



***** AMENDED *** CITY PLAN COMMISSION AGENDA**

July 23, 2024 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

MINUTES

4. Approval of the Plan Commission minutes from July 9, 2024.

PUBLIC HEARING AND DISCUSSION/ACTION ITEMS

5. Public Hearing and application for Conditional Use Permit with exceptions by Curry Corner to construct an addition to their facility located at 915 Erie Avenue. CC Zone.
6. Public hearing and application for Conditional Use Permit with exceptions by Torginol, Inc. to construct a new warehouse addition located at 3217 Behrens Parkway in the Sheboygan Business Park. SI Zone
7. R. O. No. 33-24-25 by City Clerk submitting an application for amendment of the City of Sheboygan Official Zoning Map from Eastern Pines, LLC for property located at 3100 Superior Avenue from Class Suburban Office (SO) to Class Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification. REFER TO CITY PLAN COMMISSION
8. Gen. Ord. No. 12-24-25 by Alderperson Ramey amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of property located at 3100 Superior Avenue from Class Suburban Office (SO) to Class Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification. REFER TO CITY PLAN COMMISSION
9. Gen. Ord. No. 13-24-25 by Alderperson Belanger amending various articles and sections of Chapter 107 of the Municipal Code so as to make updates to the Floodplain Zoning Ordinance in order to comply with the requirements of the Department of Natural Resources. REFER TO CITY PLAN COMMISSION
10. Presentation by Bay Lakes Regional Planning Commission regarding the update to the Comprehensive Plan.

NEXT MEETING

11. August 13, 2024

ADJOURN

12. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
CITY PLAN COMMISSION MINUTES
Tuesday, July 09, 2024

MEMBERS PRESENT: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

EXCUSED: Jerry Jones and Kimberly Meller

STAFF/OFFICIALS PRESENT: Director of Planning & Development Diane McGinnis Casey, Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

OPENING OF MEETING

1. Roll Call

Mayor Sorenson called the meeting to order at 4pm.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Identify potential conflict of interest

No committee member had a conflict.

MINUTES

4. Approval of the Plan Commission minutes from June 25, 2024.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON JUNE 25, 2024.

Motion made by Alderperson John Belanger, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

SITE PLAN REVIEW

5. Application for Site Plan Review by Gerald Peot to operate a natural gas regulation station located at 608 S Commerce Street. UI Urban Industrial Zone.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, water, sewer, storm drainage, hazardous materials, etc.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.

4. Outdoor storage of materials, products or equipment shall be prohibited.
 5. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent streets and/or properties.
 6. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
 7. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
 8. Applicant will provide adequate public access along streets and will take all appropriate actions to minimize the time period that these streets will be closed/affected.
 9. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
 10. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
 11. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
 12. Absolutely no portion of the new building and/or site improvements shall cross the property line (buildings, parking, retaining walls, signs, landscaping, etc.).
 13. The proper agreements/easements shall be officially documented and recorded prior to building permit issuance.
 14. If there are any amendments to the approved site plan, the applicant will be required to submit a new application reflecting those amendments.
6. Application for Site Plan Review by Heidi Loose to operate an adult family home located at 2735 N 31st Pl.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
3. Outdoor storage of materials or equipment shall be prohibited.
4. All lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
6. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain approval from the Architectural Review Board prior to receiving a building permit for such remodel/renovation.

7. If there are any amendments to the approved special use permit and/or site plan, the applicant will be required to submit a new application reflecting those amendments.

Item 4.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

7. Application for Conditional Use Permit with exceptions by Camp Evergreen to construct an addition to the Camp Evergreen facilities located at 2776 N. 31st Pl.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, demolition, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin, Federal, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
3. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a proposed landscape plan prior to building permit issuance. Landscaping shall be installed prior to issuance of an occupancy permit.
5. Outdoor storage of materials, products or equipment shall be prohibited (except as authorized/approved by the Plan Commission).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
7. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
10. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
11. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
15. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
16. Applicant shall adequately address all Fire Department concerns related to this development.

17. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
18. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use, architectural review, etc. reflecting those amendments.

Exception granted:

- To the landscape points required and to the required location of said plantings. Landscape Plan still required and required points must be met.

8. General Development Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster enclosure shall be completed prior to issuance of an occupancy permit for the apartment building to be occupied.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All areas used for parking/maneuvering of vehicles shall be paved.
7. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
8. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
10. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
11. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
12. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
13. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, art, etc.
14. Applicant is responsible for working with all private and public utilities in order to adequately service this development (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
15. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.

16. Owner/Developer and City understand that the landscape plan is to be installed in phases.
 17. Owner/Developer is responsible for installation of the entire approved landscape plan. If the owner/developer elects to amend the landscape plan in any fashion, the owner/developer shall resubmit an amended plan to Department of City Planning & Development for approval.
 18. Plantings located around all ingress/egress of the site shall be maintained to not interfere with vehicular/pedestrian traffic.
 19. Plantings located around the Fire Department Connection must be maintained to make sure that it is accessible at all times.
 20. Plantings located by light poles should be maintained to keep areas well lite.
 21. The Department of Planning & Development must inspect the landscaping. Failure to comply with any of the above conditions may require the removal and replanting of plants.
 22. All plantings will need to be maintained per Section 105-894(b) Maintenance.
9. Specific Implementation Plan by Malibu Apartments, LLC to construct the Malibu Apartments on parcel 59281318390.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Dumpster enclosure shall be completed prior to issuance of an occupancy permit for the apartment building to be occupied.
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 19. Plantings located around the Fire Department Connection must be maintained to make sure that it is accessible at all times.
 20. Plantings located by light poles should be maintained to keep areas well lite.
 21. The Department of Planning & Development must inspect the landscaping. Failure to comply with any of the above conditions may require the removal and replanting of plants.
 22. All plantings will need to be maintained per Section 105-894(b) Maintenance.
10. Gen. Ord. No. 10-24-25 by Alderperson Belanger amending various sections of the Sheboygan Municipal Code so as to correct various errors identified in the current zoning code (Chapter 105). REFER TO CITY PLAN COMMISSION

MOTION TO RECOMMEND APPROVAL TO THE COMMON COUNCIL ADOPT THE ORDINANCE

Motion made by Braden Schmidt, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

11. Comprehensive Plan Update - Where we are at and what to expect at the kick off meeting.

Director of Planning & Development Diane McGinnis Casey explained the process of updating the Comprehensive Plan process that will be held at future meetings.

NEXT MEETING

12. July 23, 2024

The next meeting is scheduled to be held on July 23, 2024.

ADJOURN

13. Motion to Adjourn

MOTION TO ADJOURN AT 4:30 PM.

Motion made by Alderperson John Belanger, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Braden Schmidt, and Kevin Jump

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Curry Corner to construct an addition to their facility located at 915 Erie Avenue. CC Zone.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 12, 2024

MEETING DATE: July 23, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Curry Corner is proposing to construct an addition to their facility located at 915 Erie Ave. The applicant states the following:

- Curry Corner is proposing a new addition to their existing facility to use as a storage and game room.
- The addition will be around 170 sqft
- Storage includes paper plates, cups, racks and/or freezer/refrigerator with lock.
- The existing building materials are brick on the restaurant side and glass windows on the gas station side.
- The addition will match the existing building material – brick exterior wall and glass windows and door with aluminum framing. The roof will be flat to match existing.
- No additional parking, landscaping, or sidewalk will be required.
- This project will begin after obtaining approvals and will be completed within 45 days with an estimated cost around \$25,000.
- This addition will help to manage space better.

STAFF COMMENTS:

The Board may want to have the applicant address if the existing storage shed will be removed with this addition.

No additional signage is proposed for this project addition.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:


1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, demolition, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin, Federal, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
3. Outdoor storage of materials, products or equipment shall be prohibited (except as authorized/approved by the Plan Commission).
4. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
5. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
6. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
7. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
8. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).
9. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
10. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
11. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
12. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
13. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
14. Applicant shall adequately address all Fire Department concerns related to this development.
15. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.

16. If there are any amendments to the approved conditional use permit (including but limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use, architectural review, etc. reflecting those amendments.

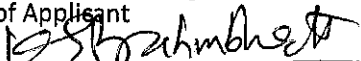
Item 5.

ATTACHMENTS:

Conditional Use Permit Application and Attachments

	CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE	Fee: <u>\$250.00</u> Review Date: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) KAMLESH BRAHMBHATT	Authorized Representative KAMLESH BRAHMBHATT	Title OWNER	
Mailing Address 905 ERIE AVE	City SHEBOYGAN	State WI	ZIP Code 53081
Email Address FOUNTAINPARKBP@GMAIL.COM	Phone Number (incl. area code) 920-207-8985		
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) SAME AS ABOVE	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)		
SECTION 3: Project or Site Location			
Project Address/Description 915 ERIE AVE SHEBOYGAN Adding Storage/misc Use for Restaurant		Parcel No.	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business: CURRY CORNER (KRISHNA RESTAURANT LLC)			
Existing Zoning:			
Present Use of Parcel: Restaurant			
Proposed Use of Parcel: Restaurant Use/Storage			
Present Use of Adjacent Properties: Restaurant / gas station			
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) KAMLESH BRAHMBHATT	Title OWNER	Phone Number 920-207-8985	
Signature of Applicant 		Date Signed 6/30/2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

QUESTIONS FOR ARCHITECTURAL REVIEW:

1. DESCRIPTION OF PROPOSED PROJECT:
USING AS A STORAGE AND GAME ROOM. (STORAGE: PAPER PLATES, CUPS, RACKS AND/OR FREEZER/REFRIGERATOR WITH LOCK.
2. DESCRIPTION OF EXISTING EXTERIOR DESIGN AND MATERIAL:
EXISTING BUILDING MATERIAL ARE BRICK WALLED. USED AS A RESTAURANT.
OTHER SIDE OF THE BUILDING IS GLASS WINDOW (GAS STATION SIDE)
3. DESCRIPTION OF THE PROPOSED EXTERIOR DESIGN AND MATERIAL:
SAME AS EXISTING BUILDING MATERIAL. MATCH COLOR OF THE BRICKS. EXTERIOR WALL WILL BE BRICK WALL AND GLASS ALUMINIUM WINDOWS. WINDOWS WILL BE ALUMINIUM FRAME WITH GLASS DOOR.
FLAT ROOF MATCHING WITH EXSTING ROOF.

PLAN COMMISSION:

1. DESCRIPTION OF EXISTING USE:

IT'S AN INDIAN RESTAURANT NAMED CURRY CORNER. DOING GOOD
2. DESCRIPTION OF PROPOSED USE:

ITS OUTDOOR ADDITION TO THE EXISTING BUILDING.
3. Description of proposed building and all new site improvements (square footage of new and existing structure(s), ingress/egress, parking, sidewalk, retaining walls, storm drainage, landscaping, lighting, etc.).
AROUND 170 SQ. FT ADDITION THE EXISTING BUILDING CORNER OF THE EXSTING BUILDING.

NO ADDITION PARKING REQUIRED. NO LAND SCAPING, SIDEWALK REQUIRED.
4. A written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area.

IT WILL BE BRICK WALL MATCHING EXSTING WALL COLOR. ALSO, WINDOWS WITH ALUMINIUM FRAME. SAME HEIGHT AS AN EXISTING BUILDING WITH FLAT ROOF.

IT IS ATTACHED WITH CURRENT BUILDING SO IT WILL BE LOOK NICE.
5. An explanation of any interior and/or exterior renovations.

NO OTHER RENOVATION.

6. Project timeline and estimated value of project.

START AFTER APPROVAL. WILL BE FINISH WITHIN 45 DAYS (TARGET IS 30 DAYS OR LESS DEPENDS ON AVAILABILITY OF THE WINDOWS AND DOORS)

COST WILL BE ESTIMATING AROUND \$ 25,000 OR SO

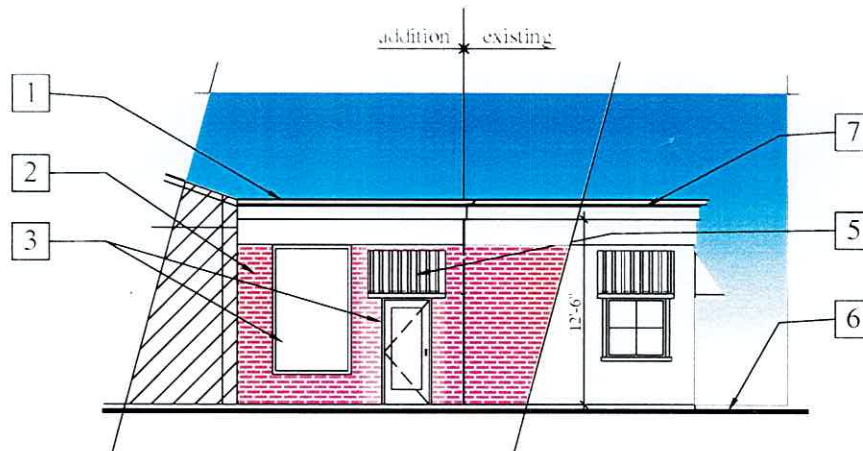
7. Other information that would be considered pertinent by the Plan Commission.
IT WILL HELP US TO MANAGE SPACE BETTER WAY.



North Elevation

Scale: 1/8" = 1'-0"

0 4 8 16 Feet



East Elevation

Scale: 1/8" = 1'-0"

Vestibule Addition For: **Kam Brahmbhatt**

909 Erie Street
Sheboygan, WI

06.24.2024

Elevation Notes

- 1 Roofing - Rubber Membrane
- 2 Brick Veneer - Match Existing
- 3 Insulated HM Door/Frame & Window with Insulated Clear Glass
- 5 Metal Awning
- 6 Grade
- 7 Existing Building

06/23/2024

Tom W. Meiklejohn, III AIA

A R C H I T E C T
 134 East First Street
 Port of Laue, Wisconsin
 phone: 920-923-3163
 tom@tme.com

Addition For:

Kam Brahmabhatt

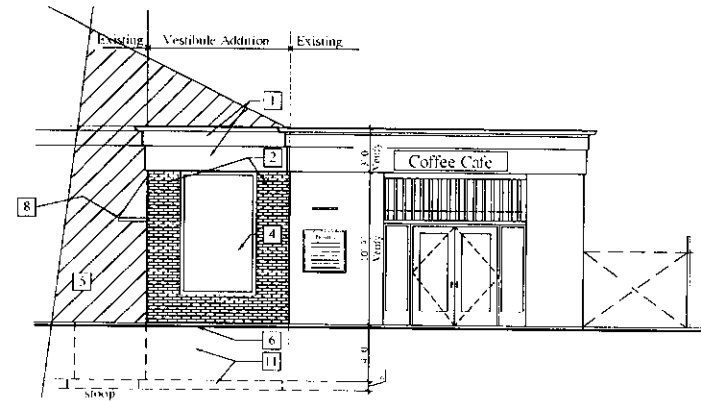
909 Erie Ave
 Sheboygan, WI

2022.23

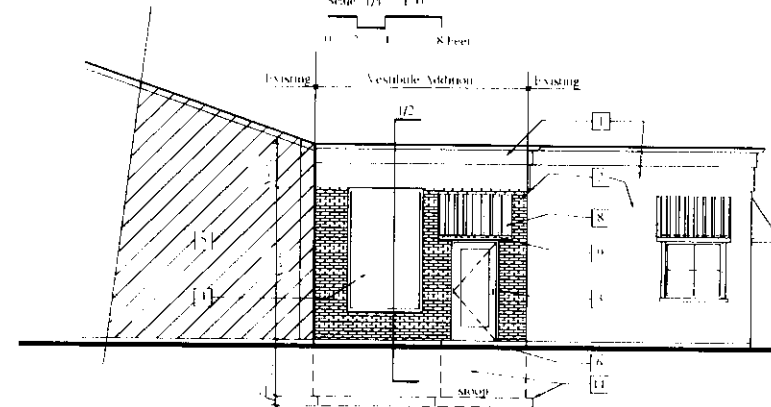
2 of 2

Elevation Notes

- [1] Existing / New White Colored Roof, Gutter & Trim to remain
- [2] Existing / New Brick Veneer Wall
- [3] New Alum. Door and Frame, Insulated Clear Glass
- [4] New 4"x4" Alum. Frames with Clear Insul. Glass Windows
- [5] Existing Convenience Store Building
- [6] Grade
- [7] Compact LED Wall Accent Lites
- [8] New Metal Awning & Wall Light Strip under canopy
- [9] Steel Angle Back Veneer Lintel; 4"x4"x2"; Length = 6"
- [10] 12" Conc Round Wall & 8"x24" Conc Footing

**North Elevation**

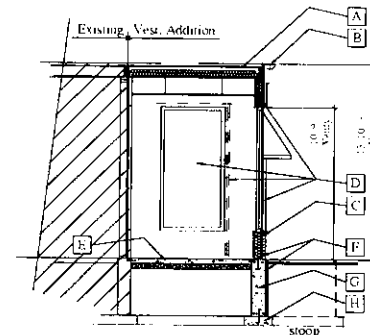
Scale: 1/4" = 1'-0"
 0 2 4 8 Feet

**East Elevation**

Scale: 1/4" = 1'-0"

Cross Section Notes

- [A] 60 Mil Membrane over 4" (min. R-10) Rigid Roof Insul. (pitch to roof drain) on 2" exterior roof sheathing on 2x10's at 16" oc Roof Rafter. Fill void with 8" Batt Insul. (R-32)
- [B] Clad Metal Trim, match & blend with existing profile
- [C] Exterior Wall: Brick Veneer, Wall Ties, Weeps/Wicks, Air Space, Tyvek Paper on 2" Exterior Wall Sheathing on 2x6 WD Studs @ 16" oc, Fill Void w/ Batt Insul. (R-21); Vapor Barrier, 5/8" Gyp Bd - Interior, Match Existing Brick Type and Pattern.
- [D] Clear Insulated Glass set in Aluminum, thermally broken frames. Caulk All Edges, inside and out. Provide Header: (2) 2x10s (min) with (2) Jack Studs & (1) King Studs each side of Window Jamb.
- [E] 4" Conc Floor Slab over 5 mil VB on 6" (min) Compacted Granular Fill.
- [F] 1" A Bolt @ 4' oc (max) thru 1/2" 2x6 Plate, Trim Wall Flashing extend over top of 2" Rigid Foundation Insul. (R-10).
- [G] 8"x4" Conc Foundation Wall w/ (2) #4's at Top & Bottom.
- [H] 2'x8" Conc. Footing w/ (3) #4's continuous. Provide #4 Vert. Bar at 4' OC., max. into Found. Wall.

**Cross Section**

Scale: 1/4" = 1'-0"
 0 2 4 16 Feet

Coordinate Any & All
 Dimensions, Layouts, Materials
 & Construction With The Owners
 Prior To Any & All Construction

06/23/2024

Tom W. Meiklejohn, III AIA

A R C H I T E C T
P O 20-0233/63
t.meiklejohn@gmail.com
t.meiklejohn@aia.org

Addition For:

Kam Brahmabhatt
909 Erie Ave
Sheboygan, WI

2022.23

1 of 2

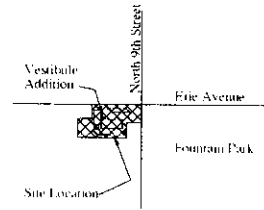
Wall Types & Plan Notes

- A Interior Walls: 2x4 Wood Studs, full height, @ 16" oc w/ (1) layer 2" Gyp Bd each side. Provide Moisture Resistant Gyp Bd at all wet areas. Fill Stud Void with Batt Insulation.
- B Exterior In-Fill Walls: 2" Interior Gyp Bd over Vapor Barrier on 2x6 Wood Studs @ 16" oc with 4" Exterior Grade Sheathing, Tyvek Paper & Siding/finish materials. Fill Stud Void with Batt Insul. Provide 1" Wd 2x6 Base Plate anchored at 2' oc (max) into concrete slab. Caulk, seal all perimeter joints.
- C Existing Interior Face of Exterior Walls: 2x furring @ 24" oc, max w/ 2" Gyp Bd inside, full height. Provide MR Board at all wet areas.
- 1 New Doors / Frames: Width denoted. 7' Height. Exterior Doors Insulated with Closures and Weatherstripping. Kevel Exr Locks. Doors to remain un-locked during occupancy / use. All door handles to be ADA/IFB type.
- 2 1" Concrete Slab over 4" Rigid Foam 6" minimum compacted granular fill.
- 3 Rigid Foam Framing: 60 Mil Rubber Membrane. Adhered to 1" Rigid Insul R-10 @ 2" Ext. Rigid Sheathing on P.T. 2x10s @ 16" oc.

Project Information

2015 IBC WI

Chapter 3; Use: Business, Coffee, Sandwich Shop



City of Sheboygan
Site Location Map

No Scale

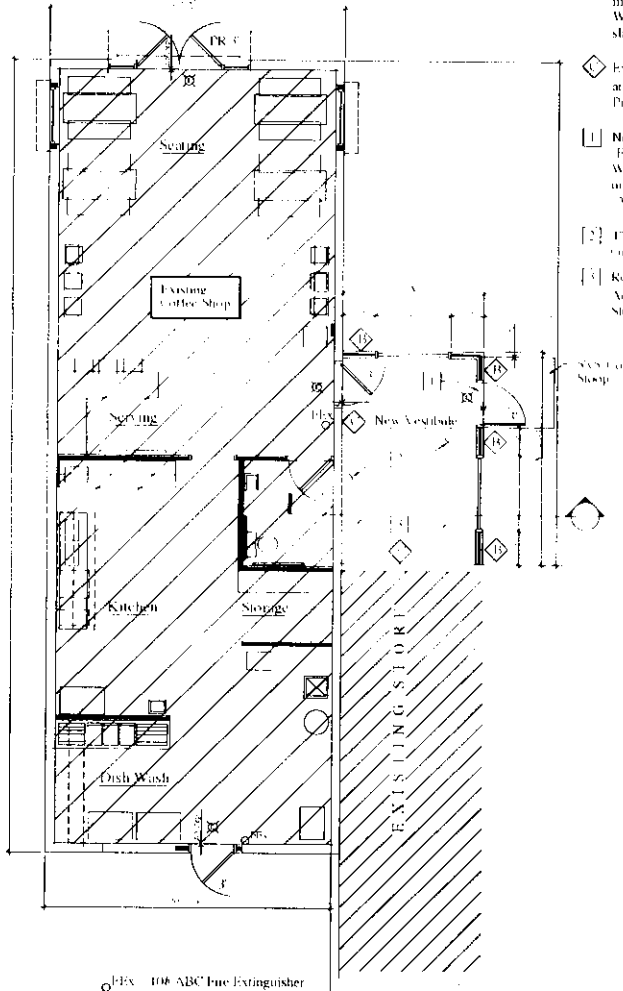
Sheet Index

Sheet 1 Site Location Map, Site Plan, Project Information, Floor Plan, Wall Types and Notes

Sheet 2 Elevations, Cross Sections, and Notes

NOTE:
All work to be Coordinated, Reviewed and Permitted with City of Sheboygan Permitting and Inspection Departments for any & all Construction Work and Food Service requirements prior to any and all work being completed and/or occupied.

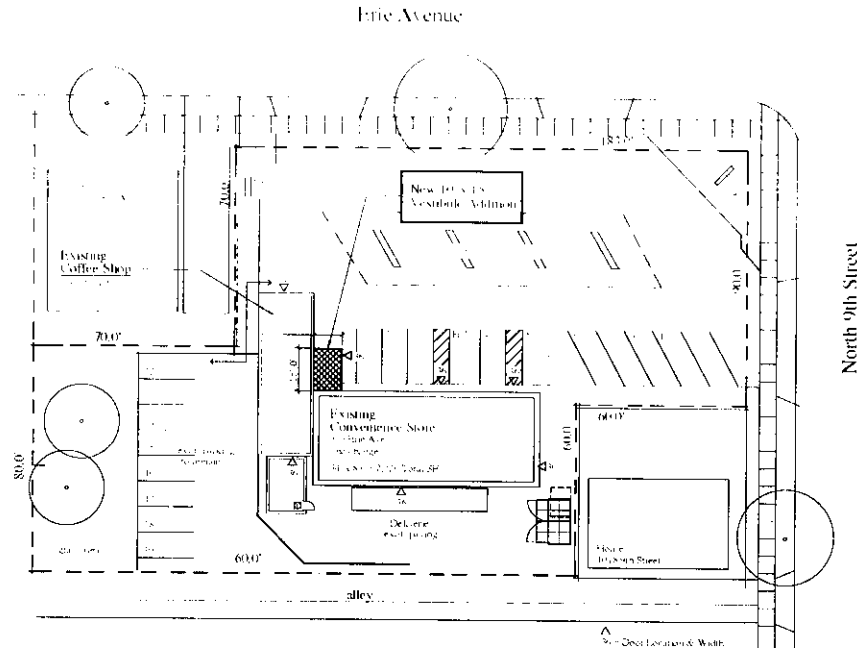
Note: All Contractors Field Verify Any & All Existing Conditions And Coordinate with Owners Prior to Any & All Construction.



1-10 ABC Fire Extinguisher

Floor Plan

Scale: 1/4" = 1'-0"



Site Plan

Scale: 1" = 20'-0"



Coordinate Any & All Dimensions, Layouts, Materials & Construction With The Owners Prior To Any & All Construction.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Torginol, Inc. to construct a new warehouse addition located at 3217 Behrens Parkway in the Sheboygan Business Park. SI Zone

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 16, 2024

MEETING DATE: July 23, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Torginol, Inc. is proposing to construct a new addition to their warehouse located at 3217 Behrens Parkway in the Sheboygan Business Park. The applicant states the following:

- The existing structure at Behrens Parkway is 67,500 square feet. The proposed addition is either a 68,225 square foot or 104,225 square foot expansion.
- Torginol is a manufacturer of materials used in the resinous floor industry. They manufacture inert decorative color flake and pigmented granular materials that are used for various types of floor coatings in commercial, industrial, and residential applications.
- The expansion will add capacity to Torginol's production and warehouse capacity. They plan to have a mix of approximately 50% warehouse and 50% manufacturing operations in the completed facility.
- There will be approximately 35 employees on first shift, 25 employees on second shift, there is currently not a third shift and there are no current plans to add a third shift.
- The project is being quoted in a parallel path to this approval. Final costs are not known at this time, but are anticipated to fall somewhere between 3.5 million and 4 million dollars for the 68,225 square foot option.
- The project timeline is not solidified, but could be ready to commence work in the 3rd quarter of 2024. The project is expected to be completed within 9 months.
- Torginol's business model, operations, and building design is compatible with adjacent properties in the area as they too have manufacturing and warehouse occupancies.

Adjacent building types are either precast concrete or pre-engineered steel, which complement the existing building and proposed expansion.

- The planned expansion is simply an extension in every way of what Torginol currently does and who they currently are as a company. There will not be any new operations, products, processes, or radical design changes as a result of the expansion. They simply need additional square footage to accommodate client demand.
- The expansion is required to accommodate growth and respond to client demand. This will create additional revenue for Torginol, which in turn will allow them to create additional future employment opportunities and doing so in a way that is code compliant, that does not negatively impact the community or the environment, and that has a trickle-down effect to other local businesses that provide services to Torginol.

Specific improvements include:

- The site design includes the construction of an access road around the west and south sides of the facility.
- The road will then cross the drainage swale to access the adjacent south parcel and continue in a westward direction and connect to the existing access road of the Tower Drive facility. The road will allow access to the proposed loading docks, access for fire department and emergency response vehicles, and create an access path that encircles both facilities, providing access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings easily and efficiently without having to enter public ways.
- The project will include the installation of new stormwater piping that will tie into the existing storm water pond to the northeast of the proposed building location.
- Downspouts for the expansion will be tied into the proposed storm piping.
- The site will be landscaped to meet the requirements of the City of Sheboygan.
- Exterior lighting will consist of building mounted wall pack lighting to match existing conditions. In addition, light poles will be installed to illuminate the south parking lot.
- There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.
- Proposed floor area, landscape area, and parking area expressed in square feet and acreage.
 - Floor area: either 68,225 or 104,225 square feet / 1.57 or 2.39 acres
 - Landscape area: 107,000 square feet (seeded & landscaped area)
 - Parking area: 28,000 square feet / 0.64 acres
 - Total area of impact: 203,000 square feet / 4.66 acres
- The proposed expansion will be added to the south of the existing structure.
- Dimensions will measure either 180' x 375' or 180' x 575'.
- Either option will have a 29'x25' loading dock structure on the south face.
- The design of the expansion will be an extension of the existing building in terms of style, materials, colors, eave heights, and glass.

- Both the expansion and the existing building are compatible with the other businesses in the area and consistent with their general designs and building features.
- Two framed openings will be created between the existing building and the expansion to create traffic flow between the two spaces.
- On the exterior, the only renovation on the existing building will be the conversion from a red accent band color to black. The material will remain in the same locations.
- At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus.
- The project will add (70) parking spots that will benefit both the Behrens Parkway and Tower Drive facilities.
- The project will be in full compliance with all zoning, stormwater management, building code, and other regulatory agency standards. There will not be a significant amount of new traffic created, the project exceeds the amount of parking needed for current employment levels, and there will be no negative impacts on public property or rights-of-way as a result of the expansion.
-

STAFF COMMENTS:

The applicant is proposing to construct a driveway that will connect Torginol's new warehouse addition to their facility to the east at 4530 Tower Drive. The proposed driveway crosses a 50 foot stormwater easement that accepts water from many of the properties up stream and deposits the stormwater into the City Business Park retention pond located at the southwest intersection of Behrens Parkway and Tower Drive (parcel # 59281479084). A couple of comments concerning this proposed driveway and required easements:

- The applicant will need to create an access easement between their three (3) properties allowing each property to utilize and share this proposed access drive. Applicant is requesting a variance to the paving setback and the access easement helps justify such a request. This access easement shall be created prior to building permit issuance.
- The applicant shall work with the City and the engineering department on the required easement and the specifications that the driveway will be required to meet in order to ensure that the stormwater easement continues to appropriately function.
- City staff has no issues with this driveway connection as long as the required easement document is completed and as long as the driveway is constructed properly and does not impact this storm water facility. The applicant will work with the City and the Engineering Department on the proposed easement and construction drawings/specifications prior to any construction taking place.
- The stormwater easement document between the applicant and the City shall reserve all of the rights required for the adequate operation of this stormwater easement facility and shall place obligations on Torginol including but not limited to maintenance, cleaning, etc.
- Such a storm water easement document requires City Council approval.

The applicant is requesting the following variances:

- Requesting a zero (0) foot sideyard paving setback – The minimum sideyard paving setback is five (5) feet.

Will require an access easement between the properties located at 4350 S. Tower Drive to the east, parcel #59281479086 to the south, and the warehouse facility permitting the three (3) lots to share access.

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

ACTION REQUESTED:


Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin DNR, Army Corp of Engineers, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a proposed landscape plan prior to building permit issuance. Applicant will submit a landscape plan that addresses all four (4) landscaping requirements (except for approved landscape locational variance). Landscaping shall be installed prior to issuance of an occupancy permit.
4. Fencing shall be installed per Section 105-945 of the City Zoning Ordinance.
5. Outdoor storage of materials, products or equipment shall be prohibited.
6. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
7. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
8. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
9. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
10. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
11. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).


12. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
13. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
14. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
15. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
16. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
17. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
18. Applicant shall adequately address all Fire Department concerns related to this development.
19. The applicant may construct a driveway connecting parcels 59281479085, 59281479086, and 59281479081 if and only if the applicant obtains the required easement from the City permitting this to occur. This easement shall be completed prior to building permit issuance.
20. This driveway crossing the storm water easement shall be constructed to specifications required by the City Engineering Department. The driveway construction/specifications drawings shall be approved prior to building permit issuance.
21. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
22. Applicant shall meet the Sheboygan Business Park Protective Covenants.
23. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
24. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and Attachments

	<p align="center">CITY OF SHEBOYGAN</p> <p align="center">APPLICATION FOR CONDITIONAL USE</p>	<div>Item 6.</div>	
		Fee: \$250.00	
		Review Date: _____ Zoning: _____	

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.		Authorized Representative Chris Herzog	
Title President			
Mailing Address 3510 S. 26th St.	City Manitowoc	State WI	ZIP Code 54220
Email Address cherzog@acebuildingservice.com		Phone Number (incl. area code) 920-682-6105	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) Torginol, Inc.		Contact Person Tom Testwuide	
Title President			
Mailing Address 4617 S. Taylor Dr.	City Sheboygan	State WI	ZIP Code 53081
Email Address tom@torginol.com		Phone Number (incl. area code) 920-694-4800	
SECTION 3: Project or Site Location			
Project Address/Description 3217 Behrens Parkway		Parcel No. 59281479085	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		Torginol, Inc.	
Existing Zoning:		Suburban Industrial	
Present Use of Parcel:		Warehousing	
Proposed Use of Parcel:		Warehouse (50%) / Manufacturing (50%)	
Present Use of Adjacent Properties:		Warehousing/Manufacturing	
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Christopher Herzog		Title President, A.C.E. Building Service	Phone Number (920) 682-6105
Signature of Applicant 		Date Signed 6/28/2024	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

Conditional Use Written Explanation Requirements

A. Name of project / development

- a. Torginol, Inc. Behrens Parkway Expansion

B. Summary of Conditional Use and general operation of proposed use:

a. Description of existing use

- i. Torginol is a manufacturer of materials used in the resinous floor industry. They manufacture inert decorative color flake and pigmented granular materials that are used for various types of floor coatings in commercial, industrial, and residential applications.

b. Description of Proposed use (indoor, outdoor, etc.), why was this site selected?

- i. The expansion will add capacity to Torginol's production and warehouse capacity. They plan to have a mix of approximately 50% warehouse and 50% manufacturing operations in the completed facility.

c. All Services, products, etc. to be provided

- i. As stated in part B, subpart a.

d. Projected number of residents, employees, and/or daily customers

- i. Employees: Approximately 35 employees on first shift, 25 employees on second shift, there is currently not a third shift and there are no current plans to add a third shift.
- ii. Daily Customers: none

e. Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage.

- i. Floor area: either 68,225 or 104,225 square feet / 1.57 or 2.39 acres
- ii. Landscape area: 107,000 square feet (seeded & landscaped area)
- iii. Parking area: 28,000 square feet / 0.64 acres
- iv. Total area of impact: 203,000 square feet / 4.66 acres

f. Description of proposed building and all new site improvements

- i. The existing structure at Behrens Parkway is 67,500 square feet. The proposed expansion. It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct either a 68,225 square foot or 104,225 square foot expansion. The site design includes the construction of an access road around the west and south sides of the facility. The road will then cross the drainage swale to access the adjacent south parcel and

continue in a westward direction and connect to the existing access road of the Tower Drive facility. The road will allow access to the proposed loading docks, access for fire department and emergency response vehicles, and create an access path that encircles both facilities, providing access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings easily and efficiently without having to enter public ways. The project will include the installation of new stormwater piping that will tie into the existing storm water pond to the northeast of the proposed building location. Downspouts for the expansion will be tied into the proposed storm piping. The site will be landscaped to meet the requirements of the City of Sheboygan. Exterior lighting will consist of building mounted wall pack lighting to match existing conditions. In addition, light poles will be installed to illuminate the south parking lot. There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.

- g. Written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area.**
- i. The proposed expansion will be added to the south of the existing structure. Dimensions will measure either 180' x 375' or 180' x 575'. Either option will have a 29'x25' loading dock structure on the south face. The design of the expansion will be an extension of the existing building in terms of style, materials, colors, eave heights, and glass. Both the expansion and the existing building are compatible with the other businesses in the area and consistent with their general designs and building features.
- h. An explanation of any interior and/or exterior renovations**
- i. Two framed openings will be created between the existing building and the expansion to create traffic flow between the two spaces. On the exterior, the only renovation on the existing building will be the conversion from a red accent band color to black. The material will remain in the same locations.
- i. Is access appropriate and is there sufficient customers/resident off-street parking?**
- i. At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will add (70) parking spots that will benefit both the Behrens Parkway and Tower Drive facilities.

- j. Proposed signage**
 - i. Torginol plans to install monument signage for the facility at a later date and will handle as a separate project.
 - k. Project timeline and estimated value of project**
 - i. The project timeline is not solidified, but could be ready to commence work in the 3rd quarter of 2024. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time, but are anticipated to fall somewhere between 3.5 million and 4 million dollars for the 68,225 square foot option.
 - l. Compatibility of the proposed use and design with adjacent and other properties in the area.**
 - i. Torginol's business model, operations, and building design is compatible with adjacent properties in the area as they too have manufacturing and warehouse occupancies. Adjacent building types are either precast concrete or pre-engineered steel, which compliment the existing building and proposed expansion.
 - m. How will you insure that the business will not become a nuisance to adjacent properties (i.e. setbacks, parking, landscaping, etc.....)**
 - i. Torginol has long demonstrated their commitment to keeping all of their properties orderly and tidy. Because of the size of the structures, the exterior walls must remain 60 feet or more away from the property lines to maintain an unlimited area classification as stated in the International Building Code, which is far greater than the required zoning setback. Torginol has contract agreements with lawncare and landscaping companies to maintain their grounds.
 - n. Other information that would be considered pertinent by the Plan Commission**
 - i. The planned expansion is simply an extension in every way of what Torginol currently does and who they currently are as a company. There not be any new operations, products, processes, or radical design changes as a result of the expansion. They simply need additional square footage to accommodate client demand.
- C. If applicable, please describe any exceptions / variances that are required for this project (i.e. setbacks, parking, landscaping, etc.)**
- a. There are no known variances required for the proposed expansion.

D. Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:

- a. How is the proposed conditional use (independent of its location) in harmony with the purpose, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan?**
 - i. As previously stated, the expansion is required to accommodate growth and respond to client demand. This will create additional revenue for Torginol, which in turn will allow them to create additional future employment opportunities and doing so in a way that is code compliant, that does not negatively impact the community or the environment, and that has a trickle-down effect to other local businesses that provide services to Torginol.
- b. Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?**
 - i. Neither the conditional use or the proposed location of the expansion result in any adverse impacts on nearby property or other conditions as stated. The project will be in full compliance with all zoning, stormwater management, building code, and other regulatory agency standards. There will not be a significant amount of new traffic created, the project exceeds the amount of parking needed for current employment levels, and there will be no negative impacts on public property or rights-of-way as a result of the expansion.
- c. How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?**
 - i. As this is an expansion to an existing facility previously approved, the requested conditional use is consistent with the land use of the existing building and rightly so of those adjacent to and around the property.
- d. Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?**
 - i. Yes – the existing facility is served with electrical service from Alliant Energy, water from the City of Sheboygan, and sanitary sewer from the City of Sheboygan. All services are adequate in size and will not require any alteration as a result of the expansion.

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continue in a westward direction and connect to the existing access road of the Tower Drive facility. The road will allow access to the proposed loading docks, access for fire department and emergency response vehicles, and create an access path that encircles both facilities, providing access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings easily and efficiently without having to enter public ways. The project will include the installation of new stormwater piping that will tie into the existing storm water pond to the northeast of the proposed building location. Downspouts for the expansion will be tied into the proposed storm piping. The site will be landscaped to meet the requirements of the City of Sheboygan. Exterior lighting will consist of building mounted wall pack lighting to match existing conditions. In addition, light poles will be installed to illuminate the south parking lot. There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.

- g. Written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area.**
 - i. The proposed expansion will be added to the south of the existing structure. Dimensions will measure either 180' x 375' or 180' x 575'. Either option will have a 29'x25' loading dock structure on the south face. The design of the expansion will be an extension of the existing building in terms of style, materials, colors, eave heights, and glass. Both the expansion and the existing building are compatible with the other businesses in the area and consistent with their general designs and building features.
- h. An explanation of any interior and/or exterior renovations**
 - i. Two framed openings will be created between the existing building and the expansion to create traffic flow between the two spaces. On the exterior, the only renovation on the existing building will be the conversion from a red accent band color to black. The material will remain in the same locations.
- i. Is access appropriate and is there sufficient customers/resident off-street parking?**
 - i. At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will add (70) parking spots that will benefit both the Behrens Parkway and Tower Drive facilities.

j. Proposed signage

- i. Torginol plans to install monument signage for the facility at a later date and will handle as a separate project.

k. Project timeline and estimated value of project

- i. The project timeline is not solidified, but could be ready to commence work in the 3rd quarter of 2024. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time, but are anticipated to fall somewhere between 3.5 million and 4 million dollars for the 68,225 square foot option.

l. Compatibility of the proposed use and design with adjacent and other properties in the area.

- i. Torginol's business model, operations, and building design is compatible with adjacent properties in the area as they too have manufacturing and warehouse occupancies. Adjacent building types are either precast concrete or pre-engineered steel, which compliment the existing building and proposed expansion.

m. How will you insure that the business will not become a nuisance to adjacent properties (i.e. setbacks, parking, landscaping, etc.....)

- i. Torginol has long demonstrated their commitment to keeping all of their properties orderly and tidy. Because of the size of the structures, the exterior walls must remain 60 feet or more away from the property lines to maintain an unlimited area classification as stated in the International Building Code, which is far greater than the required zoning setback. Torginol has contract agreements with lawncare and landscaping companies to maintain their grounds.

n. Other information that would be considered pertinent by the Plan Commission

- i. The planned expansion is simply an extension in every way of what Torginol currently does and who they currently are as a company. There not be any new operations, products, processes, or radical design changes as a result of the expansion. They simply need additional square footage to accommodate client demand.

C. If applicable, please describe any exceptions / variances that are required for this project (i.e. setbacks, parking, landscaping, etc.)

- a. There are no known variances required for the proposed expansion.

D. Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:

- a. How is the proposed conditional use (independent of its location) in harmony with the purpose, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan?**
 - i. As previously stated, the expansion is required to accommodate growth and respond to client demand. This will create additional revenue for Torginol, which in turn will allow them to create additional future employment opportunities and doing so in a way that is code compliant, that does not negatively impact the community or the environment, and that has a trickle-down effect to other local businesses that provide services to Torginol.
- b. Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?**
 - i. Neither the conditional use or the proposed location of the expansion result in any adverse impacts on nearby property or other conditions as stated. The project will be in full compliance with all zoning, stormwater management, building code, and other regulatory agency standards. There will not be a significant amount of new traffic created, the project exceeds the amount of parking needed for current employment levels, and there will be no negative impacts on public property or rights-of-way as a result of the expansion.
- c. How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?**
 - i. As this is an expansion to an existing facility previously approved, the requested conditional use is consistent with the land use of the existing building and rightly so of those adjacent to and around the property.
- d. Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?**
 - i. Yes – the existing facility is served with electrical service from Alliant Energy, water from the City of Sheboygan, and sanitary sewer from the City of Sheboygan. All services are adequate in size and will not require any alteration as a result of the expansion.

Conditional Use Written Explanation Requirements

A. Name of project / development

- a. Torginol, Inc. Behrens Parkway Expansion

B. Summary of Conditional Use and general operation of proposed use:

a. Description of existing use

- i. Torginol is a manufacturer of materials used in the resinous floor industry. They manufacture inert decorative color flake and pigmented granular materials that are used for various types of floor coatings in commercial, industrial, and residential applications.

b. Description of Proposed use (indoor, outdoor, etc.), why was this site selected?

- i. The expansion will add capacity to Torginol's production and warehouse capacity. They plan to have a mix of approximately 50% warehouse and 50% manufacturing operations in the completed facility.

c. All Services, products, etc. to be provided

- i. As stated in part B, subpart a.

d. Projected number of residents, employees, and/or daily customers

- i. Employees: Approximately 35 employees on first shift, 25 employees on second shift, there is currently not a third shift and there are no current plans to add a third shift.
- ii. Daily Customers: none

e. Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage.

- i. Floor area: either 68,225 or 104,225 square feet / 1.57 or 2.39 acres
- ii. Landscape area: 107,000 square feet (seeded & landscaped area)
- iii. Parking area: 28,000 square feet / 0.64 acres
- iv. Total area of impact: 203,000 square feet / 4.66 acres

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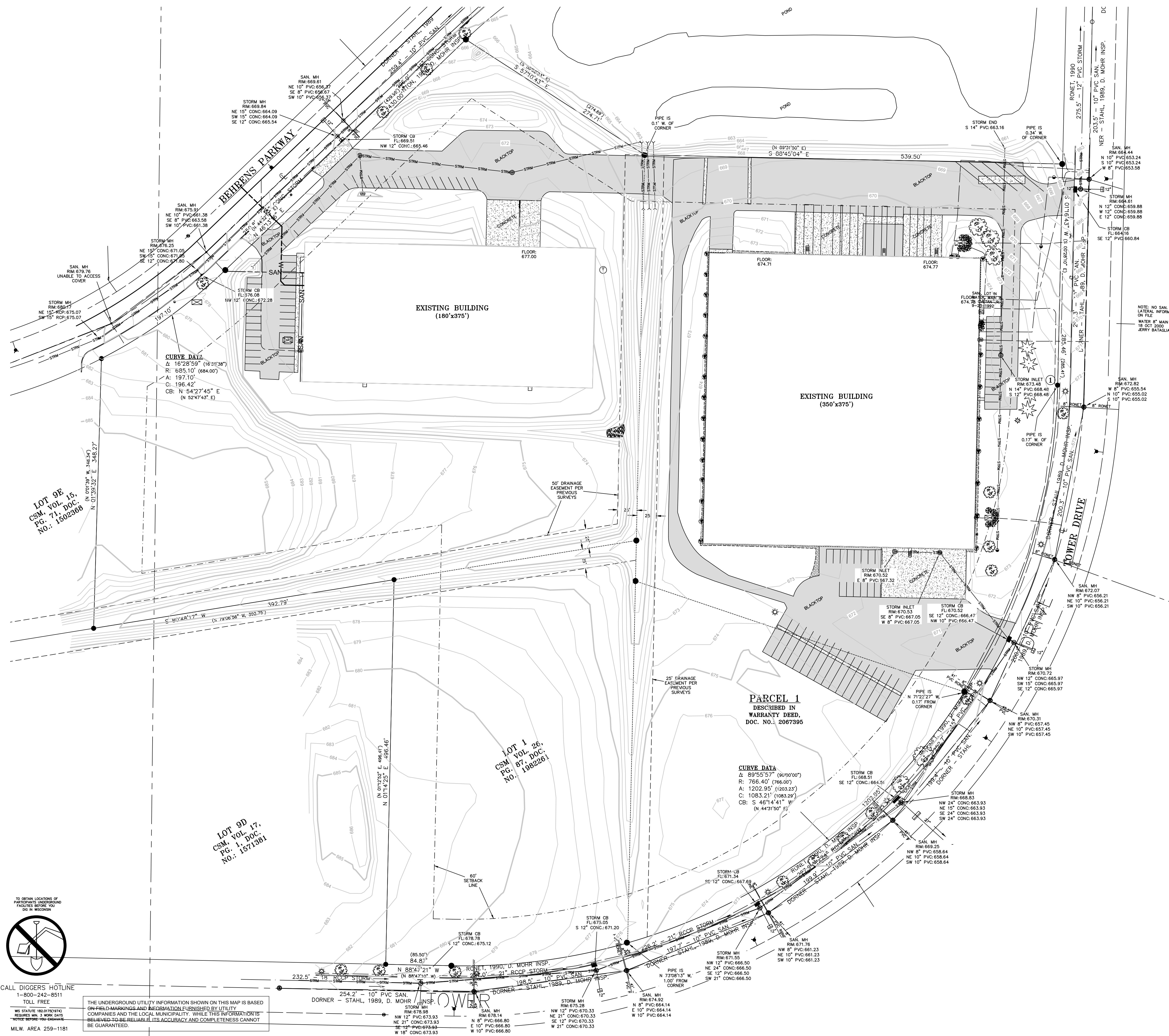
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GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON UNIFIED LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY CORNER POINT ON 5/14/2024.
4. BENCHMARK FOR THE PROJECT SURVEY IS TOP OF HYD. NORTH SIDE OF BEHRNS PARKWAY. COORDINATE SITE CONTROL WITH CENTER POINT.
5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.

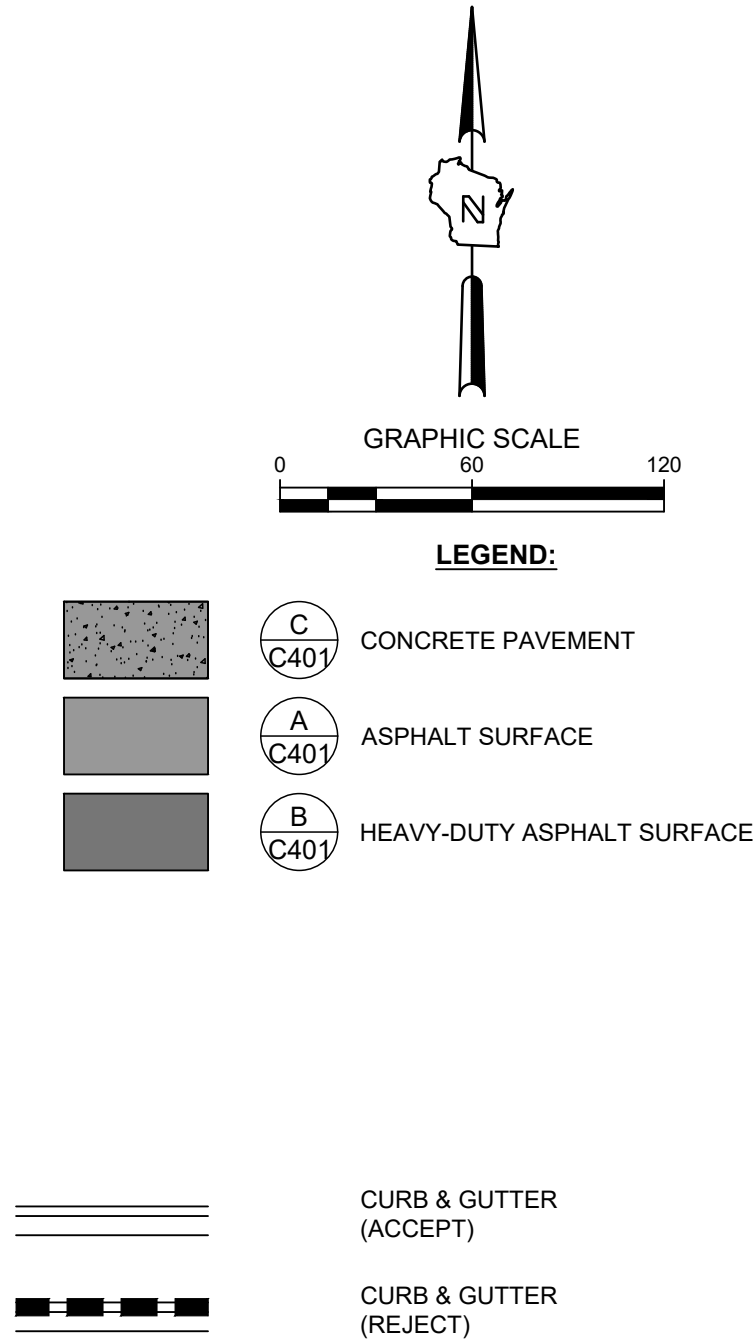
	SECTION 1/4 SECTION LINE
	PROPERTY LINE
	EASEMENT
	CHAIN LINK FENCE
	GUARD RAIL
	METAL FENCE
	WOOD FENCE
	TREE LINE
	OVERHEAD UTILITY LINE
	ELECTRIC
	TELEPHONE
	FIBER OPTIC
	CABLE TV
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	WATER MAIN
	GAS
	EXISTING CONTOUR
	WETLAND
	FLOODPLAIN
	UNKNOWN MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	ELECTRIC MANHOLE
	MMSD MANHOLE
	TELEPHONE MANHOLE
	CLEANOUT
	CATCH BASIN
	CATCH BASIN (ROUND)
	ROOF DRAIN
	CULVERT END
	HYDRANT
	WATER VALVE
	GAS VALVE
	GAS METER
	ELECTRIC METER
	UTILITY PEDESTAL
	HANDHOLE
	VENT
	MONITORING WELL
	IRON PIPE FOUND/SET
	REBAR FOUND/SET
	CHISELED CROSS FOUND/SET
	PK NAIL FOUND/SET
	SPIKE/NAIL
	MONUMENT
	BENCHMARK
	SIGN
	PARKING METER
	FLAG POLE
	8\"/>
	8\"/>
	BUSH
	POST
	SOIL BORING
	TRAFFIC SIGNAL
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	GUY POLE

SITE SURVEY

<p>PROJECT INFORMATION:</p> <p>TORGINOL BEHRENS PHASE 2</p> <p>3217 BEHRENS PKWY SHEBOYGAN, WI 53081</p>	<p>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</p>		<p>ACE BUILDING SERVICE</p> <p>OUR REPUTATION IS OUR FOUNDATION</p> <p>P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM</p>	REVISION DESCRIPTION	DATE	REV. BY
<p>SHEET INFORMATION</p> <p>A.C.E. JOB NO.</p> <p>DATE: 7/1/2024</p> <p>DRAWN BY: ---</p> <p>SCALE: 1"=60'</p>		<p>SHEET</p> <p>C001</p>				
		<p>Item 6.</p>				

DRAFT

SITE INFORMATION		
SITE AREA	974419	22.370 AC
SITE DISTURBED AREA	192250	4.413 AC
PROPOSED ASPHALT (REG DUTY)	27896	0.640 AC
PROPOSED ASPHALT (HEAVY DUTY)	40628	0.933 AC
PROPOSED CONCRETE PAVEMENT	2421	0.056 AC
PROPOSED BUILDING AREA	68225	1.566 AC
TOTAL PARKING SPACES	69	
ADA PARKING SPACES	----	



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 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
 - SITE PLAN ADHERES TO SHEBOYGAN FIRE TRUCK TURNING REQUIREMENTS.

SITE PLAN

ACE BUILDING SERVICE

OUR REPUTATION IS OUR FOUNDATION

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TORGINOL BEHRENS PHASE 2

3217 BEHRENS PKWY
SHEBOYGAN, WI 53081

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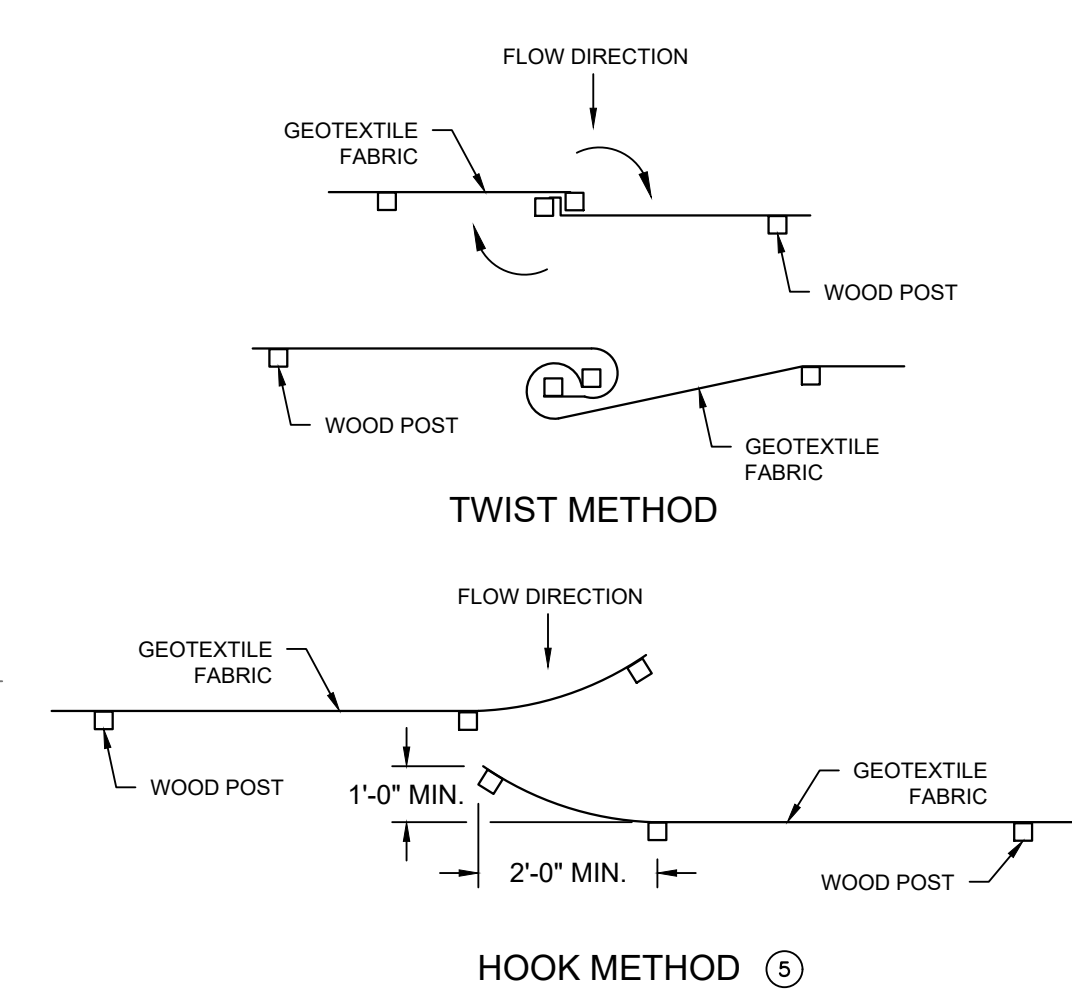
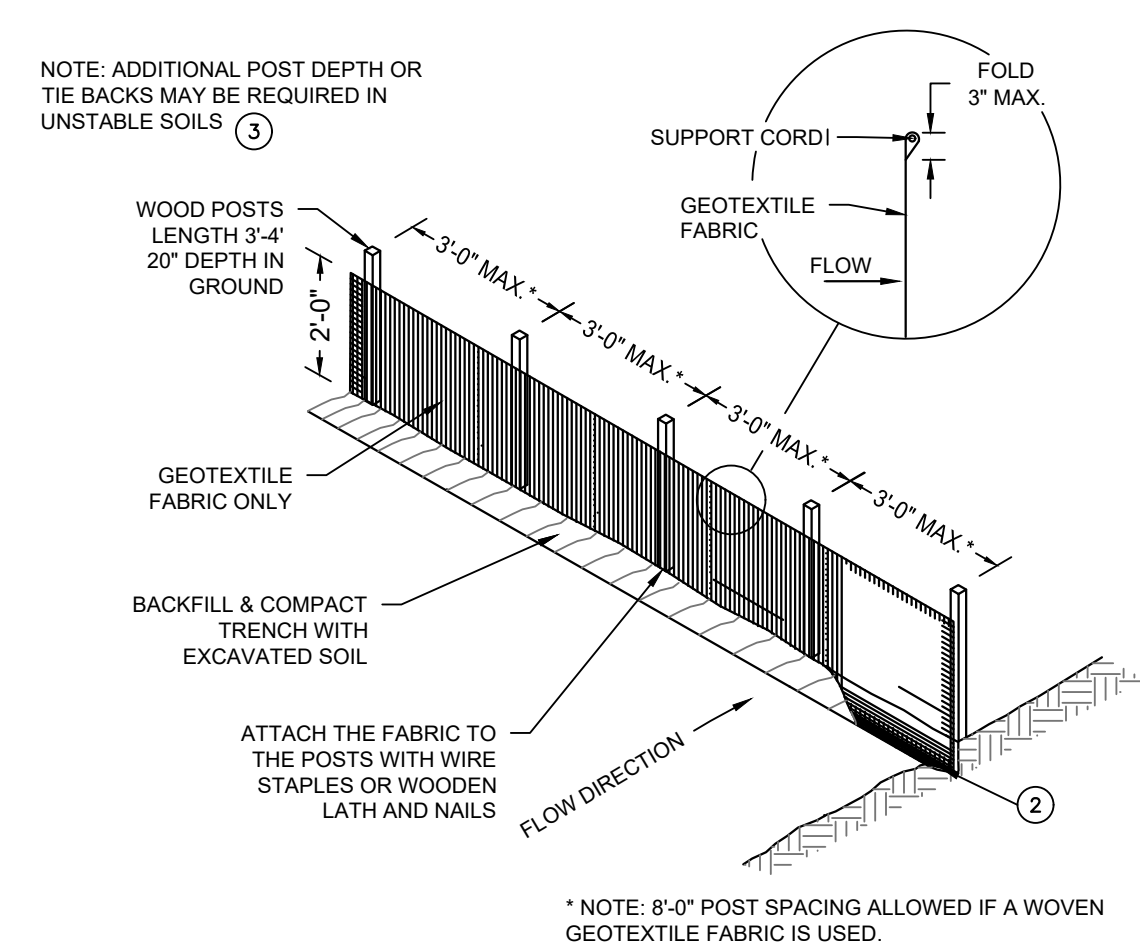
DATE: 7/1/2024

DRAWN BY: ----

SCALE: 1"=60'

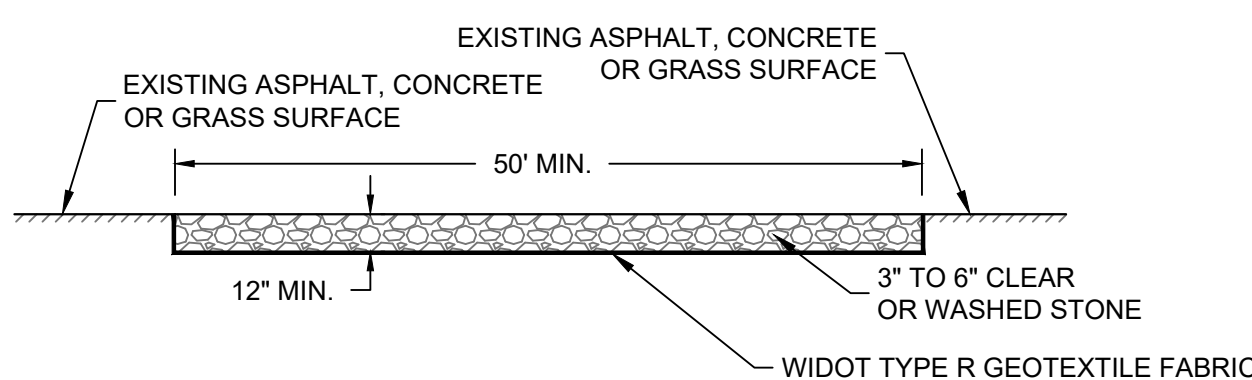
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C100



GENERAL NOTES:		(WITH CURB BOX)	PLASTIC TIES	WITHOUT A CURB BOX AS PER NOTE ④
1.	MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY SUBSTITUTES LIST.		<u>INSTALLATION NOTES:</u>	
2.	WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.		TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.	
③.	FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.		TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. TRIM EXCESS FABRIC AT THE BAC TO BE PARALLEL TO THE BAC.	
④.	FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OR FLAP POCKET.		BETWEEN THE INLET WALLS AND THE BAC, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3" WHERE NECESSARY THE CONTRACTOR SHALL CINCHE THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.	
⑤.	FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.			
6.	INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060			
7.	THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2			

(B) SILT FENCE - WDNR TS-1056
SCALE: 1" = 1'



GENERAL NOTE:

1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

MENT LOG / SILT SOCK
(2" OR 18" TYPICAL)

CONCRETE BLOCKS SIZED
SLOPE (10' O.C. MIN.)

AREA TO BE PROTECTED

CONSTRUCTION

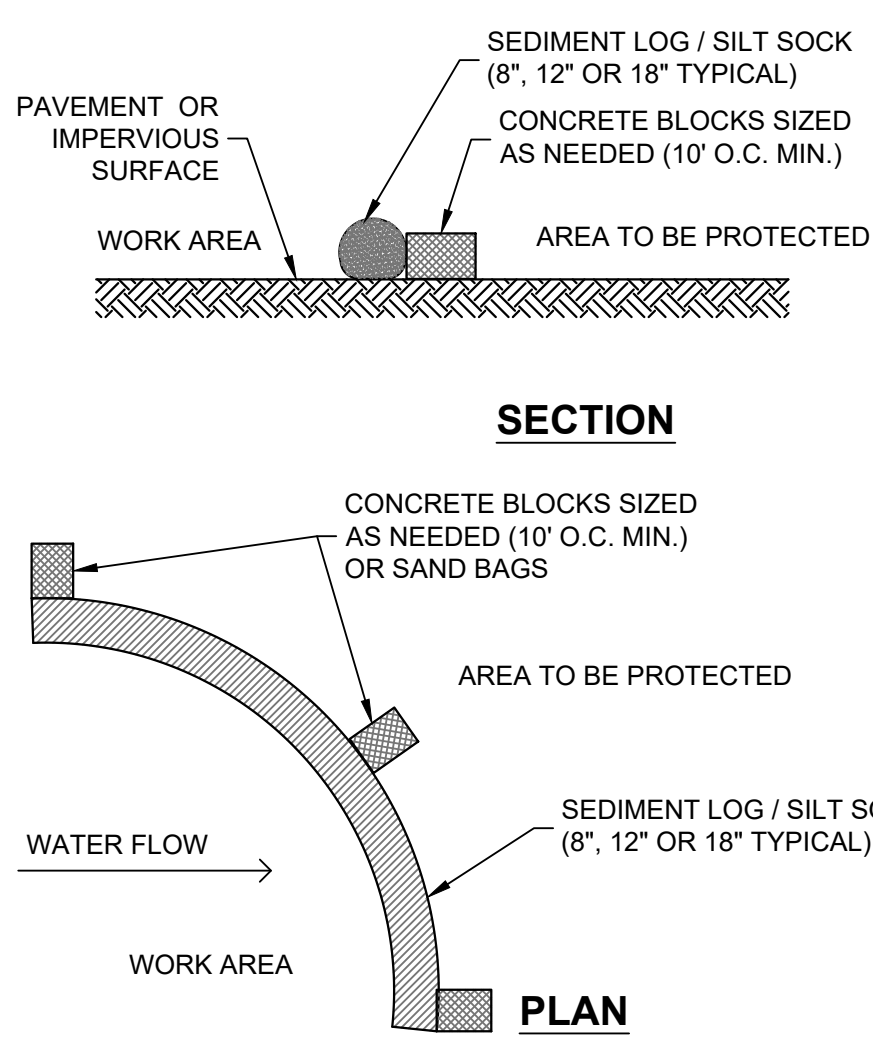
NOTES

SLOPE INSTALLATION

NOTES:

1. ECRMs (EROSION CONTROL REVEGETATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
2. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
3. TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED INCONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
4. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SLOPE HAS BEEN STABILIZED.
5. EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
6. INSTALL PER MANUFACTURERS SPECIFICATIONS.
7. WHERE A TRM IS INSTALLED, THE TRM LOCATION SHALL BE AS-BUILT PRIOR TO PLACEMENT OF TOPSOIL AND ECRM PLACEMENT. PROVIDE AS-BUILT LOCATION TO THE ENGINEER.

E EROSION MATTING - WDNR TS-1052
SCALE: 1" = 1'



(D) SEDIMENT LOG - SILT SOCK ON PAVEMENT
SCALE: 1" = 1'

CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCING AND INLET PROTECTION.
3. INITIATE STOCKPILING OF IMPORTED MATERIAL. PLACE SILT FENCE AROUND STOCKPILE(S).
4. STRIP TOPSOIL FROM STORM WATER BASIN LOCATION AND STOCKPILE.
5. CONSTRUCT STORM WATER BASIN AND INSTALL TEMPORARY OUTLET AND EMERGENCY OVERFLOW. BASIN IS TO BE USED AS A SEDIMENTATION BASIN DURING THE COURSE OF CONSTRUCTION.
6. CONSTRUCT DIVERSION SWALES, DIRECT RUNOFF TO STORM BASIN. INSTALL ASSOCIATED DITCH CHECKS.
7. INSTALL RIP-RAP AT STORM WATER BASIN AS SHOWN ON THE PLANS.
8. STRIP TOPSOIL FROM REMAINDER OF SITE IN A PROGRESSIVE MANNER, AND STOCKPILE.
9. PERFORM ROUGH SITE GRADING. STABILIZE FINISHED AREAS AS THE WORK PROGRESSES. USE EROSION MATTING WHERE CALLED FOR ON THE PLANS. PER WDMR TECHNICAL STANDARD 1059: AREAS THAT RECEIVE TEMPORARY SEEDING SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 2 INCHES. AREAS THAT RECEIVE PERMANENT SEEDING SHALL HAVE A MINIMAL TOPSOIL DEPTH OF 4 INCHES.
10. PREPARE BUILDING PAD AND BEGIN FOUNDATIONS WORK FOR BUILDING.
11. INSTALL UTILITIES. INSTALL ANY ADDITIONAL INLET PROTECTION ON NEW STORM SEWER AND INSTALL RIP-RAP AT NEW STORM SEWER OUTFALLS.
12. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE ON BASIN AND INSTALL PAVEMENTS.
13. STABILIZE AREAS REMAINING AREAS WITHIN 7 DAYS OF COMPLETION OF FINAL GRADING AND TOPSOILING.
14. REMOVE EXCESS SEDIMENT FROM STORMWATER BASINS AND RETURN BASINS TO THEIR DESIGN DIMENSIONS AND VOLUMES.
15. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.

1. EXCEPT FOR STRIPPED TOPSOIL TO OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE.
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
3. SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING.
5. DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE.
6. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
7. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.
8. PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.
9. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.
10. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES.
11. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND.
12. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.
13. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS.
14. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
15. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES.
17. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

1. ALL PRIVATE STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING CODE - CHAPTERS SPS 382 AND SPS 384 AND LOCAL MUNICIPAL REQUIREMENTS.
2. ALL PUBLIC STORM SEWER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS.
3. PVC SEWER PIPE AND FITTINGS: ASTM D 3034, SDR 35, WITH BELL-AND-SPIGOT ENDS WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH CHAPTER 8.10.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. JOINTS SHALL CONFORM TO ASTM D-3212.
4. REINFORCED CONCRETE PIPE: ASTM C76 WITH BELL AND SPIGOT ENDS AND GASKETED JOINTS WITH ASTM C443 RUBBER GASKETS IN ACCORDANCE WITH CHAPTER 8.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
5. HDPE PIPE: ADS N12 PIPE AS APPROVED ON THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCT REGISTER.
6. CATCH BASINS: STANDARD PRECAST CONCRETE CATCH BASINS CONFORMING TO CHAPTER 3.6.0 OF THE STANDARD SPECIFICATIONS AND IN GENERAL CONFORMANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS. DEPTH AND DIAMETER AS INDICATED ON PLANS. CATCH BASIN SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
7. FRAMES AND GRATES: AS INDICATED ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SPECIFIED FRAME/GRATE IS COMPATIBLE WITH STRUCTURE; IF NOT, NOTIFY ENGINEER.
8. MANHOLES: STANDARD PRECAST REINFORCED CONCRETE MANHOLES CONFORMING TO ASTM C478, SECTION 8.39.0 OF THE STANDARD SPECIFICATIONS AND CONFORMING TO FILE NOS. 12, 13 AND 15 OF THE STANDARD SPECIFICATIONS. DIAMETER AND DEPTH AS INDICATED ON PLANS. MANHOLE SIZES TO BE VERIFIED BY CONTRACTOR AND SHOP DRAWINGS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW PRIOR TO ORDERING STRUCTURES.
9. MANHOLES AND CATCH BASINS DEEPER THAN FOUR FEET SHALL BE PROVIDED WITH MANHOLE STEPS CONFORMING TO SECTION 8.40.0 OF THE STANDARD SPECIFICATIONS.
10. SEWERS SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 3.2.0 OF THE STANDARD SPECIFICATIONS. INSTALL PROPER SIZE INCREASERS, REDUCERS AND COUPLINGS WHERE DIFFERENT SIZES OR MATERIALS OF PIPES AND FITTINGS ARE CONNECTED. INSTALL TRACER PIPE OVER NON-METALLIC PIPING IN ACCORDANCE WITH SPS SECTION 382.30(11)(H) AND 382.36(7)(D).
11. PROVIDE AND INSTALL CLEANOUTS IN ACCORDANCE WITH SPS CHAPTER 382.35. INSTALL CLEANOUTS AND RISER EXTENSIONS FORM SEWER PIPES TO PROPOSED GRADE. INSTALL PIPING SO CLEANOUTS OPEN IN DIRECTION OF FLOW IN SEWER PIPE. USE LIGHT DUTY, TOP LOADING CLASSIFICATION CLEANOUTS IN EARTH OR UNPAVED FOOT TRAFFIC AREAS; USE MEDIUM DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN PAVED FOOT TRAFFIC AREAS; USE HEAVY DUTY, TOP-LOADING CLASSIFICATION CLEANOUTS IN VEHICULAR TRAFFIC AREAS. SET CLEANOUT FRAMES AND COVERS IN PAVEMENT AREAS FLUSH WITH PAVEMENT SURFACE.
12. CLASS B COMPACTED TRENCH SECTION (FILE NO. 4 OF STANDARD SPECIFICATIONS) SHALL BE UTILIZED. BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.43.0 OF THE STANDARD SPECIFICATIONS.
13. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIVE FEET OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.
14. MANHOLE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.0 OF THE STANDARD SPECIFICATIONS. SET MANHOLE RIMS TO ELEVATIONS INDICATED ON PLANS.
15. CATCH BASIN INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 3.6 OF THE STANDARD SPECIFICATIONS. CATCH BASIN EXCAVATION AND PREPARATION SHALL BE IN ACCORDANCE WITH SECTION 3.5.4(A) AND (B) OF THE STANDARD SPECIFICATIONS. FRAMES AND GRATES SHALL BE SET TO THE ELEVATIONS SHOWN ON THE PLANS.
16. AFTER INSTALLATION OF SEWER PIPE CLEAN ALL DEBRIS FROM SEWER AND INSPECT INTERIOR OF PIPING TO DETERMINE WHETHER LINE DISPLACEMENT OR OTHER DAMAGE HAS OCCURRED. CONDUCT DEFLECTION TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SECTION 3.2.6(J)4 OF THE STANDARD SPECIFICATIONS; REPLACE ANY PIPE SECTION NOT PASSING THE DEFLECTION TESTING USING NEW PIPE MATERIALS.

ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER PRESENTED IN THE SITE GEOTECHNICAL REPORT, GEOTECHNICAL ENGINEER RECOMMENDATIONS MADE IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.

2. CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.

3. CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.

4. OLD BUILDING FOUNDATIONS, BUILDING REMNANTS OR UNSUITABLE BACKFILL MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND THE NEW BUILDING PAD AREAS. THE RESULTING EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL.

5. FOUNDATIONS, FOUNDATION WALLS OR CONCRETE FLOOR SLABS SHALL BE REMOVED TO A MINIMUM OF TWO FEET BELOW PROPOSED SUBGRADE WITHIN PROPOSED PARKING AND GREENSPACE AREAS. BASEMENT SLABS LOCATED BELOW 2 FEET FROM PLANNED SUBGRADE ELEVATION MAY BE LEFT IN PLACE BUT SHALL BE BROKEN INTO MAXIMUM 6 INCH PIECES TO FACILITATE DRAINAGE.

6. SATISFACTORY SOILS FOR FILL: ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER OR ANY SOIL GROUP OR COMBINATION OF GROUPS APPROVED OF BY THE PROJECT GEOTECHNICAL ENGINEER

7. UNSATISFACTORY SOILS FOR FILL: SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487 OR A COMBINATION OF THESE GROUPS UNLESS DEEMED SATISFACTORY BY THE PROJECT GEOTECHNICAL ENGINEER. UNSATISFACTORY SOILS ALSO INCLUDE SOILS NOT MAINTAINED WITHIN 3 PERCENT OF OPTIMUM SOIL MOISTURE CONTENT AT THE TIME OF COMPACTION.

8. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION.

9. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940; WITH AT LEAST 90 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 SIEVE OR ANY SOIL DEEMED ACCEPTABLE FOR ENGINEERED FILL BY THE PROJECT GEOTECHNICAL ENGINEER. ENGINEERED FILL SHALL BE FREE OF ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIAL AND HAVE A MAXIMUM PARTICLE SIZE LESS THAN 3 INCHES. CLAY FILLS SHALL HAVE A LIQUID LIMIT OF LESS THAN 49 AND PLASTICITY INDEX BETWEEN 11 AND 25.

10. BEDDING COURSE FOR SEWERS AND WATER SERVICE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND CONFORMING TO THE REQUIREMENTS OF SECTION 8.43.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

11. DRAINAGE COURSE BENEATH BUILDING SLABS: NARROWLY GRADED MIXTURE OF WASHED, CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COARSE-AGGREGATE GRADING SIZE 57; WITH 100 PERCENT PASSING A 1-1/2-INCH (37.5-MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 SIEVE.

12. TRENCH BACKFILL MATERIAL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS BENEATH AND WITHIN FIELD OF PAVEMENT AREAS; COMPACTED SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS MAY BE USED BENEATH LANDSCAPE AREAS.

13. PIPE COVER MATERIAL: CONFORM TO SECTION 8.43.3 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

14. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.

15. SHORING, SHEETING AND BRACING: SHORE, BRACE OR SLOPE BANKS OF EXCAVATION TO PROTECT WORKMEN, BANKS, ADJACENT PAVING, STRUCTURES, AND UTILITIES TO MEET OSHA REQUIREMENTS. DESIGN OF TEMPORARY SUPPORT OF EXCAVATION IS THE RESPONSIBILITY OF THE CONTRACTOR.

16. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. UNCLASSIFIED EXCAVATED MATERIALS MAY INCLUDE ROCK, SOIL MATERIALS, AND OBSTRUCTIONS. NO CHANGES IN THE CONTRACT SUM OR THE CONTRACT TIME WILL BE AUTHORIZED FOR ROCK EXCAVATION OR REMOVAL OF OBSTRUCTIONS.

17. PROOF-ROLL SUBGRADE BELOW THE BUILDING SLABS AND PAVEMENTS WITH FULLY LOADED TANDEM AXLE DUMP TRUCK OR RUBBER TIERED VEHICLE OF SIMILAR SIZE AND WEIGHT, TYPICALLY 9 TONS/AXLE, WHERE COHESIVE SOILS ARE ENCOUNTERED OR WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PRESENT. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES AND PROOFROLL IN DRY WEATHER. PROOF ROLL IN PRESENCE OF PROJECT GEOTECHNICAL ENGINEER OR TECHNICIAN. SOILS THAT ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD (TYPICALLY >1") SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED ENGINEERED FILL IN PAVEMENT AREAS WHERE UNDERCUTS ARE PERFORMED, THE EDGES OF THE OVEREXCAVATIONS SHALL BE FEATHERED INTO THE SURROUNDING SUITABLE SOIL SO THAT EDGE FAILURE OF THE OVEREXCAVATED AREA DOES NOT OCCUR.

18. DUE TO CLAYEY SOILS, IF UNDERCUTS OCCUR WITHIN PAVEMENT AREAS AND THEY ARE BACKFILLED WITH GRANULAR SOILS, THE BOTTOM OF THE OVEREXCAVATION SHALL BE SLOPED TO A DRAINPILE THAT IS IN KIND SLOPED TOWARD THE NEAREST STORM SEWER. MINIMUM SLOPES OF SUCH DRAINPILES SHALL BE 0.5%.

19. CONVENTIONAL DISKING AND AERATION TECHNIQUES SHALL BE USED TO DRY SOILS BEFORE PROOF ROLLING. ALLOT FOR PROPER DRYING TIME IN PROJECT SCHEDULE.

20. ENGINEERED FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES OF LOOSE MATERIAL AND COMPACTED WITHIN 3% OF OPTIMUM SOIL MOISTURE CONTENT VALUE AND A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST ASTM D1557. EACH LIFT OF COMPACTED ENGINEERED FILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

21. EXISTING OLD FILL MATERIAL SHALL BE REMOVED BELOW FOOTINGS OR FOUNDATION SUPPORTING FILL. ENGINEERED FILL BELOW FOOTINGS SHOULD HAVE AN IN-PLACE DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. ENGINEERED FILL BELOW FOOTINGS SHALL BE EVALUATED BY IN-FIELD DENSITY TESTS DURING CONSTRUCTION.

22. WHERE UNSUITABLE BEARING SOILS ARE ENCOUNTERED IN A FOOTING EXCAVATION, THE EXCAVATION SHALL BE DEEPEENED TO COMPETENT BEARING SOIL AND THE FOOTING LOWERED OR AN OVEREXCAVATION AND BACKFILL PROCEDURE PERFORMED. OVEREXCAVATION AND BACKFILL TREATMENT REQUIRES WIDENING THE DEEPEENED EXCAVATION IN ALL DIRECTIONS AT LEAST 6 INCHES BEYOND THE EDGE OF THE FOOTING FOR EVERY 12 INCHES OF EXCAVATION DEPTH. THE OVEREXCAVATION SHALL BE BACKFILLED UP TO FOOTING BASE ELEVATION IN MAXIMUM 8 INCH LOOSE LIFTS WITH SUITABLE GRANULAR FILL MATERIAL AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AND A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. SOILS AT FOUNDATION BEARING ELEVATION IN THE FOOTING EXCAVATIONS, SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

23. A MINIMUM OF FOUR INCHES OF DRAINAGE COURSE MAT SHALL BE PLACED BELOW BUILDING FLOOR SLABS. DRAINAGE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557)

24. UTILITY TRENCHES FOR SEWER AND WATER SHALL CONFORM TO CLASS B COMPACTED TRENCH SECTION IN ACCORDANCE WITH FILE NO. 4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.

25. BACKFILL UTILITY TRENCHES IN 4 TO 6 INCH LOOSE LIFTS COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. BACKFILL SHALL BE MOISTURE CONDITIONED TO BE WITH 3% OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D1557.

26. UTILITY BEDDING PLACEMENT: CONFORM TO SECTION 3.2.6 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. BEDDING MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% COMPACTION WITH RESPECT TO THE MODIFIED PROCTOR (ASTM D1557).

27. COMPACTION TESTING OF UTILITY TRENCHES SHALL BE PERFORMED ONE FOR EVERY 200 CUBIC YARDS OF BACKFILL PLACED OR ONE FOR TEST PER 200 LINEAR FEET OF TRENCH FOR EACH LIFT, WHICHEVER IS LESS.

28. AGGREGATE BASE COURSE BENEATH PAVEMENTS SHALL BE PLACED AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 3% OF OPTIMUM AS DETERMINED BY ASTM D1557. AGGREGATE BASE SHALL BE OBSERVED AND TESTED BY A QUALIFIED GEOTECHNICAL ENGINEER OR TECHNICIAN.

29. GRADING GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING.

30. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY TO PERFORM FIELD QUALITY-CONTROL TESTING.

31. FOOTING SUBGRADE TESTING: EACH ISOLATED FOOTING SHALL INCLUDE AT LEAST ONE TEST PROBE. TEST PROBES SHALL BE PERFORMED EVERY 20 LINEAR FEET IN CONTINUOUS FOOTINGS.

32. BUILDING SLAB AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EVERY 2500 SQ. FT. OR LESS OF BUILDING SLAB, BUT IN NO CASE FEWER THAN 3 TESTS.

33. PAVEMENT AREA TESTING: AT SUBGRADE AND AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE TEST FOR EVERY LIFT FOR EVERY 2,500 SQUARE FEET OF PAVEMENT AREA, BUT IN NO CASES FEWER THAN 3 TESTS.

34. FOUNDATION WALL BACKFILL: AT EACH COMPACTED BACKFILL LAYER, AT LEAST 1 TEST PER LIFT FOR EACH 50 FEET OR LESS OF WALL LENGTH, BUT NO FEWER THAN 2 TESTS.

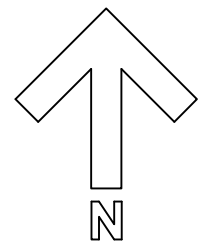
35. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.

36. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING UNSATISFACTORY SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF OWNER'S PROPERTY.

1. THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, 601, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
4. CONCRETE GRADE: GRADE A, GRADE A-2, OR A-FA CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
5. AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS. PROVIDE AGGREGATES FROM A SINGLE SOURCE.
6. WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
7. AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
8. CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
9. CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
10. EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.3 OF THE WISDOT STANDARD SPECIFICATIONS.
11. MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
12. GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
13. PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
14. SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
15. CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
16. JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
17. CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
18. ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
19. CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS. SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
20. EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
21. CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
22. SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
23. MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
24. FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
25. FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
26. FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
27. PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
28. PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
29. PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
30. REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
31. PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
32. MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

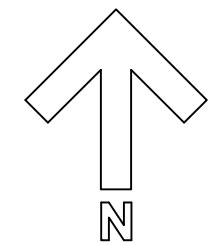

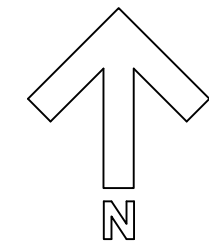
1. THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
2. CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDUCED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS: CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
3. MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
4. ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION; PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
5. AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
6. ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
7. PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
8. HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE LT FOR REGULAR DUTY PAVEMENT AND LT FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS. ASPHALTIC BINDER SHALL BE 58-28 S UNLESS NOTED.
9. AGGREGATE BASE COURSE BENEATH PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
10. PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
11. PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN ARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
12. SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
13. SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
14. PROMPTLY CORRECT SURFACE IRREGULARITIES IN PAVING COURSE BEFORE PAVEMENT. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
15. COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
16. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
17. THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4 INCH FOR BINDER COURSE AND PLUS 1/2 INCH FOR SURFACE COURSE, NO MINUS.
18. SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS; BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
19. DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
20. APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
21. APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/SQ. YD. FOR A CONTINUOUS 4" LINE.
22. TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

SPECIFICATIONS


$$1/16'' = 1'-0''$$

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THE CONSENT OF A.C.E.
BUILDING SERVICE, INC.

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	06/05/24
DRAWN BY:	KDR
SCALE:	SEE SHEET
SHEET	
A1.0	



ACE BUILDING SERVICE
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PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM

SUPERVISING PROFESSIONAL:

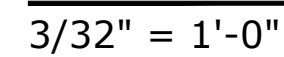
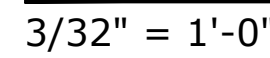
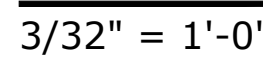
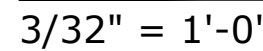
SMT
Civil & Structural
A Division of **ACE BUILDING SERVICE**

BEHRENS PARKWAY EXPANSION
TORGINOL, INC.

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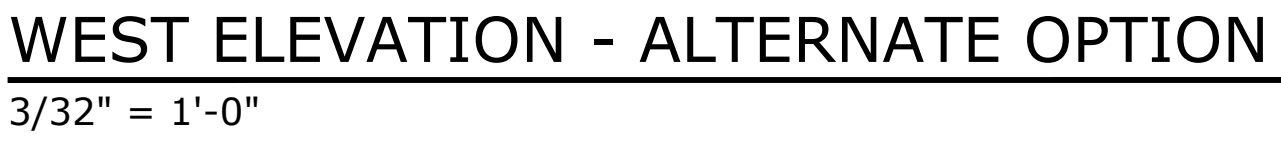
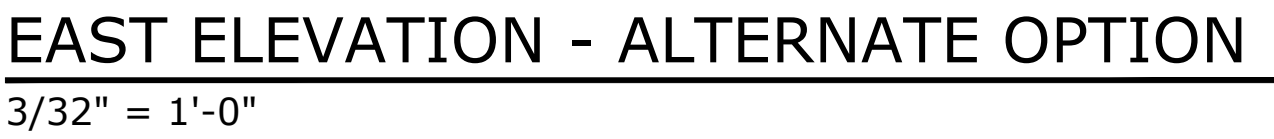
SHEET INFORMATION	
C.E. JOB NO.	
DATE:	06/05/24
DRAWN BY:	KDR
SCALE:	SEE SHEET
SHEET	

A1.1



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A.C.E. JOB NO.	
DATE:	06/05/24
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SMI
A UNIVERSITY OF **ACE BUILDING SERVICE**

Civil & Structural

SUPERVISING PROFESSIONAL:

CT INFORMATION:

BEHRENS PARKWAY EXPANSION

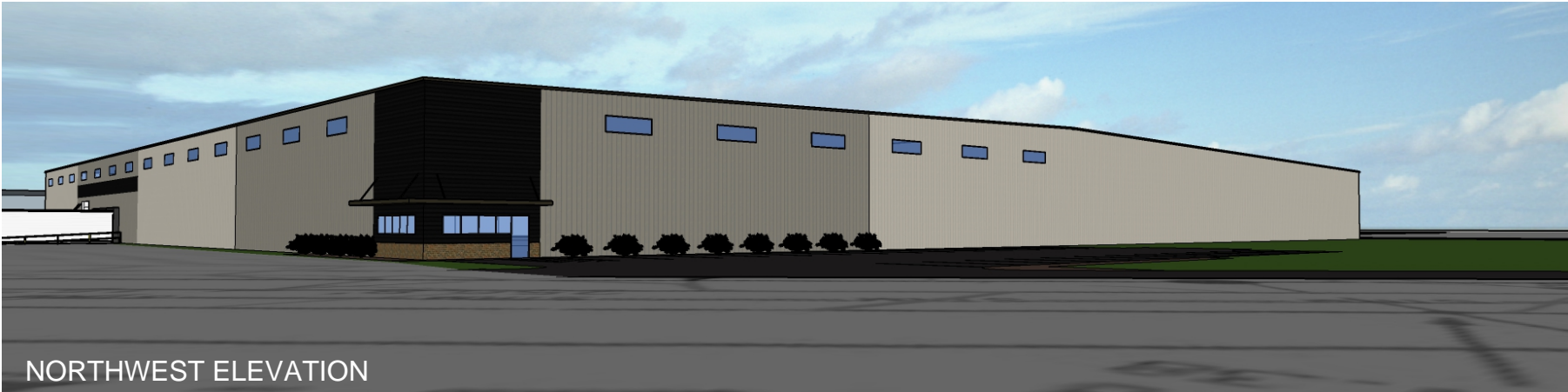
TORGINOL, INC.
3217 BEHRENS PKWY.
SHEBOYGAN, WI 53081

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SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	06/05/24
DRAWN BY:	KDR
SCALE:	SEE SHEET
SHEET	
A2.1	
46	



BEHRENS PARKWAY EXPANSION
PHASE I OPTION- 68,225 SQUARE FEET



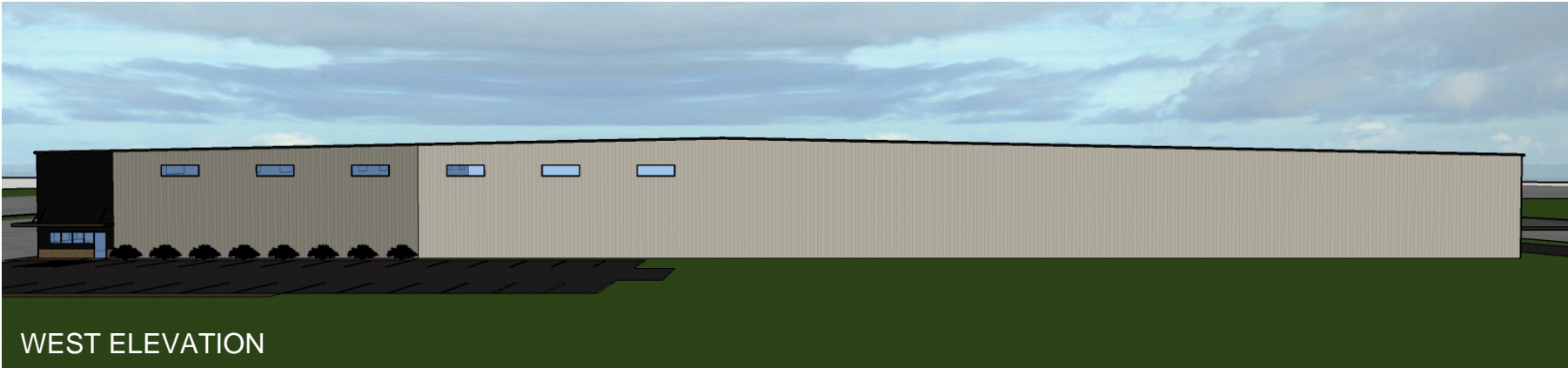
NORTHWEST ELEVATION



SOUTHEAST ELEVATION



SOUTH ELEVATION



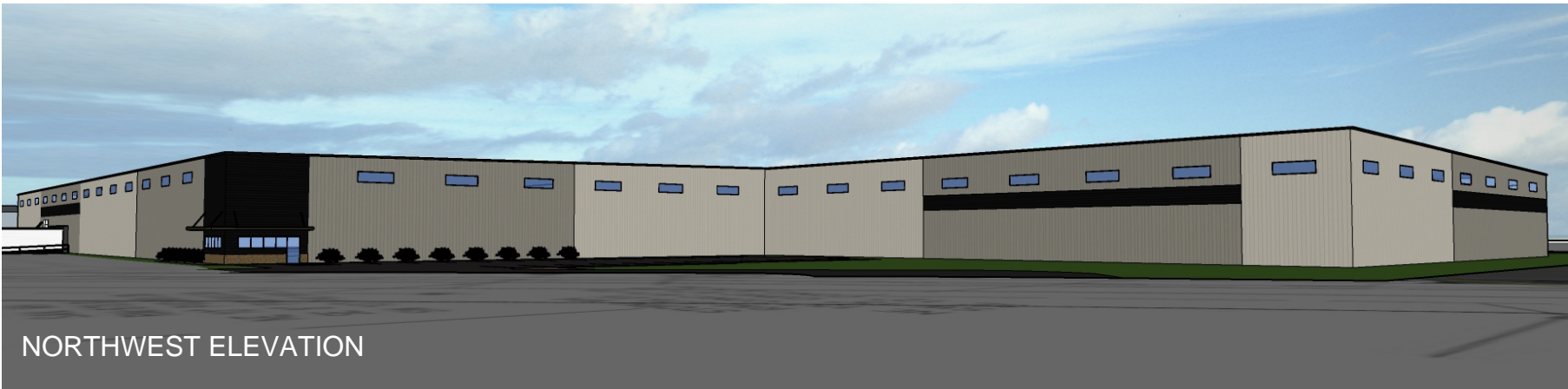
WEST ELEVATION



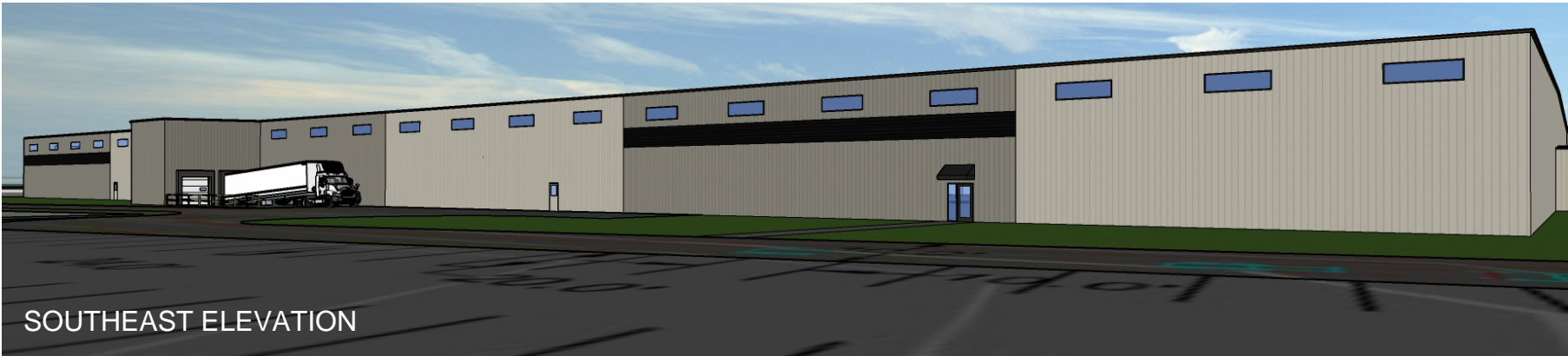
CONNECTING LINK ELEVATION (FUTURE)



BEHRENS PARKWAY EXPANSION
PHASE I & II OPTION - 104,225 SQUARE FEET



NORTHWEST ELEVATION



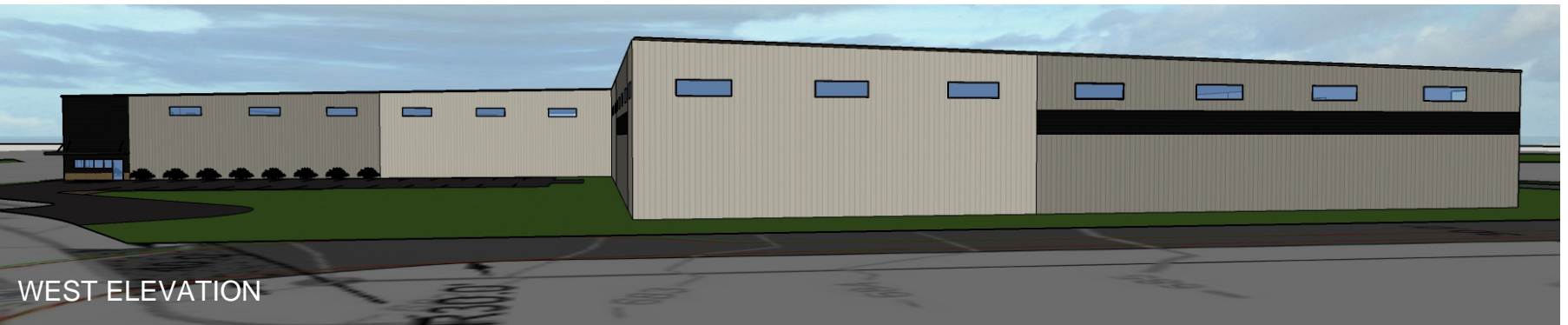
SOUTHEAST ELEVATION



NORTH ELEVATION



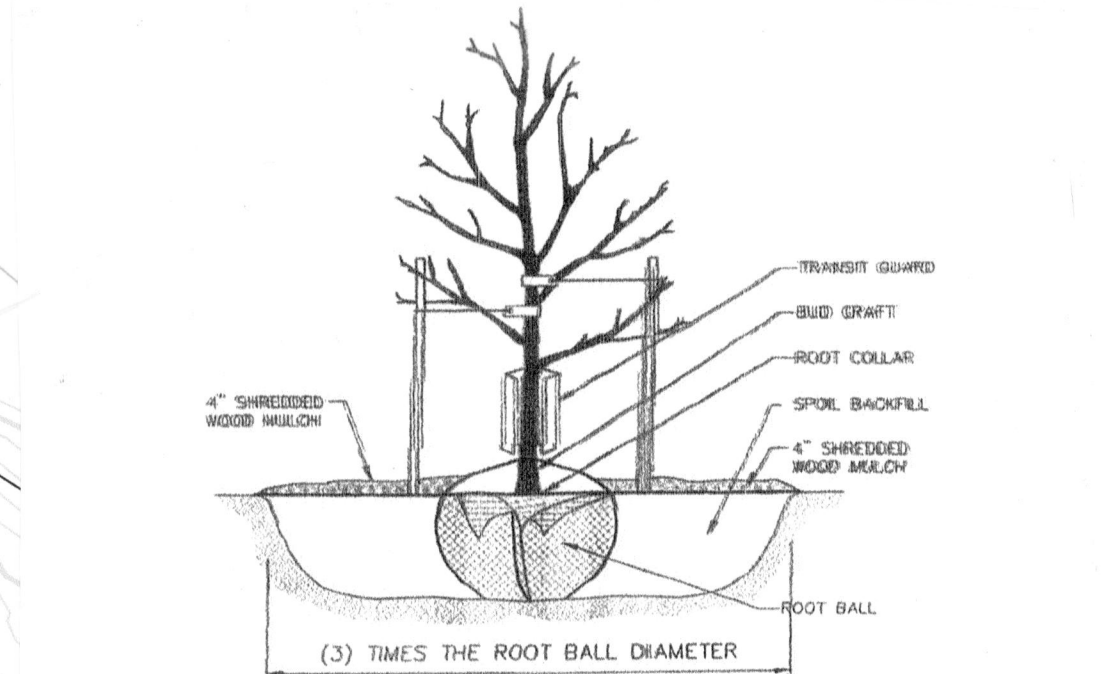
SOUTH ELEVATION



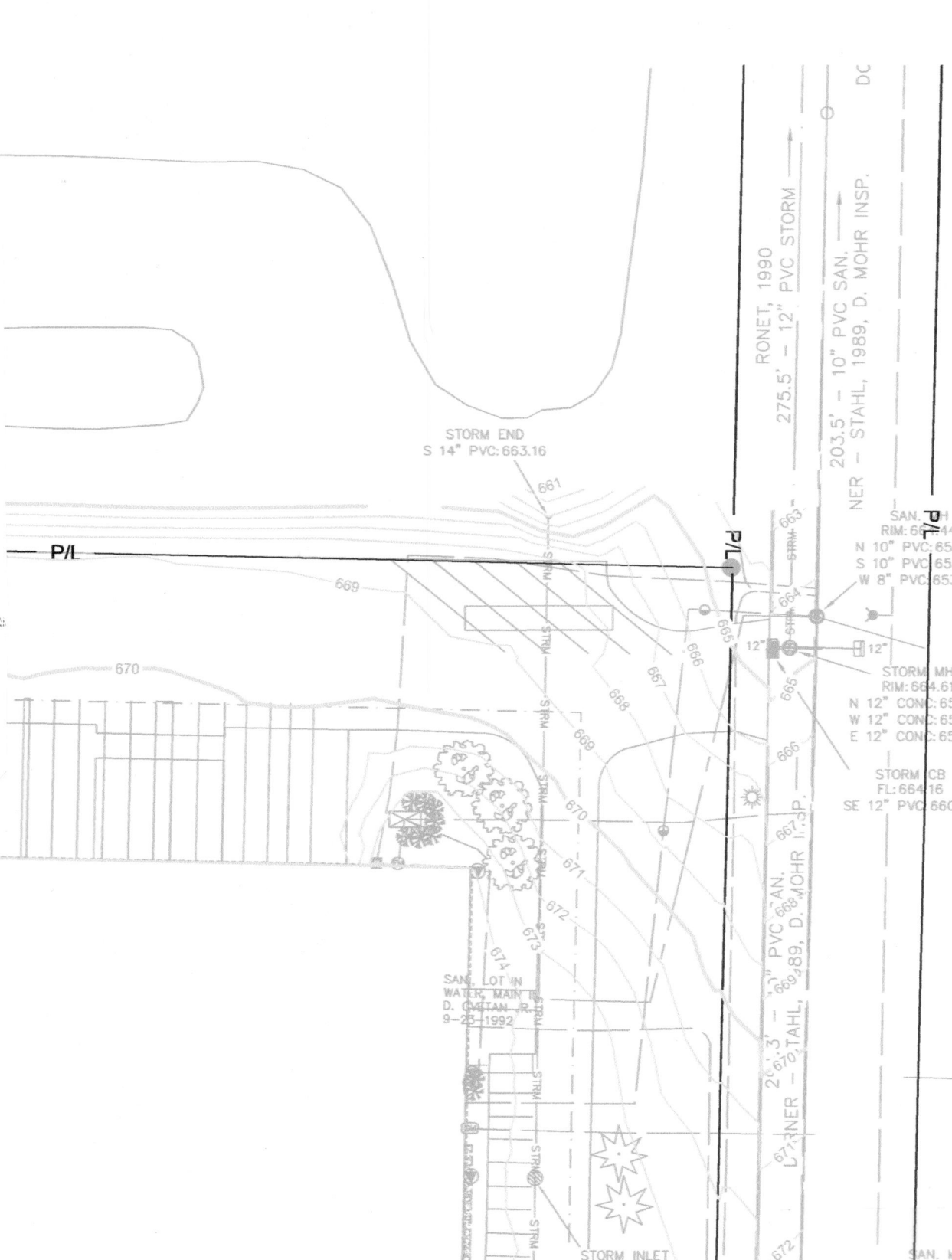
WEST ELEVATION



CONNECTING LINK ELEVATION (FUTURE)



1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY.
2. PLACE TREE IN HOLE, BACKFILL $\frac{1}{2}$ WITH EXISTING SOIL AND REMOVE TRANSIT GUARD, BURLAP AND WIRE BASKET.
3. FINISH BACKFILLING AND STRAIGHTEN THE TREE.
4. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
5. CREATE A WATER SAUCER TO COLLECT THE WATER UNTIL IT SEAKS INTO THE SOIL.
6. PROVIDE 4" DEEP SHREDDED MULCH 10' FOOT (DIAMETER). KEEP THE MULCH AWAY FROM THE TRUNK.
7. REMOVE ONLY BROKEN OR DAMAGED BRANCHES.



A. The Landscape Contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans and specifications.

B. The total number of plants shall be drawn on the landscape plan. The Landscape Contractor shall state the total number of each plant with the Contract price. The plant list submitted with the bid will automatically become part of the Contract Documents. NOTE: If the Contractor has bid quantities to the Plant Schedule, he/she must thoroughly check the plant schedule quantities with the symbols drawn on the plan. Be sure the plant count is correct on both the plan and the plant schedule, if used. Each plant grouping shall be labeled with the total number of plants per grouping by the Landscape Architect.

STANDARDS

A. All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Nursery & Landscape Association (ANLA).

B. Plant material must be selected from nurseries that have been inspected and certified by State Plant Inspectors.

C. Collected material may be used only when approved by Owner's representative.

D. Nomenclature will be in accordance with *Horns III* by I. H. Bailey.

SUBMITTALS

A. When requested by the Owner or Owner's representative, samples of all materials other than plants shall be submitted to the Owner's designated representative for approval.

APPROVALS

A. All approvals will be in writing.

UTILITIES AND UNDERGROUND FEATURES

A. The Landscape Contractor shall notify utility companies and/or General Contractor in advance of the Contractor to locate utilities (Wisconsin Diggers Hotline: 1-800-242-8511).

B. Street lighting and other private utilities, including cable TV, communication lines, etc., shall be located by the Owner or General Contractor.

C. If there is a conflict with the utilities and the planting, the Landscape Architect shall be responsible for relocating plants prior to the planting process. Any cost due to relocating after planting shall be borne by the Owner.

D. Underground features including but not limited to existing irrigation, septic system, drain systems, invisible pet fencing, landscape lighting, and underground natural gas and security systems shall be located by the Owner or General Contractor.

WATER

A. The Owner shall supply water on site at no cost. If the Landscape Contractor has to supply water to the site, there will be at an additional cost. Watering to continue by Landscape Contractor until site is turned over to Owner.

WARRANTY

A. The standard warranty is for a one (1) year period, commencing on the date of initial acceptance. All plants shall be alive and in satisfactory growth at the end of the guarantee period.

B. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main trunk has died back, or 25% of the crown is dead.

C. Warranty may be void if proper care, by Owner or Owner's maintenance contractor, is not maintained.

D. The Landscape Contractor shall be responsible for a one-time replacement only.

E. Replacement shall be of the same type, size, and quality as original species unless otherwise negotiated.

F. The Landscape Contractor shall be responsible for furnishing and installing all plant material shown on the drawings and plant schedule, as submitted with the Contract. The Landscape Contractor shall have investigated the sources of supply and satisfied himself/herself that he/she can supply all the plants specified on the drawings in the size, variety, and quality noted before submitting the bid. Failure to take this precaution will relieve the successful bidder from the responsibility for furnishing and installing all the plant material in strict accordance with the Contract requirements.

PLANT FERTILIZER

A. Slow-release fertilizer shall be the preferred type. The technical data sheet or label on the fertilizer

1. Trees: Use 1 to 3 pounds of actual nitrogen contained in a complete fertilizer

2. Shrubs: ½ Pound of actual nitrogen containing in a complete fertilizer

MULCH

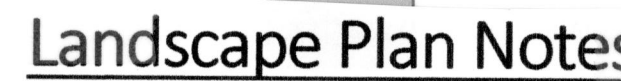
A. Collected material including shredded hardwood bark and ground wood waste shall be composted and spread 4" thick.

B. Organic material shall be uniform in size and free of foreign matter.

C. Organic material to be spread around all trees and shrubs.

1. Trees: The mulch around the trees should be installed 3' out from the trunk and spread 3-4" thick.

2. Shrubs: The mulch around the shrubs should be installed 2' out from the branches and spread 3-4" thick.



1. Field Verify all dimensions, elevations and grades in the field.
2. Grading plan completed by ACE, Inc.
3. Construction limits data table by ACE, Inc dated 22 April 2021.
4. Locate all public and private utilities before installing the landscape.
5. ACE, INC and Torginol, Inc. Hhas been granted a variance for the location of foundation planting.
6. Mulch all planting beds and individual trees with 4" of twice shredded natural(NON-COLORED) Bark. Weed barrier is not required.
7. All area disturbed to be seeded with mow able turf seed.
8. Install Mowed turf should be planted at 5-7lbs per 1000 SQ.FT. Cover seeded areas with chopped winter wheat straw. Avoid Rye Straw.
9. Install plants at the correct elevation and according to the specifications.
10. When using any chemical, herbicides, insecticides, or Round-up follow the manufacturers' recommendations for application.
11. See landscape and perennial schedules for the trees, shrubs and perennials to be installed.

Key

Landscape Plant Schedule

Quantity

Key

Perennial Plant Schedule

Quantity

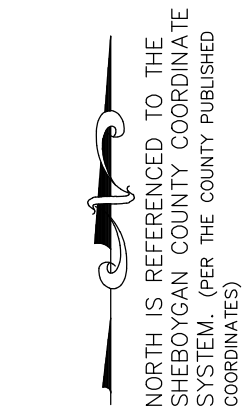
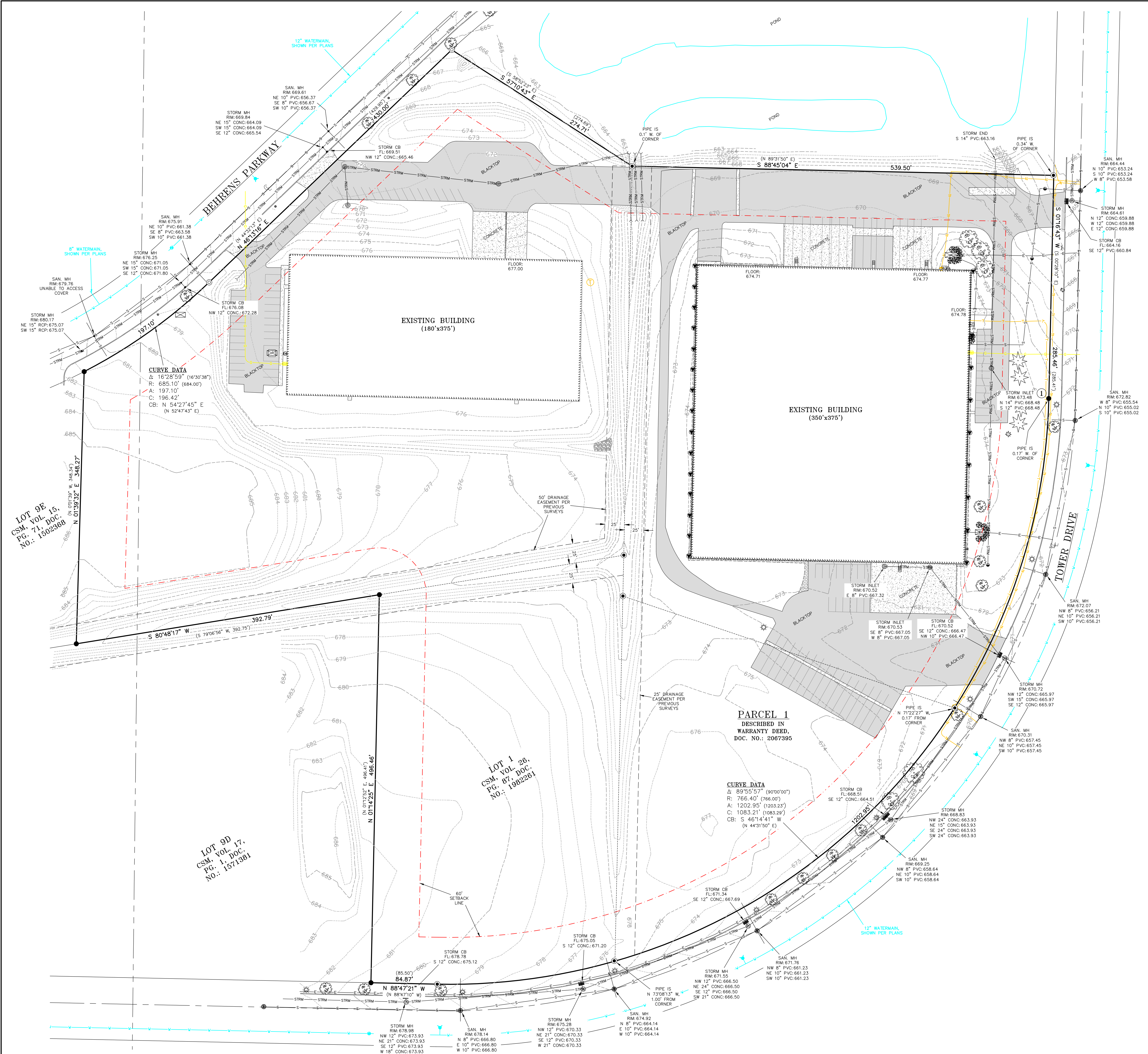
Trees

Evergreens

Shrubs

KEY	BOTANICAL NAME	COMMON NAME	QTY/ POINTS	SIZE	R.C.	MATURE HT.	WD.	FRUIT COLOR	TYPE	FALL COLOR	TOTAL POINTS
A	Spruce to be moved and replaced where shown										
B	Pear trees to be removed and replaced where shown										
#1. DEVELOPED LOT – 675 Points/735 on plan											
C	Quercus bicolor	Swamp White Oak	5/75	2.5"	B&B	40'	40'	brown	nut	yellow	525
D	Acer x freemanii 'Celzam'	Celebration Maple	7/30	2.5"	B&B	40'	40'	none		gold/red	210
#2. BUILDING FOUNDATIONS - 440 Points/449 on plan											
E	Thuja occ. 'Smaragd'	Emerald Arborvitae	12/12	5'	B&B	15'	3'	brown	capsule	green	144
F	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	15/1	18"	cont	3'	3'	tan	capsul	yellow	15
G	Pyrus 'Cleveland Select'	Cleveland Select Pear	5/10	2"	B&B	20'	10'	tan	berry	yellow	50
H	Picea glauca var. densata	Black hills spruce	6/40	6'	B&B	20'	15'	tan	cone	green	240
#4. PARKING – 213 Points/225 on plan											
I	Ginkgo biloba	Ginkgo	3/75	2.5"	B&B	60'	40'	none		yellow	225

<div><p>A.C.E. BUILDING SERVICE</p><p>OUR REPUTATION IS OUR FOUNDATION</p><p>P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM</p></div>	REVISION DESCRIPTION	DATE	REV. BY	
	PROJECT #:	3297-24		
	DATE:	20 JUNE 2024		
	SCALE:	1" = 60' - 0"		
	PAGE #:	1 OF 1		
DRAWN BY:				
K. BAHRS #336-14				
<div><div><p>PROJECT INFORMATION:</p><p>LANDSCAPE PLAN FOR:</p><p>TORGINOL BEHRENS PHASE 2</p><p>BEHRENS PARKWAY</p><p>SHEBOYGAN, WISCONSIN</p></div><div><p>920-918-2613(cell)</p><p>Website: kellyslandscape_design.com</p><p>E-Mail: design@yahoo.com</p></div></div>				
<div><p>LANDSCAPE ARCHITECT</p><p>Kelly's Landscape Design</p><p>THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.</p></div>				
<p>SHEET INFORMATION</p> <p>A.C.E. JOB NO.</p> <p>DATE: —</p> <p>DRAWN BY: —</p> <p>SCALE: 1"=60'</p> <p>SHEET</p>				
<div><div><p>C100</p></div><div><p>49</p></div></div>				



SCALE 1" = 60'

TOTAL AREA
974,552 Sq. Ft.
22.373 Ac.

SITE ADDRESS:
4350 Tower Drive
Sheboygan, WI 53081

LEGEND

- ⊙ = EXISTING 2" IRON PIPE
- ⊙ = EXISTING 3/4" IRON PIPE
- = EXISTING 1" IRON PIPE
- ☐ = EXISTING MAILBOX
- ☼ = EXISTING LIGHT POLE
- ⊕ = EXISTING TRANSFORMER
- = EXISTING SEWER CLEANOUT
- ≡ = EXISTING SIGN
- ⬇ = EXISTING DOWNSPOUT
- ☐ = EXISTING CURB INLET
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING STORM INLET
- ⊙ = EXISTING SANITARY MANHOLE
- ⊙ = EXISTING ELECTRIC METER
- ⊙ = EXISTING GAS METER
- ⊙ = EXISTING TELEPHONE PEDESTAL
- ⊙ = EXISTING TELEPHONE MANHOLE
- ⊙ = EXISTING CABLE TV PEDESTAL
- ⊙ = EXISTING HYDRANT
- ⊙ = EXISTING WATER VALVE
- ⊙ = DECIDUOUS TREE
- ⊙ = CONIFEROUS TREE
- ⊙ = SHRUB LINE
- = TELEPHONE LINE
- = GAS LINE
- = ELECTRIC LINE
- = CABLE TV LINE
- = SANITARY SEWER LINE
- = STORM SEWER LINE
- = WATERMAIN LINE
- = EXISTING CONTOUR LINE W/ELEVATION

WARNING:

DIGGERS HOTLINE WAS CONTACTED TO MARK UNDERGROUND UTILITIES, (DIGGERS HOTLINE DOES NOT MARK PRIVATE SEWER AND WATER LATERALS, A MARKING COMPANY MUST BE HIRED TO MARK LATERALS). THOSE UTILITIES SHOWN HEREON ARE BASED ON THE MARKINGS FROM DIGGERS HOTLINE, INFORMATION PROVIDED BY THE CITY OF SHEBOYGAN AND FIELD OBSERVATIONS. SANITARY SEWER, STORM SEWER, WATERMAIN AND SOME ELECTRIC LINES WERE NOT MARKED, OTHER UTILITIES MAY NOT HAVE BEEN MARKED AND THEREFORE ARE NOT SHOWN.

CONTACT DIGGERS HOTLINE AND VERIFY ALL UTILITY LOCATIONS BEFORE DIGGING.

BENCHMARK:

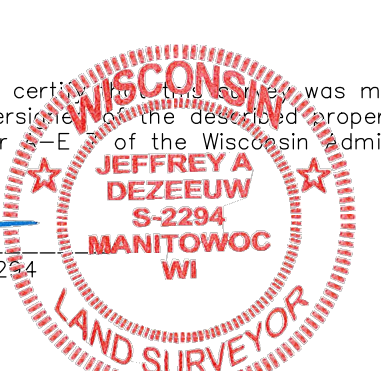
- 666.98 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, NEAR NORTH LINE OF PARCEL.
- 676.29 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, ±375' SOUTH OF NORTH PROPERTY LINE.
- 672.79 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±770' SOUTH OF NORTH PROPERTY LINE.
- 675.29 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±500' EAST OF WEST PROPERTY LINE.
- 681.71 - TOP OF FIRE HYDRANT, SOUTH SIDE OF TOWER DRIVE, ±90' EAST OF WEST PROPERTY LINE.
- 675.16 - TOP OF FIRE HYDRANT, NORTH SIDE OF BEHRENS PARKWAY, ±330' NORTHEAST OF WEST PROPERTY LINE.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown hereon by the undersigned and that the survey complies with Chapter 19.01 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

5/14/2024
DATE

Jeffrey A. DeZeeuw, PLS #2294
MANTOWOC, WI



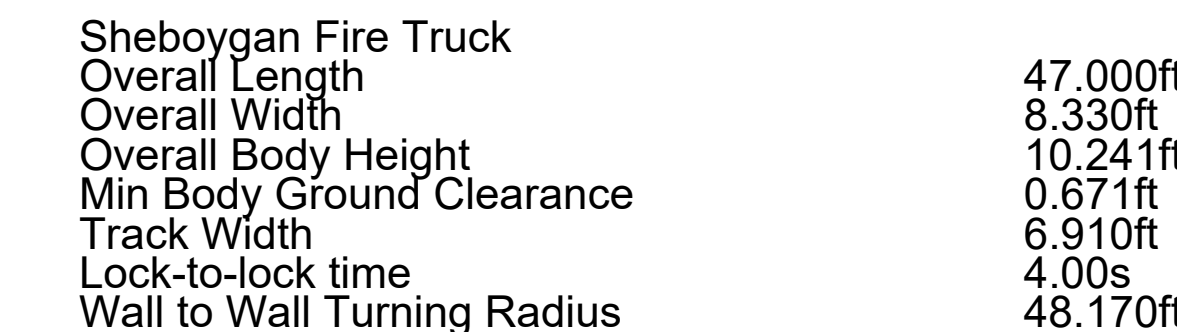
REVISION DATA:
5/17/2021 - Show existing watermain on in streets per plans.
5/14/2024 - Show new improvements from 2021 project.

ACE BUILDING SERVICE
3510 S. 26th STREET
MANTOWOC, WI 54220

DISCLAIMER:
CORNER POINT, LLC IS NOT RESPONSIBLE FOR
UNAUTHORIZED CHANGES AND/OR ADDITIONS
TO THE HEREON MAP/DOCUMENT.

FIELD WORK COMPLETION DATE: 3/8/2021
DRAWN BY: JAD
JOB NO.: 971021
CAD FILE: DWG\WISCONSIN\WISCONSIN\2021\971021
SCALE: 1" = 60'

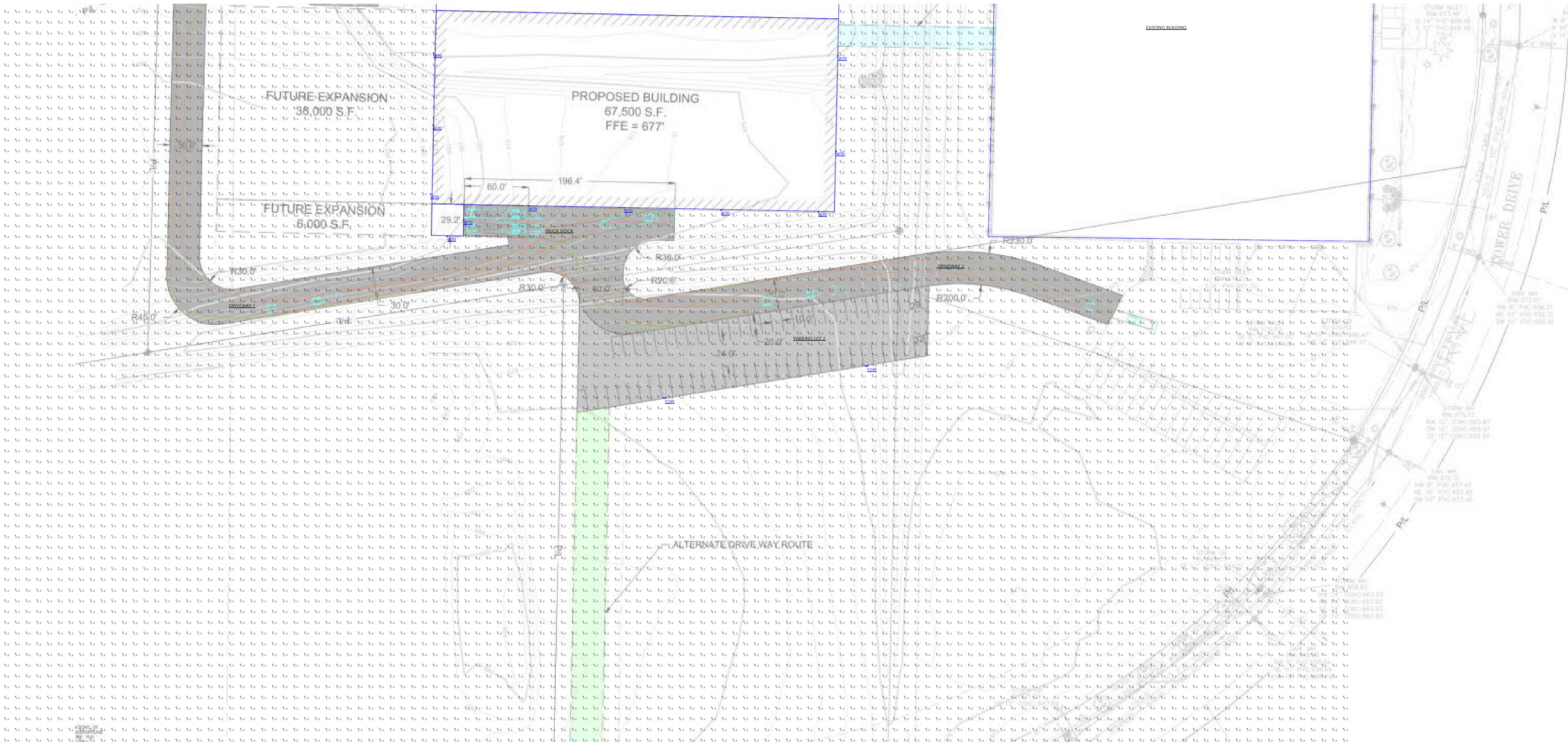
PAGE NO.
1 OF 1




GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATION WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, CURBS, UNITS, LIGHTS, SIGNAGE, OR ANY OTHER UTILITY SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
7. EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
8. SITE PLAN ADHERES TO SHEBOYGAN FIRE TRUCK TURNING REQUIREMENTS.

TRUCK TURNING EXHIBIT



Luminaire Schedule							
Symbol	Qty	Tag	Description	Arrangement	LLF	Luminaire Lumens	Luminaire Watts
	11	W70	W22-M-100 @ 70W_5000K_30;ã	Single	0.900	10167	69.8
	2	Y249	A22 4T@150W5000K type 4 distribution on 25ft pole	2 @ 90 degrees	0.900	20389	151.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.10	7.9	0.0	N.A.	N.A.
PARKING LOT 2	Illuminance	Fc	1.76	7.9	0.3	5.87	26.33

1. STANDARD REFLECTANCE OF 80/50/20 UNLESS NOTED OTHERWISE.
2. NOT A CONSTRUCTION DOCUMENT- FOR DESIGN PURPOSES ONLY.
3. STANDARD INDOOR CALC POINTS @ 30" AFF UNLESS NOTED OTHERWISE.
4. STANDARD OUTDOOR CALC POINTS @ GRADE UNLESS NOTED OTHERWISE.
5. EGRESS CALC POINTS @ 0'-0" AFF.
6. PHOTOMETRICS ARE ESTIMATED LIGHTING CALUCULATIONS.
VIKING ELECTRIC ASSUMES NO RESPONSIBILITY FOR INSTALLED LIGHT LEVELS DUE TO FIELD CONDITIONS.
7. VIKING ELECTRIC NOT RESPONSIBLE FOR FINAL REVIEW OF CODE REQUIREMENTS.

Drawn By: JB
Project #: 134831
Date: 6/26/2024

Scale: 1" = 50'

PHOTOMETRIC SITE PLAN

TORGINOL PHASE 2
BUILDING ADDITION

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: R.O. 33-24-25 and G.O. 12-24-25 by Alderperson Ramey amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification for property located at 3100 Superior Avenue from Suburban Office (SO) to Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: July 18, 2024

MEETING DATE: July 23, 2024

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Josh Posthuma is proposing to rezone 3100 Superior Ave from Suburban Office (SO) to Suburban Office – Planned Unit Development Overlay (SO-PUD). The applicant states the following:

- This land is currently a vacant portion of the larger Hospital Property.
- It is proposed that this land will be divided into residential lots with new single family homes constructed on the lots.

STAFF COMMENTS:

The lands being rezoned to include the PUD overlay will be the entire parcel #59281631527. In order for this property to be able to go through the subdivision process it must have the PUD overlay to allow for the creation of the lot sizes desired for residential. When the subdivision is complete, the PUD overlay will be removed and the parent parcel will retain the SO zoning district while the child parcels will convert to SR-5 to allow for the single family homes.

The proposed rezone will have the following conditions:

- a) After the subdivision is complete, the property retained by the hospital will revert back to Suburban Office.
- b) After the subdivision is complete, the child parcels will convert to Suburban Residential 5 (SR-5).

- c) If the development has not begun within five years of this rezone, the child parcels revert back to Suburban Office

Item 7.

ACTION REQUESTED:

Motion to recommend the Common Council approve the proposed rezone to the City of Sheboygan Zoning Map from Suburban Office (SO) to Suburban Office – Planned Unit Development Overlay (SO-PUD) for 3100 Superior Avenue.

ATTACHMENTS:

Rezone Application and required attachments

**CITY OF SHEBOYGAN
R. O. 33-24-25**

BY CITY CLERK.

JULY 15, 2024.

Submitting an application for amendment of the City of Sheboygan Official Zoning Map from Eastern Pines, LLC for property located at 3100 Superior Avenue from Class Suburban Office (SO) to Class Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification.

OFFICE USE ONLY	
APPLICATION NO.:	_____
RECEIPT NO.:	_____
FILING FEE:	\$200.00 (Payable to City of Sheboygan)

Item 7.

CITY OF SHEBOYGAN
APPLICATION FOR
AMENDMENT OF OFFICIAL ZONING MAP
(Requirements Per Section 105.996)
Revised January 2024

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of **\$200** (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Eastern Pines LLC PHONE NO.: (920)226-4062

ADDRESS: 25 E Union Ave., Cedar Grove, WI 53013
E-MAIL: josh@postumahomes.com

OWNER OF SITE: St, Nicholas Hospital Sisters of St Francis
PHONE NO.: ()

2. DESCRIPTION OF THE SUBJECT SITE

ADDRESS OF PROPERTY AFFECTED: 3100 Superior Ave,

LEGAL DESCRIPTION: See Exhibit

PARCEL NO. 59281631527 MAP NO. N/A

EXISTING ZONING DISTRICT CLASSIFICATION: Suburban Office District

PROPOSED ZONING DISTRICT CLASSIFICATION: Suburban Residential 5 District

BRIEF DESCRIPTION OF THE **EXISTING** OPERATION OR USE: This land is currently a vacant portion of the larger Hospital Property

BRIEF DESCRIPTION OF THE **PROPOSED** OPERATION OR USE: It is proposed that this land will be divided into residential lots with new single family homes constructed on the lots.

3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency? The proposed change does not adversely affect the Zoning Ordinance, WDN, or FEMA.

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- ☐ The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
 - ☐ A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
 - ☐ Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
 - ☐ Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
 - ☐ Explain: The Hospital wished to sell off some of its unused land, fronting 29th Street, for residential use consistent with existing residential lots on 29th Street.
-

How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property? The proposed residential use is consistent with existing residential lots on 29th Street.

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

The proposed residential use is consistent with existing residential lots on 29th Street.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.


APPLICANT'S SIGNATURE

05/06/2024
DATE

Joshua L Posthuma
PRINT ABOVE NAME

APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

- ☐ The property proposed to be rezoned.
- ☐ All lot dimensions of the subject property.
- ☐ All other lands within 100 feet of the subject property.
- ☐ Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- ☐ Graphic scale and north arrow.

Approved by the Wisconsin Real Estate Examining Board
5-1-22 (Optional Use Date) 7-1-22 (Mandatory Use Date)

WB-40 AMENDMENT TO OFFER TO PURCHASE

**CAUTION: Use a WB-40 Amendment if both Parties will be agreeing to modify the terms of the Offer.
Use a WB-41 Notice if a Party is giving a Notice which does not require the other Party's agreement.**

1 Buyer and Seller agree to amend the Offer dated April 25, 2024, and accepted on April 30, 2024,
2 for the purchase and sale of real estate at Lots North 29th Street, Sheboygan, WI 53081
3 City of Sheboygan, County of Sheboygan, Wisconsin as follows:
4 Closing date is changed from _____, _____, to _____, _____.
5 Purchase price is changed from \$ _____ to \$ _____.
6 Other: _____
7 Seller gives consent to the rezoning of the lots listed on 29th Street, Sheboygan to residential zoning.

8 _____
9 _____
10 _____
11 _____
12 _____
13 _____
14 _____
15 _____
16 _____
17 _____
18 _____
19 _____
20 _____
21 _____
22 _____
23 _____
24 _____
25 _____
26 _____
27 _____
28 _____
29 _____
30 _____

31 The attached _____ is/are made part of this Amendment.
32 ALL OTHER TERMS OF THE OFFER TO PURCHASE AND ANY PRIOR AMENDMENTS REMAIN THE SAME.

33 This Amendment is binding upon Seller and Buyer only if a copy of the accepted Amendment is delivered to the Party
34 offering the Amendment on or before May 20, 2024 (Time is of the Essence). Delivery
35 of the accepted Amendment may be made in any manner specified in the Offer to Purchase, unless otherwise provided
36 in this Amendment.

37 **NOTE: The Party offering this Amendment may withdraw the offered Amendment prior to acceptance and**
38 **delivery as provided at lines 33-34.**

39 This Amendment was drafted by Elaine K. Graf, First Weber, Inc. on May 14, 2024
40 _____ Licensee and Firm ▲ Date ▲

41 This Amendment was presented by Elaine K. Graf, First Weber, Inc. on May 14, 2024
42 _____ Licensee and Firm ▲ Date ▲

43 (x) JOSHUA POSTHUMA 5/14/2024 (x) [Signature] 5/15/2024
44 Buyer's Signature ▲ Seller's Signature ▲
45 Print name ▶ Damian Skelton VP, Chief Facilities Officer

46 (x) _____ (x) _____
47 Buyer's Signature ▲ Seller's Signature ▲ Date ▲
48 Print name ▶ _____

49 This Amendment was rejected _____ Date ▲
50 _____ Party Initials ▲

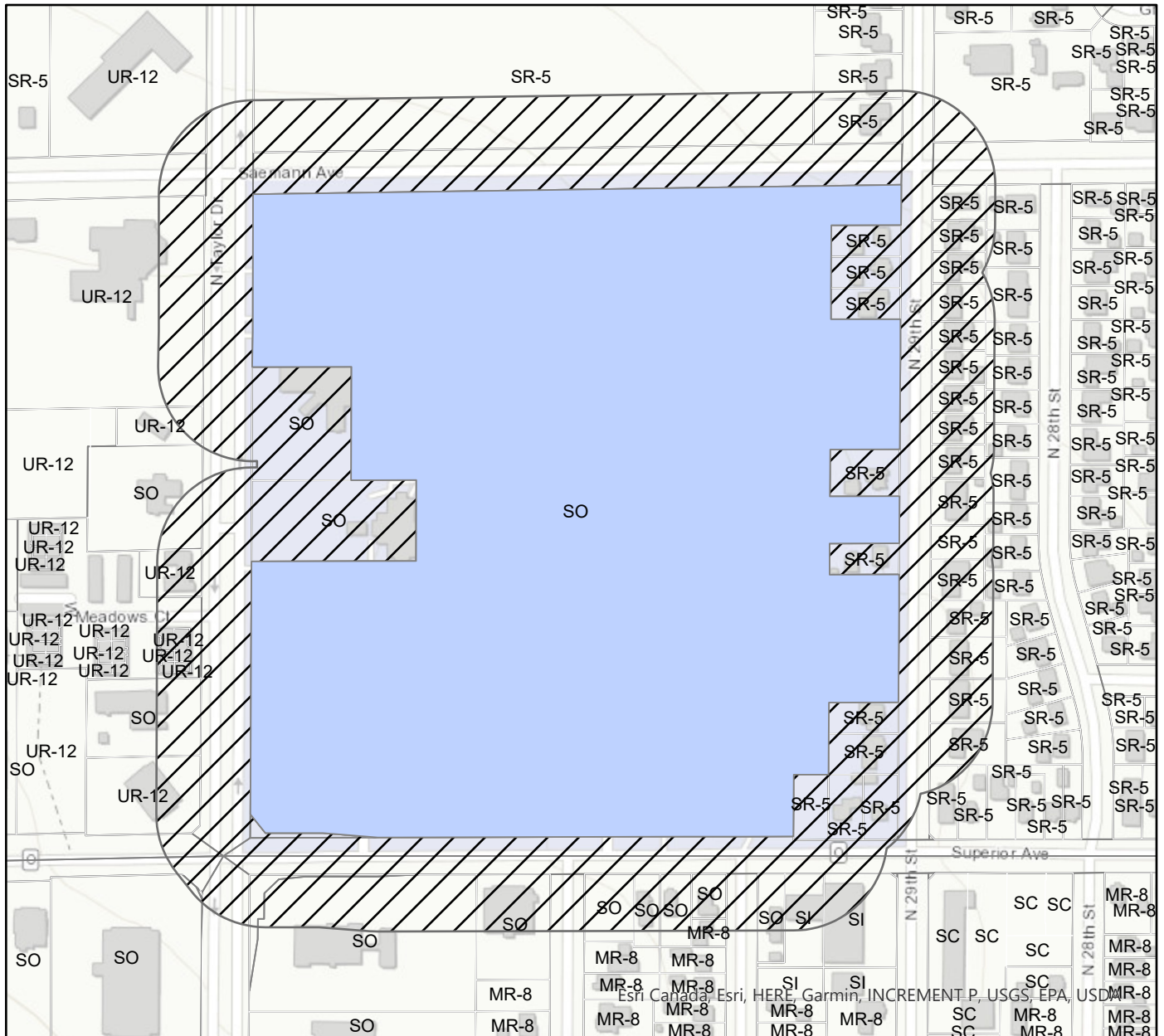
**PROPOSED REZONE
FROM SUBURBAN OFFICE (SO)**

Item 7.

**TO
SUBURBAN OFFICE-PLANNED UNIT DEVELOPMENT OVERLAY (SO -PUD)**

PRT OF THE SWSE SEC 16, T15N, R23E BOUNDED BY THE E LN OF N TAYLOR DR, THE W LN OF N 29TH ST, S LN OF SAEMANN AVE & THE N LN SUPERIOR AVE; EXC COM AT S1/4 COR SD SEC 16; TH N01-31-56W, 40' AND N88-29-58', 50.46' TO E LN N TAYLOR DR; TH N01-31-56W, ALG SD E LN 528.94'; TH N88-28'-04"E 315'; TH N- 01-31'-56"W 155'; TH S88-28'-04"W 125'; TH N01-31-56W, 217'; TH S88-28-04W, 190'; TH S01-31-56E ALG E LN N TAYLOR DR TO POB; ALSO EXC COM AT INT OF N LN SUPERIOR AVE W WEST LN N 29TH ST; TH W ALG SUPE

Parcel # 59281631527



0 100 200 400 600 800 Feet

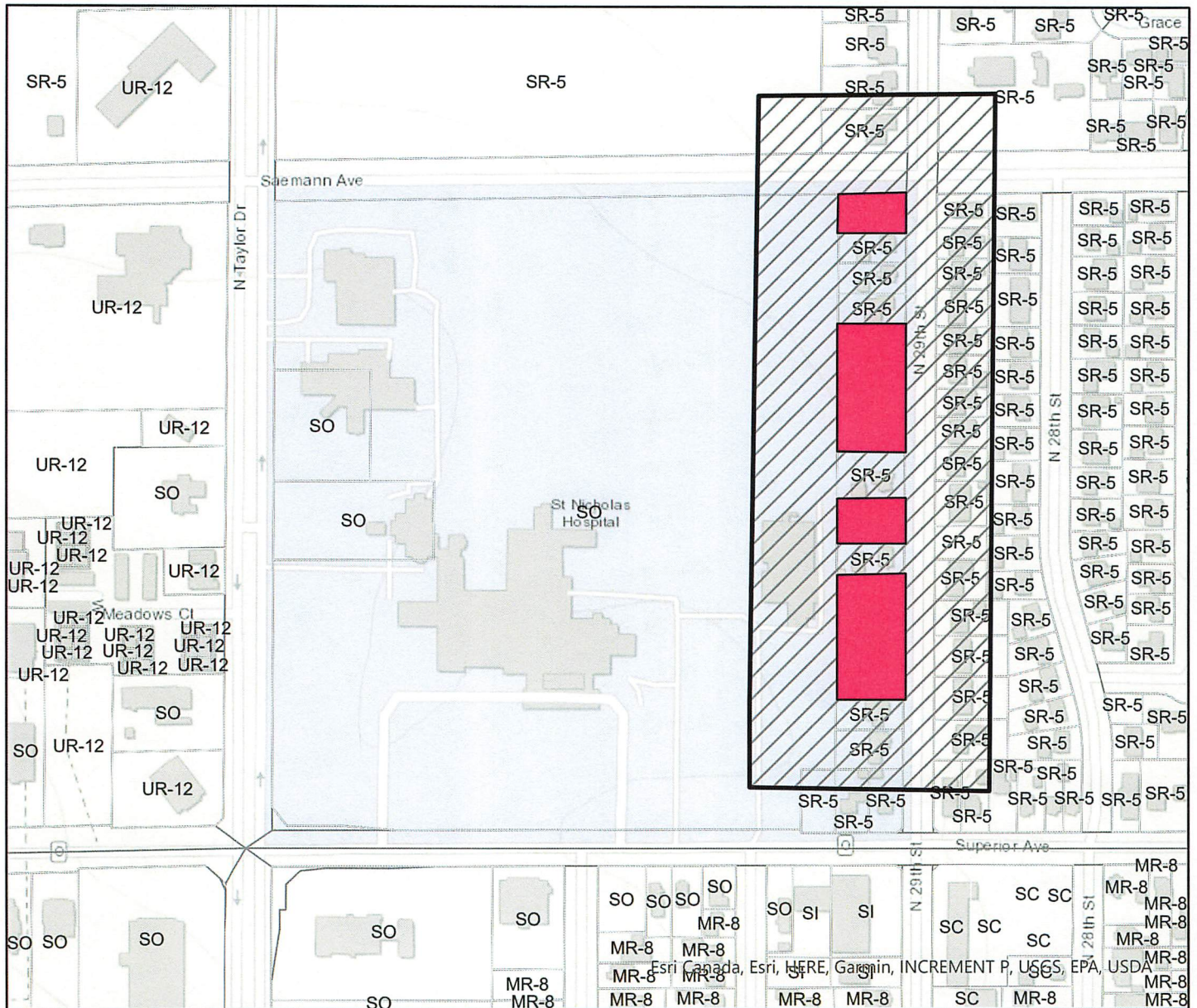


PROPOSED REZONE **FROM SUBURBAN OFFICE-PLANNED UNIT DEVELOPMENT** **OVERLAY (SO-PUD)** **TO SUBURBAN RESIDENTIAL-5 (SR-5)**

Item 7.

PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 15 NORTH,
 RANGE 23 EAST, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

See attached Legal Descriptions



0 100 200 400 600 800 Feet



CLK322B

City Of Sheboygan
City Clerk's Office

* General Receipt *

Receipt No: 240970

License No: 0000

Date: 07/09/2024

Received By: MMD

Received From: POSTUMA HOMES LLC

Memo: REZONE OF 3100 SUPERIOR AVE

Method of Payment: \$200.00 Check No. 2555

Total Received: \$200.00

<u>Fee Description</u>	<u>Fee</u>
Zoning Change	200.00

This document signifies receipt of fees in the amount indicated above.

**CITY OF SHEBOYGAN
GENERAL ORDINANCE 12-24-25**

BY ALDERPERSONS RAMEY.

JULY 15, 2024.

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of property located at 3100 Superior Avenue from Class Suburban Office (SO) to Class Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

SECTION 1: AMENDMENT Chapter 105 of the Sheboygan Zoning Ordinance establishing zoning districts and prescribing zoning standards and regulations is hereby *amended* as follows:

AMENDMENT

Chapter 105.

The Official Zoning Map of the City of Sheboygan thereof and Use District Classification of the following described lands from Class Suburban Office (SO) to Class Suburban Office – Planned Unit Development Overlay (SO-PUD) Classification:

Property located at 3100 Superior Avenue – Parcel No. 59281631527:

PRT OF THE SWSE SEC 16, T15N, R23E BOUNDED BY THE E LN OF N TAYLOR DR, THE W LN OF N 29TH ST, S LN OF SAEMANN AVE & THE N LN SUPERIOR AVE; EXC COM AT S1/4 COR SD SEC 16; TH N01-31-56W, 40' AND N88-29-58', 50.46' TO E LN N TAYLOR DR; TH N01-31-56W, ALG SD E LN 528.94'; TH N88-28'-04"E 315'; TH N- 01-31'-56"W 155'; TH S88-28'-04"W 125'; TH N01-31-56W, 217'; TH S88-28-04W, 190'; TH S01-31-56E ALGE LN N TAYLOR DR TO POB; ALSO EXC COM AT INT OF N LN SUPERIOR AVE W WEST LN N 29TH ST; TH W ALG SUPE

SECTION 2: EFFECTIVE DATE This zoning amendment shall be in effect upon passage, publication, and satisfaction of the following:

- a. After the subdivision is complete, the property retained by the hospital will revert back to Suburban Office.
- b. After the subdivision is complete, the child parcels will convert to Suburban Residential 5 (SR-5).
- c. If the development has not begun within five years of this rezone, the child parcels will revert back to Suburban Office.

SECTION 3: REPEALER CLAUSE All ordinances, resolutions, or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

_____.

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of
Sheboygan

Meredith DeBruin, City Clerk, City of
Sheboygan

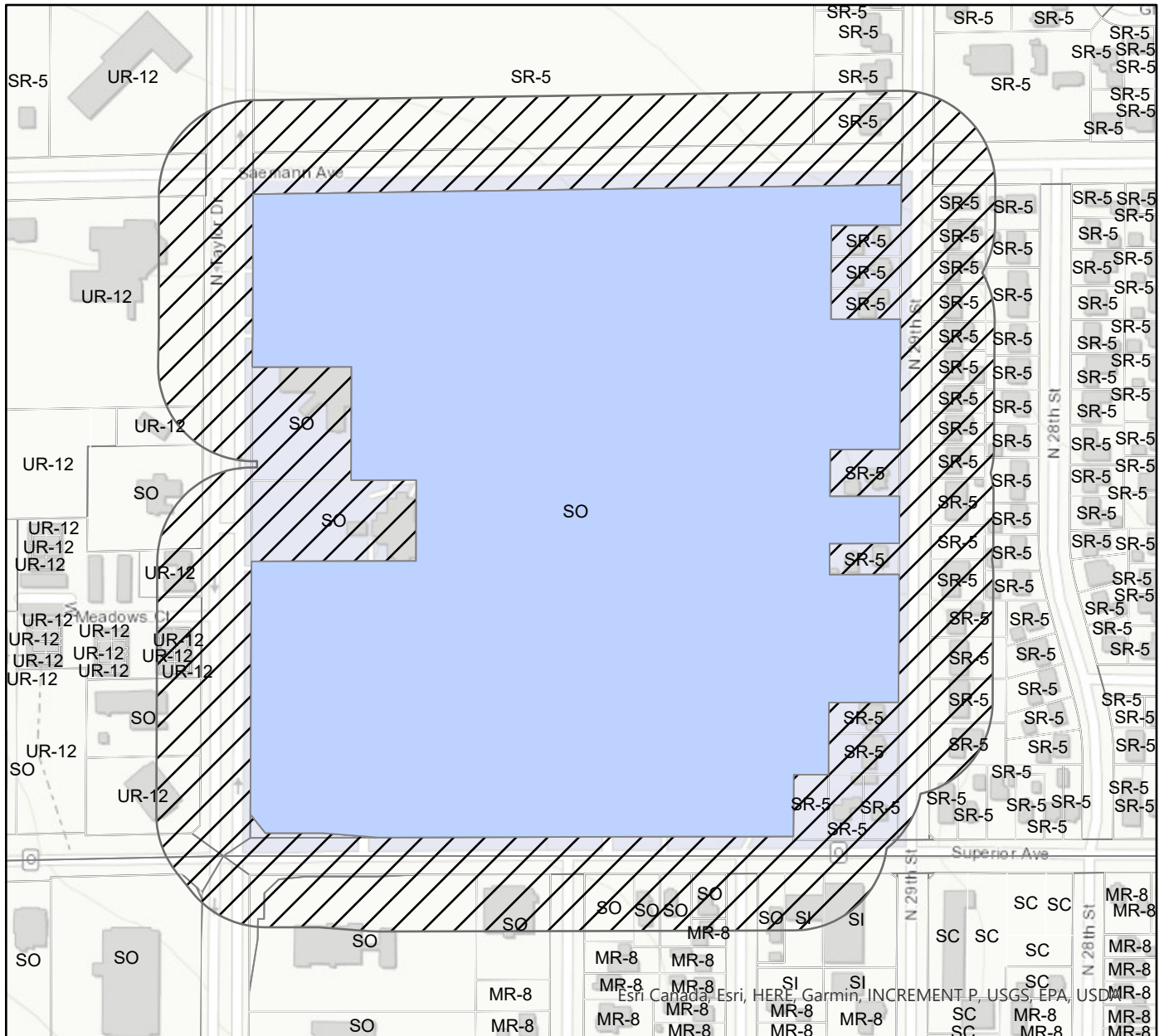
**PROPOSED REZONE
FROM SUBURBAN OFFICE (SO)**

Item 8.

**TO
SUBURBAN OFFICE-PLANNED UNIT DEVELOPMENT OVERLAY (SO -PUD)**

PRT OF THE SWSE SEC 16, T15N, R23E BOUNDED BY THE E LN OF N TAYLOR DR, THE W LN OF N 29TH ST, S LN OF SAEMANN AVE & THE N LN SUPERIOR AVE; EXC COM AT S1/4 COR SD SEC 16; TH N01-31-56W, 40' AND N88-29-58', 50.46' TO E LN N TAYLOR DR; TH N01-31-56W, ALG SD E LN 528.94'; TH N88-28'-04"E 315'; TH N- 01-31'-56"W 155'; TH S88-28'-04"W 125'; TH N01-31-56W, 217'; TH S88-28-04W, 190'; TH S01-31-56E ALG E LN N TAYLOR DR TO POB; ALSO EXC COM AT INT OF N LN SUPERIOR AVE W WEST LN N 29TH ST; TH W ALG SUPE

Parcel # 59281631527



0 100 200 400 600 800 Feet



**CITY OF SHEBOYGAN
ORDINANCE 13-24-25**

BY ALDERPERSON BELANGER

JULY 15, 2024.

NOW THEREFORE, be it ordained by the Common Council of the City of Sheboygan, in the State of Wisconsin, as follows:

SECTION 1: **AMENDMENT** “Sec 107-6 Official Maps And Revisions” of the Sheboygan Municipal Code is hereby *amended* as follows:

BEFORE AMENDMENT

Sec 107-6 Official Maps And Revisions

- (a) *Boundaries*. Special Flood Hazard Areas (SFHA) are designated as zones A, A1-30, AE, AH, AO, VE, V1-30, or V on the Flood Insurance Rate Maps (FIRMs) based on flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in subsection (b) below. Additional flood hazard areas subject to regulation under this ordinance are identified on maps based on studies approved by the DNR and listed in subsection (b) below. These maps and revisions are on file in the office of Planning & Zoning, City of Sheboygan.
- (b) *Official maps based on the Flood Insurance Study FIS()*:
 - (1) Flood insurance rate map (FIRM) panel numbers 55117C0217F, 55117C0219F, 55117C0332F, 55117C0334F, 55117C0342F, 55117C0351F, 55117C0352F, and 55117C0353F, April 2, 2009;
 - (2) Flood insurance rate map (FIRM) panel numbers 55117C0236G, 55117C0237G, 55117C0238G, 55117C0239G, 55117C0352G, 55117C0354G, 55117C0361G, and 55117C0362G, dated August 28, 2024;
 - (3) Flood insurance study (FIS) for Sheboygan County, 55117CV001B and 55117CV002B, dated August 28, 2024.
 - (4) Conditional Letter of Map Change (CLOMR), Case No. 02-05-2241R, issue date August 28, 2002 (Sheboygan River - Reiss Coal Property).
- (c) *Official maps based on other studies*. Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development:

Ord. No. 78-08-09, § 1(1.5)(2), 3-2-2009)

AFTER AMENDMENT

Sec 107-6 Official Maps And Revisions

- (a) *Boundaries*. Special Flood Hazard Areas (SFHA) are designated as zones A, A1-30, AE, AH, AO, VE, V1-30, or V on the Flood Insurance Rate Maps (FIRMs) based on

flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in subsection (b) below. Additional flood hazard areas subject to regulation under this ordinance are identified on maps based on studies approved by the DNR and listed in subsection (b) below. These maps and revisions are on file in the office of Planning & Zoning, City of Sheboygan.

- (b) *Official maps based on the ~~Flood~~Flood Insurance Study (FIS)*:

- (1) Flood insurance rate map (FIRM) panel numbers 55117C0217F, 55117C0219F, 55117C0332F, 55117C0334F, 55117C0342F, 55117C0351F, ~~55117C0352F~~, and 55117C0353F, April 2, 2009;
- (2) Flood insurance rate map (FIRM) panel numbers 55117C0236G, 55117C0237G, 55117C0238G, 55117C0239G, 55117C0352G, 55117C0354G, 55117C0361G, and 55117C0362G, dated August 28, 2024;
- (3) Flood insurance study (FIS) for Sheboygan County, 55117CV001B and 55117CV002B, dated August 28, 2024.
- (4) Conditional Letter of Map Change (CLOMR), Case No. 02-05-2241R, issue date August 28, 2002 (Sheboygan River - Reiss Coal Property).

- (c) *Official maps based on other studies*. Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development:

Ord. No. 78-08-09, § 1(1.5)(2), 3-2-2009)

SECTION 2: **AMENDMENT** “Sec 107-17 Enforcement And Penalties” of the Sheboygan Municipal Code is hereby *amended* as follows:

BEFORE AMENDMENT

Sec 107-17 Enforcement And Penalties

Any violation of the provisions of this ordinance by any person shall be unlawful and shall be referred to the municipal attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the municipality a penalty of not less than \$50.00 and not more than \$250.00, together with all taxable costs of such action. Each day of continued violation shall constitute a separate offense. Every violation of this chapter is a public nuisance, and the creation may be enjoined, and the maintenance may be abated by action at suit of the municipality, the state, or any citizen thereof pursuant to Wis. Stat. § 87.30.

(Ord. No. 78-08-09, § 1(9.0), 3-2-2009)

AFTER AMENDMENT

Sec 107-17 Enforcement And Penalties

Any violation of the provisions of this ordinance by any person shall be unlawful and shall be referred to the municipal attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the municipality a penalty of ~~not less than \$50.00 and~~ not more than ~~\$~~250.00, together with all taxable costs of such action. Each day of continued violation shall constitute a separate offense. Every violation of this chapter is a public nuisance, and the creation may be enjoined, and the maintenance may be abated by action at suit of the municipality, the state, or any citizen thereof pursuant to Wis. Stat. § 87.30.

(Ord. No. 78-08-09, § 1(9.0), 3-2-2009)

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of
Sheboygan

Meredith DeBruin, City Clerk, City of
Sheboygan