



ARCHITECTURAL REVIEW BOARD AGENDA

May 23, 2022 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify Potential Conflict of Interest

MINUTES

4. Approval of the Architectural Review Board minutes from May 9, 2022.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. Construction of Phase 2 SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 Condos and the fish cleaning station).

NEXT MEETING

6. June 13, 2022

ADJOURN

7. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN**ARCHITECTURAL REVIEW BOARD MINUTES****Monday, May 09, 2022**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
MEMBERS PRESENT: Joe Clarke, Pam Langan, Jerry Jones and Robert Heimerl
MEMBERS EXCUSED: Richard Linde and Dave Aldag
STAFF/OFFICIALS PRESENT: Manager of Planning & Zoning Steve Sokolowski
2. Pledge of Allegiance

The Pledge of Allegiance is recited.
3. Identify Potential Conflict of Interest

No committee member had a conflict of interest.
4. Approval of the Architectural Review Board minutes from April 11, 2022.

Motion by Jerry Jones, second by Pam Langan to approve. Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. Construction of the fueling station canopy for the previously approved convenience store and service station at the southeast corner of N. 26th Street and Superior Avenue.

Motion by Jerry Jones, second by Pam Langan to approve with the following conditions:

1. Masonry on canopy support columns shall be eight (8) feet tall. The masonry material/color shall match that of the building and the height of the dumpster enclosure (8 feet tall).
2. Rooftop mechanicals shall be screened with hardy board panels as presented in elevation drawings.

Motion carried.

6. Construction of a new multi-tenant convenience store, service station and fueling canopy at the northwest corner of N. 15th Street and Geele Avenue (2206 N. 15th Street).

Motion by Jerry Jones, second by Robert Heimerl to approve with the following conditions:

1. Stone veneer on 2nd story massing to have masonry wrap to sides to match 1st floor detail.
2. Applicant shall resubmit final elevations that will also include the new detailing the 2nd story. If staff has any concerns with resubmitted plans, the plans may be forwarded to the board for review.

3. Masonry on canopy support columns shall be eight (8) feet tall. The masonry material/color shall match that of the building.

Item 4.

Motion carried.

7. Construction of a new entrance addition and exterior remodeling at Sheboygan Evangelical Free Church located at 1710 N. 15th Street.

Motion by Jerry Jones, second by Pam Langan to approve as presented. Motion carried.

8. Exterior remodel of Sheboygan Glass at 3209 S. 32nd Street (former KP Welding)

Motion by Jerry Jones, second by Pam Langan to approve as present. Motion carried.

NEXT MEETING

9. Monday, May 23, 2022

ADJOURN

10. Motion to Adjourn

Motion by Jerry Jones, second by Pam Langan to adjourn. Motion carried.

Being no further business the meeting was adjourned at 4:25 p.m.

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of Phase 2 SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 Condos and the fish cleaning station).

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: May 18, 2022

MEETING DATE: May 23, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

In October of 2021, the Architectural Review Board approved a proposal from South Pier Family Investments, LLC, to construct the 2nd Phase of SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 condos and the fish cleaning station). However, the applicant indicates that the costs involved in the project and the timeframe required to obtain materials has required the owner to reconsider the previously approved design and submit a new design.

The applicant states the following about the SP Riverfront Condominiums development project:

- SP Riverfront Condominiums previously received approval for a two phase condominium project on a previously vacant city owned parcel of land along the north side of South Pier Drive. This City owned site is approximately one (1) acre in size and is located between S. Pier Drive, the Sheboygan River, The Reiss River Condominiums and the public Fish Shanty. The parcel is bisected by a 35 feet wide public utility easement and the placement of the two (2) buildings has taken this easement into consideration.
- South Pier Riverfront Condominiums is a two-phase development. Phase 1 has already been completed, but is included in this precise implementation plan. Phase 1 included a new 4-story building, featuring 21 dwelling units with an enclosed on-grade parking structure. This building was constructed on the western portion of the site, whereas Phase 2 will occur on the eastern portion of the site.
- Phase 2 previously was going to be a complimentary 4-story building, featuring 15 dwelling units with an enclosed on-grade parking structure.

- Phase 2 is now a 3-story building featuring six (6) townhouse units with first floor garage parking for each individual unit. The proposed townhouse building will have similar design characteristics and materials to the Phase 1 apartments.
- The materials on this building will be similar in color to the existing Phase 1 building. The exterior will consist of thin brick masonry on the lower level and smartside lap siding above, the colors matching the Phase 1 apartments. The main entrances to the units are located next to the garage in each individual unit. In conjunction with the individual unit entry, a parking lot and driveway will be included on the south side of the building.

The applicant states the following about the architecture:

- The second building for South Pier Apartments (Phase 2) will be different in design but similar materials and colors to the first building.
- Phase 1 was 11,200sf and 7 units per floor (total floor area of approximately 45,552sf).
- Phase 2 will be a total of 6,350sf per floor- 6 townhouse units with 3 stories (total floor area of approximately 22,180sf).
- Each unit has a main entry and a two-car garage, with a shared parking lot and driveway area, as well as patio space on each floor.
- The building will be Construction Type VA (five-a) - constructed with wood stud walls, bottom chord bearing trusses, zip sheathing, slab on grade and a geofoam base.
- The masonry base will match the existing masonry but will be a thin brick veneer.
- The siding will be the same color and LP Smartside system as Phase 1.
- The windows will be dark bronze sliding windows like the existing building.
- The new building will have decks similar in color and materials to the existing building but configured differently.
- The building will be located and fit in the footprint that was previously approved as part of Phase 1.
- Site plan will include new parking locations and a driveway entry to each unit garage. The drives and landscaping will be adjusted to fit the new plans.
- Targeted unit sale prices will range from \$499,000. The estimated approximate value of the Phase 2 building and site improvements will be approximately \$3,000,000.

STAFF COMMENTS:

This is a fairly significant change in terms of design and total number of units. The Board will want to make sure the new building design continues to fit in well with the rest of the S. Pier Development.

The Board may want to have the applicant address:

- The use of the thin brick masonry.
- Is there away of setting back the garages so they are inset a bit from the rest of the building.
- Appears on the elevations there is a roof deck with a doorway on the roof but on the perspectives the applicant does not show this. Is this applicant moving forward with the roof deck?
- If there is going to be a rooftop deck, the small stairway building should be painted a color that matches the greys of the building (appears that the light grey/white rooftop structure on the building to the west really catches your eye).
- What color and material are proposed for the underside of the decks on the riverside of the building?
- Are these apartments or condos (letter states apartments)?
- Expected timeframes for construction? Any issues with regards to getting materials for this project?

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

Office Use Only

PARCEL NO.:

DATE SUBMITTED: _____

REVIEW DATE: _____

CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION

Revised July 2021

FEE \$100.00

Completed application must be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application **must be filed three weeks prior** to date of meeting. Applications that are not complete or that are not legible will not be accepted.

1. APPLICANT INFORMATION

APPLICANT: Eric FleischmanADDRESS: 313 N. Plankinton Ave., Suite 208, MilwaukeeE-MAIL ADDRESS: efleischman@abacusarchitects.netPHONE: (920) 234-2395 FAX NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: South Pier Townhouses – Phase 2ADDRESS OF PROPERTY AFFECTED: South Pier DriveNEW BUILDING: X ADDITION: _____ REMODELING: _____

DESCRIPTION OF PROPOSED PROJECT:

The proposed townhouse building will be 3 stories tall and will have similar design characteristics and materials to the Phase 1 apartments. The proposed building will have first floor garage parking for each individual unit totaling 3 stories each, 6 townhouse units in total. The building fits within the previously outlined condominium footprint.

DESCRIPTION OF **EXISTING** EXTERIOR DESIGN AND MATERIALS:

DESCRIPTION OF THE **PROPOSED** EXTERIOR DESIGN AND MATERIALS:

Item 5.

The materials on this building will be similar in color to the existing Phase 1 building. The exterior will consist of thin brick masonry on the lower level and smartside lap siding above, the colors matching the Phase 1 apartments. The main entrances to the units are located next to the garage in each individual unit. In conjunction with the individual unit entry, a parking lot and driveway will be included on the south side of the building.

3. NAMES AND ADDRESSES

OWNER OF SITE: Toby Watson

ADDRESS: 2808 Kohler Memorial Drive, Suite 1, Sheboygan

EMAIL: Tobytylerwatson@gmail.com

PHONE: (920) 918-7377 **FAX NO.:** ()

ARCHITECT: Eric Fleischman

ADDRESS: 313 N. Plankinton Ave., Suite 208, Milwaukee

EMAIL ADDRESS: efleischman@abacusarchitects.net

PHONE: (920) 234-2395 **FAX NO.:** ()

CONTRACTOR: J&N Construction

ADDRESS: 1628 Calumet Drive, Sheboygan

EMAIL: nick@sheboyganbuilder.com

PHONE: (920) 889-7541 **FAX NO.:** ()

4. APPLICATION SUBMITTAL REQUIREMENTS

- A. A scale drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. A .pdf file of all drawings either by email or CD**
- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Eric F. Fleischman
APPLICANT'S SIGNATURE

5/9/2022
DATE

ERIC FLEISCHMAN, ARCHITECT
PRINT ABOVE NAME

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____
Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

Design Narrative

South Pier Townhouses – Phase 2

Sheboygan, Wisconsin

Abacus Architects, Inc.
May 16, 2022

Project No. 2022-12

The second building for South Pier Apartments (Phase 2) will be different in design but similar materials and colors to the first building. Phase 1 was 11,200 s.f. and 7 units per floor, Phase 2 will be a total of 6,350 s.f. per floor- 6 townhouse units with 3 stories. The total s.f. of the building including roof patios is 22,180 s.f. Each unit has a main entry and a two-car garage, with a shared parking lot and driveway area, as well as patio space on each floor. The building will be Construction Type VA (five-a) - constructed with wood stud walls, bottom chord bearing trusses, zip sheathing, slab on grade, and a geofoam base.

The materials on the exterior of the building will be very similar to the existing apartment building. The masonry base will match the existing masonry but will be a thin brick veneer. The siding will be the same color and LP Smartside system as Phase 1. The windows will be dark bronze sliding windows like the existing building. The new building will have decks similar in color and materials to the existing building but configured differently.

The building will be located and fit in the footprint that was previously approved as part of Phase 1. Site plan will include new parking locations and a driveway entry to each unit garage. The drives and landscaping will be adjusted to fit the new plans.

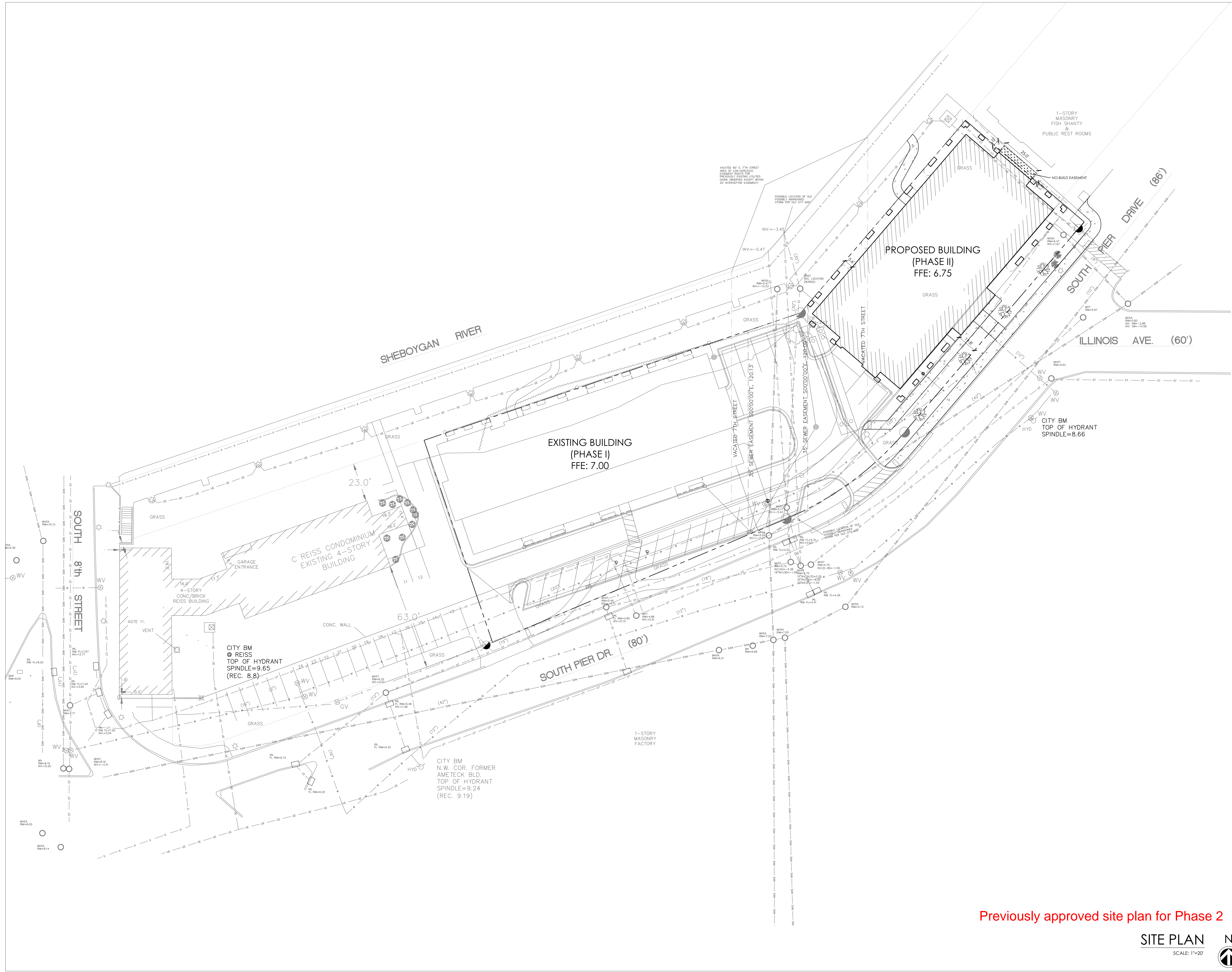
The landscaping plan intends to utilize the same amount and frequency of plants previously approved on June 26, 2019 with slight modification to the new driveway, by moving the plants south east towards South Pier Drive landscape buffer on the property line.

The total revised Phase 2 project value is estimated to be \$ 3 million with each of the six units being constructed at a cost of \$440,000 each and sold by the owner for \$499,000 each, with the sixth unit being occupied by the owner.



Existing: Phase -1 Apartments

September 15, 2021
P:\2021-CONTRACTS\2021-53 South Pier Riverfront Condominiums\21-53 South Pier Riverfront Condominiums\21-53 Site\2021-53 Design.dwg



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
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SEPTEMBER 15, 2021
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT CONDOMINIUMS
GROUND LEASE PARCEL TWO SHEBOYGAN, WISCONSIN, 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

BID SET

DRAWN BY: MDW

CHECKED BY: JRV

SITE PLAN

A
201

PROJ. NO. 2021-53

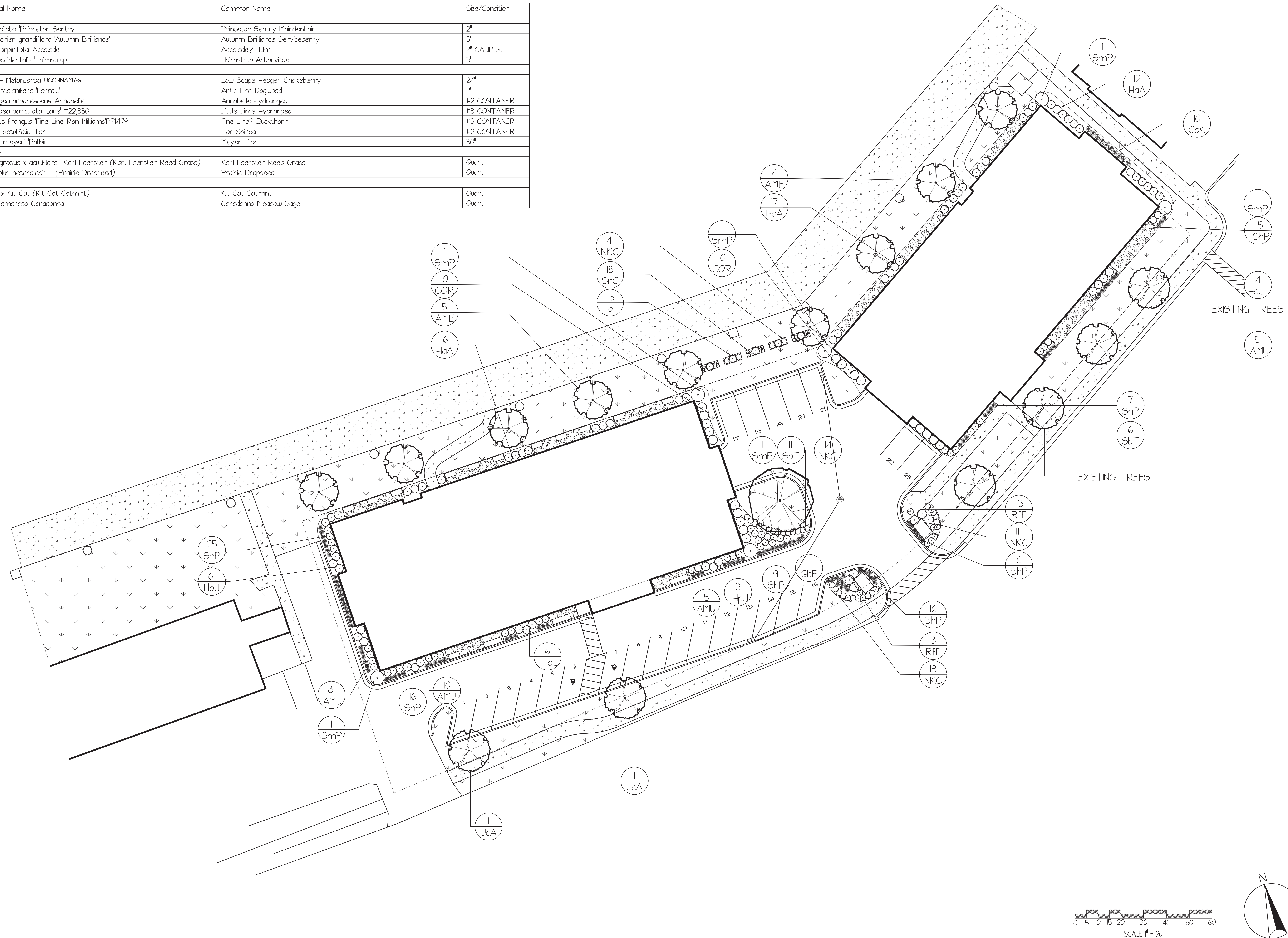
Previously approved site plan for Phase 2

SITE PLAN

SCALE: 1"=20'



Key	Qty	Botanical Name	Common Name	Size/Condition
Trees				
GBP	1	Ginkgo biloba 'Princeton Sentry'®	Princeton Sentry Maidenhair	2"
ATF	4	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'
UcA	2	Ulmus carpinifolia 'Accolade'	Accolade? Elm	2" CALIPER
TaH	5	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3'
Shrubs				
AMU	28	Aronia - Meloncanpa UCONNAM166	Low Scope Hedger Chokeberry	24"
COR	20	Cornus stolonifera 'Farrow'	Artic Fire Dogwood	2'
HoA	45	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#2 CONTAINER
HqJ	19	Hydrangea paniculata 'Lane' #22330	Little Lime Hydrangea	#3 CONTAINER
RfF	6	Rhamnus frangula 'Fine Line Ron Williams'PP1479I	Fine Line? Buckthorn	#5 CONTAINER
SbT	17	Spiraea betulifolia 'Tor'	Tor Spirea	#2 CONTAINER
SmP	6	Syringa meyeri 'Palibin'	Meyer Lilac	30"
Ornamental Grasses				
CaK	10	Calamagrostis x acutiflora Karl Foerster (Karl Foerster Reed Grass)	Karl Foerster Reed Grass	Quart
SHP	88	Sporobolus heterolepis (Prairie Dropseed)	Prairie Dropseed	Quart
Perennials				
NKC	42	Nepeta x Kit Cat (Kit Cat Catmint)	Kit Cat Catmint	Quart
SnC	18	Salvia nemorosa Caradonna	Caradonna Meadow Sage	Quart



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NEW CONSTRUCTION FOR:
SP RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Project:	
Sheet Title:	LANDSCAPE PLAN
Revisions:	
Date:	06/26/2019
Job No.	18-160
Sheet No.	L-1

SP RIVERFRONT CONDOMINIUMS PLANT SCHEDULE

Key	Qty	Botanical Name	Common Name	Size/Condition
Trees				
GbP	1	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair	2'
AME	9	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'
UcA	2	Ulmus carpinifolia 'Accolade'	Accolade? Elm	2" CALIPER
ToH	5	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	3'
Shrubs				
AMU	28	Aronia - Melanocarpa UCONNAT166	Low Scape Hedger Chokeberry	24"
COR	20	Cornus stolonifera 'Farrar'	Arctic Fire Dogwood	2'
HaA	45	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#2 CONTAINER
HpJ	19	Hydrangea paniculata 'Jane' #22,330	Little Lime Hydrangea	#3 CONTAINER
RfF	6	Rhamnus frangula Fine Line Ron Williams PPI479I	Fine Line? Buckthorn	#5 CONTAINER
SbT	17	Spiraea betulifolia 'Tor'	Tor Spirea	#2 CONTAINER
SmP	6	Syringa meyeri 'Palibin'	Meyer Lilac	30"
Ornamental Grasses				
CoK	10	Calamagrostis x acutiflora Karl Foerster (Karl Foerster Reed Grass)	Karl Foerster Reed Grass	Quart
SHP	88	Sporobolus heterolepis (Prairie Dropseed)	Prairie Dropseed	Quart
Perennials				
NKC	42	Nepeta x Kit Cat (Kit Cat Catmint)	Kit Cat Catmint	Quart
SnC	18	Salvia nemorosa Caradonna	Caradonna Meadow Sage	Quart

LANDSCAPE POINT REQUIREMENT CALCULATIONS (CENTRAL - COMMERCIAL ZONING DISTRICT)

PAVED AREA LANDSCAPE REQUIREMENTS (CENTRAL-COMMERCIAL ZONING)

- FOR EVERY 10,000 SQUARE FEET OR 20 PARKING STALLS
REQUIRES = 20 POINTS

TOTAL AMOUNT OF PAVED SURFACES: 29,850 SQ. FEET
TOTAL AMOUNT OF OFFSTREET PARKING STALLS - 70 = 70 POINTS REQUIRED

STREET FRONTAGE LANDSCAPE REQUIREMENTS (CENTRAL-COMMERCIAL ZONING)

STREET FRONTAGE: 0 POINTS REQUIRED FOR CC ZONING DISTRICT

DEVELOPED LOT LANDSCAPE REQUIREMENTS (CENTRAL-COMMERCIAL ZONING)

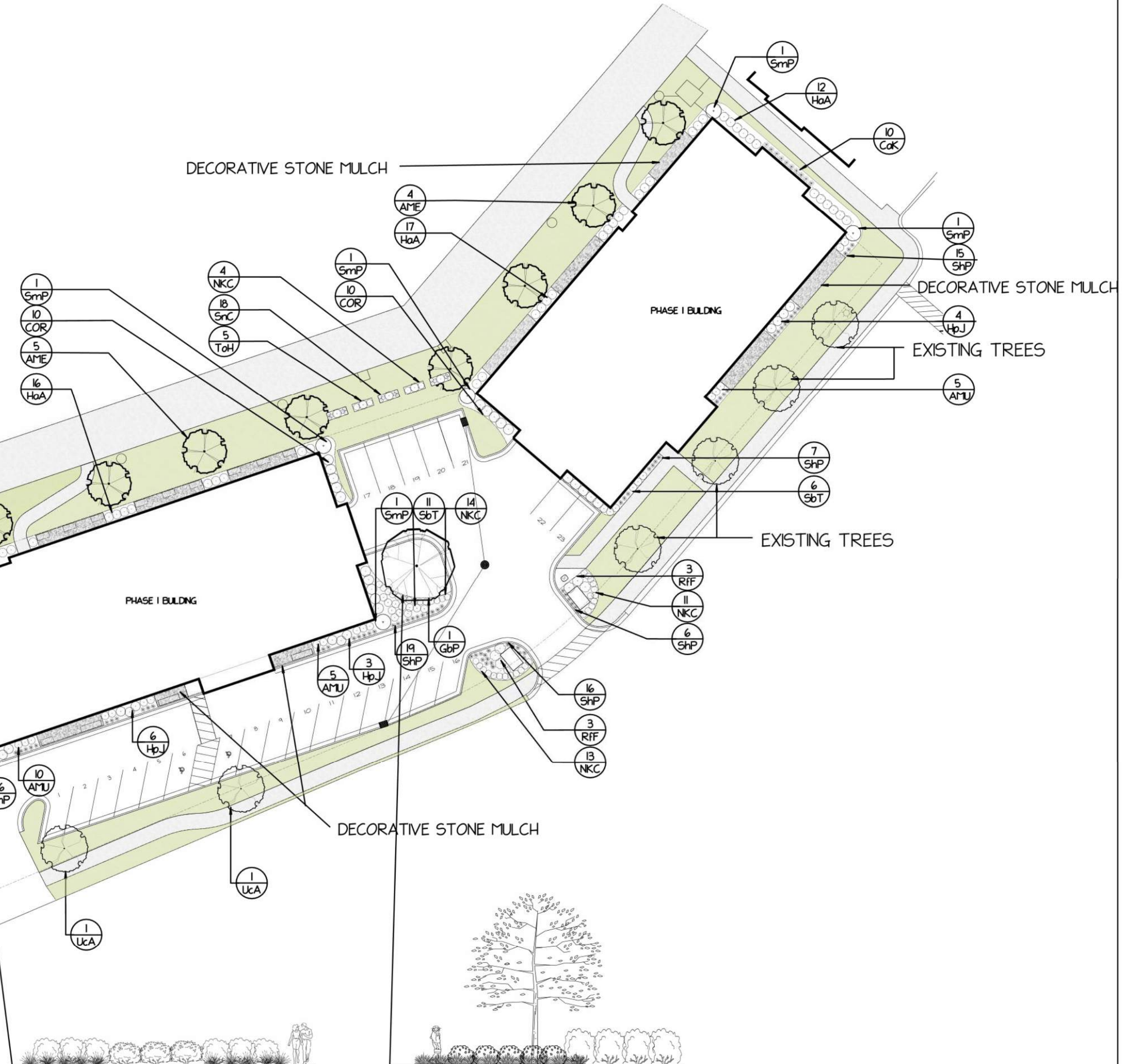
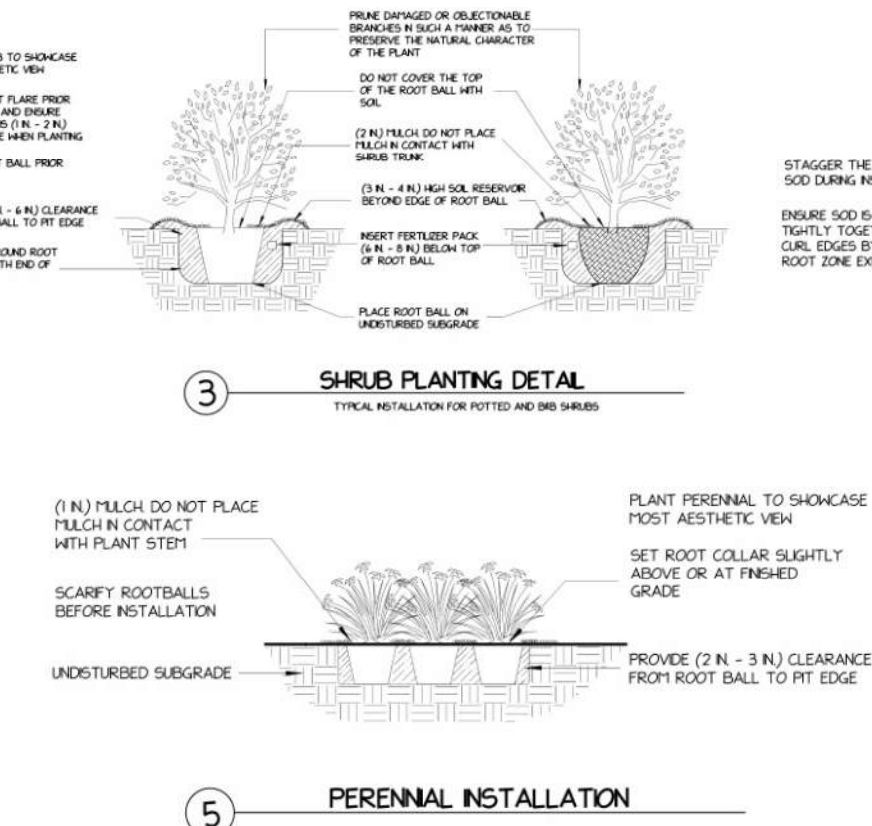
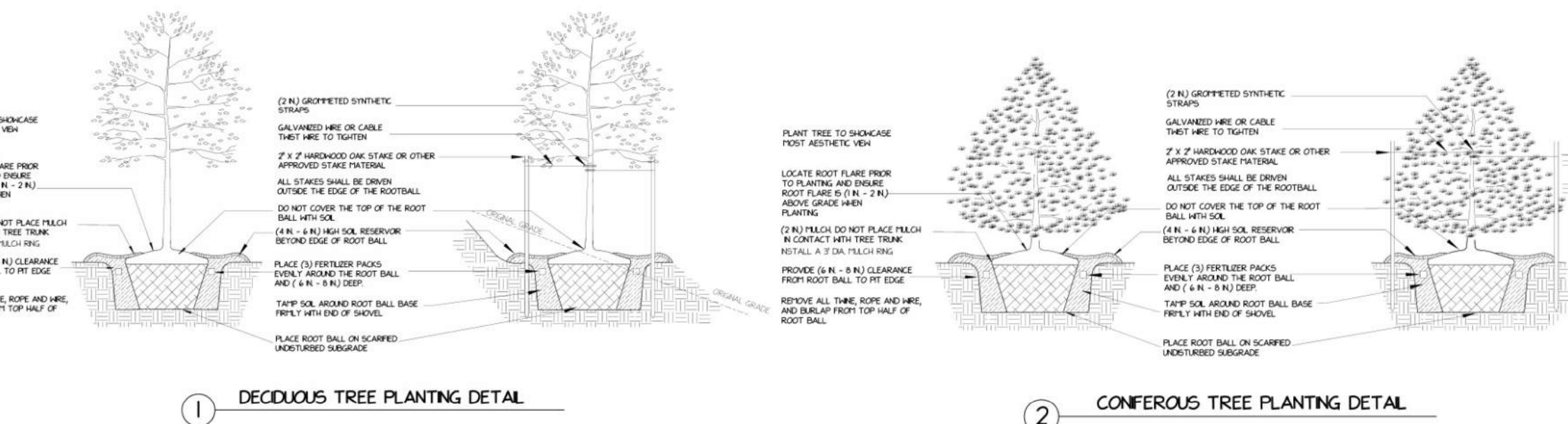
DEVELOPED LOT: 0 POINTS REQUIRED FOR CC ZONING DISTRICT

BUILDING FOUNDATION LANDSCAPE REQUIREMENTS (CENTRAL-COMMERCIAL ZONING)

BUILDING FOUNDATION: 0 POINTS REQUIRED FOR CC ZONING DISTRICT

LANDSCAPE POINT CALCULATIONS

PLANT CLASSIFICATION	KEY CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	POINTS PER	TOTAL
CLIMAX TREE	GbP	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair	1	75	75
TALL DECIDUOUS TREE	UcA	Ulmus carpinifolia 'Accolade'	Accolade? Elm	2	30	60
LOW DECIDUOUS TREE	AME	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	9	10	90
TALL/MED. EVERGREEN SHRUB	ToH	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	5	5	25
MEDIUM DECIDUOUS SHRUB	AMU	Aronia melanocarpa UCONNAT166	Low Scape Hedger Chokeberry	28	3	84
MEDIUM DECIDUOUS SHRUB	COR	Cornus stolonifera 'Farrar'	Arctic Fire Dogwood	20	3	60
LOW DECIDUOUS SHRUB	HaA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	45	1	45
MEDIUM DECIDUOUS SHRUB	HpJ	Hydrangea paniculata 'Jane' #22,330	Little Lime Hydrangea	19	5	95
MEDIUM DECIDUOUS SHRUB	RfF	Rhamnus frangula Fine Line Ron Williams PPI479I	Fine Line? Buckthorn	6	3	18
LOW DECIDUOUS SHRUB	SbT	Spiraea betulifolia 'Tor'	Tor Spirea	17	1	17
MEDIUM DECIDUOUS SHRUB	SmP	Syringa meyeri 'Palibin'	Meyer Lilac	6	3	18
				TOTAL POINTS:		587
				POINTS NEEDED PER SECTION 15.607		70
DISTRIBUTION OF POINTS	REQUIRED POINTS	TOTAL POINTS				
30% TO CLIMAX AND/ OR TALL TREES	21	225				
40% TO SHRUBS	28	362				



GENERAL NOTES:

- CALL DIGGERS HOTLINE A MINIMUM OF 4 WORK DAYS BEFORE EXCAVATING.
- PLEASE REFER TO CITY OF SHEBOYGAN ZONING ORDINANCE SECTION 15.602(2) FOR MAINTENANCE REQUIREMENTS.
- PRIOR TO THE INSTALLATION OF LANDSCAPING AROUND PHASE 2 BUILDING, PLEASE CONTACT PROJECT ARCHITECT / PROJECT MANAGER. EXACT PLANTING LOCATIONS SUBJECT TO CHANGE.
- FIELD VERIFY ALL DIMENSION AND UNDERGROUND UTILITIES. LOCATION OF THESE UTILITIES ARE NOT GUARANTEED TO BE IN THE LOCATION AS SHOWN.

LANDSCAPE NOTES:

- EXISTING TREES TO REMAIN IN THE LANDSCAPE. PLEASE USE PRECAUTION WHEN WORKING NEAR THESE TREES.
- AREAS DEEMED FOR DECORATIVE STONE MULCH TO RECEIVE 3" OF STONE ON TOP OF POLY WEED FABRIC. BLACK RAVEN STONE OR SIMILAR TYPE TO BE USED.
- AREAS THAT ARE NOT LABELED WITH DECORATIVE STONE MULCH TO RECEIVE A 2"-3" LAYER OF SHREDDED HARDWOOD BARK MULCH. NO POLY WEED FABRIC.
- BED EDGES SEPARATING STONE MULCH AND SHREDDED HARDWOOD BARK MULCH TO RECEIVE 1/8" THICK ALUMINUM EDGING. EDGES SEPARATING BARK MULCH AND TURF TO RECEIVE A HAND SPADE CUT EDGE. PLEASE SEE CROSS SECTION FOR SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL THE PLANT QUANTITIES SHOWN ON THE PLAN. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT SCHEDULE. PLEASE CONTACT PROJECT ARCHITECT/ PROJECT MANAGER FOR SUBSTITUTIONS IF NEEDED.
- ALL AREAS INDICATED AS TURF TO RECEIVE A MINIMUM OF 4" SCREENED BLENDED TOPSOIL. PLEASE ADD STARTER FERTILIZER MADON PARKS TURF SEED MIX - EARTH CARPET, AND STRAW MATTING ONCE FINISHED GRADE IS ESTABLISHED.
- PLEASE REFER TO THE LANDSCAPE CROSS SECTIONS REGARDING PROPER INSTALLATION OF TREES, SHRUBS, PERENNIALS, MULCH, TURF, AND ACCENT BOULDERS.
- ALL PLANTINGS SHALL MEET THE NURSERYMANS ASSOCIATION STANDARDS FOR QUALITY AND THE SIZES GIVEN.
- PLANTING BEDS SHALL RECEIVE A MINIMUM OF 8" OF SCREENED BLENDED TOPSOIL AND MORGANTIE FERTILIZER.

LANDSCAPE PLAN NOT DRAWN TO SCALE FOR L2 PAGE.



TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES BEFORE YOU DIG. WISCONSIN STATUTE 82.075 REQUIRES A MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

OWNERSHIP OF DOCUMENTS

This document, and ideas and design, incorporated herein as an instrument of professional service, is the sole property of Koz-i-tec-ture and is not to be used in whole or in part for any other project without expressed written authorization of Koz-i-tec-ture.

NEW CONSTRUCTION FOR:

Project:

Sheet Title:

LANDSCAPE DETAILS
AND NOTES

Revisions:

Date: 06/26/2019

Job No. 18-160

Sheet No.

L-2





Previously approved design and materials for Phase 2



New Design













NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081



REVISIONS:

1 10/04/21 Addendum 01

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
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MAY 9, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | 720.452.4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL	STRUCTURAL
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444	PIERCE ENGINEERS, INC. 181 N. BROADWAY MILWAUKEE, WI 53202 P: 414-278-6060
<div><div>A 101</div><div>TITLE SHEET</div></div> <div><div>A 201</div><div>SITE PLAN</div></div> <div><div>A 301</div><div>FIRST FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 302</div><div>SECOND FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 303</div><div>THIRD FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 304</div><div>ROOF PATIO LIFE SAFETY PLAN</div></div> <div><div>A 306</div><div>OVERALL FIRST FLOOR PLAN</div></div> <div><div>A 307</div><div>OVERALL SECOND FLOOR PLAN</div></div> <div><div>A 308</div><div>OVERALL THIRD FLOOR PLAN</div></div> <div><div>A 310</div><div>ROOF PATIO PLAN</div></div> <div><div>A 316</div><div>TYPICAL UNIT - TOWNHOUSE PLAN</div></div> <div><div>A 317</div><div>TYPICAL UNIT- SECOND FLOOR</div></div> <div><div>A 318</div><div>TYPICAL UNIT - THIRD FLOOR</div></div> <div><div>A 322a</div><div>WATSON UNIT</div></div> <div><div>A 322b</div><div>WATSON UNIT</div></div> <div><div>A 501</div><div>TYPICAL ELEVATION - TOWNHOUSE</div></div> <div><div>A 502</div><div>OVERALL EXTERIOR ELEVATIONS</div></div> <div><div>A 503</div><div>EXTERIOR ELEVATIONS</div></div>	

PROJECT NOTES

EXTENT OF WORK
THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT
THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

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PROJECT INFORMATION

APPLICABLE BUILDING CODES
2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC)
2015 INTERNATIONAL BUILDING CODE

BUILDING AREA
NEW BUILDING AREA - 6 UNITS
FIRST FLOOR AREA - 6,348 SF
SECOND FLOOR AREA - 6,348 SF
THIRD FLOOR AREA - 6,348 SF
ROOF PATIO (UNIT 6) - 442 SF
TOTAL BUILDING AREA - 19,130 SF
(PATIO AREAS) - 3,035 SF
INCLUDING ROOF PATIOS - 22,180 SF

OCCUPANCY CLASSIFICATION
ALL LEVELS
RESIDENTIAL GROUP "R-2" (W.C.B.C. SECTION 310.4)

CONSTRUCTION CLASSIFICATION
FIRST - THIRD FLOOR:
TYPE VA CONSTRUCTION (W.C.B.C. SECTION 602.5)

FIRE PROTECTION
REQUIRED SPRINKLER S-13R (IBC 903.2.8) (WISCONSIN - SPS 362.09.03)
PRIMARY STRUCTURAL FRAME 1HR
BEARING WALLS, EXTERIOR, INTERIOR 1HR
NONBEARING WALL & PARTITIONS INTERIOR SEE TABLE 602
NONBEARING WALLS & PARTITIONS INTERIOR 0HR
FLOOR CONSTRUCTION & ASSOC. 1HR
SECONDARY MEMBERS 1HR
ROOF CONSTRUCTION & ASSOC. 1HR
SECONDARY MEMBERS 1HR
FIRE BARRIER BETWEEN UNITS 1 HR
SET OUT CONSTRUCTION AT TO BE OF CLASS A MATERIALS. FIRE RETARDENT-TREATED WOOD SHALL BE PERMITTED FOR USE AS HANGERS AND ASSEMBLY MEMBERS OF DROPPED CEILINGS. (IBC 803.13.2.1)

ALLOWABLE HEIGHT AND AREA
TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 504.2)
USE GROUP "R-2" / CONSTRUCTION CLASSIFICATION VA (five "a")
UNSPRINKLERED, MULTI-STORY
ALLOWABLE AREA = 12,000 SQ. FT.
FRONTAGE INCREASE (SECTION 506.3)
(138' / 394 - 0.25) 27.13' / 30 = 0.09 AREA INCREASE FACTOR
TOTAL ALLOWABLE AREA (TOTAL BUILDING)
TABULAR AREA + (TABULAR AREA x FRONTAGE INCREASE) =
12,000sf + (12,000 sf x 0.09)) x 3 = 39,240 SQ. FT.
(WCBRC TABLE 504.3)
ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (50')
(WCBRC TABLE 504.3)
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (8)
(WCBRC TABLE 504.4)
BUILDING HEIGHT (ACTUAL) = 3 STORIES / 32'-0" FT.

MEANS OF EGRESS AND EXIT DISTANCE
EXIT ACCESS TRAVEL DISTANCE - WITHOUT AUTOMATIC SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) =200 FT.

OCCUPANT LOAD
REFER TO LIFE SAFETY SHEET.

EXTERIOR WALL OPENINGS
NORTH EAST ELEVATION @ 5'-10" SEPARATION. 10% ALLOWABLE OPENING AREA. @ 10'-15" SEPARATION. 15% ALLOWABLE OPENING AREA. NO LIMIT ON OTHER ELEVATIONS.
(W.C.B.C. TABLE 705.8)

DETERMINATION OF NO. OF STORIES ABOVE GRADE
BUILDING IS 3 STORIES ABOVE GRADE WITH PARKING AND ENTRY ON GROUND LEVEL ALL ABOVE GRADE (W.C.B.C. TABLE 504.4)

SANITARY FIXTURES
R-2
WATER CLOSET - 1 PER DWELLING UNIT
LAVATORIES - 1 PER DWELLING UNIT
BATHTUBS/SHOWER- 1 PER DWELLING UNIT
OTHER- 1 KITCHEN SINK PER DWELLING UNIT, 1

DWELLING UNIT
IBC - 15 (1107.6.2.2.1) TYPE A UNITS NOT REQUIRED. LESS THAN 20 DWELLING UNITS OF SLEEPING UNITS PROVIDED.
IBC - 15 (1107.6.2.2.2) ALL UNITS TO BE TYPE B UNIT
ANSI A117.1-09 (1004.11.3) OPT FOR OPTION A FOR TOILET AND BATHING AREAS.

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TITLE SHEET

A
101

PROJ. NO. 2022-12



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SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: Author

CHECKED BY: Checker

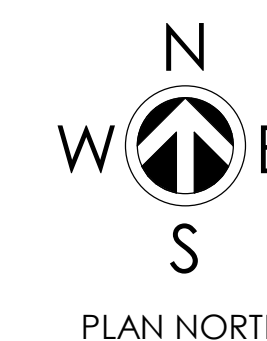
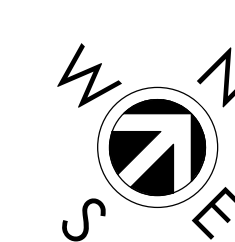
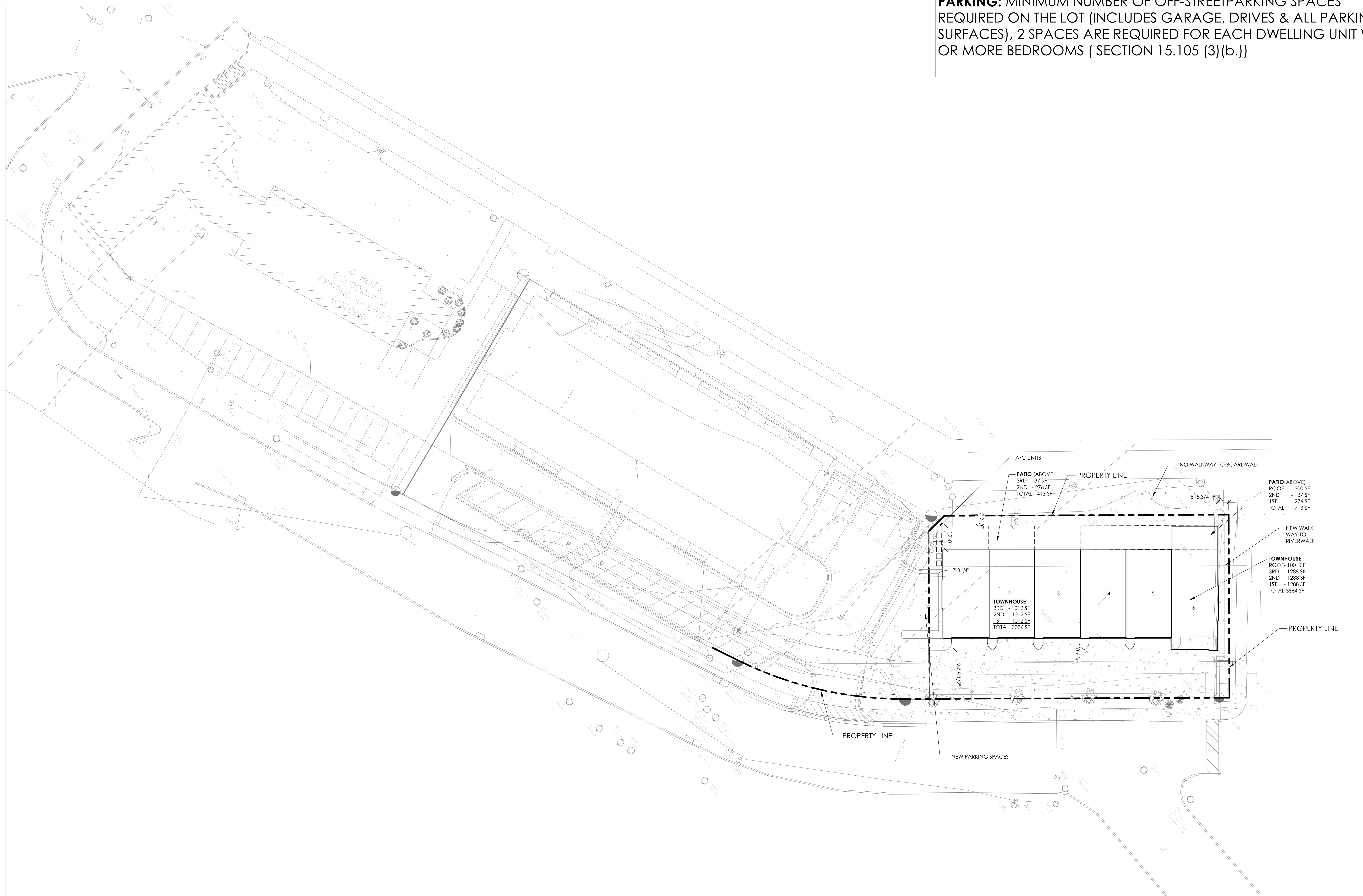
SITE PLAN

A
201

PROJ. NO. 2022-12

***NOTE:**
SHEBOYGAN ZONING ORDINANCE - TOWNHOUSE (UR-12) PERMITTED IN A PLANNED UNIT DEVELOPMENT DISTRICT (SECTION 15.914)

PARKING: MINIMUM NUMBER OF OFF-STREET PARKING SPACES REQUIRED ON THE LOT (INCLUDES GARAGE, DRIVES & ALL PARKING SURFACES), 2 SPACES ARE REQUIRED FOR EACH DWELLING UNIT WITH 2 OR MORE BEDROOMS (SECTION 15.105 (3)(b.))



SITE
SCALE: 1" = 20'-0"



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1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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DRAWN BY: AJK

CHECKED BY: PGM

FIRST FLOOR LIFE SAFETY PLAN

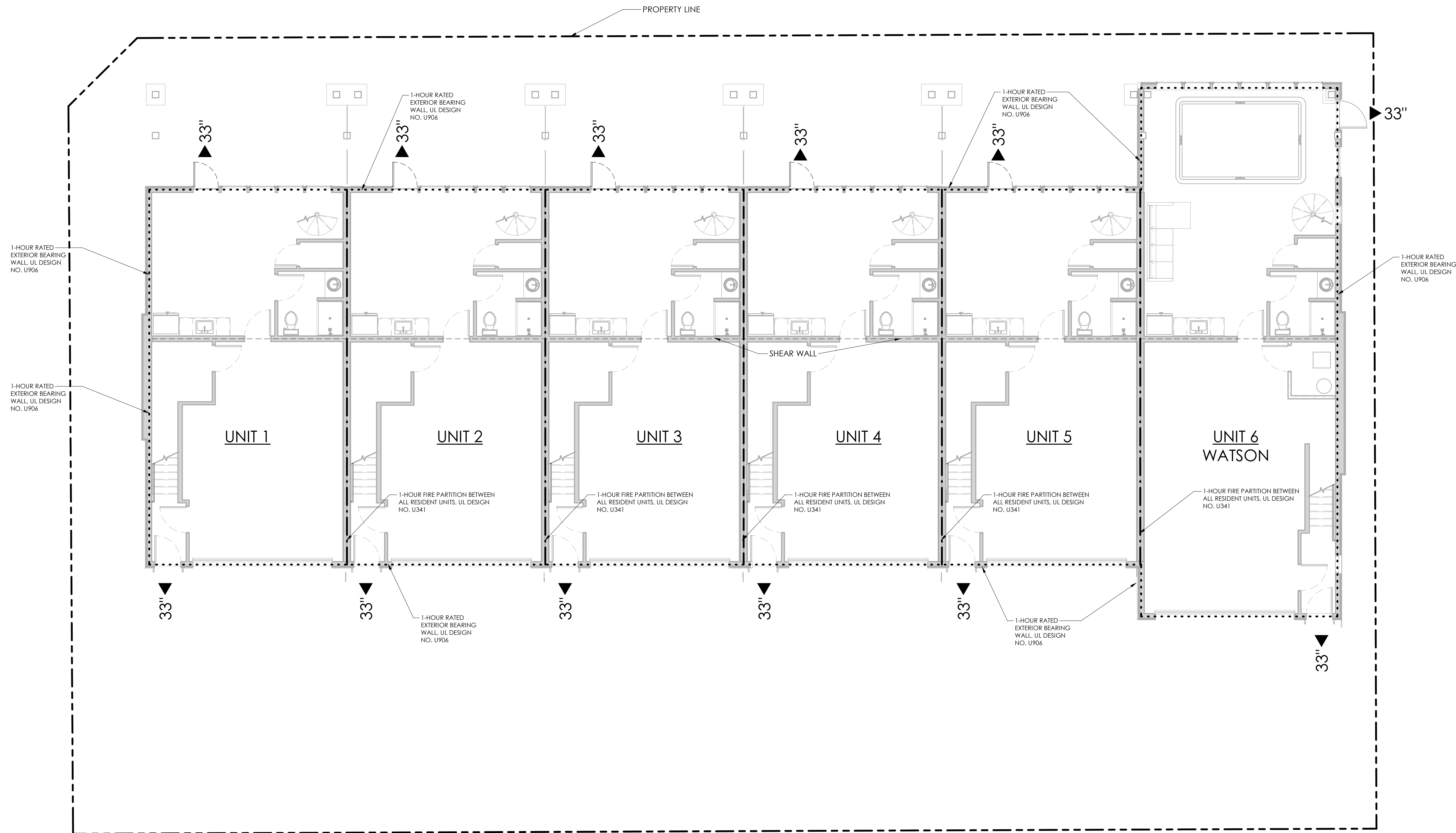
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301

PROJ. NO. 2022-12

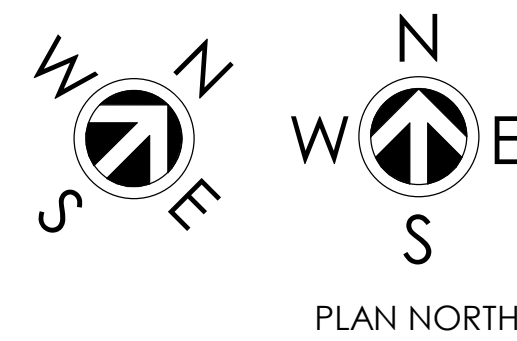
UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33" EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2 FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES
- IMAGINARY PROPERTY LINE
- 1 & 2-HOUR FIRE BARRIER
- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
- 1-HOUR FIRE PARTITION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE
- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



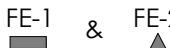






OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

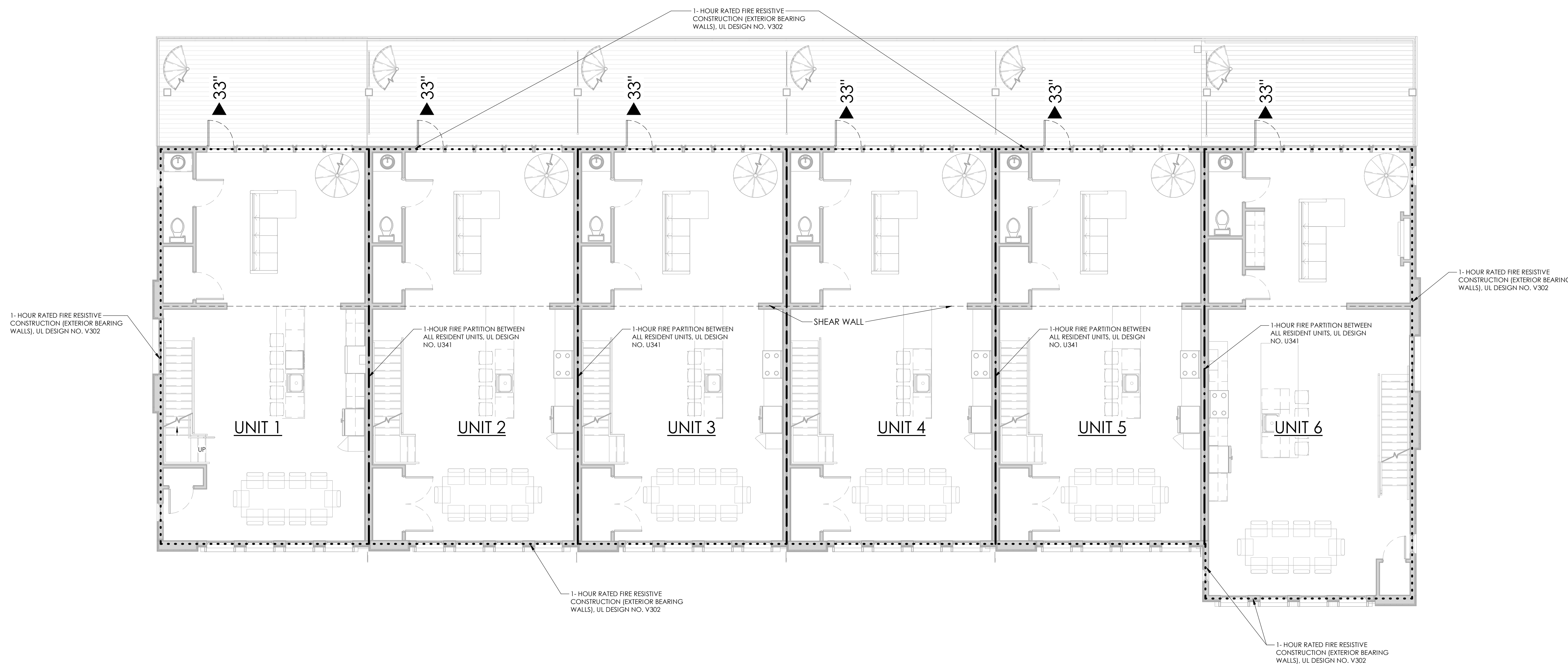
LIFE SAFETY PLAN LEGEND

	ACCESSIBLE PATH OF EGRESS
	EXIT AND AVAILABLE EXIT INCHES
	FIRE EXTINGUISHER
<hr/>	
FIRE AND SMOKE PROTECTION FEATURES	
<hr/>	
	IMAGINARY PROPERTY LINE
	1 & 2 -HOUR FIRE BARRIER <ul style="list-style-type: none">• REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS• EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
	1-HOUR FIRE PARTITION <ul style="list-style-type: none">• REQUIRED AT WALLS INDICATED ON PLAN• EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE
	1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION <ul style="list-style-type: none">• REQUIRED AT WALLS INDICATED ON PLAN• EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



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 MICHIGAN AVE., SHEBOYGAN, WI 53081 | 7201 452-4444 | 31° N, PLANKINOTON AVE SUITE 208, MILWAUKEE
 PRELIMINARY - NOT FOR CONSTRUCTION

MAY 9 2022

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERBONT TOWNHOUSES

SOUTH BIER DRIVE SHEBOYGAN WISCONSIN 53081

11135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 313 N. PLANKINTON AVE SUITE 208. MILWAUKEE, WI 53203
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: Autho

CHECKED BY: Checker

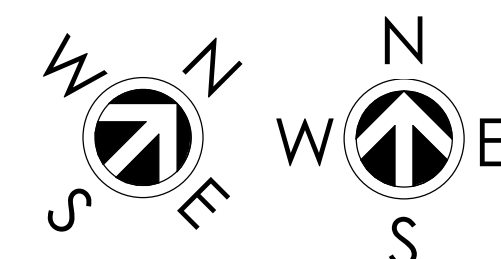
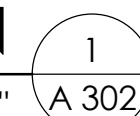
SECOND FLOOR LIFE SAFETY PLAN

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302

PROJ. NO. 2022-12

SECOND FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"



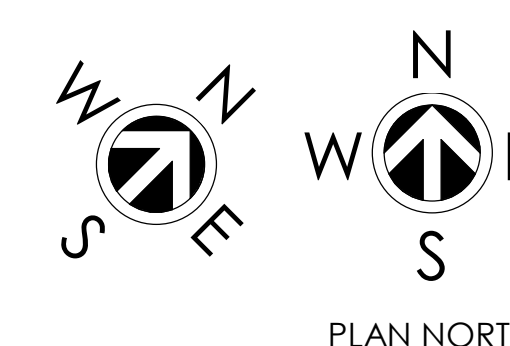
PLAN NORTH



MAY 9, 2022
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 SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081
 ILLIGAN AVE. SHEBOYGAN, WI 53081 | P201-452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE
 PRELIMINARY - NOT FOR CONSTRUCTION

LIFE SAFETY PLAN LEGEND

<p>— · — · — · — · —</p> <p>33" ◀</p> <p>FE-1 & FE-2 ◻ ▲</p>	<p>ACCESSIBLE PATH OF EGRESS</p> <p>EXIT AND AVAILABLE EXIT INCHES</p> <p>FIRE EXTINGUISHER</p>
<hr/>	
<p>— · — · — · — · —</p> <p>ROOM [NUMBER] -HR</p> <p>— · — · — · — · —</p>	<p>IMAGINARY PROPERTY LINE</p> <p>1 & 2-HOUR FIRE BARRIER</p> <ul style="list-style-type: none">• REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS, OR EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE <p>1-HOUR FIRE PARTITION</p> <ul style="list-style-type: none">• REQUIRED AT WALLS INDICATED ON PLAN• EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE <p>.....</p> <p>1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION</p> <ul style="list-style-type: none">• REQUIRED AT WALLS INDICATED ON PLAN• EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

33"

FE-1 & FE-2

ACCESSIBLE PATH OF EGRESS

EXIT AND AVAILABLE EXIT INCHES

FIRE EXTINGUISHER

FIRE AND SMOKE PROTECTION FEATURES

IMAGINARY PROPERTY LINE

1 & 2-HOUR FIRE BARRIER

ROOM NUMBER -HR

1-HOUR FIRE PARTITION

1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION

REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE

REQUIRED AT WALLS INDICATED ON PLAN

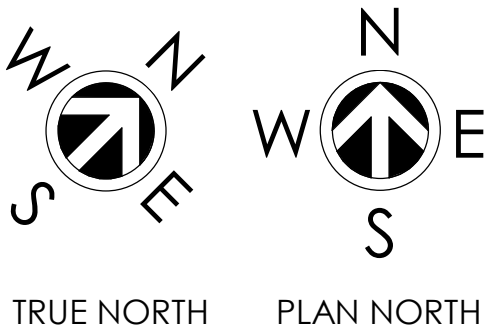
EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE

REQUIRED AT WALLS INDICATED ON PLAN

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



ROOF PATIO LIFE SAFETY PLAN
SCALE: 3/16" = 1'-0"



REVISIONS:

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ROOF PATIO LIFE SAFETY PLAN

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304

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 MICHIGAN AVE., SHEBOYGAN, WI 53081 | 7201 452-4444 | 3131 PLANKINOTON AVE SUITE 208 MILWAUKEE
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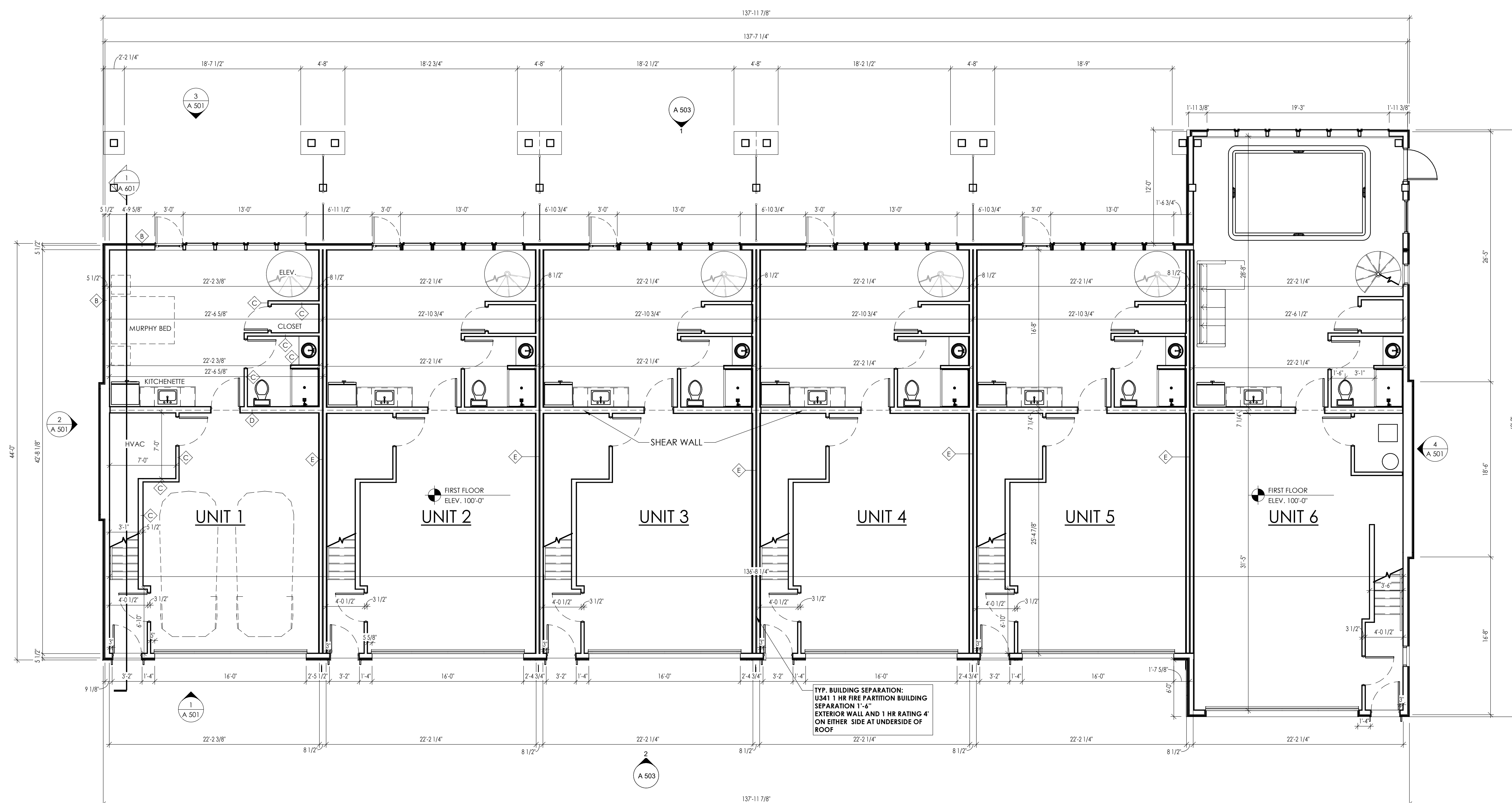
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OVERALL FIRST FLOOR
PLAN

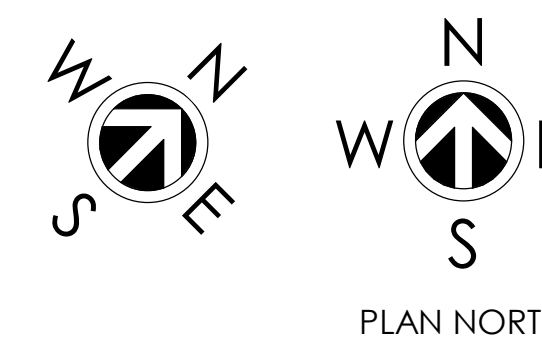
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306

PROJ. NO. 2022-12



OVERALL FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"





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1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

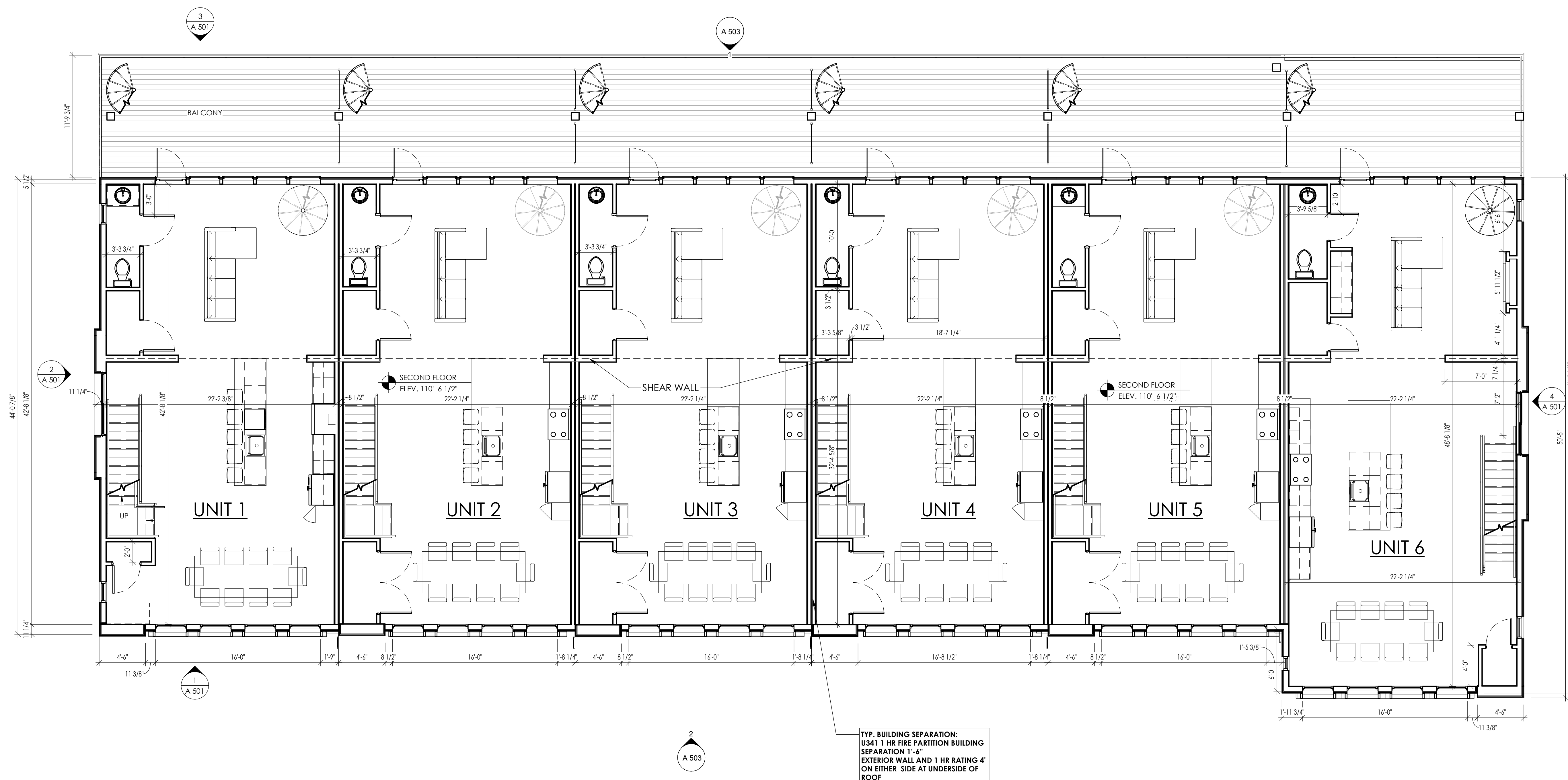
DRAWN BY: EF, SG

CHECKED BY: PM

OVERALL SECOND
FLOOR PLAN

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307

PROJ. NO. 2022-12



OVERALL SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.

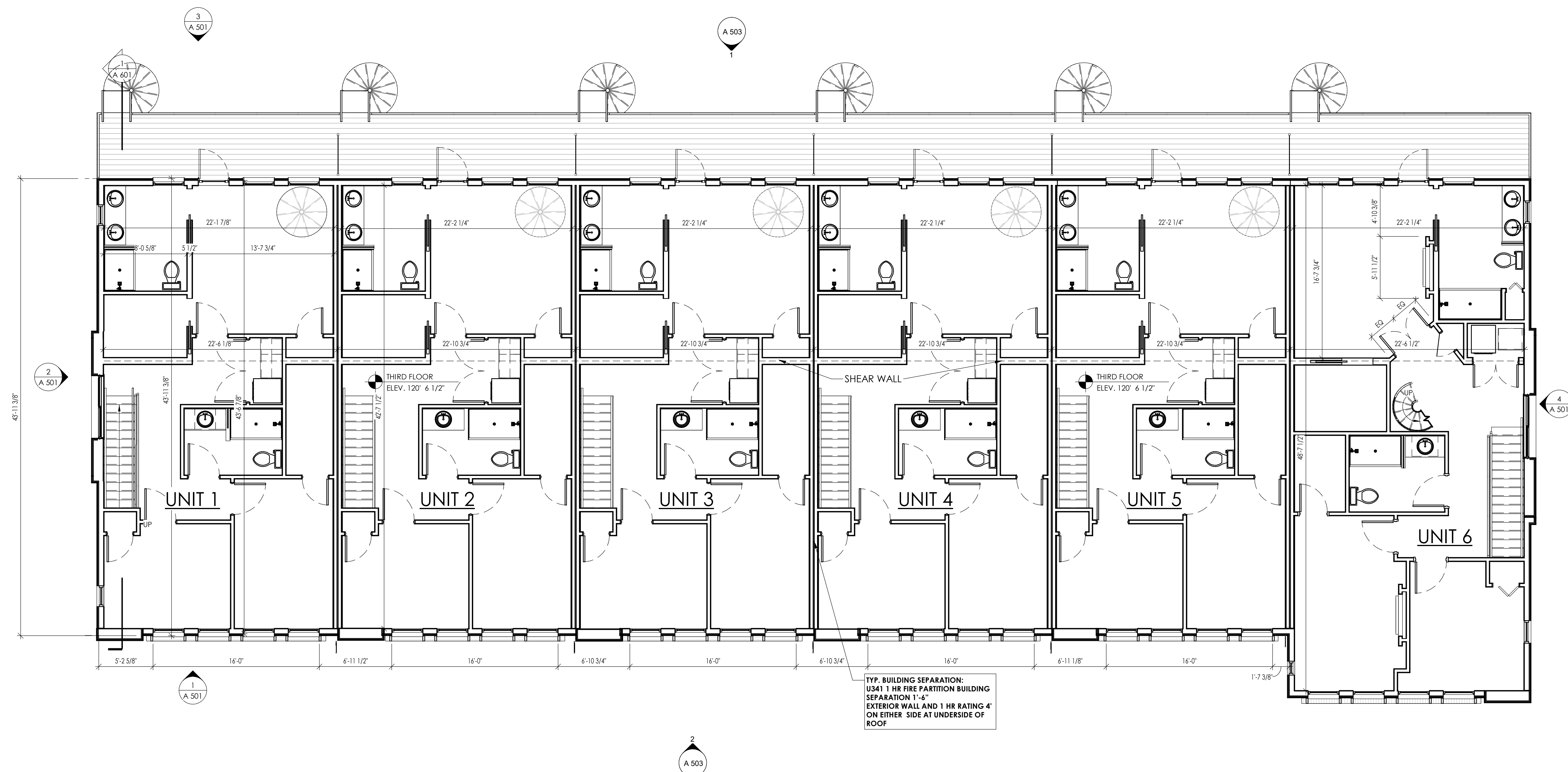


PLAN NORTH



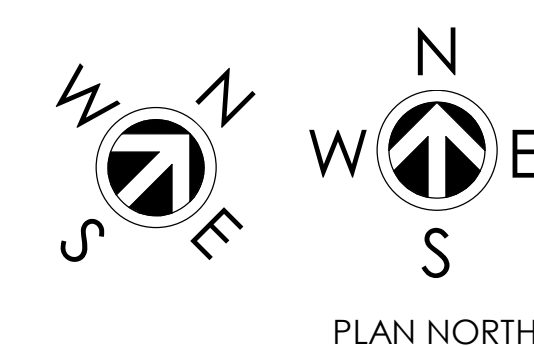
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OVERALL THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



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CHECKED BY: Checker

OVERALL THIRD FLOOR
PLAN

A
308

PROJ. NO. 2022-12

MAY 9, 2022
NEW CONSTRUCTION FOR:
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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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DRAWN BY: SG,EF

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TYPICAL UNIT -
TOWNHOUSE PLAN

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316

PROJ. NO. 2022-12

GENERAL PLAN NOTES

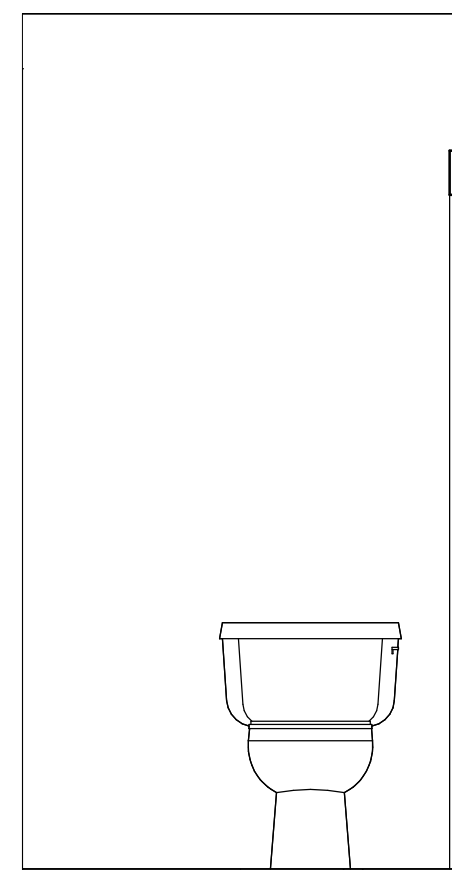
- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELAVATOR MANUFACTURER SELECTION
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

GENERAL UNIT TYPE PLAN NOTES

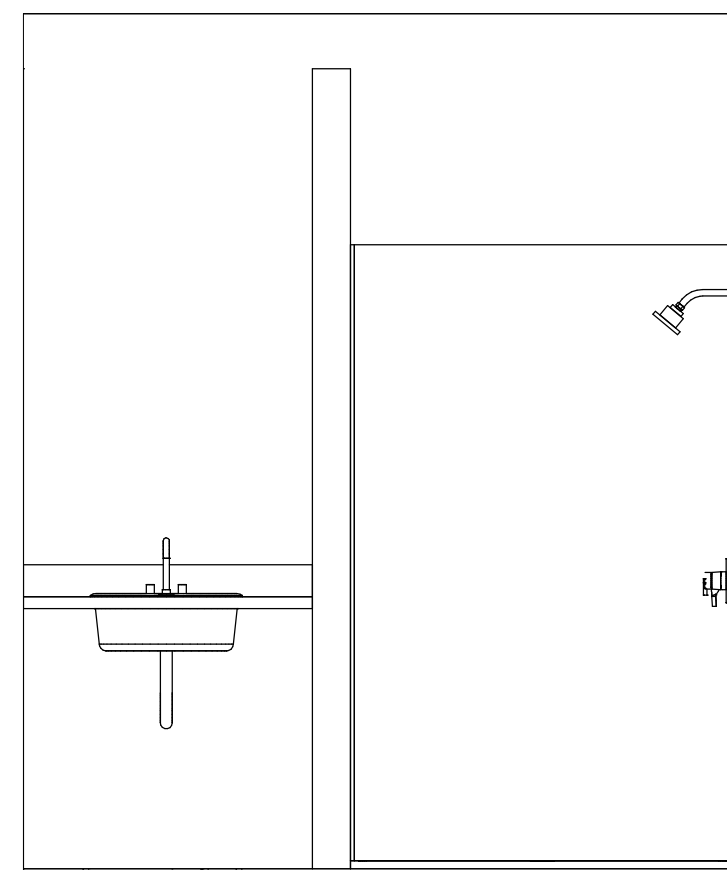
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- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

FLOOR PLAN KEYNOTES

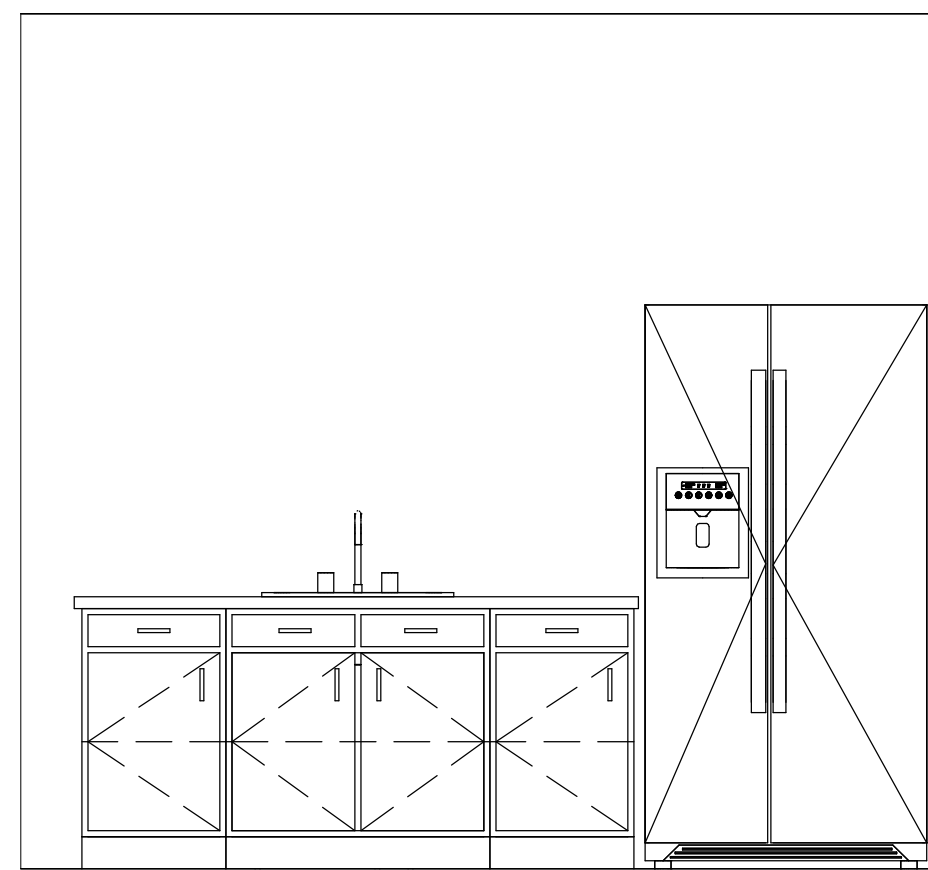
NO.	DESCRIPTION
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2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION



TLT. ELEV. 4
SCALE: 1/2" = 1'-0" A 316

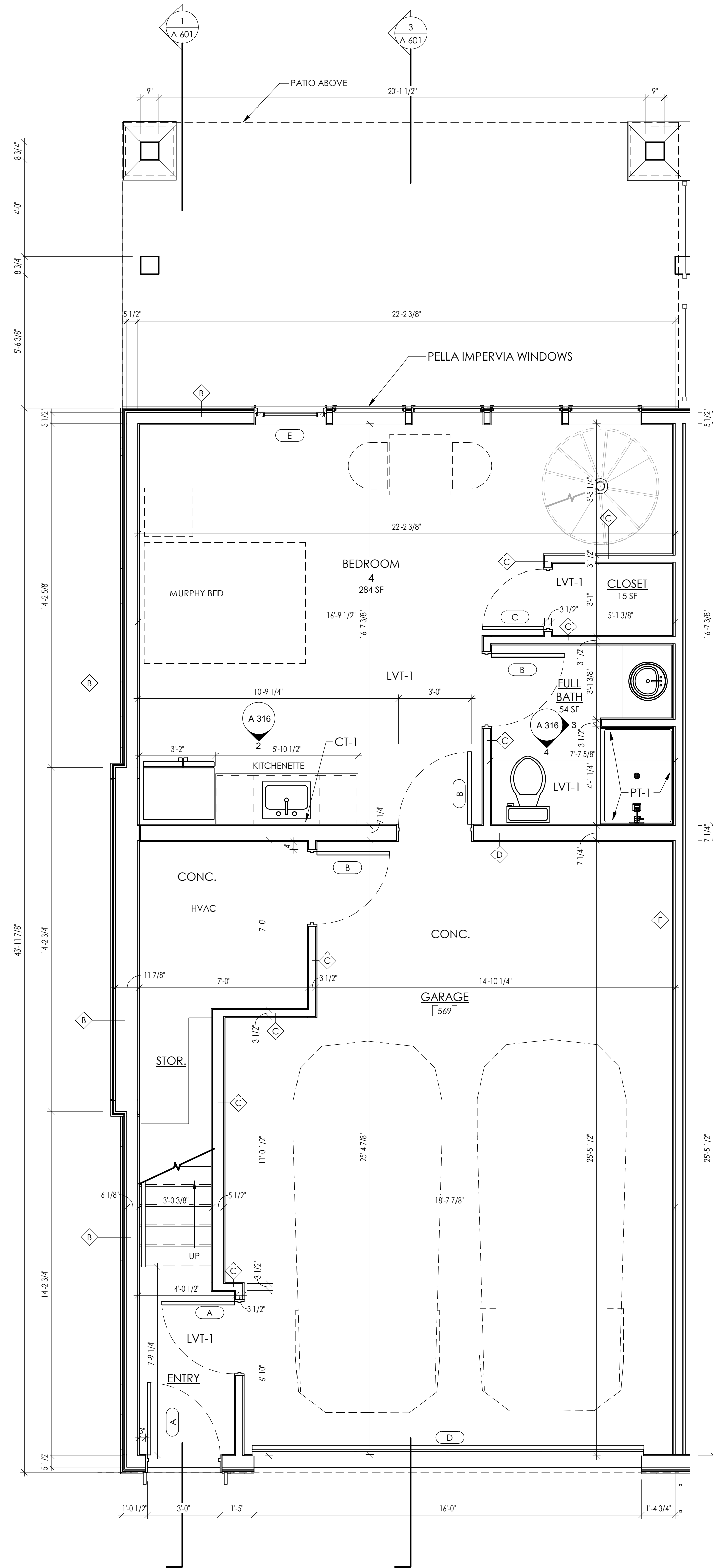


TLT ELEV. 3
SCALE: 1/2" = 1'-0" A 316



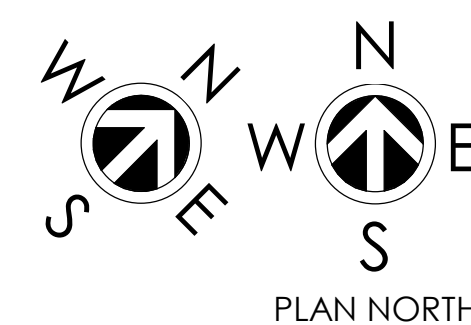
KITCHENETTE ELEV. 2
SCALE: 1/2" = 1'-0" A 316

*NOTE: SPIRAL STAIRCASE OR PNEUMATIC ELEVATOR OPTIONAL FOR TENANTS



UNIT 1 - FIRST FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 316



PLAN NORTH

REVISIONS:

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MAY 9, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203

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TYPICAL UNIT-SECOND
FLOOR

A
317

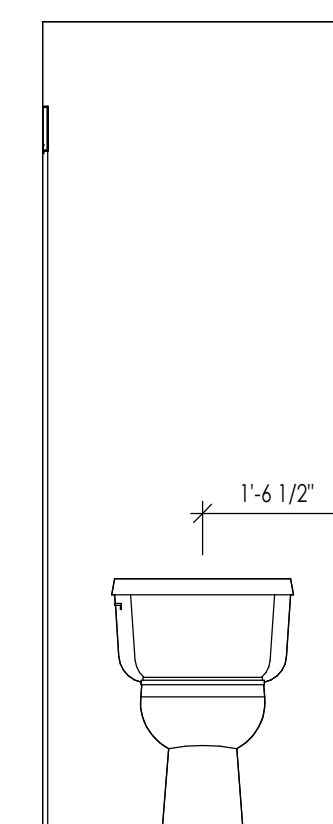
PROJ. NO. 2022-12

GENERAL PLAN NOTES

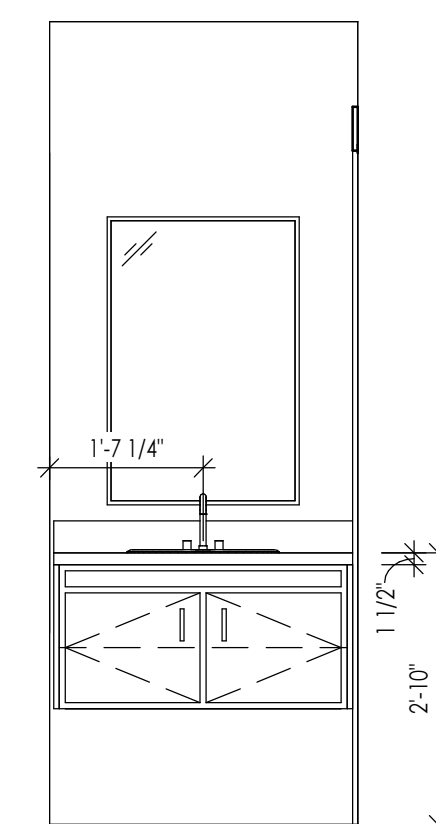
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- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

GENERAL UNIT TYPE PLAN NOTES

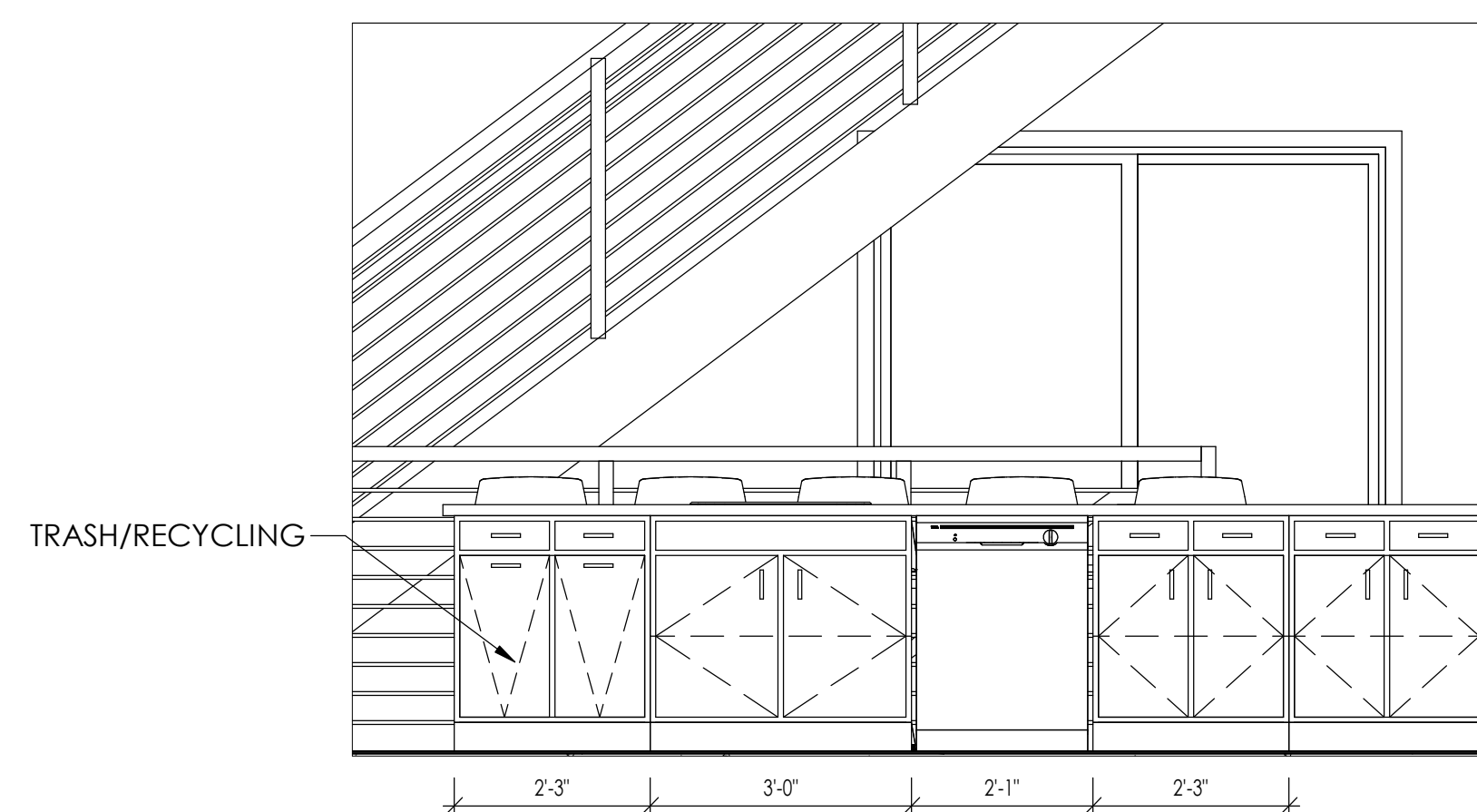
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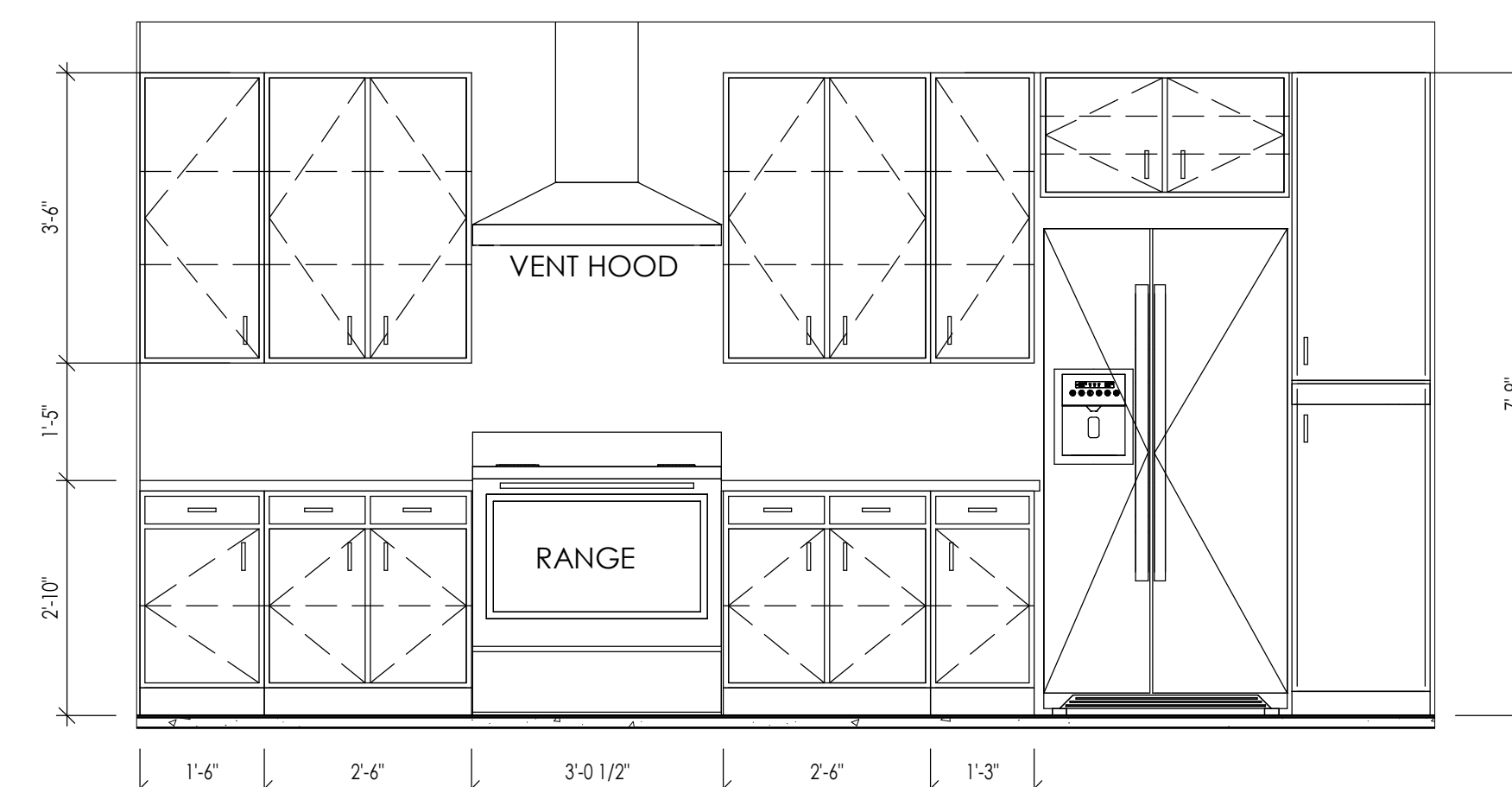
TLT ROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 317



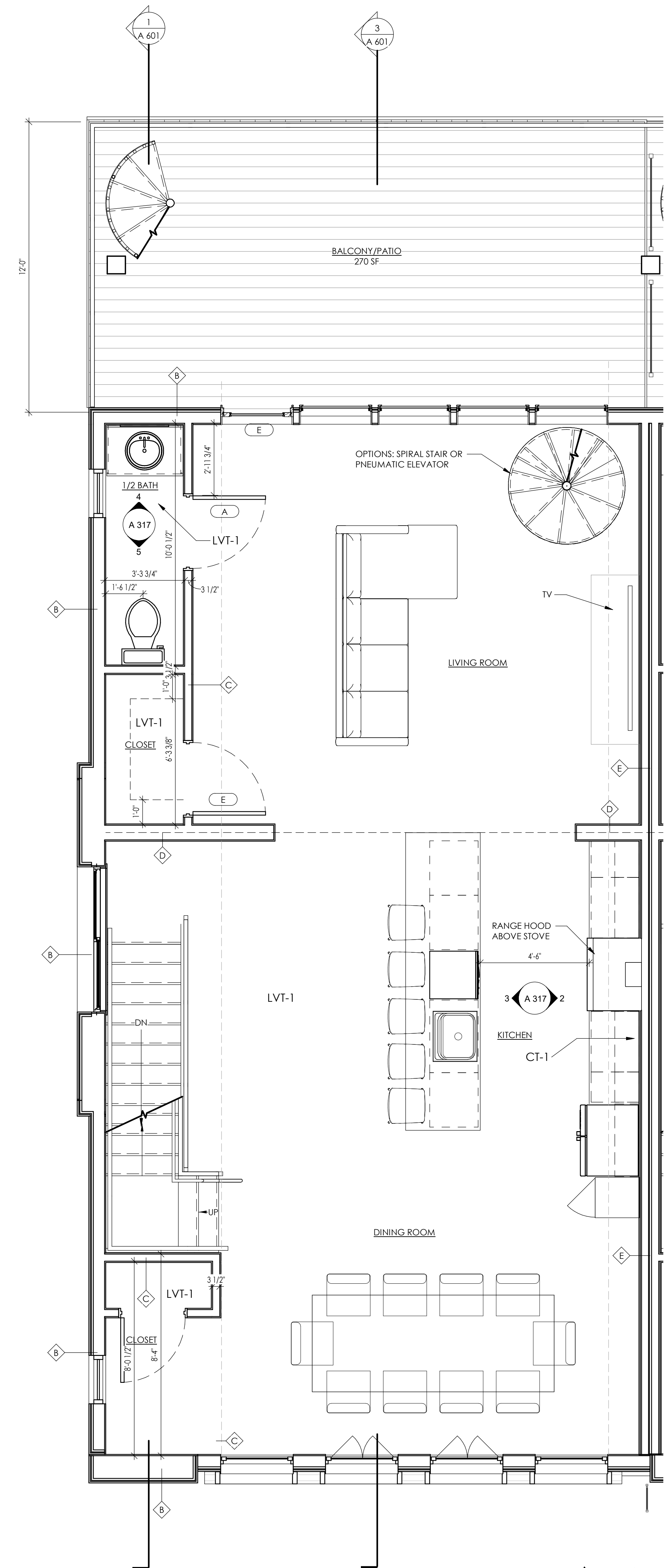
TLT ROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 317



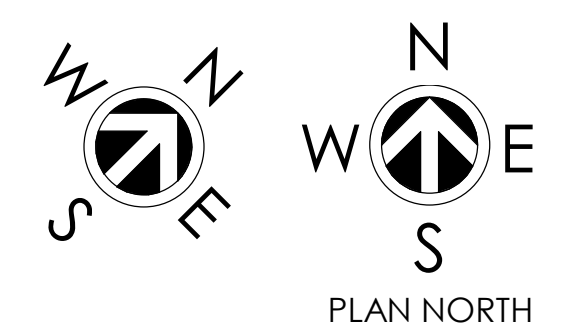
CASEWORK ELEVATION 3
SCALE: 1/2" = 1'-0" A 317



CASEWORK ELEVATION 2
SCALE: 1/2" = 1'-0" A 317



UNIT 1 - SECOND FLOOR PLAN 1
SCALE: 3/8" = 1'-0" A 317



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TYPICAL UNIT - THIRD
FLOOR

A
318

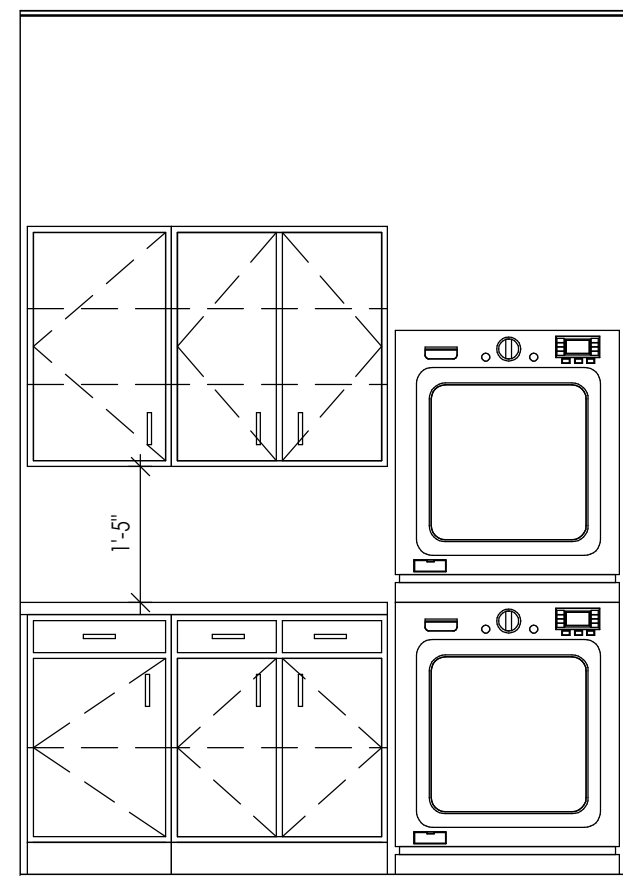
PROJ. NO. 2022-12

GENERAL PLAN NOTES

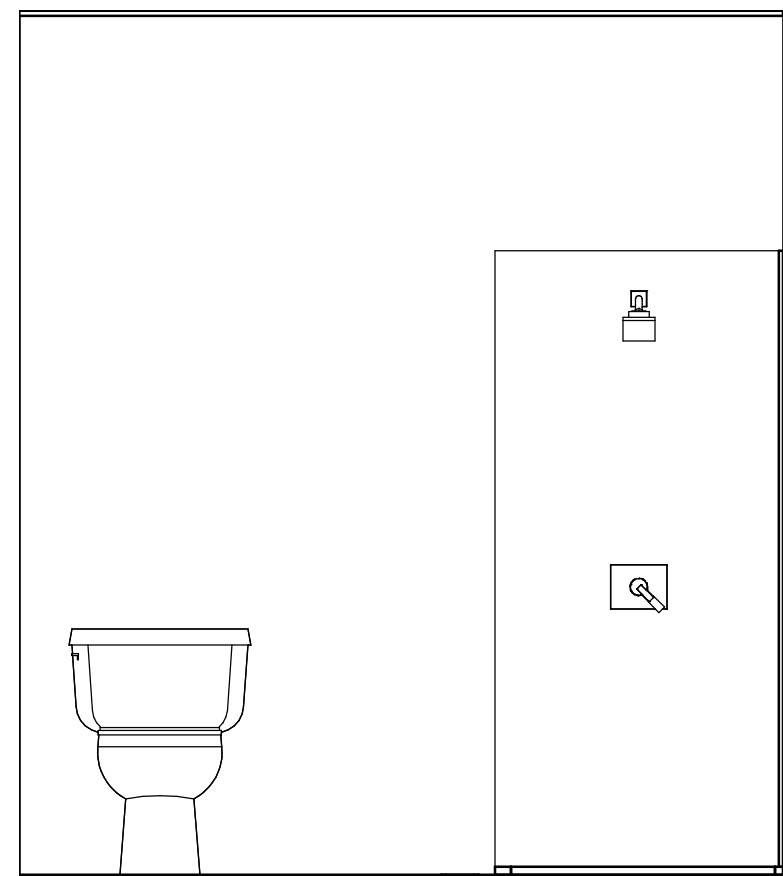
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GENERAL UNIT TYPE PLAN NOTES

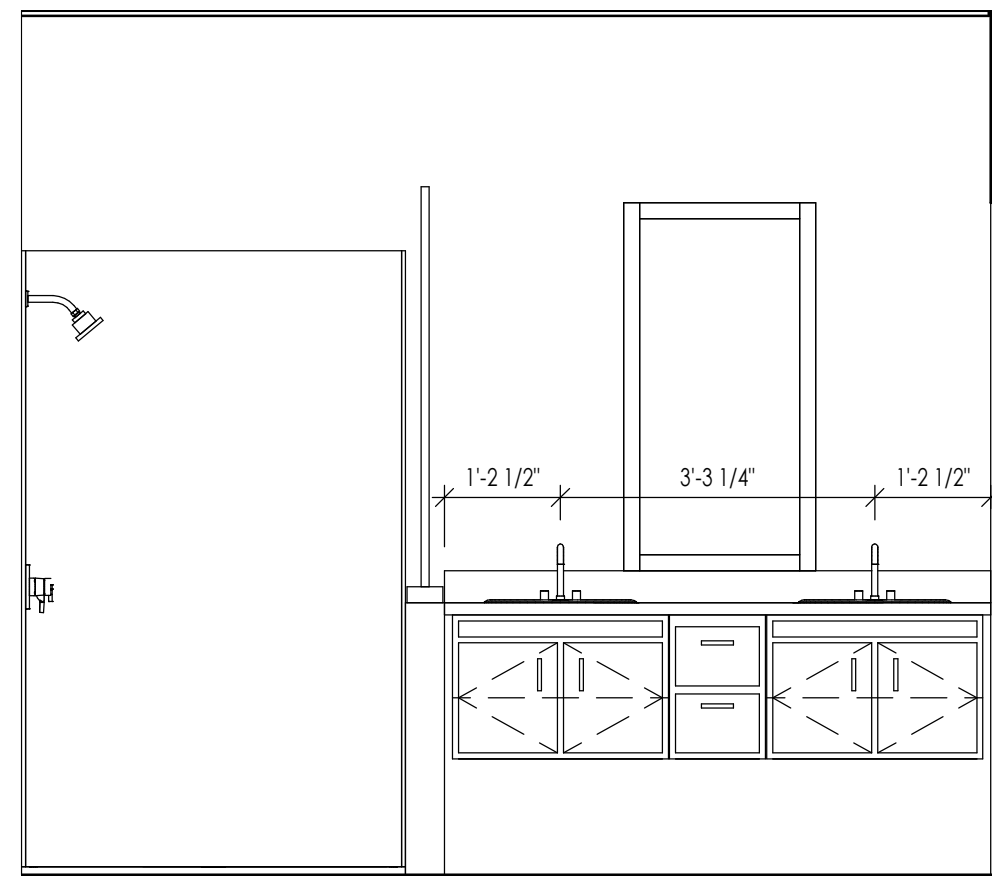
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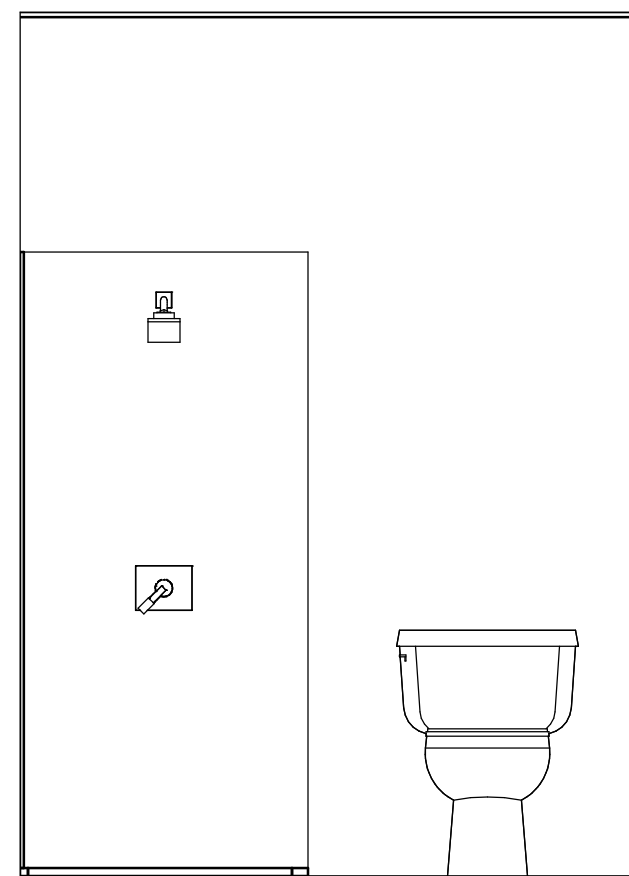
CASEWORK ELEV. 6
SCALE: 1/2" = 1'-0" A 318



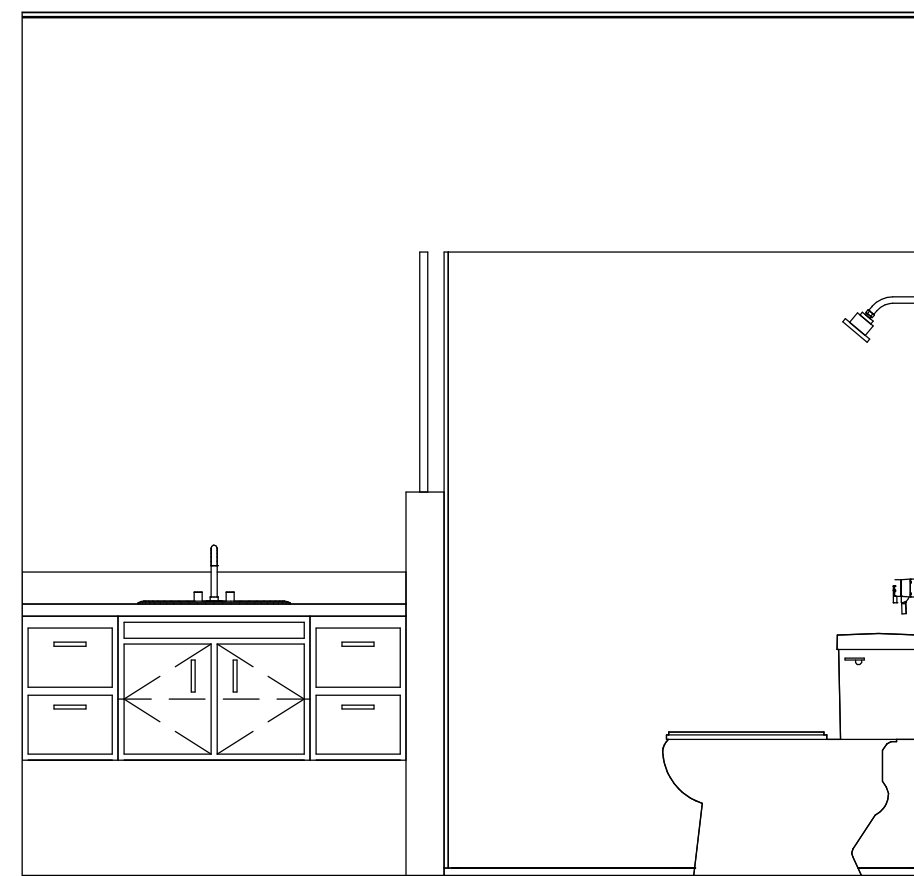
BATHROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 318



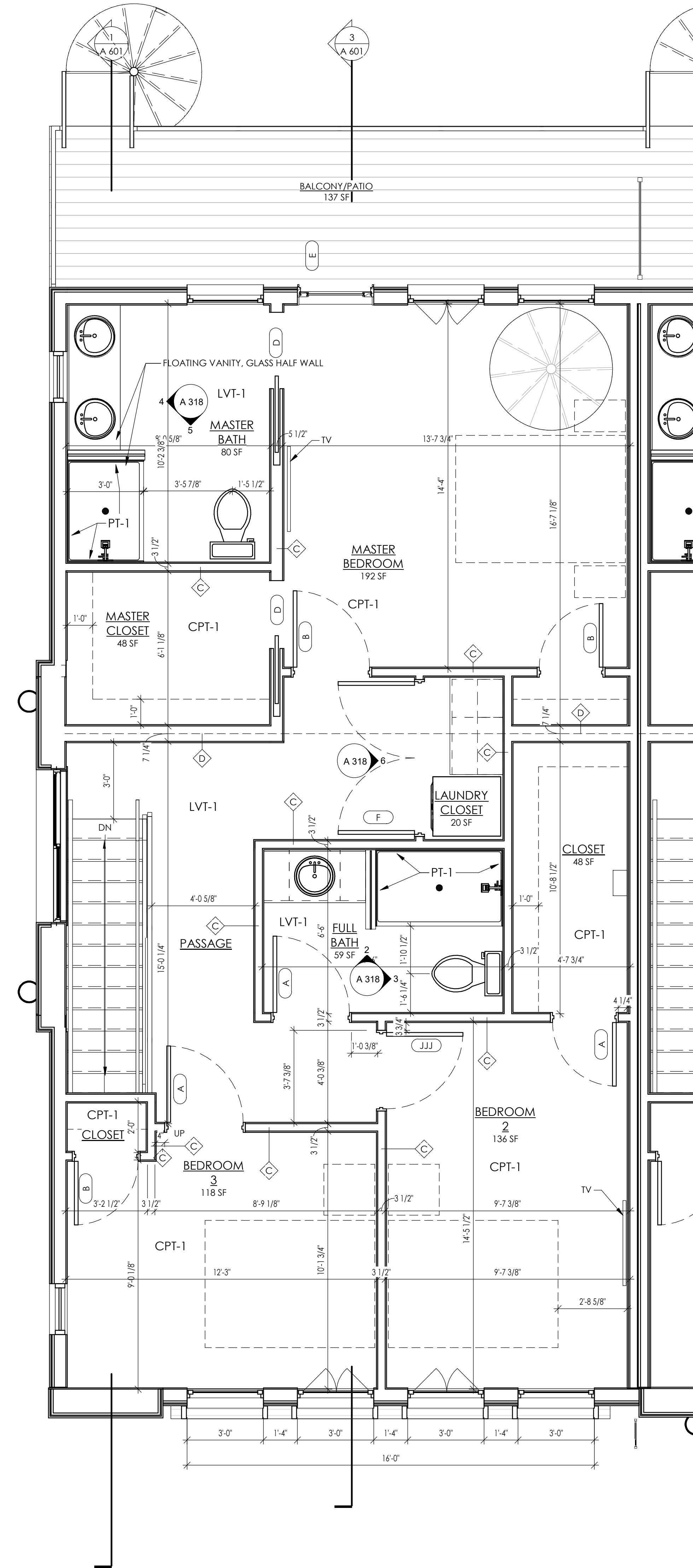
BATHROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 318



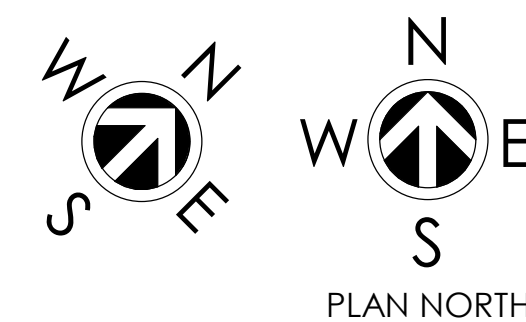
BATHROOM ELEVATION 3
SCALE: 1/2" = 1'-0" A 318



BATHROOM ELEVATION 2
SCALE: 1/2" = 1'-0" A 318



UNIT 1 - THIRD FLOOR PLAN 1
SCALE: 3/8" = 1'-0" A 318

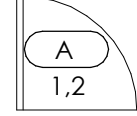


FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVEING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVEING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVEING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION

DOOR REMARKS

- CARD READER
- VINYL SWEEP AT BASE, VINYL SEAL JAMB AND HEAD
- 1/2" WIDER DOOR FRAME THAN SCHEDULED DUE TO SHEAR WALL.
- 1 1/2" UNDERCUT ON DOOR TO ALLOW FOR MECH EQUIP.
- FRENCH DOORS WITH 12 EQUALLY SIZED GLASS PANELS

UNITS 1-15 ENLARGED PLAN DOOR REMARKS
DOOR REMARKS SHOWN ON UNIT FLOOR PLAN AT DOOR TAG



ROOM FINISH LEGEND

KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
FAF	FLUID APPLIED FLOORING
GT	GLASS TILE
GYP	GYPSUM BOARD
HM	HOLLOW METAL
LT	LEATHER TILE
LVT	LUXURY VINYL TILE
P-	PAINT FINISH
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
WB	WOOD BASE
WD	WOOD

ROOM FINISH REMARKS

NO.	DESCRIPTION
1	FIRST FLOOR STAIR LANDING TO BE LVT-1; ALL STAIR TREADS AND RISERS AND UPPER LANDINGS TO BE CPT-2
2	SEE FINISH PLANS FOR FLOOR PATTERN
3	SEE REFLECTED CEILING PLANS FOR GYPSUM SOFFIT LOCATIONS
4	SEE FINISH PLANS/UNIT PLANS FOR ACCENT PAINT LOCATIONS
5	SEE INTERIOR ELEVATIONS FOR PORCELAIN TILE (PT) AND CERAMIC TILE (CT) LOCATIONS
6	FOURTH FLOOR UNITS HAVE A CEILING HEIGHT OF 10'-0"
7	UNIT 14 SHALL HAVE A LEVEL 5 DRYWALL FINISH

CUSTOM UNIT TYPE PLAN NOTES

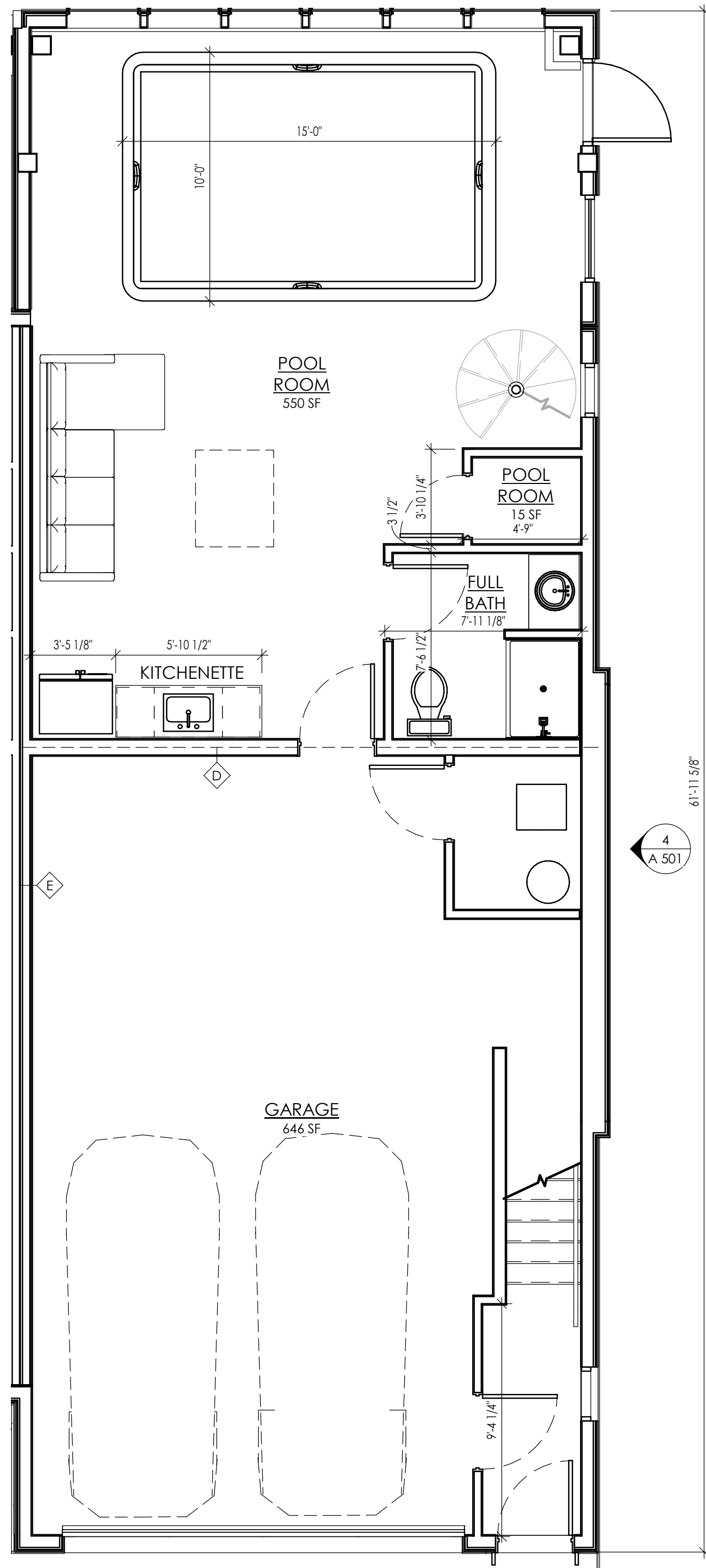
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- ALL BEDROOM CLOSETS SHOULD HAVE WOOD SHELVEING SYSTEM
- ALL STORAGE CLOSETS SHOULD HAVE WOOD SHELVEING 24" DEEP, (4) HIGH, SPACED AT 16" STARTING AT FINISHED FLOOR UNLESS OTHERWISE NOTED
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVEING TYPE AND SIZE.
- PROVIDE BACKLIT MIRROR IN EACH UNIT BATHROOM WIDTH EQUAL TO COUNTERTOP LENGTH.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS & GLASS TYPES.
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- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.



REVISIONS:

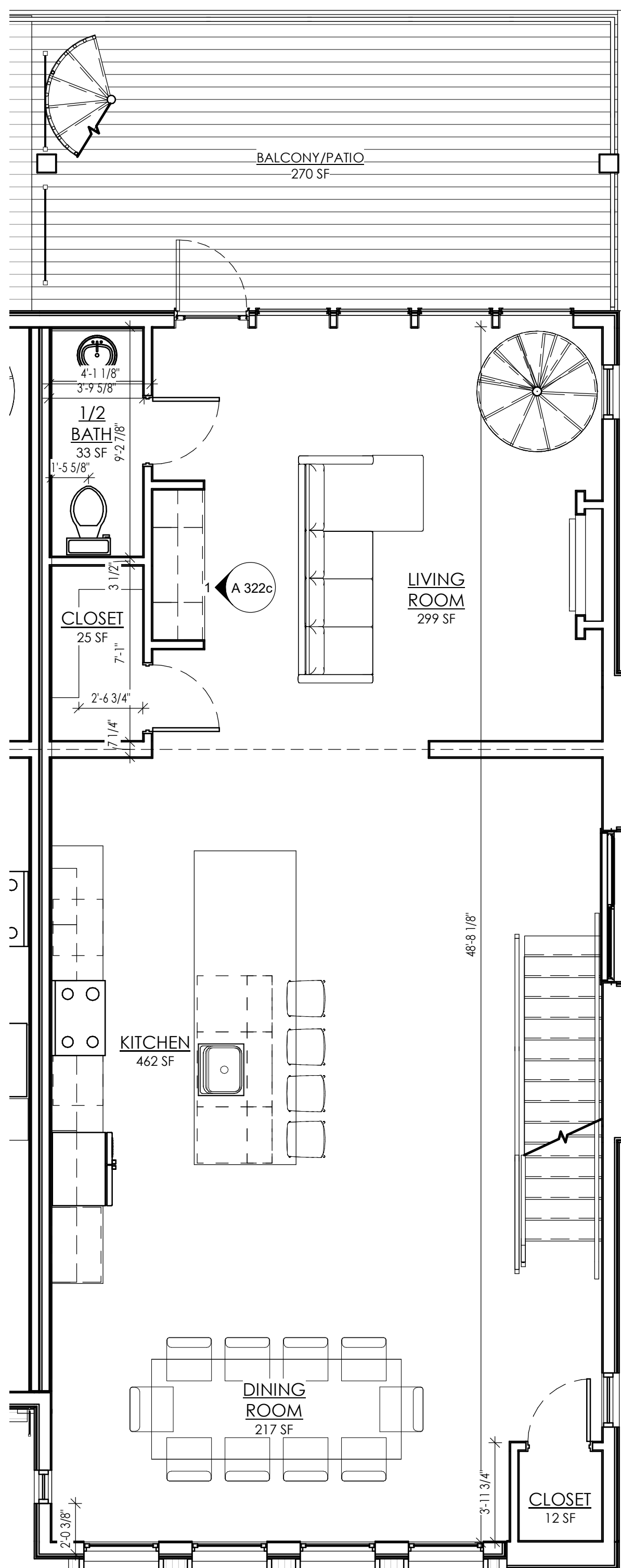
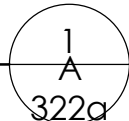
1 10/04/21 Addendum 01

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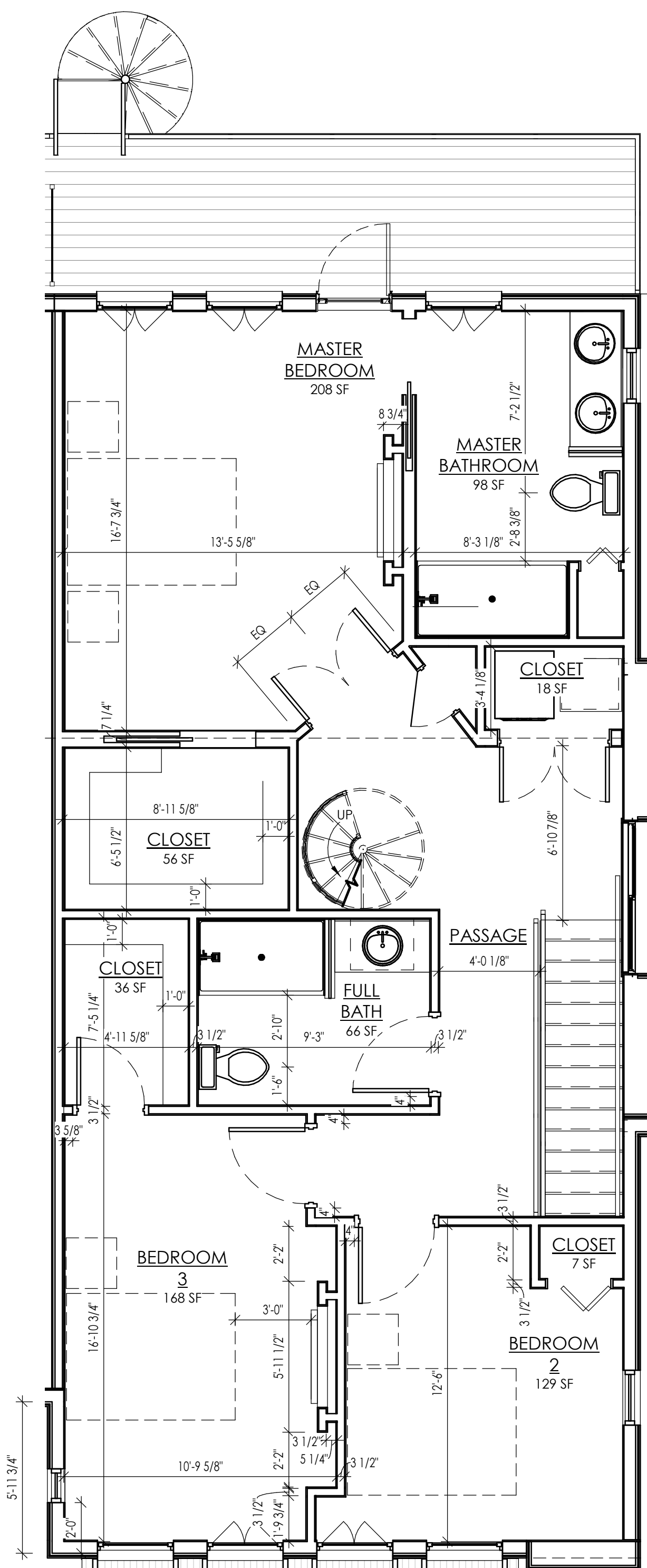
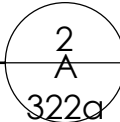
GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



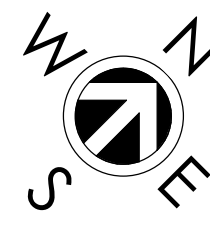
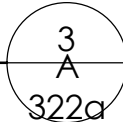
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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WATSON UNIT

A
322a

PROJ. NO. 2022-12

MAY 9, 2022
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1 10/04/21 Addendum 01

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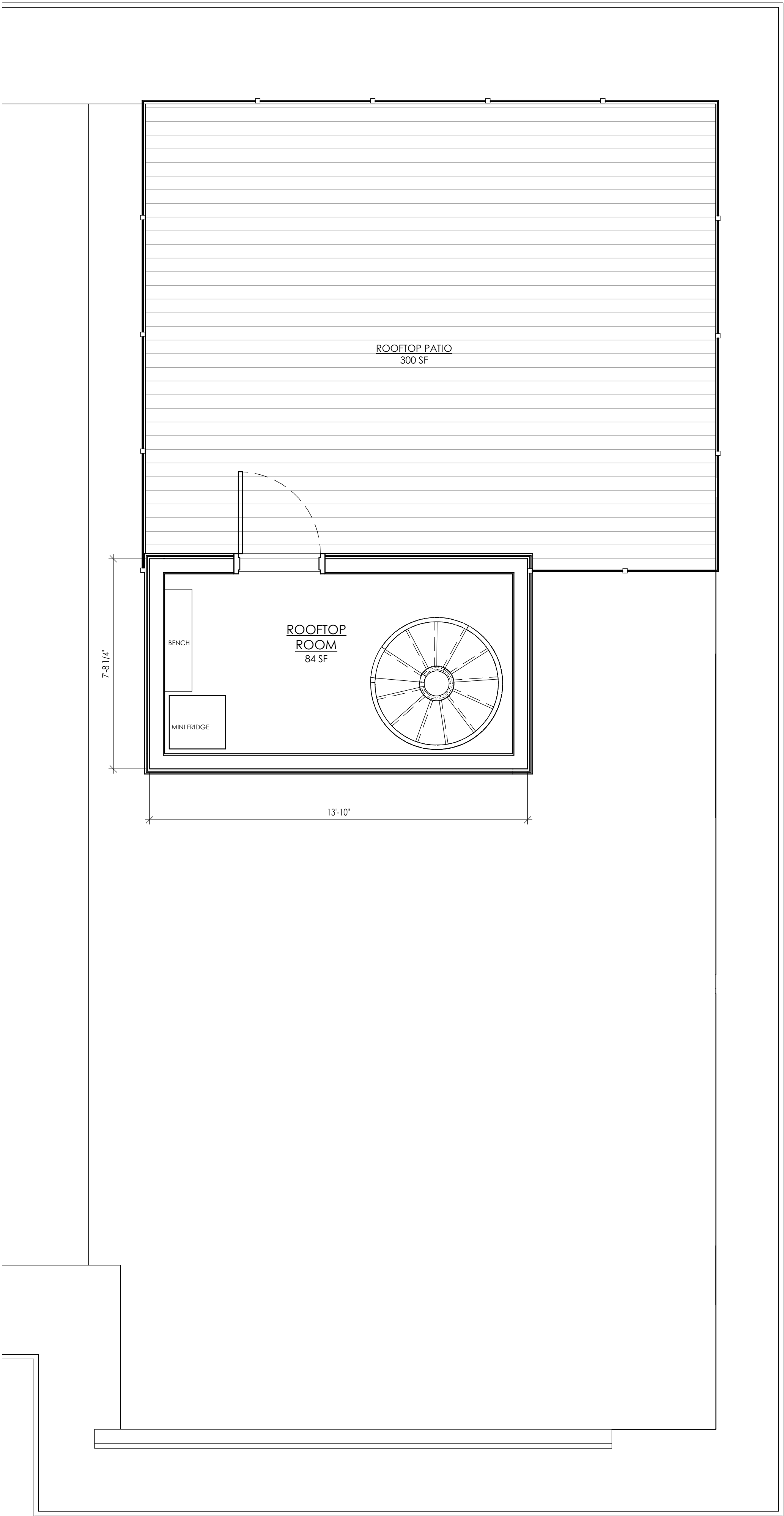
DRAWN BY: Author

CHECKED BY: Checker

WATSON UNIT

A
322b

PROJ. NO. 2022-12



ROOF PATIO PLAN
SCALE: 3/8" = 1'-0"  A
322b

***NOTE:** COLORS AND MATERIALS TO BE MATCHED TO PHASE 1 APARTMENTS AND APPROVED BY ARCHITECT.

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



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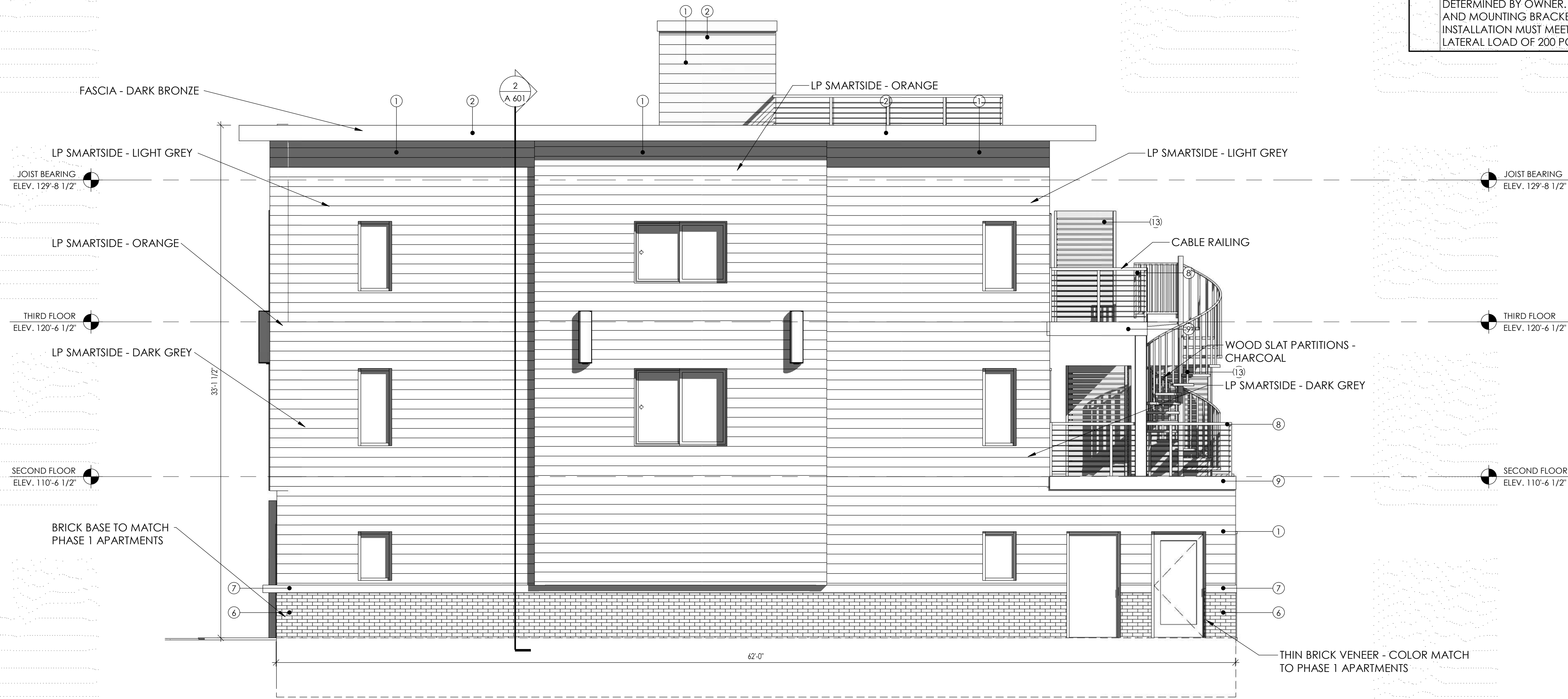
TYPICAL ELEVATION -
TOWNHOUSE

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501

PROJ. NO. 2022-12

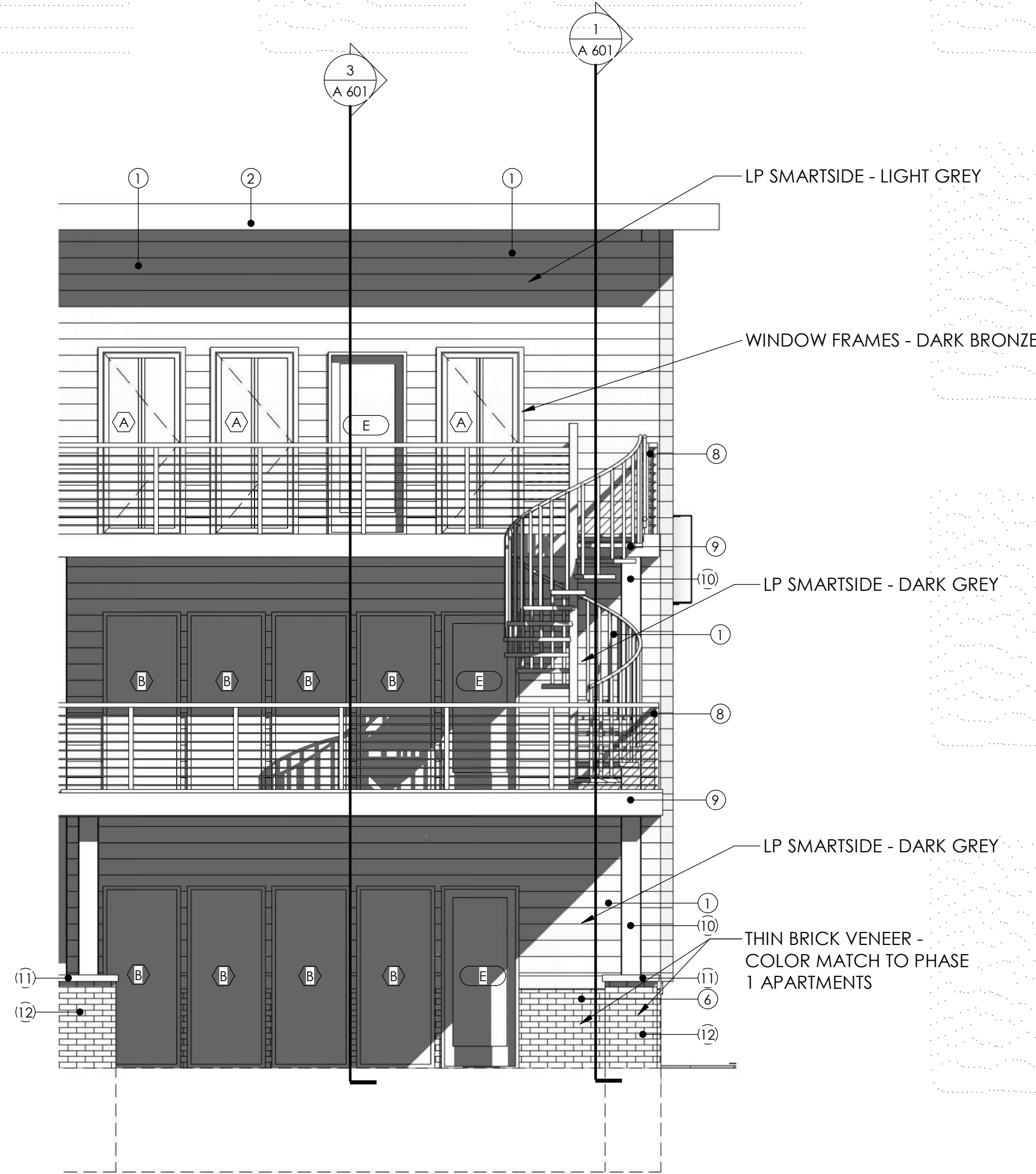
WATSON TOWNHOUSE - EAST ELEVATION

SCALE: 1/4" = 1'-0" A 501



NORTH ELEVATION

SCALE: 1/4" = 1'-0" A 501



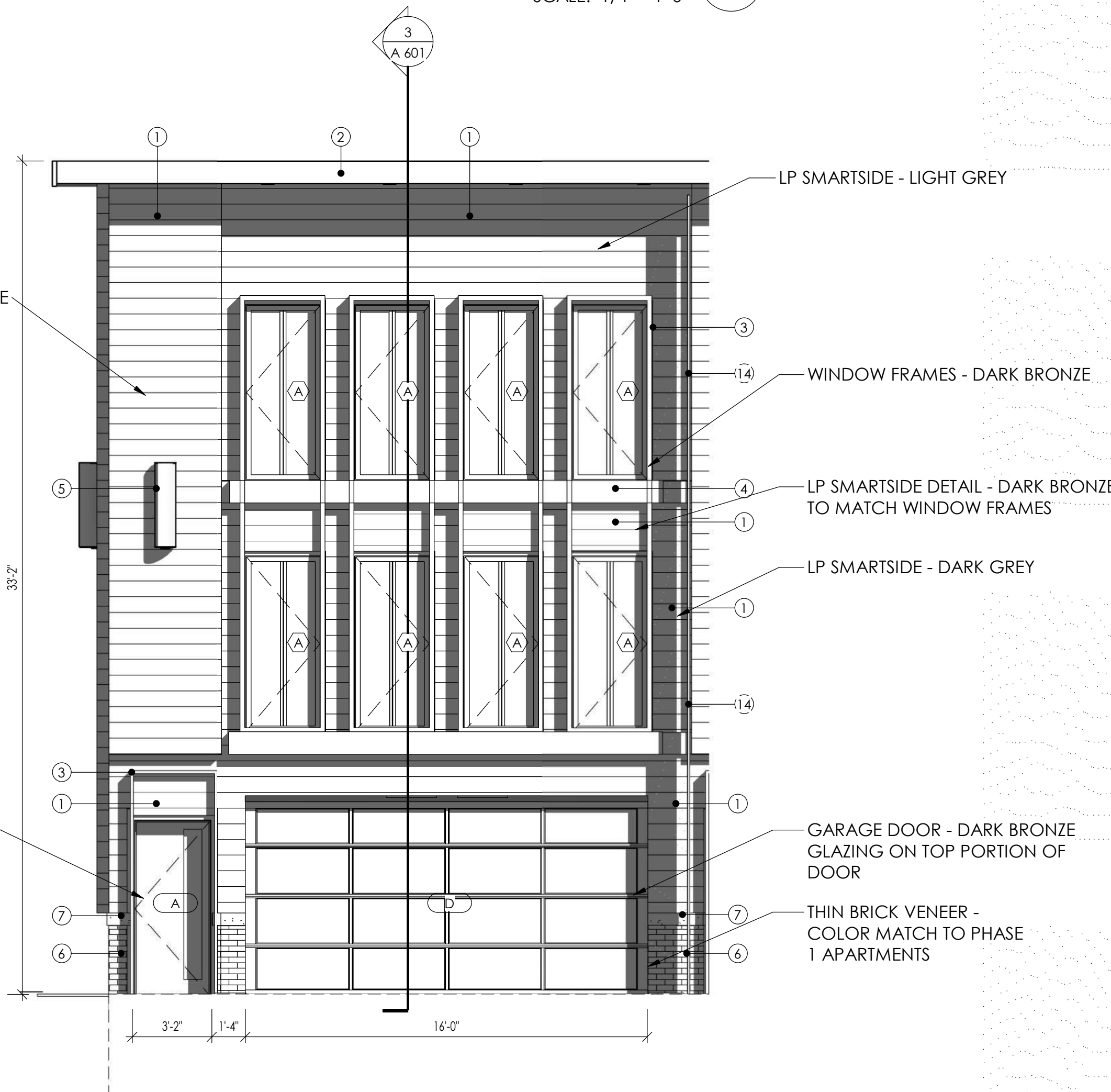
WEST ELEVATION

SCALE: 1/4" = 1'-0" A 501



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" A 501





REVISIONS:

NOTICE TO BIDDERS
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MAY 9, 2022

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (720) 452-4444 | 313N PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203

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OVERALL EXTERIOR ELEVATIONS

A
502

PROJ. NO. 2022-12

ELEVATION KEYNOTES

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL. COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL. COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

ELEVATION KEYNOTES

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

2
A 502



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1
A 502



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RIVER ELEVATION 1
SCALE: 1/8" = 1'-0" A 503



STREET ELEVATION 2
SCALE: 1/8" = 1'-0" A 503

MAY 9, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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EXTERIOR ELEVATIONS

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503

PROJ. NO. 2022-12

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081



REVISIONS:

1 10/04/21 Addendum 01

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MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | 720.452.4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL	STRUCTURAL
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444	PIERCE ENGINEERS, INC. 181 N. BROADWAY MILWAUKEE, WI 53202 P: 414-278-6060
<div><div>A 101</div><div>TITLE SHEET</div></div> <div><div>A 201</div><div>SITE PLAN</div></div> <div><div>A 301</div><div>FIRST FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 302</div><div>SECOND FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 303</div><div>THIRD FLOOR LIFE SAFETY PLAN</div></div> <div><div>A 304</div><div>ROOF PATIO LIFE SAFETY PLAN</div></div> <div><div>A 306</div><div>OVERALL FIRST FLOOR PLAN</div></div> <div><div>A 307</div><div>OVERALL SECOND FLOOR PLAN</div></div> <div><div>A 308</div><div>OVERALL THIRD FLOOR PLAN</div></div> <div><div>A 310</div><div>ROOF PATIO PLAN</div></div> <div><div>A 316</div><div>TYPICAL UNIT - TOWNHOUSE PLAN</div></div> <div><div>A 317</div><div>TYPICAL UNIT- SECOND FLOOR</div></div> <div><div>A 318</div><div>TYPICAL UNIT - THIRD FLOOR</div></div> <div><div>A 322a</div><div>WATSON UNIT</div></div> <div><div>A 322b</div><div>WATSON UNIT</div></div> <div><div>A 501</div><div>TYPICAL ELEVATION - TOWNHOUSE</div></div> <div><div>A 502</div><div>OVERALL EXTERIOR ELEVATIONS</div></div> <div><div>A 503</div><div>EXTERIOR ELEVATIONS</div></div>	

PROJECT NOTES

EXTENT OF WORK
THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

SITE VISIT
THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.

NOTICE TO BIDDERS
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PROJECT INFORMATION

APPLICABLE BUILDING CODES
2018 WISCONSIN COMMERCIAL BUILDING CODE (2015 IBC)
2015 INTERNATIONAL BUILDING CODE

BUILDING AREA
NEW BUILDING AREA - 6 UNITS
FIRST FLOOR AREA - 6,348 SF
SECOND FLOOR AREA - 6,348 SF
THIRD FLOOR AREA - 6,348 SF
ROOF PATIO (UNIT 6) - 442 SF
TOTAL BUILDING AREA - 19,130 SF
(PATIO AREAS) - 3,035 SF
INCLUDING ROOF PATIOS - 22,180 SF

OCCUPANCY CLASSIFICATION
ALL LEVELS
RESIDENTIAL GROUP "R-2" (W.C.B.C. SECTION 310.4)

CONSTRUCTION CLASSIFICATION
FIRST - THIRD FLOOR:
TYPE VA CONSTRUCTION (W.C.B.C. SECTION 602.5)

FIRE PROTECTION
REQUIRED SPRINKLER S-13R (IBC 903.2.8) (WISCONSIN - SPS 362.09.03)
PRIMARY STRUCTURAL FRAME 1HR
BEARING WALLS, EXTERIOR, INTERIOR 1HR
NONBEARING WALL & PARTITIONS INTERIOR SEE TABLE 602
NONBEARING WALLS & PARTITIONS INTERIOR 0HR
FLOOR CONSTRUCTION & ASSOC. 1HR
SECONDARY MEMBERS 1HR
ROOF CONSTRUCTION & ASSOC. 1HR
SECONDARY MEMBERS 1HR
FIRE BARRIER BETWEEN UNITS 1 HR
SET OUT CONSTRUCTION AT TO BE OF CLASS A MATERIALS. FIRE RETARDENT-TREATED WOOD SHALL BE PERMITTED FOR USE AS HANGERS AND ASSEMBLY MEMBERS OF DROPPED CEILINGS. (IBC 803.13.2.1)

ALLOWABLE HEIGHT AND AREA
TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 504.2)
USE GROUP "R-2" / CONSTRUCTION CLASSIFICATION VA (five "a")
UNSPRINKLERED, MULTI-STORY
ALLOWABLE AREA = 12,000 SQ. FT.
FRONTAGE INCREASE (SECTION 506.3)
(138' / 394 - 0.25) 27.13' / 30 = 0.09 AREA INCREASE FACTOR
TOTAL ALLOWABLE AREA (TOTAL BUILDING)
TABULAR AREA + (TABULAR AREA x FRONTAGE INCREASE) =
12,000sf + (12,000 sf x 0.09)) x 3 = 39,240 SQ. FT.
(WCBC TABLE 504.3)
ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE (50')
(WCBC TABLE 504.3)
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (8)
(WCBC TABLE 504.4)
BUILDING HEIGHT (ACTUAL) = 3 STORIES / 32'-0" FT.

MEANS OF EGRESS AND EXIT DISTANCE
EXIT ACCESS TRAVEL DISTANCE - WITHOUT AUTOMATIC SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) =200 FT.

OCCUPANT LOAD
REFER TO LIFE SAFETY SHEET.

EXTERIOR WALL OPENINGS
NORTH EAST ELEVATION @ 5'-10" SEPARATION. 10% ALLOWABLE OPENING AREA. @ 10'-15" SEPARATION. 15% ALLOWABLE OPENING AREA. NO LIMIT ON OTHER ELEVATIONS.
(W.C.B.C. TABLE 705.8)

DETERMINATION OF NO. OF STORIES ABOVE GRADE
BUILDING IS 3 STORIES ABOVE GRADE WITH PARKING AND ENTRY ON GROUND LEVEL ALL ABOVE GRADE (W.C.B.C. TABLE 504.4)

SANITARY FIXTURES
R-2
WATER CLOSET - 1 PER DWELLING UNIT
LAVATORIES - 1 PER DWELLING UNIT
BATHTUBS/SHOWER- 1 PER DWELLING UNIT
OTHER- 1 KITCHEN SINK PER DWELLING UNIT, 1

DWELLING UNIT
IBC - 15 (1107.6.2.2.1) TYPE A UNITS NOT REQUIRED. LESS THAN 20 DWELLING UNITS OF SLEEPING UNITS PROVIDED.
IBC - 15 (1107.6.2.2.2) ALL UNITS TO BE TYPE B UNIT
ANSI A117.1-09 (1004.11.3) OPT FOR OPTION A FOR TOILET AND BATHING AREAS.

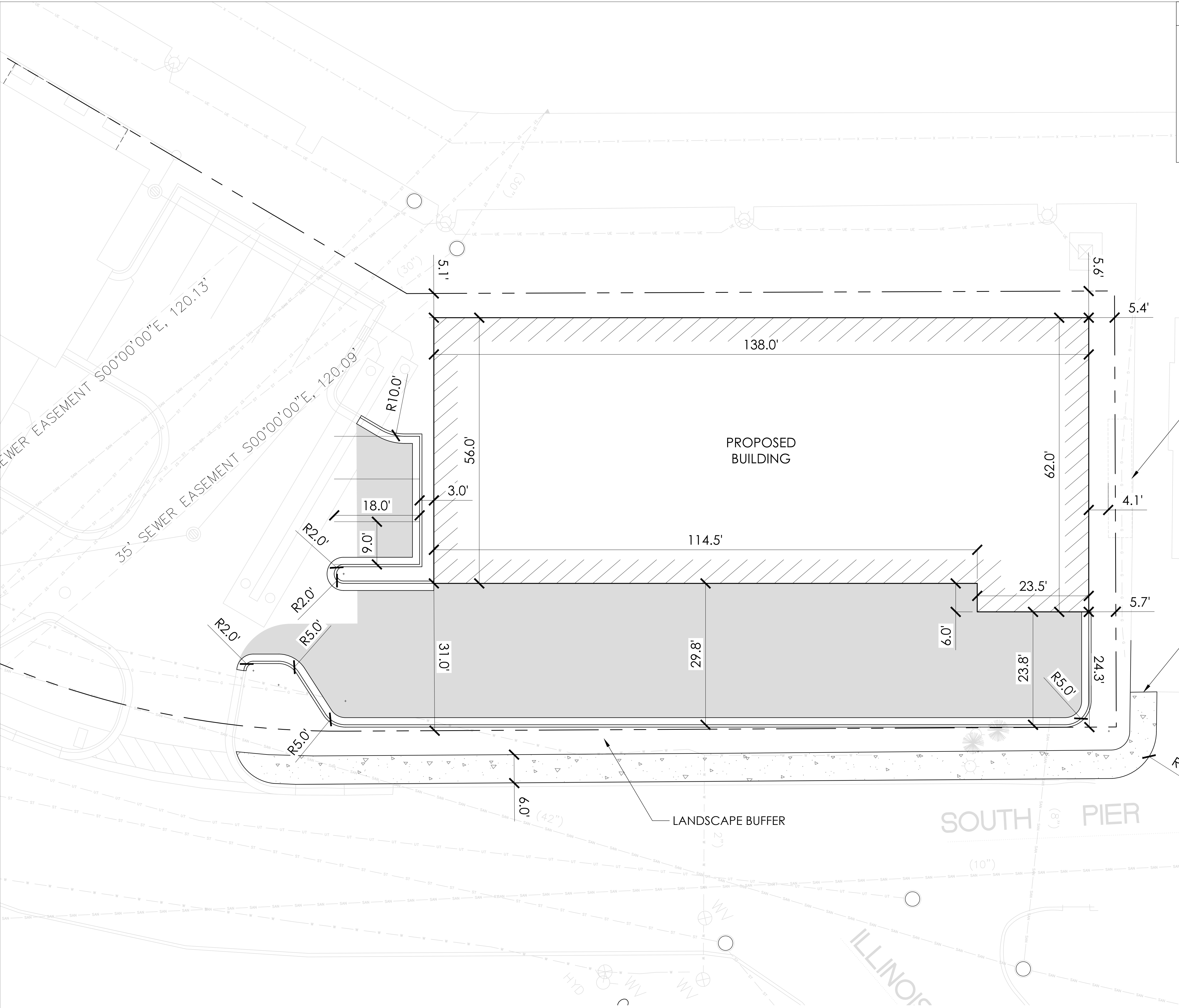
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TITLE SHEET

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PROJ. NO. 2022-12



SITE LEGEND

EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.

PROPOSED CONCRETE HATCH

PROPOSED PAVEMENT HATCH

PROPOSED CURB & GUTTER

SITE PROPERTIES

TOTAL PROPERTY AREA: 43,496 SQFT (1.00 AC)

PROPOSED BUILDING AREA: 7,870 SQFT (0.18 AC)

PROPOSED ASPHALT AREA: 4,712 SQFT (0.11 AC)

PROPOSED CONCRETE AREA: 1,192 SQFT (0.03 AC)

NOTE:
SHEBOYGAN ZONING ORDINANCE - TOWNHOUSE (UR-12)
PERMITTED IN A PLANNED UNIT DEVELOPMENT DISTRICT
(SECTION 15.914)

PARKING: MINIMUM NUMBER OF OFF-STREET PARKING
SPACES REQUIRED ON THE LOT (INCLUDES GARAGES,
DRIVES & ALL PARKING SURFACES), 2 SPACES ARE REQUIRED
FOR EACH DWELLING UNIT WITH 2 OR MORE BEDROOMS
(SECTION 15.105 (3)(b.))

REVISIONS:

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NO BUILD EASEMENT

MATCH TO EXISTING SIDEWALK

1-STORY
MASONRY
FISH SHANTY
&
PUBLIC REST ROOMS

SITE PLAN

SCALE: 1"=10'

VALUE

NEW TOWNHOUSE BUILDING

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | (414) 837-6450

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MAY 17, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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FIRST FLOOR LIFE SAFETY PLAN

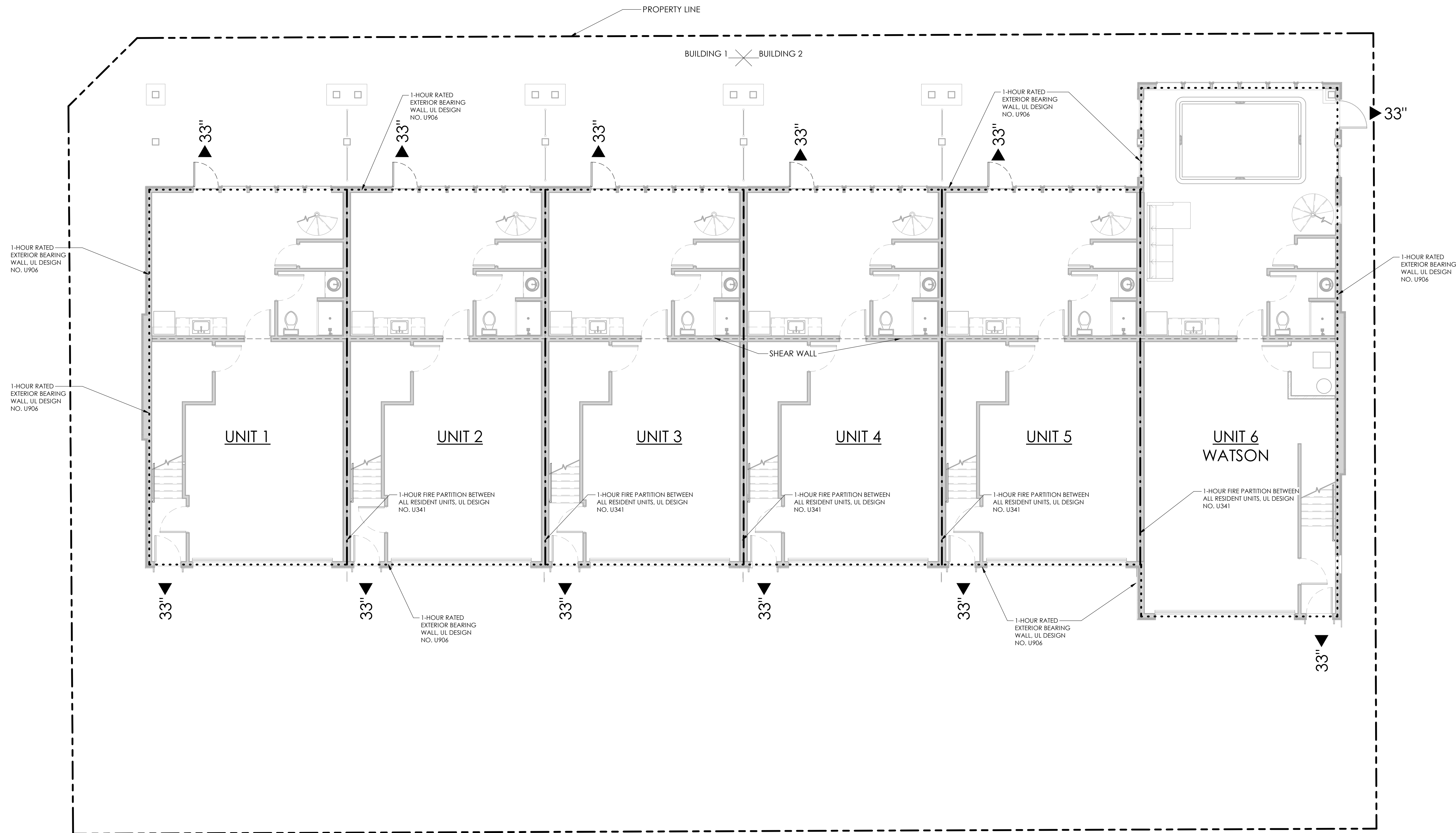
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PROJ. NO. 2022-12

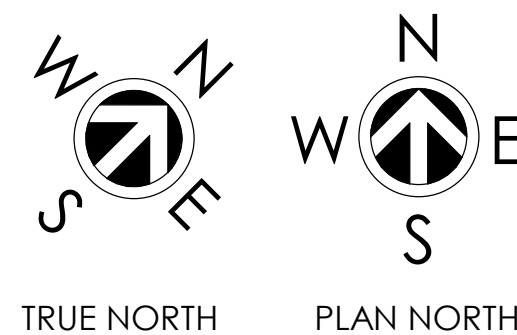
UNIT TYPE INFORMATION		
UNIT	SIZE	PATIO SIZE
1	3,036 S.F.	419 S.F.
2	3,036 S.F.	419 S.F.
3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33" EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2 FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES
- IMAGINARY PROPERTY LINE
- ROOM NUMBER -HR 1 & 2-HOUR FIRE BARRIER
- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
- 1-HOUR FIRE PARTITION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE
- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"





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4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

LIFE SAFETY PLAN LEGEND

33" ◀

EXT AND AVAILABLE EXIT INCHES

FE 1 & FE 2

FIRE EXTINGUISHER

FIRE AND SMOKE PROTECTION FEATURES

IMAGINARY PROPERTY LINE

1 & 2 -HOUR FIRE BARRIER

- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
- EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE

ROOM
NUMBER

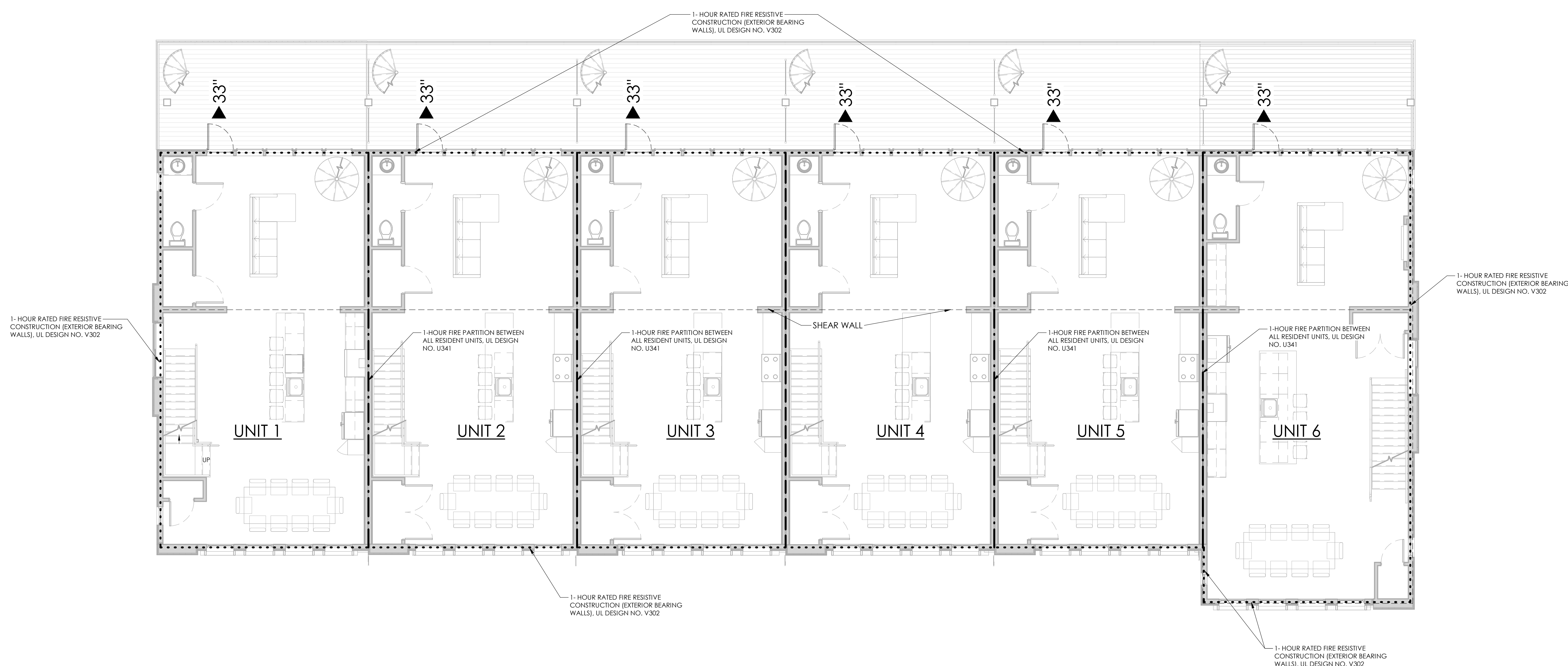
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1-HOUR FIRE PARTITION

- REQUIRED AT WALLS INDICATED ON PLAN
- EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE

1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION

- REQUIRED AT WALLS INDICATED ON PLAN
- EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



MAY 17, 2022

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

WISCONSIN AVE., SHEBOYGAN, WI 53081 | 7601.452.4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE

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MAY 17, 2022

NEW CONSTRUCTION FOR:

NEW CONSTRUCTION FOR,
SOUTH BIER DIVERBONT TOWNHOMES

1000 PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 313 N. PLANKINTON AVE SUITE 208. MILWAUKEE, WI 53203

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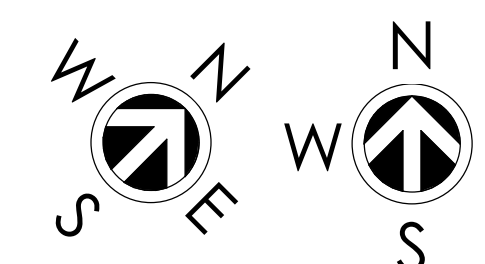
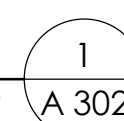
SECOND FLOOR LIFE SAFETY PLAN

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PROJ. NO. 2022-12

SECOND FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"



TRUE NORTH PLAN NORTH



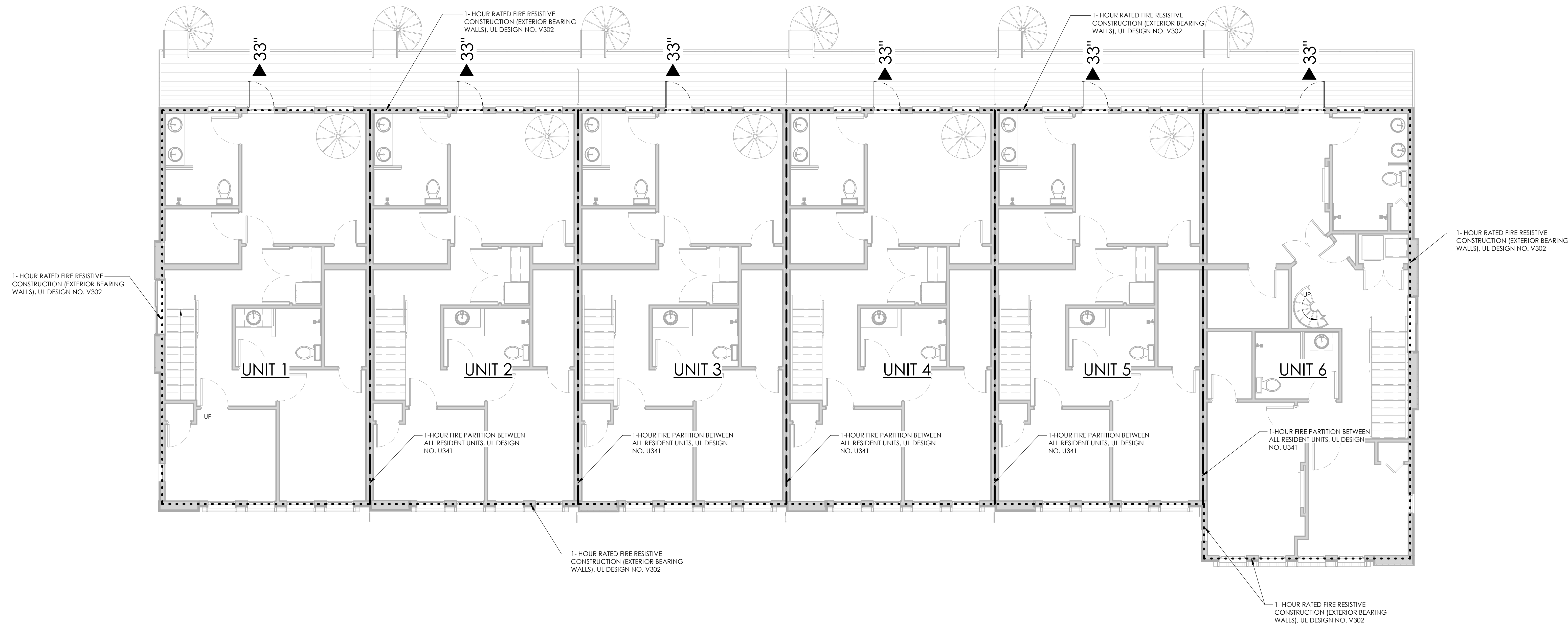
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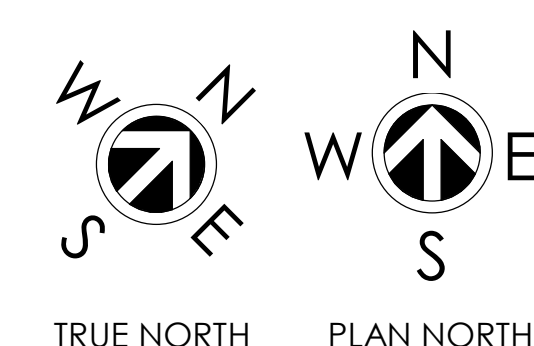
LIFE SAFETY PLAN LEGEND

- ACCESSIBLE PATH OF EGRESS
- 33" ◀ EXIT AND AVAILABLE EXIT INCHES
- FE-1 & FE-2 FIRE EXTINGUISHER
- FIRE AND SMOKE PROTECTION FEATURES
- IMAGINARY PROPERTY LINE
- ROOM NUMBER -HR
- 1 & 2-HOUR FIRE BARRIER
- REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS
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- 1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION
- REQUIRED AT WALLS INDICATED ON PLAN
 - EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



THIRD FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"



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THIRD FLOOR LIFE
SAFETY PLAN

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PROJ. NO. 2022-12

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MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

UNIT TYPE INFORMATION		
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3	3,036 S.F.	419 S.F.
4	3,036 S.F.	419 S.F.
5	3,036 S.F.	419 S.F.
6 - WATSON	3,864 S.F.	419 S.F.

33"

FE-1 & FE-2

ACCESSIBLE PATH OF EGRESS

EXIT AND AVAILABLE EXIT INCHES

FIRE EXTINGUISHER

FIRE AND SMOKE PROTECTION FEATURES

IMAGINARY PROPERTY LINE

1 & 2-HOUR FIRE BARRIER

1-HOUR FIRE PARTITION

1-HOUR FIRE-RESISTIVE-RATED CONSTRUCTION

ROOM
[NUMBER]
-HR

REQUIRED AT ALL WALLS WHICH ENCLOSE RATED ROOMS

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE

REQUIRED AT WALLS INDICATED ON PLAN

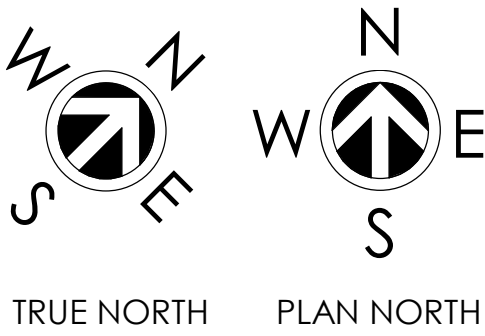
EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ABOVE

REQUIRED AT WALLS INDICATED ON PLAN

EXTEND TO UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE



ROOF PATIO LIFE SAFETY PLAN
SCALE: 3/16" = 1'-0"



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NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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ROOF PATIO LIFE SAFETY PLAN

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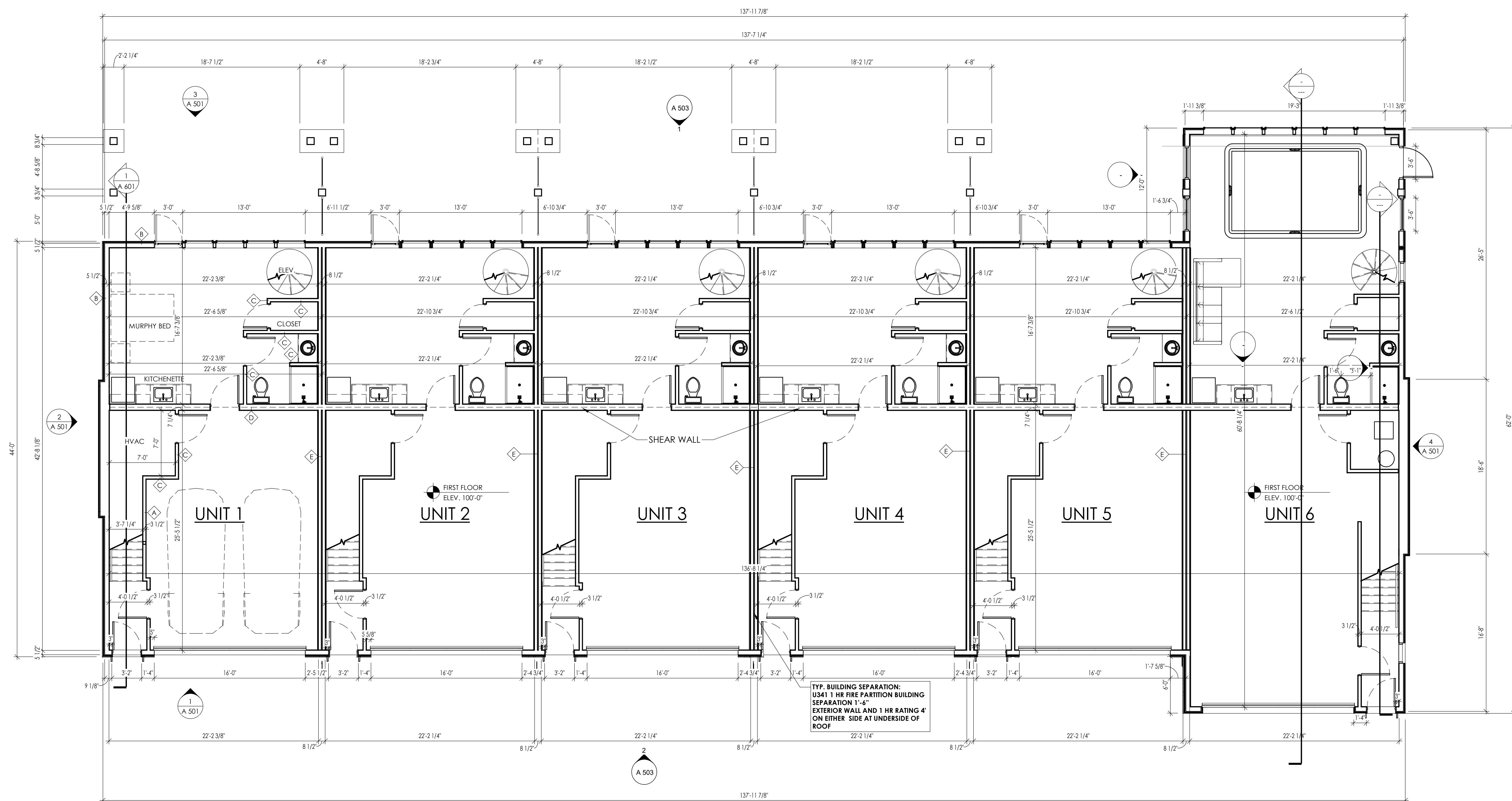
PROJ. NO. 2022-12

***NOTE:** SPIRAL STAIR REQUIRED FROM FIRST FLOOR LEVEL TO SECOND FLOOR. SPIRAL STAIR FROM SECOND TO THIRD LEVEL OPTIONAL TO TENANTS. PNEUMATIC TUBE ELEVATOR ALSO AN OPTION TO TENANTS RUNNING FROM FIRST TO THIRD LEVEL. PREPARE FLOOR JOISTS FOR EGRESS OPTIONS.

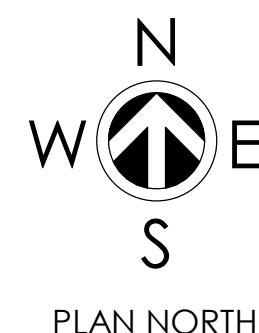
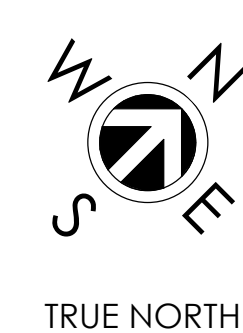


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OVERALL FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: Author

CHECKED BY: Checker

OVERALL FIRST FLOOR
PLAN

A
306

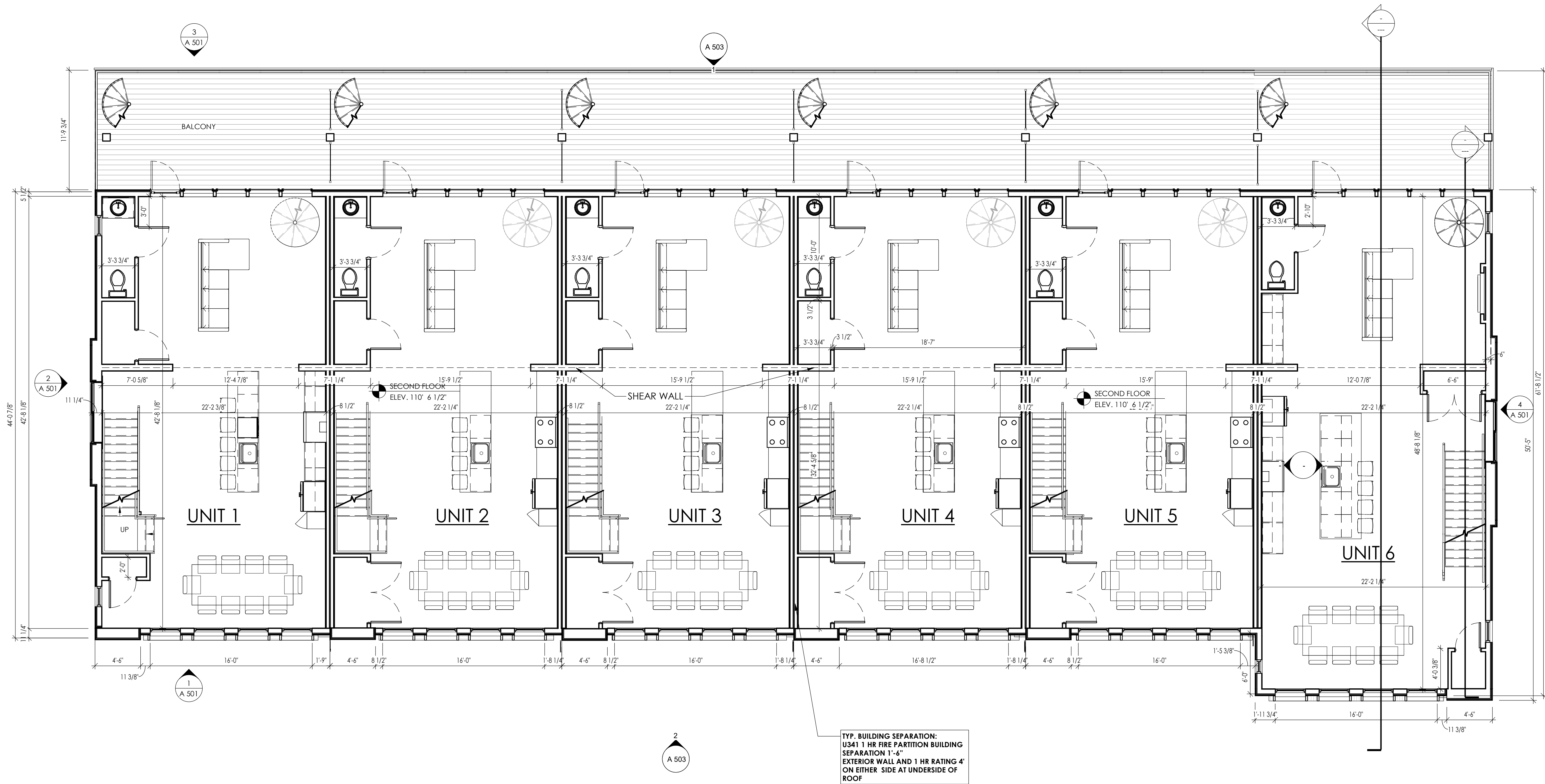
PROJ. NO. 2022-12

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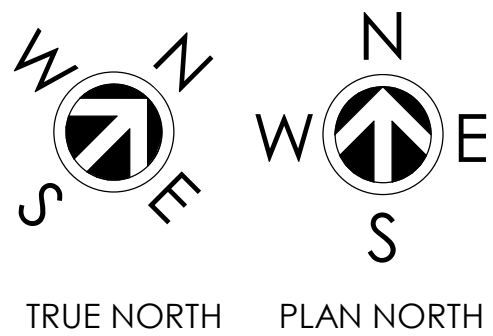
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OVERALL SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: EF, SG

CHECKED BY: PM

OVERALL SECOND FLOOR PLAN

A
307

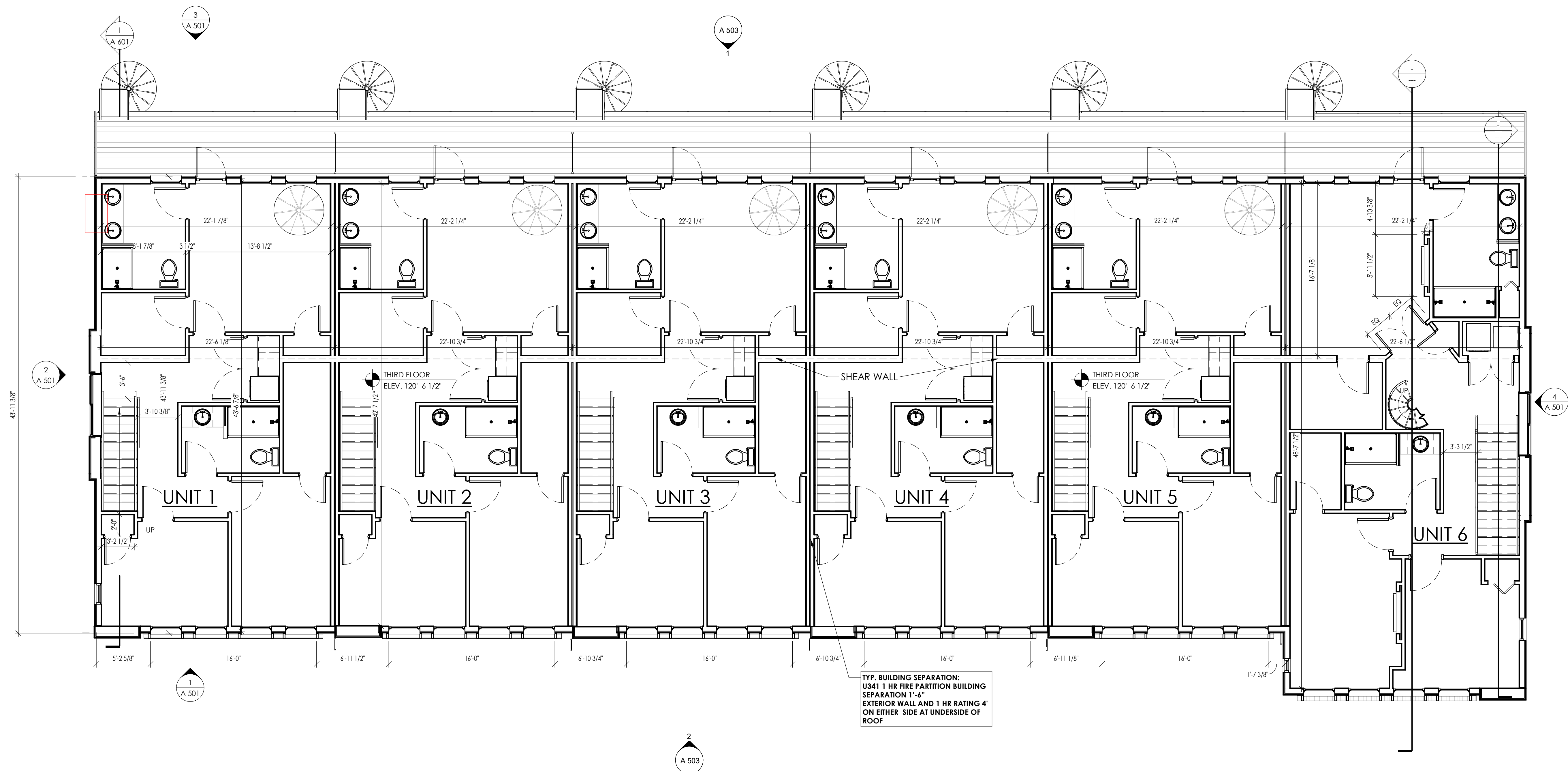
PROJ. NO. 2022-12

***NOTE:** SPIRAL STAIR REQUIRED FROM FIRST FLOOR LEVEL TO SECOND FLOOR. SPIRAL STAIR FROM SECOND TO THIRD LEVEL OPTIONAL TO TENANTS. PNEUMATIC TUBE ELEVATOR ALSO AN OPTION TO TENANTS RUNNING FROM FIRST TO THIRD LEVEL. PREPARE FLOOR JOISTS FOR EGRESS OPTIONS.



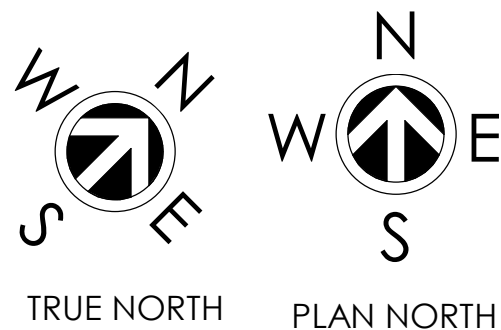
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OVERALL THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



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CHECKED BY: Checker

OVERALL THIRD FLOOR
PLAN

A
308

PROJ. NO. 2022-12

MAY 17, 2022
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE, SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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TYPICAL UNIT -
TOWNHOUSE PLAN

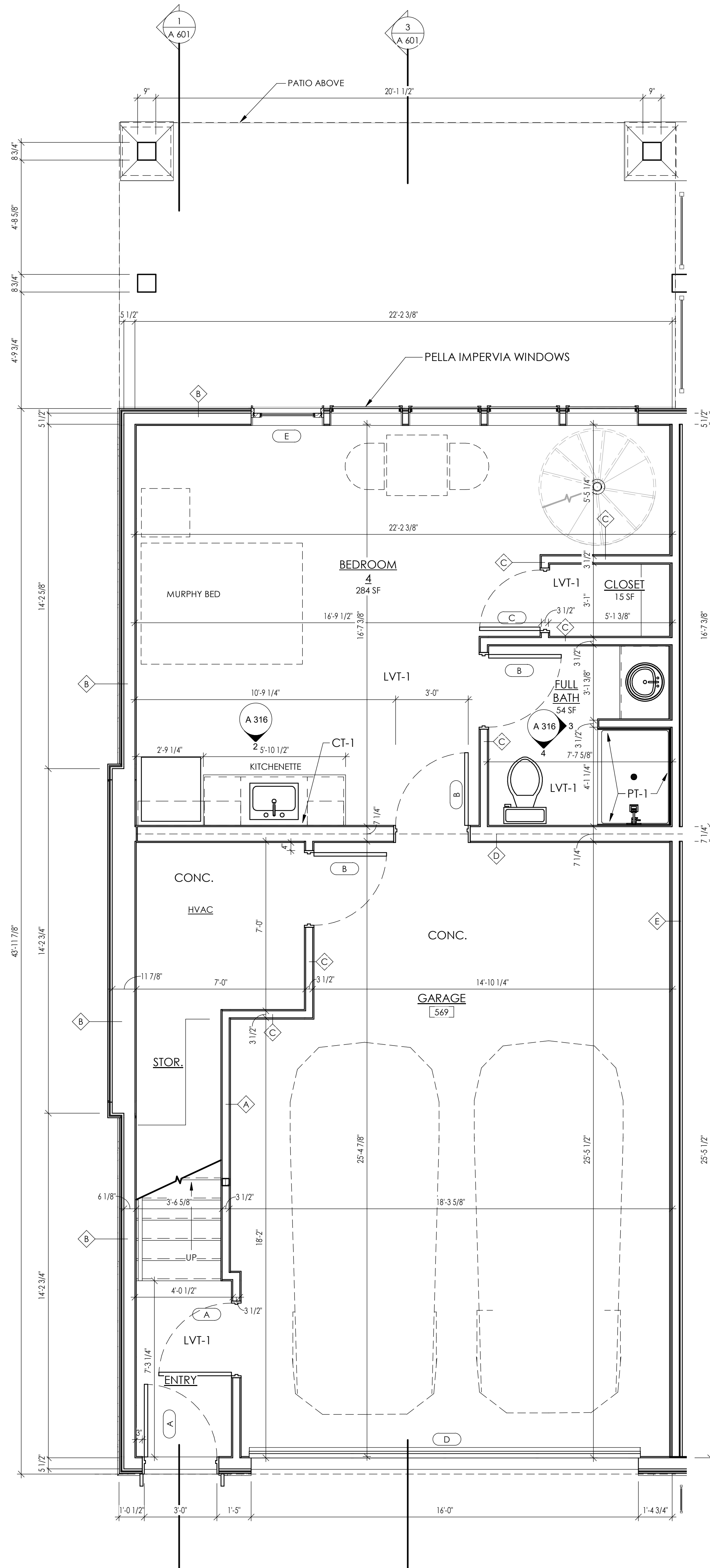
A
316

PROJ. NO. 2022-12

**UNIT 1 - FIRST FLOOR PLAN**

SCALE: 3/8" = 1'-0"
A 316

*NOTE: SPIRAL STAIRCASE OR PNEUMATIC ELEVATOR OPTIONAL FOR TENANTS

**GENERAL PLAN NOTES**

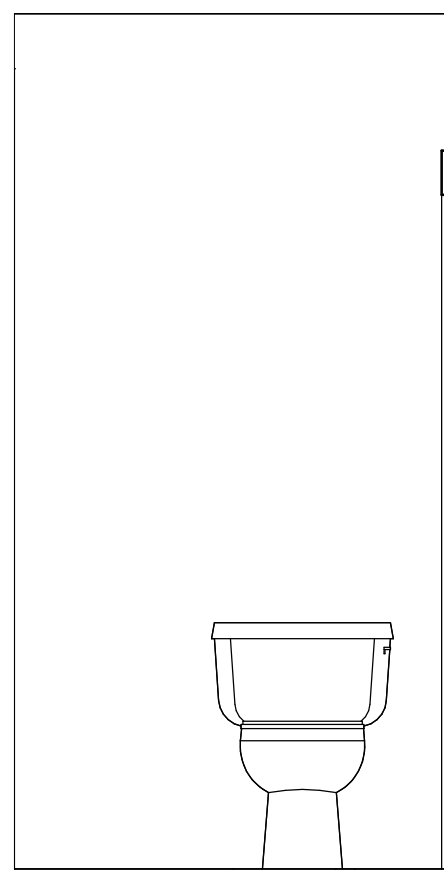
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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- ALL CABINETRY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
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- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
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- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

GENERAL UNIT TYPE PLAN NOTES

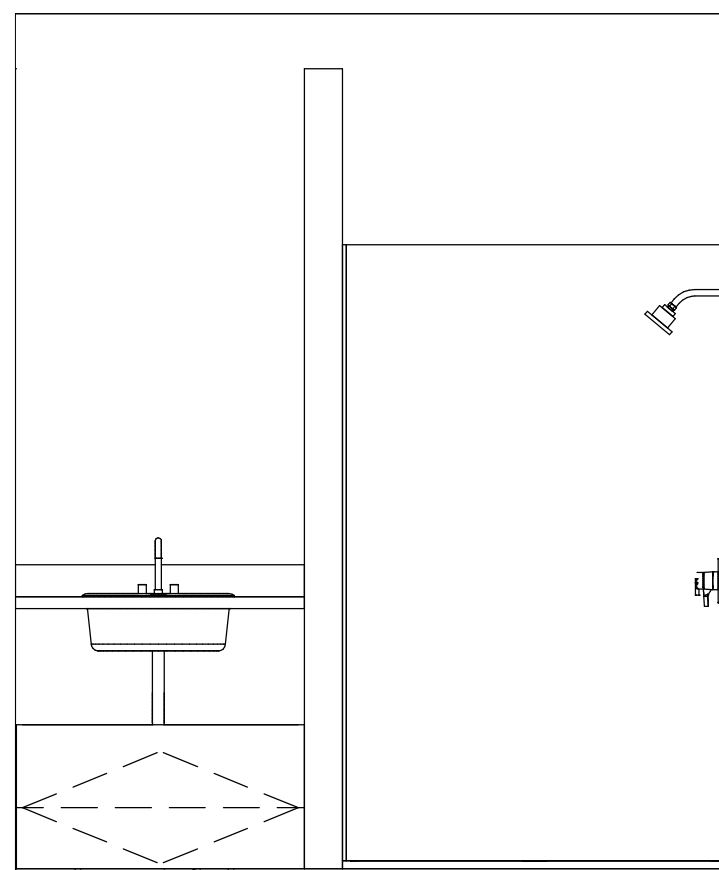
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FLOOR PLAN KEYNOTES

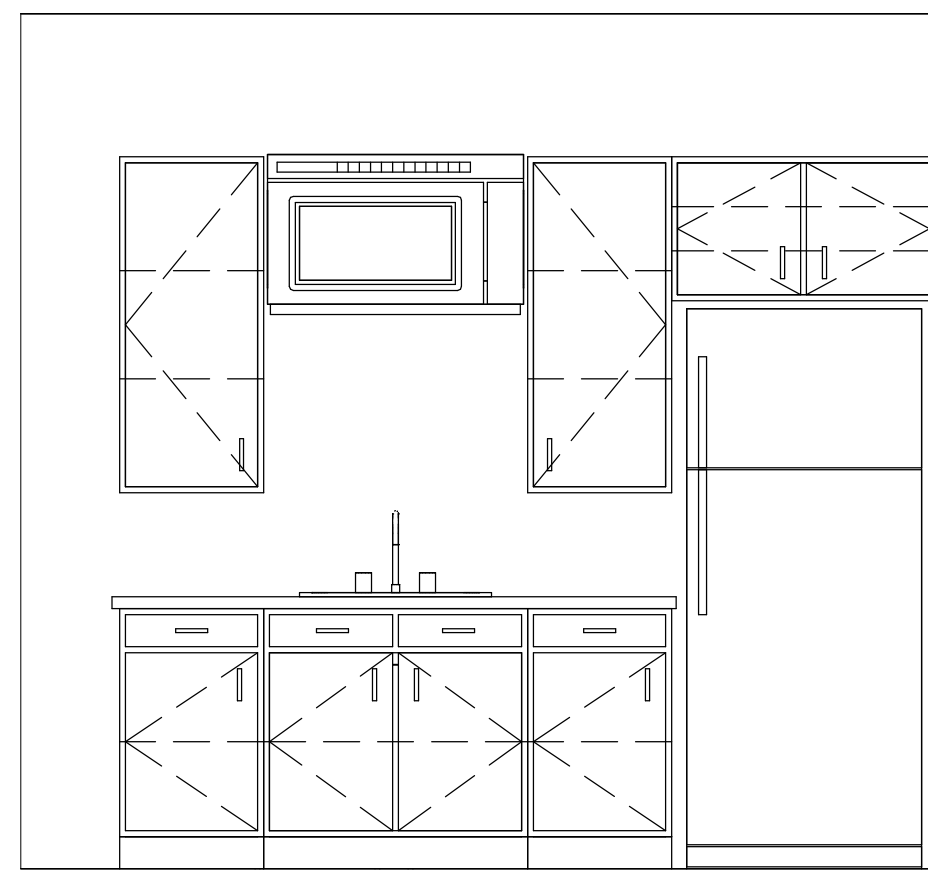
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION



TLT. ELEV. 4
SCALE: 1/2" = 1'-0" A 316



TLT ELEV. 3
SCALE: 1/2" = 1'-0" A 316



KITCHENETTE ELEV. 2
SCALE: 1/2" = 1'-0" A 316

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TYPICAL UNIT-SECOND
FLOOR

A
317

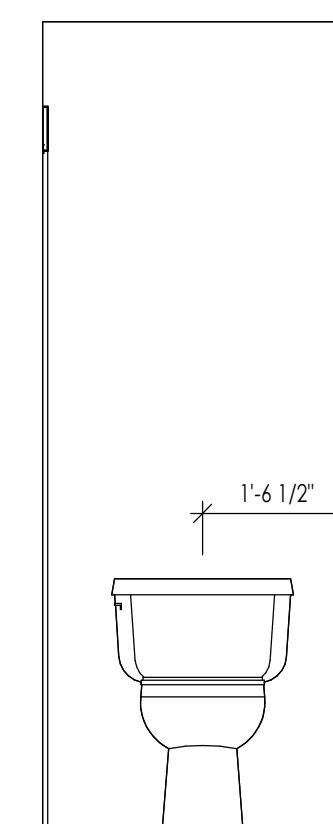
PROJ. NO. 2022-12

GENERAL PLAN NOTES

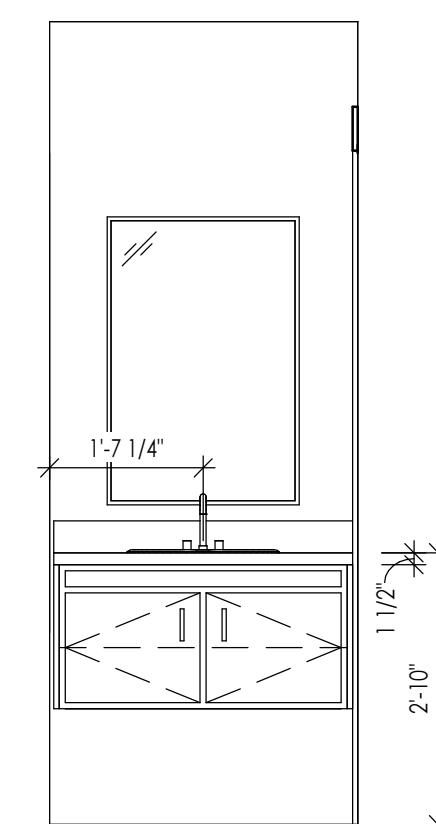
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GENERAL UNIT TYPE PLAN NOTES

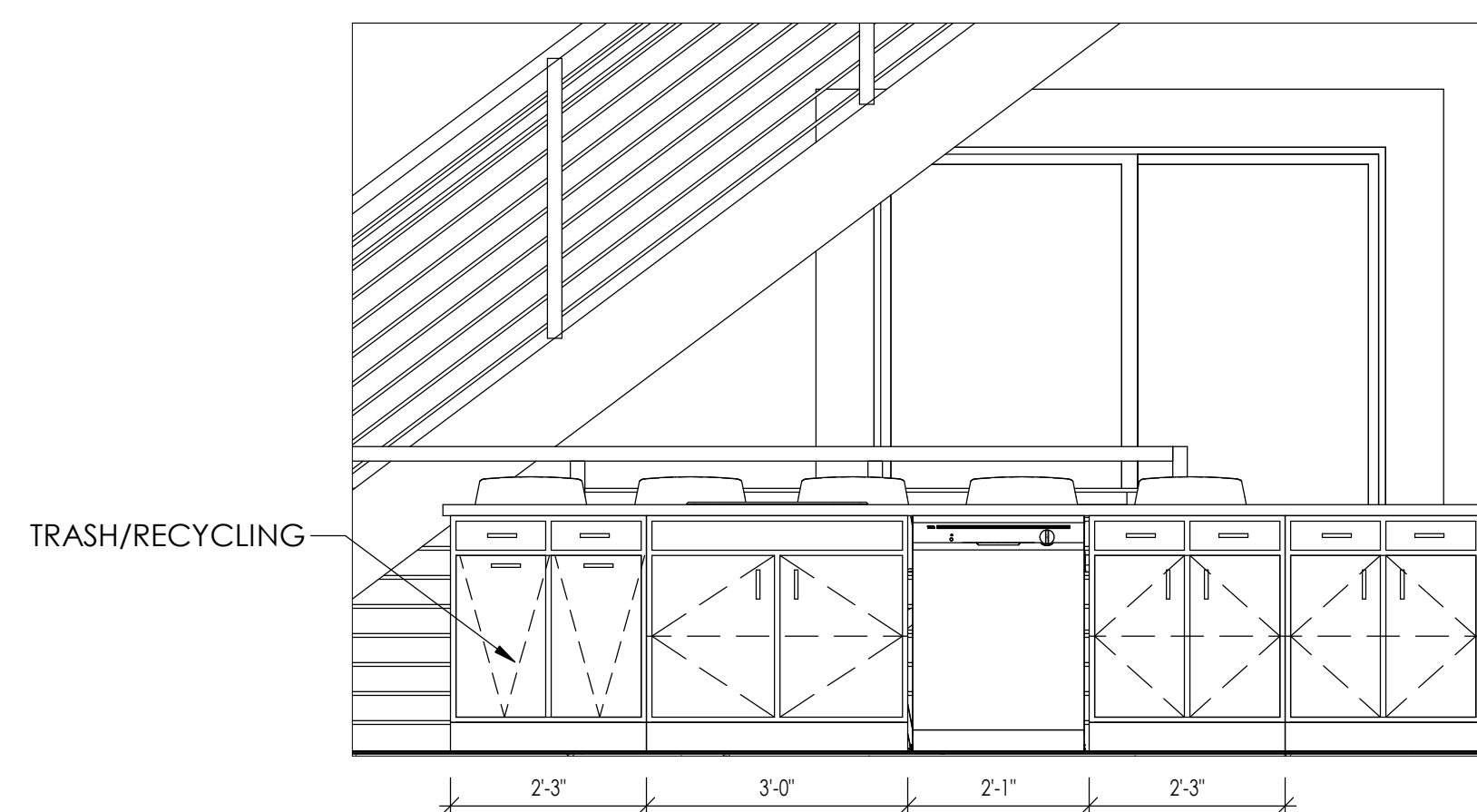
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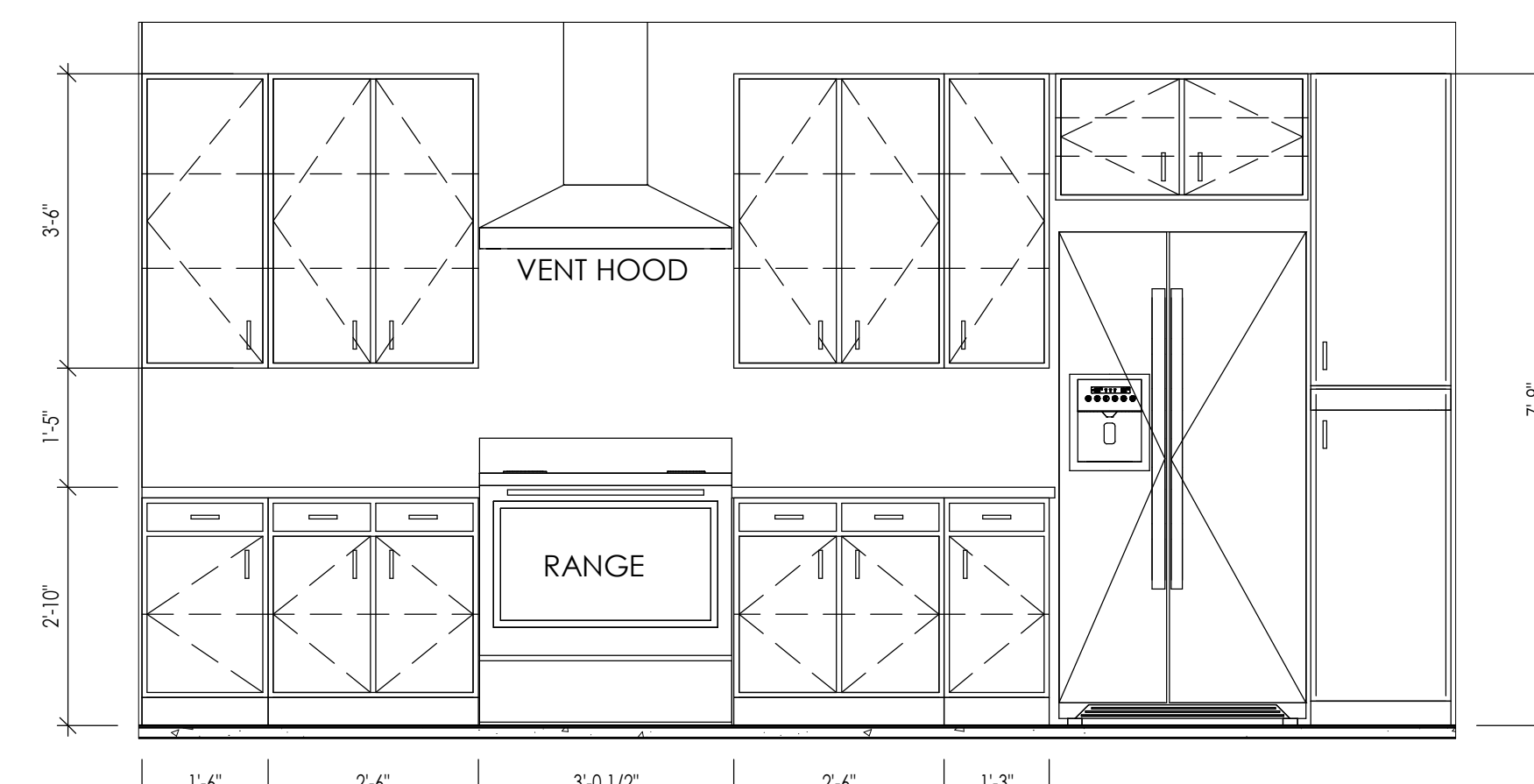
TLT ROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 317



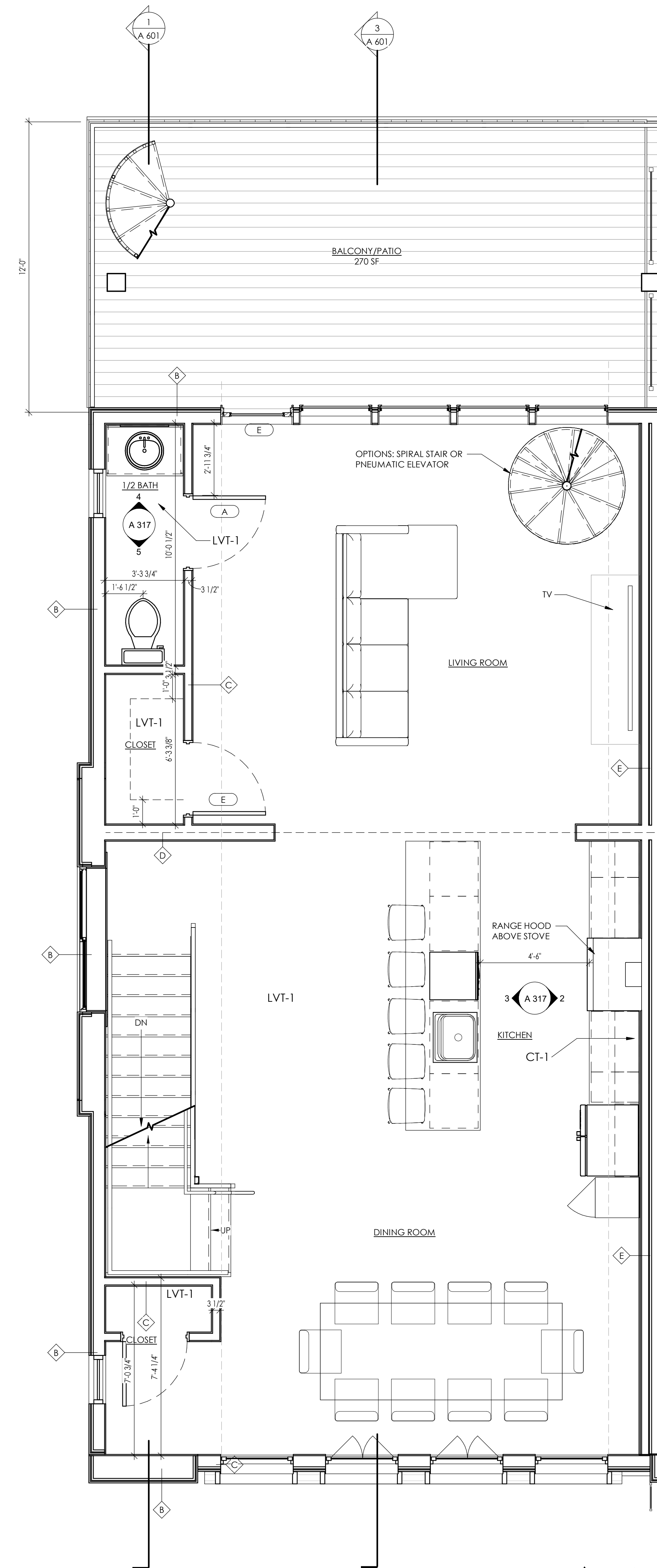
TLT ROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 317



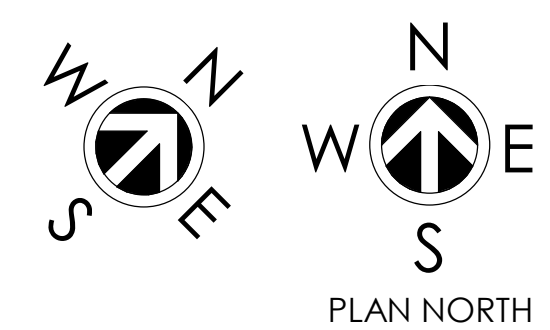
CASEWORK ELEVATION 3
SCALE: 1/2" = 1'-0" A 317



CASEWORK ELEVATION 2
SCALE: 1/2" = 1'-0" A 317



UNIT 1 - SECOND FLOOR PLAN 1
SCALE: 3/8" = 1'-0" A 317



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TYPICAL UNIT - THIRD
FLOOR

A
318

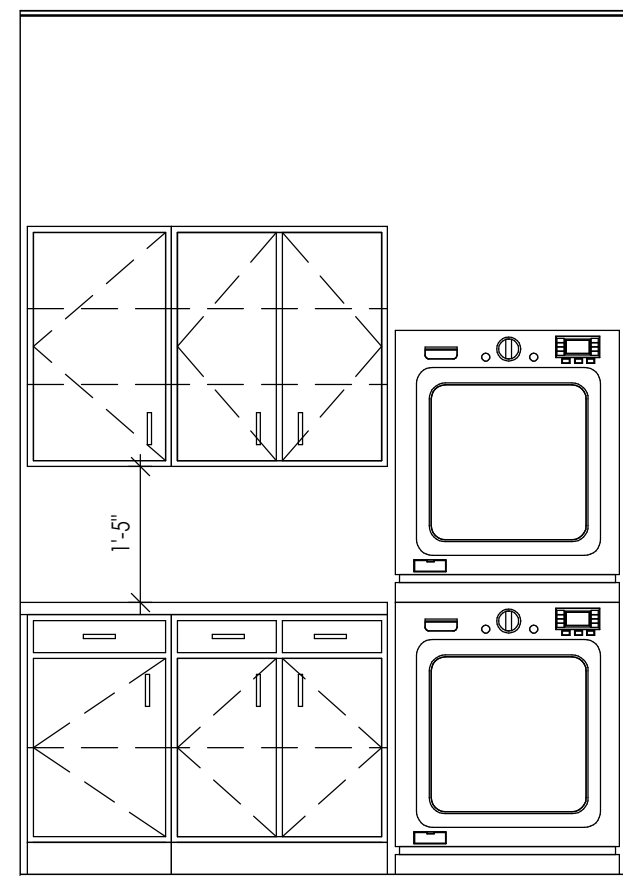
PROJ. NO. 2022-12

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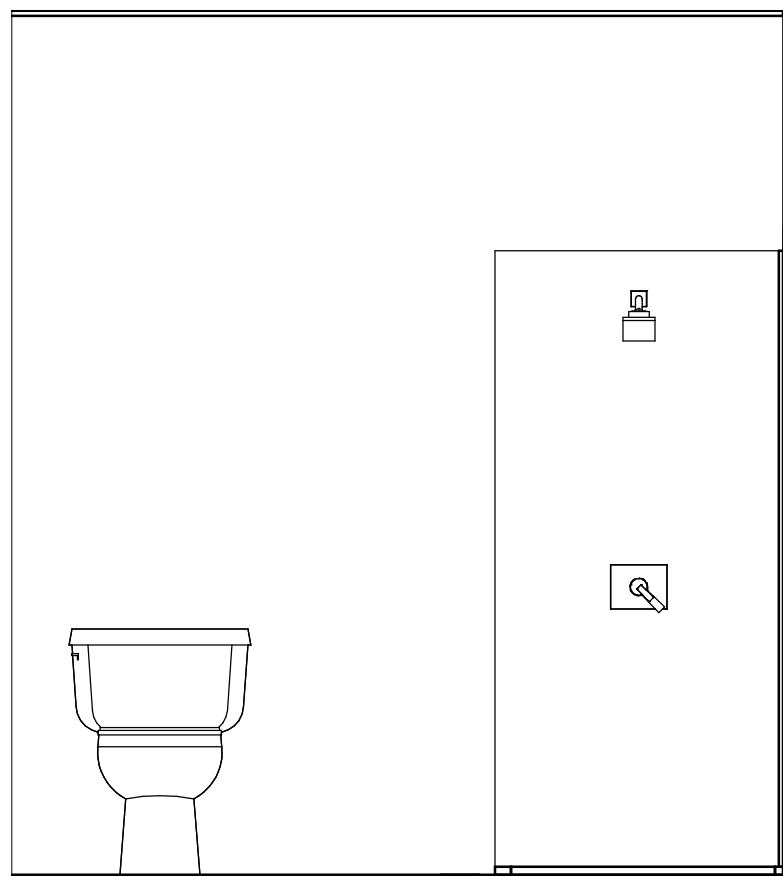
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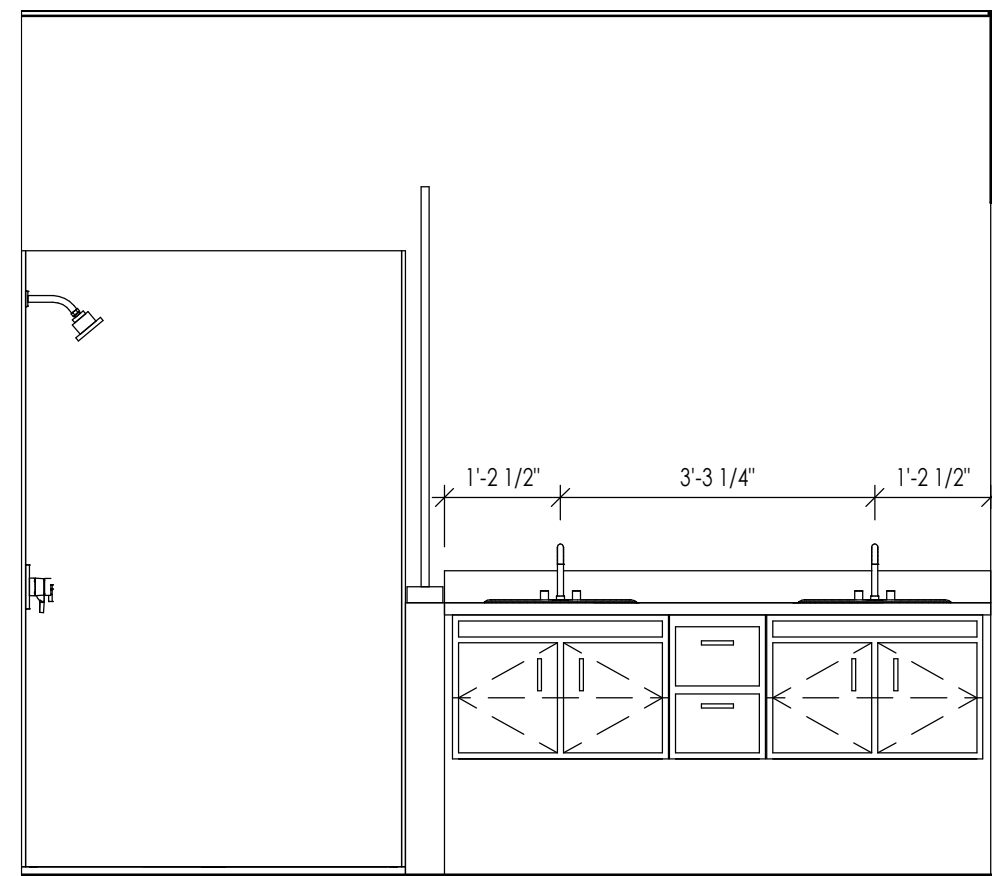
CASEWORK ELEV. 6

SCALE: 1/2" = 1'-0" A 318



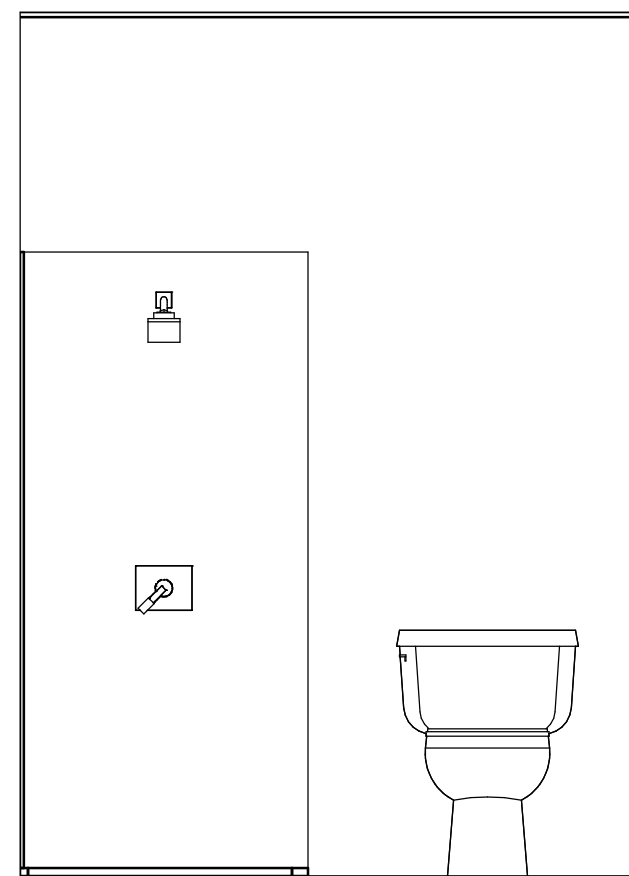
BATHROOM ELEVATION 5

SCALE: 1/2" = 1'-0" A 318



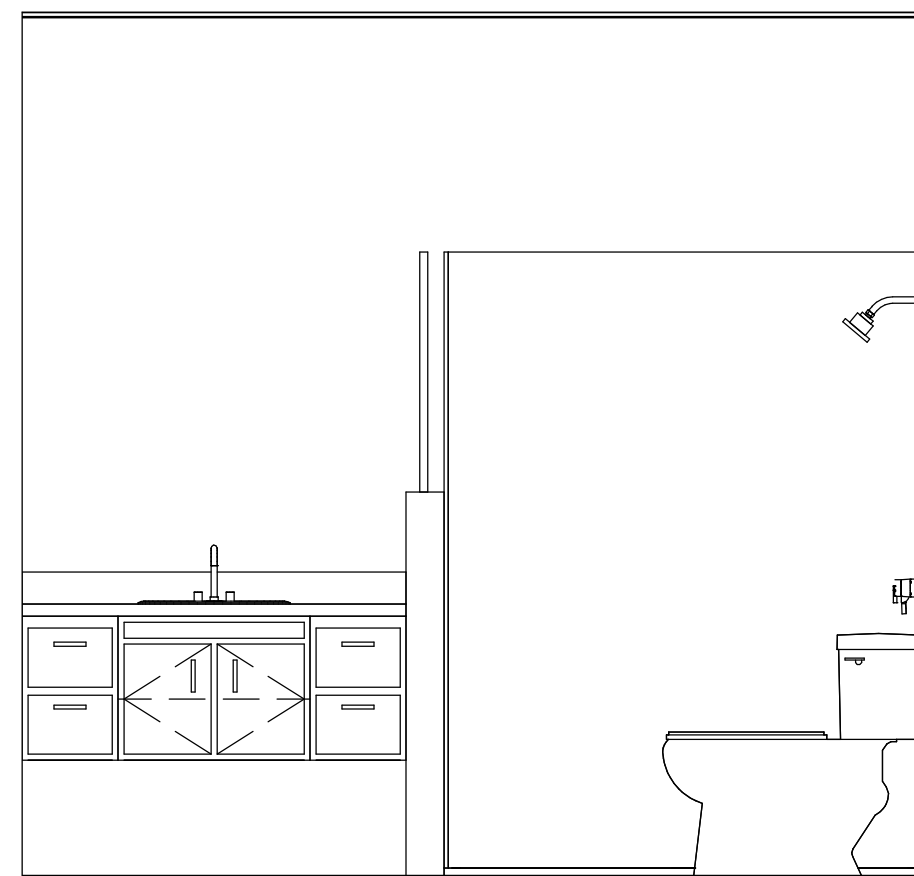
BATHROOM ELEVATION 4

SCALE: 1/2" = 1'-0" A 318



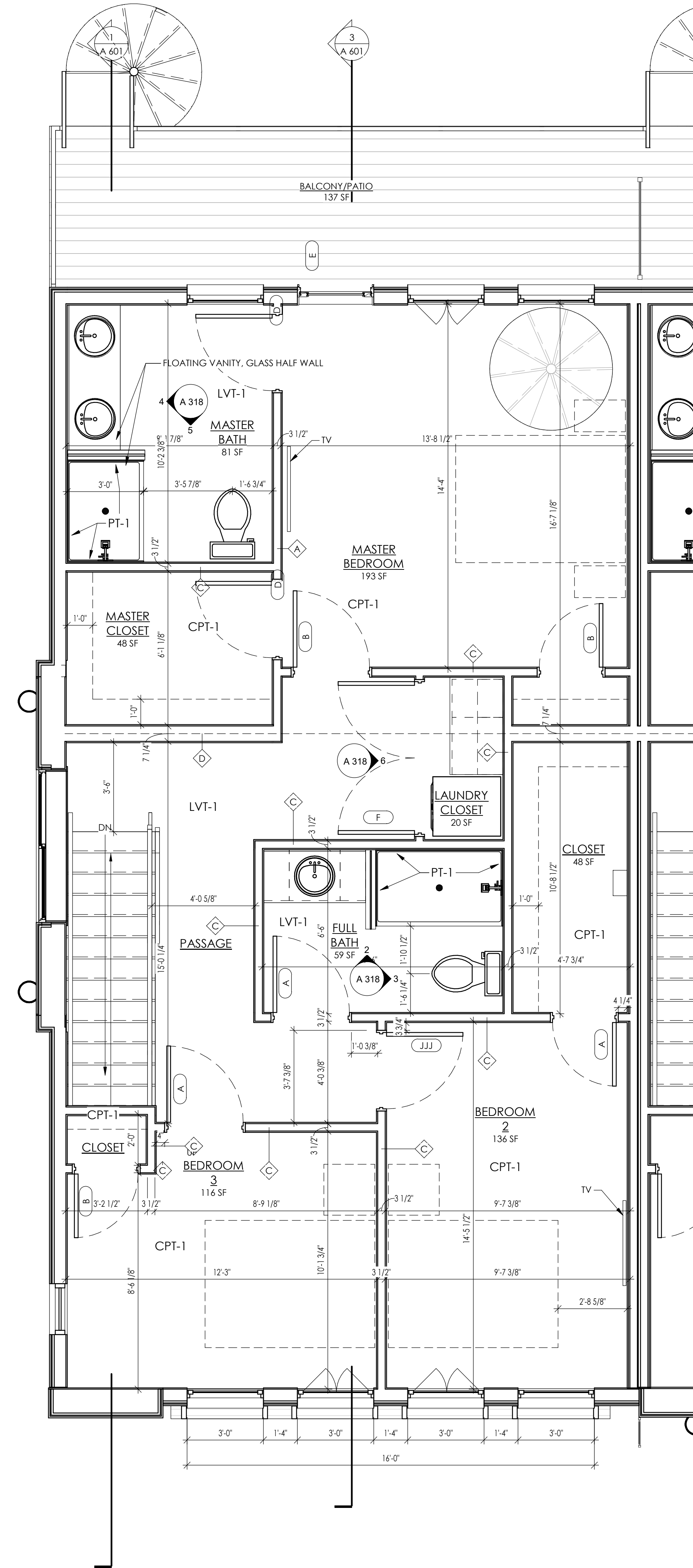
BATHROOM ELEVATION 3

SCALE: 1/2" = 1'-0" A 318



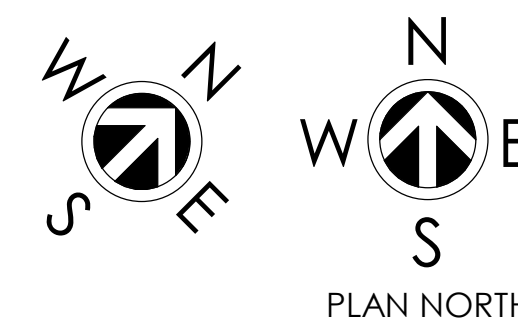
BATHROOM ELEVATION 2

SCALE: 1/2" = 1'-0" A 318



UNIT 1 - THIRD FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 318





REVISIONS:

1 10/04/21 Addendum 01

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ROOM FINISH LEGEND

KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
FAF	FLUID APPLIED FLOORING
GT	GLASS TILE
GYP	GYPSUM BOARD
HM	HOLLOW METAL
LT	LEATHER TILE
LVT	LUXURY VINYL TILE
P-	PAINT FINISH
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
WB	WOOD BASE
WD	WOOD

ROOM FINISH REMARKS

NO.	DESCRIPTION
1	FIRST FLOOR STAIR LANDING TO BE LVT-1; ALL STAIR TREADS AND RISERS AND UPPER LANDINGS TO BE CPT-2
2	SEE FINISH PLANS FOR FLOOR PATTERN
3	SEE REFLECTED CEILING PLANS FOR GYPSUM SOFFIT LOCATIONS
4	SEE FINISH PLANS/UNIT PLANS FOR ACCENT PAINT LOCATIONS
5	SEE INTERIOR ELEVATIONS FOR PORCELAIN TILE (PT) AND CERAMIC TILE (CT) LOCATIONS
6	FOURTH FLOOR UNITS HAVE A CEILING HEIGHT OF 10'-0"
7	UNIT 14 SHALL HAVE A LEVEL 5 DRYWALL FINISH

CUSTOM UNIT TYPE PLAN NOTES

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- ALL BEDROOM CLOSETS SHOULD HAVE WOOD SHELVING SYSTEM
- ALL STORAGE CLOSETS SHOULD HAVE WOOD SHELVING 24" DEEP, (4) HIGH, SPACED AT 16" STARTING AT FINISHED FLOOR UNLESS OTHERWISE NOTED
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- PROVIDE BACKLIT MIRROR IN EACH UNIT BATHROOM WIDTH EQUAL TO COUNTERTOP LENGTH.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS & GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH UNLESS NOTED OTHERWISE.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.

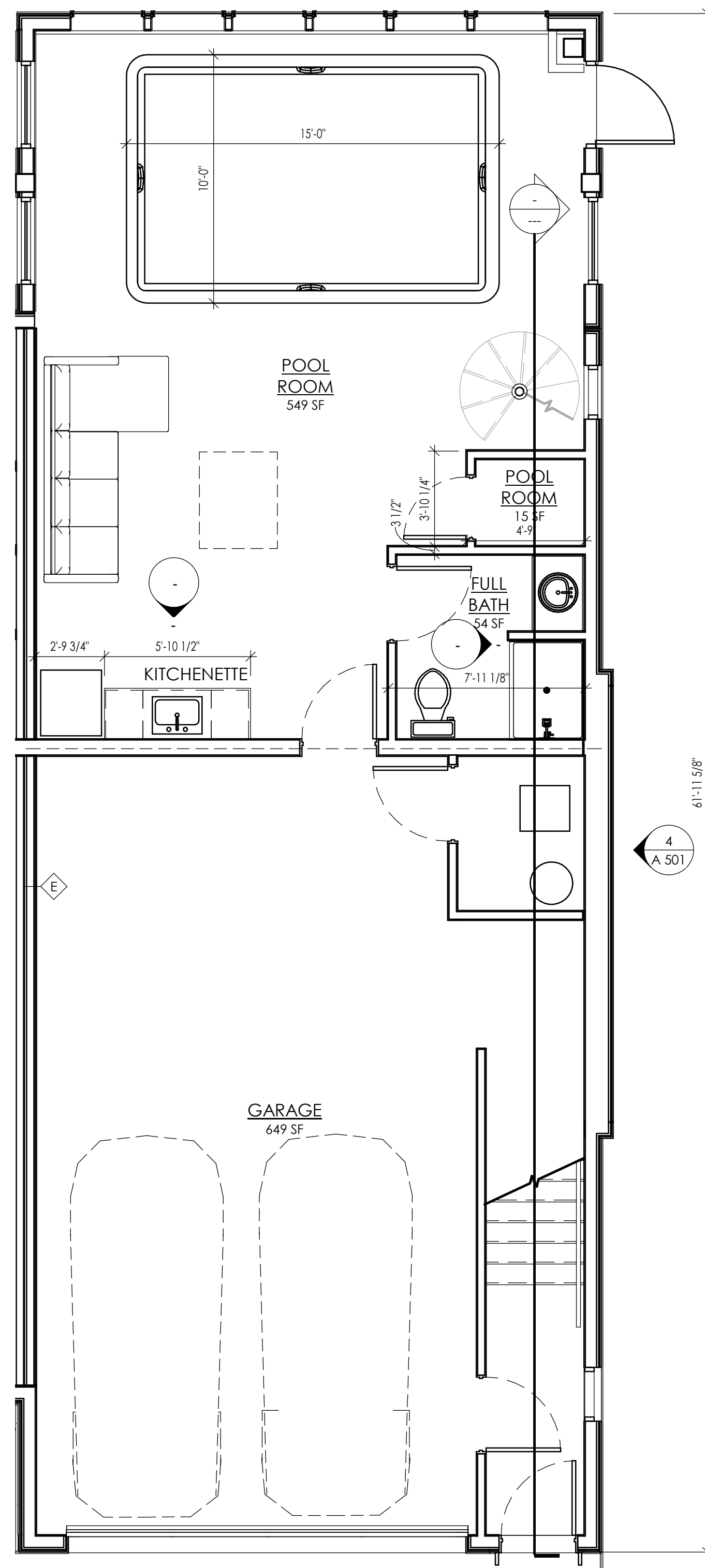
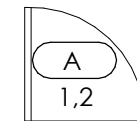
FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION

DOOR REMARKS

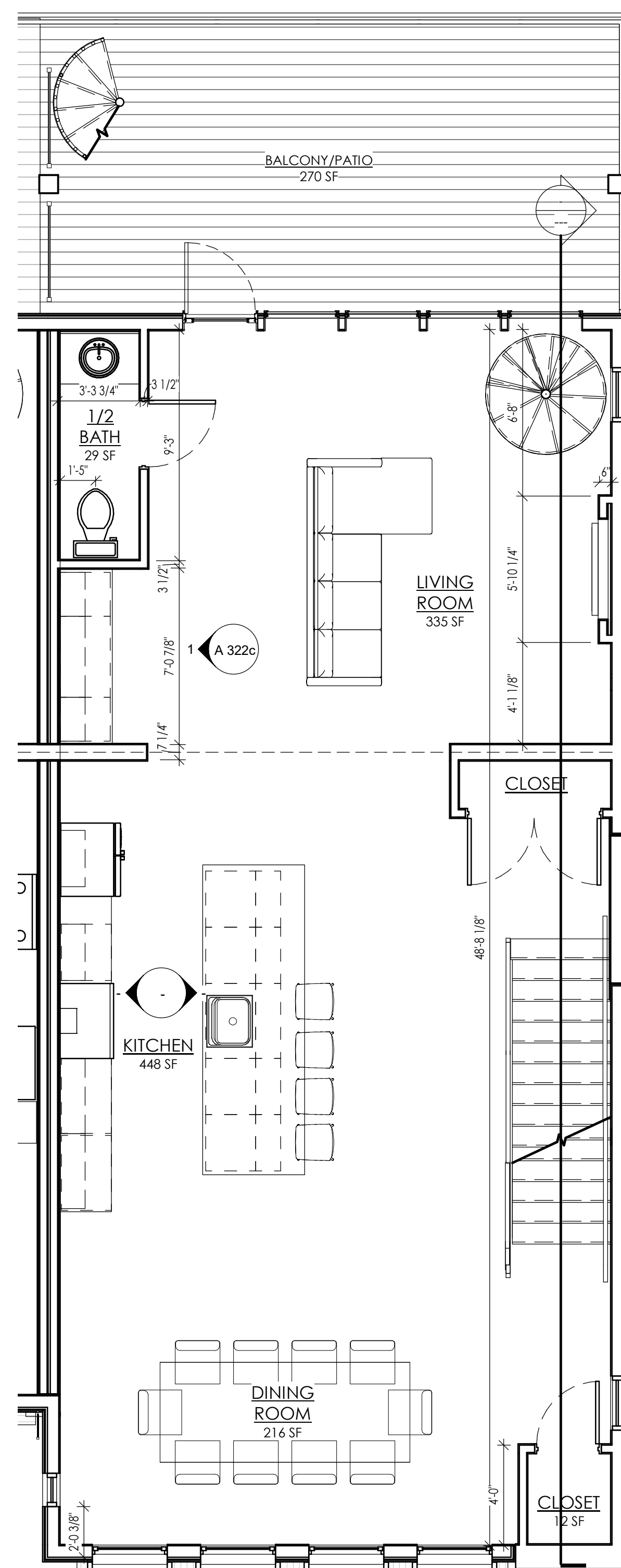
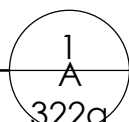
- CARD READER
- VINYL SWEEP AT BASE, VINYL SEAL JAMB AND HEAD
- 1/2" WIDER DOOR FRAME THAN SCHEDULED DUE TO SHEAR WALL.
- 1 1/2" UNDERCUT ON DOOR TO ALLOW FOR MECH EQUIP.
- FRENCH DOORS WITH 12 EQUALLY SIZED GLASS PANELS

UNITS 1-15 ENLARGED PLAN DOOR REMARKS
DOOR REMARKS SHOWN ON UNIT FLOOR PLAN AT DOOR TAG



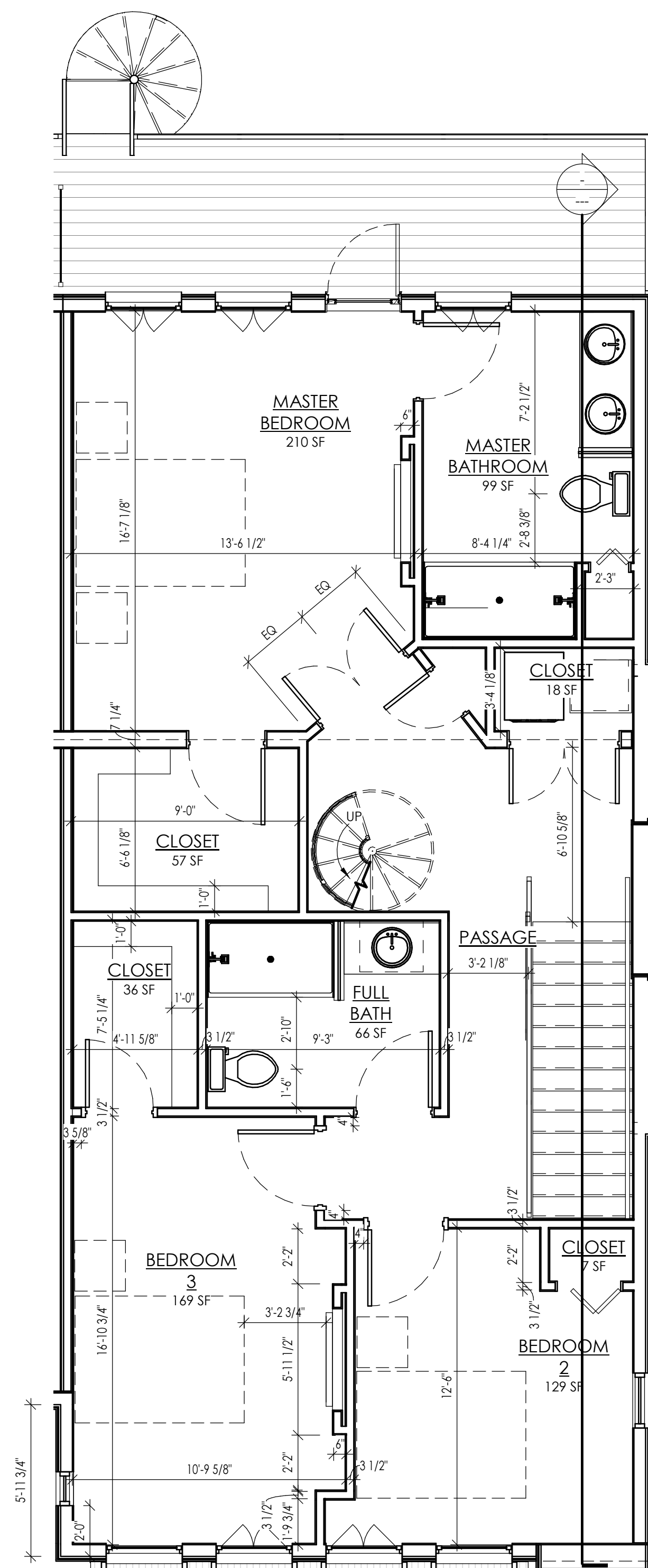
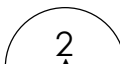
GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



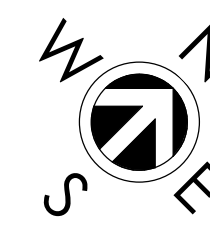
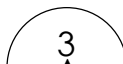
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
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CHECKED BY: PM

WATSON UNIT

A
322a

PROJ. NO. 2022-12



REVISIONS:

1 10/04/21 Addendum 01

NOTICE TO BIDDERS
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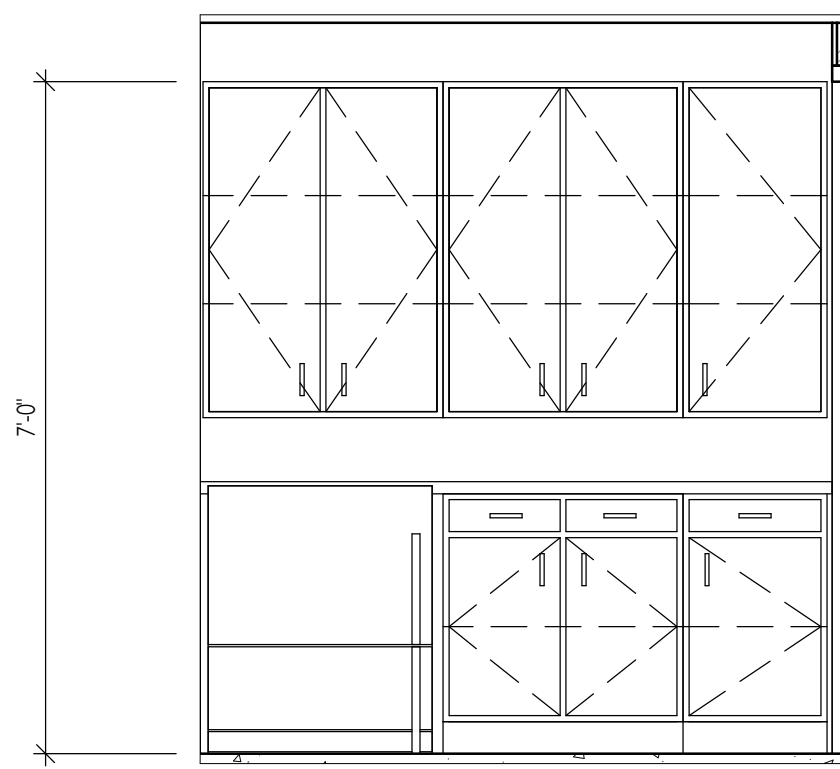
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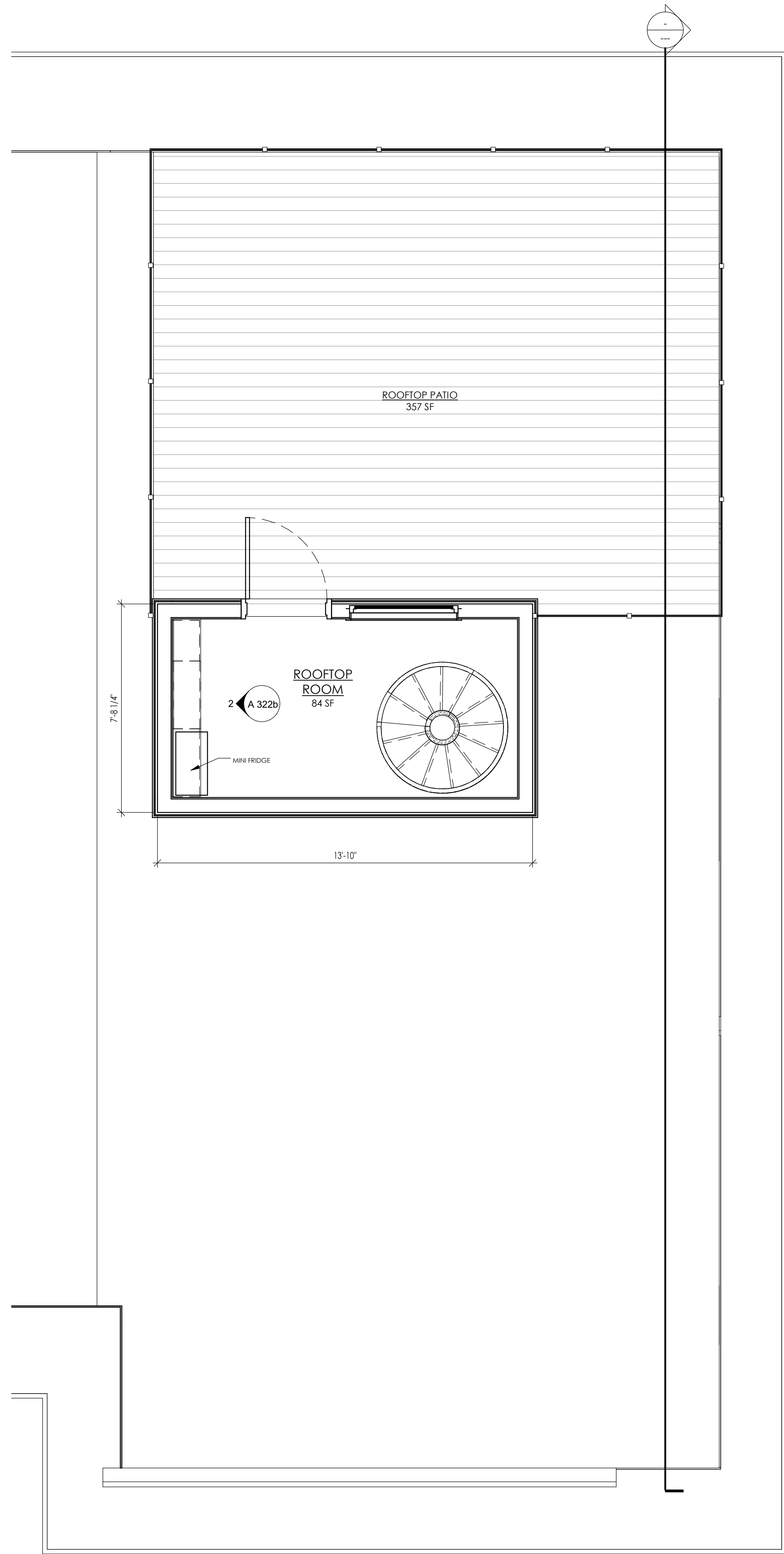
WATSON UNIT

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322b

PROJ. NO. 2022-12



7 - a
SCALE: 1/2" = 1'-0"
2
A
322b



ROOF PATIO PLAN
SCALE: 3/8" = 1'-0"
A
322b

***NOTE:** COLORS AND MATERIALS TO BE MATCHED TO PHASE 1 APARTMENTS AND APPROVED BY ARCHITECT.

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



REVISIONS:

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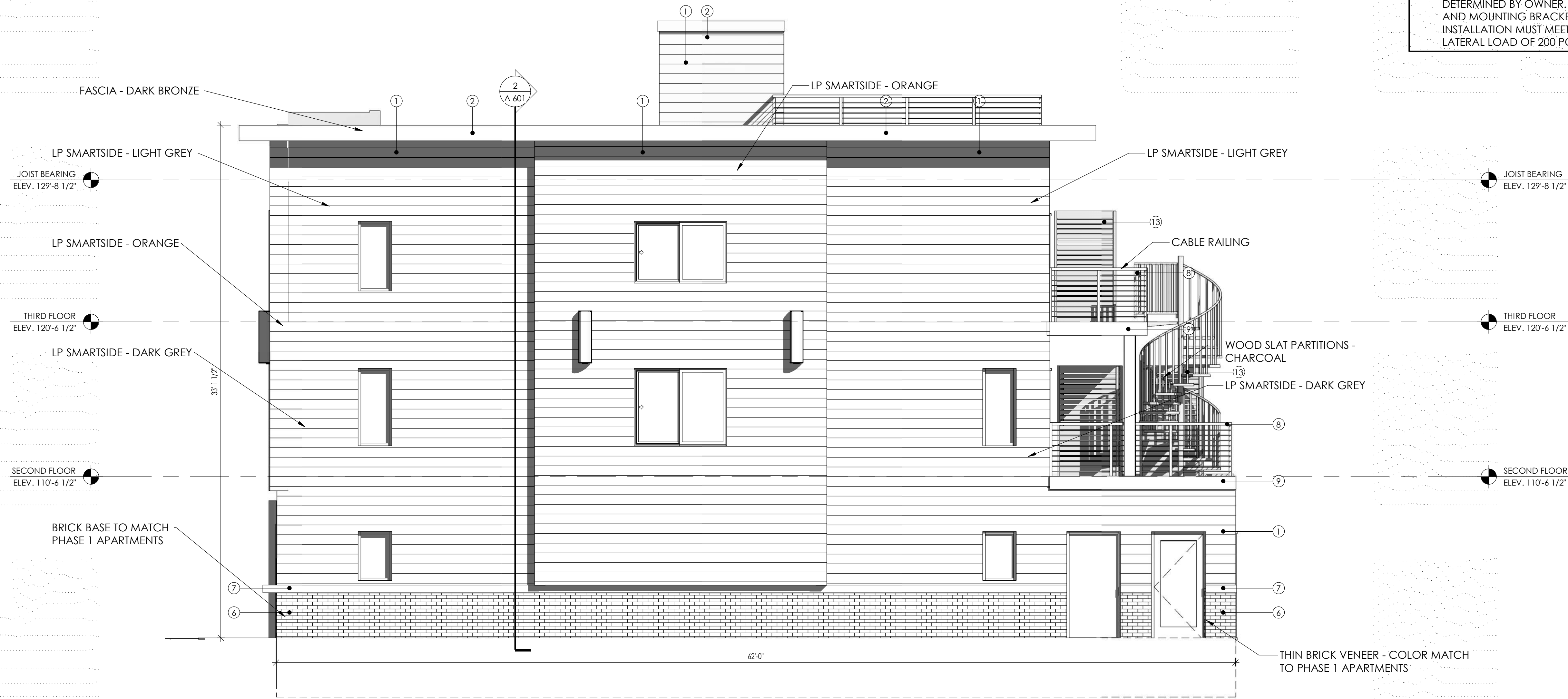
TYPICAL ELEVATION - TOWNHOUSE

A
501

PROJ. NO. 2022-12

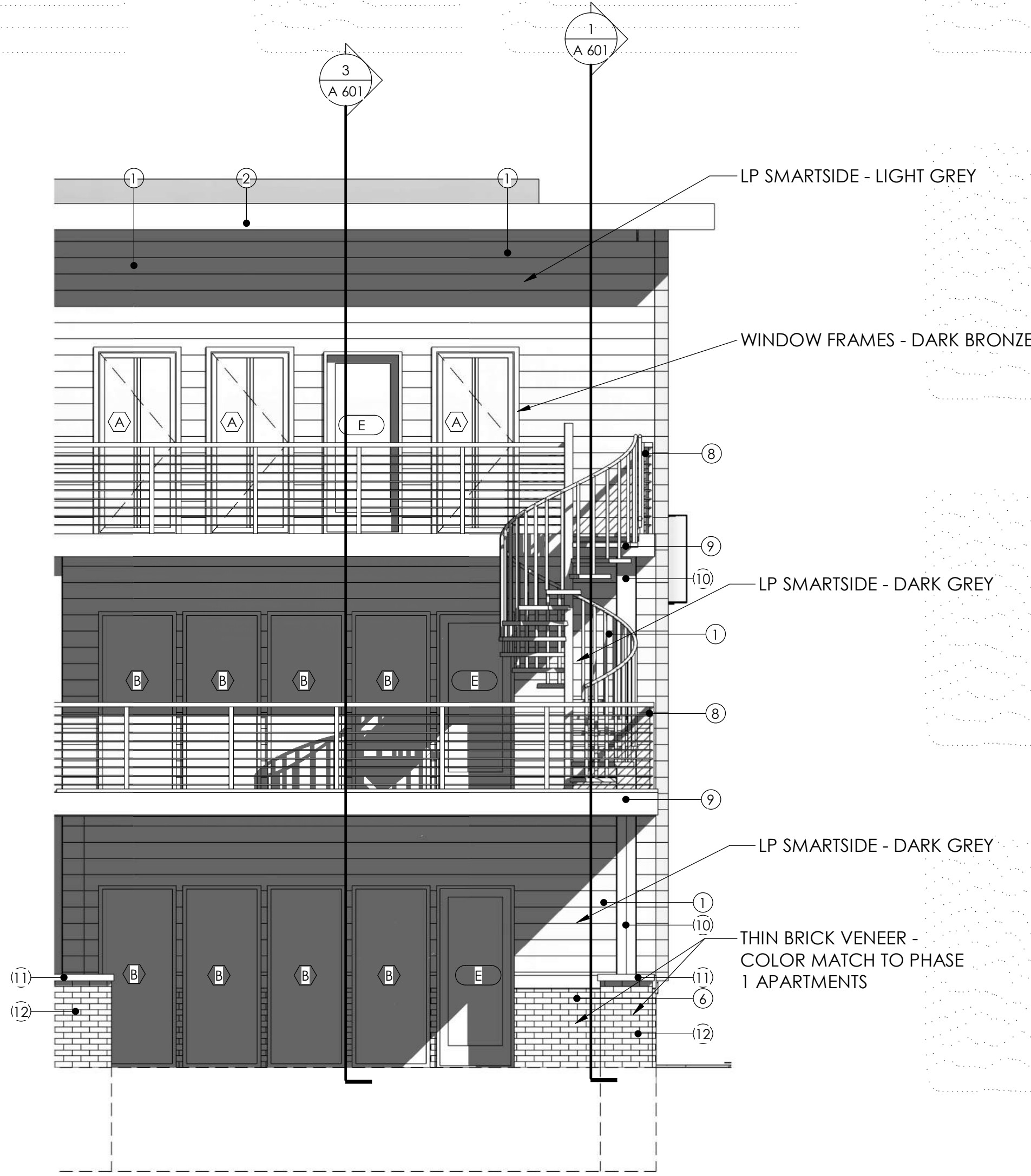
WATSON TOWNHOUSE - EAST ELEVATION

SCALE: 1/4" = 1'-0" A 501



NORTH ELEVATION

SCALE: 1/4" = 1'-0" A 501



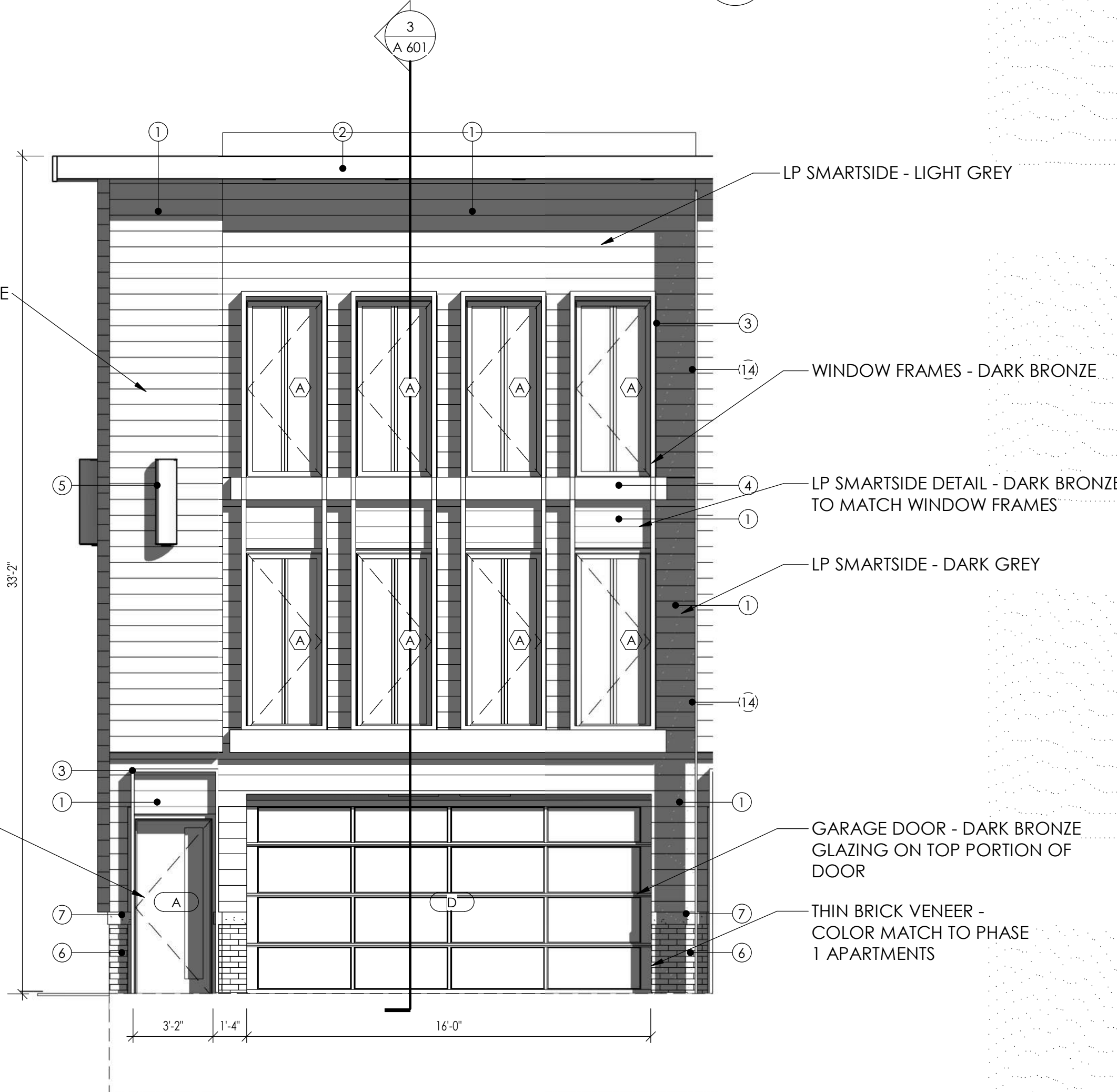
WEST ELEVATION

SCALE: 1/4" = 1'-0" A 501



SOUTH ELEVATION

SCALE: 1/4" = 1'-0" A 501



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OVERALL EXTERIOR
ELEVATIONSA
502

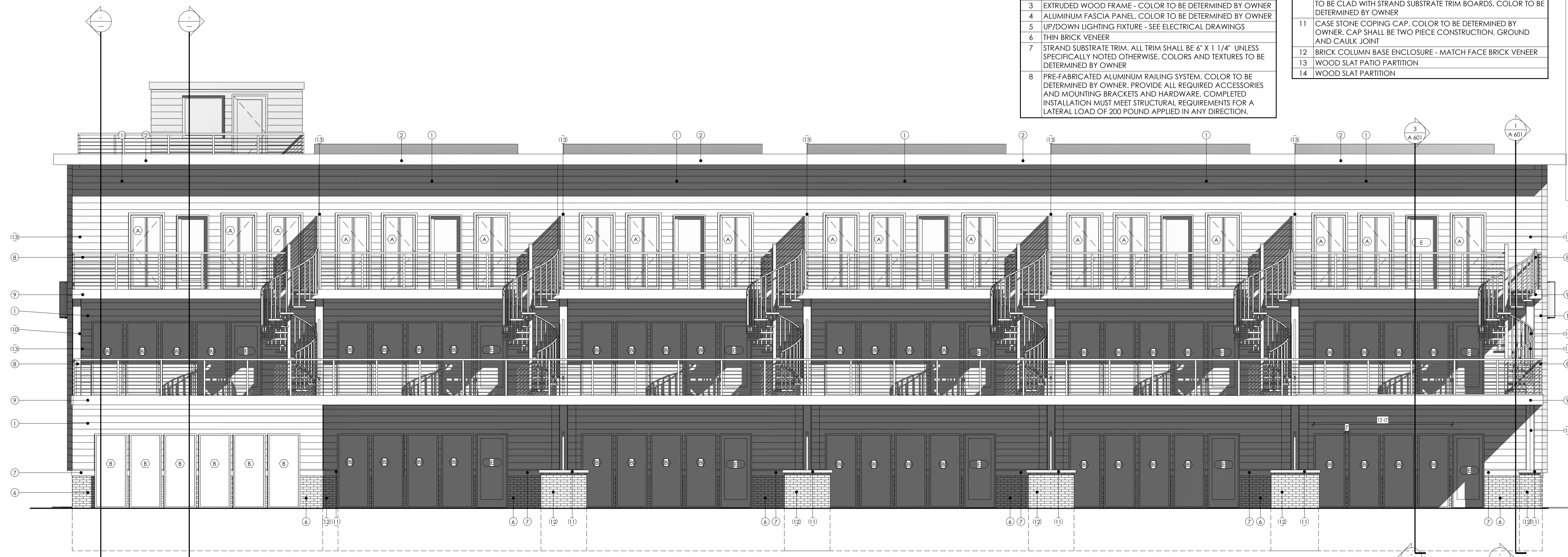
PROJ. NO. 2022-12

ELEVATION KEYNOTES

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14	WOOD SLAT PARTITION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



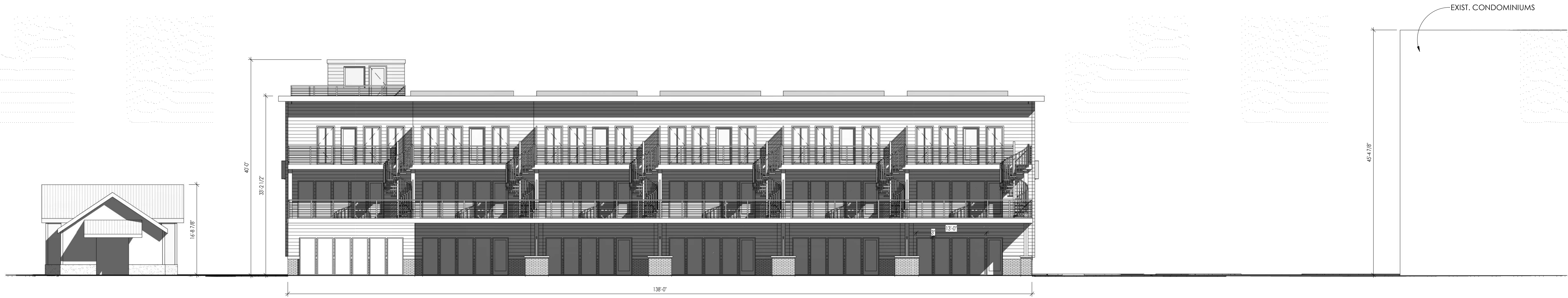
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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RIVER ELEVATION 1
SCALE: 1/8" = 1'-0" A 503



STREET ELEVATION 2
SCALE: 1/8" = 1'-0" A 503

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EXTERIOR ELEVATIONS

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503

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