



ZONING BOARD OF APPEALS AGENDA

October 18, 2023 at 3:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Building Inspection Department, (920) 459-4064. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the Building Inspection Department at 920-459-4064 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Call to Order
2. Pledge of Allegiance
3. Identify potential conflicts of interest

MINUTES

- [4.](#) Approval of the Board of Appeals minutes from September 20, 2023.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- [5.](#) Variance application by Martin Perez to constructed an attached 4ft x 14ft roof over an existing uncovered front porch that does not meet the required front yard setback located at 2903 Lakeshore Drive.
- [6.](#) Variance application by Thomas Den Boer to construct a new 2600 sq. ft home with a 12 ft x 20ft covered deck (240 sq. ft). The total building coverage would be 2840 sq. ft. The lot size is 6000 sq. ft which allows a lot coverage of 2400 sq. ft located at 1705 S [7th](#) Street.

NEXT MEETING

7. Next scheduled meeting date: November 15, 2023

ADJOURN

8. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
ZONING BOARD OF APPEALS MINUTES

Wednesday, September 20, 2023

Members Present: Kevin Sampson, Keeli Johnson, Richard Linde, Tad Tjapkes, Ed Surek, Sala Sander and Markus Savaglio

Staff/Officials Present: Building Inspector Jeff Lutzke and Program Assistant Ellise Rose

OPENING OF MEETING

1. Call to Order

Kevin Sampson called the meeting to order.

2. Pledge of Allegiance

The Pledge of Allegiance is recited.

3. Identify potential conflicts of interest

No committee member had a conflict of interest.

MINUTES

4. Approval of the Board of Appeals minutes from August 16, 2023

Motion by Keeli Johnson, second by Markus Savaglio to approve. Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. Variance application by Kenneth and Carolyn Taylor to construct a 6ft high privacy fence (an accessory structure) on a property without a primary structure/use located on parcel #59281111441 located on Washington Court.

Motion by Markus Savaglio, second by Thad Tjapkes to approved as presented. Motion carried.

6. Variance application by John Justinger to construct a 12ft x 16 ft (192 sq. ft) storage shed with an attached 12ft x 16ft (192 sq. ft) roof overhang located at 3824 N 29th Street.

Motion by Markus Savaglio, second by Keeli Johnson to approve with the following conditions:

1. Siding color to match the house.
2. Board suggests installing bushes as screening for the neighbors.

Motion carried.

7. Variance application by Beachgrass Family Trust to construct an approximate 16ft x 26ft (416 sq. ft) home addition that does not meet side yard setback requirements located at 616 Georgia Avenue.

Motion by Keeli Johnson, second by Markus Savaglio to approve as presented. Motion carried.

8. Variance application by Ken Ebbers to construct a parking pad next to future garage off of the alleyway. Parking pad will have a 1ft setback from side property line located at 825 Leland Avenue.

Motion by Keeli Johnson, second by Markus Savaglio to approve with the following condition:

1. Parking pad to be pitched properly - not to create a nuisance to neighboring property.

Motion carried.

9. Variance application by Rachel Kohler to construct a shoreline revetment, stairways, hardscape and buried storage shed located within 75 feet of the ordinary high-water mark located at 120 Vollrath Boulevard.

Motion by Markus Savaglio, second by Sala Sander to approve as presented. Motion carried.

NEXT MEETING

10. October 18, 2023

ADJOURN

11. Motion to Adjourn

Motion by Markus Savaglio, second by Keeli Johnson to adjourn. Motion carried.

Being no further business, the meeting was adjourned at 3:50 p.m.

REQUEST FOR ZONING BOARD OF APPEALS CONSIDERATION

ITEM DESCRIPTION:

Address: 2903 LAKE SHORE DR

Parcel #: 310050

Owner's Name: MARTIN A PEREZ

Zoning: SR-5

REPORT PREPARED BY: Jeff Lutzke, Building Inspector

REPORT DATE: 10/05/2023

MEETING DATE: 10/18/2023

BACKGROUND / ANALYSIS

Owner has constructed an attached 4ft x 14ft roof over an existing uncovered front porch that does not meet the required front yard setback.

Ordinance #: Sec 105-203(b)(3)a -- Front or street side lot line to house: 25 feet,

Requesting: 5.5 ft

Allowed: 25 ft

Ordinance #: Sec 105-815(e)(1)c -- Terraces, steps, uncovered porches, decks, stoops, or similar appurtenances to residential buildings which do not extend above the floor level of the adjacent building entrance; provided they do not locate closer than 15 feet from any street right-of-way.


Requesting: covered porch within 15 ft of street right-of-way

Allowed: uncovered porch no closer than 15 ft of street right-of-way

Ordinance #: Sec 105-818(a)(1)a -- A nonconforming principal residential building may be enlarged, maintained, repaired or structurally altered; provided, however, that no such enlargement, maintenance, repair, or structural alteration shall either create any additional non-conformity

Requesting: to create additional non-conformity

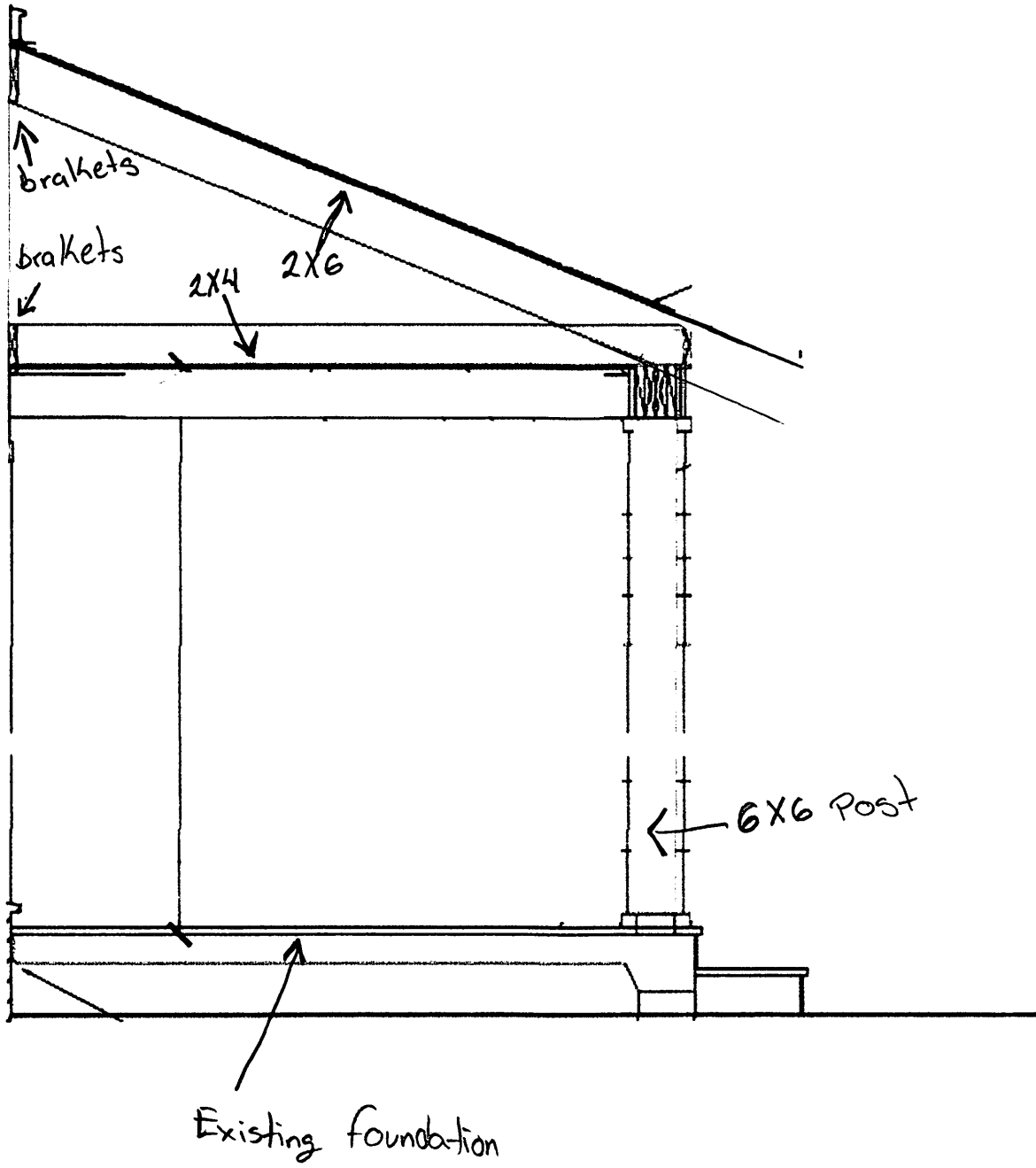
Allowed: not allowed

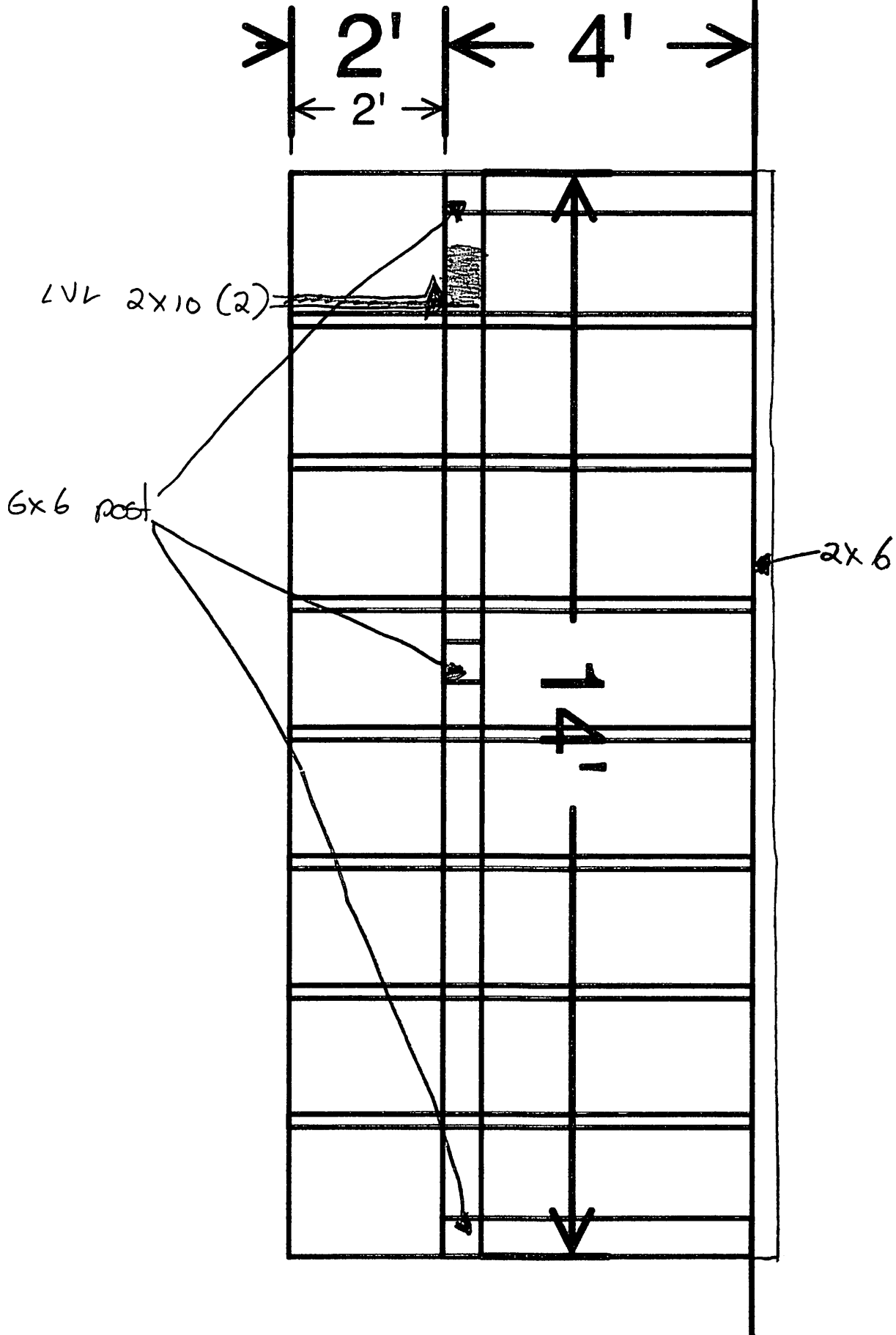
	CITY OF SHEBOYGAN VARIANCE APPLICATION	Fee: _____ Review Date: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) <u>Martin A Perez</u>			
Mailing Address <u>2903 Lakeshore Dr.</u>	City <u>Sheboygan</u>	State <u>WI</u>	ZIP Code <u>53081</u>
Email Address <u>martinconcrete70@gmail.com</u>	Phone Number (incl. area code) <u>920 287 6588</u>		
Applicants interest in property:			
SECTION 2: Property Information			
Property Address <u>2903 Lakeshore Dr.</u>	City <u>Sheboygan</u>	State <u>WI</u>	Zip <u>53081</u>
Type of Building: <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential			
Request for: <input type="checkbox"/> New Construction <input type="checkbox"/> Repairs <input type="checkbox"/> Alterations <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Nonconforming Use <input type="checkbox"/> Other			
SECTION 3: If the Request is for a Nonconforming Use			
Your intended use:			
Date last occupied as a nonconforming use:			
By Whom:		Previous Use:	
SECTION 4: Requested Variance			
On a separate letter to the Board, describe the requested variance and include what unnecessary hardship or difficulty is caused by following the regulations or requirements of the ordinance. See the attached "The Three Tests for a Variance" and be prepared to argue how you pass the THREE TESTS FOR A VARIANCE.			
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Variance Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) <u>Martin A Perez</u>	Title	Phone Number <u>9202876588</u>	
Signature of Applicant <u>Martin P.</u>	Date Signed <u>09/27/2023</u>		

Complete application is to be filed with the Building Inspection Department, 828 Center Avenue, Suite 208. Variances to zoning ordinances are considered by the City of Sheboygan Zoning Board of Appeals monthly on the third Wednesday at 3 p.m. at a public hearing. To be placed on the agenda of Zoning Board of Appeals, application must be received no later than 4:30 p.m. on the third Wednesday of the month prior to the scheduled public hearing. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.



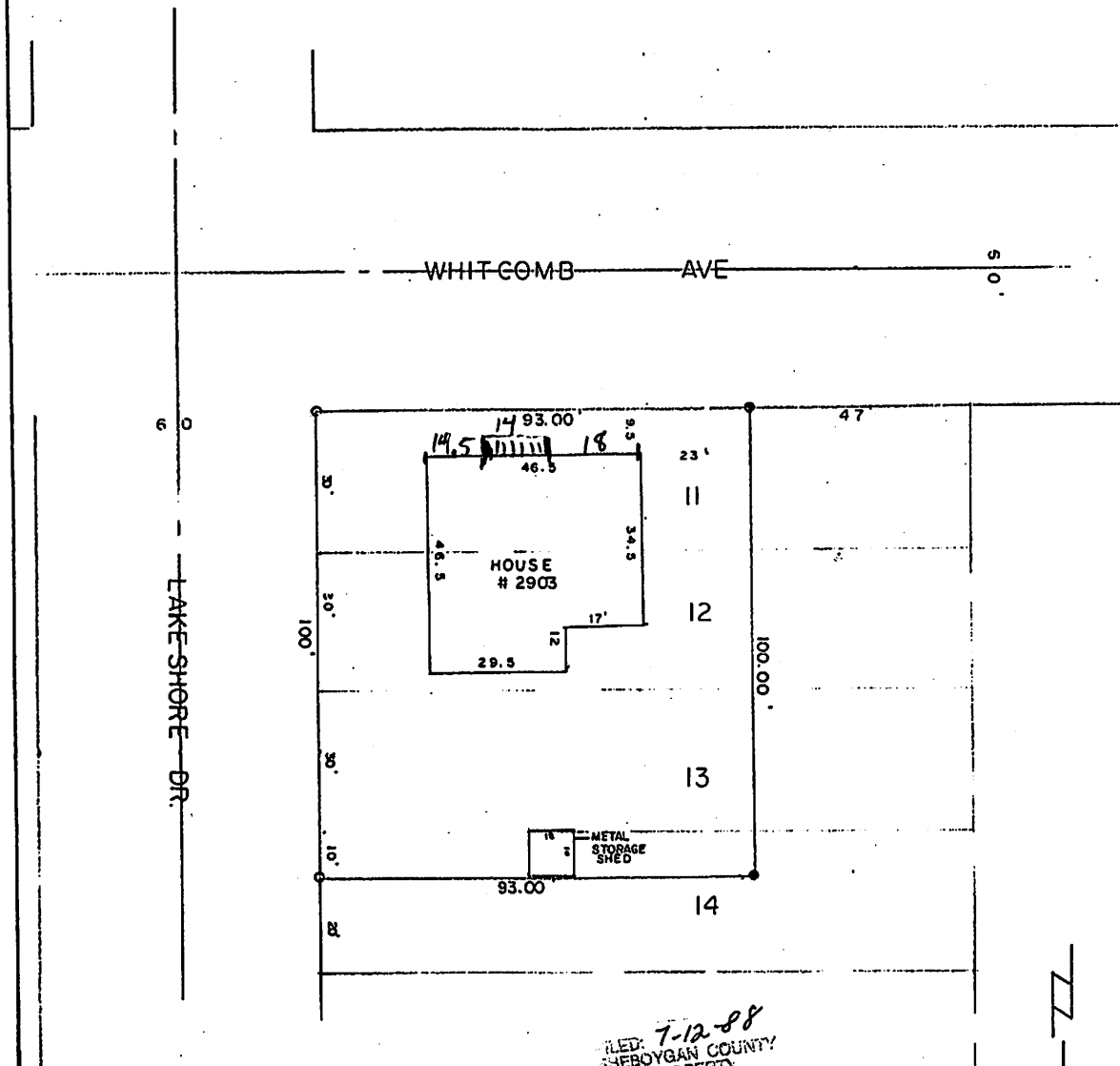


D & H LAND SURVEYS

SHEBOYGAN, WISCONSIN.
PLAT OF SURVEY

FOR JAMES HOUWERS

Being the West 93 feet of lots 11, 12 and 13, and the North 10 feet of the West 93 feet of lot 14 all in block five of Lakview Park Subdivision, City of Sheboygan, Wisconsin



SURVEYOR'S CERTIFICATE

I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and visible encroachments, if any.

This survey is made for the use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof.

WISCONSIN REGISTERED LAND SURVEYOR S-1238

THIS 8th DAY OF June, 1986

• = 1" IR. FD.
O = 1" IR. SET

NOTEBOOK 155 PAGE 17

SCALE 1" = 30'

L-8294

A-16462





Oct 17, 2023 2:29:40 PM
537 Whitcomb Avenue
Sheboygan County
Wisconsin



Oct 17, 2023 2:30:08 PM
537 Whitcomb Avenue
Sheboygan County
Wisconsin



Oct 17, 2023 2:34:27 PM
2910 Lakeshore Drive
Sheboygan County
Wisconsin



Oct 17, 2023 2:34:35 PM
2910 Lakeshore Drive
Sheboygan County
Wisconsin



EVERB

2903

Oct 17, 2023 2:34:39 PM
2910 Lakeshore Drive
Sheboygan County
Wisconsin



Oct 17, 2023 2:34:33 PM
2910 Lakeshore Drive
Sheboygan County
Wisconsin

REQUEST FOR ZONING BOARD OF APPEALS CONSIDERATION

ITEM DESCRIPTION:

Address: 1705 S 7TH ST

Parcel #: 316620

Owner's Name: THOMAS DEN BOER

Zoning: NR-6

REPORT PREPARED BY: Jeff Lutzke, Building Inspector

REPORT DATE: 10/05/2023 MEETING DATE: 10/18/2023

BACKGROUND / ANALYSIS

Owner would like to construct a new 2600 sq ft home with a 12 ft x 20ft covered deck (240 sq ft). The total building coverage would be 2840 sq ft. The lot size is 6000 sq ft which allows a lot coverage of 2400 sq ft.

Ordinance #: Sec 105-234(b)(3)a -- Building coverage ratio: 0.40

Requesting: 0.47 coverage ratio

Allowed: 0.40 coverage ration


Ordinance #: Sec 105-234(b)(3)e -- Rear lot line to house or attached garage: 20 feet.

Requesting: 8 ft


Allowed: 20 ft

ATTACHMENTS:

Application, pictures, and drawing

	CITY OF SHEBOYGAN VARIANCE APPLICATION	Fee: _____ Review Date: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) <u>TOM DENBOER</u>			
Mailing Address <u>W2677 Hannah Lane</u>	City <u>Sheboygan</u>	State <u>WI</u>	ZIP Code <u>53083</u>
Email Address <u>t.denboer@bellsouth.net</u>	Phone Number (incl. area code) <u>608 201 3888</u>		
Applicants interest in property: <u>TOM DENBOER</u>			
SECTION 2: Property Information			
Property Address <u>1705 S 7th St</u>	City <u>Sheboygan</u>	State <u>WI</u>	Zip <u>53081</u>
Type of Building: <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential			
Request for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Repairs <input type="checkbox"/> Alterations <input type="checkbox"/> Addition <input type="checkbox"/> Nonconforming Use <input type="checkbox"/> Other			
SECTION 3: If the Request is for a Nonconforming Use			
Your intended use: <u>New house</u>			
Date last occupied as a nonconforming use:			
By Whom:		Previous Use:	
SECTION 4: Requested Variance			
On a separate letter to the Board, describe the requested variance and include what unnecessary hardship or difficulty is caused by following the regulations or requirements of the ordinance. See the attached "The Three Tests for a Variance" and be prepared to argue how you pass the THREE TESTS FOR A VARIANCE.			
SECTION 5: Certification and Permission			
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Variance Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.			
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.			
Name of Owner/Authorized Representative (please print) <u>TOM DENBOER</u>	Title <u>OWNER</u>	Phone Number <u>608 201 3888</u>	
Signature of Applicant 		Date Signed <u>9/21/23</u>	

Complete application is to be filed with the Building Inspection Department, 828 Center Avenue, Suite 208. Variances to zoning ordinances are considered by the City of Sheboygan Zoning Board of Appeals monthly on the third Wednesday at 3 p.m. at a public hearing. To be placed on the agenda of Zoning Board of Appeals, application must be received no later than 4:30 p.m. on the third Wednesday of the month prior to the scheduled public hearing. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

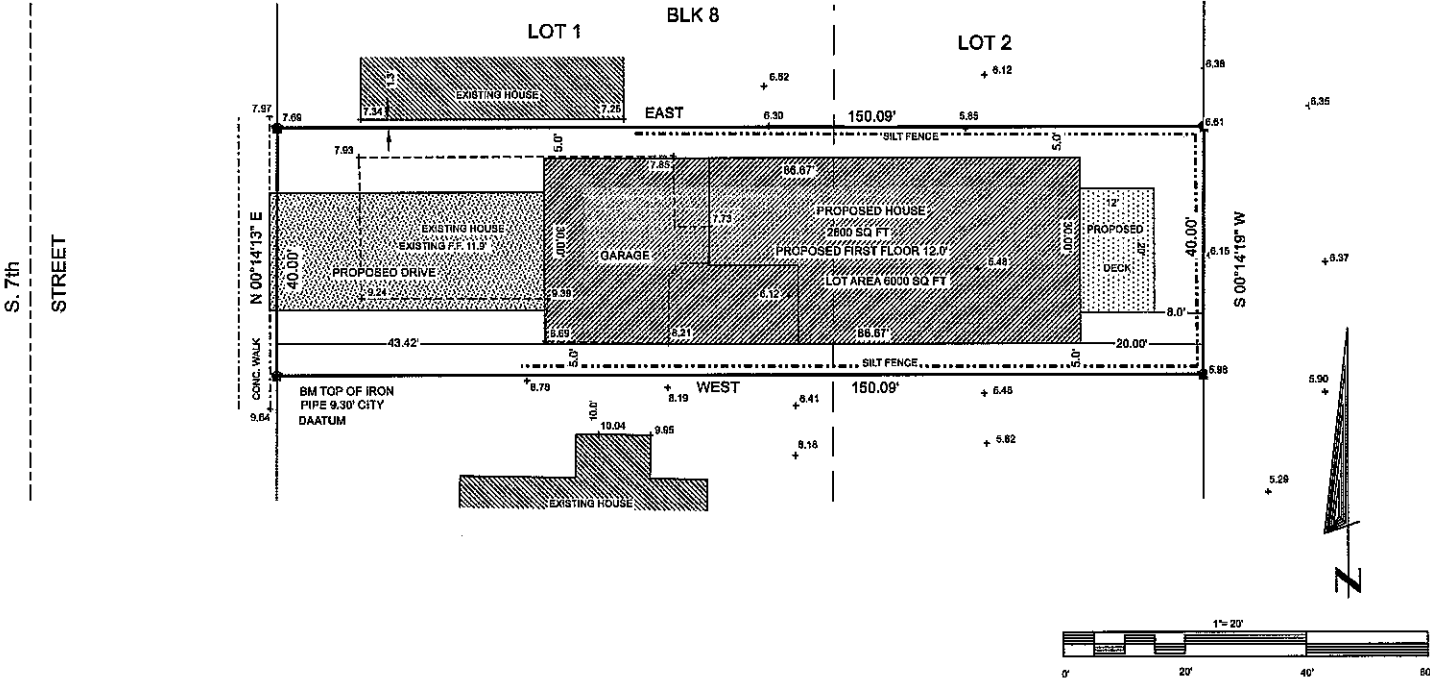
Please accept the following letter to serve as a request for a variance in regards to the property located at 1705 South 7th Street in Sheboygan, WI

The current house located on the property will demolished and razed. I am proposing to build a new house of approximately 2600 square feet on the property. Due to the zoning of SR-5, the footprint of the house exceeds the 40% lot coverage by approximately 200 square feet.

The new house will serve as the primary residence for the Denboer family

Thank you for your review of my variance request and your consideration

D & H LAND SURVEYS LLC
1628 GEORGIA AVENUE
SHEBOYGAN, WISCONSIN
1705 S. 7th STREET
PARCEL 59281316620
BEING THE SOUTH 40 FEET OF THE NORTH 80 FEET OF THE WEST 80 FEET OF LOT 1
AND THE SOUTH 40 FEET OF THE NORTH 80 FEET OF LOT 2 OF BLOCK 8
OF OTTEN & SAEMMANN'S ADDITION TO THE CITY OF SHEBOYGAN,
SHEBOYGAN COUNTY, WISCONSIN.



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dennis J. Van Sluys 8-1238

Dated this 8th day of September, 2023.

★ = 1" IRON PIPE FOUND
+ = EXISTING GRADE CITY DATUM

DATA/CSHEB23/1705S7 D-3584

Wierus, Linnae

From: Kristin Dederling <kristin.dederling@oostburglumber.com>
Sent: Thursday, September 21, 2023 1:19 PM
To: Wierus, Linnae
Cc: THOMAS DENBOER
Subject: Tom DenBoer Drawings
Attachments: 23032 DenBoer Residence - BDOC 08242023.pdf; 23032 DenBoer Residence - Variance - BDOC - 08242023.pdf

Hello.

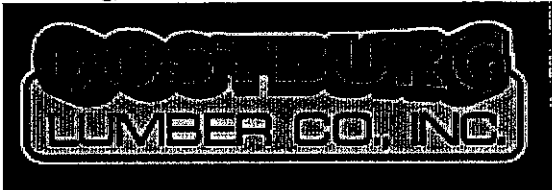
Attached are the Tom DenBoer drawings as they currently are. Also, I am sending this with the future / potential covered roof patio so that can be considered too.

Please let me know if you have further questions.

Thanks, Kristin

Kristin Dederling, AIA LEED AP
Architect – Director of Residential Design
Office: 920-564-2378

1218 Center Ave
Oostburg, WI 53070



NOTICE:
Although every effort has been made in designing and providing these plans and specifications to be accurate, the architect, engineer, or contractor must check all details and dimensions and be responsible for any changes or adjustments required during actual construction. The architect is not responsible for errors of omission and/or commission.

CODE INFORMATION:

BUILDING CLASSIFICATIONS:

USE GROUP:

R-3 SINGLE FAMILY RESIDENTIAL

FLOOR AREA OF NEW CONSTRUCTION:

(CALCULATIONS ARE TO OUTSIDE BEARING EDGE)

AREA SCHEDULE	
NAME	AREA
Main Floor Finished	1504.8 sq ft
Garage Slab	929.6 sq ft
Main Floor Slab	1480.1 sq ft

MECHANICAL REQUIREMENTS:

MECHANICAL SYSTEM DESIGN/BUILD BY OWNER & CONTRACTOR

ELECTRICAL REQUIREMENTS:

ACTUAL ELECT. FIXTURE LOCATION BY OWNER DESIGN/BUILD BY CONTRACTOR

ELECTRICAL REQUIREMENTS TO BE IN ACCORDANCE WITH NEC & NFPA

STRUCTURAL:

ALL ENGINEERED BUILDING MATERIALS AND TRUSSES TO BE DESIGNED AND APPROVED BY APPROVED MANUFACTURER

This plan was designed and drafted to meet conditions and codes of Oostburg, WI. Verify compliance of the design and the codes listed before your local building official. These plans do not warrant compliance with any specific code or regulation.

GENERAL NOTES:

DRAWINGS:

A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE AUTHOR OF ANY DISCREPANCIES. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS OR LOCATIONS.

B. MANUFACTURER'S RECOMMENDATIONS MUST BE ADHERED TO AT ALL TIMES AND SHALL BE CONSIDERED AS MIN. STANDARDS OF QUALITY.

C. ALL WORK IS TO BE PERFORMED TO INDUSTRY STANDARDS BY QUALIFIED, COMPETENT TRADES PERSONS. IT IS ASSUMED THAT WORKERS WILL BE FAMILIAR WITH LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS AND SHALL ADHERE TO SUCH CODES AND REGULATIONS.

GOVERNING CODES:

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWING, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROVIDED AND PAID FOR BY THE OWNER.

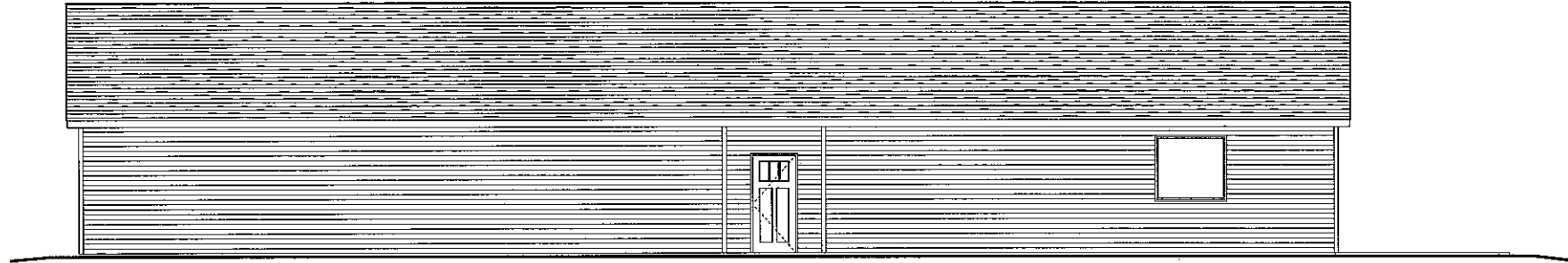
DRAWING SCHEDULE

NORTH & SOUTH ELEVATIONS 1

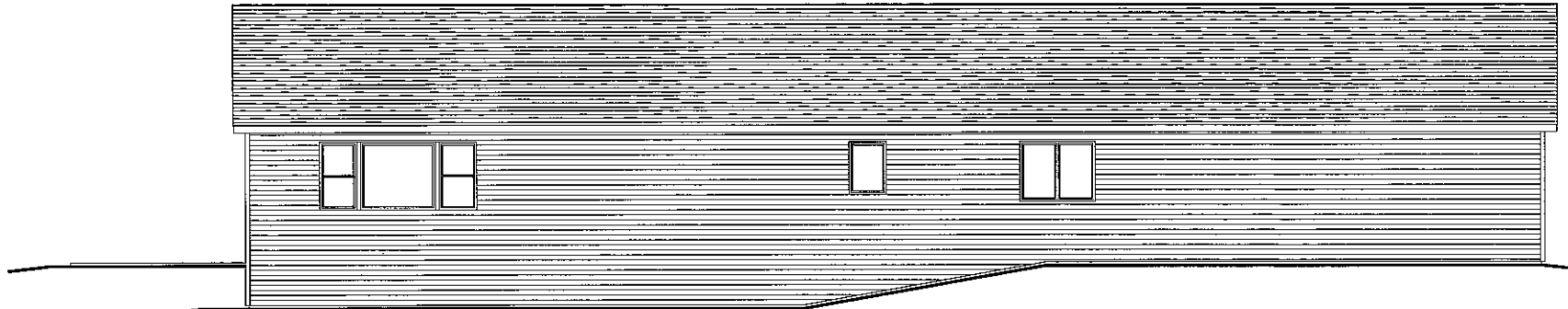
EAST & WEST ELEVATION, WALL SECTION 2

FOUNDATION 3

MAIN FLOOR 4



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
All dimensions are given in feet and inches unless otherwise noted.
All window and door heights to be per 2018 IRC.
All window and door widths to be per 2018 IRC.
All window and door heights to be per 2018 IRC.
All window and door widths to be per 2018 IRC.
All window and door heights to be per 2018 IRC.
All window and door widths to be per 2018 IRC.

NOTICE:

These plans are designed exclusively for the use of the owner and are not to be used for any other purpose without the written consent of OOSTBURG LUMBER COMPANY, INC.

Visit us at:
www.oostburglumber.com
E-mail us at:
kristin@oostburglumber.com

OOSTBURG LUMBER
COMPANY, Inc.

1218 Cedar Ave.
Oostburg, WI 53070
Phone: (920) 544-4378
Fax: (920) 544-3040

PROJECT FOR:
DenBoer Residence
1705 S. 7th Street
Sheboygan, WI 53083

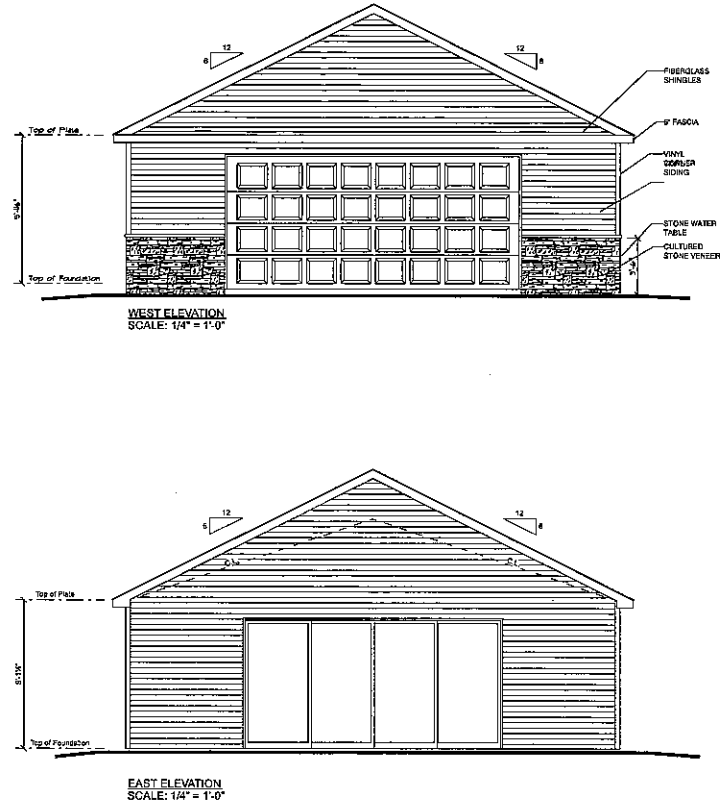
PRINT DATE	REV. DATE	REV. DATE	REV. DATE	REV. DATE
12/21/2023	-	-	-	-

Page: 1 of 4
Drawn by: D.E.G.
Checked by: K.D.

BID SET

Item 6.

NOTE:
All dimensions are face to face unless noted. 2x6 @ 12" O.C. 2x4 @ 12" O.C.
All window header heights to be set at 6'-10 3/8" unless otherwise noted.
All bearing headers to be (2) 2x12's, unless otherwise noted.
All interior windows and doors shall be Rough Openings.
All wall heights to be 8'-1 1/8" unless otherwise noted.



THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF OOSTBURG LUMBER COMPANY, INC.

**OOSTBURG LUMBER
COMPANY, Inc.**

PROJECT FOR:
DenBoer Residence
1705 S. 7th Street
Sheboygan, WI 53083

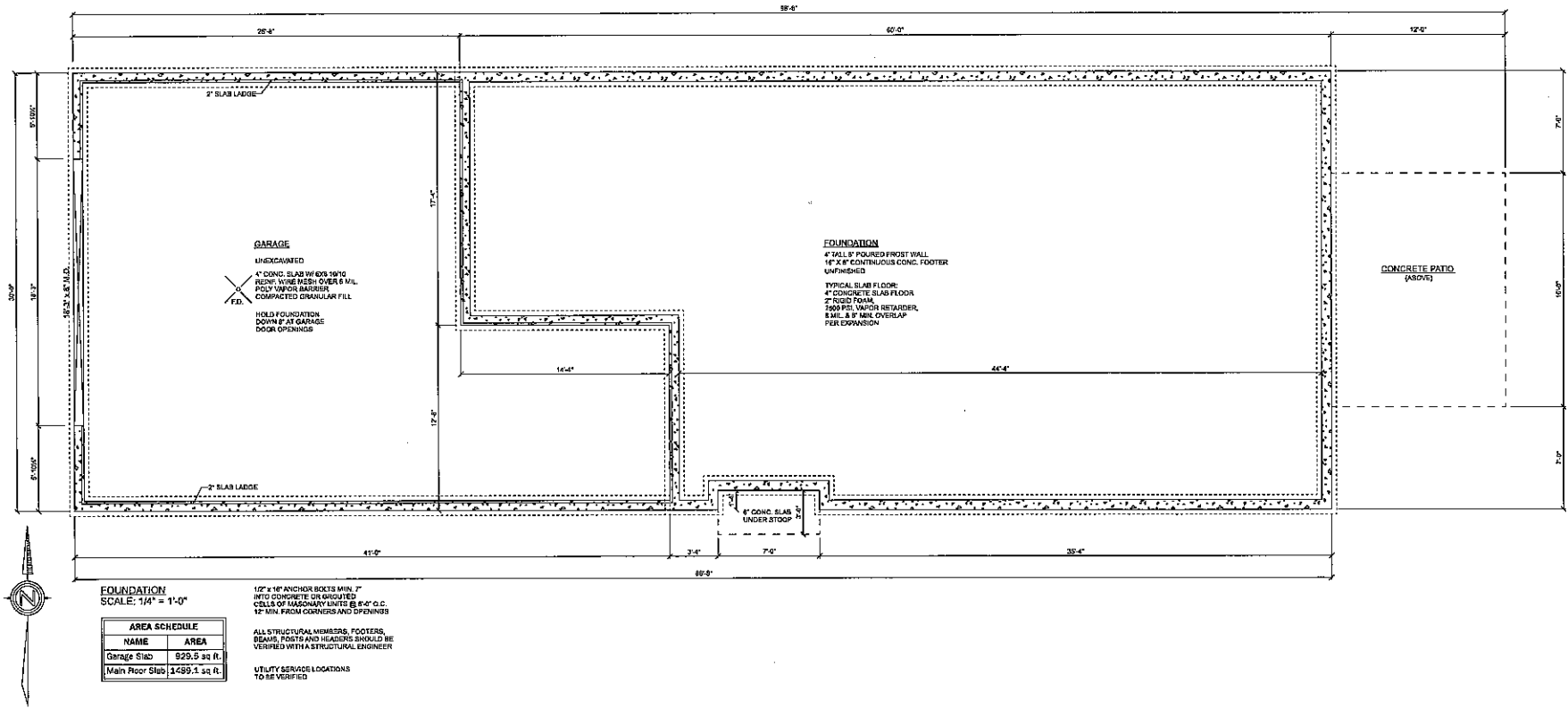
Page: 2	of 4	PRINT DATE: 2/23/2023
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		REV. DATE: -
		REV. DATE: -
		REV. DATE: -

Drawn by: D.E.G.
Checked by: K. D.

Item 6.

NOTICE:
All work shall be done in accordance with the plans and specifications and the contractor shall be responsible for any changes or omissions required for a successful completion. The contractor is also responsible for obtaining all necessary permits and licenses.

NOTE:
All dimensions are given in feet and inches to the nearest 1/4". All dimensions shall be verified by the contractor. All work shall be done in accordance with the plans and specifications and the contractor shall be responsible for any changes or omissions required for a successful completion. The contractor is also responsible for obtaining all necessary permits and licenses.



FOUNDATION
SCALE: 1/4\" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Garage Slab	929.5 sq. ft.
Main Floor Slab	1459.1 sq. ft.

1/2" x 16" ANCHOR BOLTS MIN. 7" INTO CONCRETE OR EQUIVALENT CELLS OF MASONRY LIMITS TO 6" O.C. 12" MIN. FROM CORNERS AND OPENINGS

ALL STRUCTURAL MEMBERS, FOOTERS, BEAMS, POSTS AND HEADERS SHOULD BE VERIFIED WITH A STRUCTURAL ENGINEER

UTILITY SERVICE LOCATIONS TO BE VERIFIED

NOTE:
All dimensions are given in feet and inches to the nearest 1/4". All dimensions shall be verified by the contractor. All work shall be done in accordance with the plans and specifications and the contractor shall be responsible for any changes or omissions required for a successful completion. The contractor is also responsible for obtaining all necessary permits and licenses.

Visit us at:
www.oostburglumber.com
E-mail to:
kristindalring@oostburglumber.com

**OOSTBURG LUMBER
COMPANY, Inc.**

1218 Cedar Ave.
Oostburg, WI 53070
Phone: (262) 564-2378
Fax: (262) 564-3040

PROJECT FOR:
DenBoer Residence
1705 S. 7th Street
Sheboygan, WI 53083

PRINT DATE	2/2/2021
REV. DATE	-
REV. DATE	-
REV. DATE	-
REV. DATE	-
REV. DATE	-

Page: 3 of 4

Drawn by: D.E.G.
Checked by: K. D.

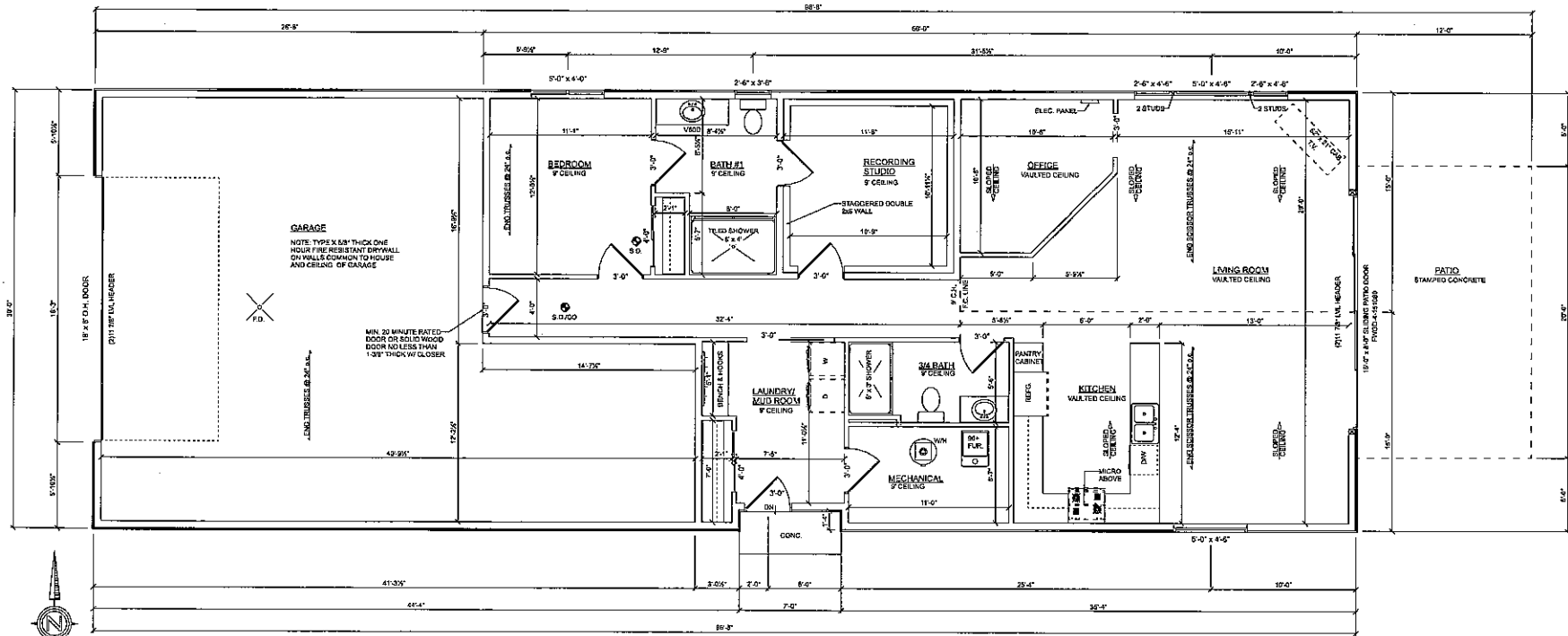
BID SET

Item 6.

23

NOTICE:
Although every effort has been made in designing and preparing these plans and specifications from the accuracy, the quality, manner, or estimate from which all details and dimensions and be responsible for any changes or adjustments required during actual construction. The engineer is not responsible in full for any and all such errors.

NOTICE:
All dimensions are given in feet and inches to the nearest 1/8" (1/16" for 1/2" and 3/4"). All dimensions shall be taken to the center of the member unless otherwise noted. All dimensions shall be taken to the center of the member unless otherwise noted. All dimensions shall be taken to the center of the member unless otherwise noted. All dimensions shall be taken to the center of the member unless otherwise noted.



MAIN FLOOR
SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Main Floor Finished	1604.8 sq ft

FRAMING NOTE:
ALL EXTERIOR WALLS TO BE 3/4" UNLESS OTHERWISE SPECIFIED.
ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE SPECIFIED.
ALL ANGLES ARE 45 DEG UNLESS OTHERWISE SPECIFIED.

HEADER NOTE:
ALL 2X12 HEADERS OVER ALL EXTERIOR & INTERIOR LOAD BEARING OPENINGS (TYP) UNLESS OTHERWISE NOTED.

NOTE: EMERGENCY RESCUE OPENINGS
SLEEPING ROOMS SHALL HAVE ONE CORNER WINDOW FOR EMERGENCY RESCUE. THE SILL HEIGHT FROM THE FLOOR SHALL NOT EXCEED 42" (48" IF THE WINDOW IS A DOUBLE HUNG WINDOW). THE WINDOW SHALL HAVE A NET OR LATH SCREEN OF NO LESS THAN 1/8" ROUNDED CORNERS. THE MINIMUM OPENING HEIGHT SHALL BE 24" (24" AND 20" IN WIDTH SHALL APPLY TO THIS SECTION). INDICATE WHICH WINDOWS ARE TO BE EGRESS WINDOWS ON THE PLANS.

SMOKE/ALARM NOTE:
IN NEW DWELLINGS, SMOKE ALARMS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS:
A) A SMOKE ALARM UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES ON EACH LEVEL WITHIN EACH DWELLING UNIT (SHOW TECHNOLOGY TYPE LOCATIONS)
B) A SMOKE ALARM IN EACH SLEEPING ROOM (ACCEPTABLE)
C) A SMOKE ALARM THAT INCLUDES PHOTOELECTRIC TECHNOLOGY OUTSIDE EACH SEPARATE SLEEPING AREA, SUCH AS IN THE CORRIDORS IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS (SHOW TECHNOLOGY TYPE LOCATIONS)
D) A SMOKE ALARM ON THE UPPER LEVEL OF DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS SHALL SUPPLY FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

CABINET NOTE:
ALL CABINET LAYOUT AND DESIGN ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL CABINET LAYOUT AND DESIGN TO BE DETERMINED FROM THE CABINET DESIGNER.

NOTICE:

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF OOSTBURG LUMBER COMPANY, INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF OOSTBURG LUMBER COMPANY, INC.

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E-mail to:
krisindotletting@oostburglumber.com

OOSTBURG LUMBER
COMPANY, Inc.

1218 Center Ave.
Oostburg, WI 53070
Phone: (920) 564-2578
Fax: (920) 564-5040

PROJECT FOR:
DenBoer Residence
1705 S. 7th Street
Sheboygan, WI 53083

PRINT DATE	2/21/2023
REV. DATE	-
REV. DATE	-
REV. DATE	-
REV. DATE	-

Drawn by: D.E.G.
Checked by: K.D.

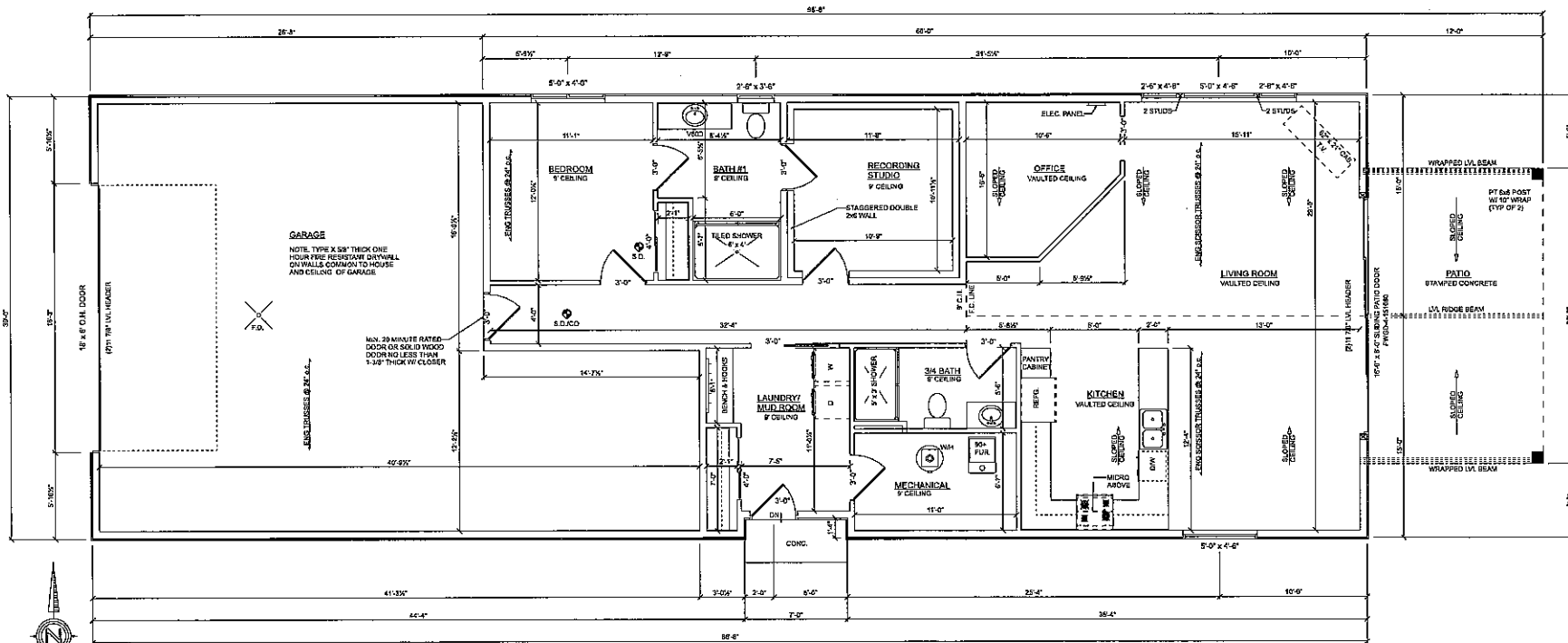
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NOTICE:
Although every effort has been made in designing and preparing these plans and specifications, the architect assumes no liability for errors or omissions, and the contractor is responsible for any changes or omissions required during construction. The contractor is responsible for obtaining all necessary permits.

NOTE:
All dimensions are shown in feet and inches to the nearest 1/8" (1/16" and 1/32"). All window and door heights are to be 6' 0" to 6' 6" unless otherwise noted. All window and door widths are to be 3' 0" to 3' 6" unless otherwise noted. All exterior finishes and materials are to be as shown on the plans. All materials are to be of the highest quality and available.



MAIN FLOOR - VARIANCE
SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
Main Floor Finished	1604.8 sq ft

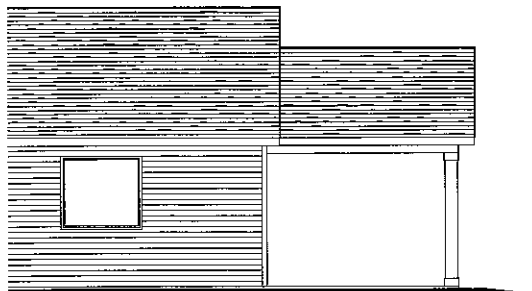
FRAMING NOTE:
ALL EXTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE SPECIFIED.
ALL INTERIOR WALLS TO BE 2X4 UNLESS OTHERWISE SPECIFIED.
ALL ANGLES AND 45 DEG. W/O.

HEADER NOTE:
2X12 HEADERS OVER ALL EXTERIOR & INTERIOR LOAD BEARING OPENINGS (TYP) UNLESS OTHERWISE NOTED.

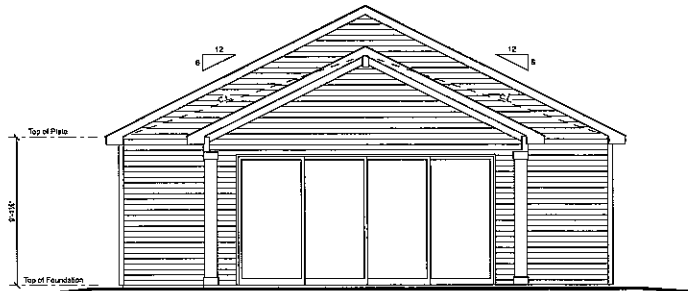
NOTE: EMERGENCY & RESCUE OPENINGS
SLEEPING ROOMS SHALL HAVE ONE WINDOW FOR EMERGENCY RESCUE. THE SILL HEIGHT FROM THE FLOOR SHALL NOT EXCEED 44". THE WINDOW SHALL HAVE A NET CLEAR OPENING OF NO LESS THAN 57 SQUARE FEET. THE MINIMUM OPENING HEIGHT SHALL BE 6'0" AND 6'0" IN WIDTH. SHOW COMPLIANCE TO THIS SECTION. INDICATE WHICH WINDOW ARE TO BE EGRESS WINDOWS ON THE PLANS.

SMOKE/CO ALARM NOTE:
IN NEW DWELLINGS, SMOKE ALARMS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS:
A.1 A SMOKE ALARM UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES ON EACH LEVEL WITH EACH DWELLING UNIT. (SHOW TECHNOLOGY TYPE LOCATIONS)
B.1 A SMOKE ALARM IN EACH SLEEPING ROOM. (ACCEPTABLE)
C.1 A SMOKE ALARM THAT INCLUDES PHOTOELECTRIC TECHNOLOGY OR IONIZATION IN EACH SLEEPING AREA, SUCH AS IN THE CORRIDORS IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS. (SHOW TECHNOLOGY TYPE LOCATIONS)
D.1 A SMOKE ALARM ON THE UPPER LEVEL OF DWELLINGS OR DWELLING UNITS WITH BUILT-UP LEVELS WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS SHALL BE REQUIRED FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

CABINET NOTE:
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SOUTH ELEVATION - VARIANCE
SCALE: 1/4" = 1'-0"



EAST ELEVATION - VARIANCE
SCALE: 1/4" = 1'-0"



NORTH ELEVATION - VARIANCE
SCALE: 1/4" = 1'-0"

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PROJECT FOR:
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1705 S. 7th Street
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REV. DATE	REV. DATE	REV. DATE	REV. DATE
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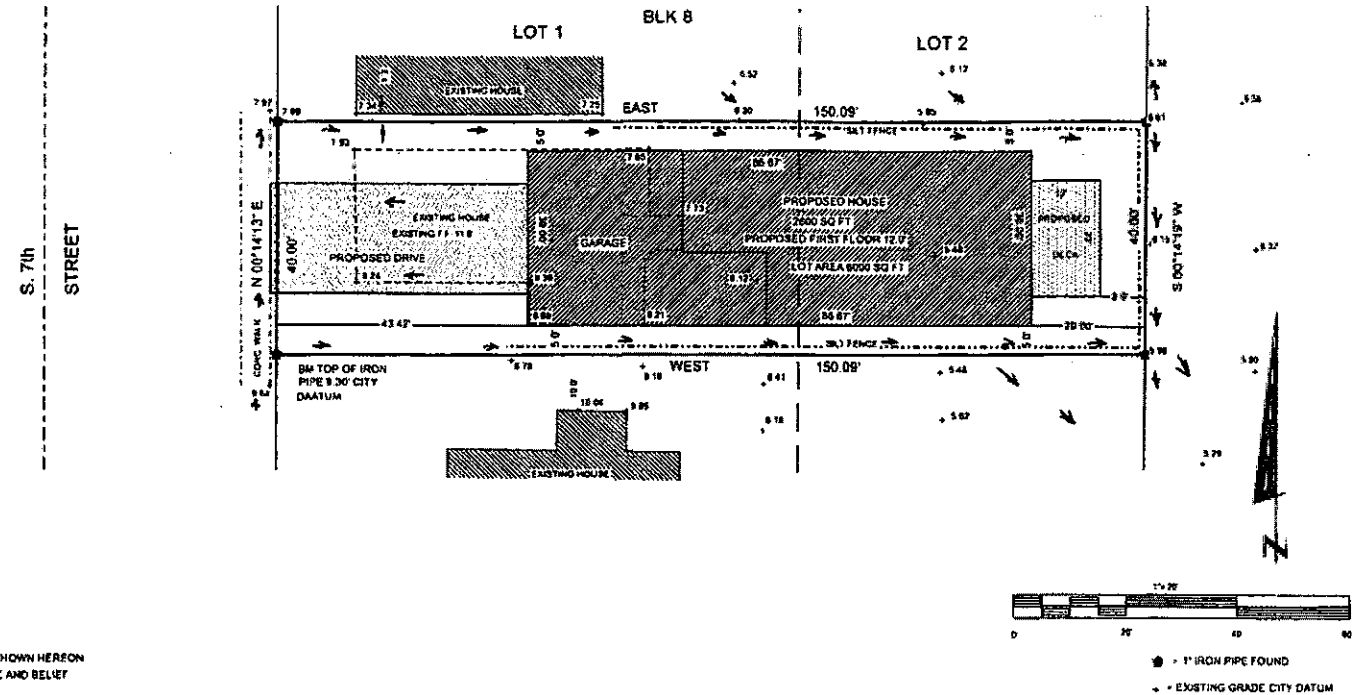
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D & H LAND SURVEYS LLC
1628 GEORGIA AVENUE
SHEBOYGAN, WISCONSIN

105 S. 7th STREET
PARCEL 1628131800
BEING THE SOUTH 40 FEET OF THE NORTH 80 FEET OF THE WEST 80 FEET OF LOT 1
AND THE SOUTH 40 FEET OF THE NORTH 80 FEET OF LOT 2 OF BLOCK 8
OF OTTEN & SAEMMANN'S ADDITION TO THE CITY OF SHEBOYGAN,
SHEBOYGAN COUNTY, WISCONSIN

Int'l
DPLW - sheboygan-1
10-10-23



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

Dennis J. Van Slyke
Dennis J. Van Slyke S-1228

Dated the 8th day of September, 2023

DATA/CSHEB23/170257 D-3584

