



PUBLIC WORKS COMMITTEE AGENDA

July 09, 2024 at 5:30 PM

Municipal Service Building - Training Room, 2026 New Jersey Avenue

It is possible that a quorum (or a reverse quorum) of the Sheboygan Common Council or any other City committees/boards/commissions may be in attendance, thus requiring a notice pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis. 2d 553,494 N.W.2d 408 (1993).

Persons with disabilities who need accommodations to attend this meeting should contact the Department of Public Works at 920-459-3440. Persons other than council members who wish to participate remotely shall provide notice to the Public Works Department at 920-459-3440 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Introduction of Committee Members and Staff

MINUTES

5. Approval of Minutes: June 25, 2024

ITEMS FOR DISCUSSION & POSSIBLE ACTION

6. Res. No. 34-24-25 / A resolution confirming that the Common Council approves of a proposed pool expansion at Camp Evergreen, formerly Kiddies Camp Foundation, on City owned property (Parcel No. 59281628964).
7. Res. No. 38-24-25 / A resolution authorizing the appropriate City officials to grant an Easement to Wisconsin Public Service Corporation for a portion of City-owned property currently used by the Parking and Transit Department located at Parcel No. 59281502950.
8. Res. No. 40-24-25 / A resolution allowing ZWILLING Airstream to be parked in front of Relish Kitchen Store at 811 North 8th Street on July 26, 2024 and July 27, 2024.

NEXT MEETING DATE

9. Next Regular Meeting Date: July 23, 2024

ADJOURNMENT

10. Motion to adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN
PUBLIC WORKS COMMITTEE MINUTES
Tuesday, June 25, 2024

COMMITTEE MEMBERS PRESENT: Chair Dean Dekker, Alderperson Zach Rust, Alderperson Daniel Peterson, and Alderperson John Belanger

COMMITTEE MEMBERS EXCUSED: Vice Chair Angela Ramey

STAFF/OFFICIALS PRESENT: Civil Engineer/Project Manager Kevin Jump, Superintendent of Streets and Sanitation Joel Kolste, Superintendent of Parks & Forestry Joe Kerlin, Superintendent of Facilities and Traffic Mike Willmas, Motor Vehicle Supervisor Rick Ney, Marina Manager Nick Warminsky, Deputy City Attorney Liz Majerus, Assistant Police Chief Kurt Zempel, Business Manager Heather Burke, Administrative Clerk Stacy Weseljak

OTHERS PRESENT: Jesse Freier, Crystal Turnpaugh, Peter Sjollema, Jim Veaser, Gene & Debbie Braun, and Mary Mesich

OPENING OF MEETING

1. Call to Order

Chair Dean Dekker called the meeting to order at 5:30 PM

2. Roll Call
3. Pledge of Allegiance

The Pledge of Allegiance was recited.

4. Introduction of Committee Members and Staff

MINUTES

5. Approval of Minutes: June 11, 2024

MOTION TO APPROVE MINUTES FROM JUNE 11, 2024

Motion made by Alderperson Rust, Seconded by Alderperson Peterson.

Voting Yea: Chair Dekker, Alderperson Rust, Alderperson Peterson, Alderperson Belanger

ITEMS FOR DISCUSSION & POSSIBLE ACTION

6. Res. No. 30-24-25 / A resolution authorizing the appropriate City officials to enter into contract for repairs and improvements to the masonry exterior sealants of Mead Public Library and authorizing an amendment to the 2024 budget to cover the associated cost.

MOTION TO RECOMMEND THE COMMON COUNCIL ADOPT THE RESOLUTION

Motion made by Alderperson Belanger, Seconded by Alderperson Peterson.

Voting Yea: Chair Dekker, Alderperson Rust, Alderperson Peterson, Alderperson Belanger

7. Res. No. 28-24-25 / A resolution authorizing the Purchasing Agent to issue a purchase order for a 2024 bucket truck and accessories for the Motor Vehicle Division of the Department of Public Works.

MOTION TO RECOMMEND THE COMMON COUNCIL ADOPT THE RESOLUTION

Motion made by Alderperson Rust, Seconded by Alderperson Peterson.

Voting Yea: Chair Dekker, Alderperson Rust, Alderperson Peterson, Alderperson Belanger

8. Direct Referral Res. No. 33-24-25 / A resolution amending the Marina and Riverfront Slips Fee Schedule.

MOTION TO RECOMMEND THE COMMON COUNCIL ADOPT THE RESOLUTION

Motion made by Alderperson Rust, Seconded by Alderperson Peterson.

Voting Yea: Chair Dekker, Alderperson Rust, Alderperson Peterson, Alderperson Belanger

9. DISCUSSION ONLY Catamaran Racing Association of Wisconsin - Sheboygan Regatta Special Event (SPC-26)
10. DISCUSSION ONLY Butzen Sports Complex Development
11. DISCUSSION ONLY Winter Parking on S. 23rd & S. 24th St (Indiana Avenue to Georgia Avenue)

NEXT MEETING DATE

12. Next Regular Meeting Date: July 9, 2024

ADJOURNMENT

13. Motion to adjourn

MOTION TO ADJOURN AT 6:30 PM

Motion made by Alderperson Rust, Seconded by Alderperson Peterson.

Voting Yea: Chair Dekker, Alderperson Rust, Alderperson Peterson, Alderperson Belanger

**CITY OF SHEBOYGAN
RESOLUTION 34-24-25**

BY ALDERPERSONS DEKKER AND RAMEY.

JULY 1, 2024.

A RESOLUTION confirming that the Common Council approves of a proposed pool expansion at Camp Evergreen, formerly Kiddies Camp Foundation, on City owned property (Parcel No. 59281628964).

WHEREAS, on November 1, 1949, and amended on October 12, 1989, the City of Sheboygan entered into a lease agreement with Kiddies Camp Foundation for use of a portion of Parcel No. 59281628964; and

WHEREAS, in accordance with the lease agreement (attached), no improvements may be constructed on the property without City approval of the plans and specifications; and

WHEREAS, Camp Evergreen wishes to construct a pool enclosure building addition for the existing pool and has provided plans and specifications for review and approval by the City of Sheboygan (attached); and

WHEREAS, such improvement further requires a permit issued in accordance with Sheboygan Municipal Code Article 12-IX.

NOW, THEREFORE, BE IT RESOLVED: That the Common Council hereby approves the proposed pool expansion at Camp Evergreen, formerly Kiddies Camp Foundation, subject to review and approval by City staff in accordance with Sheboygan Municipal Code Article 12-IX.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

_____.

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of Sheboygan

Meredith DeBruin, City Clerk, City of Sheboygan

FIRST AMENDMENT TO LEASE

Parties: City of Sheboygan, a municipal corporation located in Sheboygan County, Wisconsin, hereinafter referred to as "lessor" or, in the alternative, party of the first part

Kiddies Camp Foundation, Inc., a Wisconsin corporation located in the City of Sheboygan, Sheboygan County, Wisconsin, hereinafter referred to as "lessee" or, in the alternative, party of the second part

Date: October 12, 1989

WHEREAS the parties hereto entered into a lease of the premises described in Schedule A attached and incorporated herein by reference dated November 1, 1949, for a term of 99 years; and,

WHEREAS the parties have mutually agreed to amend said lease to clarify and codify their understanding of certain terms and conditions of the lease.

NOW, THEREFORE, for and in consideration of the mutual covenants set forth herein, the parties hereto do covenant and agree as follows:

1. That paragraph I is hereby amended so as to extend the term of the lease to November 1, 2089.
2. The parties agree that all terms and conditions set forth in said lease have been fulfilled by the parties through this date.
3. That paragraph II.B. shall be amended to include a camp for handicapped and/or retarded children and/or adults, as well as underprivileged children.
4. That the parties hereto agree that lessee shall have the right to demolish and remove the present buildings located on the demised premises, and lessor specifically approves lessee's right to said demolition. In addition, the lessor does hereby approve the construction by lessee of a new building to be erected on the demised premises substantially consistent with the preliminary plans and specifications attached hereto as Schedule B and incorporated herein by this reference, conditioned upon obtaining a conditional use permit from the city.
5. Lessor shall take all steps necessary within a reasonable time from the date of this amendment so

LEASE

THIS INDENTURE, Made and executed in duplicate this 1st day of November, A.D., 1949, by and between the City of Sheboygan, a municipal corporation of the State of Wisconsin, hereinafter designated as the Lessor, party of the first part, and the Kiddies Camp Foundation, Inc., a Wisconsin corporation, hereinafter called the Lessee, party of the second part,

WITNESSETH:

I In consideration of the rent and the Lessee's covenants hereinafter reserved and contained, the Lessor hereby demises and leases unto the Lessee all those certain premises situate in the County of Sheboygan, State of Wisconsin, described as follows, to-wit:

Commencing at the Southwest corner of the Southeast Quarter (SE $\frac{1}{4}$) of Section 9, Township 15 North, Range 23 East, running thence East along the South line of said Southeast Quarter Five Hundred Sixty (560.0) feet, thence Northwesterly to a point Two Hundred Seventy (270.0) feet North and Three Hundred Seventy Five (375.0) feet East of point of beginning, thence Northwesterly to a point in the West line of the said Southeast Quarter Five Hundred Forty (540.0) feet North of beginning, thence South along the West line of said Southeast Quarter Five Hundred Forty (540.0) feet to beginning,

together with a right of way as a means of access thereto over City owned property constituting what is generally known as Evergreen Park; such right of way shall consist and be limited to the roadways as presently existing or as may be relocated in the future in said area.

TO HAVE AND TO HOLD the said premises for and during the term of ninety-nine (99) years from the 1st day of November, A.D., 1949, yielding and paying therefor the annual rent of One (\$1.00) Dollar and the performance of the conditions of this lease and continuing the public function of the purpose hereinafter stated; the monetary consideration shall be paid annually, in advance, on or before the 1st day of November, in each calendar year during the continuation hereof.

II The Lessee, to the intent that the obligations may continue throughout the term hereby created, covenants with the Lessor and agrees to the conditions as follows:

A. To pay the reserve rent at the times and in the manner aforesaid;

B. To limit the use of the demised premises to the conduct of a camp, principally for the underprivileged children residing in the City of Sheboygan, State of Wisconsin;

C. To maintain the buildings now on said premises in a reasonable state of repair at its own expense until it comes to remove the same for the purpose of rebuilding as in this lease provided; in connection with any rebuilding project, the tenant or Lessee may demolish and raze the buildings now on said premises covering the land on which such new buildings are to be erected (or which may interfere with the planning and management of such camp) and have the salvage of such building; or buildings so to be wrecked and the material therefrom for its own use in connection with any reconstruction;

D. To bear and pay and discharge any future taxes, assessments, duties, impositions and burdens whatsoever assessed, charged or imposed either by the nation, state, city or any other public authority, upon the demised premises or any erections thereon or upon the owner or occupier in respect thereof, or payable by either in respect thereof, and to deliver to the Lessor, at all times, promptly, proper and sufficient receipts and other evidences of the payment and discharge of the same.

E. Not to suffer the demised premises or any erection or improvements thereon, or the estate of the Lessee in the same, at any time during the said term, to become subject to any lien, mortgage or encumbrance whatsoever and to indemnify and to keep indemnified the Lessor against all such liens, charges and encumbrances; it being hereby expressly agreed that the Lessee shall have no authority, express or implied, to create any lien, charge or encumbrance upon the demised premises or the improvements thereon or upon the estate of the Lessee in the same;

F. Not to assign or sublease any part or all of demised premises or any of the privileges, burdens or duties of this contract;

G. To keep the buildings and improvements upon the said demised premises insured against loss or damage by fire, windstorm or other similar forces of nature for their full insurable value in companies satisfactory to the Lessor and to furnish the Lessor with a complete list of all such insurance; to pay all premiums necessary for those purposes immediately as they become due, and to deliver to the Lessor the receipts therefor; to make all insurance payable to the Lessor and to the Lessee as their respective interests may appear; provided, that if the Lessee shall at any time fail to insure or keep insured as aforesaid, the Lessor may do all things necessary to effect or maintain such insurance and any moneys expended by it for that purpose shall be repayable by the Lessee with interest at the rate of 5% per annum on demand;

H. To assume all and any liability for the injury to persons and property arising from the use of these premises and does hereby promise and covenant to save the Lessor harmless from all claim or claims for such injury or injuries; to secure such undertaking and condition, the Lessee does hereby covenant to secure and maintain public liability insurance on these premises at its own cost in an amount not less than \$10,000.00, and shall deliver receipts and certification of the existence of such policies to the Lessor from time to time;

I. In case of damage or destruction, from time to time, by fire or otherwise, to repair, restore, or rebuild the buildings and improvements on the demised premises, in accordance with plans and specifications to be approved by the Lessor, with all reasonable dispatch, and in any event within twelve (12) months from the time of such damage or destruction; provided, that in case of any such damage or destruction, the Lessor shall apply any insurance money recovered by or paid to it to such repair, restoration, or rebuilding under plans and specifications approved by the Lessor; and provided,

Item 6.

further, that all insurance money recovered and not paid to the Lessor shall first be so applied, and also, that in case the Lessee shall not so repair, restore, or rebuild within twelve (12) months, then such insurance money recovered by the Lessor may be retained by it as liquidated damages for the breach of the Lessee's covenant so to repair, restore or rebuild;

J. To keep the said buildings so to be erected and all other buildings and erections which may at any time during the said term be erected upon the demised premises and the drains and appurtenances in good condition and repair;

K. Not to erect or permit to be erected on the demised premises any new buildings or to make or permit to be made any addition to the said building so to be erected or to any buildings which may at any time during the said term be erected upon the land hereby demised, except in accordance with plans and specifications previously approved by the Lessor;

L. To permit the Lessor, by its agents, at all reasonable times to enter upon the demised premises to view the condition of the premises and buildings;

M. Not to make or suffer any use or occupancy of the demised premises contrary to any law or ordinance now or hereafter in force, or contrary to the purposes of the use herein designated;

N. To indemnify the Lessor against all costs and expenses, including counsel fees, lawfully and reasonably incurred in or about the premises, or in the defense of any action or proceeding, or in discharging the premises from any charge, lien, or incumbrance, or in obtaining possession after default of the Lessee or the termination of this demise;

O. At the termination of the tenancy, to yield up the demised premises with all buildings erected thereon, together with the fixtures thereof, and additions thereto, in such repair and condition as shall be in accordance with the covenants hereinbefore contained, without any liability on the part of the Lessor to reimburse or pay the Lessee for any of the costs thereof;

III The Lessor hereby covenants with the Lessee that the said party of the second part on paying the said yearly rent and performing the said covenants and conditions on its part, shall and may peaceably and quietly have, hold and enjoy the demised premises during the term aforesaid;

A. Provided, always, and it is expressly agreed, that if the rent hereby reserved shall be unpaid for thirty days after becoming payable, whether formally demanded or not, or if any covenant or condition on the Lessee's part herein contained shall not be performed or observed, or in the event of the abandonment of such project by the Lessee for a period of any two successive years, or in the event the conduct of the camp is commercialized (i.e. attempt is made to make a profit from the operation thereof through charges made to the children or parents or guardians of the campers) then and in that event it shall be lawful for the Lessor at any time to re-enter upon the demised premises or any part thereof in the name of the whole, and thereupon this demise shall absolutely determine, but without prejudice to the right of action of the Lessor in respect of any of the Lessee's covenants herein contained. No waiver by the Lessor of any covenant hereunder shall be a waiver of any succeeding breach of the same covenant.

IV It is hereby agreed that the covenants, stipulations and conditions herein contained shall inure to the benefit of and shall be binding upon the respective successors and assigns of the Lessor and the Lessee herein.

IN WITNESS WHEREOF, the said Lessor has caused these presents to be executed by its duly authorized Mayor and City Clerk, and its corporate seal hereto affixed, and the said Lessee has caused these presents to be executed by its duly authorized President and Secretary and its corporate seal affixed hereto the day and

year first above written.

In the presence of:

Phyllis Holland

Lester M. Muller

CITY OF SHEBOYGAN

By Dr. W. Sonnenburg
Mayor

Joseph E. Leberman
City Clerk

Lessor

In the presence of:

J.R. McKinley

Thomas J. ...

KIDDIES CAMP FOUNDATION, INC.

By Charles E. Broughton
President

H. Carl Prange
Secretary

Lessee

STATE OF WISCONSIN)
SHEBOYGAN COUNTY) SS.

Personally came before me, this 1st day of November, A.D., 1949, Willard H. Sonnenburg, Mayor, and Joseph E. Leberman, City Clerk, of the above named municipal corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such Mayor and City Clerk of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Willard H. Sonnenburg

Notary Public, Sheboygan County, W
My commission expires:

My Commission Expires March 16, 1950

STATE OF WISCONSIN)
SHEBOYGAN COUNTY) SS.

Personally came before me, this 1st day of November, A.D., 1949, Charles E. Broughton, President, and H. Carl Prange, Secretary of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Roland C. Gummer

Notary Public, Sheboygan County, W
My commission expires:

March 22, 1953

Approved as to form and execution this 7th day of November, A.D., 1949.

C. W. Wilbur

City Attorney



REVISIONS:
DATE ISSUE

DATE	ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
© 2024 ABACUS ARCHITECTS, INC.



NORTH RENDERING

ISSUE DATE: JUNE 6, 2024

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210. MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: KS

CHECKED BY: KS

RENDERING

A
901

PROJ. NO. 2015-61



REVISIONS:

△ DATE ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
© 2024 ABACUS ARCHITECTS, INC.



SOUTH RENDERING

ISSUE DATE: JUNE 6, 2024
POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210. MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: KS

CHECKED BY: KS

RENDERING

A
902

PROJ. NO. 2015-61



REVISIONS:

△ DATE ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
© 2024 ABACUS ARCHITECTS, INC.



ISSUE DATE: JUNE 6, 2024
POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210. MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: KS

CHECKED BY: KS

RENDERING WITH ALTERNATES

A
903

PROJ. NO. 2015-61

- #1 BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL.
- #2 BASE BID WOOD SIDING AND TRIM TO MATCH EXISTING. ADD ALTERNATE STRAND SUBSTRATE SIDING AND TRIM.
- #3 BASE BID ASPHALT SINGLES TO MATCH EXISTING. ADD ALTERNATE 16" WIDE METAL STANDING SEAM ROOF PANELS.
- #4 BASE BID NO SKYLIGHTS. ADD ALTERNATE ROOF RIDGE SKYLIGHTS.

NORTH RENDERING
WITH ALTERNATES



REVISIONS:

△	DATE	ISSUE

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
 © 2024 ABACUS ARCHITECTS, INC.



ISSUE DATE: JUNE 6, 2024

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: KS

CHECKED BY: KS

RENDERING WITH ALTERNATES

A
904

PROJ. NO. 2015-61

- #1 BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL.
- #2 BASE BID WOOD SIDING AND TRIM TO MATCH EXISTING. ADD ALTERNATE STRAND SUBSTRATE SIDING AND TRIM.
- #3 BASE BID ASPHALT SINGLES TO MATCH EXISTING. ADD ALTERNATE 16" WIDE METAL STANDING SEAM ROOF PANELS.
- #4 BASE BID NO SKYLIGHTS. ADD ALTERNATE ROOF RIDGE SKYLIGHTS.

SOUTH RENDERING
WITH ALTERNATES



REVISIONS:

△	DATE	ISSUE

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

© 2024 ABACUS ARCHITECTS, INC.



ISSUE DATE: JUNE 6, 2024

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210. MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: KS

CHECKED BY: KS

INTERIOR RENDERING

A
905

PROJ. NO. 2015-61

INTERIOR RENDERING

POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083



REVISIONS:

△	DATE	ISSUE

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

© 2024 ABACUS ARCHITECTS, INC.

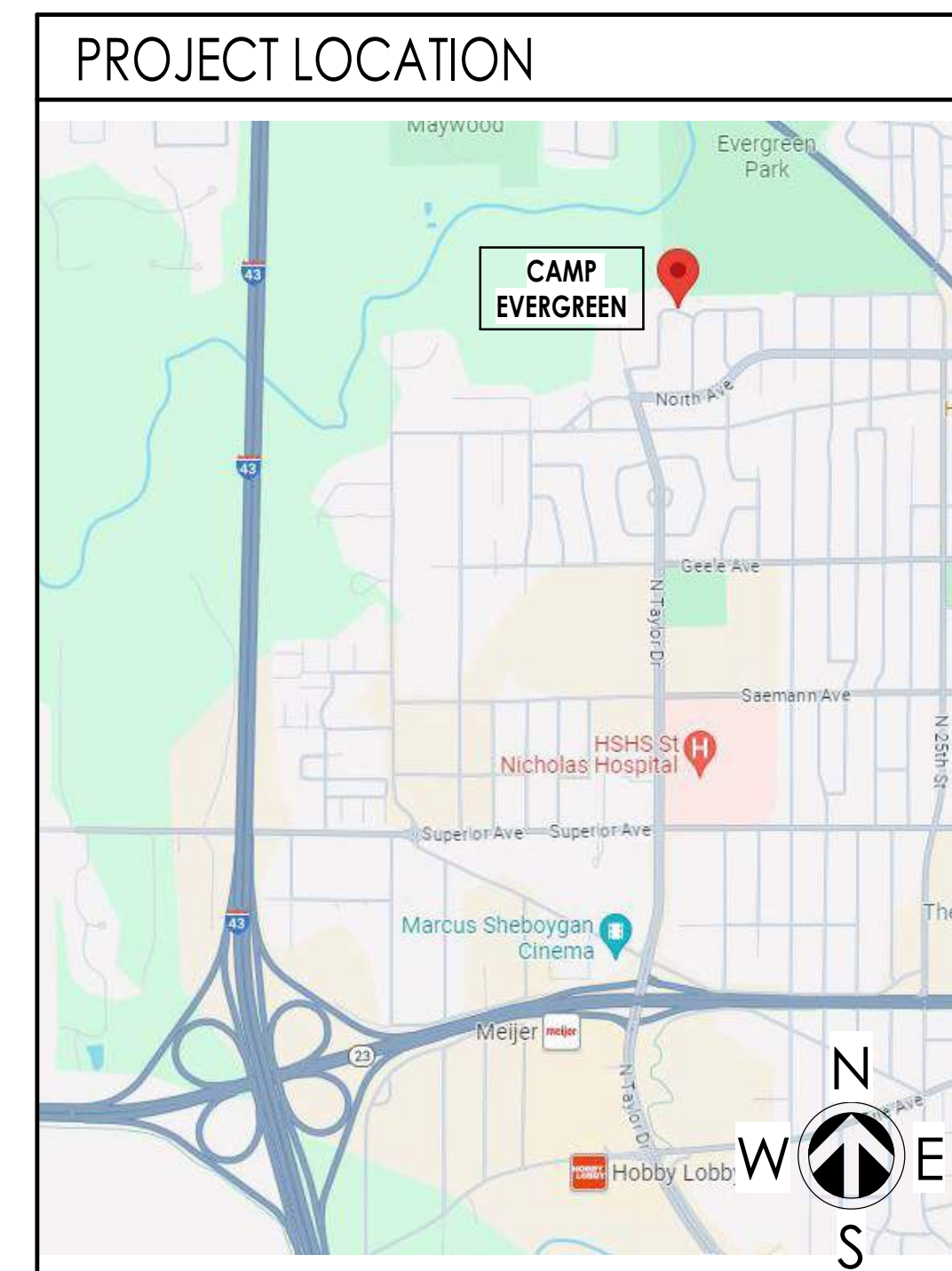
ISSUE DATE: JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN
 2776 N 31st PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL & CIVIL	STRUCTURAL																																																																
ABACUS ARCHITECTS, INC. 1135A MICHIGAN AVENUE SHEBOYGAN, WISCONSIN 53081 P: 920-452-4444	PIERCE ENGINEERS, INC. 181 N. BROADWAY AVE. MILWAUKEE, WI, 53202 P: 414-278-6060																																																																
<table border="1"> <tr><td>A 101</td><td>TITLE SHEET</td></tr> <tr><td>A 102</td><td>WALL TYPES, ABBREVIATIONS, AND SYMBOLS</td></tr> <tr><td>A 200</td><td>EXISTING CONDITIONS & DEMO PLAN</td></tr> <tr><td>A 201</td><td>SITE PLAN</td></tr> <tr><td>A 202</td><td>UTILITY PLAN</td></tr> <tr><td>A 203</td><td>GRADING PLAN</td></tr> <tr><td>A 204</td><td>EROSION CONTROL PLAN</td></tr> <tr><td>A 205</td><td>CIVIL DETAILS</td></tr> <tr><td>A 301</td><td>DEMO PLAN</td></tr> <tr><td>A 302</td><td>FLOOR PLAN</td></tr> <tr><td>A 303</td><td>REFLECTED CEILING PLAN</td></tr> <tr><td>A 401</td><td>ROOM FINISH & DOOR SCHEDULES</td></tr> <tr><td>A 402</td><td>DETAILS</td></tr> <tr><td>A 501</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A 601</td><td>BUILDING SECTIONS</td></tr> <tr><td>A 602</td><td>WALL SECTIONS</td></tr> <tr><td>A 603</td><td>WALL SECTIONS</td></tr> <tr><td>A 701</td><td>ROOF PLAN</td></tr> <tr><td>A 801</td><td>INTERIOR ELEVATIONS</td></tr> </table>	A 101	TITLE SHEET	A 102	WALL TYPES, ABBREVIATIONS, AND SYMBOLS	A 200	EXISTING CONDITIONS & DEMO PLAN	A 201	SITE PLAN	A 202	UTILITY PLAN	A 203	GRADING PLAN	A 204	EROSION CONTROL PLAN	A 205	CIVIL DETAILS	A 301	DEMO PLAN	A 302	FLOOR PLAN	A 303	REFLECTED CEILING PLAN	A 401	ROOM FINISH & DOOR SCHEDULES	A 402	DETAILS	A 501	EXTERIOR ELEVATIONS	A 601	BUILDING SECTIONS	A 602	WALL SECTIONS	A 603	WALL SECTIONS	A 701	ROOF PLAN	A 801	INTERIOR ELEVATIONS	<table border="1"> <tr><td>S 001</td><td>GENERAL NOTES</td></tr> <tr><td>S 002</td><td>DESIGN CRITERIA</td></tr> <tr><td>S 003</td><td>LOADING PLANS</td></tr> <tr><td>S 100</td><td>FOUNDATION PLAN</td></tr> <tr><td>S 200</td><td>DECK FRAMING PLAN</td></tr> <tr><td>S 300</td><td>ROOF FRAMING PLAN</td></tr> <tr><td>S 400</td><td>STRUCTURAL DETAILS</td></tr> <tr><td>S 401</td><td>STRUCTURAL DETAILS</td></tr> <tr><td>S 410</td><td>WOOD SCHEDULES AND DETAILS</td></tr> <tr><td>S 411</td><td>WOOD SCHEDULES AND DETAILS</td></tr> <tr><td>S 412</td><td>WOOD SCHEDULES</td></tr> <tr><td>S 420</td><td>STRUCTURAL DETAILS</td></tr> <tr><td>S 421</td><td>STRUCTURAL DETAILS</td></tr> </table>	S 001	GENERAL NOTES	S 002	DESIGN CRITERIA	S 003	LOADING PLANS	S 100	FOUNDATION PLAN	S 200	DECK FRAMING PLAN	S 300	ROOF FRAMING PLAN	S 400	STRUCTURAL DETAILS	S 401	STRUCTURAL DETAILS	S 410	WOOD SCHEDULES AND DETAILS	S 411	WOOD SCHEDULES AND DETAILS	S 412	WOOD SCHEDULES	S 420	STRUCTURAL DETAILS	S 421	STRUCTURAL DETAILS
A 101	TITLE SHEET																																																																
A 102	WALL TYPES, ABBREVIATIONS, AND SYMBOLS																																																																
A 200	EXISTING CONDITIONS & DEMO PLAN																																																																
A 201	SITE PLAN																																																																
A 202	UTILITY PLAN																																																																
A 203	GRADING PLAN																																																																
A 204	EROSION CONTROL PLAN																																																																
A 205	CIVIL DETAILS																																																																
A 301	DEMO PLAN																																																																
A 302	FLOOR PLAN																																																																
A 303	REFLECTED CEILING PLAN																																																																
A 401	ROOM FINISH & DOOR SCHEDULES																																																																
A 402	DETAILS																																																																
A 501	EXTERIOR ELEVATIONS																																																																
A 601	BUILDING SECTIONS																																																																
A 602	WALL SECTIONS																																																																
A 603	WALL SECTIONS																																																																
A 701	ROOF PLAN																																																																
A 801	INTERIOR ELEVATIONS																																																																
S 001	GENERAL NOTES																																																																
S 002	DESIGN CRITERIA																																																																
S 003	LOADING PLANS																																																																
S 100	FOUNDATION PLAN																																																																
S 200	DECK FRAMING PLAN																																																																
S 300	ROOF FRAMING PLAN																																																																
S 400	STRUCTURAL DETAILS																																																																
S 401	STRUCTURAL DETAILS																																																																
S 410	WOOD SCHEDULES AND DETAILS																																																																
S 411	WOOD SCHEDULES AND DETAILS																																																																
S 412	WOOD SCHEDULES																																																																
S 420	STRUCTURAL DETAILS																																																																
S 421	STRUCTURAL DETAILS																																																																

PROJECT INFORMATION	
APPLICABLE BUILDING CODES 2018 WISCONSIN COMMERCIAL BUILDING CODE [2015 IBC] 2015 INTERNATIONAL EXISTING BUILDING CODE	EXISTING BUILDING BUILDING AREA EXISTING BUILDING AREA: FIRST FLOOR AREA: 8,564 S.F. ADDITION: 486 S.F. TOTAL: 9,050 S.F. TOTAL BUILDING AREA= 14,967 S.F.
MEANS OF EGRESS AND EXIT DISTANCE EXIT ACCESS TRAVEL DISTANCE- WITHOUT SPRINKLER SYSTEM (W.C.B.C. TABLE 1017.2) = 200FT.	NEW BUILDING ADDITION FIRST FLOOR AREA: 5,917 S.F.
OCCUPANT LOAD REFER TO SHEET A 302 FOR OCCUPANT LOAD INFORMATION	CONSTRUCTION CLASSIFICATION EXISTING BUILDING: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 602.5)
SANITARY FIXTURES REFER TO SHEET A 302 FOR SANITARY FIXTURE INFORMATION	OCCUPANCY CLASSIFICATION USE GROUPS PRESENT IN THE BUILDING INCLUDE: EXISTING BUILDING: RESIDENTIAL GROUP "R-4" (W.C.B.C. SECTION 310.6.2)
FIRE PROTECTION EXISTING BUILDING AND NEW BUILDING ADDITION ARE UNSPRINKLERED.	ALLOWABLE HEIGHT AND AREA TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 506.2) USE GROUP "R-4" / CONSTRUCTION CLASSIFICATION VB NON-SPRINKLERED ALLOWABLE AREA = 7,000 S.F. FRONTAGE INCREASE (SECTION 506.3) (FRONTAGE / PERIMETER - 0.25) WIDTH / 30 = INCREASE FACTOR (290' / 521' - 0.25) 30 / 30 = .30 TOTAL ALLOWABLE AREA (PER STORY) TABULAR AREA + (TABULAR AREA × FRONTAGE INCREASE) = ALLOWABLE 7,000 + (2,100) = 9,100 S.F.
BUILDING HEIGHT (ALLOWABLE) = 2 STORIES / 40'-0" BUILDING HEIGHT (ACTUAL) = 1 STORY / 20'-0" BUILDING AREA (ACTUAL) = 9,050 S.F.	NEW BUILDING ADDITION: TYPE VB CONSTRUCTION (W.C.B.C. SECTION 602.5)
BUILDING HEIGHT (ALLOWABLE) = 1 STORY / 40'-0" BUILDING HEIGHT (ACTUAL) = 1 STORY / 31'-0" BUILDING AREA (ACTUAL) = 5,917 S.F.	NEW BUILDING ADDITION: ASSEMBLY GROUP "A-3" (W.C.B.C. SECTION 303.4)
TABULAR AREA ALLOWANCE (W.C.B.C. TABLE 506.2) USE GROUP "A-3" / CONSTRUCTION CLASSIFICATION VB NON-SPRINKLERED ALLOWABLE AREA = 6,000 S.F.	BUILDING HEIGHT (ALLOWABLE) = 1 STORY / 40'-0" BUILDING HEIGHT (ACTUAL) = 1 STORY / 31'-0" BUILDING AREA (ACTUAL) = 5,917 S.F.

PROJECT NOTES
EXTENT OF WORK THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.
SITE VISIT THE CONTRACTOR SHALL VISIT THE SITE, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
NOTICE TO BIDDERS BIDDERS SHALL REVIEW ALL DRAWINGS AND ALL SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
COPYRIGHT ABACUS ARCHITECTS, INC. HOLDS ALL RIGHTS OF COPYRIGHT IN AND TO THESE PRINTS, DRAWINGS, AND DOCUMENTS. NO REPRODUCTION, COPYING, ALTERATION, MODIFICATION, USAGE, INCORPORATION, INTO OTHER DOCUMENTS, OR ASSIGNMENT OF THE SAME MAY OCCUR WITHOUT THE PRIOR WRITTEN PERMISSION OF ABACUS ARCHITECTS, INC. © 2024 ABACUS ARCHITECTS, INC.
PROJECT ADD ALTERNATES
#1 BASE BID CONCRETE SIDEWALK TO POOL DOOR. ADD ALTERNATE EXTERIOR WOOD DECK WITH COMPOSITE DECKING BOARDS AND METAL GUARDRAIL. #2 BASE BID WOOD SIDING AND TRIM TO MATCH EXISTING. ADD ALTERNATE STRAND SUBSTRATE SIDING AND TRIM. #3 BASE BID ASPHALT SINGLES TO MATCH EXISTING. ADD ALTERNATE 16" WIDE METAL STANDING SEAM ROOF PANELS. #4 BASE BID NO SKYLIGHTS. ADD ALTERNATE ROOF RIDGE SKYLIGHTS.



DRAWN BY: SH, DB

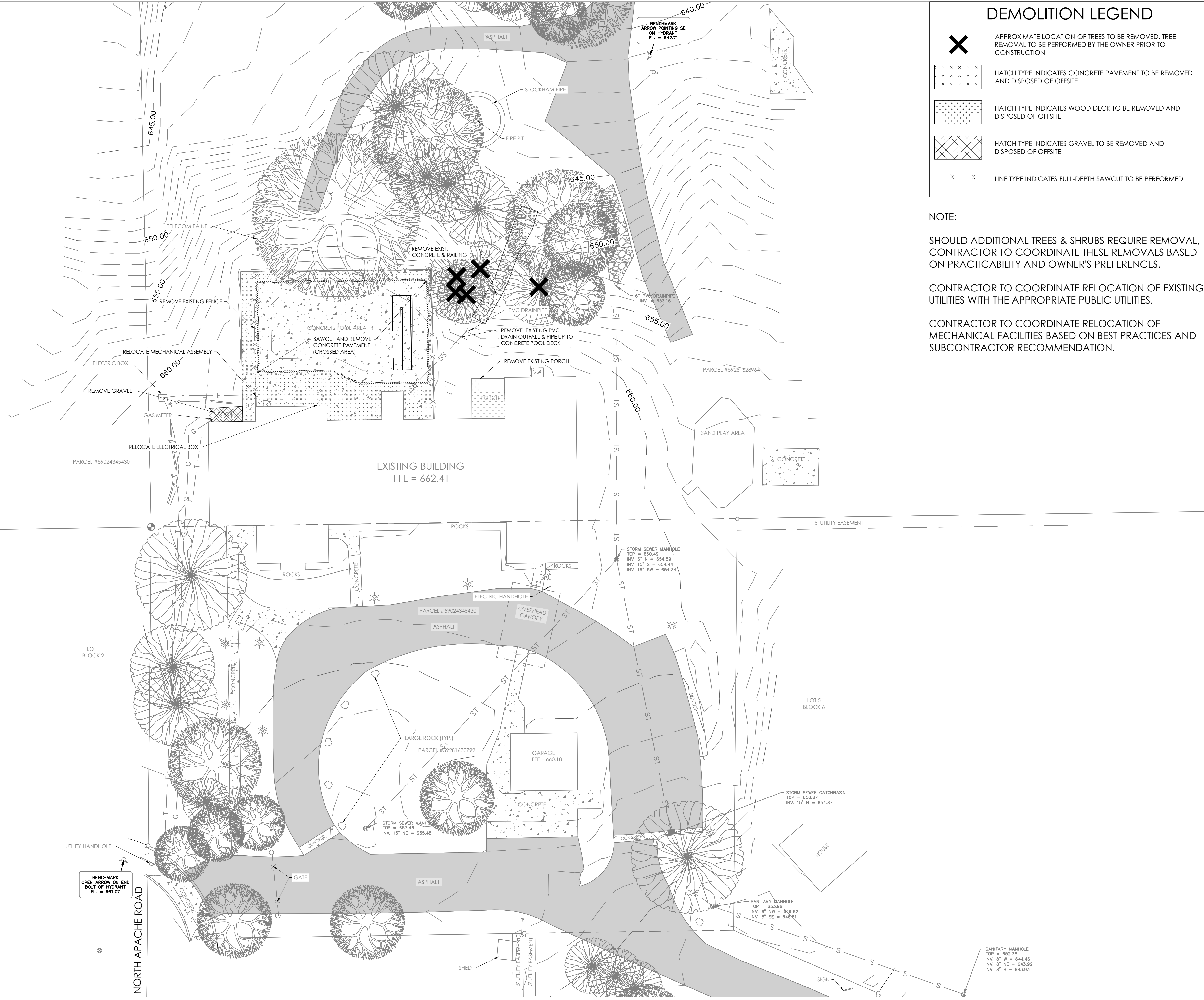
CHECKED BY: KS

TITLE SHEET

A
101

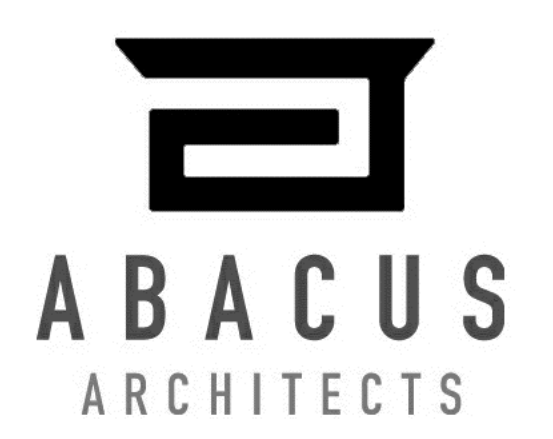
PROJ. NO. 2015-61

P:\2015-CONTRACTS\2015-61 - Camp Evergreen Pool Addition\Phase - 2\Camp Evergreen Pool Addition\Phase - 2\Construction Documents\5.3 Sire\2015-61 - Bases.dwg



EXISTING CONDITIONS AND DEMO PLAN

SCALE: 1"=20'



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
© 2024 ABACUS ARCHITECTS, INC.

**POOL ENCLOSURE ADDITION
CAMP EVERGREEN**

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

DRAWN BY: MBS

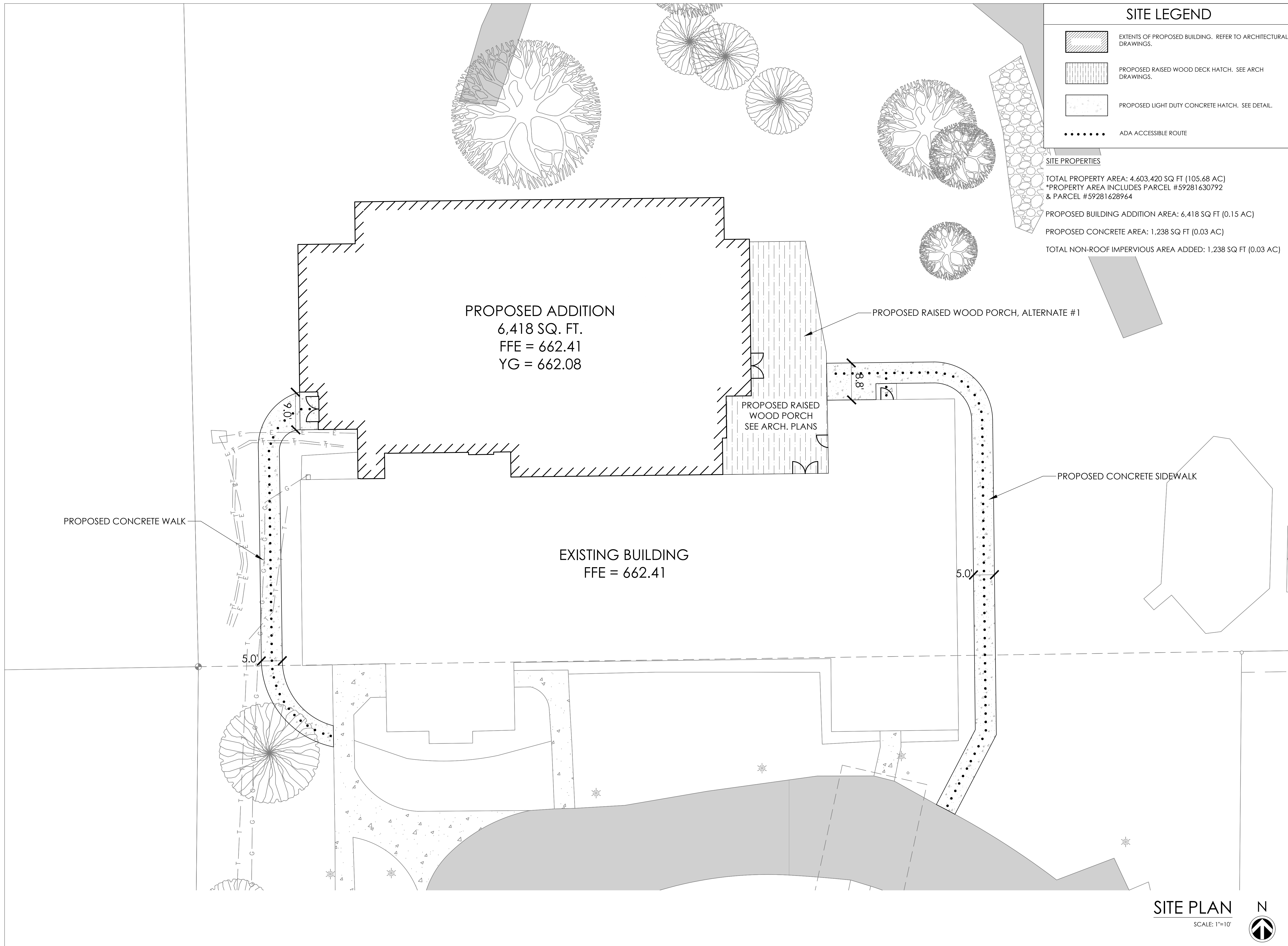
CHECKED BY: JRV

EXISTING CONDITIONS AND DEMO PLAN

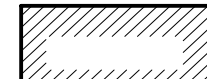



**A
200**

PROJ. NO. 2015-61

P:\2015-CONTRACTS\2015-61 Camp Evergreen Pool Addition\Phase - 2\Construction Documents\3 Site\2015-61 - Base.dwg
June 6, 2024



SITE LEGEND

-  EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
-  PROPOSED RAISED WOOD DECK HATCH. SEE ARCH DRAWINGS.
-  PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
-  ADA ACCESSIBLE ROUTE

SITE PROPERTIES

TOTAL PROPERTY AREA: 4,603,420 SQ FT (105.68 AC)
 *PROPERTY AREA INCLUDES PARCEL #59281630792 & PARCEL #59281628964
 PROPOSED BUILDING ADDITION AREA: 6,418 SQ FT (0.15 AC)
 PROPOSED CONCRETE AREA: 1,238 SQ FT (0.03 AC)
 TOTAL NON-ROOF IMPERVIOUS AREA ADDED: 1,238 SQ FT (0.03 AC)

PROPOSED ADDITION
 6,418 SQ. FT.
 FFE = 662.41
 YG = 662.08

EXISTING BUILDING
 FFE = 662.41



REVISIONS:

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

© 2024 ABACUS ARCHITECTS, INC.

JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN
 2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

DRAWN BY: MBS

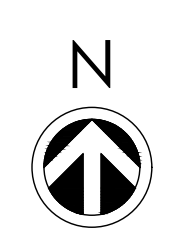
CHECKED BY: JRV

SITE PLAN

A
201

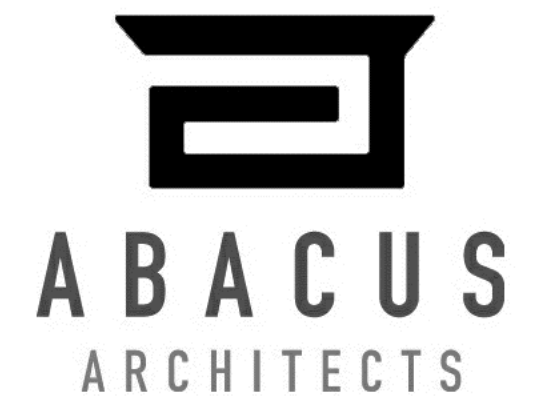
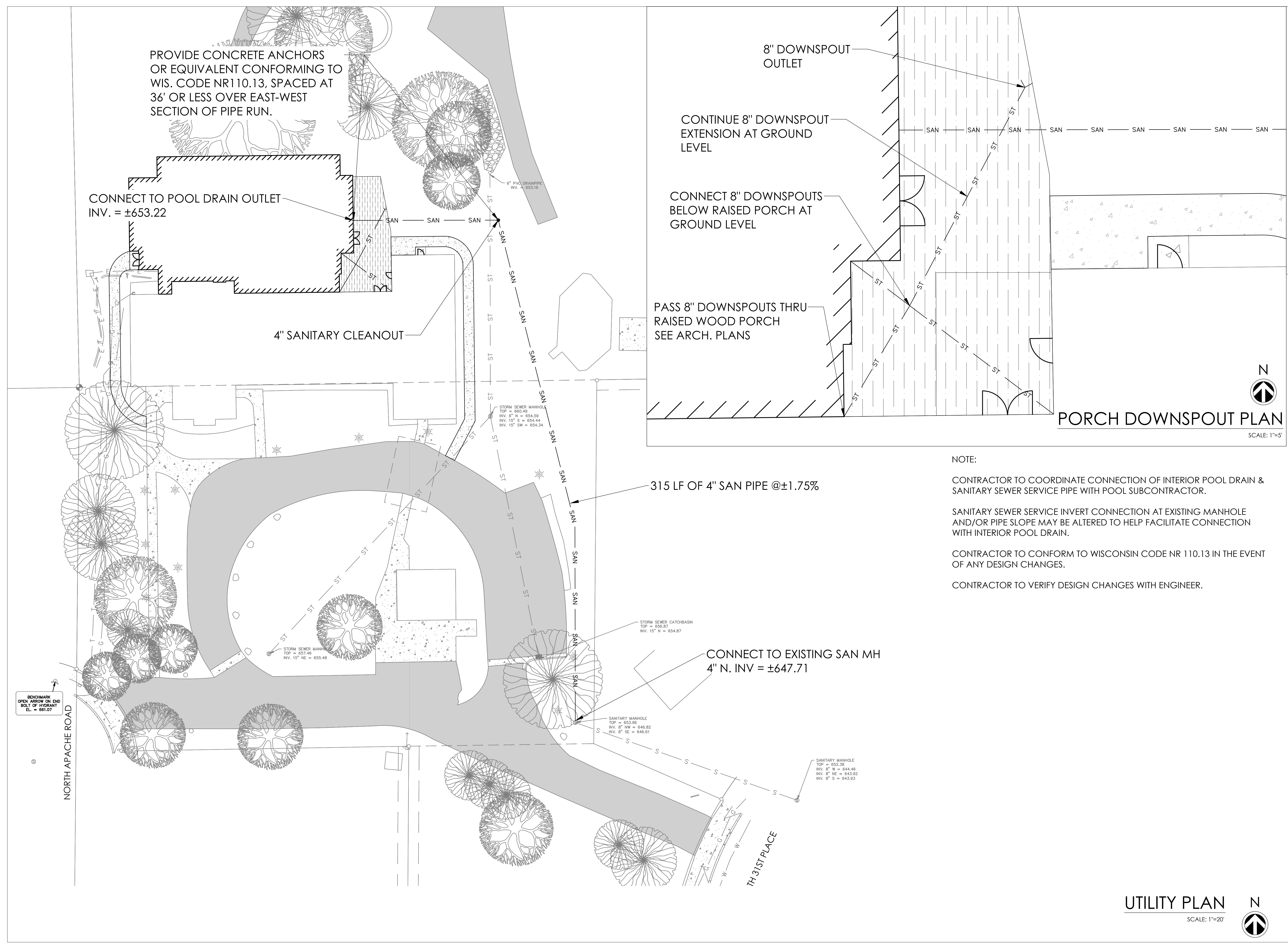
PROJ. NO. 2015-61

SITE PLAN
 SCALE: 1"=10'



June 6, 2024

F:\2015-CONTRACTS\2015-61 - Camp Evergreen Pool Addition\Phase - 2\Construction Documents\3.3 Sfr\2015-61 - Base.dwg



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

© 2024 ABACUS ARCHITECTS, INC.

JUNE 6, 2024
POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

DRAWN BY: MBS

CHECKED BY: JRV

UTILITY PLAN

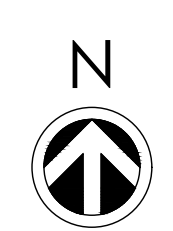
A
202

PROJ. NO. 2015-61

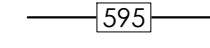
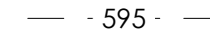
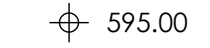
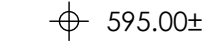
PORCH DOWNSPOUT PLAN
SCALE: 1"=5'

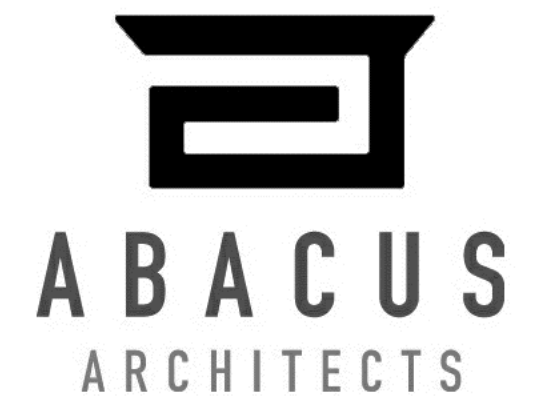
NOTE:
CONTRACTOR TO COORDINATE CONNECTION OF INTERIOR POOL DRAIN & SANITARY SEWER SERVICE PIPE WITH POOL SUBCONTRACTOR.
SANITARY SEWER SERVICE INVERT CONNECTION AT EXISTING MANHOLE AND/OR PIPE SLOPE MAY BE ALTERED TO HELP FACILITATE CONNECTION WITH INTERIOR POOL DRAIN.
CONTRACTOR TO CONFORM TO WISCONSIN CODE NR 110.13 IN THE EVENT OF ANY DESIGN CHANGES.
CONTRACTOR TO VERIFY DESIGN CHANGES WITH ENGINEER.

UTILITY PLAN
SCALE: 1"=20'



GRADING LEGEND

-  PROPOSED CONTOUR
-  EXISTING CONTOUR
-  PROPOSED SPOT ELEVATION
-  MATCH EXISTING ELEVATION



REVISIONS:

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.
 © 2024 ABACUS ARCHITECTS, INC.

PROPOSED ADDITION
 6,418 SQ. FT.
 FFE = 662.41
 YG = 662.08

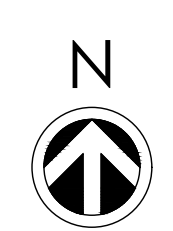
EXISTING BUILDING
 FFE = 662.41

BUILD UP ELEVATION ALONG
 EXISTING BUILDING LINE

BUILD UP ELEVATION ALONG
 EXISTING BUILDING LINE

GRADING PLAN

SCALE: 1"=10'



JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE., SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

DRAWN BY: MBS

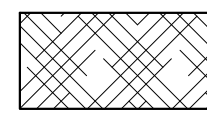


CHECKED BY: JRV

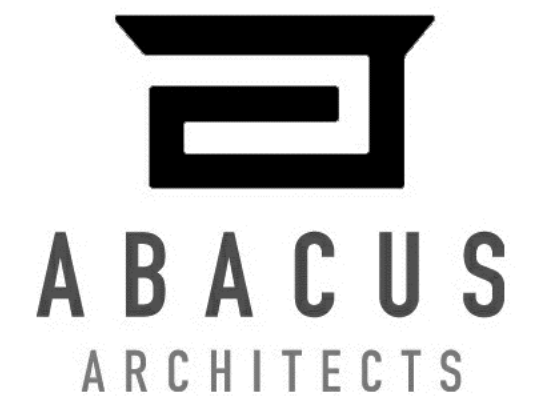
GRADING PLAN

A
203

PROJ. NO. 2015-61

EROSION CONTROL LEGEND

-  EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL
-  PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL
-  INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL



REVISIONS:

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

© 2024 ABACUS ARCHITECTS, INC.

JUNE 6, 2024
POOL ENCLOSURE ADDITION

CAMP EVERGREEN

2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

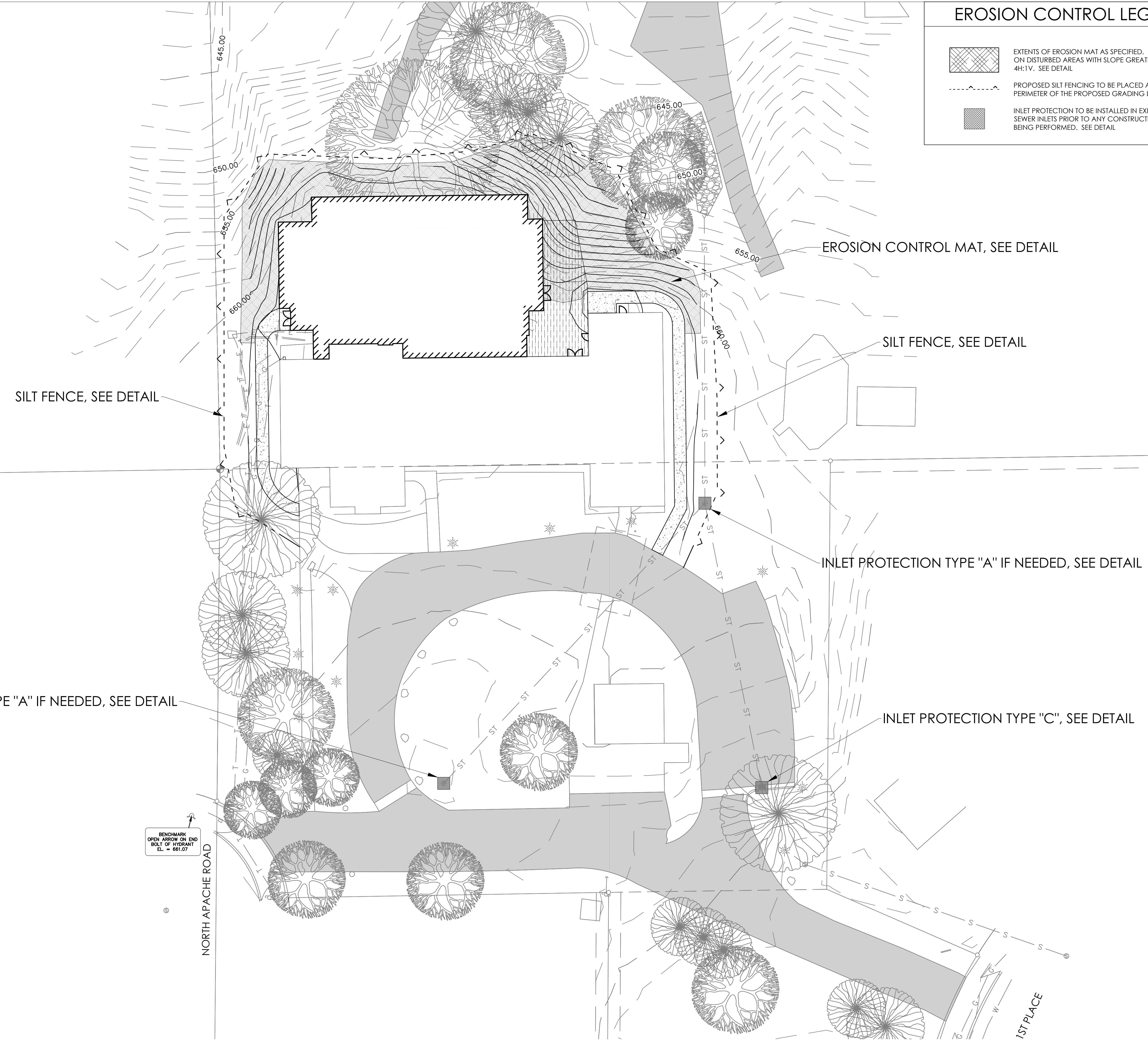
DRAWN BY: MBS

CHECKED BY: JRV

EROSION CONTROL PLAN

A
204

PROJ. NO. 2015-61



INLET PROTECTION TYPE "A" IF NEEDED, SEE DETAIL

SILT FENCE, SEE DETAIL

EROSION CONTROL MAT, SEE DETAIL

SILT FENCE, SEE DETAIL

INLET PROTECTION TYPE "A" IF NEEDED, SEE DETAIL

INLET PROTECTION TYPE "C", SEE DETAIL

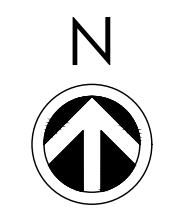
BENCHMARK
OPEN ARROW ON END
BOLT OF HYDRANT
EL. = 661.07

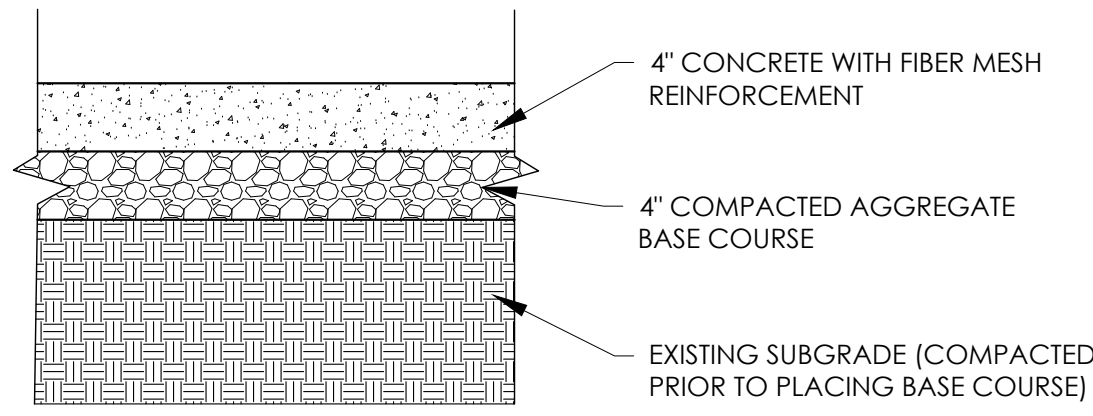
NORTH APACHE ROAD

31ST PLACE

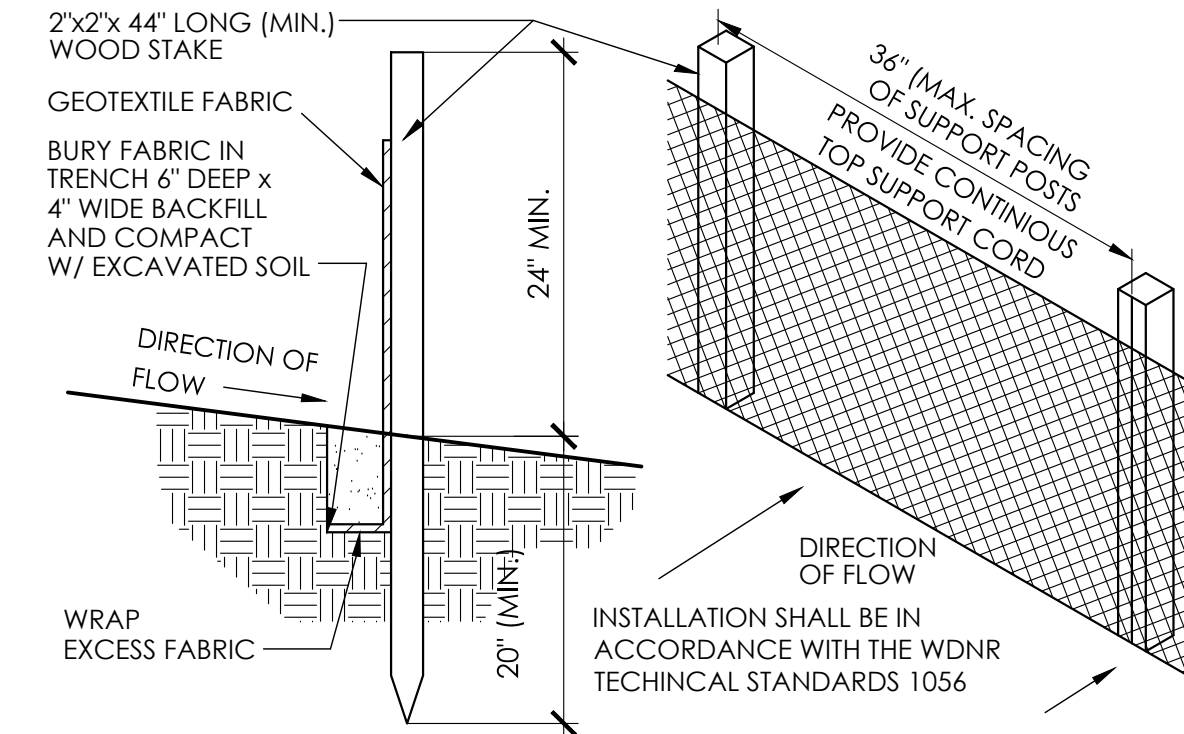
EROSION CONTROL PLAN

SCALE: 1"=20'

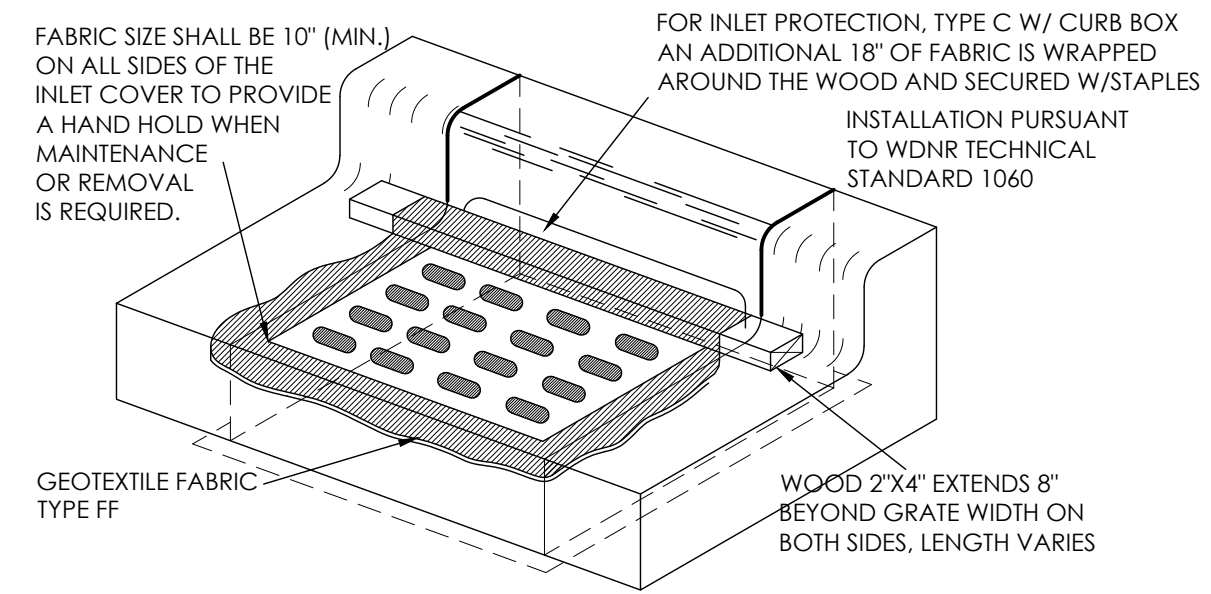




CONCRETE SIDEWALK CROSS SECTION

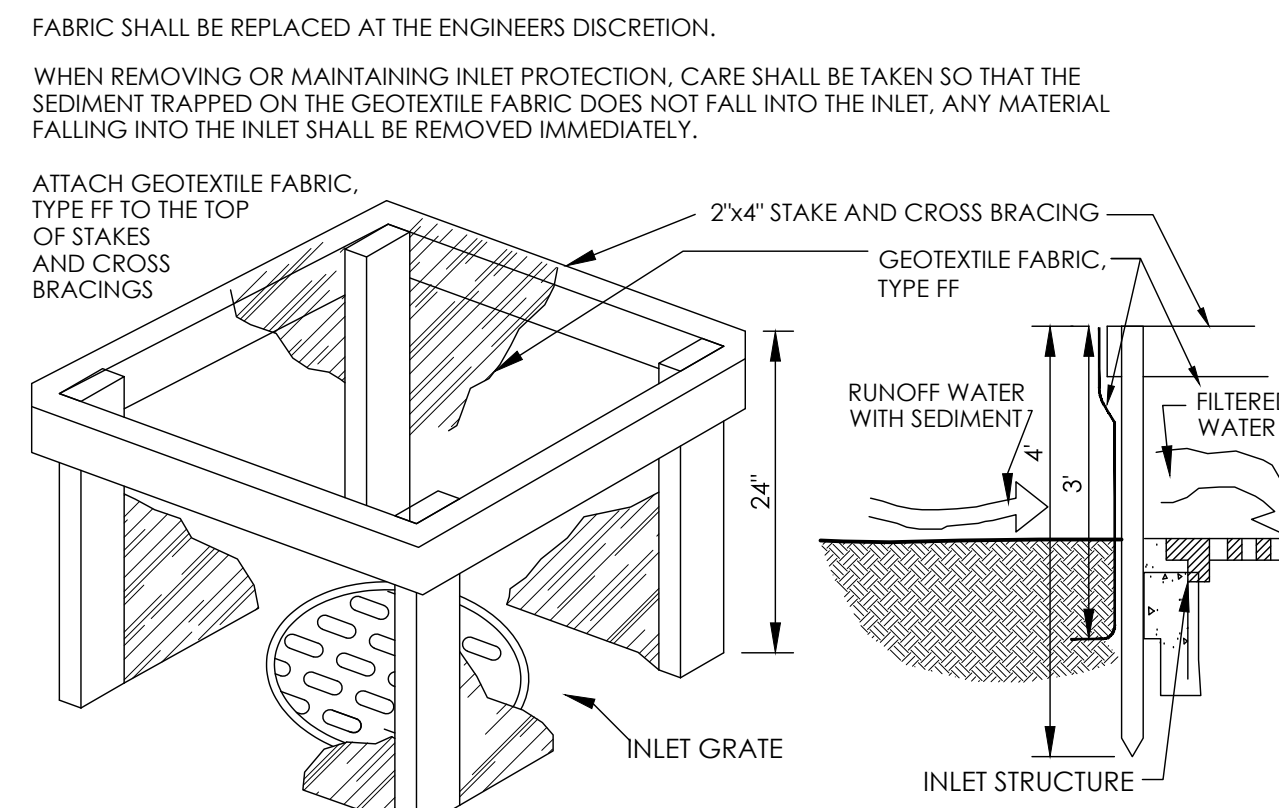


SILT FENCE SECTION & DETAIL



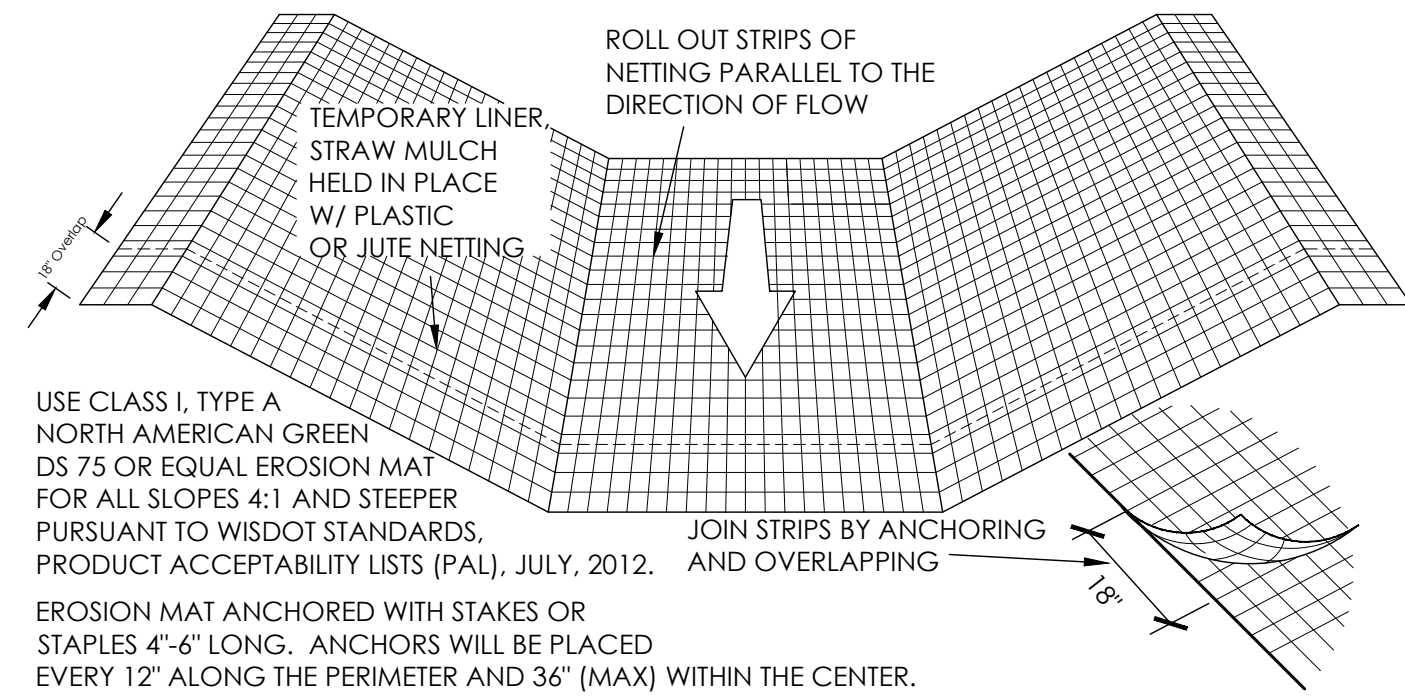
INLET PROTECTION, TYPE 'C'

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 TYPE 'C' INLET PROTECTION TO BE IMPLEMENTED UPON CONSTRUCTION OF CURB AND GUTTER. PRIOR TO CURB AND GUTTER CONSTRUCTION, TYPE 'A' INLET PROTECTION SHALL BE PROVIDED.



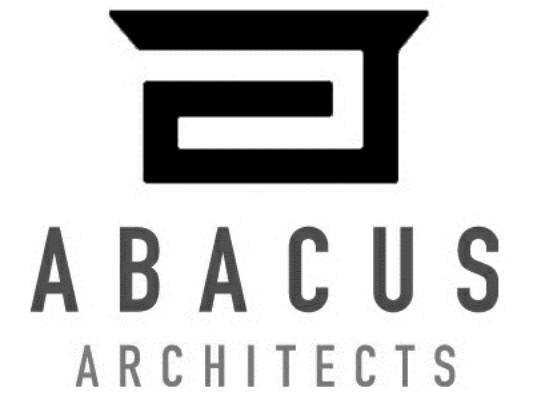
INLET PROTECTION, TYPE 'A'

INSTALLATION PURSUANT TO WDNR TECHNICAL STANDARD 1060



USE CLASS I, TYPE A NORTH AMERICAN GREEN DS 75 OR EQUAL EROSION MAT FOR ALL SLOPES 4:1 AND STEEPER PURSUANT TO WISDOT STANDARDS, PRODUCT ACCEPTABILITY LISTS (PAL), JULY, 2012.
 EROSION MAT ANCHORED WITH STAKES OR STAPLES 4"-6" LONG. ANCHORS WILL BE PLACED EVERY 12" ALONG THE PERIMETER AND 36" (MAX) WITHIN THE CENTER.

EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



REVISIONS:

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK.

© 2024 ABACUS ARCHITECTS, INC.

JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN
 2776 NORTH 31ST PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53202 (414) 837-4450

DRAWN BY: MBS

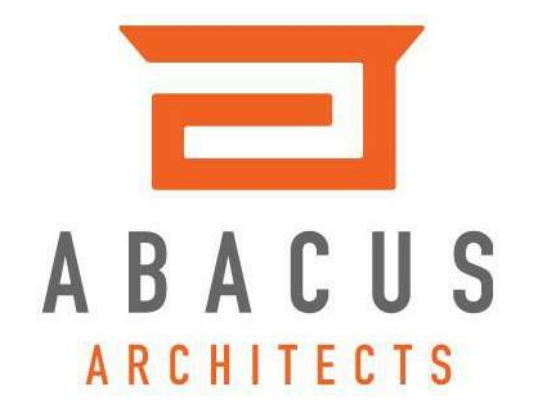
CHECKED BY: JRV

DETAILS

A 205

PROJ. NO. 1015-61

DETAILS



REVISIONS:

DATE ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

© 2023 ABACUS ARCHITECTS, INC.

ISSUE DATE: JUNE 6, 2024
POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SH, DB

CHECKED BY: KS

FLOOR PLAN

A
302

PROJ. NO. 2015-61

LIFE SAFETY PLAN LEGEND

100'-0" PATH OF TRAVEL / DISTANCE

33" EXIT AND AVAILABLE EXIT INCHES

FEC-X & FE FIRE EXTINGUISHER
 FE: WALL MOUNTED W/ BRACKET
 FEC-1: FULLY RECESSED CABINET
 FEC-2: SEMI-RECESSED CABINET
 FEC-3: SURFACE MOUNTED CABINET

FIRE AND SMOKE PROTECTION FEATURES

1W - 1W - 1W PROTECTION TYPE (SEE PLAN)
 1, 2, 3, OR 4 HOUR FIRE WALL
 • REQUIRED AT WALLS INDICATED ON PLAN
 • EXTEND TO:
 - UNDERSIDE OF FLOOR OR ROOF SHEATHING, OR SLAB OR DECK ABOVE
 - 30' MIN. ABOVE ADJACENT ROOFS
 - AT STEEPED ROOF LOCATIONS, EXTEND 30' MIN ABOVE TOP OF ADJACENT ROOF
 • SEE FIRE RATED ASSEMBLIES FOR FIRE WALL TERMINATION DETAILS

GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FLOOR PLAN KEYNOTES

NO.	DESCRIPTION
1	EXISTING POOL
2	EXISTING POOL ACCESS STAIR
3	EXISTING POOL ACCESS RAMP
4	SKYLIGHT ABOVE - ALTERNATE
5	SLOT TRENCH DRAIN
6	HOYER LIFT
7	CONCRETE POOL DECK, PITCH TO DRAIN
8	2 HOUR FIRE SUTTER AT PASS-THRU COUNTER
9	DRINKING FOUNTAIN WITH BOTTLE FILLER
10	RELOCATED KITCHEN MAKE-UP AIR UNIT
11	EXISTING CRAWL SPACE VENT
12	POOL SUMP CROCK
13	EXISTING POOL HEATER
14	RELOCATED POOL FILTER TANK
15	POOL CHEMICAL TANK
16	WATER SOFTENER AND BRINE TANK
17	WOOD DECK WITH COMPOSITE DECKING BOARDS - ALTERNATE
18	DECORATIVE METAL GUARDRAIL - ALTERNATE
19	RELOCATED ELECTRICAL SERVICE PANEL
20	RELOCATE CRAWL SPACE VENT TO NEW CHASE ENCLOSURE
21	PUSH BUTTON DOOR OPERATORS

OCCUPANT LOAD / SANITARY FIXTURES

B-4 EXISTING FACILITY

OCCUPANT LOAD = 60 OCCUPANTS

TOILETS	REQUIRED
MEN - 30 OCC AT 1/10 =	3 TOILETS
WOMEN - 30 OCC AT 1/10 =	3 TOILETS

LAVATORIES	REQUIRED
MEN - 30 OCC AT 1/10 =	3 LAVS
WOMEN - 30 OCC AT 1/10 =	3 LAVS

SHOWERS	REQUIRED
MEN - 30 OCC AT 1/8 =	4 SHOWERS
WOMEN - 30 OCC AT 1/8 =	4 SHOWERS

DRINKING FOUNTAIN: 60 OCCUPANTS AT 1/100 = 1 DRINKING FOUNTAIN

SERVICE SINK: 1 SERVICE SINK

A-3 POOL ENCLOSURE ADDITION

OCCUPANT LOAD = 248 OCCUPANTS

TOILETS	REQUIRED
MEN - 124 OCC AT 1/125 =	1 TOILET
WOMEN - 124 OCC AT 1/65 =	2 TOILETS

LAVATORIES	REQUIRED
MEN - 124 OCC AT 1/200 =	1 LAV
WOMEN - 124 OCC AT 1/200 =	1 LAV

SHOWERS: 0 SHOWERS

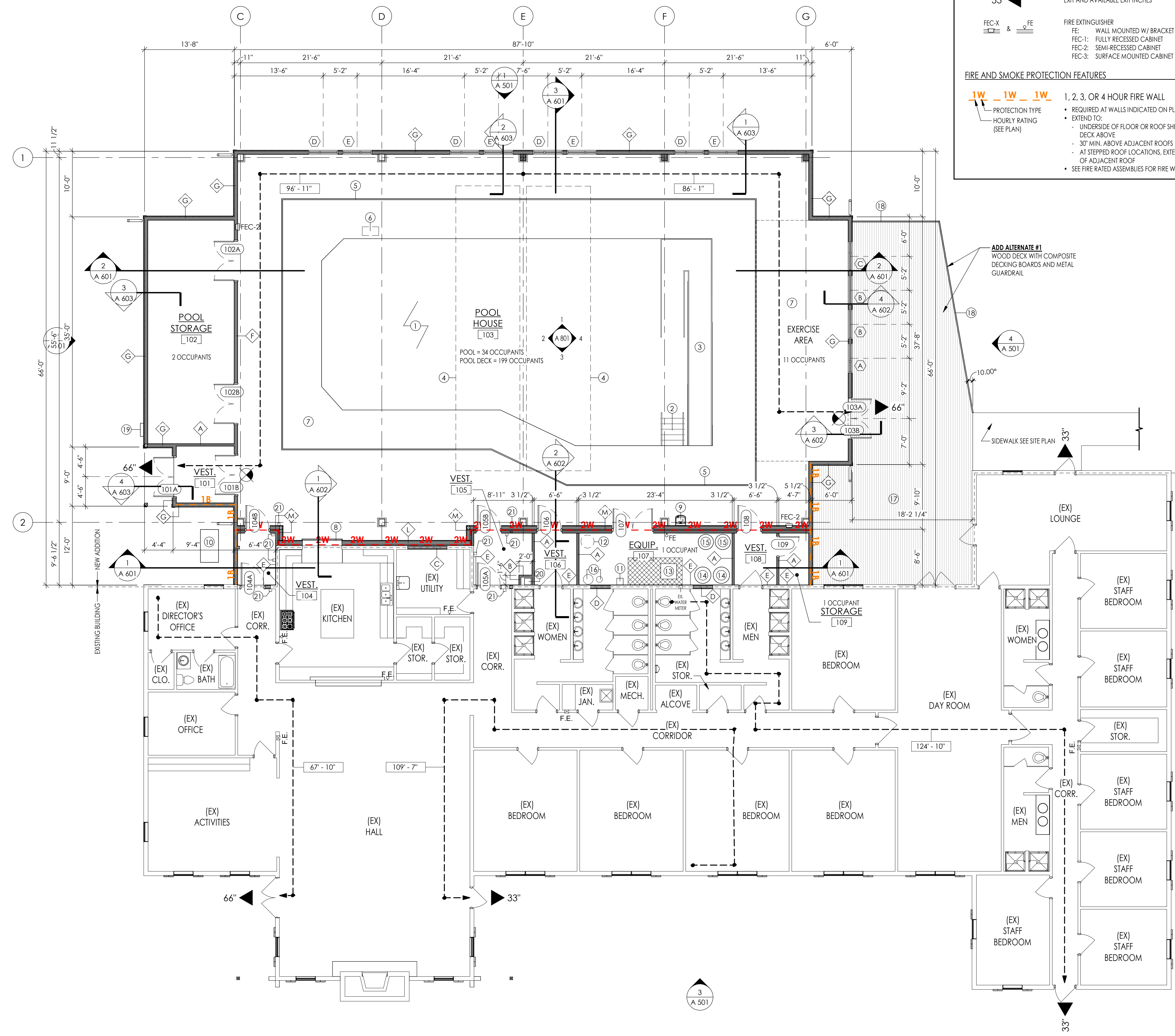
DRINKING FOUNTAIN: 248 OCCUPANTS AT 1/500 = 1 DRINKING FOUNTAIN

SERVICE SINK: 1 SERVICE SINK

BUILDING REQUIREMENTS

	REQUIRED	PROVIDED
TOTAL REQUIRED TOILETS FOR MEN =	4	4
TOTAL REQUIRED TOILETS FOR WOMEN =	5	5
TOTAL REQUIRED LAVATORIES FOR MEN =	4	6
TOTAL REQUIRED LAVATORIES FOR WOMEN =	4	6
TOTAL REQUIRED SHOWERS FOR MEN =	4	5
TOTAL REQUIRED SHOWERS FOR WOMEN =	4	5
TOTAL REQUIRED DRINKING FOUNTAINS =	2	1/STAFF PROVIDED VIA KITCHEN
TOTAL REQUIRED SERVICE SINKS =	2	2

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REFLECTED CEILING PLAN LEGEND

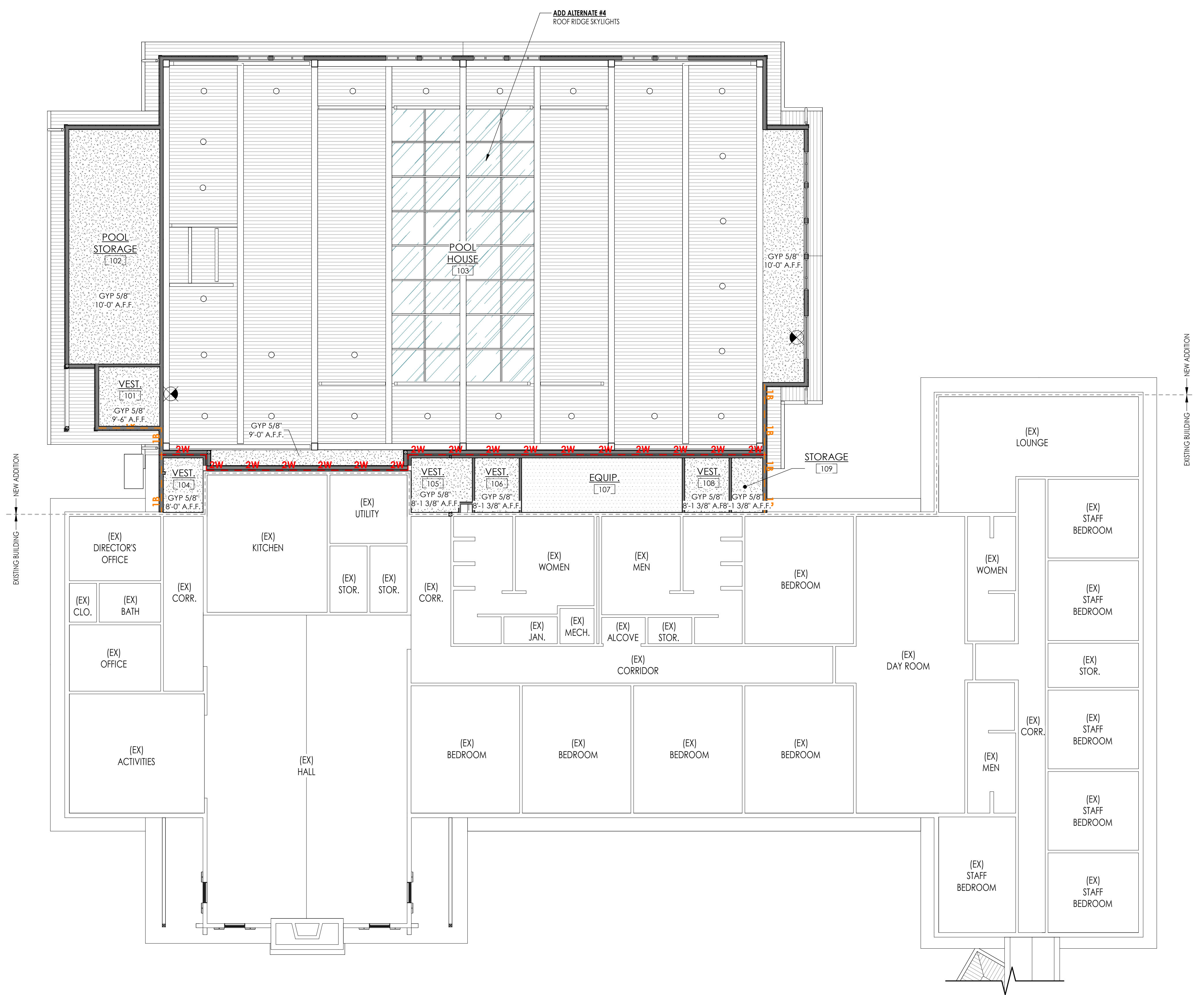
- 2 x 2 ACOUSTIC TILE CEILING
- GYPSUM BOARD
- EXPOSED STRUCTURE
- TONGUE & GROOVE WOOD DECKING
- EXIT LIGHT



REVISIONS:

DATE	ISSUE

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
 © 2023 ABACUS ARCHITECTS, INC.



REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



ISSUE DATE: JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

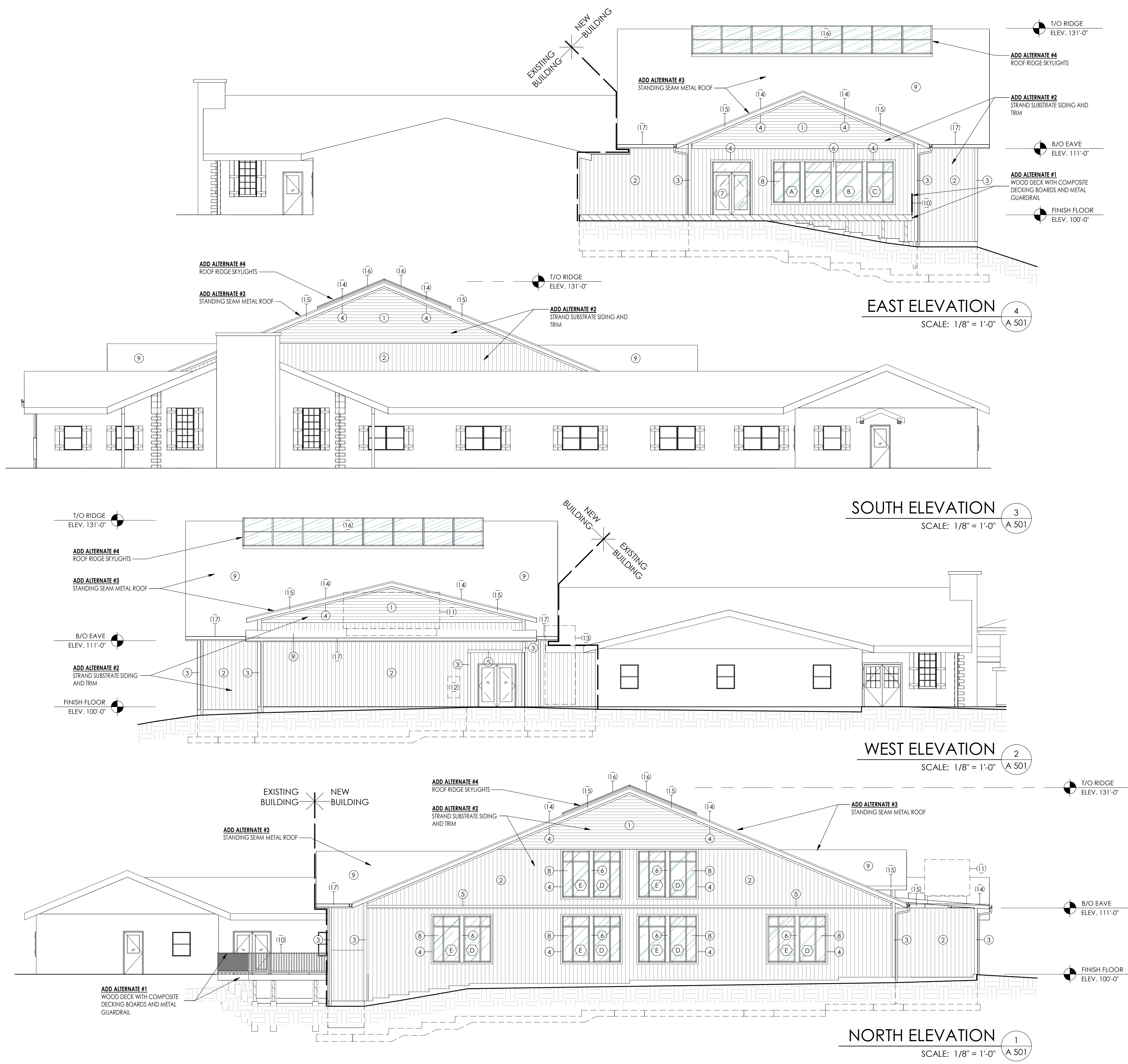
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SH, DB
 CHECKED BY: KS

REFLECTED CEILING PLAN

A
303

PROJ. NO. 2015-61



GENERAL EXTERIOR ELEVATION NOTES

- ALL EXPOSED MISC. EXTERIOR STEEL SHALL BE PAINTED WITH PAINT FINISH E-1.
- MASONRY COURSING SHOWN FOR MATERIAL REPRESENTATION ONLY. ACTUAL COURSING MAY VARY.
- MASONRY CONTROL JOINTS SHALL BE LOCATED AT ALL MASONRY HEIGHT CHANGES, WINDOW OPENINGS, DOOR OPENINGS, 5' MAX. FROM BUILDING CORNERS, AND 25' MAX. AT CONTINUOUS WALL LOCATIONS.

ELEVATION KEYNOTES

NO.	DESCRIPTION
1	HORIZONTAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE LAP SIDING)
2	VERTICAL WOOD SIDING TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE VERTICAL PANEL SIDING WITH VERTICAL GROOVES 8" O.C.)
3	5 1/2" WOOD CORNER BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE CORNER BOARD)
4	3 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 3 1/2" STRAND SUBSTRATE TRIM BOARD)
5	5 1/2" WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 5 1/2" STRAND SUBSTRATE TRIM BOARD)
6	WOOD TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE TRIM BOARD)
7	ALUMINUM DOOR AND FRAME
8	ALUMINUM FRAMED WINDOW
9	ASPHALT SHINGLES TO MATCH EXISTING (ADD ALTERNATE #3 - 16" WIDE METAL STANDING SEAM ROOF PANELS)
10	ADD ALTERNATE #1 - METAL GUARDRAIL AT DECK
11	ROOFTOP HVAC UNIT
12	ELECTRICAL SERVICE BOX
13	RELOCATED KITCHEN MAKE-UP AIR UNIT
14	2 1/2" WOOD GABLE TRIM BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - 2 1/2" STRAND SUBSTRATE GABLE TRIM BOARD)
15	WOOD FASCIA BOARD TO MATCH EXISTING (ADD ALTERNATE #2 - STRAND SUBSTRATE FASCIA BOARD)
16	ADD ALTERNATE #4 - ROOF RIDGE SKYLIGHTS
17	ALUMINUM GUTTER AND DOWNSPOUT



REVISIONS:

NO.	DATE	ISSUE

NOTICE TO BIDDERS
BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

© 2023 ABACUS ARCHITECTS, INC.

ISSUE DATE: JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN
 2776 N 31st PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R., PHILIPS AVE., SUITE 210, MILWAUKEE, WI 53203

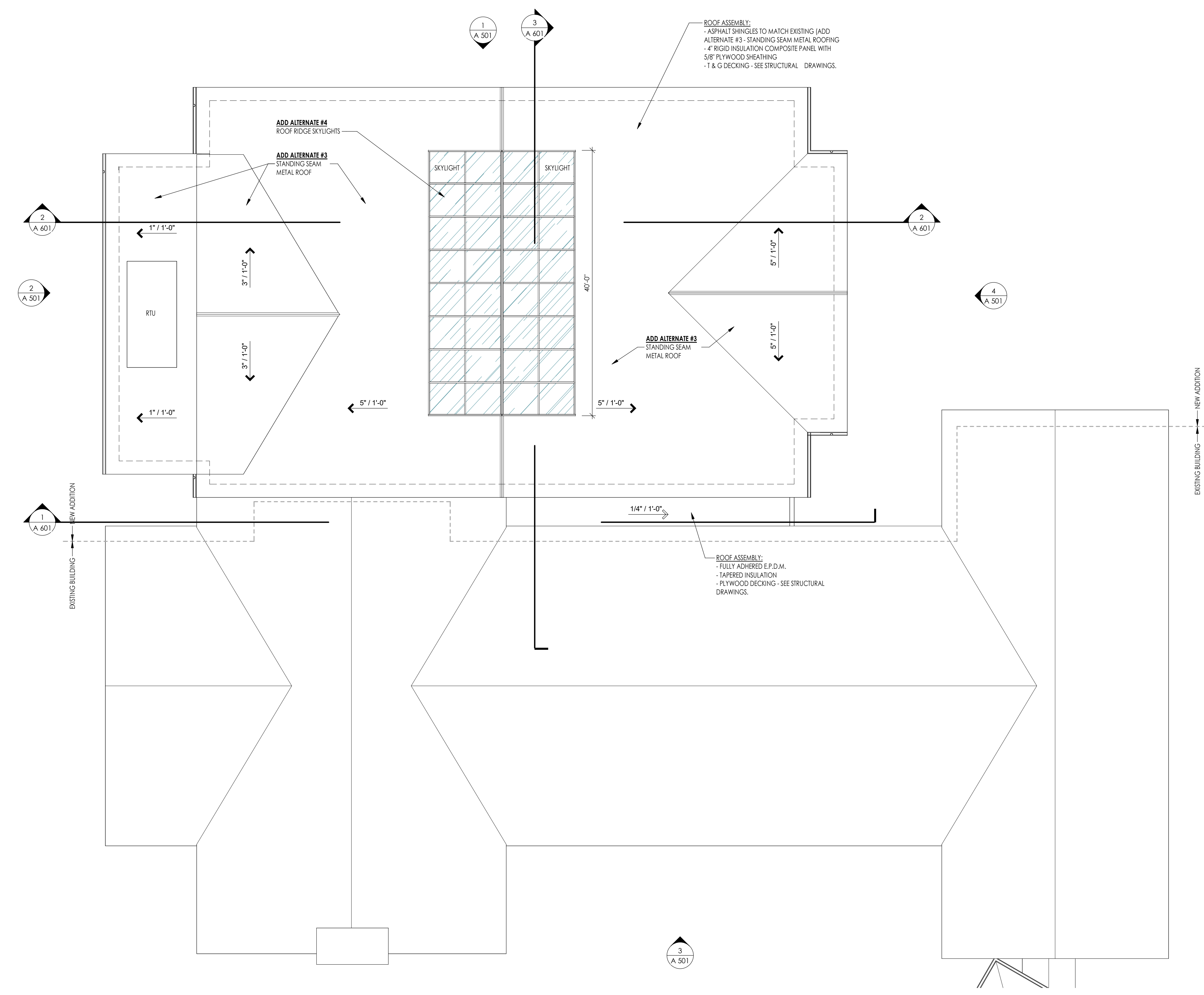
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SH, DB
 CHECKED BY: KS

EXTERIOR ELEVATIONS

A
501

PROJ. NO. 2015-61



GENERAL ROOF NOTES

- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/4" PER 1'-0" MINIMUM.

ROOF SYMBOLS

- TAPERED INSULATION ROOF DRAINAGE
- SLOPED STRUCTURE ROOF DRAINAGE
- ▨ TAPERED INSULATION SADDLE / EDGE STRIP



REVISIONS:

DATE	ISSUE

NOTICE TO BIDDERS
 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

© 2023 ABACUS ARCHITECTS, INC.

ISSUE DATE: JUNE 6, 2024
 POOL ENCLOSURE ADDITION
CAMP EVERGREEN

2776 N 31st PLACE, SHEBOYGAN, WI 53083
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: SH, DB

CHECKED BY: KS

ROOF PLAN

A
701

PROJ. NO. 2015-61

ROOF PLAN
 SCALE: 1/8" = 1'-0"



**CITY OF SHEBOYGAN
RESOLUTION 38-24-25**

BY ALDERPERSONS DEKKER AND RAMEY.

JULY 1, 2024.

A RESOLUTION authorizing the appropriate City officials to grant an Easement to Wisconsin Public Service Corporation for a portion of City-owned property currently used by the Parking and Transit Department located at Parcel No. 59281502950.

WHEREAS, Wisconsin Public Service Corporation (“WPS”) desires a permanent and exclusive 50’ x 60’ easement in order to install and maintain improvements relating to utility service at Parcel No. 59281502950, which is City-owned property currently utilized by Shoreline Metro; and

WHEREAS, Shoreline Metro and the Department of Public Works approves granting such as easement.

NOW, THEREFORE, BE IT RESOLVED: That the Mayor and City Clerk are hereby authorized and directed to execute the attached Gas Easement to Wisconsin Public Service Corporation conveying permanent and exclusive use of a portion of City-owned property located at Parcel No. 59281502950.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

_____.

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of Sheboygan

Meredith DeBruin, City Clerk, City of Sheboygan

GAS EASEMENT

RS

RE #3315819

This **GAS EASEMENT** (the "Easement") is made by **CITY OF SHEBOYAGAN**, a Wisconsin Municipal Corporation, ("Grantor"), to **WISCONSIN PUBLIC SERVICE CORPORATION**, a Wisconsin corporation, ("Grantee"). Grantor and Grantee may be referred to individually as a "Party" or collectively as the "Parties".

For good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor hereby conveys and grants to Grantee, its successors and assigns, a permanent exclusive Easement on, over, under, across, through and upon a part of Grantor's property hereinafter referred to as the "Easement Area", upon that certain property of Grantor located in Sheboygan County, Wisconsin. (the "Grantor Parcel").

1. Easement Area: The Grantor Parcel and the location of the Easement Area with respect to the Grantor Parcel are both described on the attached Exhibit "A" and made a part hereof by this reference.

2. Purpose: This Easement gives, grants and conveys unto Grantee, its successors and assigns, subject to the limitations and reservations herein stated, the perpetual and exclusive right, permission and authority to install, construct, operate, maintain, inspect, test, protect, alter, repair, reconstruct, replace, relocate, enlarge and remove gas regulators and valve assemblies together with and including but not limited to the necessary foundations, buildings and structures, fencing, access driveway, storm water retention systems, protective barriers, piping and associated appurtenances, filters, gas process heating equipment, remote power actuator facilities together with a power pole, antenna and associated communication equipment, an electric transformer, wires, cable, anchor and guy wires, riser equipment and power pedestals for electric service and metering, solar power panel facilities, and other related appurtenances under and above-ground of such design and material as Grantee may deem necessary in the construction and operation of a gas regulator, valve assembly and other gas facilities by Grantee for the transmission and distribution of natural gas and all by-products thereof, or any liquids, gases, or substances which can or may be transported or distributed through a pipeline or pipelines, including customary growth and replacement thereof. With respect to the exclusive easement rights described in this Easement, Grantor agrees that neither Grantor nor any third party may install or construct any buildings, structures, improvements or facilities (including without limitation, any gas, electrical, telecommunication, fiber optic or other utility facilities) within the Easement Area. Except easements of record at the signing hereof.

Grantee may designate or otherwise appoint, assign, contract, and duly authorize other persons, firms or corporations to perform, carry out and complete, in whole or in part, the activities and operations, herein enumerated, as it deems necessary and convenient for the full enjoyment and use of the rights herein granted.

3. Use and Access: Grantee shall have all other rights and benefits necessary or convenient for the full enjoyment and use of the rights herein granted, including but not limited to, the right to remove and to clear all structures and obstructions such as, but not limited to, rocks, trees, brush, limbs and fences which might interfere with the rights herein contained.

Grantor agrees that Grantee and its agents, contractors and employees shall have the free and full right to enter upon the Easement Area and adjacent portions of the Grantor Parcel, as necessary or convenient for the full enjoyment and use of the rights herein granted, for the purposes of ingress and egress, performing survey work for civil, environmental, archaeological, cultural, and geotechnical reviews, including soil borings, wetland studies, and to perform other engineering studies and for other purposes consistent with this Easement.

4. Structures and Improvements: Grantor covenants and agrees that no structures or above ground improvements, obstructions or impediments, of whatever kind or nature will be constructed, placed, planted, granted or allowed within the Easement Area. Grantor agrees that any future removal of trees and/or encroaching limbs due to Grantee's maintenance, repair, reconstruction and replacement of the existing gas facilities from the Easement Area will not be compensable.

RETURN TO:
Wisconsin Public Service Corp.
Real Estate Dept.
P.O. Box 19001
Green Bay, WI 54307-9001

(Parcel Identification Number)
59281502950

5. **Elevation:** Grantor covenants and agrees that the elevation of the existing ground surface of land within the Easement Area will not be altered without the prior written consent of Grantee.
6. **Restoration:** Grantee agrees to restore or cause to have restored the adjacent portions of the Grantor Parcel, as nearly as is reasonably possible, to the condition existing prior to such entry by Grantee or its agents.
7. **Ownership:** Grantor, its successors, assigns, heirs, executors and administrators covenant and agree to and with Grantee, its successors and assigns, that at the time of the execution and delivery of this Easement, they are well seized of good and marketable title to the premises above described, and that the same are free and clear from all encumbrances that might materially adversely affect the rights of Grantee hereunder, except the mortgages of record as of the date of this Easement.
8. **Exercise of Rights:** The Parties agree that the complete exercise of the rights herein conveyed may be gradual and not fully exercised for some time in the future, and that none of the rights herein granted shall be lost by non-use for any length of time.
9. **Binding Effect:** This Easement shall be a covenant running with the land and shall be binding upon, and inure to the benefit of the Parties and their heirs, legal representatives, executors, administrators, devisees, legatees, successors or assigns. The rights herein granted to Grantee may be assigned in whole or in part by Grantee at any time.
10. **Non-Titled Spouse:** Any non-titled spouse signs below as Grantor for the purpose of releasing and waiving all rights he or she may hold under all applicable homestead exemption laws and all applicable marital property laws.

This (is/is not) homestead property.
11. **Easement Review:** Grantor acknowledges receipt of materials which describe Grantor's rights and options in the easement negotiation process and furthermore acknowledges that Grantor has had at least five (5) days to review this easement document or voluntarily waives the five (5) day review period.

IN WITNESS WHEREOF, the undersigned Grantor(s), have or has caused these presents to be executed in its name by its proper representative(s) duly authorized this _____ day of _____, 20____.

CITY OF SHEBOYAGAN, a Wisconsin Municipal Corporation

Sign Name _____
Print Name\Title _____

Sign Name _____
Print Name\Title _____

STATE OF _____)
 : SS
_____ COUNTY)

Personally came before me this _____ day of _____, 20____, the above-named _____,

known to me to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public Signature

Print Name _____

Notary Public, State of _____

My commission expires _____

[Notary Seal]

This instrument was drafted by LFOshefsky on behalf of WEC Business Services, 2830 S. Ashland Ave., Green Bay WI 54304.

EXHIBIT A

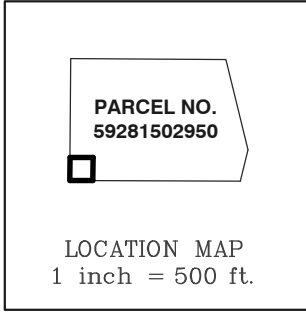
PART OF LOTS 8 & 9 OF BLOCK 187 OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN; BEING PART OF THE SOUTHWEST FRACTION OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 23, TOWNSHIP 15 NORTH, RANGE 23 EAST, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

GRANTOR:
CITY OF SHEBOYGAN
828 CENTER AVE.
SHEBOYGAN, WI 53081

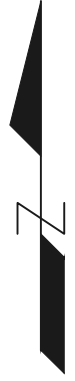
GRANTEE:
WISCONSIN PUBLIC
SERVICE CORPORATION
P.O. BOX 19001
2830 S. ASHLAND AVE.
GREEN BAY, WI 54307-9001

-LEGEND-

- = SHEBOYGAN CO. PLSS COR.
- = 1" IRON PIPE FOUND
- = PLSS SECTION LINE
- = OWNER'S PROPERTY LINE
- = EASEMENT AREA
- = P.O.B. = POINT OF BEGINNING



BEARINGS REFERENCED TO THE WEST LINE OF THE SW1/4, SECTION 23
ASSIGNED: N00°-01'-01"E PER THE SHEBOYGAN COUNTY COORDINATE SYSTEM



W1/4 CORNER
SECTION 23
T.15N., R.23E.

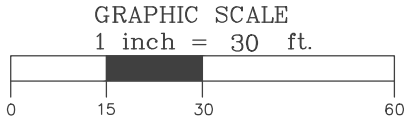
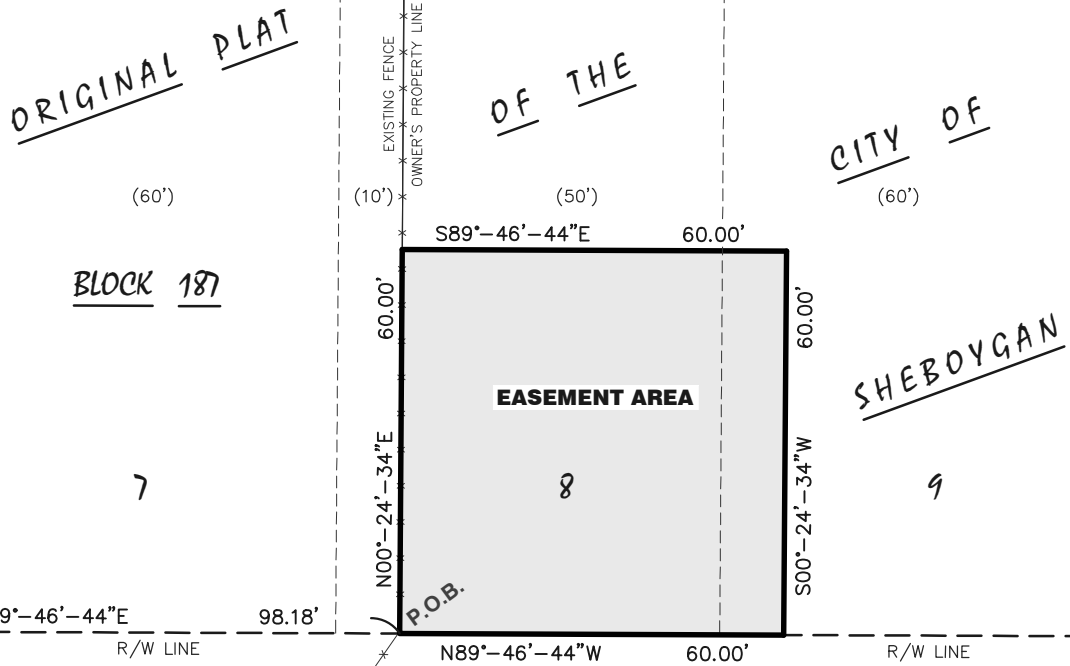
2667.13'

2225.96'
EXISTING FENCE
(VACATED SPRUCE ST.)

WEST LINE OF THE SW1/4, SECTION 23
441.17'

N00°-01'-01"E

SW CORNER
SECTION 23
T.15N., R.23E.
(10" NAIL FOUND)



SURVEYED FOR:

Wisconsin Public Service
P.O. BOX 19001
2830 S. ASHLAND AVE.
GREEN BAY, WI 54307-9001

WR NUMBER: NA	DOCUMENT NO.: NA
DRAFTED BY: BJB	FIELD WORK DATE: 01-08-24
REVIEWED BY: BB	FIELD BOOK: NOTES
JOB NO.: 15091	SHEET 1 OF 2

MERIDIAN SURVEYING, LLC

2020 Madison Street Office: 920-993-0881
New Holstein, WI 53061 Fax: 920-273-6037

EXHIBIT A

PART OF LOTS 8 & 9 OF BLOCK 187 OF THE ORIGINAL PLAT OF THE CITY OF SHEBOYGAN; BEING PART OF THE SOUTHWEST FRACTION OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 23, TOWNSHIP 15 NORTH, RANGE 23 EAST, CITY OF SHEBOYGAN, SHEBOYGAN COUNTY, WISCONSIN

GRANTOR:
CITY OF SHEBOYGAN
828 CENTER AVE.
SHEBOYGAN, WI 53081

GRANTEE:
WISCONSIN PUBLIC
SERVICE CORPORATION
P.O. BOX 19001
2830 S. ASHLAND AVE.
GREEN BAY, WI 54307-9001

GRANTOR PARCEL:

The parcel described in the Sheboygan County Register of Deeds Office, recorded in Volume 737, page 637, as document number 978272, being in the Southwest Fraction of the Southwest Quarter (SW1/4) of Section Twenty-Three (23), Township Fifteen (15) North, Range Twenty-Three (23) East, City of Sheboygan, Sheboygan County, Wisconsin.

PERMANENT GAS EASEMENT DESCRIPTION:

All that part of the Grantor parcel being part of Lots Eight (8) and Nine (9) of Block One-Hundred Eighty-Seven (187) of the Original Plat of the City of Sheboygan; being part of the Southwest Fraction of the Southwest Quarter (SW1/4) of Section Twenty-Three (23), Township Fifteen (15) North, Range Twenty-Three (23) East, City of Sheboygan, Sheboygan County, Wisconsin, described as follows:

Commencing at the Southwest Corner of said Section 23; thence N00°-01'-01"E along the west line of the SW1/4 of said Section 23, a distance of 441.17 feet to the west extension of the north right of way line of Virginia Avenue; thence S89°-46'-44"E along said north right of way line and its west extension, a distance of 98.18 feet to the point of beginning; thence N00°-24'-34"E along a line being ten (10) feet east of and parallel to the west line of said Lot 8, a distance of 60.00 feet; thence S89°-46'-44"E 60.00 feet; thence S00°-24'-34"W 60.00 feet to said north right of way line; thence N89°-46'-44"W along said north right of way line, a distance of 60.00 feet to the point of beginning; containing 3,600 square feet (0.083 acres) and being subject to any and all easements and restrictions of record.

SURVEYED FOR:



Wisconsin Public Service
P.O. BOX 19001
2830 S. ASHLAND AVE.
GREEN BAY, WI 54307-9001

WR NUMBER: NA	DOCUMENT NO.: NA
DRAFTED BY: BJB	FIELD WORK DATE: 01-08-24
REVIEWED BY: BB	FIELD BOOK: NOTES
JOB NO.: 15091	SHEET 2 OF 2

MERIDIAN
SURVEYING, LLC



2020 Madison Street Office: 920-993-0881
New Holstein, WI 53061 Fax: 920-273-6037

**CITY OF SHEBOYGAN
RESOLUTION 40-24-25**

BY ALDERPERSONS DEKKER AND RAMEY.

JULY 1, 2024.

A RESOLUTION allowing ZWILLING Airstream to be parked in front of Relish Kitchen Store at 811 North 8th Street on July 26, 2024 and July 27, 2024.

WHEREAS, Sec. 48-157 states that no person shall place any goods, wares, merchandise or any other article for sale of exhibition upon any sidewalk, city property or city right-of-way; and

WHEREAS, Relish Kitchen Store is hosting a “Black Friday in July” sales event featuring Knife Skills classes taught by a Zwilling chef; and

WHEREAS, Relish Kitchen Store is requesting use of the city right-of-way to allow for the ZWILLING airstream to park and customers to travel between it and the store via the sidewalk, and

WHEREAS, Relish Kitchen Store agrees to work with City Transit to secure parking permissions during the two-day event; and

WHEREAS, Relish Kitchen Store has provided the necessary insurance for the event; and

WHEREAS, Relish Kitchen Store must be granted approval by the common council by appropriate Resolution.

NOW, THEREFORE, BE IT RESOLVED: That Relish Kitchen Store is granted permission to have the ZWILLING Airstream parked in front of its storefront on July 26, 2024 and July 27, 2024.

PASSED AND ADOPTED BY THE CITY OF SHEBOYGAN COMMON COUNCIL

_____.

Presiding Officer

Attest

Ryan Sorenson, Mayor, City of Sheboygan

Meredith DeBruin, City Clerk, City of Sheboygan

To: Meredith DeBruin, City Clerk
828 Center Avenue, Suite 103
Sheboygan, WI 53081

From: Jane Davis-Wood, President
Sara Woosencraft, Vice President
Relish Kitchen Store
811 North 8th Street
Sheboygan, WI 53081

Re: Special Event on Saturday, July 27, 2024

Dear Ms. DeBruin:

We write to inform the Common Council of an exciting event planned at Relish Kitchen Store, 811 North 8th Street, on Saturday, July 27, 2024. The ZWILLING Airstream tour is visiting Sheboygan.

Zwilling J.A. Henckels, one of the world's most recognized cutlery and cookware companies, has put their outstanding array of high-quality products on a trek across the country, and has selected Relish Kitchen Store as one of their summer tour stops. The Airstream brings Zwilling's family of brands up close and personal to consumers, with interactive product exhibits, question-and-answer sessions with Zwilling experts, and engaging demonstrations.

To support this event, Relish is hosting a "Black Friday in July" one day sales event with preview prices of Black Friday products, Knife Skills classes taught by a ZWILLING chef, gourmet food sampling, door prizes and other special treats still to be confirmed.

The ZWILLING Airstream will be parked in front of Relish Kitchen Store from Friday, July 26th at 4pm until Saturday, July 27th at 6pm. We will work with the Transit department to secure the necessary overnight parking permissions for the event. Thank you for confirming with the City Attorney on June 25th that he does not require us to apply for a Special Event permit.

All are welcome to attend this event.

Thank you,
Jane and Sara

Enclosure:
Certificate of Insurance – Relish Kitchen Store

ZWILLING Airstream photos



