



CITY PLAN COMMISSION AGENDA

June 28, 2022 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Introduction of committee members and staff
4. Identify potential conflict of interest

MINUTES

5. Approval of the Plan Commission minutes from May 24, 2022.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

6. Application for Conditional Use with exceptions by MVP Storage, LLC to operate a multi-tenant commercial facility at 1029 Michigan Avenue (former Salvation Army).
7. Application for Conditional Use with exceptions by Caliber Collision to operate from at 645 S. Taylor Drive (former Napa Auto Parts).
8. Application for Precise Implementation Plan by South Pier Family Investments, LLC, to construct the 2nd Phase of SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 Condos and the fish cleaning station).
9. Application for Conditional Use Permit with exceptions by Judy Moncree to operate Oneness Child Care Center in the multi-tenant facility located at 509B Superior Avenue.
10. Application for Conditional Use Permit with exceptions by Walmart to relocate their pick-up and delivery service and to replace/install new signage at 3711 S. Taylor Drive.
11. Preliminary Plat Approval for North Town in the Town of Sheboygan.
12. Res. No. 32-22-23 by Alderperson Mitchell pursuant to the extraterritorial plat approval jurisdiction of the City of Sheboygan approving the final plat of Maywood Estates subdivision in the Town of Sheboygan.

- [13.](#) R. O. No. 24-22-23 by City Clerk submitting a communication from M. Squared Properties requesting an encroachment on their property located at 1444 Pershing avenue for the purpose of creating an asphalt driveway and parking lot.
- [14.](#) Gen. Ord. No. 4-22-23 by Alderperson Felde granting M Squared Properties, its successors and assigns, the privilege of encroaching upon described portions of 1444 Pershing Avenue in the City of Sheboygan for the purpose of creating an asphalt driveway and parking lot.
- [15.](#) R. O. No. 23-22-23 by City Clerk submitting a communication from Grateful Properties, LLC requesting an encroachment on their property located at 340/342 South Pier Drive for the purpose of adding an outdoor seating deck.
- [16.](#) Gen. Ord. No. 3-22-23 by Alderperson Perrella repealing Gen. Ord. No. 39-21-22 granting Harbor Cafe, LLC, its successors and assigns, the privilege of encroaching upon certain portions of 340/342 South Pier Drive in the City of Sheboygan and granting Grateful Properties, LLC, its successors and assigns, the privilege of encroaching upon expanded portions of 340/342 South Pier Drive, as described in the City of Sheboygan for the purpose of adding an outdoor seating deck.

NEXT MEETING

17. July 12, 2022

ADJOURN

18. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
CITY PLAN COMMISSION MINUTES
Tuesday, May 24, 2022

OPENING OF MEETING

MEMBERS PRESENT: Mayor Sorenson, Jerry Jones, Marilyn Montemayor, Ryan Sazama, David Hoffman and John Motiska

MEMBERS EXCUSED: Alderperson Mitchell

STAFF/OFFICIALS PRESENT: Planning & Development Director Chad Pelishek and Manager of Planning & Zoning Steve Sokolowski

1. Roll Call

Chair Mayor Sorenson called the meeting to order.

2. Pledge of Allegiance

The Pledge of Allegiance was recited.

3. Introduction of committee members and staff

Introductions were made.

4. Identify potential conflict of interest

No committee member had a conflict of interest.

MINUTES

5. Approval of the Plan Commission minutes from May 10, 2022.

Motion by Dave Hoffman, second by Jerry Jones to approve. Motion carried.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

6. Public Hearing regarding the proposed amendment of boundaries and project plan for Tax Incremental District No. 16 (See the Public Hearing Notice published on May 17, 2022).

Motion by Jerry Jones, second by Marilyn Montemayor to close the public hearing. Motion carried.

7. Consideration and possible action of the "Resolution Designation Proposed Amended Boundaries and Approving a Project Plan Amendment for Tax Incremental District No. 16, City of Sheboygan, Wisconsin."

Motion by Jerry Jones, second by Ryan Sazama to approve the resolution amending the TID District No. 16 Boundaries and Project Plan. Motion carried.

8. R. O. No. 10-22-23 by Capital Improvements Commission to whom was referred R. O. No. 1-22-23 by City Administrator Todd Wolf submitting Capital Improvements Program (CIP) Requests for the years 2023-2027; recommends approving the CIP requests.

Motion by Dave Hoffman, second by Jerry Jones to recommend approval to the Common Council.
Motion carried.

Item 5.

NEXT MEETING

9. June 14, 2022

ADJOURN

10. Motion to Adjourn

Motion by Jerry Jones, second by Ryan Sazama to adjourn. Motion carried.

Being no further business, the meeting was adjourned at 4:11 p.m.

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by MVP Storage, LLC to operate multi-tenant commercial facility at 1029 Michigan Avenue (former Salvation Army). CC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Jerry and Diane Fletcher of MVP Storage, LLC, are proposing to create a multi-tenant facility at 1029 Michigan Avenue (former Salvation Army). The applicant states:

- The building is owned by the Salvation Army who previously operated their Thrift Shop from the facility/property. The retail storefront shut down about two (2) years ago but it appears the Salvation Army may still be using the back warehouse for staging or sorting merchandise.
- The building, as it is laid out, seems too large of a space for one (1) business. If the store front is used for retail, more than likely they do not need that large of a warehouse. If a business needs the warehouse, there is a good chance it does not need retail space, or at least not that much space. Thus, a multi-tenant use of the facility appears to work.
- MVP Storages has a tenant, Good as Gold, who is renting a small space at a different location. Good as Gold Appliances (GG) is looking to expand into a larger space that has both additional warehouse space and a more prominent retail shop. Good as Gold would have a great space for their retail store with great window visibility and nice warehouse space (the Fletchers would occupy the remaining warehouse space). This is a perfect place to feature a nice retail store and Good as Gold is looking forward to this opportunity.
- The building is approximately 11,200sf. Good as Gold will lease approximately 7,200sf that will include 3,600sf front retail space and 3,600sf warehouse space. The Good as Gold warehouse space will have two (2) service doors and two (2) overhead doors.

- The Fletcher will utilize approximately 4,000sf of the back warehouse. The owner, N Storage, LLC (the Fletchers), will not be operating any business out of this space and will strictly use their space for storage of personal items. The back MVP space will have two (2) service doors and two (2) overhead doors.
- Only Good as Gold will need signage and will have to apply as needed.
- There will be no changes to the current interior or exterior of building.
- There is off-street parking on the east side of the facility.

The applicants state the following about the Good as Gold proposed use:

- Good as Gold offers the community a selection of refurbished and brand new “scratch and dent” appliances, service of select appliances, recycling, and even disposal services. All of our refurbished appliances go through cleaning, inspection and testing processes and most come with a warranty. Some of the new “scratch and dent” appliances even come with the manufacturer warranty.
- Shaun and Alissa Preuss started Good as Gold, LLC in 2012 and business has been growing steadily each year which we are grateful to our community for. We’ve come to a point where we have outgrown our current location and require more space to accommodate the volume of appliances, workspace, and sales floor needed. This is why we are requesting a conditional use permit to move our business into rental space located at 1029 Michigan Avenue, Sheboygan. This location previously housed The Salvation Army store and is in the process of being purchased by Jerry and Diane Fletcher, from whom we would be renting a portion of the building.
- Our proposed lease would include the north 3,600sf facing Michigan Avenue to be used as the sales floor and offices and the 3,600sf immediately south of the sales floor to be used for workspace and to house appliances waiting to be inspected, repaired, or recycled.
- We believe 1029 Michigan Avenue is an ideal space to house our store because it offers the added space we need, a beautiful storefront, a high-traffic location, and is a vast improvement to our current sales floor.
- Consumer traffic would flow only through the sales floor utilizing the entry located on Michigan Avenue. There are access doors on both the east and west sides of the building leading into the warehouse space, which we would utilize for appliance load deliveries.
- This location is also ideal for our growing business because it offers ample parking on Michigan Avenue in front of the store, across from the store, and along N 11th Street. Customers will be able to pick up appliance purchases on N 11th Street.
- Minor interior improvements like painting are planned to freshen up the space and a fresh sign face is proposed for the existing frame above the entryway. We are excited for this next step in our business and look forward to continuing to grow in this community.

STAFF COMMENTS:

The former Salvation Army building has been vacant for approximately two (2) years. The Fletchers have an offer to purchase the building contingent on the City approving the requested conditional use permit. Based on the size of the facility (approximately 11,200sf), it does appear that such a multi-tenant use could make use of this facility. The proposed Good as Gold use is very similar to the previous Salvation Army retail and warehouse use.

The Fletchers do own several warehouse and ministorage facilities (MVP Storage). It is important for the Plan Commission to be aware and for the Fletcher's to understand that mini-storage and indoor warehousing are not permitted uses in the Central Commercial (CC) zone. Thus, there will never be the opportunity to convert this facility into mini-storage and/or or strictly a warehouse facility.

The applicant will need to work with the building inspection department regarding the proposed use of the facility. Occupancy shall be granted only at such time as all permits and codes have been met.

The applicant is proposing to reface the existing cabinet sign on the north side of the building facing Michigan Avenue. However, any new signage to be installed on this building will need to be individual letter signs and not flat cabinet signs.

Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

Appears there is an unmaintained landscape island at the northeast corner of the east side of the building. Applicant shall properly maintain this landscape area.

Appears there is no dumpster enclosure at this site. If locating dumpsters outside, the dumpsters shall be screened and enclosed and the applicant will work with staff with regards to the design and location of dumpster.

ACTION REQUESTED:

Staff recommends approval of the conditional use permit subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. Applicant shall meet all zoning requirements including but not limited to noise, vibration, hazardous materials, etc.
4. The applicant is not permitted to store vehicles inside the building nor do auto repair/service from this building.
5. If using dumpsters, the dumpsters shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install

Privacy Decorative Slating (PDS) material in order to effectively screen the dumpsters. Dumpsters shall be screened and enclosed prior to issuance of an occupancy permit.

6. Outdoor storage of materials, products or equipment shall be prohibited (no soda machines, product displays for sale, equipment, etc.).
7. All ground level and rooftop mechanicals shall be screened/enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
10. Applicant may reface existing cabinet sign but any proposed and future signage at this property/facility shall be individual letter signs (no flat panel or interior lit cabinet signs).
11. Applicant shall not be able to have string lights, pennants, inflatables, or other various types of temporary signage.
12. Applicant shall remove all unused signage and all signage referring to previous business.
13. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
14. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
15. Any future/additional uses of the facility/property such as additional tenants, additions, site improvements, etc. may require conditional use permit and architectural review.
16. If the applicant proposes any type of exterior remodel/renovation to the building, City of Sheboygan Architectural Review Board approval is required prior to construction.
17. If there are any amendments to the approved use and/or floor/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

Item 6.

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: MVP Storage LLC

ADDRESS: 3434 Mill Rd #17 Sheb, WI 53083 E-MAIL: Diane@MVPStorage.com

PHONE: (920) 946-4630 FAX NO. () N/A

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Salvation Army

ADDRESS OF PROPERTY AFFECTED: 1029 Michigan Ave

LEGAL DESCRIPTION: _____

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____

VACANT – was Salvation Army Thrift Shop

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Front to be used as retail/ office/ commercial space leased out. Warehouse to be used for inventory and Owner personal storage

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: N/A

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? Leasing the front store space for retail or office complies with the Central Commercial Zone for downtown. The warehouse space will be divided, part to support the retail space, part for owner storage.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? NONE

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? The use will remain the same as it was. Front retail, back warehouse for inventory support and warehouse storage.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. YES

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Salvation Army

ADDRESS: unknown E-MAIL: unknown

ARCHITECT: N/A

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: N/A

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Diane Fletcher
APPLICANT'S SIGNATURE

5-15-22
DATE

Diane Fletcher
PRINT ABOVE NAME

CONDITIONAL USE PERMIT

2.

1 - Currently the building is owned by the Salvation Army and they had their Thrift Shop there starting about 11 years ago. The store front shut down about 2 years ago and has been vacant and they seem to still be using the back warehouse for staging or sorting merchandise.

2 - The building as it is laid out now seems to be too large of a space for one business. If the store front is used for retail, more than likely they do not need that large of a warehouse, if a business needs the warehouse, there is a good chance it does not need retail space, or at least not that much space. We have a current tenant renting at a different location, Good as Gold Appliances (GG), renting a small warehouse space that is looking to expand and wants to have a retail shop. This location and building setup are perfect for him if we can share the warehouse. He would have a great space for his retail store with great windows and visibility and occupy some of the warehouse and we would occupy a portion of the warehouse space. With Michigan Ave having the road improvements complete and many of the businesses are updating and doing improvements it is a perfect place to feature a nice retail store. Good as Gold is looking forward to this opportunity.

3 – The front 3600 sf retail space and 3600 sf warehouse space will be leased to GG. The back warehouse will be shared with GG for appliance inventory and MVP for storage of personal items. We plan to divide the space by a simple rope and/or tape on the floor to designate each others space. We will have only 1 tenant along with the owner's space in the warehouse. Only GG will need signage and will have to apply as needed. The GG warehouse space will have 2 service doors and 2 overhead doors. The back MVP space will have 2 over service doors and 2 overhead doors.

4 – GG sells all types of appliances. Example: refrigerators, washers, dryers etc.

5 – We plan to have only 1 commercial tenant

6 – Floor plan is attached

7 – Only 1 phase – moving in

8 – Received from Realtor

9 – Tenant (GG) will be responsible for snow removal. Minor maintenance & repair by tenant. Major maintenance and repair by owner.

10 – There will be no changes to the current interior or exterior of building.

11 – No change

12 – No change, is there any Grant money available for exterior modifications

13 – We do not have specific hours for GG but I has been within normal daytime retail hours

14 – Owner does not have any employees and will not be operating any business out of this space.

15 – We will have one tenant leasing the front retail and approximately half of the warehouse

16 – The off-street parking that is currently there is sufficient for GG retail business.



17 – Our intention is to have a regular retail business with regular hours lease this space. There will be no outside storage allowed. Current parking is sufficient.

18 – Owner requires no signage. Tenant will have to comply with the sign ordinance.

19 – N/A No Change

20 – GG will be leasing 7200 sf. Owner has remaining space. Our hope, as GG grows they may need more space and we can accommodate as needed.



922 S. 15th Street, Sheboygan, WI 53081
920-226-0704 | www.GoodasGoldAppliances.com

May 25, 2022

RE: Conditional Use Permit

Dear Plan Commission,

Good as Gold LLC is an appliance store offering new scratch and dent and refurbished appliances and is presently located at 922 S. 15th Street in Sheboygan. We inspect, test, and repair appliances and recycle those that are not worth repairing.

We started Good as Gold LLC in 2012 and business has been growing steadily each year, which we are grateful to our community for. We've come to a point where we have outgrown our current location and require more space to accommodate the volume of appliances, workspace, and sales floor needed. This is why we are requesting a conditional use permit to move our business into rental space located at 1029 Michigan Avenue, Sheboygan. This location previously housed The Salvation Army store and is in the process of being purchased by Jerry and Diane Fletcher, from whom we would be renting a portion of the building.

Our proposed lease would include the north 3,600 sq. ft. facing Michigan Avenue to be used as the sales floor and offices. And an additional 3,600 sq. ft. immediately south of the sales floor to be used for workspace and to house appliances waiting to be inspected, repaired, or recycled. We believe 1029 Michigan Avenue is an ideal space to house our store because it offers the added space we need, a beautiful storefront, a high-traffic location, and is a vast improvement to our current sales floor.

Consumer traffic would flow only through the sales floor utilizing the entry located on Michigan Avenue. There are access doors on both the east and west sides of the building leading into the warehouse space, which we would utilize for appliance load deliveries. This location is also ideal for our growing business because it offers ample parking on Michigan avenue in front of the

store, across from the store, and along N 11th Street. Customers will be able to pick up appliance purchases on N 11th Street.

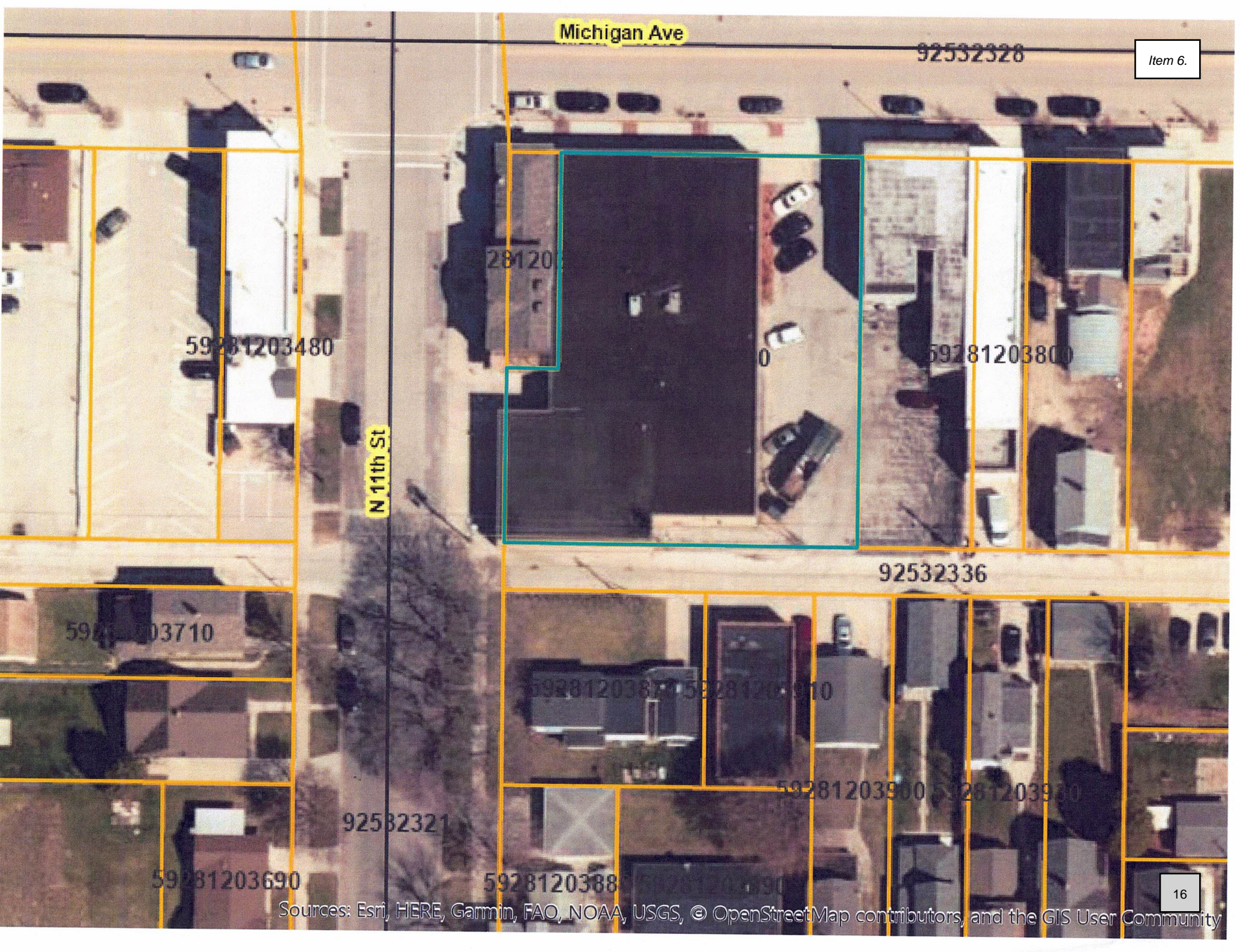
Minor interior improvements like painting are planned to freshen up the space and a fresh sign face is proposed for the existing frame above the entryway.

We are excited for this next step in our business and look forward to continuing to grow in this community!

Thank you,

Shaun and Alissa Preuss

Owner Whse Space: Approx 4,000 sq ft



Michigan Ave

92532328

Item 6.

59281203480

N 11th St

28120

0

59281203800

92532336

59281203710

59281203810 59281203910

59281203900 59281203930

92532321

59281203690

5928120388

16

GOOD AS GOLD^{LLC}

NEW SCRATCH & DENT APPLIANCES
REFURBISHED APPLIANCES | RECYCLING CENTER

[Home](#)[In Store Inventory](#)[Overstock Warehouse](#)[Recycling](#)[Contact](#)

Featuring both Scratch & Dent and Refurbished appliances in store (922 S. 15th St.)
Scratch & Dent units are new with mild to moderate cosmetic flaws and sold at greatly reduced prices.
All of our refurbished appliances go through inspection, testing, and cleaning processes.
Any necessary repairs are made and parts replaced so customers can rest assured that
all appliances are in great working condition.



Please see below for accepted items and corresponding fees.
All items must be dropped off during regular business hours.



REFRIGERATORS

\$10



AIR CONDITIONERS

\$10



MICROWAVES

\$15



DEHUMIDIFIERS

\$15



STOVES

FREE



WASHERS / DRYERS

FREE

Click image to expand



Samsung 28 cu. ft. Food Showcase 4-Door French Door Refrigerator in Stainless Steel Model RF28R7351SR
\$1,500.00



LG STUDIO 24 cu. ft. Smart wi-fi Enabled InstaView™ Door-in-Door® Counter-Depth Refrigerator with Craft Ice™ Maker in Stainless Steel Model SRFVC2406S
\$2,050.00



Samsung 27 cu. ft. Large Capacity 3-Door French Door Refrigerator with External Water & Ice Dispenser in Stainless steel Model RF27T5201SR
\$1,169.50



LG 28 cu. ft. Smart wi-fi Enabled French Door Refrigerator in Stainless Steel Model LFXS28968S
\$1,570.00



LG 23.5 cu. ft. French Door Refrigerator with Craft Ice in Stainless Steel Model LRFXC2416S
\$1,800.00



Bosch 800 Series 21 cu. ft. French Door Counter-Depth Smart Refrigerator in Black Stainless Steel Model B36CT80SNB
\$1,825.00



Samsung 22 cu. ft. Smart 3-Door French Door Refrigerator with External Water Dispenser in Stainless Steel Model RF22A4221SR/AA
\$1,679.00



Insignia™ - 4.8 cu. ft. Freestanding Electric Convection Range with Steam Cleaning in Stainless steel Model N9-RGFESS2
\$500.00



GE® 30" Slide-In Electric Convection Range with Self-Steam Cleaning, Built-in Wi-Fi, and No Preheat Air Fry in Stainless Steel Model JS760SPSS
\$858.00



LG Studio 30" Built-In Double Electric Convection Wall Oven with WiFi and EasyClean in Stainless Steel Model LSWD307ST
\$1,900.00



Summit Appliance 24" Built-in Single Gas Wall Oven in Black Model TTM7212DEK
\$800.00



LG 30" Built-in Single Electric Convection Wall Oven with EasyClean in Black Stainless Steel Model LWS3063BD
\$1,300.00



Samsung 30" Built-in Cooktop with 4 Burners in Stainless Steel Model NA30R5310FS
\$500.00



KitchenAid 14-Bottle Dual Zone Beverage Cooler with Glass Door and Metal-Front Racks in Black / Stainless Model KUBR214KSB
\$700.00



KitchenAid 24" Beverage Center in Black Stainless Steel Model KUBL304EBS
\$1,350.00



Grade B Samsung Total Capacity Smart Dial Washer with FlexWash and Super Speed Wash in Brushed Black Model WV60A9900AV/A5
\$949.00



Good as Gold works hard to offer our community a selection of refurbished and brand new "scratch and dent" appliances, service of select appliances, recycling, and even disposal services. All of our refurbished appliances go through cleaning, inspection and testing processes and most come with a warranty (some restrictions do apply). Some of the new "scratch and dent" appliances even come with the manufacturer warranty. We look forward to continuing to grow within our community and appreciate your business - thank you for your support!

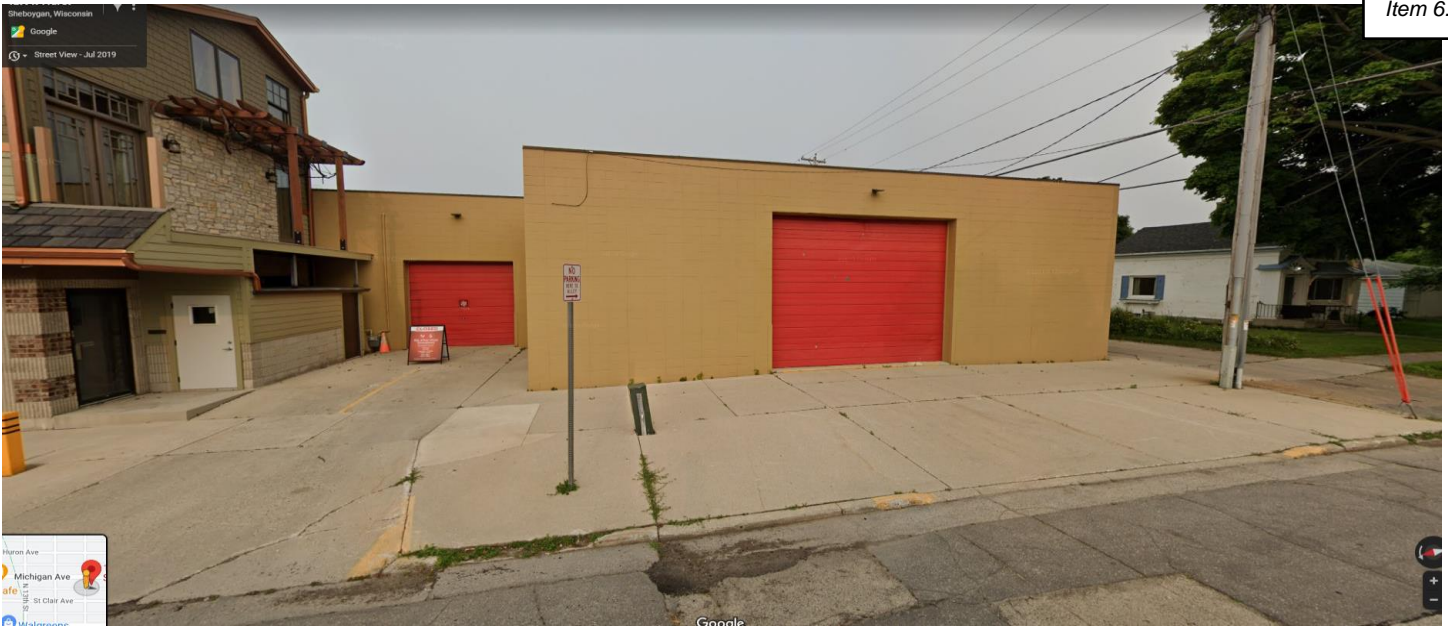
06/06/2022 Good as Gold Proposed Sign Face Update - 1029 Michigan Avenue











CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use with exceptions by Caliber Collision to operate from at 645 S. Taylor Drive (former Napa Auto Parts). CC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022 **MEETING DATE:** June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Caliber Collision is proposing to operate from at 645 S. Taylor Drive (former Napa Auto Parts). The applicant states the following about the project:

- Cross Architects is requesting a consideration to allow a Caliber Collision auto body repair and paint shop at this location. Caliber works with most of the major insurance companies and they indicated that this area has the demographics where they would like to be located. It is the intent of the owner to construct a quality project within the standards set by the City of Sheboygan.
- This is a commercial building/property that was previously used by Napa Auto Parts who had retail sales of in-store automobile parts, supplies accessories and battery supplies.
- Caliber Collision is the nation's leading collision repair provider known for exceptional customer service. Locations are carefully chosen to make sure that they can provide positive impact and convenience to the community. Every facility is well kept, clean and maintained. They consider themselves to be a neighborhood service and they like to be located near their customers.
- The proposed use is an auto body paint and repair shop with fenced outdoor vehicle storage.
- All services shall be performed within an enclosed building. All repair activities will be conducted indoors and completely screened from public view. All parts, materials and equipment shall be stored within an enclosed building. There will be no visible equipment, parts and materials outside the building. No vehicle awaiting repair shall be located on any

portion of the site so as to be visible from any public street, and shall be limited to location designated on the approved site plan.

Item 7.

- All vehicles received for repair will remain behind a fenced parking area. Vehicles that are taken in for repairs are typically admitted by tow truck which limits our customers coming to this location.
- Public parking will be located at the existing parking lot at the entrance adjacent to the building.
- Caliber Collision generates less trips than the typical grocery, retail or restaurant user will. The traffic patterns and impact on the adjoining streets and neighborhood will be more or less identical to the previous automotive repair/auto parts user.
- Building is approximately 10,000sf (1,540sf office and 8,460sf shop area).
- Approximately 42 parking spaces. Reseal and restripe parking lot.
- Hours of Operation are typically 7:30 a.m. to 5:30 p.m. Monday through Friday.
- Total Full-Time Employees on-site is approximately 18

The applicant states the following about their standard operating procedure for how customer vehicles are processed through a Caliber Collision facility (typical scheduling sequence):

- Damaged vehicles are delivered to the shop via the customer or on a flatbed truck where they are accessed and a determination is made within 24 hours if they will be repaired or completely totaled out. If the insurance company determines that the vehicle is a total loss, it is removed from the premises and sent to a salvage yard at the direction of the insurance company within 48 hours.
- Vehicles that are accepted for repair will either be put immediately into production if there is space available in the shop at that time or temporarily stored in the area behind the building for no more than seven (7) days. If a car is put right into production it will never be parked outside until it has been completely repaired and is waiting for the customer to pick it up.
- Production is a 3 step process:
 - Repair - During the collision repair process, an electronic measuring system analyzes the car to restore it according to the factory specifications. This is an important step as it ensures the car frame remains structurally sound. If needed, wheel alignment and other suspension repairs will be done. All mechanical repairs should be completed along with the structural repair.
 - Paint Prep - Paint preparation is a crucial step in the refinishing process of all types of vehicles. The body shop will prepare all panels for painting before priming and sealing. This creates better adhesion when the top color and additional clear coating are applied to your car.

- Reassembly - In the reassembly area, all detail pieces and final moldings are returned to the vehicle. All the systems in the car are also inspected during this step. Once your car reaches this stage, it means the repair is almost finished and the car is almost ready to be delivered to the client.
 - Quality Control Inspection - The vehicle gets a wash and thorough interior cleaning once all parts have been reinstalled. Surfaces are cleaned and the body paint is polished. In addition to doing a physical inspection, the body shop personnel will also test drive your car. This is to make sure that there are no driving problems that may be related to the repaired part/s of the vehicle.
 - Delivery - This is the final step in the collision repair process. Once the client arrives at the shop to pick up their car, the final paperwork is released and the bill is explained. The customer then drives home in the car that has been returned to its pre-accident state.
- Some of the extra parking spaces would be used for staging cars that have already been repaired and for extra staff or customer parking as needed.

The applicant indicates the following about the proposed use:

- The type of facility proposed shall be limited to vehicle body “prep”, parts replacement and finishing work room. Typical repairs include hood replacement, fender repair, hail damage, light interior, molding and windshield replacement. Inherently, these types of repairs are not loud enough to project recognizable sound beyond the proposed property lines. Furthermore, this facility shall operate with all exterior doors closed. The shop contains a full HVAC System that shall provide climate control year-round. With all doors closed, there should be no nuisance to neighboring properties in the way of noise.
- Within the facility, light dust is to be expected. The amount of dust is akin to a classroom chalkboard. Regularly scheduled cleaning ensures control. All sanding is performed with a filtered vacuum assist sanding machine.
- As a multi-state/multi-operator, Caliber Collision is well versed in the procedures and requirements to divert any operational hazards. Any hazardous material shall be documented, handled and/or stored per local, state and federal requirements. The proposed facility (site and building) will be designed by licensed Architects/Engineers who are thoroughly versed in Body Shop Designs. Final interior designs shall be designed by same Architects/Engineers. Interior Lighting, HVAC Ventilation, and Storm Sewer oil/sand interceptors shall be properly placed to facility safe conditions within and outside the entire property. These designs shall receive City of Sheboygan a Plans Review/Permit Approval to ensure structural, life safety, ADA and Building Code compliance for the proposed operations. Furthermore, the operator implements specific operational and safety guidelines that secure on-going daily assurance of employee, customer, property and surrounding area safety.
- We will try to reuse the existing RTU's that are already located on the roof. If we do need to replace any or all of them due to age or condition, we will install the new one on the same curb. We can screen all the new and existing roof top mechanical equipment.

- Each paint booth has one intake duct and one exhaust duct so each booth has two stacks. The mixing room has one small exhaust fan duct. This facility will have a maximum of two (2) paint booths and one (1) mixing room and they may end up only installing one (1) paint booth at this location due to the small shop area.
- The exhaust stack is typically taller than the intake stack because they have to be 10 feet to meet the separation requirement in the mechanical code. The booth manufacturer can provide a low profile duct package that keeps the exhaust stack at four (4) feet above the roof and the intake makes a 90 degree turn and runs parallel to the roof to get the 10 foot separation.

The applicant states the following about improvements to the existing site and building:

- The project will revitalize the existing building and site without deviating from the overall design features of the surrounding neighborhood. It will promote further success to existing businesses, re-occupancy of an existing vacant facility, provide expanded job growth and assurance of good custodial care. Every facility is well kept, clean and maintained.
- Exterior work is:
 - Repaint the building
 - Reseal concrete and asphalt paving, restripe parking lot
 - Add 6'-0" tall chain-link fence with black vinyl slats to screen the outdoor vehicle storage metal fence.
 - Add metal sliding gate with black mesh (opaque).
 - Cut in two (2) new overhead doors
 - Provide RTU screen with metal panel
 - Add exterior building signage – The sign vendor typically provides two internally illuminated wall mounted signs
- Interior work is:
 - Renovate the existing Office
 - Renovate the existing Shop
 - Add one detail bay and tie into the existing sand/oil interceptor
 - Add two new paint booths
- Work valuation estimate is \$800,000.
- Site is accessible from Taylor Frontage Road S. There are no proposed changes to existing driveways.

STAFF COMMENTS:

The biggest concerns staff has with the Caliber Collision proposed use include:

- Ventilation of the spray booths.
- Minimalizing rooftop mechanicals and screening rooftop mechanicals.

- The outdoor storage area where vehicles will be stored prior to service.
- The fencing being utilized to screen the outdoor storage area.
- Dumpster enclosure need and location.
- A little bit of garbage to clean and landscaping to maintain on the east side of the building.
- What is the plan for the large drainage pipe located on the south side of the building.

The Plan Commission may want to have the applicant address how the applicant intends on addressing these concerns.

The applicant shows conceptual signage but has not submitted a specific sign package for the site at this time. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

The Plan Commission may want to have the applicant address:

- What are the applicant's intentions regarding garbage/dumpster?
- What is the applicant's intention for signage?
- What is the expected timeframe for the building and site improvements to be completed and occupied.

ACTION REQUESTED:

Staff recommends approval of the conditional use subject to the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, state, federal, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant shall obtain all necessary permits for the construction, the storage and the handling of hazardous chemicals and/or fuels (applicant shall be in contact with building inspection, fire department, etc.).
3. The facility will meet all zoning requirements including but not limited to noise, smells, vibration, hazardous materials, etc. If any issues arise, this matter may be brought back to the Plan Commission for review
4. If using dumpsters, dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. If using chain link fencing, the applicant shall install Privacy Decorative Slating (PDS) material in order to effectively screen and enclose the dumpster. Dumpster fencing shall match fencing of outdoor vehicle storage area fence.
5. The applicant may store outdoors vehicles waiting to be serviced in the screened and enclosed outdoor storage area (vehicles only) and this vehicular outdoor storage area shall be properly maintained in an orderly fashion at all times (south side of building). This area may not be used to store inoperable or unlicensed vehicles. If any issues arise concerning outdoor storage, this matter may be brought back to the Plan Commission for review.

6. All other outdoor storage of materials, products or equipment shall be prohibited.
7. Any fencing/retaining wall shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance.
8. Applicant shall install chain link fence/gates with black slatting materials for the outdoor vehicle storage area (per the submitted plans). Applicant shall submit proposed fence to staff for review. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration. Applicant shall obtain the necessary permits prior to installation.
9. All ground level and rooftop mechanicals shall be screened/enclosed and constructed of like materials and colors of the facility (HVAC equipment, hoods, venting, etc.). Applicant shall work with staff with regards to constructing a well-designed rooftop and ground level mechanical screening for the site that utilizes colors and materials similar to the building. Staff may bring the proposed mechanical design back to the Plan Commission for review/approval.
10. Applicant shall install the low profile rooftop venting and not stacks (The low profile duct package that keeps the exhaust stack at four (4) feet above the roof and the intake makes a 90 degree turn and runs parallel to the roof to get the 10 foot separation). The applicant shall provide these HVAC plans to planning staff prior to building permit issuance.
11. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
12. Applicant shall obtain the necessary sign permits prior to installation. Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
13. Proposed and future signage at this property/facility shall be individual letter signs (no flat panel or interior lit cabinet signs).
14. Applicant shall remove all unused signage and all signage referring to previous businesses.
15. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
16. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
17. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
18. All vehicles shall be located on the private property and shall not be located on any City streets, public rights-of-way, other private properties, etc. Vehicles may be parked/stored on paved surfaces (not gravel or landscaped areas).
19. If the applicant proposes any type of exterior remodel/renovation to the building, City of Sheboygan Architectural Review Board approval is required prior to construction.
20. If there are any amendments to the approved use and/or floor/site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. 59281215125

MAP NO. _____

ZONING CLASSIFICATION: SUBURBAN COMMERCIAL (SC)

Office Use Only

Item 7.

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Bret Flory

1255 W 15th St. Suite 125

ADDRESS: Plano, TX 75075 E-MAIL: bflory@crossarchitects.com

PHONE: (972) 467-9749 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Caliber Collision

ADDRESS OF PROPERTY AFFECTED: 645 S Taylor Dr. Sheboygan, WI 53081

LEGAL DESCRIPTION: _____
SEC 21 T15N R23E PRT SW1/4 SE1/4 LOT 5 CSM REC
IN VOL 9 P 18 AS DOC #1191201 ROD

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: _____

NAPA Auto Parts

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: The proposed use is an Auto Body Paint and Repair Shop with fenced outdoor vehicle storage. Refer to attached project narrative for more information.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE: The property is zoned Suburban Commercial (SC). We would like to request approval of Conditional Use Permit to allow the use of Auto Body Paint and repair Shop

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? Caliber Collision is well versed in the procedures and requirements to divert any operational hazards. Any hazardous material shall be documented, handled and/or stored per local, state and federal requirements. Furthermore, the operator implements specific operational and safety guidelines that secure on-going daily assurance of employee, customer, property and surrounding area safety. See enclosed project narrative for more information

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? Caliber Collision the typical grocery, retail or restaurant user will. The traffic patterns and impact on the adjoining streets and neighborhood will be more or less identical to the previous automotive repair/auto parts user

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

All performance standards to comply with City of Sheboygan Zoning Ordinance to ensure this development will not become a nuisance to neighboring residential property owners. _____

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

The site will be serviced with the existing infrastructure for streets and utilities _____

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: 645 South Taylor Owner Equities LLC

55 Fifth Ave. 15th Flr.

ADDRESS: New York, New York 10003 E-MAIL: aziff@timeequities.com

ARCHITECT: Bret Flory

1255 W 15th St. Suite 125

ADDRESS: Plano, TX 75075 E-MAIL: bflory@crossarchitects.com

CONTRACTOR: _____

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

May 12, 2022

APPLICANT'S SIGNATURE

DATE

Bret Flory

PRINT ABOVE NAME

TO: City of Sheboygan
Planning & Development Department
828 Center Avenue, Suite 208
Sheboygan, WI 53081
920-459-3377

RE: Site Narrative – Conditional Use Application

DATE: May 16, 2022

PROJECT NAME AND ADDRESS:

Caliber Collision
645 S. Taylor Drive
Sheboygan, Wisconsin 53081

PARCEL INFORMATION/SITE DATA/LEGAL DESCRIPTION :

- The parcel is defined as tax parcel 59281215125
- Legal description: SEC 21 T15N R23E PRT SW1/4 SE1/4 LOT 5 CSM REC IN VOL 9 P 18 AS DOC #1191201 ROD
- The entire lot area is 0.9 Acres

ZONING CLASSIFICATION/ZONING REQUIREMENTS:

SC – SUBURBAN COMMERCIAL

Building to Front or Street Side Lot Line Setback: 25 feet
Building to Nonresidential Side Lot Line Setback: 10 feet or 0 feet on zero lot line side
Building to Nonresidential Rear Lot Line Setback: 10 feet
Minimum Building Separation: 20 feet or 0 feet on zero lot line side
Maximum Building Height: 50 feet (Can exceed 50 feet w/conditional use permit)
Parking Regulations: One space per 50 square feet of gross floor area.

EXISTING SITE CONDITIONS/LAND USE:

The property is currently under the operations of NAPA Auto parts. This is a commercial building that services in-store Automobile parts, supplies accessories and battery supplies

PROPOSED LAND USE/LOT COVERAGE SITE DATA:

The proposed use is an auto body paint and repair shop with fenced outdoor vehicle storage

a. Details about the type of proposed operation (including hours of operation)

All repair activities will be conducted in-doors and completely screened from public view. Public parking will be located at the existing parking lot at the entrance adjacent to the building. All vehicles received for repair will remain behind a fenced parking area. Vehicles that are taken in for repairs are typically admitted by tow truck which limits our customers coming to this location.

b. Facility Information:

- Site Area: 0.90 Acre Lot
- Bldg SF: 10,000 SF +/-
- Hours of Operation. 7:30 a.m. – 5:30 p.m. Monday through Friday
- Total Full-Time Employees on-site: approximately 18
- Yearly Salary Ranges:
 - Site Manager = \$90K Base (+ incentive bonuses/commissions)
 - Support/Office Admin Staff: 4-5 Count @ \$25K average = \$100K to \$125K
 - Junior Shop Techs = 10-12 Count @ \$50K average = \$500K to \$600K
 - Senior Shop Painters = 4 Count @ \$110K average = \$440K
 - Anticipated Employee Base Payout = \$1,220,000 to \$1,445,000

c. Scope of improvements to existing site and building

Site is accessible from Taylor Frontage Road S. There are no proposed changes to existing driveways. Caliber Collision takes very good care of their client as much as their brand. Every facility is well kept, clean and maintained. The project will revitalize the existing building and site without deviating from the overall design features of the surrounding neighborhood. It will promote further success to existing businesses, re-occupancy of an existing vacant facility, provide expanded job growth and assurance of good custodial care. It is the intent of the owner and all consultants to construct a quality project within the standards set by City of Sheboygan Planning, Building & Engineering design. The project will have no negative impact on surrounding areas but would enhance the built environment in the surrounding neighborhood, perform a function, and provide a service that is essential and beneficial to the community by Work valuation estimate is \$800,000

Exterior work is:

- Repaint the building
- Reseal concrete and asphalt paving, restripe parking lot
- Add 6'-0" tall chainlink fence with black vinyl slats to screen the outdoor vehicle storage metal fence
- Add metal sliding gate with black mesh (opaque)
- Cut in two (2) new overhead doors
- Provide RTU screen with metal panel
- Add exterior building signage – The sign vendor typically provides two internally illuminated wall mounted signs

Interior work is:

- Renovate the existing Office
- Renovate the existing Shop
- Add one detail bay and tie into the existing sand/oil interceptor
- Add two new paint booths

SITE SELECTION:

Caliber Collision is the nation's leading collision repair provider known for exceptional customer service. Locations are carefully chosen to make sure that they can provide positive impact and convenience to the community. They consider themselves to be a neighborhood service and they like to be located near their customers. Caliber works with most of the major insurance companies and they indicated that this area has the demographics where they would like to be located

SITE LIGHTING:

The existing wall mounted site lighting will be reused or replaced in it's current location with fixtures that meeting the local lighting ordinance

UTILITIES:

The site will be serviced with the existing infrastructure for streets and utilities

POTENTIAL NUISANCES:

All performance standards to comply with City of Sheboygan Zoning Ordinance to ensure this development will not become a nuisance to neighboring residential property owners.

Noise – The type of facility proposed shall be limited to vehicle body “prep”, parts replacement and finishing work room. Typical repairs include hood replacement, fender repair, hail damage, light interior, molding and windshield replacement. Inherently, these types of repairs are not loud enough to project recognizable sound beyond the proposed property lines. Furthermore, this facility shall operate with all exterior doors closed. The shop contains a full HVAC System that shall provide climate control year-round. With all doors closed, there should be no nuisance to neighboring properties in the way of noise. •

Dust – Within the facility, light dust is to be expected. The amount of dust is akin to a classroom chalkboard. Regularly scheduled cleaning ensures control. All sanding is performed with a filtered vacuum assist sanding machine.

Exterior – the only dust that would be on this facility would be that which blew in from adjacent properties. This facility has adequate paving, perimeter landscaping and screening walls. Nothing that occurs within the premises this site generates dust. Any dust that enters the site would likely

TRAFFIC IMPACT:

Caliber Collision generates less trips than the typical grocery, retail or restaurant user will. The traffic patterns and impact on the adjoining streets and neighborhood will be more or less identical to the previous automotive repair/auto parts user

OUTDOOR STORAGE OF VEHICLES:

Vehicles considered to be a total loss will be temporarily stored in area behind the building for no more than 48 hours and damaged vehicles waiting for repair will be temporarily stored within the fenced in area for no more than 7 days. All repair work takes place inside the building. Refer to enclosed parking operations letter

MECHANICAL ROOF TOP UNITS:

We will try to reuse the existing RTU's that are already up there and if we do need to replace any or all of them due to age or condition we will install the new one on the same curb. We can screen all the new and existing roof top mechanical equipment.

Each paint booth has one intake duct and one exhaust duct so each booth has two stacks. The mixing room has one small exhaust fan duct. They will have a maximum of two paint booths and

one mixing room and they may end up only installing one paint at this location due to the small shop area.

The exhaust stack is typically taller than the intake stack because they have to be 10' to meet the separation requirement in the mechanical code. The booth mfr can provide a low profile duct package that keeps the exhaust stack at 4' above the roof and the intake makes a 90 degree turn and runs parallel to the roof to get the 10' separation.

ENCLOSURES:

- 1.) Narrative of proposed project and Caliber Collision
- 2.) Parking operations letter

Respectfully,

Bret Flory

blory@crossarchitects.com

972.467.9749

TO: City of Sheboygan
Planning & Development Department
828 Center Avenue, Suite 208
Sheboygan, WI 53081
920-459-3377

RE: Project Narrative – Proposed Caliber Collision for 645 S. Taylor Drive

DATE: May 16, 2022

This letter serves to accompany the application for Conditional Use Permit (CUP) and provides a description of this proposed project and Caliber Collision.

I. PROJECT NARRATIVE:

Site consists of platted 0.90-acres of developed land, which is part of general plan zoned Suburban Commercial (SC) We are requesting a consideration to allow our proposed Auto Body Repair and Paint Shop at this location. Site is accessible from Taylor Frontage Road S. Currently, the building serves as NAPA Auto Parts Store and will be renovated to a Caliber Collision Center. It is the intent of the owner and all consultants to construct a quality project within the standards set by the City of Sheboygan for Building and Engineering Design.

a. Details about the type of proposed operation (including hours of operation)

All repair activities will be conducted in-doors and completely screened from public view. Public parking will be located at the existing parking lot at the entrance adjacent to the building. All vehicles received for repair will remain behind a fenced parking area. Vehicles that are taken in for repairs are typically admitted by tow truck which limits our customers coming to this location.

c. Facility Information:

- Site Area: 0.90 Acre Lot
- Bldg SF: 10,000 SF +/-
- Hours of Operation. 7:30 a.m. – 5:30 p.m. Monday through Friday
- Total Full-Time Employees on-site: approximately 18
- Yearly Salary Ranges:
 - Site Manager = \$90K Base (+ incentive bonuses/commissions)
 - Support/Office Admin Staff: 4-5 Count @ \$25K average = \$100K to \$125K
 - Junior Shop Techs = 10-12 Count @ \$50K average = \$500K to \$600K
 - Senior Shop Painters = 4 Count @ \$110K average = \$440K
 - Anticipated Employee Base Payout = \$1,220,000 to \$1,445,000

d. Damage or nuisance arising from noise, smoke, odor, dust, vibration or Illumination.

• **Noise** – The type of facility proposed shall be limited to vehicle body “prep”, parts replacement and finishing work room. Typical repairs include hood replacement, fender repair, hail damage, light interior, molding and windshield replacement. Inherently, these types of repairs are not loud enough to project recognizable sound beyond the proposed property lines. Furthermore, this facility shall operate with all exterior doors closed. The shop contains a full HVAC System that shall provide climate control year-round. With all doors closed, there should be no nuisance to neighboring properties in the way of noise.

• **Dust** – Within the facility, light dust is to be expected. The amount of dust is akin to a classroom chalkboard. Regularly scheduled cleaning ensures control. All sanding is performed with a filtered vacuum assist sanding machine.

- Exterior – the only dust that would be on this facility would be that which blew in from adjacent properties. This facility has adequate paving, perimeter landscaping and screening walls. Nothing that occurs within the premises this site generates dust. Any dust that enters the site would likely attach to perimeter landscaping and not pass through to the adjacent properties.

2. Operator and Safety Guidelines:

The operator implements specific operational and safety guidelines that secure on-going daily assurance of employee, customer, property and surrounding area safety. These include:

- a. **Drug Testing** – Applicants are required to pass drug screening. Once employed, Caliber reserves the right to perform both random and/or employee-specific testing. Any failure results in immediate loss of employment.
- b. **Authorized Employment** – Applicants are required to provide proof of citizenship and/or verification that they are authorized to be lawfully employment in the US.
- c. **Background Checks** – Applicants are required to pass a background check. This includes but is not limited to any incidents involving sexual crime, child endangerment, and other acts of violent nature.
- d. **Facility Management** – Each facility is managed with adequate and competent staff to oversee and monitor the repair services and customer interface.
- e. **Safety Training** – Given the nature of using automated machinery and restoration supplies, each employee is required to complete and continue ongoing safety training. All equipment used is state of the art and properly maintained. This instruction safeguards the employees, the environment, the clients, their vehicles and all neighboring facilities.
 - e.1 All training guidelines ensure prevention of the following:
 - i. Loud noise, fumes, odors, dust, vibration, illumination
 - ii. Fire, explosions, flooding,
 - iii. Contamination of persons, property or nearby equipment
- f. **Environmental Protection Agency and other Governmental Regulations** – All products used, services rendered, and disposals of waste are highly regulated to prevent unwanted affects. All products and equipment are designed to ensure compliance. Laws and limitations are monitored and enforced so that any employee, clientele and passerby may be assured of a safe environment.

3. COMPATIBILITY OF PROPOSED FACILITY WITH SURROUNDING PROPERTIES AND COMMUNITY

Caliber Collision is the nation's leading collision repair provider known for exceptional customer service. They take very good care of their client as much as their brand. Every facility is well kept, clean and maintained. Locations are carefully chosen to make sure that they can provide positive impact and convenience to the community. Applicant suggests that this facility will serve as the single-most compatible site with the types of uses permitted in the surrounding area. As such, it will

promote further success to existing businesses, provide expanded job growth and assurance of good custodial care.

The parcel is zoned Suburban Commercial (SC) and adjacent parcels are zoned the same except for the east parcel which is Suburban Residential – 5 (SR-5). Caliber Collision is considered as a neighborhood service. With similar zones surrounding the property, the proposed project is compatible with the existing developments and businesses. Similar auto services facilities can also be found in the surrounding areas.

All services shall be performed within an enclosed building. All repair activities will be conducted indoors and completely screened from public view. All parts, materials and equipment shall be stored within an enclosed building. There will be no visible equipment, parts and materials outside the building. No vehicle awaiting repair shall be located on any portion of the site so as to be visible from any public street, and shall be limited to locations designated on the approved site plan.

As a multi-state/multi-operator of Body Shops, Caliber Collision is well versed in the procedures and requirements to divert any operational hazards. Prior to opening for business, Caliber Collision will secure a Business License to operate said facility. Any hazardous material shall be documented, handled and/or stored per local, state and federal requirements. The proposed facility (site and building) will be designed by licensed Architects/Engineers who are thoroughly versed in Body Shop Designs. Final interior designs shall be designed by same Architects/Engineers. Interior Lighting, HVAC Ventilation, and Storm Sewer oil/sand interceptors shall be properly placed to facility safe conditions within and outside the entire property. These designs shall receive City of Sheboygan a Plans Review/Permit Approval to ensure structural, life safety, ADA and Building Code compliance for the proposed operations. Furthermore, the operator implements specific operational and safety guidelines that secure on-going daily assurance of employee, customer, property and surrounding area safety. Refer to Section 2 of the narrative.

Furthermore, we would like to note the contributions that Caliber Collision brings surrounding communities for all of their locations. Among their traditions of charity and community enrichment programs (<http://calibercollision.com/about-us/community-involvement/>), Caliber Collision actively supports:

- American Heart Association Heart Walk, American Heart Association Cotes Du Coeur, and Children's Advocacy Center of Collin County
- Assisted military service members transition out of active duty and into a collision/auto body industry career through Changing Lanes Program.
- Supplied local food banks with more than 275,000 meals for needy families in 2013
- Gifted 13 fully-refurbished vehicles to needy families through the Caliber Collision Recycled Rides program in 2012. Plan on gifting 25 in 2013
- Gifted more than 500 vehicles to veterans, active-duty service members and others in need of reliable transportation through the Caliber Collision Recycled Rides program since 2012.

This year, as part of their Restoring You program, they are focusing on helping the medical workers, medical support staff and first responders battling COVID-19 who are doing so much to help all of our communities

Finally, to further endorse their commitment to excellence, USAA has identified Caliber Collision as having "an exceptionally high standard when it comes to service delivery.

Respectfully,

Bret Flory
blory@crossarchitects.com
972.467.9749

Steve Sokolowski
Manager of Planning & Zoning
CITY OF SHEBOYGAN
828 Center Avenue, Suite 208
Sheboygan, WI 53081
(920)459-3382 (phone)
steve.sokolowski@sheboyganwi.gov

May 16, 2022

Mr. Steve Sokolowski,

This letter is to inform you of the standard operating procedure for how customer vehicles are processed through a Caliber Collision facility. Please see below for the typical scheduling sequence:

- Damaged vehicles are delivered to the shop via the customer or on a flatbed truck where they are accessed and a determination is made within 24 hours if they will be repaired or completely totaled out. If the insurance company determines that the vehicle is a total loss, it is removed from the premises and sent to a salvage yard at the direction of the insurance company within 48 hours.
- Vehicles that are accepted for repair will either be put immediately into production if there is space available in the shop at that time or temporarily stored in the area behind the building for no more than 7 days. If a car is put right into production it will never be parked outside until it has been completely repaired and is waiting for the customer to pick it up. Production is a 3 step process:
 - Repair - During the collision repair process, an electronic measuring system analyzes the car to restore it according to the factory specifications. This is an important step as it ensures the car frame remains structurally sound. If needed, wheel alignment and other suspension repairs will be done. All mechanical repairs should be completed along with the structural repair.
 - Paint Prep - Paint preparation is a crucial step in the refinishing process of all types of vehicles. The body shop will prepare all panels for painting before priming and sealing. This creates better adhesion when the top color and additional clear coating are applied to your car.
 - Reassembly - In the reassembly area, all detail pieces and final moldings are returned to the vehicle. All the systems in the car are also inspected during this step. Once your car reaches this stage, it means the repair is almost finished and the car is almost ready to be delivered to the client.
 - Quality Control Inspection - The vehicle gets a wash and thorough interior cleaning once all parts have been reinstalled. Surfaces are cleaned and the body paint is polished. In addition

to doing a physical inspection, the body shop personnel will also test drive your car. This is to make sure that there are no driving problems that may be related to the repaired part/s of the vehicle.

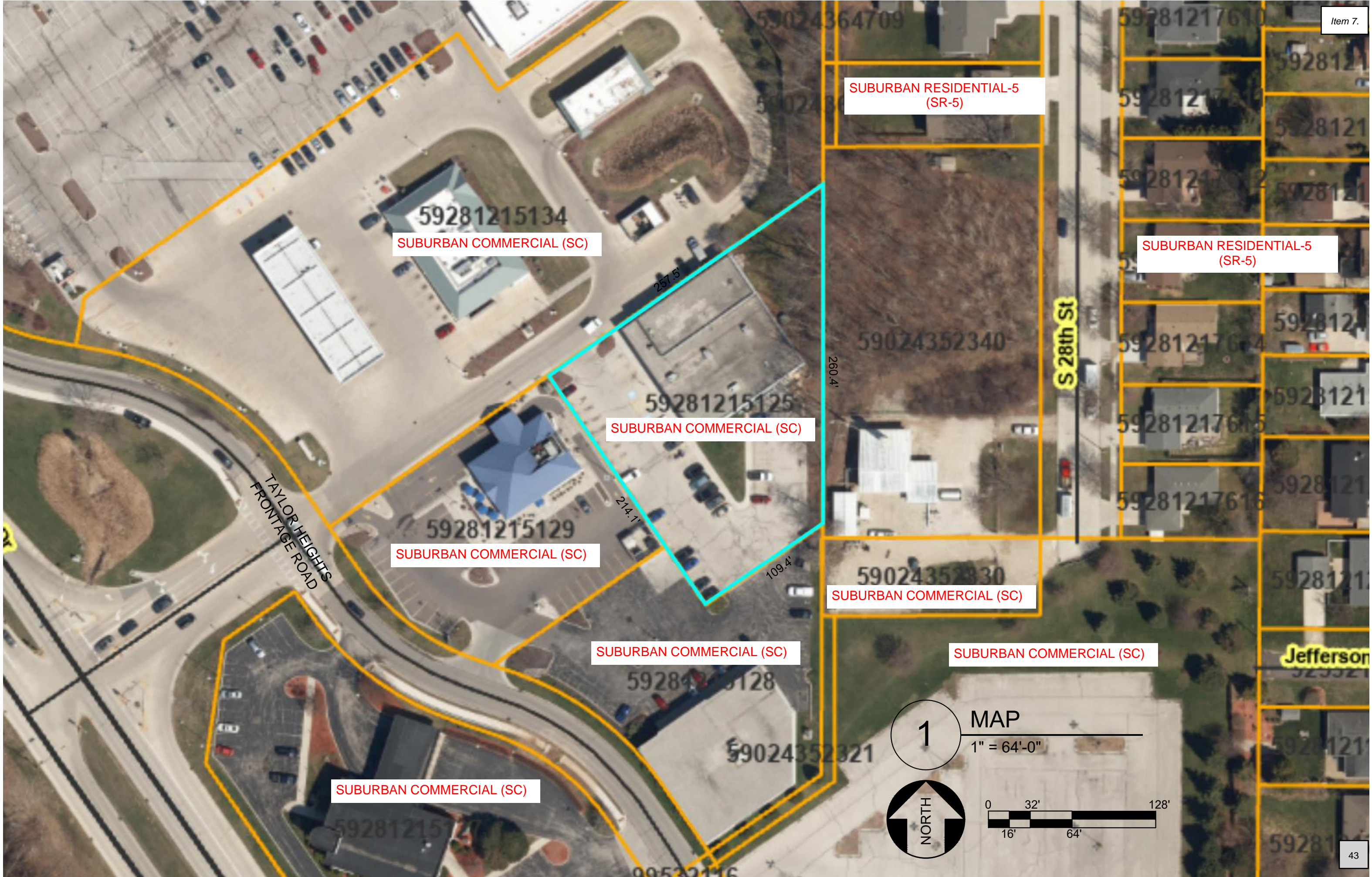
- Delivery - This is the final step in the collision repair process. Once the client arrives at the shop to pick up their car, the final paperwork is released and the bill is explained. The customer then drives home in the car that has been returned to its pre-accident state.
- Some of the extra parking spaces would be used for staging cars that have already been repaired and for extra staff or customer parking as needed.

To summarize, vehicles considered to be a total loss will be temporarily stored in area behind the building for no more than 48 hours and damaged vehicles waiting for repair will be temporarily stored within the fenced in area for no more than 7 days. All repair work takes place inside the building.

Sincerely,



Derrick Stowers
VP of Facilities and Construction



59281215134
SUBURBAN COMMERCIAL (SC)

SUBURBAN RESIDENTIAL-5
(SR-5)

SUBURBAN RESIDENTIAL-5
(SR-5)

59281215125
SUBURBAN COMMERCIAL (SC)

59281215129
SUBURBAN COMMERCIAL (SC)

59024352330
SUBURBAN COMMERCIAL (SC)

SUBURBAN COMMERCIAL (SC)

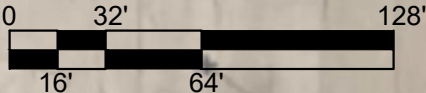
SUBURBAN COMMERCIAL (SC)

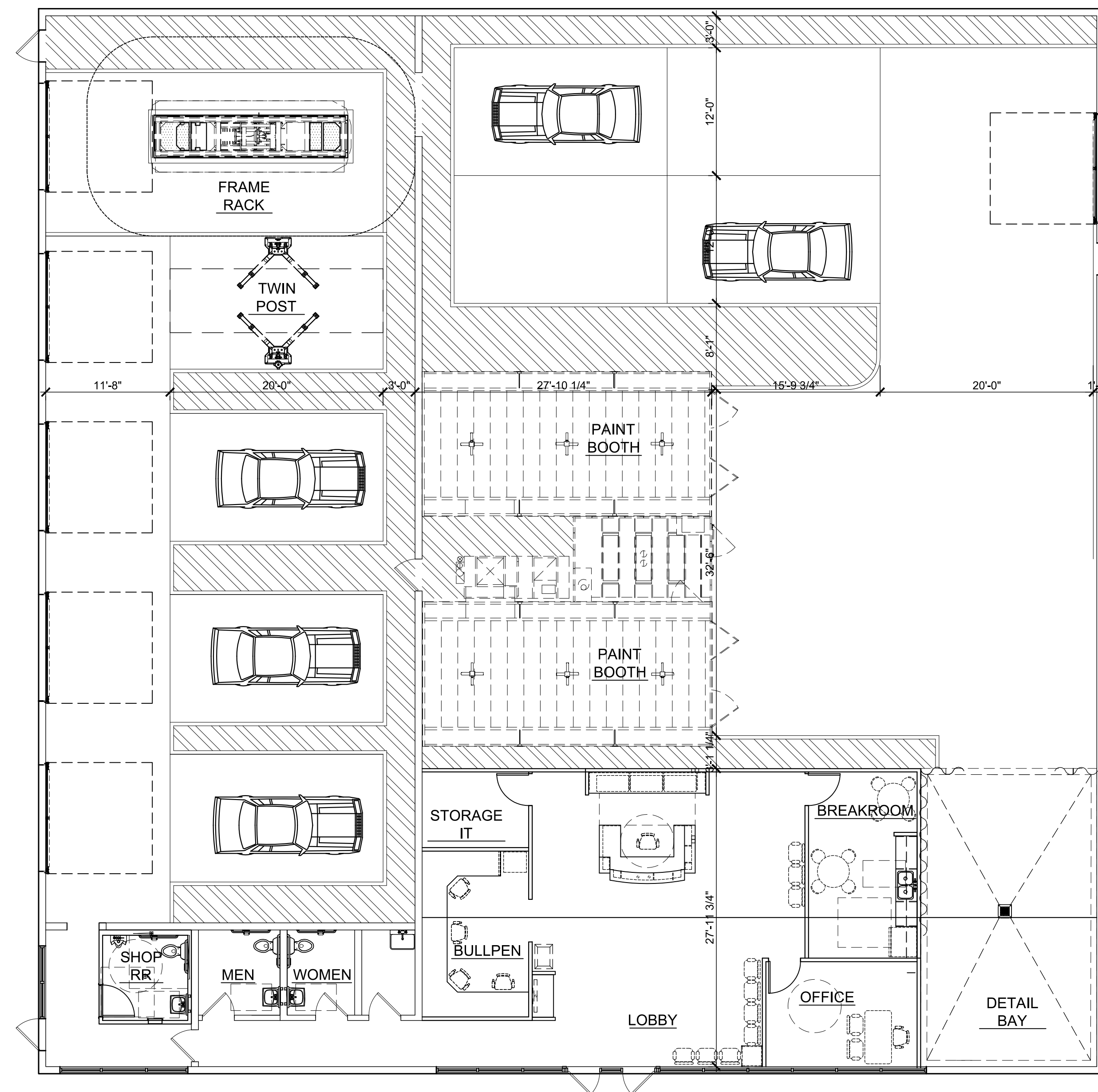
SUBURBAN COMMERCIAL (SC)

1

MAP

1" = 64'-0"





WALL LEGEND

- NEW WALL —
- EXISTING WALL ==

BUILDING DATA

OFFICE	=	1,540 SQ. FT.
SHOP AREA	=	8,460 SQ. FT.
TOTAL AREA	=	10,000 SQ. FT.

STALL DATA

TOTAL TECH STALLS	=	7
TOTAL TECHS	=	7/2 = 3.5



BRET FLORY
1913 GARDENGROVE COURT
PLANO, TEXAS 75075
PH: 972.467.9749

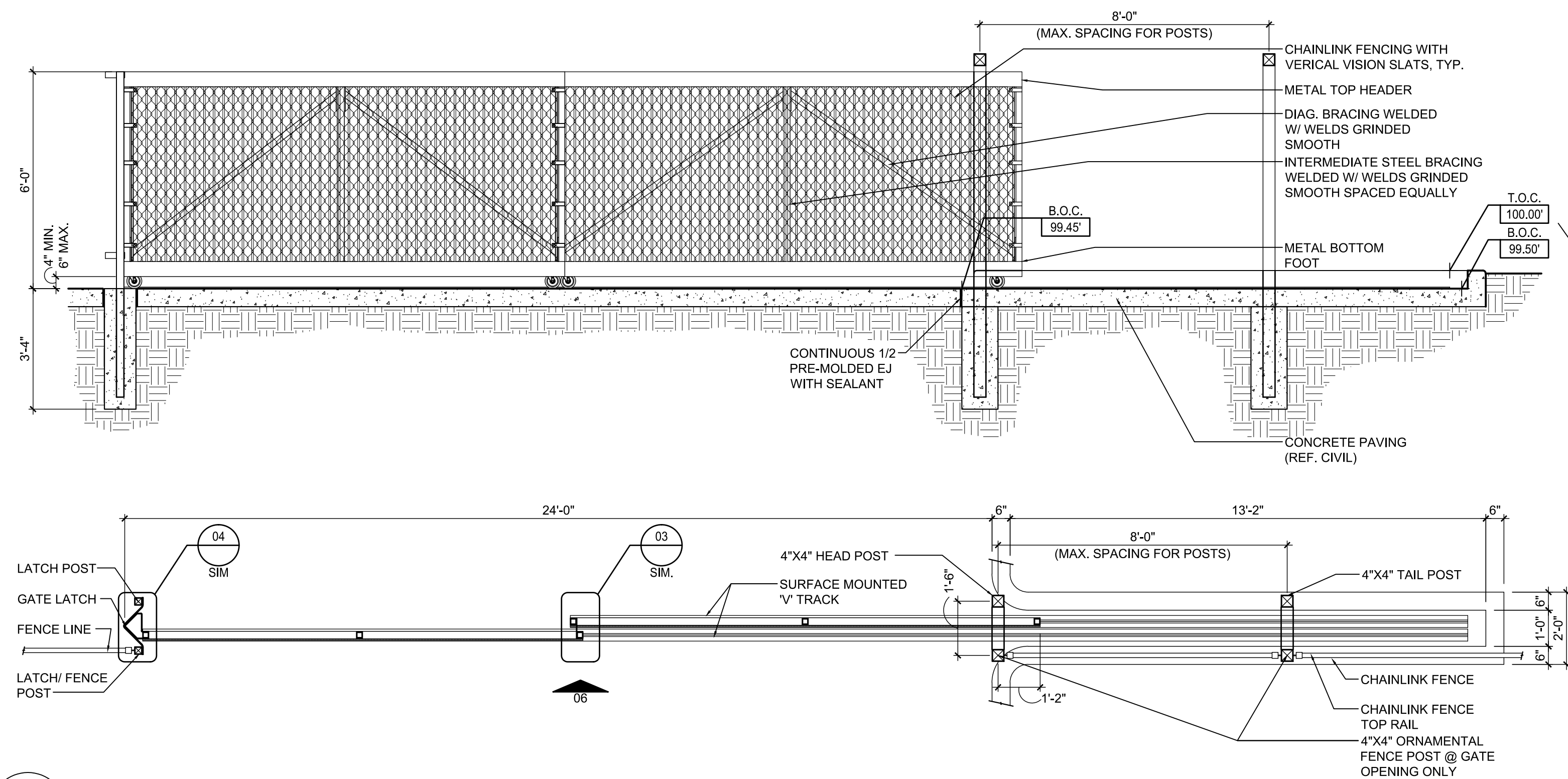
CALIBER COLLISION

CONCEPTUAL FLOOR PLAN C

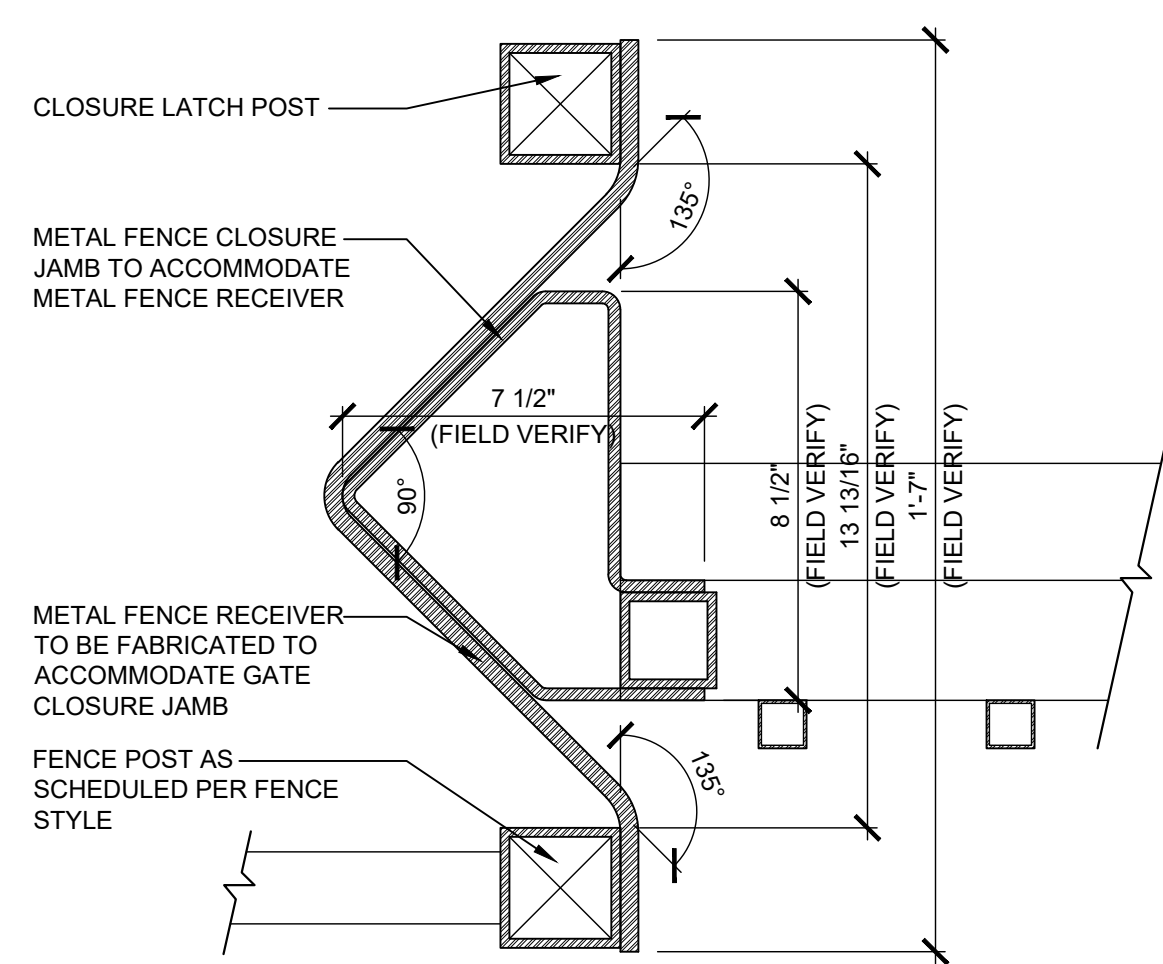
645 S. TAYLOR DR
SHEBOYGAN, WI

DRAWN: CVO	PROJECT #: SCHEM	DATE: 21.11.08
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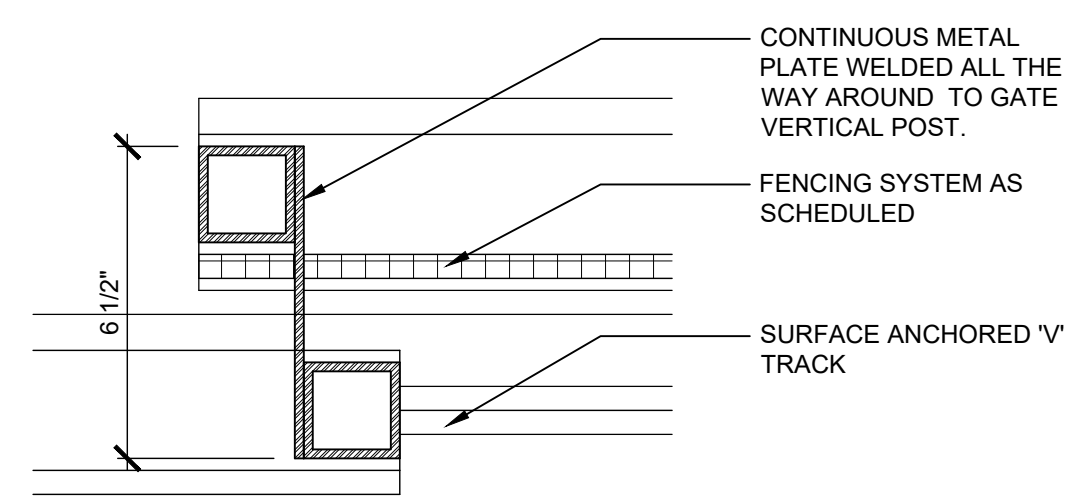
1 FLOOR PLAN
1/8" = 1'-0"



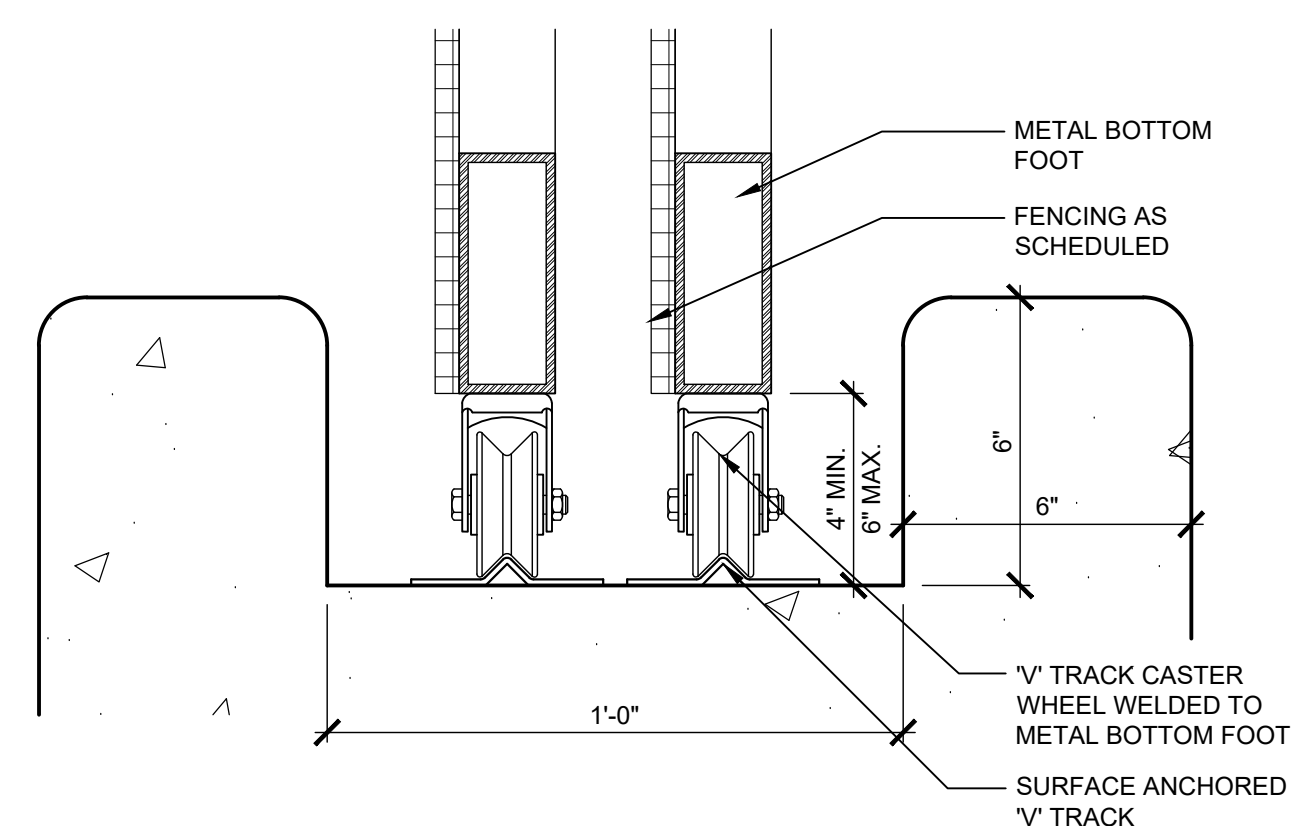
06 SLIDING CHAIN LINK FENCE GATE PLAN & ELEVATION
SCALE: 3/8"=1'-0"



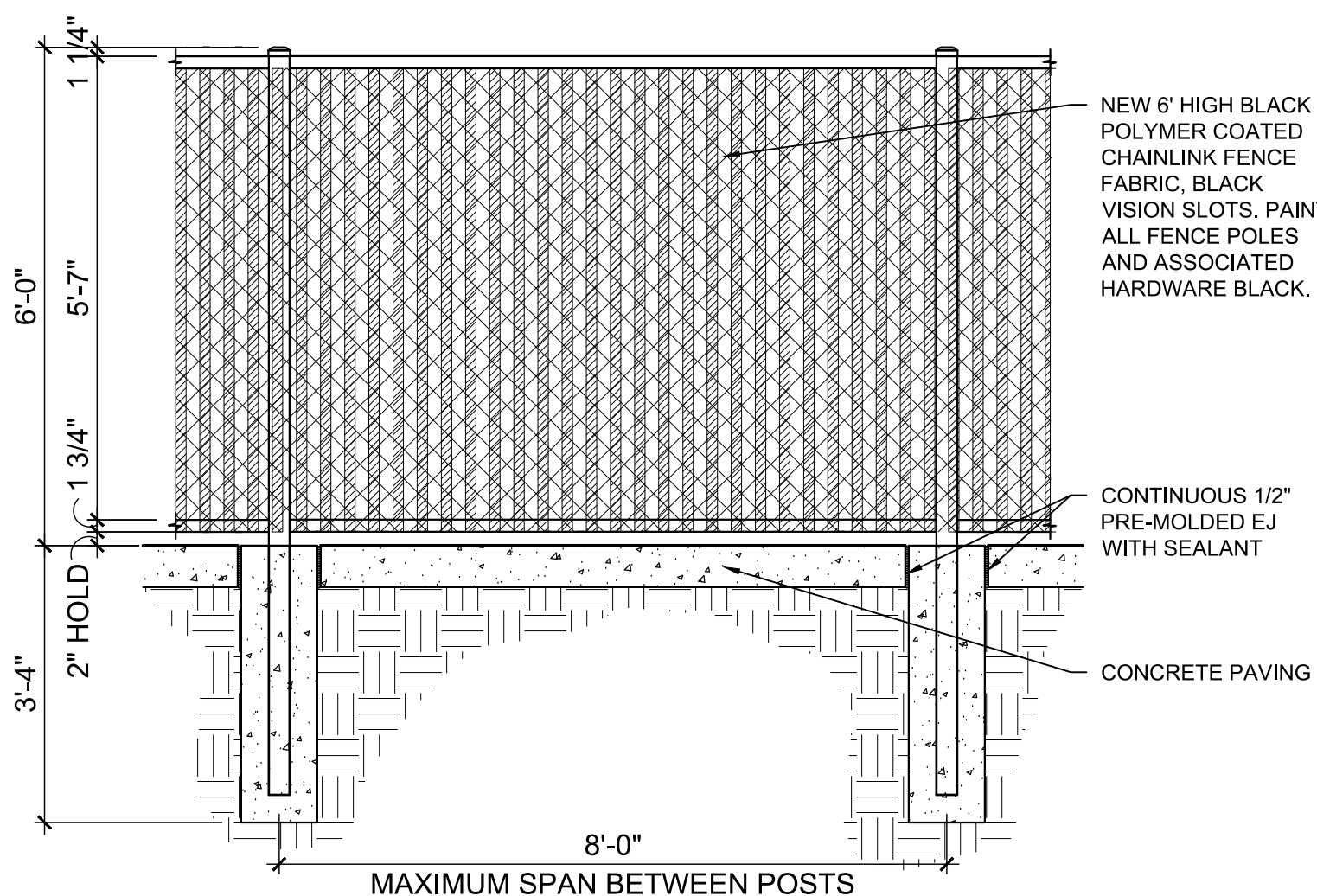
04 FENCE RECEIVER DETAIL
SCALE: 3"=1'-0"



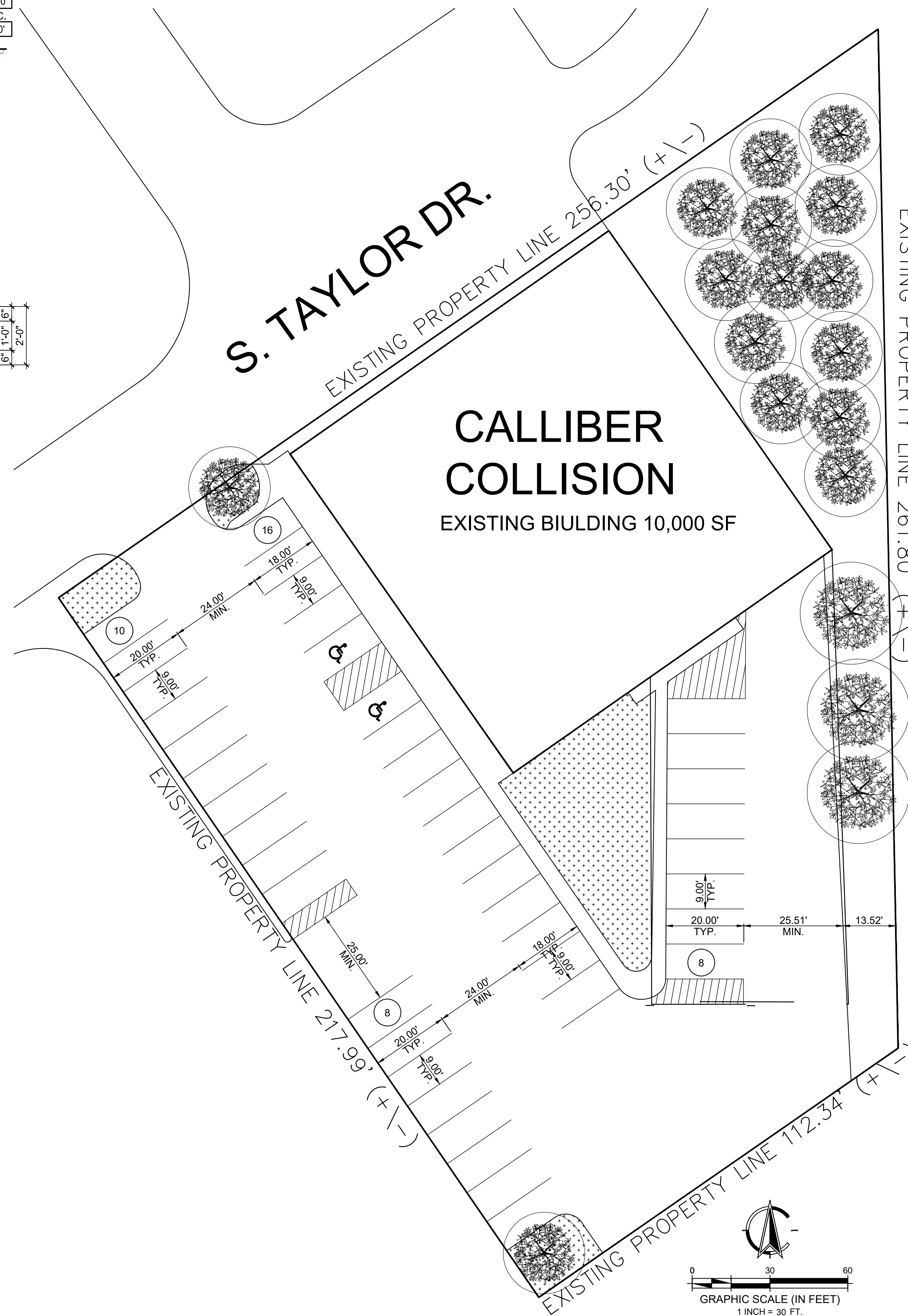
03 DETAIL
SCALE: 3"=1'-0"



05 "V" TRACK DETAIL
SCALE: 3"=1'-0"



02 CHAIN LINK FENCE ELEVATION
SCALE: 1/2"=1'-0"



01 SITE PLAN
SCALE: 1"=20'-0"

SITE DATA			
OFFICE SQ. FT.	=	1,540 SQ. FT. ±	
SHOP FLOOR SQ. FT.	=	8,460 SQ. FT. ±	
TOTAL BUILDING SQ. FT.	=	10,000 SQ. FT. ±	
ACREAGE TOTAL	=	0.9	
PARCEL TAX #	:	59281215125	
LEGAL DESCRIPTION:	SEC 21 T15N R23E PRT SW1/4 SE1/4 LOT 5 CSM REC IN VOL 9 P 18 AS DOC #1191201 ROD		
FLOOD ZONE 'X' (OUTSIDE 500 YEAR PLAIN)			
SETBACKS:			
FRONT: 25'	REAR: 10 OR 0'	SIDES: 10'	
PROPOSED HEIGHT	=	EXTG	
MAX. HEIGHT	=	EXTG	
ZONING	SC (SUBURBAN COMERCIAL)		
USE	AUTO BODY PAINT (AUTO REPAIR)		
WATER	EXTG		
SEWER	EXTG		
PARKING CALCULATIONS			
OFFICE @ 1:200 REQ'D	=	8	
SHOP @ 1:300 REQ'D	=	28	
CITY TOTAL REQUIRED	=	36	
TOTAL PARKING SHOWN	=	42	
BICYCLE CALCULATIONS			
OFFICE @ 5% OF 10	=	0	
SHOP @ 5% OF 47	=	0	
CITY TOTAL REQUIRED	=	0	
TOTAL BICYCLE SHOWN	=	0	



BRET FLORY
1913 GARDENGROVE COURT
PLANO, TEXAS 75075
PH: 972.467.9749

CALIBER COLLISION

CONCEPTUAL SITE PLAN

SHEBOYGAN, WI

DRAWN: CVO PROJECT #: 21138 DATE: 22.05.17

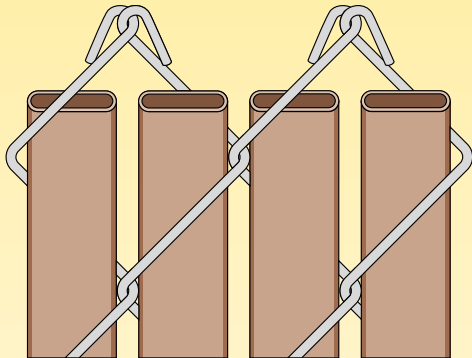
You'll See The Difference

What does Fin/Slat '1000' have to offer you that no other ordinary slat manufacturer can? More personal privacy.

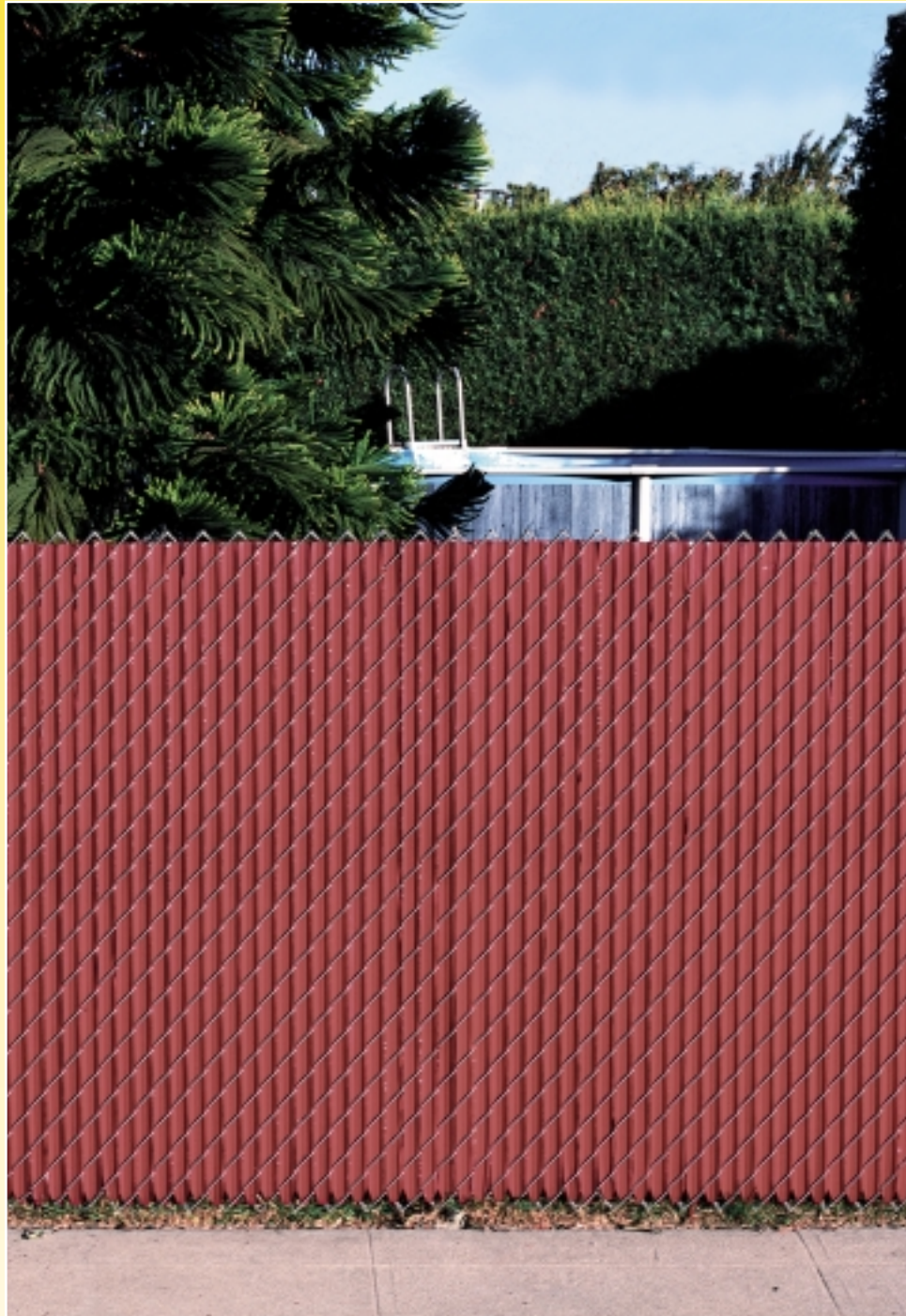
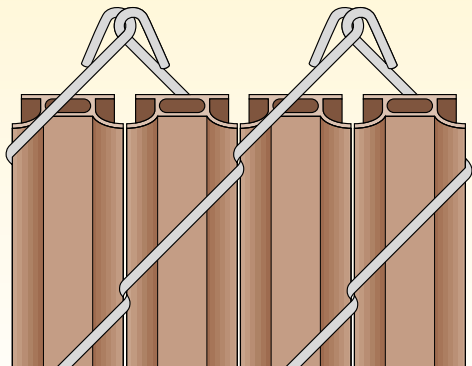
Fin/Slat '1000', self-locking privacy slats are engineered to provide maximum density resulting in an unprecedented degree of privacy and style.

If you're looking for privacy and style for your fence, Fin/Slat '1000' is the obvious choice.

Ordinary Slat



Fin/Slat '1000'



What separates FIN/SLAT '1000' from ordinary slats?

Warranty

No other fence company backs its products as well as Master Halco. Fin/Slat '1000' has a 15-year limited warranty so you'll never have to worry about your purchase decision.

Privacy

Exclusive, patented slats offer an unprecedented degree of privacy to your chain-link fence system.

Beauty

Manufactured using high density virgin polyethylene and ultraviolet inhibitors, Fin/Slat '1000' is designed to stand up to years of outdoor exposure, enhancing the value of your property for years to come.

Easy Installation

The self-locking slats can be installed by hand or by using an installation tool included for additional ease.

Versatility

Fin/Slat '1000' is available in beige, rustic brown, snow white, black, redwood, sky blue, forest green, cape cod gray and royal blue. Variety coupled with the strength and security make Fin/Slat '1000' the ideal choice for residential, commercial and industrial applications.

Specifications subject to change without notice.

FIN/SLAT '1000' is available in the following colors*:



Beige



Rustic Brown



Snow White



Black



Redwood



Sky Blue



Forest Green



Cape Cod Gray

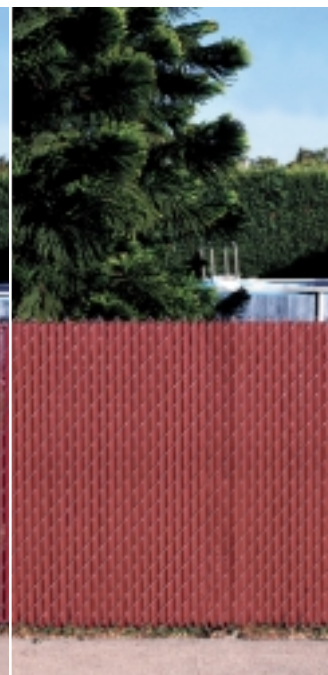


Royal Blue

* Due to manufacturing variances and limitations of the production process, actual slat colors may vary from this brochure.



Ordinary Slats



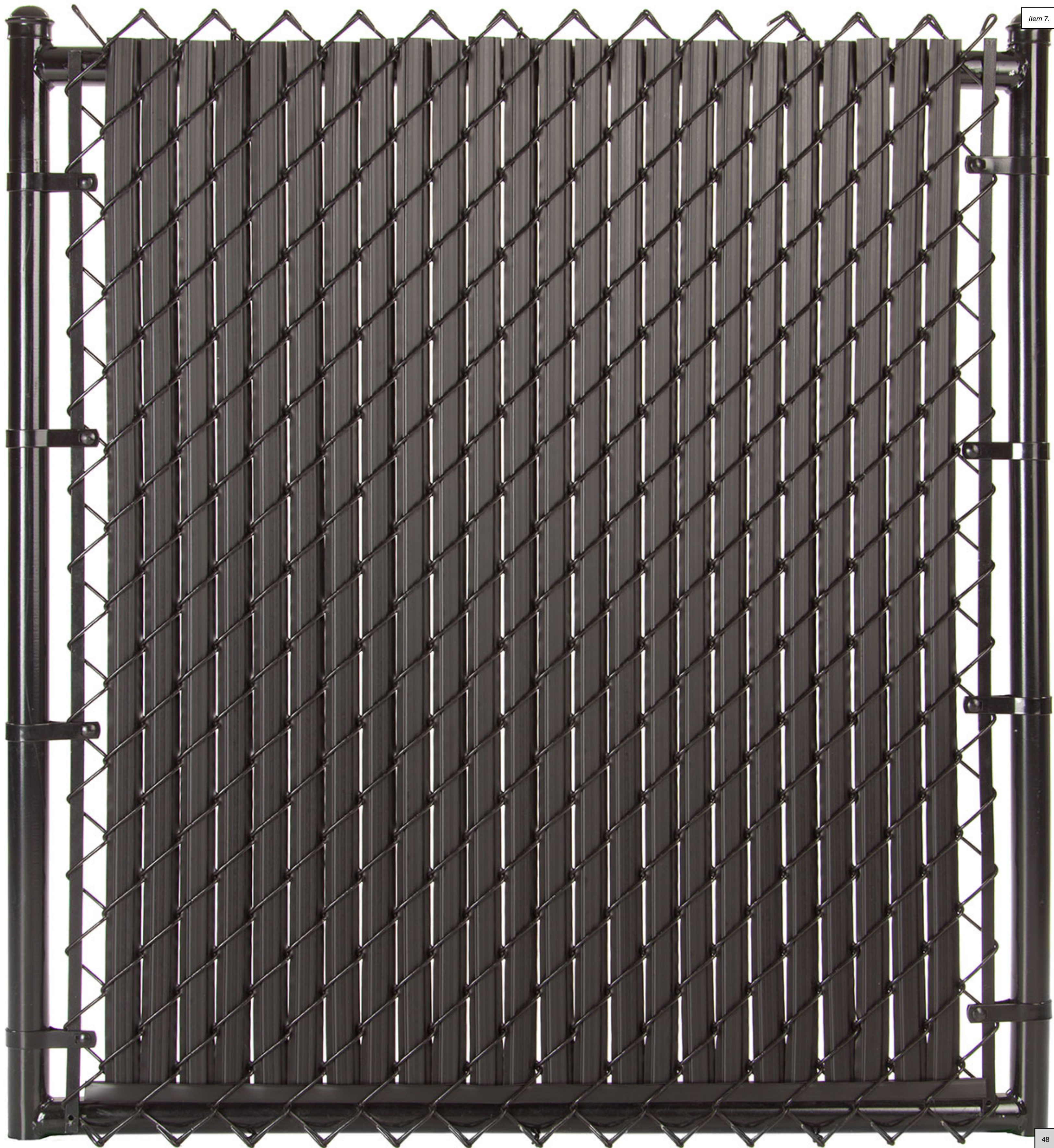
Fin/Slat '1000'

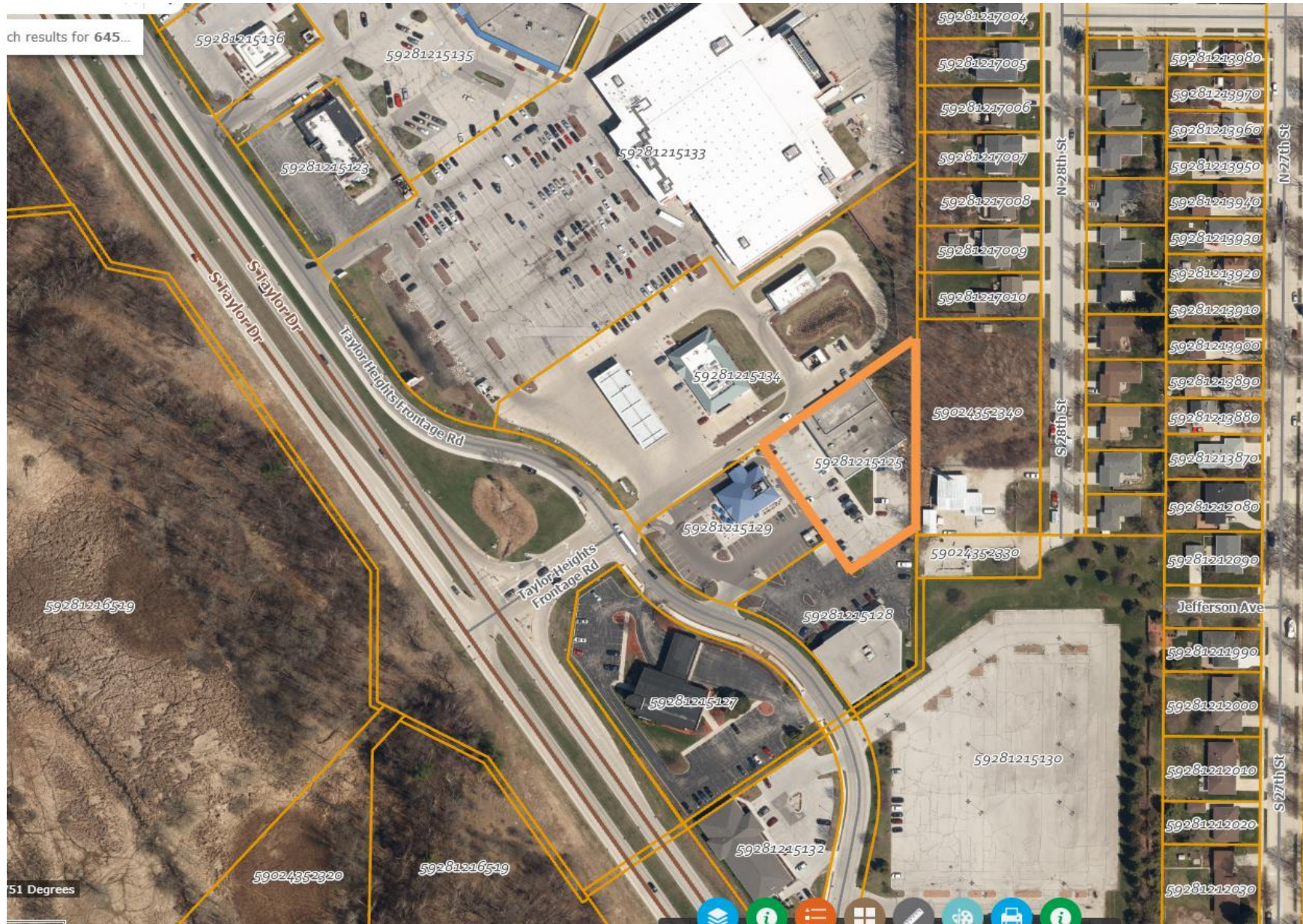


For more information, contact our
Customer Service Department:
1-888-MH-FENCE (toll-free)
4000 W Metropolitan Dr., Orange, CA 92868
email: info@FenceOnline.com • www.FenceOnline.com
MH 046093 10/00. Copyright ©2000-2005 Master Halco, Inc. All rights reserved.

Fin/Slat '1000' is available from:

















CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Precise Implementation Plan by South Pier Family Investments, LLC, to construct the 2nd Phase of SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 Condos and the fish cleaning station). PUD Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

In October of 2021, the Plan Commission approved a proposal from South Pier Family Investments, LLC, to construct the 2nd Phase of SP Riverfront Condominiums located in the S. Pier District along S. Pier Drive (between Phase 1 condos and the fish cleaning station). However, the applicant indicates that the costs and the timeframe involved in obtaining those materials has required the owner to reconsider the previously approved project and submit a new design.

The applicant states the following about the SP Riverfront Condominiums development project:

- SP Riverfront Condominiums previously received approval for a two phase condominium project on a previously vacant city owned parcel of land along the north side of South Pier Drive. This City owned site is approximately one (1) acre in size and is located between S. Pier Drive, the Sheboygan River, The Reiss River Condominiums and the public Fish Shanty. The parcel is bisected by a 35 feet wide public utility easement and the placement of the two (2) buildings has taken this easement into consideration.
- Phase 1 was recently completed and is almost fully occupied. Phase 1 included a new 4-story building, featuring 21 dwelling units with an enclosed on-grade parking structure. This building was constructed on the western portion of the site, whereas Phase 2 will occur on the eastern portion of the site.
- Phase 2 was going to be a complimentary 4-story building, featuring 15 dwelling units with an enclosed on-grade parking structure.

- Phase 2 is now proposed to be a 3-story building featuring six (6) townhouse units with first floor garage parking for each individual unit.
- Five (5) units will have 4 bedrooms, 3-1/2 bathrooms and will be 3,012sf. The sixth unit will be 3,707 total square feet, 3 bedrooms, and 3-1/2 bathrooms. Each unit will have an outdoor deck on the second and third floor. Each unit has its own individual entry.

The applicant states the following about the proposed building and architecture:

- The second building for South Pier Apartments (Phase 2) will be different in design but similar materials and colors to the first building.
- The exterior will consist of thin brick masonry on the lower level and smartside lap siding above, the colors matching the Phase 1 apartments. The main entrances to the units are located next to the garage in each individual unit. In conjunction with the individual unit entry, a parking lot and driveway will be included on the south side of the building.
- Phase 1 was 11,200sf and 7 units per floor (total floor area of approximately 45,552sf).
- Phase 2 will be a total of 6,350sf per floor- 6 townhouse units with 3 stories (total floor area of approximately 22,180sf). Approximately 3,000sf per unit.
- Each unit has a main entry and a two-car garage, with a shared parking lot and driveway area, as well as patio space on each floor.
- The masonry base will match the existing masonry but will be a thin brick veneer.
- The siding will be the same color and LP Smartside system as Phase 1.
- The windows will be dark bronze sliding windows like the existing building.
- The new building will have decks similar in color and materials to the existing building but configured differently.
- The building will be located and fit in the footprint that was previously approved as part of Phase 1.
- Site plan will include new parking locations and a driveway entry to each unit garage. The drives and landscaping will be adjusted to fit the new plans.
- Targeted unit sale prices will range from \$499,000. The estimated approximate value of the Phase 2 building and site improvements will be approximately \$3,000,000.

- Site improvements include new public and private sidewalks along South Pier Drive along with landscaping integrated into the streetscape theme. The river side (rear of the site) will feature landscaping that will complement the “river walk” as it extends north and south from the site including accent lighting for the large lawn area.
- Parking for Phase 1 included 25 interior spaces and 21 of the 23 exterior spaces shown on the site plan, thus yielding a total existing parking stall count of 46 spaces. The construction of Phase 2 will include a two-car garage for each unit (12 spaces) with three (3) at grade parking spaces on the south side of the building. We believe the proposed parking stall count is sufficient for the development.

Site improvements include:

- There will be a total of six (6) units in Phase 2.
- Five (5) units will have 4 bedrooms, 3-1/2 bathrooms and will be 3,012sf.
- The sixth unit will be 3,707 total square feet, 3 bedrooms, and 3-1/2 bathrooms.
- Each unit will have an outdoor deck on the second and third floor. Each unit has its own individual entry.
- Targeted unit sale prices will be \$499,000.
- Phase 2 will include 15 total parking spaces - 12 interior garage parking spaces and three (3) exterior parking spaces.
- The building is 33 feet 3 inches tall (Grade to the top of the perimeter roof parapet). The top of the stair tower 40.
- There will be two (2) access drives to S. Pier Drive. One drive will be located in the middle of the property and one drive will be located at the south end of the property. The southernmost driveway is shared with the Reiss Condos to the west.
- Total number of units for the South Pier Riverfront Condominiums will be 27 units (Phase 1 has 21 units and Phase 2 has 6 units).

The SP Riverfront Condominiums development is focused on creating another opportunity for residential ownership within the South Pier Development District which complies with the comprehensive plan as envisioned by the City of Sheboygan for the South Pier District. These condos will provide residents easy access to restaurants, shopping, walking trails, the river walk, the Sheboygan River, Lake Michigan, etc.

STAFF COMMENTS:

There is a large 35 foot public utility easement that runs through the center of the property and that is why you see the site developed in phases as you do – building on the east and west side of the easement.

There is a significant amount of utilities that will be required to be relocated as a result of the building location on the north side of the property. Thus, staff will be recommending a condition of approval that the applicant is responsible for all of the work and costs involved in relocating these utilities as necessary.

Applicant will work with the engineering department regarding installation of City sidewalk to standard City specifications to be completed along S. Pier Drive.

The applicant has not provided sign drawings in this PIP. Staff recommends that the applicant work with staff with regards to appropriate signage. Applicant will be required to submit the final design package in order to be incorporated into the approved PIP. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage.

The applicant is requesting the following exemptions (exemptions based on the CC zone):

- Applicant is requesting a building height of 33.3 feet (condo roof 33.3 feet and stair tower roofline is 40 feet) - Maximum building height is 20 feet (zoning).

Building 1 - The top of the roof is at 45 feet and the top of the stair tower is at 54.3 feet.

Building 2 - The top of our roof is at 33.3 and the top of the stair tower is at 40 feet.

- Applicant is requesting a zero (0) foot rear building setback - Minimum rear yard setback is 10 feet.

ACTION REQUESTED:

Staff recommends approval of the SP Riverfront Condominiums PIP subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, water, sewer, health, storm drainage, floodplain, DNR, etc. (Applicant shall be in contact with building inspection, fire, police, etc.). An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant is responsible to ensure that the proposed buildings are meeting all Federal, State and Local codes pertaining to the Sheboygan River Floodplain.
3. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
4. Submittal and approval of a landscape plan prior to building permit issuance. Landscape plan shall provide a legend that shows how the four (4) landscape criteria are being met (create a legend along with the landscape plan site plan). Landscaping shall be installed prior to issuance of an occupancy permit.
5. Dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility. Dumpster shall be completed prior to issuance of an occupancy permit.
6. Outdoor storage of materials, products or equipment shall be prohibited.
7. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
8. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
9. Applicant shall install signage meeting the South Pier Design Guidelines and shall work with staff with regards to appropriate signage. Applicant will be required to submit the final design package in order to be incorporated into the approved PIP. Only at such time as the sign package has been reviewed and approved may the applicant obtain sign permits to install the proposed signage. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration.
10. Wall signage will be individual letter signs (no flat panel or interior lit cabinet signs).

11. All areas used for parking/maneuvering of vehicles shall be paved.
12. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
13. Any new ingress/egress driveway openings and any drives to be closed or modified shall be improved to standard City specifications.
14. Applicant is responsible for installing sidewalk and all public improvements along S. Pier Drive and/or fish cleaning station to standard City specifications.
15. Applicant will provide adequate public access along all streets, sidewalks and riverfront promenade and will take all appropriate actions to minimize the time period that adjacent properties and streets/sidewalks are impacted by the SP Riverfront Condominiums development (utilities, streets, etc.).
16. Applicant shall immediately clean any and all sediments, materials, tracking, etc. that may be spilled off-site on private or public lands and streets.
17. Streets and infrastructure damaged and/or disturbed during construction of all private and/or public improvements shall be promptly repaired by the applicant.
18. All vehicles, equipment, materials, products, etc. shall be located on the applicant's property (no storage on public rights-of-way).
19. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc. Nothing will be located on the City Sheboygan public right-of-way unless the required encroachments are obtained (stairs on riverside).
20. Any work within City of Sheboygan Public rights-of-way shall be discussed with the City Engineering Department and constructed to standard City specifications (including, but not limited to, new and old ingress/egress driveway openings, curb, gutter, sidewalk, pavement, utilities, street trees, etc.).
21. If necessary, the applicant shall be required to obtain the necessary encroachment to utilize the riverfront promenade public right-of-way and/or the 35 foot utility easement for building, landscaping, etc. Applicant shall work with City Development and Engineering staff to determine the exact locations of these improvements. No building and/or sign permits shall be issued for any of the structures that will utilize the riverfront promenade public right-of-way and/or the 35 foot utility easement until such time as the encroachment has been obtained.
22. Applicant is responsible for working with all private and public utilities in order to adequately service this condo development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
23. City Development staff will issue a building permit only if the applicant has adequately satisfied all concerns related to the Sheboygan Fire Department, including but not limited to fire lane access at the site, sprinkler systems, hydrants, water pressures, etc.
24. Applicant shall not negatively impact soils, deadmen tie backs of the seawall, etc.
25. The applicant is responsible for all of the documentation, construction and costs involved in relocating the utilities as necessary for Phase 2.
26. Prior to building permit issuance, the City of Sheboygan Architectural Review Board shall review/approve the SP Riverfront Condominiums.
27. If applicant has not obtained building permits for Phase 2 within a one (1) year after PIP approval, the applicant will assign the remaining property back to the City of Sheboygan Redevelopment Authority (area east of the center line of the City public utility easement).
28. If the applicant does not proceed with Phase 2, the applicant shall grade and landscape/grass all private and public lands/property, temporary roads, temporary access drives, etc. 60 days after the City is notified that the applicant is not proceeding with Phase

2. Within this same 60 day period, the applicant shall also be required to remove permanent/temporary off-premise signage, structures, etc. from this parcel.
29. If there are any amendments to the approved PIP (including but not limited to site plan, architectural design, etc.) the applicant will have to submit an amended PIP for review by the Plan Commission that accurately reflects any and all proposed changes.

Item 8.

ATTACHMENTS:

Conditional Use and required attachments

PARCEL NO. 59281322060

MAP NO. _____

ZONING CLASSIFICATION: PUD

Office Use Only

Item 8.

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

CITY OF SHEBOYGAN APPLICATION FOR CONDITIONAL USE PERMIT

**Requirements Per Section 15.905
Revised May 2018**

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Dr. Toby Watson - South Pier Family Investments

ADDRESS: 2808 Kohler Memorial Drive E-MAIL: tobytylerwatson@gmail.com

PHONE: (920) 918-7377 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: South Pier Riverfront Townhouses - Phase 2

ADDRESS OF PROPERTY AFFECTED: South Pier Drive

LEGAL DESCRIPTION: SP - Riverfront Condominiums Phase 2 Expansion Area

(taken from Sheboygan County Land Records Web Portal)

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: N/A

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE: Residential – 3-Story Townhomes

Refer to the enclosed Precise Implementation Plan for additional information.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS
OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED
OPERATION OR USE: _____

Please refer to the enclosed Precise Implementation Plan for setback requirement throughout as
proposed on sheet A201 SITE PLAN.

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Item 8.

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? This development is focused on creating another

opportunity for residential ownership within the South Pier Development District.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? _____

This in-fill development will fill an empty lot and will utilize an existing entrance. Please refer to the proposed site plans for both options associated with the proposed change to the City right-of-way in the northeast corner of the site. We are looking for approval of both options at this time and will coordinate the property line changes with the city.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? _____

The surrounding area includes multiple residential developments. Please refer to the enclosed precise implementation plan for additional information.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. _____

Yes.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: South Pier Family Investments, Inc. - Dr. Toby Watson

ADDRESS: 2808 Kohler Memorial Drive, Suite 1 **E-MAIL:** tobytylerwatson@gmail.com

ARCHITECT: Abacus Architects, Inc. - Eric Fleischman

313 N. Plankinton Ave. Suite 208,
ADDRESS: Milwaukee 53203 **E-MAIL:** efleischman@abacusarchitects.net

CONTRACTOR: J&N Construction

ADDRESS: 1628 Calumet Drive, Sheboygan **E-MAIL:** nick@sheboyganbuilder.com

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

5-17-22

DATE

Toby Watson

PRINT ABOVE NAME

Office Use Only

ACTION BY CITY PLAN COMMISSION

DATE OF MEETING: _____

APPROVED: _____ CONDITIONALLY APPROVED: _____ DENIED: _____

CONDITIONS

SIGNATURE: _____
 Chairperson, City Plan Commission or
 Representative Dept. of City Development

DATE: _____

NOTES

Permit may be revoked without notice if misrepresentation of any of the above information or attachments is found to exist.

Permit shall expire within one (1) year from date of approval unless substantial work has commenced.

Permit is null and void if issued in error. It is understood that any permit issued on this application will not grant any right or privilege to erect any structure or to use any permits for any purpose that is prohibited by the City Zoning Ordinance or any other State or local laws.

Changes in the plans or specifications submitted in the original application shall not be made without prior written approval of the City Plan Commission.

Check sidewalk grades from City Engineering Department with finished site grade.

South Pier Riverfront Condominiums

South Pier Drive

Sheboygan, WI

May 17, 2022

Precise Implementation Plan

Introduction

South Pier Riverfront Condominiums is a two-phase development. Phase 1 has already been completed, but is included in this precise implementation plan. Phase 1 included a new 4-story building, featuring 21 dwelling units with an enclosed on-grade parking structure. This building was constructed on the western portion of the site, whereas Phase 2 will occur on the eastern portion of the site. Phase 2 will involve a complimentary 3 story building, featuring 6 townhouse style dwelling units with an enclosed two-car garage for each individual unit.

The site is nestled between South Pier Drive, the Sheboygan River, The Reiss River Condominiums, and the public Fish Shanty. The project site is a partially developed city owned parcel of land. The development is focused on creating another opportunity for residential ownership within the South Pier Development District. The buildings have been designed to meet the South Pier Design Standards.

The Project Team

South Pier Riverfront Townhouses is headed by Dr. Toby Watson, President of South Pier Family Investments, Inc. The team members and their contact information is as follows:

Developer:

Dr. Toby Watson, President
South Pier Family Investments, Inc.
2808 Kohler Memorial Drive, Suite 1
Sheboygan, WI 53081
920-918-7377

Architect:

Eric Fleischman
Abacus Architects, Inc.
313 N. Plankinton Ave., Suite 208
Milwaukee, WI 53203

Civil Engineer:

Joel Van Ess, PE
Abacus Architects, Inc.

1135A Michigan Ave.,
Sheboygan, WI 53081
920-452-4444

Construction Manager:
Nicholas Kartes
J&N Construction
1628 Calumet Drive,
Sheboygan, WI 53081
920-889-7541

The Project Site

Approved for Phase 2 were the South Pier Riverfront Condominiums, after budgetary issues, this P.I.P. form is revised to show 6 new Townhouse units, and will continue to be constructed on a City of Sheboygan owned parcel of land referred to as “Lot 2 South Pier Plat”. The site is approximately 43,905 square feet (1.008 acres) in size. Prior to the construction of Phase 1, the site was used as a public parking lot. The portion of the lot where Phase 2 will occur is currently a relatively flat, grassed area. The site is fronted on the south by South Pier Drive, and the river walk of the Sheboygan River on the north. The parcel is bisected by a 35-foot wide public utility easement. The placement of the two buildings have taken this easement into consideration. The existing driveway located at the western end of the parcel is a “shared driveway” regulated by a perpetual access agreement between South Pier Riverfront Condominiums and Reiss River Condominiums.

Site improvements include new public and private sidewalks along South Pier Drive, along with landscaping integrated into the streetscape theme. The river side (rear of the site) will feature landscaping that will complement the “river walk” as it extends north and south from the site, including accent lighting for the large lawn area. Strong consideration shall also be given to use of boat slips along the length of the parcel at the river, for unit owners wishing to rent a boat slip in their “back yard”.

The proposed use of this site as a residential development complies with the comprehensive plan, as envisioned by the City of Sheboygan for the South Pier District.

Site unit density will be 27 units. This includes the 21 Phase 1 dwelling units, plus the 6 proposed Phase 2 dwelling units. Based on our site area of 1.008 acres, this will yield 27 units per acre.

Parking for the site will include both on-grade exterior and on-grade interior parking spaces. Phase 1 included 25 interior spaces and 21 of the 23 exterior spaces shown on the site plan, thus yielding a total existing parking stall count of 46 spaces. The construction of Phase 2 will include the 3 exterior on-grade exterior parking stalls as well as a two-car, on-grade parking garage for each individual unit, totaling 12 on-grade interior parking spaces, making a grand total of 15 parking spots, with only 12 required by the zoning code. The City of Sheboygan

Zoning ordinance states the requirement as a minimum of two parking stalls for each dwelling unit containing two or more bedrooms. The total proposed parking stall count will be 61 stalls.

The landscaping associated with this overall development was previously approved by the City during the permitting of Phase 1, and the same landscape plan will continue to be implemented during Phase 2 construction. The landscaping is an important component of the project's visual presentation and appeal. Please refer to the enclosed landscape plan for additional information.

The Building Plans

Phase 1 involved a grade level floor area of 11,757 square feet, and three identical floors above at approximately 11,265 square feet of floor area. The roof is used for mechanical equipment, screened from view. The total floor area of the Phase 1 building is approximately 45,552 square feet.

The Phase 2 building will have a grade level floor area of 6,348 square feet, and two identical floors above at approximately 6,348 of floor area. Unit 6, which will be occupied by the developer, will have a 442 square feet rooftop area, only accessible to the owner of the unit. The total floor area of the Phase 2 building will be approximately 22,180 square feet. The South Pier Riverfront Townhouses will have in interior on-grade parking garage for each individual unit with two floors of that unit above.

The building design complies with all of the applicable state and local building codes. It will be equipped with an automatic fire protection system.

5 units will have 4 bedrooms, 3-1/2 bathrooms and will be 3,012 square feet each 3-story townhouse unit. The sixth 3-story townhouse unit will be 3,707 total square feet, 3 bedrooms, and 3-1/2 bathrooms. Each unit will have an outdoor deck on the second and third floor. Each unit has its own individual entry.

Targeted unit sale prices will be \$499,000. The estimated approximate value of the Phase 2 building and site improvements will be approximately \$3,000,000.

Design Narrative

South Pier Townhouses – Phase 2

Sheboygan, Wisconsin

Abacus Architects, Inc.
May 16, 2022

Project No. 2022-12

The second building for South Pier Apartments (Phase 2) will be different in design but similar materials and colors to the first building. Phase 1 was 11,200 s.f. and 7 units per floor, Phase 2 will be a total of 6,350 s.f. per floor- 6 townhouse units with 3 stories. The total s.f. of the building including roof patios is 22,180 s.f. Each unit has a main entry and a two-car garage, with a shared parking lot and driveway area, as well as patio space on each floor. The building will be Construction Type VA (five-a) - constructed with wood stud walls, bottom chord bearing trusses, zip sheathing, slab on grade, and a geofoam base.

The materials on the exterior of the building will be very similar to the existing apartment building. The masonry base will match the existing masonry but will be a thin brick veneer. The siding will be the same color and LP Smartside system as Phase 1. The windows will be dark bronze sliding windows like the existing building. The new building will have decks similar in color and materials to the existing building but configured differently.

The building will be located and fit in the footprint that was previously approved as part of Phase 1. Site plan will include new parking locations and a driveway entry to each unit garage. The drives and landscaping will be adjusted to fit the new plans.

The landscaping plan intends to utilize the same amount and frequency of plants previously approved on June 26, 2019 with slight modification to the new driveway, by moving the plants south east towards South Pier Drive landscape buffer on the property line.

The total revised Phase 2 project value is estimated to be \$ 3 million with each of the six units being constructed at a cost of \$440,000 each and sold by the owner for \$499,000 each, with the sixth unit being occupied by the owner.



REVISIONS:

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www.kazitecture.com
David J. Kosciuszko, AIA
12910 West Watertown Avenue
Greenfield, Wisconsin 53228

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NEW CONSTRUCTION FOR:
S P RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Project:
Sheet Title:
EXISTING CONDITIONS

Revisions
10/9/2019
10/17/2019
10/22/2019
5/21/2020

Date: 07/15/2019
Job No: 18-160
Sheet No:

DRAWN BY: MDW
CHECKED BY: JRV

REFERENCE DRAWING

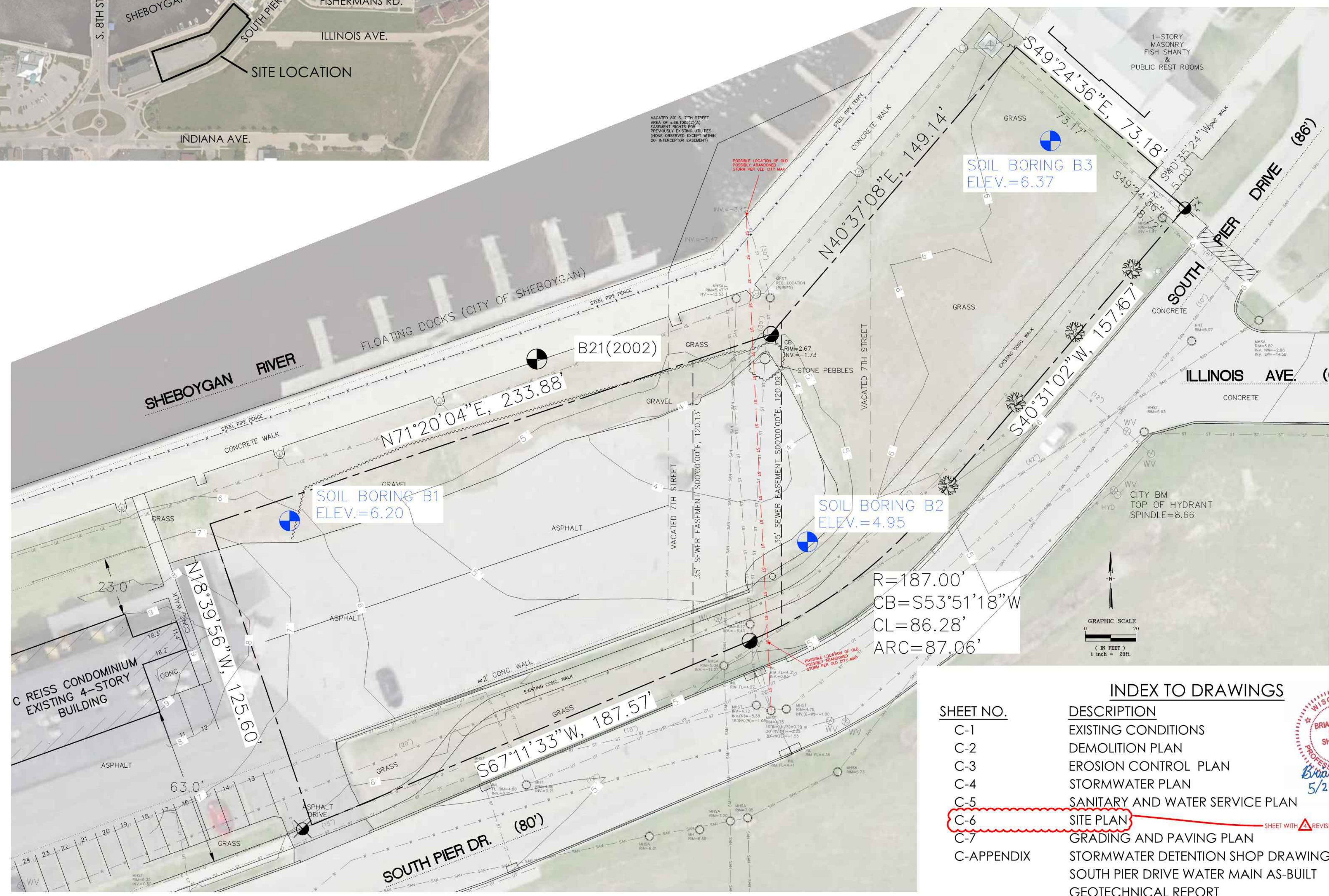
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PROJ. NO. 2021-53

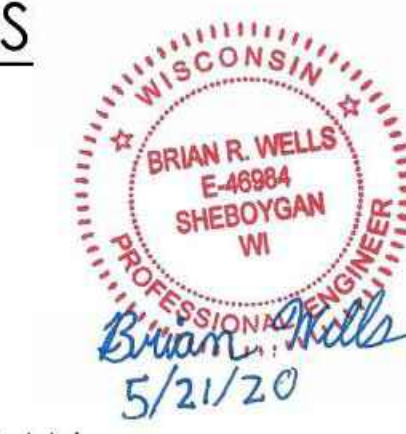
SP RIVERFRONT CONDOMINIUMS

CITY OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN

CITY OF SHEBOYGAN



SHEET NO.	DESCRIPTION
C-1	EXISTING CONDITIONS
C-2	DEMOLITION PLAN
C-3	EROSION CONTROL PLAN
C-4	STORMWATER PLAN
C-5	SANITARY AND WATER SERVICE PLAN
C-6	SITE PLAN
C-7	GRADING AND PAVING PLAN
C-APPENDIX	STORMWATER DETENTION SHOP DRAWINGS FROM CONTECH SOUTH PIER DRIVE WATER MAIN AS-BUILT GEOTECHNICAL REPORT



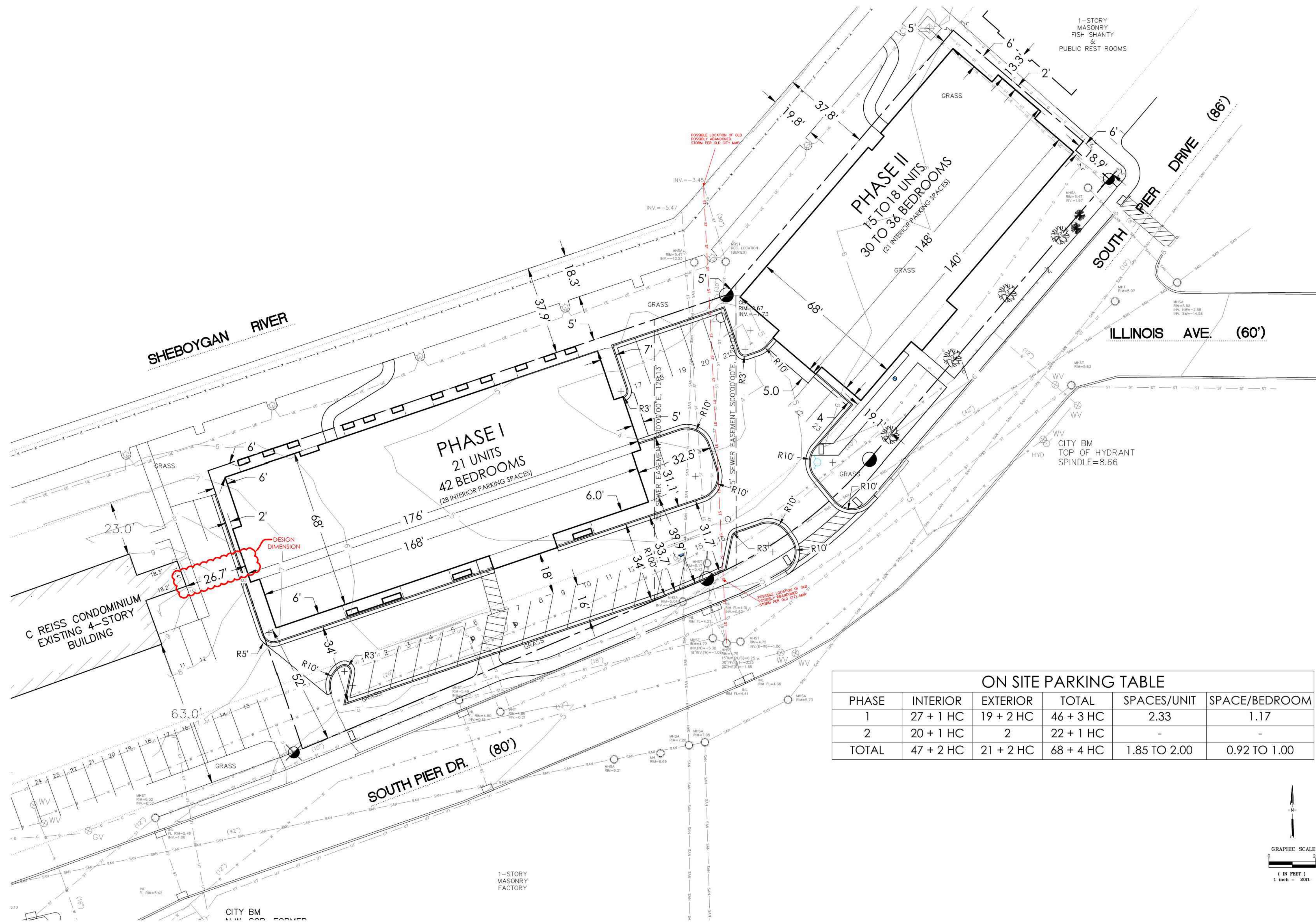
BUILDING PLAN REVIEW SET

PREVIOUSLY APPROVED DRAWING, FOR REFERENCE ONLY.

REFERENCE DRAWING

September 20, 2021

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F:\DATA\20200\20215 - South Pier District\CAD\20215-L Watson PP.dwg 5/21/2020 9:29 AM



ON SITE PARKING TABLE					
PHASE	INTERIOR	EXTERIOR	TOTAL	SPACES/UNIT	SPACE/BEDROOM
1	27 + 1 HC	19 + 2 HC	46 + 3 HC	2.33	1.17
2	20 + 1 HC	2	22 + 1 HC	-	-
TOTAL	47 + 2 HC	21 + 2 HC	68 + 4 HC	1.85 TO 2.00	0.92 TO 1.00

BUILDING PLAN REVIEW SET



David J. Kozlowski, AIA
12910 West Waterford Avenue
Greenfield, Wisconsin 53228
Call: (414) 909-9489
Email: kaz@kazitecture.com
www.kazitecture.com

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NEW CONSTRUCTION FOR:
S P RIVERFRONT CONDOMINIUMS
SOUTH PIER DRIVE AT ILLINOIS AVENUE
SHEBOYGAN, WISCONSIN 53081

Sheet Title
SITE PLAN

Revisions
10/9/2019
10/17/2019
10/22/2019
5/21/2020

Date: 07/15/2019
Job No: 18-160
Sheet No:



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SEPTEMBER 20, 2021
NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT CONDOMINIUMS
GROUND LEASE PARCEL TWO SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 452-4444 | 313 N. PLANKINTON AVE SUITE 208 - MILWAUKEE, WI 53203

DRAWN BY: MDW
CHECKED BY: JRV

REFERENCE DRAWING

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207

PROJ. NO. 2021-53

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REFERENCE DRAWING

BUILDING PLAN REVIEW SET

Sheet No.

REFERENCE DRAWING





Previously approved design and materials for Phase 2



New Design







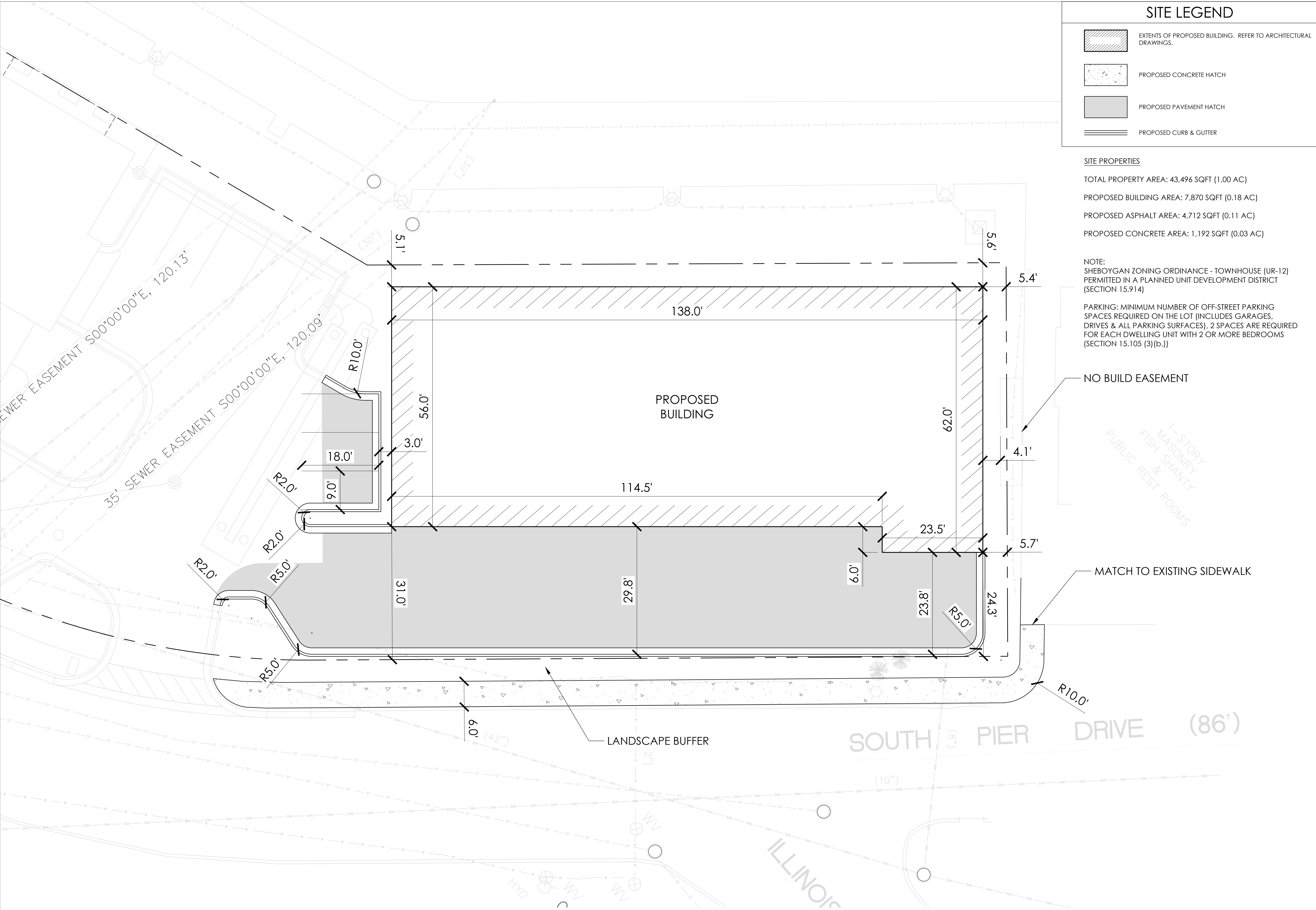






May 17, 2022

P:\2022-CONTRACTS\2022-12 South Pier Townhouses\Phase - 2\Construction Documents\3 Site\2022-12 - Base.dwg



SITE LEGEND

- [Hatched Box] EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- [Dotted Box] PROPOSED CONCRETE HATCH
- [Solid Grey Box] PROPOSED PAVEMENT HATCH
- [Double Line] PROPOSED CURB & GUTTER

SITE PROPERTIES

- TOTAL PROPERTY AREA: 43,496 SQFT (1.00 AC)
- PROPOSED BUILDING AREA: 7,870 SQFT (0.18 AC)
- PROPOSED ASPHALT AREA: 4,712 SQFT (0.11 AC)
- PROPOSED CONCRETE AREA: 1,192 SQFT (0.03 AC)

NOTE:
SHEBOYGAN ZONING ORDINANCE - TOWNHOUSE (UR-12)
PERMITTED IN A PLANNED UNIT DEVELOPMENT DISTRICT
(SECTION 15.914)

PARKING: MINIMUM NUMBER OF OFF-STREET PARKING
SPACES REQUIRED ON THE LOT (INCLUDES GARAGES,
DRIVES & ALL PARKING SURFACES), 2 SPACES ARE REQUIRED
FOR EACH DWELLING UNIT WITH 2 OR MORE BEDROOMS
(SECTION 15.105 (3)(b.))

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MAY 17, 2022
NEW TOWNHOUSE BUILDING

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 225 EAST ST. PAUL AVE. MILWAUKEE, WI 53202 | (414) 837-6450

DRAWN BY: JMN

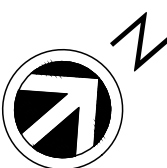
CHECKED BY: JRV

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201

PROJ. NO. 2022-12

SITE PLAN

SCALE: 1"=10'



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MAY 17, 2022

NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

MICHIGAN AVE. SHEBOYGAN, WI 53081 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE

PRELIMINARY - NOT FOR CONSTRUCTION

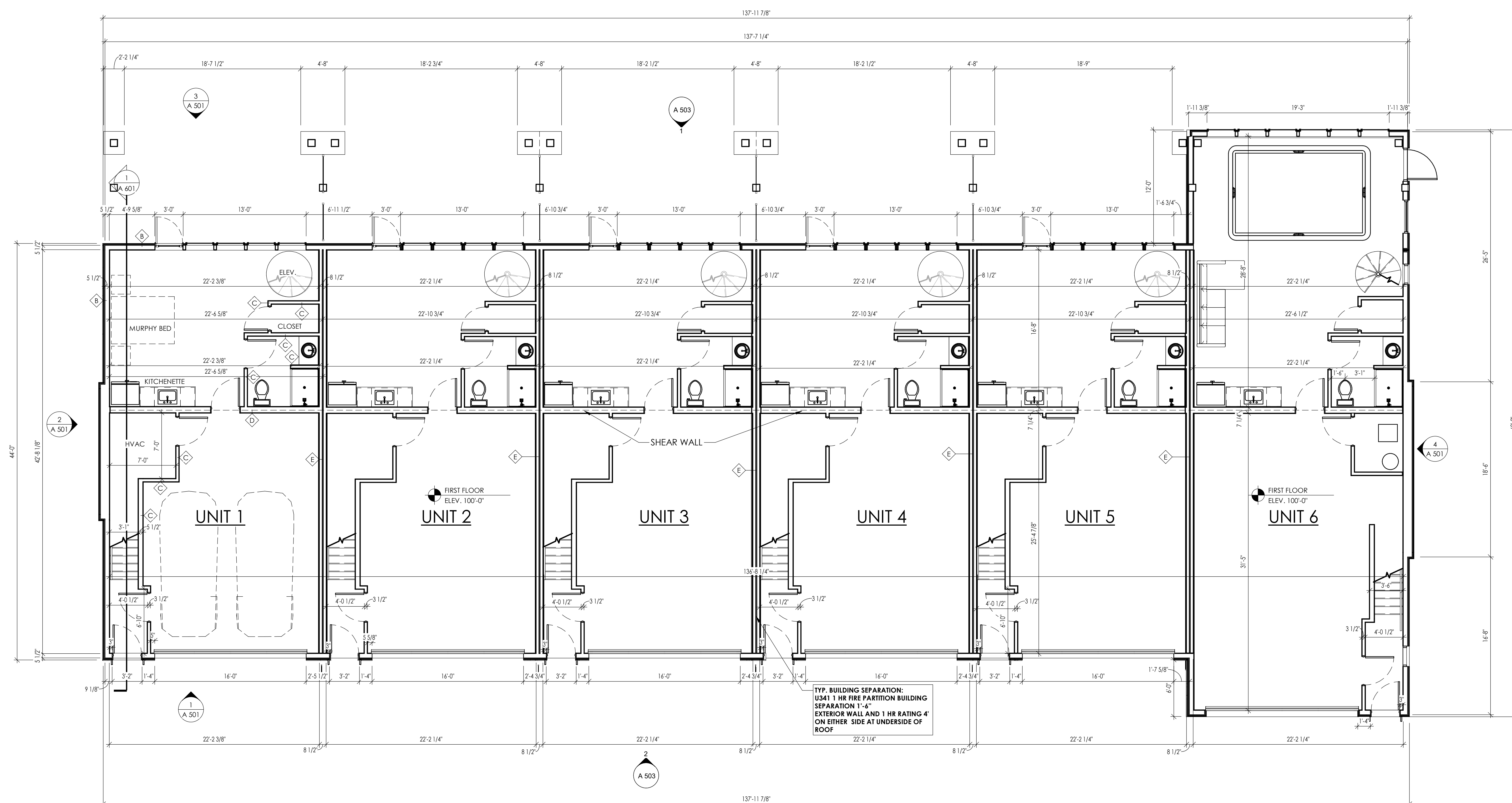
DRAWN BY: Author

CHECKED BY: Checker

OVERALL FIRST FLOOR
PLAN

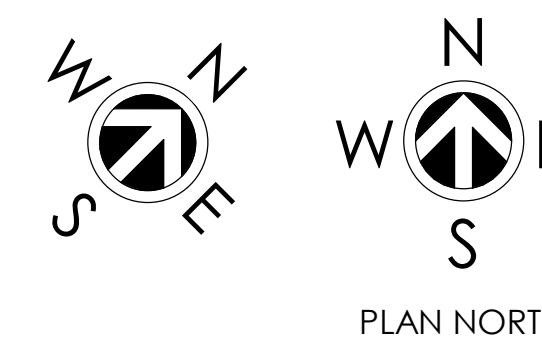
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306

PROJ. NO. 2022-12



OVERALL FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"





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SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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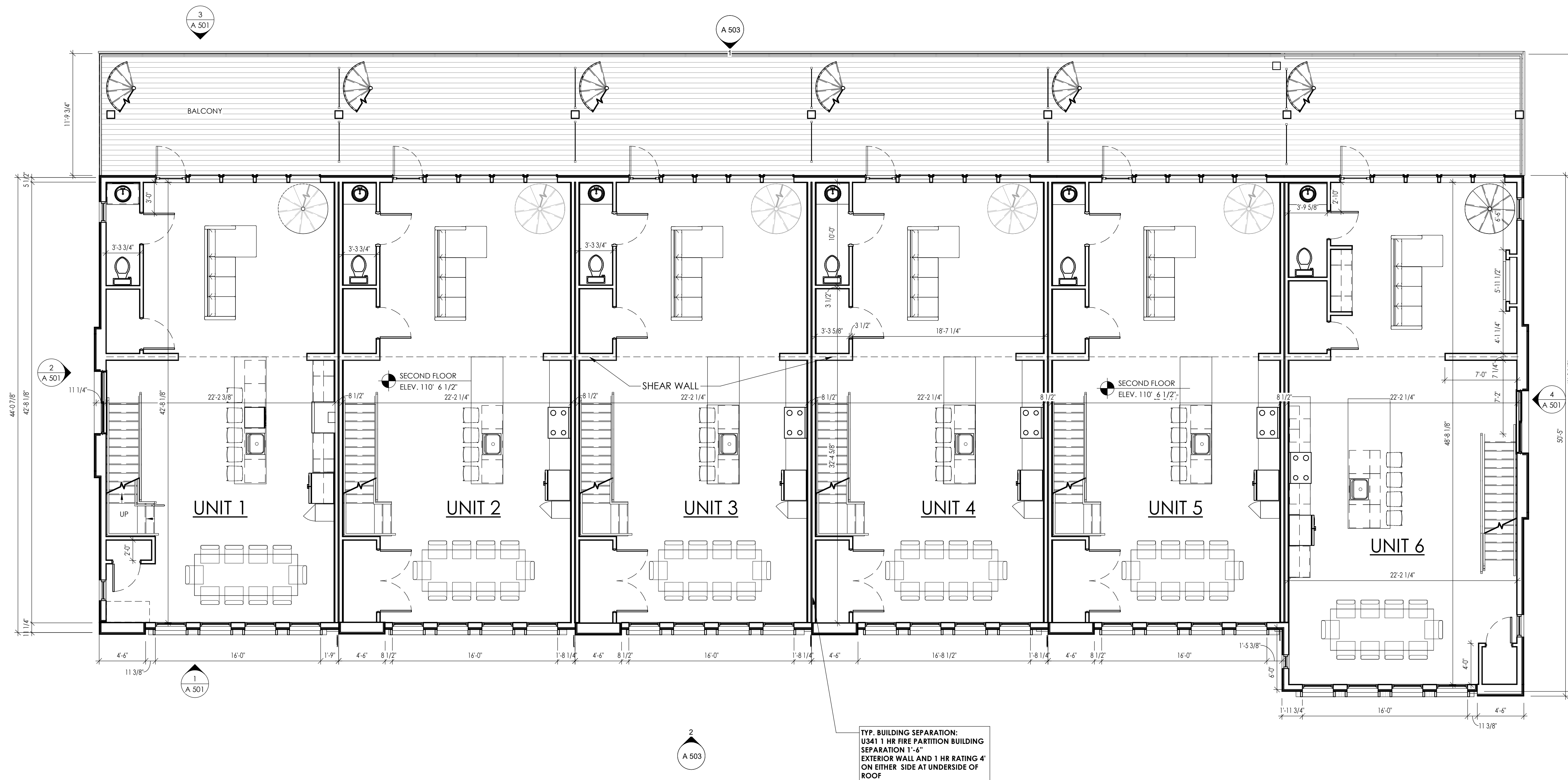
DRAWN BY: EF, SG

CHECKED BY: PM

OVERALL SECOND
FLOOR PLAN

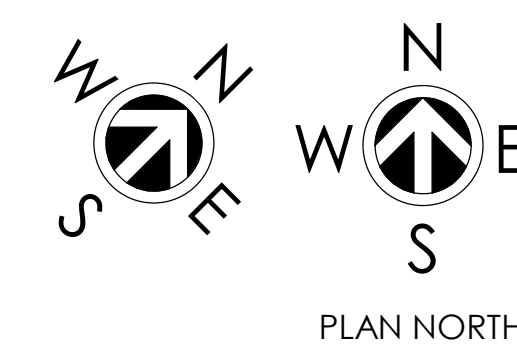
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307

PROJ. NO. 2022-12



OVERALL SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.

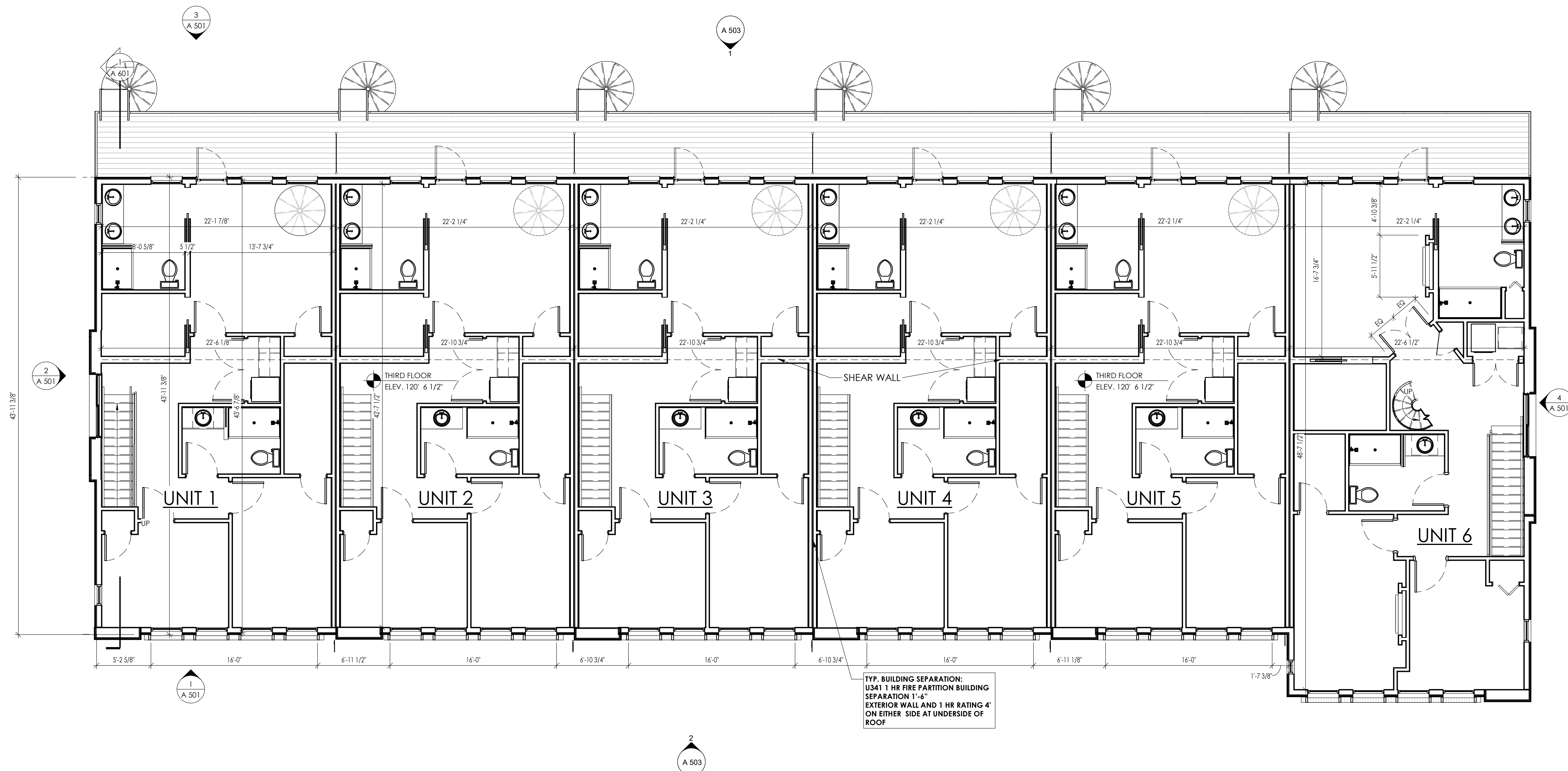


PLAN NORTH



REVISIONS:

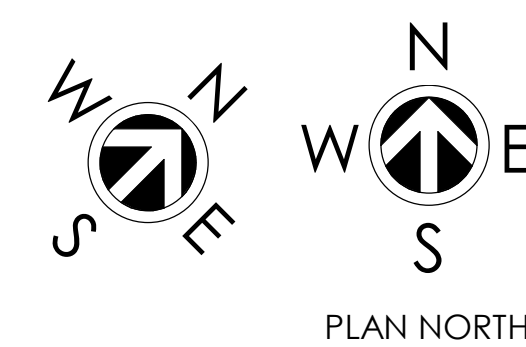
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TYP. BUILDING SEPARATION:
US41 1 HR FIRE PARTITION BUILDING
SEPARATION 1'-6\"/>

OVERALL THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 6,135 SQ. FT.



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203

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OVERALL THIRD FLOOR
PLAN

A
308

PROJ. NO. 2022-12

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MAY 17, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN, 53081

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKTON AVE SUITE 208, MILWAUKEE, WI 53203

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TYPICAL UNIT -
TOWNHOUSE PLAN

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316

PROJ. NO. 2022-12

GENERAL PLAN NOTES

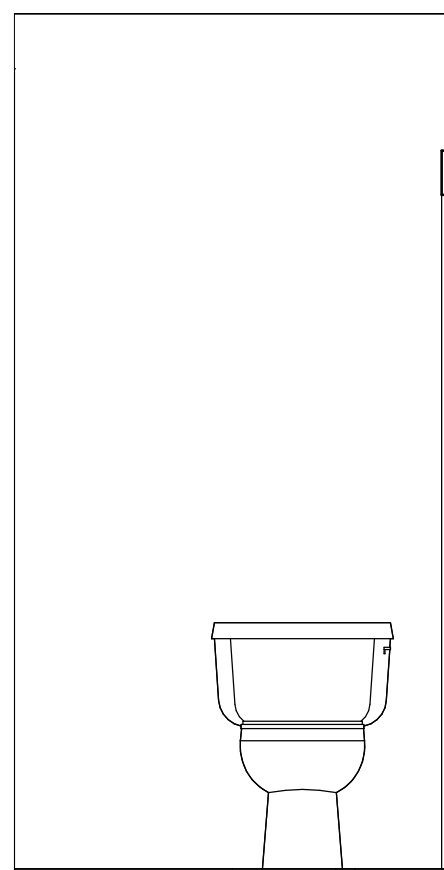
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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELAVATOR MANUFACTURER SELECTION
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

GENERAL UNIT TYPE PLAN NOTES

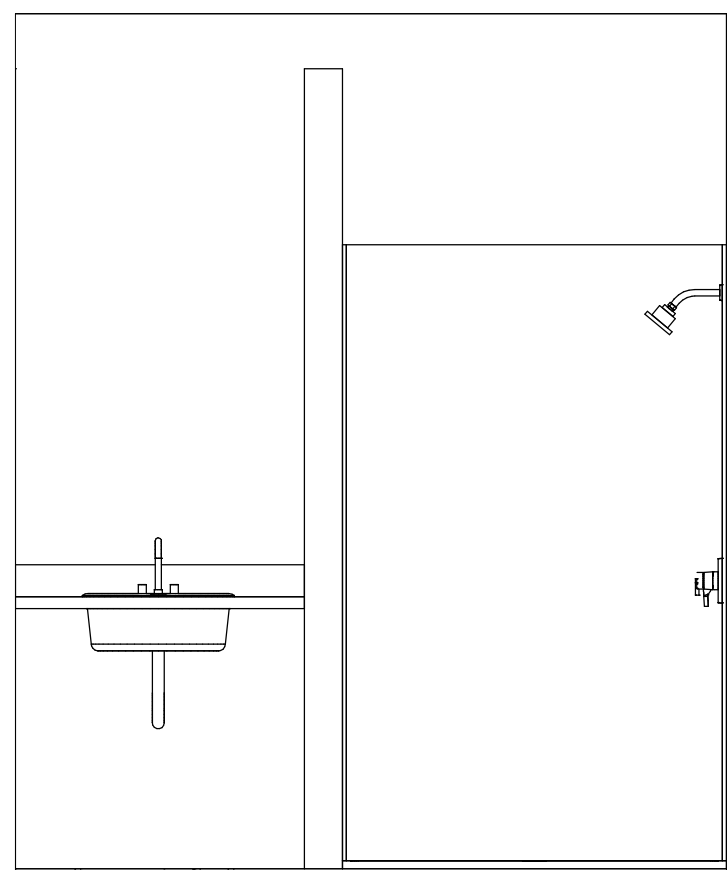
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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- ALL CABINETRY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
- CABINETRY UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

FLOOR PLAN KEYNOTES

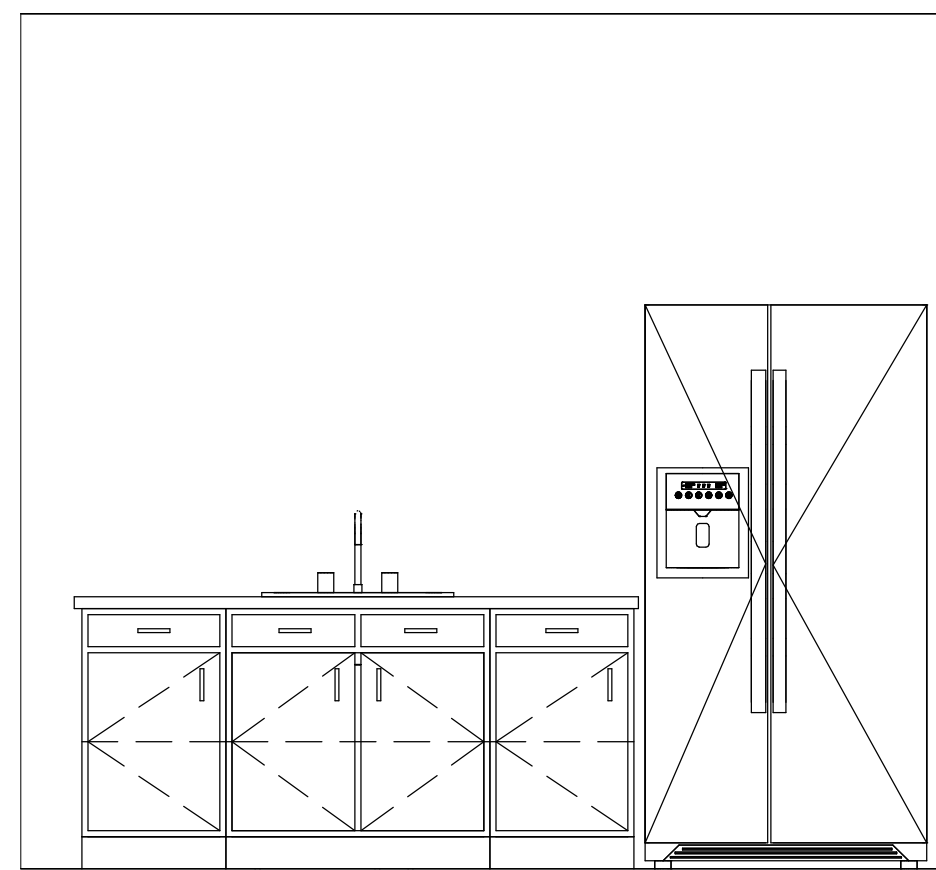
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION



TLT. ELEV. 4
SCALE: 1/2" = 1'-0" A 316

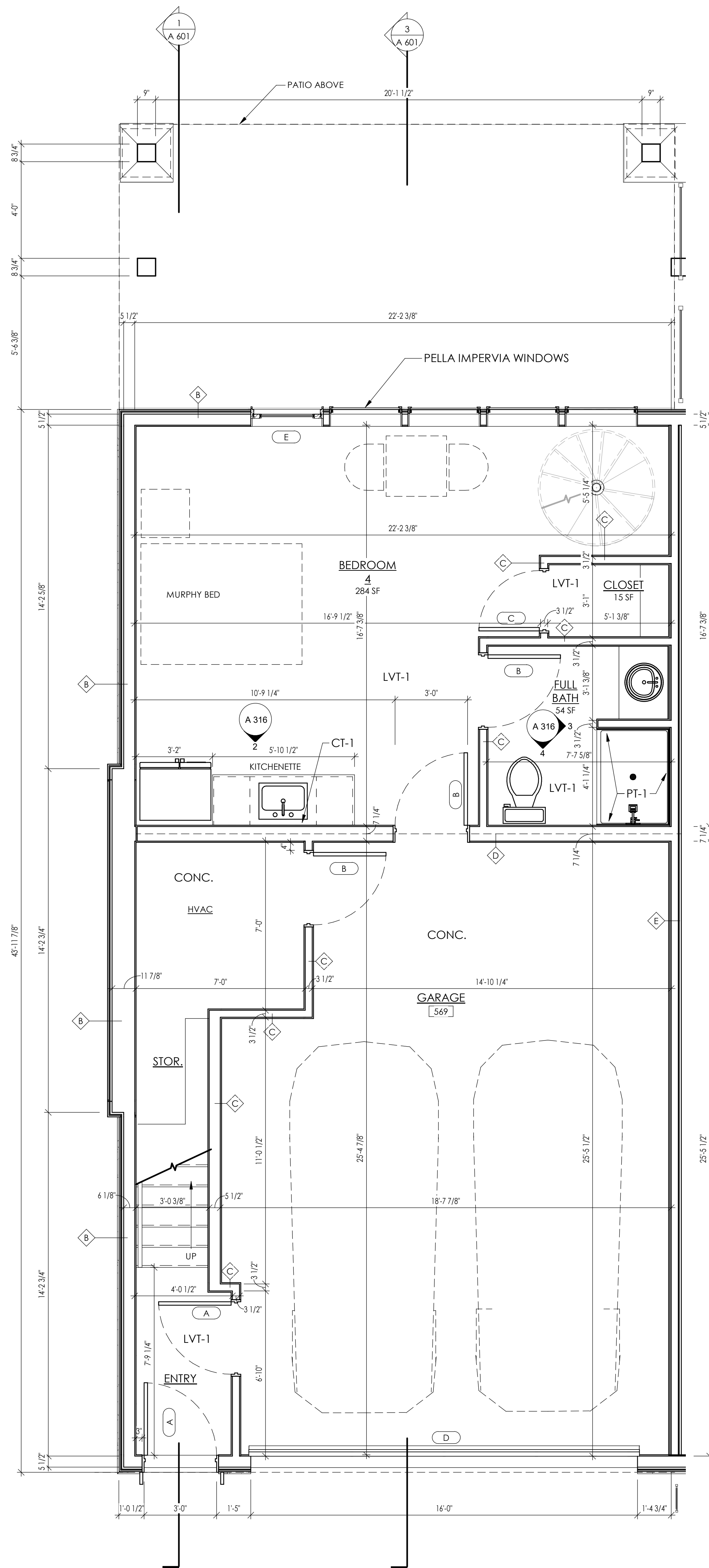


TLT ELEV. 3
SCALE: 1/2" = 1'-0" A 316



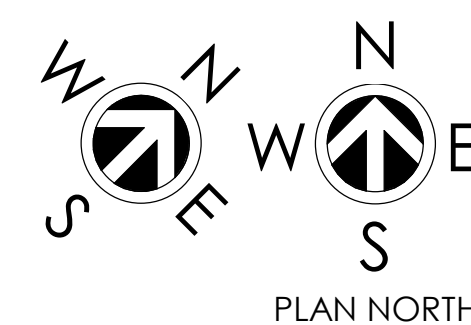
KITCHENETTE ELEV. 2
SCALE: 1/2" = 1'-0" A 316

*NOTE: SPIRAL STAIRCASE OR PNEUMATIC ELEVATOR OPTIONAL FOR TENANTS



UNIT 1 - FIRST FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 316



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NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES
SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

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PRELIMINARY - NOT FOR CONSTRUCTION

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TYPICAL UNIT-SECOND
FLOOR

A
317

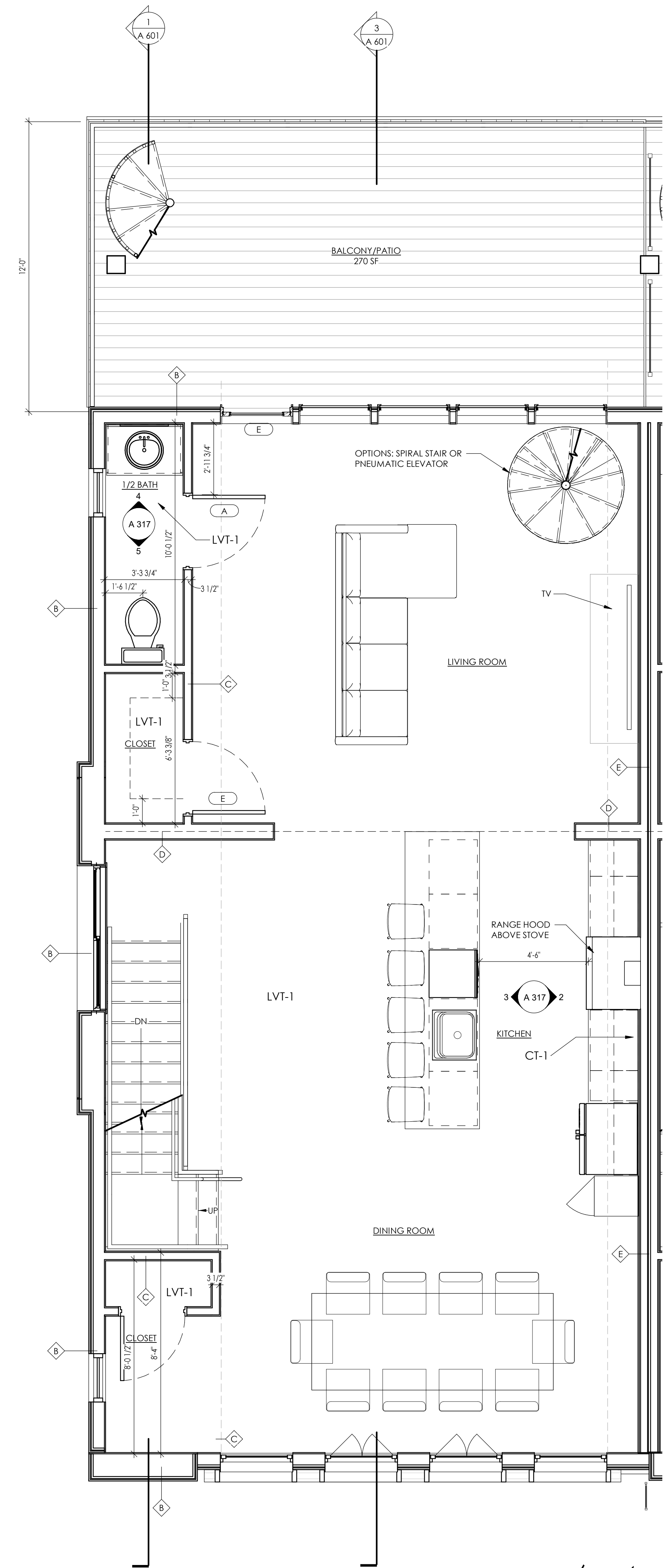
PROJ. NO. 2022-12

GENERAL PLAN NOTES

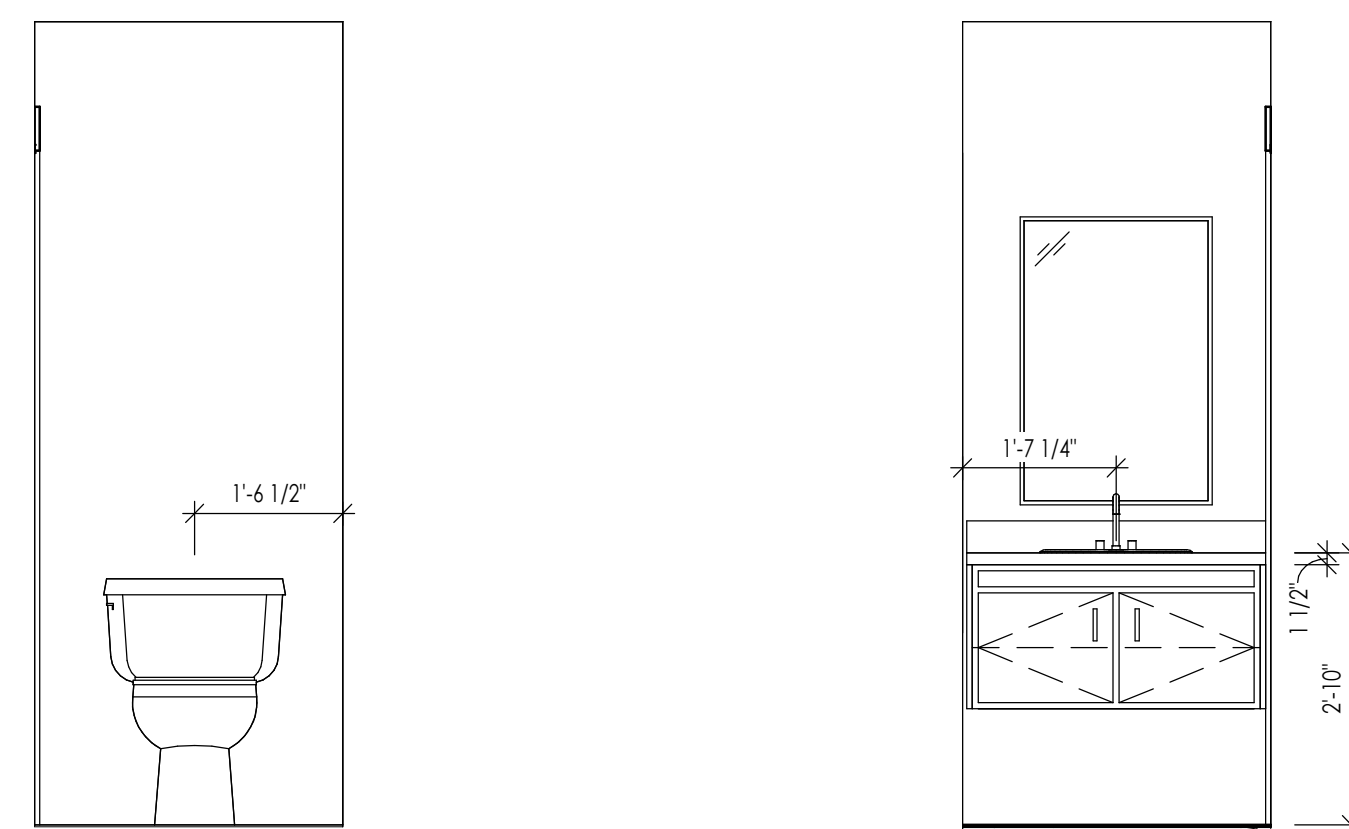
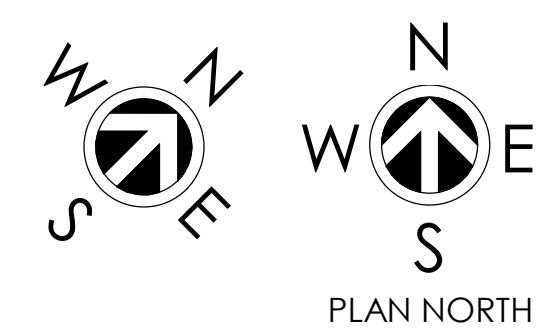
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- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
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GENERAL UNIT TYPE PLAN NOTES

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- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- ALL CABINETRY IS SHOWN FOR DESIGN INTENT ONLY. CABINET SUPPLIER IS RESPONSIBLE FOR FINAL DESIGN AND LAYOUT. PROVIDE SILICONE BUMPERS ON ALL CABINET DOORS.
- CABINETRY UNDER BATHROOM VANITIES SHALL BE REMOVABLE, WHERE NOTED, WITHOUT THE REMOVAL OR REPLACEMENT OF THE LAVATORY, AND THE FLOOR FINISH EXTENDS UNDER EACH CABINET UNLESS NOTED OTHERWISE.
- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 11/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.

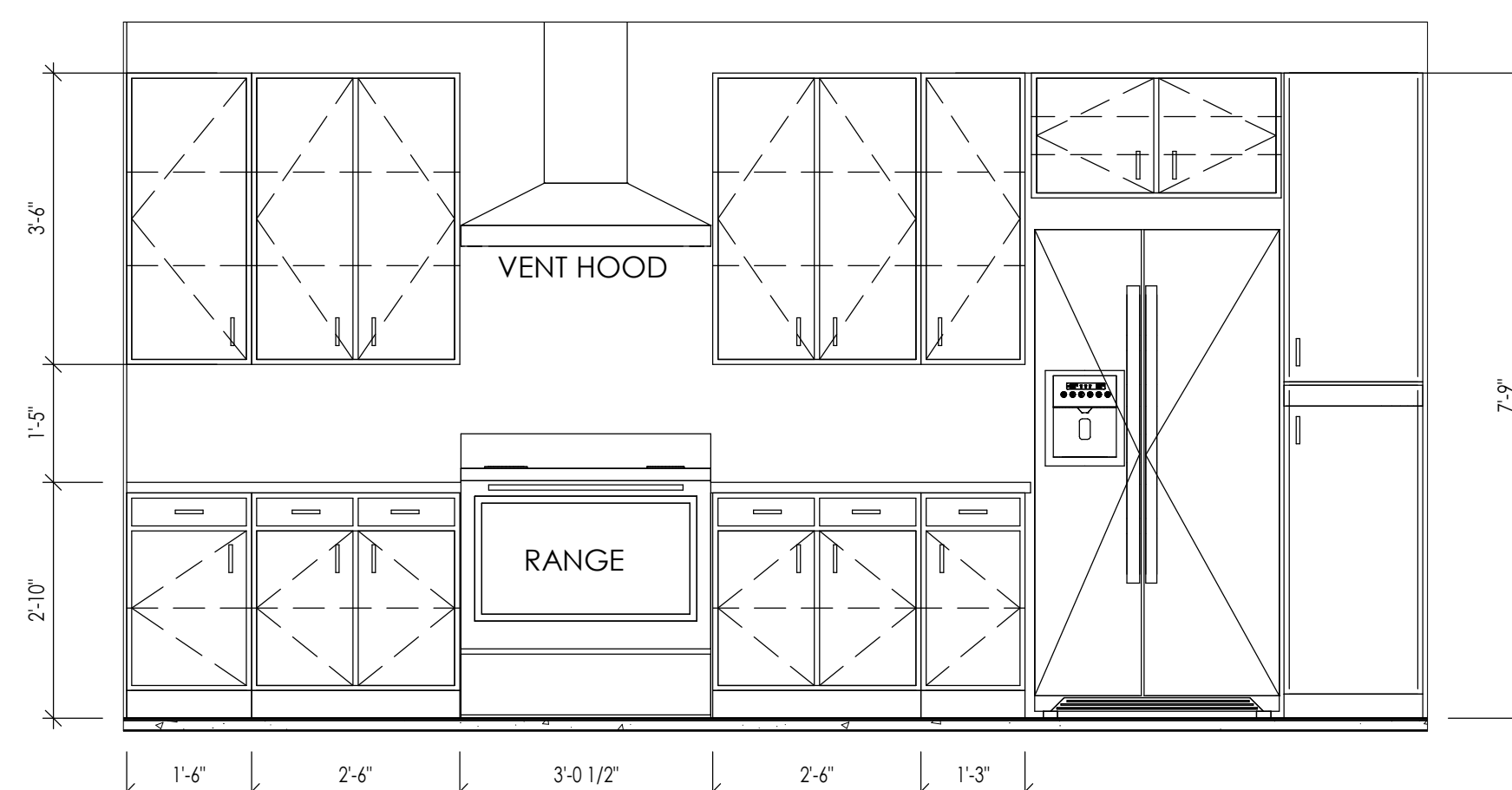


UNIT 1 - SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0" A 317

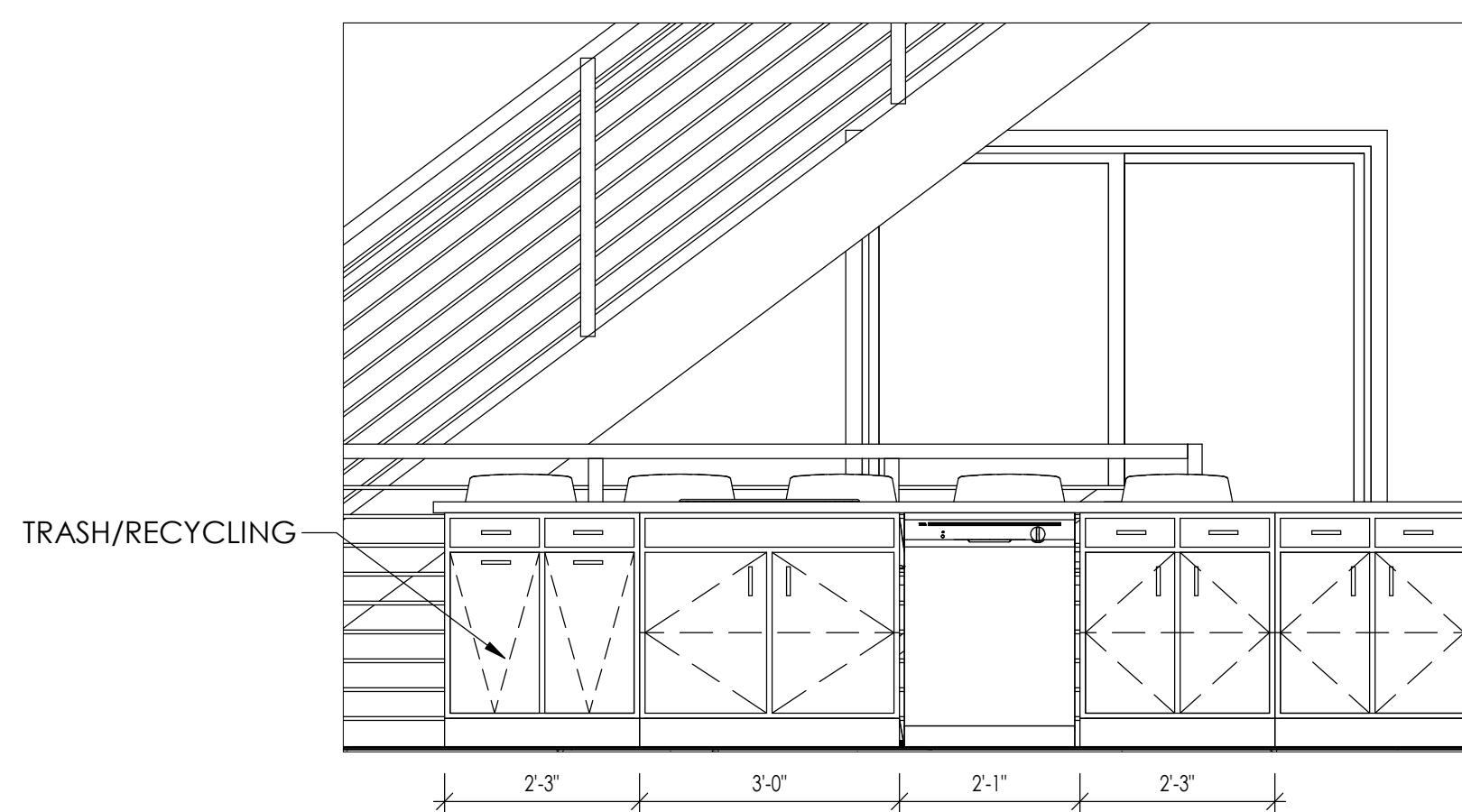


TLT ROOM ELEVATION 4
SCALE: 1/2" = 1'-0" A 317

TLT ROOM ELEVATION 5
SCALE: 1/2" = 1'-0" A 317



CASEWORK ELEVATION 2
SCALE: 1/2" = 1'-0" A 317



CASEWORK ELEVATION 3
SCALE: 1/2" = 1'-0" A 317

REVISIONS:

NOTICE TO BIDDERS
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MAY 17, 2022
NEW CONSTRUCTION FOR:

SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

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TYPICAL UNIT - THIRD
FLOOR

A
318

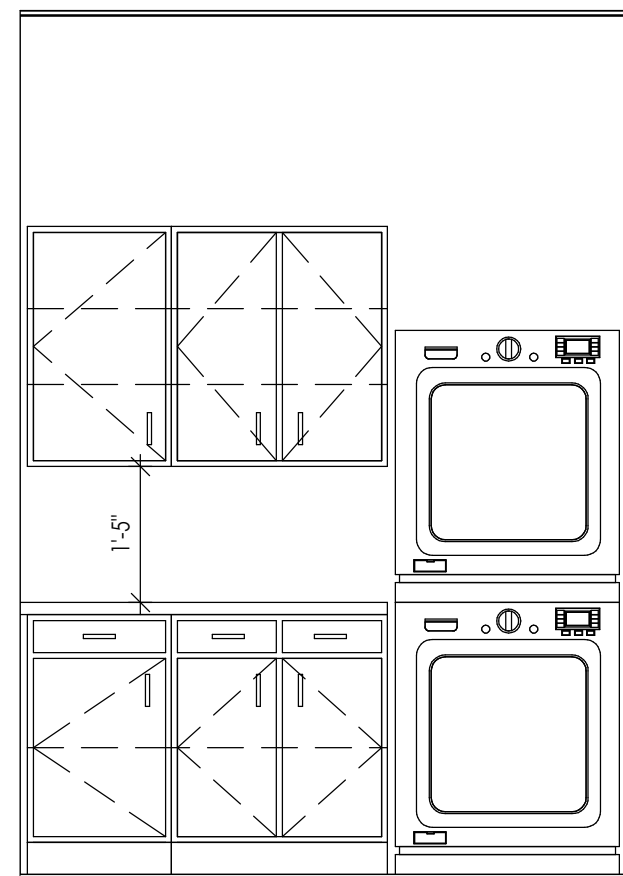
PROJ. NO. 2022-12

GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.
- EXTERIOR DIMENSIONS TAKEN FROM FACE OF BRICK ON FIRST FLOOR & FACE OF STUDS ON 2ND FLOOR THROUGH ROOF DECK LEVEL.
- ALL DOOR FRAMES TO BE 4" OFF WALL UNLESS OTHERWISE NOTED
- SEE SHEETS A316-A322 FOR ENLARGED RESIDENT UNIT PLANS
- ALL INSULATION SHOWN IN INTERIOR WALLS TO BE SOUND ATTENUATING BATT INSULATION
- FIRE EXTINGUISHER CABINETS LOCATED IN CORRIDOR WALLS SHALL BE 1 HOUR RATED CABINETS
- EXACT ELEVATOR SHAFT SIZE TO BE DETERMINED BASED ON FINAL ELEVATOR MANUFACTURER SELECTION
- WHEEL STOPS AND PIPE BALLARDS SHOULD BE ADDED AT ALL MEP EQUIPMENT LOCATIONS IN PARKING GARAGES. THIS WILL BE COORDINATED AFTER MEP DESIGNS ARE SUBMITTED

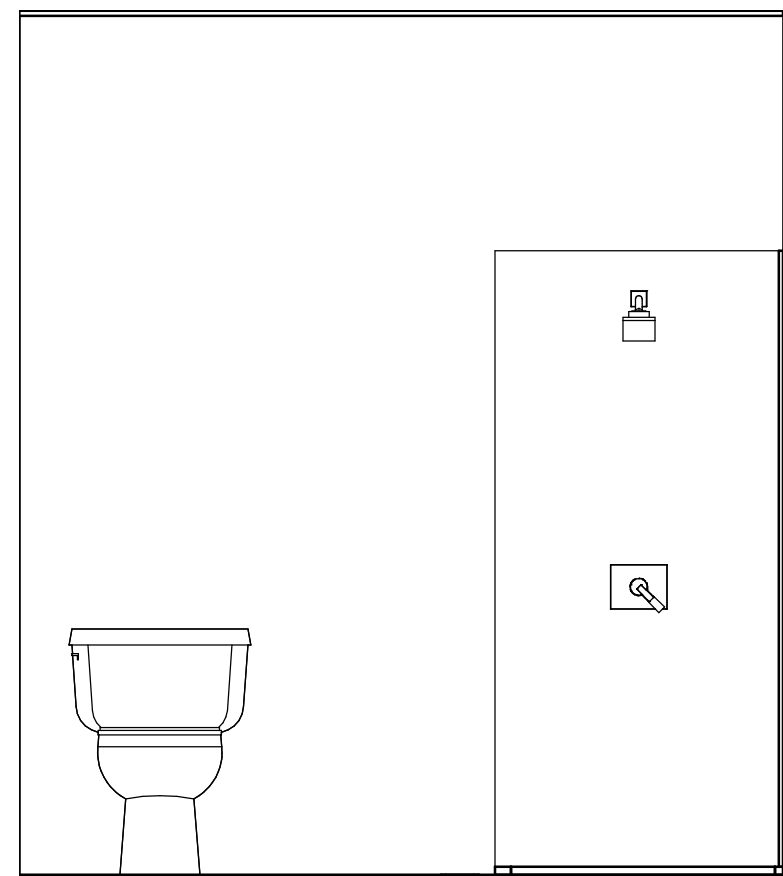
GENERAL UNIT TYPE PLAN NOTES

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- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS TO HAVE WOOD SHELVING SYSTEM
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVING TYPE AND SIZE.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS, AS WELL AS GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.
- PROVIDE AN OPTION FOR A "SHOWER TOWER" TYPE SHOWER FAUCET IN EACH SHOWER UNIT.
- FINISHES SUBJECT TO OWNER SELECTING FINISH PACKAGE "OPTION 1" OR "OPTION 2"
- SEE DETAIL 111/A609 FOR HALF WALL CONSTRUCTION IN BATHROOM AS APPLICABLE.



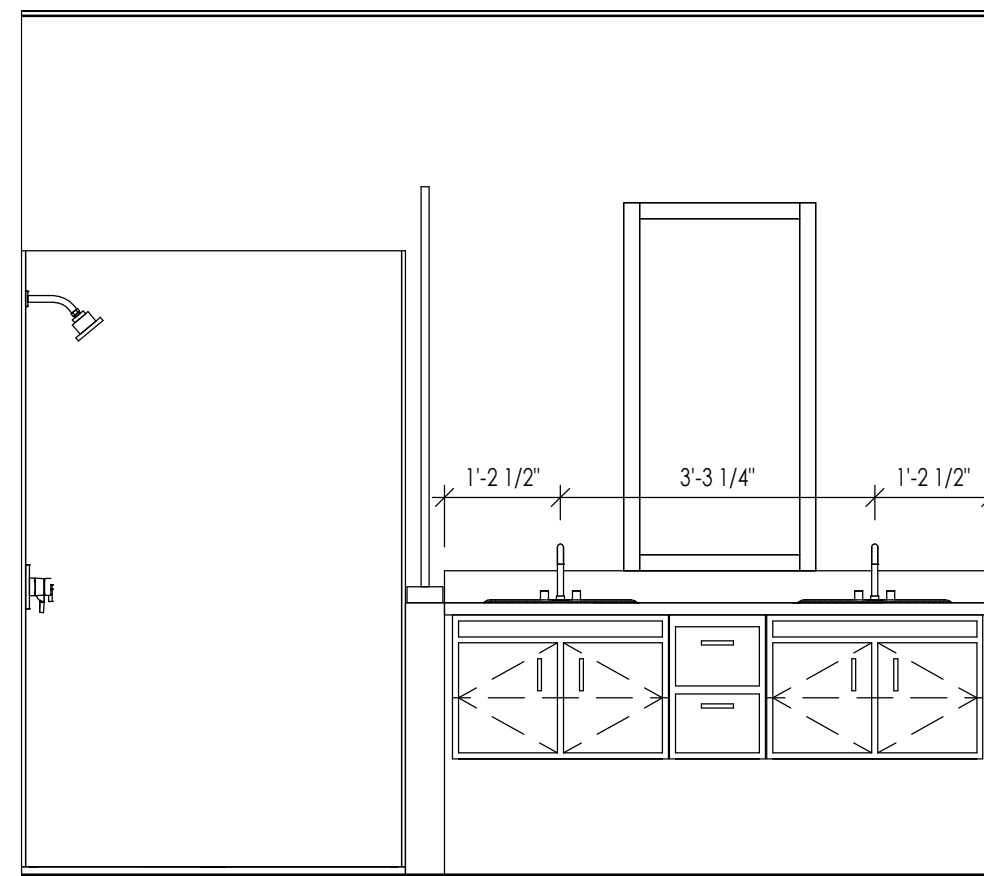
CASEWORK ELEV. 6

SCALE: 1/2" = 1'-0" A 318



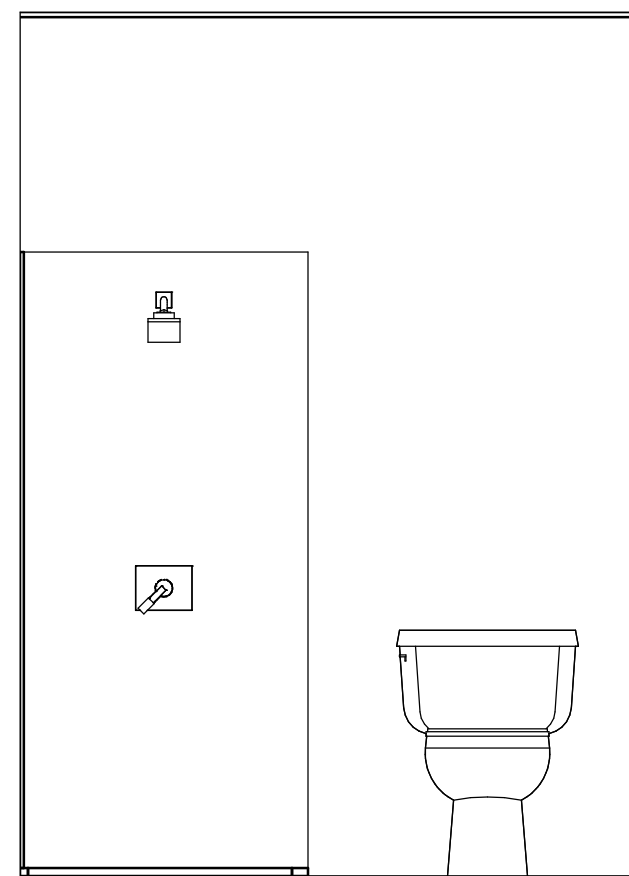
BATHROOM ELEVATION 5

SCALE: 1/2" = 1'-0" A 318



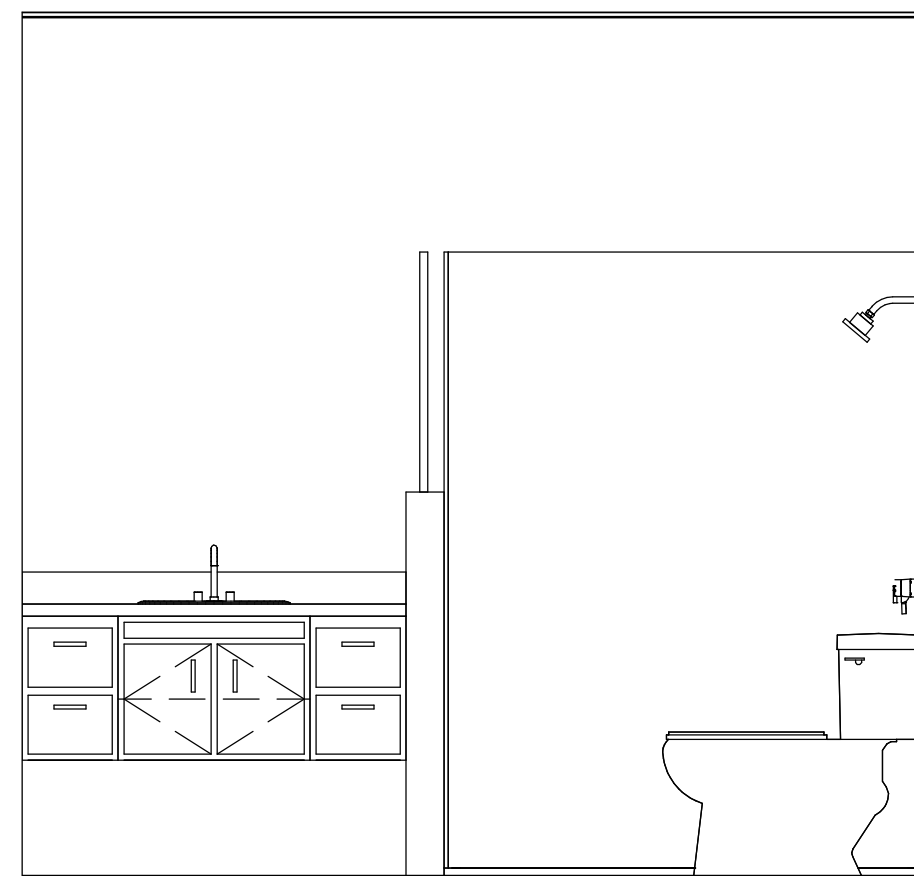
BATHROOM ELEVATION 4

SCALE: 1/2" = 1'-0" A 318



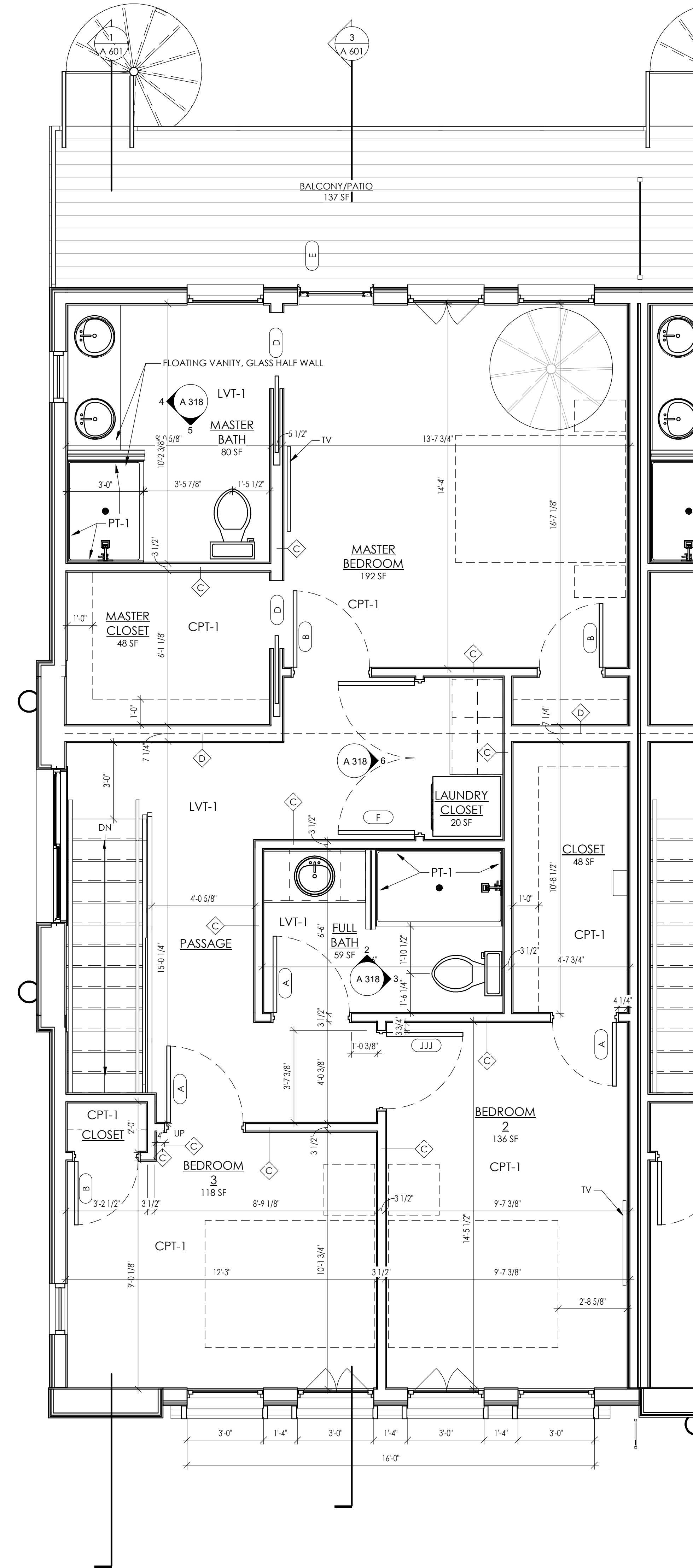
BATHROOM ELEVATION 3

SCALE: 1/2" = 1'-0" A 318



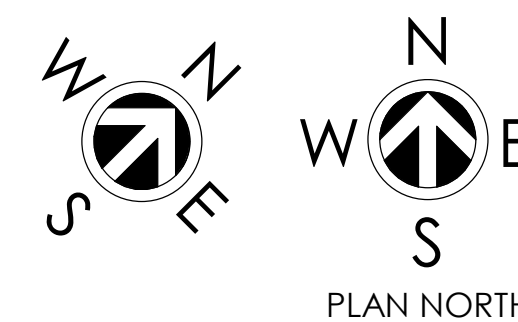
BATHROOM ELEVATION 2

SCALE: 1/2" = 1'-0" A 318



UNIT 1 - THIRD FLOOR PLAN 1

SCALE: 3/8" = 1'-0" A 318

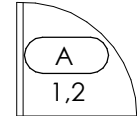


FLOOR PLAN KEYNOTES	
NO.	DESCRIPTION
1	TOILET PAPER HOLDER
2	24" TOWEL RACK 42" AFF
3	ROBE HOOK 42" AFF
4	METAL FRAMED MIRROR
5	4 HIGH 24" WOOD SHELVEING AT 1'-4" EQUALLY SPACED TOP SHELF AT 64" AFF
6	12" WOOD SHELVEING AT 60" AFF W/ HANGER ROD
7	4 HIGH 12" WOOD SHELVEING AT 1'-4" EQUALLY SPACED. TOP SHELF AT 64" AFF
8	BUILT-IN SHOWER SHELVES. SEE ELEVATION

DOOR REMARKS

- CARD READER
- VINYL SWEEP AT BASE, VINYL SEAL JAMB AND HEAD
- 1/2" WIDER DOOR FRAME THAN SCHEDULED DUE TO SHEAR WALL.
- 1 1/2" UNDERCUT ON DOOR TO ALLOW FOR MECH EQUIP.
- FRENCH DOORS WITH 12 EQUALLY SIZED GLASS PANELS

UNITS 1-15 ENLARGED PLAN DOOR REMARKS
DOOR REMARKS SHOWN ON UNIT FLOOR PLAN AT DOOR TAG



ROOM FINISH LEGEND	
KEY	DESCRIPTION
ACT-1	ACOUSTIC CEILING TILE - 24" x 24"
ACT-2	VINYL FACED GYPSUM BOARD - 24" x 24"
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
ES	EXPOSED STRUCTURE
EX	EXISTING FINISH
FAF	FLUID APPLIED FLOORING
GT	GLASS TILE
GYP	GYPSUM BOARD
HM	HOLLOW METAL
LT	LEATHER TILE
LVT	LUXURY VINYL TILE
P-	PAINT FINISH
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
SC	SEALED CONCRETE
VB	VINYL BASE
WB	WOOD BASE
WD	WOOD

ROOM FINISH REMARKS	
NO.	DESCRIPTION
1	FIRST FLOOR STAIR LANDING TO BE LVT-1; ALL STAIR TREADS AND RISERS AND UPPER LANDINGS TO BE CPT-2
2	SEE FINISH PLANS FOR FLOOR PATTERN
3	SEE REFLECTED CEILING PLANS FOR GYPSUM SOFFIT LOCATIONS
4	SEE FINISH PLANS/UNIT PLANS FOR ACCENT PAINT LOCATIONS
5	SEE INTERIOR ELEVATIONS FOR PORCELAIN TILE (PT) AND CERAMIC TILE (CT) LOCATIONS
6	FOURTH FLOOR UNITS HAVE A CEILING HEIGHT OF 10'-0"
7	UNIT 14 SHALL HAVE A LEVEL 5 DRYWALL FINISH

CUSTOM UNIT TYPE PLAN NOTES

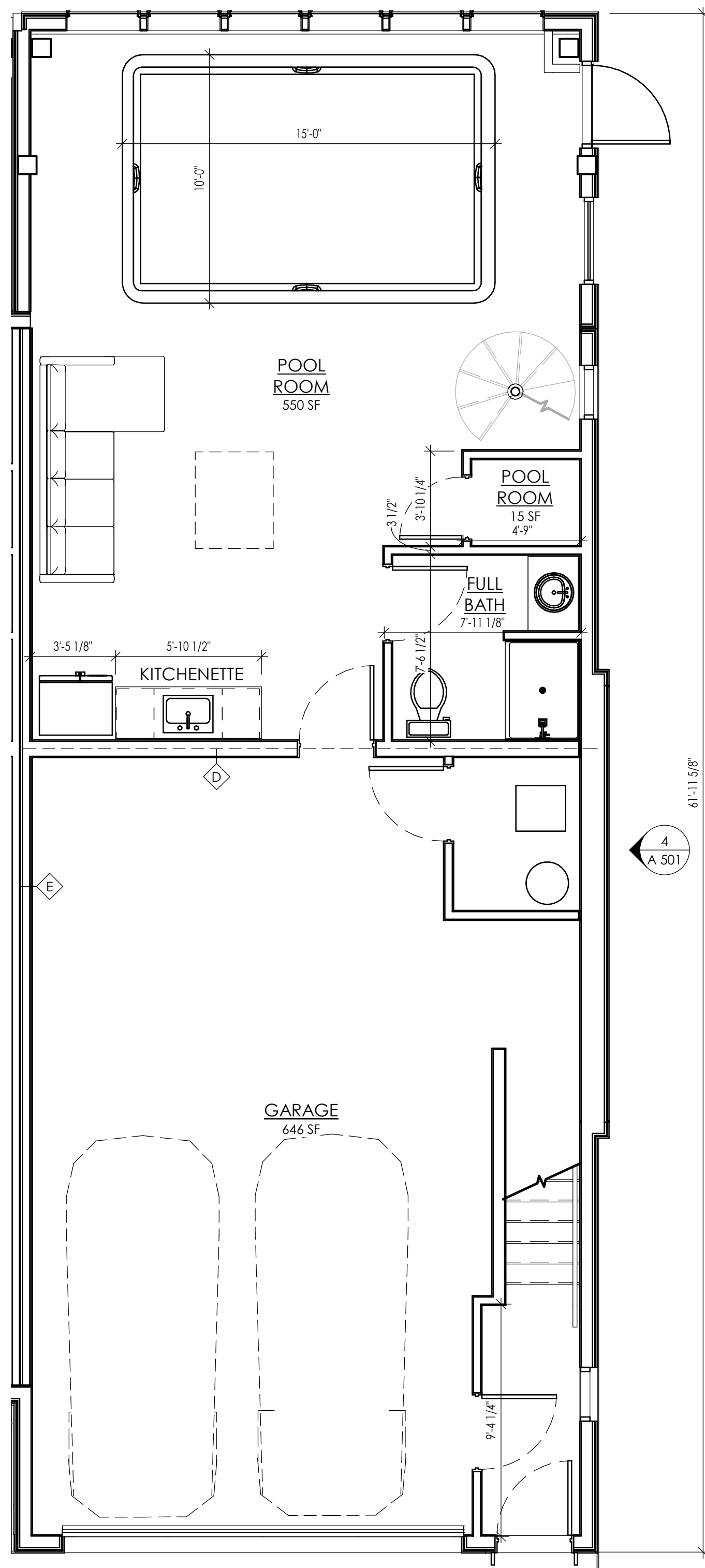
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- ALL WASHER AND DRYER UNITS TO BE FRONT LOADING
- ALL BEDROOM CLOSETS SHOULD HAVE WOOD SHELVEING SYSTEM
- ALL STORAGE CLOSETS SHOULD HAVE WOOD SHELVEING 24" DEEP, (4) HIGH, SPACED AT 16" STARTING AT FINISHED FLOOR UNLESS OTHERWISE NOTED
- SEE LAUNDRY ELEVATIONS FOR LAUNDRY SHELVEING TYPE AND SIZE.
- PROVIDE BACKLIT MIRROR IN EACH UNIT BATHROOM WIDTH EQUAL TO COUNTERTOP LENGTH.
- SEE SHEET A401 FOR DOOR AND FRAME ELEVATIONS & GLASS TYPES.
- PROVIDE CEILING FANS IN EACH BEDROOM.
- PROVIDE 220 VOLT OUTLET NEAR PATIO DOOR FOR HEAT LAMPS.
- PLUMBING FIXTURES TO BE KOHLER OR EQUAL WITH A MODERN, SQUARE AESTHETIC; WHITE COLOR.
- ALL HARDWARE TO HAVE A BRUSHED NICKEL FINISH UNLESS NOTED OTHERWISE.
- SEE UNIT PLAN FOR WALL ACCENT PAINT LOCATIONS.



REVISIONS:

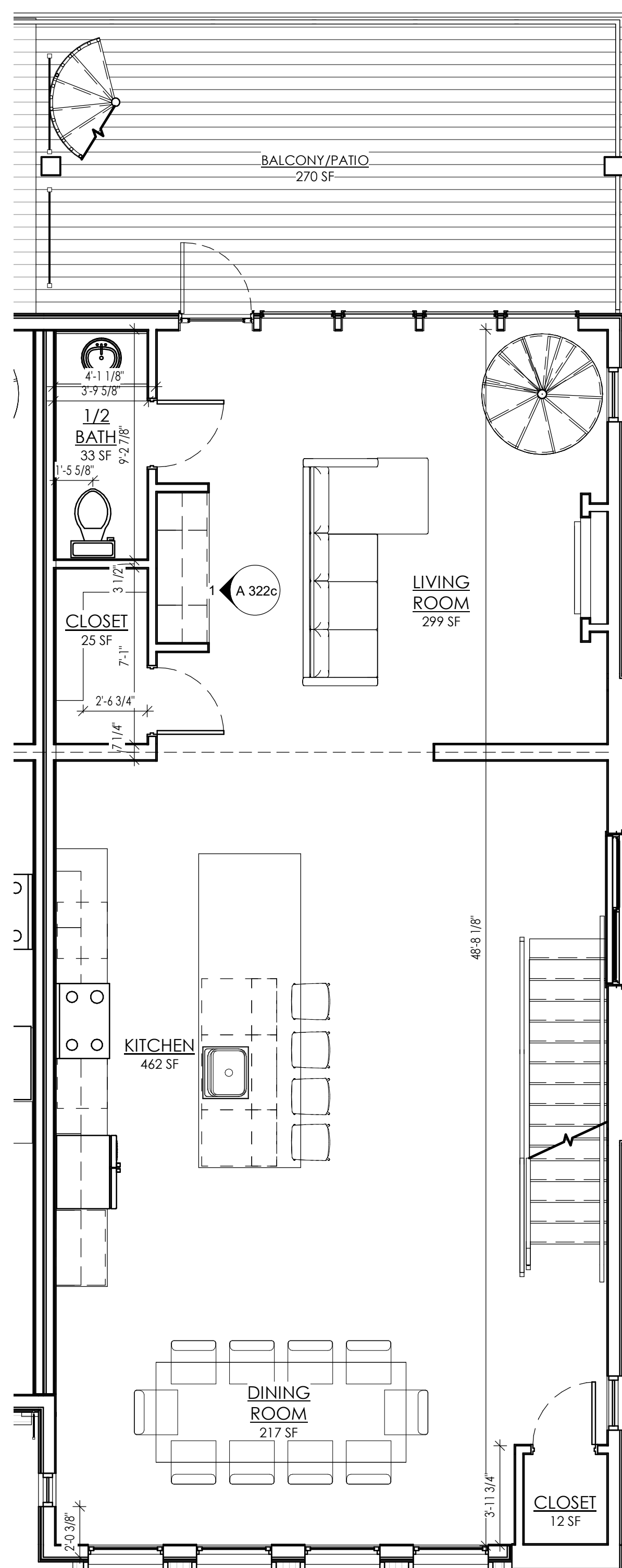
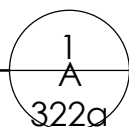
1 10/04/21 Addendum 01

NOTICE TO BIDDERS
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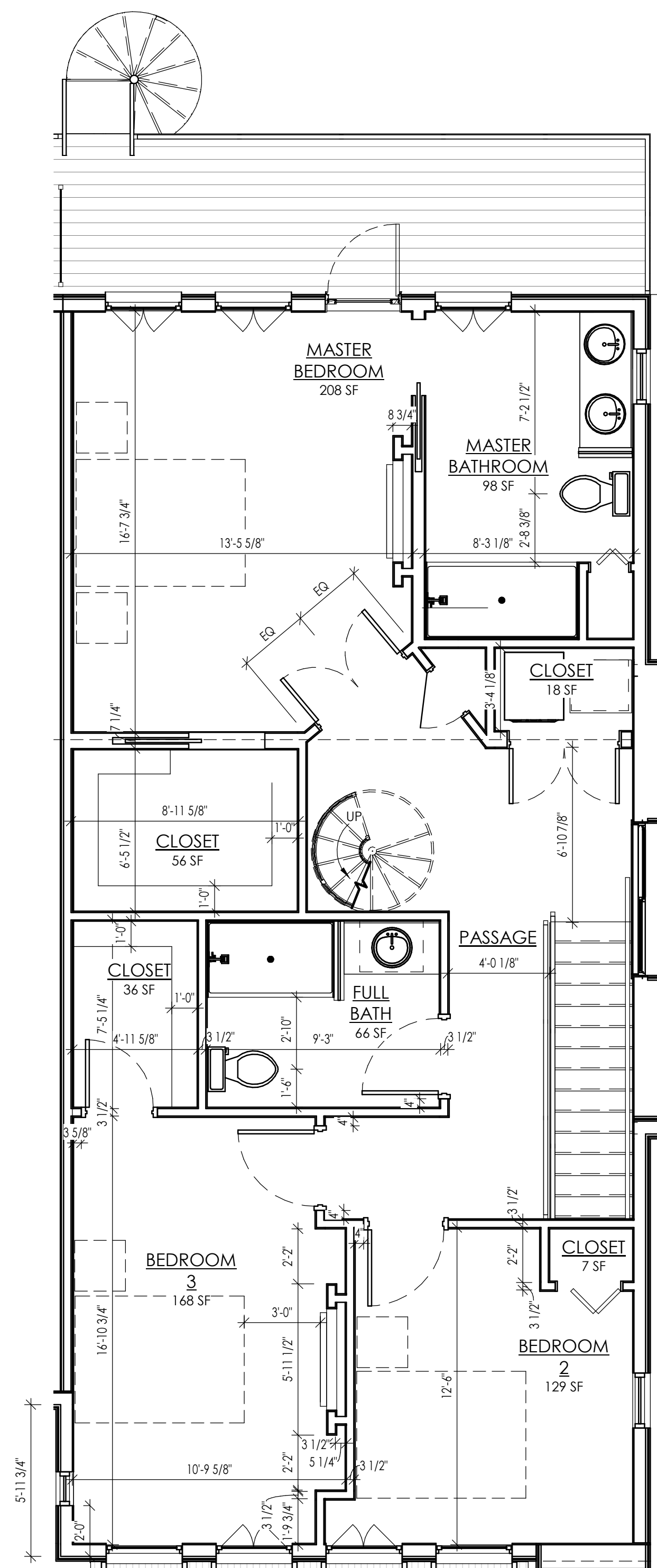
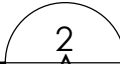
GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"



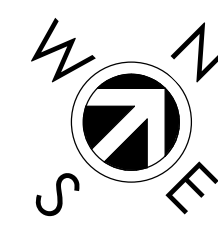
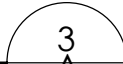
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NEW CONSTRUCTION FOR:
SOUTH PIER RIVERFRONT TOWNHOUSES

SOUTH PIER DRIVE, SHEBOYGAN, WISCONSIN 53081

1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | 720.452.4444 | 313 N. PLANKINTON AVE. SUITE 208, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: DG.EF

CHECKED BY: PM

WATSON UNIT

A
322a

PROJ. NO. 2022-12



REVISIONS:

1 10/04/21 Addendum 01

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MAY 17, 2022
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1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (720) 452-4444 | 313 N. PLANKINTON AVE SUITE 208, MILWAUKEE, WI 53203
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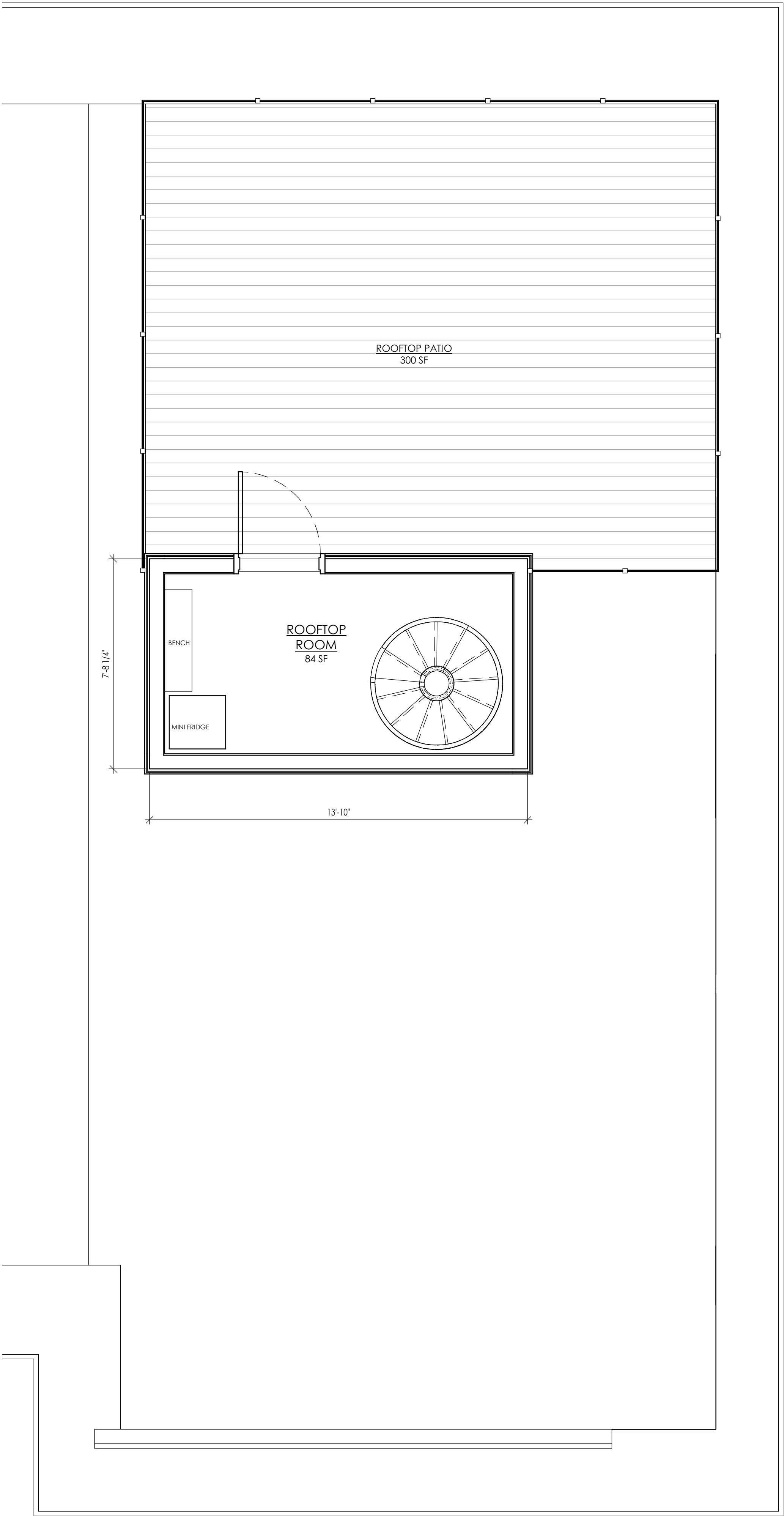
DRAWN BY: Author

CHECKED BY: Checker

WATSON UNIT

A
322b

PROJ. NO. 2022-12



ROOF PATIO PLAN
SCALE: 3/8" = 1'-0"  322b

***NOTE:** COLORS AND MATERIALS TO BE MATCHED TO PHASE 1 APARTMENTS AND APPROVED BY ARCHITECT.

NO.	DESCRIPTION
1	STRAND SUBSTRATE LAP SIDING - COLOR TO BE DETERMINED BY OWNER
2	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
3	EXTRUDED WOOD FRAME - COLOR TO BE DETERMINED BY OWNER
4	ALUMINUM FASCIA PANEL - COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

NO.	DESCRIPTION
9	COMPOSITE DECKING ON PRESERVATIVE 2x WOOD FRAMING. COLOR TO BE DETERMINED BY OWNER
10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



REVISIONS:

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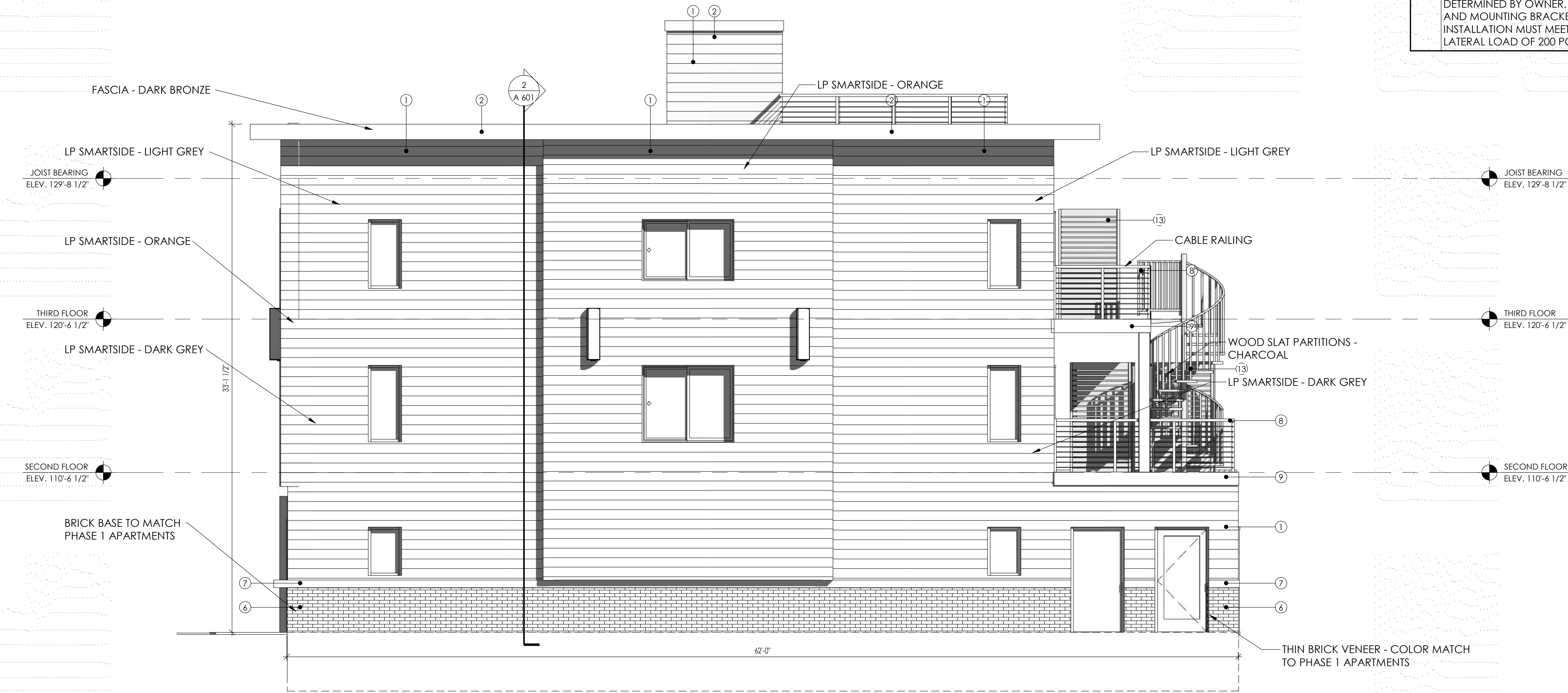
TYPICAL ELEVATION - TOWNHOUSE

A
501

PROJ. NO. 2022-12

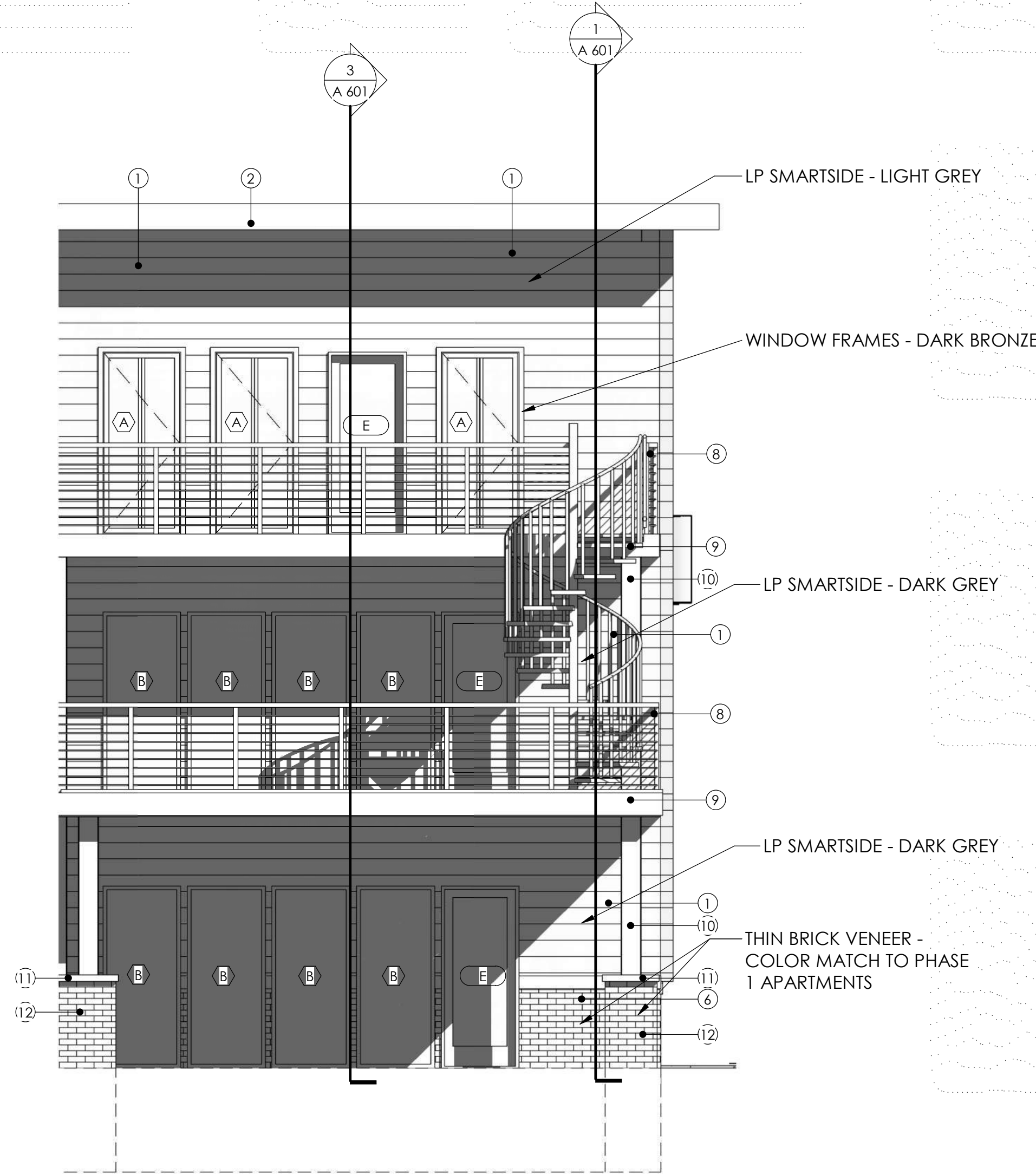
WATSON TOWNHOUSE - EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



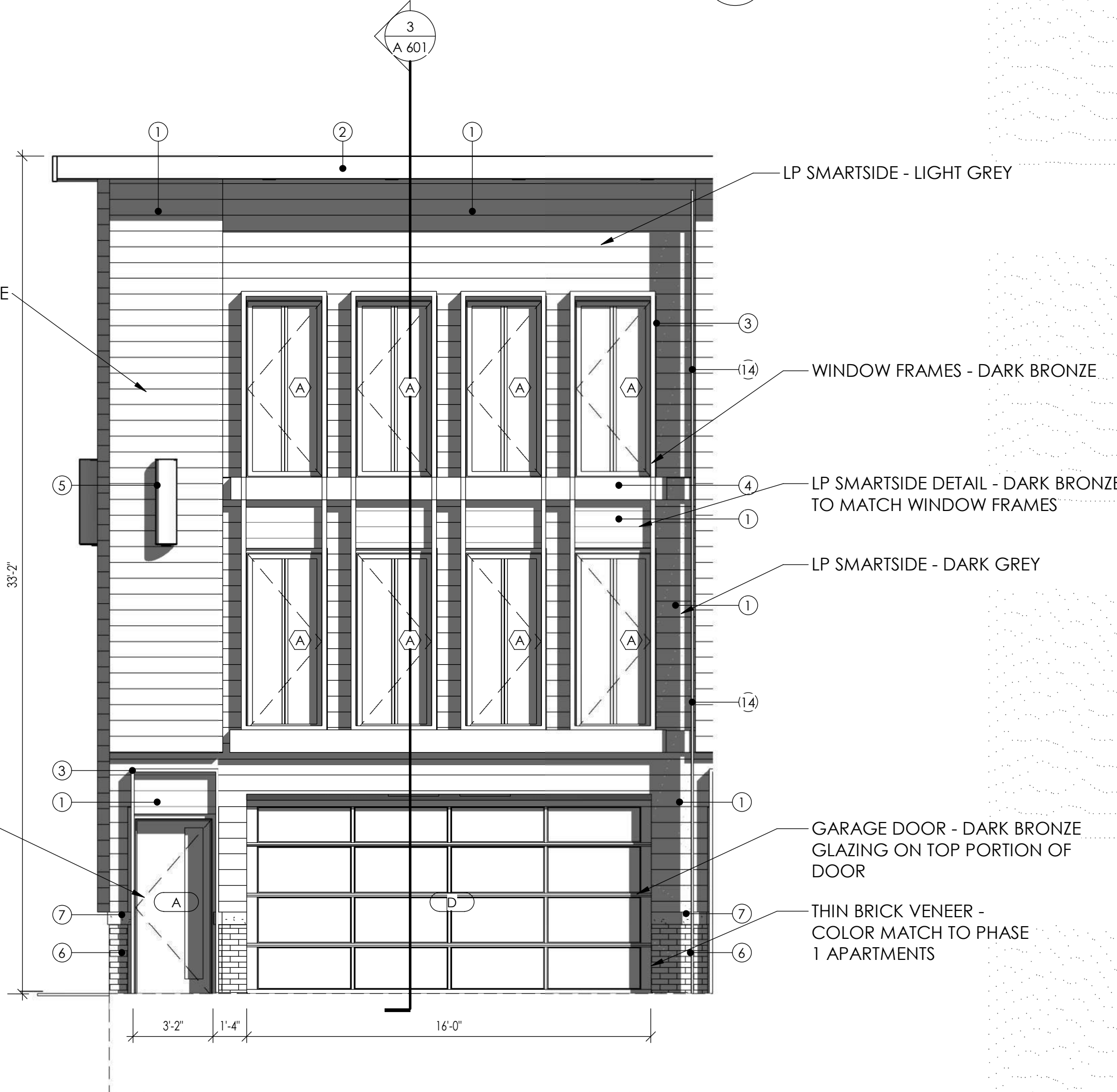
WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"





REVISIONS:

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OVERALL EXTERIOR ELEVATIONS

A
502

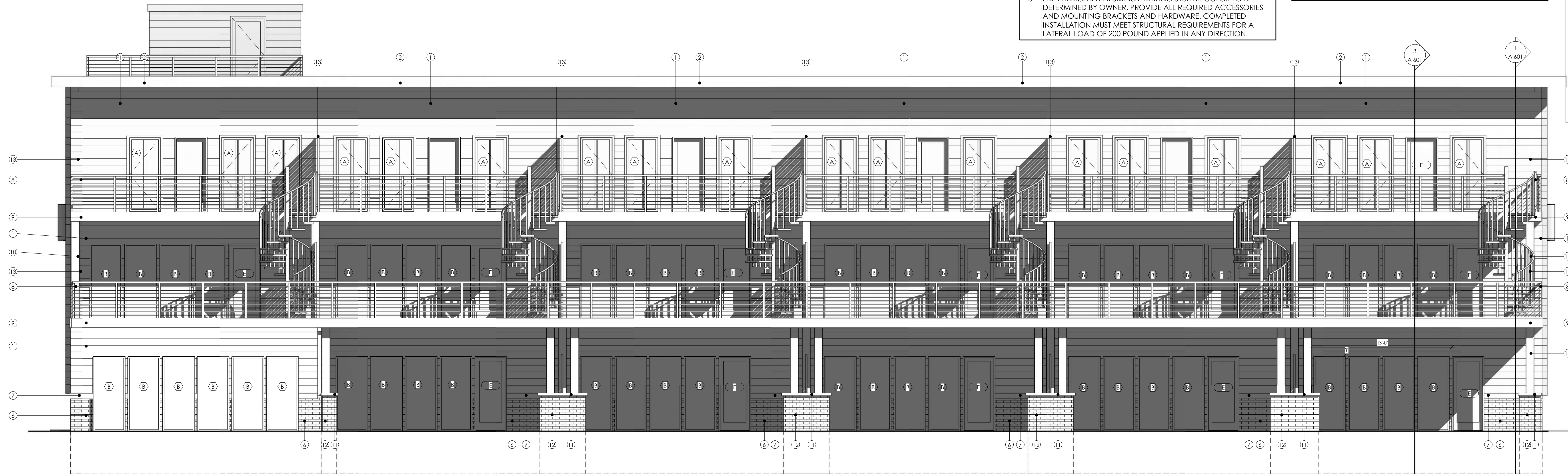
PROJ. NO. 2022-12

ELEVATION KEYNOTES

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4	ALUMINUM FASCIA PANEL. COLOR TO BE DETERMINED BY OWNER
5	UP/DOWN LIGHTING FIXTURE - SEE ELECTRICAL DRAWINGS
6	THIN BRICK VENEER
7	STRAND SUBSTRATE TRIM. ALL TRIM SHALL BE 6" X 1 1/4" UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AND TEXTURES TO BE DETERMINED BY OWNER
8	PRE-FABRICATED ALUMINUM RAILING SYSTEM. COLOR TO BE DETERMINED BY OWNER. PROVIDE ALL REQUIRED ACCESSORIES AND MOUNTING BRACKETS AND HARDWARE. COMPLETED INSTALLATION MUST MEET STRUCTURAL REQUIREMENTS FOR A LATERAL LOAD OF 200 POUND APPLIED IN ANY DIRECTION.

ELEVATION KEYNOTES

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10	BUILT-UP COLUMN. REFERENCE STRUCTURAL DRAWINGS. COLUMN TO BE CLAD WITH STRAND SUBSTRATE TRIM BOARDS. COLOR TO BE DETERMINED BY OWNER
11	CASE STONE COPING CAP. COLOR TO BE DETERMINED BY OWNER. CAP SHALL BE TWO PIECE CONSTRUCTION. GROUND AND CAULK JOINT
12	BRICK COLUMN BASE ENCLOSURE - MATCH FACE BRICK VENEER
13	WOOD SLAT PATIO PARTITION
14	WOOD SLAT PARTITION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

2
A 502



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1
A 502



REVISIONS:

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RIVER ELEVATION 1
SCALE: 1/8" = 1'-0" A 503



STREET ELEVATION 2
SCALE: 1/8" = 1'-0" A 503

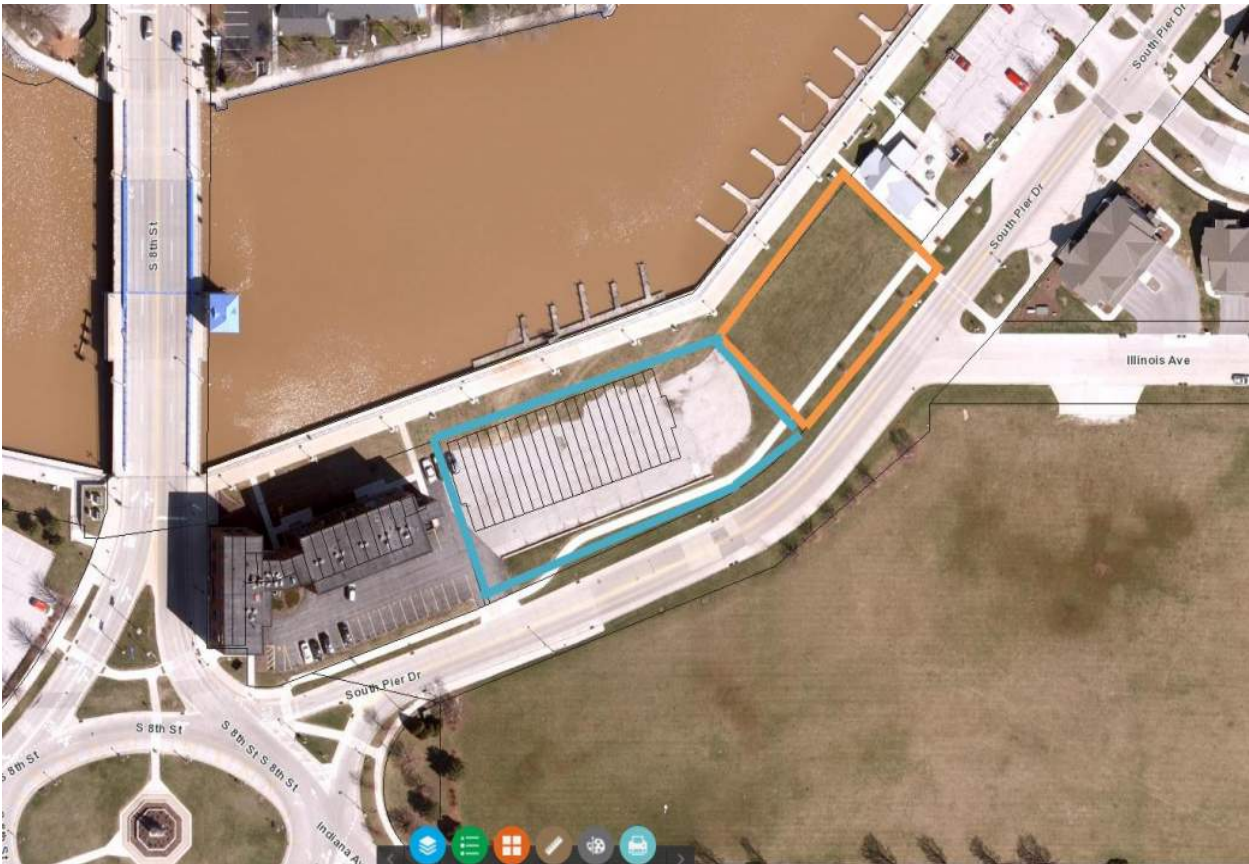
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EXTERIOR ELEVATIONS

A
503

PROJ. NO. 2022-12







CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Judy Moncree to operate Oneness Childcare Center in the multi-tenant facility located at 509B Superior Avenue. NC Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Judy Moncree is proposing to operate Oneness Childcare Center in the multi-tenant facility located at 509B Superior Avenue. The applicant states:

- 509B Superior Avenue is presently a vacant tenant space in the multi-tenant facility. The 2,000sf tenant space is located at the southwest corner of the building adjacent to the alley and on the far south end of the west parking lot.
- Childcare services will be provided to children varying in age from three (3) weeks to 12 years old.
- The tenant space will be prepared for 30 to 40 children and indoor activities will include math, reading, writing, exercise, eating, nap, etc.
- There will be cots provided for each child – approximately 30—35 children and 10-20 babies. The cots will be shared throughout the day/night but only one (1) child will use a cot at a time. Sanitation performed after each use. No overnight sleeping will occur.
- There will be a 144sf (12 x 12) fenced in playground area along the backside of the building (applicant states northeast side of the building but staff believes the pictures indicate the west side of the building). This is located within the parking lot adjacent to the alley and the applicant has provided pictures that state the fencing is proposed to block the alley from the parking lot.

- Outdoor activity will include walking, swings, toys, houses, bikes, etc.
- Business hours will be 5:00am to 11:30pm Monday through Friday and 6:00am to 9:00pm on Saturday and Sunday. There will be two shifts and each shift will have 30 to 40 children.
- The daycare will have a director, 4-6 licensed teachers, a secretary and 2 van drivers.

STAFF COMMENTS:

The applicant will need to work with the building inspection department regarding the proposed use of the facility. Occupancy shall be granted only at such time as all permits, codes, licensing requirements, etc. have been met.

Applicant will need to submit all the required permits and licenses required to operate the daycare prior to occupancy of the facility.

The applicant has not provided any sign information other than to indicate where signage might be added. Applicant shall work with staff with regards to constructing a well-designed sign package for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission if there any concerns.

A couple of comments:

- Has the applicant operated such daycares previously?
- Has the applicant been working with the State of Wisconsin concerning the required license to operate such a daycare? What is the status of such State of Wisconsin license?
- Based on the photos submitted by the applicant, it appears Mrs. Moncree may be occupying this space already. Is this the case?
- The applicant states that meals are to be prepared on site. How will this occur and will the applicant be installing new equipment for cooking/preparing meals?

The biggest concern that staff has which has not been adequately addressed by the applicant is the outdoor playground area planned to be located within the parking lot and adjacent to the alley. There is minimal information with regards to how the children playing in this playground area will be protected from vehicles in the parking lot and alley. The applicant states there will be a chain link fence and 3 foot tall car blockers surrounding the play area (staff is under the assumption the car blockers are protective bollards).

Concerns include:

- What are the exact dimensions of the playground and where exactly will the playground be located on the property?
- What is the applicant proposing for fencing and protective bollards (design, materials, colors, heights, etc.)?

- How does the proposed bollards and fencing protect the children from a vehicle accident running into this playground area?
- Where exactly will the bollards be placed to protect the children from an unforeseen crash. What is the bollard spacing requirement?
- Who will be installing the fence and bollards?
- How will drivers know that this alley access to the parking lot is no longer available.
- Why does the playground need to be right along the alley? Why can't the playground be more interior to the parking lot and not on the property line/alley?

Staff is extremely concerned about this safety issue and does not believe the applicant has not appropriately addressed this concern. Staff has serious safety concerns with the proposed location of this outdoor playground area and cannot recommend approval of this playground location without much more detail in terms of how the applicant is addressing these potential safety concerns.

ACTION REQUESTED:

Staff does not believe the applicant has appropriately addressed the outdoor playground safety concerns and recommends the conditional use permit be held so that the applicant can submit updated information that appropriately addresses these safety concerns and that this matter be reconsidered only at such time that the applicant has provided detailed information addressing these safety concerns.

If the Plan Commission was to approve the proposed daycare conditional use permit, staff would be recommending the following conditions:

1. Prior to operation/occupancy, the applicant shall obtain all licenses and occupancy permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, health, State of Wisconsin, Sheboygan County, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Applicant is responsible to ensure that the proposed child care center uses are meeting all Federal, State and Local codes and licensing requirements. Applicant shall provide the required license prior to issuance of an occupancy permit to occupy and operate from this address/site.
3. If using dumpsters, the dumpster(s) shall be screened/enclosed and constructed of like materials and colors of the facility.
4. Outdoor storage of materials, products, equipment, toys, etc. shall be prohibited except within the playground area.
5. The applicant shall submit the outdoor play ground plans back to the Plan Commission for review and approval before any outdoor playground can be opened and operated from this site (location, fencing, bollards, designs, materials, colors, dimensions, heights, etc.).
6. Any fencing/retaining wall shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance.
7. Maximum height of such fence will be six (6) foot high.
8. Applicant shall submit proposed fence plans to staff for review. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration. Applicant shall obtain the necessary permits prior to installation.

9. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance. There shall be no spillover light onto adjacent properties or the streets.
10. Applicant shall obtain the necessary sign permits prior to installation. Proposed signage will be individual letter signs (no flat panel or interior lit cabinet signs). Applicant shall work with staff with regards to constructing a well-designed signage for the site that utilizes colors and materials similar to the building. Staff may bring the proposed signage design back to the Plan Commission for review/approval.
11. If there are any exterior alterations, those alterations will be reviewed by the City of Sheboygan Architectural Review Board.
12. At such time as the daycare moves or stops operating from the site, the owner shall be required to remove the playground and bring back the parking lot to its original state.
13. If there are any amendments to the approved use and/or site plan, the applicant will be required to submit a new site plan and/or conditional use application reflecting those amendments.

Item 9.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

Item 9.

APPLICATION/FILE NO. 220716

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905
Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Judy Moncree
Oneness Child Care Center

ADDRESS: 509 B Superior^{AV} E-MAIL: jmoncree@gmail.com

PHONE: (414) 418-8665 FAX NO. ()

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Oneness Child Care Center

ADDRESS OF PROPERTY AFFECTED: 509 B Superior AV 53081

LEGAL DESCRIPTION: Brick flat 2 Door Exit
1350 Sq Ft Area for Daycare

BRIEF DESCRIPTION OF EXISTING OPERATION OR USE: Offices
For Pharmacy (closed in 2020)

DETAILED DESCRIPTION OF PROPOSED OPERATION OR USE INCLUDING
ANY CHANGES TO THE EXISTING USE: Daycare Center
No Changes To Building Needed

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS
OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED
OPERATION OR USE: None - outdoor fencing
Needed for Designated play Area

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan? Daycare is A Service

That is needed in The Area Currently waiting
List of 250 families in Sheboygan

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way? None

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located? There

Are Already preschool / Daycare / church school
in The Area so it will Blend right in well.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain. Yes

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Lee properties LLC (414) 779-7519

ADDRESS: _____ E-MAIL: _____

ARCHITECT: N/A

ADDRESS: _____ E-MAIL: _____

CONTRACTOR: N/A

ADDRESS: _____ E-MAIL: _____

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

Judy Monce
APPLICANT'S SIGNATURE

03/18/2022
DATE

PRINT ABOVE NAME

To: Sokolowski, Steve

Sent: Thursday May 5th 2022

Subject: Condition Use Permit (for Daycare)

From – Oneness Child Care Center

509 Superior Ave Sheboygan, WI 53081

(Additional Info)

Needed (\$250.00 fee)(Paid)

- 1) No existing use (Building was empty)
- 2) Activities onsite – site will be prepared/sections classrooms for 30/40 children to be used for math, reading, writing, exercise, eating, nap
- 3) Services provided for children ages 3wks-12yrs.
Computer room for ages 10yrs-12yrs.
- 4) Kitchen alternate eating 10 kids each
Seating table and chairs – meals prepared on site
Breakfast, Lunch, Dinner, Snacks
- 5) Business Hours of Operation
open (5am – 11pm) Monday – Friday
- 6) Service is needed for 250 families in the Sheboygan Area according to Children and Families of Sheboygan (waiting list)

Conditional Use Permit (Continued)

- 7) There are 3 schools in direct area. Within 1 block area radius, and 2 offer before and after services
- 8) No new parking needed. Building has its own parking lot. Approx.(15,000 sqft.)
- 9) Fencing area (12x12 area located along the back of side building. NE side. Include (Hill) from building, No connect to (any) adjoining properties (Google Earth Attached)
- 10) Will begin operation as soon as approved Summer (June) 2022 of ?
- 11) Site was selected because of area, price, and convenience for customers
- 12) Indoor/Outdoor activity will include walking, swings, play area (refer google earth) toys, houses, bikes, etc.
- 13) Site should be considered because area is already children friendly and parent convenience
- 14) No overnight sleeping (cots provided for each child)(approx. 30-35 children and 10-20 babies (alternating/sharing allowed)) 1 per cot at a time (sanitation performed before/after each use)

Conditional Use Permit (Continued)

- 15) Purpose of business – to provide a desperate needed service for families on waiting list
- 16) Daycare Employees
 - 4-6 Licensed Teachers
 - 1 – Director (Day to Day operations)
 - 1 – Bookkeeper/Secretary
 - 2 – Van Drivers
- 17) Next door to daycare is a service company that provides elderly care in home services - 517 Superior Avenue. Will not interfere with Daycare Parking or services we provide/playground
- 18) Director operates sites 24 hours a day (7 days a week) 10-8 hrs on site and 4-10 hrs off site
- 19) Other permits/licenses (from state of Wisc.) determined by conditional use being approved
- 20) Size of Daycare (2,000 Sqft.)
 - service 30-40 Children per shift
 - Will run 1st and 2nd shift
 - 5:00AM – 11:30PM Monday – Friday
 - 6AM – 9PM Saturday – Sunday

Conditional Use Permit (Continued)

- 21) No architectural services needed
- 22) No electrical signage will be used
- 23) Area is used to noise from children
There are 2 church schools in the area (1 block radius) and 1 private school (1 block radius from proposed Daycare)
- 24) Building was previously in front (pharmacy) is unoccupied, and Public Defenders Offices on the south east, and a Doctors Office as well all on the other side away from Daycare.
- 25) Sign plastic will be posted on top front of side of building and sign top of entrance of front of Daycare
- 26) Will pass out notifications to residents informing of Daycare an will invite all interested in coming to meeting (date determined by permit committee)

Hello Steve, This Email Is In Response To Your Concerns For Fencing, And Daycare Occupancy, The Rules For The State Of Wisconsin Is That, In Order To Open A Daycare In The State You Must 1) Own Or Rent A Commercial Area Large Enough For 9 Or More Children, And Before Your Building, Or Stores/Offices Area Can Be Licensed, You Must Have The Entire Area Set Up As Though You Are Operating A Daycare, Though You Are Not Yet Opened, My Rented Area Has Been Set Up For Over 1 Year Now, And I'm Not Opened, and Can't Open The Doors To My Business Until, All Permits From Your Department, As Well As The State Are Met, Yours Has To Be Satisfied, And Turned Over To The State First, While All Of This Is Going On And Time Consuming, I Still Have To Pay Rent On This Area Of The Building I'm Occupying Every Month, So The Only Area Around The Entire Building Safe Enough, And Close Enough The Grassy Area, Next To The Daycare, Now As I've Tried To Explain To You In Previous Photos, And Google Earth The 110x 200 Square Foot Area Will Be Fenced In By A Industrial Strength 10 Foot Chain Link Fence Across The Back Side Of The Alley From The Building Across To The Neighbors Garage Cutting Off Any Drive Thru Traffic Onto The Parking, The Rest Of The Area Squaring Off On The Parking Lot Will Be Structured By Securing Into The Parking Lot Area 3 Foot Car Blockers Surrounding That Area Chosen For Play Area, Please Keep In Mind That I Have 6 Months After Opening, To Have The Area Secured According To The State Of Wisconsin Rules, And Regulations, Until Then I Do Have The Option Of Utilizing The Area Parks, And Or Making Agreements With Other Area School's, And Or Other Children Play Areas In The Vicinity, Hopefully This Answers Any Further Questions Concerning Play Areas For The Proposed Center, The Most Important Pressing Problem For Me Now Is That I Get Opened, The Play Area Is Not A Requirement On The Premises, In Other Words I Can Use Other Playgrounds Indefinitely, Thanks For Your Time.

On Tue, Jun 14, 2022, 5:00 PM Sokolowski, Steve <Steve.Sokolowski@sheboyganwi.gov> wrote:

Judy:

It appears that you submitted some additional information for your conditional use permit to operate Oneness Childcare Center. The conditional use permit will be placed on the Tuesday, June 28, 2022 City of Sheboygan Plan Commission meeting. The meeting will be held at 4:00pm in the 3rd Floor Council Chambers of City Hall located at 828 Center Avenue.

A couple of comments:

- You should be aware that City staff is very concerned about the outdoor playground location you are proposing in the parking lot adjacent to the alley. You have provided minimal information about the fence to be installed (location, height, design, materials, colors, etc.). How will the fence you are proposing to install will ensure that these young children will be protected from any unforeseen safety concerns, especially with vehicles driving in the parking lot and alley. The Department of City Development has previously informed you of this safety concern and that it shall be appropriately addressed in order for the daycare to potentially operate from this site.
- Based on the photos, it appears you may be occupying this space already. You may not occupy this space until you have received a conditional use permit allowing a daycare to operate from this tenant space and until such time as you have received an "Occupancy Permit" that state the building has met all building code requirements to operate a daycare

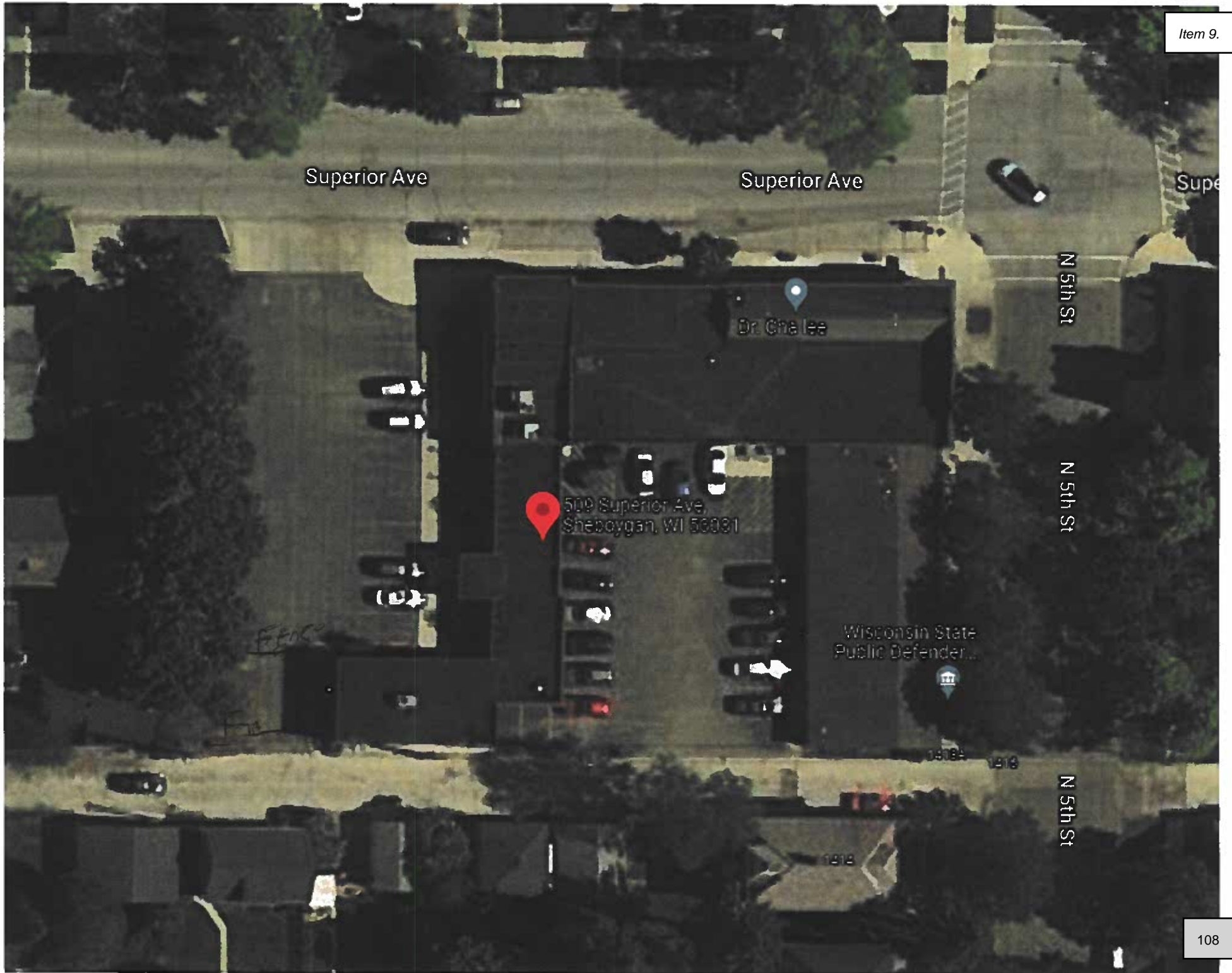
from this site. You will eventually need to speak to Building Inspector Jeff Lutzke about the required occupancy permit at (920) 459-3481.

- Please provide any information you presently have from the State of Wisconsin with regards to your potential daycare license.

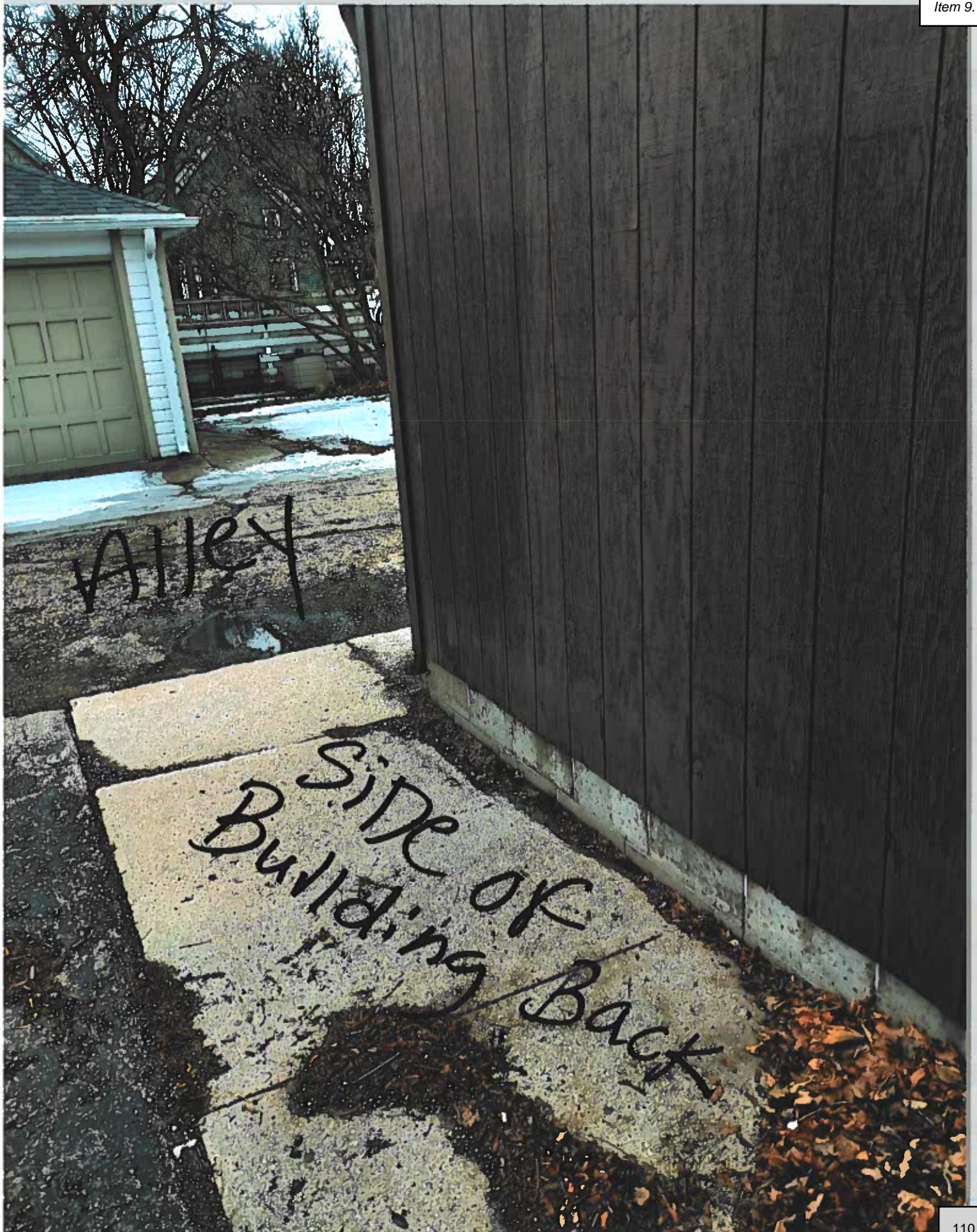
I may have additional questions as I review your application.

Sincerely,

Steve Sokolowski













Office





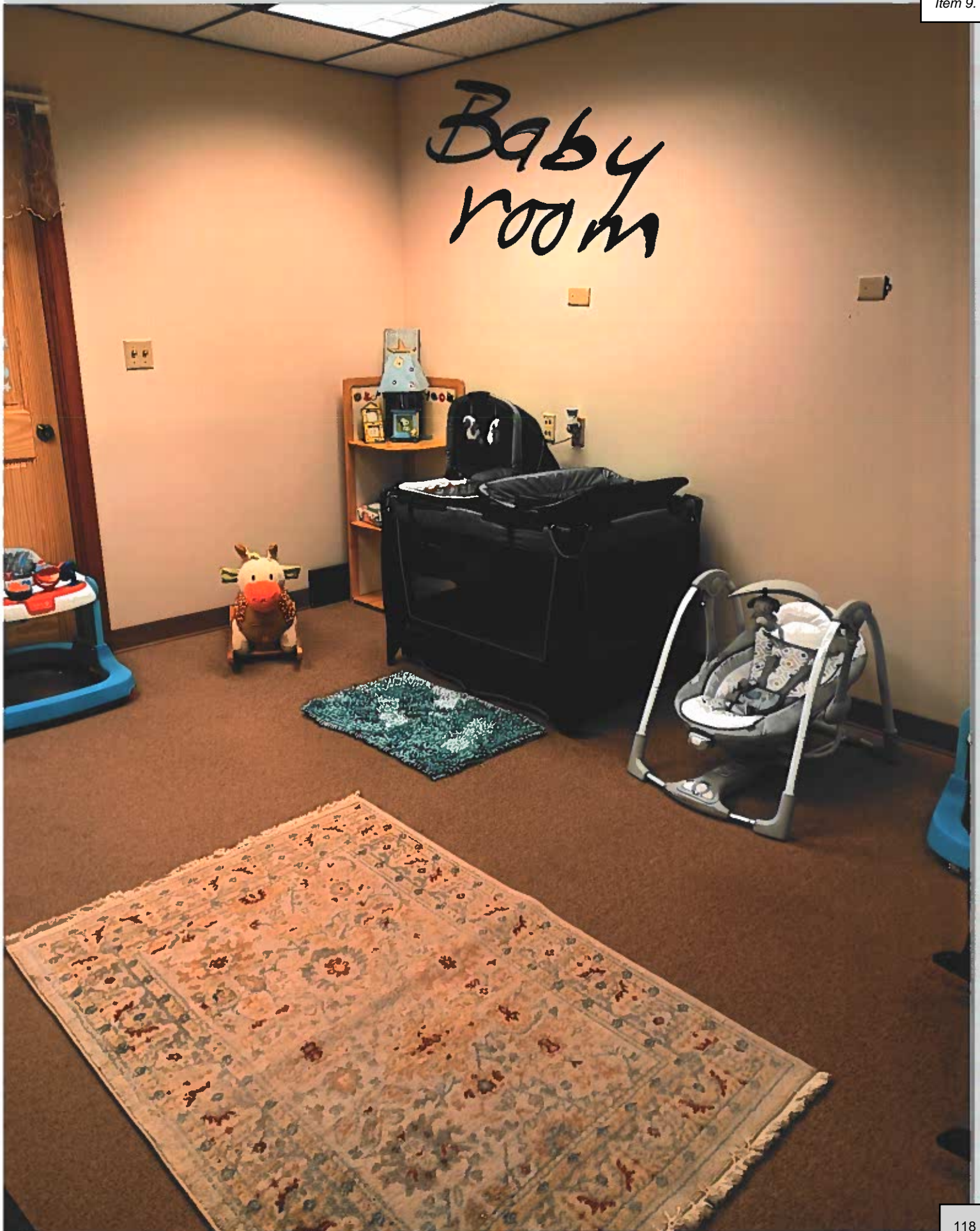
Sleeping
cots

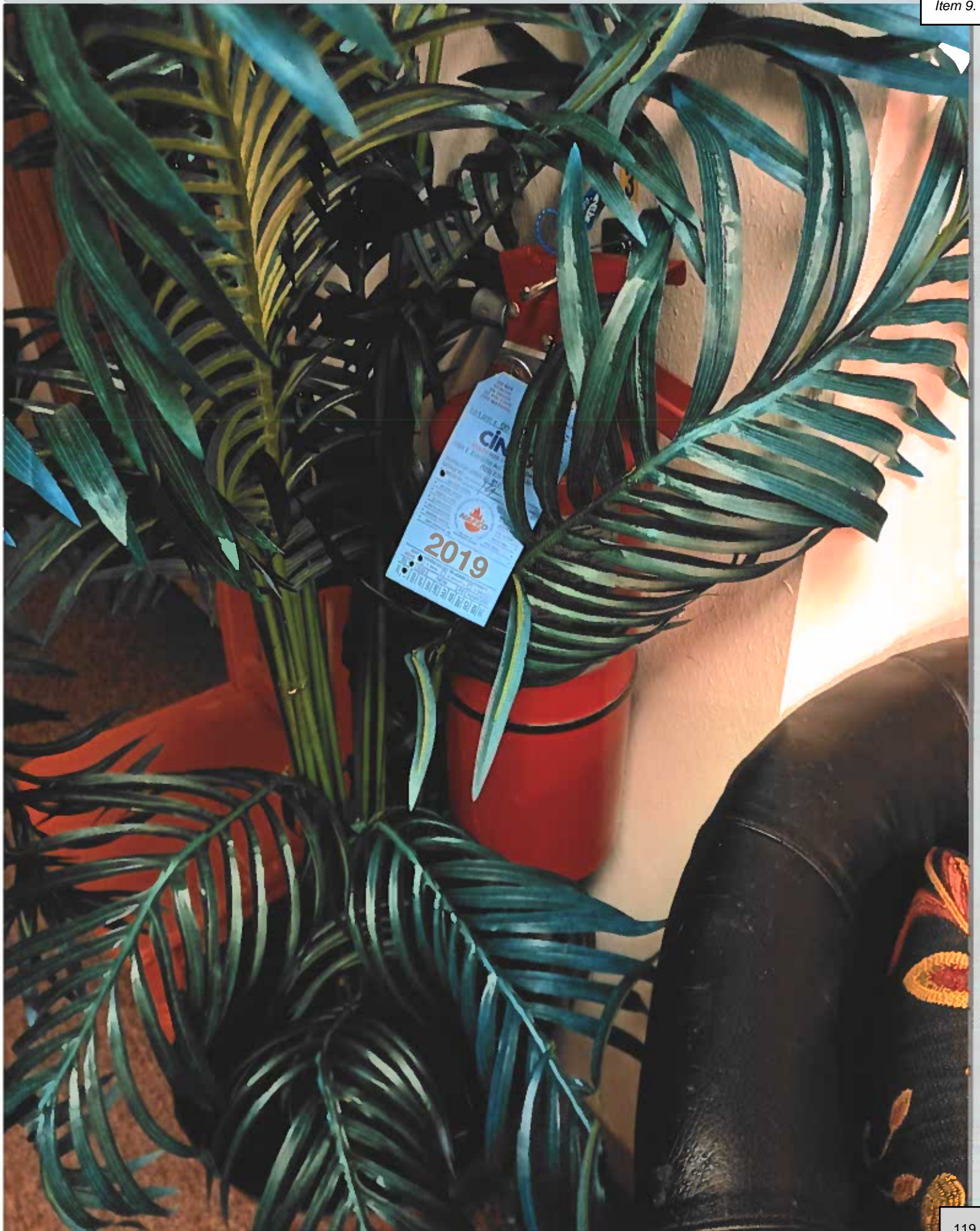


Bath room



Baby
room





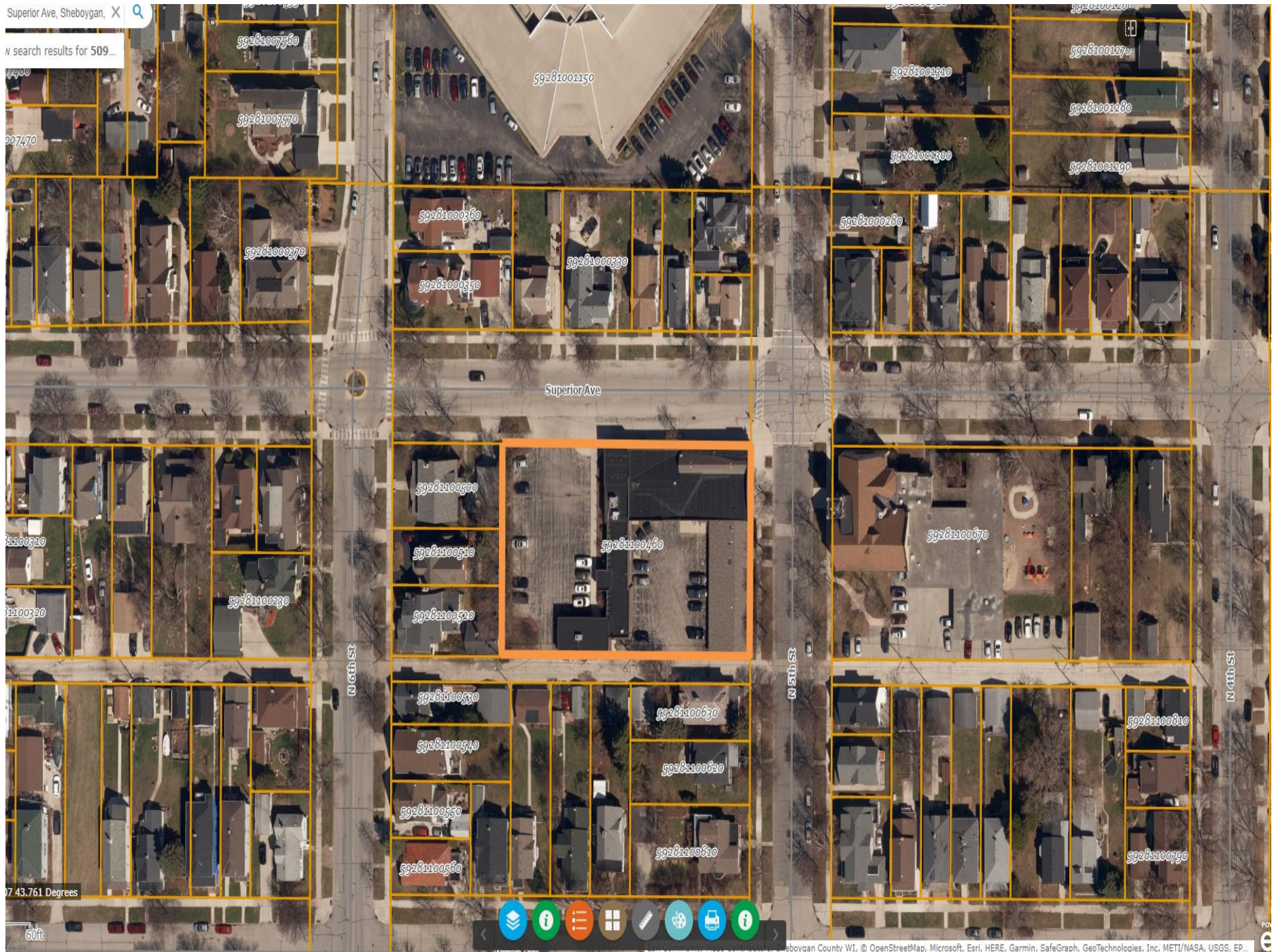
Baby room

Cots
Sleep

Play N
Learn
Area

Teacher
Desk

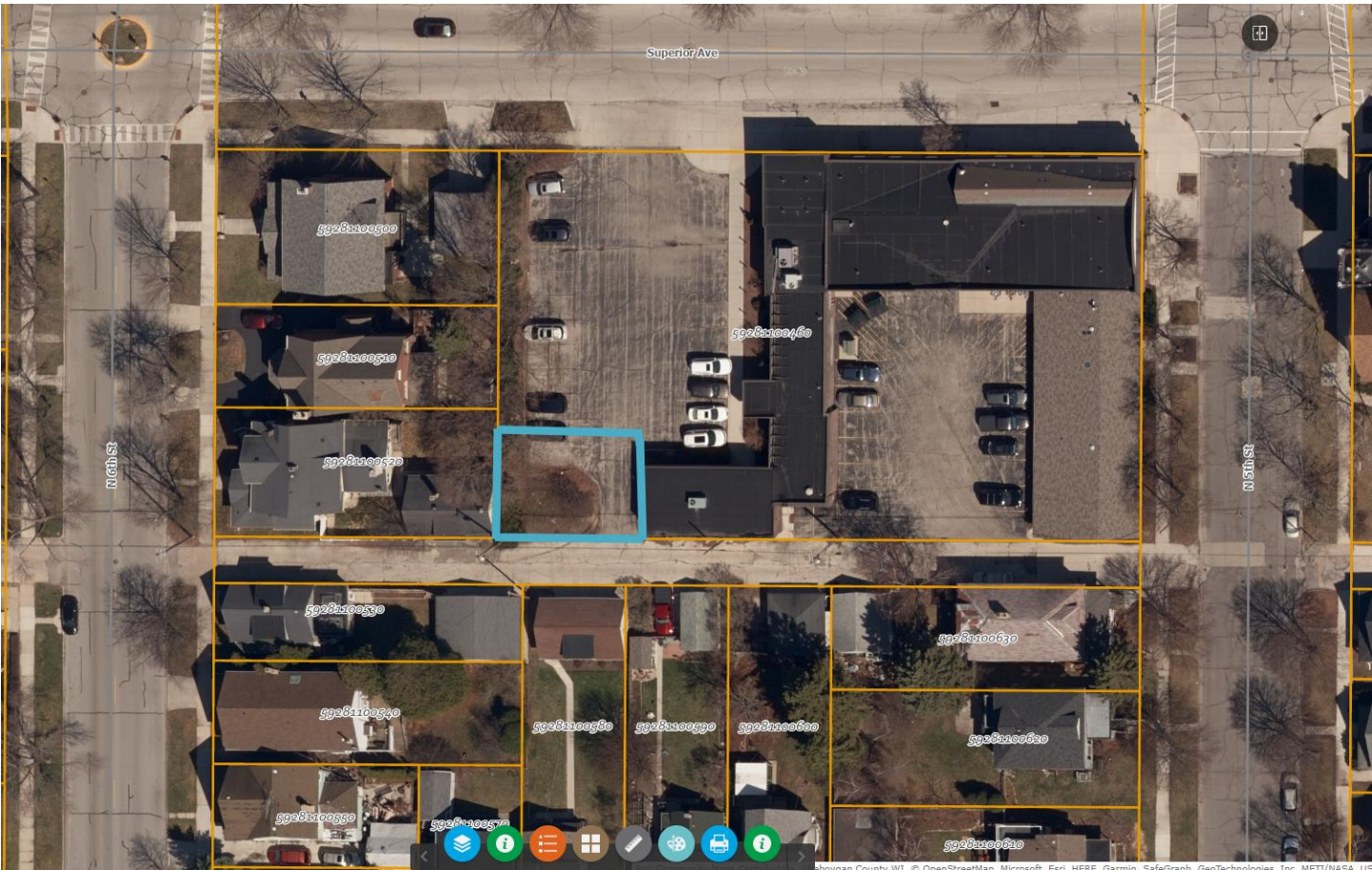












A Guide to Bollard Spacing and Site Planning

View this page [en français](#)

Proper spacing for a range of bollard applications



Bollard spacing standards vary depending on the function of the bollard. Whether to calm traffic, protect assets, or create visual perimeters around landmarks, bollards are functional, decorative posts used in everyday environments. Bollards come in a wide variety of aesthetics, from shiny stainless steel to traditional cast iron, or can be finished with vibrant powder coating to add a pop of color.

[Bollards](#) may be high or low impact resistant. Some are meant to stand strong against vehicles, while others are non-abrasive, bending upon impact and function only as visual barriers. Bollards serve to protect pedestrians and infrastructure, as well as

control traffic flow. Each of these bollards have important, yet very different, purposes. Consider first the type of bollard, and then the site, to determine recommended installation practices and spacing for common bollard applications.

Bollard Installation Types

Bollard applications are versatile and can be fixed or [removable](#), high or low impact. A few common installation methods exist for bollard applications in commercial and industrial settings. The first consideration is whether the bollard will be fixed and permanent, or used for changing access control. It is up to the installer to select the best [installation method](#) depending on the bollard's requirements.

Fixed, crash-rated or high-impact mountings

Engineered [crash-rated bollards](#) or [security bollards](#) made of steel-and-concrete are installed to protect against vehicle impact. Crash-rated bollards have been tested to confirm their level of stopping power when installed as instructed. The impact resistance of security bollards is dependent on installation and the local substrate. Both types are embedded deep into the concrete substrate to become sturdy, fixed devices. Decorative bollard covers can be placed over top of these security posts for aesthetic enhancement. However, the bollard cover itself will not add to the level of impact resistance provided. For building security and pedestrian protection in areas vulnerable to vehicular traffic, this installation is one of the most reliable. These bollards are always sited near traffic and should be spaced accordingly.

Fixed, low-impact mountings

To permanently install bollards into new or existing concrete, mounting hardware such as threaded rods, anchor castings, or concrete anchors are used. Bollards may also be directly embedded into new concrete. When bollard applications are installed using these methods, they are primarily decorative, creating visual barriers around landscapes or monuments. They are without security features and have little impact resistance. They may be spaced to prevent human access.

Fixed, surface mountings

Surface mounting uses bolts and concrete anchors to secure bollards into existing concrete. No digging or pouring of concrete is necessary for this method. Although this installation does not offer much impact protection, they are helpful in protecting inventory from carts and other unpowered vehicles in warehouse spaces and grocery stores. This installation method also works well for bollards used to mark perimeters, such as separating lanes in a parking lot or to mark the end of a parking stall.

Removable mountings

By using removable mountings, bollards can be temporarily removed to allow access. Removable bollards are installed using special mounts into new or existing concrete. Lock pins and padlocks are used to secure the bollards to these mounts. However, this

installation method offers little impact resistance. Removable bollards are an excellent way to changeably prevent and allow vehicle access into certain roads or event spaces. Their adaptability is also an excellent option for areas that need increased security during non-operating hours, such as at the entrance of a warehouse's loading dock or public park.

Bollard spacing

Bollards can be spaced differently depending on their use. To prevent cars from driving through them, they should be no farther apart than 5". However, bollards are used as storefront and building protection, campus security, sidewalk safety, around utilities, near loading docks, and to protect landmarks and plantings. These various sites may require different spacings.

Very often, bollards are installed in a row, for increased visual awareness and to guard a larger perimeter. In these cases, how far apart should bollards be from one another, and from the curb? Read on to learn how site requirements directly impact bollard spacing.

This information was provided from Reliance Foundry website:

<https://www.reliance-foundry.com/blog/guide-to-bollard-spacing>

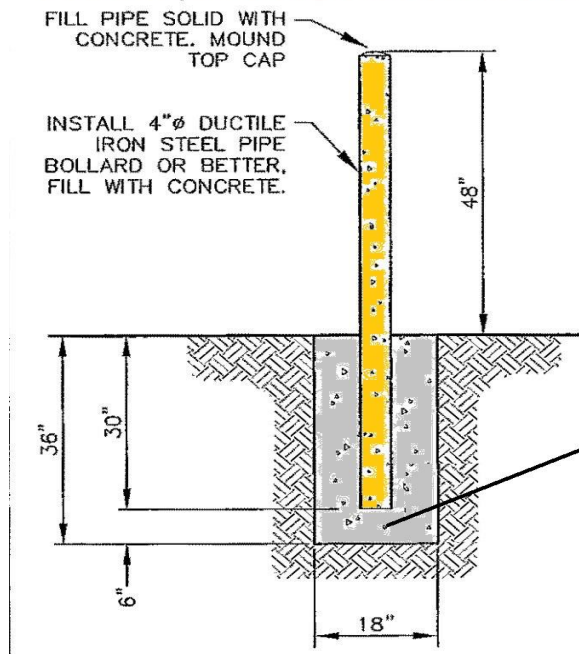
Create Safe Playing Areas

Install bollards around the perimeter of the playground to keep it safe from oncoming traffic. Permanent bollards provide effective guards against wayward traffic, something fencing alone cannot provide. And since most fences surrounding playgrounds are chain link, bollards provide an excellent second safety layer that makes it clear to children where they should stay.

Bollards not only protect children at play and the teachers supervising them, but they also shield thousands of dollars' worth of playground equipment from vehicular damage.

<https://www.1800bollards.com/3-ways-bollards-keep-playgrounds-safe/>

EXAMPLE PROTECTIVE PIPE BOLLARD SPECIFICATIONS



NOTES:

1. BOLLARDS SHALL BE 4" DIAMETER DUCTILE IRON POSTS SET IN 36" OF CONCRETE AT LEAST 18" IN DIAMETER. THE INSIDE OF POSTS SHALL ALSO BE FILLED WITH CONCRETE WITH SMOOTH MOUND AS TOP CAP.
2. BOLLARDS SHALL BE LOCATED AT LEAST 2' IN FRONT OF HYDRANT, 5' APART.
3. BOLLARDS SHALL EXTEND ABOVE GROUND TO A MINIMUM OF 4'.
4. BOLLARDS SHALL BE OF SUFFICIENT NUMBER TO PROTECT THE HYDRANT, MINIMUM OF 2.
5. PAINT BOLLARDS RED WITH TOP 8" PAINTED WHITE.

EMBED D.I. PIPE 30" INTO 18"Ø CONCRETE BASE WITH 6" PUNCH PAD

ADAPTED from Bellingha WA fire hydrant bollard specifications cited & discussed at [InspectApedia.com](https://inspectapedia.com)

<https://inspectapedia.com/plumbing/Protection-Bollards.php>



CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Application for Conditional Use Permit with exceptions by Walmart to relocate their pick-up and delivery service and to install new signage at 3711 S Taylor Drive. SI Zone

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Walmart is proposing to relocate their pickup/delivery service, to install new signage and to paint the exterior of the facility at 3711 S Taylor Drive.

The applicant states the following about the relocation of their online grocery pickup area and signage:

- The online grocery pickup (OGP) is a service offered by Walmart where customers can order groceries online and have them delivered to their vehicles once parked in the designated parking stalls on site. The grocery delivery is made by a trained Walmart employee so there is no need for customers to exit their vehicle. Walmart believes this service is an added value for their customers.
- Walmart would like to relocate and utilize part of the existing Garden Center "high rack" area for parking stalls associated with the internal Online Grocery Pickup (OGP). The existing garden center is located at the southwest corner of the building and is presently used for product sales, product storage, racking, fencing, etc.
- A portion of the existing high racks, garden center fencing, and concrete are being removed to install asphalt parking for the Pickup customers. The existing garden center and the existing driveway shall be used to create the new parking stalls and driveway for this OGP service (additional pavement is not being added only asphalt, striping and signage).

- The addition of parking closer to the building for the online grocery pickup further enhances the benefits and convenience of shopping online and brings the reality of minimal contact and touchless shopping to the forefront for a continued positive shopping experience.
- The purpose of this project is to add parking in a location that can easily and efficiently be accessed by customers and Walmart associates for online order Pickup. Walmart tries to not locate Pickup stalls across the main drive-in front of the building due to conflicts and safety concerns with traffic. The existing OGP is located in the middle of the parking lot closest to the main entrance doors.
- 27 new parking stalls will be added in the new OGP pickup area (14 north and 13 south of driveway aisle).
- Two new light poles and fixtures will be added south of the existing curb line to provide an average of 2.0 foot-candles in the Pickup area. The vertical foot-candles were also evaluated along the southern property line at a height of 5 feet. The foot-candles along the property line will be 0.2 or less which is well below .5footcandle requirements at property lines.
- The existing pickup signs and stalls will be removed and returned to normal customer parking stalls.

The applicant states the following about the installation of new online grocery pickup (OGP) signage:

- The applicant is proposing signage adjacent to each OGP parking stall. Signs will be mounted in the pavement in lieu of wall mounted signs. The concrete base shall act as a bumper to protect the building. When a customer arrives for their pickup, the stall sign instructs the customer to call the phone number indicated on the sign to announce their arrival. Each stall is numbered ensuring the customer receives the correct grocery order.
- Since there are 27 parking spaces so there will also be 27 signs designating the number of the parking space a customer will need to park in to pick up their order.
- Each pickup stall will have three (3) signs that act as one sign. The 3 signs are the stall number, store phone number for Pickup, and as sign that reads "Pickup". There will be one of these signs at each stall for a total of 27.
 - Each numbered parking space sign is 2.3sf (1.5 x 1.5).
 - Each numbered parking space also has a 4.5sf (3 x 1.5) "pickup" sign.
 - Each numbered parking space also has a 1sf (1.5 x .6) "for further assistance." sign.
 - Therefore each of the 27 signs is approximately 8sf and 6.2 feet tall.

Note: Why can't these signs be designed as just one (1) sign instead of three (3) separate signs)?

- In addition, the applicant is proposing five (5) directional “Pickup” signs throughout the property to guide people to the OGP pick up area.
 - Each directional “Pickup” sign 4.5sf (3 x 1.5).
 - These five (5) signs are located along the driveway at the perimeter of the site guiding customers to the OGP pick up area (north, south and west).
 - The longest route from a public street to the Pickup area is approximately 2,000 ft and Walmart wants to have a directional sign every 200 feet to help guide customers to the Pickup area.
 - Each of these signs are 8.5 feet tall (7 foot post and 18 inch tall sign).

Note: Staff has a concern with the overall height and look of these directional signs. It also appears that some of the proposed directional arrows do not guide customers signs to the pick-up area (are the directional arrows pointing the wrong direction).

- The “Pickup Exterior Sign Schedule” on the top of the “Pickup Striping and Signage Details plan (sheet SD2) mentions a 10sf (2 x 5) “Pickup Banner and mounting hardware” yet there is no detail about this banner. The Plan Commission should have the applicant explain the purpose, need and location of this sign.

There is reference to such a banner being placed on a light pole but there is no drawing showing this. Is this existing?

Note: Staff has a concern with signage on light poles.

The applicant states the following about the installation of new updated building signage:

- Walmart is also proposing to install updated signage to the building.
- The new signage reduces the overall footprint of signage, and further enhancements include wayward or directional signage to help individuals find the new parking area associated with the online grocery pickup area as well as the Auto Care area.

Front:

1. Replace Walmart Linear Font and Spark 299.04sf with new Walmart "Badge" (22.57sf) and Spark (93.1) totaling 116sf

Reduction in square footage by (183sf). Reference 1/A2.1

2. Replace Pickup/Spark sign (66.76sf) with new Pickup> (40.83sf)

Reduction in square footage by (25.93sf) Reference 9/A2.1

3. Replace Home & Pharmacy (94.9sf) for new Home & Pharmacy (94.9) (0 sf neutral), Reference 2/A2.1
4. Replace Grocery sign (41.05 sf) for new Grocery sign (41.05 sf) (0 sf neutral). Reference 3/A2.1
5. Replace Lawn & Garden sign (58.35sf) for Outdoor sign (20.50sf)
Reduction in square footage by (37.85sf). Reference 4/A2.1
6. Replace Auto Center> sign (33.95sf) for Auto Care> sign (16.25sf)
Reduction in square footage by (17.70sf). Reference 6/A2.1
7. Subway Tenant and Guaranty Bank Tenant signage remain
8. Replace Walmart Store address sign with new address sign.
(0 sf neutral) Reference 7/A2.1

Side (Auto Center Signage):

1. Replace Auto Center sign (30.74sf) for new Auto Care sign (24.65sf)
Reduction in square footage by (6.09sf). Reference 5/A2.1
2. Replace (2) Tire signs (5.16sf total) for (3) new Tire signs (6.99sf total)
Increase in square footage by (1 .83sf). Reference 10/A2.1
3. Replace (1) Lube sign (2.98sf) for (2) new Oil Change signs (6.92 each, total 13.84sf)
Increase in square footage by (10.86sf). Reference 1 1/A2.1
4. Add (5) Auto Care Numerals (Numbers 1-5 at 4.12sf each, total 20.60sf total)
Increase in square footage by (20.60sf). Reference 8/A2.1

Summary of Signage Schedule on Sheet A2.1:

Existing Signage:

- Total number of existing building signs is 14 (including 2 tenant) – 10 front and 4 side.

- Total square footage of existing signage is 673sf (634sf front and 39sf side).

Proposed Signage:

- Total of new signage proposed is 19
- Total square footage of existing signage is 395sf (329sf front and 66sf side).

Thus, the total number of additional building signs has increased by five (5) but the overall square footage of signage has been reduced by 278sf

Signage shown on Civil Plans will be mounted on poles:

Total number of pole-mounted directional signs. Reference Sheet SDI and SD2.

14 Pickup stall designation signs to be removed (previous front location of OGP) and

27 Pickup stall designation signs to be installed (proposed new location for OGP)

Three (3) existing Pickup Directional signs to be removed and five (5) total Pickup Directional signs and one (1) Pickup Banner installed on light pole to be added.

Total square footage of pole mounted parking stall/directional signs:

<u>Existing</u>	<u>Proposed</u>	
Pickup signs – 109sf	Pickup signs – 210sf	101sf more
Directional signs – 9sf	Directional Signs – 24sf	13sf more
Banner – 4.5		

The applicant states the following about painting the facility:

- The proposed conditional use is updating the look and feel of the Walmart store by updating the paint colors on the building, both exterior and interior. Walmart is bringing the exterior paintable material colors up to date on the building to make it more appealing to people in a public sense.
- As part of Walmart's Brand Identity Program, Walmart is providing consistency and brand alignment across all store and project types. Their new Brand Identity Program provides a cohesive, unified design to compliment a consistent shopping experience. Moving away from earth tones, Walmart is utilizing a gray color scheme for all stores receiving updated branding and paint, as well as Walmart

blue for their primary brand color for key destinations on the building. Any brick associated with the building will not be painted, but concrete masonry units and exterior insulation finish systems (EIFS) have been updated to receive a color change.

- In the former Garden Center area that is to remain storage, Wal-Mart intends on installing the same style of ornamental fence.

STAFF COMMENTS:

The Plan Commission may want to have the applicant address:

- Why the “Pickup” directional signs cannot be eight (8) feet tall?
- Are the directional signs going to point the direction proposed in the site plan? If so, can the applicant explain why the arrows are pointed in the direction they are (appears incorrect)?
- Why are there so many containers located at the east/rear parking lot adjacent to Greenwing Drive? Are these containers for the construction project and then will all be removed when the project is complete?

The applicant is requesting the following variances:

- Applicant is requesting to install additional wall and directional signage - Maximum of four (4) wall signs and three (3) free standing signs permitted.

ACTION REQUESTED:

Staff recommends approval of the conditional use, variances and sign permits subject to the following conditions:

1. Prior to building permit issuance, the applicant shall obtain all licenses and permits as well as meet all required codes including but not limited to building, plumbing, electrical, HVAC, fire, etc. An occupancy permit will be granted only at such time as the applicant has met all requirements.
2. Submittal/approval of a proposed storm drainage plan prior to building permit issuance.
3. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
4. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets.
5. Dumpsters shall be screened/enclosed and constructed of like materials/colors of the facility.
6. Outdoor storage of materials, products or equipment shall be prohibited.

7. All containers located at the east/rear side of the property shall be removed once the project is complete (loading dock area west of Greenwing Drive).
8. Any fencing/retaining wall shall be installed per Section 15.720(3)(c) of the City of Sheboygan Zoning Ordinance.
9. Applicant shall install matching ornamental fencing as proposed per plans (design, materials, colors, heights, etc.). The fence shall be a color similar to that of the building. Applicant shall submit proposed fence to staff for review. If staff has any concerns with proposed signage design, the matter may be brought back to the Plan Commission for their consideration. Applicant shall obtain the necessary permits prior to installation.
10. All ground level and rooftop mechanicals shall be screened and/or enclosed and constructed of like materials and colors of the facility (HVAC equipment, etc.).
11. All new lighting shall be installed per Section 15.707 of the City of Sheboygan Zoning Ordinance (site lighting, building lighting, signage, etc.). There shall be no spillover light onto adjacent properties or the streets (except those areas granted an exception).
12. Applicant shall obtain the necessary sign permits for each sign permit to be installed prior to installation. Applicant shall be permitted to install individual letter signs – no cabinet or panel signs.
13. For any wall signage to be removed, the applicant shall patch and repair the wall as needed utilizing finishes that match the existing building (signage to be removed per plan).
14. Future signage at this property/facility shall be individual letter signs (no flat panel or interior lit cabinet signs).
15. Maximum height of directional signs shall be eight (8) feet tall.
16. The parking lot and drive-through facilities shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts.
17. All areas used for parking or maneuvering of vehicles shall be paved.
18. All areas that are not required to be paved shall be landscaped with grass and/or approved landscaping.
19. Applicant is responsible for working with all private and public utilities in order to adequately service this development proposal (applicant will need to provide the necessary easements and/or relocate utilities as necessary).
20. Absolutely no portion of the new building and/or site improvements shall cross the property lines including but not limited to buildings, balconies, decks, foundations, walls, gutters, eaves, roof, parking, fencing/retaining walls, signs, landscaping, etc.
21. Any future/additional uses of the facility/property, additions, site improvements, etc. may require conditional use permit and architectural review.
22. Building shall be painted per plans submitted/approved.
23. If the applicant proposes any type of exterior remodel/renovation to the building, City of Sheboygan Architectural Review Board approval is required prior to construction.
24. If there are any amendments to the approved site plan, the applicant will be required to submit a new conditional use application reflecting those amendments.

ATTACHMENTS:

Conditional Use Permit Application and required attachments.

PARCEL NO. _____

MAP NO. _____

ZONING CLASSIFICATION: _____

Office Use Only

Item 10.

APPLICATION/FILE NO. _____

REVIEW DATE: _____

FILING FEE: \$250.00 (Payable to City of Sheboygan)

**CITY OF SHEBOYGAN
APPLICATION FOR
CONDITIONAL USE PERMIT**

Requirements Per Section 15.905

Revised May 2018

Completed application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the City Plan Commission, application must be filed two weeks prior to date of meeting. Applications will not be processed if all required attachments and filing fee of \$250 (payable to the City of Sheboygan) is not submitted along with a complete and legible application. Application filing fee is non-refundable.

1. APPLICANT INFORMATION

APPLICANT: Kevin Spurgeon

ADDRESS: 345 Riverview Suite 200 Wichita, KS 67203

E-MAIL: kspurgeon@lk-architecture.com

PHONE: (316)268-0230 x 357 FAX NO. (316)268-0205

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Walmart Stores, INC.

ADDRESS OF PROPERTY AFFECTED: 3711 S Taylor Dr, Sheboygan, WI 23081

LEGAL DESCRIPTION: Retail

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Foodstuffs and general merchandise, auto center, online grocery pickup and garden center

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE: Walmart would like to utilize part of the existing Garden Center "high rack" area for parking stalls associated with the internal Online Grocery Pickup that will be located near this area. Walmart would also like to paint the exterior of the building and install updated signage to the building.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

Front

1. Replace Grocery sign (41.05 sf) for new Grocery sign (41.05 sf) (0 sf neutral). Reference 3/A2.1
2. Replace Walmart Linear Font and Spark 299.04sf with new Walmart "Badge" (22.57sf)
Reduction in square footage by (276.47 sf). Reference 1/A2.1
3. Replace Pickup/Spark sign (66.76sf) with new Pickup> (40.83sf)
Reduction in square footage by (25.93sf) Reference 9/A2.1
4. Replace Home & Pharmacy for new Home & Pharmacy (0sf neutral). Reference 2/A2.1
5. Replace Lawn & Garden sign (58.35sf) for Outdoor sign (20.50sf)
Reduction in square footage by (37.85sf). Reference 4/A2.1
6. Replace Auto Center> sign (33.95sf) for Auto Care> sign (16.25sf)
Reduction in square footage by (17.70sf). Reference 6/A2.1
7. Subway Tenant and Guaranty Bank Tenant signage remain
8. Replace Walmart Store address sign with new address sign. (0sf neutral) Reference 7/A2.1

Side

1. Replace Auto Center sign (30.74sf) for new Auto Care sign (24.65sf)
Reduction in square footage by (6.09sf). Reference 5/A2.1
2. Replace (2) Tire signs (5.16sf total) for (3) new Tire signs (6.99sf total)
Increase in square footage by (1.83sf). Reference 10/A2.1
3. Replace (1) Lube sign (2.98sf) for (2) new Oil Change signs (13.84sf)
Increase in square footage by (10.86sf). Reference 11/A2.1
4. Add (5) Auto Care Numerals (Numbers 1-5 at 20.60sf total)
Increase in square footage by (20.60sf). Reference 8/A2.1

Summary of Signage Schedule on Sheet A2.1:

Total number of existing building signs is 14 (including 2 tenant)
Total number of additional building signs requested 4
Total reduction in sf is 330.75sf

3. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

Response: The proposed conditional use is updating the look and feel of the Walmart store by updating the paint colors on the building, both exterior and interior. The addition of parking closer to the building for the online grocery pickup further enhances the benefits and convenience of shopping online and brings the reality of minimal contact and touchless shopping to the forefront for a continued positive shopping experience. The new signage reduces the overall footprint of signage, and further enhancements include wayward or directional signage to help individuals find the new parking area associated with the online grocery pickup area as well as the Auto Care area.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

Response: The conditional use does not have any adverse impact on nearby property, character of the neighborhood, environment, traffic, parking, public improvement, public property, or rights-of-way. If anything, it is taking the online grocery pickup parking out of the main flow of parking lot traffic and moving it closer to the dispensing area. Adjacent zoning and land use conditions are the same per the old Conditional Use Permit.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

Response: The conditional use is bringing the exterior paintable material colors up to date on the building to make it more appealing to people in a public sense. The online grocery pickup remodel area is effectively moving the parking closer to the dispensing door to better serve the customers by getting their purchases to them in a quicker response time.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Response: The location of the proposed conditional use is adequately served by utilities and services provided by public agencies.

4. NAMES AND ADDRESS (Indicate N/A for "Not Applicable" items)

OWNER OF SITE: Walmart R.E. Bus. Trust

ADDRESS: 702 SW Eighth St, Bentonville, AR

E-MAIL: kspurgeon@lk-architecture.com

ARCHITECT: LK Architecture

ADDRESS: 345 Riverview Suite 200 Wichita, KS 67203

CONTRACTOR: To Be Determined

ADDRESS: NA

E-MAIL: NA

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.



APPLICANT'S SIGNATURE

Kevin Spurgeon
PRINT ABOVE NAME

May 17, 2022
DATE



LK Architecture

Inspire. Create. Achieve.

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Wichita, Kansas 67203
T 316.268.0230
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lk-architecture.com

Item 10.

06/28/2022

Steve Sokolowski
City of Sheboygan
Planning Department
828 Center Ave. Suite 104
Sheboygan, WI 53081

Subject:

Narrative for Conditional Use Permit (CUP)
Walmart Store 1276 (Sheboygan) Project No. 21165
3711 S Taylor Dr.
Sheboygan, WI 53081

Steve,

Good morning. On behalf of Walmart Stores Inc., LK Architecture, as an authorized agent, present for your consideration, a Conditional Use Permit (CUP) Application for Walmart Store 1276 located at 3711 S Taylor Dr. Sheboygan, WI.

Please reference the following responses:

1. APPLICANT INFORMATION

APPLICANT: Kevin Spurgeon/Authorized Agent for Walmart Stores, INC.

ADDRESS: LK Architecture 345 Riverview Suite 200 Wichita, KS 67203
E-MAIL: kspurgeon@lk-architecture.com

PHONE: (316)268-0230 x 357 FAX NO. (316)268-0205

2. DESCRIPTION OF THE SUBJECT SITE/PROPOSED PROJECT

NAME OF PROPOSED/EXISTING BUSINESS: Walmart Stores, INC.

ADDRESS OF PROPERTY AFFECTED: 3711 S Taylor Dr, Sheboygan, WI 23081

LEGAL DESCRIPTION: Retail

BRIEF DESCRIPTION OF **EXISTING** OPERATION OR USE: Grocery foodstuffs and general merchandise, auto center, online grocery pickup and garden center.

DETAILED DESCRIPTION OF **PROPOSED** OPERATION OR USE INCLUDING ANY CHANGES TO THE EXISTING USE:

Walmart would like to utilize part of the existing Garden Center “high rack” area for parking stalls associated with the internal Online Grocery Pickup that will be located near this area. Walmart would also like to paint the exterior of the building and install updated signage to the building.

BRIEF DESCRIPTION OF ALL REQUESTED VARIANCES FROM PROVISIONS OF THE ZONING ORDINANCE, WHICH ARE RELATED TO THE PROPOSED OPERATION OR USE:

Requested Exterior Paint is as follows:

Reference Exterior Elevations Sheet A2. As part of Walmart’s Brand Identity Program, Walmart is providing consistency and brand alignment across all store and project types. Their new Brand Identity Program provides a cohesive, unified design to compliment a consistent shopping experience. Moving away from earth tones, Walmart is utilizing a gray color scheme for all stores receiving updated branding and paint, as well as Walmart blue for their primary brand color for key destinations on the building. Any brick associated with the building will not be painted, but concrete masonry units and exterior insulation finish systems (EIFS) have been updated to receive a color change.

1. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

Written justification for the proposed conditional use, indicating reasons why the applicant believes the proposed conditional use is appropriate.

How is the proposed conditional use (independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Sheboygan Comprehensive Master Plan?

Response: The proposed conditional use is updating the look and feel of the Walmart store by updating the paint colors on the building, both exterior and interior. The addition of parking closer to the building for the online grocery pickup further enhances the benefits and convenience of shopping online and brings the current reality of minimal contact and touchless shopping to the forefront for a continued positive, consistent shopping experience. The new signage reduces the overall footprint of signage, and further enhancements include wayward or directional signage to help individuals find key destinations, such as the new parking area associated with the online grocery pickup area as well as the Auto Care area.

Does the conditional use, in its proposed location, result in any substantial or undue adverse impact on nearby property the character of the neighborhood, environment, traffic, parking, public improvements, public property or rights-of-way?

Response: The conditional use does not have any adverse impact on nearby property, character of the neighborhood, environment, traffic, parking, public improvement, public property, or rights-of-way. If anything, it is taking the online grocery pickup parking out of the main flow of parking lot traffic and moving it closer to the dispensing area. Adjacent zoning and land use conditions are the same per the old Conditional Use Permit.

How does the proposed conditional use maintain the desired consistency of land uses in relation to the setting within which the property is located?

Response: The conditional use is bringing the exterior paintable material colors up to date on the building to make it more appealing to people in a public sense. The online grocery pickup remodel area is effectively moving the parking closer to the dispensing door to better serve the customers by getting their purchases to them in a quicker response time.

Is the proposed conditional use located in an area that will be adequately served by utilities, or services provided by public agencies? If not, please explain.

Response: The location of the proposed conditional use is adequately served by utilities and services provided by public agencies.

4. NAMES AND ADDRESS (Indicate N/A for “Not Applicable” items)

OWNER OF SITE: Walmart R.E. Bus. Trust

ADDRESS: 702 SW Eighth St, Bentonville, AR
E-MAIL: kspurgeon@lk-architecture.com

ARCHITECT: LK Architecture (Architect of Record) for Walmart Stores.
ADDRESS: 345 Riverview Suite 200 Wichita, KS 67203

CONTRACTOR: To Be Determined
ADDRESS: NA
E-MAIL: NA

5. CERTIFICATE

I hereby certify that all the above statements and attachments submitted hereto are true and correct to the best of my knowledge and belief.

APPLICANT'S SIGNATURE

June 28, 2022
DATE

Kevin Spurgeon
PRINT ABOVE NAME

Per questions from the jurisdiction, I offer the following from our partners at Carlson Consulting, the civil consultant for this project.

- **The remodeling of the garden center to the new Pick-Up area. What exactly is the purpose/need for such a project?**

The purpose of this project is to add parking in a location that can easily and efficiently be accessed by customers and Walmart associates for online order Pickup. Walmart tries to not locate Pickup stalls across the main drive-in front of the building due to conflicts and safety concerns with traffic.

- **What is happening to the existing pick-up area at the northeast corner of the store?**

The existing pickup signs and stalls will be removed and returned to normal customer parking stalls.

- **The proposed changes to the architecture of the building – specific information detailing all of the proposed changes to each building elevation. Need specific elevations of the building existing Vs. proposed.**

Please reference exhibit (A2 Existing and A2 Proposed) for existing and new elevations. Existing verses new signage has been addressed below.

- **How many wall signs to be added/removed?**

Requested Building Wall Signage is as follows. Four additional signs have been requested with the overall square footage of all signs being reduced:

Front

1. Replace Grocery sign (41.05 sf) for new Grocery sign (41.05 sf) (0 sf neutral). Reference 3/A2.1
2. Replace Walmart Linear Font and Spark 299.04sf with new Walmart “Badge” (22.57sf)
Reduction in square footage by (276.47 sf). Reference 1/A2.1
3. Replace Pickup/Spark sign (66.76sf) with new Pickup> (40.83sf)
Reduction in square footage by (25.93sf) Reference 9/A2.1

4. Replace Home & Pharmacy for new Home & Pharmacy (0sf neutral). Reference 2/A2.1
5. Replace Lawn & Garden sign (58.35sf) for Outdoor sign (20.50sf)
Reduction in square footage by (37.85sf). Reference 4/A2.1
6. Replace Auto Center> sign (33.95sf) for Auto Care> sign (16.25sf)
Reduction in square footage by (17.70sf). Reference 6/A2.1
7. Subway Tenant and Guaranty Bank Tenant signage remain
8. Replace Walmart Store address sign with new address sign.
(0sf neutral) Reference 7/A2.1

Side

1. Replace Auto Center sign (30.74sf) for new Auto Care sign (24.65sf)
Reduction in square footage by (6.09sf). Reference 5/A2.1
2. Replace (2) Tire signs (5.16sf total) for (3) new Tire signs (6.99sf total)
Increase in square footage by (1.83sf). Reference 10/A2.1
3. Replace (1) Lube sign (2.98sf) for (2) new Oil Change signs (13.84sf)
Increase in square footage by (10.86sf). Reference 11/A2.1
4. Add (5) Auto Care Numerals (Numbers 1-5 at 20.60sf total)
Increase in square footage by (20.60sf). Reference 8/A2.1

Pylon

1. Replace <Auto Center Pylon sign (48.33sf) with <Pickup (48.33sf)
(0 sf neutral)

Summary of Signage Schedule on Sheet A2.1:

Total number of existing building signs is 14 (including 2 tenant)

Total number of existing pylon signs is 1 (<Auto Center to <Pickup change).

Total number of additional building signs requested 4

Total reduction in sf is 330.75sf

Signage shown on Civil Plans will be mounted on poles

Total number of pole-mounted directional signs. Reference Sheet SD1 and SD2.

Existing

14 Pickup stall designation signs (to be removed)

3 existing Pickup Directional signs

Total square footage of pole mounted parking stall/directional signs

Existing

Pickup signs - 109 sf (to be removed)

Directional signs – 9 sf

Proposed

27 Pickup stall designation signs

5 total Pickup Directional signs

1 Pickup Banner installed on light pole

Proposed

Pickup signs – 210 sf

Directional signs – 15 sf (total)

Banner – 4.5 sf

- **Total number of directional signs proposed and why. Seems like way too many directional signs. What is the purpose/need for all of these signs?**

The longest route from a public street to the Pickup area is approximately 2,000 ft and Walmart wants to have a directional sign every 200' to help guide customers to the Pickup area. We would typically have 8 directional signs for this length based on Walmart's requirements but at this site we have reduced the number of directional signs down to 5.

- **You will have to provide an accurate site plan/survey showing that all proposed directional signage is on Walmart's private property (not sure about some at the north entrance adjacent to the Qdoba private property).**

Based on Sheboygan County GIS map, Walmart owns the entire drive up to the ROW of Greenwing Drive. Please reference exhibit (SD1 - Pickup Striping and Signage Plan) for signage locations.

- **It seems like many of the proposed directional signs are not pointing the correct directions so you will need to update the drawing accordingly.**

We have confirmed the directional signage provided on the attached pdf is correct.

- **Total number of Pickup parking signs?**

Each pickup stall will have 3 signs that act as one sign. The 3 signs are the stall number, store phone number for Pickup, and as sign that reads "Pickup". There will be one of these signs at each stall for a total of 27. Please reference exhibit (SD2 – Pickup Striping and Signage Details) for signage location and details.

- **Eventually you will need to submit a sign permit for each sign to be installed at the site.**

Please confirm this is for any directional signage (stop signs, yield, Pickup, etc.)

- **You will need to provide a detailed description of all interior/exterior and site improvements.**

A portion of the existing high racks, garden center fencing, and concrete are being removed to install asphalt parking for the Pickup customers. Some refreshing of the existing pavement markings is also planned. Interior improvements have already been submitted to the AHJ and been approved. They are not a part of this CUP.

- **You will have to provide the exact exceptions/variances being requested.**

It is my understanding that new paint has to be requested for a variance. It is also my understanding that signage would require a variance. Therefore, I am asking for paint and signage variances, with signage being 4 additional signs. Please reference previous heading "Brief Description of All Requested Variances from Provisions of the Zoning Ordinance which are Related to the Proposed Operation or Use". Also, reference "Requested Building Wall Signage".

- **Are you adding any additional parking lot lighting.....lighting cannot spill over onto adjacent properties, especially the area of the new pickup parking? Please provide details on new lighting poles.**

Two new light poles and fixtures will be added south of the existing curb line to provide an average of 2.0 footcandles in the Pickup area. The vertical footcandles were also evaluated along the southern property line at a height of 5'. Footcandles along the property line will be 0.2 or less which is well below typical suburban requirements at property lines. Please reference exhibit (SD3 – Photometric Plan) for lighting location and (Lighting Pole Base Detail) for details.

- **Looks like you are adding additional paved surface. You will need to provide the exact paving setback dimension to the property line.**

Additional pavement is not being added. The existing concrete is being removed and replaced with asphalt so the same amount of impervious area will be maintained. The parking lot setback from the property line will not be adjusted. Please reference exhibit (SD1 Pickup Striping and Signage Plan – South Construction Plan) for extents of new parking asphalt.

- **Prior to building permit issuance, you will likely need to talk about this project with our stormwater engineer regarding the proposed demolition/construction, new paving, etc. (grading/erosion control). Scott Isaacs is the stormwater engineer at (920) 459-3368.**

We will be disturbing less than 0.2 acres of existing pavement and will likely be able to leave the existing stone base in place. We will discuss the project with Scott.

- **Prior to building permit issuance, you will likely need to talk about this project with our landscape planner regarding the amount of new parking. Janet Duellman is the landscape planner at (920) 459-3380.**

We will discuss the project with Janet.

- **I would also recommend including pictures from other projects so the Plan Commission can understand the project including the new Pickup area, the signage at the Pickup area, the directional signage, painting of the building, etc.**

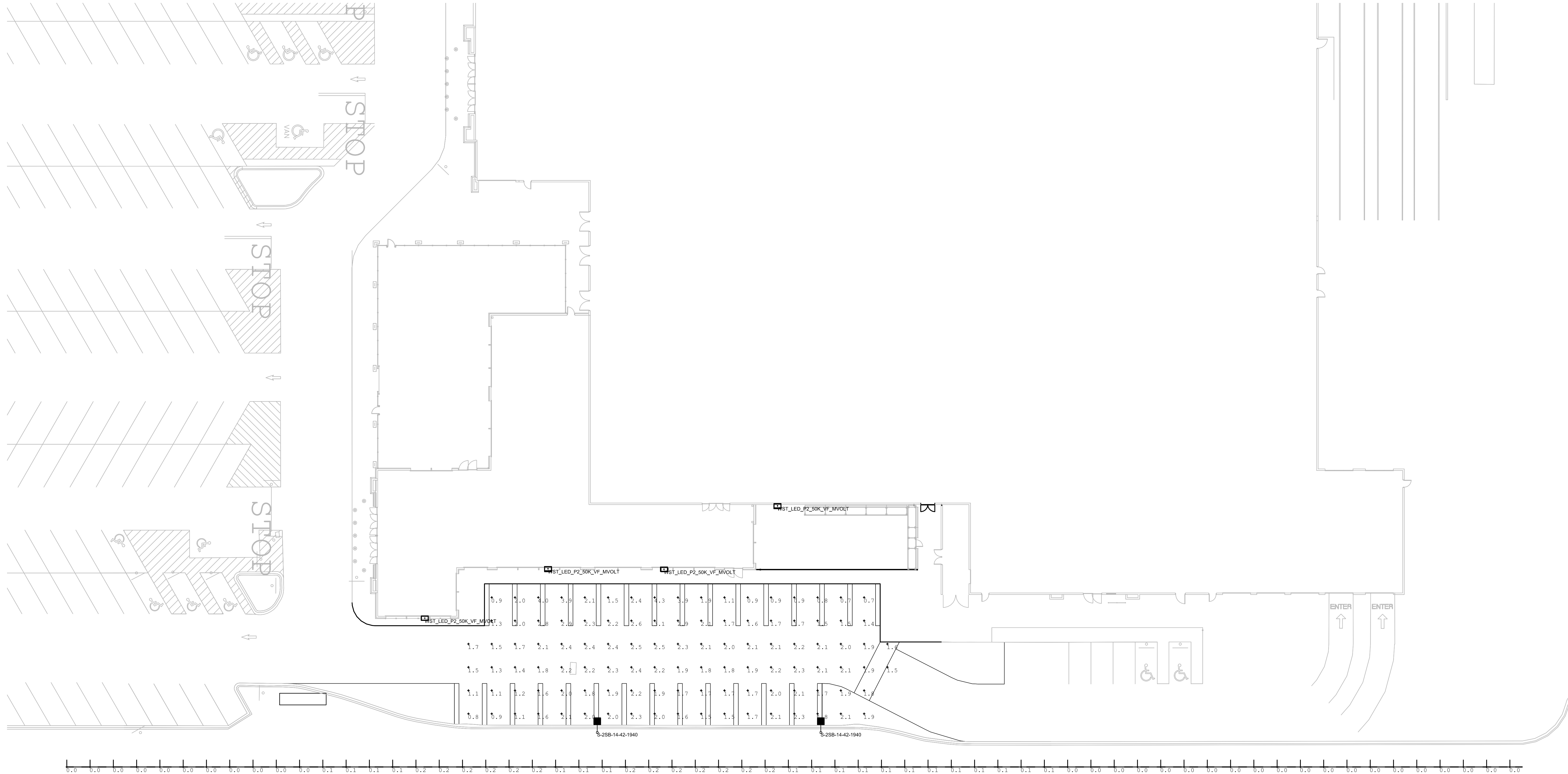
Please reference exhibit (East Side Rendered Image) for a more detailed aspects of our proposal for this project. Also refer (Decatur, IN) for picture of example project.



PICKUP STRIPING AND SIGNAGE SITE PLAN

SITE PLAN

SHEET: SD 1



Calculation Summary Illuminance Foot-candles					
Label	Avg	Max	Min	Avg/Min	Max/Min
Pickup Area	1.92	4.3	0.7	2.74	6.14
Property Line	0.07	0.2	0.0	N.A.	N.A.

PHOTOMETRICS PLAN

SHEET: SD3

NOT FOR
CONSTRUCTION

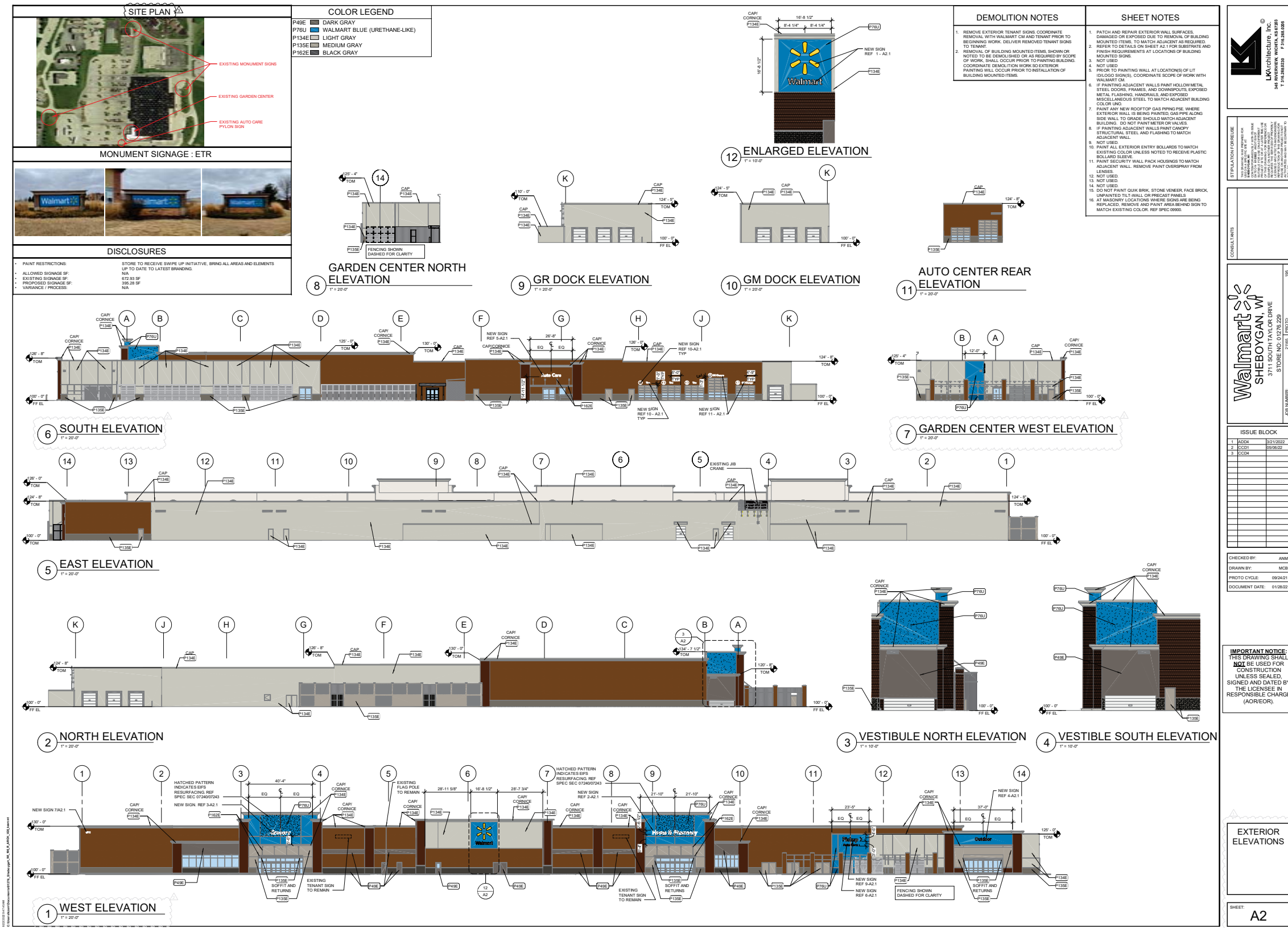


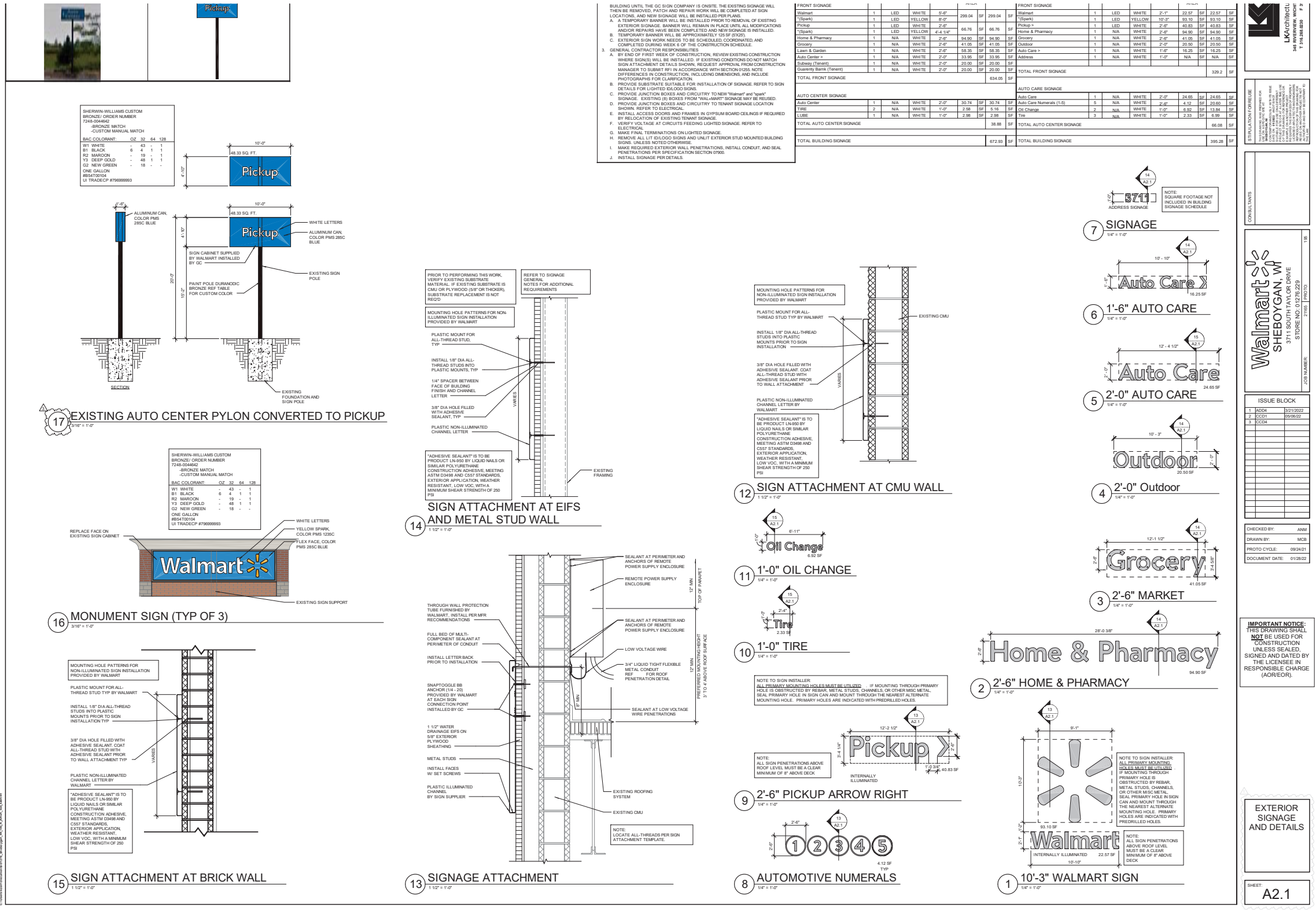




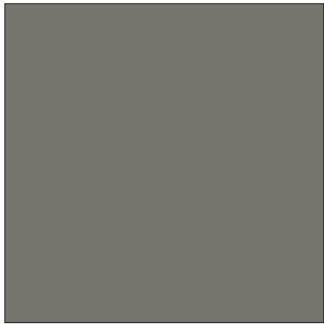




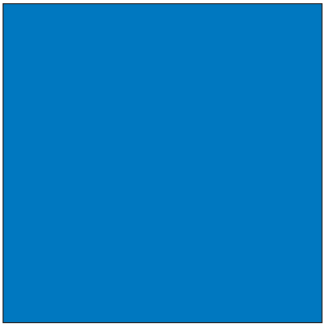




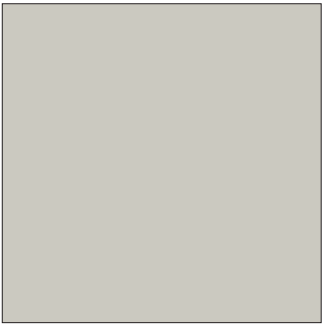




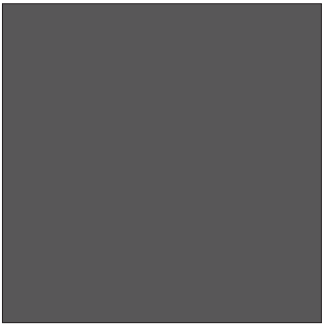
P49 Dark Gray
SW 7019 Gauntlet Gray



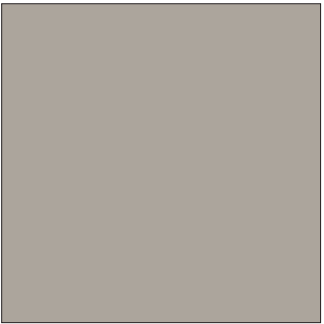
P76 Walmart Blue



P134 Light Gray
SW 7015 Repose Gray



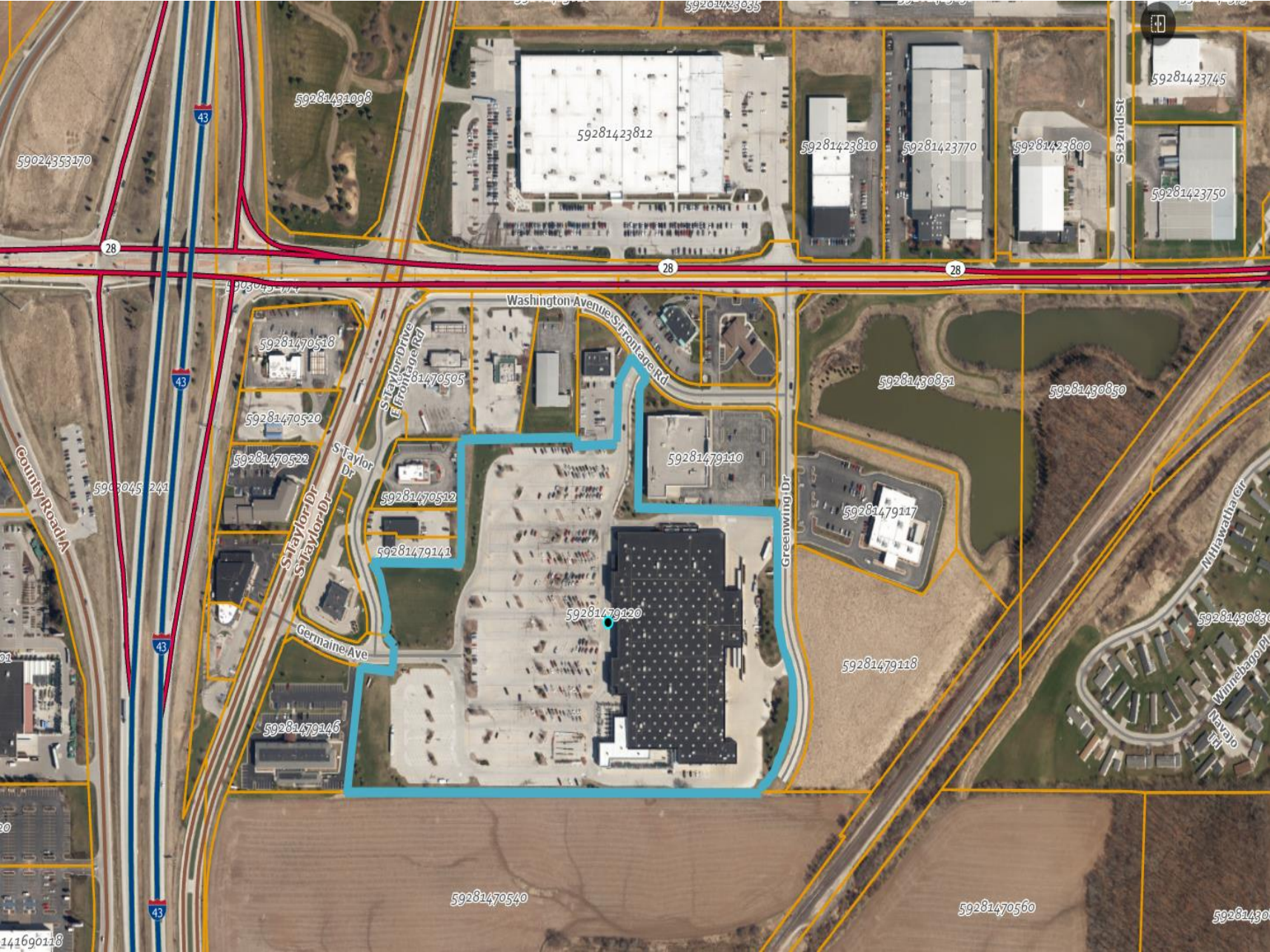
P162 Black Gray



P135 Medium Gray
SW 7017 Dorian Gray



EXISTING SIGNAGE SCHEDULE									NEW SIGNAGE SCHEDULE ²								
	QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA		TOTAL AREA			QTY	LIGHTED	COLOR	SIZE	INDIVIDUAL AREA		TOTAL AREA	
FRONT SIGNAGE									FRONT SIGNAGE								
Walmart	1	LED	WHITE	5'-6"	299.04	SF	299.04	SF	Walmart	1	LED	WHITE	2'-1"	22.57	SF	22.57	SF
*(Spark)	1	LED	YELLOW	8'-0"					*(Spark)	1	LED	YELLOW	10'-3"	93.10	SF	93.10	SF
Pickup	1	LED	WHITE	2'-6"	66.76	SF	66.76	SF	Pickup >	1	LED	WHITE	2'-6"	40.83	SF	40.83	SF
*(Spark)	1	LED	YELLOW	4'-4 1/4"					Home & Pharmacy	1	N/A	WHITE	2'-6"	94.90	SF	94.90	SF
Home & Pharmacy	1	N/A	WHITE	2'-6"	94.90	SF	94.90	SF	Grocery	1	N/A	WHITE	2'-6"	41.05	SF	41.05	SF
Grocery	1	N/A	WHITE	2'-6"	41.05	SF	41.05	SF	Outdoor	1	N/A	WHITE	2'-0"	20.50	SF	20.50	SF
Lawn & Garden	1	N/A	WHITE	2'-6"	58.35	SF	58.35	SF	Auto Care >	1	N/A	WHITE	1'-6"	16.25	SF	16.25	SF
Auto Center >	1	N/A	WHITE	2'-0"	33.95	SF	33.95	SF	Address	1	N/A	WHITE	1'-0"	N/A	SF	N/A	SF
Subway (Tenent)	1	N/A	WHITE	2'-0"	20.00	SF	20.00	SF									
Guarenty Barnk (Tenent)	1	N/A	WHITE	2'-0"	20.00	SF	20.00	SF	TOTAL FRONT SIGNAGE							329.2	SF
TOTAL FRONT SIGNAGE							634.05	SF									
AUTO CENTER SIGNAGE									AUTO CARE SIGNAGE								
Auto Center	1	N/A	WHITE	2'-0"	30.74	SF	30.74	SF	Auto Care	1	N/A	WHITE	2'-0"	24.65	SF	24.65	SF
TIRE	2	N/A	WHITE	1'-0"	2.58	SF	5.16	SF	Auto Care Numerals (1-5)	5	N/A	WHITE	2'-6"	4.12	SF	20.60	SF
LUBE	1	N/A	WHITE	1'-0"	2.98	SF	2.98	SF	Oil Change	2	N/A	WHITE	1'-0"	6.92	SF	13.84	SF
									Tire	3	N/A	WHITE	1'-0"	2.33	SF	6.99	SF
TOTAL AUTO CENTER SIGNAGE							38.88	SF	TOTAL AUTO CENTER SIGNAGE							66.08	SF
TOTAL BUILDING SIGNAGE							672.93	SF	TOTAL BUILDING SIGNAGE							395.28	SF

















CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Preliminary Plat Approval for North Town in the Town of Sheboygan. Extra-Territorial Plat Review

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

The Town of Sheboygan has submitted the preliminary plat for North Town located in the Town of Sheboygan. The applicant states:

- This is an 8 lot subdivision with lots varying in size from .53 to .76 acres.
- There are a couple of outlots and a new town square.
- North Town is located off of N. 40th Street and HWY 42.
- New master-planned mixed-use community in the Town of Sheboygan. Retail, office, commercial and recreational spaces available for lease. 1,000 to 180,000 SF commercial spaces anticipated. Plans include a 3+ acre green town square encompassed by four story mixed-use buildings. 600+ housing units (townhomes, pocket homes and apartments).

STAFF COMMENTS:

The City has extra-territorial platting for subdivisions within three (3) miles of City limits.

ACTION REQUESTED:

Staff recommends approval of the preliminary plat.

ATTACHMENTS:

North Town Preliminary Plat

HEATHER VALLEY RD.

S.W. 1/4 SEC. 4

S.S.H. 42

N.W. SEC. 1/4 9

MUFLER RD.

SITE

ROLLING MEADOWS DR.

SE 1/4 SEC. 4

NE 1/4 SEC. 9

SCALE: 1" = 2000'

____ COUNTY TRUCK HIGHWAY "DL"

C/L ROLLING MEADOWS DRIVE

BEARINGS ARE REFERENCED TO THE WEST
LINE OF THE SW 1/4 OF SECTION 4, T15N,
R23E, AS BEING N01°10'39"W PER THE
SHEBOYGAN COUNTY COORDINATE SYSTEM

○ = Found Property Corner
● = Set 1-1/4"x18" Rebar
min. 3.65 lbs. per foot
Set 3/4"x18" Rebar
min. 1.13 lbs. per foot
at all other lot corners
⊗ = Section Corner Monument
##.## = Recorded As Dimension

 941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

FILE: 2022033 DATE: 4/13/2022 SHEET 1 OF 6

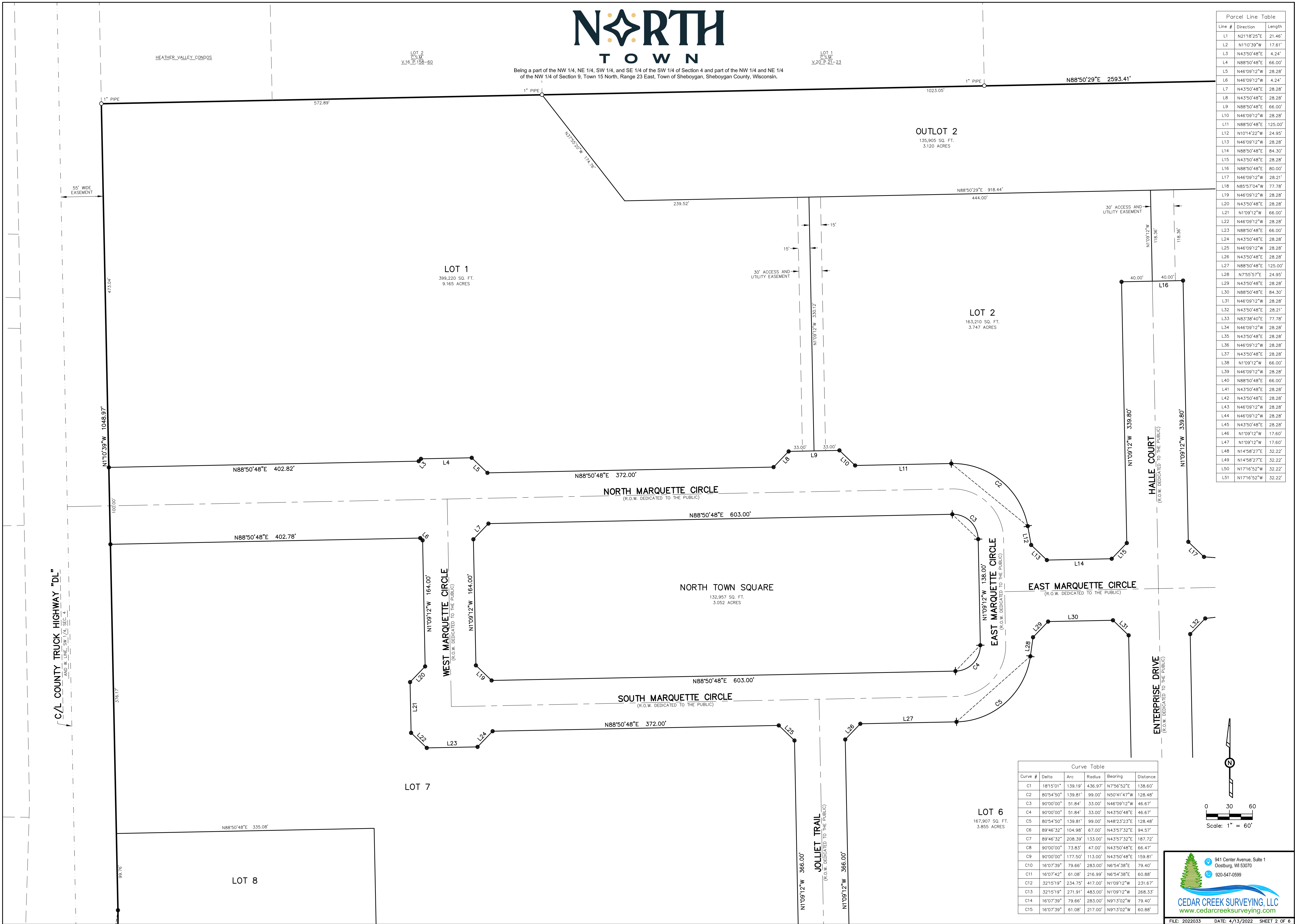
A circular red seal for Benjamin J. Reenders, a Wisconsin Land Surveyor. The seal features the text "WISCONSIN" at the top, "LAND SURVEYOR" at the bottom, and "4/13/2022" at the very bottom. In the center, it reads "BENJAMIN J. REENDERS", "S-3114", "OOSTBURG", and "WIS.". Two red stars are positioned on either side of the central text. A handwritten signature, "Benjamin J. Reenders", is written across the seal.

This instrument was drafted by Benjamin J. Reenders.

OWNER/SUBDIVIDER:
TOWN OF SHEBOYGAN
4020 TECHNOLOGY PARKWAY
SHEBOYGAN, WI 53083

ENGINEER:
AECOM
2985 SOUTH RIDGE ROAD, SUITE B
GREEN BAY, WI 54304

SURVEYOR:
BENJAMIN J. REENDERS
CEDAR CREEK SURVEYING, LLC
941 CENTER AVE., SUITE 1
OOSTBURG WI 53070









NORTH TOWN

Being a part of the NW 1/4, NE 1/4, SW 1/4, and SE 1/4 of the SW 1/4 of Section 4 and part of the NW 1/4 and NE 1/4 of the NW 1/4 of Section 9, Town 15 North, Range 23 East, Town of Sheboygan, Sheboygan County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Benjamin J. Reenders, Professional Land Surveyor, hereby certify:

That I have surveyed, divided, and mapped North Town, being a part of the Northwest 1/4 of the Southwest 1/4, the Northeast 1/4 of the Southwest 1/4, the Southwest 1/4 of the Southwest 1/4, and the Southeast 1/4 of the Southwest 1/4 of Section 4, and part of the Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Northwest 1/4 of Section 9, Town 15 North, Range 23 East, Town of Sheboygan, Sheboygan County, Wisconsin, described as follows:

BEGINNING at North 1/4 corner of said Section 9; thence S1°14'51"E 159.72 feet along the East line of the Northwest 1/4 of said Section 9; thence S88°45'18"W 1355.00 feet along the South line of the North 1/2 of said Northwest 1/4; thence N1°14'51"W 159.72 feet along the West line of the East 1/2 of said Northwest 1/4; thence S88°45'18"W 265.09 feet along the North line of said Northwest 1/4; thence N68°41'44"W 764.44 feet; thence N21°18'25"E 21.46 feet; thence N65°30'26"W 321.82 feet; thence N1°10'39"W 17.61 feet along the East right-of-way line of C.T.H. "DL"; thence Northerly 139.19 feet along said East right-of-way line on a 436.97 foot radius curve to the left, the chord of which bears N7°56'52"E 138.60 feet; thence N1°10'39"W 1048.97 feet along said East right-of-way line; thence N88°50'29"E 2593.41 feet; thence S0°55'44"E 1652.23 feet along the East line of the Southwest 1/4 of said Section 4 to the point of beginning.

This parcel contains 4,299,666 square feet or 98.706 acres.

I further certify that I have made such survey, land-division, and plat by the direction of Town of Sheboygan, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision ordinance of the Town of Sheboygan, Wisconsin, in surveying, dividing, and mapping the same.

Dated this 22nd day of April, 2022.

Benjamin J. Reenders
Benjamin J. Reenders



OWNER'S CERTIFICATE OF DEDICATION

The Town of Sheboygan, as owner, does hereby certify that said Town caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

The Town of Sheboygan, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Town of Sheboygan
City of Sheboygan
Sheboygan County Planning Department

Town of Sheboygan

Town Chair Date

Town Clerk Date

TOWN OF SHEBOYGAN RESOLUTION

Resolved that this plat titled "North Town" located in the Town of Sheboygan, being developed by The Town of Sheboygan is hereby APPROVED by the Town Board of the Town of Sheboygan.

Town Chair Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Town Board of the Town of Sheboygan.

Town Clerk Date

CITY OF SHEBOYGAN COMMON COUNCIL RESOLUTION (EXTRATERRITORIAL JURISDICTION)

Resolved that this plat titled "North Town" located in the Town of Sheboygan is hereby approved by the Common Council of the City of Sheboygan.
on this day of , 2022.

Mayor Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of Sheboygan.

City Clerk Date

COUNTY OF SHEBOYGAN PLANNING DEPARTMENT CERTIFICATE

Resolved that this plat titled "North Town" located in the Town of Sheboygan is hereby approved by the Sheboygan County Planning Department.
on this day of , 2022.

Title

CERTIFICATE OF TOWN TREASURER

I, , being the duly appointed, qualified and acting treasurer of the Town of Sheboygan, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of , 2022, on any of the lands included in North Town.

Dated this day of , 2022.

Town Treasurer

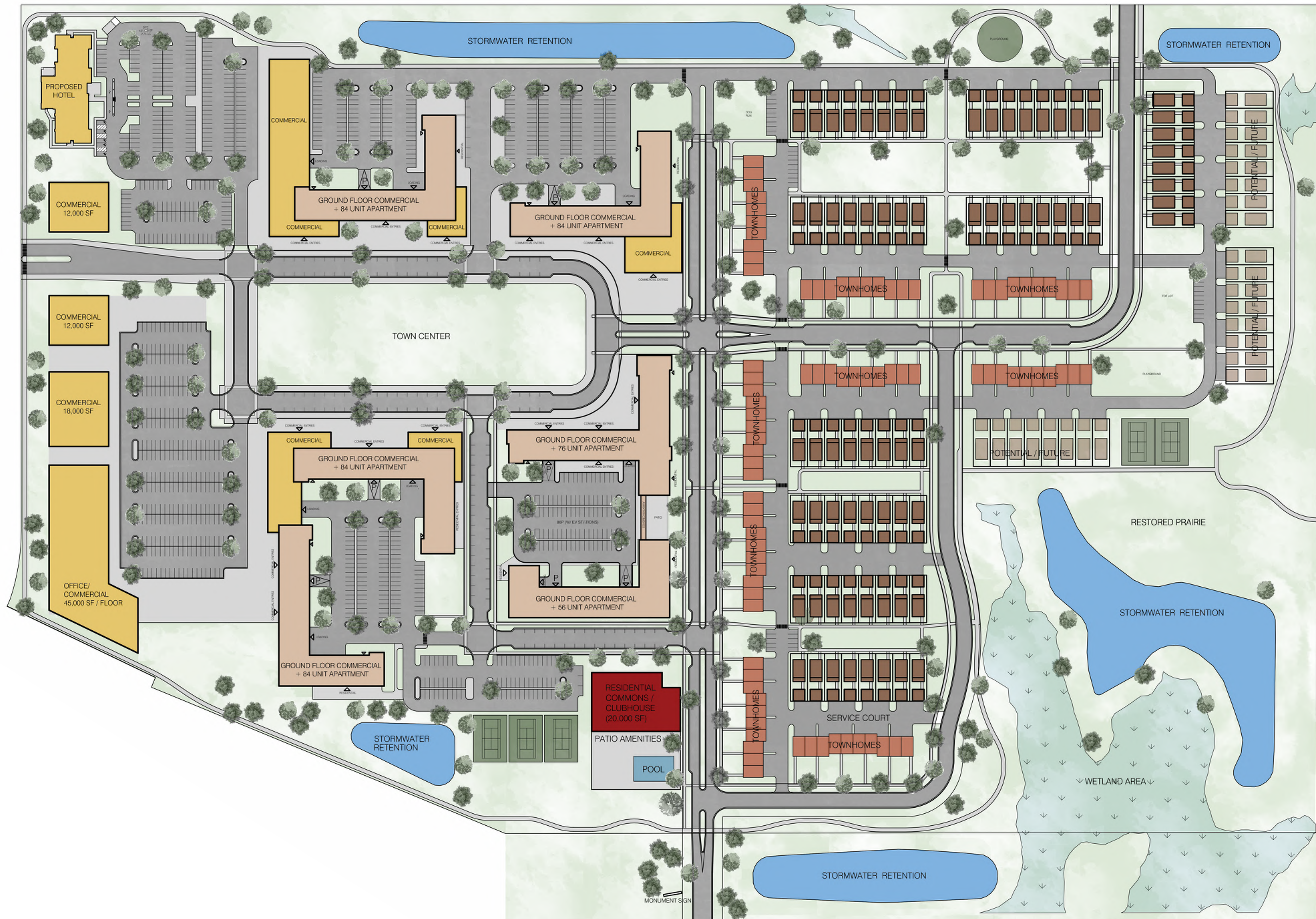
CERTIFICATE OF COUNTY TREASURER

I, , being the duly elected, qualified and acting treasurer of the County of Sheboygan, do hereby certify that in accordance with the records in my office, there are no unredeemed tax sales or no unpaid taxes or special assessments as of , 2022 on any of the lands included in North Town.

Dated this day of , 2022.

County Treasurer





CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: Final Plat Approval for Maywood Estates in the Town of Sheboygan. Extra-Territorial Plat Review

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

Ross Werner of Werner Homes has submitted the final plat for Maywood Estates located in the Town of Sheboygan. The applicant states:

- This is a 15 lot subdivision with lots varying in size from .53 to .76 acres.
- Maywood Estates is located off of Mueller Road, east of I-43.

STAFF COMMENTS:

The City has extra-territorial platting for subdivisions within three (3) miles of City limits.

ACTION REQUESTED:

Staff recommends approval of the final plat.

ATTACHMENTS:

Maywood Estates Final Plat

Res. No. 32 -22 - 23. By Alderperson Mitchell. June 20, 2022.

A RESOLUTION pursuant to the extraterritorial plat approval jurisdiction of the City of Sheboygan approving the final plat of Maywood Estates subdivision in the Town of Sheboygan.

RESOLVED: That pursuant to the extraterritorial plat approval jurisdiction of the City of Sheboygan, the final plat of Maywood Estates subdivision, located in the east ½ of the NE ¼ of the SE ¼ that includes Lot 1 of CSM #1497638, VOL 15, PG 17-18 Section 8, T15N, R23E, Town of Sheboygan, Sheboygan County, Wisconsin is hereby approved.

City Plan

I HEREBY CERTIFY that the foregoing Resolution was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

MAYWOOD ESTATES

THE EAST 1/2 OF THE NE 1/4 OF THE SE 1/4 THAT INCLUDES
LOT 1 OF CSM #1497638, VOL. 15, PG 17-18
SECTION 8, T15N, R23E,
TOWN OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN

CURRENT ZONING: R2 ONE AND TWO FAMILY RESIDENCE DISTRICT

TOTAL PLAT AREA: 812.593 ± SF (14.093 ± AC)

There are no objections to this plat with respect to the provisions of the Wisconsin Statutes, Chapter 236, Wisconsin Statutes, as provided by s. 236.12, Wis. Stat.

Certified _____ 20____

Department of Administration

OWNER'S CERTIFICATE

MAYWOOD ESTATES, LLC, A LIMITED LIABILITY COMPANY ONLY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER DO HEREBY CERTIFY THAT MAYWOOD ESTATES, LLC CAUSED THE LAND DESCRIBED HEREIN TO BE SURVEYED AND PLATTED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 236, WISCONSIN STATUTES, AND THAT THIS PLAT IS REQUIRED BY S. 236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

DEPARTMENT OF ADMINISTRATION, SHEBOYGAN COUNTY PLANNING AND CONSERVATION DEPARTMENT, CITY OF SHEBOYGAN AND TOWN OF SHEBOYGAN

STATE OF WISCONSIN, COUNTY OF SHEBOYGAN

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

ON THIS _____ DAY OF _____, 20____

ROBERT R. WENNER, MANAGER

(NOTARY SEAL)
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2022. THE SIGNER IS TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING CERTIFICATE AND MANIFESTED THE SAME.

PRINT NAME _____ NOTARY PUBLIC

MY COMMISSION EXPIRES _____

TOWN TREASURER'S CERTIFICATE

IN ACCORDANCE WITH THE RECORDS IN THE OFFICE OF THE TOWN OF SHEBOYGAN TREASURER, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS PLAT.

JAMIE HIBBELINK, TOWN TREASURER _____ DATE _____

COUNTY TREASURER'S CERTIFICATE

IN ACCORDANCE WITH THE RECORDS IN THE OFFICE OF THE SHEBOYGAN COUNTY TREASURER, THERE ARE NO UNPAID TAXES OR UNPAID SPECIAL ASSESSMENTS ON ANY OF THE LANDS INCLUDED IN THIS PLAT.

LAURA HENNING-LORENZ, COUNTY TREASURER _____ DATE _____

COUNTY PLANNING CERTIFICATE

REVIEWED AND APPROVED BY THE SHEBOYGAN COUNTY PLANNING AND CONSERVATION DEPARTMENT

TYLER BETTY, DEPUTY DIRECTOR _____ DATE _____

CITY OF SHEBOYGAN COMMON COUNCIL RESOLUTION:
RESOLVED, THAT THE PLAT OF MAYWOOD ESTATES IN THE TOWN OF SHEBOYGAN, MAYWOOD ESTATES, LLC, OWNER, IS HEREBY APPROVED BY THE COMMON COUNCIL.

RYAN SORENGEN, MAYOR _____ DATE _____

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN.

MAURETH DEBRIUN, CITY CLERK _____ DATE _____

TOWN BOARD RESOLUTION:
RESOLVED, THAT THE PLAT OF MAYWOOD ESTATES, A SUBDIVISION IN THE TOWN OF SHEBOYGAN, MAYWOOD ESTATES, LLC, OWNER, IS HEREBY APPROVED BY THE TOWN BOARD.

DANIEL HEIN, CHAIRPERSON _____ DATE _____

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE TOWN BOARD OF THE TOWN OF SHEBOYGAN AND THAT ALL CONDITIONS FOR APPROVAL HAVE BEEN MET.

PIGGY FISCHER, TOWN CLERK _____

SURVEYOR'S CERTIFICATE

I, CRAIG RUSCH, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236, WISCONSIN STATUTES, AND THE SUBDIVISION REGULATIONS OF SHEBOYGAN COUNTY, I HAVE SURVEYED AND PLATTED THE LAND DESCRIBED HEREIN, AND THAT THE PLAT CORRECTLY REPRESENTS ALL EXISTING BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED. THE PLAT INCLUDES THE FOLLOWING: LOT 1 OF CSM #1497638, VOL. 15, PG 17-18, SECTION 8, T15N, R23E, SHEBOYGAN COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 8;
THENCE S 07° 52' 04"E ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 8, 37.25 FEET TO A POINT ON THE SOUTHERLY LINE OF MUELLER ROAD AND THE POINT OF BEGINNING;
THENCE FROM SAID POINT OF BEGINNING S 07° 52' 04"E ALONG SAID EAST LINE OF SE 1/4 OF SAID SECTION 8, 179.88 FEET TO A POINT ON THE SOUTHWEST CORNER OF THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 8;
THENCE N 89° 22' 33"W, 31.2 FEET MORE OR LESS TO THE CENTERLINE OF AN UNNAMED MANUSCRIPTED INTERMITTENT STREAM;
THENCE NORTHWEST ALONG SAID STREAM CENTERLINE TO A POINT ON THE WEST LINE OF THE EAST 1/2 OF THE NE 1/4 OF THE SE 1/4 OF SAID SECTION 8;
THENCE N 07° 54' 40"W (N 07° 54' 30"W) ALONG SAID WEST LINE, 796.1 FEET MORE OR LESS TO A POINT ON THE SOUTHWEST CORNER OF MUELLER ROAD;
THENCE S 07° 52' 04"E ALONG SAID SOUTHWEST CORNER OF MUELLER ROAD, 341.96 FEET TO THE POINT OF BEGINNING;
CONTAINING 812.593 SQUARE FEET MORE OR LESS (14.093 ± ACRES) OF LAND.

(6). THIS PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXISTING BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION OF IT.
(8). THE SURVEYOR HAS FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES IN SURVEYING, DIVIDING, AND MAPPING THE LAND.

DATED THIS 2ND DAY OF JUNE, 2022

SIGNED: Craig Rusch
CRAIG RUSCH, PROFESSIONAL SURVEYOR 5-2714

WATER LATERAL EASEMENT PROVISION

THERE ARE HEREBY CONVEYED THE FOLLOWING WATER LATERAL EASEMENTS AS PLAT CONTAINS AREA DESIGNATED AS "WATER LATERAL EASEMENT". NAMELY, THE RIGHT TO HAVE A WATER LATERAL STRUCTURE WITH THE RIGHT TO ENTER UPON THE LAND OF THE ADJACENT OWNER, TO CONSTRUCT, MAINTAIN, REPAIR AND REPLACE THE WATER LATERAL STRUCTURE LOCATED IN THE WATER LATERAL EASEMENT AREA. THIS RIGHT IS GRANTED TO THE LOT OWNER OF LOT 1 AS SHOWN WITHIN THE PLAT, INCLUDING THE RIGHT TO HAVE A WATER LATERAL STRUCTURE LOCATED IN THE WATER LATERAL EASEMENT AREA. THE PURPOSE OF EXERCISING THE RIGHTS AND PRIVILEGES GRANTED WITH THIS PROVISION, THE LOT OWNER OF LOT 1 AGREES TO RESTORE OR CAUSE TO HAVE RESTORED TO THE CONDITION EXISTING PRIOR TO THE CONSTRUCTION OF THE WATER LATERAL STRUCTURE, BUILDINGS, STRUCTURES, OBSTRUCTIONS AND PLANTING OF TREES SHALL NOT BE PLACED WITHIN WATER LATERAL EASEMENT AREA. THIS PROVISION SHALL NOT BE APPLIED TO ANY RIGHTS OF OWNERSHIP POSSESSION OR USE OF THE WATER LATERAL EASEMENT AREA.

UTILITY EASEMENT RESTRICTIONS

UTILITY EASEMENTS SET FORTH HEREIN ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THIS SUBDIVISION. ALL ELECTRIC DISTRIBUTION LINES, TELEPHONE LINES, TELEVISION CABLES AND GAS LINES SHALL BE LOCATED WITHIN THE WATER LATERAL EASEMENT AREA. THE APPURTENANT TO UNDERGROUND ELECTRIC AND COMMUNICATION SYSTEMS, SUCH AS BUT NOT LIMITED TO SUBSTATIONS, PAD MOUNTED TRANSFORMERS, POLES AND SUPPORTS, SHALL BE LOCATED WITHIN THE WATER LATERAL EASEMENT AREA. THE LOCATED ABOVE GROUND LEVEL. SUCH FACILITIES SHALL BE LOCATED WITHIN THE EASEMENTS HEREIN SPECIFIED, AND GRADE LEVEL OF SUCH EASEMENTS AFTER THE EASEMENTS HEREIN SPECIFIED, AND GRADE LEVEL OF SUCH EASEMENTS THEN OR HEREIN SPECIFIED, SHALL BE MAINTAINED BY THE SURVEYOR. THE SURVEYOR SHALL BE RESPONSIBLE FOR THE CONSENT OF THE UTILITY OR UTILITIES INVOLVED IN THE EASEMENT EXCEPT WITH WRITTEN PERMISSION FROM THE UTILITY OR UTILITIES INVOLVED. THE SURVEYOR SHALL NOT VISIT ALONG ANY LOT OR STREET LINE, THE UNAUTHORIZED DISTURBANCE OF A SURVEY MONUMENT IS A VIOLATION OF S. 238.32 OF WISCONSIN STATUTES.

OWNER
MAYWOOD ESTATES, LLC
SHEBOYGAN, WISCONSIN 53081

DEVELOPER
MAYWOOD ESTATES, LLC
4339 S TAYLOR DR
SHEBOYGAN, WISCONSIN 53081

SURVEYOR
CRAIG A. RUSCH, NO. 5-2714
CRAIG RUSCH SURVEYING, INC.
3437 PINE AVENUE
SHEBOYGAN, WISCONSIN 53081

APPROVING AUTHORITIES
TOWN OF SHEBOYGAN
CITY OF SHEBOYGAN
SHEBOYGAN COUNTY
PLANNING AND CONSERVATION DEPARTMENT
OBJECTING AUTHORITIES
WISCONSIN DCA - PLAT REVIEW PROGRAM
UTILITY COMPANIES
WISCONSIN BELL, INC.
SPECTRUM MEDIA-AMERICA, LLC
WISCONSIN POWER AND LIGHT
WISCONSIN PUBLIC SERVICE

JUNE 2, 2022
SHEET 2 OF 2



Wagner
EXCAVATING
3437 PINE AVENUE SHEBOYGAN, WI
(920) 488-9002

Item 12.

Maywood Estates LLC
4539 South Taylor Drive
Sheboygan, Wisconsin 53081

June 10, 2022

Mrs. Meredith DeBruin
Clerk of City of Sheboygan
828 Center Avenue
Sheboygan, WI 53081

SUBJECT: Final Plat – Maywood Estates

Dear Mrs. DeBruin,

As part of the proposed land development for the Maywood Estates subdivision in the Town of Sheboygan, we respectfully make application for extraterritorial review and approval of the final plat.

On March 15, 2022 the City Plan Commission approved the preliminary plat for Maywood Estates.

We appreciate the City's consideration of this final plat to allow for the planned development.

Sincerely,

Robert Ross Werner

Vice-President – Maywood Estates LLC

II

R. O. No. 24 - 22 - 23. By CITY CLERK. June 20, 2022.

Submitting a communication from M Squared Properties requesting an encroachment on their property located at 1444 Pershing Avenue for the purpose of creating an asphalt driveway and parking lot.

CITY CLERK

Four Seasons Comfort LLC

Item 13.

"Quality Service with Your Comfort in Mind"

1444 Pershing Ave. Sheboygan, WI 53083

Office 920-565-2095

hvac@fourseasonscomfort.net

Monday, June 13, 2022

To the City of Sheboygan,

After moving Four Seasons Comfort into the city of Sheboygan we discovered that the exiting parking lot needed asphaltting. As we worked through the process of completing the work we discovered that the city owned a portion of the parking lot.

We request the encroachment to allow for the movement of our equipment through a normal business day, allow for customer and employee parking, and provide access of emergency vehicles if needed.

The area as noted in the encroachment exhibit, prepared by Wagner Excavating, runs through the parking lot. It will be used as parking lot as well as green space.

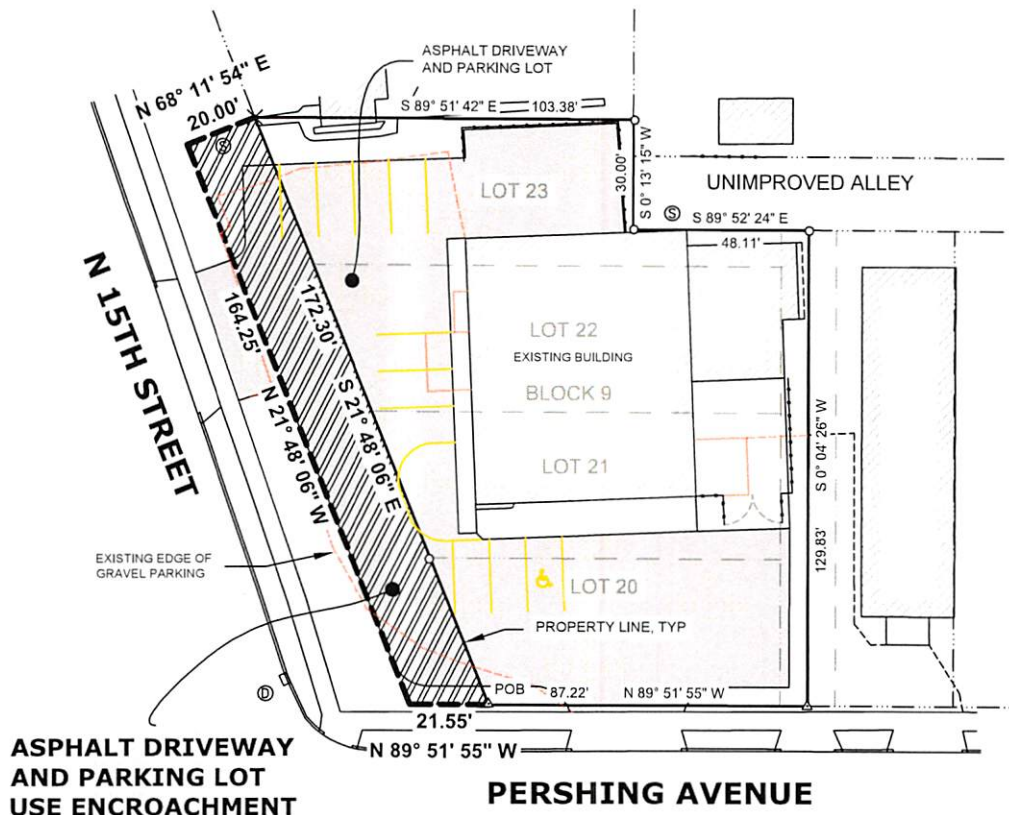
Martha Pelzel – owner
M Squared Properties
15770 Lakeshore Rd
Cleveland, WI 53081
920-980-7051
Msquared204@gmail.com

Mike Pelzel – owner
Four Seasons Comfort
1444 Pershing Ave.
Sheboygan, WI 53083
Sheboygan phone 920-565-2095
Plymouth phone 920-893-8900
hvac@fourseasonscomfort.net



ASPHALT DRIVEWAY AND PARKING LOT LOT USE ENCROACHMENT EXHIBIT

LOTS 20, 21, 22, AND 23 OF BLOCK 9 AND THE WEST HALF OF
THE VACATED NORTH-SOUTH ALLEY ADJACENT TO SAID LOTS
20, 21, 22, AND PART OF 23, OF LAKE SHORE DIVISION,
CITY OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN



LEGAL DESCRIPTION FOR "ASPHALT DRIVEWAY AND PARKING LOT USE ENCROACHMENT":

PART OF N 15TH STREET RIGHT-OF-WAY BEING IN THE SE 1/4 OF SECTION 10, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN; AND FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF LOT 20, BLOCK 1 OF LAKE SHORE DIVISION; THENCE THE FOLLOWING BEARINGS AND DISTANCES: N89°51'55"W 21.55 FEET; N21°48'06"W 164.25 FEET; N68°11'54"E 20.00 FEET TO A POINT ON THE EAST ROAD RIGHT-OF-WAY LINE OF N 15TH STREET; THENCE S21°48'06"E ALONG SAID EAST RIGHT-OF-WAY LINE 172.30' FEET TO THE POINT OF BEGINNING AND CONTAINING 3,366 SF OF LAND.

PARCEL NUMBER: 59281712700
PARCEL OWNER: MSQUARED PROPERTIES LLC
PARCEL ADDRESS: 3313 N 15TH STREET
PARCEL AREA: 17,627 SF
DRIVEWAY AND PARKING LOT USE
ENCROACHMENT AREA: 3,366 SF

BEARINGS AND DISTANCES SHOWN ARE
REFERENCED TO THE SOUTH LINE OF LOT 20,
BLOCK 9, WHICH BEARS N89°51'55"W AND BASED ON
THE SHEBOYGAN COUNTY COORDINATE SYSTEM

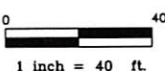


I, CRAIG A. RUSCH, WISCONSIN
REGISTERED LAND SURVEYOR NO. S-2274,
DO HEREBY CERTIFY THAT THIS SURVEY
IS CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

DRAWING DATE: JUNE 2, 2022



GRAPHIC SCALE



Wagner
EXCAVATING, INC.
3437 PAINE AVENUE SHEBOYGAN, WI 53081
(920) 458-9082

FOUR SEASONS COMFORT
1444 Pershing Avenue
City of Sheboygan

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: R.O. 24-22-23 and G.O. 4-22-23 by Alderperson Felde granting M Squared Properties, its successors and assigns, the privilege of encroaching upon described portions of 1444 Pershing Avenue in the City of Sheboygan for the purpose of creating an asphalt driveway and parking lot.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

The City Plan Commission recently approved a conditional use permit for Four Season Comfort to operate at 1444 Pershing Avenue. One of the conditions of approval that was required by the Plan Commission was for Four Seasons to pave the gravel parking lot.

One of the issues that has come up is that there is a significant amount of the gravel parking lot located within the City of Sheboygan N. 15th Street public right-of-way. The Plan Commission may be aware that the City needed to obtain private property from many of the owners along N. 15th Street in order to improve this street with curb, gutter, utilities etc.

Thus, the previous owners gravel parking area, now owned by Four Seasons, is located well within the City's N. 15th Street public right-of-way. When reviewing the site plan, you can see that a significant amount of the gravel parking lot is located within the right-of-way. Also, the southwest corner of the Four Seasons building appears to be approximately 12-15 feet from the property line and barley could fit a vehicle through that area of the parking lot.

In addition to the paving, Four Seasons is also looking to install greenspace and landscaping along the street frontages. Previous to this, there was minimal landscaping on this property.

Thus, the applicant is requesting an encroachment in order to:

- Provide off-street parking for Four Seasons client's and business vehicles on the private property instead of on the street which could impact adjacent neighborhood.

- To pave the parking lot as required by the City Plan Commission when approving proposed Four Seasons conditional use permit.
- To install landscaping along the street frontages.

Four Seasons Comfort LLC is Sheboygan Counties premier residential and light commercial heating and air conditioning company. We opened our doors in 2005 and have grown annually over the years. We provide both heating and air conditioning installation for residential and light commercial building throughout Sheboygan County and beyond. We have been looking for a building to relocate our business as we need more space and the location of 1444 Pershing Avenue works well.

STAFF COMMENTS:

At the conditional use permit hearing, the applicant discussed their willingness to pave the gravel parking lot. The amount of the gravel parking lot located in the right-of-way was somewhat of a surprise. Thus, the reason for the encroachment request is because the applicant is proposing to utilize a portion of the City of Sheboygan N. 15th Street/Pershing Avenue public right-of-way for parking purposes. In order to utilize this area of public right-of-way, the applicant is required to obtain an encroachment permit.

This property has previously appeared somewhat tired and weathered. The building, site and landscaping improvements that Four Seasons is proposing will freshen this property up and is welcome site along N. 15th Street which the City invested significant dollars to improve.

If the encroachment is approved, Four Seasons will need to pay the required encroachment fee prior to building permit issuance for the new additions.

ACTION REQUESTED:

Staff does not object to the encroachment as proposed.

ATTACHMENTS:

R.O. 24-22-23 and G.O. 4-22-23

Gen. Ord. No. 4 - 22 - 23. By Alderperson Felde. June 20, 2022.

AN ORDINANCE granting M Squared Properties, its successors and assigns, the privilege of encroaching upon described portions of 1444 Pershing Avenue in the City of Sheboygan for the purpose of creating an asphalt driveway and parking lot.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Subject to the terms and conditions contained herein, M Squared Properties, its successors and assigns, is hereby granted the privilege of encroaching upon portions of 1444 Pershing Avenue, City of Sheboygan, Sheboygan County, Wisconsin, as follows:

PART OF N 15TH STREET RIGHT-OF-WAY BEING IN THE SE 1/4 OF SECTION 10, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN; AND FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF LOT 20, BLOCK 9 OF LAKE SHORE DIVISION; THENCE THE FOLLOWING BEARINGS AND DISTANCES: N89°51'55"W 21.55 FEET; N21°48'06"W 164.25 FEET; N68°11'54"E 20.00 FEET TO A POINT ON THE EAST ROAD RIGHT-OF-WAY LINE OF N 15TH STREET; THENCE S21°48'06"E ALONG SAID EAST RIGHT-OF-WAY LINE 172.30' FEET TO THE POINT OF BEGINNING AND CONTAINING 3,366 SF OF LAND.

for the purpose of creating an asphalt driveway and parking lot in accordance with the sketch attached hereto and made a part hereof.

Section 2. The privilege as granted above is granted only on the condition that by the acceptance of the privilege, the said M Squared Properties, its successors and assigns:

a. Shall become primarily responsible and liable for all and any damage to persons or property caused by and arising from the grant and exercise of such privilege.

b. Shall remove the encroachment allowed herein within ten (10) days after notice so to remove given by the State of Wisconsin or the City of Sheboygan; in the event of the failure so to remove, the said M Squared Properties, its successors and assigns: shall pay the costs of removal by the State of Wisconsin or the City of Sheboygan, waiving all claim or claims for damages resulting from such removal, whether the removal is done by the said M Squared Properties, its successors and assigns, or by the State of Wisconsin or by the City of Sheboygan.

c. Shall pay such compensation to the City of Sheboygan for the grant of this privilege as may be determined by a board consisting of the Mayor, the Director of Public Works and the City Attorney; the compensation shall be paid into the General Fund.

d. Shall make such construction and/or alterations and maintain the same subject to the approval of the City Building Inspector and Director of Public Works, and shall waive the right to contest in any manner the validity of this ordinance or the amount of compensation charged.

Section 3. The provisions of §66.045(1)(2) of the Wisconsin Statutes are incorporated herein by reference to all intents and purposes as if set out fully.

Section 4. The City Clerk is authorized and directed to record a certified copy of this ordinance in the office of the Register of Deeds for Sheboygan County, Wisconsin, the costs thereof to be charged to the General Fund.

Section 5. This ordinance shall take effect and be in full force from and after its passage and publication and upon payment of the consideration to be determined hereunder, provided, however, that in the event of failure to exercise the privilege herein granted and the payment of such consideration within six (6) months from the effective date hereof, then and in that event such privilege shall be rendered null and void.

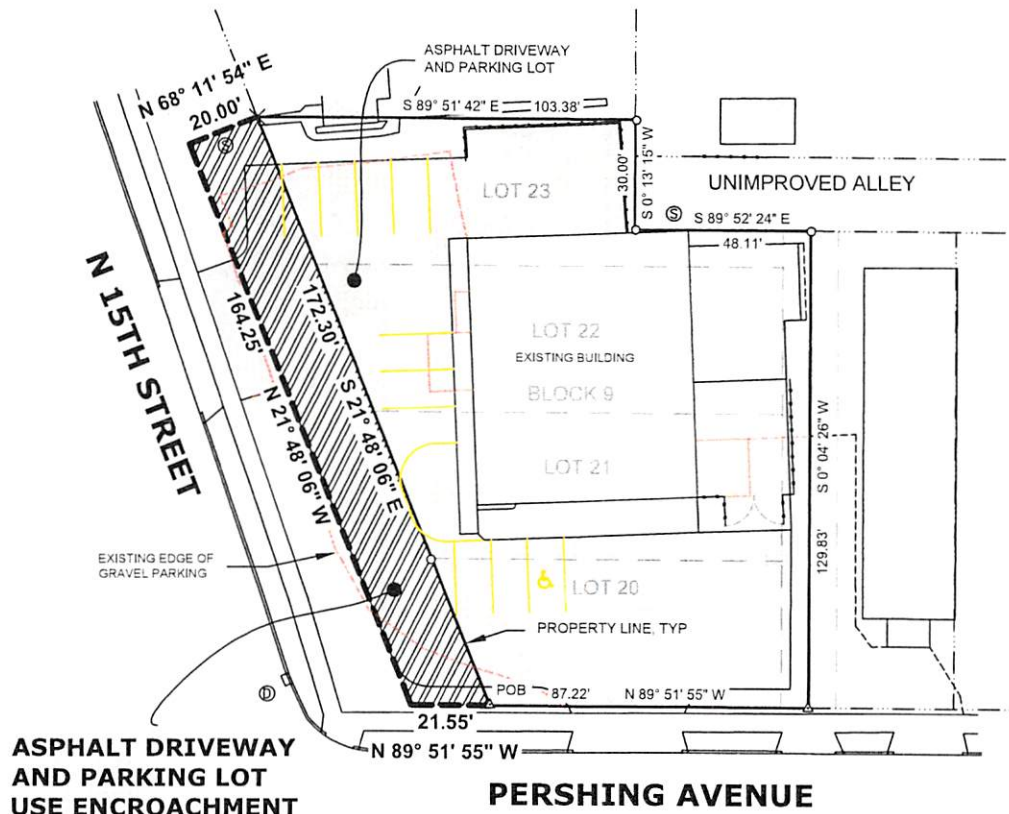
I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

ASPHALT DRIVEWAY AND PARKING LOT USE ENCROACHMENT EXHIBIT

LOTS 20, 21, 22, AND 23 OF BLOCK 9 AND THE WEST HALF OF
THE VACATED NORTH-SOUTH ALLEY ADJACENT TO SAID LOTS
20, 21, 22, AND PART OF 23, OF LAKE SHORE DIVISION,
CITY OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN



LEGAL DESCRIPTION FOR "ASPHALT DRIVEWAY AND PARKING LOT USE ENCROACHMENT":

PART OF N 15TH STREET RIGHT-OF-WAY BEING IN THE SE 1/4 OF SECTION 10, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN, AND FURTHER DESCRIBED AS FOLLOWS:

BEGINNING AT THE SE CORNER OF LOT 20, BLOCK 1 OF LAKE SHORE DIVISION; THENCE THE FOLLOWING BEARINGS AND DISTANCES: N89°51'55"W 21.55 FEET; N21°48'06"W 164.25 FEET; N68°11'54"E 20.00 FEET TO A POINT ON THE EAST ROAD RIGHT-OF-WAY LINE OF N 15TH STREET; THENCE S21°48'06"E ALONG SAID EAST RIGHT-OF-WAY LINE 172.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 3,366 SF OF LAND.

PARCEL NUMBER: 59281712700
PARCEL OWNER: MSQUARED PROPERTIES LLC
PARCEL ADDRESS: 3313 N 15TH STREET
PARCEL AREA: 17,627 SF
DRIVEWAY AND PARKING LOT USE
ENCROACHMENT AREA: 3,366 SF

BEARINGS AND DISTANCES SHOWN ARE
REFERENCED TO THE SOUTH LINE OF LOT 20,
BLOCK 9, WHICH BEARS N89°51'55"W AND BASED ON
THE SHEBOYGAN COUNTY COORDINATE SYSTEM

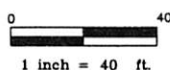


I, CRAIG A. RUSCH, WISCONSIN
REGISTERED LAND SURVEYOR NO. S-2274,
DO HEREBY CERTIFY THAT THIS SURVEY
IS CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

DRAWING DATE: JUNE 2, 2022



GRAPHIC SCALE



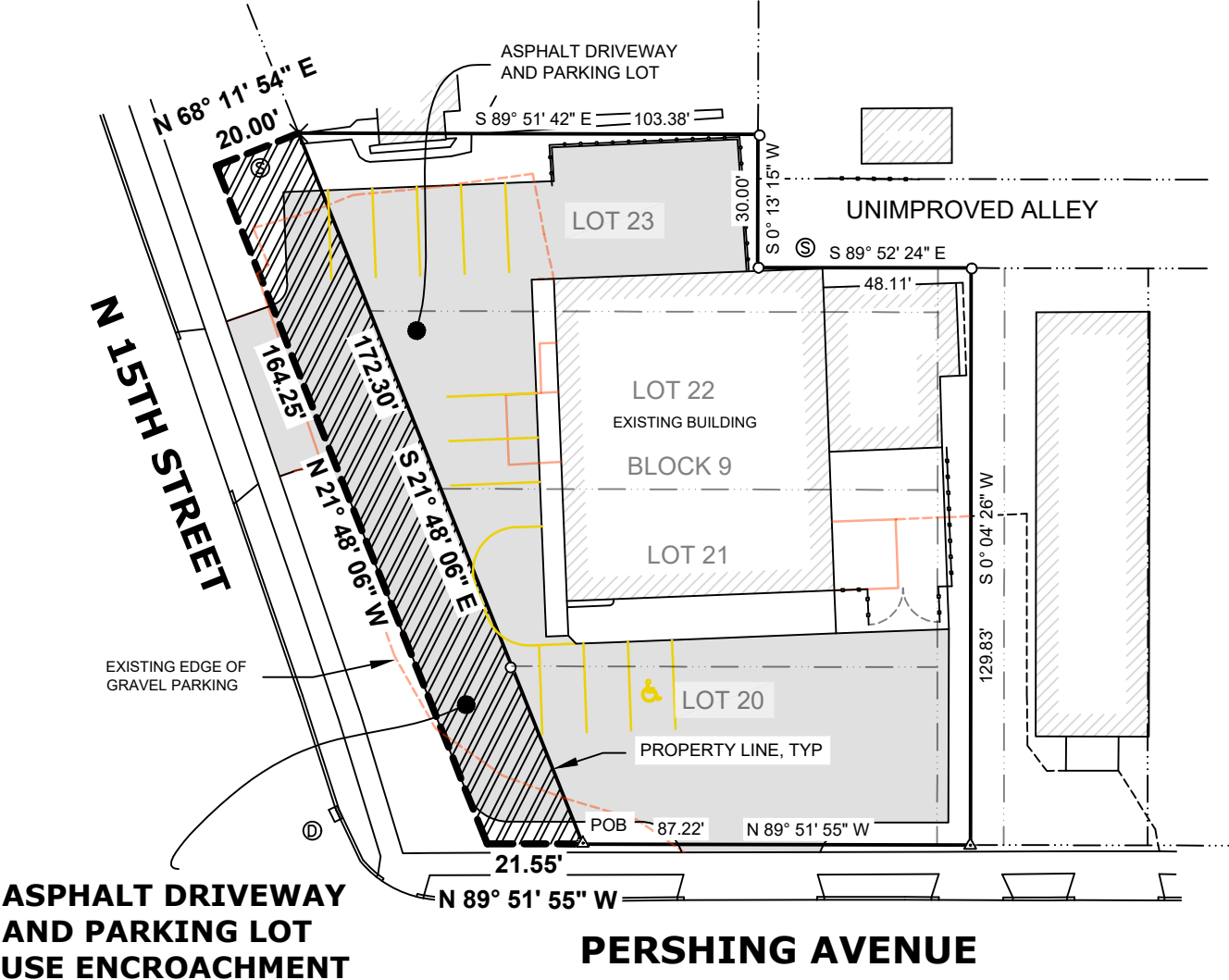
Wagner
EXCAVATING Inc.
3437 PAINE AVENUE SHEBOYGAN, WI 53081
(920) 455-9082

FOUR SEASONS COMFORT

1444 Pershing Avenue
City of Sheboygan

ASPHALT DRIVEWAY AND PARKING LOT LOT USE ENCROACHMENT EXHIBIT

LOTS 20, 21, 22, AND 23 OF BLOCK 9 AND THE WEST HALF OF
THE VACATED NORTH-SOUTH ALLEY ADJACENT TO SAID LOTS
20, 21, 22, AND PART OF 23, OF LAKE SHORE DIVISION,
CITY OF SHEBOYGAN
SHEBOYGAN COUNTY, WISCONSIN



LEGAL DESCRIPTION FOR "ASPHALT DRIVEWAY AND PARKING LOT USE ENCROACHMENT":
PART OF N 15TH STREET RIGHT-OF-WAY BEING IN THE SE 1/4 OF SECTION 10, T15N, R23E, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN; AND FURTHER DESCRIBED AS FOLLOWS:
BEGINNING AT THE SE CORNER OF LOT 20, BLOCK 1 OF LAKE SHORE DIVISION; THENCE THE FOLLOWING BEARINGS AND DISTANCES: N89°51'55"W 21.55 FEET; N21°48'06"W 164.25 FEET; N68°11'54"E 20.00 FEET TO A POINT ON THE EAST ROAD RIGHT-OF-WAY LINE OF N 15TH STREET; THENCE S21°48'06"E ALONG SAID EAST RIGHT-OF-WAY LINE 172.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 3,366 SF OF LAND.

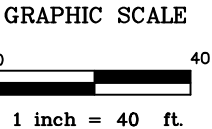
PARCEL NUMBER: 59281712700
PARCEL OWNER: MSQUARED PROPERTIES LLC
PARCEL ADDRESS: 3313 N 15TH STREET
PARCEL AREA: 17,627 SF
DRIVEWAY AND PARKING LOT USE
ENCROACHMENT AREA: 3,366 SF

BEARINGS AND DISTANCES SHOWN ARE REFERENCED TO THE SOUTH LINE OF LOT 20, BLOCK 9, WHICH BEARS N89°51'55"W AND BASED ON THE SHEBOYGAN COUNTY COORDINATE SYSTEM

WISCONSIN
CRAIG A. RUSCH
S-2274
SHEBOYGAN FALLS
WI
REGISTERED LAND SURVEYOR
6/02/2022

I, CRAIG A. RUSCH, WISCONSIN REGISTERED LAND SURVEYOR NO. S-2274, DO HEREBY CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DRAWING DATE: JUNE 2, 2022



FOUR SEASONS COMFORT
1444 Pershing Avenue
City of Sheboygan



STORM WATER MANAGEMENT INFORMATION

AREAS:

PARCEL TOTAL	17,627 SF
ENCROACHMENT TOTAL	3,366 SF
TOTAL DEVELOPMENT AREA	20,993 SF
LAND DISTURBANCE (APPROX)	12,800 SF
PRE-CONSTRUCTION	
IMPERVIOUS TOTAL	17,850 SF, 85%
PERVIOUS TOTAL	3,143 SF, 15%
POST-CONSTRUCTION	
IMPERVIOUS TOTAL	18,640 SF, 89%
PERVIOUS TOTAL	2,353 SF, 11%
ADDITIONAL IMPERVIOUS = 790 SF < 1,000 SF, THEREFORE STORM WATER MANAGEMENT NOT REQUIRED	

UC URBAN COMMERCIAL DISTRICT ZONING
REQUESTED VARIANCES AND ENCROACHMENT:

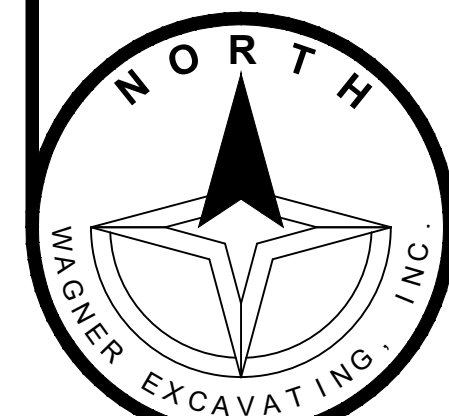
20' WIDE ASPHALT DRIVEWAY AND PARKING LOT USE ENCROACHMENT ON WEST SIDE OF PARCEL
PAVING SETBACK VARIANCE AT NORTHEAST CORNER OF PARCEL. PROPOSED ASPHALT PAVING WITHIN EXISTING FENCED AREA IS 2.5' FROM EAST PROPERTY LINE AND 1.2' FROM NORTH PROPERTY LINE. 5' IS CODE REQUIREMENT

BASE AND SURFACE MATERIAL AND THICKNESS

SIDEWALKS	4" CONCRETE 6" CRUSHED AGGREGATE BASE COURSE
CONCRETE DUMPSTER AREA	8" REINFORCED CONCRETE 8" CRUSHED AGGREGATE BASE COURSE
ASPHALT PARKING AND DRIVE	3.5" ASPHALT 8" CRUSHED AGGREGATE BASE COURSE
TOPSOIL	4" MINIMUM

PARKING SCHEDULE

EMPLOYEE COUNT:	EMPLOYEE EXISTING COUNT	8 EMPLOYEES
REQUIRED STALLS:	REGULAR = 1 STALL PER EMPLOYEE HANDICAP = 1 / 25 STALLS TOTAL REQUIRED	8 STALLS 1 STALL 9 STALLS
PROPOSED STALLS:	REGULAR HANDICAP TOTAL PROPOSED	10 STALLS 1 STALL 11 STALLS



GRAPHIC SCALE
0 5 10 20
1 inch = 10 ft.
FOR 24" X 36" PRINT

THIS DRAWING HAS BEEN PROVIDED FOR DESIGN, ESTIMATING, AND/OR CONSTRUCTION PURPOSES ONLY. THIS DRAWING AND INFORMATION REMAINS THE PROPERTY OF WAGNER EXCAVATING, INC. AND MAY NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF WAGNER EXCAVATING, INC. THE INTENT OF THE DESIGN IS FOR CONSTRUCTION AND/OR APPROVAL. IT IS THE OWNERS RESPONSIBILITY FOR MAINTENANCE AND SAFETY OF THE CONSTRUCTED ITEMS

SITE PLAN, GRADING PLAN, AND EROSION CONTROL PLAN

No.	Revision	Date
5		
4		
3		
2		
1		

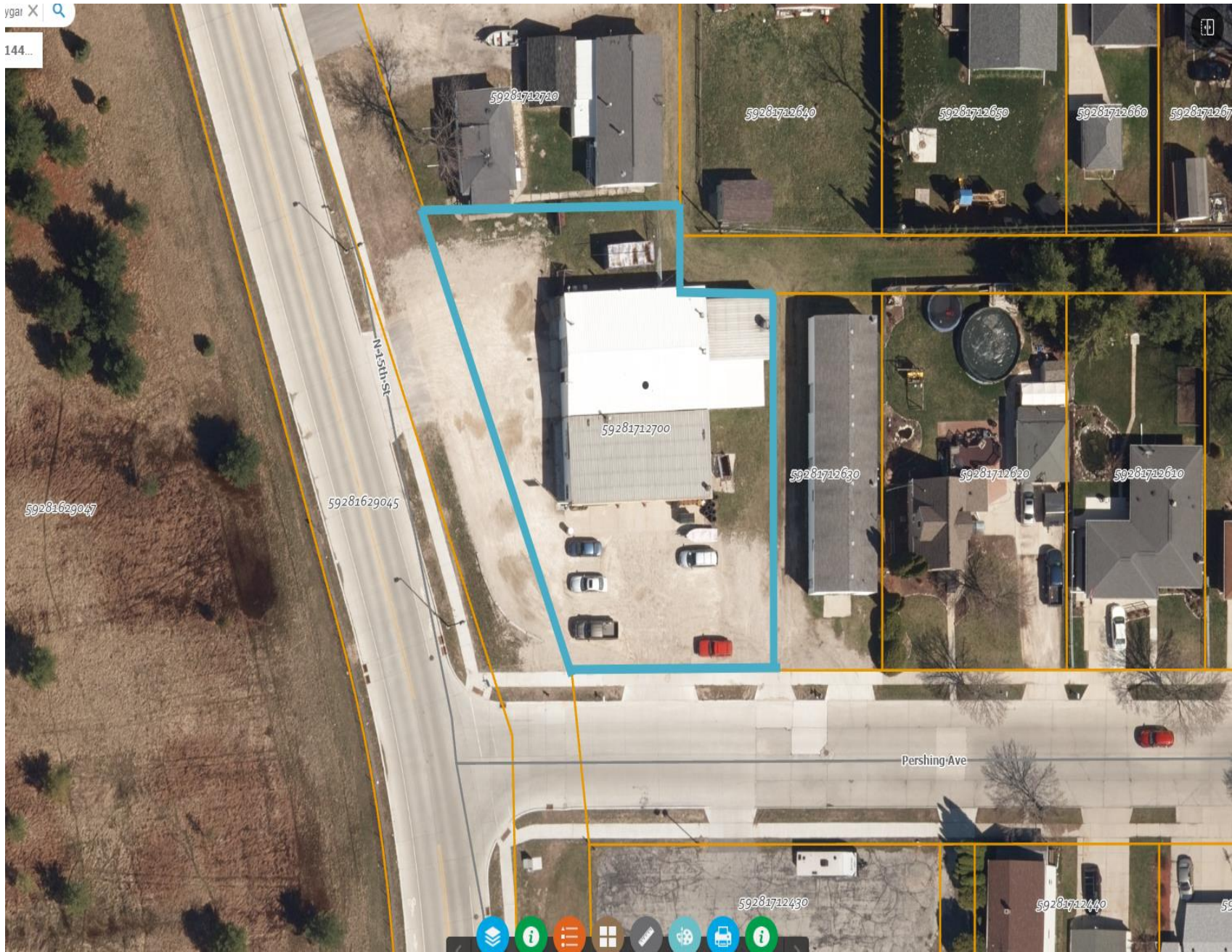
Wagner EXCAVATING
3437 Paine Avenue Sheboygan, WI 53081
(920) 458-9082

DESIGNED BY:
CRAIG A. RUSCH

Site Improvements
Four Seasons Comfort
1444 Pershing Avenue
Sheboygan, Wisconsin

DATE
6/1/22

1





Four Seasons Comfort LLC

Item 14.

"Quality Service with Your Comfort in Mind"

W2074 Garton Road Sheboygan, WI 53083

Office 920-565-2095

Friday, January 21, 2022

Four Seasons Comfort LLC is Sheboygan Counties premier residential and light commercial heating and air conditioning company. We opened our doors in 2005 and have grown annually over the years. We provide both heating and air conditioning installation for residential and light commercial building throughout Sheboygan County and beyond. We have been voted both as a winner and finalist of the Best of Sheboygan County multiple years. Currently we have 10 employees. While Four Seasons Comfort does offer 24/7 emergency service, normal business hours are Monday through Friday from 7:00am until 4:00pm.

We have been looking for a building to relocate our business as we need more space. The location of 1444 Pershing Ave. Sheboygan, WI seems to fit our criteria. We are requesting a Conditional Use Permit to occupy the property.

This site that had housed two businesses will be used solely by Four Seasons Comfort using the primary address of 1444 Pershing Ave. Sheboygan, WI 53083. The three service bays that face Pershing Ave. will be used for our box trucks for overnight storage and loading for the upcoming installs of furnaces and air conditioners. The back section will be used for fabrication of duct work, a parts department, and storage of furnaces and air conditioning units. This location will not only double the space that we currently have but will ensure that all work can be confined to the interior space. Keeping the work noise low for the neighbors.

The site was selected for a few reasons: it allows for a sheet metal room, a parts room, as well as storage. The box trucks all fit into the three bays that had been an automotive repeat company. There is also an opening between the two building, a large garage door, that will allow movement of product from the warehouse area and load the trucks while they are indoors.

Very few interior improvements will be made, fresh paint in the office area, removal of the paint booth, and removing of the overhead door between the two work areas. On the exterior, the building will be painted, the parking lot asphalted, and fresh signs will replace the existing signs. The parking lot will accommodate our employees for parking as well as room for walk in customers, for a total of 12 parking area.

We are very excited and happy to be part of the City of Sheboygan and look forward to a long partnership.

R. O. No. 23 - 22 - 23. By CITY CLERK. June 20, 2022.

Submitting a communication from Grateful Properties, LLC requesting an encroachment on their property located at 340/342 South Pier Drive for the purpose of adding an outdoor seating deck.

CITY CLERK



Building Relationships Since 1891

Item 15.

Harbor Café
Grateful Properties, LLC
340 South Pier Drive
Sheboygan, WI 53081

6/10/2022

RE: Expanded Encroachment Narrative

To the City of Sheboygan Common Council –

We are asking for an expanded area of encroachment for the deck facing the river on the north side of the shanty occupied by Harbor Café. After reviewing the deck plans, we decided that it would be in the best interest of the business to maximize the outdoor space. Our hope is that this expansion will increase foot traffic off the pier and give additional people the opportunity to stay and enjoy the atmosphere of the coffee shop and the surrounding pier.

Thank you for your consideration,

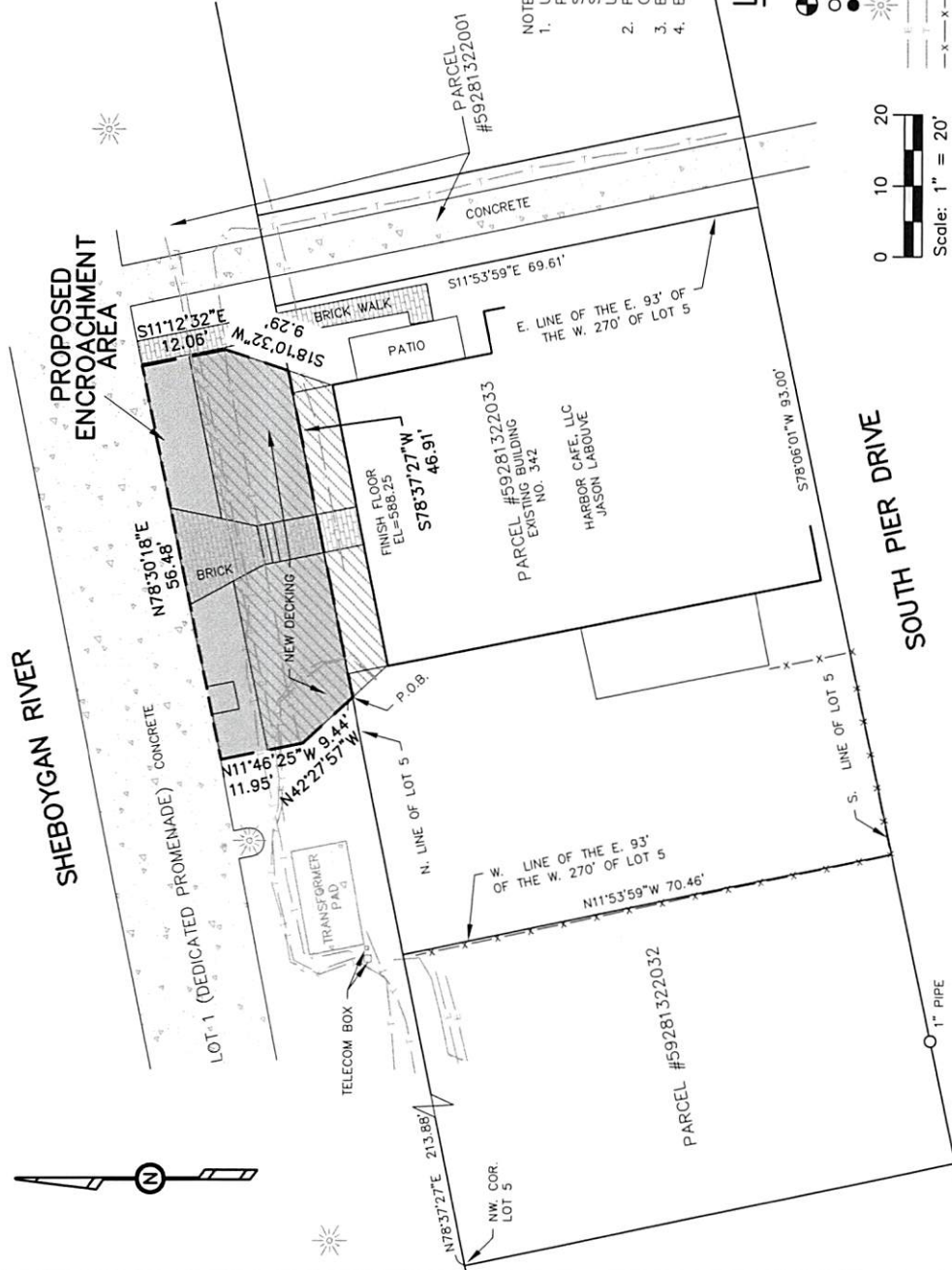
A handwritten signature in black ink, appearing to read "Sam LeRoy", is written over the typed name and title.

Sam LeRoy
Project Manager
Quasius Construction, Inc.

QUASIUS CONSTRUCTION, INC.
1202A North 8th Street, P.O. Box 727 • Sheboygan, Wisconsin 53082-0727
Phone 920-457-5585 or 1-800-569-2165 • Fax 920-457-1045

FOR: Grateful Properties, LLC

East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.










Legal Description of Encroachment Area

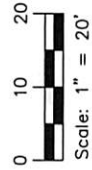
Part of Lot 1 (Dedicated Promenade) of South Pier Subdivision, located in the Southeast Fraction of the Southeast 1/4 of Section 23, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 213.88 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N42°27'57"W 9.44 feet; thence N11°46'25"W 11.95 feet; thence N78°30'18"E 56.48 feet; thence S11°12'32"E 12.06 feet; thence S18°10'32"W 9.29 feet to the North line of Said Lot 5; thence S78°37'27"W 46.91 feet along said North line to the Point of Beginning of this description. This described portion contains 1,095 square feet or 0.025 acres.

1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
3. BEARINGS ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
4. ELEVATIONS ARE NAVD83(GEOID12B)

LEGEND

-  = County Monument
 = Iron Stake Found
 = Iron Stake Set
 = Light Pole
 = Electric Line
 = Telecom Line
 = Fence



941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599



CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

FILE No.: 2022014 DATE: 5/6/2022 PAGE: 1 OF 1

CITY OF SHEBOYGAN

REQUEST FOR CITY PLAN COMMISSION CONSIDERATION

ITEM DESCRIPTION: R.O. 23-22-23 and G.O. 3-22-23 by Alderperson Perrella repealing Gen. Ord. No. 39-21-22 granting Harbor Cafe, LLC, its successors and assigns, the privilege of encroaching upon certain portions of 340/342 South Pier Drive in the City of Sheboygan and granting Grateful Properties, LLC, its successors and assigns, the privilege of encroaching upon expanded portions of 340/342 South Pier Drive, as described in the City of Sheboygan for the purpose of adding an outdoor seating deck.

REPORT PREPARED BY: Steve Sokolowski, Manager of Planning and Zoning

REPORT DATE: June 24, 2022

MEETING DATE: June 28, 2022

FISCAL SUMMARY:

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

STATUTORY REFERENCE:

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

BACKGROUND / ANALYSIS:

The Plan Commission and Common Council approved a deck encroachment for Harbor Café in March of 2022. The owner/contractor has constructed the deck differently than what was approved and now portions of the deck are located outside of the encroachment area that was previously approved (design and location). Thus, the owner now needs to request a new encroachment due to this location change.

The applicant previously stated the following about the project:

Harbor Café, LLC is requesting an encroachment to install/construct an outdoor patio/deck at Harbor Café located at 340 s. Pier Drive. The applicant states:

- Harbor Café is requesting an encroachment to build an outdoor seating deck. The owner believes one reason Sheboygan is such a special place is the beautiful atmosphere along Lake Michigan and the Sheboygan River surrounding the South Pier District. In order to fully appreciate the location, I would like to ask the Mayor's Office and the Common Council for permission and approval to build an outdoor seating deck on the north side of the 340/342 South Pier Drive property along the Sheboygan River.
- The deck is being designed and constructed by Quasius Construction who will build the new deck on the north side of the existing building to add additional outdoor seating

capacity for the newly constructed café. We will be using high end materials for the and improving the landscaping design/plantings with regard to the layout of the new deck.

- The exterior of the building utilizes cedar siding, a standing seam metal roof and aluminum clad wood windows. The proposed design of the deck is intended to closely match and coordinate with the existing materials that are utilized on the building.

STAFF COMMENTS:

In September of 2021, the Plan Commission approved a conditional use permit so owner Jason LaBouve could open the Harbor Café. Harbor Cafe will be a family-friendly atmosphere for patrons of all ages and will not serve alcohol. The menu will be simple and not require any fryers or grills. Beverages will include: water, flavored sparkling waters, coffees, espressos, teas and smoothies. Food will include: soups, salads, wraps, mini deli-style sandwiches, charcuterie boards (featuring local cheeses and sausages), bakery, and specialty deserts. The menu will source ingredients locally wherever possible.

Similar encroachments have been granted permitting owners to utilize the Sheboygan Riverfront Promenade for outdoor deck/patio purposes to take advantage of the amazing views of the Sheboygan River and Lake Michigan for these S. Pier Shanty structures.

If the encroachment is approved, Harbor Café, LLC will need to pay the required encroachment fee prior to building permit issuance for the new deck.

ACTION REQUESTED:

Staff does not object to the encroachment as proposed.

Staff is recommending repealing Gen. Ord. No. 39-21-22 granting Harbor Cafe, LLC, its successors and assigns, the privilege of encroaching upon certain portions of 340/342 South Pier Drive in the City of Sheboygan and granting Grateful Properties, LLC, its successors and assigns, the privilege of encroaching upon expanded portions of 340/342 South Pier Drive, as described in the City of Sheboygan for the purpose of adding an outdoor seating deck.

ATTACHMENTS:

R.O. 23-22-23 and G.O. 3-22-23

Gen. Ord. No. 3 - 22 - 23. By Alderperson Perrella. June 20, 2022.

AN ORDINANCE repealing Gen. Ord. No. 39-21-22 granting Harbor Café, LLC, its successors and assigns, the privilege of encroaching upon certain portions of 340/342 South Pier Drive in the City of Sheboygan and granting Grateful Properties, LLC the privilege of encroaching upon expanded portions of 340/342 South Pier Drive, as described, for the purpose adding an outdoor seating deck.

THE COMMON COUNCIL OF THE CITY OF SHEBOYGAN DO ORDAIN AS FOLLOWS:

Section 1. Gen. Ord. 39-21-22, approved March 21, 2022, is hereby repealed.

Section 2. Subject to the terms and conditions contained herein, Grateful Properties, LLC, its successors and assigns, is hereby granted the privilege of encroaching upon portions of 340/342 South Pier Drive, City of Sheboygan, Sheboygan County, Wisconsin, as follows:

340/342 S. Pier Drive Sheboygan, WI 53081

Part of Lot 1 (Dedicated Promenade) of South Pier Subdivision, located in the Southeast Fraction of the Southeast $\frac{1}{4}$ of Section 23, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 213.88 feet along the north line of said Lot 5 to the POINT OF BEGINNING of this description; thence N42°27'57"W 9.44 feet; these N11°46'25"W 11.95 feet; these N78°30'18"E 56.48 feet; these S11°12'32"E 12.06 feet; these S18°10'32"W 9.29 feet to the North line of Said Lot 5; thence S78°37'27"W 46.91 feet along said North line to the Point of Beginning of this description. This described portion contains 1,095 square feet or 0.025 acres.

for the purpose of adding an outdoor seating deck in accordance with the sketch attached hereto and made a part hereof.

Section 3. The privilege as granted above is granted only on the condition that by the acceptance of the privilege, the said Grateful Properties, LLC, its successors and assigns:

a. Shall become primarily responsible and liable for all and any damage to persons or property caused by and arising from the grant and exercise of such privilege.

b. Shall remove the encroachment allowed herein within ten (10) days after notice so to remove given by the State of Wisconsin or the City of Sheboygan; in the event of the failure so to remove, the said Grateful Properties, LLC, its successors and assigns: shall pay the costs of removal by the State of Wisconsin or the City of Sheboygan, waiving all claim or claims for damages resulting from such removal, whether the removal is done by the said Grateful Properties, LLC, its successors and assigns, or by the State of Wisconsin or by the City of Sheboygan.

c. Shall pay such compensation to the City of Sheboygan for the grant of this privilege as may be determined by a board consisting of the Mayor, the Director of Public Works and the City Attorney; the compensation shall be paid into the General Fund.

d. Shall make such construction and/or alterations and maintain the same subject to the approval of the City Building Inspector and Director of Public Works, and shall waive the right to contest in any manner the validity of this ordinance or the amount of compensation charged.

Section 4. The provisions of §66.045(1)(2) of the Wisconsin Statutes are incorporated herein by reference to all intents and purposes as if set out fully.

Section 5. The City Clerk is authorized and directed to record a certified copy of this ordinance in the office of the Register of Deeds for Sheboygan County, Wisconsin, the costs thereof to be charged to the General Fund.

Section 6. This ordinance shall take effect and be in full force from and after its passage and publication and upon payment of the consideration to be determined hereunder, provided, however, that in the event of failure to exercise the privilege herein granted and the payment of such consideration within six (6) months from the effective date hereof, then and in that event such privilege shall be rendered null and void.

I HEREBY CERTIFY that the foregoing Ordinance was duly passed by the Common Council of the City of Sheboygan, Wisconsin, on the _____ day of _____, 20____.

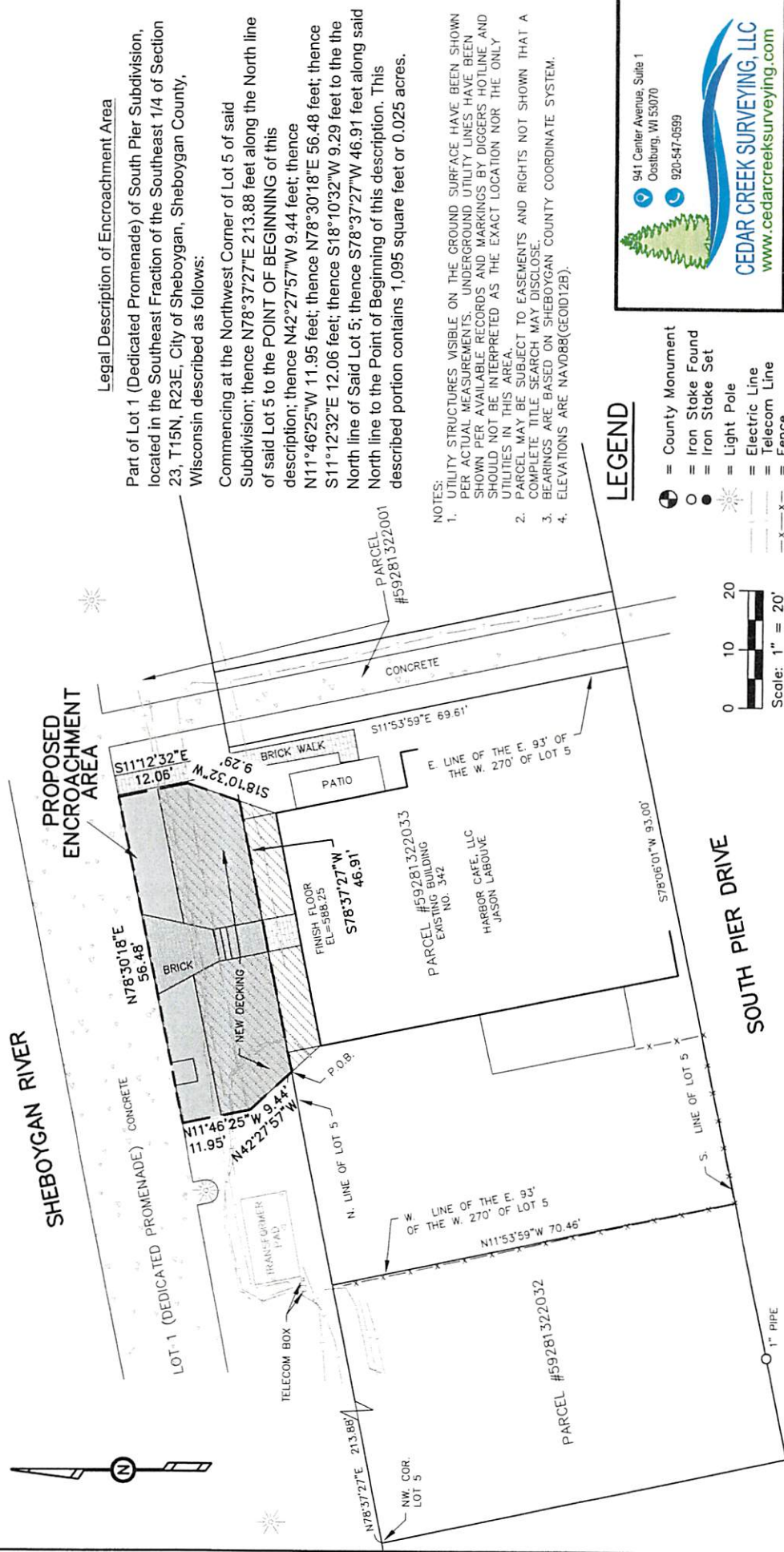
Dated _____ 20____. _____, City Clerk

Approved _____ 20____. _____, Mayor

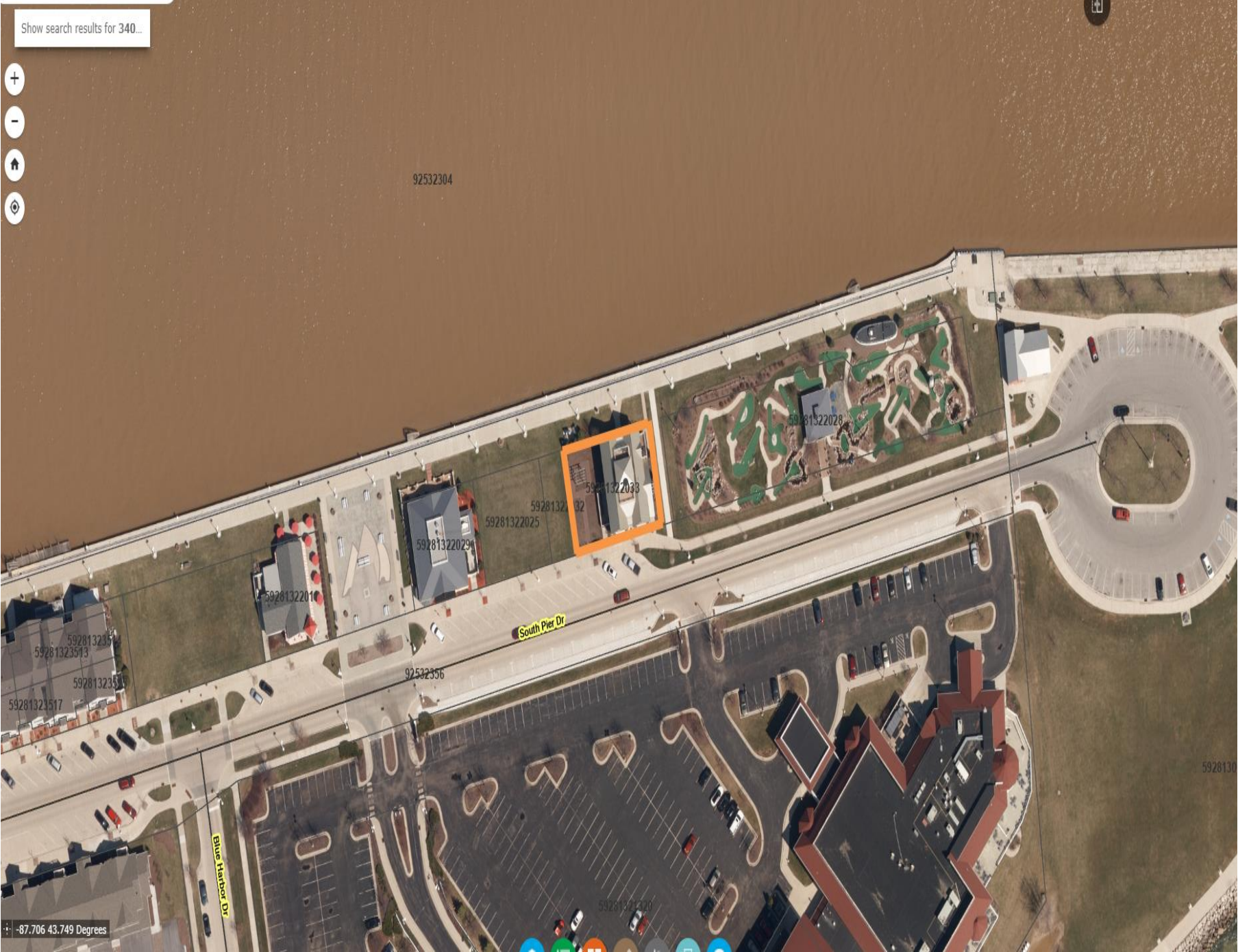
ENCROACHMENT EXHIBIT

FOR: Grateful Properties, LLC

East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.

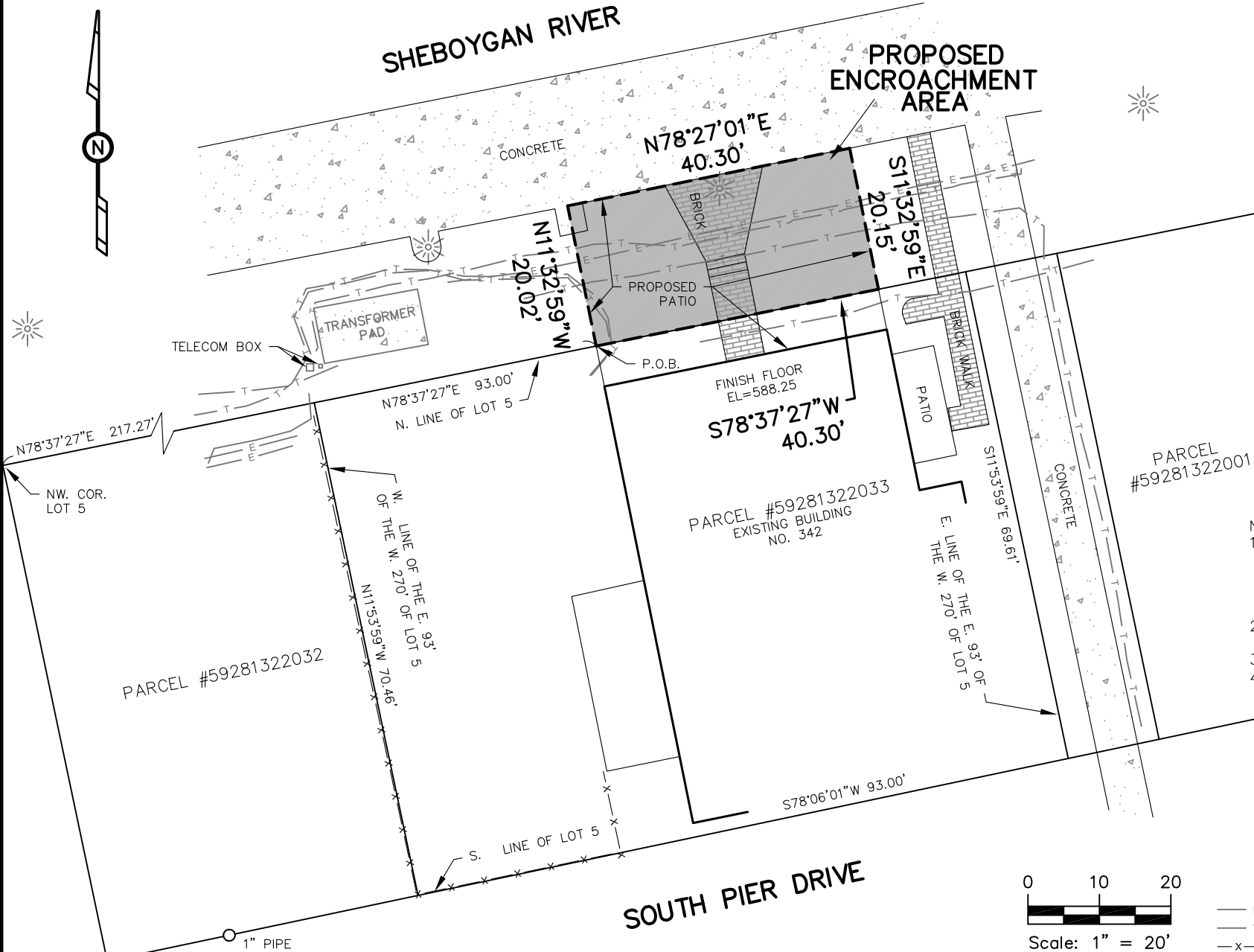






ENCROACHMENT EXHIBIT

FOR: Quasius Construction
East 93' of the West 270' of Lot 5, South Pier Subdivision, Part of the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin.



Legal Description of Encroachment Area

Part of Lot 5 of South Pier Subdivision, located in the Southeast Fraction of the Southeast 1/4 of Section 23, and part of Government Lot 1 in Section 26, T15N, R23E, City of Sheboygan, Sheboygan County, Wisconsin described as follows:

Commencing at the Northwest Corner of Lot 5 of said Subdivision; thence N78°37'27"E 217.27 feet along the North line of said Lot 5 to the POINT OF BEGINNING of this description; thence N11°32'59"W 20.02 feet; thence N78°27'01"E 40.30 feet; thence S11°32'59"E 20.15 feet to the North line of said Lot 5; thence S78°37'27"W 40.30 feet along said North line to the point of beginning. This described portion contains 809 square feet or 0.019 acres.

- NOTES:
1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS HOTLINE AND SHOULD NOT BE INTERPRETED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.
 2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.
 3. BEARINGS ARE BASED ON SHEBOYGAN COUNTY COORDINATE SYSTEM.
 4. ELEVATIONS ARE NAVD88(GEOID12B).

LEGEND

- ⊙ = County Monument
- = Iron Stake Found
- = Iron Stake Set
- ☼ = Light Pole
- E— = Electric Line
- T— = Telecom Line
- x—x— = Fence

941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

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EXISTING PHOTOS + WEST BUILDING PLAN

