



CITY PLAN COMMISSION AGENDA

March 11, 2025 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

MINUTES

4. Approval of the Plan Commission minutes from February 25, 2025.

PUBLIC HEARINGS

5. Public hearing regarding application for Conditional Use with exceptions by Peggi Thiesenhusen to occupy a dwelling unit in the commercial building located at 834 N. Water Street.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

6. Application for Conditional Use with exceptions by Peggi Thiesenhusen to occupy a dwelling unit in the commercial building located at 834 N. Water Street.
7. Application for site plan review by Abacus Architects to construct a metal pole building at Vollrath Co., Inc. located at 1236 N 18th Street.

NEXT MEETING

8. March 25, 2025

ADJOURN

9. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN

CITY PLAN COMMISSION MINUTES

Tuesday, February 25, 2025

MEMBERS PRESENT: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

EXCUSED: Kimberly Meller and Braden Schmidt

STAFF/OFFICIALS PRESENT: Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

OPENING OF MEETING

- 1. Roll Call

Mayor Ryan Sorenson called the meeting to order.

- 2. Pledge of Allegiance

The Pledge of Allegiance is recited.

- 3. Identify potential conflict of interest

No committee member had a conflict of interest.

MINUTES

- 4. Approval of the Plan Commission minutes from February 11, 2025.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON FEBRUARY 11, 2025.

Motion made by Alderperson John Belanger, seconded by Marilyn Montemayor

Voting yea: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

Motion carried.

PUBLIC HEARINGS

- 5. Public hearing regarding application for conditional use with exceptions by Old World Creamery to construct a building addition located at 1606 Erie Avenue.

MOTION TO CLOSE THE PUBLIC HEARINGS.

Motion made by Alderperson John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

6. Application for conditional use with exceptions by Old World Creamery to construct a building addition located at 1606 Erie Avenue.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by Alderperson John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, food, State of Wisconsin, hazardous materials, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. Submittal and approval of a landscape plan prior to building permit issuance. Landscaping shall be installed prior to issuance of an occupancy permit.
6. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
7. Outdoor storage of materials, products or equipment shall be prohibited.
8. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall obtain the necessary sign permits prior to installation.
10. All areas used for parking/maneuvering of vehicles shall be paved.
11. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
12. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
13. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
14. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
15. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
16. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
17. All Semi-trucks shall use designated truck routes in the City of Sheboygan.
18. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
19. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments

Exceptions granted:

- To have a setback of 21.9' on St. Clair Avenue
- To have a setback of 10' on N 17th Street

- From the locational landscaping requirements. Landscape Plan still required and required points must be met.

Motion carried.

7. Application for Site Plan Review by Elite Builds to construct a cold storage building located at 3502 Behrens Parkway

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by Alderperson John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, health, storm drainage, State of Wisconsin DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
6. Applicant shall obtain any necessary sign permits prior to installation.
7. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

Motion carried.

NEXT MEETING

8. March 11, 2025

The next meeting is scheduled to be held on March 11, 2025.

ADJOURN

9. Motion to Adjourn

MOTION TO ADJOURN AT 4:03 PM.

Motion made by Alderperson John Belanger, seconded by Kevin Jump

Voting yea: Mayor Ryan Sorenson, Marilyn Montemayor, Kevin Jump, Jerry Jones and Alderperson John Belanger

Motion carried.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Peggi Thiesenhusen to occupy a dwelling unit in the commercial building located at 834 N. Water Street. NC zone

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: March 5, 2025

MEETING DATE: March 11, 2025

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Peggi Thiesenhusen is proposing to construct a new dwelling unit in the commercial building located at 834 N. Water Street. The applicant states the following about the project:

- We are looking to renew the residential CUP permit granted for this space in February, 2023 as it has expired.
- We are the owners of the building since October, 2002.
- There will be two residents who are the owners of the property.
- This historic building (Verifine Dairy) has been in existence since 1945, and we have owned it since October, 2002.
- No new interior or exterior work is planned for the property or the landscaping surrounding the property.
- The property is fully compatible with our neighbors, the Garton Toy Factory Apartment building, another historical property renovated for residential purposes in 1998 as part of Sheboygan’s North Water Street Redevelopment Plan.
- We partnered with the City of Sheboygan in 2002 to purchase and renovate this property, which was in a blighted condition at the time, receiving a HUD redevelopment grant for \$75,000 and providing an easement to the City for the construction of a connecting piece of the public bike trail which currently curves eastward at the north end of our property and dead ends on North Water St. The idea was to allow the path to run through the lower level of the property and join with the bike trail the City constructed behind Garton Toy Factory Apartments, but currently dead ends on the south end of property. Unfortunately, the project was never initiated and ultimately, the City released their easement rights to the property.
- We have never received complaints regarding our use of the property. In fact, we often receive compliments on our gardens, front planters and care of the property as a whole from our neighbors and tourists/people using the bike path and park area.

- We are respectfully requesting a renewal of the residential CUP permit granted for the lower level of our property February 14, 2023. We are mindful there may be needs identified by Building Inspection to be addressed and are happy to work with them to do so.
- As a resident and business owner in the City we have taken to heart our commitment to improving our property, our neighborhood, and promoting economic positivity.
- It is our hope to remain a positive partner with the City and County as we work to transition through the sale of our property to the next generation of dreamers, investors and caretakers of this truly unique building.

STAFF COMMENTS:

The owner previously obtained a Conditional Use Permit in February of 2023 for a residential space in this building. A full occupancy permit was never obtained. As such, the Conditional Use Permit expired in February of 2024. The current owners or any potential future owners will be required to obtain the required approvals, permits and inspections prior to receiving an occupancy permit to occupy the residential space. One of the permits that will be required is a Floodplain Permit as the structure is located within the floodplain. The applicant is aware of this requirement.

The applicant will need to work with the building inspection department regarding the conversion of the lower level into a residential dwelling. Occupancy shall be granted only at such time as all permits and codes have been met.

The current owners are in the processes of selling the property. Any future owners of the property may need to obtain additional permits including, but not limited to, conditional use, occupancy, building, plumbing, electrical, HVAC, fire, DNR, floodplain, etc. for any future uses of the property. Additionally, if the current owners do not obtain an occupancy permit, or any other required permits, before the sale of the property, the new owners will be required to obtain the permits before the conditional use permit expires.

ACTION REQUESTED:


Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to occupancy permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, DNR, floodplain, etc. A floodplain permit must be obtained before an occupancy permit will be granted. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. No person shall be permitted to reside in the building prior to an occupancy permit being obtained.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.


6. Absolutely no portion of the building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
7. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
8. If there are to be any exterior renovations to the facility, the applicant will be required to obtain Architectural Review Board approval prior to receiving a building permit for such renovation. The colors and materials are to complement/match the existing building.
9. If applicant leases space to additional tenants, the tenants shall obtain all necessary land use and building approvals/permits prior to occupancy (future uses and/or phases may require conditional use permits, building/mechanical permits, occupancy permits, etc.).
10. If there are any amendments to the site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

	CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE	Fee: \$250.00 Review Date: _____ Zoning: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Blue Moon Studio Inc.	Authorized Representative Peggi Thiesenhusen	Title Owner/Secretary	
Mailing Address 834 North Water Street	City Sheboygan	State WI	ZIP Code 53081
Email Address peggi.bluemoonstudio@mac.com		Phone Number (incl. area code) 920-803-8482	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description 834 N. Water Street Sheboygan, WI 53081		Parcel No.	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	Blue Moon Studio Inc.		
Existing Zoning:	NC		
Present Use of Parcel:	Business		
Proposed Use of Parcel:	Business/Residential		
Present Use of Adjacent Properties:			
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Peggi Thiesenhusen	Title Owner/Secretary	Phone Number 920-803-8482	
Signature of Applicant 		Date Signed 2-4-2025	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

CONDITIONAL USE WRITTEN EXPLANATION REQUIREMENTS

Item 6.

A. Name of project/development **Blue Moon Studio – Residential Apartment, Lower-Level**

B. Summary of the Conditional Use and general operation of proposed use:

- Description of existing use – **Residential Apartment Unit on lower level of property**
- Description of proposed use (indoor, outdoor, etc.), why was this site selected? **We are looking to renew the Residential CUP permit granted for this space in February, 2023 as it has expired. We are the owners of the building since October, 2002.**
- All services, products, etc. to be provided **N/A**
- Projected number of residents, employees, and/or daily customers: **2 residents – Owners of the property**
- Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage to the nearest one-hundredth of an acre **N/A**
- Description of proposed building and all new site improvements (square footage of new and existing structure(s), traffic, ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, dumpster enclosure, screening of mechanicals, etc.) **N/A**
- A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area: **This historic building (Verifine Dairy) has been in existence since 1945, and we have owned it since October, 2002; no new interior or exterior work is planned for the property or the landscaping surrounding the property. That said, the property is fully compatible with our neighbors, the Garton Toy Factory Apartment building, another historical property renovated for residential purposes in 1998 as part of the City of Sheboygan’s North Water Street Redevelopment Plan. We partnered with the City of Sheboygan in 2002 to purchase and renovate this property, which was in a blighted condition at the time, receiving a HUD redevelopment grant for \$75,000 and providing an easement to the City for the construction of a connecting piece of the public bike trail which currently curves eastward at the north end of our property and dead ends on North Water Street. The idea was to allow the path to run through the lower level of the property and join with the bike trail the City constructed behind the Garton Toy Factory Apartments, but currently dead ends on the south end of our property. Unfortunately, for whatever reason, the project was never initiated and ultimately, the City released their easement rights to the property.**
- An explanation of any interior and/or exterior renovations: **None planned**
- Is access appropriate and is their sufficient customers/resident off-street parking? **Yes**
- Proposed signage: **None**
- Project timeline and estimated value of project: **Immediate and none**
- Compatibility of the proposed use and design with adjacent and other properties in the area: **Fully compatible – no changes planned for current use or design of the property; please see above response regarding compatibility with the development and redevelopment in the area.**
- How will you ensure that the business will not become a nuisance to adjacent properties (i.e. parking, noise, smells, hours of operations, etc. **We have never received complaints regarding our use of the property. In fact, we often receive compliments on our gardens, front planters and care of the property as a whole from our neighbors and tourists/people using the bike path and park area. Additionally, a number of years ago we installed a pet poo station used by all the surrounding apartment pet owners, which we maintain at our expense and empty weekly to ensure a clean park area for the local schools to use for their student’s physical education classes and families to use all summer long for picnics, sports, the splash pad etc... We also**

regularly collect trash and broken glass around the neighborhood and down the full of No Water Street. We have received numerous thanks over the years for helping to keep the neighborhood clean, safe and waste free, including from the office and maintenance staff at the Garton Toy Factory. Finally, though the area in front of our property, which is used as a turnabout for all Garton apartment dwellers, their guests and all mail and deliveries, is a City street, we have paid for 22 years to plow and salt it, sweep it clean of sharp or potentially dangerous debris, and ensure any safety issues are called into the City for immediate assessment as the City has not provided care for it as long as we have owned the property.

- **Other information that would be considered pertinent by the Plan Commission:** We are respectfully requesting a renewal of the residential CUP permit granted for the lower level of our property February 14, 2023. We are mindful there may be needs identified by Building Inspection to be addressed and are happy to work with them to do so.

C. If applicable, please describe any exceptions/variances that are required for this project (i.e. setbacks, parking, landscaping, etc.) **None**

D. Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:

- a) How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? Please see the above responses regarding partnering with the City for the specific purpose of enabling their public bike trail, as well as all ways in which we have improved the property and therefore, the neighborhood since purchasing in 2002. As a resident and business owner in the City we have taken to heart our commitment to improving our property, our neighborhood and promoting economic positivity. Over the decades we have employed 100+ individuals, utilized local retailers for everything from prop, set and food items and printing and advertising needs, to construction and maintenance needs and materials. We have promoted tourism of the City and County, introducing our out of town and out of state clients and stylists to the many amazing restaurants, art, shopping and event venues and accommodations throughout the City and surrounding towns. We believe Sheboygan County is remarkable given its size, with its unique and culturally diverse offerings such as the JMKAC and the Levitt Concert Series sponsored on the Green each summer, the summer Farmer's Market in Fountain Park, the venues of Uptown Sheboygan on 8th Street, South Pier and the Marina development and world class golf and boat racing, Bookworm Gardens and so much more. Sheboygan County is home to many national and international manufacturing companies, many of which we have been proud to work for and partner with over these many years, frequently donating our services and time for special projects, community events and fundraisers. It is our hope to remain a positive partner with the City and County as we work to transition through the sale of our property to the next generation of dreamers, investors and caretakers of this truly unique building.
- b) Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? **None**

- c) How does the proposed conditional use maintain the desired consistency of land uses relation to the setting within which the property is located? [Please see above responses](#)
- d) Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? [Yes](#) If not, please explain.

CONDITIONAL USE APPLICATION SUBMITTAL REQUIREMENTS

For a home occupation

- 1. A Site Plan including: [Please see attached Feasibility Study submitted by the Fitzgerald's in February, 2023 plus the ALTA survey of the property from August, 2022. Please note on the Feasibility study page 2 we have removed the words 'bedroom suite' and 'living suite' from the original submitted and approved version, as we will not be undertaking any construction to alter the space as it currently exists.](#)
 - The overall property
 - The existing location of building(s) on the property
 - The parking spaces location on the property
- 2. A Floor Plan including:
 - The dwelling floor plan showing where the business will take place in the dwelling unit.
 - All information necessary to understand the proposal

For all other Conditional Use Permits

1. A certified survey map showing existing property boundaries and improvements.
2. A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow.
 - All lands for which the conditional use is proposed.
 - All other lands within 100 feet of the boundaries of the subject property.
 - The current zoning of the subject property and its environs (200 feet),
3. A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development):
 - Submit TWO (2) hardcopies of the site plan and ONE (1) 11" X 17" reduction of the site plan.
 - [Submit digital plans and drawings of the project by email, flash drive, etc.](#)
 - Title block that provides all contact information for the petitioner and/or owner, if different
 - Full name and contact information of petitioner's engineers/surveyors/architects, or other design professionals used in the plan preparation
 - The date of the original plan and latest date of revision to the plan
 - A north arrow and graphic scale. Said scale is not to be smaller than one inch equals 100 feet
 - All property lines & existing/proposed right-of-way lines with bearings & dimensions clearly labeled
 - Existing/proposed easement lines and dimensions with an explanation of ownership and purpose.
 - All required building setback lines
 - Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls.
 - Location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys.
 - The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance
 - The location and dimension of all loading and service areas on subject property
 - The location of all outdoor storage areas and the design of all screening devices
 - Location of all outdoor storage and refuse disposal areas and the design and materials used for construction and operation

FEASIBILITY STUDY

FITZGERALD

DISTINCTIVE DESIGN
STUDIO
210 PINE STREET
SHEBOYGAN FALLS, WI 53080
PH: (262) 395-1000
WWW.DISTINCTIVEDESIGNSTUDIO.COM
ERIK (LINK) JACOBSEN
(262) 393-3884
link@distinctivedesignstudio.com

PROJECT INFORMATION

PROJECT ADDRESS

834 NORTH WATER ST.
SHEBOYGAN, WI



SHEET LIST

SHEET #	SHEET NAME	REVISION #	DATE
GENERAL			
G000	COVER	1	
ARCHITECTURAL			
A100	LOWER LEVEL PLAN	1	
A101	FIRST FLOOR PLAN	1	
A200	EXTERIOR ELEVATIONS	1	

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THIS PLAN AND PRINTED ON 1/4 x 1/8 PAPER. DIMENSIONS ARE INDICATED IN INCH.

#	DATE	DESCRIPTION
1		PLANNING DOCS

FEASIBILITY STUDY

834 NORTH WATER ST.
SHEBOYGAN, WI

PROJECT #: 22-071

PRELIMINARY PLANS

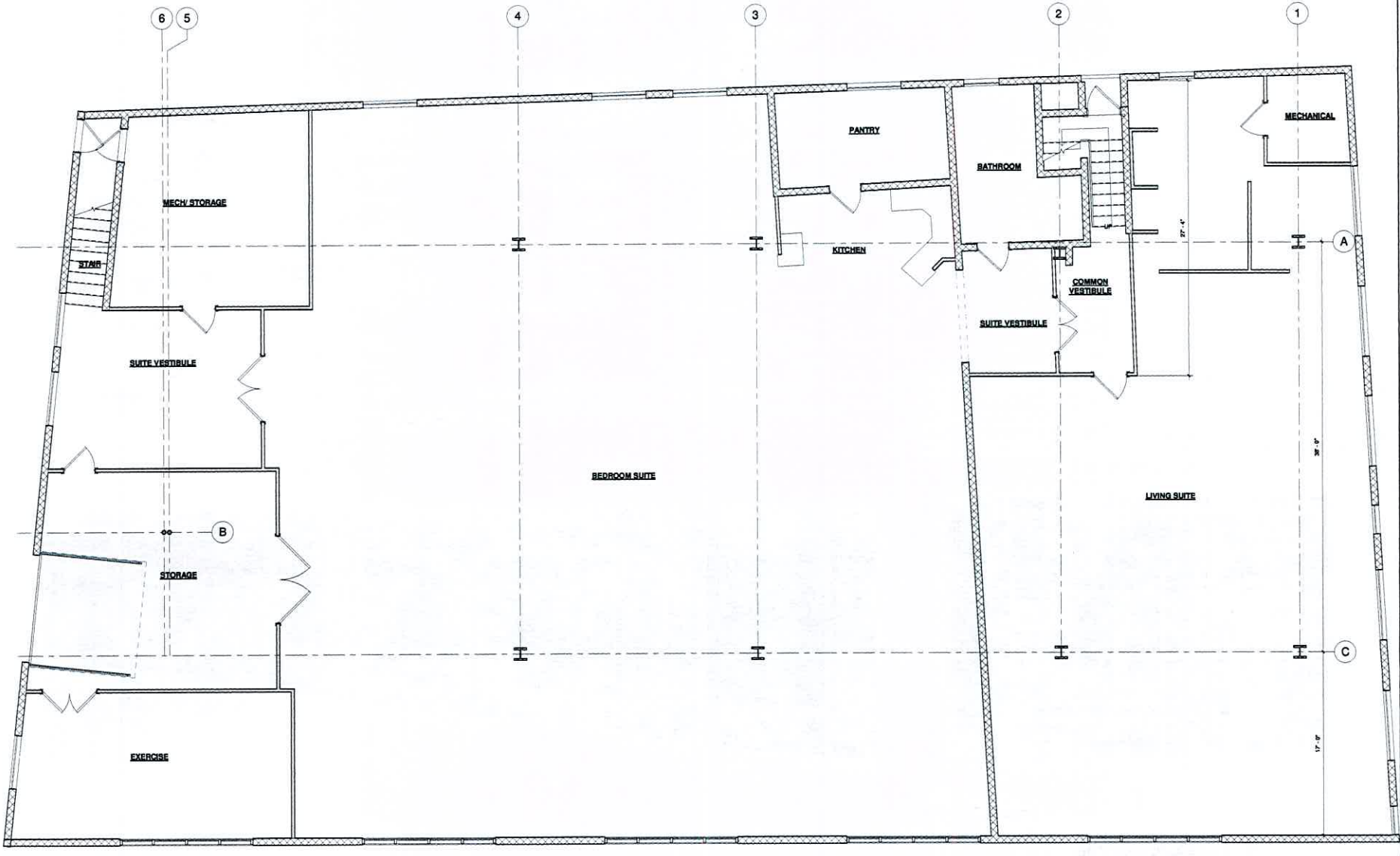
COVER

G000

SYMBOLS LEGEND

SHEET NUMBERING	SECTION REFERENCE	COLUMN GRID DESIGNATORS	PARTITION TYPE SYMBOL
DISCIPLINE FLOOR LEVEL OR SHEET NUMBER	DETAIL NO. SHEET NO.		PARTITION TYPE
DETAIL REFERENCE	DETAIL NUMBERING	LINE TYPE IDENTIFICATION	WALL IDENTIFICATION
AREA TO BE DETAILED OR ENLARGED DETAIL NO. SHEET NO. DASHED LINE FOR ENLARGED PLANS ONLY	DETAIL - View Name SCALE OF DETAIL, UNLESS TYPICAL AND INDICATED IN TITLE BLOCK SEQUENTIAL NUMBER FOR LARGE DRAWINGS	DIMENSION LINE NOTE LEADERS CENTER LINE OR FLOOR LINE BROKEN LINE, LINE ABOVE OR BELOW, ROFFETS, NO ITEM OR FUTURE REVISION: CLOUD AROUND MOST RECENT REVISION MADE	DEMO WALLS EXISTING WALLS NEW WALLS FUTURE WALLS
ELEVATION REFERENCE	ELEVATION SYMBOLS	OPENING IDENTIFICATIONS	ROOM IDENTIFICATION
DETAIL NO. SHEET NO. SEQUENTIAL NUMBERING OF ELEVATION SHEET SHEET NO.	LEVEL NAME ELEVATION REF SPOT ELEVATION REF EXTERIOR ELEVATION KEYNOTE REF	WINDOW TYPE - REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS & SIZES FOR TYPES. WINDOW TYPE W/ TRANSOM - REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS & SIZES FOR TYPES.	OFFICE - ROOM NAME FLOOR - ROOM NUMBER
		INTERIOR FINISH TAGS	
		UNIT INTERIOR ROOM NAME CPT-1 - CEILING FINISH CPT-1 - WALL FINISH CPT-1 - FLOOR FINISH CPT-1 - FLOOR FINISH TRANSITION	
		DOOR TYPE NEW DOOR IN NEW WALL REFER TO OPENING SCHEDULE D1 TYP (L)X0	

IF PRINTED ON 1/4 x 1/8 PAPER, TOP SCALE BAR SHALL BE EXACTLY 1/4" LONG AND BOTTOM SCALE BAR SHALL BE EXACTLY 1/8" LONG. DIMENSIONS ON THIS SHEET ARE INDICATED IN INCHES. UNLESS OTHERWISE NOTED, DIMENSIONS SHALL BE IN INCHES. DIMENSIONS SHALL BE IN INCHES UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE IN INCHES UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE IN INCHES UNLESS OTHERWISE NOTED.



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 THESE PLANS ARE PRINTED ON 11 x 17 PAPER. DIMENSIONS ARE INDICATED BY THE DIMENSION LINE.

#	DATE	DESCRIPTION
1		PLANNING DOCS

FEASIBILITY STUDY

834 NORTH WATER ST.
 SHEBOYGAN, WI

PROJECT #: 22-071

PRELIMINARY PLANS

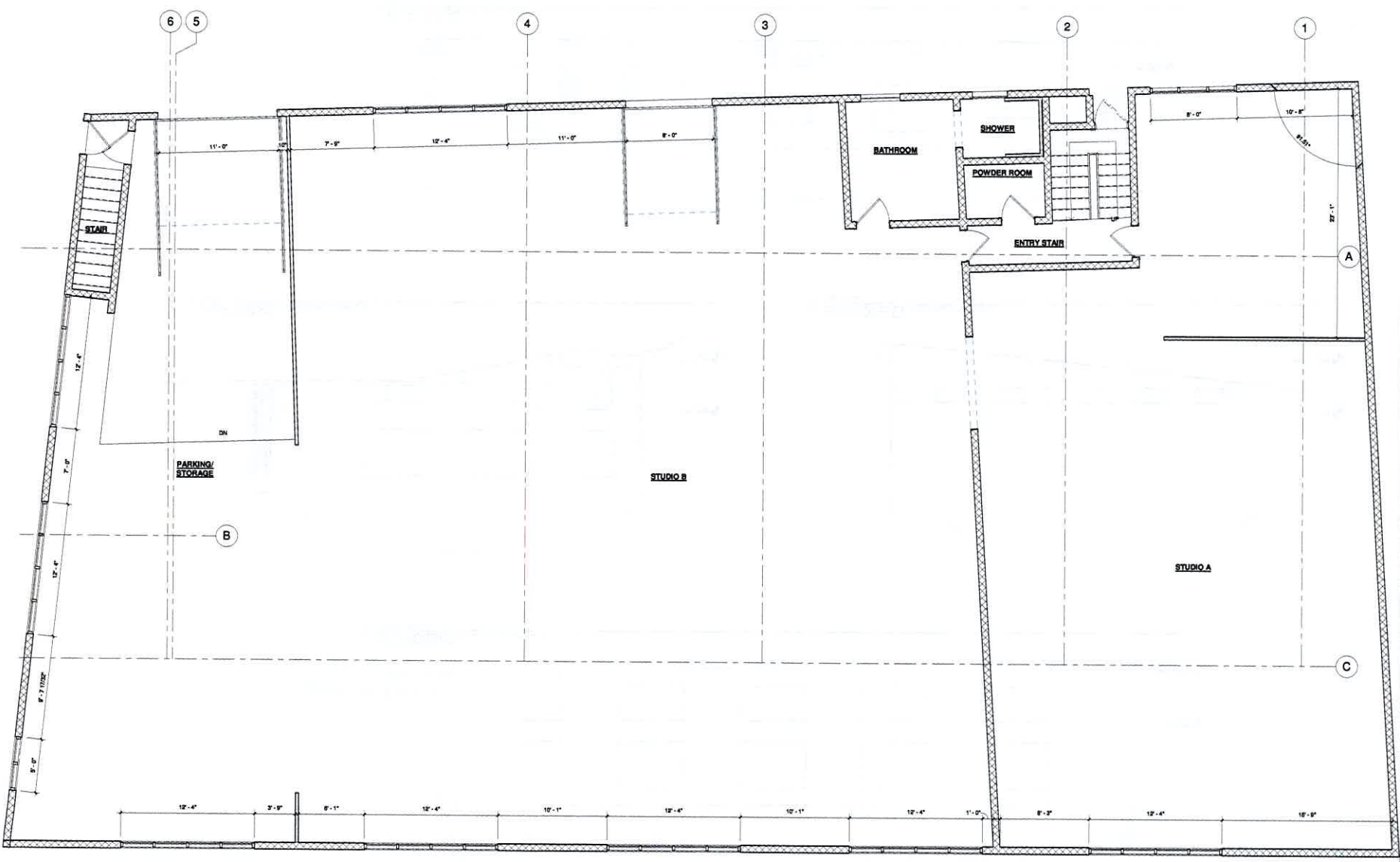
LOWER LEVEL PLAN

A100

1 FLOOR PLAN - EXISTING LOWER LEVEL
 1/4" = 1'-0"

IF PRINTED ON 8 1/2" X 11" TOP SCALE BAR SHALL BE PRECISELY 1" IF PRINTED ON 11" X 17" BOTTOM SCALE BAR SHALL BE EXACTLY 1" AND VIEW ON THE SHEET ARE INDICATED BY DIM. IF DIMENSIONS ARE NOT EXACTLY 1" DIMENSIONS ARE NOT TO SCALE.

DISTINCTIVE DESIGN
STUDIO
216 PINE STREET
SHEBOYGAN FALLS, WI 53086
PH: (920) 286-1080
WWW.DISTINCTIVEDSIGNSTUDIO.COM
ERIK (JAMES) JACOBSEN
(920) 286-2884
jjacob@distinctivedesignstudio.com



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WRITTEN CONSENTS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER ALL OTHERS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB.

WHEN PLANS ARE PRINTED ON 11 X 17 PAPER, DIMENSIONS ARE PROVIDED BY 1/8".

#	DATE	DESCRIPTION
1		PLANNING DOCS

FEASIBILITY STUDY

834 NORTH WATER ST.
SHEBOYGAN, WI

PROJECT #: 22-071

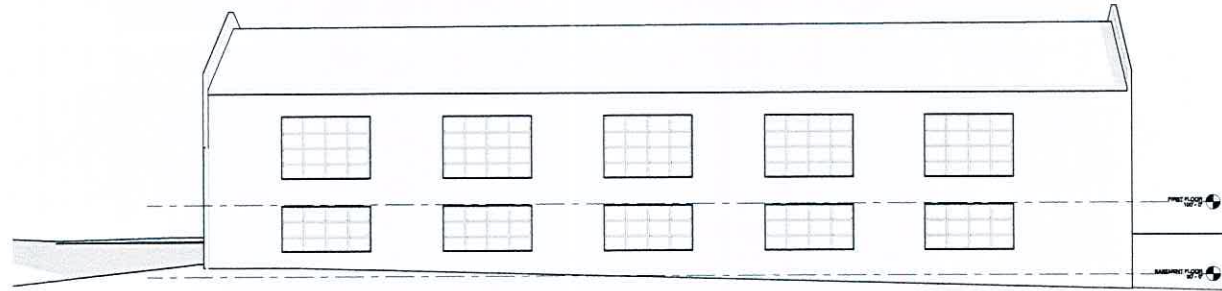
PRELIMINARY PLANS

FIRST FLOOR PLAN

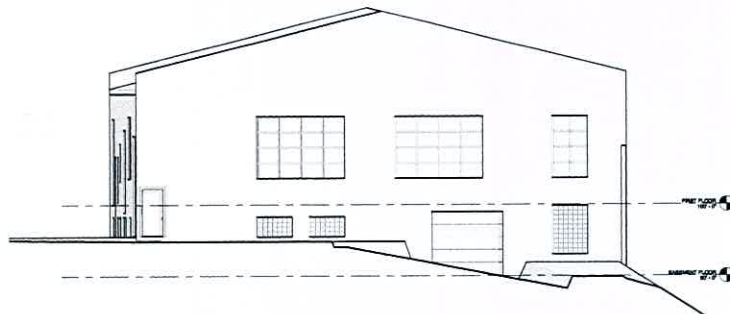
A101

1 FLOOR PLAN - EXISTING FIRST FLOOR
1/4" = 1'-0"

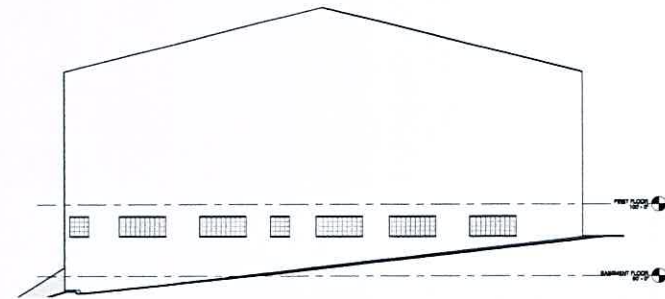
IF PRINTED ON 11 X 17, TOP SCALE BAR SHALL BE EXACTLY 1".
IF PRINTED ON 11 X 17, BOTTOM SCALE BAR SHALL BE EXACTLY 1".
IF PRINTED ON 11 X 17, SCALE BAR SHALL BE EXACTLY 1".
IF PRINTED ON 11 X 17, SCALE BAR SHALL BE EXACTLY 1".



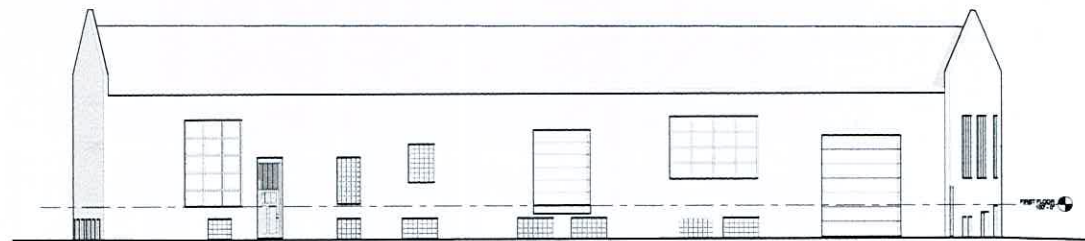
4 EXTERIOR ELEV. - WEST ELEVATION
1/8" = 1'-0"



3 EXTERIOR ELEV. - NORTH ELEVATION
1/8" = 1'-0"



2 EXTERIOR ELEV. - SOUTH ELEVATION
1/8" = 1'-0"



1 EXTERIOR ELEV. - EAST ELEVATION
1/8" = 1'-0"

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ANY OTHER INFORMATION ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER ANY OTHER INFORMATION. CONTRACTORS SHALL VERIFY ALL INFORMATION FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB.

WORKSHOPS ARE PRINTED ON 18 x 18 PAPER, OTHERWISE ARE REQUIRED BY AIA.

DATE DESCRIPTION

1 PLANNING DOCS

FEASIBILITY STUDY

834 NORTH WATER ST.
SHEBOYGAN, WI

PROJECT #: 22-071

PRELIMINARY PLANS

EXTERIOR ELEVATIONS

A200

IF PRINTED ON 11" X 17" ARCHITECTURAL SCALE BAR SHALL BE EXACTLY 1" AND VIEWED ON THE SHEET AND REDUCED BY 10% IF OTHER SCALE BAR IS NOT EXACTLY 1" DIMENSION & NOT TO SCALE

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for site plan review by Abacus Architects to construct a metal pole building at Vollrath Co., Inc. located at 1236 N 18th Street. SI Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: March 5, 2025

MEETING DATE: March 11, 2025

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Abacus Architects is proposing to construct a metal pole building at Vollrath Co., Inc. located at 1236 N 18th Street. The applicant states the following:

- The Vollrath Co., Inc., founded in 1874 has been providing high quality, commercial cooking and serving equipment that provides efficiency and ease of use in the demanding environment of commercial kitchens and foodservice operations.
- Vollrath offers OEM Solutions, Wholesale Food Service Products, and advanced cleaning products.
- Vollrath serves both U.S. and International Markets.
- The Vollrath Co., Inc. Will be constructing a new Metal Pole Building (approx. 40' x 60') on their property to accommodate storage needs for equipment.
- This is required as they prepare for new and improve existing building areas to accommodate future growth.
- The structure will be located in the vicinity of the existing Production area on the North end of the site approx. a few hundred feet from Superior Avenue to the North.
- The structure itself is a Pre-Engineered Metal Pole Building.
- This type of Architectural Design will match existing buildings on the Vollrath Campus and surrounding buildings such as S.E.A.S. on the Northeast corner of 18th and Superior Avenue.
- Materials – Colors will be similar to man other buildings on The Vollrath Campus so that new building blends in with Architectural character of surrounding building on property and those adjoining.
- Project start will be as soon as possible relative to City of Sheboygan Plan Commission, Architectural Review Board and Building Inspection Approvals.
- The Pole Building is required to facilitate growth at The Vollrath Company.

- It is the first piece in a Long-Range Master Planning to not only improve current operations, but to efficiently and methodically build for the next generation.
- The structure will not require additional parking, revised loading and/or service areas, Site Lighting, Signage or new lighting-illumination.

STAFF COMMENTS:

It appears the applicant is designing the new pole building to be compatible with the Vollrath Co. building and other accessory buildings located at the site in terms of materials, colors, etc.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, hazardous materials, health, storm drainage, etc.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a landscape plan prior to building permit issuance.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance.
6. All areas used for parking/maneuvering of vehicles shall be paved.
7. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
8. The addition will meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
9. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
10. Applicant shall obtain the required demolition permit for building to be removed.
11. If there are any amendments to the approved site plan, the applicant will be required to submit a new site plan review application reflecting those amendments.

ATTACHMENTS:

Site Plan Review Application and Attachments



CITY OF SHEBOYGAN
SPECIAL USE AND SITE PLAN REVIEW
APPLICATION

Fee: \$100

Review Date: _____

Item 7.

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) KURT DAVIS - ABACUS	Authorized Representative KURT DAVIS	Title ARCHITECT	
Mailing Address 1135A MICHIGAN AVE.	City SHEBOYGAN	State WI	ZIP Code 53081
Email Address KDAV@ABACUSARCHITECTS.NET	Phone Number (incl. area code) 920-207-4829		

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind., Org. or Entity) VOLZATH CO., LLC	Contact Person GARY SAUER	Title FACILITIES DIRECTOR	
Mailing Address 1236 NORTH 18th P.O. 611	City SHEBOYGAN	State WI	ZIP Code 53081
Email Address GARYSAUER@VOLZATHCO.COM	Phone Number (incl. area code) 920-459-5205		

SECTION 3: Architect Information

Name KURT DAVIS			
Mailing Address 1135A MICHIGAN AVE.	City SHEBOYGAN	State WI	Zip 53081
Email Address KDAV@ABACUSARCHITECTS.NET	Phone Number (incl. area code) 920-207-4829		

SECTION 4: Contractor Information

Name TBD			
Mailing Address	City	State	Zip
Email Address	Phone Number (incl. area code)		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) KURT DAVIS	Title ARCHITECT	Phone Number 920-207-4829
Signature of Applicant 	Date Signed 2-17-25	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Parcel No. 59281214074	Zoning Classification SUBURBAN-INDUSTRIAL
Name of Proposed/Existing Business: VOLLRATH CO., INC.	
Address of Property Affected: 1236 Nth 18th ST. SHREBOYLAN, WI 53081	
New Building: <input checked="" type="checkbox"/>	Addition: <input type="checkbox"/> Remodeling: <input type="checkbox"/>

SECTION 7: Brief Description of Type of Structure

VOLLRATH CO., INC. IS CONSTRUCTING A NEW 40' x 60' METAL POLE BUILDING ON EXISTING PARCEL TO BE USED FOR STORAGE IN PLACE OF AREA (BUILDING) TO BE REMOVED AS PART OF A MASTER PLAN FOR NEW BUILDING STRUCTURE(S)

SECTION 8: Description of EXISTING Operation or Use

N/A

SECTION 9: Description of the PROPOSED Operation or Use

STORAGE

SPECIAL USE AND SITE PLAN USE APPLICATION SUBMITTAL REQUIREMENTS

A. Name of project/development.

B. Summary of general operation and proposed use:

- Description of existing use
- Description of proposed use (indoor, outdoor, etc.), why was this site selected?
- All services, products, etc. to be provided
- Projected number of residents, employees, and/or daily customers
- Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage to the nearest one-hundredth of an acre
- Description of proposed building and all new site improvements (square footage of new and existing structure(s), traffic, ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, dumpster enclosure, screening of mechanicals, etc.)
- A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area
- An explanation of any interior and/or exterior renovations
- Is access appropriate and is their sufficient customers/resident off-street parking?
- Proposed signage
- Project timeline and estimated value of project
- Compatibility of the proposed use and design with adjacent and other properties in the area.
- How will you insure that the business will not become a nuisance to adjacent properties (i.e. parking, noise, smells, hours of operations, etc.
- Other information that would be considered pertinent by the Plan Commission.

C. Submit TWO (2) copies of a property site plan drawing, which includes:

- A certified survey map showing existing property boundaries and improvements
- A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow
 - All lands for which the conditional use is proposed
 - All other lands within 100 feet of the boundaries of the subject property
 - The current zoning of the subject property and its environs (200 feet)
- A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development):
 - Submit TWO (2) hardcopies of the site plan and ONE (1) 11" X 17" reduction of the site plan
 - Submit digital plans and drawings of the project by email, flash drive, etc.
 - Title block that provides all contact information for the petitioner and/or owner, if different
 - Full name and contact information of petitioner's engineers/surveyors/architects, or other design professionals used in the plan preparation
 - The date of the original plan and latest date of revision to the plan
 - A north arrow and graphic scale. Said scale is not to be smaller than one inch equals 100 feet
 - All property lines & existing/proposed right-of-way lines with bearings & dimensions clearly labeled

- Existing /proposed easement lines and dimensions with an explanation of ownership and purpose
- All required building setback lines
- Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls
- Location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys
- The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance
- The location and dimension of all loading and service areas on subject property
- The location of all outdoor storage areas and the design of all screening devices
- Location of all outdoor storage and refuse disposal areas and the design and materials used for construction and operation
- The location, type, height, size and lighting of all signage
- Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan
- Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generator
- Location of all existing and proposed landscape areas, storm water areas, etc.

✓ D. Building elevations and perspectives.

NOTE: A Traffic Impact Study (TIA) may be required with large development proposals.

NOTE

Initiation of Land Use or Development Activity

Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the site plan by the City Plan Commission. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

Modification of an Approved Site Plan

Any and all unauthorized variations between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan may be revised so as to clearly and completely depict any and all proposed modifications to a previously approved site plan by the City Plan Commission. Prior to the initiation of said modifications, the City Plan Commission must approve the revised plan.

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____

Director or Representative
Department of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within six (6) months from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other state or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

APPLICATION SUBMITTAL

STEP 1: Initial Meeting with City Planning Office:

An initial meeting is to ensure that both the applicant and the city staff have a proper understanding of what is being requested and to explain the approvals necessary. An engineered drawing is not required for this meeting, but an accurate sketch and any applicable background information may be needed. Additional meetings can be arranged by calling the Department of City Development.

STEP 2: Official Submission:

A special use permit and site plan application may be filed at the City of Sheboygan Planning and Development office located on the 2nd floor of City Hall or may be submitted electronically via email: Steve.Sokolowski@SheboyganWI.gov

If submitting electronically, please verify application has been accepted and will be placed on the next Plan Commission agenda.

Payment of the application fee must be received prior to the application filing deadline. Payment may be submitted via postal delivery, in person, or by phone using credit card.

Mailing Address: Department of City Development
828 Center Ave. Suite 208
Sheboygan, WI 53081

NOTE: Applications will not be accepted until complete. A complete application includes all items in the respective checklists above. Applications must be complete before they are scheduled for a meeting before the Plan Commission.

PLAN COMMISSION MEETING

Meeting Date: The Plan Commission meets on the 2nd and 4th Tuesdays of the month at 4:00 p.m. in the Council Chambers of City Hall, 828 Center Ave. The project applicant or a representative must attend the Plan Commission meeting to present the request and answer questions regarding the proposal. Public comment will be invited at the Plan Commission meeting.

Project Review: The purpose of a special use permit and site plan is to assure compatibility between land uses. City staff analyzes a proposal and prepares a recommendation for the Plan Commission. The project analysis considers the location of the affected property, surrounding uses, and the operational details of a proposed use.

Plan Commission: The Plan Commission is charged with the authority to approve or deny a special use permit and site plan request. In the event an applicant wishes to contest the decision of the Plan Commission, the applicant may appeal the decision to the Sheboygan County Circuit Court.

**Plan Commission meeting agendas and minutes may be viewed on the City's website:
www.SheboyganWI.gov**

FOR INFORMATION OR ASSISTANCE CONTACT THE ZONING MANAGER: (920) 459-3382



February 18th, 2025

City of Sheboygan
828 Center Avenue
Sheboygan, WI 53081

SITE PLAN REVIEW

*The Vollrath Company, Inc. – Pole Building
Sheboygan, WI*

THE VOLLRATH COMPANY

The Vollrath Co., Inc., founded in 1874 has been providing high quality, commercial cooking and serving equipment that provides efficiency and ease of use in the demanding environment of commercial kitchens and foodservice operations.

Vollrath offers OEM Solutions, Wholesale Food Service Products, and advanced cleaning products.

Vollrath serve both U.S. and International Markets.

PROJECT DESCRIPTION

The Vollrath Co., Inc. will be constructing a new Metal Pole Building (approx. 40' x 60') on their property to accommodate storage needs for equipment. This is required as they prepare for new and improve existing building areas to accommodate future growth. The structure will be located in the vicinity of the existing Production area on the North end of the site approx. a few hundred feet from Superior Avenue to the North. Site plan and Survey are attached.

The structure itself is a Pre-Engineered Metal Pole Building (plans and elevations attached). This type of Architectural Design will match existing buildings on the Vollrath Campus and surrounding buildings such as S.E.A.S. on the Northeast corner of 18th and Superior Avenue. Materials – Colors will be similar to many other buildings on The Vollrath Campus so that new building blends in with Architectural character of surrounding building on property and those adjoining.

SITE

The existing site is zoned Suburban Industrial. Please find attached to this submittal an overall Site Plan and Zoning classification of adjacent properties.

PROJECT TIMELINE

Project Start will be as soon as possible relative to City of Sheboygan Plan Commission, Architectural Review Board and Building Inspection Approvals.



OTHER PROJECT INFORMATION

The Pole Building is required to facilitate growth at The Vollrath Company. It is the first piece of Long-Range Master Planning to not only improve current operations, but to efficiently and methodically build for the next generation.

The structure will not require additional parking, revised loading and/ or service areas, Site Lighting, Signage or new lighting-illumination.

Please call me directly if you have any questions that I can answer before the Plan Commission Meeting.

Sincerely,

Kurt Davis, Vice President
Abacus Architects, Inc.



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

1/15/2025
CHAPPA, TYLER
Doc ID: 21183220250115125039

Cleary/Owner Project Proposal - Material Only

Roof Finish and Accessories for Building 1

Exterior Finishes

Roof: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Ventilation

Roof

Ridge Cap(s):

62' 0" of Standard Ridge Cap. Marco LP2 Weather-Tite Ridge Vent "Low Profile" (Add ventilation to ridge).

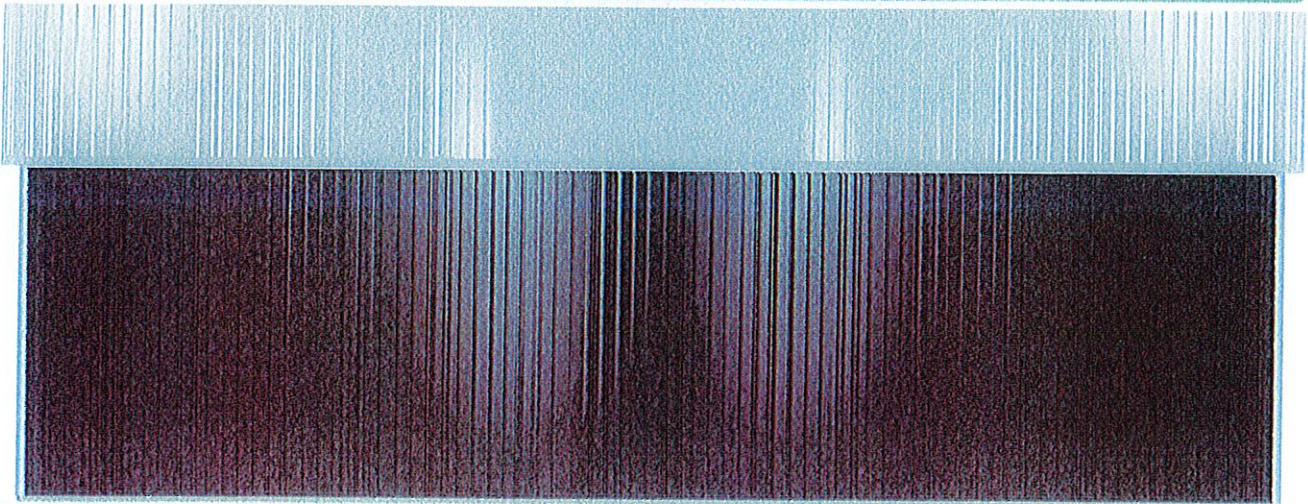
Accessories

Roof

Condensation Control for Building 1: None

Weathervane: Cleary weathervane not included with building

Elevations for Building 1



South Side Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 1 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Eave Filler Strips: None



P.O Box 930220
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Phone: (608) 845-9700
Fax: (608) 845-7070

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Cleary/Owner Project Proposal - Material Only

Treated Plank Filler Strips: None

Ventilation

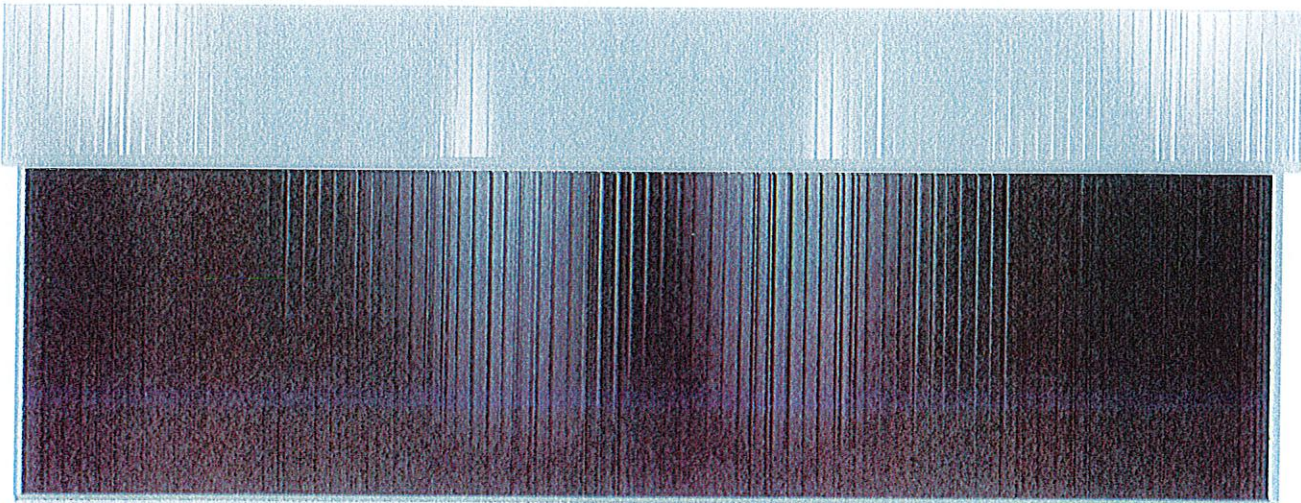
Side Wall 1 on Building 1
Overhang: 12" Aluminum soffit (Sidewall) with vented soffit
Bird Screening for the interior to prevent birds from nesting in overhang.

Accessories

Side Wall 1 on Building 1
None

Interior Finishes / Insulation

Side Wall 1 on Building 1
Condensation Control: None
Insulation: None



North Side Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 2 on Building 1
Siding: Premium Steel Panel
- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.
House Wrap: None
Wainscot: None
Eave Filler Strips: None
Treated Plank Filler Strips: None

Ventilation

Side Wall 2 on Building 1
Overhang: 12" Aluminum soffit (Sidewall) with vented soffit
Bird Screening for the interior to prevent birds from nesting in overhang.

Accessories



P.O Box 930220
 Verona, WI 53593-0220
 Phone: (608) 845-9700
 Fax: (608) 845-7070

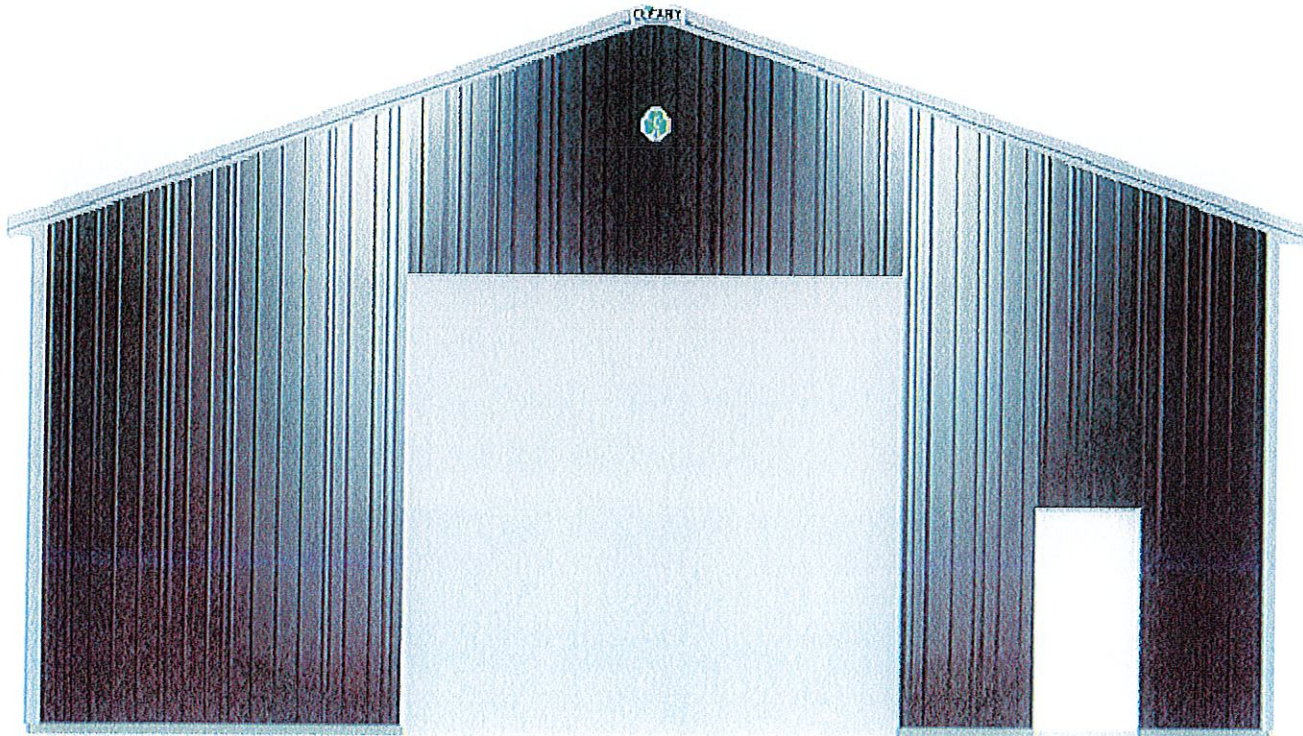
1/15/2025
 CHAPPA, TYLER
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Cleary/Owner Project Proposal - Material Only

Side Wall 2 on Building 1
 None

Interior Finishes / Insulation

Side Wall 2 on Building 1
 Condensation Control: None
 Insulation: None



East End Wall 1 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

End Wall 1 on Building 1
 Siding: Premium Steel Panel
 - Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.
 House Wrap: None
 Wainscot: None
 Gable Filler Strips: Gable filler strips not included.
 Treated Plank Filler Strips: None

Ventilation

End Wall 1 on Building 1
 Overhang: 12" Aluminum soffit (Endwall) with vented soffit

C-110
 v12/10

built with pride before the  *is applied*®

6 of 13



P.O Box 930220
 Verona, WI 53593-0220
 Phone: (608) 845-9700
 Fax: (608) 845-7070

1/15/2025
 CHAPPA, TYLER
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Cleary/Owner Project Proposal - Material Only

Accessories

End Wall 1 on Building 1

Overhead Frame Out(s):

16' 0" Width x 14' 0" Height

Headroom Available: 1' 10"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom without Liner

Distance from left edge of wall to left edge: 12' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 4"

Inside edge of overhead frame out to be trimmed with door edge.

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS OR CLOPAY BUILDING PRODUCTS SECTION.

Walk Door(s):

Standard, Steel Jamb 3 1/2" 3'-0"x6'-8"

Distance from left edge of wall to left edge: 32' 7"

Distance from 100'+0" mark to bottom of door plus: 4"

Anchor: ANCHOR KIT (WOOD)

Closer: No Closer

Dead Bolt: Key/Latch

Door Chain: No Chain

Embossment: No Embossment

Frame: 2x6

Hinge: 4" 304 STAINLESS STEEL FIXED PIN

Jamb: 3 1/2" Jamb

Kick Plate: No Kick Plate

Latch Guard: No Latch Guard

Latch: None

Lockset: Knob/Knob

Panic Hardware: No Panic Hardware

Skin: Blank

Swing: Right Hand Swing In Single Door

Window: None

Keyed Alike. Group 1

Interior Finishes / Insulation

End Wall 1 on Building 1

Condensation Control: None

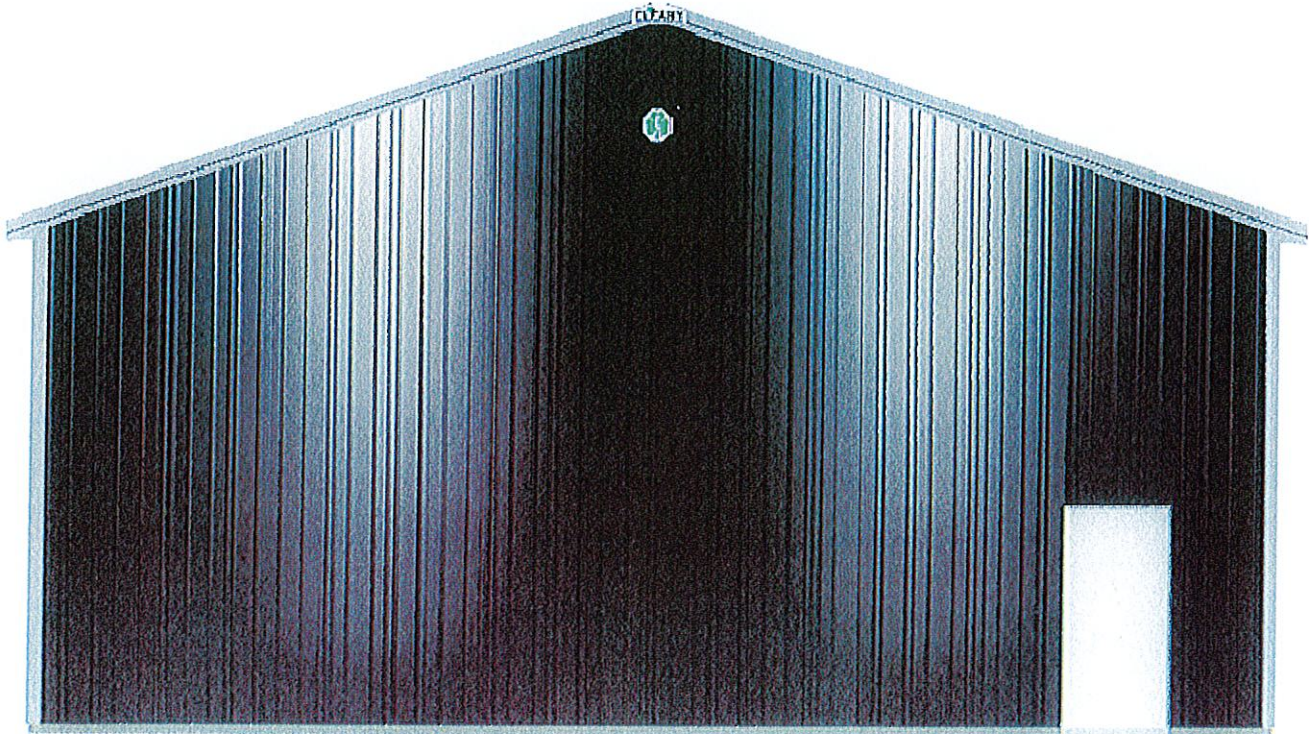
Insulation: None



P.O. Box 930220
Verona, WI 53593-0220
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1/15/2025
CHAPPA, TYLER
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Cleary/Owner Project Proposal - Material Only



West End Wall 2 on Building 1

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

End Wall 2 on Building 1

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

Ventilation

End Wall 2 on Building 1

Overhang: 12" Aluminum soffit (Endwall) with vented soffit

Accessories

End Wall 2 on Building 1

Walk Door(s):

Standard, Steel Jamb 3 1/2" 3'-0"x6'-8"

Distance from left edge of wall to left edge: 33' 6"

Distance from 100'+0" mark to bottom of door plus: 4"

Anchor: ANCHOR KIT (WOOD)



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

1/15/2025
CHAPPA, TYLER
Doc ID: 21183220250115125039

Cleary/Owner Project Proposal - Material Only

Closer: No Closer
Dead Bolt: Key/Latch
Door Chain: No Chain
Embossment: No Embossment
Frame: 2x6
Hinge: 4" 304 STAINLESS STEEL FIXED PIN
Jamb: 3 1/2" Jamb
Kick Plate: No Kick Plate
Latch Guard: No Latch Guard
Latch: None
Lockset: Knob/Knob
Panic Hardware: No Panic Hardware
Skin: Blank
Swing: Right Hand Swing In Single Door
Window: None
Keyed Alike. Group 1

Interior Finishes / Insulation

End Wall 2 on Building 1
Condensation Control: None
Insulation: None

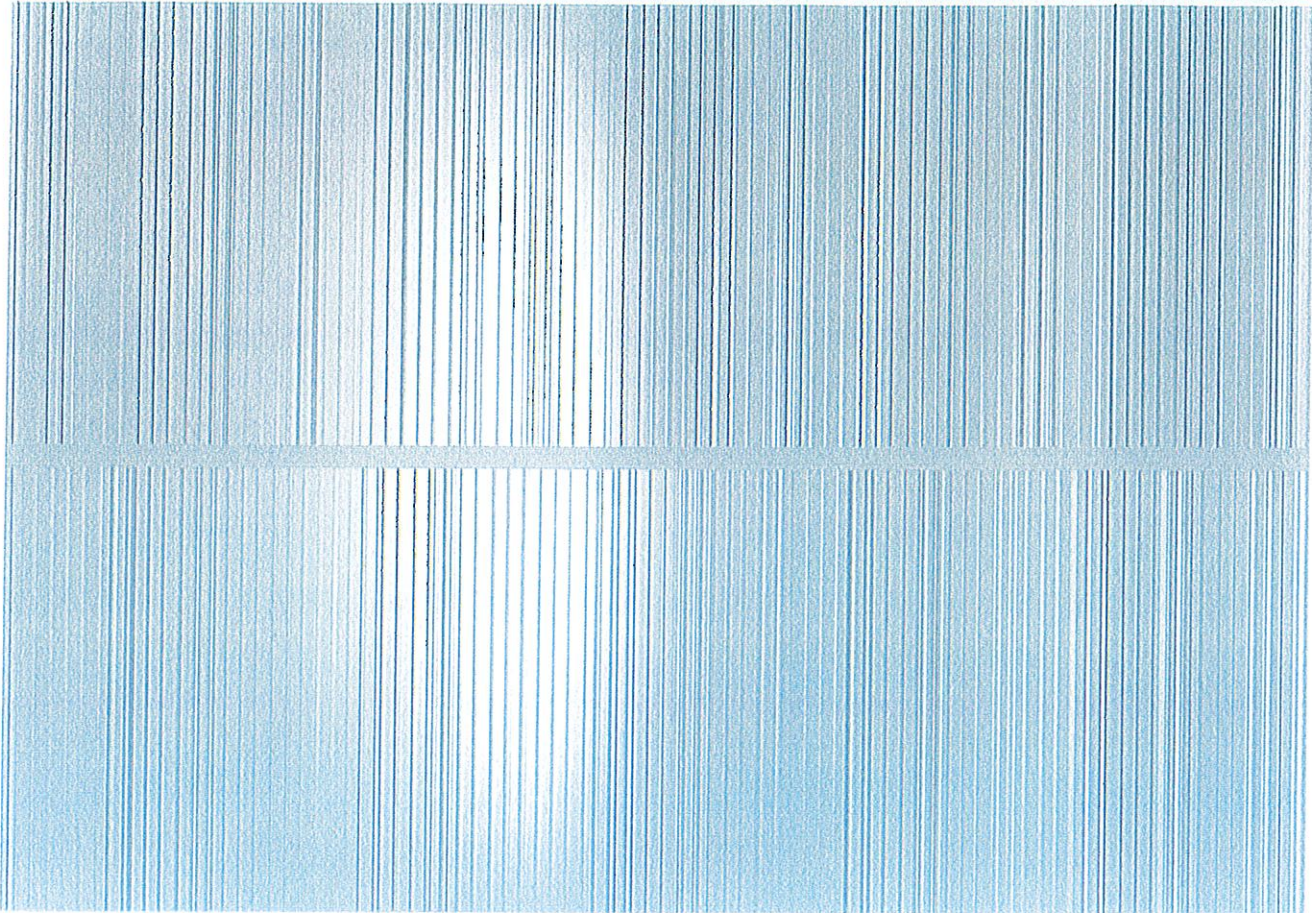


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1/15/2025
CHAPPA, TYLER
Doc ID: 21183220250115125039

Cleary/Owner Project Proposal - Material Only

Aerial View



Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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1/15/2025
CHAPPA, TYLER
Doc ID: 21183220250115125039

Cleary/Owner Project Proposal - Material Only

Project Colors

Building - Exterior

Siding

- Premium Steel Panel: Umber
- Corner Trim: Light Gray
- Bottom Trim: Light Gray

Roof

- Premium Steel Panel: Light Gray

Trim

- Gable: Light Gray
- Eave/Fascia: Light Gray
- Ridge Cap: Light Gray
- Trim Color Unless Otherwise Specified: Light Gray

Overhangs

- Soffit: Light Gray
- WallToSoffitTrim: Light Gray
- CeilingEnclosureTrim: Light Gray

Overhead Frameout

- J-Trim: Light Gray
- InsideTrim: Light Gray

Walk Doors

- Standard Blocked 3068: Brilliant
- J-Trim: Light Gray

Project Color Chip Review

All applicable Wall Steel, Roof Steel, Walk Door, and Trim colors have been reviewed using steel color chips.

Purchaser Initials

Purchaser and BSS to meet at a later date to confirm colors with color chips. This will be documented with a change order.

Purchaser Initials

Overhead Frameout & Headroom

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.

2. This building is designed in accordance with the following codes and specifications as applicable:

- 2018 Wisconsin Administrative Code chs. SPS 361-366
- 2015 International Building Code (IBC) as amended by SPS 362
- 2015 International Energy Conservation Code (IECC) as amended by SPS 363
- 2015 International Existing Building Code (IEBC) as amended by SPS 365
- 2015 National Design Specification for Wood Construction (NDS)

Risk Category: II
 Use Group(s) Classification: S-1
 Building Use: Storage
 Type of Construction: Type VB
 Building Area: 2400 Sq. Ft.

Building Design Loads:
 Snow Design Data:
 Ground Snow Load (Pg): 47 PSF
 Snow Exposure Factor (Ce): 1
 Slope Factor (Cs): 0.94
 Thermal Factor (Ct): 1.2
 Snow Load Importance Factor (Is): 1.0
 Flat Roof Snow Load (Pf): 39.5 PSF
 Sloped Roof Snow Load (Ps): 37 PSF
 Unbalanced Snow Loads:
 11.1 PSF Windward
 37 PSF Leeward
 20.39 PSF Leeward surcharge
 8.1 Ft. Width of surcharge

Wind Design Data:
 Basic Design Wind Speed (V): 125 MPH
 Wind Exposure: C
 Design Internal Pressure Coefficient: ± 0.18

Earthquake Design Data:
 Basic Seismic Force Resisting System: Building Frame System/Light Frame Walls Sheathed with Wood Structural Panels or Steel Sheets
 Design Base Shear: 430 LBS
 Seismic Response Coefficient (Cs): 0.012
 Analysis Procedure Used: Equivalent Lateral Force Procedure
 Seismic Design Category: A
 Mapped Spectral Response Accelerations (Ss): 6.6%g
 (S₁): 3.9%g
 Spectral Response Coefficients (S_{DS}): 0.07g
 (S_{D1}): 0.063g
 Site Class: D
 Seismic Importance Factor (I_e): 1.0
 Response Modification Factor (R): 6

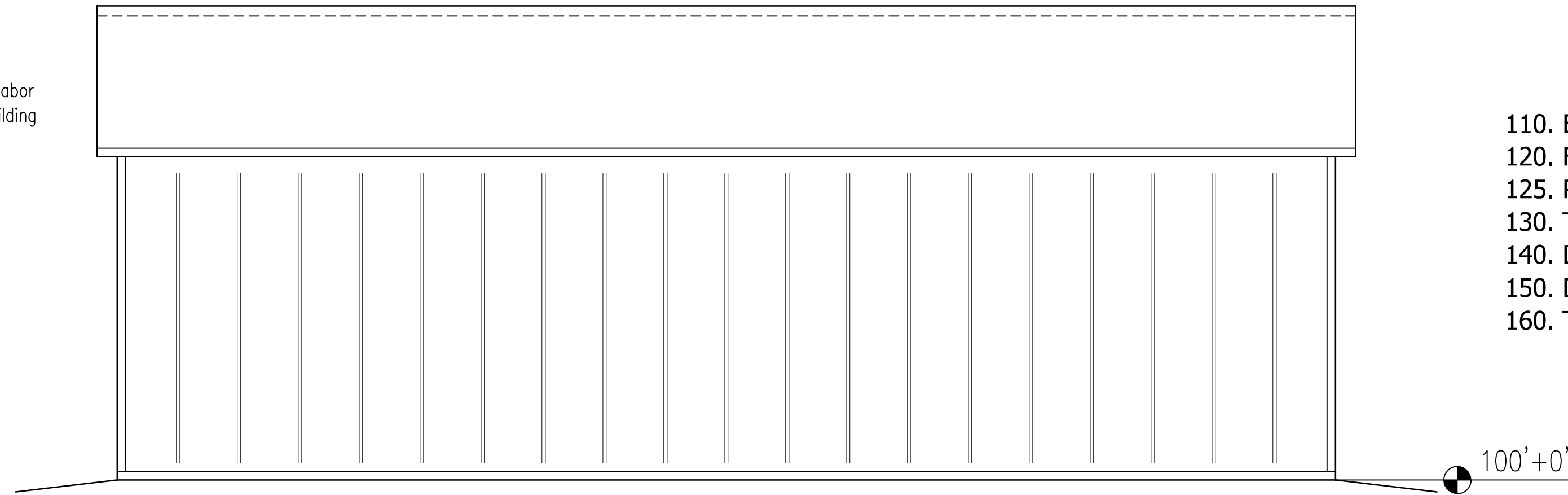
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWP4 U1, UC4B.
- All nails are to be threaded hardened steel unless otherwise noted.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4"Ø and frozen material.
- Electrical work, heating, ventilating, air conditioning, plumbing, and site draining is not a part of this drawing and shall be installed as per applicable codes.
- This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

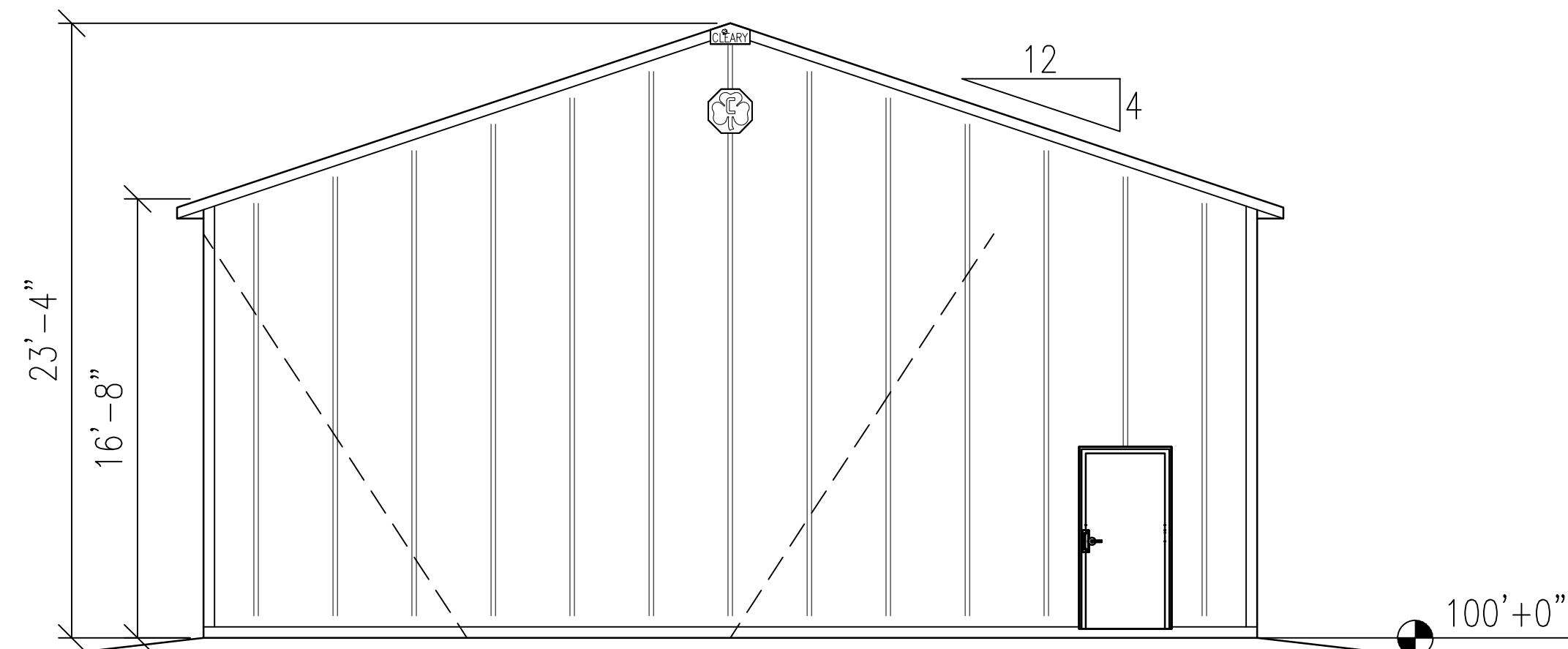
NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsoil investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

TABLE OF CONTENTS

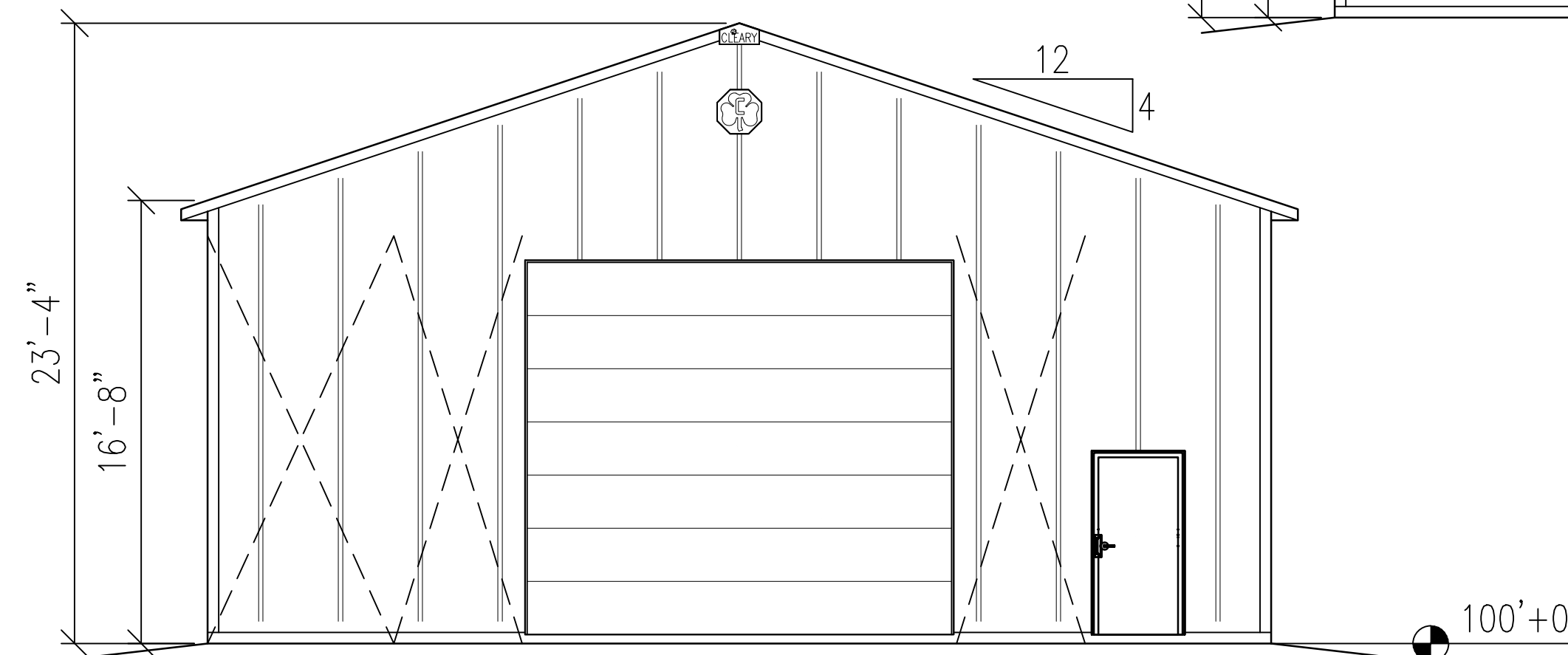
- 110. ELEVATIONS
- 120. FLOOR PLAN
- 125. ROOF FRAMING PLAN
- 130. TYPICAL SECTION
- 140. DIAGONAL BRACING DETAILS
- 150. DIAPHRAGM ACTION and MISC. DETAILS
- 160. TRUSS DIAGRAMS



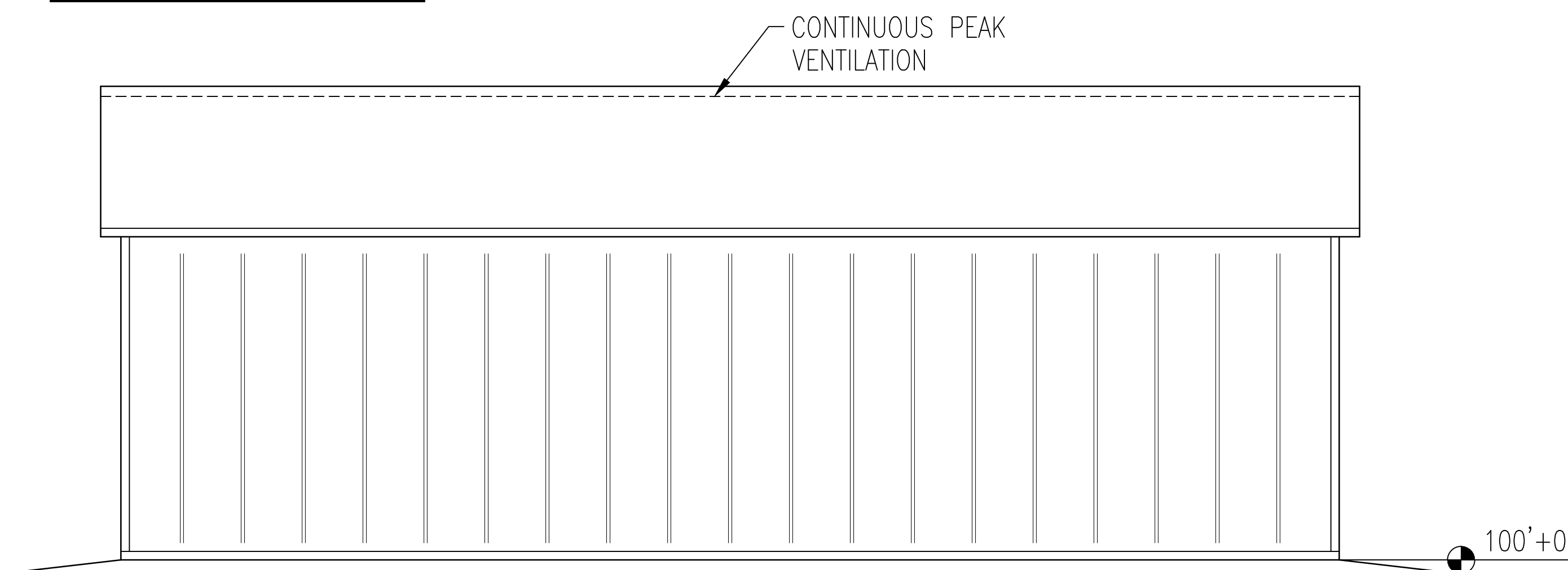
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

DATE DRAWN: 02/10/25

PLAN REVISIONS:

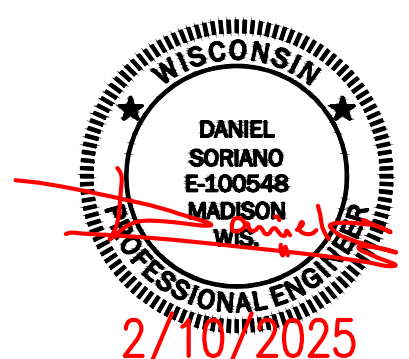
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
CHAPPA, TYLER
 PROJECT SITE ADDRESS:
 1236 N 18TH ST
 SHEBOYGAN, WI 53083 (SHEBOYGAN)
 BUILDING SIZE:
 40' 0" x 60' 0" x 16' 8"
 SHEET NAME:
 ELEVATIONS

PROJECT NUMBER:
2025100424

SHEET NUMBER:
110

WHEN PRINTED ON 24"x36"
PAPER SCALE IS 3/16"=1'-0"



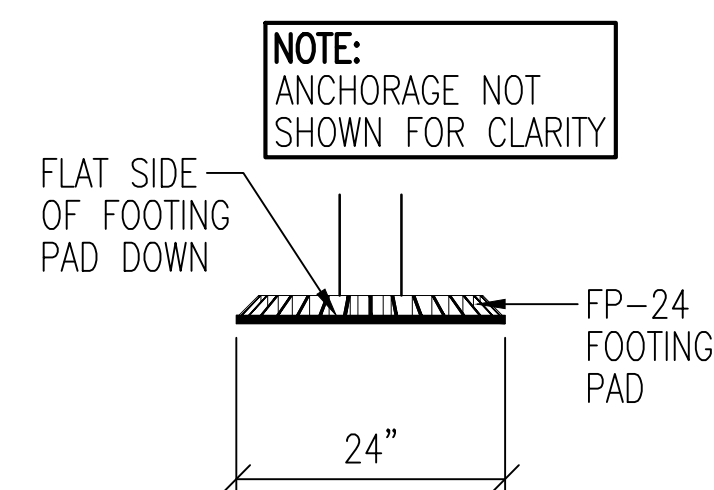
COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) CORNER	3-PLY 2x6x22'-0"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	4
(B) SIDEWALL	4-PLY 2x6x22'-0"	5'-6"	24"Ø	AGCO FP-24 FOOTING PAD (SEE NOTE/DETAIL)	10
(C) VERT. BRACE	2-PLY 2x6x9'-2"	---	---	VERTICAL BRACE B.E.=14' 1 1/2"	1
(D) ENDWALL	3-PLY 2x6x24'-4"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(E) ENDWALL	3-PLY 2x6x25'-4"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(F) ENDWALL	3-PLY 2x6x26'-0"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	2
(G) ENDWALL	3-PLY 2x6x28'-8"	5'-6"	18"Ø	4"x14"Ø PRECAST CONCRETE FOOTING	1

BUILDING ACCESSORY SCHEDULE					
ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES	
1	SOLID WALK DOOR	3' 0"x6' 8"	B.E. =100' 4"	2	R.O. 3' 4 3/8"x6' 9 3/4", STANDARD, BRILLIANT, LEV./LEV. LOCKSET, LATCH GUARD, KEYED ALIKE, CLOSER, H.CAP THRESHOLD
2	OVERHEAD DOOR	16' 0"x14' 0"	B.E. =100' 4"	1	I.D. =15' 11 1/2", 13-20" HEADROOM OPTION WITHOUT LINER, TRIM INSIDE EDGE, DOOR NOT BY CLEARY

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
 - 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - END WALL 1 ON BUILDING 1 (EAST) - INSTALL STANDARD 15" SHAMROCK
 - END WALL 2 ON BUILDING 1 (WEST) - INSTALL STANDARD 15" SHAMROCK

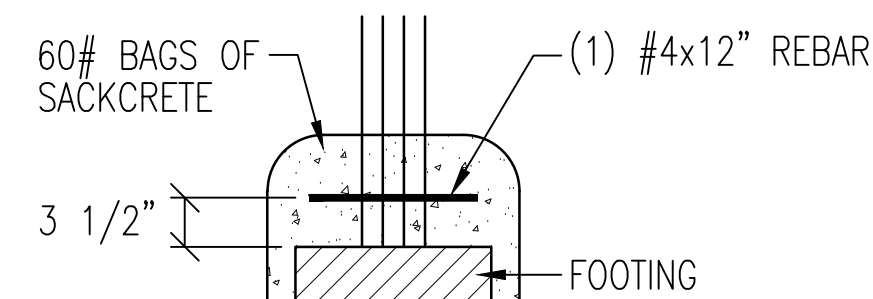
NOTE:
75 TOTAL BAGS OF SACKCRETE
REQUIRED FOR COLUMN ANCHORAGE

NOTE:
THE FOOTING PAD IS THE AGCO
MOLDED COMPOSITE CIRCULAR
FOOTING PAD (SEE ESR-2147)



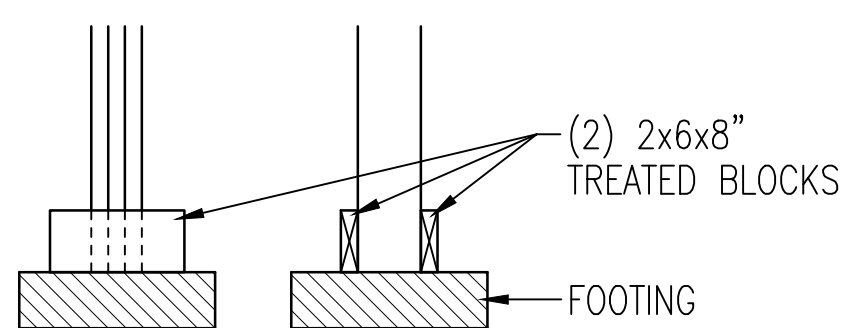
FOOTING PAD DETAIL

- △ = ANCHOR COLUMNS WITH (6) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
 - ◇ = ANCHOR COLUMNS WITH (3) 60# BAGS OF SACKCRETE AND (1) #4x12" REBAR FOR UPLIFT
- NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS

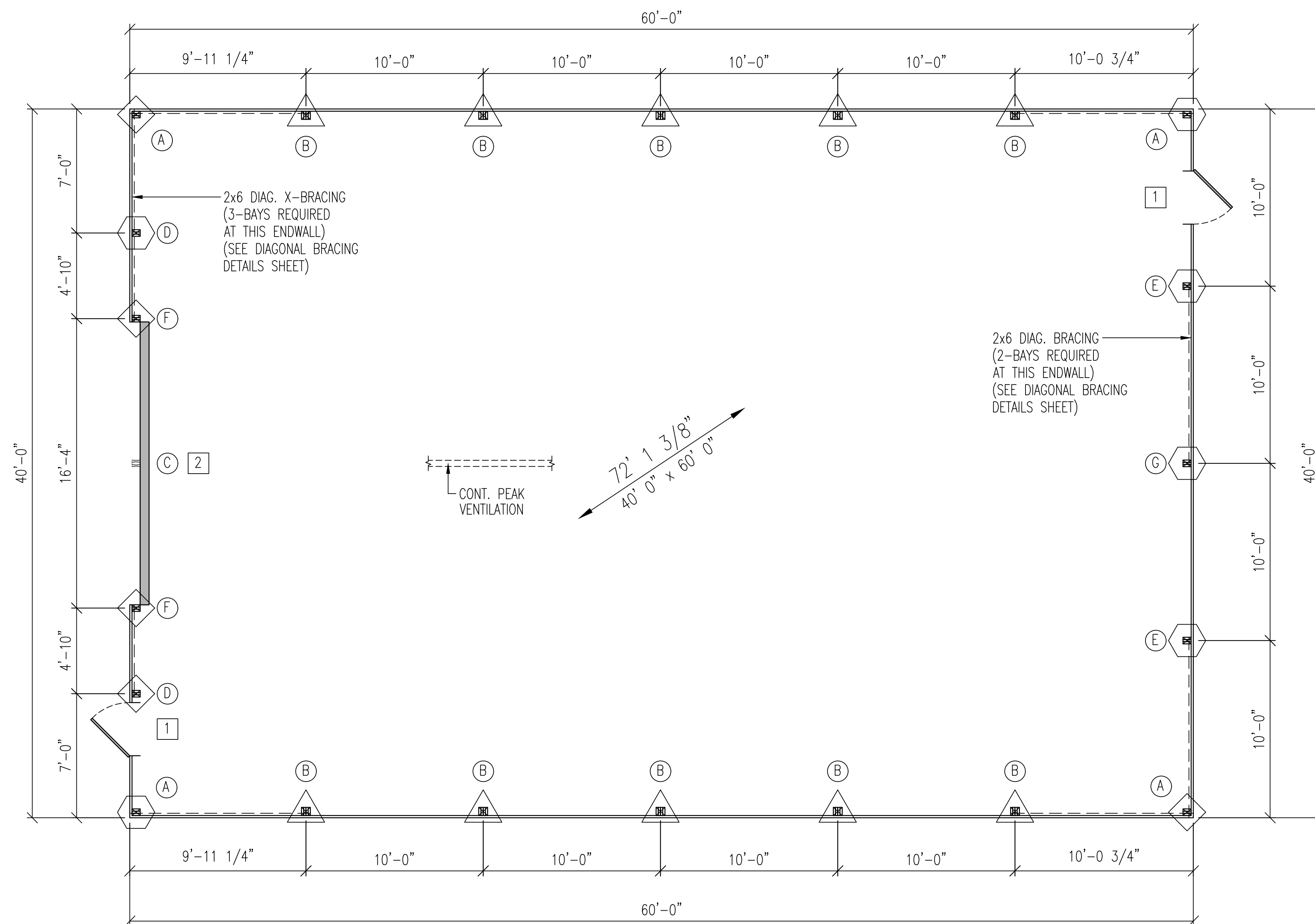


COLUMN ANCHOR DETAIL

- ◊ = ANCHOR COLUMNS WITH (2) 2x6x8" TREATED BLOCKS ATTACHED TO COLUMN WITH (3) 20d NAILS PER EACH BLOCK FOR UPLIFT
- NOTE: COLUMN SETS ON TOP OF FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



COLUMN ANCHOR DETAIL



CLEARY BUILDING CORP.
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DATE DRAWN: 02/10/25

PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

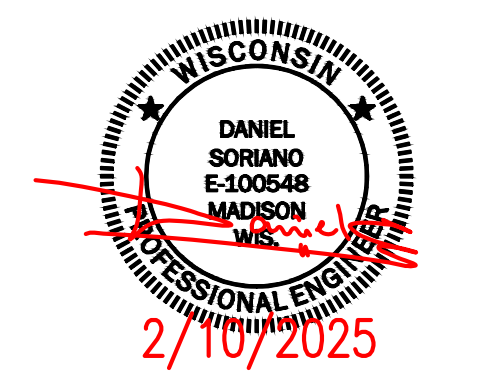
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
FLOOR PLAN

PROJECT NUMBER:
2025100424

SHEET NUMBER:
120

WHEN PRINTED ON 24"x36"
PAPER SCALE IS 1/4"=1'-0"





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DRAWN BY: JENKINS

DATE DRAWN: 02/10/25

PLAN REVISIONS:

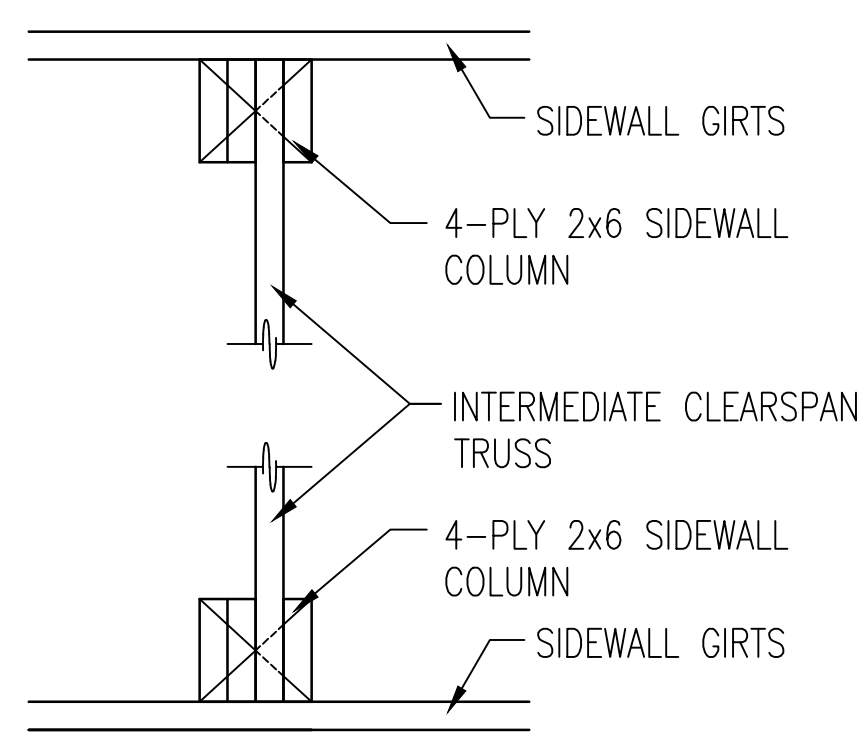
NUMBER	DATE	BY
1		
2		
3		
4		

NORTH

TRUSS INFORMATION			
#	DESCRIPTION	SCREW PLACEMENT	HOLE
1	TB39-9SEW4WO-H12HEEL125W	PURLINS NAILED	NONE
2	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
3	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
4	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
5	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
6	TA39-9PLSC37STNO100C4TRUSS125W	PURLINS NAILED	NONE
7	TB39-9SEW4WO-H12HEEL125W	PURLINS NAILED	NONE

- NOTES:**
- 2x6 JACKBRACING AT ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)
 — = LOCATION ON THIS SHEET FOR JACKBRACING (SEE DETAIL THIS SHEET)
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - (X) = BAYS WITH 2x4 ROOFLINE X-BRACING (SEE DETAIL THIS SHEET)

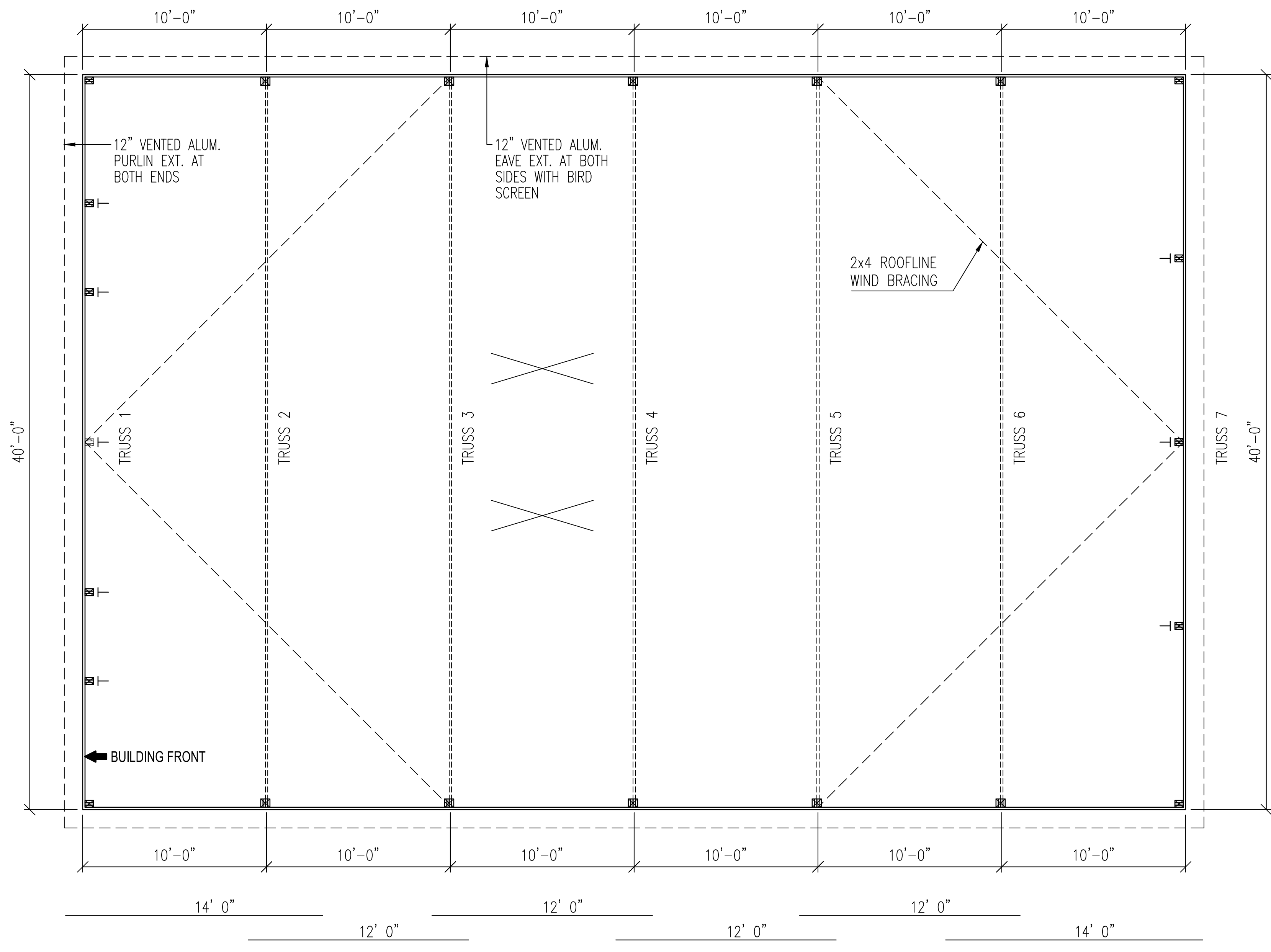
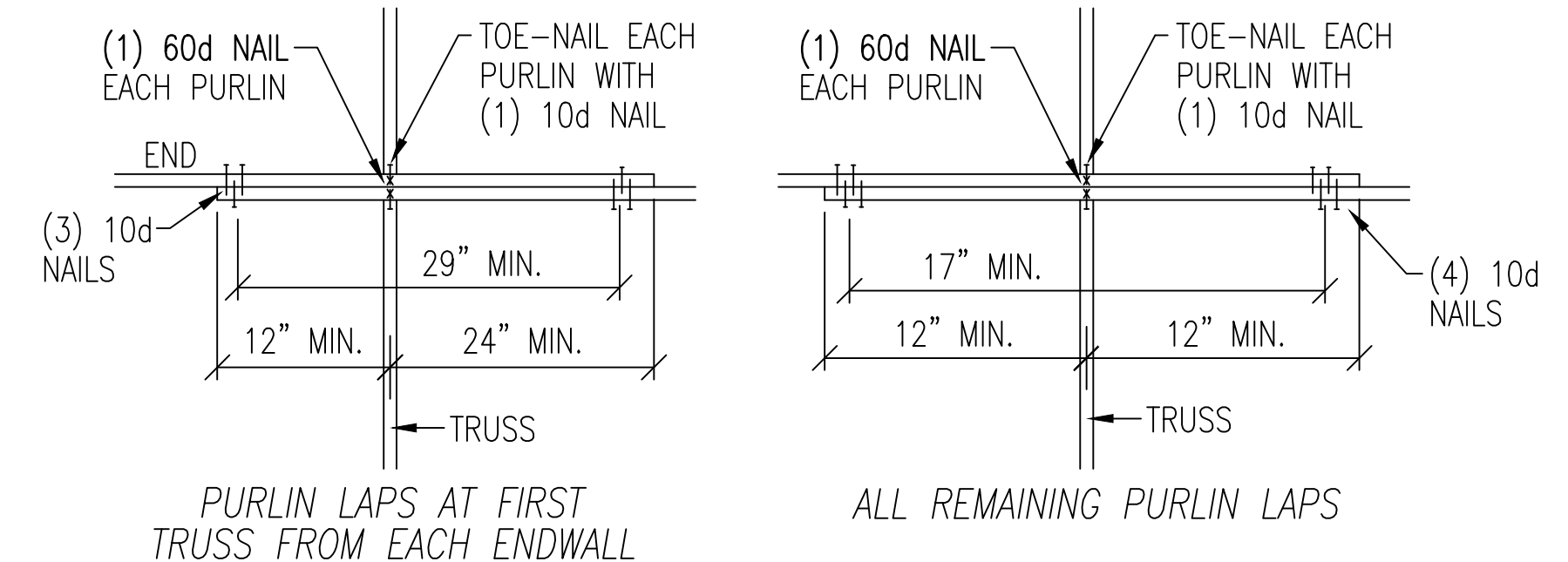
NOTE:
ATTACH ALL PURLINS TO TRUSS WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL. ALSO ATTACH ROOF STEEL TO PURLINS AT 9" O.C.



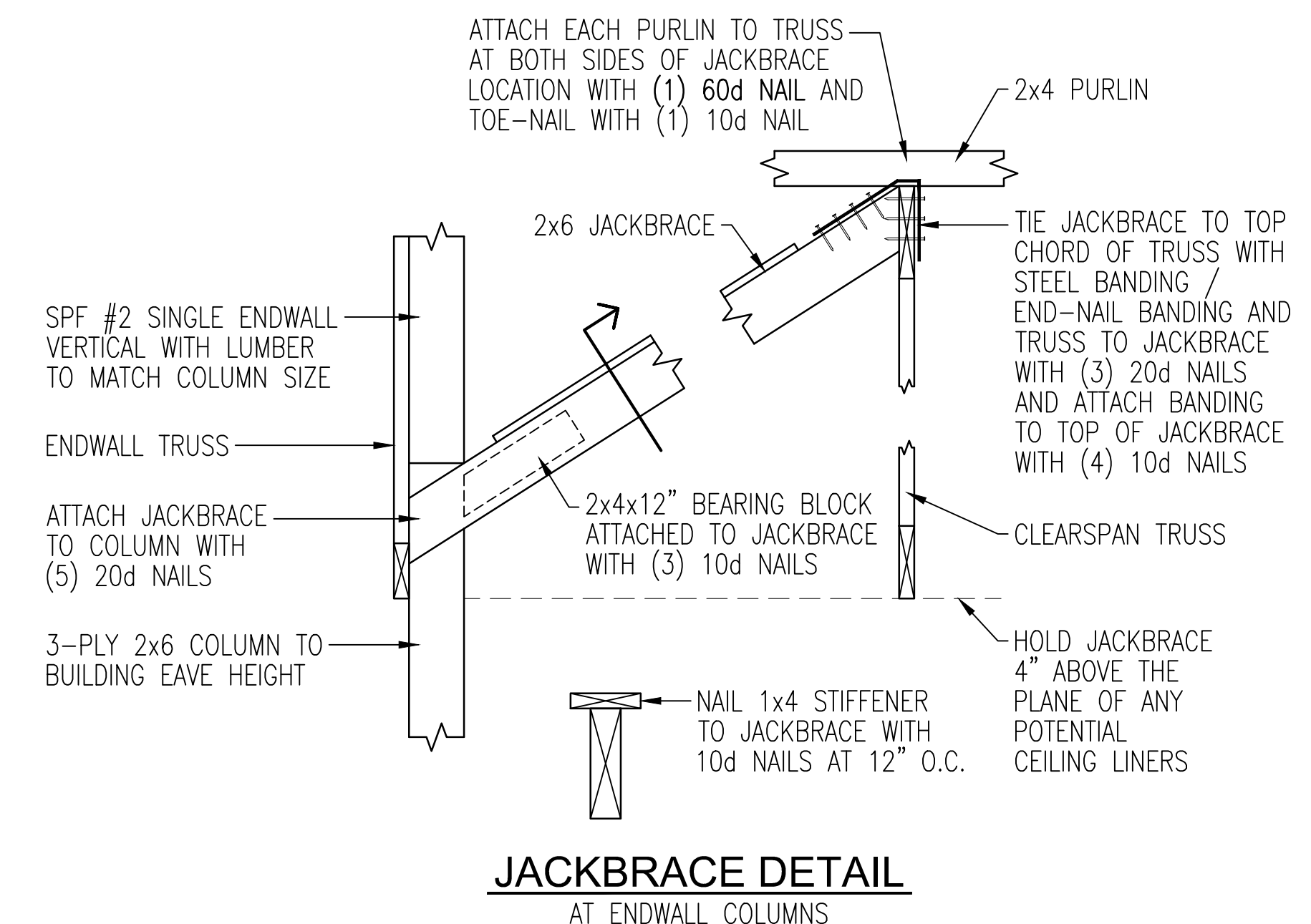
TYPICAL TRUSS PLACEMENT DETAIL

CONT. PURLIN DESIGN

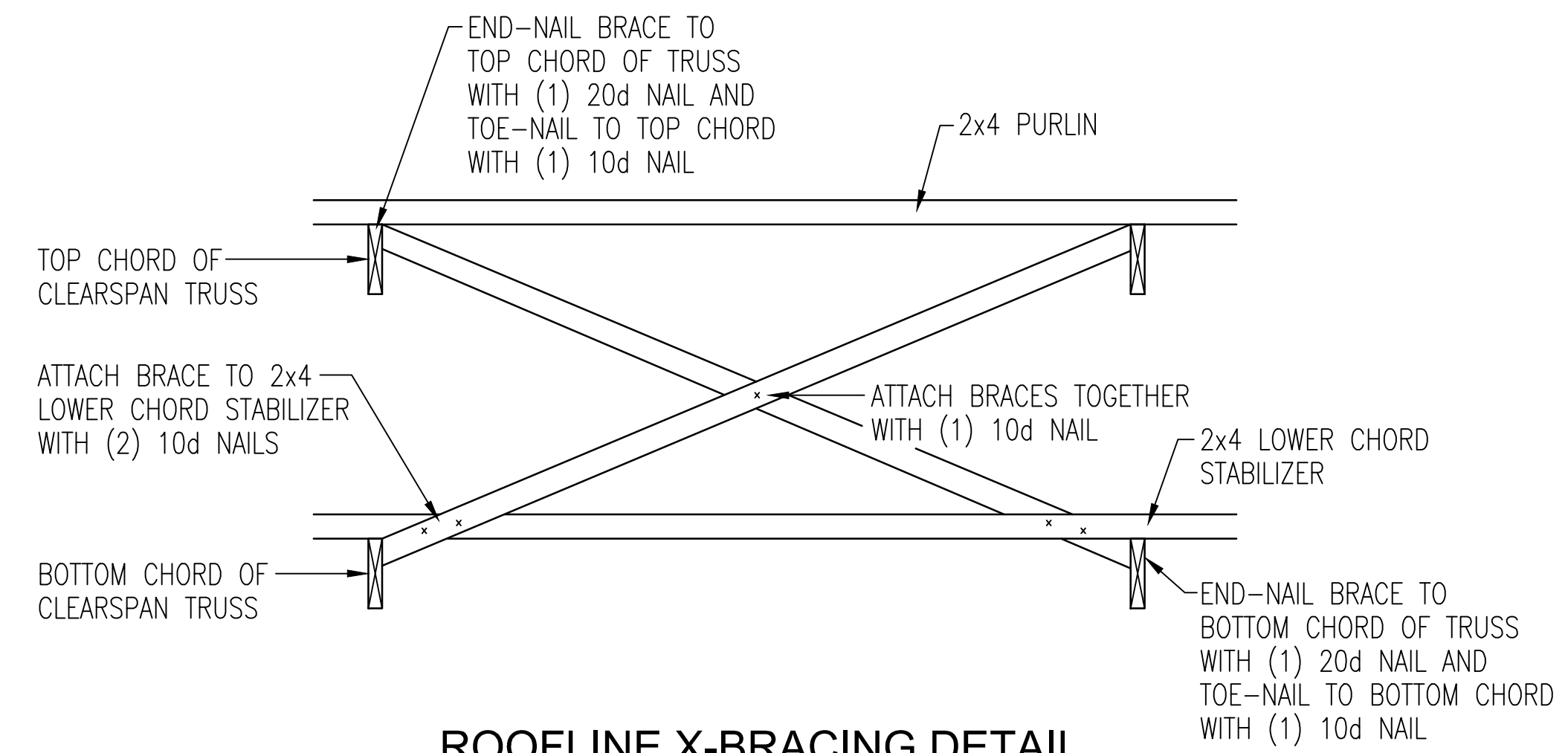
CONSTRUCTION FOREMAN NOTE:
BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



PURLIN LAYOUT



JACKBRACE DETAIL AT ENDWALL COLUMNS

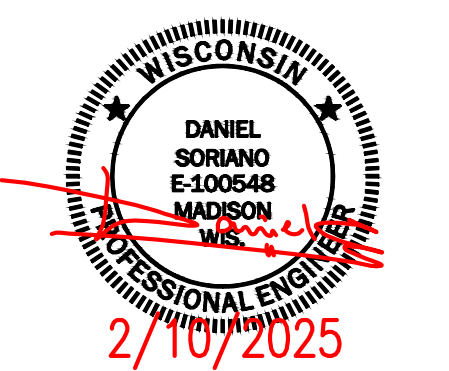


ROOFLINE X-BRACING DETAIL
X-BRACING IS ATTACHED TO LOWER CHORD STABILIZER

PROJECT NAME:
CHAPPA, TYLER
PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)
BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"
SHEET NAME:
ROOF FRAMING PLAN

PROJECT NUMBER:
2025100424
SHEET NUMBER:
125

WHEN PRINTED ON 24"x36" PAPER SCALE IS 1/4"=1'-0"



2/10/2025



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DATE DRAWN: 02/10/25

PLAN REVISIONS:

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4		

ROOF NOTES:

- ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL
- ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

PREPAINTED 29 GAUGE CORRUGATED ROOF AND SIDE STEEL

#2 SPF 2x4 PURLINS SPACED WITH BOTTOM (7) AT 19" O.C. AND TOP (10) AT 12" O.C.

SEE HEEL DETAIL

SEE TRUSS DIAGRAMS

(4) ROWS 2x4 L.C.S. SPACED EVENLY

NOTE:
TRUSS NOT DESIGNED FOR CEILING LOAD

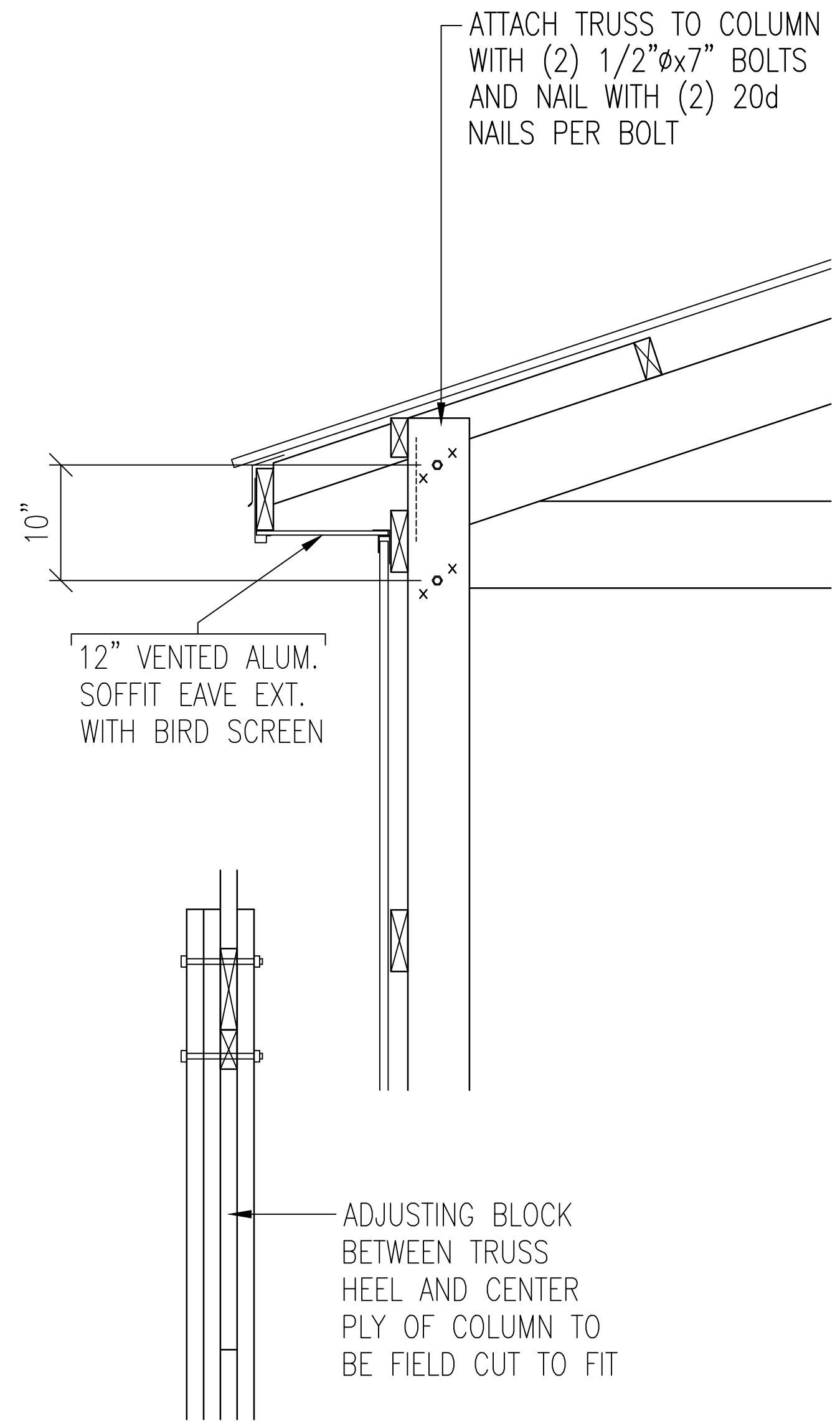
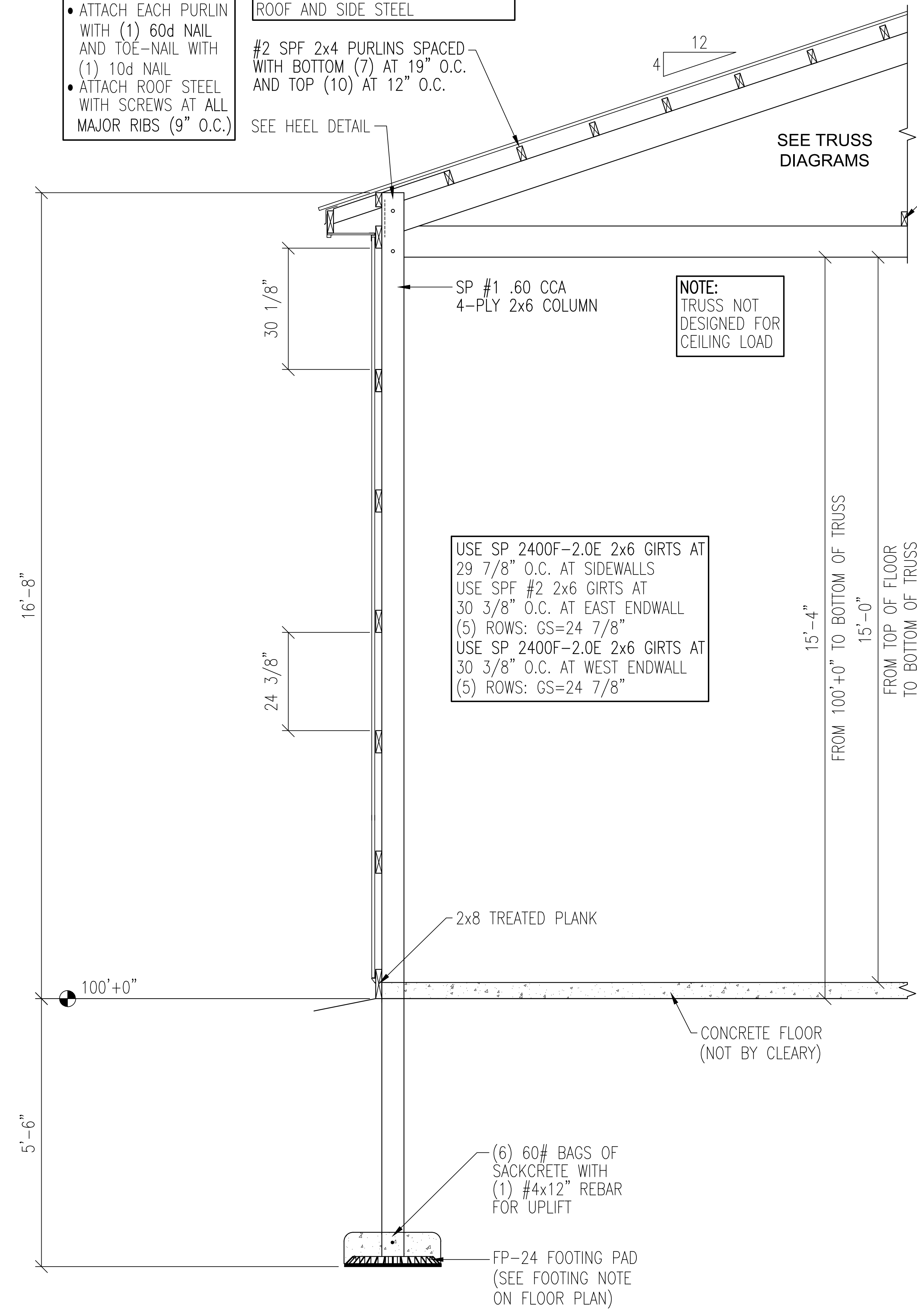
USE SP 2400F-2.0E 2x6 GIRTS AT 29 7/8" O.C. AT SIDEWALLS
USE SPF #2 2x6 GIRTS AT 30 3/8" O.C. AT EAST ENDWALL
(5) ROWS: GS=24 7/8"
USE SP 2400F-2.0E 2x6 GIRTS AT 30 3/8" O.C. AT WEST ENDWALL
(5) ROWS: GS=24 7/8"

ATTACH TRUSS TO COLUMN WITH (2) 1/2"Øx7" BOLTS AND NAIL WITH (2) 20d NAILS PER BOLT

12" VENTED ALUM. SOFFIT EAVE EXT. WITH BIRD SCREEN

ADJUSTING BLOCK BETWEEN TRUSS HEEL AND CENTER PLY OF COLUMN TO BE FIELD CUT TO FIT

HEEL DETAIL



PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
TYPICAL SECTION

PROJECT NUMBER:
2025100424

SHEET NUMBER:
130

WHEN PRINTED ON 24"x36" PAPER SCALE IS 3/4"=1'-0"





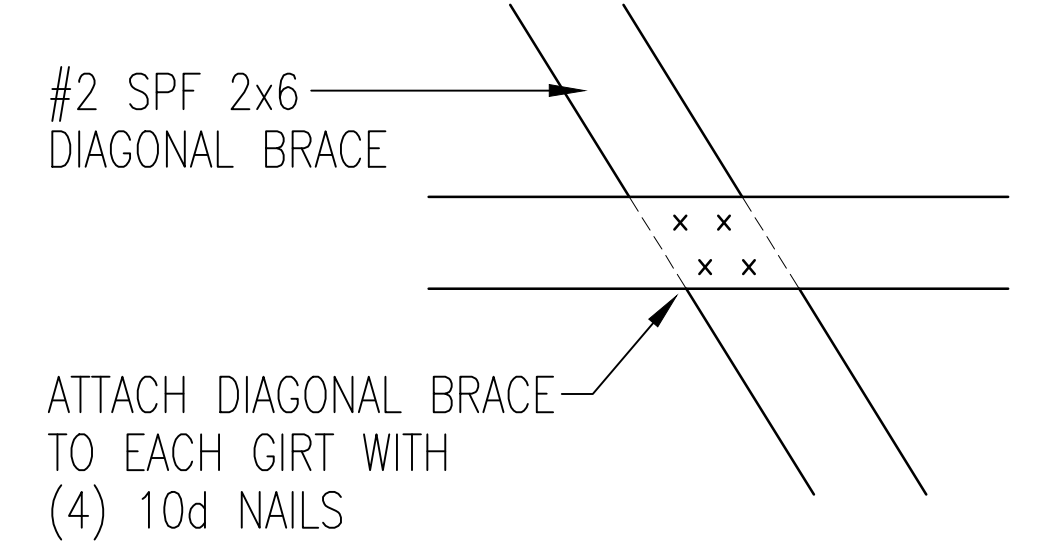
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

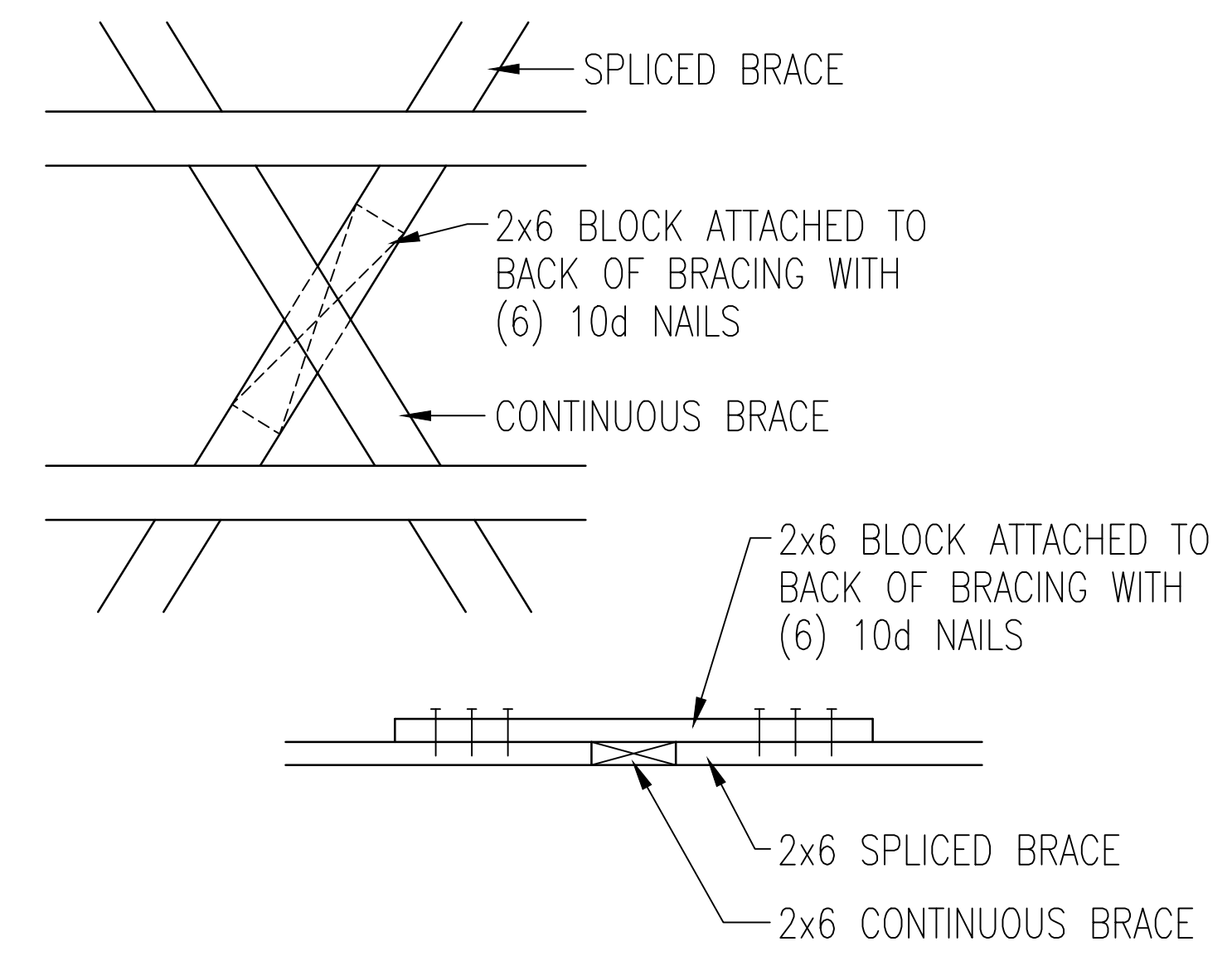
DATE DRAWN: 02/10/25

PLAN REVISIONS:

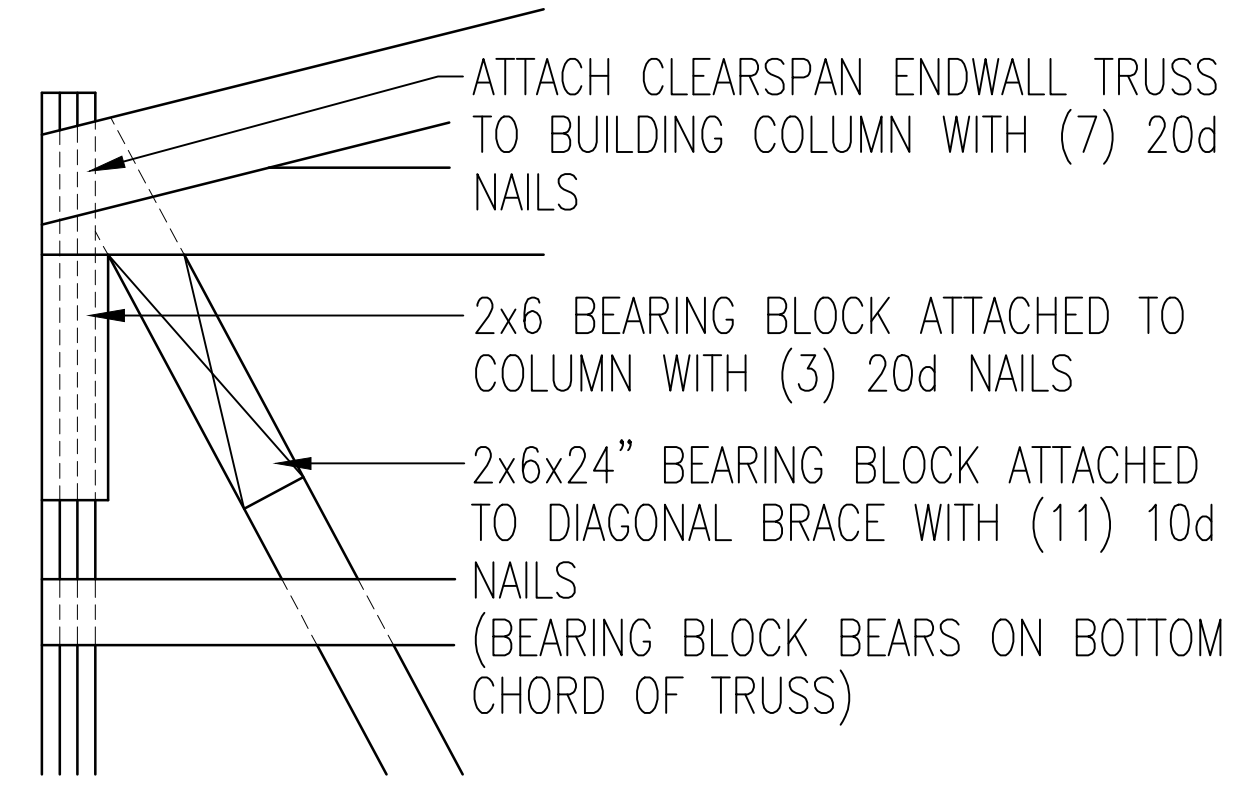
NUMBER	DATE	BY
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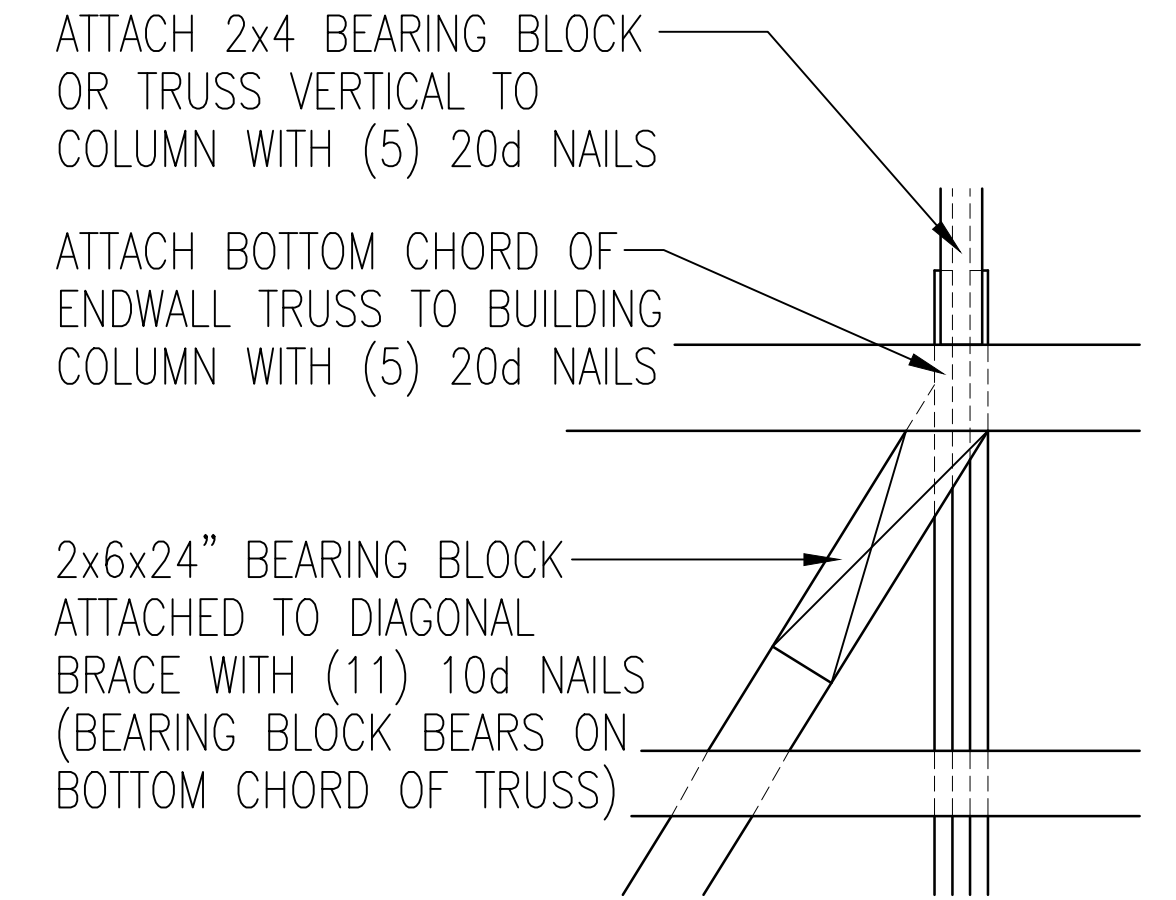
BRACE TO GIRT CONNECTION DETAIL



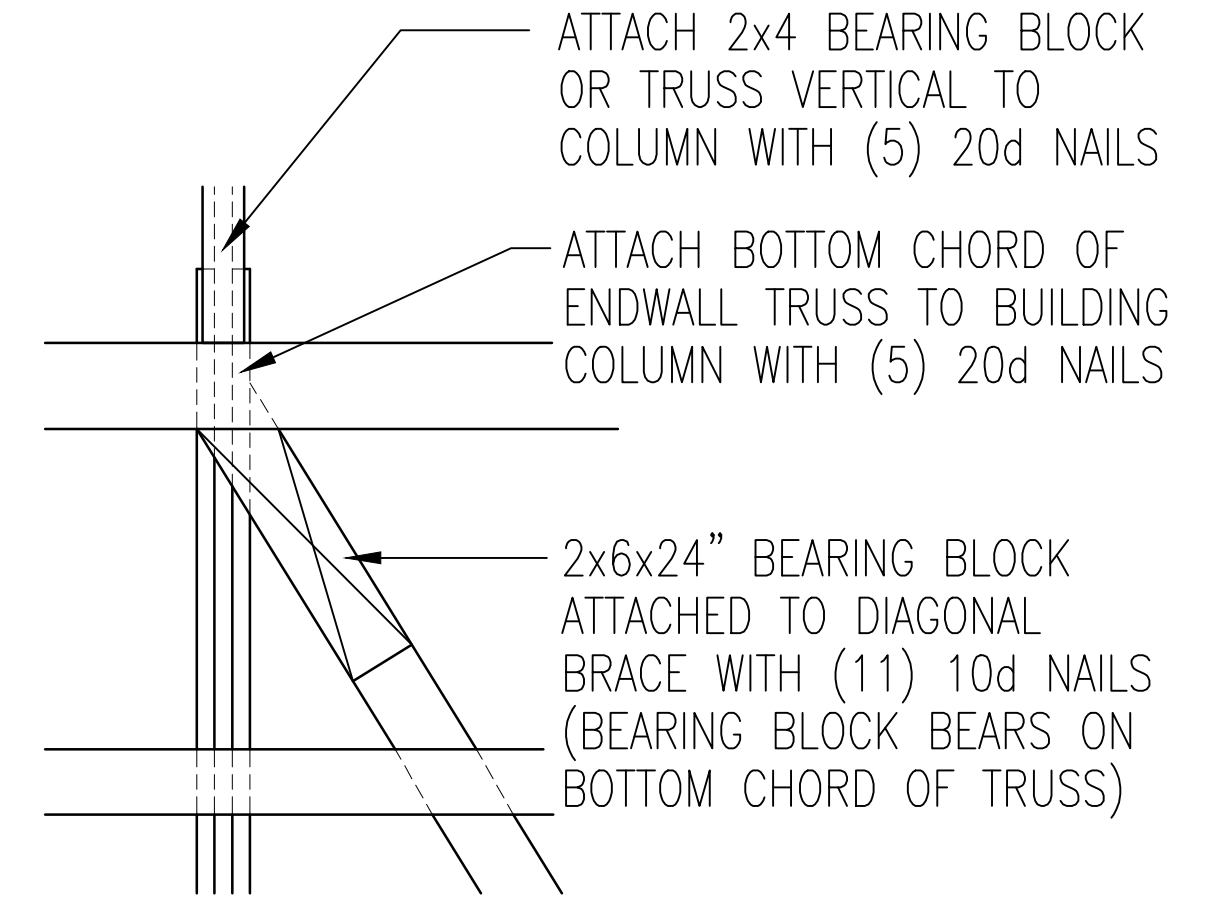
BRACE SPLICE DETAIL
AT CENTER OF X-BRACING



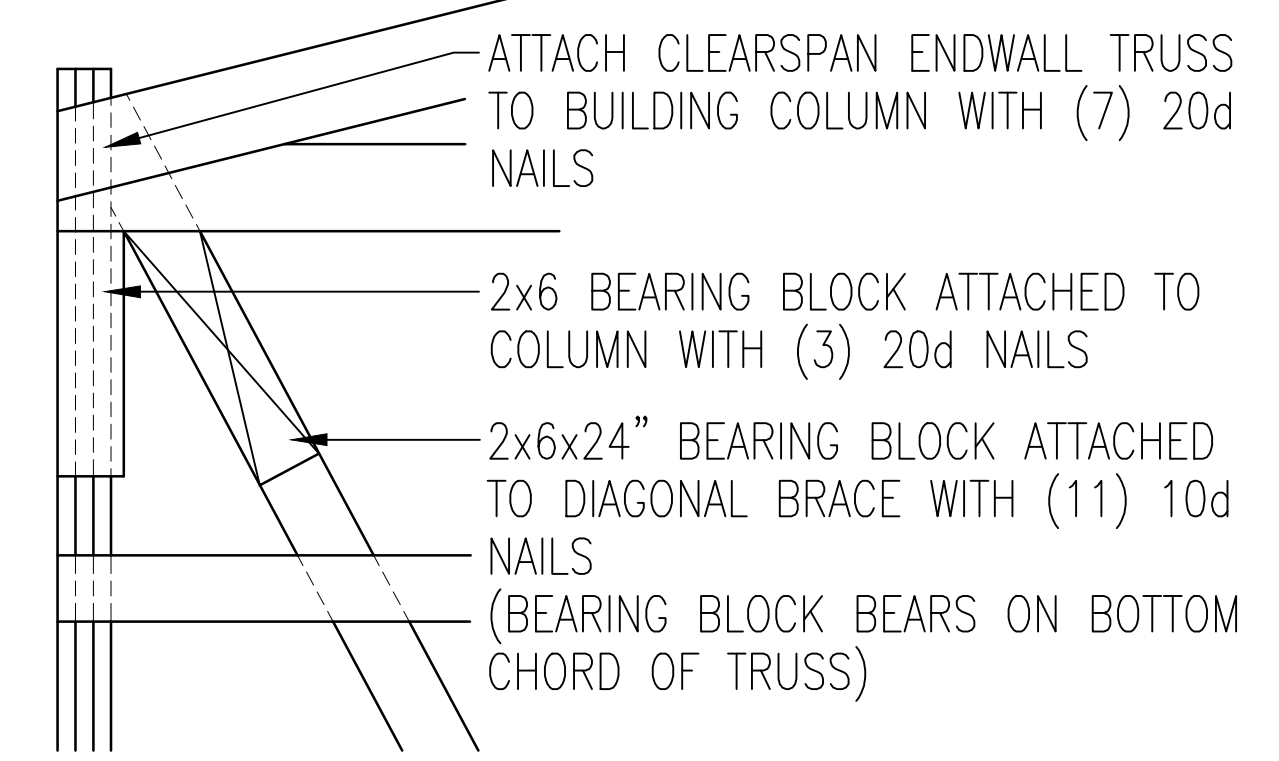
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



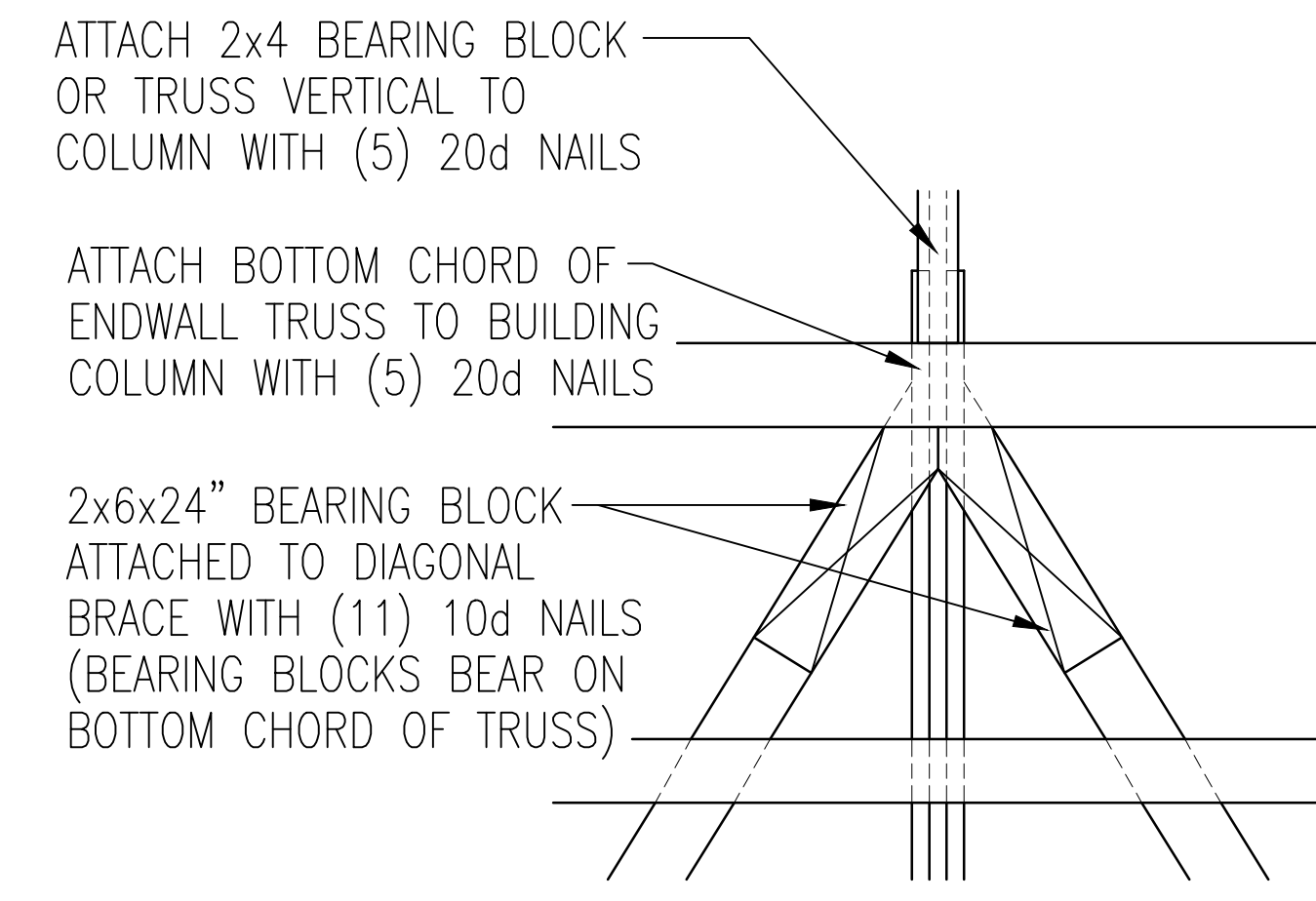
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



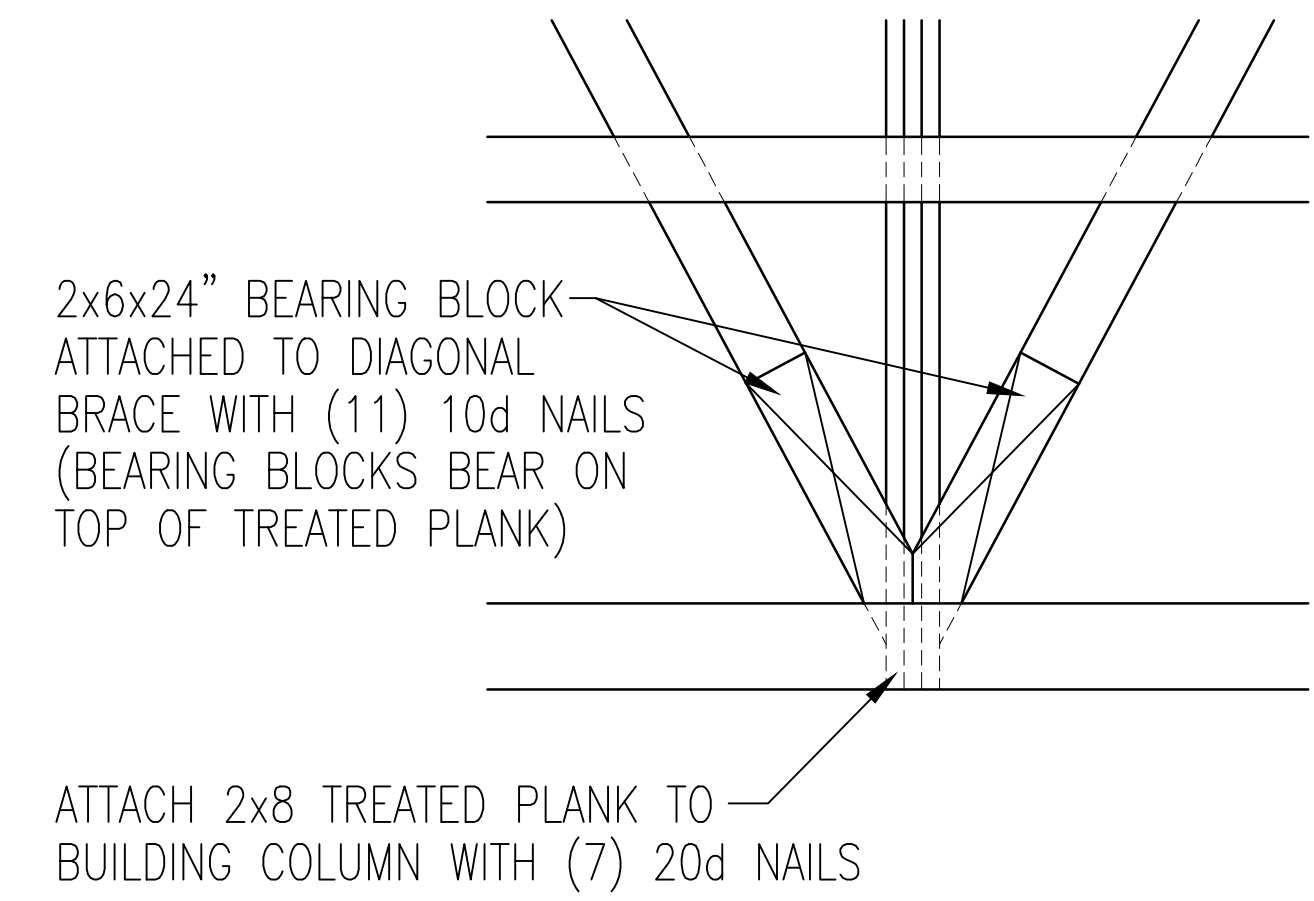
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



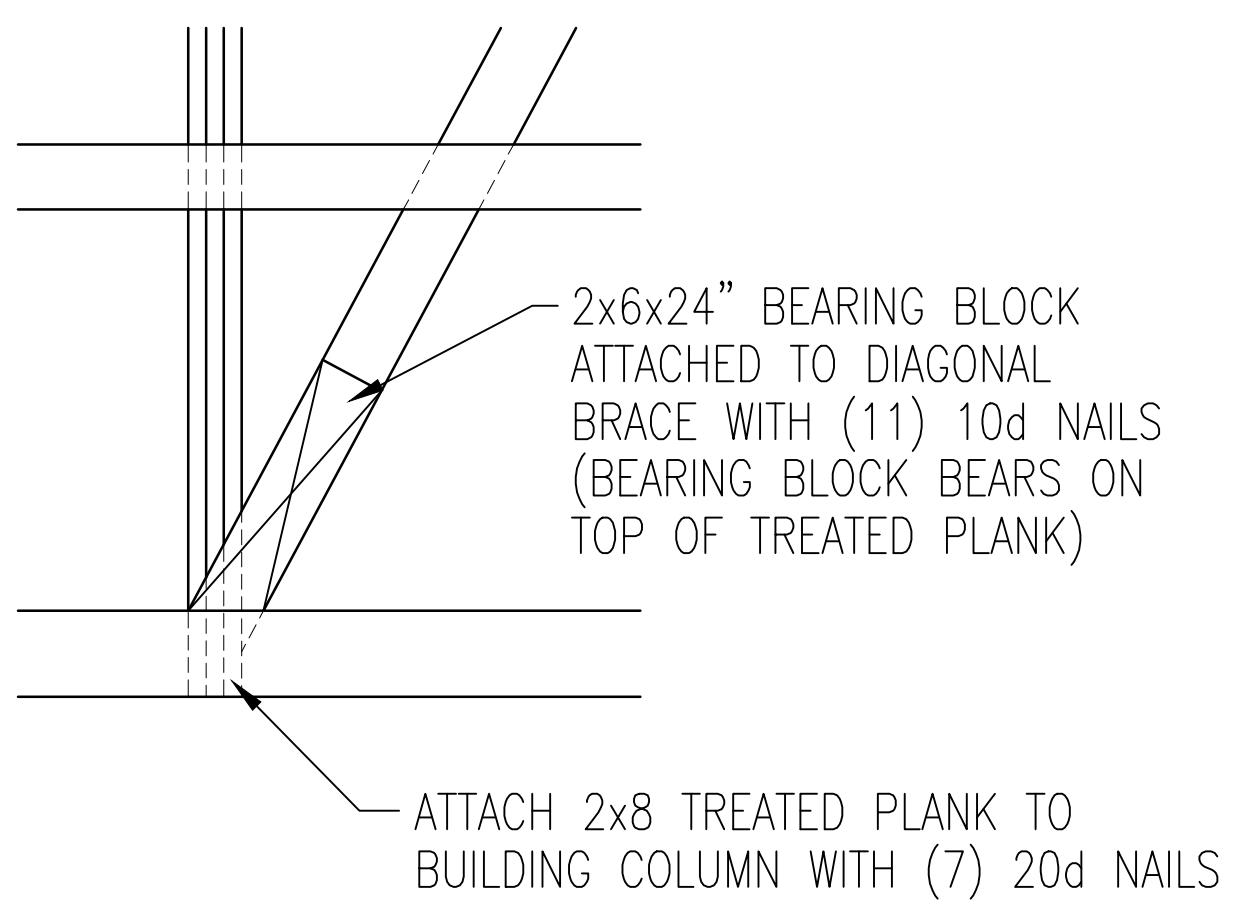
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



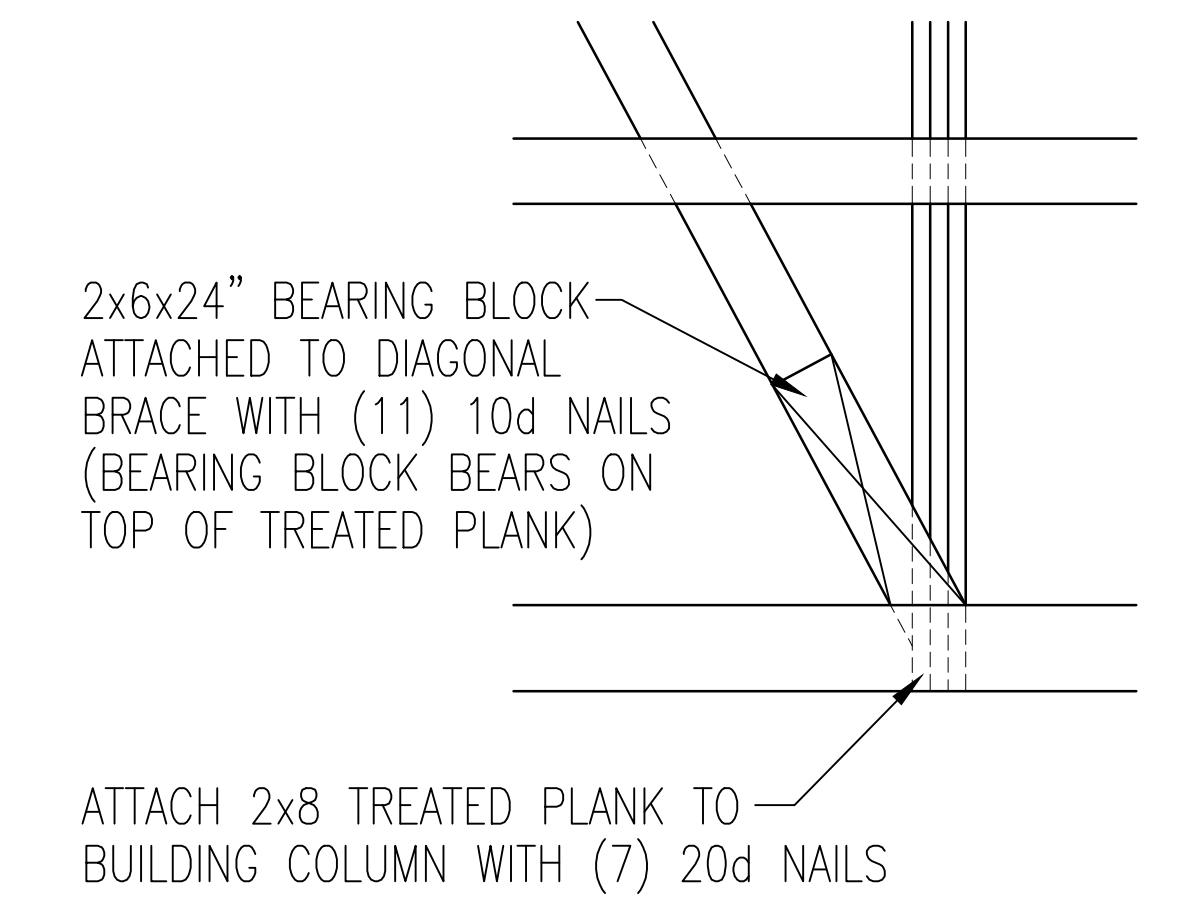
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



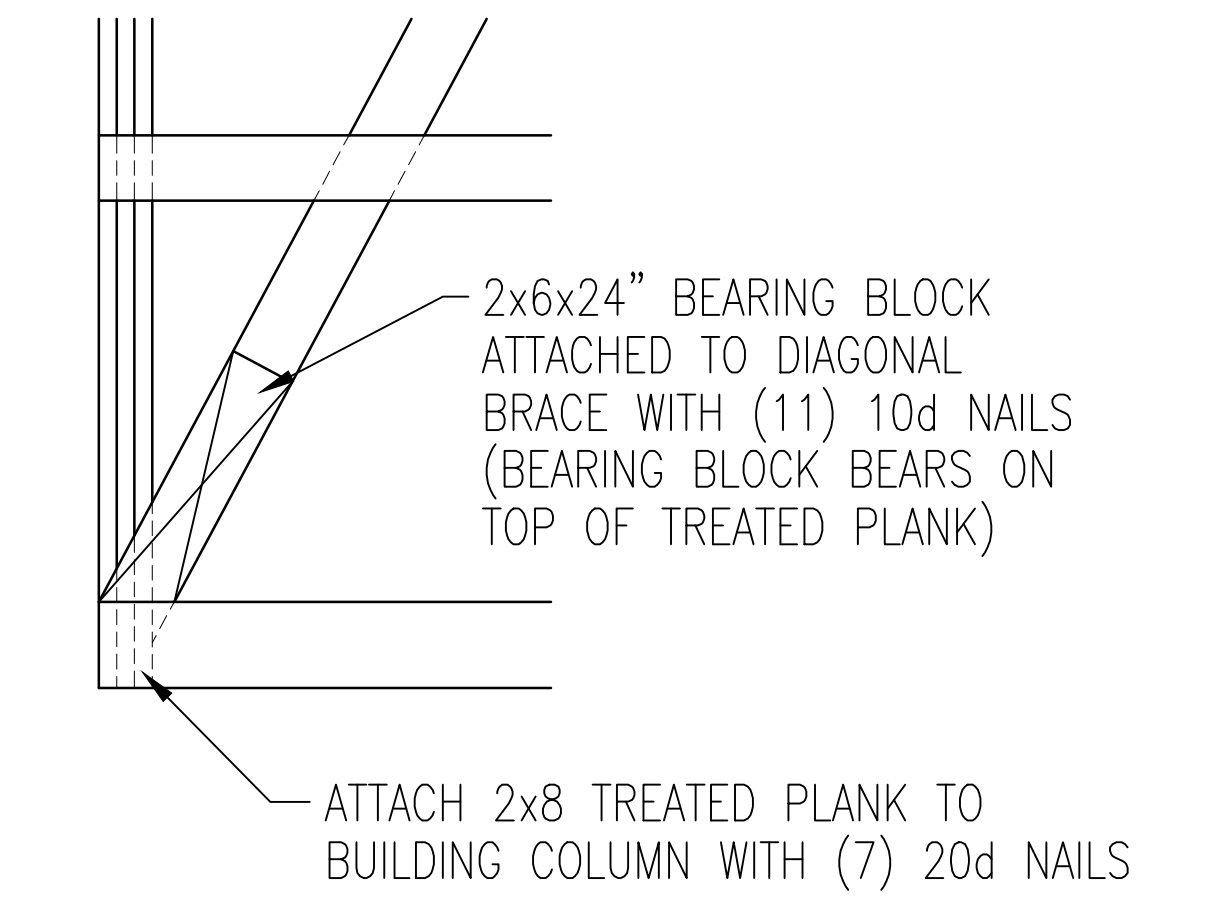
BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



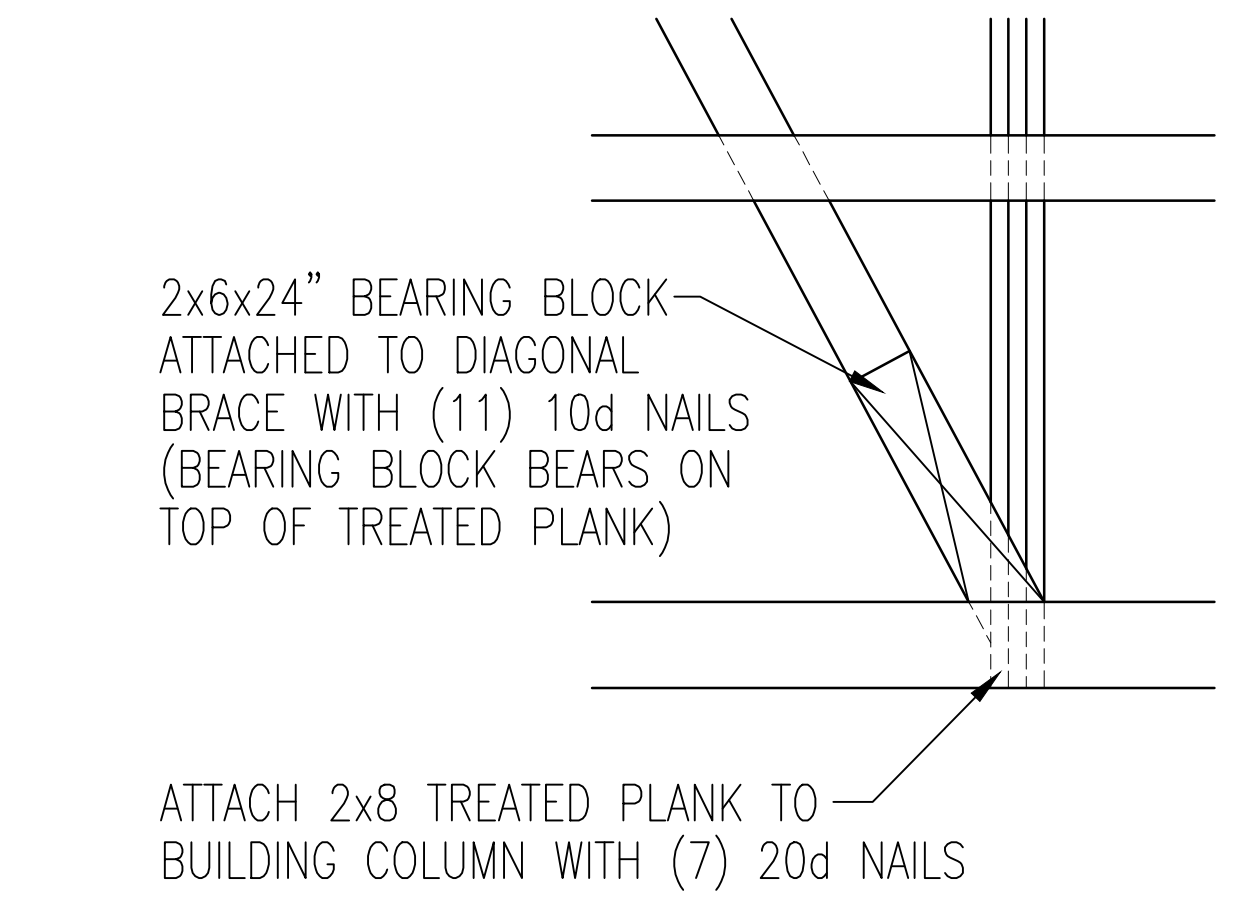
BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

ENDWALL DIAGONAL BRACING DETAIL
AT WEST ENDWALL

ENDWALL DIAGONAL X-BRACING DETAIL
AT EAST ENDWALL

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
DIAGONAL BRACING DETAILS

PROJECT NUMBER:
2025100424

SHEET NUMBER:
140

PAPER SCALE IS N.T.S.





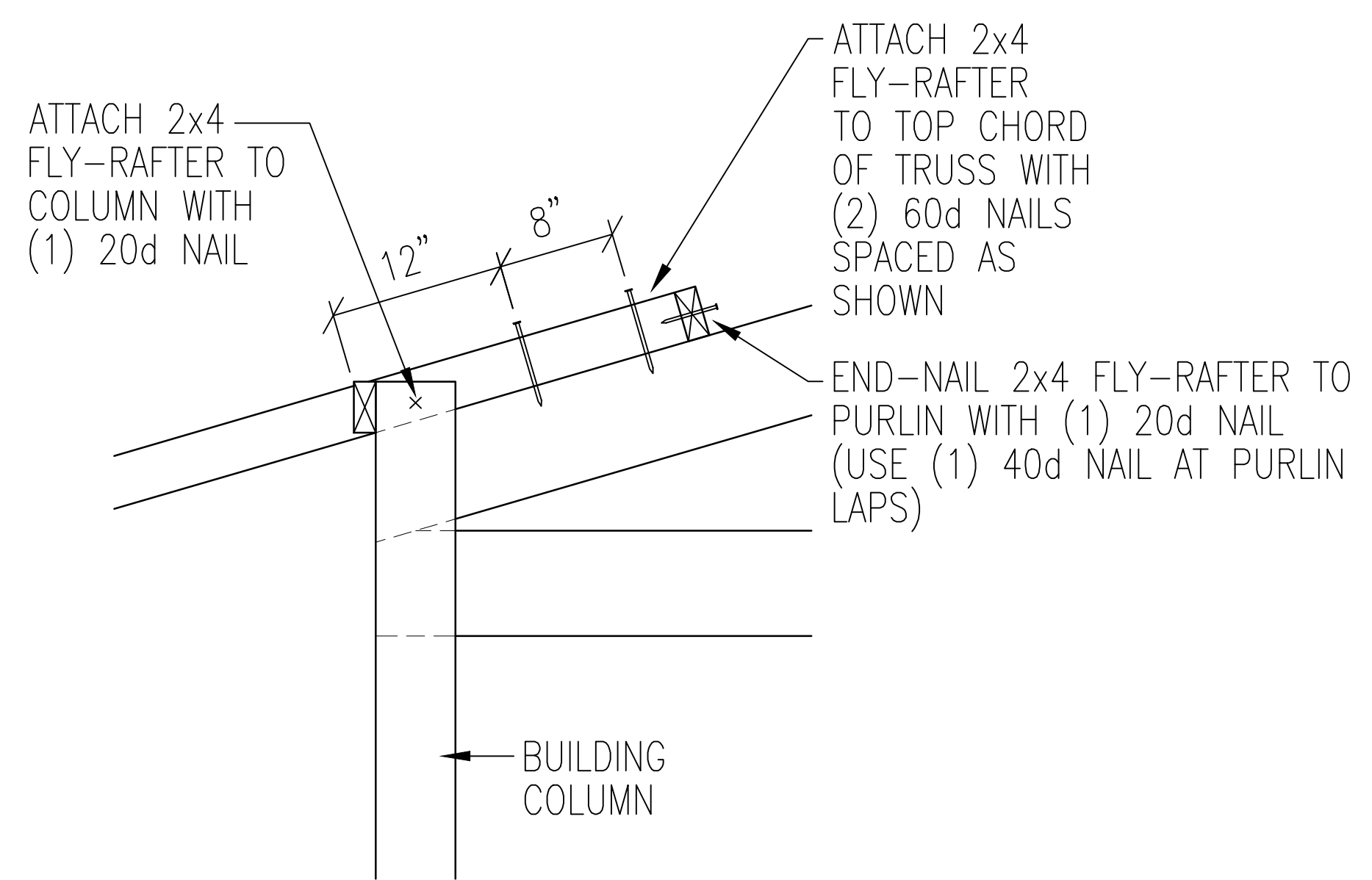
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

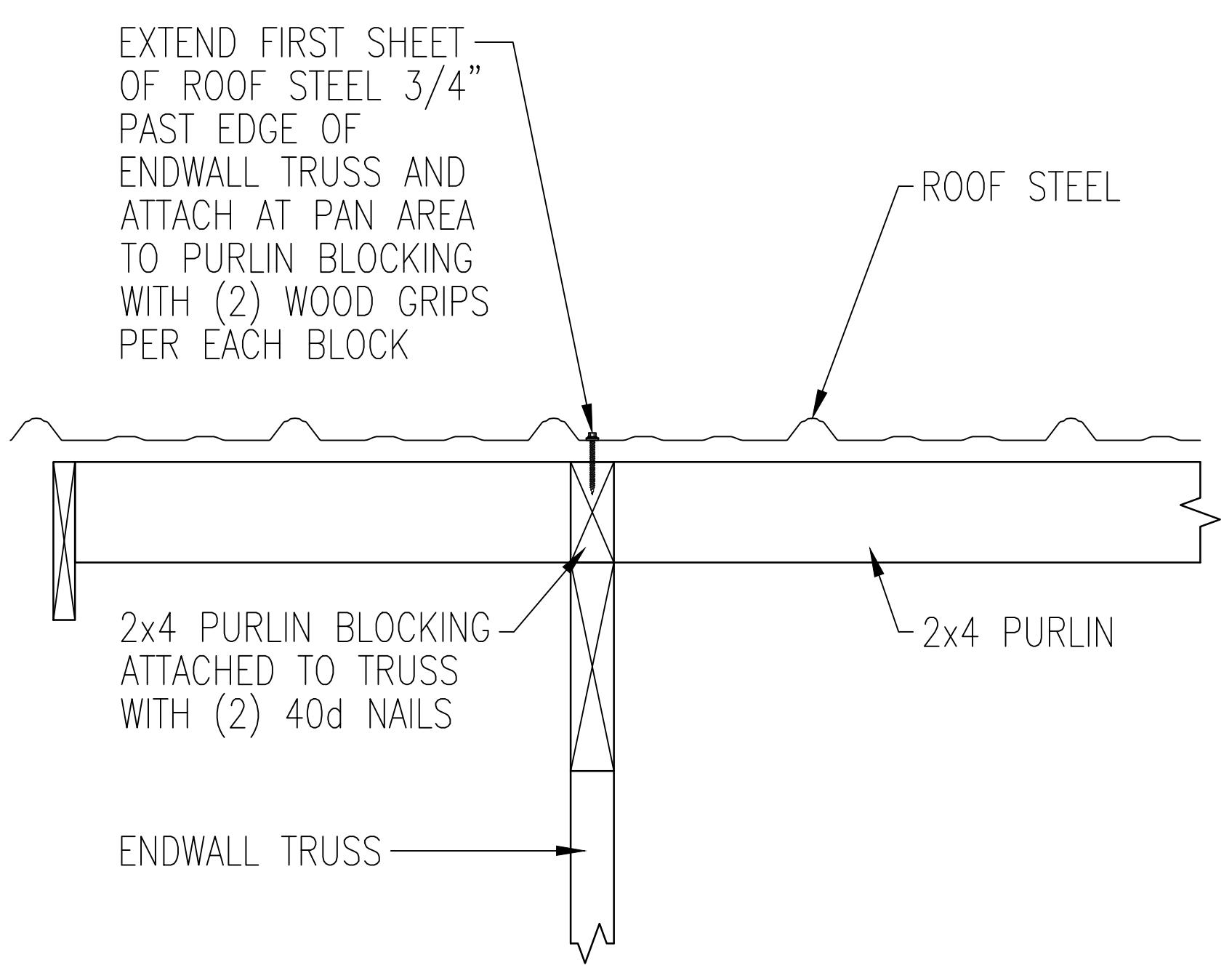
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PLAN REVISIONS:

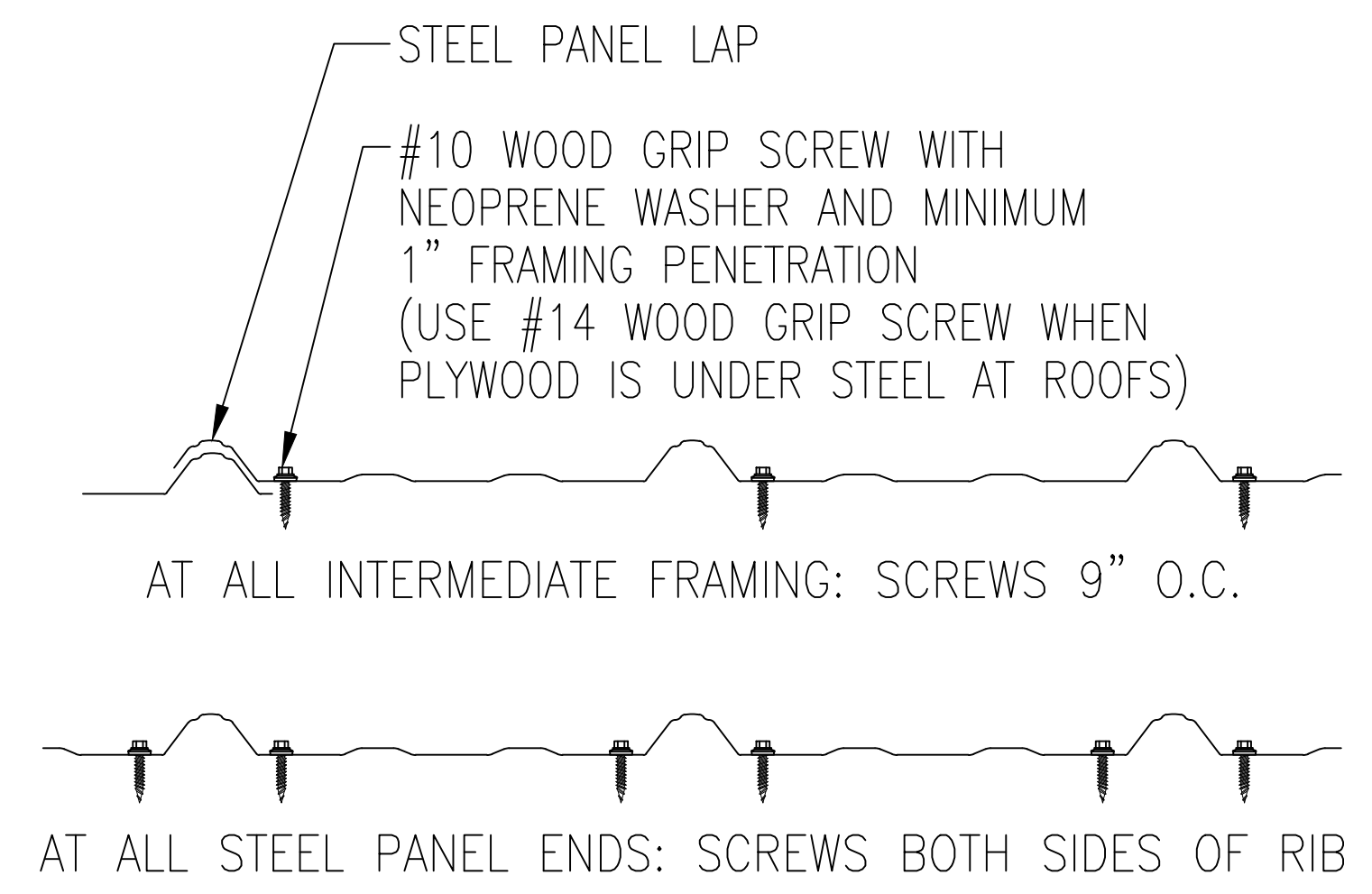
NUMBER	DATE	BY
1		
2		
3		
4		



FLY-RAFTER CONNECTION DETAIL

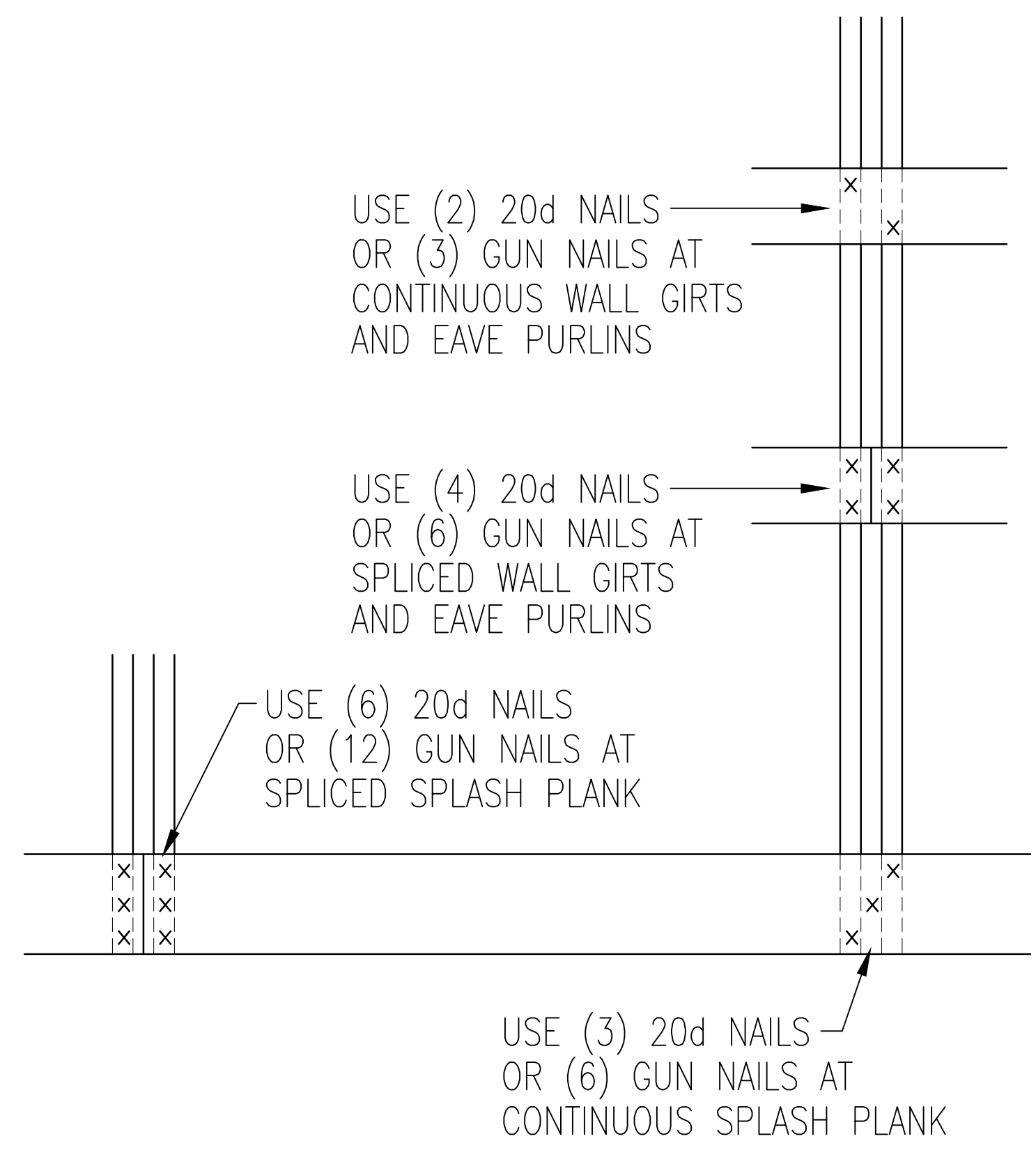


GABLE DETAIL WITH PURLIN EXTENSION



NOTE: PAN NAILS MAY BE SUBSTITUTED FOR PANEL END FASTENERS WHEN CONCEALED BY FLASHING

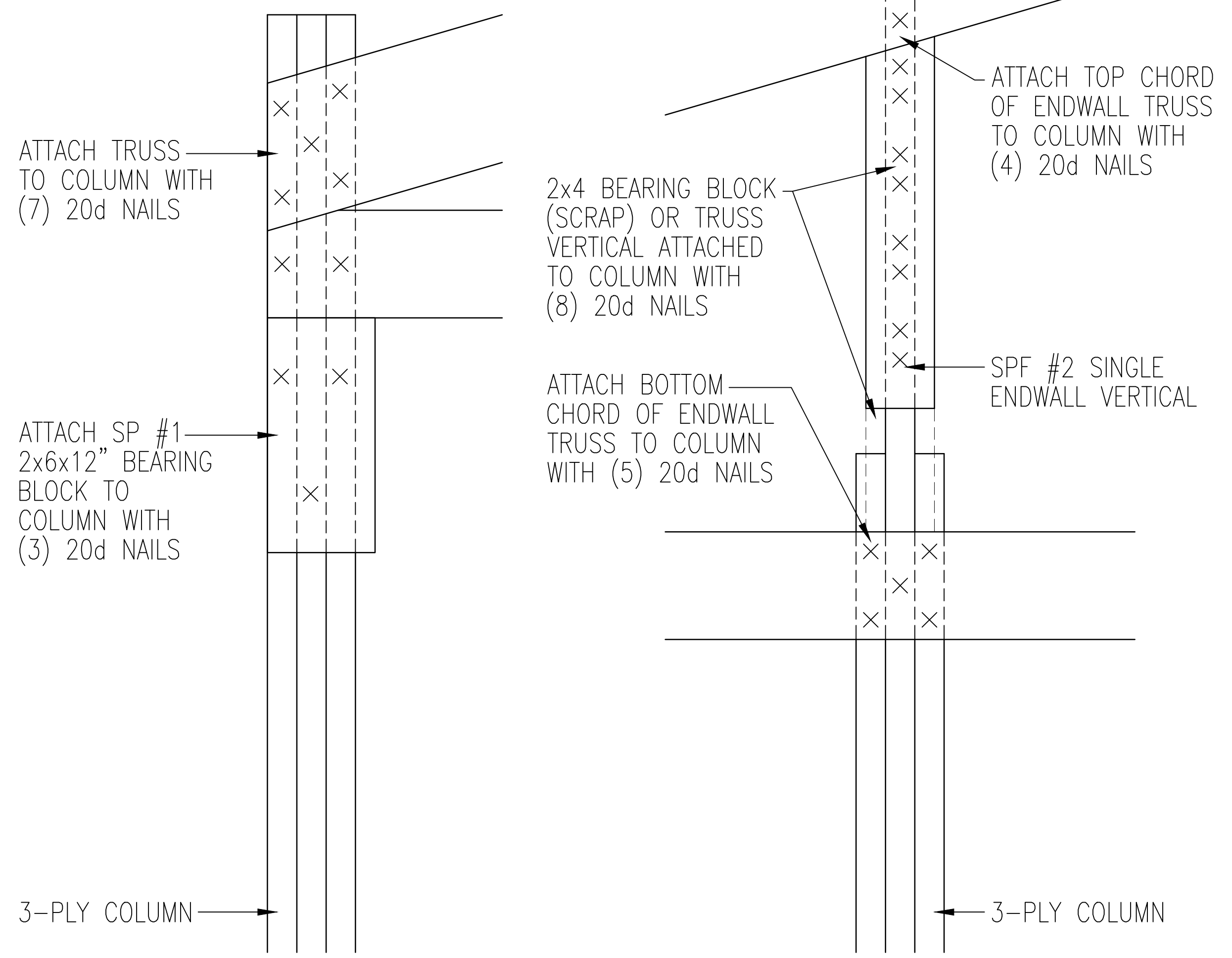
ROOF AND SIDE STEEL ATTACHMENT DETAIL



NOTE: 20d NAILS TO BE RING SHANK HOT DIPPED GALVANIZED GUN NAIL ALTERNATE = 0.131x3 1/2 RS-TLN

NOTE: SPLASH PLANK AT BRACING LOCATIONS REQUIRE ADDITIONAL FASTENERS (SEE BRACING DETAIL SHEET)

STANDARD WALL FRAMING NAILING

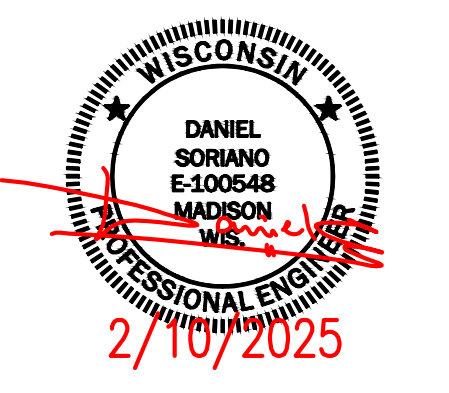


STRUCTURAL ENDWALL TRUSS CONNECTION DETAILS AT BOTH ENDWALLS

PROJECT NAME: **CHAPPA, TYLER**
PROJECT SITE ADDRESS: **1236 N 18TH ST SHEBOYGAN, WI 53083 (SHEBOYGAN)**
BUILDING SIZE: **40' 0" x 60' 0" x 16' 8"**
SHEET NAME: **DIAPHRAGM ACTION AND MISC. DETAILS**

PROJECT NUMBER: **2025100424**
SHEET NUMBER: **150**

PAPER SCALE IS N.T.S.



TRUSS CHECK
(CHECK BOX AND INITIAL)

- TRUSS SIZE NJJ
- ROOF PITCH NJJ
- BAY SPACING NJJ
- SLC / RLC NJJ
- DESIGN LOADS NJJ
- OVERHANGS NJJ



190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: JENKINS

DATE DRAWN: 02/10/25

PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:
CHAPPA, TYLER

PROJECT SITE ADDRESS:
1236 N 18TH ST
SHEBOYGAN, WI 53083 (SHEBOYGAN)

BUILDING SIZE:
40' 0" x 60' 0" x 16' 8"

SHEET NAME:
TRUSS DIAGRAMS

PROJECT NUMBER:
2025100424

SHEET NUMBER:
160

PAPER SCALE IS N.T.S.



SEQN: 136600 FROM: AJY

COMN Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TA39-9PLSC37STNO100C4truss125W

Cust: R 7054 JRef: 1Y7a70540001 T2887

DrwNo: 037.25.1022.03087 / FK 02/06/2025

Loading Criteria (psf)	
TCLL:	37.00
TCDL:	4.00
BCLL:	0.00
BCDL:	1.00
Des Ld:	42.00
NCBCLL:	0.00
Soffit:	2.00
Load Duration:	1.15
Spacing:	120.0"

Wind Criteria	
Wind Std:	ASCE 7-10
Speed:	125 mph
Enclosure:	Closed
Risk Category:	II
EXP:	C Kzt: NA
Mean Height:	20.00 ft
TCDL:	2.4 psf
BCDL:	0.6 psf
MWFRS Parallel Dist:	0 to h/2
C&C Dist a:	3.97 ft
Loc. from endwall:	Any
GCPi:	0.18
Wind Duration:	1.60

Snow Criteria (Pg.Pf in PSF)	
Pg:	47.0
Ct:	1.2
CAT:	II
Pf:	39.5
Ce:	1.0
Lu:	21.0
Cs:	0.94
Snow Duration:	1.15
Building Code:	IBC 2015
TPI Std:	2014
Rep Fac:	No
FT/RT/PT:	20(20)/10(10)/4(0)
Plate Type(s):	
18SS, WAVE, HS	
VIEW Ver:	21.01.01.0429.14

Defl/CSI Criteria	
PP Deflection in loc L/defl L/#	
VERT(LL):	0.815 M 580 240
VERT(CL):	0.930 M 508 240
HORZ(LL):	0.282 I - -
HORZ(TL):	0.322 I - -
VIEW Ver:	21.01.01.0429.14

Maximum Reactions (lbs)	
Loc	R+ / R- / Rh / Rw / U / RL
P	8393 / - / - / 1135 / 2817 / 527
Q	8393 / - / - / 1135 / 2817 / -
W	8393 / - / - / 1135 / 2817 / -
X	8393 / - / - / 1135 / 2817 / -
Y	8393 / - / - / 1135 / 2817 / -
Z	8393 / - / - / 1135 / 2817 / -

Maximum Bot Chord Forces Per Ply (lbs)	
Chords	Tens.Comp. Chords Tens. Comp.
A - B	11110 - 18818 E - F 9354 - 14729
B - C	10715 - 17579 F - G 10758 - 17426
C - D	10758 - 17426 G - H 10716 - 17579
D - E	9354 - 14729 H - I 11111 - 18818

Maximum Web Forces Per Ply (lbs)	
Webs	Tens.Comp. Webs Tens. Comp.
B - O	1305 - 1729 E - L 4689 - 2347
O - D	1629 - 1197 L - F 2395 - 4655
D - M	2395 - 4655 F - J 1629 - 1197
M - E	4689 - 2347 J - H 1305 - 1729

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING!**

IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have continuous lateral restraint (CLR), installed with diagonal bracing installed on the CLR per BCSI sections B3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-Z for standard plate positions. Refer to job's General Notes page for additional information.

Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.

For more information see these web sites: Alpine: alpineitw.com, TPI: tpinet.org, SBCA: sbcacomponents.com, ICC: iccsafe.org, AWC: awc.org

155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025

SEQN: 136621 FROM: AJY

GABL Ply: 1 Qty: 1

Job Number: 2025100424

Truss Label: TB39-9SEW4WO-H12HEEL125W

Cust: R 7054 JRef: 1Y7a70540001 T2891

DrwNo: 037.25.1023.12560 / FK 02/06/2025

Loading Criteria (psf)	
TCLL:	37.00
TCDL:	4.00
BCLL:	0.00
BCDL:	1.00
Des Ld:	42.00
NCBCLL:	0.00
Soffit:	2.00
Load Duration:	1.15
Spacing:	72.0"

Wind Criteria	
Wind Std:	ASCE 7-10
Speed:	125 mph
Enclosure:	Closed
Risk Category:	II
EXP:	C Kzt: NA
Mean Height:	20.00 ft
TCDL:	2.4 psf
BCDL:	0.6 psf
MWFRS Parallel Dist:	0 to h/2
C&C Dist a:	3.97 ft
Loc. from endwall:	Any
GCPi:	0.18
Wind Duration:	1.60

Snow Criteria (Pg.Pf in PSF)	
Pg:	47.0
Ct:	1.2
CAT:	II
Pf:	39.5
Ce:	1.0
Lu:	21.0
Cs:	0.94
Snow Duration:	1.15
Building Code:	IBC 2015
TPI Std:	2014
Rep Fac:	No
FT/RT/PT:	20(20)/10(10)/4(0)
Plate Type(s):	
HS, WAVE, 18SS	
VIEW Ver:	21.01.01.0429.14

Defl/CSI Criteria	
PP Deflection in loc L/defl L/#	
VERT(LL):	0.215 M 911 240
VERT(CL):	0.245 M 799 240
HORZ(LL):	0.103 H - -
HORZ(TL):	0.117 H - -
VIEW Ver:	21.01.01.0429.14

Maximum Reactions (lbs)	
Loc	R+ / R- / Rh / Rw / U / RL
Q	1892 / - / - / 251 / 471 / 317
R	- / -66 / - / 31 / 2 / -
S	1048 / - / - / 199 / 506 / -
T	628 / - / 0 / 100 / 138 / -
U	2142 / - / - / 1293 / 578 / -
V	661 / - / 0 / 103 / 153 / -
W	2214 / - / - / 297 / 809 / -
X	- / -92 / - / 28 / - / -
Y	789 / - / - / 133 / 352 / -
Z	- / -158 / - / 31 / 17 / -
Q	1892 / - / - / 251 / 471 / 317
R	- / -66 / - / 31 / 2 / -
S	1048 / - / - / 199 / 506 / -
T	628 / - / 0 / 100 / 138 / -
U	2142 / - / - / 1293 / 578 / -
V	661 / - / 0 / 103 / 153 / -
W	2214 / - / - / 297 / 809 / -
X	- / -92 / - / 28 / - / -
Y	789 / - / - / 133 / 352 / -
Z	- / -158 / - / 31 / 17 / -

Maximum Top Chord Forces Per Ply (lbs)	
Chords	Tens.Comp. Chords Tens. Comp.
A - B	3077 - 5846 F - G 3673 - 5617
B - C	1717 - 2685 G - H 1676 - 2672
C - D	3730 - 5629 H - W 1640 - 2861
D - E	2094 - 2903 H - I 2684 - 5777
E - F	2078 - 2904

Maximum Bot Chord Forces Per Ply (lbs)	
Chords	Tens.Comp. Chords Tens. Comp.
A - P	5249 - 2076 L - K 2621 - 1037
P - O	5242 - 2072 K - J 5242 - 2074
O - N	2621 - 1036 J - V 2625 - 1040
N - M	2616 - 1032 J - I 5250 - 2080
M - L	2616 - 1032

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING!**

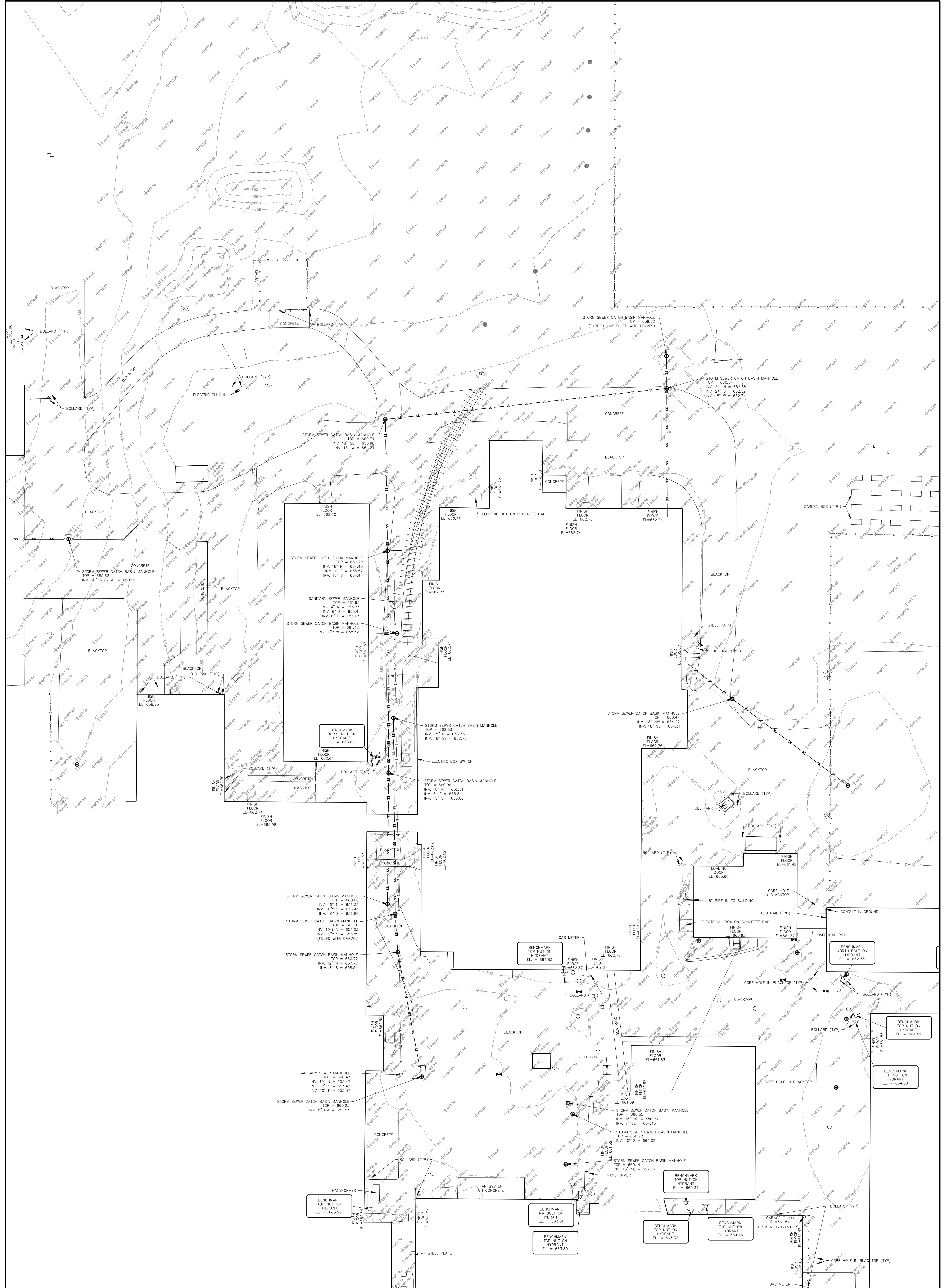
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For more information see these web sites: Alpine: alpineitw.com, TPI: tpinet.org, SBCA: sbcacomponents.com, ICC: iccsafe.org, AWC: awc.org

155 Harlem Ave
North Building, 4th Floor
Glenview, IL 60025



TOPOGRAPHIC SURVEY
 FOR: ABACUS ARCHITECTS
 1135A MICHIGAN AVENUE
 SHEBOYGAN, WI 53081
 PART OF THE NW 1/4, SECTION 22, T15N, R23E,
 CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

Revisions:

100 South 10th Street
 Oostburg, WI 53070
 920-547-0999

CEDAR CREEK SURVEYING, LLC
 ENGINEERS • SURVEYORS • DRAFTERS
www.cedarcreeksurveying.com

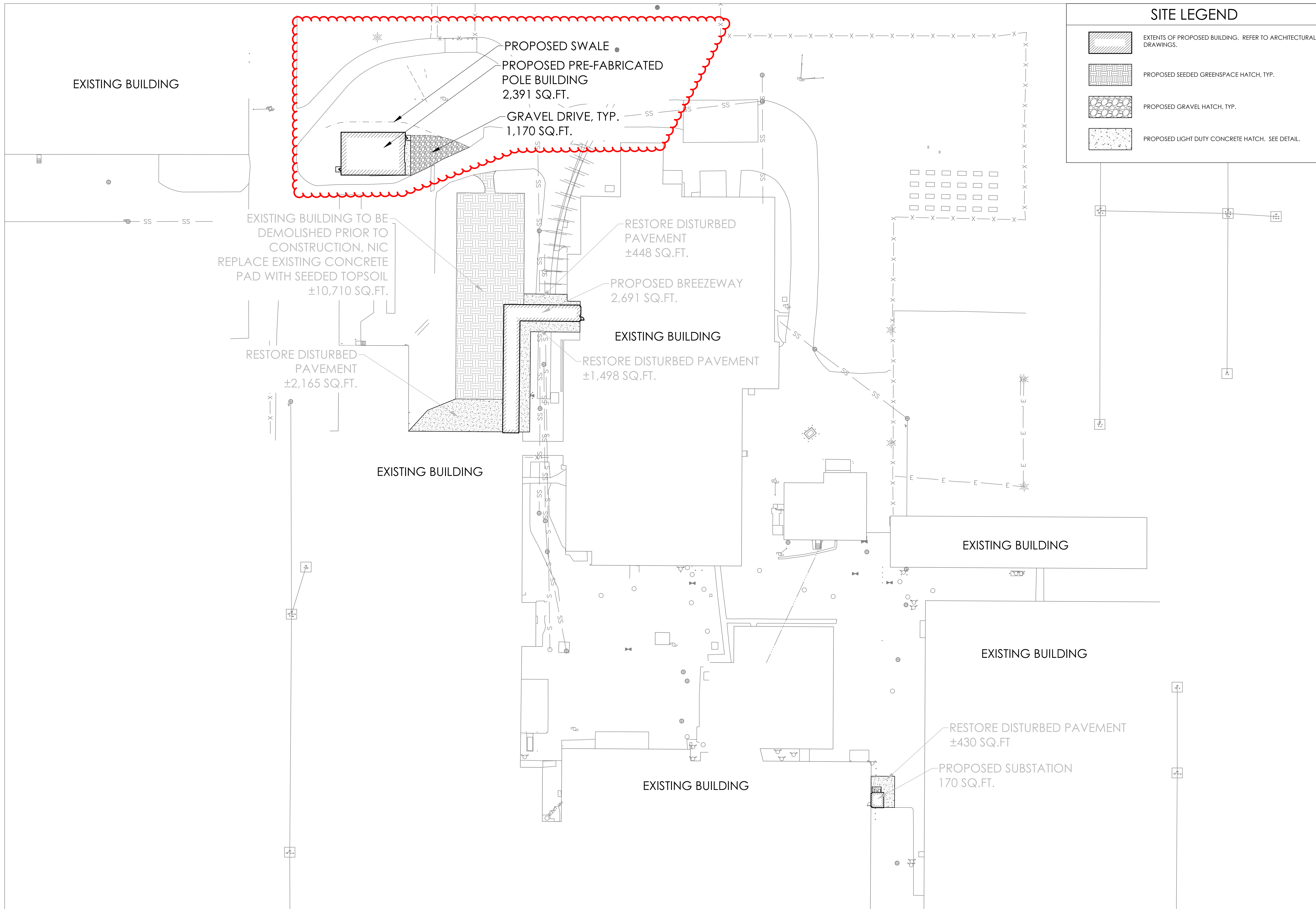
FILE No.: 2025015 DATE: 2/17/2025 PAGE: 1 OF 1

LEGEND

- = Power Pole
- = Light Pole
- = Guy Wire
- = Water Valve
- = Hydrant
- = Manhole
- = Catch Basin Manhole
- = Electric Line
- = Electric Overhead Line
- = Storm Sewer Line
- = Fence

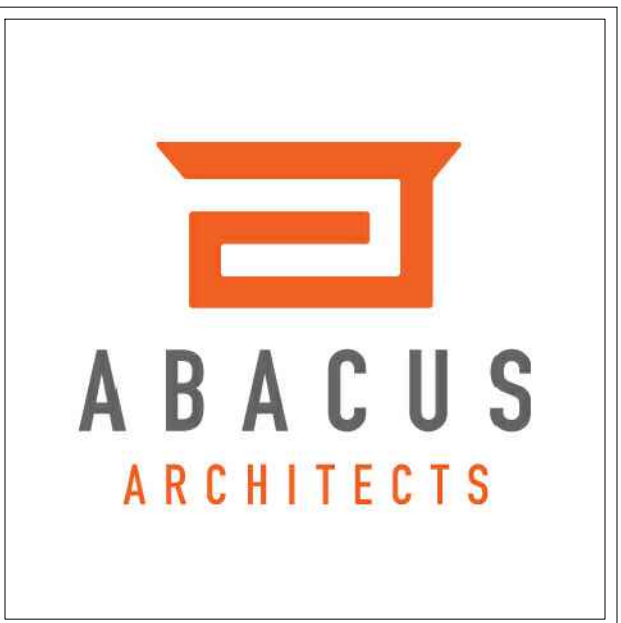
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P:\2025-CONTRACTS\2025-009_1_Vollrath Remodel\Phase - 2\Construction Documents\3_Site\2025-9_1 - Rose.dwg
February 17, 2025



SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED SEEDED GREENSPACE HATCH, TYP.
- PROPOSED GRAVEL HATCH, TYP.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.



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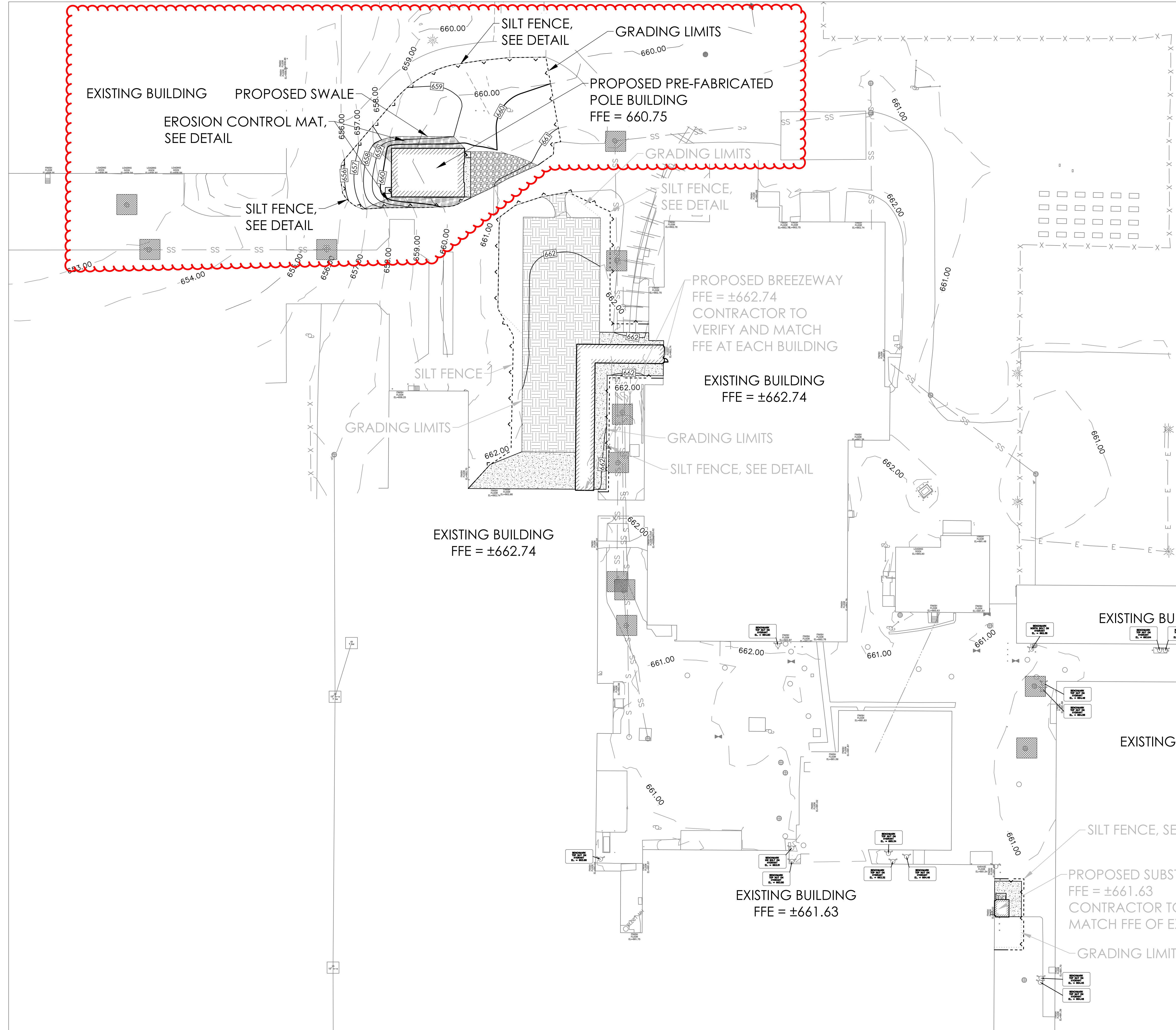
ISSUE DATE: FEBRUARY 17th, 2025
 FACILITIES RENOVATION FOR:
VOLLRATH COMPANY LLC
 1236 NORTH 18th STREET, SHEBOYGAN, WI 53081
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: MBS
 CHECKED BY: JRV

SITE PLAN
A
200
 PROJ. NO. 2025-009.1

SITE PLAN
 SCALE: 1"=40'

P:\2025-CONTRACTS\2025-009_1_Vollrath Remodel\Phase - 2\Construction Documents\3_Site\2025-9_1 - Rose.dwg
February 17, 2025



GRADING LEGEND

- 595 — PROPOSED CONTOUR
- 595 - EXISTING CONTOUR
- ⊕ 595.00 PROPOSED SPOT ELEVATION
- ⊕ 595.00± MATCH EXISTING ELEVATION
- ⊕ TC 595.00 PROPOSED TOP OF CURB ELEVATION
- ⊕ BC 595.50 PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND

- [Cross-hatched box] EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
- [Dashed line] PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
- [Stippled box] INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL



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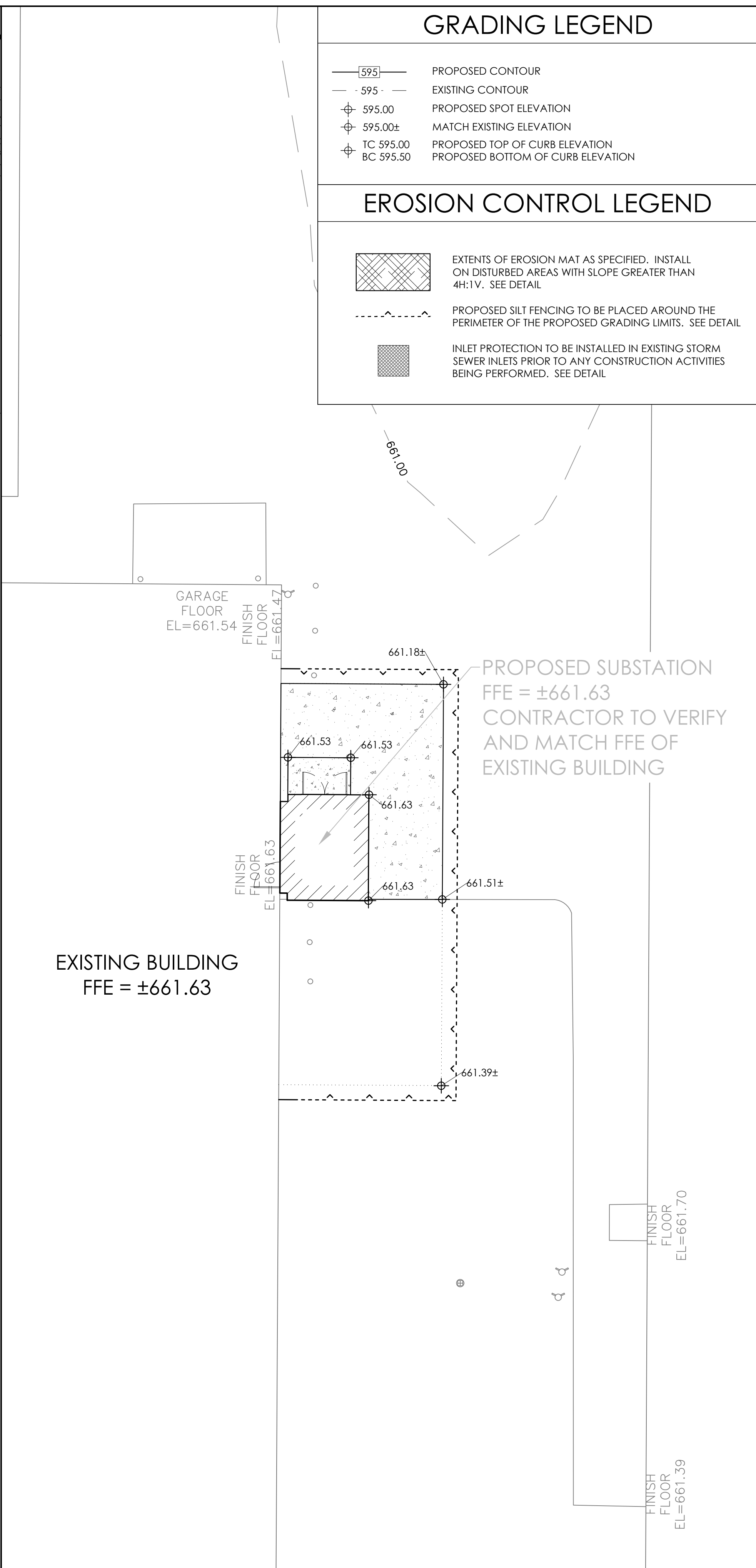
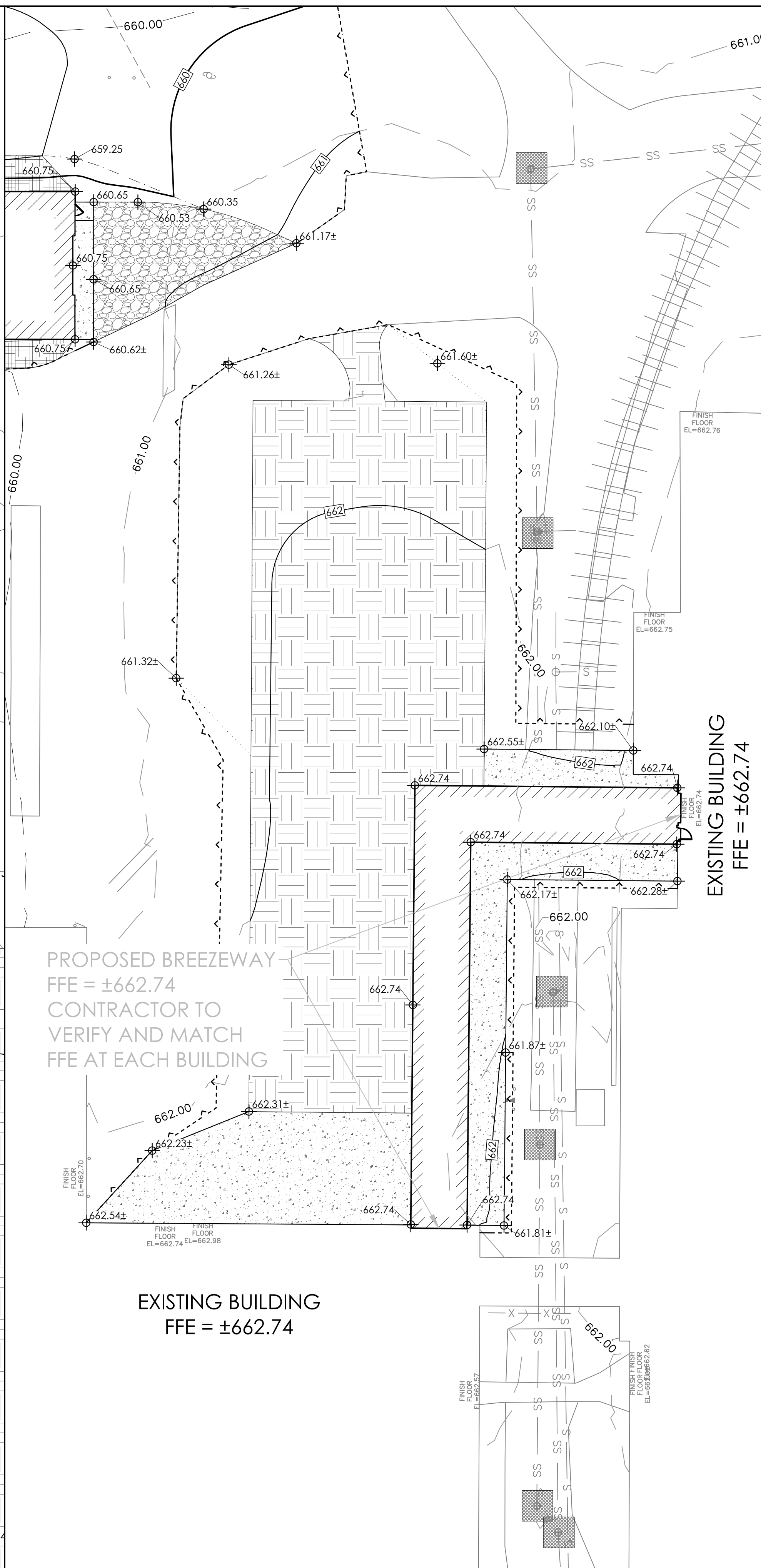
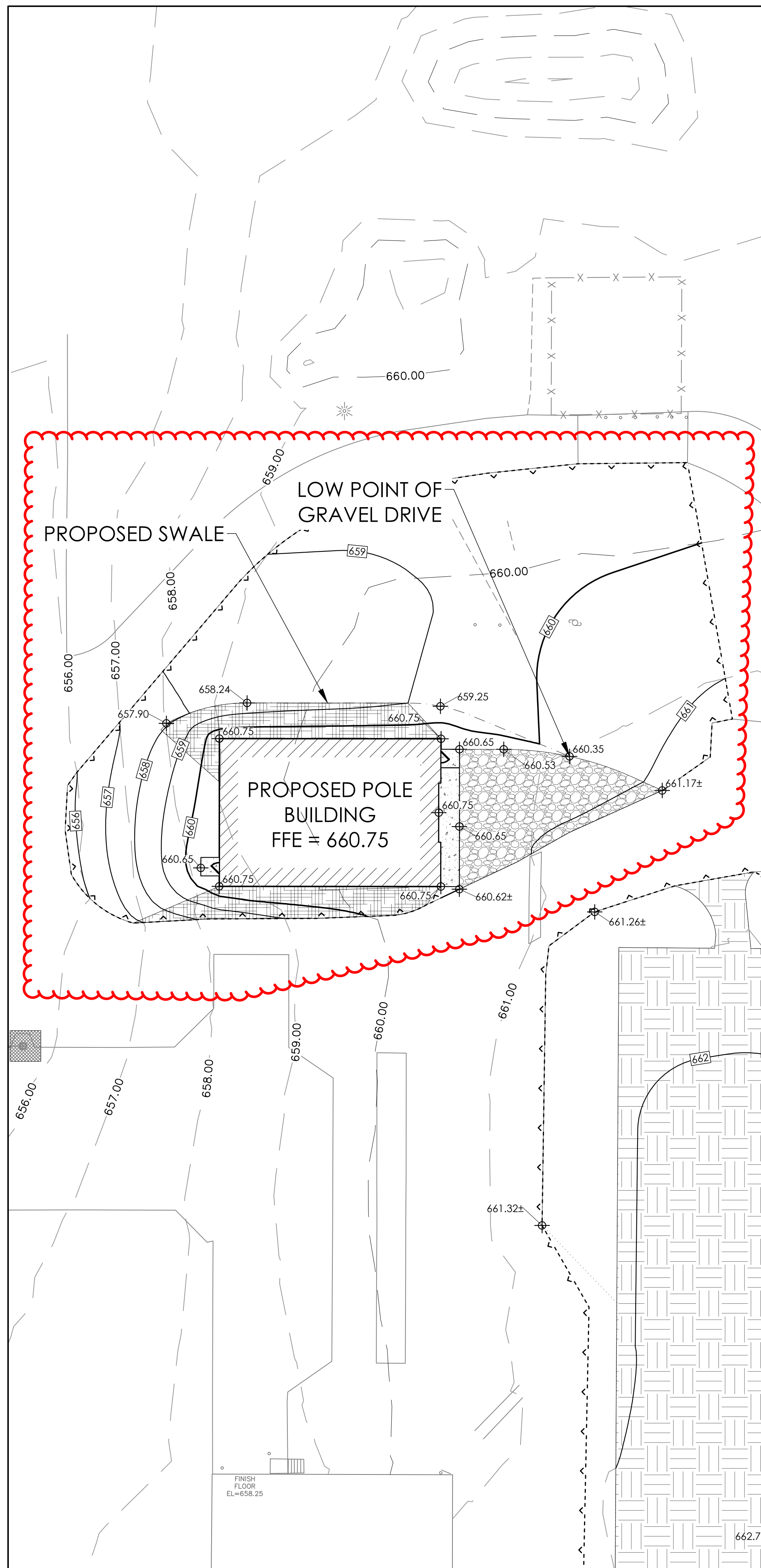
OVERALL GRADING PLAN

A 201

PROJ. NO. 2025-009.1

OVERALL GRADING PLAN
 SCALE: 1"=40'

February 17, 2025
P:\2025-CONTRACTS\2025-009_1_Vollrath Brezeway, Pole Building, Sub Station, Bldg 8, Building 19 Toilet Remodel\Phase - 2\Construction Documents\3.3 Site\2025-9_1_Rose.dwg



GRADING LEGEND	
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED SPOT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND	
	EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
	PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
	INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL



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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920.452.4444 | 640 N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

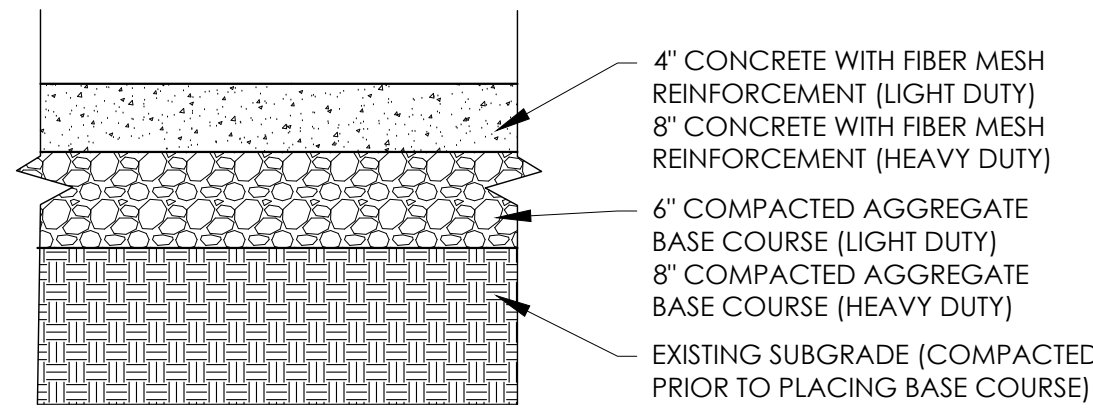
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COMPONENT GRADING PLAN

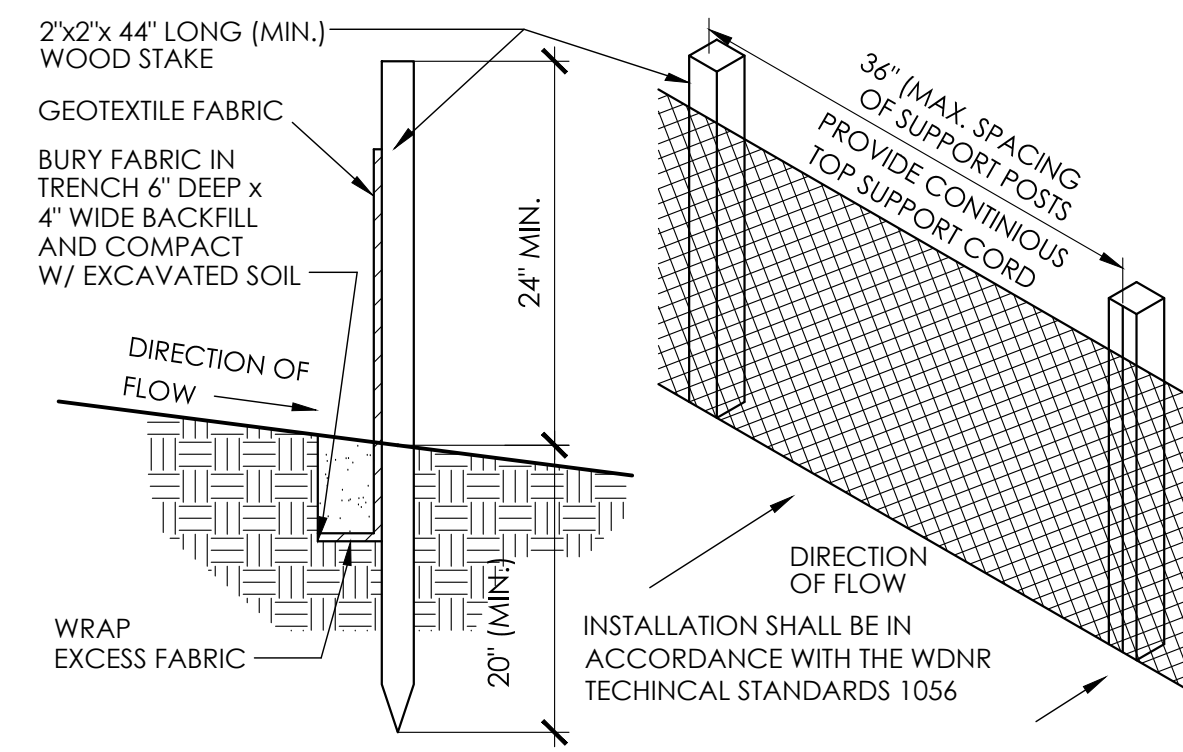
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PROJ. NO. 2025-009.1

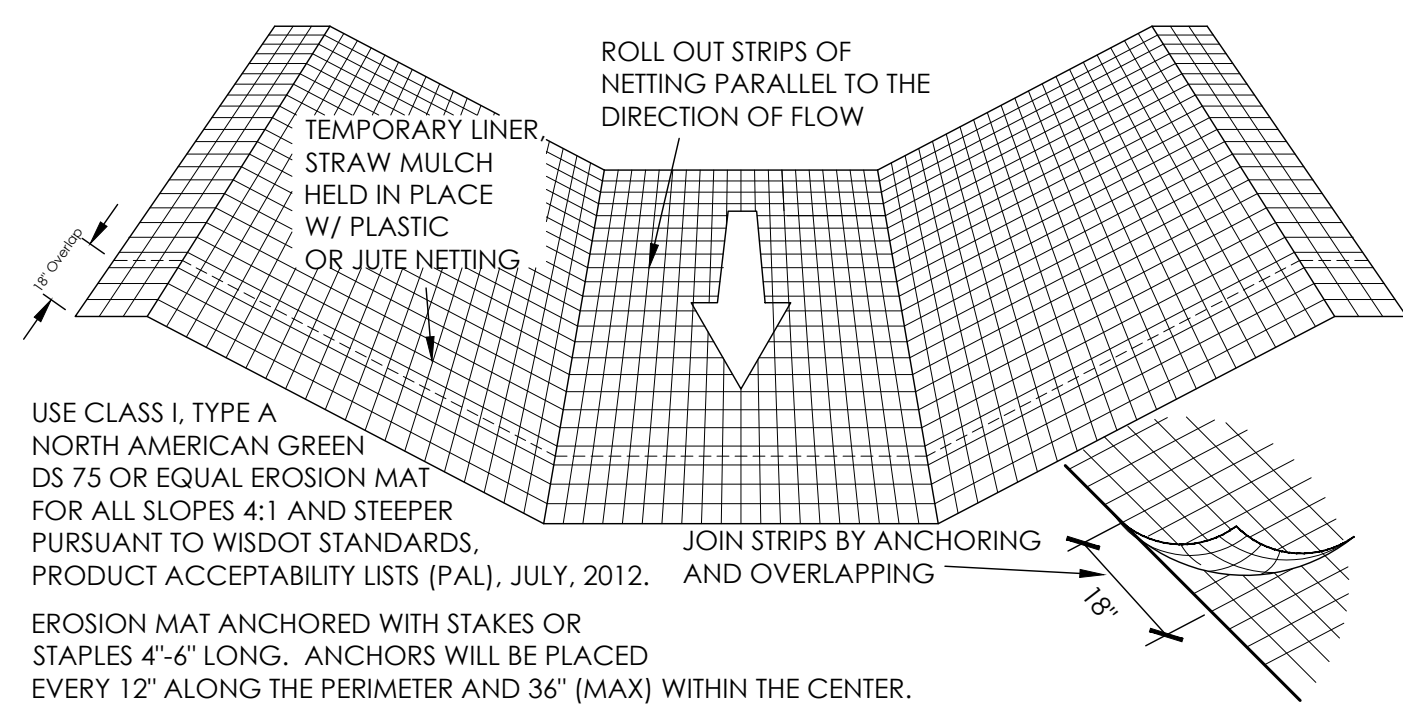




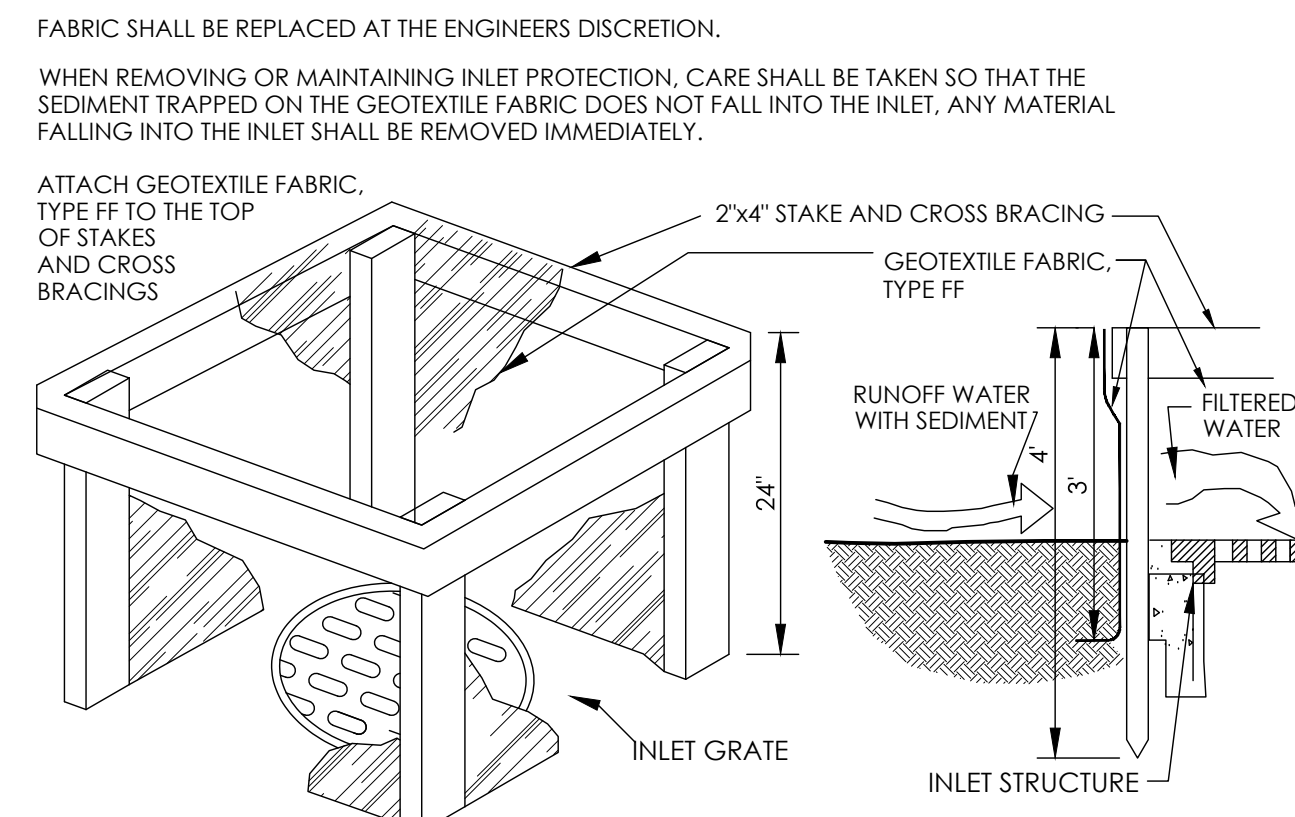
CONCRETE PAVEMENT CROSS SECTION



SILT FENCE SECTION & DETAIL

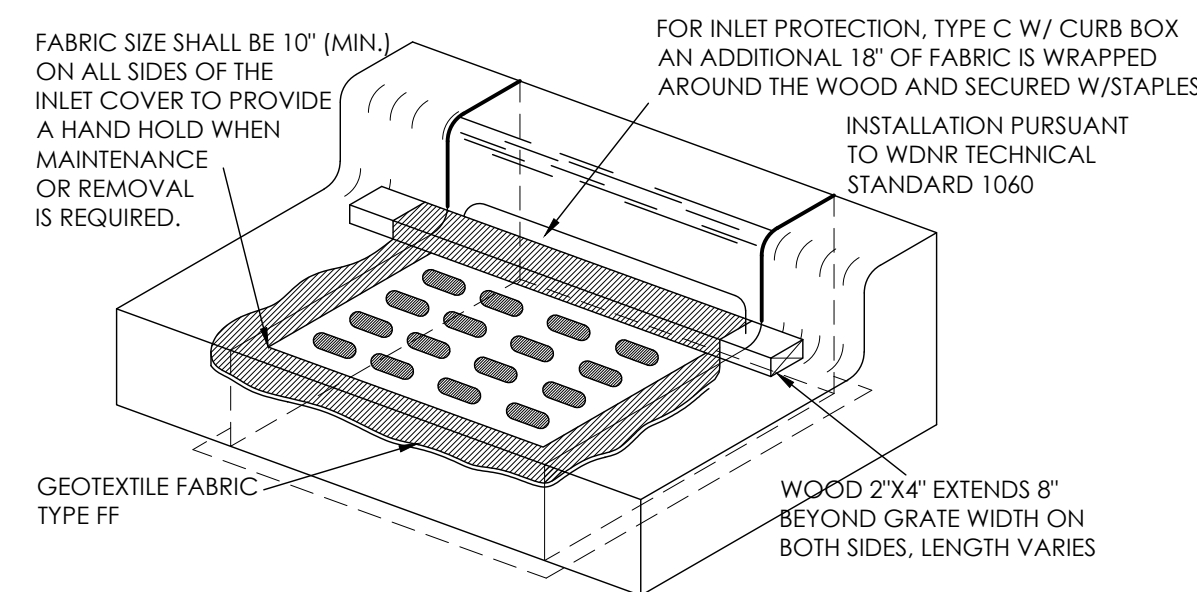


EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060



INLET PROTECTION, TYPE 'C'

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



REVISIONS:

DATE	ISSUE

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FACILITIES RENOVATION FOR:

VOLLRATH COMPANY LLC

1236 NORTH 18th STREET, SHEBOYGAN, WI 53081

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DRAWN BY: MBS

CHECKED BY: JRV

CIVIL DETAILS

A 203

CIVIL DETAILS

PROJ. NO. 2025-009.1



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DATE	ISSUE	

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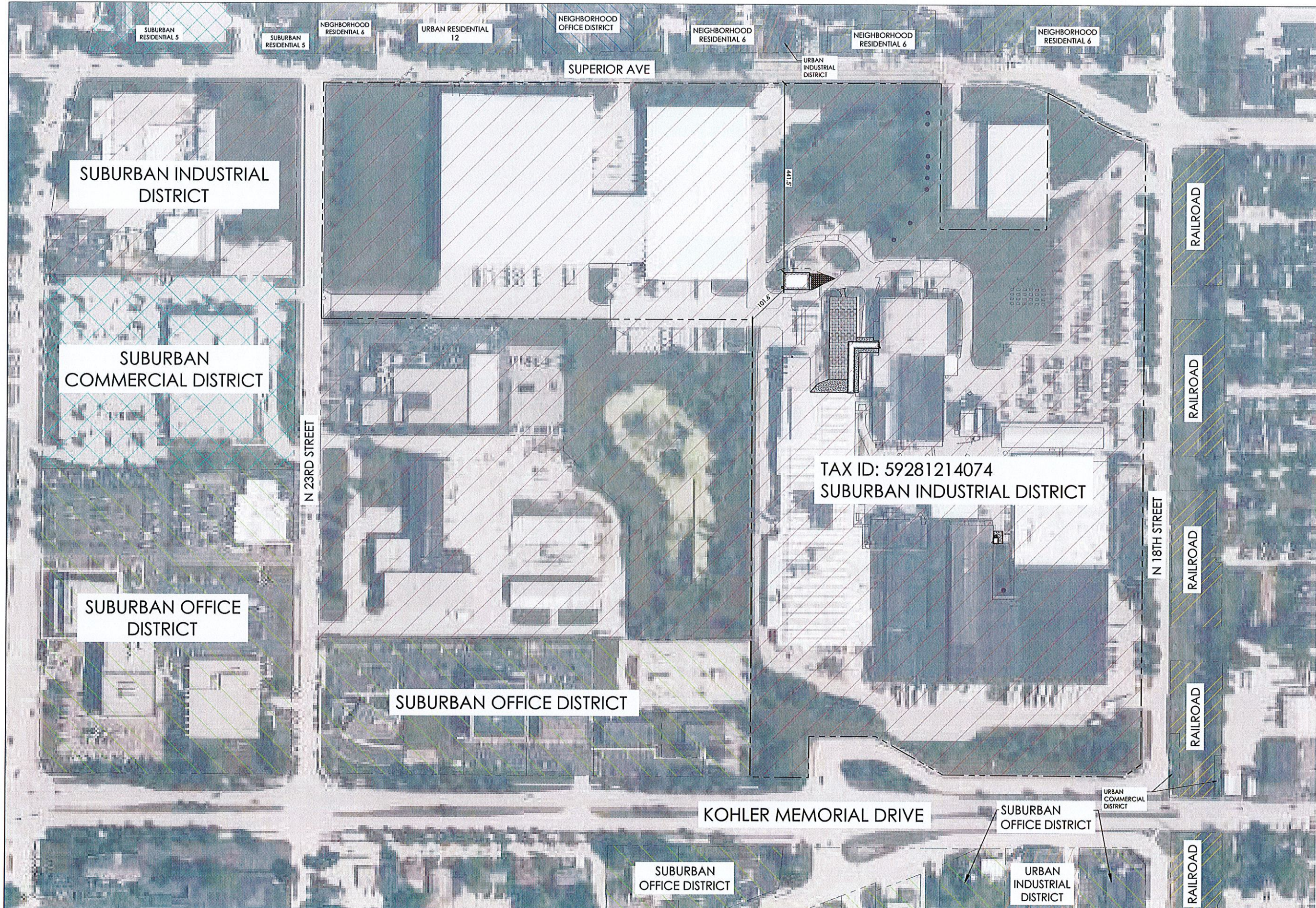
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 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE WI 53203

DRAWN BY: MBS
 CHECKED BY: JRV

ADJACENT LAND INFORMATION

A
EX1

PROJ. NO. 2025-009.1



ADJACENT LAND INFORMATION
 SCALE: 1"=100'

