



ARCHITECTURAL REVIEW BOARD AGENDA

September 09, 2024 at 4:00 PM

**City Hall, 3rd Floor - Council Chambers, 828 Center Avenue,
Sheboygan, WI**

Persons with disabilities who need accommodations to attend this meeting should contact the Department of City Development, (920) 459-3377. Persons other than commission, committee, and board members who wish to participate remotely shall provide notice to the City Development Department at 920-459-3377 at least 24 hours before the meeting so that the person may be provided a remote link for that purpose.

OPENING OF MEETING

1. Roll Call
2. Pledge of Allegiance
3. Identify Potential Conflict of Interest

MINUTES

- [4.](#) Approval of minutes from the July 22nd, 2024 meeting.

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- [5.](#) Construction of a building connecting link by A.C.E. Building Service, Inc. located at 3217 Behrens Parkway in the City of Sheboygan Business Park (parcels 59281479085 and 59281479081).
- [6.](#) Exterior remodel of Harborside Condominium located at 641 Riverfront Drive.

NEXT MEETING

7. September 23, 2024

ADJOURN

8. Motion to Adjourn

In compliance with Wisconsin's Open Meetings Law, this agenda was posted in the following locations more than 24 hours prior to the time of the meeting:

*City Hall • Mead Public Library
Sheboygan County Administration Building • City's website*

CITY OF SHEBOYGAN

ARCHITECTURAL REVIEW BOARD MINUTES

Monday, July 22, 2024

Members Present: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde

Excused: Robert Heimerl, Pam Langan and Dave Aldag

Staff/Officials: Associate Planner Ellise Rose and Building Inspection Specialist Linnae Wierus

OPENING OF MEETING

- 1. Roll Call

Chair Joe Clarke called the meeting to order at 4:00 PM

- 2. Pledge of Allegiance

The Pledge of Allegiance was recited.

- 3. Identify Potential Conflict of Interest

No committee member had a conflict of interest.

MINUTES

- 4. Approval of minutes from the May 29th, 2024.

MOTION TO APPROVE THE MINUTES OF THE PREVIOUS MEETING HELDING ON MAY 29, 2024.

Motion made by Jerry Jones, seconded by Alderperson Zachary Rust

Voting Yea: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde

ITEMS FOR DISCUSSION AND POSSIBLE ACTION

- 5. Construction of a new addition at Camp Evergreen located at 2776 N 31st Place.

MOTION TO APPROVE AS PRESENTED.

Motion made by Jerry Jones, seconded by Alderperson Zachary Rust

Voting yea: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde

- 6. Construction of a new addition at Curry Corner located at 915 Erie Ave.

MOTION TO APPROVE AS PRESENTED.

Motion made by Jerry Jones, seconded by Alderperson Zachary Rust

Voting yea: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde

- 7. Construction of a new addition by Torginol, Inc. located at 3217 Behrens Parkway in the City of Sheboygan Business Park.

MOTION TO APPROVE AS PRESENTED.

Motion made by Jerry Jones, seconded by Alderperson Zachary Rust

Voting yea: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde

NEXT MEETING

8. August 12, 2024

The next scheduled meeting is scheduled to be held on August 12, 2024.

ADJOURN

9. Motion to Adjourn

MOTION TO ADJOURN AT 4:17 PM

Motion made by Jerry Jones, seconded by Alderperson Zachary Rust

Voting Yea: Joe Clarke, Jerry Jones, Alderperson Zachary Rust and Richard Linde



CITY OF SHEBOYGAN
ARCHITECTURAL REVIEW
APPLICATION

Item 5.

Fee: _____

Review Date: _____

Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) A.C.E. Building Service, Inc.	Authorized Representative Chris Herzog	Title President	
Mailing Address 3510 S. 26th St.	City Manitowoc	State WI	ZIP Code 54220
Email Address cherzog@acebuildingservice.com	Phone Number (incl. area code) 920-682-6105		

SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)

Name (Ind., Org. or Entity) Torginol, Inc.	Contact Person Tom Testwuide	Title President	
Mailing Address 4617 S. Taylor Dr.	City Sheboygan	State WI	ZIP Code 53081
Email Address tom@torginol.com	Phone Number (incl. area code) 920-694-4800		

SECTION 3: Architect Information

Name A.C.E. Building Service, Inc.			
Mailing Address 3510 S. 26th St.	City Manitowoc	State WI	Zip 54220
Email Address kreuter@acebuildingservice.com	Phone Number (incl. area code) 920-682-6105		


SECTION 4: Contractor Information

Name A.C.E. Building Service, Inc.			
Mailing Address 3510 S. 26th St.	City Manitowoc	State WI	Zip 54220
Email Address kreuter@acebuildingservice.com	Phone Number (incl. area code) 920-682-6105		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Chris Herzog	Title President	Phone Number (920) 682-6105
Signature of Applicant 		Date Signed 8/19/2024

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description 3217 Behrens Parkway, Sheboygan, WI 53081		Parcel No. 59281479085
Name of Proposed/Existing Business:	Torginol, Inc.	
Address of Property Affected:	3217 Behrens Parkway, Sheboygan, WI 53081	
Zoning Classification:	Suburban Industrial	
New Building: <input type="checkbox"/>	Addition: <input type="checkbox"/>	Remodeling: <input type="checkbox"/>

SECTION 7: Description of Proposed Project

The proposed building connecting link consists of two options. Torginol plans to construct either a 4,116 square foot or 8,085 square foot connecting link to allow for a more streamlined process flow and create a means for employees to travel between buildings without the need to travel outdoors. The link will be constructed in the same means and methods as the existing structure, a pre-engineered steel building that compliments the existing building in terms of color scheme, design approach, and intended use.

SECTION 8: Description of EXISTING Exterior Design and Materials

The existing building exterior consists of metal building wall panels with alternating colors and metal accent bands featuring a third color. Large windows are situated high on the walls as an additional architectural element and as a method to break up large expanses of wall panel.

SECTION 9: Description of the PROPOSED Exterior Design and Materials

The building connecting link exterior would consist of metal building wall panel that will match the profile and color of the main building primary color.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Construction of a building connecting link by A.C.E. Building Service, Inc. located at 3217 Behrens Parkway in the City of Sheboygan Business Park (parcels 59281479085 and 59281479081).

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: August 23, 2024

MEETING DATE: September 9, 2024

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

A.C.E. Building Service, Inc. is proposing to construct a building connecting link between their facilities located on Behrens Parkway and Tower Drive in the Sheboygan Business Park. The applicant states the following:

- It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct either a 4,116 square foot or 8,085 square foot expansion on the proposed site with the selected size to be determined in the coming weeks.
- Torginol has experienced several stages of growth over the past several years at their current locations in the City of Sheboygan.
- This link is necessary to increase capacity for material storage, which in turn will bolster their overall business operation and better respond to domestic and international client demand.
- This link will allow for a more streamlined process flow and create a means for employees to travel between buildings without the need to travel outdoors.
- It is our intent to commence construction as soon as is feasible, presumably in the third quarter of 2024.

The applicant states the following about the structure:

- The building expansion will be classified as S-2 Low Hazard Storage / F-2 Low Hazard Factory by the International Building Code.
- 3 new building downspouts will be plumbed to underground storm piping and diverted to the existing storm water treatment area. This is about 4,116 square feet of roof surface runoff that will be diverted to the storm water management area.

- The link construction type will be consistent with the existing facility, which was completed in 2022. Specifically, a pre-engineered metal building with prefinished metal wall panels, gable trim, gutter, and downspouts. The expansion low eave height will be 17'-0" A.F.F. and the high eave height will be 17'-7" A.F.F.
- The wall panel color scheme of the link will match that of the existing Behrens Parkway building.
- Landscaping plans are still in process, but landscaping will be included around the proposed link.

ACTION REQUESTED:

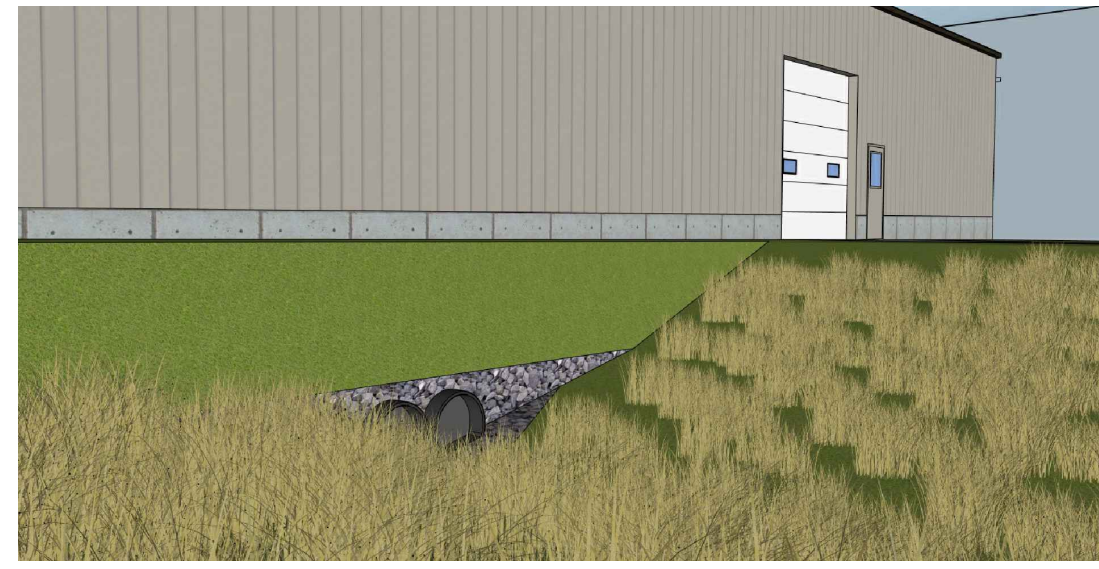
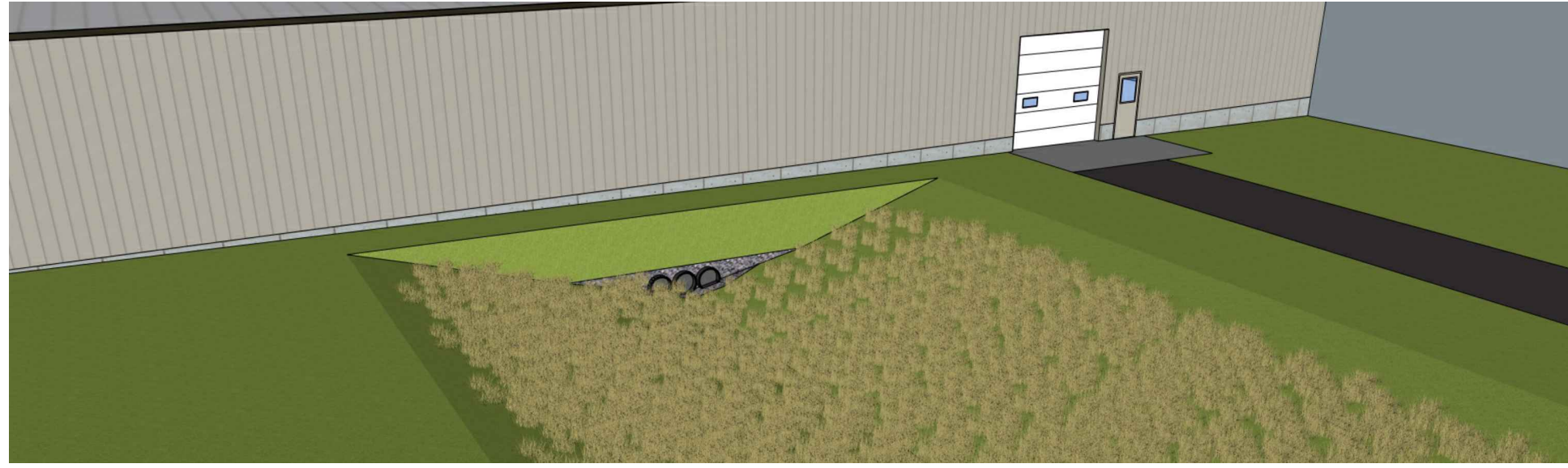
Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

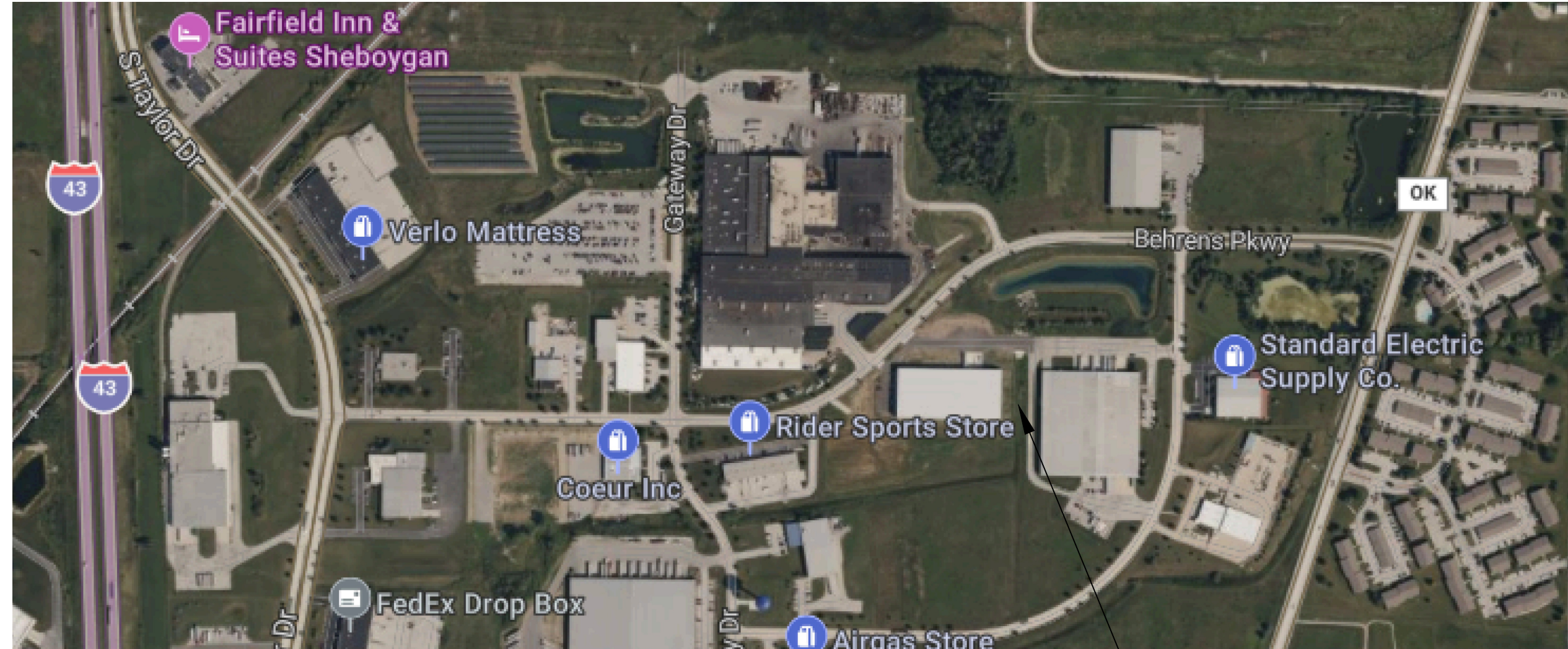
Architectural Review Board Application and required attachments.

TORGINOL, INC. CONNECTING LINK

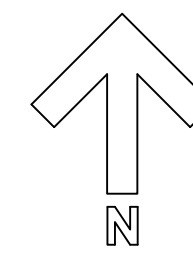
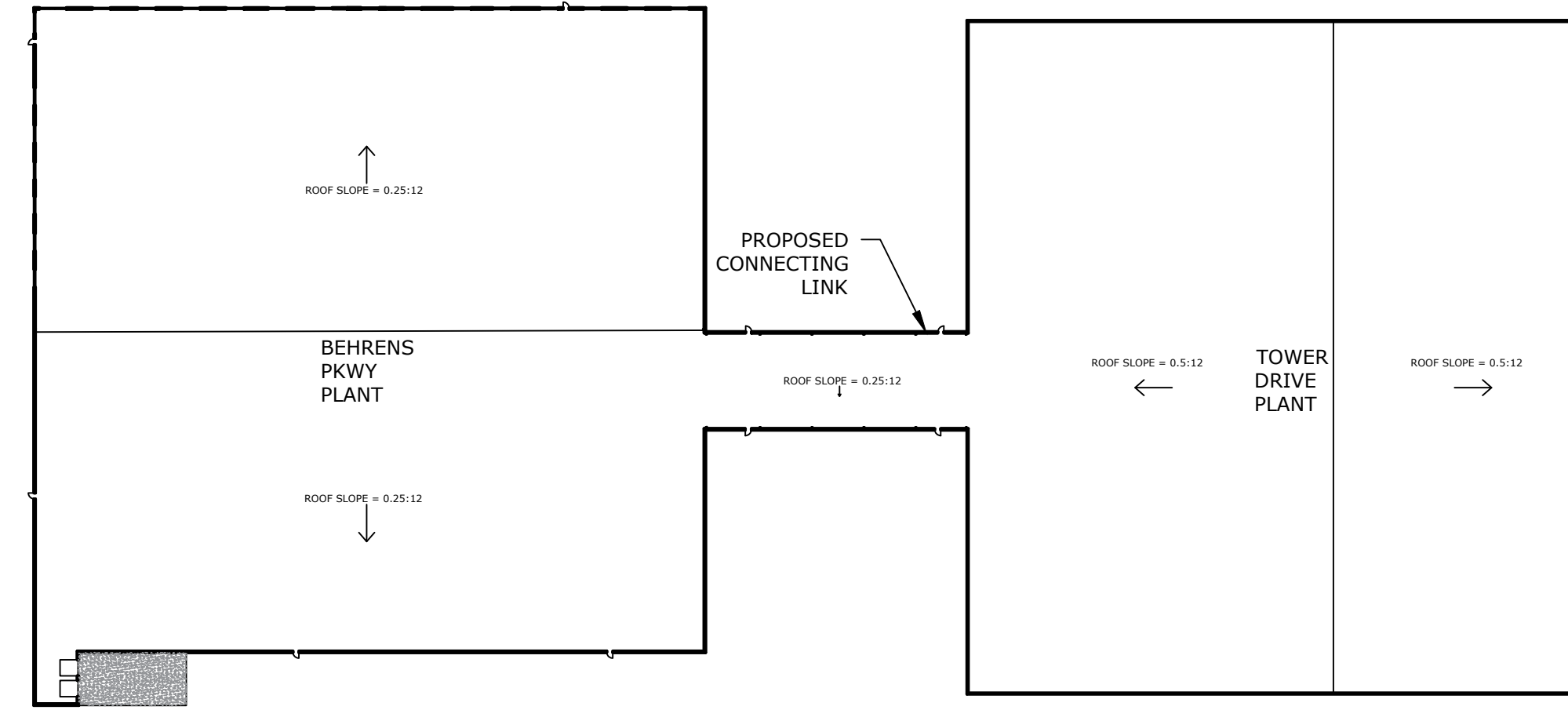
3217 BEHRENS PKWY. SHEBOYGAN, WI 53081



SITE LOCATION MAP



PROPOSED
CONNECTING
LINK LOCATION



SITE OVERVIEW
NTS

SNOW LOADS	
A. BALANCED SNOW LOADS	
Ground Snow Load, $P_g = 30$ psf Exposure Factor, $C_e = 1.0$ (Partially Exposed) Thermal Factor, $C_t = 1.0$ (Heated) Importance Factor, $I = 1.0$ Slope Factor, $C_s = 1.0$	
Balanced Snow Roof Load = 21.0 PSF	
SEISMIC CONDITIONS	
Use Group - I Importance Factor, $I_e = 1.0$ Site Class = D	
Seismic Design Category = A	
WIND LOADS	
V3s = 90 MPH ASD (115 MPH ULT) Exposure = C	
WIND ANALYSIS BY BUTLER MFG	

SOIL BEARING 3,500 PSF PER SOIL REPORT BY: MILLER ENG & SCIENTISTS DATED: JUNE 2024

CONCRETE FLOORS AND FOUNDATIONS - 3000 PSI MIN. IN 28 DAYS
EXTERIOR SLABS - 4000 PSI MIN IN 28 DAYS, AIR ENTRAINED 5-7%
GRADE 60 REBAR

PRE-ENGINEERED METAL BUILDING BUTLER MANUFACTURING COMPANY
1540 GENESEE ST.
KANSAS CITY, MO 64102

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES
- PROPOSED BUILDING AREA = 68,225 SQ FT
- PROPOSED BUILDING VOLUME - 2,016,562.50 CU FT +/-
- CLASS OF CONSTRUCTION - TYPE IIB
- BUILDING OCCUPANCY - S-2 STORAGE LOW HAZARD/ F-2 FACTORY LOW HAZARD
- BUILDING IS PROTECTED BY AUTOMATIC SPRINKLER
- ALL EXIT DOORS TO BE EQUIPPED WITH:

A. EXIT LIGHTS

- Exit signs shall not exceed 5 Watts per side installed wattage.
- Means of Egress Illumination Level shall not be less than 1 Foot Candle at Walking Surface
- Emergency Power for Means of Egress shall provide power for 90 Min and consist of storage batteries, unit equipment, or on-site generator.

B. PROPER EXIT HARDWARE

- LEVER HANDLES THAT DO NOT REQUIRE TWISTING OF THE WRIST

C. THRESHOLDS THAT DO NOT EXCEED 1/2"

- FIRE EXTINGUISHERS TO BE PROVIDED IF REQUIRED BY CODE
- SMOKE DETECTORS TO BE PROVIDED IF REQUIRED BY CODE
- OCCUPANT LOAD PER TBL 1004.1.2 = 68,225/500 = 136 PERSONS
- EGRESS WIDTH REQUIRED RE 1005.3.2 - 135(0.20) = 27", 4X32" = 128" PROVIDED
- MAX TRAVEL EXIT DISTANCE PER 1017.2 = 400'

THERMAL PERFORMANCE

THERMAL COMPLIANCE BY PRESCRIPTIVE METHOD [TABLES 502.1.2 & 502.2(1) OF 2009 IECC CLIMATE ZONE 6 ALL OTHER].

- INSULATED WALK DOORS WILL HAVE A MAXIMUM U VALUE OF 0.70.
1A. INSULATED OVERHEAD DOORS WILL HAVE A MAXIMUM U VALUE OF 0.50.
- UNHEATED SLAB MINIMUM R VALUE OF 10.0 FOR 24" OF PERIMETER EDGE INSULATION.
- ROOF ASSEMBLY MAXIMUM U VALUE OF 0.049 (TESTED 0.043).
- WALL ASSEMBLY MAXIMUM U VALUE OF 0.069 (TESTED 0.059 FOR BUTLER WALL PANEL SYSTEM).
- WINDOW MAXIMUM U VALUE OF 0.36 (TABLE C402.4 OF 2015 IECC CLIMATE ZONE 6).

SHEET INDEX

TITLE SHEET

TS SHEET INDEX, TITLE SHEET, ENGINEERING/ DESIGNER INFORMATION

CIVIL

- | | |
|------|---|
| C001 | SITE SURVEY |
| C002 | SITE PREPARATION & EROSION CONTROL PLAN |
| C100 | SITE PLAN |
| C200 | GRADING & UTILITY PLAN |
| C400 | EROSION CONTROL DETAILS |
| C401 | SITE DETAILS |
| C500 | SITE SPECIFICATIONS |

ARCHITECTURAL

- | | |
|------|--|
| A1.0 | PROPOSED FLOOR PLAN - BASE |
| A1.1 | PROPOSED FLOOR PLAN - ALTERNATE OPTION, OVERALL VIEW |
| A2.0 | ELEVATIONS - BASE |
| A2.1 | ELEVATIONS - ALTERNATE |
| A3.0 | BUILDING SECTION, SCHEDULES |

STRUTURAL

- | | |
|------|---------------------------------|
| S001 | GENERAL NOTES & DESIGN CRITERIA |
| S100 | BASE FOUNDATION PLAN |
| S101 | ALTERNATE FOUNDATION PLAN |
| S400 | FOUNDATION DETAILS |
| S401 | FOUNDATION DETAILS |

REV. BY	DATE	REVISION DESCRIPTION

Item 5.

A.C.E. BUILDING SERVICE
OUR REPUTATION IS OUR FOUNDATION
P.O. BOX 1628 - 9510 SOUTH 26TH STREET - MANITOWOC, WISCONSIN - 54221-1628
PHONE: 920.6826.103 • FAX: 920.6827.700 • WWW.ACEBUILDINGSERVICE.COM
SUPERVISING PROFESSIONAL:

PROJECT INFORMATION:
CONNECTING LINK
TORGINOL, INC.
3217 BEHRENS PKWY.
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

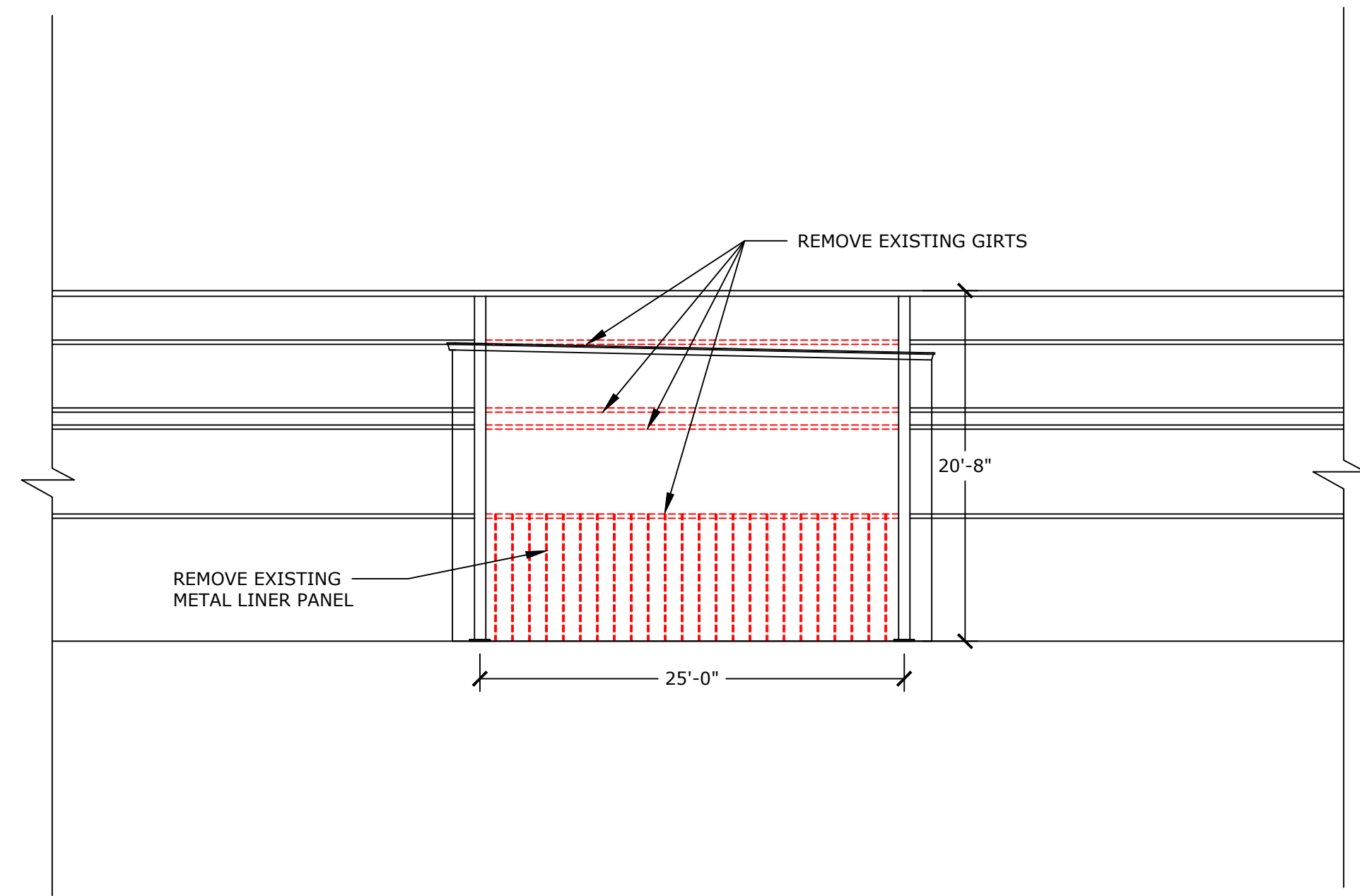
SHEET INFORMATION
A.C.E. JOB NO.

DATE: 08/06/24

DRAWN BY: KDR

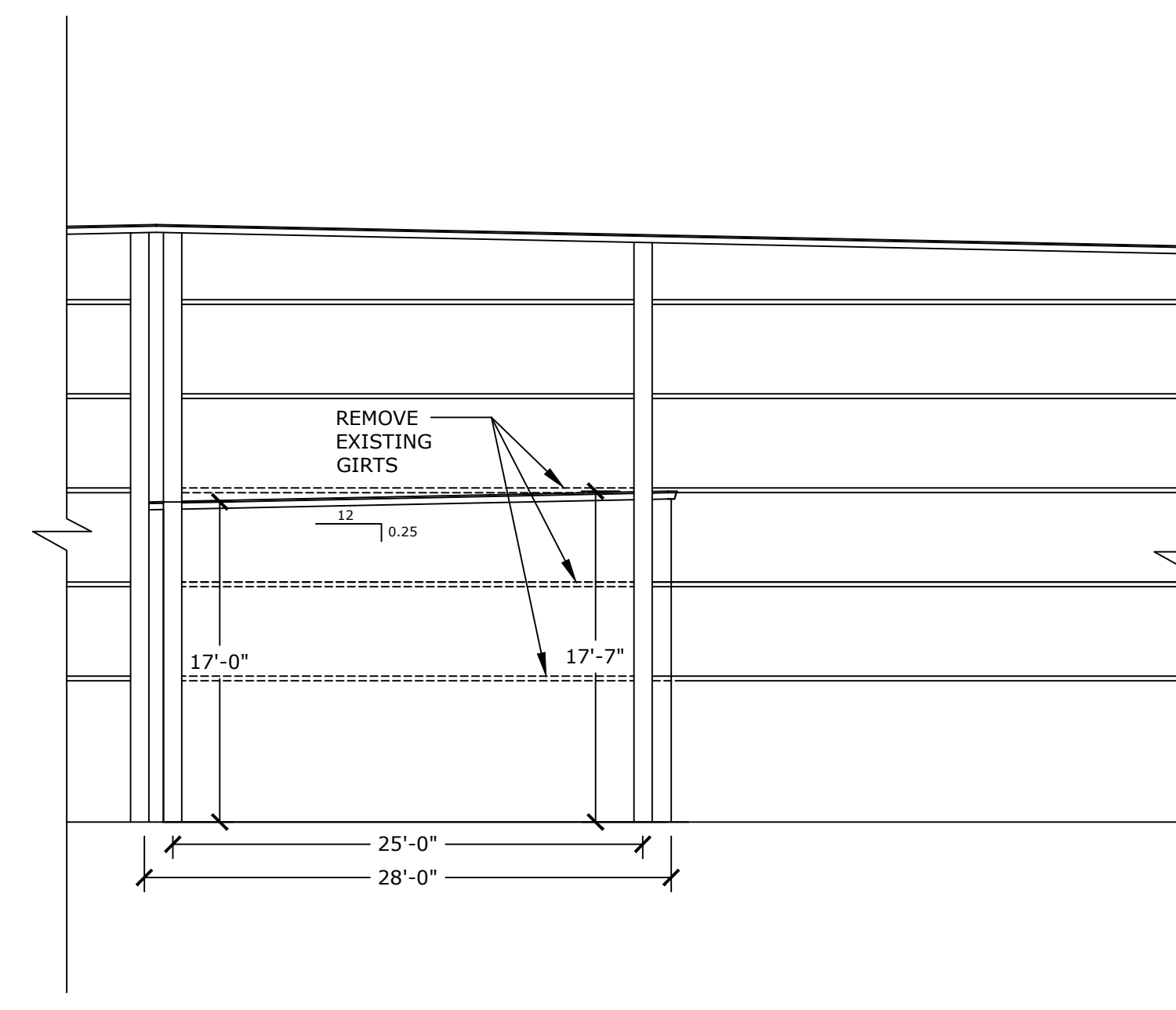
SCALE: SEE SHEET

SHEET
TS



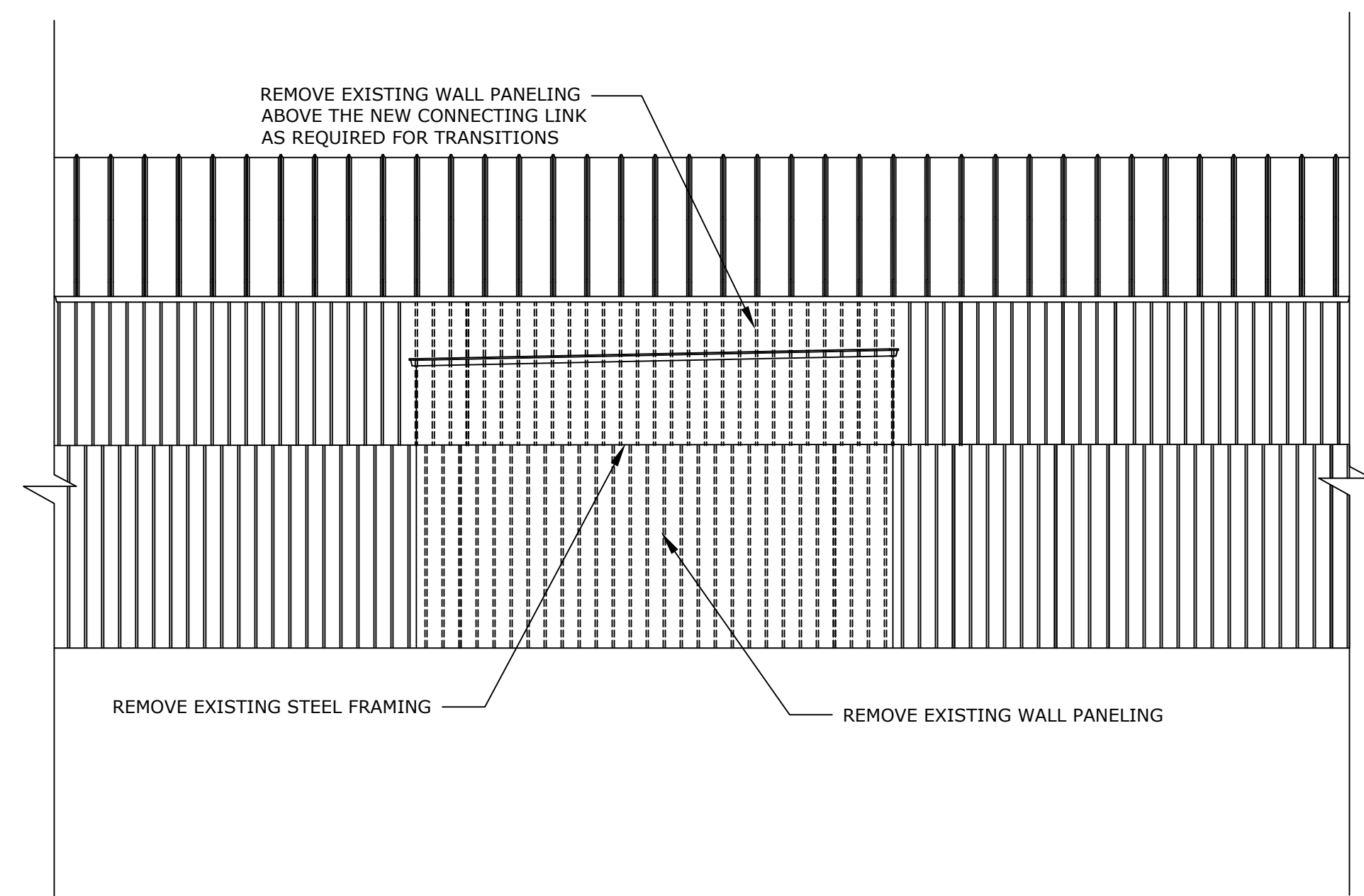
DEMOLITION PLAN - TOWER DRIVE FACILITY - INTERIOR

1/8" = 1'-0"



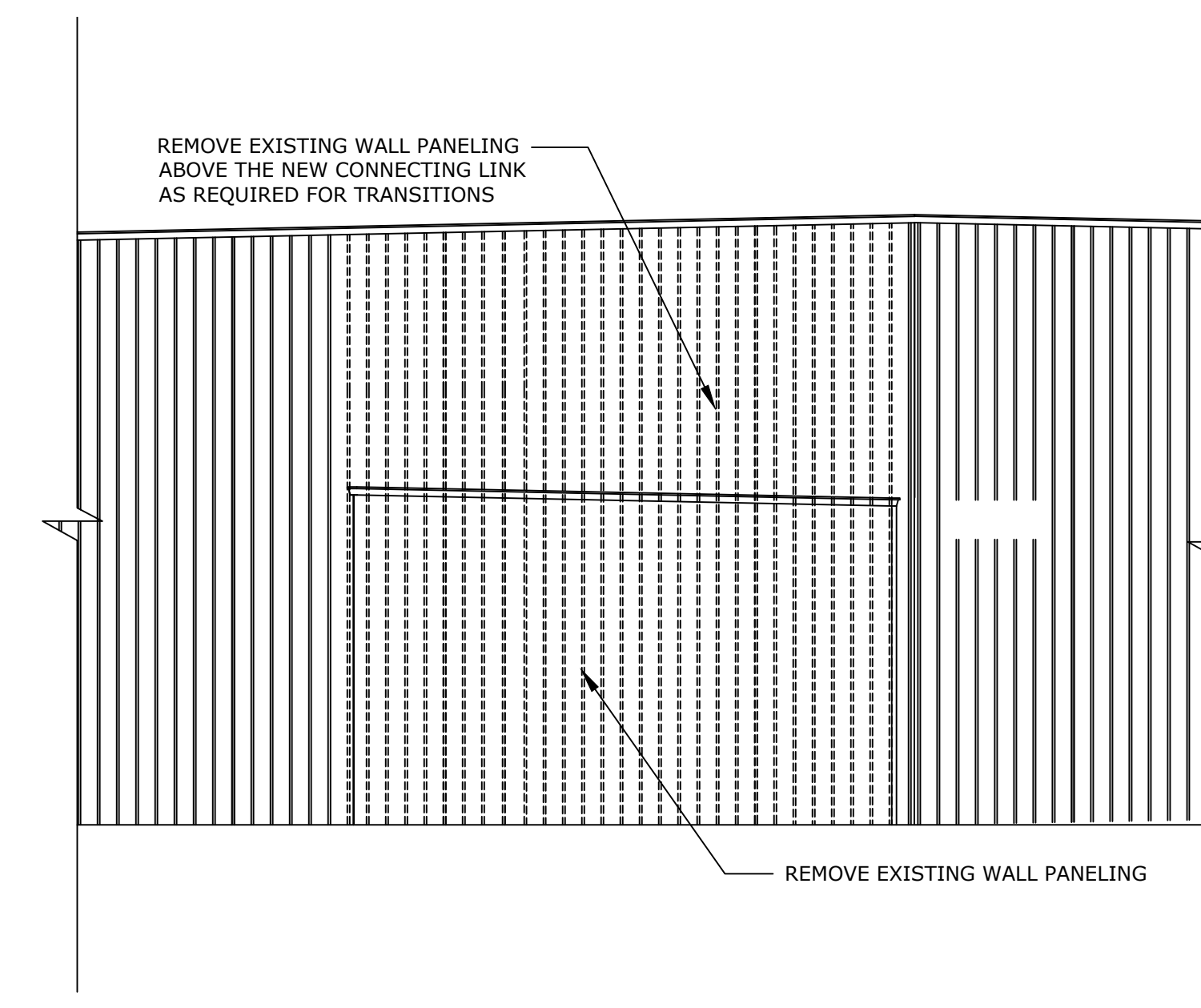
DEMOLITION PLAN - BEHRENS PKWY FACILITY - INTERIOR

1/8" = 1'-0"



DEMOLITION PLAN - TOWER DRIVE FACILITY - EXTERIOR

1/8" = 1'-0"



DEMOLITION PLAN - BEHRENS PKWY FACILITY - EXTERIOR

1/8" = 1'-0"

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		Item 5.

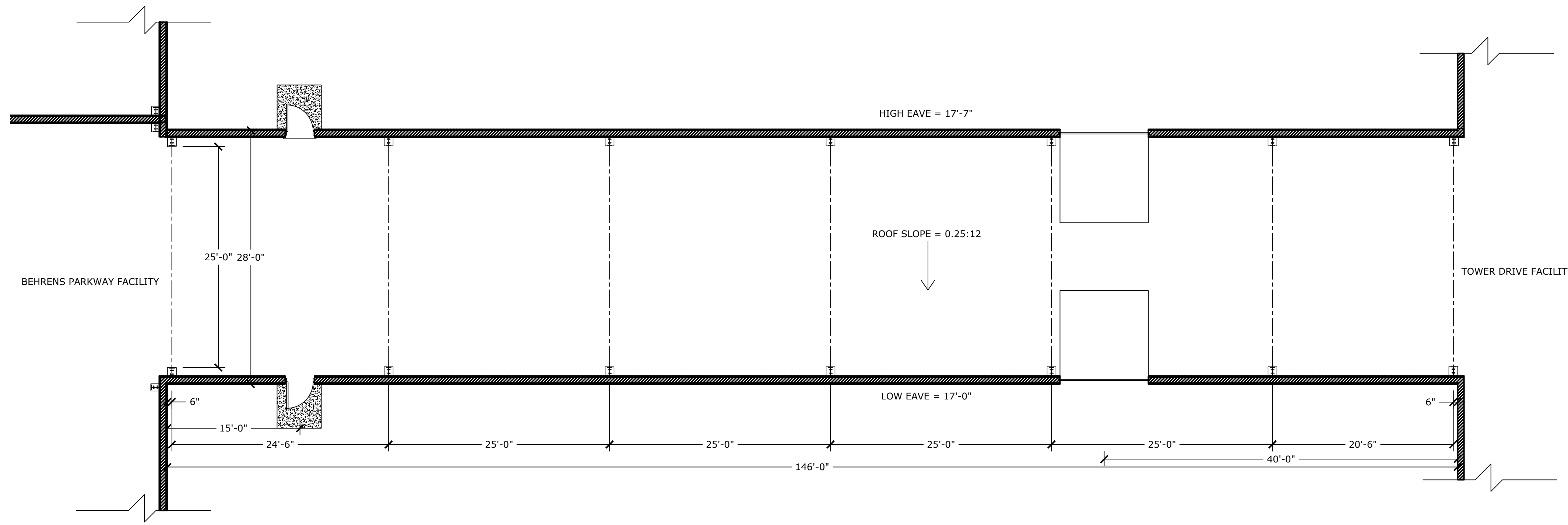
ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 1626 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-1626
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM
 SUPERVISING PROFESSIONAL:

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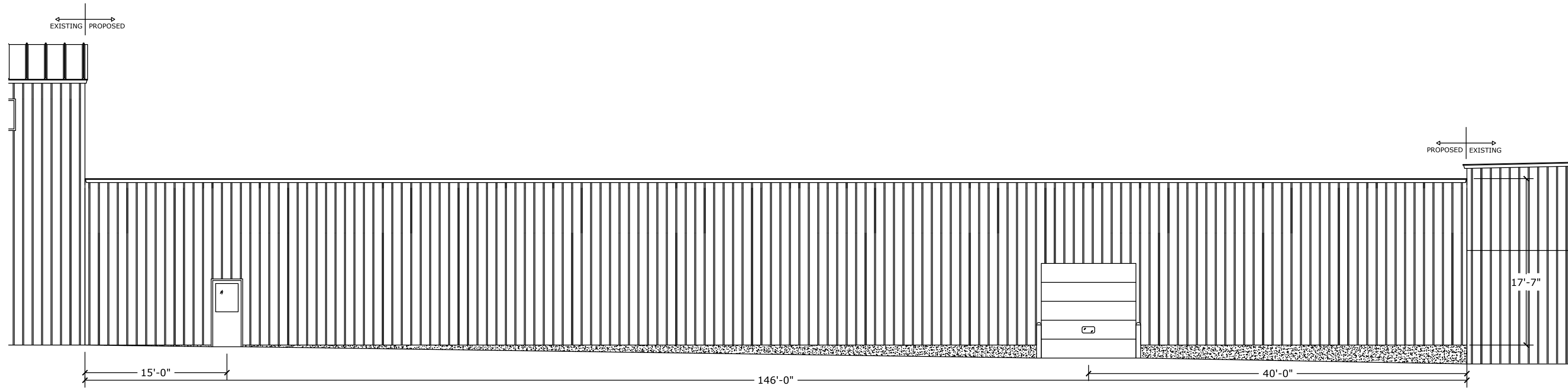
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET
A0.1



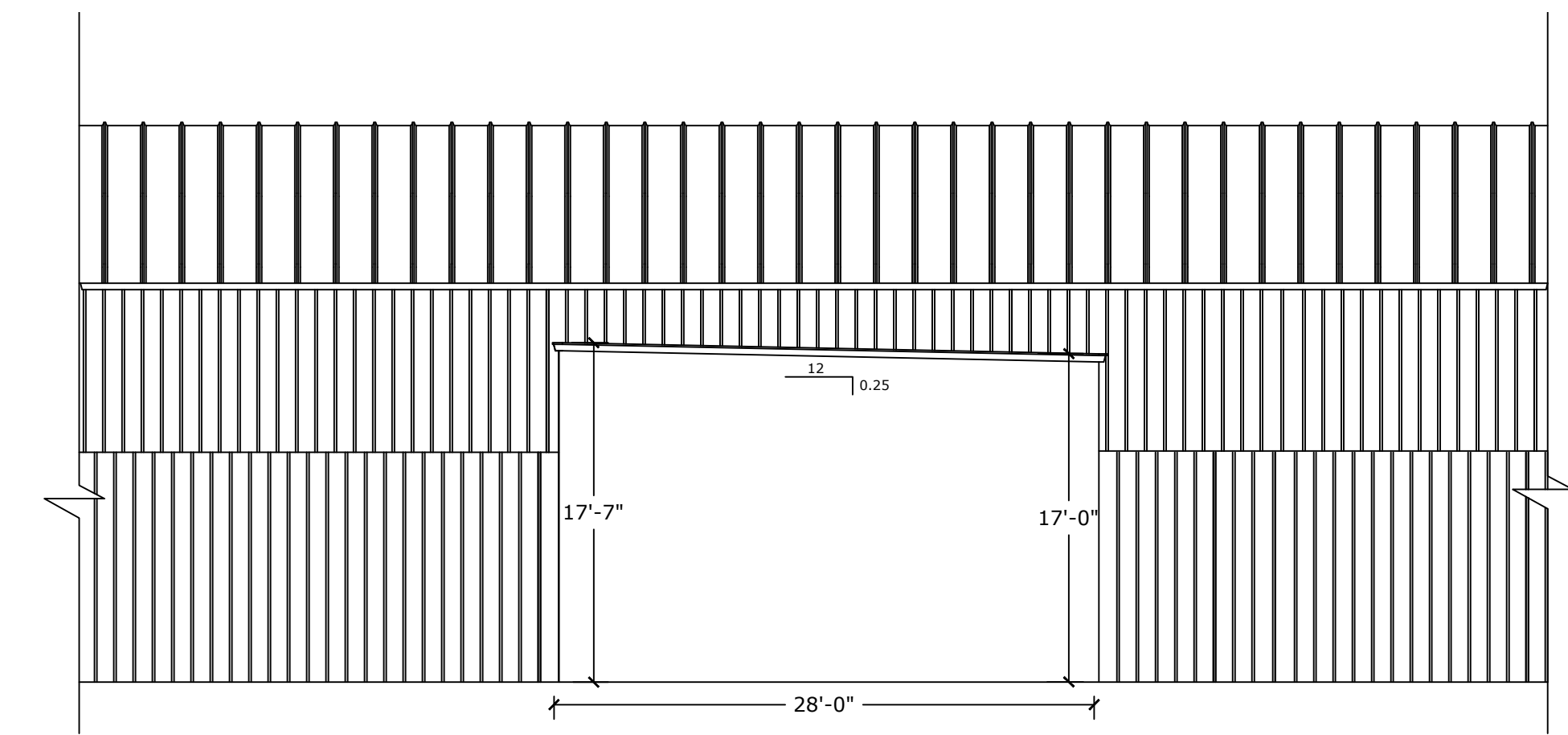
BASE OPTION - FLOOR PLAN - 28' X 146' CONNECTING LINK

1/8" = 1'-0"



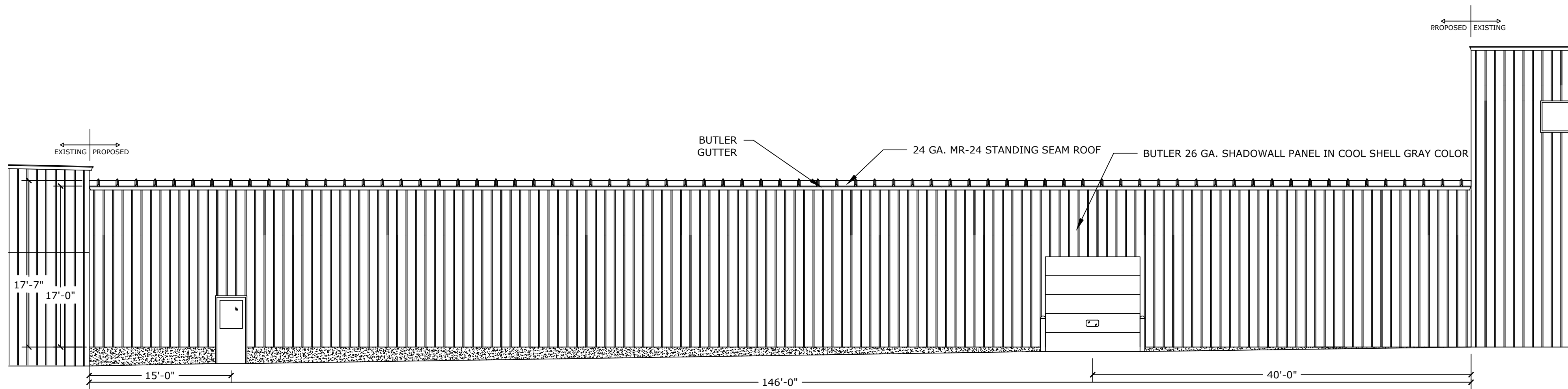
SOUTH ELEVATION

1/8" = 1'-0"



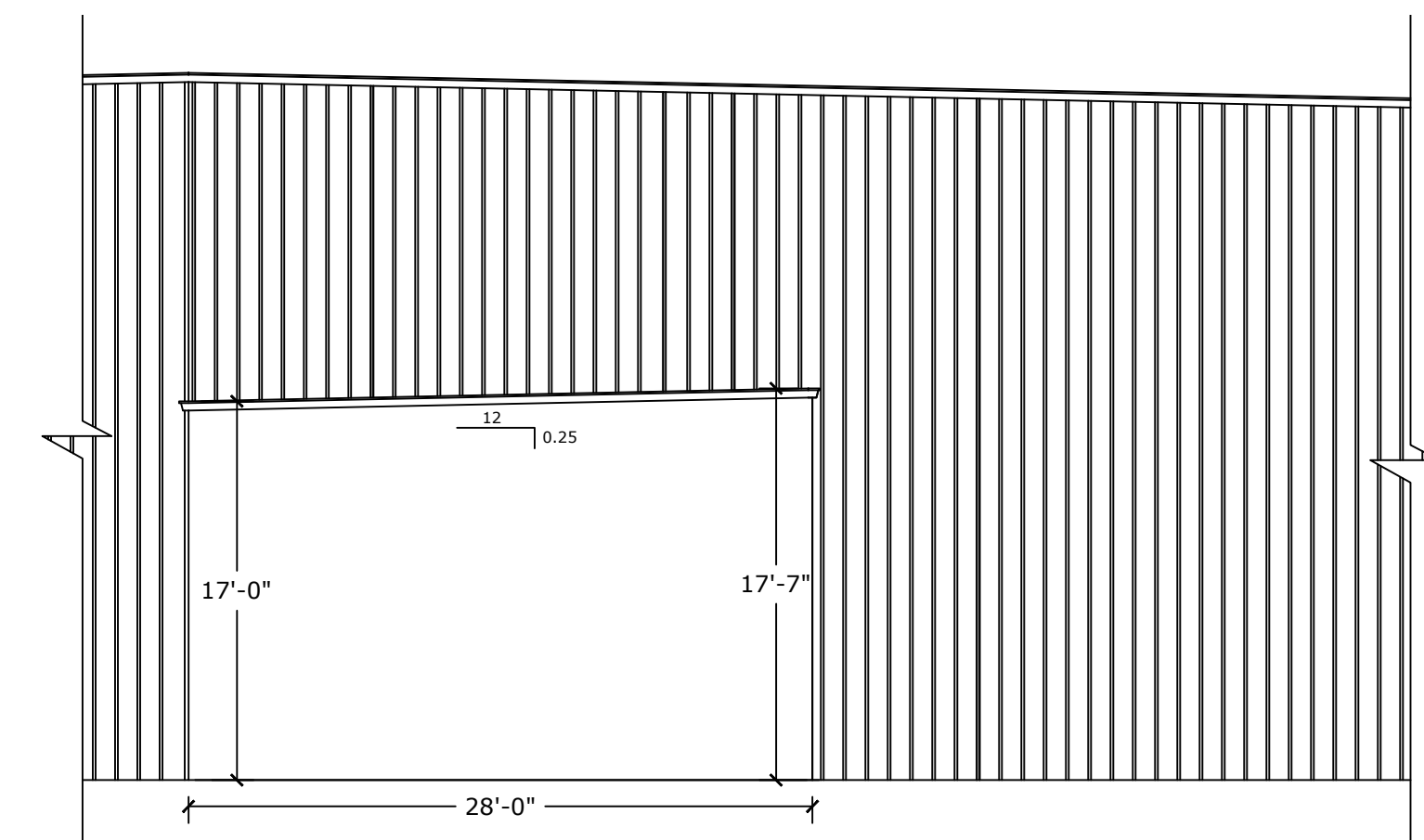
EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

REV	BY	DATE	DESCRIPTION

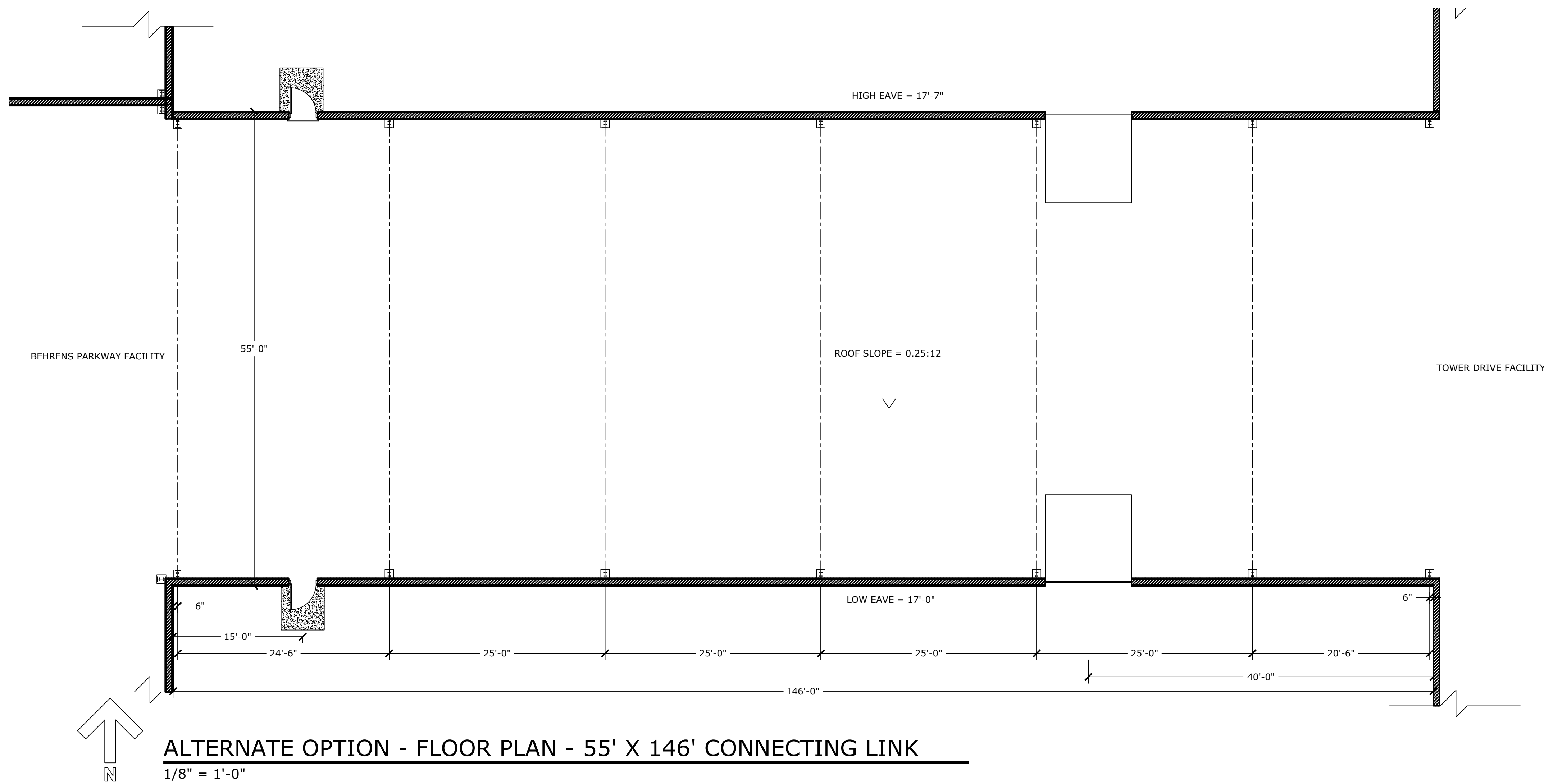
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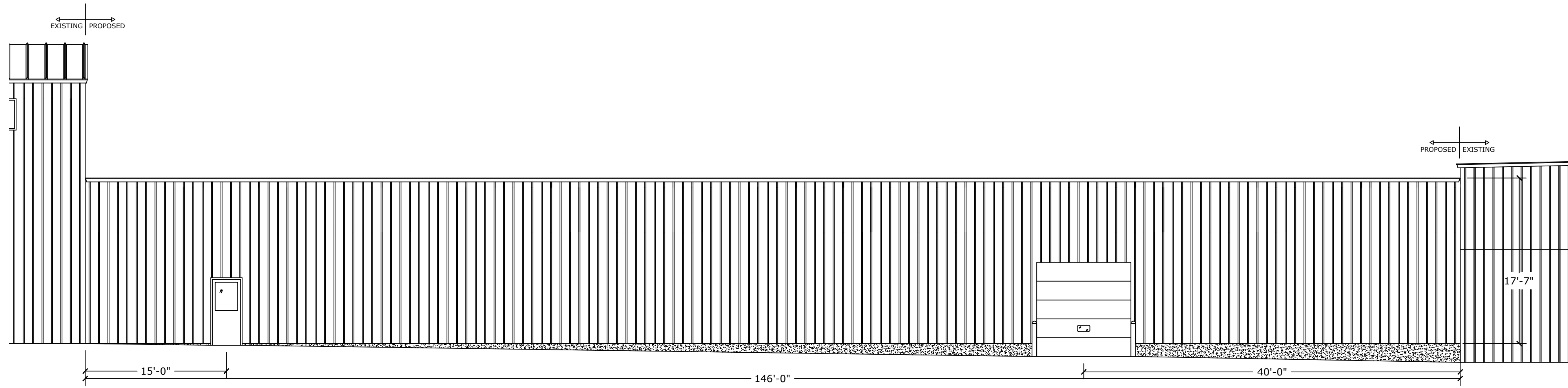
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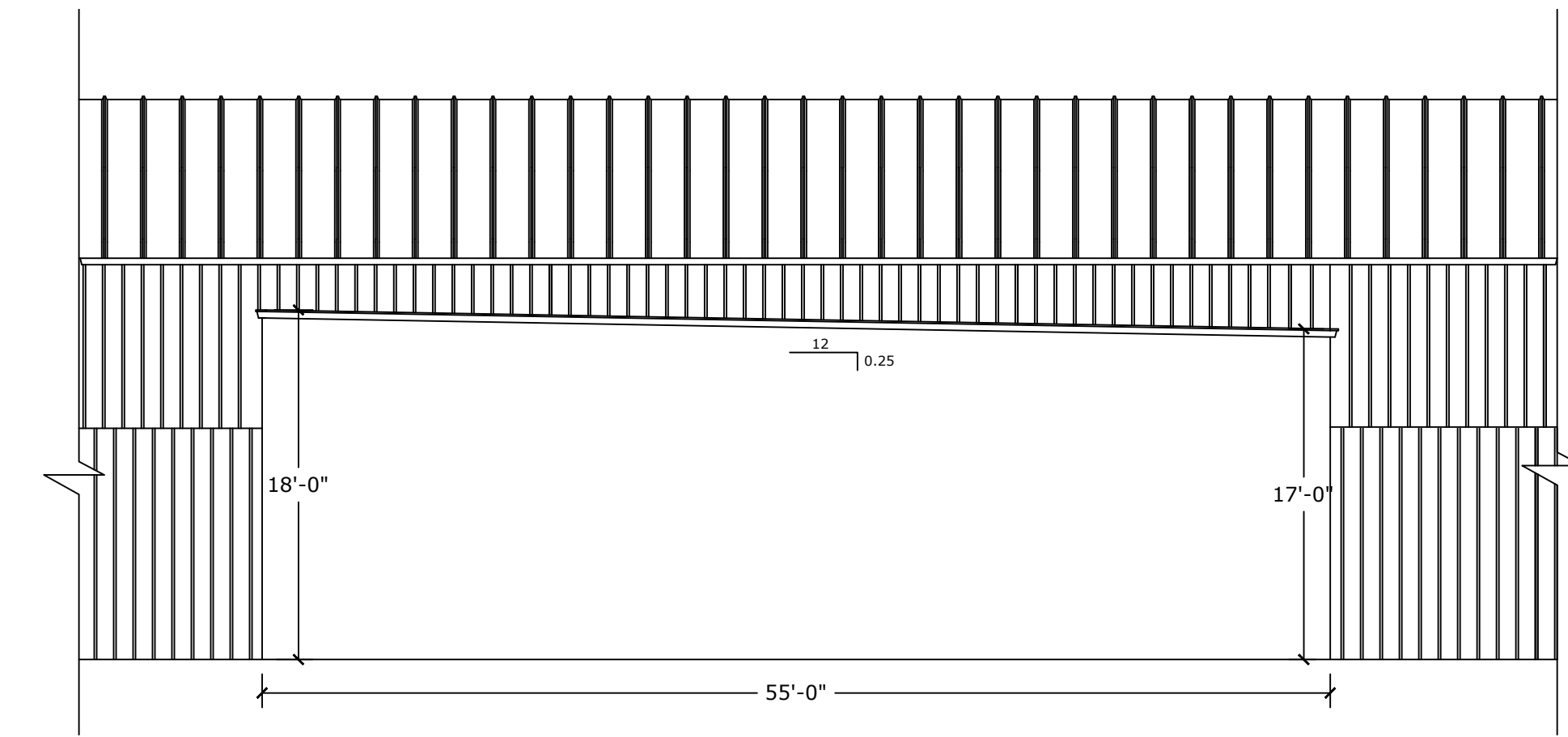
SHEET INFORMATION
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 DRAWN BY: KDR
 SCALE: SEE SHEET
 SHEET
A1.0



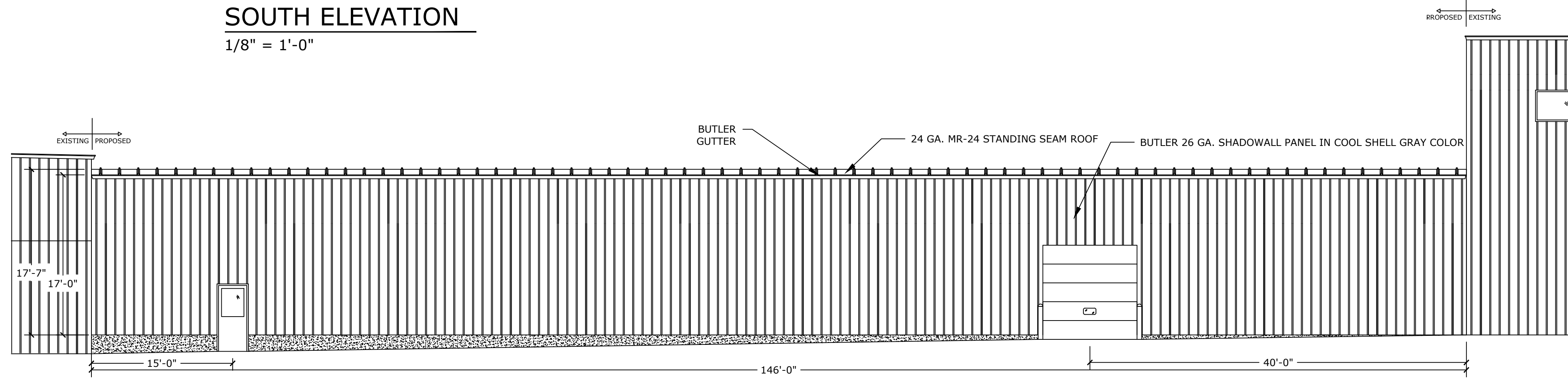
ALTERNATE OPTION - FLOOR PLAN - 55' X 146' CONNECTING LINK
 1/8" = 1'-0"



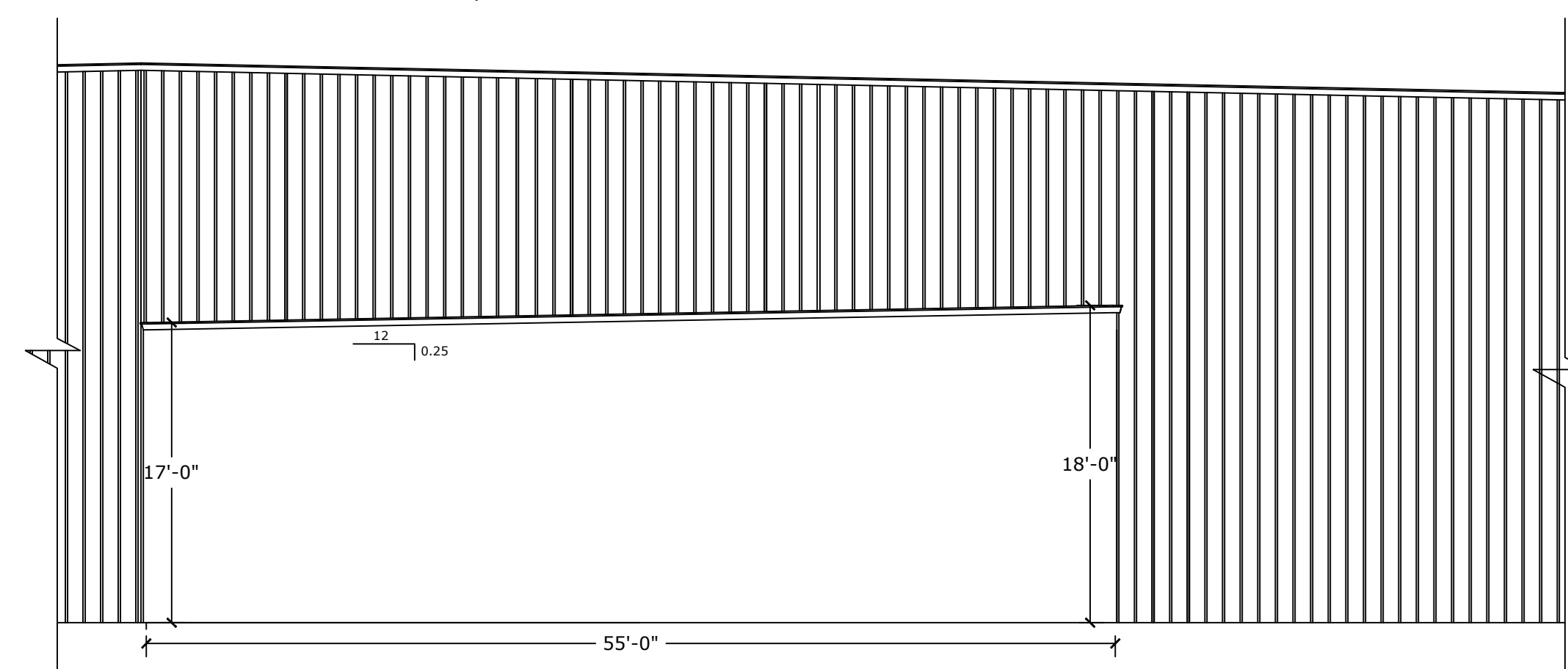
SOUTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"

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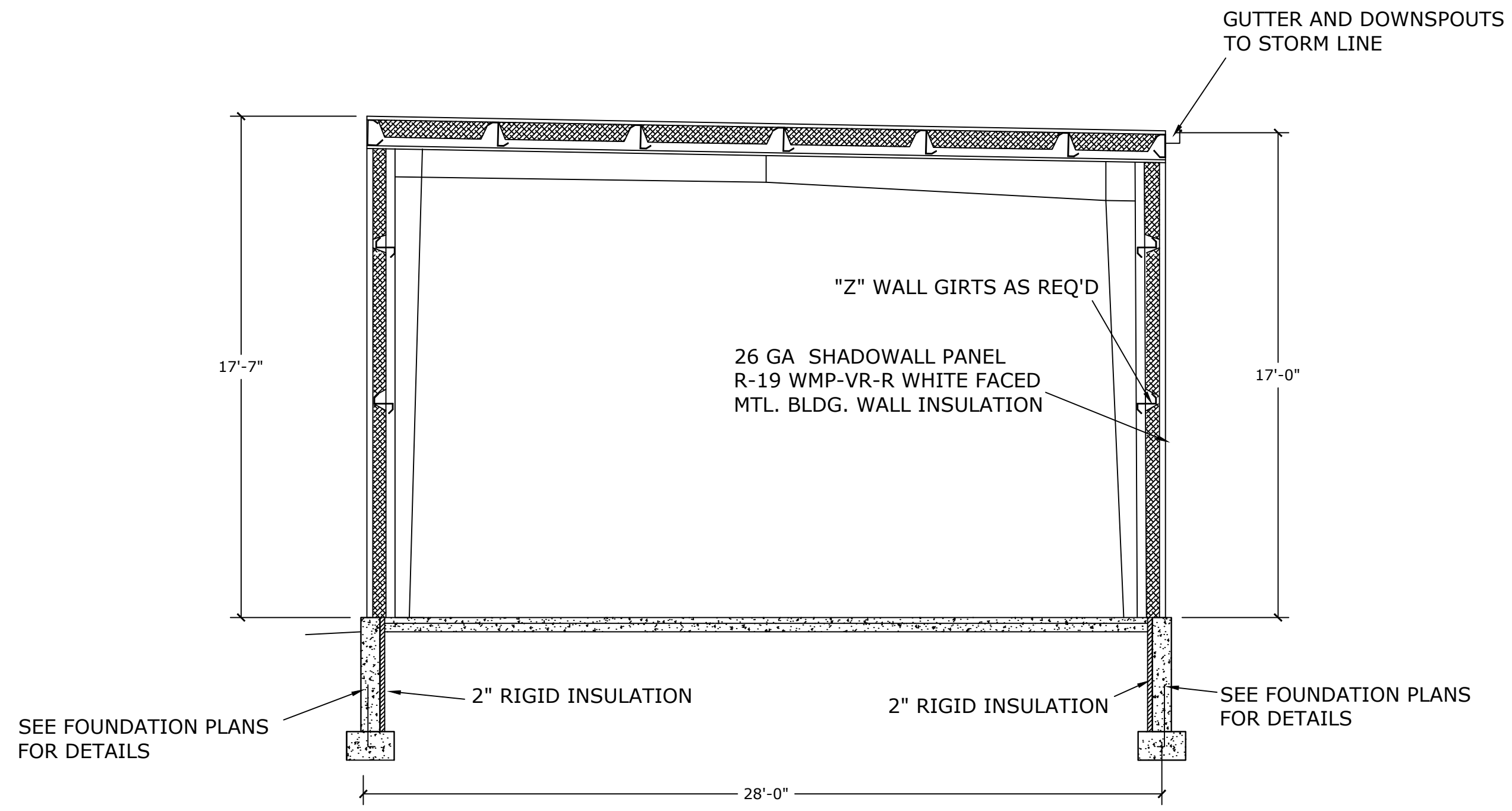
ACE BUILDING SERVICE
 OUR REPUTATION IS OUR FOUNDATION
 P.O. BOX 16296 • 3510 SOUTH 26TH STREET • MANITOWOC, WISCONSIN • 54221-16296
 PHONE: 920-682-6105 • FAX: 920-682-7700 • WWW.ACEBUILDINGSERVICE.COM
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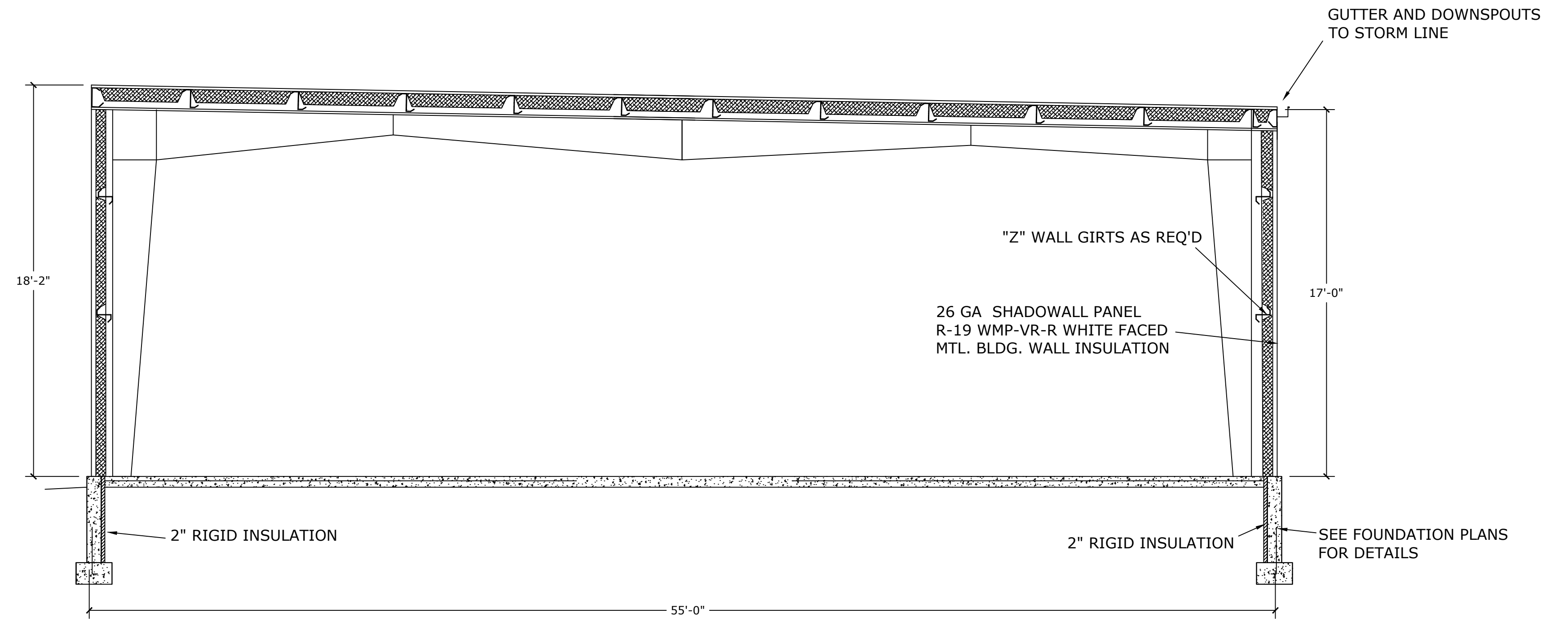
SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET
A1.1



BUILDING SECTION - 28' OPTION

1/4" = 1'-0"



BUILDING SECTION - 55' OPTION

1/4" = 1'-0"

DOOR AND FRAME SCHEDULE

MARK (#)	DOOR					FRAME		HDWR.	GLASS WALL GLAZING	NOTES
	WD	HGT	MATL.	ELEV.	GLAZING	MATL.	ELEV.	SET NO.		
1	3'-0"	7'-0"	HM	1	1/4" INSUL.	HM	1	1	--	EXTERIOR HALF-LITE, INSULATED
2	3'-0"	7'-0"	HM	1	1/4" INSUL.	HM	1	1	--	EXTERIOR HALF-LITE, INSULATED
3	10'-0"	10'-0"	ST	2	1/4" INSUL.	ST	2	N/A	--	
4	10'-0"	10'-0"	ST	2	1/4" INSUL.	ST	2	N/A	--	

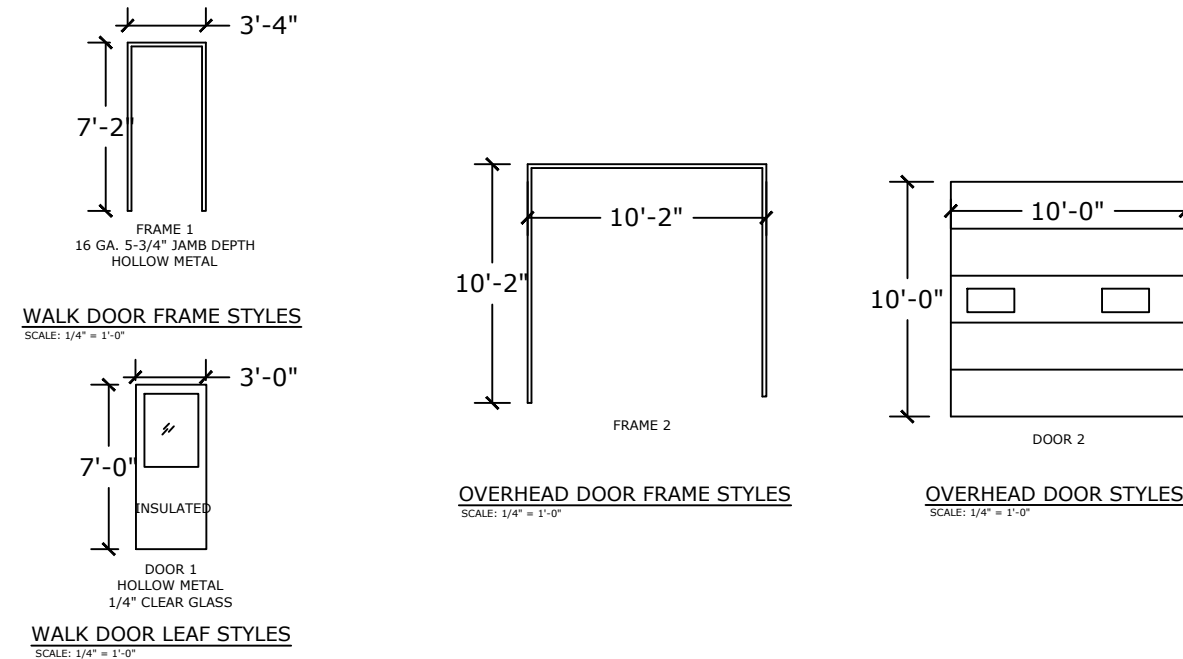
HARDWARE SCHEDULE

HARDWARE SET 1

- GRADE 1, LEVER HANDLE SCHLAGE - US26D ENTRANCE LOCKSET
- (11-12) PARR-BALL BEARING HINGES
- CLOSER
- WEATHER-STRIPPING
- SWEEPS
- THRESHOLD

DOOR & HARDWARE NOTES

- ALL LOCKSETS/PASSAGE TO BE GRADE 1 - US26 SATIN CHROME FINISH - RHODES
- ALL CLOSERS TO BE HEAVY DUTY LCN 4040XP
- EXTERIOR DOORS WITH TOP CAPS



REV BY		Item 5.
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TORGINOL, INC.
3217 BEHRENS PKWY.
SHEBOYGAN, WI 53081

THIS PLAN AND IDEAS EXPRESSED HERE-IN ARE THE PROPERTY OF A.C.E. BUILDING SERVICE, INC. THESE PLANS SHALL NOT BE SHARED BY VISUAL MEANS OR REPRODUCED WITHOUT THE CONSENT OF A.C.E. BUILDING SERVICE, INC.

SHEET INFORMATION	
A.C.E. JOB NO.	
DATE:	08/06/24
DRAWN BY:	KDR
SCALE:	SEE SHEET

SHEET
A2.0

City of Sheboygan
Architectural Plan Review Committee
828 Center Avenue
Suite 104
Sheboygan, WI 53081

Ladies and Gentlemen:

Attached please find information pertaining to the proposed connecting link between the Torginol, Inc. facilities located on Behrens Parkway & Tower Drive in the City of Sheboygan, Wisconsin. There is no zoning change associated with the proposed facility.

It is our request as agent of Torginol, Inc. for approval of the enclosed plans and information to construct either a 4,116 square foot or 8,085 square foot expansion on the proposed site with the selected size to be determined in the coming weeks. Torginol has experienced several stages of growth over the past several years at their current locations in the City of Sheboygan. This link is necessary to increase capacity for material storage, which in turn will bolster their overall business operation and better respond to domestic and international client demand. It is our intent to commence construction as soon as is feasible, presumably in the third quarter of 2024.

The building expansion will be classified as S-2 Low Hazard Storage / F-2 Low Hazard Factory by the International Building Code. 3 new building downspouts will be plumbed to underground storm piping and diverted to the existing storm water treatment area. This is about 4,116 square feet of roof surface runoff that will be diverted to the storm water management area.

The link construction type will be consistent with the existing facility, which was completed in 2022. Specifically, a pre-engineered metal building with prefinished metal wall panels, gable trim, gutter, and downspouts. The expansion low eave height will be 17'-0" A.F.F. and the high eave height will be 17'-7" A.F.F.

The wall panel color scheme of the link will match that of the existing Behrens Parkway building. Landscaping plans are still in process, but landscaping will be included around the proposed link.



Please feel free to contact me with any questions regarding this project. Thank you in advance for your consideration.

Respectfully Submitted,

Christopher Herzog
A.C.E. Building Service, Inc.

CITY OF SHEBOYGAN

REQUEST FOR ARCHITECTURAL REVIEW BOARD CONSIDERATION

ITEM DESCRIPTION: Exterior remodel of Harborside Condominium located at 641 Riverfront Drive.

REPORT PREPARED BY: Ellise Rose, Associate Planner

REPORT DATE: September 5, 2024

MEETING DATE: September 9, 2024

FISCAL SUMMARY:

STATUTORY REFERENCE:

Budget Line Item: N/A
Budget Summary: N/A
Budgeted Expenditure: N/A
Budgeted Revenue: N/A

Wisconsin Statutes: N/A
Municipal Code: N/A

BACKGROUND / ANALYSIS:

Todd Basler is proposing exterior renovations to Harborside Condominium located at 641 Riverfront Drive. The applicant states the following:

- The current exterior siding is cedar wood siding which is not holding up to the weather and is easy for critters such as squirrels and mice to tear apart and make nests.
- It is proposed to replace the cedar wood siding with LP Smartside siding.
- The new material is prefinished with the look of cedar wood siding.
- LP Smartside would allow us to maintain the same cedar sided sea shanty look of the north side of the riverfront while providing better protection of the building from weather and critters.

STAFF COMMENTS:


On 8/21/2024 this material was brought before the Redevelopment Authority and approved for use instead of the current cedar siding.

ACTION REQUESTED:

Motion to approve with possible amendments as determined by the Board.

ATTACHMENTS:

Architectural Review Board Application and required attachments.

	CITY OF SHEBOYGAN ARCHITECTURAL REVIEW APPLICATION	Fee: _____ Review Date: _____ Zoning: _____
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Read all instructions before completing. If additional space is needed, attach additional pages.

SECTION 1: Applicant/ Permittee Information

Name (Ind., Org. or Entity) Harborside Condominium	Authorized Representative Todd Basler	Title Owner	
Mailing Address 641 Riverfront Drive	City Sheboygan	State WI	ZIP Code 53081
Email Address lawoffice@rothandbasler.com		Phone Number (incl. area code) 920-457-5097	

SECTION 2: Landowner Information (Complete These Fields When Project Site Owner is Different than Applicant)

Name (Ind., Org. or Entity) City of Sheboygan	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address		Phone Number (incl. area code)	

SECTION 3: Architect Information

Name n/a			
Mailing Address	City	State	Zip
Email Address		Phone Number (incl. area code)	

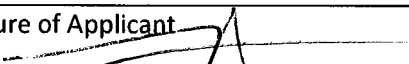
SECTION 4: Contractor Information

Name Sam Herdic			
Mailing Address 1206 Macarthur Avenue	City Sheboygan	State WI	Zip 53083
Email Address shremoinc@gmail.com		Phone Number (incl. area code) 920-803-9973	

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Architectural Review Application. I certify that the information contained in this form and attachments are true and accurate. I certify that the project will be in compliance with all conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Todd E. Basler	Title Owner	Phone Number 920-457-5097
Signature of Applicant 		Date Signed 8-26-21

Complete application is to be filed with the Department of City Development, 828 Center Avenue, Suite 208. To be placed on the agenda of the Architectural Review Board, application must be filed three weeks prior to date of meeting – check with City Development on application submittal deadline date. Applications will not be processed if all required attachments and filing fee of \$100 (payable to the City of Sheboygan) are not submitted along with a complete and legible application. Application filing fee is non-refundable.

SECTION 6: Description of the Subject Site/Proposed Project

Project Address/Description	641 Riverfront Drive	Parcel No.	59281109518, 515, 516, & 517
Name of Proposed/Existing Business:	Harborside Condominium		
Address of Property Affected:	641 Riverfront Drive		
Zoning Classification:			
New Building:	<input type="checkbox"/>	Addition:	<input type="checkbox"/>
		Remodeling:	<input checked="" type="checkbox"/>

SECTION 7: Description of Proposed Project

New siding to replace rotted cedar wood.

SECTION 8: Description of EXISTING Exterior Design and Materials

Current exterior siding is cedar wood siding which is not holding up to the weather and is easy for critters such as squirrels and mice to tear apart and make nests.

SECTION 9: Description of the PROPOSED Exterior Design and Materials

Replace the cedar wood siding with LP Smartside siding. The new material is prefinished with the look of cedar wood siding. LP Smartside would allow us to maintain the same cedar sided sea shanty look of the north side of the riverfront while providing better protection of the building from weather and critters.

On 8/21/2024 this material was brought before the Redevelopment Authority and approved for use instead of the current cedar siding.

APPLICATION SUBMITTAL REQUIREMENTS

- A. Three 11x17 scale color drawing of all exterior elevations showing the design and appearance of the proposed building or structure.
- B. Three 11 X 17 colored renderings of the proposed building elevations and material samples.
- C. Submit digital plans and drawings of the project by email, flash drive, etc.**
- D. A scale drawing of the site plan showing the relationship of the building to the site and adjacent properties.
- E. A written description of the proposed general design, arrangement, texture, material and color of the building or structure. Describe the relationship of such factors to similar features of buildings located within the same block or located along the frontage or any block across the street from the proposed building or structure for which architectural approval is sought.

OFFICE USE ONLY

ACTION BY ARCHITECTURAL REVIEW BOARD

DATE OF MEETING: _____

APPROVED: _____

CONDITIONALLY APPROVED: _____

DENIED: _____

CONDITIONS

SIGNATURE: _____

Chairperson, Architectural Review Board OR
Manager of Planning & Zoning

DATE: _____

