



DEVELOPMENT REVIEW COMMITTEE

Tuesday, June 24, 2025, at 10:00 AM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. **Mountain America Credit Union Commercial Site Plan**

A review of a commercial site plan located at approximately 209 E. Main Street.

2. **Tanner Flats Phase 3 Final Plan**

A final plan review for phase 3 of the Tanner Flats subdivision located approximately east of Summit Ridge Parkway between S. Stone Brook Lane and S. Cedar Pass Drive.

MEETING MINUTES APPROVAL

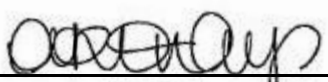
3. **June 10, 2025**

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

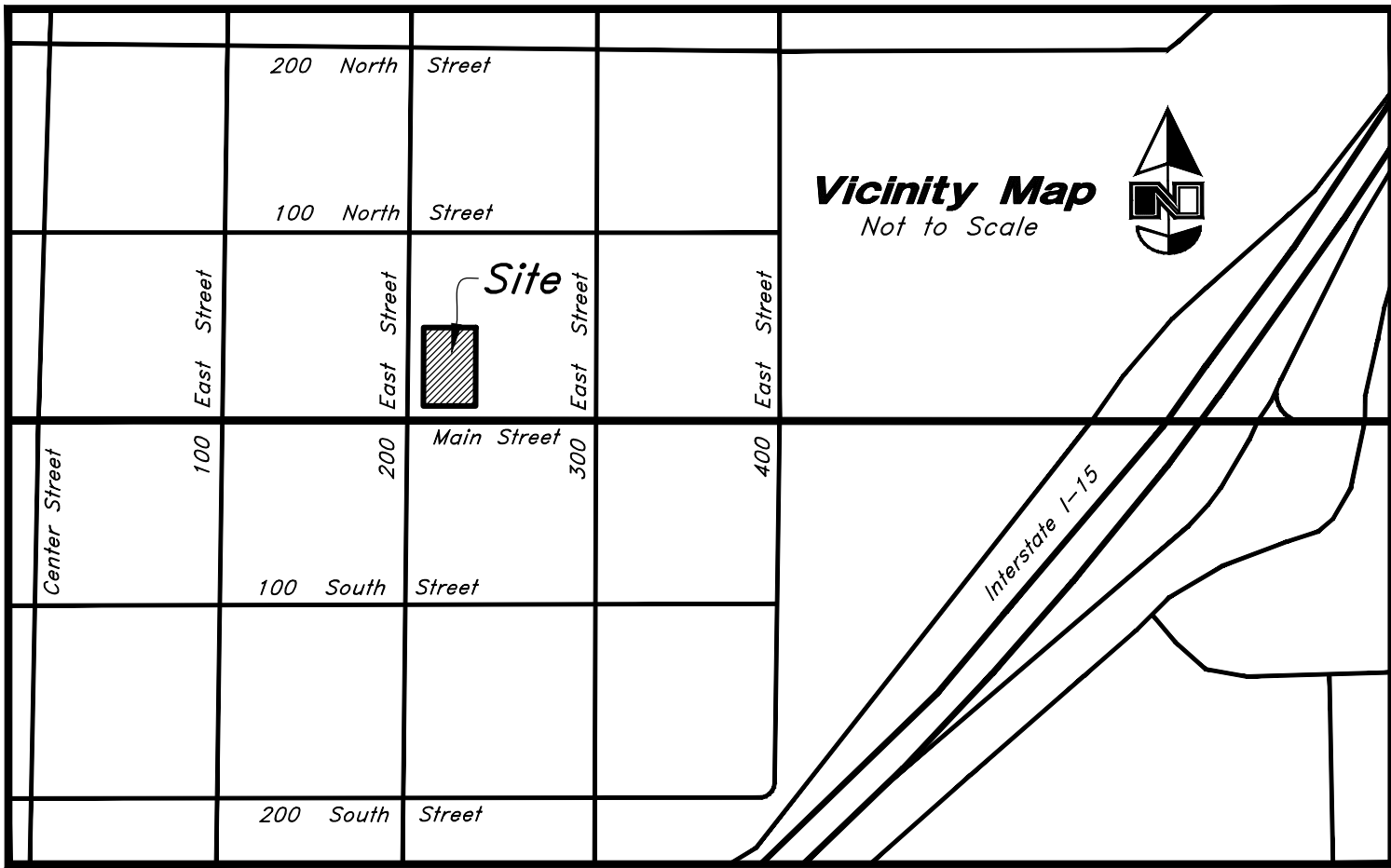
The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:


Amalie R. Ottley, City Recorder

MACU Santaquin

209 East Main Street
Santaquin, Utah County, Utah



Vicinity Map
Not to Scale

Abbreviations

BCR	Begin Curb Return	PP	Power Pole
BOL	Bollard	PT	Point of Tangency
BRW	Finish Grade - Bottom of Retaining Wall	PVC	Polyvinyl Chloride
CATV	Cable Television Box	PVI	Point of Vertical Intersection
CB	Catch Basin	RCP	Reinforced Concrete Pipe
CMP	Corrugated Metal Pipe	RD	Roof Drain
COB	Cleanout Box	SB	Signal Box
COTG	Cleanout to Grade	SD	Storm Drain
EA	Edge of Asphalt	SDMH	Storm Drain Manhole
EB	Electrical Box	SMH	Sewer Manhole
EC	End of Curve	SP	Signal Pole
ECR	End Curb Return	SS	Sanitary Sewer
FF	Finished Floor	SVZ	Sight Visibility Zone
g	Ground	SW	Secondary Water
GB	Grade Break	TA	Top of Asphalt
GM	Gas Meter	TB	Telephone Box
HB	Hose Bib	TBC	Top Back of Curb
HP	High Point	TG	Top of Grate
I	Irrigation Line	TMH	Telephone Manhole
ICB	Irrigation Control Box	TP	Top of Concrete
Lip	Lip of Gutter	TRW	Finish Grade - Top of Retaining Wall
LP	Light Pole	TW	Top of Walk
MH	Manhole	VC	Vertical Curve
Mon	Monument	VPC	Vertical Point of Curve
PC	Point of Curvature	VPT	Vertical Point of Tangency
PCC	Point of Compound Curvature	WL	Waterline
PI	Point of Intersection	WP	Working Point
PM	Power Meter	WV	Water Valve

Civil Sheet Index

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1	ALTA Survey
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C1.1	Site Plan
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C3.1	Utility Plan
C3.2	Improvement Plan
C4.1	Details
C4.2	Details
C5.1	Erosion Control Plan Phase 1
C5.2	Erosion Control Plan Phase 2
L1.1	Landscape Plan
L2.1	Irrigation Plan
L3.1	Landscape & Irrigation Details

Legend

Proposed Curb & Gutter	Existing Improvements	Existing Deciduous Tree
Proposed Open Face C & G	Existing Asphalt	Existing Coniferous Tree
Proposed Asphalt	Existing Concrete	Detail Number
Proposed Concrete	Existing Inlet Box	Sheet Number
Proposed Truncated Domes	Existing Catch Basin	
Proposed Inlet Box	Existing Manhole	
Proposed Catch Basin	Existing Fire Hydrant	
Proposed Manhole	Existing Water Valve	
Proposed Transformer	Existing Overhead Power Line	
Proposed Meter Box	Existing Water	
Proposed Water Meter	Existing Secondary Water	
Proposed Combo Box	Existing Sewer	
Proposed Fire Hydrant	Existing Storm Drain	
Proposed Water Valve	Existing Gas	
Proposed Water Line	Existing Power	
Proposed Sanitary Sewer	Existing Telephone	
Proposed Storm Drain	Existing Fiber Optic	
Proposed Conduit Line	Existing Fence	
Proposed Power Line	Flowline	
Proposed Gas Line	Centerline	
Proposed Fire Line	Existing Contour	
Proposed Fiber Optic	Existing Spot	
Proposed Secondary Water Line	Existing Light Pole	
Proposed Roof Drain	Existing Street Light	
Proposed Fence	Existing Building	
Ridge line	Existing Telephone Box	
Grade Break	Existing Power Meter	
Proposed Contour	Existing Electrical Box	
Direction of Drainage	Existing Electrical Cabinet	
Proposed Spot	Existing Gas Meter	
ADA Accessible Route	Existing Water Meter	
Property Line	Existing Irrig. Control Box	
Sawcut Line	Existing Bollard	
Proposed Light Pole	Existing Hose Bib	
Proposed Street Light	Working Point	
Proposed Building		
Existing Power Pole		
Existing Power Pole w/ Guy		
Existing Utility Marker		
Existing Post		

Notes:

- The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within the development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum state and Santaquin City Codes, Ordinances and Standards.
- All recommendations made in a pertinent geotechnical report/study shall be followed explicitly during construction of buildings and site improvements.

Owner/Developer

Mountain America Credit Union
9800 South Monroe Ave.
Sandy, UT 84070

Engineer

Shaun Young
Anderson, Wahlen & Associates
2010 North Redwood Road
Salt Lake City, UT 84116

Architect

Shane Sanders
Sanders Associates Architects
2668 Grant Ave #100,
Ogden, UT 84401

Surveyor

Anderson, Wahlen & Associates
2010 North Redwood Road
Salt Lake City, UT 84116

Civil Note to Contractor

The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Utah County, Utah and Incorporated Areas Community Map No. 49049C0975F dated June 19, 2020. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual floodplain." (No Shading)

Basis of Bearings

A calculated line between found centerline monuments set with the JUB survey in 100 North Street at the intersections of 100 East and 300 East Streets was assigned the bearing of South 89°56'24" East as the Basis of Bearing

Benchmark

Brass Cap Monument for the North Quarter Corner of Section 1, T10S, R1E, SLB&M
Elevation = 4880.39 feet, NAVD88 Ortho Height, Geoid 18
Observed June 16, 2024

Legal Description

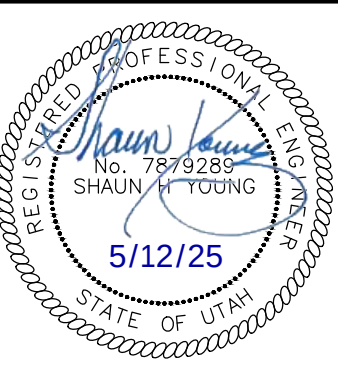
All of Lot 3, Block 28, Plat B, Santaquin Township Survey.

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AIAEngineering.net

Cover Sheet

MACU Santaquin

209 East Main Street
Santaquin, Utah County, Utah



20 Mar, 2025

SHEET NO.

C0.0

Notes

According to ALTA standards, the surveyor cannot certify a survey based upon an interpretation. The surveyor is not authorized to interpret zoning codes, nor can the surveyor determine whether certain improvements are burdening or actually benefiting the property.

ALTA requirements do not mention trees or vegetation. Trees from Adjoining Parcels may canopy over the property which does not show on this survey.

Pertaining to ALTA Table A Item No. 6: No zoning report was supplied for review, information provided was found on Santaquin City zoning website.

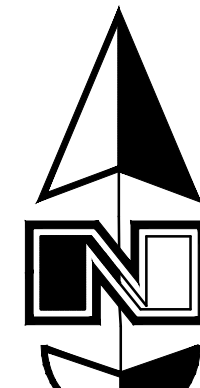
Pertaining to ALTA Table A Item No. 8: The site contains several vehicles along with miscellaneous vehicle parts and building materials.

Pertaining to ALTA Table A Item No. 9: There are no improved parking stalls on this site.

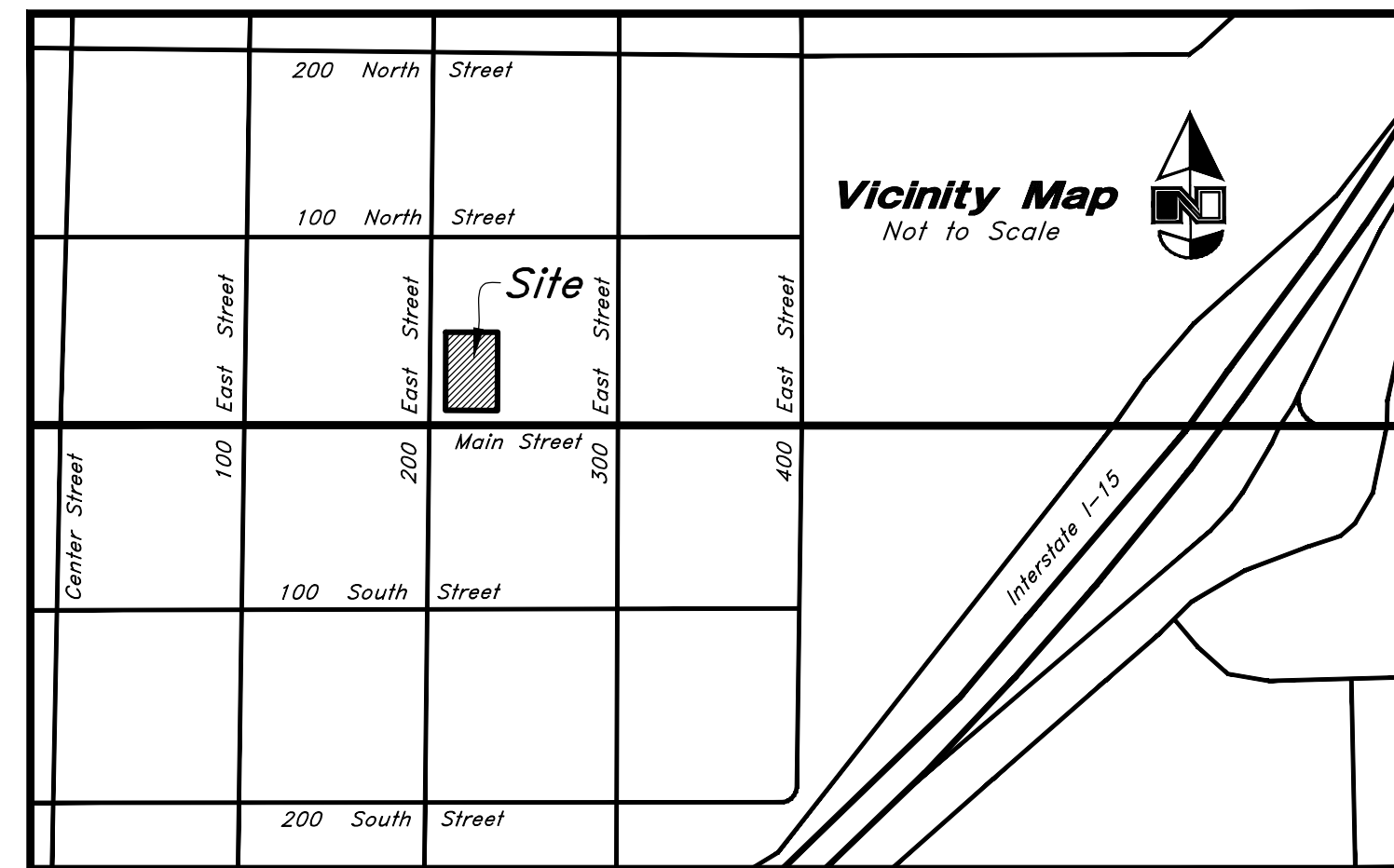
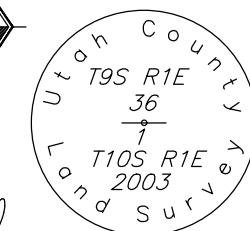
Pertaining to ALTA Table A Item No. 11(a): The location and/or elevation of existing utilities shown on these plans are based on records of the various utility companies, design plans, and where possible measurements taken in the field. No underground explorations were performed. According to Bluestakes of Utah the following companies have Utilities in the area: Comcast, Centracom, Lumen, Dominion Energy, Rocky Mountain Power, Santaquin City, UDOT, and Utopia Fiber.

100 North Street
(Paved Public Street)

Scale: 1" = 30'



North Quarter Corner Section 1,
T10S, R1E, SLB&M, U.S. Survey
(Found Brass Cap Monument)
Benchmark = 4880.39'

**Narrative**

This Survey update was requested by Mountain America Federal Credit Union prerequisite to the development of this property.

This Survey retraces and honors a previous 2018 Survey: Santaquin City Main Street by J-U-B Engineering, Inc. which established existing Block 28. The original town site blocks are 30 Rods (495 feet) square. The JUB Survey reveals significant coverage in the North to South length of Block 28. The Surveyor has equitably prorated the existing Lot 3 based on the dimensions of record displayed on the JUB Survey.

A calculated line between found centerline monuments set with the JUB survey in 100 North Street at the Intersections of 100 East and 300 East Streets was assigned the bearing of South 89°56'24" East as the Basis of Bearings to match a NAD83 Utah Central Zone State Plane Datum reference to North, which matches the underlying 2018 Survey.

The above calculated basis along 100 North Street does not compute the expected half-width of record (49.5') to the North line of Block 28 as established by JUB which is shown hereon. Surveys of record along 100 North Street have been analyzed to determine if the JUB location for centerline monuments along 100 North Street was intended to mark the centerline thereof. Results of said analysis vary across 100 North Street.

More data in Block 33 to the North would be necessary to determine whether the calculated JUB centerline for 100 North Street represents an accurate centerline of the historical Right-of-Way and may reveal whether the non-standard half-width created by the JUB survey along 100 North Street merits additional consideration for equitable proration. However a proration of Block 28 as established by JUB harmonizes neatly with the measured fences around Lot 3 as shown hereon.

No Property Corners were placed with this Survey.

Title Information

This survey was completed using Title Report File No. 178426-DMP Version 2 dated July 3, 2024 from Stewart Title Guaranty Company and issued by Cottonwood Title Insurance Agency, Inc.

The following survey related items circled (Solid) from Schedule B - Part II of the title report are plotted on the survey:

The following survey related items circled (Dashed) from Schedule B - Part II of the title report blanket all or a portion of this site but contain nothing to plot:

The following survey related items not circled from Schedule B - Part II of the title report could not be plotted:

- 11 Ordinance No. 11-02-2010 Approving the Creation of a Community Development and Renewal Agency, recorded December 8, 2010 as Entry No. 106903:2010 blankets the entire City of Santaquin, but contains nothing to plot.
- 12 Certificate of Creation of the Santaquin Special Service District for Road Maintenance, recorded June 26, 2014 as Entry No. 43844:2014 blankets the entire City of Santaquin, but contains nothing to plot.
- 20 The following matters disclosed on that certain survey prepared by Anderson Wahlen & Associates, dated July 19, 2024, as Project No. 24-092as, by David M. Hamilton, a Professional Land Surveyor holding License No. 12966234, which is a previous version of this Survey.

* Exception No.'s 1-10, 13-14, and 19 are general and/or standard exceptions that do not reveal matters of survey. Exceptions 15-18 have been intentionally deleted by the Title Company.

Record Description

All of Lot 3, Block 28, Plat B, Santaquin Township Survey.

Certification

To Mountain America Federal Credit Union, a federally chartered credit union, Douglas J. Rohbock and Denise P. Rohbock, Trustees of the Douglas and Denise Rohbock Living Trust dated September 15, 2021, and any amendments thereto, Cottonwood Title Insurance Agency, Inc. and Stewart Title Guaranty Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6(a), 7(a), 8, 9 and 11(a) of Table A thereof. The fieldwork was completed on June 16, 2024.

Date: 8 Aug, 2024

David M. Hamilton
Utah PLS No. 12966234

**Zoning Information**

Zone	=	MSC (Main Street Commercial)
Building Setback Requirements	=	10'
Front yard	=	0' if building code rated firewall, 20' if non-rated firewall with windows, 5' accessory buildings, 10' loading dock, with approved screening
Back yard	=	0 feet or 8 feet if not built to the property line if mixed use or nonresidential structure with building code rated firewall, 8 feet if non-rated firewall with windows, 10 feet loading dock, with approved screening
Side yard	=	25' min to 60' max for Nonresidential
Height Restrictions	=	

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Utah County, Utah and Incorporated Areas Map Number 49049C0975F dated June 16, 2020. Flood Zone X is defined as "Area of minimal flood hazard"

Benchmark

Brass Cap Monument for the North Quarter Corner of Section 1, T10S, R1E, SLB&M Elevation = 4880.39 feet
NAVD88 Ortho Height, Geoid 18
Observed June 16, 2024

Found Brass Cap Monument at the intersection of Center & 100 South Streets

Legend

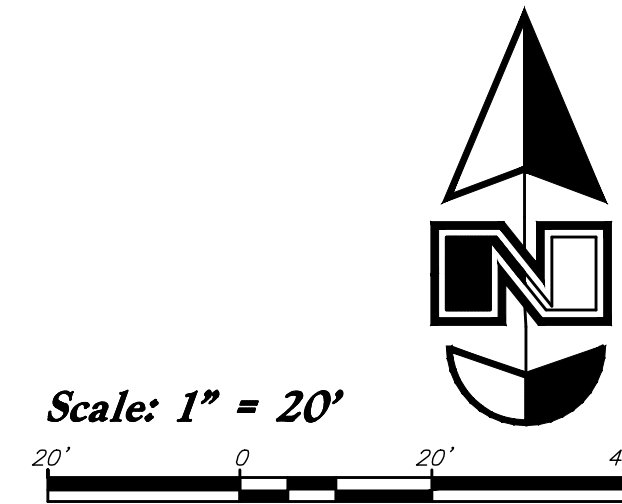
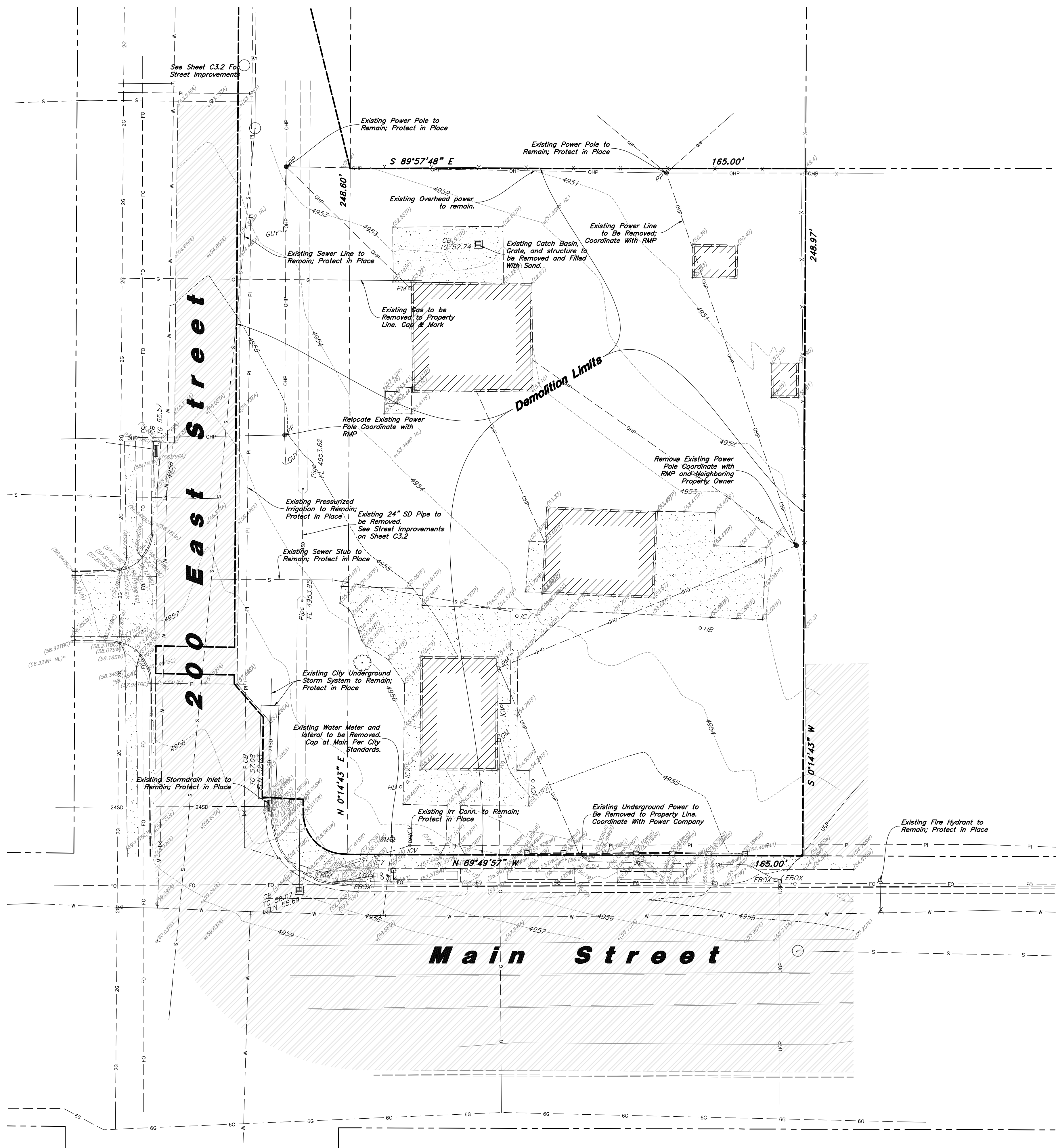
—	Property Line
—	Adjoiner Line
— S —	Sanitary Sewer Line
— W —	Culinary Water Line
— OHP —	Overhead Power
— UGP —	Underground Power
— T —	Telephone Line
— X —	Fence Line
— —	Section Line
— E —	Center Line
— FO —	Fiber Optic Line
○ HB	Hose Bib
○ ICV	Irrigation Control Valve
◆	Centerline Monument
◆	Section Corner
○ MH	Manhole
□ CB	Catch Basin
□ GM	Gas Meter
□ PP	Power Pole
— GUY —	Guy Wire
□ IB	Inlet Box
□ LP	Light Pole
□ TB	Telephone Box
□ EB	Electrical Box
○	Deciduous Tree
■	Asphalt
■	Concrete
■	Landscape Rocks
—	Contour

Center Street
(Paved Public Street)

300 East Street
(Paved Public Street)

200 East Street
(Paved Public Street)

Main Street
(Paved Public Highway)
(US Highway 6)

**General Demolition Notes:**

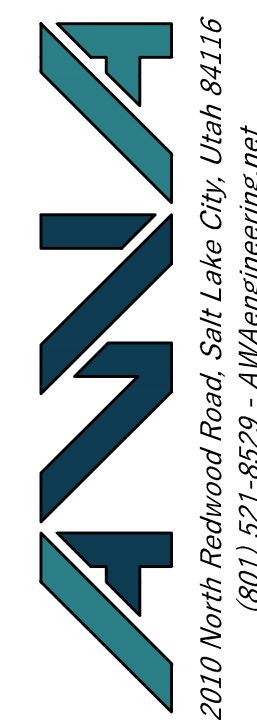
- Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
- Refer to site improvement plans for more details on limits of removal.
- All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures within the demolition limits to be cleared from site unless otherwise shown.
- All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
- Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
- Clear and grub trees, shrubs, and vegetation within demolition limits, disposal to be off-site except where noted otherwise.
- DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
- Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
- The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
- Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
- Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
- Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
- Install traffic warning devices as needed in accordance with local standards.
- Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
- Demolish existing buildings and clear from site. (Including removal of all footings and foundations.)
- If ASBESTOS is found in existing structures, the Asbestos must be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- Contractor shall shore and protect neighboring properties per OSHA stds. during excavation activities when necessary. All excavation shall remain on and within the bounds of the subject property. Unless specifically noted on the plans and approval from the adjoining neighbor has been obtained prior to any excavation beyond the subject property limits.
- The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

CAUTION :

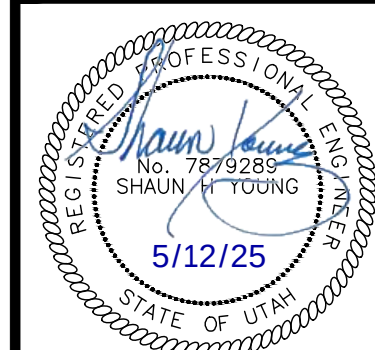
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



Designed by: LC
Drafted by: SR
Client Name:
MACU
24-092 DM



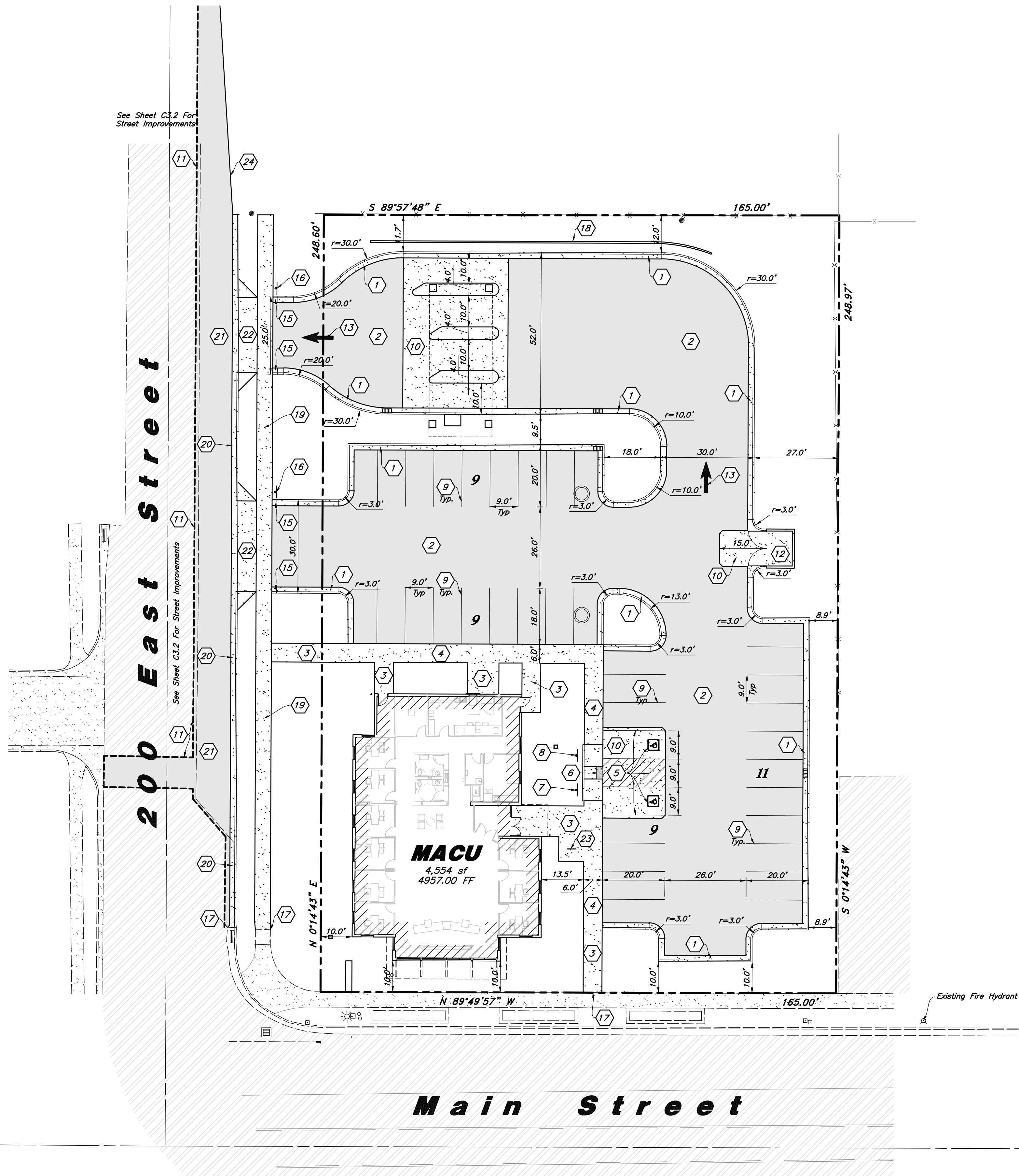
Demolition Plan
MACU Santaquin
209 East Main Street
Santaquin, Utah County, Utah



20 Mar, 2025

SHEET NO.

C0.1



Site Data

Site Area = 41,050 s.f. (0.942 ac.)
Landscape Area Provided = 12,912 s.f. (x%)
Impervious Area Provided = 23,584 s.f. (x%)
Building Area = 4,554 s.f (x%)
Parking Required = 1/200 s.f. = 23 stalls
Parking Provided = 38 stalls (x/1,000)

Hatch Legend

	Standard Asphalt Paving
	Existing Asphalt Paving
	Standard Concrete Paving
	Existing Concrete Paving
	Building Interior

General Site Notes:

- The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.
- Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Scale: 1" = 20'

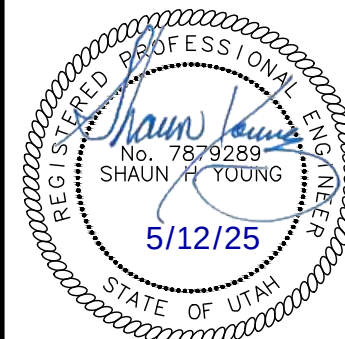


Site Construction Notes

- Const. 24" Curb & Gutter (1 C4.1)
- Const. Asphalt Paving (2 C4.1)
- Const. Conc. Sidewalk (4 C4.1)
- Const. Thickened Edge Sidewalk (5 C4.1)
- Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (1 C2.3)
- Const. Accessible Curb Ramp and Truncated Domes per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheet C2.2)
- Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.3)
- Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (2 C2.3)
- Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats) (6 C4.1)
- Const. Conc. Paving (6 C4.1)
- Sawcut; Provide Smooth Clean Edge
- Dumpster Enclosure (See Arch. Plans)
- Const. Directional Arrows per MUTCD
- Not Used
- Const. Curb Transition (8 C4.1)
- Const. Stop Sign per MUTCD R1-1
- Conn. & Match Existing Improvements
- Const. Modular Block Wall. Contractor to Provide Design Plans By Manufacturer
- Const. Sidewalk Per City Stds. (12 C4.2)
- Const. Curb & Gutter Per City Stds. (13 C4.2)
- Const. Asphalt Per City Stds.
- Const. Driveway Approach Per City Stds. (14 C4.2)
- Const. Bike Rack (See Arch. Plans)
- Provide a 16:1 Taper to Tie back Into Existing Pavement

Site Plan

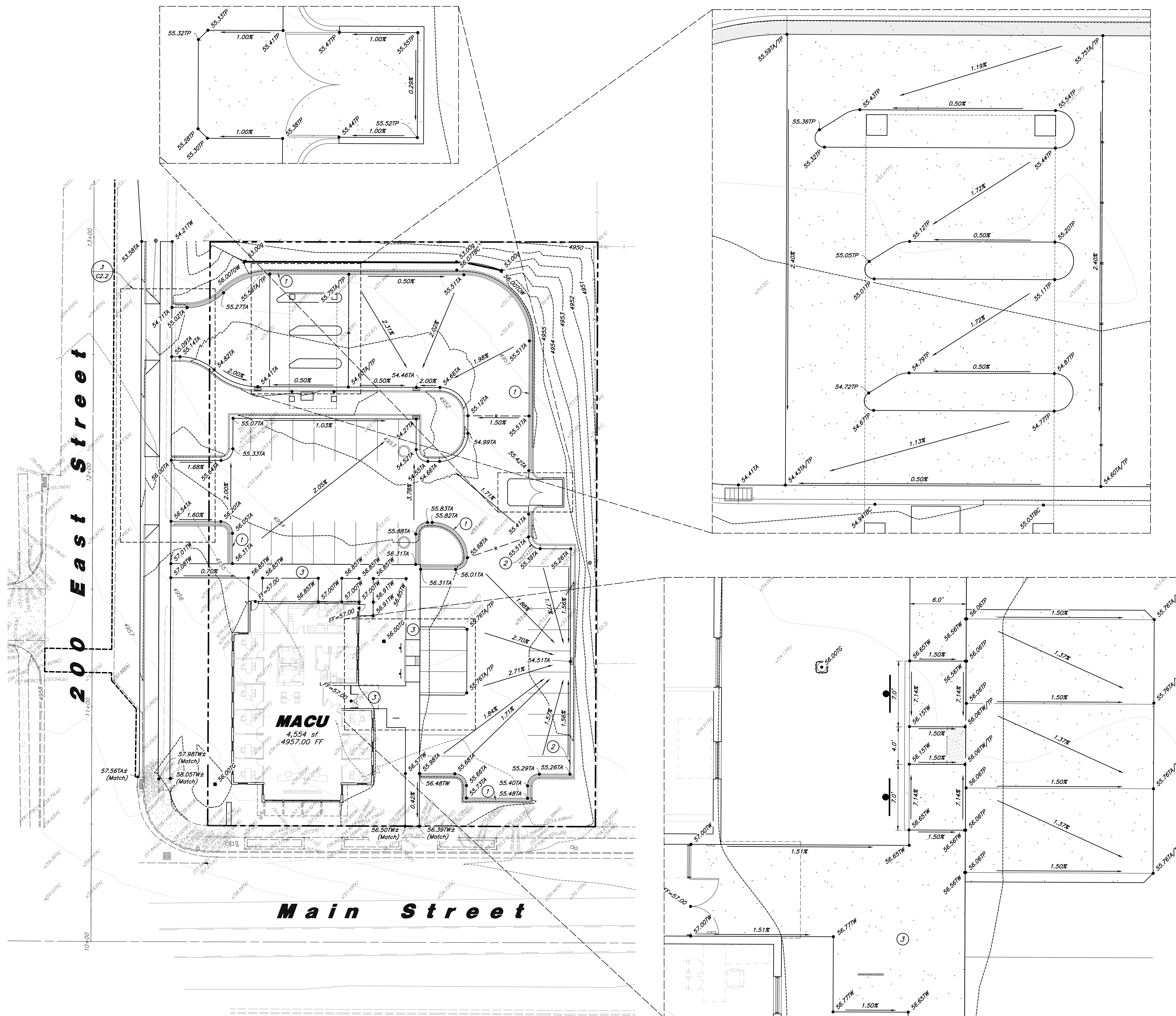
MACU Santaquin
209 East Main Street
Santaquin, Utah County, Utah



20 Mar, 2025

SHEET NO.

C1.1



Scale: 1" = 20'

**General Grading Notes:**

1. All grading shall be in accordance with the project geotechnical study.
 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
 4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
 5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
 6. Fills shall be benched into competent material as per specifications and geotechnical report.
 7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
 8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 10. Dust shall be controlled by watering.
 11. The location and protection of all utilities is the responsibility of the permittee.
 12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
 13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
 14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by CMT Technical Services are included in the requirements of grading and site Preparation. The Report is titled Mountain America Credit Union Branch About 209 East Main Street Santaquin, Utah Project No.: 22970 Dated: Sep 27 2024
17. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
 18. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of solid materials or contaminated soil.
 19. The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.

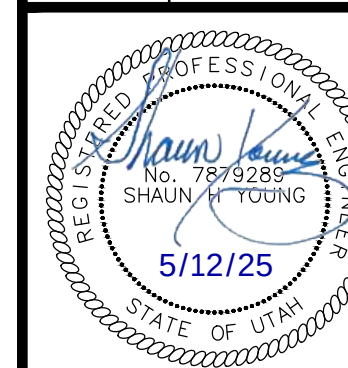
Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

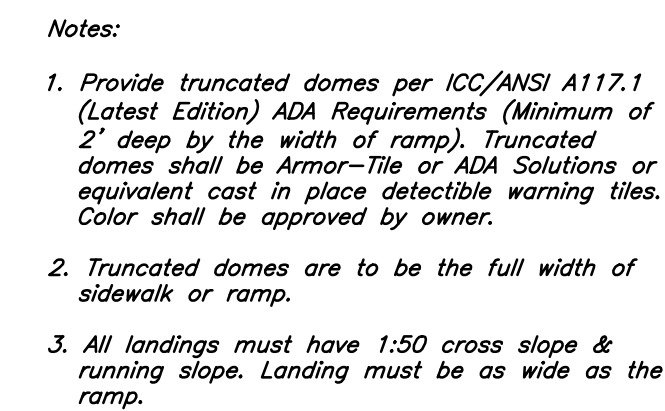
Grading Plan
MACU Santaquin
 209 East Main Street
 Santaquin, Utah County, Utah



20 Mar, 2025

SHEET NO.

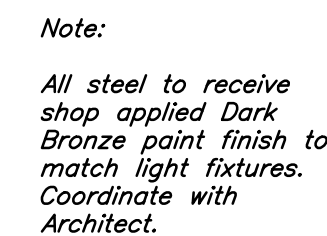
C2.1



RESERVED
PARKING

VAN
ACCESSIBLE

This sign shall be used for all Accessible Stalls Identified as "VAN" on Site Plan. 1'-0" x 1'-6" x 0.080 Aluminum Accessible Van Stall Parking sign Sign to read "RESERVED PARKING" and "VAN ACCESSIBLE" with Identification Symbol. See Detail A



Not to Scale



Not to Scale

Designed by: LC
Drafted by: SR
Client Name: MACU
24-092 GR



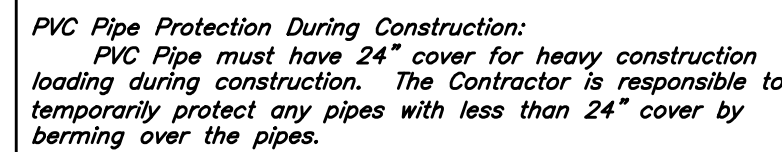
MACU Santaquin

209 East Main Street
Santaquin, Utah County, Utah



SHEET NO.

C2.2



PVC Pipe Protection During Construction:
PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by berming over the pipes.



General Utility Notes:

1. *The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.*
2. *All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.*
3. *Coordinate all utility connections to building with plumbing plans and building contractor.*
4. *Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.*
5. *All catch basin and inlet box grates are to be bicycle proof.*
6. *Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.*
7. *Gas lines, telephone lines, and cable TV lines are not a part of these plans.*
8. *Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.*
9. *Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, and other utilities as necessary including valve boxes and hydrant spools to proper grade.*
10. *Contractor shall install a 12" concrete collar around all manholes, vaults, catch basins, cleanouts & any other structures located within the asphalt.*

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. Advanced Drainage Systems (ADS) HP Storm Pipe, ASTM F2281, or AASHTO M330
3. Reinforced Concrete Pipe, ASTM C76, Class III

CAUTION :

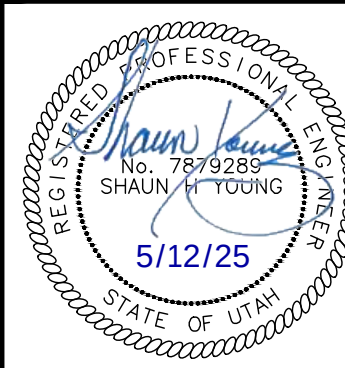
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Note:

***All Storm Drainage & Sanitary Sewer Pipe
Lengths and Slopes are from
Center of Structure to Center of Structure***

Onsite Utility Connection Notes:

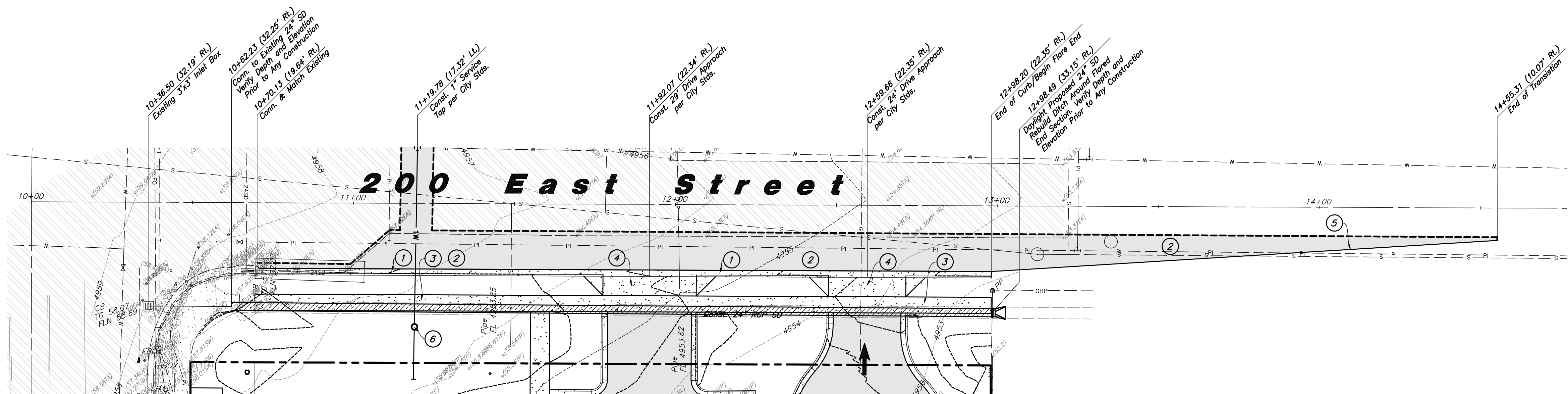
1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.



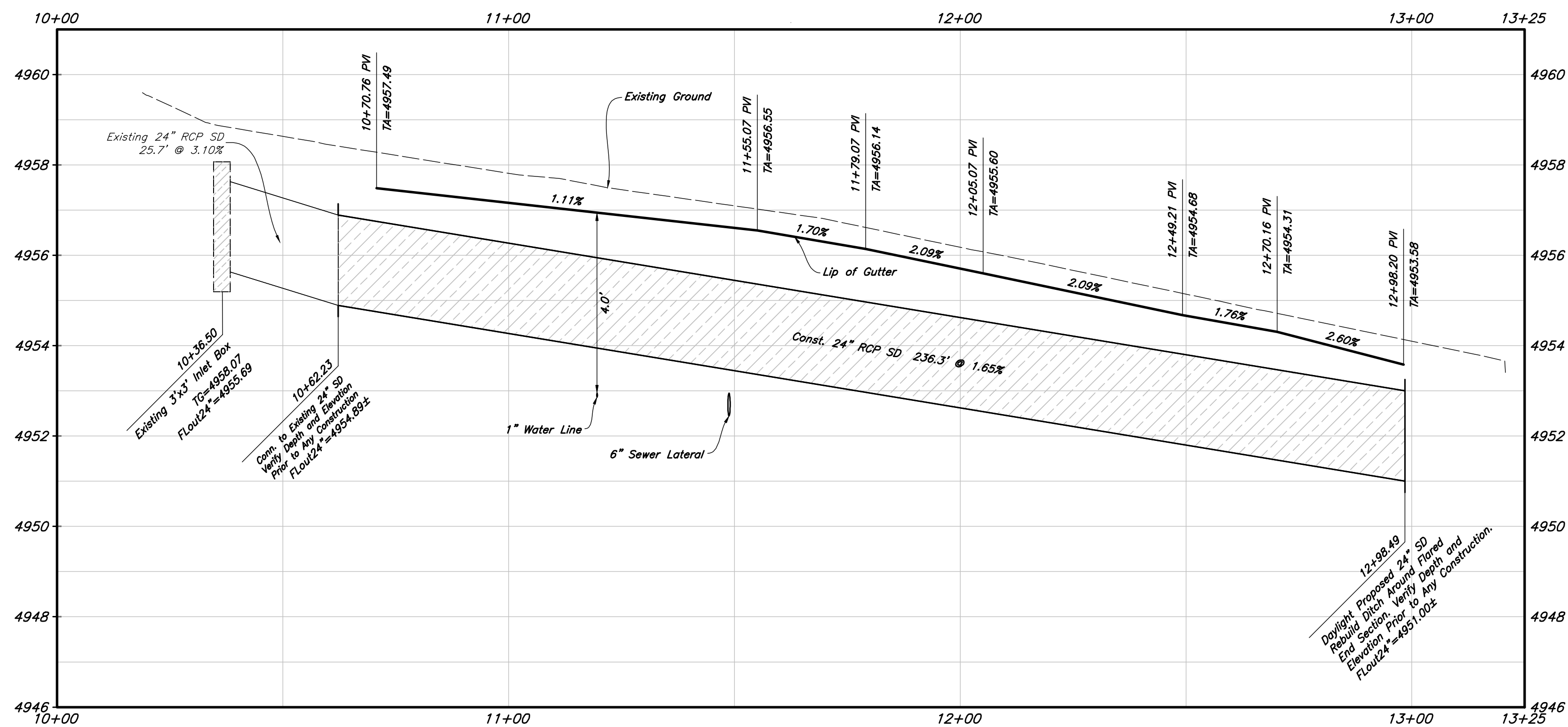
20 Mar, 2025

SHEET NO.

C3.1

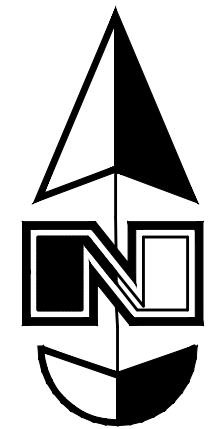


Plan View



Profile View

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 2'



Plan & Profile Construction Notes

1. Const. 24" Curb & Gutter
2. Const. Asphalt Paving
3. Const. Conc. Sidewalk
4. Const. Driveway Approach Per City Stds.
5. Provide a 16:1 Taper to Tie back into Existing Pavement
6. Const. 1" Water Meter & Service per City Stds.

General Site Notes:

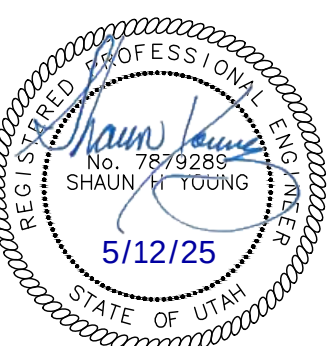
1. The Contractor shall immediately notify the Engineer in writing of any discrepancies, conflicts, or conditions encountered during construction that may affect the work, schedule, or cost. Work in the affected area shall not proceed until directed by the Engineer.
2. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.
3. All dimensions are to back of curb unless otherwise noted.

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe
Lengths and Slopes are from
Center of Structure to Center of Structure



Improvement Plan
MACU Santaquin
200 East Main Street
Santaquin, Utah County, Utah



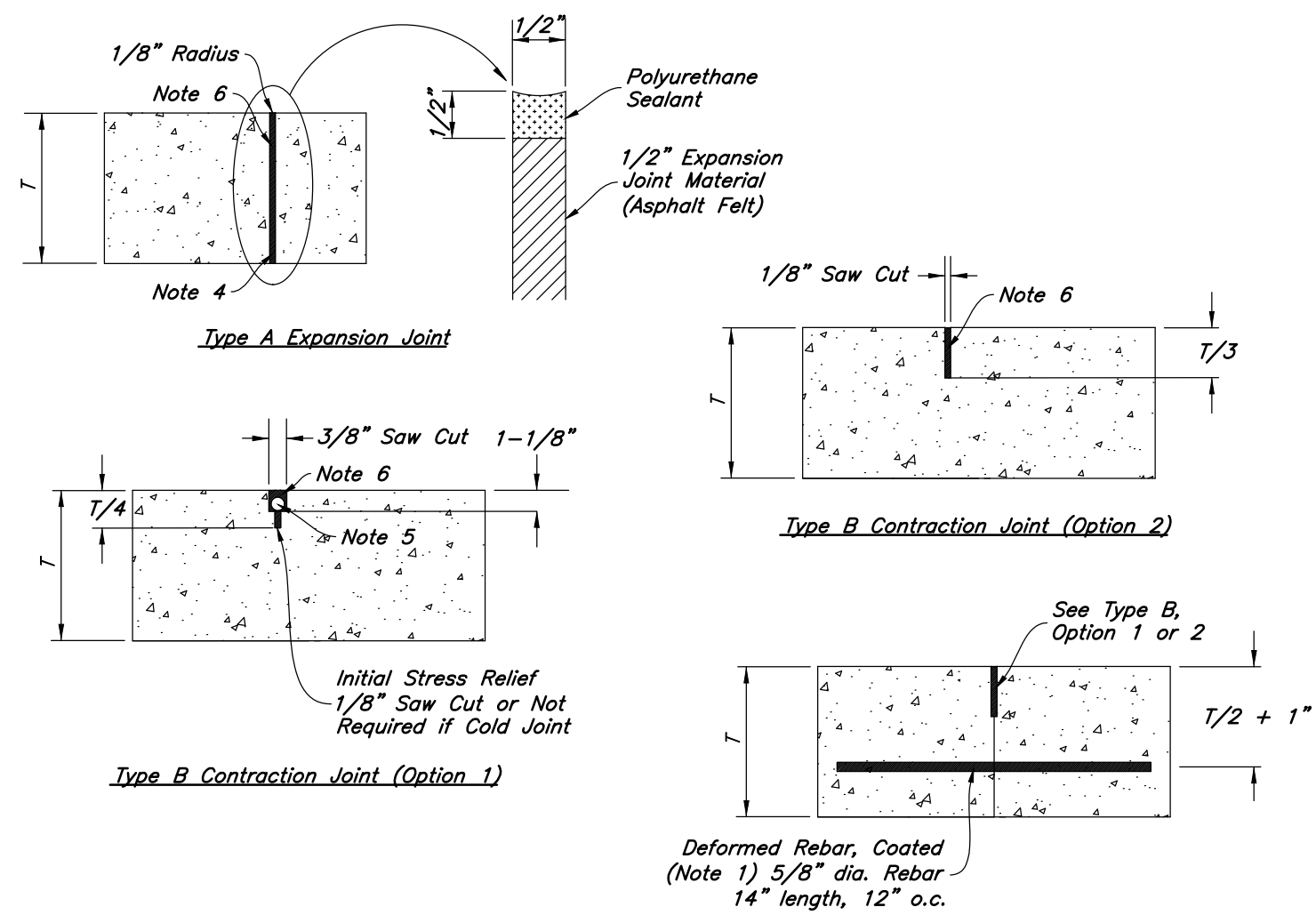
20 Mar, 2025

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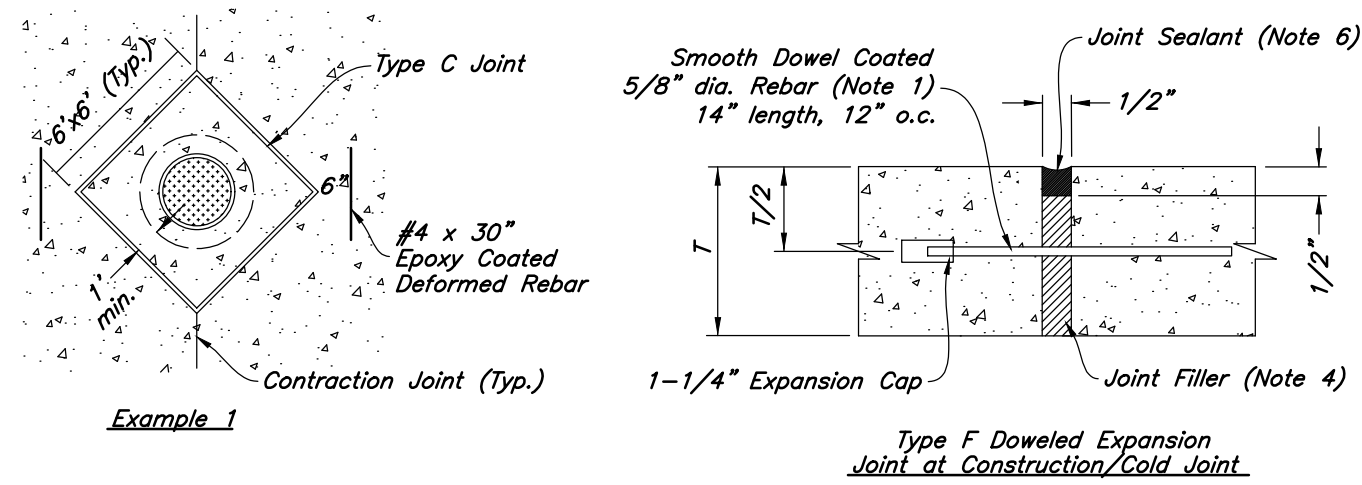
C3.2



1. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - A. Space rebar and dowels at 12 to 15 inches on center.
 - B. Grease dowels to provide movement in expansion joints.
 - C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
2. **SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
3. **JOINTS:** Lay out joints to aid construction and control random cracking.
 - A. Joint Spacing shall be 12 feet maximum on center in both directions.
 - B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - C. Make adjustments in joint locations to meet inlet or manhole locations.
 - D. Expansion joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
4. **JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
5. **BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
6. **JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.

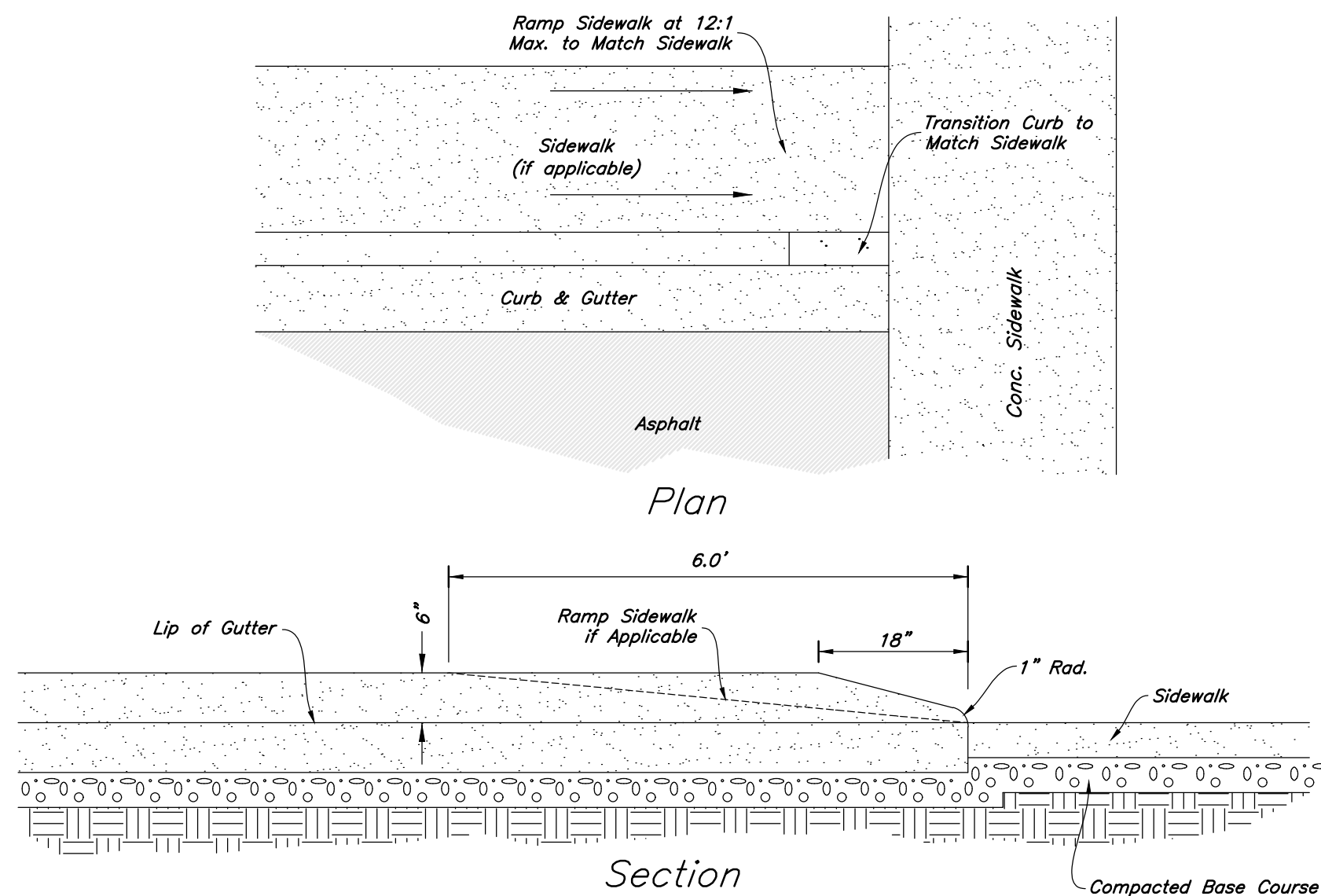


Rebar at all corners of expansion joints that do not intersect a contraction joint.



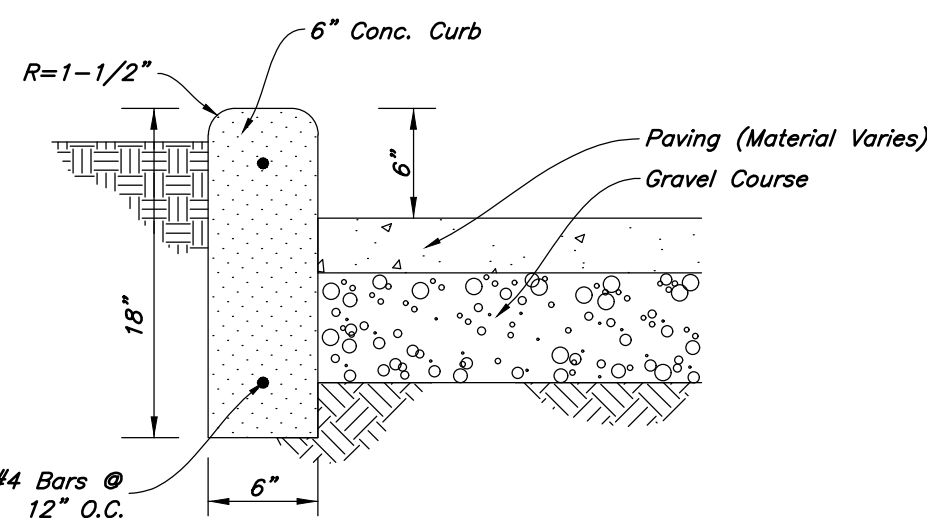
9 Concrete Joint Detail

Not to Scale



8 Curb Transition

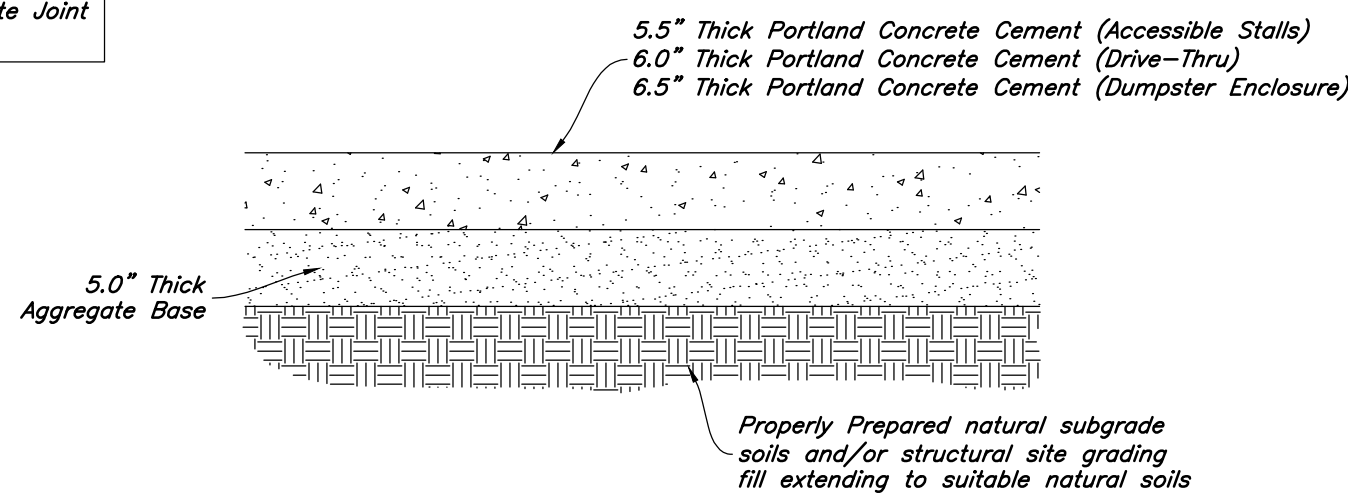
Not to Scale



7 Curb Wall Detail

Not to Scale

1. See Geotechnical Report for Project for Future Details
2. See Concrete Joint Detail



6 Concrete Paving Section

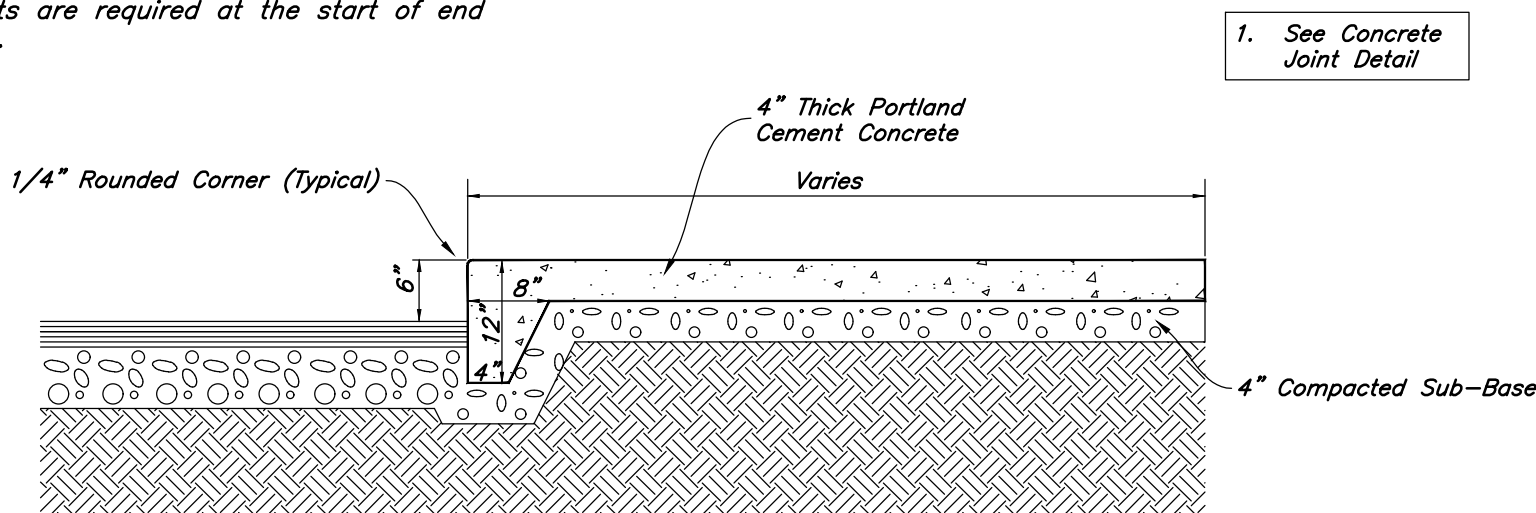
Not to Scale

Contraction Joints

- A. Spacing = 10' O.C.

Expansion Joints

- A. Make expansion joints full depth, see joint detail
- B. Place expansion joint at all cold joints
- C. Expansion joints are required at the start of end of curb radius.



1. See Concrete Joint Detail

5 Thickened Edge Walk

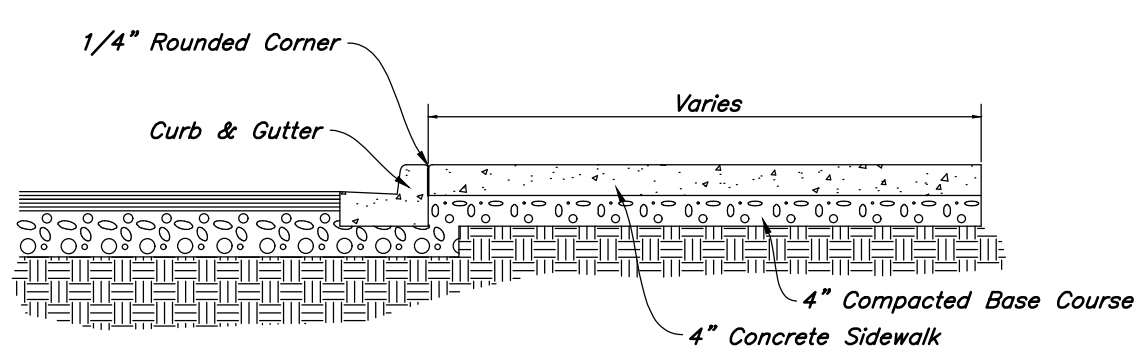
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Contraction Joints

- A. Spacing = 10' O.C.

Expansion Joints

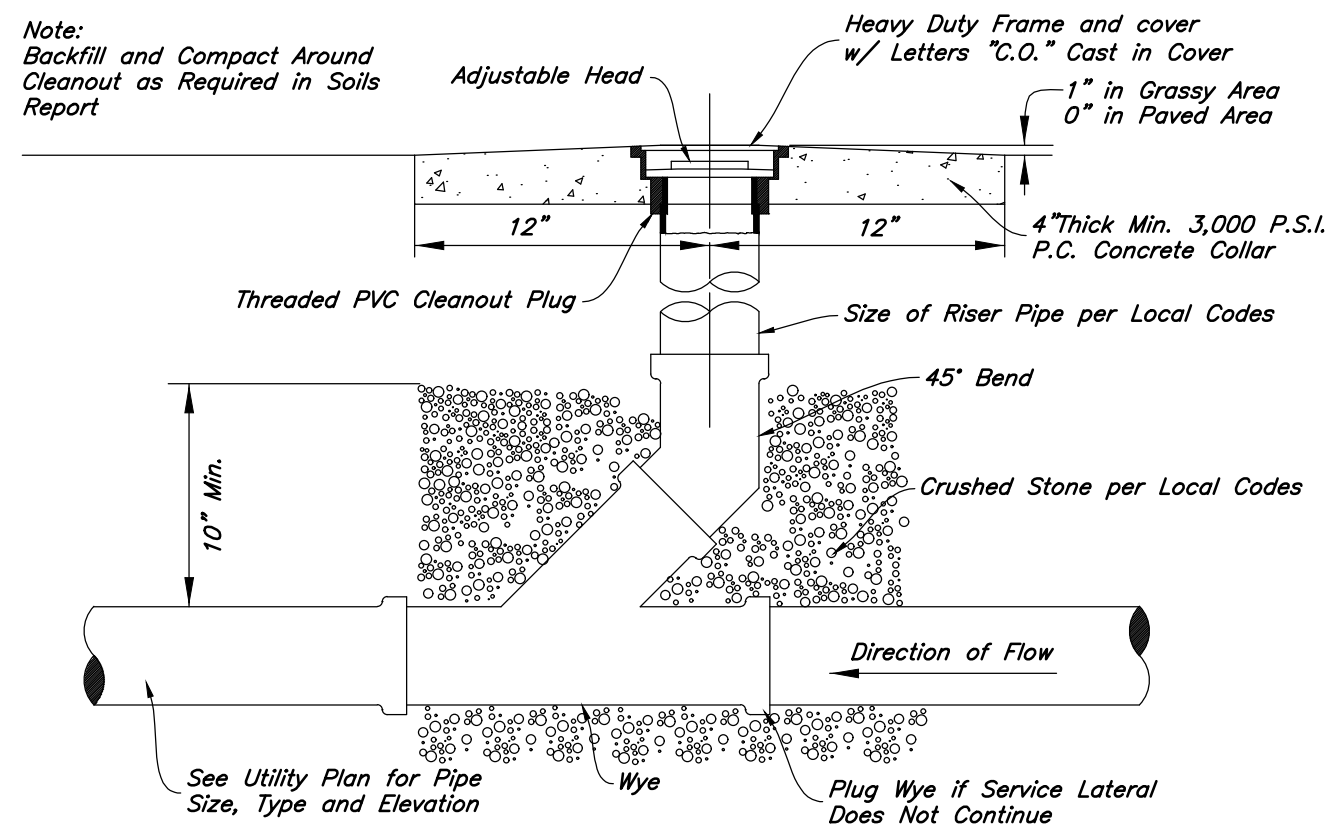
- A. Make expansion joints full depth, see joint detail
- B. Place expansion joint at all cold joints
- C. Expansion joints are required at the start of end of curb radius.



1. See Concrete Joint Detail

4 Typical Sidewalk Detail

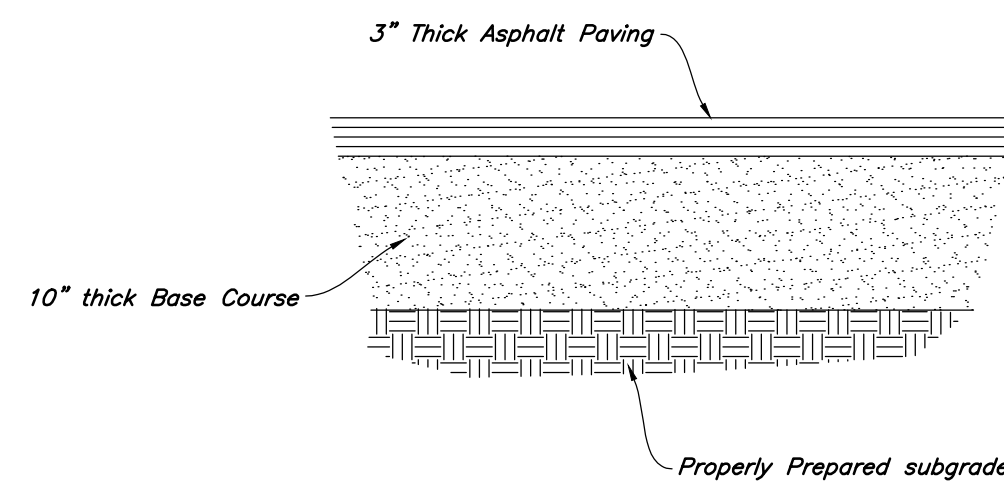
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3 Typical Cleanout Detail

Not to Scale

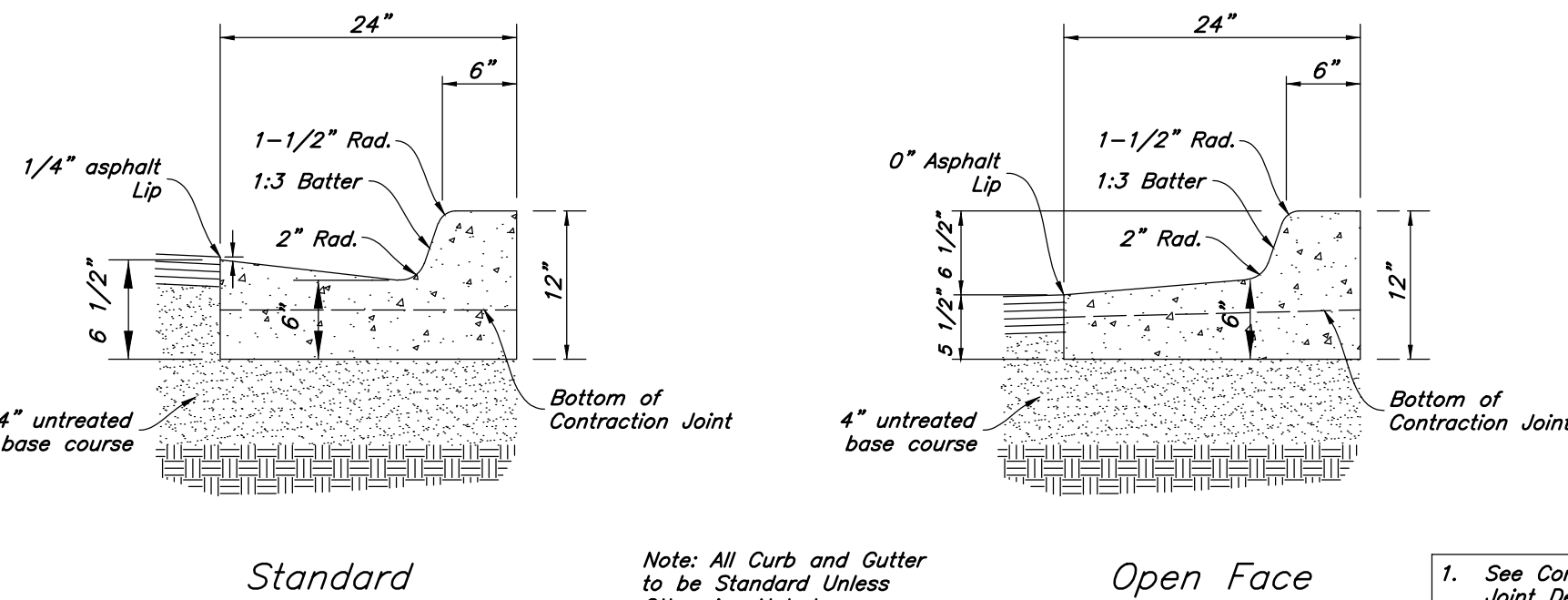
1. See Geotechnical Report for Project



2 Standard Asphalt Section

Not to Scale

1. **Contraction Joints**
 - A. Spacing = 10' o.c., see joint detail
 - B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals
2. **Expansion Joints**
 - A. Make expansion joints full depth, see joint detail
 - B. Place expansion joint at all cold joints
 - C. Expansion joints are required at ends of all radii 0.0B.
 - D. Required 5'-0" on each side of drainage structures
 - E. Required at 90'-0" maximum intervals in straight curb and gutter
 - F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/4" thick bituminous filler material)
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
6. All radii shall be true arcs
7. Medium to light broom finish on all exterior concrete



Note: All Curb and Gutter to be Standard Unless Otherwise Noted

1. See Concrete Joint Detail

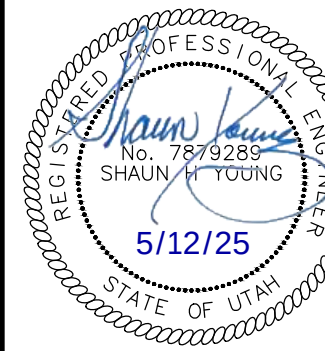
1 24" Curb And Gutter

Not to Scale

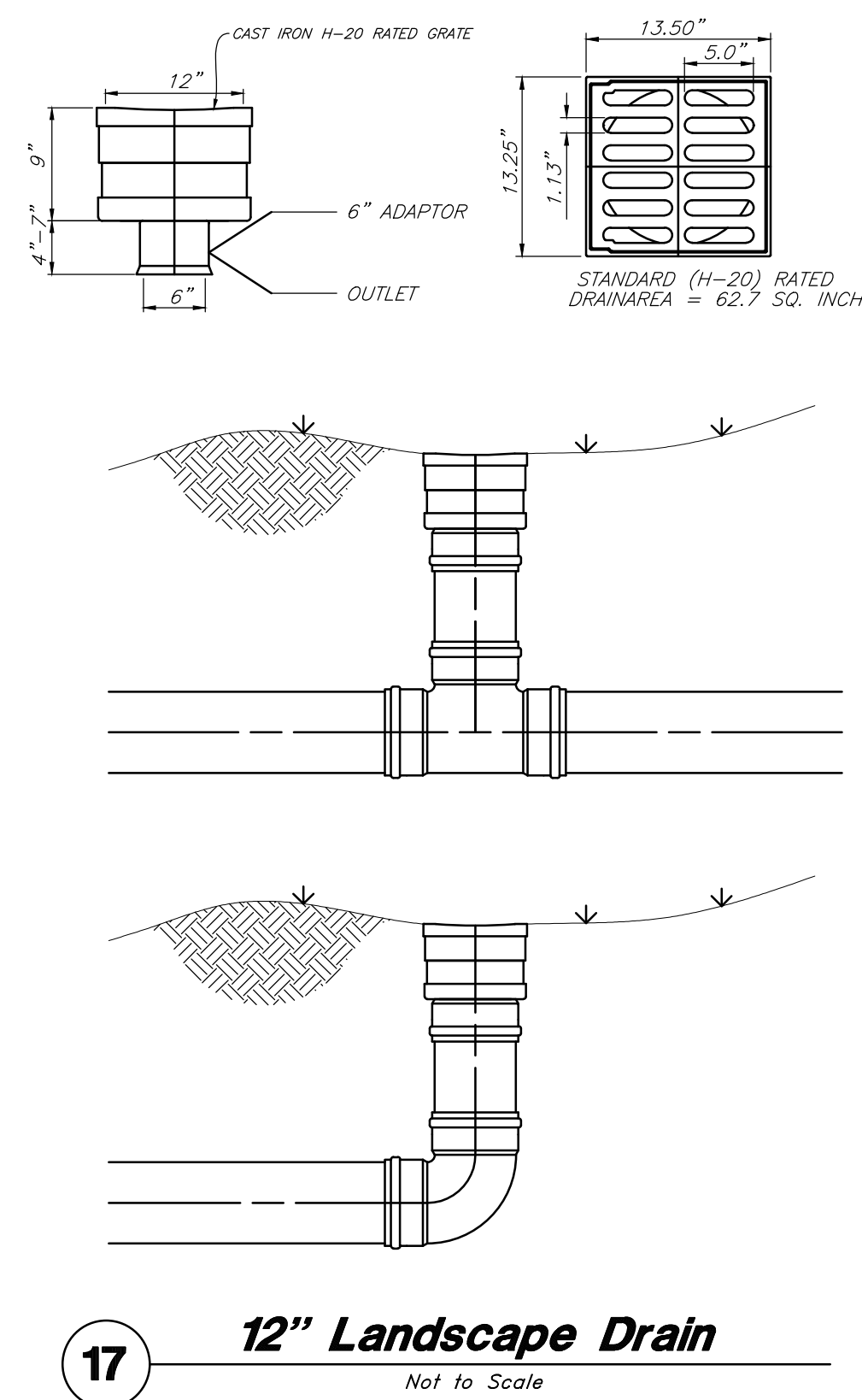
Designed by: LC
Drafted by: SR
Client Name: MACU
24-092 DT



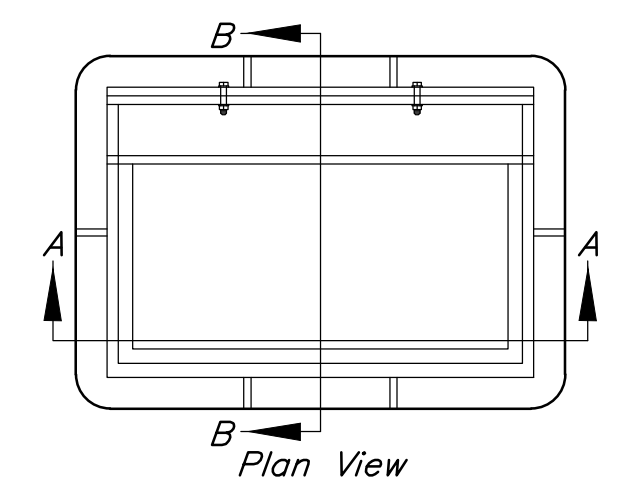
Details
MACU Santaquin
209 East Main Street
Santaquin, Utah County, Utah



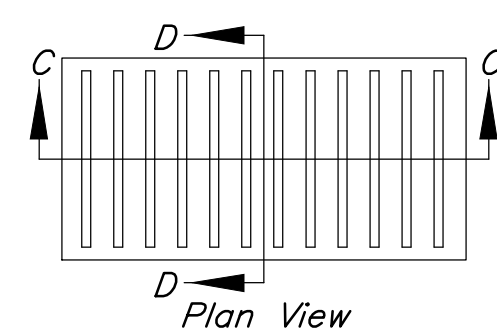
20 Mar, 2025
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C4.1



- Notes:**
1. Grey iron casting; ASTM A48 Class 35 minimum.
 2. Coat all metal parts with asphaltum paint.
 3. Provide double inlet & frame where required.

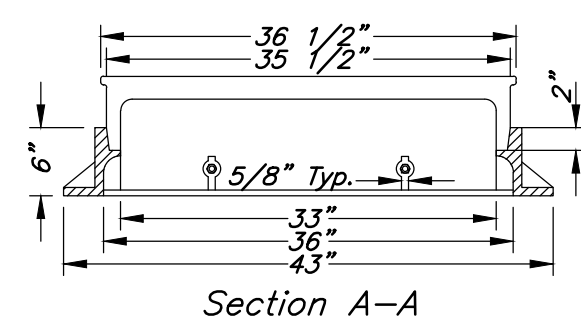
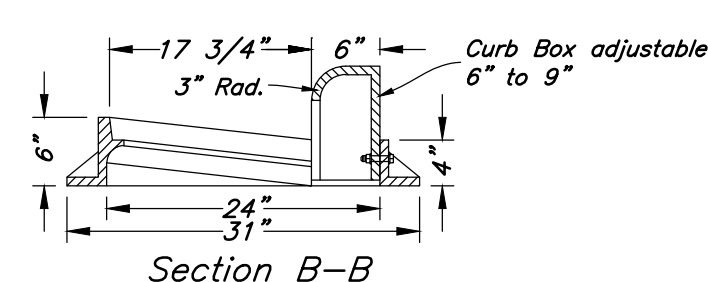


1 1/8" Typ. 15 1/2" 1 1/8" Typ.
Section D-D

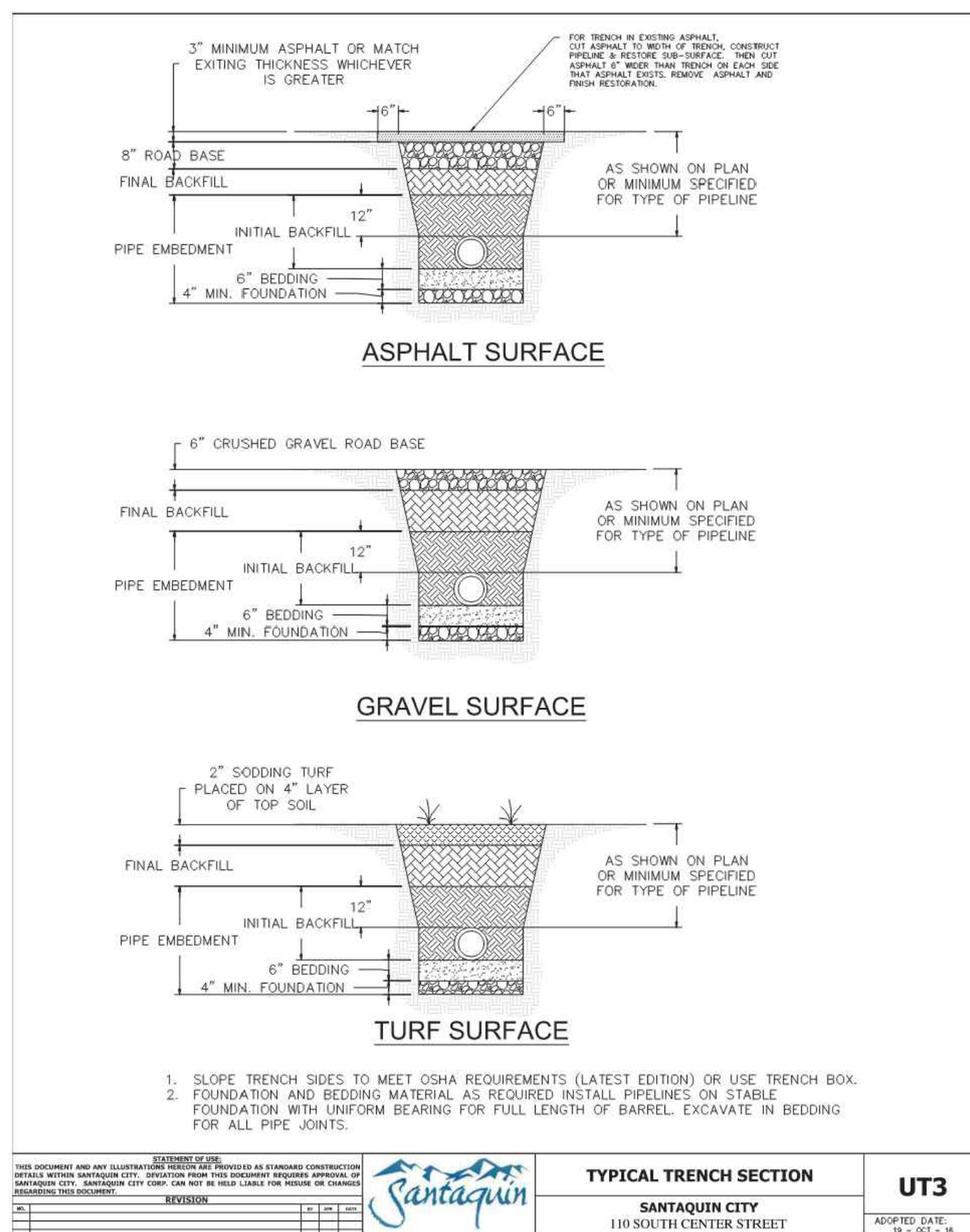


35 1/2" 12 Equal Spaces @ 2 13/16" 5/8" Typ. 155" Typ. 33"

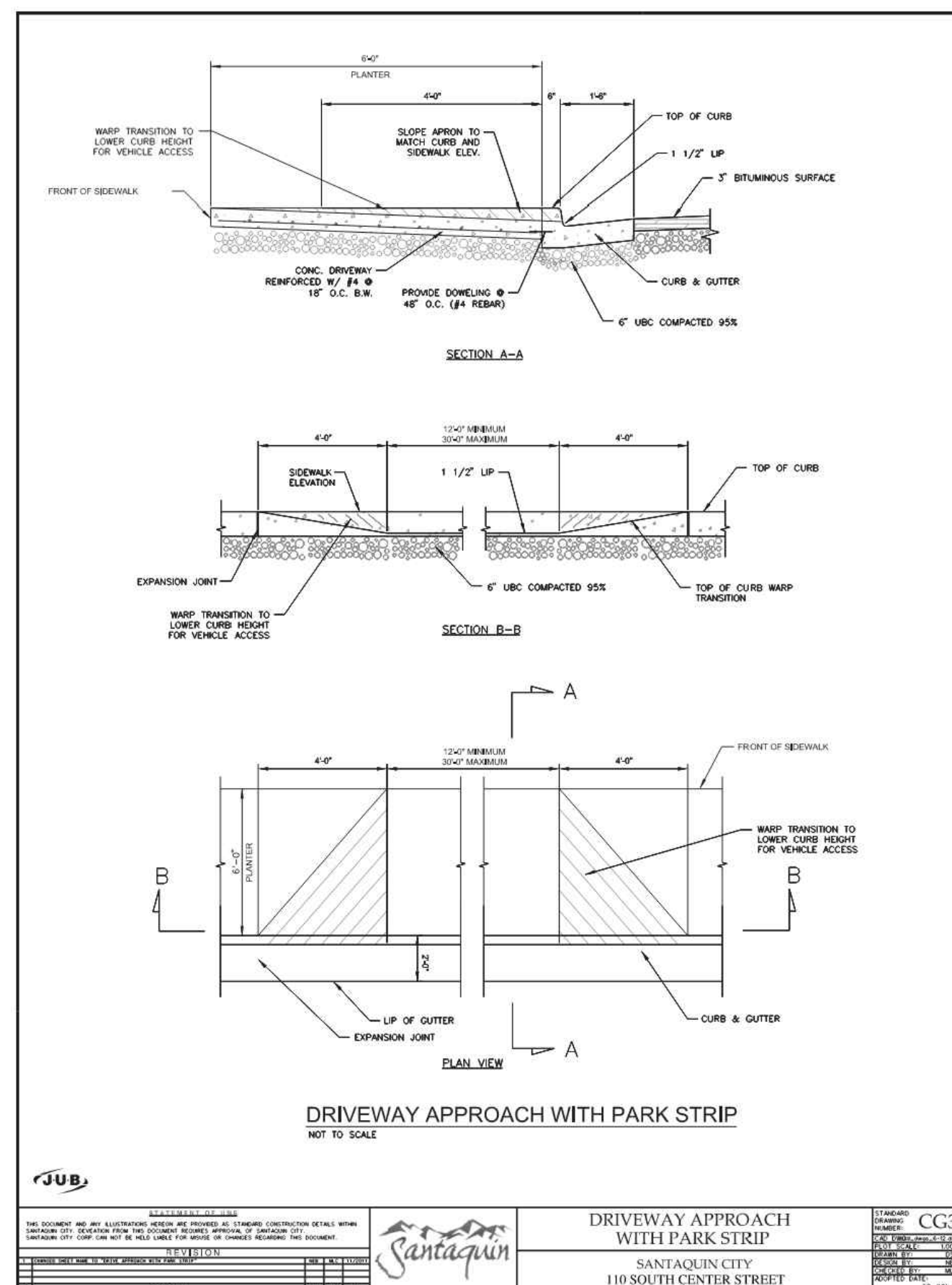
Section C-C



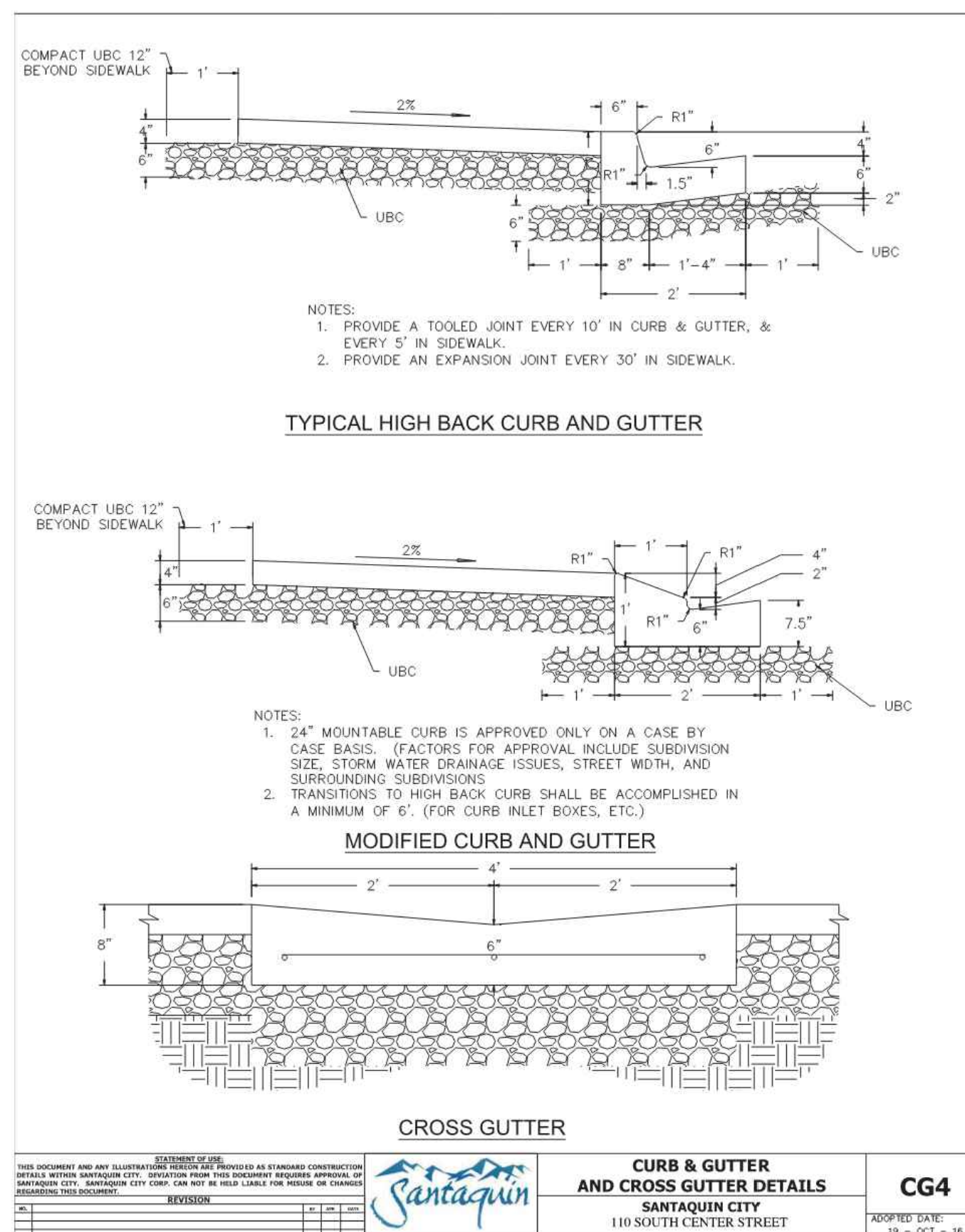
16 Inlet Grate Frame
Not to Scale



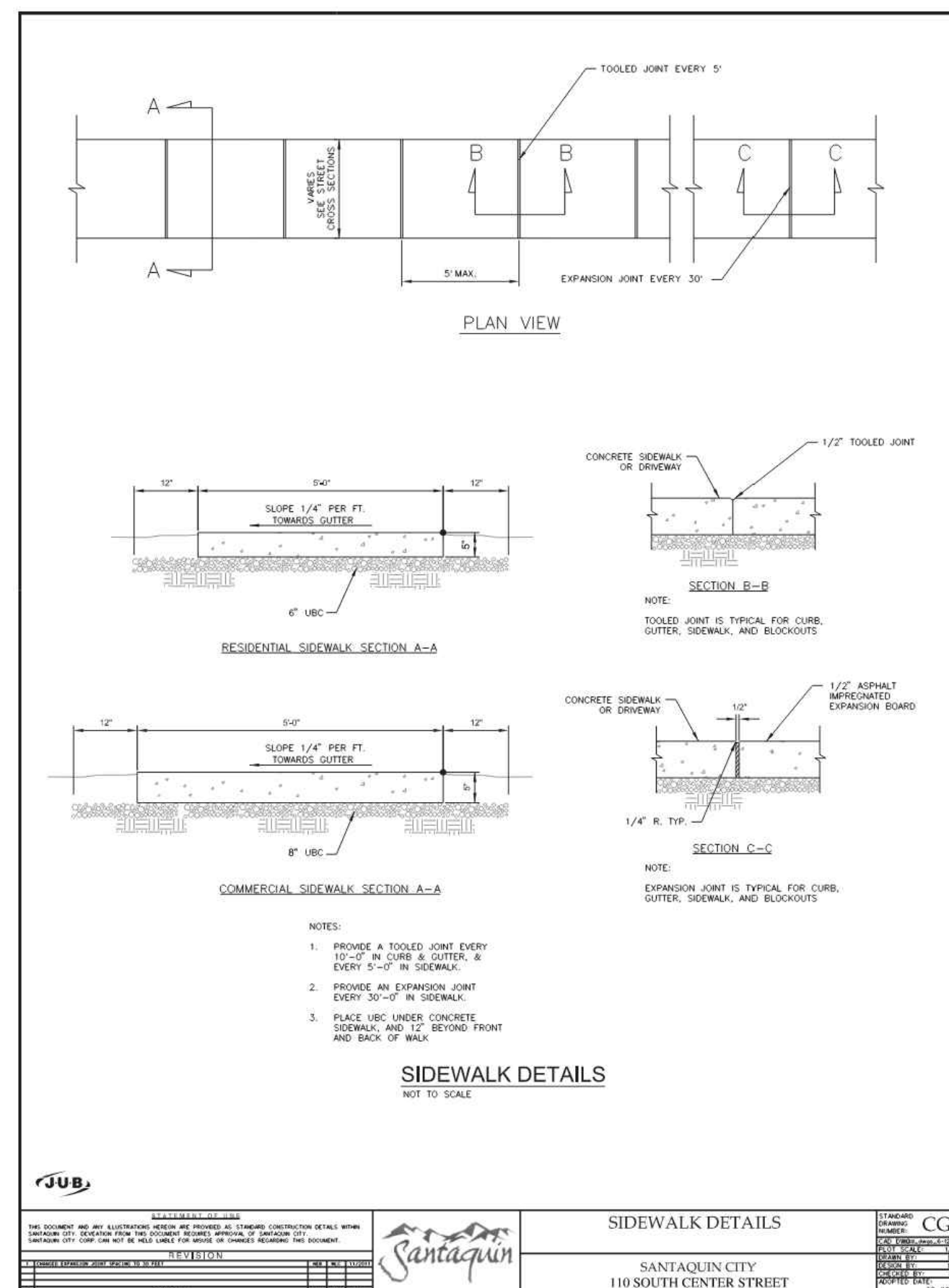
15 Curb & Gutter
Not to Scale



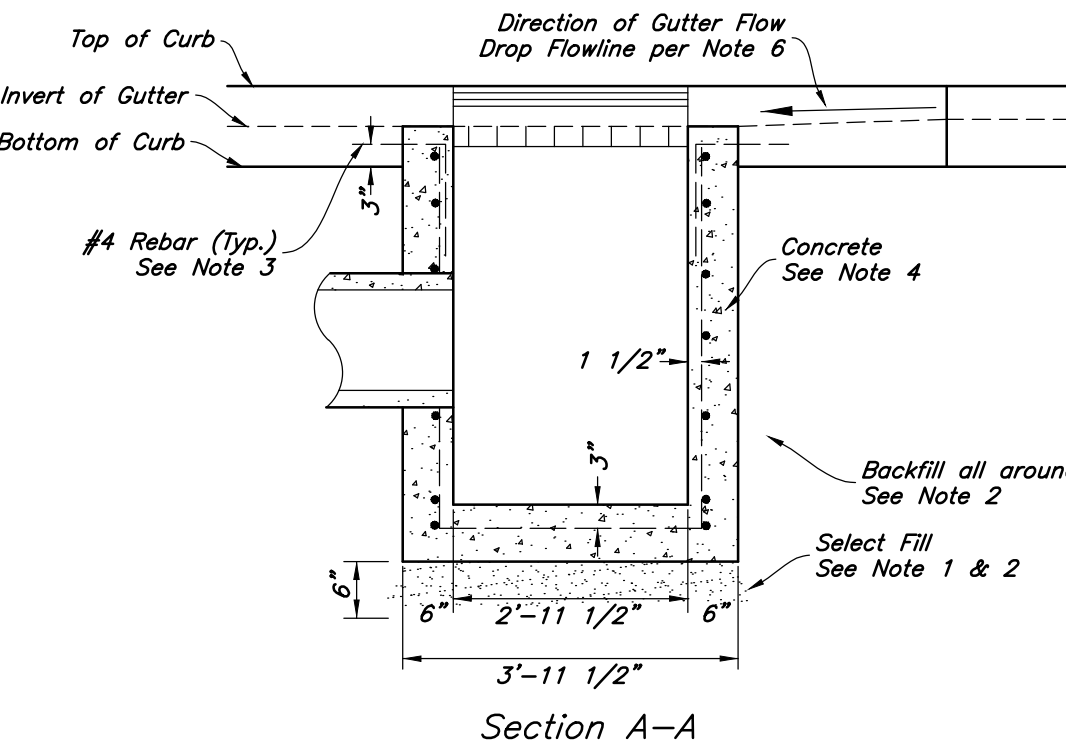
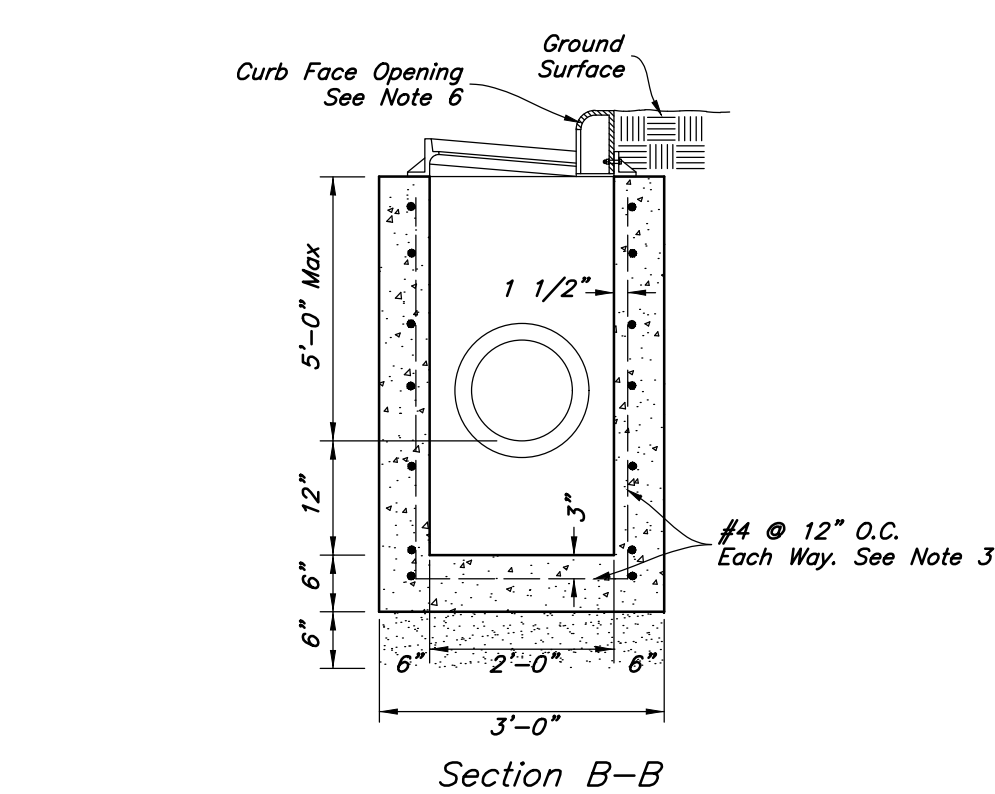
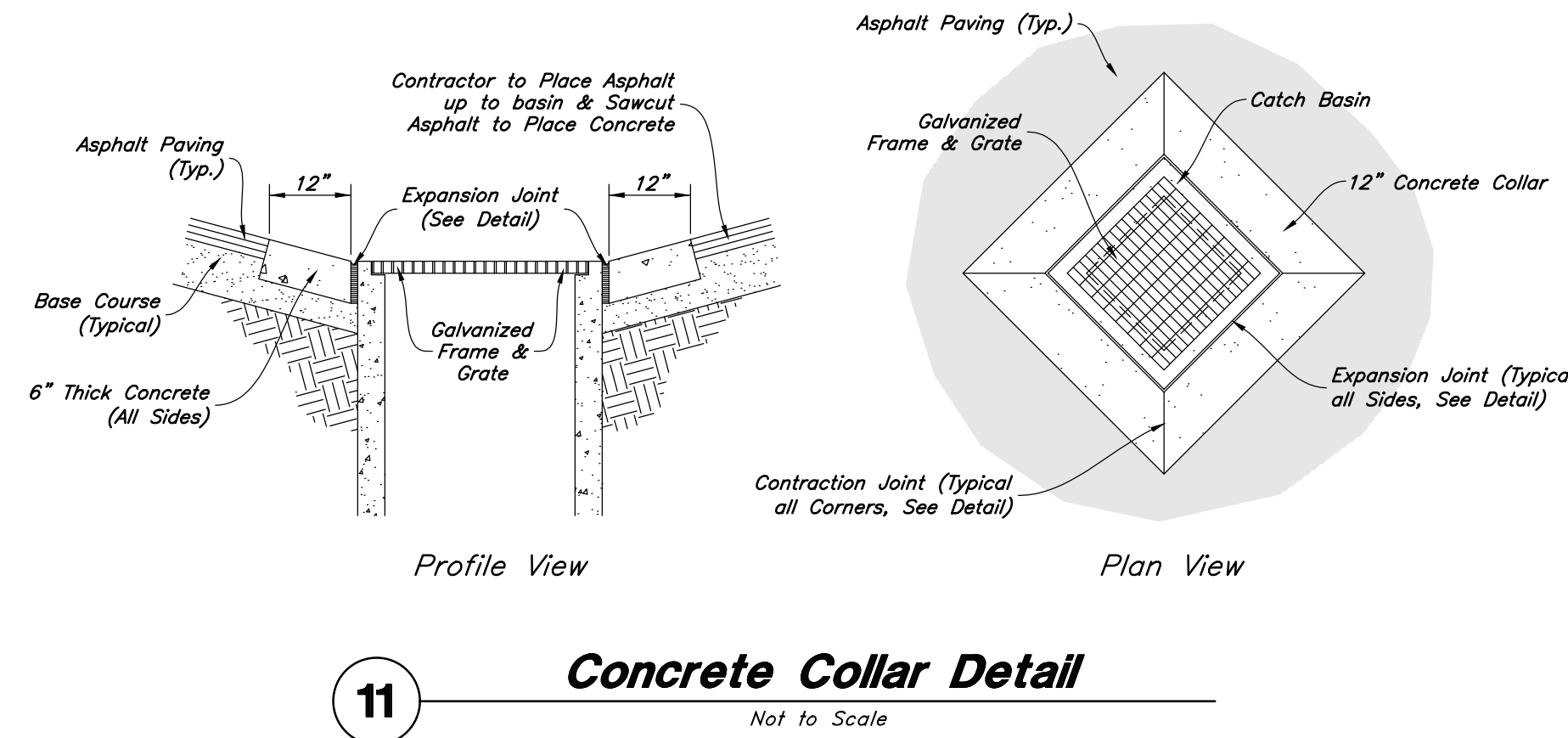
14 Driveway Approach
Not to Scale



13 Curb & Gutter
Not to Scale

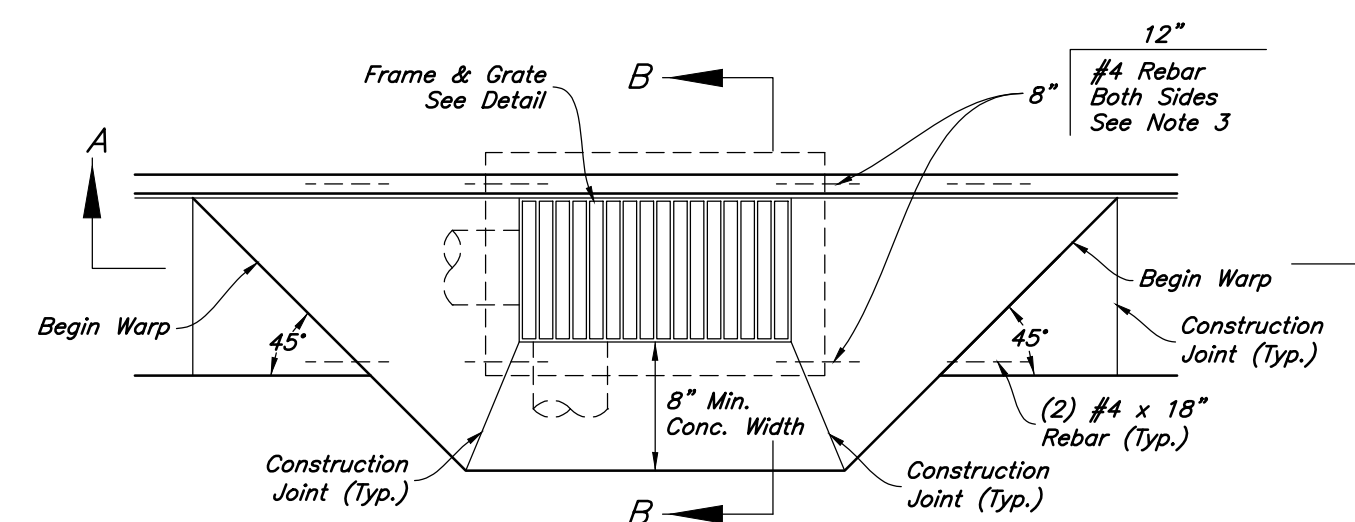


12 Sidewalk Detail
Not to Scale



Catch Basin Notes:

1. Select Fill: Use untreated base course grade 1 or grade 3/4 per APWA Section 02060. Use of sewer rock or recycled aggregate requires Engineers written approval.
2. Backfill: Install and compact all backfill material or APWA Section 02321.
3. Reinforcement: Use ASTM A 615, grade 60 deformed steel rebar. See APWA Section 03200.
4. Concrete: Class 4,000 per APWA Section 03304. Place per APWA Section 03310. Apply a sealing / curing compound per APWA Section 03390 or use an acceptable alternate curing method.
5. Pipe Laterals: The drawing shows alternate connections to the curb outlet. Refer to construction drawings for connection locations.
6. Curb Face Opening: Make opening 4 inches high. Provide at least a 2 inch drop from the gutter flowline to the invert of the curb face opening.
7. Conc. Apron in front of Inlet Grate to be 8" min. & 12" max.

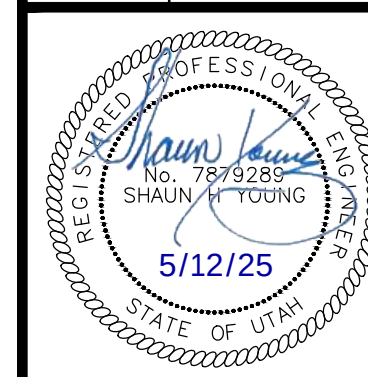


10 Curb Inlet with Single Grate
Not to Scale

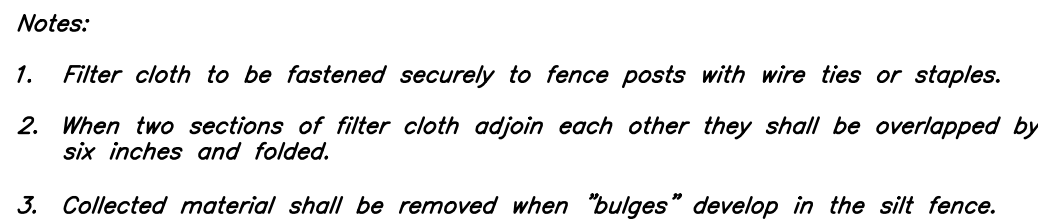
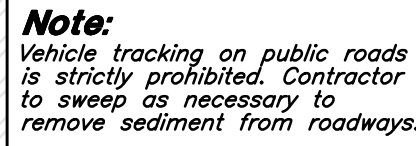
Designed by: LC
Drafted by: SR
Client Name: MACU
24-092 DT



Details
MACU Santaquin
209 East Main Street
Santaquin, Utah County, Utah

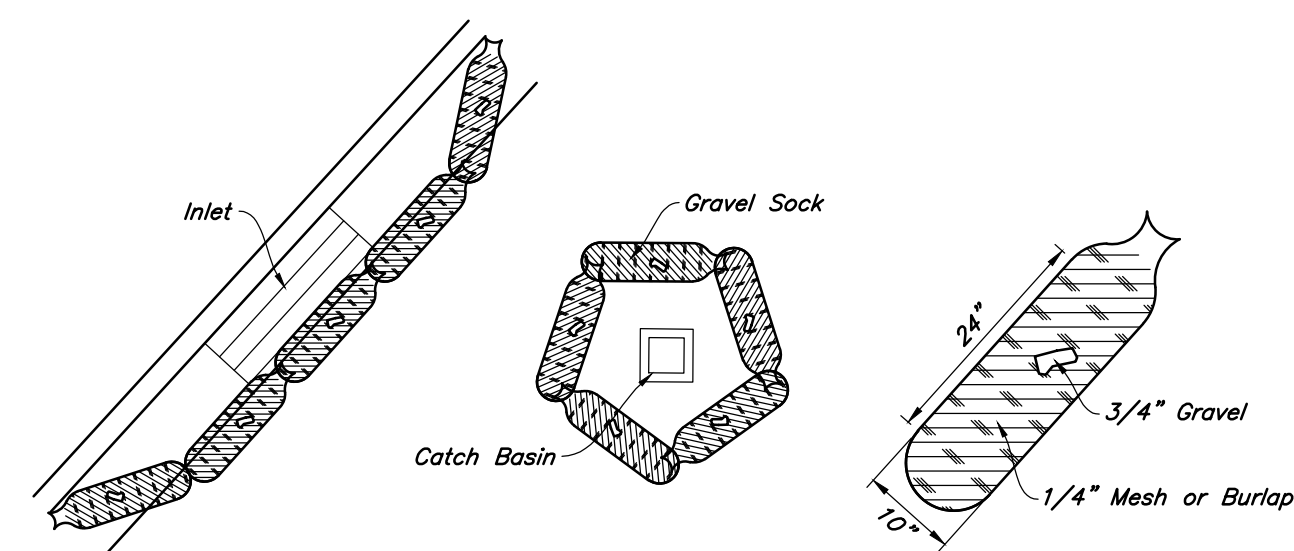
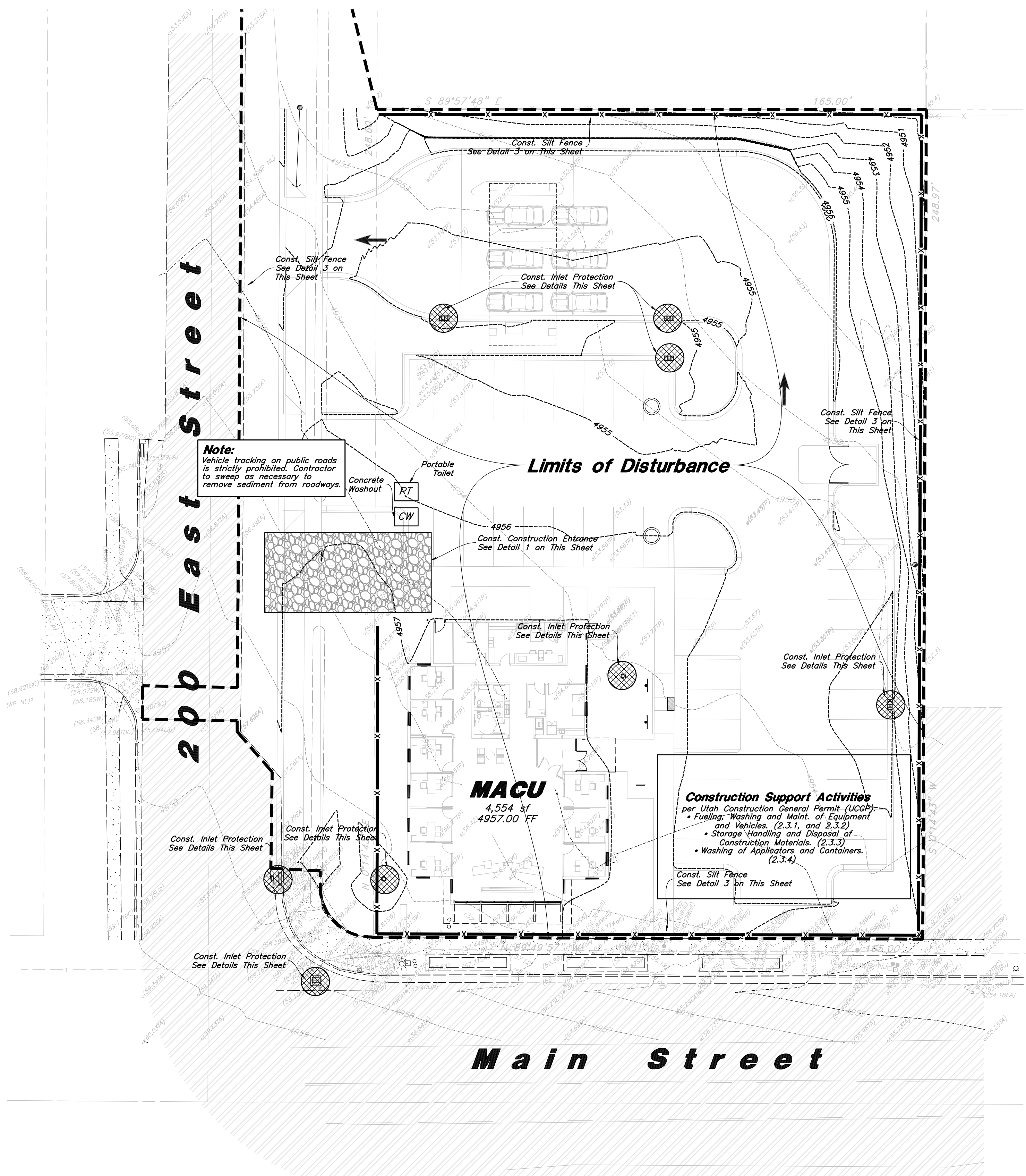


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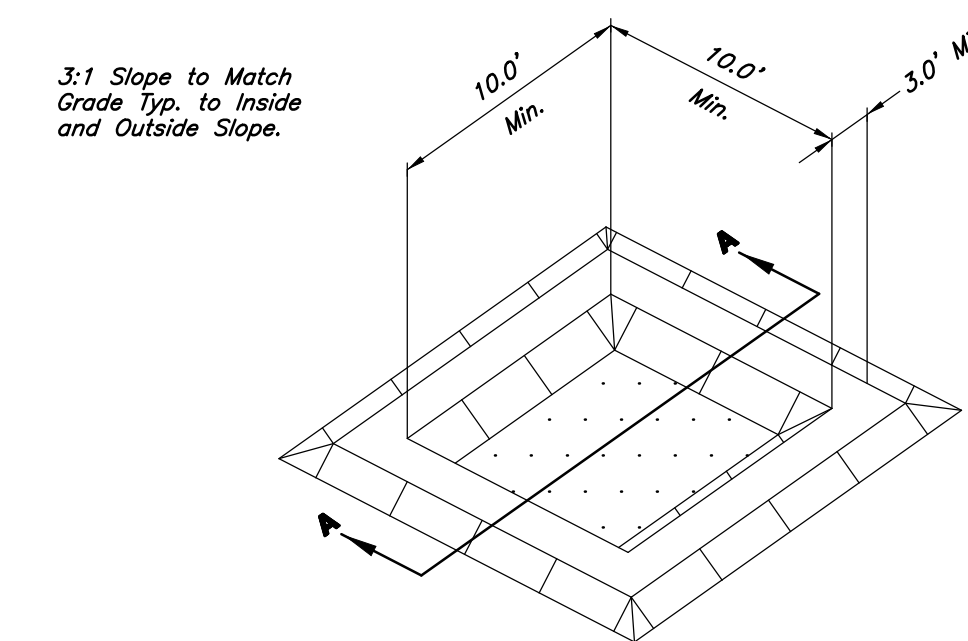
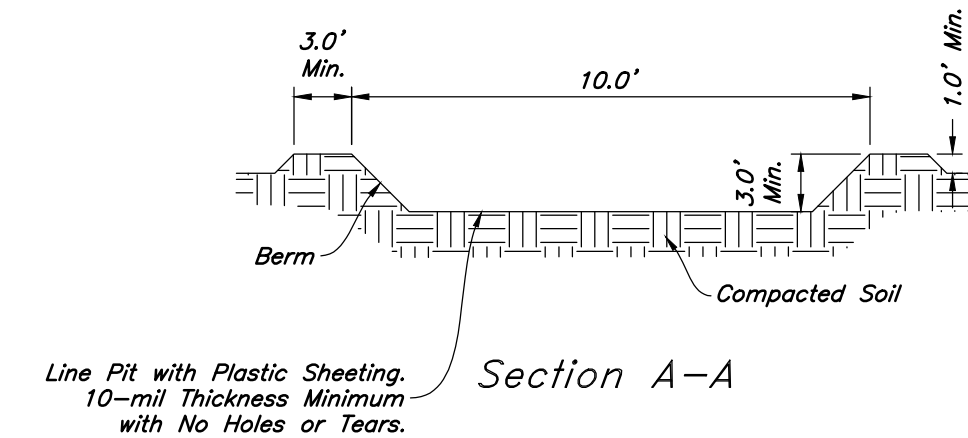


1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter thru Designated Construction Entrances.
4. Coordinate Entrance locations with the local jurisdiction.
5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
6. Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
8. All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control at All Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
11. Inlet Protection Devices shall be Installed Immediately upon Individual Sites becoming Functional.
12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the provisions of the dust control plan shall be the responsibility of the Contractor.

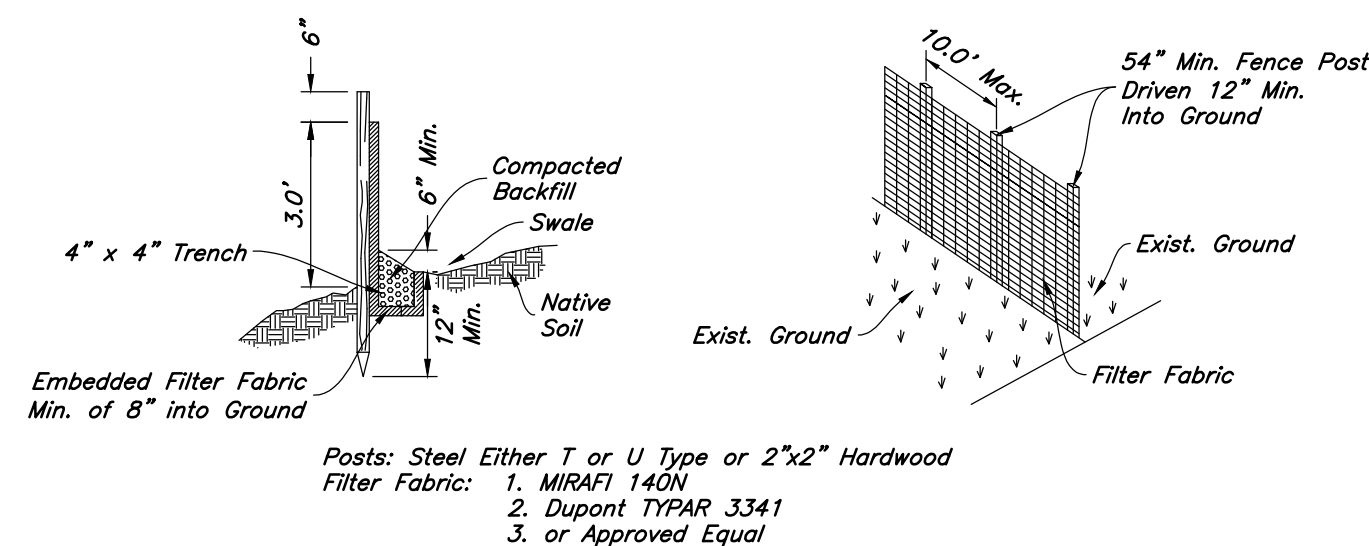




5 Gravel Sock Sediment Barrier
Not to Scale

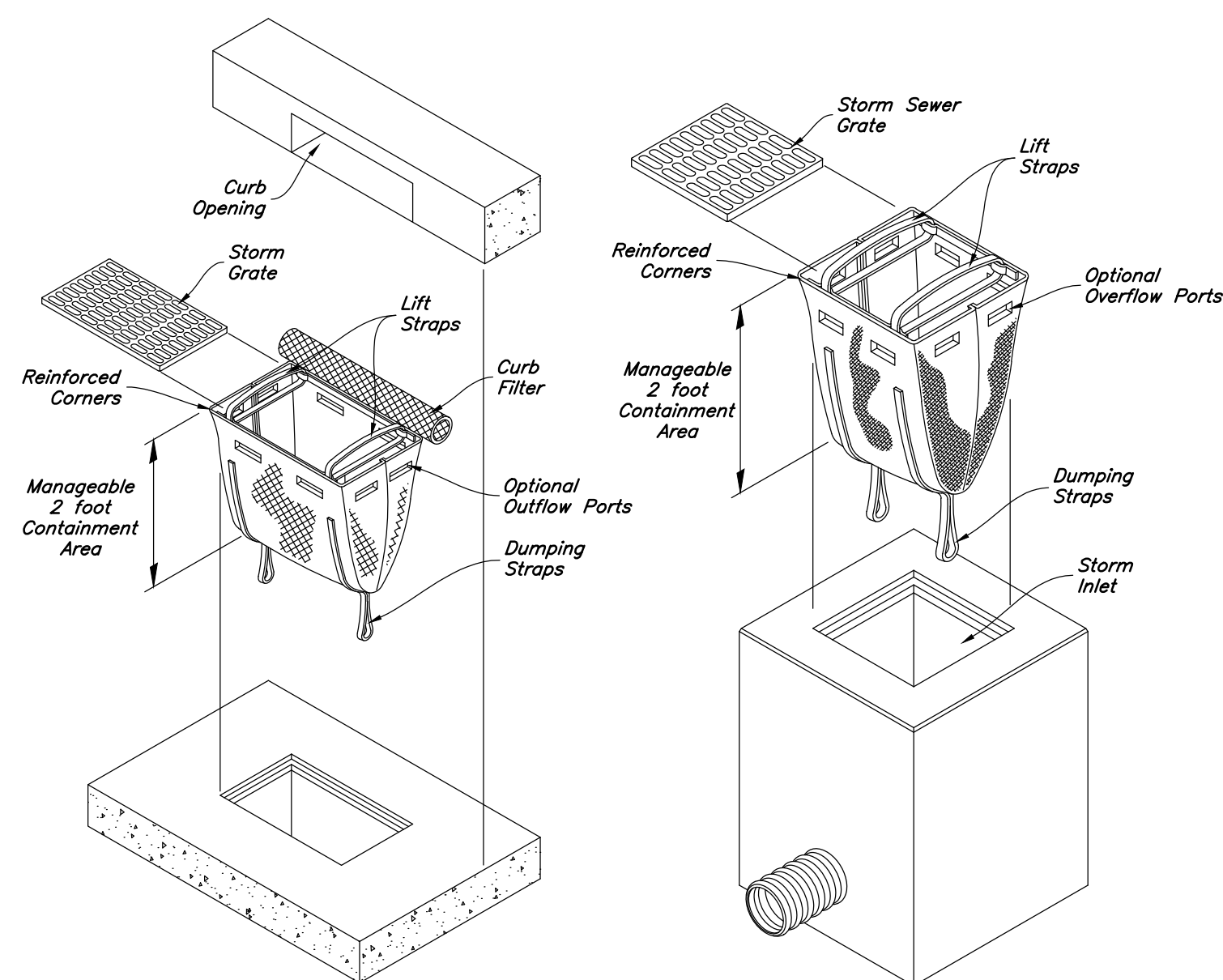


4 Concrete Washout
Not to Scale

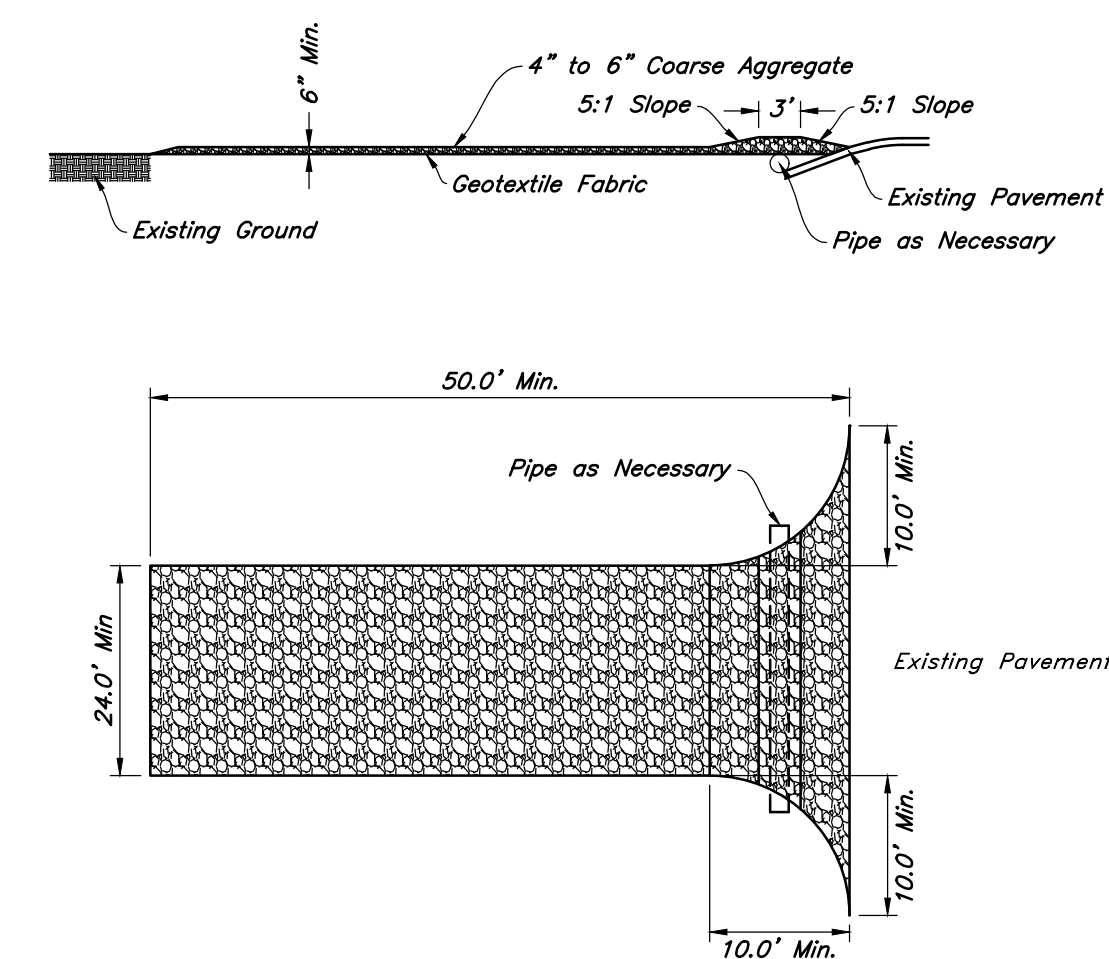


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.

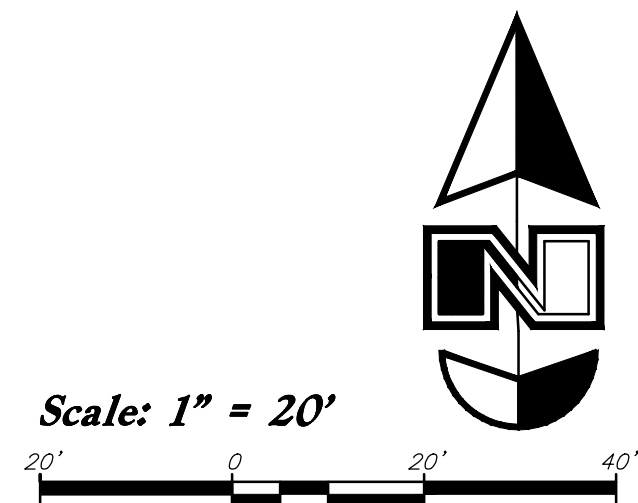
3 Silt Fence Section
Not to Scale



2 Dandy Sack Inlet Protection
Not to Scale



1 Stabilized Construction Entrance
Not to Scale



Legend

Place Inlet Protection at all Inlet Locations to prevent boxes from silting.

Silt Fence

Limit of Disturbance

Construction Entrance / Truck Wash (50'x24' Min.)

Concrete Washout Area

Portable Toilet

Gravel Sock

Existing Contour

Existing Spot

Proposed Contour

Limits Of Disturbance Area = 53,869 s.f.

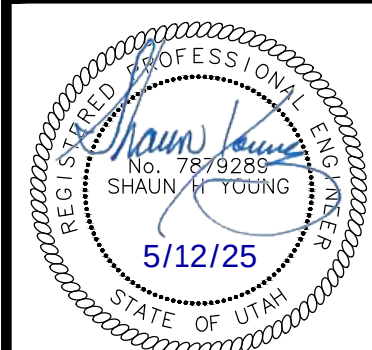
Erosion Control Notes

1. Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
2. The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
3. All Construction equipment will enter thru Designated Construction Entrances.
4. Coordinate Entrance locations with the local jurisdiction.
5. Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
6. Silt Fences shall be Repaired to their Original Conditions if Damaged, Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
7. The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
8. All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
9. Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
10. Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
11. Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
12. This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
13. Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
14. Re-vegetate areas where landscaping has died or not taken hold.
15. Divert storm water runoff around disturbed soils with berms or dirt swales.
16. Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
17. Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Erosion Control Plan - Phase 2

MACU Santaquin

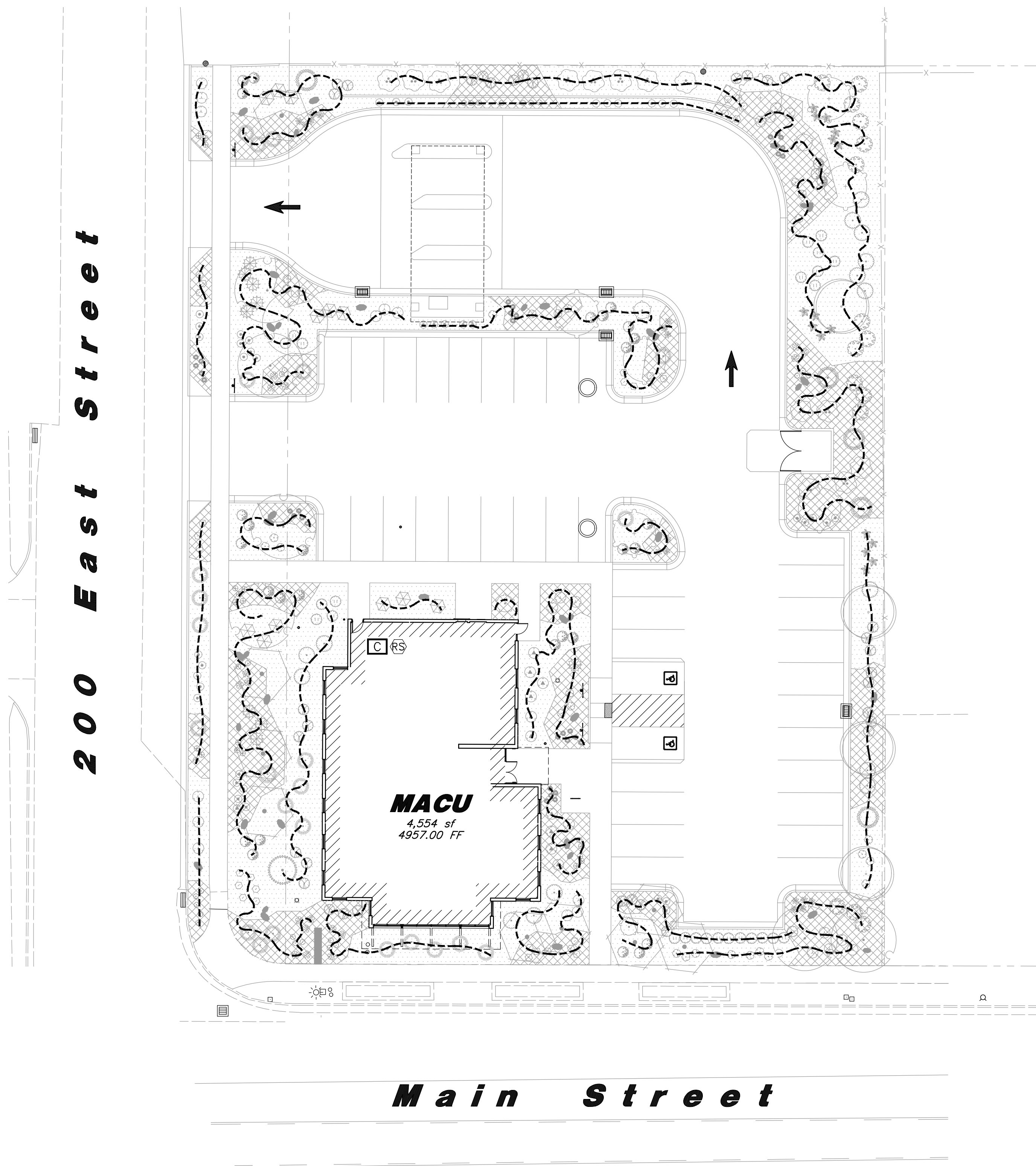
209 East Main Street
Santaquin, Utah County, Utah



20 Mar, 2025

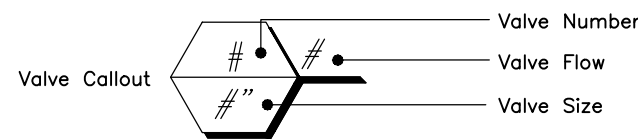
SHEET NO.

C5.2



Irrigation Schedule

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XGZ-100-PRB-COM	Drip Remote Control Valve	1 inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	8/L3.1
	Rain Bird 44NP (Purple Cap)	Coupler Valve with a Swing Joint Assembly and Nonpotable Cap	1 inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	9/L3.1
	Matco-Norca 759	Manual Drain Valve	1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	12/L3.1
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	13/L3.1
	Netafim TLHCVR7-12XX	Techline Copper Dripline with 0.77 gph Emitters @ 12" Spacing; Dripline Shall be Used to Water all Perennials, Shrubs, Ornamental Grasses and Trees; See Drip Irrigation Detail for Dripline Configuration and Layout; Blank Tubing Shall be Used in Areas Where There is No Plant Material; Install per Manufacturer's Specifications; Drip Shall be Installed After Plant Installation; Secure Tubing with Staples No Less Than Every 24 Inches & at Critical Holding Points; Tubing with Emitters Shall be Installed Under Weed Barrier so that the Water Drips on the Soil and not on Top of Weed Barrier		10/L3.1 15/L3.1
P.O.C. Components				
	Nibco T-FF-600A	Brass Ball Valve	1 inch Size; Installed in Standard Valve Box with 3" Depth Gravel Over Weed Barrier; Install Sideways for Easy Maneuvering	7/L3.1
	Amiad Tagline Y-Filter with Flush Valve	Secondary Water Filter	1 inch Size; Plastic Filter with 100 Micron (150 Mesh) Stainless Steel Weave-Wire Screen Filter; Filter Shall be Installed Underground in Jumbo Size Box with Clean Gravel Over Weed Barrier	17/L3.1
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 nch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections	11/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 inch; Minimum Pipe Size Shall be 1/2 inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections	11/L3.1
Controller & Accessories				
	Hunter HCC-800-PL	8 Station Base Model WIFI Smart Controller with Hydawise Technology (EPA WaterSense Approved)	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Provide Zone Map with Controller; Sync Wireless Rain Sensor	16/L3.1
	Hunter WR-CLK	Wireless Rain Shut-off Sensor	Install Receiver Adjacent to Controller and Sync with Controller; Install Sensor on the Roof in a Location that will Receive an Accurate Moisture Readings; Install per MFR's Specifications	18/L3.1
Sleeving				
	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths	Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted.	14/L3.1



VALVE SCHEDULE

VALVE #	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP. RATE
1	1"	Area for Drip Emitters				
2	1"	Area for Drip Emitters				
3	1"	Area for Drip Emitters				
4	1"	Area for Drip Emitters				

General Irrigation Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc., which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems with adequate pressure for system operation. Any problems or plan discrepancies must be reported to the landscape architect.
- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be twenty-four (24) inches minimum.
- Install dielectric fittings whenever dissimilar metals are joined.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades. Valve boxes shall be tan in color.
- Control valve wire shall be #14 single conductor, white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wire that runs the length of the mainline and to the controller. All wiring shall be UF-UL rated. All

connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.

- Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks.

- Quick couplers shall be a Rain Bird 44NP (Purple) with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.

- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.

- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be eighteen (18) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.

- Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the planting areas. No tees, elbows, or changes in direction shall occur under hardscape.

- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.

- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible. This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.

- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.

- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.

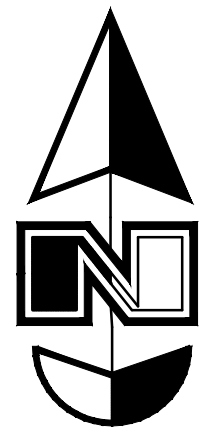
- The irrigation system design is based on the operating pressure shown on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.

- Provide and install all manufacturer's recommended surge and lightning protection equipment on all controllers.

- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.

- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

Scale: 1" = 20'



Main Service Line and Other Irrigation Components Are Shown in Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes:

- See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting Details.
- See Sheet L3.1 for Irrigation Details.
- All Irrigation Boxes Shall be Tan in Color.
- Onsite Storage of Landscape/Irrigation Materials and Equipment Should Not Block More Than 3 Parking Stalls Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
- Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
- From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
- A Static Pressure of psi was Reported in the Area. The Irrigation System was Designed for a Minimum of psi.

Irrigation Plan

MACU Santaquin

209 East Main Street
Santaquin, Utah County, Utah

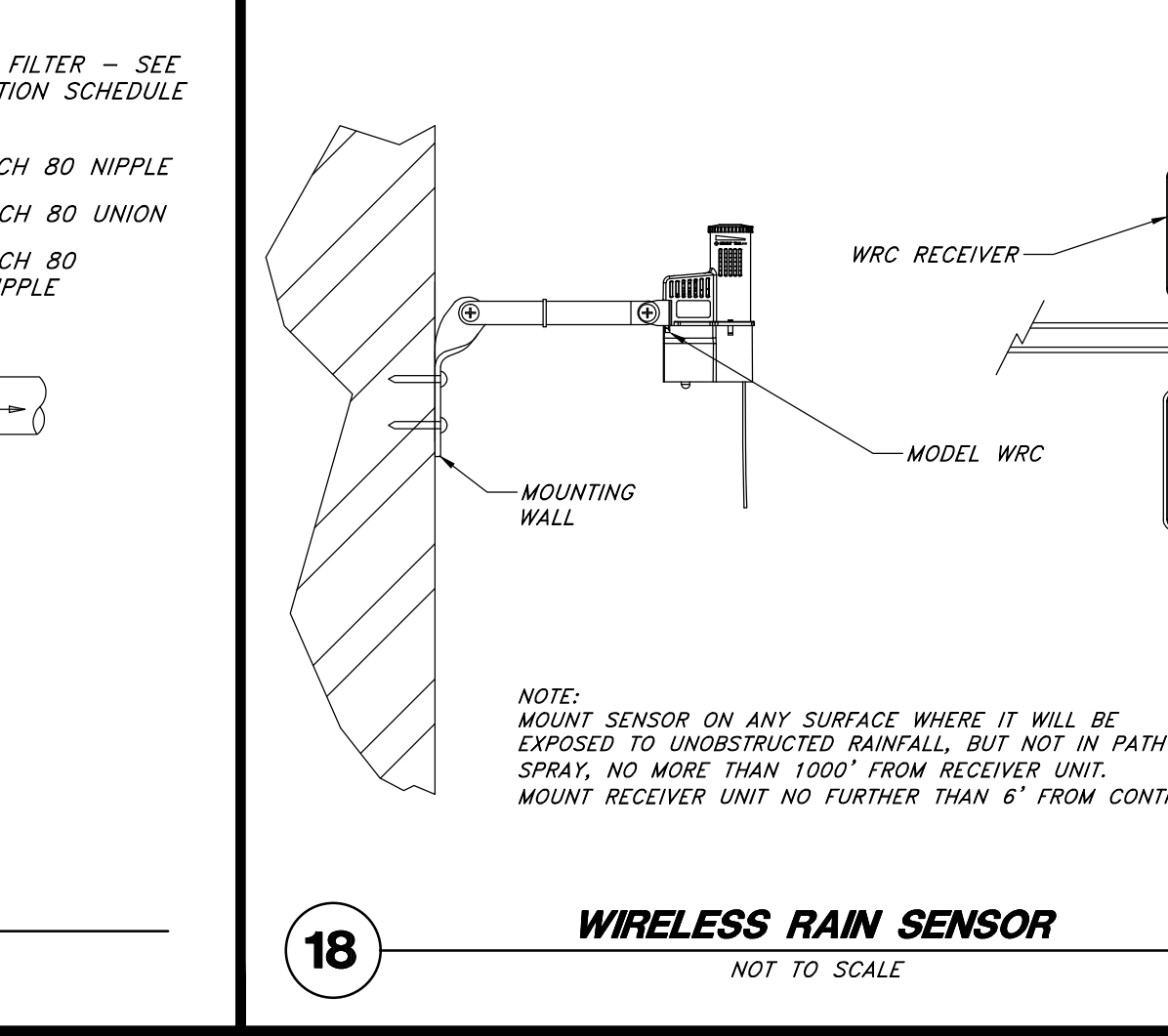
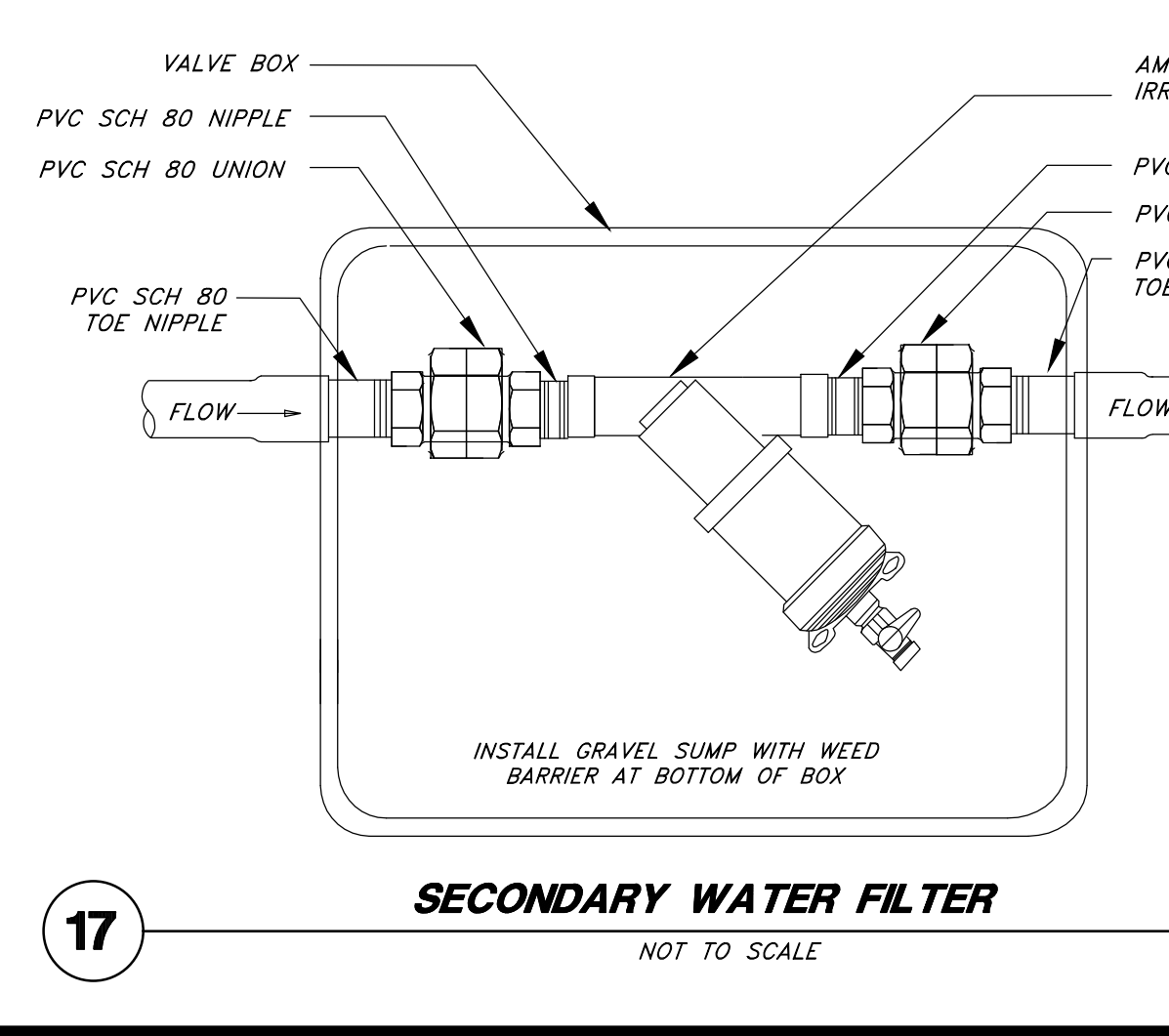
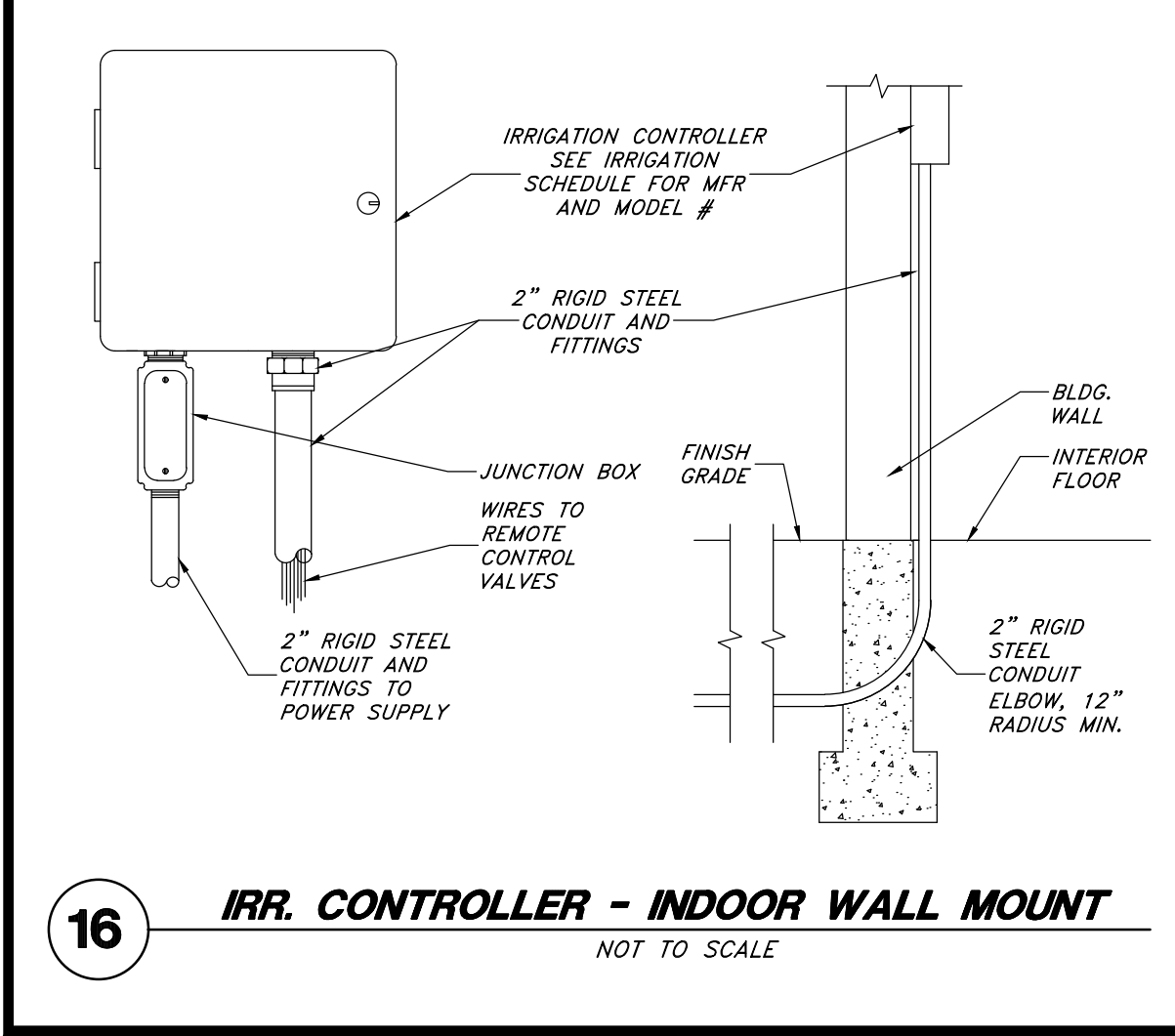
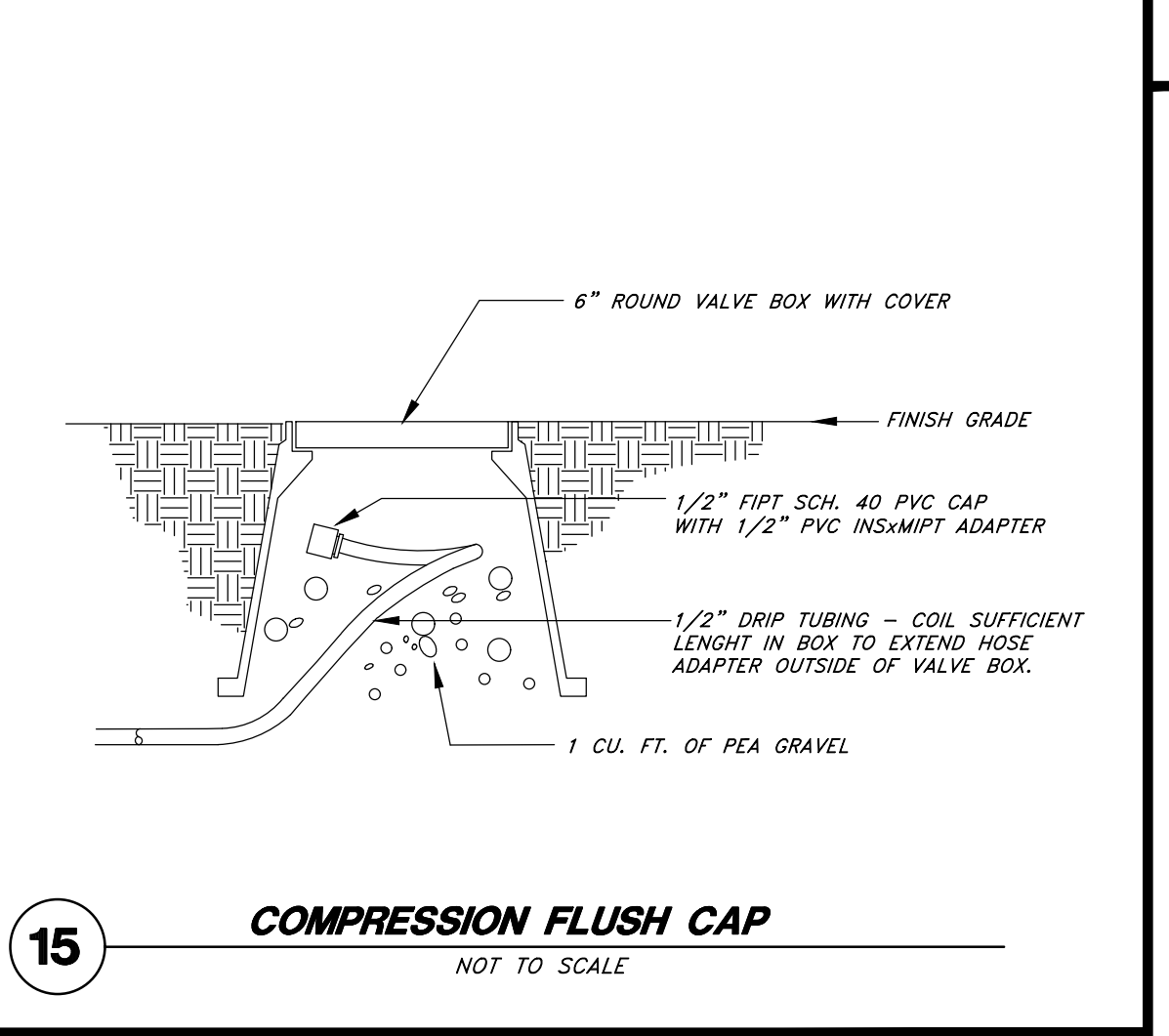
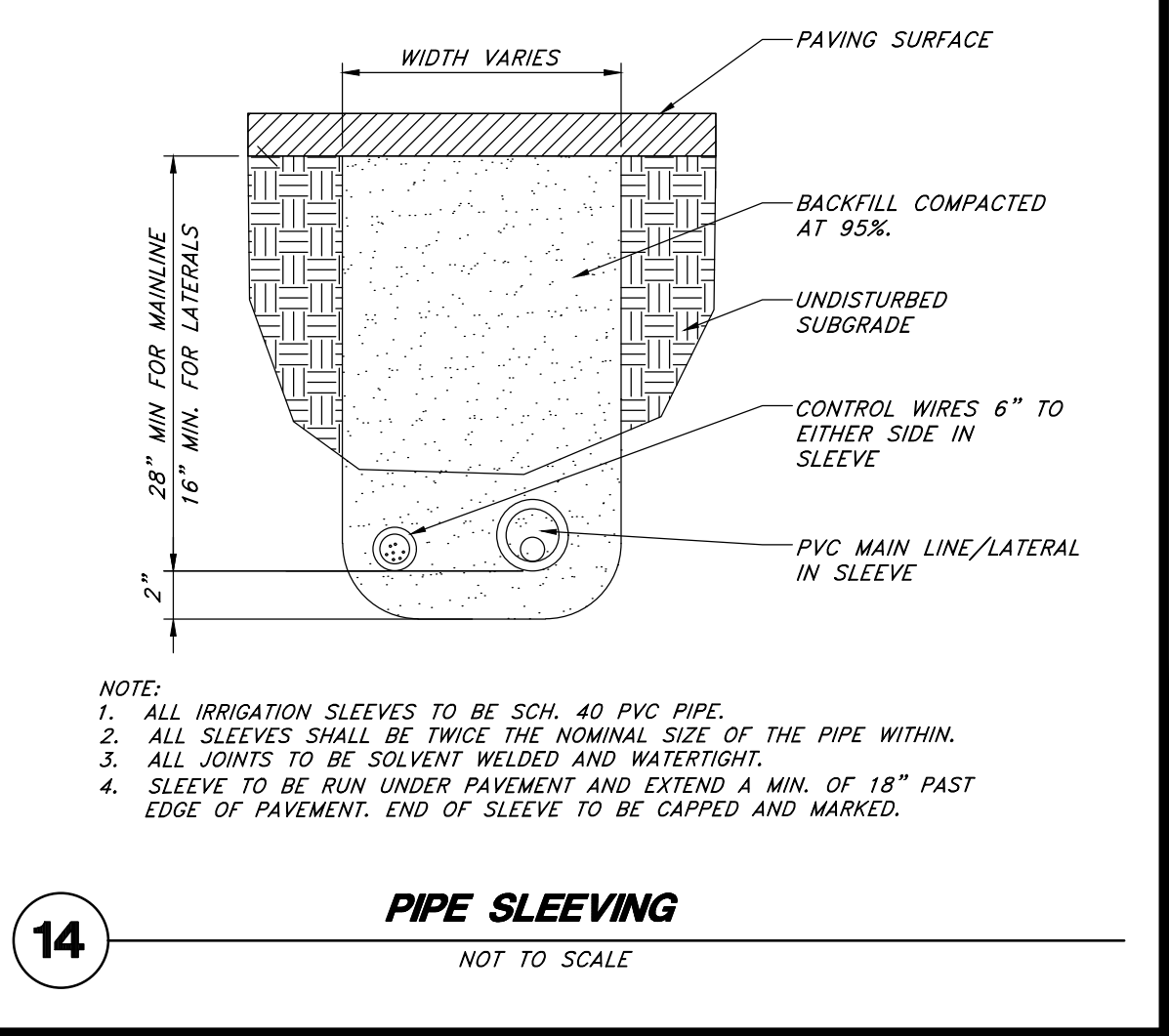
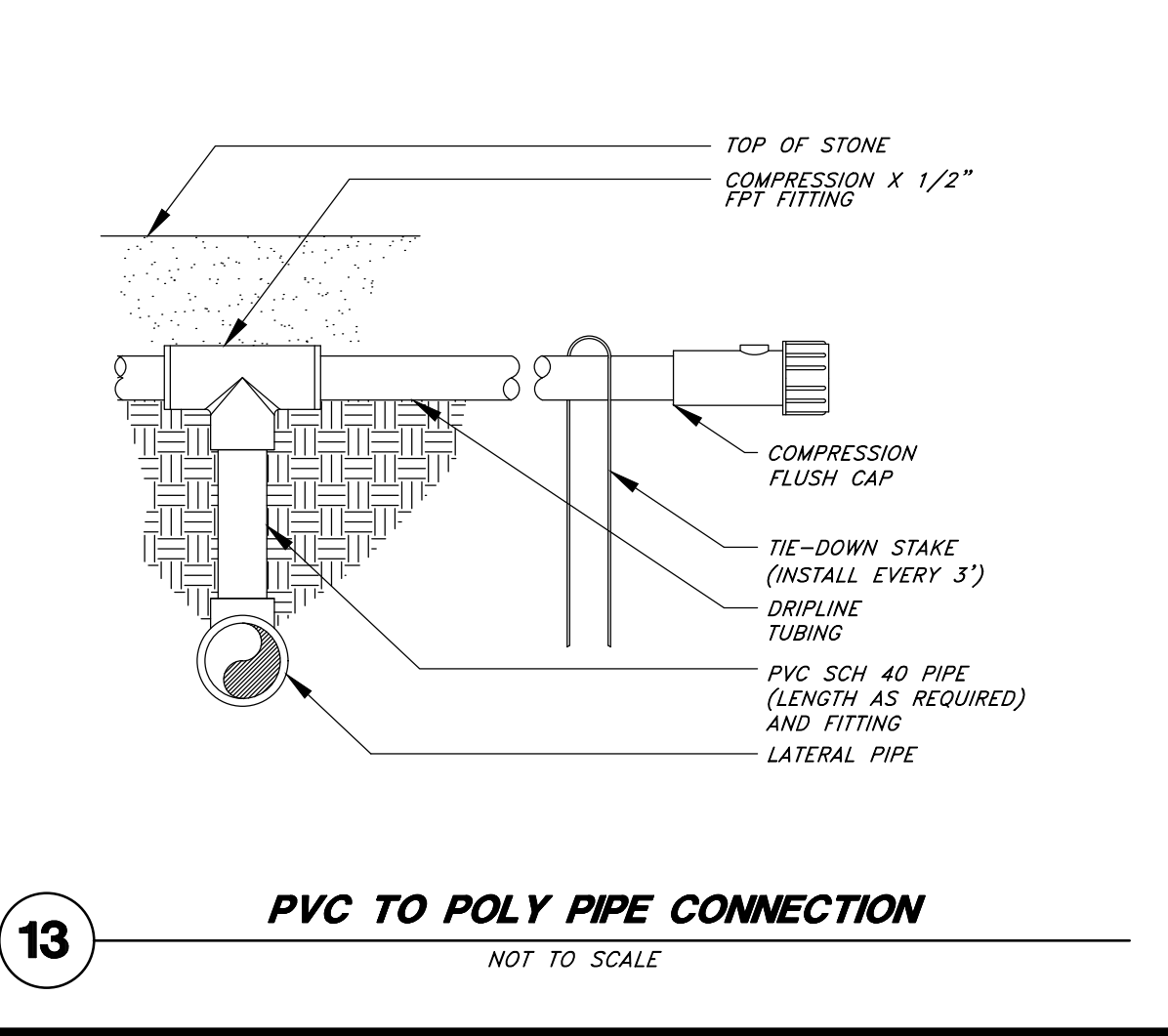
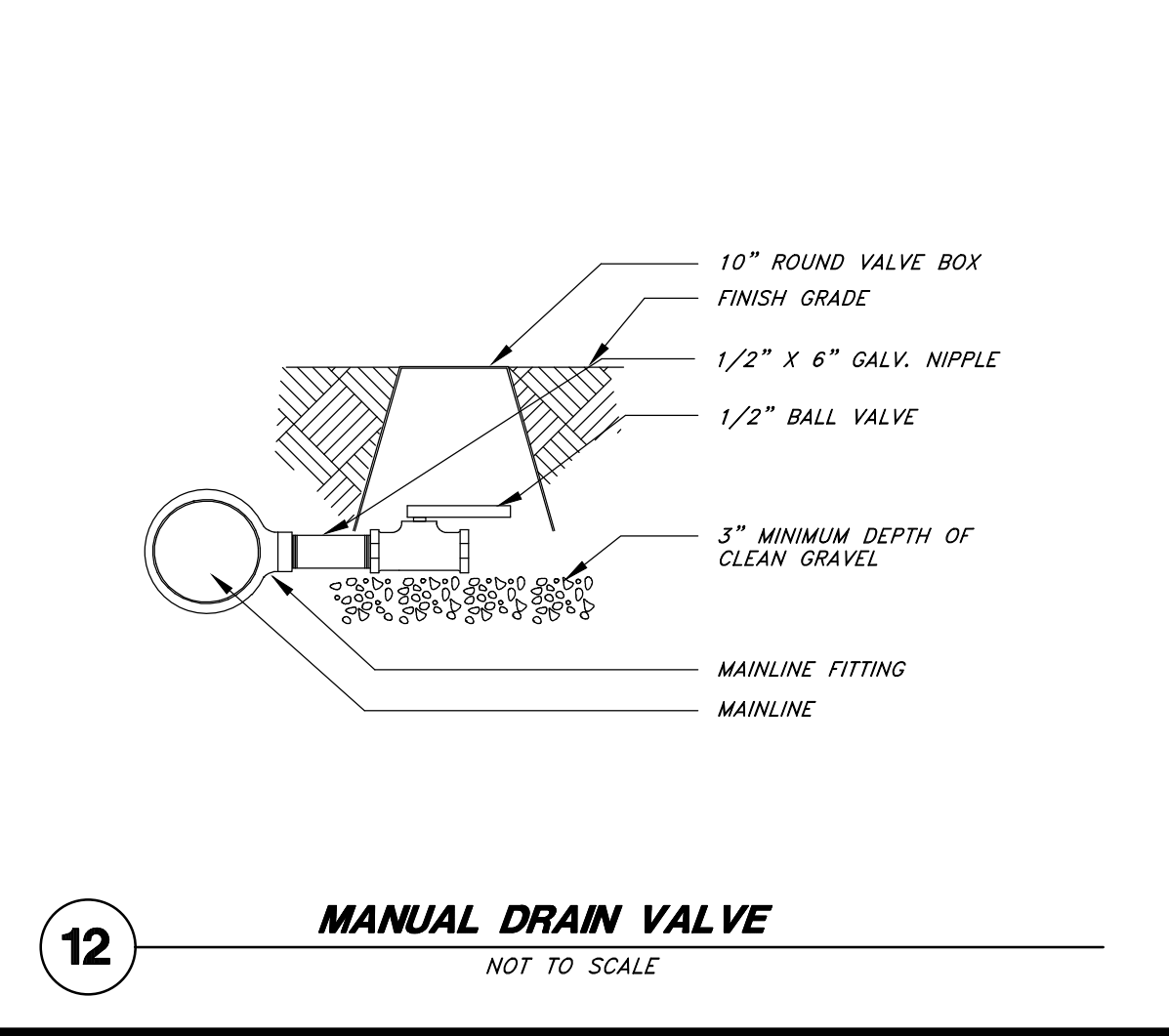
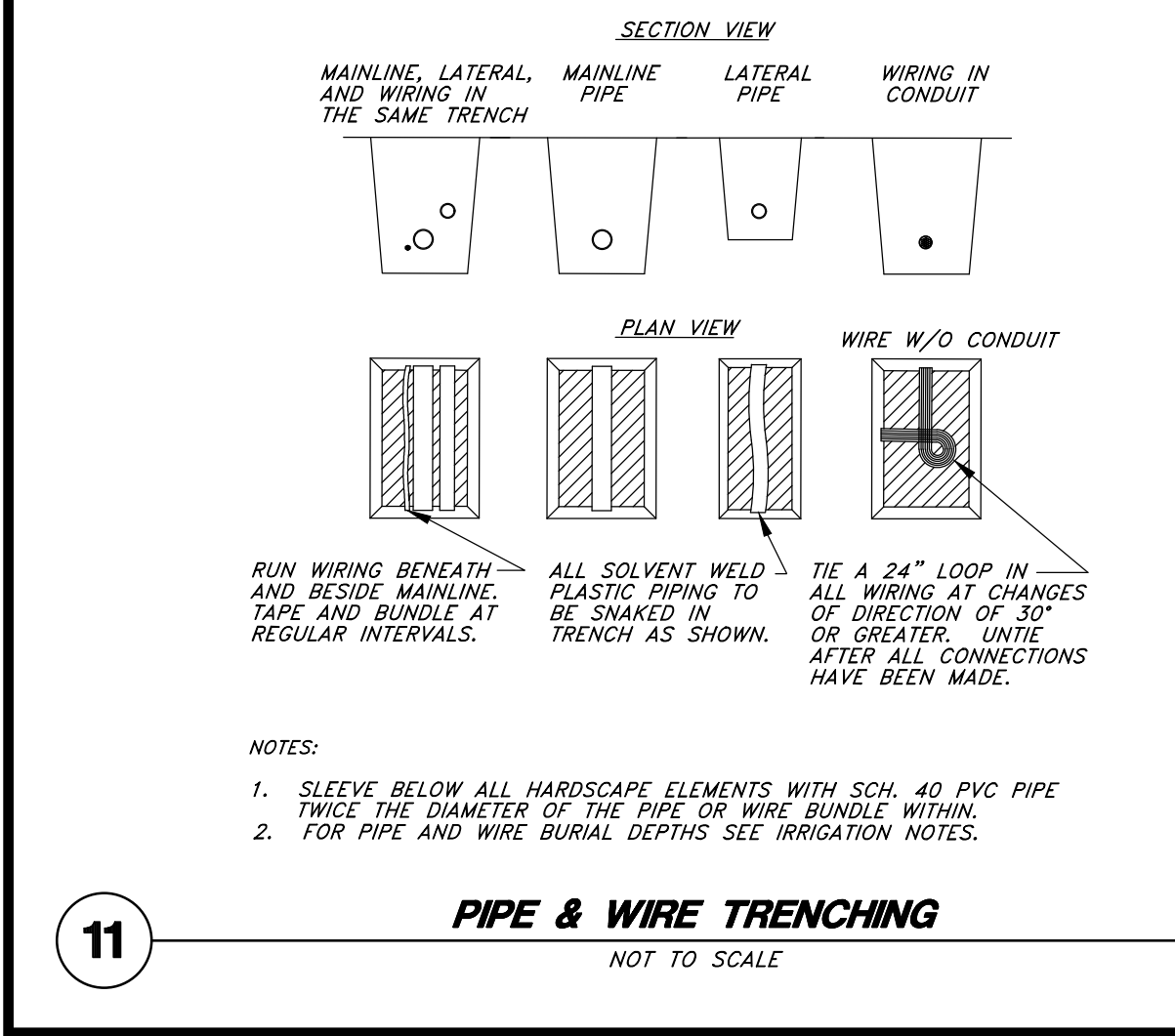
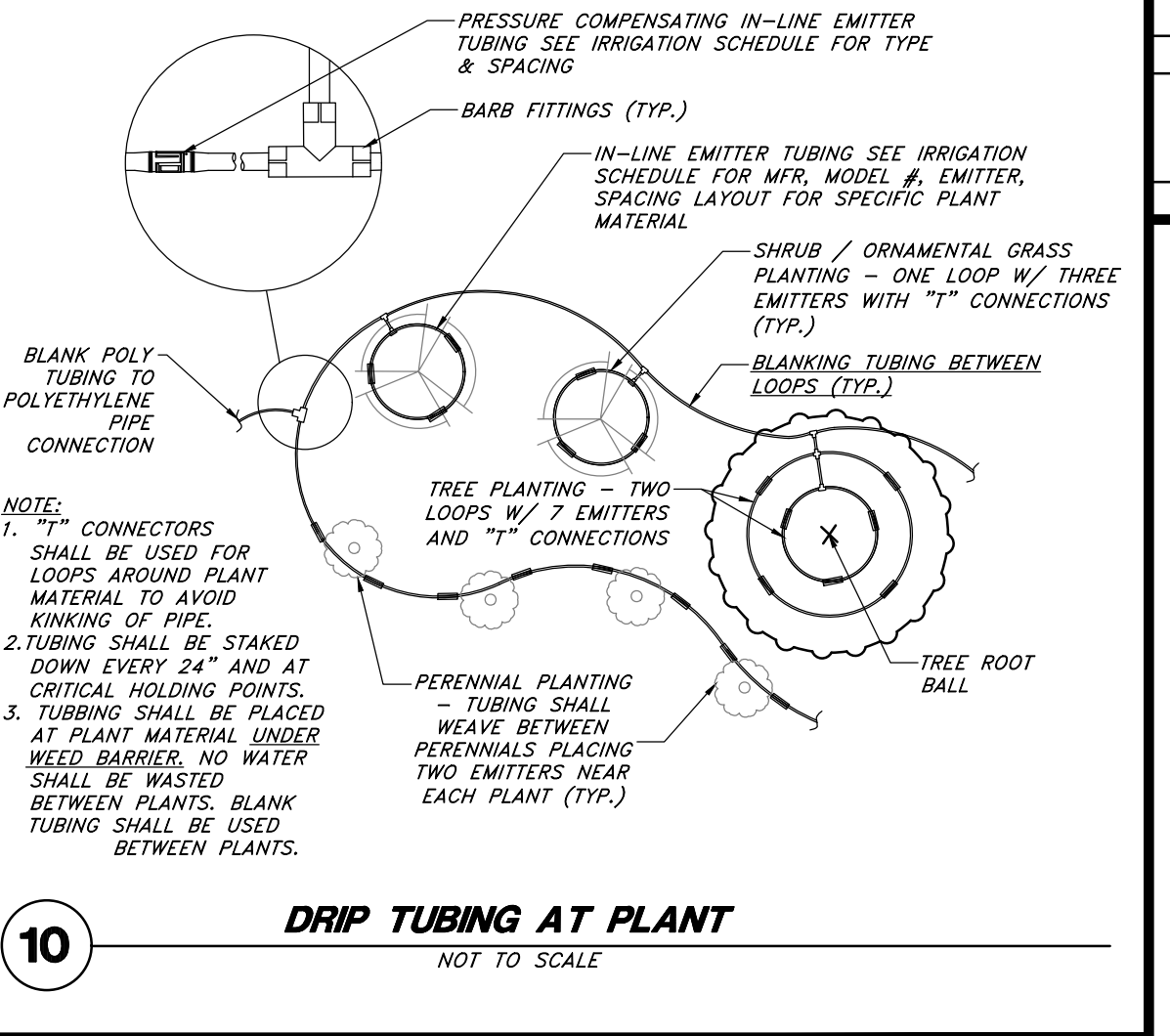
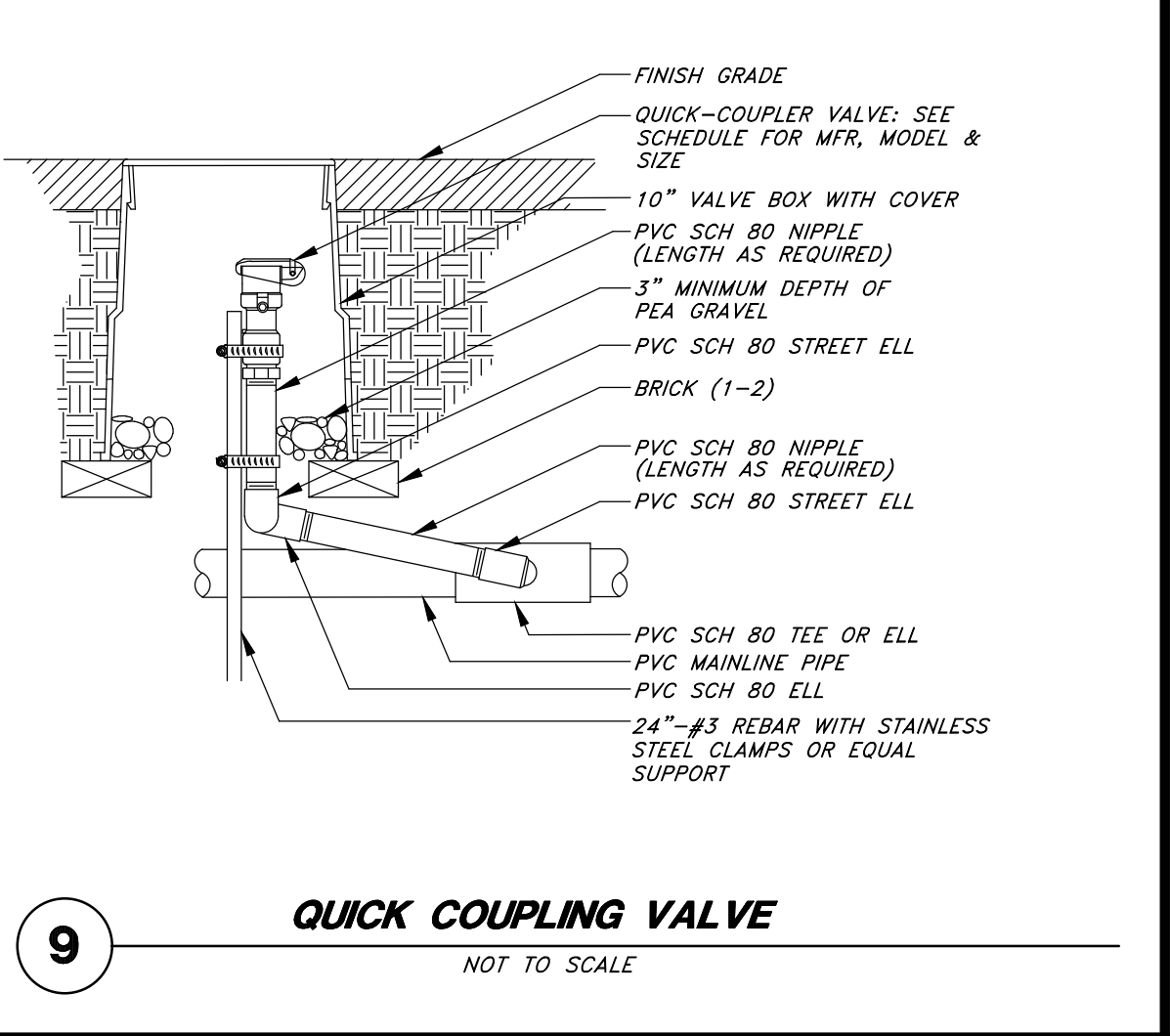
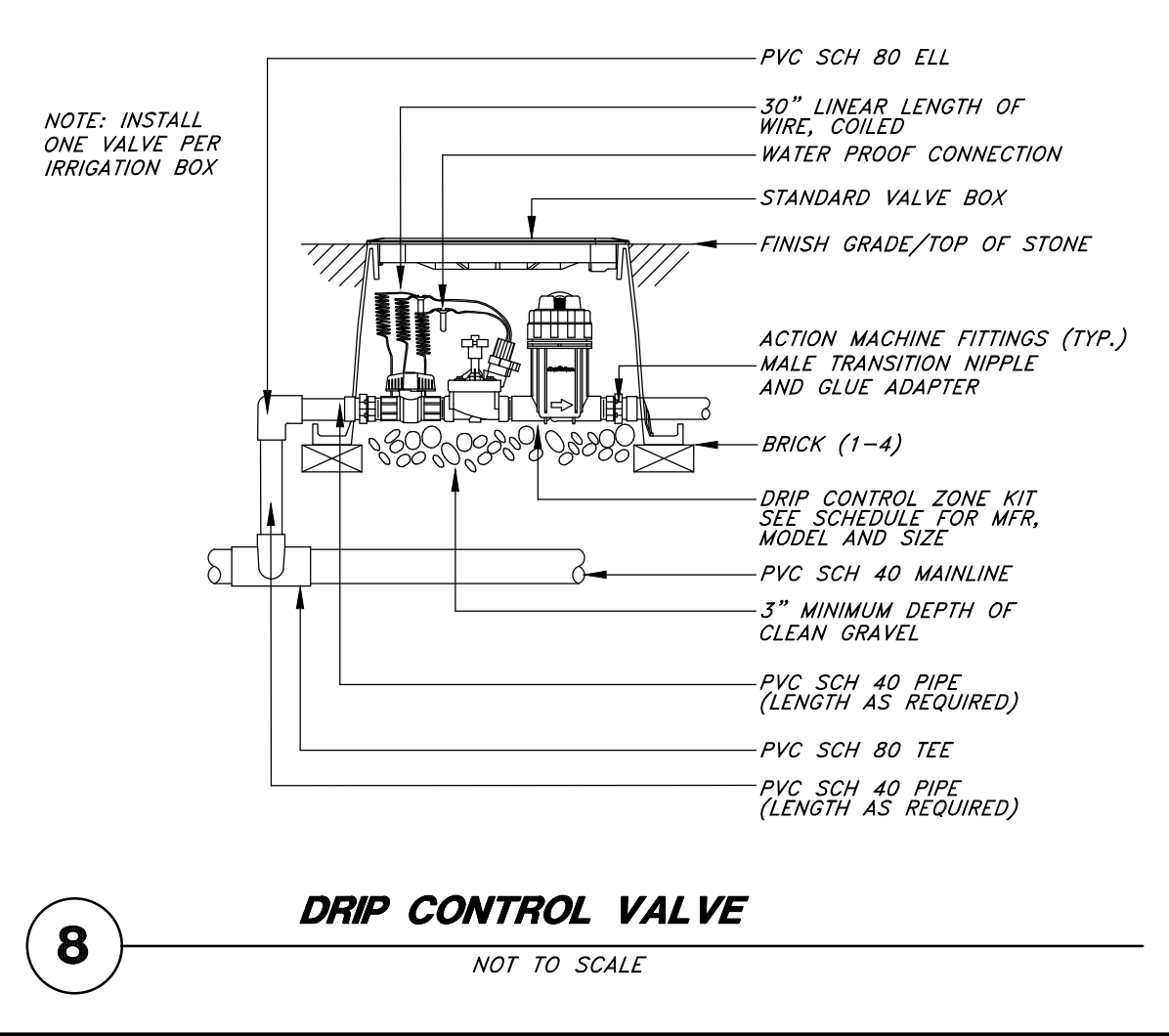
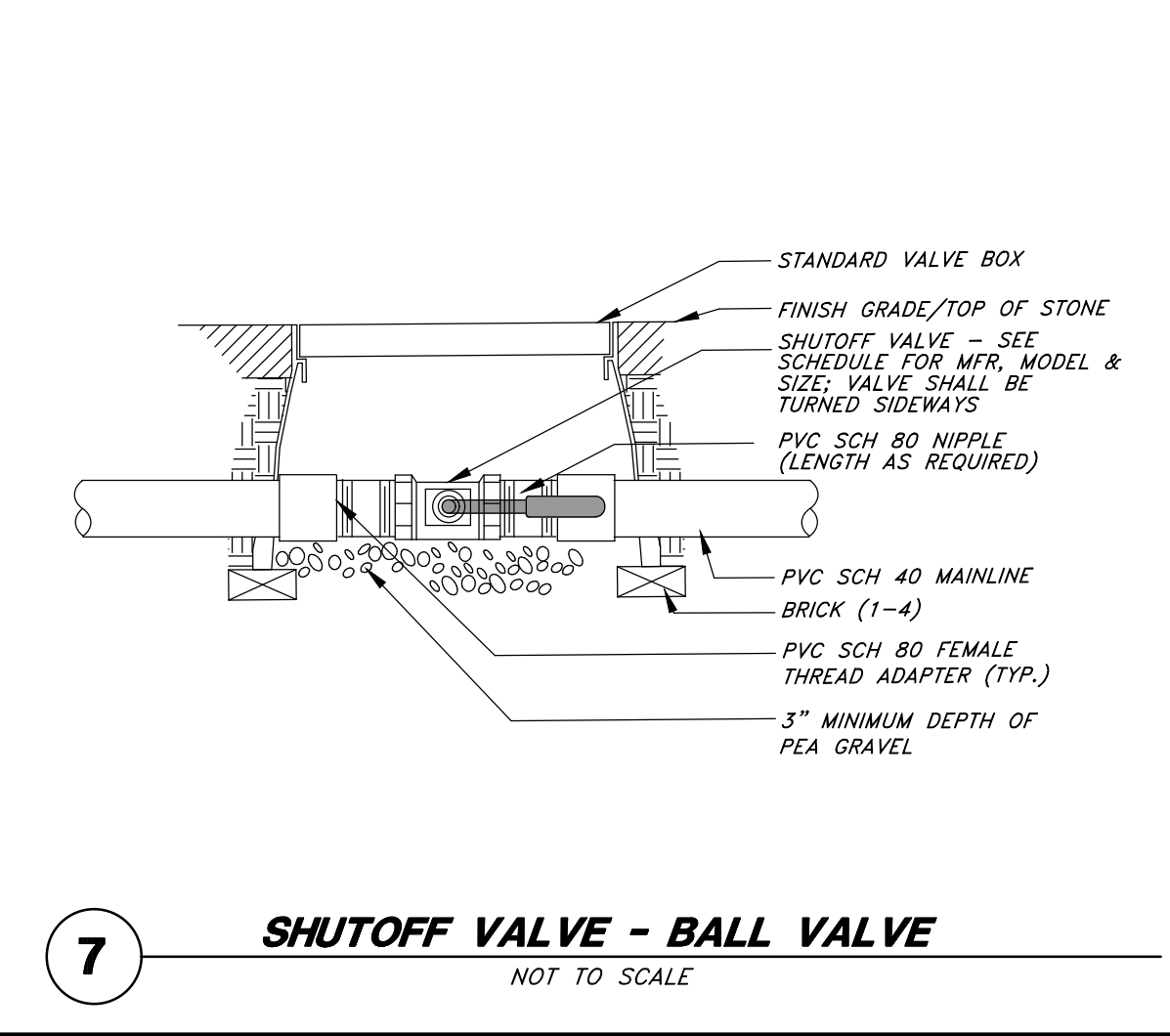
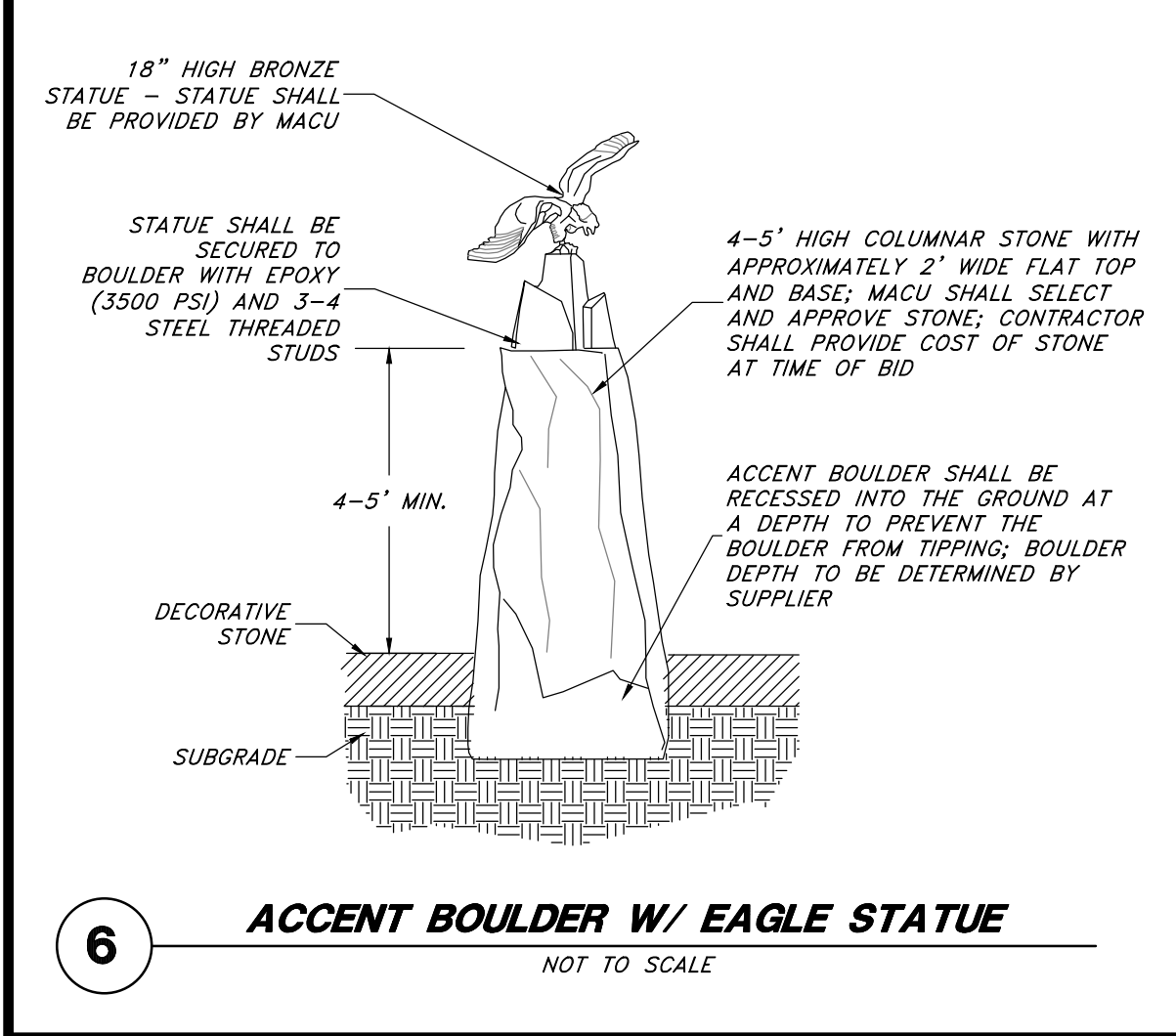
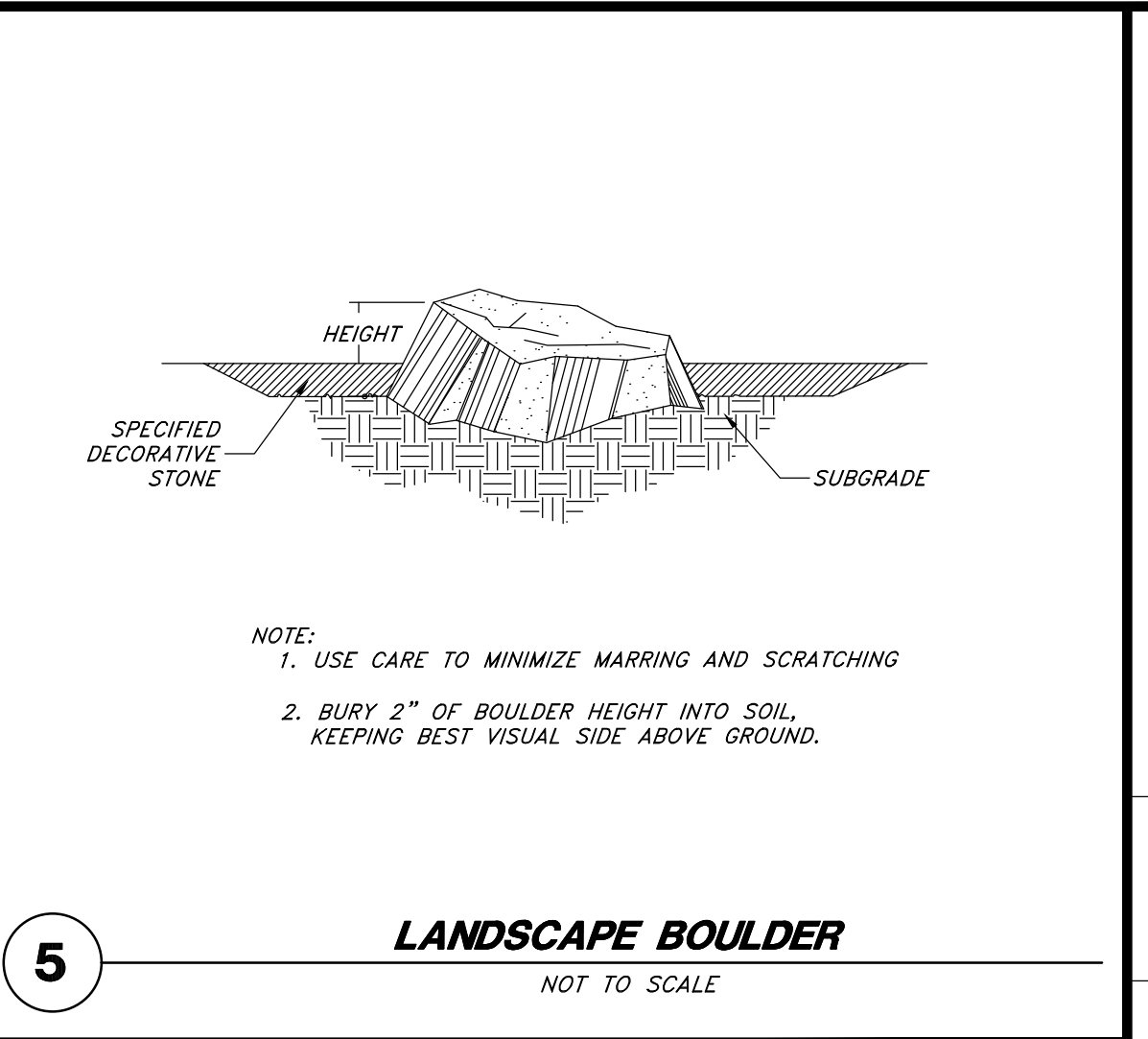
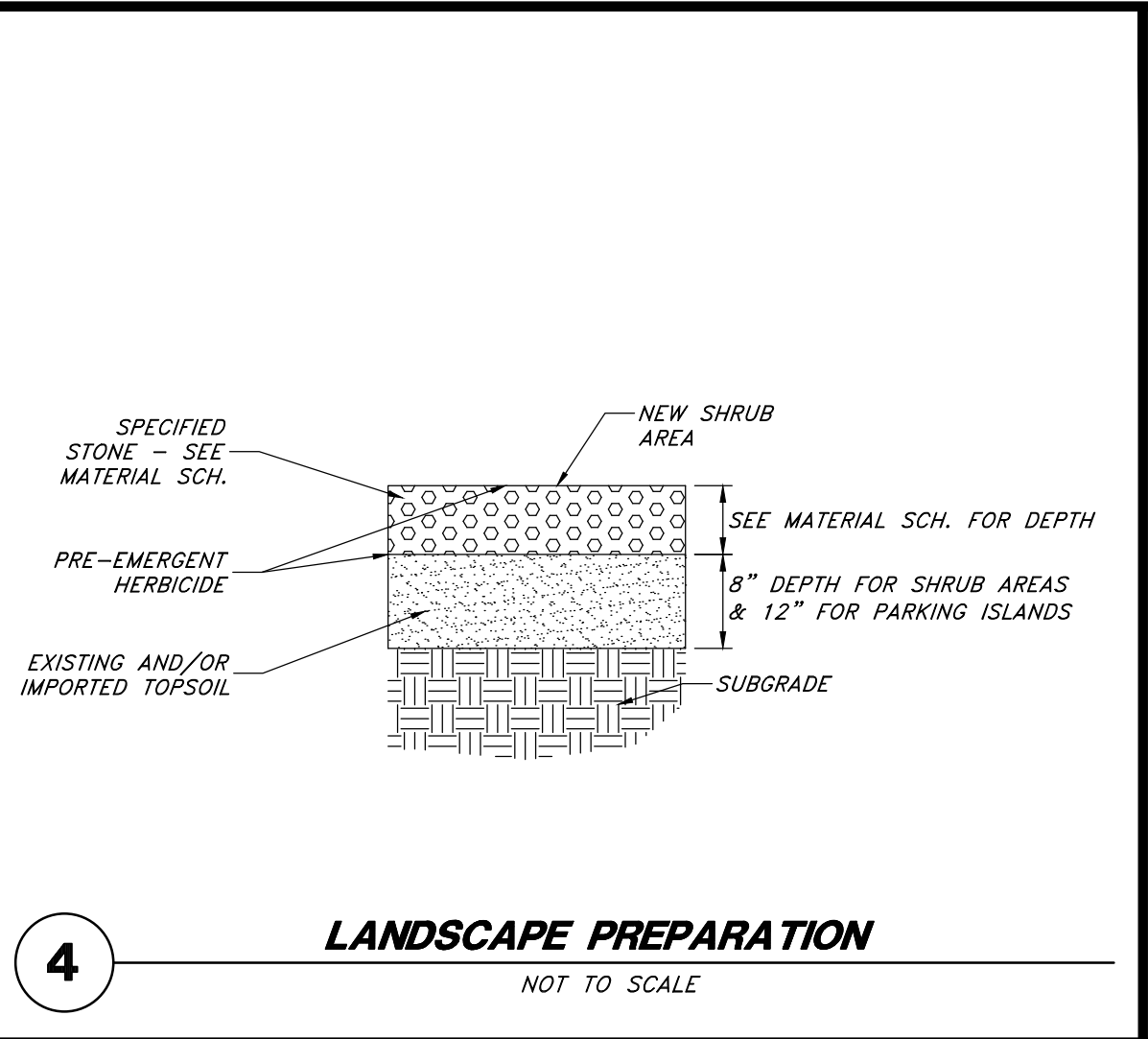
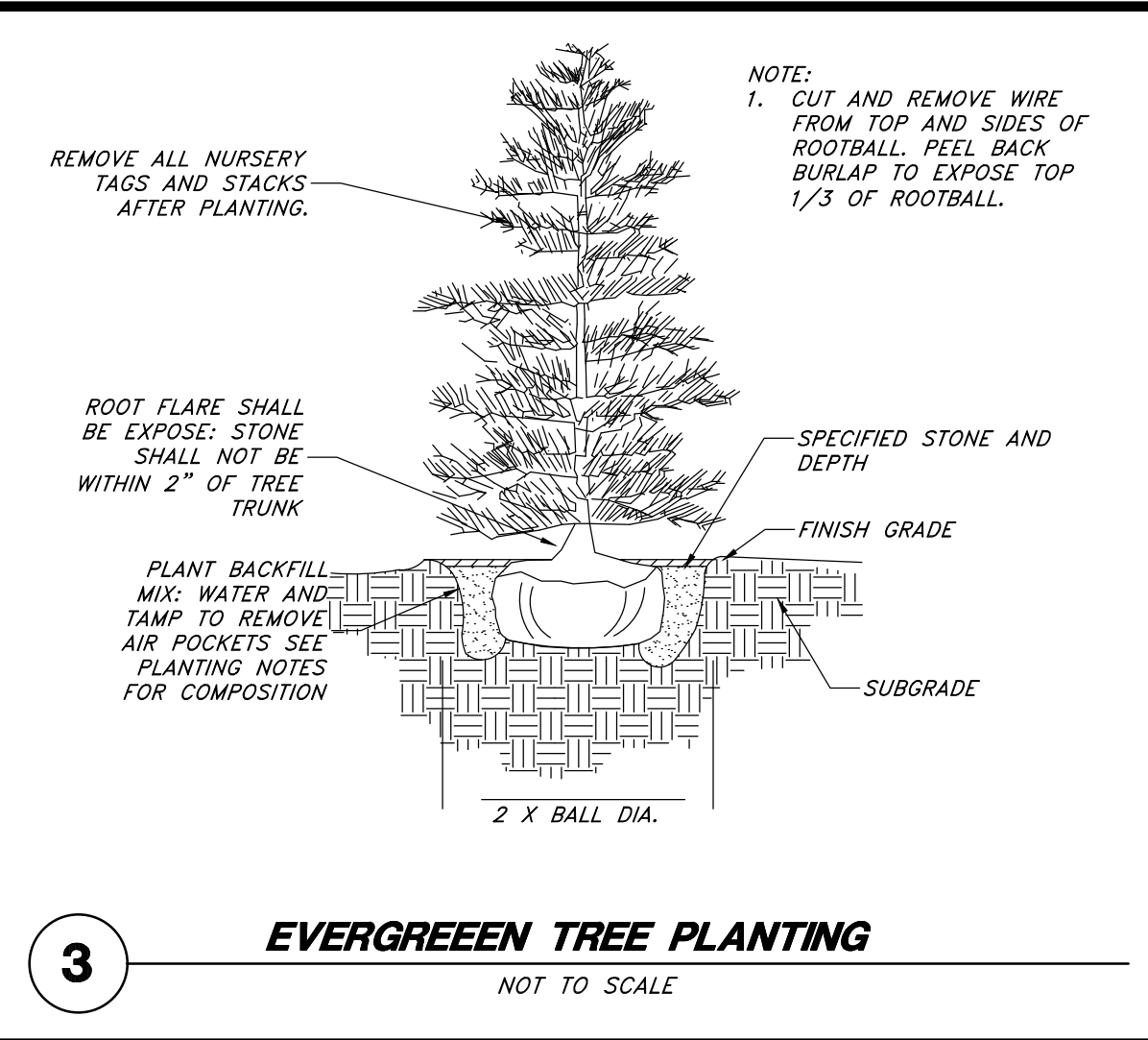
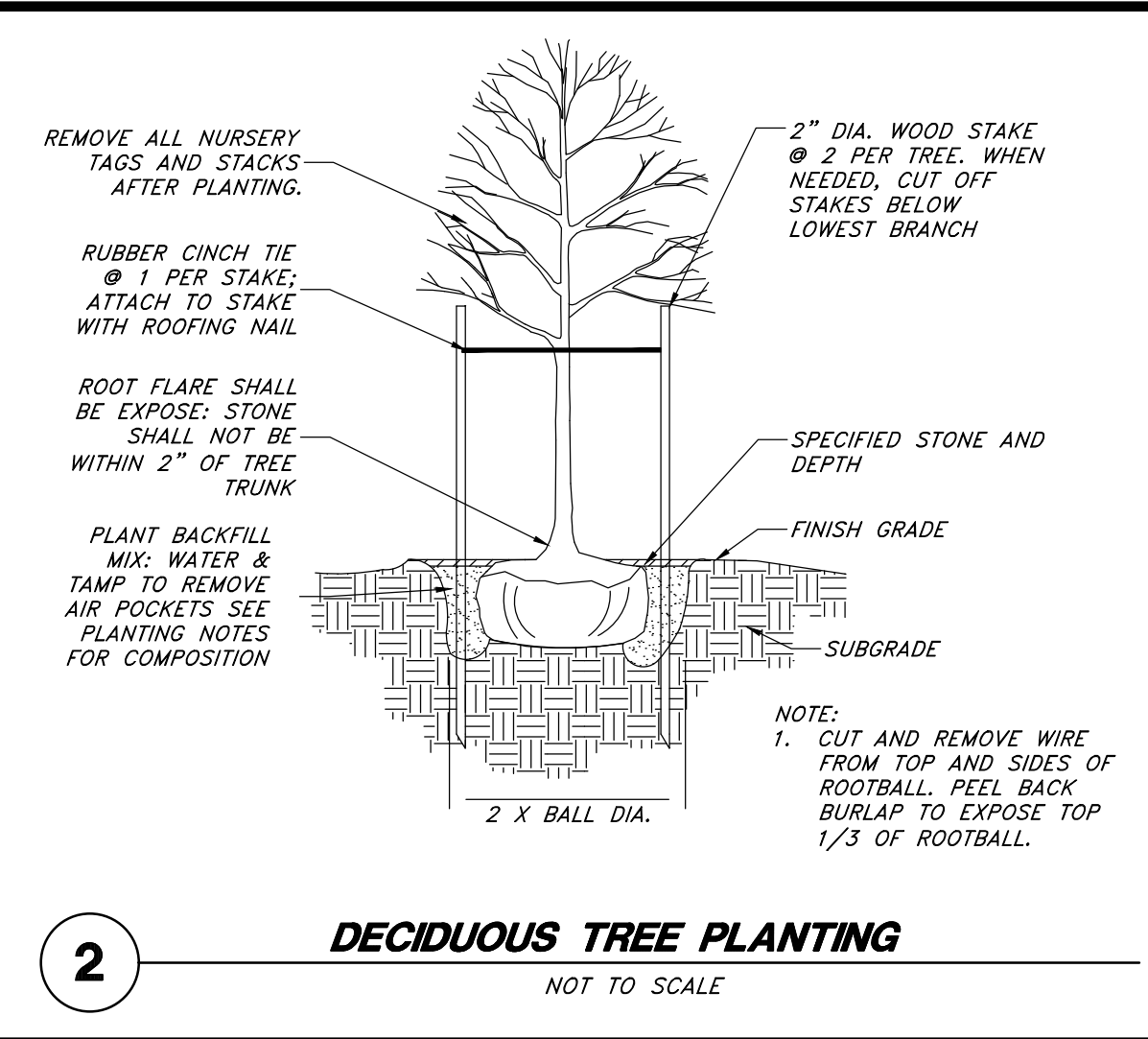
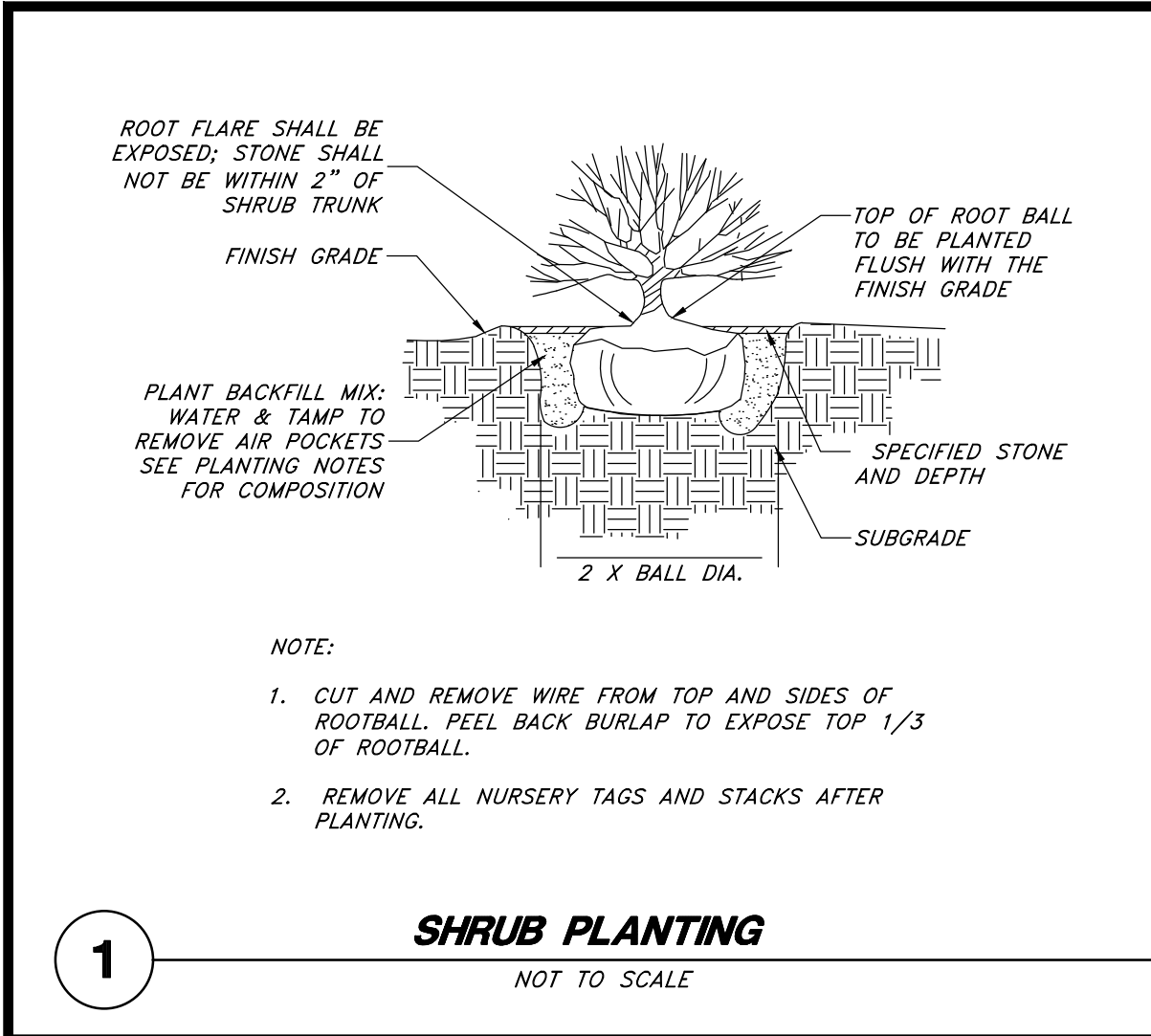


Know what's below.
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20 Mar, 2025

SHEET NO.

L2.1

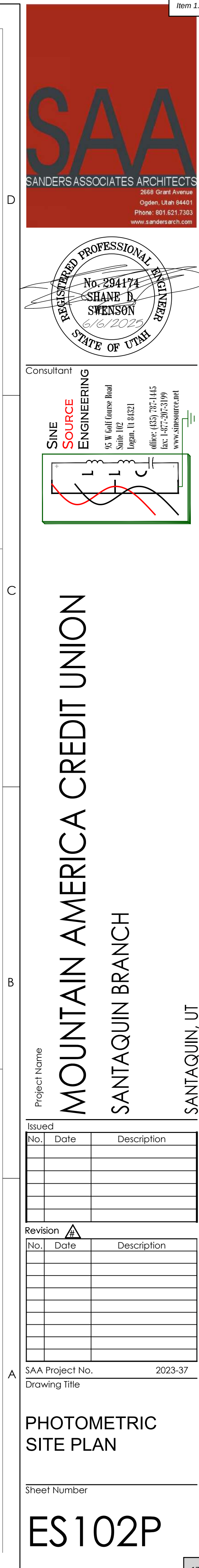
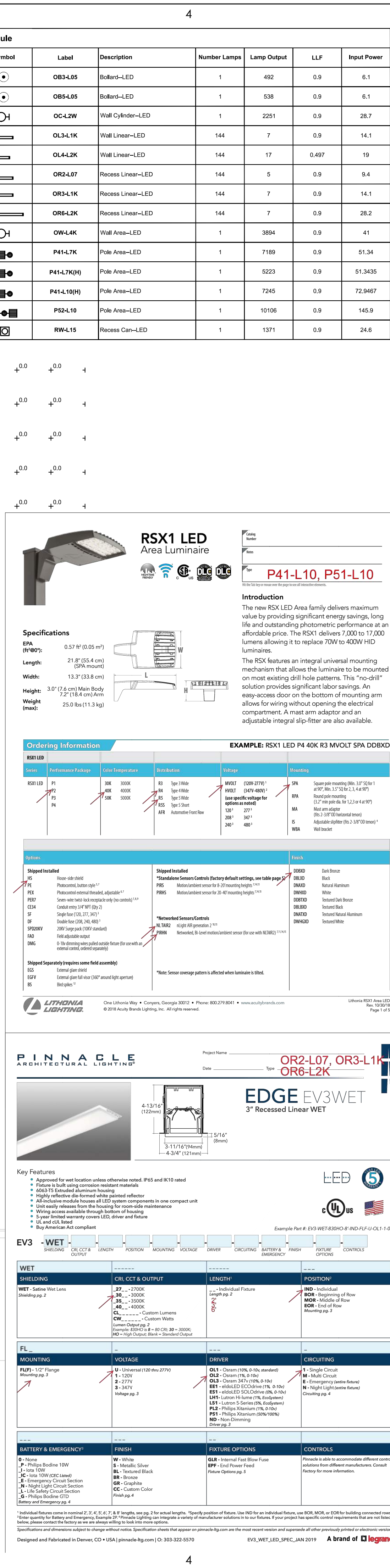


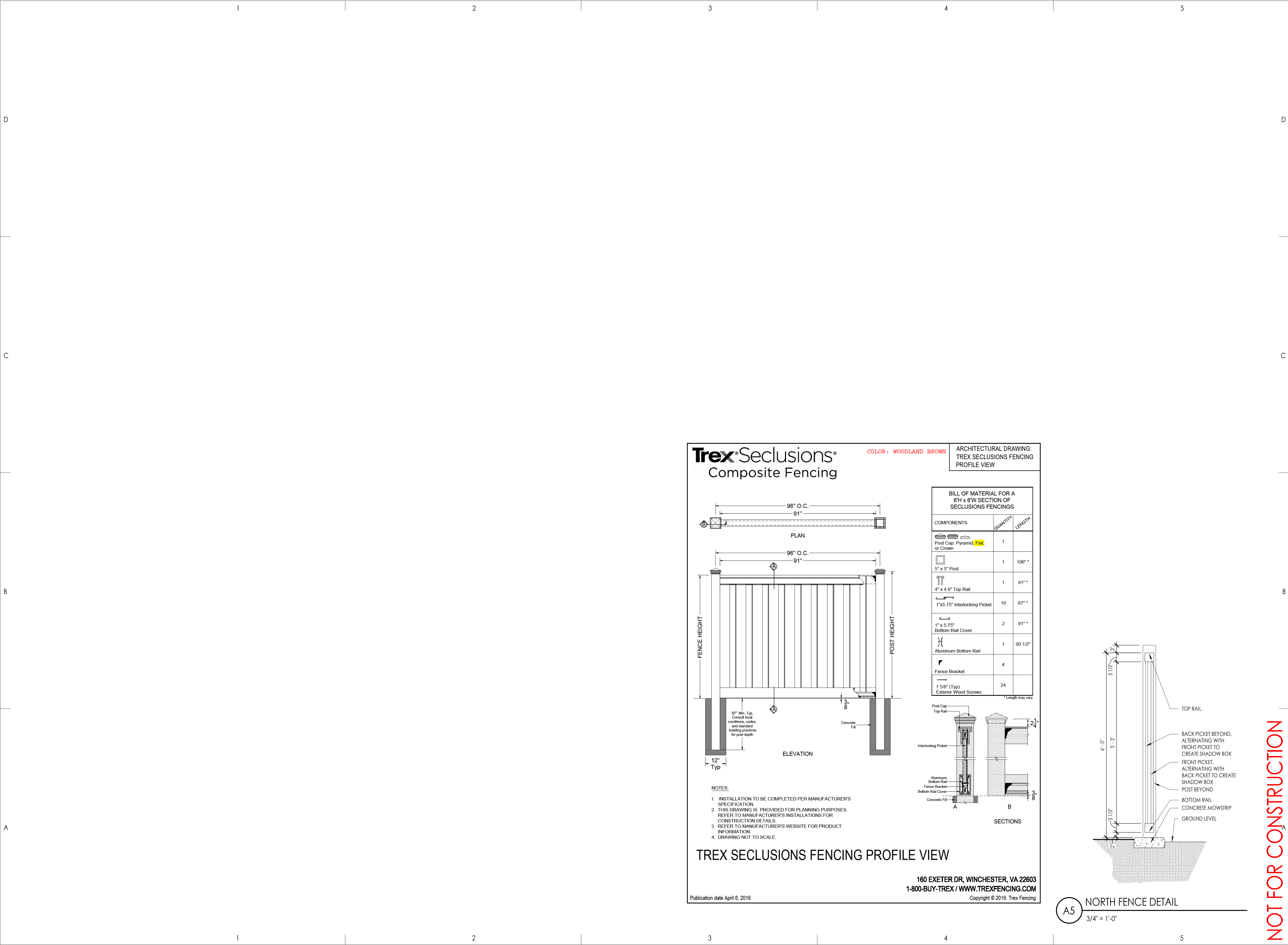
Designed by: LC
Drafted by: SR
Client Name: MACU
24-092 IR

MACU Santaquin
209 East Main Street
Santaquin, Utah County, Utah

811
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SHEET NO.
L3.1





Consultant

Project Name
MOUNTAIN AMERICA CREDIT UNION
SANTAQUIN BRANCH
209 EAST MAIN STREET
SANTAQUIN, UT

Issued		
No.	Date	Description

Revision		
No.	Date	Description

SAA Project No. 2024-40
Drawing Title

ARCHITECTURAL SITE
DETAILS

Sheet Number

AS100

BUILDING MATERIAL PERCENTAGES

- NORTH ELEVATION
 - 1. STONE: 27% ($335 / 1239$ sf = 0.27)
 - 2. LAP SIDING: 64% (792 sf / 1239 sf = 0.64)
 - 3. METAL PANEL: 3% (42 sf / 1239 sf = 0.03)
 - 4. GLAZING: 6% (70 sf / 1239 sf = 0.06)
- WEST ELEVATION
 - 1. STONE: 52% (923 sf / 1766 sf = 0.52)
 - 2. LAP SIDING: 41% (713 sf / 1766 sf = 0.41)
 - 3. METAL PANEL: 1% (153 sf / 1766 sf = 0.09)
 - 4. GLAZING: 15% (259 sf / 1766 sf = 0.15)
- EAST ELEVATION
 - 1. STONE: 32% (560 sf / 1756 sf = 0.32)
 - 2. LAP SIDING: 40% (707 sf / 1756 sf = 0.40)
 - 3. METAL PANEL: 18% (313 sf / 1756 sf = 0.08)
 - 4. GLAZING: 19% (336 sf / 1756 sf = 0.19)
- SOUTH ELEVATION
 - 1. STONE: 30% (417 sf / 1422 sf = 0.30)
 - 2. LAP SIDING: 45% (56 sf / 1422 sf = 0.04)
 - 3. METAL PANEL: 24% (348 sf / 1422 sf = 0.24)
 - 4. GLAZING: 42% (601 sf / 1422 sf = 0.42)

CITY CODE INFORMATION

- GROSS AREA
 1. NORTH ELEVATION = 1,239 SF
 2. WEST ELEVATION = 1,766 SF
 3. EAST ELEVATION = 1,766 SF
 4. SOUTH ELEVATION = 1,422 SF
- NET AREA
 1. NORTH ELEVATION = 1,169 SF
 2. WEST ELEVATION = 1,507 SF
 3. EAST ELEVATION = 1,420 SF
 4. SOUTH ELEVATION = 821 SF
- PRIMARY MATERIAL (STONE)
 1. NORTH ELEVATION = 335 SF (29%)
 2. WEST ELEVATION = 923 SF (61%)
 3. EAST ELEVATION = 560 SF (39%)
 4. SOUTH ELEVATION = 417 SF (51%)
- STONE
 1. TOTAL NET WALL AREA = 4,917 SF
 2. PRIMARY MATERIAL AREA = 2,235 SF
 3. TOTAL BUILDING PERCENTAGE = 45%
- LATHING
 1. TOTAL NET WALL AREA = 4,917 SF
 2. MATERIAL AREA = 1,984 SF
 3. TOTAL BUILDING PERCENTAGE = 40%

Project Name

MOUNTAIN AMERICA CREDIT UNION

SANTAQUIN BRANCH

1209 EAST MAIN STREET
SANTAQUIN, UT

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SAA Project No. 2024-40

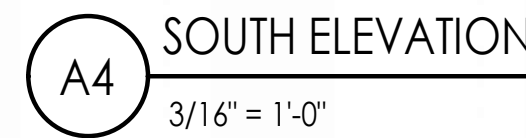
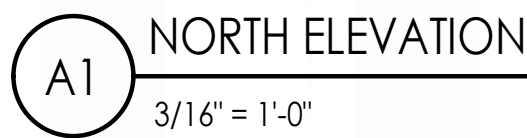
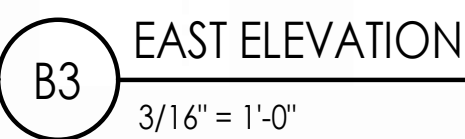
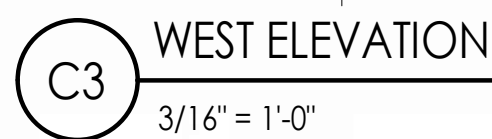
Drawing Title

EXTERIOR ELEVATIONS

Sheet Number _____

AE201

NOT FOR CONSTRUCTION



D



C

C1 NORTHWEST 3D VIEW

3



C4 NORTHEAST 3D VIEW

B



A

A1 SOUTHWEST 3D VIEW

3



A4 SOUTHEAST 3D VIEW

5

Seal

Consultant

Project Name
MOUNTAIN AMERICA CREDIT UNION
SANTAQUIN BRANCH
209 EAST MAIN STREET
SANTAQUIN, UT

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Drawing Title

EXTERIOR 3D VIEWS

Sheet Number

AE202

NOT FOR CONSTRUCTION

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MOUNTAIN AMERICA CREDIT UNION
SANTAQUIN BRANCH
209 EAST MAIN STREET
SANTAQUIN, UT

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CITY REQUIRED
EXTERIOR 3D VIEWS

Sheet Number

AE203



C3 200' EXTERIOR 3D VIEW



A3 50' EXTERIOR 3D VIEW



CONCEPTUAL RENDERING

MOUNTAIN AMERICA CREDIT UNION - SANTAQUIN BRANCH



LONGBOARD ENTRY SOFFIT
COLOR - DARK FIR



GEOLAM MECHANICAL SCREEN
COLOR - EBONY



ALPOLIC METAL PANEL
COLOR - JBR BRONZE

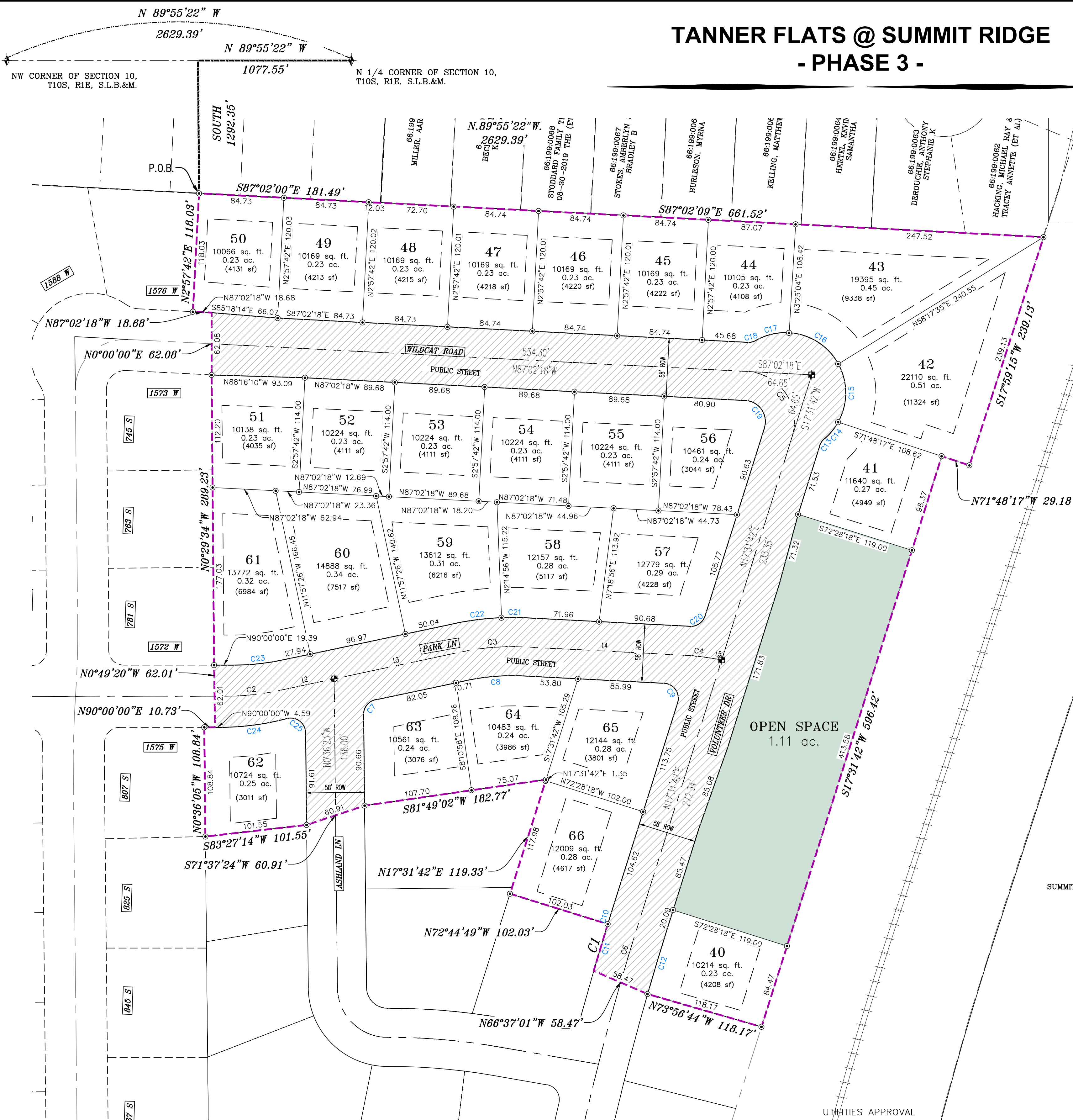


FIBER CEMENT SIDING - CEDAR TEXTURE
COLOR - GRIFFIN



STONE: DELTA STONE
COLOR - IVORY WHITE

TANNER FLATS @ SUMMIT RIDGE - PHASE 3 -



CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	48.59'	2679.00'	48.59'	N16°44'01"E	1°02'21"
C2	52.17'	250.00'	52.08'	N84°01'17"E	11°57'26"
C3	65.12'	250.00'	64.93'	N85°30'17"E	14°55'26"
C4	30.18'	250.00'	30.17'	S83°34'28"E	6°55'04"
C5	91.25'	50.00'	79.10'	N34°45'18"W	10°34'01"
C6	64.44'	2650.00'	64.44'	N16°49'54"E	1°23'36"
C7	20.59'	15.00'	19.01'	S38°43'05"W	78°38'57"
C8	57.56'	221.00'	57.40'	S85°30'17"W	14°55'28"
C9	27.37'	15.00'	23.73'	N34°45'09"W	10°33'43"
C10	12.87'	2679.00'	12.87'	N17°23'27"E	0°16'31"
C11	48.59'	2679.00'	48.59'	N16°44'01"E	1°02'21"
C12	67.42'	2621.00'	67.42'	S16°47'29"W	1°28'26"
C13	8.45'	15.00'	8.34'	S33°39'57"W	32°16'30"

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C14	21.77'	60.00'	21.65'	S39°24'29"W	20°47'27"
C15	60.53'	60.00'	57.99'	S00°06'50"W	57°47'50"
C16	60.53'	60.00'	57.99'	S57°41'01"E	57°47'50"
C17	34.28'	60.00'	33.81'	N77°03'08"E	32°43'52"
C18	8.45'	15.00'	8.34'	N78°49'27"E	32°16'30"
C19	38.33'	21.00'	33.22'	N34°45'18"W	10°34'01"
C20	19.75'	15.00'	18.35'	N55°14'51"E	75°26'17"
C21	25.40'	279.00'	25.39'	S89°38'28"E	51°2'56"
C22	47.27'	279.00'	47.22'	N82°53'49"E	9°42'30"
C23	49.46'	237.00'	49.37'	N84°01'17"E	11°57'26"
C24	67.66'	262.00'	67.47'	S82°36'07"W	14°47'46"
C25	27.28'	15.00'	23.67'	N52°42'05"W	104°11'22"

LINE	LENGTH	DIRECTION
L1	11.17'	N90°00'00"E
L2	57.48'	N78°02'34"E
L3	128.80'	N78°02'34"E
L4	157.57'	S87°02'00"E
L5	8.32'	S80°06'56"E

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____
CENTRACOM _____
CENTURY LINK _____

BASIS OF BEARING

THE BASIS OF BEARING FOR THE TANNER FLATS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE NW CORNER OF SECTION 10 AND THE N 1/4 CORNER OF SECTION 10, T10S, R1E, SLB&M WITH THE BEARING BEING S89°55'22"E ALONG SAID LINE.

QUESTAR GAS COMPANY dba ENDBRIDGE APPROVAL

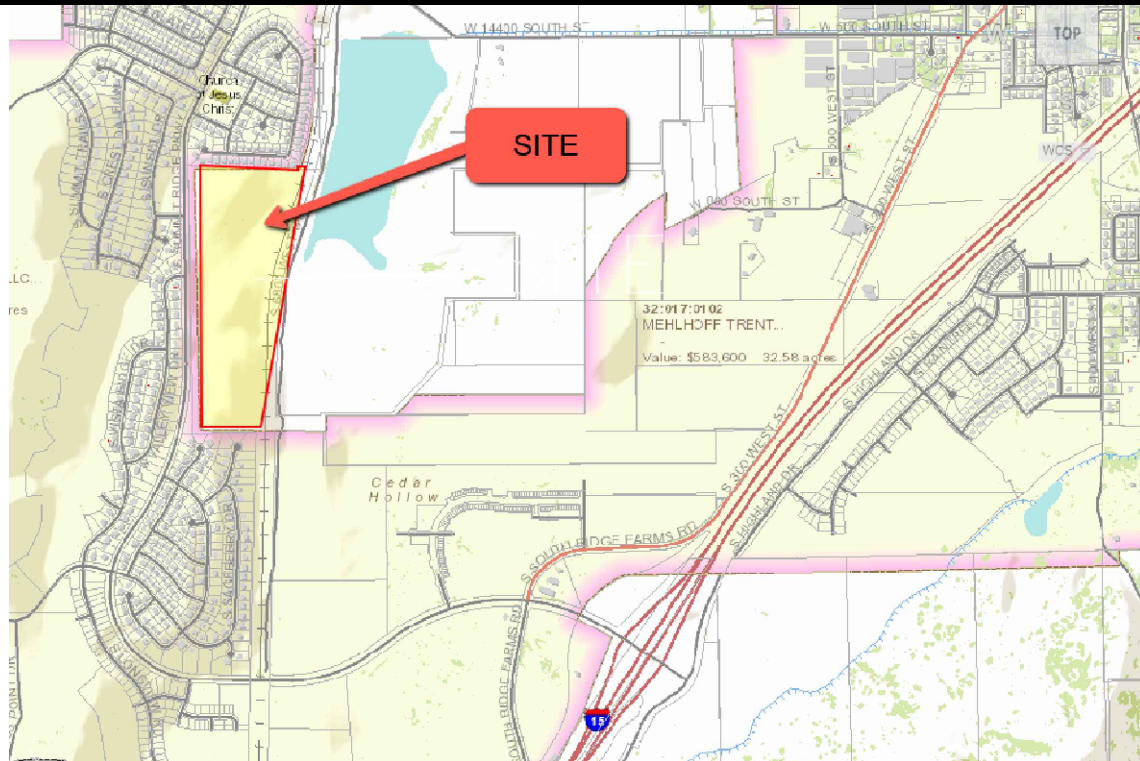
QUESTAR GAS COMPANY dba ENDBRIDGE GAS UTAH APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS ____ DAY OF _____, 20__

QUESTAR GAS COMPANY dba ENDBRIDGE GAS UTAH

BY—

TITLE—



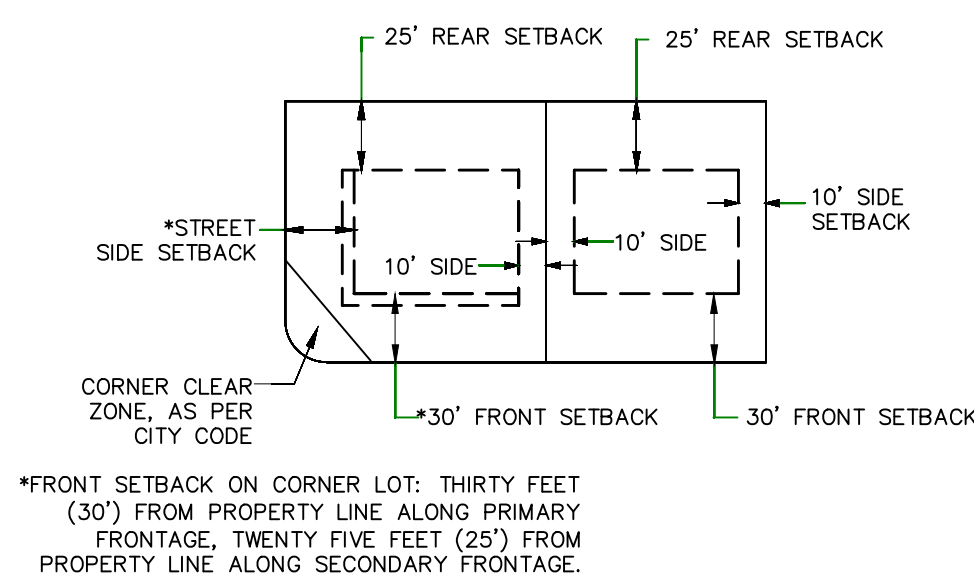
LEGEND

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN
- TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDCBU (4 BOX)
- (4'x8' POSTAL BASEMENT)
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY

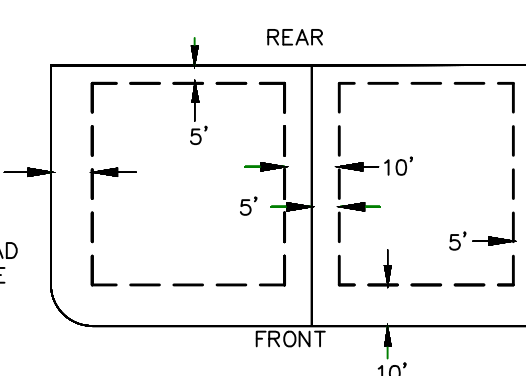
NOTES:

1. ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
2. ... REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS AS PER
3. ... WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
4. ... PROPOSED RESIDENTIAL ADDRESS
5. ... AREA IN PARENTHESIS DENOTES BUILDABLE AREA
6. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

BUILDING SETBACKS (MINIMUM)



PUBLIC UTILITY EASEMENTS



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

TANNER FLATS @ SUMMIT RIDGE - PHASE 3

BEGINNING AT A POINT ON A LINE THAT IS N.89°55'22"W. A DISTANCE OF 1077.55 FEET ALONG THE SECTION LINE AND SOUTH 1292.35 FEET FROM THE NORTH 1/4 CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

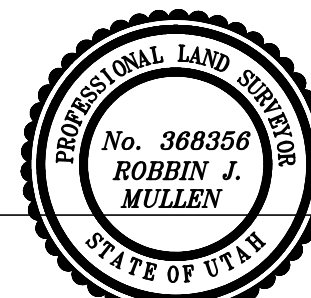
THENCE, S 87° 02' 00" E FOR A DISTANCE OF 181.49 FEET TO A POINT ON A LINE. THENCE, S 87° 02' 09" E FOR A DISTANCE OF 661.52 FEET TO A POINT ON A LINE. THENCE, S 17° 59' 15" W FOR A DISTANCE OF 239.13 FEET TO A POINT ON A LINE. THENCE, N 71° 48' 17" W FOR A DISTANCE OF 29.18 FEET TO A POINT ON A LINE. THENCE, S 17° 31' 42" W FOR A DISTANCE OF 596.42 FEET TO A POINT ON A LINE. THENCE, N 73° 56' 44" W FOR A DISTANCE OF 118.17 FEET TO A POINT ON A LINE. THENCE, N 66° 37' 01" W FOR A DISTANCE OF 58.47 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 01° 02' 21", HAVING A RADIUS OF 2679.00 FEET, AND WHOSE LONG CHORD BEARS N 16° 44' 01" E FOR A DISTANCE OF 48.59 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, N 72° 44' 49" W FOR A DISTANCE OF 102.03 FEET TO A POINT ON A LINE. THENCE, N 17° 31' 42" E FOR A DISTANCE OF 119.33 FEET TO A POINT ON A LINE. THENCE, S 81° 49' 02" W FOR A DISTANCE OF 182.77 FEET TO A POINT ON A LINE. THENCE, S 71° 37' 24" W FOR A DISTANCE OF 60.91 FEET TO A POINT ON A LINE. THENCE, S 83° 27' 14" W FOR A DISTANCE OF 101.55 FEET TO A POINT ON A LINE. THENCE, N 00° 36' 05" W FOR A DISTANCE OF 108.84 FEET TO A POINT ON A LINE. THENCE, N 90° 00' 00" E FOR A DISTANCE OF 10.73 FEET TO A POINT ON A LINE. THENCE, N 00° 49' 20" W FOR A DISTANCE OF 62.01 FEET TO A POINT ON A LINE. THENCE, N 00° 29' 34" W FOR A DISTANCE OF 289.23 FEET TO A POINT ON A LINE. THENCE, N 00° 00' 00" E FOR A DISTANCE OF 62.08 FEET TO A POINT ON A LINE. THENCE, N 87° 02' 18" W FOR A DISTANCE OF 18.68 FEET TO A POINT ON A LINE. THENCE N 02° 57' 42" E A DISTANCE OF 118.03 FEET TO THE POINT OF BEGINNING

CONTAINING 10.91 ACRES OF LAND AND 27 LOTS

May 21, 2025

DATE

ROBBIN J. MULLEN



OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS
DAY OF _____, A.D. 20__

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS ____ DAY OF _____, A.D. 20__, PERSONALLY APPEARED BEFORE ME, _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____

PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____, A.D. 20__

APPROVED MAYOR OF SANTAQUIN _____

ATTEST _____

ENGINEER
(See Seal Below)

CLERK-RECORDER
(See Seal Below)

TANNER FLATS @ SUMMIT RIDGE PHASE 3

UTAH COUNTY, UTAH

SCALE: 1" = 60 FEET

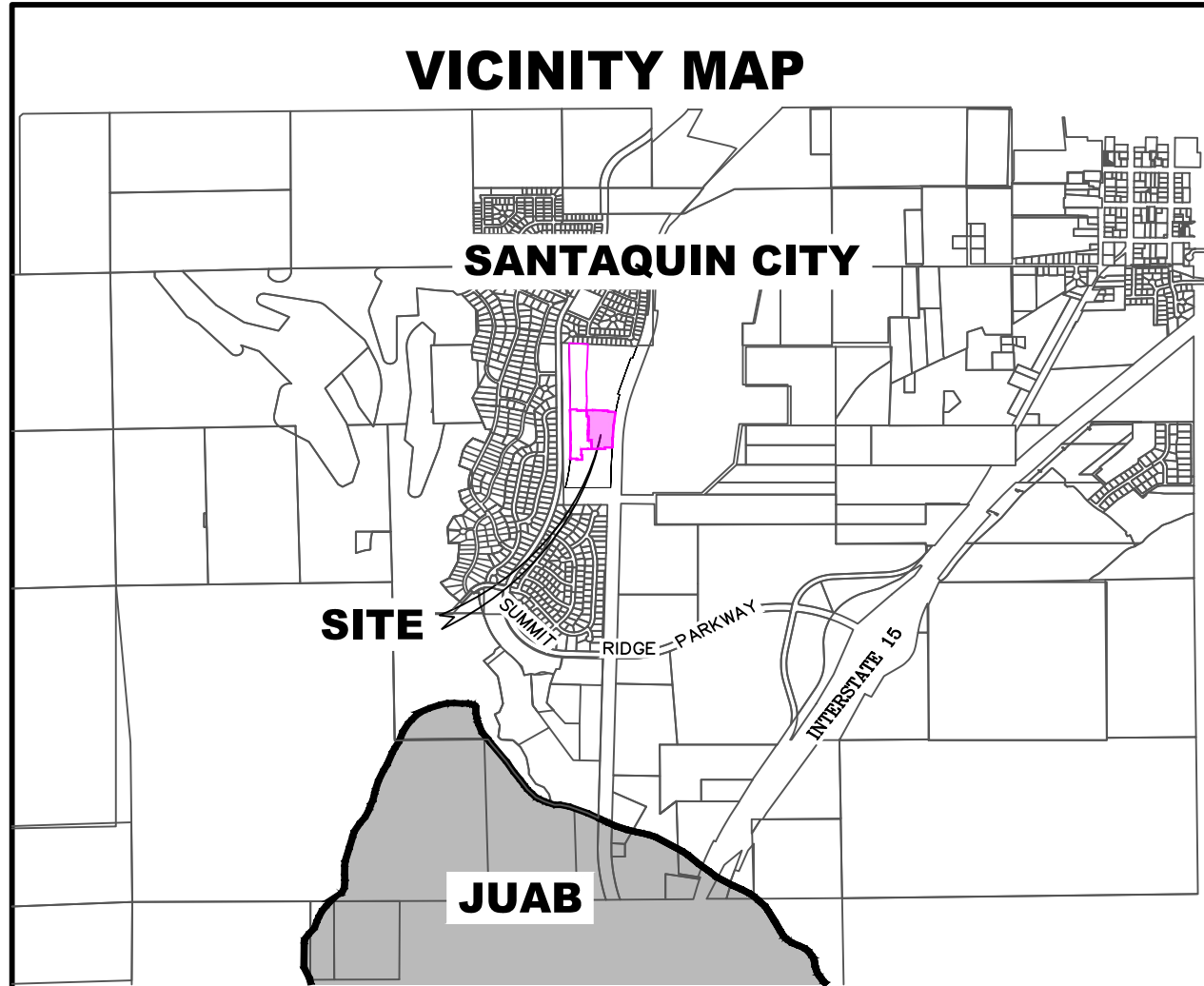
NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

SHEET 1 of 1



ALL IMPROVEMENTS AND DETAILS PER SANTIQUIN CITY CONSTRUCTION STANDARDS

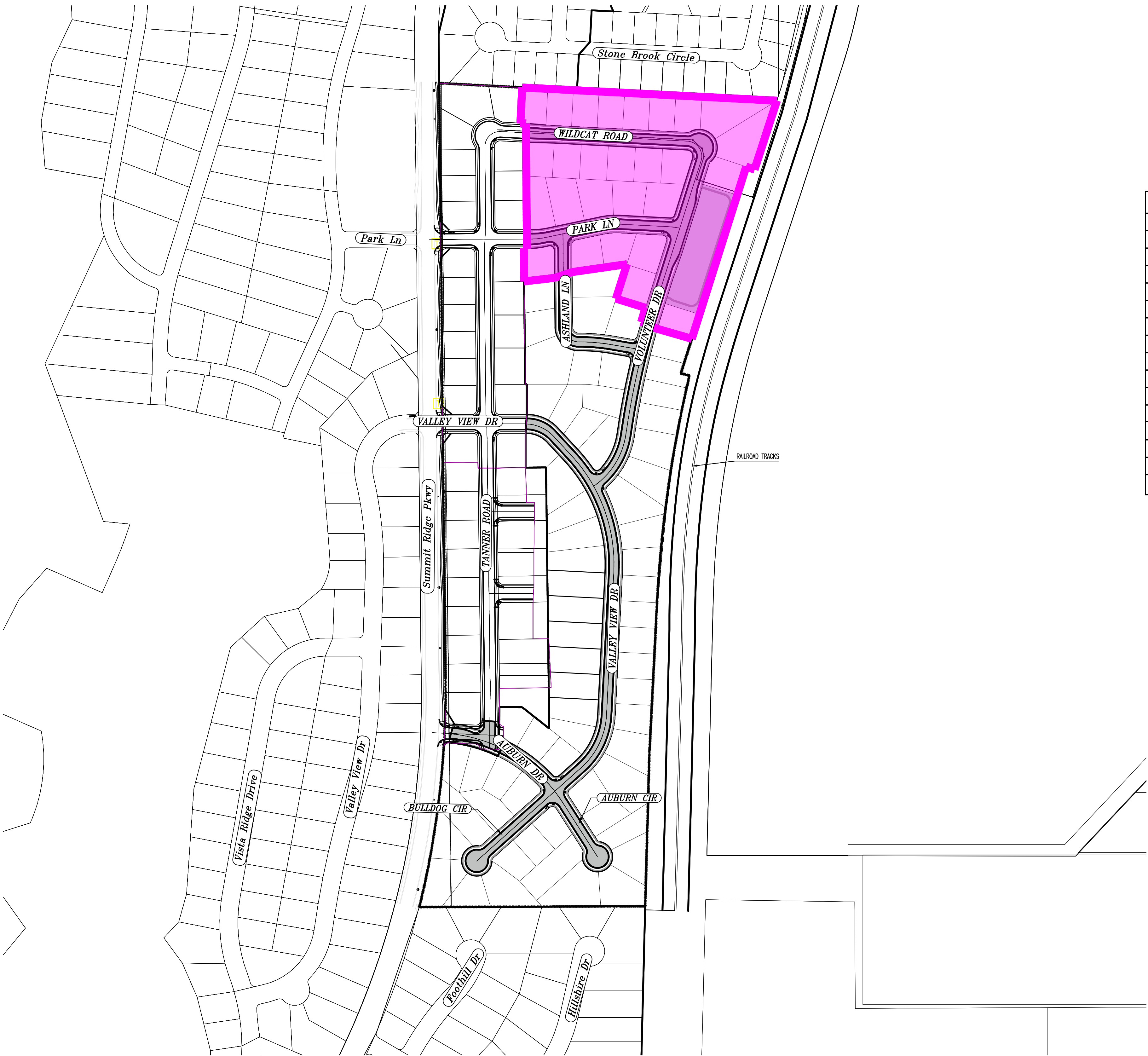
A 4 BOX NCBU TO BE LOCATED ON THE NORTH SIDE OF THE PARK LANE ENTRANCE & A 5 BOX NCBU WILL BE LOCATED ON THE SOUTH THE AUBURN DRIVE ENTRANCE

Tanner Flats @ Summit Ridge

- PHASE 3 -

May 25

Santaquin, Utah County, Utah



PHASE 3 BREAKDOWN	
TOTAL PLAT ACREAGE	10.91 ACRES
TOTAL LOT ACREAGE	7.32 ACRES
TOTAL ROW ACREAGE	2.48 ACRES
TOTAL OPEN SPACE	1.11 ACRES
ZONE	R-1-1Q
DENSITY	2.47 / duu
NUMBER OF LOTS	27 LOTS

PROJECT DEVELOPER

Skylar Tolbert
Ivory Development
801-520-9127
skylart@ivorydevelopment.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PH-01	PHASE PLANS
EX-01	EXISTING SITE
PLAT	PLAT SHEETS
FEN-01	FENCING PLAN
LS-01	PARK LANDSCAPE PLAN
SS-01	SEWER PLAN
SD-01	STORM DRAIN PLAN
UP-01-2	SITE & UTILITY PLANS
GR-01-4	GRADING PLANS
PP-IN	PLAN & PROFILE INDEX
PP-01-05	PLAN & PROFILE SHEETS
EC-01	EROSION CONTROL PLAN
EC-02-03	EROSION CONTROL DETAILS
DT-01-02	TYPICAL DETAILS

NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTIQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTIQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
- 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS
- ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.
- ALL BACKFILL WITHIN ROADWAY MUST BE A1a MATERIAL
- WATER DEDICATION REQUIRED AT FINAL



NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

region
Engineering & Surveying

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

REVISIONS:

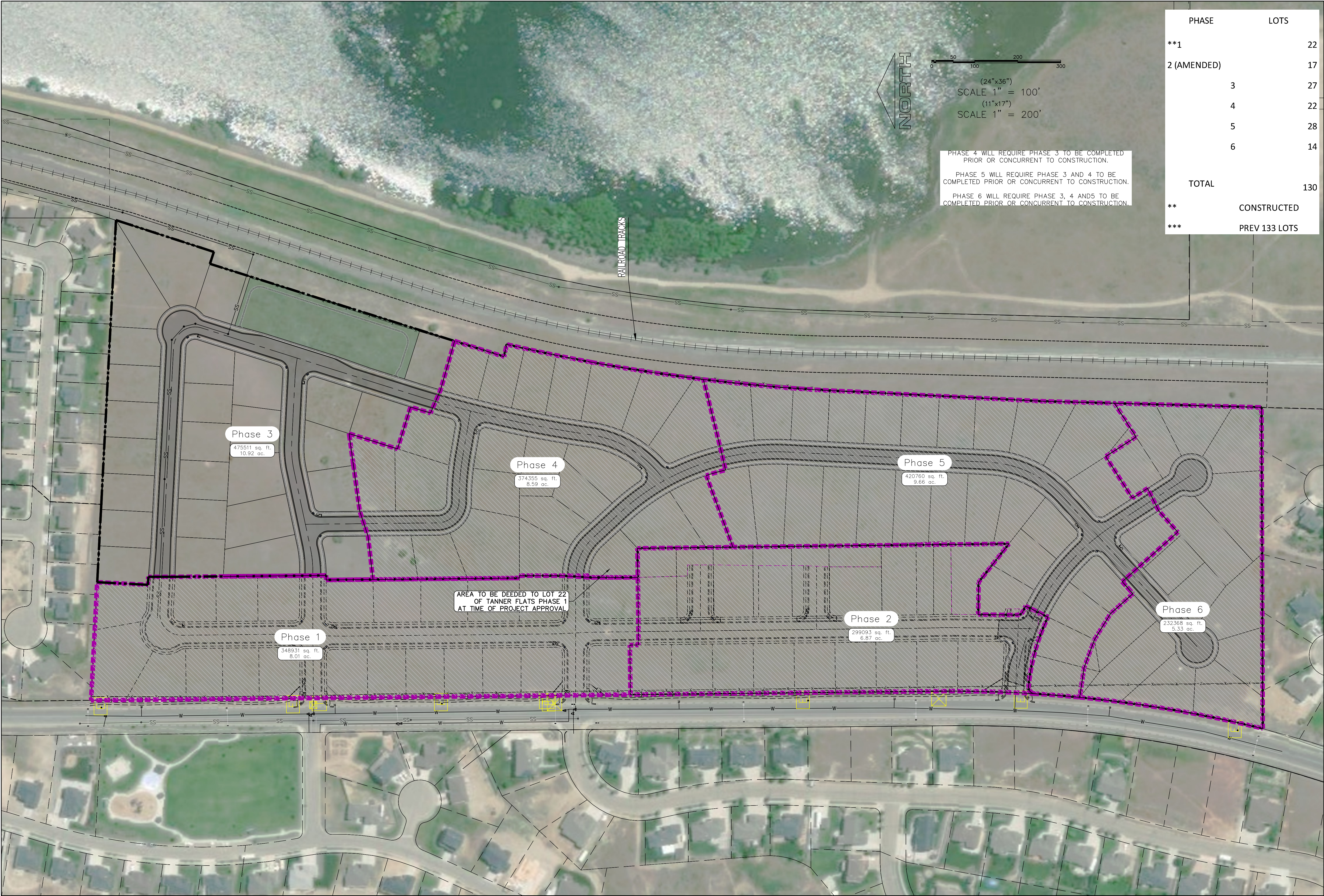
1
2
3

SHEET NAME:

COVER SHEET & NOTES

SHEET:

CS-01



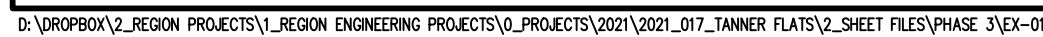
D:\PROPOSAL\REGION PROJECTS\REGION ENGINEERING PROJECTS\2021\01_TANNER FLATS\2_SHEET FILES\PHASE 3\PH-01

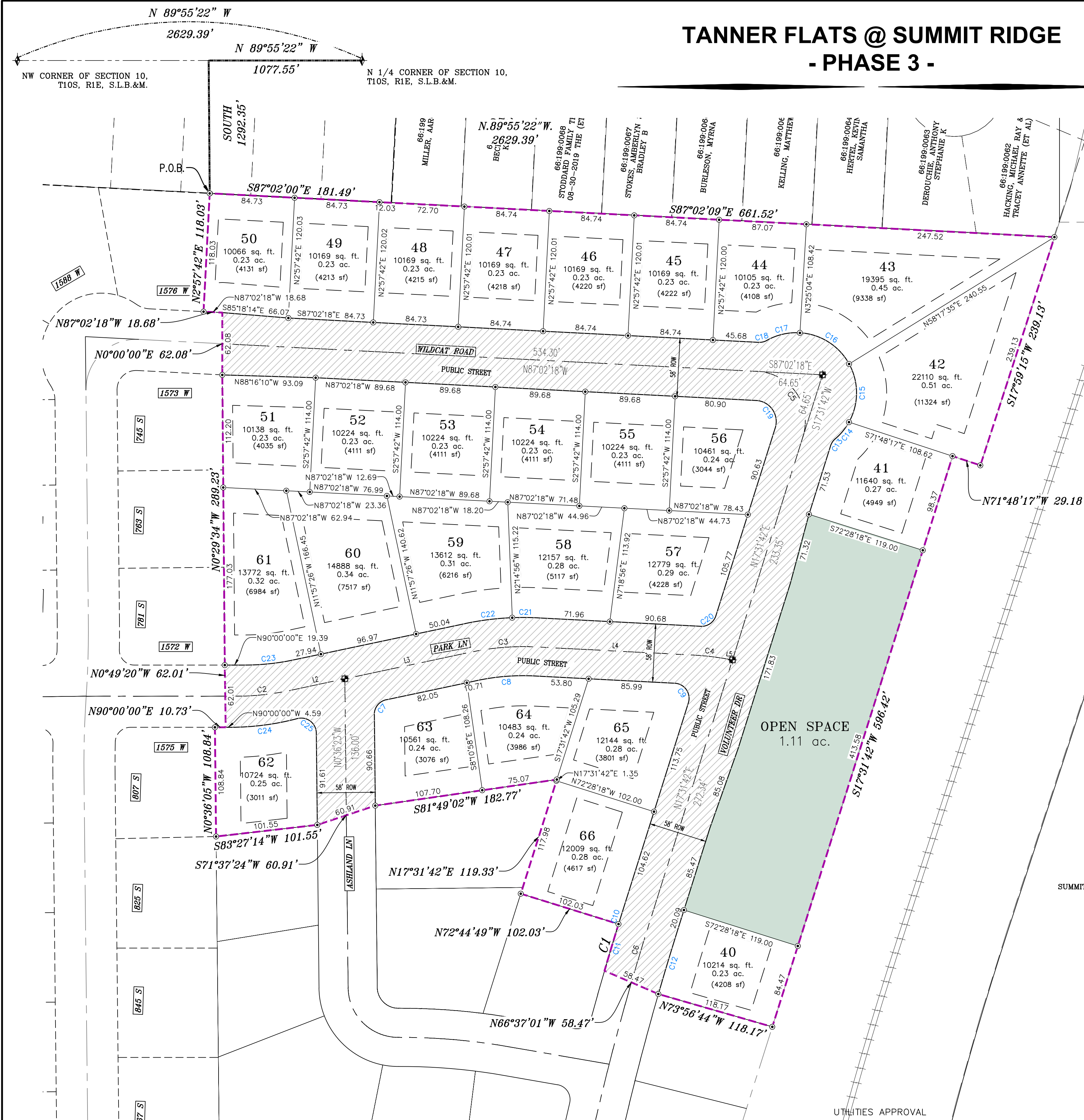
region
Engineering
& Surveying

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regiondesignllc.com

187025
Donald L. Taylor
Professional Engineer
5/22/2025

TANNER FLATS
at SUMMIT RIDGE – PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN





CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	48.59'	2679.00'	48.59'	N16°44'01"E	1°02'21"
C2	52.17'	250.00'	52.08'	N84°01'17"E	11°57'26"
C3	65.12'	250.00'	64.93'	N85°30'17"E	14°55'26"
C4	30.18'	250.00'	30.17'	S83°34'28"E	6°55'04"
C5	91.25'	50.00'	79.10'	N34°45'18"W	104°34'01"
C6	64.44'	2650.00'	64.44'	N16°49'54"E	1°23'36"
C7	20.59'	15.00'	19.01'	S38°43'05"W	78°38'57"
C8	57.56'	221.00'	57.40'	S85°30'17"W	14°55'26"
C9	27.37'	15.00'	23.73'	N34°45'09"W	104°33'43"
C10	12.87'	2679.00'	12.87'	N17°23'27"E	0°16'31"
C11	48.59'	2679.00'	48.59'	N16°44'01"E	1°02'21"
C12	67.42'	2621.00'	67.42'	S16°47'29"W	1°28'26"
C13	8.45'	15.00'	8.34'	S33°39'57"W	32°16'30"

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C14	21.77'	60.00'	21.65'	S39°24'29"W	20°47'22"
C15	60.53'	60.00'	57.99'	S00°06'50"W	57°47'50"
C16	60.53'	60.00'	57.99'	S57°41'01"E	57°47'50"
C17	34.28'	60.00'	33.81'	N77°03'08"E	32°43'52"
C18	8.45'	15.00'	8.34'	N78°49'27"E	32°16'30"
C19	38.33'	21.00'	33.22'	N34°45'18"W	104°34'01"
C20	19.75'	15.00'	18.35'	N55°14'51"E	75°26'17"
C21	25.40'	279.00'	25.39'	S89°38'28"E	57°2'56"
C22	47.27'	279.00'	47.22'	N82°53'49"E	9°42'30"
C23	49.46'	237.00'	49.37'	N84°01'17"E	11°57'26"
C24	67.66'	262.00'	67.47'	S82°36'07"W	1°44'46"
C25	27.28'	15.00'	23.67'	N52°42'05"W	104°11'22"

LINE	LENGTH	DIRECTION
L1	11.17'	N90°00'00"E
L2	57.48'	N78°02'34"E
L3	128.80'	N78°02'34"E
L4	157.57'	S87°02'00"E
L5	8.32'	S80°06'56"E

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____
CENTRACOM _____
CENTURY LINK _____

BASIS OF BEARING

THE BASIS OF BEARING FOR THE TANNER FLATS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE NW CORNER OF SECTION 10 AND THE N 1/4 CORNER OF SECTION 10, T10S, R1E, S1B&M WITH THE BEARING BEING S89°55'22"E ALONG SAID LINE.

QUESTAR GAS COMPANY dba ENDBRIDGE APPROVAL

QUESTAR GAS COMPANY dba ENDBRIDGE GAS UTAH APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS ____ DAY OF _____, 20 ____

QUESTAR GAS COMPANY dba ENDBRIDGE GAS UTAH

BY- _____

TITLE- _____

PHASE 3 BREAKDOWN	
TOTAL PLAT ACREAGE	10.91 ACRES
TOTAL LOT ACREAGE	7.32 ACRES
TOTAL ROW ACREAGE	2.48 ACRES
TOTAL OPEN SPACE	1.11 ACRES
ZONE	R-1-10
DENSITY	2.47 / du
NUMBER OF LOTS	27 LOTS

PROJECT DEVELOPER

Skyler Tolbert
Ivory Development
801-520-9127

skyart@ivorydevelopment.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
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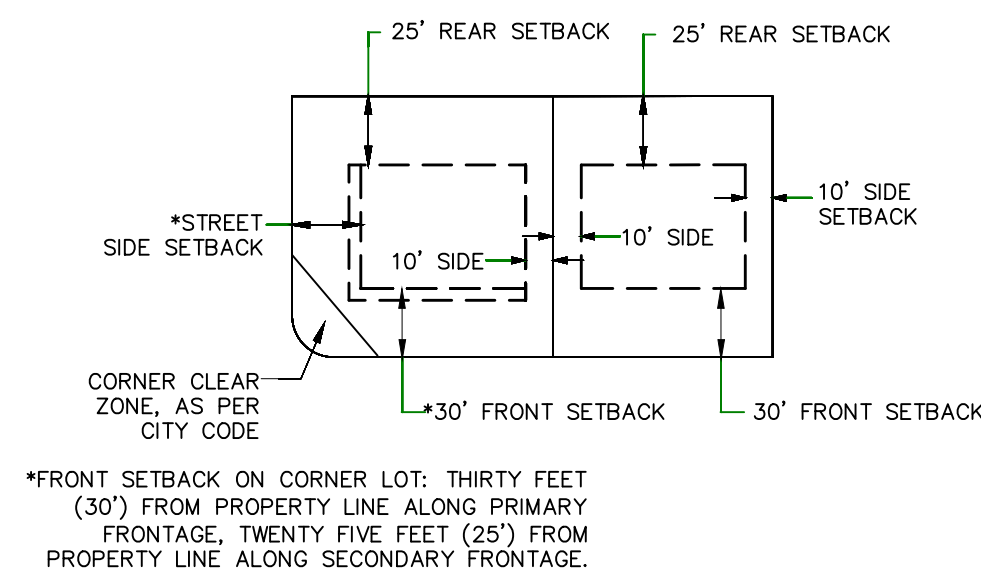
LEGEND

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN
- TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDICU (4 BOX)
- (4'x8' POSTAL EASEMENT)
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY

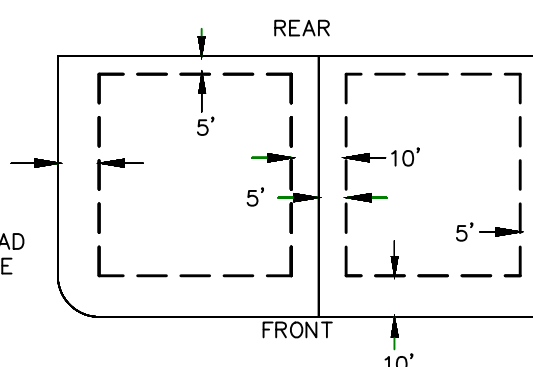
NOTES:

1. ① ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
2. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS
3. WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
4. XXXX ... PROPOSED RESIDENTIAL ADDRESS
5. (XXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA
6. THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

BUILDING SETBACKS (MINIMUM)



PUBLIC UTILITY EASEMENTS



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

TANNER FLATS @ SUMMIT RIDGE - PHASE 3

BEGINNING AT A POINT ON A LINE THAT IS N.89°55'22"W. A DISTANCE OF 1077.55 FEET ALONG THE SECTION LINE AND SOUTH 1292.35 FEET FROM THE NORTH 1/4 CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, S 87° 02' 00" E FOR A DISTANCE OF 181.49 FEET TO A POINT ON A LINE. THENCE, S 87° 02' 09" E FOR A DISTANCE OF 661.52 FEET TO A POINT ON A LINE. THENCE, S 17° 59' 15" W FOR A DISTANCE OF 239.13 FEET TO A POINT ON A LINE. THENCE, N 71° 48' 17" W FOR A DISTANCE OF 29.18 FEET TO A POINT ON A LINE. THENCE, S 17° 31' 42" W FOR A DISTANCE OF 596.42 FEET TO A POINT ON A LINE. THENCE, N 73° 56' 44" W FOR A DISTANCE OF 118.17 FEET TO A POINT ON A LINE. THENCE, N 66° 37' 01" W FOR A DISTANCE OF 58.47 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 01° 02' 21", HAVING A RADIUS OF 2679.00 FEET, AND WHOSE LONG CHORD BEARS N 16° 44' 01" E FOR A DISTANCE OF 48.59 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, N 72° 44' 49" W FOR A DISTANCE OF 102.03 FEET TO A POINT ON A LINE. THENCE, N 17° 31' 42" E FOR A DISTANCE OF 119.33 FEET TO A POINT ON A LINE. THENCE, S 81° 49' 02" W FOR A DISTANCE OF 182.77 FEET TO A POINT ON A LINE. THENCE, S 71° 37' 24" W FOR A DISTANCE OF 60.91 FEET TO A POINT ON A LINE. THENCE, S 83° 27' 14" W FOR A DISTANCE OF 101.55 FEET TO A POINT ON A LINE. THENCE, N 00° 36' 05" W FOR A DISTANCE OF 108.84 FEET TO A POINT ON A LINE. THENCE, N 90° 00' 00" E FOR A DISTANCE OF 10.73 FEET TO A POINT ON A LINE. THENCE, N 00° 49' 20" W FOR A DISTANCE OF 62.01 FEET TO A POINT ON A LINE. THENCE, N 00° 29' 34" W FOR A DISTANCE OF 289.23 FEET TO A POINT ON A LINE. THENCE, N 00° 00' 00" E FOR A DISTANCE OF 62.08 FEET TO A POINT ON A LINE. THENCE, N 87° 02' 18" W FOR A DISTANCE OF 18.68 FEET TO A POINT ON A LINE. THENCE N 02° 57' 42" E A DISTANCE OF 118.03 FEET TO THE POINT OF BEGINNING

CONTAINING 10.91 ACRES OF LAND AND 27 LOTS

May 22, 2025

DATE

ROBBIN J. MULLEN

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS

DAY OF _____, A.D. 20 ____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS ____ DAY OF _____, A.D. 20 ____ PERSONALLY APPEARED BEFORE ME, _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____

PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____, A.D. 20 ____

APPROVED MAYOR OF SANTAQUIN _____

ATTEST _____

ENGINEER
(See Seal Below)

CLERK-RECORDER
(See Seal Below)

TANNER FLATS @ SUMMIT RIDGE PHASE 3

UTAH COUNTY, UTAH

SCALE: 1" = 60 FEET

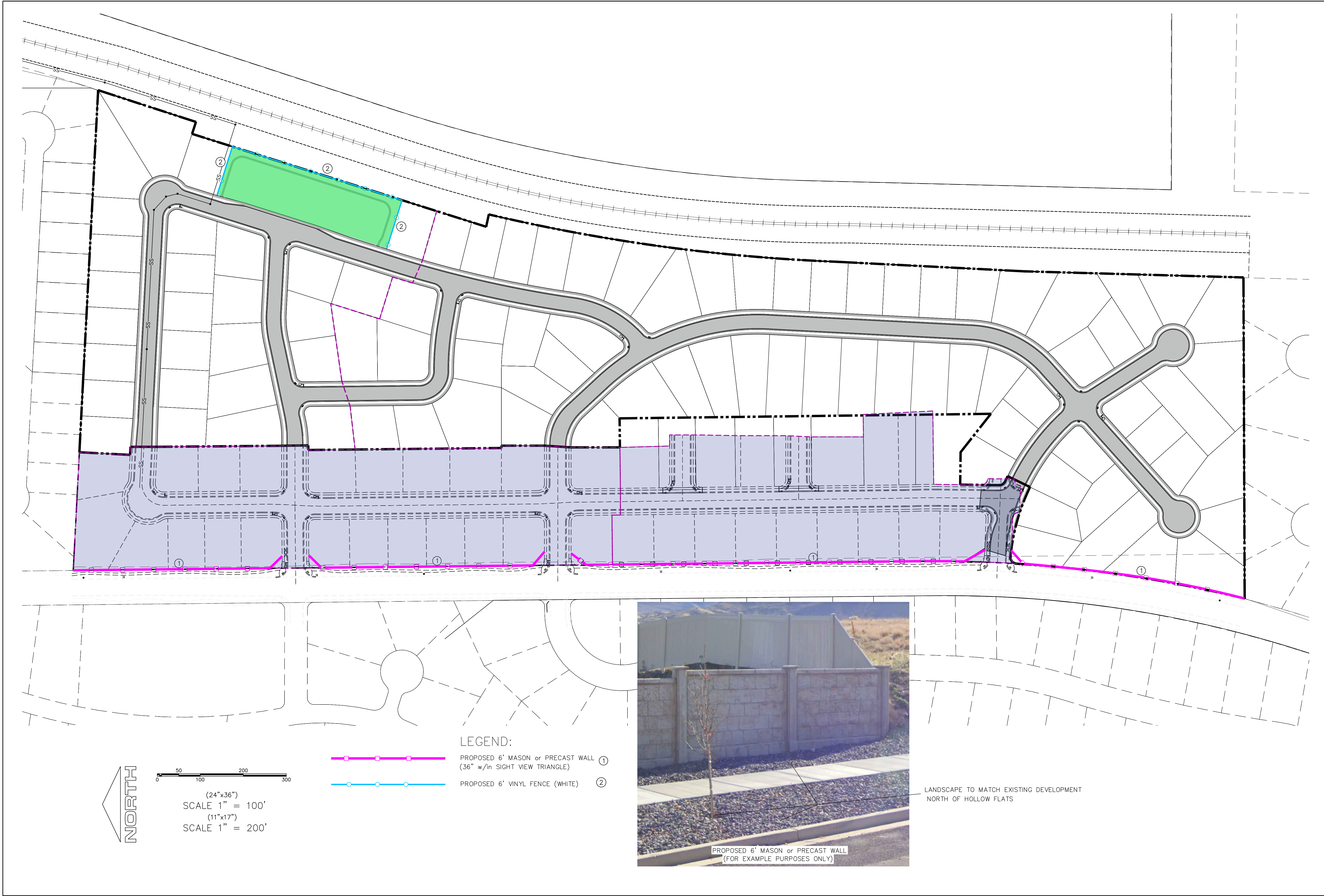
NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

SHEET 1 of 1



D:\PROJECTS\REGION PROJECTS\REGION ENGINEERING PROJECTS\2021\07_TANNER FLATS\SHEET FILES\PHASE 3\FEN-01



region
Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

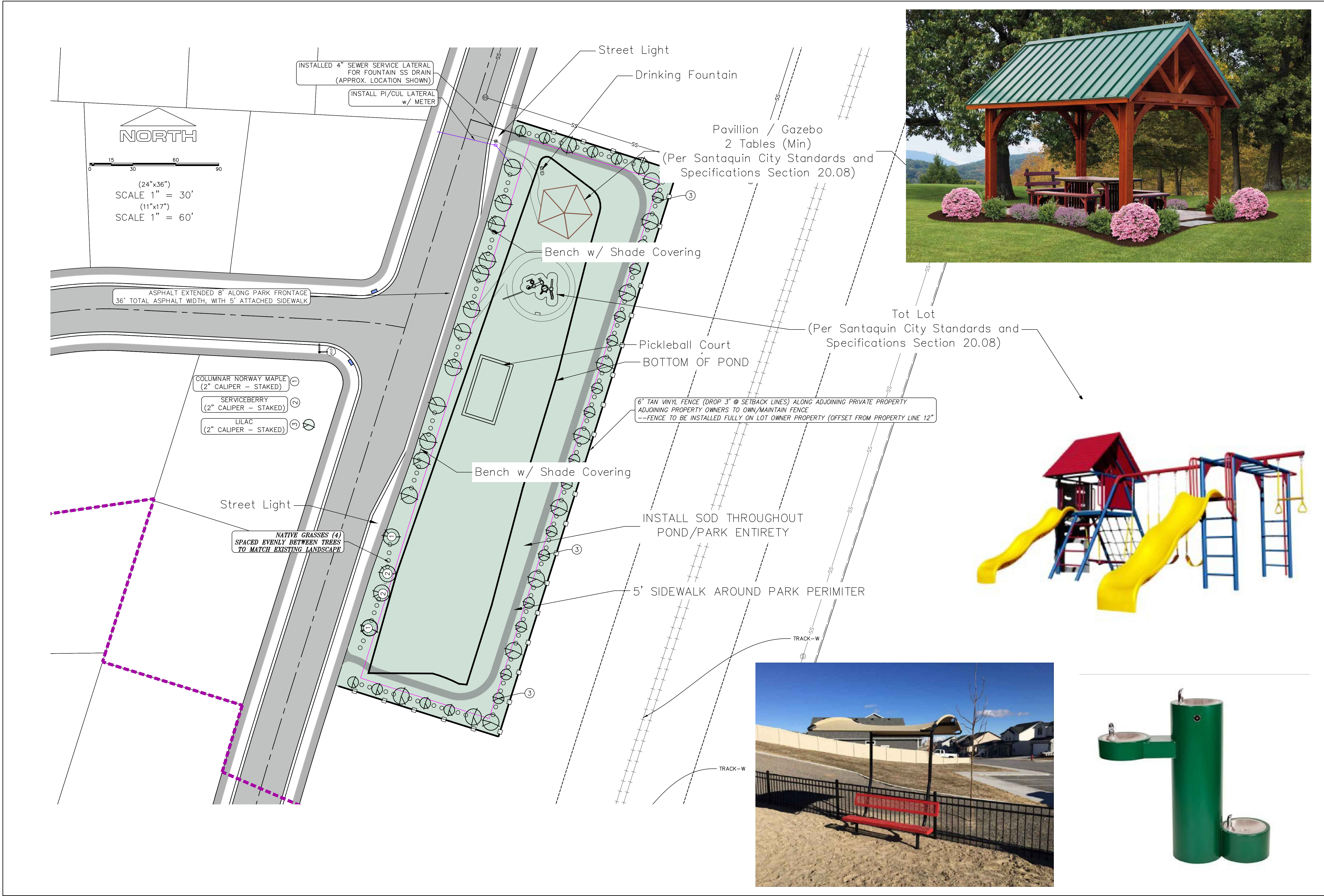


TANNER FLATS
at SUMMIT RIDGE – PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
FENCING PLAN

SHEET:
FEN-01

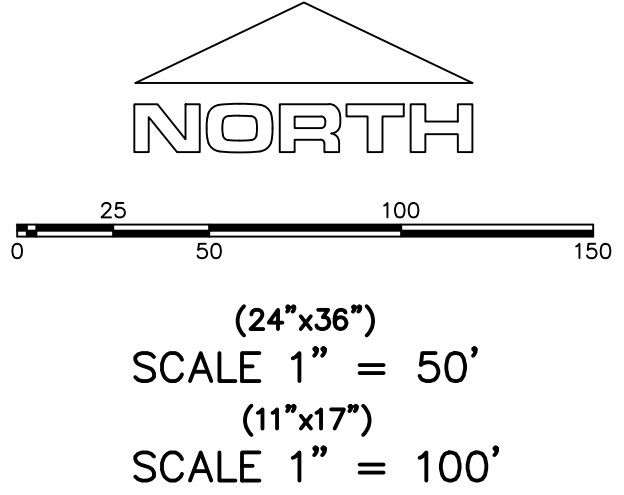


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1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

Professional Engineer and Land Surveyor
#187025
Donald L. Tigner
11/11/2018
5/22/2025

TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025
PROJECT #
REVISIONS:
1
2
3
SHEET NAME: LANDSCAPE PLAN
SHEET: LS-01

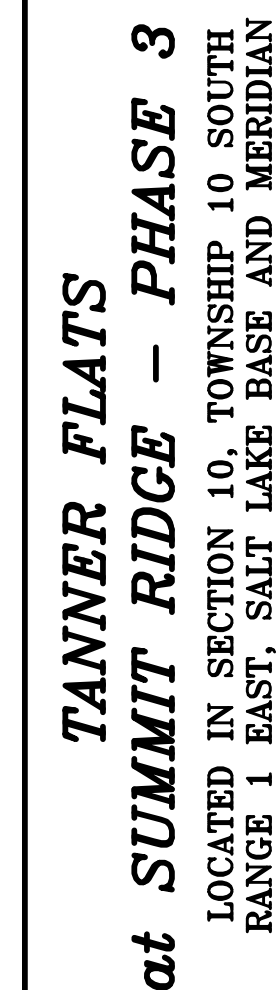


1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIAGO CITY CODES, ORDINANCES AND STANDARDS. THESE REQUIREMENTS ARE INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIAGO CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTIAGO CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTIAGO CITY STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



regional
1776 N. State
Orem, UT
P: 801.225.1000
regionalhealth.org



1	
2	
3	

SHEET: SS-01

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
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7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

NORTH

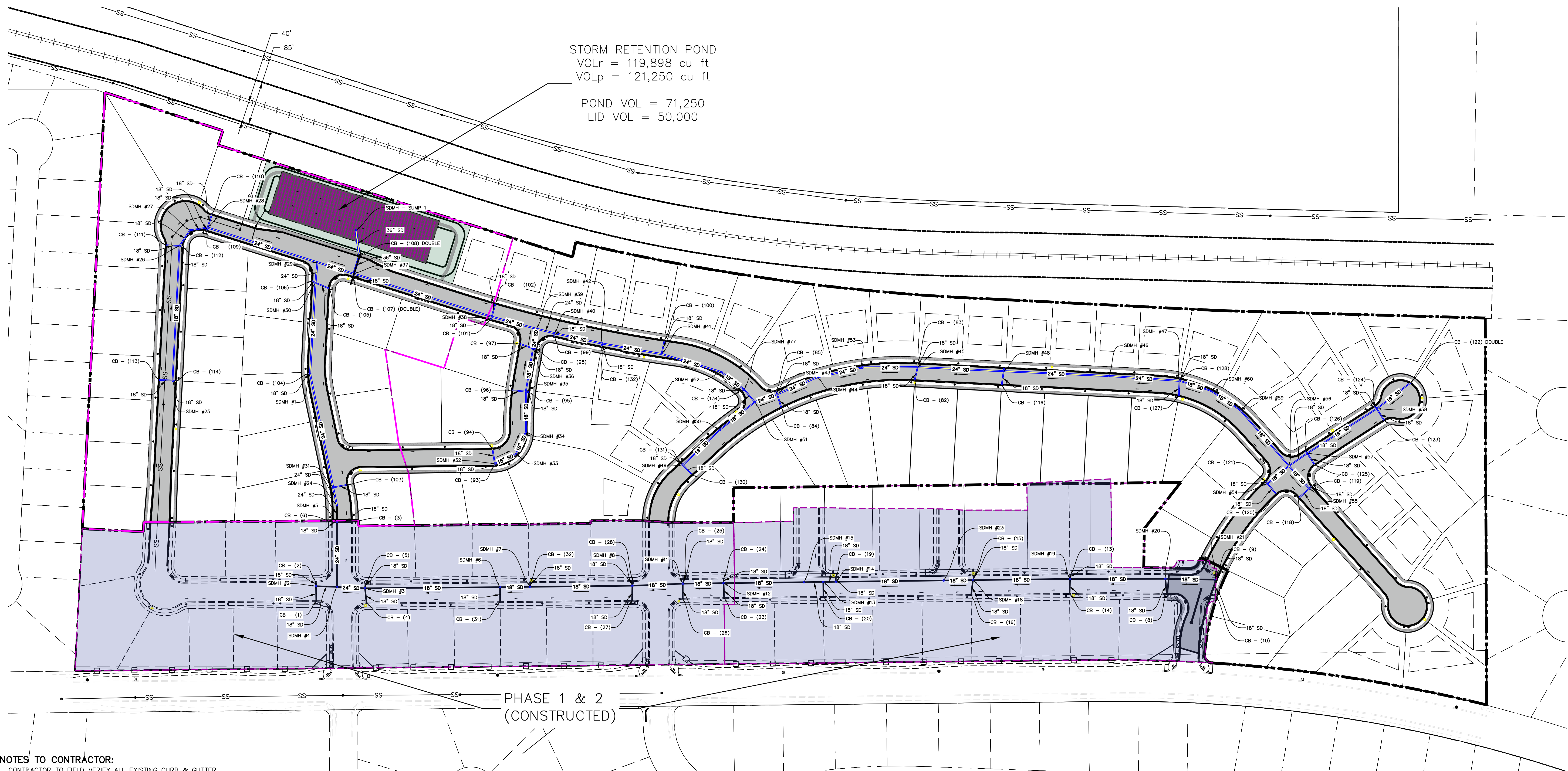
0 50 100 200 300

(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

STORM RETENTION POND
VOLr = 119,898 cu ft
VOLp = 121,250 cu ft

POND VOL = 71,250
LID VOL = 50,000



NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

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& Surveying

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P: 801.376.2245
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TANNER FLATS
at SUMMIT RIDGE – PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
STORM PLANS

SHEET:
SD-01

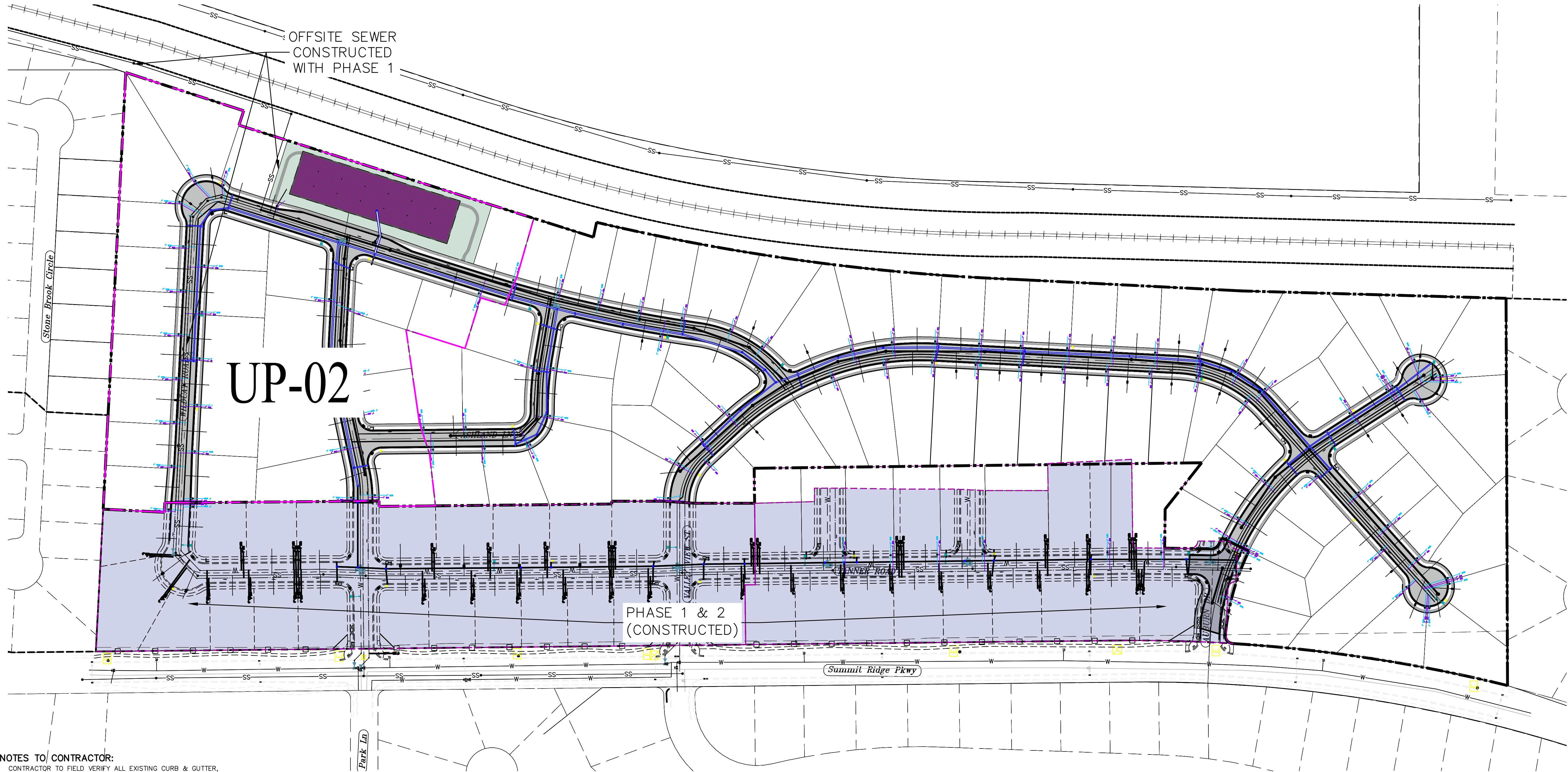
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NORTH

050100200300

(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



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D:\PROJECTS\REGION PROJECTS\REGION ENGINEERING PROJECTS\PROJECTS\2021\2021_07_TANNER FLATS\2_SHEET FILES\PHASE 3\UTILITY PLANS

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& Surveying

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TANNER FLATS
at SUMMIT RIDGE – PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

REVISIONS:

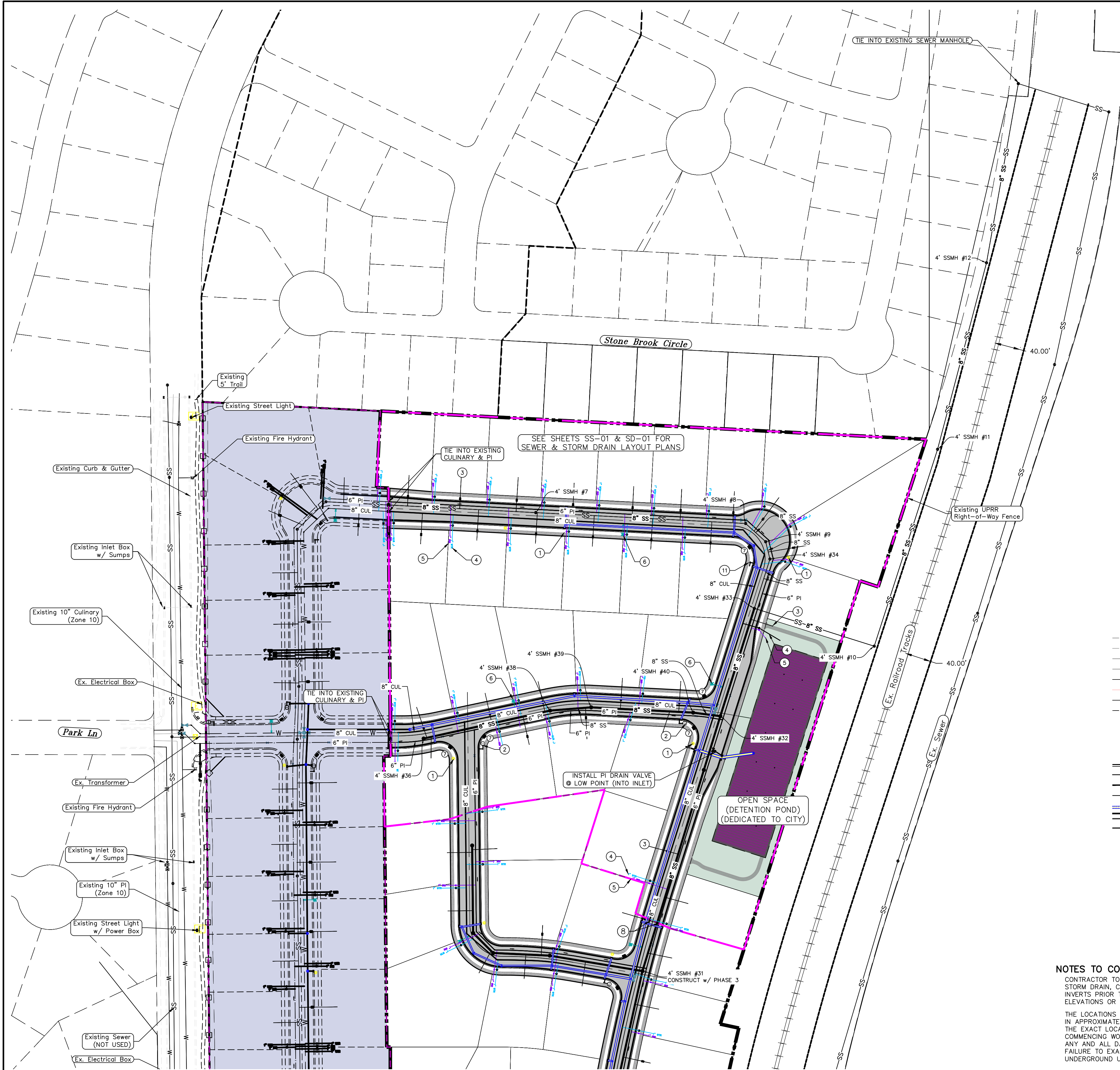
1	
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3	

SHEET NAME:

UTILITY PLANS

SHEET:

UP-01



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

- ① RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN
- ③ SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑤ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ⑥ FIRE HYDRANT
- ⑦ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (3 BOXES)
- ⑩ 5' TRAIL
- ⑪ STREET SIGN ONLY

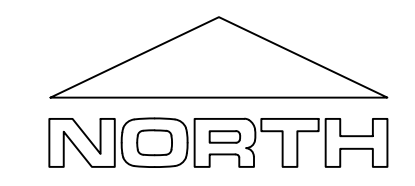
LEGEND

---	EXISTING CONTOUR MAJOR	⊙	PROPOSED VALVE (WAT/PI)
---	EXISTING CONTOUR MINOR	⊙	PROPOSED SEWER MANHOLE
---	EXISTING DEED LINE	⊙	PROPOSED STORM INLET/MANHOLE
---	EXISTING STORM MAIN	⊙	PROPOSED ADA RAMP
---	EXISTING SEWER MAIN	⊙	PROPOSED STOP/STREET SIGN
---	EXISTING WATER MAIN	⊙	PROPOSED FIRE HYDRANT
---	EXISTING PI MAIN	⊙	FOUND SECTION COR. AS NOTED
---	EXISTING CONCRETE	⊙	SET 5/8" IRON PIN
---	PI/WAT/SEWER LATERAL	⊙	TO BE SET AT ALL LOT CORNERS
---	PROPOSED ASPHALT	⊙	FOUND CLASS 1 STREET MONUMENT
---	PROPOSED CONCRETE	⊙	SET STREET MONUMENT
---	PROPOSED CURB & GUTTER	⊙	CENTERLINE
---	PROPOSED LOT LINE	⊙	RIGHT-OF-WAY LINE
---	BOUNDARY LINE	⊙	LOT LINE
---	RIGHT OF WAY LINE	⊙	PUBLIC UTILITY EASEMENT
---	PROPOSED STORM MAIN	⊙	SECTION LINE
---	PROPOSED CUL MAIN	⊙	R-TANK LID CHAMBERS
---	PROPOSED PI MAIN	⊙	
---	PROPOSED SEWER MAIN	⊙	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	⊙	
---	RESIDENTIAL STREET LIGHT	⊙	

NOTES TO CONTRACTOR:

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0 40 80 160 240

(24"x36")
SCALE 1" = 80'
(11"x17")
SCALE 1" = 160'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

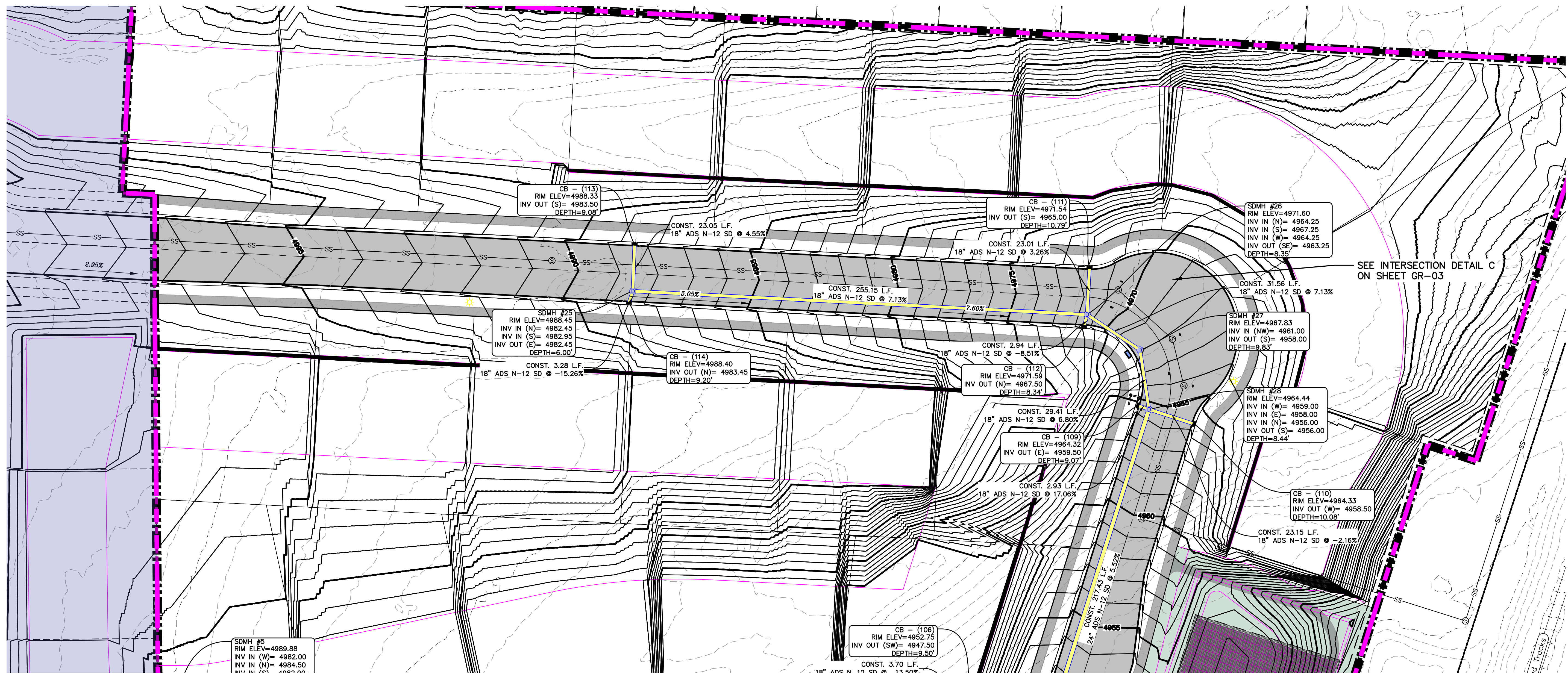
region
Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
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TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025
PROJECT #

REVISIONS:	
1	
2	
3	

SHEET NAME:
UTILITY PLANS
SHEET:
UP-02



1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
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NOTES TO CONTRACTOR:

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LEGEND

---	EXISTING CONTOUR MAJOR	⊗	RESIDENTIAL STREET LIGHT
- - -	EXISTING CONTOUR MINOR	⊗	PROPOSED VALVE (WAT/PI)
- - -	EXISTING DEED LINE	⊗	PROPOSED SEWER MANHOLE
-SD	EXISTING STORM MAIN	⊗	PROPOSED STORM INLET/MANHOLE
-SS	EXISTING SEWER MAIN	⊗	PROPOSED ADA RAMP
---	EXISTING WATER MAIN	⊗	PROPOSED STOP/STREET SIGN
---	EXISTING PI MAIN	⊗	PROPOSED FIRE HYDRANT
---	EXISTING CONCRETE	⊗	FOUND SECTION COR. AS NOTED
---	PI/WAT/SEWER LATERAL	⊗	SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
---	PROPOSED ASPHALT	⊗	FOUND CLASS 1 STREET MONUMENT
---	PROPOSED CONCRETE	⊗	SET STREET MONUMENT
---	PROPOSED CURB & GUTTER	⊗	CENTERLINE
---	PROPOSED LOT LINE	⊗	RIGHT-OF-WAY LINE
---	BOUNDARY LINE	⊗	LOT LINE
---	RIGHT OF WAY LINE	⊗	PUBLIC UTILITY EASEMENT
---	PROPOSED STORM MAIN	⊗	SECTION LINE
---	PROPOSED CUL MAIN	⊗	
---	PROPOSED PI MAIN	⊗	
---	PROPOSED SEWER MAIN	⊗	
---	PROPOSED WAT/PI/SEWER SERVICE LATERALS	⊗	

NORTH

0 15 30 60 90

(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



TANNER FLATS at SUMMIT RIDGE - PHASE 3

LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5/22/2025

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:

GRADING PLANS

SHEET:

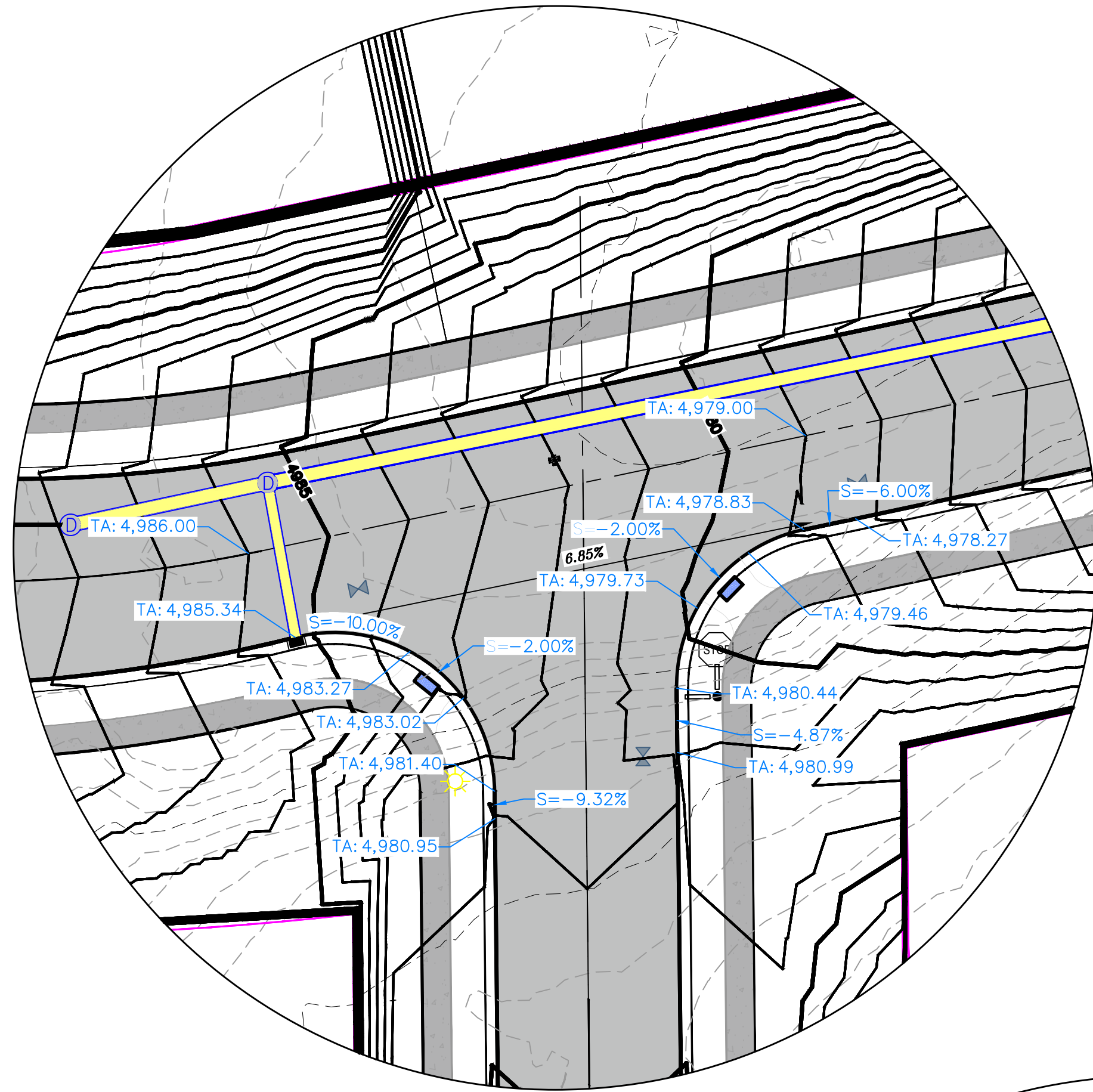
GR-01



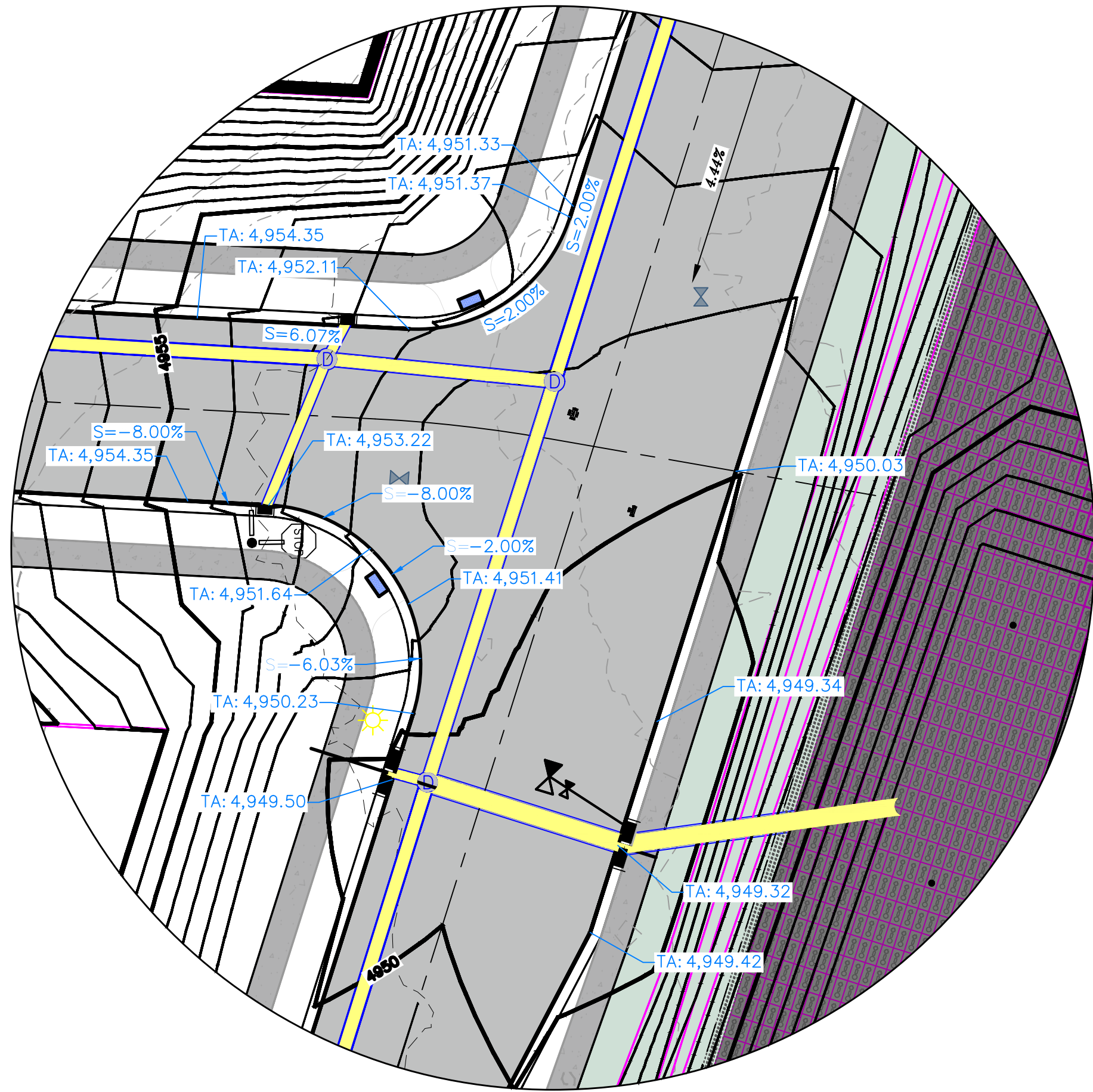
SEE INTERSECTION DETAIL B
ON SHEET GR-03

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

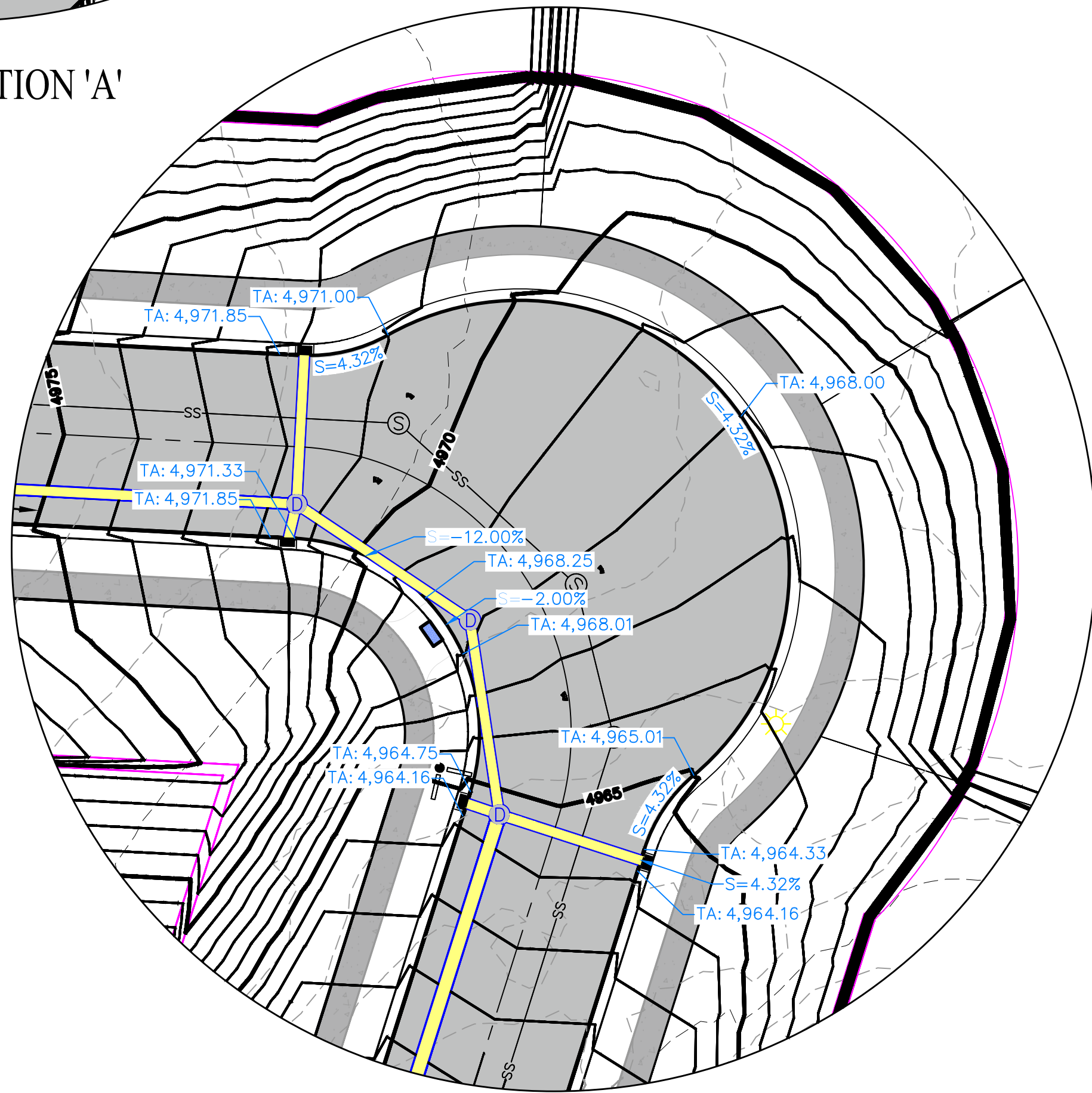
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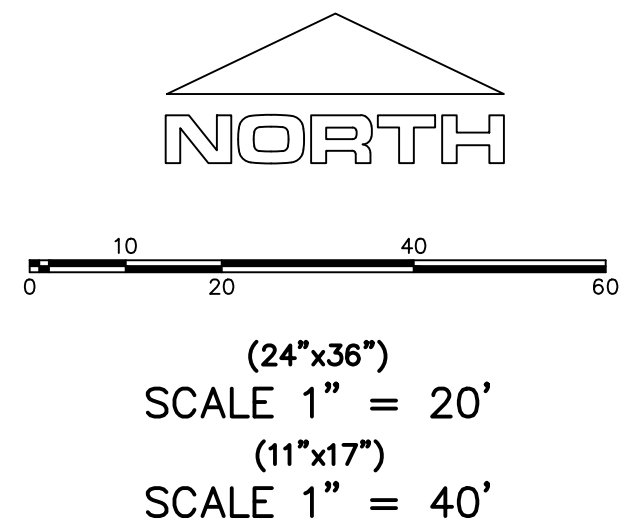
INTERSECTION 'A'



INTERSECTION 'B'



INTERSECTION 'C'



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

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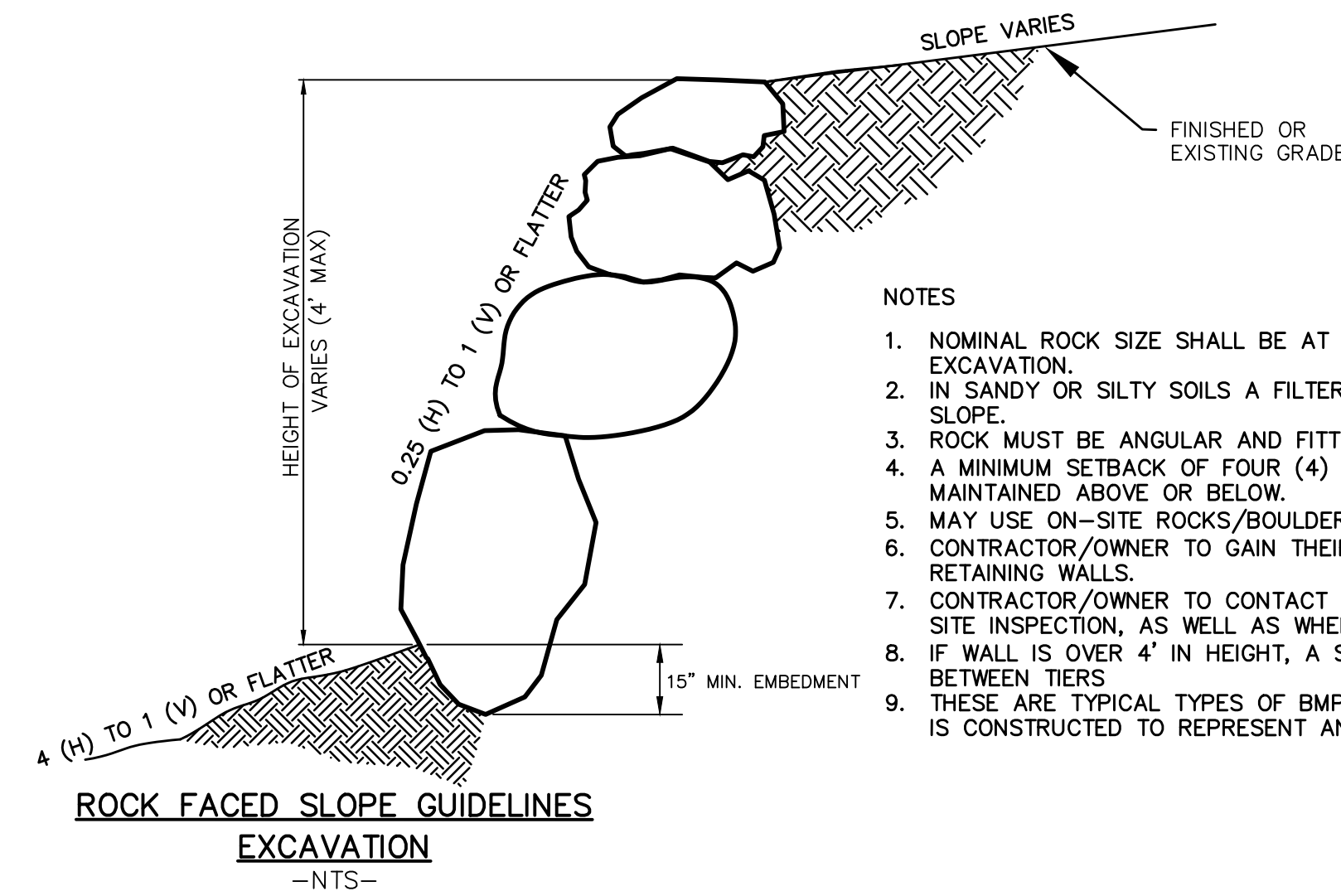
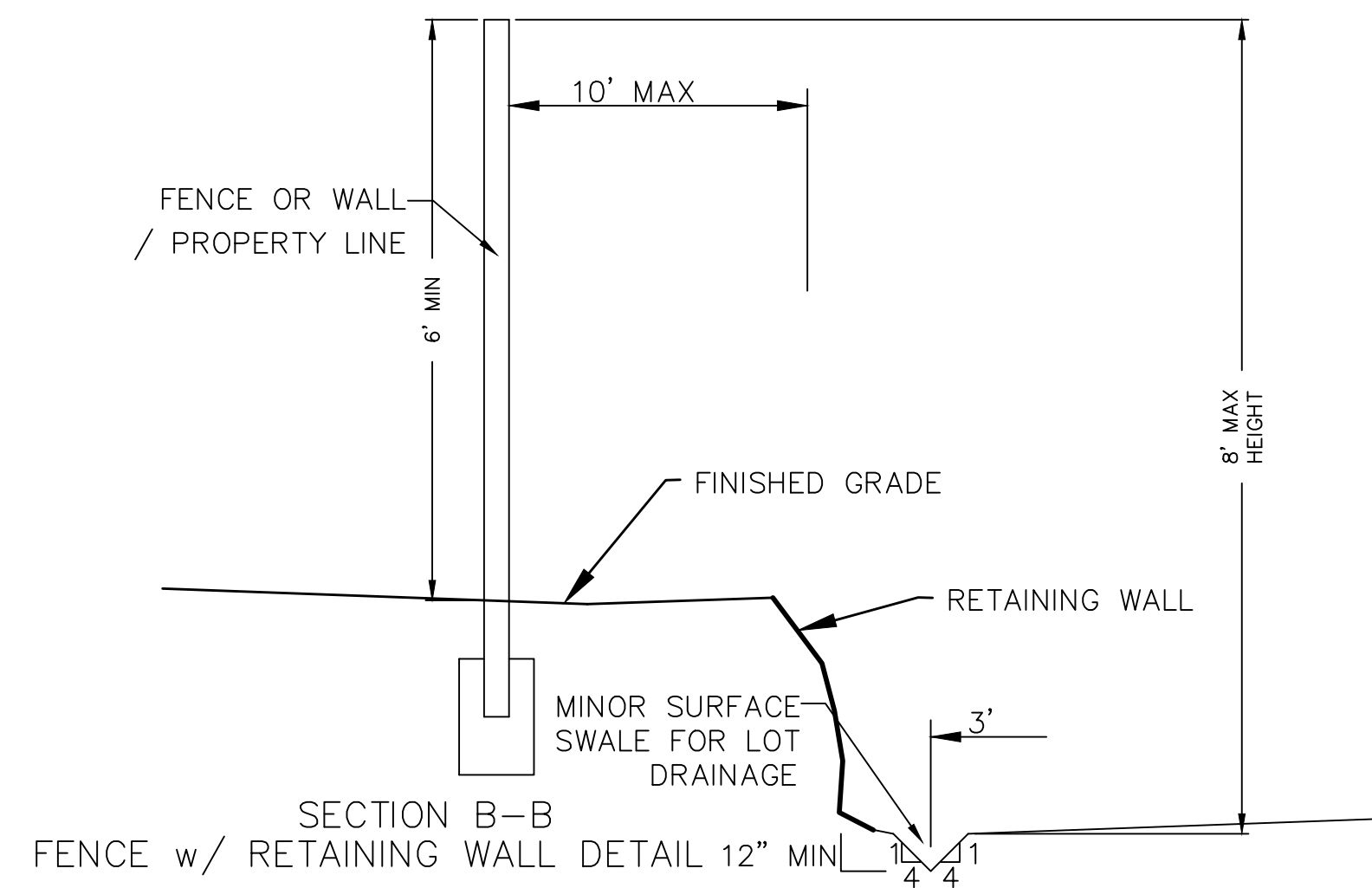
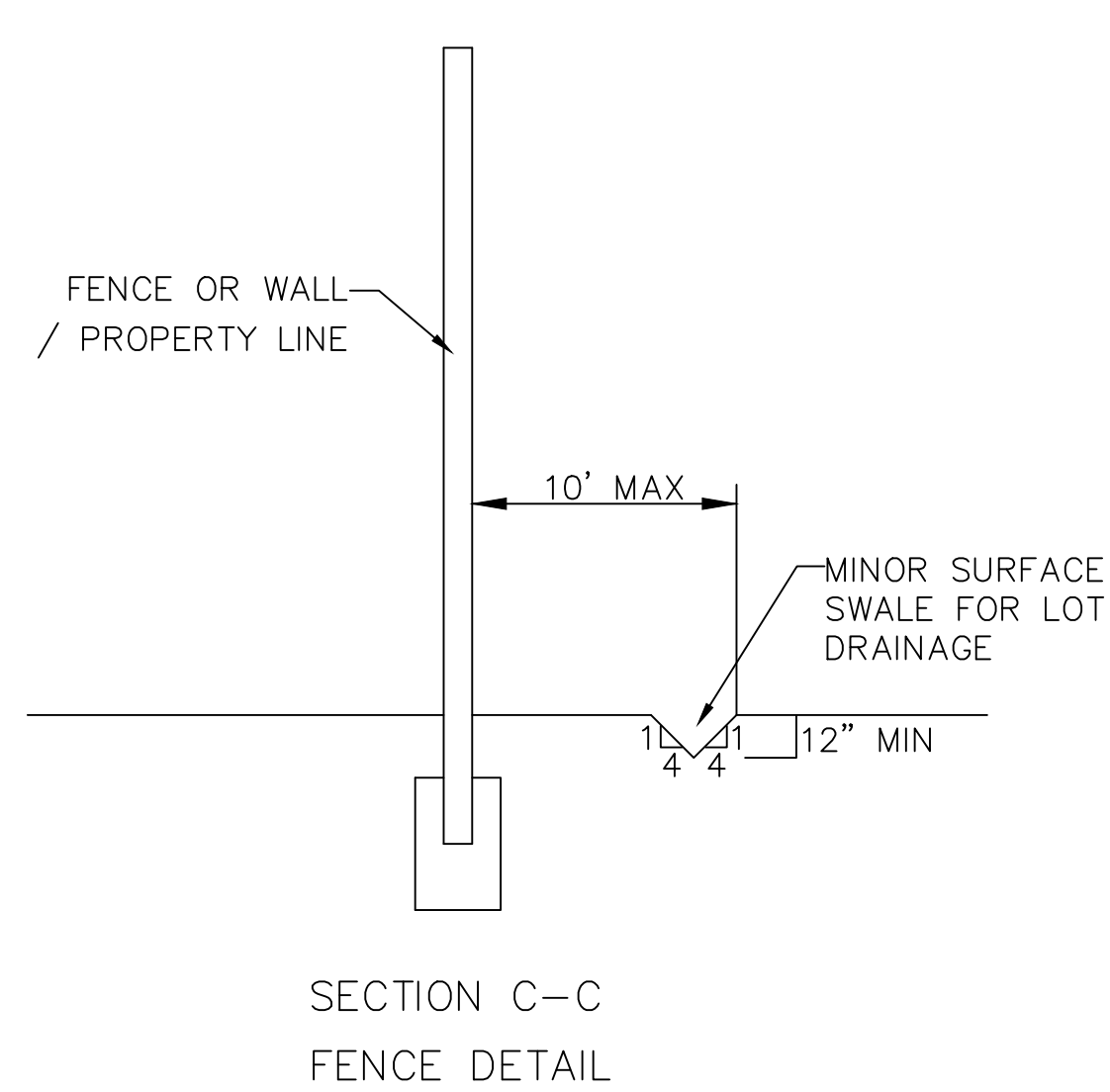
**TANNER FLATS
at SUMMIT RIDGE - PHASE 3**

LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025
PROJECT #

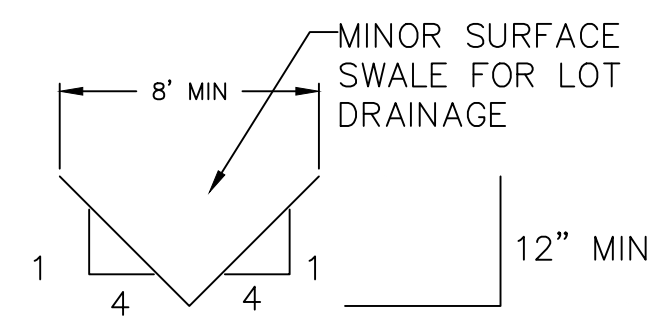
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SHEET NAME:
GRADING PLANS
SHEET:
GR-03



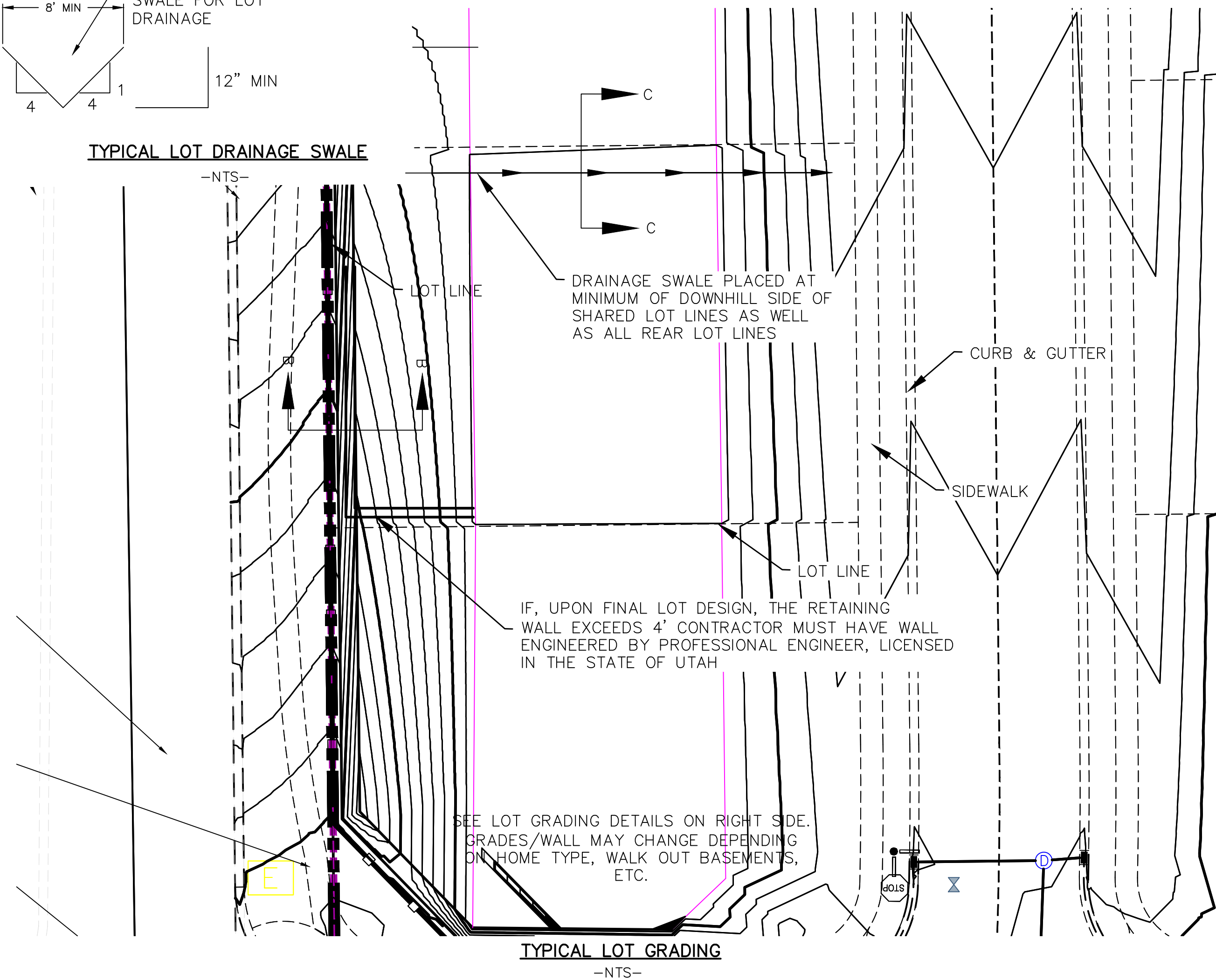
NOTES

1. NOMINAL ROCK SIZE SHALL BE AT LEAST ONE THIRD (1/3) THE HEIGHT OF THE EXCAVATION.
2. IN SANDY OR SILTY SOILS A FILTER FABRIC SHALL BE PLACED BEHIND THE ROCK FACED SLOPE.
3. ROCK MUST BE ANGULAR AND FITTED TOGETHER TO INTERACT WITH THE ADJACENT ROCK.
4. A MINIMUM SETBACK OF FOUR (4) FEET FROM BUILDINGS OR STRUCTURES SHALL BE MAINTAINED ABOVE OR BELOW.
5. MAY USE ON-SITE ROCKS/BOULDERS IF CONDITION APPLYS
6. CONTRACTOR/OWNER TO GAIN THEIR OWN STRUCTURAL ENGINEER AND DESIGN FOR ALL RETAINING WALLS.
7. CONTRACTOR/OWNER TO CONTACT REGION ENGINEERING AFTER FIRST WALL IS PLACED FOR SITE INSPECTION, AS WELL AS WHEN FINAL PRODUCT IS COMPLETED
8. IF WALL IS OVER 4' IN HEIGHT, A SECOND TIER MUST BE PLACED WITH A 5' LANDING IN BETWEEN TIERS
9. THESE ARE TYPICAL TYPES OF BMP STORM DRAINAGE MEASURES. NOTHING ON THIS SHEET IS CONSTRUCTED TO REPRESENT AN APPROVED INDIVIDUAL LOT GRADING PLAN.



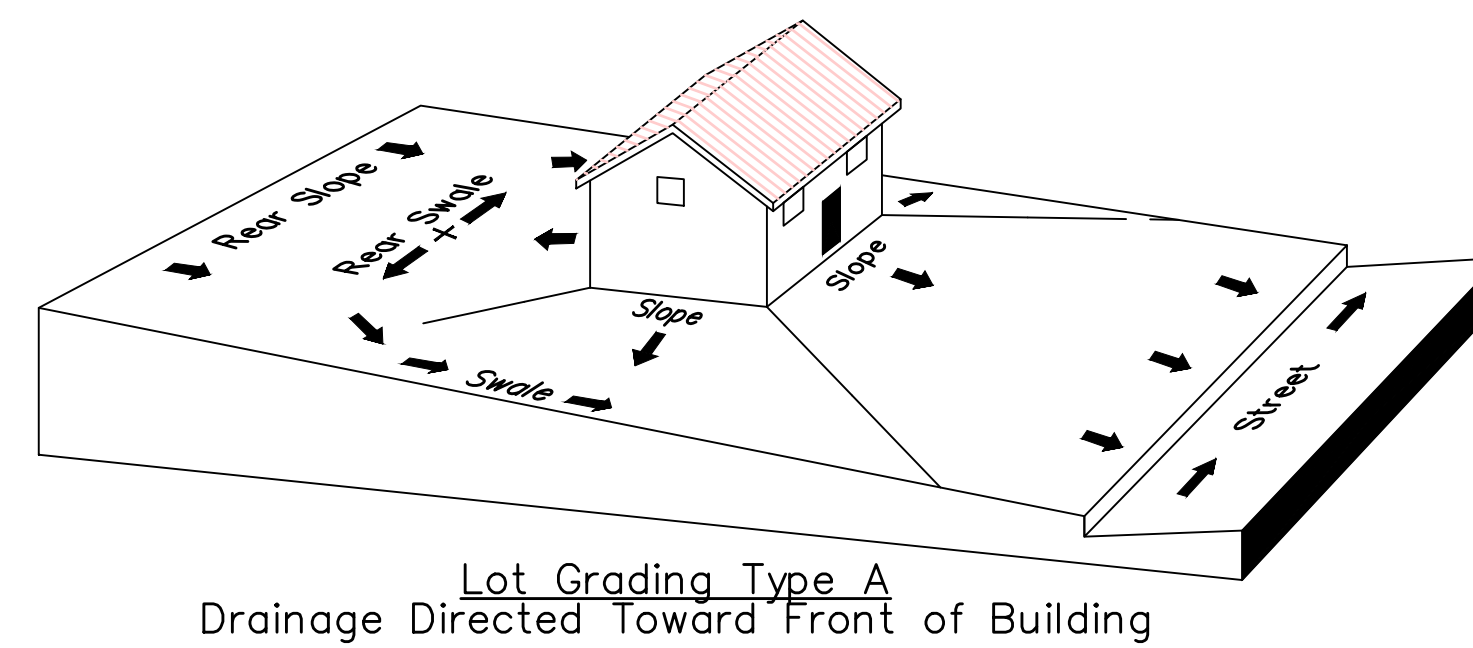
TYPICAL LOT DRAINAGE SWALE

-NTS-

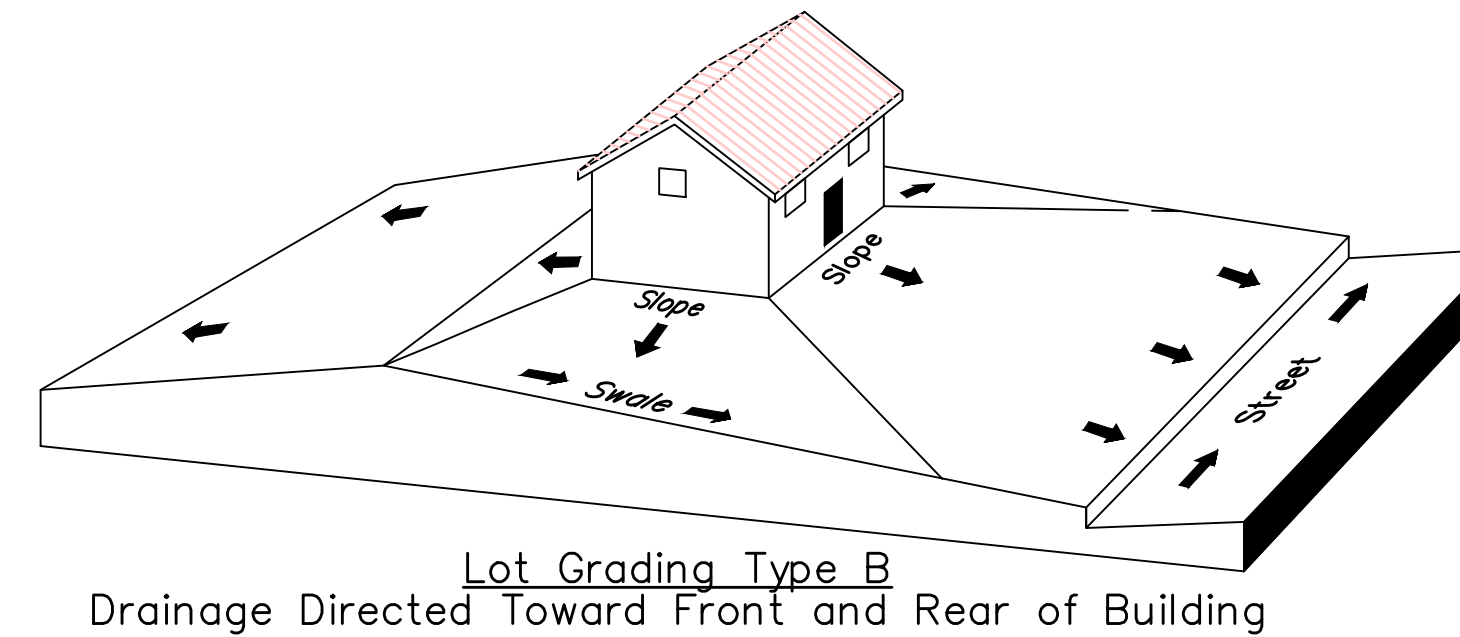


TYPICAL LOT GRADING

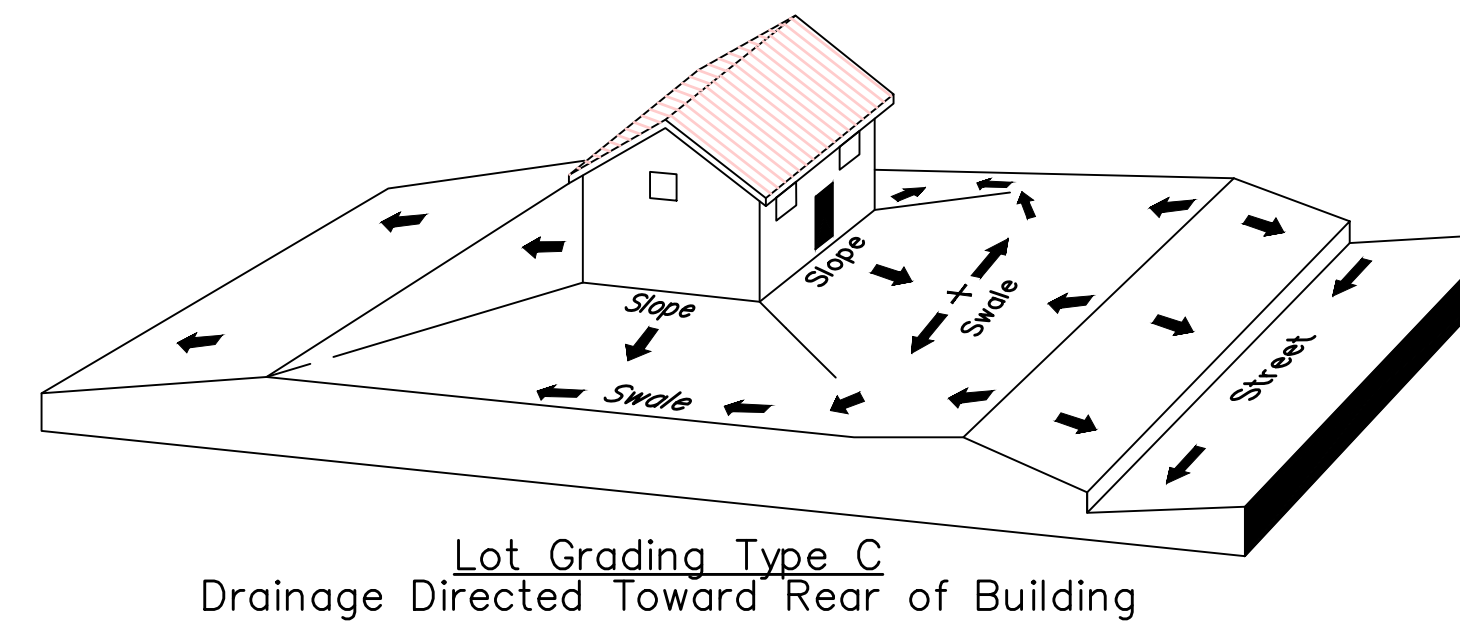
-NTS-



Lot Grading Type A
Drainage Directed Toward Front of Building



Lot Grading Type B
Drainage Directed Toward Front and Rear of Building



Lot Grading Type C
Drainage Directed Toward Rear of Building

Lot Drainage -

- At minimum, 50% of roof drains shall drain towards the street.
- All side downspouts are to be diverted toward the front or rear of the lot.
- Yards to be positively graded away from all window wells
- HOA's &/or homeowners are responsible for maintaining lot line drainage pathways through their properties per drainage plan.
- All lot lines are to be maintained as drainage pathways for accumulating runoff from adjoining lots.
- All lots shall meet the International Building Code standards and drain away from the structure.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
4. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

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TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

REVISIONS:

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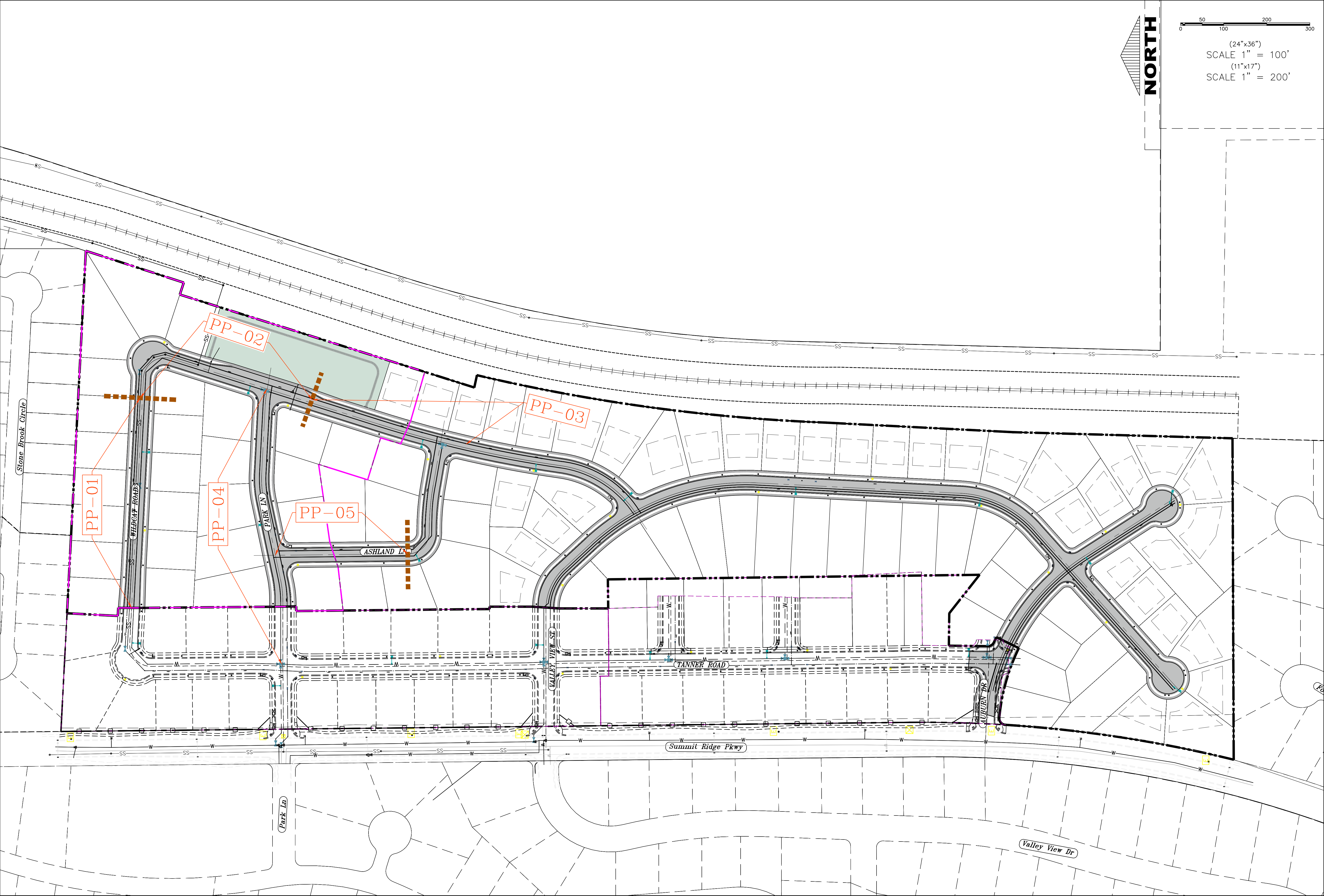
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SHEET NAME:

GRADING PLANS

SHEET:

GR-04

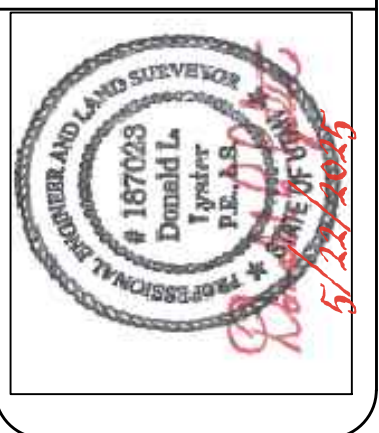


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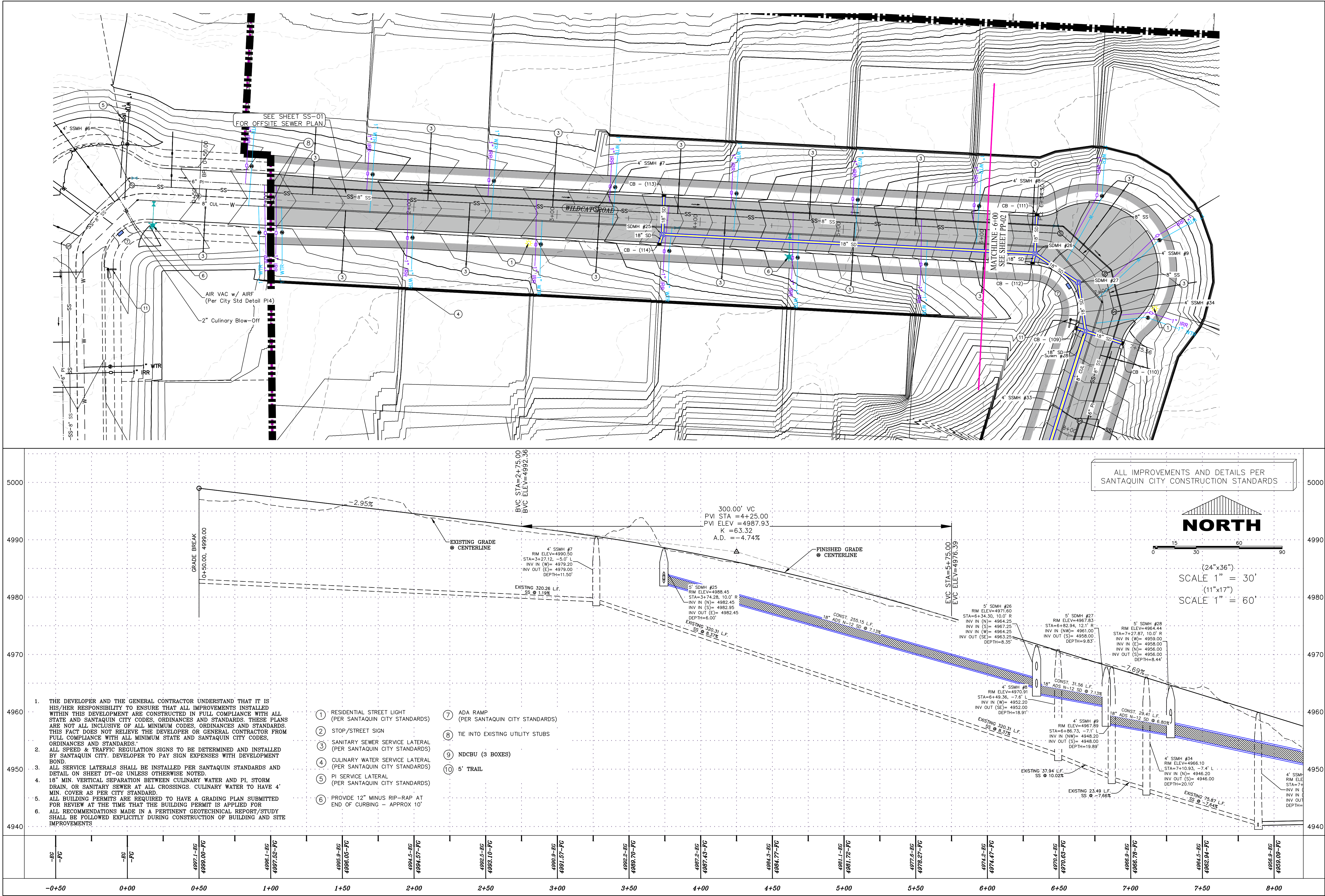


TANNER FLATS
at SUMMIT RIDGE – PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025	
PROJECT #	
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PLAN & PROFILE INDEX

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TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

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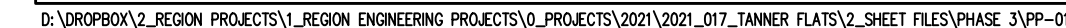
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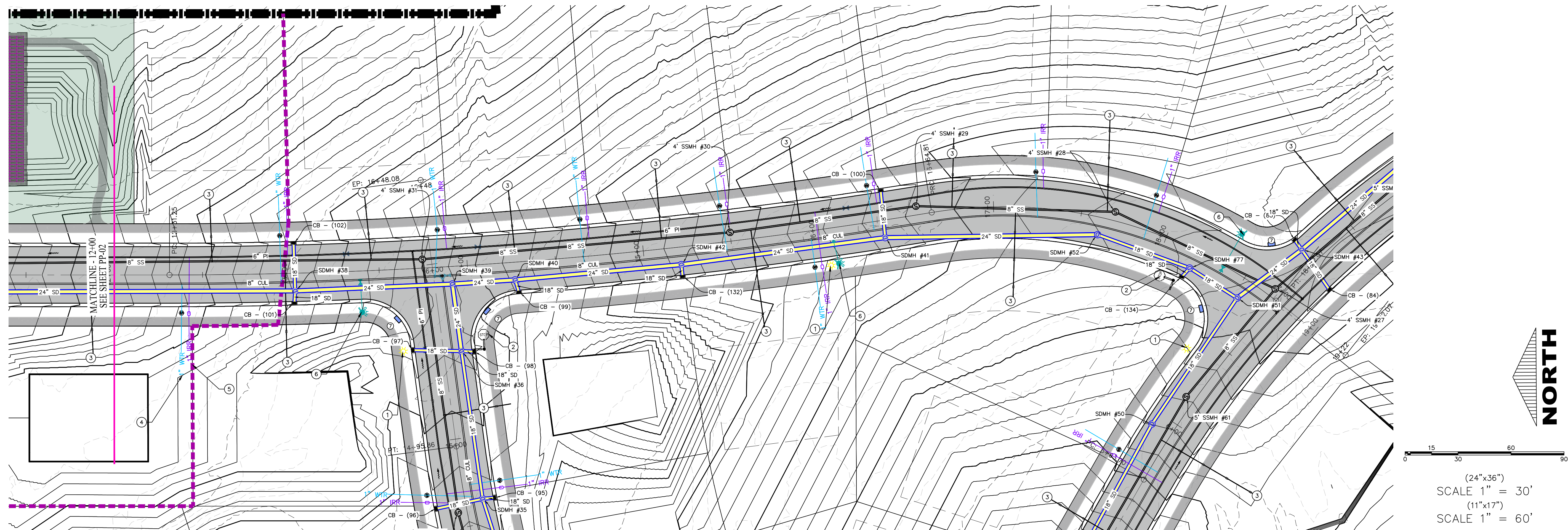
PLAN & PROFILE

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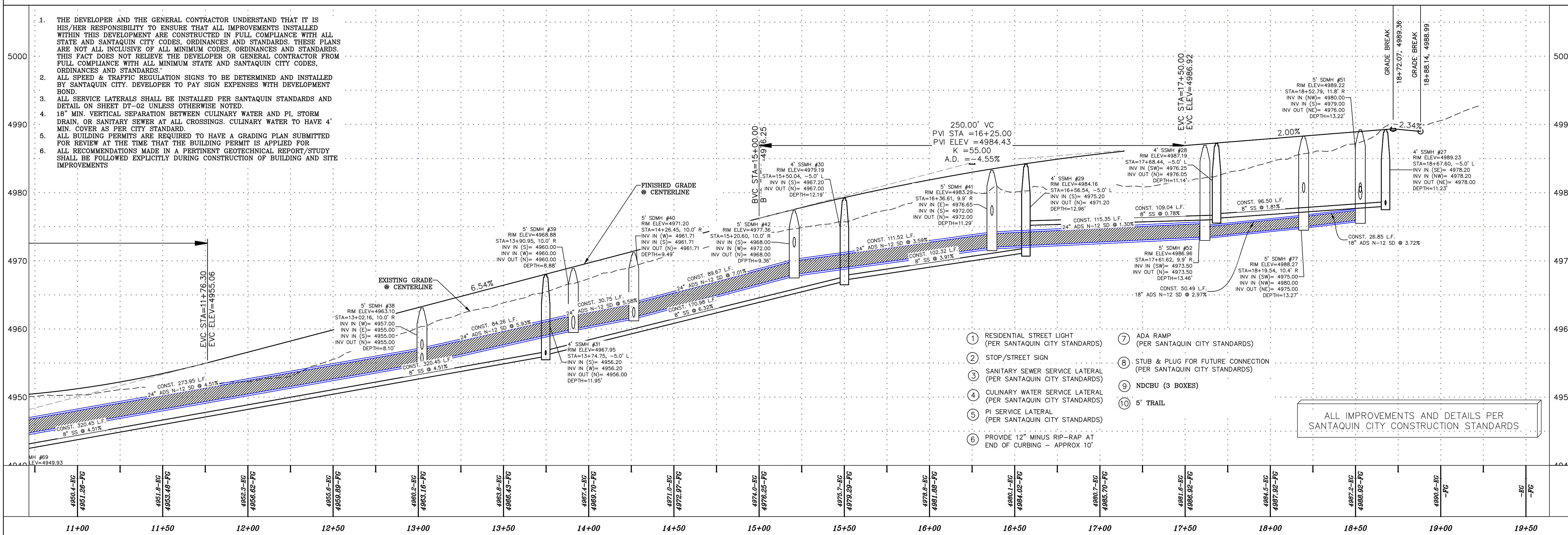
PP-01



PP-02

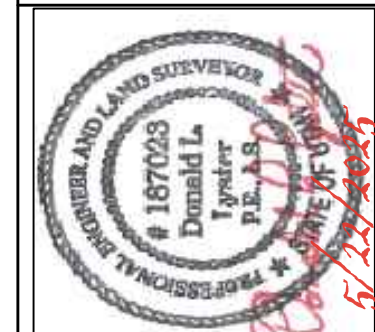


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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-02 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.



1. RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
2. STOP/STREET SIGN
3. SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
4. CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
5. PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
6. PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
7. ADA RAMP (PER SANTAQUIN CITY STANDARDS)
8. STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
9. NDCBU (3 BOXES)
10. 5' TRAIL

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS.



TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

REVISIONS:

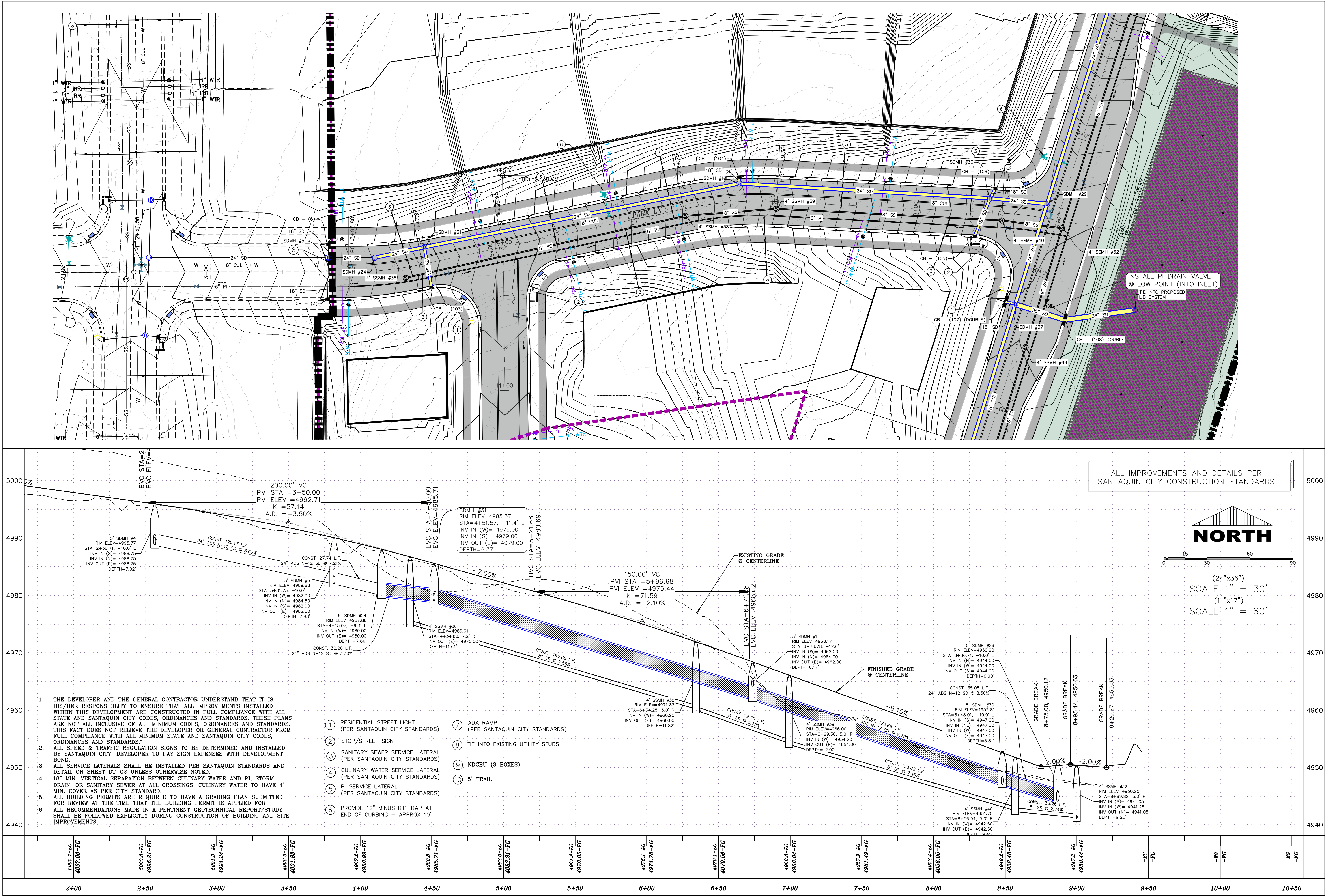
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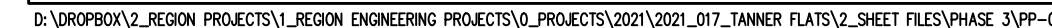
SHEET NAME:

PLAN & PROFILE

SHEET:

PP-03





DATE: 5.22.2025	
PROJECT #	
REVISIONS:	
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SHEET NAME:	
PLAN & PROFILE	
SHEET:	PP-05

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS / EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
DAVID SWANSON

PROJECT NAME
THE VISTA @ SUMMIT RIDGE - PHASE 1
PERMIT NUMBER
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT
(6" Uppercase Bold Letters)

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
DEVELOPER(S)
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
4. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS

CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

NORTH

0 100 200 400 600

(24"x36")
SCALE 1" = 200'
(11"x17")
SCALE 1" = 400'



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LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:5.22.2025

PROJECT #

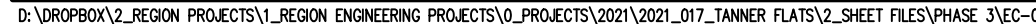
REVISIONS:

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SHEET NAME:
EROSION CONTROL PLAN

SHEET:

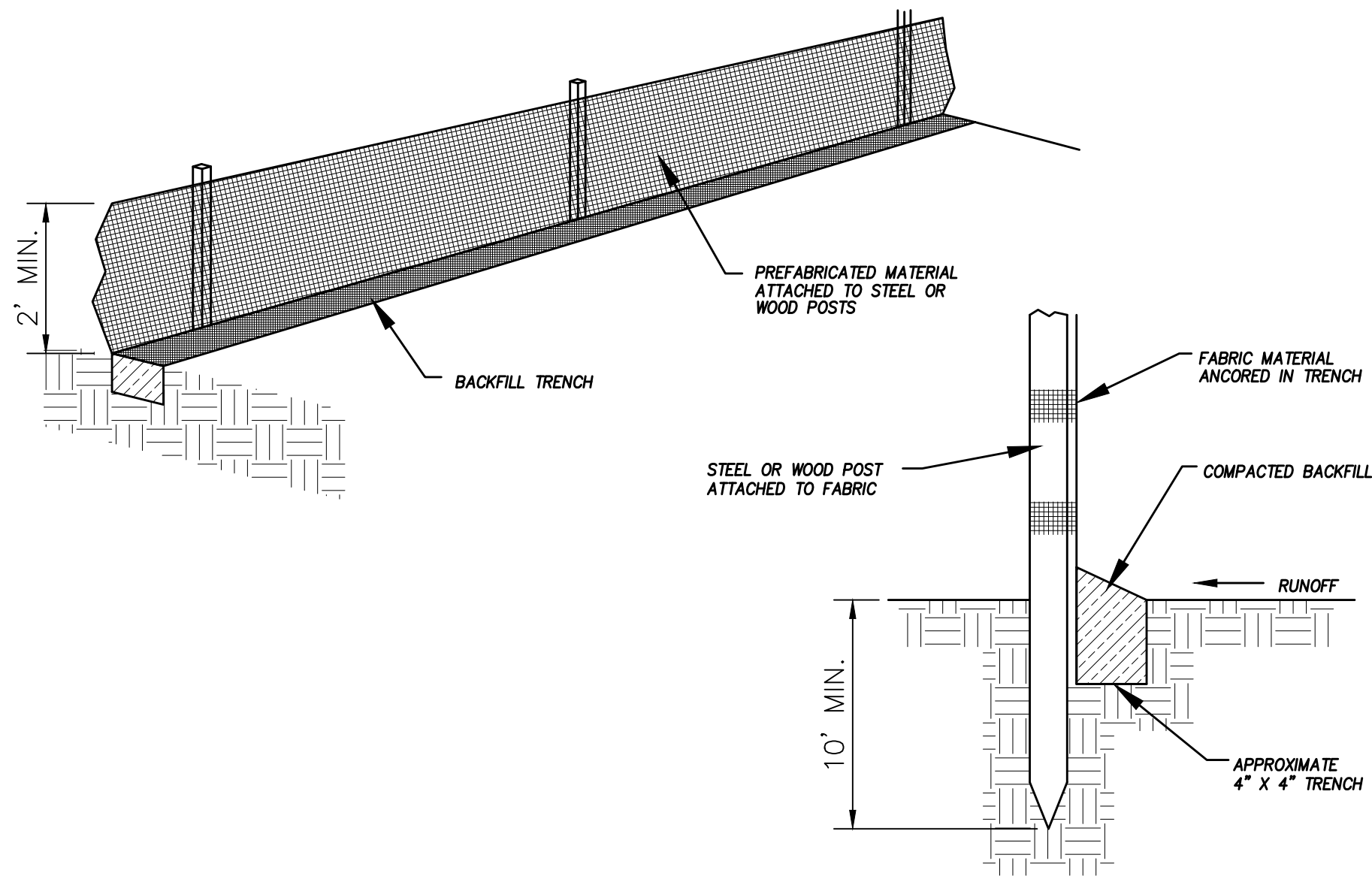
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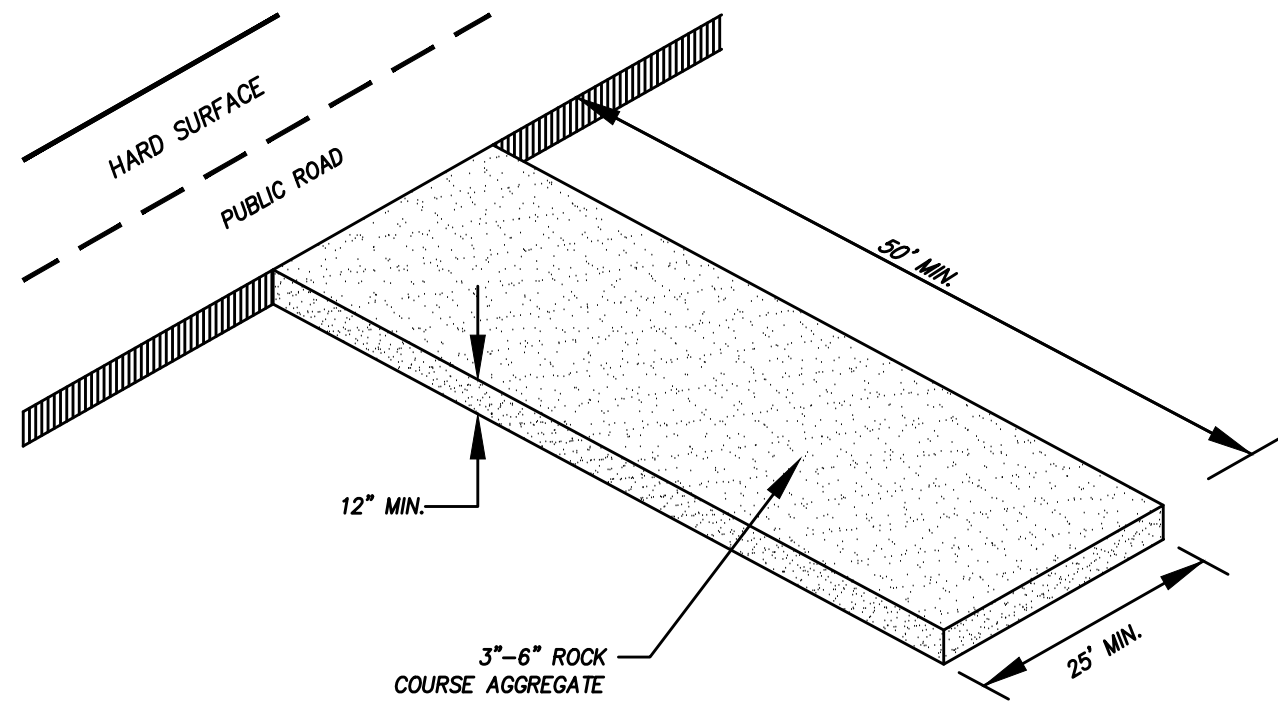
R-TANK LID CHAMBERS

(11"x17")
SCALE 1" = 200'

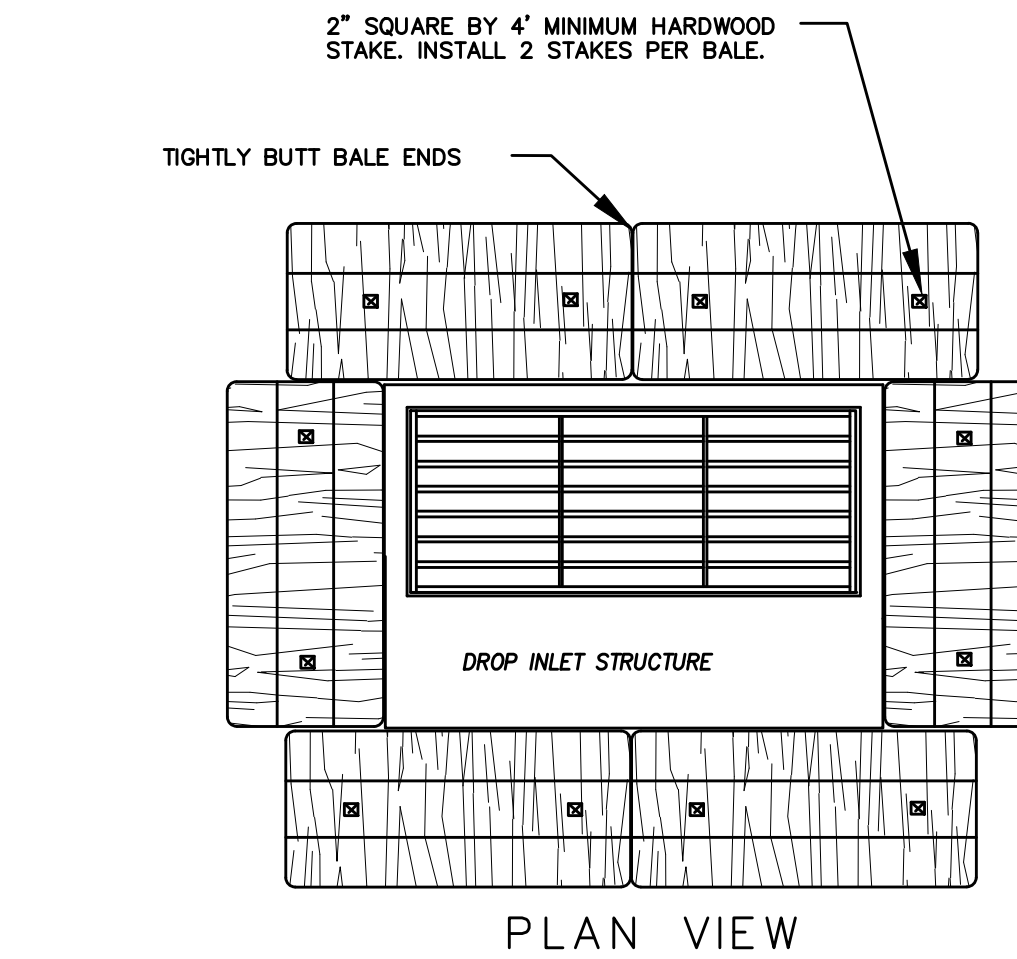
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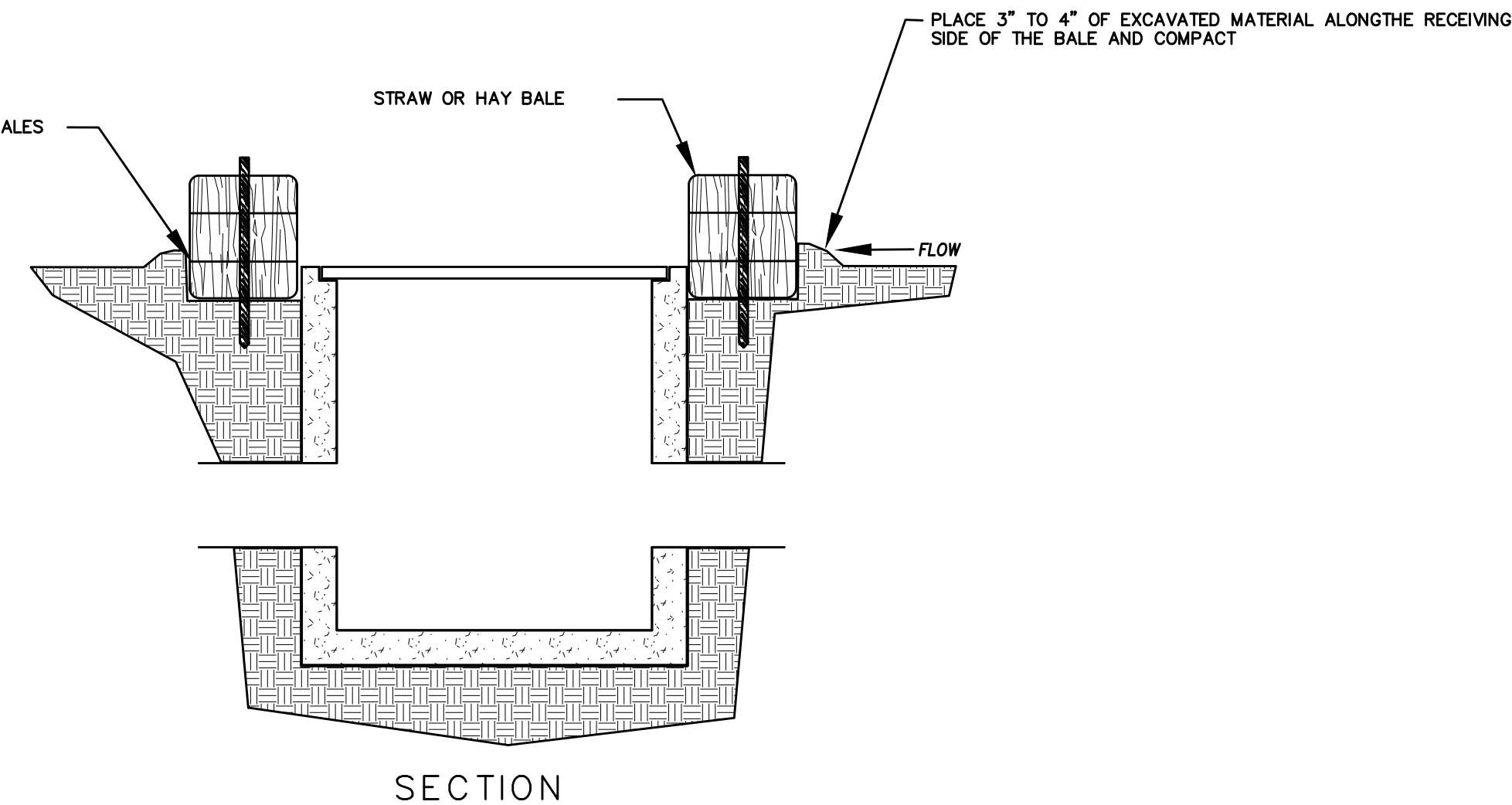
DETAIL-A
SILT FENCE DETAIL
-NTS-



DETAIL-B
VEHICLE TRACKING DETAIL
NOT TO SCALE



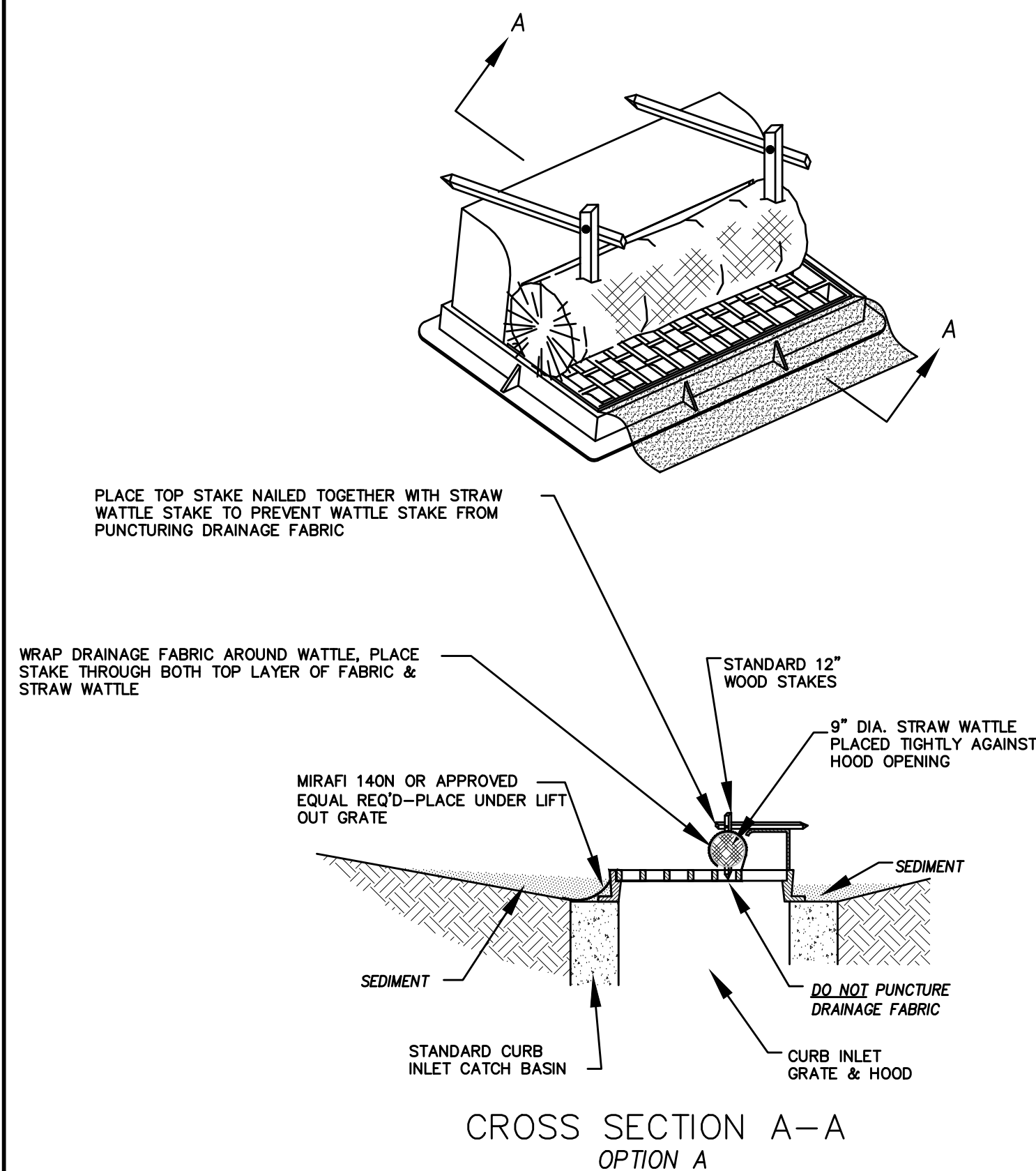
- NOTES:
1. KEY-IN BALES IN AN EXCAVATED TRENCH AROUND THE PERIMETER OF THE DROP INLET STRUCTURE THAT IS 6" DEEP BY A BALES WIDTH WIDE.
 2. OVERLAP ON CORNERS MUST BE AT LEAST HALF A BALE WIDE.
 3. DEPENDING ON THE SIZE OF THE INLET STRUCTURE, MORE BALES THAN SHOWN MAY BE REQUIRED.
 4. IN MEDIAN AREAS, CONSTRUCT SO THAT THE TOPS OF THE BALES ARE NOT HIGHER THAN THE ADJACENT ROADWAY.
 5. MAINTAIN A PROPERLY FUNCTIONING SEDIMENT BARRIER THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
 6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.



DETAIL-C
STRAW BALE DROP INLET PROTECTION DETAIL
-NTS-

EROSION CONTROL NOTES

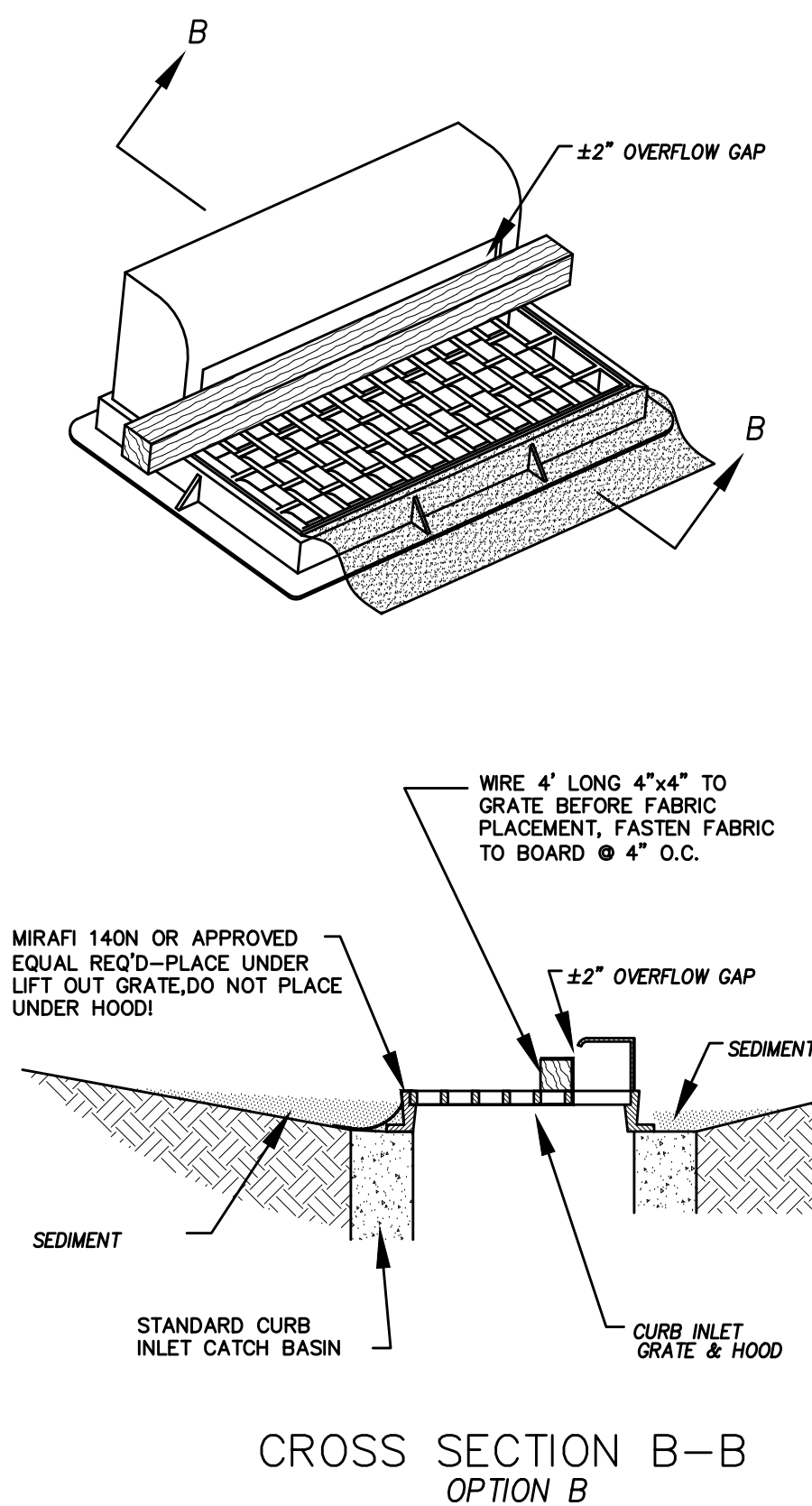
1. CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
2. EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WILL BE PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) WILL BE SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
4. EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 2:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPES. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
5. CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
6. EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATION BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPEROUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED. FOR MORE INFORMATION, SEE SHEET 7.
7. SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL BE INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCHED AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
8. CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES, STRAW BALES, OR WATTLE.
9. TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
10. ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
11. CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
12. THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
13. ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
14. CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.



CROSS SECTION A-A
OPTION A

* CATCH BASIN INLET PROTECTIONS ARE TO REMAIN IN PLACE AND OPERATIONAL UNTIL ALL CONSTRUCTION IS COMPLETED AT THE SITE.

DETAIL-D
CURB INLET PROTECTION
DETAIL FOR EXISTING CATCH BASINS
ANY OF THE ABOVE OPTIONS MAY BE USED
NOT TO SCALE



CROSS SECTION B-B
OPTION B

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& Surveying
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TANNER FLATS
at SUMMIT RIDGE - PHASE 3
LOCATED IN SECTION 10, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

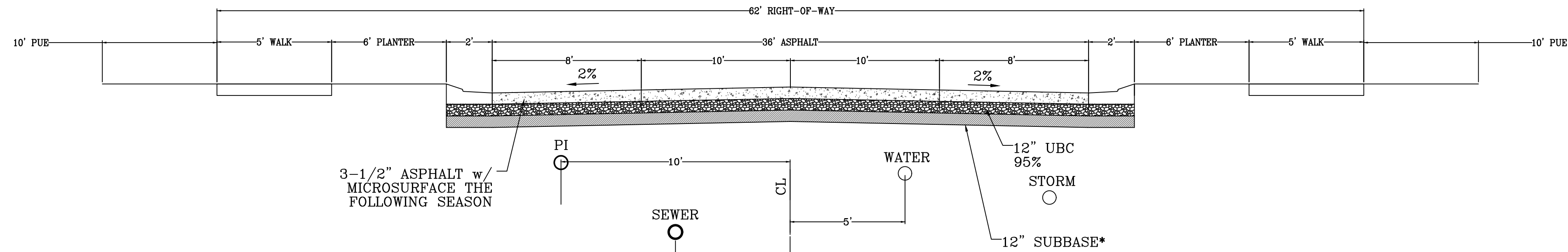
REVISIONS:

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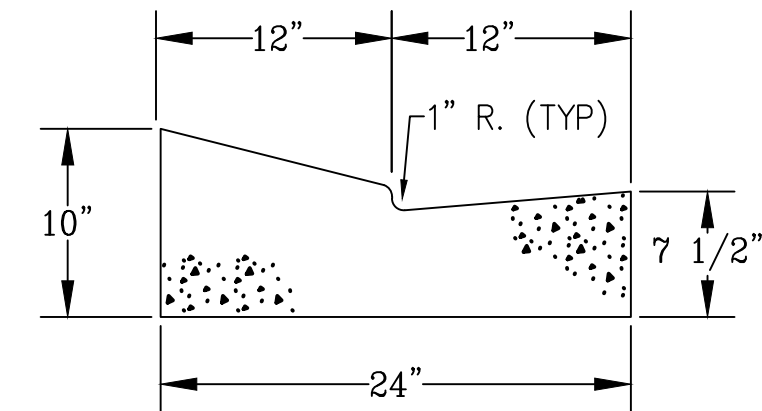
SHEET NAME:
EROSION CONTROL DETAILS

SHEET:

EC-03

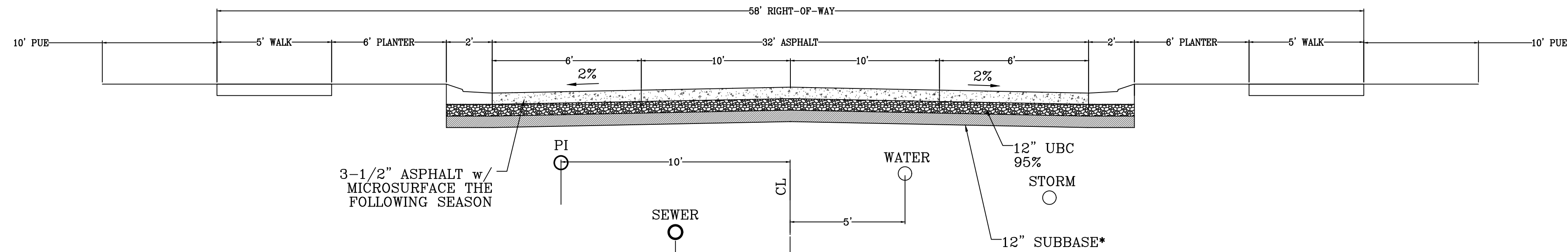


**62' MAJOR LOCAL
Typical Road Section**
LOOKING NORTH AND WEST

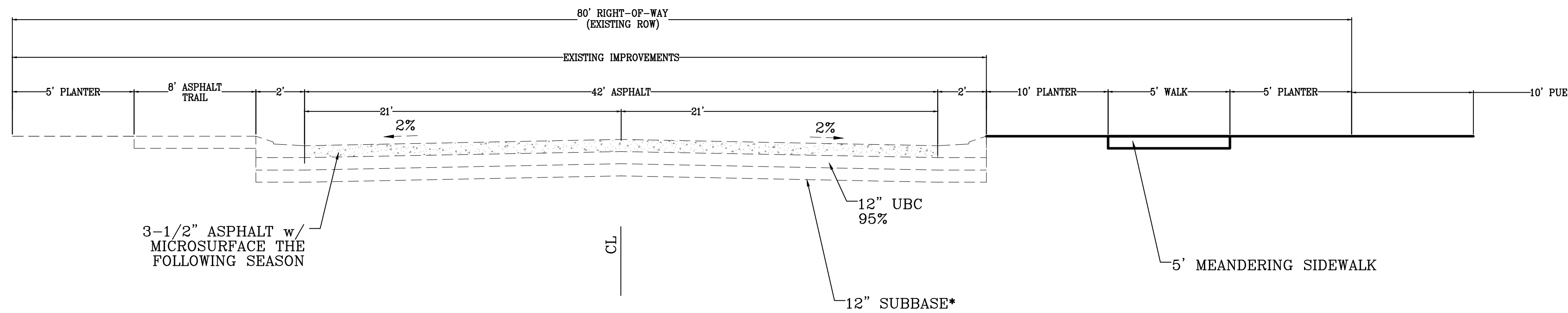


MODIFIED HIGH BACK CURB

*NOTE: ON SITE INSPECTION TO BE
CONDUCTED BY GEOTECHNICAL
ENGINEER TO DETERMINE ADEQUACY OF
EXISTING MATERIAL



**58' MAJOR LOCAL
Typical Road Section**
LOOKING NORTH AND WEST



SUMMIT RIDGE BLVD
LOOKING NORTH

Engineering
& Surveying

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**TANNER FLATS
at SUMMIT RIDGE – PHASE 3**
LOCATED IN SECTION 10, TOWNSHIP 10, SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 5.22.2025

PROJECT #

REVISIONS:

1

2

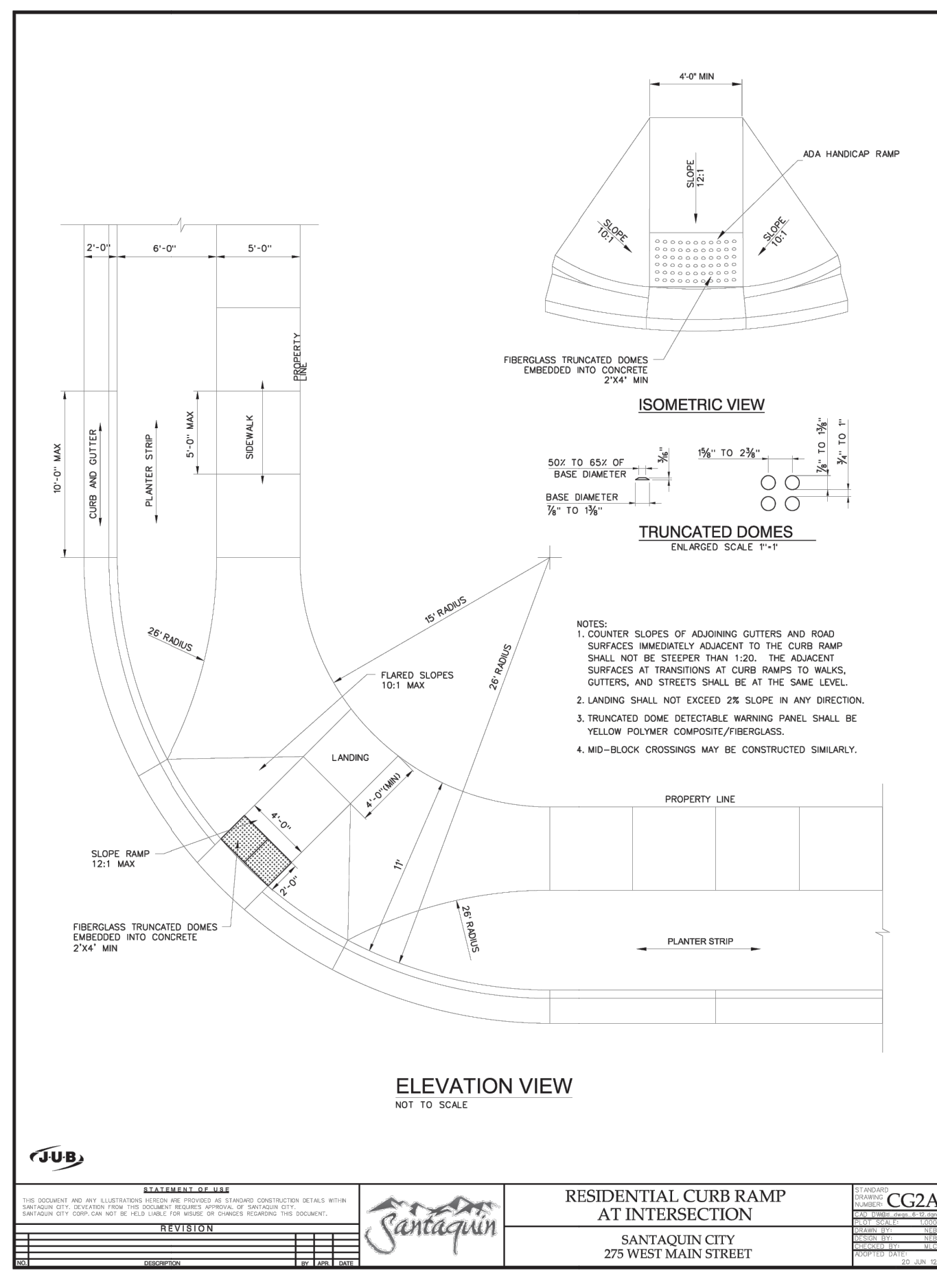
3

SHEET NAME:

TYPICAL DETAILS

SHEET:

DT-01



(DATE:5.22.2025

PROJECT #

REVISIONS:

1

2

3

SHEET NAME:

TYPICAL DETAILS

SHEET

DT-02



DRC Members in Attendance: City Engineer Jon Lundell, Planner Aspen Stevenson, Building Official Randy Spadafora, Fire Chief Ryan Lind, Public Works Director Jason Callaway, and City Manager Norm Beagley.

Police Lieutenant Mike Wall was excused from the meeting.

Others in Attendance: City Recorder Amalie Ottley and Engineer Megan Wilson.

1. Amsource Commercial Subdivision Final Plan

A final plan review of the Amsource Commercial site located at approximately 900 East and Main Street.

The applicants, Shaun Young and John Gaskill, attended the meeting via ZOOM.

Planner Stevenson had no comments.

Building Official Randy Spadafora had no comments.

Fire Chief Ryan Lind had no comments.

Public Works Director Jason Callaway inquired about stop signs on Highland Drive and Main Street. Engineer Lundell indicated that stop signs are shown on the plans. Public Works Director Callaway stated that combination stop and address signs would be preferred.

City Manager Norm Beagley indicated that Phase 1 of the plan is lots 1 through 4. Parcel A as indicated on the plans will be in a future phase of the subdivision plan. He added that full improvements will need to be installed along Highland Drive at the time that Phase 2 (Parcel A) is developed, as the south side of the future Highland Drive road is already developed land.

Engineer Lundell pointed out that the access easement must include a protected right-hand turn lane rather than the current 30-foot easement that is shown on the plans. That 30-foot easement is not sufficient to meet the City Code. Manager Beagley noted that documentation for the access easement to & from Lot #1 needs be recorded.

Manager Beagley made a motion to approve the Amsource Commercial Subdivision Final Plan contingent on the redlines being addressed and noting that the plan being addressed is specifically for Phase 1 of the project. Public Works Director Callaway seconded the motion.

Lieutenant Mike Wall	Absent
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed.

2. Silver Creek Site Plan

An industrial site plan review located in the Santaquin Peaks Industrial Subdivision at approximately 41 N. Nebo Way.

The architect for the site plan, Clayton England, attended the meeting via ZOOM.

Planner Stevenson indicated that additional landscaping is required for the site and that a photometric plan for the site will be required.

Building Official Randy Spadafora had no comments.

Fire Chief Ryan Lind indicated that the minimum fire flow and spacing of fire hydrants for the building will depend on the type of building construction. In order to determine those specific requirements, Chief Lind asked that the architect provide more information as to the type of construction the building will consist of. Fire Chief Lind also indicated that the height of the building will determine certain specifications per the International Fire Code (IFC). He stated that because the building is meant to be a cabinet manufacturing building, other IFC requirements will be put in place, such as dust collection and mitigation and a sprinkler system. He added that two Fire Department Knoxboxes will be required on the outside of the building due to its size. Manager Beagley discussed options for water sprinklers in the office space. He reiterated that providing more information as to the building type will help the City evaluate fire code requirements. Fire Chief Lind discussed that access to the fire riser room and control panel from the outside would not require a post indicator valve (PIV) if the building is fully equipped with sprinklers which would be a cost savings to the applicant.

Public Works Director Callaway indicated that a fire line and two water service lines are proposed to be abandoned on the project and that during construction, the applicant will need to make sure they are conscientious of the water lines' whereabouts. He suggested that those lines be capped at the curb. Fire Chief Lind indicated that after the type of building is ascertained, those water lines may be used for required fire hydrants. Director Callaway also indicated that the pressurized irrigation (PI) line will need to be run across to the north frontage to make sure meters are appropriately placed. Manager Beagley indicated that it's the city's responsibility to run the PI line and meter to the lot.

Manager Beagley asked the architect to make sure the guidelines in City Code and per the approved purchase agreement are met.

Engineer Lundell pointed out general notations that need to be added to the plans. He indicated that the building does cross over a property boundary line. As such, a boundary line adjustment or an amended plat must take place before the site plan can be finalized. Engineer Lundell also pointed out that the curb inlet discharge and storm drainage need to be indicated on the plans as it is not clear if there will be a sump, piping, or infiltration gallery, etc.

Planner Stevenson reminded Engineer Lundell that a larger drive approach than 30 feet needs to be approved by motion by the Development Review Committee (DRC).

Manager Beagley made a motion to table the Silver Creek Site Plan due to the number of redlines that need to be addressed. Chief Lind seconded the motion.

Lieutenant Mike Wall	Absent
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed.

Meeting Minutes Approval May 27, 2025

Planner Stevenson made a motion to approve the May 27, 2025 meeting minutes. Manager Beagley seconded the motion.

Lieutenant Mike Wall	Absent
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Planner Aspen Stevenson	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

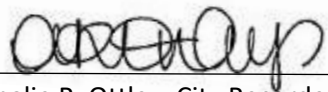
The motion passed.

Adjournment

Fire Chief Lind made a motion to adjourn the meeting.

The meeting was adjourned at 10:25 a.m.

Jon Lundell, City Engineer



Amalie R. Ottley, City Recorder