



# CITY PLAN COMMISSION AGENDA

**September 10, 2024 at 4:00 PM**

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,  
Sheboygan, WI**

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Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

## **OPENING OF MEETING**

1. Roll Call
2. Pledge of Allegiance
3. Identify potential conflict of interest

## **MINUTES**

4. Approval of the Plan Commission minutes from August 27, 2024.

## **PUBLIC HEARINGS**

5. Public hearing regarding application for Conditional Use Permit with exceptions by A.C.E. Building Service, Inc. to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park (parcels 59281479085 and 59281479081).

## **ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

6. Application for Conditional Use Permit with exceptions by A.C.E. Building Service, Inc. to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park (parcels 59281479085 and 59281479081).
7. Gen. Ord. No. 16-24-25 by Alderpersons Belanger and Ramey amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of property located at 1202 N. 31st Street from Class Suburban Office (SO) to Class Urban Residential (UR-12) Classification. REFER TO CITY PLAN COMMISSION
8. R. O. No. 51-24-25 by City Clerk submitting an application for amendment to the official zoning map for the City of Sheboygan from ABG, LLC for property located at 1202 N. 31st Street – Parcel No. 59281213130. REFER TO CITY PLAN COMMISSION

## **NEXT MEETING**

9. September 24, 2024

## **ADJOURN**

10. Motion to Adjourn

***In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:***

*City Hall • Mead Public Library  
Sheboygan County Administration Building • City's website*

**CITY OF SHEBOYGAN**

**CITY PLAN COMMISSION MINUTES**

**Tuesday, August 27, 2024**

**MEMBERS PRESENT:** Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

**EXCUSED:** Braden Schmidt

**STAFF/OFFICIALS PRESENT:** Director of Planning & Development Diane McGinnis Casey, Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

**OPENING OF MEETING**

- 1. Roll Call

Mayor Sorenson called the meeting to order at 4pm.

- 2. Pledge of Allegiance

The Pledge of Allegiance was recited.

- 3. Identify potential conflict of interest

No committee member had a conflict.

**MINUTES**

- 4. Approval of the Plan Commission minutes from August 13, 2024.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON AUGUST 13, 2024.

Motion made by Jerry Jones, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

**PUBLIC HEARINGS**

- 5. Public hearing regarding application for Conditional Use Permit with exceptions by Quasius Construction to renovate a new multi-tenant convenience store and service station at 2811 S Business Drive. UC Zone

No public comment.

- 6. Public hearing regarding application for Conditional Use Permit with exceptions by Quasius Construction to construct a new multi-tenant convenience store and service station at the northwest corner of N. 15th Street and Geele Avenue (2206 N. 15th Street). UC Zone

No public comment.

MOTION TO CLOSE ALL PUBLIC HEARINGS.

Motion made by Jerry Jones, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

## ITEMS FOR DISCUSSION AND POSSIBLE ACTION

7. Application for Conditional Use Permit with exceptions by Quasius Construction to renovate a new multi-tenant convenience store and service station at 2811 S Business Drive. UC Zone

### MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Marilyn Montemayor, seconded by Alderperson John Belanger

Voting yea: Marilyn Montemayor, Alderperson John Belanger

Voting nay: Mayor Ryan Sorenson, Jerry Jones, Kimberly Meller, and Kevin Jump

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, alcohol, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
5. Submittal/approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
6. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
7. Window under canopy is only to be used as a pick-up window, not a drive-thru window.
8. 9. Outdoor storage of all of their materials, products or equipment shall be prohibited
9. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
10. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
11. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
12. Applicant shall not be able to have string lights, pennants, inflatables, or other various types of temporary signage.
13. The total height of any overhead canopy shall not exceed 20 feet as measured to the highest part of the structure (top of canopy to grade).
14. All areas used for parking/maneuvering of vehicles shall be paved.
15. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
16. The parking lot and pick-up facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
17. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.

18. Absolutely no portion of the new building and/or site improvements shall cross the property line including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
19. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
20. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
21. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
22. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
23. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
24. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Water Utility.
25. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
26. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
27. Any future/additional uses of the facility/property, additions, site improvements, etc. may require conditional use permit and architectural review.
28. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, canopy, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

Motion denied.

8. Application for Conditional Use Permit with exceptions by Quasius Construction to construct a new multi-tenant convenience store and service station at the northwest corner of N. 15th Street and Geele Avenue (2206 N. 15th Street). UC Zone

#### MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS

Motion made by Jerry Jones, seconded by Alderperson John Belanger

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, alcohol, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc.
4. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.

5. Submittal/approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
6. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility and shall be completed prior to issuance of an occupancy permit.
7. Outdoor display of ice, propane and firewood is permitted but shall be properly maintained in an orderly fashion at all times.
8. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
9. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
10. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
11. Applicant shall be permitted a freestanding monument sign for the site. Minimum setback of a monument sign is 12 feet. Maximum height of the monument sign is 8 feet. Sign shall be located outside of the 15-foot vision triangle.
12. Maximum canopy sign square footage permitted is 20sf for the gas fuel canopy signage.
13. No sign shall be located on the roof or the top horizontal plane of the canopy.
14. Applicant shall not be able to have string lights, pennants, inflatables, or other various types of temporary signage.
15. The total height of any overhead canopy shall not exceed 20 feet as measured to the highest part of the structure (top of canopy to grade).
16. All areas used for parking/maneuvering of vehicles shall be paved. Applicant shall meet the minimum five (5) foot paving setback to all property lines.
17. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
18. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
19. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
20. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
21. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, grading, etc.).
22. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
23. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
24. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
25. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).

- 26. City Development staff will issue a building permit only if the applicant has adequately satisfied concerns related to the Sheboygan Water Utility.
- 27. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
- 28. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
- 29. Any future/additional uses of the facility/property, additions, site improvements, etc. may require conditional use permit and architectural review.
- 30. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, canopy, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

Motion carried.

- 9. Preliminary Plat Approval for N 29th St Subdivision located east of St. Nicholas Hospital on North 29th Street between Superior Avenue and Saemann Avenue.

**MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.**

Motion made by Marilyn Montemayor, seconded by Jerry Jones.

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

- 1. The applicant shall obtain all subdivision approval from appropriate agencies including but not limited to City, County, State of Wisconsin, DNR, etc.
- 2. Applicant shall submit final plats that meet the City of Sheboygan Subdivision Ordinance.

Motion carried.

**NEXT MEETING**

- 10. September 10, 2024

The next meeting is scheduled to be held on September 10, 2024.

**ADJOURN**

- 11. Motion to Adjourn

**MOTION TO ADJOURN AT 4:10 PM**

Motion made by Alderperson John Belanger, seconded by Jerry Jones

Voting yea: Mayor Ryan Sorenson, Alderperson John Belanger, Marilyn Montemayor, Kevin Jump, Jerry Jones and Kimberly Meller

**CITY OF SHEBOYGAN**

**REQUEST FOR CITY PLAN COMMISSION CONSIDERATION**

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by A.C.E. Building Service, Inc. to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park (parcels 59281479085 and 59281479081). SI Zone

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**REPORT PREPARED BY:** Ellise Rose, Associate Planner

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**REPORT DATE:** September 4, 2024

**MEETING DATE:** September 10, 2024

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**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

A.C.E. Building Service, Inc. is proposing to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park. The applicant states the following:

- The existing structure at Behrens Parkway is 67,500 square feet and Tower Drive is 131,250 square feet.
- It is our request as agent of Torginol, Inc. for approval to construct either a 4,116 square foot or 8,085 square foot connecting link structure. The site design includes crossing the drainage swale and existing fire lane access road around the Tower Drive facility.
- The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment.
- Storm piping will be installed under the proposed link structure to allow stormwater flow to the existing regional stormwater pond.
- Downspouts for the expansion will run into the existing swale connecting to the pond.
- The connecting link will include overhead doors on each side of the structure, in line with the existing fire lane road.
- The purpose of the link structure is to allow access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings without having to enter public ways or exit the building.



- The site will be landscaped to meet the requirements of the City of Sheboygan.
- Exterior lighting will consist of building mounted wall pack lighting to match existing conditions.
- There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.
- No interior renovations are included with this project.
- At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will allow for continued access to the fire lane that surrounds the west side of the Tower Drive facility.
- The proposed project timeline will coincide with the Behrens Parkway expansion with sitework to commence in the fall of 2024 and construction of the structure to commence in spring of 2025. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time but are anticipated to fall somewhere between 600,000 and 900,000 dollars.

Specific improvements include:

- Floor area: either 4,116 or 8,085 square feet
- Landscape area: 1,000 square feet (seeded & landscaped area)
- Parking area: N/A
- Total area of impact: 5,116 square feet
- The proposed expansion will be added between the existing structures. Dimensions will measure either 28' x 147' or 55' x 147'.
- The design of the expansion will be an extension of the Behrens Parkway facility in terms of style, materials and colors.

#### **STAFF COMMENTS:**

The applicant is proposing to construct a link that will connect Torginol's new warehouse addition to their facility to the east at 4530 Tower Drive. The proposed link crosses a 50 foot stormwater easement that accepts water from many of the properties up stream and deposits the stormwater into the City Business Park retention pond located at the southwest intersection of Behrens Parkway and Tower Drive (parcel # 59281479084). A couple of comments concerning this proposed driveway and required easements:

- The applicant shall work with the City and the engineering department on the required easement and the specifications that the connecting link will be required to meet in order to ensure that the stormwater easement continues to appropriately function.
- City staff has no issues with this connection as long as the link is constructed properly and does not impact this storm water facility. The applicant will work with the City and

the Engineering Department on the proposed easement and construction drawings/specifications prior to any construction taking place.

- The stormwater easement document between the applicant and the City shall reserve all of the rights required for the adequate operation of this stormwater easement facility and shall place obligations on Torginol including but not limited to maintenance, cleaning, etc.
- Such a storm water easement document requires City Council approval.

The applicant is requesting the following variances:

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

**ACTION REQUESTED:**


Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin DNR, Army Corp of Engineers, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a proposed landscape plan prior to building permit issuance. Applicant will submit a landscape plan that addresses all four (4) landscaping requirements (except for approved landscape locational variance). Landscaping shall be installed prior to issuance of an occupancy permit.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
7. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
10. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).


11. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
15. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
16. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
17. Applicant shall adequately address all Fire Department concerns related to this development.
18. This connecting link crossing the storm water easement shall be constructed to specifications required by the City Engineering Department. The link construction/specifications drawings shall be approved prior to building permit issuance.
19. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
20. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
21. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use Permit Application and Attachments

	<b>CITY OF SHEBOYGAN</b>	Fee: <u>\$250.00</u>
	<b>APPLICATION FOR CONDITIONAL USE</b>	Review Date: _____
		Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) <b>A.C.E. Building Service, Inc.</b>		Authorized Representative <b>Chris Herzog</b>	
		Title <b>President</b>	
Mailing Address <b>3510 S. 26th St.</b>	City <b>Manitowoc</b>	State <b>WI</b>	ZIP Code <b>54220</b>
Email Address <b>cherzog@acebuildingservice.com</b>		Phone Number (incl. area code) <b>920-682-6105</b>	
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) <b>Torginol, Inc.</b>		Contact Person <b>Tom Testwuide</b>	
		Title <b>President</b>	
Mailing Address <b>4617 S. Taylor Dr.</b>	City <b>Sheboygan</b>	State <b>WI</b>	ZIP Code <b>53081</b>
Email Address <b>tom@torginol.com</b>		Phone Number (incl. area code) <b>920-694-4800</b>	
SECTION 3: Project or Site Location			
Project Address/Description <b>3217 Behrens Parkway</b>		Parcel No. <b>59281479085</b>	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	<b>Torginol, Inc.</b>		
Existing Zoning:	<b>Suburban Industrial</b>		
Present Use of Parcel:	<b>Warehousing</b>		
Proposed Use of Parcel:	<b>Warehouse (50%) / Manufacturing (50%)</b>		
Present Use of Adjacent Properties:	<b>Warehousing/Manufacturing</b>		
SECTION 5: Certification and Permission			
<p><b>Certification:</b> I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p><b>Permission:</b> I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) <b>Christopher Herzog</b>		Title President, A.C.E. Building Service	Phone Number <b>(920) 682-6105</b>
Signature of Applicant 		Date Signed <b>8/19/2024</b>	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**Conditional Use Written Explanation Requirements**

**A. Name of project / development**

- a. Torginol, Inc. Behrens Parkway Expansion

**B. Summary of Conditional Use and general operation of proposed use:**

**a. Description of existing use**

- i. Torginol is a manufacturer of materials used in the resinous floor industry. They manufacture inert decorative color flake and pigmented granular materials that are used for various types of floor coatings in commercial, industrial, and residential applications.

**b. Description of Proposed use (indoor, outdoor, etc.), why was this site selected?**

- i. The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment.

**c. All Services, products, etc. to be provided**

- i. As stated in part B, subpart a.

**d. Projected number of residents, employees, and/or daily customers**

- i. Employees: Approximately 35 employees on first shift, 25 employees on second shift, there is currently not a third shift and there are no current plans to add a third shift.
- ii. Daily Customers: none

**e. Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage.**

- i. Floor area: either 4,116 or 8,085 square feet
- ii. Landscape area: 1,000 square feet (seeded & landscaped area)
- iii. Parking area: N/A
- iv. Total area of impact: 5,116 square feet

**f. Description of proposed building and all new site improvements**

The existing structure at Behrens Parkway is 67,500 square feet and Tower Drive is 131,250 square feet. It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct either a 4,116 square foot or 8,085 square foot connecting link structure. The site design includes crossing the drainage swale and existing fire lane access road around the Tower Drive facility. Storm piping will be installed under the proposed link structure to allow stormwater flow to the existing regional stormwater pond. Downspouts for the expansion will run into the existing swale connecting to the pond. The connecting link will include overhead doors on

each side of the structure, in line with the existing fire lane road. The purpose of the link structure is to allow access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings without having to enter public ways or exit the building. The site will be landscaped to meet the requirements of the City of Sheboygan. Exterior lighting will consist of building mounted wall pack lighting to match existing conditions. There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.

- g. Written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area.**
  - i. The proposed expansion will be added between the existing structures. Dimensions will measure either 28' x 147' or 55' x 147'. The design of the expansion will be an extension of the Behrens Parkway facility in terms of style, materials and colors. Both the link structure and the existing building are compatible with the other businesses in the area and consistent with their general designs and building features.
- h. An explanation of any interior and/or exterior renovations**
  - i. No interior renovations are included with this project.
- i. Is access appropriate and is there sufficient customers/resident off-street parking?**
  - i. At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will allow for continued access to the fire lane that surrounds the west side of the Tower Drive facility.
- j. Proposed signage**
  - i. None planned for the connecting link structure.
- k. Project timeline and estimated value of project**
  - i. The proposed project timeline will coincide with the Behrens Parkway expansion with sitework to commence in the fall of 2024 and construction of the structure to commence in spring of 2025. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time but are anticipated to fall somewhere between 600,000 and 900,000 dollars.

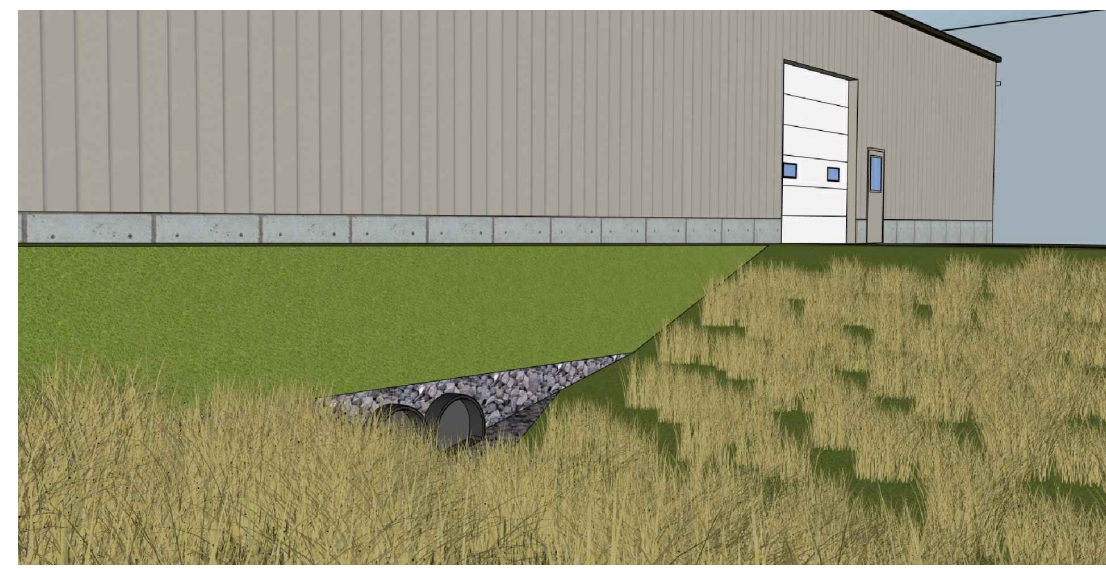
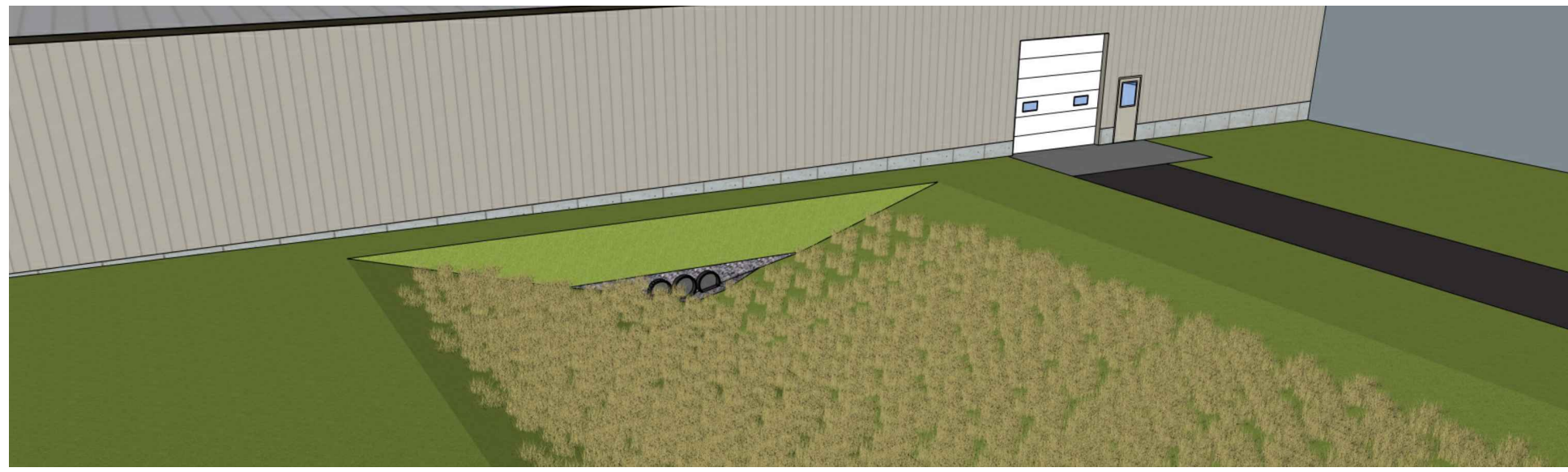
- I. Compatibility of the proposed use and design with adjacent and other properties in the area.**
  - i. Torginol’s business model, operations, and building design is compatible with adjacent properties in the area as they too have manufacturing and warehouse occupancies. Adjacent building types are either precast concrete or pre-engineered steel, which compliment the existing building and proposed expansion.
- m. How will you insure that the business will not become a nuisance to adjacent properties (i.e. setbacks, parking, landscaping, etc.....)**
  - i. Torginol has long demonstrated their commitment to keeping all of their properties orderly and tidy. Because of the size of the structures, the exterior walls must remain 60 feet or more away from the property lines to maintain an unlimited area classification as stated in the International Building Code, which is far greater than the required zoning setback. Torginol has contract agreements with lawncare and landscaping companies to maintain their grounds.
- n. Other information that would be considered pertinent by the Plan Commission**
  - i. The planned link is simply an extension in every way of what Torginol currently does and who they currently are as a company. There will not be any new operations, products, processes, or radical design changes as a result of the expansion.
- C. If applicable, please describe any exceptions / variances that are required for this project (i.e. setbacks, parking, landscaping, etc.)**
  - a. There are no known variances required for the proposed connecting link.
  - b. We request that the landscaping requirement for the proposed link expansion be reduced in light of the landscaping that will be installed for the main facility expansion approved in July of 2024.
- D. Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:**
  - a. How is the proposed conditional use (independent of its location) in harmony with the purpose, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan?**
    - i. The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment. This will improve the quality and efficiency of the work flow process for Torginol and its employees.

- b. Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?**
  - i. Neither the conditional use or the proposed location of the link result in any adverse impacts on nearby property or other conditions as stated. The project will be in full compliance with all zoning, stormwater management, building code, and other regulatory agency standards. There will be no negative impacts on public property or rights-of-way as a result of the expansion.
- c. How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?**
  - i. As this is a connection to an existing facility previously approved, the requested conditional use is consistent with the land use of the existing building and rightly so of those adjacent to and around the property.
- d. Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?**
  - i. Yes – the existing facility is served with electrical service from Alliant Energy, water from the City of Sheboygan, and sanitary sewer from the City of Sheboygan. All services are adequate in size and will not require any alteration as a result of the expansion.

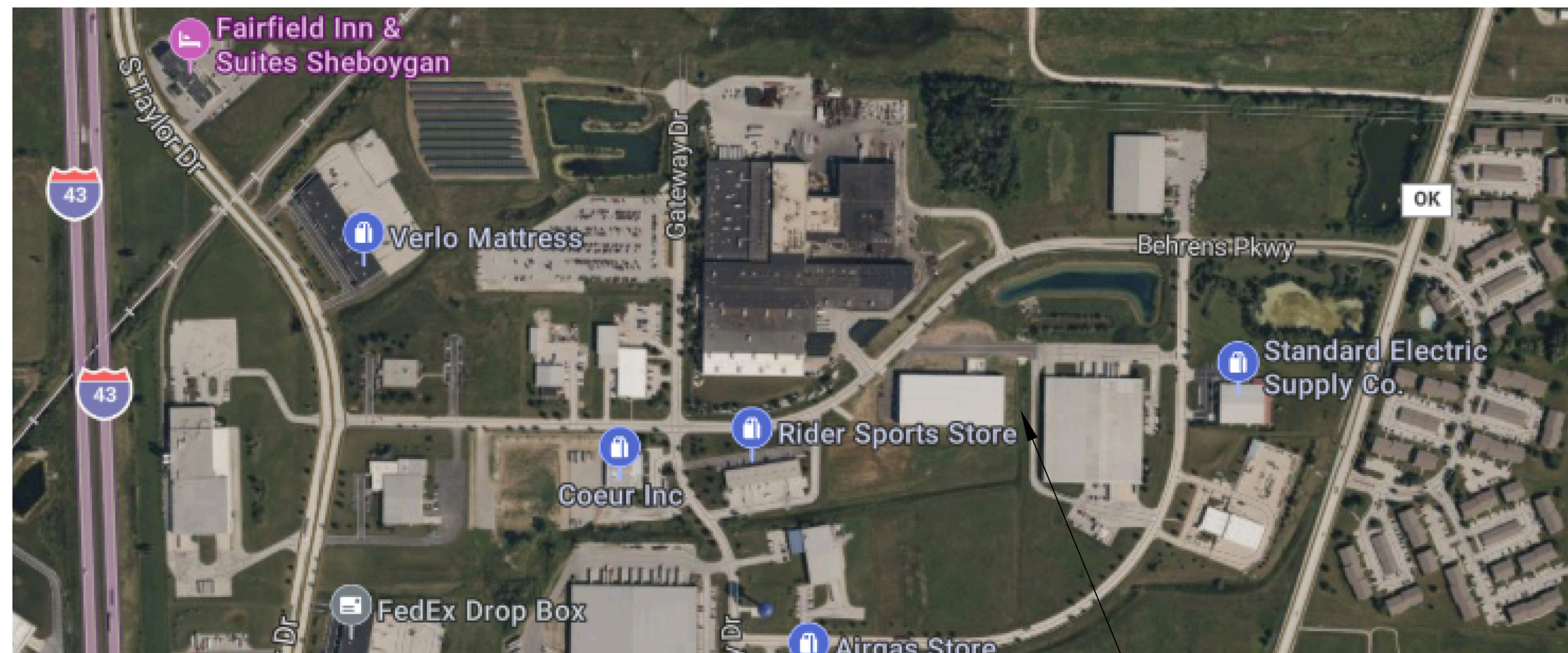


# TORGINOL, INC. CONNECTING LINK

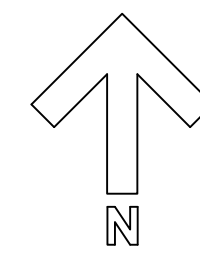
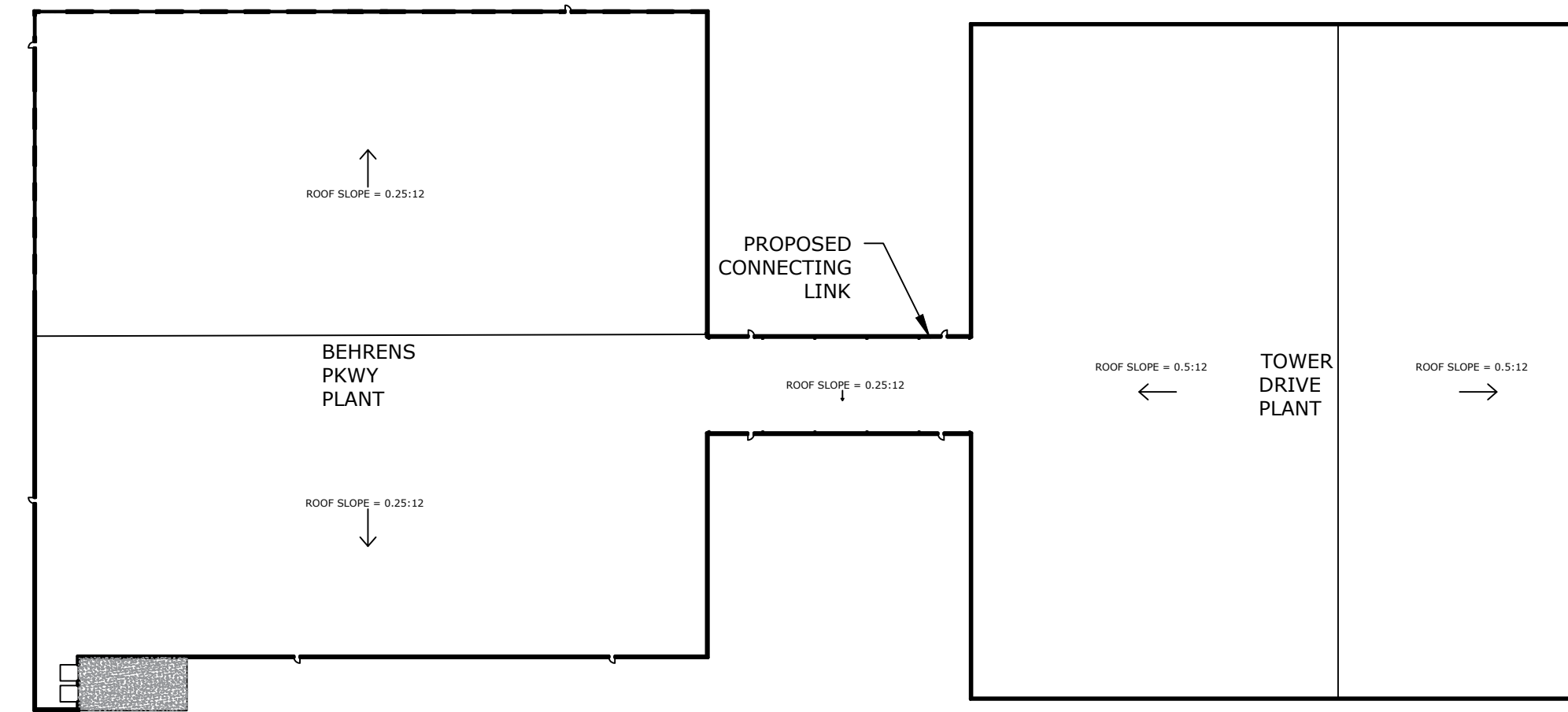
3217 BEHRENS PKWY. SHEBOYGAN, WI 53081



SITE LOCATION MAP



PROPOSED  
CONNECTING  
LINK LOCATION



SITE OVERVIEW  
NTS

SNOW LOADS	
A. BALANCED SNOW LOADS	
Ground Snow Load, $P_g = 30$ psf Exposure Factor, $C_e = 1.0$ (Partially Exposed) Thermal Factor, $C_t = 1.0$ (Heated) Importance Factor, $I = 1.0$ Slope Factor, $C_s = 1.0$	
Balanced Snow Roof Load = 21.0 PSF	
SEISMIC CONDITIONS	
Use Group - I Importance Factor, $I_e = 1.0$ Site Class = D	
Seismic Design Category = A	
WIND LOADS	
$V_3s = 90$ MPH ASD (115 MPH ULT) Exposure = C	
WIND ANALYSIS BY BUTLER MFG	

SOIL BEARING 3,500 PSF PER SOIL REPORT BY: MILLER ENG & SCIENTISTS DATED: JUNE 2024

CONCRETE FLOORS AND FOUNDATIONS - 3000 PSI MIN. IN 28 DAYS  
EXTERIOR SLABS - 4000 PSI MIN IN 28 DAYS, AIR ENTRAINED 5-7%  
GRADE 60 REBAR

PRE-ENGINEERED BUTLER MANUFACTURING COMPANY  
METAL BUILDING 1540 GENESEE ST.  
KANSAS CITY, MO 64102

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES
- PROPOSED BUILDING AREA = 68,225 SQ FT
- PROPOSED BUILDING VOLUME - 2,016,562.50 CU FT +/-
- CLASS OF CONSTRUCTION - TYPE IIB
- BUILDING OCCUPANCY - S-2 STORAGE LOW HAZARD/ F-2 FACTORY LOW HAZARD
- BUILDING IS PROTECTED BY AUTOMATIC SPRINKLER
- ALL EXIT DOORS TO BE EQUIPPED WITH:
  - A. EXIT LIGHTS
    - Exit signs shall not exceed 5 Watts per side installed wattage.
    - Means of Egress Illumination Level shall not be less than 1 Foot Candle at Walking Surface
    - Emergency Power for Means of Egress shall provide power for 90 Min and consist of storage batteries, unit equipment, or on-site generator.
  - B. PROPER EXIT HARDWARE
    - 1. LEVER HANDLES THAT DO NOT REQUIRE TWISTING OF THE WRIST
  - C. THRESHOLDS THAT DO NOT EXCEED 1/2"
- FIRE EXTINGUISHERS TO BE PROVIDED IF REQUIRED BY CODE
- SMOKE DETECTORS TO BE PROVIDED IF REQUIRED BY CODE
- OCCUPANT LOAD PER TBL 1004.1.2 = 68,225/500 = 136 PERSONS
- EGRESS WIDTH REQUIRED RE 1005.3.2 - 135(0.20) = 27", 4X32" = 128" PROVIDED
- MAX TRAVEL EXIT DISTANCE PER 1017.2 = 400'

THERMAL PERFORMANCE

- THERMAL COMPLIANCE BY PRESCRIPTIVE METHOD [TABLES 502.1.2 & 502.2(1) OF 2009 IECC CLIMATE ZONE 6 ALL OTHER].
- INSULATED WALK DOORS WILL HAVE A MAXIMUM U VALUE OF 0.70.
  - 1A. INSULATED OVERHEAD DOORS WILL HAVE A MAXIMUM U VALUE OF 0.50.
  - UNHEATED SLAB MINIMUM R VALUE OF 10.0 FOR 24" OF PERIMETER EDGE INSULATION.
  - ROOF ASSEMBLY MAXIMUM U VALUE OF 0.049 (TESTED 0.043).
  - WALL ASSEMBLY MAXIMUM U VALUE OF 0.069 (TESTED 0.059 FOR BUTLER WALL PANEL SYSTEM).
  - WINDOW MAXIMUM U VALUE OF 0.36 (TABLE C402.4 OF 2015 IECC CLIMATE ZONE 6).

SHEET INDEX

TITLE SHEET  
TS SHEET INDEX, TITLE SHEET, ENGINEERING/ DESIGNER INFORMATION

CIVIL	SITE SURVEY
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING & UTILITY PLAN
C400	EROSION CONTROL DETAILS
C401	SITE DETAILS
C500	SITE SPECIFICATIONS

ARCHITECTURAL	PROPOSED FLOOR PLAN - BASE
A1.0	PROPOSED FLOOR PLAN - BASE
A1.1	PROPOSED FLOOR PLAN - ALTERNATE OPTION, OVERALL VIEW
A2.0	ELEVATIONS - BASE
A2.1	ELEVATIONS - ALTERNATE
A3.0	BUILDING SECTION, SCHEDULES

STRUTURAL	GENERAL NOTES & DESIGN CRITERIA
S001	GENERAL NOTES & DESIGN CRITERIA
S100	BASE FOUNDATION PLAN
S101	ALTERNATE FOUNDATION PLAN
S400	FOUNDATION DETAILS
S401	FOUNDATION DETAILS

REV. BY	DATE	REVISION DESCRIPTION	Item 5.

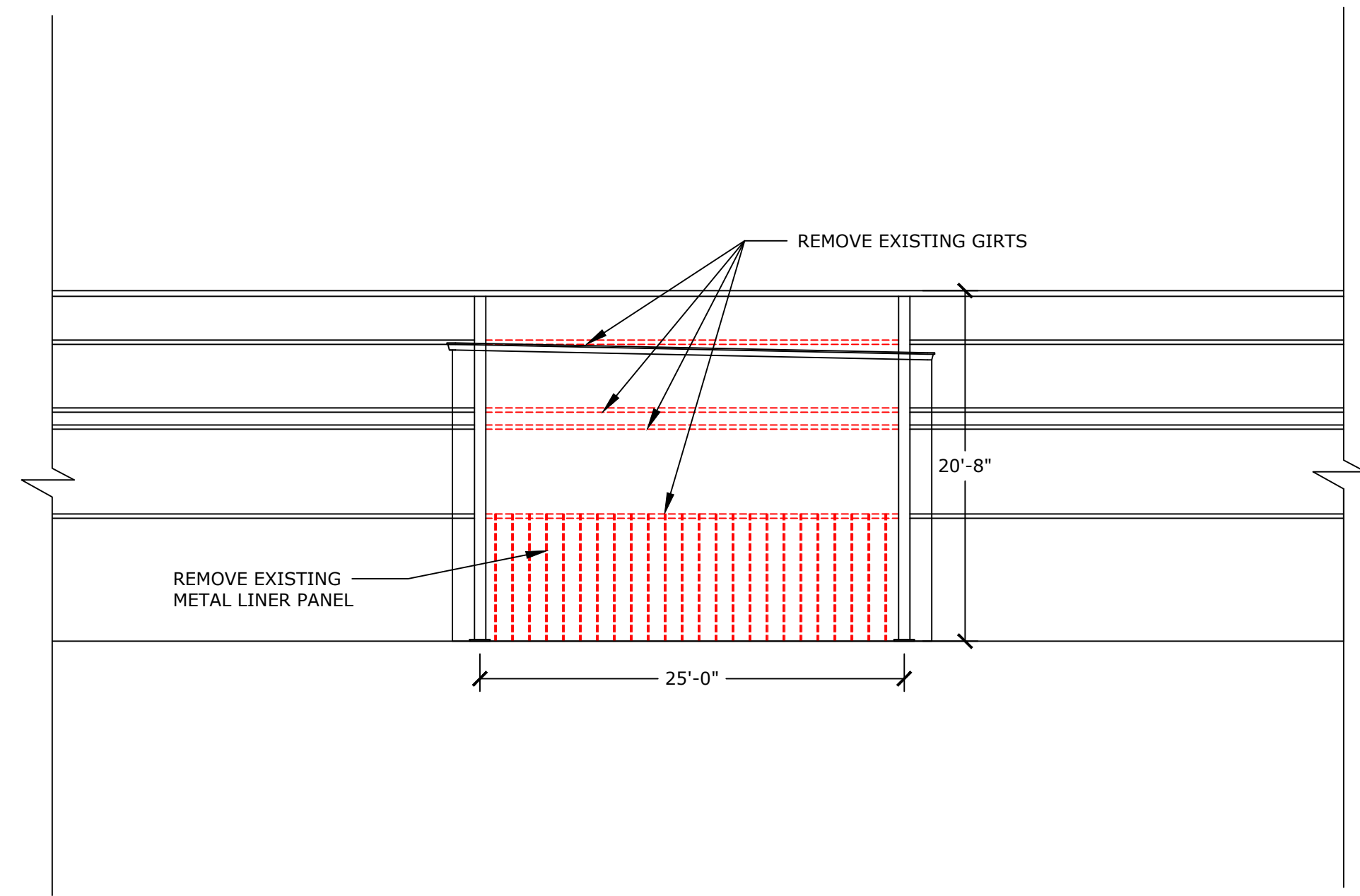
OUR REPUTATION IS OUR FOUNDATION  
P.O. BOX 1626 - 8510 SOUTH 26TH STREET - MANITOWOC, WISCONSIN - 54221-1626  
PHONE: 920-6826103 • FAX: 920-6826700 • WWW.ACEBUILDINGSERVICE.COM  
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:  
**CONNECTING LINK**  
TORGINOL, INC.  
3217 BEHRENS PKWY.  
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

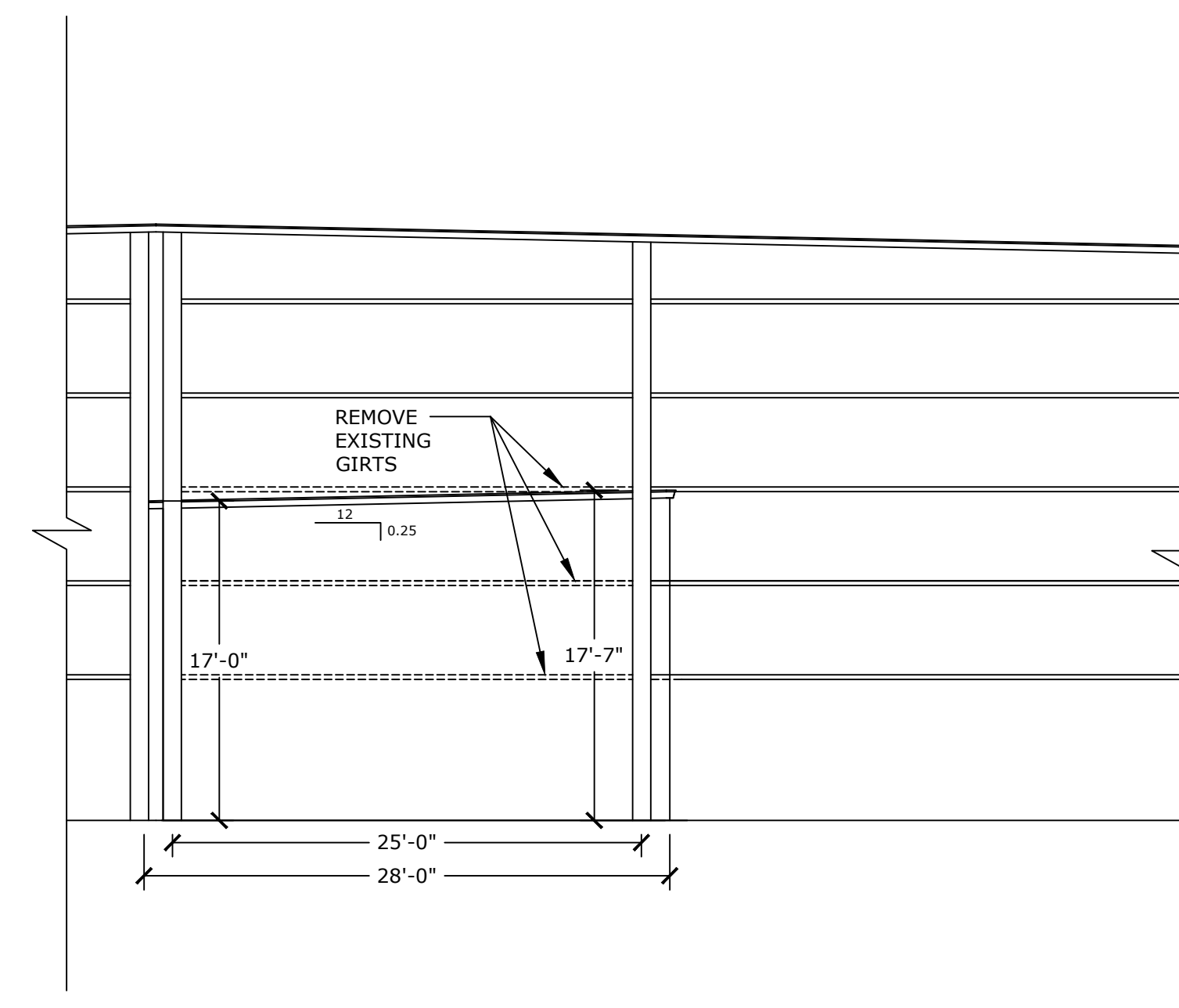
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET  
**TS**



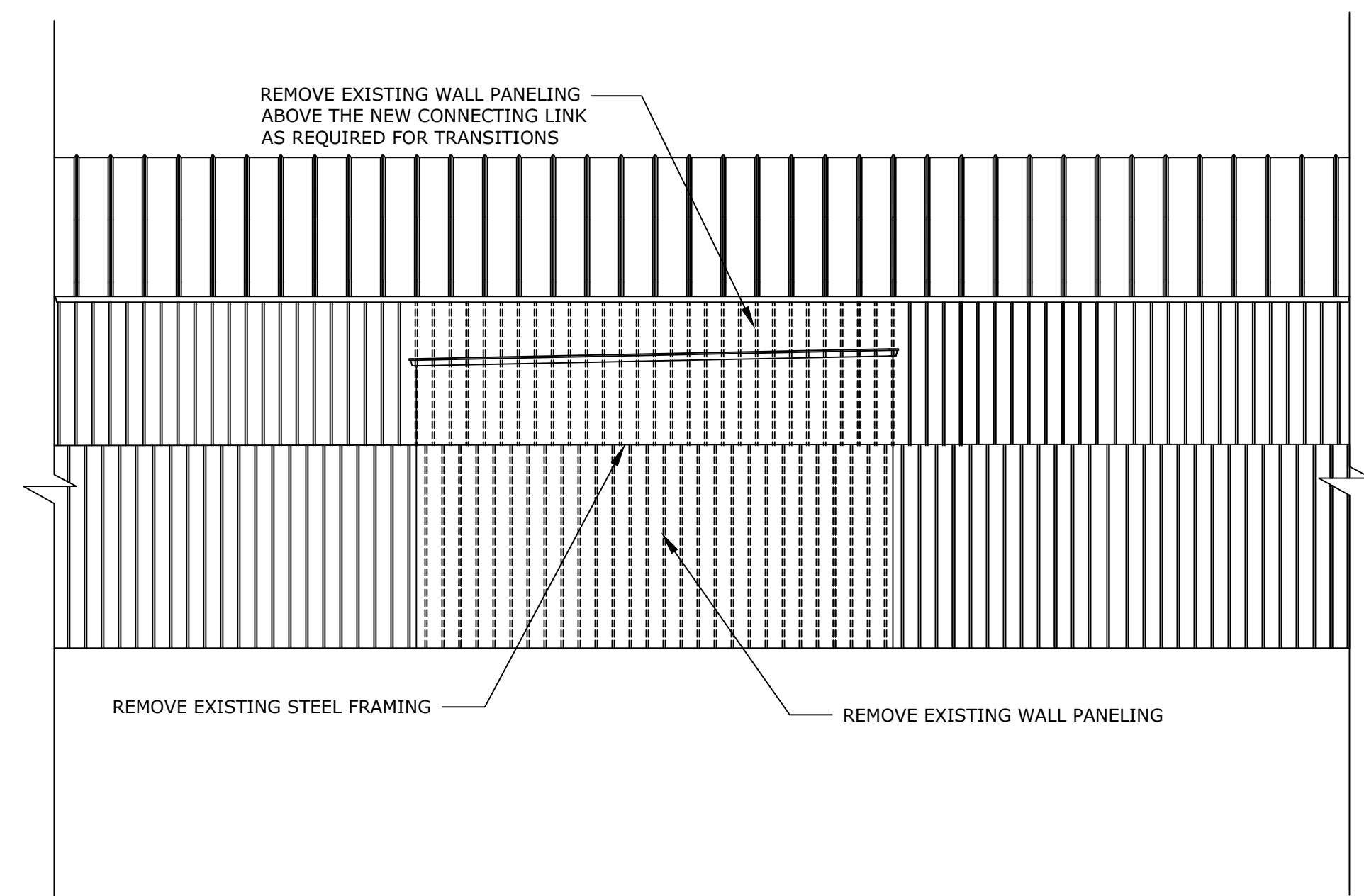
**DEMOLITION PLAN - TOWER DRIVE FACILITY - INTERIOR**

1/8" = 1'-0"



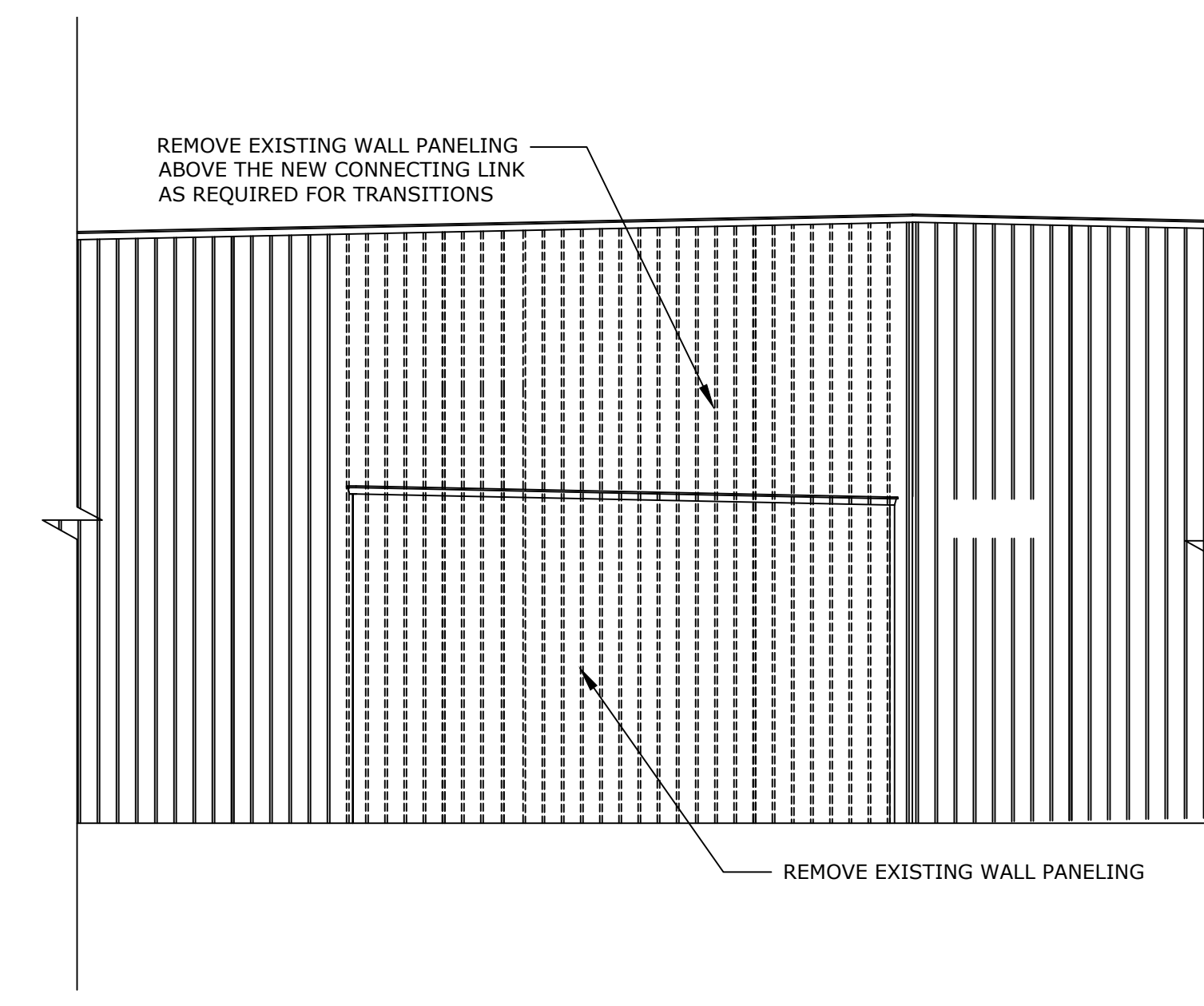
**DEMOLITION PLAN - BEHRENS PKWY FACILITY - INTERIOR**

1/8" = 1'-0"



**DEMOLITION PLAN - TOWER DRIVE FACILITY - EXTERIOR**

1/8" = 1'-0"



**DEMOLITION PLAN - BEHRENS PKWY FACILITY - EXTERIOR**

1/8" = 1'-0"

REVISION DESCRIPTION	DATE	REV BY
		Item 5.

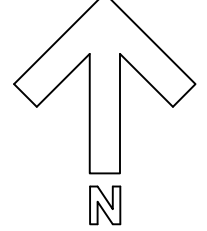
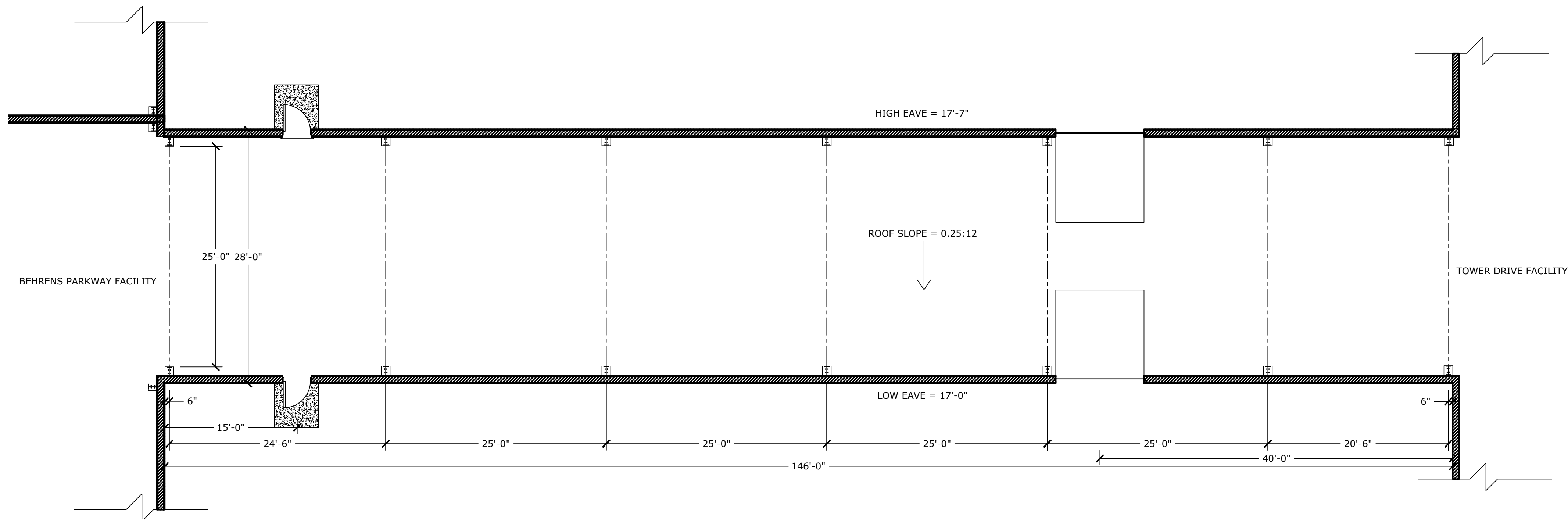
**ACE BUILDING SERVICE**  
 OUR REPUTATION IS OUR FOUNDATION  
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626  
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

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 TORGINOL, INC.  
 3217 BEHRENS PKWY.  
 SHEBOYGAN, WI 53081

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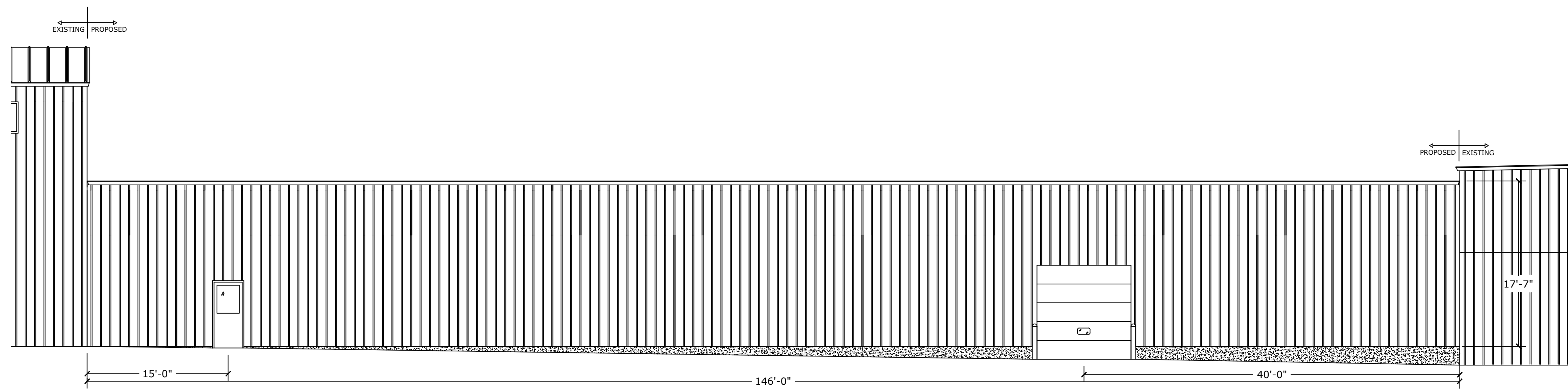
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET  
**A0.1**  
 18



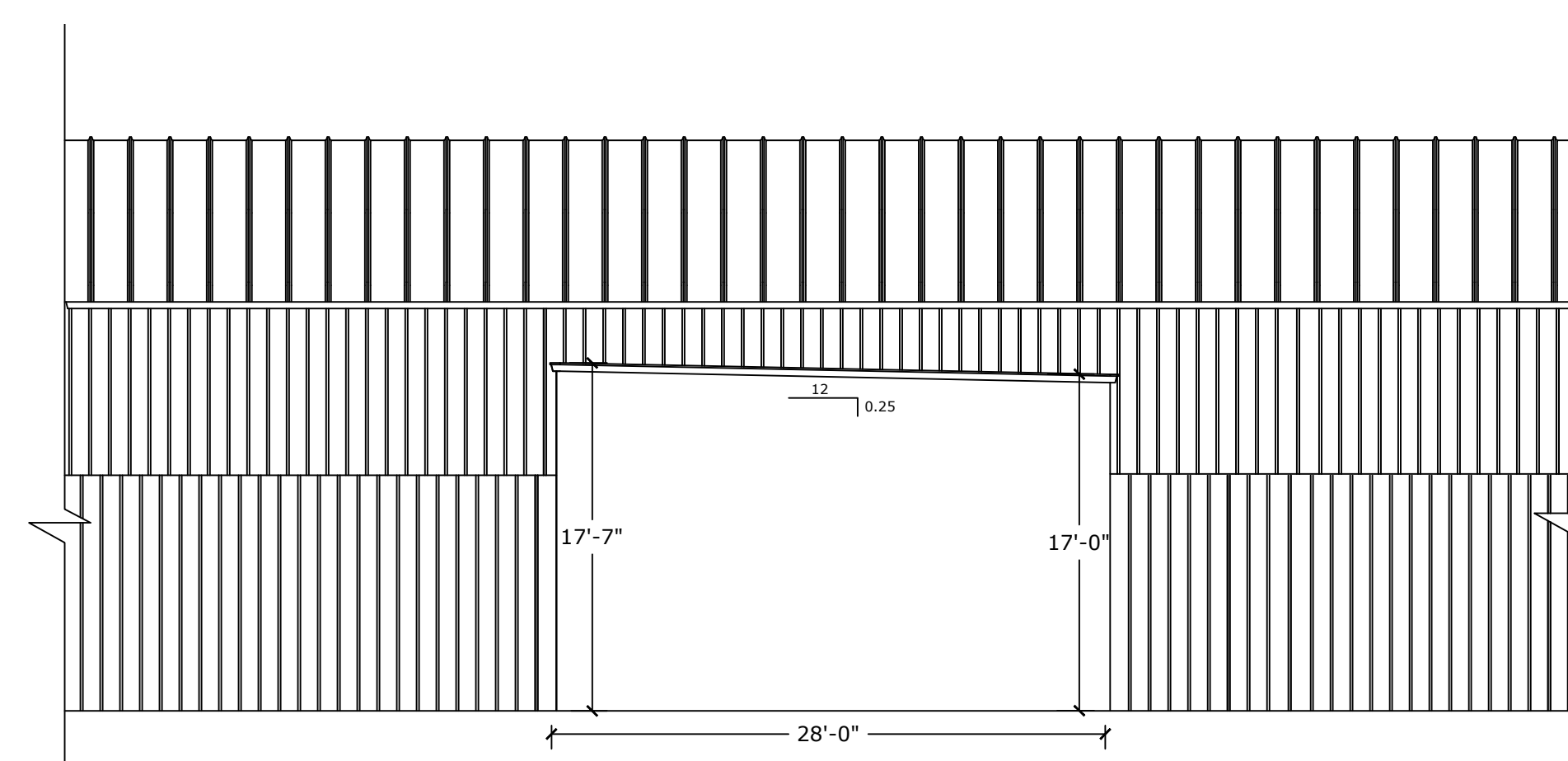
**BASE OPTION - FLOOR PLAN - 28' X 146' CONNECTING LINK**

1/8" = 1'-0"



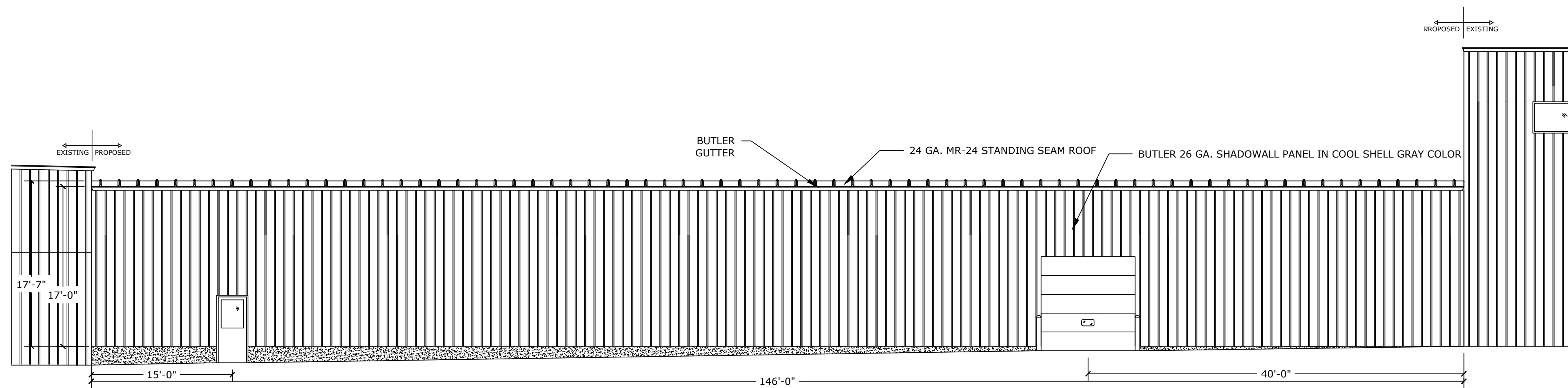
**SOUTH ELEVATION**

1/8" = 1'-0"



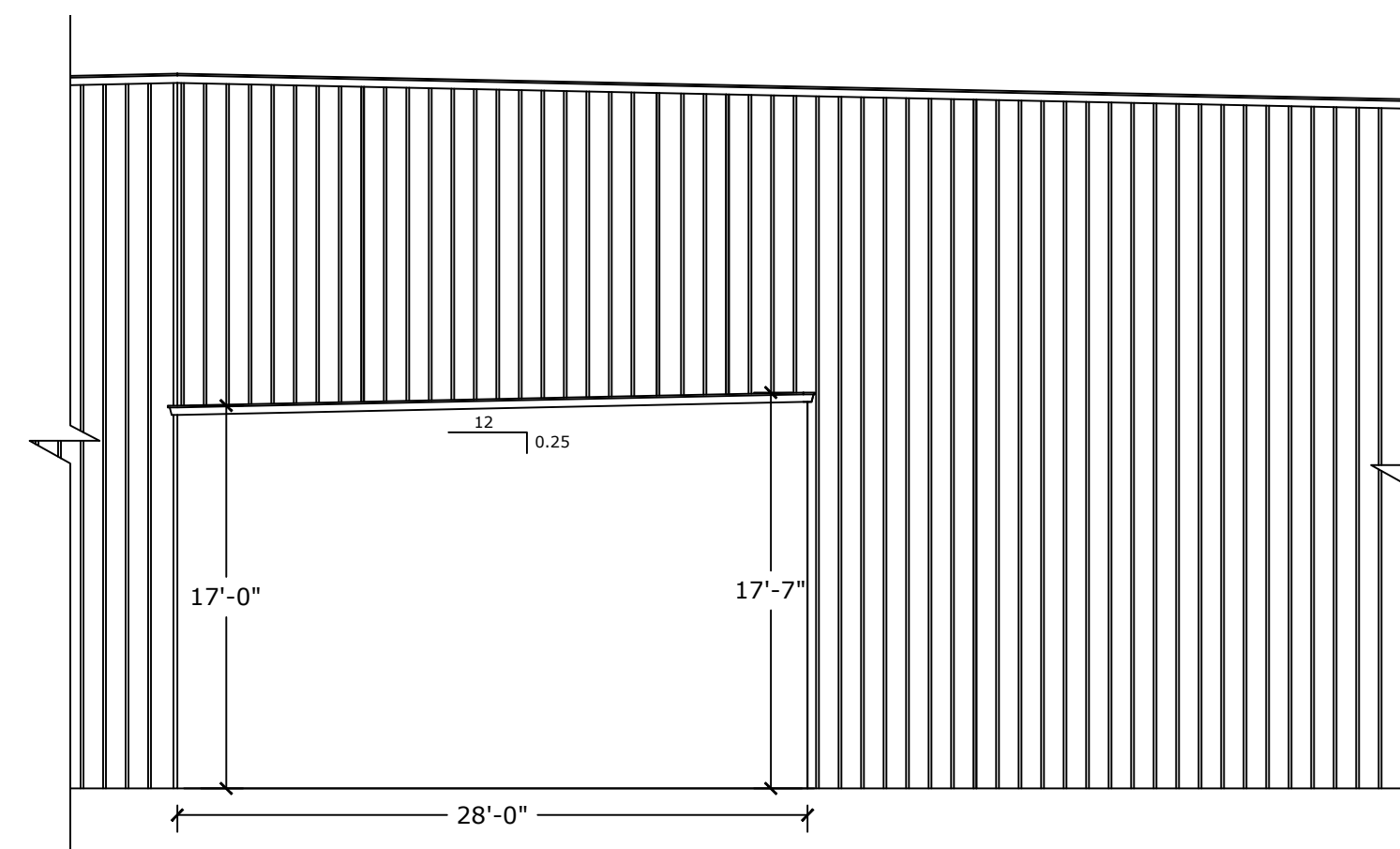
**EAST ELEVATION**

1/8" = 1'-0"



**NORTH ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"

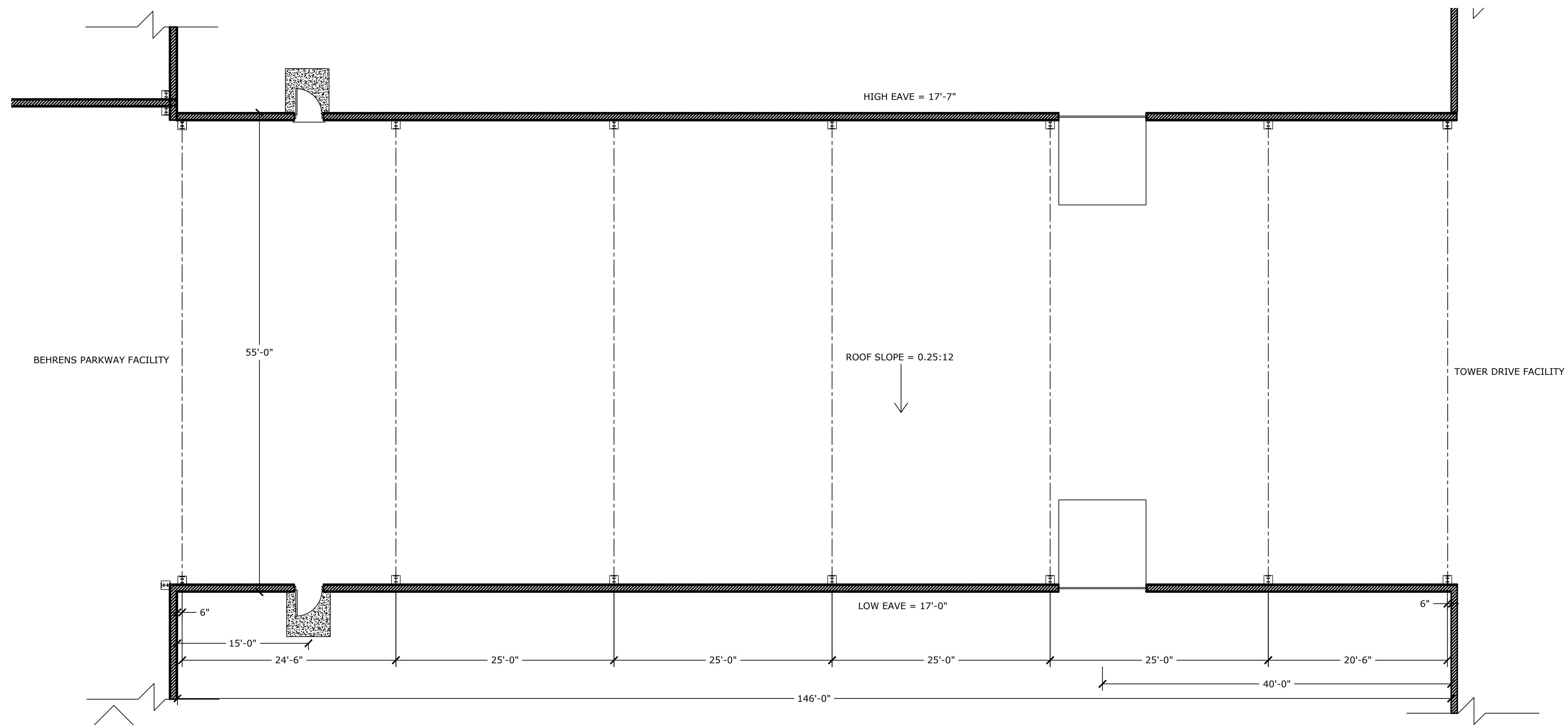
REVISION DESCRIPTION	DATE	REV BY

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 OUR REPUTATION IS OUR FOUNDATION  
 P.O. BOX 16296 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-16296  
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

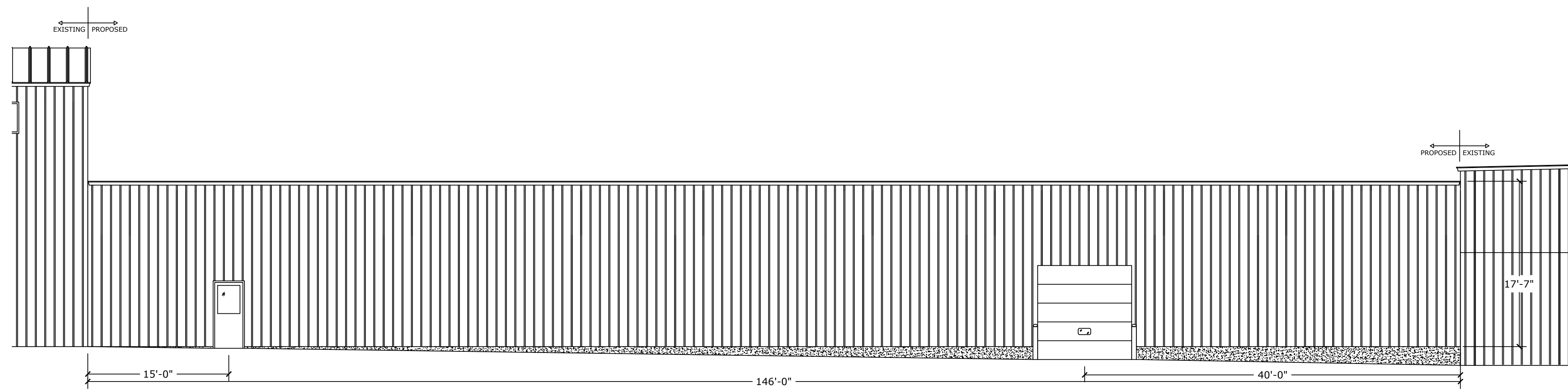
PROJECT INFORMATION:  
**CONNECTING LINK**  
 TORGINOL, INC.  
 3217 BEHRENS PKWY.  
 SHEBOYGAN, WI 53081

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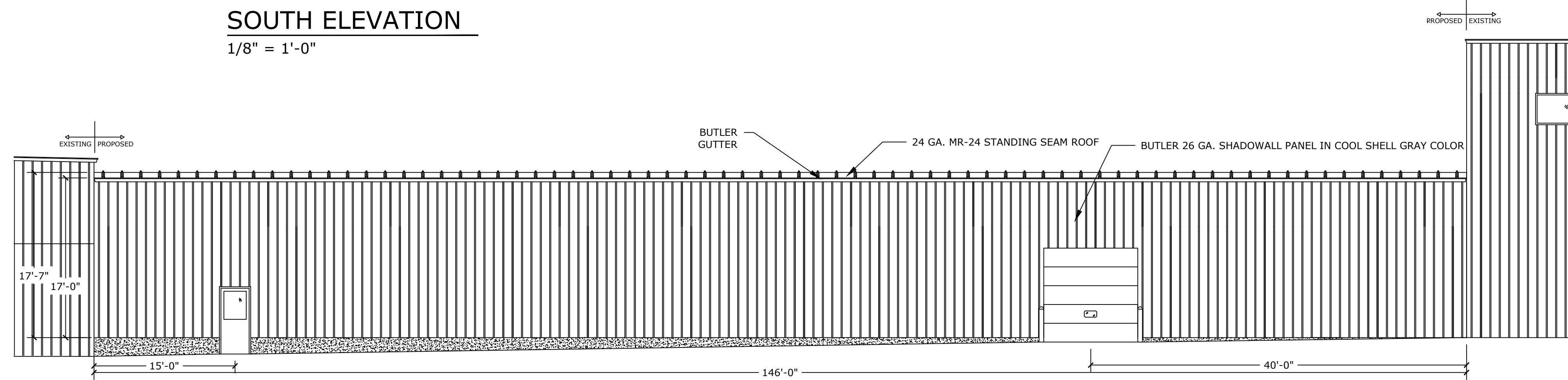
SHEET INFORMATION  
 A.C.E. JOB NO.  
 DATE: 08/06/24  
 DRAWN BY: KDR  
 SCALE: SEE SHEET  
 SHEET  
**A1.0**



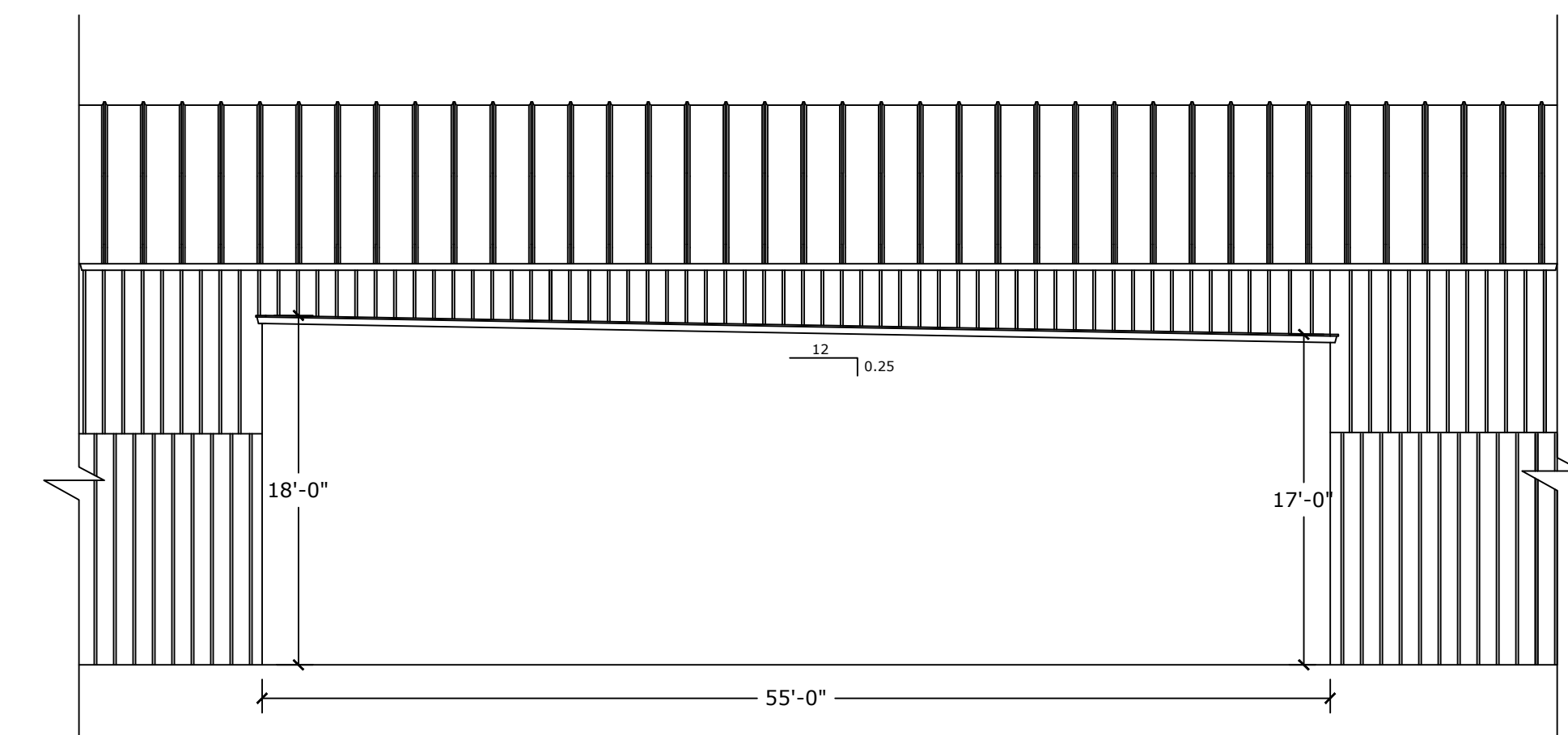
**ALTERNATE OPTION - FLOOR PLAN - 55' X 146' CONNECTING LINK**  
 1/8" = 1'-0"



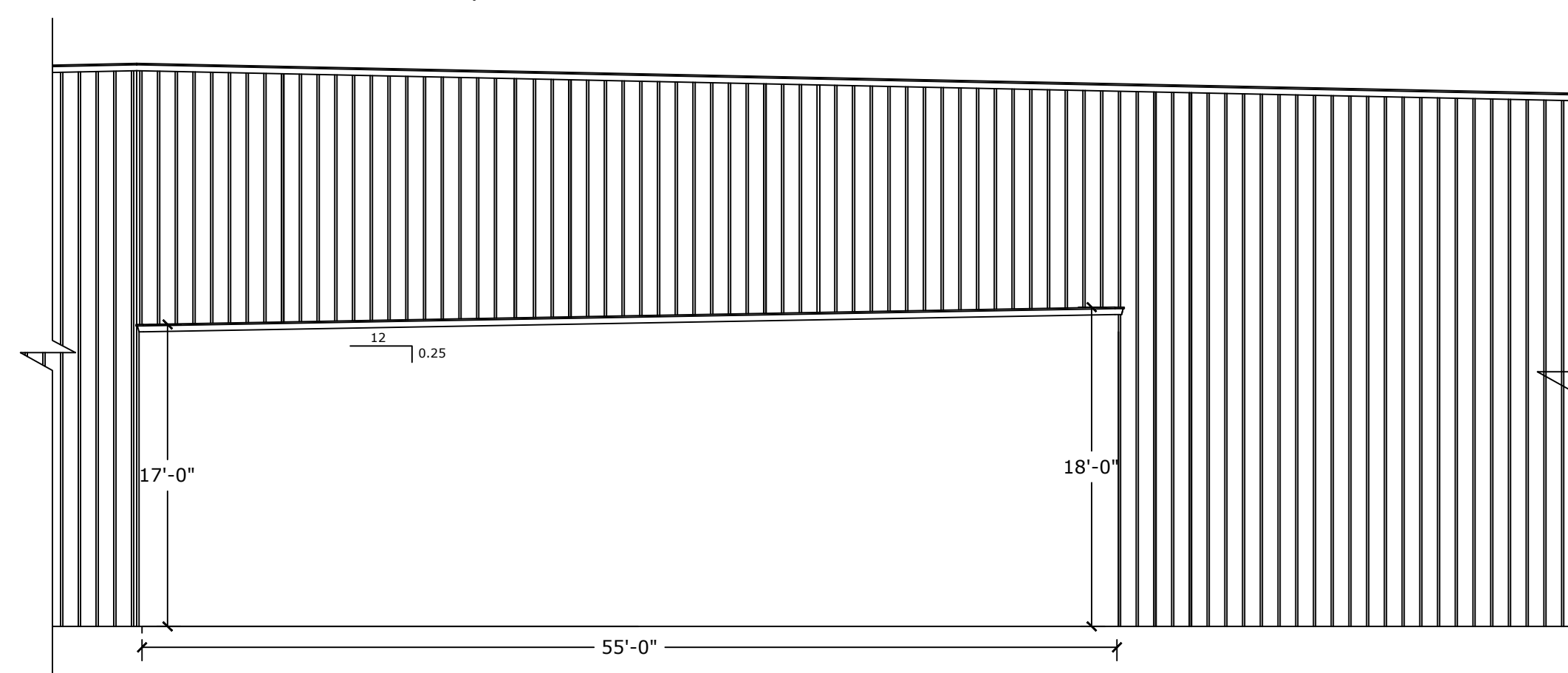
**SOUTH ELEVATION**  
 1/8" = 1'-0"



**NORTH ELEVATION**  
 1/8" = 1'-0"



**EAST ELEVATION**  
 1/8" = 1'-0"



**WEST ELEVATION**  
 1/8" = 1'-0"

REVISION DESCRIPTION	DATE	REV. BY

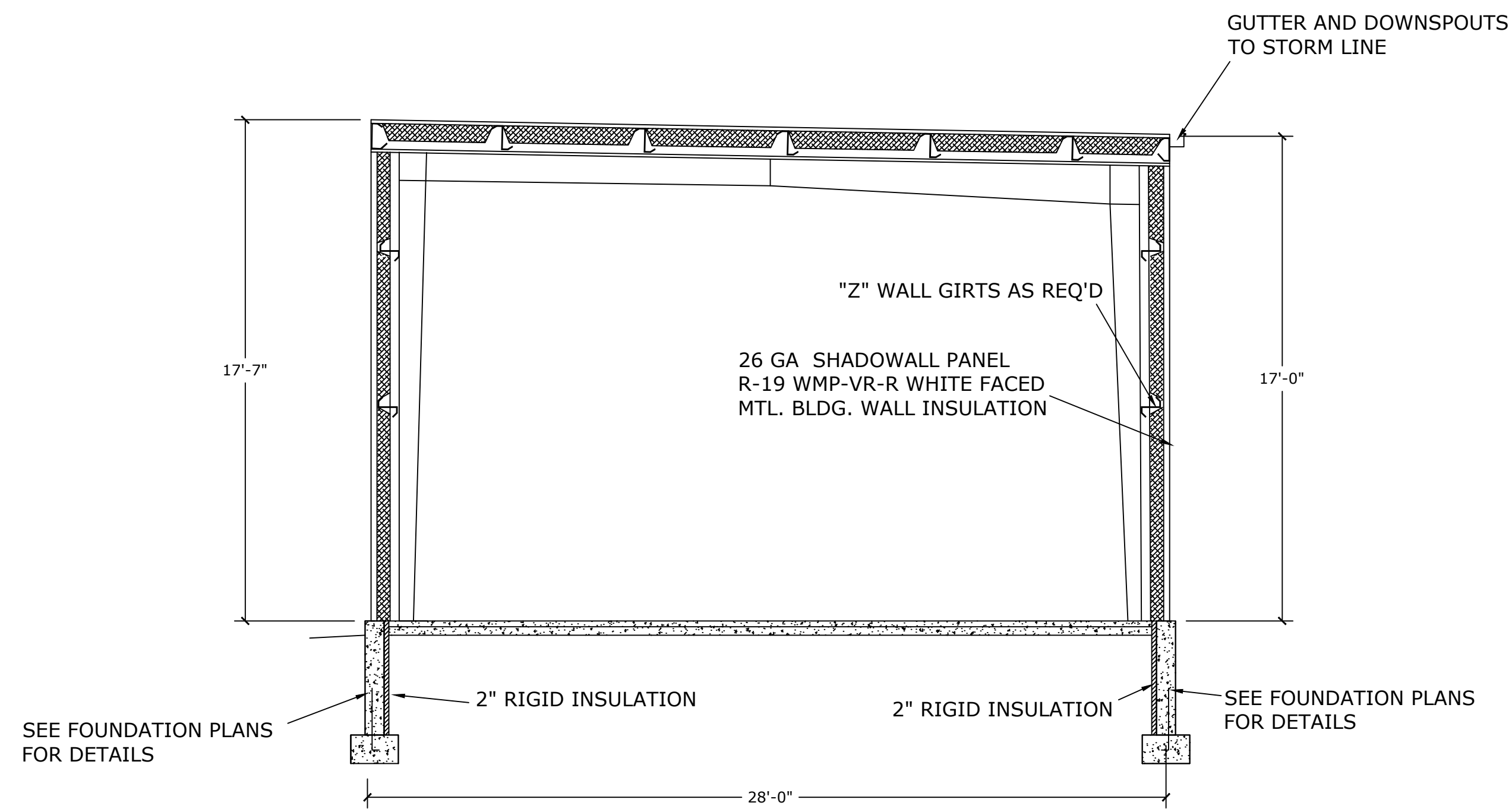
**ACE BUILDING SERVICE**  
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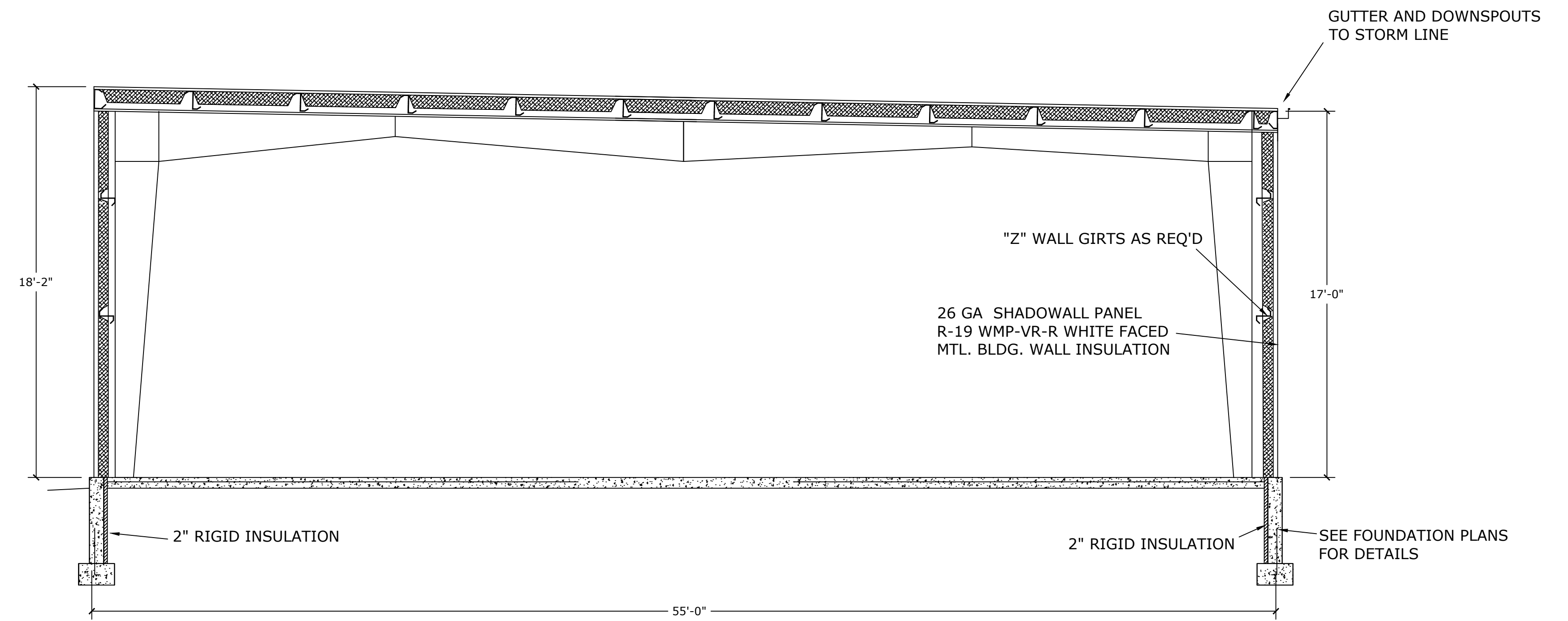
SHEET INFORMATION  
 A.C.E. JOB NO.  
 DATE: 08/06/24  
 DRAWN BY: KDR  
 SCALE: SEE SHEET  
 SHEET

**A1.1**  
 20



**BUILDING SECTION - 28' OPTION**

1/4" = 1'-0"



**BUILDING SECTION - 55' OPTION**

1/4" = 1'-0"

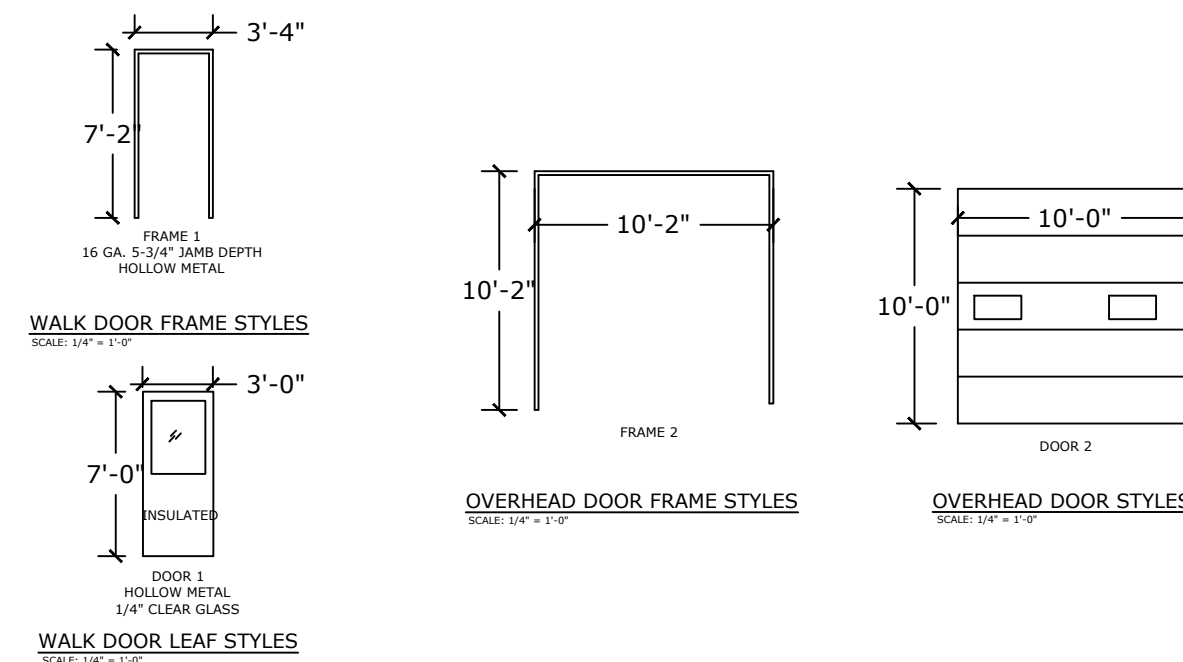
④ DOOR AND FRAME SCHEDULE											
MARK ④	SIZE			DOOR			FRAME		HDWR.	GLASS WALL GLAZING	NOTES
	WD	HGT	MATL	ELEV.	GLAZING	MATL	ELEV.	SET NO			
1	3'-0"	7'-0"	HM	1	1/4" INSUL	HM	1	1	1	--	EXTERIOR HALF-LITE, INSULATED
2	3'-0"	7'-0"	HM	1	1/4" INSUL	HM	1	1	1	--	EXTERIOR HALF-LITE, INSULATED
3	10'-0"	10'-0"	ST	2	1/4" INSUL	ST	2	N/A	N/A	--	
4	10'-0"	10'-0"	ST	2	1/4" INSUL	ST	2	N/A	N/A	--	

**HARDWARE SCHEDULE**

- HARDWARE SET 1**
- GRADE 1, LEVER HANDLE SCHLAGE - US26D ENTRANCE LOCKSET
  - (11-12) PARR-BALL BEARING HINGES
  - CLOSER
  - WEATHER-STRIPPING
  - SWEEPS
  - THRESHOLD

**DOOR & HARDWARE NOTES**

- ALL LOCKSETS/PASSAGE TO BE GRADE 1 - US26 SATIN CHROME FINISH - RHODES
- ALL CLOSERS TO BE HEAVY DUTY LCN 4040XP
- EXTERIOR DOORS WITH TOP CAPS



REV BY		Item 5.
DATE		
REVISION DESCRIPTION		

**ACE BUILDING SERVICE**  
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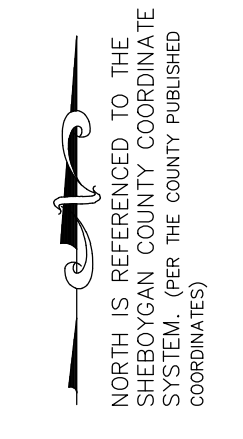
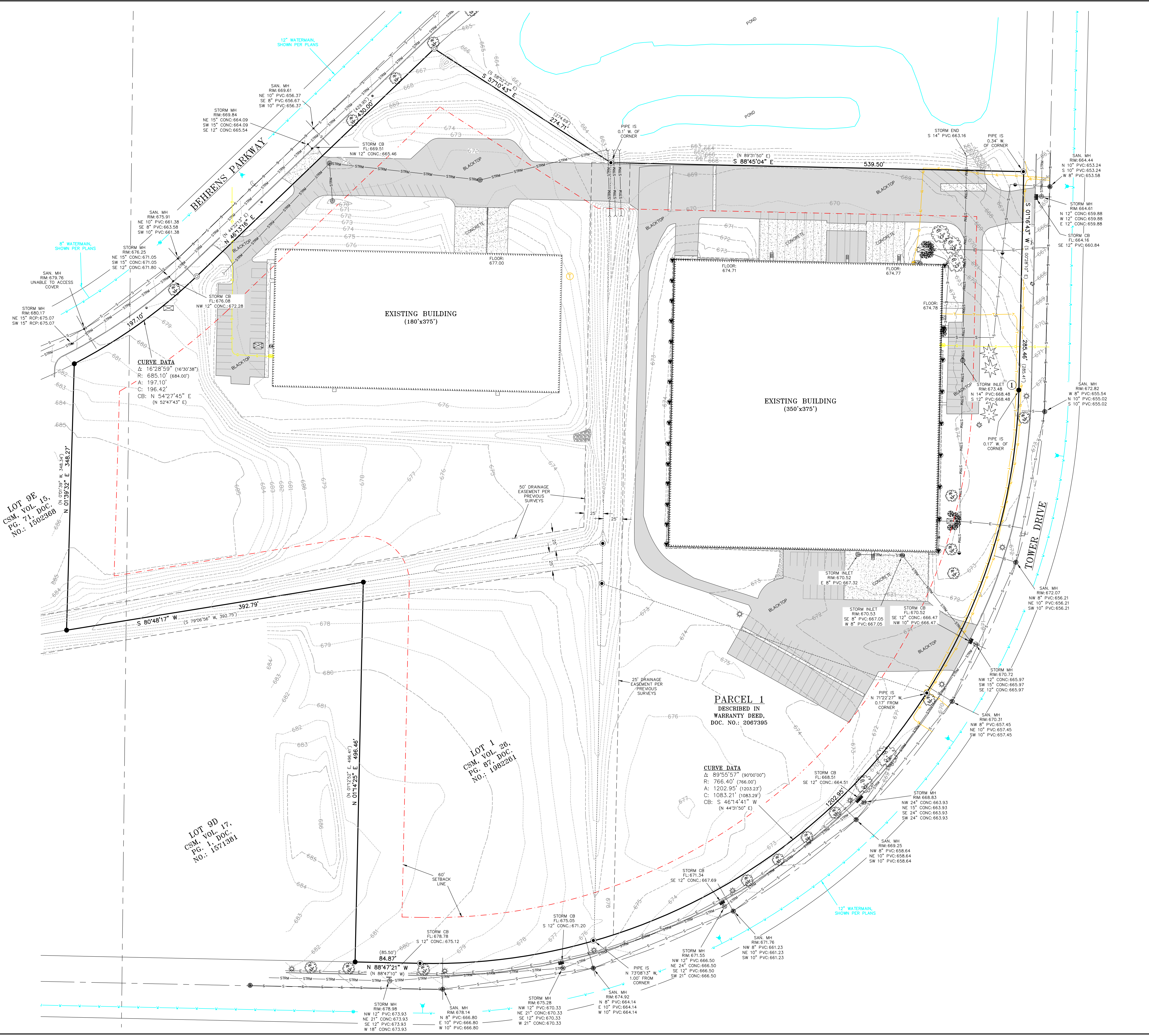
SHEET INFORMATION  
A.C.E. JOB NO.  
DATE: 08/06/24  
DRAWN BY: KDR  
SCALE: SEE SHEET  
SHEET  
**A2.0**



REVISION DATA:  
5/17/2021 - Show existing watermain on in streets per plans.  
5/14/2024 - Show new improvements from 2021 project.

ACE BUILDING SERVICE  
3510 S. 26th STREET  
MANTOWOC, WI 54220

TOPOGRAPHY SURVEY FOR TORGINOL Inc.  
LOCATED IN LOT 9 OF THE SHEBOYGAN BUSINESS CENTER, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN



SCALE 1" = 60'

TOTAL AREA  
974,552 Sq. Ft.  
22,373 Ac.

SITE ADDRESS:  
4350 Tower Drive  
Sheboygan, WI 53081

LEGEND

- ⊙ = EXISTING 2" IRON PIPE
- ⊙ = EXISTING 3/4" IRON PIPE
- ⊙ = EXISTING 1" IRON PIPE
- ☐ = EXISTING MAILBOX
- ☼ = EXISTING LIGHT POLE
- ☒ = EXISTING TRANSFORMER
- ⊙ = EXISTING SEWER CLEANOUT
- ☐ = EXISTING SIGN
- ☐ = EXISTING DOWNSPOUT
- ☐ = EXISTING CURB INLET
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING STORM INLET
- ⊙ = EXISTING SANITARY MANHOLE
- ⊙ = EXISTING ELECTRIC METER
- ⊙ = EXISTING GAS METER
- ⊙ = EXISTING TELEPHONE PEDESTAL
- ⊙ = EXISTING TELEPHONE MANHOLE
- ⊙ = EXISTING CABLE TV PEDESTAL
- ☼ = EXISTING HYDRANT
- ☼ = EXISTING WATER VALVE
- ☼ = DECIDUOUS TREE
- ☼ = CONIFEROUS TREE
- ☼ = SHRUB LINE
- — — = TELEPHONE LINE
- — — = GAS LINE
- — — = ELECTRIC LINE
- — — = CABLE TV LINE
- — — = SANITARY SEWER LINE
- — — = STORM SEWER LINE
- — — = WATERMAIN LINE
- 600--- = EXISTING CONTOUR LINE W/ELEVATION

WARNING:

DIGGERS HOTLINE WAS CONTACTED TO MARK UNDERGROUND UTILITIES, (DIGGER HOTLINE DOES NOT MARK PRIVATE SEWER AND WATER LATERALS, A MARKING COMPANY MUST BE HIRED TO MARK LATERALS). THOSE UTILITIES SHOWN HEREON ARE BASED ON THE MARKINGS FROM DIGGER HOTLINE, INFORMATION PROVIDED BY THE CITY OF SHEBOYGAN AND FIELD OBSERVATIONS. SANITARY SEWER, STORM SEWER, WATERMAIN AND SOME ELECTRIC LINES WERE NOT MARKED. OTHER UTILITIES MAY NOT HAVE BEEN MARKED AND THEREFORE ARE NOT SHOWN.

CONTACT DIGGERS HOTLINE AND VERIFY ALL UTILITY LOCATIONS BEFORE DIGGING.

BENCHMARK:

- 666.98 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, NEAR NORTH LINE OF PARCEL.
- 676.29 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, ±375' SOUTH OF NORTH PROPERTY LINE.
- 672.79 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±770' SOUTH OF NORTH PROPERTY LINE.
- 675.29 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±500' EAST OF WEST PROPERTY LINE.
- 681.71 - TOP OF FIRE HYDRANT, SOUTH SIDE OF TOWER DRIVE, ±90' EAST OF WEST PROPERTY LINE.
- 675.16 - TOP OF FIRE HYDRANT, NORTH SIDE OF BEHRENS PARKWAY, ±330' NORTHEAST OF WEST PROPERTY LINE.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown herein by the undersigned and that the same is a true and correct copy of the original survey on the date shown below and that this survey complies with Chapter S-2294 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

5/14/2024  
DATE

Jeffrey A. DeZeeuw, PLS #222



LOT 9B  
CSM, VOL. 15,  
PG. 71, DOC.  
NO.: 15022868

LOT 9D  
CSM, VOL. 17,  
PG. 1, DOC.  
NO.: 1571381

LOT 1  
CSM, VOL. 26,  
PG. 87, DOC.  
NO.: 19822801

PARCEL 1  
DESCRIBED IN  
WARRANTY DEED,  
DOC. NO.: 2067395

CURVE DATA  
Δ: 89°55'57" (90°00'00")  
R: 766.40' (766.00')  
A: 1202.95' (1203.23')  
C: 1083.21' (1083.29')  
CB: S 46°14'41" W  
(N 44°31'50" E)

CURVE DATA  
Δ: 16°28'59" (16°30'38")  
R: 685.10' (684.00')  
A: 197.10'  
C: 196.42'  
CB: N 54°27'45" E  
(N 52°47'43" E)

**CITY OF SHEBOYGAN**

**REQUEST FOR CITY PLAN COMMISSION CONSIDERATION**

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**ITEM DESCRIPTION:** Application for Conditional Use Permit with exceptions by A.C.E. Building Service, Inc. to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park (parcels 59281479085 and 59281479081). SI Zone

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**REPORT PREPARED BY:** Ellise Rose, Associate Planner

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**REPORT DATE:** September 4, 2024

**MEETING DATE:** September 10, 2024

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**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

Wisconsin Statutes: N/A  
Municipal Code: N/A

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**BACKGROUND / ANALYSIS:**

A.C.E. Building Service, Inc. is proposing to construct a new connecting link located at 3217 Behrens Parkway in the Sheboygan Business Park. The applicant states the following:

- The existing structure at Behrens Parkway is 67,500 square feet and Tower Drive is 131,250 square feet.
- It is our request as agent of Torginol, Inc. for approval to construct either a 4,116 square foot or 8,085 square foot connecting link structure. The site design includes crossing the drainage swale and existing fire lane access road around the Tower Drive facility.
- The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment.
- Storm piping will be installed under the proposed link structure to allow stormwater flow to the existing regional stormwater pond.
- Downspouts for the expansion will run into the existing swale connecting to the pond.
- The connecting link will include overhead doors on each side of the structure, in line with the existing fire lane road.
- The purpose of the link structure is to allow access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings without having to enter public ways or exit the building.

- The site will be landscaped to meet the requirements of the City of Sheboygan.
- Exterior lighting will consist of building mounted wall pack lighting to match existing conditions.
- There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.
- No interior renovations are included with this project.
- At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will allow for continued access to the fire lane that surrounds the west side of the Tower Drive facility.
- The proposed project timeline will coincide with the Behrens Parkway expansion with sitework to commence in the fall of 2024 and construction of the structure to commence in spring of 2025. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time but are anticipated to fall somewhere between 600,000 and 900,000 dollars.

Specific improvements include:

- Floor area: either 4,116 or 8,085 square feet
- Landscape area: 1,000 square feet (seeded & landscaped area)
- Parking area: N/A
- Total area of impact: 5,116 square feet
- The proposed expansion will be added between the existing structures. Dimensions will measure either 28' x 147' or 55' x 147'.
- The design of the expansion will be an extension of the Behrens Parkway facility in terms of style, materials and colors.

#### **STAFF COMMENTS:**

The applicant is proposing to construct a link that will connect Torginol's new warehouse addition to their facility to the east at 4530 Tower Drive. The proposed link crosses a 50 foot stormwater easement that accepts water from many of the properties up stream and deposits the stormwater into the City Business Park retention pond located at the southwest intersection of Behrens Parkway and Tower Drive (parcel # 59281479084). A couple of comments concerning this proposed driveway and required easements:

- The applicant shall work with the City and the engineering department on the required easement and the specifications that the connecting link will be required to meet in order to ensure that the stormwater easement continues to appropriately function.
- City staff has no issues with this connection as long as the link is constructed properly and does not impact this storm water facility. The applicant will work with the City and



the Engineering Department on the proposed easement and construction drawings/specifications prior to any construction taking place.

- The stormwater easement document between the applicant and the City shall reserve all of the rights required for the adequate operation of this stormwater easement facility and shall place obligations on Torginol including but not limited to maintenance, cleaning, etc.
- Such a storm water easement document requires City Council approval.

The applicant is requesting the following variances:

- Requesting a variance from the locational landscaping requirements - Applicant shall meet the four (4) locational landscaping requirements.

**ACTION REQUESTED:**


Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, hazardous materials, State of Wisconsin DNR, Army Corp of Engineers, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal and approval of a proposed storm drainage plan prior to building permit issuance.
3. Submittal and approval of a proposed landscape plan prior to building permit issuance. Applicant will submit a landscape plan that addresses all four (4) landscaping requirements (except for approved landscape locational variance). Landscaping shall be installed prior to issuance of an occupancy permit.
4. Outdoor storage of materials, products or equipment shall be prohibited.
5. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spill-over of light and glare on operators of motor vehicles, pedestrians, and land uses in the vicinity.
7. All areas used for parking or maneuvering of vehicles shall be paved (no gravel permitted).
8. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
9. Any new ingress/egress driveway openings shall be improved to standard City specifications. All existing access drives that are no longer used shall be removed and all unused driveways shall be closed and improved to standard City specifications.
10. Any work within City of Sheboygan Public rights-of-way, stormwater easements, etc. shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new street improvements, new and/or closed ingress/egress driveway openings, driveways over storm water easements, curb, gutter, sidewalk, pavement, utilities, retaining walls, street trees, etc.).


11. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).
12. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
13. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
14. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
15. It will be the applicant's responsibility to work with all private and public utilities in order to provide easements and/or relocate utilities as necessary.
16. Applicant shall adequately address all Sheboygan Water Utility concerns related to this development.
17. Applicant shall adequately address all Fire Department concerns related to this development.
18. This connecting link crossing the storm water easement shall be constructed to specifications required by the City Engineering Department. The link construction/specifications drawings shall be approved prior to building permit issuance.
19. Prior to building permit issuance, the applicant is responsible for providing all shared agreements/easements between the subject property and adjoining properties including but not limited to ingress/egress, shared access, parking, stormwater facilities, utilities, etc. This easement document shall be officially recorded by Sheboygan County.
20. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the proposed building design.
21. If there are any amendments to the approved conditional use permit (including but not limited to site plan, architectural design, use, etc.), the applicant will be required to submit a new conditional use application reflecting those amendments.

#### **ATTACHMENTS:**

Conditional Use Permit Application and Attachments

	<b>CITY OF SHEBOYGAN</b>  <b>APPLICATION FOR CONDITIONAL USE</b>	<b>Fee:</b> \$250.00 _____ <b>Review Date:</b> _____ <b>Zoning:</b> _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) <b>A.C.E. Building Service, Inc.</b>		Authorized Representative <b>Chris Herzog</b>	
Mailing Address <b>3510 S. 26th St.</b>		City <b>Manitowoc</b>	State <b>WI</b>
Email Address <b>cherzog@acebuildingservice.com</b>		Phone Number (incl. area code) <b>920-682-6105</b>	
ZIP Code <b>54220</b>			
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) <b>Torginol, Inc.</b>		Contact Person <b>Tom Testwuide</b>	
Mailing Address <b>4617 S. Taylor Dr.</b>		City <b>Sheboygan</b>	State <b>WI</b>
Email Address <b>tom@torginol.com</b>		Phone Number (incl. area code) <b>920-694-4800</b>	
ZIP Code <b>53081</b>			
SECTION 3: Project or Site Location			
Project Address/Description <b>3217 Behrens Parkway</b>		Parcel No. <b>59281479085</b>	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:		<b>Torginol, Inc.</b>	
Existing Zoning:		<b>Suburban Industrial</b>	
Present Use of Parcel:		<b>Warehousing</b>	
Proposed Use of Parcel:		<b>Warehouse (50%) / Manufacturing (50%)</b>	
Present Use of Adjacent Properties:		<b>Warehousing/Manufacturing</b>	
SECTION 5: Certification and Permission			
<p><b>Certification:</b> I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p><b>Permission:</b> I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) <b>Christopher Herzog</b>		Title President, A.C.E. Building Service	Phone Number <b>(920) 682-6105</b>
Signature of Applicant 		Date Signed <b>8/19/2024</b>	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**Conditional Use Written Explanation Requirements**

**A. Name of project / development**

- a. Torginol, Inc. Behrens Parkway Expansion

**B. Summary of Conditional Use and general operation of proposed use:**

**a. Description of existing use**

- i. Torginol is a manufacturer of materials used in the resinous floor industry. They manufacture inert decorative color flake and pigmented granular materials that are used for various types of floor coatings in commercial, industrial, and residential applications.

**b. Description of Proposed use (indoor, outdoor, etc.), why was this site selected?**

- i. The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment.

**c. All Services, products, etc. to be provided**

- i. As stated in part B, subpart a.

**d. Projected number of residents, employees, and/or daily customers**

- i. Employees: Approximately 35 employees on first shift, 25 employees on second shift, there is currently not a third shift and there are no current plans to add a third shift.
- ii. Daily Customers: none

**e. Proposed number of dwelling units, floor area, landscape area, and parking area expressed in square feet and acreage.**

- i. Floor area: either 4,116 or 8,085 square feet
- ii. Landscape area: 1,000 square feet (seeded & landscaped area)
- iii. Parking area: N/A
- iv. Total area of impact: 5,116 square feet

**f. Description of proposed building and all new site improvements**

The existing structure at Behrens Parkway is 67,500 square feet and Tower Drive is 131,250 square feet. It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct either a 4,116 square foot or 8,085 square foot connecting link structure. The site design includes crossing the drainage swale and existing fire lane access road around the Tower Drive facility. Storm piping will be installed under the proposed link structure to allow stormwater flow to the existing regional stormwater pond. Downspouts for the expansion will run into the existing swale connecting to the pond. The connecting link will include overhead doors on

each side of the structure, in line with the existing fire lane road. The purpose of the link structure is to allow access for Torginol staff to go between the Tower Drive and Behrens Parkway buildings without having to enter public ways or exit the building. The site will be landscaped to meet the requirements of the City of Sheboygan. Exterior lighting will consist of building mounted wall pack lighting to match existing conditions. There will be no exterior dumpster storage or dumpster enclosure included in the scope of the project. Any refuse will be transferred to one of the other facilities and disposed of in existing compactor docks.

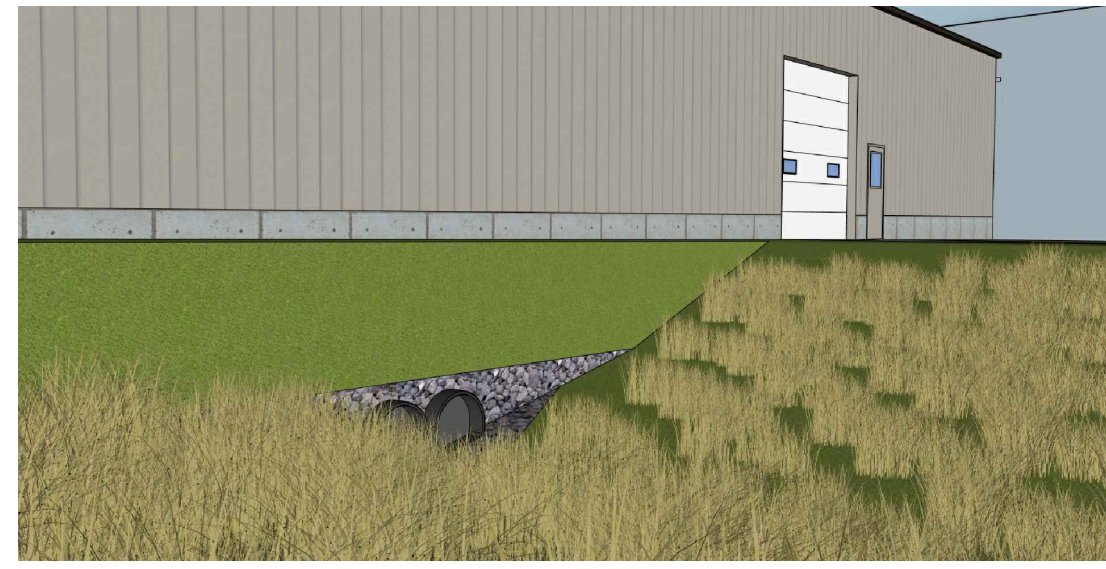
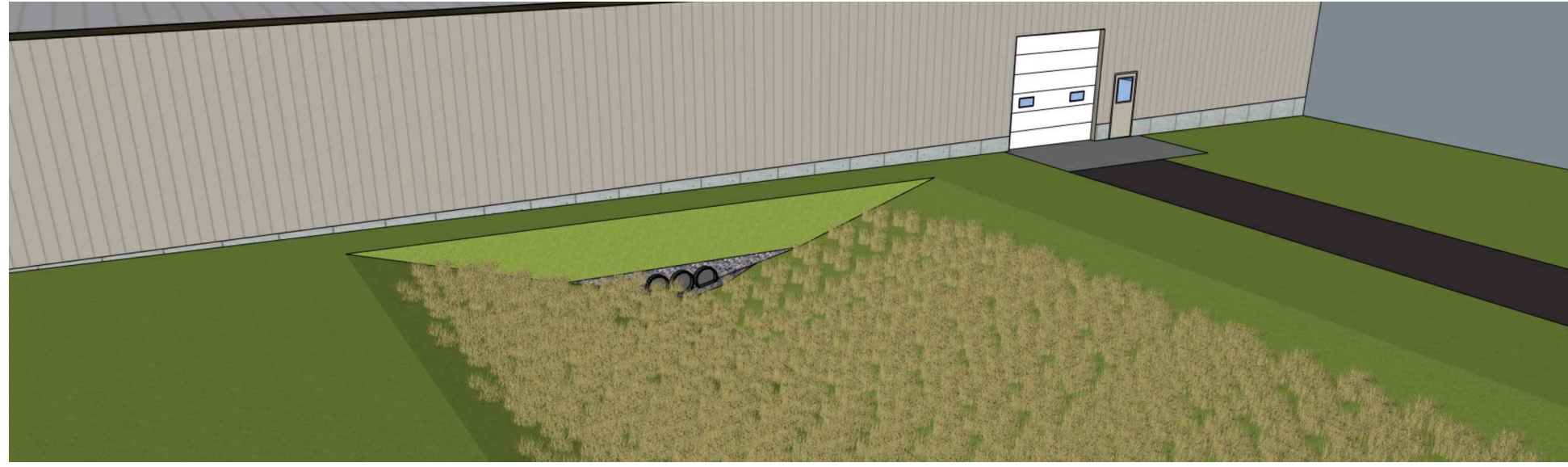
- g. Written description of the proposed general orientation, design, arrangement, texture, material and color of the building or structure and how it is compatible with the development and redevelopment in and around the area.**
  - i. The proposed expansion will be added between the existing structures. Dimensions will measure either 28' x 147' or 55' x 147'. The design of the expansion will be an extension of the Behrens Parkway facility in terms of style, materials and colors. Both the link structure and the existing building are compatible with the other businesses in the area and consistent with their general designs and building features.
- h. An explanation of any interior and/or exterior renovations**
  - i. No interior renovations are included with this project.
- i. Is access appropriate and is there sufficient customers/resident off-street parking?**
  - i. At completion, the Behrens Parkway and Tower Drive facilities will have a total of (5) driveway access points that will provide 360-degree access around the combined campus. The project will allow for continued access to the fire lane that surrounds the west side of the Tower Drive facility.
- j. Proposed signage**
  - i. None planned for the connecting link structure.
- k. Project timeline and estimated value of project**
  - i. The proposed project timeline will coincide with the Behrens Parkway expansion with sitework to commence in the fall of 2024 and construction of the structure to commence in spring of 2025. The project is expected to be completed within 9 months. The project is being quoted in a parallel path to this approval. Final costs are not known at this time but are anticipated to fall somewhere between 600,000 and 900,000 dollars.

- I. Compatibility of the proposed use and design with adjacent and other properties in the area.**
  - i. Torginol’s business model, operations, and building design is compatible with adjacent properties in the area as they too have manufacturing and warehouse occupancies. Adjacent building types are either precast concrete or pre-engineered steel, which compliment the existing building and proposed expansion.
- m. How will you insure that the business will not become a nuisance to adjacent properties (i.e. setbacks, parking, landscaping, etc.....)**
  - i. Torginol has long demonstrated their commitment to keeping all of their properties orderly and tidy. Because of the size of the structures, the exterior walls must remain 60 feet or more away from the property lines to maintain an unlimited area classification as stated in the International Building Code, which is far greater than the required zoning setback. Torginol has contract agreements with lawncare and landscaping companies to maintain their grounds.
- n. Other information that would be considered pertinent by the Plan Commission**
  - i. The planned link is simply an extension in every way of what Torginol currently does and who they currently are as a company. There will not be any new operations, products, processes, or radical design changes as a result of the expansion.
- C. If applicable, please describe any exceptions / variances that are required for this project (i.e. setbacks, parking, landscaping, etc.)**
  - a. There are no known variances required for the proposed connecting link.
  - b. We request that the landscaping requirement for the proposed link expansion be reduced in light of the landscaping that will be installed for the main facility expansion approved in July of 2024.
- D. Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate:**
  - a. How is the proposed conditional use (independent of its location) in harmony with the purpose, goals, objectives, policies, and standards of the City of Sheboygan Comprehensive Master Plan?**
    - i. The connecting link will allow pedestrian, forklift and material travel between the two facilities in an enclosed and weather protected environment. This will improve the quality and efficiency of the work flow process for Torginol and its employees.

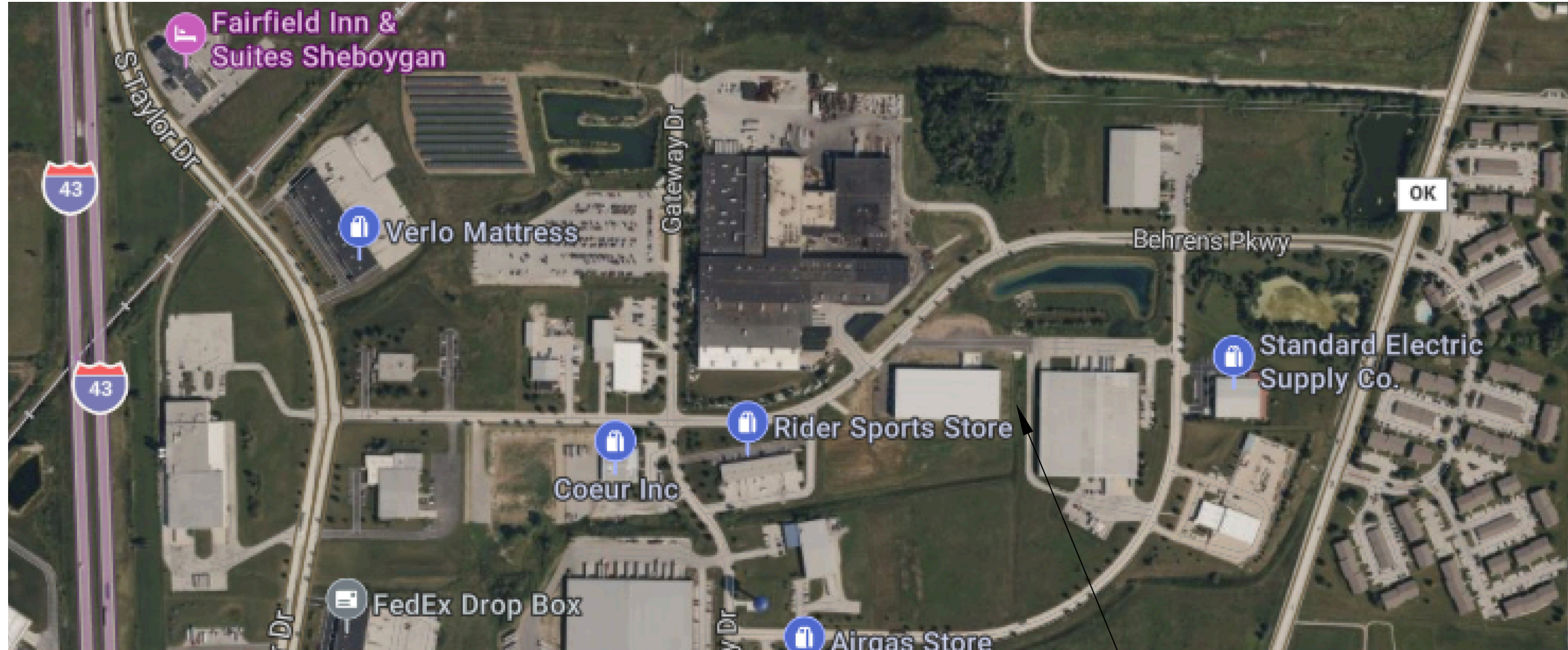
- b. Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?**
  - i. Neither the conditional use or the proposed location of the link result in any adverse impacts on nearby property or other conditions as stated. The project will be in full compliance with all zoning, stormwater management, building code, and other regulatory agency standards. There will be no negative impacts on public property or rights-of-way as a result of the expansion.
- c. How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?**
  - i. As this is a connection to an existing facility previously approved, the requested conditional use is consistent with the land use of the existing building and rightly so of those adjacent to and around the property.
- d. Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies?**
  - i. Yes – the existing facility is served with electrical service from Alliant Energy, water from the City of Sheboygan, and sanitary sewer from the City of Sheboygan. All services are adequate in size and will not require any alteration as a result of the expansion.

# TORGINOL, INC. CONNECTING LINK

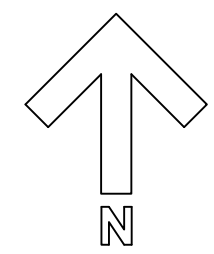
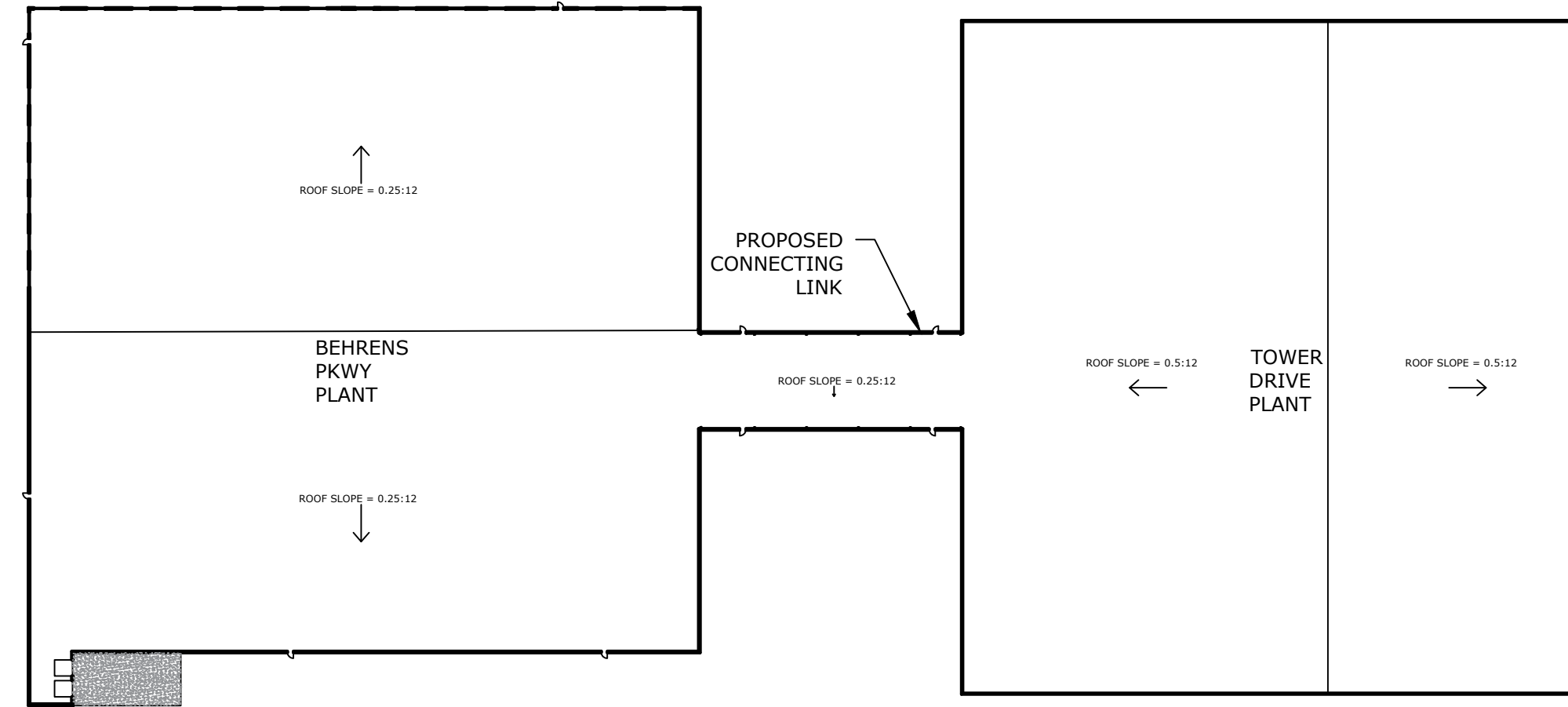
3217 BEHRENS PKWY. SHEBOYGAN, WI 53081



SITE LOCATION MAP



PROPOSED  
CONNECTING  
LINK LOCATION



## SITE OVERVIEW

NTS

SNOW LOADS		
A. BALANCED SNOW LOADS		
Ground Snow Load, P <sub>g</sub> = 30 psf Exposure Factor, C <sub>e</sub> = 1.0 (Partially Exposed) Thermal Factor, C <sub>t</sub> = 1.0 (Heated) Importance Factor, I = 1.0 Slope Factor, C <sub>s</sub> = 1.0		
Balanced Snow Roof Load = 21.0 PSF		

SEISMIC CONDITIONS		
Use Group - I Importance Factor, I <sub>e</sub> = 1.0 Site Class = D		
Seismic Design Category = A		

WIND LOADS		
V <sub>3s</sub> = 90 MPH ASD (115 MPH ULT) Exposure = C		
WIND ANALYSIS BY BUTLER MFG		

SOIL BEARING 3,500 PSF PER SOIL REPORT BY: MILLER ENG & SCIENTISTS DATED: JUNE 2024

CONCRETE FLOORS AND FOUNDATIONS - 3000 PSI MIN. IN 28 DAYS  
EXTERIOR SLABS - 4000 PSI MIN IN 28 DAYS, AIR ENTRAINED 5-7%  
GRADE 60 REBAR

PRE-ENGINEERED BUTLER MANUFACTURING COMPANY  
METAL BUILDING 1540 GENESEE ST.  
KANSAS CITY, MO 64102

### GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES
2. PROPOSED BUILDING AREA = 68,225 SQ FT
3. PROPOSED BUILDING VOLUME - 2,016,562.50 CU FT +/-
4. CLASS OF CONSTRUCTION - TYPE IIB
5. BUILDING OCCUPANCY - S-2 STORAGE LOW HAZARD/ F-2 FACTORY LOW HAZARD
6. BUILDING IS PROTECTED BY AUTOMATIC SPRINKLER
7. ALL EXIT DOORS TO BE EQUIPPED WITH:
  - A. EXIT LIGHTS
    - Exit signs shall not exceed 5 Watts per side installed wattage.
    - Means of Egress Illumination Level shall not be less than 1 Foot Candle at Walking Surface
    - Emergency Power for Means of Egress shall provide power for 90 Min and consist of storage batteries, unit equipment, or on-site generator.
  - B. PROPER EXIT HARDWARE
    1. LEVER HANDLES THAT DO NOT REQUIRE TWISTING OF THE WRIST
  - C. THRESHOLDS THAT DO NOT EXCEED 1/2"
8. FIRE EXTINGUISHERS TO BE PROVIDED IF REQUIRED BY CODE
9. SMOKE DETECTORS TO BE PROVIDED IF REQUIRED BY CODE
10. OCCUPANT LOAD PER TBL 1004.1.2 = 68,225/500 = 136 PERSONS
11. EGRESS WIDTH REQUIRED RE 1005.3.2 - 135(0.20) = 27", 4X32" = 128" PROVIDED
12. MAX TRAVEL EXIT DISTANCE PER 1017.2 = 400'

### THERMAL PERFORMANCE

THERMAL COMPLIANCE BY PRESCRIPTIVE METHOD (TABLES 502.1.2 & 502.2(1) OF 2009 IECC CLIMATE ZONE 6 ALL OTHER).

1. INSULATED WALK DOORS WILL HAVE A MAXIMUM U VALUE OF 0.70.
- 1A. INSULATED OVERHEAD DOORS WILL HAVE A MAXIMUM U VALUE OF 0.50.
2. UNHEATED SLAB MINIMUM R VALUE OF 10.0 FOR 24" OF PERIMETER EDGE INSULATION.
3. ROOF ASSEMBLY MAXIMUM U VALUE OF 0.049 (TESTED 0.043).
4. WALL ASSEMBLY MAXIMUM U VALUE OF 0.069 (TESTED 0.059 FOR BUTLER WALL PANEL SYSTEM).
5. WINDOW MAXIMUM U VALUE OF 0.36 (TABLE C402.4 OF 2015 IECC CLIMATE ZONE 6).

### SHEET INDEX

#### TITLE SHEET

TS SHEET INDEX, TITLE SHEET, ENGINEERING/ DESIGNER INFORMATION

CIVIL	
C001	SITE SURVEY
C002	SITE PREPARATION & EROSION CONTROL PLAN
C100	SITE PLAN
C200	GRADING & UTILITY PLAN
C400	EROSION CONTROL DETAILS
C401	SITE DETAILS
C500	SITE SPECIFICATIONS

#### ARCHITECTURAL

A1.0	PROPOSED FLOOR PLAN - BASE
A1.1	PROPOSED FLOOR PLAN - ALTERNATE OPTION, OVERALL VIEW
A2.0	ELEVATIONS - BASE
A2.1	ELEVATIONS - ALTERNATE
A3.0	BUILDING SECTION, SCHEDULES

#### STRUCTURAL

S001	GENERAL NOTES & DESIGN CRITERIA
S100	BASE FOUNDATION PLAN
S101	ALTERNATE FOUNDATION PLAN
S400	FOUNDATION DETAILS
S401	FOUNDATION DETAILS

REV.	BY	DATE	DESCRIPTION
Item 6.			

**A.C.E. BUILDING SERVICE**  
OUR REPUTATION IS OUR FOUNDATION  
P.O. BOX 1828 • 8510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN 54221-1828  
PHONE: 920.682.6103 • FAX: 920.682.7700 • WWW.ACEBUILDINGSERVICE.COM  
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:  
**CONNECTING LINK**  
TORGINOL, INC.  
3217 BEHRENS PKWY.  
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

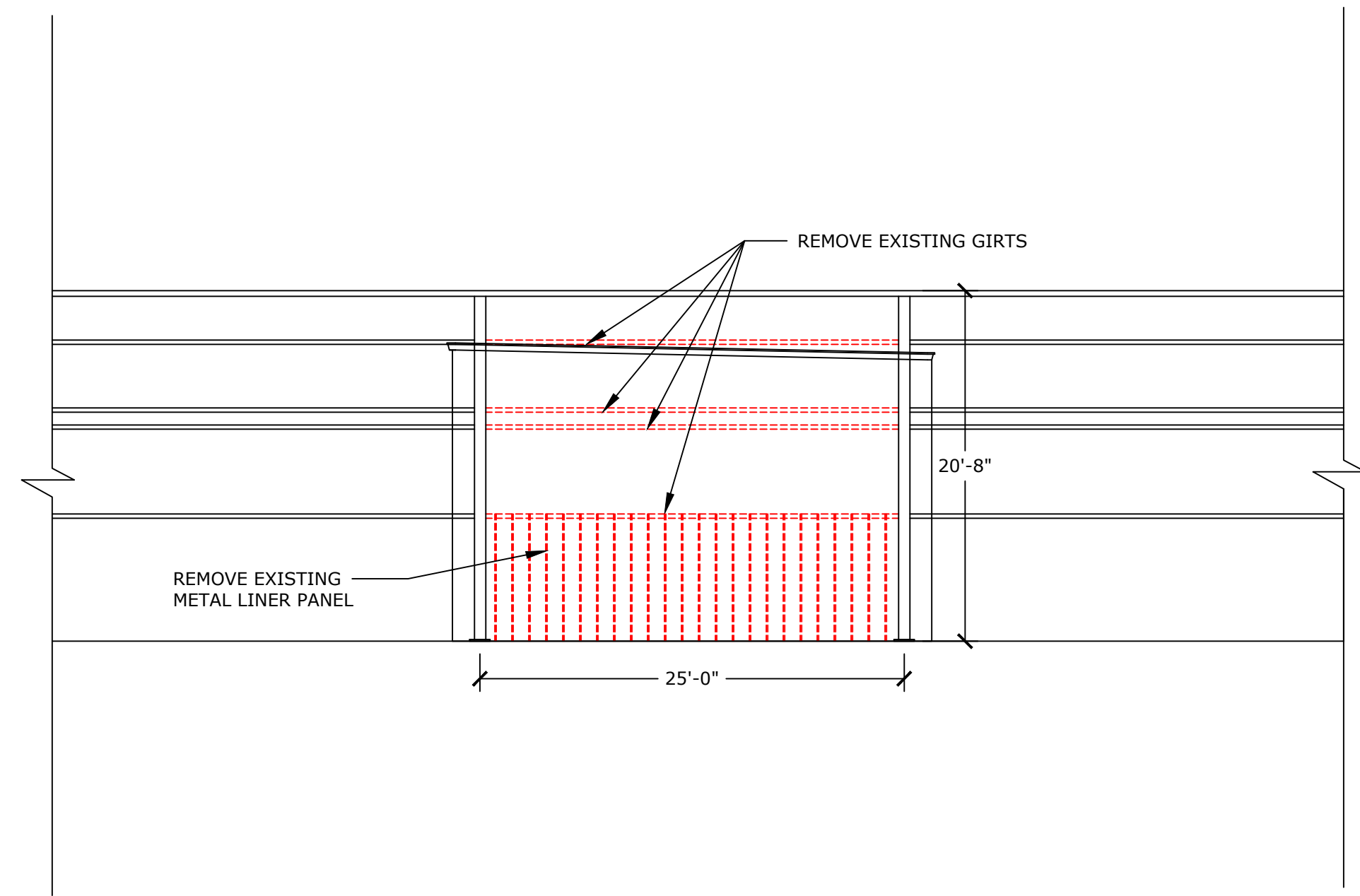
#### SHEET INFORMATION

A.C.E. JOB NO.  
DATE: 08/06/24  
DRAWN BY: KDR  
SCALE: SEE SHEET

#### SHEET

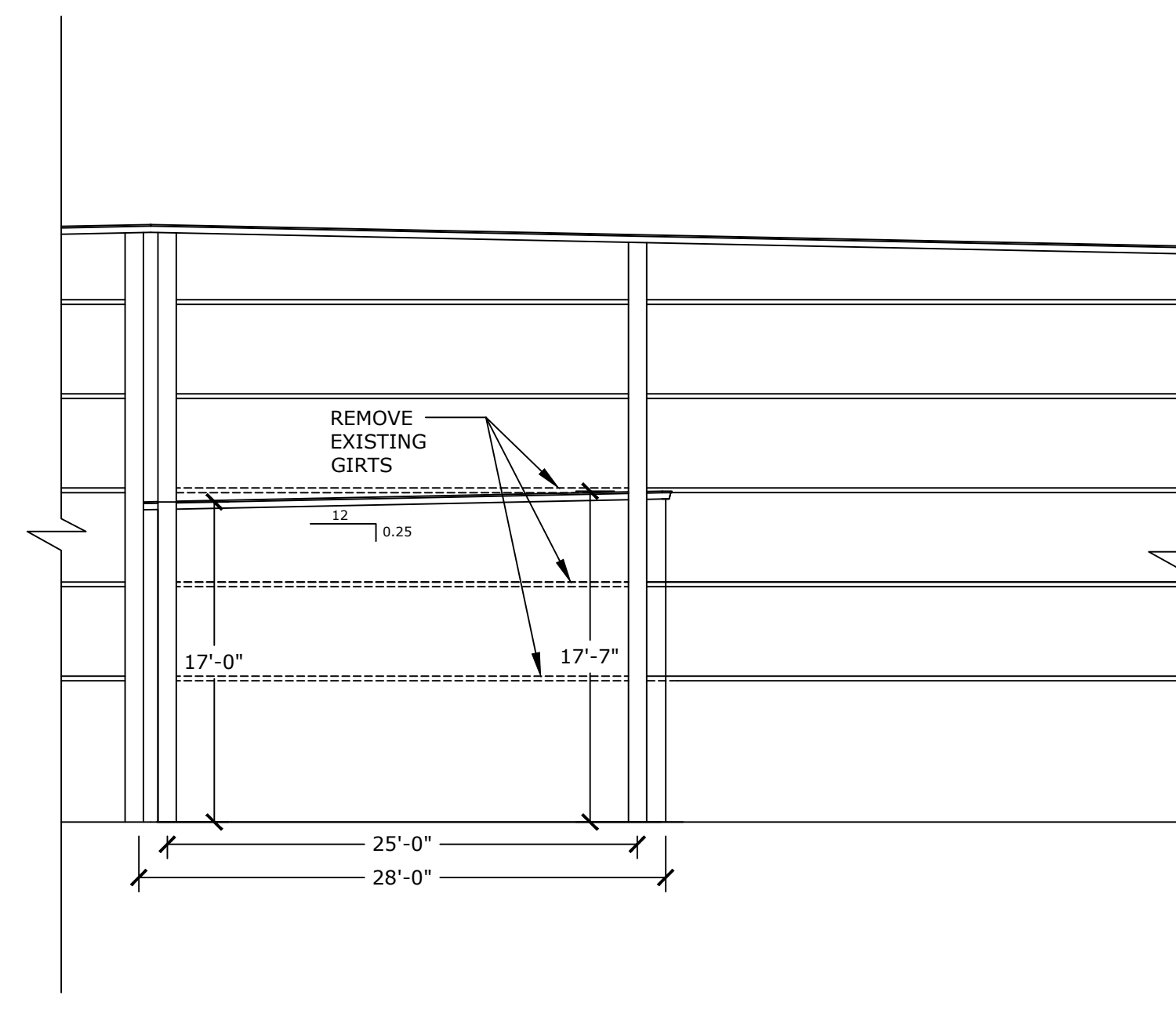
**TS**





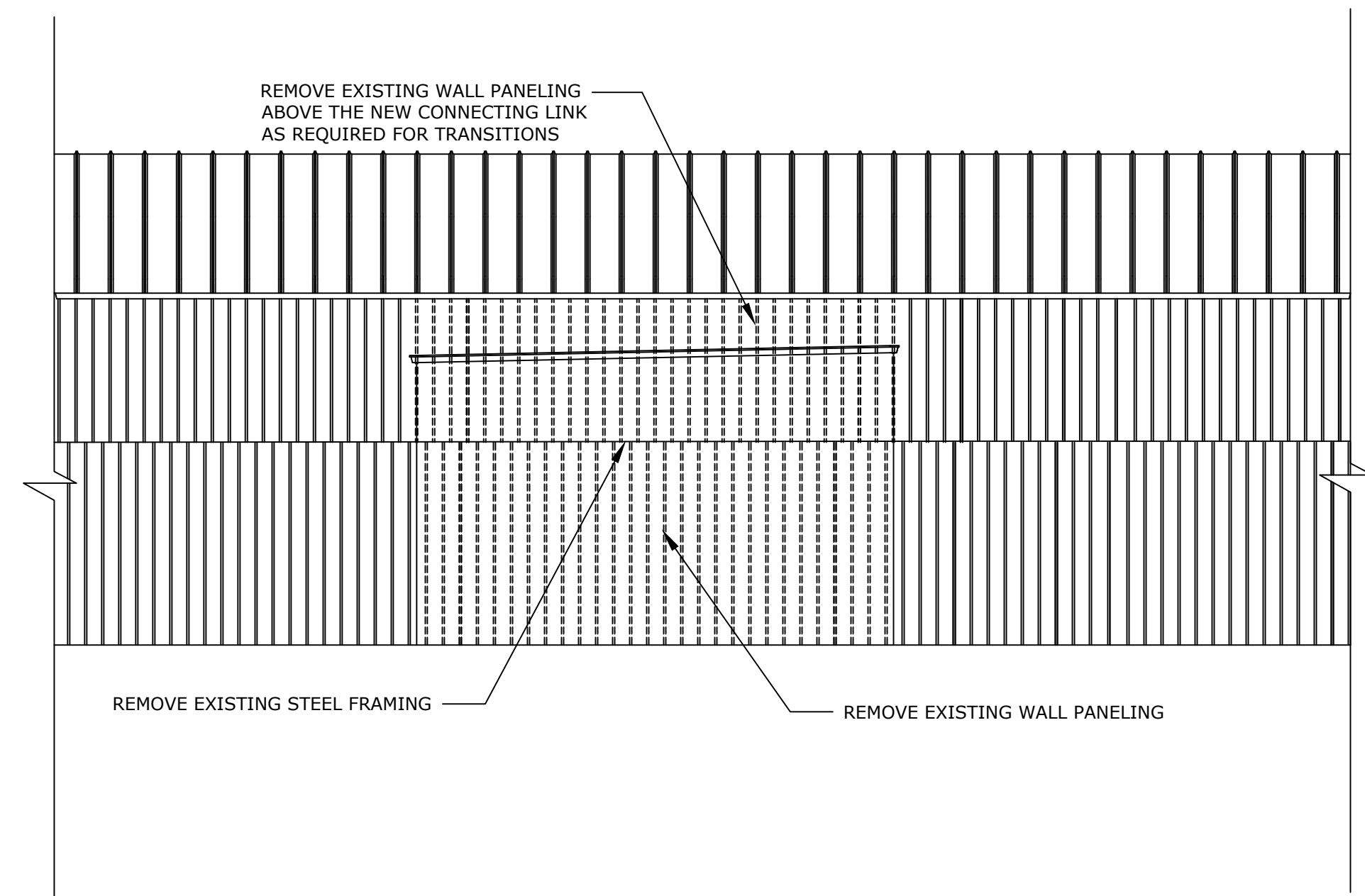
**DEMOLITION PLAN - TOWER DRIVE FACILITY - INTERIOR**

1/8" = 1'-0"



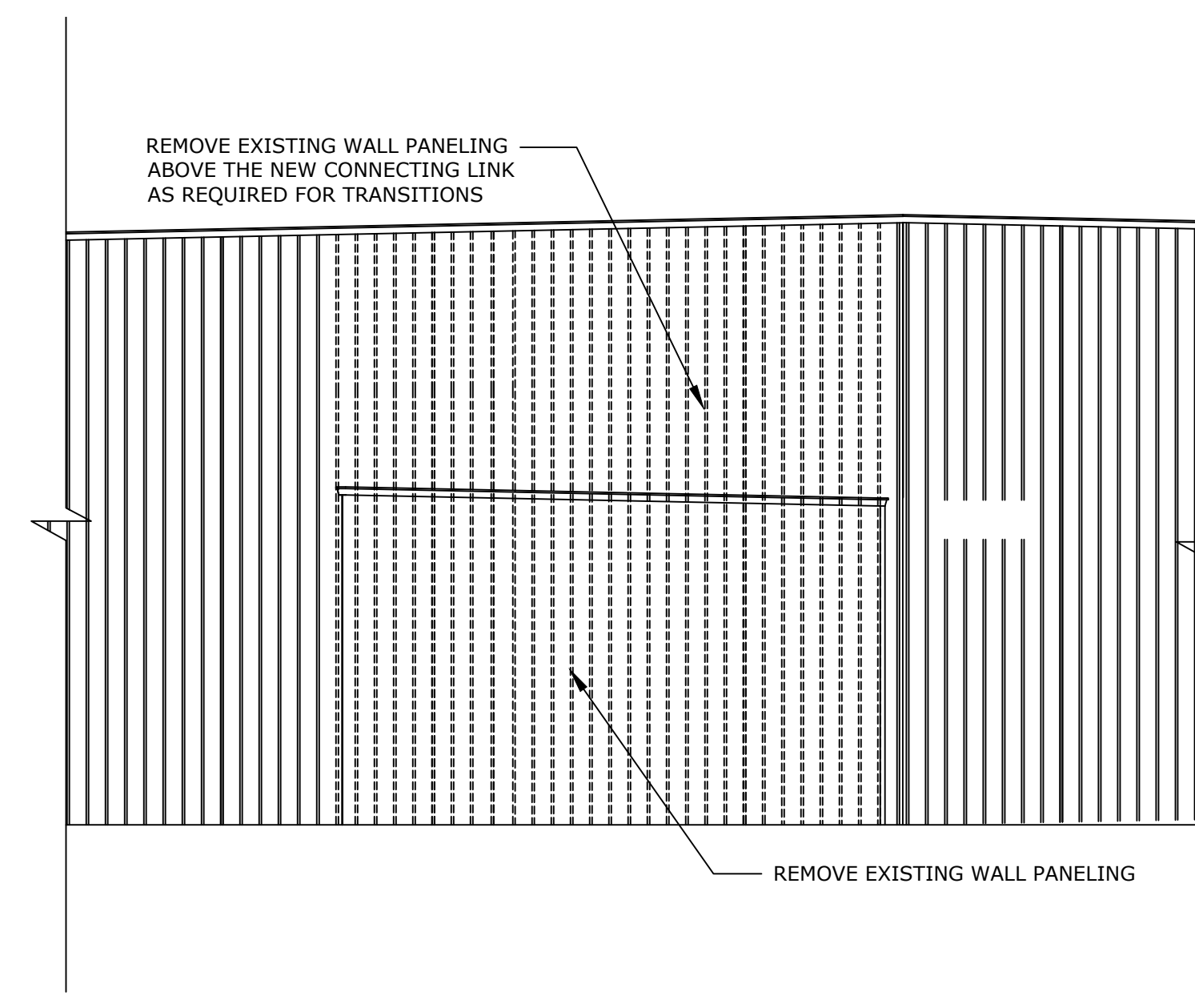
**DEMOLITION PLAN - BEHRENS PKWY FACILITY - INTERIOR**

1/8" = 1'-0"



**DEMOLITION PLAN - TOWER DRIVE FACILITY - EXTERIOR**

1/8" = 1'-0"



**DEMOLITION PLAN - BEHRENS PKWY FACILITY - EXTERIOR**

1/8" = 1'-0"

REVISION DESCRIPTION	DATE	REV BY
		Item 6.

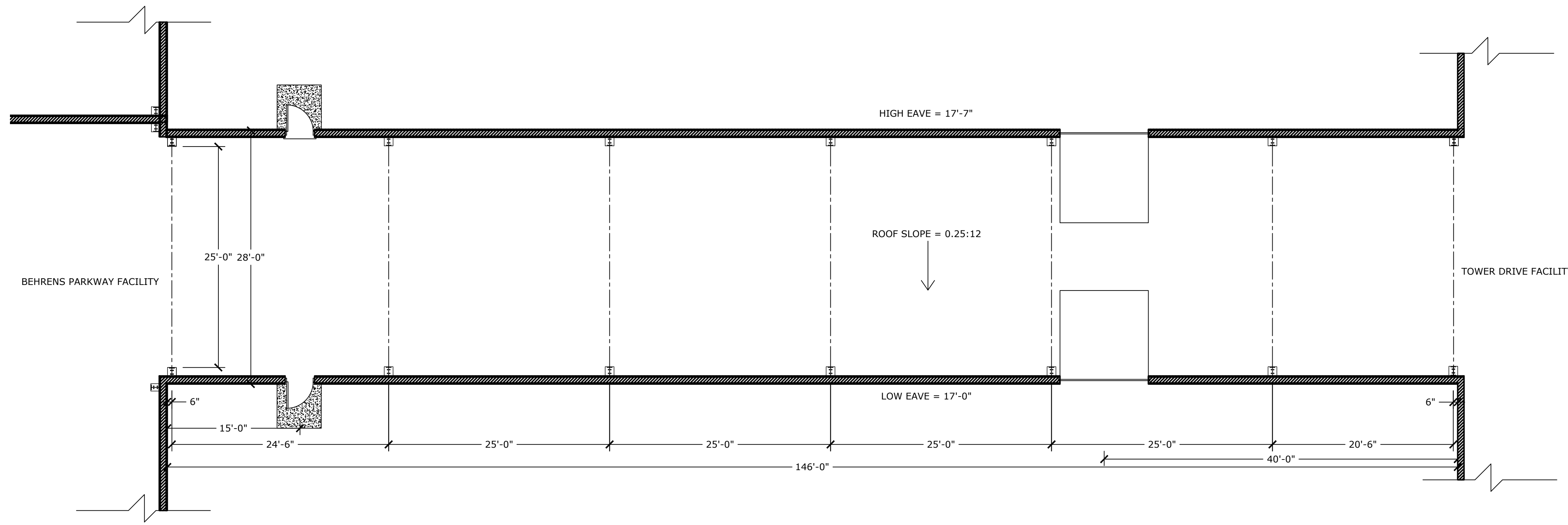
**ACE BUILDING SERVICE**  
 OUR REPUTATION IS OUR FOUNDATION  
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626  
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:  
**CONNECTING LINK**  
 TORGINOL, INC.  
 3217 BEHRENS PKWY.  
 SHEBOYGAN, WI 53081

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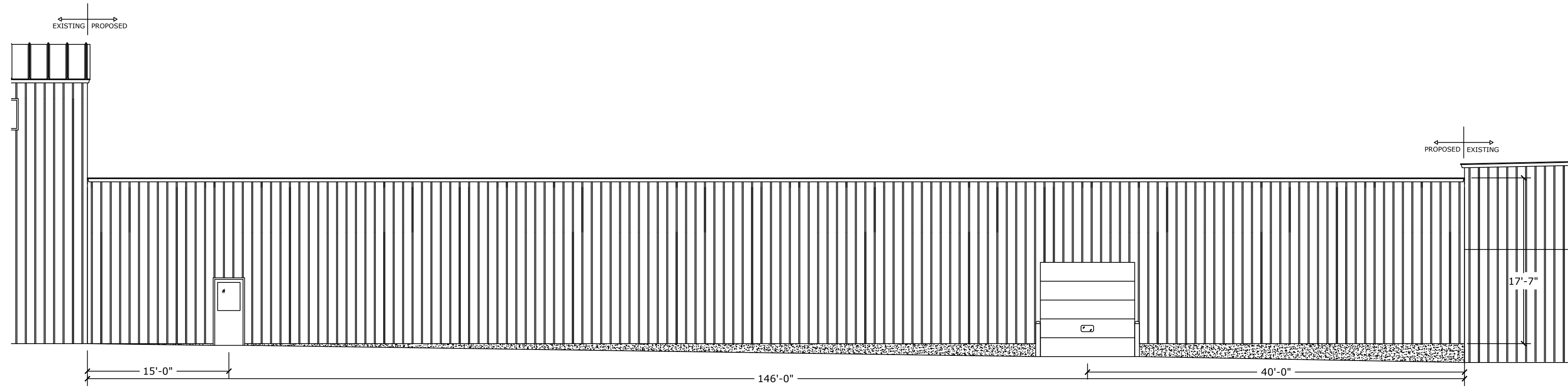
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET  
**A0.1**



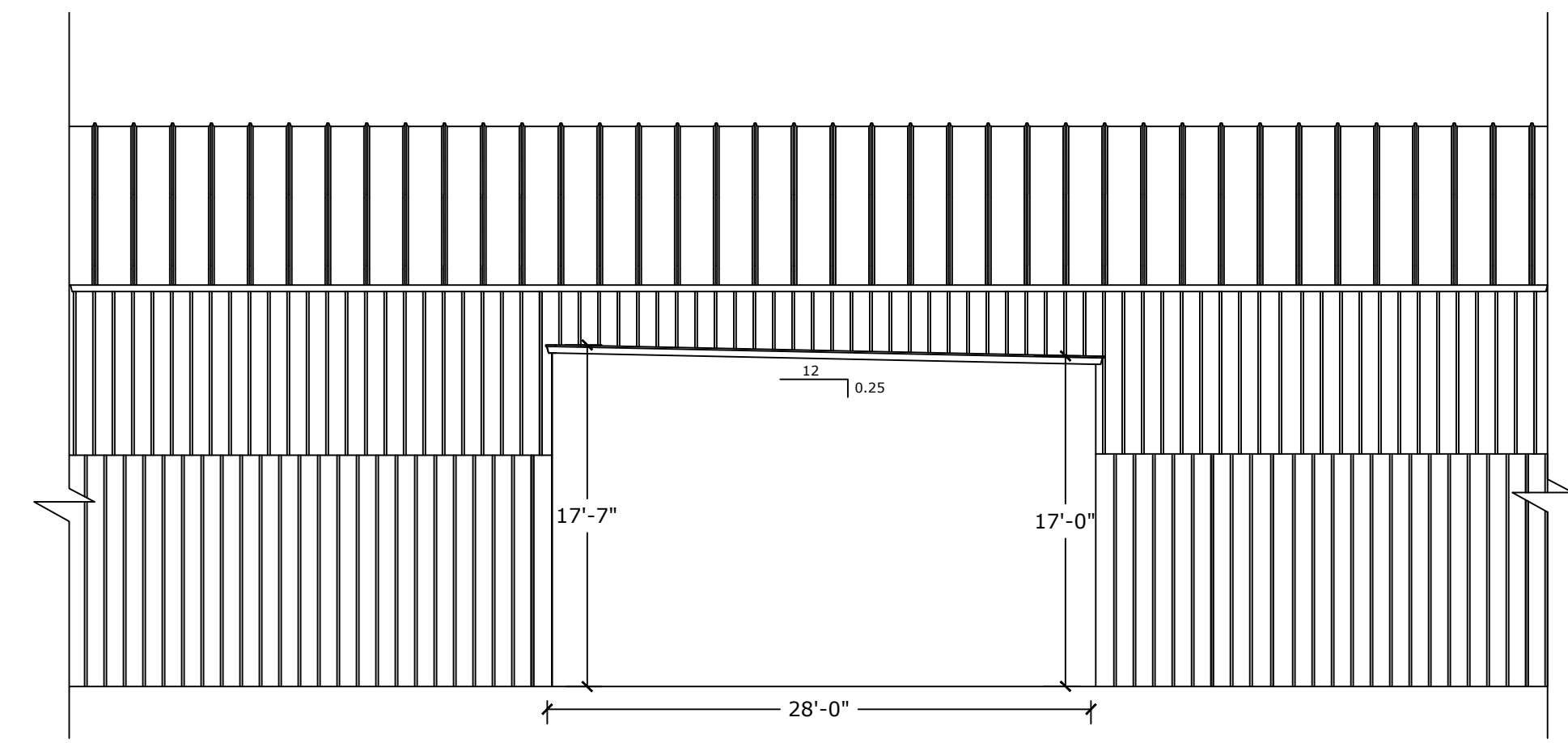
**BASE OPTION - FLOOR PLAN - 28' X 146' CONNECTING LINK**

1/8" = 1'-0"



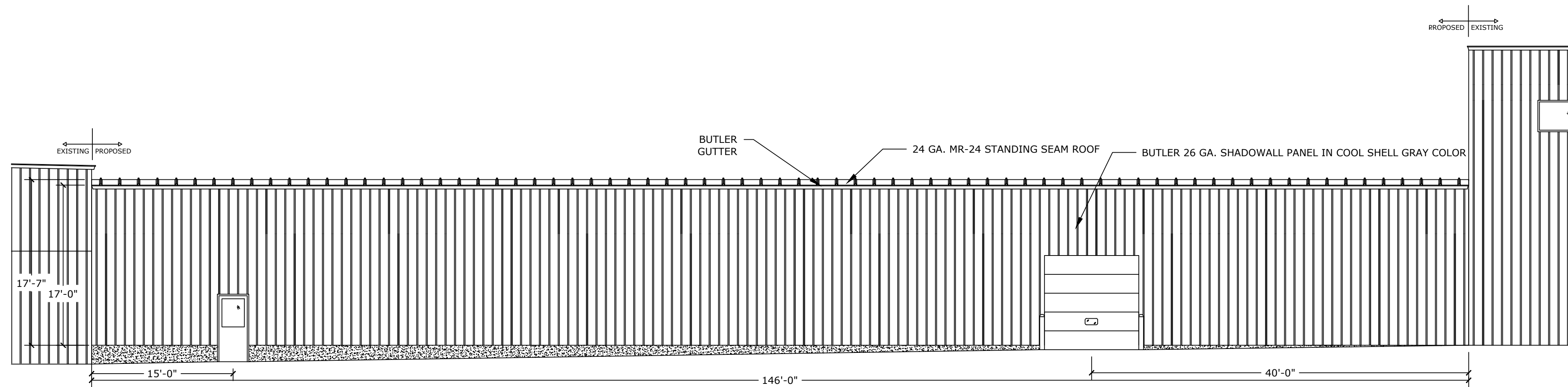
**SOUTH ELEVATION**

1/8" = 1'-0"



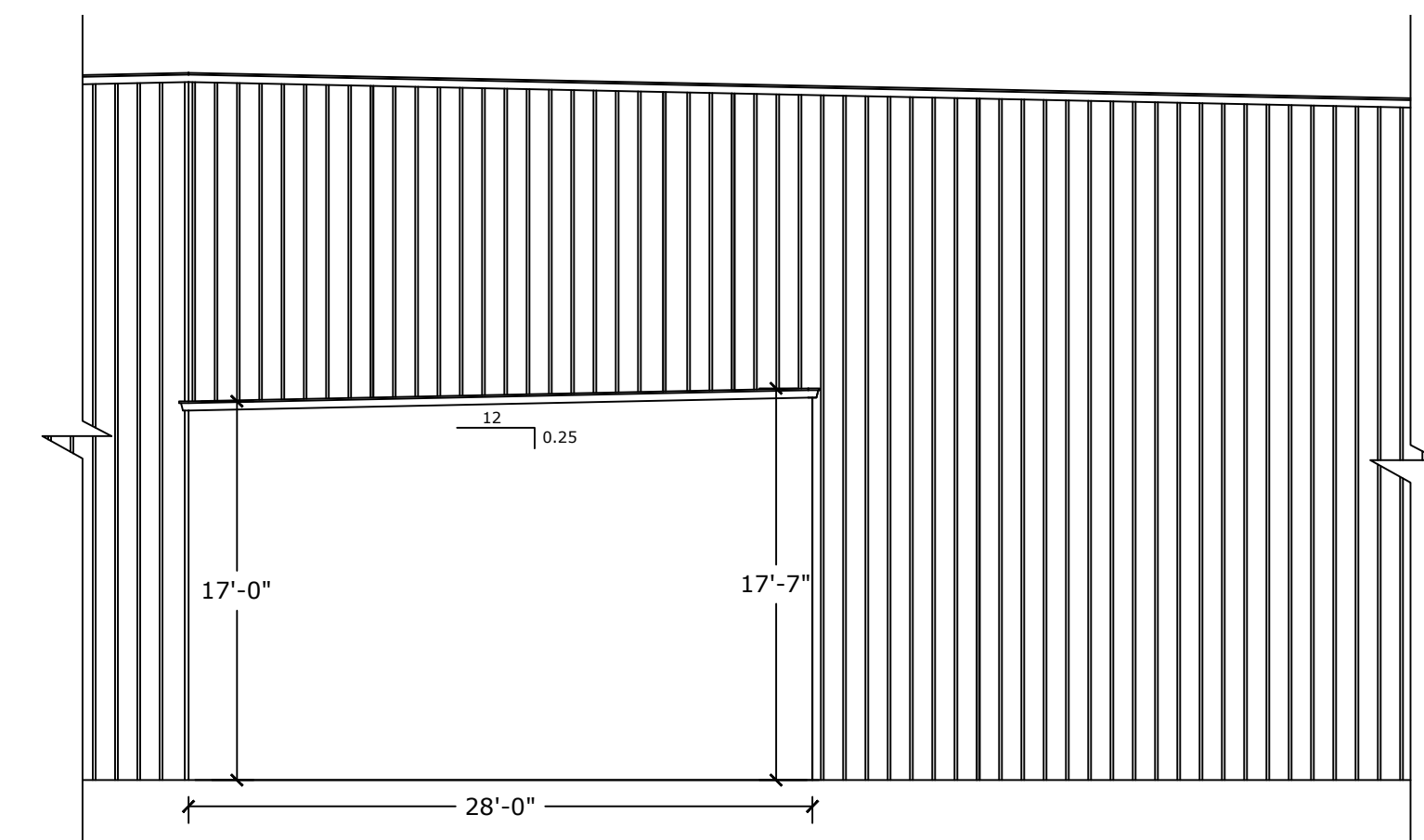
**EAST ELEVATION**

1/8" = 1'-0"



**NORTH ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"

REV. BY	DATE	REVISION DESCRIPTION

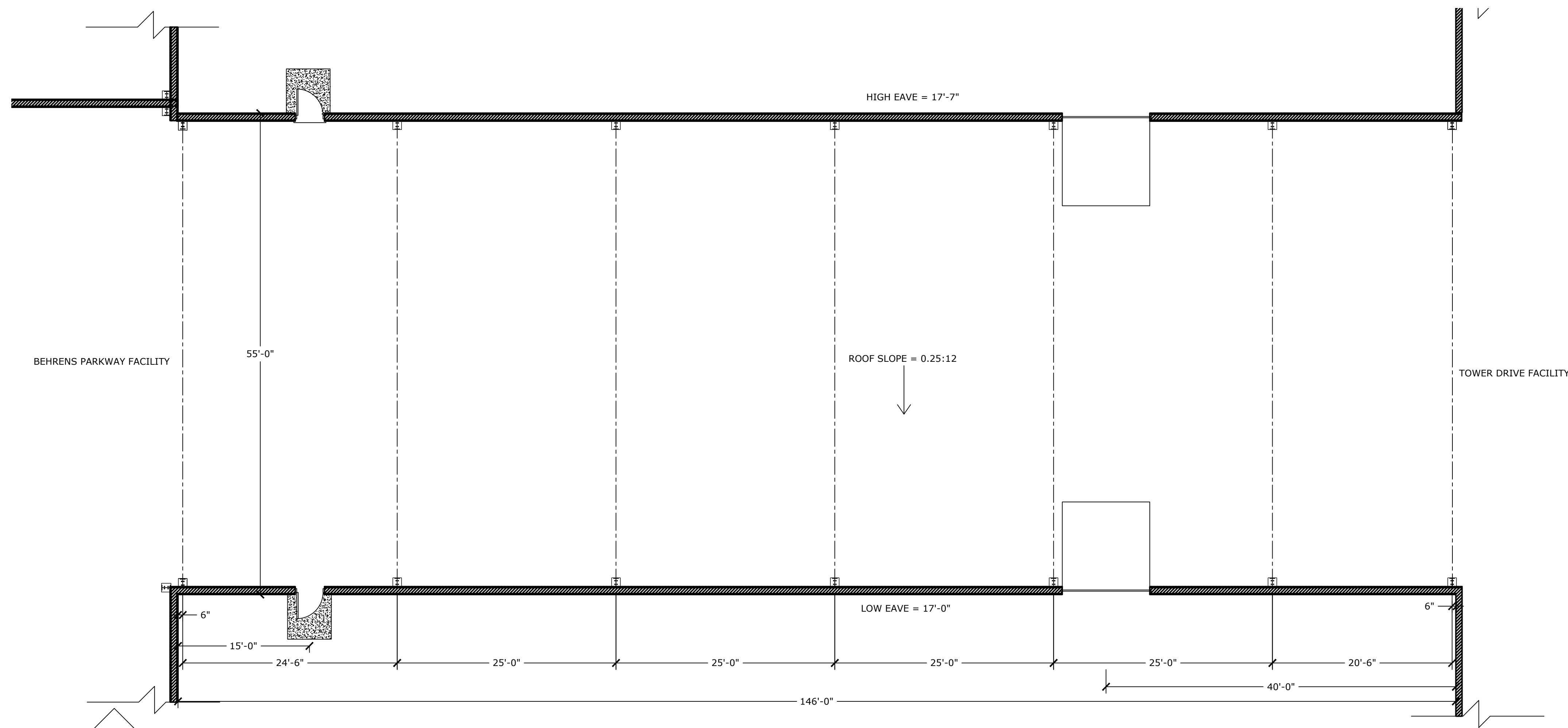
**ACE BUILDING SERVICE**  
 OUR REPUTATION IS OUR FOUNDATION  
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626  
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

**CONNECTING LINK**  
 TORGINOL, INC.  
 3217 BEHRENS PKWY.  
 SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

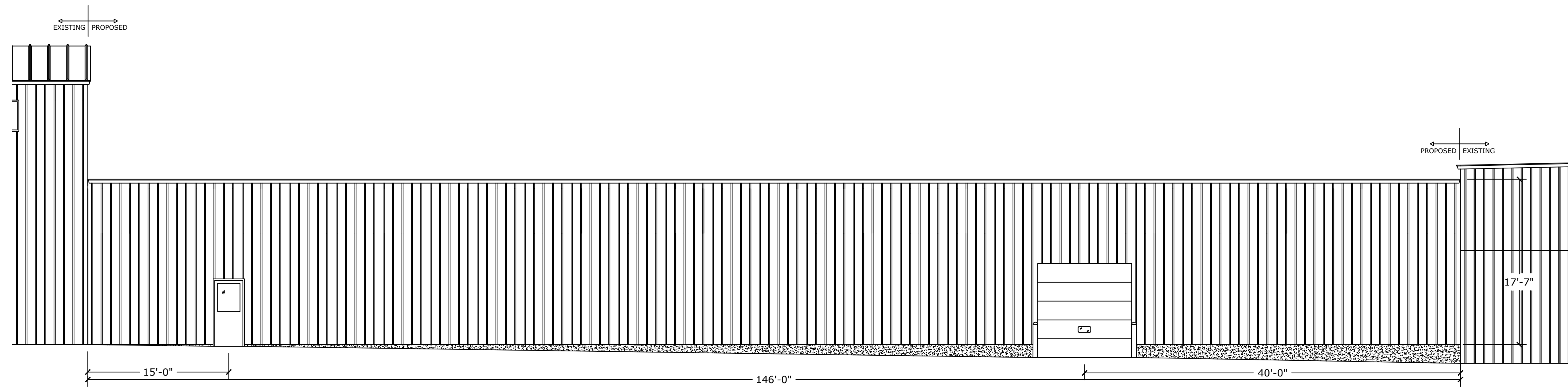
**SHEET INFORMATION**  
 A.C.E. JOB NO. \_\_\_\_\_  
 DATE: 08/06/24  
 DRAWN BY: KDR  
 SCALE: SEE SHEET  
 SHEET

**A1.0**



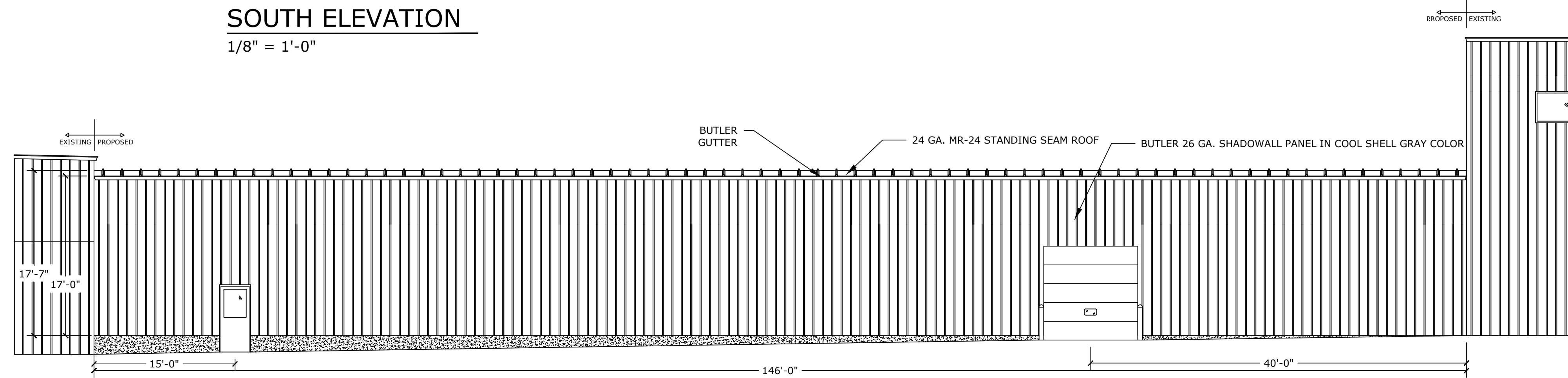
**ALTERNATE OPTION - FLOOR PLAN - 55' X 146' CONNECTING LINK**

1/8" = 1'-0"



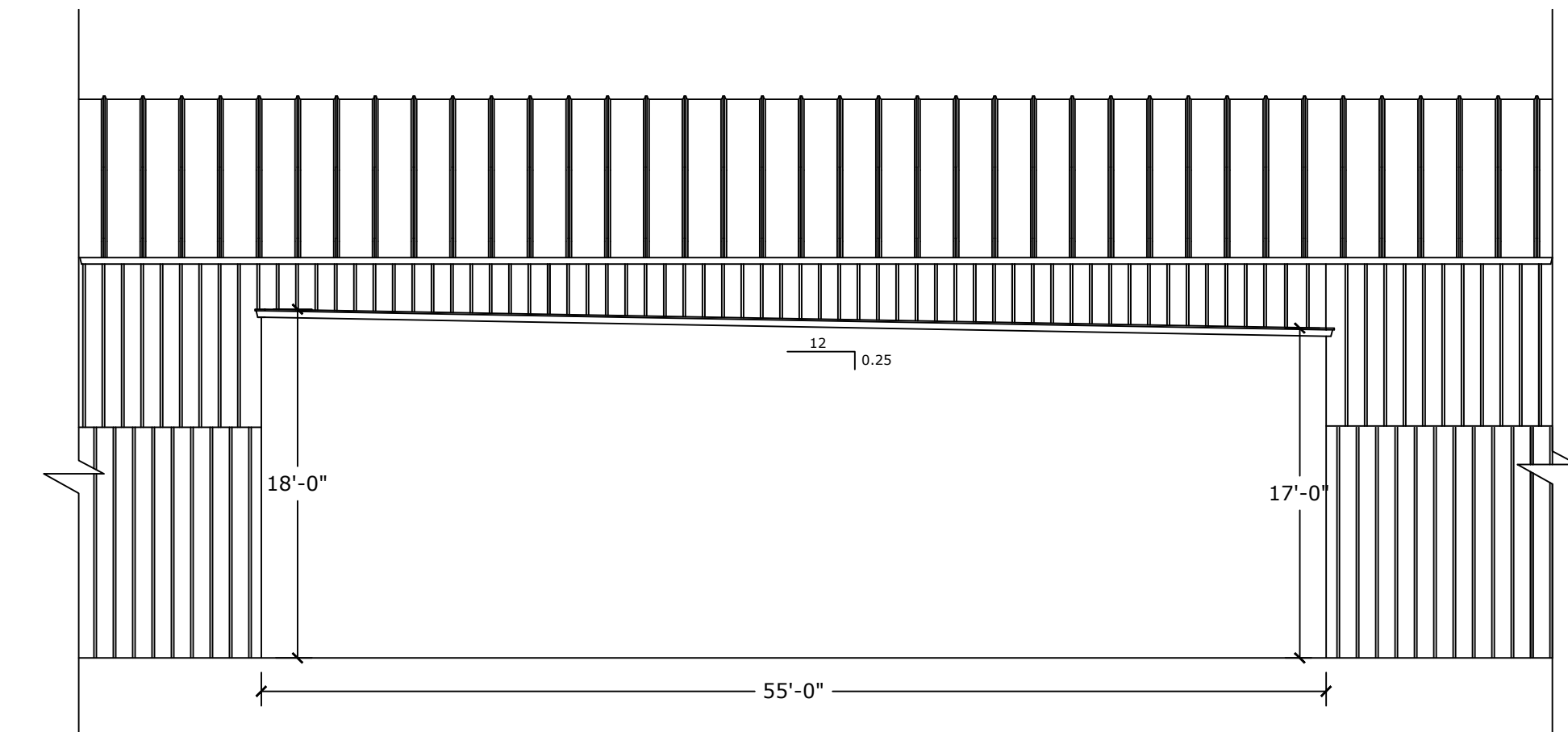
**SOUTH ELEVATION**

1/8" = 1'-0"



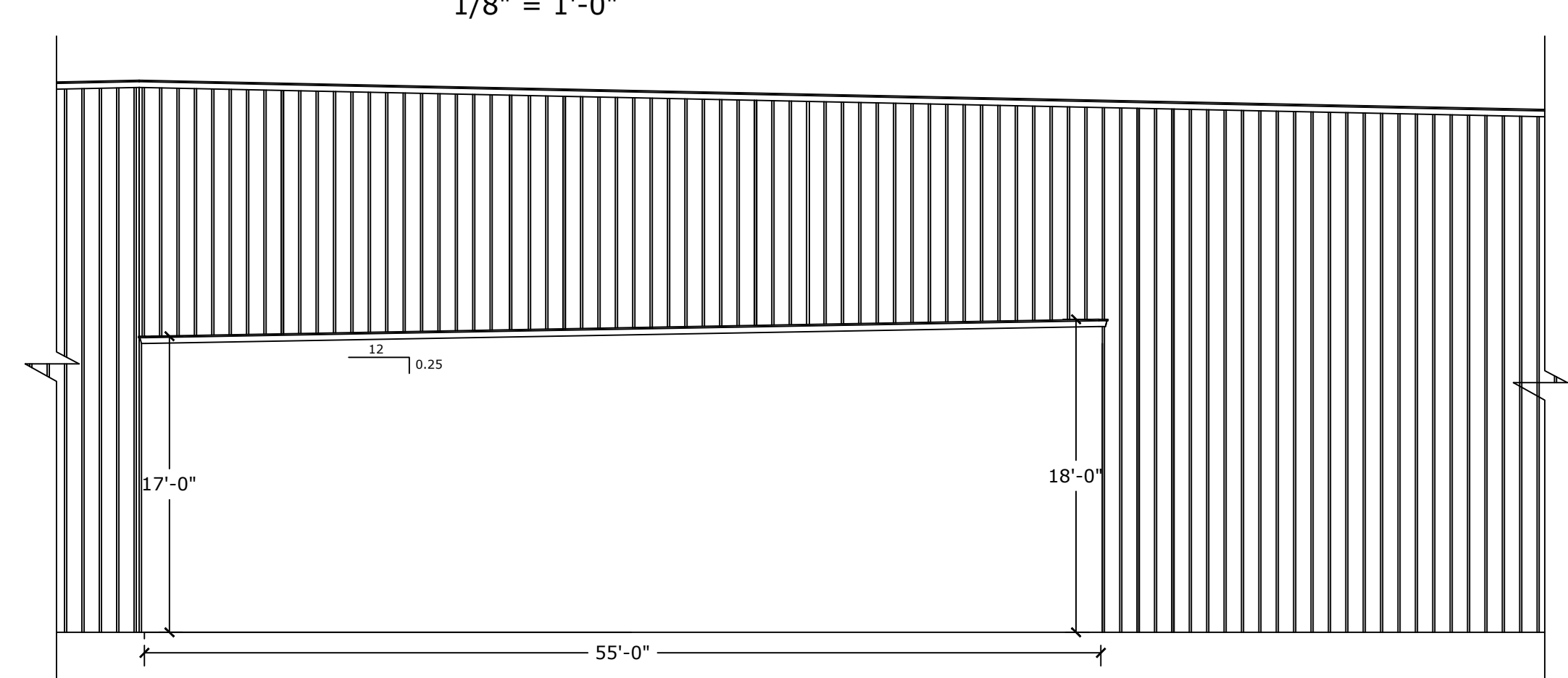
**NORTH ELEVATION**

1/8" = 1'-0"



**EAST ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"

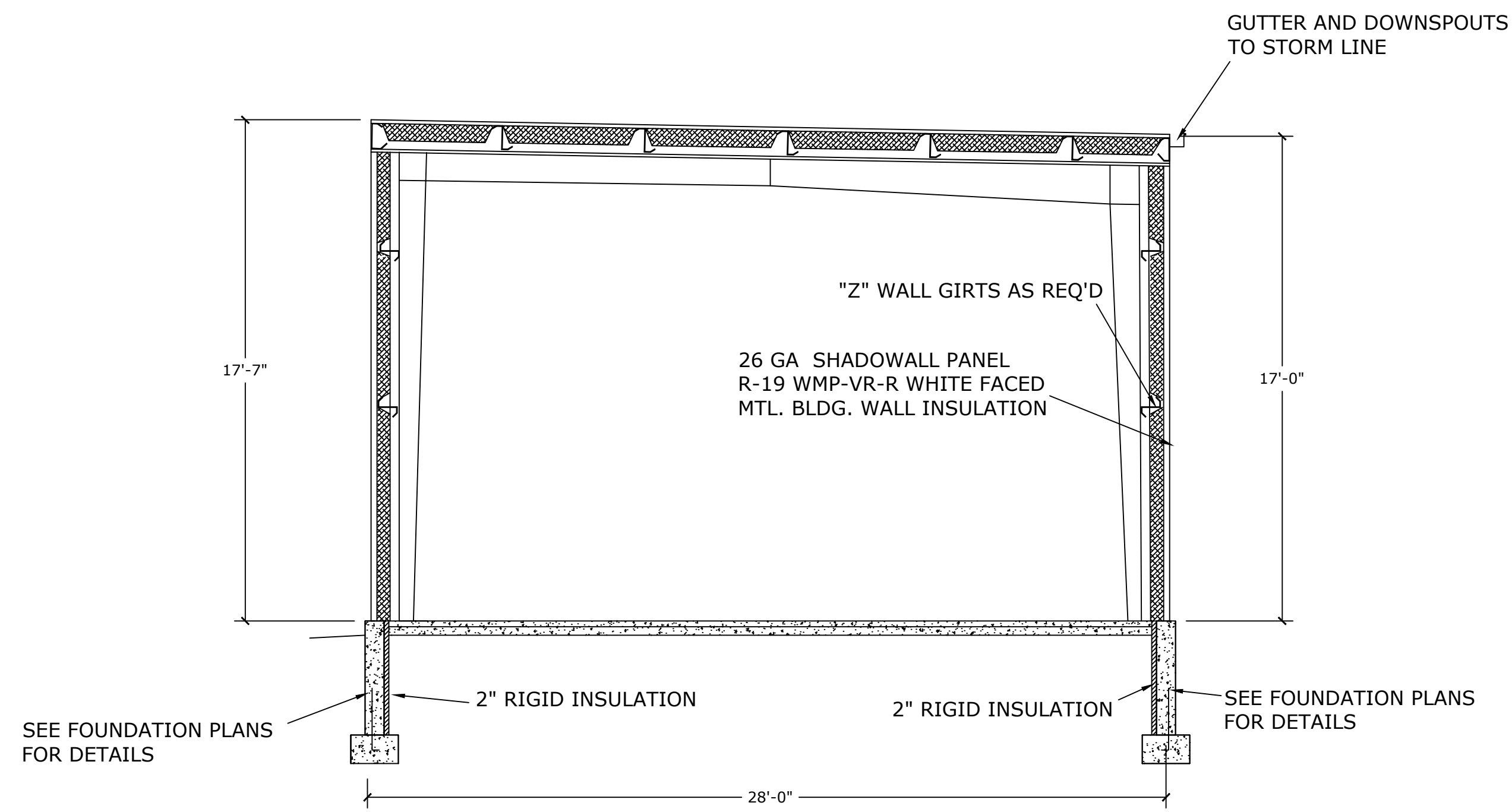
REVISION DESCRIPTION	DATE	REV. BY

**ACE BUILDING SERVICE**  
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 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWIC, WISCONSIN • 54221-1626  
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
 SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:  
**CONNECTING LINK**  
 TORGINOL, INC.  
 3217 BEHRENS PKWY.  
 SHEBOYGAN, WI 53081

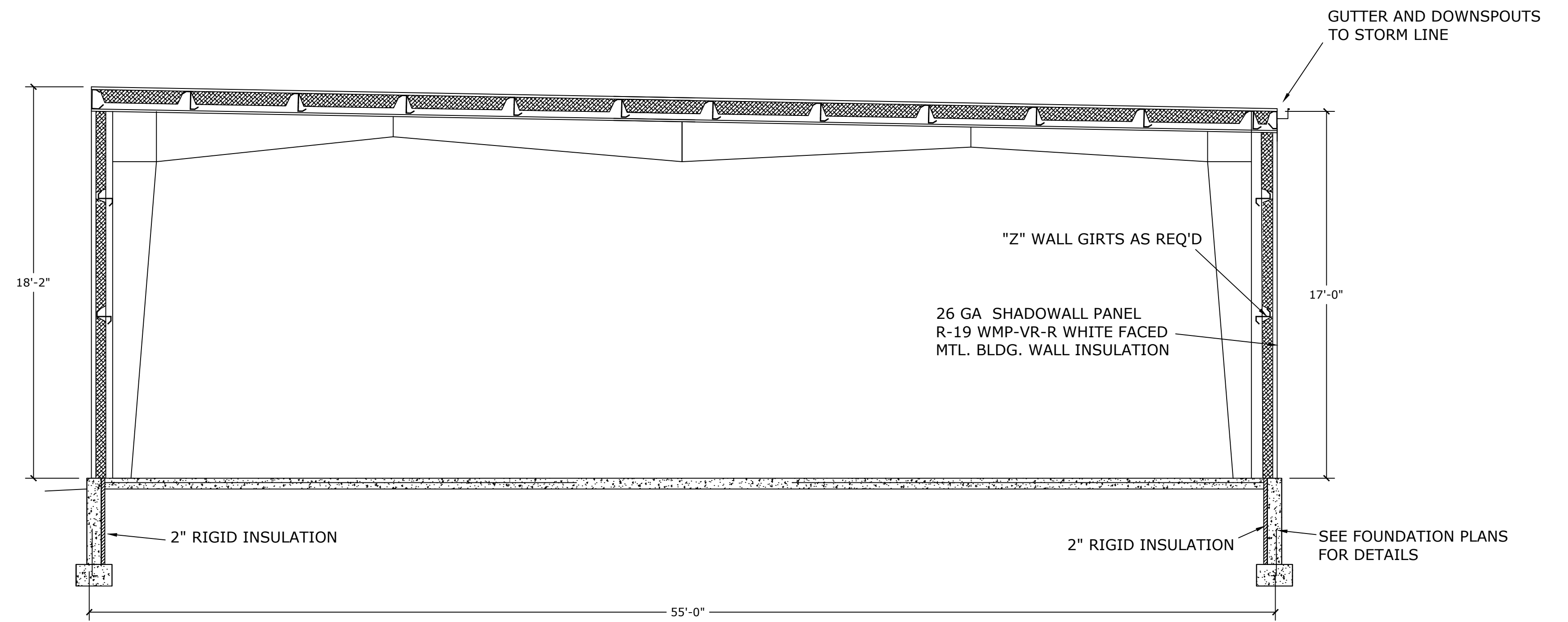
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SHEET INFORMATION  
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 DATE: 08/06/24  
 DRAWN BY: KDR  
 SCALE: SEE SHEET  
 SHEET  
**A1.1**



**BUILDING SECTION - 28' OPTION**

1/4" = 1'-0"



**BUILDING SECTION - 55' OPTION**

1/4" = 1'-0"

**DOOR AND FRAME SCHEDULE**

MARK	SIZE			DOOR			FRAME		HDWR.	GLASS WALL GLAZING	NOTES
	WD	HGT	MATL	ELEV.	GLAZING	MATL	ELEV.	SET NO			
1	3'-0"	7'-0"	HM	1	1/4" INSUL	HM	1	1	-	-	EXTERIOR HALF-LITE, INSULATED
2	3'-0"	7'-0"	HM	1	1/4" INSUL	HM	1	1	-	-	EXTERIOR HALF-LITE, INSULATED
3	10'-0"	10'-0"	ST	2	1/4" INSUL	ST	2	N/A	-	-	
4	10'-0"	10'-0"	ST	2	1/4" INSUL	ST	2	N/A	-	-	

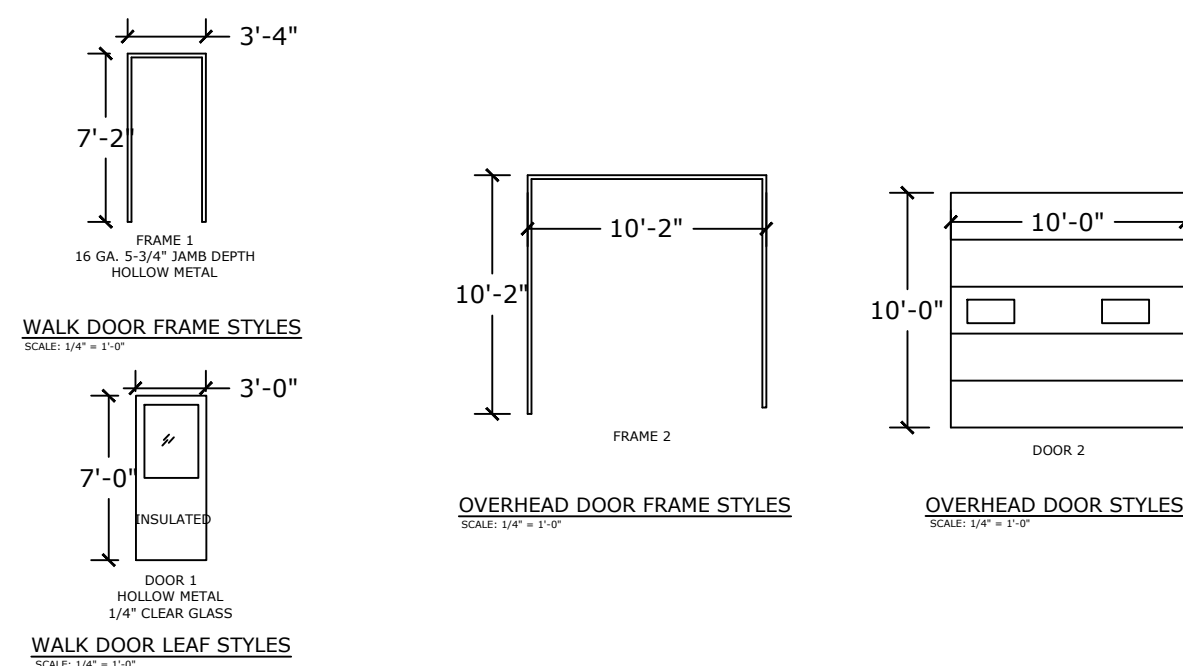
**HARDWARE SCHEDULE**

**HARDWARE SET 1**

- GRADE 1, LEVER HANDLE SCHLAGE - US26D ENTRANCE LOCKSET
- (11-12) PARR-BALL BEARING HINGES
- CLOSER
- WEATHER-STRIPPING
- SWEEPS
- THRESHOLD

**DOOR & HARDWARE NOTES**

- ALL LOCKSETS/PASSAGE TO BE GRADE 1 - US26 SATIN CHROME FINISH - RHODES
- ALL CLOSERS TO BE HEAVY DUTY LCN 4040XP
- EXTERIOR DOORS WITH TOP CAPS



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 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM  
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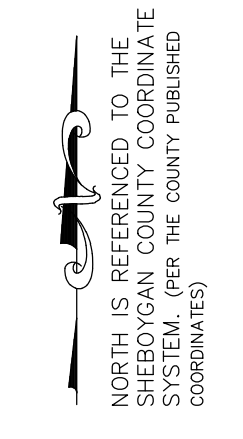
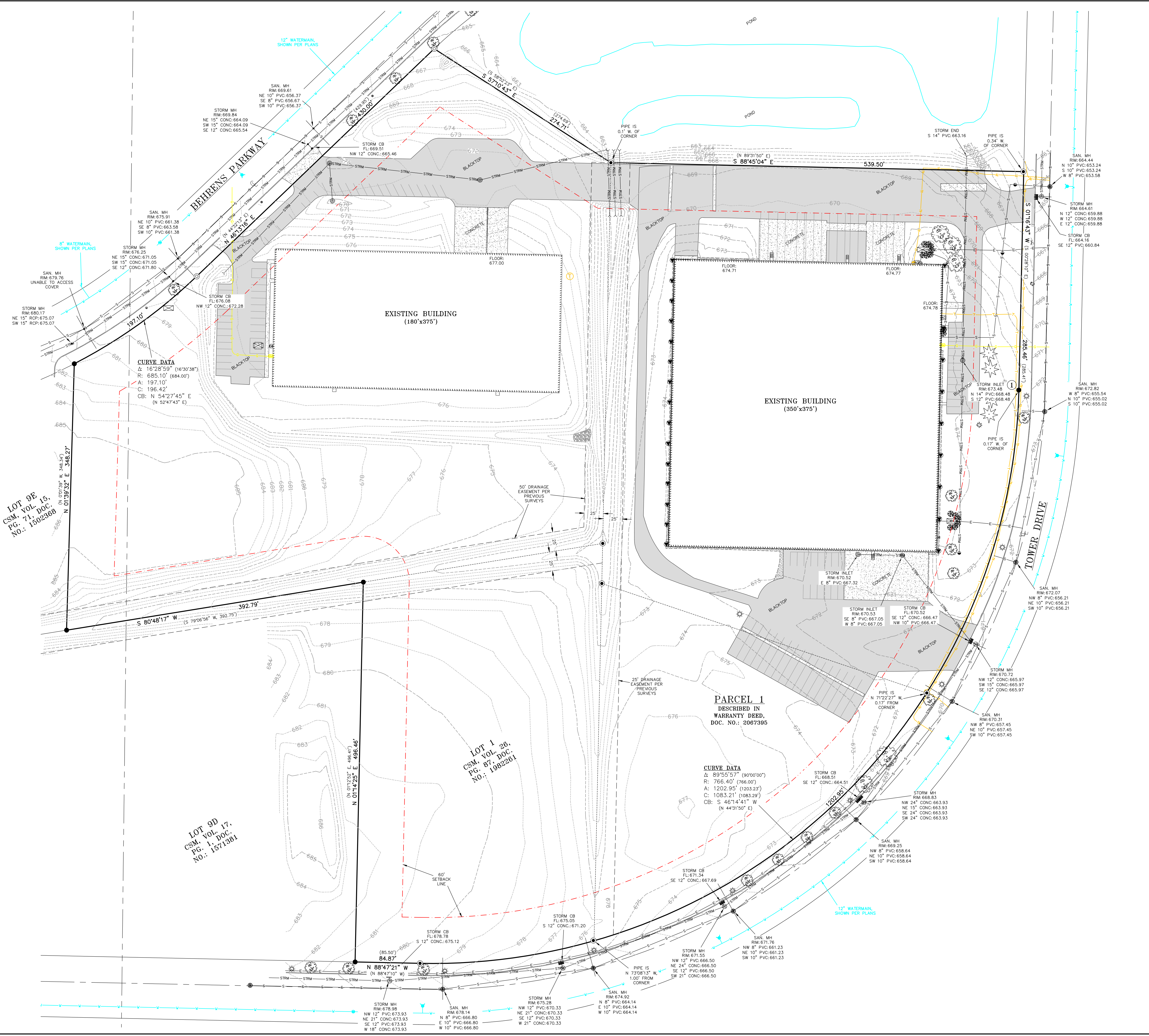
SHEET INFORMATION  
 A.C.E. JOB NO.  
 DATE: 08/06/24  
 DRAWN BY: KDR  
 SCALE: SEE SHEET  
 SHEET  
**A2.0**



REVISION DATA:  
5/17/2021 - Show existing watermain on in streets per plans.  
5/14/2024 - Show new improvements from 2021 project.

ACE BUILDING SERVICE  
3510 S. 26th STREET  
MANTOWOC, WI 54220

TOPOGRAPHY SURVEY FOR TORGINOL Inc.  
LOCATED IN LOT 9 OF THE SHEBOYGAN BUSINESS CENTER, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN



SCALE 1" = 60'

TOTAL AREA  
974,552 Sq. Ft.  
22,373 Ac.

SITE ADDRESS:  
4350 Tower Drive  
Sheboygan, WI 53081

LEGEND

- ⊙ = EXISTING 2" IRON PIPE
- ⊙ = EXISTING 3/4" IRON PIPE
- ⊙ = EXISTING 1" IRON PIPE
- ☐ = EXISTING MAILBOX
- ☼ = EXISTING LIGHT POLE
- ☒ = EXISTING TRANSFORMER
- ⊙ = EXISTING SEWER CLEANOUT
- ☐ = EXISTING SIGN
- ☐ = EXISTING DOWNSPOUT
- ☐ = EXISTING CURB INLET
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING STORM INLET
- ⊙ = EXISTING SANITARY MANHOLE
- ⊙ = EXISTING ELECTRIC METER
- ⊙ = EXISTING GAS METER
- ⊙ = EXISTING TELEPHONE PEDESTAL
- ⊙ = EXISTING TELEPHONE MANHOLE
- ⊙ = EXISTING CABLE TV PEDESTAL
- ☼ = EXISTING HYDRANT
- ☼ = EXISTING WATER VALVE
- ☼ = DECIDUOUS TREE
- ☼ = CONIFEROUS TREE
- ☼ = SHRUB LINE
- — — = TELEPHONE LINE
- — — = GAS LINE
- — — = ELECTRIC LINE
- — — = CABLE TV LINE
- — — = SANITARY SEWER LINE
- — — = STORM SEWER LINE
- — — = WATERMAIN LINE
- 600--- = EXISTING CONTOUR LINE W/ELEVATION

WARNING:

DIGGERS HOTLINE WAS CONTACTED TO MARK UNDERGROUND UTILITIES, (DIGGER'S HOTLINE DOES NOT MARK PRIVATE SEWER AND WATER LATERALS, A MARKING COMPANY MUST BE HIRED TO MARK LATERALS). THOSE UTILITIES SHOWN HEREON ARE BASED ON THE MARKINGS FROM DIGGER'S HOTLINE, INFORMATION PROVIDED BY THE CITY OF SHEBOYGAN AND FIELD OBSERVATIONS. SANITARY SEWER, STORM SEWER, WATERMAIN AND SOME ELECTRIC LINES WERE NOT MARKED. OTHER UTILITIES MAY NOT HAVE BEEN MARKED AND THEREFORE ARE NOT SHOWN.

CONTACT DIGGER'S HOTLINE AND VERIFY ALL UTILITY LOCATIONS BEFORE DIGGING.

BENCHMARK:

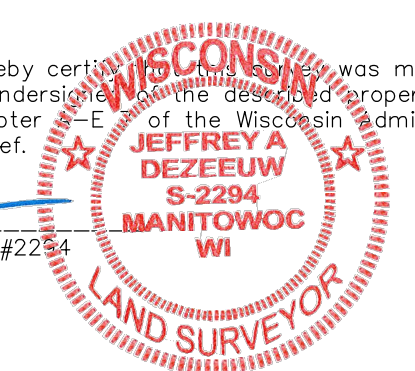
- 666.98 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, NEAR NORTH LINE OF PARCEL.
- 676.29 - TOP OF FIRE HYDRANT, EAST SIDE OF TOWER DRIVE, ±375' SOUTH OF NORTH PROPERTY LINE.
- 672.79 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±770' SOUTH OF NORTH PROPERTY LINE.
- 675.29 - TOP OF FIRE HYDRANT, SOUTHEAST SIDE OF TOWER DRIVE, ±500' EAST OF WEST PROPERTY LINE.
- 681.71 - TOP OF FIRE HYDRANT, SOUTH SIDE OF TOWER DRIVE, ±90' EAST OF WEST PROPERTY LINE.
- 675.16 - TOP OF FIRE HYDRANT, NORTH SIDE OF BEHRENS PARKWAY, ±330' NORTHEAST OF WEST PROPERTY LINE.

SURVEYORS CERTIFICATE:

I, Jeffrey A. DeZeeuw of Corner Point, do hereby certify that this survey was made under the direction of the client shown herein by the undersigned and that the same is a true and correct copy of the original survey on the date shown below and that this survey complies with Chapter S-2294 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

5/14/2024  
DATE

Jeffrey A. DeZeeuw, PLS #222



FIELD WORK COMPLETION DATE:	3/8/2021
DRAWN BY:	JAD
JOB NO.:	971021
CAD FILE:	D:\MS\2024\WISCONSIN\WISCONSIN\2024\20240514\20240514.DWG
SCALE:	1" = 60'

**CITY OF SHEBOYGAN**

**REQUEST FOR CITY PLAN COMMISSION CONSIDERATION**

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**ITEM DESCRIPTION:** R.O. 51-24-25 and G.O. 16-24-25 by Alderpersons Belanger and Ramey amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of property located at 1202 N. 31st Street from Class Suburban Office (SO) to Class Urban Residential (UR-12) Classification.

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**REPORT PREPARED BY:** Ellise Rose, Associate Planner

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**REPORT DATE:** September 5, 2024

**MEETING DATE:** September 24, 2024

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**FISCAL SUMMARY:**

**STATUTORY REFERENCE:**

Budget Line Item: N/A  
Budget Summary: N/A  
Budgeted Expenditure: N/A  
Budgeted Revenue: N/A

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Wisconsin Statutes:  
Municipal Code: N/A

**BACKGROUND / ANALYSIS:**

ABG, LLC is proposing to rezone Parcel #59281213130 from Suburban OFFICE (SO) to Urban Residential (UR-12). The applicant states the following:

- It is proposed that for the immediate future the property would be used as a community based residential facility using ~85% of the building and one residential unit using ~15% of the building.
- In 1-2 years, it is intended for the entire building to be renovated to residential units.
- This kind of zoning changes from community residential to residential resulting in fewer people on this property, which allows for efficiency of land use while reducing energy consumption and transportation costs. It also provides badly needed additional housing.
- There is a need for more housing in Sheboygan. The CBRF that currently existing in the building, plans to move to another location. In the meantime, one area of the building will be converted to a residential unit. Once the CBRF move, the rest of the building will also be converted to residential units.
- Th transition from the building’s current community residential use to mixed, and then to completely residential use will be consistent with the surrounding land use and allow for badly needed residential units. It also means there will be fewer people using the property, which in turn means less impact on the environment.

**STAFF COMMENTS:**

The surrounding neighborhood zoning is:

- North: Mixed Residential 8
- South: Suburban Office
- East: Mixed Residential 8 and Suburban Office
- West: Urban Residential 12 and Suburban Office

It is important for the Plan Commission to understand that if the property zoning designation is changed from SO to UR-12, an applicant could apply to use the property for any use that is permitted and/or conditionally permitted in the UR-12 zone.

If the Common Council approves the rezone, the applicant needs to be aware that a conditional use will need to be reviewed by the City of Sheboygan Plan Commission prior to creating a multiplex/apartments at this location.

**ACTION REQUESTED:**

Motion to recommend the Common Council approve the proposed rezone to the City of Sheboygan Zoning Map from Suburban Office (SO) to Urban Residential (UR-12) for Parcel #59281213130.

**ATTACHMENTS:**

Rezone Application and required attachments

**CITY OF SHEBOYGAN  
GENERAL ORDINANCE 16-24-25**

**BY ALDERPERSONS BELANGER AND RAMEY.**

**SEPTEMBER 3, 2024.**

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of property located at 1202 N. 31<sup>st</sup> Street from Class Suburban Office (SO) to Class Urban Residential (UR-12) Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

**SECTION 1: AMENDMENT** Chapter 105 of the Sheboygan Zoning Ordinance establishing zoning districts and prescribing zoning standards and regulations is hereby *amended* as follows:

The Official Zoning Map of the City of Sheboygan thereof and Use District Classification of the following described lands from Class Suburban Office (SO) to Class Urban Residential (UR-12) Classification:

Property located at 1202 N. 31<sup>st</sup> Street – Parcel No. 59281213130:

SMITH GARDENS THE E 140’ OF LOT 6, THE N 50’ OF LOTS 9 & 10, & THE E 4’ OF THE N 50’ OF LOT 8 BLK 5 EXCEPT THE E 5’ OF THE AFORE DESCRIBED

**SECTION 2: REPEALER CLAUSE** All ordinances, resolutions, or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

\_\_\_\_\_.

Presiding Officer

Attest

\_\_\_\_\_  
Ryan Sorenson, Mayor, City of Sheboygan

\_\_\_\_\_  
Meredith DeBruin, City Clerk, City of Sheboygan

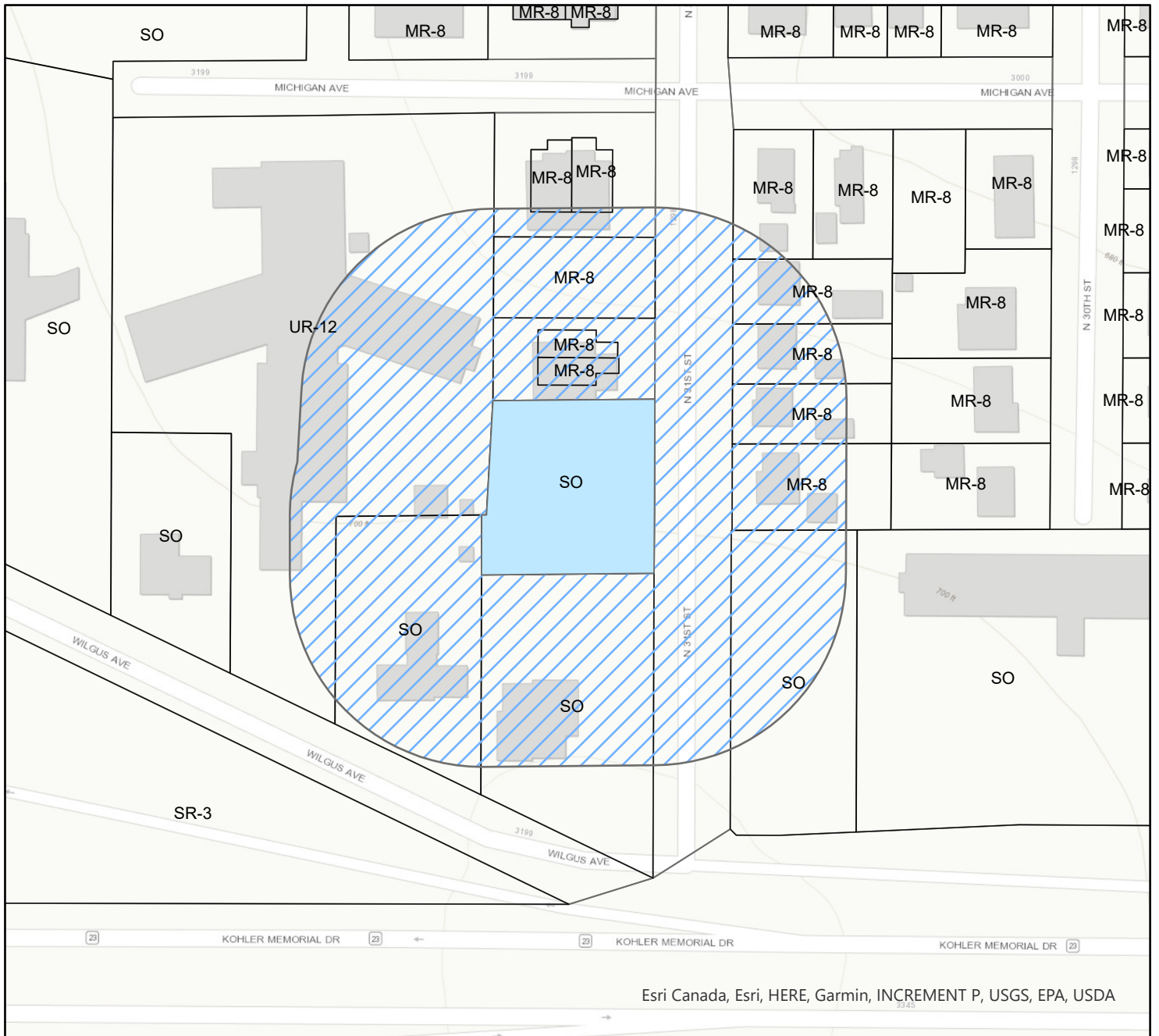


# PROPOSED REZONE FROM SUBURBAN OFFICE (SO) TO URBAN RESIDENTIAL (UR-12)

Item 7.

SMITH GARDENS THE E 140' OF LOT 6, THE N 50' OF LOTS 9 & 10, & THE E 4' OF  
THE N 50' OF LOT 8 BLK 5 EXCEPT THE E 5' OF THE AFORE DESCRIBED

Parcel # 59281213130



Esri Canada, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



**CITY OF SHEBOYGAN  
R. O. 51-24-25**

**BY CITY CLERK.**

**SEPTEMBER 3, 2024.**

Submitting an application for amendment to the official zoning map for the City of Sheboygan from ABG, LLC for property located at 1202 N. 31<sup>st</sup> Street – Parcel No. 59281213130.

OFFICE USE ONLY	Item 8.
APPLICATION NO.: _____	
RECEIPT NO.: _____	

## CITY OF SHEBOYGAN APPLICATION FOR AMENDMENT OF OFFICIAL ZONING MAP

(Requirements Per Section 105.996)  
Revised January 2024

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of \$200 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

### 1. APPLICANT INFORMATION

APPLICANT: ABG LLC PHONE NO.: ( 347 ) 244.6914  
 ADDRESS: 2408 S 9th St Sheboygan, WI E-MAIL: abgllc2405@gmail.com  
 OWNER OF SITE: ABG LLC PHONE NO.: ( 347 ) 244.6914

### 1. DESCRIPTION OF THE SUBJECT SITE

ADDRESS OF PROPERTY AFFECTED: 1202 N 31st St Sheboygan, WI  
 LEGAL DESCRIPTION: The East 140 feet of Lot 6, The North 50 feet of Lots 9 and 10, and the East 4 feet of North 50 feet of Lot 8, all in Block 5, Smith Gardens Subdivision of the City of Sheboygan, Sheboygan County, Wisconsin. EXCEPTING THEREFROM the East 5 feet of said Lots 6 and 10 as conveyed in Volume 912 of Records, Page 626.

PARCEL NO. 59281213130 MAP NO. \_\_\_\_\_  
**EXISTING ZONING DISTRICT CLASSIFICATION:** SO w/ conditional use community living 9-15 res  
**PROPOSED ZONING DISTRICT CLASSIFICATION:** UR-12 with continued special use community  
**BRIEF DESCRIPTION OF THE EXISTING OPERATION OR USE:** \_\_\_\_\_ living 9-15 res  
Community Based Residential Facility using 100% of the property

**BRIEF DESCRIPTION OF THE PROPOSED OPERATION OR USE:** \_\_\_\_\_  
Immediate Future: Community Based Residential Facility using ~85% of the building & one Residential Unit using ~15% of the building. Interior renovations only.  
In ~1-2 years: Entire building will be renovated to Residential Units.

### 3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency? \_\_\_\_\_  
This kind of zoning changes from community residential to residential, resulting in fewer people on the property, which allows for efficiency of land use while reducing energy consumption and transportation costs. It also provides badly needed additional housing.

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
- Explain: There is a need for more housing in Sheboygan. The CBRF that currently exists in the building, plans to move to another location. In the mean time, one area of the building will be converted to a residential unit. Once the CBRF moves, the rest of the building will also be converted to residential units.

How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property? \_\_\_\_\_

The transition from the building's current community residential use to mixed (community residential & residential use), and then to completely residential use will be consistent with the surrounding land use and allow for badly needed residential units. It also means there will be fewer people using the property, which in turn means less impact on the environment.

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

Adds badly needed housing units. Matches zoning of a neighboring parcel which is in harmony with the City of Sheboygan comprehensive plan.

**2. CERTIFICATE**

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

  
\_\_\_\_\_

August 12, 2024  
\_\_\_\_\_

**APPLICANT'S SIGNATURE**

**DATE**

Melissa Gundlach  
\_\_\_\_\_

**PRINT ABOVE NAME**

**APPLICATION SUBMITTAL REQUIREMENTS**

A copy of the current zoning map of the subject property and vicinity showing:

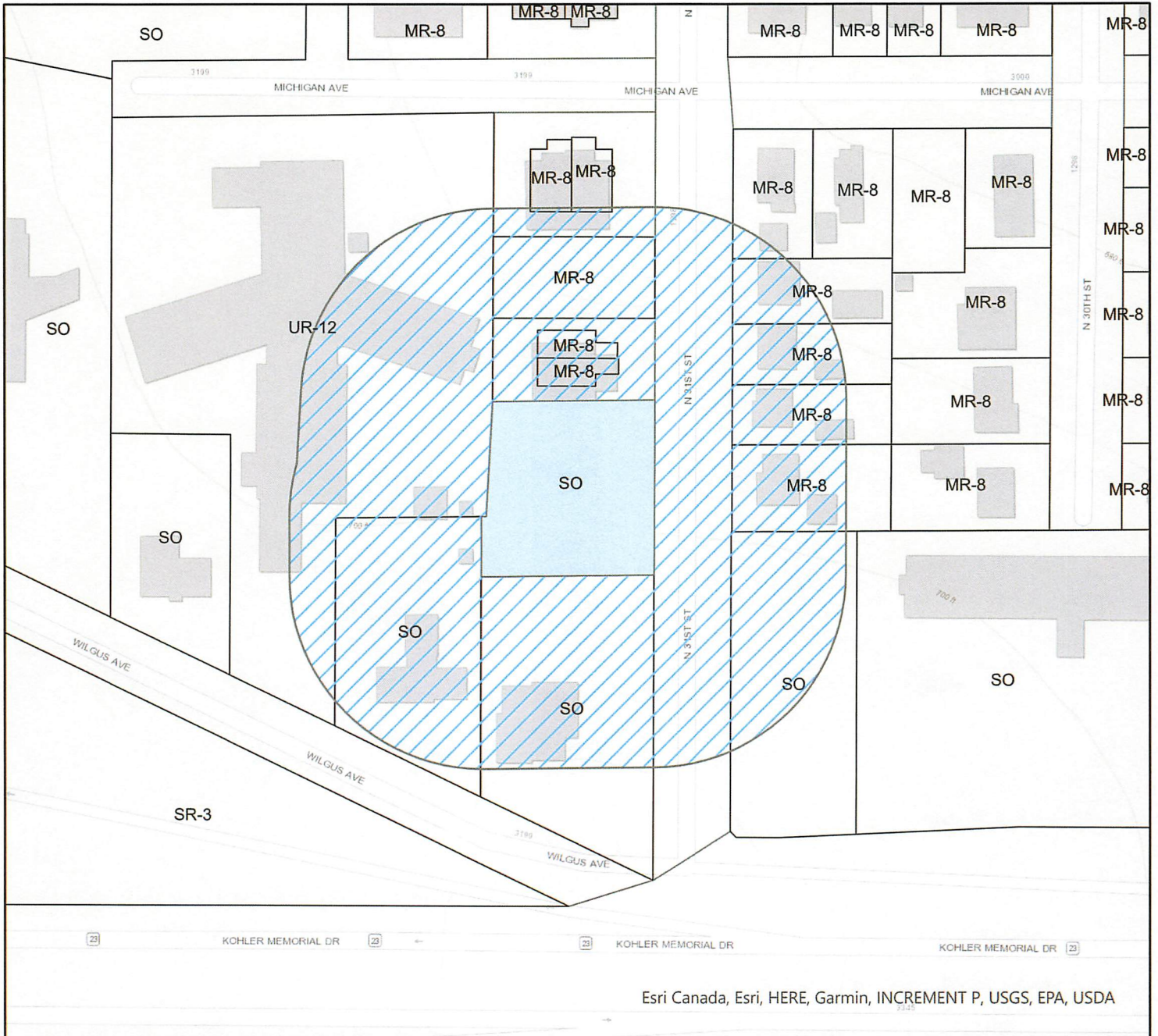
- The property proposed to be rezoned.
- All lot dimensions of the subject property.
- All other lands within 100 feet of the subject property.
- Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- Graphic scale and north arrow.

# PROPOSED REZONE FROM SUBURBAN OFFICE (SO) TO URBAN RESIDENTIAL (UR-12)

Item 8.

SMITH GARDENS THE E 140' OF LOT 6, THE N 50' OF LOTS 9 & 10, & THE E 4' OF  
THE N 50' OF LOT 8 BLK 5 EXCEPT THE E 5' OF THE AFORE DESCRIBED

Parcel # 59281213130



Esri Canada, Esri, HERE, Garmin, INCREMENT P, USGS, EPA, USDA



CLK322B

City Of Sheboygan  
City Clerk's Office

\* General Receipt \*

Receipt No: 241094

License No: 0000

Date: 08/16/2024

Received By: MKC

Received From: ABG LLC

Memo: ZONING FEES

Method of Payment: \$200.00 Cash

Total Received: \$200.00

<u>Fee Description</u>	<u>Fee</u>
Zoning Change	200.00

This document signifies receipt of fees in the amount indicated above.