



# **CITY PLAN COMMISSION AGENDA**

**September 23, 2025 at 4:00 PM**

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,  
Sheboygan, WI**

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Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

## **OPENING OF MEETING**

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

## **MINUTES**

4. Approval of the Plan Commission minutes from September 9, 2025

## **PUBLIC HEARINGS**

5. Public hearing regarding application for Conditional Use with exceptions by Geoff Lefeber to operate Hit Machine Baseball located at 1137 Illinois Avenue.

## **ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

6. Architectural review for the exterior remodel of Las Brisa's located at 1129 S 8th St.
7. Application for Site Plan Review by Richard Tomlinson to construct a garage at Zion Covenant Church located at 1132 N 5th St.
8. Architectural review for the construction of a garage at Zion Covenant Church located at 1132 N 5th St.
9. Application for Conditional Use with exceptions by Geoff Lefeber to operate Hit Machine Baseball located at 1137 Illinois Avenue.
10. Gen. Ord. No. 16-25-26 by Alderpersons Menzer and Close annexing territory to the City of Sheboygan, Wisconsin (Parcel No. 59024341782). REFER TO CITY PLAN COMMISSION
11. Gen. Ord. No. 17-25-26 by Alderperson Close granting Quasius Construction Co., its successors and assigns, the privilege of encroaching upon described portions of Niagara Avenue and North 8<sup>th</sup> Street right of way in the City of Sheboygan for the purpose of expanding of the Weill Center for Performing Arts building.

## **NEXT MEETING**

12. October 14, 2025

**ADJOURN**

13. Motion to Adjourn

***In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:***

*City Hall • Mead Public Library  
Sheboygan County Administration Building • City's website*

**CITY OF SHEBOYGAN**  
**CITY PLAN COMMISSION MINUTES**  
**Tuesday, September 09, 2025**

**MEMBERS PRESENT:** Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

**EXCUSED:** Jerry Jones

**STAFF/OFFICIALS PRESENT:** Associate Planner Ellise Rose and Administrative Coordinator Linnae Wierus

**OPENING OF MEETING**

1. Roll Call

Mayor called the meeting to order.

2. Pledge of Allegiance

The Pledge of Allegiance is recited.

3. Identify potential conflict of interest

No conflicts were identified.

**MINUTES**

4. Approval of the Plan Commission minutes from August 26, 2025

MOTION TO APPROVED THE MINUTES OF THE PREVIOUS MEETING HELD ON AUGUST 26, 2025.

Motion made by Braden Schmidt, seconded by Kevin Jump

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

**PUBLIC HEARINGS**

5. Public hearing regarding application for Conditional Use with exceptions by Olufemi Tomori to operate an indoor family entertainment center located at 2927 N 15th St.

No public comment.

MOTION TO CLOSE THE PUBLIC HEARING.

Motion made by Braden Schmidt, seconded by Alderperson Michael Close

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

6. Public hearing regarding application for Conditional Use with exceptions by Legacy Architecture, Inc. to create commercial indoor lodging located at 632 N 8th Street, Unit 2.

No public comment.

**MOTION TO CLOSE THE PUBLIC HEARING.**

Motion made by Kimberly Meller, seconded by Alderperson Michael Close

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

7. Public hearing regarding application for Conditional Use with exceptions by NORR, LLC to construct Crash Champions located at parcel # 59281431139.

No public comment.

**MOTION TO CLOSE THE PUBLIC HEARING.**

Motion made by Braden Schmidt, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

8. Public hearing regarding application for Conditional Use with exceptions by Adam Hertel to construct a Valvoline Instant Oil Change located at parcel # 59281431139.

No public comment.

**MOTION TO CLOSE THE PUBLIC HEARING.**

Motion made by Joe Clarke, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

**ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

9. Application for Conditional Use with exceptions by Olufemi Tomori to operate PowerPlay Arena located at 2927 N 15th Street.

**MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS**

Motion made by Braden Schmidt, seconded by Joe Clarke

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, food, alcohol, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
3. Outdoor storage of materials, products or equipment shall be prohibited.



4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
6. If there are to be any renovation to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such renovation.
7. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

Motion carried.

10. Application for Conditional Use with exceptions by Legacy Architecture, Inc. to create commercial indoor lodging located at 632 N 8th St, Unit 2.

#### MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Braden Schmidt, seconded by Joe Clarke

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, food, alcohol, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
6. If there are to be any exterior renovations to the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such renovation. The colors and materials are to complement/match the existing building.
7. If applicant leases space to additional tenants, the tenants shall obtain all necessary land use and building approvals/permits prior to occupancy (future uses and/or phases may require conditional use permits, building/mechanical permits, occupancy permits, etc.).
8. If operating as a short-term rental, the applicant will be required to file the proper room tax paperwork with the City of Sheboygan
9. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

Motion carried.

11. Application for Conditional Use with exceptions by NORR, LLC to construct Crash Champions located at parcel # 59281431139.

#### MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Braden Schmidt, seconded by Kevin Jump

Voting yea: Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Voting nay: Mayor Ryan Sorenson

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, state, federal, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc. If any issues arise, this matter may be brought back to the Plan Commission for review.
4. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slatted (PDS) material in order to effectively screen and enclose the dumpster.
5. The applicant may store outdoors vehicles waiting to be serviced in the screened and enclosed outdoor storage area (vehicles only) and this vehicular outdoor storage area shall be properly maintained in an orderly fashion at all times. If any issues arise concerning outdoor storage, this matter may be brought back to the Plan Commission for review.
6. All other outdoor storage of materials, products or equipment shall be prohibited.
7. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
8. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
10. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
11. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
12. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
13. All vehicles shall be located on the private property and shall not be located on any City streets, public rights-of-way, other private properties, etc. Vehicles may be parked/stored on paved surfaces (not gravel or landscaped areas).
14. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

Exceptions granted:

- To have a 0 ft setback for paved surface
- To meet the four (4) locational landscaping requirements

Motion carried.

12. Architectural review of the construction of Crash Champions located at parcel 59281431139.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Joe Clarke, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clark and Braden Schmidt

1. Provide updated drawings to staff

Motion carried.

13. Application for Conditional Use with exceptions by Adam Hertel to construct a Valvoline Instant Oil Change located at parcel # 59281431139.

**MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS**

Motion made by Kevin Jump, seconded by Kimberly Meller

Voting yea: Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Voting nay: Mayor Ryan Sorenson

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, state, federal, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc. If any issues arise, this matter may be brought back to the Plan Commission for review.
4. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slatted (PDS) material in order to effectively screen and enclose the dumpster.
5. All outdoor storage of materials, products or equipment shall be prohibited.
6. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
7. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
8. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
9. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
10. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
11. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
12. All vehicles shall be located on the private property and shall not be located on any City streets, public rights-of-way, other private properties, etc. Vehicles may be parked/stored on paved surfaces (not gravel or landscaped areas).
13. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

Exceptions granted:

- To have a 0 ft setback for paved surface
- To meet the four (4) locational landscaping requirements
- To have 8 parking spaces

14. Architectural review of the construction of a Valvoline Instant Oil Change located at parcel 59281431139.

MOTION TO APPROVE AS PRESENTED

Motion made by Joe Clarke, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

15. Application for Special Use Permit by Paul Mertens to operate God Connection located at 818 Erie Ave.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Joe Clarke, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
3. Outdoor storage of materials or equipment shall be prohibited.
4. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
6. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such remodel/renovation.
7. If there are any amendments to the approved special use permit and/or site plan, the applicant will be required to submit a new application reflecting those amendments.

Motion carried.

**NEXT MEETING**

16. September 23, 2025

The next scheduled meeting is on September 23, 2025.

## ADJOURN

### 17. Motion to Adjourn

MOTION TO ADJOURN AT 4:32 PM

Motion made by Braden Schmidt, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Kevin Jump, Kimberly Meller, Alderperson Michael Close, Joe Clarke and Braden Schmidt

Motion carried.

## CITY OF SHEBOYGAN

## REQUEST FOR ARCHITECTURAL REVIEW CONSIDERATION

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**ITEM DESCRIPTION:** Architectural review for the exterior remodel of Las Brisa's located at 1129 S 8<sup>th</sup> St.

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**REPORT PREPARED BY:** Ellise Rose, Zoning Administrator

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**REPORT DATE:** September 15, 2025

**MEETING DATE:** September 23, 2025

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**FISCAL SUMMARY:****STATUTORY REFERENCE:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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**BACKGROUND / ANALYSIS:**

Sonia Biviano is proposing an exterior remodel at Las Brisa's located at 1129 S 8<sup>th</sup> Street. The applicant states the following:

- The proposed project includes replacing the side roof. Installing a ribbed ¾ inch x 3 foot 29-guage galvanized steel roof/wall panel, red roofing felt paper, metal to wood siding screws with IPDM washer.
- The existing exterior side roof is shingles.
- The shingles will be removed and replaced with galvanized steel.

**STAFF COMMENTS:**

The south side of the building has a great deal of rooftop mechanicals. Is there any plan to screen those units?

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Application and required attachments.



**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW**  
**APPLICATION**

Fee: \_\_\_\_\_

Review Date: \_\_\_\_\_

Item 6.

Read all instructions before completing. If additional space is needed, attach additional pages.

**SECTION 1: Applicant/ Permittee Information**

Name (Ind., Org. or Entity) <b>Las Brisas's</b>	Authorized Representative <b>Sonia Biviano</b>	Title <b>Owner</b>	
Mailing Address <b>1129 S 8<sup>th</sup> Street</b>	City <b>Sheboygan</b>	State <b>WI</b>	ZIP Code <b>53081</b>
Email Address <b>biviano6@icloud.com</b>	Phone Number (incl. area code) <b>(920) 254-6516</b>		

**SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)**

Name (Ind., Org. or Entity) <b>Las Brisas's</b>	Contact Person <b>Sonia Biviano</b>	Title <b>Owner</b>	
Mailing Address <b>1129 S 8<sup>th</sup> Street</b>	City <b>Sheboygan</b>	State <b>WI</b>	ZIP Code <b>53081</b>
Email Address <b>biviano6@icloud.com</b>	Phone Number (incl. area code) <b>(920) 254-6516</b>		

**SECTION 3: Architect Information**

Name			
Mailing Address	City	State	Zip
Email Address	Phone Number (incl. area code)		

**SECTION 4: Contractor Information**

Name <b>Las Brisas's</b>			
Mailing Address <b>1129 S 8<sup>th</sup> Street</b>	City <b>Sheboygan</b>	State <b>WI</b>	Zip <b>53081</b>
Email Address <b>biviano6@icloud.com</b>	Phone Number (incl. area code) <b>(920) 254-6516</b>		

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <b>Sonia Biviano</b>	Title <b>Owner</b>	Phone Number <b>(920) 254-6516</b>
Signature of Applicant <b>Sonia Biviano</b>		Date Signed

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**SECTION 6: Description of the Subject Site/Proposed Project**

Project Address/Description

Parcel No.

Name of Proposed/Existing Business:

Address of Property Affected:

Zoning Classification:

New Building: ☐Addition: ☐Remodeling: ☐**SECTION 7: Description of Proposed Project**

Replacing the side roof. Installing a Ribbed 3/4 in x 3 ft 29-Gauge Galvanized steel roof/wall Panel Red Roofing felt Paper metal to wood siding Screws with EPDM washer.

**SECTION 8: Description of EXISTING Exterior Design and Materials**

Right now we have Shingles. Replacing that to metal.

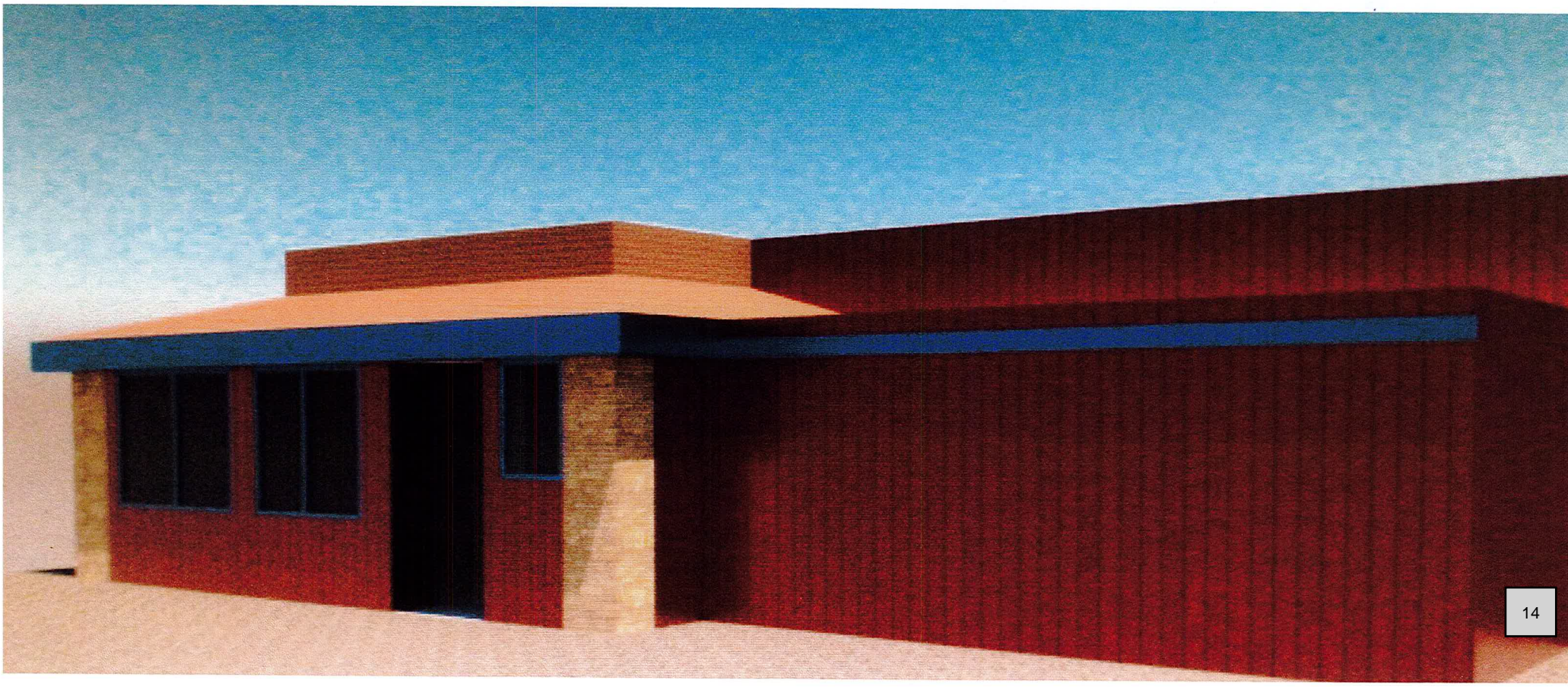
**SECTION 9: Description of the PROPOSED Exterior Design and Materials**

Replacing to Galvanized steel and getting the shingles off.









## CITY OF SHEBOYGAN

## REQUEST FOR ARCHITECTURAL REVIEW CONSIDERATION

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**ITEM DESCRIPTION:** Application for Site Plan Review by Richard Tomlinson to construct a garage at Zion Covenant Church located at 1132 N 5<sup>th</sup> St.

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**REPORT PREPARED BY:** Ellise Rose, Zoning Administrator

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**REPORT DATE:** September 15, 2025

**MEETING DATE:** September 23, 2025

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**FISCAL SUMMARY:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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**STATUTORY REFERENCE:**

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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**BACKGROUND / ANALYSIS:**

Richard Tomlinson is proposing to construct a garage at Zion Covenant Church located at 1132 N 5<sup>th</sup> Street. The applicant states the following:

- The proposed project includes new wood two and half stall single level garage.
- The existing two story with living quarters above, garage below will be removed and the new garage will be placed in the existing foot print as well as meeting set back requirements.
- The existing two story structure has been used only as a garage in the lower level for the past several years. This structure will be raised to allow for the construction of a new two and half stall garage.
- The new structure will only be used as a garage with limited storage.

**STAFF COMMENTS:**

This proposed garage meets all zoning requirements and will remove a nonconforming structure.

**ACTION REQUESTED:**

Staff recommends approval of the site subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, health, storm drainage, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.

2. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

**ATTACHMENTS:**

Site Plan Review Application and Attachments.



**CITY OF SHEBOYGAN**  
**SPECIAL USE AND SITE PLAN REVIEW**  
**APPLICATION**

Fee: **\$100**

Review Date: \_\_\_\_\_

Item 7.

Read all instructions before completing. If additional space is needed, attach additional pages.

**SECTION 1: Applicant/ Permittee Information**

Name (Ind., Org. or Entity) Zion Covenant Church	Authorized Representative Wigg Brothers or Dan Kolb	Title Contractor or Church Agent	
Mailing Address 1125 N. 6th St	City Sheboygan	State WI	ZIP Code 53081
Email Address rlt5123@charter.net	Phone Number (incl. area code) 920-918-1685		

**SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)**

Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)		

**SECTION 3: Architect Information**

Name Imagination Studio, Inc. Joe Clark			
Mailing Address 319 Michigan Ave	City Sheboygan	State WI	Zip 53081
Email Address www.theimaginationstudio,.com	Phone Number (incl. area code) 920-747-0695		

**SECTION 4: Contractor Information**

Name Wigg Brothers Mike			
Mailing Address 1503 N 9th St	City Sheboygan	State WI	Zip 53081
Email Address wiggbrothersmf@gmail.com	Phone Number (incl. area code) 920-331-2671		

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Richard L. Tomlinson	Title Trustee	Phone Number 920-918-1685
Signature of Applicant <b>Richard L. Tomlinson</b>		Date Signed <b>9-15-25</b>

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**SECTION 6: Description of the Subject Site/Proposed Project**

Parcel No.	Zoning Classification single family residential	
Name of Proposed/Existing Business:	Zion Covenant Church	
Address of Property Affected:	1132 N. 5th St Sheboygan WI 53081	
New Building: <input checked="" type="checkbox"/>	Addition: <input checked="" type="checkbox"/>	Remodeling: <input checked="" type="checkbox"/>

**SECTION 7: Brief Description of Type of Structure**

New wood two and half stall single level garage. The existing two story with living quarters above, garage below will be removed and the new garage will be placed in the existing foot print as well as meeting set back requirements.

**SECTION 8: Description of EXISTING Operation or Use**

The existing two story structure has been used only as a garage in the lower level for the past several years. This structure will be raised to allow for the construction of a new two and half stall garage.

**SECTION 9: Description of the PROPOSED Operation or Use**

The new structure will only be used as a garage with limited storage.

## SPECIAL USE AND SITE PLAN USE APPLICATION SUBMITTAL REQUIREMENTS

Item 7.

A. Name of project/development.

B. Summary of general operation and proposed use:

- Description of existing use
- Description of proposed use (indoor, outdoor, etc.), why was this site selected?
- All services, products, etc. to be provided
- Projected number of residents, employees, and/or daily customers
- Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage to the nearest one-hundredth of an acre
- Description of proposed building and all new site improvements (square footage of new and existing structure(s), traffic, ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, dumpster enclosure, screening of mechanicals, etc.)
- A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area
- An explanation of any interior and/or exterior renovations
- Is access appropriate and is their sufficient customers/resident off-street parking?
- Proposed signage
- Project timeline and estimated value of project
- Compatibility of the proposed use and design with adjacent and other properties in the area.
- How will you insure that the business will not become a nuisance to adjacent properties (i.e. parking, noise, smells, hours of operations, etc.
- Other information that would be considered pertinent by the Plan Commission.

C. Submit TWO (2) copies of a property site plan drawing, which includes:

- A certified survey map showing existing property boundaries and improvements
- A map providing the following information:
  - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow
  - All lands for which the conditional use is proposed
  - All other lands within 100 feet of the boundaries of the subject property
  - The current zoning of the subject property and its environs (200 feet)
- A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development):
  - Submit TWO (2) hardcopies of the site plan and ONE (1) 11" X 17" reduction of the site plan
  - Submit digital plans and drawings of the project by email, flash drive, etc.
  - Title block that provides all contact information for the petitioner and/or owner, if different
  - Full name and contact information of petitioner's engineers/surveyors/architects, or other design professionals used in the plan preparation
  - The date of the original plan and latest date of revision to the plan
  - A north arrow and graphic scale. Said scale is not to be smaller than one inch equals 100 feet
  - All property lines & existing/proposed right-of-way lines with bearings & dimensions clearly labeled



- Existing /proposed easement lines and dimensions with an explanation of ownership and purpose
- All required building setback lines
- Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls
- Location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys
- The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance
- The location and dimension of all loading and service areas on subject property
- The location of all outdoor storage areas and the design of all screening devices
- Location of all outdoor storage and refuse disposal areas and the design and materials used for construction and operation
- The location, type, height, size and lighting of all signage
- Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan
- Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generator
- Location of all existing and proposed landscape areas, storm water areas, etc.

D. Building elevations and perspectives.

NOTE: A Traffic Impact Study (TIA) may be required with large development proposals.

## NOTE

### **Initiation of Land Use or Development Activity**

Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the site plan by the City Plan Commission. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

### **Modification of an Approved Site Plan**

Any and all unauthorized variations between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan may be revised so as to clearly and completely depict any and all proposed modifications to a previously approved site plan by the City Plan Commission. Prior to the initiation of said modifications, the City Plan Commission must approve the revised plan.





**STEP 1: Initial Meeting with City Planning Office:**

An initial meeting is to ensure that both the applicant and the city staff have a proper understanding of what is being requested and to explain the approvals necessary. An engineered drawing is not required for this meeting, but an accurate sketch and any applicable background information may be needed. Additional meetings can be arranged by calling the Department of City Development.

**STEP 2: Official Submission:**

A special use permit and site plan application may be filed at the City of Sheboygan Planning and Development office located on the 2nd floor of City Hall or may be submitted electronically via email: [Steve.Sokolowski@SheboyganWI.gov](mailto:Steve.Sokolowski@SheboyganWI.gov)

If submitting electronically, please verify application has been accepted and will be placed on the next Plan Commission agenda.

Payment of the application fee must be received prior to the application filing deadline. Payment may be submitted via postal delivery, in person, or by phone using credit card.

**Mailing Address:** Department of City Development  
828 Center Ave. Suite 208  
Sheboygan, WI 53081

**NOTE:** Applications will not be accepted until complete. A complete application includes all items in the respective checklists above. Applications must be complete before they are scheduled for a meeting before the Plan Commission.

**PLAN COMMISSION MEETING**

**Meeting Date:** The Plan Commission meets on the 2nd and 4th Tuesdays of the month at 4:00 p.m. in the Council Chambers of City Hall, 828 Center Ave. The project applicant or a representative must attend the Plan Commission meeting to present the request and answer questions regarding the proposal. Public comment will be invited at the Plan Commission meeting.

**Project Review:** The purpose of a special use permit and site plan is to assure compatibility between land uses. City staff analyzes a proposal and prepares a recommendation for the Plan Commission. The project analysis considers the location of the affected property, surrounding uses, and the operational details of a proposed use.

**Plan Commission:** The Plan Commission is charged with the authority to approve or deny a special use permit and site plan request. In the event an applicant wishes to contest the decision of the Plan Commission, the applicant may appeal the decision to the Sheboygan County Circuit Court.

**Plan Commission meeting agendas and minutes may be viewed on the City's website:  
[www.SheboyganWI.gov](http://www.SheboyganWI.gov)**

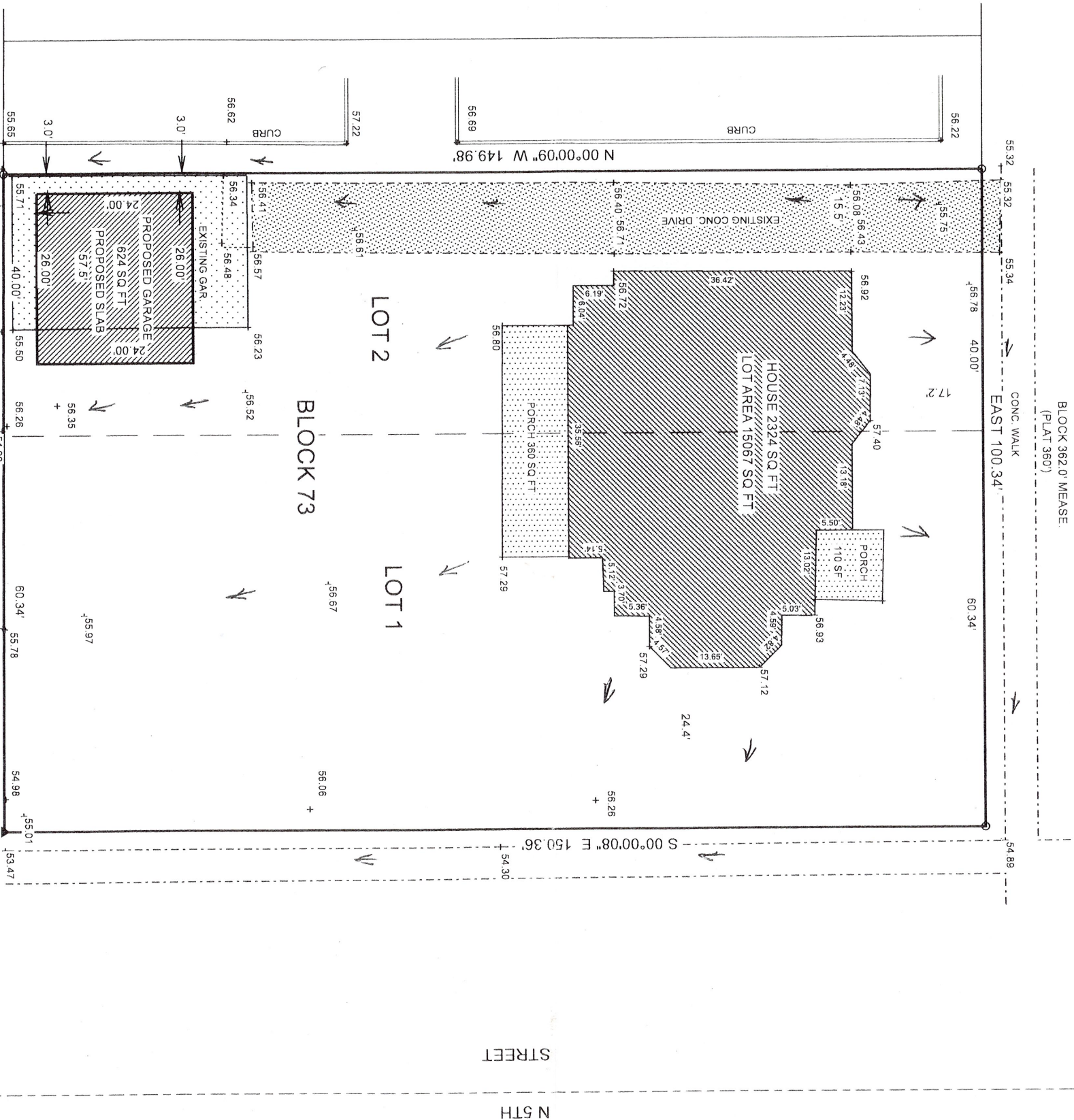
**FOR INFORMATION OR ASSISTANCE CONTACT THE ZONING MANAGER: (920) 459-3382**

D & H LAND SURVEYS LLC  
1628 GEORGIA AVENUE  
SHEBOYGAN, WISCONSIN

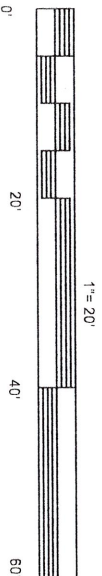
1132 N. 5TH STREET  
PARCEL 59281103740  
BEING ALL OF LOT 1 AND EAST 40 FEET OF LOT OF BLOCK 73  
OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN,  
SHEBOYGAN COUNTY, WISCONSIN.

ST CLAIR

AVE



THIS IS AN ORIGINAL PRINT ONLY  
THIS SEAL IS IMPRINTED IN RED  
THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



○ = 3/4" IRON PIPE SET  
+ = EXISTING GRADE CITY DATUM

Dennis J. Van Sluys S-1238

Dated this 30th day of May, 2025.

DATA/CSHEB25/1132N5 D-3661



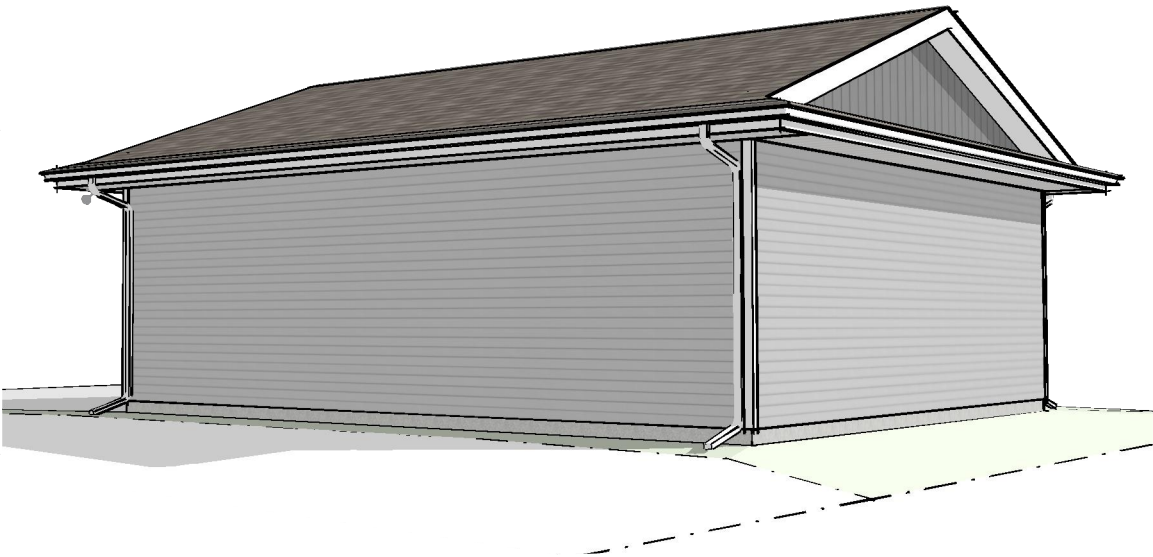
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**GENERAL NOTES**

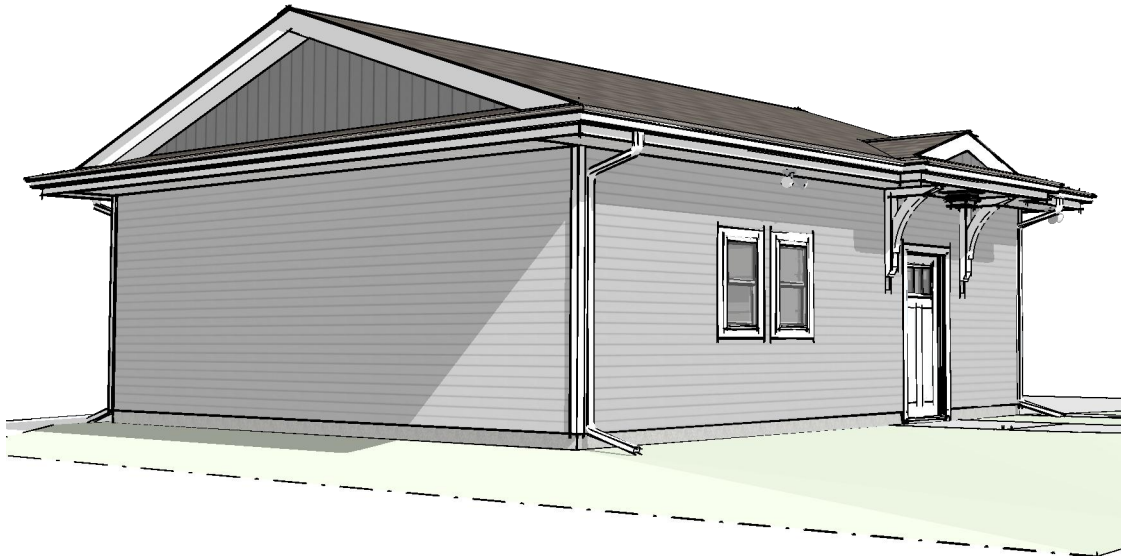
- THIS DRAWING SET IS TO PROVIDE DESIGN CONCEPT, ANTICIPATED DIMENSIONS & MATERIALS, AND IS NOT INTENDED FOR CONSTRUCTION
- CONTRACTOR IS RESPONSIBLE FOR ALL CODE AND ORDINANCE COMPLIANCE, FIRE-RATING REQUIREMENTS, TRUSS DESIGN, STRUCTURAL CALCULATIONS/ REINFORCING/BRACING/DETAILING REQUIREMENTS, SURVEY, PERMITS, AND INSPECTIONS
- CONTRACTOR SHALL FURNISH ALL DOCUMENTS FOR CONSTRUCTION
- FOLLOW ALL MANUFACTURERS' INSTALLATION INSTRUCTIONS & REQUIREMENTS



**3 VIEW FROM NORTHEAST**  
A/1 SCALE: N.T.S.



**2 VIEW FROM SOUTHWEST**  
A/1 SCALE: N.T.S.



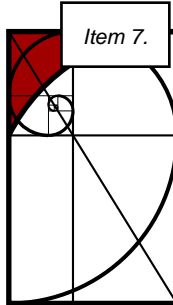
**1 VIEW FROM SOUTHEAST**  
A/1 SCALE: N.T.S.

**ORDINANCE - NR-6 ZONING  
RESIDENTIAL DETACHED GARAGE:**

MAX. AREA = 1,000-SQ.FT.  
MAX. HEIGHT = 15'-0"  
MIN. ROOF SLOPE = 3 : 12  
SETBACKS:  
REAR (WEST): 3'  
SIDE (SOUTH/ALLEY): 5'

**SHEET INDEX**

- A/1 PERSPECTIVE VIEWS
- A/2 BUILDING ELEVATIONS
- A/3 FLOOR PLANS
- A/4 LTG. & POWER PLANS
- A/5 BUILDING SECTIONS
- A/6 SECTION DETAILS
- A/7 FRAMING PLAN & TRUSS PROFILES



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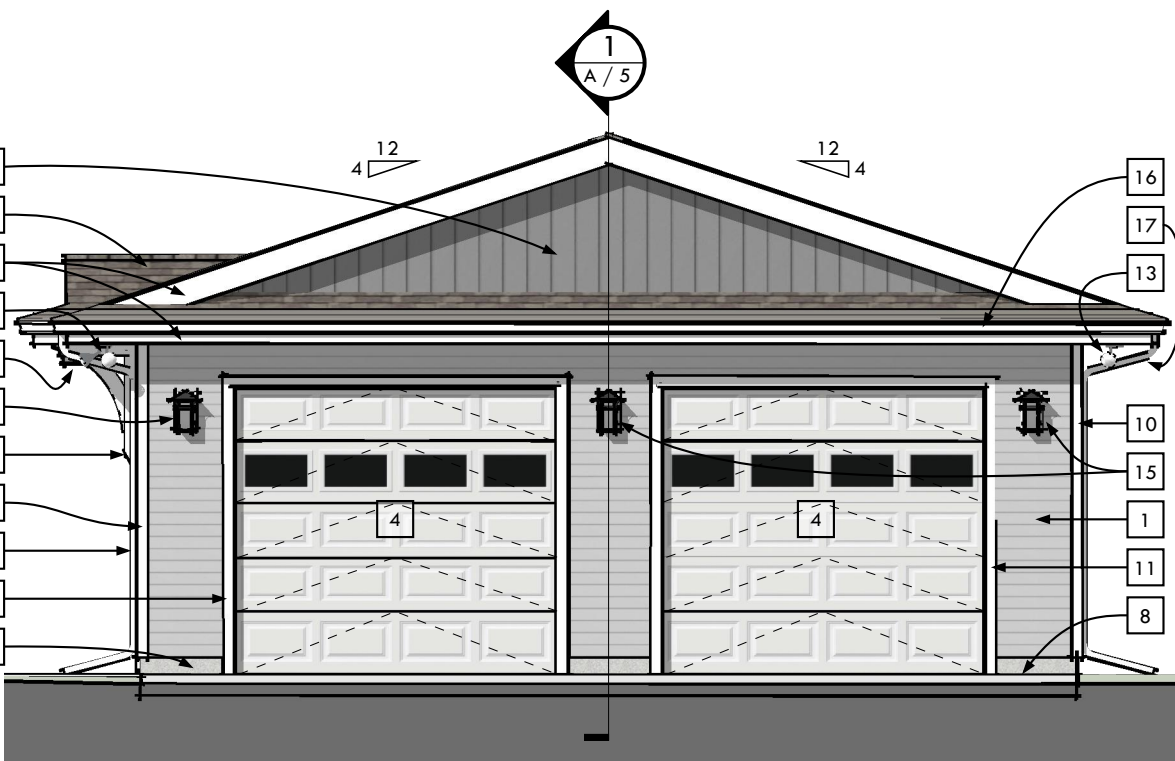
CONCEPT DESIGN  
NOT FOR CONSTRUCTION  
SHEET TITLE: PERSPECTIVE VIEWS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001  
DATE: 07/22/25

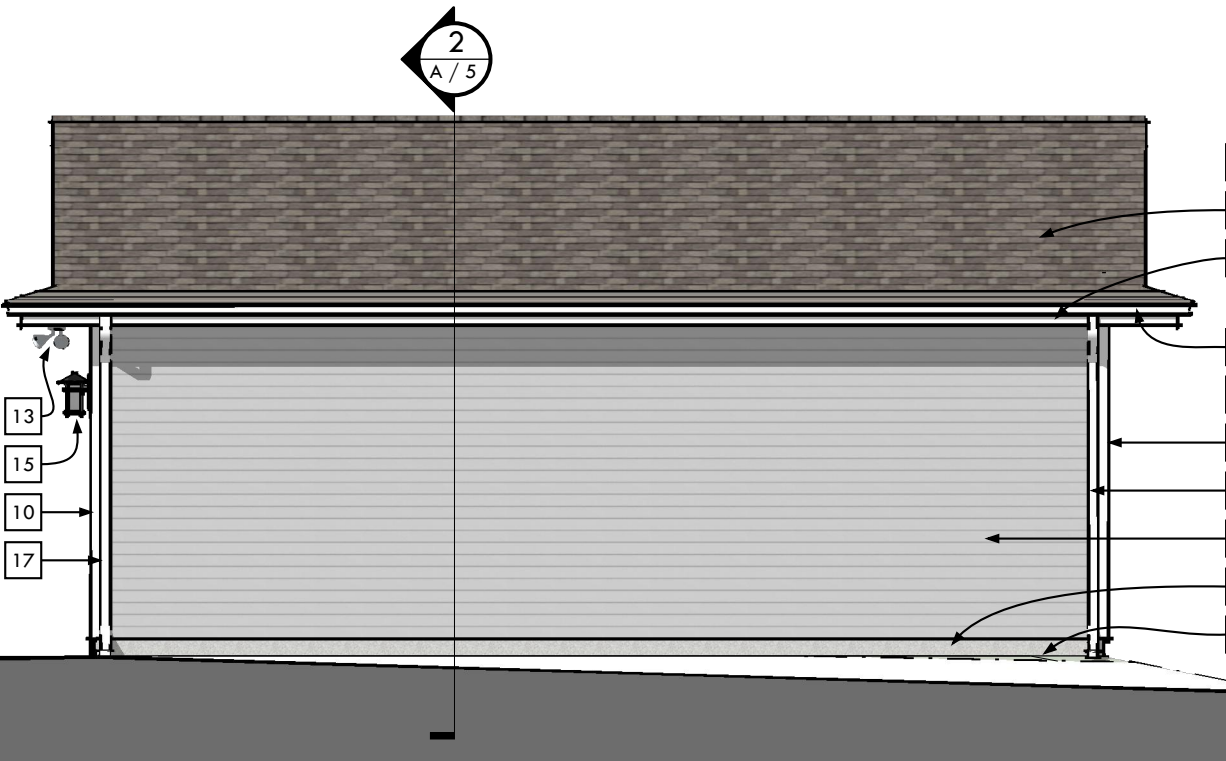
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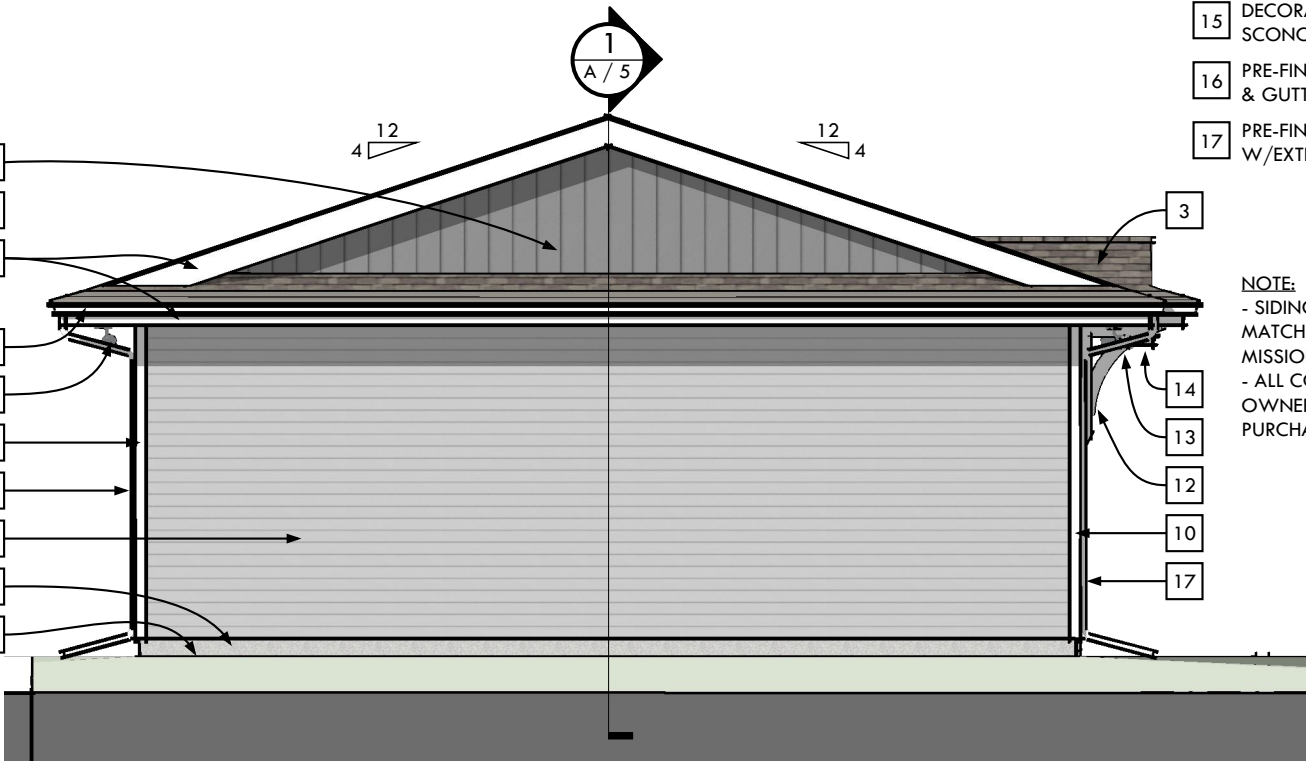
4 EAST/YARD ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



3 NORTH/DRIVEWAY ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



2 WEST/ZION ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

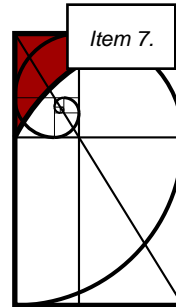


1 SOUTH/ALLEY ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

## MATERIALS LEGEND

- 1 LP SMART-SIDE LAP SIDING (SMOOTH) 4" EXPOSURE, COLOR #1 (LT. GRAY)
- 2 LP SMART-SIDE VERTICAL GROOVE PANEL SIDING 8" O.C., COLOR #2 (DK. GRAY)
- 3 DIMENSIONAL ASPHALT SHINGLES COLOR TO MATCH MISSION HOUSE
- 4 9'x8' INSUL. O.H. GARAGE DOOR 5-PANEL/4-LITE, WHITE, TORSION-SPRING W/ELEC. OPERATOR & SEALS
- 5 1-3/4"x3"x6'-8" INSUL. STEEL SWING-DOOR, W/SILL & SEALS, WHITE
- 6 DOUBLE-HUNG VINYL WINDOW
- 7 EXPOSED CONCRETE CURB/FOUNDATION EDGE
- 8 APPROXIMATE GRADE LEVEL
- 9 PRE-FINISHED METAL FASCIA-WRAP
- 10 AZEK PVC 1"x3-1/2"x3-1/2" CORNER-BOARD TRIM, TRADITIONAL/WHITE
- 11 AZEK PVC 1"x3-1/2" TRIM, TRADITIONAL/WHITE
- 12 DECORATIVE PVC BRACKET (WHITE)
- 13 SOFFIT-MOUNTED FLOOD LIGHT(S)
- 14 DECORATIVE SOFFIT-MOUNTED LIGHT FIXTURE
- 15 DECORATIVE WALL-MOUNTED SCONCE LIGHT FIXTURE
- 16 PRE-FINISHED METAL GUTTER (WHITE) & GUTTER-HELMET
- 17 PRE-FINISHED METAL DOWNSPOUT W/EXTENSION (WHITE)

NOTE:  
- SIDING COLOR #1 (LT. GRAY) TO MATCH EXISTING COLOR OF MISSION HOUSE.  
- ALL COLORS TO BE REVIEWED FOR OWNER APPROVAL PRIOR TO PURCHASE OF MATERIALS



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CONCEPT DESIGN  
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SHEET TITLE: BLDG. ELEVATIONS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"x17"

PROJ#: 25.001  
DATE: 07/22/25

ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT

1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081

**A 2**  
25



1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081

A	3
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REFLECTED CEILING PLAN & ELECTRICAL KEYED NOTES

- 1 CERAMIC SOCKET LIGHT FIXTURE

2 SINGLE-LAMP SOFFIT-MOUNTED PAR FLOOD LIGHT

3 DOUBLE-LAMP SOFFIT-MOUNTED PAR FLOOD LIGHT

4 DECORATIVE CEILING/SOFFIT-MOUNTED LIGHT FIXTURE EQUAL TO HINKLEY - HARBOR 2573TT-MEDIUM FLUSH MOUNT - SATIN BLACK FINISH

5 DECORATIVE SCENCE LIGHT FIXTURE EQUAL TO HINKLEY - HARBOR 2574AR - MEDIUM WALL MOUNT LANTERN - SATIN BLACK FINISH

6 DECORATIVE PVC BRACKET

7 VENTED SOFFIT PANEL (TYP.)

8 3-WAY SWITCH BACK TO HOUSE SWITCH

9 GARAGE DOOR TRACK (BRACE AS NECESSARY)

10 ELEC. GARAGE DOOR OPERATOR (BRACE AS NECESSARY) W/SWITCH @ SWING-DOOR

11 ROOF TRUSS (TYP.)

12 OUTLOOKER (TYP.)

13 DUPLEX RECEPTACLE (FOR GARAGE DOOR OPENER) CONFIRM REQUIRED LOCATION

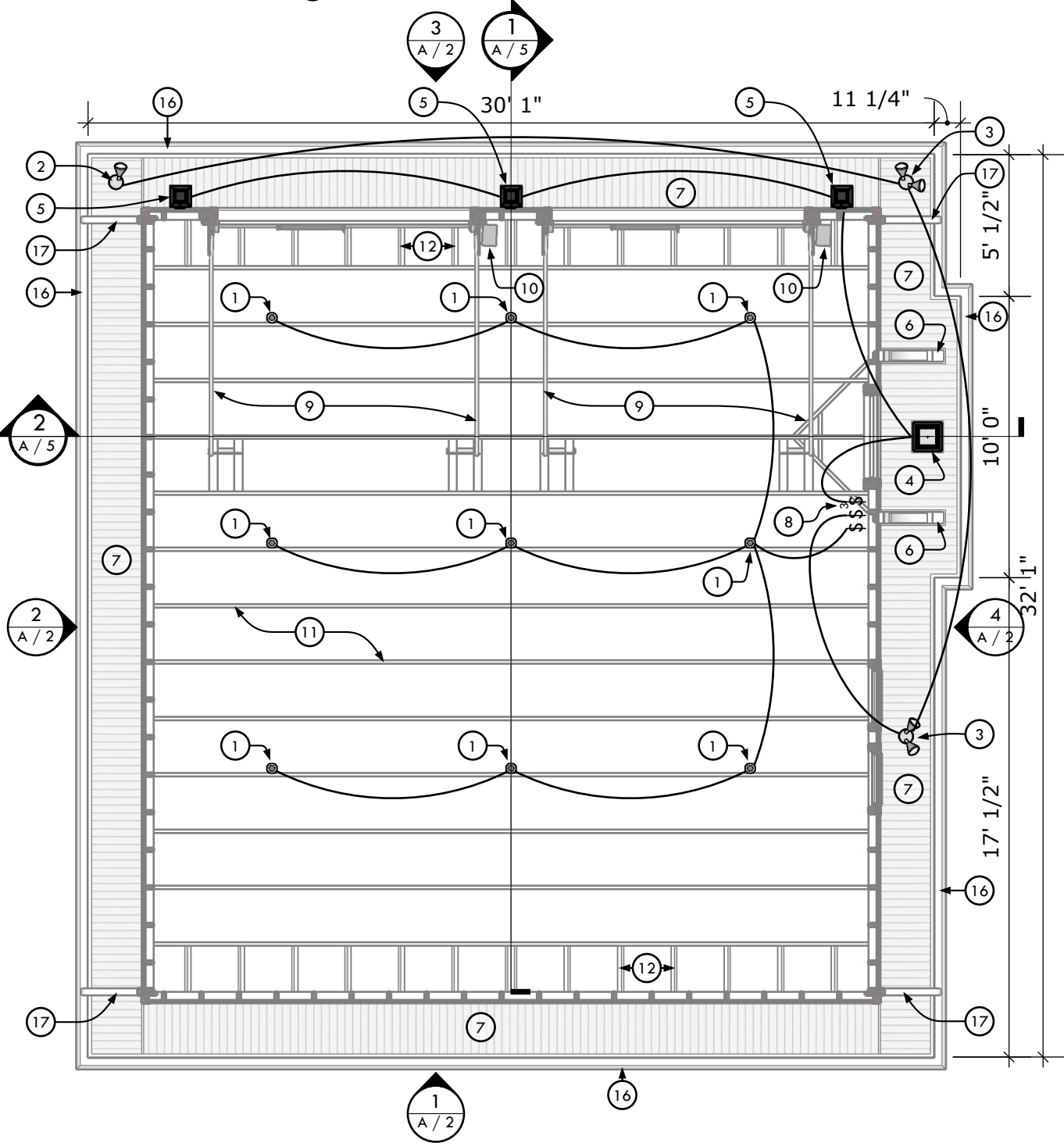
14 DUPLEX RECEPTACLE (TYP.)

15 DECORATIVE PVC BRACKET (ABOVE)

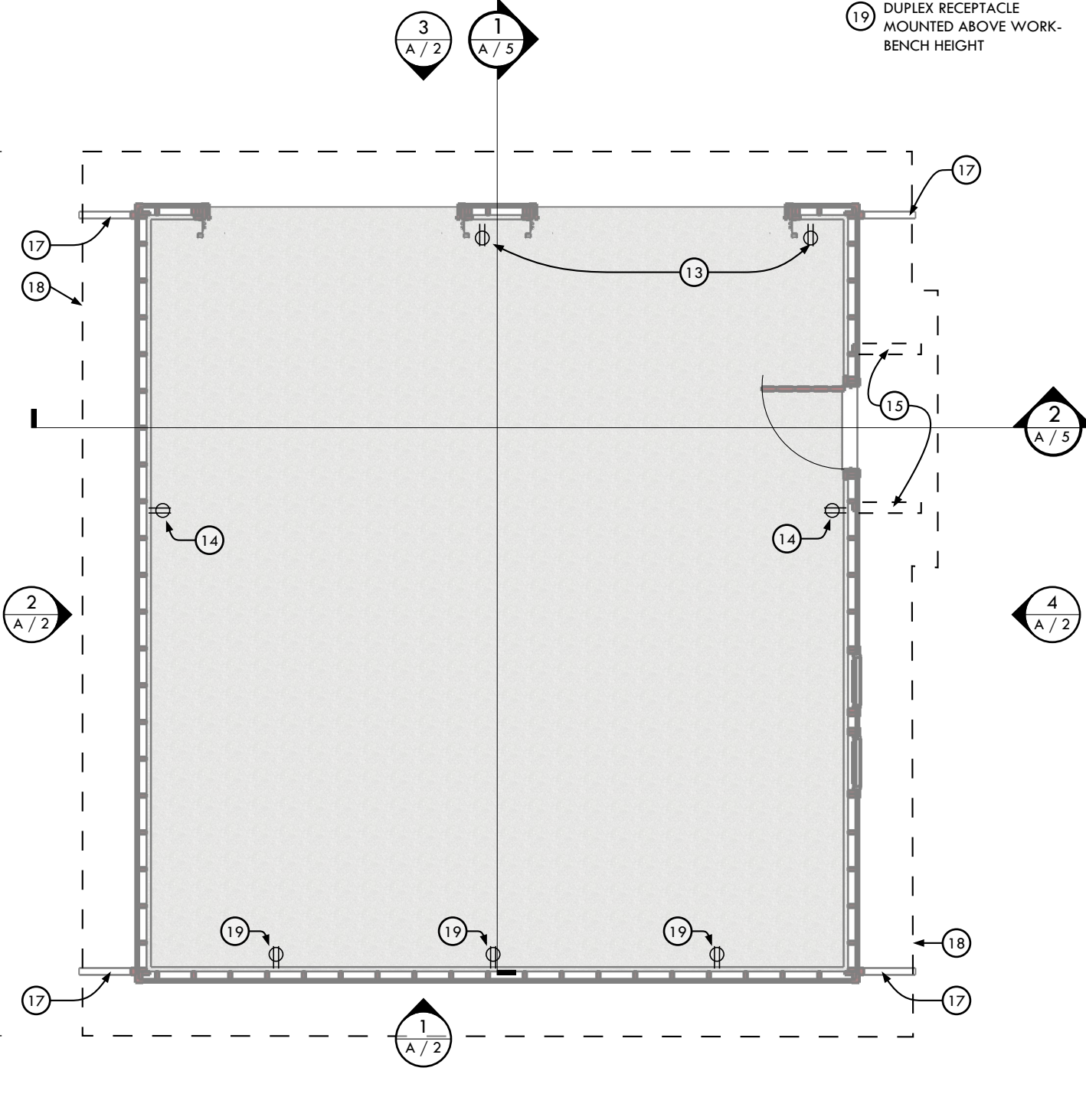
16 PRE-FINISHED METAL GUTTER W/GUTTER-HELMET

17 PRE-FINISHED METAL DOWNSPOUT W/EXTENTION EDGE OF ROOF OVERHANG ABOVE

18 DUPLEX RECEPTACLE MOUNTED ABOVE WORK-BENCH HEIGHT



2 R.C.P. & LIGHTING PLAN  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



1 ELECTRICAL POWER PLAN  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT

1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081

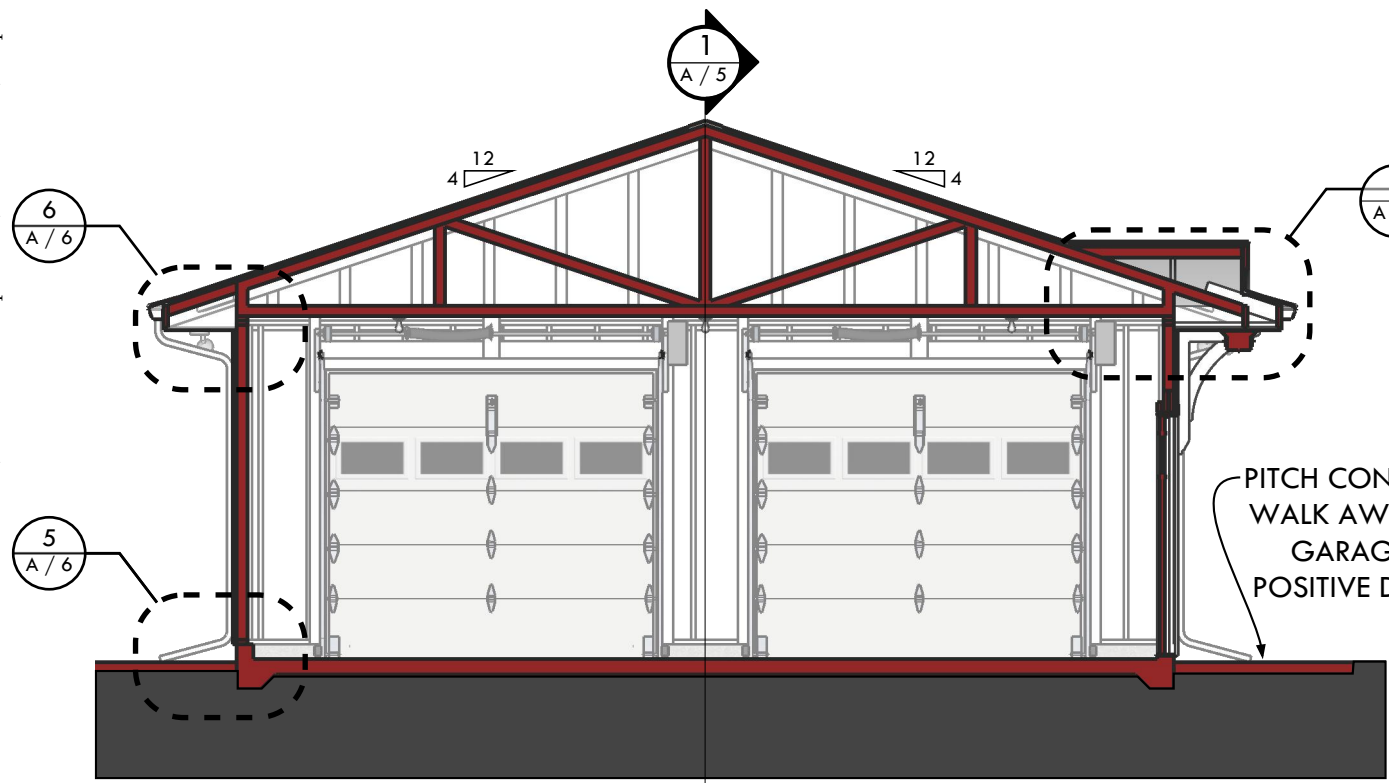
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CONCEPT DESIGN  
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SHEET TITLE: LTG. & PWR. PLANS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001  
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A 4

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**2 SECTION - EAST/WEST**  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

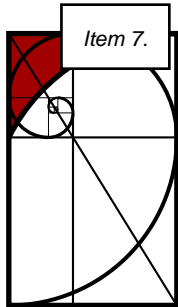


**1 SECTION - NORTH/SOUTH**  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



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CONCEPT DESIGN  
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SHEET TITLE: BUILDING SECTIONS  
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DETAIL KEYED NOTES

- (A) TYPICAL WALL ASSEMBLY: LP SMART-SIDE HORIZ. LAP-SIDING OVER WEATHER-RESISTIVE BARRIER ON 1/2" WALL SHEATHING ON 2X WALL FRAMING @ 16" O.C.

(B) TYPICAL GABLE-WALL ASSEMBLY: LP SMART-SIDE VERT.-GROOVE PANEL SIDING OVER WEATHER-RESISTIVE BARRIER ON 1/2" WALL SHEATHING ON GABLE END-WALL TRUSS

(C) TYPICAL ROOF ASSEMBLY: DIMENSIONAL ASPHALT SHINGLES OVER 30# ROOFING FELT OVER ICE & WATER SHIELD (@ EAVES & VALLEYS, TYP.) ON 1/2" (NOM.) ROOF SHEATHING (W/CLIPS) ON MANUFACTURED TRUSSES @ 24" O.C.

(D) FINISHED GRADE - SLOPE AWAY FROM GARAGE FOR POSITIVE DRAINAGE

(E) FUR DOOR TRIM FLUSH TO INSIDE FACE OF CONCRETE CURB (TYP.)

(F) PRE-FINISHED METAL FASCIA ON 2x8 EAVE FASCIA BOARD

(G) PRE-FINISHED METAL FASCIA ON 2x8 RAKE FASCIA BOARD

(H) PRE-FINISHED METAL GUTTER W/GUTTER-HELMET

(I) ROOF/WALL FLASHING & COVER SHINGLES

(J) VENTED SOFFIT PANEL
- (K) BLOCKING (AS NECESSARY)

(L) LIGHT FIXTURE

(M) PREFINISHED METAL DRIP-EDGE

(N) END-WALL EAVE TRUSS "C"

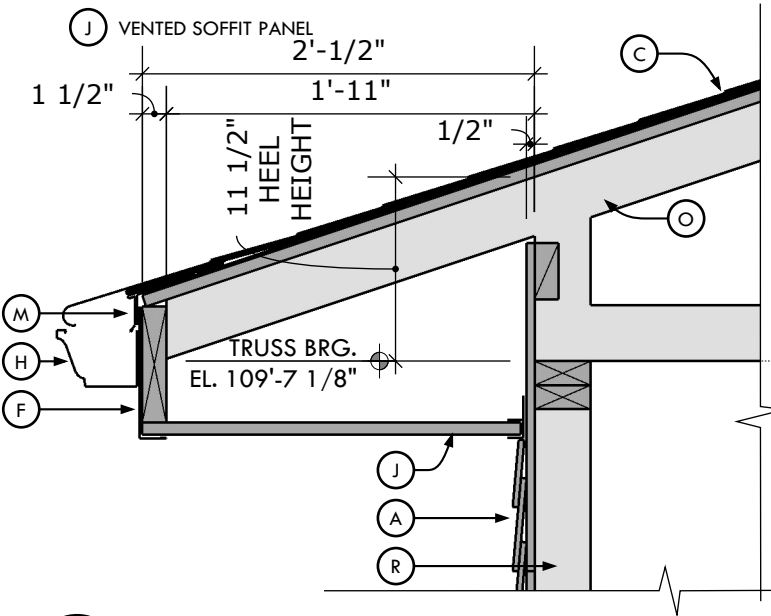
(O) TRUSS "A" (TYPICAL)
- (P) OUTLOOKERS

(Q) LEDGER BOARD

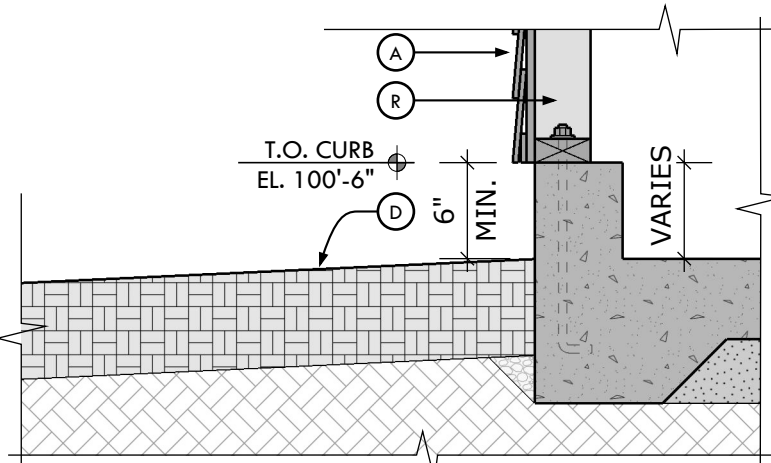
(R) 104 5/8" PRE-CUT STUD

(S) END-WALL TRUSS "B"

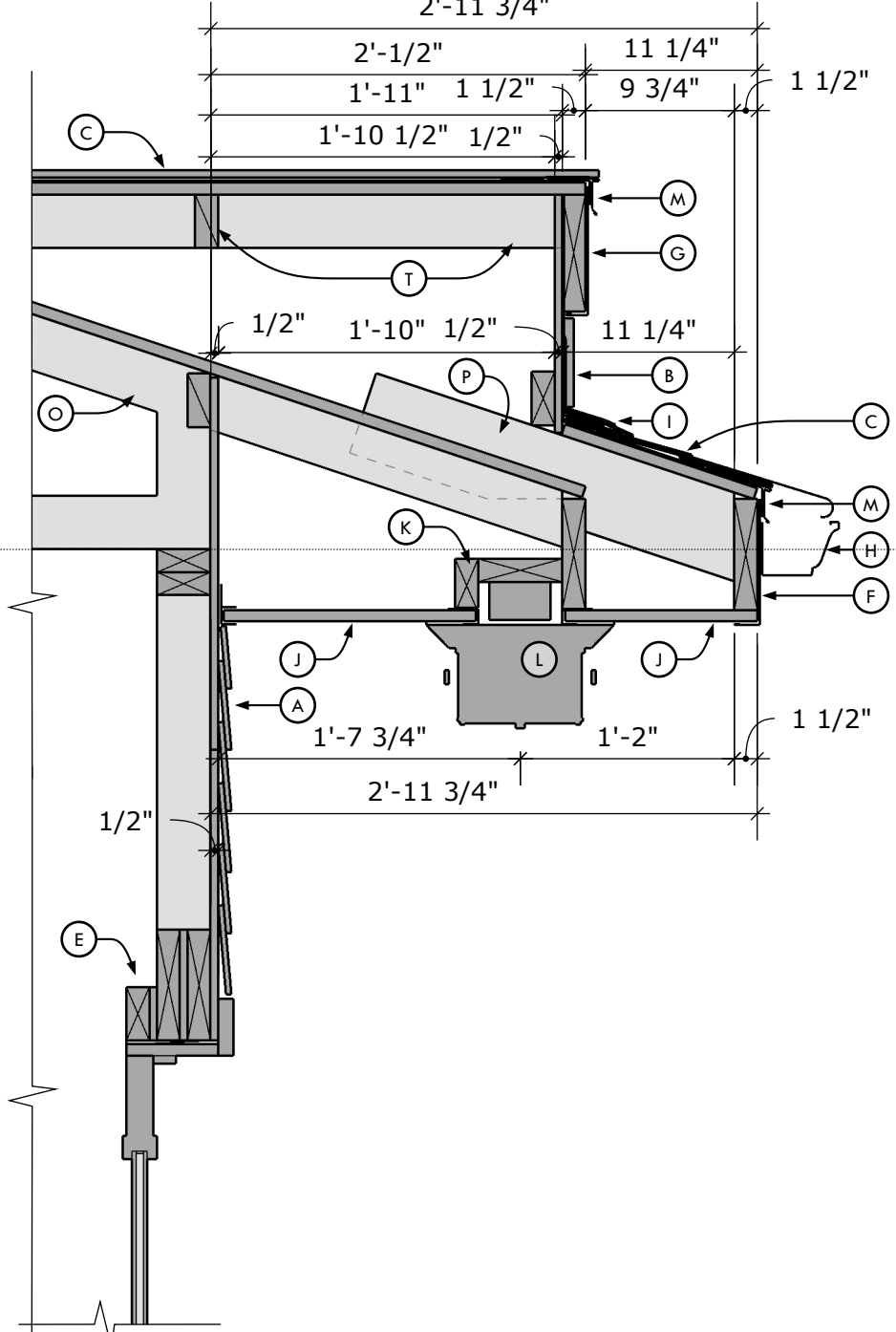
(T) 2x OVERFRAMING



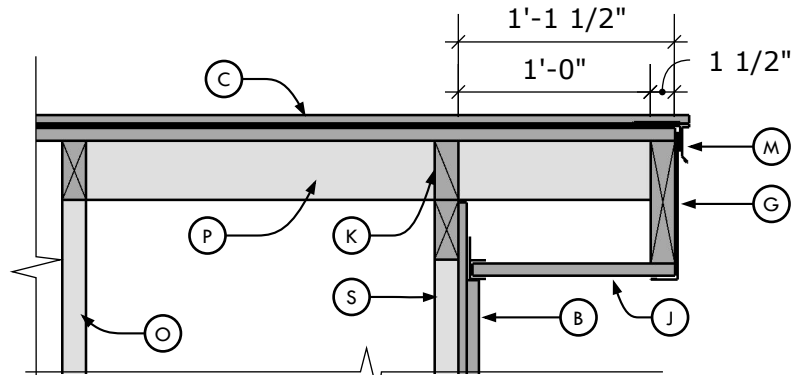
6 EAVE DETAIL - TYPICAL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



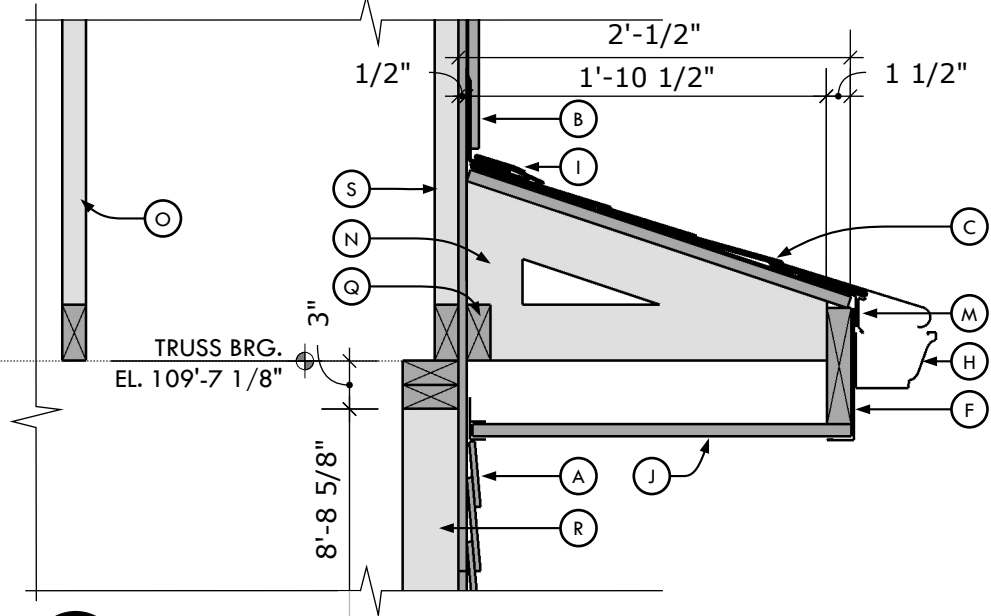
5 CURB DETAIL - SIDE  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



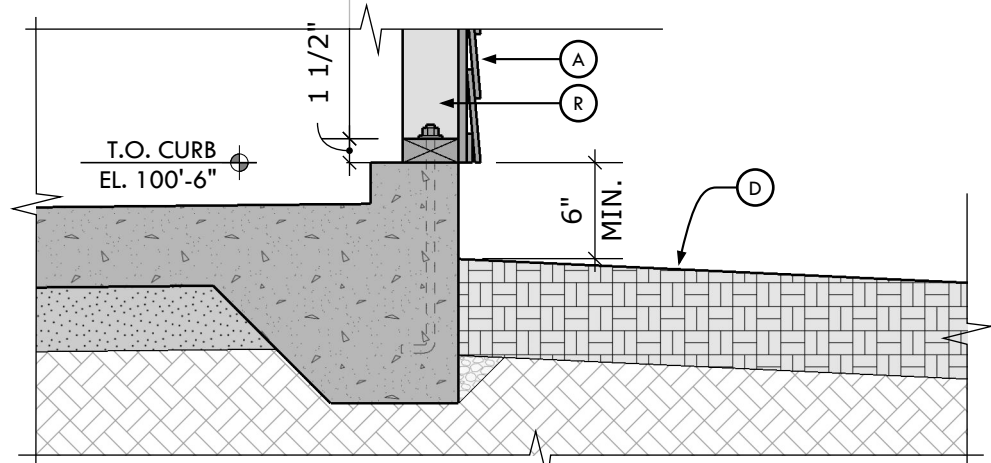
4 ENTRY PORCH ROOF DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



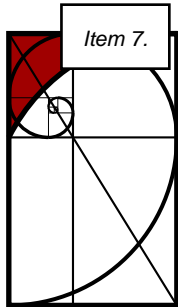
3 END WALL RAKE DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



2 END WALL EAVE DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



1 CURB DETAIL - HIGH END  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



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ROOF FRAMING PLAN KEYED NOTES

- 1 TRUSS PROFILE "A"

2 (NOT USED)

3 (NOT USED)

4 (NOT USED)

5 TRUSS PROFILE "B" (END WALL)

6 TRUSS PROFILE "C" (END-WALL EAVE)

7 RIDGE LINE

8 2X8 EAVE FASCIA

9 2x8 RAKE FASCIA

10 OUTLOOKER

11 LEDGER BOARD

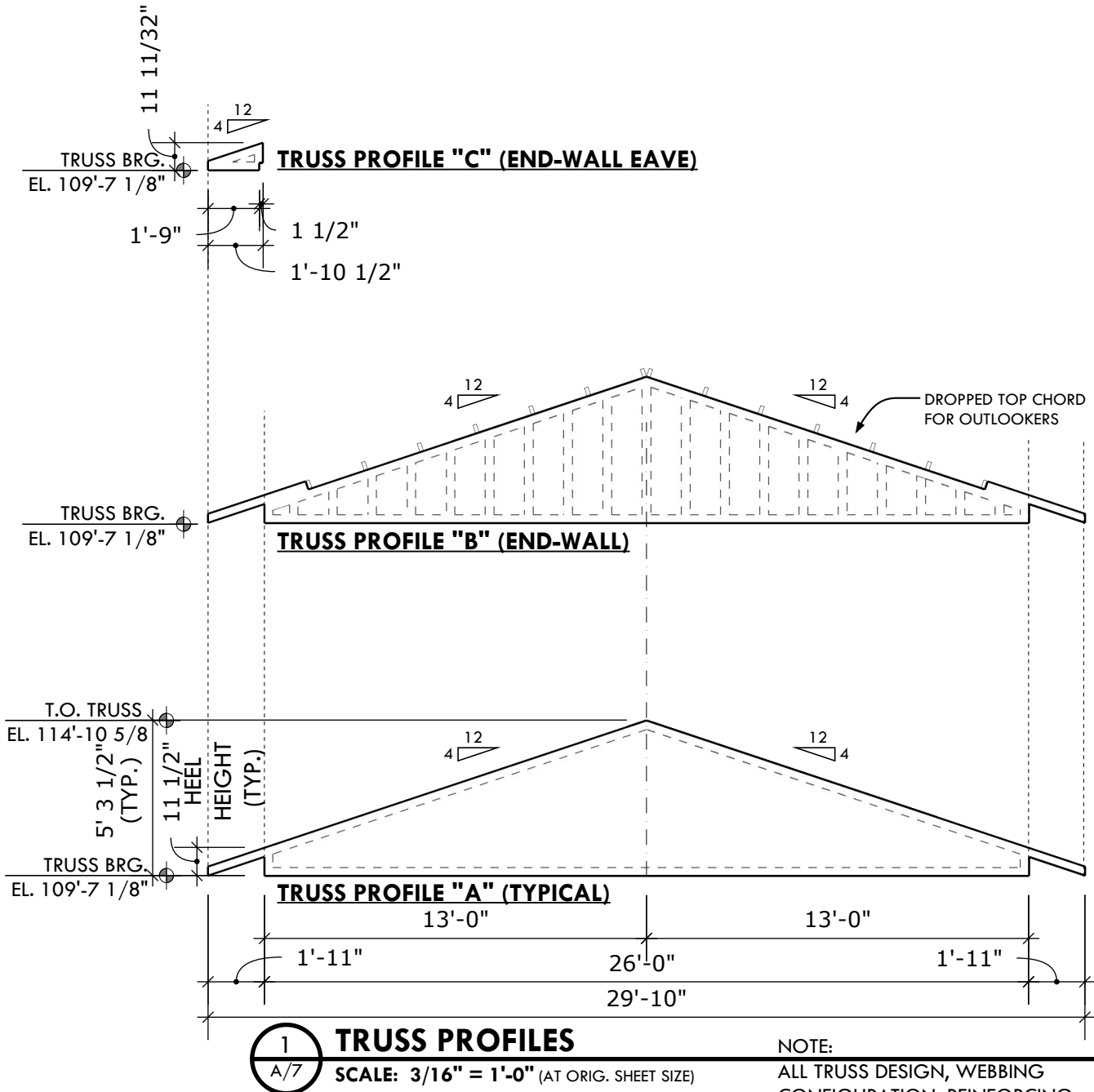
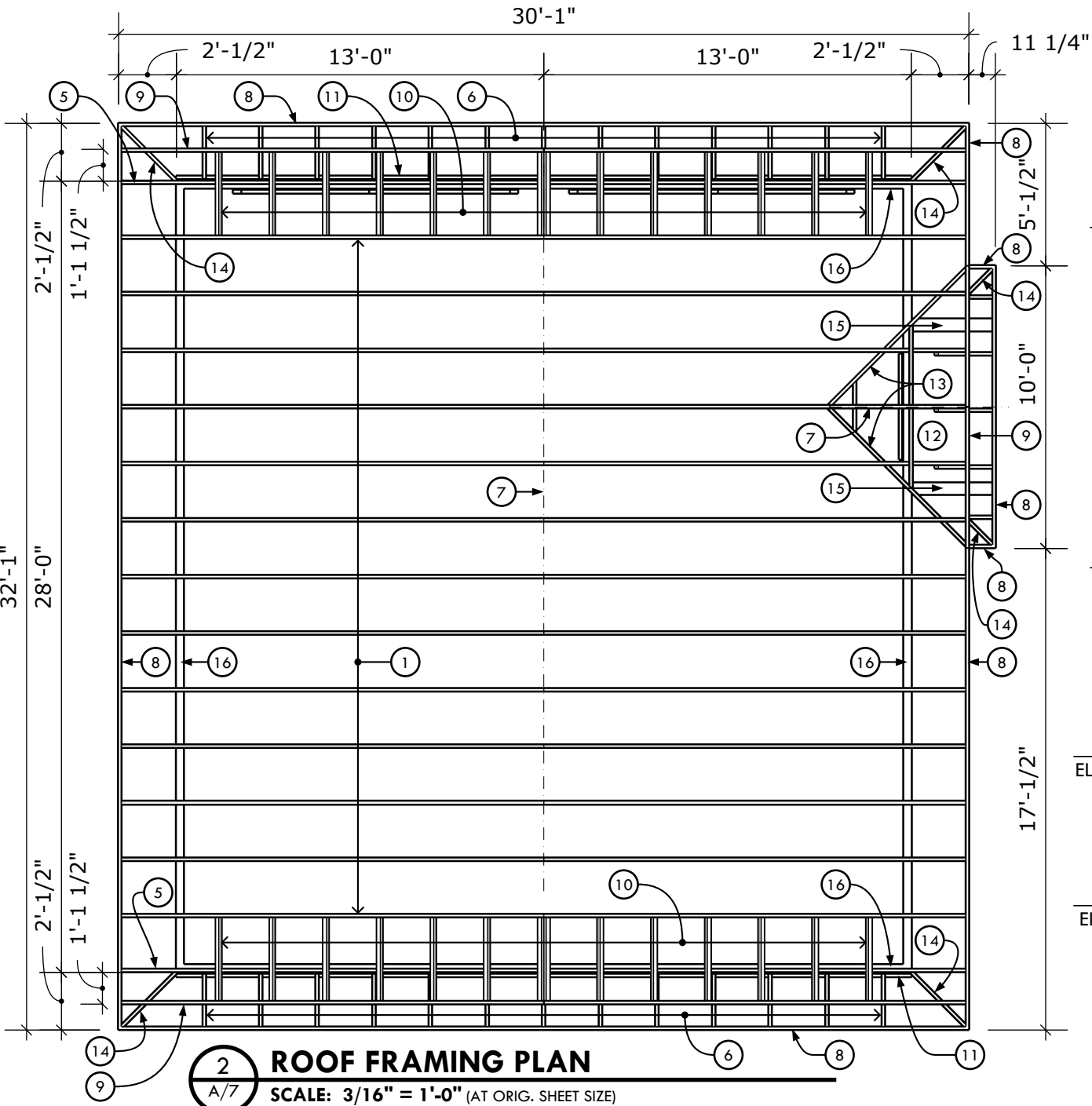
12 2X OVER-FRAMING FOR CANOPY GABLE

13 VALLEY BLOCKING

14 HIP BLOCKING

15 BLOCKING FOR BRACKET

16 2x4 WALL BELOW



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SHEET TITLE: FRAMING PLAN  
DRAWN BY: JC  
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PROJ#: 25.001  
DATE: 07/22/25

ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT

1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081

A

7

## CITY OF SHEBOYGAN

## REQUEST FOR ARCHITECTURAL REVIEW CONSIDERATION

---

**ITEM DESCRIPTION:** Architectural review for the construction of a garage at Zion Covenant Church located at 1132 N 5<sup>th</sup> St.

---

**REPORT PREPARED BY:** Ellise Rose, Zoning Administrator

---

**REPORT DATE:** September 15, 2025

**MEETING DATE:** September 23, 2025

---

**FISCAL SUMMARY:****STATUTORY REFERENCE:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

---

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

---

**BACKGROUND / ANALYSIS:**

Richard Tomlinson is proposing to construct a garage at Zion Covenant Church located at 1132 N 5<sup>th</sup> Street. The applicant states the following:

- The proposed project includes new wood two and half stall single level garage.
- The existing two story with living quarters above, garage below will be removed and the new garage will be placed in the existing foot print as well as meeting set back requirements.
- The existing two story structure is constructed of wood and vinyl siding, placed on a cement slab. The roof is of asphalt shingles. The garage has three over head doors two are steel/metal and one is wood which are going to be removed prior to raising the structure.
- The proposed new two and halt stall garage will be of wood construction place on a concrete slab.
- The roof will be of asphalt shingles with two windows, one service door, and two over head doors

**STAFF COMMENTS:**

None

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Application and required attachments.

*Item 8.*



**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW**  
**APPLICATION**

Fee: \_\_\_\_\_

Review Date: \_\_\_\_\_

Item 8.

Read all instructions before completing. If additional space is needed, attach additional pages.

**SECTION 1: Applicant/ Permittee Information**

Name (Ind., Org. or Entity) Zion Covenant Church	Authorized Representative Wigg Brothers Mike or Dan Kolb	Title Contractor or Church Rep.	
Mailing Address 1125 N 6th St	City Sheboygan	State WI	ZIP Code 53081
Email Address rlt5123@charter.net		Phone Number (incl. area code) 920-918-1685	

**SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)**

Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	

**SECTION 3: Architect Information**

Name Imagination Studio, Inc. Joe Clark			
Mailing Address 319 Michigan Ave	City Sheboygan	State WI	Zip 53081
Email Address www.theimaginationstudio.com		Phone Number (incl. area code) 920-747-0695	

**SECTION 4: Contractor Information**

Name Wigg Brothers Mike			
Mailing Address 1503 N 9th St	City Sheboygan	State WI	Zip 53081
Email Address wiggbrothersmf@gmail.com		Phone Number (incl. area code) 920-331-2671	

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Richard L. Tomlinson	Title Trustee	Phone Number 920-918-1685
Signature of Applicant Richard L. Tomlinson		Date Signed 9-15-25

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**SECTION 6: Description of the Subject Site/Proposed Project**

Project Address/Description 1132 N. 5th St Sheboygan WI 53081		Parcel No.
Name of Proposed/Existing Business:	Zion Covenant Church	
Address of Property Affected:	1132 N. 5th St Sheboygan WI	
Zoning Classification:	Single Family Residential	
New Building: <input checked="" type="checkbox"/>	Addition: <input checked="" type="checkbox"/>	Remodeling: <input checked="" type="checkbox"/>

**SECTION 7: Description of Proposed Project**

New wood two and half stall single level garage. The existing two story with living quarters above, garage below will be removed and the new garage will be placed in the existing foot print as well as meeting set back requirements.

**SECTION 8: Description of EXISTING Exterior Design and Materials**

The existing two story structure is constructed of wood and vinyl siding, placed on a cement slab. The roof is of asphalt shingles. The garage has three over head doors two are steel/metal and one is wood which are going to be removed prior to raising the structure.

**SECTION 9: Description of the PROPOSED Exterior Design and Materials**

The proposed new two and halt stall garage will be of wood construction place on a concrete slab. The roof will be of asphalt shingles with two windows, one service door, and two over head doors.

## APPLICATION SUBMITTAL REQUIREMENTS

- A. Three 11x17 scale color drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.

**C. Submit digital plans and drawings of the project by email, flash drive, etc.**

- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

**ACTION BY ARCHITECTURAL REVIEW BOARD**

DATE OF MEETING: \_\_\_\_\_

APPROVED: \_\_\_\_\_      CONDITIONALLY APPROVED: \_\_\_\_\_

DENIED: \_\_\_\_\_

**CONDITIONS**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

SIGNATURE: \_\_\_\_\_  
Chairperson, Architectural Review Board OR  
Manager of Planning & Zoning

DATE: \_\_\_\_\_

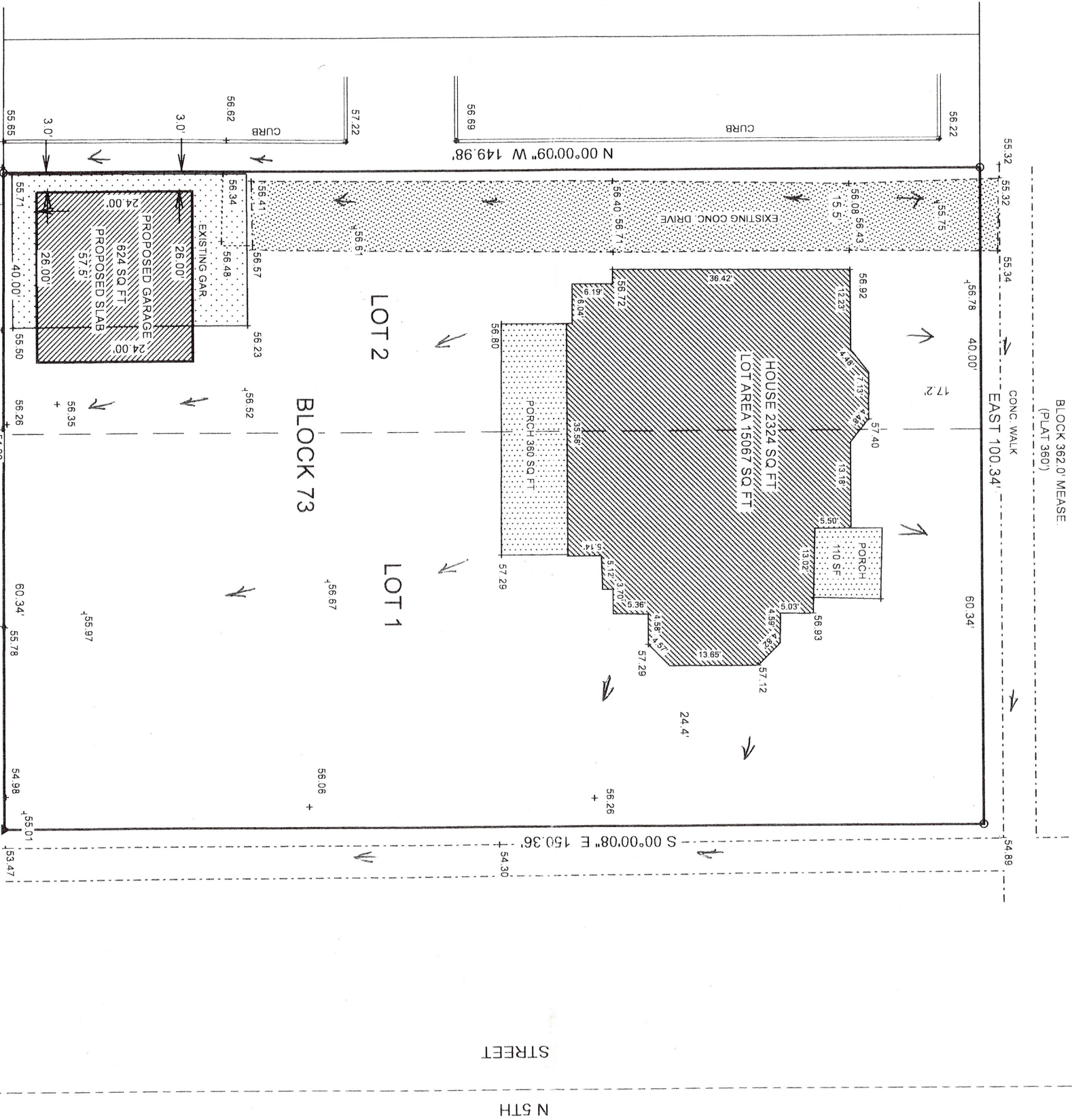


D & H LAND SURVEYS LLC  
1628 GEORGIA AVENUE  
SHEBOYGAN, WISCONSIN

1132 N. 5TH STREET  
PARCEL 59281103740  
BEING ALL OF LOT 1 AND EAST 40 FEET OF LOT OF BLOCK 73  
OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN,  
SHEBOYGAN COUNTY, WISCONSIN.

ST CLAIR

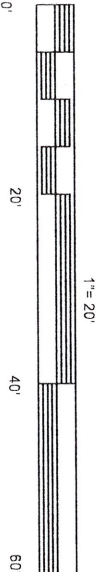
AVE



THIS IS AN ORIGINAL PRINT ONLY  
THIS SEAL IS IMPRINTED IN RED  
THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON  
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dennis J. Van Sluys S-1238

Dated this 30th day of May, 2025.



○ = 3/4" IRON PIPE SET  
+ = EXISTING GRADE CITY DATUM

DATA/CSHEB25/1132N5 D-3661



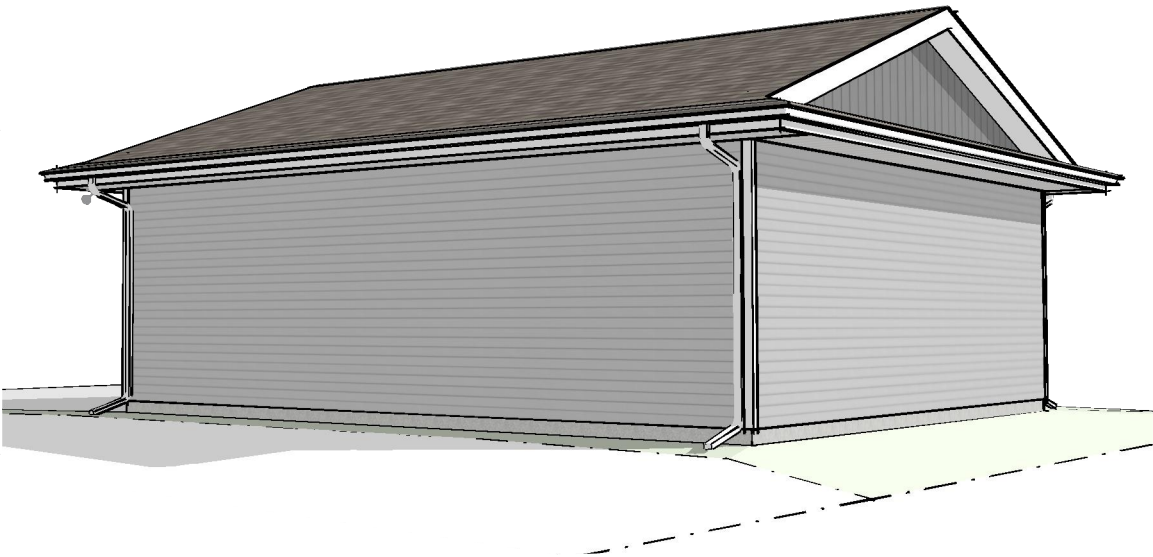
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**GENERAL NOTES**

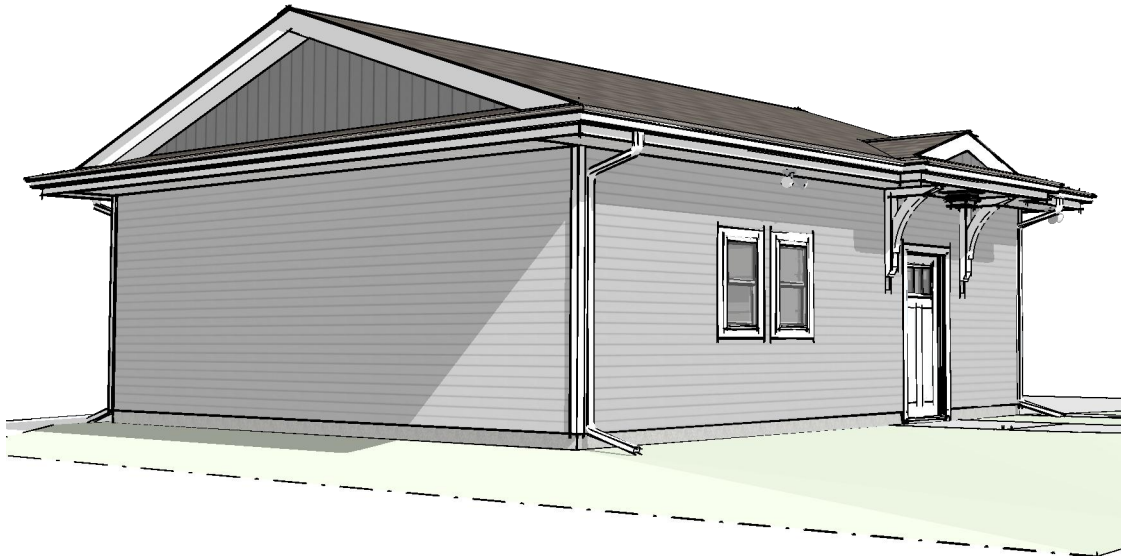
- THIS DRAWING SET IS TO PROVIDE DESIGN CONCEPT, ANTICIPATED DIMENSIONS & MATERIALS, AND IS NOT INTENDED FOR CONSTRUCTION
- CONTRACTOR IS RESPONSIBLE FOR ALL CODE AND ORDINANCE COMPLIANCE, FIRE-RATING REQUIREMENTS, TRUSS DESIGN, STRUCTURAL CALCULATIONS/ REINFORCING/BRACING/DETAILING REQUIREMENTS, SURVEY, PERMITS, AND INSPECTIONS
- CONTRACTOR SHALL FURNISH ALL DOCUMENTS FOR CONSTRUCTION
- FOLLOW ALL MANUFACTURERS' INSTALLATION INSTRUCTIONS & REQUIREMENTS



**3 VIEW FROM NORTHEAST**  
A/1 SCALE: N.T.S.



**2 VIEW FROM SOUTHWEST**  
A/1 SCALE: N.T.S.



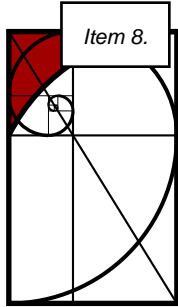
**1 VIEW FROM SOUTHEAST**  
A/1 SCALE: N.T.S.

**ORDINANCE - NR-6 ZONING  
RESIDENTIAL DETACHED GARAGE:**

MAX. AREA = 1,000-SQ.FT.  
MAX. HEIGHT = 15'-0"  
MIN. ROOF SLOPE = 3 : 12  
SETBACKS:  
REAR (WEST): 3'  
SIDE (SOUTH/ALLEY): 5'

**SHEET INDEX**

- A/1 PERSPECTIVE VIEWS
- A/2 BUILDING ELEVATIONS
- A/3 FLOOR PLANS
- A/4 LTG. & POWER PLANS
- A/5 BUILDING SECTIONS
- A/6 SECTION DETAILS
- A/7 FRAMING PLAN & TRUSS PROFILES



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CONCEPT DESIGN  
NOT FOR CONSTRUCTION  
SHEET TITLE: PERSPECTIVE VIEWS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

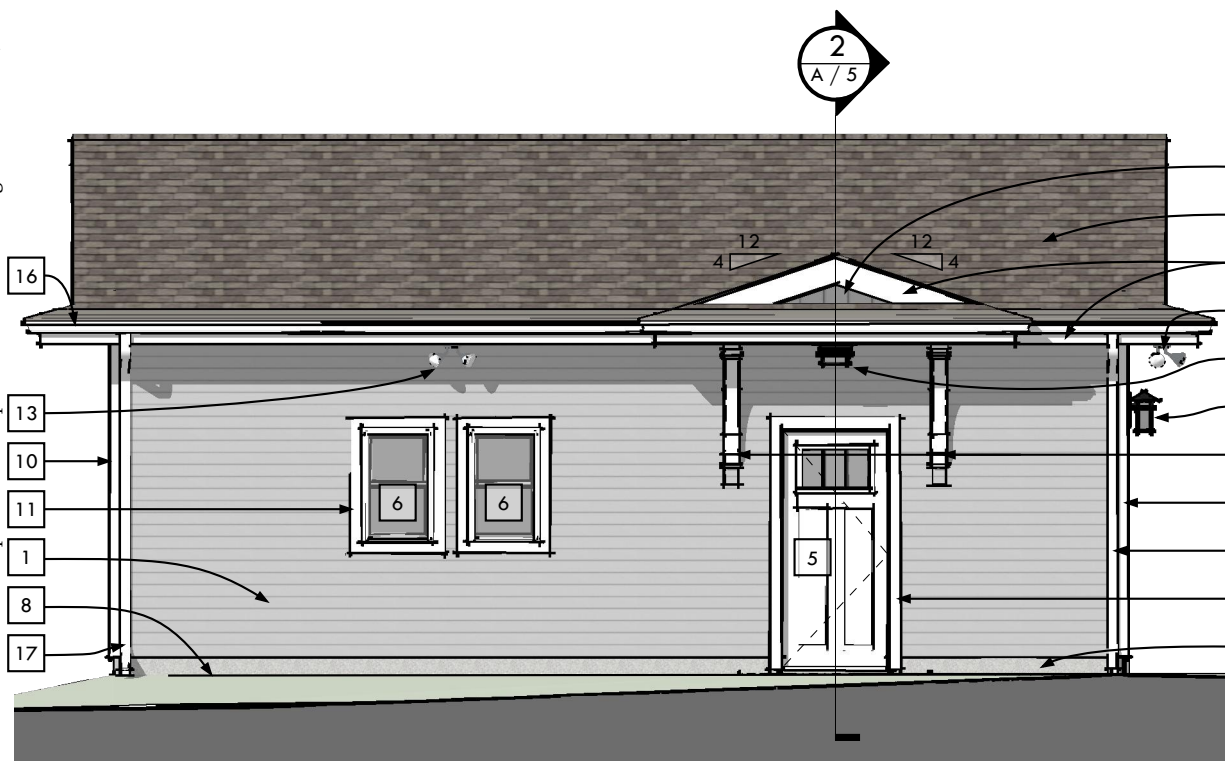
PROJ#: 25.001  
DATE: 07/22/25



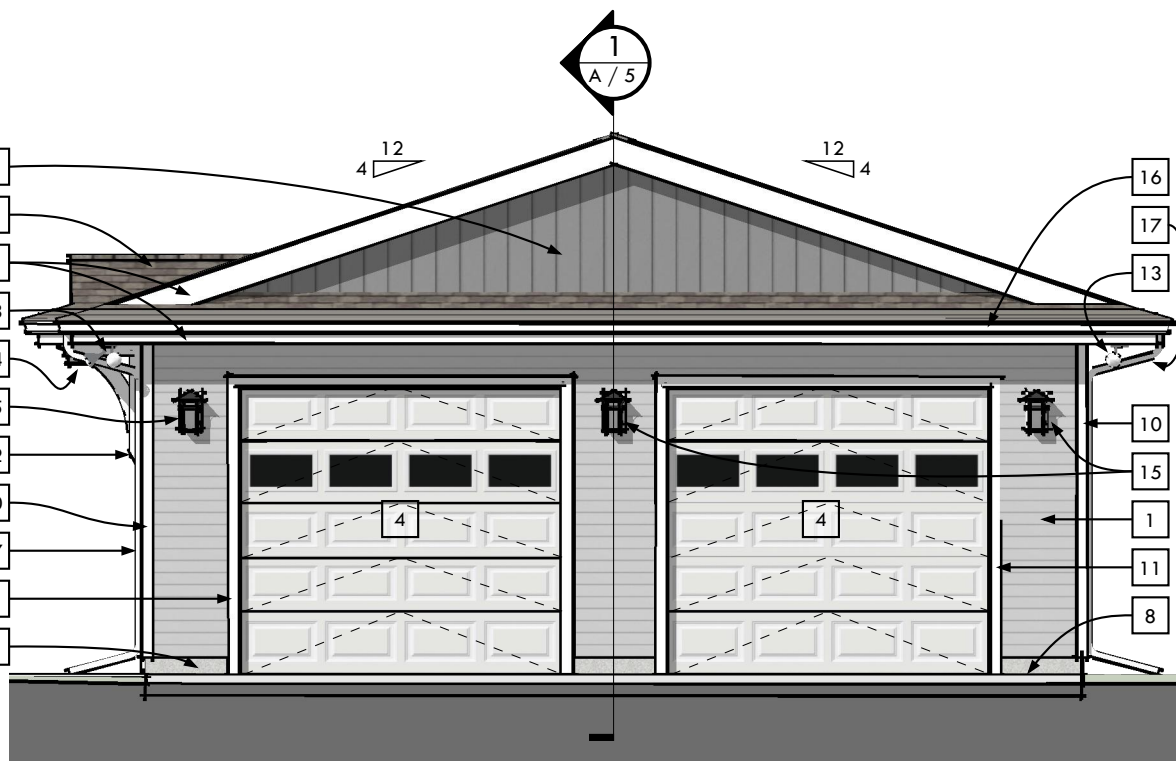
**ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT**

1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081

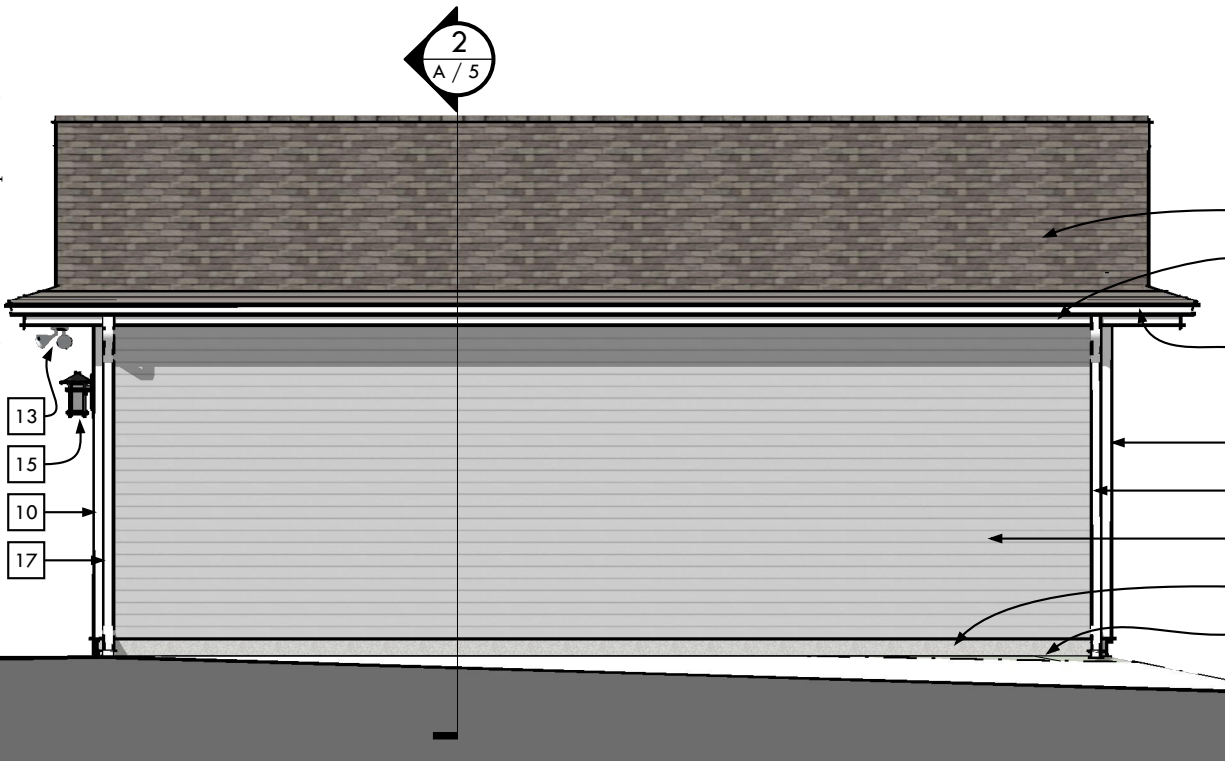
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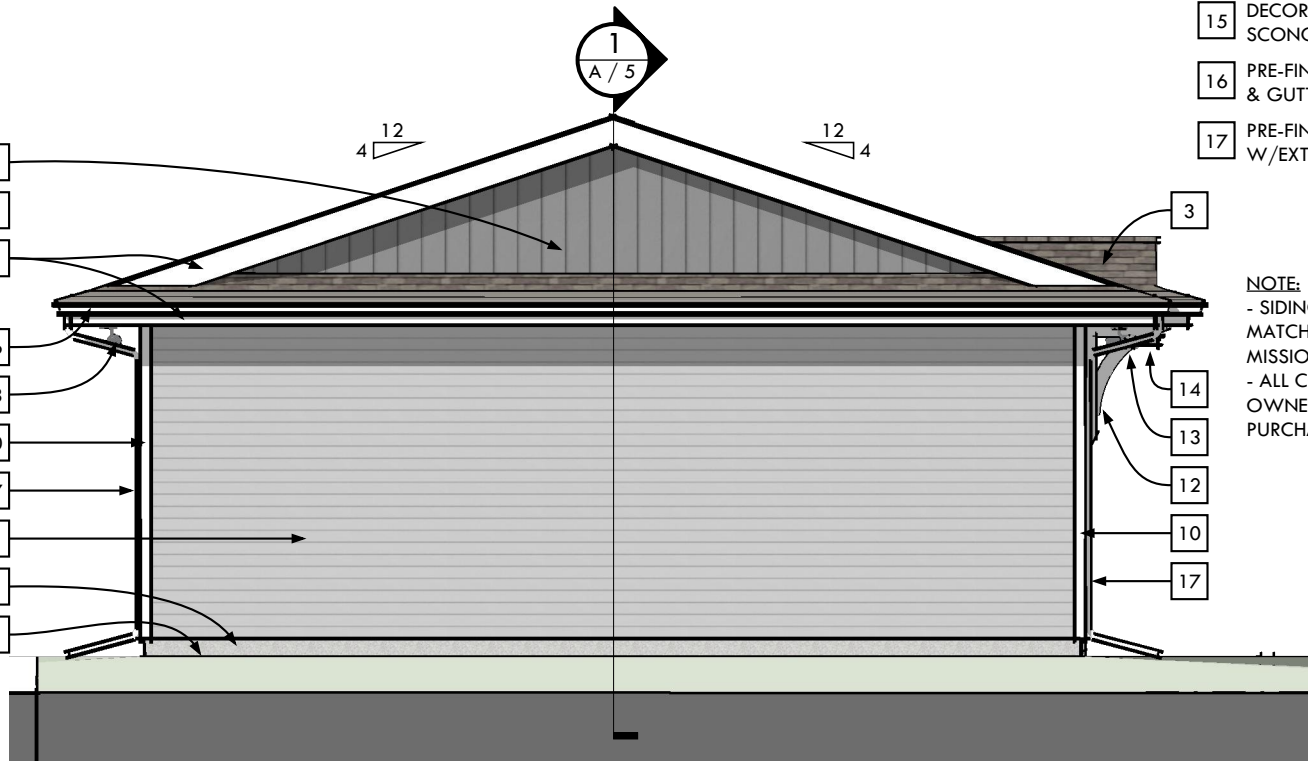
4 EAST/YARD ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



3 NORTH/DRIVEWAY ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



2 WEST/ZION ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



1 SOUTH/ALLEY ELEVATION  
A/2 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

- ### MATERIALS LEGEND
- 1 LP SMART-SIDE LAP SIDING (SMOOTH) 4" EXPOSURE, COLOR #1 (LT. GRAY)
  - 2 LP SMART-SIDE VERTICAL GROOVE PANEL SIDING 8" O.C., COLOR #2 (DK. GRAY)
  - 3 DIMENSIONAL ASPHALT SHINGLES COLOR TO MATCH MISSION HOUSE
  - 4 9'x8' INSUL. O.H. GARAGE DOOR 5-PANEL/4-LITE, WHITE, TORSION-SPRING W/ELEC. OPERATOR & SEALS
  - 5 1-3/4"x3'x6'-8" INSUL. STEEL SWING-DOOR, W/SILL & SEALS, WHITE
  - 6 DOUBLE-HUNG VINYL WINDOW
  - 7 EXPOSED CONCRETE CURB/FOUNDATION EDGE
  - 8 APPROXIMATE GRADE LEVEL
  - 9 PRE-FINISHED METAL FASCIA-WRAP
  - 10 AZEK PVC 1"x3-1/2"x3-1/2" CORNER-BOARD TRIM, TRADITIONAL/WHITE
  - 11 AZEK PVC 1"x3-1/2" TRIM, TRADITIONAL/WHITE
  - 12 DECORATIVE PVC BRACKET (WHITE)
  - 13 SOFFIT-MOUNTED FLOOD LIGHT(S)
  - 14 DECORATIVE SOFFIT-MOUNTED LIGHT FIXTURE
  - 15 DECORATIVE WALL-MOUNTED SCONCE LIGHT FIXTURE
  - 16 PRE-FINISHED METAL GUTTER (WHITE) & GUTTER-HELMET
  - 17 PRE-FINISHED METAL DOWNSPOUT W/EXTENSION (WHITE)

NOTE:  
- SIDING COLOR #1 (LT. GRAY) TO MATCH EXISTING COLOR OF MISSION HOUSE.  
- ALL COLORS TO BE REVIEWED FOR OWNER APPROVAL PRIOR TO PURCHASE OF MATERIALS

Item 8.

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CONCEPT DESIGN  
NOT FOR CONSTRUCTION

SHEET TITLE: BLDG. ELEVATIONS

DRAWN BY: JC

ORIGINAL SHEET SIZE: 11"x17"

PROJ#: 25.001

DATE: 07/22/25

A

2

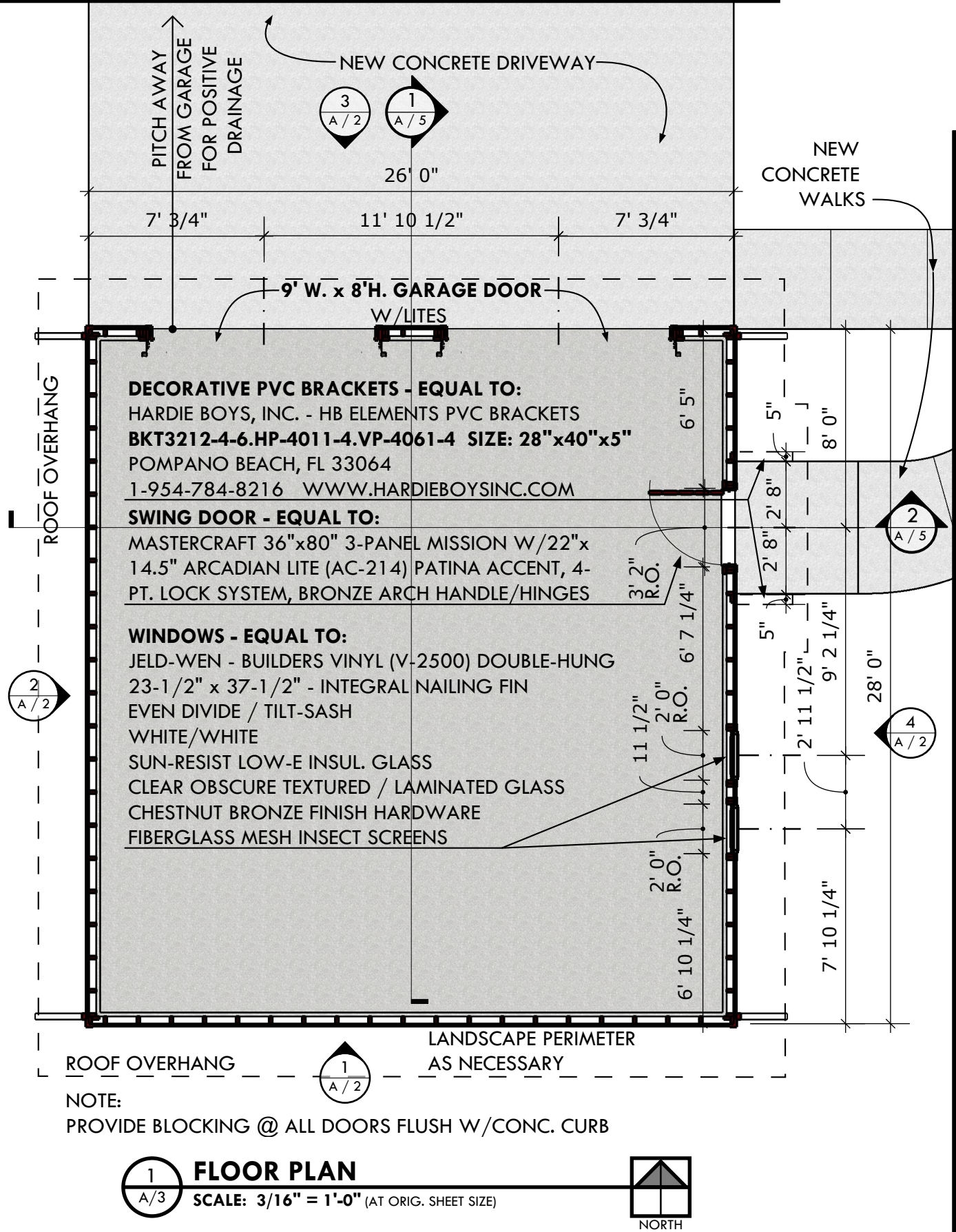
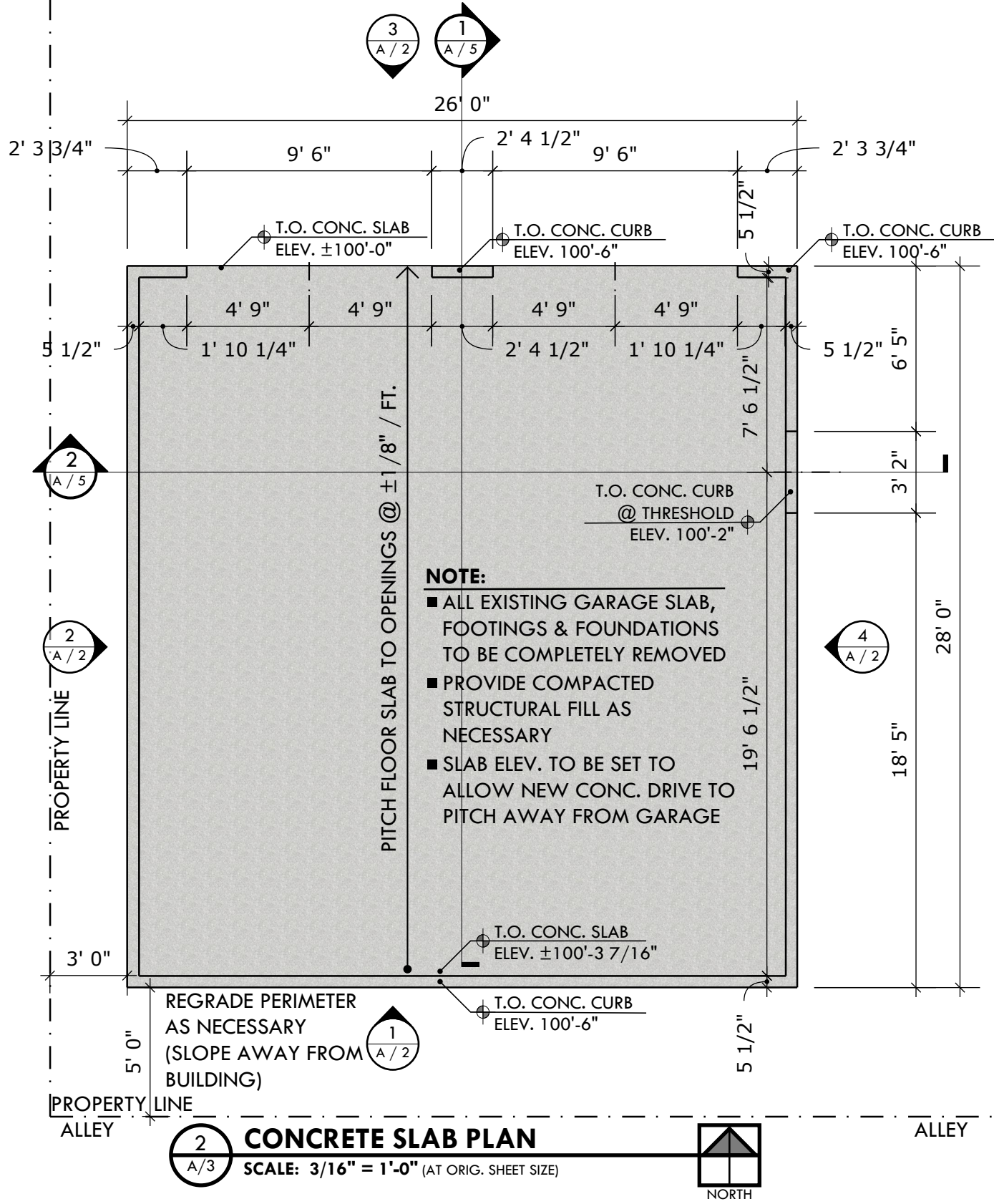
39

# ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT

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SHEBOYGAN, WI 53081



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CONCEPT DESIGN NOT FOR CONSTRUCTION	FLOOR PLANS
SHEET TITLE:	JC
DRAWN BY:	11"X17"
ORIGINAL SHEET SIZE:	

PROJ#:	25.001
DATE:	07/22/25

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REFLECTED CEILING PLAN & ELECTRICAL KEYED NOTES

- 1 CERAMIC SOCKET LIGHT FIXTURE

2 SINGLE-LAMP SOFFIT-MOUNTED PAR FLOOD LIGHT

3 DOUBLE-LAMP SOFFIT-MOUNTED PAR FLOOD LIGHT

4 DECORATIVE CEILING/SOFFIT-MOUNTED LIGHT FIXTURE EQUAL TO HINKLEY - HARBOR 2573TT-MEDIUM FLUSH MOUNT - SATIN BLACK FINISH

5 DECORATIVE SCONCE LIGHT FIXTURE EQUAL TO HINKLEY - HARBOR 2574AR - MEDIUM WALL MOUNT LANTERN - SATIN BLACK FINISH

6 DECORATIVE PVC BRACKET

7 VENTED SOFFIT PANEL (TYP.)

8 3-WAY SWITCH BACK TO HOUSE SWITCH

9 GARAGE DOOR TRACK (BRACE AS NECESSARY)

10 ELEC. GARAGE DOOR OPERATOR (BRACE AS NECESSARY) W/SWITCH @ SWING-DOOR

11 ROOF TRUSS (TYP.)

12 OUTLOOKER (TYP.)

13 DUPLEX RECEPTACLE (FOR GARAGE DOOR OPENER) CONFIRM REQUIRED LOCATION

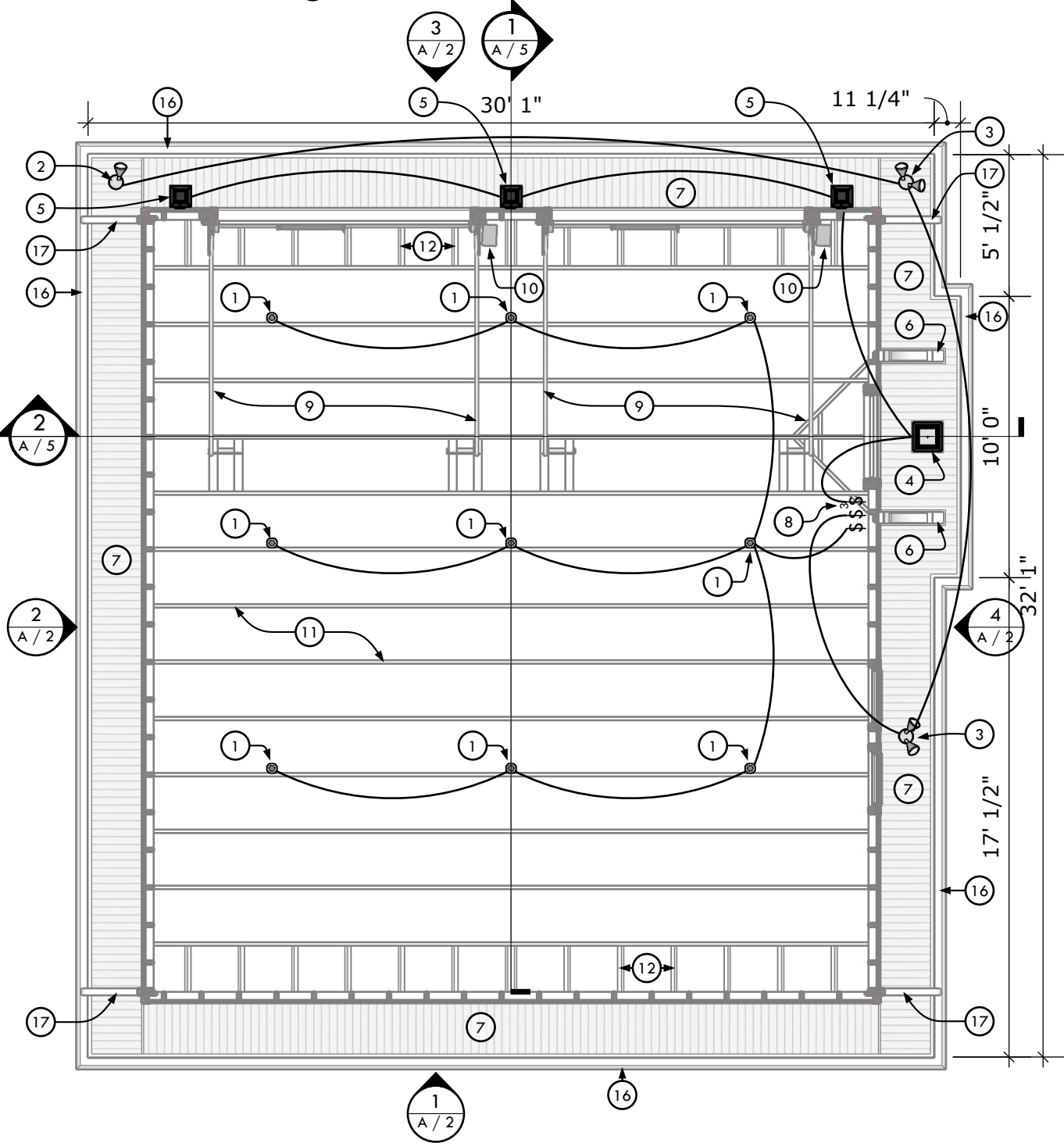
14 DUPLEX RECEPTACLE (TYP.)

15 DECORATIVE PVC BRACKET (ABOVE)

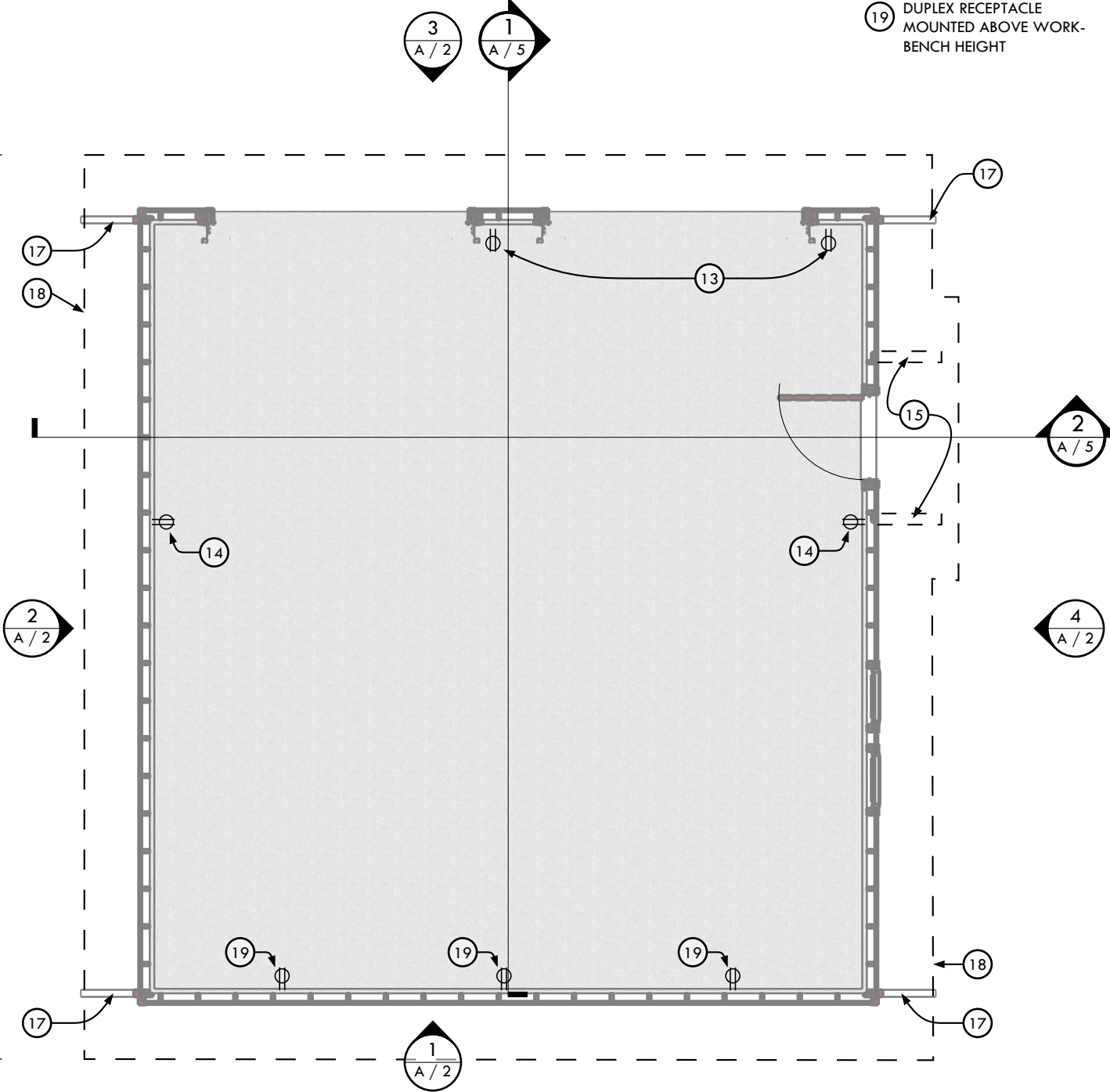
16 PRE-FINISHED METAL GUTTER W/GUTTER-HELMET

17 PRE-FINISHED METAL DOWNSPOUT W/EXTENTION EDGE OF ROOF OVERHANG ABOVE

18 DUPLEX RECEPTACLE MOUNTED ABOVE WORK-BENCH HEIGHT



2 R.C.P. & LIGHTING PLAN  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



1 ELECTRICAL POWER PLAN  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

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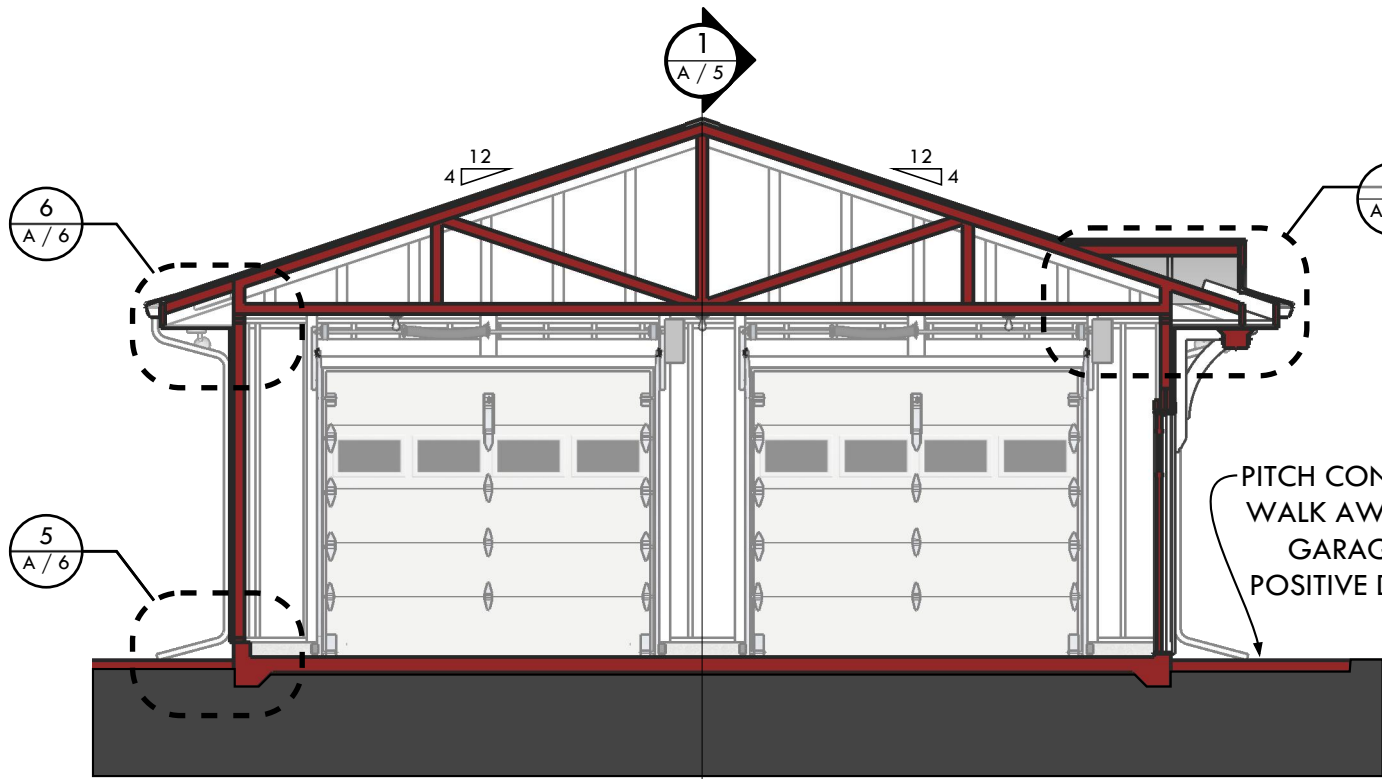
CONCEPT DESIGN  
NOT FOR CONSTRUCTION  
SHEET TITLE: LTG. & PWR. PLANS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001  
DATE: 07/22/25

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**2 SECTION - EAST/WEST**  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

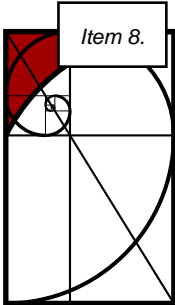


**1 SECTION - NORTH/SOUTH**  
SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



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CONCEPT DESIGN  
NOT FOR CONSTRUCTION  
SHEET TITLE: BUILDING SECTIONS  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001  
DATE: 07/22/25

**A** **5**



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DETAIL KEYED NOTES

- (A) TYPICAL WALL ASSEMBLY: LP SMART-SIDE HORIZ. LAP-SIDING OVER WEATHER-RESISTIVE BARRIER ON 1/2" WALL SHEATHING ON 2X WALL FRAMING @ 16" O.C.

(B) TYPICAL GABLE-WALL ASSEMBLY: LP SMART-SIDE VERT.-GROOVE PANEL SIDING OVER WEATHER-RESISTIVE BARRIER ON 1/2" WALL SHEATHING ON GABLE END-WALL TRUSS

(C) TYPICAL ROOF ASSEMBLY: DIMENSIONAL ASPHALT SHINGLES OVER 30# ROOFING FELT OVER ICE & WATER SHIELD (@ EAVES & VALLEYS, TYP.) ON 1/2" (NOM.) ROOF SHEATHING (W/CLIPS) ON MANUFACTURED TRUSSES @ 24" O.C.

(D) FINISHED GRADE - SLOPE AWAY FROM GARAGE FOR POSITIVE DRAINAGE

(E) FUR DOOR TRIM FLUSH TO INSIDE FACE OF CONCRETE CURB (TYP.)

(F) PRE-FINISHED METAL FASCIA ON 2x8 EAVE FASCIA BOARD

(G) PRE-FINISHED METAL FASCIA ON 2x8 RAKE FASCIA BOARD

(H) PRE-FINISHED METAL GUTTER W/GUTTER-HELMET

(I) ROOF/WALL FLASHING & COVER SHINGLES

(J) VENTED SOFFIT PANEL
- (K) BLOCKING (AS NECESSARY)

(L) LIGHT FIXTURE

(M) PREFINISHED METAL DRIP-EDGE

(N) END-WALL EAVE TRUSS "C"

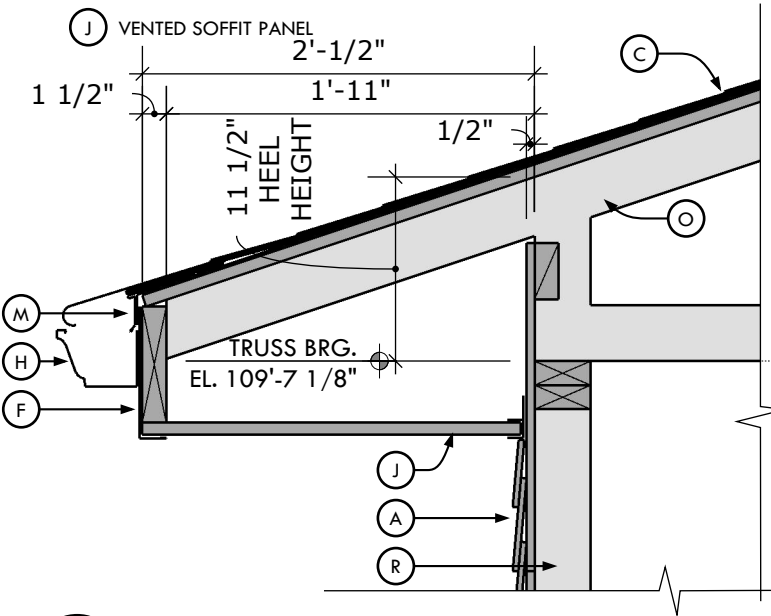
(O) TRUSS "A" (TYPICAL)
- (P) OUTLOOKERS

(Q) LEDGER BOARD

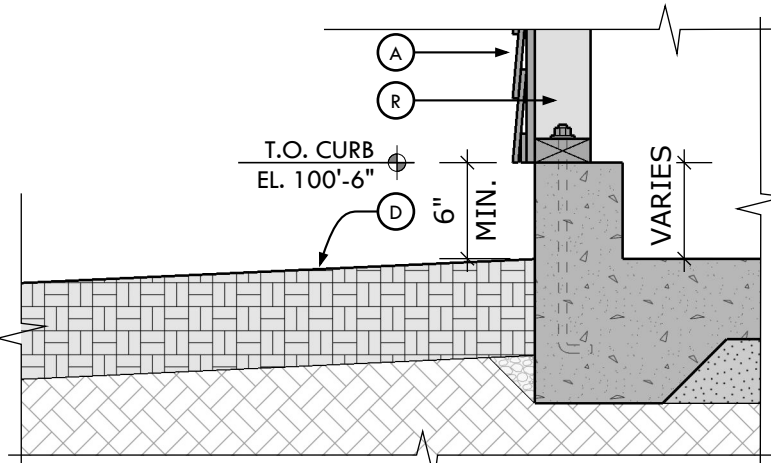
(R) 104 5/8" PRE-CUT STUD

(S) END-WALL TRUSS "B"

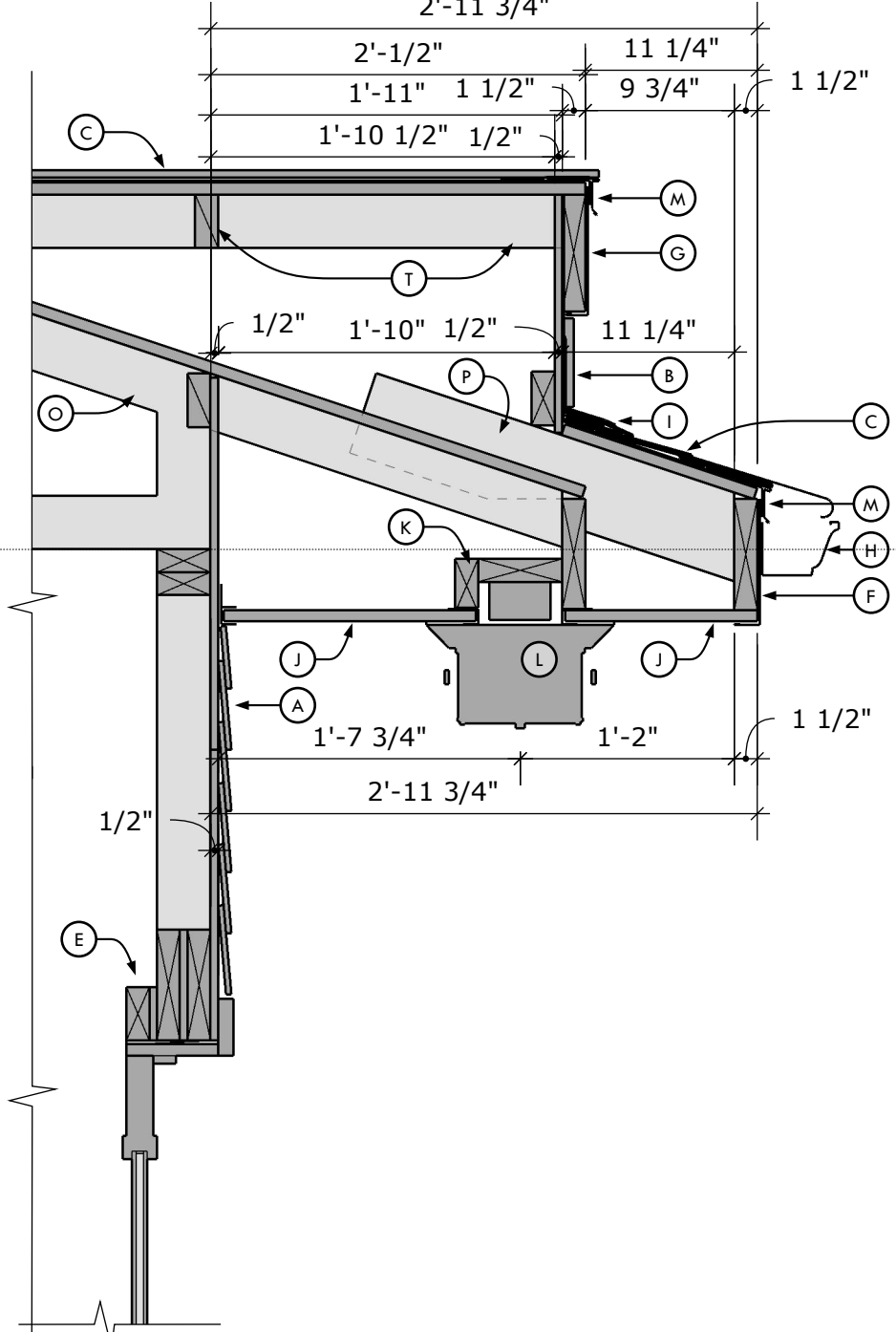
(T) 2x OVERFRAMING



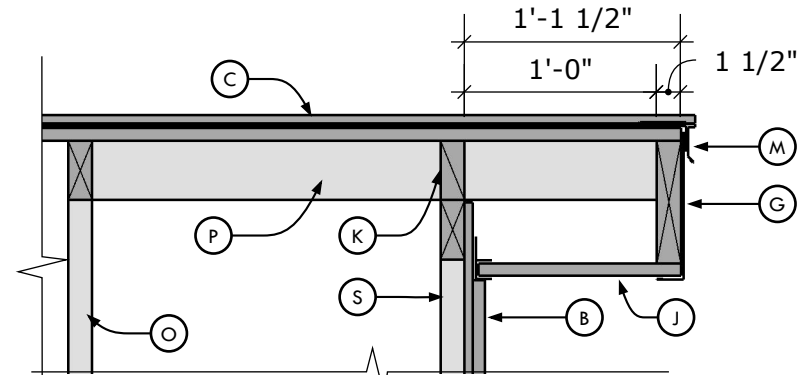
6 EAVE DETAIL - TYPICAL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



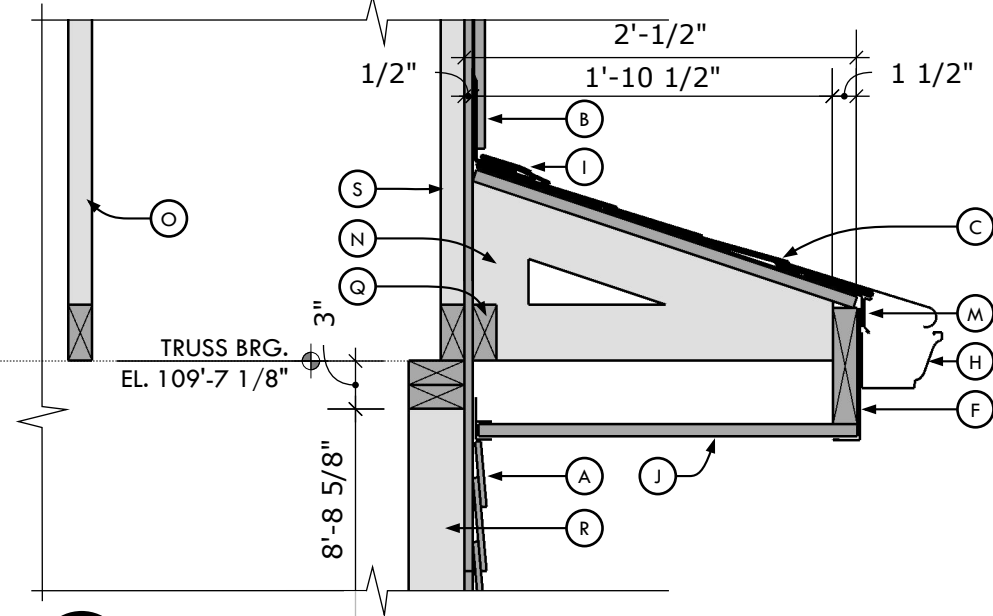
5 CURB DETAIL - SIDE  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



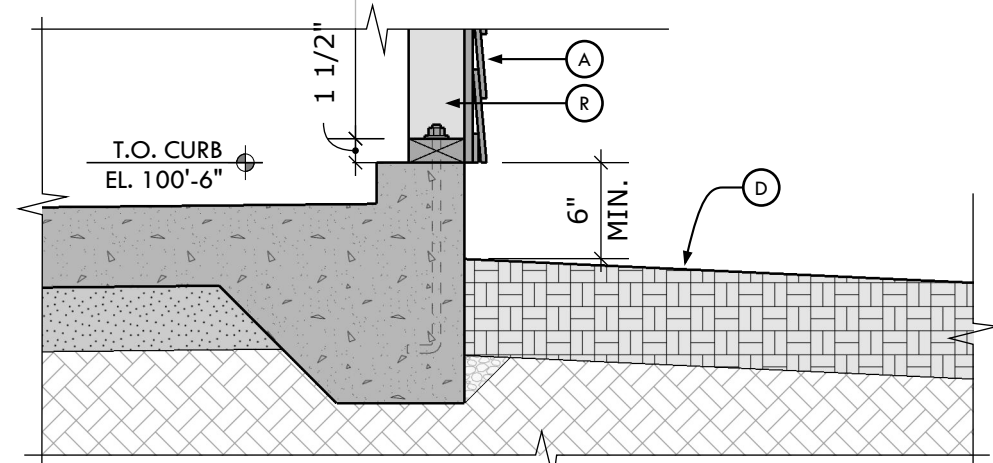
4 ENTRY PORCH ROOF DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



3 END WALL RAKE DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



2 END WALL EAVE DETAIL  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)



1 CURB DETAIL - HIGH END  
A/6 SCALE: 1" = 1'-0" (AT ORIG. SHEET SIZE)

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CONCEPT DESIGN  
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SHEET TITLE: SECTION DETAILS

DRAWN BY: JC

ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001

DATE: 07/22/25

**A**

**6**

43

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ROOF FRAMING PLAN KEYED NOTES

- 1

TRUSS PROFILE "A"
- 2

(NOT USED)
- 3

(NOT USED)
- 4

(NOT USED)
- 5

TRUSS PROFILE "B"  
(END WALL)
- 6

TRUSS PROFILE "C"  
(END-WALL EAVE)
- 7

RIDGE LINE
- 8

2X8 EAVE FASCIA
- 9

2x8 RAKE FASCIA
- 10

OUTLOOKER
- 11

LEDGER BOARD
- 12

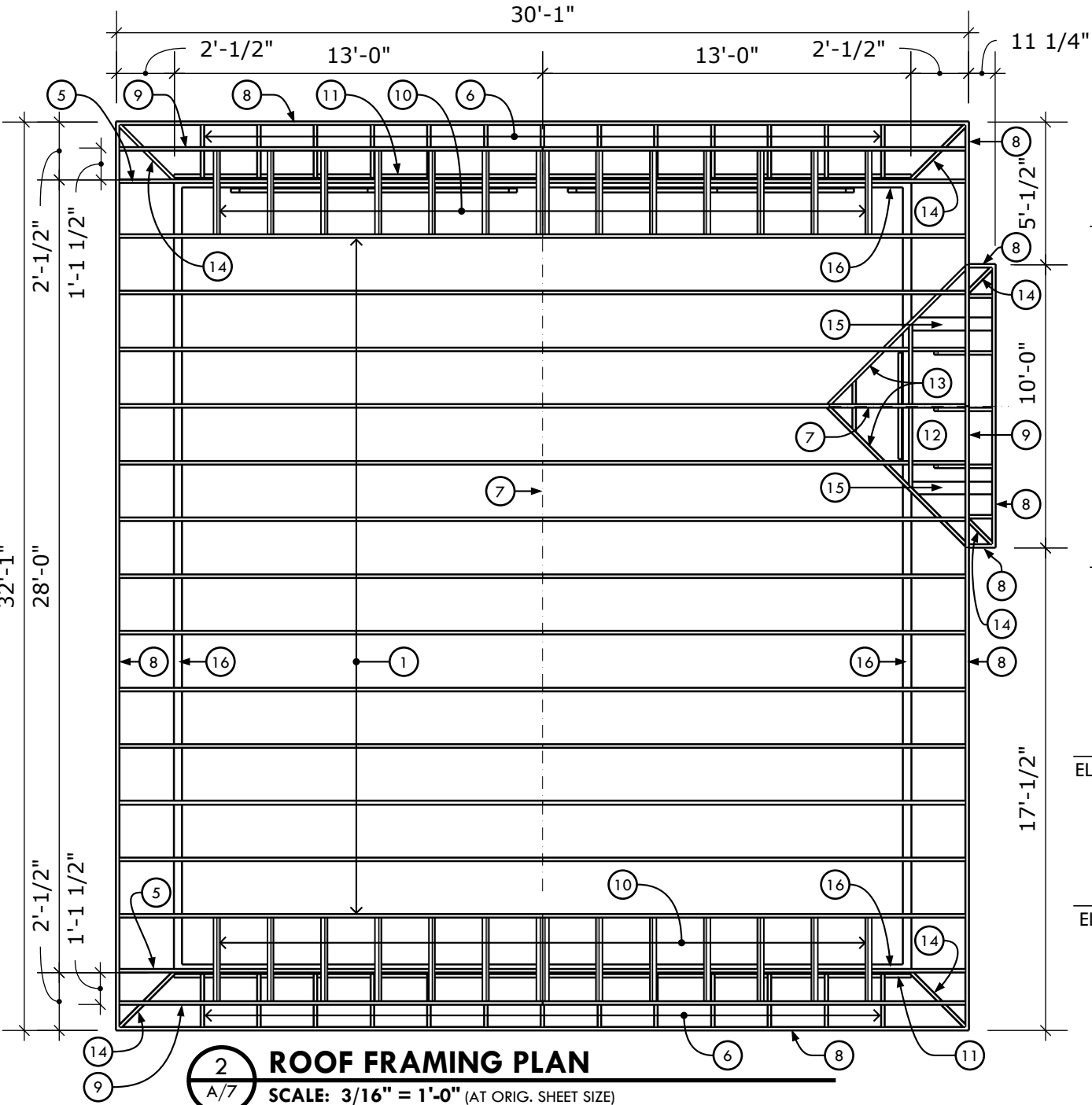
2X OVER-FRAMING  
FOR CANOPY GABLE
- 13

VALLEY BLOCKING
- 14

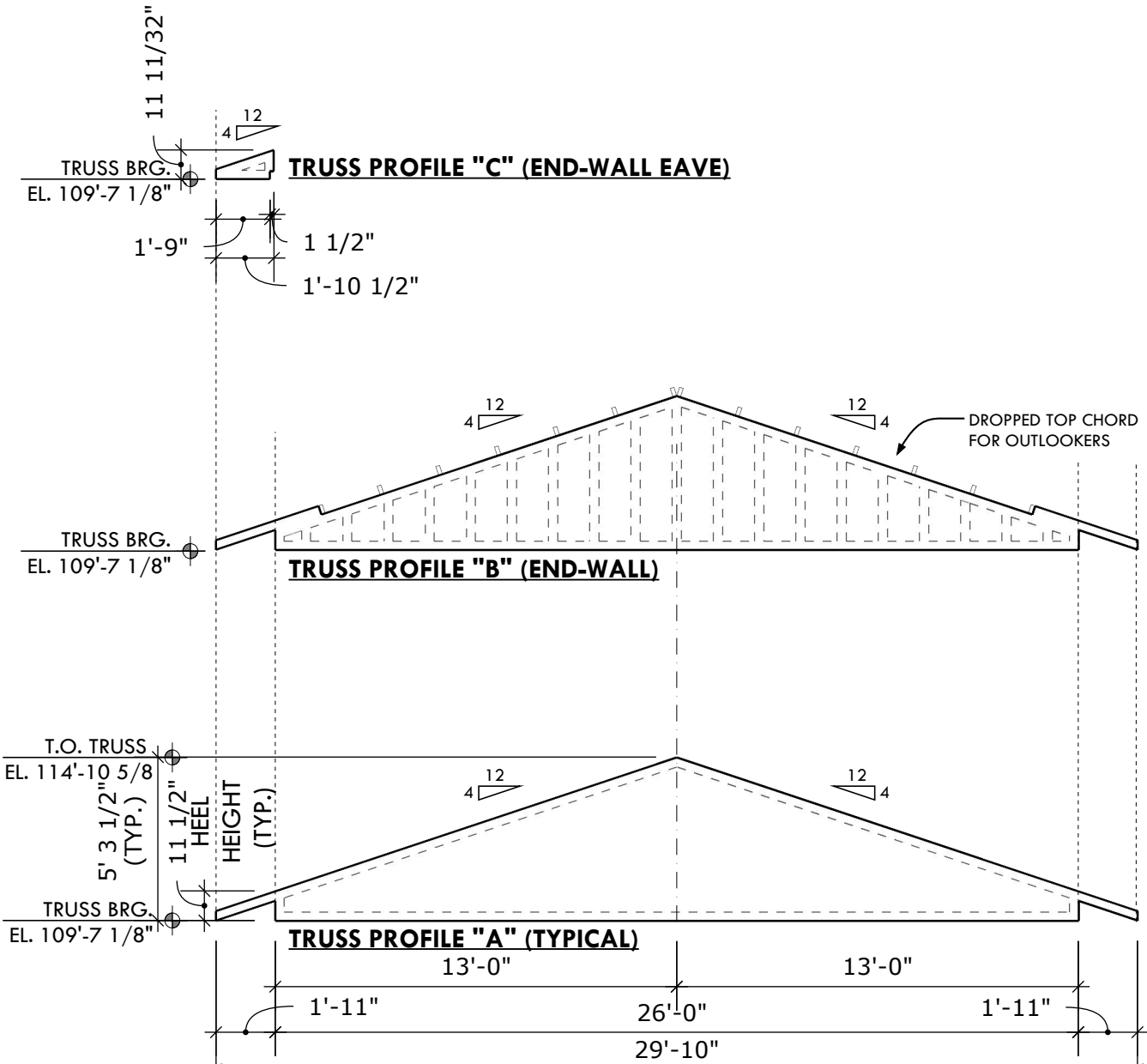
HIP BLOCKING
- 15

BLOCKING FOR BRACKET
- 16

2x4 WALL BELOW

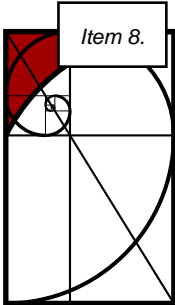


2 ROOF FRAMING PLAN  
A/7 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)



1 TRUSS PROFILES  
A/7 SCALE: 3/16" = 1'-0" (AT ORIG. SHEET SIZE)

NOTE:  
ALL TRUSS DESIGN, WEBBING  
CONFIGURATION, REINFORCING,  
BRACING, ETC. BY TRUSS SUPPLIER



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CONCEPT DESIGN  
NOT FOR CONSTRUCTION  
SHEET TITLE: FRAMING PLAN  
DRAWN BY: JC  
ORIGINAL SHEET SIZE: 11"X17"

PROJ#: 25.001  
DATE: 07/22/25

ZION E.C.C. - MISSION HOUSE GARAGE REPLACEMENT

1132 NORTH 5TH STREET  
SHEBOYGAN, WI 53081



## CITY OF SHEBOYGAN

## REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

---

**ITEM DESCRIPTION:** Application for Conditional Use with exceptions by Geoff Lefeber to operate Hit Machine Baseball located at 1137 Illinois Avenue. UI Zone.

---

**REPORT PREPARED BY:** Ellise Rose, Zoning Administrator

---

**REPORT DATE:** September 18, 2025

**MEETING DATE:** September 23, 2025

---

**FISCAL SUMMARY:****STATUTORY REFERENCE:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

---

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

---

**BACKGROUND / ANALYSIS:**

Geoff Lefeber is proposing to operate Hit Machine Baseball located at 1137 Illinois Avenue. The applicant states the following:

- The building was previously used by Sheboygan Paper Box Company. We propose to repurpose the building as an indoor baseball and softball pitching and hitting facility, to be operated as Hit Machine Baseball & Softball.
- The facility will be dedicated to training boys and girls ages 7-18 in baseball and softball, with a focus on pitching and hitting.
- Maximum capacity up to 30 kids at a time, distributed throughout the week to balance usage. Individual member use is allowed for hitting or pitching at different times.
- The facility is 100 feet wide by 148 feet long.
- Features:
  - 4 artificial turf batting cages
  - 1 restroom
- Parking available in front of the facility and on Illinois Avenue. Estimated cars: No more than 18-25 at a time, with a maximum of 45 adults and children in the facility at once.
- No dumpster needed; trash will be managed internally.
- Hit Machine logos (see below) will be used on a flag and sign no greater than 5' x 5' on the front of the building.
- Business hours will be Monday-Sunday, 7:00 AM-10:00 PM.
- Noise will be minimal; all activities are indoors.
- Facility will not negatively impact the neighborhood or traffic.
- No landscaping or exterior changes planned at this time.
- Installation cost: \$35,000-\$50,000 for turf, cages, and equipment.
- Expected opening: October 2025.

- This facility will offer a much-needed environment for young baseball and softball play in northern Sheboygan to practice, develop skills, and receive one-on-one instruction. The project will be a positive addition to the community.

### **STAFF COMMENTS:**

No formal sign package has been submitted. Applicant shall work with staff with regards to constructing a well-designed sign package for the site. Staff may bring the proposed signage design back to the Plan Commission if there are any concerns.

### **ACTION REQUESTED:**


Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, food, alcohol, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
6. If there are to be any renovation to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such renovation.
7. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

### **ATTACHMENTS:**

Conditional Use Permit Application and Attachments



	<b>CITY OF SHEBOYGAN</b>	Fee: <u>\$250.00</u>
	<b>APPLICATION FOR CONDITIONAL USE</b>	Review Date: _____
		Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

<b>SECTION 1: Applicant/ Permittee Information</b>			
Applicant Name (Ind., Org. or Entity) Hit Machine Baseball, LLC.		Authorized Representative Geoff Lefebber	
Title Owner			
Mailing Address W1830 Windmor Drive		City Sheboygan	State WI
ZIP Code 53083			
Email Address glefeber44@gmail.com		Phone Number (incl. area code) 920-331-7756	
<b>SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)</b>			
Applicant Name (Ind., Org. or Entity) Sheboygan Paper Box Company		Contact Person Scott Monnot	
Title VP & General Manager			
Mailing Address 716 Clara Ave,		City Sheboygan	State WI
ZIP Code 53082			
Email Address smonnot@spbox.com		Phone Number (incl. area code) 920-980-8317	
<b>SECTION 3: Project or Site Location</b>			
Project Address/Description 1137 Illinois Avenue			Parcel No.
<b>SECTION 4: Proposed Conditional Use</b>			
Name of Proposed/Existing Business:			
Existing Zoning:			
Present Use of Parcel:			
Proposed Use of Parcel:			
Present Use of Adjacent Properties:			
<b>SECTION 5: Certification and Permission</b>			
<p><b>Certification:</b> I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p><b>Permission:</b> I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) <del>Geoff Lefebber</del> <i>Scott Monnot</i>		Title Owner	Phone Number 920-331-7756
Signature of Applicant <i>Scott L. Monnot</i>		Date Signed 8/29/25	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.



Geoff Lefeber  
Hit Machine LLC  
W1830 Windmor Drive  
Sheboygan, WI 53083  
Email: glefeber44@gmail.com  
Phone: 920-331-7756

August 29<sup>th</sup>, 2025

Sheboygan Department of City Development  
828 Center Avenue, Suite 104  
Sheboygan, WI 53081

**Subject: Plan of Operations and Occupancy – 1137 Illinois Avenue**

Dear City Development Staff,

I am writing to submit the Plan of Operations and Occupancy for 1137 Illinois Avenue Sheboygan, WI 53081. The building was previously used by Sheboygan Paper Box Company. We propose to repurpose the building as an indoor baseball and softball pitching and hitting facility, to be operated as **Hit Machine Baseball & Softball**.

**1. Proposed Use**

The facility will be dedicated to training boys and girls ages 7–18 in baseball and softball, with a focus on pitching and hitting.

- Maximum capacity: Up to 30 kids at a time, distributed throughout the week to balance usage.
- Individual member use is allowed for hitting or pitching at different times.

**2. Facility Description**

- Dimensions: 100 feet wide by 148 feet long
- Features:
  - 4 artificial turf batting cages
  - 1 restroom

Please see the attached facility interior photos.

**3. Parking and Traffic**

- Parking available in front of the facility and on Illinois Avenue
- Estimated cars: No more than 18-25 at a time, with a maximum of 45 adults and children in the facility at once
- No dumpster needed; trash will be managed internally

**4. Signage and Branding**

- Signage: Hit Machine logos (see below) will be used on a sign no greater than 5' x 5' on the front of the building



**5. Operations and Noise**

- Business hours: Monday–Sunday, 7:00 AM – 10:00 PM
- Noise: Minimal; all activities are indoors
- Facility will not negatively impact the neighborhood or traffic
- No landscaping or exterior changes planned at this time

**6. Installation & Timeline**

- Installation cost: \$35,000-50,000 for turf, cages, and equipment
- Expected opening: October 2025

**7. Community Impact**

This facility will offer a much-needed environment for young baseball and softball players in northern Sheboygan to practice, develop skills, and receive one-on-one instruction. The project will be a positive addition to the community.

Please find attached the facility interior photos and our branding logos for your reference.

Should you have any questions, require further information, or wish to schedule a site visit, please let me know.

Thank you for your consideration.

Sincerely,

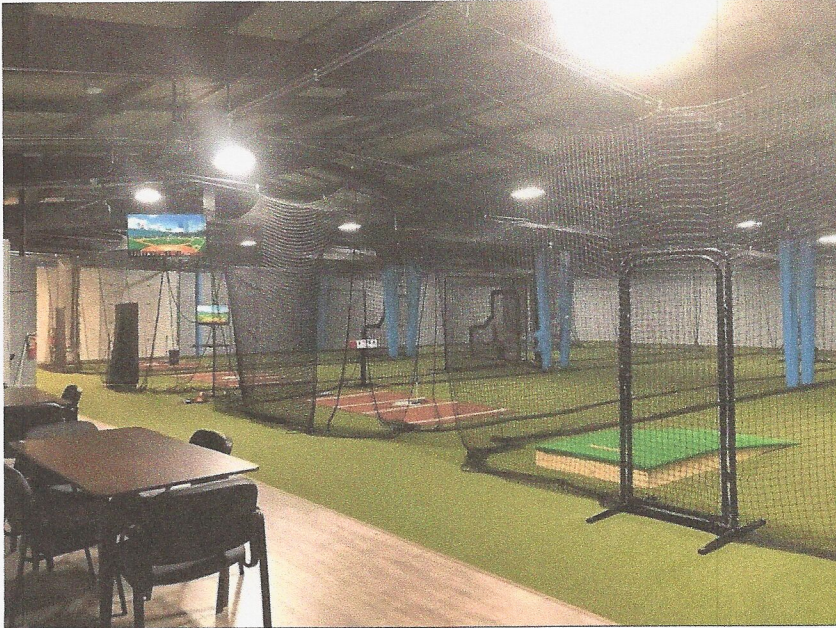


Geoff Lefeber  
Hit Machine LLC  
Email: [glefeber44@gmail.com](mailto:glefeber44@gmail.com)  
Phone: 920-331-7756



## Facility Interior Photos

### General Facility Interior



### Pitching Machine/Batting Cage

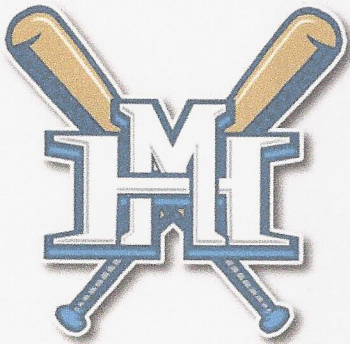


### Pitching Mounds Area





Hit Machine Logos



## CITY OF SHEBOYGAN

### REQUEST FOR ARCHITECTURAL REVIEW CONSIDERATION

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**ITEM DESCRIPTION:** Gen. Ord. No. 16-25-26 by Alderpersons Menzer and Close annexing territory to the City of Sheboygan, Wisconsin (Parcel No. 59024341782).

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**REPORT PREPARED BY:** Ellise Rose, Zoning Administrator

---

**REPORT DATE:** September 18, 2025

**MEETING DATE:** September 23, 2025

---

**FISCAL SUMMARY:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

---

**STATUTORY REFERENCE:**

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

---

**BACKGROUND / ANALYSIS:**

Eastern Pines, LLC is petitioning to annex 7.836 acres from the Town of Sheboygan to the City of Sheboygan. The annexation petition is being made for a future single-family subdivision.

**STAFF COMMENTS:**

By annexing this parcel, the development will be able to receive access and connection to City of Sheboygan public sewer and water.

**ACTION REQUESTED:**

Motion to recommend the Common Council approve the petition for Direct Annexation by Unanimous Approval from Eastern Pines, LLC.

**ATTACHMENTS:**

G.O. 16-25-26

**CITY OF SHEBOYGAN  
GENERAL ORDINANCE 16-25-26**

**BY ALDERPERSONS MENZER AND CLOSE.**

**SEPTEMBER 15, 2025.**

AN ORDINANCE annexing territory to the City of Sheboygan, Wisconsin.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. In accordance with sec. 66.0217 of the Wisconsin Statutes and the petition for direct annexation by unanimous approval filed with the city clerk on the 12th day of August, 2025, signed by the owners of all the real property in the territory, together with a scale map and a legal description of the property to be annexed, the following described territory in the Town of Sheboygan, Sheboygan County, Wisconsin, is hereby annexed to the City of Sheboygan, Wisconsin:

Part of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of Section 4, T15N, R23E, Town of Sheboygan and City of Sheboygan, Sheboygan County, Wisconsin, bounded and described as follows: Commencing at the Southeast Corner of said Section 4; thence N00°45'40"W 660.06 feet along the East line of the Southeast  $\frac{1}{4}$  of said Section 4; thence S88°49'06"W 245.43 feet along the South line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence S88°49'06"W 553.18 feet along the North right-of-way line of Rolling Meadows Drive and the South line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4 to the POINT OF BEGINNING of this description; thence S88°49'06"W 517.26 feet thence; N00°50'42"W 659.85 feet along the West line of the Southeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence N88°48'34"E 517.26 feet along the North line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence S00°50'42"E 659.93 feet to the Point of Beginning.

The parcel contains 341,326 square feet or 7.836 acres. (Parcel No. 59024341782)

Section 2. From and after the date of this ordinance, the territory described in Section 1 shall be a part of the City of Sheboygan for any and all purposes provided by law and all persons coming or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Sheboygan.

Section 3. In accordance with sec. 66.0217(14) of the Wisconsin Statutes, the City of Sheboygan agrees to pay annually to the Town of Sheboygan, for five (5) years, an amount equal to the amount of property taxes that the Town levied on the annexed territory, as shown by the tax roll under sec. 70.65 of the Wisconsin Statutes, in the year in which the annexation is final.

Section 4. If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

Section 5. Chapter 105 of the Sheboygan Municipal Code establishing zoning districts and prescribing zoning standards and regulations is hereby amended by changing the Official Zoning Map thereof and establishing the Use District Classification of said lands as Suburban Residential 3 (SR-3) Classification.

Section 6. The territory described in Section 1 of this ordinance is hereby made a part of the 2nd Ward and the 1st Aldermanic District.

Section 7. This ordinance shall take effect upon passage and publication as provided by law.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

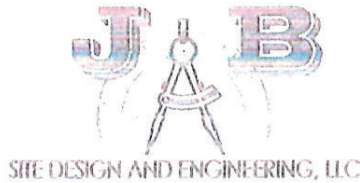
Presiding Officer

Attest

\_\_\_\_\_  
Ryan Sorenson, Mayor, City of  
Sheboygan

\_\_\_\_\_  
Meredith DeBruin, City Clerk, City of  
Sheboygan





July 20, 2025

Mayor Ryan Sorenson  
City of Sheboygan, City Hall  
828 Center Avenue, Suite 300  
Sheboygan, WI 53081

**RE:** Direct Annexation Request  
Outlot 2 (7.836 acres)  
Rolling Meadows Drive  
Sheboygan, WI 53081

**PETITIONOR/SOLE LANDOWNER:**

Joshua L. Posthuma  
**Eastern Pines LLC**  
25 East Union Avenue  
Cedar Grove WI 53013  
josh@posthumahomes.com

On behalf and in conjunction with Eastern Pines, LLC, pursuant to **Wisconsin Stat 66.0217 (2) Direct Annexation by Unanimous Approval** consider the ANNEXATION of 7.836-acre parcel, within a portion of tax parcel 59024341780 from the Town of Sheboygan into the City of Sheboygan. The annexation petition is being made for a future single family subdivision.

**POPULATION**

For purposes of annexation, the current tax parcel 59024341780 is agricultural lands and has no individuals eligible to vote (electors) within the parcel.

**CERTIFIED SURVEY MAP**

As defined within the recorded Certified Survey Map generated by Cedar Creek Surveying, Outlot #2 is contiguous with City of Sheboygan Rolling Meadows Drive Right of Way to the south and tax parcel 59281636510 defined as Outlot #3 within the City of Sheboygan. The Rolling Meadow Drive Right of Way will allow for direct access and connection to City of Sheboygan public sewer and water.

We've included a copy of the recorded Certified Survey Map.

If any additional information is required, please feel free to contact our office to discuss or contact Joshua Posthuma (landowner).

Sincerely,

Joseph Bronoski  
Applicant/Agent

Joshua L. Posthuma, Eastern Pines, LLC  
Landowner



DocId:8774825  
Tx:4591823

Item 10.

2178447  
SHEBOYGAN COUNTY, WI  
RECORDED ON  
05/21/2025 12:48 PM  
ELLEN R. SCHLEICHER  
REGISTER OF DEEDS  
RECORDING FEE: 30.00  
TRANSFER FEE:  
EXEMPTION #  
Cashier ID: 4  
PAGES: 4

VOL 32 PAGE 86

CERTIFIED SURVEY MAP

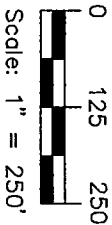
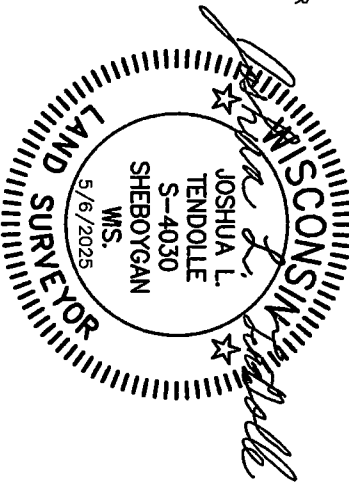
PART OF THE N. 1/2, S. 1/2 OF THE SE 1/4, SECTION 4,  
T15N, R23E, TOWN OF SHEBOYGAN AND CITY OF SHEBOYGAN,  
SHEBOYGAN COUNTY, WISCONSIN.

NOTES:

OWNER AND SUBDIVIDER 1: CHESTER A. BAHR & LUANN BAHR  
OWNER AND SUBDIVIDER 2: DALE A. BAHR & VICKY BAHR  
BEARINGS ARE BASED ON THE EAST LINE OF  
THE SE 1/4 OF SECTION 4, T15N, R23E, AS  
BEING NO.4540"W PER THE SHEBOYGAN  
COUNTY COORDINATE SYSTEM.

As no soil tests have been completed on the  
following lots, they are deemed as outlots. Outlots  
1, 2, 3 & 4 are considered unbuildable by the  
Sheboygan County Planning and Conservation  
Department. If soil tests are received which depict  
areas suitable for a private onsite wastewater  
treatments system then the outlots will be  
reclassified as lots and considered to be buildable.

This instrument was drafted by Joshua L. Tendolle.



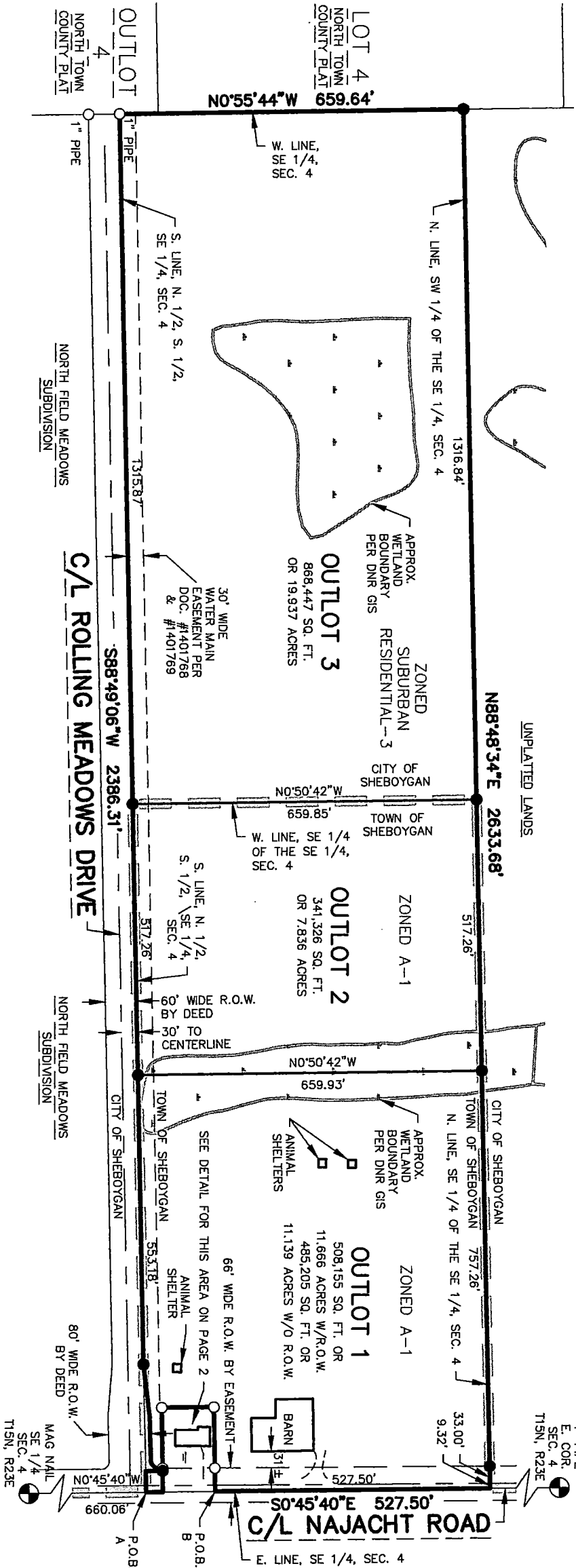
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www.cedarcreeksurveying.com

100 South 10th Street  
Oostburg, WI 53070  
920-647-0599

FILE No.: 2025027s DATE: 5/6/2025 PAGE: 1 OF 4

**LEGEND**

- = Set 3/4"x18" Rebar min. 1.13 lbs. per foot
- = Found Iron Pipe
- ⊙ = Section Corner Monument
- (XXX) = Recorded Dimension
- = Municipal Boundary





CERTIFIED SURVEY MAP

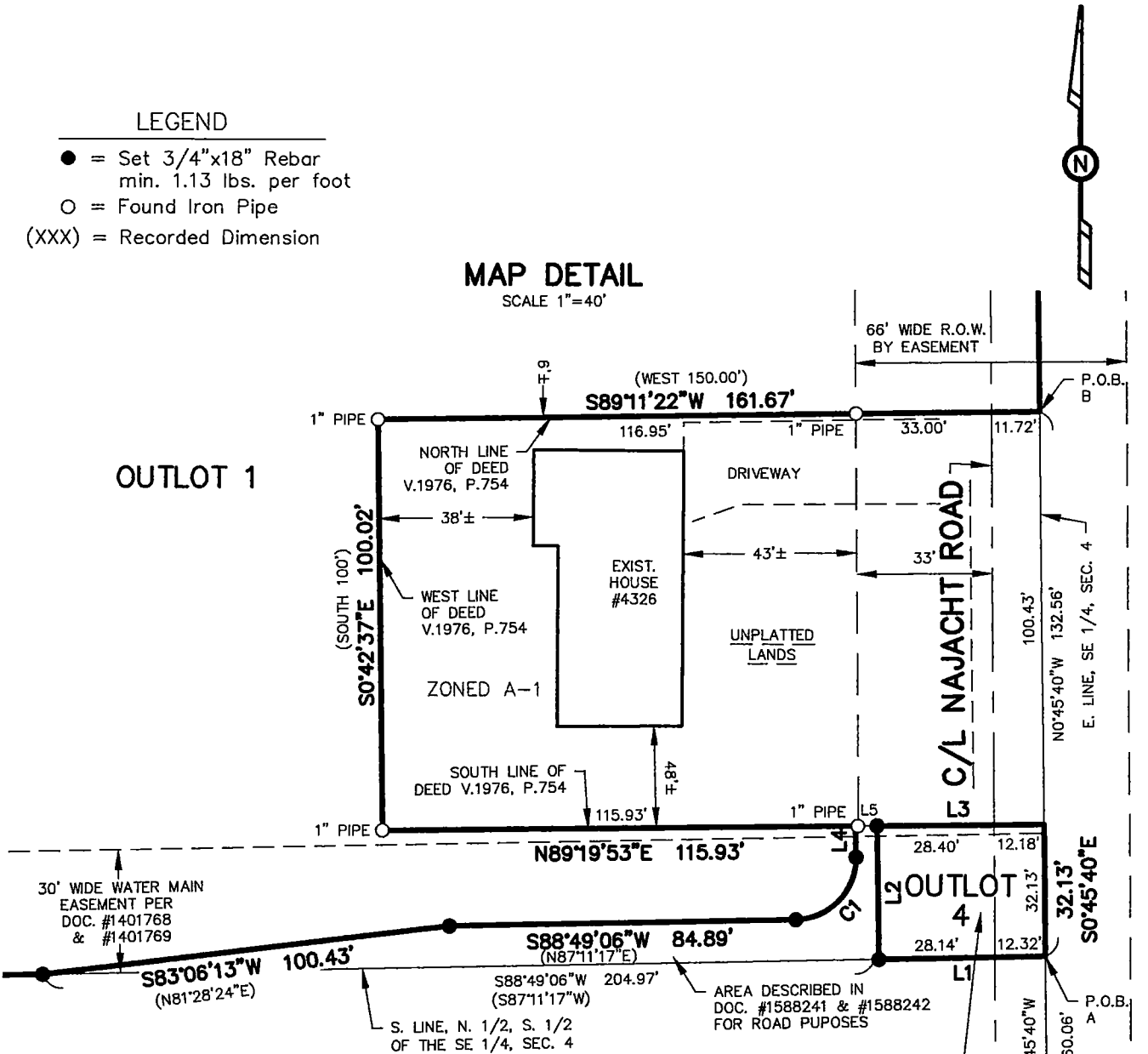
PART OF THE N. 1/2, S. 1/2 OF THE SE 1/4, SECTION 4, T15N, R23E, TOWN OF SHEBOYGAN AND CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

LEGEND

- = Set 3/4"x18" Rebar min. 1.13 lbs. per foot
- = Found Iron Pipe
- (XXX) = Recorded Dimension

MAP DETAIL

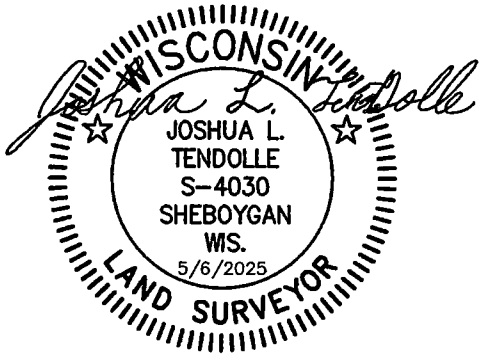
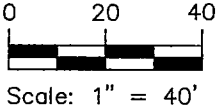
SCALE 1"=40'



Line Table		
Line #	Direction	Length
L1	S88°49'06"W (S87°11'17"W)	40.47'
L2	N0°57'48"W (S02°35'37"E) (33.79')	32.50'
L3	N89°19'53"E (EAST)	40.58'
L4	S0°57'48"E (N02°35'37"W) (8.83')	7.60'
L5	N89°19'53"W (N88°59'09"E)	5.25'

Curve Table					
Curve #	Delta	Arc	Radius	Bearing	Distance
C1	89°46'54"	23.50'	15.00'	S43°55'39"W (N42°17'50"E)	21.17'

OUTLOT 4  
1,310 SQ. FT.  
OR 0.030 ACRES  
ALL OF OUTLOT 4 LIES  
WITHIN THE ROAD  
RIGHT-OF-WAY FOR  
NAJACHT ROAD.



100 South 10th Street  
Oostburg, WI 53070  
920-547-0599

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FILE No.: 2025027S DATE: 5/6/2025 PAGE: 20

This instrument was drafted by Joshua L. TenDolle.

CERTIFIED SURVEY MAP

PART OF THE N. 1/2, S. 1/2 OF THE SE 1/4, SECTION 4, T15N, R23E, TOWN OF SHEBOYGAN AND CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Joshua L. TenDolle, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a part of the North 1/2 of the South 1/2 of the Southeast 1/4 of Section 4, T15N, R23E, Town of Sheboygan and City of Sheboygan, Sheboygan County, Wisconsin, bounded and described as follows:

Part of the North 1/2 of the South 1/2 of the Southeast 1/4 of Section 4, T15N, R23E, Town of Sheboygan and City of Sheboygan, Sheboygan County, Wisconsin, bounded and described as follows:

Commencing at the Southeast Corner of said Section 4; thence N00°45'40"W 660.06 feet along the East line of the Southeast 1/4 of said Section 4 to the POINT OF BEGINNING of this description; thence S88°49'06"W 40.47 feet along the South line of the North 1/2 of the South 1/2 of the Southeast 1/4 of said Section 4; thence N00°57'48"W 32.50 feet along the West right-of-way line of Najacht Road as described in deed #1588241; thence N89°19'53"E 40.58 feet to the East line of the Southeast 1/4 of said Section 4; thence S00°45'40"E 32.13 feet along said East line to the Point of Beginning.

This parcel contains 1,310 square feet or 0.030 acres and lies entirely within the Right-of-Way for Najacht Road.

AND:

Part of the North 1/2 of the South 1/2 of the Southeast 1/4 of Section 4, T15N, R23E, Town of Sheboygan and City of Sheboygan, Sheboygan County, Wisconsin, bounded and described as follows:

Commencing at the Southeast Corner of said Section 4; thence N00°45'40"W 792.62 feet along the East line of the Southeast 1/4 of said Section 4 to the POINT OF BEGINNING of this description; thence S89°11'22"W 161.67 feet along the North line of the parcel described in Deed V.1976, P.754; thence S00°42'37"E 100.02 feet along the West line of said parcel; thence N89°19'53"E 115.93 feet along the South line of said parcel; thence S00°57'48"E 7.60 feet along the West line of the road right-of-way for Rolling Meadows Drive as described in Deed #1588241; thence Southwesterly 23.50 feet along said right-of-way on a 15.00 foot radius curve to the right, the chord of which bears S43°55'39"W 21.17 feet; thence S88°49'06"W 84.89 feet along the North line of said right-of-way; thence S83°06'13"W 100.43 feet along said North right-of-way line; thence S88°49'06"W 2386.31 feet along said North right-of-way line for Rolling Meadows Drive and the South line of the North 1/2 of the South 1/2 of the Southeast 1/4 of said Section 4; thence N00°55'44"W 659.64 feet along the West line of the Southeast 1/4 of said Section 4; thence N88°48'34"E 2633.68 feet along the North line of the Southeast 1/4 of said Section 4; thence S00°45'40"E 527.50 feet along the East line of the Southeast 1/4 of said Section 4 to the Point of Beginning.

This parcel contains 1,717,928 square feet or 39.438 acres and is subject to highway right-of-way for Najacht Road over the Easterly portion as depicted on this map.

That such map is a correct representation of the exterior boundaries of the land surveyed and the division thereof.

That I have fully complied with provisions of Section 236.34 of the Wisconsin Statutes and the subdivision regulation of the Town of Sheboygan and the City of Sheboygan in surveying, dividing and mapping the same.

Joshua L. TenDolle Dated this 6th day of May, 2025  
Joshua L. TenDolle PLS S-4030



This instrument was drafted by Joshua L. TenDolle.



100 South 10th Street  
Oostburg, WI 53070  
920-547-0599

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FILE No.: 2025027S DATE: 5/6/2025 PAGE: 30

VOL 32 PAGE 88

CERTIFIED SURVEY MAP

PART OF THE N. 1/2, S. 1/2 OF THE SE 1/4, SECTION 4, T15N, R23E, TOWN OF SHEBOYGAN AND CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

OWNERS CERTIFICATES

As owners, we hereby certify that we have caused the lands described herein to be surveyed, divided, and mapped as represented on this map. We also certify that this map is required to be submitted to the Town of Sheboygan, City of Sheboygan and the Sheboygan County Planning Department for approval.

Chester A Bahr Dated 5/16/25, 2025  
Chester A. Bahr

Luanin Bahr Dated 5/16/2025, 2025  
Luanin Bahr

Dale A. Bahr Dated 5-16-25, 2025  
Dale A. Bahr

Vicky Bahr P.O.A. Dated 5-16-25, 2025  
Vicky Bahr

CITY PLANNING COMMISSION APPROVAL CERTIFICATE

Resolved that the Certified Survey Map in the City of Sheboygan is hereby approved by the Planning Commission of the City of Sheboygan.  
on this 21<sup>st</sup> day of May, 2025.

Elise Rose  
Planner

TOWN OF SHEBOYGAN APPROVAL CERTIFICATE

Resolved that the Certified Survey Map in the Town of Sheboygan is hereby approved by the town board of the Town of Sheboygan.  
on this 20 day of MAY, 2025.

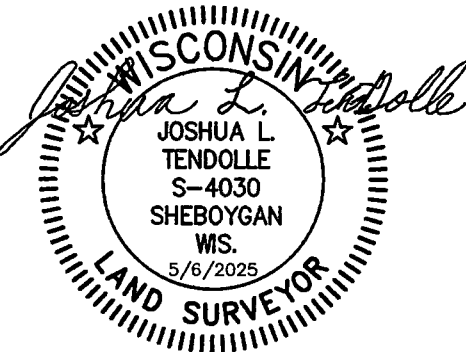
Quinn Allen  
Town Chairman

J. P. Schen  
Town Clerk

COUNTY OF SHEBOYGAN PLANNING DEPARTMENT CERTIFICATE

Resolved that the Certified Survey Map in the Town of Sheboygan and City of Sheboygan is hereby approved by the Sheboygan County Planning Department.  
on this 21 day of May, 2025.

Tyler D. Strick  
Planner Deputy Director



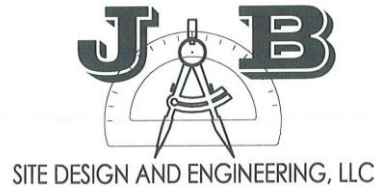
This instrument was drafted by Joshua L. TenDolle.



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FILE No.: 2025027S DATE: 5/6/2025 PAGE: 4



July 20, 2025

## **Annexation Description**

### **Outlot #2**

### **Town of Sheboygan**

### **West portion of Tax Parcel 59024341780**

Part of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of Section 4, T15N, R23E, Town of Sheboygan and City of Sheboygan, Sheboygan County, Wisconsin, bounded and described as follows: Commencing at the Southeast Corner of said Section 4; thence N00°45'40"W 660.06 feet along the East line of the Southeast  $\frac{1}{4}$  of said Section 4; thence S88°49'06"W 245.43 feet along the South line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence S88°49'06"W 553.18 feet along the North right-of-way line of Rolling Meadows Drive and the South line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4 to the POINT OF BEGINNING of this description; thence S88°49'06"W 517.26 feet thence; N00°50'42"W 659.85 feet along the West line of the Southeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence N88°48'34"E 517.26 feet along the North line of the North  $\frac{1}{2}$  of the South  $\frac{1}{2}$  of the Southeast  $\frac{1}{4}$  of said Section 4; thence S00°50'42"E 659.93 feet to the Point of Beginning.

The Town of Sheboygan parcel contains 341,326 square feet or 7.836 acres.



TONY EVERS

GOVERNOR

KATHY BLUMENFELD

SECRETARY

**Municipal Boundary Review**

PO Box 1645, Madison WI 53701

Voice (608) 264-6102 Fax (608) 264-6104

Email: [wimunicipalboundaryreview@wi.gov](mailto:wimunicipalboundaryreview@wi.gov)Web: <http://doa.wi.gov/municipalboundaryreview>

September 8, 2025

PETITION FILE NO. 14791

MEREDITH DEBRUIN, CLERK  
CITY OF SHEBOYGAN  
828 CENTER AVENUE  
SHEBOYGAN, WI 53081-4442

PEGGY FISCHER, CLERK  
TOWN OF SHEBOYGAN  
4020 TECHNOLOGY PARKWAY  
SHEBOYGAN, WI 53083-6001

Subject: EASTERN PINES LLC ANNEXATION

The proposed annexation submitted to our office on August 18, 2025, has been reviewed and found to be in the public interest. In determining whether an annexation is in the public interest, s. 66.0217 (6), Wis. Stats. requires the Department to examine "[t]he shape of the proposed annexation and the homogeneity of the territory with the annexing village or city..." so as, to ensure the resulting boundaries are rational and compact. The statute also requires the Department to consider whether the annexing city or village can provide needed municipal services to the territory. The subject petition is for territory that is reasonably shaped and contiguous to the City of Sheboygan, which is able to provide needed municipal services.

The Department reminds clerks of annexing municipalities of the requirements of s. 66.0217 (9)(a), Wis. Stats., which states:

"The clerk of a city or village which has annexed shall file immediately with the secretary of administration a certified copy of the ordinance, certificate and plat, and shall send one copy to each company that provides any utility service in the area that is annexed. The clerk shall record the ordinance with the register of deeds and file a signed copy of the ordinance with the clerk of any affected school district..."

State and federal aids based on population and equalized value may be significantly affected through failure to file with the Department of Administration. Please file a copy of your annexing ordinance, including a statement certifying the population of the annexed territory. **Please include your MBR number 14791 with your ordinance.** Ordinance filing checklist available at <http://mds.wi.gov/>, click on "Help on How to Submit Municipal Records". Email scanned copy of required materials (color scan maps with color) to [mds@wi.gov](mailto:mds@wi.gov) or mail to: Wisconsin Department of Administration, Municipal Boundary Review, PO Box 1645, Madison WI 53701-1645.

The petition file is available for viewing at: <http://mds.wi.gov/View/Petition?ID=2865>  
Please call me at (608) 264-6102, should you have any questions concerning this annexation review.

Sincerely,

Erich Schmidtke, Municipal Boundary Review

cc: petitioner

**CITY OF SHEBOYGAN  
GENERAL ORDINANCE 17-25-26**

**BY ALDERPERSON CLOSE.**

**SEPTEMBER 23, 2025.**

AN ORDINANCE granting Quasius Construction Co., its successors and assigns, the privilege of encroaching upon described portions of Niagara Avenue and North 8<sup>th</sup> Street right of way in the City of Sheboygan for the purpose of expanding of the Weill Center for Performing Arts building.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. This Ordinance enlarges the encroachment area and replaces Gen. Ord. No. 4-25-26 adopted on June 2, 2025 by the City of Sheboygan Common Council and recorded in the Sheboygan County Register of Deeds Office on June 13, 2025 as Document No. 2179570.

Section 2. Subject to the terms and conditions contained herein, Quasius Construction Co., its successors and assigns, is hereby granted the privilege of encroaching upon Niagara Avenue and North 8<sup>th</sup> Street right of way as follows:

Part of Niagara Avenue and North 8th Street right-of-way as platted in the Original Plat of Sheboygan, City of Sheboygan, Sheboygan County, Wisconsin, described as:

Commencing at the Northwest corner of Lot 6, Block 127 of the Original Plat of Sheboygan; thence S89°35'21"E 157.96 feet along the North line of said Block 127 and the South right-of-way line of Niagara Avenue to the POINT OF BEGINNING of this description; thence N0°24'39"E 29.00 feet; thence S89°35'21"E 75.00 feet; thence N0°24'39"E 35.00 feet; thence S89°35'21"E 149.01 feet; thence S0°19'53"W 103.97 feet; thence N89°40'07"W 21.00 feet; thence N0°19'53"E 40.00 feet along the East line of said Block 127 and the West right-of-way line of North 8th Street to the Northeast corner of Lot 1 of said Block 127; thence N89°35'21"W 203.10 feet along the North line of said Block 127 and the South right-of-way line of Niagara Avenue to the point of beginning.

The described area contains 12,554 square feet, or 0.288 acres.

for the purpose of expanding the Weill Center for Performing Arts building.



Section 3. The privilege as granted above is granted only on the condition that by the acceptance of the privilege, the said Quasius Construction Co., its successors and assigns:

a. Shall become primarily responsible and liable for all and any damage to persons or property caused by and arising from the grant and exercise of such privilege.

b. Shall remove the encroachment allowed herein within ten (10) days after notice so to remove given by the State of Wisconsin or the City of Sheboygan; in the event of the failure so to remove, the said Quasius Construction Co., its successors and assigns: shall pay the costs of removal by the State of Wisconsin or the City of Sheboygan, waiving all claim or claims for damages resulting from such removal, whether the removal is done by the said Quasius Construction Co., its successors and assigns, or by the State of Wisconsin or by the City of Sheboygan.

c. Shall pay such compensation to the City of Sheboygan for the grant of this privilege as may be determined by a board consisting of the Mayor, the Director of Public Works and the City Attorney; the compensation shall be paid into the General Fund.

d. Shall make such construction and/or alterations and maintain the same subject to the approval of the City Building Inspector and Director of Public Works, and shall waive the right to contest in any manner the validity of this ordinance or the amount of compensation charged.

Section 4. The provisions of § 66.045(1)(2) of the Wisconsin Statutes are incorporated herein by reference to all intents and purposes as if set out fully.

Section 5. The City Clerk is authorized and directed to record a certified copy of this ordinance in the office of the Register of Deeds for Sheboygan County, Wisconsin, the costs thereof to be charged to the General Fund.

Section 6. This ordinance shall take effect and be in full force from and after its passage and publication and upon payment of the consideration to be determined hereunder, provided, however, that in the event of failure to exercise the privilege herein granted and the payment of such consideration within six (6) months from the effective date hereof, then and in that event such privilege shall be rendered null and void.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

\_\_\_\_\_  
Presiding Officer

Attest

\_\_\_\_\_  
Ryan Sorenson, Mayor, City of  
Sheboygan

\_\_\_\_\_  
Meredith DeBruin, City Clerk, City of  
Sheboygan

September 11, 2025

City of Sheboygan  
828 Center Avenue  
Sheboygan, WI 53081

RE: Weill Center Encroachment

Dear Mr. Sorenson and Common Council Members

Quasius Construction has partnered with the Weill Center for Performing Arts to develop their new expansion at the corner of 8<sup>th</sup> street & Niagara Avenue. A crucial step was to ensure a site logistics plan to ensure community & site safety. The proposed plan was reviewed for initial comments by members of the city engineering & public transportation teams. Per review with the fire department there will be Knox Locks installed at gates for fire hydrant access at all times.

The challenge of the site lies in the proximity to 8<sup>th</sup> street & Niagara Avenue leaving minimal room for construction operations. Our revised proposed site plan ensures Quasius will have room needed for construction activity & keeps ample separation from construction site to public space. Quasius will also be putting fence banners on job site fencing; those are shown in the site logistics plan. Below is the legal description where we are requesting a temporary encroachment for the 14-month duration of the project. All the proposed encroachments will be temporary for project duration.

**Legal Description of Encroachment Area:**

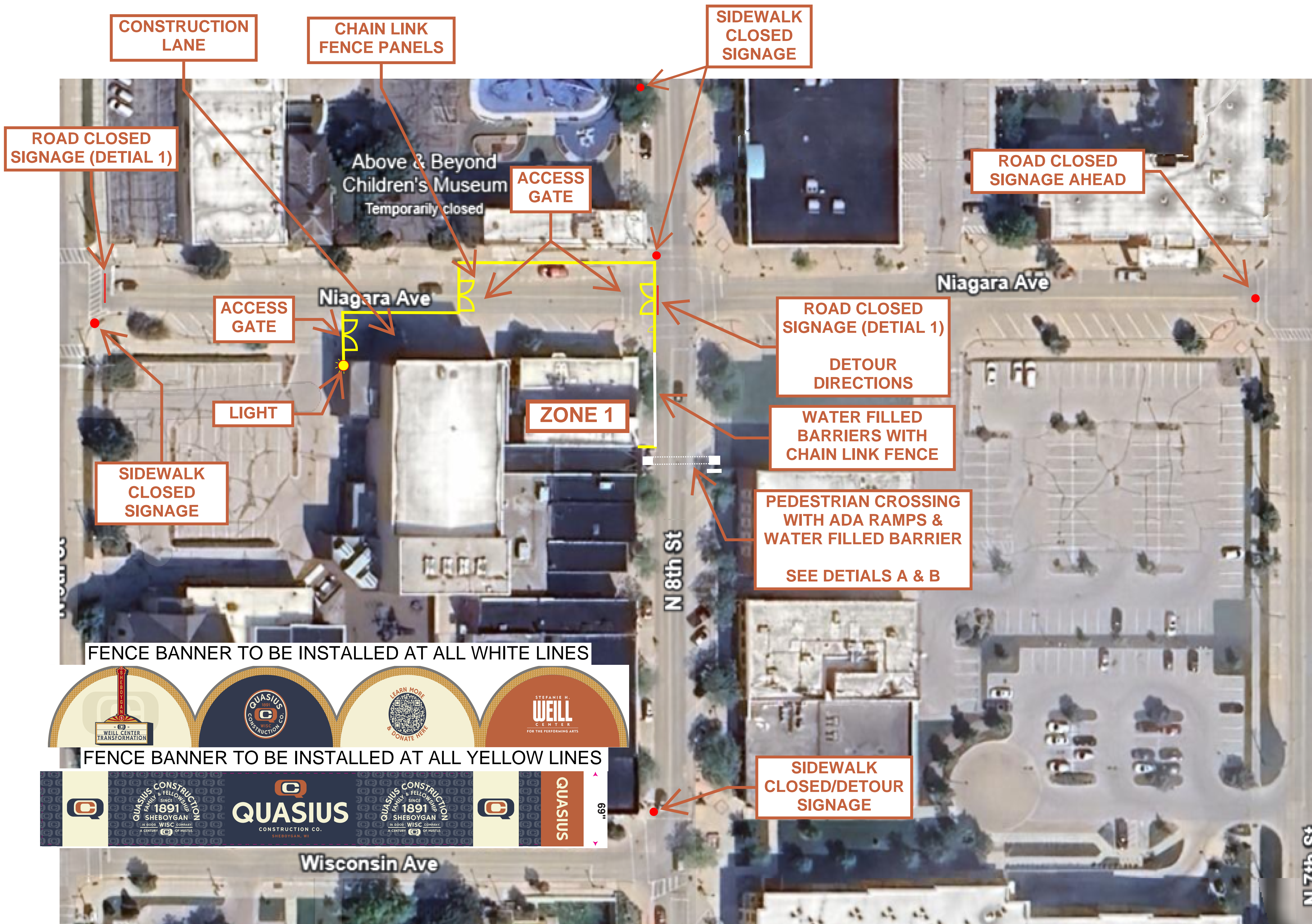
Part of Niagara Avenue and North 8th Street right-of-way as platted in the Original Plat of Sheboygan, City of Sheboygan, Sheboygan County, Wisconsin, described as:

Commencing at the Northwest corner of Lot 6, Block 127 of the Original Plat of Sheboygan; thence S89°35'21"E 157.96 feet along the North line of said Block 127 and the South right-of-way line of Niagara Avenue to the POINT OF BEGINNING of this description; thence N0°24'39"E 29.00 feet; thence S89°35'21"E 75.00 feet; thence N0°24'39"E 35.00 feet; thence S89°35'21"E 149.01 feet; thence S0°19'53"W 103.97 feet; thence N89°40'07"W 21.00 feet; thence N0°19'53"E 40.00 feet along the East line of said Block 127 and the West right-of-way line of North 8th Street to the Northeast corner of Lot 1 of said Block 127; thence N89°35'21"W 203.10 feet along the North line of said Block 127 and the South right-of-way line of Niagara Avenue to the point of beginning.

The described area contains 12,554 square feet, or 0.288 acres.

Quasius Construction is requesting the City of Sheboygan's approval on the aforementioned encroachment area.

The attached site logistics plan, survey & legal description are attached for your review. If there are any questions or concerns, please reach out.

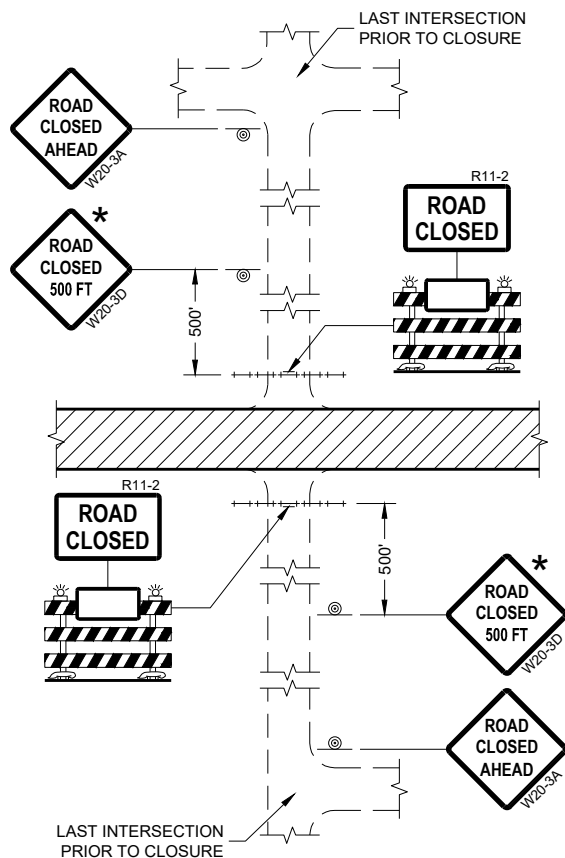




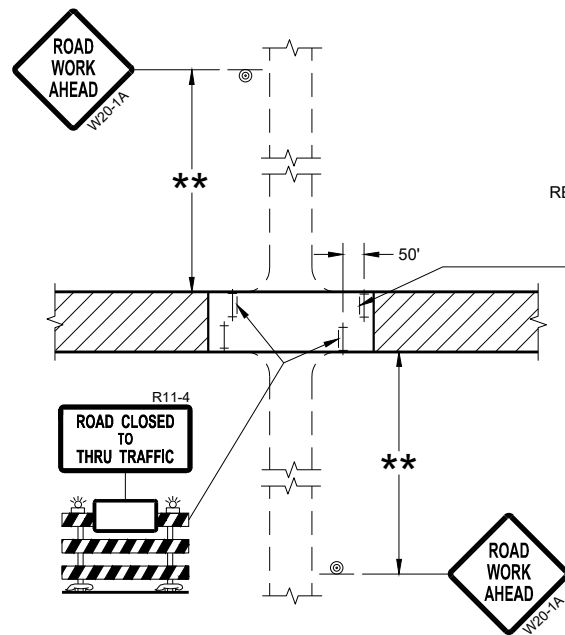
# **DETOUR SIGNAGE**

**DETOUR TO ABOVE & BEYOND  
PARKING**

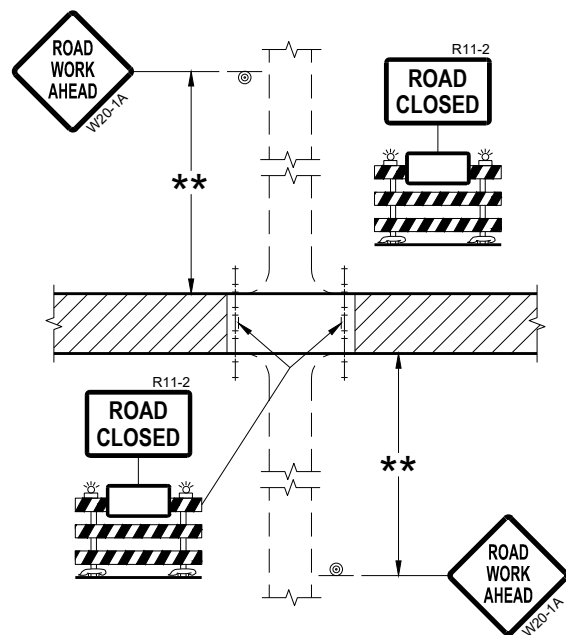
**DRIVE SOUTH TO WISCONSIN  
AVE, TURN WEST ON WISCONSIN  
AVE. DRIVE NORTH ON NINTH  
STREET, TURN EAST ON NIAGARA  
AVE TO ABOVE & BEYOND  
PARKING.**



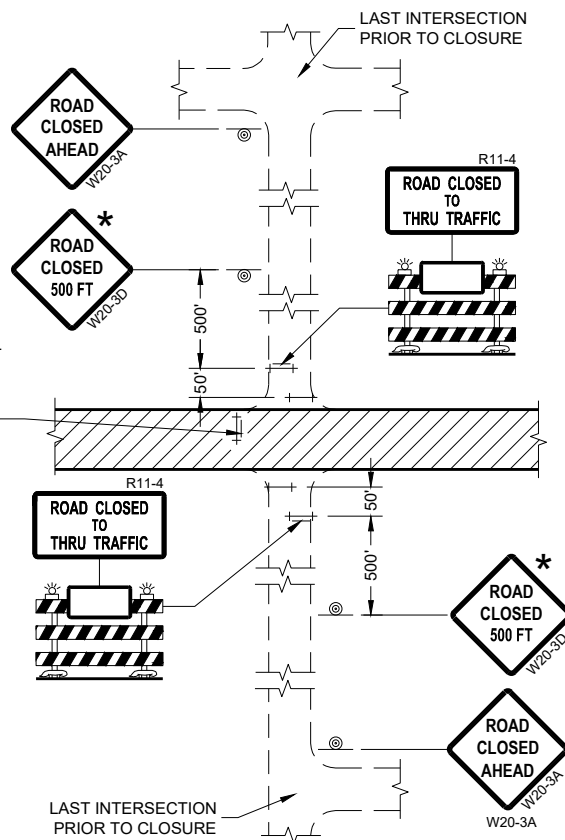
**DETAIL 1**  
(NO ACCESS TO PROJECT)



**DETAIL 3**  
(PUBLIC CROSS-TRAFFIC MAINTAINED.  
CONTRACTOR, LOCAL BUSINESS AND  
RESIDENT ACCESS TO PROJECT)



**DETAIL 2**  
(PUBLIC CROSS-TRAFFIC MAINTAINED.  
NO ACCESS TO PROJECT)



**DETAIL 4**  
(CONTRACTOR, LOCAL BUSINESS AND  
RESIDENT ACCESS TO PROJECT)

## GENERAL NOTES

THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND BARRICADES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND SHOULD PROVIDE A DESIRABLE MINIMUM OF 200 FEET CLEARANCE (500 FEET DESIRABLE) TO EXISTING SIGNS THAT WILL REMAIN IN PLACE.

IF A "STOP" SIGN MUST BE REMOVED FOR A WORK OPERATION, A TEMPORARY "STOP" SIGN SHALL BE PLACED PRIOR TO THE SIGN REMOVAL, OR A FLAGGER SHALL BE PROVIDED UNTIL THE SIGN IS REESTABLISHED.

BARRICADES THAT MUST BE MOVED FOR A WORK OPERATION SHALL BE IMMEDIATELY REESTABLISHED UPON COMPLETION OF THE OPERATION OR FOR CONTINUING OPERATIONS, AT THE END OF EACH WORKING DAY.

SIGNS THAT WILL BE IN PLACE LESS THAN SEVEN CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

ALL TYPE III BARRICADES SHALL HAVE RAILS REFLECTORIZED ON BOTH FACES. STRIPES SHALL BE PROPERLY SLOPED DOWN TOWARD THE TRAFFIC SIDE OR AS SHOWN IN THE ROAD CLOSURE BARRICADE DETAIL "D" FOR FULL ROAD CLOSURES.

TYPE "A" LOW-INTENSITY FLASHING WARNING LIGHTS SHALL BE VISIBLE ON BOTH SIDES OF THE BARRICADE.

THE R11-2, R11-3, AND R11-4 SIGNS PLACED ON BARRICADES SHALL COVER NO MORE THAN THE TOP RAIL. THE SIGNS SHALL NOT COVER ANY PORTION OF THE MIDDLE OR BOTTOM RAILS.

ALL SIGNS SHALL BE 48" X 48" UNLESS OTHERWISE NOTED BELOW:  
R11-2 SHALL BE 48" X 30".  
R11-4 AND R11-3 SHALL BE 60" X 30".

- \* OMIT THE "ROAD CLOSED 500 FT." SIGN IF THE LAST INTERSECTION IS 500 FEET OR LESS FROM THE WORK ZONE.
- \*\* 500' MAX. OR AT LAST INTERSECTION, WHICHEVER IS CLOSEST.

## LEGEND

- SIGN ON PERMANENT SUPPORT
- TYPE III BARRICADE
- TYPE III BARRICADE WITH ATTACHED SIGN
- TYPE "A" WARNING LIGHT (FLASHING)
- WORK AREA

## BARRICADES AND SIGNS FOR SIDEROAD CLOSURES

STATE OF WISCONSIN  
DEPARTMENT OF TRANSPORTATION

APPROVED  
July 2018 /S/ Andrew Heidtke  
DATE WORK ZONE ENGINEER  
FHWA

*Barricades and Signs for Sideroad Closures***References:**

Part 6 of the Manual on Uniform Traffic Control Devices (MUTCD)  
[FDM 11-50-20](#)

**Bid items associated with this drawing:**

<u>ITEM NUMBER</u>	<u>DESCRIPTION</u>	<u>UNIT</u>
643.0420	Traffic Control Barricades Type III .....	DAYS
643.0705	Traffic Control Warning Lights Type A .....	DAYS
643.0900	Traffic Control Signs .....	DAYS

**Standardized Special Provisions associated with this drawing:**

108-057 Wisconsin Lane Closure System Advance Notification

**Other SDDs associated with this drawing:**

[SDD 15C2](#) Barricades and Signs for Mainline Closures, sheets "a" and "b" are required.  
[SDD 15D30](#) Traffic Control, Sidewalk Closure (if sidewalk will be closed)

**Design Notes:**

A traffic control overview sheet is desirable to indicate the following:  
 Sideroads within the project and whether to use Detail 1, 2, 3, or 4 at each sideroad.  
 Whether to use Detail A, B, or C from SDD 15c2 sheet "a" and Detail D or E from SDD 15c2 sheet "b" at each mainline end of the project.  
 Detour route if one is being designated, unless the route is shown on a detour route signing sheet.

**Contact Person:**

Andrew Heidtke (414) 220-6802

# ENCROACHMENT EXHIBIT

FOR: QUASIUS CONSTRUCTION

Part of Niagara Ave and North 8th Street right-of-way as platted in the Original Plat of Sheboygan, City of Sheboygan, Sheboygan County, Wisconsin.

## Legal Description of Encroachment Area:



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## LEGEND

-  = Light Pole
-  = Hydrant

