



CITY PLAN COMMISSION AGENDA

May 26, 2026 at 4:00 PM

City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI

This meeting may be viewed LIVE on:

Charter Spectrum Channel 990, AT&T U-Verse Channel 99 and:
www.wcsssheboygan.com/vod.

It is possible that a quorum (or a reverse quorum) of the Sheboygan Common Council or any other City committees/boards/commissions may be in attendance, thus requiring a notice pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis. 2d 553, 494 N.W.2d 408 (1993).

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose. All Commission members may attend the meeting remotely.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify Potential Conflict(s) of Interest

MINUTES

- [4.](#) Approval of the Plan Commission minutes from May 12, 2026

PUBLIC HEARINGS

5. Public hearing regarding application for Conditional Use Permit with exceptions by Mai See Yang to operate a claw machine arcade located at 931 N 8th Street.
6. Public hearing regarding application for Conditional Use Permit with exceptions by Milbrew Holdings to construct and operate a 7 Brew located at parcel #59281470505.
7. Public hearing allowing interested parties to be heard relative to a proposed amendment to the City of Sheboygan's Official Zoning Map. The purpose of the amendment is to change the Use District Classification of property located at 2040 North Avenue - Parcel No. 59281629560 from Class Urban Industrial (UI) to Urban Commercial(UC) Classification.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- [8.](#) Application for Conditional Use Permit by Claw Lounge LLC to operate an indoor entertainment facility located 931 N 8th Street.
- [9.](#) Application for Conditional Use Permit with exceptions by Milbrew Holdings to construct and operate a 7 Brew located at 3715 Washington Avenue.
- [10.](#) Architectural review of a proposed 7 Brew located at 3715 Washington Avenue.
- [11.](#) Gen. Ord. No. 2-26-27 by Alderperson Close amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of Parcel No. 59281629560, 2040 North Avenue, Sheboygan, WI from Class Urban Industrial to Urban Commercial Classification.
- [12.](#) Application for Special Use Permit by Fundamentals, LLC to operate a charter school located at 2040 North Avenue.

TENTATIVE DATE OF NEXT REGULAR MEETING

13. Next tentative meeting: June 9, 2026 at 4:00 PM

ADJOURN

14. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

City Hall • Mead Public Library
Sheboygan County Administration Building • City's website

CITY OF SHEBOYGAN

CITY PLAN COMMISSION MINUTES

Tuesday, May 12, 2026

MEMBERS PRESENT: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

EXCUSED: Kevin Jump

STAFF/OFFICIALS PRESENT: City Attorney Liz Majerus, Director of Planning and Development Taylor Zeinert, City Planner Jeff Witte, Zoning Administrator Ellise Rose, Assistant to the Mayor – Cati Pudner and Administrative Coordinator Linnae Wierus

OPENING OF MEETING

- 1. Roll Call

Mayor Ryan Sorenson called the meeting to order.

- 2. Pledge of Allegiance

The Pledge of Allegiance is recited.

- 3. Identify Potential Conflict(s) of Interest

No conflicts of interest are identified.

MINUTES

- 4. Approval of the Plan Commission minutes from April 28, 2026

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON APRIL 28, 2026.

Motion made by Jerry Jones, seconded by Alderperson Michael Close

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

PUBLIC HEARINGS

- 5. Public hearing regarding application for Conditional Use Permit with exceptions by Velstand Commercial Properties, LLC to construct an addition at the Edward Jones Office located at 3019 Superior Avenue.

Neighbor spoke.

MOTION TO CLOSE THE PUBLIC HEARING

Motion made by Jerry Jones, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

Brandon Schmidt arrived at 4:10pm

6. Public hearing regarding application for Conditional Use Permit with exceptions by Permit Solutions to construct and operate a McDonald's restaurant located at 1221 Erie Avenue.

Mary Lynne Donohue, Gina Carriveau, Amy Switzer representing McDonald's all spoke.

MOTION TO CLOSE THE PUBLIC HEARING

Motion made by Jerry Jones, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

7. Application for Conditional Use Permit by Velstand Commercial Properties, LLC to construct an addition to Edward Jones Investments located at 3019 Superior Ave.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by Jerry Jones, seconded by Kimberly Meller

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
3. Outdoor storage of materials or equipment shall be prohibited.
4. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
6. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
7. Applicant will provide adequate public access along all streets and sidewalks and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the development (utilities, streets, etc.).

8. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may spilled off-site on private or public lands and streets.
9. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
10. Applicant is responsible for working with all private and public utilities in order to adequately service this development.
11. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such remodel/renovation.
12. If there are any amendments to the approved conditional use, the applicant will be required to submit a new application reflecting those amendments.

Exceptions granted:

- 10' residential rear setback
- 10' residential side setback

Motion granted.

8. Architectural Review of an exterior remodel and addition at Edward Jones located at 3019 Superior Avenue.

MOTION TO TABLE.

Motion made by Joe Clarke, seconded by Alderperson Michael Close

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

9. Application for Site Plan Review by Quorum Architects on behalf of Rogers Memorial Hospital to construct an addition located at 1108 S Wildwood Avenue.

MOTION TO APPROVE WITH THE FOLLOWING CONDITIONS.

Motion made by Jerry Jones, seconded by Joe Clarke

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

1. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
2. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
3. Outdoor storage of materials or equipment shall be prohibited.
4. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.

5. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
6. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such remodel/renovation.
7. If there are any amendments to the approved site plan, the applicant will be required to submit a new application reflecting those amendments.

Motion carried.

10. Architectural Review of 1,260 square foot addition at Rogers Behavioral Health located at 1108 South Wildwood Avenue.

MOTION TO APPROVE AS PRESENTED.

Motion made by Joe Clarke, seconded by Kimberly Meller.

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

11. Application for Conditional Use Permit with exceptions by Permit Solutions to construct and operate a McDonald's restaurant located at 1221 Erie Avenue.

MOTION TO TABLE.

Motion made by Mayor Ryan Sorenson, seconded by Braden Schmidt

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

12. Architectural review of a proposed McDonalds located 1221 Erie Avenue.

MOTION TO TABLE.

Motion made by Jerry Jones, seconded by Joe Clarke

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

13. Preliminary Plat Approval for Enterprise Estates in the Town of Sheboygan.

MOTION TO APPROVE AS PRESENTED.

Motion made by Joe Clarke, seconded by Alderperson Michael Close

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

TENTATIVE DATE OF NEXT REGULAR MEETING

14. Next scheduled meeting: May 26, 2026 at 4pm

ADJOURN

15. Motion to Adjourn

MOTION TO ADJOURN THE MEETING

Motion made by Jerry Jones, seconded by Joe Clarke

Voting yea: Mayor Ryan Sorenson, Alderperson Michael Close, Braden Schmidt, Jerry Jones, Kimberly Meller and Joe Clarke

Motion carried.

Meeting is adjourned at 4:50pm.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit by Claw Lounge LLC to operate an indoor entertainment facility located 931 N 8th Street. CC Zone.

REPORT PREPARED BY: Ellise Rose, Zoning Administrator

REPORT DATE: May 14, 2026

MEETING DATE: May 26, 2026

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Claw Lounge, LLC is proposing to operate an indoor entertainment facility located 931 N 8th Street. The applicant states the following:

- The proposed use is an indoor commercial entertainment venue featuring claw machines, arcade-style games, and a small lounge area. All activities will occur entirely within the building.
- This site was selected due to its location within the Central Commercial district, accessibility, and proximity to downtown businesses and pedestrian activity. The surrounding area includes family-oriented destinations such as children's museums and public parks, as well as a variety of local restaurants and neighborhood dining establishments, all of which contribute to an active, walkable, and family-friendly downtown environment that supports the proposed use.
- No expansion of the building is proposed. Improvements will include an interior build-out for gaming and seating areas, minor exterior facade updates, and upgraded code compliant electrical systems. Existing ingress and egress points will continue to be utilized.
- All services, products, etc. to be provided
 - Arcade and Claw Machine
 - Prize redemption (novelty merchandise)
 - Pre-packaged snacks and non-alcoholic beverages
 - Private event rental for small groups.
- Projected number of residents, employees, and/or daily customers
 - Employees: Approximately 5-10
 - Daily customers: Approximately 50-100

- Maximum occupancy: Approximately 75-100 persons
- Traffic generation is expected to be similar to property's previous use.
- The existing structure will be maintained with no significant exterior alterations. The building's exterior will remain substantially unchanged, with the only proposed addition being business signage. The design will incorporate modern interior finishes while maintaining compatibility with surrounding commercial properties.
- Interior renovations will include flooring, paint, lighting, and electrical upgrades to support gaming equipment. Exterior work will be limited to minor facade enhancements and installation of compliant signage. No structural additions are proposed.
- While the property does not include dedicated off-street parking, ample on-street parking is available in the immediate vicinity. The site is located in a walkable downtown area with multiple public parking options. Existing access points provide safe and efficient ingress and egress.
- Signage will comply with applicable zoning regulations and is anticipated to include one wall-mounted sign and limited window signage.

STAFF COMMENTS:

The applicant has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses, and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, state, federal, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc. If any issues arise, this matter may be brought back to the Plan Commission for review.
3. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen and enclose the dumpster.
4. All outdoor storage of materials, products or equipment shall be prohibited.
5. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
6. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
7. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.

ATTACHMENTS:

Conditional Use Permit Application and Attachments



CITY OF SHEBOYGAN

APPLICATION FOR CONDITIONAL USE

Fee: \$250.00

Review Date: _____

Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Applicant Name (Ind., Org. or Entity) <i>Claw Lounge LLC</i>	Authorized Representative <i>Mai See Yang</i>	Title <i>Member</i>	
Mailing Address <i>232 Auburn Dr.</i>	City <i>Sheboygan Falls</i>	State <i>WI</i>	ZIP Code <i>53085</i>
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Applicant Name (Ind., Org. or Entity) <i>Chamberlain World Trade LLC</i>	Contact Person <i>Kyle Kaufman</i>	Title <i>owner</i>	
Mailing Address <i>1099 Creeks Cross Ct.</i>	City <i>Kohler</i>	State <i>WI</i>	ZIP Code 53001 <i>53044</i>
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		

SECTION 3: Project or Site Location

Project Address/Description <i>931 N. 8th St Sheboygan, WI 53081</i>	Parcel No.
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SECTION 4: Proposed Conditional Use

Name of Proposed/Existing Business:	<i>Claw Lounge LLC</i>
Existing Zoning:	<i>Central commercial</i>
Present Use of Parcel:	
Proposed Use of Parcel:	<i>indoor commercial entertainment</i>
Present Use of Adjacent Properties:	<i>QPS</i>

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <i>Kyle Kaufman</i>	Title <i>Owner</i>	Phone Number <i>(920) 287-1045</i>
Signature of Applicant <i>[Signature]</i>		Date Signed <i>5/4/26</i>

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

A. Name of Project/Development

Claw Lounge LLC

B. Summary of the Conditional Use and General Operation of Proposed Use

• Description of existing use

The property at 931 N. 8th Street, Sheboygan, Wisconsin, an existing commercial building that was previously used as the Theater for Young Audiences. The building is currently vacant and underused, and is suitable for adaptive reuse within the Central Commercial district.

• Description of proposed use (indoor, outdoor, etc.), why was this site selected?

The proposed use is an indoor commercial entertainment venue featuring claw machines, arcade-style games, and a small lounge area. All activities will occur entirely within the building.

This site was selected due to its location within the Central Commercial district, accessibility, and proximity to downtown businesses and pedestrian activity. The surrounding area includes family-oriented destinations such as children's museums and public parks, as well as a variety of local restaurants and neighborhood dining establishments, all of which contribute to an active, walkable, and family-friendly downtown environment that supports the proposed use.

• All services, products, etc. to be provided

- Arcade and claw machines
 - Prize redemption (novelty merchandise)
 - Pre-packaged snacks and non-alcoholic beverages
 - Private event rentals for small groups
-

• Projected number of residents, employees, and/or daily customers

- Employees: Approximately 5–10
- Daily customers: Approximately 50–100

- Maximum occupancy: Approximately 75–100 persons

- **Proposed number of dwelling units, floor area, landscape area, and parking area**

- Dwelling units: None
- Floor area: Approximately 1,800 sq. ft.

- **Description of proposed building and all new site improvements**

No expansion of the building is proposed. Improvements will include an interior build-out for gaming and seating areas, minor exterior façade updates, and upgraded code-compliant electrical systems. Existing ingress and egress points will continue to be utilized.

Traffic generation is expected to be similar to property's previous use.

- **Description of building design and compatibility**

The existing structure will be maintained with no significant exterior alterations. The building's exterior will remain substantially unchanged, with the only proposed addition being business signage. The design will incorporate modern interior finishes while maintaining compatibility with surrounding commercial properties.

- **Explanation of interior and/or exterior renovations**

Interior renovations will include flooring, paint, lighting, and electrical upgrades to support gaming equipment. Exterior work will be limited to minor façade enhancements and installation of compliant signage. No structural additions are proposed.

- **Is access appropriate and is there sufficient off-street parking?**

Yes. While the property does not include dedicated off-street parking, ample on-street parking is available in the immediate vicinity. The site is located in a walkable downtown area with multiple public parking options. Existing access points provide safe and efficient ingress and egress.

- **Proposed signage**

Signage will comply with applicable zoning regulations and is anticipated to include one wall-mounted sign and limited window signage.

- **Project timeline and estimated value of project**

- Approval and permitting: 1–2 months
 - Interior build-out: 2–3 months
 - Estimated project cost: \$75,000 – \$150,000
-

- **Compatibility with surrounding properties**

The proposed use is consistent with commercial and entertainment uses permitted within the Central Commercial district. The continuation of an entertainment-oriented use supports downtown activity and is compatible with surrounding businesses.

- **Nuisance prevention measures**

- All activities conducted indoors
 - No outdoor speakers or amplified sound
 - Hours of operation: anticipated 11:00 AM – 9 PM
 - No odors, emissions, or hazardous materials associated with operations
-

- **Other pertinent information**

This project represents the adaptive reuse of a former theater space into a modern entertainment venue, contributing to economic development and increased foot traffic in downtown Sheboygan.

C. Exceptions/Variations (if applicable)

At this time, no exceptions or variations are requested. The project is expected to comply with applicable zoning, parking, and development standards.

D. Written Justification for the Proposed Conditional Use**a) Harmony with Comprehensive Plan**

The proposed use supports the City of Sheboygan Comprehensive Master Plan by encouraging economic development, reusing an existing building, and adding activity to the downtown area. The entertainment use fits with the plan's goal of maintaining a lively, mixed-use commercial district and helps support ongoing activity in the Central Commercial area.

b) Impact on surrounding properties

The proposed indoor entertainment use is not expected to create any significant negative impacts. All activity will take place inside the building, and impacts related to noise, traffic, and the environment should be comparable to other nearby commercial uses.

c) Consistency of land uses

The use fits in with the surrounding commercial and entertainment uses. Keeping the site as an entertainment-focused space is consistent with how the area is already used and helps it blend in with the rest of the district.

d) Availability of utilities and services

The property is fully served by existing public utilities and services, including water, sewer, electricity, and road access. No additional public infrastructure improvements are required.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Milbrew Holdings to construct and operate a 7 Brew located at 3715 Washington Avenue. SC Zone.

REPORT PREPARED BY: Ellise Rose, Zoning Administrator

REPORT DATE: May 18, 2026

MEETING DATE: May 26, 2026

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes:
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Milbrew Holdings is proposing to construct and operate a 7 Brew located at 3715 Washington Avenue. The applicant states the following:

- Site is part of parcel 59281470505, 3715 Washington Avenue and is a vacant parking lot that was used for semi-trailer parking in the southern quadrants of the parcel; a vacant fuel station, convenience store, and vehicular parking lot are in the northern quadrants. The existing parcel will be subdivided into two (2) parcels, and the southern parcel will be redeveloped for the proposed 7 Brew.
- Proposed use: In-vehicle sales or service: Drive-through coffee shop with two drive-through lanes and 20 parking spaces.
- 7 Brew is a national company and is expanding its footprint in Wisconsin. 7 Brew proposes to construct a new facility at 3715 Washington Avenue, Sheboygan, WI 53081.
- Proposed 813 square foot building with two (2) drive-through lanes, raised walkways, 19 vehicle parking spaces, and enclosed refuse container.
- Removal and replacement of existing parking lot concrete with standard and heavy-duty asphalt, restriping for new parking spaces and drive-through lanes, and new interior curbs meeting city regulations.
- Less than one (1) acre of disturbance.
- The small building footprint will allow additional parking for customers, a reduction in impervious surface, and increased landscaping.
- Stormwater runoff will be directed to storm catch basins that discharge to public ROW west of the site.
- Landscaping will be provided in accordance with the City’s Landscaping ordinance in an approach which ensures species resilience and complimentary aesthetics.

- Site lighting will comply with the City's ordinance in a fashion that provides appropriate light intensity for safety with cut-off fixtures for minimal light trespass.
- The proposed 7 Brew Coffee Shop hours of operation are 5:30 AM – 10:00 PM Sunday-Thursday and 5:30 AM to 11:00 PM on Friday and Saturday.
- No on-site outdoor storage will occur.
- Number of Employees at proposed building will be 4-12 per shift at a given time.
- Parking on the north and south side of the building will be used for employee and guest parking. Currently 19 parking spaces are proposed, one (1) of which will be handicap accessible; these will be repaved and striped.
- Parking requirements include one (1) space per 50 square feet of gross floor area and drive-through stacking length of 100 feet before the service window and 40 feet after the service window.
- Contractor will field verify size, depth and location of existing water main and provide connection to main per city requirements.
- Contractor will field verify size, depth and location of existing sanitary sewer main and provide grease interceptor and connection to main per city requirements.
- Contractor coordinate with electrical service provider prior to construction for final transformer location and line route.
- Contractor will field verify location of proposed gas meter line and route and coordinate final route and location with utility provider prior to construction.
- The existing 8-inch storm lateral will be utilized.
- Access for customers and employees will be directed from S. Taylor Drive onto Greenwing Drive.
- No negative traffic impacts to the neighborhood are anticipated.
- No change to access drives from Greenwing Drive.
- Signage will be on the building and submitted for approval in the future.
- Proposed Development will have a building footprint of 813 square feet comprised of a service area, service area sink, unisex restroom, mechanical access room, and cooler. Service access will be provided on the south portion of the proposed development building.
 - The proposed building will consist of a decorative modular panel and brick façade; metal roof, copings, canopy columns, and soffits will be pre-finished brake metal; and exterior refuse container will be screened to match building exterior. Exterior service area frame and door to be insulated aluminum framed sliding glass doors and insulated hollow metal swing doors. All windows, including drive-through service window to be aluminum storefront with insulated safety glass or insulated tempered glass. All exterior colors to be consistent with surrounding businesses and neighborhood and verified by owner.
- The proposed development will have no negative impact to the neighborhood.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.
- Approximately \$1,000,000 construction value.
- The estimated development timeline is construction starting in late summer of 2026 and ending in early winter of 2027.
- Exception to lot size, landscaping, and pavement setback requirements.
 - The existing parcel has a permanent trash enclosure that the Owner requires to remain with the northern parcel when the existing parcel is subdivided. Compliance with the minimum 1-acre lot zoning requirement is not feasible as

the remaining acreage after the subdivision for the proposed 7 Brew is 0.87 acres in size, therefore, a variance from the city is requested.

- A 6.1% increase in landscaping will be provided resulting in a total of 21.3% landscape surface ratio and 6.1% reduction in impervious surface area. Compliance with the minimum 25% landscape surface ratio is not feasible without substantial site reconfiguration, therefore, a variance from the city is requested.
- Compliance with the 5' setback requirement identified in the zoning ordinance is not feasible without substantial site reconfiguration; therefore, a variance from the city is requested.
- The City of Sheboygan Comprehensive Plan Future Land Use Map designates the area of the City that includes this property as “Commercial or Business”. The proposed improvements facilitate the reuse and redevelopment of sites along Taylor Drive. This will help promote development and redevelopment within existing business and neighborhood districts.
- No negative impacts to neighboring properties, environment, traffic, or the public are anticipated from the proposed project. The project will be redeveloping an existing vacant parking lot, reducing impervious surfaces and improving stormwater management. The project will also result in additional employment opportunities within the community.
- The proposed project is requesting a change in use. The requested change in use is for: In-vehicle sales or service; Drive-through coffee shop.
- Yes, existing utility services are in place along Greenwing Drive and will be utilized to service the proposed building.

STAFF COMMENTS:

Applicant is requesting the following exceptions:

- Parcel size: Minimum parcel size in the Suburban Commercial zoning district is 1 acre. This may be reduced to 4,500 square feet with a conditional use permit– Applicant is requesting a 0.871 acre (37,937 sqft) parcel.
- Minimum landscape surface ratio: The minimum landscape surface ratio is .25 – Applicant is requesting .213.
- Paved Surface setback: Minimum paved surface setback from side or rear is 5 feet – Applicant is requesting 0 feet.
-

ACTION REQUESTED:

Staff recommends approval of the conditional use permit and exceptions subject to the following conditions:


1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, state, federal, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Prior to building permit issuance, applicant must record with the Sheboygan County register of deeds a Certified Survey Map splitting the parcel.

3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc. If any issues arise, this matter may be brought back to the Plan Commission for review.
4. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slatting (PDS) material in order to effectively screen and enclose the dumpster.
5. All outdoor storage of materials, products or equipment shall be prohibited.
6. Any fencing/retaining wall shall be installed per Section 105-945 of the City of Sheboygan Zoning Ordinance.
7. All new lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
8. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
9. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
10. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
11. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and Attachments

Item 9.

	CITY OF SHEBOYGAN	Fee: \$250.00 _____
	APPLICATION FOR CONDITIONAL USE	Review Date: _____
		Zoning: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Applicant Name (Ind., Org. or Entity) Milbrev Holdings	Authorized Representative Corbin Terlip	Title	
Mailing Address 27 Central Avenue	City Cortland	State NY	ZIP Code 13045
Email Address [Redacted]	Phone Number (incl. area code) [Redacted] Kevin		
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Applicant Name (Ind., Org. or Entity) Sheboygan Store LLC	Contact Person Dharal Patel	Title owner	
Mailing Address 2357 Kiowa Drive	City Grafton	State WI	ZIP Code 53024-2828
Email Address [Redacted]	Phone Number (incl. area code) [Redacted]		
SECTION 3: Project or Site Location			
Project Address/Description 3715 Washington Ave / Proposed 7 Brew		Parcel No. 59281470505	
SECTION 4: Proposed Conditional Use			
Name of Proposed/Existing Business:	7 Brew		
Existing Zoning:	SC - Suburban Commercial		
Present Use of Parcel:	Vacant		
Proposed Use of Parcel:	Drive thru coffee shop		
Present Use of Adjacent Properties:	S= fast food, E=Car wash, N= Gas station, W= Row		
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p>			
<p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Posu Signed by Name of Owner/Authorized Representative (please print) [Signature]	Date Signed 4/30/2026	Title Owner	Phone Number [Redacted]
Signature of Applicant [Signature]	Kevin Schmecht Director of Development Milbrev Holdings		Date Signed 4/30/2026

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

May 5, 2026

CUP & Architectural Review Project Description

PROJECT NAME AND EXISTING SITE ADDRESS:

Milbrew 7 Brew
3715 Washington Avenue
Sheboygan, WI 53081

PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA

Parcel: 59281470505
Suburban Commercial District
Total Area: 2.104 acres.

EXISTING SITE CONDITIONS/LAND USE:

- Site is part of parcel 59281470505, 3715 Washington Avenue and is a vacant parking lot that was used for semi-trailer parking in the southern quadrants of the parcel; a vacant fuel station, convenience store, and vehicular parking lot are in the northern quadrants. The existing parcel will be subdivided into two (2) parcels, and the southern parcel will be redeveloped for the proposed 7 Brew.

PROPOSED USE:

- Proposed use: In-vehicle sales or service: Drive-through coffee shop with two drive-through lanes and 20 parking spaces.

SITE SELECTION

- 7 Brew is a national company and is expanding its footprint in Wisconsin. 7 Brew proposes to construct a new facility at 3715 Washington Avenue, Sheboygan, WI 53081.

DESCRIPTION OF SITE IMPROVEMENTS:

- Proposed 813 square foot building with two (2) drive-through lanes, raised walkways, 19 vehicle parking spaces, and enclosed refuse container.
- Removal and replacement of existing parking lot concrete with standard and heavy-duty asphalt, restriping for new parking spaces and drive-through lanes, and new interior curbs meeting city regulations.
- Less than one (1) acre of disturbance.
- The small building footprint will allow additional parking for customers, a reduction in impervious surface, and increased landscaping.
- Stormwater runoff will be directed to storm catch basins that discharge to public ROW west of the site.
- Landscaping will be provided in accordance with the City's Landscaping ordinance in an approach which ensures species resilience and complimentary aesthetics.
- Site lighting will comply with the City's ordinance in a fashion that provides appropriate light intensity for safety with cut-off fixtures for minimal light trespass.

EXPLANATION BUSINESS ACTIVITIES:

- The proposed 7 Brew Coffee Shop hours of operation are 5:30 AM – 10:00 PM Sunday-Thursday and 5:30 AM to 11:00 PM on Friday and Saturday,
- No on-site outdoor storage will occur.
- Number of Employees at proposed building will be 4-12 per shift at a given time.

PARKING REQUIREMENTS:

- Parking on the north and south side of the building will be used for employee and guest parking. Currently 19 parking spaces are proposed, one (1) of which will be handicap accessible; these will be repaved and striped.
- Parking requirements include one (1) space per 50 square feet of gross floor area and drive-through stacking length of 100 feet before the service window and 40 feet after the service window.

HOW WILL SITE BE SERVICED WITH STREETS AND UTILITIES:

- Contractor will field verify size, depth and location of existing water main and provide connection to main per city requirements.
- Contractor will field verify size, depth and location of existing sanitary sewer main and provide grease interceptor and connection to main per city requirements.
- Contractor coordinate with electrical service provider prior to construction for final transformer location and line route.
- Contractor will field verify location of proposed gas meter line and route and coordinate final route and location with utility provider prior to construction.
- The existing 8-inch storm lateral will be utilized.
- Access for customers and employees will be directed from S. Taylor Drive onto Greenwing Drive.

PROPOSED TRAFFIC IMPACTS TO ADJOINING STREETS IN THE NEIGHBORHOOD BASED ON THIS DEVELOPMENT:

- No negative traffic impacts to the neighborhood are anticipated.
- No change to access drives from Greenwing Drive.

PROPOSED SIGNAGE:

- Signage will be on the building and submitted for approval in the future.

DESCRIPTION OF THE GENERAL ORIENTATATION, DESIGN, ARRANGEMENT, TEXTURE, MATERIAL AND COLOR OF THE BUILDING OR STRUCTURE AND HOW IIT IS COMPATIBLE WITH THE DEVELOPMENT IN AND AROUND THE AREA:

- Proposed Development will have a building footprint of 813 square feet comprised of a service area, service area sink, unisex restroom, mechanical access room, and cooler. Service access will be provided on the south portion of the proposed development building.
 - The proposed building will consist of a decorative modular panel and brick façade; metal roof, copings, canopy columns, and soffits will be pre-finished brake metal; and exterior refuse container will be screened to match building exterior. Exterior service area frame and door to be insulated aluminum framed sliding glass doors and insulated hollow metal swing doors. All windows, including drive-through service window to be aluminum storefront with insulated safety glass or insulated tempered glass. All exterior colors to be consistent with surrounding businesses and neighborhood and verified by owner.

POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

- The proposed development will have no negative impact to the neighborhood.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.

ESTIMATED VALUE OF PROJECT:

- Approximately \$1,000,000 construction value.

CONSTRUCTION TIMELINE:

- The estimated development timeline is construction starting in late summer of 2026 and ending in early winter of 2027.

VARIANCE REQUESTS

- Exception to lot size, landscaping, and pavement setback requirements.
 - The existing parcel has a permanent trash enclosure that the Owner requires to remain with the northern parcel when the existing parcel is subdivided. Compliance with the minimum 1-acre lot zoning requirement is not feasible as the remaining acreage after the subdivision for the proposed 7 Brew is 0.87 acres in size, therefore, a variance from the city is requested.
 - A 6.1% increase in landscaping will be provided resulting in a total of 21.3% landscape surface ratio and 6.1% reduction in impervious surface area. Compliance with the minimum 25% landscape surface ratio is not feasible without substantial site reconfiguration, therefore, a variance from the city is requested.
 - Compliance with the 5' setback requirement identified in the zoning ordinance is not feasible without substantial site reconfiguration; therefore, a variance from the city is requested.

HOW IS THE PROPOSED CONDITIONAL USE (INDEPENDENT OF ITS LOCATION) IN HARMONY WITH THE PURPOSES, GOALS, OBJECTIVES, POLICIES AND STANDARDS OF THE CITY OF SHEBOYGAN COMPREHENSIVE MASTER PLAN?

- The City of Sheboygan Comprehensive Plan Future Land Use Map designates the area of the City that includes this property as “Commercial or Business”. The proposed improvements facilitate the reuse and redevelopment of sites along Taylor Drive. This will help promote development and redevelopment within existing business and neighborhood districts.

DOES THE CONDITIONAL USE, IN ITS PROPOSED LOCATION, RESULT IN ANY SUBSTANTIAL OR UNDUE ADVERSE IMPACT ON NEARBY PROPERTY, THE CHARACTER OF THE NEIGHBORHOOD, ENVIRONMENT, TRAFFIC, PARKING, PUBLIC IMPROVEMENTS, PUBLIC PROPERTY OR RIGHTS-OF WAY?

- No negative impacts to neighboring properties, environment, traffic, or the public are anticipated from the proposed project. The project will be redeveloping an existing vacant parking lot, reducing impervious surfaces and improving stormwater management. The project will also result in additional employment opportunities within the community.

HOW DOES THE PROPOSED CONDITIONAL USE MAINTAIN THE DESIRED CONSISTENCY OF LAND USES IN RELATION TO THE SETTING WITHIN WHICH THE PROPERTY IS LOCATED?

- The proposed project is requesting a change in use. The requested change in use is for: In-vehicle sales or service; Drive-through coffee shop.

IS THE PROPOSED CONDITIONAL USE LOCATED IN AN AREA THAT WILL BE ADEQUATELY SERVED BY UTILITIES, OR SERVICES PROVIDED BY PUBLIC AGENCIES? IF NOT, PLEASE EXPLAIN.

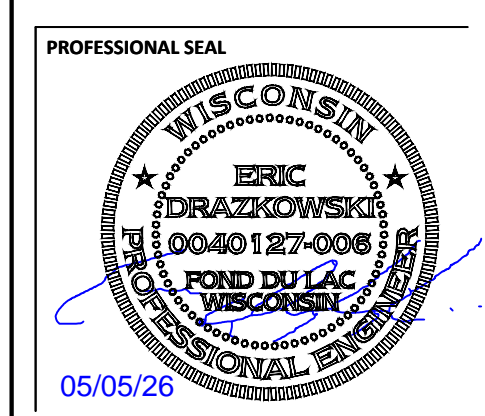
- Yes, existing utility services are in place along Greenwing Drive and will be utilized to service the proposed building.

PROPOSED COFFEE SHOP FOR: 7 BREW SHEBOYGAN

SHEBOYGAN, WI

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
3715 WASHINGTON AVE • SHEBOYGAN, WI 53081



SHEET DATES

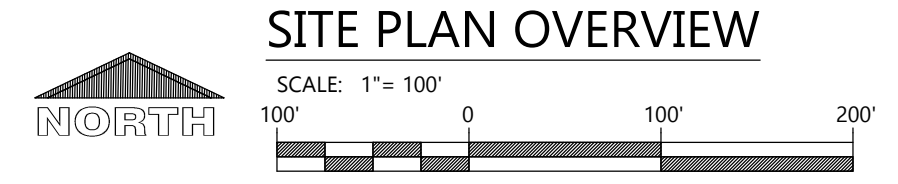
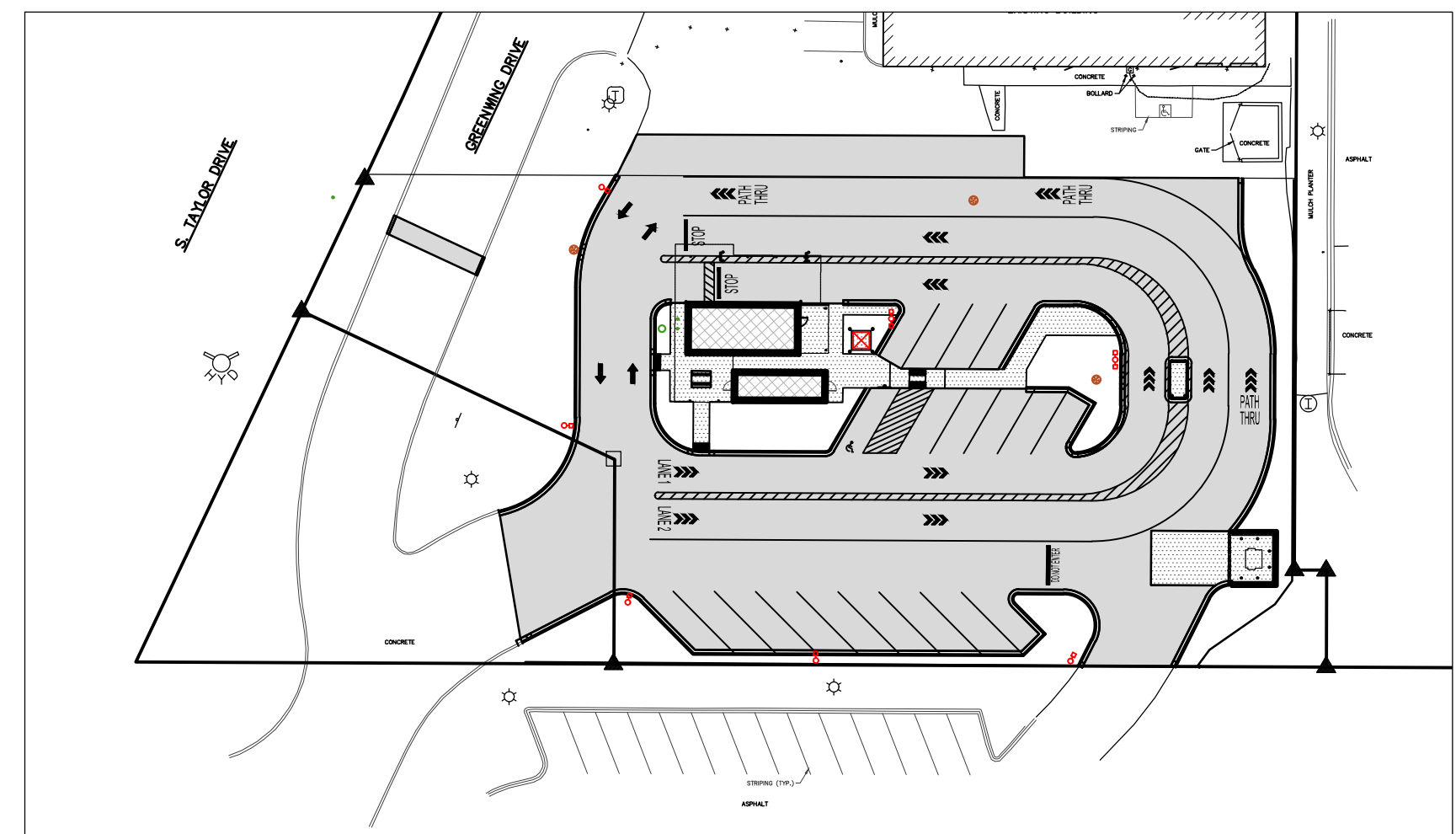
ISSUED FOR APPROVAL
IFA MAY 5, 2026

JOB NUMBER
260004700

SHEET NUMBER
C0.1

CONSTRUCTION SEQUENCE		EST. START: AUG. 2026 EST. END: FEB. 2027
PHASE	TYPE OF ACTION	
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.	
	2. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.	
	3. PLACE ALL SILT FENCE AND INLET PROTECTION.	
	4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.	
	5. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.	
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED.	
	2. STRIP AND RELOCATE TOPSOIL. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.	
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.	
	4. CONSTRUCT AND INSTALL ALL OTHER UTILITIES ON SITE.	
	5. DIG AND POUR ALL BUILDING FOOTINGS.	
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS.	
	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.	
	8. CONSTRUCT BUILDING.	
	9. PAVE DRIVEWAYS AND PARKING AREAS.	
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS.	
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.	

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.

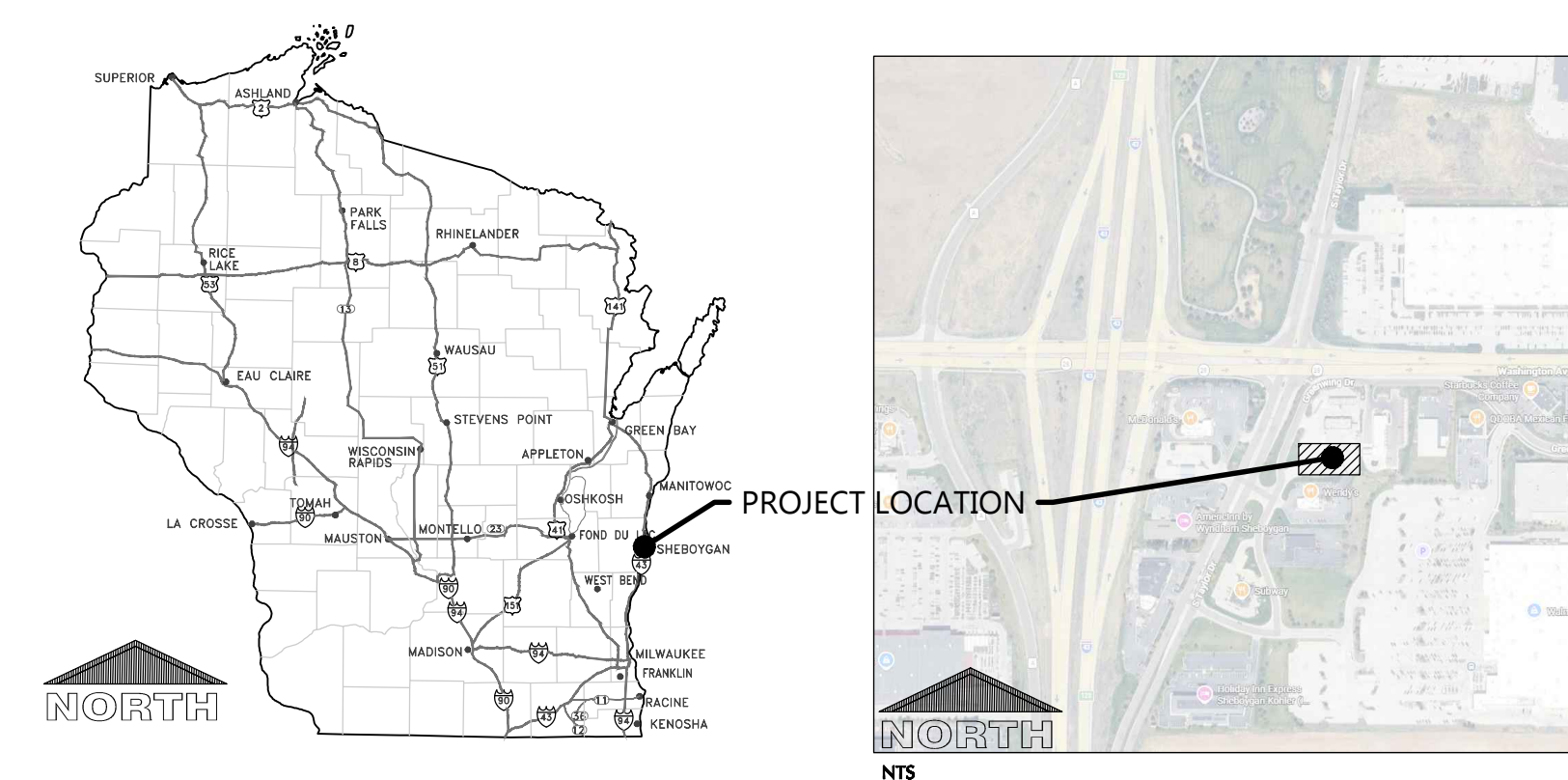


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED)
1-800-542-2289
WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PROJECT CONTACTS

OWNER INFORMATION: Milbrew Holdings Corbin Terlip 27 Cortland Ave Cortland, NY 13045 Phone: (620) 249-9079 Email: cterlip@7brewmke.com	CIVIL: Eric Drazkowski, P.E. Phone: (920) 926-9800 E-mail: eric.drazkowski@excelengineer.com	CITY PLANNER: Taylor Zeinert Phone: (920) 459-3383 E-mail: taylor.zeinert@sheboyganwi.gov	CITY ENGINEER: Kevin Jump Phone: (920) 459-3367 E-mail: kevin.jump@sheboyganwi.gov	CITY FIRE CHIEF: Eric Montellano Phone: (920) 459-3327 E-mail: eric.montellano@sheboyganwi.gov	CITY BUILDING INSPECTOR: Eric Elrich Phone: (920) 459-3480 E-mail: pat.elrich@sheboyganwi.gov	CITY DIRECTOR OF PUBLIC WORKS: Travis Peterson Phone: (920) 459-3441 E-mail: travis@peterson@sheboyganwi.gov
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LOCATION MAP



PROJECT NOTES

- GENERAL PROJECT NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
 - PRIOR TO CONSTRUCTION CONTRACTOR TO OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNER FOR ALL OFF-SITE WORK.

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN COLOR. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRAYSCALE TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	COVER SHEET
C0.2	SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1A	SITE PLAN
C1.1B	STRIPING PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
SPOT ELEVATIONS			
000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	000.00TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
000.00EG	EXISTING GRADE SPOT ELEVATIONS	000.00TW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
000.00BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL	000.00BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK @ FLOWLINE)
000.00FG	FG-FINISHED SURFACE GRADE AT FRONT OF WALL		
EXISTING SITE SYMBOLS			
EXISTING SIGN	EXISTING UTILITY POLE		
EXISTING HANDICAP PARKING STALL	EXISTING UTILITY POLE WITH GUY WIRE		
EXISTING WATER VALVE IN BOX	EXISTING STREET LIGHT		
EXISTING WATER VALVE IN MANHOLE	EXISTING TELEPHONE PEDESTAL		
EXISTING WATER SERVICE VALVE	EXISTING ELECTRIC PEDESTAL		
EXISTING WELL	EXISTING ELECTRIC BOX		
EXISTING STORM CATCH BASIN	EXISTING FLOOD LIGHT		
EXISTING STORM CURB INLET	EXISTING TELEPHONE MANHOLE		
EXISTING SQUARE CATCH BASIN	EXISTING CABLE TV PEDESTAL		
EXISTING LIGHT POLE	EXISTING GAS VALVE		
1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	EXISTING HEDGE		
3/4" REBAR SET WEIGHING 1.50 LB/FT.	EXISTING WOODED AREA		
1-1/4" REBAR FOUND	EXISTING MARSH AREA		
3/4" REBAR FOUND	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER		
2" IRON PIPE FOUND	EXISTING CONIFEROUS TREE		
1" IRON PIPE FOUND	EXISTING SHRUB		
SECTION CORNER	EXISTING STUMP		
PROPOSED SITE SYMBOLS			
PROPOSED SIGN	PROPOSED STORM FIELD INLET - ST FI		
PROPOSED HANDICAP PARKING STALL	PROPOSED LIGHT POLE		
PROPOSED WATER VALVE IN BOX	PROPOSED DRAINAGE FLOW		
PROPOSED WATER VALVE IN MANHOLE	PROPOSED APRON END SECTION		
PROPOSED WATER SERVICE VALVE	SOIL BORING		
PROPOSED WELL	CENTER LINE		
PROPOSED STORM CATCH BASIN - ST CB	PROPOSED CLEANOUT		
PROPOSED STORM CURB INLET - ST CI	PROPOSED DOWNSPOUT TO GRADE		
	PROPOSED DOWNSPOUT TO RISER		
EXISTING LINETYPES			
EXISTING CHAINLINK FENCE	EXISTING POLISH SEWER AND MANHOLE		
EXISTING WOOD FENCE	EXISTING PROCESS SEWER AND MANHOLE		
EXISTING BARBED WIRE FENCE	EXISTING CLEAR WATER LINE		
EXISTING CURB AND GUTTER	EXISTING UNDERGROUND FIBER OPTIC LINE		
EXISTING GUARD RAIL	EXISTING UNDERGROUND ELECTRIC CABLE		
EXISTING GROUND CONTOUR	EXISTING UNDERGROUND TELEPHONE CABLE		
EXISTING STORM SEWER AND MANHOLE	EXISTING UNDERGROUND GAS LINE		
EXISTING SANITARY SEWER AND MANHOLE	EXISTING OVERHEAD UTILITY LINE		
EXISTING WATER LINE AND HYDRANT	RAILROAD TRACKS		
INTERIOR PROPERTY LINE	RIGHT-OF-WAY LINE		
PROPOSED LINETYPES			
PROPOSED CHAINLINK FENCE	PROPOSED POLISH SEWER AND MANHOLE		
PROPOSED WOOD FENCE	PROPOSED PROCESS SEWER AND MANHOLE		
PROPOSED BARBED WIRE FENCE	PROPOSED CLEAR WATER LINE		
PROPOSED CURB AND GUTTER	PROPOSED UNDERGROUND FIBER OPTIC LINE		
PROPOSED GUARD RAIL	PROPOSED UNDERGROUND ELECTRIC CABLE		
PROPOSED GROUND CONTOUR	PROPOSED UNDERGROUND TELEPHONE CABLE		
PROPOSED STORM SEWER AND MANHOLE - ST MH	PROPOSED UNDERGROUND GAS LINE		
PROPOSED SANITARY SEWER AND MANHOLE - SAN MH	PROPOSED OVERHEAD UTILITY LINE		
PROPOSED WATER LINE AND HYDRANT	MATCHLINE		
PROPOSED PROPERTY LINE	GRADING/SEEDING LIMITS		

CIVIL SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVIEWING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVIEWING OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVIEWING.
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATION. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698. STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
 - UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE. PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 - UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 - UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY (NAME OF GEOTECHNICAL FIRM).
- ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
 - SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 - DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
 - STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3/4" CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (1/2" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
 - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
 - DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
 - THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
 - CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
 - TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED. THE STABILIZATION WORK REDONE.
 - IF SITE Dewatering IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE Dewatering PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
 - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER W DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FUSING SHALL NOT BE ALLOWED.
- ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

- CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW:

STANDARD ASPHALT PAVING SECTION	HEAVY ASPHALT PAVING SECTION
1-1/2" SURFACE COURSE (6 LT 58-285)	1-1/2" SURFACE COURSE (6 LT 58-285)
(WISDOT 455.25 TACK COAT (STAGED PAVING)	WISDOT 455.25 TACK COAT (STAGED PAVING)
2" BINDER COURSE (4 LT 58-285)	2-1/2" BINDER COURSE (4 LT 58-285)
10" OF 1-1/4" CRUSHED AGGREGATE	12" OF 1-1/4" CRUSHED AGGREGATE

- CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.5% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE 4" WIDE BLUE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. BLUE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 10 00 CONCRETE AND AGGREGATE BASE

- CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08 & ACI 318-08.
- EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
 - SIDEWALK CONCRETE** - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
 - DUMPS/TER PAD/APRON CONCRETE** - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
 - CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB.
 - THE BARS ALL CONTRACTION JOINTS OF THE CONCRETE. THE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
 - DUMPS/TER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
 - CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.
 - TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20' LONG SMOOTH DOWEL PLACED AT 12" O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTREAK 9" SPEED DOWEL TUBES SHALL BE USED.
 - DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
 - STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
 - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
 - SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
 - SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
 - SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON-SLIP-FORMED CURB AND GUTTER.
 - ALL EXTERIOR CONCRETE SHALL HAVE A BROCOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C109 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
 - ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #6 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
 - CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
 - PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY AND WINDY WEATHER, APPLY AN EVAPORATION CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
 - LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.
 - TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.
 - CONTRACTOR TO PROVIDE 4" WIDE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL**: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPE FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS NECESSARY TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE REQUIRED SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATTRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROCESS. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- SEEDED LAWNS**:
 - PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS./1,000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F., FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
 - ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALES BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1,000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED.
 - ALL TEMPORARY SEEDINGS SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% PEGRASS AT 1.9 LBS./1,000 S.F., STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- SEEDED LAWN MAINTENANCE**: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVER SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5'x5'. CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- DROT SYDNEY MATTING**:
 - CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN 5150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- TREES AND SHRUBS**: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. USE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- TREE AND SHRUB INSTALLATION**: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BARE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- TREE AND SHRUB MAINTENANCE/WARRANTY**: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- RIVER ROCK**: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM RIVER ROCK STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- PLASTIC EDGING**: INSTALL VALLEY VIEW INDUSTRIES BLACK DIMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVIEWING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVIEWING OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVIEWING
- ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- SANITARY MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SANITARY MANHOLE FRAME AND GRATE TO BE NENAN R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A (4" OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES. SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SERVICE FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SERVICE SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THE EXCEL ENGINEER DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL, IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA MAY 5, 2026

JOB NUMBER

260004700

SHEET NUMBER

C0.2

Utility	Material	Pipe Code	Fitting Code	Joint Code
Water Lateral	C901/906 PE	AWWA C901/C906	ASTM D2609, ASTM D2683, ASTM D3261	Heat fusion: ASTM D2657
Sanitary Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Gasket: ASTM F477
Sanitary Sewer	SCH 40 PVC	ASTM D1785, ASTM D2665	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564
Storm Sewer	SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Seal: ASTM F477



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GENERAL NOTES:

- PRIOR TO CONSTRUCTION CONTRACTOR TO OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNER FOR ALL OFF SITE WORK.

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

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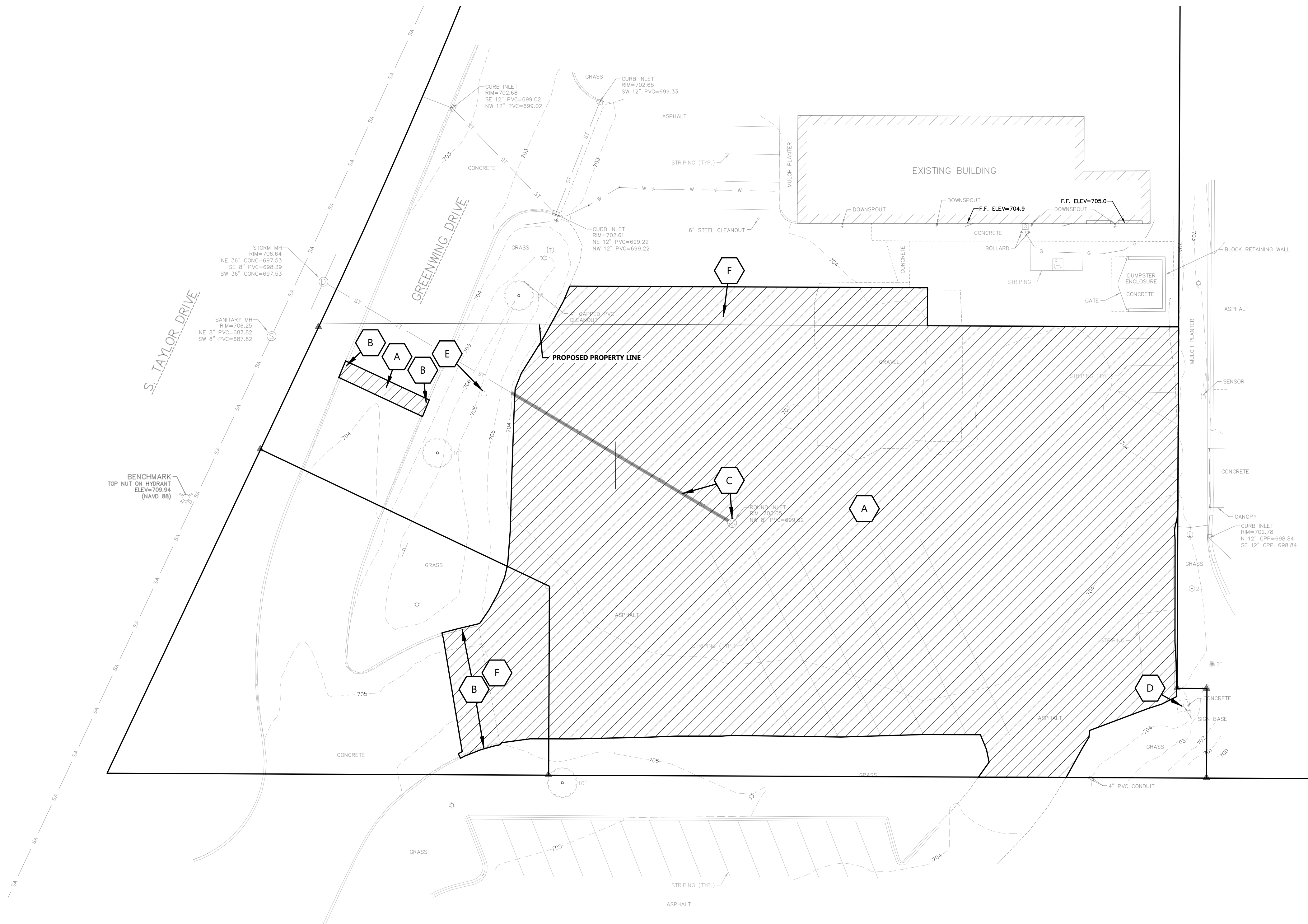
IFA MAY 5, 2026

JOB NUMBER

260004700

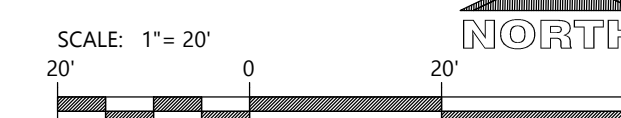
SHEET NUMBER

C1.0



KEYNOTES

A	SAWCUT AND REMOVE PAVEMENT/ GRAVEL
B	SAWCUT AND REMOVE CURB
C	REMOVE STORM LINE AND STRUCTURE
D	REMOVE SIGN
E	REMOVE
F	PRIOR TO DEMOLITION CONTRACTOR TO OBTAIN PERMISSION FOR ADJACENT PROPERTY OWNER FOR ALL OFF SITE WORK



CIVIL EXISTING SITE AND DEMOLITION PLAN



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EXCEPTIONS:

- Sec. 105-784 (Table 105-754) Minimum Landscape Surface Ratio (LSR)
 - 25% Required
 - Existing=15.2% / 21.3% Proposed
- Sec. 105-784 (Table 105-754) Minimum Lot Area (MLA)
 - 1 Acre required
 - 0.87 Provided (North lot will remain in compliance)
- Sec. 105-813 (Table 105-813) City of Sheboygan Nonresidential Bulk Standards
 - North
 - 5' Required
 - 0' Provided
 - South
 - 5' Required
 - 3' Provided
 - West
 - 10' Required
 - 0' Provided *Internal lot line*

SITE INFORMATION:

PROPERTY AREA: 37,937 S.F. (0.87 ACRES).
 EXISTING ZONING: SC- SUBURBAN COMMERCIAL
 PROPOSED ZONING: SC- SUBURBAN COMMERCIAL
 PROPOSED USE: DRIVE THRU COFFEE SHOP
 AREA OF SITE DISTURBANCE: 31,125 S.F. (0.71 ACRES)
 SETBACKS:
 BUILDING: FRONT(WEST) = 10'
 SIDE(NORTH/SOUTH) = 10'
 REAR(EAST) = 0'
 PAVEMENT: FRONT(WEST) = 10'
 SIDE(NORTH/SOUTH) = 5'
 REAR(EAST) = 5'
 PROPOSED BUILDING HEIGHT: 20' (MAX. HEIGHT ALLOWED: 50')
 PARKING REQUIRED: 1 SPACE PER 50 S.F. (17 SPACES REQ.)
 PARKING PROVIDED: 19 SPACES (1 H.C. ACCESSIBLE)
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.74	32,183	84.8%
TOTAL IMPERVIOUS	0.74	32,183	84.8%
LANDSCAPE/ OPEN SPACE	0.13	5,754	15.2%
PROJECT SITE	0.87	37,937	100.0%

PROPOSED SITE DATA

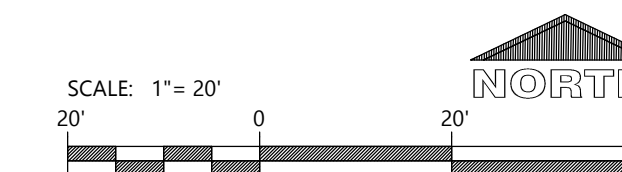
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.02	813	2.1%
PAVEMENT (ASP. & CONC.)	0.67	29,026	76.5%
TOTAL IMPERVIOUS	0.69	29,839	78.7%
LANDSCAPE/ OPEN SPACE	0.19	8,098	21.3%
PROJECT SITE	0.87	37,937	100.0%

KEYNOTES

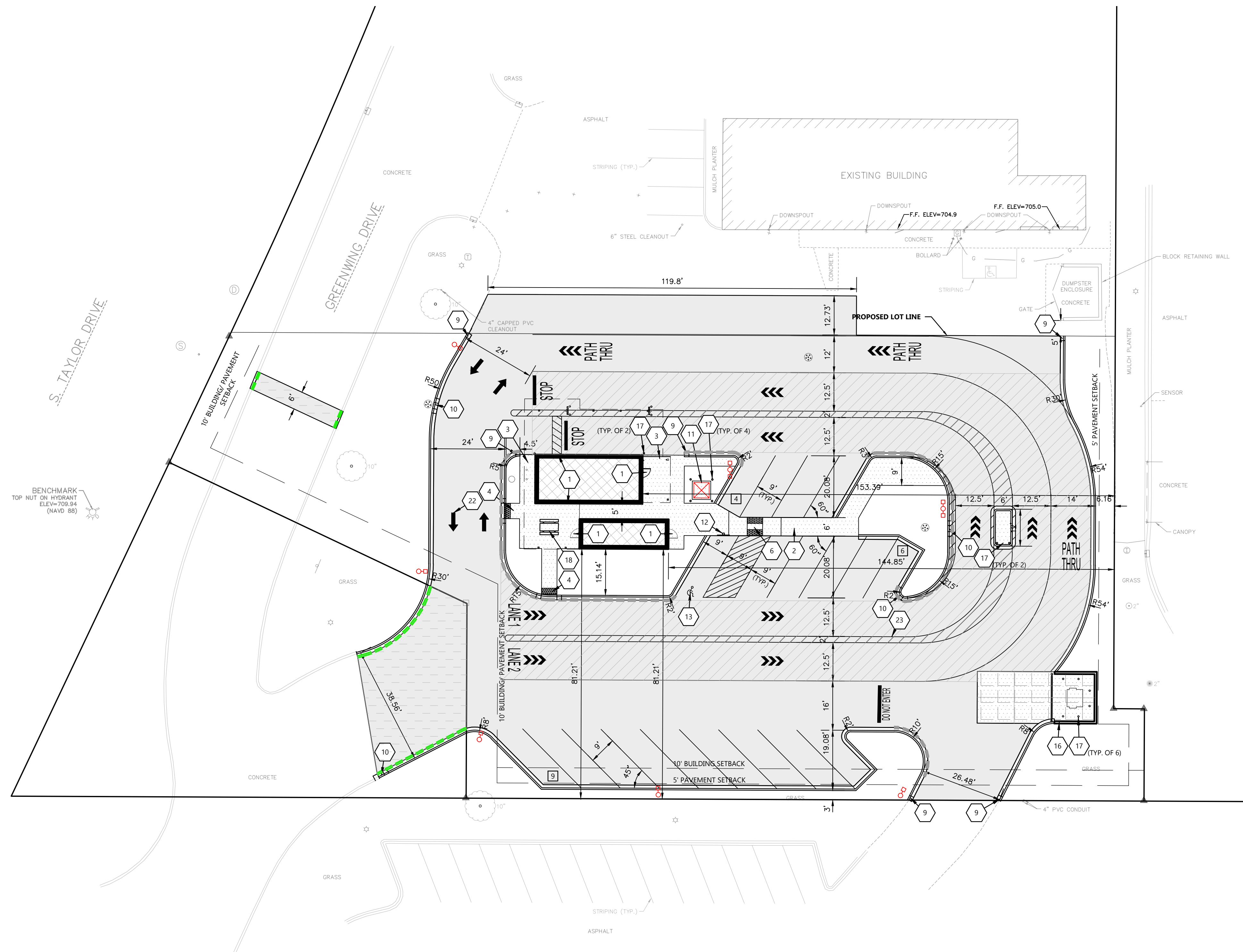
1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	RAISED WALK (SEE DETAIL)
3	FLUSH WALK (SEE DETAIL)
4	CURB RAMP (SEE DETAIL)
6	ADA CURB RAMP (SEE DETAIL)
9	CURB TAPER (SEE DETAIL)
10	CURB CUT (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
17	6" CONCRETE BOLLARDS (TYP.) (SEE ARCH PLANS FOR DETAILS)
18	PICNIC TABLE (DETAILS BY SUPPLIER)
22	TRAFFIC FLOW ARROWS (TYP.). SEE SHEET C1.1B FOR COLOR
23	PAINT STRIPING (TYP.). SEE SHEET C1.1B FOR COLOR

LEGEND:

HATCH	PAVEMENT SECTION	HATCH	PAVEMENT SECTION
	STANDARD ASPHALT		HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT		LOADING DOCK CONCRETE
	18" CURB & GUTTER (SEE DETAIL)		18" MOUNTABLE CURB & GUTTER (SEE DETAIL)
	ASPHALT PER CITY STANDARDS		CURB AND GUTTER PER CITY STANDARDS



CIVIL SITE PLAN



PROJECT INFORMATION

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PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA MAY 5, 2026

JOB NUMBER

260004700

SHEET NUMBER

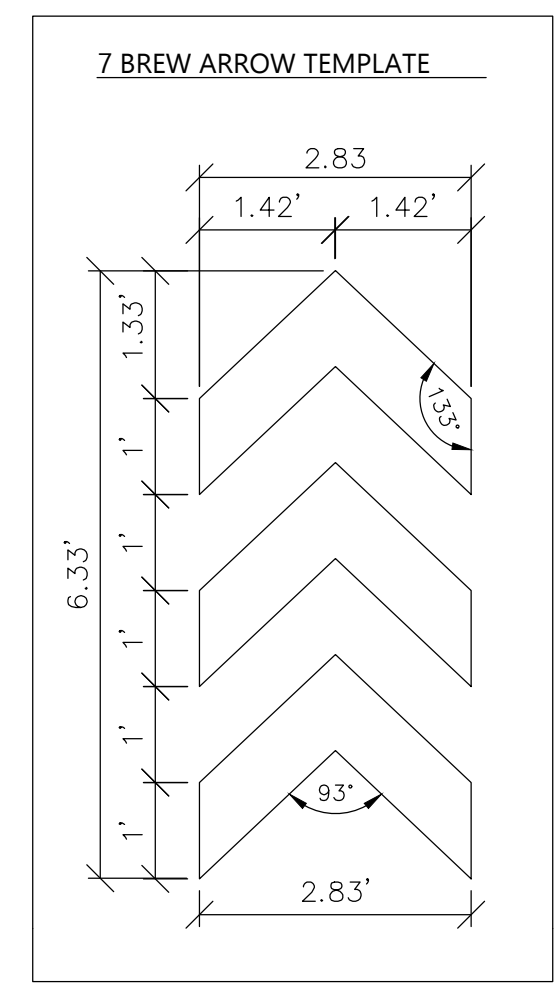
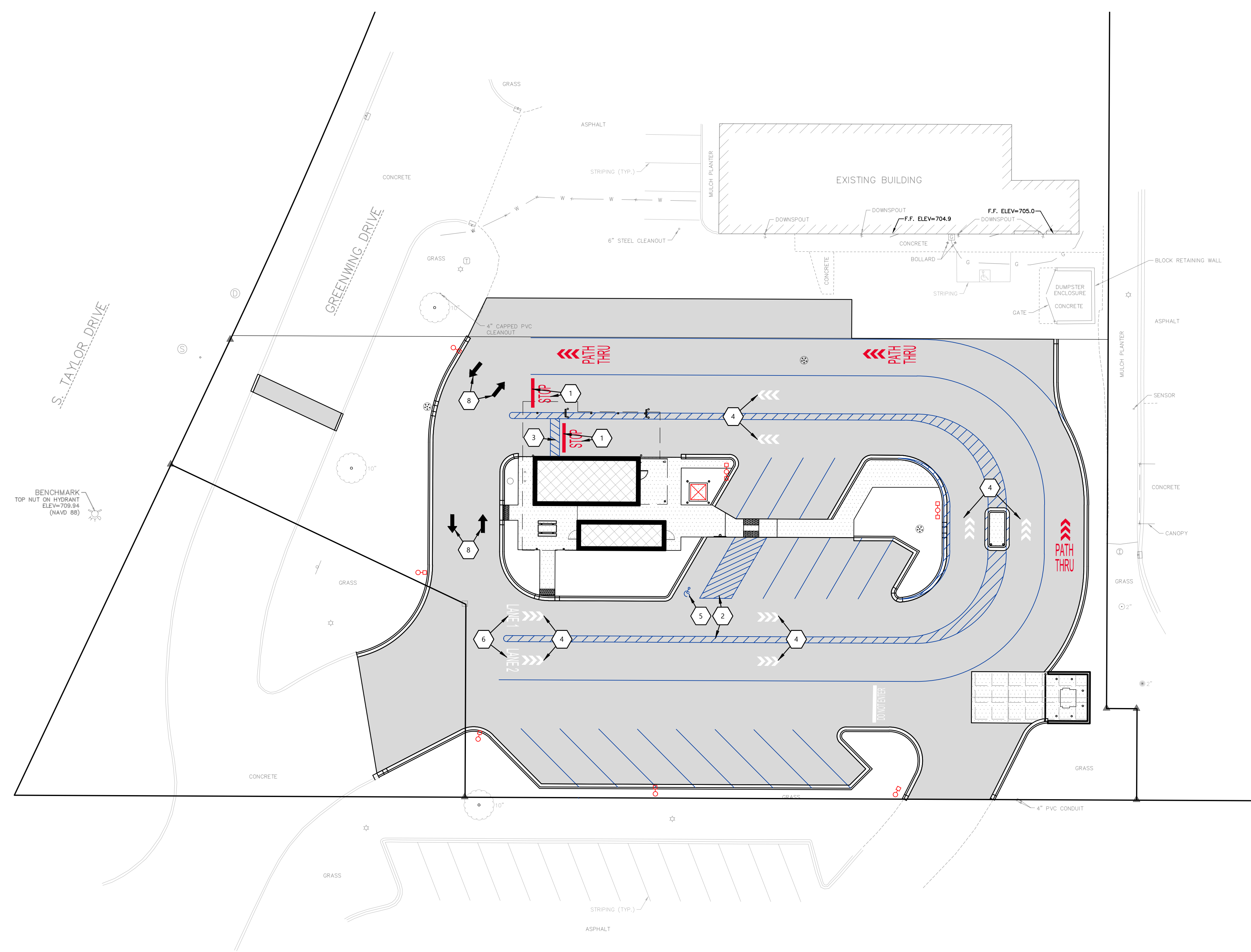
C1.1A



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PROJECT INFORMATION

**PROPOSED COFFE SHOP FOR:
 7 BREW SHEBOYGAN**
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081



STRIPING PAINT COLORS:

SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

PMS 000C	WHITE
C: 0%	
M: 0%	
Y: 0%	
K: 0%	
R: 255	BLUE
G: 255	
B: 255	
HEX: FFFFFF	
PMS 293	
C: 100%	
M: 80%	
Y: 12%	
K: 3%	
R: 0	RED
G: 58	
B: 159	
HEX: 003A9F	
PMS 202	
C: 2%	
M: 100%	
Y: 92%	
K: 0%	
R: 234	PAINT TYPE:
G: 0	
B: 41	
HEX: EA0029	SHERWIN- WILLIAMS PRO PARK, SETFAST, HOTLINE OR AN APPROVED EQUAL.

STRIPING PLAN KEYNOTES

1	12" TALL RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED
2	4" SOLID BLUE PAVEMENT MARKER, TYPICAL MIDLINES SPACED AT 24" O.C.
3	ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING
4	SOLID WHITE TRIPLE ARROW PAVEMENT MARKER
5	BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL
6	48-INCH TALL "LANE #" PAINTED IN WHITE
8	SOLID YELLOW DIRECTIONAL ARROW PAVEMENT MARKING

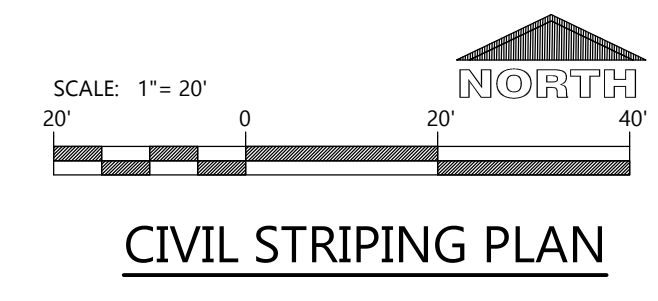
PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL	IFA	MAY 5, 2026

JOB NUMBER
 260004700

SHEET NUMBER
C1.1B





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PROJECT INFORMATION

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PROFESSIONAL SEAL

SHEET DATES

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IFA MAY 5, 2026

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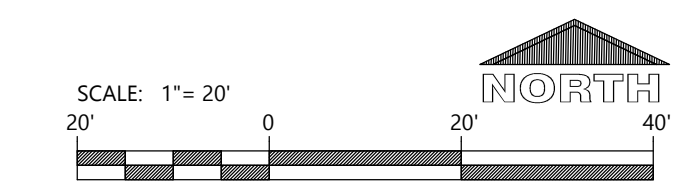
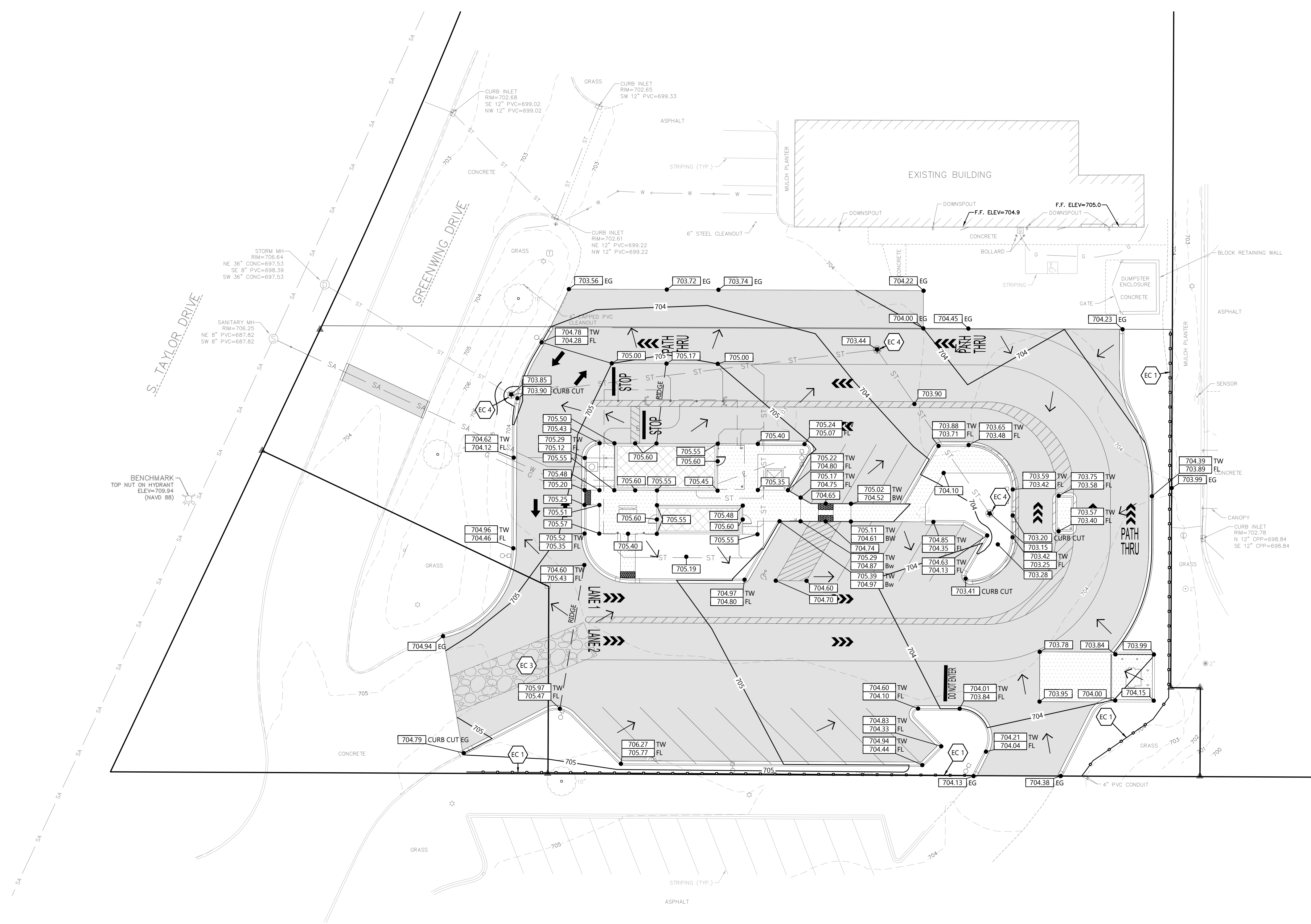
SHEET NUMBER

C1.2

- GENERAL NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
 - CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.
 - ANY DEWATERING REQUIRED SHALL BE PERMITTED (AS REQUIRED) BY AHJ AND BE COMPLETED IN ACCORDANCE WITH REGULATORY STANDARDS.
 - DISTURBED AREAS ARE MINIMIZED DURING CONSTRUCTION AND IS SPECIFICALLY CALLED OUT ON THE CONTRACTORS INSTALLATION PLAN.
 - ALL DISTURBED GROUND LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND MULCHED DURING THE PERIOD FROM APRIL 15 - SEPTEMBER 15
 - IF FINAL RESTORATION IS NOT COMPLETED BY OCTOBER 15, THE CONTRACTOR SHALL USE STRAW MATTING OR ANIONIC POLYACRYLAMIDE (PAM) SPRAY TO PREVENT EROSION DURING THE WINTER AND EARLY SPRING MONTHS

KEYNOTES

EC 1	SILT FENCE
EC 3	STABILIZED CONSTRUCTION ENTRANCE
EC 4	INLET PROTECTION



CIVIL GRADING AND EROSION CONTROL PLAN



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PROFESSIONAL SEAL

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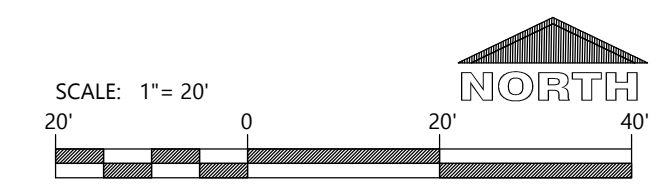
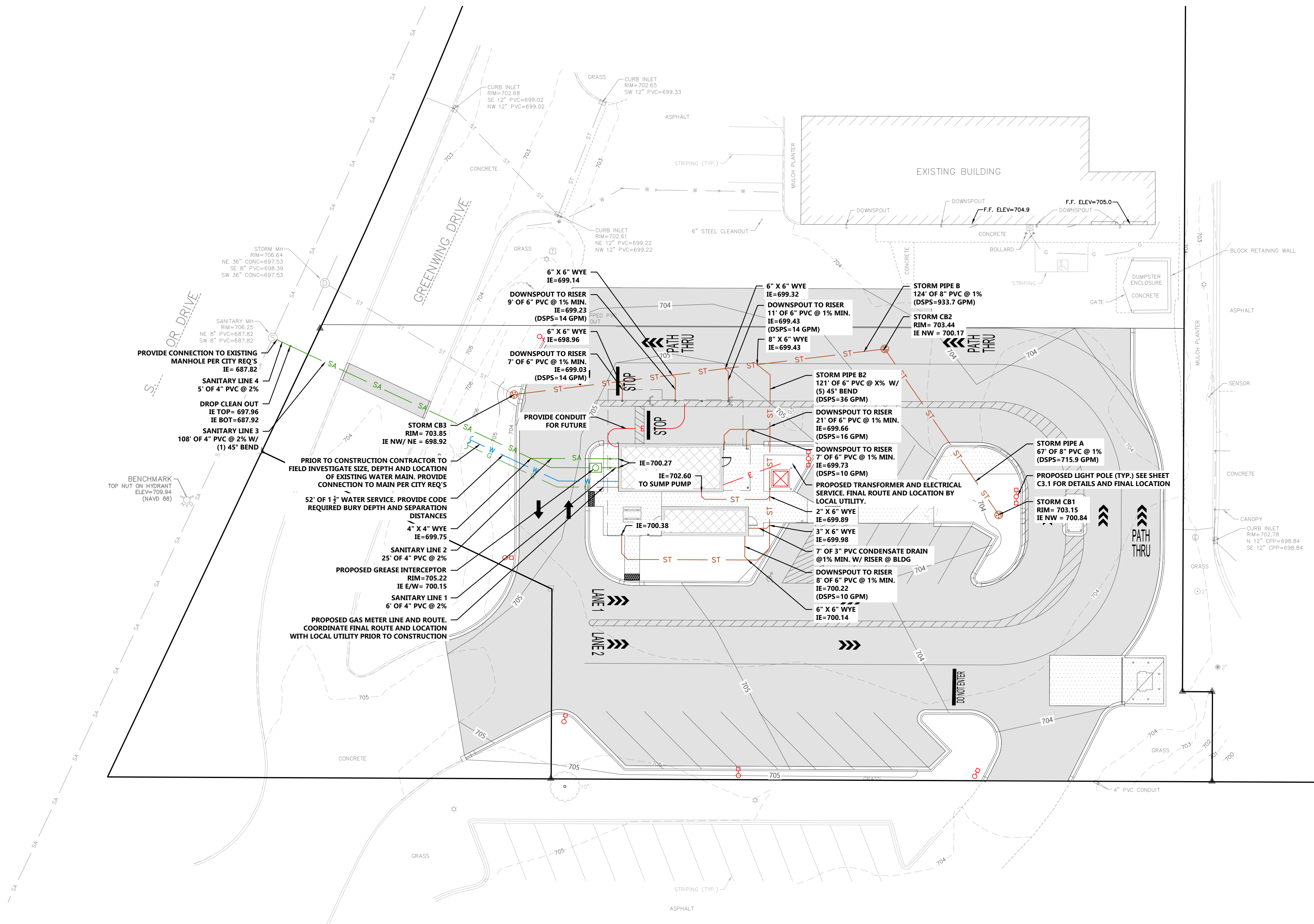
IFA MAY 5, 2026

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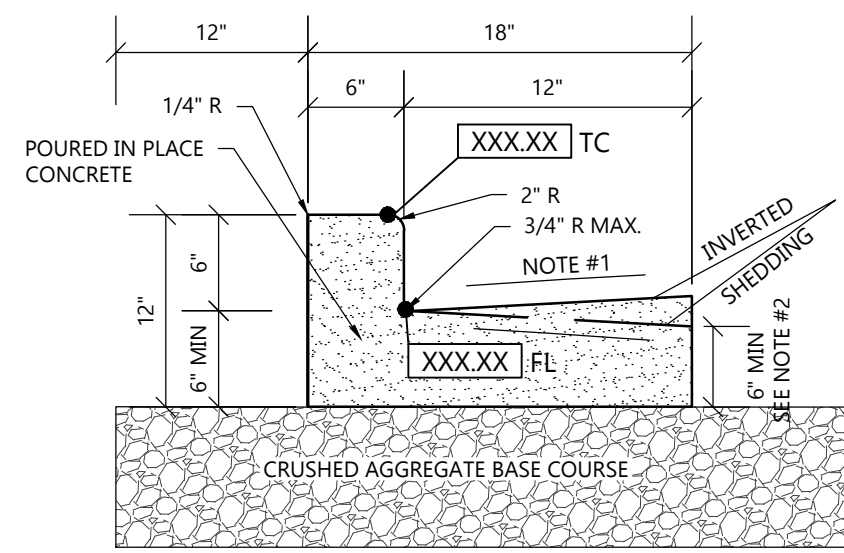
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SHEET NUMBER

C1.3

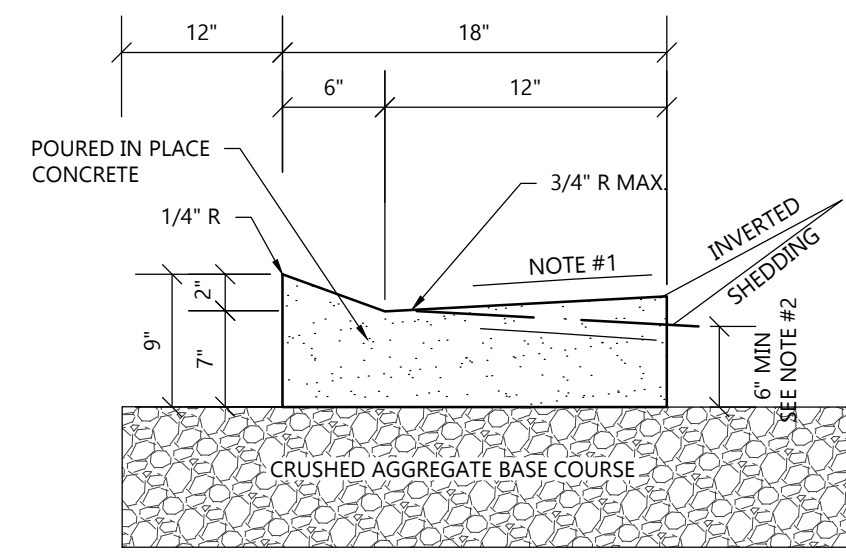


CIVIL UTILITY PLAN



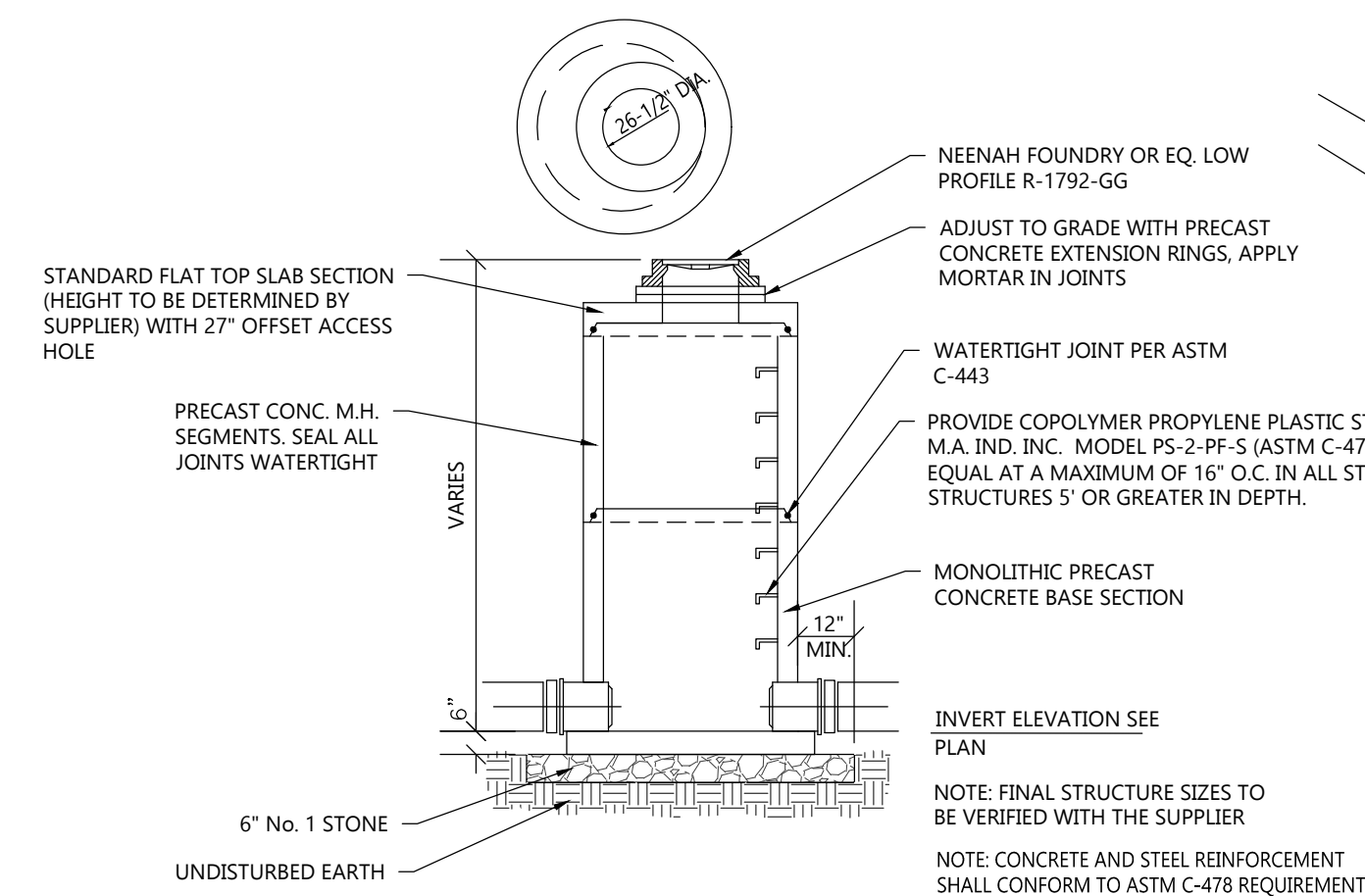
- NOTE:**
- USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 - SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS.

18" CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE

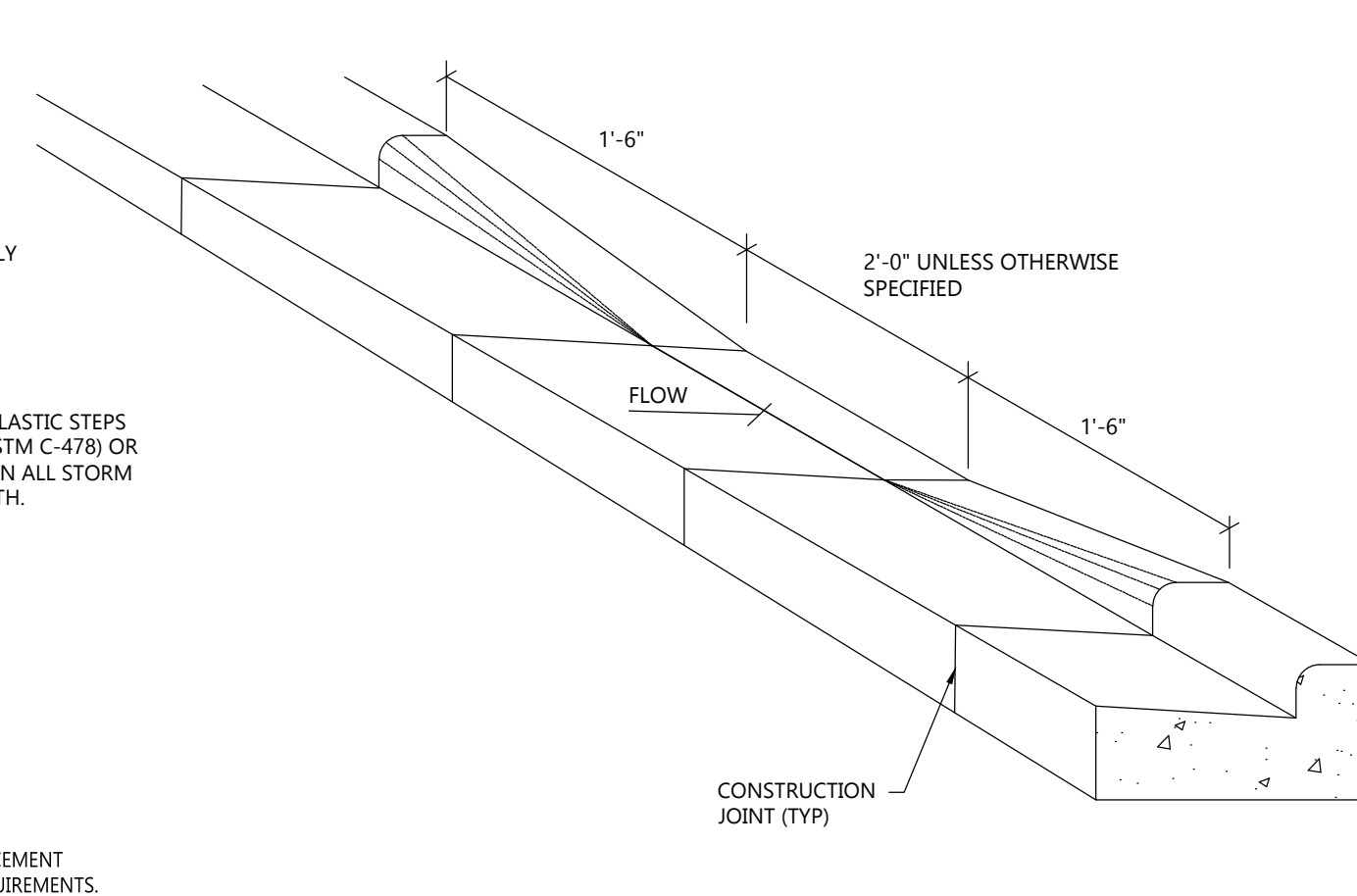


- NOTE:**
- USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 - THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 - SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS.

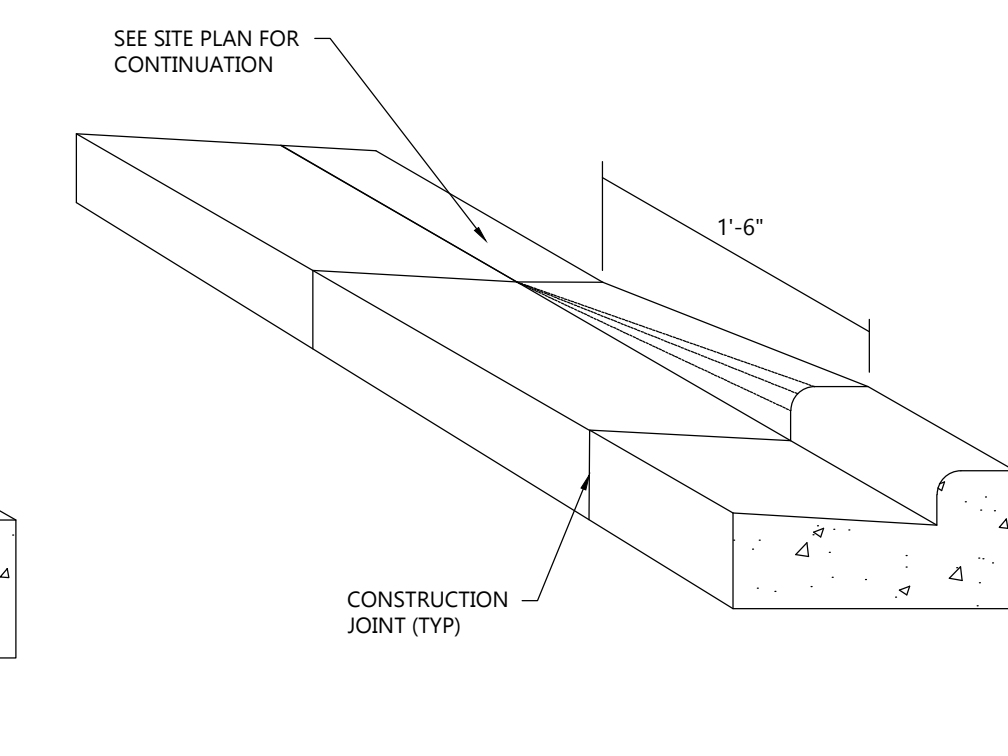
18" MOUNTABLE CURB & GUTTER DETAIL
NOT TO SCALE



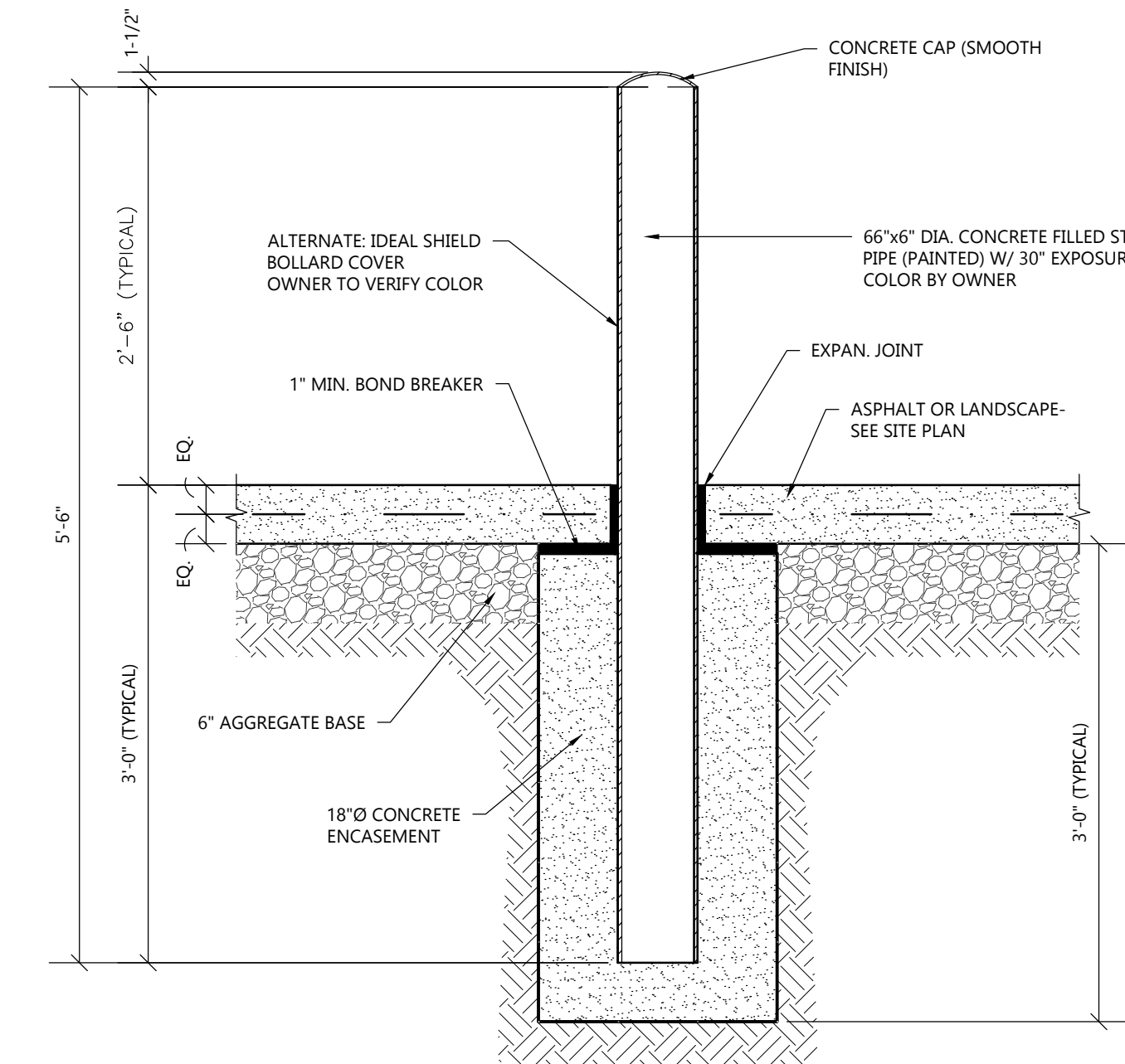
STORM CATCH BASIN DETAIL
NOT TO SCALE



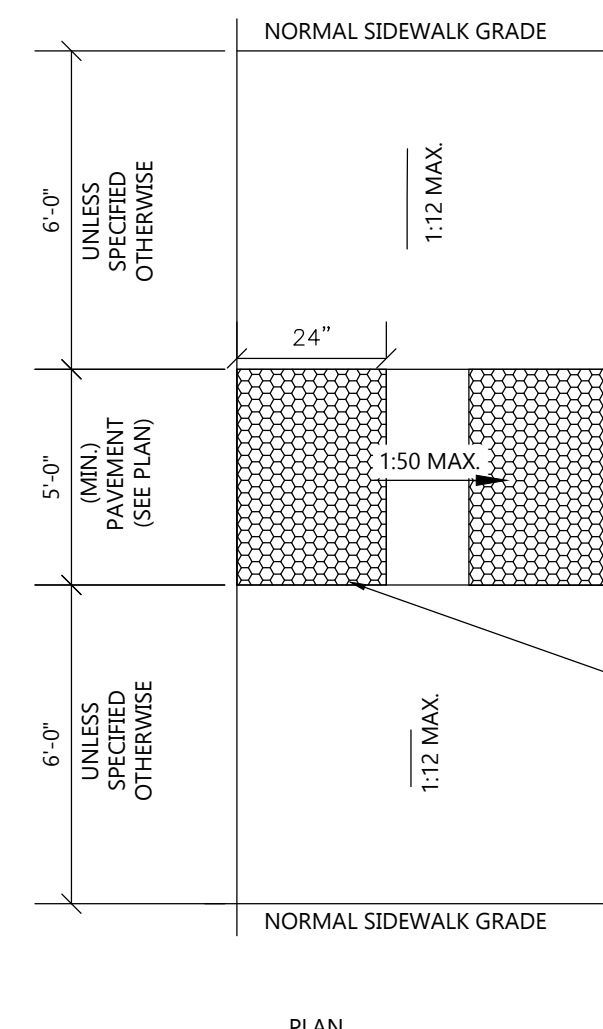
CURB CUT DETAIL
NOT TO SCALE



CURB TAPER DETAIL
NOT TO SCALE

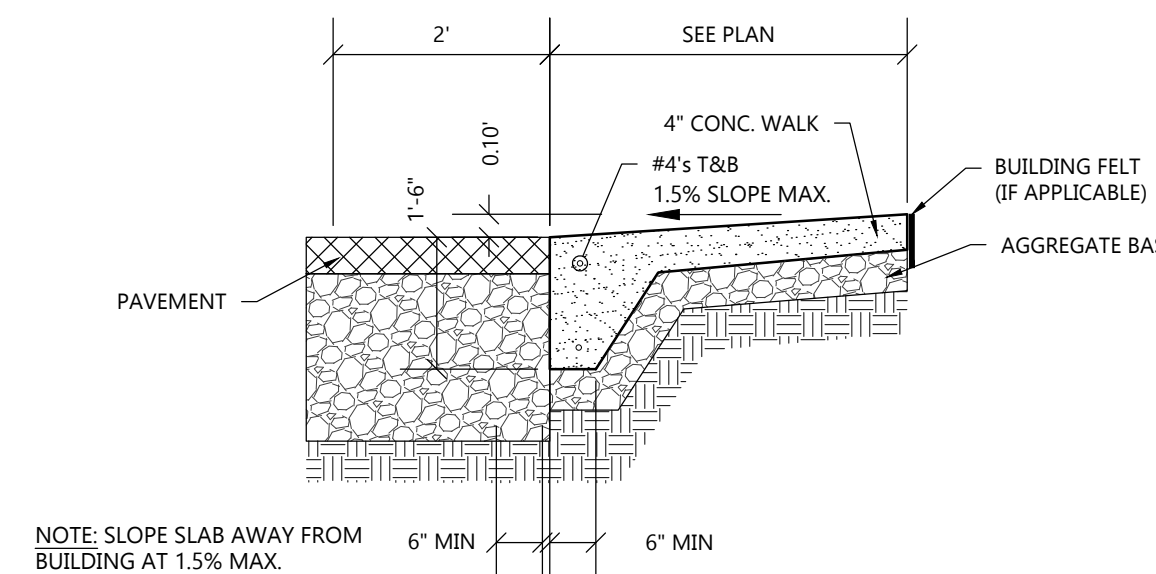


6" PIPE BOLLARD DETAIL
NOT TO SCALE

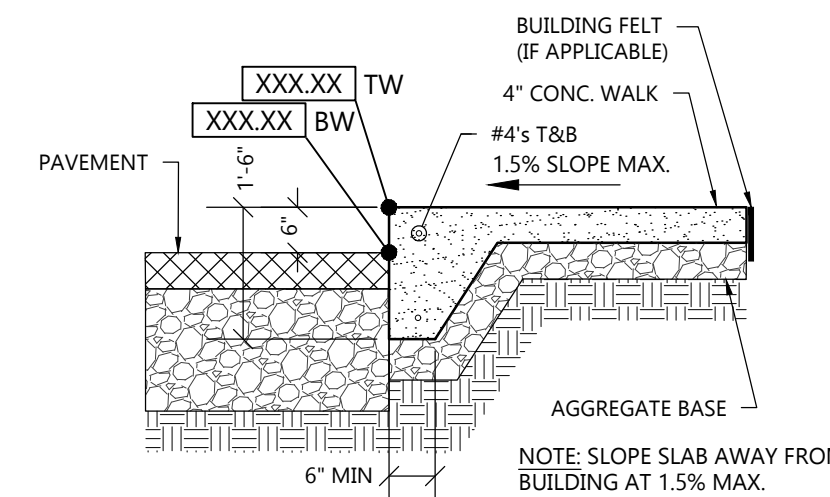


ADA SIDEWALK RAMP DETAIL
NOT TO SCALE

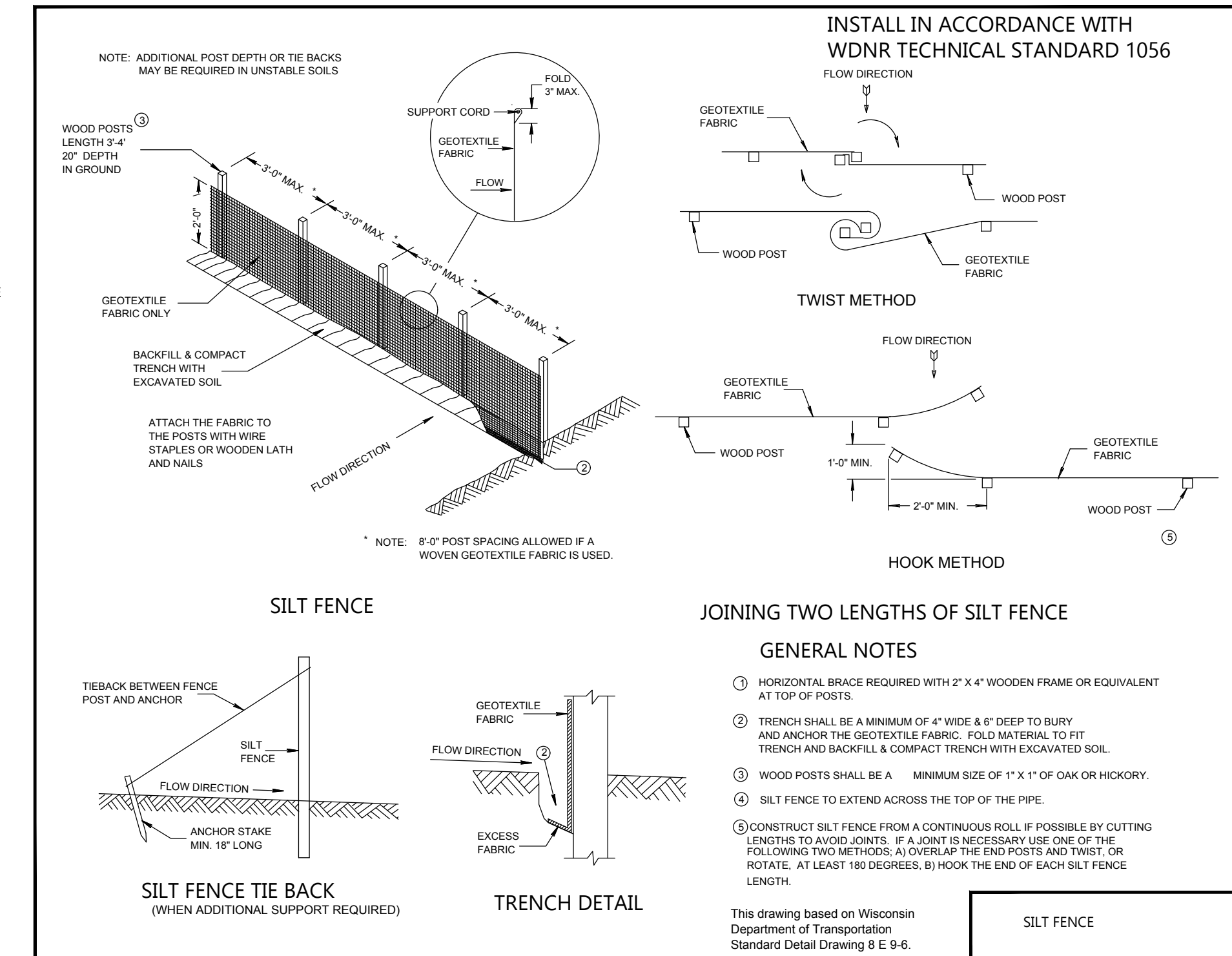
DETECTABLE WARNING SURFACE. SURFACE TO BE TRUNCATED DOMES WITH A BASE DIAMETER OF 0.9" MIN. TO 1.4" MAX. AND A TOP DIAMETER OF 0.5% MIN. TO 0.65% MAX. OF THE BASE DIAMETER. HEIGHT OF DOMES SHALL HAVE A HEIGHT OF 0.2". TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6" MIN. AND 2.4" MAX. AND A BASE-TO-BASE SPACING OF 0.65" MIN. MEASURED BETWEEN THE MOST ADJACENT DOMES ON THE GRID. DOMES SHALL BE ALIGNED IN A SQUARE GRID PATTERN.



FLUSH WALK DETAIL
NOT TO SCALE

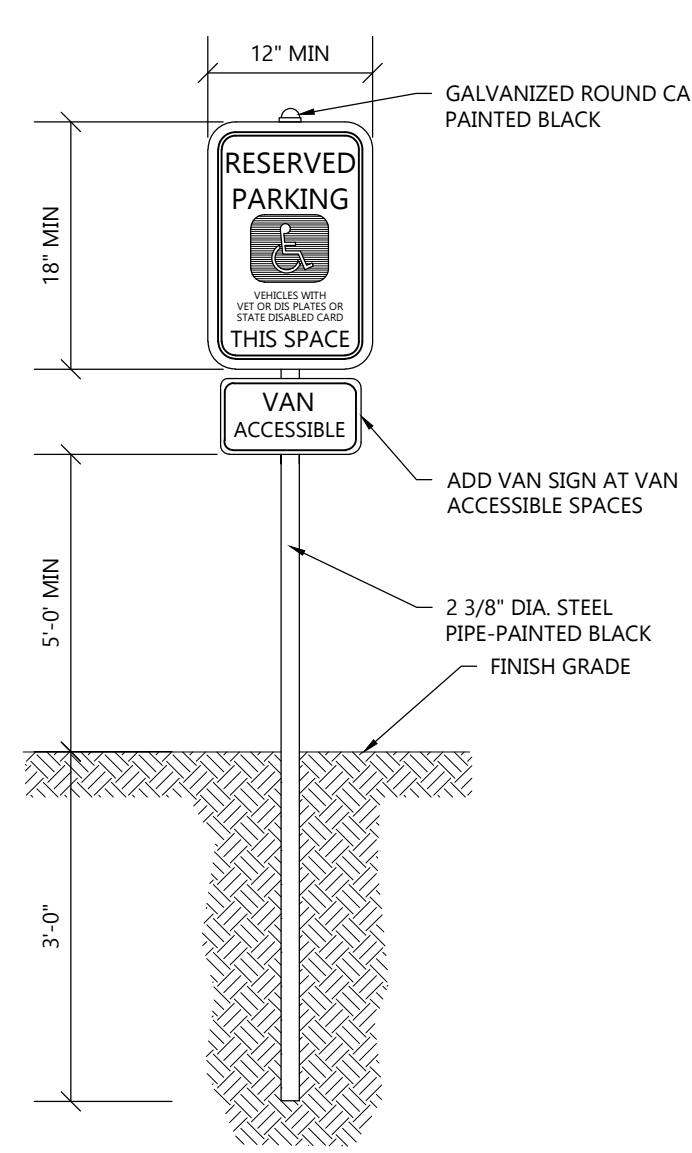


RAISED WALK DETAIL
NOT TO SCALE

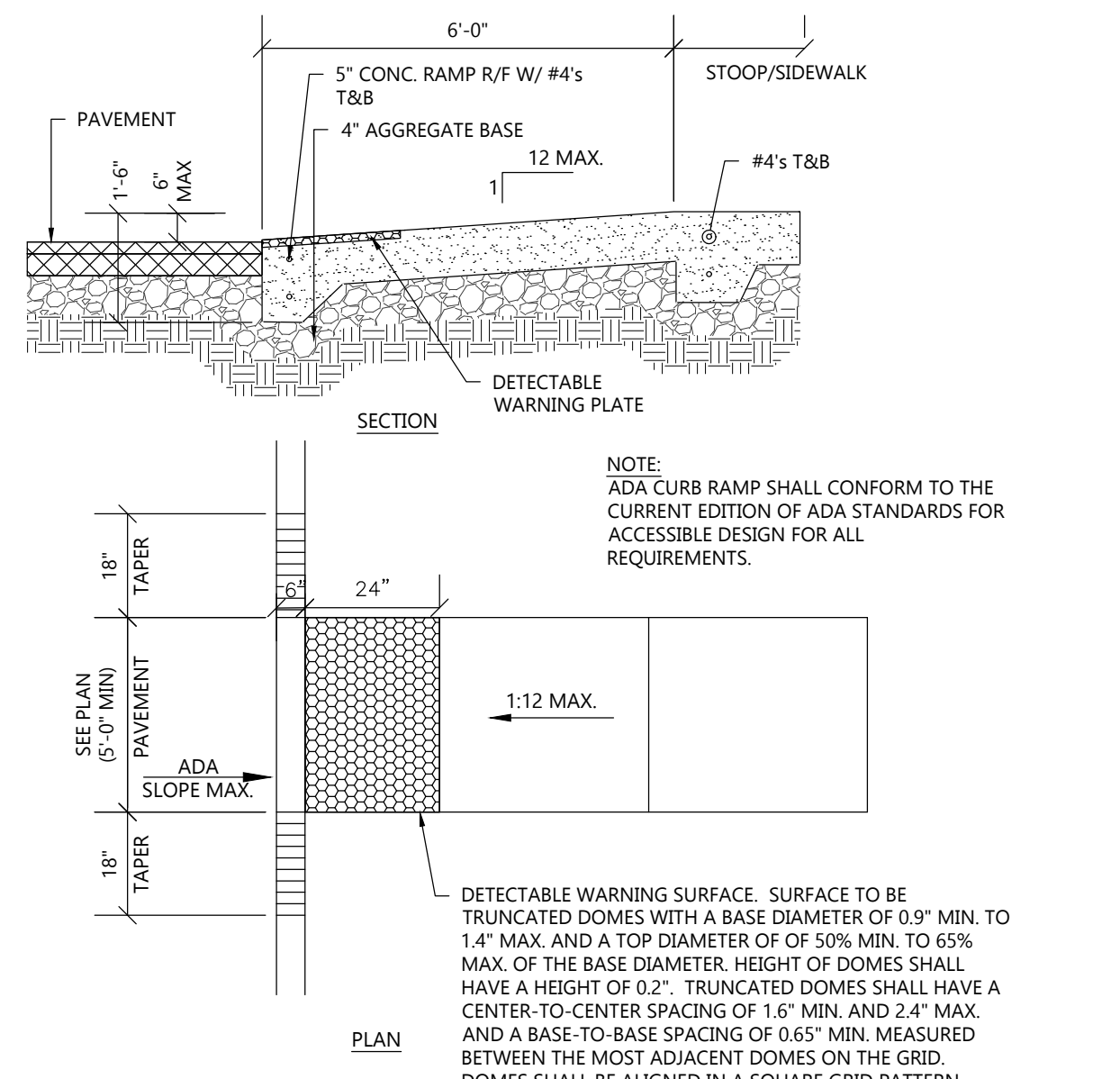


SILT FENCE - INSTALLATION DETAIL
NOT TO SCALE

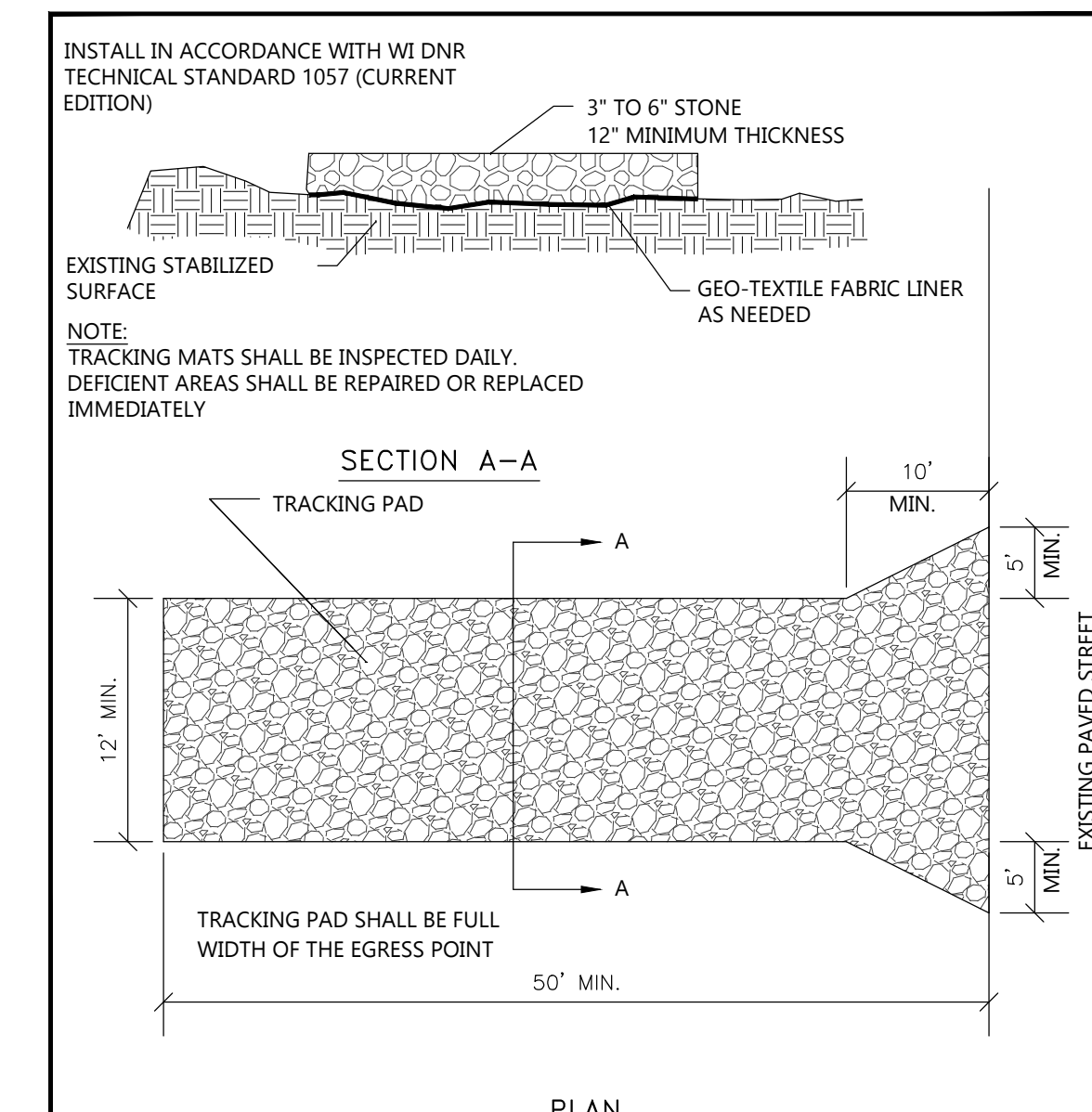
- GENERAL NOTES**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.
- This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 9-6.



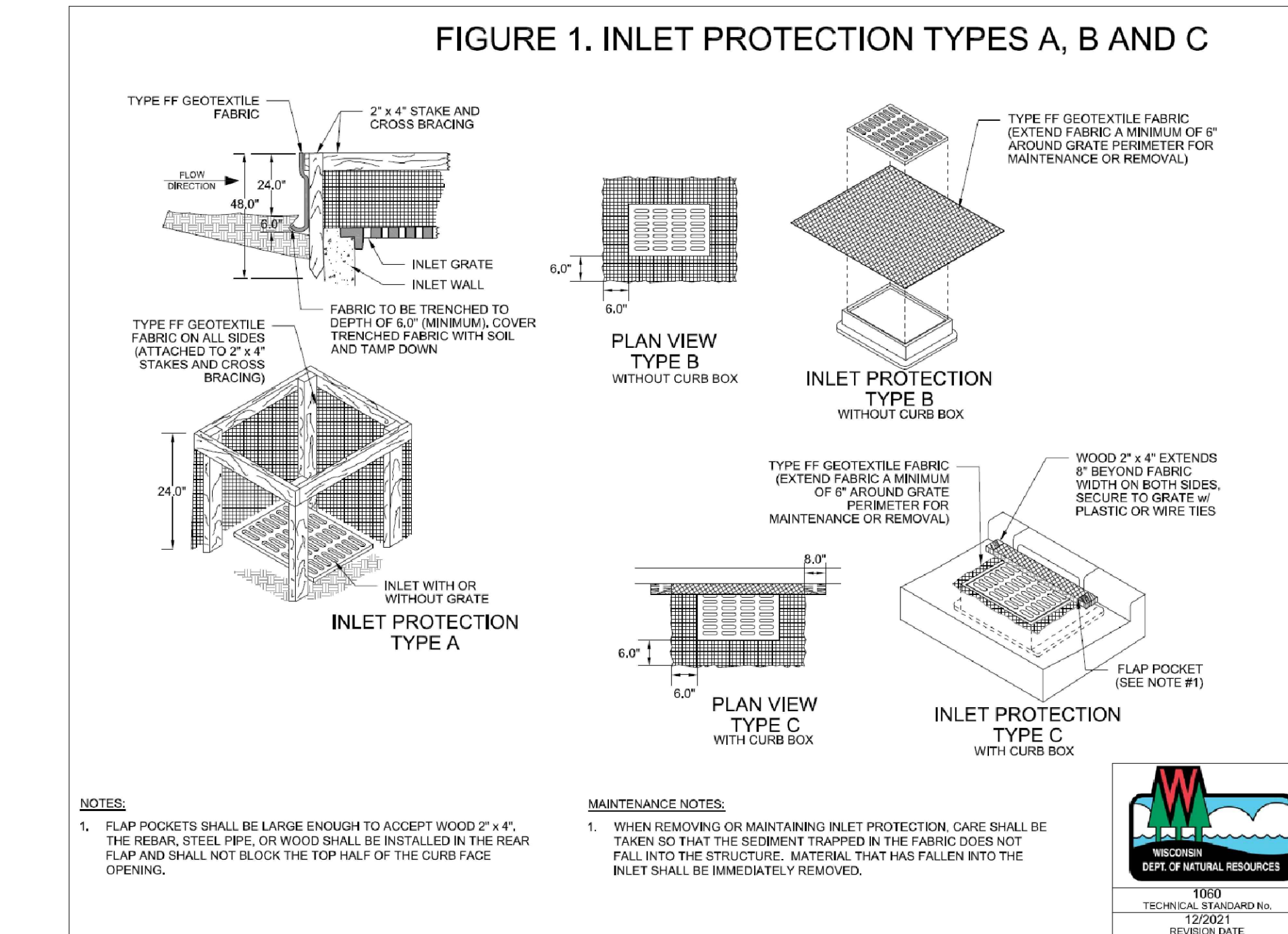
HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NOT TO SCALE



CURB RAMP DETAIL
NOT TO SCALE



TRACKPAD DETAILS
NOT TO SCALE



INLET PROTECTION DETAIL
NOT TO SCALE

Item 9.

EXCEL

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SHEET NUMBER

C2.0



Mirada Medium (MRM)
 Outdoor LED Area Light

OVERVIEW	
Lumen Package	7500 - 55,000
Wattage Range	41 - 438
Efficiency Range (LPW)	15 - 162
Weight (lbs)	30 (14.5)
Control Options	MRMFT, ALL, ALL, 7pin, PC

QUICK LINKS
[Ordering Guide](#) | [Performance](#) | [Photometrics](#) | [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LS's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LS finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity inIES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero glare.
- Available in 3000K, 4000K, and 5000K color temperatures per ANSI C78.377. Also Available in Phosphor Coated Amber with Peak Intensity at 610nm.
- Minimum CRI of 70.
- Integral laser (IL) and integral half louvers (HL) options available for enhanced backlight control.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over-temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (00% - 100%) standard.
- Standard Universal Voltage (200-277 Vac) input 50/60 Hz or optional High Voltage (247-480 Vac).
- LBO Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 44L lumen packages rated to +40°C. 55L lumen package rated to +35°C.
- Power factor: >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.


Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1599 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant, with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Subtle for wet locations.
- IP66 rated luminaires per IEC 60598.
- 3IG rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,896,95 B2)
- RoHS rated luminaires per IEC 64262 mechanical impact code

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 872-3200 • www.lsi.com
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ULTRA NEON FLEX

Project: _____ Type: _____
 Name: _____ Date: _____

OVERVIEW
LIGHT - TL
 Applications: Indoor/Outdoor IP65
 Efficacy: 70-90lm/W
 Dimming: TRIAC
 LED Type: SMD2835
 Operating Temp: -4° to 133° F
 Lifespan: 50,000 hours
 Warranty: 5 years (Indoors)
 3 years (Outdoors)

FEATURES

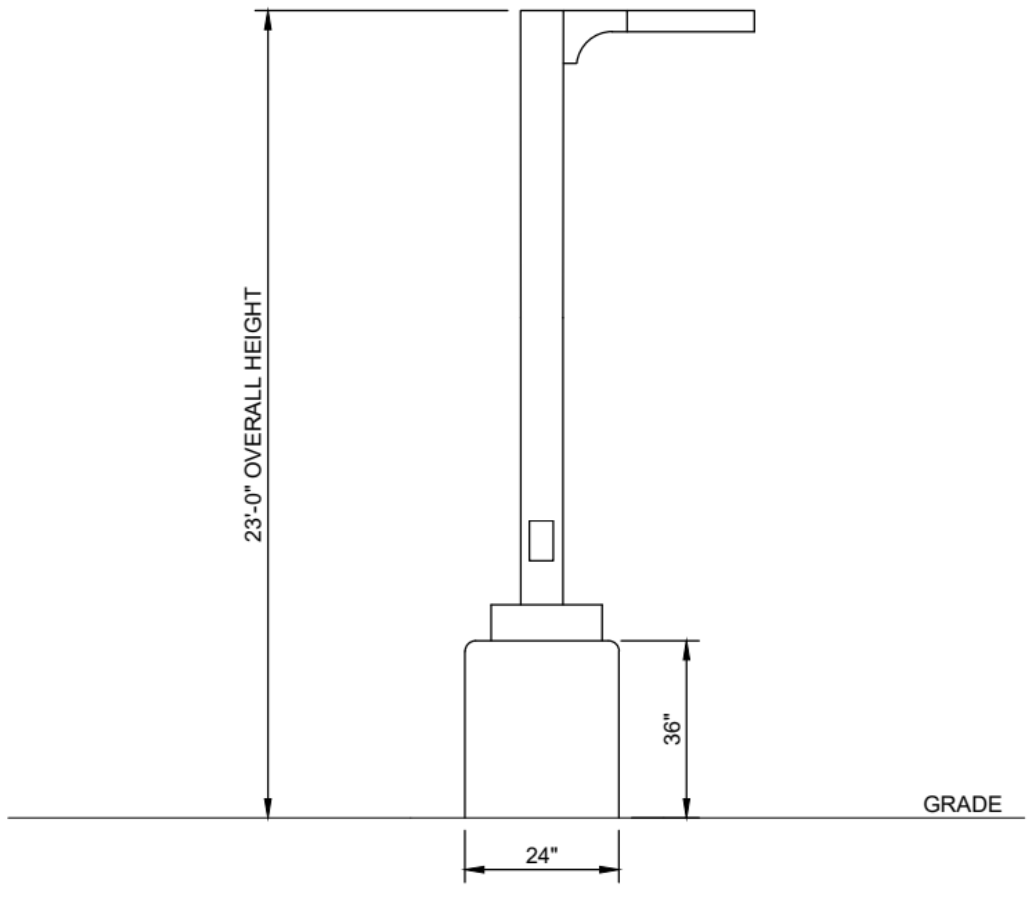
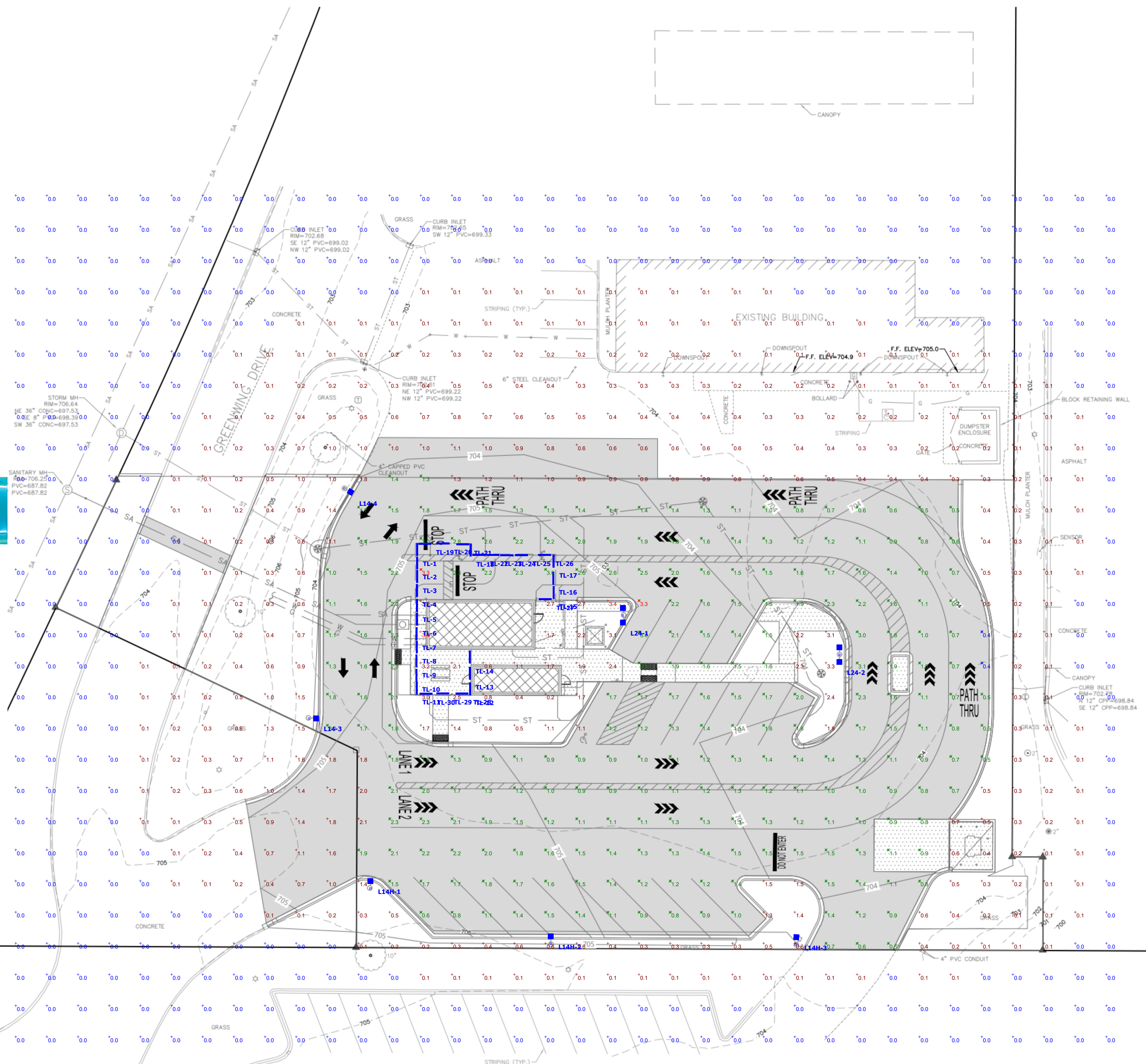
- Uniform, dot-free and smooth neon light up to 164ft (50m) of run length.
- Driverless design with on-board constant current IC driver and rectifier.
- Direct AC power supply with external driver.
- Thick silicone jacket insures electrical safety by ETL and RoHS standards.
- Environmentally-friendly silicone, bend flexibility, impact resistant and indelible weather resistant.
- Advanced silicone extrusion technology

Top Band	White	Red	Green	Blue	Amber	Pink
Side Band	125lm/ft	28lm/ft	175lm/ft	20lm/ft	138lm/ft	98lm/ft
	125lm/ft	14lm/ft	83lm/ft	57lm/ft	47lm/ft	

Size	Top Band: 3.5" x 0.8" x 0.8"	Side Band: 3.5" x 0.4" x 0.8"	CCT	White/Red/Green/Blue/Amber/Pink
Watts	White: 4.2W/ft Red/Green/Blue/Amber/Pink: 2W/ft	IP Rating	IP65	
Voltage	AC120/270V	Material	Silicone, Copper	
Dimming	TRIAC	LED Qty	Top Band (TL): 40 LEDs/ft Side Band (SB): 40 LEDs/ft	
Beam Angle	180°	Cutting Length	600/18, 2in 90/29, 31	
CR	White: 80-85 Other: >9.9	Lifespan	50,000 Hours	

SARIN's Ultra Neon Flex (UNF) is a cutting-edge LED solution designed for both functionality and safety. Its patented driverless design features an on-board constant current driver, allowing for a direct AC power supply without the need for an external driver. The UNF is TRIAC dimmable, offering seamless compatibility with standard dimming systems to create the perfect ambience. Built to withstand the elements, the UNF boasts an IP65 rating for superior resistance to dust and water, making it ideal for indoor and outdoor use.

1-855-957-2746 | LEDOSARIN.com | SARIN.com | ©2022



LIGHT POLE DETAIL
NO SCALE

Schedule						
Symbol	Label	QTY	Catalog Number	Number Lamps	Lumens per Lamp	Wattage
	L14H	3	MRM-LED-07L-SIL-FT-30-70CRI-IL	1	4853	48
	TL	30		1	400	2,97786
	L14	2	MRM-LED-07L-SIL-FT-30-70CRI	1	7565	48
	L24	2	MRM-LED-07L-SIL-FT-30-70CRI	1	7565	96

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.5 fc	3.4 fc	0.0 fc	N/A	N/A
PARKING LOT	X	1.5 fc	3.3 fc	0.4 fc	8.3:1	3.8:1



CIVIL SITE PHOTOMETRIC PLAN & DETAILS



EXCEL
 Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL	
IFA	MAY 5, 2026

JOB NUMBER
 260004700

SHEET NUMBER
C3.1

CERTIFIED SURVEY MAP

PART OF LOT 1, CSM VOL. 11, PG. 132, BEING PART
OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4,
SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST,
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Sheboygan Store LLC bounded and described as follows:

Part of Lot 1 of Certified Survey Map, recorded in Volume 11 of Certified Survey Maps on Pages 132 and 133 in the Sheboygan County Register of Deeds Office as Document No. 1395403, being part of the Northwest 1/4 of the Northwest 1/4 of Section 4, Township 14 North, Range 23 East, City of Sheboygan, Sheboygan County, Wisconsin being more particularly described as follows:

Commencing at Northwest corner of the Northwest 1/4 of said Section 4; thence South 01°-13'-34" West along the West line of said Northwest 1/4, a distance of 81.93 feet; thence South 88°-46'-26" East, a distance of 620.33 feet to the Easterly right-of-way line of S. Taylor Drive, said point being the point of beginning; thence North 55°-50'-18" East along the Southerly right-of-way line of Washington Avenue (S.T.H. "28"), a distance of 24.32 feet; thence South 44°-38'-18" East along the Southerly right-of-way line of Washington Avenue per Transportation Project Plat No. 4640-05-21-4.03, recorded as Document No. 1985868, a distance of 7.10 feet; thence North 57°-45'-31" East along said Southerly line, a distance of 47.37 feet; thence North 88°-29'-40" East along the Southerly right-of-way line of Washington Avenue per Document No. 1102510, a distance of 147.67 feet to the East line of said Lot 1; thence South 00°-14'-59" West along said East line, a distance of 339.32 feet; thence South 89°-45'-01" East along said East line, a distance of 10.00 feet; thence South 00°-14'-59" West along said East line, a distance of 29.99 feet to the Southeast corner of said Lot 1; thence North 89°-45'-01" West along the South line of said Lot 1, a distance of 220.27 feet to the East line of lands described per Document No. 2020805; thence North 00°-15'-08" East along said East line, a distance of 63.25 feet; thence North 64°-38'-20" West along the North line of said described lands, a distance of 107.00 feet to the Easterly right-of-way line of S. Taylor Drive; thence North 25°-21'-40" East along said Easterly line, a distance of 45.42 feet; thence Northeasterly 195.94 feet along said Easterly line on a curve to the left having a radius of 2,229.30 feet, the chord of said curve bears North 22°-50'-35" East, a chord distance of 195.88 feet to the point of beginning and containing 2.043 acres (88,986 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Sheboygan in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.wilgreen@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 260004700

CERTIFIED SURVEY MAP

PART OF LOT 1, CSM VOL. 11, PG. 132, BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4, SECTION 4, TOWNSHIP 14 NORTH, RANGE 23 EAST, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Sheboygan Store LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Sheboygan Store LLC does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Sheboygan

WITNESS the hand and seal of said owner this _____ day of _____, 20__.

Sheboygan Store LLC

_____, _____
(Print) (Title)

STATE OF _____)

_____ COUNTY)SS

Personally, came before me this _____ day of _____, 20__, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____

My Commission Expires: _____

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW CONSIDERATION

ITEM DESCRIPTION: Architectural review of a proposed 7 Brew located at 3715 Washington Avenue.

REPORT PREPARED BY: Ellise Rose, Zoning Administrator

REPORT DATE: May 18, 2026

MEETING DATE: March 26, 2026

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Milbrew Holdings is proposing to construct a 7 Brew located at 3715 Washington Ave. The applicant states the following:

- Site is currently vacant.
- The proposed 7 Brew will be a single story 530 s.f. coffee shop and a 280 s.f. stand-alone cooler building.
- Both buildings will be finished with Nichiha fiber cement siding.

STAFF COMMENTS:


None

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Commission.

ATTACHMENTS:

Architectural Review Application and required attachments.

	CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION	Fee: _____ Review Date: _____
---	---	--------------------------------------

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) Milbrew Holdings	Authorized Representative Corbin Terlip	Title	
Mailing Address 27 Central Avenue	City Cortland	State NY	ZIP Code 13045
Email Address	Phone Number (incl. area code) Kevin [redacted]		

SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)

Name (Ind., Org. or Entity) Sheboygan Store LLC	Contact Person Dhaval Patel	Title owner	
Mailing Address 2357 Kiowa Drive	City Grafton	State WI	ZIP Code 53024-2828
Email Address	Phone Number (incl. area code)		

SECTION 3: Architect Information

Name Tricia Caswell			
Mailing Address 100 Camelot Drive	City Fond du Lac	State WI	Zip 54935
Email Address	Phone Number (incl. area code)		

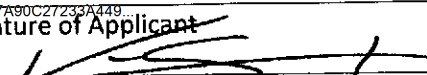
SECTION 4: Contractor Information

Name Design 2 Construct			
Mailing Address N173 W21010 Northwest Passage	City Jackson	State WI	Zip 53037
Email Address	Phone Number (incl. area code)		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Kevin Schmidt 4/30/2026	Title owner	Phone Number [redacted]
Signature of Applicant 		Date Signed 4/30/2026

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting - check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description 3715 Washington Ave		Parcel No.
Name of Proposed/Existing Business:	7 Brew	
Address of Property Affected:	Same	
Zoning Classification:	SC - Suburban Commercial	
New Building: <input checked="" type="checkbox"/>	Addition: <input type="checkbox"/>	Remodeling: <input type="checkbox"/>

SECTION 7: Description of Proposed Project

SECTION 8: Description of EXISTING Exterior Design and Materials

NA, Site is currently vacant

SECTION 9: Description of the PROPOSED Exterior Design and Materials

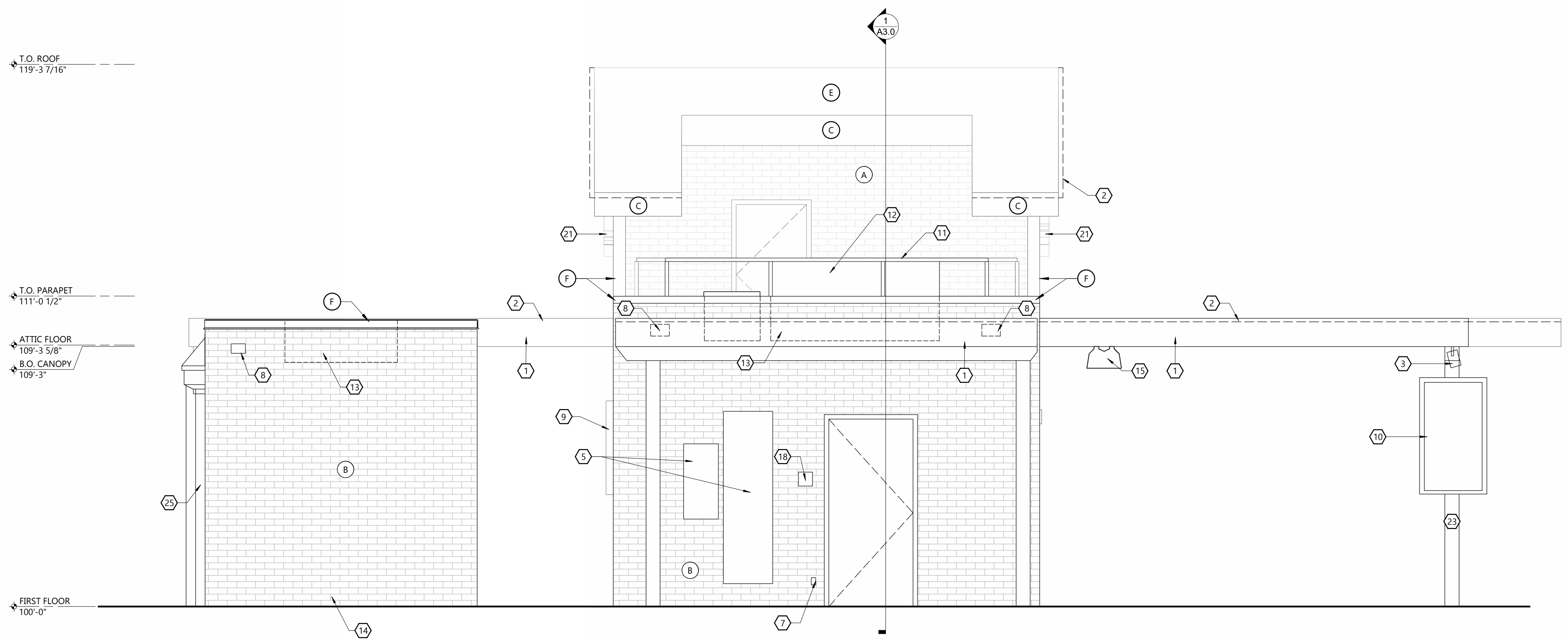
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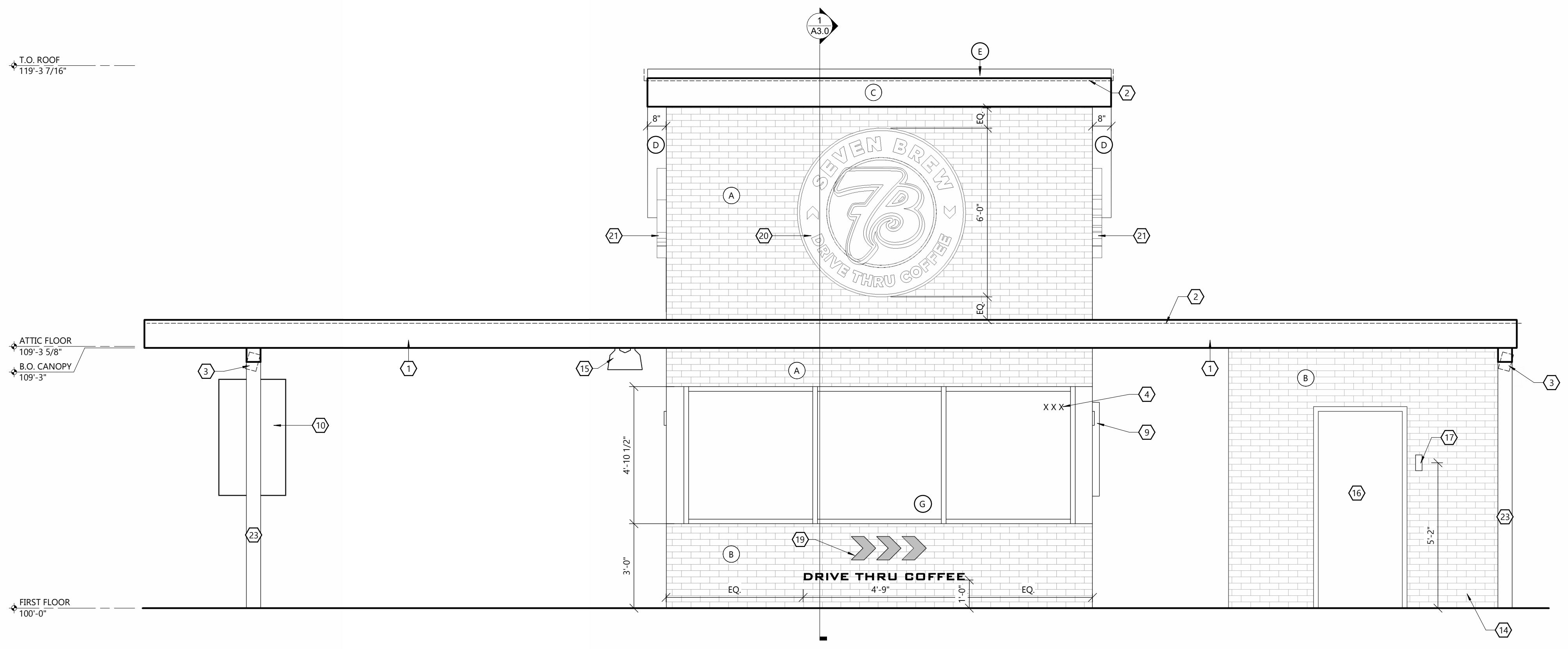
Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081



1 NORTH ELEVATION
 SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 3/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

1. PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL.
2. SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED); TYP; REF ELECTRICAL.
3. MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN.
4. ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE.
5. ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL.
6. FROST PROOF FLUSH HOSE BIB.
7. EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL.
8. THROUGH WALL SCUPPER ROOF DRAIN.
9. SURFACE-MOUNTED LIGHTED SIGN BOX.
10. SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY.
11. GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR.
12. HVAC EQUIPMENT.
13. OUTLINE OF MECHANICAL UNIT BEYOND.
14. PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD. LOCATION AND SPECS WITH CIVIL AND STRUCTURAL.
15. CANOPY HEATER.
16. 36" COOLER DOOR.
17. COOLER LOCK AND CONTROLS.
18. KNOX BOX.
19. 1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE.
20. ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR.
21. ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR.
22. EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL.
23. PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL.
24. PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL.

EXTERIOR ELEVATION MATERIALS

- A. FIBER CEMENT BRICK SIDING (BRK-2).
- B. FIBER CEMENT BRICK SIDING (BRK-1).
- C. BRAKE METAL FASCIA (MP-2).
- D. SOFFIT PANELS (MP-2).
- E. STANDING SEAM ROOF PANELS (MP-2).
- F. METAL BRAKE CAP (MP-3).
- G. CLEAR ANODIZED ALUMINUM (MP-4).

FINISH MATERIALS SCHEDULE

SYMBOL	ITEM	DESCRIPTION	REMARKS
BRK-1	FIBER CEMENT PANEL SIDING	BRAND: NICHHA COLOR: MIDNIGHT STYLE: MODERN BRICK	EXTERIOR WAINSCOT AND REAR WALL NOTES: a, d
BRK-2	FIBER CEMENT PANEL SIDING	BRAND: NICHHA COLOR: SHALE BROWN STYLE: CANYON BRICK	EXTERIOR WALLS ABOVE WAINSCOT AND ATTIC REAR NOTES: b
FRP-1	FRP WALL COVERING	BRAND: NUDO FIBERLITE COLOR: WHITE STYLE: 4' x FULL HEIGHT x .090"	SERVICE AREA AND TOILET NOTES: c
MP-2	BRAKE METAL	BRAND: BERRIDGE COLOR: ROYAL BLUE STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .26 METAL ROOF AND CANOPIES NOTES: a
MP-3	BRAKE METAL	BRAND: BERRIDGE COLOR: ZINC GREY STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .39 METAL COPING AT REAR WALL NOTES: a
MP-4	BRAKE METAL	BRAND: BERRIDGE COLOR: ZINC GREY STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .39 METAL COPING AT SIDE WALLS NOTES: a
PT-1	PAINT	BRAND: SHERWIN WILLIAMS COLOR: 'INDIGO' SW 6531 STYLE: EGG SHELL	CEILING TRIMS AND MISC TRIMS NOTES: a, c
PT-2	PAINT	BRAND: SHERWIN WILLIAMS COLOR: 'FIRST STAR' SW 7646 STYLE: SEMI-GLOSS	CEILING, INTERIOR TOILET ROOM WALLS, DOORS AND FRAMES NOTES: a, c
VB-1	RESILIENT VINYL BASE	BRAND: AMARCO COLOR: LIGHT GRAY STYLE: PROTECT-ALL BASE	SERVICE AREA AND TOILET NOTES: a
VF-1	RESILIENT VINYL FLOORING	BRAND: AMARCO COLOR: LIGHT GRAY STYLE: PROTECT-ALL FLOORING	SERVICE AREA AND TOILET NOTES: a

FINISH MATERIALS SCHEDULE NOTES:

- a. SITE CONTRACTOR TO COORDINATE WITH PREFABRICATOR DIRECTLY TO DETERMINE SCOPE SPLIT OF ITEMS PROVIDED/INSTALLED/FINISHED WITHIN FABRICATION FACILITY VERSUS ON-SITE.
- b. PROVIDE COMPLETE ARCHITECTURAL SIDING SYSTEM AND ACCESSORIES, INCLUDING MATCHING MANUF FABRICATED CORNERS, FLASHINGS, AND TRIMS. SIDING INSTALLATION PER MANUF INSTALLATION INSTRUCTIONS.
- c. PROVIDE A MINIMUM OF TWO (2) COATS PAINT OVER ONE (1) COAT PRIMER ON ALL EXPOSED GYP BD IN SERVICE AREA AND TOILET.

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA MAY 5, 2026

JOB NUMBER

260004700

SHEET NUMBER

A2.0

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PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
3715 WASHINGTON AVE • SHEBOYGAN, WI 53081

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EXTERIOR ELEVATION MATERIALS

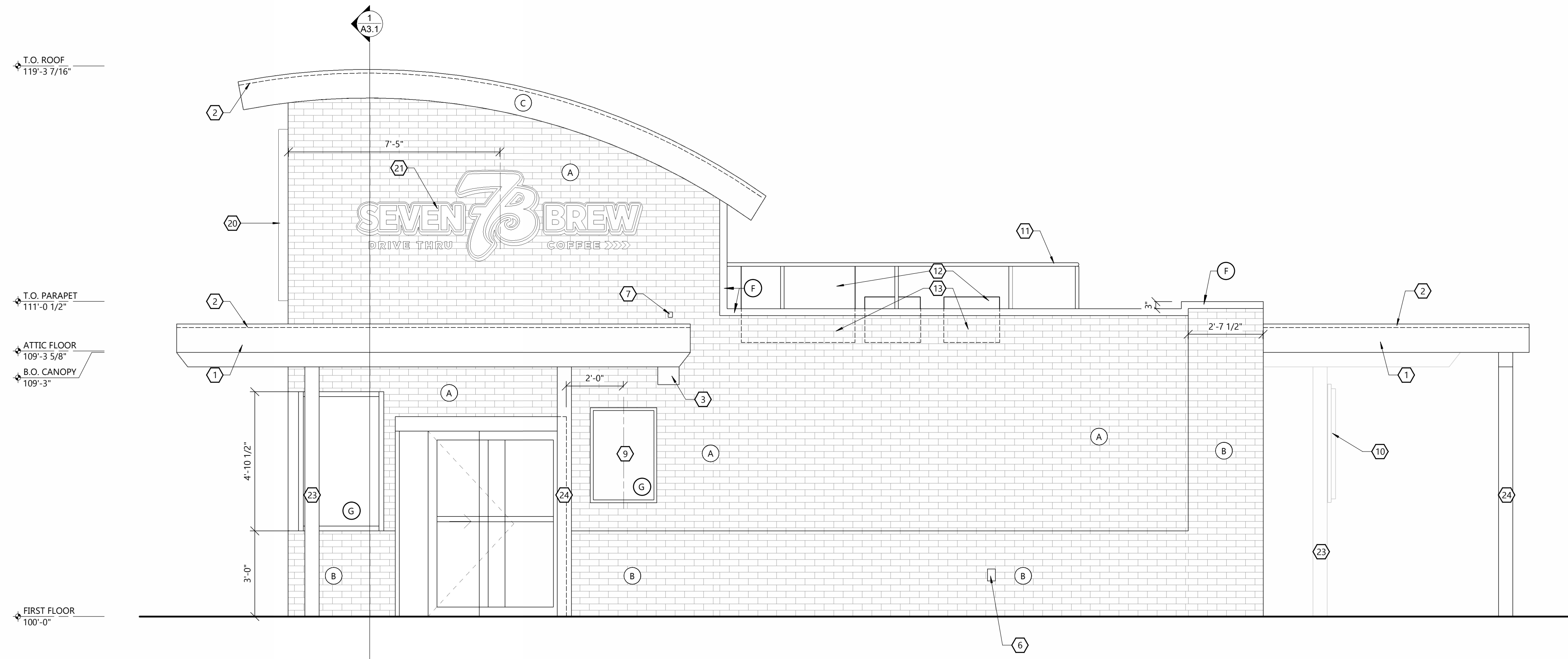
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FINISH MATERIALS SCHEDULE

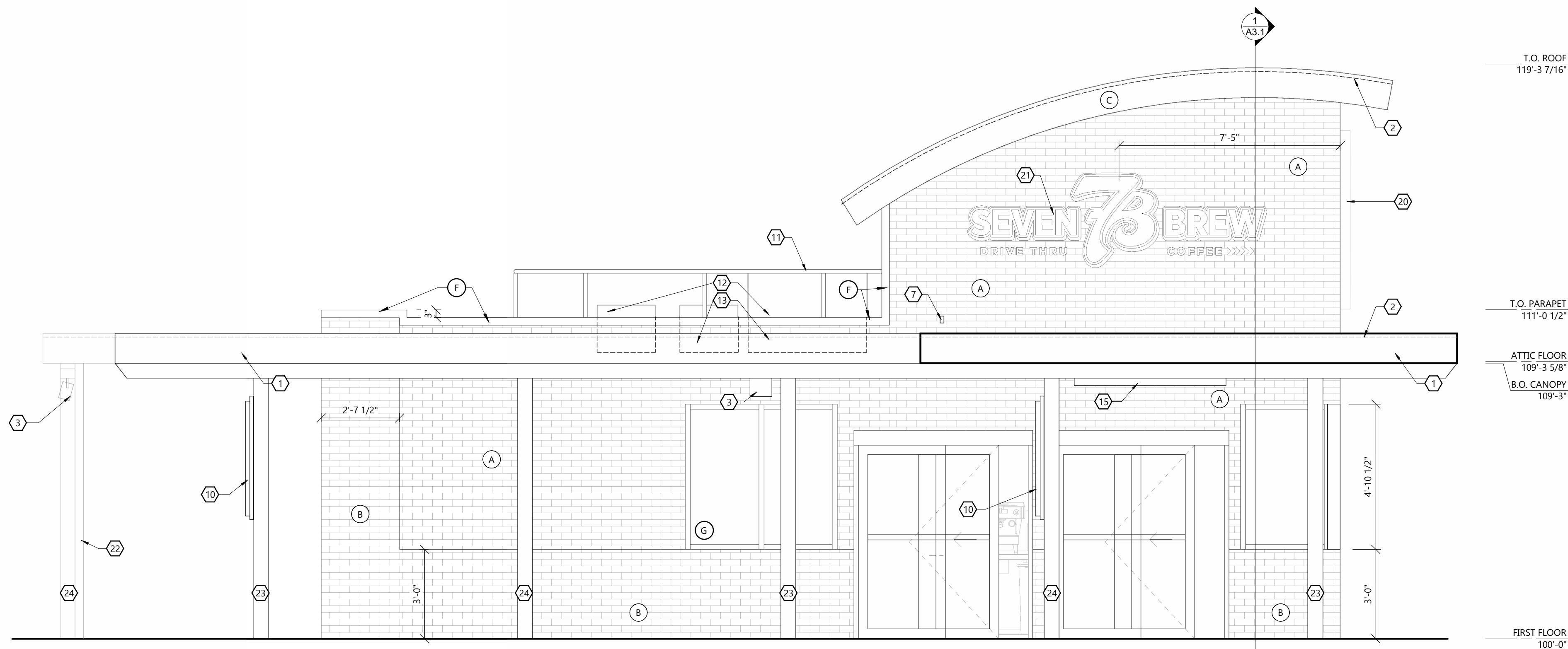
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1 EAST ELEVATION
SCALE: 3/8" = 1'-0"



2 WEST ELEVATION
SCALE: 3/8" = 1'-0"

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA MAY 5, 2026

JOB NUMBER

260004700

SHEET NUMBER

A2.1



Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
 3715 WASHINGTON AVE • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA MAY 5, 2026

JOB NUMBER
 260004700

SHEET NUMBER

A2.2

EXTERIOR ELEVATION KEYNOTES

- PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL.
- SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL.
- MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN.
- ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE.
- ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL.
- FROST PROOF FLUSH HOSE BIB.
- EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL.
- THROUGH WALL SCUPPER ROOF DRAIN.
- SURFACE-MOUNTED LIGHTED SIGN BOX.
- SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY.
- GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR.
- HVAC EQUIPMENT.
- OUTLINE OF MECHANICAL UNIT BEYOND.
- PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD. LOCATION AND SPECS WITH CIVIL AND STRUCTURAL.
- CANOPY HEATER.
- 36" COOLER DOOR.
- COOLER LOCK AND CONTROLS.
- KNOX BOX.
- 1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE.
- ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR.
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- EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL.
- PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL.
- PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL.

EXTERIOR ELEVATION MATERIALS

- A. FIBER CEMENT BRICK SIDING (BRK-2).
- B. FIBER CEMENT BRICK SIDING (BRK-1).
- C. BRAKE METAL FASCIA (MP-2).
- D. SOFFIT PANELS (MP-2).
- E. STANDING SEAM ROOF PANELS (MP-2).
- F. METAL BRAKE CAP (MP-3).
- G. CLEAR ANODIZED ALUMINUM (MP-4).

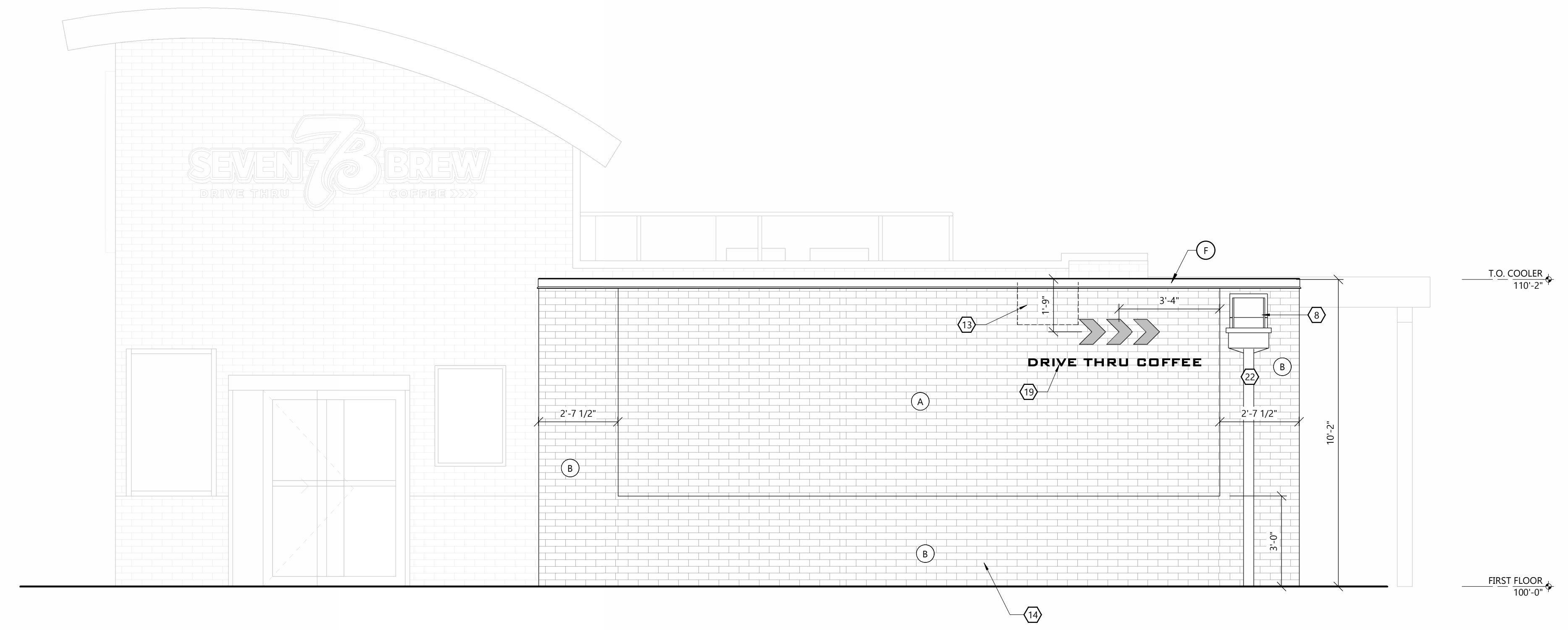
FINISH MATERIALS SCHEDULE

SYMBOL	ITEM	DESCRIPTION	REMARKS
BRK-1	FIBER CEMENT PANEL SIDING	BRAND: NICHHA COLOR: MIDNIGHT STYLE: MODERN BRICK	EXTERIOR WAINSCOT AND REAR WALL NOTES: a, d
BRK-2	FIBER CEMENT PANEL SIDING	BRAND: NICHHA COLOR: SHALE BROWN STYLE: CANYON BRICK	EXTERIOR WALLS ABOVE WAINSCOT AND ATTIC REAR NOTES: b
FRP-1	FRP WALL COVERING	BRAND: NUDO FIBERLITE COLOR: WHITE STYLE: 4' x FULL HEIGHT x .090"	SERVICE AREA AND TOILET NOTES: c
MP-2	BRAKE METAL	BRAND: BERRIDGE COLOR: ROYAL BLUE STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .26 METAL ROOF AND CANOPIES NOTES: a
MP-3	BRAKE METAL	BRAND: BERRIDGE COLOR: ZINC GREY STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .39 METAL COPING AT REAR WALL NOTES: a
MP-4	BRAKE METAL	BRAND: BERRIDGE COLOR: ZINC GREY STYLE: LOW SHEEN SMOOTH	REFLECTIVITY - .39 METAL COPING AT SIDE WALLS NOTES: a
PT-1	PAINT	BRAND: SHERWIN WILLIAMS COLOR: "INDIGO" SW 6531 STYLE: EGG SHELL	CEILING TRIMS AND MISC TRIMS NOTES: a, c
PT-2	PAINT	BRAND: SHERWIN WILLIAMS COLOR: "FIRST STAR" SW 7646 STYLE: SEMI-GLOSS	CEILING, INTERIOR TOILET ROOM WALLS, DOORS AND FRAMES NOTES: a, c
VB-1	RESILIENT VINYL BASE	BRAND: AMARCO COLOR: LIGHT GRAY STYLE: PROTECT-ALL BASE	SERVICE AREA AND TOILET NOTES: a
VI-1	RESILIENT VINYL FLOORING	BRAND: AMARCO COLOR: LIGHT GRAY STYLE: PROTECT-ALL FLOORING	SERVICE AREA AND TOILET NOTES: a

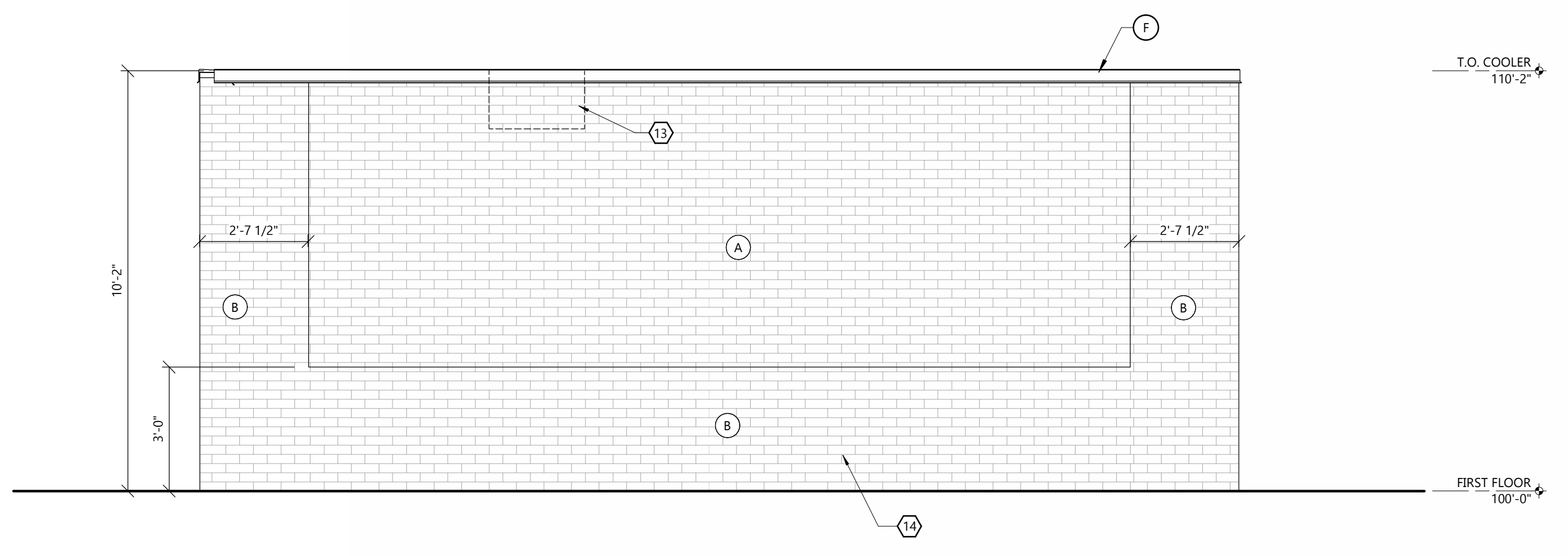
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- PROVIDE A MINIMUM OF TWO (2) COATS PAINT OVER ONE (1) COAT PRIMER ON ALL EXPOSED GYP BD IN SERVICE AREA AND TOILET.

ARCHITECTURAL EXTERIOR ELEVATIONS



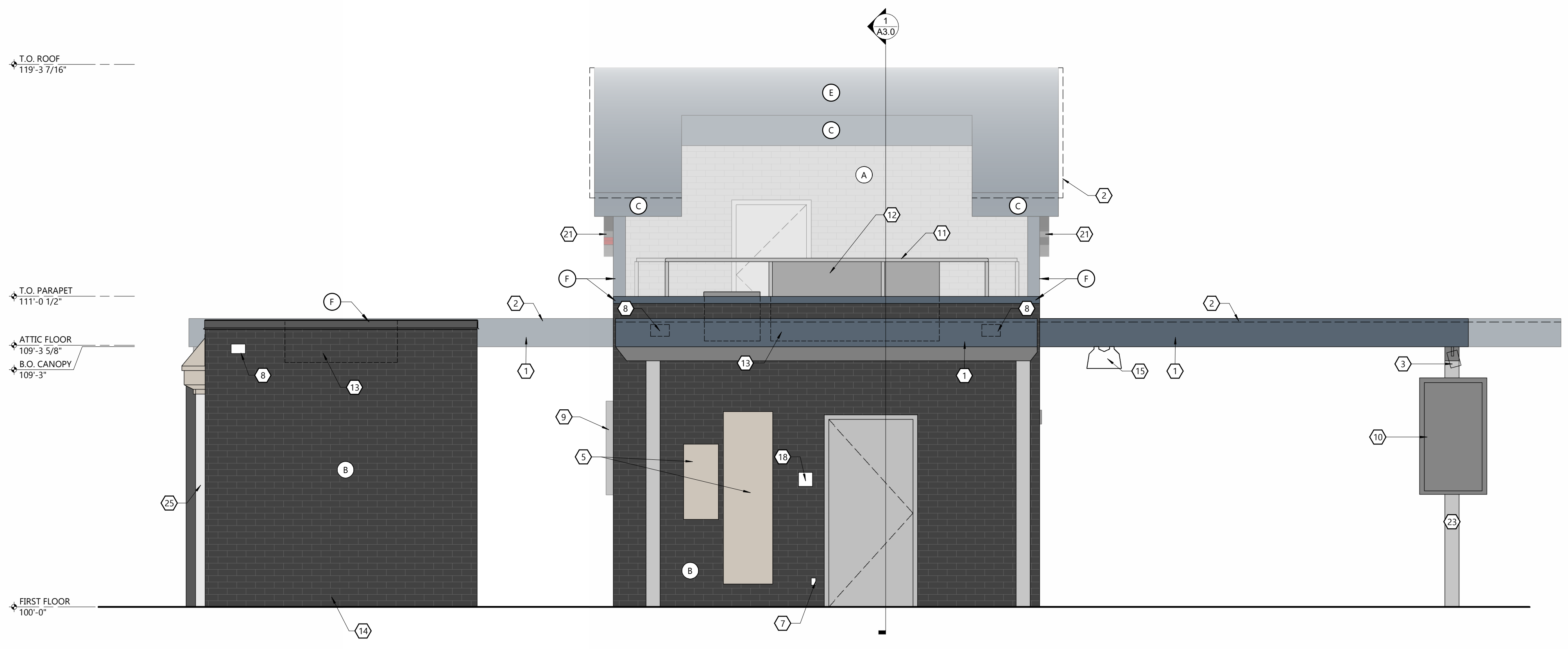
1 EAST COOLER ELEVATION
 SCALE: 3/8" = 1'-0"



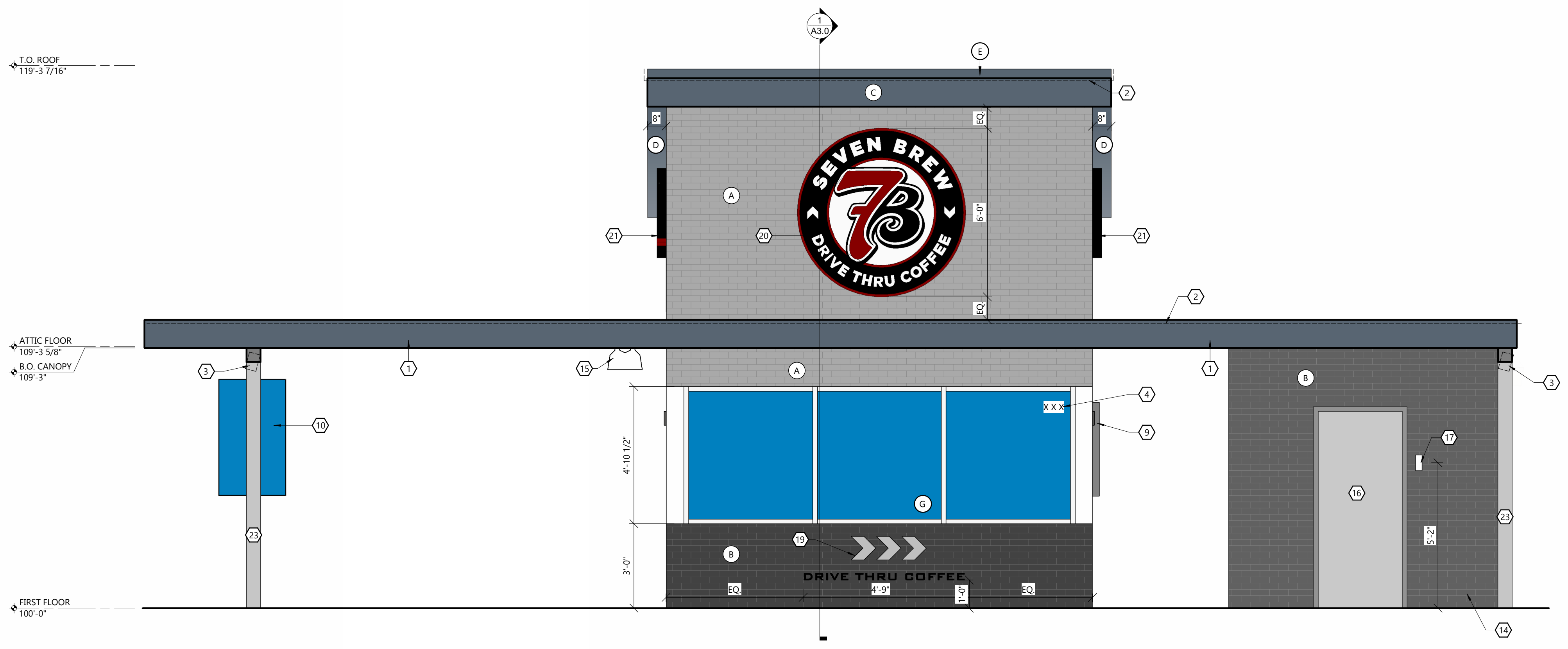
2 WEST COOLER ELEVATION
 SCALE: 3/8" = 1'-0"

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:
7 BREW SHEBOYGAN
3715 WASHINGTON AVE • SHEBOYGAN, WI 53081



1 NORTH ELEVATION
A2.0 SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION
A2.0 SCALE: 3/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES**
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FINISH MATERIALS SCHEDULE			
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PROJECT INFORMATION

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3715 WASHINGTON AVE • SHEBOYGAN, WI 53081



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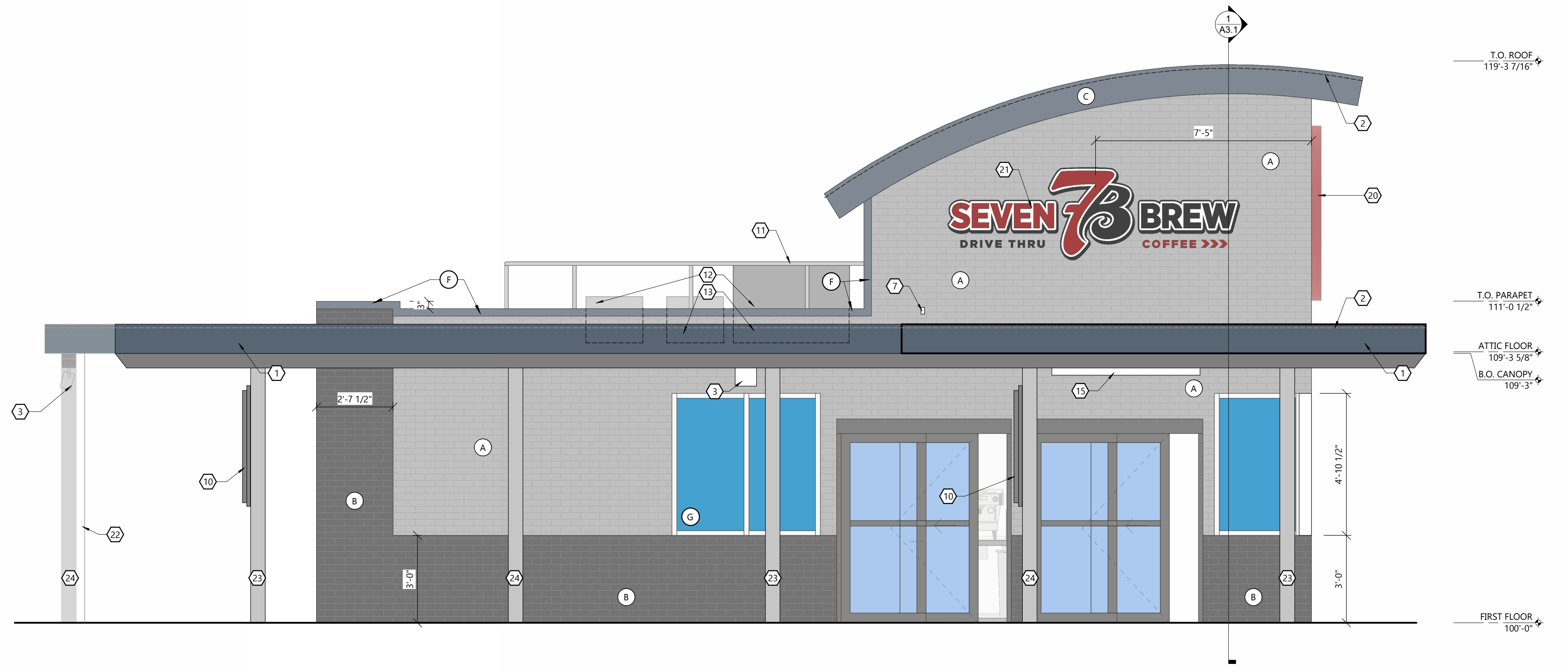
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2 WEST ELEVATION
SCALE: 3/8" = 1'-0"

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EXTERIOR ELEVATION MATERIALS

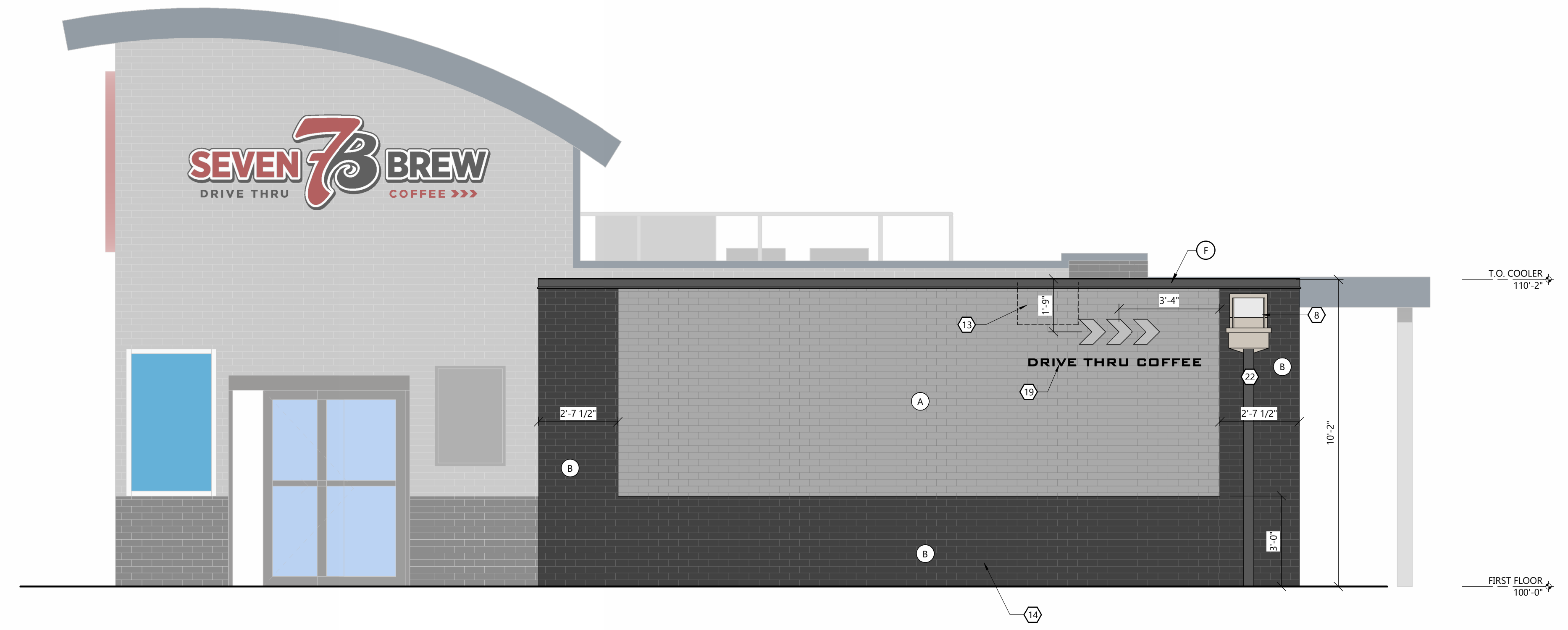
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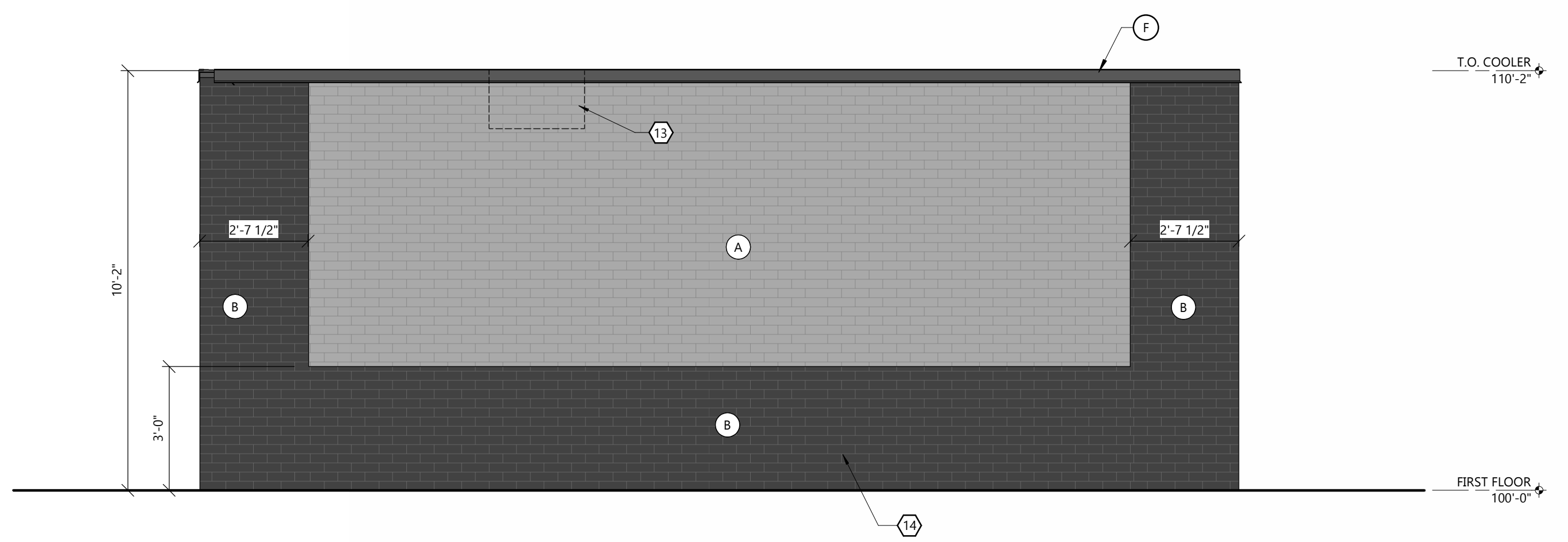
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1 EAST COOLER ELEVATION
 SCALE: 3/8" = 1'-0"



2 WEST COOLER ELEVATION
 SCALE: 3/8" = 1'-0"

**CITY OF SHEBOYGAN
GENERAL ORDINANCE 2-26-27**

BY ALDERPERSON CLOSE.

MAY 12, 2026.

AN ORDINANCE amending the City of Sheboygan Official Zoning Map of the Sheboygan Zoning Ordinance to change the Use District Classification of Parcel No. 59281629560, 2040 North Avenue, Sheboygan, WI from Class Urban Industrial to Urban Commercial Classification.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

SECTION 1: AMENDMENT Chapter 105 of the Sheboygan Zoning Ordinance establishing zoning districts and prescribing zoning standards and regulations is hereby *amended* as follows:

The Official Zoning Map of the City of Sheboygan is hereby amended with regard to the following described lands and the Use District Classification for those same lands is hereby amended from Class Urban Industrial to Urban Commercial Classification:

Property located at 2040 North Avenue, Sheboygan, WI - Parcel No. 59281629560:

SECTION 15, TOWNSHIP 15 NORTH, RANGE 23 EAST

SEC 15 T15N R23E PRT NE1/4NW1/4 COM AT THE INTERSECTION OF N LN NORTH AVE & THE W LN OF NE1/4NW1/4, TH E 33' TO THE E LN N 21ST ST, TH N 20.68' TO P.O.B. TH N 118.32', TH E 160', TH S 139', TH W 132.12', TH N 53*10'5"W34.74'TO P.O.B.

SECTION 2: REPEALER CLAUSE All ordinances or resolutions or parts thereof in conflict with the provisions of this ordinance are hereby repealed to the extent of such conflict.

SECTION 3: EFFECTIVE DATE This Ordinance shall be in effect from and after its passage and publication according to law.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

_____.

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of Sheboygan

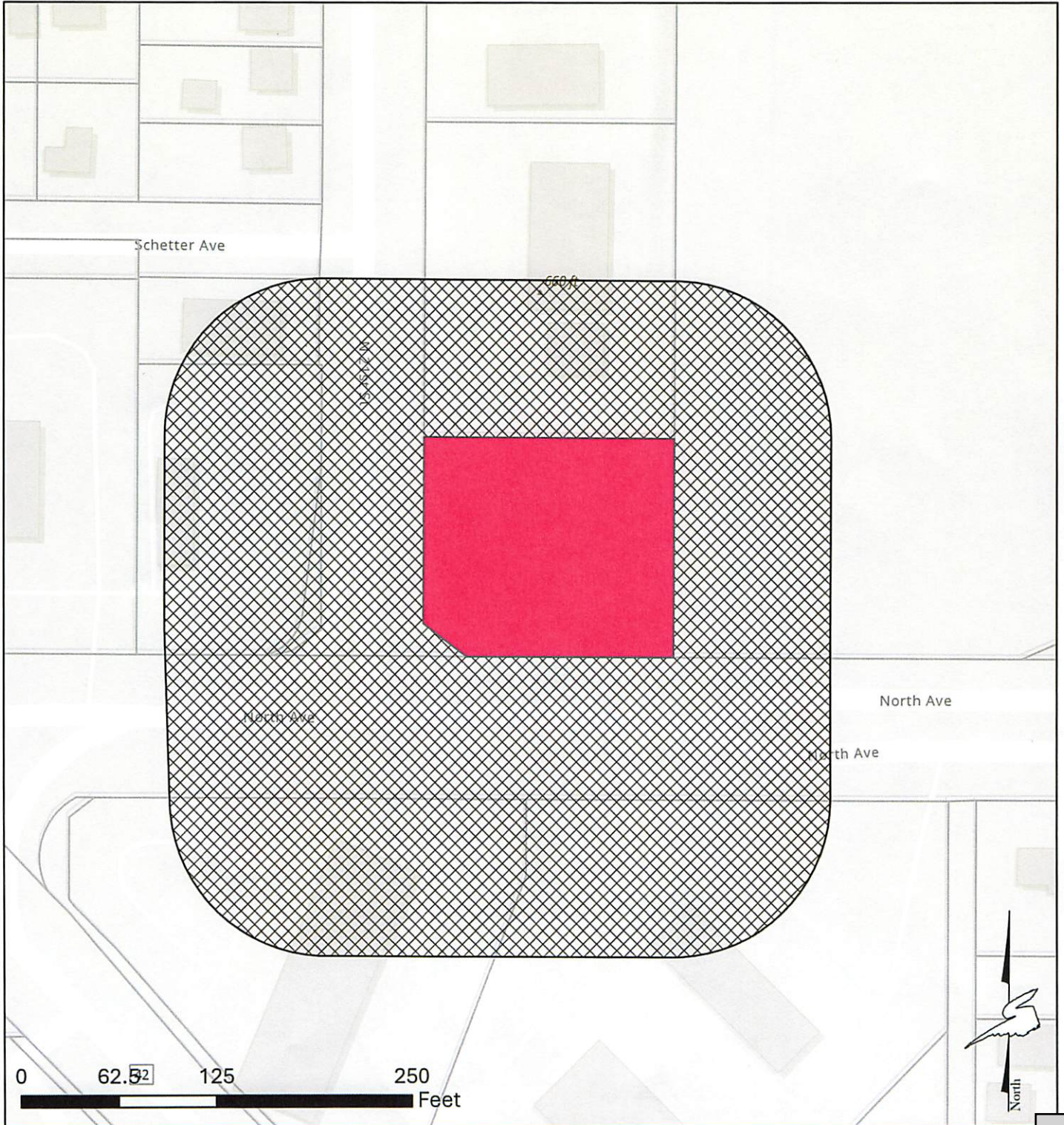
Meredith DeBruin, City Clerk, City of Sheboygan



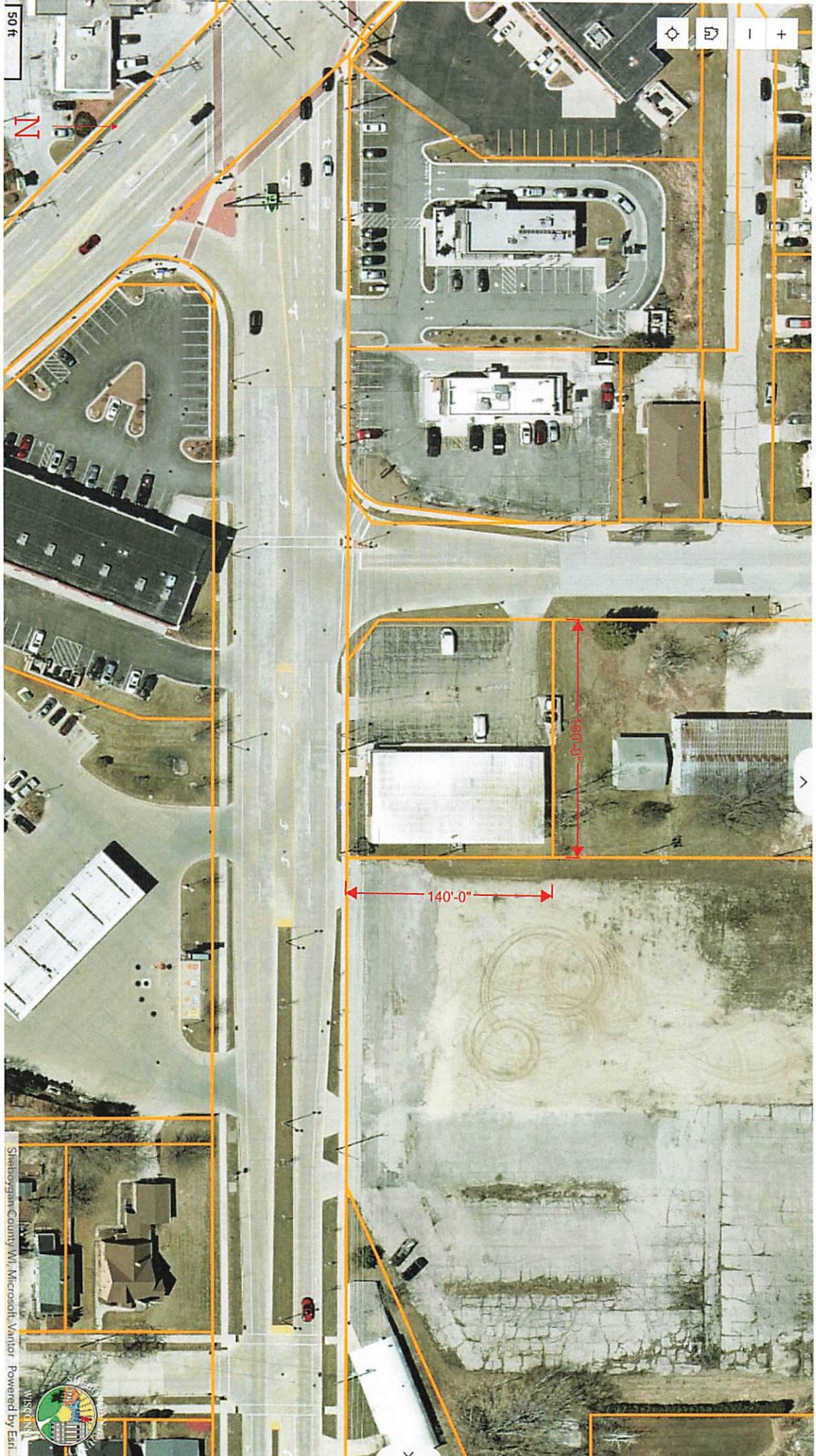
PROPOSED REZONE FROM URBAN INDUSTRIAL TO URBAN COMMERCIAL

SECTION 15, TOWNSHIP 15 NORTH, RANGE 23 EAST

SEC 15 T15N R23E PRT NE1/4 NW1/4 COM AT THE INTERSECTION OF N LN NORTH AVE & THE W LN OF NE1/4 NW1/4, TH E 33' TO THE E LN N 21ST ST, TH N 20.68' TO P.O.B. TH N 118.32', TH E 160', TH S 139', TH W 132.12', TH N 53*10'5" W 34.74' TO P.O.B.







Item 11.

OFFICE USE ONLY	Item 11.
APPLICATION NO.: _____	
RECEIPT NO.: _____	
FILING FEE: \$200.00 (Payable to City of Sheboygan)	

**CITY OF SHEBOYGAN
APPLICATION FOR
AMENDMENT OF OFFICIAL ZONING MAP**
(Requirements Per Section 105.996)
Revised January 2024

Completed application is to be filed with the Office of the City Clerk, City Hall, 828 Center Avenue. Application will not be processed if all required attachments and filing fee of **\$200** (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: ANTHONY TISLAU PHONE NO.: (920) 889-0707
 ADDRESS: W2013 FAIRFIELD LN. E-MAIL: ANTHONYTISLAU@GMAIL.COM
 OWNER OF SITE: J&P REAL ESTATE PHONE NO.: (920) 912-6603

2. DESCRIPTION OF THE SUBJECT SITE

ADDRESS OF PROPERTY AFFECTED: 2040 N. AVE SHEBOYGAN, WI 53083
 LEGAL DESCRIPTION: SEC 15 T15N R23E PRT NE1/4 NW1/4 COM AT THE INTERSECTION OF N LN NORTH AVE & THE W LN OF NE1/4 NW1/4, TH E 33' TO THE E LN N 21ST ST, TH N 20.68' TO P.O.B. TH N 118.32', TH E 160', TH S 139', TH W 132.12', TH N 53*10'5" W 34.74' TO P.O.B.

PARCEL NO. 59281629560 MAP NO. _____

EXISTING ZONING DISTRICT CLASSIFICATION: URBAN INDUSTRIAL

PROPOSED ZONING DISTRICT CLASSIFICATION: URBAN COMMERCIAL

BRIEF DESCRIPTION OF THE **EXISTING** OPERATION OR USE: _____

COMMUNICATIONS BUSINESS "OOSTDYK AND WILKE"

BRIEF DESCRIPTION OF THE **PROPOSED** OPERATION OR USE: _____

PROPOSED CHARTER / EDUCATIONAL FACILITY "FUNDAMENTALS LLC"

3. JUSTIFICATION OF THE PROPOSED ZONING MAP AMENDMENT

How does the proposed Official Zoning Map amendment further the purposes of the Zoning Ordinance as outlined in Section 15.005 and, for flood plains or wetlands, the applicable rules and regulations of the Wisconsin Department of Natural Resources and the Federal Emergency Management Agency? _____

GREAT REPURPOSED USE FOR THIS BUILDING TYPE AND LOCATION

NO NEGATIVE EFFECTS ON SITE / NATURAL RESOURCES

Which of the following factors has arisen that are not properly addressed on the current Official Zoning Map? (Provide explanation in space provided below.)

- The designations of the Official Zoning Map should be brought into conformity with the Comprehensive Master Plan.
- A mistake was made in mapping on the Official Zoning Map. (An area is developing in a manner and purpose different from that for which it is mapped.) *NOTE: If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the City may intend to stop an undesirable land use pattern from spreading.*
- Factors have changed, (such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
- Growth patterns or rates have changed, thereby creating the need for an amendment to the Official Zoning Map.
- Explain: _____

How does the proposed amendment to the Official Zoning Map maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property? _____

ADJACENT URBAN COMMERCIAL ZONING. NEW TENANTS USE DOES IS NOT

CONDITIONALLY LISTED FOR URBAN INDUSTRIAL

Indicate reasons why the applicant believes the proposed map amendment is in harmony with the recommendations of the City of Sheboygan Comprehensive Plan.

OVERALL GREAT USE OF AN EXISTING FACILITY. LOCAL DEMAND FOR
THIS TYPE OF FACILITY. ADJACENT URBAN COMMERCIAL ZONING.

4. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE



DATE

ANTHONY TISLAU

PRINT ABOVE NAME

APPLICATION SUBMITTAL REQUIREMENTS

A copy of the current zoning map of the subject property and vicinity showing:

- The property proposed to be rezoned.
- All lot dimensions of the subject property.
- All other lands within 100 feet of the subject property.
- Map size not more than 11" X 17" and map scale not less than 1" = 600'.
- Graphic scale and north arrow.

CLK322B

City Of Sheboygan
City Clerk's Office

* General Receipt *

Receipt No: 260269

License No: 0000

Date: 04/09/2026

Received By: MC

Received From: ANTHONY TISLAU 2040 NORTH AVE

Memo:

Method of Payment: \$200.00 Check No. 1003

Total Received: \$200.00

<u>Fee Description</u>	<u>Fee</u>
Zoning Change	200.00

This document signifies receipt of fees in the amount indicated above.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Special Use Permit by Fundamentals, LLC to operate a charter school located at 2040 North Avenue.

REPORT PREPARED BY: Ellise Rose, Zoning Administrator

REPORT DATE: May 18, 2026

MEETING DATE: May 26, 2026

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Fundamentals, LLC is proposing to operate a charter school located at 2040 North Avenue. The applicant states the following:

- There is an existing pre-engineered metal building.
- .47 Acre parcel with 6,900 SF of existing building and 9,250 SF of asphalt parking with 22 existing stalls.
- The previous operation was Oostdyk & Wilke, a commercial business. This location was their main office and hub for vehicles and inventory.
- Will be used as an indoor Licensed Educational facility.
- The site was selected for its location near other schools, and to fill a need in Sheboygan.
- Complete update of interior materials and finishes. New flooring, ceilings, drywall, and paint. Updating toilet rooms and plumbing to be ADA compliant. New LED lighting. Additional HVAC upgrades.
- Access is established and functions well. There is sufficient parking for 6-10 employees and student drop off.
- To be completed by June 1, 2026 to begin operation for a Summer semester.
- The proposed use fits well in the area with multiple commercial businesses and is on direct school routes for multiple K-12 educational facilities and bus routes.
- Fundamentals LLC will be a great addition to the community and offer additional resources for parents and students learning. Hours of operation are consistent with educational facilities.

STAFF ANALYSIS:

The use is permitted as a special use under the Urban Commercial (UC) zoning district. Applicant is currently in the process of rezoning this property from Urban Industrial to Urban Commercial

ACTION REQUESTED:

Staff recommends approval of the Special Use Permit subject to the following conditions:

1. This Special Use approval is contingent upon Common Council’s approval of the rezone to Urban Commercial.
2. Prior to building permit issuance, the applicant shall obtain all licenses/permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, storm drainage, health, State of Wisconsin, etc. An occupancy permit shall be granted only at such time as the applicant has met all requirements.
3. If dumpsters are used, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Applicant will provide plans that show the location of any dumpsters and will provide plans that show how the dumpster is to be screened and enclosed (design, materials, colors, location, etc.).
4. Outdoor storage of materials or equipment shall be prohibited.
5. All lighting shall be installed per Section 105-932 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
6. Applicant shall work with staff with regards to appropriate signage. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
7. If there are to be any remodel/renovations to the exterior of the facility, the applicant will be required to obtain Architectural Review approval prior to receiving a building permit for such remodel/renovation.
8. If there are any amendments to the approved Special Use Permit, the applicant will be required to submit a new application reflecting those amendments.

ATTACHMENTS:

Special Use Permit application and attachments



CITY OF SHEBOYGAN
SPECIAL USE AND SITE PLAN REVIEW APPLICATION

Fee: \$100

Item 12.

Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) FUNDAMENTALS LLC	Authorized Representative IDETTE ADAMS	Title CEO	
Mailing Address 5700 W GRANDE MARKET DR.	City APPLETON	State WI	ZIP Code 54913
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Name (Ind., Org. or Entity) J&P REAL ESTATE LLC	Contact Person ANTHONY TISLAK	Title PARTNER	
Mailing Address 9421 S. SHORE DR.	City VALDERS	State WI	ZIP Code 54245
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		
SECTION 3: Architect Information			
Name ANTHONY TISLAK			
Mailing Address W2013 FAIRFIELD LN	City SHEBOYGAN	State WI	Zip 53083
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		
SECTION 4: Contractor Information			
Name J&P REAL ESTATE LLC			
Mailing Address 9421 S. SHORE DR.	City VALDERS	State WI	Zip 54245
Email Address [REDACTED]	Phone Number (incl. area code) [REDACTED]		
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Site Plan Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p> <p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) ANTHONY TISLAK	Title PARTNER	Phone Number [REDACTED]	
Signature of Applicant 	Date Signed 4.20.20		

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Parcel No. 59281629560	Zoning Classification UC
Name of Proposed/Existing Business: FUNDAMENTALS LLC	
Address of Property Affected: 2040 NORTH AVE SHEBOYGAN, WI 53083	
New Building: <input type="checkbox"/>	Addition: <input type="checkbox"/> Remodeling: <input checked="" type="checkbox"/>

SECTION 7: Brief Description of Type of Structure

EXISTING PRE ENGINEERED METAL BUILDING

SECTION 8: Description of EXISTING Operation or Use

**EXISTING OPERATION WAS DOSTDYK & WILKE
THEY WERE A COMMERCIAL BUSINESS AND THE LOCATION WAS THEIR
MAIN OFFICE & HUB FOR VEHICLES & INVENTORY**

SECTION 9: Description of the PROPOSED Operation or Use

**PROPOSED OPERATIONS WILL BE A SMALL CHARTER SCHOOL
WITH AN AFTERSCHOOL PROGRAM**

SUMMARY OF GENERAL OPERATION AND PROPOSED USE

NEW TENANT:

Fundamentals LLC

2040 North Ave, Sheboygan WI 53083

Existing Building Use:

Commercial business (Oostdyk & Wilke)

Proposed Use:

Will be used as an indoor Licensed Educational facility. The site was selected for its location near other schools, and to fill a need in Sheboygan.

Services Provided:

Licensed schooling and afterschool learning.

Existing Facility:

.47 Acre parcel with 6,900 SF of existing building and 9,250 SF of asphalt parking with 22 existing stalls.

No changes are expected to the exterior or site at this time.

Summary of Work:

Complete update of interior materials and finishes. New flooring, ceilings, drywall, and paint. Updating toilet rooms and plumbing to be ADA compliant. New LED lighting. Additional HVAC upgrades.

Access:

Access is established and functions well. There is sufficient parking for 6-10 employees and student drop off.

Signage:

To be determined and approved by building tenant.

Project Timeline:

To be completed by June 1, 2026 to begin operation for a Summer semester.

General Statement:

The proposed use fits well in the area with multiple commercial businesses and is on direct school routes for multiple K-12 educational facilities and bus routes.

Conclusion:

Fundamentals LLC will be a great addition to the community and offer additional resources for parents and students learning. Hours of operation are consistent with educational facilities.

Address of premises	2040 North Ave, Sheboygan, WI 53083
Name of business	Fundamentals LLC
Type of business	Youth Service Agency
Detailed description of the proposed operation. Describe in detail all activities occur at this location.	<p>Our youth agency helps young people who struggle with behavioral, emotional, or mental health challenges. We create a safe and welcoming environment where they can feel comfortable sharing their feelings.</p> <p>We take a whole-person approach. We know that family, school, and community play a big role in mental health. That's why we involve families and offer resources for parents to create a strong support system for young people.</p> <p>At our organization, we believe every young person can overcome challenges and succeed. We are committed to guiding them on their journey toward a brighter future.</p>
Hours and days of operation	Monday - Friday 9 am - 3 pm (Summer) / Monday - Friday 8 am - 7 pm (School Year)
Number of employees	50 - 60
Number of client/customer/patrons visiting this location per day	30 - 35
Describe any services provided on-site	On-site services include the preparation and delivery of our staff's services, as well as meetings, clinical oversight, and administrative support. We also provide light snacks for our participants, which may include fruit (such as grapes or apples), crackers, and drink options like milk, juice, or water.
Describe any services provided off-site	Off-site services are transportation to and from programming, off-site meetings with agencies and families, and activities within the community.
Describe who your business will serve (e.g. neighborhood youth, pregnant women, members of congregation, etc.)	Neighborhood youth and their families

April 20, 2026

Clinical oversight refers to the collaborative efforts of our mental health team members and expressive arts instructors as they engage with the children we serve.

Here's a detailed overview of the activities our mental health team oversees:

****Power Hour**** is a psychoeducation group for youth aged 8 to 12, led by our dedicated mental health team and supported by staff. This program focuses on social-emotional development, using group discussions and interactive activities to help participants understand and manage their emotions while identifying coping strategies for various situations.

****Expressive Arts**** offers a vibrant range of creative opportunities, including digital arts, studio arts, and music. These activities allow youth to express themselves in smaller group settings, which enable individualized instruction and personalized processing. This ensures that participants can explore their creativity at their own pace, with all activities tailored to the age and cognitive levels of our youth.

Each participant receives a customized plan that focuses on life skills, social development, and emotional growth. Strategies employed include modeling, step-by-step guidance, and positive reinforcement, all grounded in respect and connection.

