



# ARCHITECTURAL REVIEW BOARD AGENDA

**March 27, 2023 at 4:00 PM**

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,  
Sheboygan, WI**

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Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377.

## OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify Potential Conflict of Interest

## MINUTES

- [4.](#) Approval of the Architectural Review Board minutes from March 13, 2023

## ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- [5.](#) Construction of a new car wash, quick lube and emission testing facility at the Sheboygan Auto Group property located at 2701 Washington Avenue (the Sheboygan Chrysler Center).

## NEXT MEETING

6. April 10, 2023

## ADJOURN

7. Motion to Adjourn

***In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:***

*City Hall • Mead Public Library  
Sheboygan County Administration Building • City's website*

**CITY OF SHEBOYGAN****ARCHITECTURAL REVIEW BOARD MINUTES****Monday, March 13, 2023**

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**Members Present:** Joe Clarke, Dave Aldag, Pam Langan, Robert Heimerl, and Richard Linde**Excused:** Jerry Jones and Alderperson Zachary Rust**Staff/Officials:** Manager of Planning & Zoning Steve Sokolowski**OPENING OF MEETING**

1. Roll Call

Chair Joe Clarke called the meeting to order.

2. Pledge of Allegiance

The Pledge is recited.

3. Identify Potential Conflict of Interest

No committee member had a conflict of interest

**MINUTES**

4. Approval of the Architectural Review Board minutes from December 12, 2022

Motion by Dave Aldag, second by Richard Linde to approve. Motion carried.

**ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

5. Construction of the Berkshire Sheboygan Riverfront apartments and townhomes at the northeast corner of the S. 10th Street and Indiana Avenue intersection.

Motion by Richard Linde, second by Pam Langan to approve as presented. Motion carried.

6. General Discussion on Architectural Review Board Process.

Policy, procedure, concept and ideas were discussed.

Robert Heimerl arrived at 4:29pm.

**NEXT MEETING**

7. March 27, 2023

**ADJOURN**

8. Motion to Adjourn

Motion by Dave Aldag, second by Pam Langan to adjourn. Motion carried.

Being no further business, the meeting is adjourned at 4:31 pm.

## CITY OF SHEBOYGAN

## REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

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**ITEM DESCRIPTION:** Construction of a new car wash, quick lube and emission testing facility at the Sheboygan Auto Group property located at 2701 Washington Avenue (the Sheboygan Chrysler Center).

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**REPORT PREPARED BY:** Steve Sokolowski, Manager of Planning and Zoning

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**REPORT DATE:** March 24, 2023

**MEETING DATE:** March 27, 2023

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**FISCAL SUMMARY:**

Budget Line Item:	N/A
Budget Summary:	N/A
Budgeted Expenditure:	N/A
Budgeted Revenue:	N/A

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**STATUTORY REFERENCE:**

Wisconsin	N/A
Statutes:	
Municipal Code:	N/A

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**BACKGROUND / ANALYSIS:**

In September of 2022, the Architectural Review Board approved architectural elevation drawings by HR Construction Company to construct and operate a new car wash, quick lube and emission testing facility at the Sheboygan Auto Group property located at 2701 Washington Avenue (the Sheboygan Chrysler Center). However, due to budgeting, 1-carwash bay (16') on the east side of the building has been removed. The project is being resubmitted to obtain new approvals with the updated design and the applicant states the following:

- Presently there is the Sheboygan Chrysler Center 2-bay carwash facility and the Sheboygan Quick Lube Plus 4-bay quick lube facility located at 2701 Washington Avenue (in addition to the auto sales/repair facilities). These are two (2) separate facilities.
- Sheboygan Auto Group is proposing to demolish the existing two (2) buildings in order to construct one (1) new facility. The new facility would incorporate these services into one (1) new building (car wash, quick lube and emission testing services).
- The new building will be 7,314 sf (64 x 113) and is proposed to be constructed in approximately the same general location of the demolished buildings. Site disturbance will total 0.70 acres.
- The location on Washington Avenue is a heavily traveled commercial corridor through the City with excellent visibility and access.
- The proposed development timeline is a March 2023 start with an anticipated completion date of September 2023.

The applicant states the following about the architecture:

- The proposed development will include a single-story building with a 7,314sf footprint, and vehicle queue lanes for entering/exiting the service/carwash facility.
- Exterior finishes will be made of a mixture of pre-finished metal wall panels, as well as aluminum with clear glazing. The roof will have parapet wall heights that screen any rooftop equipment.
- Exterior finishes will be made of a mixture of EIFS, Aluminum Composite Material (ACM) panels (colors of champagne, black and light bronze) and aluminum with clear glazing.
- The shape of the building is designed to illustrate hierarchy and separation between the three elements of the facility (Lobby, Service, Car Wash) rather than portray as a singular overbearing mass so close to the street. Variations in color and depth of the envelope system, while also attributing to breaking up the larger mass into smaller pieces, uses similar materials and colors as the adjacent dealerships on the site. The addition of a tertiary accent color relates to each dealership having their own accent colors, but different enough as the new facility is agnostic of a specific automotive brand. The use of large glass overhead doors aligned on the north and south facades allow light and line-of-sight to travel through the façade, further softening the visual impact of an otherwise solid mass.
- Rooftop mechanicals will be screened with a building parapet and the exterior transformer will be screened with plantings.
- The architectural style of the building will fit in and compliment surrounding commercial developments.

#### **STAFF COMMENTS:**

The board should be aware that the buildings functional front is the south side of the building facing the interior of the lot and the functional rear is the north side of the building facing Washington Ave. Thus, it will be important that the rear/north elevation and east and west side elevations are well designed because this is what you will see from Washington Ave.

The Board may want to have the applicant address:

- The applicant writes that there will be no dumpster enclosure, however, the site plan shows a location (northwest corner of the building) and a design (masonry). The Board may just want the applicant to verify that a dumpster enclosure is going to be constructed as depicted on the plans (gate material?).
- Appears the proposed colors of the Sheboygan Quick Lube Plus building are bit different than the other Sheboygan Auto Group facilities on the property. How does the applicant believe the designs, materials and colors are compatible with the rest of the buildings on these properties?

- The applicant states there will be a seven (7) foot tall parapet on the building to screen mechanicals, however, the car wash portion of the building has a lower roof line. Will the rooftop mechanicals on the car wash portion of the building be seen and/or screened?

**ACTION REQUESTED:**

Motion to approve with possible amendments as determined by the Board.

**ATTACHMENTS:**

Architectural Review Board Application and required attachments.



**CITY OF SHEBOYGAN**  
**ARCHITECTURAL REVIEW**  
**APPLICATION**

Item 5.  
Fee: \_\_\_\_\_  
Review Date: \_\_\_\_\_  
Zoning: \_\_\_\_\_

Read all instructions before completing. If additional space is needed, attach additional pages.

**SECTION 1: Applicant/ Permittee Information**

Name (Ind., Org. or Entity) H & R Construction Co.	Authorized Representative Nate Herbst	Title Owner's Representative	
Mailing Address 307 E. 39 <sup>th</sup> Street	City South Sioux City	State NE	ZIP Code 68776
Email Address nherbst@hnrco.com	Phone Number (incl. area code) 712-203-0394		

**SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)**

Name (Ind., Org. or Entity) Sheboygan Auto Group	Contact Person John Berger	Title GM	
Mailing Address 2701 Washington Ave	City Sheboygan	State WI	ZIP Code 53081
Email Address john.berger@sheboyganauto.com	Phone Number (incl. area code) 262-305-9081		

**SECTION 3: Architect Information**

Name designArc Group			
Mailing Address 434 5th St. Suite 1	City Brookings	State SD	Zip 57006
Email Address kyle@designarcgroup.com	Phone Number (incl. area code) 605-696-7581		


**SECTION 4: Contractor Information**

Name H & R Construction Co.			
Mailing Address 307 E. 39 <sup>th</sup> Street	City South Sioux City	State NE	Zip 68776
Email Address nherbst@hnrco.com	Phone Number (incl. area code) 402-412-3550		

**SECTION 5: Certification and Permission**

**Certification:** I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

**Permission:** I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Nate Herbst	Title Owner's Representative	Phone Number 402-412-3550
Signature of Applicant 		Date Signed 3/3/2023

Digitally signed by Nate Herbst  
DN: C=US,  
E=nherbst@hnrco.com, O=H & R  
Construction Co., CN=Nate Herbst  
Date: 2023.03.03 11:59:56 -0500

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

**SECTION 6: Description of the Subject Site/Proposed Project**

Project Address/Description	2701 Washington Ave	Parcel No. 59281431772
Name of Proposed/Existing Business:	Sheboygan Auto Group	
Address of Property Affected:	2701 Washington Ave	
Zoning Classification:	SC-Suburban Commercial District	
New Building:	<input checked="" type="checkbox"/>	Addition: <input type="checkbox"/> Remodeling: <input type="checkbox"/>

**SECTION 7: Description of Proposed Project**

New building with carwash, emissions testing and quick lube facility to service existing Sheboygan Auto use. Existing 2 buildings with these facilities on site to be demolished and 1 new combined building is proposed.

**SECTION 8: Description of EXISTING Exterior Design and Materials**

Existing 2 buildings in the area to be demolished.

**SECTION 9: Description of the PROPOSED Exterior Design and Materials**

See narrative

March 7, 2023

## **CUP & Architectural Review Project Description**

### **PROJECT NAME AND EXISTING SITE ADDRESS:**

Sheboygan Auto Group  
2701 Washington Ave  
Sheboygan, WI 53081

### **PARCEL INFORMATION/ZONING CLASSIFICATION/SITE DATA**

Parcel - 59281431772  
SC-Suburban Commercial District  
Total area of parcel is 10.4 acres

### **EXISTING SITE CONDITIONS/LAND USE:**

- Site is existing Sheboygan Auto Group dealership, repair center, quick lube plus, and car wash.

### **PROPOSED USE:**

- No change in use is proposed.

### **SITE SELECTION**

- Sheboygan Auto Group is already in operation at this parcel.

### **DESCRIPTION OF SITE IMPROVEMENTS:**

- This project previously had Plan Commission approval for a Conditional Use Permit, Architectural Review Board approval, landscape approval and erosion control approval. Due to budgeting, 1 car wash bay (16') on the east side of the building has been removed. The project is being resubmitted to obtain new approvals with the updated design.
- Two (2) existing buildings containing existing car wash facility and quick lube facility to be demolished.
- New building 7,314 SF building proposed in the same general location of the demolished buildings. The new building will contain one (1) location for a car wash, quick lube & emission testing facility.
- No access changes are proposed. However, there will be new paving and parking proposed where the existing service building is, and the entire lot is planned to restriped. The delta between existing and proposed is within a few percent. The proposed parking configuration will gain some spaces where the existing service building is, but ultimately will lose spaces for the extended queue length.
- Site disturbance will total 0.70 acres.
- New utility connections will be made onsite to the existing utility services.
- The project is a redevelopment site with no increase in exposed parking or roads and is therefore exempt from stormwater requirements. Stormwater from the site will be directed towards proposed inlets and will outfall in the ROW. The project will be less than one (1) acre of disturbance, not requiring an NOI with Wisconsin DNR.
- Landscaping will be provided in accordance with the City ordinance, in an approach which ensures species resiliency and complimentary aesthetics. Consistent with the existing



landscaping variance for the site, bufferyards will not be provided due to the existing paving extents onsite. New landscaping will be provided within the islands adjacent to the building.

- Site lighting will comply with the City ordinance in a fashion that provides appropriate light intensity for safety with cut-off fixtures for minimal light trespass.
- Waste enclosure – no new enclosure is needed.
- All required building setback requirements are met.
- Rooftop mechanicals will be screened with a building parapet and the exterior transformer will be screened with plantings.

#### EXPLANATION BUSINESS ACTIVITIES:

- The car wash/quick lube facility will be open Monday-Friday, 7 AM – 5:30 PM. Saturday, 7:30 AM – 12:00 PM.
- The current number of employees at the facility is 15-20. No new additional employees are proposed as part of the project.
- The new facility will be available for use by the general public via drive-through service for instant oil change, instant emissions testing. Car washes will be provided within the single east most service bay dedicated to dealership vehicle washes.
- Projected number of daily customers: +/-100
- Bulk Oil will be stored in a containment area in the basement of the new facility. Waste oil will also be stored in this manner. All fluids stored in bulk will be filled or removed (bulk oil) about once every two months based on current and projected demand.

#### PARKING REQUIREMENTS:

- Total Parking Provided: site will be serviced by the existing onsite parking; the new building will not create any additional parking demand.

#### HOW WILL SITE BE SERVICED WITH STREETS AND UTILITIES:

- The existing ingress/egress drives will remain as currently constructed and will continue to provide adequate service to the site.
- A three-quarter inch (3/4") water service line exists to the existing buildings and is proposed to be tied into for the proposed building.
- A six-inch (6") sanitary sewer service line exists for the existing car wash/quick lube and will be connected to with the proposed building.

#### PROPOSED TRAFFIC IMPACTS TO ADJOINING STREETS IN THE NEIGHBORHOOD BASED ON THIS DEVELOPMENT:

- No negative traffic impacts to the neighborhood are anticipated as no change in use is proposed.

#### PROPOSED SIGNAGE:

- No new ground signage is proposed with this project.
- Building signage will be included on the northern and southern elevations. This building mounted signage will be permitted separately by the chosen sign vendor.

#### DESCRIPTION OF THE GENERAL ORIENTATION, DESIGN, ARRANGEMENT, TEXTURE, MATERIAL AND COLOR OF THE BUILDING OR STRUCTURE AND HOW IT IS COMPATIBLE WITH THE DEVELOPMENT IN AND AROUND THE AREA:

- The proposed development will include a single-story building with a 7,314 square foot footprint, and vehicle queue lanes for entering and exiting the service/carwash facility. Exterior finishes will be made of a mixture of pre-finished metal wall panels, as well as aluminum with clear glazing. The roof will have parapet wall heights that screen any rooftop equipment.
- The shape of the building is designed to illustrate hierarchy and separation between the three elements of the facility (Lobby, Service, Car Wash) rather than portray as a singular overbearing mass so close to the street. Variations in color and depth of the envelope system, while also attributing to breaking up the larger mass into smaller pieces, uses similar materials and colors as the adjacent dealerships on the site. The addition of a tertiary accent color relates to each dealership having their own accent colors, but different enough as the new facility is agnostic of a specific automotive brand. The use of large glass overhead doors aligned on the north and south facades allow light and line-of-sight to travel through the façade, further softening the visual impact of an otherwise solid mass.

#### POTENTIAL NUISANCES TO ADJOINING PROPERTY OWNERS:

- The proposed development will have no negative impacts to the neighborhood.
- No outside storage is proposed.
- Site lighting will meet City light intensity requirements and cut-off fixtures will be used for minimal light trespass.
- The architectural style of the building will fit in and compliment surrounding commercial developments.

#### ESTIMATED VALUE OF PROJECT:

- Approximately \$2.8M

#### CONSTRUCTION TIMELINE:

- The proposed development timeline is a March 2023 start with an anticipated completion date of September 2023.

#### VARIANCE REQUESTS

- Exception to the landscape bufferyard requirements is requested; these were previously approved via a landscape variance granted in 2018.
- Exception to the internal landscape/greenspace percentage of 25% is being requested for this portion of the site. This also was approved as a variance with the 2018 plans. The project will slightly decrease impervious area onsite and increase greenspace from the existing amount within the project area.
- Exception to the maximum number of signs for this site is also being requested. Within the Suburban Commercial (SC) Zoning District, a maximum of four (4) on-building signs are allowed for each fronting business for all walls not directly abutting a residentially zoned property. The existing Chrysler, Dodge, Jeep, RAM dealership building currently already exceeds this standard. The proposed additional service and carwash building proposes to add six (6) additional on-building signs for the purpose of identification, direction, and advertising necessary to alert business patrons of location, services, and products provided at this specific site. This will include the signage shown on the proposed north and south elevations along with smaller way-finding signage over each bay door on the entry side of the facility (south / non street side) so that customers can identify the three lube bays from the emission test bay.

HOW IS THE PROPOSED CONDITIONAL USE (INDEPENDENT OF ITS LOCATION) IN HARMONY WITH THE PURPOSES, GOALS, OBJECTIVES, POLICIES AND STANDARDS OF THE CITY OF SHEBOYGAN COMPREHENSIVE MASTER PLAN?

- The City of Sheboygan Comprehensive Plan Future Land Use Map designates this property as “Community Mixed-Use”. The existing and proposed use is consistent with the Plan, provides needed services to the public, and is therefore consistent with the purposes, goals, objectives, policies, and standards of the Plan.

DOES THE CONDITIONAL USE, IN ITS PROPOSED LOCATION, RESULT IN ANY SUBSTANTIAL OR UNDUE ADVERSE IMPACT ON NEARBY PROPERTY, THE CHARACTER OF THE NEIGHBORHOOD, ENVIRONMENT, TRAFFIC, PARKING, PUBLIC IMPROVEMENTS, PUBLIC PROPERTY OR RIGHTS-OF WAY?

- No negative impacts to neighboring properties, environment, traffic, or the public are anticipated from the proposed project. The project will combine the current uses with an additional needed service in one efficient and attractive facility. The proposed demolition of existing 2 buildings and the areas to be regraded for new paving, parking spaces, and queuing lanes for the service facility will offer improvement to current issues on the existing site. Currently the queue for service gets quite backed up which causes traffic issues on the property. The new facility features a significantly longer queue depth and brings that traffic farther away from the main street.

HOW DOES THE PROPOSED CONDITIONAL USE MAINTAIN THE DESIRED CONSISTENCY OF LAND USES IN RELATION TO THE SETTING WITHIN WHICH THE PROPERTY IS LOCATED?

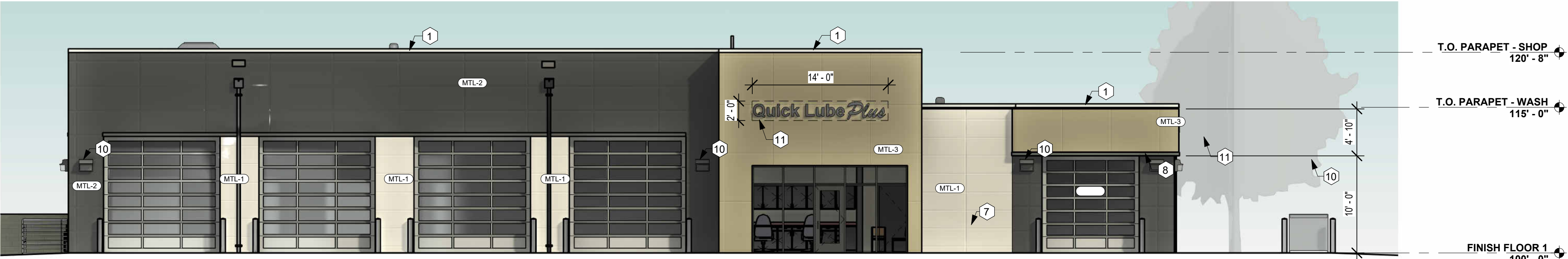
- The proposed project is not requesting a change in use and the use will be consistent with the existing Sheboygan Automotive use.

IS THE PROPOSED CONDITIONAL USE LOCATED IN AN AREA THAT WILL BE ADEQUATELY SERVED BY UTILITIES, OR SERVICES PROVIDED BY PUBLIC AGENCIES? IF NOT, PLEASE EXPLAIN.

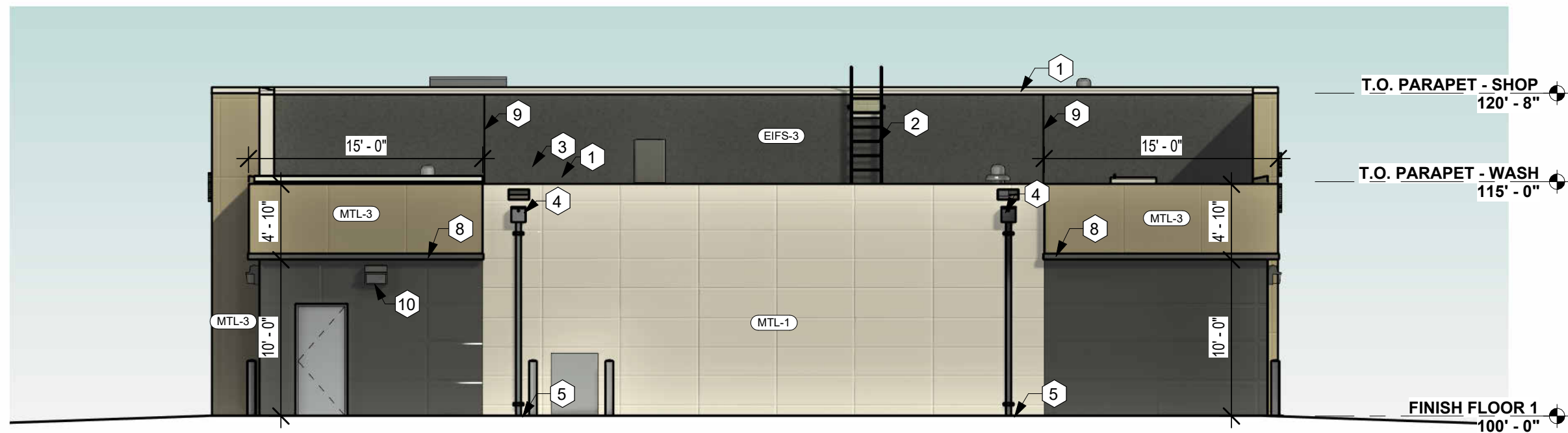
- Yes, existing utility services are in place and will be utilized for the new building.



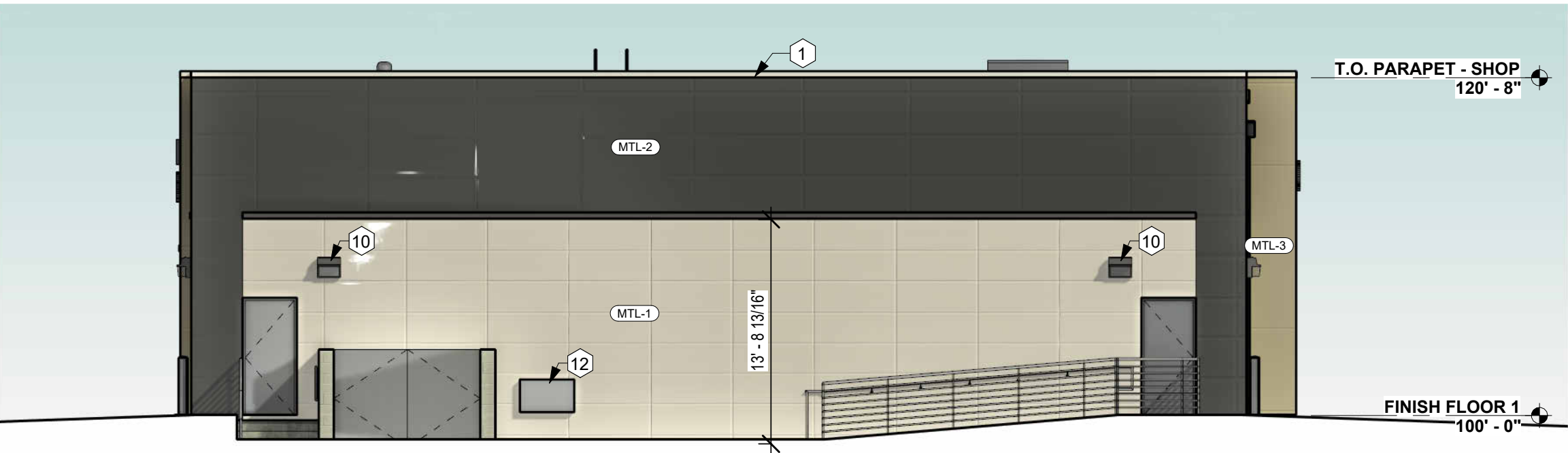
1 BUILDING ELEVATION - North  
1/8" = 1'-0"



2 BUILDING ELEVATION - South  
1/8" = 1'-0"



3 BUILDING ELEVATION - East  
1/8" = 1'-0"



4 BUILDING ELEVATION - West  
1/8" = 1'-0"

GENERAL NOTES - BUILDING ELEVATIONS

- A. EXTERIOR LIGHTING INDICATED FOR PLACEMENT ONLY. SEE ELEC. FOR LIGHTING SPECIFICATIONS.
- B. SEE SPECIFICATIONS FOR FULL REQUIREMENTS FOR EXTERIOR BUILDING MATERIALS. MATERIALS INDICATED GENERICALLY ON PLANS FOR CLARITY.
- C. INSTALL ALL EXTERIOR BUILDING PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

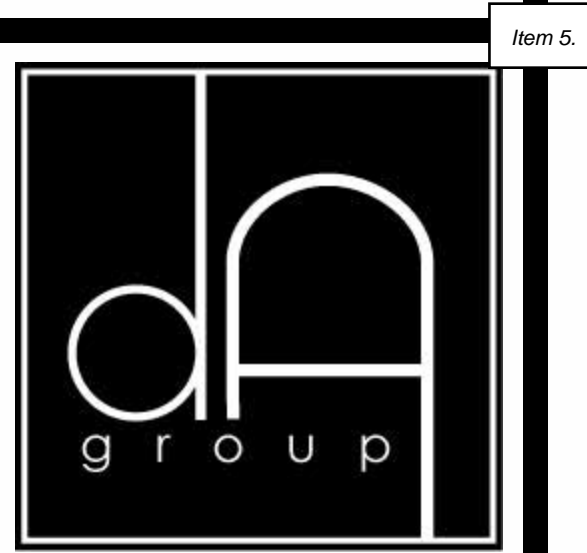
KEYNOTES - BUILDING ELEVATIONS

1. PREFINISHED METAL PARAPET CAP FLASHING, SEE TYPICAL DETAILS.
2. ROOF TRANSITION LADDER, FABRICATOR TO DESIGN TO MEET ALL OSHA REQUIREMENTS. VERIFY ACTUAL TRANSITION HEIGHTS IN FIELD AFTER INSULATION INSTALL.
3. MECHANICAL ROOFTOP EQUIPMENT (SEE MECH).
4. MIN. 8" x 16" OVERFLOW ROOF SCUPPER W/ RAIN LEADER, SLEEVE INTO -STS- LINE PER CIVIL DRAWINGS. CONFIRM ACTUAL WALL OPENING HEIGHT IN FIELD W/ HEIGHT OF INSULATION PROVIDED.
5. PRECAST CONC. SPLASHBLOCKS AT ALL DOWNSPOUTS UNLESS TYING DIRECTLY INTO -STS- LINE.
6. BUILDING PREMISES IDENTIFICATION, OWNER TO CONFIRM EXACT LOCATIONS.
7. FIRE DEPARTMENT ACCESS KEY BOX, COORDINATE EXACT LOCATION W/ LOCAL FIRE DEPT.
8. 4" METAL TRIM BOARD.
9. EIFS 3/4" V-GROOVE CONTROL JOINT.
10. EXTERIOR BUILDING LIGHTING (SEE ELEC).
11. BUILDING SIGNAGE, SHOWN ON DRAWINGS FOR LOCATION REFERENCE ONLY, DESIGN BY OTHERS, TO BE IN SEPARATE PERMITTING PACKAGE. DESIGNER TO VERIFY ALL LOCAL ZONING SIGNAGE REQUIREMENTS.
12. PRODUCT FILLING AND WASTE OIL EMPTYING STATION.
13. OVERFLOW/ROOF DRAIN, SEE 7 / AS 4.
14. NEW TRANSFORMER LOCATION (SEE CIVIL AND ELECTRICAL DRAWINGS).

EXTERIOR MATERIALS LEGEND

MATERIAL MARK	MATERIAL DESCRIPTION	COMMENTS
EIFS-3	EIFS Finish over 1-1/2" insulation, STO 800 Series, fine texture	MATCH MRL-2 FINISH COLOR
MTL-1	Concealed Fastener ACM panel, 3" x 9"	CMX CHAMPAGNE METALLIC
MTL-2	Concealed Fastener ACM Panel, 2" x 6"	SBR DARK BRONZE
MTL-3	Concealed Fastener ACM Panel, 5" x 5"	METALLIC BRONZE

FOR PERMITTING & CONSTRUCTION



Architecture | Planning | Interiors

434 5th Street, Suite 1  
Brookings, SD 57006 | P: 605.692.4008

2301 W. Russell St, Ste. 1  
Sioux Falls, SD 57104 | P: 605.692.4008

STAMP:



DATE:  
03/02/2022

REVISIONS:  
NO. DESCRIPTION:  
2 STATE REVIEW COMMENTS

SHEET NAME:  
COLOR BUILDING ELEVATIONS

PROJECT NO.  
DA22\_041

DEALERSHIP,  
QUICK-LUBE & CAR  
WASH  
SHEBOYGAN, WI

PROJECT MANAGER:  
KYLE JAMISON

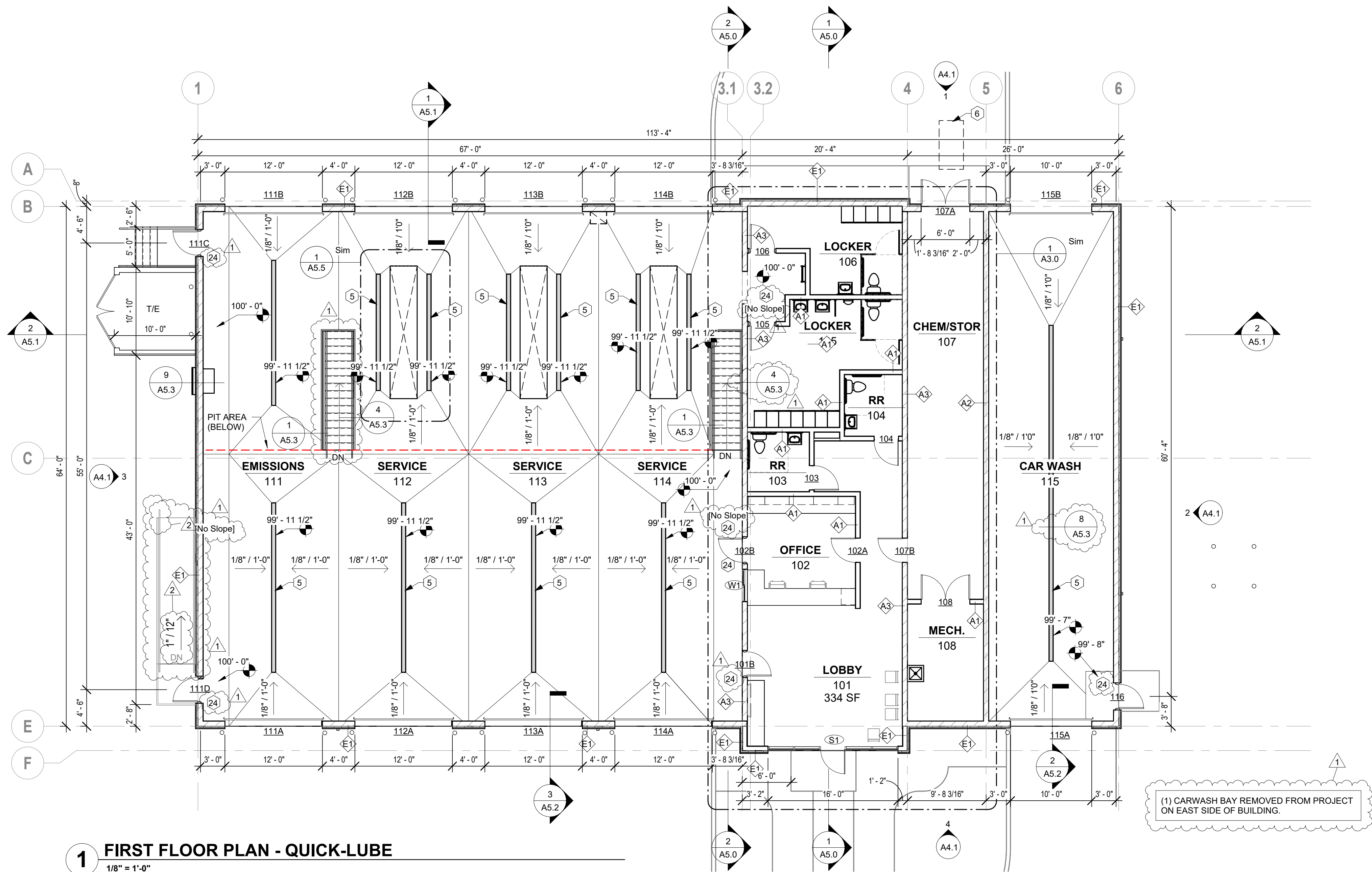
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11.08.2022

SHEET:

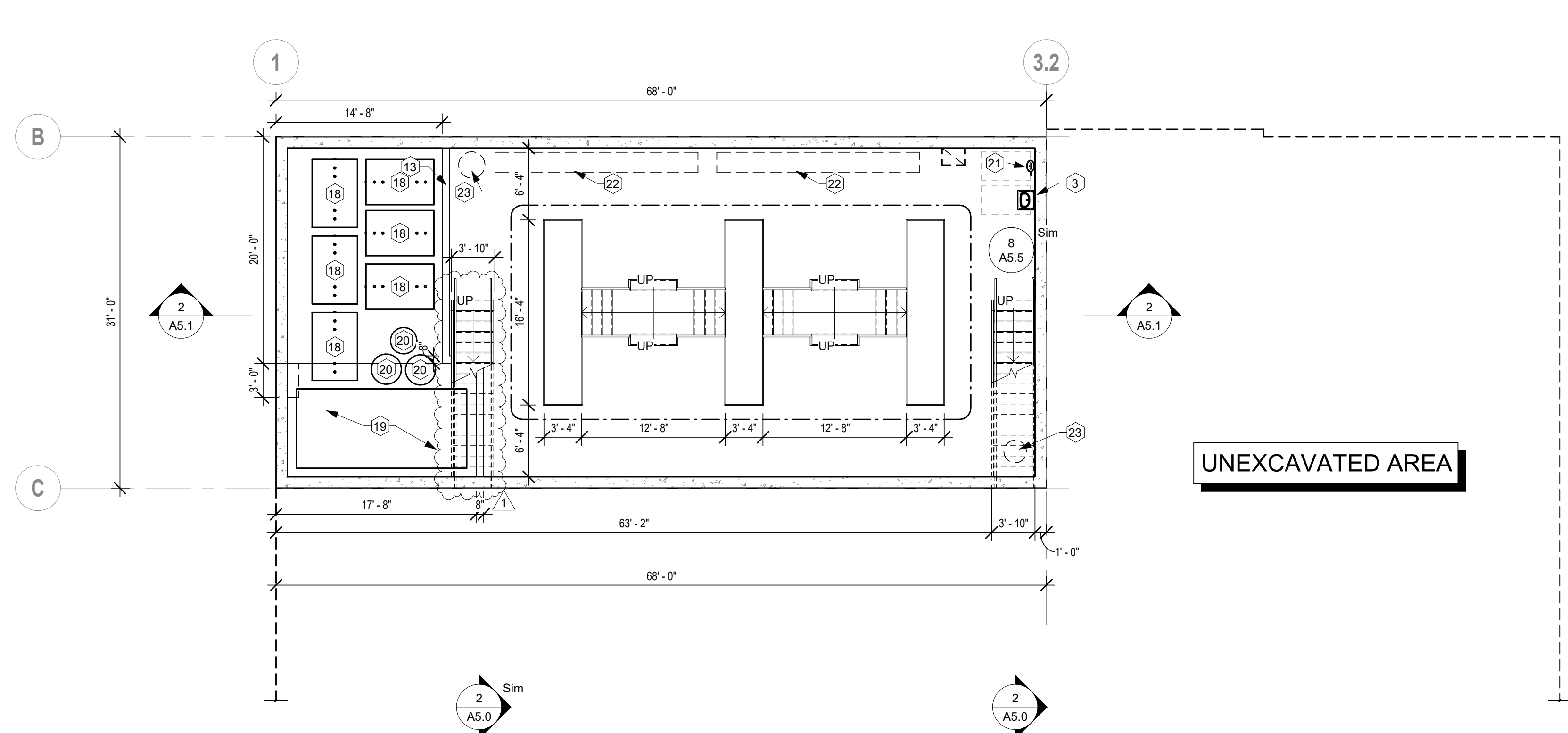
A4.2

FULL SCALE: 24x36  
HALF SCALE: 12x18  
DRAWING MAY NOT BE PRINTED TO SCALE





1 FIRST FLOOR PLAN - QUICK-LUBE  
1/8" = 1'-0"



2 PIT LEVEL FLOOR PLAN - QUICK-LUBE  
1/8" = 1'-0"

## GENERAL NOTES - FLOOR PLANS

- ALL DIMENSIONS FROM FACE OF STUD UNLESS CLEARLY NOTED OTHERWISE.
- ALL INTERIOR WALL TYPES TO BE WALL TYPE 'A1' UNLESS OTHERWISE NOTED. WALL TYPES LISTED ON SHEET T1.3.
- FLOOR FINISH TRANSITIONS TO BE 1/4" MAX. BETWEEN FINISH HEIGHTS.
- VERIFY ALL APPLIANCE DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.
- PROVIDE WATER-RESISTANT GYP. BD. AT ALL BATHROOM WALL SURFACES UNLESS CLEARLY NOTED OTHERWISE. MAINTAIN FIRE-RESISTANCE RATING, WHERE REQ'D.
- CAULK PERIMETER OF ALL BACKSPLASHES. CAULK JOINT TO BE CLEAR OR MATCH COLOR OF ADJ. WALL FINISH.
- SEE SHEET A7.1 FOR DOOR/WINDOW/FRAME ELEVATIONS, DOOR SCHEDULE AND WINDOW SCHEDULE.
- SEE ROOM FINISH SCHEDULE ON SHEET A7.1 FOR ALL INTERIOR FINISHES TO BE PROVIDED.
- MOVABLE FURNITURE SHOWN AS REFERENCE ONLY (NOT IN CONTRACT).
- PROVIDE CORNER GUARDS AT ALL INTERIOR OUTSIDE-CORNER APPLICATIONS EQUAL TO OR GREATER THAN 90 DEGREES.

## KEYNOTES - FLOOR PLANS

- CAR WASH EQUIPMENT. SEE SUPPLIER DRAWINGS.
- UNDER-COUNTER BEVERAGE FRIDGE FOR COMPLIMENTARY BOTTLED WATER IN LOBBY, PROVIDED BY OWNER.
- COFFEE STATION.
- ACCESSIBLE GRAB BARS. SEE ADA REQUIREMENTS FOR MOUNTING HEIGHTS REQUIRED.
- TRENCH DRAIN (SEE MECH).
- OIL/SAND SEPARATOR (SEE MECH).
- LOCKERS PROVIDED BY OWNER, INSTALLED BY G.C.
- WALL-MOUNTED FLAT SCREEN TV MONITOR BY OWNER, MOUNT @ 6'-0" AFF.
- DESIGNATED BUILDING FIRE SPRINKLER RISER LOCATION (SEE MECH).
- ELECTRICAL PANEL LOCATION (SEE ELEC).
- FACP (SEE ELEC).
- 24" x 24" MOP SINK (SEE MECH).
- PARTIAL HEIGHT WALL.
- WATER HEATER LOCATION (SEE MECH).
- ROOF HATCH AND LADDER LOCATION.
- WALL-MOUNTED FLAT SCREEN TV MONITOR BY OWNER, MOUNT @ 6'-0" AFF.
- 42" H GUARDRAIL.
- METAL FRESH-PRODUCT STORAGE TANKS, TO BE PLACED PRIOR TO INSTALLATION OF CORE-FLOOR ABOVE. PROVIDED AND INSTALLED BY AUTOMOTIVE EQUIPMENT CONTRACTOR.
- METAL WASTE-OIL STORAGE TANK, TO BE PLACED PRIOR TO INSTALLATION OF CORE-FLOOR ABOVE. PROVIDED AND INSTALLED BY AUTOMOTIVE EQUIPMENT CONTRACTOR.
- POLY STORAGE TANKS FOR WASHER FLUID, DEF. & ANTIFREEZE, PROVIDED AND INSTALLED BY AUTOMOTIVE EQUIPMENT CONTRACTOR.
- EYE-WASH STATION (SEE MECH.).
- SHELVING, PROVIDED AND INSTALLED BY AUTOMOTIVE EQUIPMENT CONTRACTOR.
- SUMP PIT (SEE MECH.).
- CLEAR FLOOR SPACE AT EGRESS DOORS AND STAIR LANDINGS MUST NOT SLOPE. ADJACENT SLOPING FLOORS MAX. 1:20

## FLOOR PLAN LEGEND:

- INDICATES ACCESSIBLE ROOM
- INDICATES HEARING IMPAIRED ROOM, SEE ELECTRICAL.
- WALL TYPE, SEE SHEET T1.3.
- WINDOW / STOREFRONT TYPE, SEE SHEET A7.1.
- DOOR #, SEE SHEET A7.1.
- DOOR APPROACH FOR ADA CLEARANCES
- SHEAR WALL, SEE STRUCT.
- FD FLOOR DRAIN, SEE MECH.
- FS FLOOR SINK, SEE MECH.
- DS DOWNSPOUT

NOTE: NOT ALL DESIGNATIONS WILL APPEAR.



FOR PERMITTING & CONSTRUCTION



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STAMP:



DATE:  
02/03/2022  
03/02/2022

REVISIONS:  
NO. DESCRIPTION:  
1 STATE REVIEW COMMENTS  
2 STATE REVIEW COMMENTS

SHEET NAME:  
FLOOR PLANS

PROJECT NO.  
DA22\_041

DEALERSHIP,  
QUICK-LUBE & CAR  
WASH

PROJECT MANAGER:  
KYLE JAMISON

DATE:  
11.08.2022

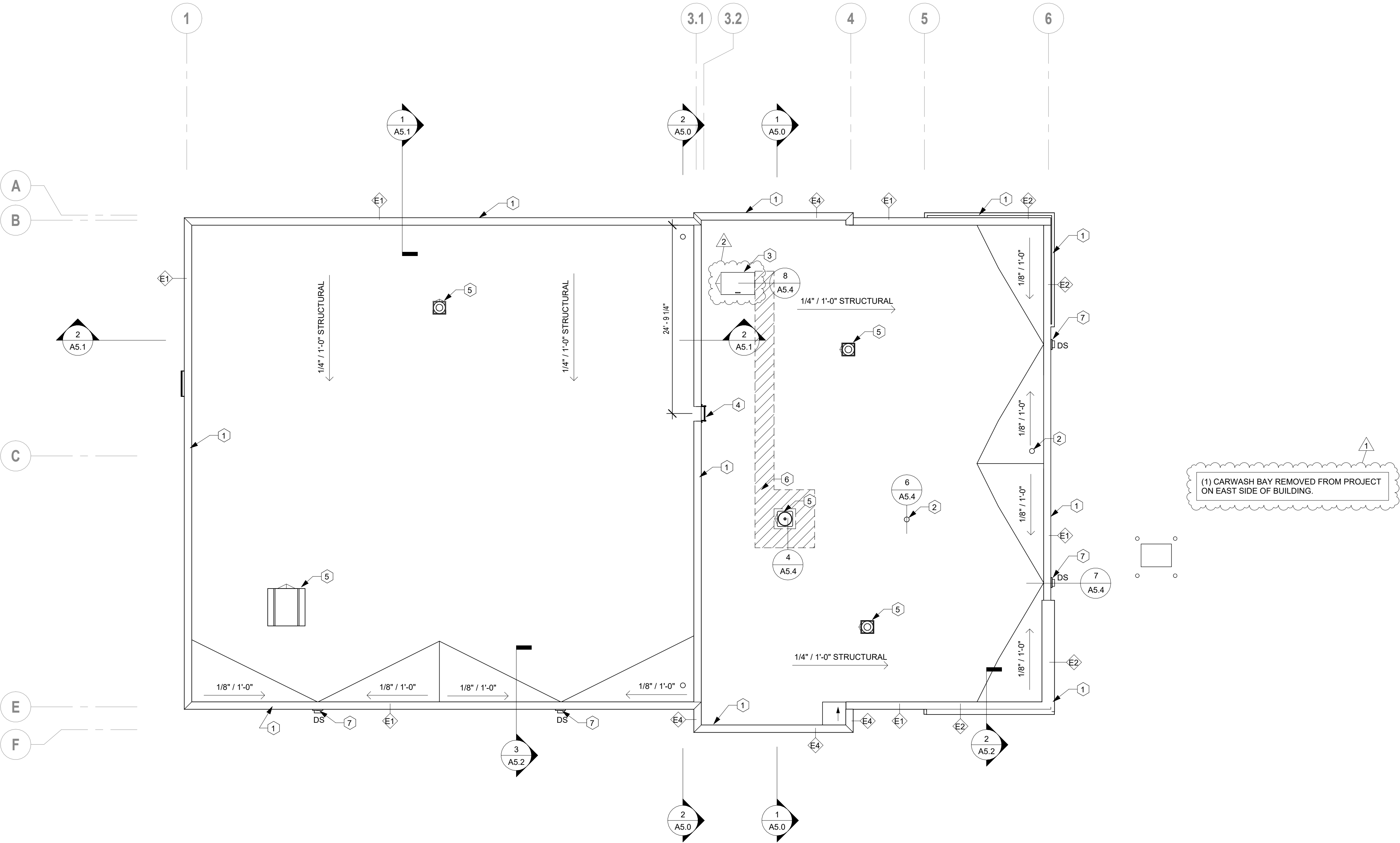
SHEET:

A1.1

FULL SCALE: 24x36  
HALF SCALE: 12x18  
DRAWING MAY NOT BE PRINTED TO SCALE

1 ROOF PLAN - QUICK-LUBE

1/8" = 1'-0"



GENERAL NOTES - ROOF PLAN

- A. ALL THRU-WALL SCUPPERS TO TIE INTO STORM WATER COLLECTION (SEE CIVIL).  
B. ROOF CRICKET INSULATION @ 1/8" PER FOOT SLOPE, SLOPE TO DRAIN IN PATTERN SHOWN.

KEYNOTES - ROOF PLAN

1. PREFINISHED METAL PARAPET CAP FLASHING, SEE TYPICAL DETAILS.  
2. THRU-VENT (SEE MECH FOR LOCATION; SEE 6 / A5.4 FOR DETAIL)  
3. ROOF HATCH & LADDER LOCATION.  
4. ROOF TRANSITION LADDER, FABRICATOR TO DESIGN TO MEET ALL OSHA REQUIREMENTS. VERIFY ACTUAL TRANSITION HEIGHTS IN FIELD AFTER INSULATION INSTALL.  
5. MECHANICAL ROOFTOP EQUIPMENT (SEE MECH).  
6. PROVIDE 30" SQ. WALKING PADS BETWEEN ALL ROOFTOP EQUIPMENT AND LADDERS/HATCHES, PROVIDE DOUBLED-UP WALKING PADS FOR 60" WIDTH AT MECHANICAL EQUIPMENT.  
7. MIN. 8" x 16" THRU-WALL SCUPPER W/ RAIN LEADER, SLEEVE INTO STS- LINE PER CIVIL DRAWINGS. CONFIRM ACTUAL WALL OPENING HEIGHT IN FIELD W/ HEIGHT OF INSULATION PROVIDED.

ROOF PLAN LEGEND:

DS	DOWNSPOUT
RD	ROOF DRAIN, SEE MECH.
ORD	OVERFLOW ROOF DRAIN, SEE MECH.
ORS	OVERFLOW ROOF SCUPPER, SEE DETAIL.

NOTE: NOT ALL DESIGNATIONS WILL APPEAR.



Architecture | Planning | Interiors

434 5th Street, Suite 1  
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2301 W. Russell St, Ste. 1  
Sioux Falls, SD 57104 | P: 605.692.4008

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ROOF PLAN

PROJECT NO.  
DA22\_041

DEALERSHIP,  
QUICK-LUBE & CAR  
WASH  
SHEBOYGAN, WI

PROJECT MANAGER:  
KYLE JAMISON

DATE:  
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SHEET:

A1.2

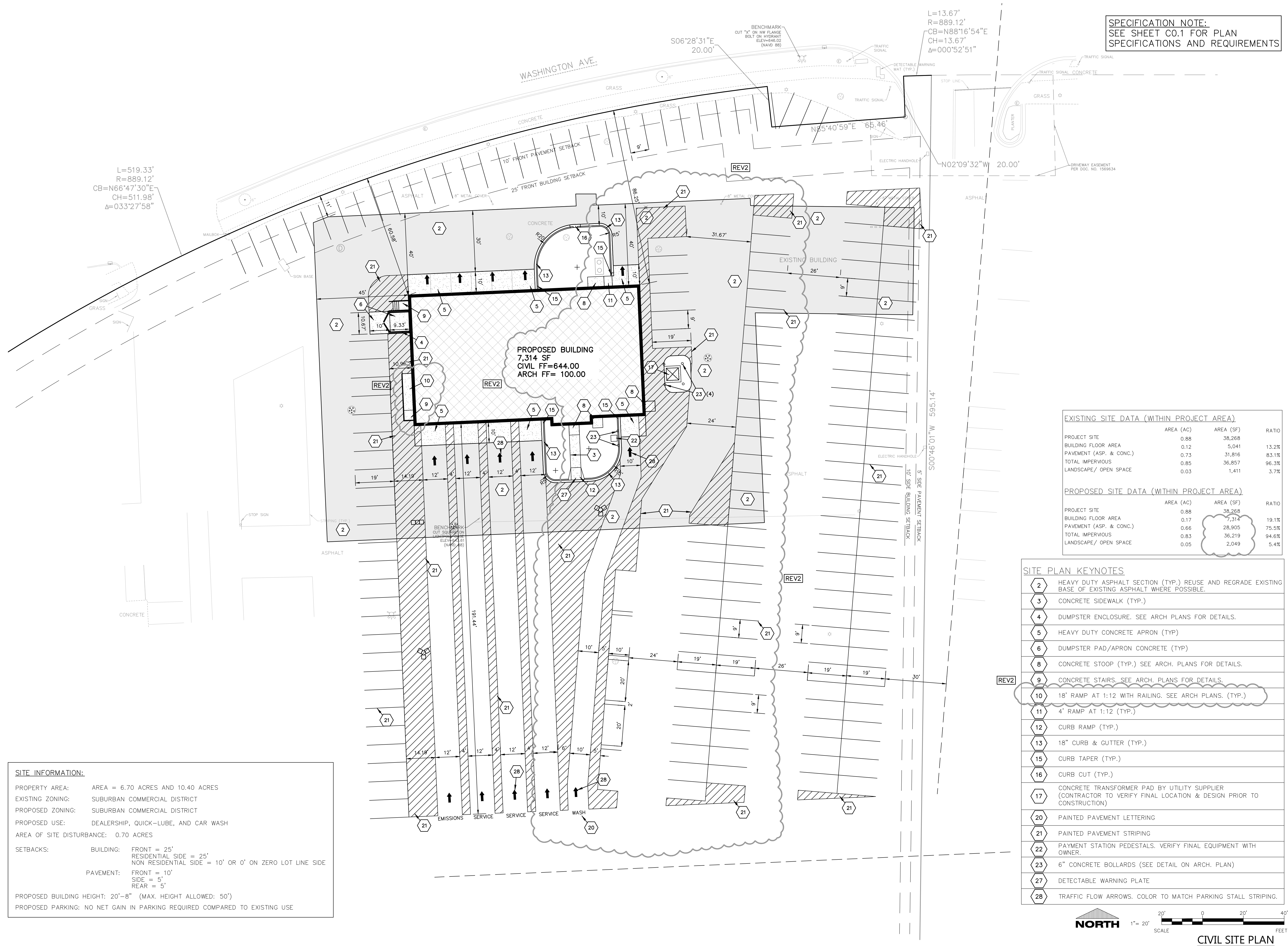
FOR PERMITTING &  
CONSTRUCTION

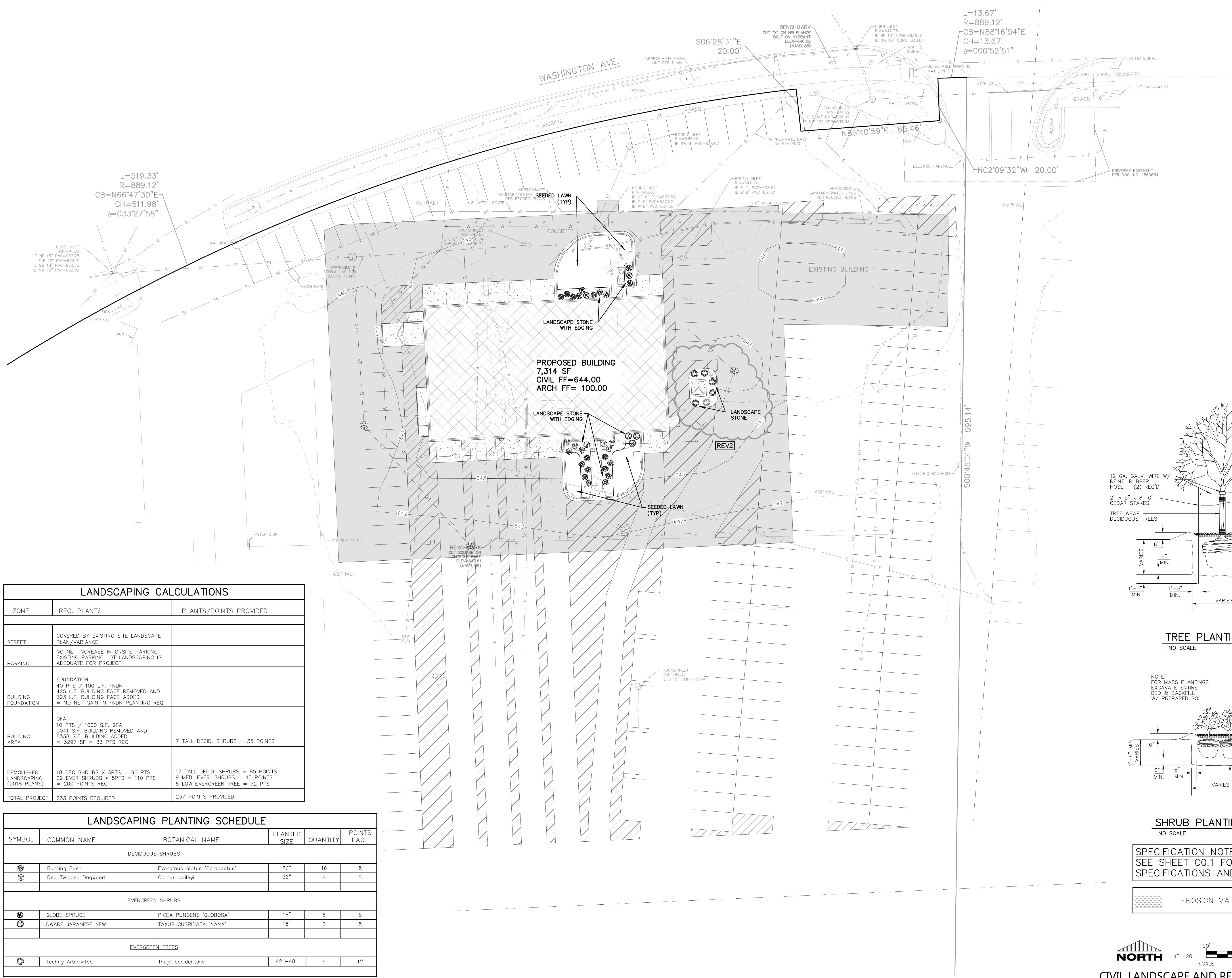
FULL SCALE: 24x36  
HALF SCALE: 12x18  
DRAWING MAY NOT BE PRINTED TO SCALE



**DEALERSHIP, QUICK-LUBE & CAR WASH**  
3400 S BUSINESS DR • SHEBOYGAN, WI 53081

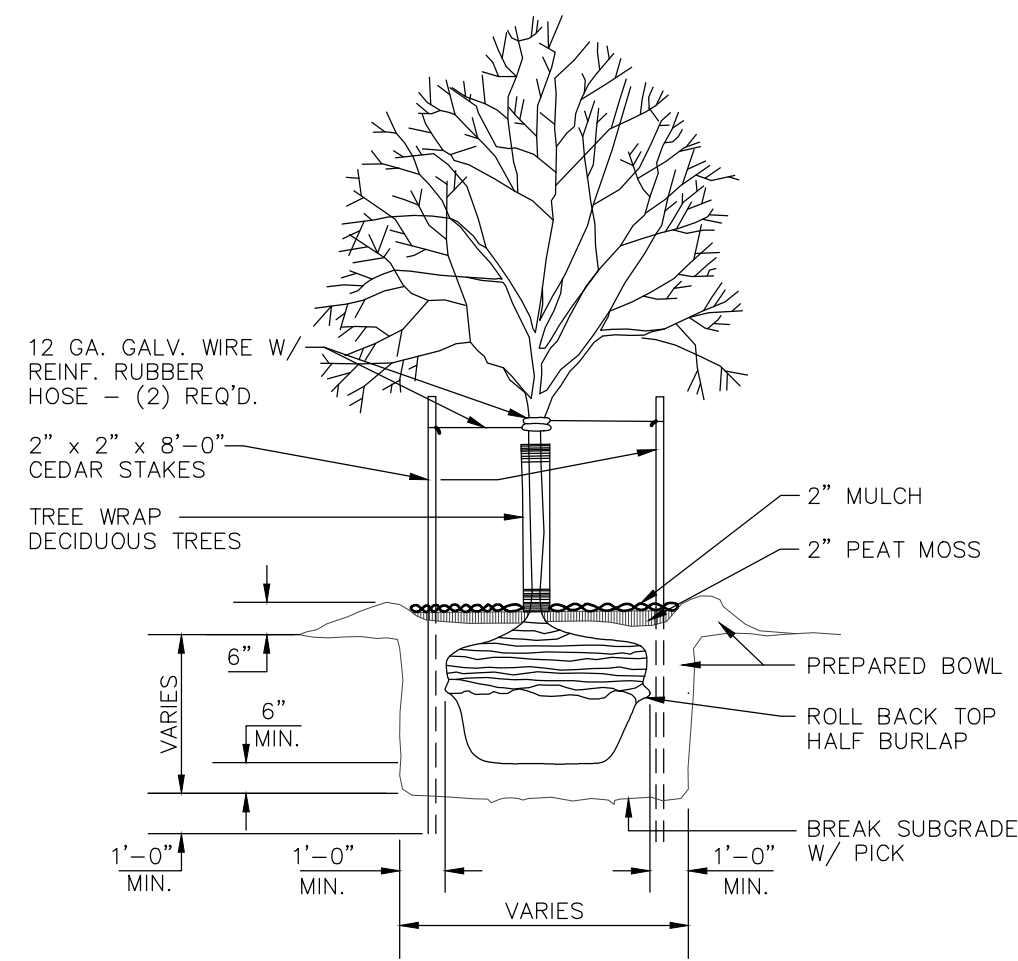
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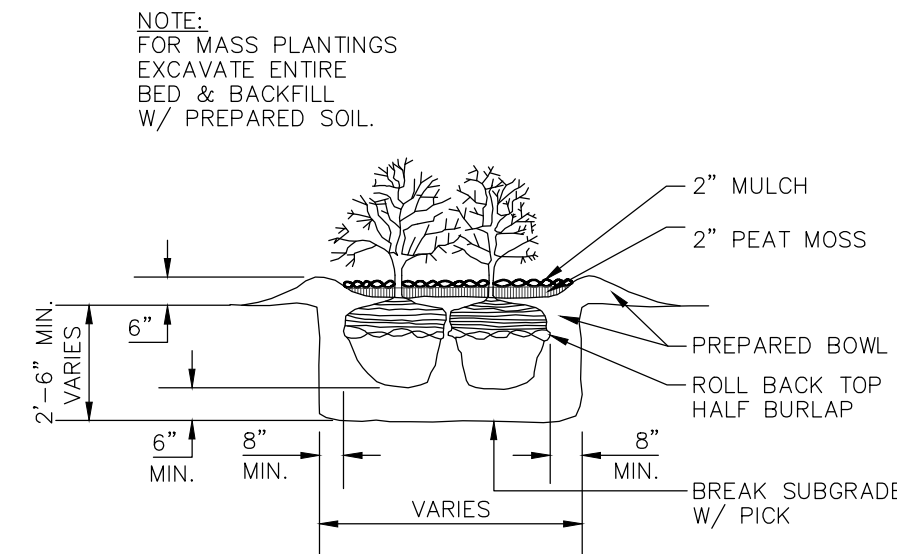


LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS/POINTS PROVIDED
STREET	COVERED BY EXISTING SITE LANDSCAPE PLAN/VARIANCE	
PARKING	NO NET INCREASE IN ONSITE PARKING. EXISTING PARKING LOT LANDSCAPING IS ADEQUATE FOR PROJECT.	
BUILDING FOUNDATION	FOUNDATION 40 PTS / 100 L.F. FNDN 425 L.F. BUILDING FACE REMOVED AND 393 L.F. BUILDING FACE ADDED = NO NET GAIN IN FNDN PLANTING REQ.	
BUILDING AREA	GFA 10 PTS / 1000 S.F. GFA 5041 S.F. BUILDING REMOVED AND 8338 S.F. BUILDING ADDED = 3297 SF = 33 PTS REQ.	7 TALL DECID. SHRUBS = 35 POINTS
DEMOLISHED LANDSCAPING (2018 PLANS)	18 DEC SHRUBS X 5PTS = 90 PTS 22 EVER SHRUBS X 5PTS = 110 PTS = 200 POINTS REQ.	17 TALL DECID. SHRUBS = 85 POINTS 9 MED. EVER. SHRUBS = 45 POINTS 6 LOW EVERGREEN TREE = 72 PTS
TOTAL PROJECT	233 POINTS REQUIRED	237 POINTS PROVIDED

LANDSCAPING PLANTING SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY	POINTS EACH
DECIDUOUS SHRUBS					
	Burning Bush	Evonymus alatus 'Compactus'	36"	16	5
	Red Twigged Dogwood	Cornus baileyi	36"	8	5
EVERGREEN SHRUBS					
	GLOBE SPRUCE	PICEA PUNGENS 'GLOBOSA'	18"	6	5
	DWARF JAPANESE YEW	TAXUS CUSPIDATA 'NANA'	18"	3	5
EVERGREEN TREES					
	Techy Arborvitae	Thuja occidentalis	42"-48"	6	12



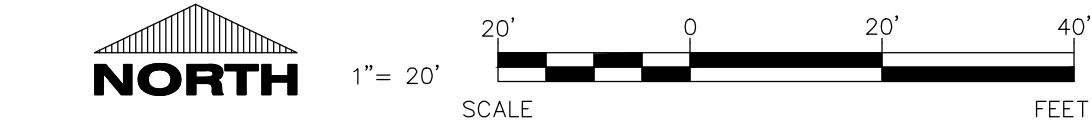
TREE PLANTING DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE

SPECIFICATION NOTE:  
SEE SHEET C0.1 FOR PLAN  
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION



CIVIL LANDSCAPE AND RESTORATION PLAN



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920-926-9800  
excelengineer.com

PROJECT INFORMATION

DEALERSHIP, QUICK-LUBE & CAR WASH

3400 S BUSINESS DR • SHEBOYGAN, WI 53081

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 8, 2022

REVISIONS

REV2 MAR. 2, 2023

JOB NUMBER

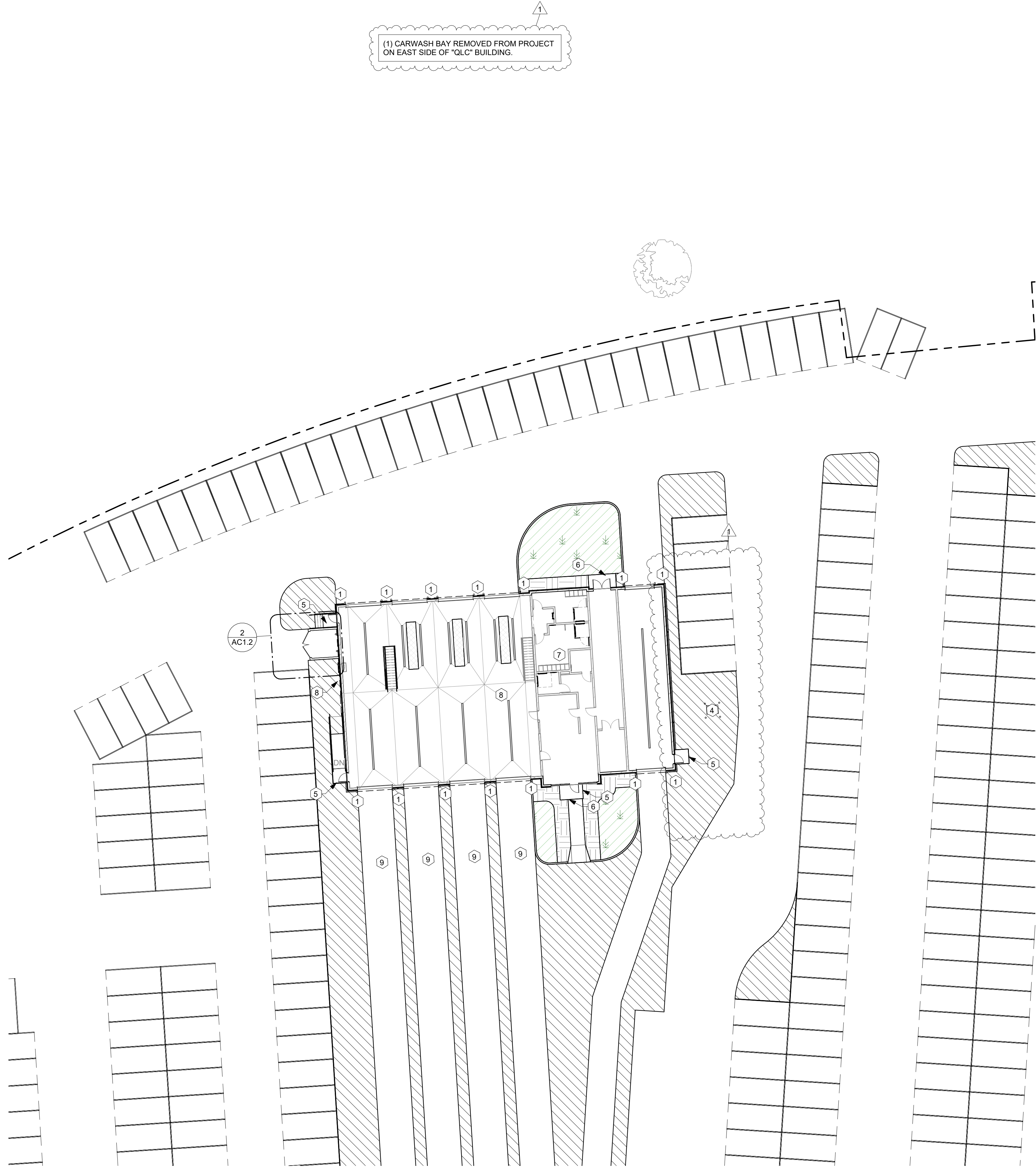
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SHEET NUMBER

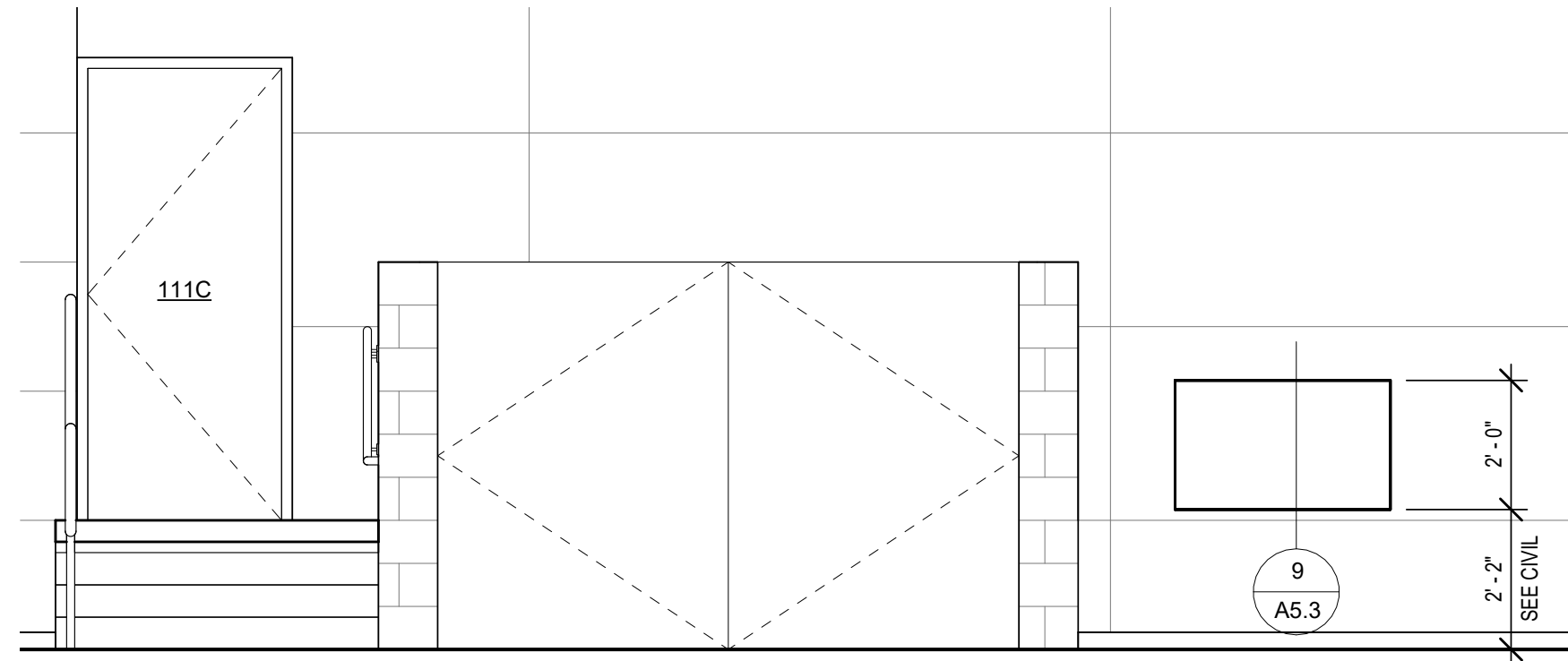
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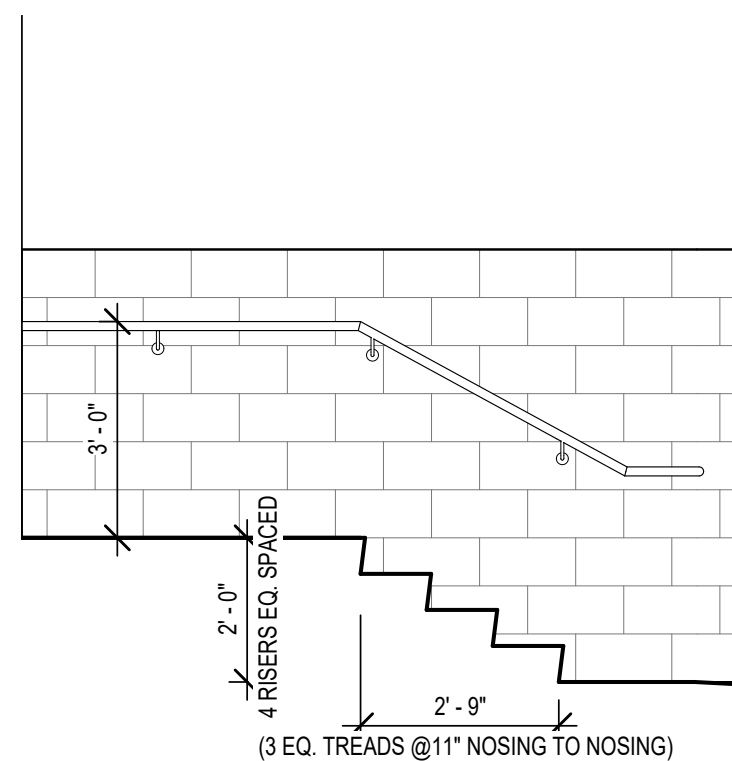
1 ARCHITECTURAL SITE PLAN  
1" = 20'-0"



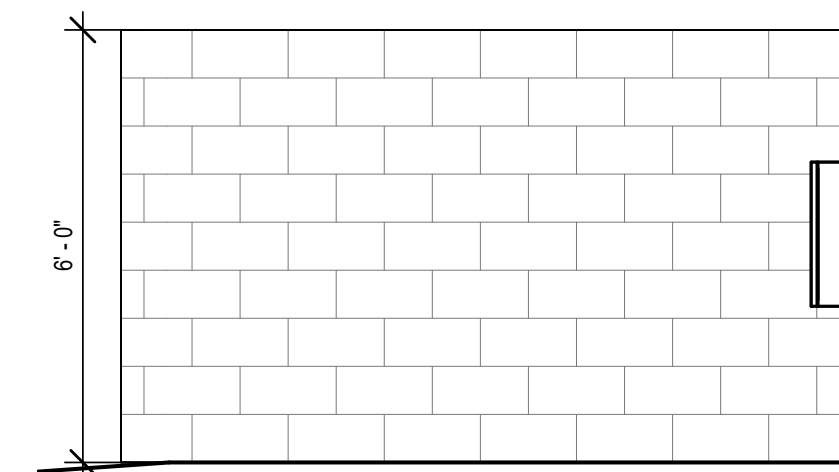
2 TRASH ENCLOSURE ENLARGED PLAN  
1/4" = 1'-0"



3 T/E ELEVATION - WEST  
3/8" = 1'-0"



4 T/E ELEVATION - NORTH  
3/8" = 1'-0"



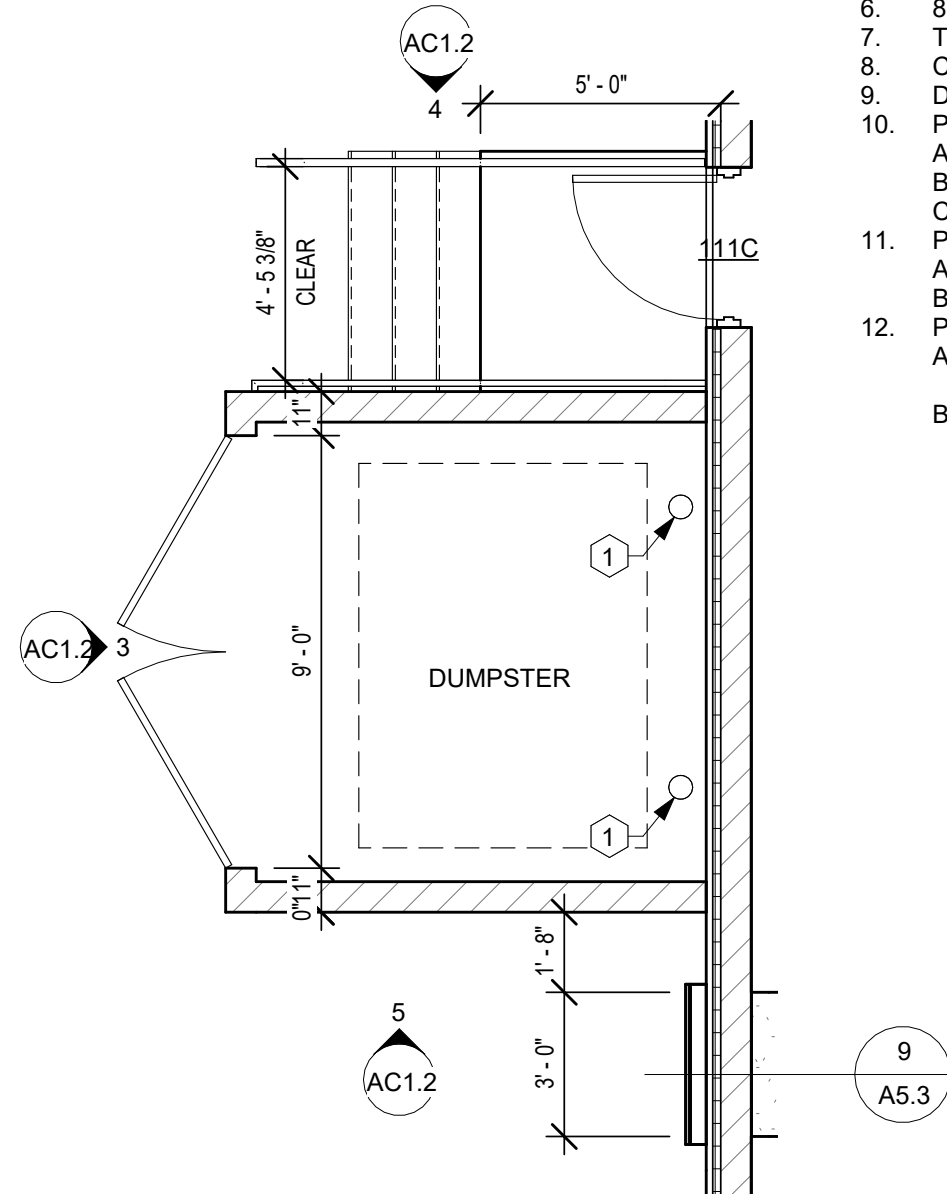
5 T/E ELEVATION - SOUTH  
3/8" = 1'-0"

GENERAL NOTES - ARCH. SITE PLAN

- IMPORTANT: ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE AND DESIGN INTENT ONLY, AND NOT TO BE USED FOR CONSTRUCTION. REFER TO CIVIL FOR ALL DIMENSIONING, SLOPING & GRADING, SPOT ELEVATIONS & ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO SITE PREP. REPORT ANY DISCREPANCIES TO ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.
- CONTRACTOR TO VERIFY ANY CRITICAL DIMENSIONS WITH REGARDS TO EXISTING CONSTRUCTION, IF ANY.
- SEE ELECTRICAL FOR PROPOSED NEW SITE LIGHTING @ QUICKLUBE.

KEYNOTES - ARCH. SITE PLAN

- BOLLARD, SEE TYPICAL DETAIL THIS SHEET..
- GAS METER (SEE MECH.).
- ELEC. METER (SEE ELEC.).
- DESIGNATED TRANSFORMER LOCATION (SEE ELEC.).
- 5'-0" x 5'-0" FROST-PROTECTED STOOP (SEE STRUCT.).
- 8'-0" x 5'-0" FROST-PROTECTED STOOP (SEE STRUCT.).
- TRASH ENCLOSURE
- CHEMICAL PRODUCT FILL STATION
- DESIGNATED DRIVE-LANE/QUEUING
- PHASE 1:
  - POWER COMPANY TO RELOCATE ELEC. TRANSFORMER.
  - DEMOLISH EXISTING CAR WASH (ECW) BUILDING. (SEE CIVIL.)
  - DEMOLISH INTERIORS OF DEALERSHIP. (SEE A7 & A8 SERIES)
- PHASE 2:
  - NEW CONSTRUCTION OF QUICK-LUBE & CAR WASH.
  - REMODEL INTERIORS OF DEALERSHIPS. (SEE A7 & A8 SERIES)
- PHASE 3: (UPON COMPLETION OF QUICK-LUBE & CAR WASH)
  - RELOCATE EQUIPMENT FROM EXISTING QUICK-LUBE TO NEW CONSTRUCTION.
  - DEMOLISH EXISTING QUICK-LUBE.



FOR PERMITTING & CONSTRUCTION

Item 5.

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17



2537 WI-28  
Sheboygan, Wisconsin  
Google  
Street View - Sep 2021

