



DEVELOPMENT REVIEW COMMITTEE

Tuesday, August 24, 2021, at 3:00 PM
Court Room/Council Chambers (2nd Floor) and Online

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

MEETING AMENDED FOR 3:00 PM ON TUESDAY AUGUST 24, 2021.

NEW BUSINESS

1. DeGraffenried Single Lot Split Concept Review

A concept review of a single lot split located at 245 E. 100 N.

2. Ridley's Pad Site A (Fiiz Drinks) Site Plan Review

A site plan review of a commercial building located at approximately 30 N. 400 E.

3. Traffic Control Device Request- 4 Way Stop Sign

The DRC will review a request for a 4 way stop at 400 S. and 100 W.

4. Traffic Control Device Request- Cross Walk and School Signs

The DRC will review a request for a cross walk and school signs along 200 E.

MEETING MINUTES APPROVAL

5. August 10, 2021

AJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on www.santaquin.org, as well as posted on the State of Utah's Public Notice Website.

BY: _____

K. Aaron Shirley

K. Aaron Shirley, City Recorder














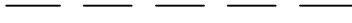
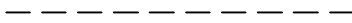





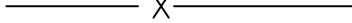






DEGRAFFENRIED
A RESIDENTIAL SUBDIVISION
SANTAQUIN, UTAH COUNTY, UTAH
PRELIMINARY PLAN SET
APRIL 2021

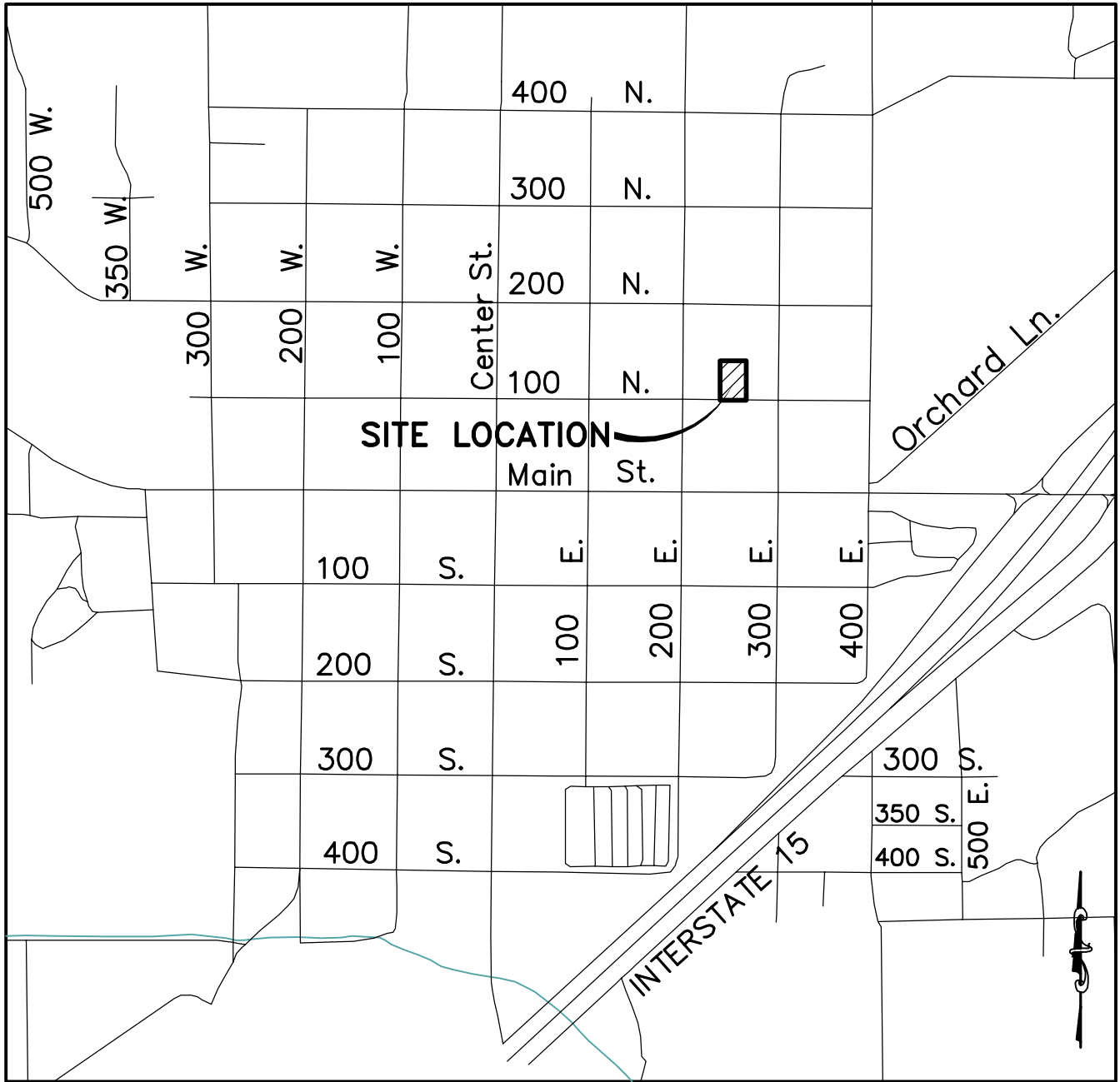
-SHEET INDEX-

SHEET	SHEET NAME
1	COVER
2	EXISTING TOPOGRAPHY
3	UTILITY PLAN
4	PRELIMINARY PLAT
5	FINAL PLAT
6	ROS

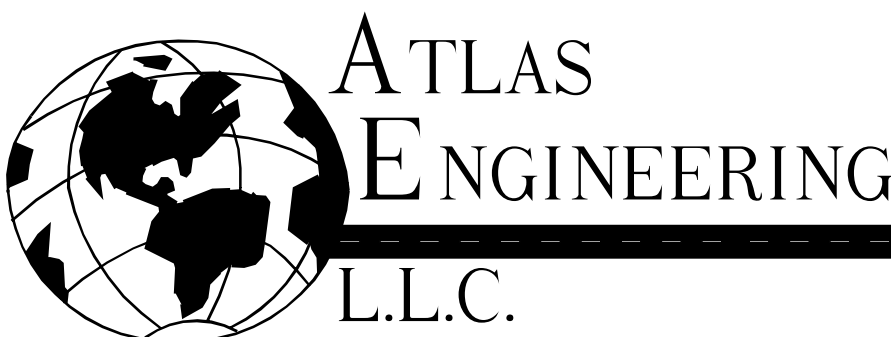
LEGEND

LEGEND APPLIES TO ALL SHEETS

	SECTION CORNER
	EXISTING VALVE
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	PROPOSED STREET/STOP SIGN
	PROPOSED STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	BUILDING SETBACK
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING GAS
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED IRRIGATION LINE
	EXISTING CULINARY WATERLINE
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	PROPOSED SEWER LINE

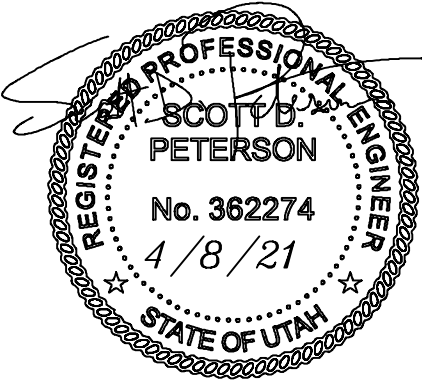


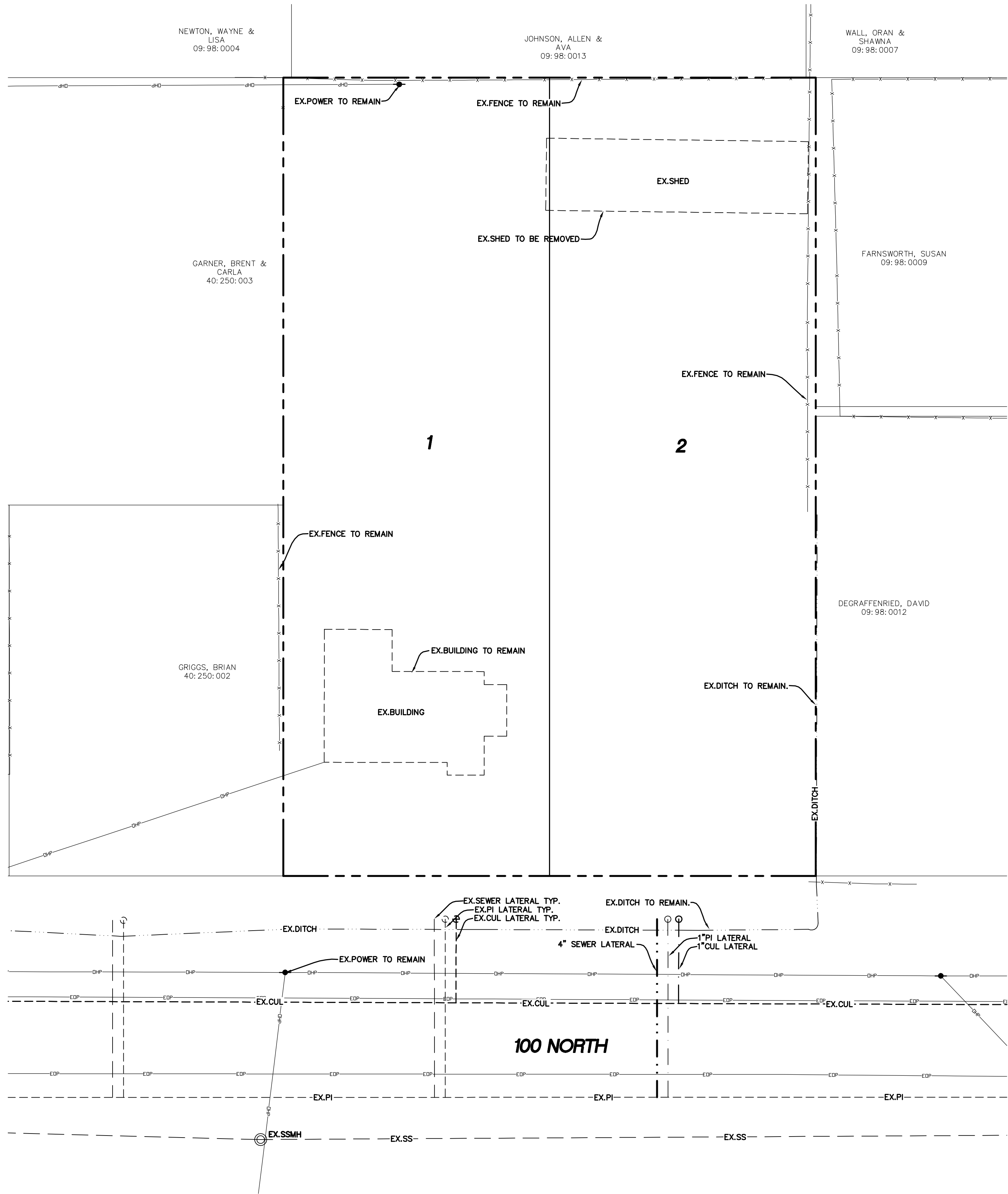
VICINITY MAP
-NTS-



PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

OWNER/DEVELOPER
JIMMY DeGRAFFENRIED
WOODLAND HILLS, UTAH
801-830-5490
lifetimehomesinc@gmail.com





LEGEND
LEGEND APPLIES TO ALL SHEETS

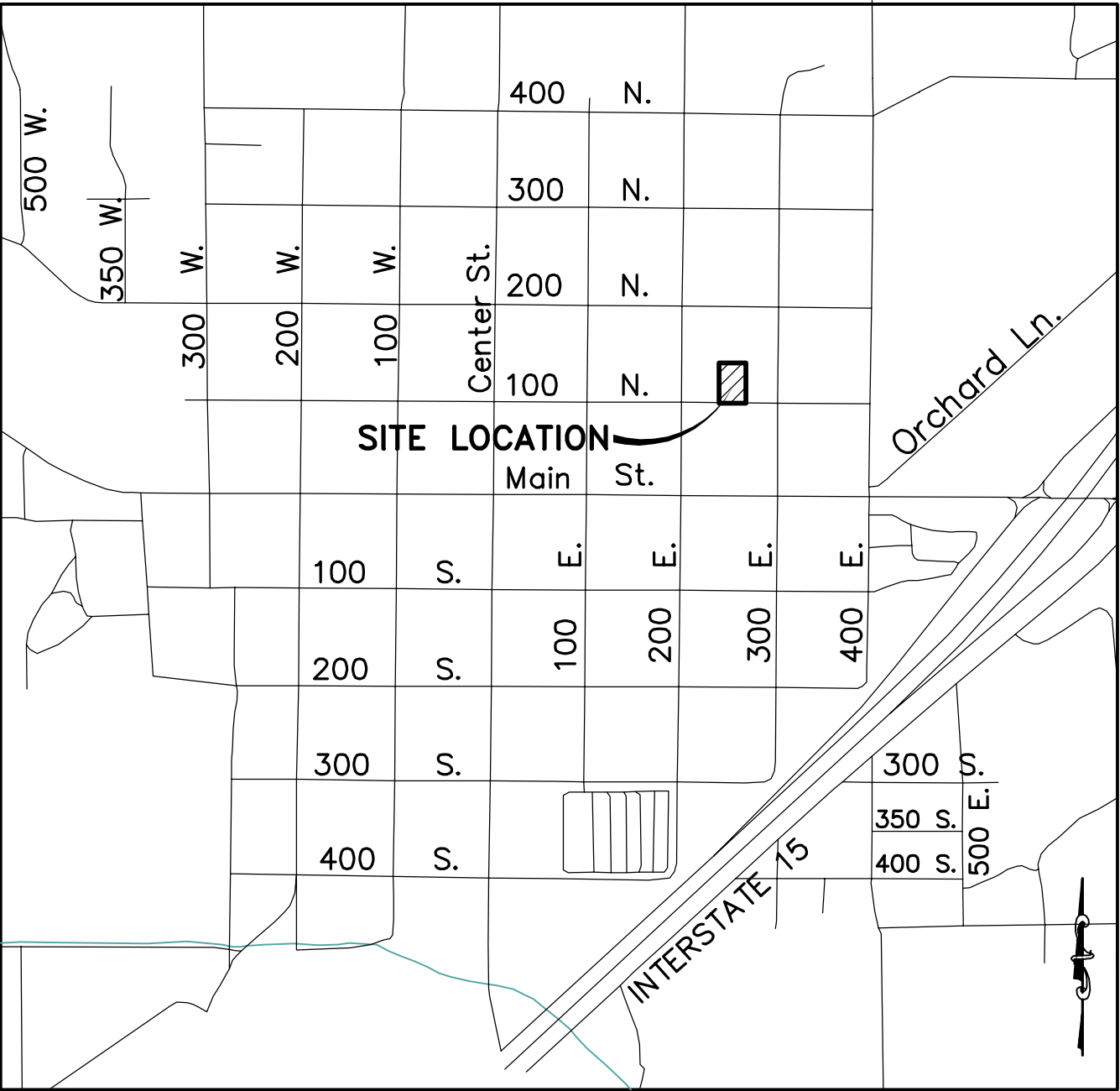
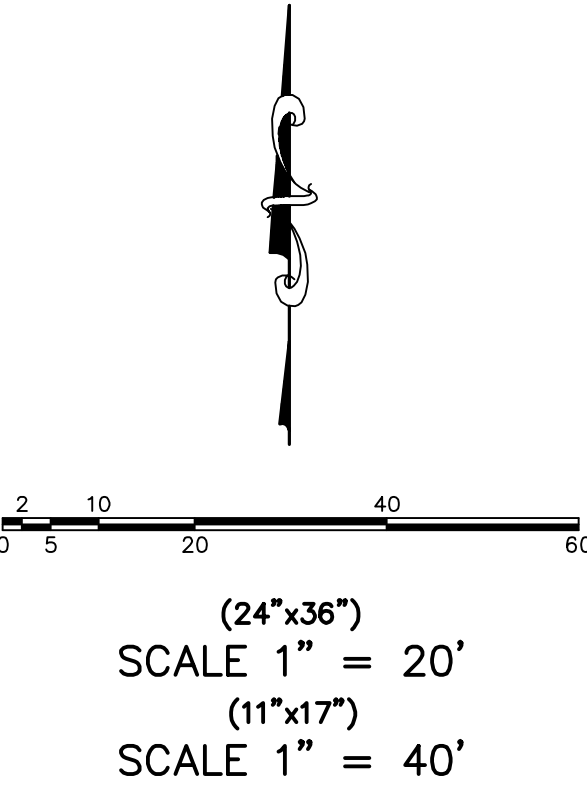
	SECTION CORNER
	EXISTING VALVE
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	EXISTING SIGN
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	PROPOSED IRRIGATION LINE
	EXISTING CULINARY WATERLINE
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	PROPOSED SEWER LINE

24"x36"
SCALE 1" = 20'
11"x17"
SCALE 1" = 40'

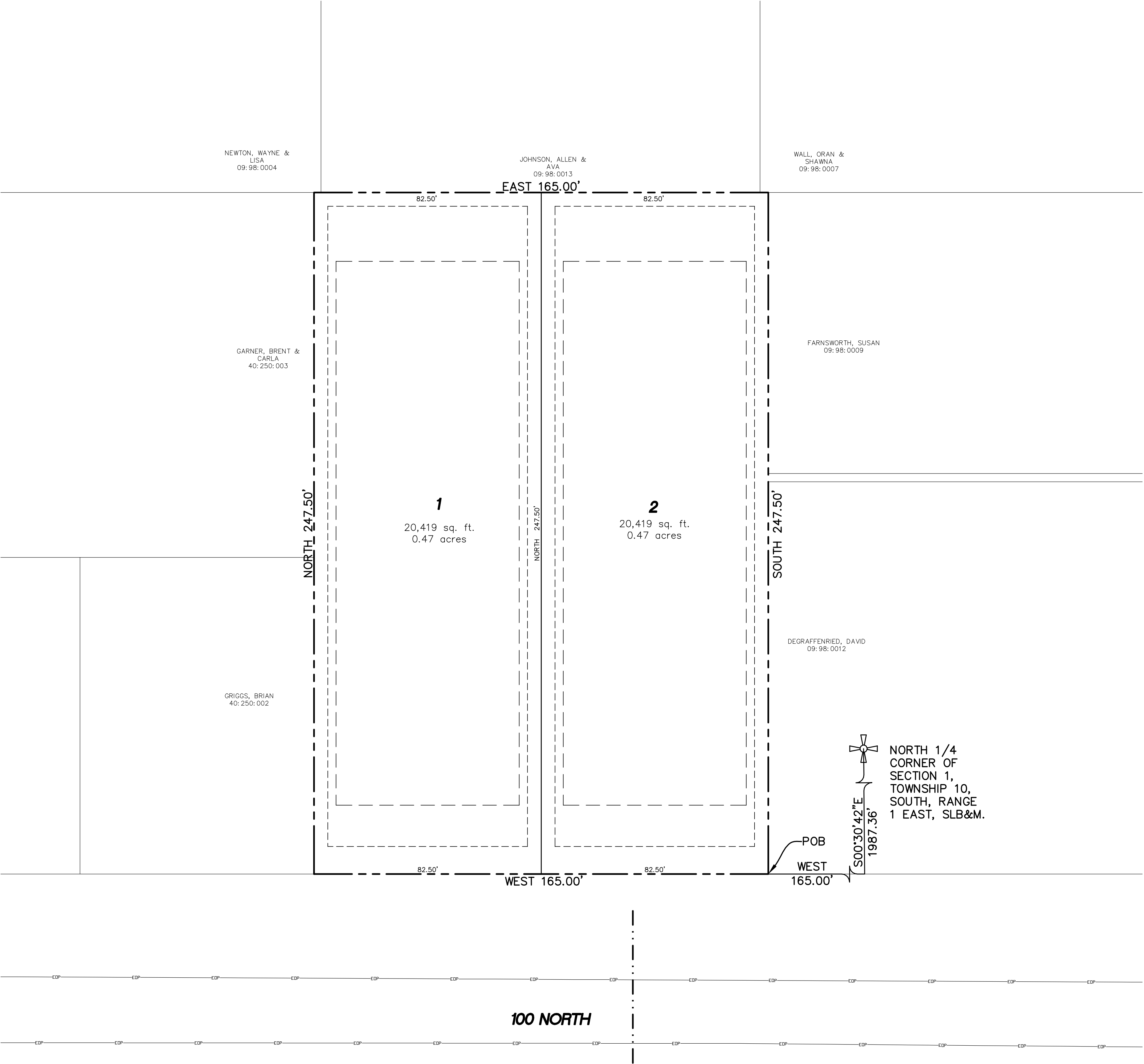
SHEET NO. 3	
UTILITY PLAN	
SANTAQUIN CITY, UTAH	
DEGRAFFENRIED ATLAS ENGINEERING L.L.C.	
PHONE: 801-655-0566 FAX: 801-655-0109 946 E. 800 N. SUITE A SPANISH FORK, UT 84660	
PLAN 100 NORTH	
NO. 12 11 10 9 8 7 6 5 4 3 2 1	
REVISIONS	
BY DATE	
2/20/21 121-015 Block 33 Santaquin Degraffenried MINARV03-UTILITY PLAN.dwg 1/4/21 14:25:56 PM MDT	

BOUNDARY DESCRIPTION:
BEGINNING AT A POINT WHICH LIES S00°30'42"E 1987.36 FEET AND WEST 826.90 FEET FROM THE THE NORTH 1/4 CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE WEST 165.00 FEET; THENCE NORTH 247.50 FEET; THENCE EAST 165.00 FEET; THENCE SOUTH 247.50 FEET TO THE POINT OF BEGINNING.
CONTAINING 0.94 ACRES.

OWNER/DEVELOPER
JIMMY DeGRAFFENRIED
WOODLAND HILLS, UTAH
801-830-5490
lifetimehomesinc@gmail.com




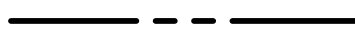
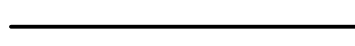
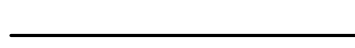






VICINITY MAP
-NTS-



SHEET NO. 4	
PRELIMINARY PLAT	SANTAQUIN CITY, UTAH
DEGAFFENRIED ATLAS ENGINEERING L.L.C. PHONE: 801-655-0566 FAX: 801-655-0109 946 E. 800 N. SUITE A SPANISH FORK, UT 84660	
NORTH 1/4 CORNER OF SECTION 1, TOWNSHIP 10, SOUTH, RANGE 1 EAST, SLB&M.	
Z:\2021\21-015 Block 33 Santaquin Decra\ENGIN\PRELIMINARY\04-PRELIM PLAT.dwg 7/23/2021 1:46:52 PM MDT	
NO.	REVISIONS
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LEGEND

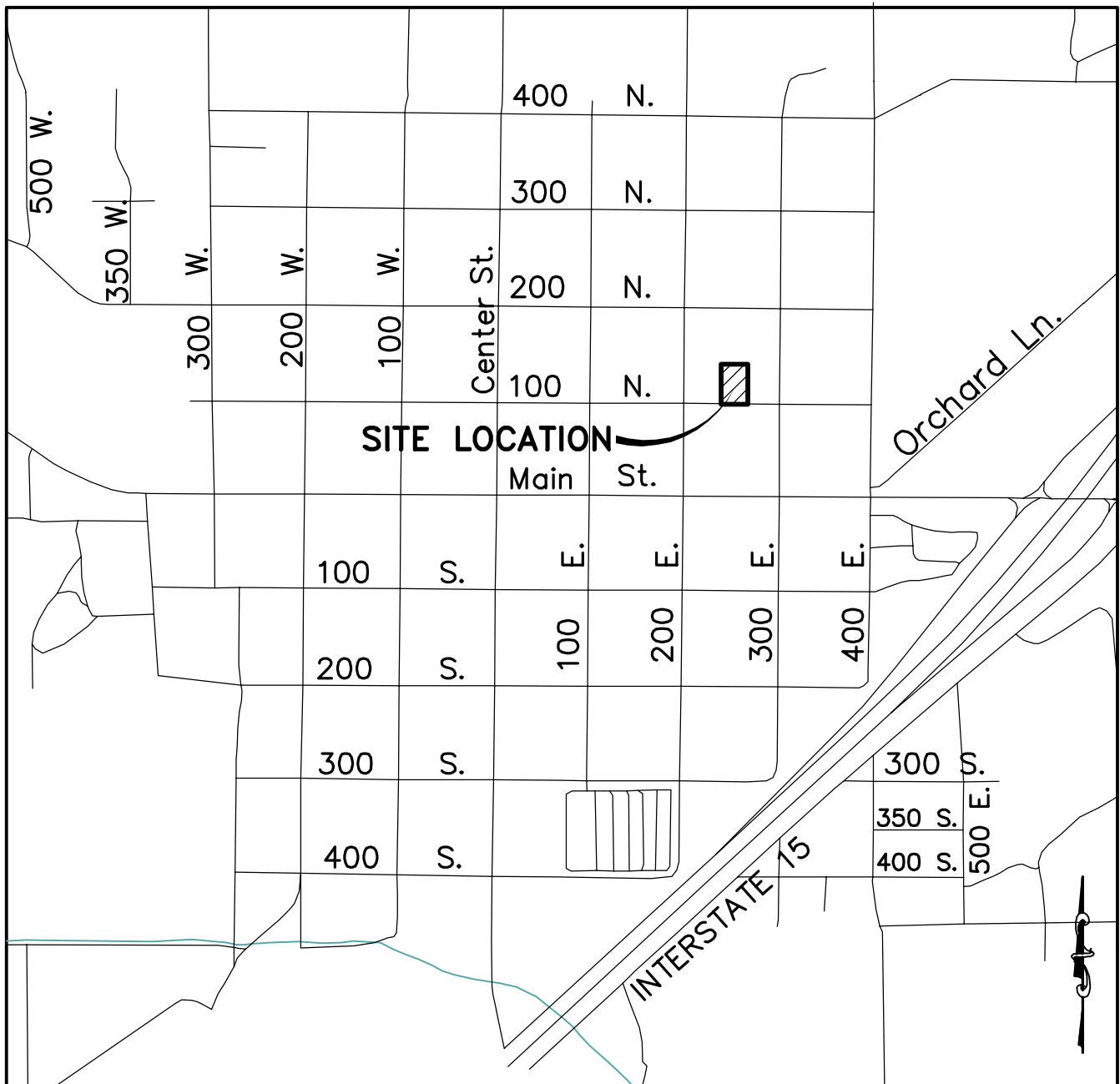
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FOUND BRASS CAP
SET 5/8" IRON PIN
CALCULATED POINT, NOT SET
PROPERTY BOUNDARY
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
EASEMENT
CENTERLINE
ADDRESSES
- XXX N.

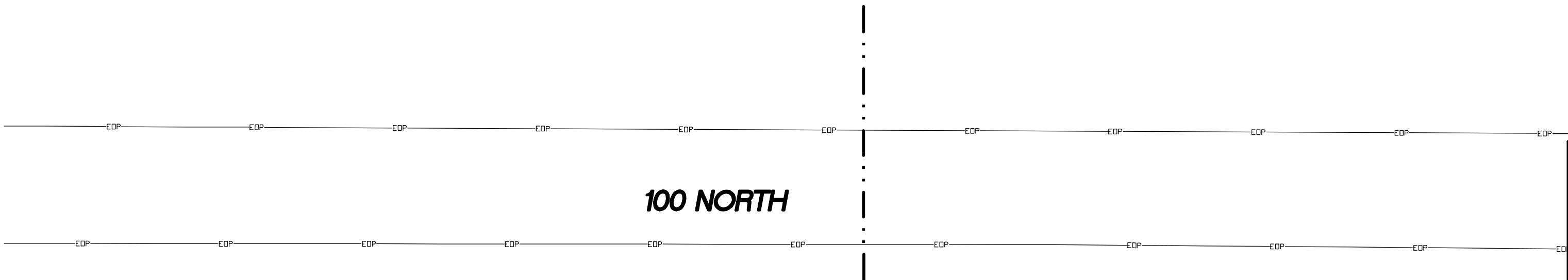
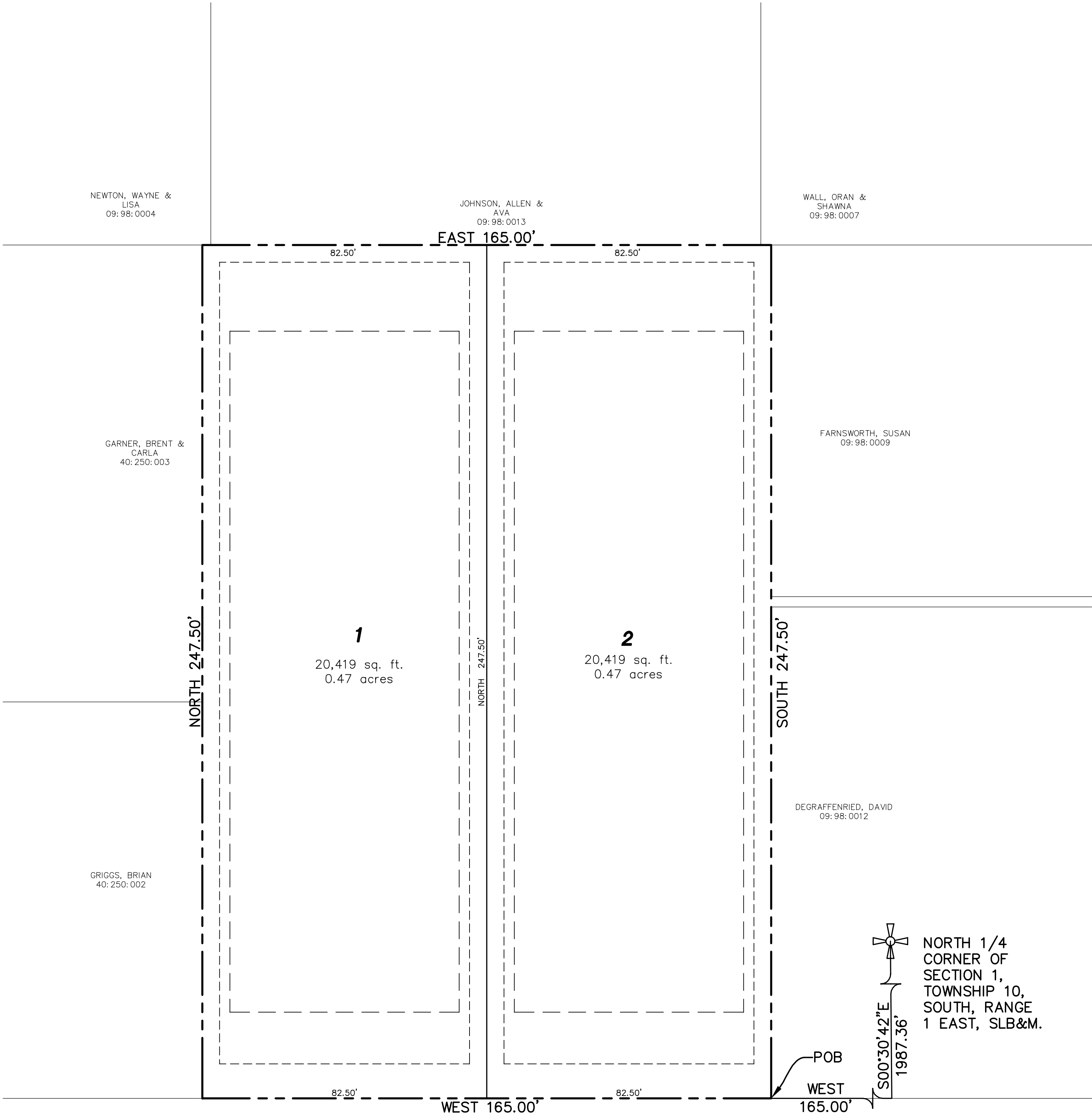
OWNER/DEVELOPER
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801-830-5490
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(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'



VICINITY MAP
-NTS-



SURVEYOR'S CERTIFICATE

I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IT TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SURVEYOR DATE

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES S00°30'42"E 1987.36 FEET AND WEST 826.90 FEET FROM THE THE NORTH 1/4 CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE WEST 165.00 FEET; THENCE NORTH 247.50 FEET; THENCE EAST 165.00 FEET; THENCE SOUTH 247.50 FEET TO THE POINT OF BEGINNING. CONTAINING 0.94 ACRES.

OWNER'S DEDICATION

(I)WE, _____ BEING THE UNDERSIGNED OWNER(S) OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS(S) THIS _____ DAY OF _____, A.D. 2021.

MEMBER: _____
MEMBER: _____
MEMBER: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF UTAH S.S.
ON THE _____ DAY OF _____, A.D. 2021 PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC COMMISSIONED IN UTAH
NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 2021.

APPROVED _____ APPROVED _____
CITY MANAGER CITY ATTORNEY
APPROVED _____ ATTEST _____
ENGINEER (SEE SEAL) CLERK-RECORDER
APPROVED _____
COMMUNITY DEVELOPMENT DIRECTOR

DEGRAFFENRIED

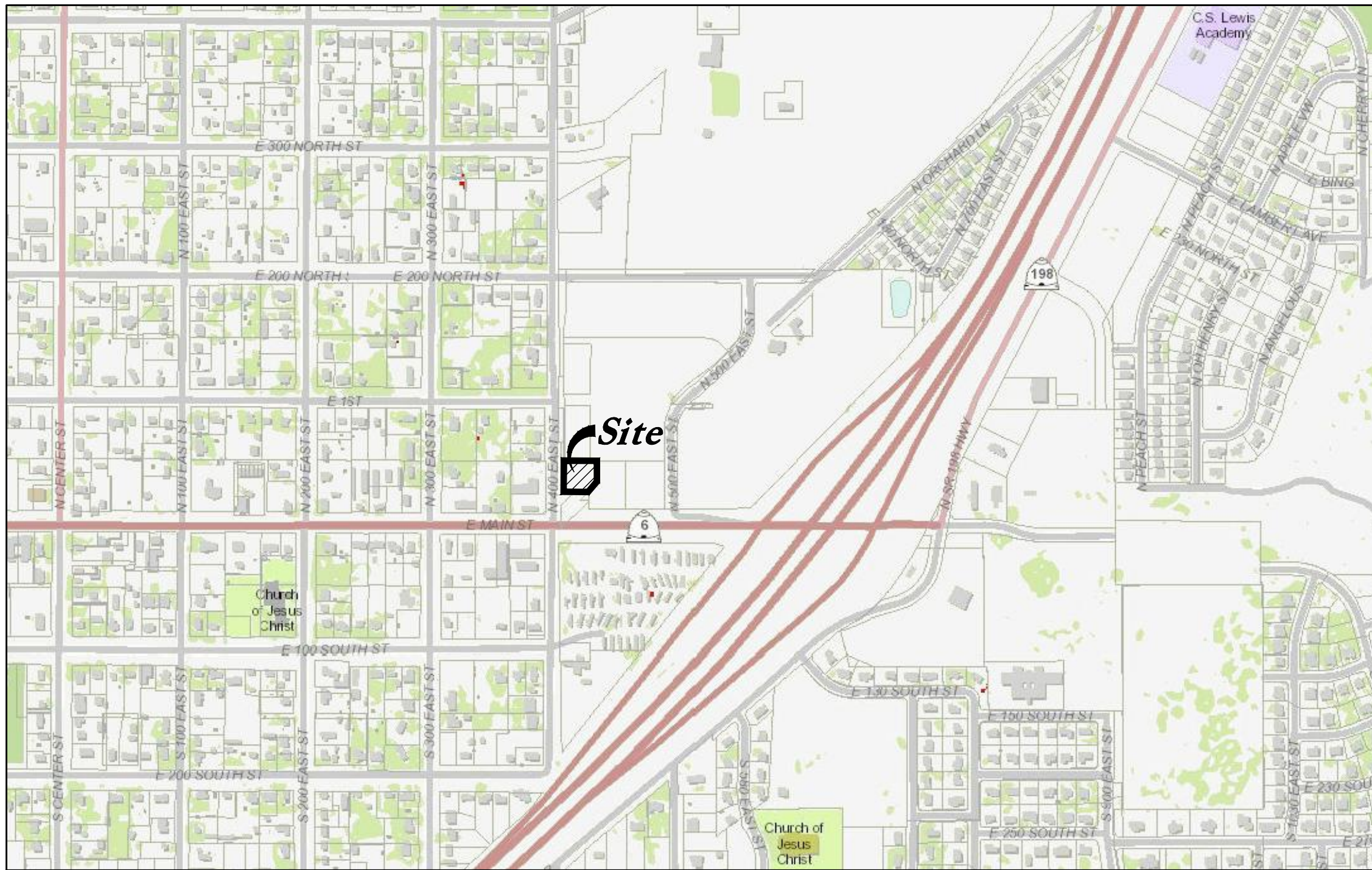
A RESIDENTIAL SUBDIVISION IN
SANTAQUIN, UTAH COUNTY, UTAH
CONTAINING 2 LOTS AND 0.94 ACRES.
LOCATED IN THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

CLERK-RECORDER SEAL SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL COUNTY RECORDER SEAL

Fiiz Drinks

30 North 400 East Street

Santaquin City, Utah



Vicinity Map
Not to Scale



Civil Sheet Index

C0.0	Cover Sheet
C0.1	Demolition Plan
C1.1	Site Plan
C2.1	Grading Plan
C3.1	Utility Plan
C4.1	Details
C4.2	Details
C4.3	Details
C5.1	Erosion Control Plan
L1.1	Landscape Plan
L2.1	Irrigation Plan
L3.1	Landscape & Irrigation Details

Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Ballard	PVC	Polyvinyl Chloride
BRW	Finish Grade - Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grate
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade - Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter	Existing Improvements	Proposed Gas Line	Existing Telephone
Proposed Open Face C & G	Existing Asphalt	Proposed Fire Line	Existing Telephone
Proposed Asphalt	Existing Concrete	Proposed Secondary Water Line	Existing Telephone
Proposed Concrete	Existing Inlet Box	Proposed Roof Drain	Existing Telephone
Proposed Truncated Domes	Existing Catch Basin	Proposed Fence	Existing Telephone
Proposed Inlet Box	Existing Manhole	Proposed Ridge line	Existing Telephone
Proposed Catch Basin	Existing Fire Hydrant	Proposed Grade Break	Existing Telephone
Proposed Manhole	Existing Water Valve	Proposed Contour	Existing Telephone
Proposed Transformer	Existing Overhead Power Line	Proposed Direction of Drainage	Existing Telephone
Proposed Meter Box	Existing Water	Proposed ADA Accessible Route	Existing Telephone
Proposed Water Meter	Existing Secondary Water	Proposed Property Line	Existing Telephone
Proposed Comba Box	Existing Sewer	Proposed Sawcut Line	Existing Telephone
Proposed Fire Hydrant	Existing Storm Drain	Proposed Proposed Light Pole	Existing Telephone
Proposed Water Valve	Existing Gas	Proposed Proposed Street Light	Existing Telephone
Proposed Water Line	Existing Power	Proposed Proposed Building	Existing Telephone
Proposed Sanitary Sewer	Existing Telephone	Existing Power Pole w/ Guy	Existing Telephone
Proposed Storm Drain	Existing Fence	Existing Utility Marker	Existing Telephone
Proposed Conduit Line	Flowline	Existing Post	Existing Telephone
Proposed Power Line	Centerline		
Proposed Gas Line	Existing Contour		
Proposed Fire Line	Existing Spot		
Proposed Secondary Water Line	Existing Light Pole		
Proposed Roof Drain	Existing Street Light		
Proposed Fence	Existing Building		
Ridge line	Existing Telephone Box		
Grade Break	Existing Power Meter		
Proposed Contour	Existing Electrical Box		
Direction of Drainage	Existing Electrical Cabinet		
Proposed Spot	Existing Gas Meter		
ADA Accessible Route	Existing Water Meter		
Property Line	Existing Irrig. Control Box		
Sawcut Line	Existing Ballard		
Proposed Light Pole	Existing Hose Bib		
Proposed Street Light	Working Point		
Proposed Building	Existing Deciduous Tree		
Existing Power Pole			
Existing Power Pole w/ Guy			
Existing Utility Marker			
Existing Post			

Owner / Developer

Owned and developed by CJM Limited Liability Limited Partnership.
Registered Address at 621 Washington Street South, Twin Falls, Idaho 83301.

Santaquin City Notes

The developer and the general contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the developer or general contractor from the full compliance with all minimum state and Santaquin City codes, ordinances and standards.

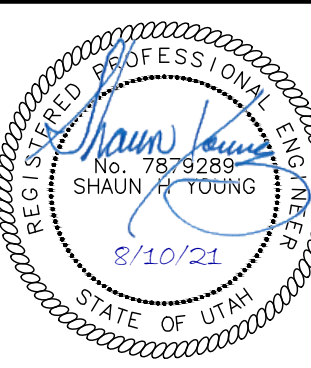
Santaquin City Note to Developers & General Contractors
All recommendations made in the provided geotechnical report/study shall be followed explicitly during construction of building and site improvements.

Legal Description

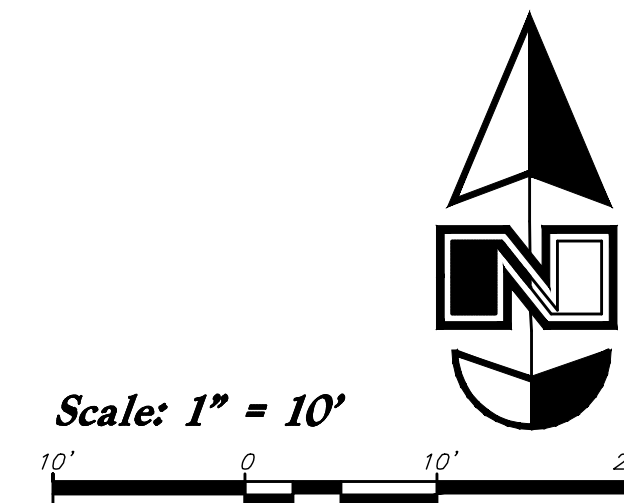
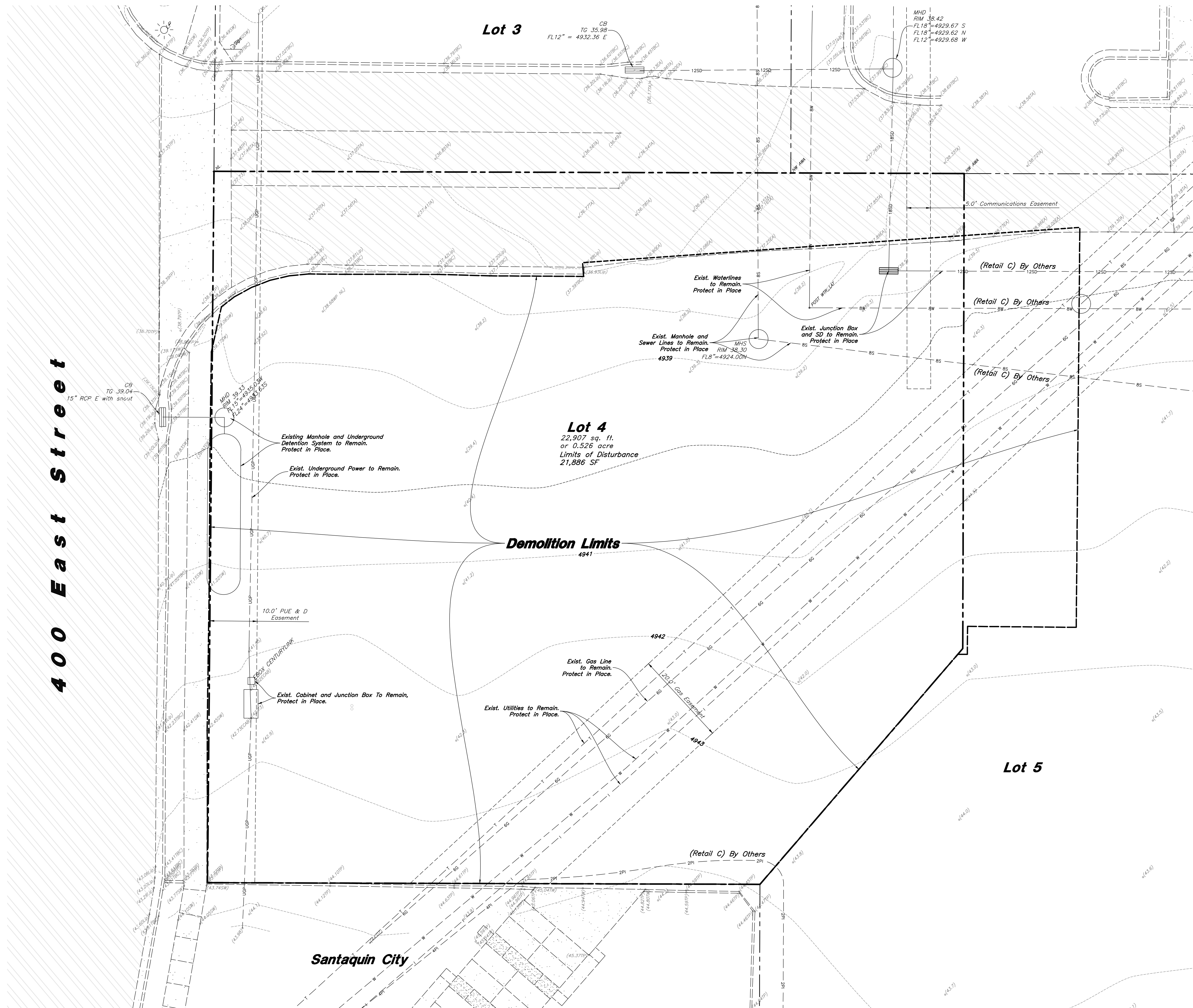
Lot 4, Ridley's Subdivision
22,907 sq. ft.
or 0.526 acre

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 321-8529 - awhengineering.net

Cover Sheet
Fiiz Drinks
30 North 400 East Street
Santaquin City, Utah



10 Aug, 2021
SHEET NO.
C0.0



General Demolition Notes:

- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction, it is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

CAUTION :

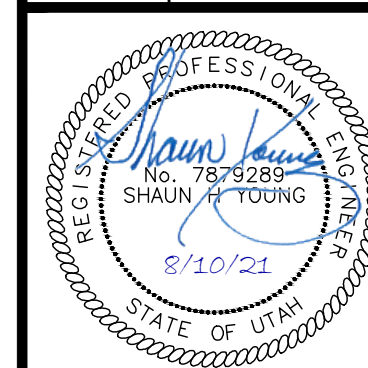
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Designed by: SY
 Drafted by: KF
 Client Name:
 Ridley's
 21-003 DM

ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8529 - awahengineering.net

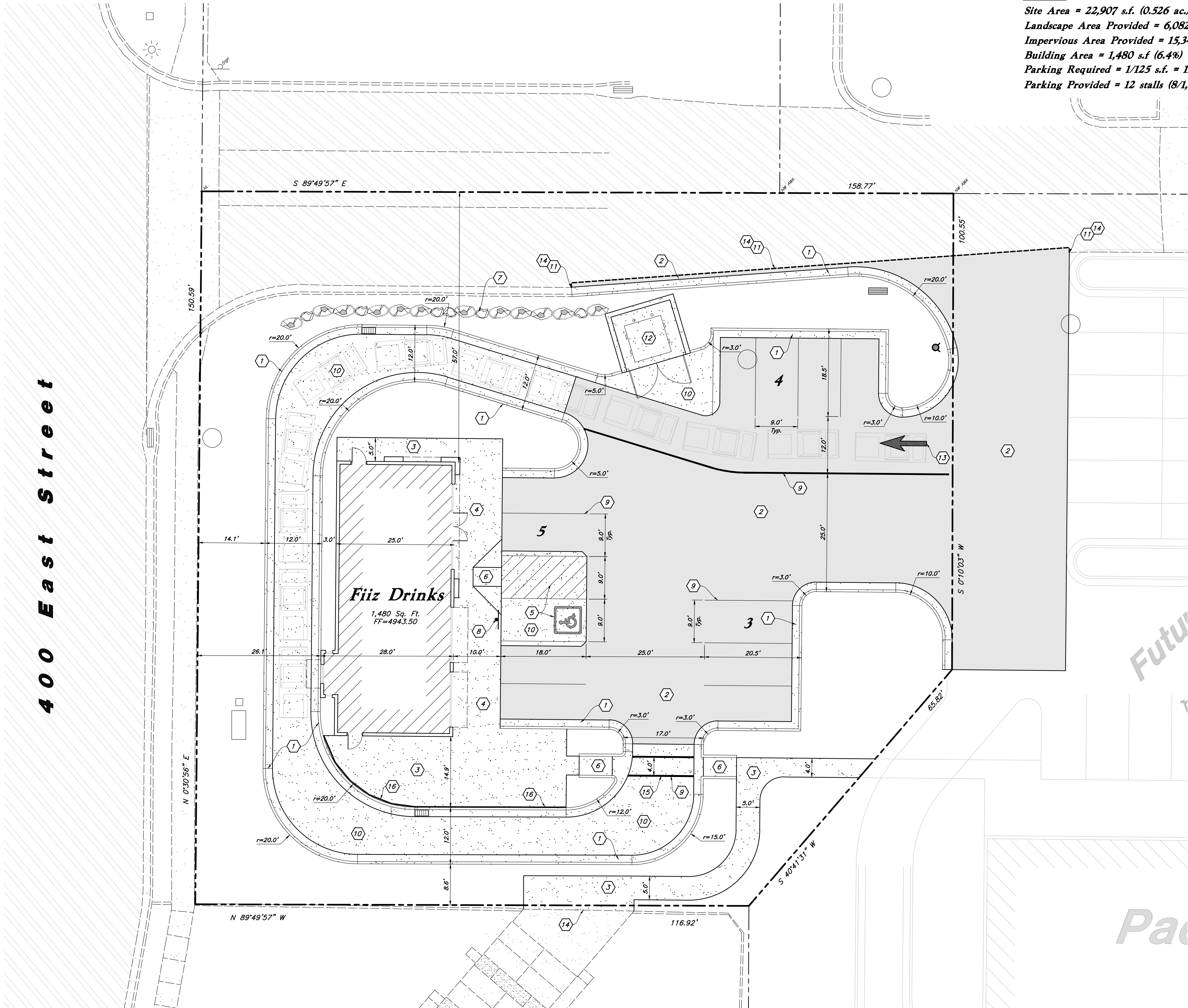
Demolition Plan
Filz Drinks
 30 North 400 East Street
 Santaquin City, Utah



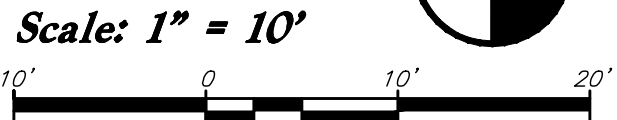
10 Aug, 2021

SHEET NO.

C0.1



Site Data
Site Area = 22,907 s.f. (0.526 ac.)
Landscape Area Provided = 6,082 s.f. (26.6%)
Impervious Area Provided = 15,345 s.f. (67.0%)
Building Area = 1,480 s.f. (6.4%)
Parking Required = 1/125 s.f. = 12 stalls
Parking Provided = 12 stalls (8/1,000)



Site Construction Notes

- 1 Const. 24" Curb & Gutter (C4.1)
- 2 Const. Asphalt Paving (C4.1)
- 3 Const. Concrete Sidewalk (C4.1)
- 4 Const. Thickened Edge Sidewalk (C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
- 7 Const. Boulder Retaining Wall (2' Max Height)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 10 Const. Concrete Paving (C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Connect to Existing Improvements and Match Grade Elevation
- 15 Const. Painted Crosswalk
- 16 Const. Handrails (See Architectural Details)

General Site Notes:

- 1. All dimensions are to back of curb unless otherwise noted.
- 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
- 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- 4. Const. curb transition at all points where curb abuts sidewalk, see detail.
- 5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- 6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

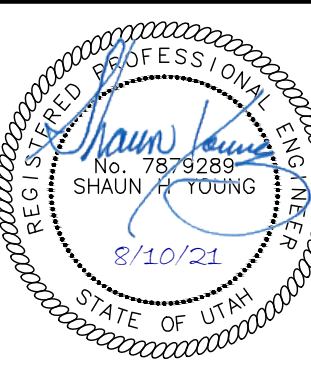
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

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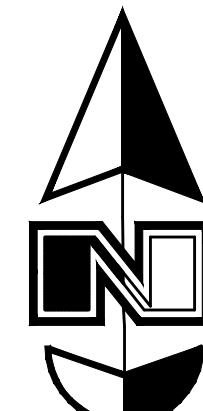
Site Plan
Fiiz Drinks
30 North 400 East Street
Santquin City, Utah



10 Aug, 2021

SHEET NO.

C1.1



Scale: 1" = 10'

General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by GSH are included in the requirements of grading and site preparation. The Report is titled "Proposed Ridley's Market Development (NEC) of Main Street and 400 South".
Project No.: 2588-001-18
Dated: April 26, 2018
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soils.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for standard and open face curb and gutter dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

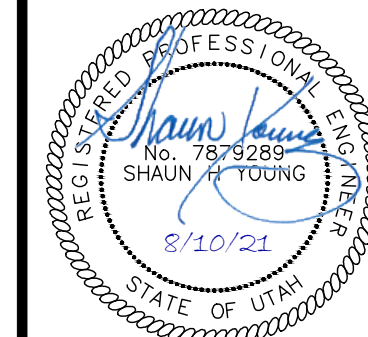
- Concrete sidewalk shall be constructed with a cross slope of 1.5% (2.0% Maximum) unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
- Refer to the Site Plan for sidewalk dimensions.

Designed by: SY
 Drafted by: KF
 Client Name:
 Ridley's

21-003 GR

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Grading Plan
Fiiz Drinks
 30 North 400 East Street
 Santaquin City, Utah

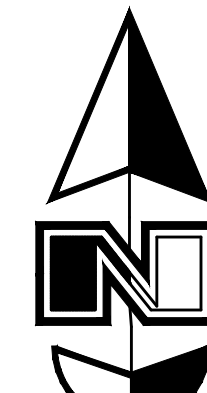
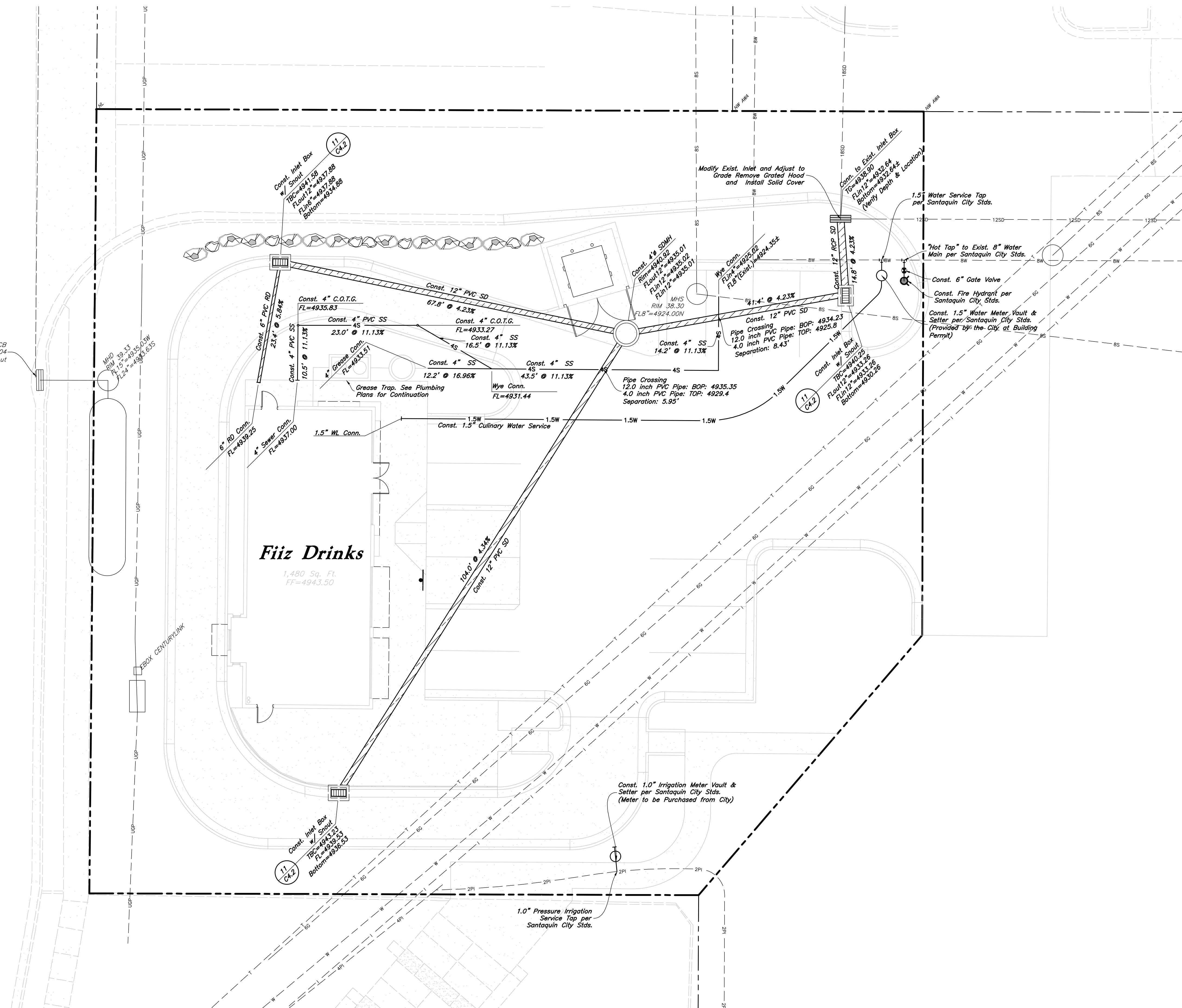


10 Aug, 2021

SHEET NO.

C2.1

400 East Street



Scale: 1" = 10'



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller — Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35
2. 15" pipes or larger — Reinforced Concrete Pipe, ASTM C76, Class III

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

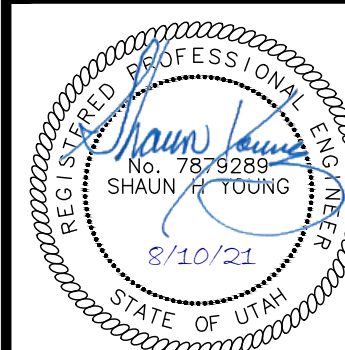
Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

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Utility Plan

Fiiz Drinks
30 North 400 East Street
Santquin City, Utah



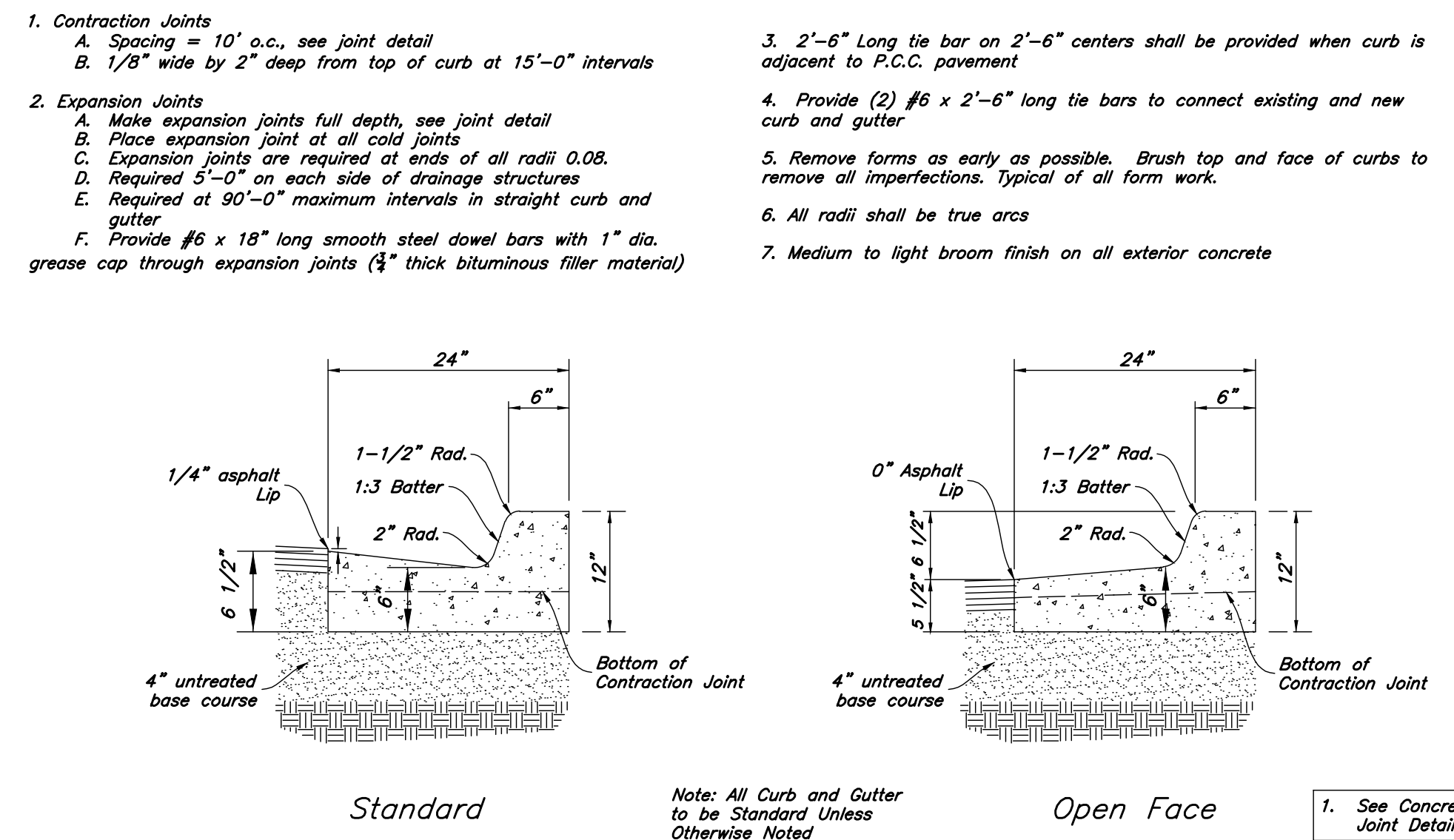
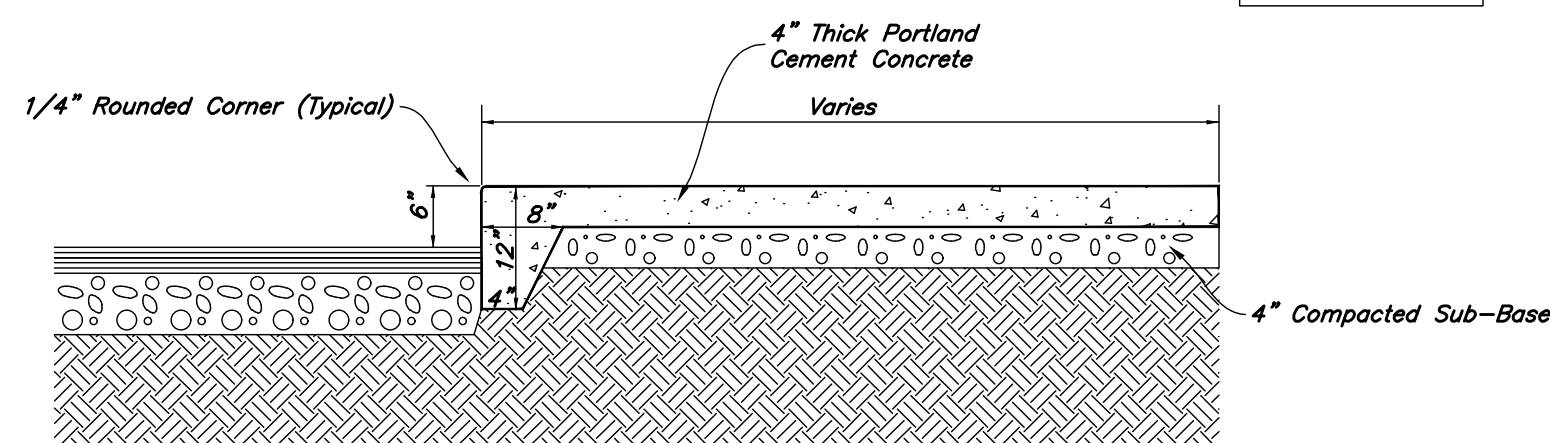
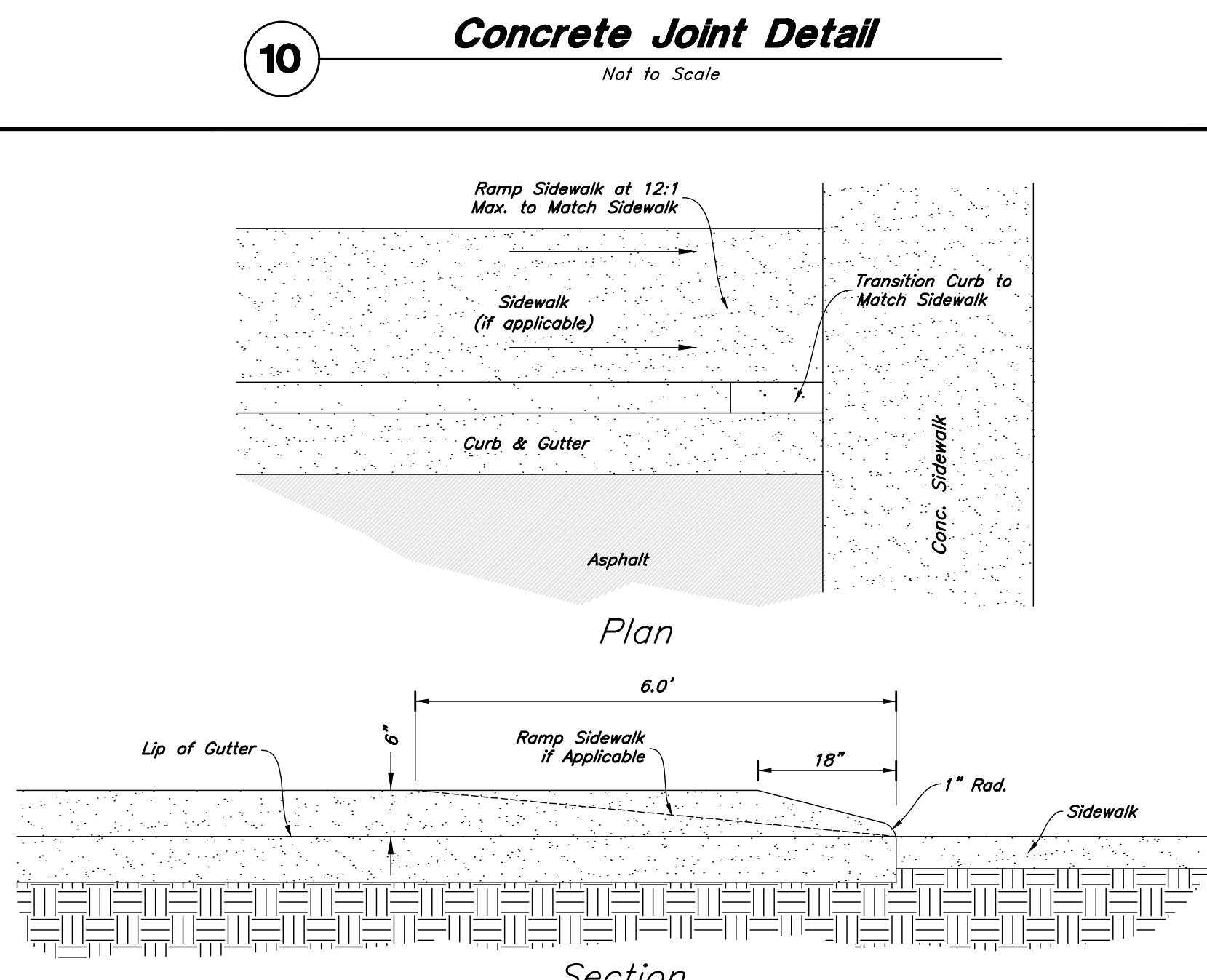
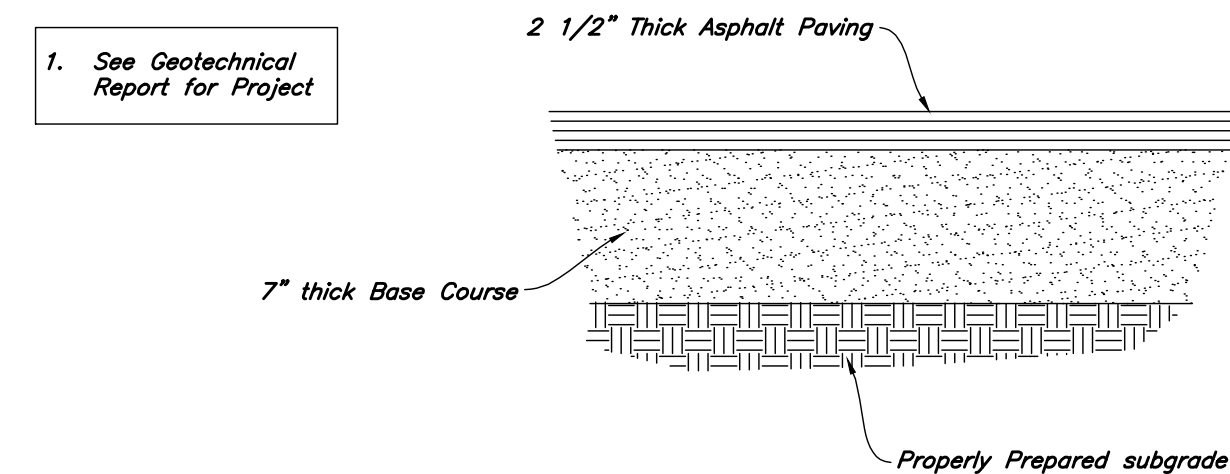
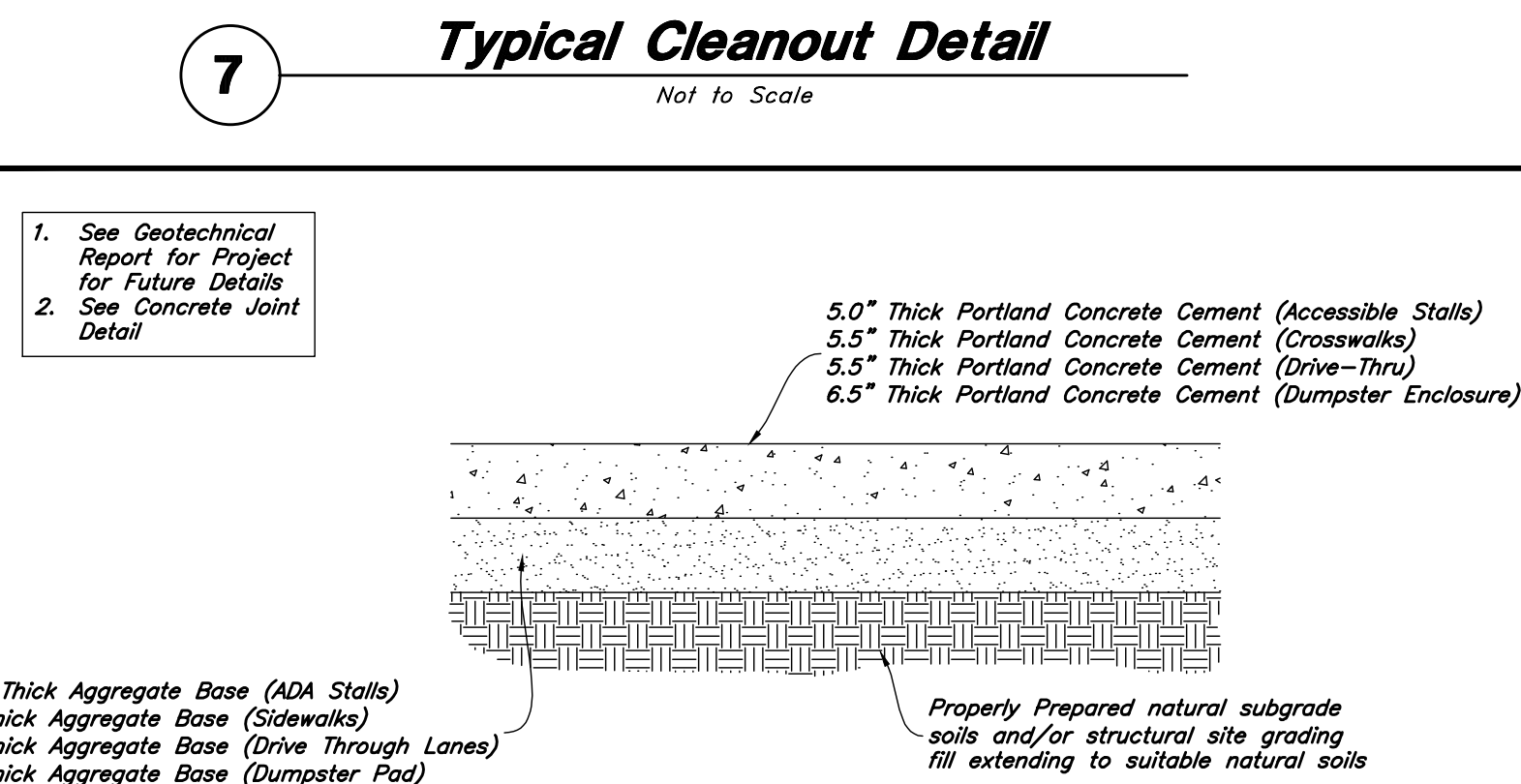
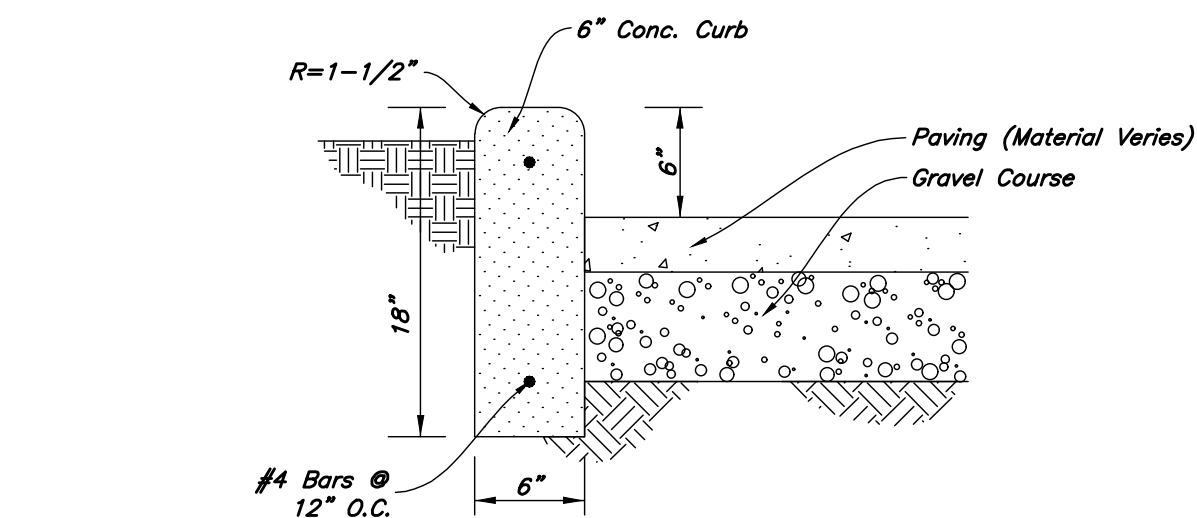
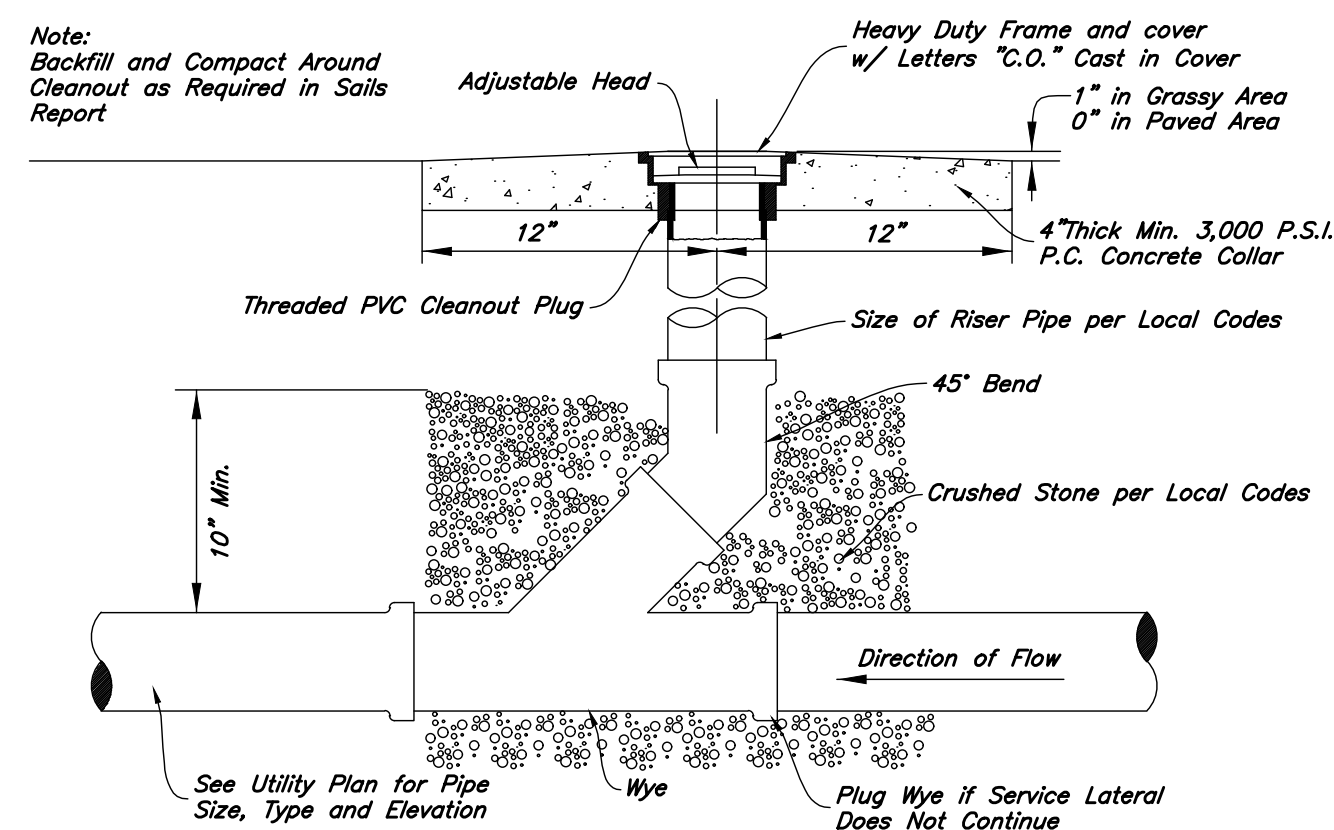
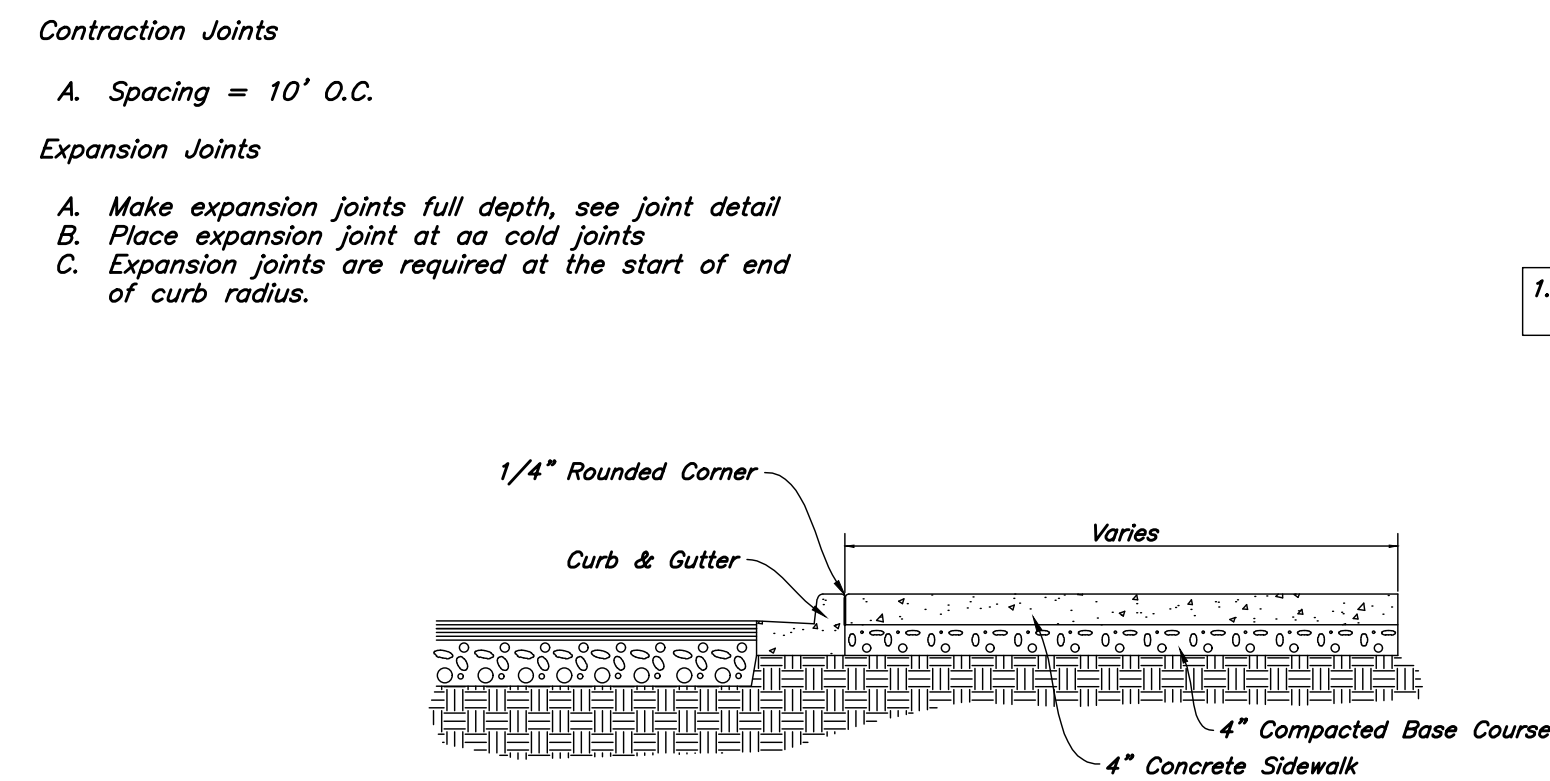
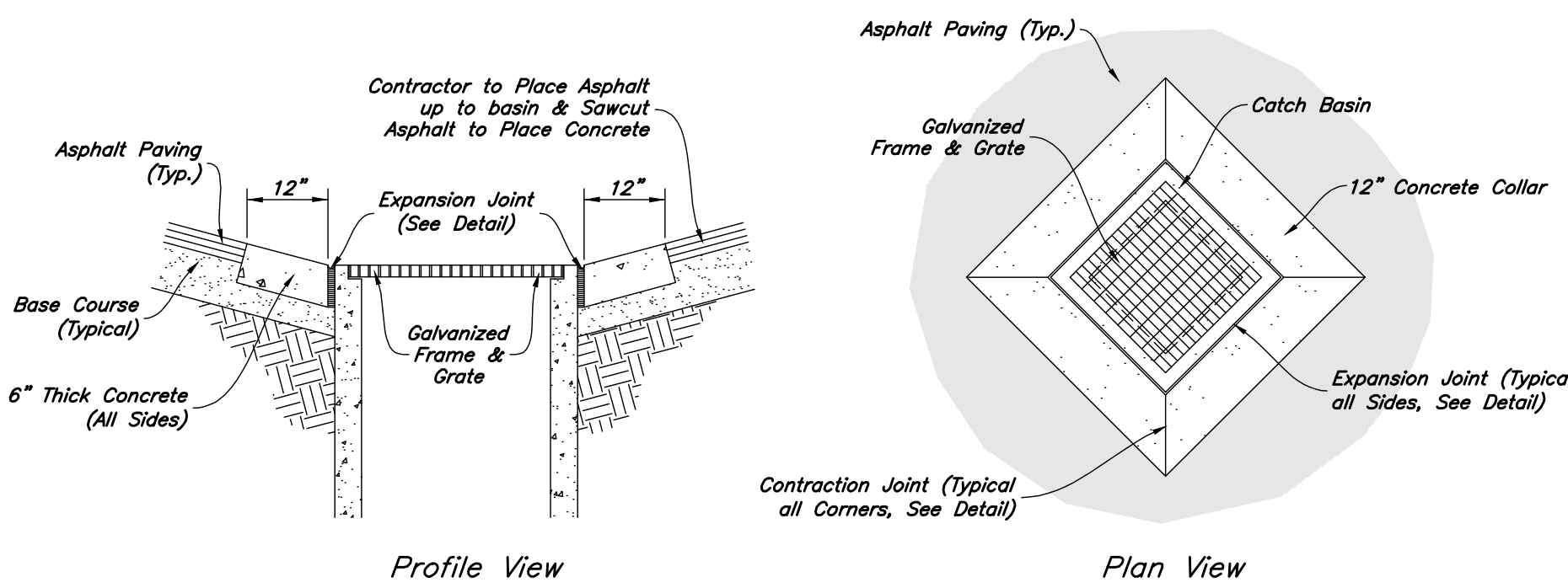
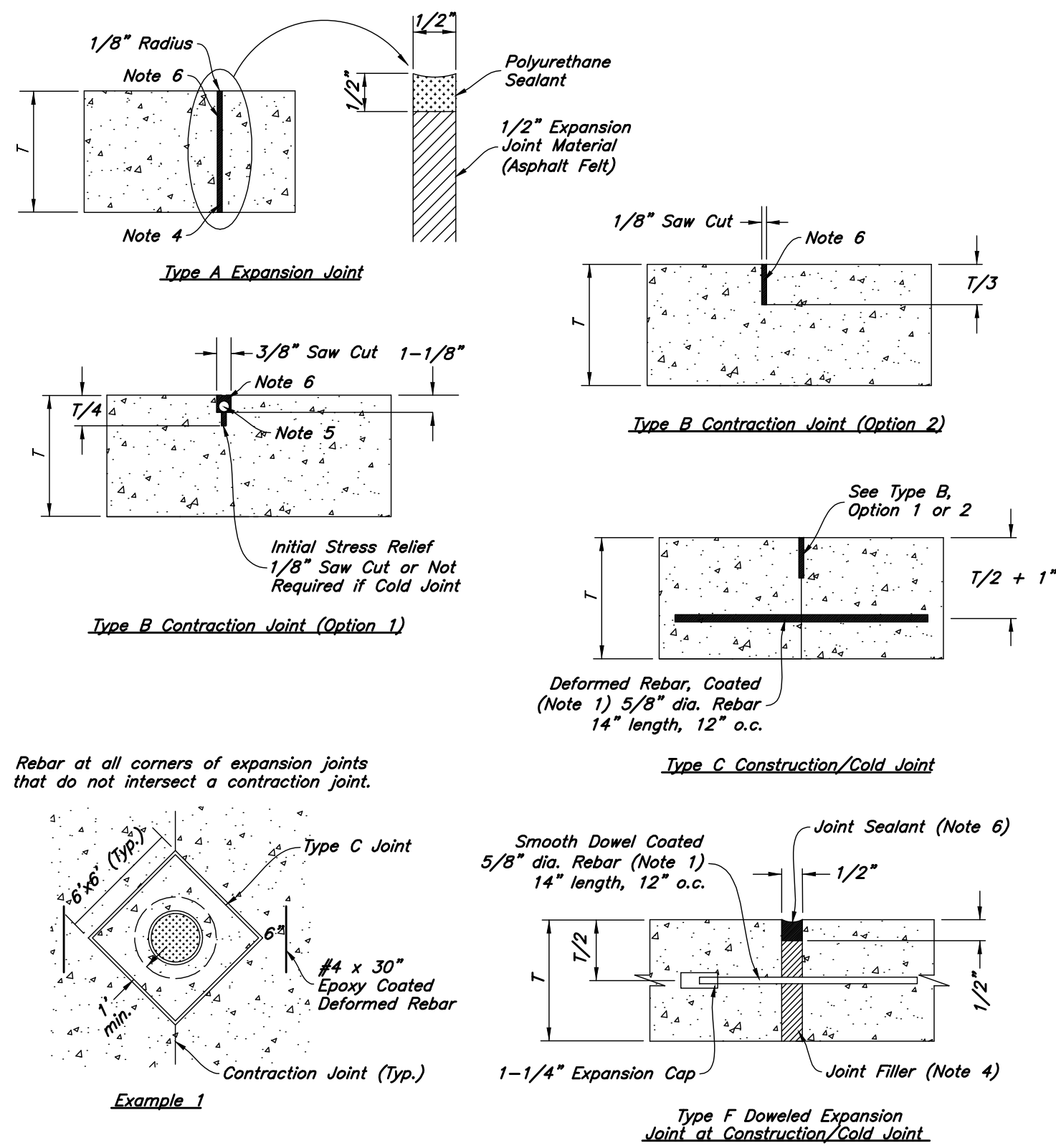
10 Aug, 2021

SHEET NO.

C3.1



- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.

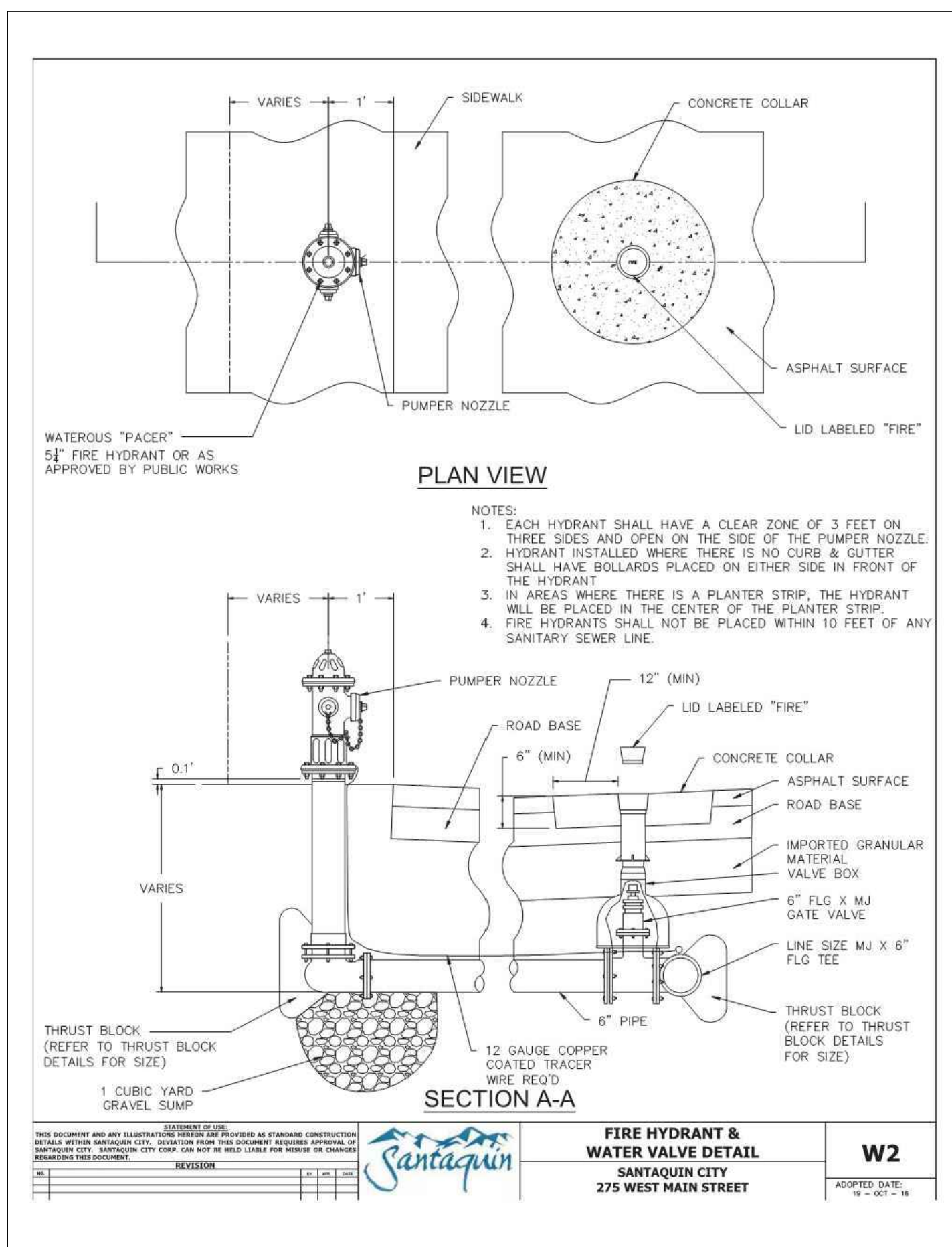


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2010 North Redwood Road, Salt Lake City, Utah 84116
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Details
Filz Drinks
30 North 400 East Street
Santiquin City, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 7879889
SHAUN A. TROONG
8/10/21
STATE OF UTAH

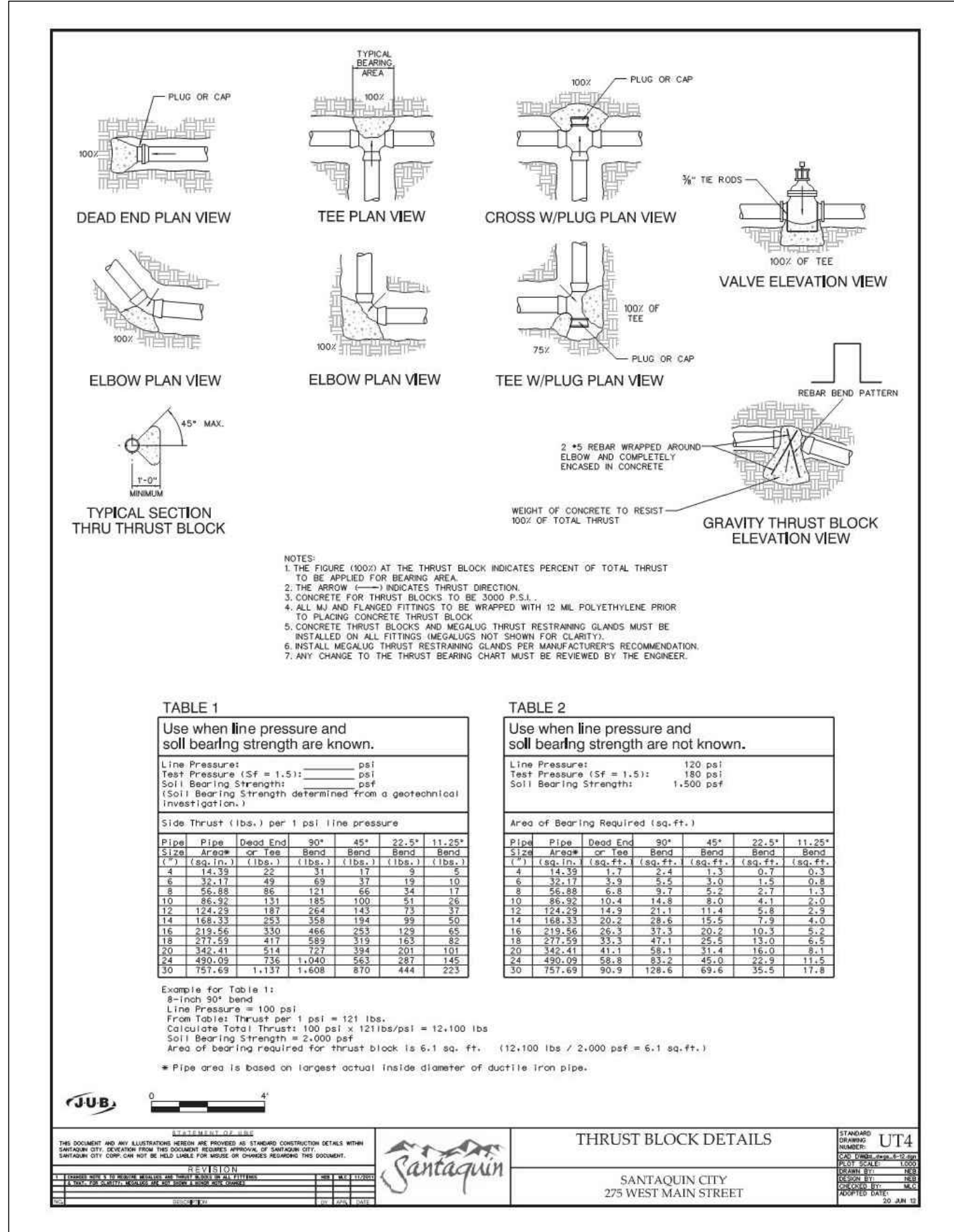
10 Aug, 2021
SHEET NO.
C4.1



**Santaquin City Std. Dwg. W2
Fire Hydrant & Water Valve**

16

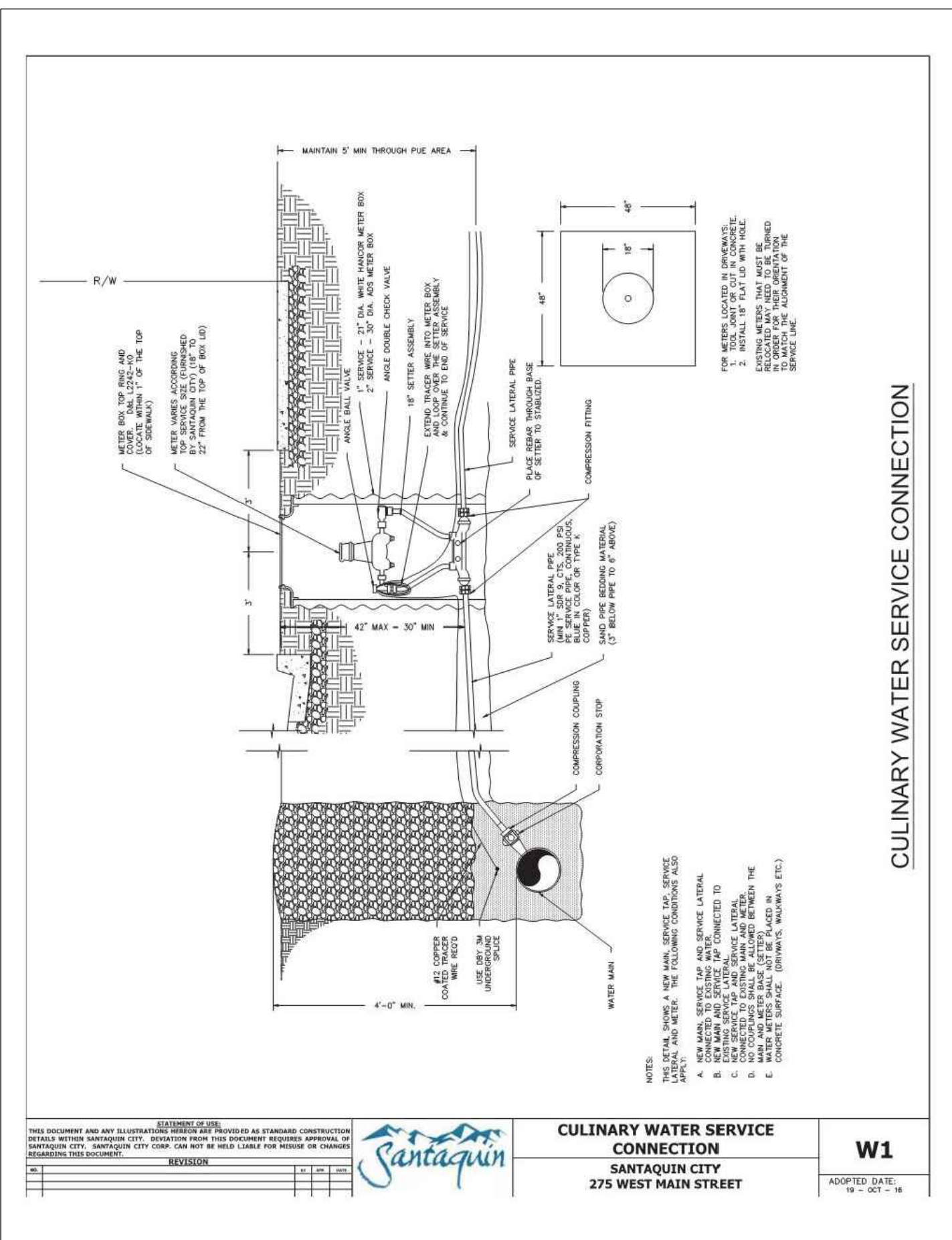
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**Santaquin City Std. Dwg. UT4
Thrust Block Details**

14

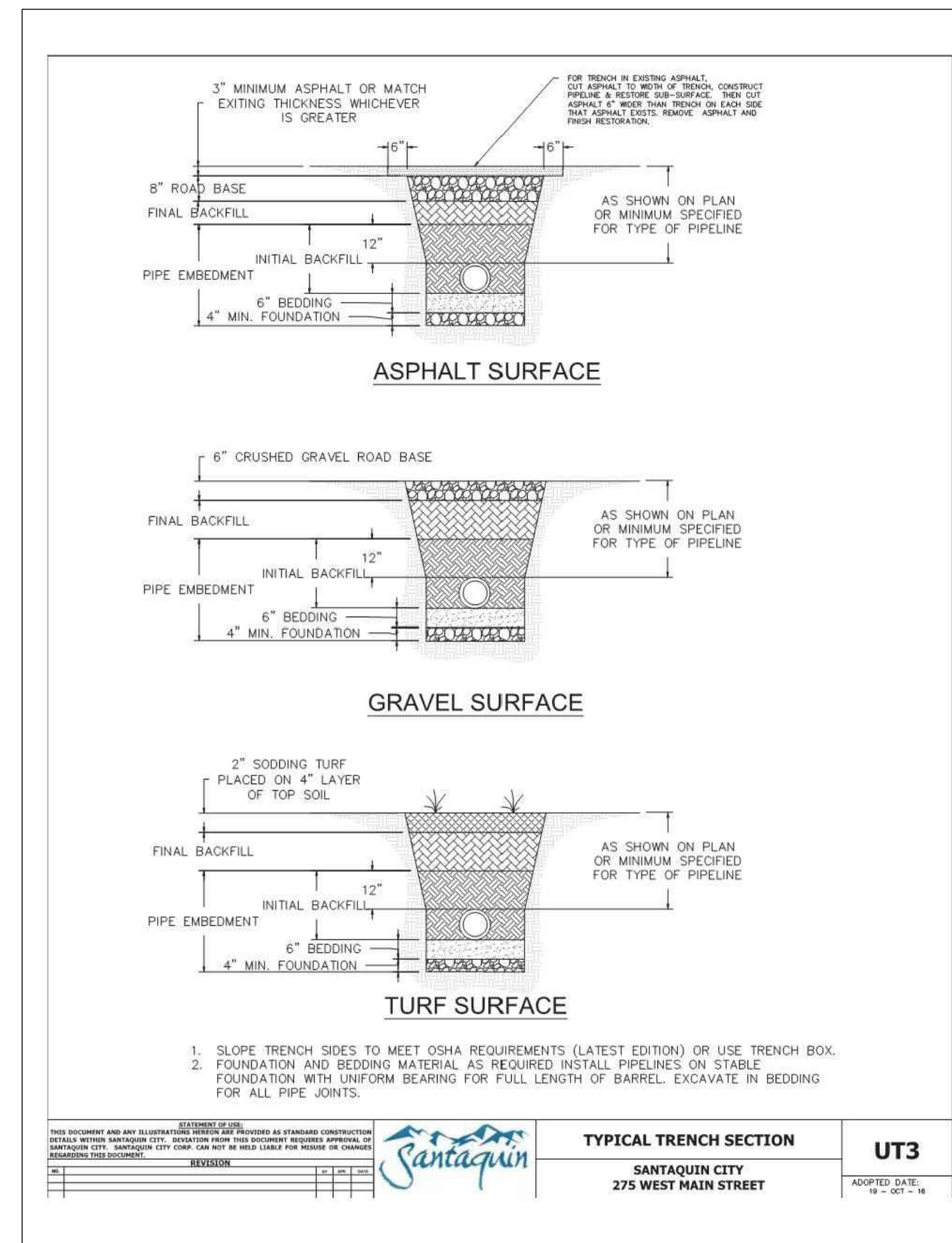
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**Santaquin City Std. Dwg. W1
Culinary Water Service Connection**

15

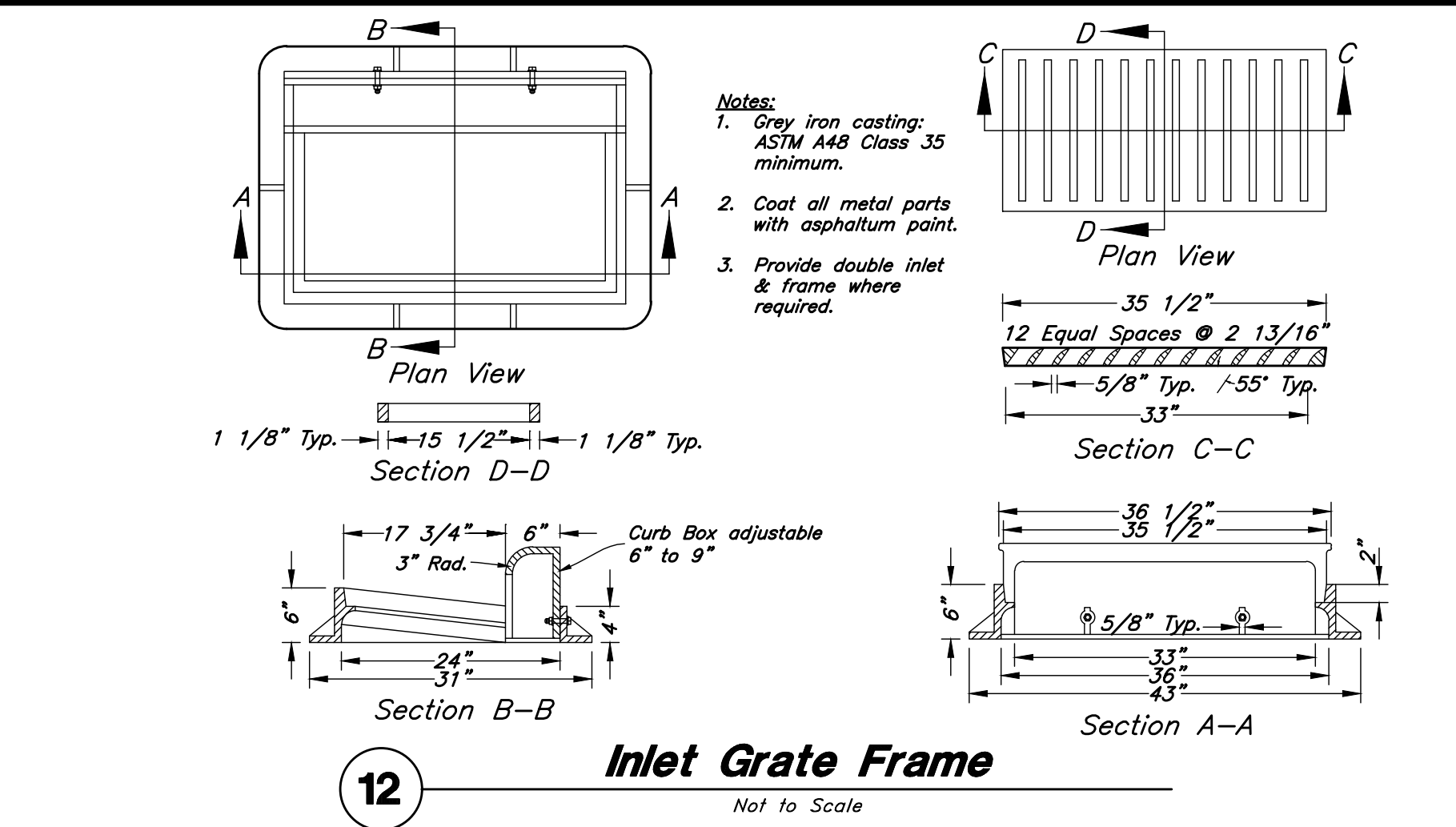
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**Santaquin City Std. Dwg. UT3
Typical Trench Section**

13

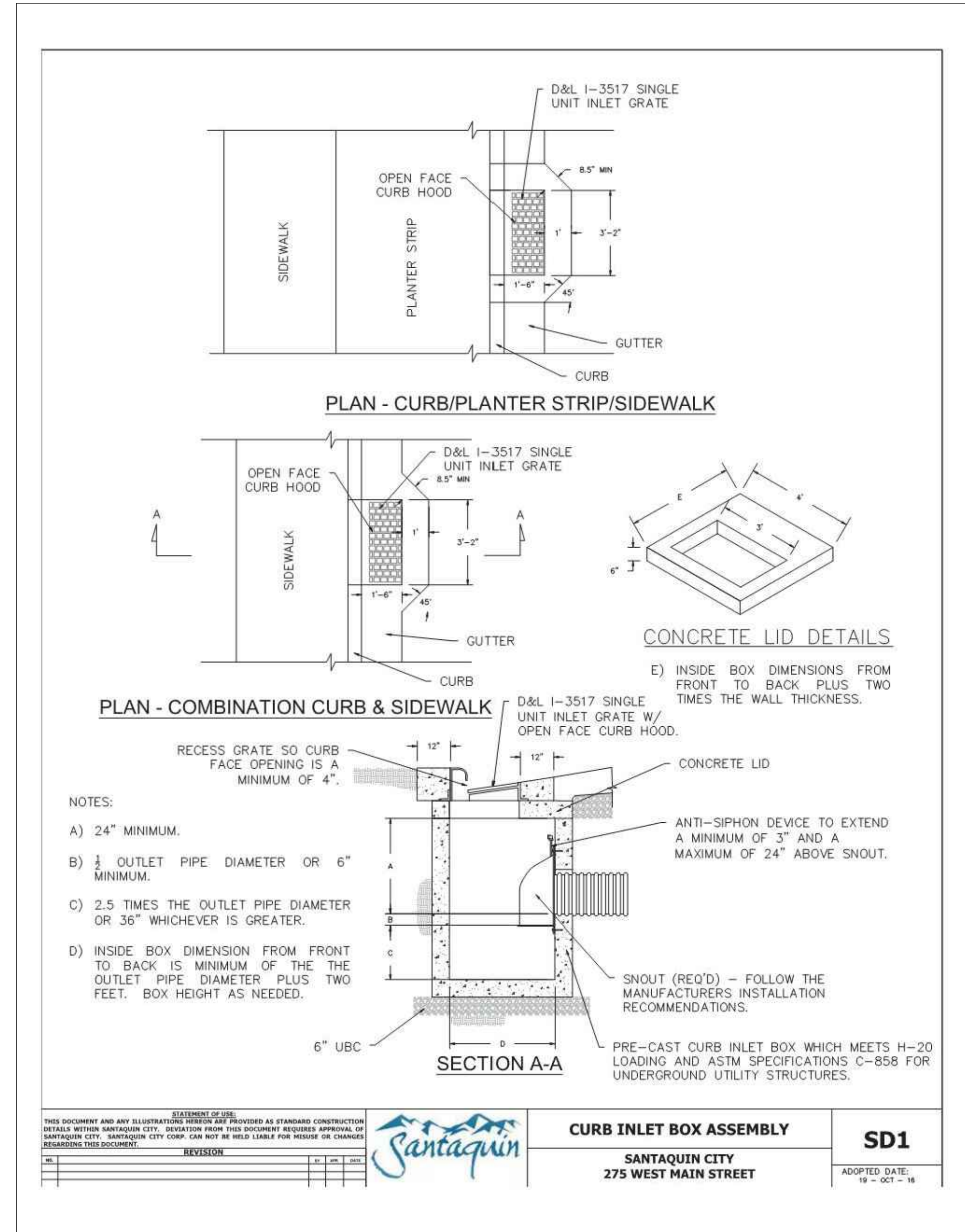
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Inlet Gate Frame

Not to Scale

12



**Santaquin City Std. Dwg. SD1
Curb Inlet Box Assembly**

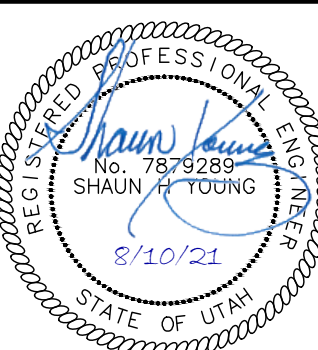
11

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Designed by: SY
Drafted by: KF
Client Name:
Ridley's

ANDERSON WAHLEN & ASSOCIATES
No. 785089
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Details
Fiz Drinks
30 North 400 East Street
Santaquin City, Utah



10 Aug, 2021
SHEET NO.
C4.2



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21-003 DT



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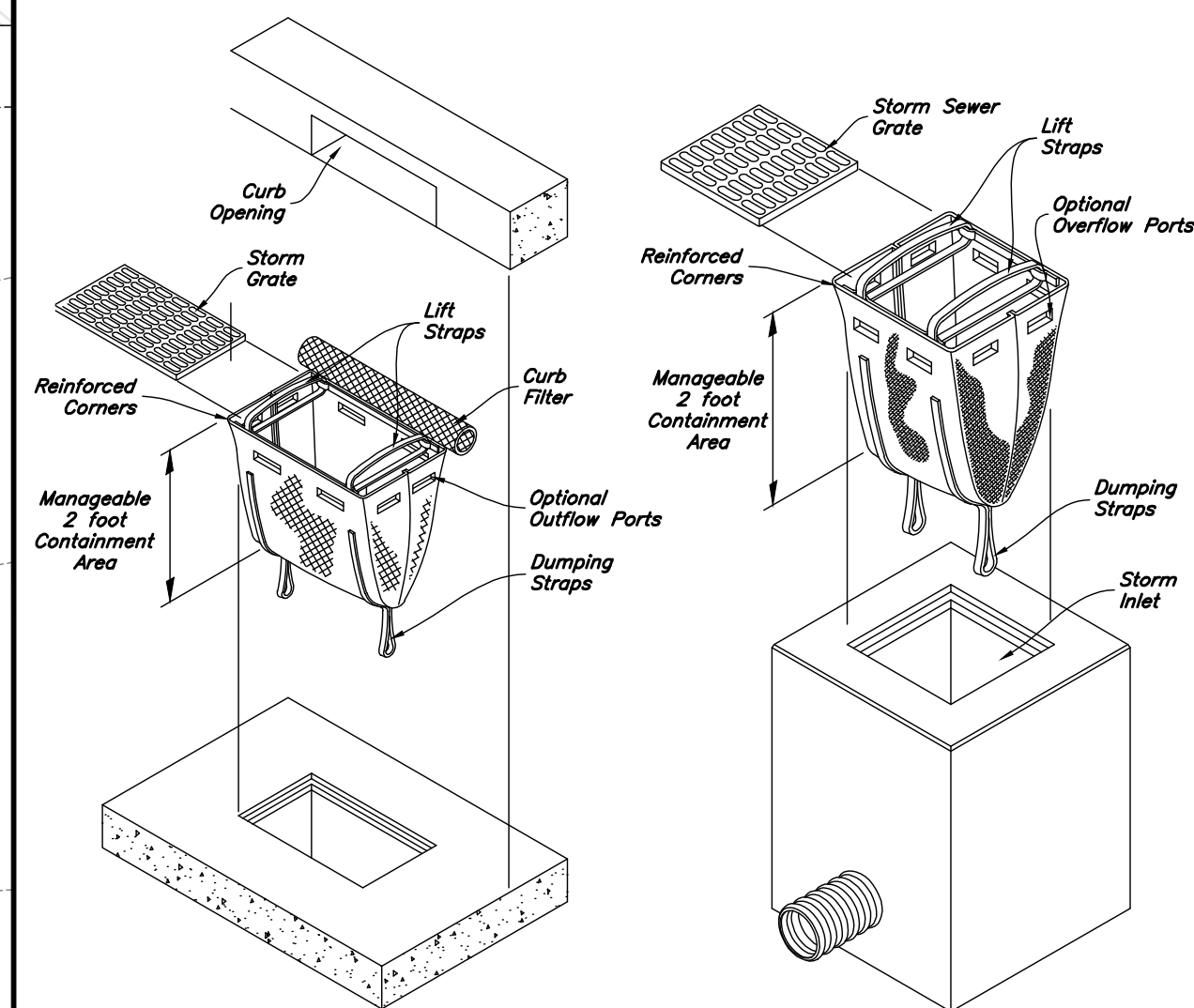
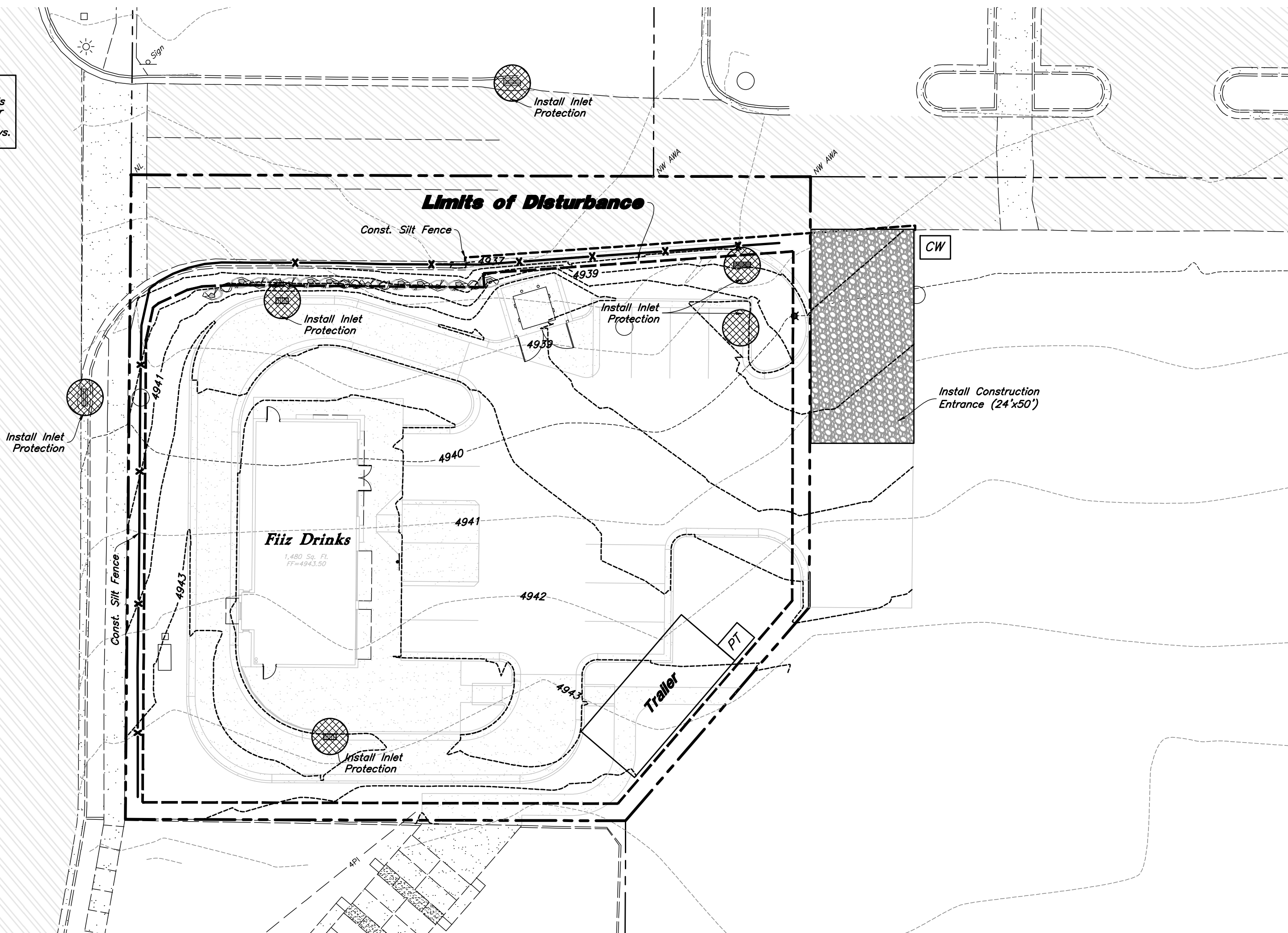
Not to Scale

30 North 400 East Street
Santaquin City, Utah



Note:
Vehicle tracking on public roads is strictly prohibited. Contractor to sweep as necessary to remove sediment from roadways.

400 East Street



Inlet Protection

Not to Scale

Legend

Place Inlet Protection at all Inlet Locations to prevent boxes from silting.

Silt Fence

Limit of Disturbance

Construction Entrance / Truck Wash (50'x24' Min.)

Concrete Washout Area

Portable Toilet

Gravel Sock

Existing Contour

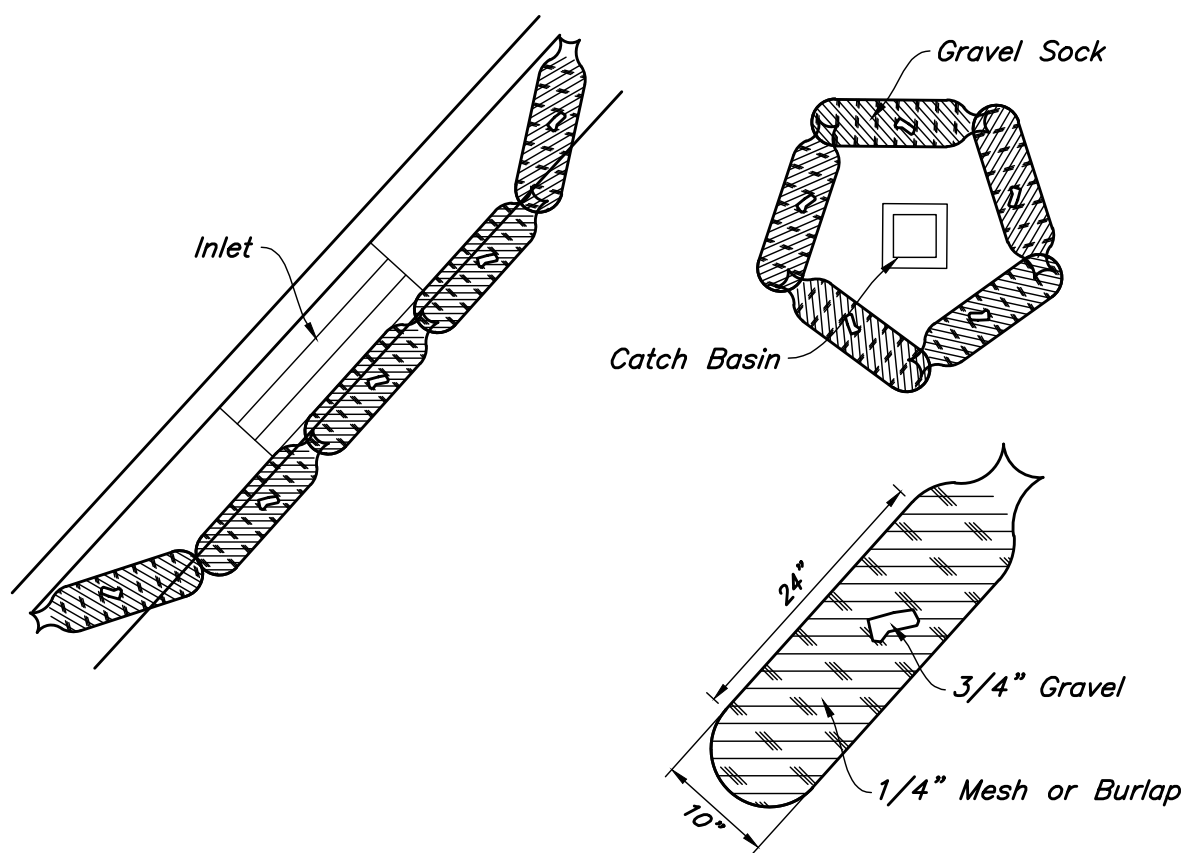
Existing Spot

Proposed Contour

Limits of Disturbance = 17,688 s.f. or 0.406 acres

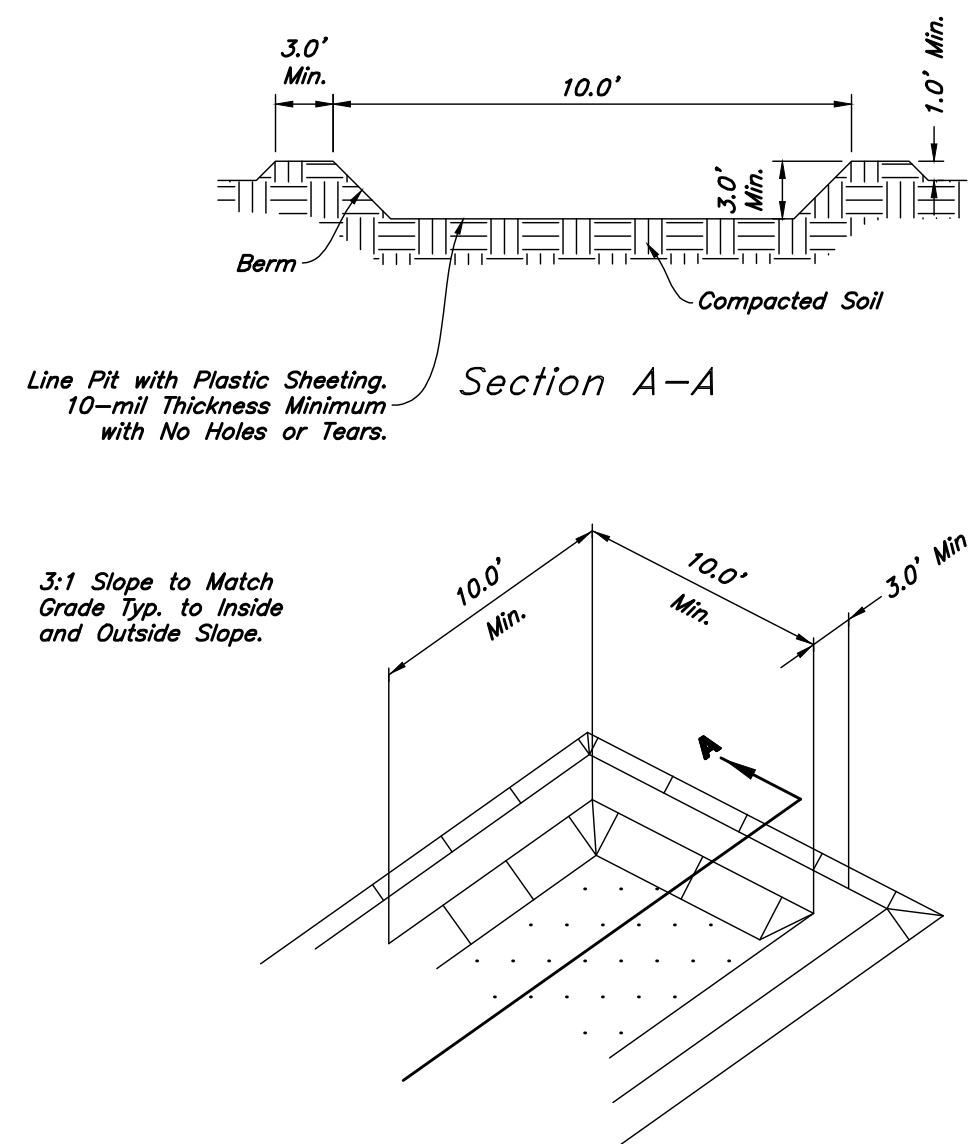
Erosion Control Notes

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Construction Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
- The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydreseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.



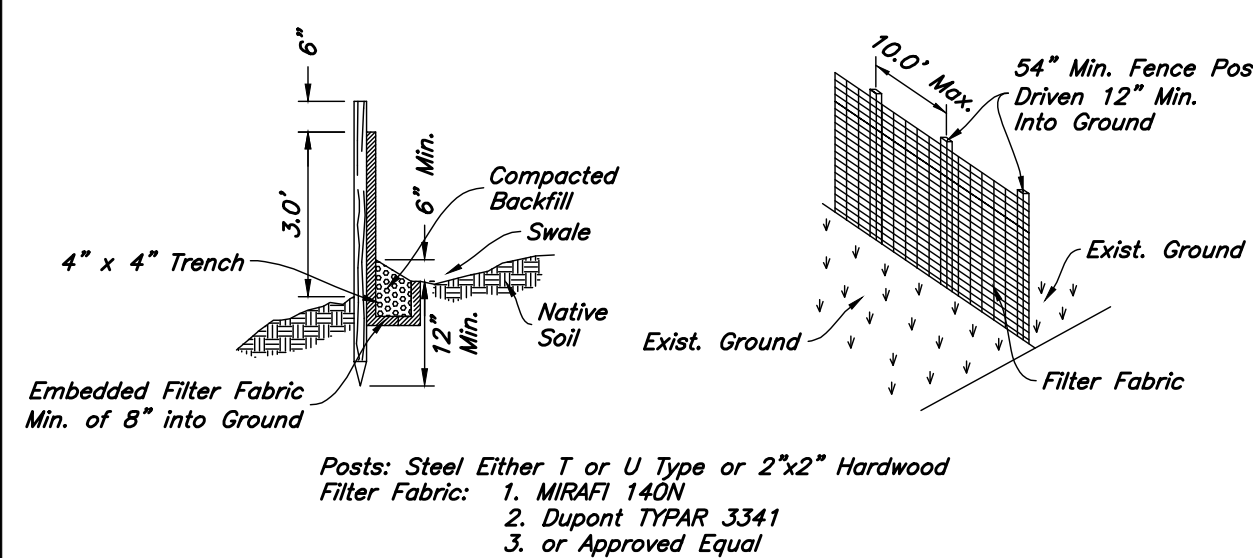
Sediment Barrier

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Concrete Washout

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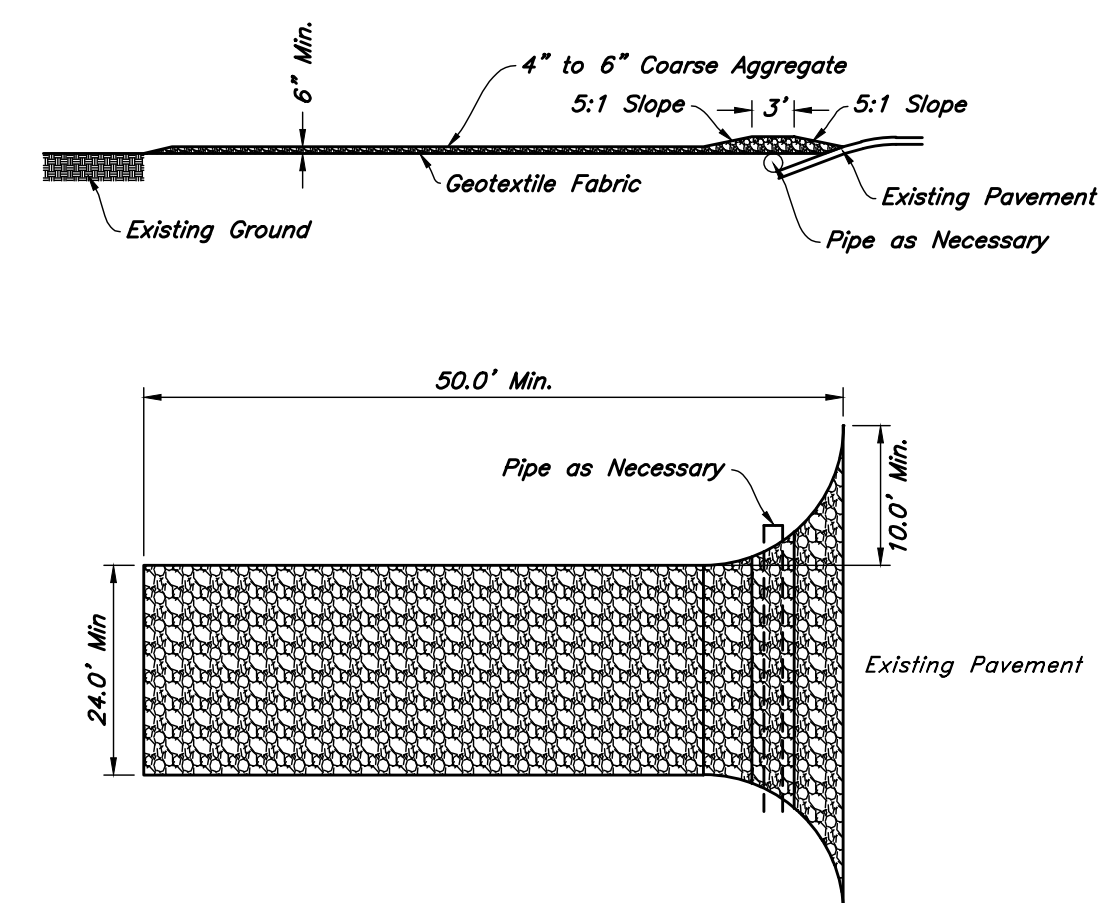


Notes:

- Filter cloth to be fastened securely to fence posts with wire ties or staples.
- When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
- Collected material shall be removed when "bulges" develop in the silt fence.

Silt Fence Section

Not to Scale

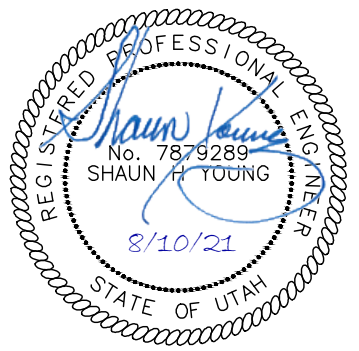


Stabilized Construction Entrance

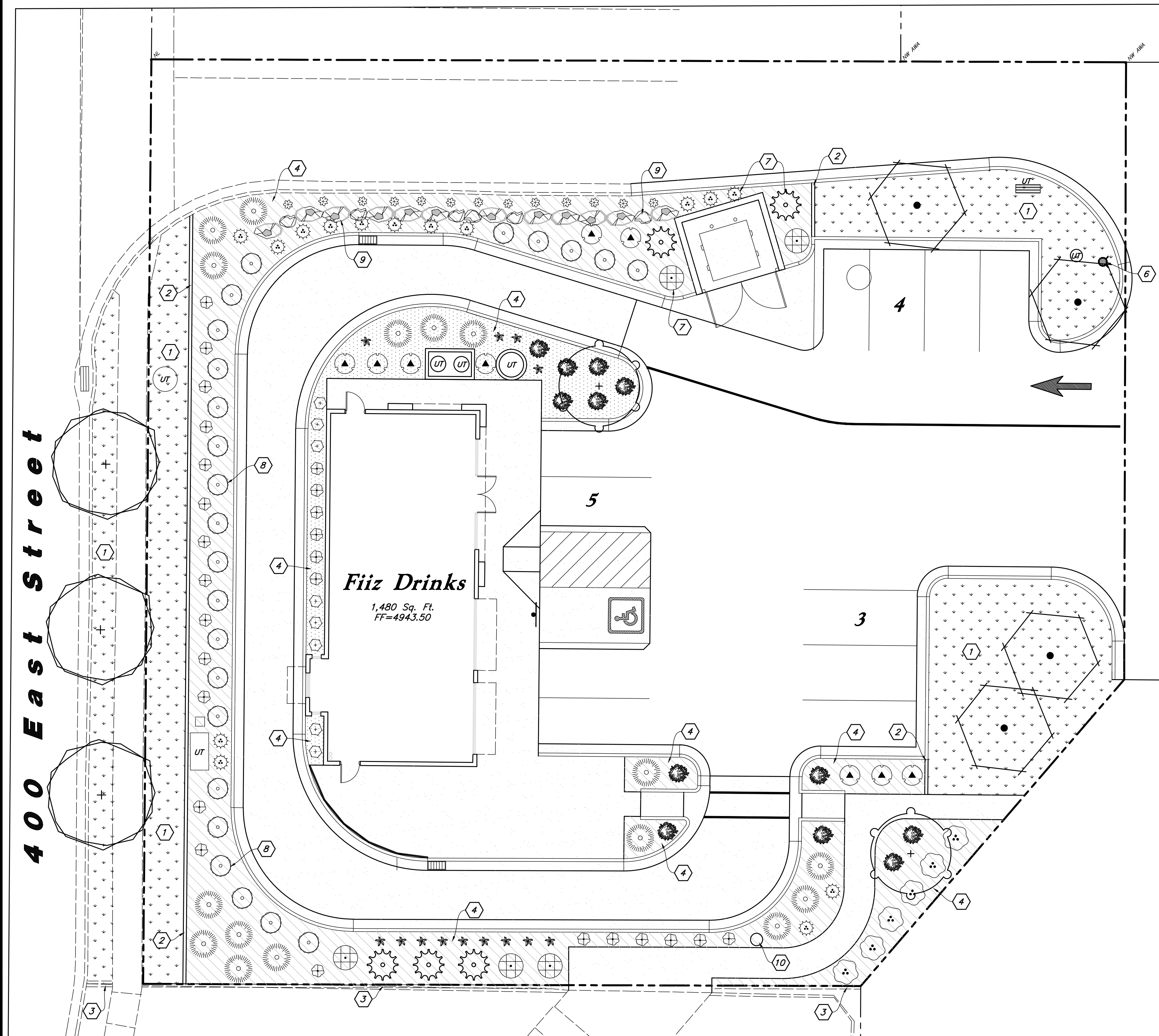
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2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWahlen@engr.net

Erosion Control Plan
Fiiz Drinks
30 North 400 East Street
Santiquin City, Utah



10 Aug, 2021
SHEET NO.
C5.1

**General Landscape Notes:**

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock. Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.
- All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Imported topsoil shall be used for landscape areas. The landscape contractor shall perform a soil test on imported topsoil and amend per soil test recommendations. Soil test to be done by a certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide a 12" depth of imported topsoil in parking islands and an 8 inch depth in all other shrub areas.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	3	Koelreuteria paniculata / Golden Rain Tree	2" Caliper
	2	Quercus robur 'Skyrocket' / Skyrocket English Oak	2" Caliper
	4	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" Caliper
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	5	Picea pungens glauca / Columnar Spruce	6-8' Ht.
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	24	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal
	16	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	15	Calamagrostis x a. 'Karl Foerster' / Feather Grass	1 gal
	26	Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass	1 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	13	Hemerocallis x 'Red Hot Returns' / Red Hot Returns Daylily	1 gal
	13	Nepeta x faassonii 'Dropmore' / Catmint	1 gal
DECIDUOUS SHRUB	QTY	BOTANICAL / COMMON NAME	SIZE
	8	Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry	5 gal
	5	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal
	6	Prunus x cistena / Purple Leaf Sand Cherry	5 gal
	9	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	5 gal
	12	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal
LAWN	QTY	BOTANICAL / COMMON NAME	TYPE
	2,797 sq	Poa pratensis / Kentucky Bluegrass Blend	sod

MATERIAL SCHEDULE

Symbol	Comments	Detail
	Decorative Stone #1 - Install a (3) Three Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in Shrub Planters Where Shown on Plan; Stone Shall be Washed Prior to Installation; Stone Shall be 1" Diameter Crushed, Fractured Talon's Cove (Gray Color) Stone from Utah Landscape Rock (435-250-3851)	Detail: 4/L3.1
	Decorative Stone #2 - Install a (4) Four Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in Shrub Planters Where Shown on Plan; Stone Shall be Washed Prior to Installation; Stone Shall be 2" Dia. Crushed, Fractured Stone from Staker Parson Canyon Pili (585-239-0804); Boulders for Wall Shall Match This Decorative Stone Color (Tan and Angular); Install Stone Between Boulders in Retaining Wall	Detail: 4/L3.1
	4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges between Lawn and Planting Areas; Curbing Shall be Continuous; Adjust Curbing as Needed to Avoid Existing and New Utilities.	Detail: 4/L3.1

Landscape Data

Site Area = 22,907 s.f. (0.526 ac.)
Landscape Area Required = 2,291 s.f. (10%)
Landscape Area Provided = 6,082 s.f. (27%)
Parking Area = 4,838 s.f.
Landscape Parking Required = 484 s.f. (10%)
Landscape Parking Provided = 538 s.f. (11.1%)
400 East Street Frontage = 126 L.f.
400 East Street Trees Req. = 3 Trees (3 Provided)

Landscape Notes:

- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Drip for Shrub Areas and Spray for Lawn Areas. See Irrigation Sheets L2.1 for Layout and Sheet L3.1 for Details.
- Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
- All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone. Blend New Landscape into Existing Corner Landscape.

Landscape Keynotes

- Install New Lawn
- Install Landscape Concrete Curbing
- Existing Landscape Concrete Curbing
- Install Shrub Planter with Decorative Stone and Weed Barrier
- Irrigation Water Meter and Connection - See Irrigation Plan for More Detail
- New Fire Hydrant; Verify that There is 3' Clearance Around Hydrant
- Planting Screen for Dumpster
- 3' High Evergreen Planting Screen for Parking Lot
- Rock Retaining Wall; Clean Dirt Out Between Rocks and Install Decorative Stone; Wash Dirt off of Rocks; See Material Schedule for More Detail
- Irrigation Secondary Meter- See Utility and Irrigation Plan for More Detail

UT - Existing/New Utility Box or Manhole



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ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awhengineering.net

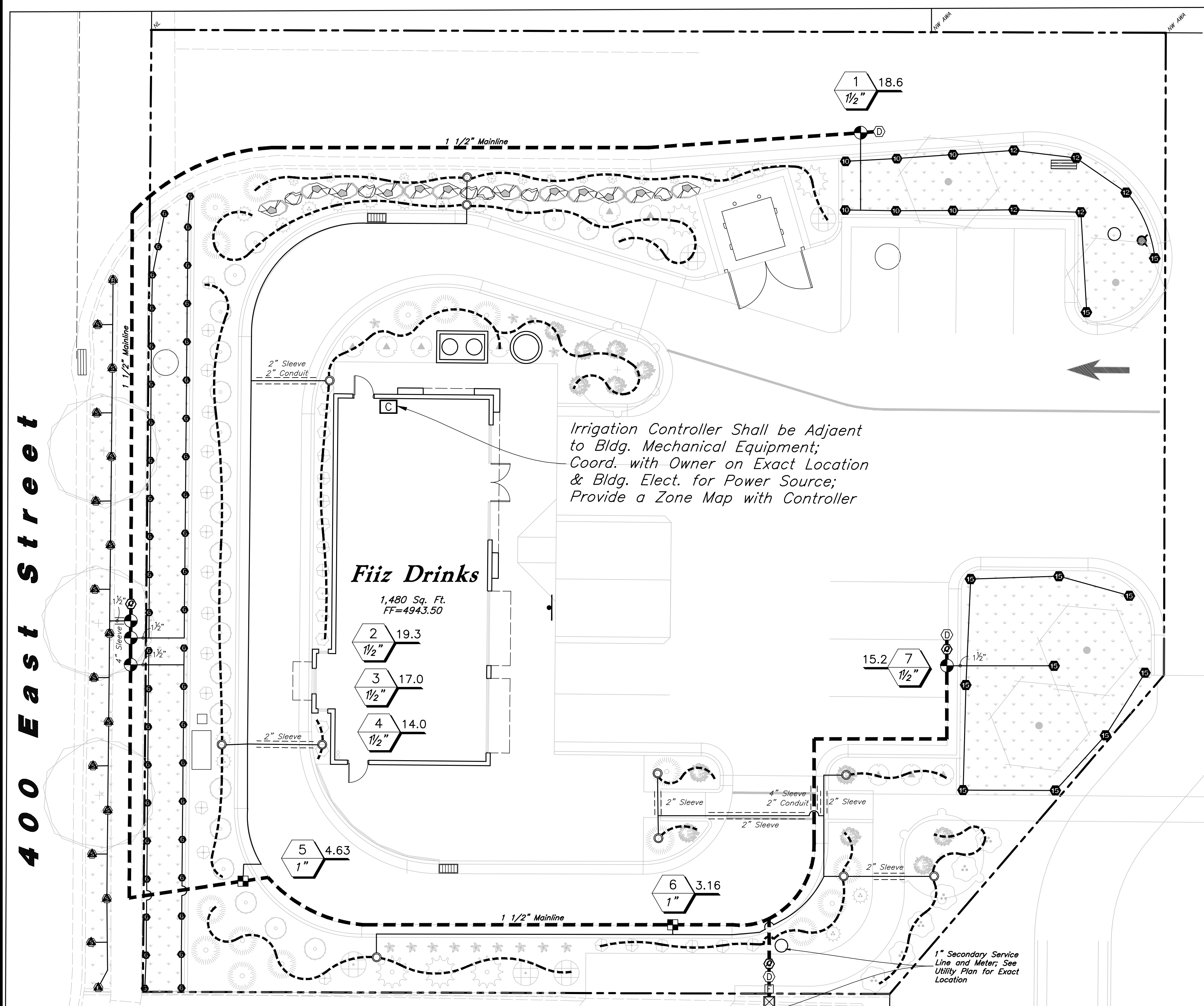
Landscape Plan
Fiiz Drinks
30 North 400 East Street
Salt Lake City, Utah



10 Aug, 2021

SHEET NO.

L1.1

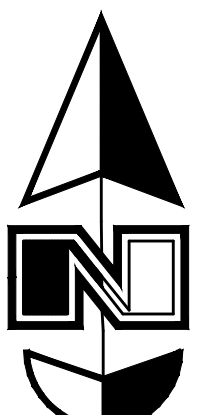


Main Service Line & Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes

- See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting and Irrigation Details.
- The City Reported a Static Pressure Range of 80-90 psi in the Area. Static Pressure of 80 psi. was Used. Irrigation System was Designed for a Minimum of 39 psi.

Scale: 1" = 10'



IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Sprayheads				
	Rain Bird 1804	4" Pop-Up Sprayhead with 15' Strip Nozzle	Adjust Radius Reduction Screws as Needed to Achieve Appropriate Radial Coverages	13/L3.1
	Rain Bird 1804	4" Pop-Up Sprayhead with 15' Strip Nozzle	Adjust Radius Reduction Screws as Needed to Achieve Appropriate Radial Coverages	13/L3.1
Valves				
	Rain Bird 150-PESB	Lawn Remote Control Valve with Scrubber Technology	1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	14/L3.1
	Rain Bird XCZ-100-PRB-COM	Drip Remote Control Valve Kit	1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	6/L3.1
	Rain Bird 44-NP	Quick Coupler with Non-Potable Cover and Swing Joint	1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	7/L3.1
	Matco-Norca 759	Manual Drain Ball Valve	1/2 Inch Size; Install at End of the Mainline in a 10" Round Valve Box with Weed Barrier and a Gravel Sump	10/L3.1
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	11/L3.1
	Rain Bird XBS-700	1/2" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed		
	Rain Bird XQ-100	1/4" Distribution Tubing - Install one per Emitter		
	Rain Bird XB-20PC	Xeri-Bug Emitter (2 Gal/Hr.) - 1 per Perennial/Ornamental Grass, 2 per Shrub, & 4 per Tree		
	Rain Bird TS025	Tie Down Stake - Tubing to be Staked every 3'		
	Rain Bird DBC-025	Diffuser Bug Cap - Install one per Emitter		
	Rain Bird MDCFCAP	Removable Flush Cap - Install at the End of Each Line		
P.O.C. Components				
	Mueller Oriseal Mark II	Stop and Waste Valve	1 1/2 Inch Size; Install in 10" Round Valve Box with Weed Barrier and Gravel Sump	16/L3.1
	Amiad Tagline Canister Filter	Secondary Water Filter	1 1/2 Inch Size; Filter with 155 Mesh; Install in Regular Size Box with Weed Barrier and 3" Depth of Clean Gravel; Filter Shall be Installed Underground	15/L3.1
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 1/2 Inch Size; See Plan for Locations; Schedule 80 Fittings Shall be Used for Mainline Components	8/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1 inch for PVC Pipes	8/L3.1
Controller & Accessories				
	Rain Bird ESP4MEI	4 Base Station Indoor Controller	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor	12/L3.1
	Rain Bird ESPSM3	3 Station Expansion Module		
Sleeving				
	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals, and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths	Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving; All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted	17/L3.1
Valve Callout				
	Valve Callout	Valve Number, Valve Flow, Valve Size		

General Irrigation Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation system guarantee for all materials and workmanship shall be one year from the time of final project acceptance. Guarantee will include, but is not limited to winterizing, spring activation, repair, trench setting, backfilling depressions, and repairing freeze damage.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adopt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 40 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
- Install dielectric fittings whenever dissimilar metals are joined.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wire that runs the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/1" or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes to be Carson Brooks or equal.
- Quick couplers shall be a Rain Bird 44-NP (Non-Potable Cover) with a 1 inch Lasco swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-eight (28) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches

minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.

- Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, els, or changes in direction shall occur under hardscape.
- It is the contractor's responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walls, roadways, and/or buildings as much as possible. This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
- All sprinkler heads shall be set perpendicular to finish grade of the areas to be irrigated and shall be installed 6-8" from buildings walls, or within 4" of pavement, curbs, or header edges.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.

VALVE SCHEDULE

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP. RATE
1	1-1/2"	Turf Spray	18.62	34.5	38.24	1.83 in/h
2	1-1/2"	Turf Spray	19.25	34.52	36.39	3.45 in/h
3	1-1/2"	Turf Spray	16.97	34.55	36.01	3.45 in/h
4	1-1/2"	Turf Spray	13.98	34.22	35.21	3.4 in/h
5	1"	Area for Drip Emitters	4.63	34.0	34.08	1.04 in/h
6	1"	Area for Drip Emitters	3.16	32.22	32.23	0.63 in/h
7	1-1/2"	Turf Spray	15.24	34.3	34.88	1.51 in/h



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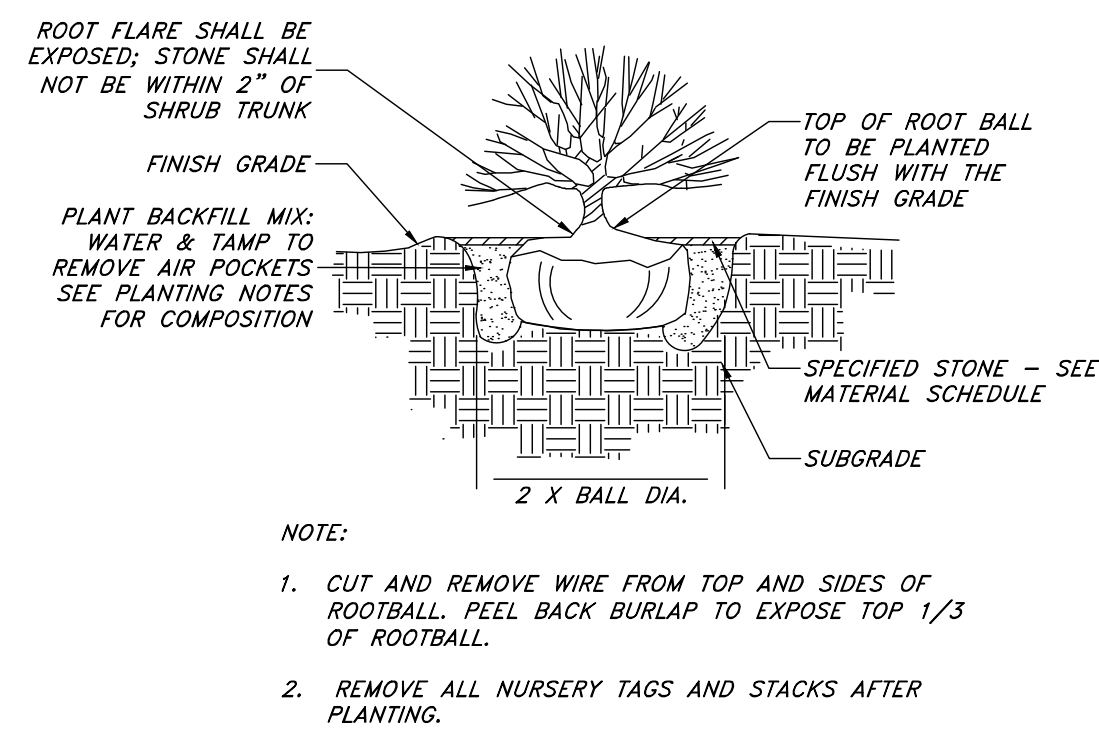
Fiiz Drinks
30 North 400 East Street
Santiquin City, Utah



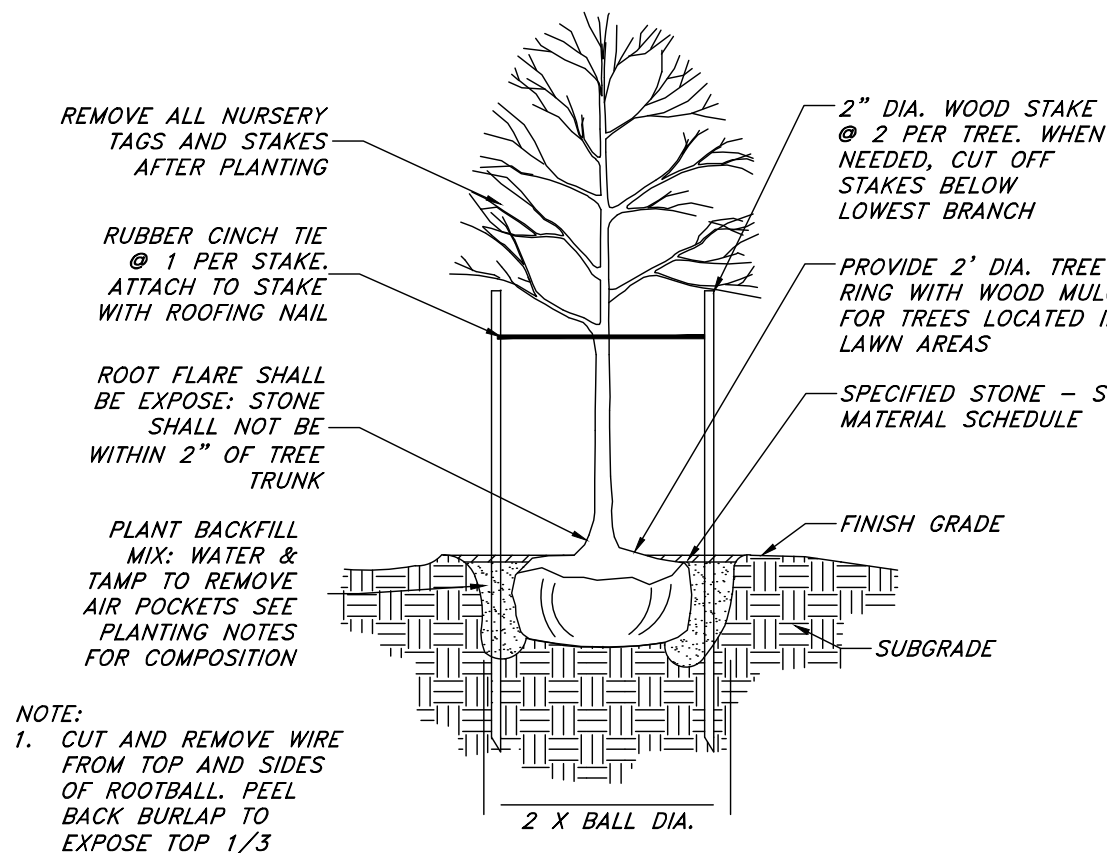
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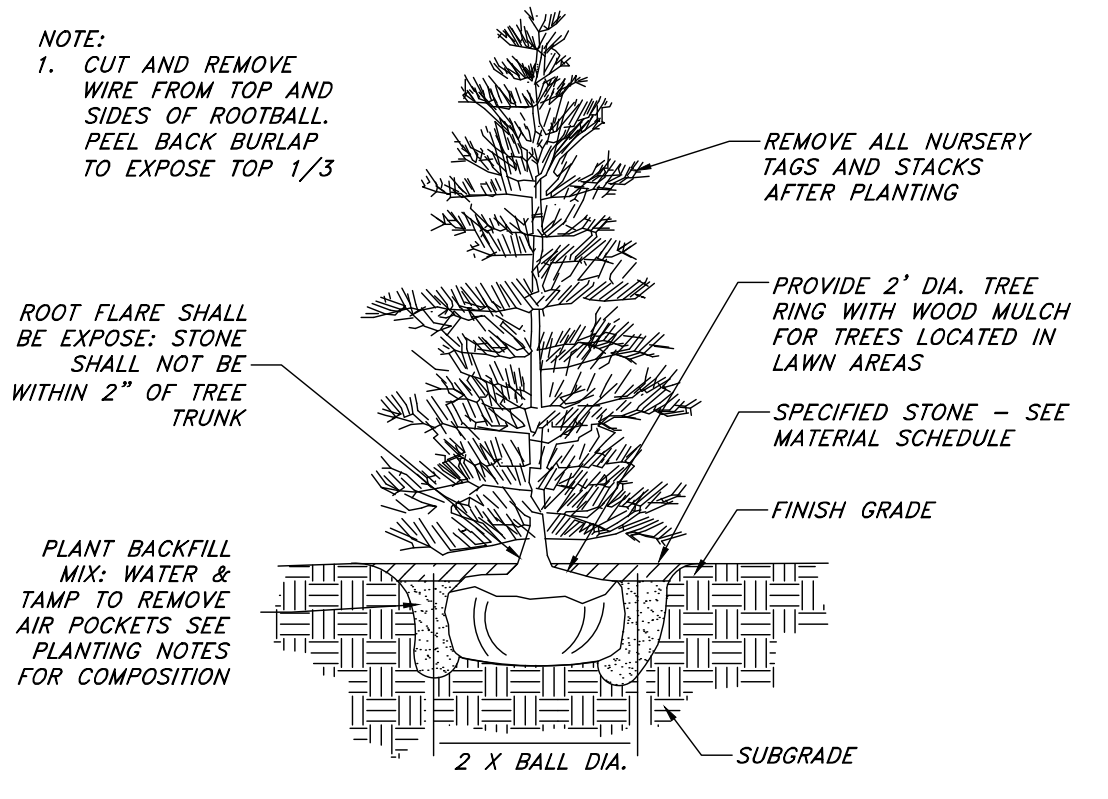
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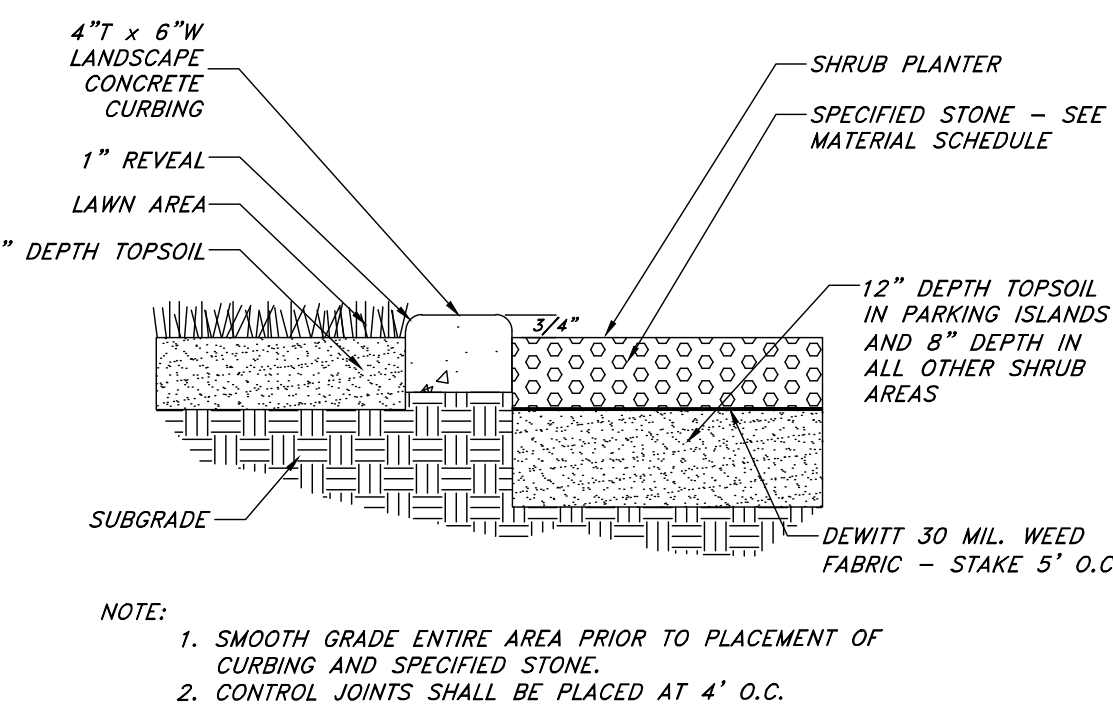
1 **SHRUB PLANTING**
NOT TO SCALE



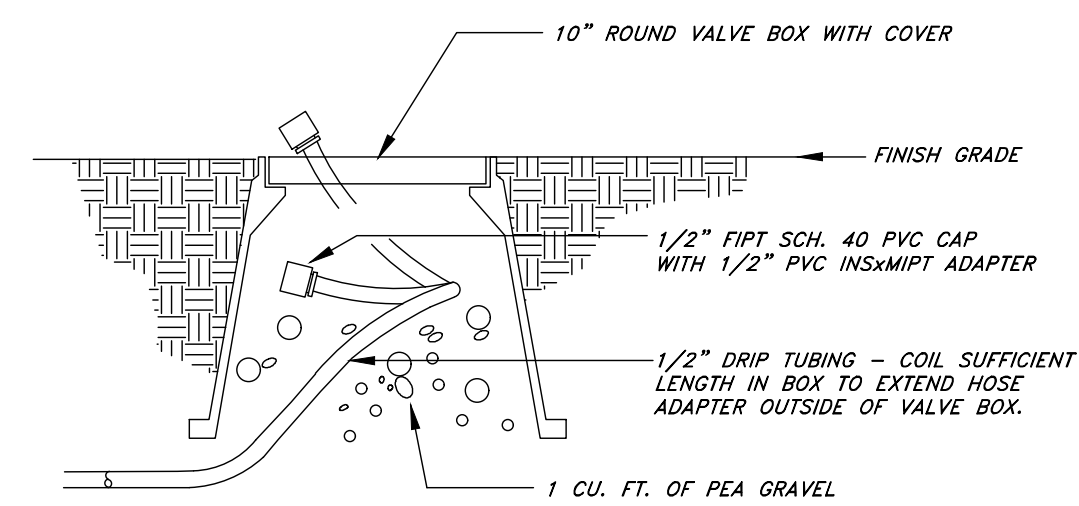
2 **DECIDUOUS TREE PLANTING**
NOT TO SCALE



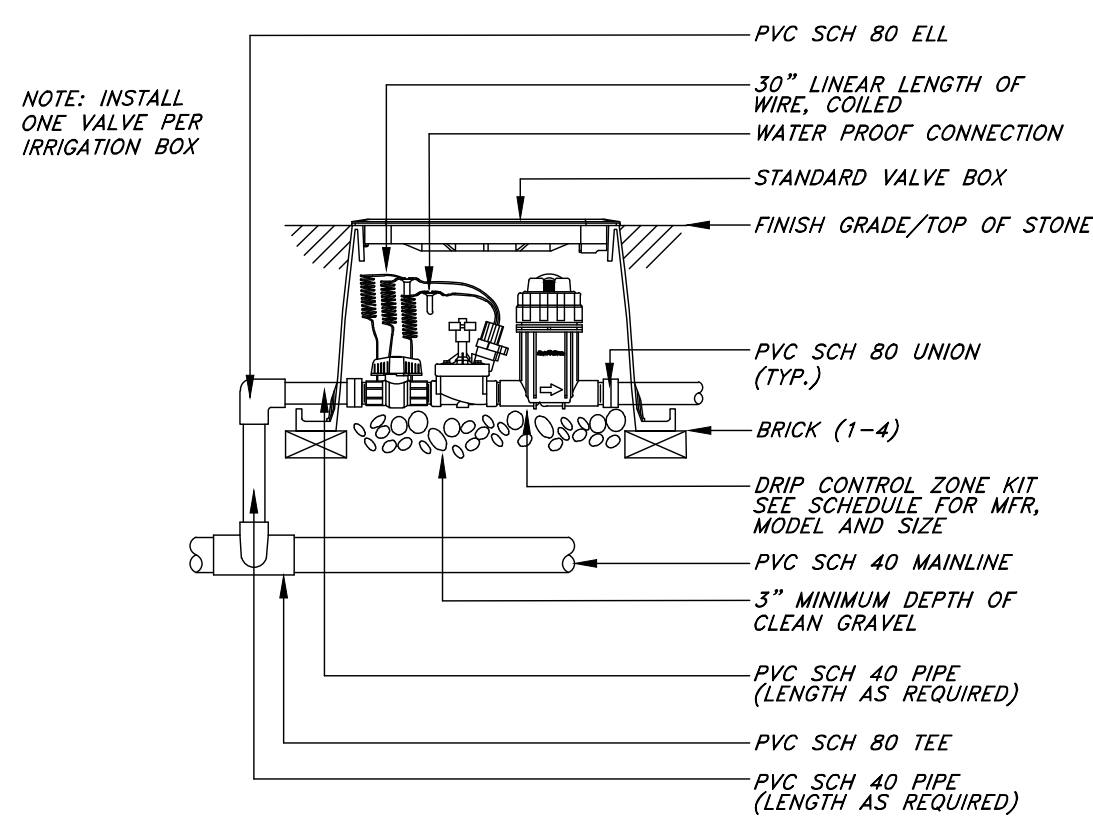
3 **EVERGREEN TREE PLANTING**
NOT TO SCALE



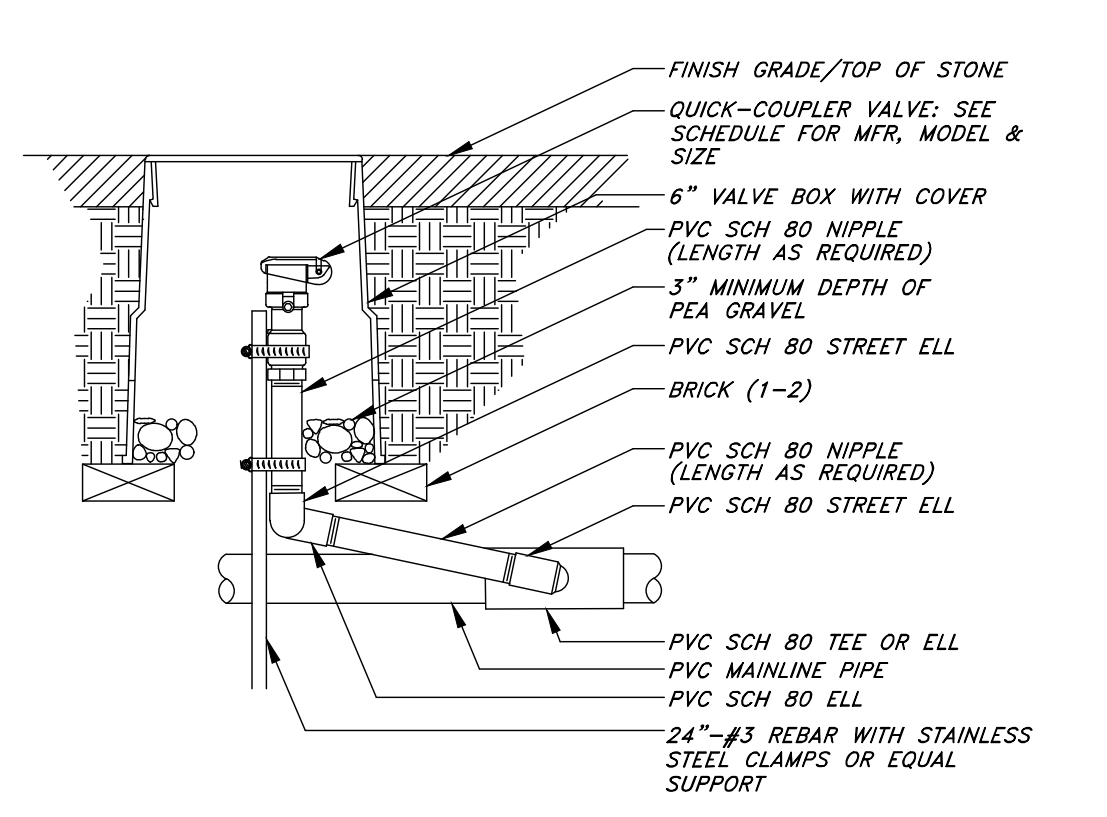
4 **LANDSCAPE CONCRETE CURBING**
NOT TO SCALE



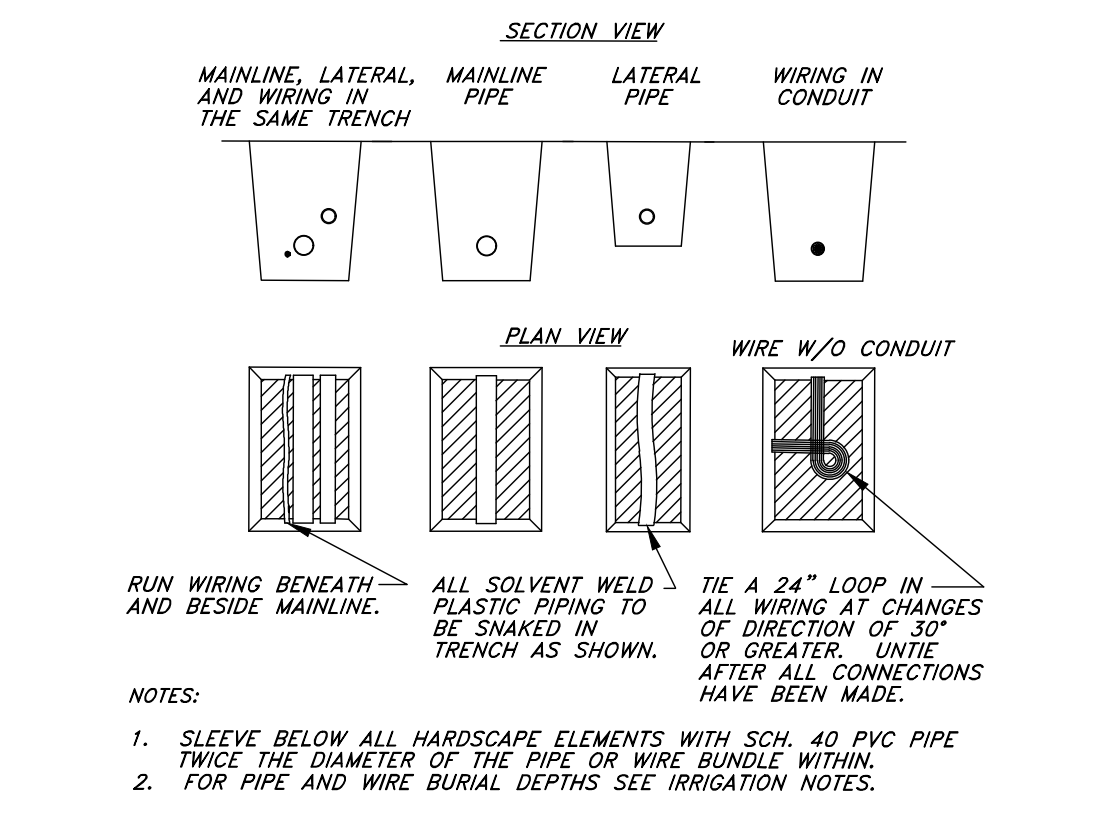
5 **COMPRESSION FLUSH CAP**
NOT TO SCALE



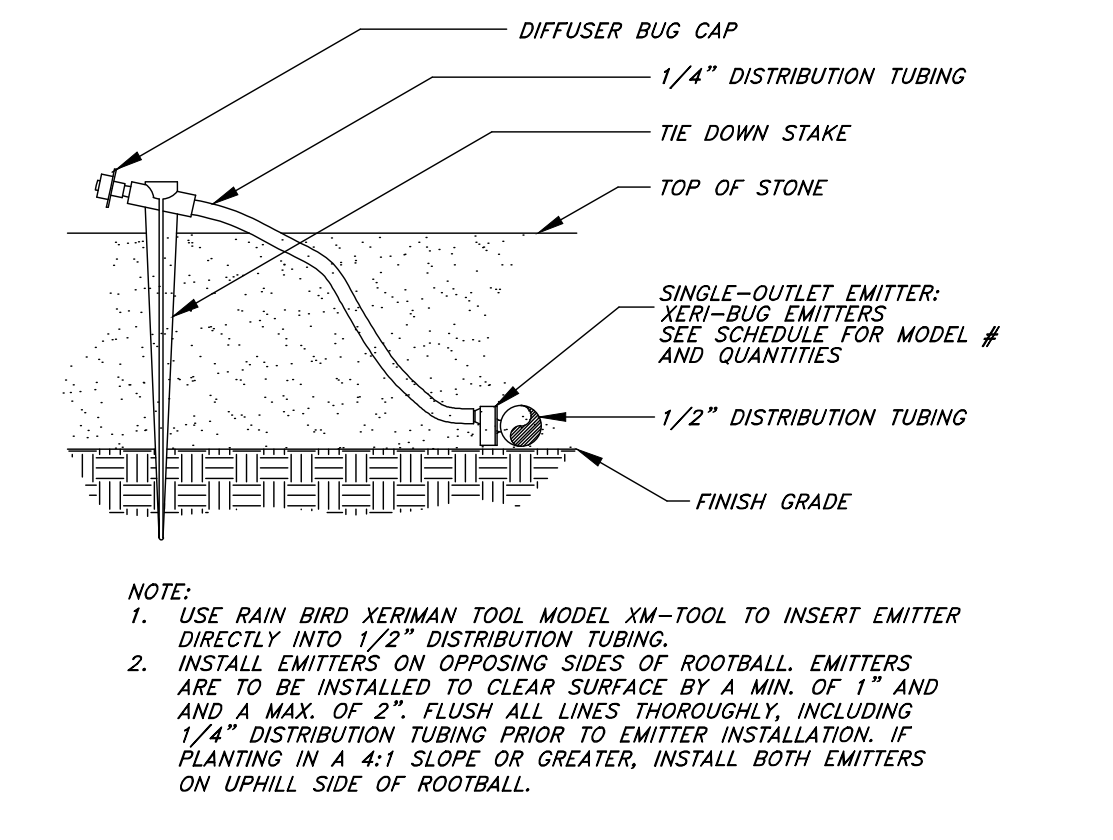
6 **DRIP CONTROL VALVE**
NOT TO SCALE



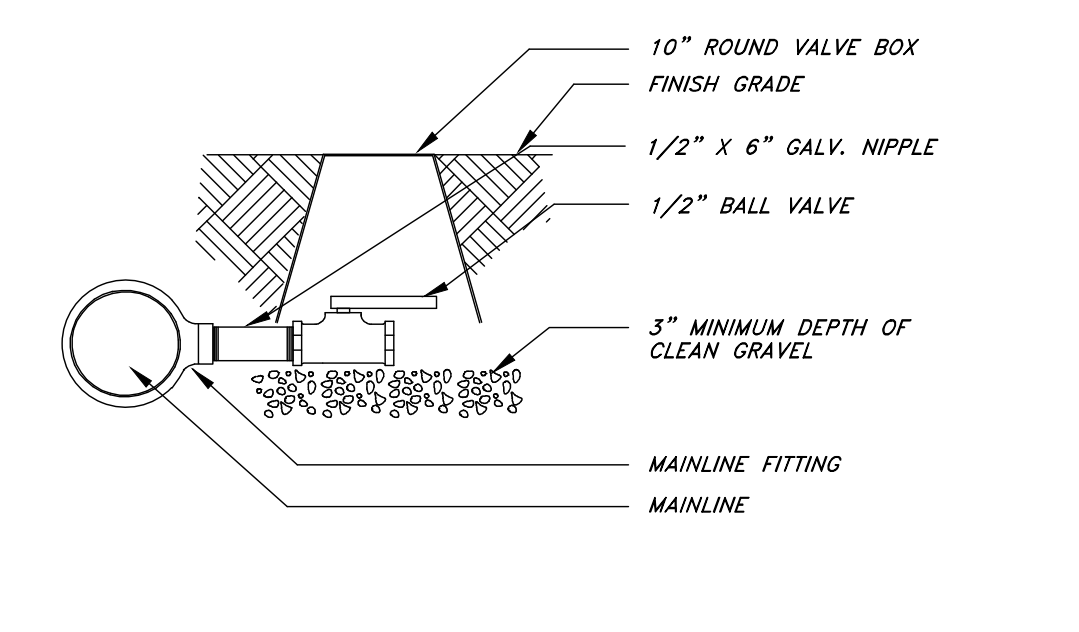
7 **QUICK COUPLING VALVE**
NOT TO SCALE



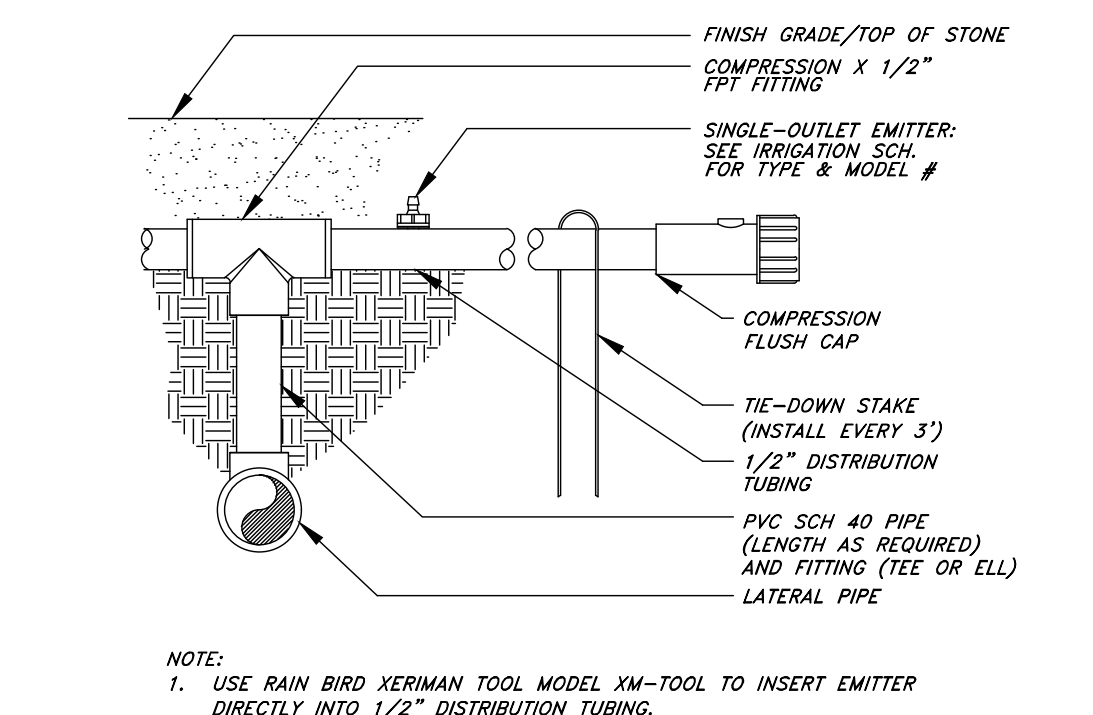
8 **PIPE & WIRE TRENCHING**
NOT TO SCALE



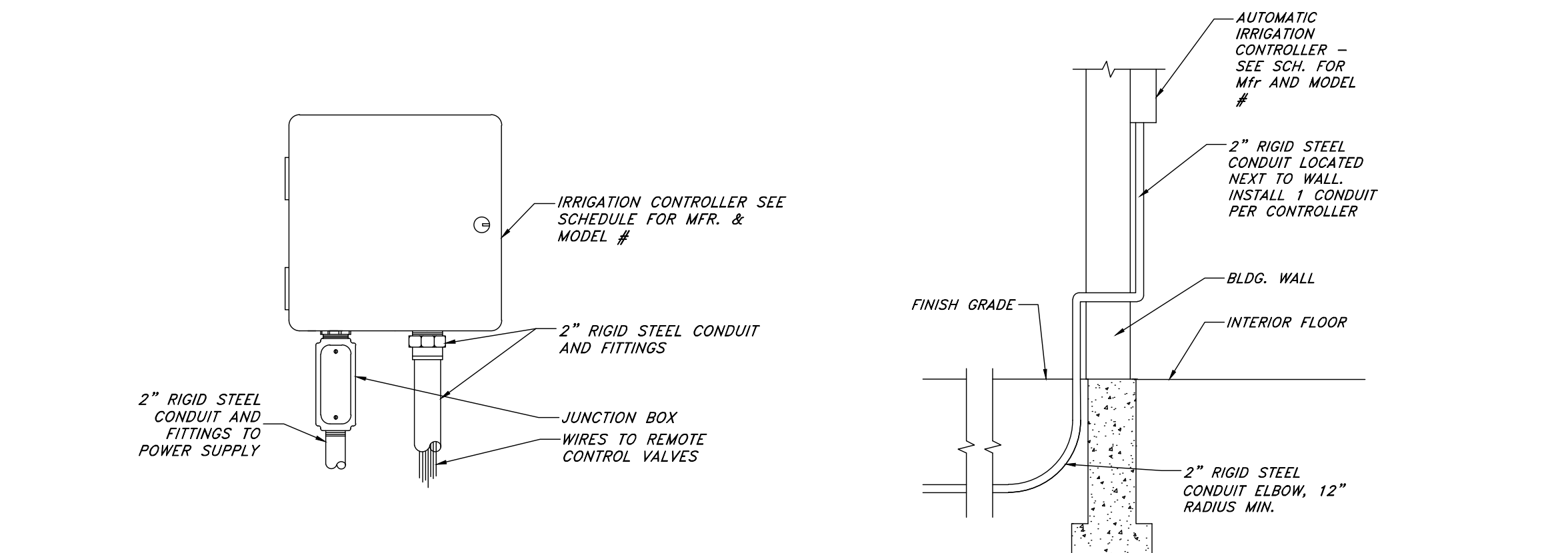
9 **EMITTER INTO DISTRIBUTION TUBE**
NOT TO SCALE



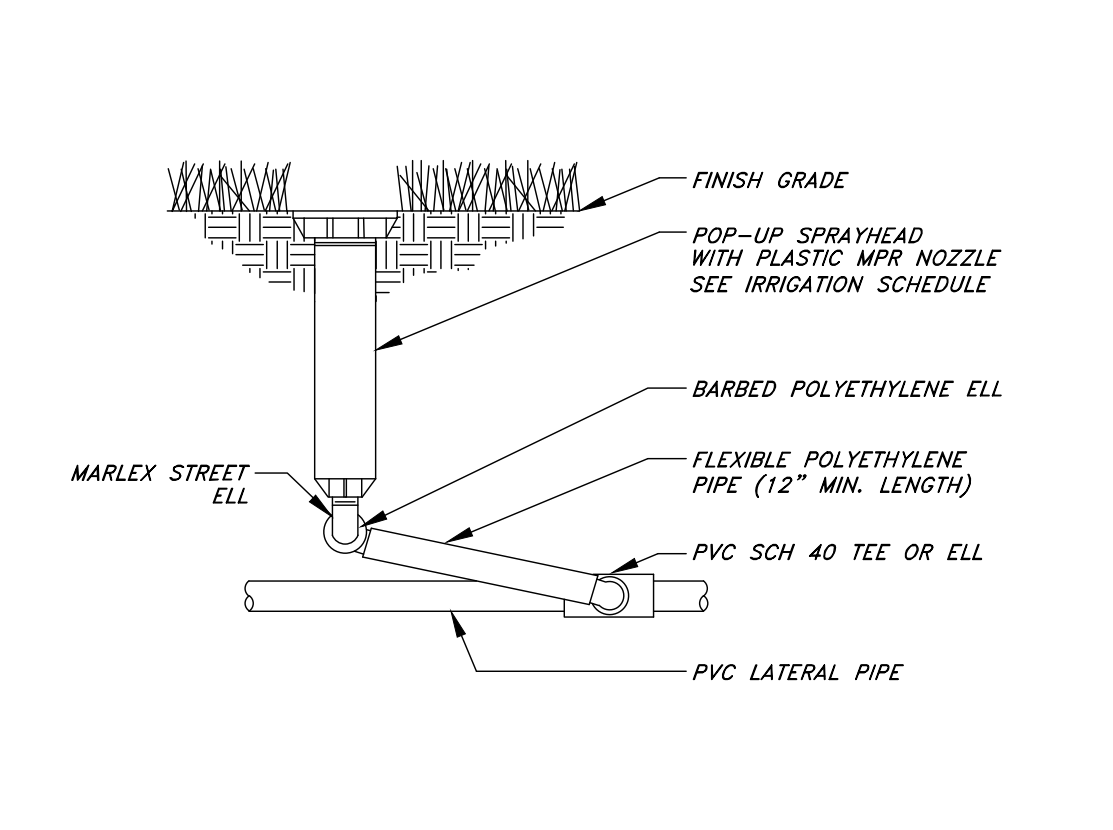
10 **MANUAL DRAIN VALVE**
NOT TO SCALE



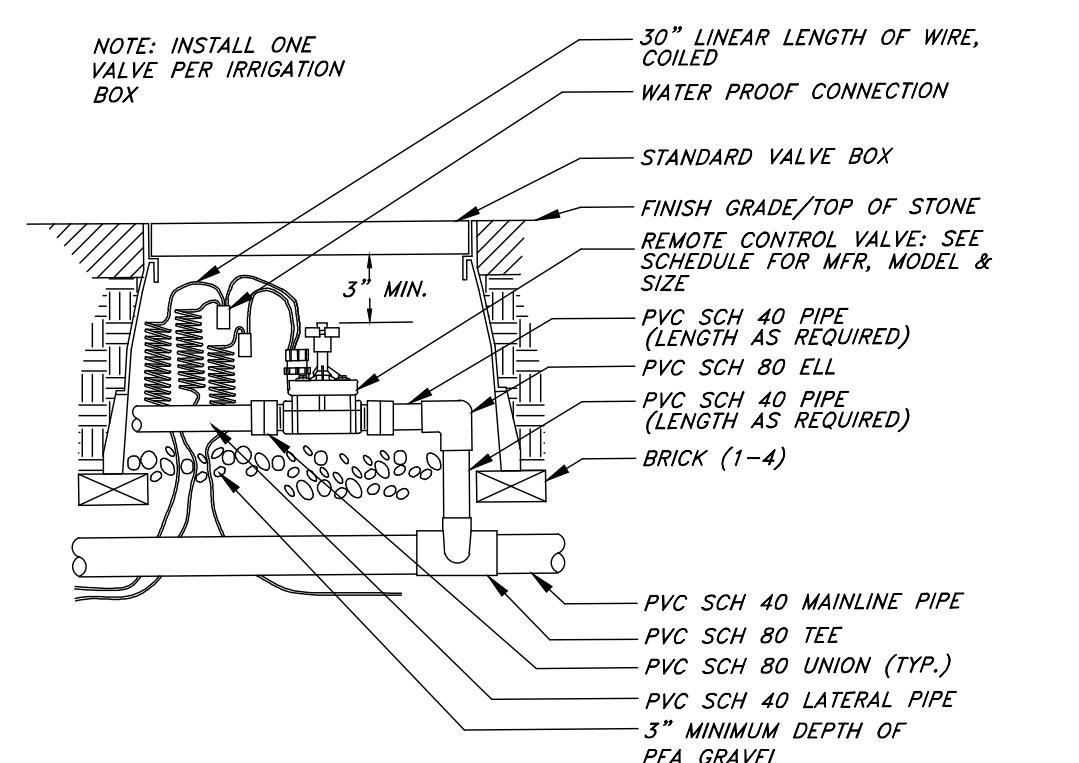
11 **PVC TO POLY PIPE CONNECTION**
NOT TO SCALE



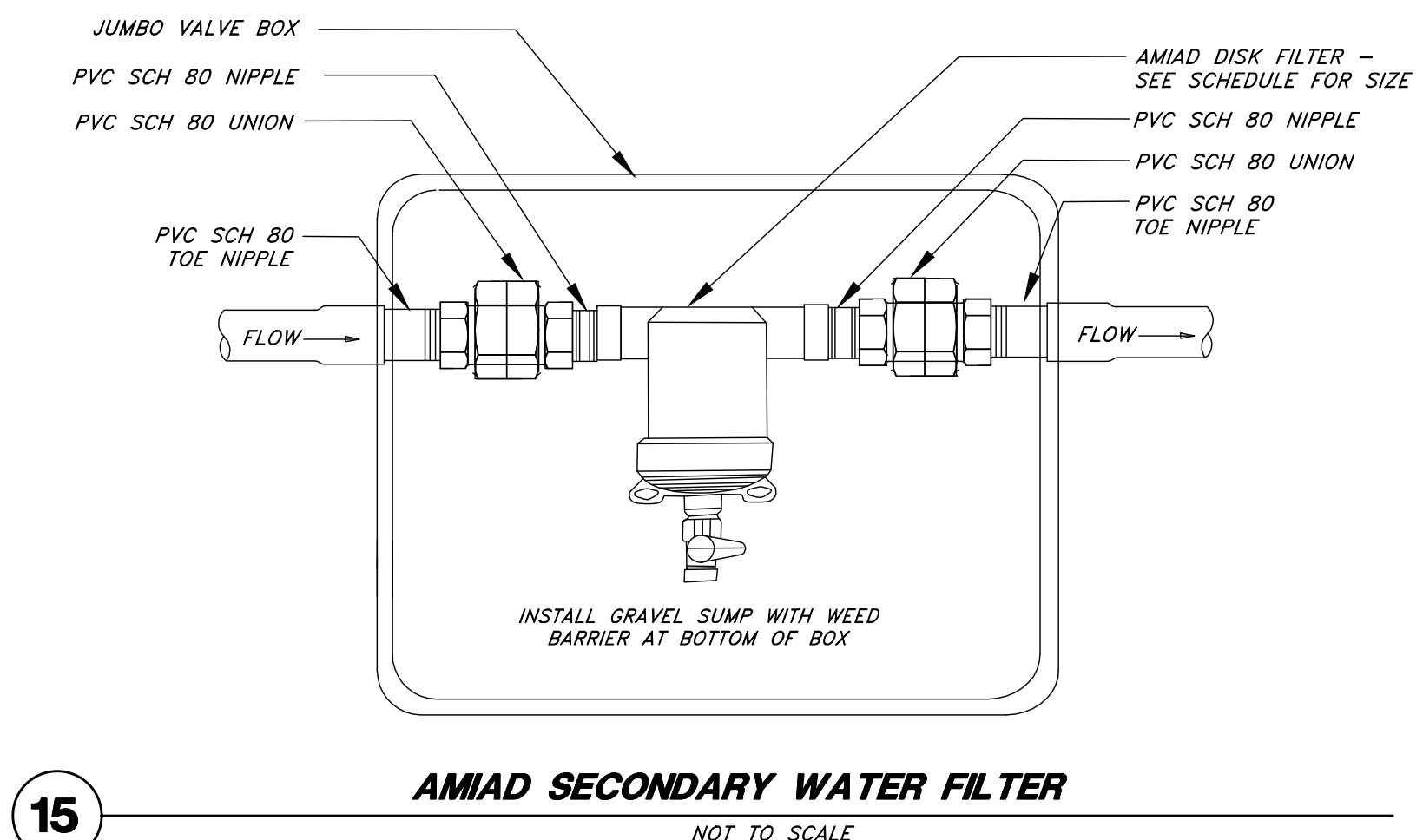
12 **IRR. CONTROLLER - INDOOR WALL MOUNT**
NOT TO SCALE



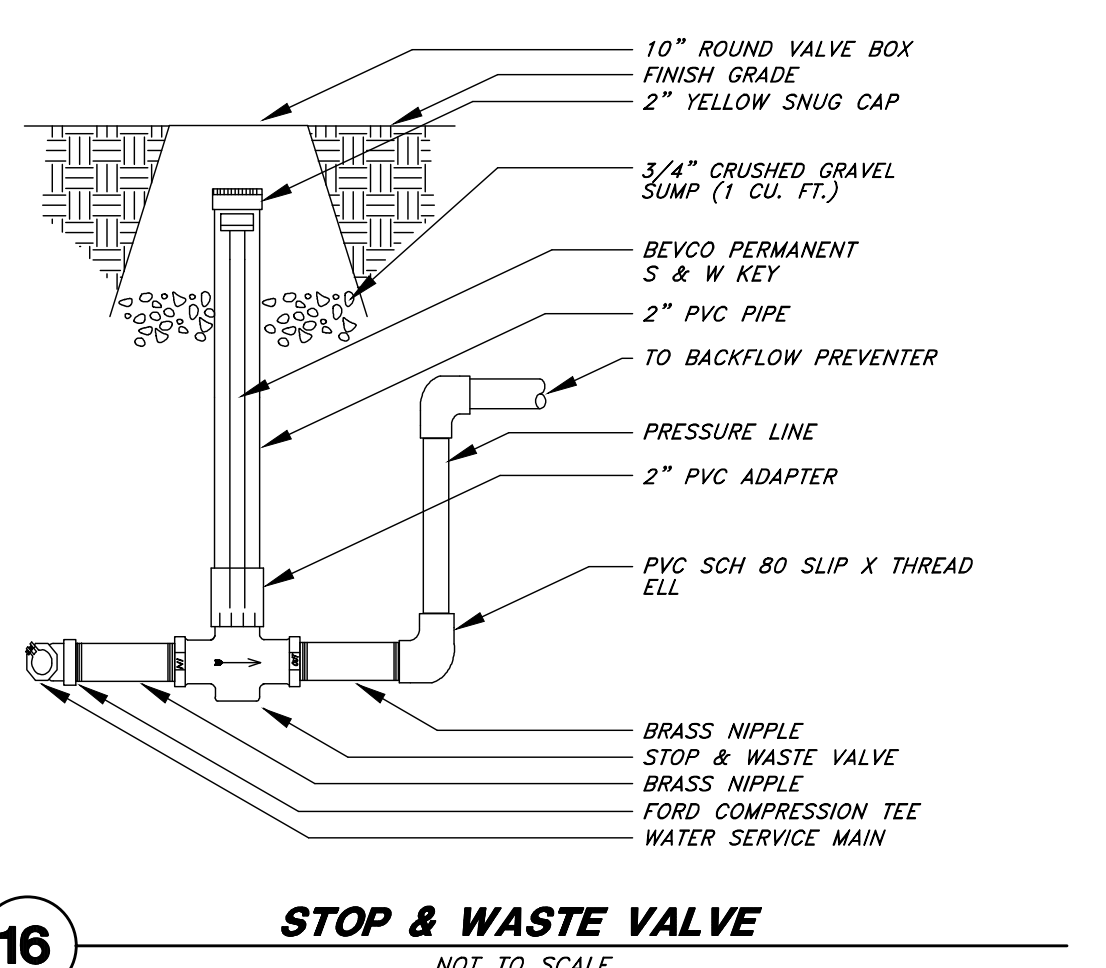
13 **POP-UP SPRAY HEAD**
NOT TO SCALE



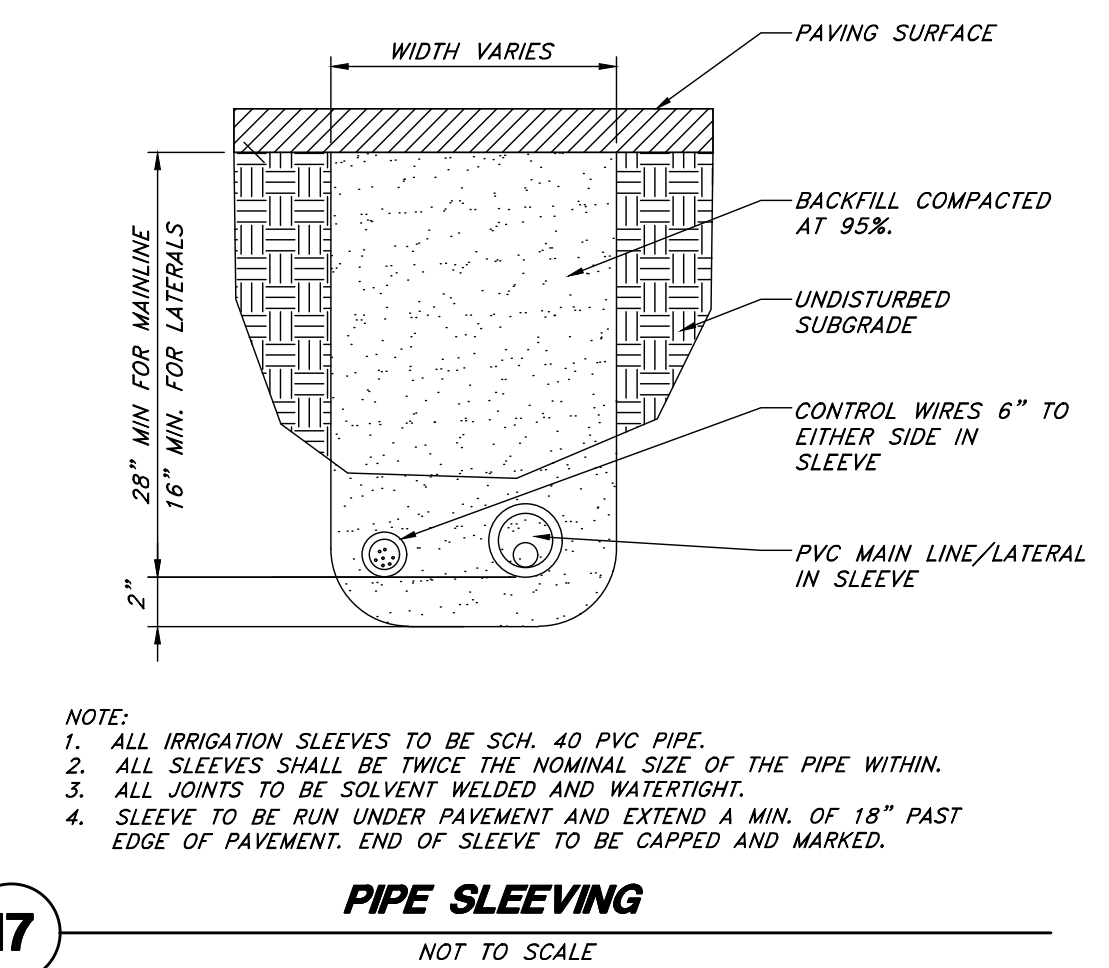
14 **REMOTE CONTROL VALVE**
NOT TO SCALE



15 **AMIAD SECONDARY WATER FILTER**
NOT TO SCALE



16 **STOP & WASTE VALVE**
NOT TO SCALE



17 **PIPE SLEEVEING**
NOT TO SCALE

Designed by: SY
Drafted by: KF
Client Name:
Ridley's
21-003 IR

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awahlen@engineering.net

Landscaping & Irrigation Details
Filz Drinks
30 North 400 East Street
Santiquin City, Utah

State of Utah
Professional Engineer
Jared R. Monsch
No. 7740426-5301
08/19/2021
Professional Landscape Architect

10 Aug, 2021
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Know what's below.
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To whom it may concern:

Subject: Install 4-way stop at 400 south and 100 west

There are three homes at this intersection with children playing in the area. Also, during the school year, there are three school buses that stop near the intersection. People coming to and from Morley Meadows subdivision and the cul-de-sac at the top of the street drive at speeds much faster than the posted 25 mph. When the speed camera was set up on 100 west, I saw speeds well in excess of 35 mph consistently.

With more people walking around the block on the road side, the traffic doesn't even slow down or move over when passing these people. Sometimes the drivers will honk at the people walking with kids on weekends and also work days.

With school starting soon, children will be walking and riding bikes to the grade school, especially with the price of gas right now. As there are no sidewalks in the area, it makes it even more dangerous.

Center street, one block east, is a main road. Also 200 West, one block west, is a main road going out to the red barn and the south exit to the freeway. 100 west is not a main traffic road but a residential street.

For these reasons, I am asking for a four-way stop to be placed at the intersection of 400 south and 100 west for the safety of our children and the people who live on this street.

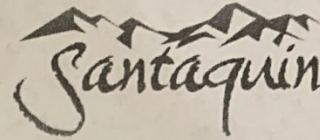
Thank you for your consideration.

Terry Rasmussen
350 South 100 West
Santaquin, Utah 84655
801-369-0502 or 801- 369-0575

Santaquin City Corporation

Request for Traffic Control Device

Community Development Department
275 West Main Street, Santaquin, Utah
(801) 754-1011
www.santaquin.org



Note: This application, in addition to all required information and exhibits, must be turned into the Community Development Department 14 days prior to a regularly scheduled Development Review Committee meeting for it to be on an agenda. All submitted proposals will be reviewed in accordance with Santaquin City Code 6.20.

Meetings: Development Review Committee meetings are held the 2nd and 4th Tuesdays of each month. The meeting is held in the City Offices, located at 275 West Main. Depending on the date of application, the Community Development Department will inform you of the day and time in which your request will be considered by the Development Review Committee.

Applicant Information		
Applicant Name: Shanna Stilson		
Telephone: 801-885-0586	Alternate Telephone:	Email: shannastilson@gmail.com
Requested Traffic Control Device Information		
Address of Proposed Traffic Control Device: 610 N. 200 E (or 710 N or 730 N)		
Type of Traffic Control Device Requested: CROSSWALK, School Zone Signs,		
Description and Justification for the Request		
<p>There is a steady stream of cars before and after school on 200 E. Kids that need to cross 200 E have no safe way of doing so. I have watched multiple times when kids have to jolt across inbetween the stream of cars, nearly getting hit. It is irresponsible of our city, school district (all in charge) to not have a crosswalk, or any signage. PLEASE do something.</p>		
Applicable Exhibits		
Please attach any drawing, map, or other information that can illustrate your request.		



DRC Meeting Minutes

Tuesday, August 10, 2021

DRC Members in Attendance: Building Official Randy Spadafora, Police Chief Rod Hurst, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Community Development Director Jason Bond, Assistant City Manager Norm Beagley and Engineer Jon Lundell.

Others in Attendance: Officer Russ Woodland, City Manager Ben Reeves, Operations Manager Dennis Marker, Staff Planner Ryan Harris.

Pete Evans representing Flagship Homes.

Steve Larsen attending via zoom, Ken Berg and Scott Larsen representing the Grey Cliffs Subdivision.

Brad Gilson (Attending Via Zoom) representing the Summit Ridge Commercial Subdivision.

John Caldwell with Revere Homes and Kyle Spencer with Northern Engineering Representing the Orchards F-6 Subdivision.

Mr. Lundell called the meeting to order at 10:00 a.m.

Santaquin Estates Subdivision Concept Review

A concept review of a proposed 86-lot subdivision located at approximately Main Street and 900 E. A zone change will be discussed during this review.

Mr. Lundell explained that this subdivision proposal includes commercial lots as well as residential lots. R-10 sized lots as well as PUD sized lots associated with this plan.

Building Official: Mr. Spadafora asked if there are existing contours to know how steep the roads will be. Mr. Lundell stated that they have potential contours, but they have not provided final grading.

Police: Chief Hurst asked why the extension of 900 East is designed as a curve and not a T? Mr. Lundell explained that exit 240 is tight with the current traffic flow. UDOT is looking at proposing some solutions to solve that. One issue UDOT has identified is how close the intersection of SR 198 and Highland Drive is. This proposal is one solution that has been discussed with UDOT; to shift the existing roads and help move traffic away from the freeway entrance. Chief Hurst pointed out that there would be limited street parking for any of the units because of the curve.

Public Works: Mr. Callaway stated that he likes the way this proposal improves the connectivity on the bench. He thinks this would help alleviate traffic concerns on 900 E.

Planning and Zoning: Mr. Bond expressed concern with the lots fronting Main Street. He indicated that staff has talked to the developer about providing a better lot configuration on the southeast corner of Main Street. He noted that there is a need for a storm drain retention within the development and that corner maybe a good location for it. Mr. Bond pointed out that there is currently no guest parking

DRC Meeting Minutes
August 10, 2021
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shown for the townhome units. The garages can be counted as two stalls if they are 24 feet by 24 feet in dimension.

Mr. Bond noted that the current phasing plan splits up the development into phase 1 which includes R-10 standard sized lots and phase 2 would require a rezone to a PUD. He explained that a PUD doesn't come in to affect until a development agreement is approved by the city council. Mr. Bond suggested that the proposed phases be done as two separate projects rather than two phases. He also asked the developer to mitigate some of the impacts that this development would create by making a truck route to avoid heavy equipment moving through the adjacent neighborhoods. Mr. Pete Evans answered that they typically come up with an internal phasing plan to separate construction traffic from existing homes. He expressed concern with proposing this development as two different projects due to the perception of density. He recognized the value of realigning the Frontage Road for the city. He stated that having two projects, one that matches the zoning and the other which doesn't, could cause the perception that the density looks higher as a separate project.

Administration: Mr. Beagley noted that there is a misconception by the public that only a sliver of land is needed for a planned debris basin in the area. The planned debris basin may utilize the area proposed to be dedicated to the city as part of a potential PUD. He clarified that it is unknown how much of this piece is needed for the debris basin. He stated that whatever amount is needed it will likely render the rest of the one and half acres of that property undevelopable for homes. The city could potentially acquire roughly 4.7 acres from the developer between the need for property for the debris basin, the Frontage Road Realignment, and 900 East (being a wider width than a normally required local road). This could either be acquired through a purchase by the city or through a PUD designation/negotiation.

Engineering: Mr. Lundell stated that some of the proposed lots that abut the standard R-10 zoning are not shown as the appropriate sizes. The homes that have dual frontage on 900 East may not have a driveway access onto 900 East. He communicated that written approval will be required for the power line easements from Rocky Mountain Power. Mr. Lundell indicated that the trail layout would need to be shown as plans move forward. He expressed concern regarding lot 18 not having enough buildable space due to the power line easement and lack of frontage on the secondary side of the lot. He also noted there is a waterline pressure break between pressure zones in the area and stated that PRV's would be required. Mr. Beagley brought up the potential for waterline looping from 900 E. to Main Street.

Mr. Bond thanked Flagship Homes for taking a step back and considering the Frontage Road Re-Alignment as this information was recently received from UDOT.

No comments from Fire.

No action taken as this is just a concept review to provide comments/feedback to the developer.

Grey Cliffs Subdivision Concept Review

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A concept review of a proposed 217-lot residential subdivision with approximately 25.99 acres of commercial space; located east of State Road 198 and approximately 600 N. A zone change will be discussed during this review.

Police: Chief Hurst asked if these streets will be collector streets? Mr. Lundell answered that it's proposed that Grey Cliff's Drive (the main road through the development) will be a collector sized road, the others will be standard local road widths. Mr. Berg added that High Bluff Street to Grey Cliffs Drive, and Abundance Ave will also collector street sized. He noted that there will be a wide pedestrian path along Grey Cliffs Drive as well. Mr. Lundell explained that the road widths will be provided with the preliminary plan.

Public Works: Mr. Callaway noted the different pressure zones, and the need for boosters and potential lift stations. He stated that he is excited to see how they address these issues.

Fire: Chief Lind explained that the some of the lots will be in a Wild Land Urban Interface (WLUI), He expects it to include any lots east of High Bluff Street. These lots would have to meet certain fire-resistant construction standards and or have fire sprinklers. He indicated that they would work with the developer regarding these requirements.

Planning and Zoning: Mr. Bond suggested that there be collector roads connecting to Grey Cliffs Drive on either side. He noted that some of the lots have double frontage and asked that the access of those lots be provided on the minor street. He asked that this information be added onto a plat note as well. Mr. Bond explained that it is anticipated that an amendment will be made to the development agreement. It is also expected that the developer will dedicate part of the mountain area to the City for natural open space as well as improving some mountain biking trails. Mr. Bond added that the zoning would need to be worked out as part of the development agreement.

Administration: Mr. Beagley explained that written approval will be required from UDOT prior to the City granting final approval. Specifically, for the turn lanes, into the subdivision. Mr. Berg answered that they still need to finalize the details with the traffic study, but they have been working with UDOT. Chief Hurst noted that his main concern is the entrance to the north of the subdivision because of the hill.

Engineering: Mr. Lundell reiterated that the developer needs to ensure that the double frontage lots have appropriate noting on the plats and clear labeling. He explained that city code requires perimeter fencing for developments that abut agricultural uses. He added that the items identified in the geologic hazard investigation must be addressed. Mr. Lundell indicated that a debris basin may be needed to protect the homes. He noted that a fault line runs through the development, because of this a proposal will be needed regarding how the waterlines will be built to better withstand an earthquake. He noted that there is water dedication requirement required for all subdivisions. Mr. Lundell clarified that this subdivision is within a hillside overlay zone and that city code will need to be followed regarding this.

Mr. Bond asked that the developer provide more information regarding what would be allowed within the conservation easement. Mr. Lundell pointed out that it is the City's understanding that a large portion of the northwest area of the development will need a sewer lift station that would serve that

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portion of the development. He added that there are a few roads which exceed the maximum road length for a dead-end road. He clarified that dead end roads can be a maximum of 500 feet, with maximum of 750-foot that would require approval from the City Council. Mr. Lundell indicated that an easement would need to be worked out with the property owner to the east of the development. He added that the widths of the lots need to have the appropriate frontages for the zone.

No comments from Building Official.

No action taken as this is just a concept review to provide comments/feedback to the developer.

Cedar Point Plat F at Summit Ridge Concept Review

A concept review of a proposed 2-lot Subdivision located at 1371 West Cedar Pass Drive.

Mr. Bond explained that lot number one has an existing home on it. A boundary line agreement will be needed on the south property line to give the applicant the frontage needed for their proposed two lots.

Building Official: Mr. Spadafora asked if the lots meet the required frontage? Mr. Lundell confirmed that they are meeting the 80-foot requirement for the City's R-10 land use regulations.

Public Works: Mr. Callaway asked if since the utilities are stubbed for only one lot, additional utility services would need to be provided for the new lot. Mr. Beagley explained that since this is concept it is unknown at this point how many road cuts would be needed, but that each lot would need to have their own separate utility connections.

Planning and Zoning: Mr. Bond stated that the Summit Ridge Development agreement expired last year so this proposal is subject to the R-10 regulations. He asked that the applicant coordinate with the HOA.

Engineering: Mr. Lundell explained that a note needs to be added onto the plat, stating that this is an agricultural community. He added that full separate utility laterals will be required for each lot in the appropriate location.

No comments from Police, Fire and Administration.

No action taken as this is just a concept review to provide comments/feedback to the developer.

Summit Ridge Commercial Subdivision Preliminary Review

A preliminary review of a proposed 8-lot commercial subdivision located South of the intersection of Summit Ridge Parkway and South Ridge Farms Road.

Building Official: Mr. Spadafora indicated that he will provide the addressing for this development.

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Police: Chief Hurst asked if there will be traffic control signs? Mr. Lundell answered that they have not shown locations yet. Mr. Gilson indicated that they should be shown on subsequent sheets.

Fire: Chief Lind explained that since this is a commercial subdivision the hydrants need to be spaced every 300 feet (rather than 500 feet). He noted that currently hydrants sit on the south side of Summit Ridge Parkway or the east side of the Mona Road. He suggested that the developer move every other hydrant on the opposite side of the road. So, all the hydrants aren't located off major roads which would be closed in the event of a fire. Chief Lind added that the hydrants need to be looped so there are no dead-end hydrants. Mr. Gilson stated that the hydrant spacing on the plans is now 300-foot.

Administration: Mr. Beagley asked that the additional hydrants they are adding to meet the 300-foot requirement be shown on the west side of Highway 191 and the south side of Summit Ridge Parkway. Mr. Gilson stated that that can be done.

Engineering: Mr. Lundell pointed out that there is an existing storm water retention basin on lot H. He explained that the storm drain volume that is already existing needs to be taken into consideration and preserved. Mr. Beagley explained that there has been some discussion with the developer regarding underground retention in which the city could possibly participate, through impact fees. He asked that this is noted on the plans.

Mr. Lundell indicated that the proposed phasing is unclear, he asked that clarification be provided on how the subdivision, particularly the roadway improvements will be phased. Mr. Gilson asked what improvements would be required for lot A? Mr. Beagley stated that it is anticipated that everything adjacent of lot A be improved as well as any accesses to the lot. Mr. Bond suggested that the more infrastructure that can be put in at once the better to avoid a piece meal road.

Mr. Lundell indicated that the storm drain report is needed to verify that the existing retention is adequate for the extension of highway 191, etc. He informed the developer that the minimum pipe size for a P.I. line is 6 inches. He explained that the waterline that extends along lot D exceeds the 500-foot maximum allowed in code. He added that if the developer would like to have it extend to the 750-foot maximum it would need approved by the City Council. Mr. Gilson asked if the waterline could be stubbed down the frontage of lot D? Mr. Beagley noted that the waterline could extend to the southern border of lot D, it doesn't have to go down the road. Mr. Lundell noted that all the utilities need to be stubbed to all lots. He explained that the valve cluster for P.I. needs to extend to the property lines, per Santaquin City Standards. Mr. Lundell added that a written legal description will be required for the waterline easements.

Mr. Callaway asked if high mountain runoff water comes through near the Ahlin pond, if it would extend to the lots east of Mona Road. Mr. Beagley explained that there is a culvert in that area and water was seen there in 2019 entering approximately onto lot A. He added that the property owner is aware of this situation, and plan provisions are being made accordingly. Mr. Beagley explained that NRCS is looking at the reconstructing the debris basin at the mouth of Santaquin Canyon that would alleviate this issue, but timing for such is a long way out.

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No comments from Planning and Zoning and Public Works.

Motion: Mr. Beagley motioned to recommend Preliminary approval of the Santaquin Commercial Subdivision with the condition that the redlines be addressed prior to moving forward to Planning Commission. Mr. Spadafora seconded. The motion passed unanimously in the affirmative.

Orchards F-6 Final Plat Review

A final review of a proposed 7-lot subdivision located at approximately Ginger Gold Road and 260 W.

John Caldwell with Revere Homes, Kyle Spencer with Northern Engineering Representing Orchards F-6.

Mr. Lundell outlined that this is within the Orchards Development on the North end of town.

Building Official: Mr. Spadafora indicated that he has assigned addressing to match the grid which will be included on redlines.

Police: Chief Hurst asked for confirmation that these are public roads. Mr. Lundell confirmed that both Ginger Gold Road and 260 West are public roads.

Public Works: Mr. Callaway asked if Ginger Gold Road will tie into the existing portion of the road? Mr. Lundell answered that there will be a gap, until the subdivision to the east is Constructed. Mr. Bond noted that the developer is currently working on that development area also.

Engineering: Mr. Lundell explained that Orchards F-5 has been approved and is under construction. He added that there is a modification between the lot boundary of Orchards F-5 and F-6 which needs to be updated on both plats prior to recordation. He noted that an additional plat note will be required stating that Santaquin is an agricultural community that supports agriculture. Mr. Lundell explained that the culinary water line and P.I. are shown reversed from City Standards and needs to be updated. He noted that city records show different locations of the existing culinary and P.I. water lines from what is shown. He offered to provide GIS data if needed, upon request.

Mr. Beagley explained that the trail needs to tie in closer to the railroad tracks and meet the existing asphalt trail and still show pedestrian access to the south. Mr. Lundell explained that a P.I. drain will be needed at the dead end of Ginger Gold Road since it won't be continued until later. He asked that the streetlights and signage be shown on the plans. Mr. Callaway pointed out that the sewer Force Main is in this area as well. Mr. Lundell indicated that staff will provide the developer with GIS data so existing utilities can be shown on the plans. He explained that the developer will need to provide a method to control the storm drainage at the dead-end road to keep the curb from washing out. He clarified that RCP pipe is not required by City code. Mr. Lundell explained that a storm drain report is required, showing that the additional storm water generated by this subdivision can be handled by the existing facilities to the east. He added that all curb inlets need a 3-foot sump.

No comments from Fire, Planning and Zoning and Administration.

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Motion: Mr. Bond motioned to approve the final plat for Orchards F-6 with the condition that all engineering redlines be addressed. And that the developer work with staff regarding the trail alignment from the corner of the intersection to the southwest of the development. Mr. Callaway seconded. The motion passed unanimously in the affirmative.

MEETING MINUTES APPROVAL

July 27, 2021

Motion: Mr. Beagley motioned to approve the DRC meeting minutes from July 27, 2021. Chief Lind seconded. The motion passed unanimously in the affirmative.

ADJOURNMENT

Mr. Bond motioned to adjourn at 11:32 a.m.

Jon Lundell, City Engineer

Kira Petersen, Deputy Recorder