

CITY PLAN COMMISSION AGENDA March 12, 2024 at 4:00 PM

City Hall, 3rd Floor - Council Chambers, 828 Center Avenue, Sheboygan, WI

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

- 1. Roll Call
- 2. Pledge of Allegiance
- 3. Identify potential conflict of interest

MINUTES

4. Approval of the Plan Commission minutes from February 27, 2024.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- 5. General Development Plan by A.C.E. Building Services, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue (Parcels 59281425440, 59281425550, and 59281425510). Urban Industrial with Planned Unit Development Overlay Zone.
- 6. Precise Implementation Plan by A.C.E Building Services, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue (Parcels 59281425440, 59281425550, and 59281425510). Urban Industrial with Planned Unit Development Overlay Zone.

NEXT MEETING

7. March 26, 2024

ADJOURN

8. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

City Hall • Mead Public Library Sheboygan County Administration Building • City's website

CITY OF SHEBOYGAN

CITY PLAN COMMISSION MINUTES

Tuesday, February 27, 2024

MEMBERS PRESENT: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

EXCUSED: Braden Schmidt

STAFF/OFFICIALS PRESENT: Associate Planner Ellise Rose and Director of Planning & Development Diane McGinnis Casey

OPENING OF MEETING

1. Roll Call

Mayor Sorenson called the meeting to order at 4pm.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Identify potential conflict of interest

No committee member had a conflict.

MINUTES

4. Approval of the Plan Commission minutes from February 13, 2024.

MOTION TO APPROVE

Motion made by Jerry Jones, seconded by Kimberly Meller. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

PUBLIC HEARING

5. Public Hearing regarding the proposed creation of Tax Incremental District No. 21, the proposed boundaries of the District, and the proposed Project Plan for the District.

Bryan Kelly, Dr. Toby Watson, Darrel Hofland, Kristine Balazs and Tom Liebl spoke.

6. Public Hearing regarding the proposed creation of Tax Incremental District No. 22, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

7. Public Hearing regarding the proposed creation of Tax Incremental District No. 23, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

8. Public Hearing regarding the proposed creation of Tax Incremental District No. 24, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

9. Public hearing regarding application for Conditional Use Permit with exceptions by Richard Sadiq to locate and operate a Chester's food truck at the Blast Soft Serve property located at 406 Pennsylvania Avenue.

Darrel Hofland spoke. MOTION TO CLOSE ALL THE PUBLIC HEARINGS. Motion made by Jerry Jones, seconded by Alderperson Trey Mitchell. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

10. Application for Conditional Use Permit with exceptions by Richard Sadiq to locate and operate a Chester's food truck at the Blast Soft Serve property located at 406 Pennsylvania Avenue.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS: Motion made by Jerry Jones, seconded by Alderperson Trey Mitchell. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

- 1. Applicant will be required to meet and/or obtain all codes, requirements, licenses, etc. to operate the food truck including but not limited to building, electrical, plumbing, HVAC, fire, health, food, vendors, etc.
- 2. Applicant shall obtain all necessary County Health Department licenses/permits to operate the food truck.
- 3. Food truck shall not obstruct pedestrian or vehicular circulation, including vehicular sight distances (vision triangle requirements of Section 15.703 of the City of Sheboygan Zoning Ordinance).
- 4. No portion of the operation shall take place upon the City of Sheboygan public right-of-way or on adjacent properties operation shall remain on the private property.
- 5. This conditional use permit is for Chester's only. No other temporary use is permitted to operate from the site. This conditional use permit is not transferable and any future food truck proposal would be required to obtain a conditional use permit to operate from this property.
- 6. If the applicant wishes to operate from the City public right-of-way or from another private commercial property they will need to obtain the necessary permits/approvals to do so.
- 7. Applicant shall adequately monitor/regulate and maintain this property.
- 8. In no instance shall the food stand create a nuisance for neighboring properties (noise, hours of operation, garbage, etc.). If any issues arise, the Plan Commission may again review the conditional use permit.
- 9. If there are any amendments to the approved plans, the applicant will be required to submit a new conditional use application reflecting those amendments.
- 10. Food trailer to close at 10pm and operating from April through October
- 11. No amplified speakers
- 12. Signage limited to the wall sign
- 13. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.).

Exceptions granted:

• To operate the food truck permanently from the site

11. Gen. Ord. No. 41-23-24 by Alderperson Mitchell amending the City of Sheboygan Official Zoning Map the Sheboygan Zoning Ordinance to change the Use District Classification for property located around 1828 Oakland Avenue including Parcel Nos. 59281425440, 59281425550, and 59281425510 from Class Urban Industrial (UI) to Class Urban Industrial (UI) with PUD overlay Classification.

MOTION TO RECOMMEND THE COMMON COUNCIL ADOPT THE ORDINANCE. Motion made by Ryan Sazama, seconded by Marilyn Montemayor. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

12. R. O. No. 108-23-24 by City Clerk submitting an application for amendment of the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance for property located around 1828 Oakland Avenue including Parcel Nos. 59281425440, 59281425550, and 59281425510 from Class Urban Industrial (UI) to Class Urban Industrial (UI) with PUD Overlay Classification.

MOTION TO RECOMMEND THE COMMON COUNCIL FILE THE R. O. Motion made by Alderperson Trey Mitchell, seconded by Jerry Jones. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

13. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 21.

MOTION TO APPROVE THE FOLLOWING RESOLUTION: Motion made by Ryan Sazama, seconded by Marilyn Montemayor. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 21

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 21 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore

Technical College District, and any other entities having the power to levy taxes on property local within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the to owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

- 1. It recommends to the Common Council that Tax Incremental District No. 21 be created with boundaries as designated in Exhibit A of this Resolution.
- 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
- 3. Creation of the District promotes orderly development in the City.
- 14. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 22.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Marilyn Montemayor, seconded by Alderperson Trey Mitchell. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 22

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 22 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

- 1. It recommends to the Common Council that Tax Incremental District No. 22 be created with boundaries as designated in Exhibit A of this Resolution.
- 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
- 3. Creation of the District promotes orderly development in the City.
- 15. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 23.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Jerry Jones, seconded by Kimberly Meller.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 23

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 23 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the to owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

- 1. It recommends to the Common Council that Tax Incremental District No. 23 be created with boundaries as designated in Exhibit A of this Resolution.
- 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
- 3. Creation of the District promotes orderly development in the City.
- 16. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 24.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Marilyn Montemayor, seconded by Kimberly Meller. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 24

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 24 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the to owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

- It recommends to the Common Council that Tax Incremental District No. 24 be created with boundaries as designated in Exhibit A of this Resolution.
- 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
- 3. Creation of the District promotes orderly development in the City.

NEXT MEETING

17. March 12, 2024

The next meeting is scheduled to be held on March 12, 2024.

ADJOURN

18. Motion to Adjourn

MOTION TO ADJOURN AT 5:19 PM. Motion made by Ryan Sazama, seconded by Jerry Jones. Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: General Development Plan by A.C.E Building Service, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Program Assistant

REPORT	DATE:	March 5	, 2024
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MEETING DATE: March 12, 2024

FISCAL SUMMARY:

Budget Line Item:N/ABudget Summary:N/ABudgeted Expenditure:N/ABudgeted Revenue:N/A

STATUTORY REFERENCE:

Wisconsin N/A Statutes: Municipal Code: N/A

BACKGROUND / ANALYSIS:

The Plan Commission will be reviewing the HTT, Inc. General Development Plan (GDP) for property located at parcels 59281425440, 59281425550, and 59281425510.

The applicant states the following about the HTT, Inc. project:

- This project will be a 32,075 square foot expansion of HTT, Inc. to the west of the existing building.
- Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project.
- Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion.
- The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.9%. Proposed building area is 48.9%.
- A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

- The proposed expansion site will occupy the recently vacated S. 19th Street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southwest and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others.
- Drive access to the expansion will be provided from Oakland Ave. No access will be provided from Union Ave.
- The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.
- Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland Ave., relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

Requested exceptions from the underlying zoning district:

- An exception to Section 105-530(b)(3) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to nonresidential rear/front lot line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.
- An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive. Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.
- An exception to the landscape points required and to the required location of said plantings. The plan that has been submitted has been approved with the following notes: The new trees to be planted on parcel # 59281425650 located south of Oakland Avenue are to be used for the addition to the west side of the existing building located at 1828 Oakland Avenue and cannot be used towards points of the future development of parcel # 59281425650.

STAFF COMMENTS:

The surrounding neighborhood zoning is:

- The properties to the east are zoned Railroad (RR).
- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential-6 (NR-6).
- The properties to the south are zoned Urban Industrial.
- The properties to the west are zoned Urban Industrial.

ACTION REQUESTED:

Staff recommends approval of the HTT General Development Plan subject to the following conditions:

- 1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
- 2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
- 3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
- 4. Submittal and approval of a landscape plan prior to building permit issuance. Landscaping shall be installed prior to occupancy.
- 5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
- 6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
- 7. All areas used for parking/maneuvering of vehicles shall be paved prior to issuance of an occupancy permit.
- 8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
- 9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
- 10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
- 11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
- 12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
- 13. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
- 14. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
- 15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
- 16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. Nothing shall be located on the City Union Avenue public right-of-way. It is up to the applicant to ensure that all of the construction

takes place on their private property and not in the City right-of-way.

- 17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
- 18. If there are any amendments to the approved GDP (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new GDP application reflecting those amendments.

ATTACHMENTS:

General Development Plan and required attachments.

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Sheboygan spirit on the lake

APPLICATION FOR CONDITIONAL USE

Fee:	\$250.00

Review Date: _____

Zoning: ____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Infor	mation				
Applicant Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.	Authorized Represe Eric Augustine	entative	Title Estimator	/Project Ma	ınager
Mailing Address 3510 S. 26th Street	City Manitowoc		State Wl		ZIP Code 54220
Email Address eaugustine@acebuildingservice.com		Phone Number (inc 920-682-6105	l. area coc	le)	
SECTION 2: Landowner Information (c	omplete these fields	when project site o	wne <mark>r i</mark> s di	fferent tha	an applicant)
Applicant Name (Ind., Org. or Entity) HTT, Inc.	Contact Person Bob Lischka		Title Senior Ma	anager - Sup	oply Chain
Mailing Address 1828 Oakland Ave	City Sheboygan		State WI		ZIP Code 53081
Email Address blischka@htt-inc.com		Phone Number (inc 920-453-5370	l. area coc	le)	
SECTION 3: Project or Site Location					
Project Address/Description 1828 Oakland Ave., Sheboygan, WI 53081			Parcel No 59281425		
SECTION 4: Proposed Conditional Use					
Name of Proposed/Existing Business:	HTT, Inc.				·
Existing Zoning:	Urban Industrial (UI)				· <u> </u>
Present Use of Parcel:	Industrial	·= ·=···			
Proposed Use of Parcel:	Industrial				
Present Use of Adjacent Properties:	Industrial				
SECTION 5: Certification and Permission	on				
Certification: I hereby certify that I am the subject of this Permit Application. I accurate. I certify that the project will I with any or all of the provisions of the provisions of applicable laws.	certify that the info be in compliance wit	rmation contained in h all permit conditior	this form ns. I under	and attach stand that	hments is true and failure to comply
Permission: I hereby give the City pern				able times,	to evaluate this
notice and application, and to determin			coverage.	<u>.</u>	
Name of Owner/Authorized Represent Eric Augustine	ative (please print)	Title Estimator/Project Ma	anager	Phone Nu 920-682-	
Signature of Applicant			Date Sigr	ned	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.



City of Sheboygan **Plan Commission** 828 Center Avenue Sheboygan, WI 53081

PUD General Development Plan and Precise Implementation Plan Narrative

Project Location: HTT, Inc. 1828 Oakland Ave. Sheboygan, WI 53081

Existing Parcels 59281425440, 59281425550, and 59281425510

Description: Part of Blocks 4 & 5, Including vacated alleys and adjacent S. 19th Street, Located in the NE ¼ of the NW ¼ of Section 34, Town 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.

Zoning: Urban Industrial (UI)

Applicant:

A.C.E. Building Service, Inc. 3510 S. 26th Street Manitowoc, WI 54220 Contact: Eric Augustine

Property Owner:

HTT, Inc. 1828 Oakland Ave Sheboygan, WI 53081 Contact: Bob Lischka

Project Description:

32,075 square foot expansion of HTT, Inc. to the west of the existing building.

General project themes and images:

Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project. See attached renderings of the proposed addition.

The general mix of dwelling unit types or land uses:

Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion



Approximate residential densities and nonresidential intensities as describe by dwelling units per acre, floor area ratio, and impervious surface area ratio:

The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.6%. Proposed building area is 48.9%.

The general treatment of natural features:

A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

The general relationship to nearby properties and public streets:

The proposed expansion site will occupy the recently vacated S. 19th street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southeast and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others. Drive access to the expansion will be provided from Oakland Ave. No drive access will be provided from Union Ave.

The general relationship of the project to the comprehensive master plan:

The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.

A statement of rationale as to why PUD zoning is proposed. This shall identify barriers that the applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the applicant suggests are available through the proposed PUD zoning:

Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland, relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

A complete list of zoning standards which will not be met by the proposed PUD and the locations in which they apply and a complete list of zoning standards which will be more than met by the proposed PUD and the locations in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the plan commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility:

An exception to Section 15.105(3)(b)(F) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to Rear Lot Line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.

An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive.



Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.

A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any:

No known property owner association exists. No known deed restrictions exist.

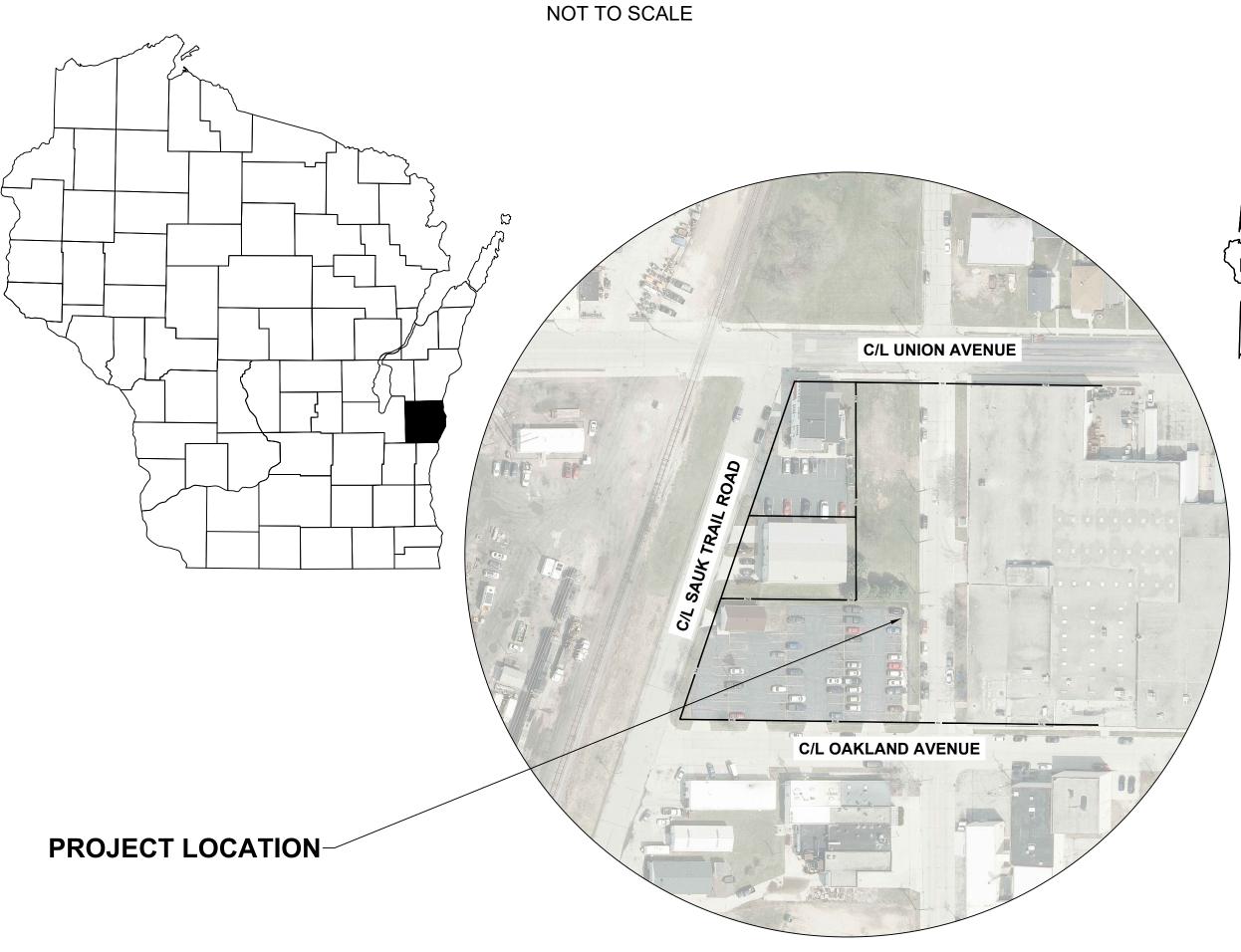
A written description which demonstrates the full consistency of the proposed PIP with the approved GDP:

The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development:

Proof of financing capability for the project is assumed to be verified at a later date between HTT, Inc. and City of Sheboygan.

HTT WEST EXPANSION **1828 OAKLAND AVE, SHEBOYGAN, WI 53081 CIVIL ENGINEERING DRAFT PLANS**



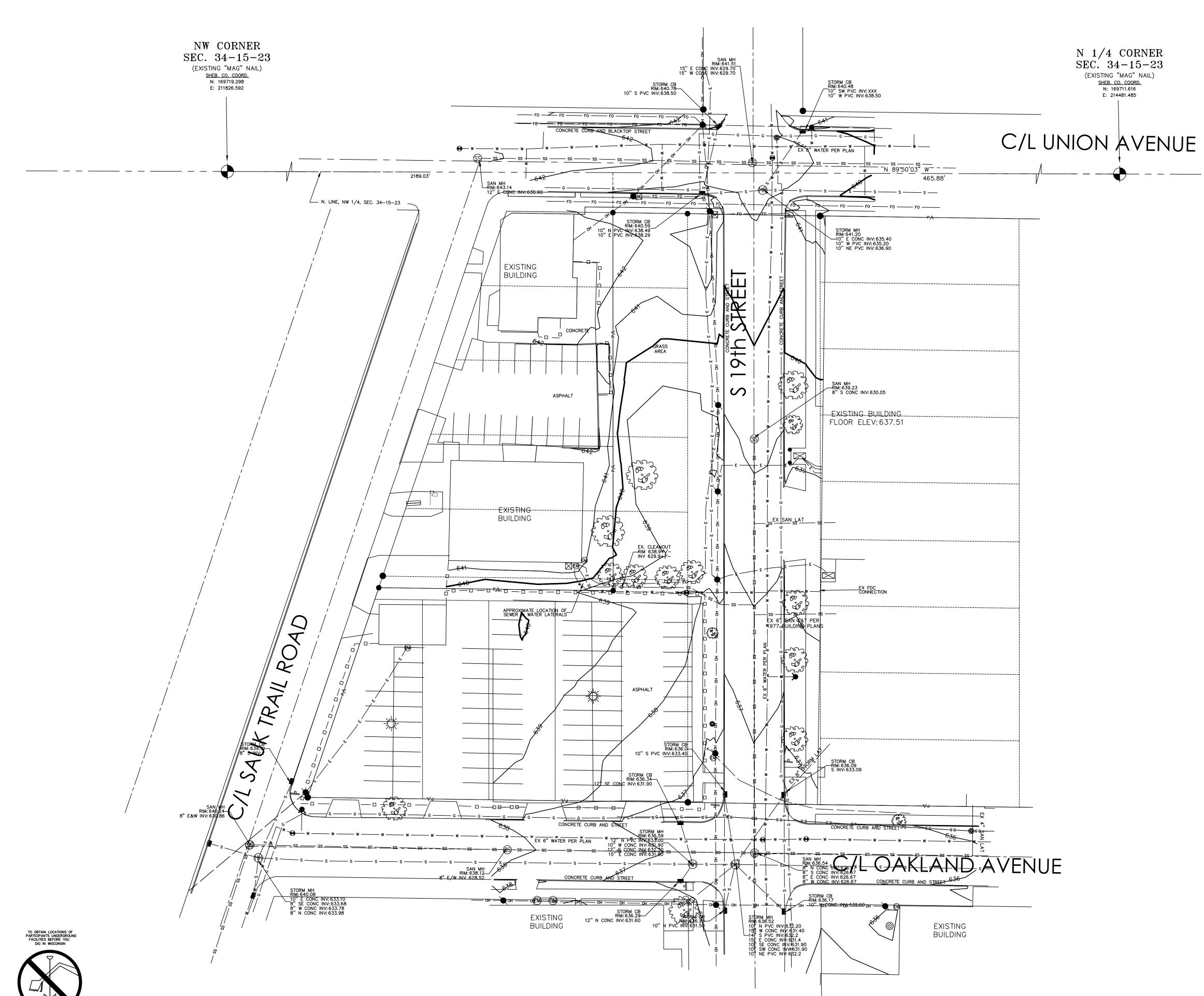


SHEET NO.	DESCRIPTION
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C301	SANITARY PLAN PROFILE
C302	WATER MAIN PLAN PROFILE
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	CITY SPECIFICATIONS

SHEET INDEX

FEBRUARY 27, 2024

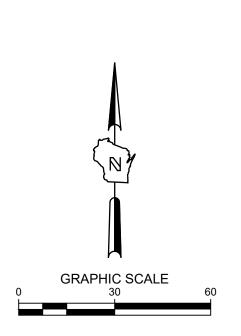
ltem 5.





MILW. AREA 259-1181

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LEGEND:

	LEGEND:
•	= 3/4"x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
\sim	= COMBINED LOTS
)	= EXISTING HYDRANT
H	= EXISTING STORM INLET
\bowtie	= EXISTING TRANSFORMER
EM	= EXISTING ELECTRIC METER
ب لا	= EXISTING LIGHT POLE
GM	= EXISTING GAS METER
ø	= EXISTING POWER POLE W/GUY WIRE
\boxtimes	= EXISTING TELEPHONE PEDESTAL
©	= EXISTING GAS VALVE
•	= EXISTING BOLLARD
٩	= EXISTING TRAFFIC SIGN
	= EXISTING TREE
Θ	= WATER VALVE
Θ	= EXISTING CLEAN OUT
(000)	= "RECORDED AS" DIMENSIONS
MH	= EXISTING SANITARY MANHOLE
SS	= EXISTING STORM MANHOLE
\bullet	= EXISTING 3/4" IRON ROD
•	= EXISTING 3/4" IRON PIPE
•	= EXISTING 1/4" IRON ROD
— SS ——	= EXISTING SANITARY SEWER
— FO ——	= EXISTING FIBER OPTIC
S	= EXISTING STORM SEWER
— W ——	= EXISTING WATER
—— E ———	= EXISTING ELECTRICAL
G	= EXISTING GAS
-0	= EXISTING FENCE
— он ——	= OVERHEAD POWER LINE

GENERAL NOTES:

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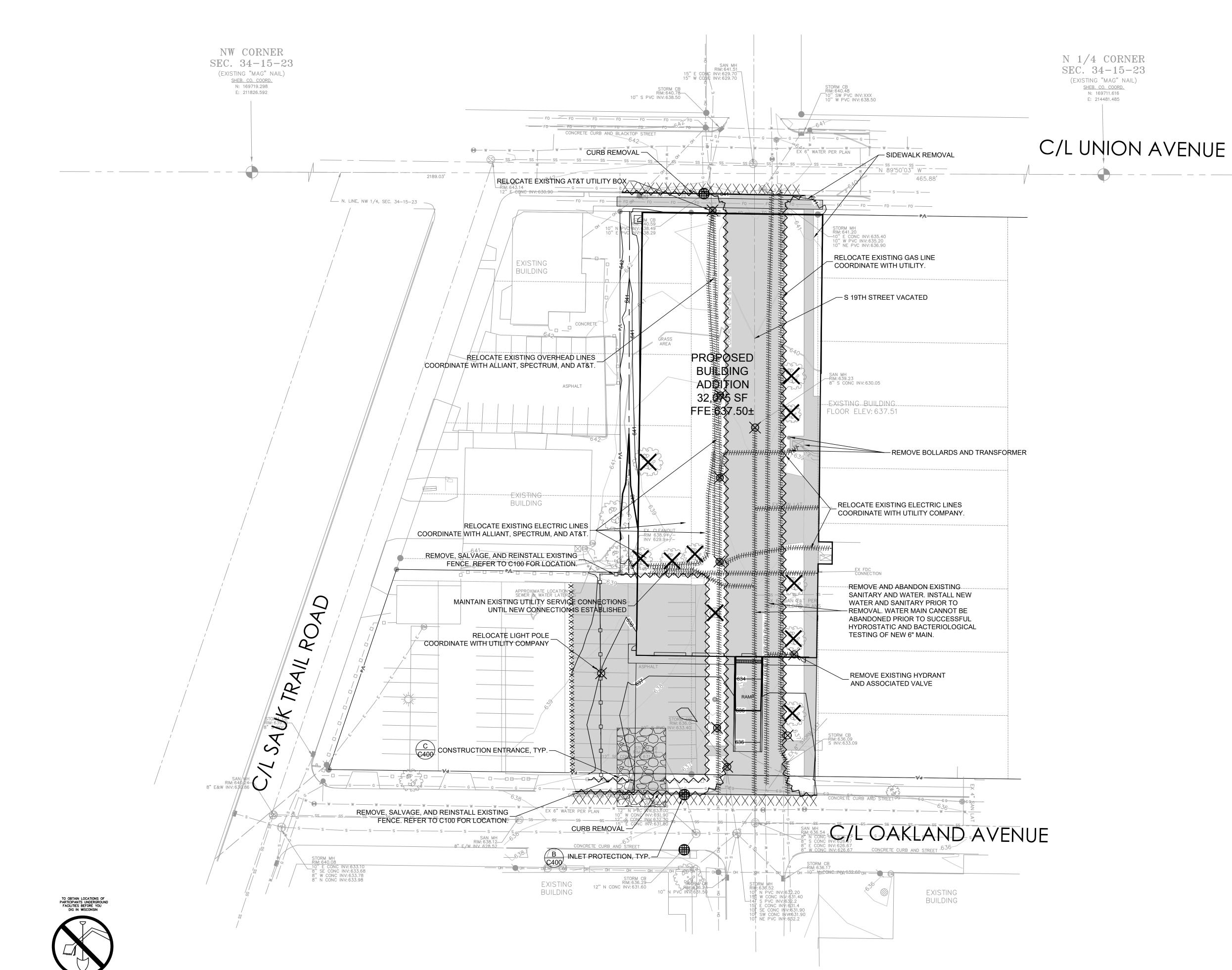
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT ON JANUARY 23, 2024.

4. DATUM FOR THE PROJECT SURVEY IS NAVD83. BENCHMARKS FOR THE PROJECT SURVEY IS TOP NUT OF HYDRANT ON NE CORNER OF OAKLAND AVE AND SAUK TRAIL RD, ELEV 642.78, THE TOP NUT OF HYDRANT EAST SIDE OF S. 19TH ST NORTH OF OAKLAND AVE, ELEV 640.92, AND THE FLOOR OF EXISTING BUILDING ON THE EAST SIDE OF S 19TH ST, ELEV 637.51..

5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

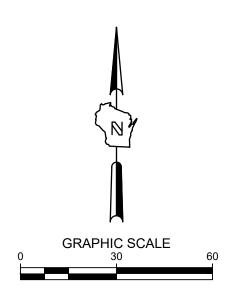
SITE SURVEY

DATE REV. BY						,	tem s	5.
REVISION DESCRIPTION								
	L C H BUILDING SERVICE	OUR REPUTATION IS OUR FOUNDATION	P.O. B.O.X. 1626 • 3510 SOLITH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626	PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM				
PROJECT INFORMATION:		HTT WEST EXPANSION			1828 OAKLAND AVENUE		SHEBUYGAN, WI 33U81	
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A. DF	TH BUJ C.E. ATE: RAW	E CC ILDIN HEET JOB 12/C N BY	NG TIN NC 08/2 7: A	IFOF). 2023 KK	RMA [.]			



CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

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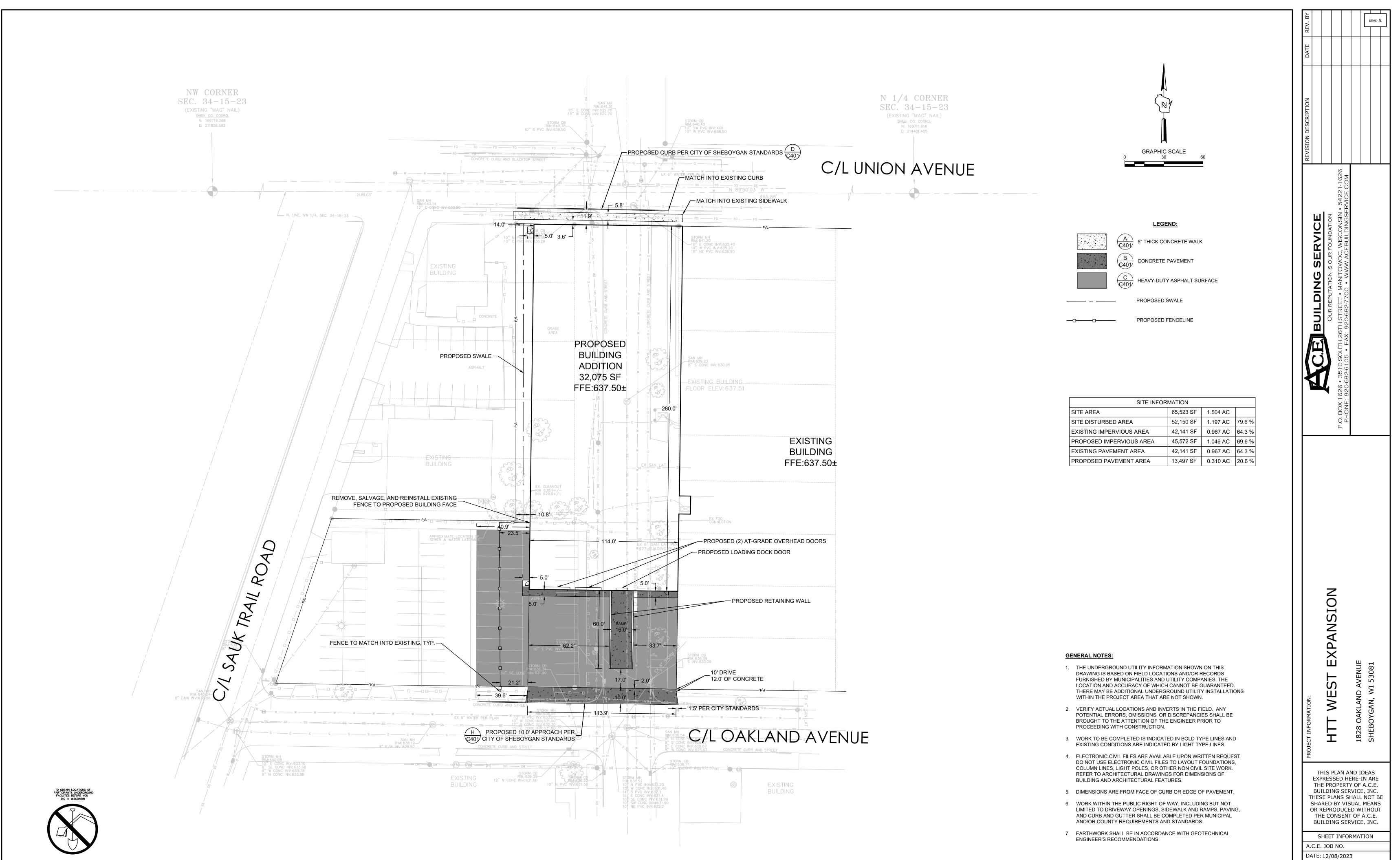


	LEGEND:
-D (A C400	PROPOSED SILT SOCK
B C400	PROPOSED INLET PROTECTION
C C400	PROPOSED TRACKING PAD
5	EXISTING CONTOUR
5	PROPOSED CONTOUR
- -	UTILITY REMOVAL
	CURB/FENCE REMOVAL
XXXXX	SAWCUT
\bigotimes	STRUCTURE REMOVAL
×	TREE REMOVAL
	PAVEMENT REMOVAL

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- 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
- 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

SITE DEMOLITION AND **EROSION CONTROL PLAN**



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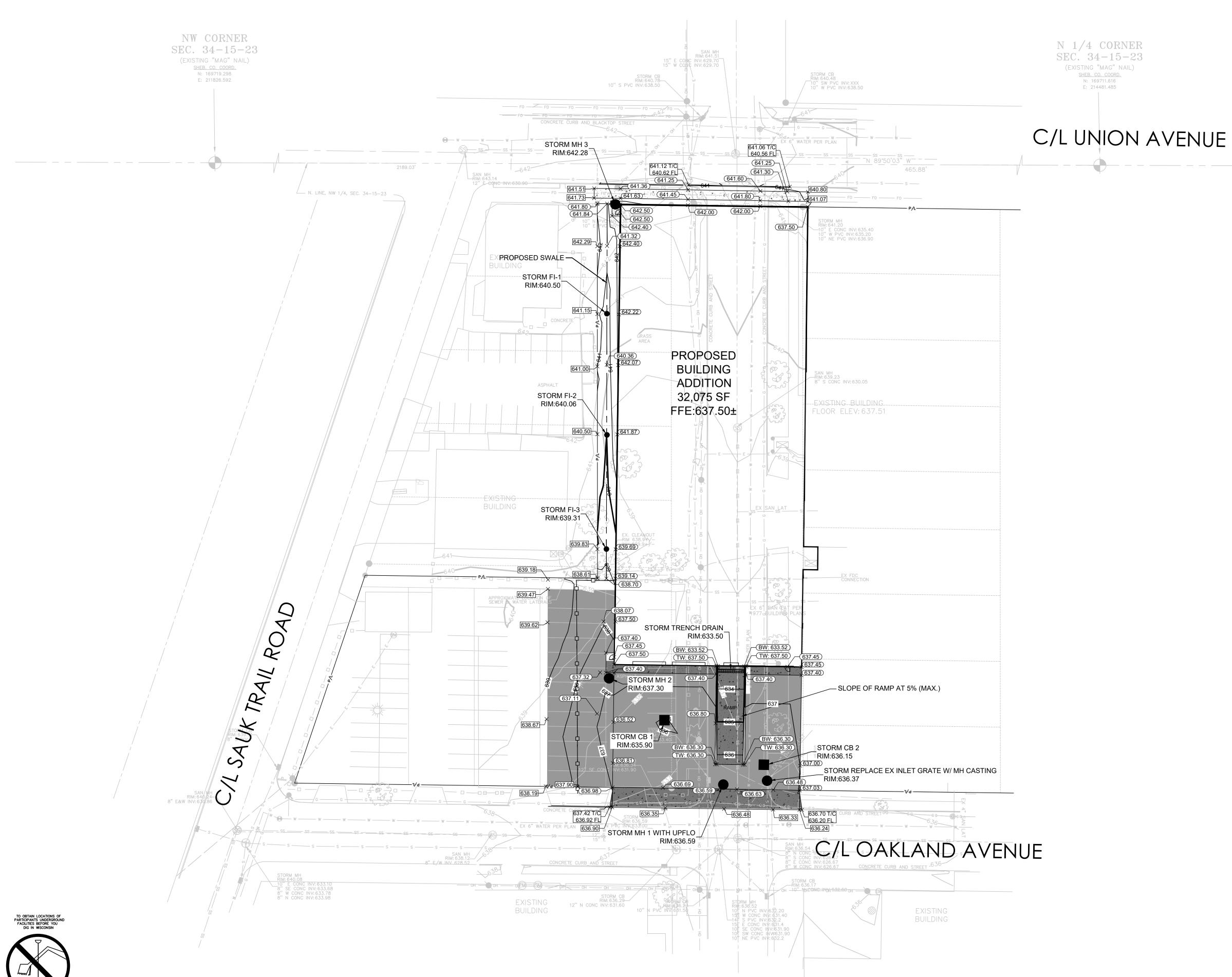


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C100

SCALE: 1''=30'

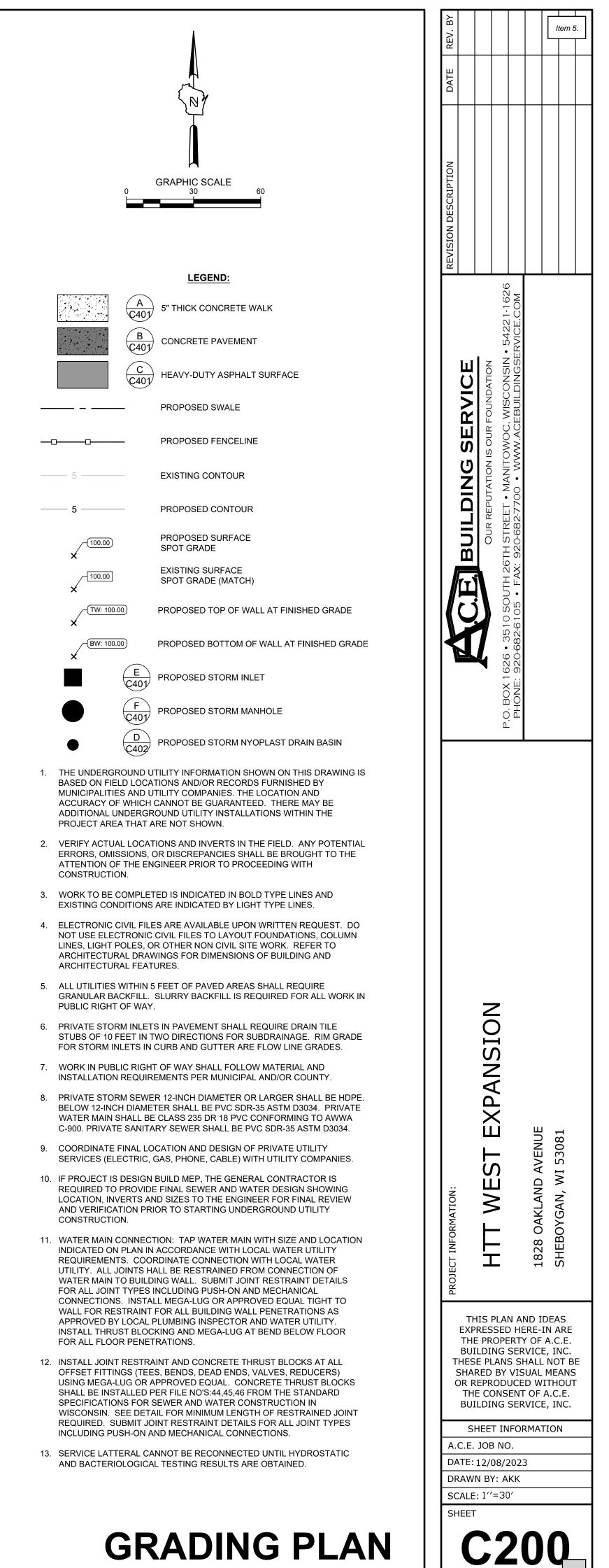
SHEET

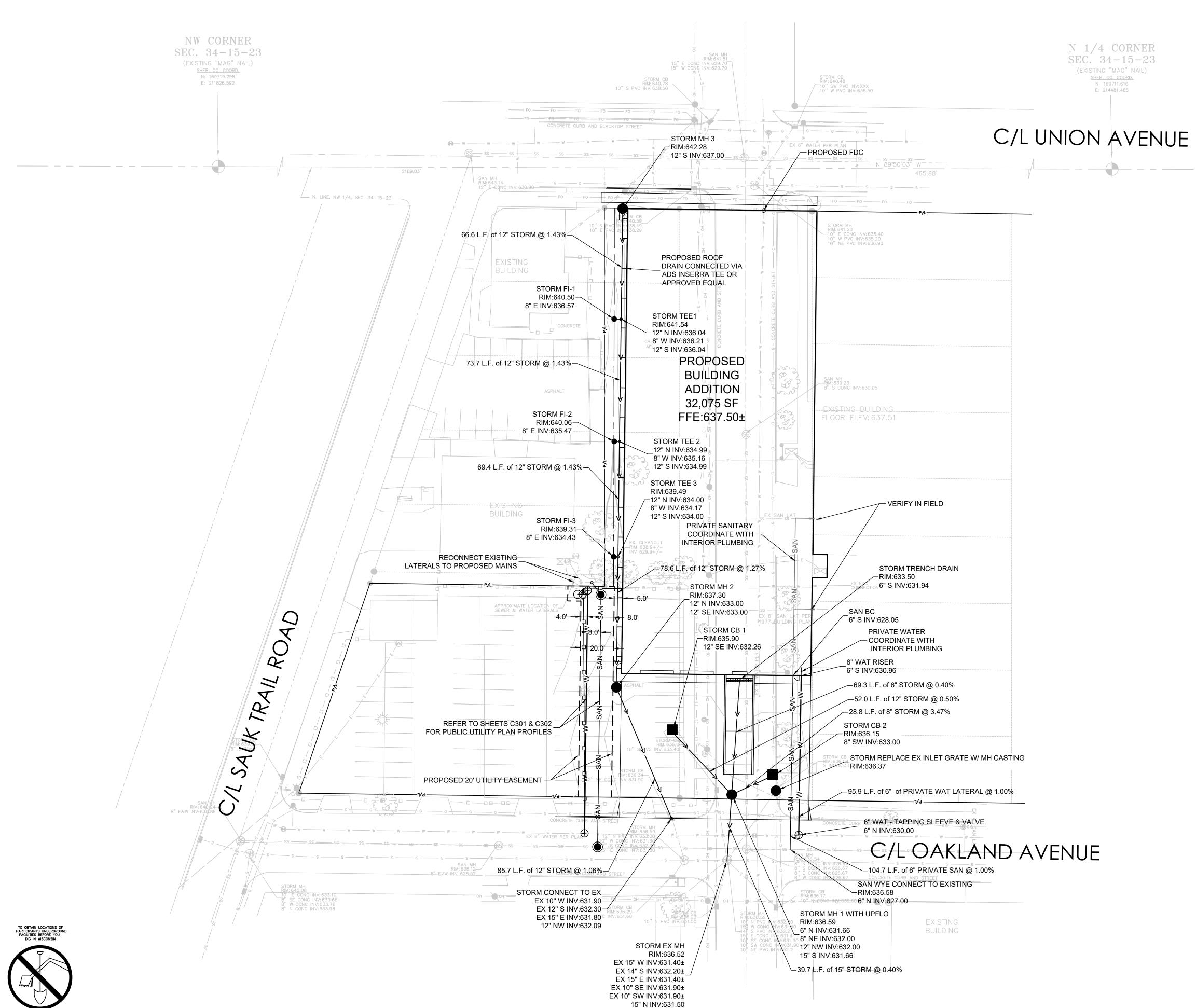




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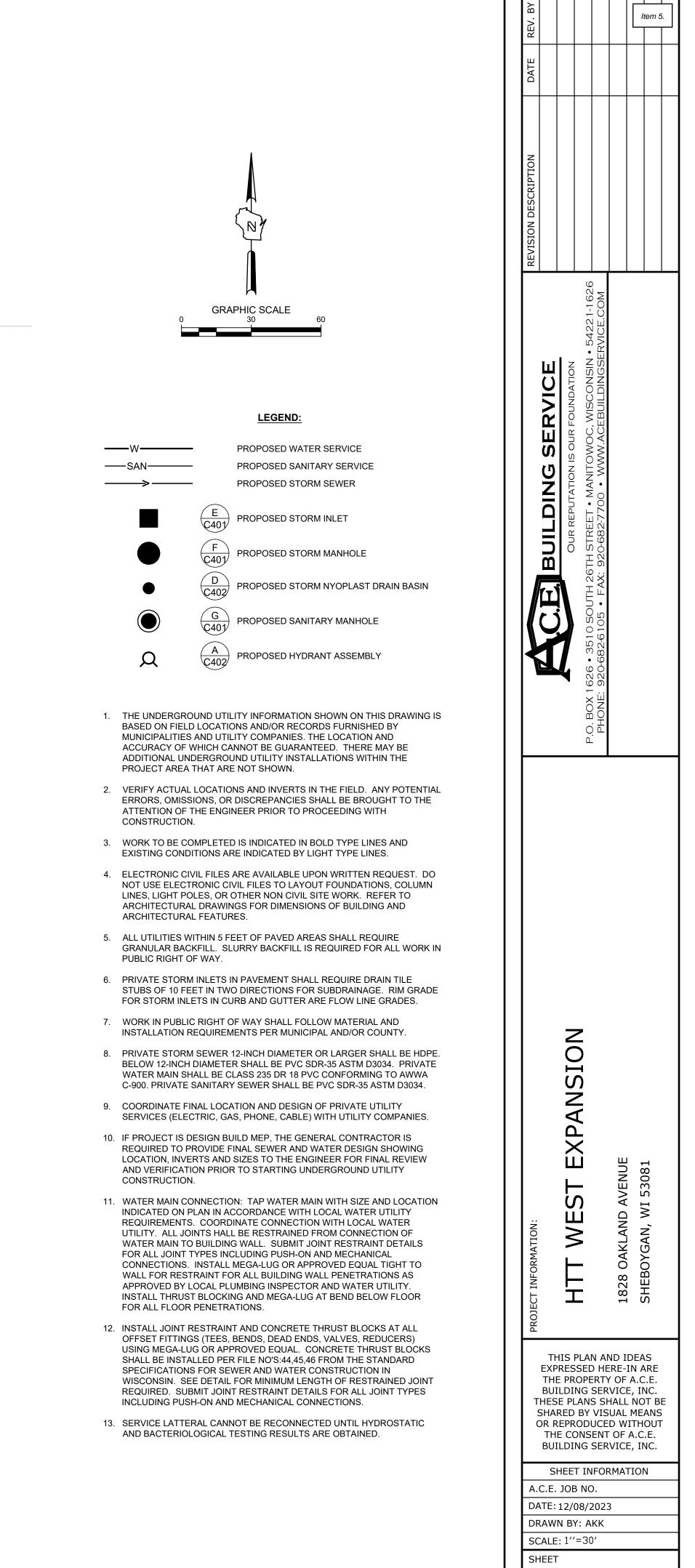




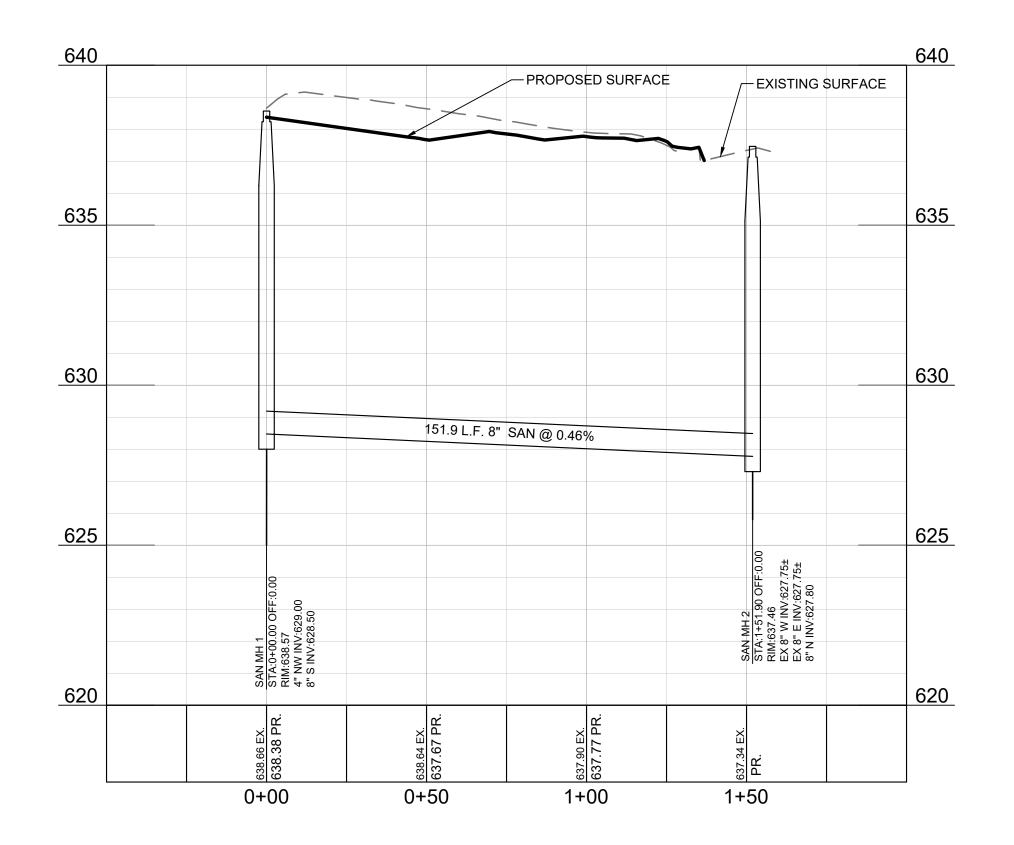


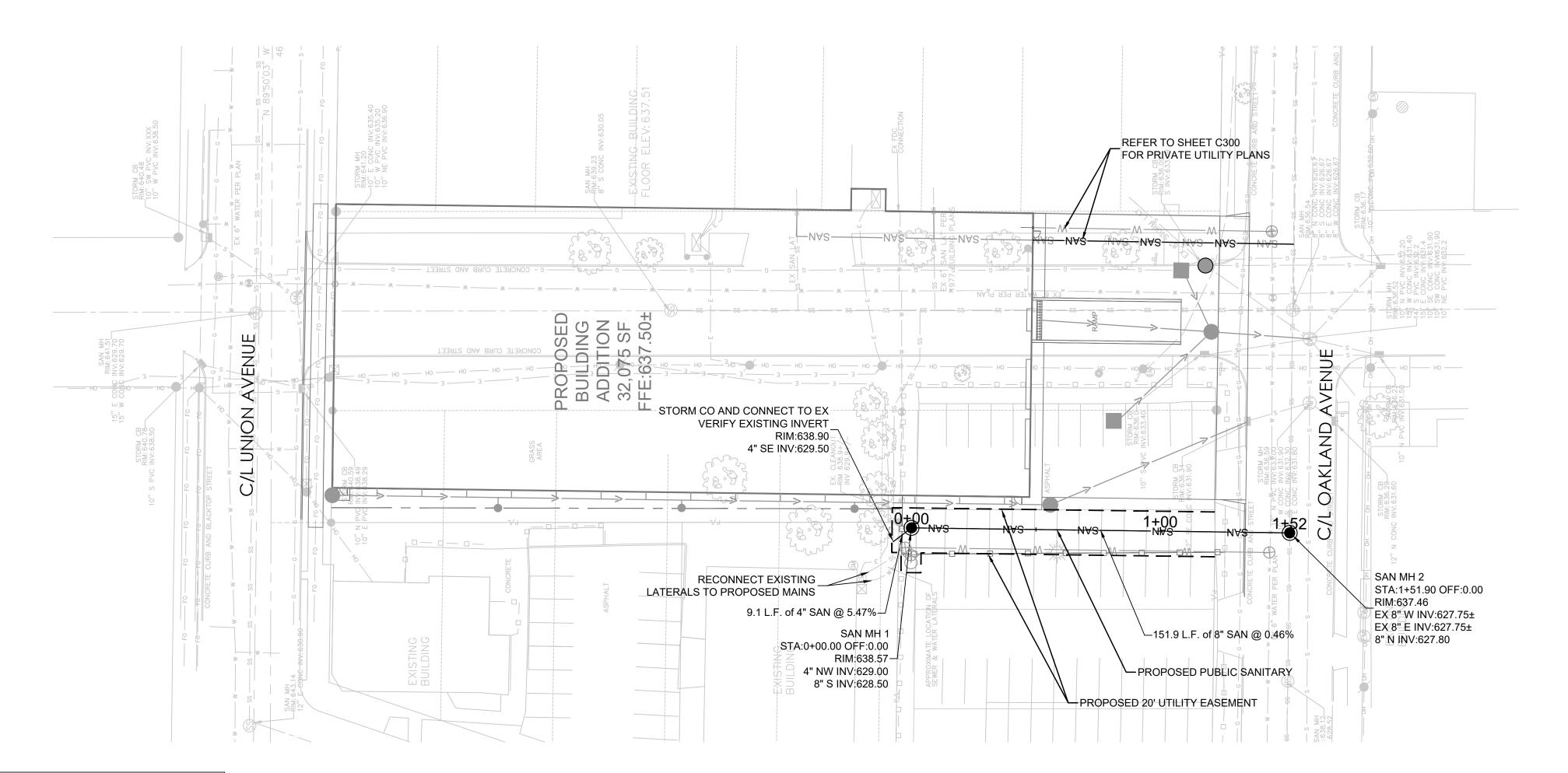
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UTILITY PLAN

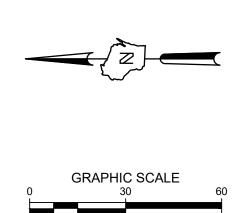




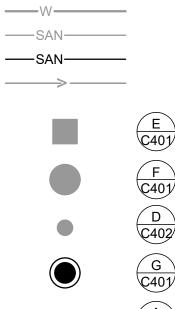


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LEGEND:



PROPOSED STORM INLET

PROPOSED WATER SERVICE

PROPOSED SANITARY SERVICE PROPOSED STORM SEWER

PROPOSED PRIVATE SANITARY SERVICE

(F) PROPOSED STORM MANHOLE

PROPOSED STORM NYOPLAST DRAIN BASIN

C401 PROPOSED SANITARY MANHOLE

(A) PROPOSED HYDRANT ASSEMBLY

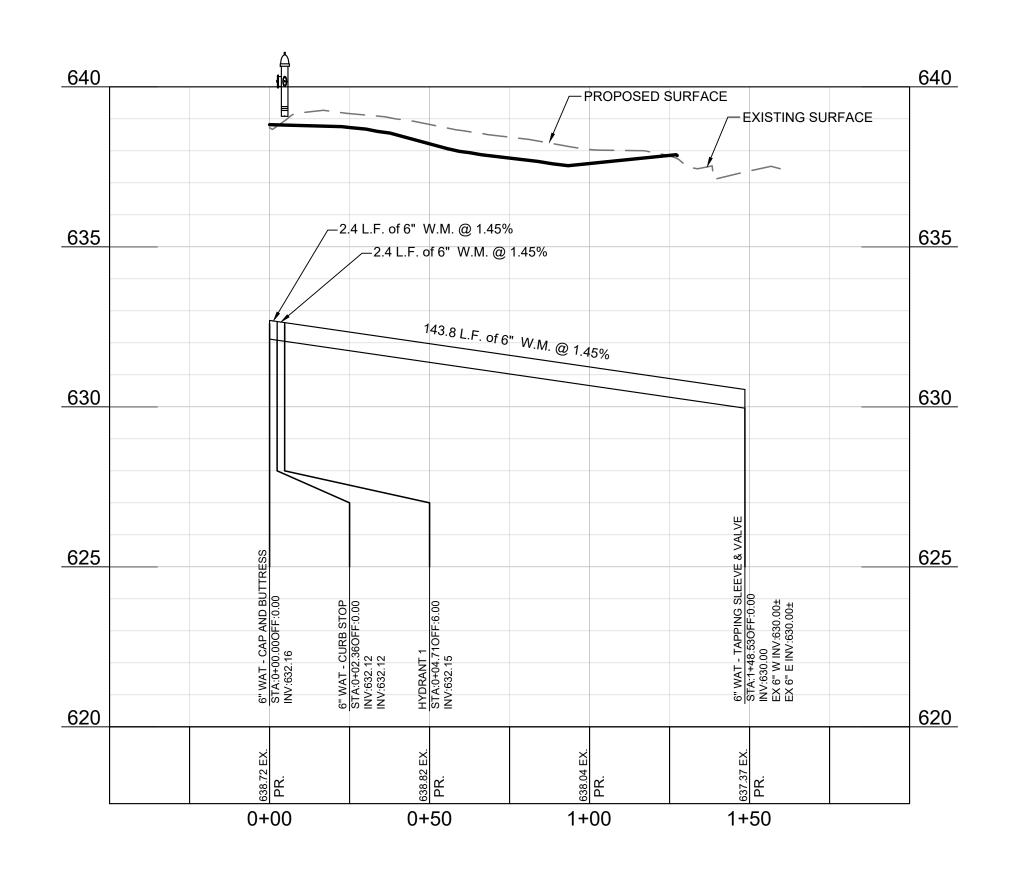
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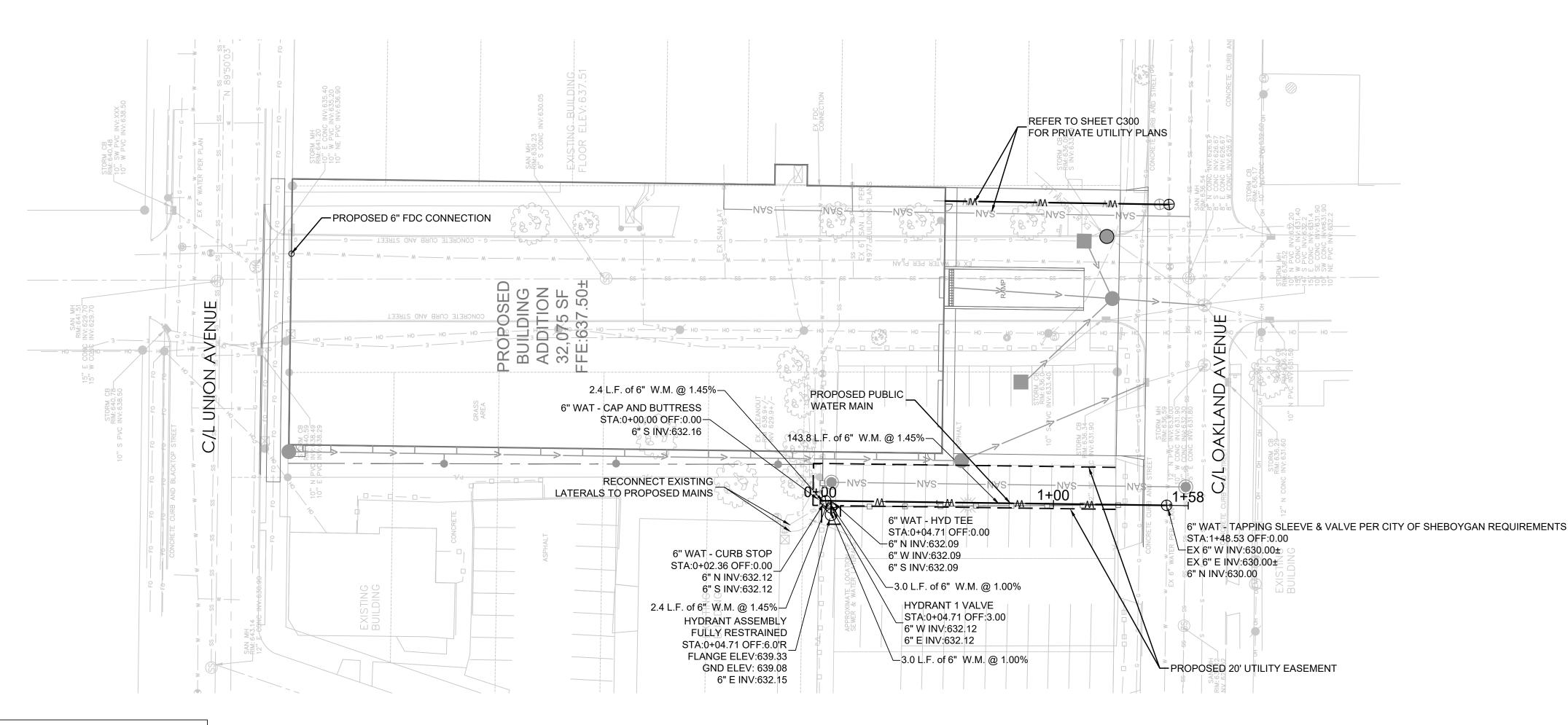
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- 6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
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- 13. SERVICE LATTERAL CANNOT BE RECONNECTED UNTIL HYDROSTATIC AND BACTERIOLOGICAL TESTING RESULTS ARE OBTAINED.

SANITARY PLAN PROFILE

PROJECT INFORMATION: THE WEST EXPANSION HTT WEST EXPANSION 1828 OAKLAND 1828 OAKLANDD 1828 OAKLA
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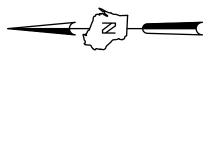




TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FAULTIES BEFORE YOU DIG IN WISCONSIN

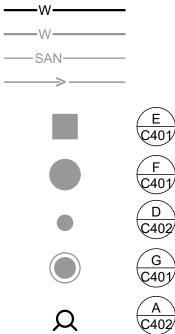
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GRAPHIC SCALE

LEGEND:



PROPOSED PRIVATE WATER SERVICE PROPOSED SANITARY SERVICE PROPOSED STORM SEWER

PROPOSED WATER SERVICE

PROPOSED STORM INLET

F PROPOSED STORM MANHOLE

PROPOSED STORM NYOPLAST DRAIN BASIN

G C401 PROPOSED SANITARY MANHOLE

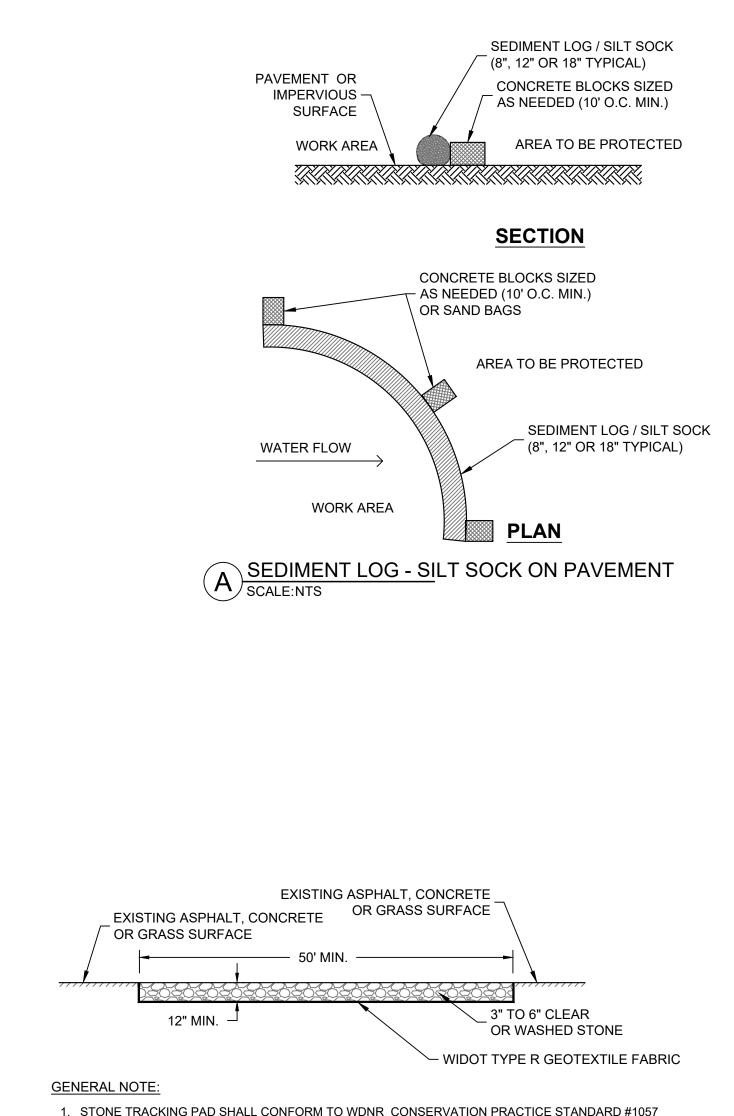
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WATER MAIN PLAN PROFILE

		REVISION DESCRIPTION	DATE REV. BY
TT WEST EXPANSION	OUR REPUTATION IS OUR FOUNDATION		
	P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM	0	
			5.

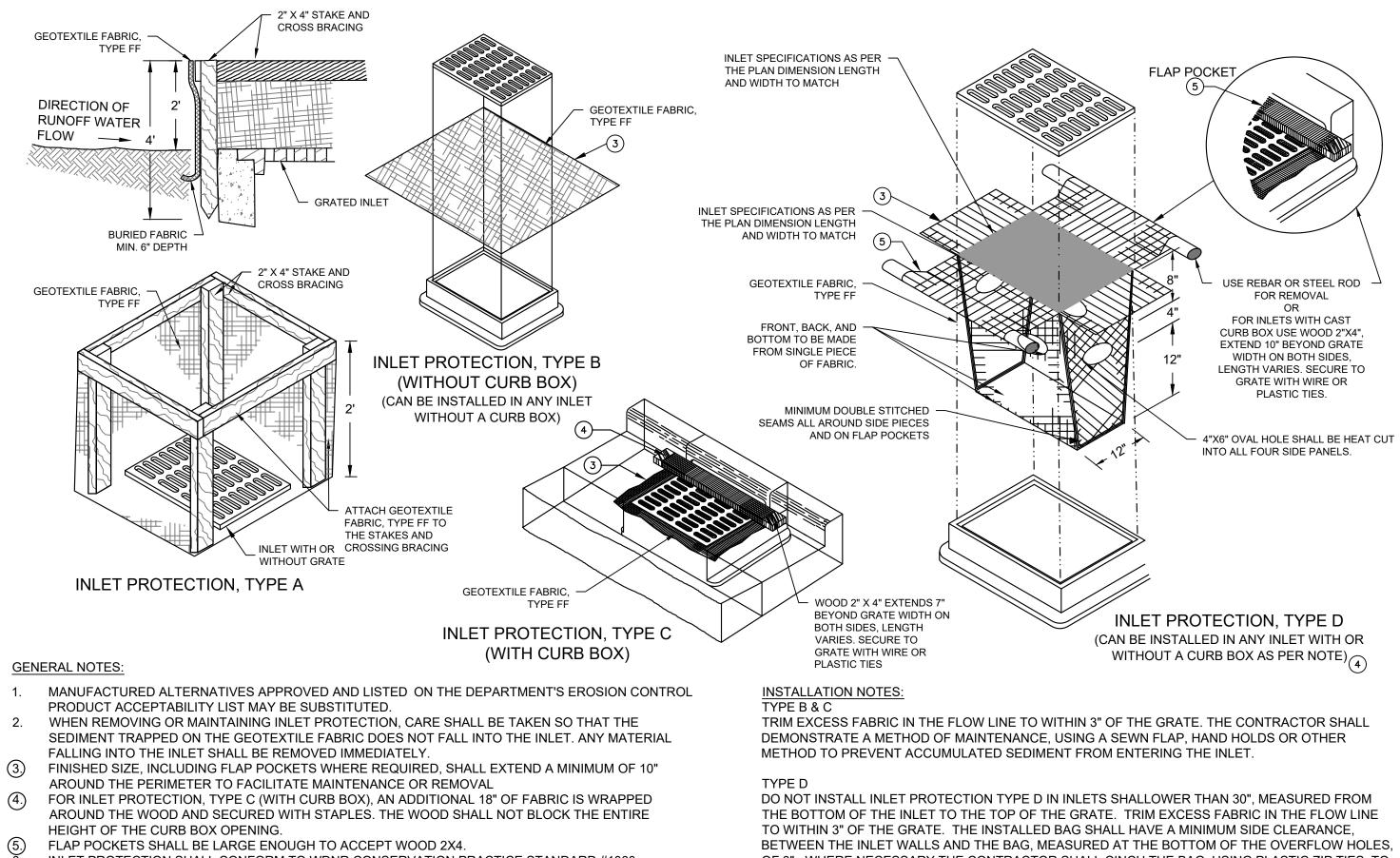


1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057 2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

CONSTRUCTION ENTRANCE - WDNR TS-1057 SCALE:NTS

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE. INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- 4. STRIP TOPSOIL FROM LOCATION OF STOCKPILE. 5. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE. 6. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL
- HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING. 8. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW
- STORM SEWER OUTFALLS. 9. INSTALL PAVEMENTS.



INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060 THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

(B) INLET PROTECTION - WDNR TS-1060 SCALE:NTS

EROSION CONTROL NOTES:

- 1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. 2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING
- OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE. 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR
- SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS. 4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE
- WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER. 5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- 6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- 7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT. 8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- 9. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN
- OR RECEIVING CHANNELS. 10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY OF SHEBOYGAN BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY THE CITY OF SHEBOYGAN OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- 12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL
- OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY. 13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A
- PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. 14. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL.
- STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS. 15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW
- BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED. 16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY. 17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- 18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. 19. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. 20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- 21. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS. 22. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE. 23. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- 24. PERMAMENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE
- THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH. 25. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WONR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

10. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING. 11. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

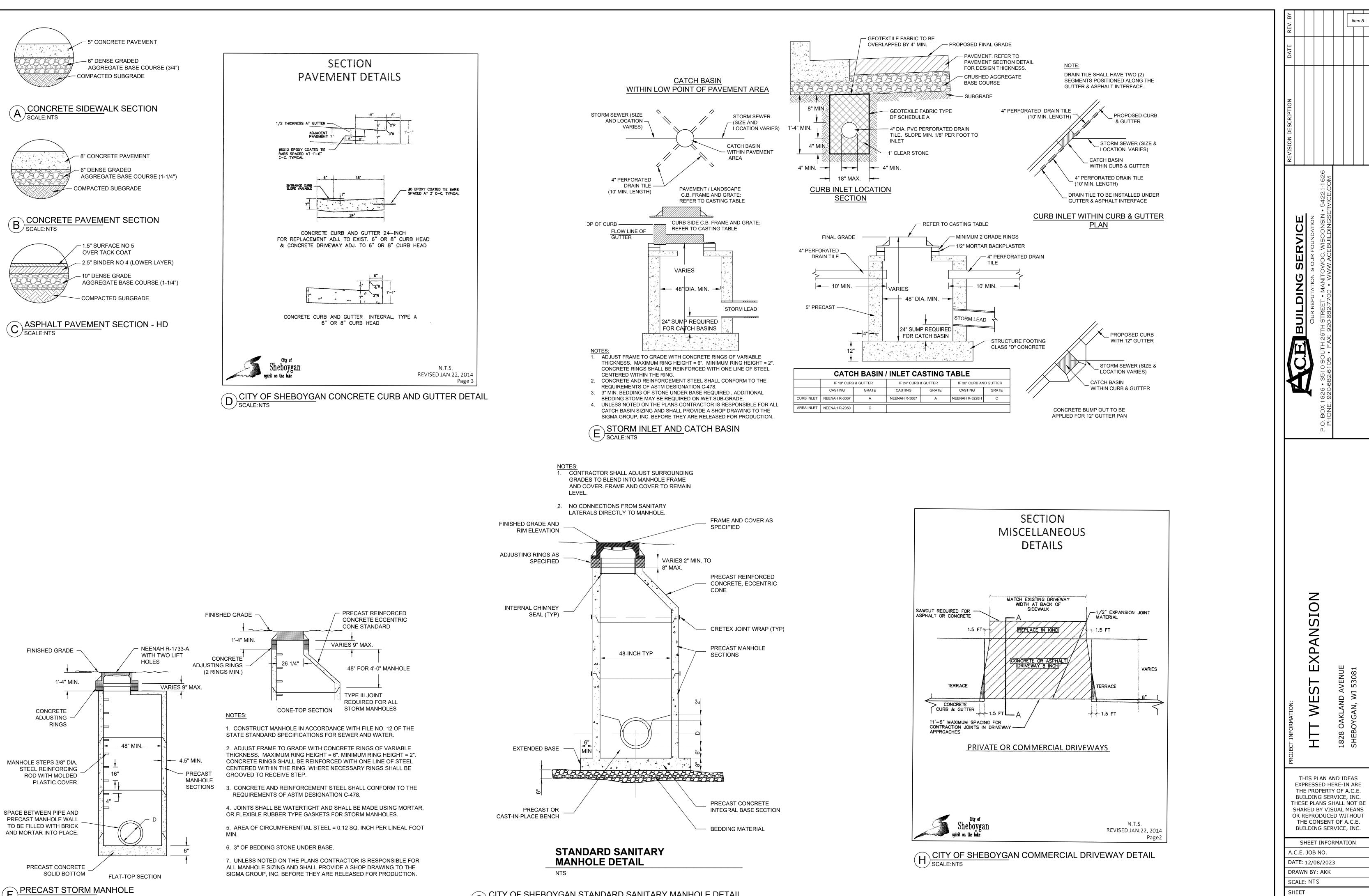
EROSION CONTROL DETAILS

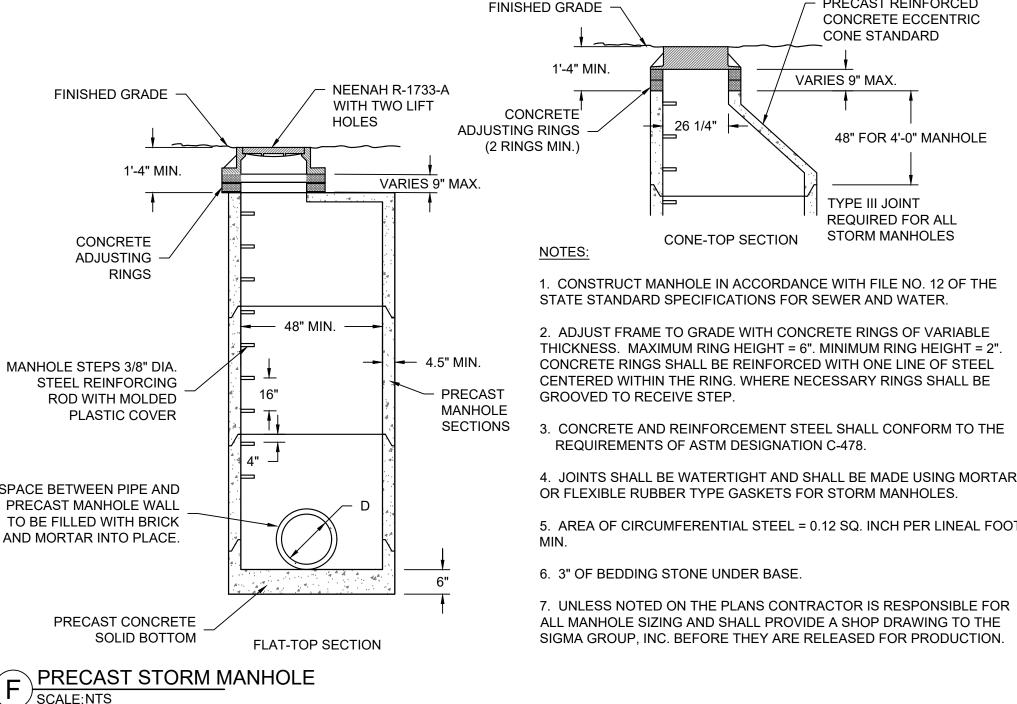
DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES,

OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM

OF THE BAG.

REVISION DESCRIPTION DATE REV. BY								
	C.F. BUILDING SERVICE		P.O. BOX 1626 • 3510 SOLITH 26TH STREET • MANITOWOG, WISCONSIN • 54221-1626	PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM				
PROTECT INFORMATION:		UTT WEGT EVDANCION			1828 OAKLAND AVENUE		SHEBUYGAN, WI 53081	
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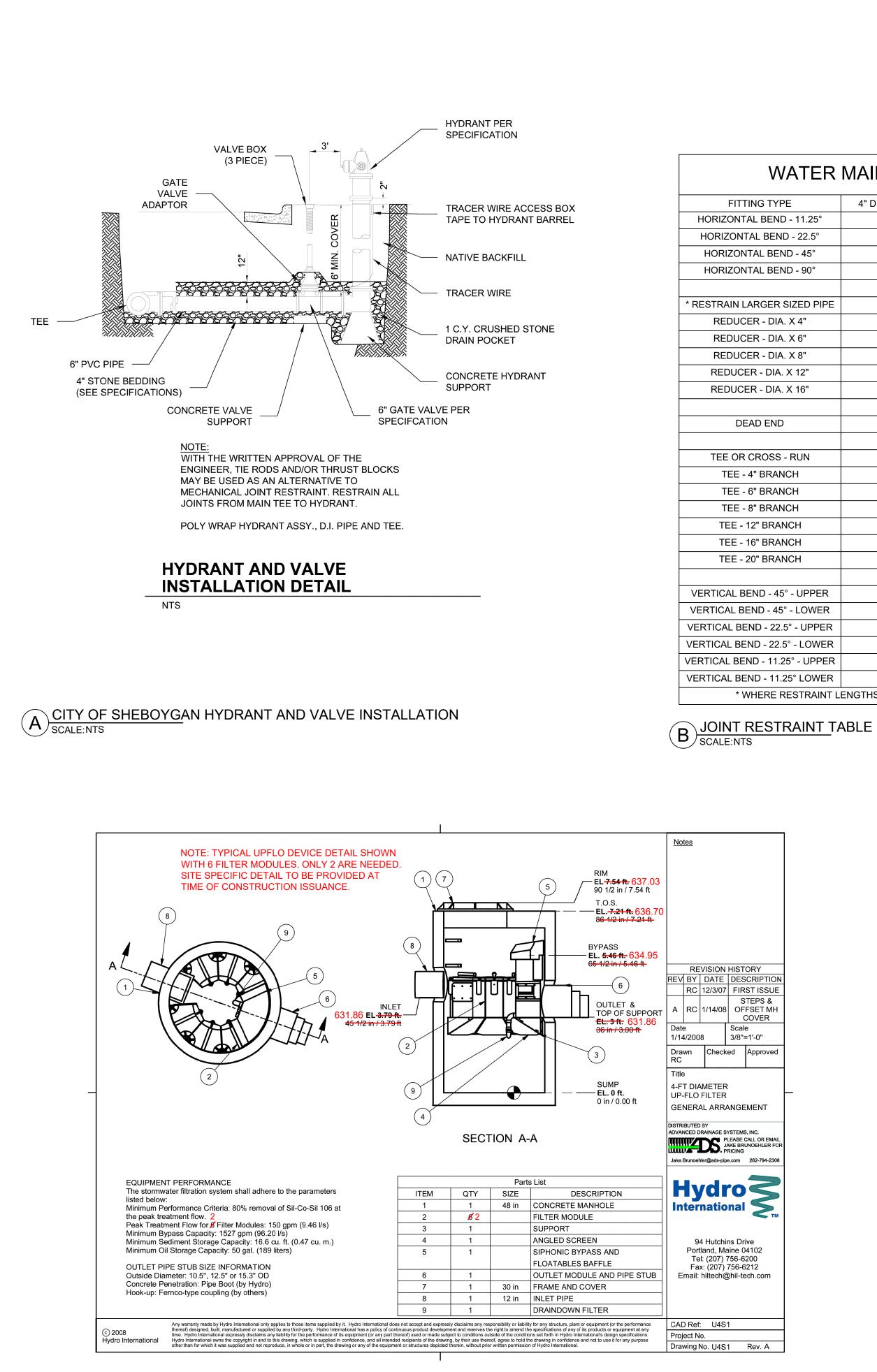




G CITY OF SHEBOYGAN STANDARD SANITARY MANHOLE DETAIL



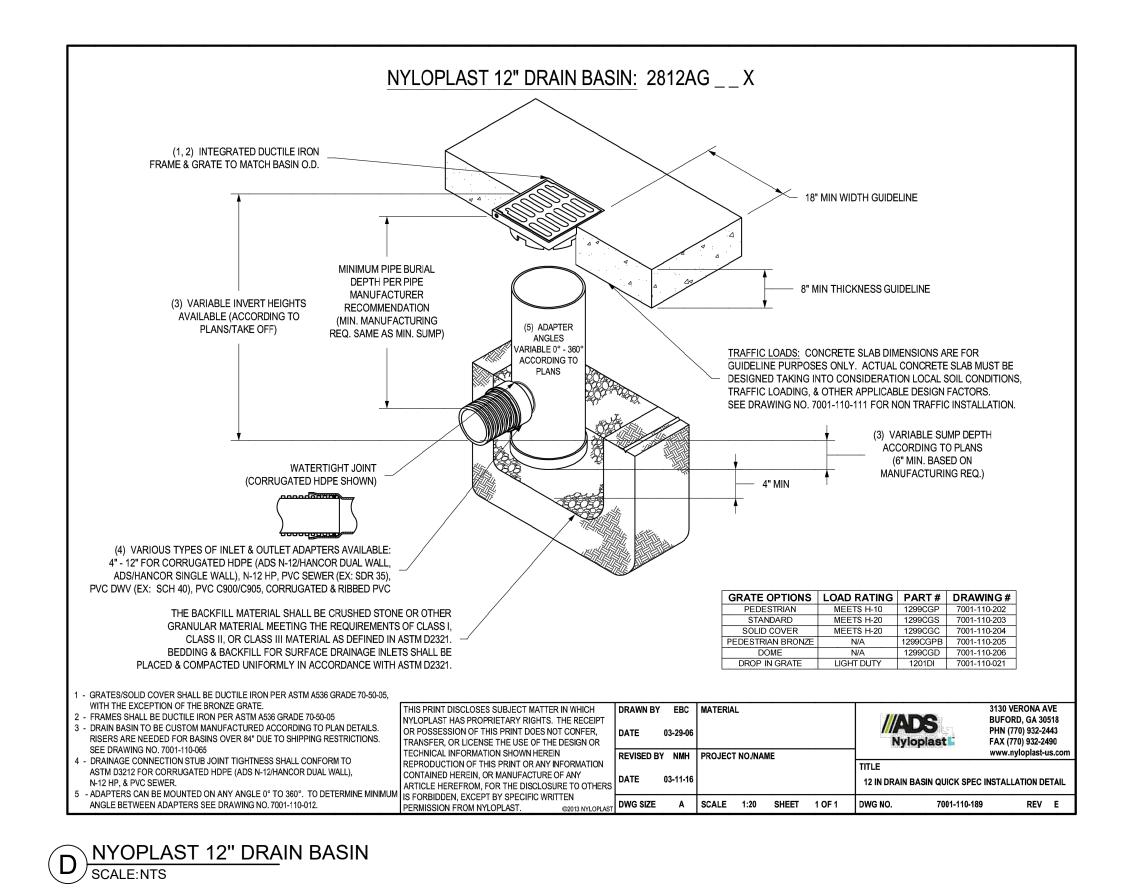
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C TYPICAL UPFLO FILTER SCALE:NTS

PE	4" DIAMETER	6" DIAMETER	8" DIAMETER	12" DIAMETER	16" DIAMETER	20" DIAMETER
D - 11.25°	5	5	5	5	8	8
ND - 22.5°	8	8	8	10	10	15
ND - 45°	10	10	12	16	20	26
ND - 90°	16	20	25	32	40	52
	10	20	25	52	40	52
SIZED PIPE						
A. X 4"	-	25	50	60	80	130
A. X 6"	-	-	25	60	100	125
A. X 8"	-	-	-	50	80	120
. X 12"	-	-	-	-	50	100
. X 16"	-	-	-	-	-	50
D	40	40	60	90	120	150
- RUN	10	10	10	20	30	40
NCH	8	6	6	6	6	6
NCH	-	8	6	6	6	6
NCH	-	-	10	6	6	6
NCH	-	-	-	12	6	6
NCH	-	-	-	-	30	10
NCH	-	-	-	-	-	50
5° - UPPER	12	20	26	40	50	60
5° - LOWER	5	5	6	10	12	14
.5° - UPPER	8	10	14	18	24	28
.5° - LOWER	4	5	5	8	8	8
25° - UPPER	6	6	8	10	12	14
.25° LOWER	4	4	4	4	4	6

* WHERE RESTRAINT LENGTHS ARE NOT IDENTIFIED ON THE PLANS, THE VALUES IN THIS TABLE SHALL BE PROVIDED AS A MINUMUM



REV. BY					1	tem 5	5.
DATE							
REVISION DESCRIPTION							
CE BUILDING SERVICE	OUR REPUTATION IS OUR FOUNDATION	P.O. ROX 1626 • 3510 SOUTH 26TH STRFFT • MANITOWOC. WISCONSIN • 54221-1626	PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM				
PROJECT INFORMATION:	HTT WEST EXPANSION			1828 OAKLAND AVENUE			
EXPF THE BUIL THESE SHAR OR RE THE BUIL	PRC DIN E PLA ED I EPRC CO DIN	SED DPE IG : ANS BY DDI NS IG : IN	HE RTY SER SSF VIS JCE ENT SER FOR	RE- VIC IALL UAL D W OF VIC	IN A A.C E, II NC ME ITH A.C E, II	ARE NC. NC. OT B ANS OUT .E. NC.	5
DATE: 1 DRAWN SCALE: SHEET	I BY:			}			

DETAILS

GENERAL:

1.	EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.	9.
2.		BEN SPE 10. ELE 11.
	LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. E CLEARING:	DISI OF BUII AAN
1.	EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.	<u>EA</u>
2.	MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.	1.
3.	SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.	2.
4.	UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.	۷.
	DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.	3.
	LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.	4.
8.	PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.	
	LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.	5.
	EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.	6.
11.	FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.	7.
	REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.	8.
13.	STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.	9.
14.	STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.	
	REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.	10.
17.	REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.	11.
18.	SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.	12.
ТС	DRM DRAINAGE:	13.
	ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.	14.
2.	ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.	15.
3.	PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.	
	REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.	16.
	HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.	17.
	CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.	
	FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.	40
	MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.	18. 19.
	MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.	20.
10.	SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).	20.
	PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT	21. 22.
	SURFACE.	
	CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.	
	TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.	23.
	MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.	24.
	CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.	25. 26.
	AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)4 OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.	27.
	NITARY SEWERAGE:	
	ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS. ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN,	28. 29.
3.	LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF	と づ.
	THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED	30. 31.
5.	BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES. MANHOLES DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.	32.
6.	SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).	32. 33.
7.	PIPE JOINT CONSTRUCTION: FOLLOW PIPING MANUFACTURER'S RECOMMENDATIONS; JOIN PVC SEWER PIPE ACCORDING TO ASTM D2321 AND ASTM D 3212 FOR ELASTOMERIC GASKET JOINTS. JOIN DISSIMILAR PIPE MATERIALS WITH NONPRESSURE-TYPE, FLEXIBLE COUPLINGS	34.
7.	PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED	25

GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR

UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING OBTAINED. CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE. 36. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN OFF OWNER'S PROPERTY. ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS

SANITARY SEWERAGE:

TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS NEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD ECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.

MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO EVATIONS INDICATED ON PLANS

AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE PLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(1)4 THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS. TEST NEW ILDING SEWER IN ACCORDANCE WITH SECTION 5.4.0 OF THE STANDARD SPECIFICATIONS. REPLACE LEAKING PIPE USING NEW PIPE MATERIALS ND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

RTH MOVING:

ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.

CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION 8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL

CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS

OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL

FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE

SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER 15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE. DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A

COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.

AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.

ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A 19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.

BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.

TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.

PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.

SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS, DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE 32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.

PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED. THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.

DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.

CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.

ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.

WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS 9. SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)

UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557. UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN

WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)

COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.

AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD 18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING QUALITY-CONTROL TESTING.

FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.

BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER. SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.

PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.

FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.

WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY 22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS

CONCRETE PAVING:

- THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
- 4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
 - AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS 10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
- 11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
- 13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS. 14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND
- ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- 16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
- 17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
- 18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED. CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING
- ADJACENT CONCRETE PAVEMENT.

- (ARTIFICIAL TURF DRAG FINISH).

- IN THIS SECTION.

ASPHALTIC PAVING:

- SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE
- CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
- PROJECT IS LOCATED.

- WISDOT STANDARD SPECIFICATIONS.
- PLACEMENT OF ASPHALT PAVEMENTS.

- TOOLS TO SMOOTH SURFACE.

- TOLERANCES.
- MAY PREVENT BONDING TO THE PAVEMENT. GALLONS/MILE FOR A CONTINUOUS 4" LINE.
- TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SPECIFICATIONS

21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6

20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT

BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED

COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS. TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS:

17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS ¼ INCH FOR BINDER

BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.

15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS. 16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT

PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS. 14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND

DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE. 13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS.

12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT

11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO

10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.

HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE

PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.

AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.

TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.

TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR

SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS. 3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH 4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN

2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD

MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF

31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.

29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS 30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS

28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.

26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS 27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.

25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH)

23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED. 24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.

21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.

Item 5

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THIS PLAN AND IDEAS

EXPRESSED HERE-IN ARE

THE PROPERTY OF A.C.E.

BUILDING SERVICE, INC.

THESE PLANS SHALL NOT BE

SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT

THE CONSENT OF A.C.E.

BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO.

DATE: 12/08/2023

DRAWN BY: AKK

SCALE: NTS

SHEET

22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS

20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.

CITY OF SHEBOYGAN SPECIFICATIONS - WATER UTILITIES

PART 1 – GENERAL

1.01 SUMMARY

A. This Section identifies specifications on watermain and appurtenances installation.

B. Watermain and appurtenances installation shall comply with chapters and sections of the referenced documents in Part 2 of this section.

C. Watermain and appurtenances shall be installed using parts identified in this section.

D. Payment of this section should be covered by line items referenced in section 01 41 43.

E. All watermain and appurtenances shall be provided by Contractor.

PART 2 – PRODUCTS

2.01 Standard Specifications for Sewer and Water Construction in Wisconsin - 6

th Edition dated December 22, 2003 with Addendum No. 1 dated December 22, 2004 and Addendum No. 2 dated April 22, 2008

2.02 PVC pipe, as noted on the plans or bid documents, shall conform to AWWA C-900 or C-905, latest revision, have the O.D. of ductile iron and have a pressure class rating of at least 150 psi and a dimension ratio of 18 or stronger.

2.04 The 12" ductile iron pipe and hydrant leads shall be ductile iron, class 52 minimum.

2.05 All fittings shall be ductile or cast iron. Minimum working pressure rating shall be 250 psi, except that for ductile iron fittings 24" and smaller, the minimum working pressure rating shall be 350 psi. Joints shall be mechanical, unless otherwise specified. All cast or ductile fittings shall be cement-lined on the interior flow way, unless epoxy-coated; per the standard specifications. Special fittings and accessories, not otherwise covered in the Contract Documents, shall conform substantially with other fitting requirements and be compatible with the existing and proposed pipe materials. Significant deviations, if any, shall be stated in writing to and approved by the Engineer.

2.06 Hydrants shall be:

A. Clow Eddy F-2640

B. Waterous WB-67B-250, with 16" upper standpipe section, or C. Kennedy K81-D,

in conformance with the following specific requirements:

a. Traffic flange and frangible stem coupling construction required.

b. Two 2-1/2" Hose nozzles and one 4-1/2" Pumper nozzle, all with National Standard Fire Hose Coupling Screw Thread, required.

c. 5-1/4" nominal diameter of main valve opening.

d. Inlet connection shall be 6" mechanical joint with gland, rubber gasket, and high-strength, low-alloy bolts and nuts.

e. Operating nut and cap nuts shall be 1-1/2" pentagon measured from point to opposite flat (National Standard), and open left (counter-clockwise).

f. Caps shall be furnished with corrosion resistant metal chains and gaskets. g. Pressure activated seals shall be the O-ring type.

h. Exposed exterior above proposed ground line shall have been cleaned and primed, as per AWWA, and finished with OSHA safety red enamel. (Repainting over finish coat of a different color is not acceptable.)

i. No drain, or drains shall be plugged with manufacturer approved plug.

2.07 Gate valves shall conform to the latest revision of AWWA C509 (resilient-seated) or AWWA C515 (ductile body resilient-seated). When gate valves are specified in sizes 4" through 12", they shall be of the resilient-seated type and in conformance with the following specific additional requirements:

a. Valves shall be intended for direct burial in an essentially vertical position in horizontal pipelines and be of the non-rising stem design, with O-ring stem seals, standard size (2") wrench nut, and opening left (counter-clockwise).

b. Valve ends shall be mechanical joint, unless otherwise specified, complete with

standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the MJ bolts and nuts shall be the high-strength, low-alloy

steel, and that gaskets shall not be lead-tipped.c. Gland and bonnet bolting materials shall be 304 stainless steel, factory installed prior

to testing.d. Internal and external surfaces of the valve body and bonnet shall be epoxy coated, in accordance with the latest revision of AWWA C550.

2.08 12" valves and less shall be the resilient-seated type. In areas of less than 6' of cover, Engineer may require the butterfly type. Valves larger than 12" shall be butterfly, unless otherwise specified.

2.09 Unless otherwise specified, butterfly valves shall be of the mechanical joint body type, and have a pressure rating of not less than Class 150B. Valves shall open left (counter-clockwise).

2.10 Valve boxes shall be entirely of cast iron (Tyler Series, USA Made) in accordance with the requirements of this section. Box lids shall be drop type, with 1-1/2 inch skirt, marked "WATER", sized to fit properly.

2.11 Valve boxes for use with gate valves and air release assemblies shall be three-piece, Tyler Series 6860, with base section as required for valve size.

2.12 Top sections and risers which are less than 10" in length shall not be allowed.

2.13 Temporary water shall be constructed entirely with NSF 61 approved materials.

2.14 12 mil, polyethylene wrap is required on this project.

2.15 Where joint restraint is required per the plans or specifications, Contractor shall install retainer glands ("Megalug®" by EBAA Iron, Inc., or equal), manufactured harnesses, and/or locking push joint gaskets, and where not feasible install "Cor-Ten®" tie rods (quantity per joint per manufacturer's load table) and appurtenances ("Star™" Joint Restraint System, or equal.) If additional excavating is yet to be done and/or backfilling is not completed or well compacted, or for his desire, Contractor should install additional restraint, and may use blocking or buttressing, if per Engineer's approval.

2.16 Permanent manual air relief assemblies shall be of 1" soft copper tube, with all fittings of brass, and water valve box and base of cast iron. Top end of copper tube shall be fitted with a brass garden hose thread fitting w/brass garden hose cap (See Exhibit C.) A saddle and 1" ball-style corporation stop (w/flared outlet), and a 90 degree swivel (quarter bend, i.e. FCTxFC/Ford L04-44S, or equal) is to be furnished, and all installed by Contractor. Bend should attach to corp to keep installation as deep as possible. Brass nipples and pipe are not allowed. (A union may be placed near the top of the discharge tube for temporary lowering to trim road gravel prior to paving.)

2.17 Mechanical joint valves shall be complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the mechanical-joint bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. Bolting materials shall be coated with a non-sticky, non-brittle petroleum asphaltic coating by Contractor prior to installation, if not already coated by supplier with a similar corrosion-inhibiting material.

2.18 Water Main and Sampling Procedure, found in the appendix.

PART 3 - EXECUTION

3.01 Temporary Water System

A. The Contractor shall design, furnish, install, disinfect, and maintain an external temporal supply system capable of utilizing water from the public water distribution system to provid water to each property along the project. In cases where property is multi-occupancy, the Contractor shall design and coordinate with the property owners, a connection to provide to all parties.

B. The system shall be designed to provide properties safe water with minimum pressure and flow of 10 gpm, 24 hours a day, 7 days a week, with minimal disruptions and without to of a pump. The system shall utilize a manifold with individual services to each property.

C. The temporary manifold shall be live tapped to the existing water main for supply and a flow prevention devices at or near the point of connection to the municipal distribution syst. All temporary water shall be trenched and buried under the road when crossing streets an other areas as necessary to accommodate traffic.

D. Layout and design of temporary water supply system shall be submitted for review at I week prior to preconstruction meeting. All temporary water systems shall pass Sheboygar Utility Bacteriological Testing Procedure prior to being opened to the distribution system a into service. The temporary water supply shall be actively feeding each property prior to w main or service work occurring fronting the property.

3.02 Excavations must be conducted in accordance with OSHA Standard CFR 1926.60. General requirements include:

A. A safe means of egress must be in all trench excavations that are 4 feet or more in dep

B. Daily inspections of trench, adjacent areas, and protective systems must be conducted Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-65

C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches conformance with OSHA standards.

D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic.

E. Open excavations must be barricaded off and completely covered with $\frac{3}{4}$ " plywood if le unattended.

F. Contractor to use an OSHA compliant shield or trench box when completing work. The Utility reserves the right to stop work due to unsafe working conditions.

3.03 General Construction

A. Perform construction within existing R/Ws, and easements and/or construction license on the plan. Any construction activity (excavating, stockpiling, tree removal, etc.) on priva property beyond the above-stated limits shall only be with Contractor's receiving prior app from the corresponding jurisdiction or private property owner.

B. Underground utilities and structures that might conflict with the location of proposed fa and require adjustments to the design shall be exposed adequately and far enough in adv of construction, to allow Engineer reasonable time to check for conflicts and make the necessary adjustments, without additional compensation for delays.

C. Provide adequate notice (a minimum of 3 working days or more) to utility owners of 1 such as poles and anchors that may need to be supported or relocated by them, prior to excavating, and accommodate such needs.

D. Trees and bushes, located within the R/Ws and easements secured for the work shal saved if possible unless being removed by City or otherwise specified, but if damaged, sh trimmed if suitable to Engineer, otherwise removed, and if removed, need not be replaced Cost of clearing and grubbing shall be incidental to the Contract.

E. Granular backfill conforming to Section 8.43.4 of the Standard Specifications shall be backfill in all areas shown on the plans, and in areas where excavated material is deemed suitable by Engineer.

F. Wherever excavated material is deemed suitable by Engineer for use in place of required granular backfill, a credit of \$10.00 per cubic yard shall be taken by the Utility for each in cubic yard of such material required, based on an average width of trench of pipe O.D. pl 36".

G. Crushed road gravel conforming to Section 8.43.7 shall be used for the top 12" of bac under and within 18" horizontally of existing pavements or proposed pavements, curbs, parking lots, driveways, and other areas when noted on the plans.

H. All backfill, whether granular or excavated, shall be consolidated by mechanical mear compacted lifts of 18" maximum; 12" for clay. Consolidate all backfill to minimum 95% maximum density as determined by ASTM D698, (Standard Proctor).

I. Utility shall, at it's expense, contract with an independent firm to perform compaction te sieve analysis on granular backfill. Four compaction tests shall be taken within the first 40 of water main trench, and then two for each additional 400 feet of trench or fraction thereor locations determined by the Engineer. One sieve analysis shall be performed for every 10 or fraction thereof. All costs to accommodate testing shall be incidental to the respective of All tests shall be at depths between 2' and 4' below finished grade, with Contractor to re-each properly backfill and compact each test site. All costs to accommodate testing shall be incidental to the respective work.

J. Unless otherwise noted on the plans, at reducers, the transition in payment for lineal water main and/or hydrant leads shall be made at the center line of reducer, with half of laying length paid at the larger diameter and the other half paid at the smaller diameter, such bid items exist.

K. Contractor shall use care when handling and backfilling hydrants so as not to damage especially when backfilling with stone. Hydrants shall also be kept clean, and accessible they are put into service. Utility will provide a yellow "Hydrant Out of Service Marker" for e hydrant, unless bagged, until the hydrant is put into service.

L. Contractor shall salvage all mechanical joint valves and fittings, hydrants and valve be immediate area of tie-in to existing mains, or as otherwise noted on the plans; including s of ductile iron pipe and iron valve boxes and covers, if in reasonably good shape, for pick Utility. Any pipe, if being abandoned, shall be left in place and the ends bulk-headed. An materials removed in the course of the work, but not being salvaged by Utility, are to be p disposed of, off site, by Contractor. Costs of removal and abandonment shall be incident construction.

M. Insulating boards (extruded polystyrene) shall be used in lieu of insulating concrete un specifically approved in writing by Engineer. They shall be placed in minimum dimension wide x 4' long x 1" thick, with no gaps between adjacent sheets. They shall be centered or to a width extending at least 12" beyond each side of pipe. See also File No. 48. Thickness be as specified by Engineer. Generally it shall be figured as at least 2" thick for every foor fraction of a foot that the existing (or future, if lower) cover from finished grade is less than (5.5' for 8" thru 16" and 5' for water lines greater than 16" in diameter). In extreme cases, typically where the cover will be less than 4.5', the sides of the water line shall also be inst (typically 2" thick), from the flat insulation down to a point even with the bottom of the water line. Insulation is required above and on the near side of water mains and services when the water line is within close proximity of a catch basin, manhole, culvert, large storm sew other object of susceptibility for freezing, and as otherwise shown on the plans. Care shat taken to avoid scratching the water pipe with the backhoe bucket. If scratched, it shall be repaired per 4.4.4. These requirements shall also be applied to existing water main when where Contractor is explicitly required to insulate.

	3.03 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.	F. All unwrapped joint restraint rod & clamps shall be thoroughly coa with an approved bituminous protective coating, per Section 4.9.3.
	A. Excavation:	3.07 Polywrapping
	a. Include cost of sawing and breaking pavement in unit prices bid for water main.	A. All installed iron piping shall be wrapped; including valves, valve
rary water ide	 b. Include cost of excavation of soils for installation of water main and associated appurtenances in unit prices bid for water main. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water main. 	Polywrapping shall be incidental to the cost of water main constructi service connections shall be incidental to the price bid for that work. polyethylene must be made by covering defect with polyethylene an tape alone is not allowed. Any damage to the coating on existing inc
e water e of 35 psi	B. Include cost of dewatering excavation in unit prices bid for water main. C. Include costs for disposal of material in unit prices bid for water main.	service must be repaired with an approved bituminous protective co
the use	D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices	3.08 Air Relief Assemblies
utilize back stem. nd/or	bid for water main. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water main.	A. For manual air relief assemblies the standard cast iron box must rest directly on water main or copper tube. A curb stop and box, per the water valve box. The stop box lid shall be replaced with a snug (90 degree) swivel quarter bend (i.e. FCTxFC/Ford L04-44S or equa
least one	F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main.	the 1" ball-style curb stop (i.e. flared outlet Ford B22-444M, B22-444 eliminate a sweeping loop in the copper tube. Bend should attach to base. A "stop & waste" style curb stop is preferred. In lieu of a "stop weep hole shall be drilled at the base of the riser. Existing and prop
an Water and put water	G. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main.	stop valve shall be at least 5'-6". If necessary, set the assembly alo (per section 4.17.2) the portion between corp and curb stop which h and/or proposed cover. Cost of insulation shall be incidental to air n
	H. Pavement, sidewalk, driveways and curb and gutter:	3.09 Hydrostatic Testing
pth.	 a. Include cost of replacing any damaged or removed concrete pavement, sidewalk, driveways, curb and gutter in the respective unit prices bid for water main. I. Thrust blocking and restraining water main: 	A. A combined pressure and leak test typically will be allowed. It sha and witnessed by Utility, during normal working hours, with no charg successful tests (if any fail, they will be charged at regular rates) for
d by the	a. Include all associated costs of thrust blocking and water main restraint in unit prices bid	B. Though a test section may include more than one segment, any a
52. not in	for water main.	be at least momentarily checked to see that they hold system press valves. When practical, they shall be checked for 100% shutoff in ea
	J. Polyethylene wrap: a. Include costs of 12 mil polyethylene wrap for all ductile iron pipe, fittings, valve boxes, hydrants, services and other ductile iron and cast iron appurtenances in unit prices bid for	C. The pressure & leak test gauge shall be at least 2.5" diameter wir psi or 4" diameter with a range of no more than 300 psi. The gauge to exceed 5 psi in the testing range.
eft	water main. K. Tracer Wire:	D. The duration of the "final" pressure test shall be two hours. The test, if needed, shall be two hours.
	a. Include costs of all materials, testing and all work associated with installation of tracer wire in	
e Water	unit prices bid for water main.	3.10 Bacteriological Testing
ses shown ate	L. Erosion and Sediment Control: a. Include costs of erosion and sediment control in unit prices bid for water main. b. Include costs of dust control and sweeping roadway in unit prices bid for water main.	A. The Contractor shall provide a hydrant nozzle valve for each hyd desired. Temporary sample cocks and fittings, when necessary, sharemoved by Contractor, and main plugged, in presence of Engineer brass plugs, or suitable plug on outlet of corp when attached to a sampling (For an example of a flucting & compling accomply, and
proval	M. Tree Clearing and Grubbing:	sampling. (For an example of a flushing & sampling assembly, see I B. All work associated with flushing and sampling must be performe
facilities vance	a. Include cost for clearing or grubbing in unit prices bid for water main. b. Replacement trees or shrubs and new trees and shrubs shall be included in unit prices bid for water main.	Main Testing & Sampling Procedures," found within the appendix. C. Contractor shall provide chlorinating materials and equipment. Pe Tablets, if used, shall be attached with USDA approved food grade
	N. Traffic Control:	Form-a-gasket No. 2 and Permatex Clear RTV Silicone Adhesive Se
facilities	a. Include all associated costs to design, implement and maintain traffic control items in lump sum price bid for traffic control.	D. When flushing mains, highly chlorinated water shall be thoroughly approved methods. New mains shall be flushed, when possible, at prior to sampling and being put into service.
ll be hall be	O. Utility and Lateral Crossings: a. Include cost of utility company to relocate or reinforce poles, ties or anchors, and expose	WATER SERVICE CONNECTIONS
d.	existing utilities in unit prices bid for water main and services. b. Include cost of locating and excavating, as needed, existing utilities to confirm their location	PART 1 – GENERAL
e used for d not	and elevation in order to plan for avoiding interferences in unit prices bid for water main construction. Laterals damaged due to construction activities shall be restored and repaired	1.01 SUMMARY
	at the cost of the contractor. c. Design of pipe support and supporting existing sewers, water main and all other utilities and laterals shall be included in unit prices bid for water main.	F. This Section identifies specifications on excavation, and water se
uired place	P. Removal and abandonment of existing water main, hydrants and associated appurtenances shall	G. Water service connections shall comply with chapters and sectio in Part 2 of this section.
lus	be included in the unit prices of water main.	H. Water service connections shall be installed using parts identified
ckfill	 Q. Trench Maintenance: a. Include all associated costs for installing and maintaining the trench and trench surface 	I. Payment of this section should be covered by line items reference
	until the dates determined elsewhere in the contract in unit prices bid for water main.	J. The saddles, taps, and corporation stops shall be provided by Co
ns, in	R. Water Service Reconnect:	PART 2 – PRODUCTS 2.01 Standard Specifications for Sewer and Water Construction in V
ests and 400 feet	 a. Include all associated costs to furnish, install and reconnect existing copper service, where plans indicate, in unit prices bid for water service reconnect. Include all associated material, labor and equipment for excavation, backfill and pavement restoration required for service reconnect in unit prices bid for copper service 	dated December 22, 2003 with Addendum No. 1 dated December 2 Addendum No. 2 dated April 22, 2008
eof, at 1000 feet e work. -excavate	reconnect. S. Temporary External Water Supply System:	2.02 Minneapolis pattern curb stop boxes shall be used for all instal inside diameter of 1.25". (Shut off rods are not to be furnished.) Le that there is at least 4" of telescopic adjustment in either direction. (I standard 7' boxes, the service will have to be about 6 ½' deep to all
	a. Include all associated costs to design, furnish, install, disinfect and maintain external water supply system in unit prices bid for Temporary External Water Supply System. b. Include all costs to provide a standby contact, available 24 hours a day for emergency	up and down.) Boxes shall be of iron and/or steel composition, the steel. Lids shall be included, with standard 1-1/4" pentagon brass p the marking "water". Pre-approved service boxes are
foot of the when	situations in unit prices bid for Temporary External Water Supply System.	A. A.Y. McDonald #5614 w/1514L lid, Ford #EM2, or Mueller equal sized base to fit the curb stop valve thread.
ge the paint,	3.04 Bid price for "reconnect existing water service" shall be the price paid for each existing copper service (of a particular size) that is being reconnected from the main being abandoned to the new main being installed, when such bid item exists.	2.03 Curb stops that are cast into sidewalks shall be Neenah R-750 marking "water".
e once each poxes in	3.05 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe. Final testing of the tracer	2.04 Inlet, ball & outlet sizes of corps are to be of the same size, an service size required. Outlets shall be "straight" for service connect copper flared. Compression joints shall provide high pull-out resistan (and saddles where used) shall provide electrical continuity from tub
sections k up by	wire will be performed by the Utility; discontinuities shall be repaired by the Contractor.	style corps are required; plug style are not allowed.2.05 Saddles shall be appropriately sized to fit the pipe. Saddles
ny such properly	3.06 Water Main Construction	must have a close range for use on PVC. Outlets shall be AWWA
ital to water mair	A. Additional crushed stone required for trench stabilization beneath the first 3" will be paid for according to the bid item for 1-1/2" foundation stone. Bid price shall include cost of furnishing and placing material, as well as costs of additional excavation, sheathing, shoring, dewatering,	2.06 Pre-approved models of 1" curb stops (compression inlet-C.T.s are:
inless ns of 2' over and ness shall	and disposal of excess material attributable to this item. In order to receive compensation for this item, authorization shall be received from Engineer whenever and wherever bottom is unsuitable for pipe support. Payment shall be based on compacted volume computed by multiplying actual depth not to exceed the amount authorized, commencing 3" below bedding	A. A.Y. McDonald #6104Q or #6104-22, B. Ford #B44-444M-Q, and C. Mueller #H-15155 and #B-25155.
ot or n 6'	material, by average width not to exceed O.D. of pipe plus 24", by length equal to length of trench stabilized, as witnessed by Engineer.	2.07 Water service installation, repair or replacement piping shall be PVC, PE or ductile iron, class 52 min.
s, sulated ter	B. Bedding and cover material shall be sand conforming to Sec. 8.43.2(c), as shown on File #36 in the Standard Specifications, except that cover material shall extend to 12" over pipe.	PART 3 – EXECUTION
ter never wer or	C. Wherever excavated material is deemed suitable by Engineer for bedding and cover material, a	3.01 Materials Identification
all be e n and	credit of \$10.00 per cubic yard shall be taken by the Utility for each in place cubic yard of cover and bedding material required, based on an average width of trench of pipe O.D. plus 24". D. Valves, hydrants, and special fittings may be supported in vertical positions on solid concrete	A. Contractor is responsible for line tracing the water services prior Water services are private infrastructure, and the Water Utility cannot locations. Any concrete that needs to be replaced due to incorrect I the bid for water convice replacement, water main to curbaten
	block or concrete support. If wood blocking and shims are used, they shall be of good quality hardwood. Loose and soft ground shall be removed and replaced with stone and blocking of	the bid for water service replacement, water main to curbstop.

E. Solid concrete block and/or hardwood buttressing of equivalent dimensions shall be substituted for concrete behind hydrants and beyond tees, crosses and dead-ends which may be extended in the future, provided they can be placed against firm, undisturbed trench walls, and perpendicular to direction of thrust. If adequate support against firm, undisturbed earth cannot be obtained for buttressing, submit thrust restraint design to Engineer for approval.

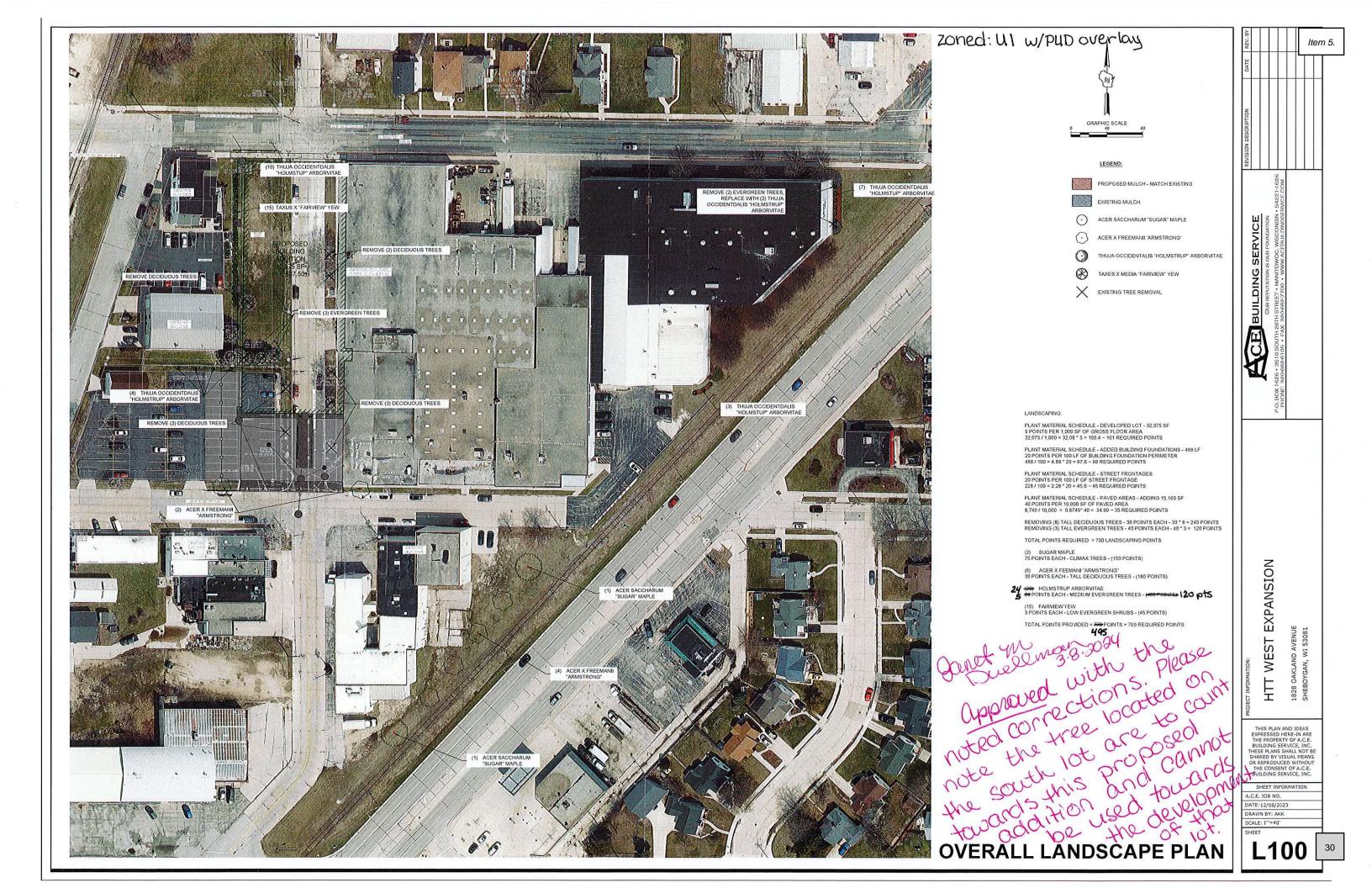
size sufficient to provide stable and unsettling support.

B. Contractor is responsible for identifying service materials prior to any concrete disruption in the street or the property. Existing copper or plastic services should not be replaced as part of this project.

3.02 Excavations must be conducted in accordance with OSHA Standard CFR 1926.60. General requirements include:

A. A safe means of egress must be in all trench excavations that are 4 feet or more in depth.

Item 5. ated for corrosion protection B. Daily inspections of trench, adjacent areas, and protective systems must be conducted by the boxes, fittings and hydrant. Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-652. tion. Polywrapping of Repairs to damaged C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches not in nd/or approved tape; duct conformance with OSHA standards. ron water lines remaining in D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic. E. Open excavations must be barricaded off and completely covered with $\frac{3}{4}$ " plywood if left unattended. t be blocked so that it does not r specs, shall be installed in F. Contractor to use an OSHA compliant shield or trench box when completing work. The Water fitting plastic cap instead. A Utility reserves the right to stop work due to unsafe working conditions. al) shall be installed at outlet of 4SWM, or equal) so to o stop to keep within valve 3.02 Incidental Work: Work specified in this subparagraph is incidental work. The following items o & waste" style, a small include cost in unit price bid items identified, but not limited to this or other sections. posed depth of cover at curb ongside the main, and insulate A. Excavation: has less than 5'-6" of existing relief assembly. a. Include cost of sawing and breaking pavement in unit prices bid for water services. b. Include cost of excavation of soils for installation of water services and associated appurtenances in unit prices bid for water services. c. Include cost of sheeting, shoring and bracing materials, including installation nall be performed by Contractor and removal in unit prices bid for water services. ge to Contractor for RVIC r such witnessing. B. Include cost of dewatering excavation in unit prices bid for water services. C. Include costs for disposal of material in unit prices bid for water services. and all intermediate valves shall sure, including hydrant lead D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit each direction. prices bid for water services. Ш 5 vith a range of no more than 200 E. Include costs of insulation for water main and appurtenances, as indicated in plans and e shall read in increments not as directed by engineer, in unit prices bid for water services. U BUILDIN F. Include costs of all materials, testing and all work associated with installation of tracer e duration of the "final" leakage wire in unit prices of water services. G. Removal and abandonment of existing water services associated appurtenances shall be included in the unit prices of water services. H. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for frant to facilitate flushing, if water services hall be furnished, installed and with watertight cc threaded I. New Water Service Connections: addle, at completion of Detail on Plan.) a. Include all associated costs to furnish and install materials required to connect 1" copper or plastic services as contract documents indicate, in unit prices bid ed in accordance with "Water for water services. b. Include costs to locate existing service material prior to connection in unit prices for water service connections. Permatex No. 1 is not allowed. adhesives, such as Permatex 3.03 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) ealant. being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or ly de-chlorinated, by continuously, if necessary, to maintain its position on top of the pipe. t a min. velocity of 2.5 ft./sec., 3.04 Water services and curb stop boxes shall be placed where and at the elevation designated by the Water Utility and/or the City DPW or Plumbing Inspector, and all materials furnished and installed in accordance with the City of Sheboygan plumbing code. 3.05 All ends on copper tubing shall be reamed to remove any burrs. All service work shall be inspected for proper use of materials and workmanship, adequate depth and location, visually for leaks, measured and recorded, all by the Utility's and/or City's inspector, prior to backfilling. 3.06 Any water service damaged by the Contractor shall be properly repaired at the Contractor's ervice installation. expense. This work shall meet all State and local plumbing codes. ons of the referenced documents 3.07 Contractor should relocate curbstop boxes that fall within driveways, curbing, sidewalks or other concrete structures. ed in this section. 3.08 Residential Meter Settings- The following specifications provide consistent standards for water meter settings in the City of Sheboygan. Based on information obtained from American ed in section 01 41 43. Water Works Association (AWWA) standards, Badger Meter Inc., and Master Meter Inc., these specifications help to ensure the meter's accuracy and the safety of workers who must ontractor. maintain meters. A. Horns: Meter horns are required on all residential installations, including single and multiple dwelling units. Horns must not have built-in backflow prevention. Meter horns are not required on Wisconsin - 6th Edition existing installations unless the entire meter setting must be rebuilt. Meter horns have a 7 1/2" 22, 2004 and inch laying length. Ζ B. Valves: All meter settings must have two valves (inlet and outlet). Existing installations with only a llations, with a minimum functional inlet valve are acceptable. If an existing setting has two valves in need of replacement, **0IO** ength shall be such then the setting will need to be rebuilt, including the addition of a horn. Outlet valves shall not be NOTE: When using installed closer than 12" from the meter horn flanges. Multiple dwelling and commercial settings XPANS] low adjustment both must have a lockable in-valve, minimum ³/₄", plumbed directly to the horn. Valves with removable upper section of handles are not acceptable. plug, and be of cast iron with C. Support: All meter horns shall be full pipe clamped to the wall or floor within 6" inches of the inlet and outlet of the horn. All support hardware must be compatible material to reduce the potential ; with appropriately for galvanic action with the piping. Support hardware cannot distort, cut, or abrade the piping and must be sufficiently rigid to support the piping and its contents. Radiator clamps and pipe rests are Ш not acceptable means of support. 06C style boxes, with a cover \vdash D. Clearance: All meter settings shall maintain 18" of unobstructed space from the floor to center ഹ Ś pipe of the meter. The center pipe of the meter shall be no higher than 48" from the floor. A nd no smaller than the minimum of 12" of unobstructed space must be maintained above the meter lens. ≥ МE tions. Outlets may be nce. Corporations E. If multiple meters are stacked, 24" of unobstructed space shall be maintained between the lbe to main. Ball bottom meter, center of pipe and the top meter, center of pipe. If multiple meters are parallel or in a row, 6" of space must be maintained between each meter horn. 36" of unobstructed space must be maintained in front of the meter setting. with iron bodies in particular 8 thread Ī 18 F. Meter settings that currently comply with Sheboygan Water Utility specifications need not be replaced. .S. x compression outlet-C.T.S.) 3.09 Grounding A. Contractor to verify the need for grounding before performing that work on a property. Grounding to be completed at the time of water service replacement as to minimize THIS PLAN AND IDEAS inconvenience to the customers, and to ensure that the property is always properly grounded EXPRESSED HERE-IN ARE during construction. THE PROPERTY OF A.C.E. e either type "K" soft copper, BUILDING SERVICE, INC. 3.10 Restoration of water to the properties is required after the service replacement has occurred. THESE PLANS SHALL NOT BE Water restoration includes scheduling access to the property and scheduling a meter installation SHARED BY VISUAL MEANS with the Water Utility at least 24 hours in advance. The curbstop should be turned on and OR REPRODUCED WITHOUT flushing of the service should be completed by the contractor prior to meter installation. THE CONSENT OF A.C.E. BUILDING SERVICE, INC. SHEET INFORMATION to construction or road sawing. not guarantee the exact A.C.E. JOB NO. line tracing is incidental to DATE: 12/08/2023 DRAWN BY: AKK SCALE: NTS SHEET **C501 CITY SPECIFICATIONS**

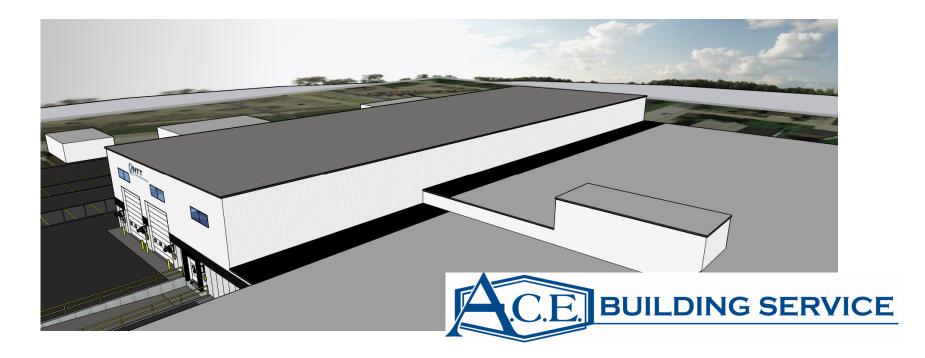












CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Precise Implementation Plan by A.C.E Building Service, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Program Assistant

REPORT DATE: March 5, 2024

MEETING DATE: March 12, 2024

FISCAL SUMMARY:

Budget Line Item:N/ABudget Summary:N/ABudgeted Expenditure:N/ABudgeted Revenue:N/A

STATUTORY REFERENCE:

Wisconsin N/A Statutes: Municipal Code: N/A

BACKGROUND / ANALYSIS:

Today, the Plan Commission will be reviewing the HTT, Inc. Precise Plan (PIP) for property located at parcels 59281425440, 59281425550, and 59281425510.

The applicant states the following about the HTT, Inc. project:

- This project will be a 32,075 square foot expansion of HTT, Inc. to the west of the existing building.
- Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project.
- Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion.
- The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.9%. Proposed building area is 48.9%.
- A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

- The proposed expansion site will occupy the recently vacated S. 19th Street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southwest and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others.
- Drive access to the expansion will be provided from Oakland Ave. No access will be provided from Union Ave.
- The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.
- Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland Ave., relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.
- The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

Requested exceptions from the underlying zoning district:

- An exception to Section 105-530(b)(3) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to nonresidential rear/front lot line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.
- An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive. Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.
- An exception to the landscape points required and to the required location of said plantings. The plan that has been submitted has been approved with the following notes: The new trees to be planted on parcel # 59281425650 located south of Oakland Avenue are to be used for the addition to the west side of the existing building located at 1828 Oakland Avenue and cannot be used towards points of the future development of parcel # 59281425650.

STAFF COMMENTS:

The surrounding neighborhood zoning is:

• The properties to the east are zoned Railroad (RR).

- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential-6 (NR-6).
- The properties to the south are zoned Urban Industrial.
- The properties to the west are zoned Urban Industrial.

ACTION REQUESTED:

Staff recommends approval of the HTT Precise Implementation Plan subject to the following conditions:

- 1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
- 2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
- 3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
- 4. Submittal and approval of a landscape plan prior to building permit issuance. Landscaping shall be installed prior to occupancy.
- 5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
- 6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
- 7. All areas used for parking/maneuvering of vehicles shall be paved prior to issuance of an occupancy permit.
- 8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
- 9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
- 10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
- 11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
- 12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
- 13. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
- 14. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
- 15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited

3

to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.

- 16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. Nothing shall be located on the City Union Avenue public right-of-way. It is up to the applicant to ensure that all of the construction takes place on their private property and not in the City right-of-way.
- 17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
- 18. If there are any amendments to the approved PIP (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new PIP application reflecting those amendments.

ATTACHMENTS:

Precise Implementation Plan and required attachments.

ltem	6.	



APPLICATION FOR CONDITIONAL USE

Fee:	\$250.0	0

Review Date: _____

Zoning: ____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Infor	mation							
Applicant Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.	t Name (Ind., Org. or Entity) Authorized Repres		Title Estimator/Project Manager					
Mailing Address 3510 S. 26th Street	City Manitowoc		State Wl		ZIP Code 54220			
Email Address eaugustine@acebuildingservice.com		Phone Number (incl. area code) 920-682-6105						
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)								
Applicant Name (Ind., Org. or Entity) HTT, Inc.	Title Senior Manager - Supply Chain							
Mailing Address 1828 Oakland Ave	City Sheboygan		State Wl		ZIP Code 53081			
Email Address blischka@htt-inc.com	Phone Number (incl. area code) 920-453-5370							
SECTION 3: Project or Site Location								
Project Address/Description 1828 Oakland Ave., Sheboygan, WI 53081		Parcel No. 59281425440						
SECTION 4: Proposed Conditional Use								
Name of Proposed/Existing Business:	HTT, Inc.							
Existing Zoning: Urban Industrial (UI)								
Present Use of Parcel:								
Proposed Use of Parcel:	Industrial							
Present Use of Adjacent Properties:	Industrial							
SECTION 5: Certification and Permission								
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.								
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.								
Name of Owner/Authorized Represent Eric Augustine	Title Estimator/Project M		Phone Ni 920-682-					
Signature of Applicant	Date Signed							

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.



City of Sheboygan **Plan Commission** 828 Center Avenue Sheboygan, WI 53081

PUD General Development Plan and Precise Implementation Plan Narrative

Project Location: HTT, Inc. 1828 Oakland Ave. Sheboygan, WI 53081

Existing Parcels 59281425440, 59281425550, and 59281425510

Description: Part of Blocks 4 & 5, Including vacated alleys and adjacent S. 19th Street, Located in the NE ¼ of the NW ¼ of Section 34, Town 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.

Zoning: Urban Industrial (UI)

Applicant:

A.C.E. Building Service, Inc. 3510 S. 26th Street Manitowoc, WI 54220 Contact: Eric Augustine

Property Owner:

HTT, Inc. 1828 Oakland Ave Sheboygan, WI 53081 Contact: Bob Lischka

Project Description:

32,075 square foot expansion of HTT, Inc. to the west of the existing building.

General project themes and images:

Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project. See attached renderings of the proposed addition.

The general mix of dwelling unit types or land uses:

Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion



Approximate residential densities and nonresidential intensities as describe by dwelling units per acre, floor area ratio, and impervious surface area ratio:

The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.6%. Proposed building area is 48.9%.

The general treatment of natural features:

A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

The general relationship to nearby properties and public streets:

The proposed expansion site will occupy the recently vacated S. 19th street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southeast and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others. Drive access to the expansion will be provided from Oakland Ave. No drive access will be provided from Union Ave.

The general relationship of the project to the comprehensive master plan:

The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.

A statement of rationale as to why PUD zoning is proposed. This shall identify barriers that the applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the applicant suggests are available through the proposed PUD zoning:

Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland, relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

A complete list of zoning standards which will not be met by the proposed PUD and the locations in which they apply and a complete list of zoning standards which will be more than met by the proposed PUD and the locations in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the plan commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility:

An exception to Section 15.105(3)(b)(F) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to Rear Lot Line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.

An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive.



Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.

A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any:

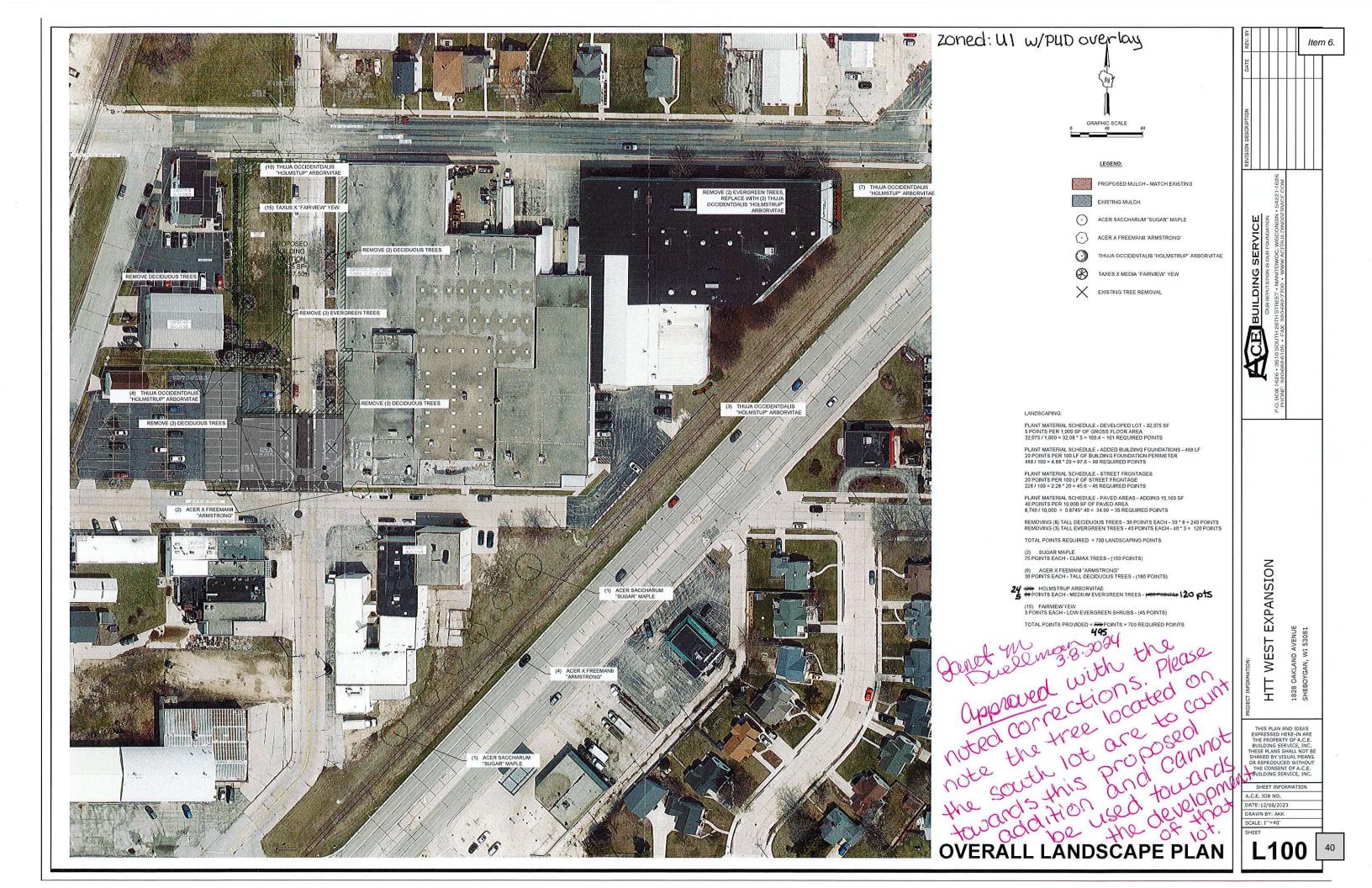
No known property owner association exists. No known deed restrictions exist.

A written description which demonstrates the full consistency of the proposed PIP with the approved GDP:

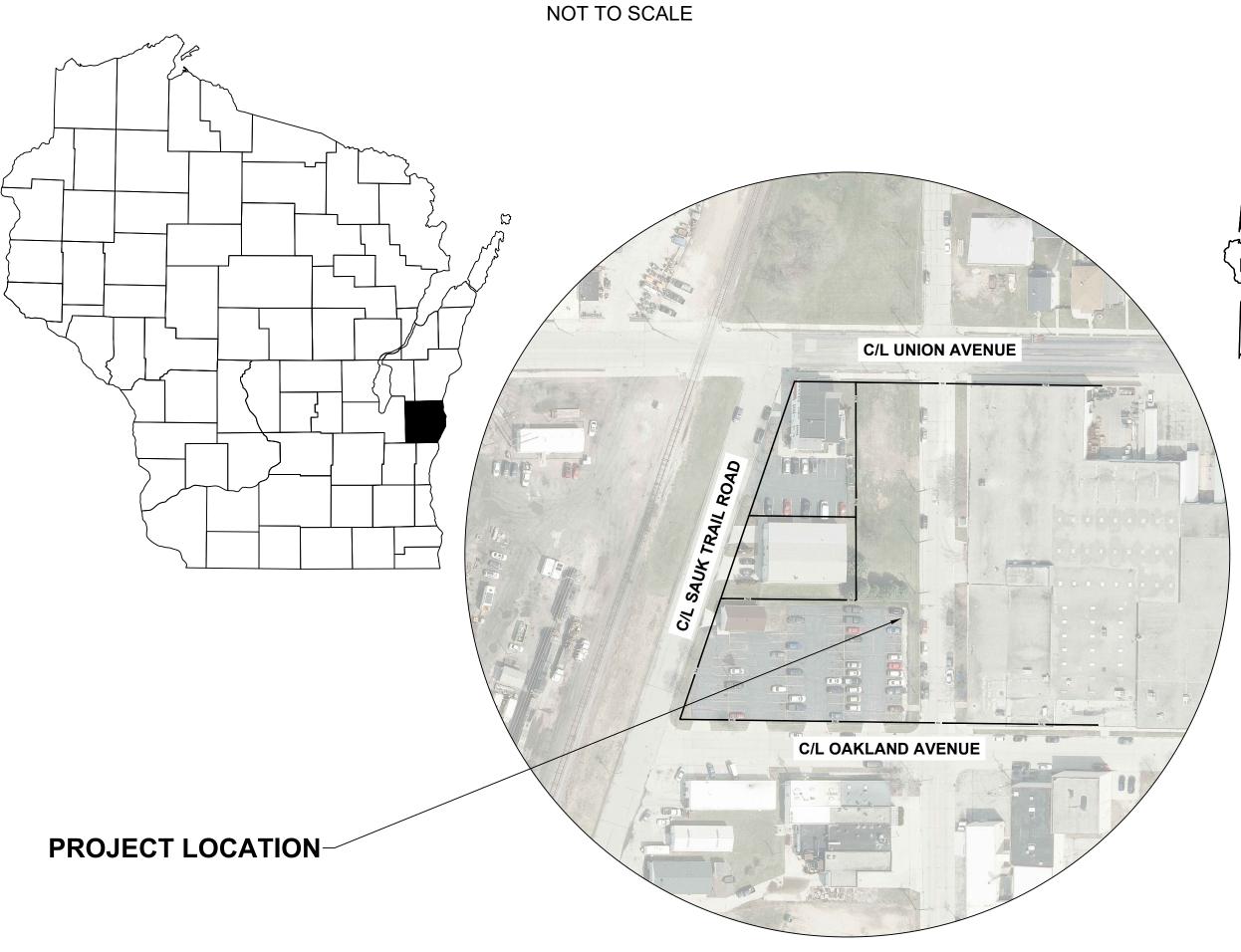
The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development:

Proof of financing capability for the project is assumed to be verified at a later date between HTT, Inc. and City of Sheboygan.



HTT WEST EXPANSION **1828 OAKLAND AVE, SHEBOYGAN, WI 53081 CIVIL ENGINEERING DRAFT PLANS**



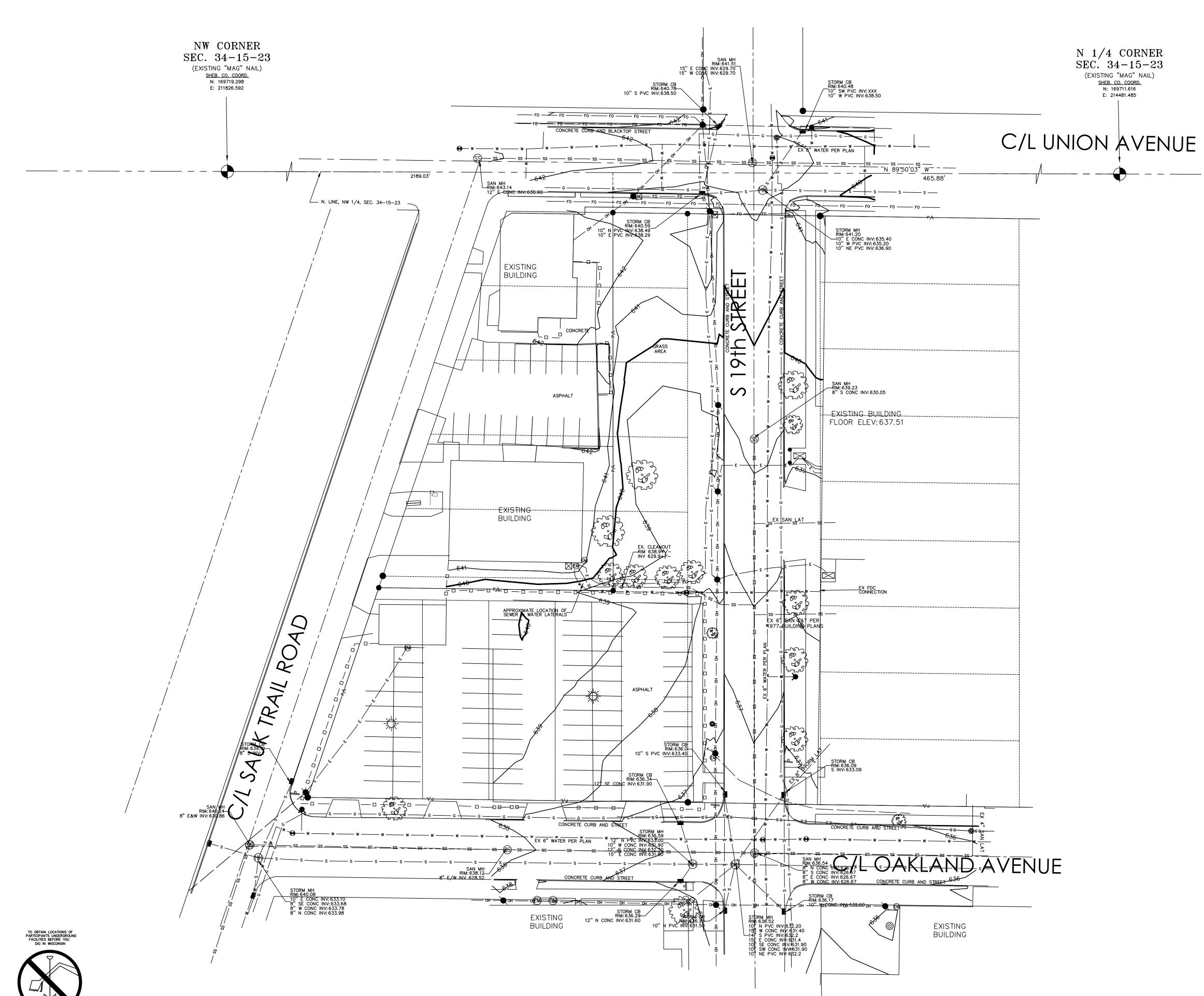


SHEET NO.	DESCRIPTION
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C301	SANITARY PLAN PROFILE
C302	WATER MAIN PLAN PROFILE
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	CITY SPECIFICATIONS

SHEET INDEX

FEBRUARY 27, 2024

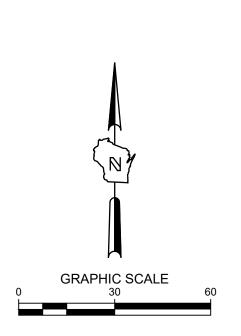
ltem 6.





MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



LEGEND:

	LEGEND:
•	= 3/4"x 18" IRON REBAR SET WEIGHING 1.13 LBS/FT
\sim	= COMBINED LOTS
>	= EXISTING HYDRANT
	= EXISTING STORM INLET
\bowtie	= EXISTING TRANSFORMER
EM	= EXISTING ELECTRIC METER
ال ب الج	= EXISTING LIGHT POLE
GM	= EXISTING GAS METER
ø	= EXISTING POWER POLE W/GUY WIRE
\boxtimes	= EXISTING TELEPHONE PEDESTAL
Ô	= EXISTING GAS VALVE
•	= EXISTING BOLLARD
٩	= EXISTING TRAFFIC SIGN
	= EXISTING TREE
Θ	= WATER VALVE
Θ	= EXISTING CLEAN OUT
(000)	= "RECORDED AS" DIMENSIONS
MH	= EXISTING SANITARY MANHOLE
S	= EXISTING STORM MANHOLE
\bullet	= EXISTING 3/4" IRON ROD
•	= EXISTING 3/4" IRON PIPE
•	= EXISTING 1/4" IRON ROD
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— FO ——	= EXISTING FIBER OPTIC
S	= EXISTING STORM SEWER
— W ——	= EXISTING WATER
— E ——	= EXISTING ELECTRICAL
G	= EXISTING GAS
-0	= EXISTING FENCE
— он ——	= OVERHEAD POWER LINE

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

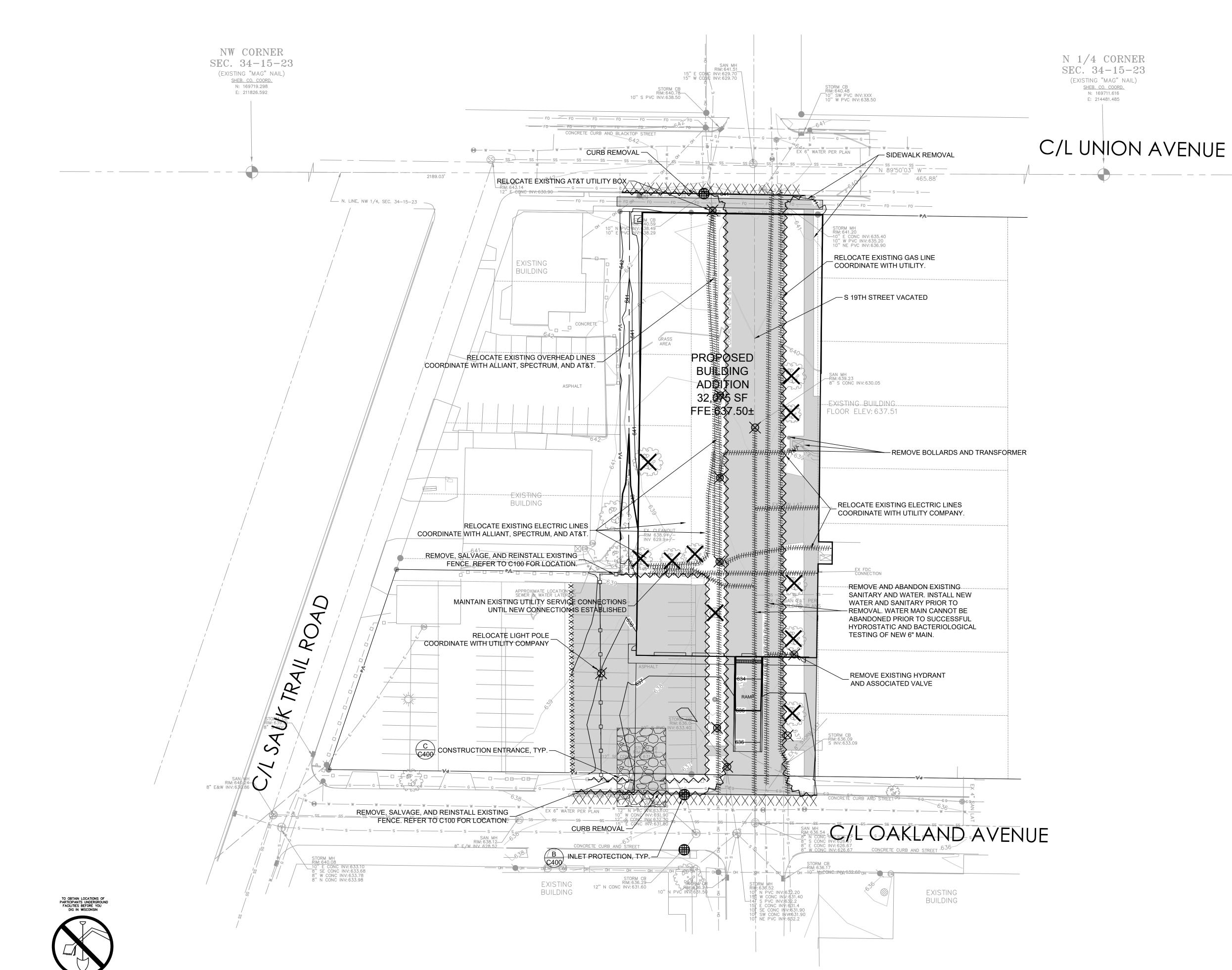
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT ON JANUARY 23, 2024.

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5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

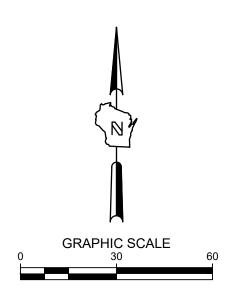
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CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



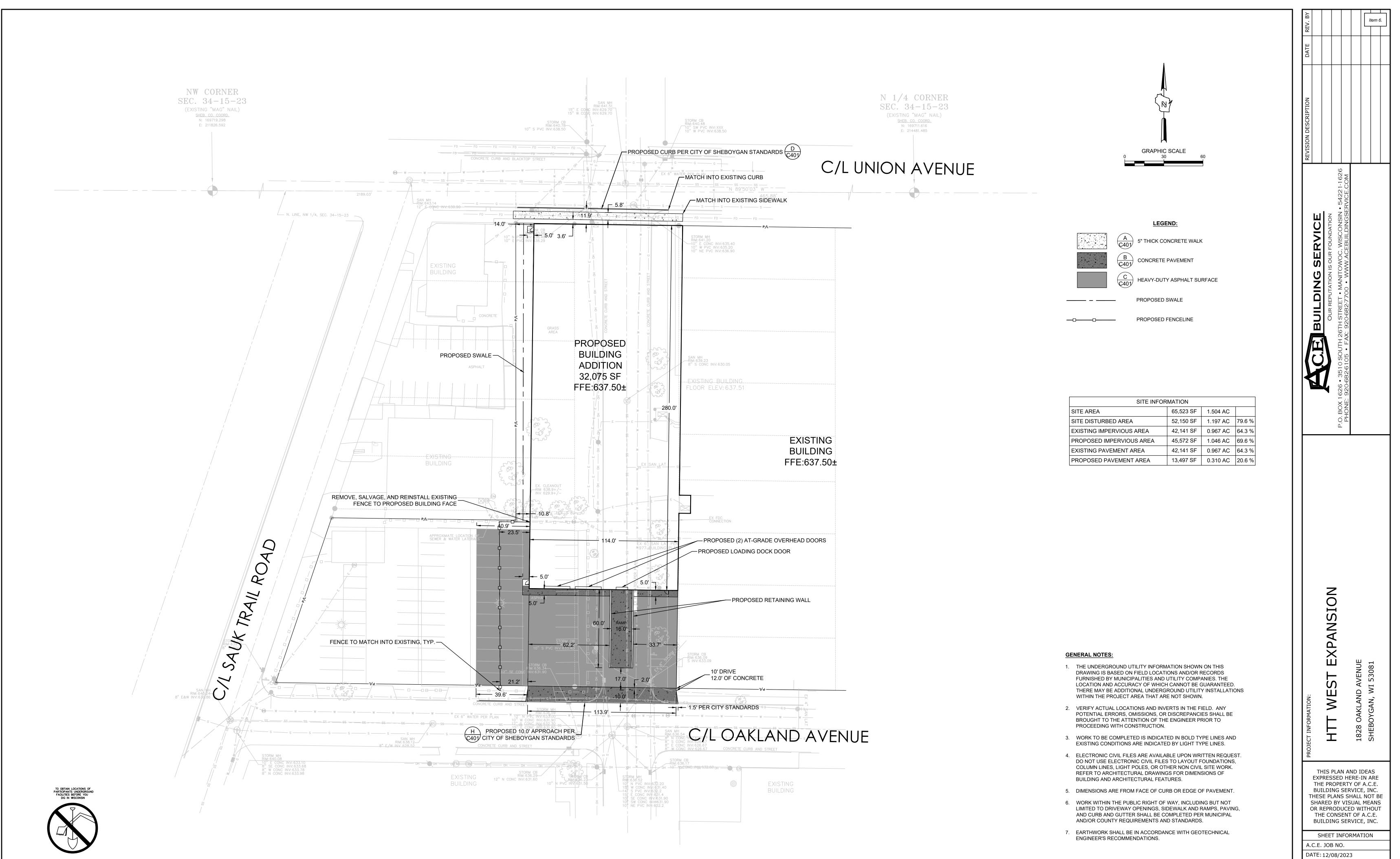
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C C400	PROPOSED TRACKING PAD
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GENERAL NOTES:

- 1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
- VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
- 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
- 5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
- 6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

SITE DEMOLITION AND **EROSION CONTROL PLAN**

P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 REVISION DESCRIPTION DATE REVISION DESCRIPTION P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 EPENDE EPENDE	EST EXPANSION ST EXPANSION ST EXPANSION D AVENUE M 53081 M 5 10081 M	Provision Revision Date P.O. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.O. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.O. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.D. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.D. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.D. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date P.D. BOX 1626 • 351 0 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 5422 1-1626 Date Date	REV. BY						1	tem 6	5.
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	JECT INFORMATION: HTT WEST EXPANSION 1828 OAKLAND AVENUE 1828 OAKLAND AVENUE SHEBOYGAN, WI 53081	THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC. SHEET INFORMATION A.C.E. JOB NO. DATE: 12/08/2023 DRAWN BY: AKK SCALE: 1''=30' SHEET		CE BUILDING SERVICE	OUR REPUTATION IS OUR FOUNDATION	P.O. BOX 1626 • 3510 SOLITH 26TH STREET • MANITOWOC WISCONSIN • 54221-1626	PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM				
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CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

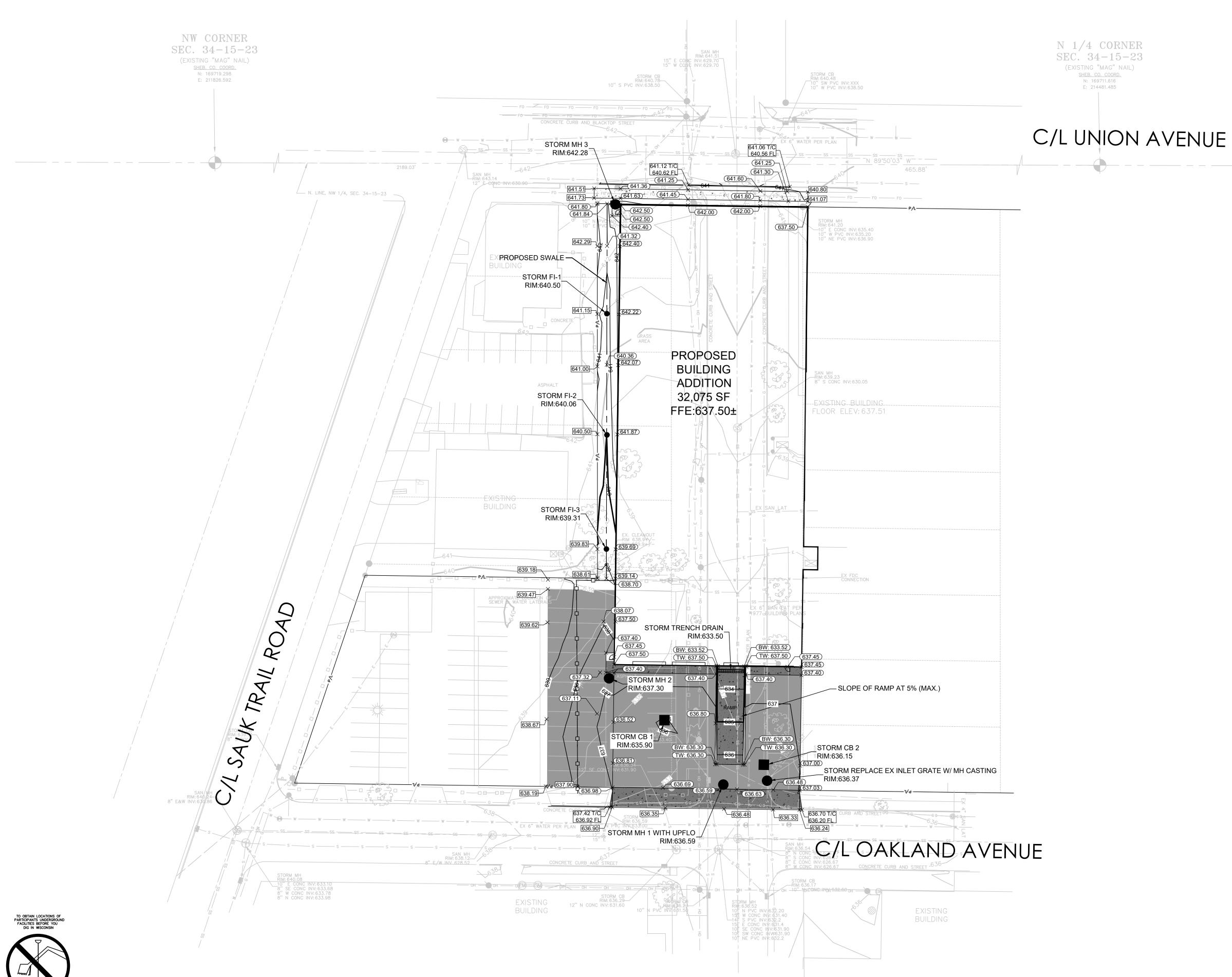


DRAWN BY: AKK

C100

SCALE: 1''=30'

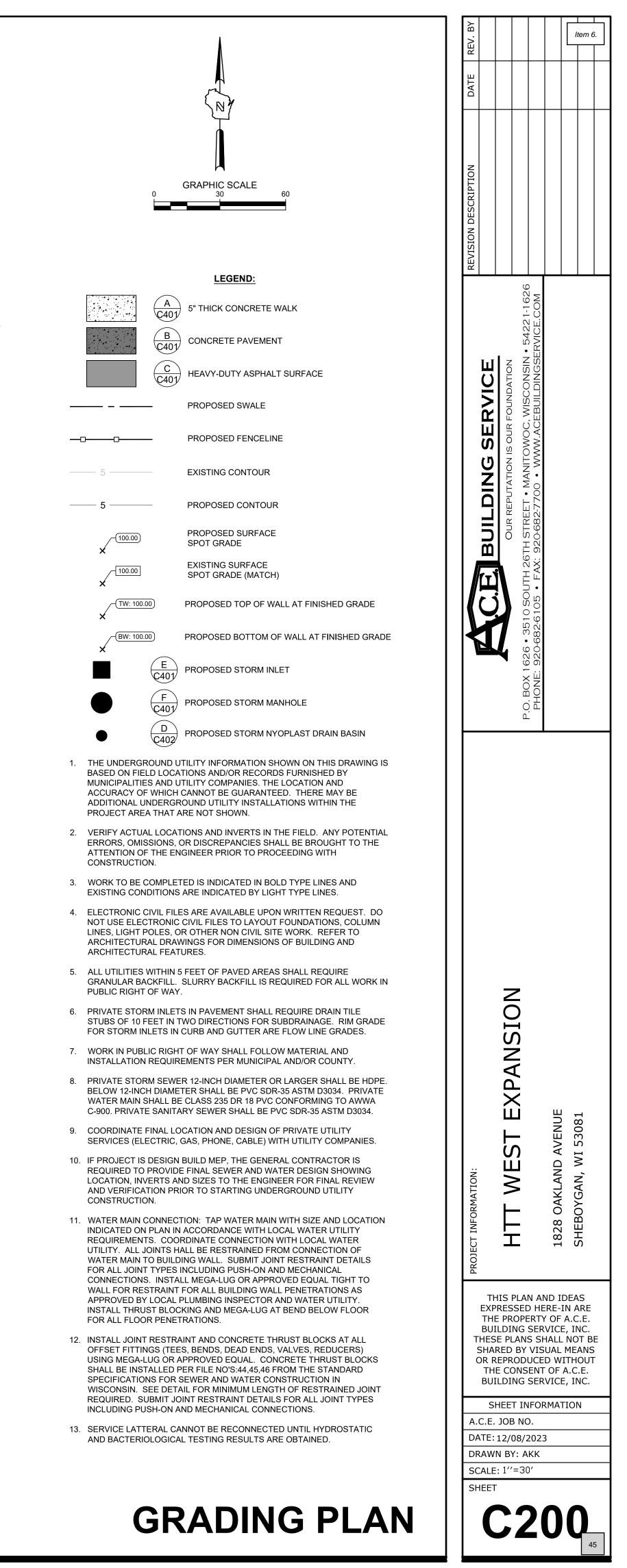
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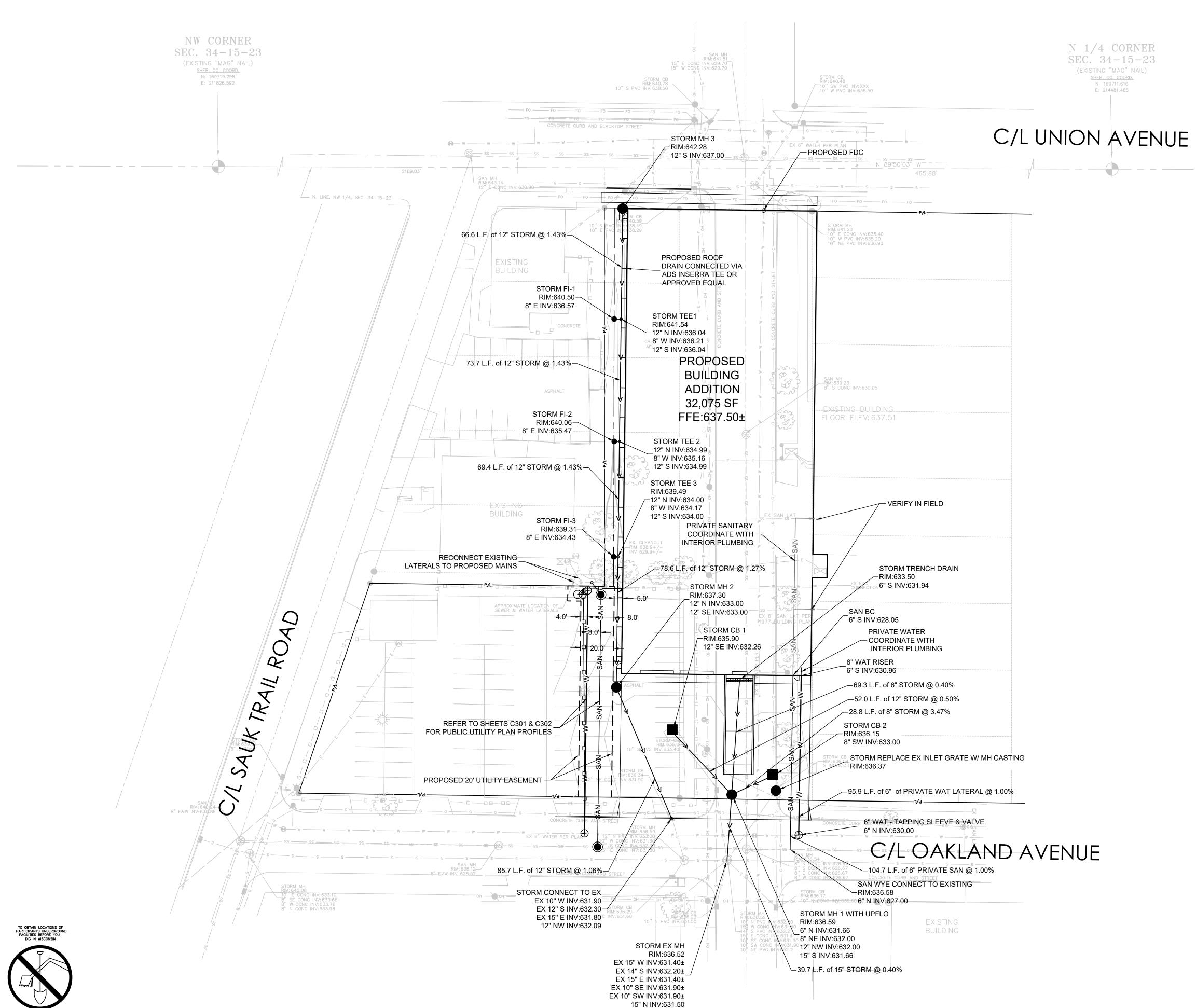




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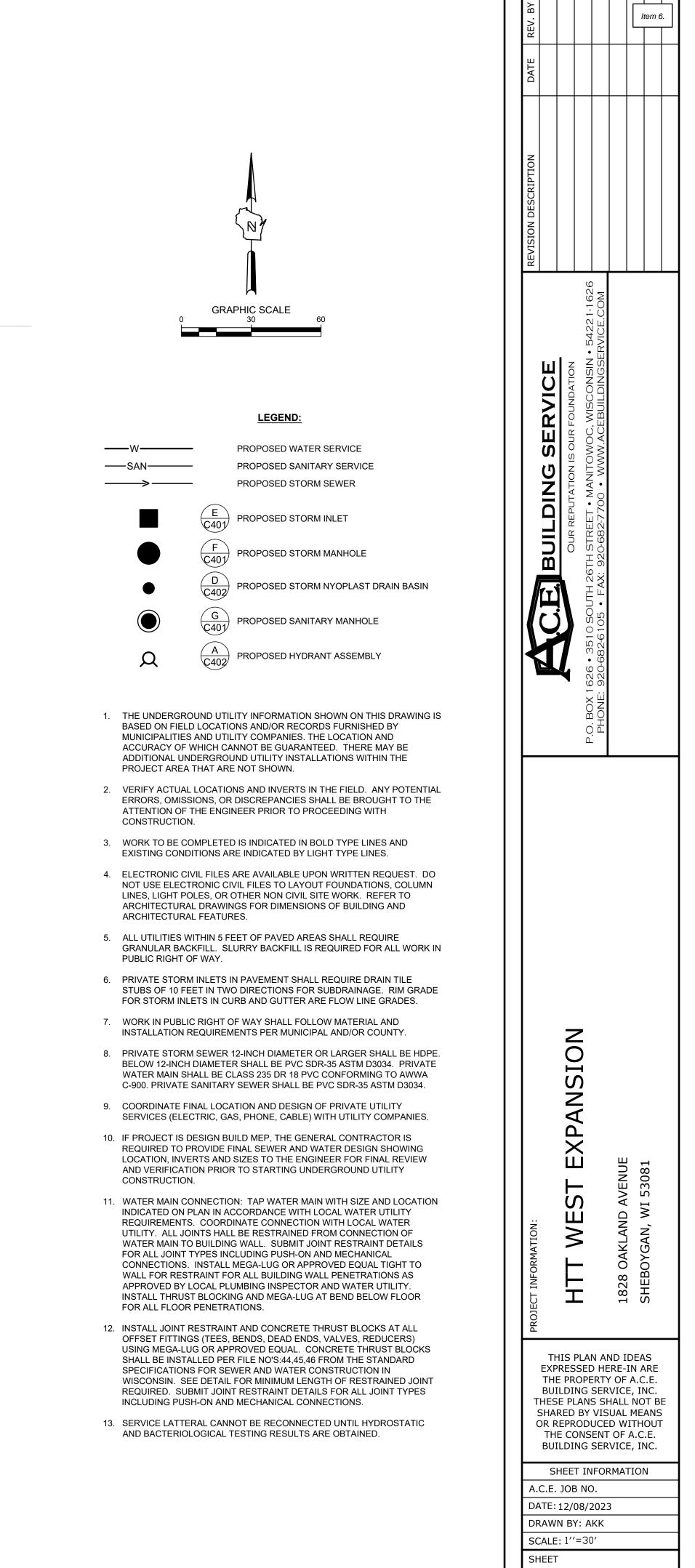






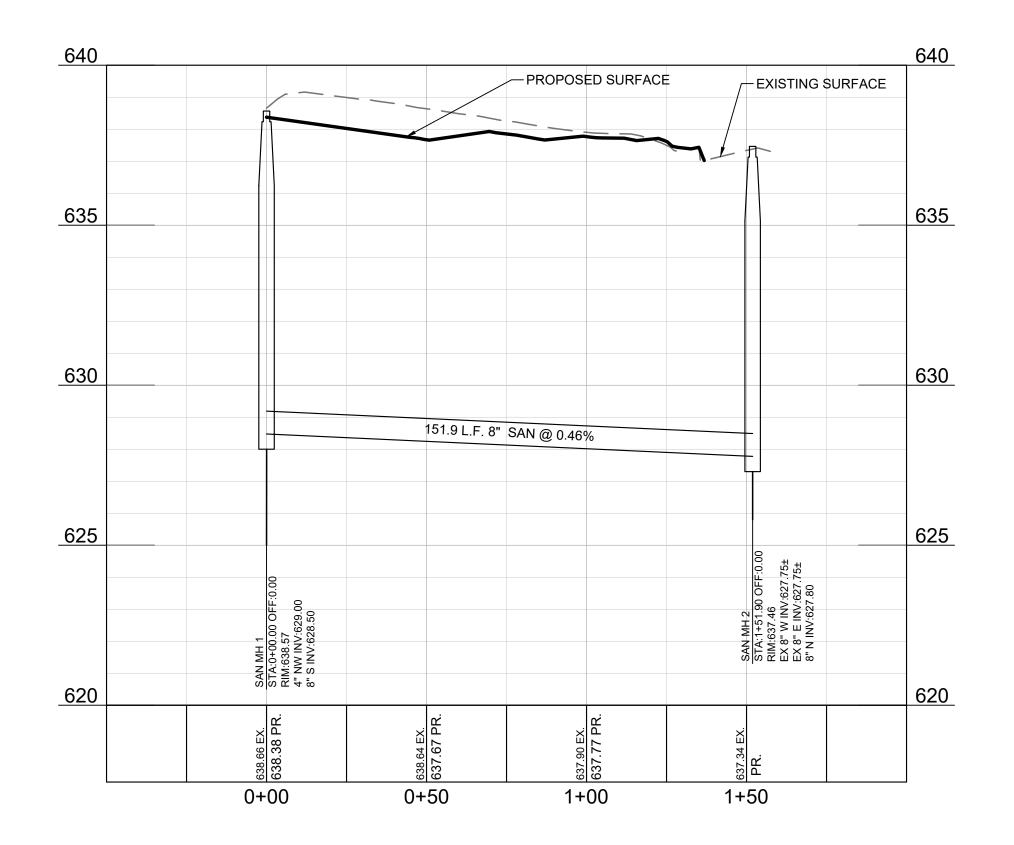
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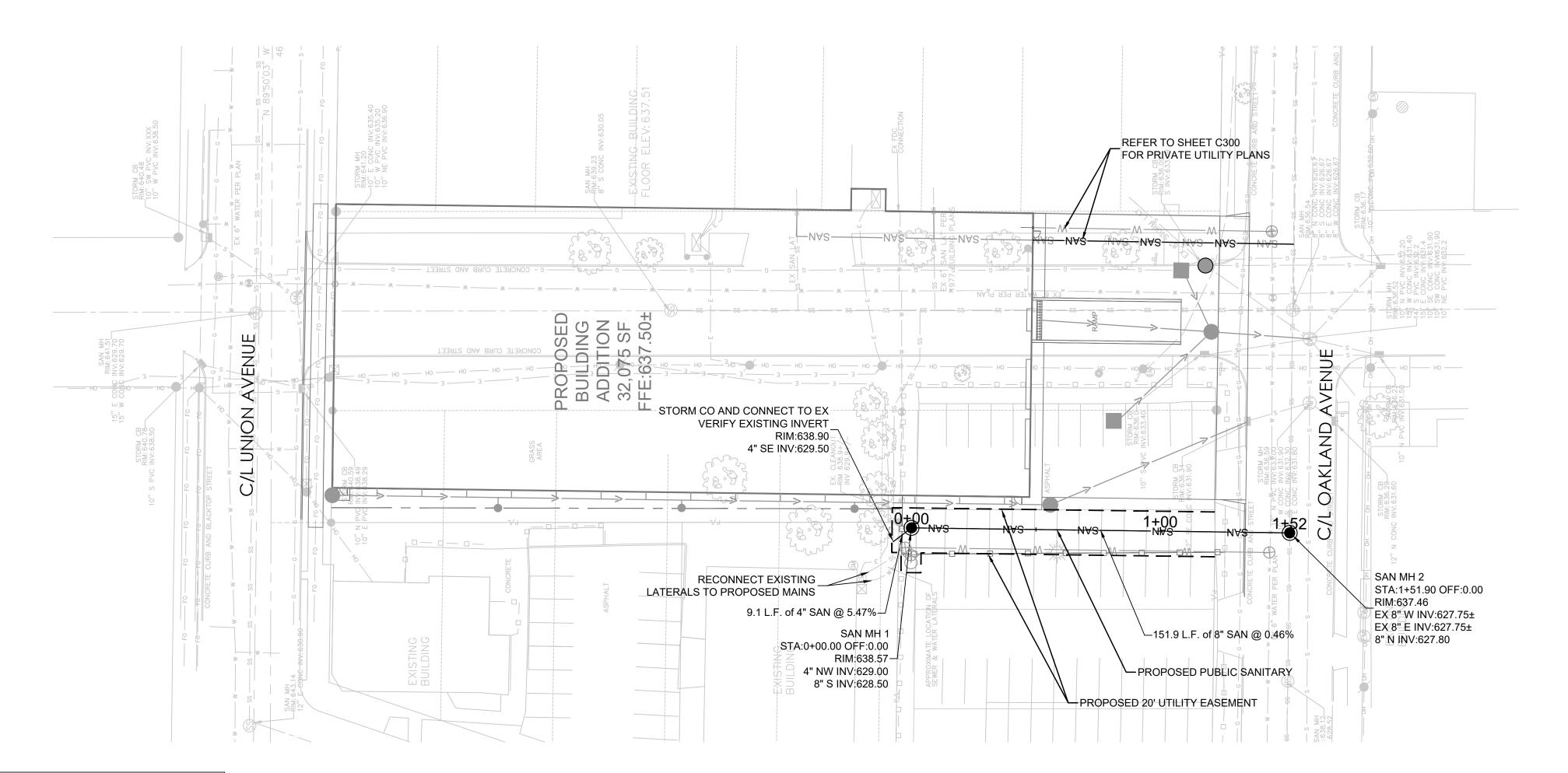
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UTILITY PLAN

C300

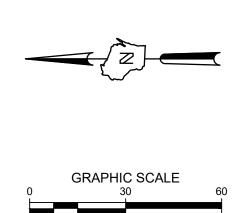




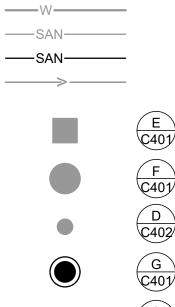


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LEGEND:



PROPOSED STORM INLET

PROPOSED WATER SERVICE

PROPOSED SANITARY SERVICE PROPOSED STORM SEWER

PROPOSED PRIVATE SANITARY SERVICE

F PROPOSED STORM MANHOLE

PROPOSED STORM NYOPLAST DRAIN BASIN

C401 PROPOSED SANITARY MANHOLE

(A) PROPOSED HYDRANT ASSEMBLY

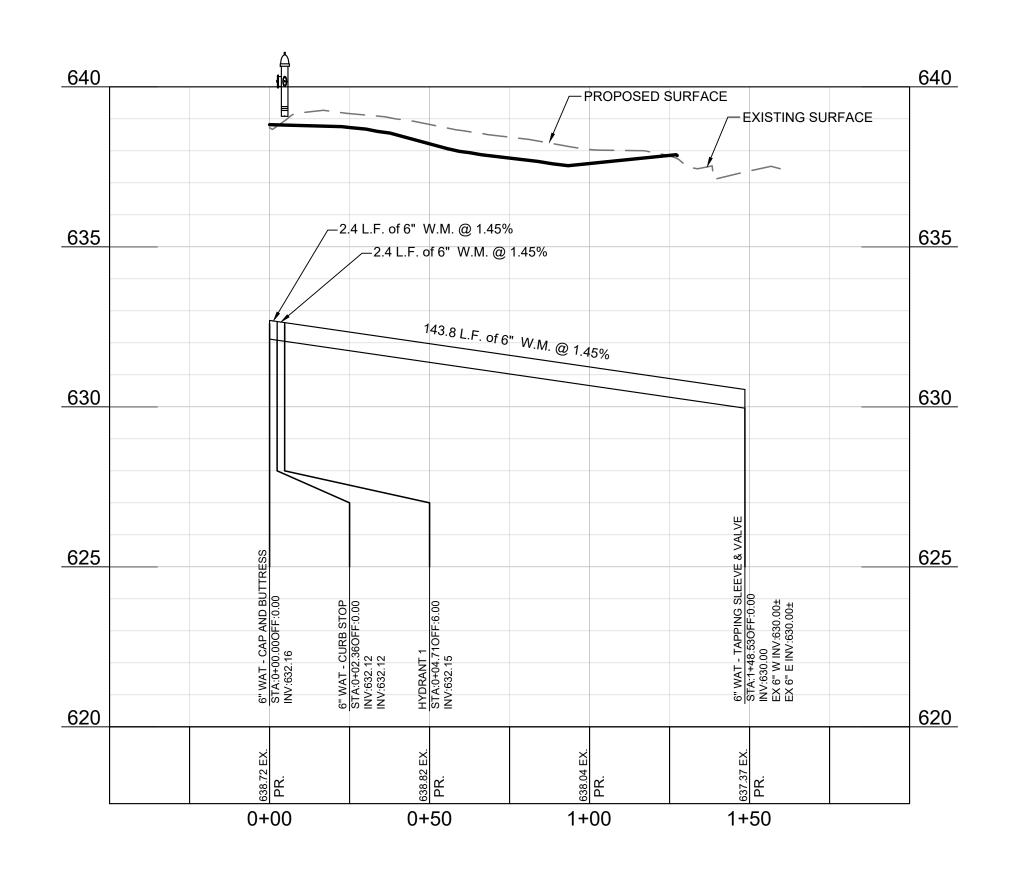
GENERAL NOTES:

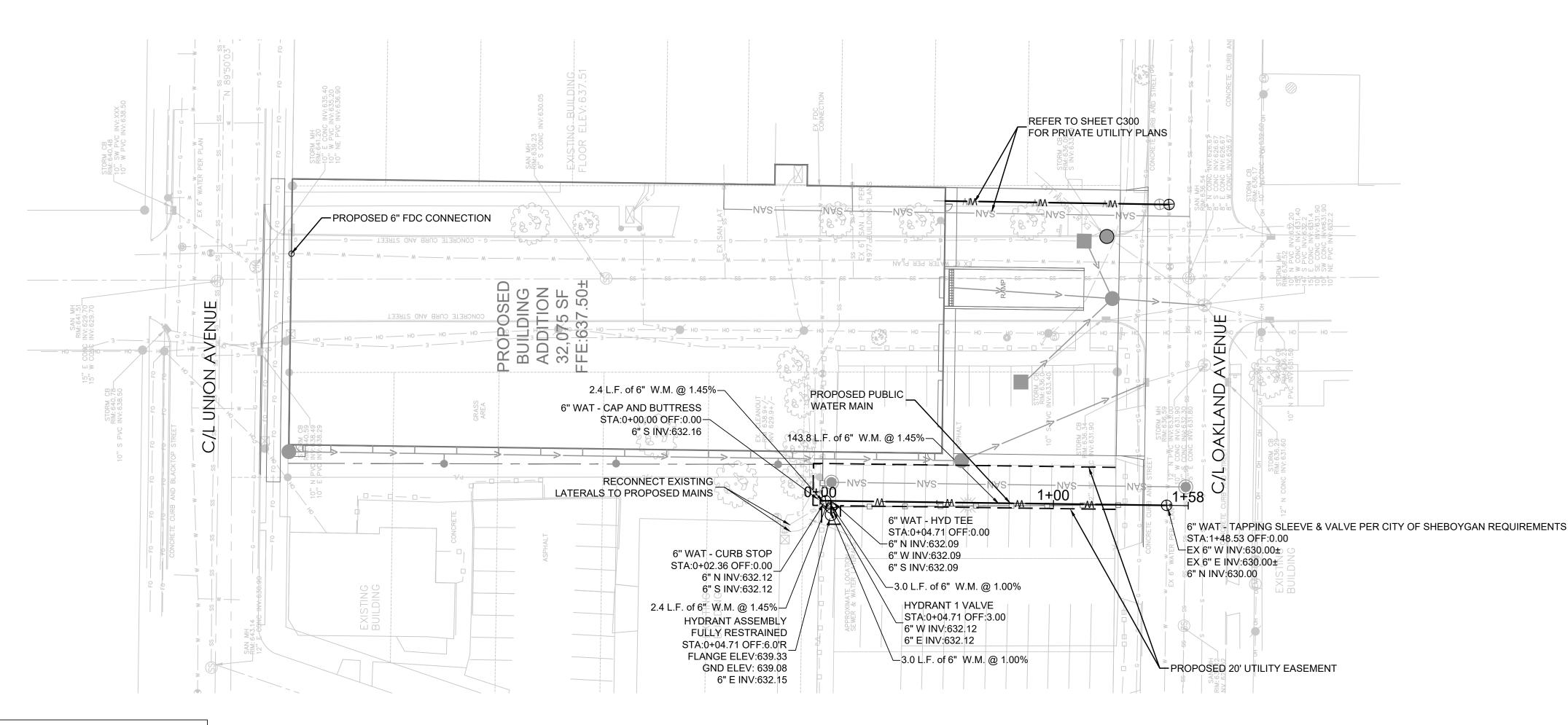
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- 2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
- 4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
- ALL UTILITIES WITHIN 5 FEET OF PAVED AREAS SHALL REQUIRE GRANULAR BACKFILL. SLURRY BACKFILL IS REQUIRED FOR ALL WORK IN PUBLIC RIGHT OF WAY.
- 6. PRIVATE STORM INLETS IN PAVEMENT SHALL REQUIRE DRAIN TILE STUBS OF 10 FEET IN TWO DIRECTIONS FOR SUBDRAINAGE. RIM GRADE FOR STORM INLETS IN CURB AND GUTTER ARE FLOW LINE GRADES.
- 7. WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
- 8. PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 235 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
- 9. COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.
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- 13. SERVICE LATTERAL CANNOT BE RECONNECTED UNTIL HYDROSTATIC AND BACTERIOLOGICAL TESTING RESULTS ARE OBTAINED.

SANITARY PLAN PROFILE

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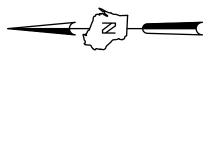




TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FAULTIES BEFORE YOU DIG IN WISCONSIN

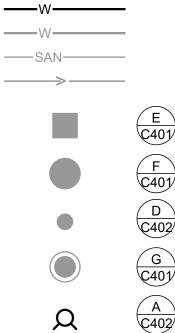
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GRAPHIC SCALE

LEGEND:



PROPOSED PRIVATE WATER SERVICE PROPOSED SANITARY SERVICE PROPOSED STORM SEWER

PROPOSED WATER SERVICE

PROPOSED STORM INLET

F PROPOSED STORM MANHOLE

PROPOSED STORM NYOPLAST DRAIN BASIN

G C401 PROPOSED SANITARY MANHOLE

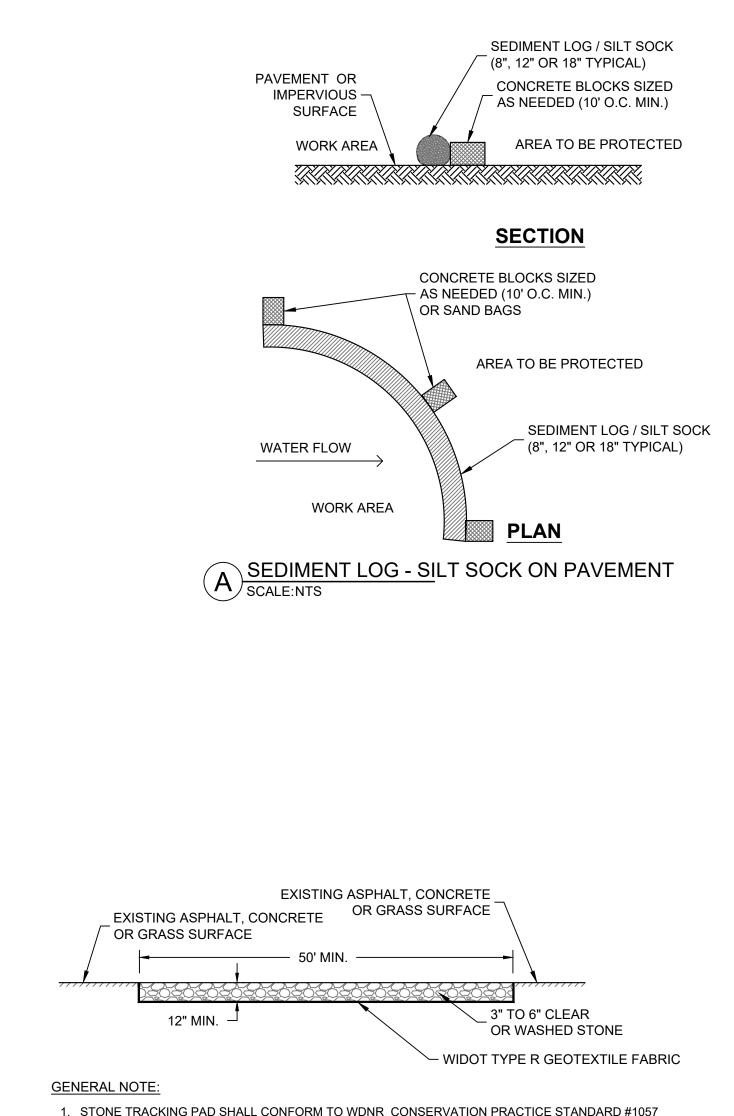
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WATER MAIN PLAN PROFILE

PROJECT INFORMATION: PROJECT INFORMATION: Determined SERVICE Revision Description Data HTT WEST EXPANSION Determined SERVICE Determined SERVICE <t< th=""><th>INFORMATION: ITT WEST EXPANSION ITT WEST EXPANSION</th></t<>	INFORMATION: ITT WEST EXPANSION ITT WEST EXPANSION
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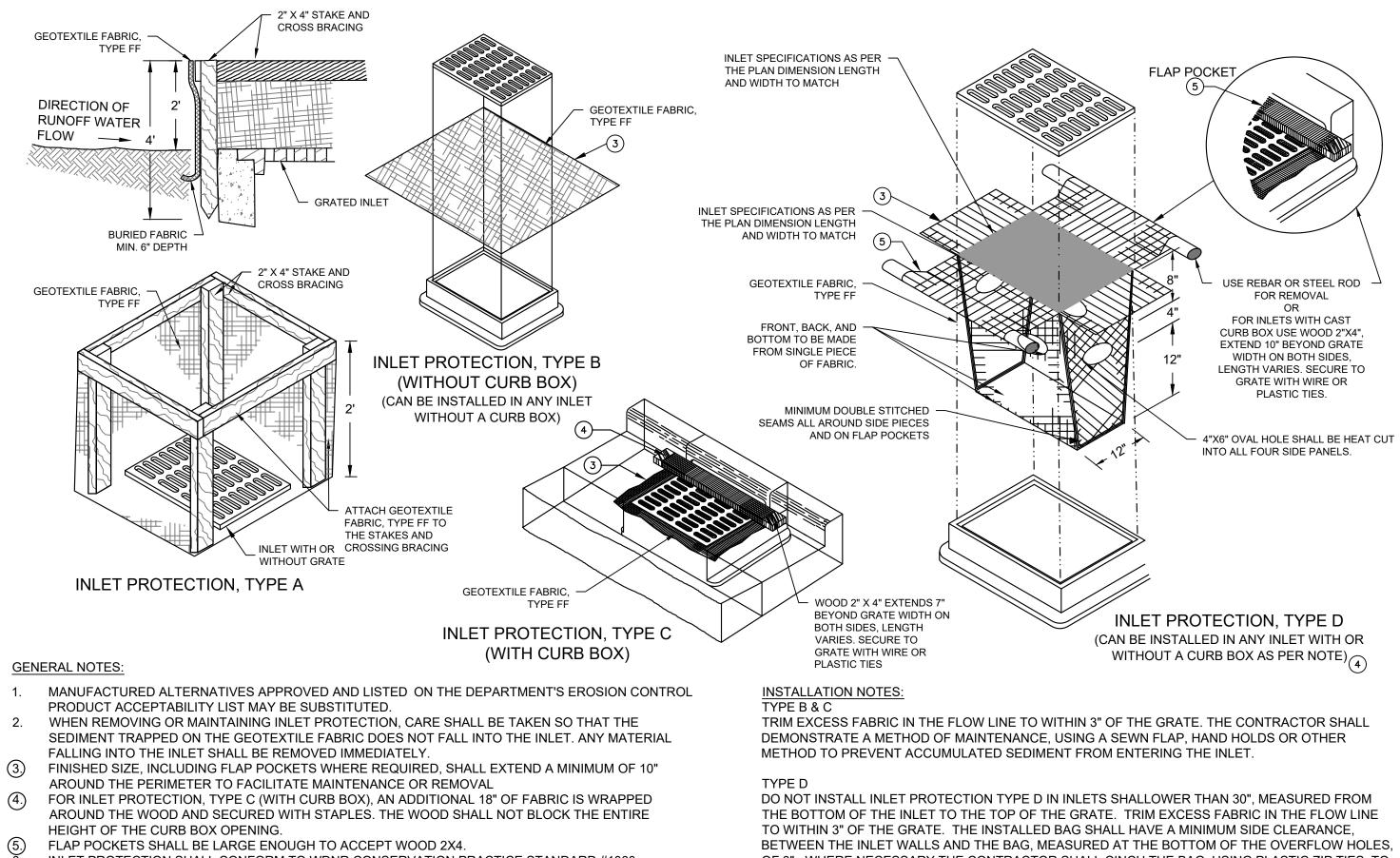


1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057 2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

CONSTRUCTION ENTRANCE - WDNR TS-1057

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:

- INSTALL STABILIZED CONSTRUCTION ENTRANCE. INSTALL SILT FENCING AND INLET PROTECTION.
- INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
- 4. STRIP TOPSOIL FROM LOCATION OF STOCKPILE. 5. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE. 6. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDNR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL
- HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING. 8. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW
- STORM SEWER OUTFALLS. 9. INSTALL PAVEMENTS.



INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060 THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

(B) INLET PROTECTION - WDNR TS-1060 SCALE:NTS

EROSION CONTROL NOTES:

- 1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. 2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING
- OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE. 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR
- SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS. 4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE
- WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER. 5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- 6. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- 7. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT. 8. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- 9. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN
- OR RECEIVING CHANNELS. 10. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 11. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY OF SHEBOYGAN BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY THE CITY OF SHEBOYGAN OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- 12. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL
- OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY. 13. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A
- PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. 14. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL.
- STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED. 16. NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY. 17. OBTAIN PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- 18. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. 19. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. 20. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE DISTURBANCE OF EXISTING VEGETATION DURING CONSTRUCTION.
- 21. CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS. 22. WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE. 23. CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- 24. PERMAMENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE
- THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH. 25. IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WONR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

10. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING. 11. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

EROSION CONTROL DETAILS

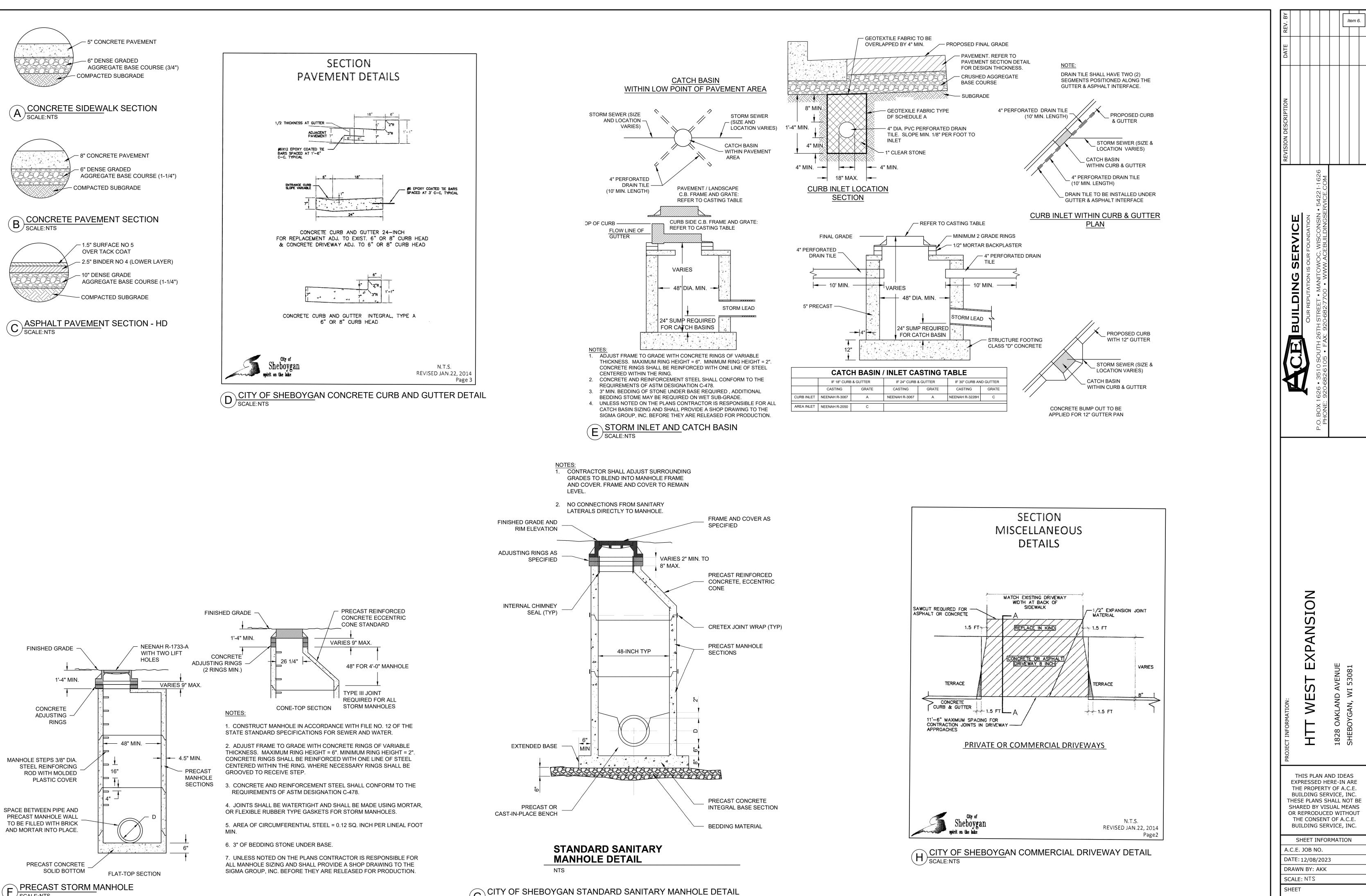
15. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW

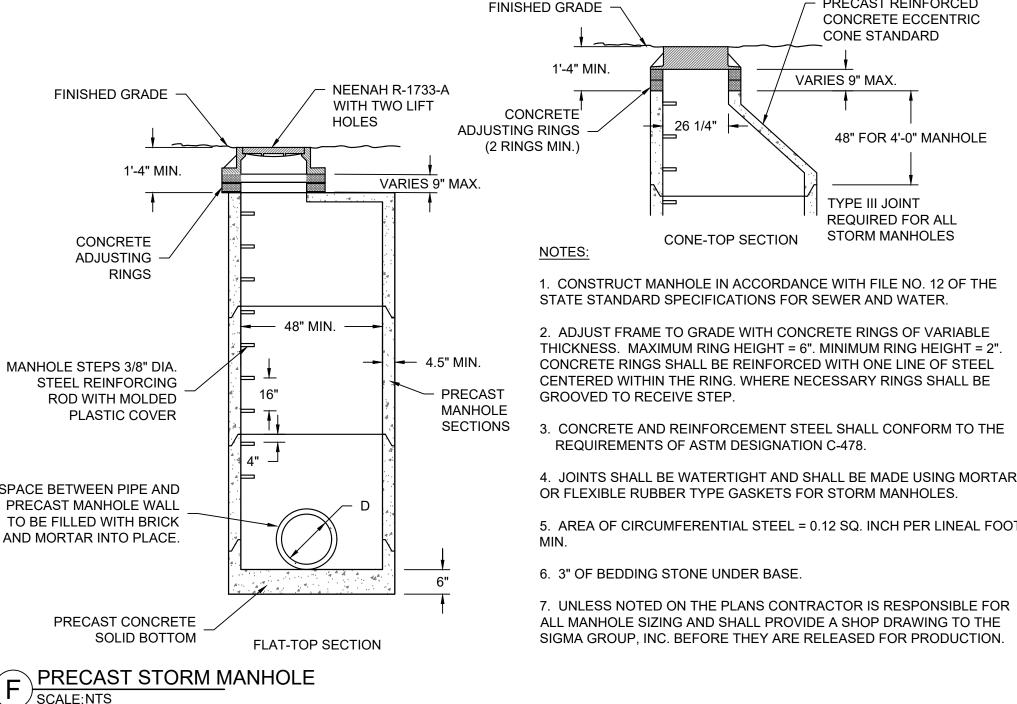
DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES,

OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACES AT A MAXIMUM OF 4" FROM THE BOTTOM

OF THE BAG.

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INFORMATION: Information IT WEST EXPANSION Our REPUTATION IS OUR FOUNDATION ITT WEST EXPANSION P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM REBOYGAN, WI 53081 HEBOYGAN, WI 53081 HEBOYGAN, WI 53081	PROJECT INFORMATION: PROJECT INFORMATION: PROJECT INFORMATION: PROJECT INFORMATION PROVIDENCE ON PROVIDENCE ON
- INFORMATION: HTT WEST EXPANSION 328 OAKLAND AVENUE HEBOYGAN, WI 53081	INDIVINUAL MEANS NOISNA THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC. HESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC. SHEET INFORMATION A.C.E. JOB NO. DATE: 12/08/2023 DRAWN BY: AKK
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	SCALE: NTS

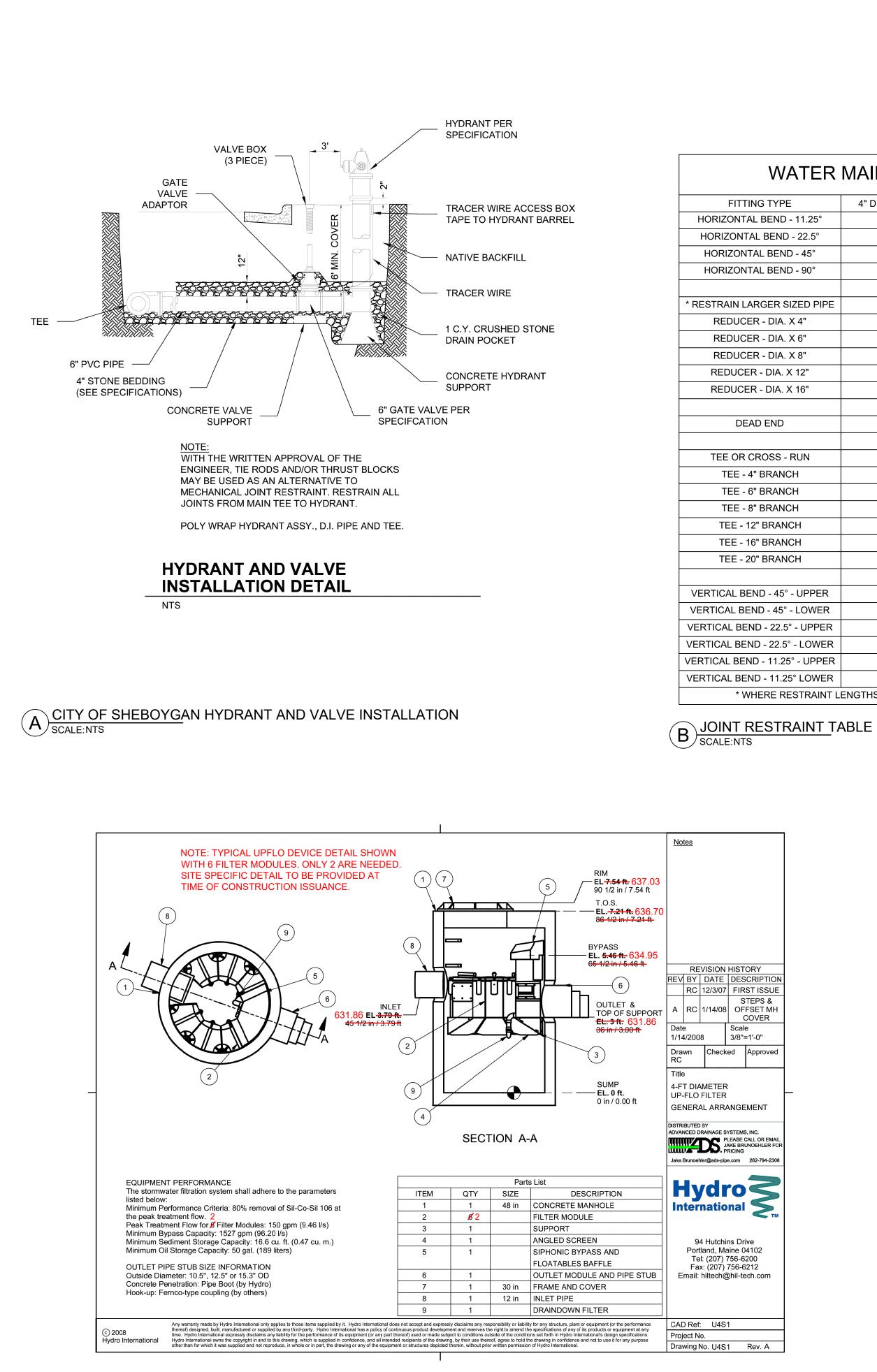




G CITY OF SHEBOYGAN STANDARD SANITARY MANHOLE DETAIL



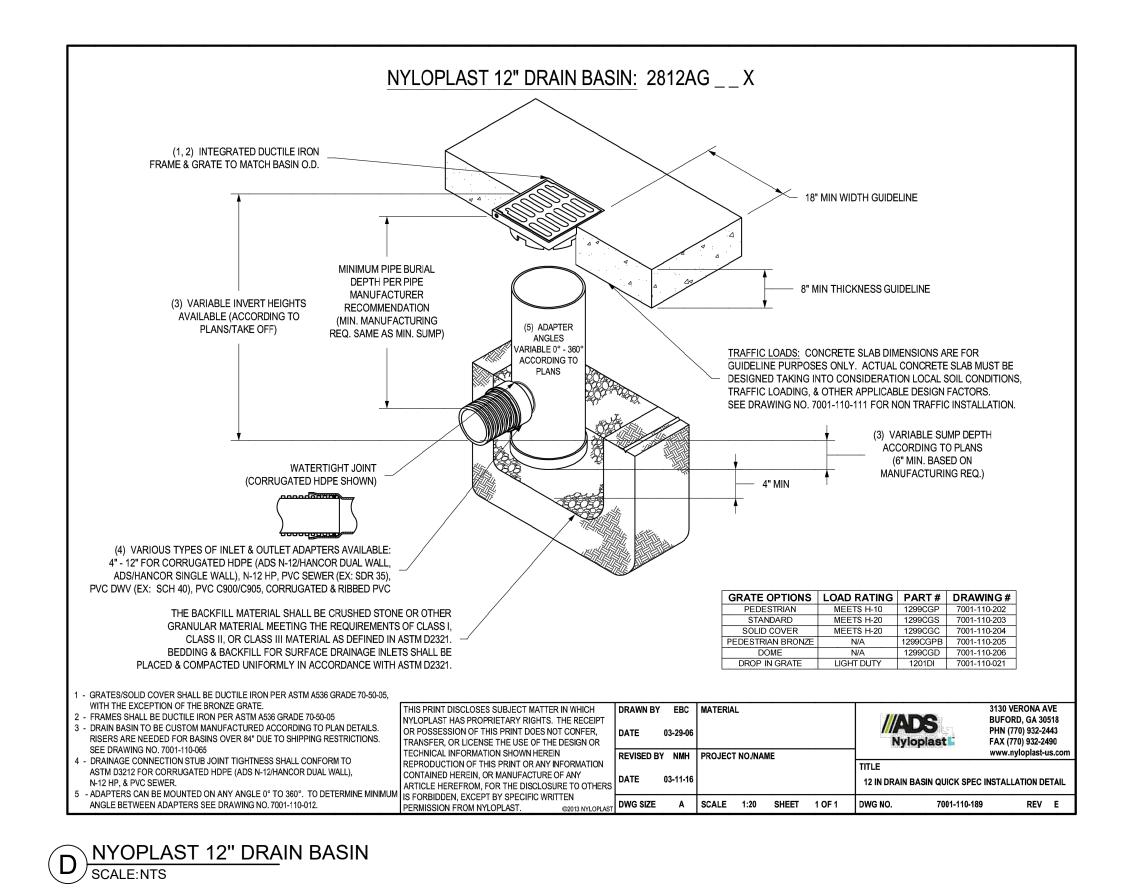
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C TYPICAL UPFLO FILTER SCALE:NTS

PE	4" DIAMETER	6" DIAMETER	8" DIAMETER	12" DIAMETER	16" DIAMETER	20" DIAMETER
D - 11.25°	5	5	5	5	8	8
ND - 22.5°	8	8	8	10	10	15
ND - 45°	10	10	12	16	20	26
ND - 90°	16	20	25	32	40	52
	10	20	25	52	40	52
SIZED PIPE						
A. X 4"	-	25	50	60	80	130
A. X 6"	-	-	25	60	100	125
A. X 8"	-	-	-	50	80	120
. X 12"	-	-	-	-	50	100
. X 16"	-	-	-	-	-	50
D	40	40	60	90	120	150
- RUN	10	10	10	20	30	40
NCH	8	6	6	6	6	6
NCH	-	8	6	6	6	6
NCH	-	-	10	6	6	6
NCH	-	-	-	12	6	6
NCH	-	-	-	-	30	10
NCH	-	-	-	-	-	50
5° - UPPER	12	20	26	40	50	60
5° - LOWER	5	5	6	10	12	14
.5° - UPPER	8	10	14	18	24	28
.5° - LOWER	4	5	5	8	8	8
25° - UPPER	6	6	8	10	12	14
.25° LOWER	4	4	4	4	4	6

* WHERE RESTRAINT LENGTHS ARE NOT IDENTIFIED ON THE PLANS, THE VALUES IN THIS TABLE SHALL BE PROVIDED AS A MINUMUM



REV. BY					/	tem 6	5.
DATE							
REVISION DESCRIPTION							
CE BUILDING SERVICE	OUR REPUTATION IS OUR FOUNDATION	P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC. WISCONSIN • 54221-1626	PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM				
PROJECT INFORMATION:	HTT WEST EXPANSION			1828 OAKLAND AVENUE			
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DATE: 1	12/0	8/2		}			

DETAILS

GENERAL:

1.	EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS.	9.
2.		BEN SPE 10. ELE 11.
	LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. E CLEARING:	DISI OF BUII AAN
1.	EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.	<u>EA</u>
2.	MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.	1.
3.	SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.	2.
4.	UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.	۷.
	DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.	3.
	LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.	4.
8.	PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.	
	LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.	5.
	EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.	6.
11.	FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.	7.
	REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.	8.
13.	STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.	9.
14.	STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.	
	REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.	10.
17.	REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.	11.
18.	SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.	12.
ТС	ORM DRAINAGE:	13.
	ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.	14.
2.	ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.	15.
	PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF	
	THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH	16.
	CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.	17.
	CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.	
	FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.	10
	MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.	18. 19.
	MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.	20.
10.	SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).	20.
	PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVEMENT AREAS FLUSH WITH PAVEMENT	21. 22.
	SURFACE. CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN	
	ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.	23.
	MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.	24.
15.	CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.	25. 26.
	AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(I)4 OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.	
	NITARY SEWERAGE:	27.
	ALL PRIVATE SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS. ALL PUBLIC SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN,	28. 29.
3.	LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF	20.
	THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED	30. 31.
5.	BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES. MANHOLES DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.	32.
6.	SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).	32. 33.
7.	PIPE JOINT CONSTRUCTION: FOLLOW PIPING MANUFACTURER'S RECOMMENDATIONS; JOIN PVC SEWER PIPE ACCORDING TO ASTM D2321 AND ASTM D 3212 FOR ELASTOMERIC GASKET JOINTS. JOIN DISSIMILAR PIPE MATERIALS WITH NONPRESSURE-TYPE, FLEXIBLE COUPLINGS	34.
7.	PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED	

GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR

UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING OBTAINED. CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE. 36. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT CLASS B COMPACTED TRENCH SECTION (FILE NO. NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN OFF OWNER'S PROPERTY. ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS

SANITARY SEWERAGE:

TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS NEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD ECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.

MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO EVATIONS INDICATED ON PLANS

AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE PLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(1)4 THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS. TEST NEW ILDING SEWER IN ACCORDANCE WITH SECTION 5.4.0 OF THE STANDARD SPECIFICATIONS. REPLACE LEAKING PIPE USING NEW PIPE MATERIALS ND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

RTH MOVING:

ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.

CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION 8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL

CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS

OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL

FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE

SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER 15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE. DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A

COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.

AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.

ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A 19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.

BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.

TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.

PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.

SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS, DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.

EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE 32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.

PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIRED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL. IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED. THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INOT THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.

DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINTILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINTILES SHALL BE 0.5%.

CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.

ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.

WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EACH 12 INCHES OF OVEREXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS 9. SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)

UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557. UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN

WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)

COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.

AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD 18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING QUALITY-CONTROL TESTING.

FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.

BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER. SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.

PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.

FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.

WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY 22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS

CONCRETE PAVING:

- THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
- 4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
 - AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS 10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
- 11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- 12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
- 13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS. 14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND
- ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- 16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
- 17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
- 18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED. CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING
- ADJACENT CONCRETE PAVEMENT.

- (ARTIFICIAL TURF DRAG FINISH).
- 28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
- 29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS IN THIS SECTION.

ASPHALTIC PAVING:

- SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- PROJECT IS LOCATED.

- WISDOT STANDARD SPECIFICATIONS.
- PLACEMENT OF ASPHALT PAVEMENTS.

- TOOLS TO SMOOTH SURFACE.

- TOLERANCES.
- MAY PREVENT BONDING TO THE PAVEMENT. GALLONS/MILE FOR A CONTINUOUS 4" LINE.
- TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SPECIFICATIONS

21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6

20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT

BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED

COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE, NO MINUS. TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS:

17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS ¼ INCH FOR BINDER

BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.

15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS. 16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT

PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS. 14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND

13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS.

DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.

12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT

11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO

10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.

HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE

ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.

NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.

TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO

3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH 4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN

THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS). 2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD

SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE

MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS 31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.

25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH) 26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS 27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.

22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS 23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED. 24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.

21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.

20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.

Item 6

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THIS PLAN AND IDEAS

EXPRESSED HERE-IN ARE

THE PROPERTY OF A.C.E.

BUILDING SERVICE, INC.

THESE PLANS SHALL NOT BE

SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT

THE CONSENT OF A.C.E.

BUILDING SERVICE, INC.

SHEET INFORMATION

A.C.E. JOB NO.

DATE: 12/08/2023

DRAWN BY: AKK

SCALE: NTS

SHEET

CITY OF SHEBOYGAN SPECIFICATIONS - WATER UTILITIES

PART 1 – GENERAL

1.01 SUMMARY

A. This Section identifies specifications on watermain and appurtenances installation.

B. Watermain and appurtenances installation shall comply with chapters and sections of the referenced documents in Part 2 of this section.

C. Watermain and appurtenances shall be installed using parts identified in this section.

D. Payment of this section should be covered by line items referenced in section 01 41 43.

E. All watermain and appurtenances shall be provided by Contractor.

PART 2 – PRODUCTS

2.01 Standard Specifications for Sewer and Water Construction in Wisconsin - 6

th Edition dated December 22, 2003 with Addendum No. 1 dated December 22, 2004 and Addendum No. 2 dated April 22, 2008

2.02 PVC pipe, as noted on the plans or bid documents, shall conform to AWWA C-900 or C-905, latest revision, have the O.D. of ductile iron and have a pressure class rating of at least 150 psi and a dimension ratio of 18 or stronger.

2.04 The 12" ductile iron pipe and hydrant leads shall be ductile iron, class 52 minimum.

2.05 All fittings shall be ductile or cast iron. Minimum working pressure rating shall be 250 psi, except that for ductile iron fittings 24" and smaller, the minimum working pressure rating shall be 350 psi. Joints shall be mechanical, unless otherwise specified. All cast or ductile fittings shall be cement-lined on the interior flow way, unless epoxy-coated; per the standard specifications. Special fittings and accessories, not otherwise covered in the Contract Documents, shall conform substantially with other fitting requirements and be compatible with the existing and proposed pipe materials. Significant deviations, if any, shall be stated in writing to and approved by the Engineer.

2.06 Hydrants shall be:

A. Clow Eddy F-2640

B. Waterous WB-67B-250, with 16" upper standpipe section, or C. Kennedy K81-D,

in conformance with the following specific requirements:

a. Traffic flange and frangible stem coupling construction required.

b. Two 2-1/2" Hose nozzles and one 4-1/2" Pumper nozzle, all with National Standard Fire Hose Coupling Screw Thread, required.

c. 5-1/4" nominal diameter of main valve opening.

d. Inlet connection shall be 6" mechanical joint with gland, rubber gasket, and high-strength, low-alloy bolts and nuts.

e. Operating nut and cap nuts shall be 1-1/2" pentagon measured from point to opposite flat (National Standard), and open left (counter-clockwise).

f. Caps shall be furnished with corrosion resistant metal chains and gaskets. g. Pressure activated seals shall be the O-ring type.

h. Exposed exterior above proposed ground line shall have been cleaned and primed, as per AWWA, and finished with OSHA safety red enamel. (Repainting over finish coat of a different color is not acceptable.)

i. No drain, or drains shall be plugged with manufacturer approved plug.

2.07 Gate valves shall conform to the latest revision of AWWA C509 (resilient-seated) or AWWA C515 (ductile body resilient-seated). When gate valves are specified in sizes 4" through 12", they shall be of the resilient-seated type and in conformance with the following specific additional requirements:

a. Valves shall be intended for direct burial in an essentially vertical position in horizontal pipelines and be of the non-rising stem design, with O-ring stem seals, standard size (2") wrench nut, and opening left (counter-clockwise).

b. Valve ends shall be mechanical joint, unless otherwise specified, complete with

standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the MJ bolts and nuts shall be the high-strength, low-alloy

steel, and that gaskets shall not be lead-tipped.c. Gland and bonnet bolting materials shall be 304 stainless steel, factory installed prior

to testing.d. Internal and external surfaces of the valve body and bonnet shall be epoxy coated, in accordance with the latest revision of AWWA C550.

2.08 12" valves and less shall be the resilient-seated type. In areas of less than 6' of cover, Engineer may require the butterfly type. Valves larger than 12" shall be butterfly, unless otherwise specified.

2.09 Unless otherwise specified, butterfly valves shall be of the mechanical joint body type, and have a pressure rating of not less than Class 150B. Valves shall open left (counter-clockwise).

2.10 Valve boxes shall be entirely of cast iron (Tyler Series, USA Made) in accordance with the requirements of this section. Box lids shall be drop type, with 1-1/2 inch skirt, marked "WATER", sized to fit properly.

2.11 Valve boxes for use with gate valves and air release assemblies shall be three-piece, Tyler Series 6860, with base section as required for valve size.

2.12 Top sections and risers which are less than 10" in length shall not be allowed.

2.13 Temporary water shall be constructed entirely with NSF 61 approved materials.

2.14 12 mil, polyethylene wrap is required on this project.

2.15 Where joint restraint is required per the plans or specifications, Contractor shall install retainer glands ("Megalug®" by EBAA Iron, Inc., or equal), manufactured harnesses, and/or locking push joint gaskets, and where not feasible install "Cor-Ten®" tie rods (quantity per joint per manufacturer's load table) and appurtenances ("Star™" Joint Restraint System, or equal.) If additional excavating is yet to be done and/or backfilling is not completed or well compacted, or for his desire, Contractor should install additional restraint, and may use blocking or buttressing, if per Engineer's approval.

2.16 Permanent manual air relief assemblies shall be of 1" soft copper tube, with all fittings of brass, and water valve box and base of cast iron. Top end of copper tube shall be fitted with a brass garden hose thread fitting w/brass garden hose cap (See Exhibit C.) A saddle and 1" ball-style corporation stop (w/flared outlet), and a 90 degree swivel (quarter bend, i.e. FCTxFC/Ford L04-44S, or equal) is to be furnished, and all installed by Contractor. Bend should attach to corp to keep installation as deep as possible. Brass nipples and pipe are not allowed. (A union may be placed near the top of the discharge tube for temporary lowering to trim road gravel prior to paving.)

2.17 Mechanical joint valves shall be complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the mechanical-joint bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. Bolting materials shall be coated with a non-sticky, non-brittle petroleum asphaltic coating by Contractor prior to installation, if not already coated by supplier with a similar corrosion-inhibiting material.

2.18 Water Main and Sampling Procedure, found in the appendix.

PART 3 - EXECUTION

3.01 Temporary Water System

A. The Contractor shall design, furnish, install, disinfect, and maintain an external temporal supply system capable of utilizing water from the public water distribution system to provid water to each property along the project. In cases where property is multi-occupancy, the Contractor shall design and coordinate with the property owners, a connection to provide to all parties.

B. The system shall be designed to provide properties safe water with minimum pressure and flow of 10 gpm, 24 hours a day, 7 days a week, with minimal disruptions and without to of a pump. The system shall utilize a manifold with individual services to each property.

C. The temporary manifold shall be live tapped to the existing water main for supply and a flow prevention devices at or near the point of connection to the municipal distribution syst. All temporary water shall be trenched and buried under the road when crossing streets an other areas as necessary to accommodate traffic.

D. Layout and design of temporary water supply system shall be submitted for review at I week prior to preconstruction meeting. All temporary water systems shall pass Sheboygar Utility Bacteriological Testing Procedure prior to being opened to the distribution system a into service. The temporary water supply shall be actively feeding each property prior to w main or service work occurring fronting the property.

3.02 Excavations must be conducted in accordance with OSHA Standard CFR 1926.60. General requirements include:

A. A safe means of egress must be in all trench excavations that are 4 feet or more in dep

B. Daily inspections of trench, adjacent areas, and protective systems must be conducted Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-65

C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches conformance with OSHA standards.

D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic.

E. Open excavations must be barricaded off and completely covered with $\frac{3}{4}$ " plywood if le unattended.

F. Contractor to use an OSHA compliant shield or trench box when completing work. The Utility reserves the right to stop work due to unsafe working conditions.

3.03 General Construction

A. Perform construction within existing R/Ws, and easements and/or construction license on the plan. Any construction activity (excavating, stockpiling, tree removal, etc.) on priva property beyond the above-stated limits shall only be with Contractor's receiving prior app from the corresponding jurisdiction or private property owner.

B. Underground utilities and structures that might conflict with the location of proposed fa and require adjustments to the design shall be exposed adequately and far enough in adv of construction, to allow Engineer reasonable time to check for conflicts and make the necessary adjustments, without additional compensation for delays.

C. Provide adequate notice (a minimum of 3 working days or more) to utility owners of 1 such as poles and anchors that may need to be supported or relocated by them, prior to excavating, and accommodate such needs.

D. Trees and bushes, located within the R/Ws and easements secured for the work shal saved if possible unless being removed by City or otherwise specified, but if damaged, sh trimmed if suitable to Engineer, otherwise removed, and if removed, need not be replaced Cost of clearing and grubbing shall be incidental to the Contract.

E. Granular backfill conforming to Section 8.43.4 of the Standard Specifications shall be backfill in all areas shown on the plans, and in areas where excavated material is deemed suitable by Engineer.

F. Wherever excavated material is deemed suitable by Engineer for use in place of required granular backfill, a credit of \$10.00 per cubic yard shall be taken by the Utility for each in cubic yard of such material required, based on an average width of trench of pipe O.D. pl 36".

G. Crushed road gravel conforming to Section 8.43.7 shall be used for the top 12" of bac under and within 18" horizontally of existing pavements or proposed pavements, curbs, parking lots, driveways, and other areas when noted on the plans.

H. All backfill, whether granular or excavated, shall be consolidated by mechanical mear compacted lifts of 18" maximum; 12" for clay. Consolidate all backfill to minimum 95% maximum density as determined by ASTM D698, (Standard Proctor).

I. Utility shall, at it's expense, contract with an independent firm to perform compaction te sieve analysis on granular backfill. Four compaction tests shall be taken within the first 40 of water main trench, and then two for each additional 400 feet of trench or fraction thereor locations determined by the Engineer. One sieve analysis shall be performed for every 10 or fraction thereof. All costs to accommodate testing shall be incidental to the respective of All tests shall be at depths between 2' and 4' below finished grade, with Contractor to re-each properly backfill and compact each test site. All costs to accommodate testing shall be incidental to the respective work.

J. Unless otherwise noted on the plans, at reducers, the transition in payment for lineal water main and/or hydrant leads shall be made at the center line of reducer, with half of laying length paid at the larger diameter and the other half paid at the smaller diameter, such bid items exist.

K. Contractor shall use care when handling and backfilling hydrants so as not to damage especially when backfilling with stone. Hydrants shall also be kept clean, and accessible they are put into service. Utility will provide a yellow "Hydrant Out of Service Marker" for e hydrant, unless bagged, until the hydrant is put into service.

L. Contractor shall salvage all mechanical joint valves and fittings, hydrants and valve be immediate area of tie-in to existing mains, or as otherwise noted on the plans; including s of ductile iron pipe and iron valve boxes and covers, if in reasonably good shape, for pick Utility. Any pipe, if being abandoned, shall be left in place and the ends bulk-headed. An materials removed in the course of the work, but not being salvaged by Utility, are to be p disposed of, off site, by Contractor. Costs of removal and abandonment shall be incident construction.

M. Insulating boards (extruded polystyrene) shall be used in lieu of insulating concrete un specifically approved in writing by Engineer. They shall be placed in minimum dimension wide x 4' long x 1" thick, with no gaps between adjacent sheets. They shall be centered or to a width extending at least 12" beyond each side of pipe. See also File No. 48. Thickness be as specified by Engineer. Generally it shall be figured as at least 2" thick for every foor fraction of a foot that the existing (or future, if lower) cover from finished grade is less than (5.5' for 8" thru 16" and 5' for water lines greater than 16" in diameter). In extreme cases, typically where the cover will be less than 4.5', the sides of the water line shall also be inst (typically 2" thick), from the flat insulation down to a point even with the bottom of the water line. Insulation is required above and on the near side of water mains and services when the water line is within close proximity of a catch basin, manhole, culvert, large storm sew other object of susceptibility for freezing, and as otherwise shown on the plans. Care shat taken to avoid scratching the water pipe with the backhoe bucket. If scratched, it shall be repaired per 4.4.4. These requirements shall also be applied to existing water main when where Contractor is explicitly required to insulate.

	3.03 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.	F. All unwrapped joint restraint rod & clamps shall be thoroughly coa with an approved bituminous protective coating, per Section 4.9.3.
	A. Excavation:	3.07 Polywrapping
	a. Include cost of sawing and breaking pavement in unit prices bid for water main.	A. All installed iron piping shall be wrapped; including valves, valve
rary water ide e	 b. Include cost of excavation of soils for installation of water main and associated appurtenances in unit prices bid for water main. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water main. 	Polywrapping shall be incidental to the cost of water main constructi service connections shall be incidental to the price bid for that work. polyethylene must be made by covering defect with polyethylene an tape alone is not allowed. Any damage to the coating on existing inc
e water e of 35 psi	B. Include cost of dewatering excavation in unit prices bid for water main. C. Include costs for disposal of material in unit prices bid for water main.	service must be repaired with an approved bituminous protective co
the use	D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices	3.08 Air Relief Assemblies
utilize back stem. nd/or	bid for water main. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water main.	A. For manual air relief assemblies the standard cast iron box must rest directly on water main or copper tube. A curb stop and box, per the water valve box. The stop box lid shall be replaced with a snug (90 degree) swivel quarter bend (i.e. FCTxFC/Ford L04-44S or equa
least one an Water	F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main.	the 1" ball-style curb stop (i.e. flared outlet Ford B22-444M, B22-444 eliminate a sweeping loop in the copper tube. Bend should attach to base. A "stop & waste" style curb stop is preferred. In lieu of a "stop weep hole shall be drilled at the base of the riser. Existing and prop
and put water	G. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main.	stop valve shall be at least 5'-6". If necessary, set the assembly alo (per section 4.17.2) the portion between corp and curb stop which h and/or proposed cover. Cost of insulation shall be incidental to air r
	H. Pavement, sidewalk, driveways and curb and gutter:	3.09 Hydrostatic Testing
pth.	 a. Include cost of replacing any damaged or removed concrete pavement, sidewalk, driveways, curb and gutter in the respective unit prices bid for water main. I. Thrust blocking and restraining water main: 	A. A combined pressure and leak test typically will be allowed. It sha and witnessed by Utility, during normal working hours, with no charg successful tests (if any fail, they will be charged at regular rates) for
d by the 52.	a. Include all associated costs of thrust blocking and water main restraint in unit prices bid for water main.	B. Though a test section may include more than one segment, any a be at least momentarily checked to see that they hold system press valves. When practical, they shall be checked for 100% shutoff in ear
not in	J. Polyethylene wrap: a. Include costs of 12 mil polyethylene wrap for all ductile iron pipe, fittings, valve boxes,	C. The pressure & leak test gauge shall be at least 2.5" diameter wi psi or 4" diameter with a range of no more than 300 psi. The gauge
eft	hydrants, services and other ductile iron and cast iron appurtenances in unit prices bid for water main. K. Tracer Wire:	to exceed 5 psi in the testing range. D. The duration of the "final" pressure test shall be two hours. The test, if needed, shall be two hours.
	a. Include costs of all materials, testing and all work associated with installation of tracer wire in	
e Water	unit prices bid for water main.	3.10 Bacteriological TestingA. The Contractor shall provide a hydrant nozzle valve for each hyd
ses shown ate	L. Erosion and Sediment Control: a. Include costs of erosion and sediment control in unit prices bid for water main. b. Include costs of dust control and sweeping roadway in unit prices bid for water main.	desired. Temporary sample cocks and fittings, when necessary, sh removed by Contractor, and main plugged, in presence of Engineer brass plugs, or suitable plug on outlet of corp when attached to a sa sampling. (For an example of a flushing & sampling assembly, see I
proval	M. Tree Clearing and Grubbing:	B. All work associated with flushing and sampling must be performe
facilities vance	a. Include cost for clearing or grubbing in unit prices bid for water main. b. Replacement trees or shrubs and new trees and shrubs shall be included in unit prices bid for water main.	Main Testing & Sampling Procedures," found within the appendix. C. Contractor shall provide chlorinating materials and equipment. Per Tablets, if used, shall be attached with USDA approved food grade
	N. Traffic Control:	Form-a-gasket No. 2 and Permatex Clear RTV Silicone Adhesive Se
facilities	 a. Include all associated costs to design, implement and maintain traffic control items in lump sum price bid for traffic control. O. Utility and Lateral Crossings: 	D. When flushing mains, highly chlorinated water shall be thoroughly approved methods. New mains shall be flushed, when possible, at prior to sampling and being put into service.
ll be hall be	a. Include cost of utility company to relocate or reinforce poles, ties or anchors, and expose	WATER SERVICE CONNECTIONS
d.	existing utilities in unit prices bid for water main and services. b. Include cost of locating and excavating, as needed, existing utilities to confirm their location	PART 1 – GENERAL
e used for d not	and elevation in order to plan for avoiding interferences in unit prices bid for water main construction. Laterals damaged due to construction activities shall be restored and repaired at the cost of the contractor.	1.01 SUMMARY
uired	c. Design of pipe support and supporting existing sewers, water main and all other utilities and laterals shall be included in unit prices bid for water main.	F. This Section identifies specifications on excavation, and water se G. Water service connections shall comply with chapters and sectio
n place plus	P. Removal and abandonment of existing water main, hydrants and associated appurtenances shall	in Part 2 of this section.
	be included in the unit prices of water main. Q. Trench Maintenance:	H. Water service connections shall be installed using parts identified
ckfill	a. Include all associated costs for installing and maintaining the trench and trench surface	I. Payment of this section should be covered by line items reference J. The saddles, taps, and corporation stops shall be provided by Co
ns, in	until the dates determined elsewhere in the contract in unit prices bid for water main.	PART 2 – PRODUCTS
	 R. Water Service Reconnect: a. Include all associated costs to furnish, install and reconnect existing copper service, where plans indicate, in unit prices bid for water service reconnect. Include all 	2.01 Standard Specifications for Sewer and Water Construction in V dated December 22, 2003 with Addendum No. 1 dated December 2 Addendum No. 2 dated April 22, 2008
tests and 400 feet eof, at 1000 feet	associated material, labor and equipment for excavation, backfill and pavement restoration required for service reconnect in unit prices bid for copper service reconnect.	2.02 Minneapolis pattern curb stop boxes shall be used for all instal inside diameter of 1.25". (Shut off rods are not to be furnished.) Le
e work. -excavate	S. Temporary External Water Supply System:	that there is at least 4" of telescopic adjustment in either direction. (I standard 7' boxes, the service will have to be about 6 ½' deep to all
foot of	 a. Include all associated costs to design, furnish, install, disinfect and maintain external water supply system in unit prices bid for Temporary External Water Supply System. b. Include all costs to provide a standby contact, available 24 hours a day for emergency situations in unit prices bid for Temporary External Water Supply System. 	up and down.) Boxes shall be of iron and/or steel composition, the steel. Lids shall be included, with standard 1-1/4" pentagon brass p the marking "water". Pre-approved service boxes are
the when	3.04 Bid price for "reconnect existing water service" shall be the price paid for each existing copper	A. A.Y. McDonald #5614 w/1514L lid, Ford #EM2, or Mueller equal sized base to fit the curb stop valve thread.
ge the paint, e once	service (of a particular size) that is being reconnected from the main being abandoned to the new main being installed, when such bid item exists.	2.03 Curb stops that are cast into sidewalks shall be Neenah R-750 marking "water".2.04 Inlet, ball & outlet sizes of corps are to be of the same size, and
each poxes in sections	3.05 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe. Final testing of the tracer wire will be performed by the Utility; discontinuities shall be repaired by the Contractor.	service size required. Outlets shall be "straight" for service connect copper flared. Compression joints shall provide high pull-out resistan (and saddles where used) shall provide electrical continuity from tub style corps are required; plug style are not allowed.
k up by ny such		2.05 Saddles shall be appropriately sized to fit the pipe. Saddles must have a close range for use on PVC. Outlets shall be AWWA
properly Ital to water main	3.06 Water Main Construction A. Additional crushed stone required for trench stabilization beneath the first 3" will be paid for according to the bid item for 1-1/2" foundation stone. Bid price shall include cost of furnishing	2.06 Pre-approved models of 1" curb stops (compression inlet-C.T.S are:
inless ns of 2' over and	and placing material, as well as costs of additional excavation, sheathing, shoring, dewatering, and disposal of excess material attributable to this item. In order to receive compensation for this item, authorization shall be received from Engineer whenever and wherever bottom is unsuitable for pipe support. Payment shall be based on compacted volume computed by	A. A.Y. McDonald #6104Q or #6104-22, B. Ford #B44-444M-Q, and C. Mueller #H-15155 and #B-25155.
ness shall ot or an 6'	multiplying actual depth not to exceed the amount authorized, commencing 3" below bedding material, by average width not to exceed O.D. of pipe plus 24", by length equal to length of trench stabilized, as witnessed by Engineer.	2.07 Water service installation, repair or replacement piping shall be PVC, PE or ductile iron, class 52 min.
s, sulated ter	B. Bedding and cover material shall be sand conforming to Sec. 8.43.2(c), as shown on File #36 in the Standard Specifications, except that cover material shall extend to 12" over pipe.	PART 3 – EXECUTION
never wer or	C. Wherever excavated material is deemed suitable by Engineer for bedding and cover material, a	3.01 Materials Identification
all be e n and	credit of \$10.00 per cubic yard shall be taken by the Utility for each in place cubic yard of cover and bedding material required, based on an average width of trench of pipe O.D. plus 24". D. Valves, hydrants, and special fittings may be supported in vertical positions on solid concrete	A. Contractor is responsible for line tracing the water services prior Water services are private infrastructure, and the Water Utility cannot locations. Any concrete that needs to be replaced due to incorrect I the bid for water service replacement, water main to curbstop.
	block or concrete support. If wood blocking and shims are used, they shall be of good quality hardwood. Loose and soft ground shall be removed and replaced with stone and blocking of	B. Contractor is responsible for identifying service materials prior to

E. Solid concrete block and/or hardwood buttressing of equivalent dimensions shall be substituted for concrete behind hydrants and beyond tees, crosses and dead-ends which may be extended in the future, provided they can be placed against firm, undisturbed trench walls, and perpendicular to direction of thrust. If adequate support against firm, undisturbed earth cannot be obtained for buttressing, submit thrust restraint design to Engineer for approval.

size sufficient to provide stable and unsettling support.

B. Contractor is responsible for identifying service materials prior to any concrete disruption in the street or the property. Existing copper or plastic services should not be replaced as part of this project.

3.02 Excavations must be conducted in accordance with OSHA Standard CFR 1926.60. General requirements include:

A. A safe means of egress must be in all trench excavations that are 4 feet or more in depth.

Item 6 ated for corrosion protection B. Daily inspections of trench, adjacent areas, and protective systems must be conducted by the boxes, fittings and hydrant. Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-652. tion. Polywrapping of Repairs to damaged C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches not in nd/or approved tape; duct conformance with OSHA standards. ron water lines remaining in D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic. E. Open excavations must be barricaded off and completely covered with $\frac{3}{4}$ " plywood if left unattended. t be blocked so that it does not r specs, shall be installed in F. Contractor to use an OSHA compliant shield or trench box when completing work. The Water fitting plastic cap instead. A Utility reserves the right to stop work due to unsafe working conditions. al) shall be installed at outlet of 4SWM, or equal) so to o stop to keep within valve 3.02 Incidental Work: Work specified in this subparagraph is incidental work. The following items o & waste" style, a small include cost in unit price bid items identified, but not limited to this or other sections. posed depth of cover at curb ongside the main, and insulate A. Excavation: has less than 5'-6" of existing relief assembly. a. Include cost of sawing and breaking pavement in unit prices bid for water services. b. Include cost of excavation of soils for installation of water services and associated appurtenances in unit prices bid for water services. c. Include cost of sheeting, shoring and bracing materials, including installation nall be performed by Contractor and removal in unit prices bid for water services. ge to Contractor for RVIC r such witnessing. B. Include cost of dewatering excavation in unit prices bid for water services. C. Include costs for disposal of material in unit prices bid for water services. and all intermediate valves shall sure, including hydrant lead D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit each direction. prices bid for water services. Ш 5 vith a range of no more than 200 E. Include costs of insulation for water main and appurtenances, as indicated in plans and e shall read in increments not as directed by engineer, in unit prices bid for water services. U BUILDIN F. Include costs of all materials, testing and all work associated with installation of tracer e duration of the "final" leakage wire in unit prices of water services. G. Removal and abandonment of existing water services associated appurtenances shall be included in the unit prices of water services. H. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for frant to facilitate flushing, if water services hall be furnished, installed and with watertight cc threaded I. New Water Service Connections: addle, at completion of Detail on Plan.) a. Include all associated costs to furnish and install materials required to connect 1" copper or plastic services as contract documents indicate, in unit prices bid ed in accordance with "Water for water services. b. Include costs to locate existing service material prior to connection in unit prices for water service connections. Permatex No. 1 is not allowed. adhesives, such as Permatex 3.03 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) ealant. being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or ly de-chlorinated, by continuously, if necessary, to maintain its position on top of the pipe. t a min. velocity of 2.5 ft./sec., 3.04 Water services and curb stop boxes shall be placed where and at the elevation designated by the Water Utility and/or the City DPW or Plumbing Inspector, and all materials furnished and installed in accordance with the City of Sheboygan plumbing code. 3.05 All ends on copper tubing shall be reamed to remove any burrs. All service work shall be inspected for proper use of materials and workmanship, adequate depth and location, visually for leaks, measured and recorded, all by the Utility's and/or City's inspector, prior to backfilling. 3.06 Any water service damaged by the Contractor shall be properly repaired at the Contractor's ervice installation. expense. This work shall meet all State and local plumbing codes. ons of the referenced documents 3.07 Contractor should relocate curbstop boxes that fall within driveways, curbing, sidewalks or other concrete structures. ed in this section. 3.08 Residential Meter Settings- The following specifications provide consistent standards for water meter settings in the City of Sheboygan. Based on information obtained from American ed in section 01 41 43. Water Works Association (AWWA) standards, Badger Meter Inc., and Master Meter Inc., these specifications help to ensure the meter's accuracy and the safety of workers who must ontractor. maintain meters. A. Horns: Meter horns are required on all residential installations, including single and multiple dwelling units. Horns must not have built-in backflow prevention. Meter horns are not required on Wisconsin - 6th Edition existing installations unless the entire meter setting must be rebuilt. Meter horns have a 7 1/2" 22, 2004 and inch laying length. Ζ B. Valves: All meter settings must have two valves (inlet and outlet). Existing installations with only a llations, with a minimum functional inlet valve are acceptable. If an existing setting has two valves in need of replacement, **0IO** ength shall be such then the setting will need to be rebuilt, including the addition of a horn. Outlet valves shall not be NOTE: When using installed closer than 12" from the meter horn flanges. Multiple dwelling and commercial settings XPANS] low adjustment both must have a lockable in-valve, minimum ³/₄", plumbed directly to the horn. Valves with removable upper section of handles are not acceptable. plug, and be of cast iron with C. Support: All meter horns shall be full pipe clamped to the wall or floor within 6" inches of the inlet and outlet of the horn. All support hardware must be compatible material to reduce the potential ; with appropriately for galvanic action with the piping. Support hardware cannot distort, cut, or abrade the piping and must be sufficiently rigid to support the piping and its contents. Radiator clamps and pipe rests are Ш not acceptable means of support. 06C style boxes, with a cover \vdash D. Clearance: All meter settings shall maintain 18" of unobstructed space from the floor to center ഹ Ś pipe of the meter. The center pipe of the meter shall be no higher than 48" from the floor. A nd no smaller than the minimum of 12" of unobstructed space must be maintained above the meter lens. ≥ МE tions. Outlets may be nce. Corporations E. If multiple meters are stacked, 24" of unobstructed space shall be maintained between the lbe to main. Ball bottom meter, center of pipe and the top meter, center of pipe. If multiple meters are parallel or in a row, 6" of space must be maintained between each meter horn. 36" of unobstructed space must be maintained in front of the meter setting. with iron bodies in particular 8 thread Ī 18 F. Meter settings that currently comply with Sheboygan Water Utility specifications need not be replaced. .S. x compression outlet-C.T.S.) 3.09 Grounding A. Contractor to verify the need for grounding before performing that work on a property. Grounding to be completed at the time of water service replacement as to minimize THIS PLAN AND IDEAS inconvenience to the customers, and to ensure that the property is always properly grounded EXPRESSED HERE-IN ARE during construction. THE PROPERTY OF A.C.E. e either type "K" soft copper, BUILDING SERVICE, INC. 3.10 Restoration of water to the properties is required after the service replacement has occurred. THESE PLANS SHALL NOT BE Water restoration includes scheduling access to the property and scheduling a meter installation SHARED BY VISUAL MEANS with the Water Utility at least 24 hours in advance. The curbstop should be turned on and OR REPRODUCED WITHOUT flushing of the service should be completed by the contractor prior to meter installation. THE CONSENT OF A.C.E. BUILDING SERVICE, INC. SHEET INFORMATION to construction or road sawing. not guarantee the exact A.C.E. JOB NO. line tracing is incidental to DATE: 12/08/2023 DRAWN BY: AKK SCALE: NTS SHEET **CITY SPECIFICATIONS C501**









