



CITY PLAN COMMISSION AGENDA

July 09, 2024 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

MINUTES

- [4.](#) Approval of the Plan Commission minutes from June 25, 2024.

SITE PLAN REVIEW

- [5.](#) Application for Site Plan Review by Gerald Peot to operate a natural gas regulation station located at 608 S Commerce Street. UI Urban Industrial Zone.
- [6.](#) Application for Site Plan Review by Heidi Loose to operate an adult family home located at 2735 N 31st Pl.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- [7.](#) Application for Conditional Use Permit with exceptions by Camp Evergreen to construct an addition to the Camp Evergreen facilities located at 2776 N. 31st Pl.
- [8.](#) General Development Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390.
- [9.](#) Specific Implementation Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390.
- [10.](#) Gen. Ord. No. 10-24-25 by Alderperson Belanger amending various sections of the Sheboygan Municipal Code so as to correct various errors identified in the current zoning code (Chapter 105). REFER TO CITY PLAN COMMISSION
11. Comprehensive Plan Update - Where we are at and what to expect at the kick off meeting.

NEXT MEETING

12. July 23, 2024

ADJOURN

13. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
CITY PLAN COMMISSION MINUTES
Tuesday, June 25, 2024

MEMBERS PRESENT: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

EXCUSED: Marilyn Montemayor

STAFF/OFFICIALS PRESENT: Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

OPENING OF MEETING

1. Roll Call

Mayor Ryan Sorenson called the meeting to order at 4pm.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Identify potential conflict of interest

No committee member had a conflict.

MINUTES

4. Approval of the Plan Commission minutes from May 28, 2024.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON MAY 28, 2024.

Motion made by Braden Schmidt, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

SITE PLAN REVIEW

5. Application for Special Use Permit by Ben Jossund to operate Cornerstone Baptist Church located at 2103 Indiana Avenue.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
3. Outdoor storage of materials or equipment shall be prohibited.

4. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
 5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
 6. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such remodel/renovation.
 7. If there are any amendments to the approved special use permit and/or site plan, the applicant will be required to submit a new application reflecting those amendments.
6. Application for Special Use Permit with exceptions by Michael Thomas to operate Midwest Boxing Champions located at 1503 S 12th Street.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, alcohol, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Dumpsters shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen the dumpster. Dumpsters shall be screened and enclosed prior to issuance of an occupancy permit.
3. Outdoor storage of materials, products or equipment shall be prohibited.
4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
6. If there are to be any renovation to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such renovation.
7. If there are any amendments to the approved use and/or floor/site plan, the applicant will be required to submit a new application reflecting those amendments.

PUBLIC HEARING AND ACTION ITEMS

7. Application for Conditional Use Permit with exceptions by Partners for Community Development for a fence located at 1024 Weeden Creek Road. UR-12 Urban Residential 12 Zone.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

1. The applicant shall obtain the necessary building permit for the proposed fence.

2. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet required codes including but not limited to building, plumbing, electrical, HVAC, demolition, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin, Federal, etc. (Applicant shall be in contact with building inspection, fire, police, etc.).
 3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
 4. In no instance or manner shall any off-street parking or traffic circulation area be used as a storage area, except as provided for by section 105-931(c)
 5. Absolutely no portion of the new site improvements shall cross the property lines.
 6. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
 7. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
 8. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use, architectural review, etc. reflecting those amendments.
8. Gen. Ord. No. 4-24-25 by Alderperson Belanger amending various articles and sections of Chapter 107 of the Municipal Code so as to make updates to the Floodplain Zoning Ordinance in order to comply with the requirements of the Department of Natural Resources. REFER TO CITY PLAN COMMISSION

MOTION TO RECOMMEND APPROVAL TO THE COMMON COUNCIL.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

9. Direct Referral R. O. No. 22-24-25 by City Clerk submitting an encroachment request from The Commonwealth Companies, owner of VUE 14, LLC to portions of Illinois Avenue right of way for the purpose of creating front steps to the building.

MOTION TO RECOMMEND APPROVAL TO THE COMMON COUNCIL.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

10. Direct Referral Gen. Ord. No. 5-24-25 by Alderpersons Belanger and Perrella granting VUE 14, LLC, its successors and assigns, the privilege of encroaching upon described portions of Illinois Avenue right of way in the City of Sheboygan for the purpose of creating front steps to the building.

MOTION TO RECOMMEND APPROVAL TO THE COMMON COUNCIL.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

NEXT MEETING

11. July 9, 2024

The next scheduled meeting is scheduled to be held on July 9, 2024.

Item 4.

ADJOURN

12. Motion to Adjourn

MOTION TO ADJOURN AT 4:07 PM.

Motion made by John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Jerry Jones, Braden Schmidt, Kimberly Meller (remote) and Public Works Consultant Aaron Groh

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Site Plan Review by Gerald Peot to operate a natural gas regulation station located at 608 S Commerce Street. UI Urban Industrial Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: June 12, 2024

MEETING DATE: June 25, 2024

APPLICANT PROPOSAL:

Gerald Peot, authorized representative of Wisconsin Public Service is proposing to operate a natural gas regulation station located at 608 S Commerce Street. The applicant states the following:

- The proposed structure is a 14'x20'x8' prefabricated utility building, class 1 Div 2 constructed.
- Evergreen exterior with Patrician Bronze trim with sound proofing insulation.
- The new structure will replace obsolete utility vaults located in the sidewalk of S 10th St. & Indiana Ave.
- District Regulator Stations take higher pressure steel gas feeder lines operating up to 150 psig and reduce pressure to 60 psig or less which allows the use of plastic gas lines to serve customers.
- By locating above ground, it reduces maintenance costs and improves reliability of the station.
- It will also allow the installation of real time SCADA to monitor operations 24/7.

STAFF ANALYSIS:

The use is permitted as special use under the Urban Industrial District as public services and utilities. The site plan review shows that no exceptions are required for the project.

ACTION REQUESTED:

Staff recommends approval of the site plan subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, hazardous materials, etc.

2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
6. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
7. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
8. Applicant will provide adequate public access along streets and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
9. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
10. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
11. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
12. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
13. The proper agreements/easements shall be officially documented and recorded prior to building permit issuance.
14. If there are any amendments to the approved site plan, the applicant will be required to submit a new application reflecting those amendments.

ATTACHMENTS:

Site plan review application and attachments



CITY OF SHEBOYGAN
SPECIAL USE AND SITE PLAN REVIEW
APPLICATION

Fee: \$100

Item 5.

Review Date: _____

Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) Wisconsin Public Service	Authorized Representative Gerald Peot	Title Engineer	
Mailing Address 677 Baeten Rd	City Green Bay	State WI	ZIP Code 54304
Email Address gerald.peot@wisconsinpublicservice.com	Phone Number (incl. area code) 920-433-1493		

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind., Org. or Entity) City of Sheboygan	Contact Person	Title	
Mailing Address 828 Center Ave	City Sheboygan	State WI	ZIP Code 53081
Email Address	Phone Number (incl. area code)		

SECTION 3: Architect Information

Name WPS / The RDI Group			
Mailing Address 1025 West Thorndale Ave	City Itasca	State IL	Zip 60143
Email Address rich.falbo@therdigroup.com	Phone Number (incl. area code) 630-773-4900		

SECTION 4: Contractor Information

Name			
Mailing Address	City	State	Zip
Email Address	Phone Number (incl. area code)		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Gerald Peot	Title Engineer	Phone Number 920-433-1493
Signature of Applicant <i>Gerry Peot</i>		Date Signed 6/5/2024

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Parcel No.59281502950	Zoning Classification Urban Industrial
Name of Proposed/Existing Business:	Municipal Bus Garage,. proposed Natural Gas Regulation Station
Address of Property Affected:	608 S Commerce St
New Building: <input checked="" type="checkbox"/>	Addition: <input type="checkbox"/> Remodeling: <input type="checkbox"/>

SECTION 7: Brief Description of Type of Structure

14' x 20' x 8' Prefabricated utility building, class 1 Div 2 constructed. Evergreen Exterior with Patrician Bronze trim with sound proofing insulation. (See building plan set)

SECTION 8: Description of EXISTING Operation or Use

New structure will replace obsolete utility vaults located in sidewalk of S 10th St & Indiana Ave. District Regulator Stations take higher pressure steel gas feeder lines operating up to 150 psig and reduce pressure to 60 psig or less which allows the use of plastic gas lines to serve customers. By locating above ground it reduces maintenance costs and improves reliability of the station. It will also allow the installation of real time SCADA to monitor operations 24/7.

SECTION 9: Description of the PROPOSED Operation or Use

New structure will replace obsolete utility vaults located in sidewalk of S 10th St & Indiana Ave. District Regulator Stations take higher pressure steel gas feeder lines operating up to 150 psig and reduce pressure to 60 psig or less which allows the use of plastic gas lines to serve customers. By locating above ground it reduces maintenance costs and improves reliability of the station. It will also allow the installation of real time SCADA to monitor operations 24/7.

SPECIAL USE AND SITE PLAN USE APPLICATION SUBMITTAL REQUIREMENTS

Item 5.

A. Name of project/development.

B. Summary of general operation and proposed use:

- Description of existing use
- Description of proposed use (indoor, outdoor, etc.), why was this site selected?
- All services, products, etc. to be provided
- Projected number of residents, employees, and/or daily customers
- Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage to the nearest one-hundredth of an acre
- Description of proposed building and all new site improvements (square footage of new and existing structure(s), traffic, ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, dumpster enclosure, screening of mechanicals, etc.)
- A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area
- An explanation of any interior and/or exterior renovations
- Is access appropriate and is their sufficient customers/resident off-street parking?
- Proposed signage
- Project timeline and estimated value of project
- Compatibility of the proposed use and design with adjacent and other properties in the area.
- How will you insure that the business will not become a nuisance to adjacent properties (i.e. parking, noise, smells, hours of operations, etc.
- Other information that would be considered pertinent by the Plan Commission.

C. Submit TWO (2) copies of a property site plan drawing, which includes:

- A certified survey map showing existing property boundaries and improvements
- A map providing the following information:
 - The map and all its parts shall be clearly reproducible with a photocopier at a size of 11" X 17" and map scale not less than 1' = 600' with lot dimensions of the subject property provided and a graphic scale and north arrow
 - All lands for which the conditional use is proposed
 - All other lands within 100 feet of the boundaries of the subject property
 - The current zoning of the subject property and its environs (200 feet)
- A site plan (conforming to the requirements of Section 15.908(3) of the subject property as proposed for development):
 - Submit TWO (2) hardcopies of the site plan and ONE (1) 11" X 17" reduction of the site plan
 - Submit digital plans and drawings of the project by email, flash drive, etc.
 - Title block that provides all contact information for the petitioner and/or owner, if different
 - Full name and contact information of petitioner's engineers/surveyors/architects, or other design professionals used in the plan preparation
 - The date of the original plan and latest date of revision to the plan
 - A north arrow and graphic scale. Said scale is not to be smaller than one inch equals 100 feet
 - All property lines & existing/proposed right-of-way lines with bearings & dimensions clearly labeled

- Existing /proposed easement lines and dimensions with an explanation of ownership and purpose
- All required building setback lines
- Existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities and walls
- Location and dimension of all curb cuts and throat widths of all access points onto public streets or alleys
- The location and dimension of all on-site parking including a summary of the number of parking stalls provided versus the requirements of the ordinance
- The location and dimension of all loading and service areas on subject property
- The location of all outdoor storage areas and the design of all screening devices
- Location of all outdoor storage and refuse disposal areas and the design and materials used for construction and operation
- The location, type, height, size and lighting of all signage
- Location, height, design, illumination power and orientation of all exterior lighting on the property including a photometrics plan
- Location of all exterior mechanical equipment and utilities and elevations of proposed screening devices where applicable (i.e. visible from a public street or residential use or district). Mechanical equipment includes, but is not limited to; HVAC equipment, electrical transformers and boxes, exhaust flues, plumbing vents, gas regulators, generator
- Location of all existing and proposed landscape areas, storm water areas, etc.

D. Building elevations and perspectives.

NOTE: A Traffic Impact Study (TIA) may be required with large development proposals.

NOTE

Initiation of Land Use or Development Activity

Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the site plan by the City Plan Commission. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

Modification of an Approved Site Plan

Any and all unauthorized variations between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan may be revised so as to clearly and completely depict any and all proposed modifications to a previously approved site plan by the City Plan Commission. Prior to the initiation of said modifications, the City Plan Commission must approve the revised plan.

STEP 1: Initial Meeting with City Planning Office:

An initial meeting is to ensure that both the applicant and the city staff have a proper understanding of what is being requested and to explain the approvals necessary. An engineered drawing is not required for this meeting, but an accurate sketch and any applicable background information may be needed. Additional meetings can be arranged by calling the Department of City Development.

STEP 2: Official Submission:

A special use permit and site plan application may be filed at the City of Sheboygan Planning and Development office located on the 2nd floor of City Hall or may be submitted electronically via email: Steve.Sokolowski@SheboyganWI.gov

If submitting electronically, please verify application has been accepted and will be placed on the next Plan Commission agenda.

Payment of the application fee must be received prior to the application filing deadline. Payment may be submitted via postal delivery, in person, or by phone using credit card.

Mailing Address: Department of City Development
828 Center Ave. Suite 208
Sheboygan, WI 53081

NOTE: Applications will not be accepted until complete. A complete application includes all items in the respective checklists above. Applications must be complete before they are scheduled for a meeting before the Plan Commission.

PLAN COMMISSION MEETING

Meeting Date: The Plan Commission meets on the 2nd and 4th Tuesdays of the month at 4:00 p.m. in the Council Chambers of City Hall, 828 Center Ave. The project applicant or a representative must attend the Plan Commission meeting to present the request and answer questions regarding the proposal. Public comment will be invited at the Plan Commission meeting.

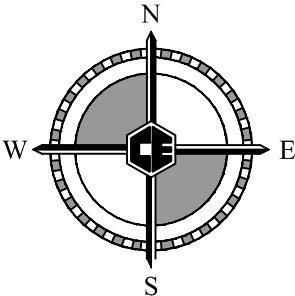
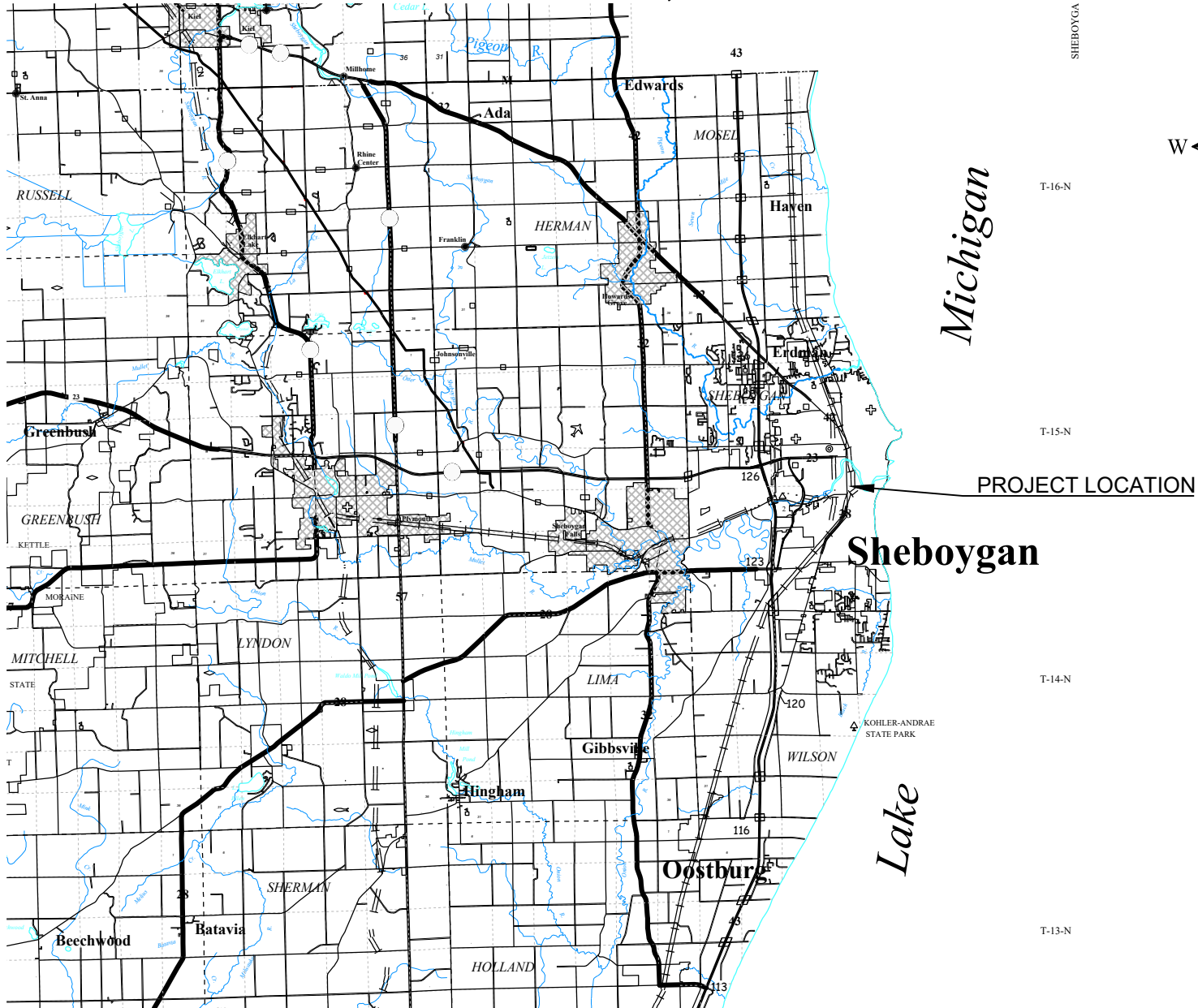
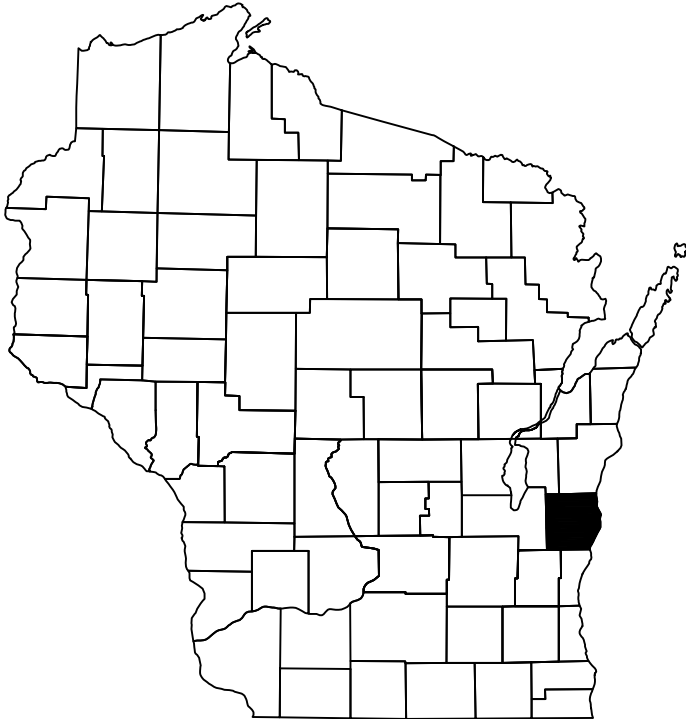
Project Review: The purpose of a special use permit and site plan is to assure compatibility between land uses. City staff analyzes a proposal and prepares a recommendation for the Plan Commission. The project analysis considers the location of the affected property, surrounding uses, and the operational details of a proposed use.

Plan Commission: The Plan Commission is charged with the authority to approve or deny a special use permit and site plan request. In the event an applicant wishes to contest the decision of the Plan Commission, the applicant may appeal the decision to the Sheboygan County Circuit Court.

**Plan Commission meeting agendas and minutes may be viewed on the City's website:
www.SheboyganWI.gov**

FOR INFORMATION OR ASSISTANCE CONTACT THE ZONING MANAGER: (920) 459-3382

VIRGINIA DRS SITE PLANS SHEBOYGAN COUNTY, WISCONSIN



1	05/10/24	DRAFT FOR REVIEW		KVR	---	---
REV	DATE	DESCRIPTION		DES	CHK	APP

PREPARED FOR:

Wisconsin Public
Service Corporation



700 North Adams Street
P.O. Box 19001
Green Bay, WI 54307-9001
Phone: 800-450-7260 Fax: 920-431-4815

PREPARED BY:



COLEMAN ENGINEERING COMPANY
IRON MOUNTAIN • IRONWOOD • GREEN BAY
www.coleman-engineering.com

PRELIMINARY
NOT FOR
CONSTRUCTION

DRAWING TITLE:

VIRGINIA DRS
COVER
SHEET

SCALE:

NONE

SHEET NO: 1 OF 6

15

GENERAL PLAN NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES NOT ACQUIRED BY THE OWNER BEFORE STARTING CONSTRUCTION, A COPY OF WHICH SHALL BE PROVIDED TO THE ENGINEER IF REQUESTED. ALL SUCH PERMIT AND LICENSE FEES SHALL BE THE SOLE EXPENSE OF THE CONTRACTOR.
2. OWNER OR ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SAFETY PRECAUTIONS OR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED OF THE CONTRACTOR TO PERFORM THEIR WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SECURING AND PROTECTING THE PROJECT SITE. THIS MAY INCLUDE , BUT IS NOT LIMITED TO, CONSTRUCTION PERIMETER FENCING, SIGNAGE, AND PROTECTION OF EXCAVATIONS.
4. THE UTILITIES SHOWN ON THE PLANS ARE INDICATED IN ACCORDANCE WITH AVAILABLE RECORDS (ALL UTILITIES MAY NOT BE SHOWN). THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITIES SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO EXCAVATION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND OTHERWISE VERIFY ALL DIMENSIONS AND EXISTING CONSTRUCTION CONDITIONS INDICATED AND/OR SHOWN ON THE DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL REPORTING TO THE ENGINEER FOR CLARIFICATION OR CORRECTION.
6. ALL OBSTRUCTIONS MAY NOT BE SHOWN ON PLANS. THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE ACTUAL CONDITIONS WITH REGARD TO THE EXISTENCE OF FENCES, DRIVEWAYS, TREES, SIDEWALKS, CULVERTS, UTILITIES AND OTHER MISCELLANEOUS OBSTACLES THAT MAY INTERFERE.
7. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL, OR ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH THE APPLICABLE CODES, REGULATIONS AND PROJECT CONTRACT DOCUMENTS.
8. ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT WISDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND CURRENT WISDOT STANDARD PLANS UNLESS SHOWN OTHERWISE IN THIS PLAN SET OR ADDRESSED IN THE TECHNICAL SPECIFICATIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS BUT NOT SPECIFICALLY CALLED OUT THEREIN, ALL APPLICABLE AGENCY REQUIREMENTS, AND ANY OTHER WORK AS MAY BE NECESSARY TO PROVIDE A COMPLETED PROJECT.
10. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES, WHETHER THE UTILITY WAS SHOWN OR NOT ON THESE PLANS SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY OR UTILITIES CAUSED DURING CONSTRUCTION AND SHALL COORDINATE ACTIVITIES WITH UTILITY COMPANIES FOR GAS, TELEPHONE & ELECTRICAL U.G. LOCATIONS & ANY RELOCATIONS AS NECESSARY.
12. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH WISCONSIN STATUTE 182.0175, THE CONTRACTOR SHALL CALL TOLL FREE 1.800.242.8511 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. ALL PARTICIPATING "DIGGERS HOTLINE" MEMBERS WILL BE THUS ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR FROM NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "DIGGERS HOTLINE" ALERT SYSTEM.
13. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE & CABLE UTILITY COMPANY FOR CONSTRUCTION NEAR OR CROSSING THE FIBER OPTIC CABLES OR OTHER BURIED PHONE WIRES. CONTRACTOR SHALL HAND DIG NEAR THE CABLE/WIRE AND CONFORM TO ALL PRECAUTIONS SET FORTH BY THE UTILITY FOR FIBER OPTIC CABLES. WORK NEAR FIBER OPTIC CABLES SHALL NOT BE PAID FOR SEPARATELY.
14. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING DIMENSION OR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE CONTINUING CONSTRUCTION.
15. WHEN CONTRADICTIONS OCCUR BETWEEN PLANS & SPECIFICATIONS, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ENGINEER BEFORE CONTINUING WITH CONSTRUCTION.
16. DURING CONSTRUCTION, DISPOSAL OF EXCESS MATERIAL SHALL NOT BE PERMITTED IN A WETLAND OR ADJACENT AREAS, UNLESS PERMITS ARE OBTAINED FROM THE APPROPRIATE REGULATORY AGENCIES.
17. EXISTING CULVERTS ARE TO BE PROTECTED DURING CONSTRUCTION AT ALL TIMES.
18. CONTRACTOR SHALL NOTIFY THE LOCAL FIRE DEPARTMENT, AMBULANCE SERVICES & ANY OTHER AFFECTED SERVICES 48 HOURS IN ADVANCE OF ANY TEMPORARY STREET CLOSURE & DURATION. UNDER NO CIRCUMSTANCES SHALL A STREET BE CLOSED OVERNIGHT WITHOUT APPROVAL.
19. UNLESS OTHERWISE NOTED ON THE PLANS OR SPECIFICATIONS, REMOVED ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFF-SITE.
20. THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES. ANY ALTERATION OR VARIANCE FROM THESE PLANS, EXCEPT MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, SHALL FIRST BE APPROVED BY ENGINEER AND WHEN NECESSARY THOSE AGENCIES AFFECTED BY THE ALTERATION. ANY VARIATIONS FROM THESE PLANS SHALL BE DOCUMENTED ON THE CONSTRUCTION PRINTS AND TRANSMITTED TO ENGINEER.
21. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED WITHIN 14 CALENDAR DAYS OF FINAL GRADING.
22. ALL EXISTING PUBLIC LAND SURVEY CORNERS, PROPERTY CONTROLLING CORNERS AND ALIGNMENT CONTROL POINTS SHALL BE LOCATED AND PRESERVED AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. IT MAY BE NECESSARY TO PLACE OR ADJUST MONUMENT BOXES AS REQUIRED.

TRAFFIC CONTROL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL RELATED TO CONSTRUCTION OF THE PROJECT. ALL TRAFFIC CONTROL SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ERECTION AND PLACEMENT OF ALL THE REQUIRED SIGNING AS OUTLINED IN THE ABOVE MENTIONED MANUAL. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL SUCH OTHER TRAFFIC CONTROL DEVICES WHICH WILL ADEQUATELY WARN AND ALERT DRIVERS OF CONSTRUCTION HAZARDS.
3. DEPENDING UPON THE TYPE AND LOCATION OF THE WORK ACTIVITIES, THE CONTRACTOR SHALL PLACE SPEED ADVISORY SIGNING IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

UTILITY NOTES

1. SERVICE LINES MAY NOT BE WHERE SHOWN IN PLANS. VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION AND REMOVAL OF SIDEWALKS AND CURBS.

EROSION CONTROL NOTES

1. REFER TO CURRENT WISDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR EROSION CONTROL MATERIALS AND PRODUCTS.
2. EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AND REPAIRED AT LEAST ONCE A WEEK OR WITHIN 24 HOURS FOLLOWING A SIGNIFICANT RAIN EVENT OF 0.5 INCHES OR MORE.
3. ALL AREAS THAT REQUIRE RESTORATION SHALL BE RESTORED WITHIN 14 CALENDAR DAYS OF DISTURBANCE.
4. PRESERVE EXISTING VEGETATION WHERE POSSIBLE.
5. CONTRACTOR SHALL FOLLOW ALL STANDARD WISCONSIN BEST MANAGEMENT PRACTICES.
6. STOCKPILED SOILS THAT WILL REMAIN FOR MORE THAN 7 DAYS SHALL BE STABILIZED WITH SEEDING OR SURROUNDED WITH SILT FENCE PER CURRENT WDNR TECHNICAL STANDARDS.
7. SILT FENCE, INSTALLED AS NECESSARY, TO PROTECT ADJACENT PROPERTY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROLS IN ACCORDANCE WITH WISCONSIN WDNR TECHNICAL STANDARDS.
9. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS IN ACCORDANCE WITH AFOREMENTIONED AGENCIES REQUIREMENTS.
10. ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL AND SOD AS SHOWN. TOPSOIL SHALL BE PLACED AND SPREAD AT A DEPTH OF 4". ALL CLODS AND LUMPS SHALL BE BROKEN DOWN AND ALL STONES AND ROCKS OVER 2" IN DIAMETER, ROOTS, LITTER, AND ALL FOREIGN MATTER SHALL BE RAKED UP AND DISPOSED OF BY THE CONTRACTOR OFF-SITE.
11. ALL INLETS, EXISTING AND PROPOSED, ARE TO BE PROTECTED ACCORDING TO THE DETAIL FOR INLET PROTECTION.

UTILITY CONTACTS

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED ON OUR SURVEYS DATED MARCH 23RD, 2023.
THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

WPS
2850 S. ASHLAND AVE.
GREEN BAY, WI 54304
(800) 450-7260

CITY OF SHEBOYGAN, PUBLIC WORKS DEPT.
2026 NEW JERSEY AVE.
SHEBOYGAN, WI 53081
(920) 459-3440



Dial **811** or (800)242-8511

www.DiggersHotline.com

NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE AND MAY BE INCOMPLETE. FOR PROTECTION OF UNDERGROUND UTILITIES, AND IN CONFORMANCE WITH WISCONSIN STATUTE 182.0175, THE CONTRACTOR SHALL CALL TOLL FREE 811 OR 1-800-242-8511 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, BUT NO MORE THAN 14 CALENDAR DAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. ALL "DIGGERS HOTLINE" PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR FROM NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "DIGGERS HOTLINE" ALERT SYSTEM.

1	05/10/24	DRAFT FOR REVIEW	KVR	---	---	
REV	DATE	DESCRIPTION	DES	CHK	APP	

PREPARED FOR:

Wisconsin Public
Service Corporation



700 North Adams Street
P.O. Box 19001
Green Bay, WI 54307-9001
Phone: 800-450-7260 Fax: 920-431-4815

PREPARED BY:



COLEMAN ENGINEERING COMPANY
IRON MOUNTAIN • IRONWOOD • GREEN BAY
www.coleman-engineering.com

PRELIMINARY
NOT FOR
CONSTRUCTION

DRAWING TITLE:

VIRGINIA DRS NOTES, UTILITIES, LEGEND AND ABBREVIATIONS

SCALE:

NONE

SHEET NO:

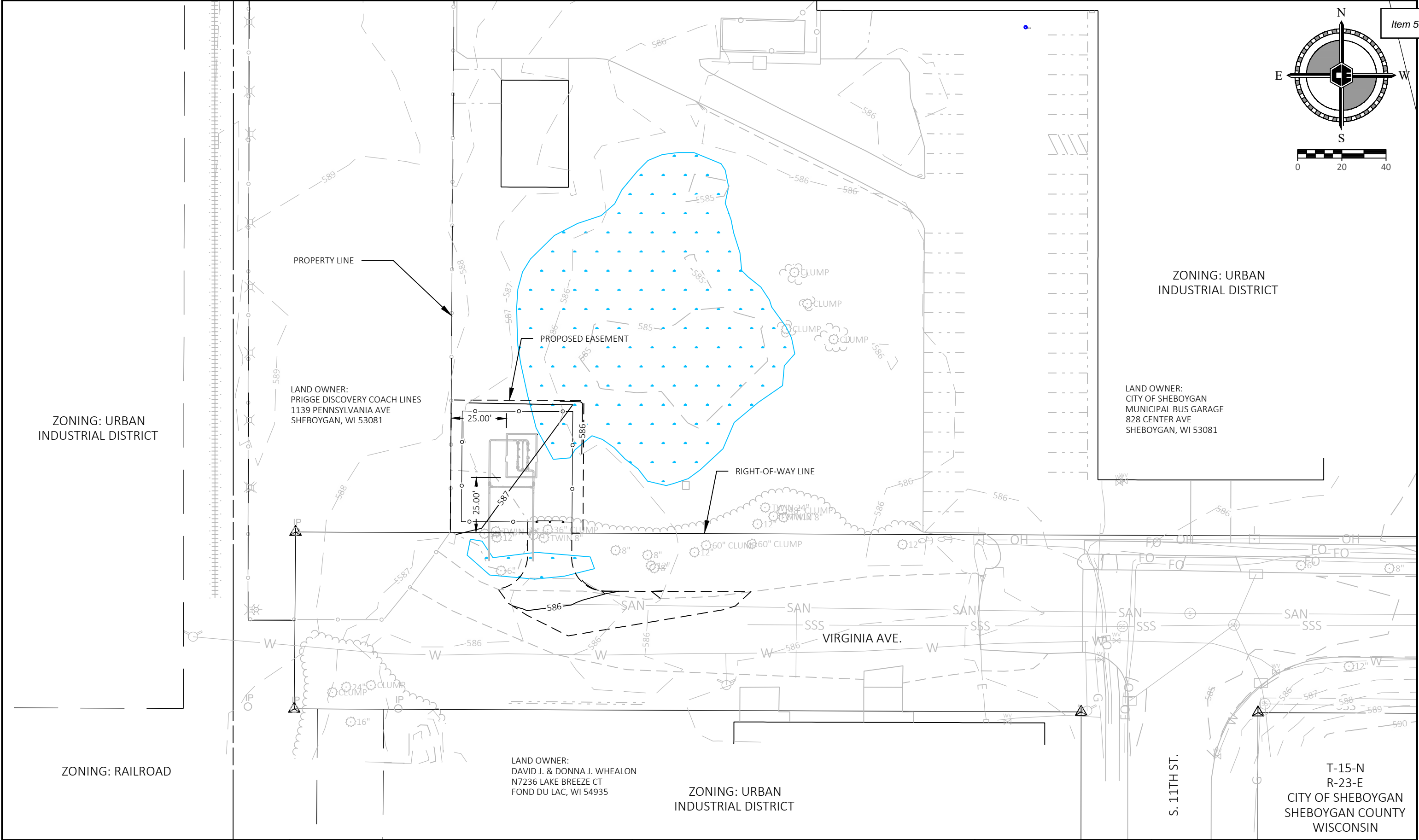
2 OF 6

16

FILE NAME : C:\USERS\ROELLK\DESKTOP\240296 - WPS SHEBOYGAN REG STA\CAD\240296 COVERNOTESDET.DWG

PLOT DATE : 5/10/2024 1:34 PM

PLOT BY : KARISA ROELL



1	05/10/24	DRAFT FOR REVIEW	KVR		
REV	DATE	DESCRIPTION	DES	CHK	APP

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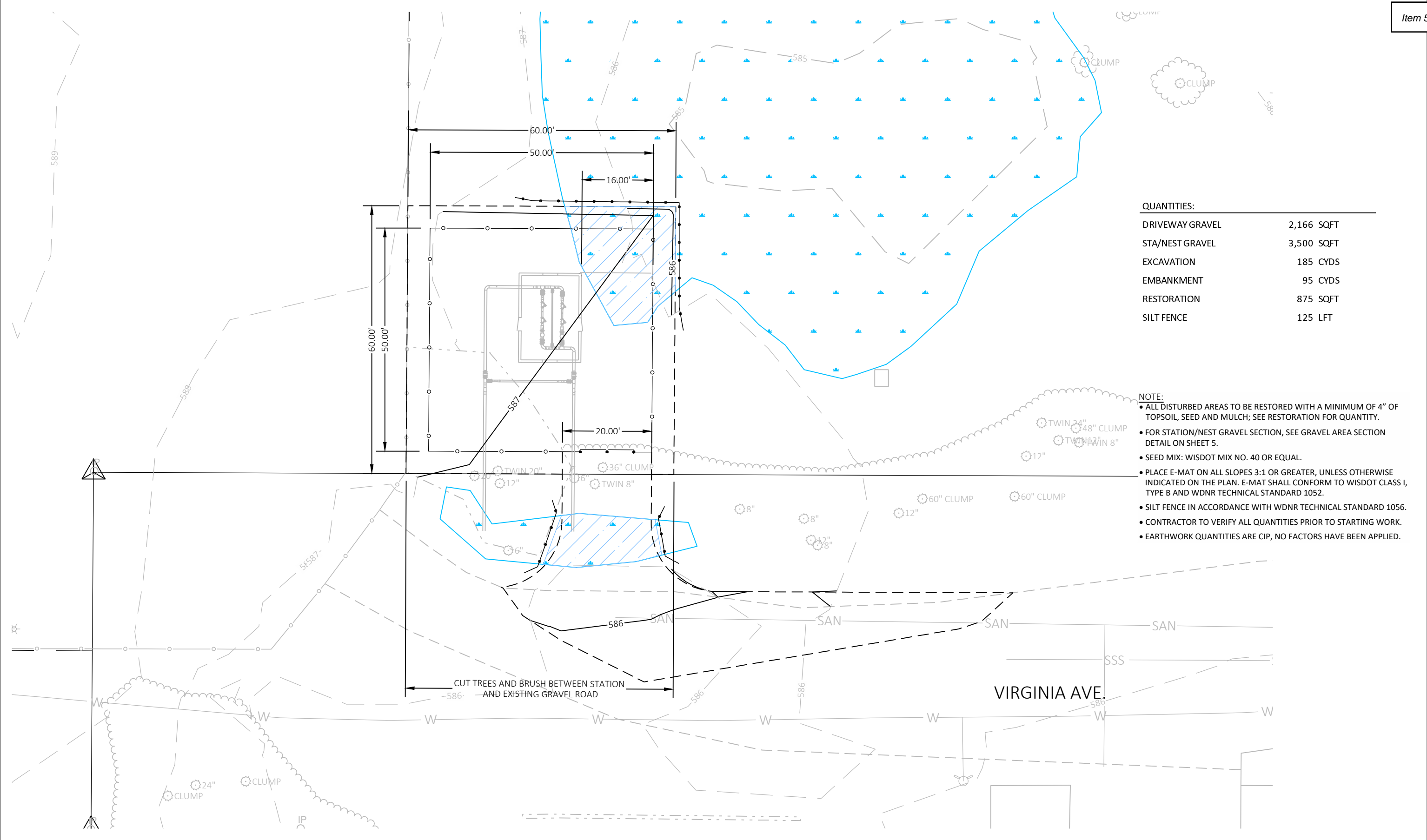
DRAWING TITLE:

VIRGINIA DRS
OVERALL SITE PLAN

SCALE:
1" = 40'

SHEET NO:
3 OF 6

17



QUANTITIES:	
DRIVEWAY GRAVEL	2,166 SQFT
STA/NEST GRAVEL	3,500 SQFT
EXCAVATION	185 CYDS
EMBANKMENT	95 CYDS
RESTORATION	875 SQFT
SILT FENCE	125 LFT

- NOTE:
- ALL DISTURBED AREAS TO BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEED AND MULCH; SEE RESTORATION FOR QUANTITY.
 - FOR STATION/NEST GRAVEL SECTION, SEE GRAVEL AREA SECTION DETAIL ON SHEET 5.
 - SEED MIX: WISDOT MIX NO. 40 OR EQUAL.
 - PLACE E-MAT ON ALL SLOPES 3:1 OR GREATER, UNLESS OTHERWISE INDICATED ON THE PLAN. E-MAT SHALL CONFORM TO WISDOT CLASS I, TYPE B AND WDNR TECHNICAL STANDARD 1052.
 - SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
 - CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO STARTING WORK.
 - EARTHWORK QUANTITIES ARE CIP, NO FACTORS HAVE BEEN APPLIED.

REV	DATE	DESCRIPTION	DES	CHK	APP
1	05/10/24	DRAFT FOR REVIEW	KVR	---	---

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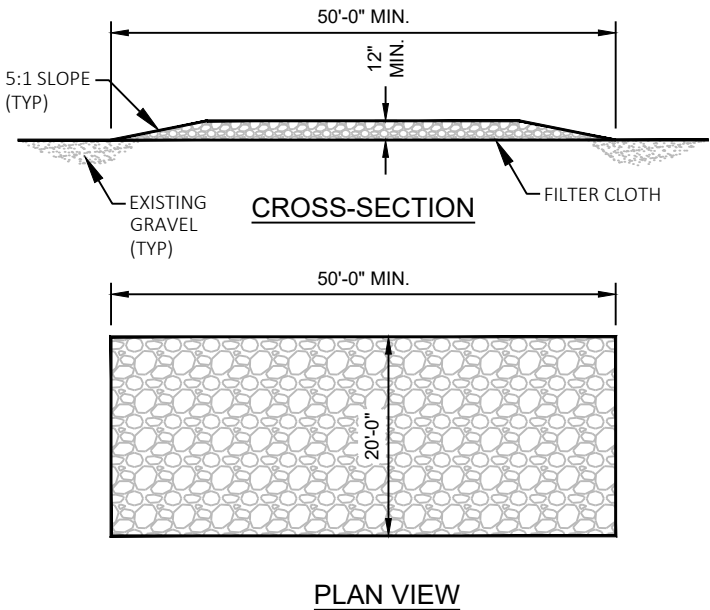
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DRAWING TITLE:	
VIRGINIA DRS SITE PLAN	
SCALE: 1" = 40'	SHEET NO: 4 OF 6

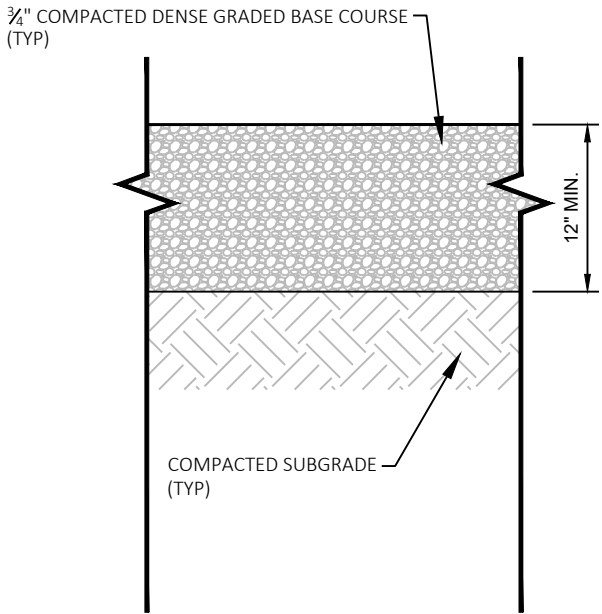
CONSTRUCTION SPECIFICATIONS

- 1.) STONE SIZE:
USE 3"-6" CLEAR OR WASHED STONE.
ALL MATERIAL SHALL BE RETAINED ON A 3" SIEVE.
- 2.) LENGTH - MIN. 50'-0" LG.
- 3.) THICKNESS, 12"
- 4.) WIDTH - AS SHOWN
- 5.) FILTER CLOTH:
WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6.) SURFACE WATER:
ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES
SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE
BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 7.) OPERATION AND MAINTENANCE:
- INSPECT WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT
PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP
DRESSING WITH ADDITIONAL AGGREGATE.
- A MINIMUM 12" THICK PAD SHALL BE MAINTAINED.
- 8.) TIRE WASHING:
WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO
PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN
AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT
TRAPPING DEVICE.



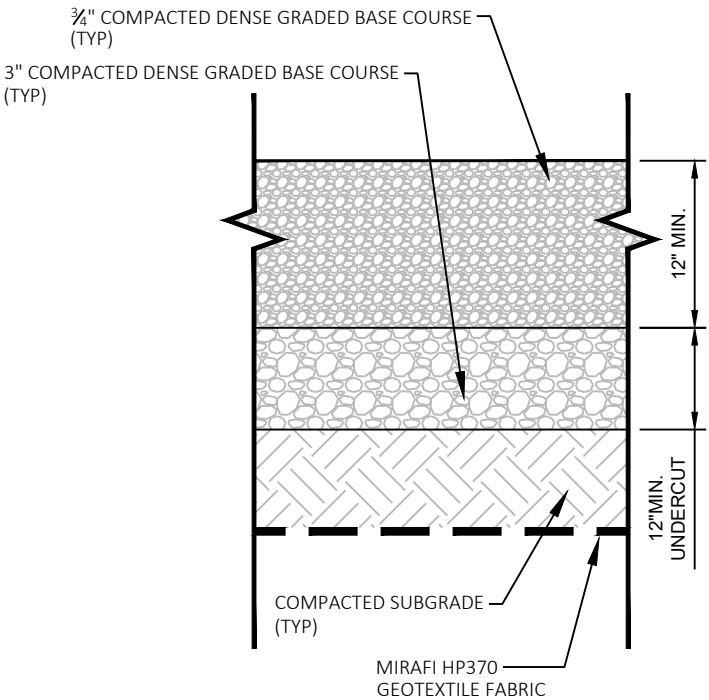
STONE TRACKING PAD DETAIL

NO SCALE



TYPICAL GRAVEL PAVING

NO SCALE




TYPICAL GRAVEL PAVING WITH UNDERCUTTING

NO SCALE

1	05/10/24	DRAFT FOR REVIEW	KVR	---	---
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DRAWING TITLE:

VIRGINIA DRS
MISCELLANEOUS DETAILS
SHEET

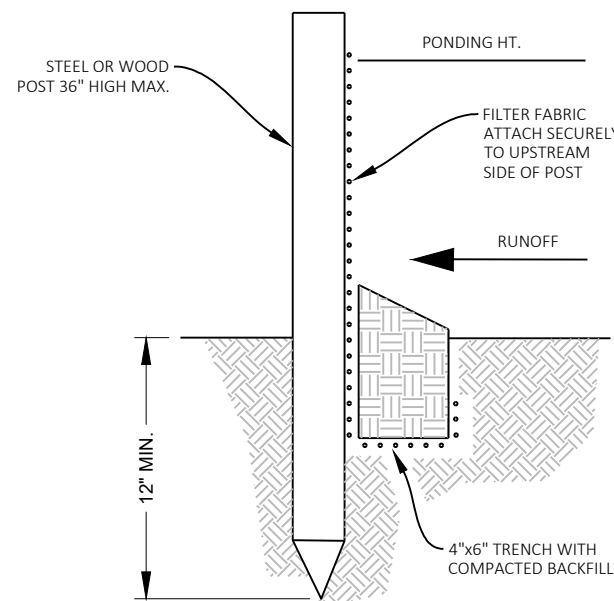
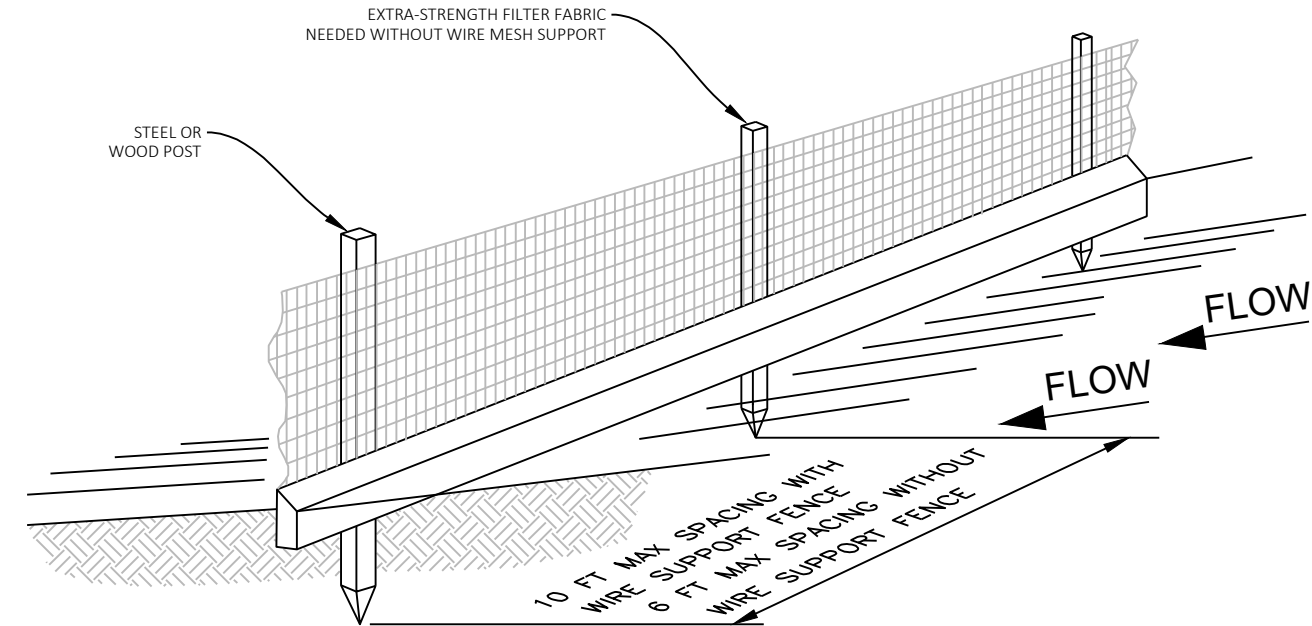
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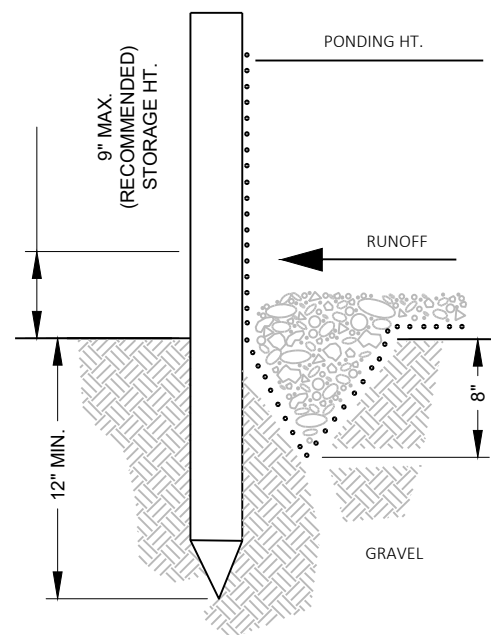
5 OF 6

19



STANDARD DETAIL

TRENCH WITH NATIVE BACKFILL



ALTERNATE DETAIL

TRENCH WITH GRAVEL

- NOTE:
- 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE DETAIL

NO SCALE

REV	DATE	DESCRIPTION	DES	CHK	APP
1	05/10/24	DRAFT FOR REVIEW	KVR	---	---


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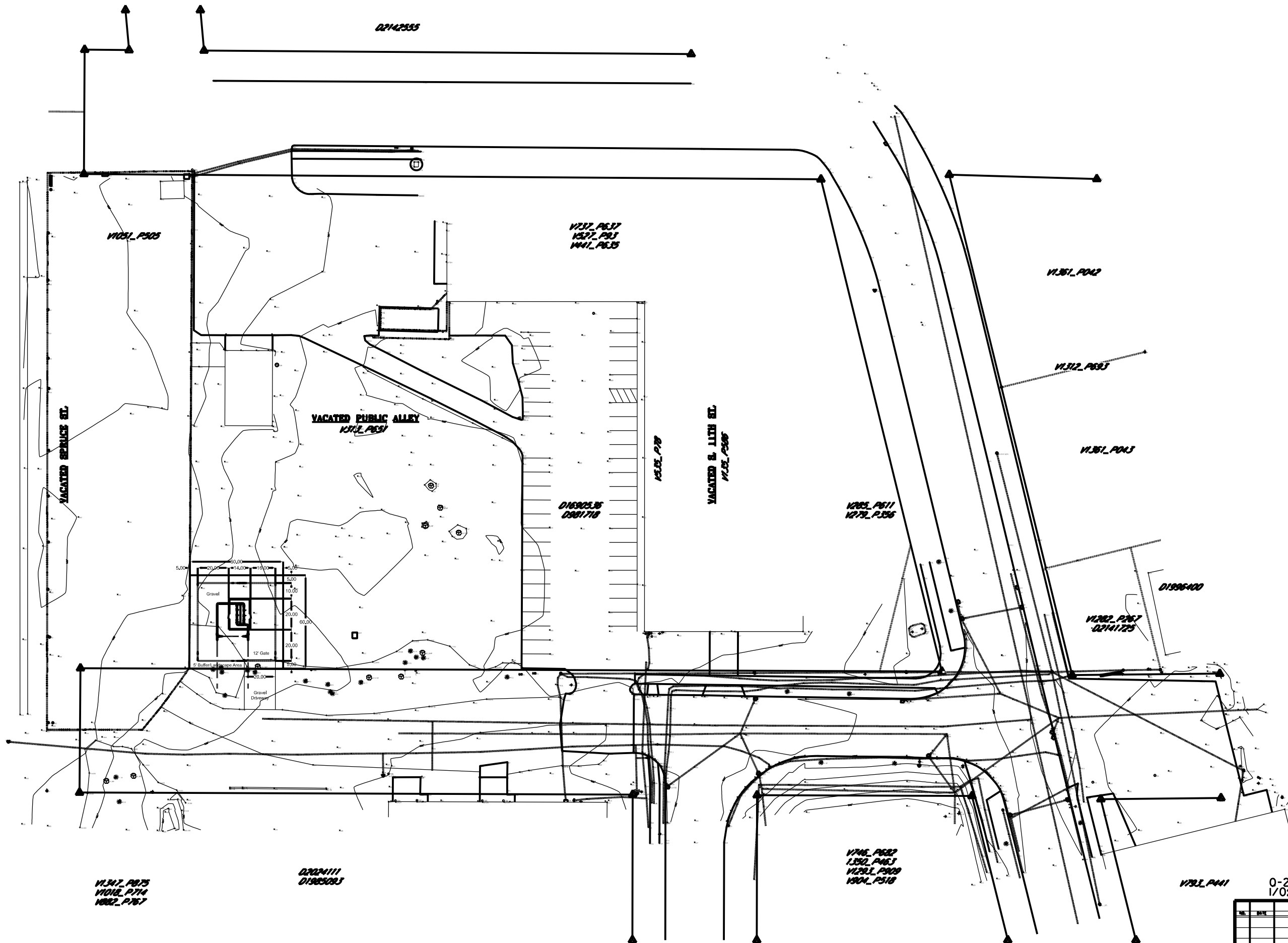
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DRAWING TITLE: VIRGINIA DRS MISCELLANEOUS DETAILS SHEET		
SCALE: NONE	SHEET NO: 6 OF 6	20



V1312_P025
V1018_P714
V002_P767

D2024111
D1905023

V232_P637
V327_P93
V441_P635

D169025.25
D301710

V131_P28

VACATED & LITH ST.
V131_P28

V746_P687
V302_P463
V1301_P909
V304_P518

V1361_P042

V1312_P633

V1361_P043

V205_P611
V279_P356

V1202_P267
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D1996400

V731_P41

0-2121-105364-C90
I/O: 0022400149GC

03/13/2024

**WISCONSIN PUBLIC
SERVICE CORP.**

**SITE PLAN
WISCONSIN & CONCRETE INC.**

SEAL

REVISION

NO.	DATE	REVISIONS DESCRIPTION	BY

SCALE	DATE	BY

NO.	DATE	REVISIONS DESCRIPTION	BY

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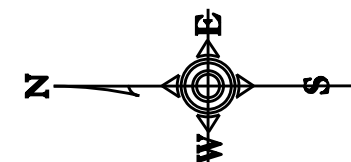
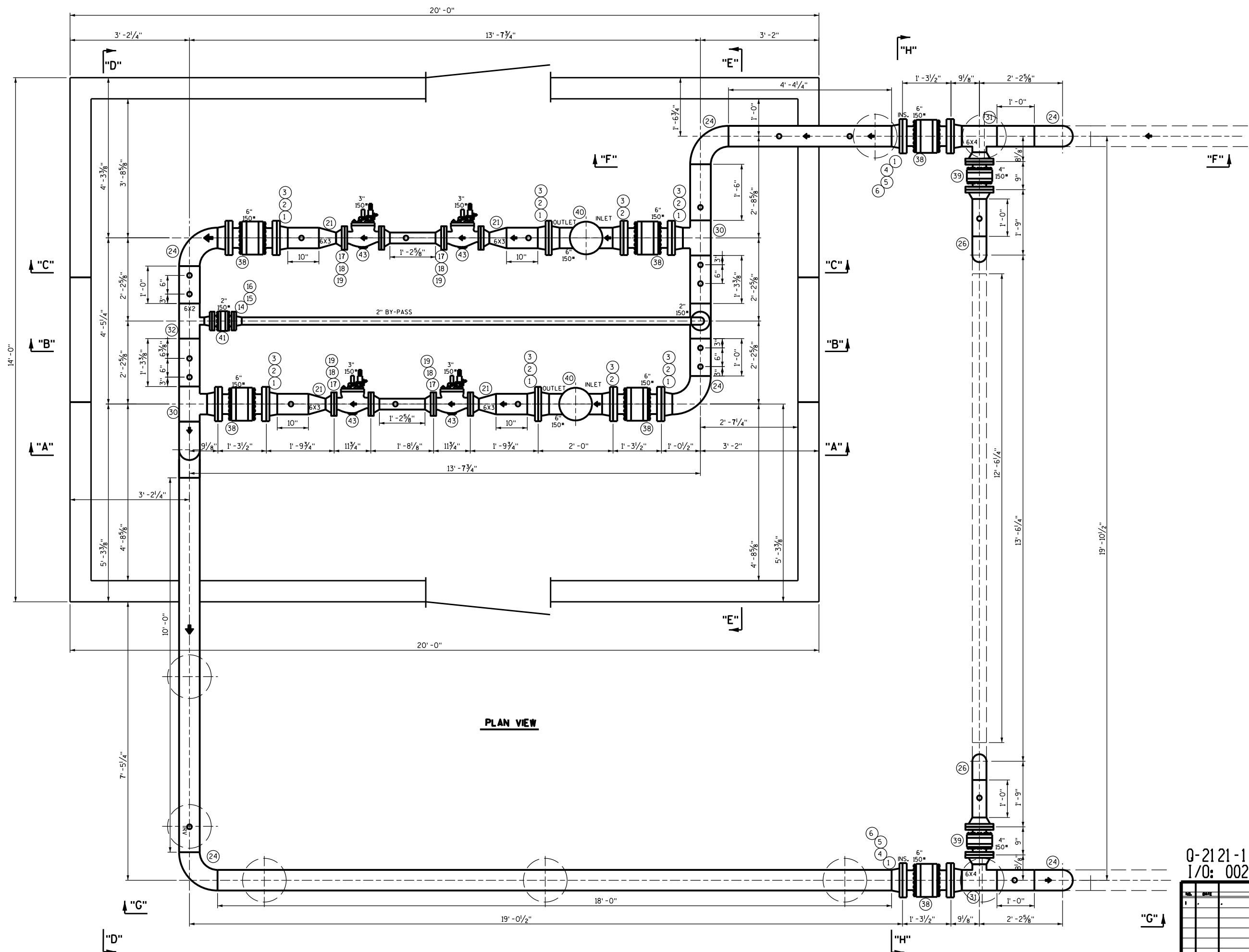
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I/O: 00224001 49GC

**WISCONSIN PUBLIC
SERVICE CORP.**

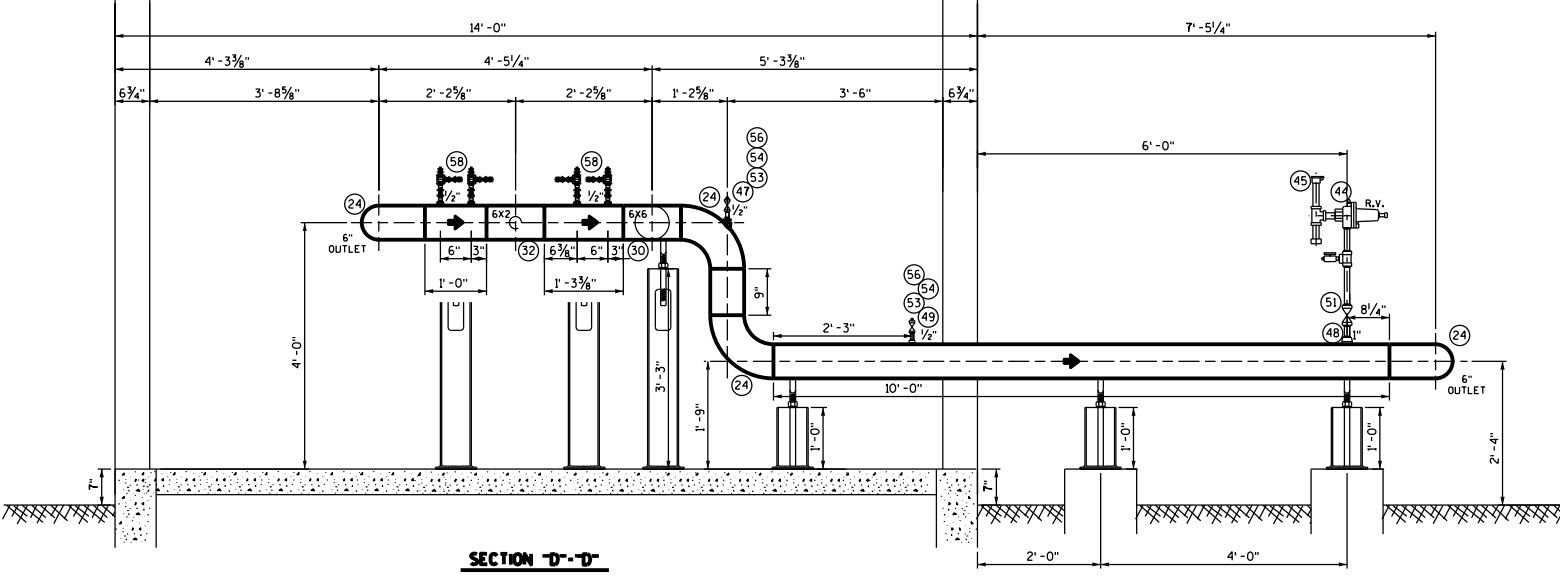
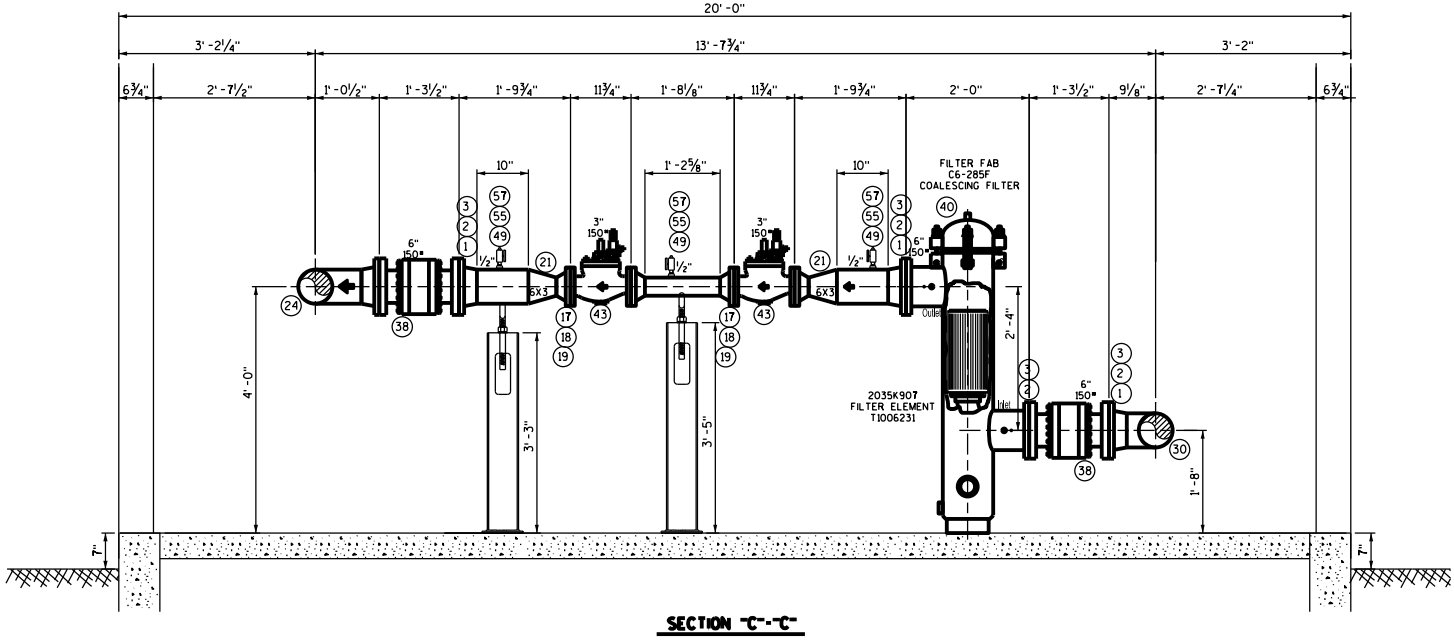
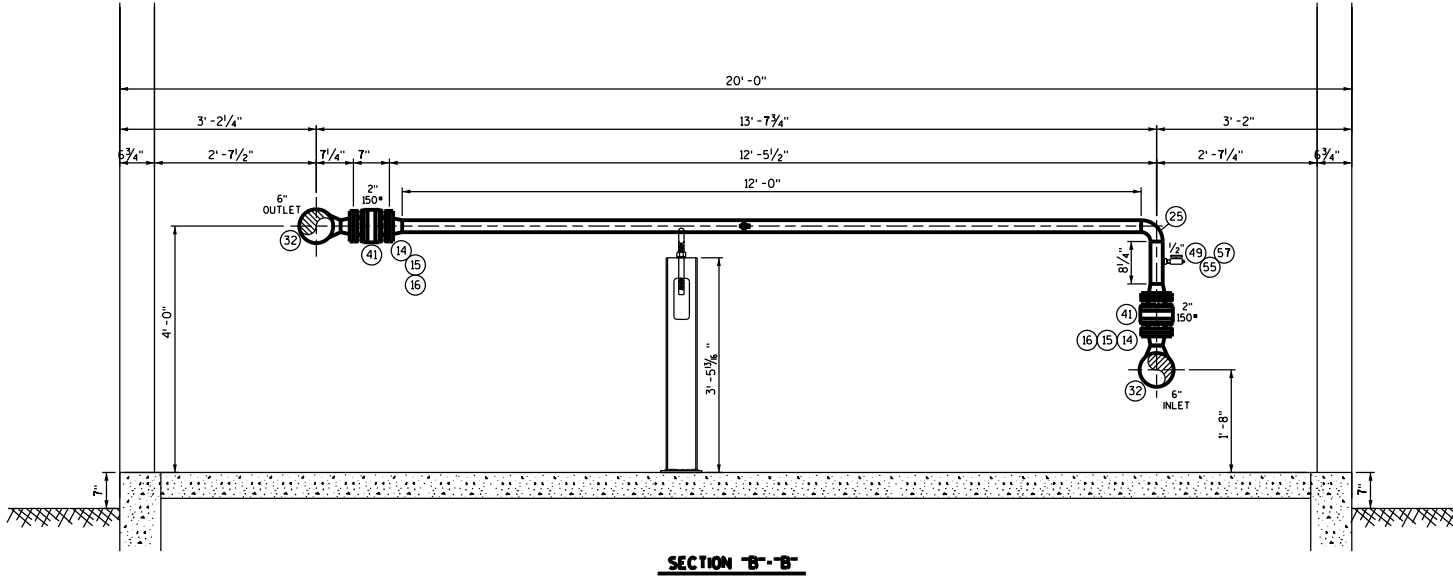
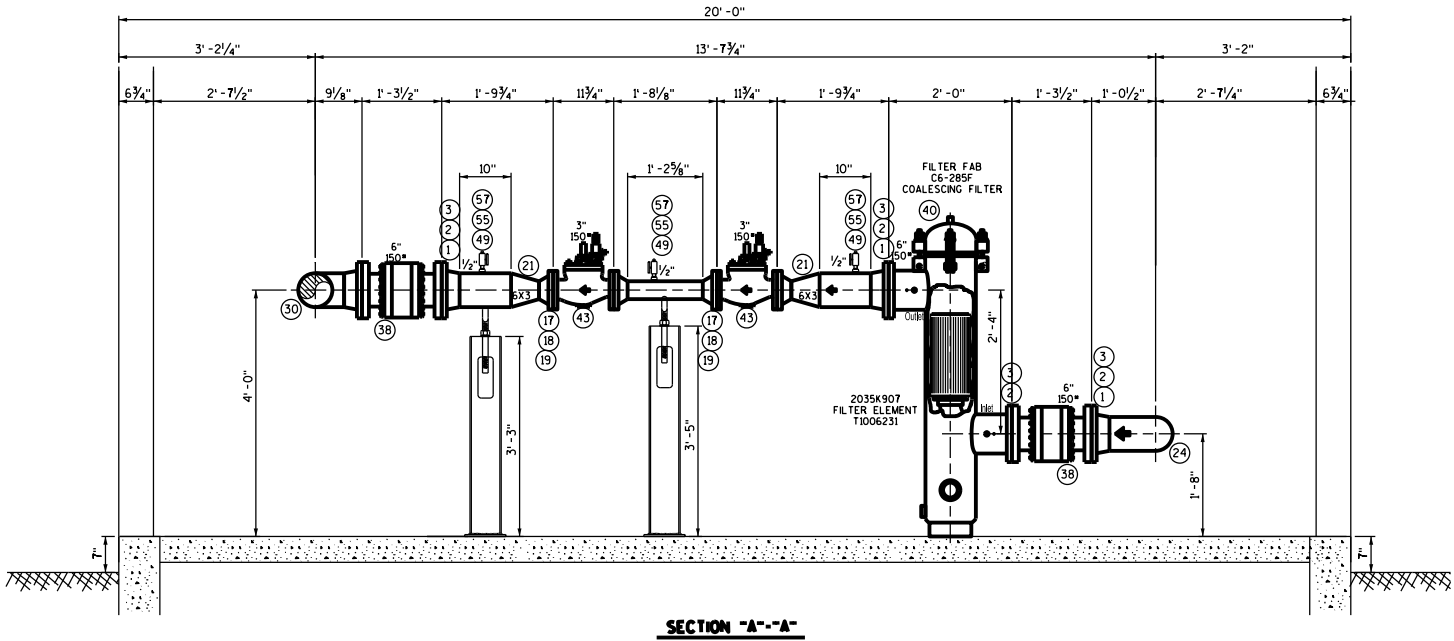
PIPING SECTIONS AND DETAILS
VIRGINIA & COMMERCE DRS

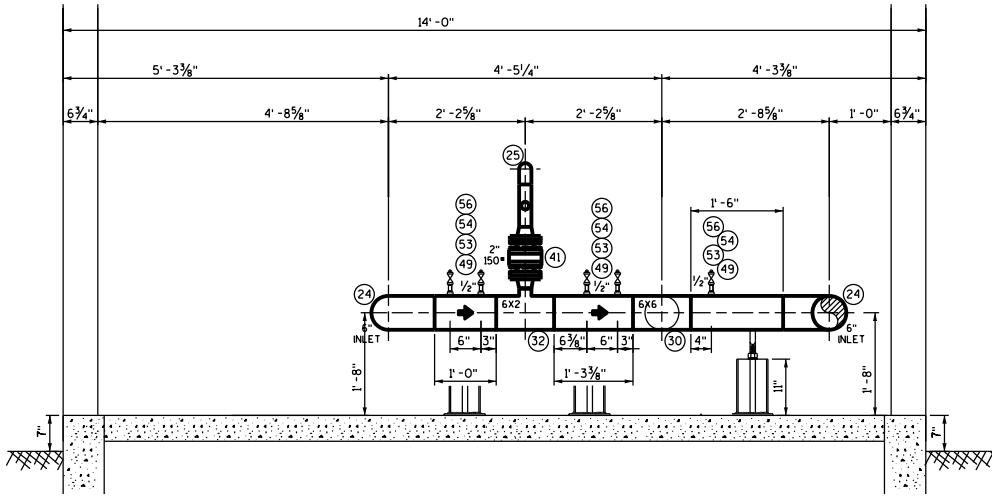
SHEBOYGAN, WISCONSIN

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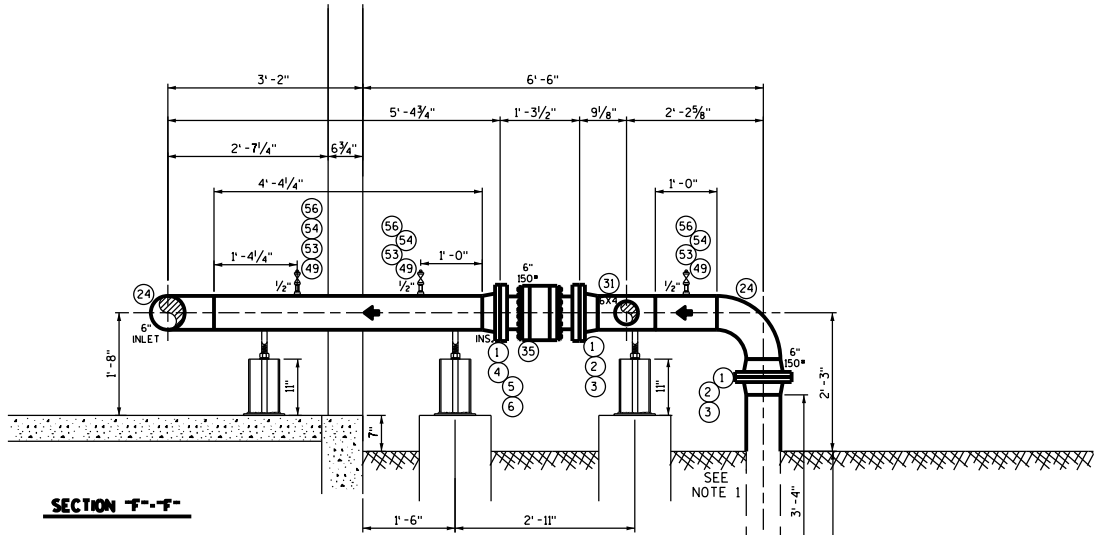
22

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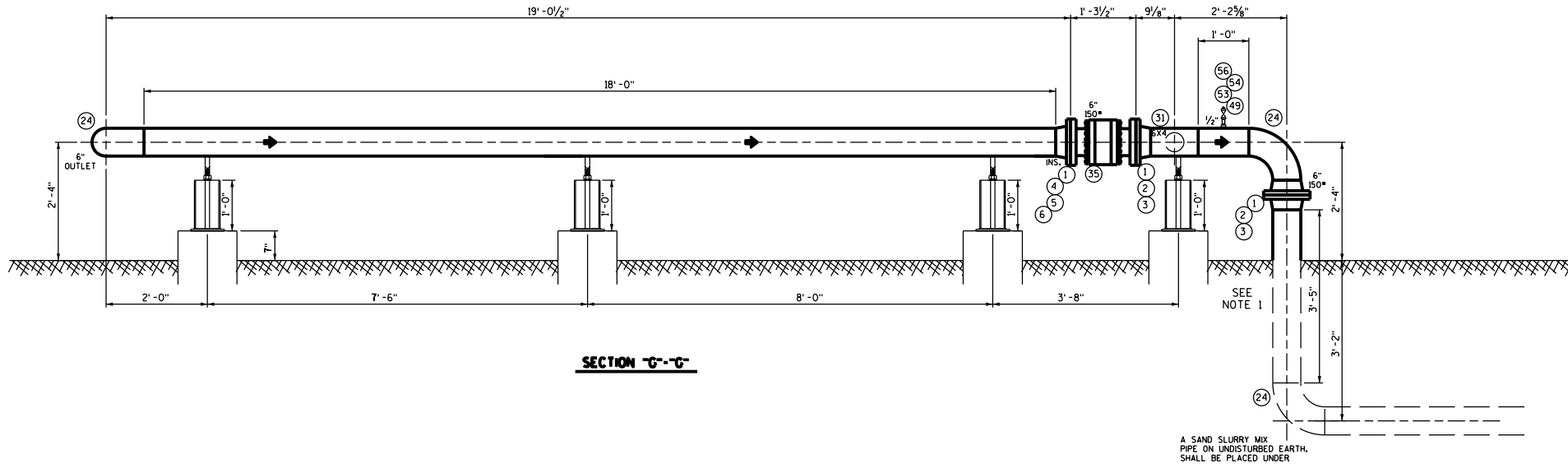




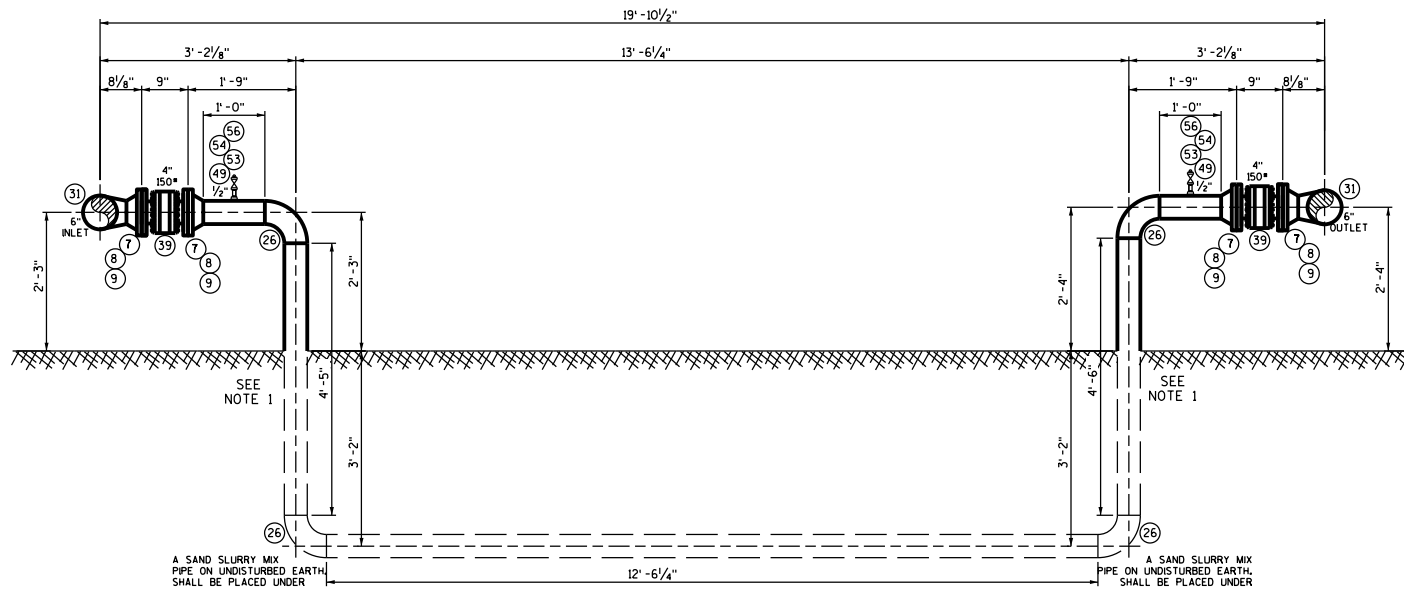
SECTION "E"-E-



SECTION F-F



SECTION -G--G-



SECTION H-H

BILL OF MATERIALS					It
ITEM NO.	QTY	SIZE	DESCRIPTION	CODE	
(1)	16	6"	150" WELD FLANGE W.N., R.F.		T1200422
(2)	14	6" x 8 3/4"	NON-ASBESTOS RING GASKET		T1008606
(3)	112	3/4" x 4 1/2"	BOLT STUDS		T1230442
(4)	2	6"	INSULATING SLEEVE KIT		T1234086
(5)	2	6"	FULL FACE INSULATING GASKET		T1232896
(6)	16	3/4" x 5"	BOLT STUDS		T1230443
(7)	4	4"	150" WELD FLANGE W.N., R.F.		T1200420
(8)	4	4" x 6 1/6"	NON-ASBESTOS RING GASKET		T1008605
(9)	32	5/8" x 3 3/4"	BOLT STUDS		T1230430
(10)	0	4"	FULL FACE INSULATING GASKET		T1232891
(11)	0	4"	INSULATING SLEEVE KIT		T1234081
(12)	0	5/8" x 4 1/4"	BOLT STUDS		T1230431
(13)					
(14)	4	2"	150" WELD FLANGE W.N., R.F.		T1200415
(15)	4	2" x 4 1/2"	NON-ASBESTOS RING GASKET		T1008604
(16)	16	5/8" x 3 1/4"	BOLT STUDS		T1008800
(17)	8	3"	150" WELD FLANGE W.N., R.F.		T1200418
(18)	8	3" x 5 3/8"	NON-ASBESTOS RING GASKET		T1008608
(19)	32	5/8" x 3 3/4"	BOLT STUDS		T1008801
(20)					
(21)	4	6" x 3"	STD WELD REDUCER - CONC.		T1233644
(22)					
(23)					
(24)	10	6"	STD WELD ELBOW - 90°, L.R.		T1232485
(25)	1	2"	EX-HYV WELD ELBOW - 90°, L.R.		T1205762
(26)	4	4"	STD WELD ELBOW - 90°, L.R.		T1232478
(27)					
(28)					
(29)					
(30)	2	6"X6"X6"	STD WELD TEE		I97038
(31)	2	6"X6"X4"	STD WELD TEE - REDUCING BRANCH		T1200155
(32)	2	6"X6"X2"	STD WELD TEE - REDUCING BRANCH		T1234920
(33)					
(34)					
(35)	2	6"	STD WELD CAP		T1230699
(36)	0	4"	STD WELD CAP		T1230696
(37)					
(38)	6	6"	150" FLG. BODY BALL VALVE, W/OPERATOR, STD LENGTH 15.5"		P.O.
(39)	2	4"	150" FLG. BODY BALL VALVE		P.O.
(40)	2	6"	6"-150" FILTERFAB - C6-285F, 2035K907 ELEM.		P.O.
(41)	2	2"	150" FLG. BODY BALL VALVE		T1235110
(42)					
(43)	4	3"	3"-150" FISHER EZL REGULATOR		T1006101
(44)	1	1"	FISHER 289-HH RELIEF VALVE		T1235380
(45)	1	1"	EG WEATHER CAP		T1235516
(46)					
(47)	1	1/2"	ELBOLET, THREADED		T1232578
(48)	1	1"	THREADOLET		T1234970
(49)	26	1/2"	THREADOLET		T1234974
(50)	0	1" X 3"	HYV PIPE NIPPLE		I43784
(51)	3	1"	BALL VALVE		P.O.
(52)	0	1"	BULL PLUG		T1233506
(53)	19	1/2"	BALL VALVE		T1235476
(54)	19	1/2" X 3"	HYV STATION NIPPLE		T1233235
(55)	9	1/2" X 1/4"	NEEDLE VALVE		T1235472
(56)	19	1/2"	BULL PLUG		T1233502
(57)	9	1/4"	BULL PLUG		T1233500
(58)	4	1/2"	THREDOLET 3000"		T1234974
	8	1/2" X 2"	HEAVY STATION NIPPLE - SEAMLESS		T1233234
	4	1/2"	HEAVY BALL VALVE		T1235476
	4	1/2"	HEAVY STATION TEE		T1234931
	4	1/2" X 1/4"	NEEDLE VALVE - 5000"		T1235472
	4	1/4"	BULL PLUG		T1233500
(59)					
(60)					

PIP|N

4" PIPE - API5L-X-52 EW, .237 WALL, BARE - T1220088 - 42'

6" PIPE - API5L-X-42 EW, .219 WALL, BARE - T1220089 - 105'

4" PIPE - API5L-X-52 EW, .237 WALL, COATED - 133122 - 0'

6" PIPE - API5L-X-52 EW, .219 WALL, COATED - 133120 - 0'

NOTE

ALL RISERS SHALL BE WRAPPED IN SHOP
WITH SYNTHOGLASS WRAP AT APPROXIMATE
GROUND INTERFACE PRIOR TO BEING SENT
TO PAINT SHOP.

[illegible]

02/20/2024

Q-21 21 -1 05364-C90
I/O: 00224001 49GC

**WISCONSIN PUBLIC
SERVICE CORP.**

PIPING SECTIONS AND B.O.M.
VIRGINIA & COMMERCE DRS

SHEBOYGAN, WISCONSIN

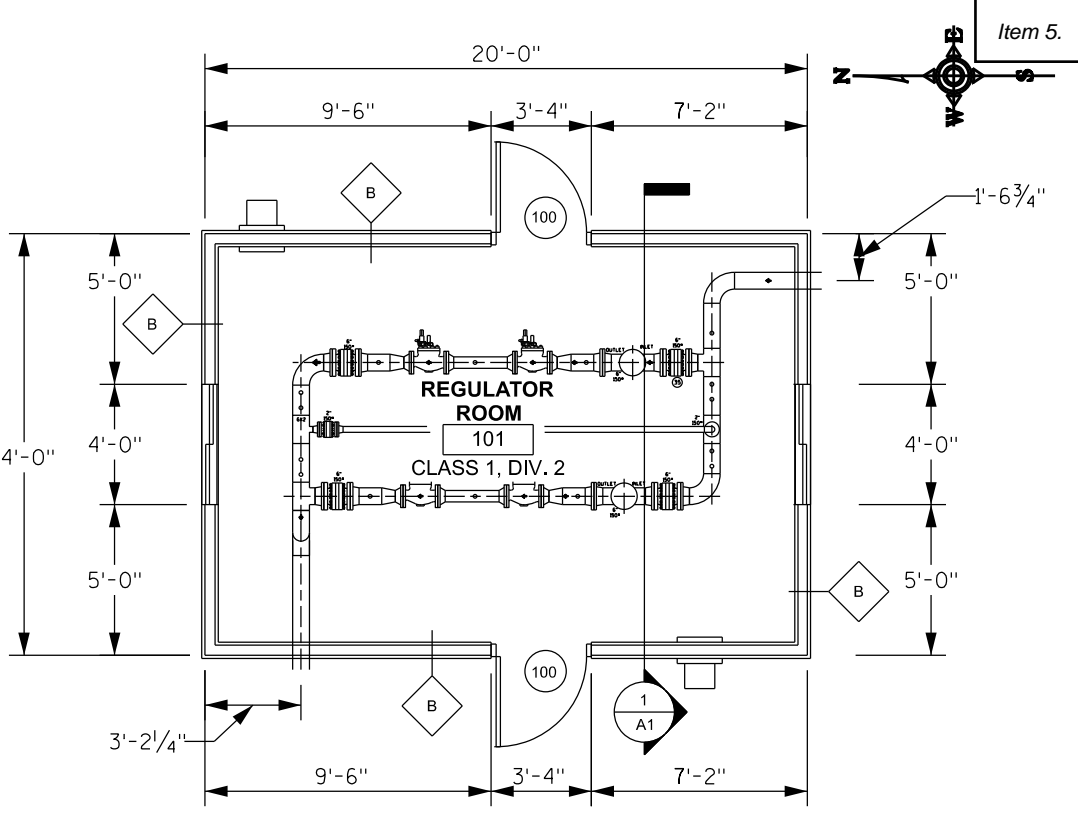
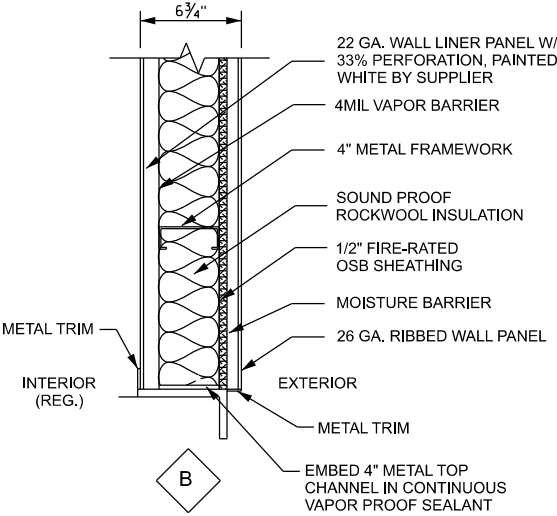
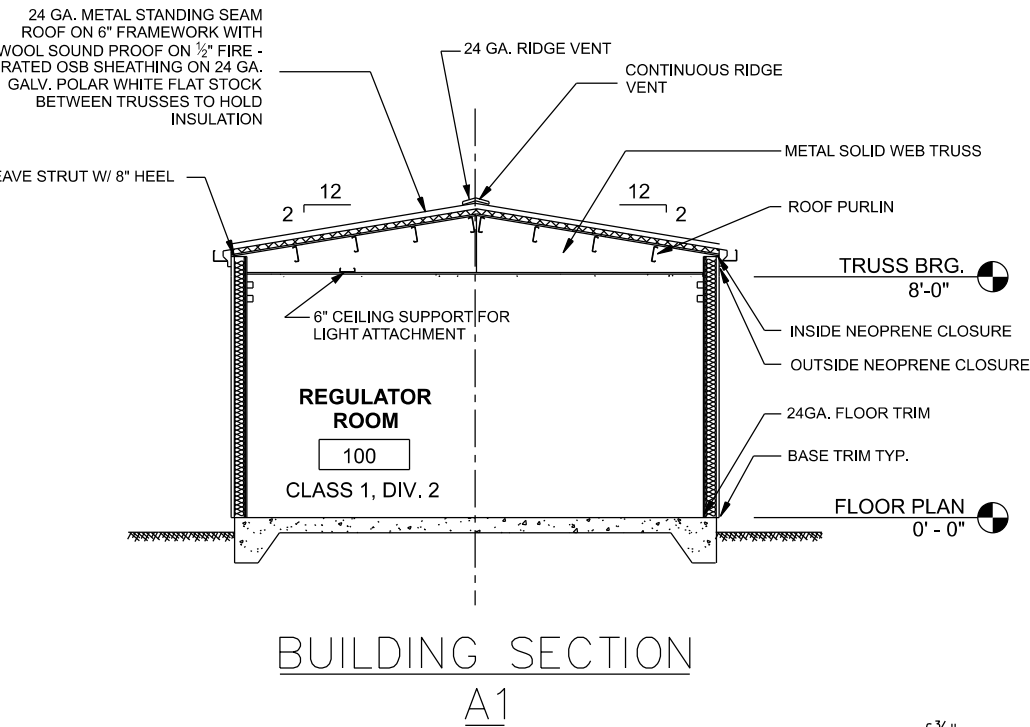
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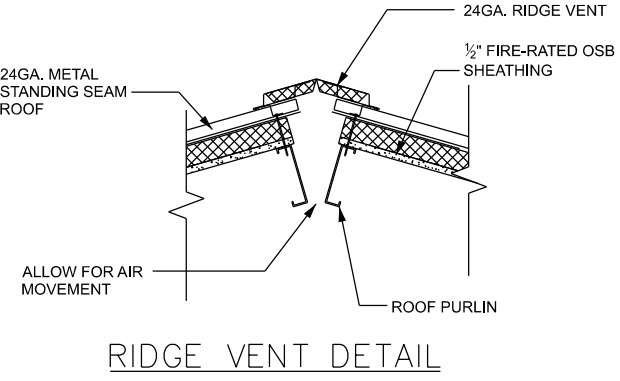
50-40256 PAGE 4 OF 4

DOOR SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	INSULATED	MATERIAL	GAUGE	FINISH		MATCH TO EXISTING	BORROWED LITE	BORROWED LITE SILL HGHT.	MATERIAL	GAUGE	HEAD THICKNESS	JAMB THICKNESS	SIDELITE WIDTH	FINISH	MATCH TO EXISTING	DETAILS		FIRE RATING	CYLINDER ONLY	LEVER LOCK SET	LEVER LATCH SET	LEVER PRIVACY	PANIC DEVICE	PUSH/PULL	HINGES (PAIR)	NON-REMOV. PINS	DOOR STOP	CLOSER W/HOLD OPEN OPTION	KICK PLATE		FLUSH BOLTS	SURFACE BOLTS	ELECTRIC STRIKE	LATCH GUARD	RAIN GUARD	THRESHOLD/SWEEP	WEATHER STRIP	FINISH	MATCH TO EXISTING	GLAZING																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											

DOOR TYPE: 1 = FLUSH; 2 = NARROW LITE; 3 = HALF LITE; 4 = FULL LITE
NOTES: 1. PROVIDE S.S. PULL HANDLE MOUNTED ON INSIDE FACE OF DOOR.



- GENERAL NOTES:
- DIMENSIONS ARE TO THE FACE OF STRUCTURAL FRAMING, CENTER OF OPENING OR PIPE, UNLESS OTHERWISE NOTED.
 - CONFIRM ALL PIPE PENETRATION LOCATIONS PRIOR TO BUILDING ASSEMBLY.
 - EVERGREEN EXTERIOR AND PATRICIAN BRONZE TRIM.



NOTES FOR BUILDING EXTERIOR

WALL AND ROOF PANELS TO BE "EVERGREEN"
DOORS AND TRIM TO BE "PATRICIAN BRONZE"

0-2121-105364-C90
1/0: 0022400149GC

NO.	DATE	REVISIONS DESCRIPTION	BY
1			

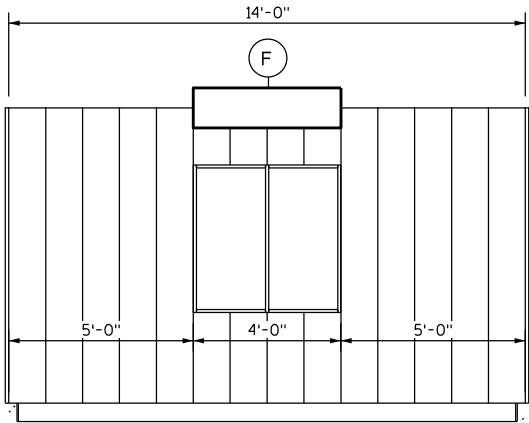
WISCONSIN PUBLIC SERVICE CORP.

REGULATOR BUILDING AND FOUNDATION DETAILS
VIRGINIA & COMMERCE DRS
SHEBOYGAN, WISCONSIN

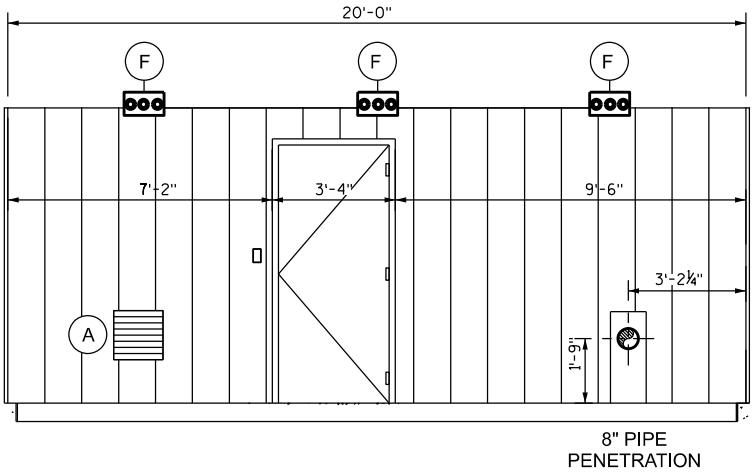
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DWG. NO. 50-40256BLOC PG 1 OF 3

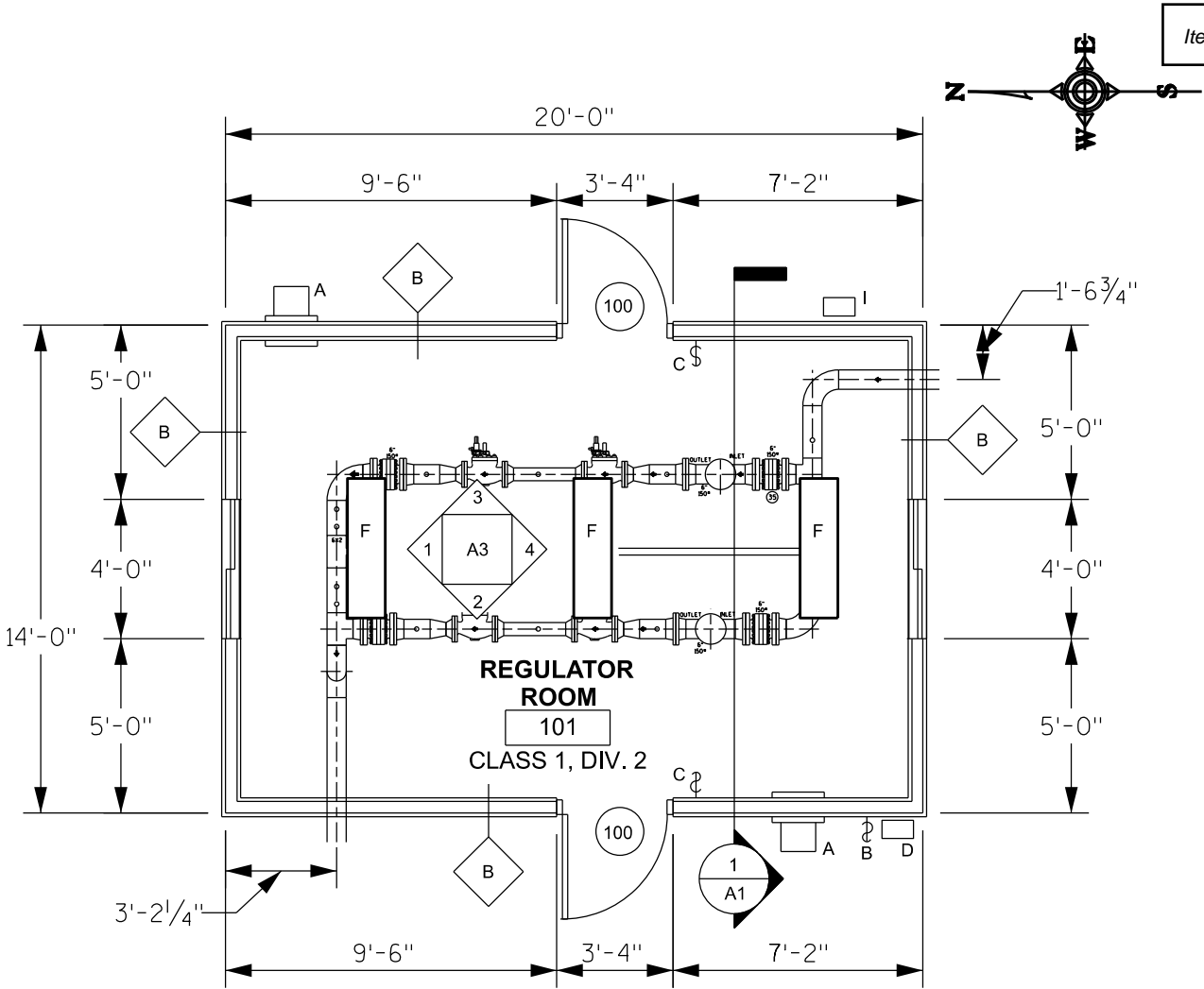
EQUIPMENT SCHEDULE		
MARK	QTY.	DESCRIPTION
A	2	ADJUSTABLE LOUVER W/FILTER & FILTER RACK AND OUTSIDE HOOD, 18" X 18"
B	1	SWITCH, WEATHER PROOF, SINGLE POLE, 20A
C	2	SWITCH, HAZARDOUS, THREE-WAY, 20A
D	1	EXTERIOR LIGHT FIXTURE, 100W, WALL PACK W/FULL CUT OFF, DUSK TO DAWN
F	3	LIGHT FIXTURE, HAZARDOUS, FLORESCENT W/HOOD AND GUARD, 3 LAMP, 4' LONG, LDPI OR SIMILAR
I	1	HAZARDOUS LOCATION JUNCTION BOX OR CONDUIT BOX



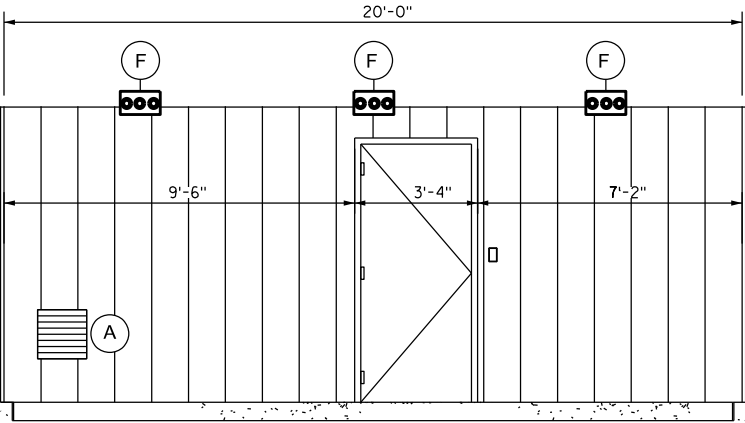
(1) REG ELEVATION N



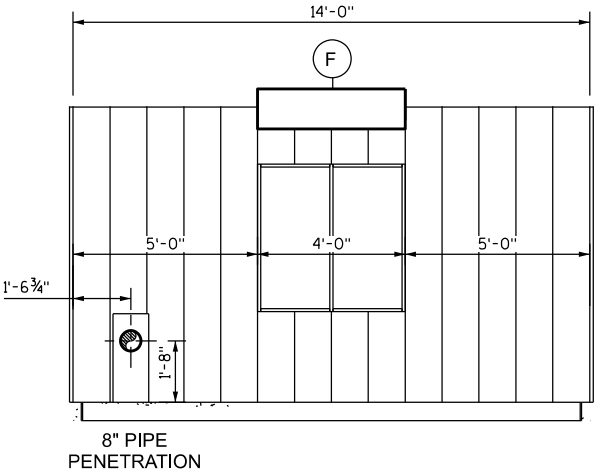
(2) REG ELEVATION W



FLOOR PLAN



(3) REG ELEVATION E



(4) REG ELEVATION S

0-2121-105364-C90
I/O: 0022400149GC

NO.	DATE	REVISIONS	BY
1			

03/13/2024

WISCONSIN PUBLIC SERVICE CORP.

REGULATOR BUILDING AND FOUNDATION DETAILS
VIRGINIA & COMMERCE DRS

SHEBOYGAN, WISCONSIN

SCALE: 1/8" = 1'-0"

DESIGNED BY: ESS

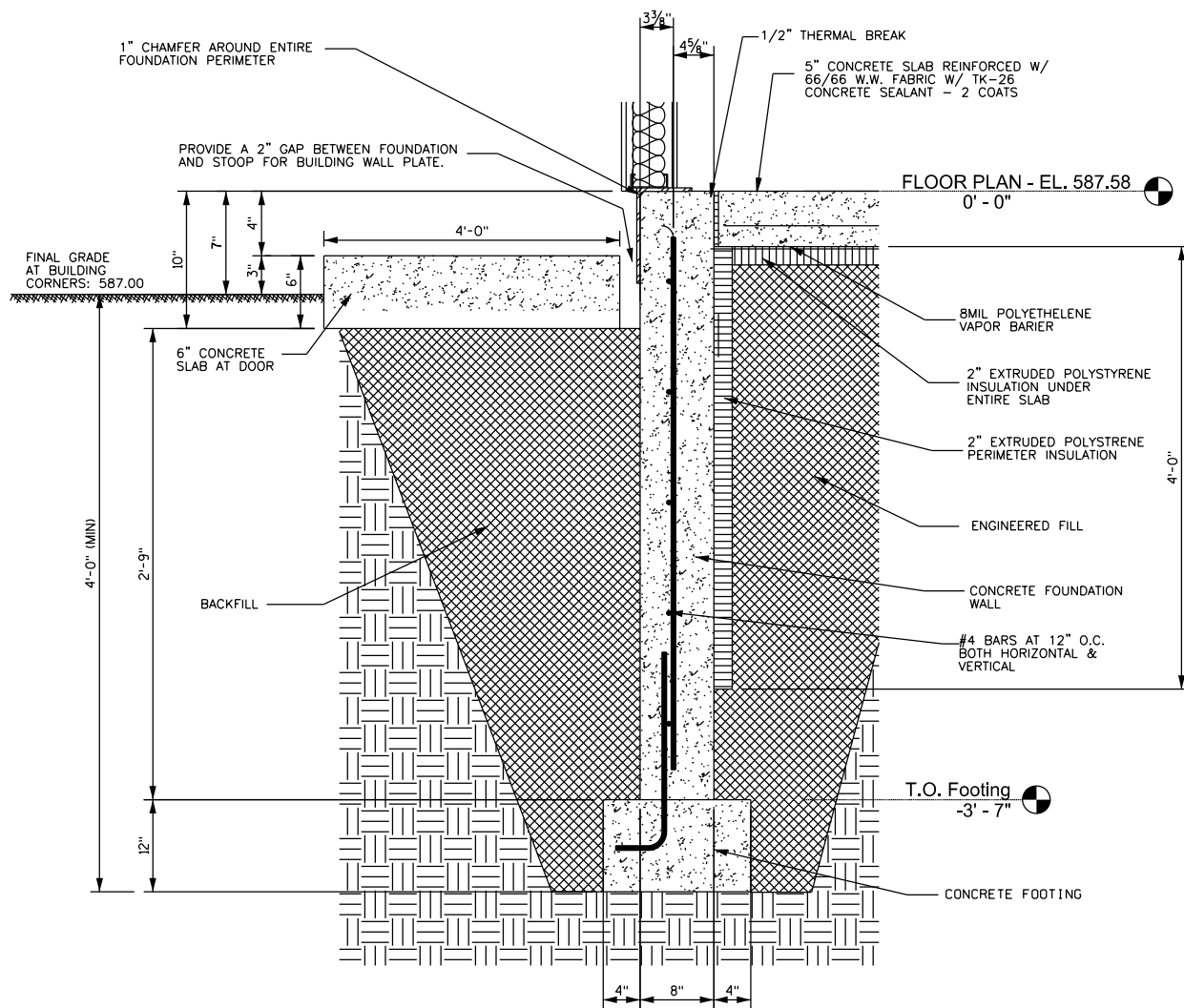
CHECKED BY:

APPROVED BY:

26

DWG. NO. 50-40256

BLOC PG 2 OF 3



(1) TYPICAL FOUNDATION DETAIL—
REGULATOR BUILDING

GENERAL NOTES:

- ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH THE WISCONSIN ENROLLED COMMERCIAL CODE.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REGLETS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE DRAWINGS.
- OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER/ARCHITECT.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCISE.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.

FOUNDATION NOTES:

- ALL FOUNDATIONS SHALL BE SUPPORTED ON APPROVED EXISTING SUBGRADE OR APPROVED COMPACTED STRUCTURAL FILL HAVING AN ALLOWABLE BEARING CAPACITY OF 1500 PSF (ASSUMED)(MINIMUM).
- ALL EXTERIOR AND INTERIOR FOUNDATIONS SHALL BEAR ON APPROVED SUBGRADE AT A MINIMUM DEPTH OF 5'-10" BELOW FINISH EXTERIOR GRADE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
- THE CONTRACTOR SHALL PROVIDE CONTROL OF SURFACE AND SUBSURFACE AND SUBSURFACE WATER PROMPTLY TO INSURE THAT ALL FOUNDATION WORK IS DONE IN THE DRY.
- FOUNDATION(S) SHALL NOT BE PLACED ON FROZEN SUBGRADE.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS-ON-GRADE FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE.
- FOOTING ELEVATIONS, SHOWN ON THE DRAWINGS REPRESENT ESTIMATED DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING THE AMOUNT OF EXCAVATION REQUIRED TO REACH SUITABLE BEARING MATERIAL.
- FOUNDATION WALLS SHALL BE BRACED DURING BACKFILLING AND COMPACTION OPERATIONS. BRACING SHALL BE LEFT IN POSITION UNTILL PERMANENT STRUCTURAL SUPPORT SYSTEMS ARE INSTALLED AND APPROVED BY THE ENGINEER.
- BACKFILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF WALLS.

CONCRETE NOTES:

- CONCRETE SHALL HAVE A MINIMUM 28-DAY ULTIMATE COMPRESSIVE STRENGTH OF 3000-4000 PSI, TYPICALLY 6 BAGS COMMERCIAL- READY MIX CONCRETE.
- SLAB TOLERANCE FOR BOTH LENGTH AND WIDTH: PLUS & MINUS 1/4".
- MEASURED DIAGONAL LENGTHS SHALL BE WITHIN 1/2" OF EACH OTHER.
- VARIATION FROM LEVEL:
 - IN ANY 10' OF LENGTH - 1/8" MAX.
 - FOR THE ENTIRE LENGTH - 1/4" MAX.
- VARIATION FROM FLAT:
 - IN ANY 10' OF LENGTH - 1/8" MAX.
 - FOR THE ENTIRE LENGTH - 1/4" MAX.

CONCRETE REINFORCING NOTES:

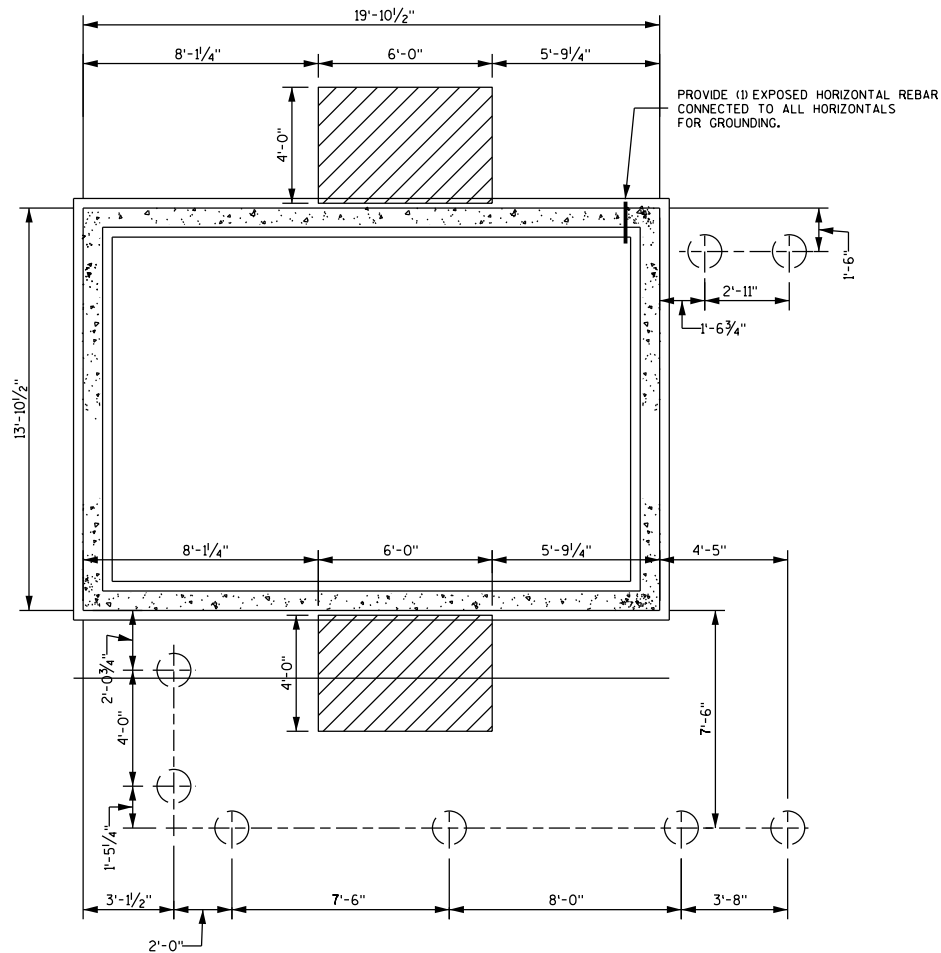
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60), DEFORMED, WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND THE NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.
- CLEARANCES FOR REINFORCEMENT: CONCRETE PLACED DIRECTLY ON EARTH (FOOTINGS, SLABS, ETC.) 3" FROM BOTTOM. AT ALL OTHER CONCRETE PROVIDE 2" CLEAR TO REINFORCING, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON CONTRACT DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.
- WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER SECTION APPLIES.

EARTHWORK NOTES:

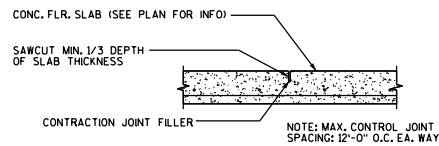
- FILL SHALL BE PLACED IN UNIFORM LAYERS AND COMPACTED TO AT LEAST 95% MODIFIED PROCTOR DENSITY.
- SAND OR GRAVEL FILL SHALL BE PLACED UNDER THE FLOOR IN UNIFORM LAYERS OF SIX TO EIGHT (6-8) INCHES AND MECHANICALLY COMPACTED TO AT LEAST 95% MODIFIED PROCTOR DENSITY.

ENVIRONMENTAL NOTES:

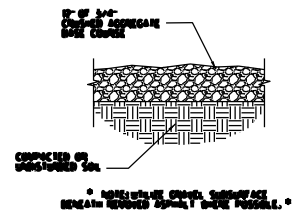
- IN THE EVENT THE CONTRACTOR ENCOUNTERS SOIL OR OTHER MEDIA WHICH, BASED ON ITS APPEARANCE, ODOR, OR OTHER MEANS OF DETECTION, APPEARS TO BE CONTAMINATED, WORK IN THE IMMEDIATE AREA WILL CEASE AND THE CONTRACTOR SHALL NOTIFY WPSO WPSO WILL REPORT THE SUSPECTED CONTAMINATION TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, IF APPROPRIATE. THE CONTRACTOR SHALL NOT RESUME WORK UNTIL NOTIFIED TO DO SO BY WPSO.



REGULATOR BUILDING
FOUNDATION PLAN



TYP. CONTROL JOINT DETAIL



TYPICAL GRAVEL PAVING

NOTES:

AVOID WHENEVER POSSIBLE DAMAGING FLOWERING PLANTS THAT ARE NOT DIRECTLY IN THE CONSTRUCTION AREA.

ADD NATIVE FLOWER SEED TO THE RESTORATION.

0-2121-105364-C90
I/O: 0022400149GC

NO.	DATE	REVISIONS	DESCRIPTION	BY
1				

WISCONSIN PUBLIC SERVICE CORP.	
REGULATOR BUILDING AND FOUNDATION DETAILS VIRGINIA & COMMERCE DRS SHEBOYGAN, WISCONSIN	
SCALE	DATE
DRAWN BY	CHECKED BY
TRACED BY	APPROVED BY
DWG. NO.	50-40256
BLDG PG 3 OF 3	

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Site Plan Review by Heidi Loose to operate an adult family home located at 2735 N 31st Pl. SR-5 Suburban Residential Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: June 13, 2024

MEETING DATE: June 25, 2024

APPLICANT PROPOSAL:

Heidi Loose, authorized representative of McKenzie's Mission is proposing to operate an adult family home located at 2735 N 31st Pl. The applicant states the following:

- The property is currently used as a single family home.
- The proposed use is a state licensed 3-4 bed adult family home for developmentally disabled and senior population.
- The plan is to keep the exterior the same, only adding a wheelchair ramp.
- Inside will request permits to level sunken living room, expand bedroom and bathroom doorways to 32", and update bathrooms.
- All renovation to be completed by 5/2025.
- Only 1-2 employees maximum.

STAFF ANALYSIS:

The use is permitted as special use under the Suburban Residential 5 zoning district as a community living arrangement. The site plan review shows that no exceptions are required for the project.

ACTION REQUESTED:

Staff recommends approval of the site plan subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).

3. Outdoor storage of materials or equipment shall be prohibited.
4. All lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
6. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such remodel/renovation.
7. If there are any amendments to the approved special use permit and/or site plan, the applicant will be required to submit a new application reflecting those amendments.

ATTACHMENTS:

Site plan review application and attachments



CITY OF SHEBOYGAN
SPECIAL USE AND SITE PLAN REVIEW
APPLICATION

Fee: \$100

Review Date: _____

Item 6.

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity)	Authorized Representative	Title	
McKenzie's Mission AFH Inc	Heidi Loose	CEO	
Mailing Address	City	State	ZIP Code
518 Fishermans Row	Sheboygan	WI	53081
Email Address	Phone Number (incl. area code)		
mckenziemission@gmail.com	920-627-3079		

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind., Org. or Entity)	Contact Person	Title	
Sam Walker	Sam Walker	Current Home Owner	
Mailing Address	City	State	ZIP Code
2735 N. 31st Pl	Sheboygan	WI	53083
Email Address	Phone Number (incl. area code)		
samwalker9491@gmail.com	920-946-4546		

SECTION 3: Architect Information

Name			
NA			
Mailing Address	City	State	Zip
Email Address		Phone Number (incl. area code)	

SECTION 4: Contractor Information

Name			
NA			
Mailing Address	City	State	Zip
Email Address		Phone Number (incl. area code)	

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print)	Title	Phone Number
Heidi J Loose	CEO	920-627-3079
Signature of Applicant		Date Signed
		6-4-2024

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Item 6.

Parcel No. 59281609410

Zoning Classification SR-S

Name of Proposed/Existing Business:

Address of Property Affected:

2735 N 31st Pl

New Building: ☐Addition: ☐Remodeling: ☐**SECTION 7: Brief Description of Type of Structure**

Residence - single family ranch with basement
3 Bed 2 bath built in 1970's
remodeled in 1990's

SECTION 8: Description of EXISTING Operation or Use

Owner occupied single family residence

SECTION 9: Description of the PROPOSED Operation or Use

State licensed 3-4 bed adult family home for developmentally disabled and senior population. Plan to keep exterior the same only adding a wheelchair ramp. ~~Ma~~ Inside will request permit to level sunken living room, expand bedroom & bathroom doorways to 32" & update bathrooms. All renovation to be completed by 05/2025. Only 1-2 employees maximum.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Camp Evergreen to construct an addition to the Camp Evergreen facilities located at 2776 N. 31st Pl. SR-5 Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 1, 2024

MEETING DATE: July 9, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Camp Evergreen is proposing to construct an addition to the Camp Evergreen facilities located at 2776 N. 31st Pl. The applicant states the following:

- Camp Evergreen built the existing facility in 1989. Outdoor pool was added and since modified in 2016 to provide full accessibility.
- Building is set into a well wooded area with grade dropping to the north beyond the pool.
- As the new addition is proposed on the back of the existing facility, the visibility of the high roof is the only element that will be visible from the existing cul du sac.
- Camp Evergreen is continually fundraising for the new addition/pool enclosure. They have also submitted for a State Grant, approval is pending (extending into fall before approval).
- Camp would like to start construction this fall with occupancy, likely spring 2025. Construction cost is estimated at \$1.4Mil to \$2.1Mil, if State grant is approved.

Site improvements include:

- The proposed project is to add an addition to the existing facility that will enclose the existing outdoor pool, thus creating a indoor pool that the camp can use year round.

- Interior structure is proposed to be exposed GluLam.
- The exterior façade is to keep similar aesthetic to the original camp facility. 4 alternates are pursued pending grant approval.
 1. Base project concrete sidewalk to pool door. Add alternate exterior wood deck with composite decking boards and metal guardrail.
 2. Base project wood siding and trim to match existing. Add alternate strand substrate siding and trim.
 3. Base project asphalt singles to match existing. Add alternate 16" wide metal standing seam roof panels.
 4. Base project no skylights. Add alternate roof ridge skylights.
- No additional signage proposed for this project addition.

STAFF COMMENTS:

The applicant is requesting the following exceptions:

- Requesting a variance from the locational landscaping requirements

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, demolition, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin, Federal, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
3. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a proposed landscape plan prior to building permit issuance. Landscaping shall be installed prior to issuance of an occupancy permit.
5. Outdoor storage of materials, products or equipment shall be prohibited (except as authorized/approved by the Plan Commission).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
7. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
10. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City

specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).

11. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
15. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
16. Applicant shall adequately address all Fire Department concerns related to this development.
17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
18. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use, architectural review, etc. reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and Attachments

	<p align="center">CITY OF SHEBOYGAN</p> <p align="center">APPLICATION FOR CONDITIONAL USE</p>	<div align="right">Item 7.</div>	
		Fee: \$250.00	
		Review Date: July 8&9 2024	
		Zoning: 5 District	

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Camp Evergreen		Authorized Representative Mark Ellis	
Title Executive Director			
Mailing Address 2776 N. 31st Pl.	City Sheboygan	State WI	ZIP Code 53083
Email Address campevergreen1926@gmail.com		Phone Number (incl. area code) 920-452-4221	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity)		Contact Person	
Title			
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description 2776 N. 31st Place, Sheboygan, WI 53083		Parcel No. 59281630792 & 59281628964	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	Camp Evergreen		
Existing Zoning:	Suburban Residential - 5 District		
Present Use of Parcel:	Community recreation center for adults & children with cognitive & physical disabilities		
Proposed Use of Parcel:	Community recreation center for adults & children with cognitive & physical disabilities		
Present Use of Adjacent Properties:	Adjacent properties to West, East, and South are residential suburban properties, adjacent property to North is a park property owned by City of Sheboygan Evergreen & Jaycee Parks		
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Mark Ellis		Title Executive Director	Phone Number 920-452-4221
Signature of Applicant 		Date Signed 6-20-2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

NARRATIVE – ARCHITECTURAL REVIEW

June 18, 2024

PROJECT NAME AND ADDRESS

Camp Evergreen Pool Enclosure
2776 N 31st Place
Sheboygan, Wisconsin 53083

EXISTING SITE CONDITIONS

Camp Evergreen built the existing facility in 1989. Outdoor pool was added and since modified in 2016 to provide full accessibility. Building is set into a well wooded area with grade dropping to the north beyond the pool. As the new addition is proposed on the back of the existing facility, the visibility of the high roof is the only element that will be visible from the existing cul du sac.

CONSTRUCTION & COST

Camp Evergreen is continually fundraising for the new addition/pool enclosure. They have also submitted for a State Grant, approval is pending (extending into fall before approval).

Camp would like to start construction this fall with occupancy, likely spring 2025. Construction cost is estimated at \$1.4Mil to \$2.1Mil, if State grant is approved.

ARCHITECTURE

- The proposed project is to add an addition to the existing facility that will enclose the existing outdoor pool, thus creating an indoor pool that the camp can use year round.
- Interior structure is proposed to be exposed GluLam.
- The exterior façade is to keep similar aesthetic to the original camp facility. 4 alternates are pursued pending grant approval.
 1. Base project concrete sidewalk to pool door. Add alternate exterior wood deck with composite decking boards and metal guardrail.
 2. Base project wood siding and trim to match existing. Add alternate strand substrate siding and trim.
 3. Base project asphalt singles to match existing. Add alternate 16" wide metal standing seam roof panels.
 4. Base project no skylights. Add alternate roof ridge skylights.

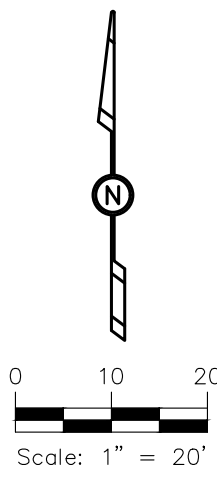
SIGNAGE

No additional signage proposed for this project addition



Curve Table					
Curve #	Delta	Arc	Radius	Bearing	Distance
C1	16°46'56"	49.79'	170.00'	S23°30'58"W	49.62'
C2	58°42'06"	51.23'	50.00'	N36°30'32"W	49.02'

- NOTES:
1. THIS SURVEY IS FOR TOPOGRAPHIC PURPOSES. THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE RELIED UPON AS SUCH.
 2. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
 3. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
 4. COORDINATES ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
 5. ELEVATIONS ARE NAVD88(800125).



- LEGEND**
- Iron Stake Found
 - Power Pole
 - Walk Light
 - Guy Wire
 - Hydrant
 - Manhole
 - Catch Basin
 - Manhole
 - Electric Line
 - Water Line
 - Telecom Line
 - Gas Line
 - Fence
 - Top of Curb Elevation
 - Gutter Elevation

TOPOGRAPHIC SURVEY

FOR: ABACUS ARCHITECTS
1135A MICHIGAN AVENUE
SHEBOYGAN, WI 53081

PART OF THE SW 1/4 OF THE SE 1/4 OF SECTION 9 AND PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 16, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

Revisions:
Added storm and sanitary inverts 1/8/2024
Added Dimensions, Curve table, and a Note 6/10/2024





NORTH RENDERING



REVISIONS:		
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ISSUE DATE: JUNE 6, 2024
POOL ENCLOSURE ADDITION
CAMP EVERGREEN
2776 N 31st PLACE, SHEBOYGAN, WI 53083
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210. MILWAUKEE, WI 53203

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RENDERING

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901

PROJ. NO. 2015-61



SOUTH RENDERING



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RENDERING

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902

PROJ. NO. 2015-61



- #1 BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL.
- #2 BASE BID WOOD SIDING AND TRIM TO MATCH EXISTING. ADD ALTERNATE STRAND SUBSTRATE SIDING AND TRIM.
- #3 BASE BID ASPHALT SINGLES TO MATCH EXISTING. ADD ALTERNATE 16" WIDE METAL STANDING SEAM ROOF PANELS.
- #4 BASE BID NO SKYLIGHTS. ADD ALTERNATE ROOF RIDGE SKYLIGHTS.

NORTH RENDERING
WITH ALTERNATES



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RENDERING WITH ALTERNATES


A
903

PROJ. NO. 2015-61



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SOUTH RENDERING
WITH ALTERNATES



ABACUS
ARCHITECTS

REVISIONS:

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RENDERING WITH ALTERNATES

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INTERIOR RENDERING



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INTERIOR RENDERING

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905

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POOL ENCLOSURE ADDITION

CAMP EVERGREEN

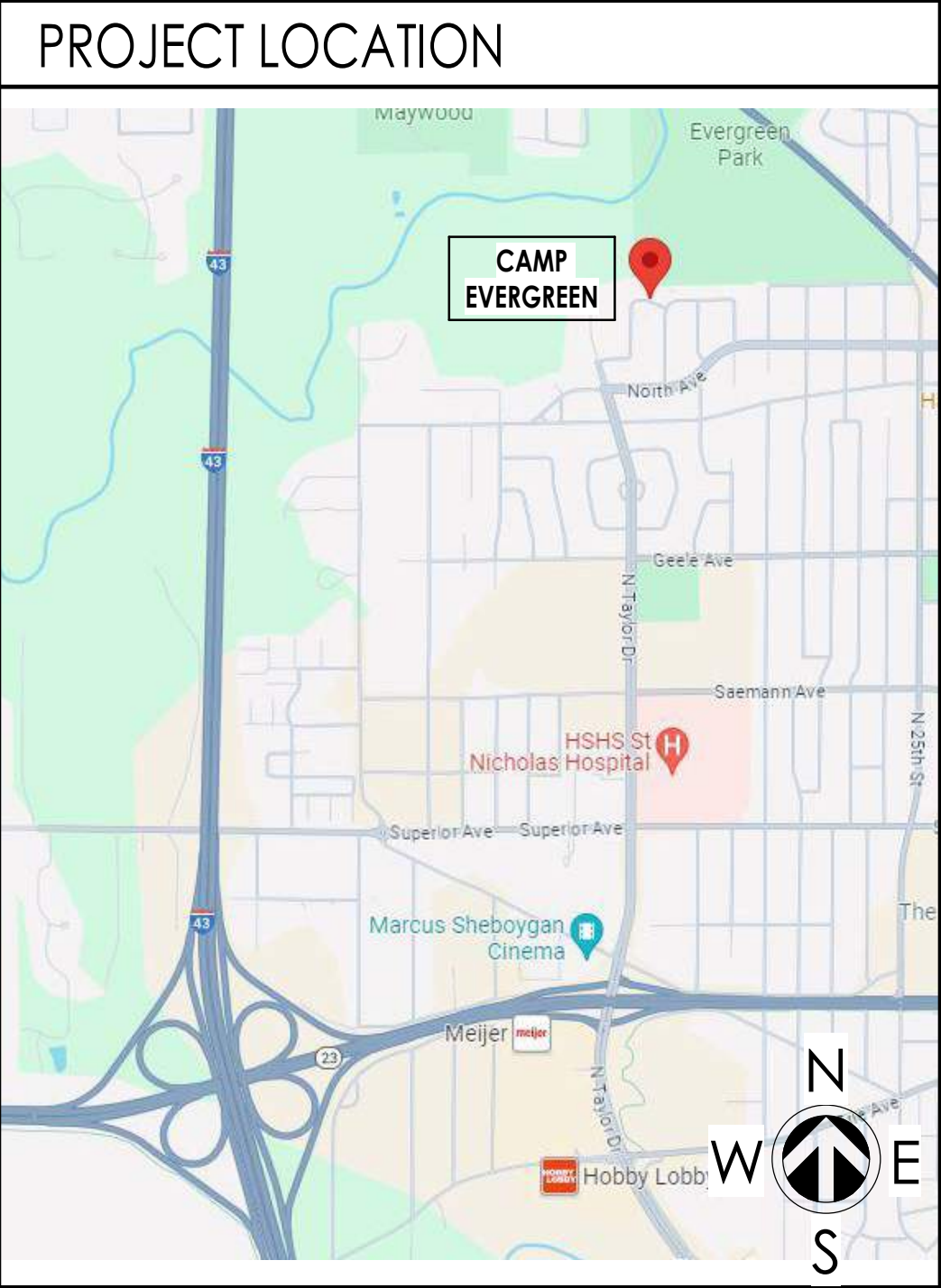
2776 N 31st PLACE, SHEBOYGAN, WI 53083




ARCHITECTURAL & CIVIL		STRUCTURAL	
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444		PIERCE ENGINEERS, INC. 181 N. BROADWAY AVE. MILWAUKEE, WI, 53202 P: 414-278-6060	
A 101	TITLE SHEET	S 001	GENERAL NOTES
A 102	WALL TYPES, ABBREVIATIONS, AND SYMBOLS	S 002	DESIGN CRITERIA
A 200	EXISTING CONDITIONS & DEMO PLAN	S 003	LOADING PLANS
A 201	SITE PLAN	S 100	FOUNDATION PLAN
A 202	UTILITY PLAN	S 200	DECK FRAMING PLAN
A 203	GRADING PLAN	S 300	ROOF FRAMING PLAN
A 204	EROSION CONTROL PLAN	S 400	STRUCTURAL DETAILS
A 205	CIVIL DETAILS	S 401	STRUCTURAL DETAILS
A 301	DEMO PLAN	S 410	WOOD SCHEDULES AND DETAILS
A 302	FLOOR PLAN	S 411	WOOD SCHEDULES AND DETAILS
A 303	REFLECTED CEILING PLAN	S 412	WOOD SCHEDULES
A 401	ROOM FINISH & DOOR SCHEDULES	S 420	STRUCTURAL DETAILS
A 402	DETAILS	S 421	STRUCTURAL DETAILS
A 501	EXTERIOR ELEVATIONS		
A 601	BUILDING SECTIONS		
A 602	WALL SECTIONS		
A 603	WALL SECTIONS		
A 701	ROOF PLAN		
A 801	INTERIOR ELEVATIONS		

PROJECT INFORMATION			
APPLICABLE BUILDING CODES 2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC) 2015 INTERNATIONAL EXISTING BUILDING CODE		EXISTING BUILDING	
MEANS OF EGRESS AND EXIT DISTANCE EXIT ACCESS TRAVEL DISTANCE- WITHOUT SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) = 200FT.		BUILDING AREA EXISTING BUILDING AREA: FIRST FLOOR AREA: 8,564 S.F. ADDITION: 486 S.F. TOTAL: 9,050 S.F. TOTAL BUILDING AREA= 14,967 S.F.	
OCCUPANT LOAD REFER TO SHEET A 302 FOR OCCUPANT LOAD INFORMATION		CONSTRUCTION CLASSIFICATION EXISTING BUILDING: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 402.5) NEW BUILDING ADDITION: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 402.5)	
SANITARY FIXTURES REFER TO SHEET A 302 FOR SANITARY FIXTURE INFORMATION		OCCUPANCY CLASSIFICATION USE GROUPS PRESENT IN THE BUILDING INCLUDE: EXISTING BUILDING: RESIDENTIAL GROUP "R-4" (W.C.B.C. SECTION 310.6.2) NEW BUILDING ADDITION: ASSEMBLY GROUP "A-3" (W.C.B.C. SECTION 303.4)	
FIRE PROTECTION EXISTING BUILDING AND NEW BUILDING ADDITION ARE UN-SPRINKLERED.		ALLOWABLE HEIGHT AND AREA TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 506.2) USE GROUP "R-4" / CONSTRUCTION CLASSIFICATION VB NON-SPRINKLERED ALLOWABLE AREA = 7,000 S.F. FRONTAGE INCREASE (SECTION 506.3) (FRONTAGE / PERIMETER - 0.25) WIDTH / 30 = INCREASE FACTOR (290' / 521' - 0.25) 30 / 30 = .30 TOTAL ALLOWABLE AREA (PER STORY) TABULAR AREA + (TABULAR AREA x FRONTAGE INCREASE) = ALLOWABLE 7,000 + (2,100) = 9,100 S.F. BUILDING HEIGHT (ALLOWABLE) = 2 STORIES / 40'-0" BUILDING HEIGHT (ACTUAL) = 1 STORY / 20'-0" BUILDING AREA (ACTUAL) = 9,050 S.F.	

PROJECT NOTES	
EXTENT OF WORK THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.	
SITE VISIT THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.	
NOTICE TO BIDDERS BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.	
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PROJECT ADD ALTERNATES	
#1	BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL.
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ISSUE DATE: JUNE 6, 2024

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920) 452-4444 | 640 N VEL R. PHILIPS AVE, SUITE 210, MILWAUKEE, WI 53203

DRAWN BY: SH, DB

CHECKED BY: KS

TITLE SHEET

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101

PROJ. NO. 2015-61

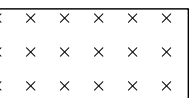
PRELIMINARY - NOT FOR CONSTRUCTION



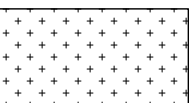
DEMOLITION LEGEND



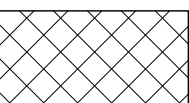
APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO CONSTRUCTION



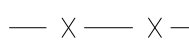
HATCH TYPE INDICATES CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE



HATCH TYPE INDICATES WOOD DECK TO BE REMOVED AND DISPOSED OF OFFSITE



HATCH TYPE INDICATES GRAVEL TO BE REMOVED AND DISPOSED OF OFFSITE



LINE TYPE INDICATES FULL-DEPTH SAWCUT TO BE PERFORMED

NOTE:

SHOULD ADDITIONAL TREES & SHRUBS REQUIRE REMOVAL, CONTRACTOR TO COORDINATE THESE REMOVALS BASED ON PRACTICABILITY AND OWNER'S PREFERENCES.

CONTRACTOR TO COORDINATE RELOCATION OF EXISTING UTILITIES WITH THE APPROPRIATE PUBLIC UTILITIES.

CONTRACTOR TO COORDINATE RELOCATION OF MECHANICAL FACILITIES BASED ON BEST PRACTICES AND SUBCONTRACTOR RECOMMENDATION.



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JUNE 6, 2024
POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 | 414) 837-4450

DRAWN BY: MBS

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EXISTING
CONDITIONS AND
DEMO PLAN

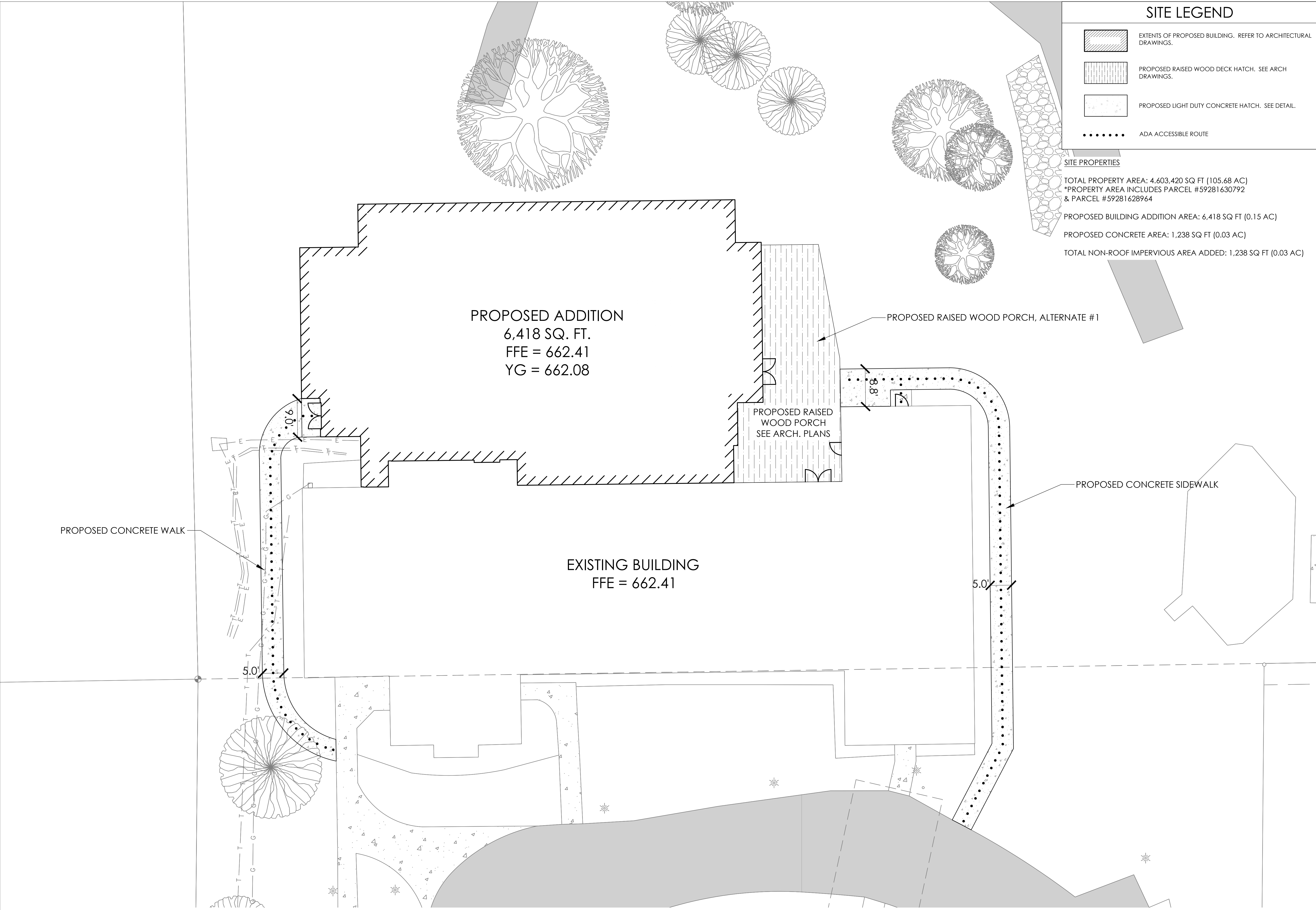
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PROJ. NO. 2015-61

EXISTING CONDITIONS AND DEMO PLAN

SCALE: 1"=20'





SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED RAISED WOOD DECK HATCH. SEE ARCH DRAWINGS.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- ADA ACCESSIBLE ROUTE

SITE PROPERTIES

TOTAL PROPERTY AREA: 4,603,420 SQ FT (105.68 AC)
 *PROPERTY AREA INCLUDES PARCEL #59281630792 & PARCEL #59281628964

PROPOSED BUILDING ADDITION AREA: 6,418 SQ FT (0.15 AC)
 PROPOSED CONCRETE AREA: 1,238 SQ FT (0.03 AC)
 TOTAL NON-ROOF IMPERVIOUS AREA ADDED: 1,238 SQ FT (0.03 AC)



REVISIONS:

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JUNE 6, 2024
 POOL ENCLOSURE ADDITION
 CAMP EVERGREEN
 2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

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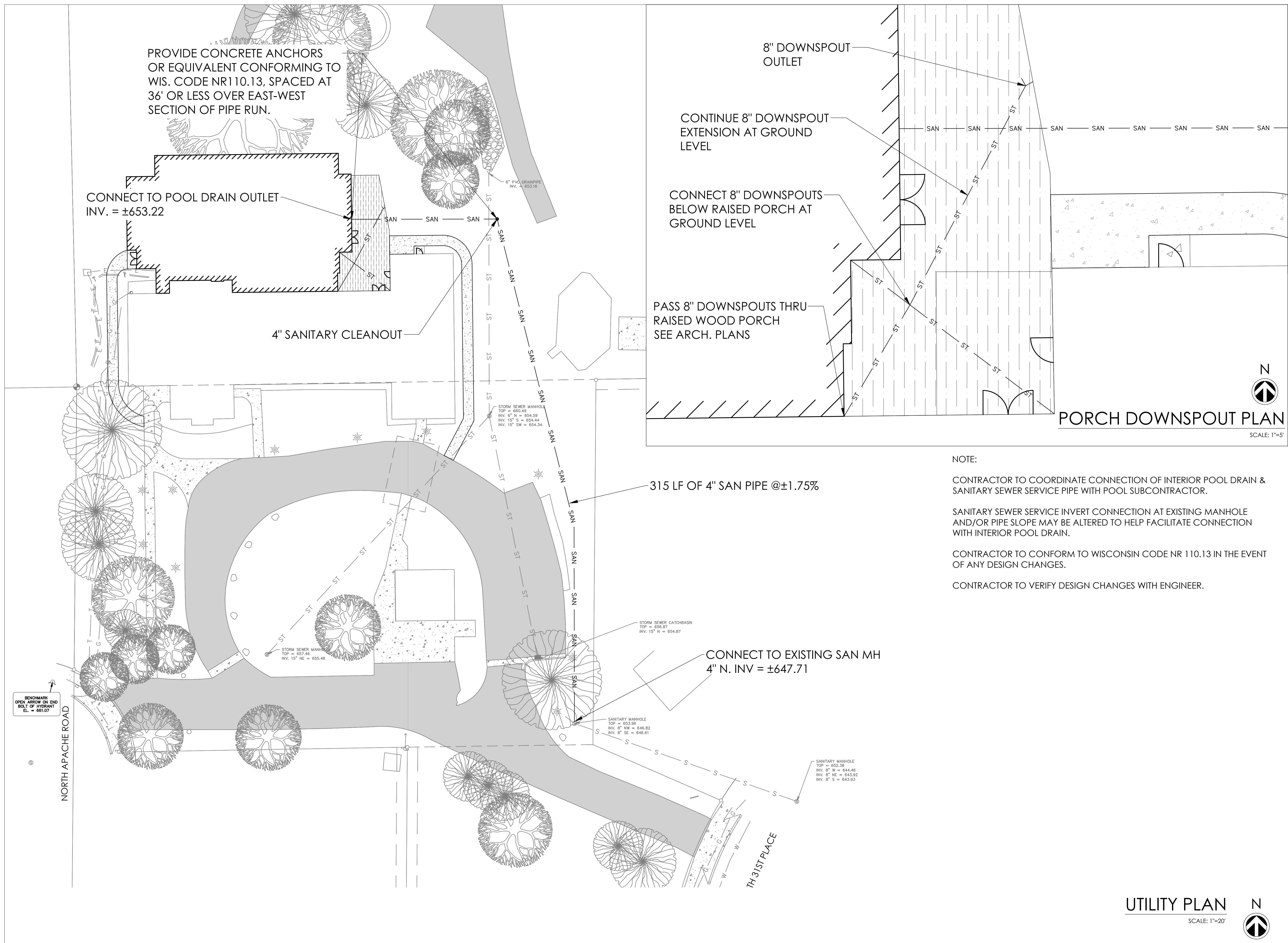
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SITE PLAN

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201

PROJ. NO. 2015-61

SITE PLAN
 SCALE: 1"=10'
 N

The logo for Abacus Architects features a stylized, bold, black geometric symbol above the word "ABACUS" in a large, bold, sans-serif font, with "ARCHITECTS" in a smaller, all-caps, sans-serif font below it.

REVISIONS:

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JUNE 6, 2024

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UTILITY PLAN

A
202

PROJ. NO. 2015-61



	PROPOSED CONTOUR
	EXISTING CONTOUR
 595.00	PROPOSED SPOT ELEVATION
 595.00±	MATCH EXISTING ELEVATION

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GRADING PLAN

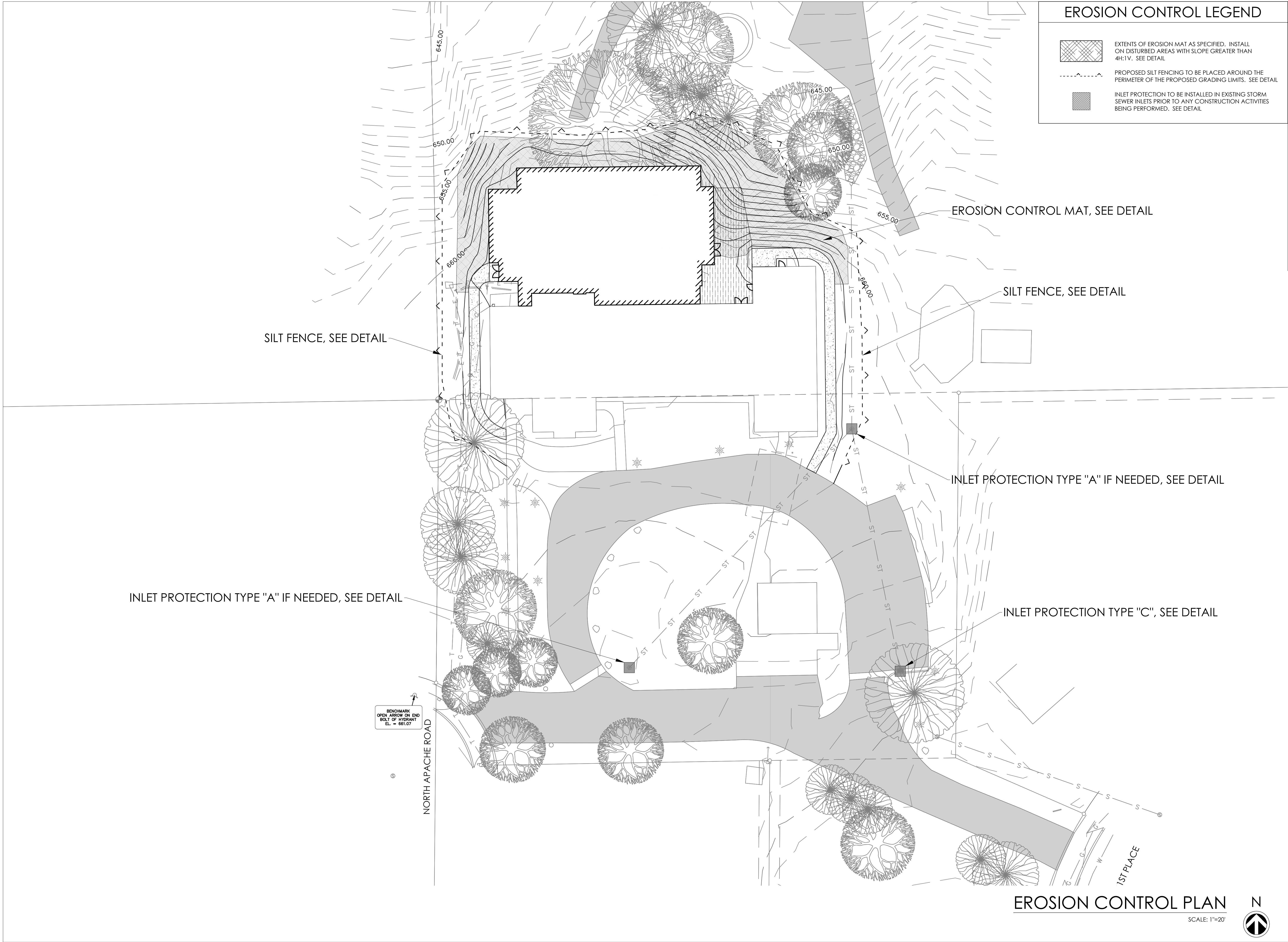
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PROJ. NO. 2015-61

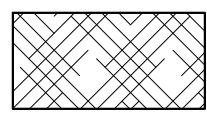
GRADING PLAN

SCALE: 1"=10'





EROSION CONTROL LEGEND



EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.



PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.



INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.



REVISIONS:

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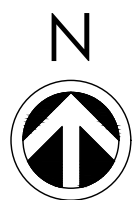
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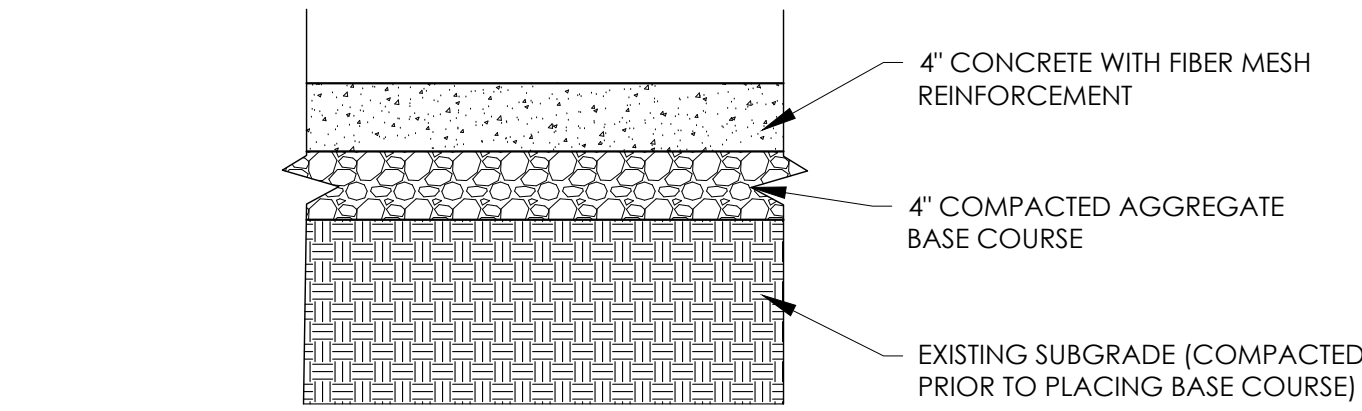
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EROSION CONTROL PLAN

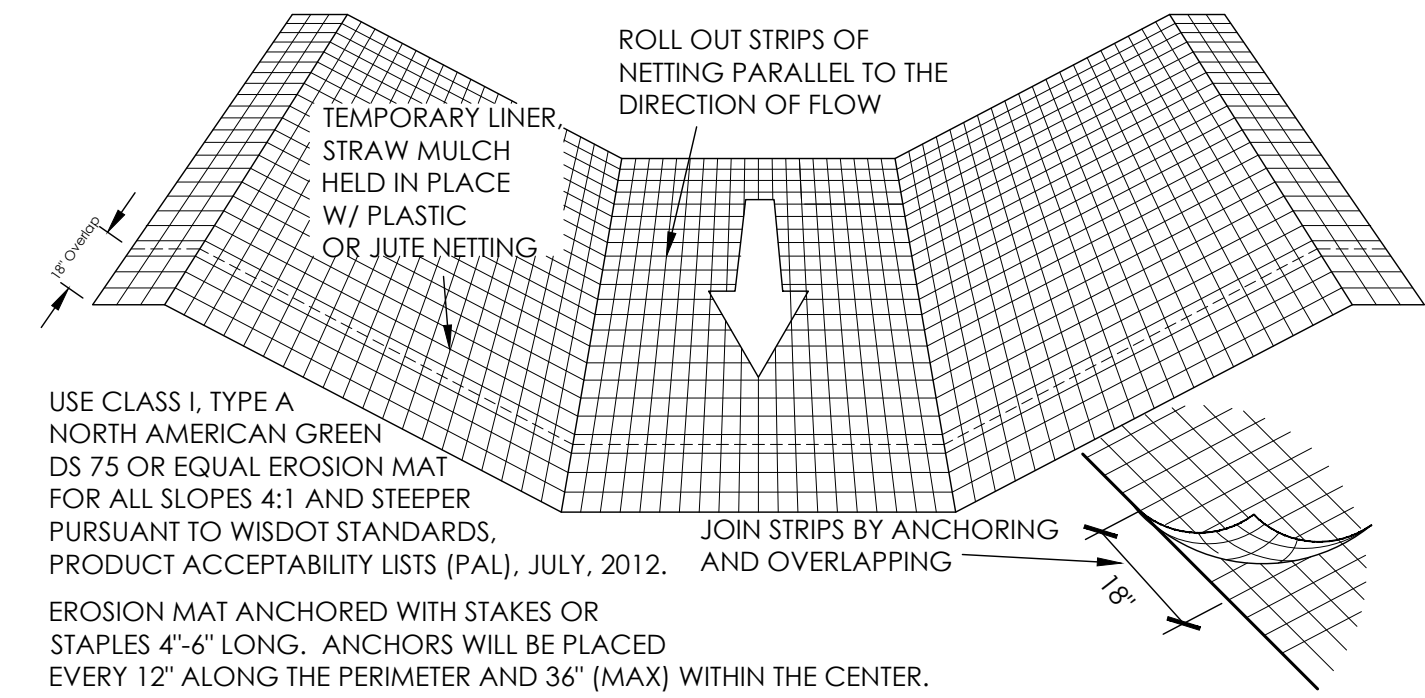
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PROJ. NO. 2015-61

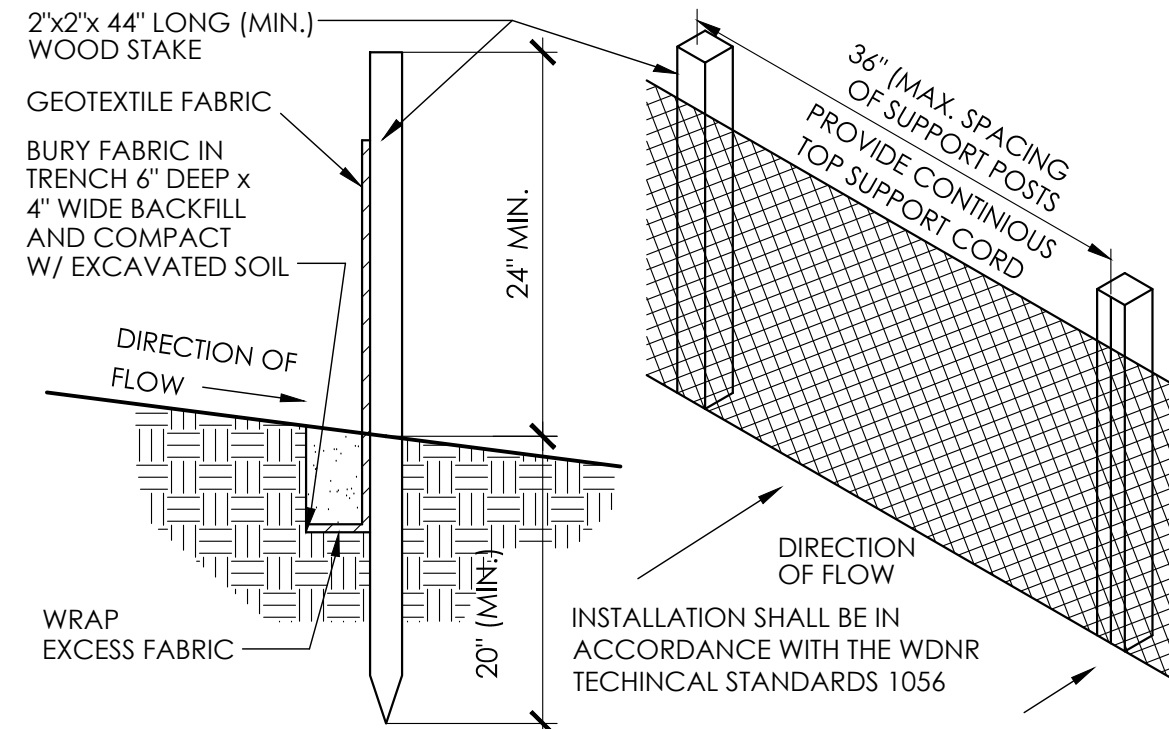




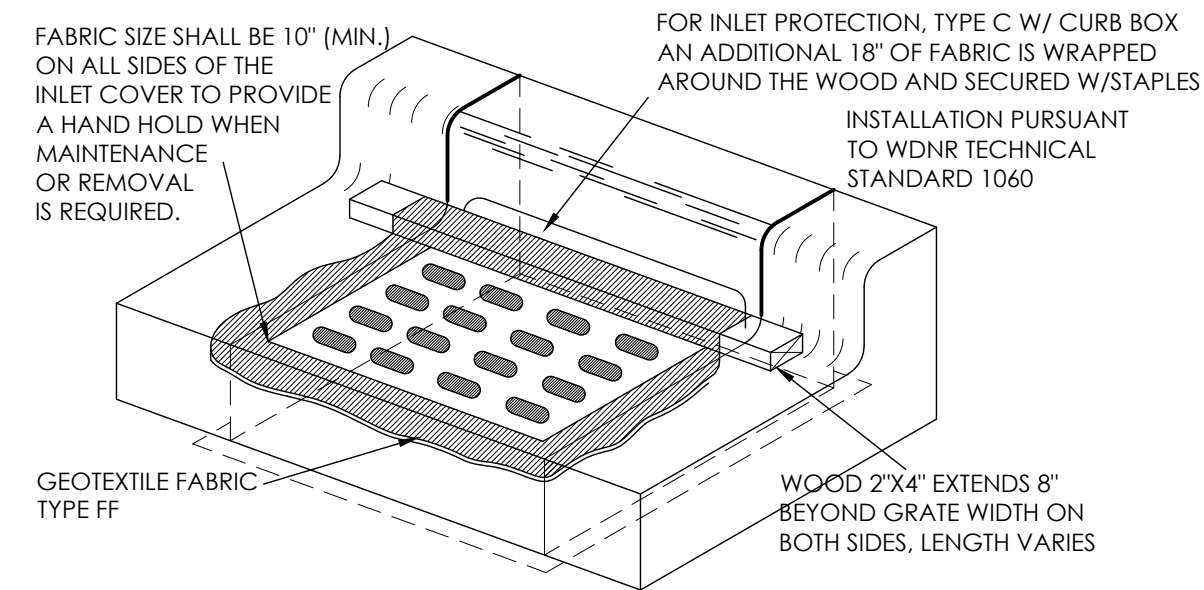
CONCRETE SIDEWALK CROSS SECTION



EROSION MATTING DETAIL
(FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)

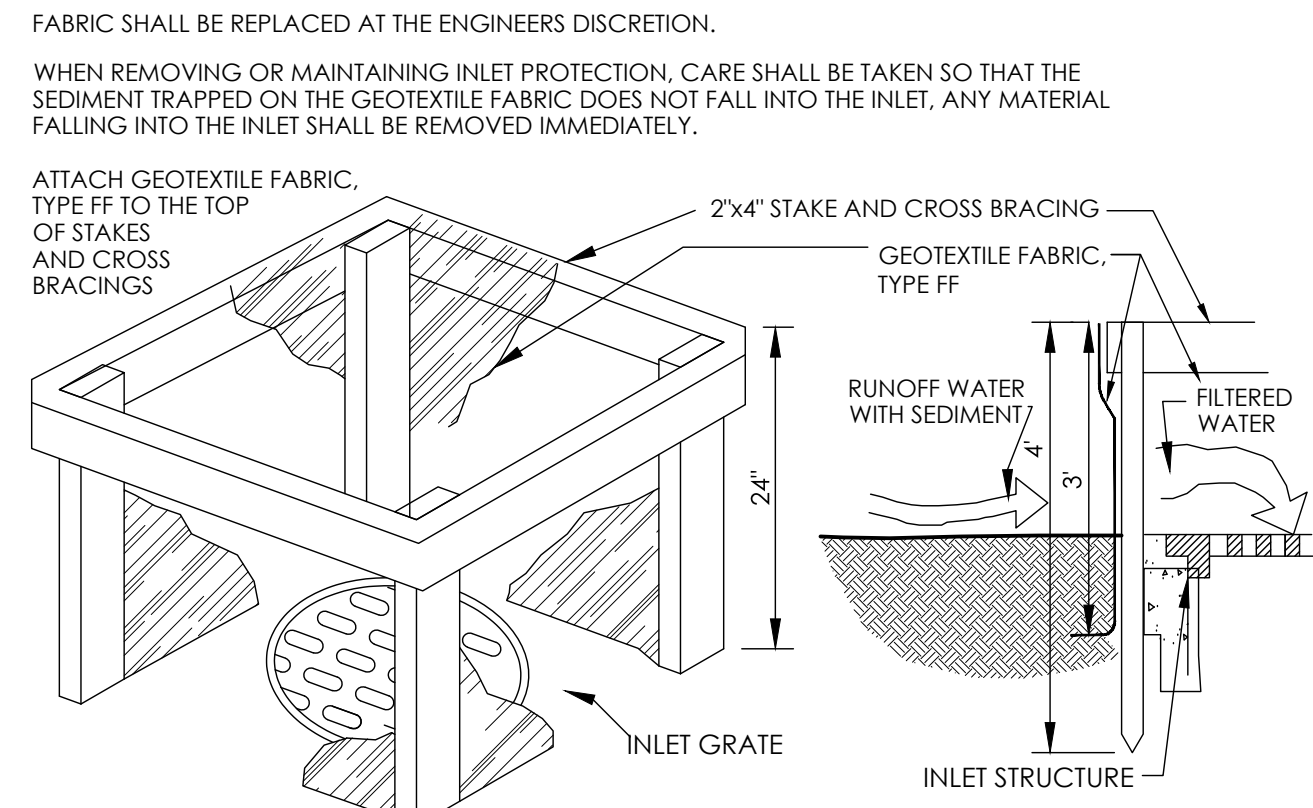


SILT FENCE SECTION & DETAIL



INLET PROTECTION, TYPE 'C'

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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JUNE 6, 2024
POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 | 414) 837-4450

DRAWN BY: MBS

CHECKED BY: JRV

DETAILS

A
205

PROJ. NO. 2015-61

DETAILS



REVISIONS:

DATE ISSUE

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1135A WICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SH, DB

CHECKED BY: KS

FLOOR PLAN

A
302

PROJ. NO. 2015-61

GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	EXISTING POOL
2	EXISTING POOL ACCESS STAIR
3	EXISTING POOL ACCESS RAMP
4	SKYLIGHT ABOVE - ALTERNATE
5	SLOT TRENCH DRAIN
6	HOYER LIFT
7	CONCRETE POOL DECK, PITCH TO DRAIN
8	2 HOUR FIRE SUTTER AT PASS-THRU COUNTER
9	DRINKING FOUNTAIN WITH BOTTLE FILLER
10	RELOCATED KITCHEN MAKE-UP AIR UNIT
11	EXISTING CRAWL SPACE VENT
12	POOL SUMP CROCK
13	EXISTING POOL HEATER
14	RELOCATED POOL FILTER TANK
15	POOL CHEMICAL TANK
16	WATER SOFTENER AND BRINE TANK
17	WOOD DECK WITH COMPOSITE DECKING BOARDS - ALTERNATE
18	DECORATIVE METAL GUARDRAIL - ALTERNATE
19	RELOCATED ELECTRICAL SERVICE PANEL
20	RELOCATE CRAWL SPACE VENT TO NEW CHASE ENCLOSURE
21	PUSH BUTTON DOOR OPERATORS

OCCUPANT LOAD /
SANITARY FIXTURES

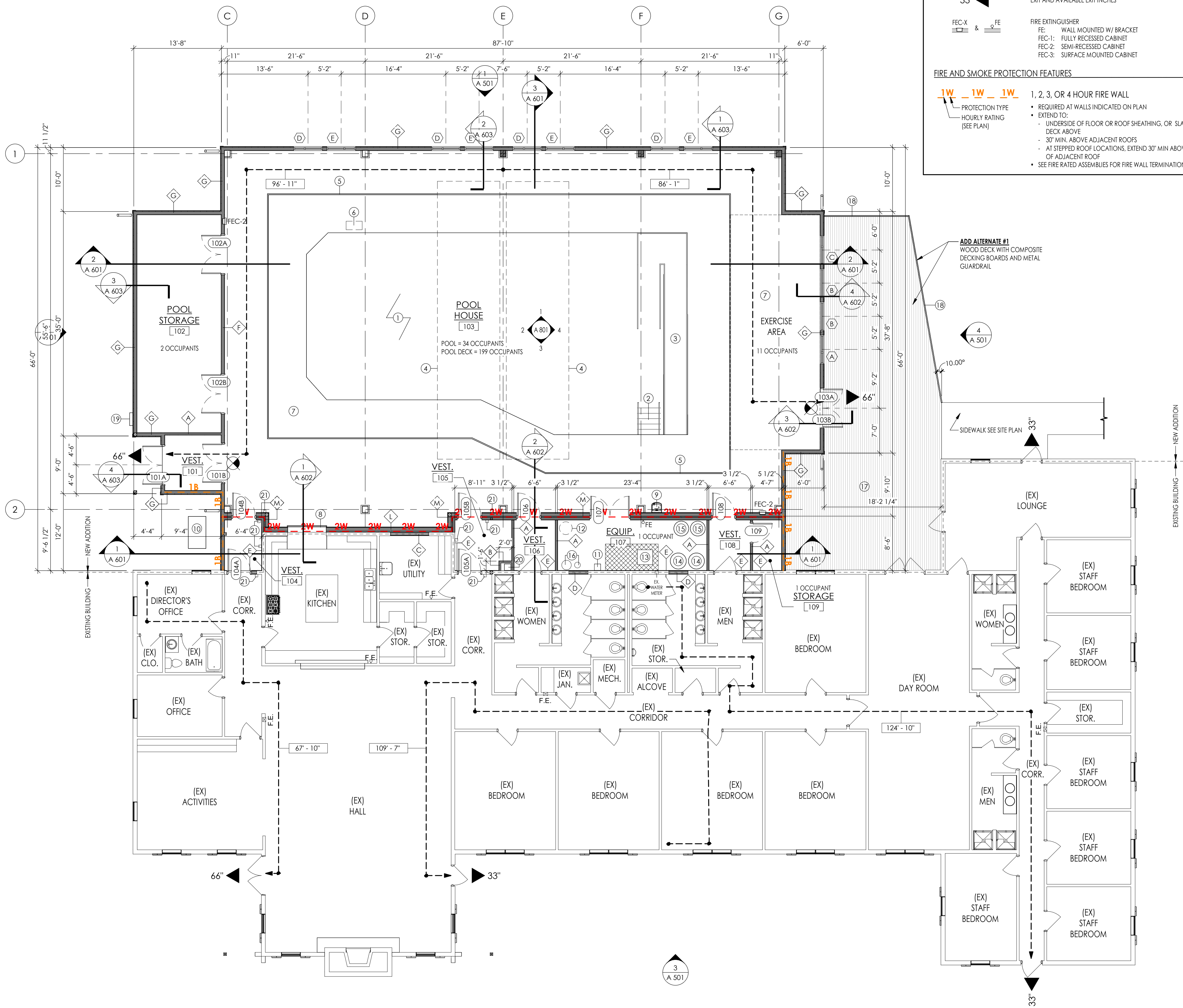
R-4 EXISTING FACILITY OCCUPANT LOAD = 60 OCCUPANTS			
TOILETS	REQUIRED	REQUIRED	
MEN - 30 OCC AT 1/10 =	3 TOILETS		
WOMEN - 30 OCC AT 1/10 =	3 TOILETS		
LAVATORIES	REQUIRED	REQUIRED	
MEN - 30 OCC AT 1/10 =	3 LAVS		
WOMEN - 30 OCC AT 1/10 =	3 LAVS		
SHOWERS	REQUIRED	REQUIRED	
MEN - 30 OCC AT 1/8 =	4 SHOWERS		
WOMEN - 30 OCC AT 1/8 =	4 SHOWERS		
DRINKING FOUNTAIN	REQUIRED	REQUIRED	
60 OCCUPANTS AT 1/100 =	1 DRINKING FOUNTAIN		
SERVICE SINK	REQUIRED	REQUIRED	
	1 SERVICE SINK		

A-3 POOL ENCLOSURE ADDITION OCCUPANT LOAD = 248 OCCUPANTS			
TOILETS	REQUIRED	REQUIRED	
MEN - 124 OCC AT 1/125 =	1 TOILET		
WOMEN - 124 OCC AT 1/65 =	2 TOILETS		
LAVATORIES	REQUIRED	REQUIRED	
MEN - 124 OCC AT 1/200 =	1 LAV		
WOMEN - 124 OCC AT 1/200 =	1 LAV		
SHOWERS	REQUIRED	REQUIRED	
	0 SHOWERS		
DRINKING FOUNTAIN	REQUIRED	REQUIRED	
248 OCCUPANTS AT 1/500 =	1 DRINKING FOUNTAIN		
SERVICE SINK	REQUIRED	REQUIRED	
	1 SERVICE SINK		

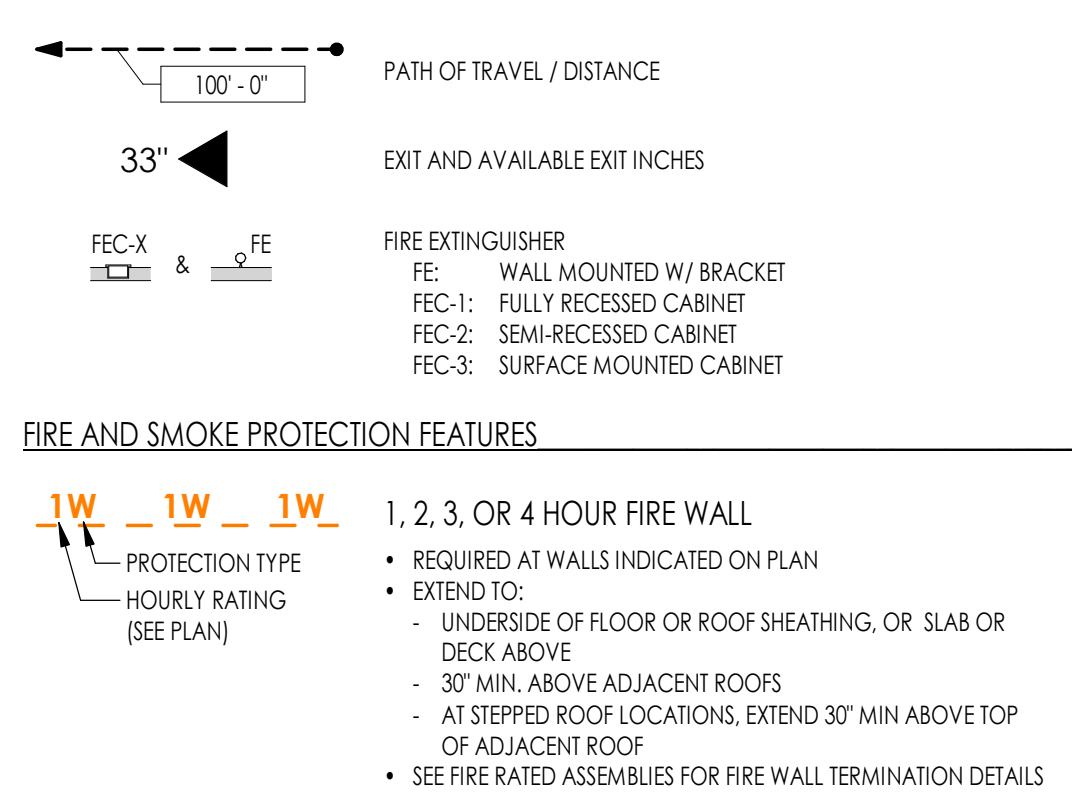
BUILDING REQUIREMENTS		
	REQUIRED	PROVIDED
TOTAL REQUIRED TOILETS FOR MEN =	4	4
TOTAL REQUIRED TOILETS FOR WOMEN =	5	5
TOTAL REQUIRED LAVATORIES FOR MEN =	4	6
TOTAL REQUIRED LAVATORIES FOR WOMEN =	4	6
TOTAL REQUIRED SHOWERS FOR MEN =	4	5
TOTAL REQUIRED SHOWERS FOR WOMEN =	4	5
TOTAL REQUIRED DRINKING FOUNTAINS =	2	1/STAFF PROVIDED VIA KITCHEN
TOTAL REQUIRED SERVICE SINKS =	2	2

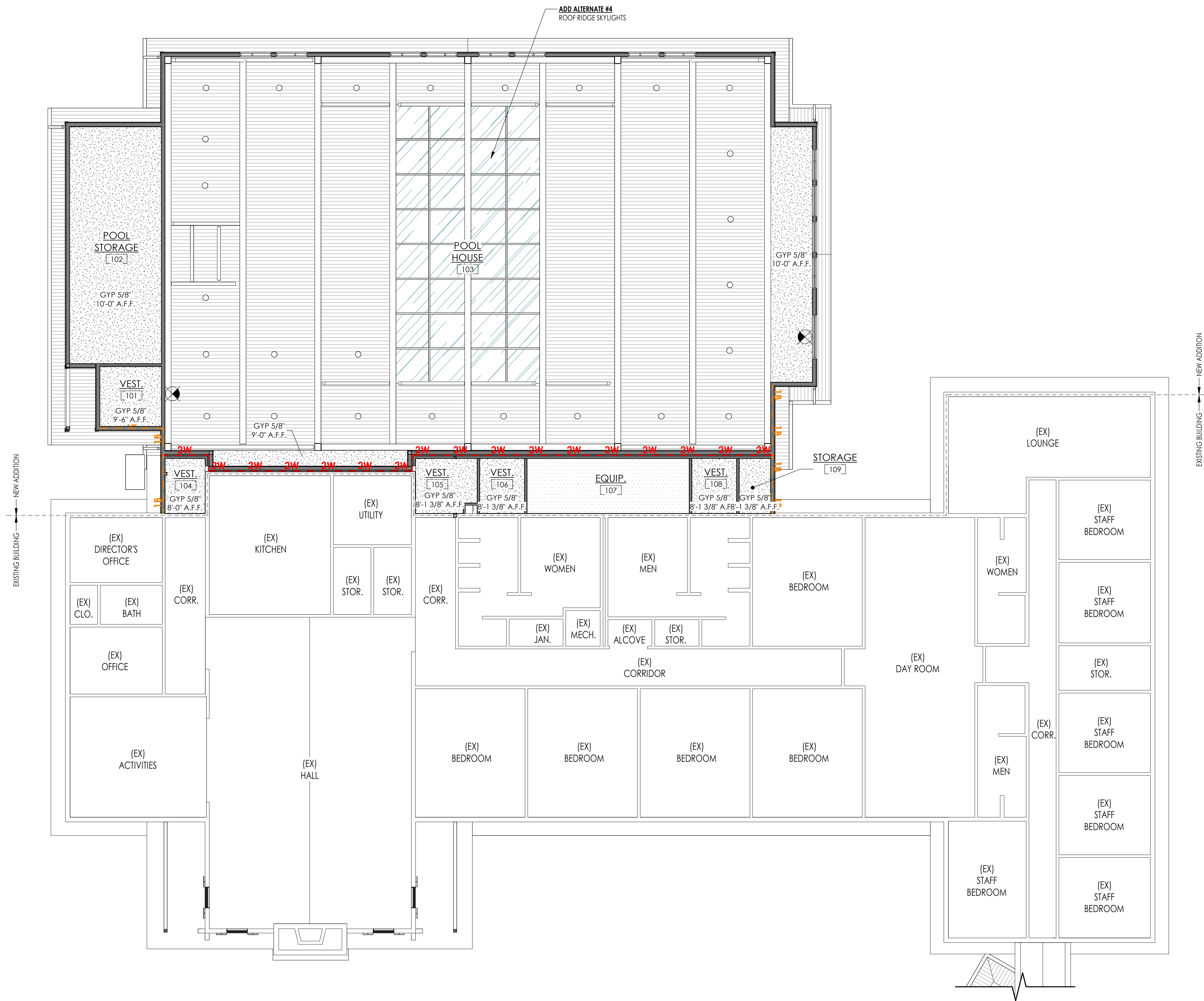
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



LIFE SAFETY PLAN LEGEND





REFLECTED
CEILING PLAN LEGEND

- 2 x 2' ACOUSTIC TILE CEILING
- GYPSUM BOARD
- EXPOSED STRUCTURE
- TONGUE & GROOVE WOOD DECKING
- EXIT LIGHT



REVISIONS:

DATE ISSUE

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CAMP EVERGREEN

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CHECKED BY: KS

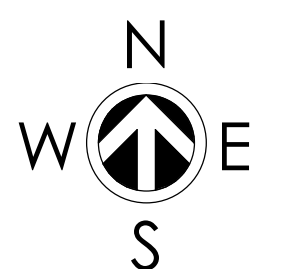
REFLECTED CEILING
PLAN

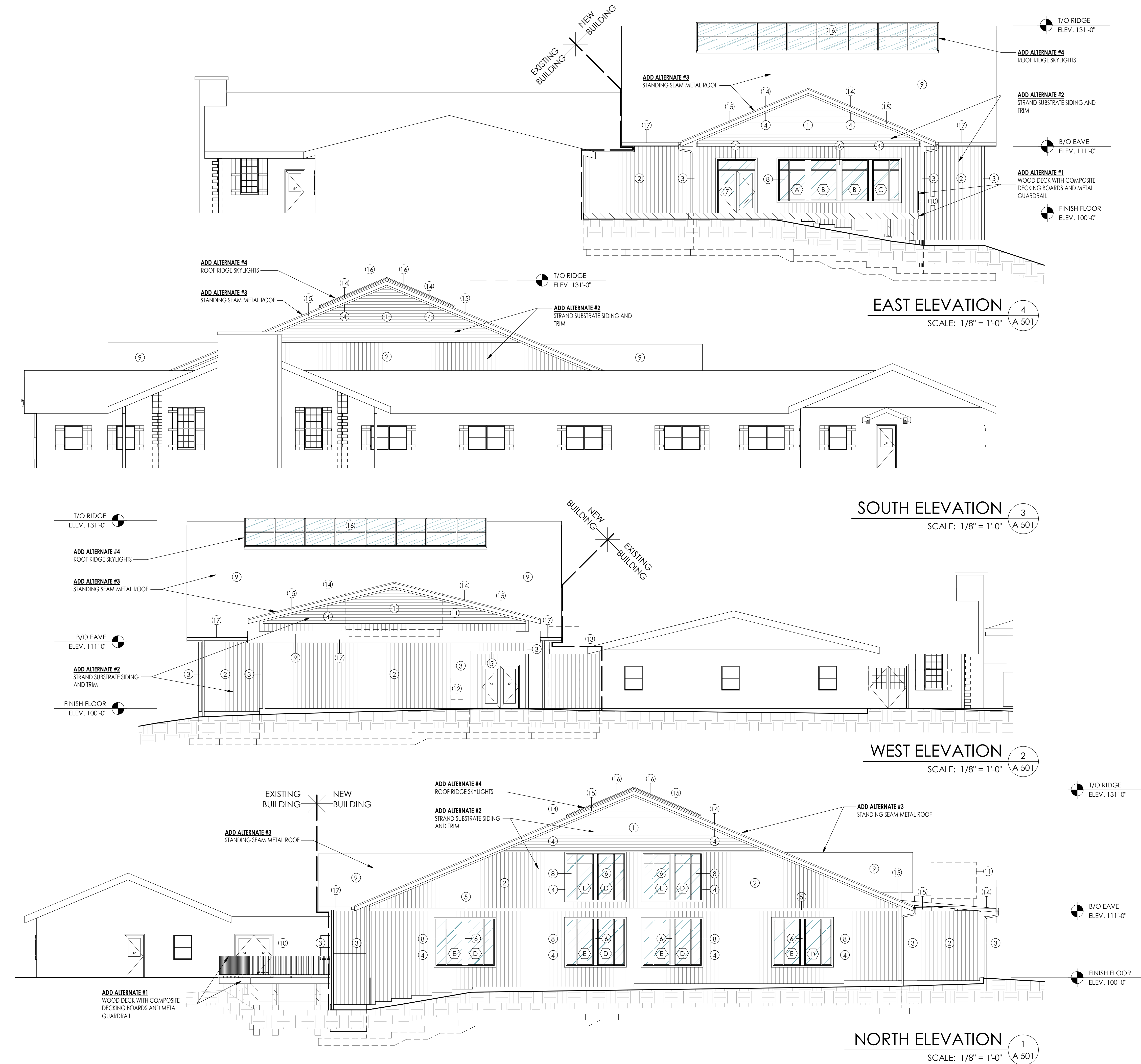
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303

PROJ. NO. 2015-61

REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"





GENERAL EXTERIOR ELEVATION NOTES

- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTINUOUS WALL LOCATIONS.

ELEVATION KEYNOTES

NO.	DESCRIPTION
1	HORIZONTAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE LAP SIDING)
2	VERTICAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE VERTICAL PANEL SIDING WITH VERTICAL GROOVES 8" O.C.)
3	5 1/2" WOOD CORNER BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE CORNER BOARD)
4	3 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 3 1/2" STRAND SUBSTRATE TRIM BOARD)
5	5 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE TRIM BOARD)
6	WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE TRIM BOARD)
7	ALUMINUM DOOR AND FRAME
8	ALUMINUM FRAMED WINDOW
9	ASPHALT SHINGLES TO MATCH EXISTING (ADD ALTERNATE #3 - 16" WIDE METAL STANDING SEAM ROOF PANELS)
10	ADD ALTERNATE #1 - METAL GUARDRAIL AT DECK
11	ROOFTOP HVAC UNIT
12	ELECTRICAL SERVICE BOX
13	RELOCATED KITCHEN MAKE-UP AIR UNIT
14	2 1/2" WOOD GABLE TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 2 1/2" STRAND SUBSTRATE GABLE TRIM BOARD)
15	WOOD FASCIA BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE FASCIA BOARD)
16	ADD ALTERNATE #4 - ROOF RIDGE SKYLIGHTS
17	ALUMINUM GUTTER AND DOWNSPOUT



REVISIONS:

△ DATE ISSUE

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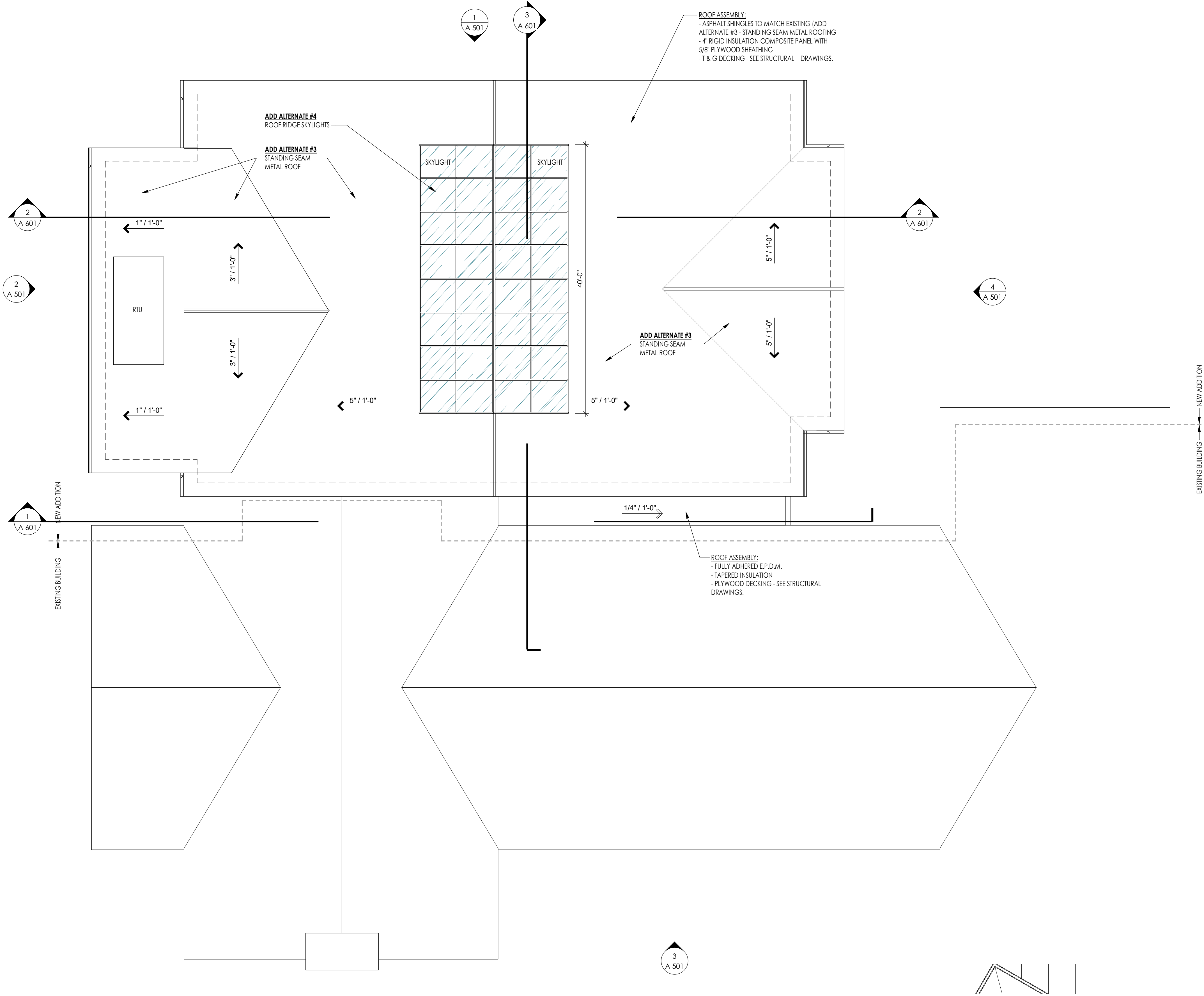
DRAWN BY: SH, DB

CHECKED BY: KS

EXTERIOR ELEVATIONS

A
501

PROJ. NO. 2015-61



GENERAL ROOF NOTES

- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/4" PER 1'-0" MINIMUM.

ROOF SYMBOLS

- TAPERED INSULATION ROOF DRAINAGE
- SLOPED STRUCTURE ROOF DRAINAGE
- TAPERED INSULATION SADDLE / EDGE STRIP



REVISIONS:

△ DATE ISSUE

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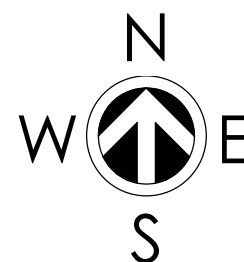
ROOF PLAN

A
701

PROJ. NO. 2015-61

ROOF PLAN

SCALE: 1/8" = 1'-0"



CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: General Development Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 2, 2024

MEETING DATE: July 9, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Today the Plan Commission will be reviewing the Malibu Apartments General Development Plan (GDP) for property located at parcel #59281318390.

The applicant states the following about the Malibu Apartments project:

- Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.
- This site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”.
- This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan.
- Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project.
- The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature.

- Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas.
- Malibu Apartments is also a pet friendly community for those residents with furry family members.
- Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7th street and brick veneer around the north and south walls of the structure.
- The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

- Phase 1
 - 24 Studios
 - 63 One-bedroom units
 - 62 Two-bedroom units
 - 8 Three-bedroom units
 - 157 total units
 - 3,758 sf of Commercial restaurant space
 - 213 parking stalls (141 interior stalls, 72 surface stalls, + street parking)
- Phase 2
 - 7 Studios
 - 24 One-bedroom units
 - 23 Two-bedroom units
 - 4 Three-bedroom units
 - 58 total units
 - 75 parking stalls (+street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

- An enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study.

STAFF COMMENTS:

The surrounding neighborhood zoning is:

- The properties to the north are zoned Neighborhood Residential 6
- The properties to the south are zoned Urban Residential 12
- The properties to the west are zoned Urban Industrial.
- To the east is the publicly owned beach and Lake Michigan.

If the Common Council approves the General Development Plan, the applicant needs to be aware that the Specific Implementation Plan will need to be reviewed and approved by the Common Council prior to construction of the Malibu Apartments.

ACTION REQUESTED:

Motion to recommend the Common Council approve the proposed General Development Plan subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster enclosure shall be completed prior to issuance of an occupancy permit for the apartment building to be occupied.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All areas used for parking/maneuvering of vehicles shall be paved.
7. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
8. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.

13. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, art, etc.
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
16. Owner/Developer and City understand that the landscape plan is to be installed in phases.
17. Owner/Developer is responsible for installation of the entire approved landscape plan. If the owner/developer elects to amend the landscape plan in any fashion, the owner/developer shall resubmit an amended plan to Department of City Planning & Development for approval.
18. Plantings located around all ingress/egress of the site shall be maintained to not interfere with vehicular/pedestrian traffic.
19. Plantings located around the Fire Department Connection must be maintained to make sure that it is accessible at all times.
20. Plantings located by light poles should be maintained to keep areas well lite.
21. The Department of Planning & Development must inspect the landscaping. Failure to comply with any of the above conditions may require the removal and replanting of plants.
22. All plantings will need to be maintained per Section 105-894(b) Maintenance.

If there are any amendments to the approved GDP the applicant will have to submit an amended GDP for review that accurately reflects any and all proposed changes.

ATTACHMENTS:

General Development Plan and required attachments.

	<p align="center">CITY OF SHEBOYGAN</p> <p align="center">APPLICATION FOR CONDITIONAL USE</p>	<div>Item 8.</div>	
		Fee: \$250.00	
		Review Date: 6/18/2024 Zoning: PUD	

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Malibu Apartments, LLC		Authorized Representative Jacob Buswell	
Title Partner			
Mailing Address 1525 Torrey View Drive		City Sparta	State WI
ZIP Code 54656			
Email Address jake.buswell@allamericandoitcenter.com		Phone Number (incl. area code) 262-623-8348	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity)		Contact Person	
Title			
Mailing Address		City	State
ZIP Code			
Email Address		Phone Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description 1403,1435 S. 7th St. Sheboygan, WI/ approximately 3.8 acres		Parcel No. 59281318390	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		Malibu Apartments	
Existing Zoning:		N/A	
Present Use of Parcel:		Vacant Land	
Proposed Use of Parcel:		Mixed-Use (Multi-famliy & light commercial)	
Present Use of Adjacent Properties:		Commercial Business, single family	
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Jake Buswell		Title Partner	Phone Number 262-623-8348
Signature of Applicant <i>Jacob Buswell</i>		Date Signed 6/18/2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

Jake Buswell
 Malibu Apartments, LLC
 1525 Torrey View Drive
 Sparta, WI 54656

June 18, 2024

Ellise Rose, Associate Planner
 Diane McGinnis, Director of Planning and Development
 Elke Daugherty, Planning and Zoning Administrator
 City of Sheboygan
 828 Center Avenue
 Sheboygan, WI 53081

Dear City Staff,

Please accept this narrative cover letter and the included documents as our official submittal for the PUD, GDP, and SIP (phase 1) packages for our Malibu Apartments project that connects with “Kite Beach” on parcels: 59281318390 and 59281303390.

As you’ll see within our plans an enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study. Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.

As mentioned above this site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”. This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan. Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project. The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature. Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas. Malibu Apartments is also a pet friendly community for those residents with furry family members.

Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7th street and brick veneer around the north and south walls of the structure. The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

Phase 1

22 Studios

58 One-bedroom units

64 Two-bedroom units

8 Three-bedroom units

152 total units

3,758 sf of Commercial restaurant space

207 parking stalls (135 interior stalls, 72 surface stalls, + street parking)

Phase 2

7 Studios

24 One-bedroom units

23 Two-bedroom units

4 Three-bedroom units

58 total units

75 parking stalls (+street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):

Main Level (garage level) = 67,659 sf

Second Floor = 43,383 sf

Third Floor = 42,590 sf

Fourth Floor = 42,590 sf

Fifth Floor = 42,590 sf

Total area = 238,812 sf.

Please see the attached for the location map, site map, site plan, floor plan (phase 1 SIP only), elevations, renderings, landscape plans, and conceptual grading and drainage plans. As we get closer to site plan approval, we will also provide a lumen intensity site plan and make sure to limit any over property line light wash.

Thank you for your consideration of this as the submittal packet for our PUD, GDP, and phase 1 SIP. We appreciate this opportunity and are excited to continue the redevelopment of this brownfield site.

Sincerely,

Jake Buswell
Partner
Malibu Apartments, LLC

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. NO REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



MALIBU APARTMENTS AT KITE BEACH - SHEBOYGAN, WI

CIVIL CONSTRUCTION PLAN SET

INDEX OF SHEETS

C001	1	COVER SHEET
C002	2	GENERAL NOTES AND QUANTITIES
C100	3	EXISTING CONDITIONS & DEMOLITION/REMOVAL PLAN
C101	4	EROSION CONTROL PLAN
C200-C201	5-6	SITE PLAN (NORTH AND SOUTH)
C300-C301	7-8	UTILITY PLAN (NORTH AND SOUTH)
C400-C401	9-10	GRADING PLAN (NORTH AND SOUTH)
C500	11	LANDSCAPE PLAN
C600	12	EMERGENCY VEHICLE TURNING PATH
C700	13	CONSTRUCTION DETAILS
C701	14	UTILITY DETAILS

SITE DATA

OWNER:	SHEBOYGAN LAKEVIEW PROPERTY, LLC C/O JAKE BUSWELL
SITE ADDRESS:	TBD SOUTH 7TH STREET SHEBOYGAN, WI 53081
PARCEL NUMBER:	59281318390 + 59281303390
PARCEL SIZE:	3.85 ACRES
ZONING:	PLANNED UNIT DEVELOPMENT (PUD) - PENDING APPROVAL

EXISTING SITE (EXCLUDING ROW*):

GREEN SPACE:	164,913 (98.4%)
IMPERVIOUS AREA:	2,654 SF (1.6%)
BUILDINGS:	00 SF
PAVEMENT:	2,654 SF

PROPOSED SITE (EXCLUDING ROW*):

GREEN SPACE PROVIDED:	43,345 (25.9%)
IMPERVIOUS AREA:	124,222 SF (74.1%)
BUILDING:	90,930 SF
PAVEMENT:	33,292 SF
TOTAL DISTURBED AREA:	3.85 ACRES

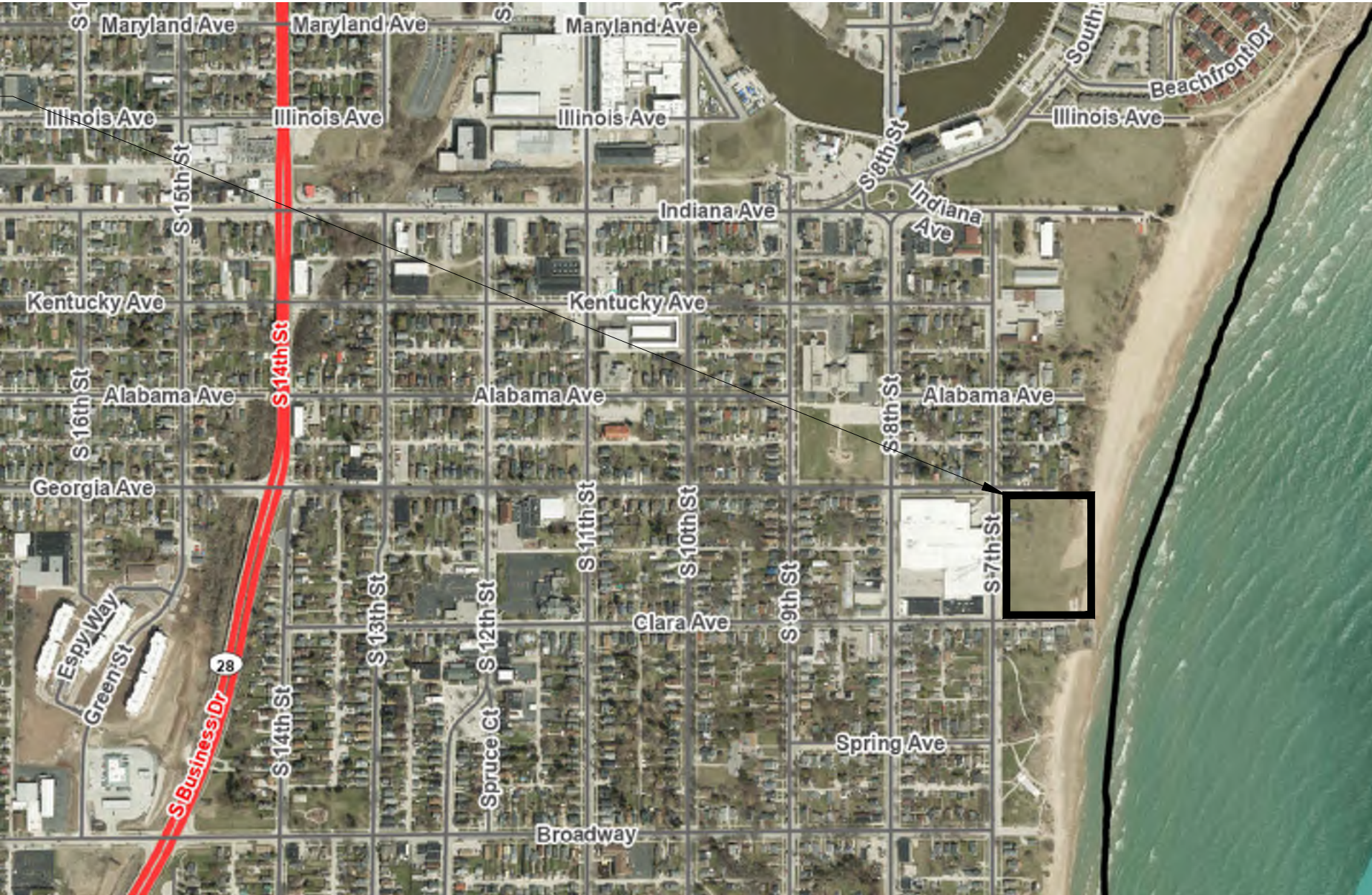
SETBACKS

FRONT:	5' (ACCESSORY)
SIDE:	20' (PRINCIPAL AND ACCESSORY)

PARKING

EXISTING:	0
PROVIDED:	77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT) 205 INTERIOR

PROJECT LOCATION



LOCATION MAP

NO SCALE

PROJECT TEAM:

OWNER:
SHEBOYGAN LAKEVIEW PROPERTY, LLC

8575 W FOREST HOME AVE STE 160
GREENFIELD, WI 53228

JAKE BUSWELL
1525 TORREY VIEW DRIVE
SPARTA, WI 54656
262-623-8348
JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM

CIVIL ENGINEER:
STANTEC CONSULTING SERVICES, INC.
312 N 5TH AVE
STURGEON BAY, WI 54235

CONTACT:
PETE HURTH, P.E.
920-298-1759
PETER.HURTH@STANTEC.COM

SKYLER WITALISON, P.E.
920-298-1763
SKYLER.WITALISON@STANTEC.COM

UTILITY CONTACT INFORMATION
MUNICIPAL SERVICES BUILDING
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3440
M-F 7:30AM-4:00PM

CITY OF SHEBOYGAN - PUBLIC WORKS
KEVIN JUMP, CITY ENGINEER
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3367
KEVIN.JUMP@SHEBOYGANWI.GOV

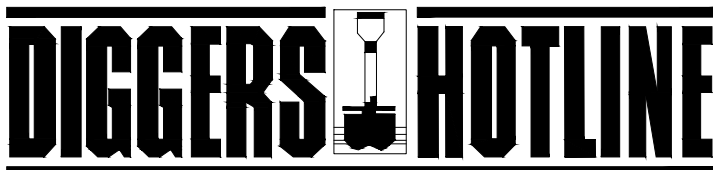
EMERGENCY NUMBERS

POLICE/FIRE
911

NON-EMERGENCY NUMBERS

POLICE DEPARTMENT
920-459-3333

FIRE DEPARTMENT
920-459-3327



Call 811 3 Work Days Before You Dig
Or Toll Free (800) 242-8511
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

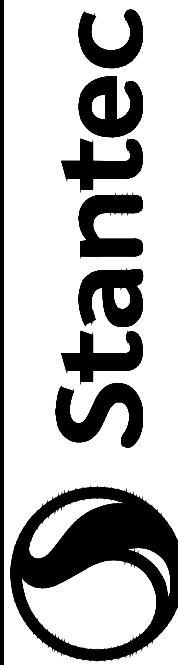
STANTEC ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF STANTEC.

THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS. STANTEC HAS NOT VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.



CITY OF SHEBOYGAN

SHEBOYGAN COUNTY, WISCONSIN



312 N. 5th Avenue
Sturgeon Bay, WI 54235
www.stantec.com

COVER SHEET

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION DATE

SURVEY STANTEC

DRAWN MTA

DESIGNED P.JH

CHECKED SRW

APPROVED P.JH

PROJ. NO. 193806785

SHEET NUMBER

C001

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. STANTEC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE BY THE CONTRACTOR OR FOR ANY USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC. IS FORBIDDEN.

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STANTEC ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF STANTEC.

GENERAL

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS OR HER PROPOSAL. HE OR SHE SHALL BASE THEIR BID ON HIS OR HER OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS FO THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS OR HER INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATION AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

EROSION CONTROL NOTES

- EROSION CONTROL METHODS SHALL BE IMPLEMENTED AS DIRECTED BY THE ENGINEER PRIOR TO AND DURING CONSTRUCTION TO CONTROL WATER POLLUTION, EROSION, AND SILTATION
- THE LANDOWNER (REPRESENTATIVE) SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE. SEE CONSTRUCTION SITE INSPECTION REPORT (FORM 3400-187) FROM THE WDNR
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND DOCUMENTATION OF EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PHASE. OWNER IS RESPONSIBLE FOR POST-CONSTRUCTION MAINTENANCE AND EFFORT
- ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES, AS SPECIFIED, WITHIN 3 WORKING DAYS OF FINAL GRADING
- A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED
- WINTER STABILIZATION: ALL AREAS REQUIRING SEED AFTER OCTOBER 15TH SHALL BE STABILIZED BY AN APPROVED WINTER STABILIZATION METHOD
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR STORM EVENT SHALL BE CLEANED BY THE END OF EACH WORKDAY. FLUSHING SHALL NOT BE ALLOWED
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCHING, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENTS AND WATER RESOURCES
- ANY DISTURBED AREAS OR SOIL STOCKPILES THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES. ALL TOPSOIL STOCKPILES SHALL BE SEEDED OR HAULED OFF-SITE WITHIN 60 DAYS OF CONSTRUCTION COMPLETION. THE CONTRACTOR SHALL DISPOSE OF ALL OTHER WASTE AND EXCESS MATERIAL IN AN APPROVED MANNER
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND STABILIZATION WORK REDONE
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY EROSION CONTROL PRACTICES SHALL BE REMOVED
- EROSION CONTROL CONSTRUCTION STANDARDS - SEE WDNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS AS FOLLOWS:
 - 1053 = CHANNEL EROSION MAT
 - 1066 = CONSTRUCTION SITE DIVERSION
 - 1062 = DITCH CHECKS
 - 1068 = DUST CONTROL
 - 1050 = LAND APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1058 = MULCHING FOR CONSTRUCTION SITES
 - 1052 = NON-CHANNEL EROSION MAT
 - 1059 = SEEDING
 - 1057 = TRACKOUT CONTROL PRACTICES
 - 1067 = GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY
 - 1054 = VEGETATIVE BUFFER FOR CONSTRUCTION SITES
 - 1061 = DE-WATERING
 - 1055 = SEDIMENT BALE BARRIER
 - 1064 = SEDIMENT BASIN
 - 1063 = SEDIMENT TRAP
 - 1070 = SILT CURTAIN
 - 1056 = SILT FENCE
 - 1060 = STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
 - 1069 = TURBIDITY BARRIERS
 - 1051 = WATER APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1071 = INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS

QUANTITIES TAB
TO BE
PROVIDED IN FUTURE

Stantec

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GENERAL NOTES AND QUANTITIES

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO. REVISION

DATE

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DRAWN

DESIGNED

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APPROVED

PROJ. NO.

STANTEC

MTA

P.JH

SRW

P.JH

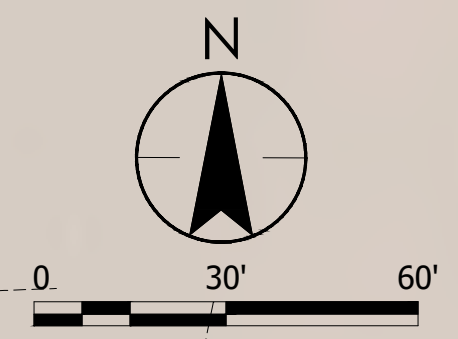
193806785

SHEET NUMBER

C002

Item 8.

62



1. REMOVE ASPHALT; SAW CUT ALONG ROADWAY
2. RAZE/REMOVE WALL
3. REMOVE/REROUTE TELECOMMUNICATIONS LINE AND PEDESTAL; UNDER SEPARATE CONTRACT WITH SERVICE PROVIDER
4. OVERHEAD ELECTRIC POLES AND LINES TO BE REMOVED/BURIED UNDER SEPARATE CONTRACT VIA POWER PROVIDER
5. REMOVE ELECTRIC BOXES; VERIFY WITH POWER PROVIDER PRIOR TO REMOVAL
6. 20' SEWER EASEMENT
7. FLOODPLAIN BOUNDARY
8. OHW PER CITY OF SHEBOYGAN

- REMOVAL OF ANY EXISTING SOILS/MATERIALS REQUIRE COMPLETION OF A HAZARDOUS MATERIAL SURVEY IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE THE APPROPRIATE SURVEY AT NO ADDITIONAL COST TO THE OWNER

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SHEET KEY NOTES

SEE EROSION CONTROL NOTES SHEET C002

1. STONE TRACKING PAD; SEE WDNR STANDARD 1057 "TRACKOUT CONTROL PRACTICES"
2. SILT FENCE; SEE WDNR STANDARD 1056 "SILT FENCE"

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EROSION CONTROL PLAN

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

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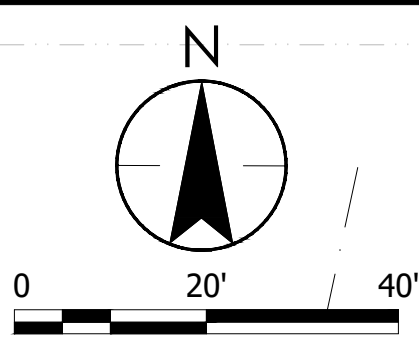
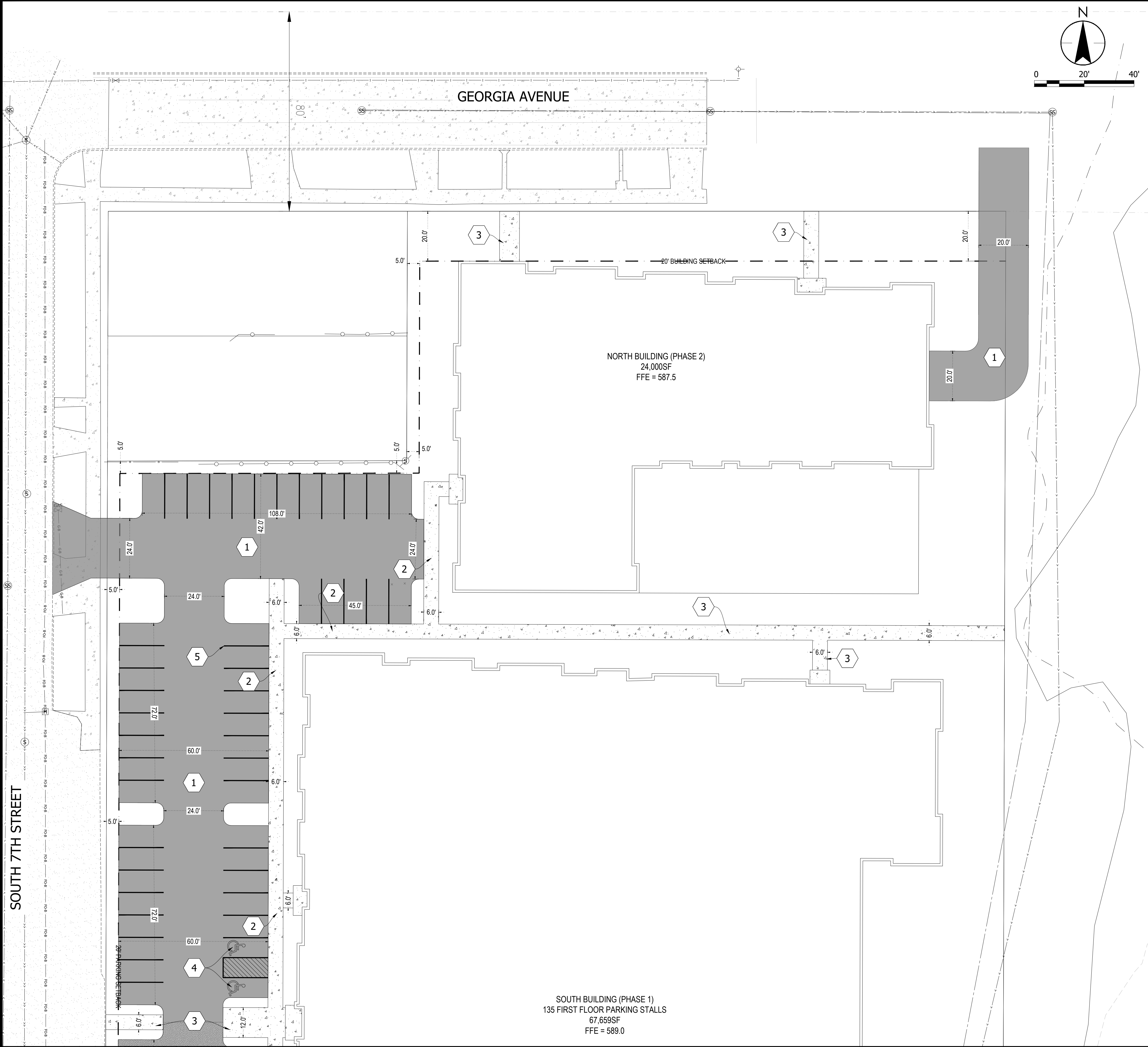
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Item 8.

64

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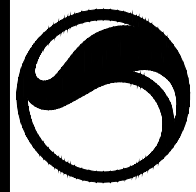


SHEET KEY NOTES

1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

SITE CONSTRUCTION NOTES

-



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SITE PLAN - NORTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

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NO REVISION

DATE

SURVEY

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DRAWN

MTA

DESIGNED

P.J.H.

CHECKED

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P.J.H.

PROJ. NO.

193806785

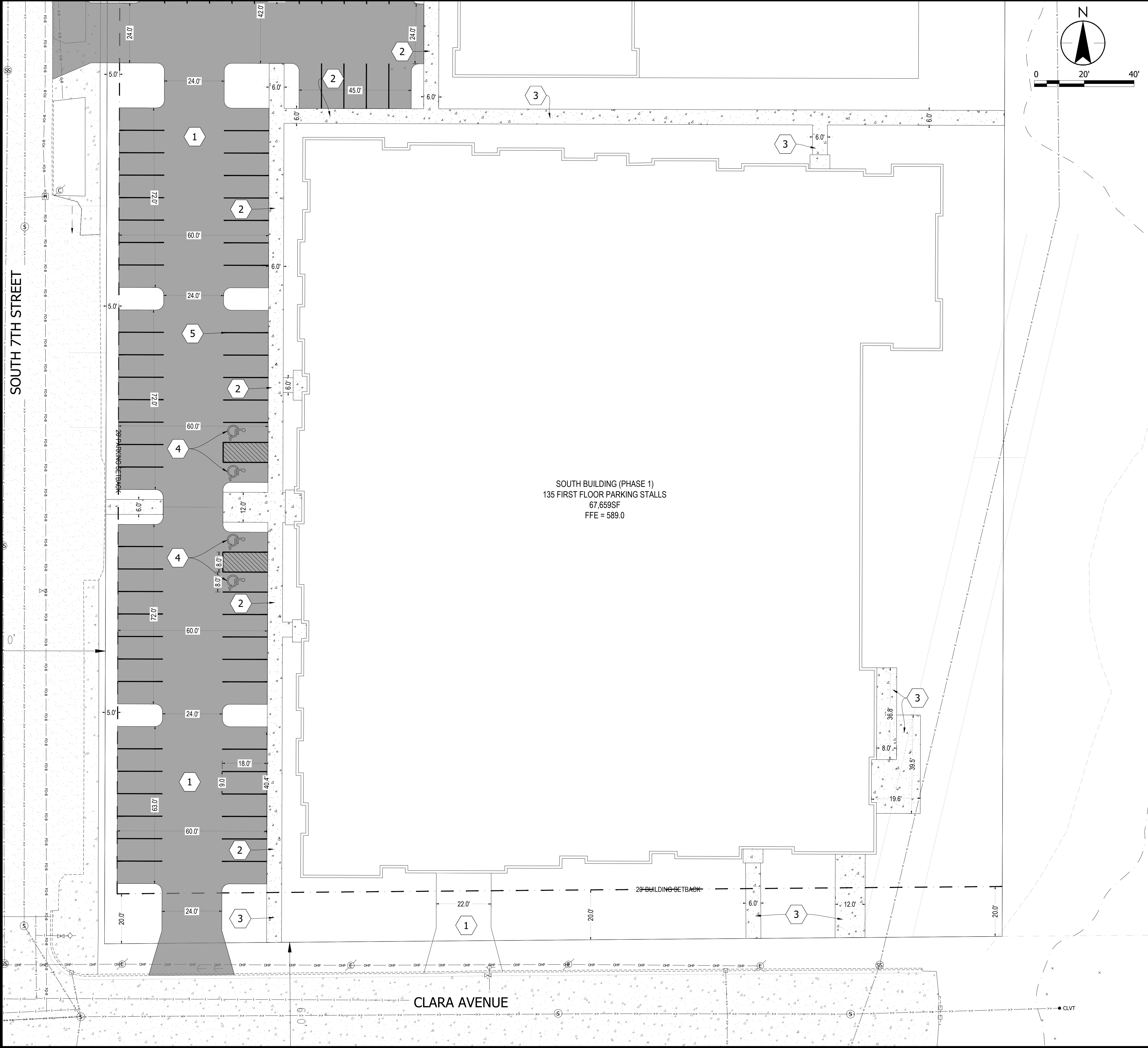
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SHEET KEY NOTES

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2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
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5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

SITE CONSTRUCTION NOTES

-

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SITE PLAN - SOUTH

SHEBOYGAN KITE BEACH
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SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

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P.J.H.

PROJ. NO.

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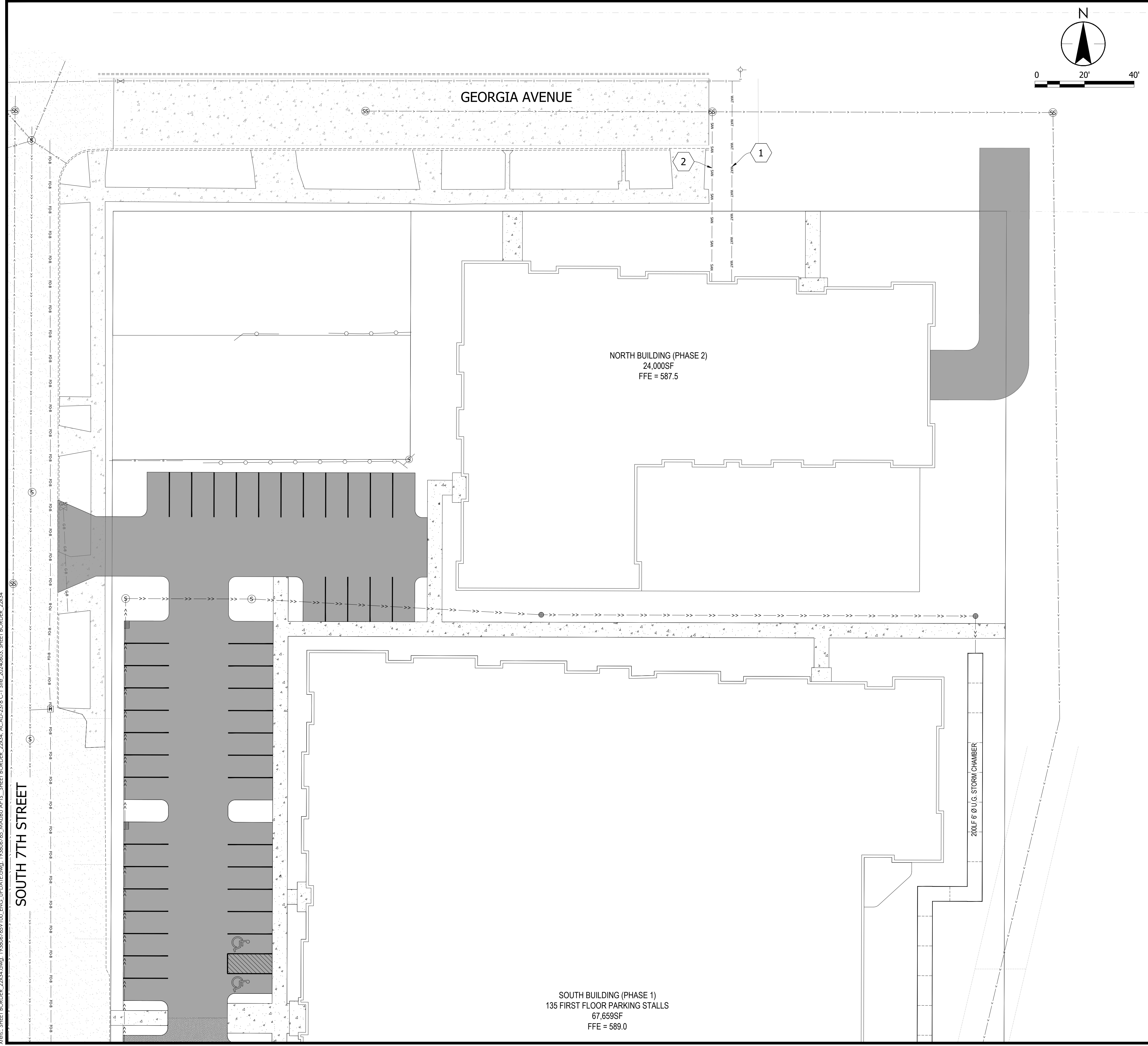
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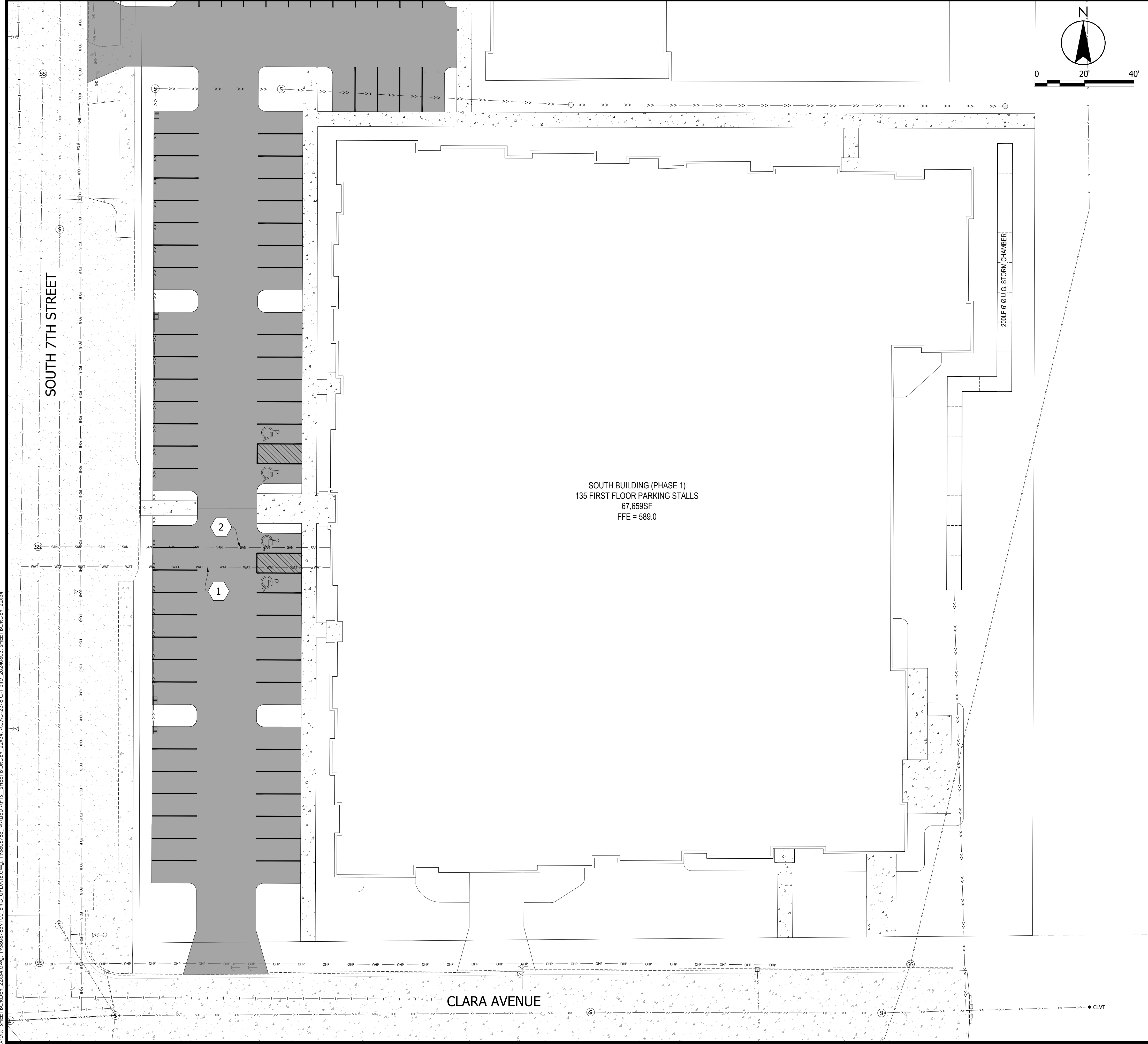
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1. WATER CONNECT
2. SEWER CONNECT

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SHEET KEY NOTES

1. WATER CONNECT
2. SEWER CONNECT

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UTILITY PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
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PROJ. NO. 193806785

SHEET NUMBER

C301

68

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
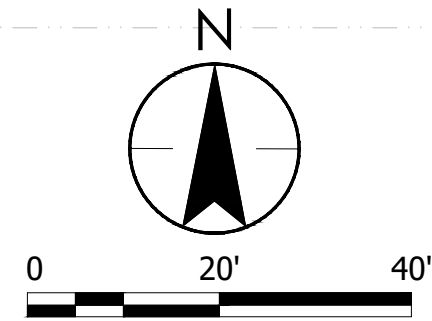
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ACAD-2378 C-1 Site 20240603

SOUTH 7TH STREET

GEORGIA AVENUE

NORTH BUILDING (PHASE 2)
24,000SF
FFE = 587.5

SOUTH BUILDING (PHASE 1)
135 FIRST FLOOR PARKING STALLS
67,659SF
FFE = 589.0



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GRADING PLAN - NORTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC

MALIBU AFFAIRMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
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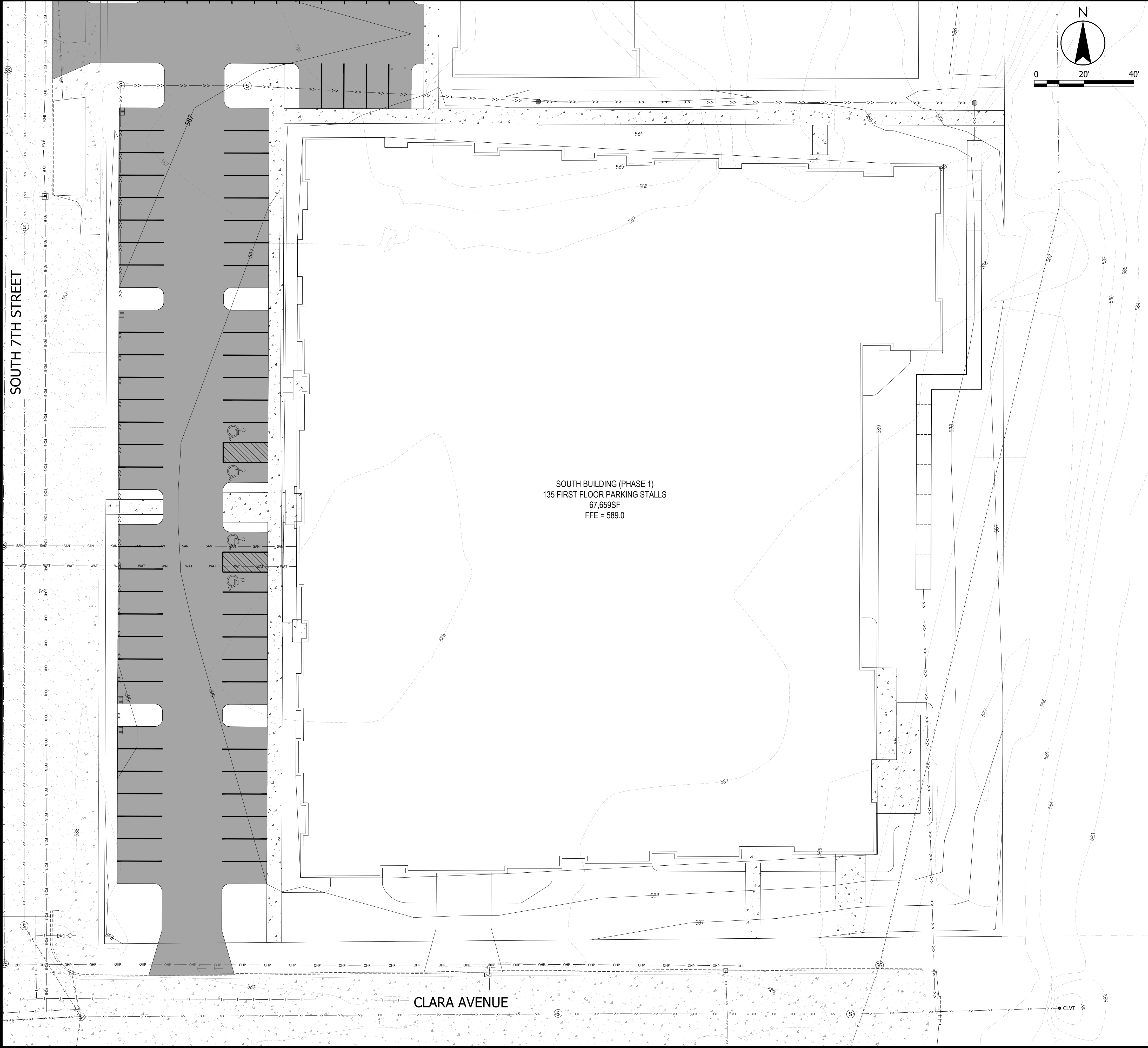
NO	REVISION	DATE
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SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

SHEET NUMBER
C400

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GRADING PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

NO REVISION DATE

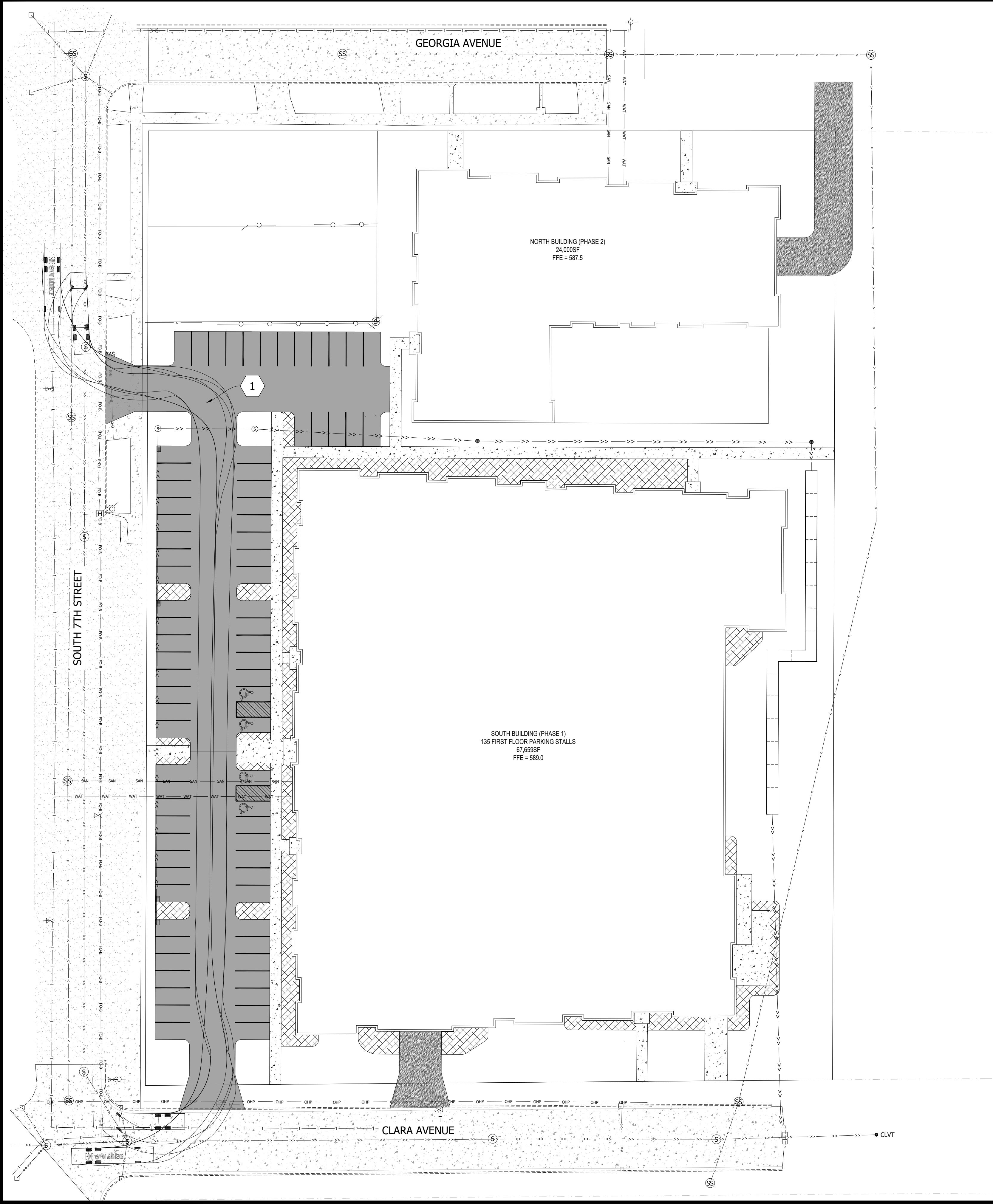
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	P.J.H.
CHECKED	SRW
APPROVED	P.J.H.
PROJ. NO.	193806785

SHEET NUMBER
C401

70

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SHEET KEY NOTES

1. VEHICLE TURNING RADIUS - 43' FIRE ENGINE

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EMERGENCY VEHICLE TURNING PATH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

NO REVISION DATE

SURVEY STANTEC

DRAWN MTA

DESIGNED P.JH

CHECKED SRW

APPROVED P.JH

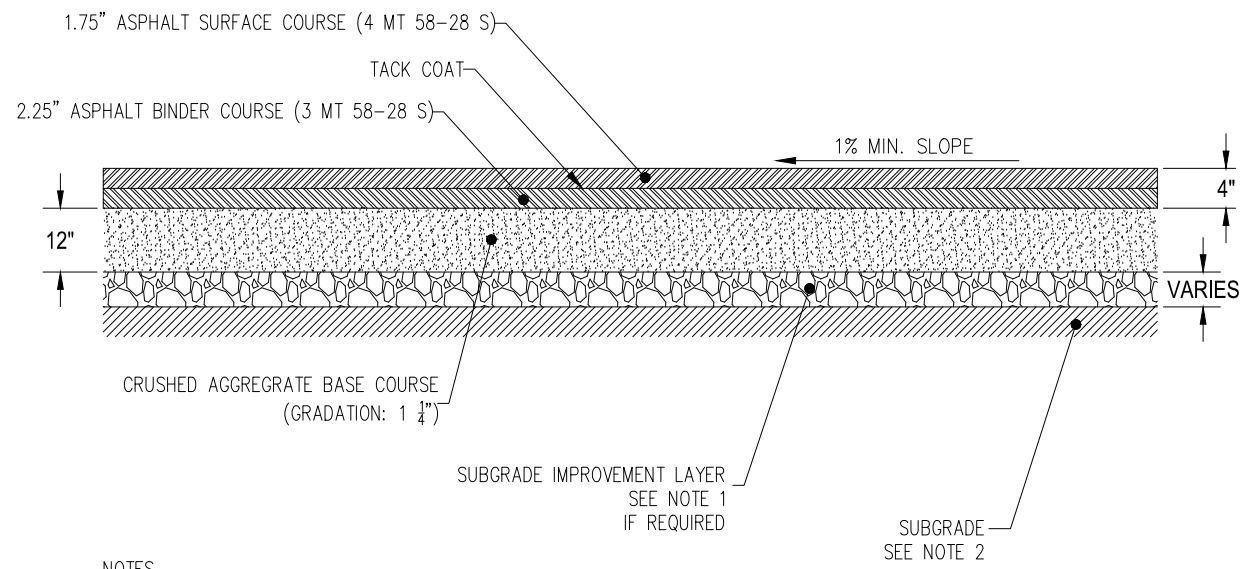
PROJ. NO. 193806785

SHEET NUMBER

C600

71

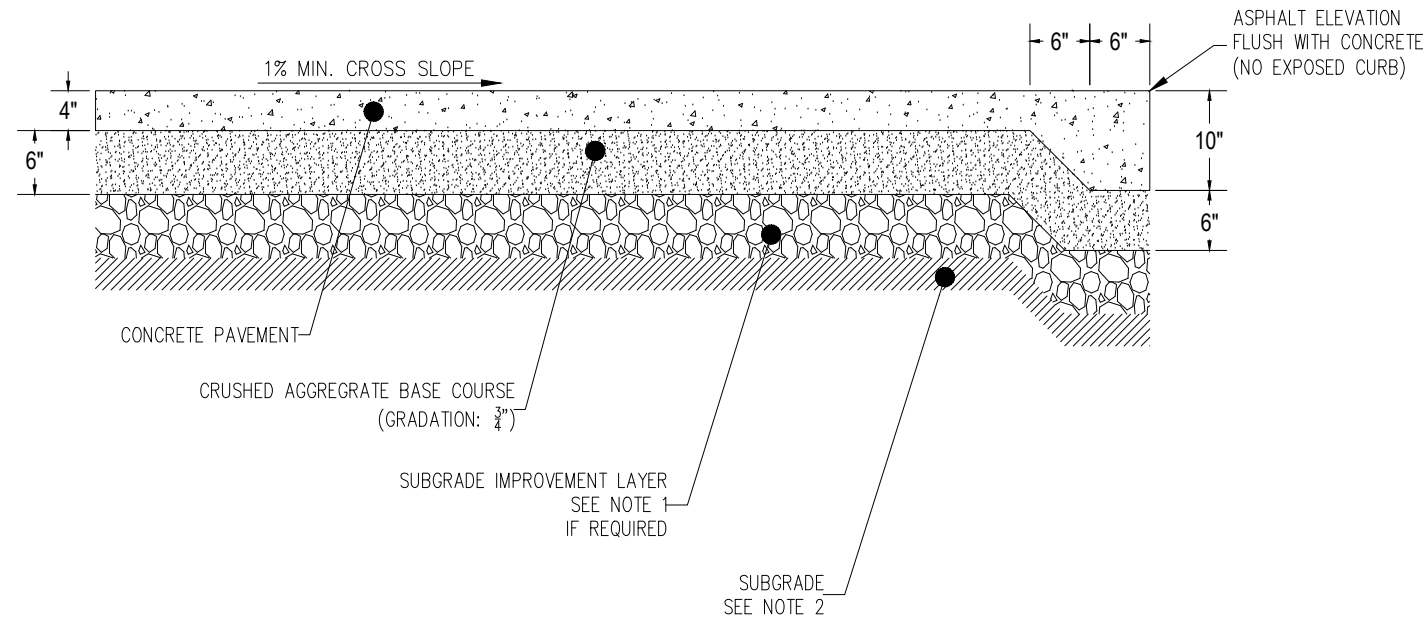
THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.



- NOTES
1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

- SPECIFICATIONS
- THE ASPHALTIC BASE AND SURFACE COURSE SHOULD BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 455/460 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - THE CRUSHED AGGREGATE BASE COURSE SHOULD BE PROVIDED AND PLACED IN ACCORDANCE WITH SECTION 301/305 OF THE STANDARD SPECIFICATION.
 - ASPHALT PAVING CONTRACTOR TO SAW OUT EXISTING ASPHALT EDGE PRIOR TO JOINING NEW PAVEMENT.

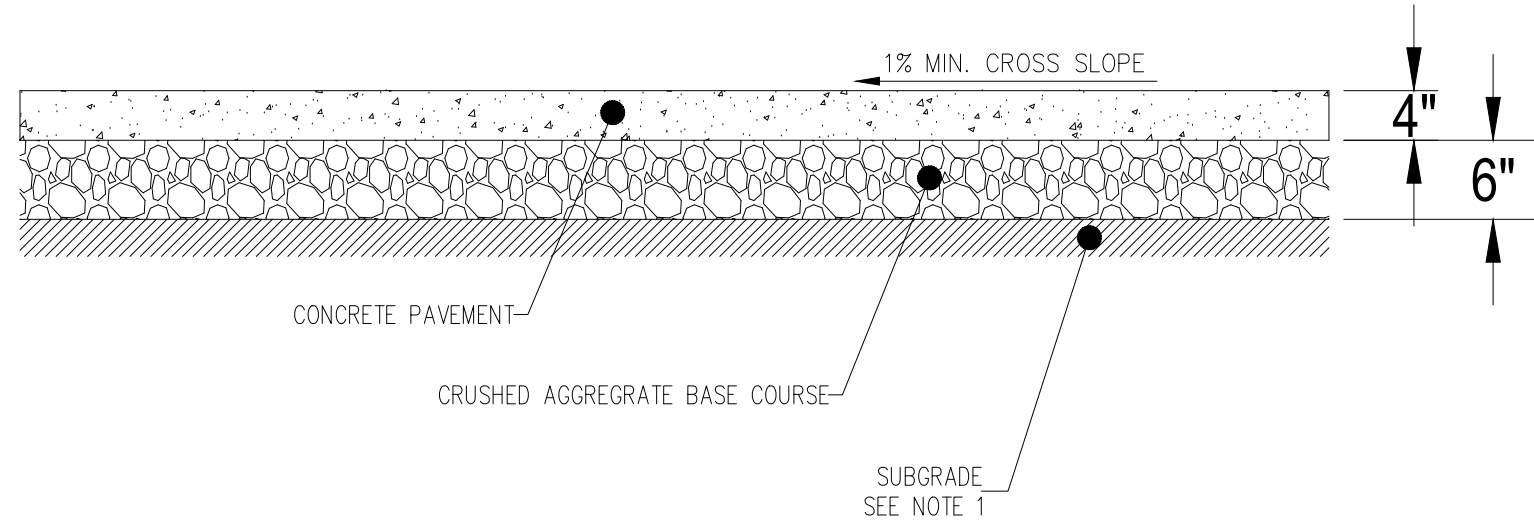
A N.T.S.
ASPHALT PAVEMENT – 4" SECTION



- NOTES
1. UNSTABLE AREAS SHALL BE UNDERCUT TO SUCH DEPTHS DETERMINED NECESSARY IN THE FIELD TO REACH STABLE MATERIALS AND THE AREA BACKFILLED WITH CRUSHED STONE (GRADATION 1 1/2") OR FREE DRAINING GRANULAR FILL.
 2. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

- SPECIFICATIONS
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE PLACED AND PROVIDED IN ACCORDANCE WITH SECTION 501 OF THE STATE OF WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

B N.T.S.
CONCRETE SIDEWALK WITH THICKENED EDGE – 4" THICKNESS



- NOTES
1. COMPACT SUBGRADE TO 95% STANDARD PROCTOR. SUBGRADE TO BE INSPECTED BY PROJECT FOREMAN PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

- SPECIFICATIONS
- CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
 - CONCRETE SHALL BE 4,000 PSI MINIMUM.
 - CONCRETE SHALL RECEIVE A BROOMED FINISH.

C N.T.S.
CONCRETE SIDEWALK/PAVEMENT/SLAB – 4" THICKNESS

CONSTRUCTION DETAILS

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

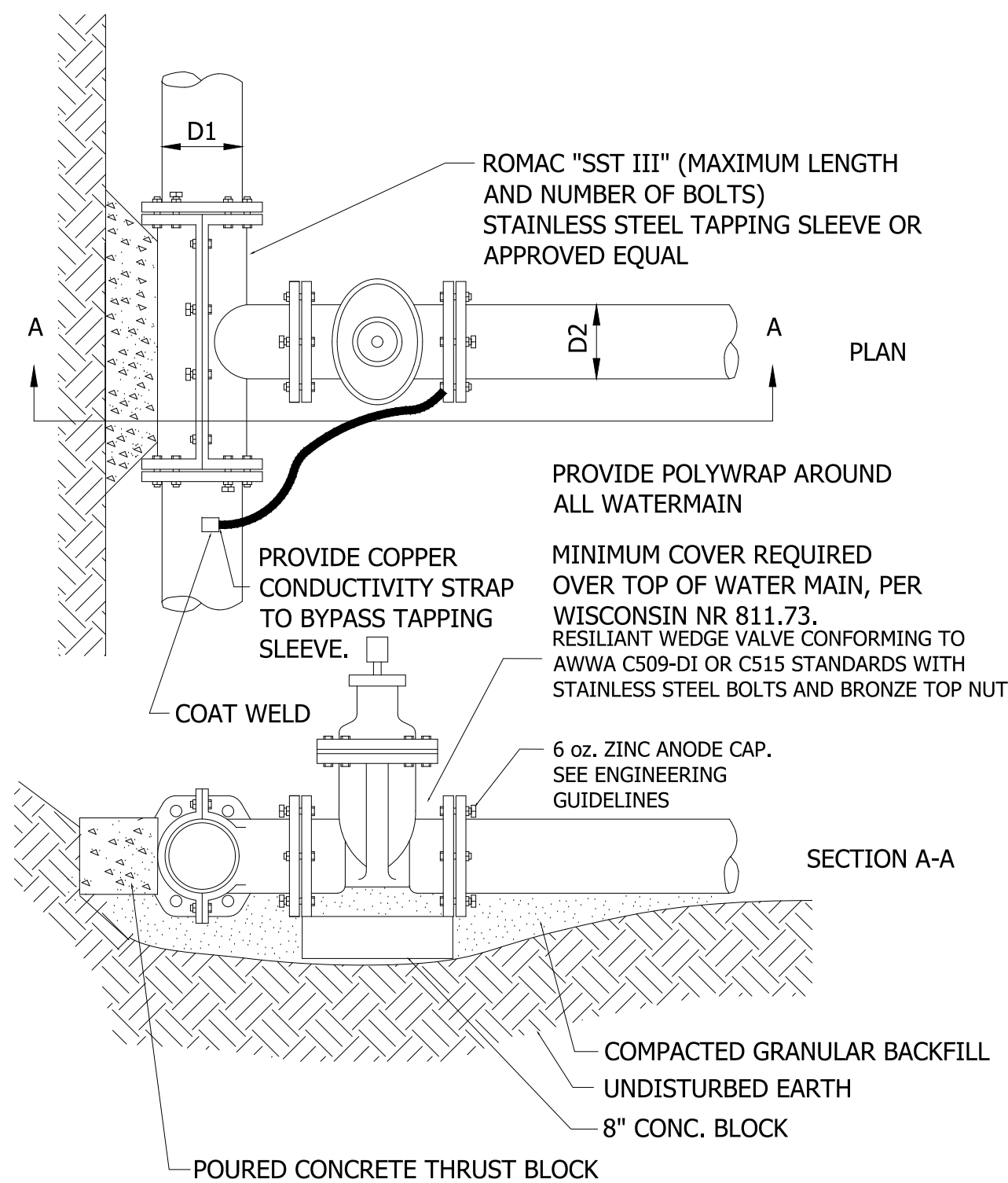
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NO	REVISION	DATE

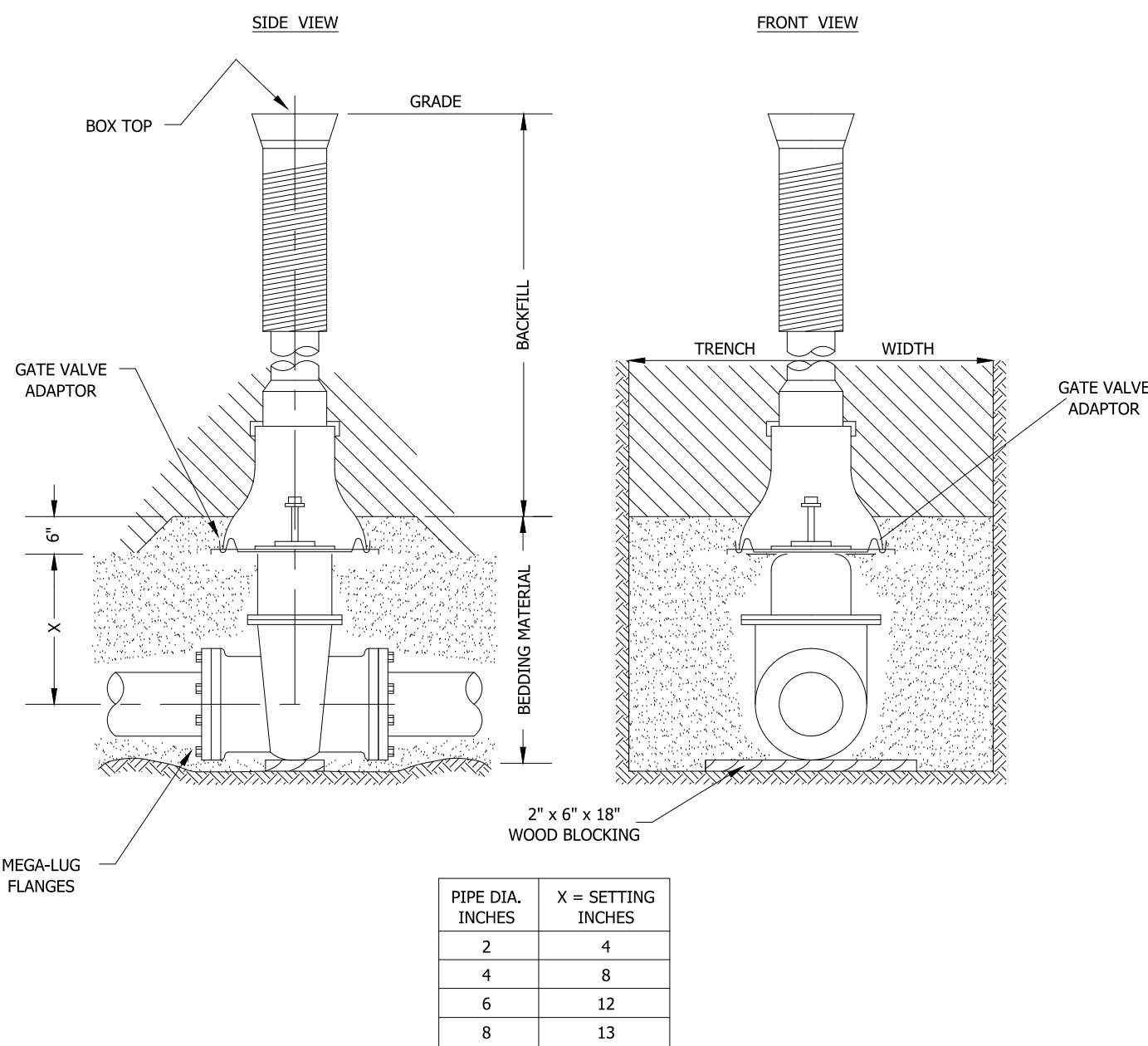
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	P.JH
CHECKED	SRW
APPROVED	P.JH
PROJ. NO.	193806785

SHEET NUMBER
C700

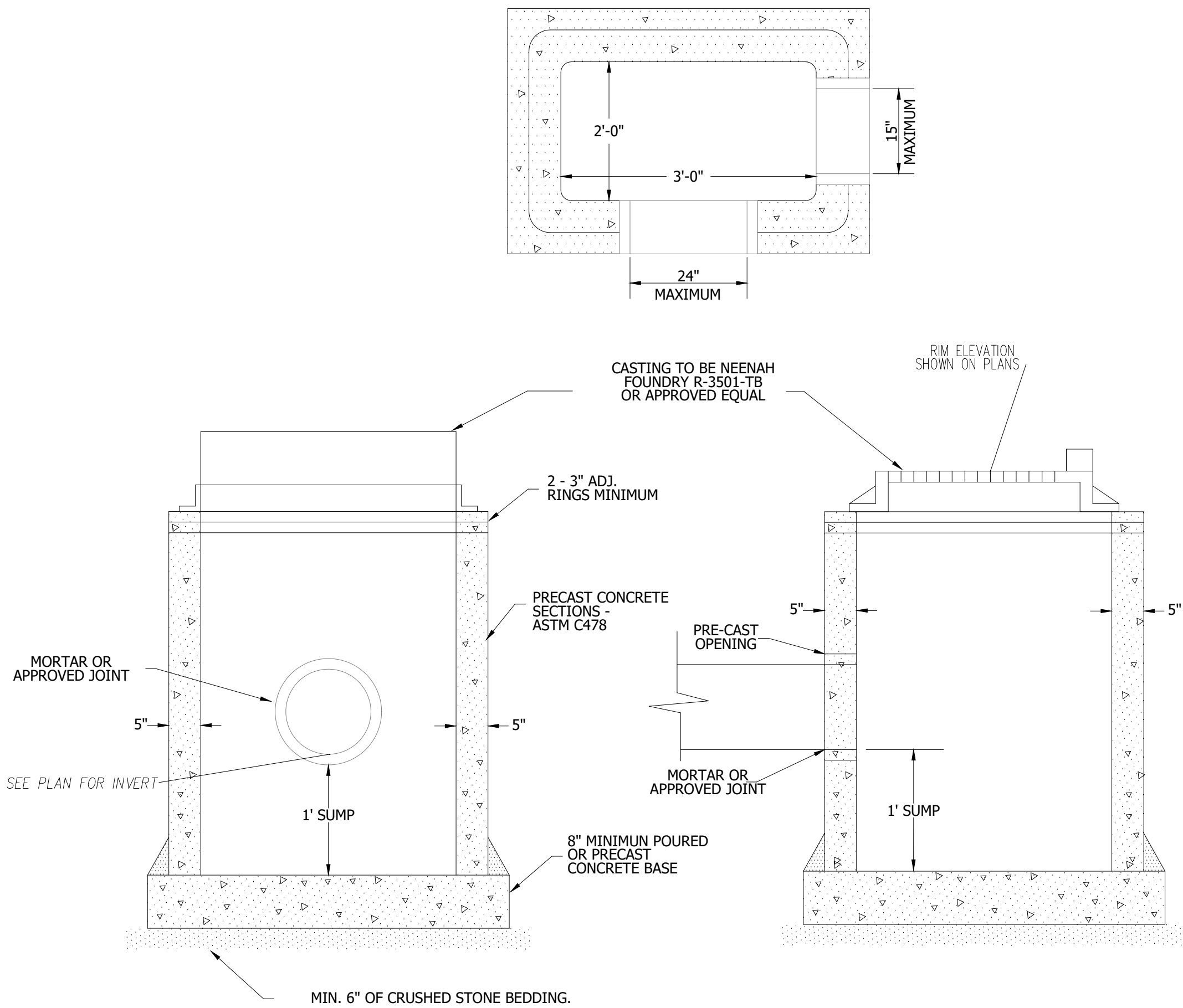
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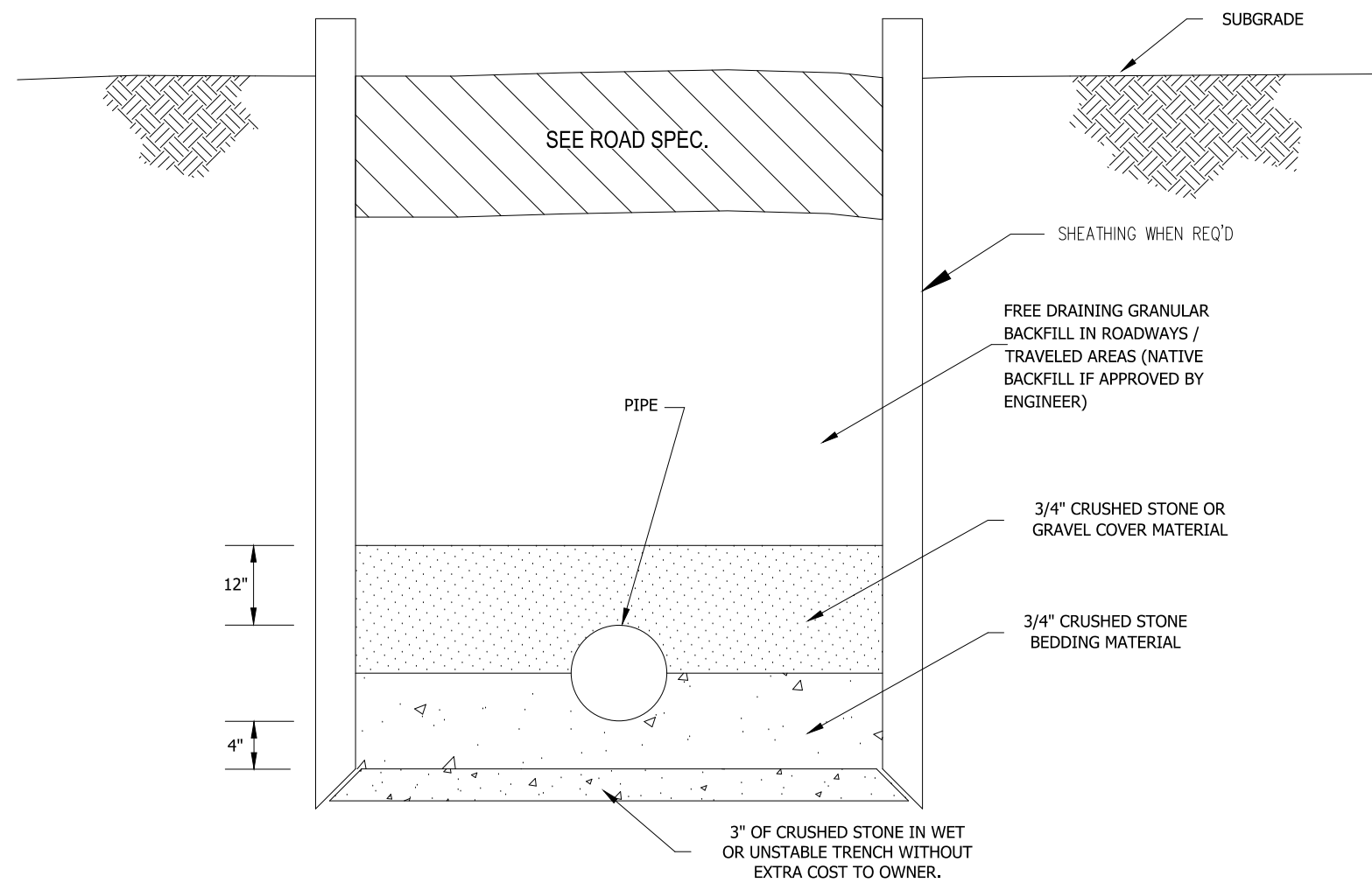
A N.T.S.
WATER MAIN WET TAP



B N.T.S.
GATE VALVE FOR WATER SERVICE



C N.T.S.
STORM CATCH BASIN - 2'x3'



ROAD BACKFILL IN EXISTING OR PROPOSED ROADS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS MEETING THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	90-100
3/8 INCH	20-55
No. 4	0-10
No. 8	0-5

COVER MATERIAL SHALL CONSIST OF CRUSHED BANK-RUN GRAVEL. THIS MATERIAL SHALL SUBSTANTIALLY CONFORM TO THE TO THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
1-INCH	100
3/4 INCH	85-100
3/8 INCH	50-80
No. 4	35-65
No. 40	15-30
No. 200	5-15

- NOTE:
- BURIED DEPTHS VARY, SEE UTILITY PLAN FOR SEWER AND WATER DEPTHS.
 - TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING PER SPS 382.30 REQUIREMENTS.

GRANULAR MATERIAL SHALL CONSIST OF UNIFORM GRADED DURABLE PARTICLES. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COURSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACK FILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZES

SIEVE SIZES	PERCENTAGE PASSING BY WEIGHT
2-INCH	95-100
No. 4	65-60
Finer than No. 200	35-65

UTILITY DETAILS

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

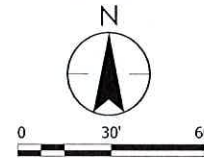
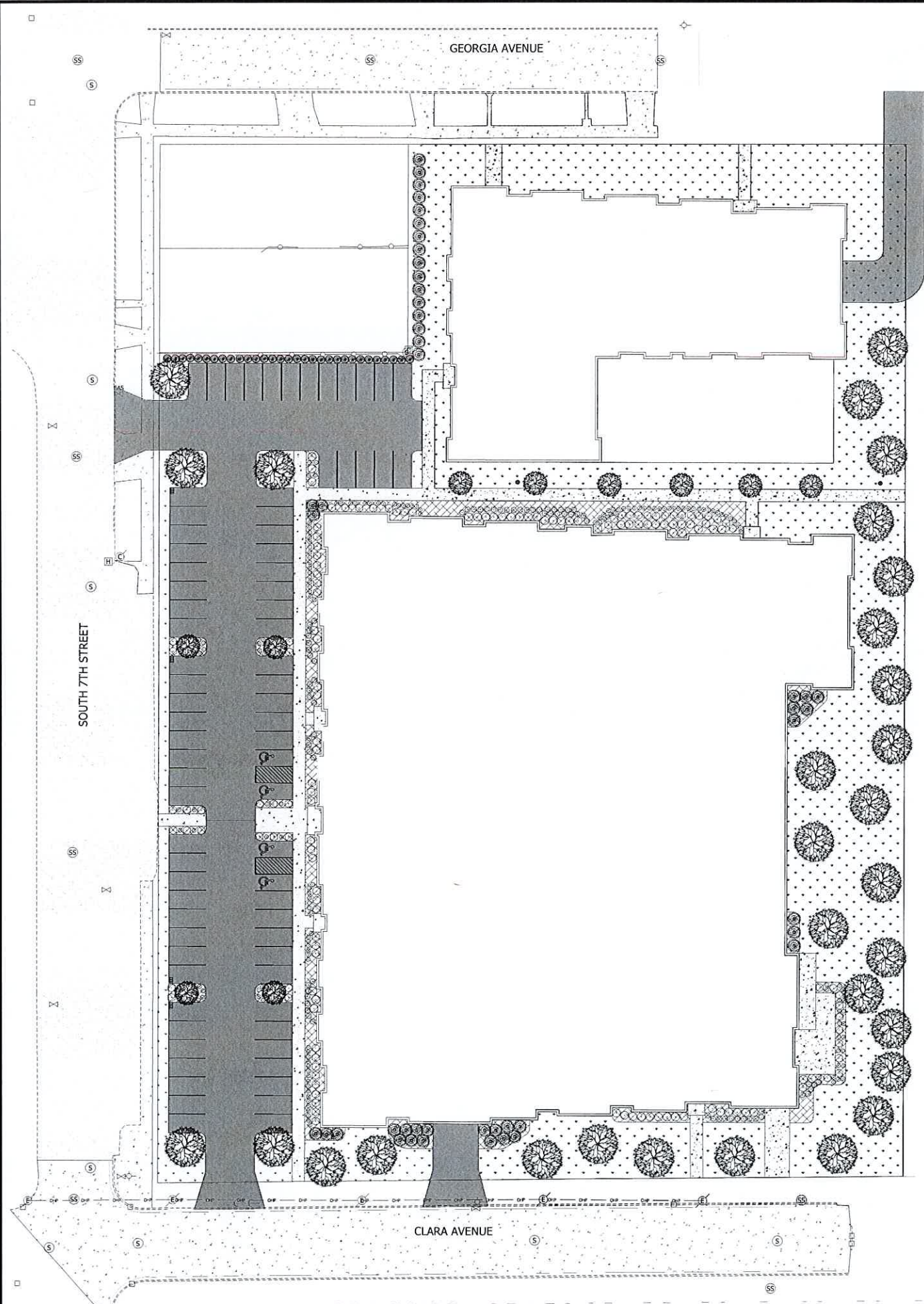
NO REVISION DATE

SURVEY STANTEC
DRAWN MTA
DESIGNED PJH
CHECKED SRW
APPROVED PJH
PROJ. NO. 193806785

SHEET NUMBER
C701

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.

Plot Date: 06/14/2024 - 3:26pm
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Drawn: J. E. BORDERS 2204.dwg
Proj. No: 193806785
Proj. Name: MALIBU APTS
Proj. Location: 193806785_MALIBU APTS
Proj. Description: SHEET BORDER 2204
Proj. Date: 06/14/2024 - 3:26pm
Proj. Author: J. E. BORDERS 2204.dwg
Proj. Title: SHEET BORDER 2204



LANDSCAPE REQUIREMENTS for PHASE 1
ZONING: UR-12

BUILD FOUNDATION
50 Landscaping Points per 100ft Building Foundation
Foundation Length 1,219 LF
Required Landscaping Points ~~600 pts~~ **610 pts**

DEVELOPED LOTS
20 Landscaping Points per 1,000 SQ FT of Gross Floor Area
Gross Floor Area 238,812 SQ FT
Required Landscaping Points ~~4700 pts~~ **4777 pts**

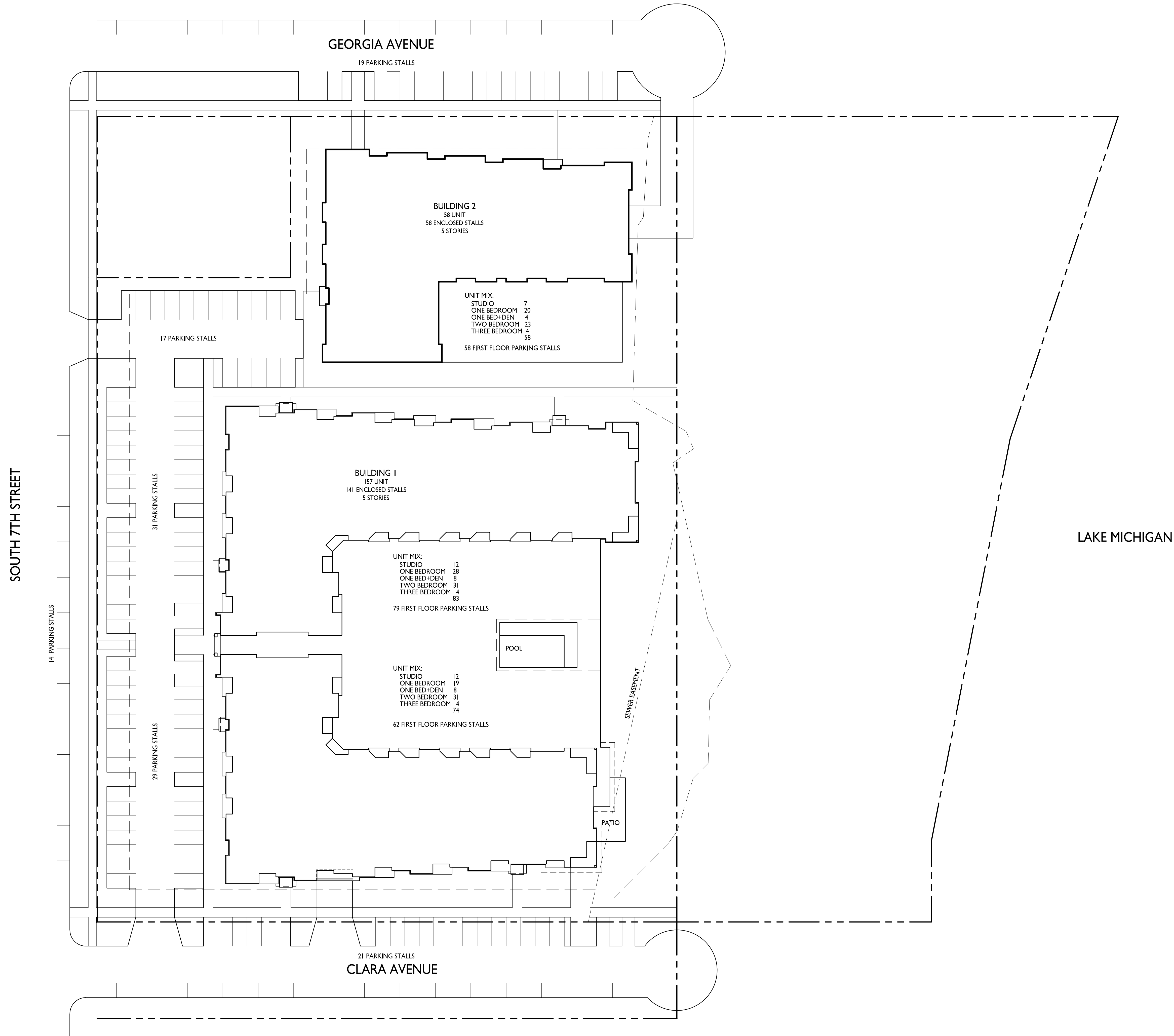
STREET FRONTAGES
50 Landscaping Points per 100ft Street Frontage
North Property Line 240 LF
South Property Line 360 LF
West Property Line 400 LF
Required Landscaping Points 500 PTS

PAVED AREAS
100 Landscaping Points per 10,000 SQ FT of Paved Area or 20 Parking Stalls
Parking Stalls 77
Pavement Area 33,292 SQ FT
Required Landscaping Points ~~400 pts~~ **385 pts**

TOTAL PHASE 1 REQUIRED LANDSCAPING PTS = ~~6330 pts~~ 6272 pts

	TYPE	QUANTITY	SPECIES - COMMON NAME	SPECIES - LATIN NAME	POINT VALUE	TOTAL
	CLIMAX TREE (2" CALIPER IN MULCH CIRCLE)	30	WHITE OAK	Quercus alba	75	2250
	TALL DECIDUOUS TREE (1 1/2" CALIPER IN MULCH CIRCLE)	10	SUGAR CONE MAPLE	Acer saccharum	75 75	750 750
	TALL EVERGREEN TREE (5' TALL IN MULCH CIRCLE)	45	EASTERN WHITE PINE	Pinus strobus	40	1800
	MEDIUM EVERGREEN TREE (4' TALL IN MULCH CIRCLE)	31	AMERICAN ARBORVITAE	Thuja occidentalis	20	620
	MEDIUM EVERGREEN SHRUB (18" TALL/WIDE)	56	PYRAMIDAL ARBORVITAE	Thuja occidentalis	5	280
	LOW EVERGREEN SHRUB (12" TALL/WIDE)	70	WISCONSIN JUNIPER	Juniper horizontalis	3	210
	TALL DECIDUOUS SHRUB (36" TALL)	88 ?	NANNYBERRY	Viburnum cassinoides	5	440
	MEDIUM DECIDUOUS SHRUB (24" TALL)	150 ?	AMERICAN HAZELNUT	Corylus americana	3	450
	MULCH BED	0			0	0
	TURF SOD	0			0	0
TOTAL					6350	

Approved with noted
corrections and attached
conditions.
Janet M. Wellman
7.5.2024

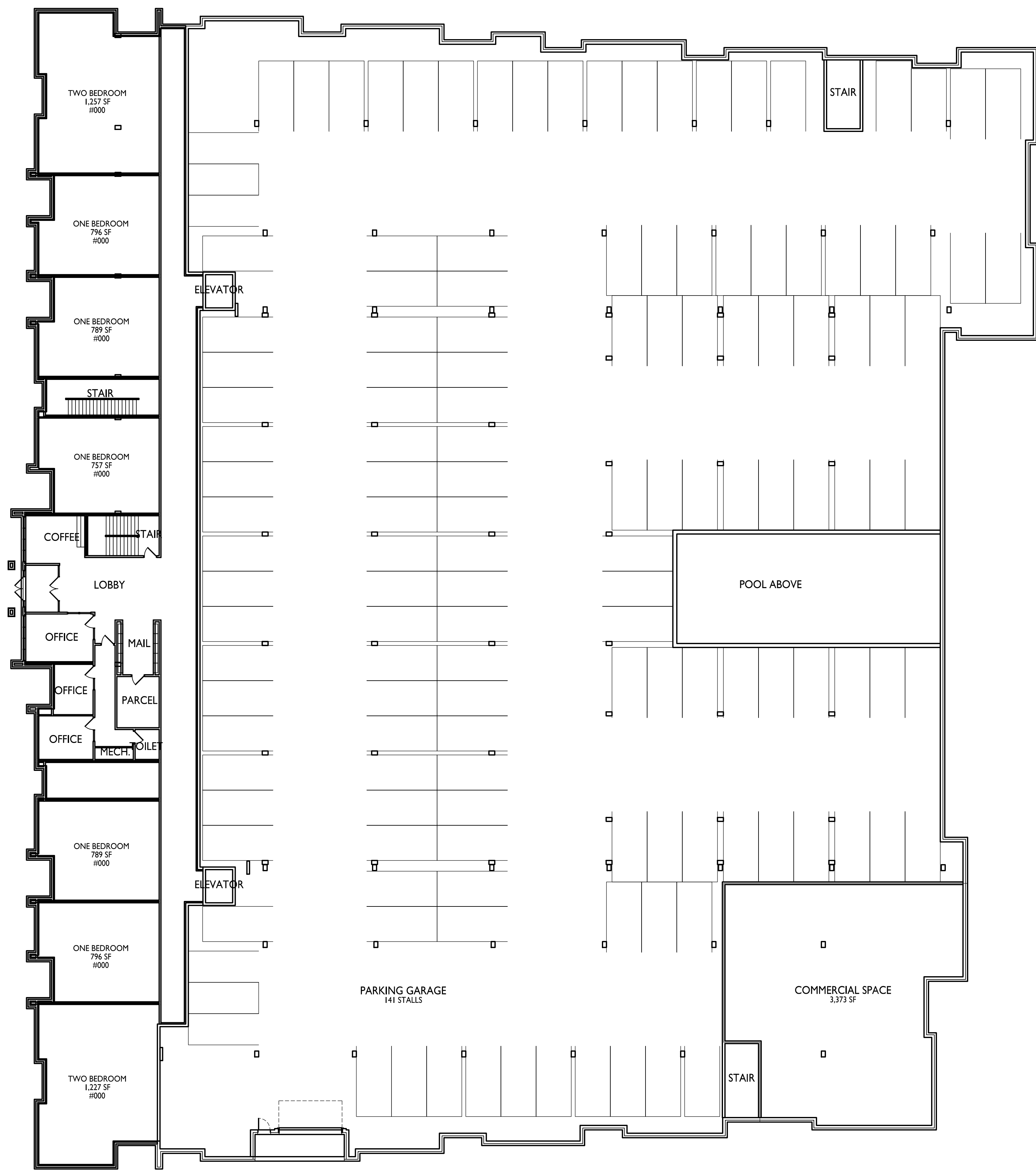


ISSUED
Issued for Review - November 21, 2023

PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Site Plan

SHEET NUMBER



I
A-1.1
FIRST FLOOR PLAN
1/16" = 1'-0"

ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
First Floor Plan

SHEET NUMBER

ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
Buswell Sheboygan
Development

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Second Floor Plan

SHEET NUMBER



1
A-1.2

SECOND FLOOR PLAN

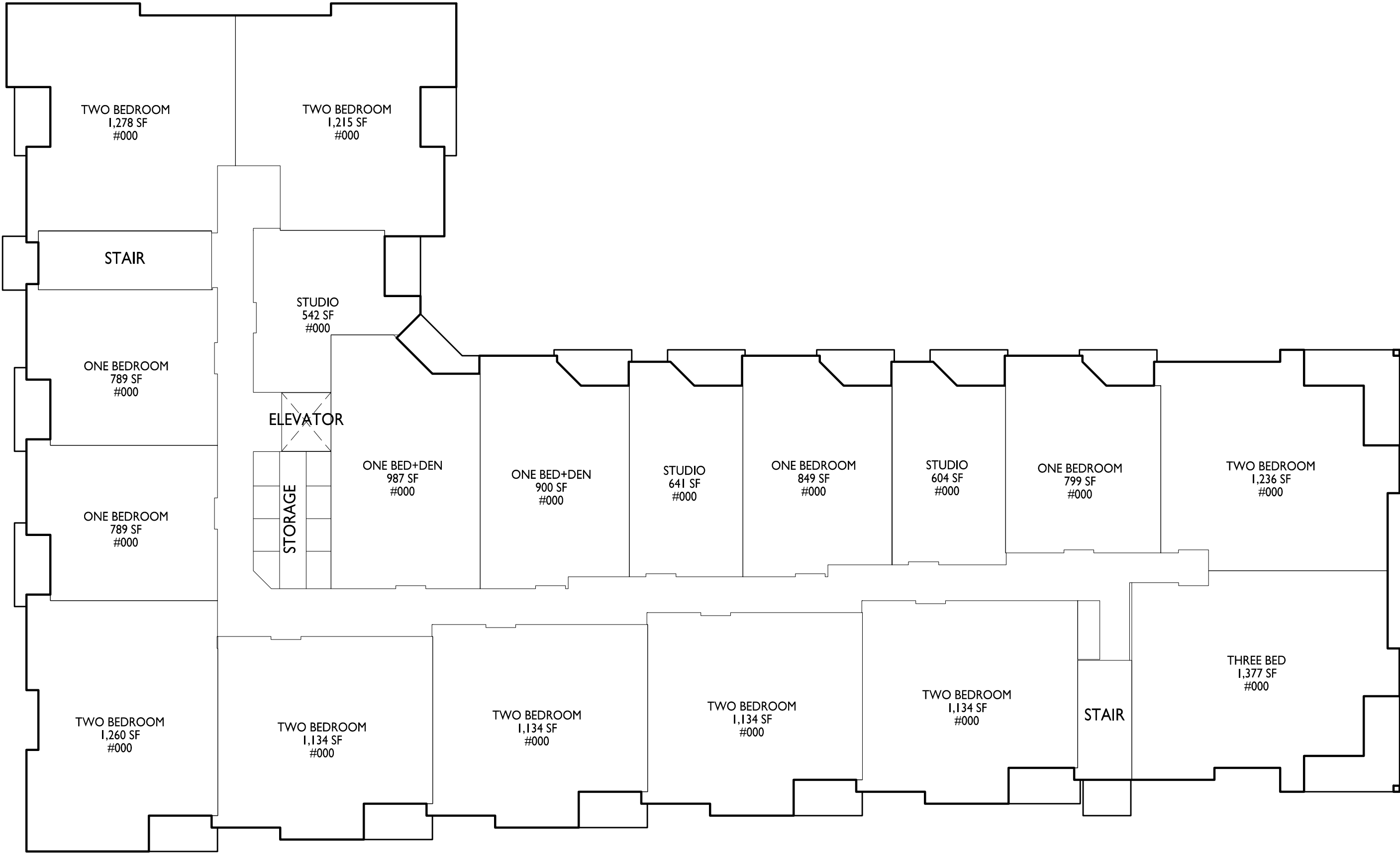
1/16" = 1'-0"

ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
Buswell Sheboygan
Development

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Third, Fourth, and
Fifth Floor Plan

SHEET NUMBER



MALIBU

A P A R T M E N T S , L L C



S H E B O Y G A N , W I S C O N S I N





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Buswell Sheboygan Development

1403-1435 S. 7th Street Sheboygan, Wisconsin

06.14.2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





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06.14.2024





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Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024



Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024



Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024



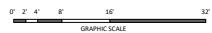


WEST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE CAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUFF BLUE - DREAM COLLECTION
04	BRICK VENEER	KACHA BRICK	CAMP COOL - HERITAGE TEXTURE
05	CAST STONE	CORNOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORNOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACORN	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMS	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS BALCONY	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTANTEED	SILVER BIRCH



SOUTH ELEVATION



Exterior Elevations

A-2.1

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378



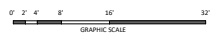


EAST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT BIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACEC BRICK	CARF COO - HERITAGE TEXTURE
05	CAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDBRSON	WHITE
11	STANDING SEAM METAL ROOF	EMG	SILVER
12	ALUMINUM STOREFRONT	TED	WHITE
13	GLASS RAILING	TED	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Exterior Elevations

A-2.2

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

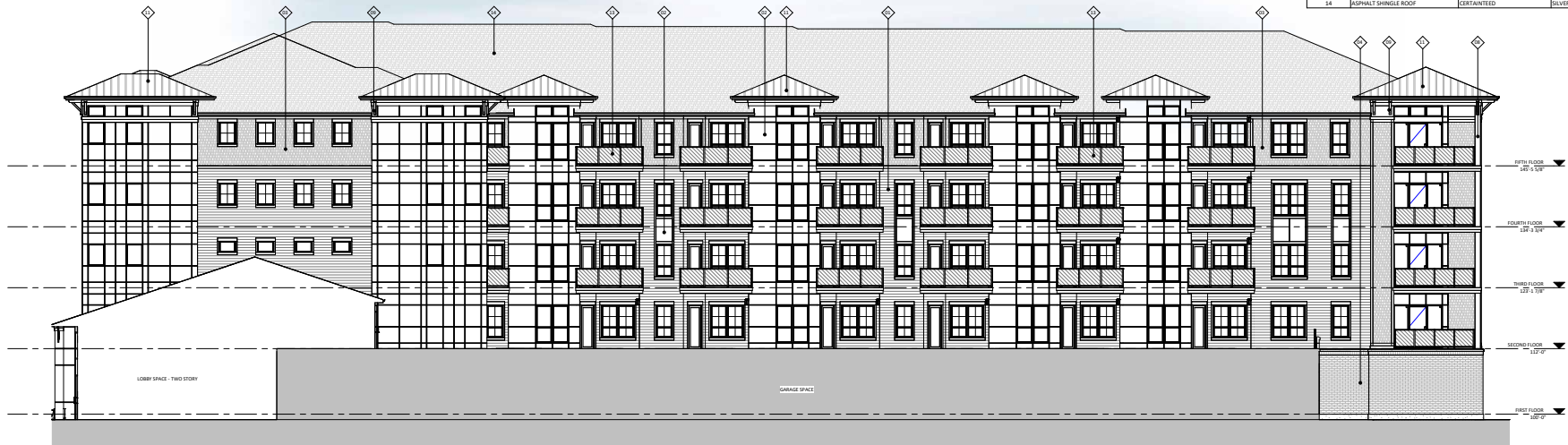
GDP & SIP SUBMITTALS | 06.13.2024 | 2378





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE		
MARK	BUILDING ELEMENT	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK CAPE COD - HERITAGE TEXTURE
05	CAST STONE	CONDONA STONE ALABASTER GROUND FACE
06	CAST STONE VENEER	CONDONA STONE ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE ARCTIC WHITE
09	ROOF ACCESS	JAMES HARDIE ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN WHITE
11	STANDING SEAM METAL ROOF	CAC SILVER
12	ALUMINUM STOREFRONT	TBD WHITE
13	GLASS RAILING	TBD SILVER
14	ASPHALT SHINGLE ROOF	EXTANT/EXIST



EAST INTERIOR ELEVATION



WEST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHANK SIDING 6"	JAMES HARDIE	TRUE BLUE DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WARRANTY COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTANTEED	SILVER BIRCH



SOUTH ELEVATION



Colored Exterior Elevations

A-2.4

Buswell Sheboygan Development
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





EAST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHANK SIDING 6"	JAMES HARDIE	TRUE BLUE DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	MANAGED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Colored Exterior Elevations

A-2.5

Buswell Sheboygan Development
1403-1435 S. 7th Sreet Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	MANAGED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



Colored Exterior Elevations

A-2.6

Buswell Sheboygan Development
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378



CITY OF SHEBOYGAN

REQUEST FOR PLANNING COMMISSION CONSIDERATION

ITEM DESCRIPTION: Specific Implementation Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390. PUD Planned Unit Development Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 2, 2024

MEETING DATE: July 9, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Today the Plan Commission will be reviewing the Malibu Apartments Specific Implementation Plan (SIP) for property located at parcel #59281318390. The process for review and approval of the SIP is similar to that for conditional use permits.

Malibu Apartments, LLC is proposing to construct the Malibu Apartments on parcel #59281318390.

The applicant states the following about the Malibu Apartments project:

- Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.
- This site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”.
- This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan.
- Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project.

- The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature.
- Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas.
- Malibu Apartments is also a pet friendly community for those residents with furry family members.
- Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7th street and brick veneer around the north and south walls of the structure.
- The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

- Phase 1
- 24 Studios
- 63 One-bedroom units
- 62 Two-bedroom units
- 8 Three-bedroom units
- 157 total units
- 3,758 sf of Commercial restaurant space
- 213 parking stalls (141 interior stalls, 72 surface stalls, + street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

- The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):
 - Main Level (garage level) = 67,659 sf
 - Second Floor = 43,383 sf
 - Third Floor = 42,590 sf
 - Fourth Floor = 42,590 sf
 - Fifth Floor = 42,590 sf
 - Total area = 238,812 sf.

- An enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study.

STAFF COMMENTS:

The City has been seeking to improve this section of S 7th St. for some time and the Malibu Apartments present a great opportunity to achieve this vision. The proposed project will:

- Provide revitalization to an area of the city that has been underutilized in a manner that compliments and positively will impact the mixed use neighborhood.
- Provide needed housing opportunities for individuals and families.
- Increase the City's tax base on this vacant and undeveloped property.

ACTION REQUESTED:

Motion to recommend the Common Council approve the proposed Specific Implementation Plan subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster enclosure shall be completed prior to issuance of an occupancy permit for the apartment building to be occupied.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All areas used for parking/maneuvering of vehicles shall be paved.
7. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
8. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.

12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
13. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, art, etc.
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
16. Owner/Developer and City understand that the landscape plan is to be installed in phases.
17. Owner/Developer is responsible for installation of the entire approved landscape plan. If the owner/developer elects to amend the landscape plan in any fashion, the owner/developer shall resubmit an amended plan to Department of City Planning & Development for approval.
18. Plantings located around all ingress/egress of the site shall be maintained to not interfere with vehicular/pedestrian traffic.
19. Plantings located around the Fire Department Connection must be maintained to make sure that it is accessible at all times.
20. Plantings located by light poles should be maintained to keep areas well lit.
21. The Department of Planning & Development must inspect the landscaping. Failure to comply with any of the above conditions may require the removal and replanting of plants.
22. All plantings will need to be maintained per Section 105-894(b) Maintenance.


If there are any amendments to the approved SIP the applicant will have to submit an amended SIP for review that accurately reflects any and all proposed changes.

ATTACHMENTS:

Specific Implementation Plan (SIP) and required attachments.

	<p align="center">CITY OF SHEBOYGAN</p> <p align="center">APPLICATION FOR CONDITIONAL USE</p>	<div>Item 9.</div>	
		Fee: \$250.00	
		Review Date: 6/18/2024 Zoning: PUD	

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Malibu Apartments, LLC		Authorized Representative Jacob Buswell	
Title Partner			
Mailing Address 1525 Torrey View Drive	City Sparta	State WI	ZIP Code 54656
Email Address jake.buswell@allamericandoitcenter.com		Phone Number (incl. area code) 262-623-8348	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity)		Contact Person	
Title			
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	
SECTION 3: Project or Site Location			
Project Address/Description 1403,1435 S. 7th St. Sheboygan, WI/ approximately 3.8 acres		Parcel No. 59281318390	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		Malibu Apartments	
Existing Zoning:		N/A	
Present Use of Parcel:		Vacant Land	
Proposed Use of Parcel:		Mixed-Use (Multi-famliy & light commercial)	
Present Use of Adjacent Properties:		Commercial Business, single family	
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Jake Buswell		Title Partner	Phone Number 262-623-8348
Signature of Applicant 		Date Signed 6/18/2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

Jake Buswell
 Malibu Apartments, LLC
 1525 Torrey View Drive
 Sparta, WI 54656

June 18, 2024

Ellise Rose, Associate Planner
 Diane McGinnis, Director of Planning and Development
 Elke Daugherty, Planning and Zoning Administrator
 City of Sheboygan
 828 Center Avenue
 Sheboygan, WI 53081

Dear City Staff,

Please accept this narrative cover letter and the included documents as our official submittal for the PUD, GDP, and SIP (phase 1) packages for our Malibu Apartments project that connects with “Kite Beach” on parcels: 59281318390 and 59281303390.

As you’ll see within our plans an enormous amount of forethought and planning went into creating a development that not only cleans up and receives closure on an old brownfield DNR site but also works to achieve city goals outlined in the Comprehensive Master plan and also addresses housing shortages outlined within the new city housing study. Malibu Apartments is a very complex project due to many factors including the contamination and inadequate subsoils. For this project to be financially viable we need to achieve approval for the submitted density, parking, setbacks and height for this project to move forward.

As mentioned above this site is connected to what is known as “Kite Beach”. The name “Malibu Apartments” is being used to forever memorialize this area as “The Malibu of the Midwest”. This project will help bring hundreds of people, who otherwise might not ever have this opportunity, to live right on Sheboygan’s most plentiful natural resource—Lake Michigan. Enhancing the beach community by bringing more people to the shores of Lake Michigan to live at a property that purposely focuses on holistic wellness is a goal and overall “Theme” of our project. The property will bring many new amenities to Sheboygan such as a lake front pool and common area, state of the art work out facility with lake views, pet wash stations, we will have surf boards, paddle boards, kayaks, lawn games and other outdoor recreational equipment available for our residents to utilize as a way to connect with nature. Malibu Apartments provides opportunities for a high quality of life in relaxed luxury apartments with breathtaking water views and seamless connectivity to Kite Beach, South Pier, King Park, and South Sheboygan areas. Malibu Apartments is also a pet friendly community for those residents with furry family members.

Malibu Apartments is a nautical looking building fitting the larger community appeal with an interior parking structure that is wrapped with apartments, lobby spaces, and community areas along South 7th street and brick veneer around the north and south walls of the structure. The project also includes the potential for waterfront commercial restaurant space at the end of Clara Avenue. A new lake front restaurant with spectacular views would be a new social gathering place for the larger community and serve as an excellent amenity for the residents as well.

Below are unit mix and parking details for Malibu Apartments:

Phase 1

22 Studios

58 One-bedroom units

64 Two-bedroom units

8 Three-bedroom units

152 total units

3,758 sf of Commercial restaurant space

207 parking stalls (135 interior stalls, 72 surface stalls, + street parking)

Phase 2

7 Studios

24 One-bedroom units

23 Two-bedroom units

4 Three-bedroom units

58 total units

75 parking stalls (+street parking)

*Typically for an urban setting like this with high walkability and located on a bus route, parking ratios tend to be close to 1 stall per unit.

The building areas for Phase 1 are as follows: (to be used for Floor Area Ratio calculations):

Main Level (garage level) = 67,659 sf

Second Floor = 43,383 sf

Third Floor = 42,590 sf

Fourth Floor = 42,590 sf

Fifth Floor = 42,590 sf

Total area = 238,812 sf.

Please see the attached for the location map, site map, site plan, floor plan (phase 1 SIP only), elevations, renderings, landscape plans, and conceptual grading and drainage plans. As we get closer to site plan approval, we will also provide a lumen intensity site plan and make sure to limit any over property line light wash.

Thank you for your consideration of this as the submittal packet for our PUD, GDP, and phase 1 SIP. We appreciate this opportunity and are excited to continue the redevelopment of this brownfield site.

Sincerely,

Jake Buswell
Partner
Malibu Apartments, LLC



MALIBU APARTMENTS AT KITE BEACH - SHEBOYGAN, WI

CIVIL CONSTRUCTION PLAN SET

INDEX OF SHEETS

C001	1	COVER SHEET
C002	2	GENERAL NOTES AND QUANTITIES
C100	3	EXISTING CONDITIONS & DEMOLITION/REMOVAL PLAN
C101	4	EROSION CONTROL PLAN
C200-C201	5-6	SITE PLAN (NORTH AND SOUTH)
C300-C301	7-8	UTILITY PLAN (NORTH AND SOUTH)
C400-C401	9-10	GRADING PLAN (NORTH AND SOUTH)
C500	11	LANDSCAPE PLAN
C600	12	EMERGENCY VEHICLE TURNING PATH
C700	13	CONSTRUCTION DETAILS
C701	14	UTILITY DETAILS

SITE DATA

OWNER:	SHEBOYGAN LAKEVIEW PROPERTY, LLC C/O JAKE BUSWELL
SITE ADDRESS:	TBD SOUTH 7TH STREET SHEBOYGAN, WI 53081
PARCEL NUMBER:	59281318390 + 59281303390
PARCEL SIZE:	3.85 ACRES
ZONING:	PLANNED UNIT DEVELOPMENT (PUD) - PENDING APPROVAL

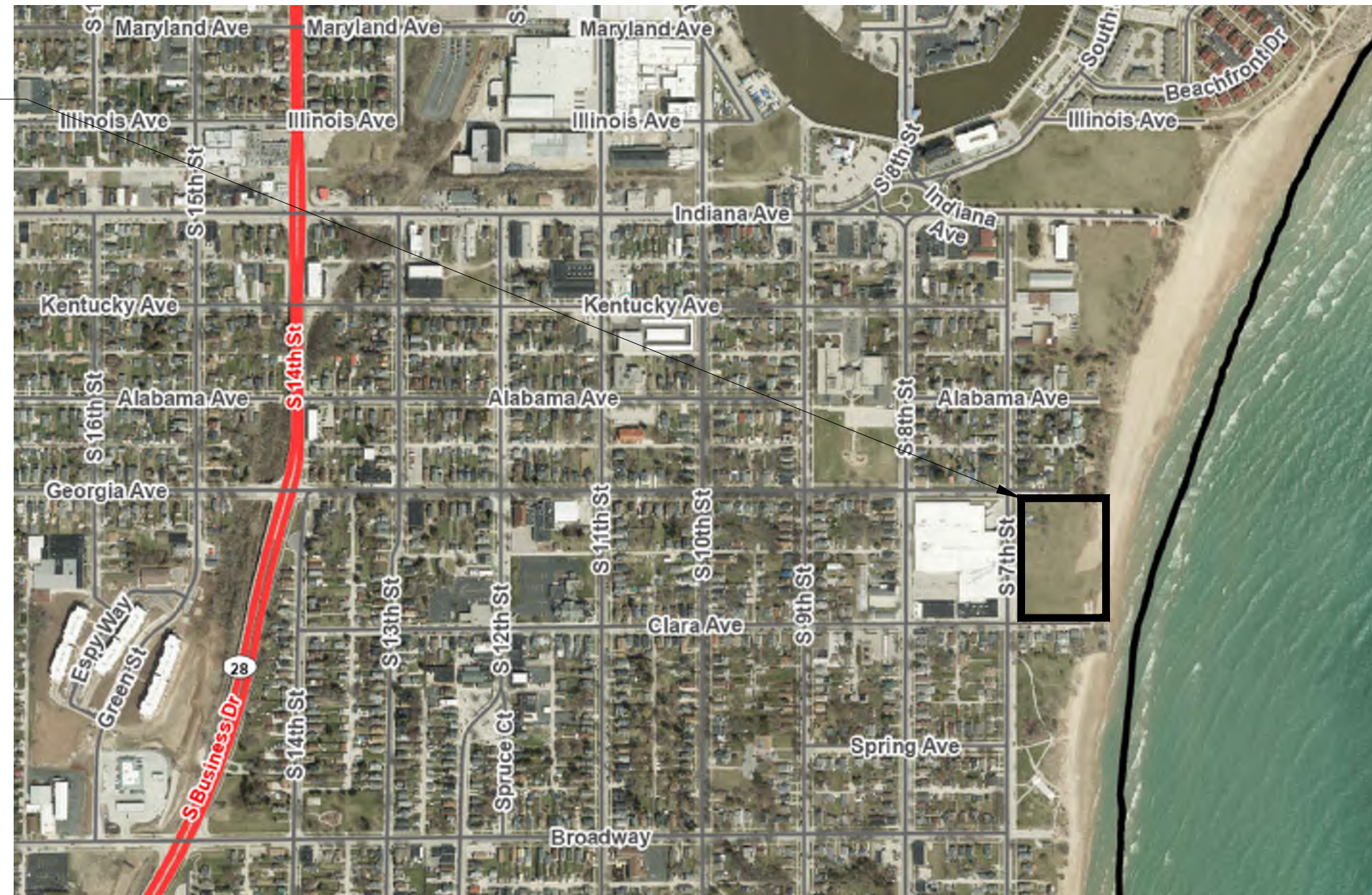
<u>EXISTING SITE (EXCLUDING ROW*):</u>	
GREEN SPACE:	164,913 (98.4%)
IMPERVIOUS AREA:	2,654 SF (1.6%)
BUILDINGS:	00 SF
PAVEMENT:	2,654 SF

PROPOSED SITE (EXCLUDING ROW*):	
GREEN SPACE PROVIDED:	43,345 (25.9%)
IMPERVIOUS AREA:	124,222 SF (74.1%)
BUILDING:	90,930 SF
PAVEMENT:	33,292 SF
TOTAL DISTURBED AREA:	3.85 ACRES

<u>SETBACKS</u>	
FRONT:	5' (ACCESSORY)
SIDE:	20' (PRINCIPAL AND ACCESSORY)
<u>PARKING</u>	
EXISTING:	0
PROVIDED:	77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT) 205 INTERIOR

<u>PARKING</u>	
EXISTING:	0
PROVIDED:	77 EXTERIOR (INCLUDES 4 ADA-COMPLIANT) 205 INTERIOR

PROJECT LOCATION



LOCATION MAP

NO SCALE

PROJECT TEAM:

OWNER:
SHEBOYGAN LAKEVIEW PROPERTY, LLC

8575 W FOREST HOME AVE STE 160
GREENFIELD, WI 53228

JAKE BUSWELL
1525 TORREY VIEW DRIVE
SPARTA, WI 54656
262-623-8348
JAKE.BUSWELL@ALLAMERICANDOITCENTER.COM

CIVIL ENGINEER:
STANTEC CONSULTING SERVICES, INC.
312 N 5TH AVE
STURGEON BAY, WI 54235

CONTACT:
PETE HURTH, P.E.
920-298-1759
PETER.HURTH@STANTEC.COM

SKYLER WITALISON, P.E.
920-298-1763
SKYLER.WITALISON@STANTEC.COM

UTILITY CONTACT INFORMATION

MUNICIPAL SERVICES BUILDING
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920.459-3440
M-F 7:30AM-4:00PM

CITY OF SHEBOYGAN - PUBLIC WORKS
KEVIN JUMP, CITY ENGINEER
2026 NEW JERSEY AVENUE
SHEBOYGAN, WI 53081
920-459-3367
KEVIN.JUMP@SHEBOYGANWI.GOV

EMERGENCY NUMBERS

POLICE/FIRE
911

NON-EMERGENCY NUMBERS

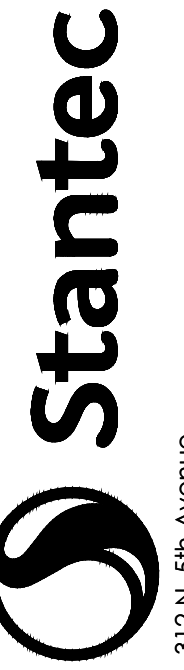
POLICE DEPARTMENT
920-459-3333

FIRE DEPARTMENT
920-459-3327



CITY OF
SHEBOYGAN

SHEBOYGAN COUNTY, WISCONSIN



312 N. 3rd Avenue
Sturgeon Bay, WI 54235
www.stantec.com

COVER SHEET

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

REVISION	DATE
----------	------

REVIEW	STANTEC
DRAWN	MTA
SIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJECT NO.	193806785

SHEET NUMBER
C001

100

STANTEC ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF STANTEC.

GENERAL

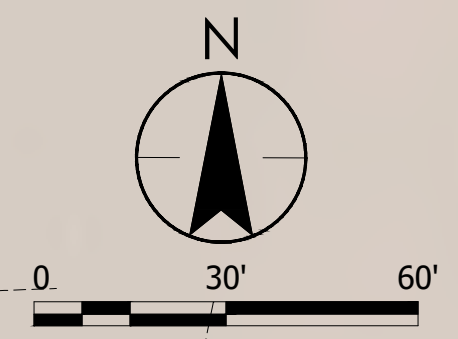
1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT HOURS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS OR HER PROPOSAL. HE OR SHE SHALL BASE THEIR BID ON HIS OR HER OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS OR HER INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL AND SHOULD BE INCLUDED IN THE BID PRICES.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
12. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH WDNr TECHNICAL STANDARDS.
13. ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATION AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
14. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

EROSION CONTROL NOTES

- EROSION CONTROL METHODS SHALL BE IMPLEMENTED AS DIRECTED BY THE ENGINEER PRIOR TO AND DURING CONSTRUCTION TO PREVENT WATER POLLUTION, EROSION, AND SILTATION
- THE LANDOWNER (REPRESENTATIVE) SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE. SEE CONSTRUCTION SITE INSPECTION REPORT (FORM 3400-187) FROM THE WDNR
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND DOCUMENTATION OF EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION PHASE. OWNER IS RESPONSIBLE FOR POST-CONSTRUCTION MAINTENANCE AND EFFORT
- ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES, AS SPECIFIED, WITHIN 3 WORKING DAYS OF FINAL GRADING
- A MINIMUM OF 4 TO 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEED OR SODDED
- WINTER STABILIZATION: ALL AREAS REQUIRING SEED AFTER OCTOBER 15TH SHALL BE STABILIZED BY AN APPROVED WINTER STABILIZATION METHOD
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR STORM EVENT SHALL BE CLEANED BY THE END OF EACH WORKDAY. FLUSHING SHALL NOT BE ALLOWED
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCHING, OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENTS AND WATER RESOURCES
- ANY DISTURBED AREAS OR SOIL STOCKPILES THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES. ALL TOPSOIL STOCKPILES SHALL BE SEED OR HAULED OFF-SITE WITHIN 60 DAYS OF CONSTRUCTION COMPLETION. THE CONTRACTOR SHALL DISPOSE OF ALL OTHER WASTE AND EXCESS MATERIAL IN AN APPROVED MANNER
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND STABILIZATION WORK REDONE
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY EROSION CONTROL PRACTICES SHALL BE REMOVED
- EROSION CONTROL CONSTRUCTION STANDARDS - SEE WDNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL STANDARDS AS FOLLOWS:
 - 1053 = CHANNEL EROSION MAT
 - 1066 = CONSTRUCTION SITE DIVERSION
 - 1062 = DITCH CHECKS
 - 1068 = DUST CONTROL
 - 1050 = LAND APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1058 = MULCHING FOR CONSTRUCTION SITES
 - 1052 = NON-CHANNEL EROSION MAT
 - 1059 = SEEDING
 - 1057 = TRACKOUT CONTROL PRACTICES
 - 1067 = GRADING PRACTICES FOR EROSION CONTROL - TEMPORARY
 - 1054 = VEGETATIVE BUFFER FOR CONSTRUCTION SITES
 - 1061 = DE-WATERING
 - 1055 = SEDIMENT BALE BARRIER
 - 1064 = SEDIMENT BASIN
 - 1063 = SEDIMENT TRAP
 - 1070 = SILT CURTAIN
 - 1056 = SILT FENCE
 - 1060 = STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES
 - 1069 = TURBIDITY BARRIERS
 - 1051 = WATER APPLICATION OF ADDITIVES FOR EROSION CONTROL
 - 1071 = INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS

QUANTITIES TAB
TO BE
PROVIDED IN FUTURE

DATE OF ISSUANCE	
06.17.2024 DRAFT	
NO	REVISION DATE
SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785



1. REMOVE ASPHALT; SAW CUT ALONG ROADWAY
2. RAZE/REMOVE WALL
3. REMOVE/REROUTE TELECOMMUNICATIONS LINE AND PEDESTAL; UNDER SEPARATE CONTRACT WITH SERVICE PROVIDER
4. OVERHEAD ELECTRIC POLES AND LINES TO BE REMOVED/BURIED UNDER SEPARATE CONTRACT VIA POWER PROVIDER
5. REMOVE ELECTRIC BOXES; VERIFY WITH POWER PROVIDER PRIOR TO REMOVAL
6. 20' SEWER EASEMENT
7. FLOODPLAIN BOUNDARY
8. OHW PER CITY OF SHEBOYGAN

- REMOVAL OF ANY EXISTING SOILS/MATERIALS REQUIRE COMPLETION OF A HAZARDOUS MATERIAL SURVEY IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE THE APPROPRIATE SURVEY AT NO ADDITIONAL COST TO THE OWNER

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

SEE EROSION CONTROL NOTES SHEET C002

1. STONE TRACKING PAD; SEE WDNR STANDARD 1057 "TRACKOUT CONTROL PRACTICES"
2. SILT FENCE; SEE WDNR STANDARD 1056 "SILT FENCE"

Stantec

312 N. 5th Avenue
Sturgeon Bay, WI 54235
www.stantec.com

EROSION CONTROL PLAN

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION

DATE

SURVEY

STANTEC

DRAWN

MTA

DESIGNED

P.JH

CHECKED

SRW

APPROVED

P.JH

PROJ. NO.

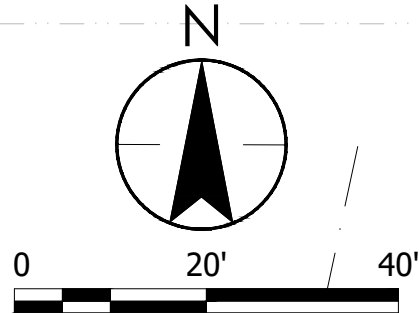
193806785

SHEET NUMBER

C101

Item 9

103



1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

●

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

1. ASPHALT PAVEMENT - 4" SECTION; SEE DETAIL A SHEET C700
2. CONCRETE SIDEWALK; 4" THICKNESS WITH THICKENED EDGE AT INTERFACE WITH ASPHALT AREAS; SEE DETAIL B SHEET C700
3. CONCRETE SIDEWALK; 4" THICKNESS; SEE DETAIL C SHEET 700
4. ADA-COMPLIANT PARKING STALL WITH SIGN, LOADING AREA, AND PAVEMENT SYMBOL
5. PAINT STRIPE; 4" WIDTH; COLOR BY OWNER PREFERENCE

SITE CONSTRUCTION NOTES

•

Stantec

312 N. 5th Avenue
Sturgeon Bay, WI 54235
www.stantec.com

SITE PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION

DATE

SURVEY

STANTEC

DRAWN

MTA

DESIGNED

P.J.H.

CHECKED

SRW

APPROVED

P.J.H.

PROJ. NO.

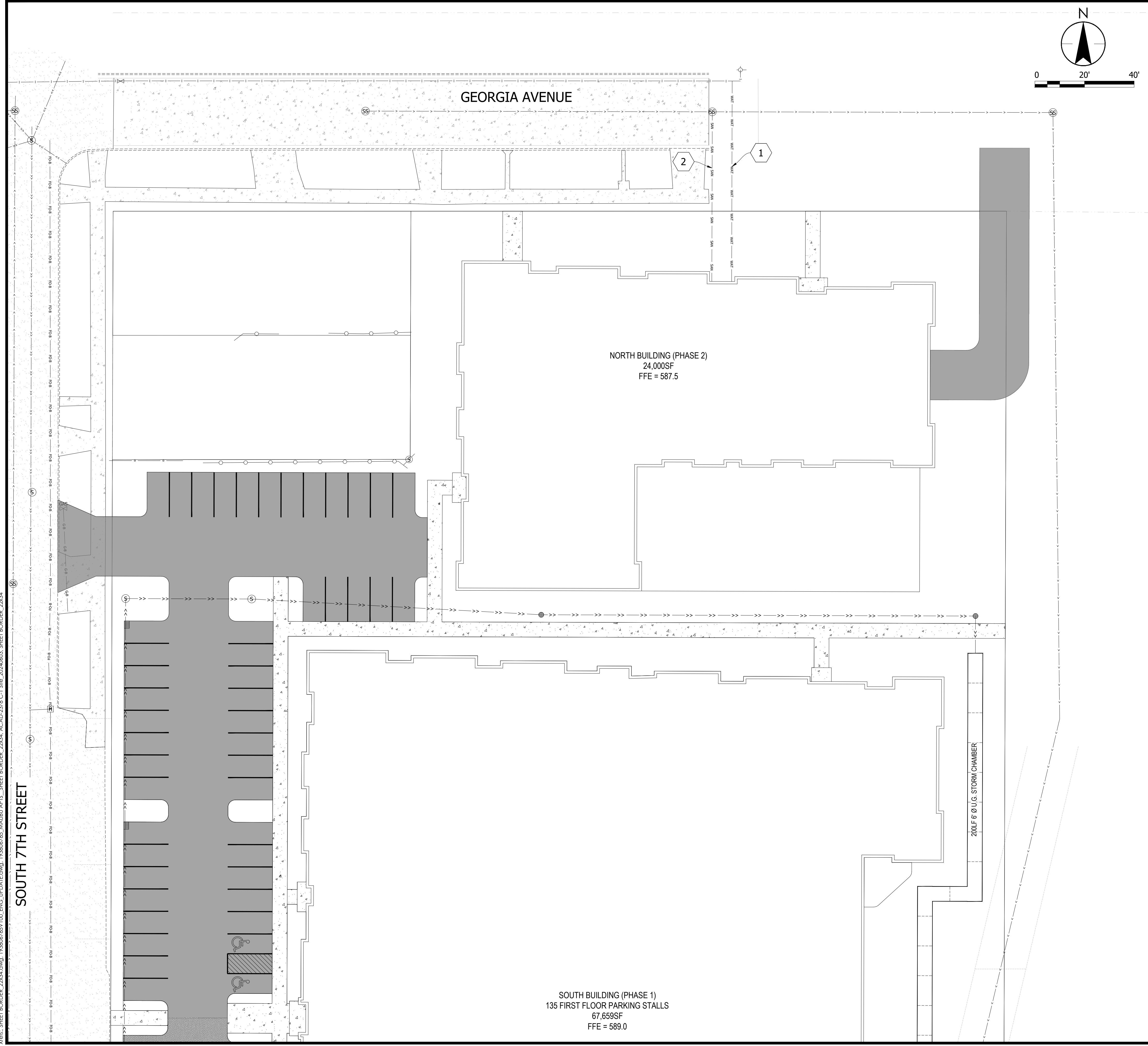
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SHEET NUMBER

C201

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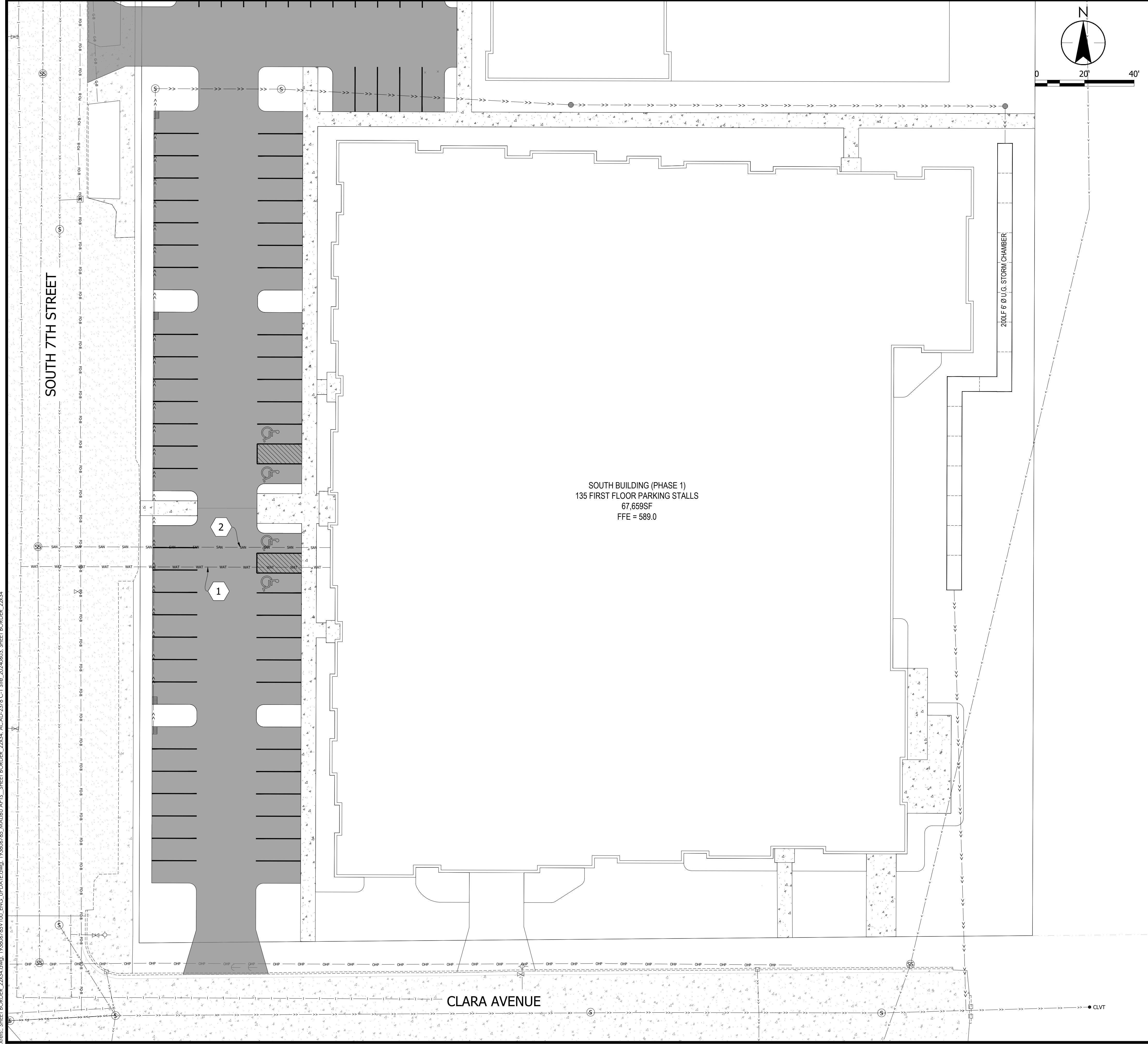
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1. WATER CONNECT
2. SEWER CONNECT


THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC WITHOUT DELAY. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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SHEET KEY NOTES

1. WATER CONNECT
2. SEWER CONNECT



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Sturgeon Bay, WI 54235
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UTILITY PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

NO. REVISION DATE

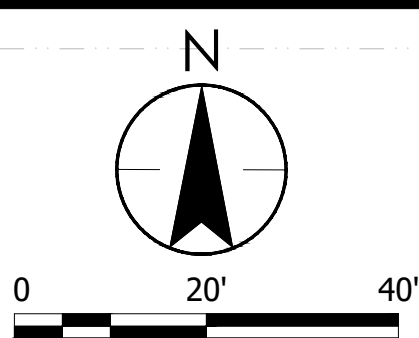
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DRAWN	MTA
DESIGNED	P.J.H.
CHECKED	SRW
APPROVED	P.J.H.
PROJ. NO.	193806785

SHEET NUMBER

C301

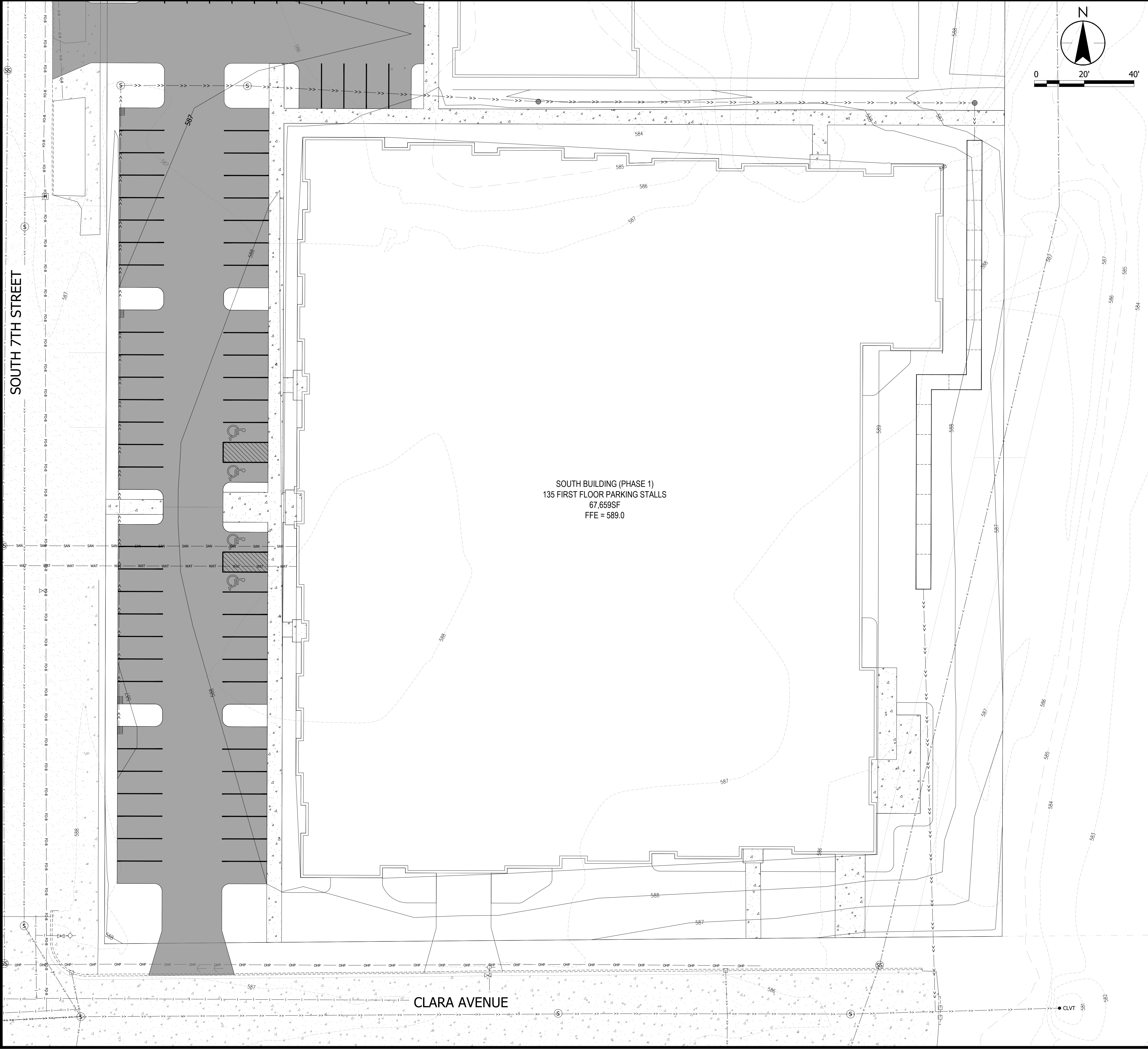
107

Plot Date: 06/17/2024 - 3:57pm



THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE
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GRADING PLAN - SOUTH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE

06.17.2024 DRAFT

NO REVISION

DATE

SURVEY

STANTEC

DRAWN

MTA

DESIGNED

P.J.H.

CHECKED

SRW

APPROVED

P.J.H.

PROJ. NO.

193806785

SHEET NUMBER

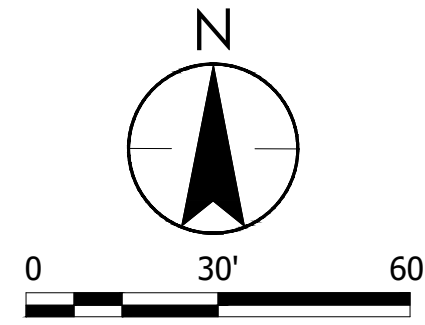
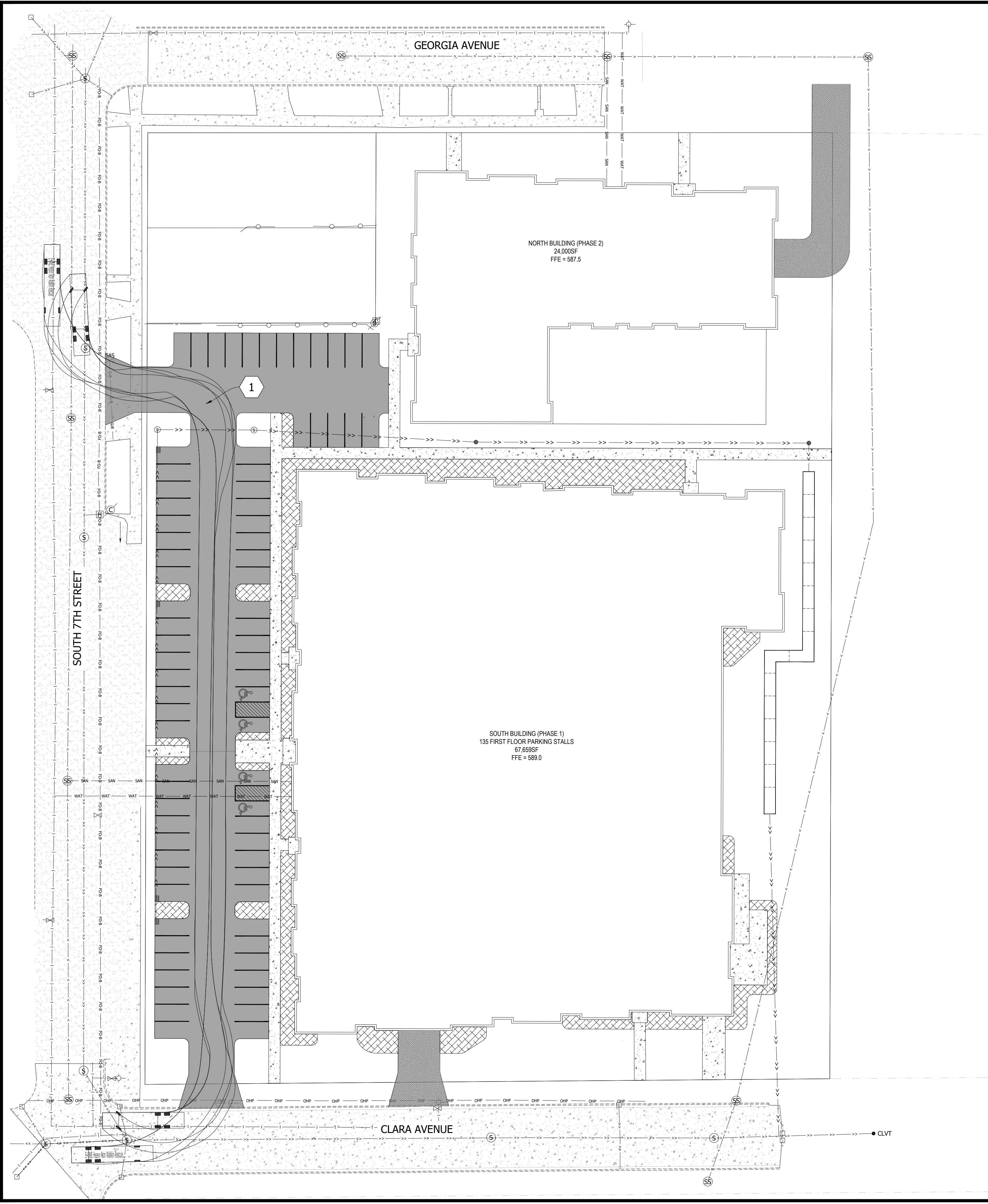
C401

Item 9

109

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SHEET KEY NOTES

1. VEHICLE TURNING RADIUS - 43' FIRE ENGINE

EMERGENCY VEHICLE TURNING PATH

SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC

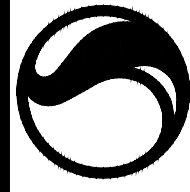
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SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

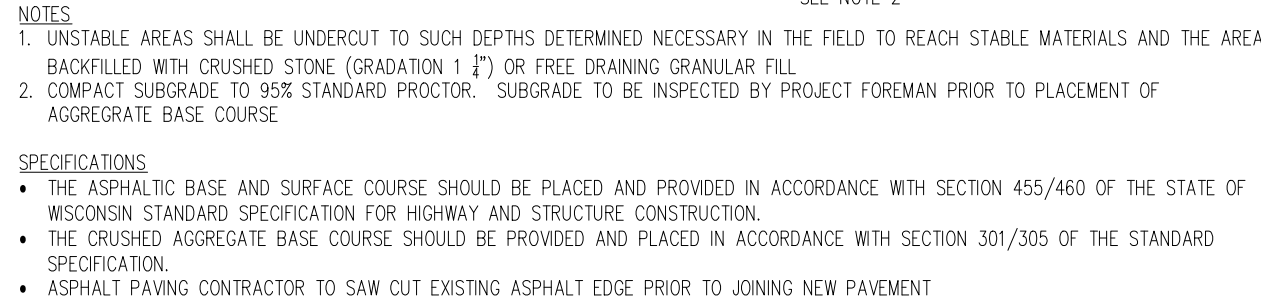
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SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

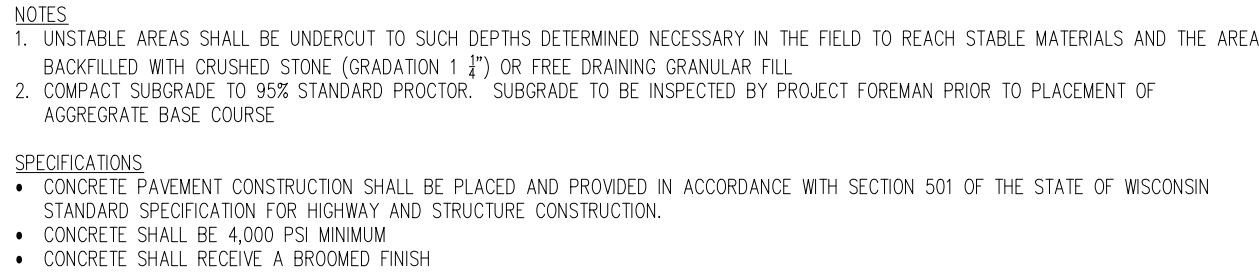
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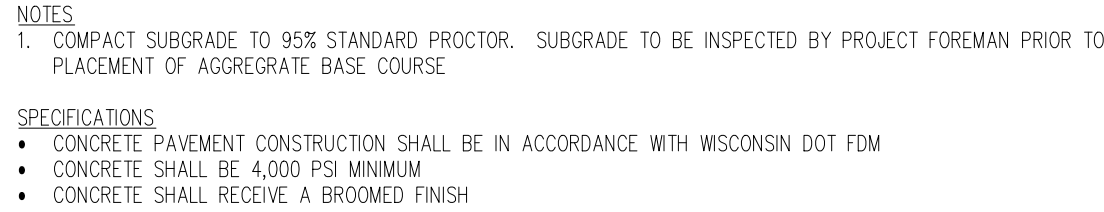
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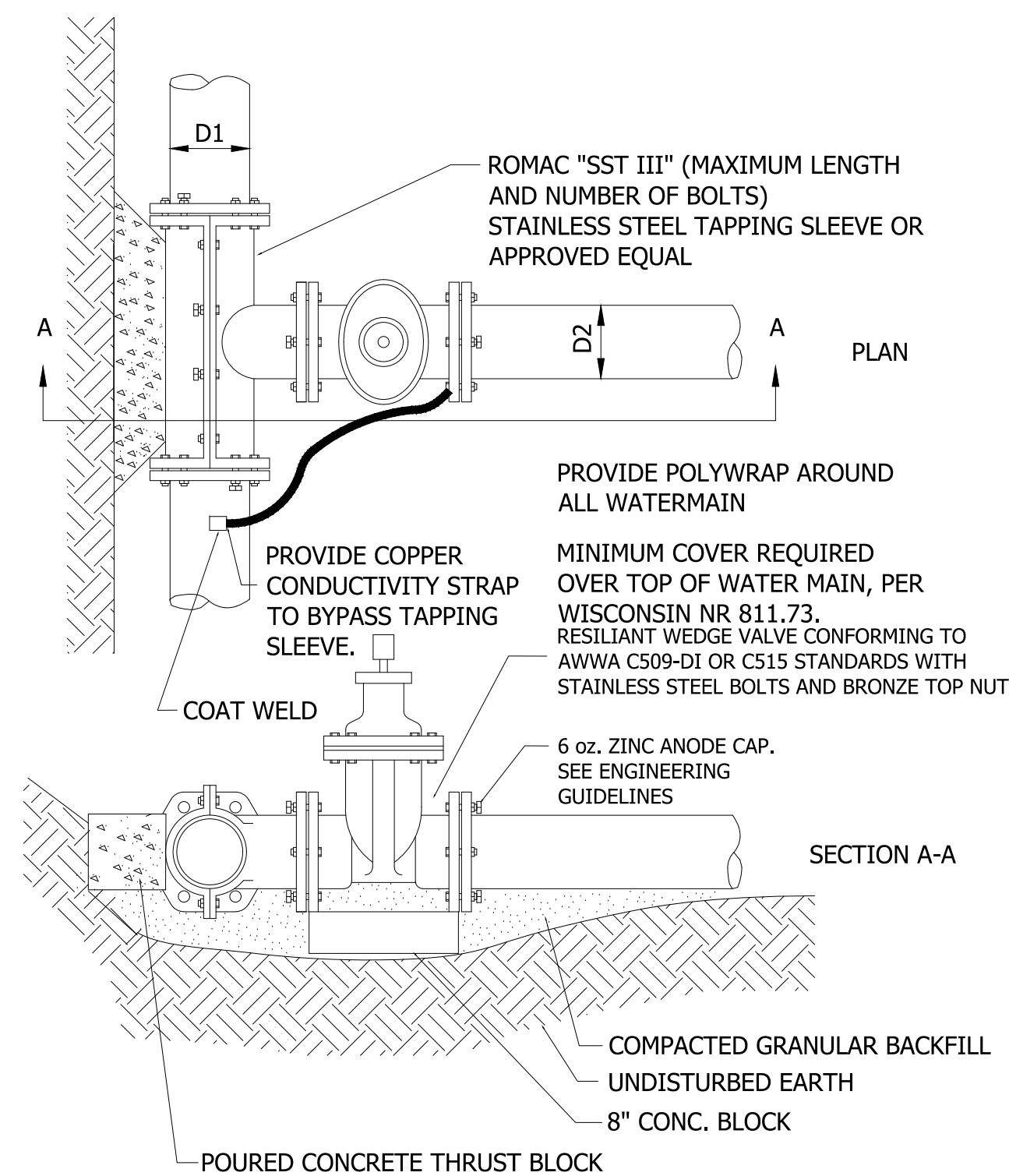
A N.T.S.



B ^{N.T.S.} CONCRETE SIDEWALK WITH THICKENED EDGE - 4" THICKNESS

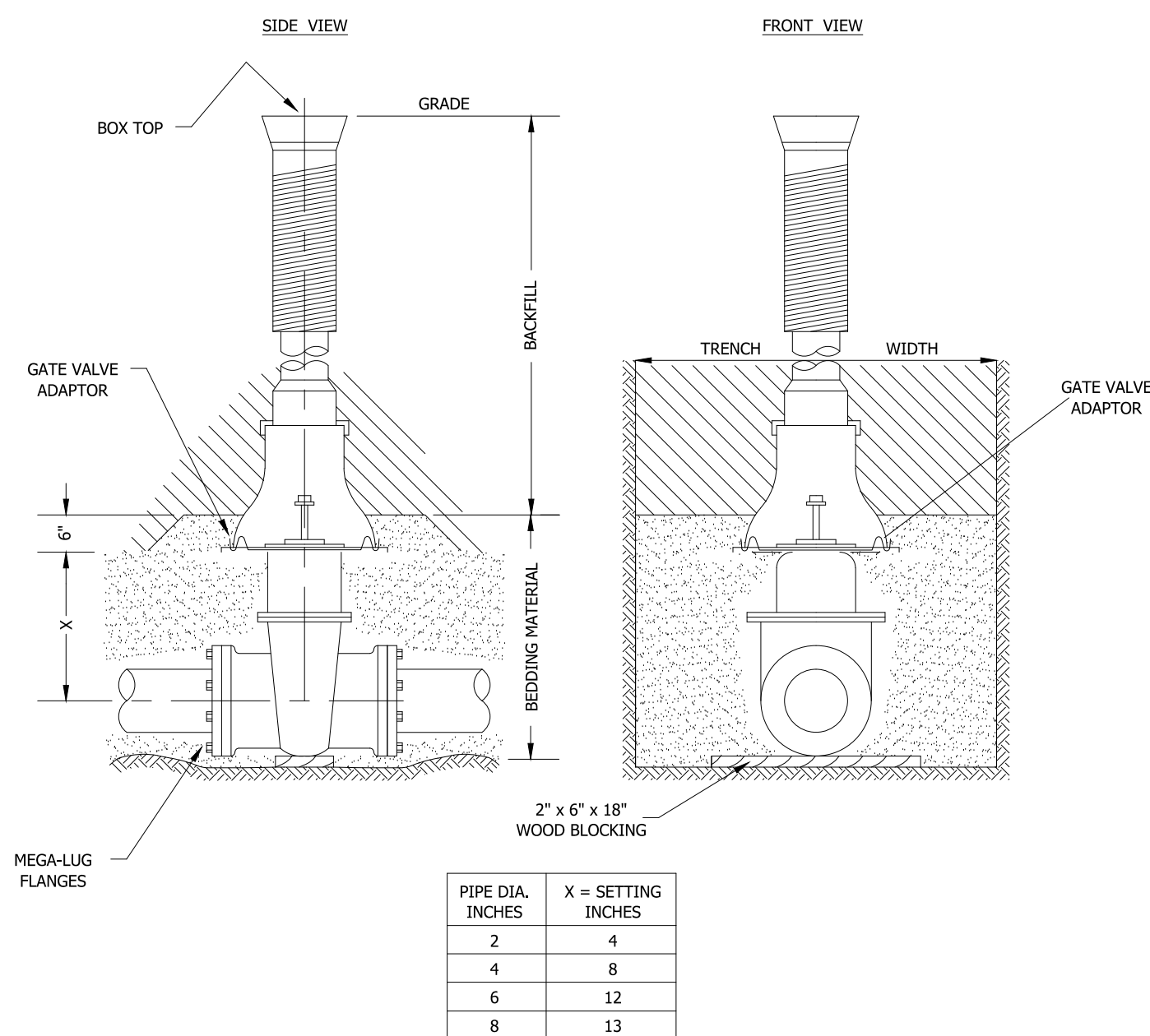


CONCRETE SIDEWALK/PAVEMENT/SLAB - 4" THICKNESS

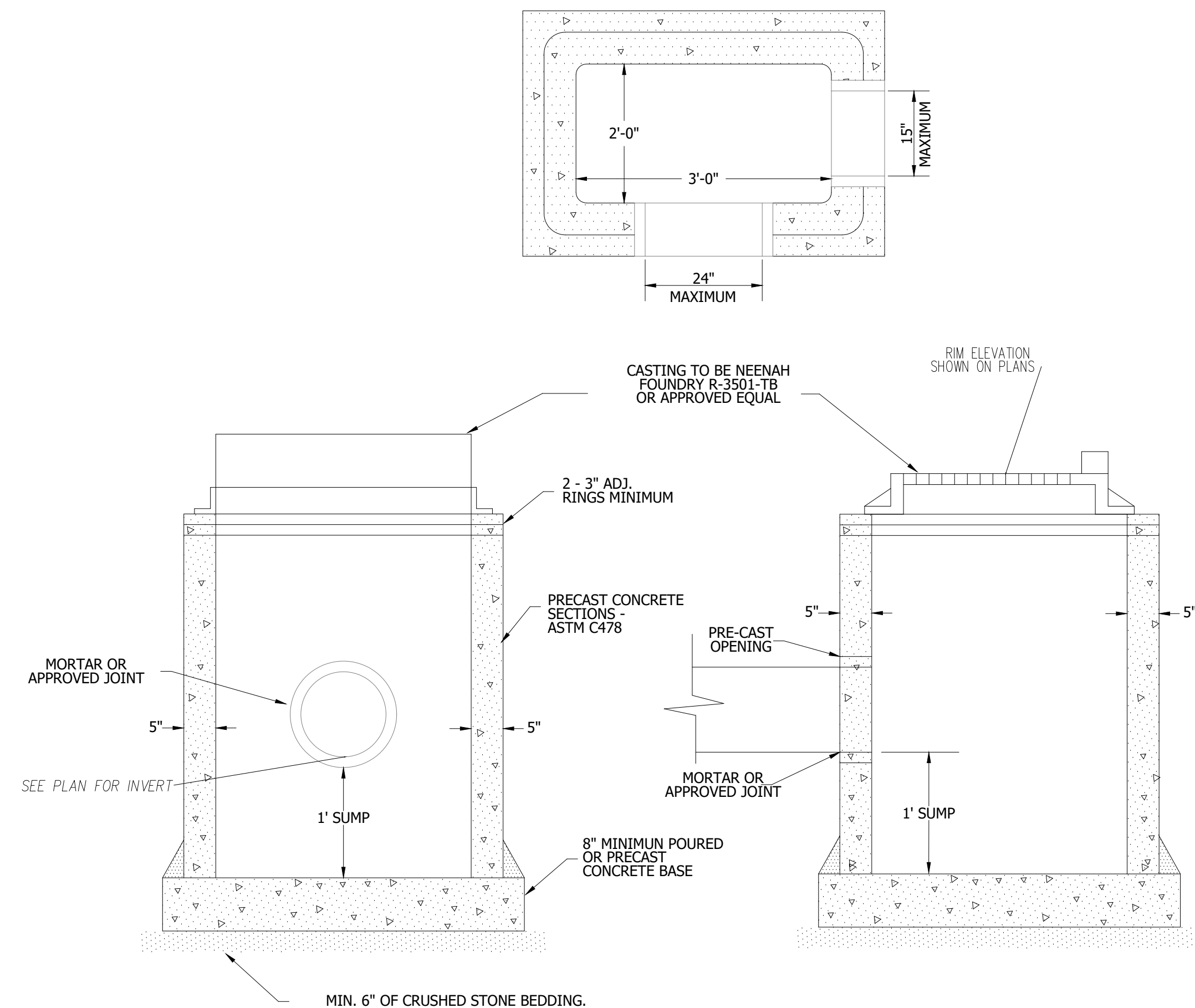


NOTES: STAINLESS OR CORE BLUE BOLTS REQUIRED FOR ALL MECHANICAL FITTINGS.
ANTI-CORROSIVE COATING REQUIRED ON ALL BOLTS AND TIE ROD
ASSEMBLIES.

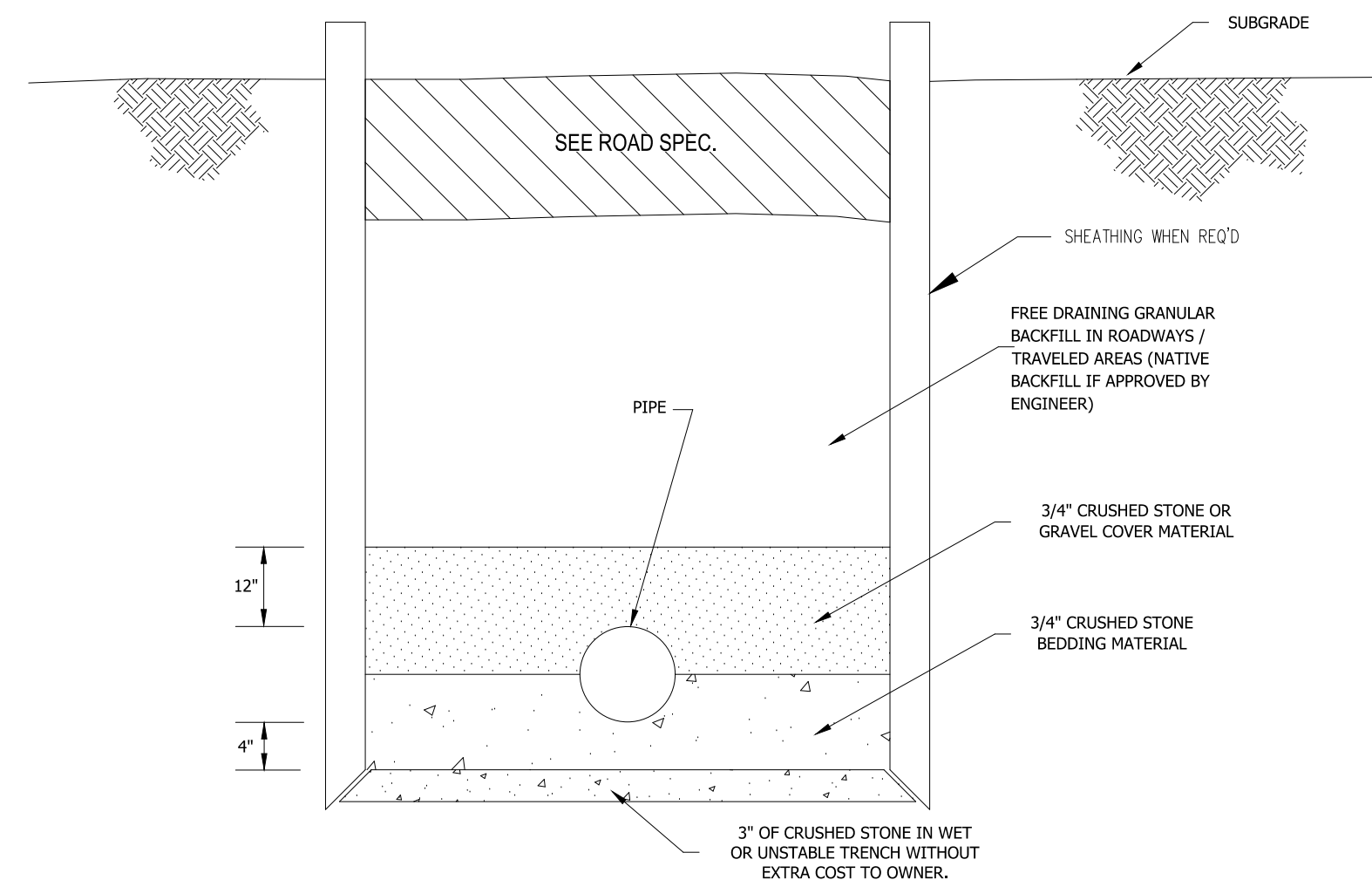
A N.T.S.
WATER MAIN WET TAP



(B) N.T.S.
GATE VALVE FOR WATER SERVICE



© N.T.S.
STORM CATCH BASIN - 2'x3'



NOTE:

- BURIED DEPTHS VARY, SEE UTILITY PLAN FOR SEWER AND WATER DEPTHS.
- TRACER WIRE SHALL BE INSTALLED FOR ALL NON-METALLIC SEWER AND WATER PIPING PER SPS 382.30 REQUIREMENTS.

ROAD BACKFILL IN EXISTING OR PROPOSED ROADS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS MEETING THE FOLLOWING GRADATION REQUIREMENTS:

<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
1-INCH	100
3/4 INCH	90-100
3/8 INCH	20-55
No. 4	0-10
No. 8	0-5

COVER MATERIAL SHALL CONSIST OF CRUSHED BANK-RUN GRAVEL. THIS MATERIAL SHALL SUBSTANTIALLY CONFORM TO THE TO THE FOLLOWING GRADATION REQUIREMENTS.

<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
1-INCH	100
3/4 INCH	85-100
3/8 INCH	50-80
No. 4	35-65
No. 40	15-30
No. 200	5-15

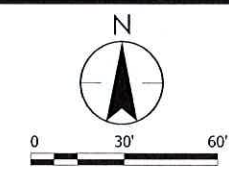
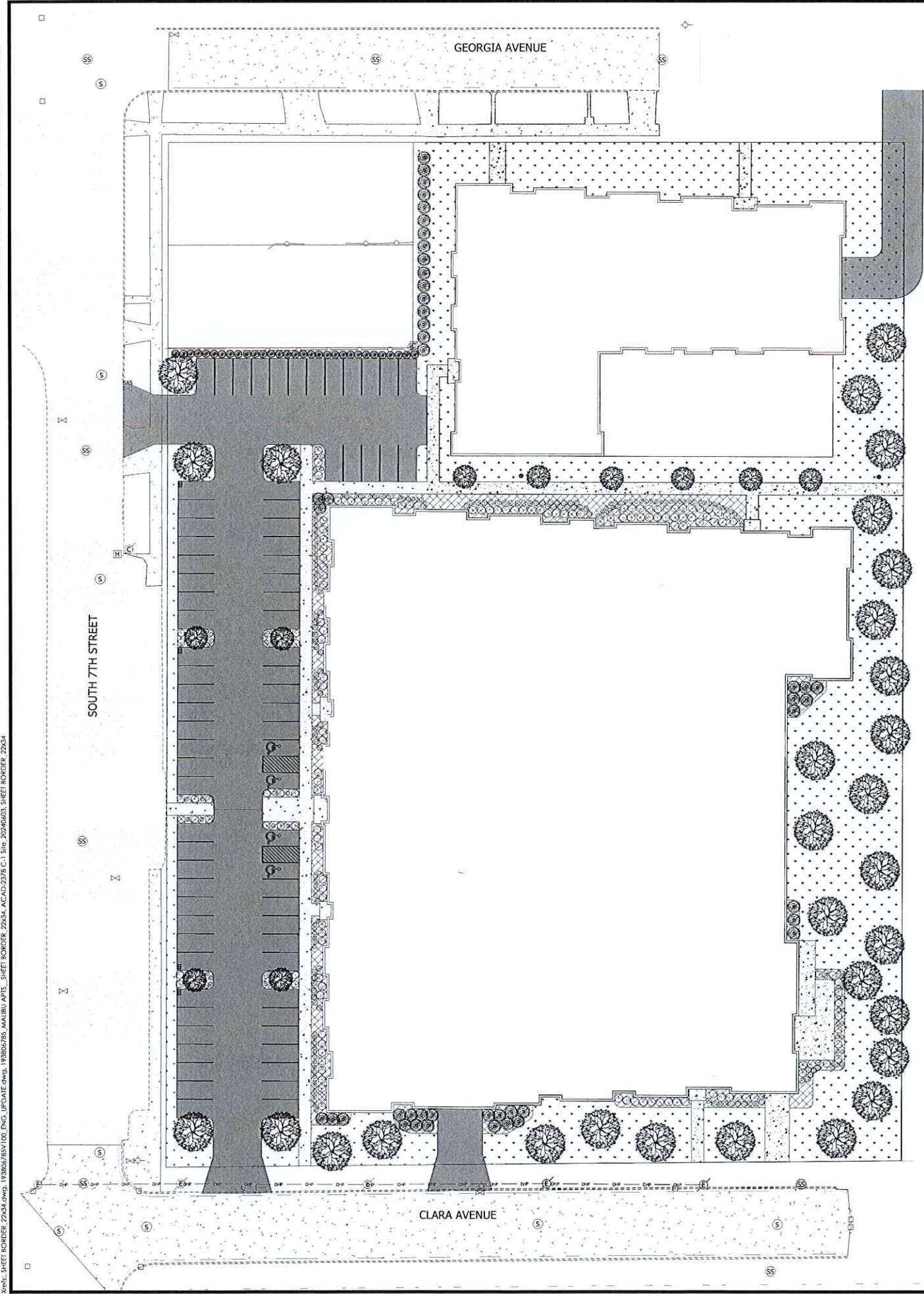
GRANULAR MATERIAL SHALL CONSIST OF UNIFORM GRADED DURABLE PARTICLES. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COURSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACK FILL SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

<u>SIEVE SIZES</u>	<u>PERCENTAGE PASSING BY WEIGHT</u>
2-INCH	95-100
No. 4	65-60
Finer than No. 200	35-65

D^{N.T.S.} PIPE BURIAL BACKFILL SPECIFICATIONS

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING.

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Sheet: 193806785_MALIBU_APT1_SHEET BORDER 22044
ACAD: 22044_C1 1/8" 2024/06/03, SHEET BORDER 22044



LANDSCAPE REQUIREMENTS for PHASE 1
ZONING: UR-12

BUILD FOUNDATION
50 Landscaping Points per 100ft Building Foundation
Foundation Length 1,219 LF
Required Landscaping Points ~~600 pts~~ **610 pts**

DEVELOPED LOTS
20 Landscaping Points per 1,000 SQ FT of Gross Floor Area
Gross Floor Area 238,612 SQ FT
Required Landscaping Points ~~4700 pts~~ **4777 pts**

STREET FRONTAGES
50 Landscaping Points per 100ft Street Frontage
North Property Line 240 LF
South Property Line 360 LF
West Property Line 400 LF
Required Landscaping Points 500 PTS

PAVED AREAS
100 Landscaping Points per 10,000 SQ FT of Paved Area or 20 Parking Stalls
Parking Stalls 77
Pavement Area 33,292 SQ FT
Required Landscaping Points ~~400 pts~~ **385 pts**

TOTAL PHASE 1 REQUIRED LANDSCAPING PTS = ~~6330 pts~~ 6272 pts

	TYPE	QUANTITY	SPECIES - COMMON NAME	SPECIES - LATIN NAME	POINT VALUE	TOTAL
	CLIMAX TREE (2" CALIPER IN MULCH CIRCLE)	30	WHITE OAK	Quercus alba	75	2250
	TALL DECIDUOUS TREE (1 1/2" CALIPER IN MULCH CIRCLE)	10	SUGAR CONE MAPLE	Acer saccharum	75 75	750 750
	TALL EVERGREEN TREE (5' TALL IN MULCH CIRCLE)	45	EASTERN WHITE PINE	Pinus strobus	40	1800
	MEDIUM EVERGREEN TREE (4' TALL IN MULCH CIRCLE)	31	AMERICAN ARBORVITAE	Thuja occidentalis	20	620
	MEDIUM EVERGREEN SHRUB (18" TALL/WIDE)	56	PYRAMIDAL ARBORVITAE	Thuja occidentalis	5	280
	LOW EVERGREEN SHRUB (12" TALL/WIDE)	70	WISCONSIN JUNIPER	Juniper horizontalis	3	210
	TALL DECIDUOUS SHRUB (36" TALL)	88 ?	NANNYBERRY	Viburnum cassinoides	5	440
	MEDIUM DECIDUOUS SHRUB (24" TALL)	150 ?	AMERICAN HAZELNUT	Corylus americana	3	450
	MULCH BED	0			0	0
	TURF SOD	0			0	0
TOTAL					6350	

Approved with noted corrections and attached conditions.
Janet M. Wellman
7.5.2024

312 N. 5th Avenue
Sheboygan, WI 54225
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LANDSCAPE PLAN

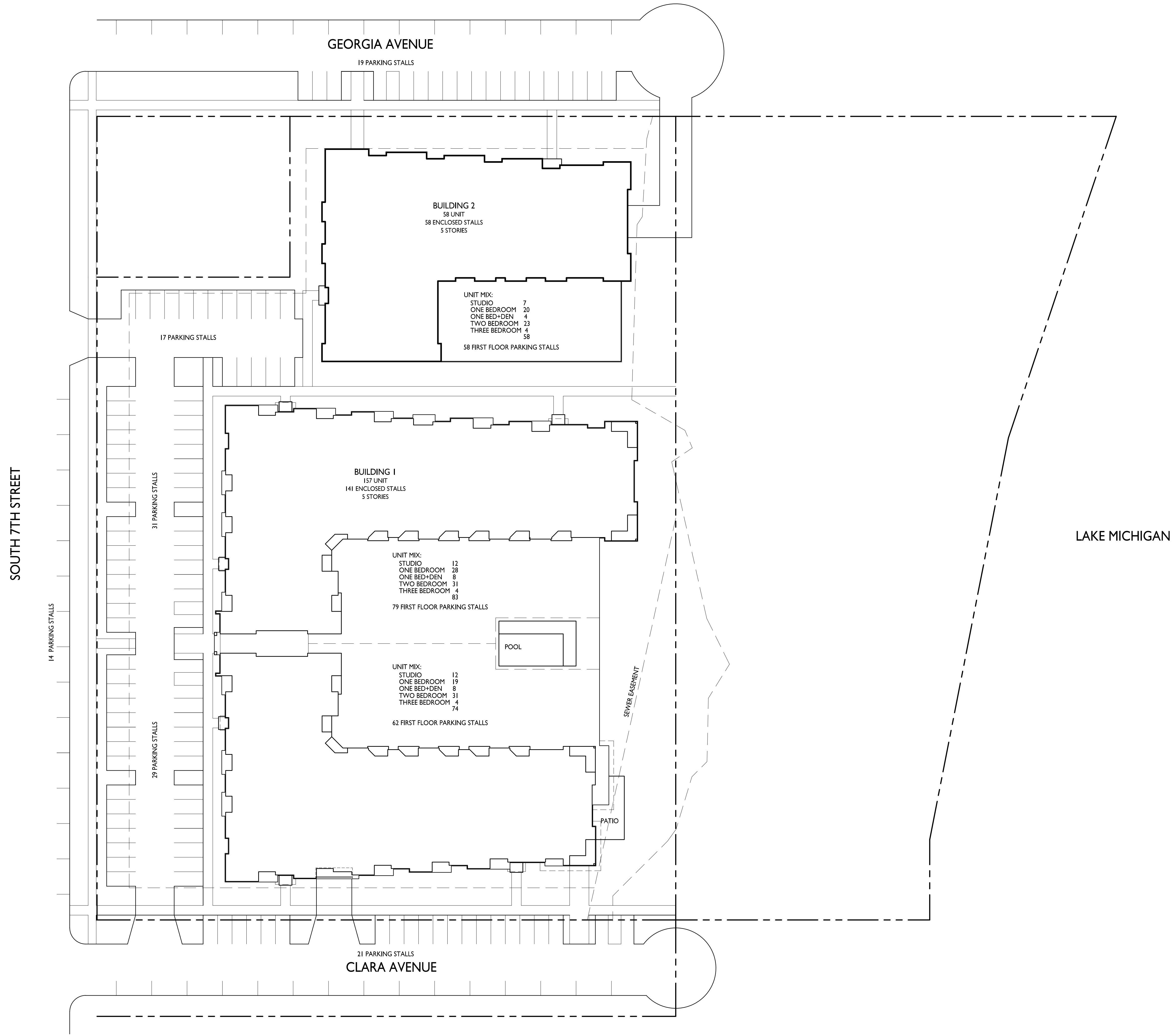
SHEBOYGAN KITE BEACH
MALIBU APARTMENTS, LLC
SHEBOYGAN, SHEBOYGAN COUNTY, WI 53081

DATE OF ISSUANCE
06.17.2024 DRAFT

NO. REVISION	DATE

SURVEY	STANTEC
DRAWN	MTA
DESIGNED	PJH
CHECKED	SRW
APPROVED	PJH
PROJ. NO.	193806785

SHEET NUMBER
C50 113

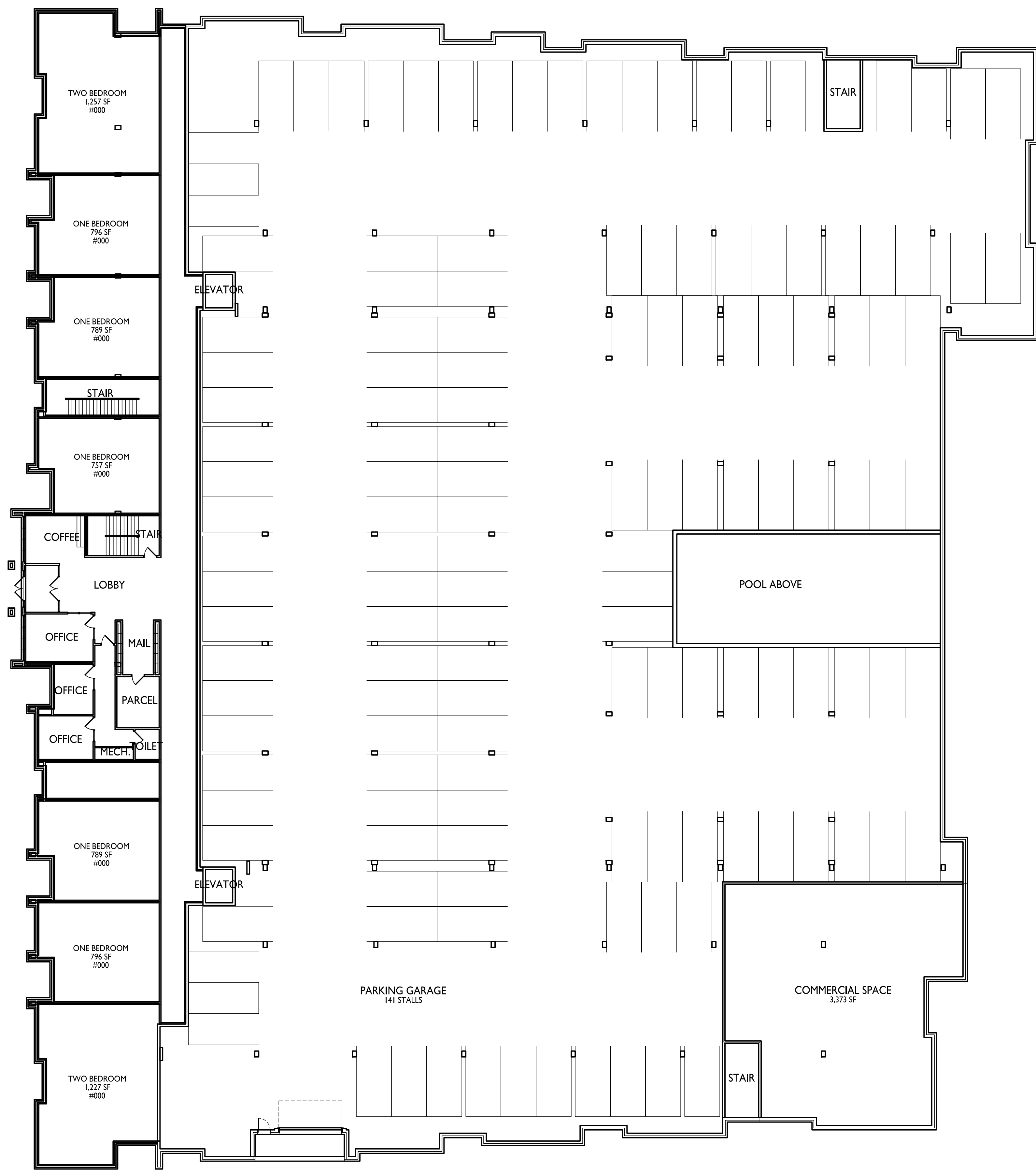


ISSUED
Issued for Review - November 21, 2023

PROJECT TITLE
**Buswell Sheboygan
Development**

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Site Plan

SHEET NUMBER



I
A-1.1

FIRST FLOOR PLAN

1/16" = 1'-0"

ISSUED

Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE

Buswell Sheboygan Development

1403-1435 S 7th Street
Sheboygan, Wisconsin

SHEET TITLE

First Floor Plan

SHEET NUMBER

ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
Buswell Sheboygan
Development

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Second Floor Plan

SHEET NUMBER



1
A-1.2

SECOND FLOOR PLAN

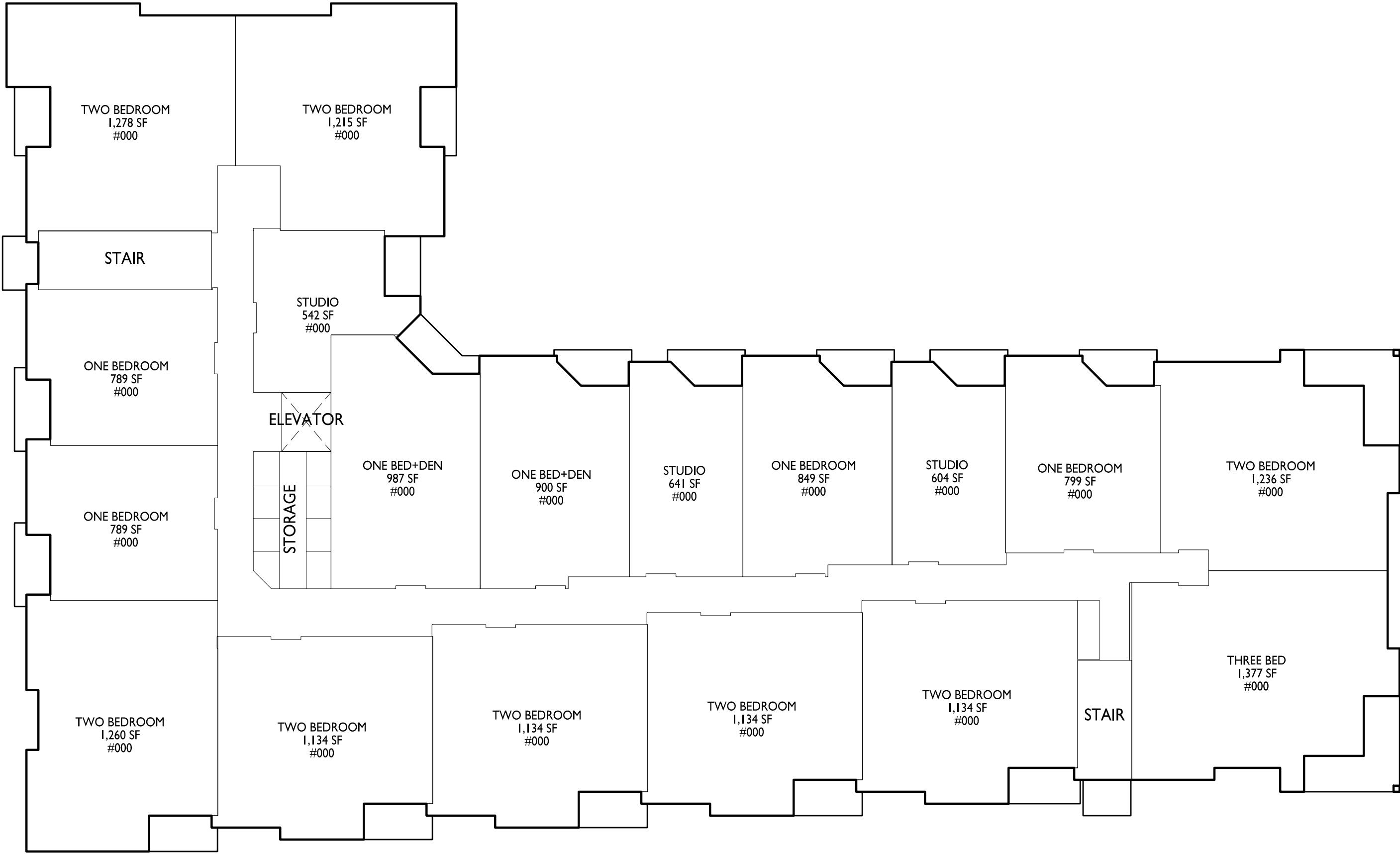
1/16" = 1'-0"

ISSUED
Issued for GDP-SIP Approval - June 18, 2024

PROJECT TITLE
Buswell Sheboygan
Development

1403-1435 S 7th Street
Sheboygan, Wisconsin
SHEET TITLE
Third, Fourth, and
Fifth Floor Plan

SHEET NUMBER



MALIBU

A P A R T M E N T S , L L C



S H E B O Y G A N , W I S C O N S I N





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Buswell Sheboygan Development

1403-1435 S. 7th Street Sheboygan, Wisconsin

06.14.2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

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06.14.2024





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Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

06.14.2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024





Buswell Sheboygan Development

1403-1435 S. 7th Sreet Sheboygan, Wisconsin

02 - 12 - 2024





WEST ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPONENT LAP SIDING #1	AMERIS HARDIE	WHITE
02	COMPONENT PANEL	AMERIS HARDIE	GRAY WHITE
03	COMPONENT SHAKE SIDING #1	AMERIS HARDIE	TRU BLUE - OCEAN COLLECTION
04	BRICK VENEER	ACME BRICK	CRAB COCK - HENTAGE TONING
05	CAST STONE	CORVIDO STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORVIDO STONE	ALABASTER GROUND FACE
07	COMPONENT TRIM	AMERIS HARDIE	ARCTIC WHITE
08	WAINSCOT COLUMN	AMERIS HARDIE	ARCTIC WHITE
09	ROOF ACENT	AMERIS HARDIE	ARCTIC WHITE
10	COMPONENT WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	ANDERSEN	SILVER
12	ALUMINUM STORE FRONT	TEBO	SILVER
13	GLASS RAILING	TEBO	WHITE
14	STANDING SEAM ROOF	ANDERSEN	SILVER



SOUTH ELEVATION

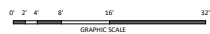


EAST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT BIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACEC BRICK	CARF COO - HERITAGE TEXTURE
05	CAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	CAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANDERSON	WHITE
11	STANDING SEAM METAL ROOF	EMG	SILVER
12	ALUMINUM STOREFRONT	TED	WHITE
13	GLASS RAILING	TED	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



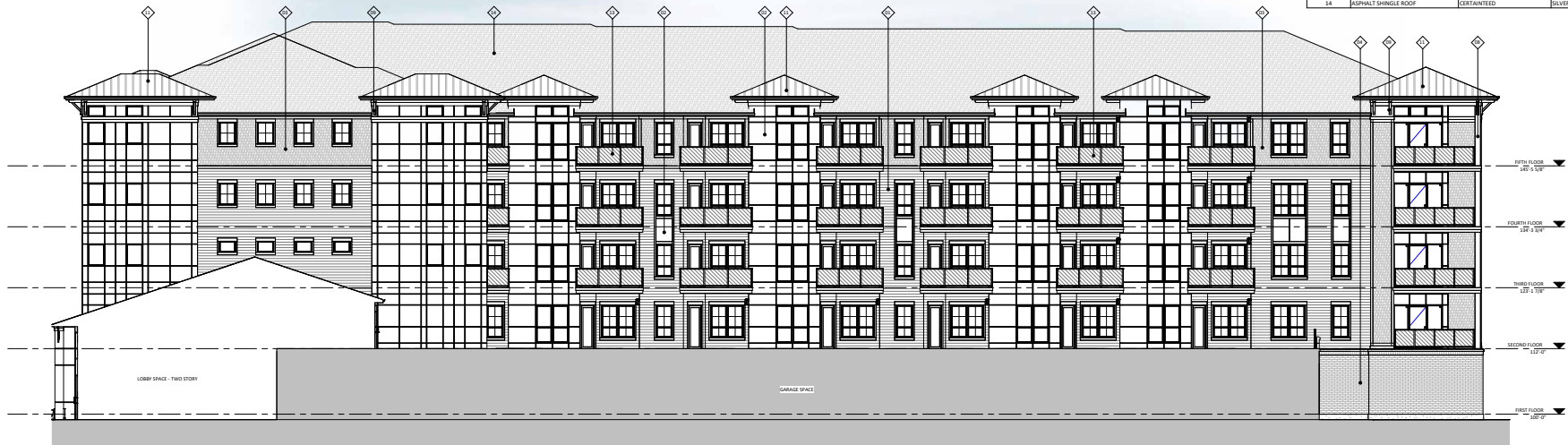
NORTH ELEVATION





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE		
MARK	BUILDING ELEMENT	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK CAPE COD - HERITAGE TEXTURE
05	CAST STONE	CONDONA STONE ALABASTER GROUND FACE
06	CAST STONE VENEER	CONDONA STONE ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE ARCTIC WHITE
08	WRAPPED COLUMN	JAMES HARDIE ARCTIC WHITE
09	ROOF ACCESS	JAMES HARDIE ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN WHITE
11	SHEDDING STEAM METAL ROOF	CAC SILVER
12	ALUMINUM STOREFRONT	TRB WHITE
13	GLASS RAILING	TRB SILVER
14	ASPHALT SHINGLE ROOF	TEXTURIZED SILVER BIRCH



EAST INTERIOR ELEVATION



WEST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHANK SIDING 6"	JAMES HARDIE	TRUE BLUE DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	MANAGED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	HANSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTANTEED	SILVER BIRCH



SOUTH ELEVATION



Colored Exterior Elevations

A-2.4

Buswell Sheboygan Development
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





EAST ELEVATION

MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANELS	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHANK SIDING 6"	JAMES HARDIE	TRUE BLUE DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	MANAGED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



NORTH ELEVATION



Colored Exterior Elevations

A-2.5

Buswell Sheboygan Development
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378





WEST INTERIOR ELEVATION

EXTERIOR MATERIAL SCHEDULE			
MARK	BUILDING ELEMENT	MANUFACTURER	COLOR
01	COMPOSITE LAP SIDING 6"	JAMES HARDIE	LIGHT MIST
02	COMPOSITE PANEL	JAMES HARDIE	ARCTIC WHITE
03	COMPOSITE SHAKE SIDING 6"	JAMES HARDIE	TRUE BLUE - DREAM COLLECTION
04	BRICK VENEER	ACME BRICK	CAPE COD - HERITAGE TEXTURE
05	EAST STONE	CORDOVA STONE	ALABASTER GROUND FACE
06	EAST STONE VENEER	CORDOVA STONE	ALABASTER GROUND FACE
07	COMPOSITE TRIM	JAMES HARDIE	ARCTIC WHITE
08	MANAGED COLUMNS	JAMES HARDIE	ARCTIC WHITE
09	ROOF ACCENT	JAMES HARDIE	ARCTIC WHITE
10	COMPOSITE WINDOW	ANDERSEN	WHITE
11	STANDING SEAM METAL ROOF	CMG	SILVER
12	ALUMINUM STOREFRONT	TBD	WHITE
13	GLASS RAILING	TBD	SILVER
14	ASPHALT SHINGLE ROOF	CERTAINTEED	SILVER BIRCH



EAST INTERIOR ELEVATION



Colored Exterior Elevations

A-2.6

Buswell Sheboygan Development
1403-1435 S. 7th Street Sheboygan, Wisconsin

GDP & SIP SUBMITTALS | 06.13.2024 | 2378



**CITY OF SHEBOYGAN
ORDINANCE 10-24-25**

BY ALDERPERSON BELANGER.

JULY 1, 2024.

AN ORDINANCE amending various sections of the Sheboygan Municipal Code so as to correct various errors identified in the current zoning code (Chapter 105).

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

SECTION 1: AMENDMENT “Sec 105-401 Description And Purpose” of the Sheboygan Municipal Code is hereby *amended* as follows:

A M E N D M E N T

Sec 105-401 Description And Purpose

- (a) *Intent.* This district is intended to permit small scale commercial development which is compatible with the desired overall ~~suburban~~ neighborhood community character of the area in general, and with adequate residential development in particular. This is accomplished with relatively low maximum floor area ratios (FARs). ~~Significant areas of landscaping are required in this district to ensure that this effect is achieved.~~ In order to ensure a minimum of disruption to residential development, no nonresidential development within this district shall take direct access to a local residential street or a residential collector street.
- (b) *Rationale.* This district provides for both convenience-oriented goods and services and for the permanent protection of adjacent residential areas by permitted only a limited range of commercial activities. The desired suburban community character of the development is attained through the floor area ratio (FAR) and landscape surface area ratio (LSR) requirements, and by restricting the maximum building size (MBS) of all buildings within each instance of this district to ~~125~~ 25,000 square feet. Together, these requirements ensure that the desired suburban community character is maintained as long as the NC District designation is retained, regardless of how much development occurs within that area.

(Ord. of 2-7-2020, § 15.105(3)(c)1)

SECTION 2: AMENDMENT “Sec 105-450 List Of Allowable Land Uses” of the Sheboygan Municipal Code is hereby *amended* as follows:

A M E N D M E N T

Sec 105-450 List Of Allowable Land Uses

- (a) *Land uses permitted by right.*

- (1) Selective cutting.
- (2) Passive outdoor public recreation.
- (3) Office.
- (4) Personal or professional services.
- (5) Indoor sales or service.
- (6) Indoor maintenance service.
- (b) *Land uses permitted as special use.*
 - (1) Cultivation.
 - (2) Active outdoor public recreation.
 - (3) Indoor institutional.
 - (4) Public services and utilities.
 - (5) Off-site parking lot.
- (c) *Land uses permitted as conditional uses.*
 - (1) Single-family residences.
 - (2) Institutional Residential.
 - (3) Clear cutting.
 - (4) Outdoor institutional.
 - (5) Outdoor display.
 - (6) In-vehicle sales or service.
 - (7) Indoor commercial entertainment.
 - (8) Outdoor commercial entertainment.
 - (9) Commercial animal boarding.
 - (10) Pet shops.
 - (11) Indoor storage and wholesaling.
 - (12) Commercial indoor lodging.
 - (13) Bed and breakfast establishments.
 - (14) Group day care center (nine or more children).
 - (15) Roominghouse.
 - (16) Personal storage facility.
 - (17) Commercial apartment for non-owner/operator.
 - (18) Communication tower.
- (d) *Land uses permitted as accessory uses.*
 - (1) *Land uses permitted by right.*
 - a. Farm residence.
 - b. Private residential garage or shed.
 - c. Company cafeteria.
 - d. Lawn care.
 - e. On-site composting/wood piles of less than five cubic yards.
 - (2) *Land uses permitted as special use.*
 - a. Commercial apartment for owner/operator.
 - b. On-site parking lot.
 - c. Company-provided, on-site recreation without lighting.
 - d. Drainage structure.
 - e. Filling.
 - f. Exterior communication devices.
 - g. Home occupation.
 - h. On-site composting/wood piles of five to ten cubic yards.
 - (3) *Land uses permitted as conditional use.*
 - a. Company-provided, on-site recreation with lighting.
 - b. Incidental outdoor display.
 - c. In-vehicle sales or service.

- d. Light industrial, incidental to indoor sales.
- e. Exterior communication devices, not meeting special use requirements.

(e) *Land uses permitted as temporary uses.*

- (1) Contractor's project office.
- (2) Contractor's on-site equipment storage.
- (3) Relocatable building.
- (4) On-site real estate sales office.
- (5) General temporary outdoor sales.
- (6) Outdoor sales of farm products.
- (7) Outdoor assembly.
- (8) Remediation structure.
- (9) Donation drop-off boxes.

(Ord. of 2-7-2020, § 15.105(3)(e)2)

SECTION 3: AMENDMENT “Sec 105-683 Table Of Land Uses” of the Sheboygan Municipal Code is hereby *amended* as follows:

A M E N D M E N T

Sec 105-683 Table Of Land Uses

This chapter regulates the location of land uses to specific zoning districts through the use of the table of land uses contained in this section.

Table 105-683(1). Table of Land Uses															
P = Permitted by Right in a Conventional Development. C = Permitted as a Conditional Use. I = Permitted as a Conditional Use in an Institutional Residential Development. M = Permitted as a Conditional Use within a Mobile Home Park.															
Zoning District Abbreviations														Type of Land Use	
RA-35	ER-1	SR-3	SR-5	NR-6	MR-8	UR-12	NO	SO	NC	SC	UC	CC	SI	UI	
															Dwelling Unit Type
P	P	P	P	P	P	P	P		P						(1) Single-family detached 35-acre lot
	P	P	P	P	P	P	P		P						(2) Single-family detached 40,000 s.f. lot

	C	P	P	P	P	P	P		P					(3) Single-family detached 15,000 s.f. lot
		P	P	P	P	P	P		P					(4) Single-family detached 10,000 s.f. lot
			P	P	P	P	P		P					(5) Single-family detached 6,000 s.f. lot
				C	C	C	C		C					(6) Single-family detached 4,500 sf lot
				C	C	C	C		C					(7) Two-flat 6,000 s.f. lot
					P	P								(8) Duplex 6,000 s.f. lot
					P	P								(9) Twin house 3,000 s.f. lot
						P						C		(10) Townhouse 2,500 sf lot
							C	C		C			C	(11) Multiplex 2,500 sf per unit
							C	C		C			C	(12) Apartment 2,500 sf per unit
							I	I	I	I	I	I		(13) Institutional Residential
					M									(14) Mobile home 4,500 square foot lot

(1) RA-35ac Rural Agricultural. (2) ER-1 Estate Residential. (3) SR-3 Suburban Residential-3. (4) SR-5 Suburban Residential-5. (5) NR-6 Neighborhood Residential. (6) MR-8 Mixed Residential. (7) UR-12 Urban Residential. (8) NO Neighborhood Office. (9) SO Suburban Office. (10) NC Neighborhood Commercial. (11) SC Suburban Commercial. (12) UC Urban Commercial. (13) CC Central Commercial. (14) SI Suburban Industrial. (15) UI Urban Industrial. (16) HI Heavy Industrial.

Table 105-683(2) and (3). Table of Land Uses

P=Permitted by Right S=Permitted as a Special Use C=Permitted as a Conditional Use																
Zoning District Abbreviations																Type of Land Use
RA - 35a c	ER -1	SR -3	SR -5	NR -6	MR -8	UR -12	NO	SO	NC	SC	UC	CC	SI	UI	HI	
																Nonresidential Land Uses
																Agricultural Uses
P	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	(a) Cultivation
C																(b) Husbandry
C																(c) Intensive agriculture
C															C	(d) Agricultural services
S																(e) On-site agricultural retail
P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(f) Selective cutting
C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	(g) Clear cutting
																Institutional Uses
P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(a) Passive outdoor public recreational
S	S	S	S	S	S	S	S	S	S	S	S	S	S			(b) Active outdoor public recreational
C	C	C	C	C	C	C	S	S	S	S	S	S	S			(c) Indoor institutional
C	C	C	C	C	C	C	C	C	C	C	C	C	C			(d) Outdoor institutional
S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	(e) Public services and

																utilities
							C	C	C		C	C	C			(f) Institutional Residential
S	S	S	S	S	S	S	S									(g) Community living arrangement (1--8 res.)
	C	C	C	C	S	S	C	C								(h) Community living arrangement (9--15)
							C	C	C							(i) Community living arrangement (16+)

Table 105-683(4). Table of Land Uses

P=Permitted by Right S=Permitted as a Special Use C=Permitted as a Conditional Use

<i>Zoning District Abbreviations</i>																<i>Type of Land Use</i>
<i>RA - 35 ac</i>	<i>ER -1</i>	<i>SR -3</i>	<i>SR -5</i>	<i>NR -6</i>	<i>MR -8</i>	<i>UR -12</i>	<i>NO</i>	<i>SO</i>	<i>N C</i>	<i>SC</i>	<i>U C</i>	<i>CC</i>	<i>SI</i>	<i>UI</i>	<i>HI</i>	
																Commercial Uses
							P	P	P	P	P	P	P	P	P	(a) Office
							P	P	P	P	P	P	C			(b) Personal or professional service
							C	C	P	P	P	P	C			(c) Indoor sales or service
										C	C					(d) Outdoor display
									P	P	P	P	P	P	P	(e) Indoor maintenance service
															C	(f) Outdoor maintenance service

								C	C	C	C	C	C			(g) In-vehicle sales or service
								C	C	C	C	C	C	C	C	(h) Indoor commercial entertainment
C												C		C		(i) Outdoor commercial entertainment
C											C	C		C	C	(j) Commercial animal boarding
								C	C		C	C	C			(k) Commercial indoor lodging
C	C	C	C	C	C	C	C	C		C	C	C	C			(l) Bed and breakfast establishments
						C	C	C	C	C	C	C	C	C	C	(m) Group day care center (nine or more children)
C																(n) Campground
							C	C				C	C			(o) Roominghouse
															C	(p) Sexually oriented land use

Table 105-683(5), (6), and (7). Table of Land Uses

P=Permitted by Right S=Permitted as a Special Use C=Permitted as a Conditional Use

Zoning District Abbreviations																Type of Land Use
RA-35 ac	ER-1	SR-3	SR-5	NR-6	MR-8	UR-12	NO	SO	NC	SC	UC	CC	SI	UI	HI	
																Storage/Disposal
											C		P	P	P	(a) Indoor storage or wholesaling

														C	S	(b) Outdoor storage or wholesaling
											C		C	C		(c) Personal storage facility
C														C	C	(d) Junkyard or salvage yard
C															C	(e) Waste disposal facility
C															C	(f) Composting operation
																Transportation Uses
				C	C	C	C	C	C	C	S	S	C	S	S	(a) Off-site parking lot
C								C					C	C	C	(b) Airport/heliport
																(c) Freight terminal
													C	C	C	(d) Distribution center
																Industrial Uses
													S	S	S	(a) Light industrial
															S	(b) Heavy industrial
C											C		C	C	C	(c) Communication tower
C																(d) Extraction use

Table 105-683(8). Table of Land Uses

P=Permitted by Right S=Permitted as a Special Use C=Permitted as a Conditional Use

Zoning District Abbreviations

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

<i>RA - 35a c</i>	<i>ER -1</i>	<i>SR -3</i>	<i>SR -5</i>	<i>NR -6</i>	<i>MR -8</i>	<i>UR -12</i>	<i>NO</i>	<i>SO</i>	<i>N C</i>	<i>SC</i>	<i>UC</i>	<i>CC</i>	<i>SI</i>	<i>UI</i>	<i>HI</i>	<i>Type of Land Use</i>
																Accessory Uses
									C	C	S/C	C				(a) Commercial apartment
S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	(b) On-site parking lot
P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(c) Farm residence
P/C	P/ C	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(d) Private residential garage or shed
S	S	S	S	S	S	S										(e) Private residential recreational facility
S	C															(f) Private residential kennel
S																(g) Private residential stable
							P	P		P	P	P	P	P	P	(h) Company cafeteria
							S/C	S/C		S/ C	S/C	S/ C	S/ C	S/C	S/ C	(i) Company provided on- site recreation
										C	C					(j) Incidental outdoor display
							C	C	C	C	C	C	C			(k) In-vehicle sales and service
													S	S	S	(l) Indoor sales incident to light industrial. use
																(m) Light

										C	C	C	C			industrial. Incidental to indoor sales
S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	(n) Drainage structure. (See 105-684)
S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	(o) Filling (See 105-684)
P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	(p) Lawn care. (See 105-684)
C	C															(q) Septic systems. (See 105-684)
C	C	C	C	C	C	C	S/C	S/C	S/ C	S/ C	S/C	S/ C	S/ C	S/C	S/ C	(r) Exterior communicatio n devices
S	S	S	S	C	C	C	S	S	S	S	S	S	S	S	S	(s) Home occupation
P/S	P/ S	P/S	P/ S	P/ S	P/S	P/S	P/S	P/S	P/ S	P/S	P/S	P/S	P/S	P/S	P/S	(t) On-site composting/w ood piles
P	P	P	P	P	P	P										(u) Family day care home
C	C	C	C	C	C	C										(v) Intermediate day care home
C															C	(w) Migrant labor camp

Table 105-683(9). Table of Land Uses

T = Permitted as a Temporary Use

Zoning District Abbreviations																Type of Land Use
RA - 35a c	ER -I	SR -3	SR -5	NR -6	MR -8	UR -12	NO	SO	N C	SC	UC	CC	SI	UI	HI	
																Temporary Uses
																(a)

T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Contractor's project office
T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	(b) Contractor's on-site equipment storage
							T	T	T	T	T	T	T	T	T	(c) Relocatable building
T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	(d) On-site real estate sales office
									T	T	T	T				(e) General temporary outdoor sales
T									T	T	T	T	T	T		(f) Outdoor sales of farm products
T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	(g) Outdoor assembly
T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	(h) Remediation structure
T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	(i) Donation drop-off boxes

(Ord. of 2-7-2020, § 15.203)

SECTION 4: **AMENDMENT** “Sec 105-813 Nonresidential Bulk Standards” of the Sheboygan Municipal Code is hereby *amended* as follows:

AMENDMENT

Sec 105-813 Nonresidential Bulk Standards

- (a) All nonresidential lots created under the provisions of this chapter shall comply with the standards of this section. These standards are related to the specific zoning district used. Tables 105-683 and 105-784 relate each use with each zoning district.
- (b) Table 105-813 presents the standards for nonresidential bulk regulations.
- (c) The maximum permitted height restriction of 80 feet is based upon the fire-fighting equipment available to the fire department as of the effective date of the ordinance from which this chapter is derived. Should firefighting equipment be made available to effectively fight fires in structures over 80 feet tall, this maximum limit could be raised.

- (d) Prior to such time, if a structure is proposed to exceed this maximum (under the provisions of section 105-816), it should be equipped with internal firefighting mechanisms which are approved by the fire department as part of the required conditional use review process.

Table 105-813: City of Sheboygan Nonresidential Bulk Standards									
Zoning District	Min Lot Width (ft.)	Front/Street (ft.)	Side From		Rear From		Pavement Side or Rear/Front (ft.)	Min Bldg. Separation (ft.)	Max Bldg. Height (ft.)
			Res (ft.)	Non-Res (ft.)	Res (ft.)	Non-Res (ft.)			
RA-35A C	150	50	50	25	50	25	5/10 ²	50	35
ER-1	150	50	50	25	50	25	5/10 ²	50	35
SR-3	90	30	50	25	30	25	5/10 ²	50	35
SR-5	70	30	50	25	25 30	25	5/10 ²	50	35
NR-6	60	25	50	25	25	25	5/10 ²	50	35
MR-8	60	20	50	25	25	25	5/10 ²	50	35
UR-12	60	20	50	25	25	25	5/10 ²	50	35
NO	30	20	8	8	25	25	5/5 ²	16	35
SO	100	25	15 25	0/10 ₁	25	10	5/10 ²	0 or 20 ¹	35 ³
NC	30	0	25 0	0/ 5 ¹	25 20	10	5 0/5 ²	0 or 10 ¹	35 20
SC	60	25	25	0/10 ₁	25	10	5/10 ²	0 or 20 ¹	50 ³
UC	30	0	25	0/5 ¹	25	10	5/5 ²	0 or 10 ¹	50 ³
CC	0	Maximum permitted setback zero feet, except where permitted by the plan commission as an essential component of site design.			20	10	0 max 2	Max = 0 except per Plan Comm. ³	Min = 20 except per Plan Comm. ³
SI	60	25	25	0/10 ₁	25	25	5/10 ²	0 or 20 ¹	50 ³
UI	30	25	25	0/5 ¹	25	25	5/5 ²	0 or 10 ¹	50 ³
HI	30	25	25	0/5 ¹	25	25	5/5 ²	0 or 10 ¹	50 ³

¹Zero feet where property line divides attached buildings.

²Five feet side/~~rear~~ yard; ten or five feet ~~front~~ front yard. See section 105-888 for required street frontage landscape areas.

³Can exceed 35-foot maximum with a conditional use permit and increased building setback of 1 foot for every foot in height over 35 feet, to a maximum of 60 feet.

(Ord. of 2-7-2020, § 15.403)

SECTION 5: AMENDMENT “Sec 105-929 Off-Street Parking And Traffic Circulation Standards” of the Sheboygan Municipal Code is hereby *amended* as follows:

AMENDMENT

Sec 105-929 Off-Street Parking And Traffic Circulation Standards

- (a) *Purpose.* The purpose of this section is to alleviate or prevent congestion of public rights-of-way so as to promote the safety and general welfare of the public by establishing minimum requirements for the provision of off-street parking and circulation in accordance with the utilization of various sites.
- (b) *Depiction on required site plan.* Any and all parking and traffic circulation areas proposed to be located on the subject property shall be depicted as to their location and configuration on the site plan required for the development of the subject property. Each and every parking space designed to serve as required parking shall not be located farther than 500 feet of shortest walking distance from the access to all of the various areas it is designated to serve. A garage stall, meeting the access requirements of subsection (f)(4) of this section, shall be considered a parking space. Parking spaces for any and all vehicles exceeding 18 feet in length, shall be clearly indicated on said site plan.
- (c) *Use of off-street parking areas.* The use of all off-street parking areas shall be limited to the parking of operable vehicles not for lease, rent, or sale. Within residential districts, parking spaces shall only be used by operable cars and trucks.
- (d) *Traffic circulation and traffic control.* Site circulation shall be designed to provide for the safe and efficient movement of all traffic entering, exiting, and on the site. Circulation shall be provided to meet the individual needs of the site with specific mixing of access and through movements, and where required, shall be depicted on the required site plan. Circulation patterns shall conform with the general rules of the road and all traffic control measures shall meet the requirements of the Manual of Uniform Traffic Control Devices.
- (e) *Maintenance of off-street parking and traffic circulation areas.* All off-street parking and traffic

circulation areas shall be paved with asphaltic concrete or Portland cement. In no instance or manner shall any off-street parking or traffic circulation area be used as a storage area, except as provided for by section 105-92731(c). When the site plan is modified to accommodate a change associated with conditional use, rezoning, or building addition or modification, changes in paving and landscaping shall be made as is practicable.

(f) *Off-street parking and traffic circulation design standards.*

- (1) *Surfacing and marking.* All off-street parking and traffic circulation areas (including all residential driveways, except those within the RA-35ac District) shall be paved with asphaltic concrete or Portland cement. Said surfaces intended for six or more parking stalls shall be marked in a manner which clearly indicates required parking spaces. Where building or parking/traffic circulation area additions are proposed, all areas not paved with asphaltic concrete or Portland cement shall be so paved. This additional paving may be phased over time with the express permission of the plan commission.
- (2) *Curbing.* All off-street parking areas designed to have head-in parking within 6 1/2 feet of any lot line shall provide a tire bumper or curb of adequate height, and which is properly located to ensure that no part of any vehicle will project beyond the required setbacks of this chapter as determined by the plan commission. Curbing within off-street parking areas shall also be required to fully separate all required landscaped areas from the parking lot.
- (3) *Lighting.* All off-street parking and traffic circulation areas serving six or more cars shall be lit so as to ensure the safe and efficient use of said areas during the hours of use. An illumination level of between 0.4 and 1.0 footcandles over ambient levels is recommended for said areas and said illumination level shall not exceed the standards of section 105-932.
- (4) *Access.* Each required off-street parking space shall open directly upon an aisle or driveway that is wide enough and designed to provide a safe and efficient means of vehicular access to the parking space without directly backing or maneuvering a vehicle into a public right-of-way exceeding 82.5 feet in width. All off-street parking and traffic circulation facilities shall be designed with an appropriate means of vehicular access to a street or alley, in a manner which least interferes with traffic movements. No driveway across public property, or requiring a curb cut, shall exceed a width of 40 feet for commercial and industrial land uses, or 25 feet for residential land uses, or as otherwise determined by the plan commission (see also table 105-929(f)(10)). Off-street parking spaces for residential uses may be stacked or in front of one-another for the same building unit. Parking spaces located behind an enclosed garage and located directly off a through aisle shall be a minimum of 30 feet deep.
- (5) *Fire lanes.* A fire lane shall be required to provide access to any portion of any structure as determined by the city fire department.
- (6) *Signage.* All signage located within, or related to, required off-street parking or traffic circulation shall comply with the requirements in the latter part of this article VIII of this chapter.
- (7) *Handicapped parking spaces.* Parking for the handicapped shall be provided at a size, number, location, and with signage as specified by state and federal regulations.
- (8) *Parking space design standards.* Other than parking required to serve the handicapped, every and all provided off-street parking space shall comply with the minimum requirements of table 105-929(f)(10). The minimum required length of parking spaces shall be 15.0 feet, plus an additional 1.5-foot vehicle overhang area at the end of the stall. All parking spaces shall have a minimum vertical clearance of at least seven feet.
- (9) *Snow storage.* Required off-street parking and traffic circulation areas shall not be

used for snow storage. These areas shall be depicted on applicable site plans.

- (10) *Parking lot design standards.* Horizontal widths for parking rows, aisles, and modules shall be provided at widths no less than listed in table 105-929(f)(10) and shown below.

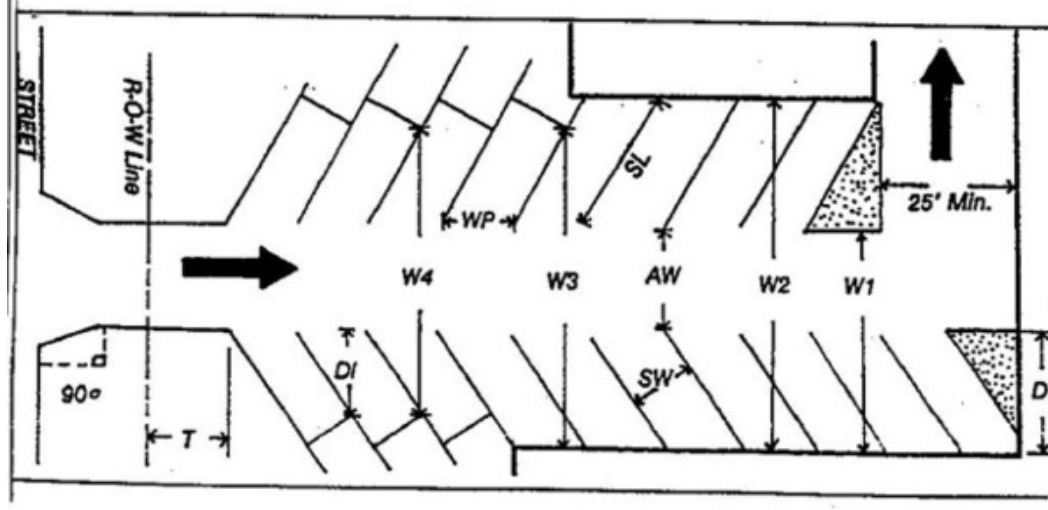
(g) *Calculation of minimum required parking spaces.*

- (1) *General guidelines for calculating required parking spaces.* The requirements of subsection (c) of this section, shall be used to determine the minimum required number of off-site parking spaces which must be provided on the subject property. Requirements are generally tied to the capacity of the use; the gross floor area of the use; or the number of employees which work at the subject property during the largest work shift. The term "capacity" as used herein means the maximum number of persons that may be accommodated by the use as determined by its design or by state building code regulations, whichever number is greater. References herein to "employees on the largest work shift" means the maximum number of employees working at the facility during a single given day, regardless of the time period during which this occurs, and regardless of whether any such person is a full-time employee. The largest work shift may occur on any particular day of the week or during a lunch or dinner period in the case of a restaurant. In all cases, one reserved parking space shall be provided for each vehicle used by the operation during business hours. Said spaces shall be in addition to those required by subsection (c) of this section. Where said parking needs of any land use exceed the minimum requirements of this chapter, additional parking spaces sufficient to meet the average maximum weekly peak-hour parking space demand shall be provided by said land use.

Table 105-929(f)(10). Parking Layout Dimensions					
<i>Minimum Permitted Dimensions</i>	<i>Parking Angle in Degrees (°)</i>				
	<i>0° (parallel)</i>	<i>45°</i>	<i>60°</i>	<i>75°</i>	<i>90°</i>
Stall width at parking angle (SW)	9.0°	9.0°	9.0°	9.0°	9.0°
Stall width parallel to aisle (WP)	17.90'	12.7'	10.4'	9.3'	9.0'
Stall depth to wall (D)	9.0' ¹	17.5' ¹	19.0'	19.5' ¹	18.5' ¹
Stall depth to interlock (D)	--	15.3'	17.5'	18.8'	--
Stall length *(including 1.5' curb overhang)(SL)	18.5'	18.5'	18.5'	18.5'	18.5'
Aisle width (AW)	12.0' ²	12.0' ²	16.0' ²	17.20' ²	26.0' ²
Throat length (right-of-way to parking area)(T)	Refer to Requirements in table 105-929(6)(c)10.				
Parking module width (PMW):					
Wall to wall (single-loaded) (W1)	21.0'	29.5'	35.0'	42.5'	44.5'
Wall to wall (double-loaded) (W2)	30.0'	47.0'	54.0'	62.0'	63.0'
Wall to interlock (double-loaded) (W3)	--	44.8'	52.5'	61.3'	--
Interlock to interlock (double-loaded) (W4)	--	42.6'	51.0'	60.6'	--
¹ Parking spaces located behind an enclosed garage & located directly off a through aisle shall be at least 30 feet deep.					

² This dimension represents (AW) for one-way traffic. For two-way traffic, add 8.0 feet to a maximum(AW) of 26.0 feet.

Diagram for this table 105-929(f)(10) (below)



Typical Parking Layout Dimensions

(2) *Joint parking facilities.*

- a. Parking facilities which have been approved by the plan commission to provide required parking for one or more uses, shall provide a total number of parking spaces which shall not be less than the sum total of the separate parking needs for each use during any peak hour parking period when said joint parking facility is utilized at the same time by said uses.
- b. Each parking space designed to serve as joint parking shall not be located farther than 500 feet from the access to all of the various areas it is designed to serve.
- c. The applicants for approval of a joint parking facility shall demonstrate to the plan commission's satisfaction that there is no substantial conflict in the demand for parking during the principal operating hours of the two or more uses for which the joint parking facility is proposed to serve.
- d. A legally binding instrument, approved by the zoning administrator, shall be executed by any and all parties to be served by said joint parking facility. The applicant shall record this instrument with the Register of Deeds Office and file it with the city clerk. A fee shall be required to file this instrument (see section 105-1013(a)).

(3) *Minimum off-street parking requirements for land uses.* The off-street parking requirements for each land use are listed within article III, division 2 of this chapter.

(4) *Waiver of parking requirement or change of land use.*

- a. Within the CC Central Commercial District, the parking requirements of this article are hereby waived.
- b. Within the Central Parking Waiver Area (defined by Jefferson Avenue to Ontario

Avenue and 7th to 9th Streets) the parking requirements of this article are hereby waived.

- c. Where a change in land use as defined by the parking requirements, requires additional parking over the previously existing land use, the additional parking spaces shall be provided if sufficient space is available on the site as determined by the zoning administrator. If such required parking is not provided, and parking availability problems occur, the floor area devoted to the new land use which is in excess of parking space availability shall be vacated with a plan commission directive to the zoning administrator.
- (5) *Locational prohibitions for off-street parking areas.*
- a. Off-street parking shall not be located between the principal structure on a residential lot and a street right-of-way, except within residential driveways and parking lots designated on the approved site plan (see section 105-1001).
- b. No private parking shall occur on street terraces between the sidewalks or right-of-way and the curb, on driveways, or on any other areas located within a public right-of-way not explicitly designated by the plan commission.
- c. *Minimum Permitted Throat Length.* Table 105-929(g)(6) shall be used to determine the minimum permitted throat length of access drives serving parking lots, as measured from the right-of-way line along the centerline of the access drive.

Table 105-929(g)(6). Minimum Permitted Throat Length				
<i>Land Use</i>	<i>Type</i>	<i>Scale of Development</i>	<i>Type of Access Street</i>	
			<i>Collector</i>	<i>Arterial</i>
Residential	Any residential	0--100 dwelling units	25 feet	
		101--200 dwelling units	50 feet	75 feet
		201+ dwelling units	75 feet	1,250 feet
Commercial	Office	0--50,000 gross sq. ft.	25 feet	50 feet
		50,000--100,000 gross sq. ft.	25 feet	75 feet
		100,001--200,000 gross sq. ft.	50 feet	100 feet
		200,001+ gross sq. ft.	100 feet	150 feet
	In-vehicle sales	0--2,000 gross sq. ft.	25 feet	75 feet
		2,001+ gross sq. ft.	50 feet	100 feet
	Indoor entertainment	0--15,000 gross sq. ft.	25 feet	50 feet
		15,001+ gross sq. ft.	25 feet	75 feet
	Commercial lodging	0--150 rooms	25 feet	75 feet
		151+ rooms	25 feet	100 feet
		0--25,000 gross sq. ft.	25 feet	50 feet

	Other commercial uses	25,001--100,000 gross sq. ft.	25 feet	75 feet
		100,001--500,000 gross sq. ft.	50 feet	100 feet
		500,001+ gross sq. ft.	75 feet	200 feet
Industrial	All industrial uses	0-100,000 gross sq. ft.	25 feet	50 feet
		100,001--500,000 gross sq. ft.	50 feet	100 feet
		500,001+ gross sq. ft.	50 feet	200 feet
All other land uses	6+ parking spaces		25 feet	50 feet

(Ord. of 2-7-2020, § 15.704)

SECTION 6: **REPEALER CLAUSE** All ordinances or resolutions or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

SECTION 7: **EFFECTIVE DATE** This Ordinance shall be in effect from and after its passage and publication according to law.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of Sheboygan

Meredith DeBruin, City Clerk, City of Sheboygan