



CITY PLAN COMMISSION AGENDA

March 12, 2024 at 4:00 PM

City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

MINUTES

4. Approval of the Plan Commission minutes from February 27, 2024.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. General Development Plan by A.C.E. Building Services, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue (Parcels 59281425440, 59281425550, and 59281425510). Urban Industrial with Planned Unit Development Overlay Zone.
6. Precise Implementation Plan by A.C.E Building Services, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue (Parcels 59281425440, 59281425550, and 59281425510). Urban Industrial with Planned Unit Development Overlay Zone.

NEXT MEETING

7. March 26, 2024

ADJOURN

8. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
CITY PLAN COMMISSION MINUTES

Tuesday, February 27, 2024

MEMBERS PRESENT: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

EXCUSED: Braden Schmidt

STAFF/OFFICIALS PRESENT: Associate Planner Ellise Rose and Director of Planning & Development Diane McGinnis Casey

OPENING OF MEETING

1. Roll Call

Mayor Sorenson called the meeting to order at 4pm.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Identify potential conflict of interest

No committee member had a conflict.

MINUTES

4. Approval of the Plan Commission minutes from February 13, 2024.

MOTION TO APPROVE

Motion made by Jerry Jones, seconded by Kimberly Meller.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

PUBLIC HEARING

5. Public Hearing regarding the proposed creation of Tax Incremental District No. 21, the proposed boundaries of the District, and the proposed Project Plan for the District.

Bryan Kelly, Dr. Toby Watson, Darrel Hofland, Kristine Balazs and Tom Liebl spoke.

6. Public Hearing regarding the proposed creation of Tax Incremental District No. 22, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

7. Public Hearing regarding the proposed creation of Tax Incremental District No. 23, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

8. Public Hearing regarding the proposed creation of Tax Incremental District No. 24, the proposed boundaries of the District, and the proposed Project Plan for the District.

No public comment.

9. Public hearing regarding application for Conditional Use Permit with exceptions by Richard Sadiq to locate and operate a Chester's food truck at the Blast Soft Serve property located at 406 Pennsylvania Avenue.

Darrel Hofland spoke.

MOTION TO CLOSE ALL THE PUBLIC HEARINGS.

Motion made by Jerry Jones, seconded by Alderperson Trey Mitchell.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

10. Application for Conditional Use Permit with exceptions by Richard Sadiq to locate and operate a Chester's food truck at the Blast Soft Serve property located at 406 Pennsylvania Avenue.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS:

Motion made by Jerry Jones, seconded by Alderperson Trey Mitchell.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

1. Applicant will be required to meet and/or obtain all codes, requirements, licenses, etc. to operate the food truck including but not limited to building, electrical, plumbing, HVAC, fire, health, food, vendors, etc.
2. Applicant shall obtain all necessary County Health Department licenses/permits to operate the food truck.
3. Food truck shall not obstruct pedestrian or vehicular circulation, including vehicular sight distances (vision triangle requirements of Section 15.703 of the City of Sheboygan Zoning Ordinance).
4. No portion of the operation shall take place upon the City of Sheboygan public right-of-way or on adjacent properties – operation shall remain on the private property.
5. This conditional use permit is for Chester's only. No other temporary use is permitted to operate from the site. This conditional use permit is not transferable and any future food truck proposal would be required to obtain a conditional use permit to operate from this property.
6. If the applicant wishes to operate from the City public right-of-way or from another private commercial property they will need to obtain the necessary permits/approvals to do so.
7. Applicant shall adequately monitor/regulate and maintain this property.
8. In no instance shall the food stand create a nuisance for neighboring properties (noise, hours of operation, garbage, etc.). If any issues arise, the Plan Commission may again review the conditional use permit.
9. If there are any amendments to the approved plans, the applicant will be required to submit a new conditional use application reflecting those amendments.
10. Food trailer to close at 10pm and operating from April through October
11. No amplified speakers
12. Signage limited to the wall sign
13. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.).

Exceptions granted:

- To operate the food truck permanently from the site

- 11. Gen. Ord. No. 41-23-24 by Alderperson Mitchell amending the City of Sheboygan Official Zoning Map the Sheboygan Zoning Ordinance to change the Use District Classification for property located around 1828 Oakland Avenue including Parcel Nos. 59281425440, 59281425550, and 59281425510 from Class Urban Industrial (UI) to Class Urban Industrial (UI) with PUD overlay Classification.

MOTION TO RECOMMEND THE COMMON COUNCIL ADOPT THE ORDINANCE.

Motion made by Ryan Sazama, seconded by Marilyn Montemayor.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

- 12. R. O. No. 108-23-24 by City Clerk submitting an application for amendment of the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance for property located around 1828 Oakland Avenue including Parcel Nos. 59281425440, 59281425550, and 59281425510 from Class Urban Industrial (UI) to Class Urban Industrial (UI) with PUD Overlay Classification.

MOTION TO RECOMMEND THE COMMON COUNCIL FILE THE R. O.

Motion made by Alderperson Trey Mitchell, seconded by Jerry Jones.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

- 13. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 21.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Ryan Sazama, seconded by Marilyn Montemayor.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 21

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 21 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore

Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

1. It recommends to the Common Council that Tax Incremental District No. 21 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
3. Creation of the District promotes orderly development in the City.

14. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 22.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Marilyn Montemayor, seconded by Alderperson Trey Mitchell.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 22

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 22 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

1. It recommends to the Common Council that Tax Incremental District No. 22 be created with boundaries as designated in Exhibit A of this Resolution.
 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
 3. Creation of the District promotes orderly development in the City.
15. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 23.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Jerry Jones, seconded by Kimberly Meller.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 23

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 23 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

1. It recommends to the Common Council that Tax Incremental District No. 23 be created with boundaries as designated in Exhibit A of this Resolution.
 2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
 3. Creation of the District promotes orderly development in the City.
16. Resolution establishing the boundaries of and approving the project plan for Tax Incremental District No. 24.

MOTION TO APPROVE THE FOLLOWING RESOLUTION:

Motion made by Marilyn Montemayor, seconded by Kimberly Meller.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

RESOLUTION ESTABLISHING THE BOUNDARIES OF AND APPROVING THE PROJECT PLAN FOR TAX INCREMENTAL DISTRICT NO. 24

WHEREAS, the City of Sheboygan (the "City") has determined that use of Tax Incremental Financing is required to promote development and redevelopment within the City; and

WHEREAS, Tax Incremental District No. 24 (the "District") is proposed to be created by the City in accordance with the provisions of Wisconsin Statutes Section 66.1105 (the "Tax Increment Law"); and

WHEREAS, a Project Plan for the District has been prepared that includes:

- a. A statement listing of the kind, number and location of all proposed public works or improvements within the District, or to the extent provided in Wisconsin Statutes Sections 66.1105(2)(f)1.k. and 66.1105(2)(f)1.n., outside of the District;
- b. An economic feasibility study;
- c. A detailed list of estimated project costs;
- d. A description of the methods of financing all estimated project costs and the time when the related costs or monetary obligations are to be incurred;
- e. A map showing existing uses and conditions of real property in the District;
- f. A map showing proposed improvements and uses in the District;
- g. Proposed changes of zoning ordinances, master plan, map, building codes and City ordinances;
- h. A list of estimated non-project costs;
- i. A statement of the proposed plan for relocation of any persons to be displaced;
- j. A statement indicating how the District promotes the orderly development of the City;
- k. An opinion of the City Attorney or of an attorney retained by the City advising that the plan is complete and complies with Wisconsin Statutes Section 66.1105(4)(f); and

WHEREAS, prior to its publication, a copy of the notice of public hearing was sent to the chief executive officers of Sheboygan County, the Sheboygan Area School District, and the Lakeshore Technical College District, and any other entities having the power to levy taxes on property located within the District, in accordance with the procedures specified in the Tax Increment Law; and

WHEREAS, prior to its publication, a copy of the notice of public hearing was also sent to the owners of all property in the proposed District; and

WHEREAS, in accordance with the procedures specified in the Tax Increment Law, the Plan Commission, on February 27, 2024 held a public hearing concerning the proposed creation of the District, its proposed boundaries and its proposed Project Plan, providing interested parties a reasonable opportunity to express their views thereon.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Sheboygan that:

1. It recommends to the Common Council that Tax Incremental District No. 24 be created with boundaries as designated in Exhibit A of this Resolution.
2. It approves and adopts the Project Plan for the District, attached as Exhibit B, and recommends its approval to the Common Council.
3. Creation of the District promotes orderly development in the City.

NEXT MEETING

17. March 12, 2024

The next meeting is scheduled to be held on March 12, 2024.

ADJOURN

18. Motion to Adjourn

MOTION TO ADJOURN AT 5:19 PM.

Motion made by Ryan Sazama, seconded by Jerry Jones.

Voting yea: Mayor Ryan Sorenson, Ryan Sazama, Marilyn Montemayor, Kimberly Meller, Jerry Jones and Alderperson Trey Mitchell

CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: General Development Plan by A.C.E Building Service, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Program Assistant

REPORT DATE: March 5, 2024

MEETING DATE: March 12, 2024

FISCAL SUMMARY:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

STATUTORY REFERENCE:

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

The Plan Commission will be reviewing the HTT, Inc. General Development Plan (GDP) for property located at parcels 59281425440, 59281425550, and 59281425510.

The applicant states the following about the HTT, Inc. project:

- This project will be a 32,075 square foot expansion of HTT, Inc. to the west of the existing building.
Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project.
Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion.
The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.9%. Proposed building area is 48.9%.
A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

- The proposed expansion site will occupy the recently vacated S. 19th Street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southwest and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others.
- Drive access to the expansion will be provided from Oakland Ave. No access will be provided from Union Ave.
- The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.
- Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland Ave., relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

Requested exceptions from the underlying zoning district:

- An exception to Section 105-530(b)(3) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to nonresidential rear/front lot line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.
- An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive. Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.
- An exception to the landscape points required and to the required location of said plantings. The plan that has been submitted has been approved with the following notes: The new trees to be planted on parcel # 59281425650 located south of Oakland Avenue are to be used for the addition to the west side of the existing building located at 1828 Oakland Avenue and cannot be used towards points of the future development of parcel # 59281425650.

STAFF COMMENTS:

The surrounding neighborhood zoning is:

- The properties to the east are zoned Railroad (RR).
- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential-6 (NR-6).
- The properties to the south are zoned Urban Industrial.
- The properties to the west are zoned Urban Industrial.

ACTION REQUESTED:

Staff recommends approval of the HTT General Development Plan subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a landscape plan prior to building permit issuance. Landscaping shall be installed prior to occupancy.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
7. All areas used for parking/maneuvering of vehicles shall be paved prior to issuance of an occupancy permit.
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
13. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. Nothing shall be located on the City Union Avenue public right-of-way. It is up to the applicant to ensure that all of the construction

takes place on their private property and not in the City right-of-way.

17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
18. If there are any amendments to the approved GDP (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new GDP application reflecting those amendments.

ATTACHMENTS:

General Development Plan and required attachments.

	CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE	Fee: \$250.00 _____ Review Date: _____ Zoning: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.	Authorized Representative Eric Augustine	Title Estimator/Project Manager	
Mailing Address 3510 S. 26th Street	City Manitowoc	State WI	ZIP Code 54220
Email Address eaugustine@acebuildingservice.com	Phone Number (incl. area code) 920-682-6105		
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) HTT, Inc.	Contact Person Bob Lischka	Title Senior Manager - Supply Chain	
Mailing Address 1828 Oakland Ave	City Sheboygan	State WI	ZIP Code 53081
Email Address blischka@htt-inc.com	Phone Number (incl. area code) 920-453-5370		
SECTION 3: Project or Site Location			
Project Address/Description 1828 Oakland Ave., Sheboygan, WI 53081		Parcel No. 59281425440	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	HTT, Inc.		
Existing Zoning:	Urban Industrial (UI)		
Present Use of Parcel:	Industrial		
Proposed Use of Parcel:	Industrial		
Present Use of Adjacent Properties:	Industrial		
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Eric Augustine	Title Estimator/Project Manager	Phone Number 920-682-6105	
Signature of Applicant		Date Signed	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

City of Sheboygan
Plan Commission
828 Center Avenue
Sheboygan, WI 53081

PUD General Development Plan and Precise Implementation Plan *Narrative*

Project Location:

HTT, Inc.
1828 Oakland Ave.
Sheboygan, WI 53081

Existing Parcels 59281425440, 59281425550, and 59281425510

Description: Part of Blocks 4 & 5, Including vacated alleys and adjacent S. 19th Street, Located in the NE ¼ of the NW ¼ of Section 34, Town 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.

Zoning: Urban Industrial (UI)

Applicant:

A.C.E. Building Service, Inc.
3510 S. 26th Street
Manitowoc, WI 54220
Contact: Eric Augustine

Property Owner:

HTT, Inc.
1828 Oakland Ave
Sheboygan, WI 53081
Contact: Bob Lischka

Project Description:

32,075 square foot expansion of HTT, Inc. to the west of the existing building.

General project themes and images:

Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project. See attached renderings of the proposed addition.

The general mix of dwelling unit types or land uses:

Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion

Approximate residential densities and nonresidential intensities as describe by dwelling units per acre, floor area ratio, and impervious surface area ratio:

The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.6%. Proposed building area is 48.9%.

The general treatment of natural features:

A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

The general relationship to nearby properties and public streets:

The proposed expansion site will occupy the recently vacated S. 19th street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southeast and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others. Drive access to the expansion will be provided from Oakland Ave. No drive access will be provided from Union Ave.

The general relationship of the project to the comprehensive master plan:

The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.

A statement of rationale as to why PUD zoning is proposed. This shall identify barriers that the applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the applicant suggests are available through the proposed PUD zoning:

Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland, relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

A complete list of zoning standards which will not be met by the proposed PUD and the locations in which they apply and a complete list of zoning standards which will be more than met by the proposed PUD and the locations in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the plan commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility:

An exception to Section 15.105(3)(b)(F) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to Rear Lot Line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.

An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive.

Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.

A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any:

No known property owner association exists. No known deed restrictions exist.

A written description which demonstrates the full consistency of the proposed PIP with the approved GDP:

The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development:

Proof of financing capability for the project is assumed to be verified at a later date between HTT, Inc. and City of Sheboygan.

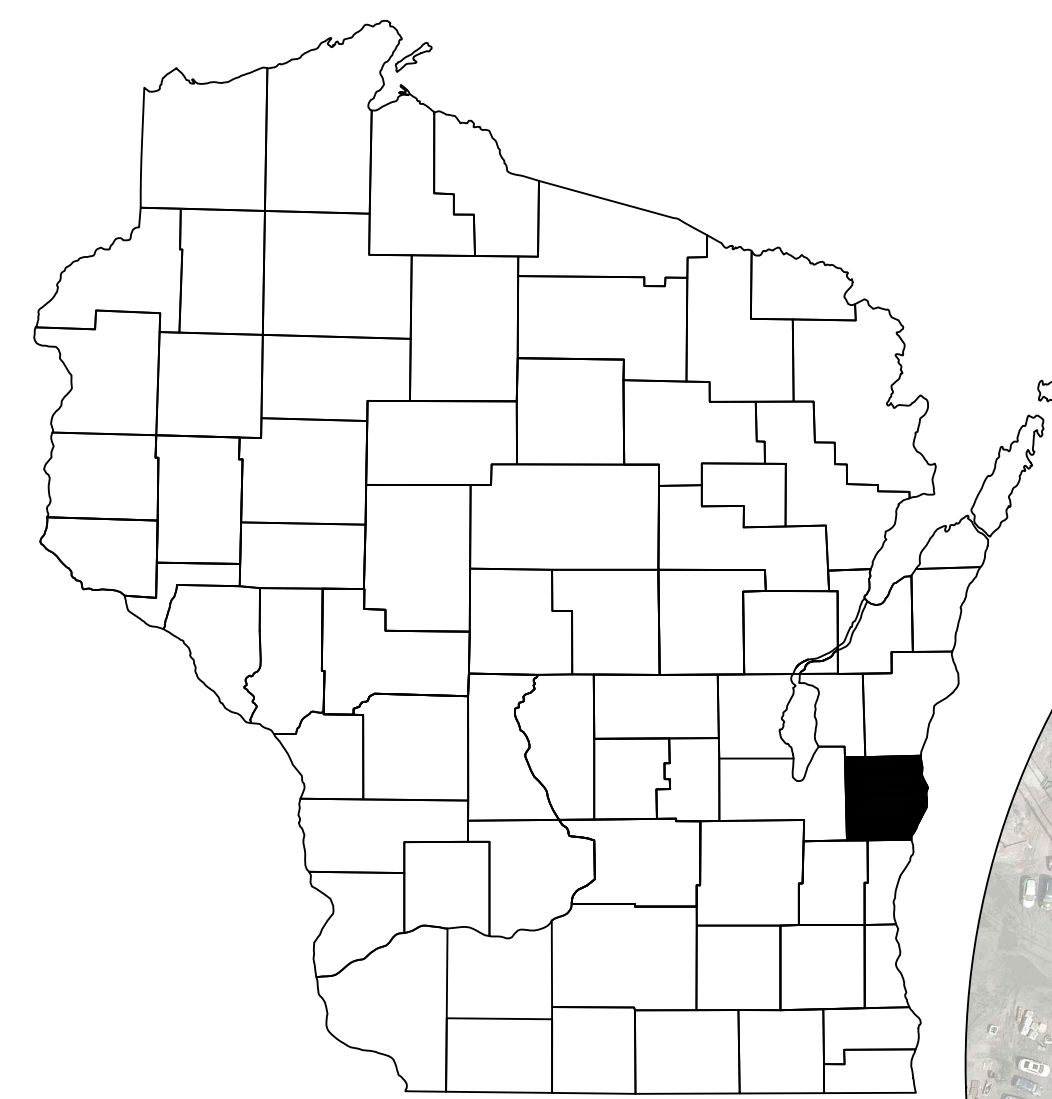
HTT WEST EXPANSION

1828 OAKLAND AVE, SHEBOYGAN, WI 53081

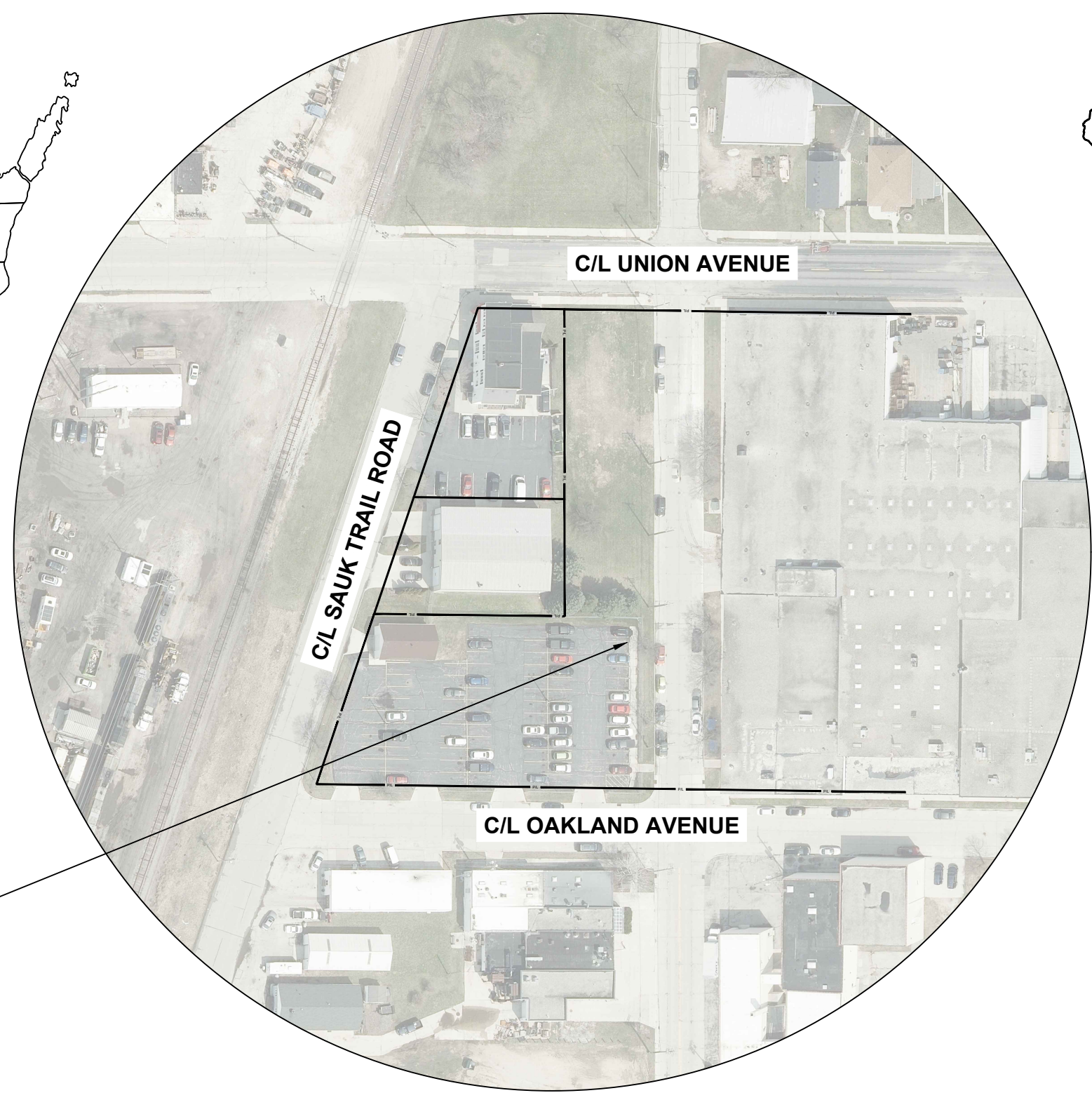
CIVIL ENGINEERING DRAFT PLANS

SITE LOCATION MAP:

NOT TO SCALE



PROJECT LOCATION

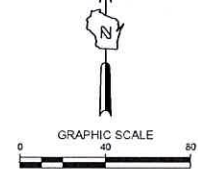


SHEET INDEX	
SHEET NO.	DESCRIPTION
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C301	SANITARY PLAN PROFILE
C302	WATER MAIN PLAN PROFILE
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	CITY SPECIFICATIONS

FEBRUARY 27, 2024

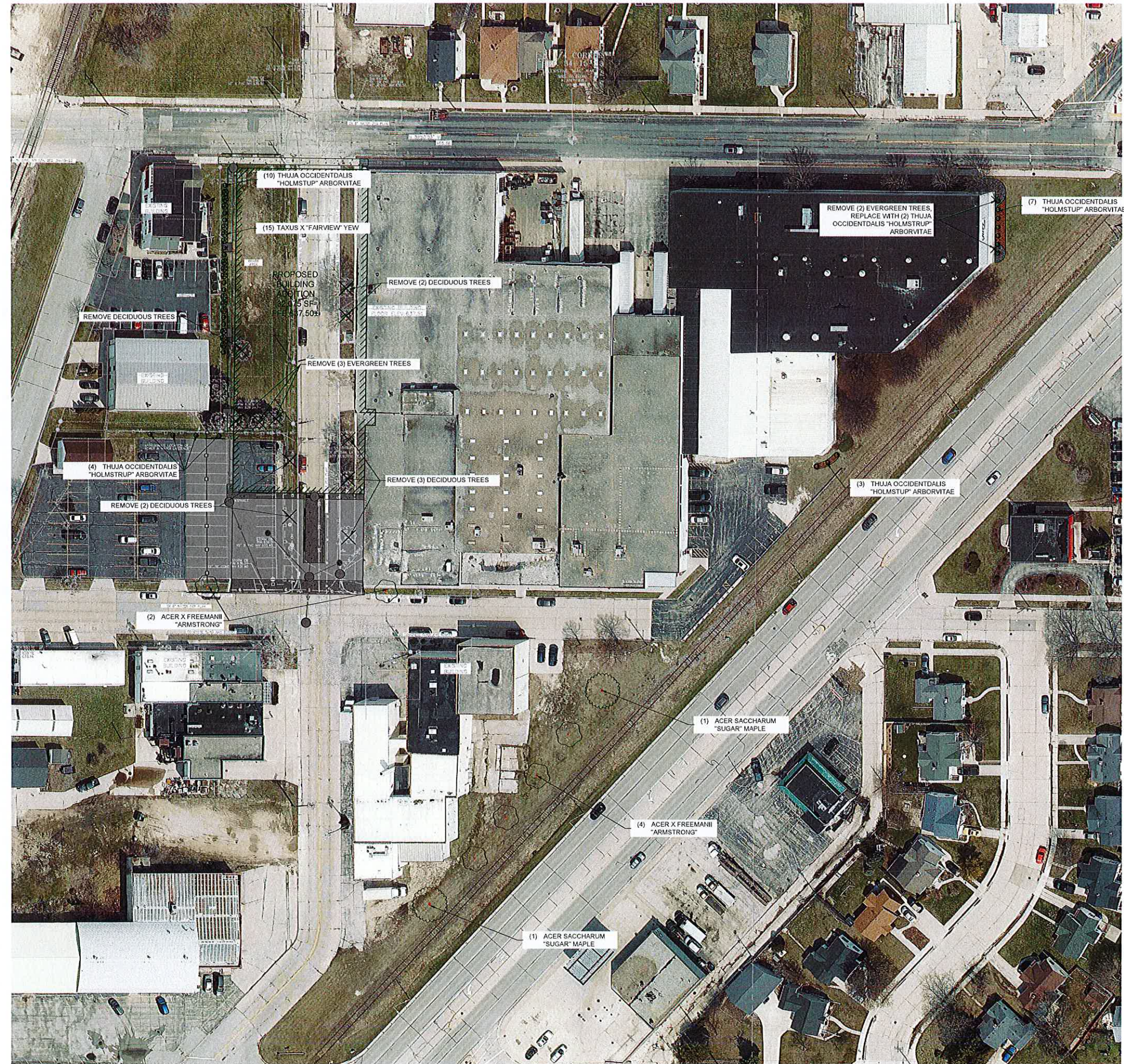
CITY OF SHEBOYGAN SPECIFICATIONS - WATER UTILITIES	REVISION DESCRIPTION		REV. BY	DATE	<div style="border: 1px solid black; padding: 2px; text-align: center;">Item 5.</div>
	NO.	DESCRIPTION			
<p>PART 1 – GENERAL</p> <p>1.01 SUMMARY</p> <p>A. This Section identifies specifications on watermain and appurtenances installation.</p> <p>B. Watermain and appurtenances installation shall comply with chapters and sections of the referenced documents in Part 2 of this section.</p> <p>C. Watermain and appurtenances shall be installed using parts identified in this section.</p> <p>D. Payment of this section should be covered by line items referenced in section 01 41 43.</p> <p>E. All watermain and appurtenances shall be provided by Contractor.</p> <p>PART 2 – PRODUCTS</p> <p>2.01 Standard Specifications for Sewer and Water Construction in Wisconsin - 6th Edition dated December 22, 2003 with Addendum No. 1 dated December 22, 2004 and Addendum No. 2 dated April 22, 2008</p> <p>2.02 PVC pipe, as noted on the plans or bid documents, shall conform to AWWA C-900 or C-905, latest revision, have the O.D. of ductile iron and have a pressure class rating of at least 150 psi and a dimension ratio of 18 or stronger.</p> <p>2.04 The 12" ductile iron pipe and hydrant leads shall be ductile iron, class 52 minimum.</p> <p>2.05 All fittings shall be ductile or cast iron. Minimum working pressure rating shall be 250 psi, except that for ductile iron fittings 24" and smaller, the minimum working pressure rating shall be 350 psi. Joints shall be mechanical, unless otherwise specified. All cast or ductile fittings shall be cement-lined on the interior flow way, unless epoxy-coated; per the standard specifications. Special fittings and accessories, not otherwise covered in the Contract Documents, shall conform substantially with other fitting requirements and be compatible with the existing and proposed pipe materials. Significant deviations, if any, shall be stated in writing to and approved by the Engineer.</p> <p>2.06 Hydrants shall be:</p> <p>A. Clow Eddy F-2640 B. Waterous WB-67B-250, with 16" upper standpipe section, or C. Kennedy K81-D.</p> <p>in conformance with the following specific requirements:</p> <p>a. Traffic flange and frangible stem coupling construction required. b. Two 2-1/2" Hose nozzles and one 4-1/2" Pumper nozzle, all with National Standard Fire Hose Coupling Screw Thread, required. c. 5-1/4" nominal diameter of main valve opening. d. Inlet connection shall be 6" mechanical joint with gland, rubber gasket, and high-strength, low-alloy bolts and nuts. e. Operating nut and cap nuts shall be 1-1/2" pentagon measured from point to opposite flat (National Standard), and open left (counter-clockwise). f. Caps shall be furnished with corrosion resistant metal chains and gaskets. g. Pressure activated seals shall be the O-ring type. h. Exposed exterior above proposed ground line shall have been cleaned and primed, as per AWWA, and finished with OSHA safety red enamel. (Repainting over finish coat of a different color is not acceptable.) i. No drain, or drains shall be plugged with manufacturer approved plug.</p> <p>2.07 Gate valves shall conform to the latest revision of AWWA C509 (resilient-seated) or AWWA C515 (ductile body resilient-seated). When gate valves are specified in sizes 4" through 12", they shall be of the resilient-seated type and in conformance with the following specific additional requirements:</p> <p>a. Valves shall be intended for direct burial in an essentially vertical position in horizontal pipelines and be of the non-rising stem design, with O-ring stem seals, standard size (2") wrench nut, and opening left (counter-clockwise). b. Valve ends shall be mechanical joint, unless otherwise specified, complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the MJ bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. c. Gland and bonnet bolting materials shall be 304 stainless steel, factory installed prior to testing. d. Internal and external surfaces of the valve body and bonnet shall be epoxy coated, in accordance with the latest revision of AWWA C550.</p> <p>2.08 12" valves and less shall be the resilient-seated type. In areas of less than 6' of cover, Engineer may require the butterfly type. Valves larger than 12" shall be butterfly, unless otherwise specified.</p> <p>2.09 Unless otherwise specified, butterfly valves shall be of the mechanical joint body type, and have a pressure rating of not less than Class 150B. Valves shall open left (counter-clockwise).</p> <p>2.10 Valve boxes shall be entirely of cast iron (Tyler Series, USA Made) in accordance with the requirements of this section. Box lids shall be drop type, with 1-1/2 inch skirt, marked "WATER", sized to fit properly.</p> <p>2.11 Valve boxes for use with gate valves and air release assemblies shall be three-piece, Tyler Series 6860, with base section as required for valve size.</p> <p>2.12 Top sections and risers which are less than 10" in length shall not be allowed.</p> <p>2.13 Temporary water shall be constructed entirely with NSF 61 approved materials.</p> <p>2.14 12 mil, polyethylene wrap is required on this project.</p> <p>2.15 Where joint restraint is required per the plans or specifications, Contractor shall install retainer glands ("Megalug®" by EBAA Iron, Inc., or equal), manufactured harnesses, and/or locking push joint gaskets, and where not feasible install "Cor-Ten®" tie rods (quantity per joint per manufacturer's lost table) and appurtenances ("Star™" Joint Restraint System, or equal). If additional excavating is yet to be done and/or backfilling is not completed or well compacted, or for his desire, Contractor should install additional restraint, and may use blocking or buttressing, if per Engineer's approval.</p> <p>2.16 Permanent manual air relief assemblies shall be of 1" soft copper tube, with all fittings of brass, and water valve box and base of cast iron. Top end of copper tube shall be fitted with a brass garden hose threading fitting w/brass garden hose cap (See Exhibit C.) A saddle and 1" ball-style corporation stop (w/flare end), and a 90 degree swivel (quarter bend, i.e. FCTxFC/Ford L04-44S, or equal) is to be furnished, and all installed by Contractor. Bend should attach to corp to keep installation as deep as possible. Brass nipples and pipe are not allowed. (A union may be placed near the top of the discharge tube for temporary lowering to trim road gravel prior to paving.)</p> <p>2.17 Mechanical joint valves shall be complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the mechanical-joint bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. Bolting materials shall be coated with a non-sticky, non-brittle petroleum asphaltic coating by Contractor prior to installation, if not already coated by supplier with a similar corrosion-inhibiting material.</p> <p>2.18 Water Main and Sampling Procedure, found in the appendix.</p>	<p>3.03 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.</p> <p>A. Excavation:</p> <p>a. Include cost of sawing and breaking pavement in unit prices bid for water main. b. Include cost of excavation of soils for installation of water main and associated appurtenances in unit prices bid for water main. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water main. B. Include cost of dewatering excavation in unit prices bid for water main. C. Include costs for disposal of material in unit prices bid for water main. D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices bid for water main. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water main. F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main. G. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main. H. Pavement, sidewalk, driveways and curb and gutter:</p> <p>a. Include cost of replacing any damaged or removed concrete pavement, sidewalk, driveways, curb and gutter in the respective unit prices bid for water main. I. Thrust blocking and restraining water main:</p> <p>a. Include all associated costs of thrust blocking and water main restraint in unit prices bid for water main. J. Polyethylene wrap:</p> <p>a. Include costs of 12 mil polyethylene wrap for all ductile iron pipe, fittings, valve boxes, hydrants, services and other ductile iron and cast iron appurtenances in unit prices bid for water main. K. Tracer Wire:</p> <p>a. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main. L. Erosion and Sediment Control:</p> <p>a. Include costs of erosion and sediment control in unit prices bid for water main. b. Include costs of dust control and sweeping roadway in unit prices bid for water main. M. Tree Clearing and Grubbing:</p> <p>a. Include cost for clearing or grubbing in unit prices bid for water main. b. Replacement trees or shrubs and new trees and shrubs shall be included in unit prices bid for water main. N. Traffic Control:</p> <p>a. Include all associated costs to design, implement and maintain traffic control items in lump sum price bid for traffic control. O. Utility and Lateral Crossings:</p> <p>a. Include cost of utility company to relocate or reinforce poles, ties or anchors, and expose existing utilities in unit prices bid for water main and services. b. Include cost of locating and excavating, as needed, existing utilities to confirm their location and elevation in order to plan for avoiding interferences in unit prices bid for water main construction. Laterals damaged due to construction activities shall be restored and repaired at the cost of the contractor. c. Design of pipe support and supporting existing sewers, water main and all other utilities and laterals shall be included in unit prices bid for water main. P. Removal and abandonment of existing water main, hydrants and associated appurtenances shall be included in the unit prices of water main. Q. Trench Maintenance:</p> <p>a. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main. R. Water Service Reconnect:</p> <p>a. Include all associated costs to furnish, install and reconnect existing copper service, where plans indicate, in unit prices bid for water service reconnect. Include all associated material, labor and equipment for excavation, backfill and pavement restoration required for service reconnect in unit prices bid for copper service reconnect. S. Temporary External Water Supply System:</p> <p>a. Include all associated costs to design, furnish, install, disinfect and maintain external water supply system in unit prices bid for Temporary External Water Supply System. b. Include all costs to provide a standby contact, available 24 hours a day for emergency situations in unit prices bid for Temporary External Water Supply System.</p> <p>3.04 Bid price for "reconnect existing water service" shall be the price paid for each existing copper service (of a particular size) that is being reconnected from the main being abandoned to the new main being installed, when such bid item exists.</p> <p>3.05 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe. Final testing of the tracer wire will be performed by the Utility; discontinuities shall be repaired by the Contractor.</p> <p>3.06 Water Main Construction A. Additional crushed stone required for trench stabilization beneath the first 3" will be paid for according to the bid item for 1-1/2" foundation stone. Bid price shall include cost of furnishing and placing material, as well as costs of additional excavation, sheathing, shoring, dewatering, and disposal of excess material attributable to this item. In order to receive compensation for this item, authorization shall be received from Engineer whenever and wherever bottom is unsuitable for pipe support. Payment shall be based on compacted volume computed by multiplying actual depth not to exceed the amount authorized, commencing 3" below bedding material, by average width not to exceed O.D. of pipe plus 24", by length equal to length of trench stabilized, as witnessed by Engineer.</p> <p>B. Bedding and cover material shall be sand conforming to Sec. 8.43.2(c), as shown on File #36 in the Standard Specifications, except that cover material shall extend to 12" over pipe. C. Wherever excavated material is deemed suitable by Engineer for bedding and cover material, a credit of \$10.00 per cubic yard shall be taken by the Utility for each in place cubic yard of cover and bedding material required, based on an average width of trench of pipe O.D. plus 24". D. Valves, hydrants, and special fittings may be supported in vertical positions on solid concrete block or concrete support. If wood blocking and shims are used, they shall be of good quality hardwood. Loose and soft ground shall be removed and replaced with stone and blocking of size sufficient to provide stable and unsetting support. E. Solid concrete block and/or hardwood buttressing of equivalent dimensions shall be substituted for concrete behind hydrants and beyond tees, crosses and dead-ends which may be extended in the future, provided they can be placed against firm, undisturbed trench walls, and perpendicular to direction of thrust. If adequate support against firm, undisturbed earth cannot be obtained for buttressing, submit thrust restraint design to Engineer for approval.</p>	<p>F. All unwrapped joint restraint rod & clamps shall be thoroughly coated for corrosion protection with an approved bituminous protective coating, per Section 4.9.3.</p> <p>3.07 Polywrapping</p> <p>A. All installed iron piping shall be wrapped; including valves, valve boxes, fittings and hydrant. Polywrapping shall be incidental to the cost of water main construction. Polywrapping of service connections shall be incidental to the price bid for that work. Repairs to damaged polyethylene must be made by covering defect with polyethylene and/or approved tape; duct tape alone is not allowed. Any damage to the coating on existing iron water lines remaining in service must be repaired with an approved bituminous protective coating.</p> <p>3.08 Air Relief Assemblies</p> <p>A. For manual air relief assemblies the standard cast iron box must be blocked so that it does not rest directly on water main or copper tube. A curb stop and box, per specs, shall be installed in the water valve box. The stop box lid shall be replaced with a snug fitting plastic cap instead. A (90 degree) swivel quarter bend (i.e. FCTxFC/Ford L04-44S or equal) shall be installed at outlet of the 1" ball-style curb stop (i.e. flared outlet Ford B22-444M, B22-444SWM, or equal) so to eliminate a sweeping loop in the copper tube. Bend should attach to stop to keep within valve base. A "stop & waste" style curb stop is preferred. In lieu of a "stop & waste" style, a small weep hole shall be drilled at the base of the riser. Existing and proposed depth of cover at curb stop valve shall be at least 5'-6". If necessary, set the assembly alongside the main, and insulate (per section 4.17.2) the portion between corp and curb stop which has less than 5'-6" of existing and/or proposed cover. Cost of insulation shall be incidental to air relief assembly.</p> <p>3.09 Hydrostatic Testing</p> <p>A. A combined pressure and leak test typically will be allowed. It shall be performed by Contractor and witnessed by Utility, during normal working hours, with no charge to Contractor for successful tests (if any fail, they will be charged at regular rates) for such witnessing. B. Though a test section may include more than one segment, any and all intermediate valves shall be at least momentarily checked to see that they hold system pressure, including hydrant lead valves. When practical, they shall be checked for 100% shutoff in each direction. C. The pressure & leak test gauge shall be at least 2.5" diameter with a range of no more than 200 psi or 4" diameter with a range of no more than 300 psi. The gauge shall read in increments not to exceed 5 psi in the testing range. D. The duration of the "final" pressure test shall be two hours. The duration of the "final" leakage test, if needed, shall be two hours.</p> <p>3.10 Bacteriological Testing</p> <p>A. The Contractor shall provide a hydrant nozzle valve for each hydrant to facilitate flushing, if desired. Temporary sample cocks and fittings, when necessary, shall be furnished, installed and removed by Contractor, and main plugged, in presence of Engineer, with watertight cc threaded brass plugs, or suitable plug on outlet of corp when attached to a saddle, at completion of sampling. (For an example of a flushing & sampling assembly, see Detail on Plan.) B. All work associated with flushing and sampling must be performed in accordance with "Water Main Testing & Sampling Procedures," found within the appendix. C. Contractor shall provide chlorinating materials and equipment. Permatex No. 1 is not allowed. Tablets, if used, shall be attached with USDA approved food grade adhesives, such as Permatex Form-a-gasket No. 2 and Permatex Clear RTV Silicone Adhesive Sealant. D. When flushing mains, highly chlorinated water shall be thoroughly de-chlorinated, by approved methods. New mains shall be flushed, when possible, at a min. velocity of 2.5 ft./sec., prior to sampling and being put into service.</p>	<p>B. Daily inspections of trench, adjacent areas, and protective systems must be conducted by the Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-652.</p> <p>C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches not in conformance with OSHA standards.</p> <p>D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic.</p> <p>E. Open excavations must be barricaded off and completely covered with ¾" plywood if left unattended.</p> <p>F. Contractor to use an OSHA compliant shield or trench box when completing work. The Water Utility reserves the right to stop work due to unsafe working conditions.</p> <p>3.02 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.</p> <p>A. Excavation:</p> <p>a. Include cost of sawing and breaking pavement in unit prices bid for water services. b. Include cost of excavation of soils for installation of water services and associated appurtenances in unit prices bid for water services. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water services. D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices bid for water services. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water services. F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices of water services. G. Removal and abandonment of existing water services associated appurtenances shall be included in the unit prices of water services. H. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water services. I. New Water Service Connections:</p> <p>a. Include all associated costs to furnish and install materials required to connect 1" copper or plastic services as contract documents indicate, in unit prices bid for water services. b. Include costs to locate existing service material prior to connection in unit prices for water service connections.</p> <p>3.03 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe.</p> <p>3.04 Water services and curb stop boxes shall be placed where and at the elevation designated by the Water Utility and/or the City DPW or Plumbing Inspector, and all materials furnished and installed in accordance with the City of Sheboygan plumbing code.</p> <p>3.05 All ends on copper tubing shall be reamed to remove any burrs. All service work shall be inspected for proper use of materials and workmanship, adequate depth and location, visually for leaks, measured and recorded, all by the Utility's and/or City's inspector, prior to backfilling.</p> <p>3.06 Any water service damaged by the Contractor shall be properly repaired at the Contractor's expense. This work shall meet all State and local plumbing codes.</p> <p>3.07 Contractor should relocate curbstop boxes that fall within driveways, curbing, sidewalks or other concrete structures.</p> <p>3.08 Residential Meter Settings- The following specifications provide consistent standards for water meter settings in the City of Sheboygan. Based on information obtained from American Water Works Association (AWWA) standards, Badger Meter Inc., and Master Meter Inc., these specifications help to ensure the meter's accuracy and the safety of workers who must maintain meters. A. Horns: Meter horns are required on all residential installations, including single and multiple dwelling units. Horns must not have built-in backfill prevention. Meter horns are not required on existing installations unless the entire meter setting must be rebuilt. Meter horns have a 7 1/2" inch laying length. B. Valves: All meter settings must have two valves (inlet and outlet). Existing installations with only a functional inlet valve are acceptable. If an existing setting has two valves in need of replacement, then the setting will need to be rebuilt, including the addition of a horn. Outlet valves shall not be installed closer than 12" from the meter horn flanges. Multiple dwelling and commercial settings must have a lockable in-valve, minimum ¾", plumbed directly to the horn. Valves with removable handles are not acceptable. C. Support: All meter horns shall be full pipe clamped to the wall or floor within 6" inches of the inlet and outlet of the horn. All support hardware must be compatible material to reduce the potential for galvanic action with the piping. Support hardware cannot distort, cut, or abrade the piping and must be sufficiently rigid to support the piping and its contents. Radiator clamps and pipe rests are not acceptable means of support. D. Clearance: All meter settings shall maintain 18" of unobstructed space from the floor to center pipe of the meter. The center pipe of the meter shall be no higher than 48" from the floor. A minimum of 12" of unobstructed space must be maintained above the meter lens. E. If multiple meters are stacked, 24" of unobstructed space shall be maintained between the bottom meter, center of pipe and the top meter, center of pipe. If multiple meters are parallel or in a row, 6" of space must be maintained between each meter horn. 36" of unobstructed space must be maintained in front of the meter setting. F. Meter settings that currently comply with Sheboygan Water Utility specifications need not be replaced. 3.09 Grounding A. Contractor to verify the need for grounding before performing that work on a property. Grounding to be completed at the time of water service replacement as to minimize inconvenience to the customers, and to ensure that the property is always properly grounded during construction. 3.10 Restoration of water to the properties is required after the service replacement has occurred. Water restoration includes scheduling access to the property and scheduling a meter installation with the Water Utility at least 24 hours in advance. The curbstop should be turned on and flushing of the service should be completed by the contractor prior to meter installation.</p>		
<p>PROJECT INFORMATION:</p> <p>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</p> <p>SHEET INFORMATION</p> <p>A.C.E. JOB NO. DATE: 12/08/2023 DRAWN BY: AKK SCALE: NTS SHEET</p>					
<p>HTT WEST EXPANSION</p> <p>1828 OAKLAND AVENUE SHEBOYGAN, WI 53081</p>					
<p>CITY SPECIFICATIONS</p> <p>C501</p>					

zoned: U1 w/PUD overlay



LEGEND:

- PROPOSED MULCH - MATCH EXISTING
- EXISTING MULCH
- ACER SACCHARUM "SUGAR" MAPLE
- ACER X FREEMANI "ARMSTRONG"
- THUJA OCCIDENTALIS "HOLMSTRUP" ARBORVITAE
- TAXES X MEDIA "FAIRVIEW" YEW
- EXISTING TREE REMOVAL



LANDSCAPING:

PLANT MATERIAL SCHEDULE - DEVELOPED LOT - 32,075 SF
5 POINTS PER 1,000 SF OF GROSS FLOOR AREA
32,075 / 1,000 = 32.08 * 5 = 160.4 = 161 REQUIRED POINTS

PLANT MATERIAL SCHEDULE - ADDED BUILDING FOUNDATIONS - 488 LF
20 POINTS PER 100 LF OF BUILDING FOUNDATION PERIMETER
488 / 100 = 4.88 * 20 = 97.6 = 98 REQUIRED POINTS

PLANT MATERIAL SCHEDULE - STREET FRONTAGES
20 POINTS PER 100 LF OF STREET FRONTAGE
228 / 100 = 2.28 * 20 = 45.6 = 46 REQUIRED POINTS

PLANT MATERIAL SCHEDULE - PAVED AREAS - ADDING 15,160 SF
40 POINTS PER 10,000 SF OF PAVED AREA
8,749 / 10,000 = 0.8749 * 40 = 34.99 = 35 REQUIRED POINTS

REMOVING (8) TALL DECIDUOUS TREES - 30 POINTS EACH - 30 * 8 = 240 POINTS
REMOVING (3) TALL EVERGREEN TREES - 40 POINTS EACH - 40 * 3 = 120 POINTS

TOTAL POINTS REQUIRED = 700 LANDSCAPING POINTS

(2) SUGAR MAPLE
75 POINTS EACH - CLIMAX TREES - (150 POINTS)

(8) ACER X FREEMANI "ARMSTRONG"
30 POINTS EACH - TALL DECIDUOUS TREES - (180 POINTS)

24 24 HOLMSTRUP ARBORVITAE
5 5 POINTS EACH - MEDIUM EVERGREEN TREES - 120 pts

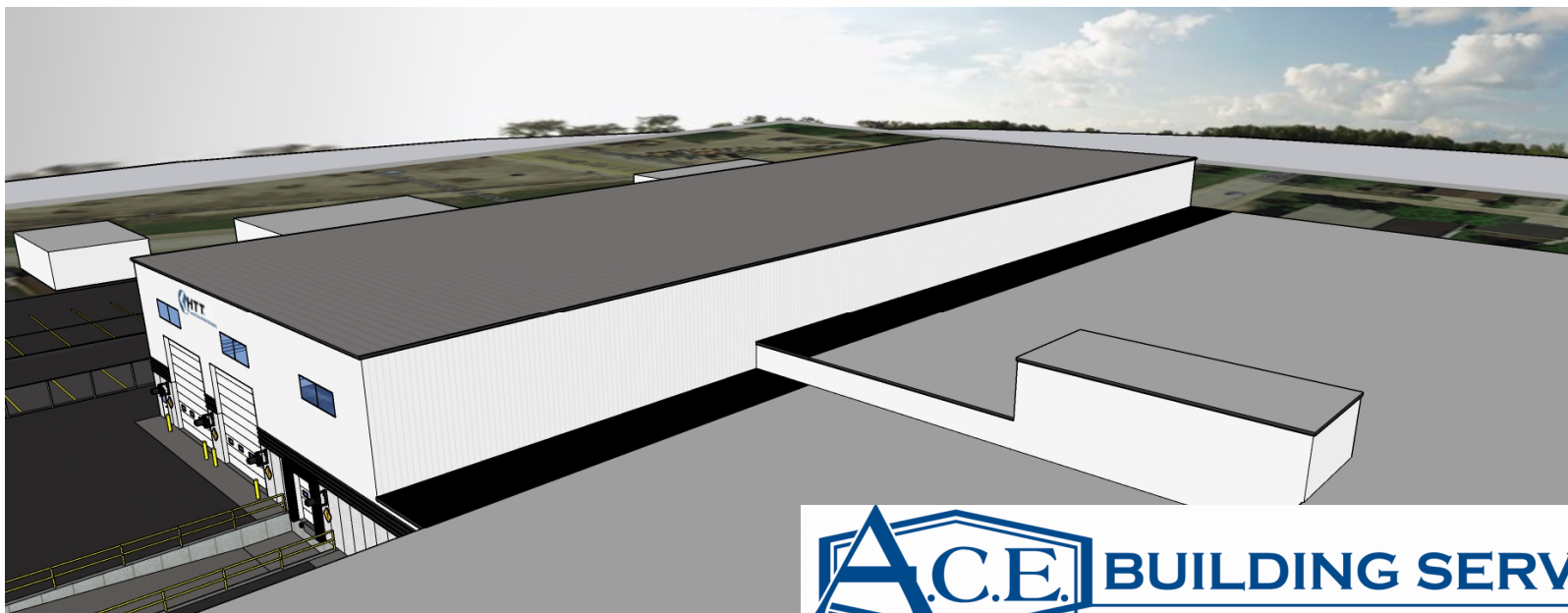
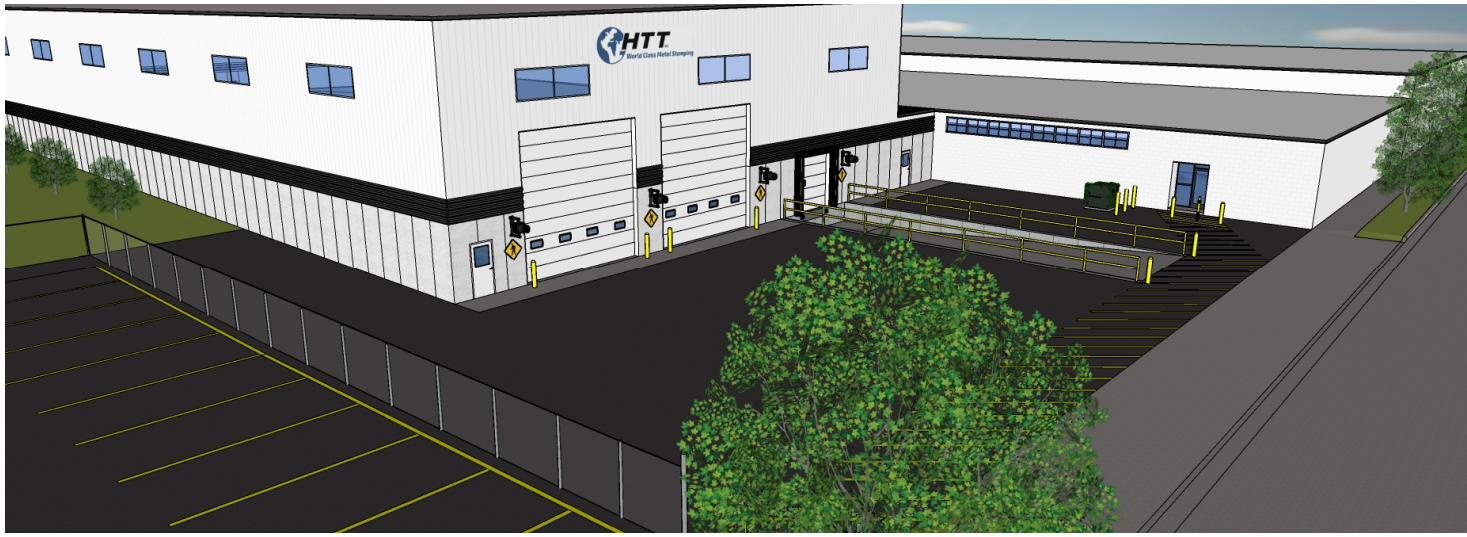
(15) FAIRVIEW YEW
3 POINTS EACH - LOW EVERGREEN SHRUBS - (45 POINTS)

TOTAL POINTS PROVIDED = 495 POINTS > 700 REQUIRED POINTS

Janet M. Duellman 3-8-2024
Approved with the
noted corrections. Please
note the tree located on
the south lot are to count
towards this proposed
addition and cannot
be used towards
the development
of that
lot.

OVERALL LANDSCAPE PLAN

REV. BY		Item 5.
DATE		
REVISION DESCRIPTION		
<small>OUR REPUTATION IS OUR FOUNDATION P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONIN: 920-692-6105 • FAX: 920-692-7700 • WWW.ACEBLSERVICE.COM</small>		
PROJECT INFORMATION:	HTT WEST EXPANSION 1828 OAKLAND AVENUE SHEBOYGAN, WI 53081	
<small>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</small>		
SHEET INFORMATION		
A.C.E. JOB NO.		
DATE: 12/05/2023		
DRAWN BY: AKK		
SCALE: 1"=40'		
SHEET		L100
		30



CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Precise Implementation Plan by A.C.E Building Service, Inc. to construct a new addition to HTT, Inc. located at 1828 Oakland Avenue. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Program Assistant

REPORT DATE: March 5, 2024

MEETING DATE: March 12, 2024

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Today, the Plan Commission will be reviewing the HTT, Inc. Precise Plan (PIP) for property located at parcels 59281425440, 59281425550, and 59281425510.

The applicant states the following about the HTT, Inc. project:

- This project will be a 32,075 square foot expansion of HTT, Inc. to the west of the existing building.
Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project.
Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion.
The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.9%. Proposed building area is 48.9%.
A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

- The proposed expansion site will occupy the recently vacated S. 19th Street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southwest and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others.
- Drive access to the expansion will be provided from Oakland Ave. No access will be provided from Union Ave.
- The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.
- Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland Ave., relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.
- The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

Requested exceptions from the underlying zoning district:

- An exception to Section 105-530(b)(3) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to nonresidential rear/front lot line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.
- An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive. Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.
- An exception to the landscape points required and to the required location of said plantings. The plan that has been submitted has been approved with the following notes: The new trees to be planted on parcel # 59281425650 located south of Oakland Avenue are to be used for the addition to the west side of the existing building located at 1828 Oakland Avenue and cannot be used towards points of the future development of parcel # 59281425650.

STAFF COMMENTS:

The surrounding neighborhood zoning is:

- The properties to the east are zoned Railroad (RR).

- The properties to the north are zoned Urban Commercial (UC) and Neighborhood Residential-6 (NR-6).
- The properties to the south are zoned Urban Industrial.
- The properties to the west are zoned Urban Industrial.

ACTION REQUESTED:


Staff recommends approval of the HTT Precise Implementation Plan subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire/police departments, etc.).
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a landscape plan prior to building permit issuance. Landscaping shall be installed prior to occupancy.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
7. All areas used for parking/maneuvering of vehicles shall be paved prior to issuance of an occupancy permit.
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
13. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited

- to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
16. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. Nothing shall be located on the City Union Avenue public right-of-way. It is up to the applicant to ensure that all of the construction takes place on their private property and not in the City right-of-way.
 17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
 18. If there are any amendments to the approved PIP (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new PIP application reflecting those amendments.

ATTACHMENTS:

Precise Implementation Plan and required attachments.

	CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE	Fee: \$250.00 _____ Review Date: _____ Zoning: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.	Authorized Representative Eric Augustine	Title Estimator/Project Manager	
Mailing Address 3510 S. 26th Street	City Manitowoc	State WI	ZIP Code 54220
Email Address eaugustine@acebuildingservice.com		Phone Number (incl. area code) 920-682-6105	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) HTT, Inc.	Contact Person Bob Lischka	Title Senior Manager - Supply Chain	
Mailing Address 1828 Oakland Ave	City Sheboygan	State WI	ZIP Code 53081
Email Address blischka@htt-inc.com		Phone Number (incl. area code) 920-453-5370	
SECTION 3: Project or Site Location			
Project Address/Description 1828 Oakland Ave., Sheboygan, WI 53081		Parcel No. 59281425440	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	HTT, Inc.		
Existing Zoning:	Urban Industrial (UI)		
Present Use of Parcel:	Industrial		
Proposed Use of Parcel:	Industrial		
Present Use of Adjacent Properties:	Industrial		
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Eric Augustine	Title Estimator/Project Manager	Phone Number 920-682-6105	
Signature of Applicant		Date Signed	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

City of Sheboygan
Plan Commission
828 Center Avenue
Sheboygan, WI 53081

PUD General Development Plan and Precise Implementation Plan *Narrative*

Project Location:

HTT, Inc.
1828 Oakland Ave.
Sheboygan, WI 53081

Existing Parcels 59281425440, 59281425550, and 59281425510

Description: Part of Blocks 4 & 5, Including vacated alleys and adjacent S. 19th Street, Located in the NE ¼ of the NW ¼ of Section 34, Town 15 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin.

Zoning: Urban Industrial (UI)

Applicant:

A.C.E. Building Service, Inc.
3510 S. 26th Street
Manitowoc, WI 54220
Contact: Eric Augustine

Property Owner:

HTT, Inc.
1828 Oakland Ave
Sheboygan, WI 53081
Contact: Bob Lischka

Project Description:

32,075 square foot expansion of HTT, Inc. to the west of the existing building.

General project themes and images:

Construction materials to include a pre-cast concrete wear wall, semi-concealed fastener metal panel, horizontal metal panel accent banding, windows, and overhead doors. All proposed material is similar to existing construction. The existing building masonry will also be re-painted as part of this project. See attached renderings of the proposed addition.

The general mix of dwelling unit types or land uses:

Land use will be similar to the existing facility. The expansion will be used for manufacturing and warehousing. Loading dock and at-grade overhead door access will be provided at the south end of the expansion

Approximate residential densities and nonresidential intensities as describe by dwelling units per acre, floor area ratio, and impervious surface area ratio:

The existing site area is 65,523 square feet. The existing impervious area is 64.3%. Proposed impervious area is 69.6%. Proposed building area is 48.9%.

The general treatment of natural features:

A total of (11) trees will be removed as part of the expansion. Greenspace to the west of the expansion will be restored and is to remain from the west edge of the expansion to the west property line.

The general relationship to nearby properties and public streets:

The proposed expansion site will occupy the recently vacated S. 19th street between Union Ave. and Oakland Ave. HTT, Inc. owns the property to the southeast and a portion of the property directly southwest of the expansion. The expansion will stay approximately 15' off the property line (UI zoning states a 5' property line setback) to the two parcels on the west side, owned by others. Drive access to the expansion will be provided from Oakland Ave. No drive access will be provided from Union Ave.

The general relationship of the project to the comprehensive master plan:

The proposed expansion will match the existing Urban Industrial (UI) zoning of the parcels.

A statement of rationale as to why PUD zoning is proposed. This shall identify barriers that the applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the applicant suggests are available through the proposed PUD zoning:

Certain barriers with the zoning district requirements exist that would render a Planned Unit Development (PUD) the best option. Exceeding the property line setback on the north side of the expansion allows for loading dock access from Oakland, relieving some traffic at the existing loading dock on Union Ave., as Oakland Ave. does not see the traffic load of Union Ave.

A complete list of zoning standards which will not be met by the proposed PUD and the locations in which they apply and a complete list of zoning standards which will be more than met by the proposed PUD and the locations in which they apply shall be identified. Essentially, the purpose of this listing shall be to provide the plan commission with information necessary to determine the relative merits of the project in regard to private benefit versus public benefit, and in regard to the mitigation of potential adverse impacts created by design flexibility:

An exception to Section 15.105(3)(b)(F) of the City of Sheboygan Municipal Code requiring 25 feet of setback from the Building to Rear Lot Line is requested. This would allow the expansion to maximize square footage and provide access from the south, where traffic is reduced to the public.

An exception to Section 105-721(a)(5) of the City of Sheboygan Municipal Code requiring one parking space for the employee on the largest shift is requested. HTT, Inc. will have an offset in total number of parking spaces with the recently vacated section of Oakland Ave. from S. 19th street to Business Drive.

Additionally, HTT, Inc. will utilize an expansion of employee parking to the south of Oakland Ave. as part of a short-term goal, which will account for currently employee parking and future employee growth.

A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services, if any:

No known property owner association exists. No known deed restrictions exist.

A written description which demonstrates the full consistency of the proposed PIP with the approved GDP:

The General Development Plan (GDP) and Precise Implementation Plan (PIP) have been combined into one step. Applicant seeks approval of both concurrently.

The applicant shall submit proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development:

Proof of financing capability for the project is assumed to be verified at a later date between HTT, Inc. and City of Sheboygan.

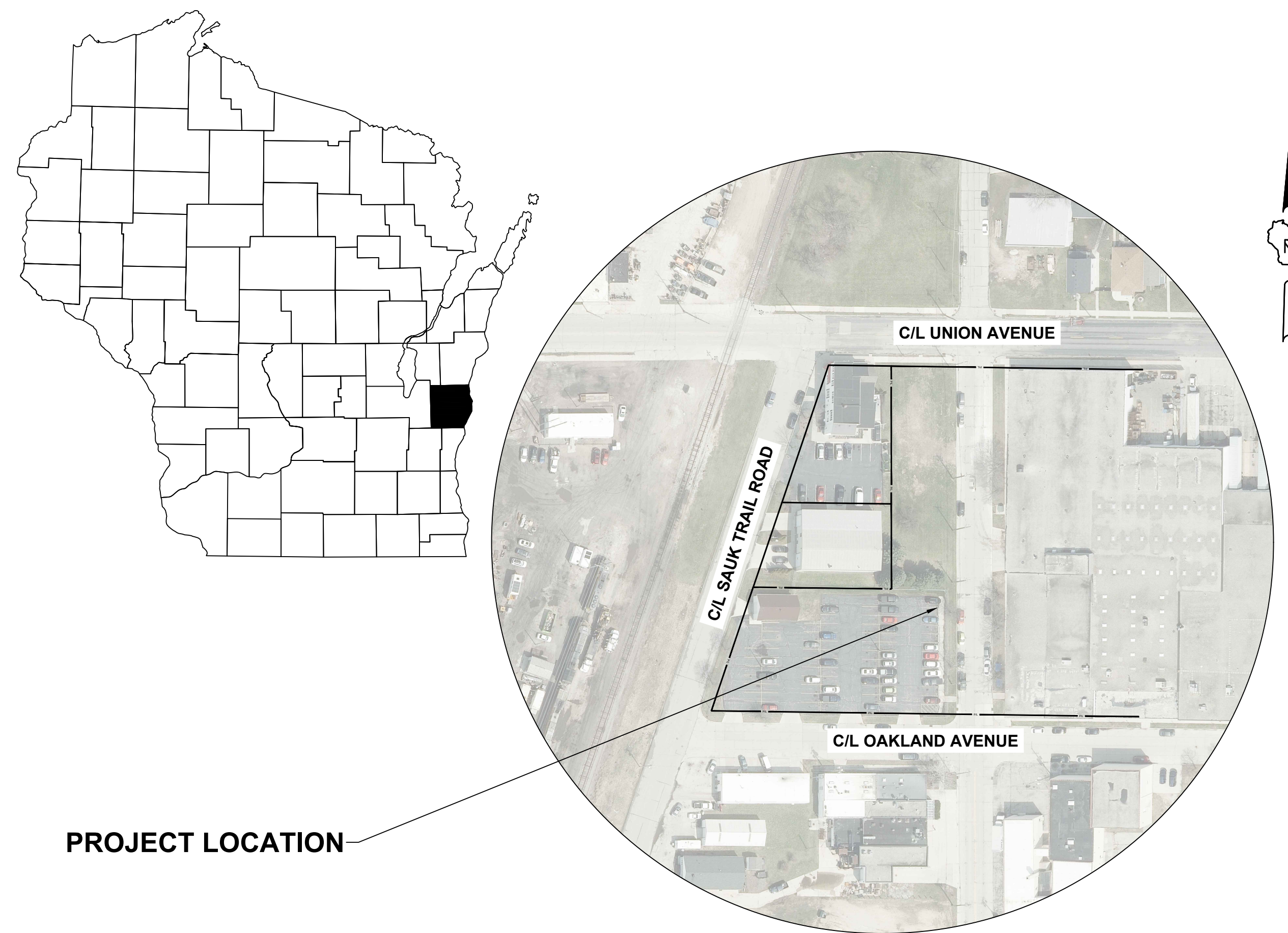
HTT WEST EXPANSION

1828 OAKLAND AVE, SHEBOYGAN, WI 53081

CIVIL ENGINEERING DRAFT PLANS

SITE LOCATION MAP:

NOT TO SCALE



PROJECT LOCATION

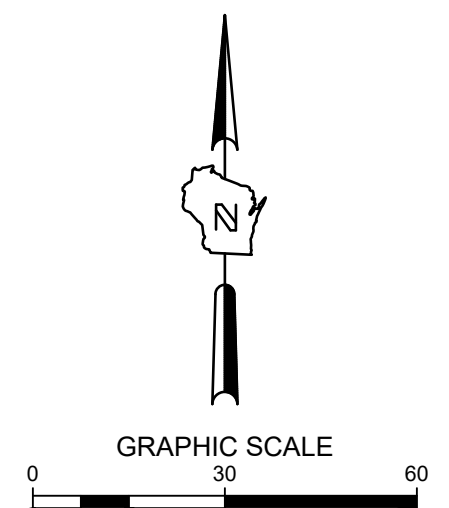
SHEET INDEX

SHEET NO.	DESCRIPTION
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
C301	SANITARY PLAN PROFILE
C302	WATER MAIN PLAN PROFILE
C400	EROSION CONTROL DETAILS
C401	DETAILS
C402	DETAILS
C500	SPECIFICATIONS
C501	CITY SPECIFICATIONS

FEBRUARY 27, 2024

NW CORNER
SEC. 34-15-23
(EXISTING "MAC" NAIL)
SHER. CO. COORD.
N: 169719.298
E: 211826.592

N 1/4 CORNER
SEC. 34-15-23
(EXISTING "MAC" NAIL)
SHER. CO. COORD.
N: 169711.616
E: 211481.485



C/L UNION AVENUE

PROPOSED CURB PER CITY OF SHEBOYGAN STANDARDS (D C401)

MATCH INTO EXISTING CURB

MATCH INTO EXISTING SIDEWALK

LEGEND:

- (A C401) 5" THICK CONCRETE WALK
- (B C401) CONCRETE PAVEMENT
- (C C401) HEAVY-DUTY ASPHALT SURFACE
- PROPOSED SWALE
- PROPOSED FENCELINE

SITE INFORMATION			
SITE AREA	65,523 SF	1.504 AC	
SITE DISTURBED AREA	52,150 SF	1.197 AC	79.6 %
EXISTING IMPERVIOUS AREA	42,141 SF	0.967 AC	64.3 %
PROPOSED IMPERVIOUS AREA	45,572 SF	1.046 AC	69.6 %
EXISTING PAVEMENT AREA	42,141 SF	0.967 AC	64.3 %
PROPOSED PAVEMENT AREA	13,497 SF	0.310 AC	20.6 %

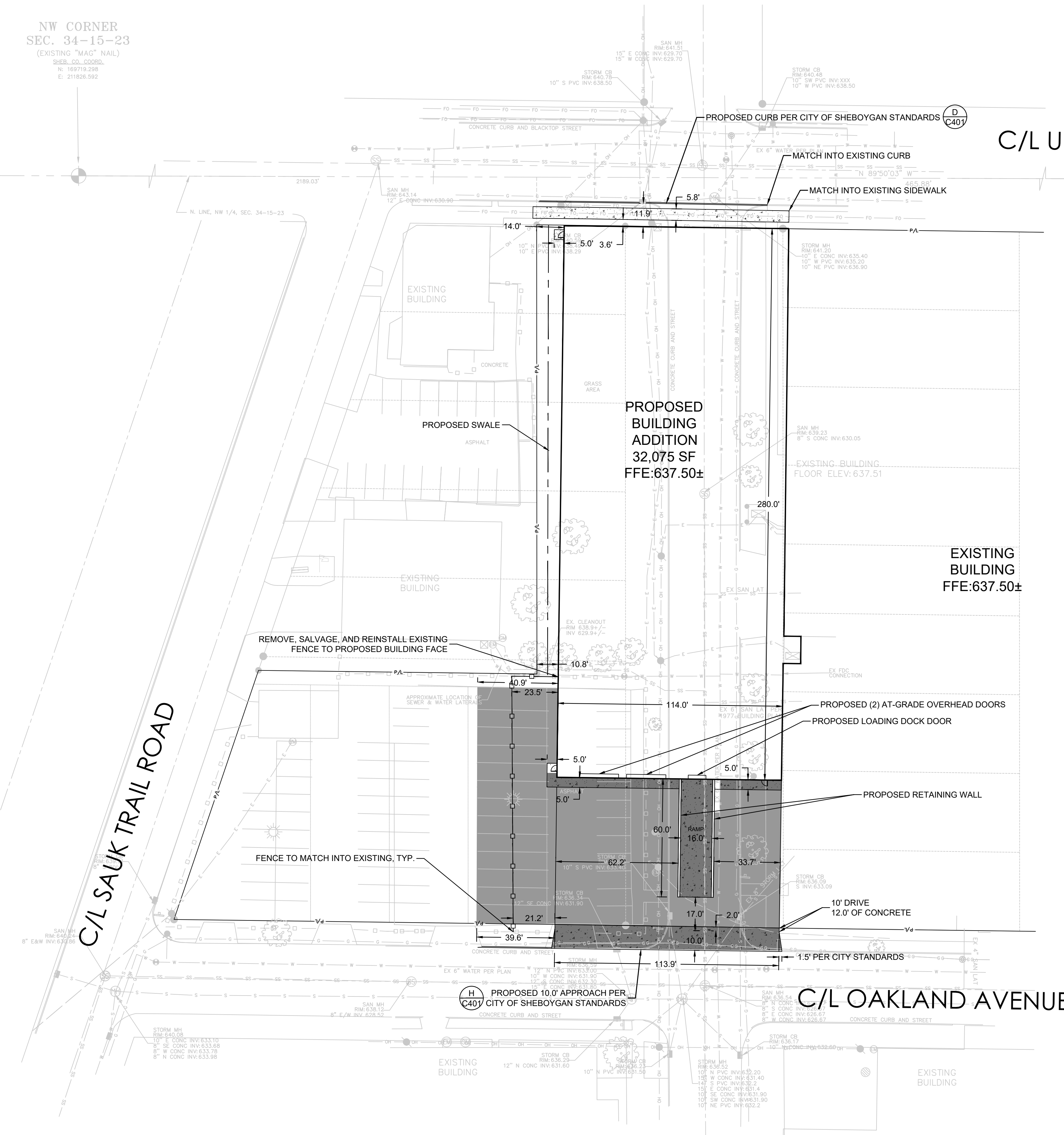
GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.07(2)(b)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



REVISION DESCRIPTION	DATE	REV. BY
		Item 6.

ACE BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

PROJECT INFORMATION:
HTT WEST EXPANSION
1828 OAKLAND AVENUE
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE: 12/08/2023	
DRAWN BY: AKK	
SCALE: 1"=30'	
SHEET	C100

SITE PLAN

C100

CITY OF SHEBOYGAN SPECIFICATIONS - WATER UTILITIES	REVISION DESCRIPTION		DATE	REV. BY
	DATE	REV. BY		
<p>PART 1 – GENERAL</p> <p>1.01 SUMMARY</p> <p>A. This Section identifies specifications on watermain and appurtenances installation.</p> <p>B. Watermain and appurtenances installation shall comply with chapters and sections of the referenced documents in Part 2 of this section.</p> <p>C. Watermain and appurtenances shall be installed using parts identified in this section.</p> <p>D. Payment of this section should be covered by line items referenced in section 01 41 43.</p> <p>E. All watermain and appurtenances shall be provided by Contractor.</p> <p>PART 2 – PRODUCTS</p> <p>2.01 Standard Specifications for Sewer and Water Construction in Wisconsin - 6th Edition dated December 22, 2003 with Addendum No. 1 dated December 22, 2004 and Addendum No. 2 dated April 22, 2008</p> <p>2.02 PVC pipe, as noted on the plans or bid documents, shall conform to AWWA C-900 or C-905, latest revision, have the O.D. of ductile iron and have a pressure class rating of at least 150 psi and a dimension ratio of 18 or stronger.</p> <p>2.04 The 12" ductile iron pipe and hydrant leads shall be ductile iron, class 52 minimum.</p> <p>2.05 All fittings shall be ductile or cast iron. Minimum working pressure rating shall be 250 psi, except that for ductile iron fittings 24" and smaller, the minimum working pressure rating shall be 350 psi. Joints shall be mechanical, unless otherwise specified. All cast or ductile fittings shall be cement-lined on the interior flow way, unless epoxy-coated; per the standard specifications. Special fittings and accessories, not otherwise covered in the Contract Documents, shall conform substantially with other fitting requirements and be compatible with the existing and proposed pipe materials. Significant deviations, if any, shall be stated in writing to and approved by the Engineer.</p> <p>2.06 Hydrants shall be:</p> <p>A. Clow Eddy F-2640 B. Waterous WB-67B-250, with 16" upper standpipe section, or C. Kennedy K81-D.</p> <p>in conformance with the following specific requirements:</p> <p>a. Traffic flange and frangible stem coupling construction required. b. Two 2-1/2" Hose nozzles and one 4-1/2" Pumper nozzle, all with National Standard Fire Hose Coupling Screw Thread, required. c. 5-1/4" nominal diameter of main valve opening. d. Inlet connection shall be 6" mechanical joint with gland, rubber gasket, and high-strength, low-alloy bolts and nuts. e. Operating nut and cap nuts shall be 1-1/2" pentagon measured from point to opposite flat (National Standard), and open left (counter-clockwise). f. Caps shall be furnished with corrosion resistant metal chains and gaskets. g. Pressure activated seals shall be the O-ring type. h. Exposed exterior above proposed ground line shall have been cleaned and primed, as per AWWA, and finished with OSHA safety red enamel. (Repainting over finish coat of a different color is not acceptable.) i. No drain, or drains shall be plugged with manufacturer approved plug.</p> <p>2.07 Gate valves shall conform to the latest revision of AWWA C509 (resilient-seated) or AWWA C515 (ductile body resilient-seated). When gate valves are specified in sizes 4" through 12", they shall be of the resilient-seated type and in conformance with the following specific additional requirements:</p> <p>a. Valves shall be intended for direct burial in an essentially vertical position in horizontal pipelines and be of the non-rising stem design, with O-ring stem seals, standard size (2") wrench nut, and opening left (counter-clockwise). b. Valve ends shall be mechanical joint, unless otherwise specified, complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the MJ bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. c. Gland and bonnet bolting materials shall be 304 stainless steel, factory installed prior to testing. d. Internal and external surfaces of the valve body and bonnet shall be epoxy coated, in accordance with the latest revision of AWWA C550.</p> <p>2.08 12" valves and less shall be the resilient-seated type. In areas of less than 6' of cover, Engineer may require the butterfly type. Valves larger than 12" shall be butterfly, unless otherwise specified.</p> <p>2.09 Unless otherwise specified, butterfly valves shall be of the mechanical joint body type, and have a pressure rating of not less than Class 150B. Valves shall open left (counter-clockwise).</p> <p>2.10 Valve boxes shall be entirely of cast iron (Tyler Series, USA Made) in accordance with the requirements of this section. Box lids shall be drop type, with 1-1/2 inch skirt, marked "WATER", sized to fit properly.</p> <p>2.11 Valve boxes for use with gate valves and air release assemblies shall be three-piece, Tyler Series 6860, with base section as required for valve size.</p> <p>2.12 Top sections and risers which are less than 10" in length shall not be allowed.</p> <p>2.13 Temporary water shall be constructed entirely with NSF 61 approved materials.</p> <p>2.14 12 mil, polyethylene wrap is required on this project.</p> <p>2.15 Where joint restraint is required per the plans or specifications, Contractor shall install retainer glands ("Megalug®" by EBAA Iron, Inc., or equal), manufactured harnesses, and/or locking push joint gaskets, and where not feasible install "Cor-Ten®" tie rods (quantity per joint per manufacturer's lost table) and appurtenances ("Star™" Joint Restraint System, or equal). If additional excavating is yet to be done and/or backfilling is not completed or well compacted, or for his desire, Contractor should install additional restraint, and may use blocking or buttressing, if per Engineer's approval.</p> <p>2.16 Permanent manual air relief assemblies shall be of 1" soft copper tube, with all fittings of brass, and water valve box and base of cast iron. Top end of copper tube shall be fitted with a brass garden hose threading fitting w/brass garden hose cap (See Exhibit C.) A saddle and 1" ball-style corporation stop (w/flare outlet), and a 90 degree swivel (quarter bend, i.e. FCTxFC/Ford L04-44S, or equal) is to be furnished, and all installed by Contractor. Bend should attach to corp to keep installation as deep as possible. Brass nipples and pipe are not allowed. (A union may be placed near the top of the discharge tube for temporary lowering to trim road gravel prior to paving.)</p> <p>2.17 Mechanical joint valves shall be complete with standard joint accessories conforming to the latest revision of ANSI/AWWA C111/A21.11, except that the mechanical-joint bolts and nuts shall be the high-strength, low-alloy steel, and that gaskets shall not be lead-tipped. Bolting materials shall be coated with a non-sticky, non-brittle petroleum asphaltic coating by Contractor prior to installation, if not already coated by supplier with a similar corrosion-inhibiting material.</p> <p>2.18 Water Main and Sampling Procedure, found in the appendix.</p>	<p>3.03 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.</p> <p>A. Excavation:</p> <p>a. Include cost of sawing and breaking pavement in unit prices bid for water main. b. Include cost of excavation of soils for installation of water main and associated appurtenances in unit prices bid for water main. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water main. B. Include cost of dewatering excavation in unit prices bid for water main. C. Include costs for disposal of material in unit prices bid for water main. D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices bid for water main. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water main. F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main. G. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main. H. Pavement, sidewalk, driveways and curb and gutter:</p> <p>a. Include cost of replacing any damaged or removed concrete pavement, sidewalk, driveways, curb and gutter in the respective unit prices bid for water main. I. Thrust blocking and restraining water main:</p> <p>a. Include all associated costs of thrust blocking and water main restraint in unit prices bid for water main. J. Polyethylene wrap:</p> <p>a. Include costs of 12 mil polyethylene wrap for all ductile iron pipe, fittings, valve boxes, hydrants, services and other ductile iron and cast iron appurtenances in unit prices bid for water main. K. Tracer Wire:</p> <p>a. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices bid for water main. L. Erosion and Sediment Control:</p> <p>a. Include costs of erosion and sediment control in unit prices bid for water main. b. Include costs of dust control and sweeping roadway in unit prices bid for water main. M. Tree Clearing and Grubbing:</p> <p>a. Include cost for clearing or grubbing in unit prices bid for water main. b. Replacement trees or shrubs and new trees and shrubs shall be included in unit prices bid for water main. N. Traffic Control:</p> <p>a. Include all associated costs to design, implement and maintain traffic control items in lump sum price bid for traffic control. O. Utility and Lateral Crossings:</p> <p>a. Include cost of utility company to relocate or reinforce poles, ties or anchors, and expose existing utilities in unit prices bid for water main and services. b. Include cost of locating and excavating, as needed, existing utilities to confirm their location and elevation in order to plan for avoiding interferences in unit prices bid for water main construction. Laterals damaged due to construction activities shall be restored and repaired at the cost of the contractor. c. Design of pipe support and supporting existing sewers, water main and all other utilities and laterals shall be included in unit prices bid for water main. P. Removal and abandonment of existing water main, hydrants and associated appurtenances shall be included in the unit prices of water main. Q. Trench Maintenance:</p> <p>a. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water main. R. Water Service Reconnect:</p> <p>a. Include all associated costs to furnish, install and reconnect existing copper service, where plans indicate, in unit prices bid for water service reconnect. Include all associated material, labor and equipment for excavation, backfill and pavement restoration required for service reconnect in unit prices bid for copper service reconnect. S. Temporary External Water Supply System:</p> <p>a. Include all associated costs to design, furnish, install, disinfect and maintain external water supply system in unit prices bid for Temporary External Water Supply System. b. Include all costs to provide a standby contact, available 24 hours a day for emergency situations in unit prices bid for Temporary External Water Supply System.</p> <p>3.04 Bid price for "reconnect existing water service" shall be the price paid for each existing copper service (of a particular size) that is being reconnected from the main being abandoned to the new main being installed, when such bid item exists.</p> <p>3.05 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe. Final testing of the tracer wire will be performed by the Utility; discontinuities shall be repaired by the Contractor.</p> <p>3.06 Water Main Construction A. Additional crushed stone required for trench stabilization beneath the first 3" will be paid for according to the bid item for 1-1/2" foundation stone. Bid price shall include cost of furnishing and placing material, as well as costs of additional excavation, sheathing, shoring, dewatering, and disposal of excess material attributable to this item. In order to receive compensation for this item, authorization shall be received from Engineer whenever and wherever bottom is unsuitable for pipe support. Payment shall be based on compacted volume computed by multiplying actual depth not to exceed the amount authorized, commencing 3" below bedding material, by average width not to exceed O.D. of pipe plus 24", by length equal to length of trench stabilized, as witnessed by Engineer.</p> <p>B. Bedding and cover material shall be sand conforming to Sec. 8.43.2(c), as shown on File #36 in the Standard Specifications, except that cover material shall extend to 12" over pipe.</p> <p>C. Wherever excavated material is deemed suitable by Engineer for bedding and cover material, a credit of \$10.00 per cubic yard shall be taken by the Utility for each in place cubic yard of cover and bedding material required, based on an average width of trench of pipe O.D. plus 24".</p> <p>D. Valves, hydrants, and special fittings may be supported in vertical positions on solid concrete block or concrete support. If wood blocking and shims are used, they shall be of good quality hardwood. Loose and soft ground shall be removed and replaced with stone and blocking of size sufficient to provide stable and unsetting support.</p> <p>E. Solid concrete block and/or hardwood buttressing of equivalent dimensions shall be substituted for concrete behind hydrants and beyond tees, crosses and dead-ends which may be extended in the future, provided they can be placed against firm, undisturbed trench walls, and perpendicular to direction of thrust. If adequate support against firm, undisturbed earth cannot be obtained for buttressing, submit thrust restraint design to Engineer for approval.</p>	<p>F. All unwrapped joint restraint rod & clamps shall be thoroughly coated for corrosion protection with an approved bituminous protective coating, per Section 4.9.3.</p> <p>3.07 Polywrapping</p> <p>A. All installed iron piping shall be wrapped; including valves, valve boxes, fittings and hydrant. Polywrapping shall be incidental to the cost of water main construction. Polywrapping of service connections shall be incidental to the price bid for that work. Repairs to damaged polyethylene must be made by covering defect with polyethylene and/or approved tape; duct tape alone is not allowed. Any damage to the coating on existing iron water lines remaining in service must be repaired with an approved bituminous protective coating.</p> <p>3.08 Air Relief Assemblies</p> <p>A. For manual air relief assemblies the standard cast iron box must be blocked so that it does not rest directly on water main or copper tube. A curb stop and box, per specs, shall be installed in the water valve box. The stop box lid shall be replaced with a snug fitting plastic cap instead. A (90 degree) swivel quarter bend (i.e. FCTxFC/Ford L04-44S or equal) shall be installed at outlet of the 1" ball-style curb stop (i.e. flared outlet Ford B22-444M, B22-444SWM, or equal) so to eliminate a sweeping loop in the copper tube. Bend should attach to stop to keep within valve base. A "stop & waste" style curb stop is preferred. In lieu of a "stop & waste" style, a small weep hole shall be drilled at the base of the riser. Existing and proposed depth of cover at curb stop valve shall be at least 5'-6". If necessary, set the assembly alongside the main, and insulate (per section 4.17.2) the portion between corp and curb stop which has less than 5'-6" of existing and/or proposed cover. Cost of insulation shall be incidental to air relief assembly.</p> <p>3.09 Hydrostatic Testing</p> <p>A. A combined pressure and leak test typically will be allowed. It shall be performed by Contractor and witnessed by Utility, during normal working hours, with no charge to Contractor for successful tests (if any fail, they will be charged at regular rates) for such witnessing. B. Though a test section may include more than one segment, any and all intermediate valves shall be at least momentarily checked to see that they hold system pressure, including hydrant lead valves. When practical, they shall be checked for 100% shutoff in each direction. C. The pressure & leak test gauge shall be at least 2.5" diameter with a range of no more than 200 psi or 4" diameter with a range of no more than 300 psi. The gauge shall read in increments not to exceed 5 psi in the testing range. D. The duration of the "final" pressure test shall be two hours. The duration of the "final" leakage test, if needed, shall be two hours.</p> <p>3.10 Bacteriological Testing</p> <p>A. The Contractor shall provide a hydrant nozzle valve for each hydrant to facilitate flushing, if desired. Temporary sample cocks and fittings, when necessary, shall be furnished, installed and removed by Contractor, and main plugged, in presence of Engineer, with watertight cc threaded brass plugs, or suitable plug on outlet of corp when attached to a saddle, at completion of sampling. (For an example of a flushing & sampling assembly, see Detail on Plan.) B. All work associated with flushing and sampling must be performed in accordance with "Water Main Testing & Sampling Procedures," found within the appendix. C. Contractor shall provide chlorinating materials and equipment. Permatex No. 1 is not allowed. Tablets, if used, shall be attached with USDA approved food grade adhesives, such as Permatex Form-a-gasket No. 2 and Permatex Clear RTV Silicone Adhesive Sealant. D. When flushing mains, highly chlorinated water shall be thoroughly de-chlorinated, by approved methods. New mains shall be flushed, when possible, at a min. velocity of 2.5 ft./sec., prior to sampling and being put into service.</p>	<p>B. Daily inspections of trench, adjacent areas, and protective systems must be conducted by the Contractor's designated Competent Person, as defined in Preamble 29 CFR 1926.650-652.</p> <p>C. Contractor must provide safe trenches. Utility personnel will refuse to enter trenches not in conformance with OSHA standards.</p> <p>D. All trenches shall be backfilled completely, as soon as practical, and maintained to accommodate local traffic.</p> <p>E. Open excavations must be barricaded off and completely covered with ¾" plywood if left unattended.</p> <p>F. Contractor to use an OSHA compliant shield or trench box when completing work. The Water Utility reserves the right to stop work due to unsafe working conditions.</p> <p>3.02 Incidental Work: Work specified in this subparagraph is incidental work. The following items include cost in unit price bid items identified, but not limited to this or other sections.</p> <p>A. Excavation:</p> <p>a. Include cost of sawing and breaking pavement in unit prices bid for water services. b. Include cost of excavation of soils for installation of water services and associated appurtenances in unit prices bid for water services. c. Include cost of sheeting, shoring and bracing materials, including installation and removal in unit prices bid for water services. B. Include cost of dewatering excavation in unit prices bid for water services. C. Include costs for disposal of material in unit prices bid for water services. D. Include costs for pipe bedding, pipe cover, trench backfill, and road bedding in unit prices bid for water services. E. Include costs of insulation for water main and appurtenances, as indicated in plans and as directed by engineer, in unit prices bid for water services. F. Include costs of all materials, testing and all work associated with installation of tracer wire in unit prices of water services. G. Removal and abandonment of existing water services associated appurtenances shall be included in the unit prices of water services. H. Include all associated costs for installing and maintaining the trench and trench surface until the dates determined elsewhere in the contract in unit prices bid for water services. I. New Water Service Connections:</p> <p>a. Include all associated costs to furnish and install materials required to connect 1" copper or plastic services as contract documents indicate, in unit prices bid for water services. b. Include costs to locate existing service material prior to connection in unit prices for water service connections.</p> <p>3.03 Tracer wire shall be installed continuously, along the entire length of all non-metallic pipelines) being installed, with surface termination points installed near each end of the tracer wire, and at intermediate points, as required in the Standard Specs. Tape at intervals less than 10' or continuously, if necessary, to maintain its position on top of the pipe.</p> <p>3.04 Water services and curb stop boxes shall be placed where and at the elevation designated by the Water Utility and/or the City DPW or Plumbing Inspector, and all materials furnished and installed in accordance with the City of Sheboygan plumbing code.</p> <p>3.05 All ends on copper tubing shall be reamed to remove any burrs. All service work shall be inspected for proper use of materials and workmanship, adequate depth and location, visually for leaks, measured and recorded, all by the Utility's and/or City's inspector, prior to backfilling.</p> <p>3.06 Any water service damaged by the Contractor shall be properly repaired at the Contractor's expense. This work shall meet all State and local plumbing codes.</p> <p>3.07 Contractor should relocate curbstop boxes that fall within driveways, curbing, sidewalks or other concrete structures.</p> <p>3.08 Residential Meter Settings- The following specifications provide consistent standards for water meter settings in the City of Sheboygan. Based on information obtained from American Water Works Association (AWWA) standards, Badger Meter Inc., and Master Meter Inc., these specifications help to ensure the meter's accuracy and the safety of workers who must maintain meters.</p> <p>A. Horns: Meter horns are required on all residential installations, including single and multiple dwelling units. Horns must not have built-in backfill prevention. Meter horns are not required on existing installations unless the entire meter setting must be rebuilt. Meter horns have a 7 1/2" inch laying length.</p> <p>B. Valves: All meter settings must have two valves (inlet and outlet). Existing installations with only a functional inlet valve are acceptable. If an existing setting has two valves in need of replacement, then the setting will need to be rebuilt, including the addition of a horn. Outlet valves shall not be installed closer than 12" from the meter horn flanges. Multiple dwelling and commercial settings must have a lockable in-valve, minimum ¾", plumbed directly to the horn. Valves with removable handles are not acceptable.</p> <p>C. Support: All meter horns shall be full pipe clamped to the wall or floor within 6" inches of the inlet and outlet of the horn. All support hardware must be compatible material to reduce the potential for galvanic action with the piping. Support hardware cannot distort, cut, or abrade the piping and must be sufficiently rigid to support the piping and its contents. Radiator clamps and pipe rests are not acceptable means of support.</p> <p>D. Clearance: All meter settings shall maintain 18" of unobstructed space from the floor to center pipe of the meter. The center pipe of the meter shall be no higher than 48" from the floor. A minimum of 12" of unobstructed space must be maintained above the meter lens.</p> <p>E. If multiple meters are stacked, 24" of unobstructed space shall be maintained between the bottom meter, center of pipe and the top meter, center of pipe. If multiple meters are parallel or in a row, 6" of space must be maintained between each meter horn. 36" of unobstructed space must be maintained in front of the meter setting.</p> <p>F. Meter settings that currently comply with Sheboygan Water Utility specifications need not be replaced.</p> <p>3.09 Grounding A. Contractor to verify the need for grounding before performing that work on a property. Grounding to be completed at the time of water service replacement as to minimize inconvenience to the customers, and to ensure that the property is always properly grounded during construction.</p> <p>3.10 Restoration of water to the properties is required after the service replacement has occurred. Water restoration includes scheduling access to the property and scheduling a meter installation with the Water Utility at least 24 hours in advance. The curbstop should be turned on and flushing of the service should be completed by the contractor prior to meter installation.</p>	<p>Item 6.</p>
<p>PROJECT INFORMATION:</p> <p>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</p> <p>SHEET INFORMATION</p> <p>A.C.E. JOB NO. DATE: 12/08/2023 DRAWN BY: AKK SCALE: NTS SHEET</p>				
<p>HTT WEST EXPANSION</p> <p>1828 OAKLAND AVENUE SHEBOYGAN, WI 53081</p>				
<p>CITY SPECIFICATIONS</p> <p>C501</p>				

