway)

- Phase 2
 - Construct the Central Driveway (southbound approach) with one ingress lane and one egress lane.
 - Provide stop control for the southbound approach.
 - Provide an internal protected stem of 50 feet, as measured from the right-of-way line.
- Full Build
 - No further improvements are required.

SR 1135 (Tar Landing Road) at Eastern Driveway (proposed unsignalized full movement driveway)

- Phase 2
 - Construct the southbound leg of the Eastern Driveway with one ingress lane and one egress lane.
 - Provide stop control for the southbound approach.
 - Provide an internal protected stem of 50 feet for the southbound approach, as measured from the right-of-way line.
- Full Build
 - Construct the northbound leg of the Eastern Driveway with one ingress lane and one egress lane.
 - Provide stop control for the northbound approach.
 - Provide an internal protected stem of 50 feet for the northbound approach, as measured from the right-of-way line.

SR 1134 (Gray Bridge Road) at Central Tract Driveway (proposed unsignalized full movement driveway)

- Full Build
 - Construct the Central Tract Driveway (eastbound approach) with one ingress lane and one egress lane.
 - Provide stop control for the eastbound approach.
 - Provide an internal protected stem of 50 feet, as measured from the right-of-way line.
 - Construct a southbound right turn lane on Gray Bridge Road with 50 feet of full width storage.

SR 1134 (Gray Bridge Road) at Southern Tract Driveway (proposed unsignalized full movement driveway)

- Full Build
 - Construct the Southern Tract Driveway (eastbound approach) with one ingress lane and one egress lane.
 - Provide stop control for the eastbound approach.
 - Provide an internal protected stem of 50 feet, as measured from the right-of-way line.

If changes are made to the proposed site driveways, land uses, land use intensity, or other study parameters, or if the build year studied in the report has passed, a revised Traffic Impact Analysis will be required for review by NCDOT. Any such changes will null and void this TIA approval.

The applicant is required to obtain all applicable Brunswick County and NCDOT permits for access to the road network. A copy of this TIA approval shall be included with any NCDOT driveway permit application. All applicable NCDOT and Brunswick County technical standards and policies shall apply.

Please contact me at 910-398-9100 with any questions regarding this approval.

Sincerely,



Benjamin T. Hughes, PE
District Engineer
Division 3, District 3

- cc: Jon Roan, Deputy District Engineer, NCDOT
 Frank Mike, Assistant District Engineer, NCDOT
 Michael Bass, Assistant District Engineer, NCDOT
 Stonewall Mathis, PE, Division Traffic Engineer, NCDOT
 Bryce Cox, Senior Assistant Traffic Engineer, NCDOT
 Madi Lee, PE, Development Review Engineer, NCDOT
 Adrienne Cox, Division Planning Engineer, NCDOT
 Michelle Howes, PE, Corridor Development Engineer, NCDOT
 Marc Pages, Brunswick County Planning
 Helen Bunch, Brunswick County Zoning Administrator
 Robert Waring, Planner, Town of Shallotte
 Brandon Eaton, Planner, Town of Shallotte



TOWN OF SHALLOTTE

PLANNING & ZONING DEPARTMENT

Post Office Box 2287 • Shallotte, North Carolina 28459
Telephone: (910) 754-4032 • Facsimile: (910) 754-2740

December 19, 2024

Town of Shallotte Technical Review
Stars & Stripes 21, LLC.
Attn: Dan Weeks
1031 Marietta Street NW
Atlanta, GA 30318

RE: Solserra PUD (Master Plan) & Annexation ANX 24-27 Parcel ID # 1980000205, 198JB00115, 198JC001, 198JC002, & 198JC003

Mr. Weeks,

Please find the notes below, which were compiled from the recent Technical Review Committee meeting of your project. I will need responses to each comment as well as revised preliminary plans that reflect those comments and updates.

I will place your rezoning/PUD on the next available Planning Board agenda and subsequent Board of Alderman agenda once your responses and revised master subdivision plans have been reviewed.

Planning

- 1. Label plan as PUD master plan – **SHEETS L-1, L-2**
 - a. Note 21 will need to be changed to show the master, once approved as guiding document for the development & any significant changes will need to go back before the Board – **REVISED NOTE 21**
- 2. Please provide the information detailed in Sections 4 & 5 of the PUD application – **PROVIDED VIA EMAIL**
 - a. Staff suggests referencing the 2018 Shallotte CAMA Land Use Plan – **SEE NOTE 23**
- 3. Staff will need a list of adjacent property owners for notification of the public hearing- **PROVIDED VIA EMAIL**
- 4. Once approved, please include master plan sheet with all future plans and/or preliminary subdivision plans
- 5. Please label the proposed building height- **PROVIDED IN THE SITE TABULATIONS SHEET L-1**
 - a. Specify for single family, townhome, & M-F
- 6. We need to show the current phases on the plan for reference – **SEE SHEET L-2**
- 7. Please provide a table showing the differences in use and intensity between current plan and proposed – **SEE SHEET L-1 CHART**
- 8. Provide update on TIA approval- **PROVIDED BY RICHARD STEVENSON VIA EMAIL 2.3.2025**
 - a. Plans will need to detail TIA requirements & which phase they will be provided with
 - b. Note 12, Sheet L-1 needs to be revised to show TIA is required prior to master plan revision -**SEE NOTE 15**
- 9. Note, Tar Landing Rd. 7 Grey Bridge Rd. are maintained by NCDOT – **SEEE NOTE 14**

- 10. How will the project be phased? -**SEE SHEET L-2**
 - a. The master plan will need to reflect the phasing
 - b. Final plats will need to match phase lines – **SEE NOTE 10**
 - c. Final zoning inspections will need to be conducted for all multi-family
- 11. There is a parcel denoted as multi-family, but there also appears to be additional M/F, please clarify **TOWNHOMES FOR SALE ARE ALSO PROPOSED (174units) LABELED ON L-1**
- 12. Please provide the source (NCDOT manual) of the road design- **NOVEMBER 2024 NCDOT ROADWAY DESIGN MANUAL LABELED UNDER CROSS SECTIONS**
- 13. Please show where each road cross section will be employed **LABELED ON L-1**
- 14. Please note if there will be any gates restricting access to the development – **SEE NOTE 24**
 - a. Any gates will need to be reviewed and approved by the Board of Aldermen
- 15. What are the cul-de-sac lengths?- **SHOWN ON SHEET L-1**
 - a. Note, these are limited to 750’, Sec. 30-17
- 16. An access easement will need to cover the width of all private R/W – **SEE NOTE 11**
- 17. Sidewalks will be required along all streets – **SEE NOTE 21**
 - a. 5’ (wide) both sides of the road or 8’ along a single side Ref. Sec. 30-20
- 18. Plans need to include the details listed in Sec. 16-10 (c); this should include open space details. **PROVIDED TYPE OF OPEN SPACE USES ON SHEET L-1**
 - a. Note, SW ponds do not constitute open space- **DID NOT USE PONDS IN OPEN SPACE CALCULATIONS**
- 19. We will also need to see the draft HOA details listed in Sec. 16-11- **PROVIDED IN EMAIL**
 - a. Please ensure that HOA covenants restrict on-street (public streets) parking or modify street design to account for on-street parking – **THE PROPOSED STREET SECTIONS DO NOT PROPOSE ON STREET PARKING**
- 20. Will the development’s proximity to the Shallotte River or other areas of environmental concern require buffering (CAMA)? - **SEE NOTE 27**
- 21. Please provide wetland delineations once approved by USACE - **PROVIDED VIA EMAIL**
- 22. Are there any heritage trees on the site? **WILL BE PROVIDED AT SITE SPECIFIC REVIEW**
- 23. Street names are to be submitted to Brunswick County for approval. **COMPLETED AND APPROVED BY GIS-JAN CLEMMONS – STREET NAMES ON SHEET L-1**
- 24. Once the county approves street names and assigns street range, we will assign addresses.
 - a. Please submit proposed road names to Brunswick County GIS and copy Debra Horn on correspondence -**don’t have Debra Horn’s email address- I sent you Jan Clemmons email 2.5.2025**
- 25. Please note that the Town will only accept performance guarantees for incomplete sidewalks, all other work must be complete and inspected prior to plat signature or final zoning inspection- **SEE NOTE 31**
- 26. Please ensure that all public infrastructure is dedicated to the Town prior to final zoning inspection/approval
- 27. The Town will review the street light plan site and Landscape Plan review- **SEE NOTE 17**
- 28. To avoid confusion, Development signs should be considered during planning - see sign ordinance below.
- 29. Sign permit will be reviewed and issued separately.- **SEE NOTE 25**
- 30.
 - a. Sewer fees will be assessed based on current fee schedules and collected as phased site plans are receiving initial zoning approval
- 31. Will they be paying water/sewer assessment fees all at once or as they build each home or by Phase? If all at once or per Phase, I will need the bedroom count per home (per Phase). If they pay as they build, I will calculate the fees as they submit the zoning application per home.
- 32. Must complete Zoning permit application and all fees must be paid prior to zoning permit approval.
- 33. Please provide copies of any permits and delineations from USACE -**PROVIDED VIA EMAIL**
- 34. Please provide copy of NCDOT driveway permit and NCDEQ stormwater permit as they are obtained

1. Allocation of sewer is issued to only 60 lots at a time.
2. Gravity sewer is to be installed wherever possible. Pressure Sewer is only allowed by the approval of the Board of Aldermen. (Code of Ordinances 52.030 B)
 - a. No utility line may be placed deeper than 10’
3. All sewer must be permitted by the state prior to construction of water/sewer lines, lift-stations, etc.
4. Lift station must be built according to state requirements and Town of Shallotte specs. – **SEE NOTE 1**
5. A final for the state permits we be required prior to any sewer connections.
6. Must have easement access to lift station and all sewer lines.- **SEE NOTE 26**
7. Lift station is to be located on a separate parcel which is included with the dedication of the utility to the Town.
8. All water and sewer lines are to have copper wiring for locating.
9. Any damage to pavement, concrete, etc. due to removing/replacing sewer tank or lines will not be the responsibility of the town. **SEE NOTE 35**
10. Need at least a 10-foot utility easement on both side of the roads – **SEE NOTE 20**
11. Correct As-builds in CAD form need to be submitted to the Town’s engineer prior to c/o.
12. Landscape cannot block access to water or sewer meter and lines or lift station(s).
13. Need at least a 10-foot utility easement on both side of the roads (Dan may recommend a larger easement).
14. Any amenities (clubhouse, pools, etc.) that require system development fees, need to apply for zoning compliance individually and pay system developing fees prior to issuing a zoning compliance.
Debra Horn, CZO Development & Regulatory Compliance Manager dphorn@atmc.net

1. Master Plan Sheet L-1 General Notes – Note 1. Please remove water from Shallotte reference and only utilize Brunswick County for water. **REVISED NOTE 1**
2. Master Plan Sheet L-1 General Notes – Note 5. Fire Hydrant Distance? **REVISED 500’**
3. Master Plan Sheet L-1 General Notes – Note 15. Screening standards for pump stations may not be applicable for individual grinder services.- **SEE NOTE 18**
4. Master Plan Sheet General Notes – Text similar to “DRAINAGE EASEMENT AND STORMWATER SYSTEM MAINTENANCE IS THE RESPONSIBILITY OF THE DEVELOPER OR HOA, INCLUDING PONDS, PIPES, AND INFILTRATION BASINS AND TRENCHES. ALL EXISTING DITCHES AND OUTFALLS SHALL BE PROPERLY MAINTAINED AND FREE OF ALL VEGETATIVE DEBRIS OR ENCUMBRANCES.” Should be added to General Notes. **SEE NOTE 33**
5. Add NCDOT SR numbers for Gray Bridge and Tar Landing roads .- **ADDED TO SHEET L-1**
6. For every unit with its own power service there will be an individual sewer service. For example, a duplex with two power meters would require two separate sewer services.
7. For multifamily parcel would prefer to see private gravity fed to a control manhole that ties into existing lift station.
8. Existing lift station may require upgrade of pumps for flow.
9. Existing lift station will require developer to provide one pump of whatever capacity is need to support the entirety of flow into the station.
10. Existing lift station WILL require the addition of odor control. **SEE NOTE 30**
11. Any Pressure Sewer to be installed 6” in diameter or larger is to be C-900 DR 18 or, as required, ductile.
12. While the proposed transportation infrastructure is intended to be private it will be inspected as if it were public during construction specifically for proof rolling of subgrade, stone, and asphalt relief in relation to curb.
13. Is the curb typical shown on L-1 an NCDOT typical? **AS PER NOVEMBER 2024 NCDOT DESIGN MANUAL**

Further comment reserved for the submission of actual utility drawings.
Dan Formyduval, Public Works Utility Supervisor dformyduval@townofshallotte.org

Town Engineer Service

- 1.

Shallotte FD

1. Attached separately
Paul Dunwell, Shallotte Fire Chief

Brunswick County Plan Review (Fire Inspection)

1. Fire hydrants to be minimum spacing at 500 feet. Fire hydrants will be required to produce minimum 1,000 GPM for residential and minimum 1,500 GPM for commercial. Refer to Brunswick County Fire Prevention Ordinance on specific flow requirements.
2. Minimum road width for any fire apparatus road including one way streets is 20 feet. -**SEE NOTE 34**
3. Any fire apparatus road over 150 feet in length shall have an approved turnaround.- **SEE NOTE 28**
4. Non-sprinkled buildings (townhomes or amenity buildings) shall have all exterior walls within 150 feet of the fire apparatus. Any buildings that have an approved sprinkler system can have the exterior walls within 200 feet of the fire apparatus road. This is measured by an approved route from where the apparatus would park and how you would walk around the building. Multiple points can be used on the apparatus road.
5. A fire development permit will be required. This will check the roads, street signage, hydrant locations and hydrant flow before any buildings are approved or combustibles arrive on site. Note any building with sprinkler system shall be shown with underground fire line size, post indicator valve for each line and state if backflow preventer is inside the building or show its location on outside of building.

Joe Oliver, Deputy Fire Marshal 910-253-2043 Joseph.oliver@brunswickcountync.gov

NC DCM

1. Parcel ID # 1980000205, along the Shallotte River - may require a CAMA permit depending on it's development in proximity to the Shallotte River- **SEE NOTE 27**

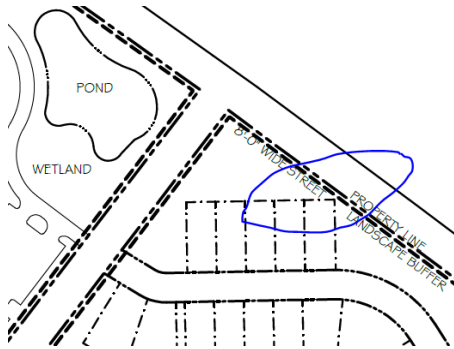
Phil D'Angelis, Division of Coastal Management phil.dangelis@deq.nc.gov

Floodplain

1. .
James Paggioli, CFM
Floodplain Administrator
Brunswick County
james.paggioli@brunswickcountync.gov

NCDOT

1. Solserra (Formerly San Rio) PUD, Grey Bridge Rd, Stars and Stripes 21, LLC. Gray Bridge Rd (SR 1134) and Tar Landing Rd (SR 1135) access proposed. Previous comments:
2. REF: phase 1 was B-1532 (Sandler at Shallotte); Attached both B-1532 and B-1532 R-1 for reference.
3. Driveway permit is required.
4. Note 10 – If roads are built to be private, the note should reference will be built to NCDOT pavement standards only. – **SEE NOTE 11**
5. Approved TIA to be followed and submitted to NCDOT
6. Remove Stormwater ponds from NCDOT ROW – also do the storm water ponds drain to the NCDOT right of way? If so provide storm water calculations for hydraulics review. Confirm that the pond and pond slopes are at minimum 5’ from the right of way line. (10’ preferred) **THE PONDS ARE NOTE LOCATED WITHIN THE NCDOT ROW OR 8’ BUFFER**
7. Verify sight stopping distance is met without obstruction – particularly here at Tar Landing Rd: **REVISED AND MOVED AWAY FOR PROPERTY LINE AND BUFFER**



- 8. Protected Stem length is preferred between 50-100 feet from Gray Bridge Rd. **PROPOSED 342' STEM LENGTH FROM THE CENTERLINE OF GRAY BRIDGE RD TO THE INTERSECTION OF MISTY HARBOR WAY**
- 9. Sidewalk to be submitted for approval by encroachment if located within NCDOT ROW- **SEE NOTE 29**
- 10. All encroachments (utility) within NCDOT ROW to be obtained through encroachment agreements with NCDOT via the online portal.
- 11. Driveway and utility encroachments to be submitted to NCDOT by use of the electronic portal:

<https://connect.ncdot.gov/municipalities/Utilities/Pages/help.aspx>

Angela Hammers - Engineering Technician III, NCDOT Div. 3 District 3 – (910) 398-9100 / 9119 - akhammers@ncdot.gov.

Sent via e-mail 12/19/2024

RW

Table 10-2: Table of Permitted Uses

PERMITTED USES	ME-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L1	HI	C	PUD
RESIDENTIAL – HOUSEHOLD LIVING															
DWELLING, MULTI-FAMILY [pursuant to 10-3(H)]	S	S	S				S	S	S	S					P
DWELLING, SINGLE-FAMILY (excluding manufactured homes)	P	P	P	P	P	P	S	S	S	S	P				P
DWELLING, TWO-FAMILY (DUPLEX)	P	S	P				S	S	S	S					P
MANUFACTURED HOME, CLASS A [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME, CLASS B [pursuant to 10-3(Q)]			P			P									
MANUFACTURED HOME PARK [pursuant to 10-3(S)]			S			S									
RESIDENTIAL CLUSTER DEVELOPMENT [pursuant to Article 13]	S	S		S			S	S	S						S
Residential Micro-grid Solar Collector Battery Storage System (pursuant to Article 31)	P														
RESIDENTIAL – GROUP LIVING															
ADULT CARE HOME	S									S	S				
ALCOHOL AND/OR SUBSTANCE ABUSE REHABILITATION FACILITIES, RESIDENTIAL (Six or fewer residents)		P	P	P	P										
ASSISTED LIVING RESIDENCE	S							S		S	S				S
FAMILY CARE HOME	P	P	P	P	P	P		S	S	S	P				P
MULTI-UNIT ASSISTED HOUSING WITH SERVICES	S							S		S	S				S
NURSING HOME	S							S		S					P
ACCOMMODATION SERVICES															
BED AND BREAKFAST	S	S	S	S	S	S	S	S	S	S	S				S
MOTELS/HOTELS [pursuant to 10-3(V)]							S	S	S	S					
TRAVEL TRAILER AND RECREATIONAL VEHICLE PARKS/CAMPGROUNDS [pursuant to 10-3(FF)]	S		S			S				S					
PUBLIC & CIVIC															
ALCOHOLIC BEVERAGES PACKAGED, RETAIL							P	P							
AMBULANCE SERVICE/RESCUE SQUAD								P		P	P	P	P	P	
BOAT RAMPS									S						
NON-MOTORIZED (CANOES, KAYAKS, BOAT LAUNCH)							S								
BUILDINGS, GOVERNMENTAL	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
CEMETERY [pursuant to 10-3(D)]					S	S				S					S
CHURCH	S	S	S	S	S	S	S	P	P	P					P
CIVIC, CHARITABLE, POLITICAL, FRATERNAL, SOCIAL, AND RELIGIOUS ORGANIZATIONS							P	P		P	P				
GAZEBO/PIERS/DOCKS, COMMUNITY ¹ [pursuant to 10-3(K)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
GAZEBO/PIERS/DOCKS, PRIVATE ¹ [pursuant to 10-3(L)]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
GAZEBO/PIERS/DOCKS, PUBLIC ¹	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
HOSPITALS			P					P		P					
NATURE OBSERVATION POINTS	S	S	S	S	S	S	S	S	S	S	S				S
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, OWNED AND OPERATED BY NON-PROFIT CIVIC ORGANIZATIONS [pursuant to 10-3(Y)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P

¹As permitted by CAMA.

PERMITTED USES	MF-14/10/06	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
PARKS, PLAYGROUNDS, AND RECREATION CENTERS, MUNICIPALLY OWNED	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
PARKS AND RECREATION AREAS (other governmental) [pursuant to 10-3(Z)]	P	P	P	P	P	P	P	P	P	P	P	P	P	S	P
SCHOOL, PUBLIC AND PRIVATE	S	S	S	S	S	S	S	P		P					S
US POSTAL SERVICES							S	P		S		P			S
RECREATION, ENTERTAINMENT, AND PUBLIC ASSEMBLY															
ADULT AND SEXUALLY ORIENTED BUSINESSES [pursuant to Article 24]													S		
BILLIARD AND POOL HALLS								S		S					
BOWLING ALLEYS								P		P					
RECREATIONAL FACILITY (INDOOR-PRIVATE)							S	P	P	P	P				
DANCE HALLS										P					
DRIVE-IN THEATERS										S					
ELECTRONIC GAMING OPERATION [pursuant to 10-3(I)]												S			
ENTERTAINMENT ESTABLISHMENTS (GAMES, AMUSEMENT CENTERS, ETC.)							S	P		P					
GOLF COURSE, MINIATURE								S		S					
GOLF DRIVING RANGE								S		S					
GOLF, SWIMMING, AND TENNIS CLUBS [pursuant to 10-3(M)]	S	S		S	S	S	S	P	S	P					S
HEALTH CLUBS							S	P	P	P					P
INDOOR THEATER							P	P		P					
MARINA [pursuant to 10-3(T)]	S	S	S	S	S	S	S		P						S
RECREATION FACILITY, PRIVATE							S	S	S			S			S
SKATING RINKS								S		S					
VIDEO ARCADES							S	P		P					
COMMERCIAL SALES AND RENTALS															
ANTIQUE SHOPS							P	P	P	P	S				
ARTIST AND CRAFTSMAN STUDIOS, DISPLAYS, OR SHOPS							P	P	P	P					P
AUTOMOBILE AND TRUCK DEALERS								S		S		P			
AUTOMOBILE PARTS AND SUPPLY STORE								P		P					
AUTOMOBILE (INCLUDING TRUCKS) AND/OR TRAILER RENTALS							S	S		S					
BANKS, FINANCIAL INSTITUTIONS							P	P	P	P					P
BOAT SALES AND SERVICE								P	P	P					
BOAT STORAGE								S	S	S					
BOOK STORES							P	P		P					
BUILDING MATERIALS SALES AND STORAGE								S		S		P			
CARPET AND RUG DEALERS							S	P		P		P	P		
CELLULAR TELEPHONE STORES							P	P		P	P				
CLUB, PRIVATE							S			S					
COFFEE SHOPS							P	P		P					
CONVENIENCE FOOD STORES								P		P		P			P
CONVENIENCE STORES WITH EXISTING GAS PUMPS							S	P		P					P
CONVENIENCE STORES (NEW CONSTRUCTION) WITH GAS PUMPS								P		P					
CONSIGNMENT SHOPS, USED MERCHANDISE							P	P		P	P				

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
COMPUTER AND ASSOCIATED EQUIPMENT STORES							P	P		P					
ELECTRICAL AND ELECTRICAL MACHINERY, EQUIPMENT AND SUPPLIES								S		S		P			
FARMER'S MARKET							S	P		P		P			
FLEA MARKETS/VENDOR MARKETS							S	S		S		P			
FLORIST SHOPS							P	P	P	P					P
FOOD STORES (less than 5,000 SF)							P	P		P					P
FOOD, BEVERAGE, & CRAFT BREWING PROCESSING AND PRODUCTION WITH RETAIL SALES							P	P	P	P					
FUEL AND ICE DEALERS												S	S		
FURNITURE AND FIXTURES							S	P		P		P			
GAS COMPANIES												P	P		
GLASS AND MIRROR REPAIR SALES								P		P		P	P		
GROCERY STORES (5,000 SF or greater)							S	P		P					
HARDWARE STORES							S	S		S		P			P
ICE CREAM PARLORS AND LIKE ESTABLISHMENTS							P	P		P					
ICE VENDING MACHINES (AUTOMATIC)								P		P					
LAWN AND GARDEN STORES							P	P		P					
LEATHER PRODUCTS (no tanning)							P	P		P					
LUMBER AND WOOD PRODUCTS, SALES [pursuant to 10-3(O)]							S	S		S		P	P		
MANUFACTURED HOME SALES AND SERVICE										S					
MEASURING, ANALYZING, CONTROLLING, AND OPTICAL GOODS, WATCHES, CLOCKS							P	P		P		P			
MICROBREWERY (5,000 SF or less and production of less than 1,000 barrels per year)							P	P							
MOTION PICTURE PRODUCTION AND DISTRIBUTION												P	P		
MOTORCYCLE SALES AND SERVICES								S		S					
OUTSIDE STORAGE FACILITY [pursuant to 10-3(X)]								S							
PAWNSHOP OR USED MERCHANDISE STORE								P		P					
PET SALE & SUPPLIES (excluding kennel activities, breeding operations, and/or outside storage of animals)							P	P		P					
POTTERY AND RELATED PRODUCTS							P	P	P	P		P			
PRINTING AND PUBLISHING ESTABLISHMENTS							S	S		S		P	P		
PRINTING, COMMERCIAL							S	S		S		P	P		
RE-UPHOLSTERY AND FURNITURE REPAIR								P		P		P	P		
RECREATIONAL VEHICLE AND UTILITY TRAILER SALES AND SERVICE								S		S		P			
REFRIGERATION, HEATING, AND AIR CONDITIONING MACHINERY								S		S		P			
REPAIR SHOPS (radio, television, small appliances, shoes, etc.)							P	P		P		P	P		
RESTAURANTS							P	P	P	P					P
RETAIL SALES ESTABLISHMENTS (less than 5,000 SF)							P	P	P	P		P			P
RETAIL STORES (5,000 SF or greater)							S	P		P					
RETIREMENT/ELDERLY FACILITIES							P	P	S						P
SEAFOOD MARKET							P	P	P	P		P			
TOBACCO/VAPE SPECIALTY STORE [pursuant to 10-3 (GG)]								P		P		P			
TIRE DEALERS AND SERVICE								S		S		P			
UPHOLSTERY SHOPS								P		P		P	P		
VIDEO RENTAL							P	P		P					P

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	LI	HI	C	PUD
WATER DEPENDENT COMMERCIAL USES							S	S	S						
OFFICE AND COMMERCIAL SERVICE															
ALCOHOLIC AND/OR SUBSTANCE ABUSE REHABILITATION SERVICES, NON-RESIDENTIAL								P		P	P	P	P		
ANIMAL HOSPITALS/ VETERINARIANS [pursuant to 10-3(B)]								P		P					
AUTOMATED TELLER MACHINES (STAND ALONE)								P	P	P	P				
AUTOMOTIVE REPAIR FACILITY [Tier 1]										P		P			
AUTOMOTIVE REPAIR FACILITY [Tier 2]										S					
AUTOMOTIVE REPAIR FACILITY [Tier 3]												P			
AUTOMOBILE SERVICE STATION With Fuel Pumps								S		P					S
BARBER AND BEAUTY SHOPS							P	P	P	P	P				P
BAIL BONDING SERVICES								P		P	P				
CALL CENTER								P		P			P		
CAR WASHES								S		P		P			
CARPET AND UPHOLSTERY CLEANERS										S		P			
CATERING ESTABLISHMENTS							P	P	S	P					
COLLEGES, UNIVERSITIES, & PROFESSIONAL SCHOOLS								P		P	P				
CONTRACTORS, BUILDING (with storage)										S		P			
CONTRACTORS, EQUIPMENT										S		P			
CONTRACTORS, HEAVY CONSTRUCTION										S		P			
CONTRACTORS, SPECIAL TRADES (no storage)								P		P		P			
COPY CENTERS							P	P		P					
DAY CARE FACILITIES [pursuant to 10-3(F)]								P		P					S
DAY SPAS							P	P		P					
DIALYSIS CENTERS								P		P	P				
DIET CENTERS								P		P	P				
DRY CLEANERS AND LAUNDRIES [pursuant to 10-3(G)]							P	P		P		P			
ELECTRONIC DATA PROCESSING								P		P	P	P	P		
ENGINEERING, ARCHITECTURAL, AND SURVEYING OFFICES							P	P	P	P	P	P			
EXTERMINATING SERVICES												P	P		
FORTUNE TELLERS (to include Palm Readers, Crystal Ball Reading, Tarot Card Reading, and similar fortune telling techniques).								S		S		S			
FUNERAL HOME [pursuant to 10-3(J)]								S		S		S			
GROOMING SERVICES, ANIMALS								P		P		P	P		
INDUSTRIAL RESEARCH OFFICES AND LABORATORIES												P	P		
KENNEL OPERATIONS, BOARDERS, BREEDERS, AND ANIMAL SHELTERS (no outside pens, no permanent outside boarding, all operations must be located in the rear yard and must not be visible from any right-of-way) [pursuant to 10-3(N)]								S		S		P	P		
LABOR UNIONS							P	P		P					
LABORATORIES								P		P	P	P			
LOCKSMITH, GUNSMITH							P	P		P		P			
MENTAL HEALTH, INPATIENT											S	S			
OFFICE, ACCOUNTANTS CERTIFIED PUBLIC							P	P		P	P	P			
OFFICES, INCLUDING BUT NOT LIMITED TO PROFESSIONAL SERVICES (ATTORNEY, DOCTOR, HEALTHCARE PROFESSIONAL, STAFFING ETC.)							P	P	P	P	P	P			P

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L/I	HI	C	PUD
PHOTOGRAPHERS							P	P	P	P	P				P
SUBSTANCE ABUSE TREATMENT FACILITY, INPATIENT								S			S				
SUBSTANCE ABUSE TREATMENT FACILITY, OUTPATIENT								P		P	P				
TATTOO AND BODY PIERCING ESTABLISHMENTS [pursuant to 10-3(DD)]								S		S		S			
TAXIDERMIST								S				P	P		
TEACHING STUDIO (including fine arts, yoga, martial arts, etc.)							P	P		P	P				
VETERINARY SERVICES WITH CLOSED PENS												P	P		P
INDUSTRIAL, MANUFACTURING, AND HEAVY REPAIR															
APPAREL & ACCESSORY MANUFACTURING												P	P		
ASPHALT, CONCRETE, CEMENT, STONE MANUFACTURING													P		
AUTOMOBILE JUNKYARD [pursuant to 10-3(C)]										S			S		
BAKERY PRODUCT, CANDY, CONFECTIONARY MANUFACTURING												P	P		
BOAT AND SHIPBUILDING												P	P		
BOTTLING												P	P		
BRICK AND CLAY MANUFACTURING													P		
CABINET MAKING AND COUNTER TOP MANUFACTURING								S				P	P		
CARGO STORAGE CONTAINERS (including tractor trailers)										S		P	P		
CLOTHING AND FINISHED FABRIC PRODUCTS												P	P		
ELECTRIC MOTOR REPAIR												P			
INDUSTRIAL USES NOT HAVING AN INJURIOUS EFFECT ON THE TOWN												S	S		
MACHINERY (engines, construction tools) [pursuant to 10-3(P)]								S		S		P	P		
MANUFACTURING (textiles, clothing, scientific instruments, and small machine assembly)												P	P		
PAPERBOARD CONTAINERS AND BOXES												P	P		
QUARRY AND EXTRACTION OPERATION													S		
SCREW MACHINE PRODUCTS (bolts, nuts, screws)												P	P		
SMALL ENGINE REPAIR								S		S		P			
TEXTILES												P	P		
WELDING REPAIR								S		S		P	P		
TRANSPORTATION, WHOLESALING, AND WAREHOUSING															
BUS REPAIR AND STORAGE TERMINAL ACTIVITIES												S	S		
BUS STATIONS								P		P					
COMMERCIAL PARKING LOTS [pursuant to 10-3(E)]							S	S	S	S					S
GAS PUMPING STATIONS (unmanned, credit cards only)								P		P					
MOTOR FREIGHT TERMINALS												P	P		
MINI-STORAGE FACILITIES [pursuant to 10-3(U)]								S		S		P			
MINI-WAREHOUSING AND DRY STORAGE												P	P		
MOVERS, VAN LINES, AND STORAGE								S		S		P	P		
OFF-STREET AUTOMOBILE PARKING							P	P		P		P	P		P
PACKAGE DELIVERY SERVICES, COMMERCIAL								S		S		P			
SHIP CHANDLERS												P	P		
SHIPPING BROKERS, FREIGHT AND CARGO												P	P		

PERMITTED USES	MF-14/10/6	R-10	RM-10	R-15	RA-15	RAM-15	CB	HB	CW	B-2	O/I	L1	HI	C	PUD
TAXI STANDS LIMITED TO 5 TAXIS							P	P		P					
TOWING SERVICES								S	S			P			
WAREHOUSE								S	S			P	P		
WHOLESALE MERCHANTS								P	P			P	P		
WHOLESALE STORAGE OF GASOLINE OR BULK TERMINAL PLANTS [pursuant to 10-3(GG)]													S		
UTILITIES AND COMMUNICATIONS															
PUBLIC UTILITY STORAGE OR SERVICE YARDS								P		P		P	P		
PUBLIC UTILITY SUBSTATIONS/ SWITCHING STATIONS [pursuant to 10-3(BB)]	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
PUMP STATIONS (MUNICIPALLY OWNED)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
RADIO AND TELEVISION BROADCASTING STUDIOS							P	P		P		P			P
UTILITY STATIONS							S	S	S	S	S	P	P		P
TELECOMMUNICATION FACILITIES [pursuant to Article 18]	S	S	S	S	S	S	S	S	S	S		S	S	S	S
AGRICULTURAL AND FOOD PRODUCTION															
AGRICULTURAL, HORTICULTURAL, OR HUSBANDRY USES (excluding poultry houses and hog parlors)					P	P									
APICULTURE (BEEKEEPING)				P	P	P									
FISHING, COMMERCIAL									S			P	P		
FRUIT AND VEGETABLE MARKETS, WHOLESALE												P	P		
FOOD PROCESSING FACILITIES												P	P		
GREENHOUSES								P	P			P	P		
ACCESSORY AND TEMPORARY															
ACCESSORY DWELLING [pursuant to 10-4(A)]	P	P	P	P	P	P	P	S	S	S	S				P
ACCESSORY STRUCTURE [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P	P	P		P
ACCESSORY USES, OTHER [pursuant to 10-4]	P	P	P	P	P	P	P	P	P	P	P				P
ACCESSORY RETAIL [pursuant to 10-4(E)]							P	P	P	P	P	P	P		P
DRIVE-THROUGH FACILITIES							S	S		S	S				S
DUMPSTERS AND ENCLOSURES [pursuant to 10-4(B)]	P	T	T	T	T	T	S	P	P	P	P	P	P		P
HOME OCCUPATION [pursuant to 10-4(D)]	P	P	P	P	P	P	P	P	P	P					P
MODULAR/MOBILE OFFICE, TEMPORARY [pursuant to 10-3(S)]	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
OUTDOOR DISPLAY, OUTDOOR STORAGE, OUTDOOR SALES [pursuant to 10-3(X)]							S	P		P					
STORAGE, INDUSTRIAL [pursuant to 10-3(Y)]												P	P		
TEMPORARY USES, OTHER	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
VEHICLE STORAGE IN CONJUNCTION WITH REPAIR								S		P		P			

¹As permitted by CAMA.

(Ord. 07-33, 9/07; Ord. 09-04, 7/09; Ord. 09-06, 9/09; Ord. 10-15, 11/11; Ord. 11-12, 5/11; Ord. 11-17, 10/11; Ord. 12-02, 1/12; Ord. 13-01, 1/13; Ord. 14-12, 10/07/14; Ord. 14-16, 12/02/14; Ord. 15-01, 01/06/15; Ord. 15-07, 06/02/15; Ord. 15-10, 07/07/15; Ord. 15-14, 10/6/15; Ord. 15-15, 10/6/15; Ord. 16-02, 01/05/16; Ord. 16-08, 04/05/16; Ord. 16-09, 5/3/16; Ord. 16-12, 7/5/16; Ord. 16-13, 7/5/16; Ord. 16-16, 10/4/16; Ord. 17-7, 10/9/17; Ord. 19-03, 04/2/19; Ord. 20-04, 2/4/20; Ord. 20-05, 7/7/20; Ord. 23-10, 12/5/23)

MEDIUM DENSITY RESIDENTIAL

Medium density residential land uses are generally located within the extraterritorial planning jurisdiction (ETJ) boundary and are, for the most part, existing residential subdivisions and nearby vacant properties not designated for commercial use. Appropriate uses include single-family residences and subdivisions, duplexes, community recreation and open space uses like golf courses and pools, and neighborhood-scale institutional uses such as religious and civic organizations.

Planned communities may also include well-integrated multi-family and single-family attached residences and limited neighborhood-scale commercial and office uses. Industrial and manufacturing uses, as well as commercial and office uses not located within a planned community are inappropriate. Large institutional uses, such as high schools, community colleges, and mega-churches are also generally inappropriate. Target densities are between four (4) and six (6) dwelling units per acre.

Medium Density Residential

Desired Uses:

- Single-family residential uses
- Two-family residential uses
- Townhouse development
- Age appropriate retirement housing
- Recreation, parks, and open space

Inappropriate Uses:

- Multi-family residential uses
- Commercial, office, and institutional development
- Industrial development

Desired Density:

- Residential uses: 6 dwelling units per acre

Planning Board Zoning Amendment Statement of Consistency

The Town of Shallotte *Planning Board* has reviewed in full the petition ANX #24-27 to rezone ±479 acres of real property (tax ID 1980000205, 198JB00115, 198JC001, 198JC002, & 198JC003) owned by Stars & Stripes 21, LLC from Shallotte MF-10 & County R7500 to Shallotte PUD. After review of the petition, the Planning Board hereby *recommends* that the property be rezoned to PUD from its current zoning. In making this *recommendation*, the *Planning Board* finds that [*check all that apply*]:

This request **IS** () **IS NOT** consistent with the objectives and policies of the following plans adopted by the Town of Shallotte:

- The proposed PUD is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use density. While the plan does include multi-family it is a lower amount than what is detailed on their current plan; and

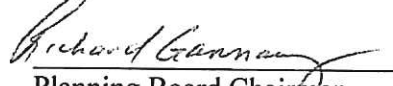
This request **IS** () **IS NOT** reasonable and in public interest:

- The proposed PUD provides additional housing within the Town while remaining within the prescribed density of the Town’s Future Land Use Plan.

The proposed amendment(s) are in conformance with the following:

- UDO Table of Permitted Uses
- 2018 CAMA Land Use Plan
- Bike & Pedestrian Plan (If applicable)
- Future Land Use Map

Other comments:

3/11/2025
 Date

 Planning Board Chairman
 Town of Shallotte

ORDINANCE 25-08

ORDINANCE OF THE TOWN OF SHALLOTTE, NORTH CAROLINA TO EXTEND THE CORPORATE LIMITS OF THE TOWN OF SHALLOTTE, NORTH CAROLINA (CONTIGUOUS ANNEXATION)

WHEREAS, the Town of Shallotte has been petitioned under G.S. 160A-31 to annex the area described below; and

WHEREAS, the Town of Shallotte has the resolution directing the Town Clerk to investigate the sufficiency of the petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at 5:15 p.m. on April 1, 2025 after notice by publication; and

WHEREAS, the Town of Shallotte finds that the petition meets the requirements of G.S. 160A-31;

NOW, THEREFORE BE IT ORDAINED by the Board of Aldermen of the Town of Shallotte, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-31, the following described territory is hereby annexed and made part of the Town of Shallotte as of April 1, 2025;

Beginning at a point located in the southwest intersection of SR 1134 Gray Bridge Road (60' Public Right of way) and SR 1135 Tar Landing Road (60' Public Right of Way); thence with the western right of way line of SR 1134 Gray Bridge Road, S53°19'26"E, 523.16 feet to a point; thence with a curve to the right having a radius of 1405.00 feet and a chord bearing and distance of S36°08"44E, 829.92 feet to a point; thence S18°50'58"E, 2126.16 feet to a point; said point being the northeast corner of Lot 71, Block 33, Shell Point Recreational Village as recorded in Map Cabinet J, Page 179; thence leaving the western right of way line of SR 1134 Gray Bridge Road, leaving said right of way of SR 1134 Gray Bridge Road, S69° 05' 41"W, 92.37 feet to a point; thence S78° 42' 26"W 226.98 feet to a point; thence S84° 14' 46"W 193.18 feet to a point; thence S68° 46' 09"W 117.72 feet to a point; thence S85° 48' 54"W 238.84 feet to a point; thence N68°

Map _____ Page # _____

20' 17"W 59.48 feet to a point; thence N55° 47' 49"W 90.71 feet to a point; thence N63° 39' 02"W 184.61 feet to a point; thence N61° 27' 40"W 175.60 feet to a point; thence N36° 15' 31"W 73.21 feet to a point; thence N72° 04' 51"W 56.17 feet to a point; S80° 24' 39"W 124.13 feet to a point; thence S84° 08' 12"W 173.25 feet to a point; thence S67° 08' 12"W 206.50 feet to a point; thence S76° 27' 23"W 233.98 feet to a point; thence S83° 23' 33"W 184.22 feet to a point; thence S81° 02' 32"W 69.71 feet to a point; thence S72° 21' 34"W 121.78 feet to a point; thence N56° 42' 38"W 65.28 feet to a point; thence N5° 50' 26"E 266.01 feet to a point; thence N19° 12' 54"E 300.02 feet to a point; thence N1° 10' 00"E 217.00 feet to a point; thence N17° 23' 22"E 178.77 feet to a point; thence N26° 13' 11"E 132.40 feet to a point; thence N34°40'39"W, 650.83 feet to a point; thence S52°44'15"W, 130.22 feet to a point in the southern right of way line of SR 1135 Tar Landing Road aforesaid mentioned; thence with the southern right of way line of SR 1135 Tar Landing Road and with a curve to the right having a radius of 1269.06 feet and a chord bearing and distance of S37°09'56"W, 37.97 feet to a point; thence crossing the right of way of SR 1135, S58°53'10"W, 216.20 feet to a point in the northern right of way line of SR 1135 Tar Landing Road; thence with the northern right of way line of SR 1135 Tar Landing Road and with a curve to the right having a radius of 992.12 feet and a chord bearing and distance of N60°39'38"E, 405.18 feet to a point; said point being the southeast corner of Lot 63, Tar Landing Heights Subdivision as recorded in Map Book 6, Page 28; thence leaving the northern right of way line of SR 1135 Tar Landing Road, N14°03'07"W, 199.81 feet to a point; thence S76° 06' 53"W 99.76 feet to a point; thence S75° 58' 12"W 99.86 feet to a point; thence S76° 27' 25"W 99.92 feet to a point; thence S76° 13' 06"W 99.90 feet to a point; thence S75° 59' 52"W 99.82 feet to a point; thence S76° 13' 39"W 99.95 feet to a point; thence S76° 11' 34"W 200.20 feet to a point; thence S76° 23' 47"W 99.81 feet to a point; thence S76° 22' 49"W 99.70 feet to a point; thence S76° 29' 27"W 99.98 feet to a point; thence S76° 03' 14"W 298.88 feet to a point; thence N88° 15' 27"W 81.02 feet to a point, said point being the northwest corner of Lot 49, Tar Landing Heights referenced above; thence with the northern boundary of the lands claimed by Bettie L. Carter in Deed Book 2493, Page 724 and with the mean high water line of the Shallotte River as surveyed and map by Steve M. Norris, PLS on a recorded in Map Cabinet 19, Page 21-24, the following bearings and distances: N77° 03' 18"W 43.70 feet to a point; thence N37° 36' 30"W 29.46 feet to a point; thence N66° 35' 23"W 162.22 feet to a point; thence N50° 50' 18"W 51.38 feet to a point; thence N52° 17' 56"W 119.64 feet to a point; thence N85° 36' 49"W 63.27 feet to a point; thence N80° 41' 13"E 53.68 feet to a point; thence N59° 56' 20"W 51.42 feet to a point; thence N65° 16' 41"W 37.89 feet to a point; thence N45° 47' 55"W 37.54 feet to a point; thence S88° 33' 11"W 49.20 feet to a point; thence S67° 36' 34"W 25.34 feet to a point; thence N88° 01' 55"W 27.97 feet to a point; thence S73° 18' 30"W 17.13 feet to a point; thence N80° 51' 44"W 53.32 feet to a point; thence N83° 38' 04"W 35.45 feet to a point; thence N31° 42' 10"W 19.44 feet to a point; thence N41° 15' 33"W 30.61 feet to a point; thence S46° 36' 52"W 24.38 feet to a point; thence S45° 13' 27"W 35.64 feet to a point; thence N89° 03' 43"W 33.87 feet to a point; thence N50° 04' 24"W 33.74 feet to a point; thence N51° 18' 10"W 42.15 feet to a point; thence N36° 40' 16"W 46.44 feet to a point; thence N23° 43' 10"W 31.46 feet to a point; thence N5°

58' 53"W 52.08 feet to a point; thence N9° 50' 42"W 45.11 feet to a point; thence N6° 32' 18"W 44.29 feet to a point; thence N16° 31' 46"E 34.60 feet to a point; thence N13° 25' 26"E 35.80 feet to a point; thence N21° 47' 52"E 37.67 feet to a point; thence N42° 33' 08"E 32.33 feet to a point; thence N47° 43' 18"E 25.52 feet to a point; thence N43° 26' 28"E 42.27 feet to a point; thence N54° 34' 34"E 30.12 feet to a point; thence N52° 22' 02"E 46.58 feet to a point; thence N49° 36' 13"E 24.52 feet to a point; thence N39° 43' 37"E 23.87 feet to a point; thence N34° 29' 04"E 40.62 feet to a point; thence N29° 56' 22"E 44.41 feet to a point; thence N36° 43' 14"E 41.16 feet to a point; thence N38° 44' 17"E 56.63 feet to a point; thence N53° 12' 50"E 55.86 feet to a point; thence N38° 39' 04"E 45.25 feet to a point; thence N24° 44' 03"E 53.55 feet to a point; thence N27° 01' 42"E 30.06 feet to a point; thence N7° 58' 51"E 62.60 feet to a point; thence S11° 52' 19"E 19.63 feet to a point; thence S61° 46' 05"E 28.61 feet to a point; thence S41° 14' 35"E 49.36 feet to a point; thence N31° 51' 14"E 105.50 feet to a point; thence N25° 26' 39"E 49.85 feet to a point; thence N48° 12' 13"E 48.87 feet to a point; thence N74° 06' 48"E 37.33 feet to a point; thence N65° 20' 28"E 37.63 feet to a point; thence N25° 14' 08"W 46.68 feet to a point; thence N13° 03' 44"W 33.05 feet to a point; thence N24° 15' 34"E 326.86 feet to a point; thence N24° 15' 34"E 21.91 feet to a point; thence N29° 23' 14"E 20.07 feet to a point; thence N69° 13' 28"E 22.30 feet to a point; thence S41° 09' 07"W 168.80 feet to a point; thence N28° 25' 38"W 73.31 feet to a point; thence with the eastern line of survey prepared by McKim & Creed of San Rio Phase 2 Plat as recorded in Map Cabinet 69, Page 1 the following bearings and distances: thence N55° 41' 49"E 37.43 feet to a point; thence N87° 22' 35"E 215.03 feet to a point; thence S75° 10' 09"E 169.21 feet to a point; thence N63° 34' 15"E 233.36 feet to a point; thence N7° 16' 39"E 191.45 feet to a point; thence N17° 35' 53"W 196.31 feet to a point; thence N57° 03' 24"E 49.51 feet to a point; thence N30° 21' 15"E 38.01 feet to a point; thence N47° 59' 49"E 37.96 feet to a point; thence N42° 35' 59"E 34.75 feet to a point; thence N37°12' 06"E 34.40 feet to a point; thence S68° 22' 04"W 24.03 feet to a point; thence S66° 21' 35"W 34.36 feet to a point; thence S71° 16' 36"W 46.62 feet to a point; thence N80° 58' 19"E 34.17 feet to a point; thence N78° 39' 36"E 26.47 feet to a point; thence N78° 20' 39"E 40.48 feet to a point; thence S88° 34' 22"E 32.78 feet to a point; thence N62° 31' 48"E 48.32 feet to a point; thence N52° 25' 06"E 72.85 feet to a point; thence N88° 20' 50"E 29.61 feet to a point; thence N54° 50' 11"E 39.67 feet to a point; thence N29° 44' 48"E 52.83 feet to a point; thence N31° 36' 40"E 46.16 feet to a point; thence N35° 00' 34"E 20.93 feet to a point; thence N30° 33' 40"E 35.17 feet to a point; thence N42° 23' 37"E 26.61 feet to a point; thence N24° 42' 40"E 22.22 feet to a point in the southern right of way line of SR 1134 Gray Bridge Road referenced above; thence with the southern right of way line of SR 1134 Gray Bridge Road, S54° 27' 42"E 1493.74 feet to a point; said point being a corner of a tract of land claimed by Town of Shallotte as recorded in Deed Book 3151, Page 679 and shown on a map recorded in Map Cabinet 68, Page 69, Brunswick County Registry; thence leaving the southern right of way line of SR 1134 Gray Bridge Road, S35° 32' 18"W 75.00 feet to a point; thence S54° 27' 42"E 50.00 feet to a point; thence N35° 32' 18"E 75.00 to a point in the southern right of way line of SR 1134 Gray Bridge Road; thence with the southern right of way line of SR 1134 Gray Bridge Road, S54°27'42"E, 929.76 feet to a point located at the northwest corner

Map _____ Page # _____

of the intersection of SR 1134 Gray Bridge Road SR 1135 Tar Landing Road; thence crossing SR 1135 Tar Landing Road, S53°54'15"E, 60.01 feet to the Place and Point of Beginning.

Containing 304.66 acres as shown a map titled "Annexation Survey For Town of Shallotte NC" prepared by Christopher D. Stanley, PLS, dated 11-06-2024 to which reference is hereby made for a more full and accurate description.

EXCEPTING all lands lying within the right of way of SR 1135 Tar Landing Road.

Adopted this 1st day of April 2025.

Walt Eccard, Mayor

ATTEST:

Natalie Goins, Town Clerk

APPLICANT: Stars & Stripes 21, LLC (PID# 1980000205, 198JB00115, 198JC001, 198JC002, 198JC003, 19800002, & 19800002)

I certify that Natalie Goins personally appeared before me this 1st day of April, 2025 and I have personal knowledge of the identity of the principal; acknowledging to me that she voluntarily signed the forgoing document for the purpose stated therein and in the capacity indicated: Town Clerk

Maria O. Gaither, Notary Public

(Seal)

My Commission Expires: February 14, _____

Map _____ Page # _____

STATE OF NORTH CAROLINA
County of Brunswick

Clerk's Certification

The undersigned, Natalie Goins, Clerk to the Board of Aldermen of the Town of Shallotte, North Carolina, hereby certifies that Ordinance 24-06 attached hereto for the Town of Shallotte is a true and accurate copy of the ordinance adopted unanimously by the Board of Aldermen for the Town of Shallotte, North Carolina on the 4th day of June, 2024; that the ordinance was duly adopted during a session of the Board of Aldermen and remains in full force and effect; and that the Board of Aldermen has taken no action which would in any manner modify or repeal the terms of such ordinance; and that the same remains in full force and effect as of the date hereof.

This the 1st day of April, 2025.

Natalie Goins, Town Clerk
Town of Shallotte

Board of Aldermen Zoning Amendment Statement of Consistency

The Town of Shallotte *Board of Aldermen* have reviewed in full the petition ANX #24-27 to rezone ±479 acres of real property (tax ID 1980000205, 198JB00115, 198JC001, 198JC002, 198JC003, 19800002, & 19800002) owned by Stars & Stripes 21, LLC. from Shallotte MF-10 & County R7500 to Shallotte PUD.

After review of the petition/application, the Board hereby **APPROVES** **DENIES** the request that the property be rezoned to PUD from its current zoning.

In taking this *action*, the *Board* finds that [*check all that apply*]:

This request **(X) IS () IS NOT** consistent with the objectives and policies of the following plans adopted by the Town of Shallotte:

- The proposed PUD is consistent with the Town of Shallotte’s Future Land Use Plan’s prescription for use density. While the plan does include multi-family it is a lower amount than what is detailed on their current plan; and

This request **(X) IS () IS NOT** reasonable and in public interest:

- The proposed PUD provides additional housing within the Town while remaining within the prescribed density of the Town’s Future Land Use Plan.

The proposed amendment(s) are in conformance with the following:

- (X) UDO Table of Permitted Uses
- (X) 2018 CAMA Land Use Plan
- (_) Bike & Pedestrian Plan (If applicable)
- (X) Future Land Use Map

Other comments:

Date

Mayor
Town of Shallotte



Town of Shallotte Board of Aldermen
ACTION AGENDA ITEM
2025

TO: Board of Aldermen

ACTION ITEM #: SUP 24-05

FROM: Brandon Eaton, Planner II

MEETING DATE: 4-01-2025

DATE SUBMITTED: _____

ISSUE/ACTION REQUESTED:

PUBLIC HEARING: YES NO

(1) Conduct a quasi-judicial hearing for the proposed Special Use Permit (SUP) as submitted by Norris & Bland Consulting Engineers, P.C., on behalf of S&H Investment Group, LLC, for a proposed sales office and warehouse for a metal fabrication business-- with no fabrication occurring on-site-- located at 1395 Ocean Hwy W. (Parcel ID # 1670006004).

(2) Consider any specific aspects of the proposed project, consider any conditions specific to the project's impacts, and consider approval of the SUP application & site plan.

BACKGROUND/PURPOSE OF REQUEST:

The property is a +/- 4.71-acre vacant parcel fronting Hwy 17/Ocean Hwy. W., zoned Business 2 (B-2), located within the Town's corporate jurisdiction.

The applicant intends to develop an office and warehouse for metal building fabrication with no fabrication occurring on the property. Warehouses require the issuance of a special use permit within the Town's development jurisdiction.

The project has been reviewed by staff and the Town's TRC, with comments and plans updated accordingly.

The Board may:
Vote to approve the SUP as proposed; or
Vote to deny the SUP as proposed; or
Continue the item until additional information is presented.

FISCAL IMPACT:

BUDGET AMENDMENT REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
CAPITAL PROJECT ORDINANCE REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
PRE-AUDIT CERTIFICATION REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
REVIEWED BY DIRECTOR OF FISCAL OPERATIONS	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

CONTRACTS/AGREEMENTS:

REVIEWED BY TOWN ATTORNEY:

YES NO N/A

ADVISORY BOARD RECOMMENDATION: N/A

STAFF RECOMMENDATIONS:

1. A full site and landscape plan application must be submitted; and
2. No outside storage shall be allowed; and
3. No fabrication may be conducted on-site; and
4. All rooftop mechanical equipment such as HVAC hardware must be screened according to Town UDO standards.
5. Existing project boundary buffer shall be preserved as is, or when/if future updates are made, shall conform to the UDO standard at the time any updates are conducted; and
6. All required fees shall be paid prior to final zoning approval; and
7. Per Sec. 12-12, all required site improvements, shall commence within 12 months of SUP approval date or applicant shall request an extension of up to six months from the Shallotte Board of Aldermen; and
8. All required local, state, and federal permits shall be obtained and copies provided prior to final zoning approval; and
9. The site be maintained in accordance with the approved site plans.

FINANCE RECOMMENDATION: NA

ATTACHMENTS:

1. SUP Application
2. Site Plan
3. TRC Notes & Response Memo
4. Applicant's findings/justification responses
5. Final SUP

ACTION OF THE BOARD OF ALDERMEN

APPROVED: <input type="checkbox"/>	ATTEST: CLERK TO THE BOARD
DENIED: <input type="checkbox"/>	_____
DEFERRED UNTIL: _____	_____
OTHER:	SIGNATURE



APPLICATION FOR SPECIAL USE

<i>Official Use Only</i>	
P&Z #:	_____
Date Rec'd:	_____
Rec'd By:	_____
Amount Paid: \$	_____

Town of Shallotte • PO Box 2287, Shallotte, NC 28459 • 116 Cheers Street, Shallotte, NC 28470 • Phone: (910) 754-4032 • Fax: (910) 754-2740

All applications for special use must be complete and accompanied by the permit fee of \$150.00 plus a public notice fee of \$90.00 and a recording fee of \$30.00, payable in cash or by check made to the Town of Shallotte. Applicants will also be responsible for any additional cost of public notices, which will be billed at a later time. All fees must be paid in full before a Zoning Permit will be issued and before an application will be submitted for review by the Board of Aldermen. Applicants or their agents are responsible for attending the Board of Aldermen meeting where this application will be considered.

Article 10 of the Town of Shallotte Unified Development Ordinance regulates which uses are conditional within the zoning districts in the Town's zoning jurisdiction. Special uses must be approved by the Board of Aldermen. All special uses must satisfy all standards in Section 6-8(B). Most special uses are also required to submit site and landscaping plans. Any plans required to be submitted shall be considered part of this application and special use permits issued are subject to the approved plans.

Project Name: Hardwick Office & Yard		
SECTION 1: APPLICANT INFORMATION		
Applicant Name: Norris & Bland Consulting Engineers P.C.		
Mailing Address: 1429 Ash-Little River Road, Ash, NC 28420		
Phone: (910) 287-5900	Fax: _____	Email: pnorris@nbengr.com
SECTION 2: PROPERTY OWNER INFORMATION (if different from above)		
Owner Name(s): S & H Investment Group, LLC		
Mailing Address: 2430 Wise Rd, Conway, SC 29526		
Phone: (843)365-0083	Fax: _____	Email: hmetal@sccoast.net
SECTION 3: PROPERTY INFORMATION		
Street Address and/or Description of Location: None Assigned - Vacant parcel located east of the existing SERVPRO building on US 17		
Parcel ID #(s): 1670006004	Total Site Acres or Square Feet: 4.71 ac	
Current Zoning District(s): Business District (B-2)		
SECTION 4: USE INFORMATION		
Detailed Description of Proposed Use (attach additional sheets as necessary): Sales offices & warehouse for metal building fabrication business. Fabrication not to occur on site.		
Use Classification (from Table of Uses): Building Materials Sales & Storage		

SECTION 5: SPECIAL USE STANDARDS

In order to approve a special use, the Town Board of Aldermen must hold a hearing and find, based on the evidence presented, that the application adequately satisfies the special use standards identified in Section 6-8(B) of the Unified Development Ordinance and listed below. Please attach any documentation supporting how the proposed project satisfies the following standards, including a statement describing separately for each standard in significant detail the facts and arguments you intend to present to the Board during the hearing:

- (1) That the use will not materially endanger the public health and safety.
- (2) That the use will not substantially injure the value of adjoining or abutting property (or alternatively, that it be a public necessity).
- (3) That the use will be in harmony with the area in which it is to be located.
- (4) That the use will be in general conformity with the Land Use Plan, Thoroughfare Plan, or other plans officially adopted by the Board of Aldermen.
- (5) That the use will have adequate facilities to provide ingress and egress designed to minimize traffic congestion on public streets and also have adequate utilities, access roads, drainage, sanitation, or other necessary infrastructure.
- (6) That the use meets all required conditions and specifications established by the Board of Aldermen.

SECTION 6: SUPPLEMENTAL INFORMATION REQUIRED

Each application for special use must include:

- An application fee of \$150.00 plus public notice fee of \$90.00 and recording fee of \$30.00 in cash or check made payable to the Town of Shallotte.
- A Site/Landscaping Plan Application with required plans containing all required information from the Unified Development Ordinance.*
- One (1) 8.5' x 11' front building elevation indicating façade materials and colors.*
- A notarized letter of authorization if acting as the agent for the property owner(s).

NOTE: If conditional use is approved, two (2) sets of building plans shall be submitted before a Zoning Permit will be issued. Items marked with an asterisk (*) may be waived by the Zoning Administrator where a master plan or other development plan is also required, no site modifications are proposed, or other special situations exist.

SECTION 7: APPLICANT/OWNER SIGNATURE

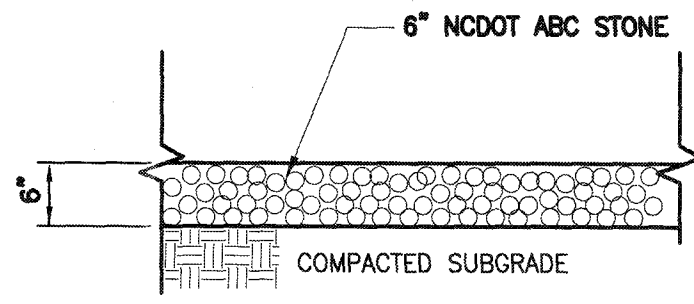
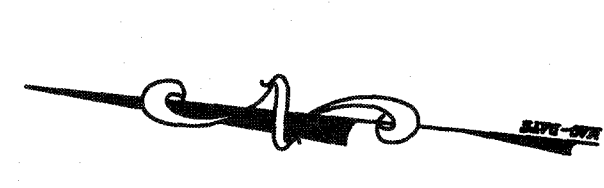
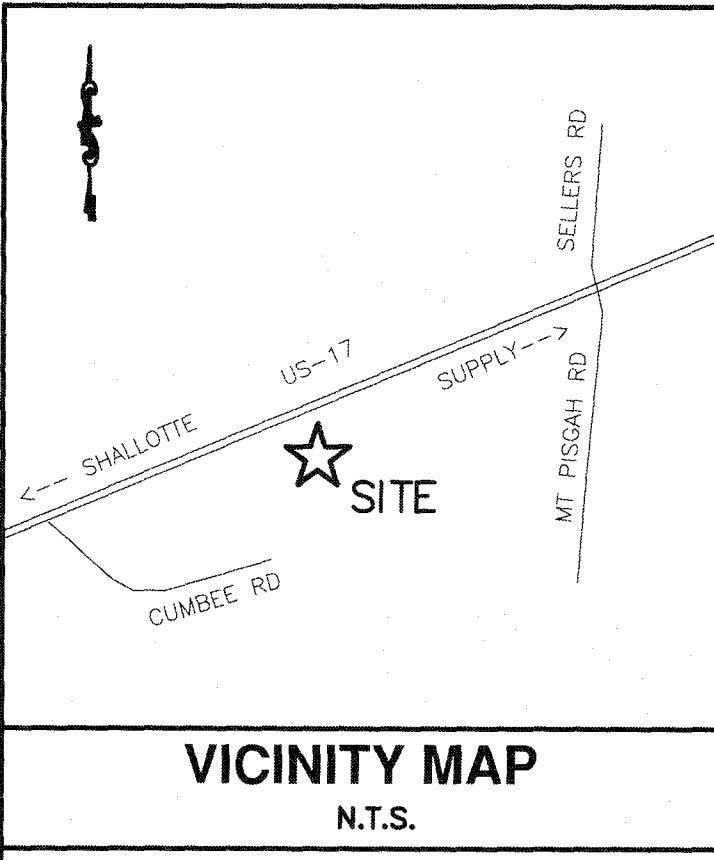
In filing this Application for Special Use, I hereby certify that I am authorized to submit this application and that all of the information presented in this application is accurate to the best of my knowledge, information, and belief.

Signature:  Date: 2-26-24

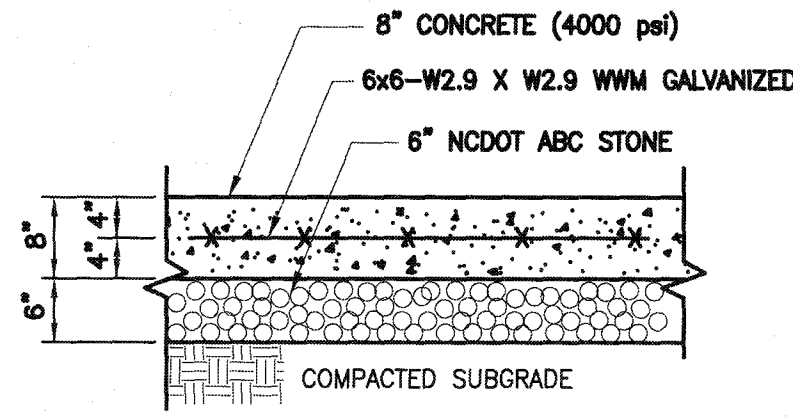
Official Use Only

TRC Meeting Date: _____ Recommendation: _____ Staff: _____

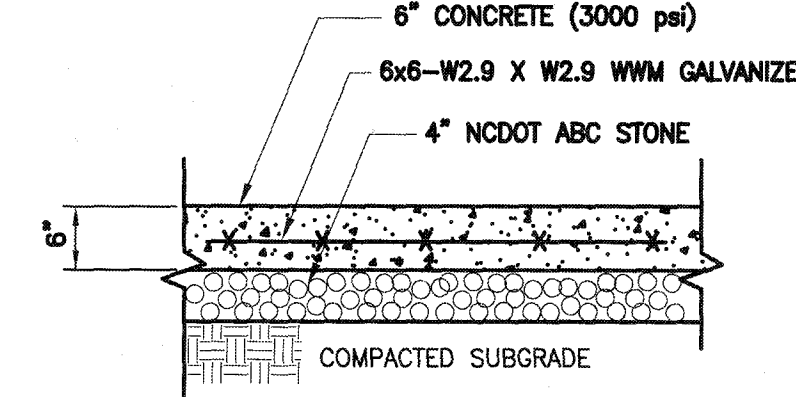
Board of Aldermen Hearing Date: _____ Action: _____ Staff: _____



NOTES:
1. SECTION SHALL SUPPORT WEIGHT OF 75,000 LBS APPARATUS.



NOTES:
1. CONTROL JOINTS SHALL BE EVERY 15 FT. (MAX.) AND EXPANSION JOINTS SHALL BE EVERY 50 FT. (MAX).
2. PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. THE PAVING CONTRACTOR SHALL COORDINATE WITH OWNER REPRESENTATIVE AND GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.



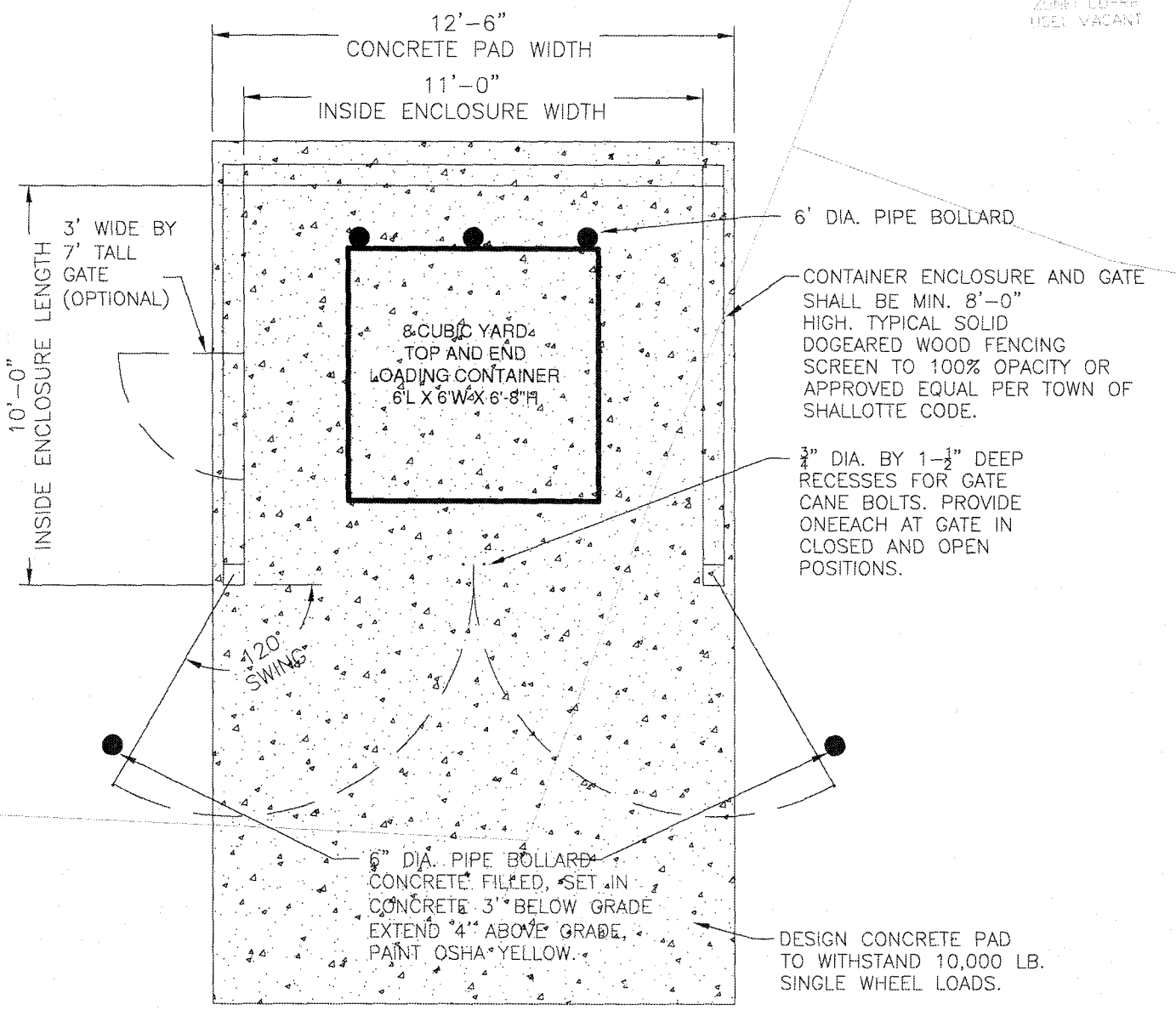
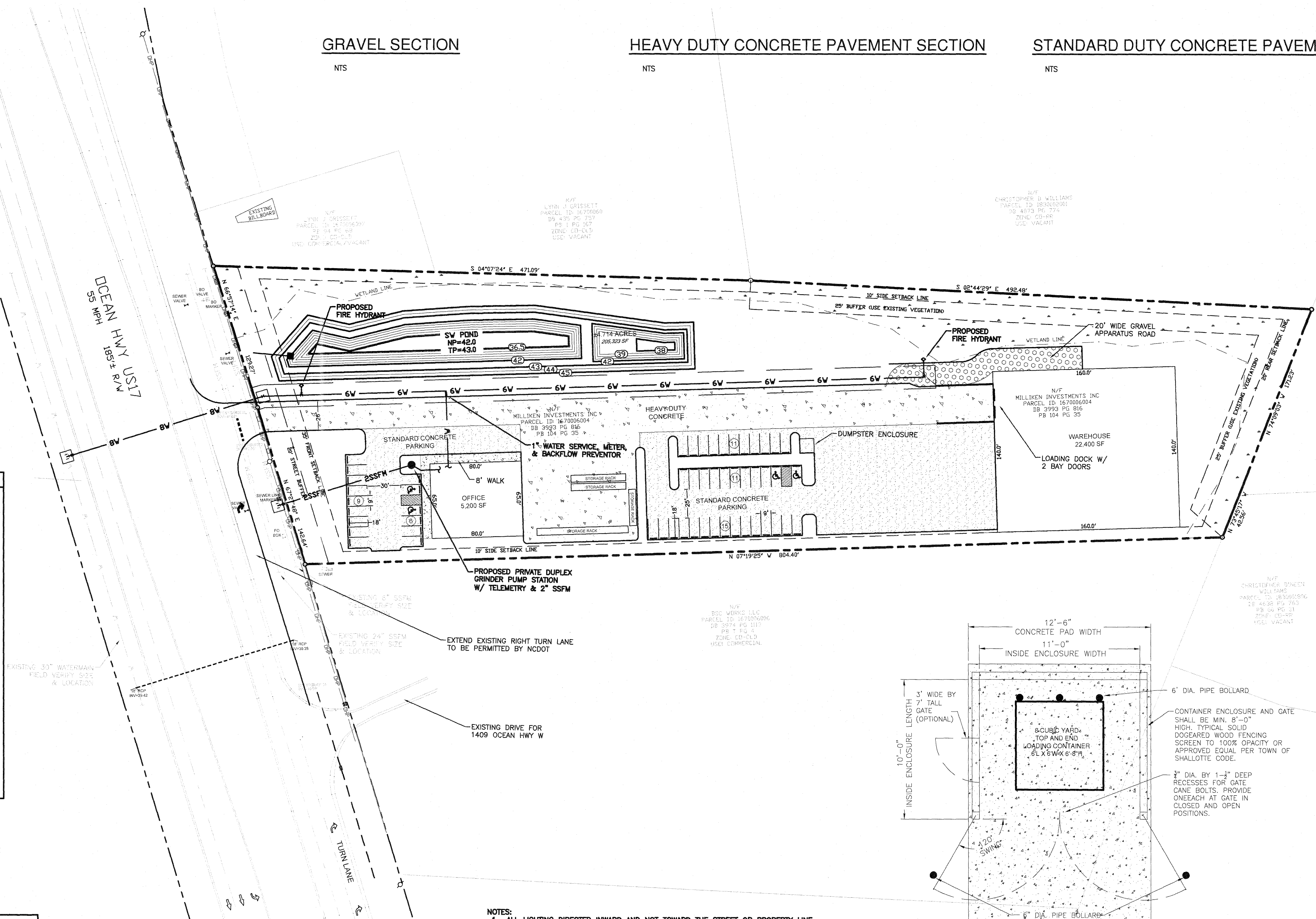
NOTES:
1. CONTROL JOINTS SHALL BE EVERY 15 FT. (MAX.) AND EXPANSION JOINTS SHALL BE EVERY 50 FT. (MAX).
2. PAVEMENT SECTION MAY VARY DEPENDING UPON FIELD CONDITIONS. THE PAVING CONTRACTOR SHALL COORDINATE WITH OWNER REPRESENTATIVE AND GEOTECHNICAL ENGINEER TO DETERMINE ACTUAL PAVEMENT SECTION.

GRAVEL SECTION

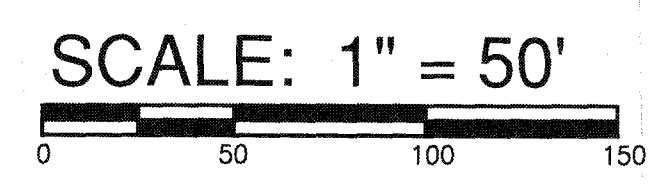
HEAVY DUTY CONCRETE PAVEMENT SECTION

STANDARD DUTY CONCRETE PAVEMENT SECTION

SITE DATA	
PARCEL NUMBER:	1670008004
ZONING:	B-2
SHALLOTTE:	B-2
TOTAL SITE AREA:	205,323 SF / 4.71 AC
BUILDING USE:	BUILDING MATERIALS SALES & STORAGE
MAXIMUM BUILDING HEIGHT:	40'
STREET BUFFER:	20'
BUILDING SETBACKS:	
FRONT:	35'
REAR:	20'
SIDE:	10'
IMPERVIOUS AREAS:	
BUILDING:	27,800 SF
DRIVE ISLE / PARKING:	69,890 SF
WALKS / CONCRETE:	1,224 SF
GRAVEL:	3,000 SF
TOTAL IMPERVIOUS AREA:	101,914 SF / 2.33 AC
% IMPERVIOUS:	49.44%
PARKING REQUIRED:	52 SPACES (MIN) 77 SPACES (MAX)
BLDG MATERIALS SALES:	1/375 SF = 13.9
WAREHOUSE:	1/600 SF = 37.3
PARKING PROVIDED:	
SPACES PROVIDED:	48 SPACES
HANDICAP SPACES PROVIDED:	4 SPACES
TOTAL SPACES PROVIDED:	52 SPACES
LOADING SPACE (12'x35')	2



NOTES:
1. ALL LIGHTING DIRECTED INWARD AND NOT TOWARD THE STREET OR PROPERTY LINE.
2. FINAL PLAN WILL REQUIRE FIRE APPROVAL.
3. WILL NEED NFPA 291 FORM (FIRE HYDRANT FLOW TEST) FOR FIRE HYDRANT SYSTEMS AT TIME OF FIELD FIRE INSPECTION PRIOR TO FINAL PLAN.
4. ANY DUMPSTER OR ROOF MOUNTED HVAC EQUIPMENT WILL BE SCREENED PER UDO REQUIREMENTS.
5. ANY SIGNAGE MUST BE PERMITTED SEPARATELY.
6. LANDSCAPING SHALL NOT BLOCK ACCESS TO WATER/SEWER METERS, LINES, OR LIFT STATION.
7. NO PORTION OF THIS SITE IS LOCATED WITHIN THE AE FLOOD ZONE.



SYMBOL	DATE	DESCRIPTION	BY
		REVISIONS	

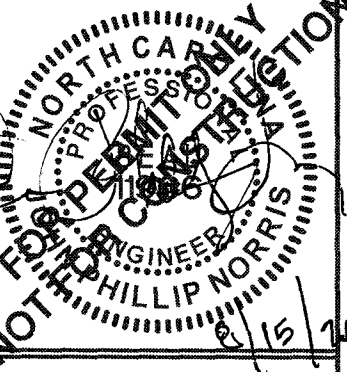
CONCEPT PLAN
HARDWICK OFFICE & YARD - SHALLOTTE
1395 OCEAN HWY W., SUPPLY, NC 28462
BRUNSWICK COUNTY, NORTH CAROLINA

OWNER:
S&I Investment Group, LLC
2450 Wise Rd
Conway, SC 29526

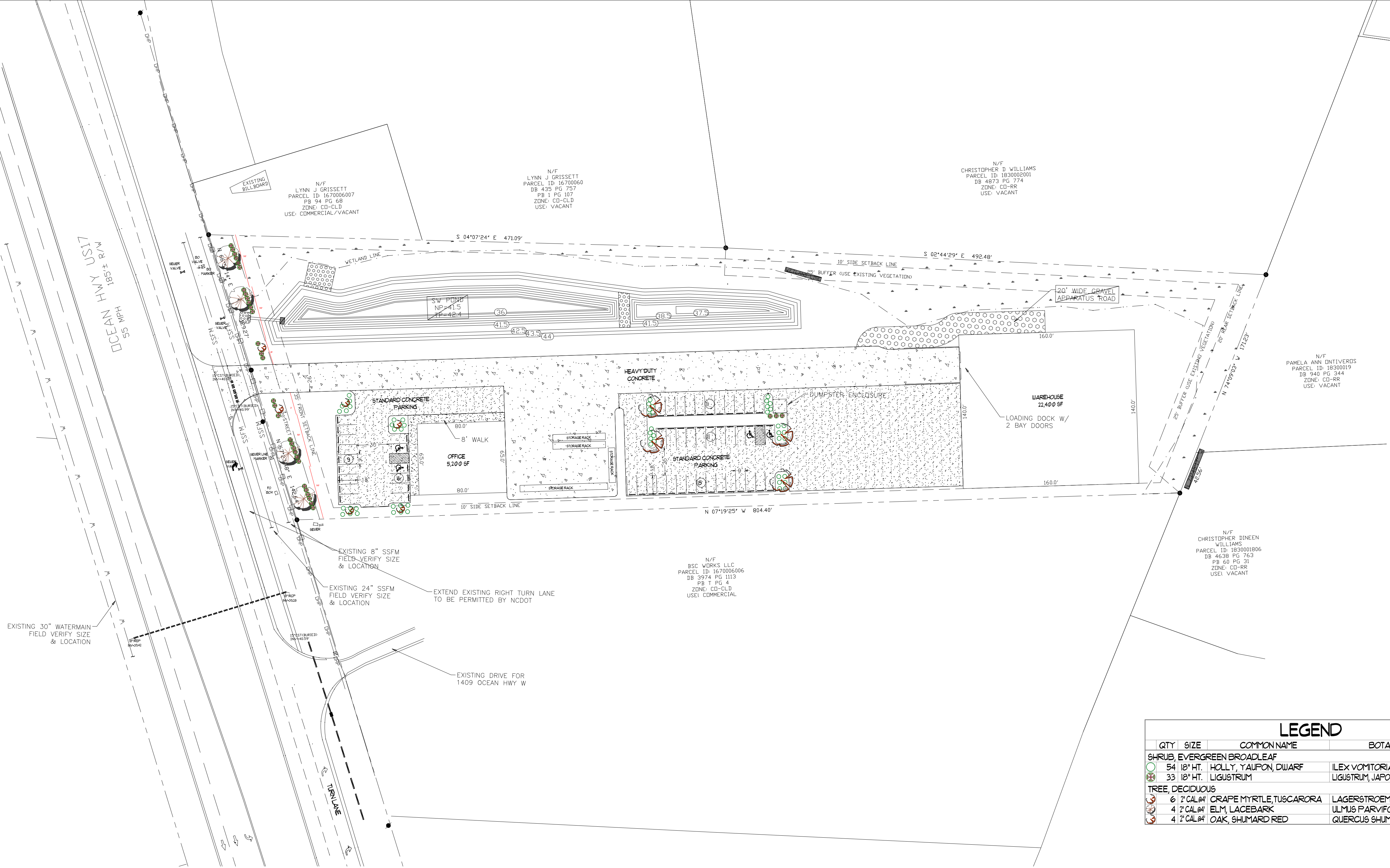
NORRIS & BLAND
CONSULTING ENGINEERS, P.C.
1429 ASHLITTLE RIVER RD. NW
ASH, NC 28420
(910) 287-5900

License #C-5102
23022

DES. JPN
CHK. JPN
DRWN. EDB
DATE 08/08/24

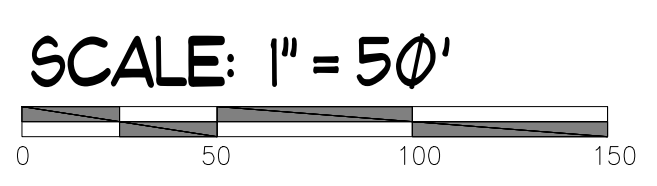


C1



SITE DATA	
PARCEL NUMBER:	1670006004
ZONING:	SHALLOTTE: B-2
TOTAL SITE AREA:	205,625 SF / 4.71 AC
DISTURBED AREA:	182,209 SF / 4.18 AC
BUILDING USE:	BUILDING MATERIALS SALES & STORAGE
MAXIMUM BUILDING HEIGHT:	40'
STREET BUFFER:	20'
BUILDING SETBACKS:	
FRONT:	65'
REAR:	20'
SIDE:	10'
IMPERVIOUS AREAS:	
BUILDING:	27,600 SF
DRIVE ISLE / PARKING:	89,890 SF
WALKS / CONCRETE:	1,224 SF
GRAVEL:	8,000 SF
FUTURE:	2,000 SF
TOTAL IMPERVIOUS AREA:	108,514 SF / 2.58 AC
% IMPERVIOUS:	52.82%
PARKING REQUIRED:	52 SPACES (MIN) 77 SPACES (MAX)
BLDG MATERIALS SALES:	1/375 SF = 13.9
WAREHOUSE:	1/600 SF = 37.3
PARKING PROVIDED:	
SPACES PROVIDED:	48 SPACES
HANDICAP SPACES PROVIDED:	4 SPACES
TOTAL SPACES PROVIDED:	52 SPACES
LOADING SPACE (12'x55')	2

LEGEND			
QTY	SIZE	COMMON NAME	BOTANICAL NAME
SHRUB, EVERGREEN BROADLEAF			
54	18" HT.	HOLLY, YALFON DWARF	ILEX VOMITORIA 'NANA'
33	18" HT.	LIGUSTRUM	LIGUSTRUM JAPONICUM RECURVIFOLIUM
TREE, DECIDUOUS			
6	2" CAL.#4	CRAPE MYRTLE, TUSCARORA	LAGERSTROEMIA FAUREI
4	2" CAL.#4	ELM, LACEBARK	ULMUS PARVIFOLIA
4	2" CAL.#4	OAK, SHUMARD RED	QUERCUS SHUMARDII



OWNER:
S&H Investment Group, LLC
2430 Wise Rd
Conway, SC 29526
843-365-0081
hmetal@scoast.net
sandy@s@hometoolmetalworks.com

HARDWICK OFFICE & YARD - SHALLOTTE
1395 OCEAN HWY W, SUITPLY, NC 28462
BRUNSWICK COUNTY, NORTH CAROLINA



Revision #:
Date: 1/29/2025

Scale:
1" = 50'

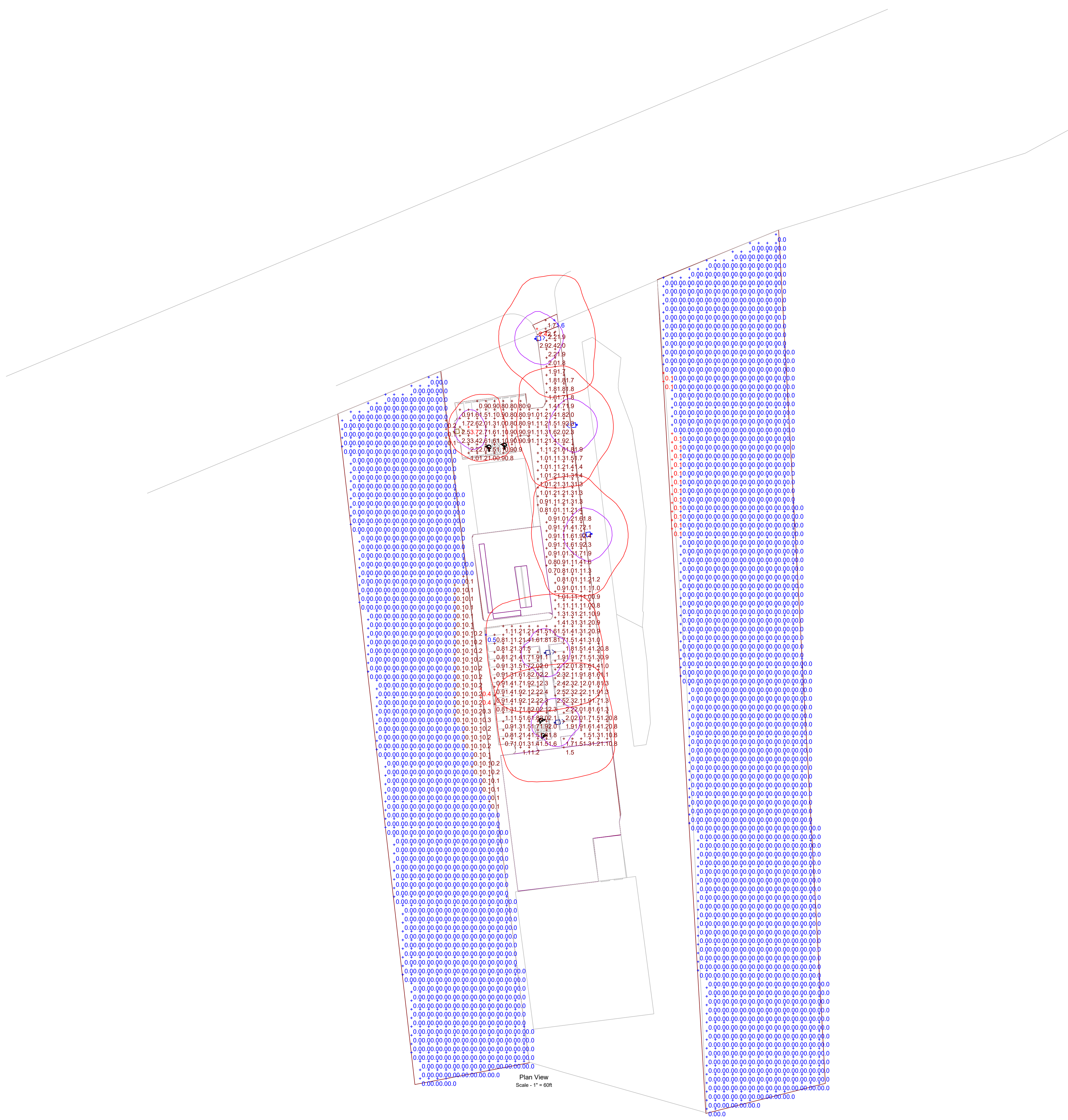
Landscape Plan:
Hardwick Office

Landscape Design by: Jim Freeman - NCLC# 0071
Freeman Landscape, Inc.



Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
⊕	A		3	Visionaire Lighting LLC			1	2225	0.91	167.1	
⊕	C		1	Visionaire Lighting LLC	VSL-6_T4_250_9K_H85se		1	9066	0.91	167	
⊕	D		2	Visionaire Lighting LLC	VSL-1176L25-9K-LNW	22 in L x 12.5 in W x 8 in H LED LIGHTING	1	2440	0.91	167	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ENTRANCE	⊕	2.0 fc	2.4 fc	1.6 fc	1.5:1	1.3:1
ENTRANCE ROAD AND PARKING	⊕	1.5 fc	3.7 fc	0.5 fc	7.4:1	3.0:1
OFFSITE LIGHT EAST	⊕	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
OFFSITE LIGHT WEST	⊕	0.0 fc	0.4 fc	0.0 fc	N/A	N/A



Plan View
Scale - 1" = 60"



NORRIS & BLAND
— CONSULTING ENGINEERS, P.C. —

J. Phillip Norris, P.E.
pnorris@nbengr.com
910-287-5900

Joseph K. Bland, P.E.
jbland@nbengr.com
910-287-5900

1429 Ash-Little River Road NW, Ash, NC 28420
www.nbengr.com

November 7, 2024

Brandon Eaton, CZO, CCEO
Town of Shallotte
106 Cheers Street
Shallotte, NC 28470

Re: TRC Review Comments Response – **Revised**
Hardwick Office & Yard
N&B Project No. NT23022

Dear Mr. Eaton,

We are in receipt of the April 18, 2024, TRC comments and respond in red below:

Town of Shallotte Planning

1. Parking ratio needs to be below the maximum allowed by ordinance. Ratios for uses will need to be justified. **The plan has been revised to meet the minimum parking spaces.**
2. Please provide a lighting plan showing compliance with Article 19 of the Shallotte UDO. **Will be provided when all other planning comments are addressed.**
3. Please provide a landscape plan in accordance with Shallotte UDO. **Will be provided when all other planning comments are addressed.**
4. Buffering will be required between commercial/industrial uses and the adjacent residential uses. **The plan has been revised to include the required buffer.**
5. A tree survey will be required in accordance with UDO Section 17-4. **There are no protected trees on this site. The survey is to confirm and provide a letter. It will be forwarded when received.**
6. Will the site be using a dumpster? If so, please include dumpster enclosure on plans. **The plan has been revised to show the dumpster & enclosure detail.**
7. This project will be subject to the requirements of the Town's SUP requirements, therefore it is imperative that you provide documentation showing that the six findings listed in Section 5 of the SUP application have been addressed. It will be the applicant's responsibility to ensure that these requirements are met and supported by any relevant evidence that may be available.

The 6 findings are attached.

Please review the Town’s SUP application and Article 6 of the UDO.

a. Staff strongly encourages applicants to supply these responses in writing prior to the hearing. It will be the applicant’s responsibility to ensure that this evidence is added to the record at the time of the hearing. Any amendments agreed upon by the Board and applicant can be added to the final permit.

b. The property owner or their attorney must be present at the meeting and they or their representative will need to provide all of the material needed to support the project.

c. Please note that staff will only summarize the project and answer questions regarding the Town’s process and requirements, the applicant must be prepared to present their project, provide evidence supporting the project and application, and answer questions from the Board.

8. Please provide copies of all approved state issued permits, including NCDEQ & NCDOT permits. **All approvals will be forwarded once received.**

Stormwater

- 1. A Town Stormwater permit will be required. **Understood**
- 2. A state sewer extension permit is required for this project. **Understood**
- 3. Normally, the state does not like to have privately owned pump stations on a public pressure sewer system. **We have discussed this with NCDEQ and expect no issues with the permitting of this private pump station.**

Zoning

- 1. Address will be 1395 Ocean Hwy W. SUPPLY NC 28462. **Revised**
- 2. Must complete Zoning permit application and pay all fees prior to zoning permit approval. **Understood**
- 3. Sign permit will be reviewed and issued separately. **Understood**

Zoning/Utilities

- 1. Sewer and water to be provide by Brunswick County. The town's sewer line stops at Cumbee Rd. **Understood**

Brunswick County Utilities.

- 1. County 30" water main available at this location **Understood**
- 2. County 24" and 8" sewer transmission force main available at this location. **Understood**

3. Site plan shows basic water and sewer information which does not meet all county water and sewer requirements; a full technical review of the proposed water and sewer connections will be required by County Engineering per the Plan Review Submittal Process detailed in the Brunswick County Engineering Design Manual, Technical Specifications, and Standard Details for Water and Sewer Systems 4. Water and Sewer capital recovery fees will be due and payable to Brunswick County prior to the Town of Shallotte issuing the building permit. **Understood, the utility package will be provided to the County for review.**

5. NCDOT 3-Party Controlled Access Encroachment Permit will be required for the water and sewer connections for this project on US Hwy. 17. **Understood, the encroachment agreement will be provided to the County & NCDOT for review.**

Shallotte FD

1. Following acceptance of the fire hydrants, the HOA/POA or management should ensure through restrictive covenants or other internal means that unobstructed access to fire hydrants and their aesthetics is maintained. Any future issues or concerns with fire hydrants are to be forwarded to the County. **Understood**

2. The HOA/POA or management should ensure through restrictive covenants or other internal means that the unobstructed access of roadways for emergency vehicles is maintained through the enforcement of no street parking and only parking of vehicles in designated areas is permitted. Designated areas include garages, carports, driveways, and parking spaces. Cul-de-sacs, hammerheads, and other required turnarounds shall remain free of obstructions, to include any type of storage and the parking of vehicles. **Understood**

3. Hardwick Office & Yard is a far reach for Shallotte Fire. Just know we will see a delayed response time. **Understood**

4. Full Shallotte Fire report is attached here for reference. **Understood**

Brunswick County Plan Review (Fire Inspection & Floodplain)

1. Please refer to Brunswick County Fire Prevention Ordinance for fire flow for commercial buildings. The fire flow will need to be met before issuance of a building permit. Hydrant testing on site to be witnessed by the fire code official. **Understood**

2. What is the warehouse proposed use? Any fire walls or sprinkler system? **The warehouse will be used for storage of materials & will be sprinklered. No assembly or fabrication is proposed.**

3. The warehouse exceeds 150 feet from the exterior walls to the fire apparatus road measured by an approved route around the exterior of the building. **The plan has been revised to provide an access road on the eastern side**

4. Any high piled storage for the warehouse? **No**

Brandon Eaton
November 7, 2024
N&B# NT23022
Page 2

- 5. What are the storage racks located outside? Do they have a roof above and are they high piled storage? **Covered steel racks for storing sheet metal**
- 6. Standard concrete support the weight of Shallotte Fire Apparatus? **Yes**

Brunswick County 911 Communications

Recommendations and notes:

- 1. No comment from 911.

Brunswick County Floodplain Administration

- 1. No Floodplain comments received.

Brunswick County Building Inspections Plan Review

- 1. No County Building comments received.

NCDOT

- 1. The proposed turn will need to meet current 2024 roadway design. **Understood, a driveway permit will be applied for**
- 2. Include Driveway permit checklist (\$50 inspection fee, bond estimate for all work in NCDOT ROW, site triangle, driveway radii – width, driveway profile, spot elevation to show ditch line and turn lane details, show 500 ft drainage from edge of property lines or to next outlet, dimension and label the protected stem length – from ROW line), Dimension and Label the protected stem length (from ROW). **Understood**
- 3. All utilities to be submitted via encroachment procedure via online portal. **Understood, a encroachment agreement will be submitted**


Shallotte Public Utilities

Site Specific Notes

- 1. This will be Brunswick County Sewer **Understood**
- 2. As there is nothing here for Public works to maintain there are no further comments at this time.

Sincerely,

**NORRIS & BLAND
CONSULTING ENGINEERS, P.C.**



J. Phillip Norris, P.E.
JPN/ttw
cc: James Hardwick

TRC Review Comments Response
 Hardwick Office & Yard
 N&B Project No. NT23022
 Six Findings Attachment

7. This project will be subject to the requirements of the Town's SUP requirements; therefore it is imperative that you provide documentation showing that the six findings listed in Section 5 of the SUP application have been addressed. It will be the applicant's responsibility to ensure that these requirements are met and supported by any relevant evidence that may be available.

Six Findings

1. That the use will not materially endanger the public health and safety.
 - a. The proposed use will not endanger the public health and safety. Adequate fire protection systems will be installed. The site will have accessible roadways & parking for passenger & emergency vehicles. Erosion will be controlled via silt fence, diversion ditches, & a sediment basin. Stormwater will be controlled via a pond designed to all local and state requirements. Utilities will be available and served by the County. The entrance and exit to the site will be designed and permitted to all NCDOT standards.
2. That the use will not substantially injure the value of adjoining or abutting property (or alternatively, that it be a public necessity).
 - a. The proposed use will enhance the commercial value of the adjoining/abutting property by provided a service to those in need of metal building fabrication. The site will be designed to meet all setback and landscaping requirements which will create an attractive business that customers can enjoy visiting or observing as they drive by on US 17.
3. That the use will be in harmony with the area in which it is to be located.
 - a. The proposed site is located immediately next door to a similar commercial use. The remainder of the surroundings are either vacant or commercial. The site is located along US 17 which is a growing commercial thoroughfare for the Town of Shallotte as well as Brunswick County.
4. That the use will be in general conformity with the Land Use Plan, Thoroughfare Plan, or other plans officially adopted by the Board of Aidemen.
 - a. The proposed commercial use is in conformity with the Future Land Use Plan as it shows it as general commercial. It is our professional opinion that the proposed use of Building Materials Sales & Storage falls under general commercial use.

TRC Review Comments Response
Hardwick Office & Yard
N&B Project No. NT23022
Six Findings Attachment

5. That the use will have adequate facilities to provide ingress and egress designed to minimize traffic congestion on public streets and also have adequate utilities, access roads, drainage, sanitation, or other necessary infrastructure.
 - a. The site will be served by an existing right turn lane which will be extended and permitted per NCDOT requirements. The roadway and parking have been designed to meet all state and local requirements. The pond has been designed to handle all drainage from the site. The pump station has been designed to handle all wastewater from the site.
6. That the use meets all required conditions and specifications established by the Board of Aldermen.
 - a. All conditions and specifications will be or have been met.



**Town of Shallotte
Board of Aldermen
Special Use Permit Findings**

The Town of Shallotte Board of Aldermen met and considered the following application on the 1st day of April, 2025.

File Number:	SUP #24-05
Final Action Date:	4/01/2025
Formal Hearing Date:	4/01/2025
Project Name:	Hardwick Office & Yard
Applicant:	Norris & Bland Consulting Engineers, P.C., on behalf of S&H Investment Group, LLC.
Location:	1395 Ocean Hwy W.
Tax Parcel Number:	1670006004
Acreage:	+/- 4.71 ac
Zoning District:	B-2
Proposed Use:	Metal fabrication office space with warehousing – no fabrication on-site.

Section 1 - Application

Having reviewed the application materials submitted by the applicant, the Board of Aldermen finds that the following regarding the completeness of the application and its compliance with the technical requirements of the Shallotte Unified Development Ordinance (UDO):

Completeness of Application [check one]:

- The application is complete.
 - The application is incomplete in the following way(s):
-

Compliance with the UDO requirements [check one]:

- The application complies with all applicable requirements of the UDO.
 - The application is *not* in compliance with the following requirement(s) of the UDO:
-

Section 2 – Specific Findings of Fact

The Board of Aldermen must find as a specific finding of fact that the proposed use will comply with *all* of the following standards. Otherwise, the permit must be denied. In making their findings, the Board of Aldermen may impose conditions which, in its opinion, assure that the use in its proposed location will satisfy all of the following standards.

Having heard all the evidence and arguments presented at the hearing, the Board of Aldermen hereby finds that the proposed use *will* comply with the following standards [check all that apply]:

- That the use will not materially endanger the public health and safety.

The proposed use will not endanger the public health and safety. Adequate fire protection systems will be installed. The site will have accessible roadways & parking for passenger & emergency vehicles. Erosion will be controlled via silt fence, diversion ditches, & a sediment basin. Stormwater will be controlled via a pond designed to all local and state requirements. Utilities will be available and served by the County. The entrance and exit to the site will be designed and permitted to all NCDOT standards.

- That the use will not substantially injure the value of adjoining or abutting property (or alternatively, that it be a public necessity).

The proposed use will enhance the commercial value of the adjoining/abutting property by provided a service to those in need of metal building fabrication. The site will be designed to meet all setback and landscaping requirements which will create an attractive business that customers can enjoy visiting or observing as they drive by on US 17.

- That the use will be in harmony with the area in which it is to be located.

The proposed site is located immediately next door to a similar commercial use. The remainder of the surroundings are either vacant or commercial. The site is located along US17 which is a growing commercial thoroughfare for the Town of Shallotte as well as Brunswick County.

- That the use will be in general conformity with the Land Use Plan, Thoroughfare Plan, or other plans officially adopted by the Board of Aldermen.

The proposed commercial use is in conformity with the Future Land Use Plan as it shows it as general commercial. It is our professional opinion that the proposed use of Building Materials Sales & Storage falls under general commercial use.

- That the use will have adequate facilities to provide ingress and egress designed to minimize traffic congestion on public streets and also have adequate utilities, access roads, drainage, sanitation or other necessary infrastructure.

The site will be served by an existing right turn lane which will be extended and permitted per NCDOT requirements. The roadway and parking have been designed to meet all state and local requirements. The pond has been designed to handle all drainage from the site. The pump station has been designed to handle all wastewater from the site.

- That the use meets all required conditions and specifications established by the Board of Aldermen.

All conditions and specifications will be or have been met.

The following special conditions are hereby imposed by the Board of Aldermen to ensure compliance with the special use standards:

1. A full site and landscape plan application must be submitted; and
2. No outside storage shall be allowed; and
3. No fabrication may be conducted on-site; and
4. All rooftop mechanical equipment such as HVAC hardware must be screened according to Town UDO standards.
5. Existing project boundary buffer shall be preserved as is, or when/if future updates are made, shall conform to the UDO standard at the time any updates are conducted; and
6. All required fees shall be paid prior to final zoning approval; and
7. Per Sec. 12-12, all required site improvements, shall commence within 12 months of SUP approval date or applicant shall request an extension of up to six months from the Shallotte Board of Aldermen; and
8. All required local, state, and federal permits shall be obtained and copies provided prior to final zoning approval; and
9. The site be maintained in accordance with the approved site plans.

Section 3 – Final Signature

Based on the evidence presented at the hearing and after careful consideration of the facts, a Special Use Permit is hereby:

- Approved subject to the above conditions.

Denied for failure to satisfy all of the special use standards as indicated above and further described herein:

The foregoing decision was rendered by the Board of Aldermen on the 1st *day of April, 2025* and a written copy of this decision was filed with the official minutes of that meeting in the Office of the Town Clerk.

requested, on the _____ day of _____, 2025.

Mayor, Town of Shallotte

Town Clerk

STATE OF NORTH CAROLINA

COUNTY OF BRUNSWICK

I, _____, a Notary Public of _____ County, do hereby certify that Natalie Goins personally came before me this day and acknowledged that she is the Town Clerk of the Town of Shallotte, and that by authority duly given and as the act of the Town, the foregoing instrument was signed and its name by its Mayor, sealed with its official seal and attested by herself as its Town Clerk.

WITNESS my hand and notarial seal this 1st day of April, 2025.

Notary Public

(NOTARY SEAL/STAMP)

My commission expires: _____