



ARCHITECTURAL REVIEW BOARD AGENDA

February 24, 2025 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify Potential Conflict of Interest

MINUTES

4. Approval of minutes from January 27, 2025 meeting.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. Construction of a new multi-tenant convenience store and service station located at parcel #59281431172.
6. Construction of a building addition at Old World Creamery located at 1606 Erie Ave

NEXT MEETING

7. March 10, 2025

ADJOURN

8. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN

ARCHITECTURAL REVIEW BOARD MINUTES

Monday, January 27, 2025

Members Present: Joe Clarke, Jerry Jones, Pam Langan, Alderperson Zachary Rust and Dave Aldag

Excused: Robert Heimerl and Richard Linde

Staff/Officials: Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

OPENING OF MEETING

1. Roll Call

Chair Joe Clarke called the meeting to order at 4:00 PM.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Identify Potential Conflict of Interest

No committee member had a conflict of interest.

MINUTES

4. Approval of minutes from the November 11th, 2024 meeting.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELD ON NOVEMBER 11th, 2024.

Motion made by Alderperson Rust, seconded by Jerry Jones

Voting yea: Joe Clarke, Jerry Jones, Pam Langan, Alderperson Zachary Rust and Dave Aldag

Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

5. Exterior remodel of 1510 S 12th Street.

MOTION TO APPROVE AS PRESENTED.

Motion made by Jerry Jones, seconded by Dave Aldag

Voting yea: Joe Clarke, Jerry Jones, Pam Langan, Alderperson Zachary Rust and Dave Aldag

Motion carried.

NEXT MEETING

6. February 10, 2025

The next scheduled meeting is scheduled to be held on February 10, 2025.

ADJOURN

7. Motion to Adjourn

MOTION TO ADJOURN AT 4:06 PM

Motion made by Jerry Jones, seconded by Dave Aldag

Voting yea: Joe Clarke, Jerry Jones, Pam Langan, Alderperson Zachary Rust and Dave Aldag

Motion carried.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a new multi-tenant convenience store and service station located at parcel #59281431172.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: January 31, 2025

MEETING DATE: February 10, 2025

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Basudev Adhikari is proposing to construct a new multi-tenant convenience store and service station located at parcel #59281431172. The applicant states the following:

- The proposed project will be a multi-tenant commercial building with a c-store/gas station, liquor store, UPS shipping store, and a restaurant.
The exterior building materials would be a combination of 2'x8' horizontal LP panel siding (Cavern Steel), EIFS (Light Gray), & a 4'-0" tall Masonry veneer base around the entire building.
The masonry veneer will be used as a base wainscot for the building.
Exterior building materials are shown to closely resemble the recently completed 26th & Superior J-Mart and the approved 15th & Geele project in construction. The owner is looking to identify this architectural image as his branded image for new locations.
Entrance storefront glass doors are emphasized with complimentary suspended awnings & store signage (signage to be submitted at a later date).
Buildings will have rooftop parapet walls to conceal all rooftop mechanical equipment.
The proposed BP Fueling Canopy will follow the standard BP architectural guidelines outlined in the attached Canopy Renderings. This canopy aligns well with design of other BP fueling stations around the City of Sheboygan and will serve as a recognizable, convenient destination along a heavily traveled corridor.
The proposed Canopy will include Masonry piers wrapped steel Canopy Columns as requested by the City of Sheboygan. Masonry piers will consist of a gray-tone stone veneer, matching the base material used on the exterior of the J-Mart Convenience Store.
The stone veneer will wrap the columns up to 8'-0", similar to the project recently completed on Superior Avenue. BP standard painting requirements will be followed for the exposed column above the Masonry.
The Canopy will consist of prefinished metal facia facade painted to align with the attached BP standard architectural flow.

- (2) Helios will be installed on the fascia of the canopy.
- Helios will not extend above the horizontal plain of the canopy.
- Helios will be under 20SF ea.
- Outdoor storage on this site will be limited to Firewood, LP Storage, and Ice Storage. There will not be any vending machines or dispensers located on the exterior of the building.
- Firewood display: A small firewood rack will be displayed on the exterior of the building. Customers are to purchase firewood at the register and pick-up outside.
- LP & Ice Storage: A locked LP Storage cage & Ice box will be located on the south face of the building. Customers are to purchase LP & Ice products inside the convenience store and are to be assisted by a store employee to get access to the products.
- Air/Vacuum equipment will not be present on this site.
- Constructing a gas station & mixed-use Building in this area would provide a quick, convenient location for residents to stop and satisfy multiple needs at one location.
- The new development would serve as a quick, easily accessible location for residents of nearby residential neighborhoods.

STAFF COMMENTS:

This development will certainly change the appearance of this property and has the ability to positively impact the look and feel of this Business Dr corridor, so it is imperative that Mr. Adhikari properly maintain this new facility and property.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.



CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW
APPLICATION

Fee: \$100
Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) Basudev Adhikari	Authorized Representative Quasius Construction, Inc.	Title Contractor	
Mailing Address 916 Mulberry Land	City Kohler	State WI	ZIP Code 53044
Email Address missionbda@gmail.com		Phone Number (incl. area code)	
SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)			
Name (Ind., Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	
SECTION 3: Architect Information			
Name AWM Design			
Mailing Address 2514 CLEAR BROOK CIR	City Green Bay	State WI	Zip 54313
Email Address alexander.mceathron@gmail.com		Phone Number (incl. area code) (414) 313-7378	
SECTION 4: Contractor Information			
Name Quasius Construction, Inc.			
Mailing Address PO Box 727	City Sheboygan	State WI	Zip 53082
Email Address ggartman@quasius.com		Phone Number (incl. area code) (920) 377-1566	
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p> <p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) Quasius Construction, Inc/ Gary Gartman		Title Contractor	Phone Number (920) 377-1566
Signature of Applicant 		Date Signed 11/7/25	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description 3207 S BUSINESS DR		Parcel No. 59281431172
Name of Proposed/Existing Business:	Multi Use Commercial Tenant Building	
Address of Property Affected:	3207 S BUSINESS DR	
Zoning Classification:	Urban Commercial District	
New Building: <input checked="" type="checkbox"/>	Addition: <input type="checkbox"/>	Remodeling: <input type="checkbox"/>

SECTION 7: Description of Proposed Project

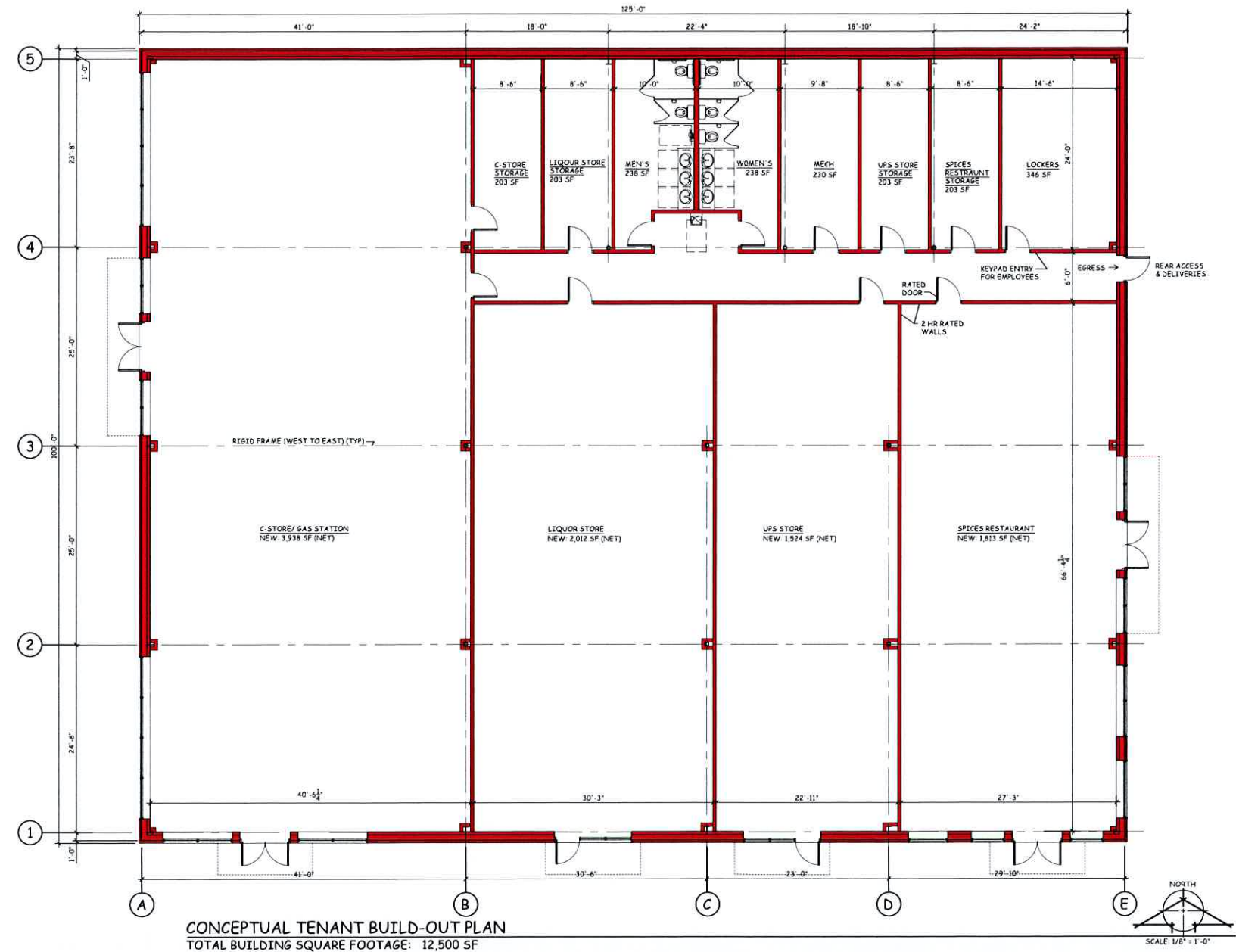
Multi-tenant commercial building with
* C-Store/Gas Station
* Liquor Store
* UPS Shipping Store
* Restaurant

SECTION 8: Description of EXISTING Exterior Design and Materials

N/A - New Construction

SECTION 9: Description of the PROPOSED Exterior Design and Materials

The exterior building materials would be a combination of 2'x8' horizontal LP panel siding (Cavern Steel), EIFS (Light Gray), & a 4'-0" tall Masonry veneer base around the entire building. The building materials would be identical to those used on the completed 26th & Superior project and the ongoing project at 15th & Geele.



Notes & Revisions

Client Name

3207 S. BUSINESS DRIVE

CONCEPT PLAN
AND ELEVATIONS

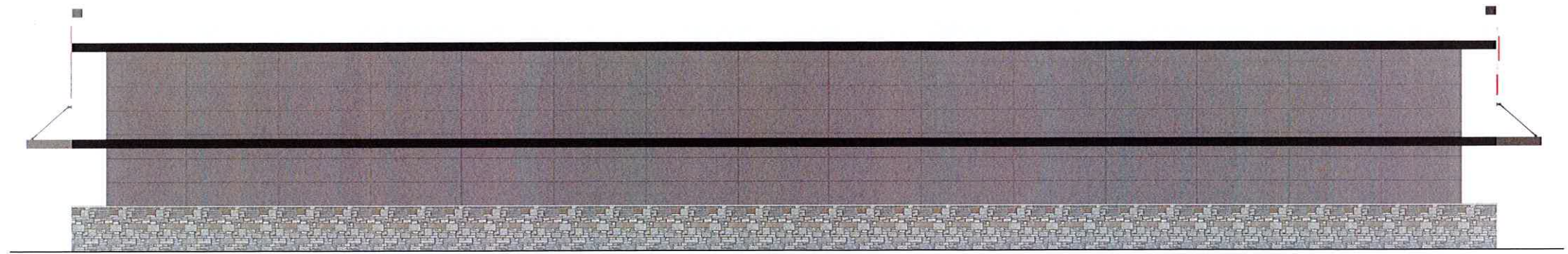
Project number: 2024.XX
 Date: 7 JANUARY, 2025
 Drawn by: AWM
 Checked by: GG



CONCEPTUAL STREET VIEW PERSPECTIVE

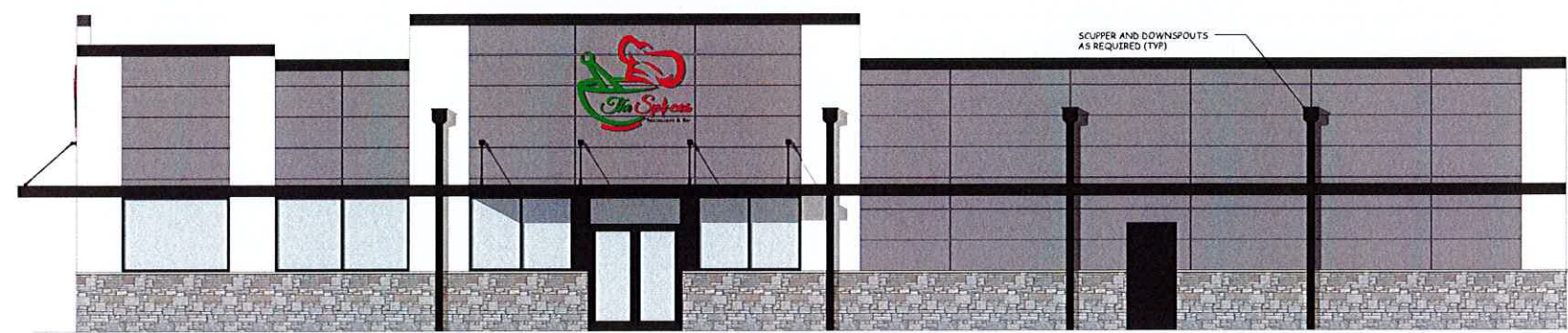
"PRELIMINARY DESIGN ONLY - NOT FOR CONSTRUCTION"

A1



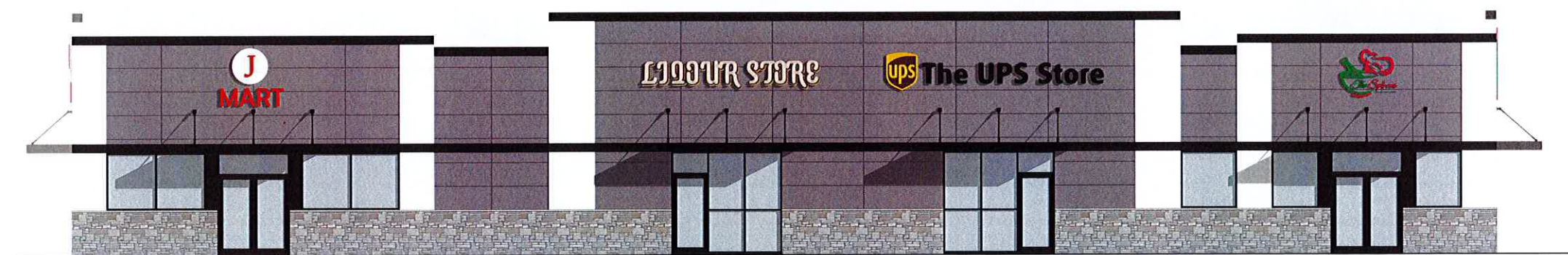
CONCEPTUAL NORTH ELEVATION

SCALE: 3/16" = 1'-0"



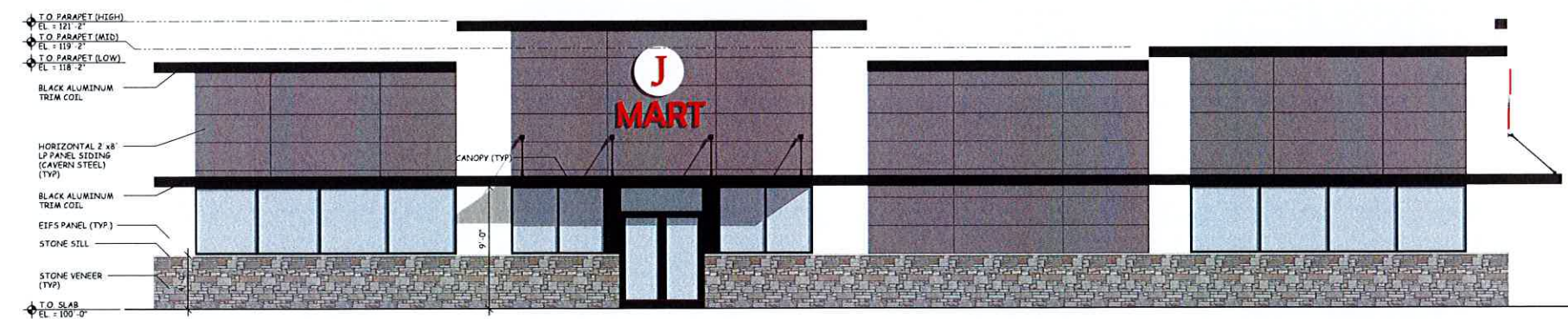
CONCEPTUAL EAST ELEVATION

SCALE: 3/16" = 1'-0"



CONCEPTUAL SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



CONCEPTUAL WEST ELEVATION

SCALE: 3/16" = 1'-0"

"PRELIMINARY DESIGN ONLY - NOT FOR CONSTRUCTION"

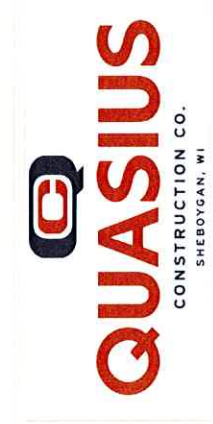
Notes & Revisions

Client Name
3207 S. BUSINESS DRIVE

CONCEPT PLAN
AND ELEVATIONS

2024-XX
7 JANUARY, 2025
Project number
Date
Drawn by
Checked by
AWM
GG

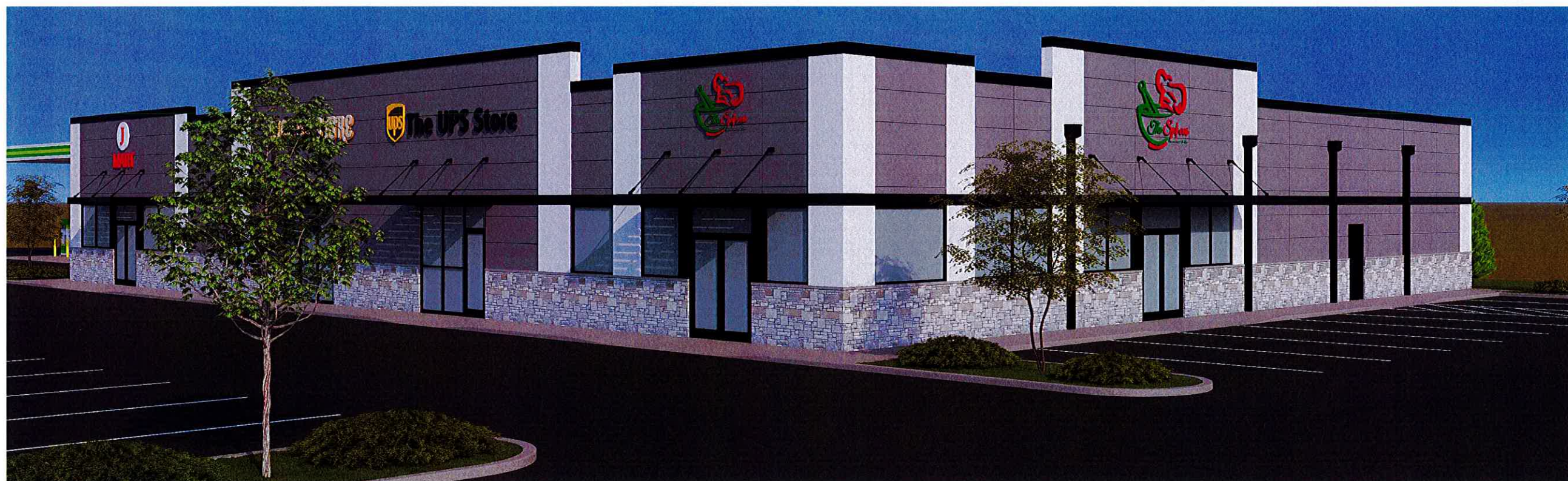
A2



CONCEPTUAL SOUTH-WEST PERSPECTIVE

SCALE: NTS

Notes & Revisions



CONCEPTUAL SOUTH-EAST PERSPECTIVE

SCALE: NTS

Client Name
3207 S. BUSINESS DRIVE

CONCEPT PLAN
AND ELEVATIONS

Project number 2024-XX
Date 7 JANUARY, 2025
Drawn by AWM
Checked by GG

A3

"PRELIMINARY DESIGN ONLY - NOT FOR CONSTRUCTION"



Notes & Revisions
6 PUMP ROTATED 90 DEGREES

Client Name
3207 S. BUSINESS DRIVE

CONCEPT PLAN AND ELEVATIONS
Project number: 2024.XX
Date: 30 JANUARY, 2025
Drawn by: AWM
Checked by: GG

A4

MINIMUM LANDSCAPE SURFACE RATIO (LSR) = .10
SITE: 85,633 x .10 = 8,564 SF LANDSCAPE REQUIRED
17,391 SF LANDSCAPE PROVIDED

1 PARKING SPACE PER 300 SF GROSS BUILDING AREA
12,500 / 300 = 42 PARKING SPACES REQUIRED
82 PARKING SPACES PROVIDED

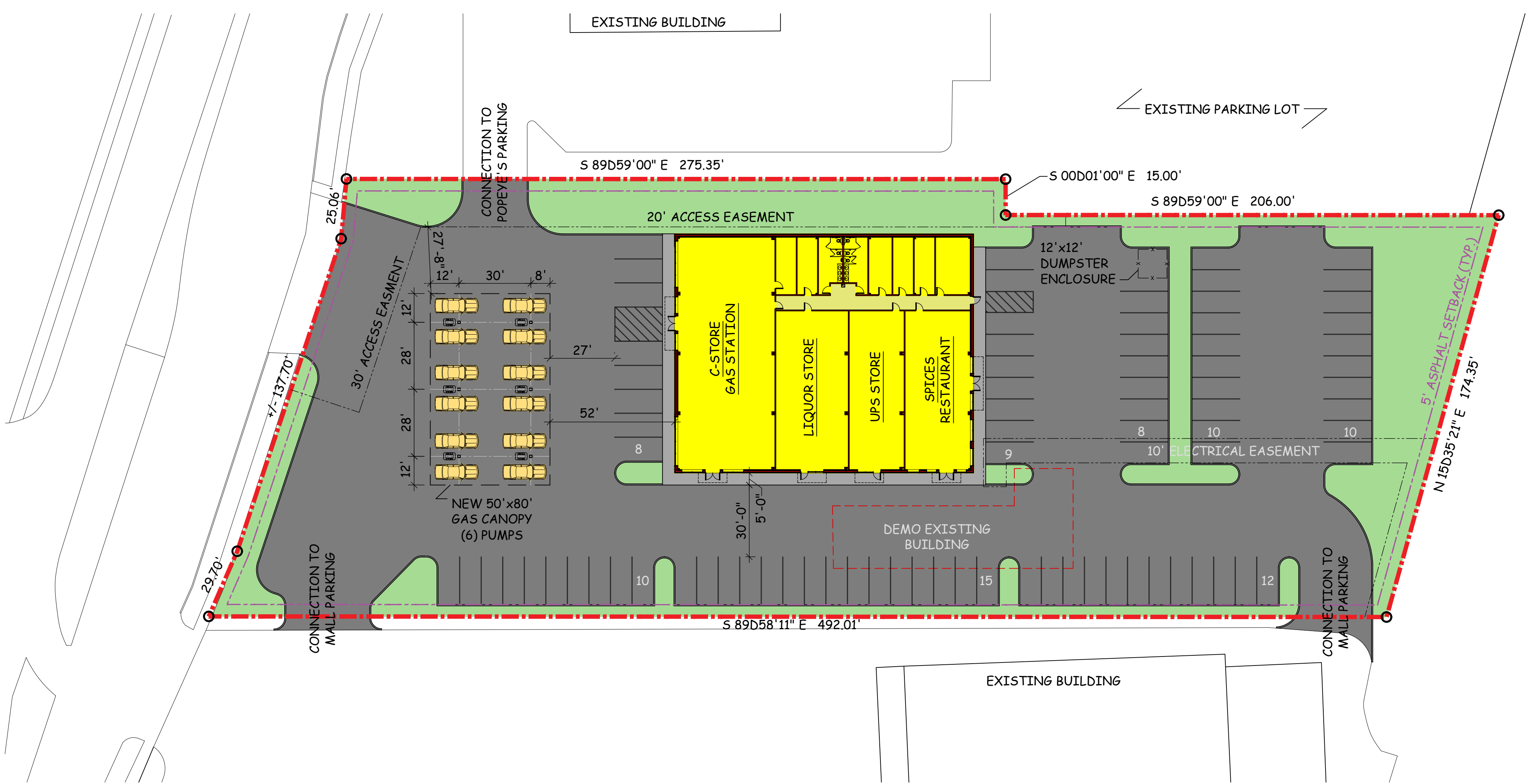
ZONING = URBAN COMERCIAL (UC)

LANDSCAPE CALCULATION EQUATIONS

1. PAVED AREA: 53,504 SF / 10,000 = 5.4 x (40)	= 216 POINTS
1b. PARKING SPACES: 82 / 20 = 4.1 x (40)	= 164 POINTS
2. STREET FRONTAGE: 193 FT / 100 = 2 x (20)	= 40 POINTS
3. BUILDING PERIMETER: 450 FT / 100 = 4.5 x (20)	= 90 POINTS
4. BUILDING FLOOR AREA: 12,500 / 1,000 = 12.5 x (5)	= 63 POINTS
TOTAL POINTS REQUITED	= 405 POINTS

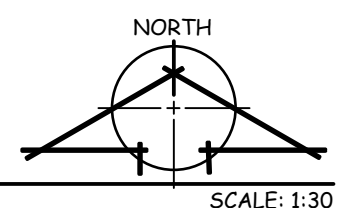
VEGETATION PERCENT REQUIREMENTS

30% CLIMAX OR TALL TREES MINIMUM: 405p x 0.3	= 122 POINTS
40% SHRUB MINIMUM: 405p x 0.4	= 162 POINTS



CONCEPTUAL SITE PLAN
PARCEL NUMBER: 59281431172 || AREA: 1.966 ACRES (85,633 SF) || ZONING: UC

"PRELIMINARY DESIGN ONLY - NOT FOR CONSTRUCTION"



SITE NARRATIVE – Conditional Use Application

January 7, 2025

PROJECT NAME AND ADDRESS: 3207 South Business Drive, Sheboygan WI, 53081

Gas Station Canopy, Mixed Use Building to including a Convenience Store, Liquor Store, Shipping Store and Restaurant

ESTIMATED PROJECT COST: \$2,500,000

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION:

- LOT 2 CSM V30 P219-221 #2122307 BEING PART OF THE SW SW SEC 34.
- The entire lot area is 1.97 acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

UC – Urban Commercial District

EXISTING SITE CONDITIONS/LAND USE:

- The site is currently not in use. The existing metal building will be demolished as part of this project.

PROPOSED LAND USE/LOT COVERAGE SITE DATA

- Property Size: .1.97
- New Canopy Footprint per site plan (4 Pumping Stations)
 - Canopy to have 15'-6" for vehicle clearance
 - Top of Canopy to be 18'-6"
- New Building Footprint: 12,500 SF
- New Paving per site plan
- Underground fuel storage tanks

SITE SELECTION

- This property was selected for this development for its appealing location along the South Business Drive Corridor and complimenting businesses to the north and south.
- We believe this location aligns well with the City of Sheboygan's Comprehensive plan for development & redevelopment. Eliminates a vacated site on a primary City street.

- Constructing a Gas Station & Mixed Use Building in this area would provide a quick, convenient location for residents to stop and satisfy multiple needs at one location.
- The new development would serve as a quick, easily accessible location for residents of nearby residential
- Strengthens the City of Sheboygan's Comprehensive goal to promote "Complete neighborhoods" with a mix of residences and beneficial service businesses.

LANDSCAPE & STORMWATER REQUIREMENTS:

- Landscaping plan will meet City of Sheboygan's landscaping point system requirements through completion of the plans prior to permitting & construction.
- The proposed project will meet City of Sheboygan's stormwater requirements through completion of the plans prior to permitting & construction.

PERFORMANCE STANDARDS/POTENTIAL NUISANCES:

- All performance standards to comply with the City of Sheboygan Zoning Ordinance, section 15-7
- Noise and odors as a result of the filling stations & restaurant will be minimal and should not be considered a nuisance concern for the nearby community.

OUTDOOR STORAGE:

- Outdoor storage on this site will be limited to Firewood, LP Storage & and Ice Storage. There will not be any vending machines or dispensers located on the exterior of the building.
- Firewood display: A small firewood rack will be displayed on the exterior of the building. Customers are to purchase firewood at the register and pick-up outside.
- LP & Ice Storage: A locked LP Storage cage & Ice box will be located on the south face of the building. Customers are to purchase LP & Ice products inside the convenience store and are to be assisted by a store employee to get access to the products.
- Air/Vacuum equipment will not be present on this site

SITE LIGHTING:

- Wall mount light fixtures will be installed on the building as shown on the attached elevations.
- Lights will be used as backlighting for the building and provide lighting for sidewalks along the building storefronts and east side.
- Lights to be mounted in a downlit position and will throw off 1200 or less Lumens
- Scottsdale Vertex LED lights will be installed on the underside of the canopy structure.
- No flashing or flickering lights will be used on the promises
- We will not be exceeding .50 footcandles at the property line
- Helios will be internally lit, specs are attached



ARCHITECTURE:

- The building will be constructed using an architecturally pleasing combination of Gray Stone veneer masonry, Cavern Steel LP Horizontal panel siding, light gray EIFS, and black accent bands.
- The masonry veneer will be used as a base wainscot for the building.
- Exterior building materials are shown to closely resemble the recently completed 26th & Superior J-Mart and the approved 15th & Geele project in construction. The Owner is looking to identify this architectural image as his branded image for new locations.
- Entrance storefront glass doors are emphasized with complimentary suspended awnings & store signage (signage to be submitted at a later date)
- Building will have rooftop parapet walls to conceal all rooftop mechanical equipment
- The proposed BP Fueling Canopy will follow the standard BP architectural guidelines outlined in the attached Canopy Renderings. This canopy aligns well with design of other BP fueling stations around the City of Sheboygan and will serve as a recognizable, convenient destination along a heavily traveled corridor.
- The proposed Canopy will include Masonry piers wrapping steel Canopy Columns as requested by the City of Sheboygan. Masonry piers will consist of a gray- tone stone veneer, matching the base material used on the exterior of the J-Mart Convenience Store.
- The stone veneer will wrap the columns up 8'-0", similar to the project recently completed on Superior Avenue. BP standard painting requirements will be followed for the exposed column above the Masonry.
- The Canopy will consist of prefinished metal fascia façade painted to align with the attached BP standard architectural flow.
- (2) Helios will be installed on the fascia of the canopy
- Helios will not extend above the horizontal plan of the canopy
- Helios will be under 20SF ea.

ADDITIONAL CONSIDERATIONS/COMMENTS:

- Restaurant will be run by the Owner and sell traditional Indian Foods. The restaurant will be a small sit and dine that can accommodate up to twenty four (24) sit-down customers at a time.
- Dumpster enclosure to be constructed using Masonry concrete blocks wrapped in thin stone veneer, to match exterior. Located in the back on the east side to the north.
- Dumpster pickups will not interfere with sidewalk/traffic
- Rooftop water will be collected on the east (backside) of the building and drain to storm system
- The Owner has committed to using the same/similar architectural flow provided and approved for this 26th & Superior building on future projects throughout the City. This is the architectural flow that was used in the building design for this development.
- The Owner is aiming to achieve uniformed, identifiable building design going forward.
- Monument Sign to be submitted by separate contractor at a later date. Location TBD through signage approval requirements & process

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a building addition at Old World Creamery located at 1606 Erie Ave.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: February 18, 2025

MEETING DATE: February 24, 2025

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Steve Knaus is proposing to construct a building addition at Old World Creamery located at 1606 Erie Avenue. The applicant states the following:

- Our intention for this building addition is for a dry storage facility to house our packaging materials.
- The building itself would match our recent addition.
- We plan to match the height to the existing, giving the appearance of a seamless transition.
- We will also be using the same stand-up preformed, concrete walls as previously used to share the same decorative curb appeal.
- The additional will be a 14,950 square foot precast concrete panel tip up addition with the same color as the existing building for dry storage.

STAFF COMMENTS:


It appears that the new building addition will match the look and feel of the existing buildings which works well architecturally in this visible area along Erie Avenue.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

	CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION	Fee: _____
		Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information			
Name (Ind., Org. or Entity) <i>Old World Creamery</i>	Authorized Representative <i>Steve Knaus</i>	Title <i>Owner</i>	
Mailing Address <i>1606 Erie Ave.</i>	City <i>Sheboygan</i>	State <i>WI</i>	ZIP Code <i>53081</i>
Email Address <i>Steve@owcreamery.com</i>	Phone Number (incl. area code) <i>608-575-8008</i>		
SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)			
Name (Ind., Org. or Entity) <i>Steve Knaus</i>	Contact Person <i>Steve Knaus</i>	Title <i>Owner</i>	
Mailing Address <i>Same as above</i>	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	
SECTION 3: Architect Information			
Name <i>Bayland Buildings Inc. (David O'Brien)</i>			
Mailing Address <i>P.O. Box 13571</i>	City <i>Green Bay</i>	State <i>WI</i>	Zip <i>54307</i>
Email Address <i>dobrien@baylandbuildings.com</i>	Phone Number (incl. area code) <i>920-371-6200</i>		
SECTION 4: Contractor Information			
Name <i>Same as above</i>			
Mailing Address	City	State	Zip
Email Address		Phone Number (incl. area code)	
SECTION 5: Certification and Permission			
<p>Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.</p> <p>Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.</p>			
Name of Owner/Authorized Representative (please print) <i>David O'Brien</i>		Title	Phone Number <i>920-371-6200</i>
Signature of Applicant <i>[Signature]</i>		Date Signed <i>1-29-25</i>	

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description		Parcel No.
1606 Erie Ave		
Name of Proposed/Existing Business:	old world creamery	
Address of Property Affected:	1606 Erie Ave	
Zoning Classification:		
New Building: <input type="checkbox"/>	Addition: <input checked="" type="checkbox"/>	Remodeling: <input type="checkbox"/>

SECTION 7: Description of Proposed Project

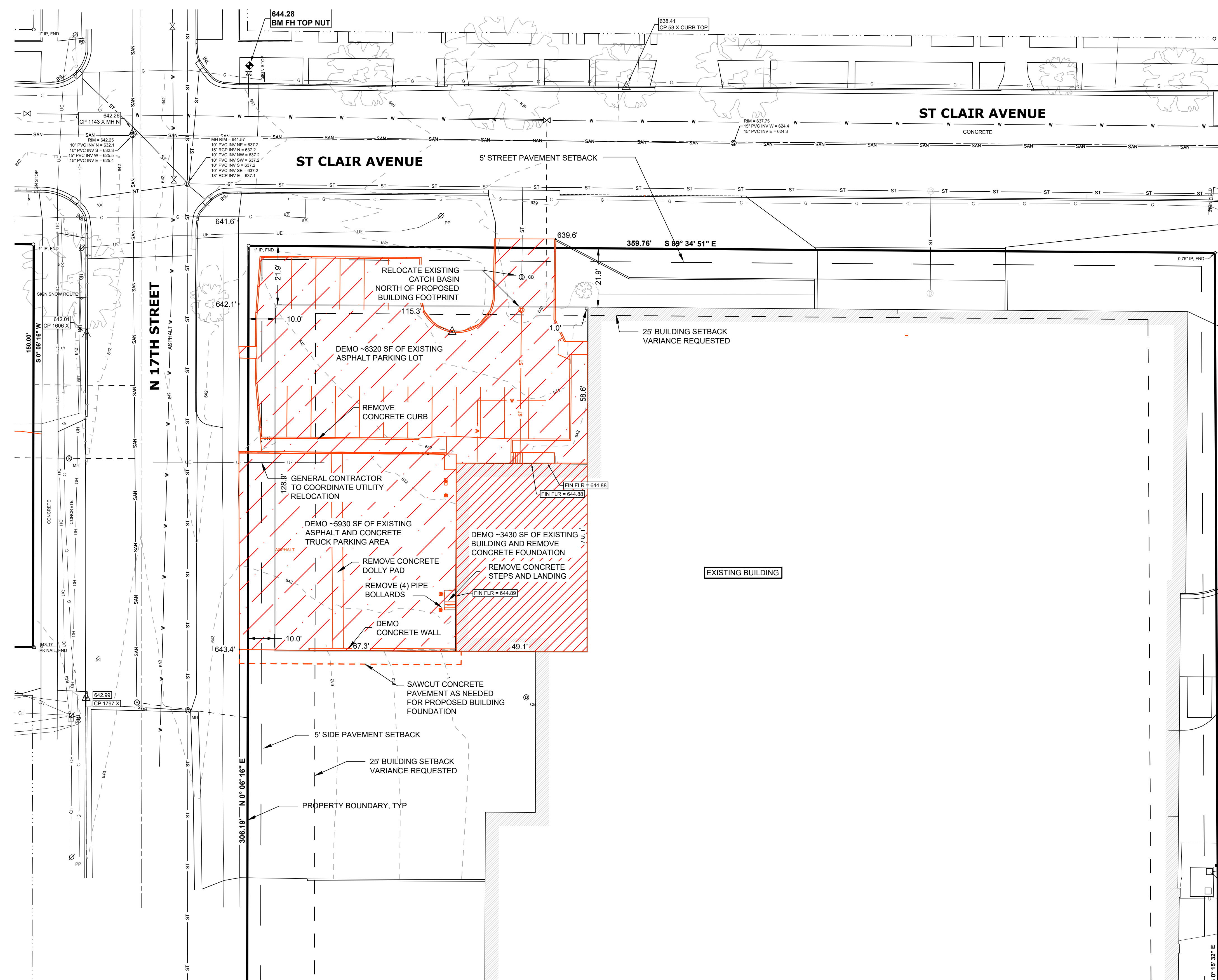
1/4, 950 S.F. precast concrete panel tip up addition with same ~~color~~ color as existing building for dry storage.

SECTION 8: Description of EXISTING Exterior Design and Materials

Precast Tip up panels

SECTION 9: Description of the PROPOSED Exterior Design and Materials

Precast Tip up concrete panels



GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 ft.
 FOR 24" X 36" PRINT

THIS DRAWING HAS BEEN PROVIDED FOR DESIGN, ESTIMATING, AND/OR CONSTRUCTION PURPOSES ONLY. THIS DRAWING AND INFORMATION REMAINS THE PROPERTY OF WAGNER EXCAVATING, INC. AND MAY NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF WAGNER EXCAVATING, INC. THE INTENT OF THE DESIGN IS FOR CONSTRUCTION AND/OR APPROVAL. IT IS THE OWNERS RESPONSIBILITY FOR MAINTENANCE AND SAFETY OF THE CONSTRUCTED ITEMS

No.	Revision	Date
5		
4		
3		
2		
1		



DESIGNED BY:
 CRAIG A. RUSCH

2025 Site Development
 Old World Creamery
 1606 Erie Avenue
 Sheboygan, Wisconsin

DATE
 1-29-2025

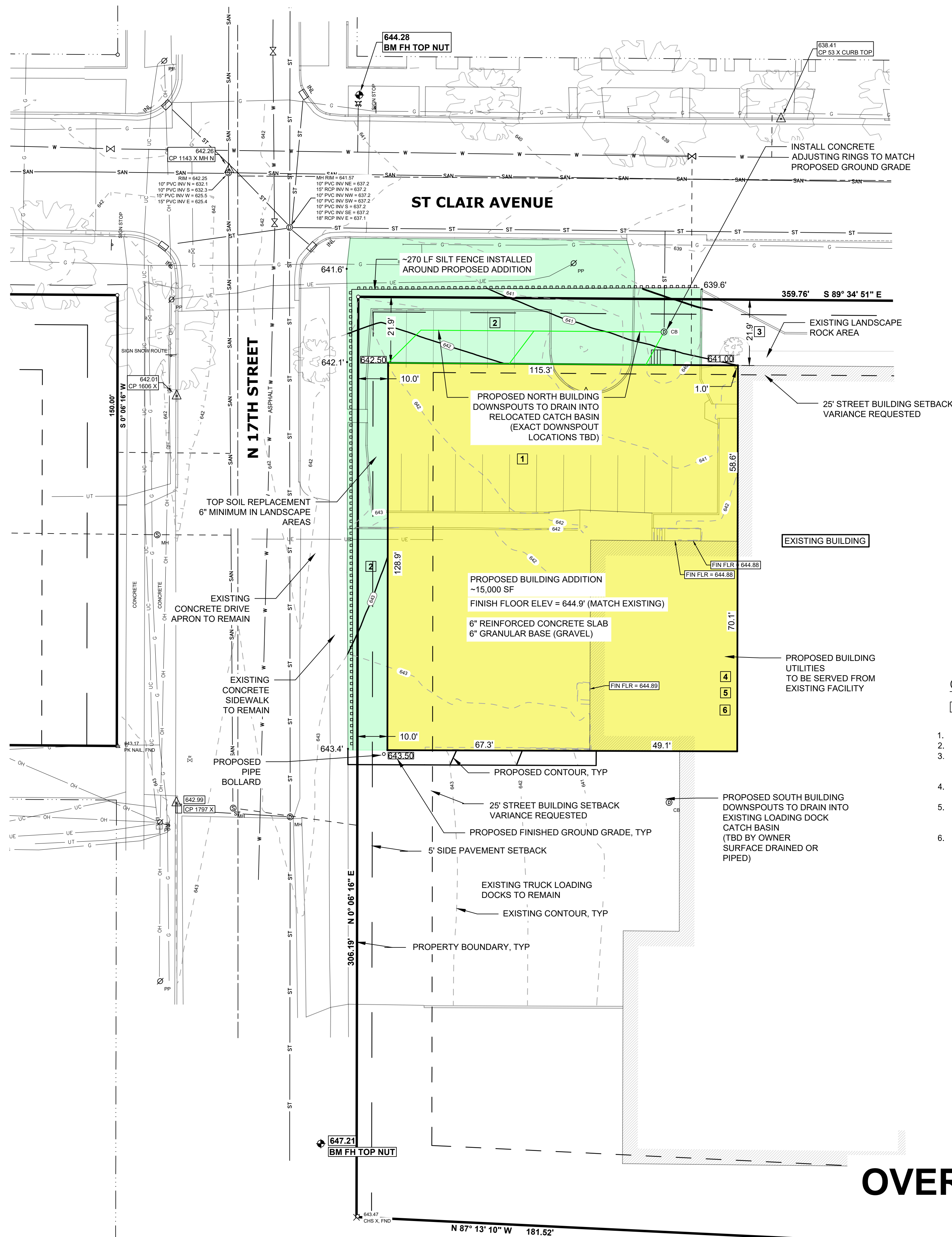
EXISTING AND DEMOLITION PLAN

UTILITY NOTES

1. THE GENERAL CONTRACTOR SHALL PROVIDE FOUNDATION PIPE SLEEVES, AS REQUIRED
2. UTILITIES SHALL BE INSTALLED PER LOCAL AND STATE STANDARDS. UTILITY CONTRACTOR SHALL OBTAIN PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER. INSTALLATION OF SANITARY, WATER AND STORM SHALL BE PER THE "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" BOOK.
3. USABLE EXCESS TRENCH CUT MATERIAL SHALL BE SIDE CAST FOR THE GRADING CONTRACTOR TO USE FOR FILL. EXCESS MATERIAL NOT USABLE FOR FILL SHALL BE REMOVED FROM SITE BY THE UTILITY CONTRACTOR
4. UTILITY TRENCHES UNDER SIDEWALKS, CURB AND GUTTER, ASPHALT, AND CONCRETE PAVEMENT ARE TO BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED PER SPECIFICATIONS. BACKFILL IN ROAD RIGHT-OF-WAY SHALL BE PERFORMED PER THE CITY SPECIFICATIONS
5. ALL CONSTRUCTION WITHIN ROAD RIGHT-OF-WAY SHALL BE PER THE CITY STANDARDS
6. ALL UTILITY CONSTRUCTION, MATERIALS, BEDDING, COVER, BACKFILL, COMPACTION, CLEARANCES, AND COVER SHALL BE PERFORMED PER THE APPLICABLE STATE, COUNTY, AND LOCAL CODES
7. THE UTILITY CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE REMOVAL AND THE LOCATION AND INSTALLATION OF ALL PROPOSED AND EXISTING PRIVATE AND PUBLIC UNDERGROUND UTILITIES (GAS, TELEPHONE, ELECTRIC, CABLE, ETC)
8. MAINTAIN A MINIMUM 18 INCH VERTICAL CLEARANCE AT ALL SEWER AND WATER CROSSINGS. WHEN THE CROSSING CLEARANCE IS LESS THAN 18 INCHES, THEN THE SANITARY MAIN OR LATERAL SHALL BE ENCASED IN CONCRETE FOR A DISTANCE OF 10' ON EITHER SIDE OF THE CROSSING. THE PIPE JOINTS SHALL BE EQUAL DISTANCE OF EACH SIDE OF THE WATER MAIN OR SERVICE
9. THE SIZE AND LOCATION OF THE EXISTING BUILDING'S STORM AND SANITARY LATERAL AND WATER SERVICE IS UNKNOWN. THE UTILITY/PLUMBING CONTRACTOR SHALL EXCAVATE TO VERIFY THE LOCATIONS AND ELEVATIONS OF THESE UTILITIES, AS NEEDED FOR FUTURE USE. ABANDON AND CAP UTILITIES DURING DEMOLITION, AS NECESSARY

IMPLEMENTATION OF EROSION CONTROL METHODS

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES STORM WATER MANAGEMENT AND EROSION CONTROL TECHNICAL STANDARDS.
2. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL.
3. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION BEFORE LEAVING THE SITE FOR THE WORKING DAY.
4. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED STRUCTURES SHALL BE REPAIRED.
5. EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
6. FINAL STABILIZATION OF SOIL SHALL BEGIN WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND FINAL GRADE HAS BEEN ACHIEVED ON ANY PORTION OF THE SITE.
7. TEMPORARY STABILIZATION ACTIVITY SHALL BEGIN WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
8. SEDIMENT CONTROL MEASURES SHALL BE REMOVED ONLY AFTER VEGETATION COVER IS ESTABLISHED OR GRAVEL/PAVED SURFACES ARE COMPLETED.
9. STONE MATS SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS TO PREVENT TRACKING OF SOIL.
10. TRACKED SOIL FROM THE CONSTRUCTION SITE SHALL BE COLLECTED FROM PAVED ROADS.
11. ALL TRENCH WATER SHALL BE DISCHARGED INTO A SETTLING BASIN OR FILTERING DEVICE PRIOR TO RELEASE INTO THE STORM SEWER OR STREAM.
12. STORM SEWER COLLECTION BASINS SHALL BE PROTECTED FROM RUNOFF BY ENCLOSING THE COLLECTION BASINS WITH STRAW BALES, FILTER FABRIC FENCING, OR FILTER FABRIC.
13. OVERLAND FLOW SHALL BE PREVENTED FROM LEAVING THE CONSTRUCTION SITE BY INSTALLING STRAW BALES OR FILTER FABRIC FENCING PARALLEL TO THE CONTOURS LOCATED DOWNHILL FROM THE WORK SITE.
14. SEDIMENT CONTROL FOR PIPELINE CONSTRUCTION:
 - 14.1. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - 14.2. FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED BEFORE LEAVING THE CONSTRUCTION SITE FOR THAT WORKING DAY.



PROPERTY INFORMATION

PROPERTY ADDRESS: 1606 ERIE AVENUE
SHEBOYGAN, WISCONSIN 53081
1535 ST CLAIR AVENUE (PARKING LOT)

PARCEL NUMBER: 59281205260 (OLD WORLD CREAMERY)

OWNER: OLD WORLD CREAMERY
1606 ERIE AVENUE
SHEBOYGAN, WISCONSIN 53085
ATTN: STEVE KNAUS
EMAIL: STEVE@OWCREAMERY.COM
PHONE: (608) 575-8008

GENERAL CONTRACTOR: BAYLAND BUILDINGS
PO BOX 13571
GREEN BAY, WISCONSIN 54307
ATTN: TIM AMBROSIUS
EMAIL: TIMAMBROSIUS@BAYLANDBUILDINGS.COM
PHONE: (920) 371-0853

CIVIL ENGINEER: WAGNER EXCAVATING, INC.
3437 PAINE AVENUE
SHEBOYGAN, WI 53081
ATTN: JACOB SNYDER
PHONE: (920) 458-9082
EMAIL: JSNYDER@DIGWAGNER.COM

PROPERTY: OLD WORLD CREAMERY - ALL OF BLOCK 84 WITH VACATED ALLEY AND SOME EXCEPTIONS
CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

OLD WORLD CREAMERY PARCEL AREA = 112,912 SF (2.59 AC)

CITY ZONING: URBAN INDUSTRIAL - UI (OLD WORLD CREAMERY)

SUBJECT	CODE	DESIGN
BUILDING STREET SETBACK (N 17TH)	25'	10.0' (REQUEST VARIANCE)
BUILDING STREET SETBACK (ST. CLAIR)	25'	21.9' (REQUEST VARIANCE)

PRE-CONSTRUCTION (OLD WORLD CREAMERY)	IMPERVIOUS	103,956 SF	92 %
PERVIOUS	8,956 SF	8 %	
POST-CONSTRUCTION (OLD WORLD CREAMERY)	IMPERVIOUS	101,094 SF	90 %
PERVIOUS	11,818 SF	10 %	

0 SF ADDITIONAL IMPERVIOUS SURFACE, LESS THAN 1,000 SF, NO STORMWATER MANAGEMENT REQUIRED

CONSTRUCTION NOTES

- 1 NOTE NUMBER, EXAMPLE
1. BUILDING CONCRETE - 6" REINFORCED CONCRETE AND 6" BASE
 2. GRASS - SEED, MULCH, AND FERTILIZE. SEE LANDSCAPE PLAN FOR DETAILS
 3. BUILDING DIMENSIONS REPRESENT THE OUTSIDE DIMENSION OF THE FOUNDATION WALL. DISTANCES FROM THE FOUNDATION WALL ARE PERPENDICULAR TO THE PROPERTY LINE.
 4. INTERIOR PLUMBER TO PROVIDE WATER SERVICE FROM EXISTING BUILDINGS. PROVIDE ASBUILT DRAWINGS TO OWNER
 5. INTERIOR PLUMBER TO DETERMINE, MODIFY, AND CONNECT THE EXISTING AND PROPOSED STORM SEWER TO THE PROPOSED STORM SEWER LATERAL. PROVIDE ASBUILT DRAWINGS TO OWNER
 6. INTERIOR PLUMBER TO DETERMINE, MODIFY, AND CONNECT THE EXISTING AND PROPOSED SANITARY SEWER TO THE PROPOSED SANITARY WASTE WATER TREATMENT FACILITY. PROVIDE ASBUILT DRAWINGS TO OWNER

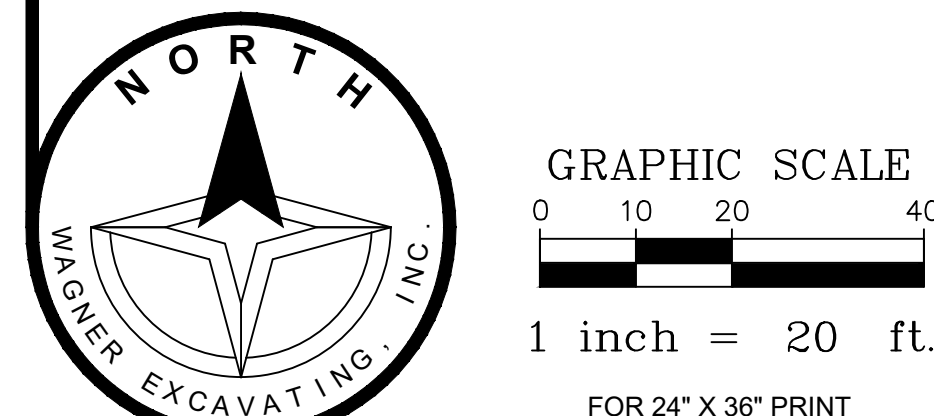
No.	Revision	Date
5		
4		
3		
2		
1		



Proposed Building Addition
Old World Creamery
1606 Erie Avenue
Sheboygan, Wisconsin

DATE
1-29-2025

OVERALL SITE, GRADING, AND UTILITY PLAN





BAYLAND BUILDINGS

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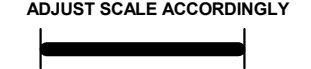
PROPOSED BUILDING FOR:

25-5985

SHEBOYGAN, WI

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY



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JOB NUMBER: *

PROJECT EXECUTIVE: TIM AMBROSIUS
(920) 371-0853

DRAWN BY: CRP

DATE: 01/27/24

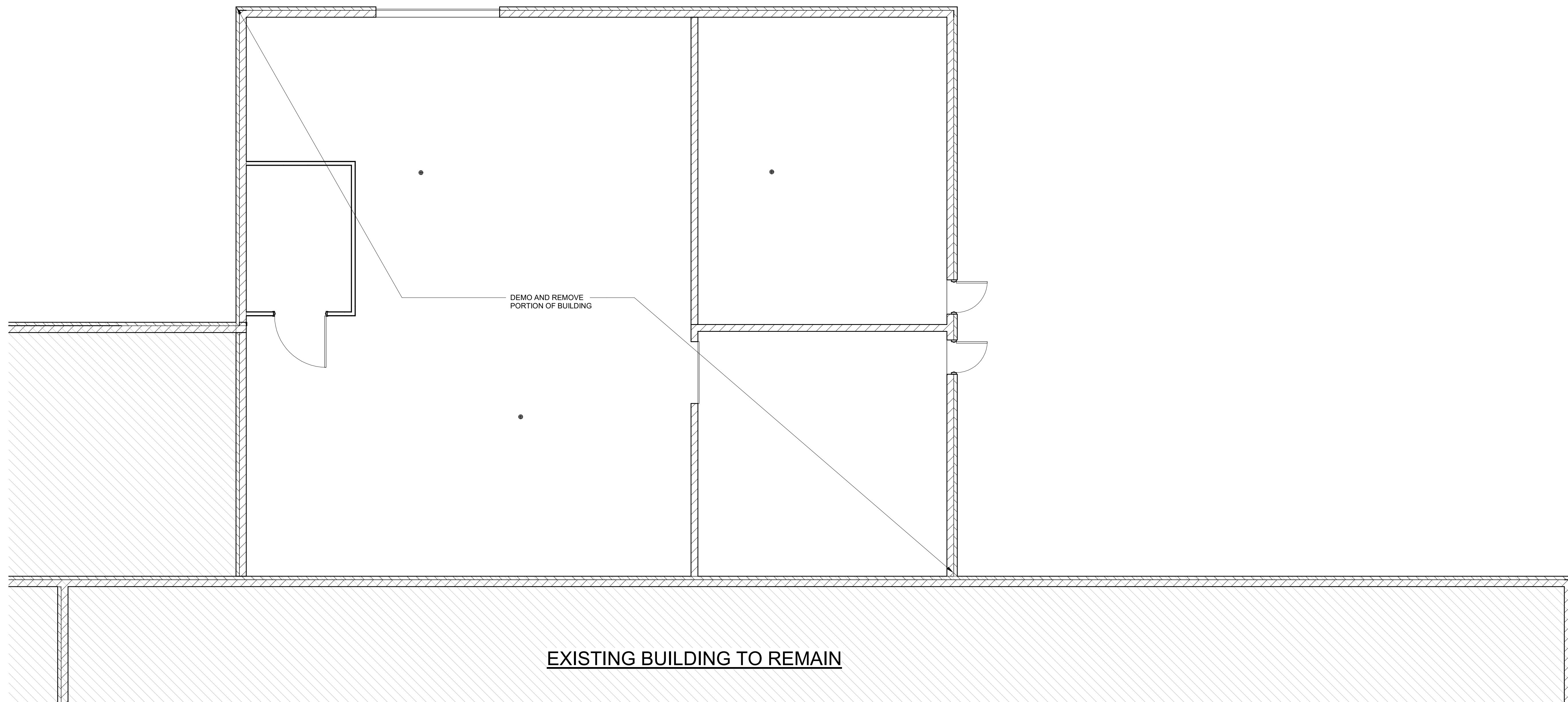
REVISIONS:

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- CHECKSET
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FLOOR PLAN - EXISTING

A1.0

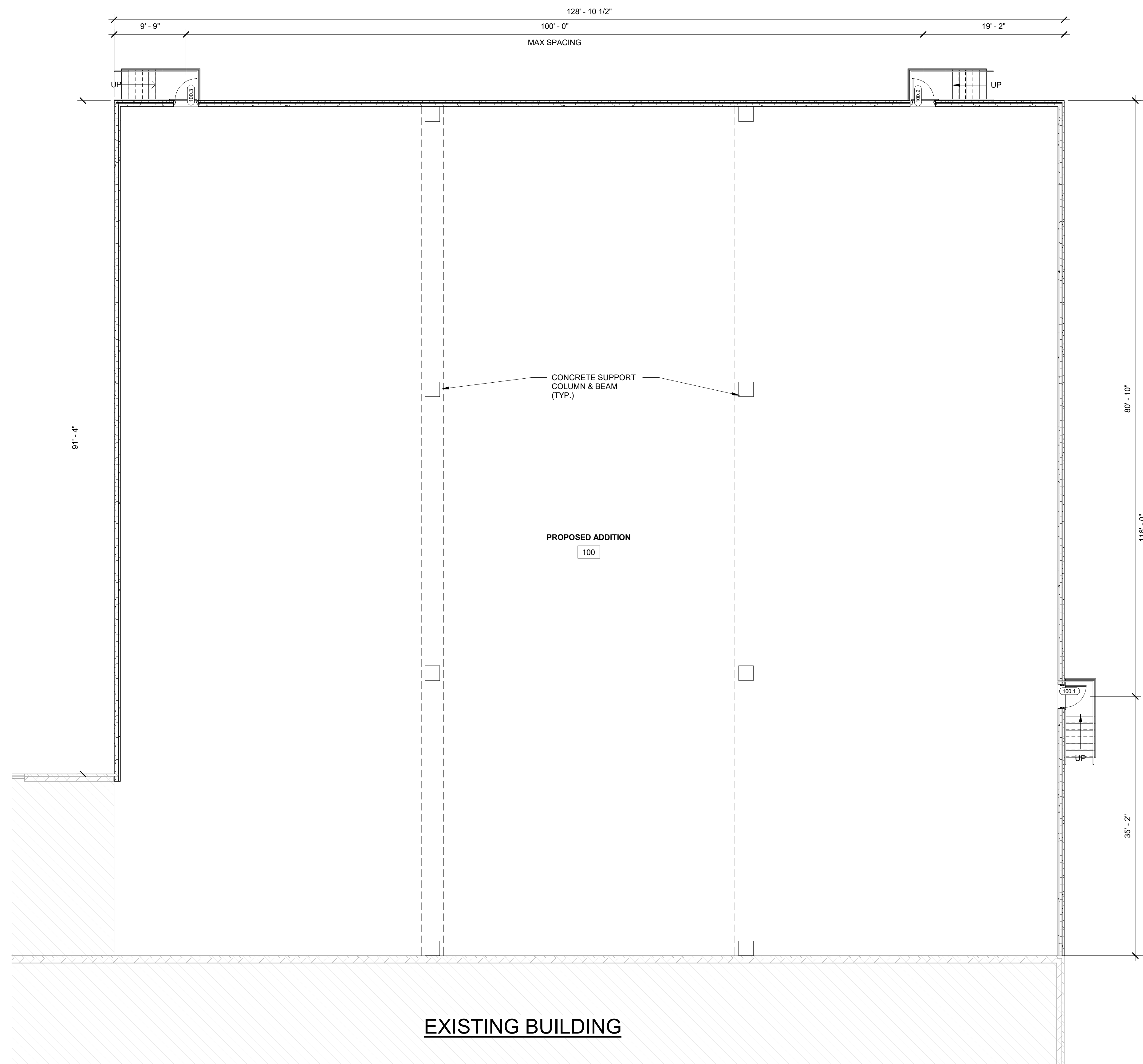


EXISTING BUILDING TO REMAIN

FLOOR PLAN - EXISTING FIRST FLOOR

1/A1.0 SCALE = 3/16" = 1'-0"





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25-5985

SHEBOYGAN, WI

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FLOOR PLAN - PROPOSED

A1.2

FLOOR PLAN - PROPOSED FIRST FLOOR

1/A1.2 SCALE = 1/8" = 1'-0"

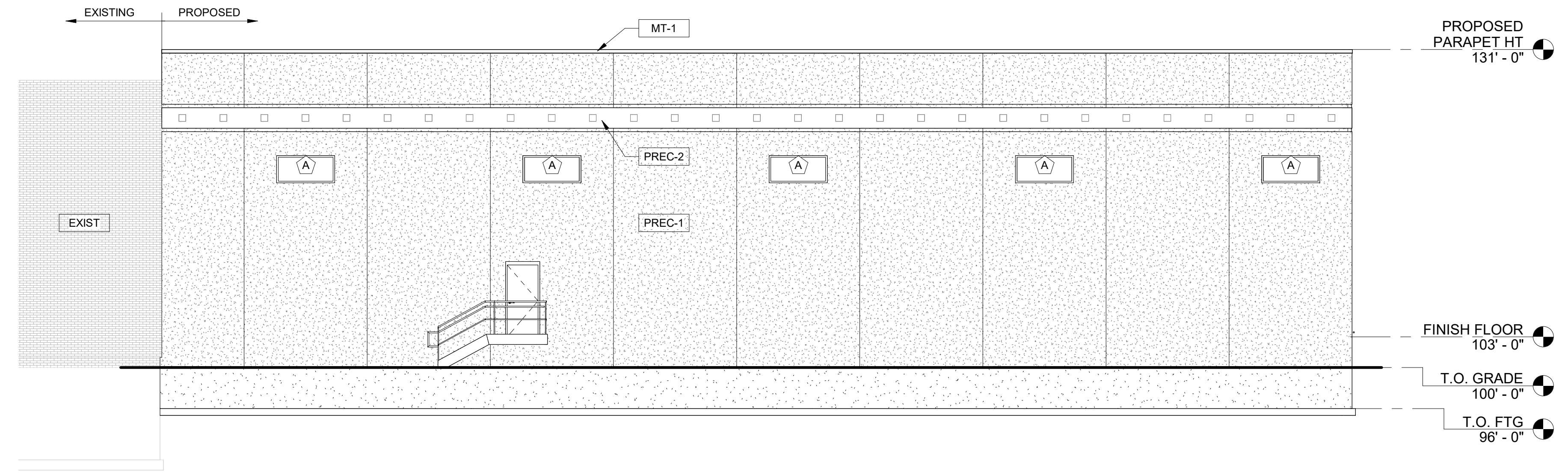




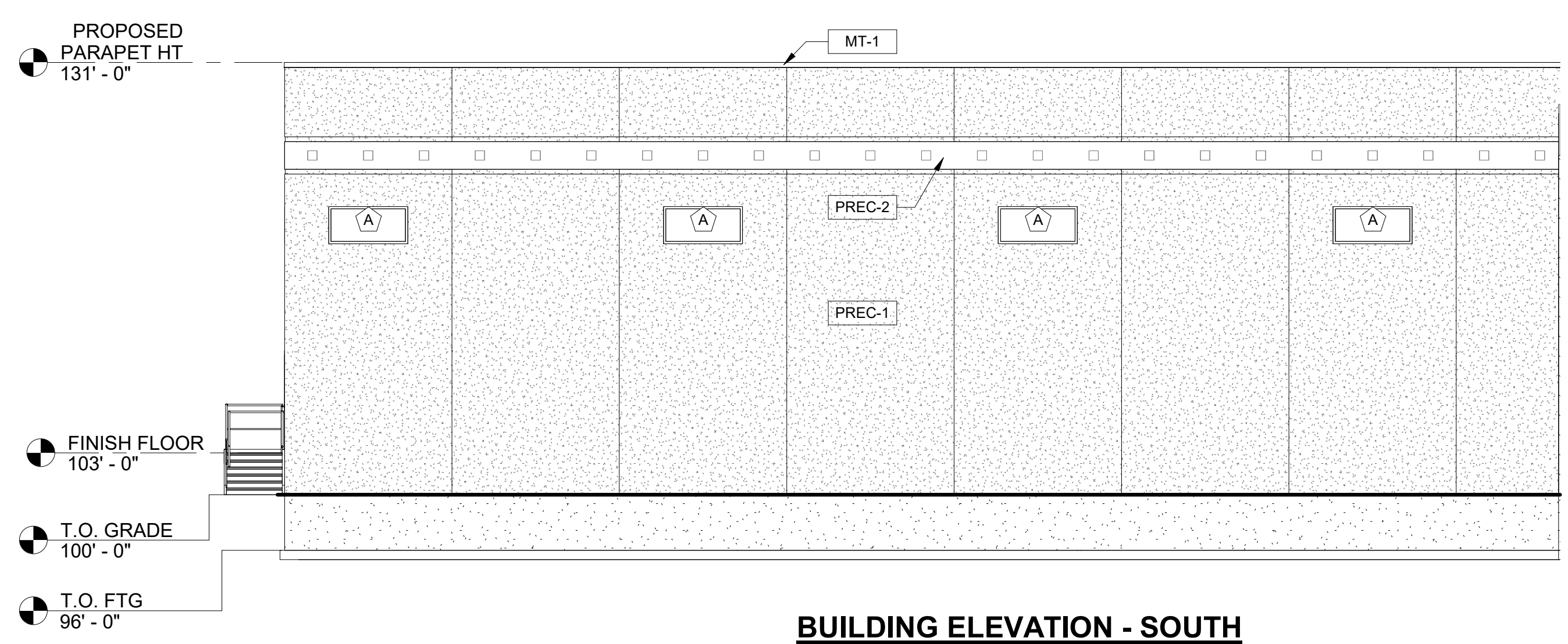
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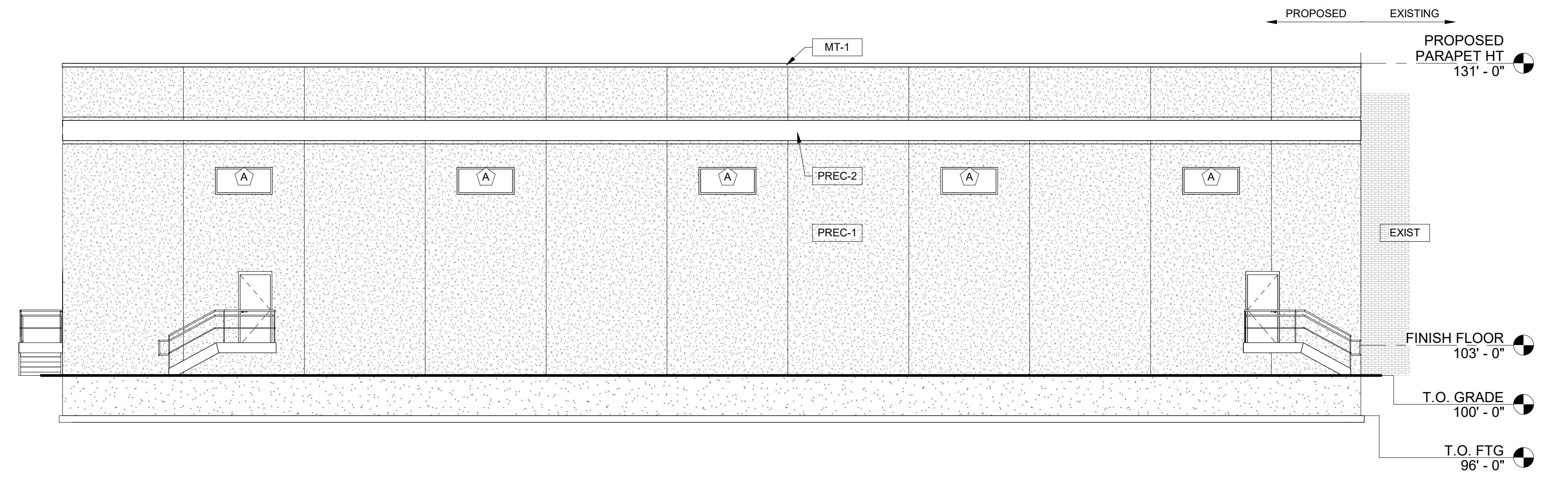
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BUILDING ELEVATION - NORTH
1/A2.0 SCALE = 1/8" = 1'-0"



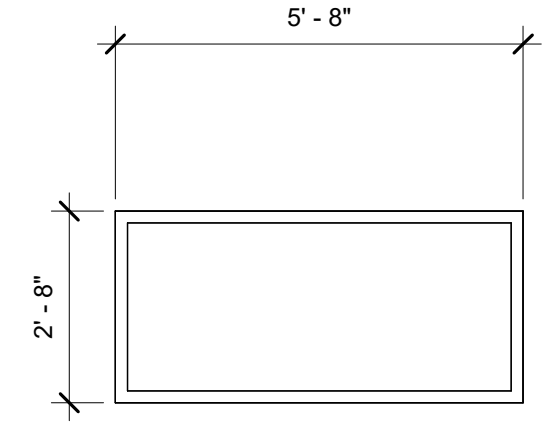
BUILDING ELEVATION - SOUTH
2/A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - WEST
3/A2.0 SCALE = 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
EXIST	EXISTING FINISH CONDITIONS
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: DARK BRONZE COMMENTS: MATCH 2022 ADDITION
PREC-1	LOCATION: TILT-UP WALLS MATERIAL: PRECAST PANEL SUPPLIER: VERIFY COLOR: TAN BLEND COMMENTS: EXPOSED AGGREGATE; MATCH 2022 ADDITION
PREC-2	LOCATION: TILT-UP WALLS MATERIAL: PRECAST PANEL SUPPLIER: VERIFY COLOR: GREY COMMENTS: SANDBLASTED SMOOTH; MATCH 2022 ADDITION



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EXTERIOR ELEVATIONS

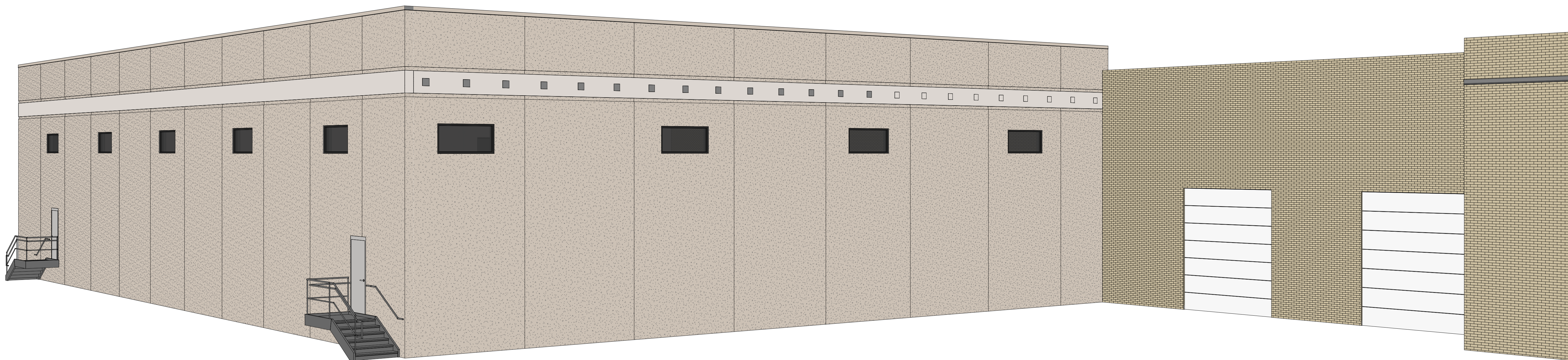
A2.0



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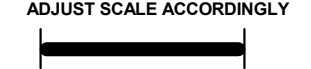
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EXTERIOR ELEVATIONS

A2.1

