



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, June 13, 2023, at 10:00 AM  
Court Room/Council Chambers (2nd Floor) and Online  
275 W. Main Street, Santaquin, UT 84655

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. O'Reilly's Auto Parts Site Plan**

A commercial site plan review for a proposed retail business located at approximately 500 W Main Street.

### MEETING MINUTES APPROVAL

**2. May 23, 2023**

### ADJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at [www.santaquin.org](http://www.santaquin.org), in three physical locations (Santaquin City Public Safety Building, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:

  
Amalie R. Ottley, City Recorder



# SITE PLAN DEVELOPMENT

## O'REILLY AUTO PARTS - MAIN STREET

PARCEL NO. 32.007.0013  
CITY OF SANTAQUIN, COUNTY OF UTAH, STATE OF UTAH

### SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF ASPHALT
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	TOP OF RETENTION POND
	TOE OF RETENTION POND

### ABBREVIATIONS

BUILDING SETBACK LINE	BSL
BACK OF WALK	BW
BOTTOM OF POND	BOP
BOTTOM OF WALL	BOW
CURB CUT	CC
CURB FACE	CF
DESIGN CAPTURE VOLUME	DCV
EXPOSED BACK OF CURB	EC
EXPOSED FOUNDATION	EF
EXISTING GROUND	EG
EXISTING SURFACE	ES
FINISHED FLOOR ELEVATION	FF/FFE
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
INVERT	INV
LANDSCAPE SETBACK	LSB
MATCH EXISTING	ME
PROPERTY LINE	PL
SIDEWALK	SW
TOP OF CURB	TC
TOP OF WALL	TOW
TOP OF GRATE	TG
TRASH PAD	TP
WATER SURFACE ELEVATION	WSEL

### SHEET INDEX

- C1.0 - COVER SHEET  
D1.1 - SITE DEMOLITION PLAN  
C1.1 - SITE GRADING PLAN  
C1.2 - SITE EROSION CONTROL PLAN  
C2.1 - SITE DEVELOPMENT PLAN  
C2.2 - SITE DETAILS  
C2.3 - REFUSE ENCLOSURE DETAILS  
C2.4 - CITY STANDARD DETAILS  
C2.5 - UTILITY DETAILS  
C2.6 - SITE ACCESSIBILITY CIRCULATION PLAN  
C3.1 - SITE UTILITY PLAN  
C4.1 - ROAD PLAN

REFERENCE LANDSCAPE PLANS FOR LANDSCAPING DETAILS.

### SITE DETAILS

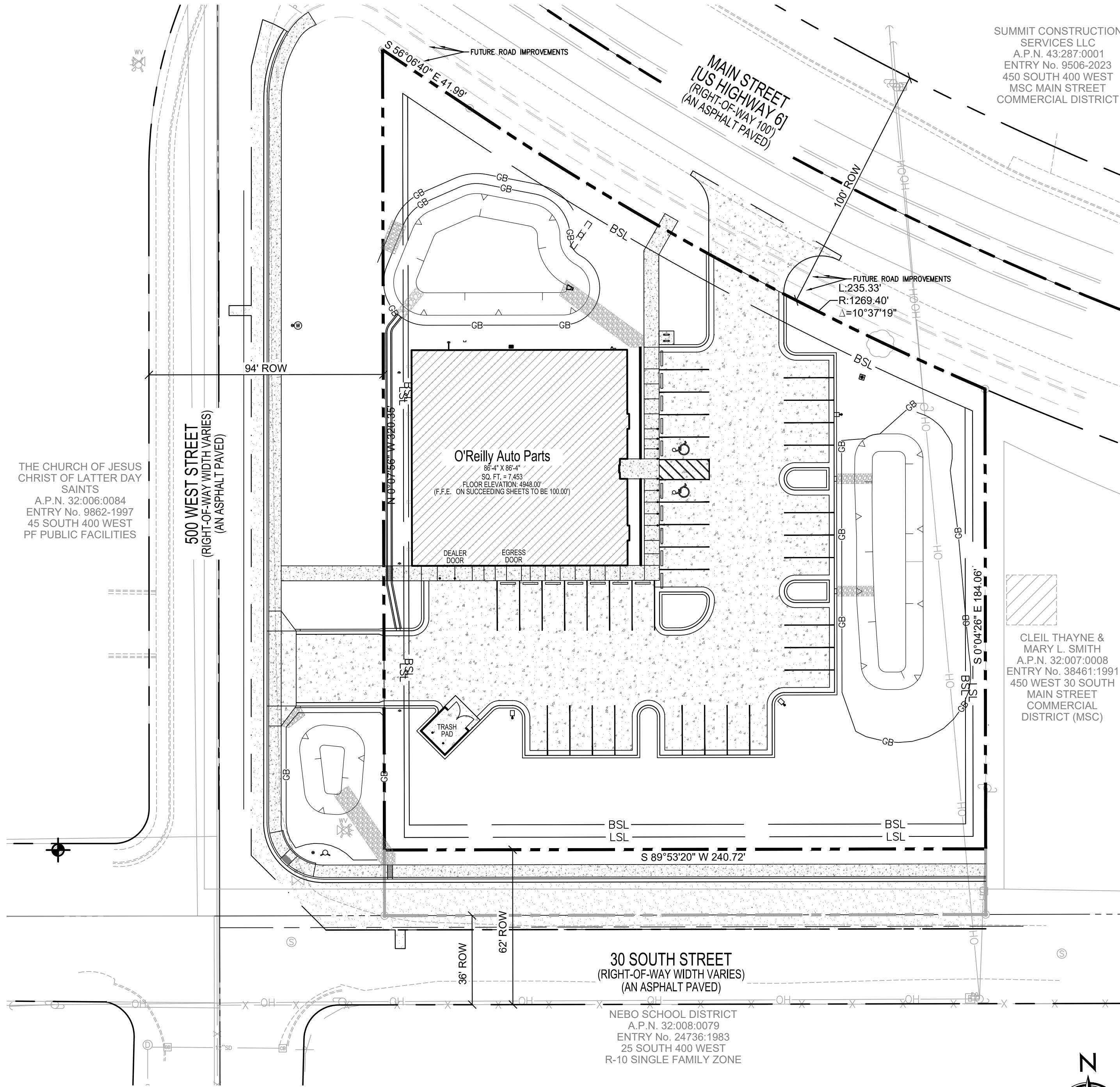
PARCEL AREA:	65,753.4 SQ.FT.
BUILDING AREA:	59,241.6 SQ.FT. (FINAL BOUNDARY)
PARKING LOT AREA:	18,182.9 SQ.FT.
LANDSCAPED AREA:	32,307.3 SQ.FT.
TOTAL ACREAGE TO BE DEDICATED FOR ROW:	0.145 ACRE
CONCRETE WALK AREA:	1501.8 SQ.FT.

NOTE:  
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTH-EAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

NOTE:  
ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



### INDEX MAP

SCALE: 1"=30'

GRAPHIC SCALE - FEET

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

### UTILITY COMPANY CONTACTS

<b>CULINARY WATER &amp; SANITARY SEWER:</b> SANTAQUIN CITY JON LUNDELL, P.E. (801)-754-1974 JLUNDELL@SANTAQUIN.ORG	<b>NATURAL GAS:</b> DOMINION ENERGY SL MAPPING DEPARTMENT (801) 324-3970 MAP.REQUESTS@DOMINIONENERGY.COM
<b>POWER:</b> ROCKY MOUNTAIN POWER CLAIRE HUNTER (385) 395-7198 CLAIRE.HUNTER@PACIFICORP.COM	<b>CABLE TV &amp; PHONE:</b> CENTRACOM INTERACTIVE ALISA FAATZ (435) 427-3331 A.FAATZ@CENTRACOM.COM
<b>FIBER OPTIC &amp; PHONE:</b> LUMEN/CENTURYLINK LARRY BUHLER (385) 479-7357 LARRY.BUHLER@LUMEN.COM	<b>FIBER OPTIC:</b> UTOPIA FIBER XIAOTONG WU (801) 613-3854 XWU@UTOPIANET.ORG
	<b>FIBER OPTIC &amp; TRAFFIC SIGNALS:</b> UDOT REGION III DEGEN LEWIS (801) 227-8011 DLEWIS@UTAH.GOV

### CONTACTS

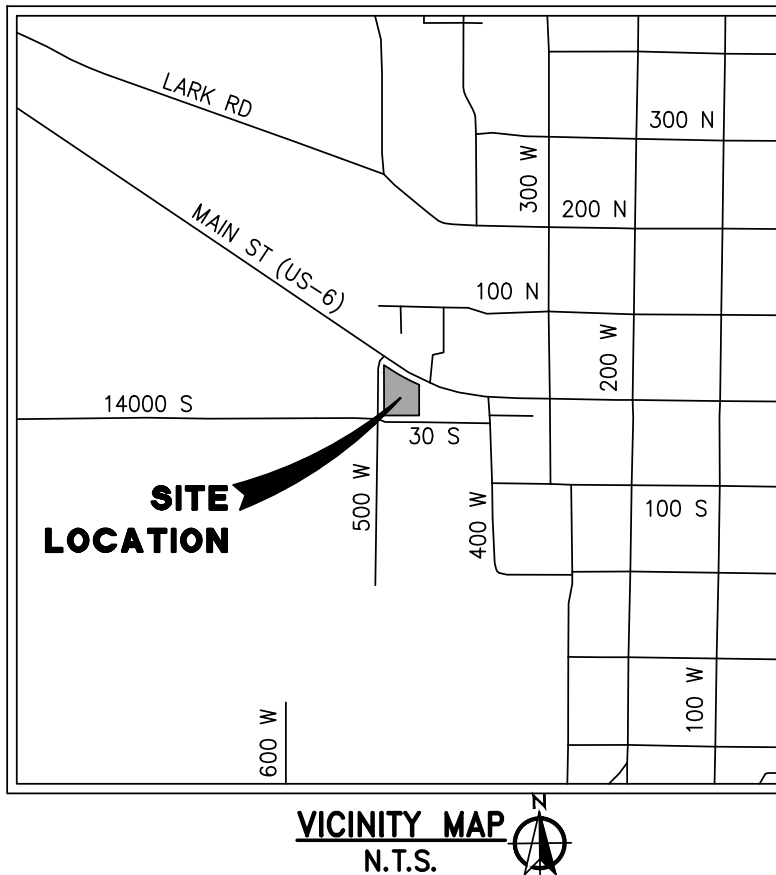
<b>CIVIL ENGINEER</b> TAIT & ASSOCIATES, INC. 6163 E. COUNTY ROAD 16 LOVELAND, CO 80537 ATTN: JACOB VANDERVIS, PE 714-356-8556	<b>ARCHITECT</b> CRAIG A. SCHNEIDER, AIA 1736 EAST SUNSHINE, SUITE 417 SPRINGFIELD, MO 65804 (417) 862-0558
<b>MEP</b> SMITH-GOTH ENGINEERS, INC. 3855 JEFFERSON AVE. SPRINGFIELD, MO 65807 (417) 882-1188	

### DEVELOPER/OWNER

**O'Reilly AUTO PARTS**

O'REILLY AUTO ENTERPRISES, LLC  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

### VICINITY MAP



N.T.S.

CAUTION:

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



Know what's below  
Call before you dig.

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
COVER SHEET

**O'Reilly AUTO PARTS**

COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE:

C1.0

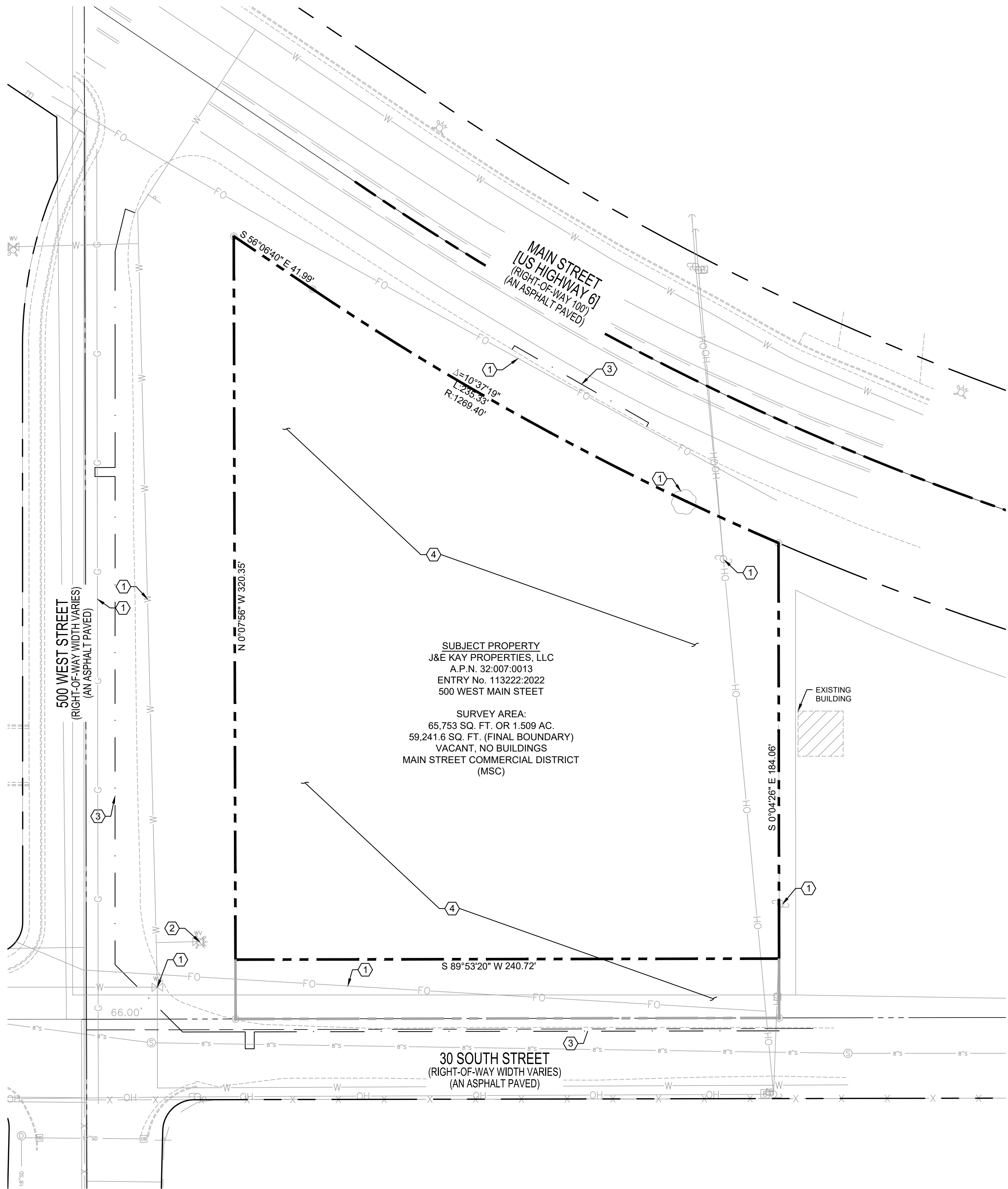
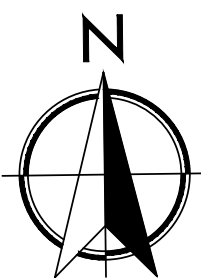
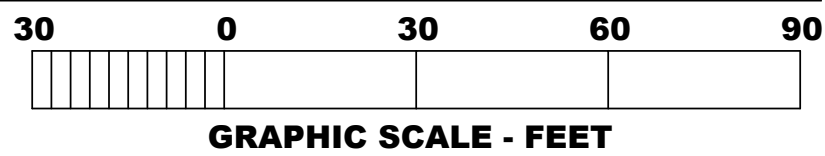


						<b>PROJECT NO.</b> 3704-01
						<b>SHEET NO.</b> SV1
1	ADD ZONING LETTER, DEED E.N. TIPOIS	BCD	02.17.23			
0	RELEASED FOR REVIEW	JDP	02.13.23			
<b>NO.</b>	<b>REVISIONS</b>	<b>BY</b>	<b>DATE</b>	<b>FILE NAME:</b> SQ1 ALTA	<b>SCALE:</b> 1"=20'	

	SUBJECT PROPERTY BOUNDARY LINES
----	ADJACENT PROPERTY LINES
----	SECTION LINE
----	CENTER LINE
----	RIGHT-OF-WAY LINE
----	EASEMENT LINE (LINE TYPE VARIES)
----	SETBACK LANDSCAPE BUFFER LINE
----	SECTION MONUMENTS FOUND, NOT FOUND (AS NOTED)
----	REFERENCE MONUMENTS FOUND
----	SET REBAR & CAP MARKED "DOMINION ENGINEER (UNLESS OTHERWISE NOTED)"
----	EXISTING CHAIN LINK FENCE
----	EDGE OF EXISTING IMPROVEMENTS ± (AS NOTED)
----	CULINARY WATER LINES ±
----	SANITARY SEWER LINES ±
----	STORM DRAIN LINES ±
----	OVERHEAD POWER LINES ±
----	OVERHEAD TELECOMMUNICATION LINES ±
----	FIBER OPTIC LINES ±
----	NATURAL GAS LINES ±
----	EXISTING WATER VALVE
----	EXISTING SANITARY SEWER MANHOLE
----	EXISTING STORM DRAIN MANHOLE, CATCH BASIN
----	EXISTING ELECTRICAL BOX, POWER POLE
----	EXISTING TELECOMMUNICATIONS BOX
----	EXISTING FIRE HYDRANT
(S89°50'20"W 2858.20')	RECORD BEARINGS &/OR DISTANCES
4297	EXISTING ONE FOOT ELEVATION CONTOUR LINE
x 4295.8	EXISTING SPOT ELEVATION
----	POSSIBLE ENCROACHMENT REFERENCE NUMBERS
UCS	UTAH COUNTY SURVEYOR
UDOT	UTAH DEPARTMENT OF TRANSPORTATION



**1 SITE DEMOLITION PLAN**  
D1.1 SCALE: 1" = 30'-0"



**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

**KEY NOTES**

- (1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- (2) RELOCATE HYDRANT. REFER TO C3.1
- (3) SAWCUT EXISTING PAVEMENT AS SHOWN .
- (4) CLEAR AND GRUB

**BASIS OF BEARING**

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

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**SYMBOLS LEGEND**

	EXISTING BUILDING
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	SECTION LINE
	ROAD CENTERLINE
	ADJACENT PROPERTY LINE
	EXISTING 8" SEWER MAIN
	EXISTING WATER LINE
	EXISTING FENCE
	EXISTING 12" STORM DRAIN LINE
	EXISTING 18" STORM DRAIN LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING MISCELLANEOUS
	EXISTING TREE
	EXISTING FIBER OPTIC BOX
	EXISTING ELCTRICAL BOX
	EXISTING POWER POLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING SIGN

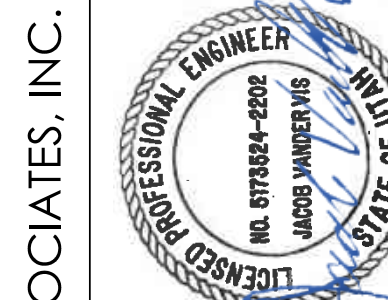
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www.tait.com  
ENGINEERING ENVIRONMENTAL BUILDING LAND  
& ASSOCIATES  
Orange County Sacramento Denver Boise  
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Since 1914



PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

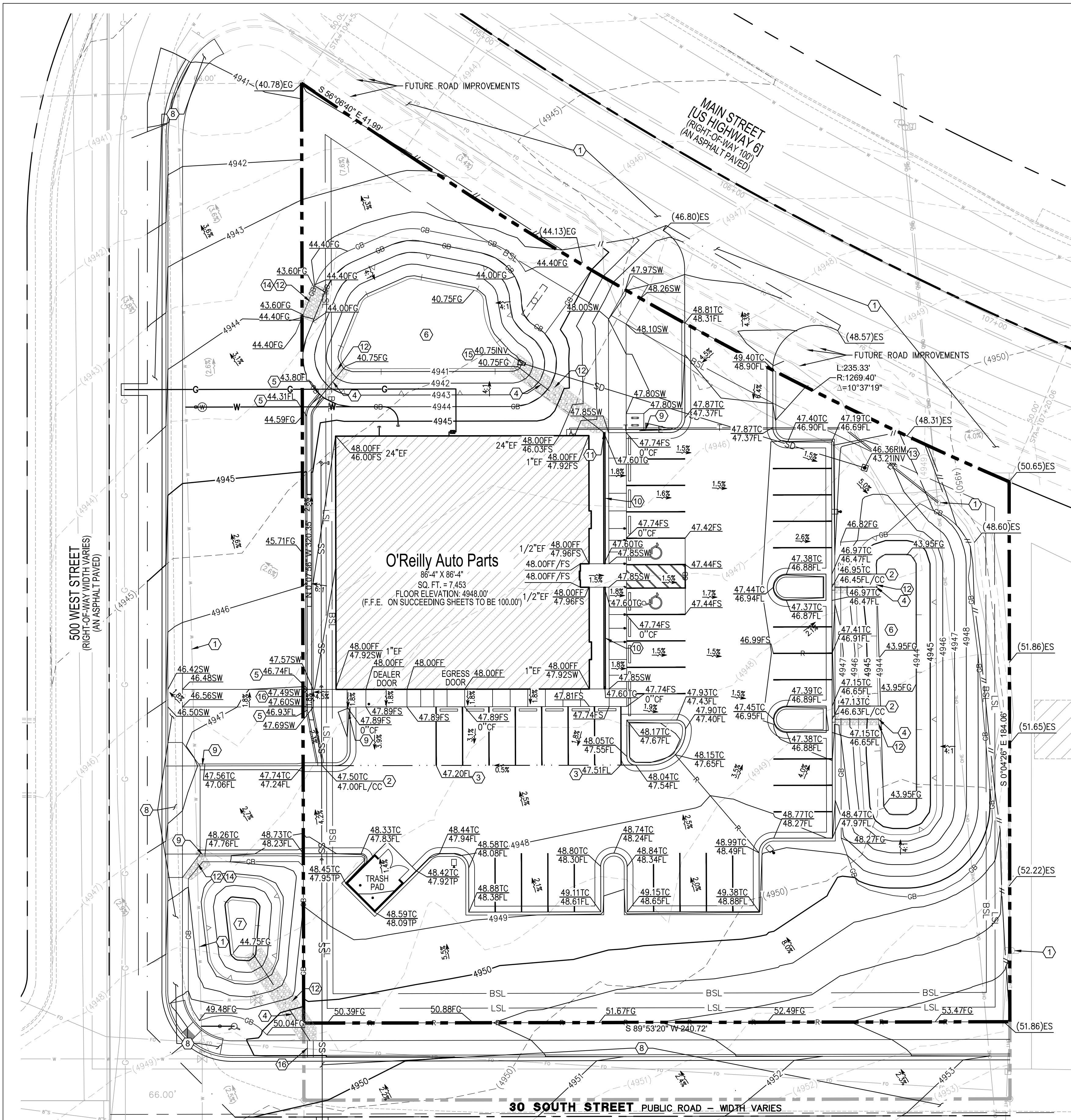
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PROJECT:  
**NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
SITE DEMOLITION PLAN**

**CRAIG A. SCNEIDER, AIA  
ARCHITECT**

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterlyschneider.com





## 1 SITE GRADING PLAN

C1.1 SCALE: 1" = 20'-0"

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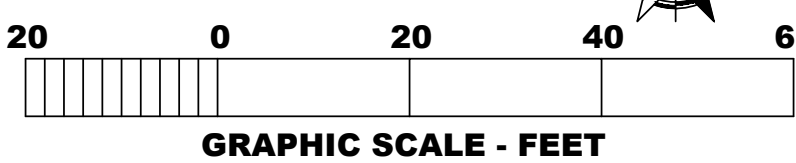


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GRAPHIC SCALE - FEET

## 2 ADA STALL DETAIL

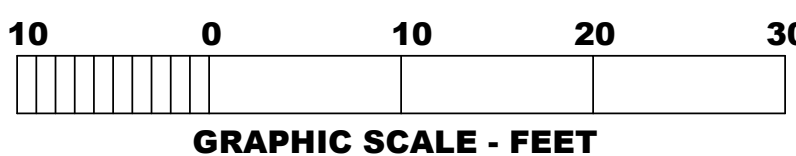
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	NEW BUILDING CONSTRUCTION
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	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	PROPOSED GAS SERVICE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SAWCUT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
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	EXISTING SURFACE LABEL
	FINISHED SURFACE LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SLOPE
	PROPOSED SLOPE
	TOP OF RETENTION POND
	TOE OF RETENTION POND

### KEYNOTES

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2' WIDE CURB CUT. REFER TO DETAIL 8/C2.2.
- PROPOSED SWALE IN CONCRETE.
- PROPOSED SWALE IN LANDSCAPE RIPRAP.
- 2' U-GUTTER. REFER TO DETAIL 9/C2.2
- PROPOSED ONSITE RETENTION POND.
- PROPOSED OFFSITE RETENTION POND.
- OFFSITE IMPROVEMENTS. SEE SHEET C4.1
- 1' CURB TRANSITION.
- 4" PRESLOPED TRENCH DRAIN. REFER TO DETAIL 11/C2.2.
- TRENCH DRAIN CONVEYS INTO LANDSCAPE SWALE.
- RIP RAP UNDERLINED WITH NONWOVEN GEOTEXTILE FABRIC. TYPE D50=6" RIPRAP TO A DEPTH OF 18".
- 18" POND OVERFLOW STRUCTURE. REFER TO DETAILS ON SHEET C2.5
- SECONDARY/EMERGENCY OVERFLOW
- 12" HDPE FLARED END SECTION. REFER TO DETAILS ON SHEET C2.5
- UNDER SIDEWALK DRAIN. REFER TO DETAIL 12/C2.2



GRAPHIC SCALE - FEET

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### ADA NOTE

- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
  - LONGITUDINAL SLOPE NOT TO EXCEED 5%
  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
  - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
  - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

### STORMWATER NOTES

ON-SITE STORAGE IS DESIGNED PER THE SANTAQUIN STORM DRAIN MASTER PLAN FOR RETENTION OF THE 100 YEAR, 24 HOUR STORM.

#### ONSITE RETENTION VOLUMES:

TOTAL 100 YEAR, 24 HOUR STORM RUNOFF VOLUME = 7840 CF  
NORTH POND STORAGE VOLUME AT ELEV 4943.00 = 4886 CF  
EAST POND STORAGE VOLUME AT ELEV 4945.45 = 3207 CF  
TOTAL STORAGE RETENTION VOLUME = 8093 CF

#### OFFSITE RETENTION VOLUMES:

REQUIRED SOUTH STREET 25 YEAR, 6 HOUR RUNOFF VOLUME = 838 CF  
RIGHT OF WAY STORAGE VOLUME AT 4946.77 = 945 CF

#### NOTE:

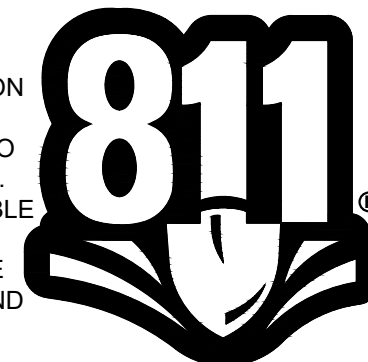
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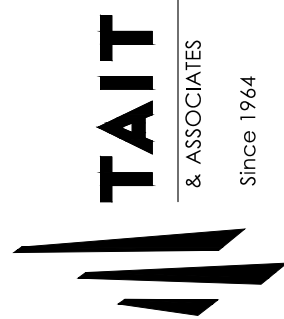
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JACOB VANDERVLIS PE 517324-2202

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
SITE GRADING PLAN

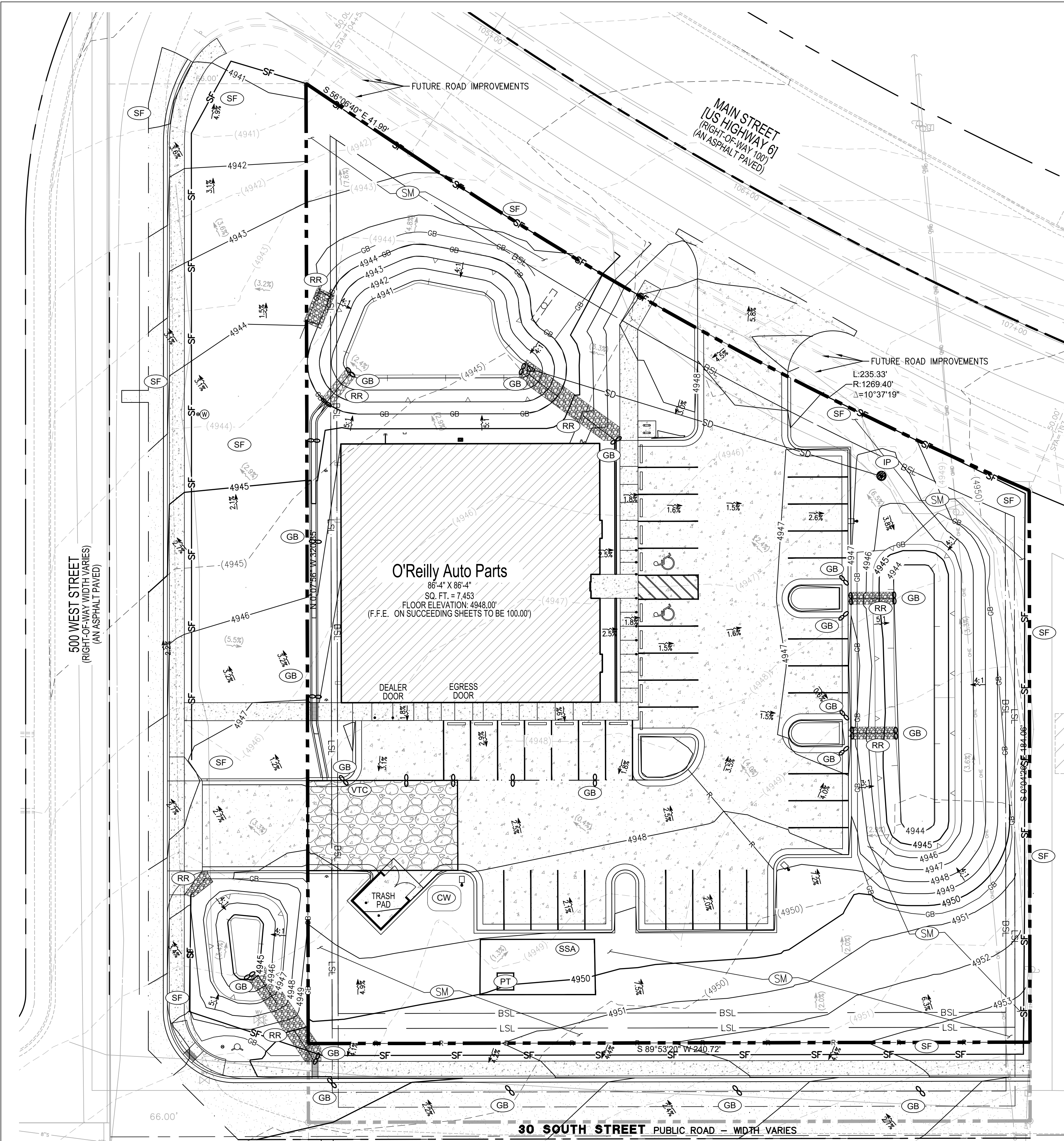
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ARCHITECT  
1736 East Sunshine, Suite 417  
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COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE:

C1.1





**1 SITE EROSION CONTROL PLAN**  
C1.2 SCALE: 1" = 20'-0"

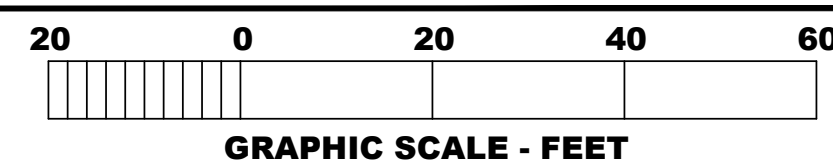
**BASIS OF BEARING**

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, S1B&M.

**BENCHMARK**

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.  
SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.



**EROSION CONTROL & MAINTENANCE PLAN NOTES**

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CODE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO SITE DETAILS FOR SILT FENCE CONSTRUCTION.
7. REFER TO COLORADO DEPARTMENT OF ENVIRONMENTAL QUALITY STORM WATER MANAGEMENT DURING CONSTRUCTION FIELD GUIDE FOR BEST MANAGEMENT PRACTICES DURING CONSTRUCTION.
8. REFUELING AND MAINTENANCE OPERATIONS SHALL TAKE PLACE IN THE DESIGNATED STABILIZED STAGING AREA.

**SITE LEGEND**

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- NEW BUILDING CONSTRUCTION
  - AREA OF CONCRETE
  - AREA OF ASPHALT
  - AREA OF RIP RAP
  - CONCRETE PAVING BLOCK
  - O'REILLY PROPERTY LINE/ROW
  - ADJACENT PROPERTY LINE
  - CENTER LINE
  - RIGHT-OF-WAY LINE
  - BUILDING SETBACK LINE
  - EXISTING EASEMENT
  - PROPOSED EASEMENT
  - PROPOSED SAWCUT
  - PROPOSED RIDGELINE
  - PROPOSED SWALE FLOW LINE
  - PROPOSED POLE SIGN LOCATION
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED WATER METER
  - PROPOSED FIRE HYDRANT
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING SLOPE
  - PROPOSED SLOPE
  - TOP OF RETENTION POND
  - TOE OF RETENTION POND

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

**STAGE OF CONSTRUCTION NOTES**

- PHASE 1 (PRE-CONSTRUCTION)
1. INSTALLATION OF EROSION CONTROL SILT FENCE.
  2. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
  3. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
- VEHICLE TRACKING CONTROL  
-SANITARY FACILITIES  
-GRAVEL BAGS
- PHASE 2 (DURING GRADING, AND PAVING)
4. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
  5. ROUGH GRADING.
  6. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
  7. FINAL GRADING.
- CONCRETE WASHOUT AREA  
PRIOR TO ANY CONCRETE WORK  
-INLET PROTECTION FOR PROPOSED ONCE INSTALLED
- PHASE 3 (POST PAVING)
8. PLACEMENT OF FINAL LANDSCAPING ITEMS.
  9. REMOVAL OF EROSION CONTROL FENCE.
- FINAL LANDSCAPE INSTALLATION PER LANDSCAPE PLANS  
-REMOVE REMAINING EROSION CONTROL BMP'S ONCE STABILIZED

**EROSION CONTROL SYMBOLS**

TITLE	KEY	SYMBOL
CONCRETE WASHOUT AREA	CW	
PORTABLE TOILET	PT	
VEHICLE TRACKING CONTROL	VTC	
GRAVEL BAG	GB	
DRAIN INLET PROTECTION	IP	
STABILIZED STAGING AREA	SSA	
SILT FENCE	SF	
AREA OF RIP RAP	RR	
SEEDING & MULCHING	SM	

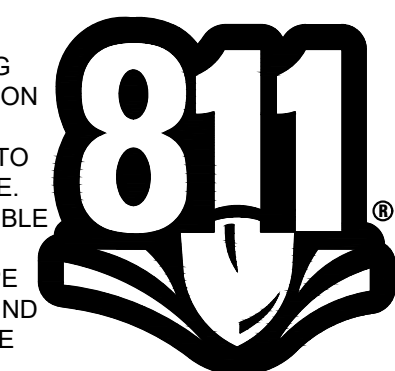
**CONSTRUCTION EGRESS NOTES**

1. PREFABRICATED CONSTRUCTION EGRESS SHALL BE 12" MINIMUM WIDTH AND 35' MINIMUM LENGTH. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. AGGREGATE BASED CONSTRUCTION EGRESS SHALL BE 12" MINIMUM AND 70' LENGTH WITH A 8" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER CITY OR STATE REQUIREMENTS.

**SITE EXCAVATION REQUIREMENTS**

- (A) A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- (B) FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- (C) REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

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ARCHITECT

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Fax: 417.862.3265  
e-mail: architect@eterischneder.com

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT

**SITE EROSION CONTROL PLAN**

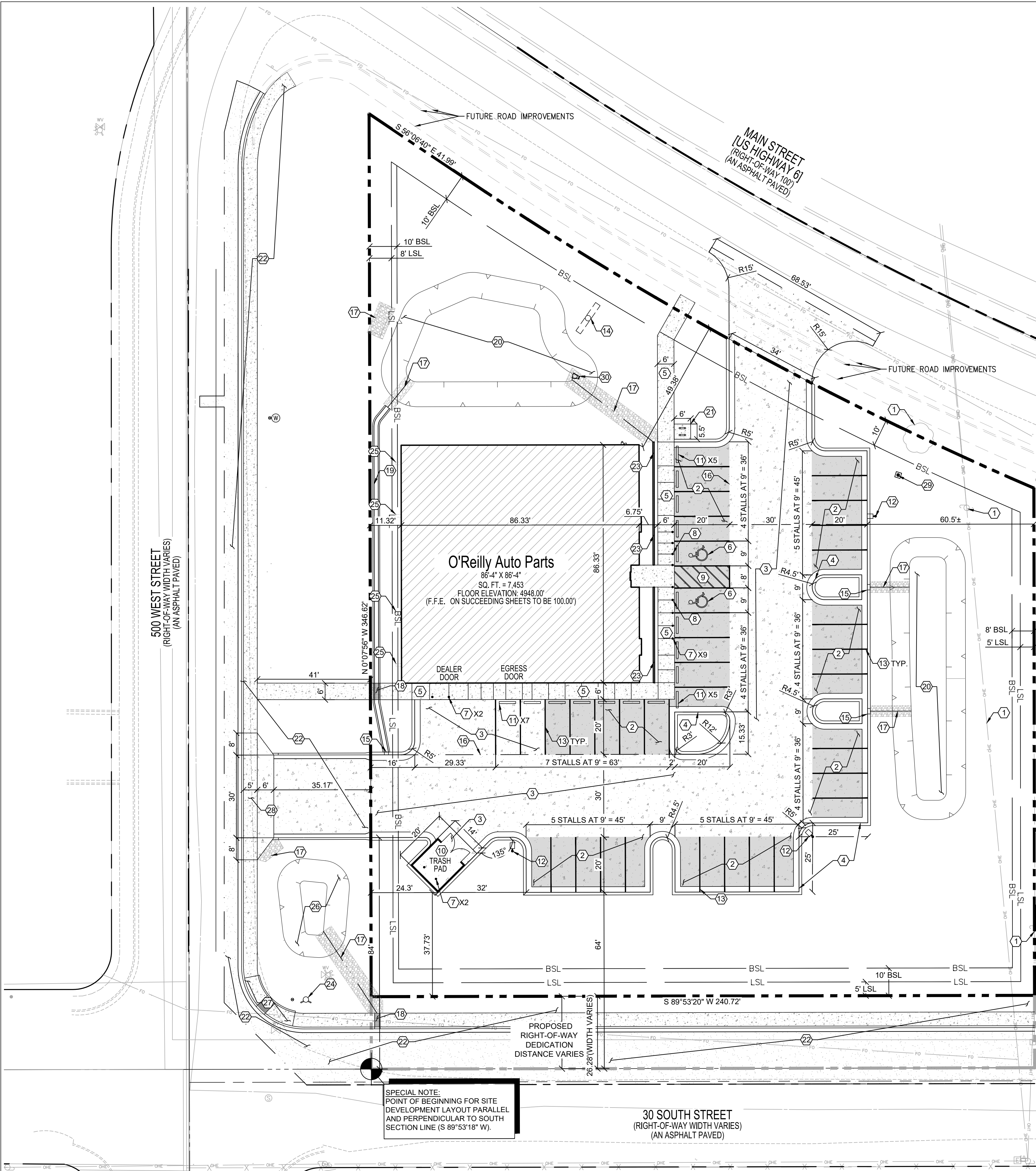
**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM #4704  
DATE: 05/26/2023  
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C1.2





- ### ZONING CODE

ZONING CLASSIFICATION: MSC - MAIN STREET COMMERCIAL  
PROPERTY AREA: 1.36 ACRE (FINAL BOUNDARY)  
PAVEMENT AREA: 0.45 ACRE

PARKING SUMMARY  
PARKING FORMULA: 5 STALLS PER 1,000 SQ.FT. GROSS FLOOR AREA  
SPACE SIZE: 9 FT. X 20 FT.  
SPACES REQUIRED: 38 STALLS  
SPACES PROVIDED: 40 STALLS  
H.C. SPACES PROVIDED: 2 STALLS

BICYCLE SUMMARY  
PARKING FORMULA: 3 STALLS FOR EVERY 25,000 SQ.FT. NOT TO EXCEED 12 PARKING STALLS  
SPACES REQUIRED: 3 STALLS  
SPACES PROVIDED: 4 STALLS
- ### GENERAL NOTES

(A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.

(B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.

(C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

(D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.

(E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- ### KEY NOTES

(1) PROTECT EXISTING IMPROVEMENTS IN PLACE.

(2) CONCRETE PAVING (LIGHT DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2.

(3) CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA, REFER TO DETAIL 2/C2.2.

(4) CONCRETE CURB, REFER TO 3/C2.2 FOR DETAIL.

(5) CONCRETE SIDEWALK AND/OR DOOR LANDING, REFER TO DETAIL 4/C2.2 AND STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER 5'X5' MINIMUM, 2% MAX SLOPE.

(6) ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 5/C2.2.

(7) STEEL BOLLARD, REFER TO DETAIL 6/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.

(8) ACCESSIBLE PARKING SIGN, REFER TO DETAIL 7/C2.2.

(9) ACCESSIBLE PARKING SPACES WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.

(10) MASONRY SCREEN FENCE REFUSE ENCLOSURE, REFER TO C2.3.

(11) CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" LONG) ANCHORED TO PAVING WITH (2)1'-6" LONG #4 REBAR.

(12) PARKING LOT LIGHTING, REFER TO UTILITY SITE PLAN FOR TYPE AND CONSTRUCTION.

(13) 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).

(14) SITE SIGN, REFER TO SHEET SG1.1 FOR TYPE, CONSTRUCTION AND LOCATION. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SITE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS.

(15) 2' WIDE CURB CUT, REFER TO DETAIL 10/C2.2.

(16) PROPOSED SWALE IN CONCRETE.

(17) PROPOSED SWALE IN LANDSCAPING AND RIP RAP UNDERLINED WITH NONWOVEN GEOTEXTILE FABRIC. TYPE D50-6" RIPRAP TO A DEPTH OF 18".

(18) 2' UNDER SIDEWALK DRAIN. REFER TO DETAIL 12/C2.2.

(19) 2' CONCRETE U-GUTTER, REFER TO DETAIL 9/C2.2.

(20) PROPOSED RETENTION POND, REFER TO C1.1 FOR DETAILS.

(21) BICYCLE PARKING, REFER TO DETAIL 8/C2.2.

(22) REFER TO OFF-SITE PLANS FOR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

(23) 4" PRESLOPED TRENCH DRAIN. REFER TO DETAIL 11/C2.2.

(24) RELOCATE HYDRANT, REFER TO C3.1.

(25) PROPOSED 2' X 1' SPLASH PAD.

(26) PROPOSED OFF-SITE RETENTION POND, REFER TO C4.1 FOR GRADING DETAILS.

(27) SIDEWALK CURB RAMP, REFER TO CITY DETAIL CG1 ON SHEET C2.3.

(28) DRIVE APPROACH, REFER TO CITY DETAIL CG6 ON SHEET C2.3.

(29) 18" OVERFLOW STRUCTURE, REFER TO SHEET C2.5.

(30) 12" HDPE PIPE FLARED END SECTION, REFER TO SHEET C2.5.

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAV/D88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

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### SYMBOLS LEDGEND

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	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF LIGHT DUTY CONCRETE
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BSL
	LSL
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED FIRE HYDRANT
	TOP OF RETENTION POND
	TOE OF RETENTION POND
	STREET CENTERLINE

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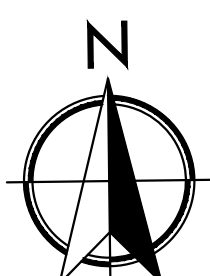
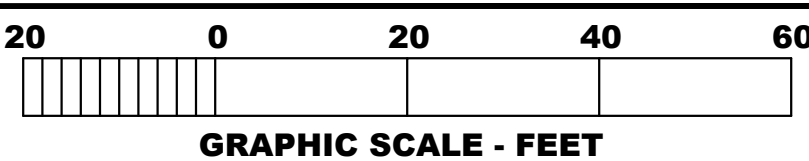
NOTE: THE PROJECT SITE IS LOCATED WITHIN FLOODZONE X, AREA OF MINIMAL FLOOD HAZARD.

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# 1 SITE DEVELOPMENT PLAN

C2.1 SCALE: 1" = 20'-0"



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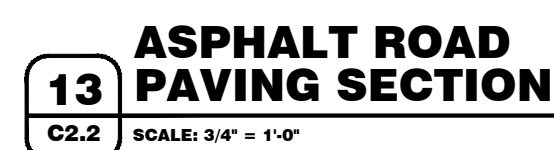
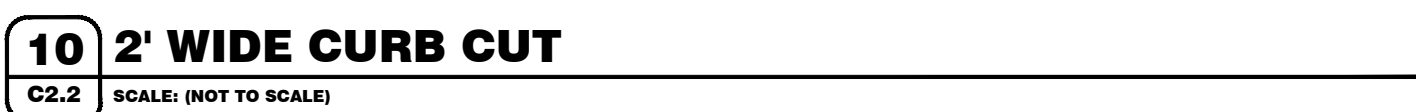
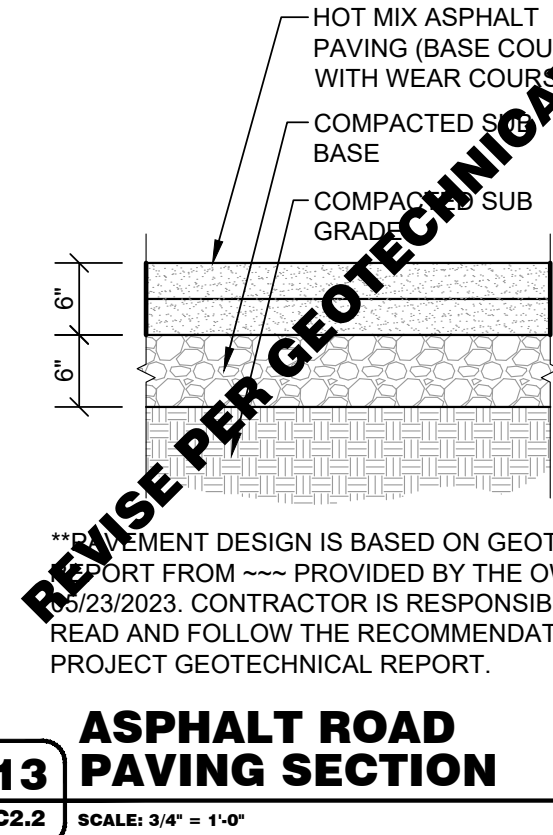
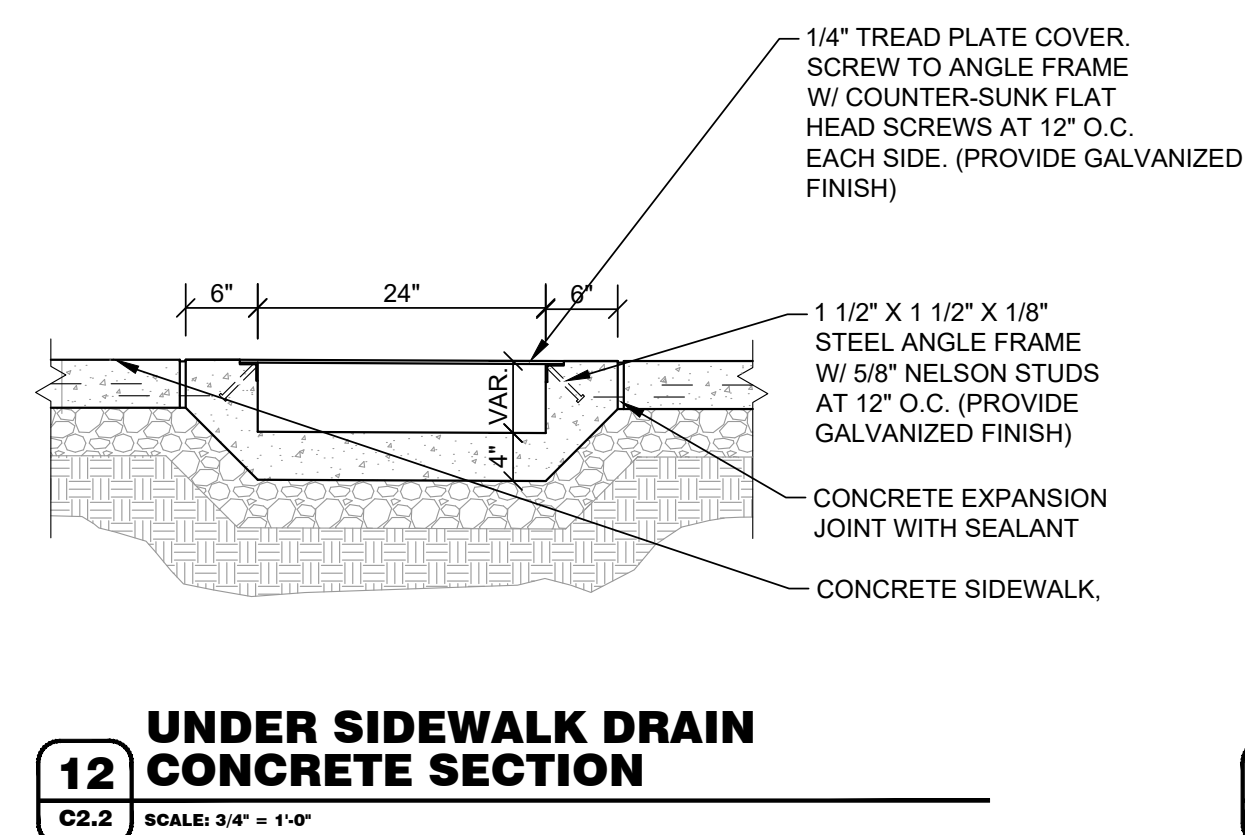
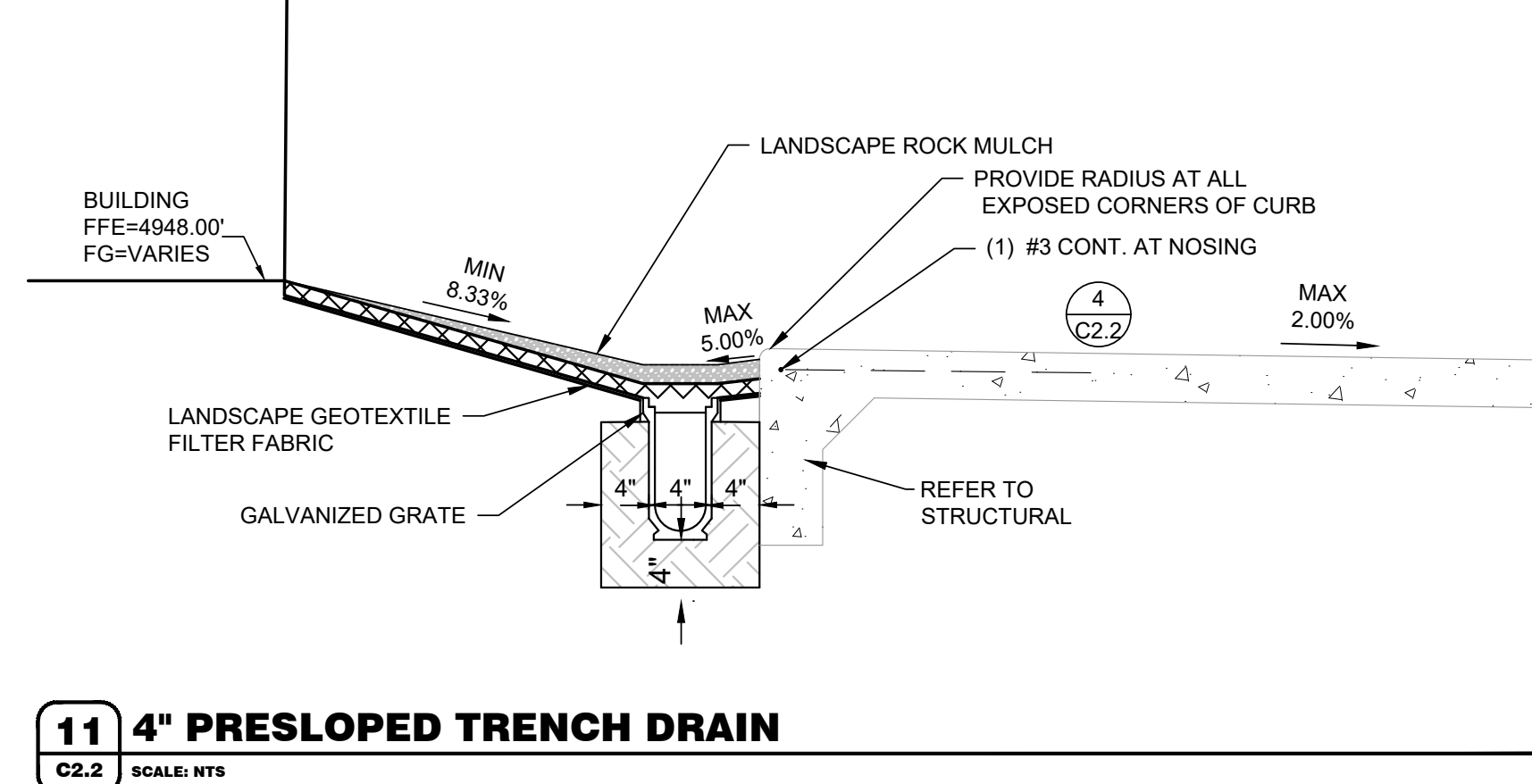
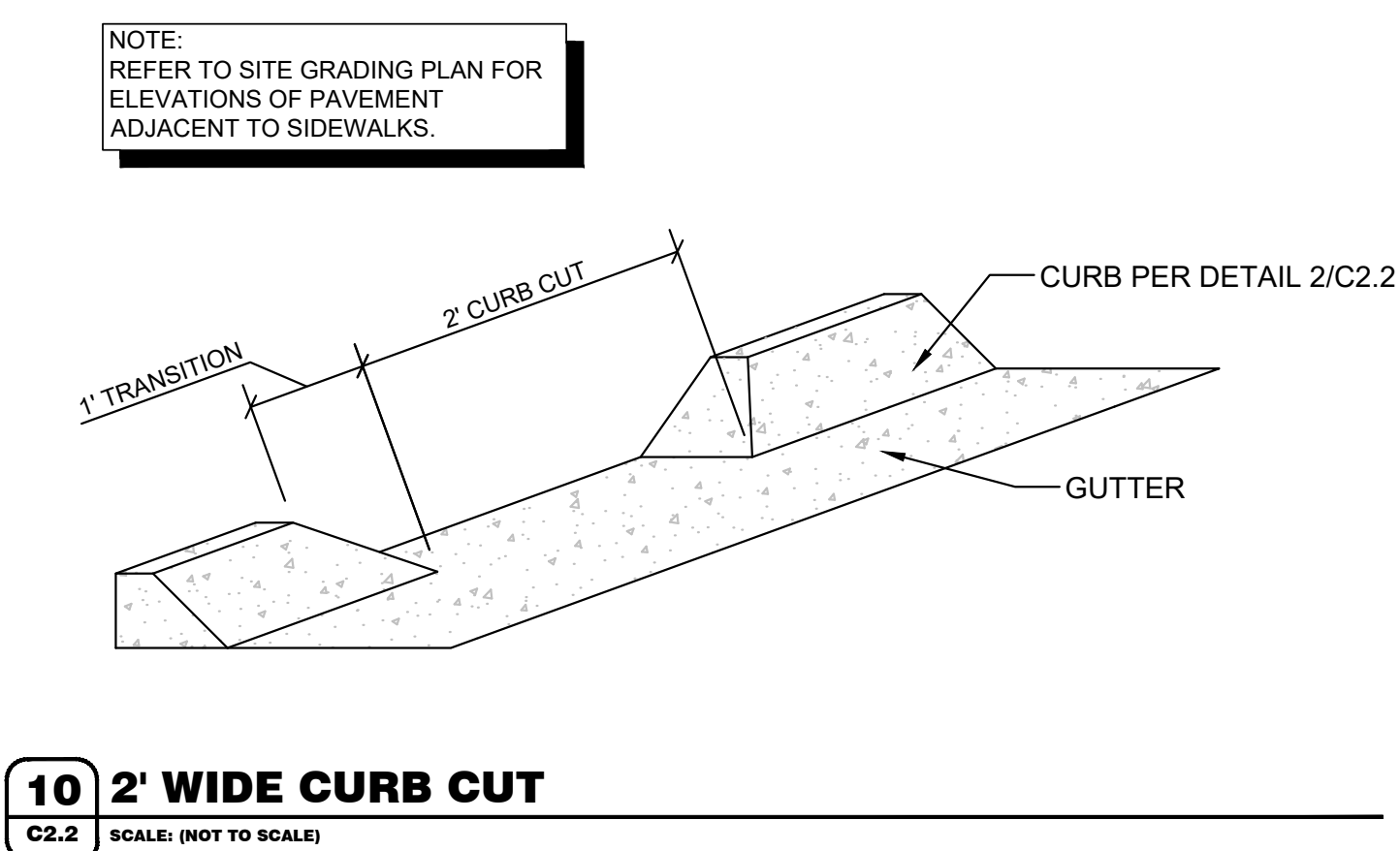
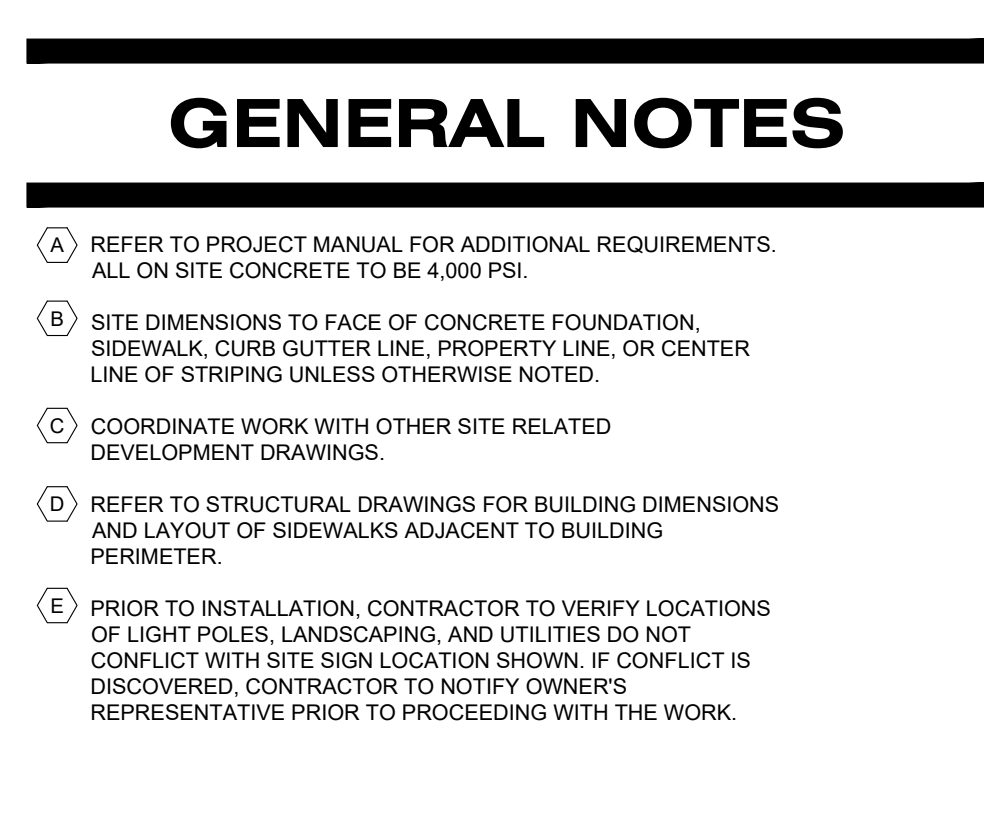
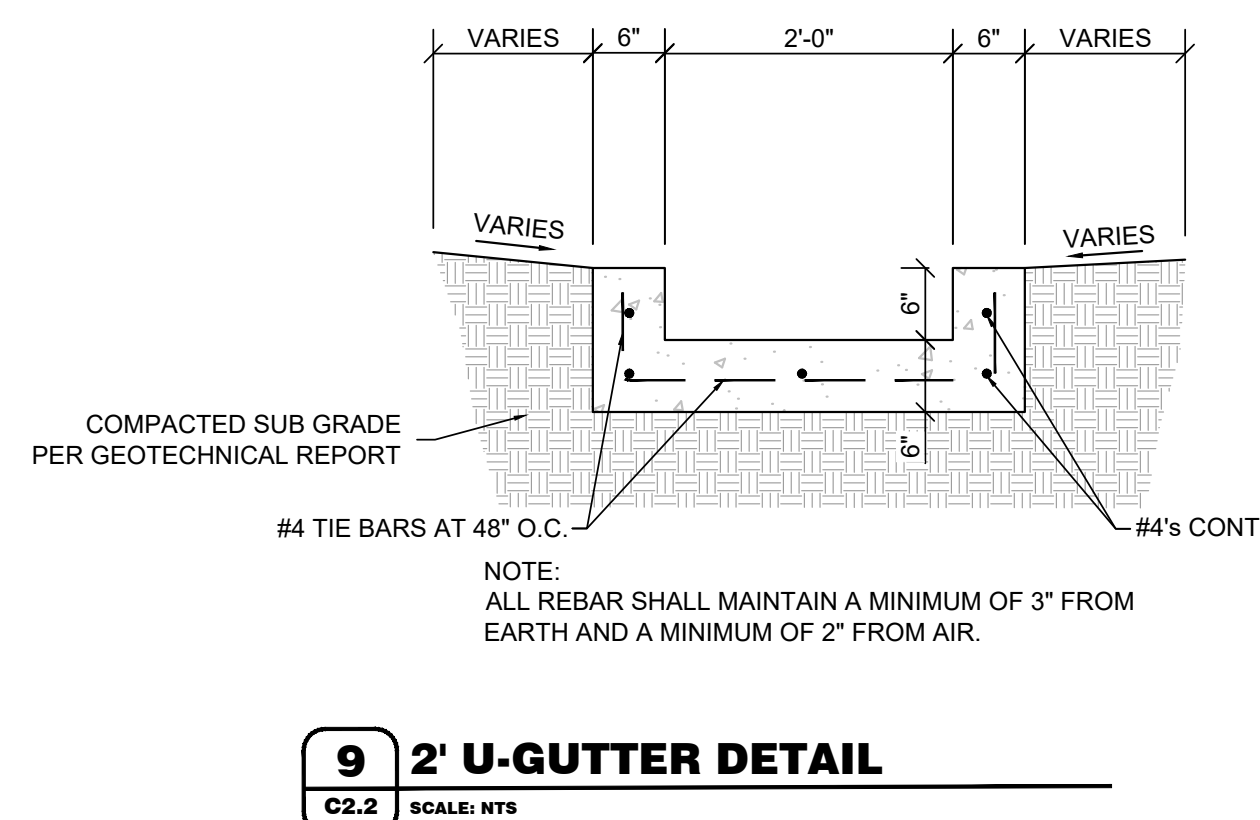
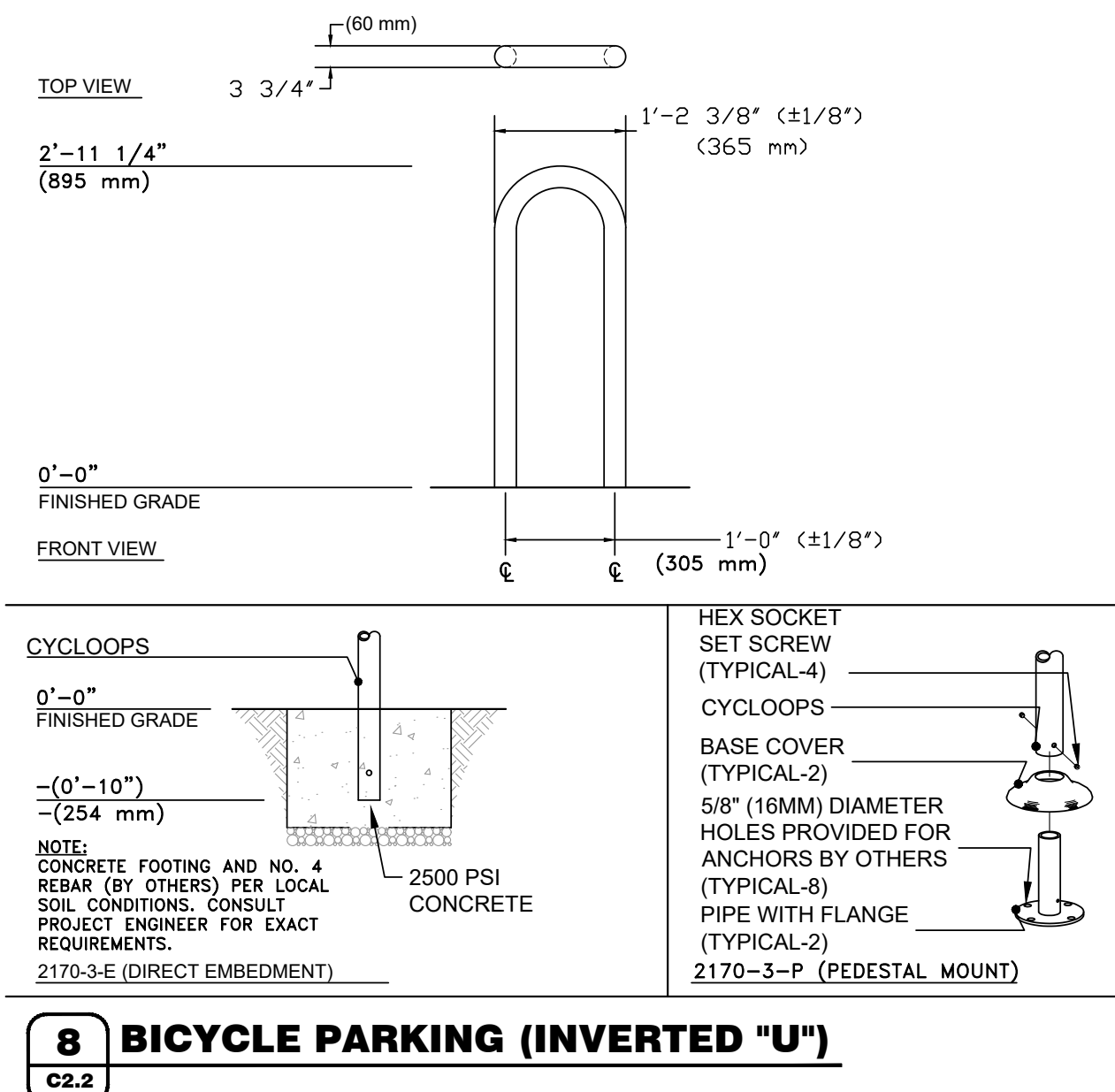
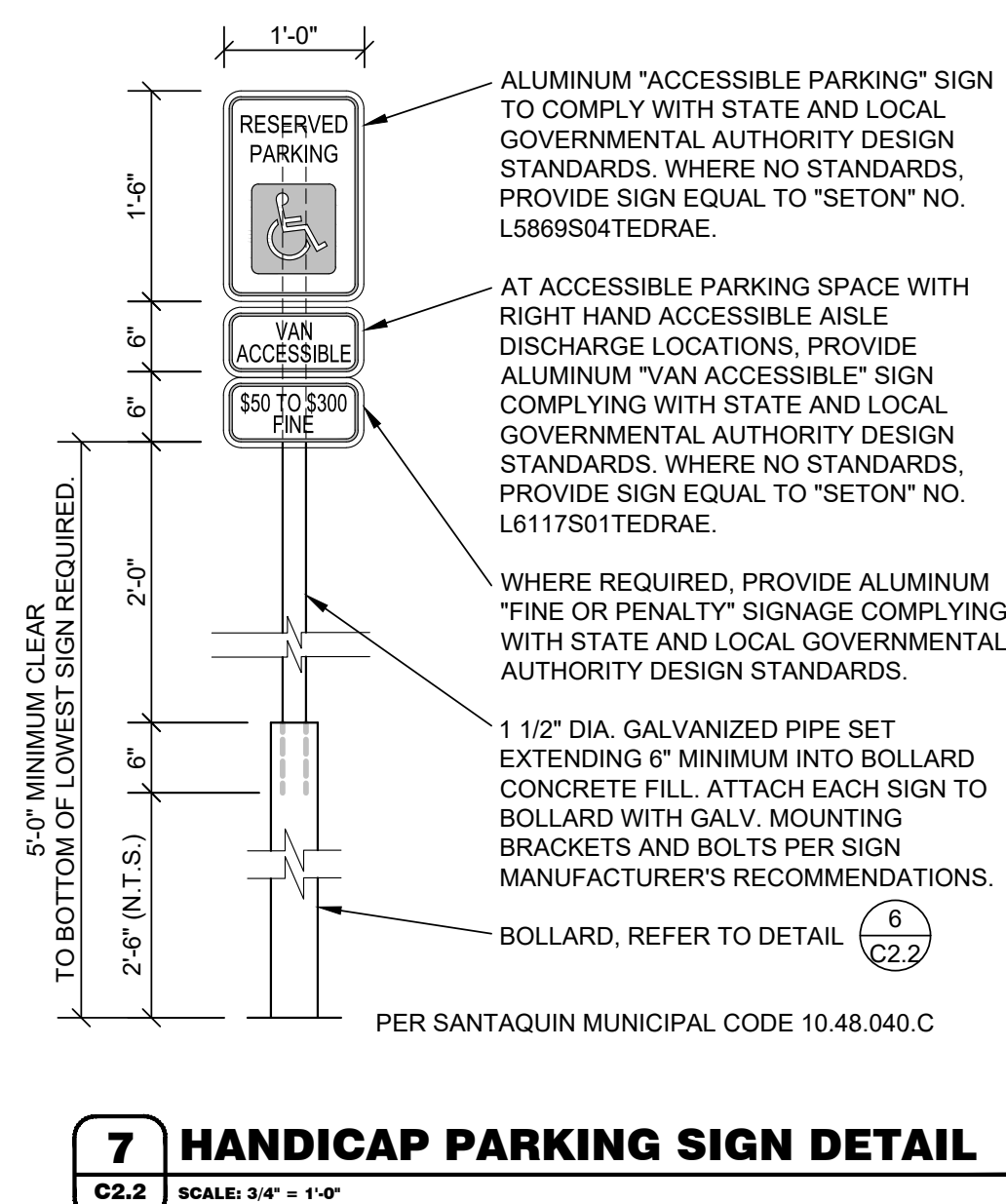
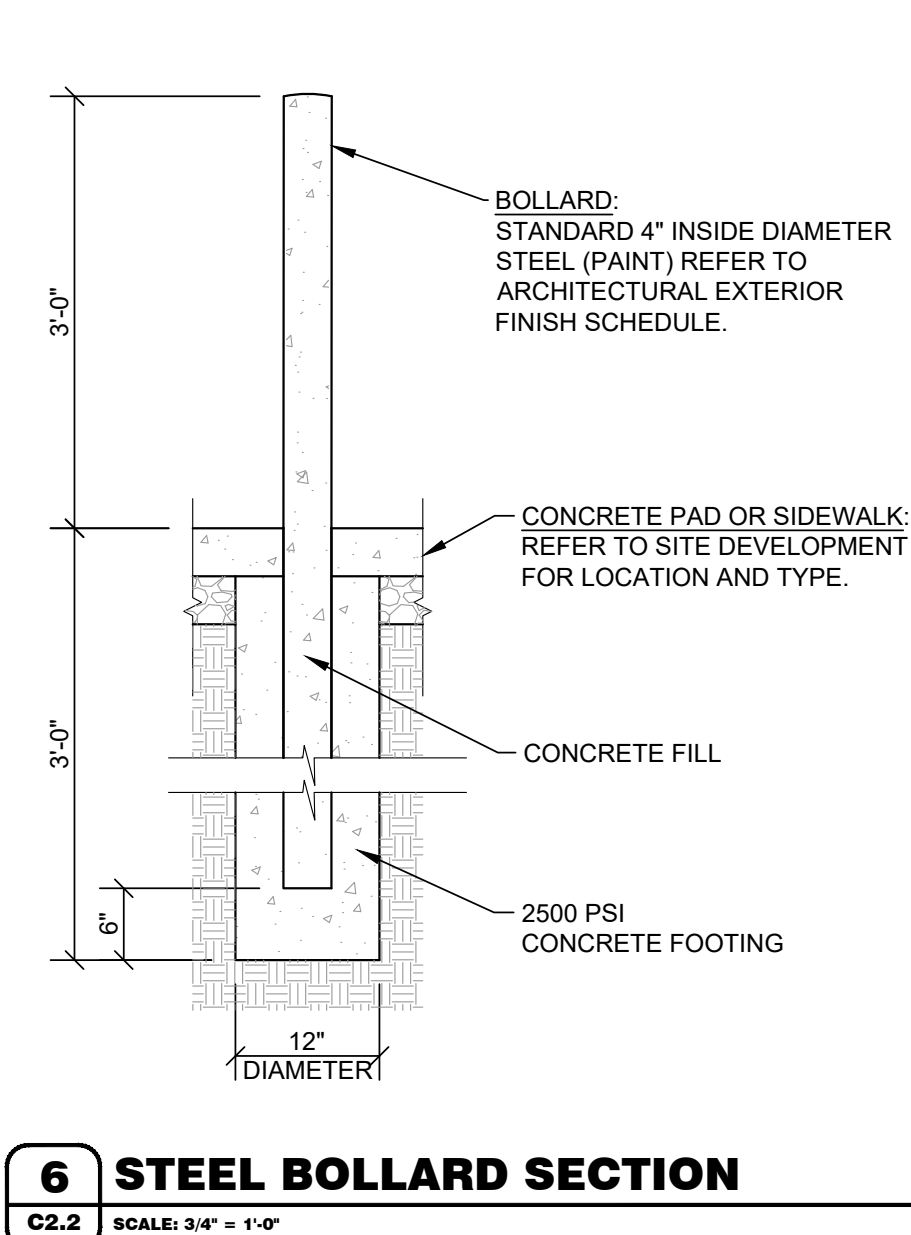
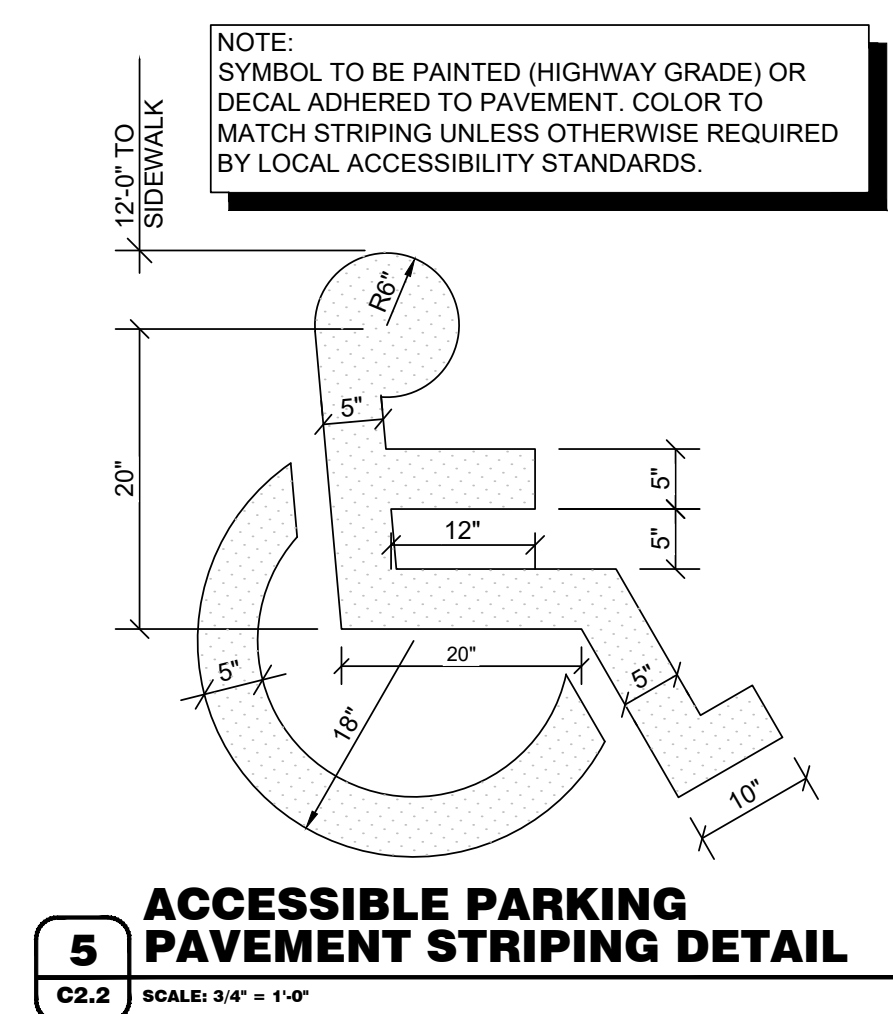
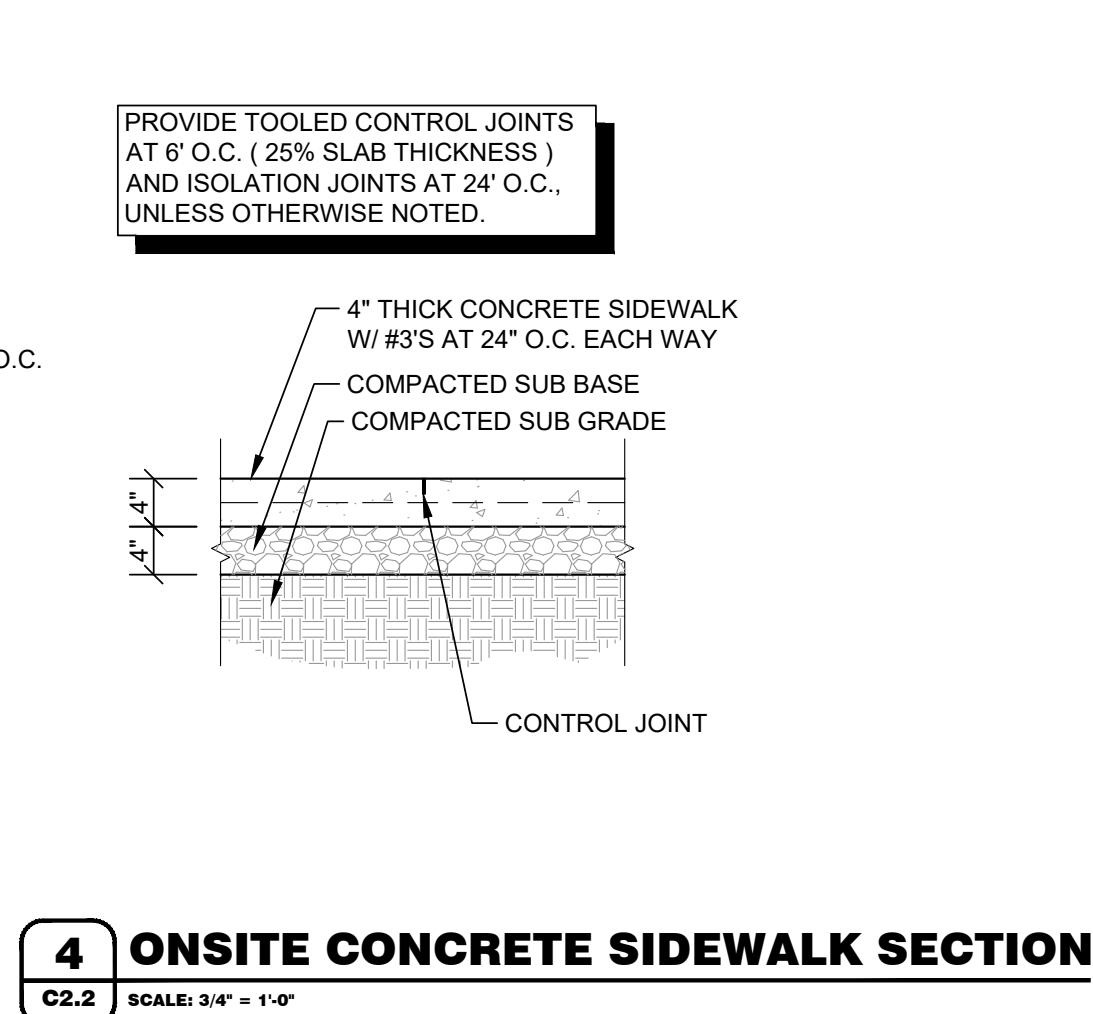
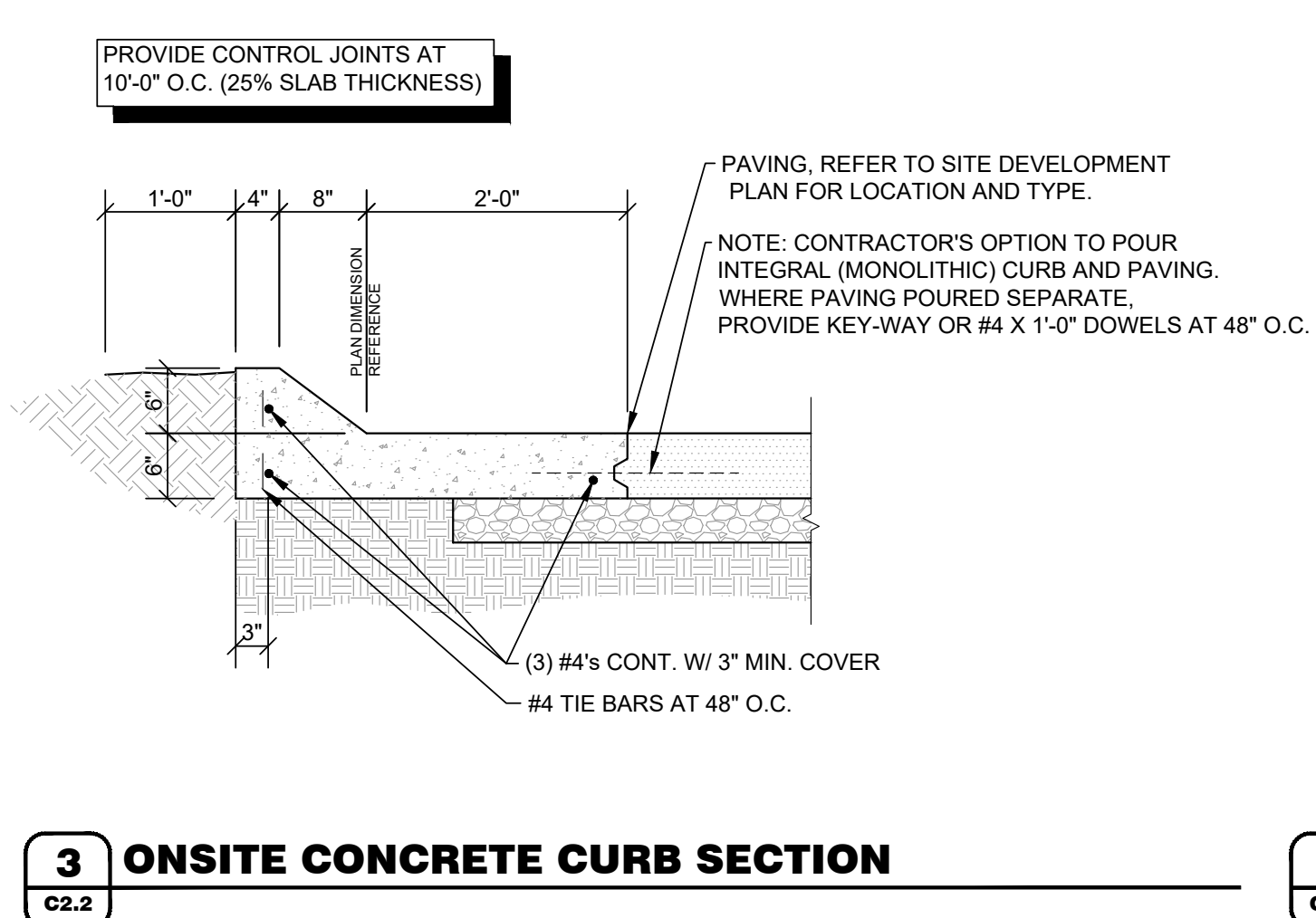
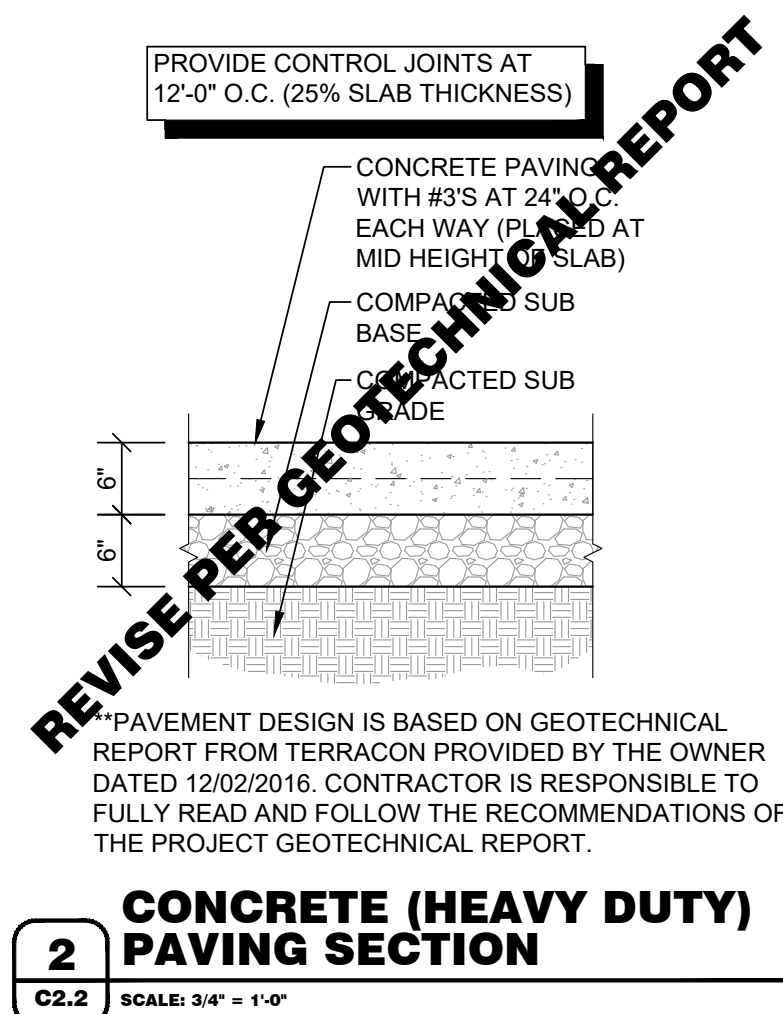
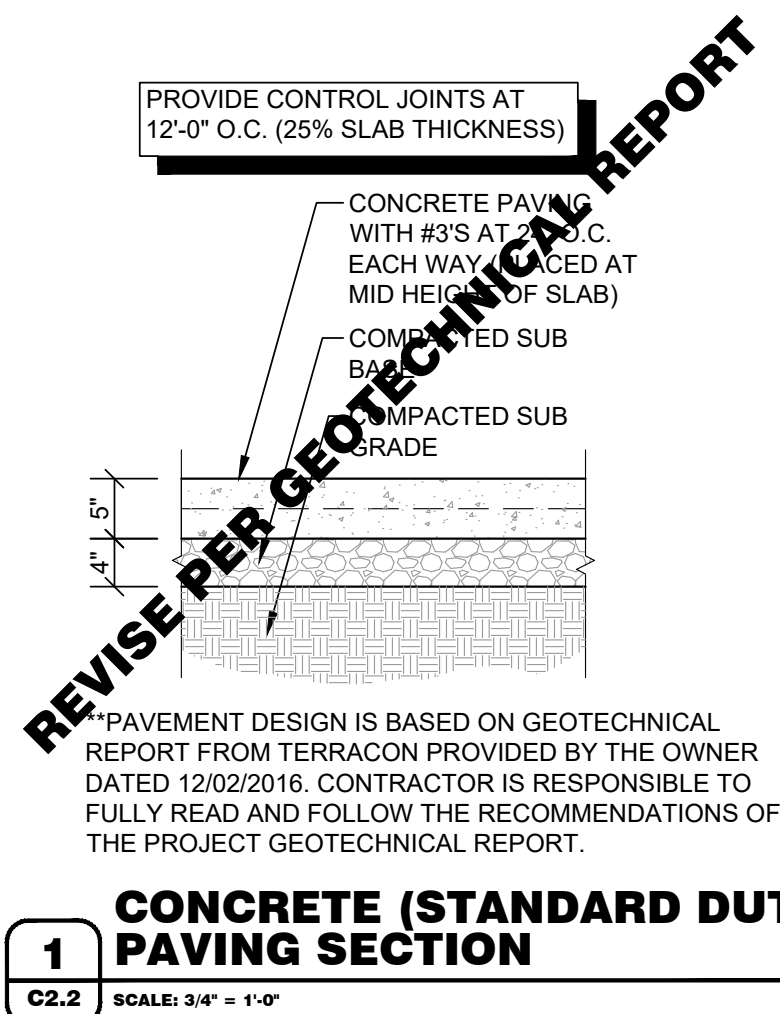
## PROJECT: NEW O'REILLY AUTO PARTS STORE MAIN STREET (US HWY6) SANTAQUIN, UT SITE DEVELOPMENT PLAN

**O'Reilly AUTO PARTS**


CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

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**MAIN STREET (US HWY6)**  
**SANTAQUIN, UT**

**O'Reilly** **AUTO PARTS**

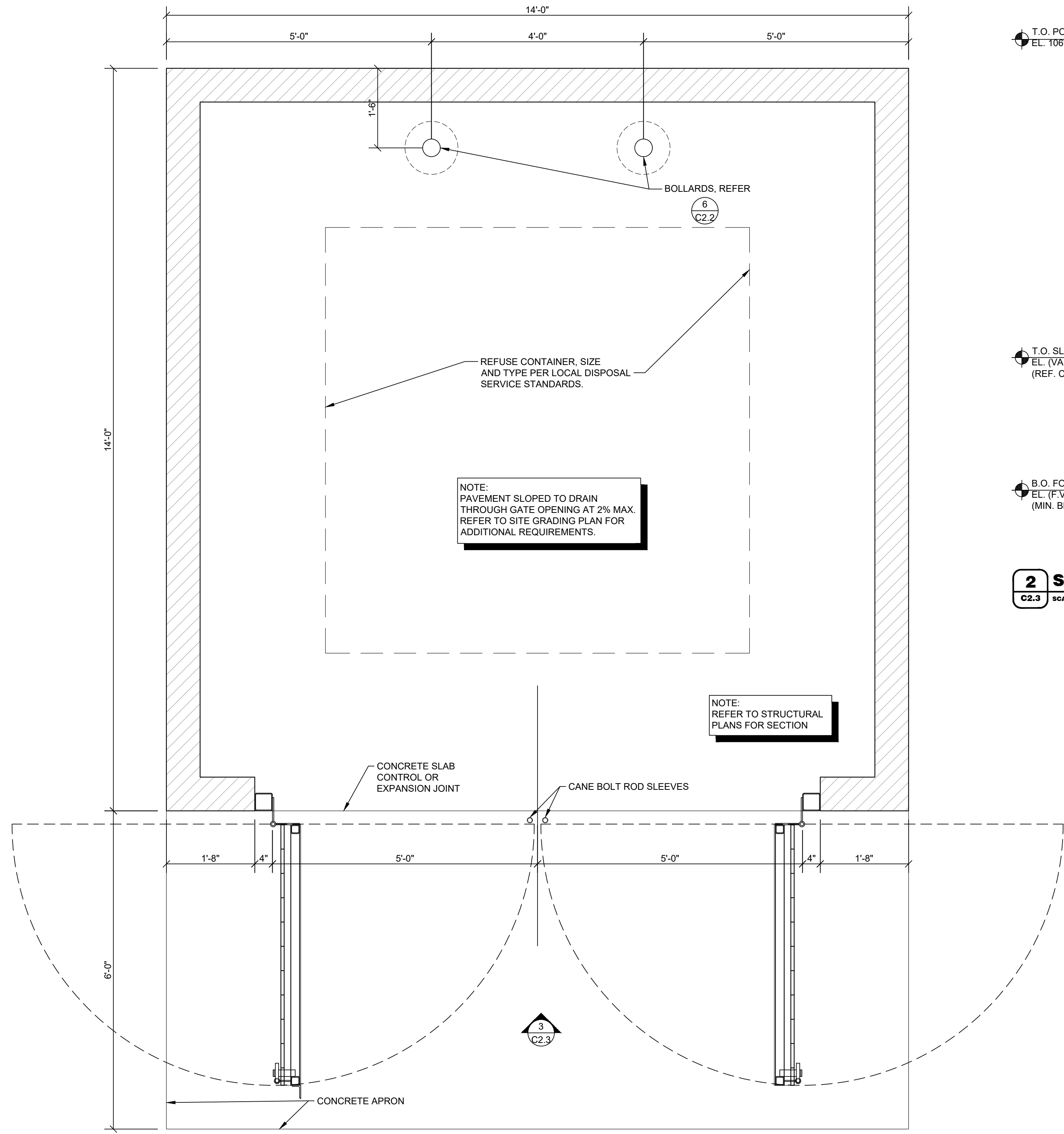
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE  
(417) 862-2675 TELEFAX

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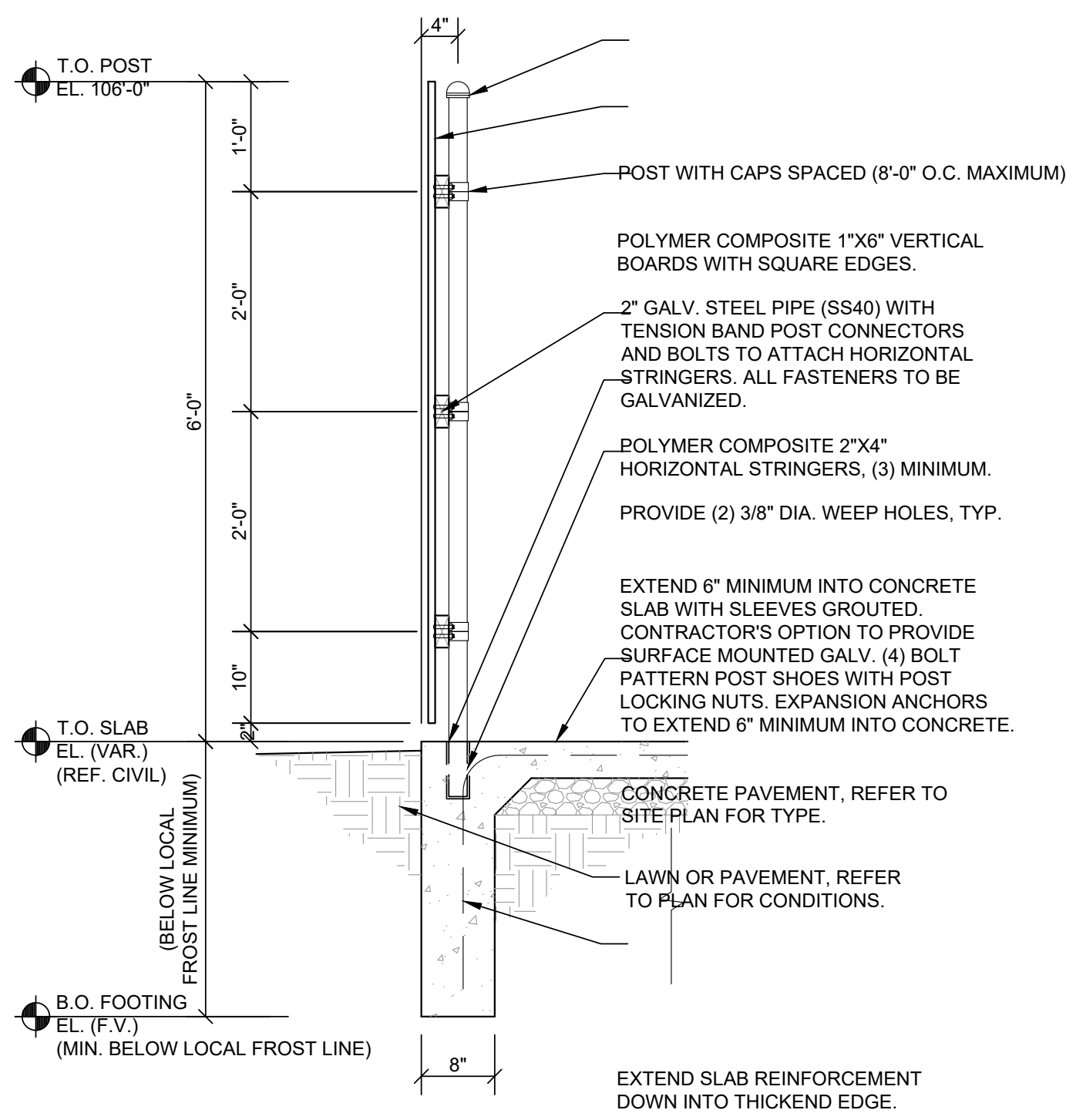
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8

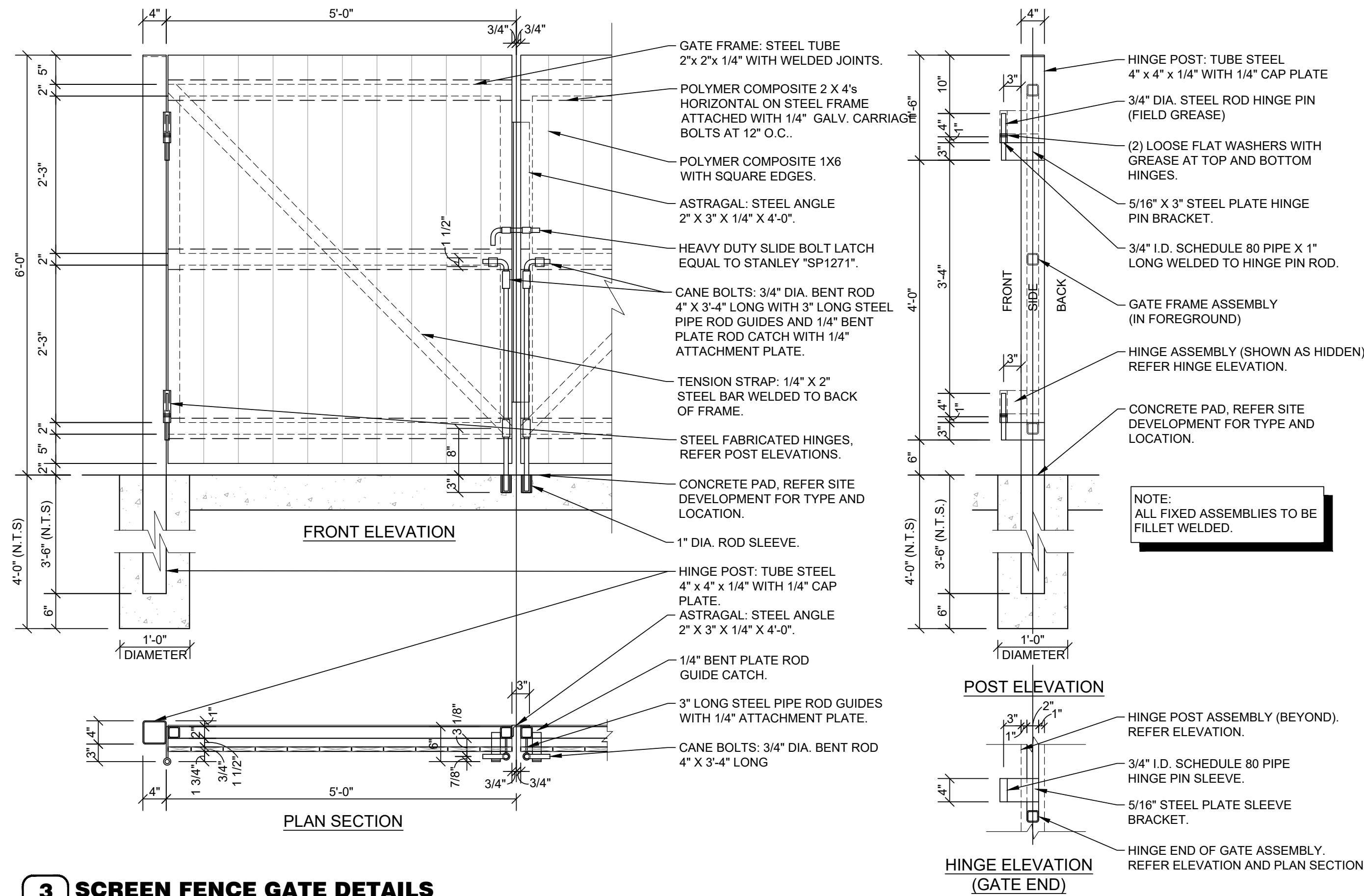




1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN  
C2.3 SCALE: 3/4" = 1'-0"



2 SCREEN FENCE SECTION  
C2.3 SCALE: 3/4" = 1'-0"

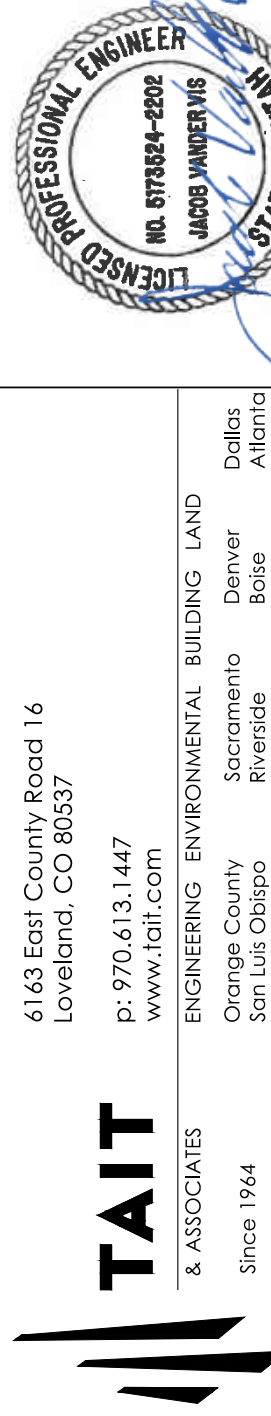


3 SCREEN FENCE GATE DETAILS  
C2.3 SCALE: 3/4" = 1'-0"

## GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, MASONRY, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
1. ALL MASONRY SURFACES TO MATCH TEXTURES AND FIELD COLOR OF BUILDING. EXPOSED MASONRY INSIDE ENCLOSURE TO BE PRIMED AND PAINTED (2) COATS OF COLOR TO MATCH ENCLOSURE EXTERIOR MASONRY.
  2. ALL EXPOSED ARCHITECTURAL PRECAST TO BE NATURAL CONCRETE COLOR IN SMOOTH FORM FINISH.
  3. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
  4. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO "TREX" DECKING SERIES "PEBBLE GREY". FINAL COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.



PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
REFUSE ENCLOSURE DETAILS

O'Reilly AUTO PARTS  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
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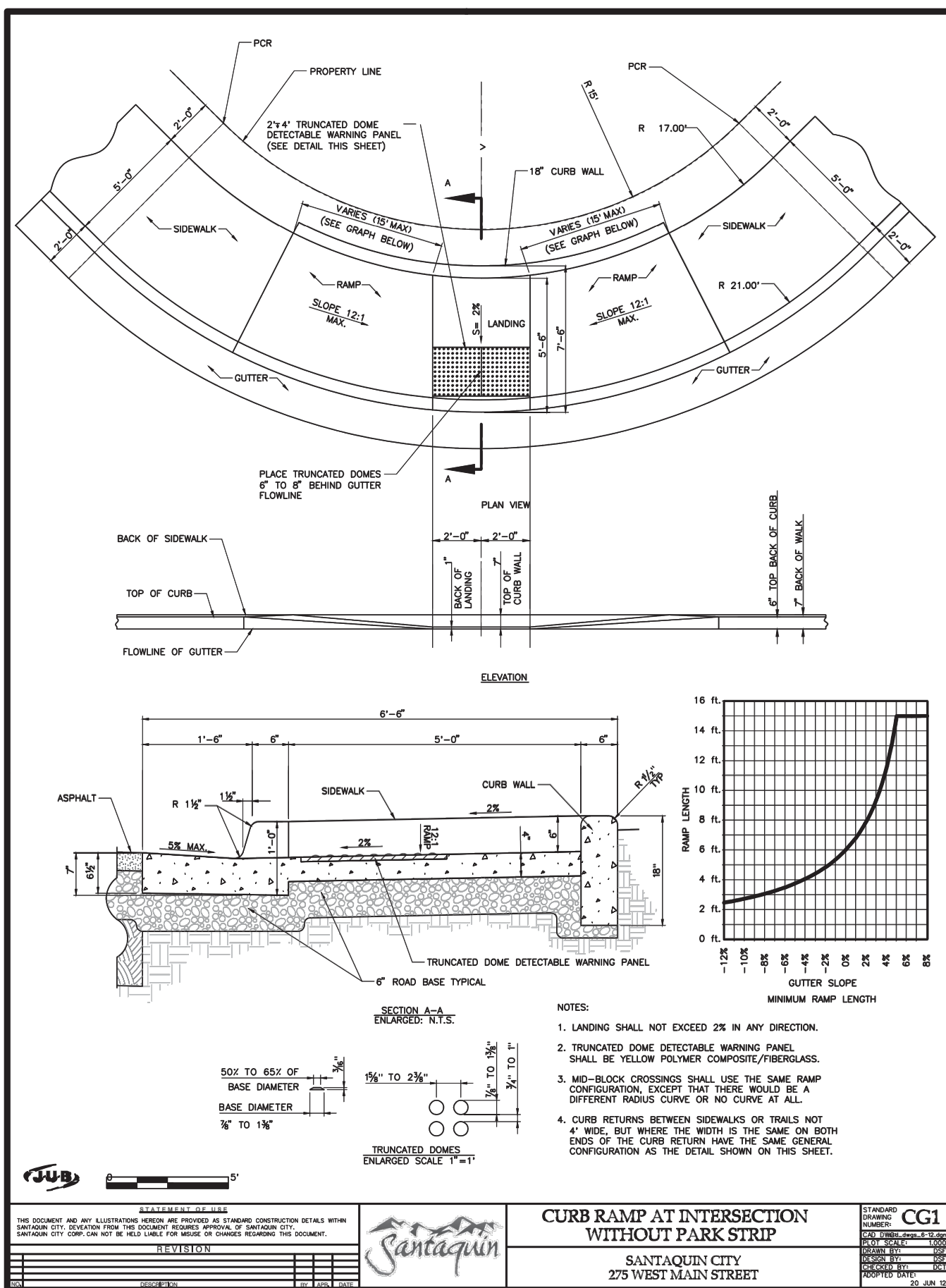
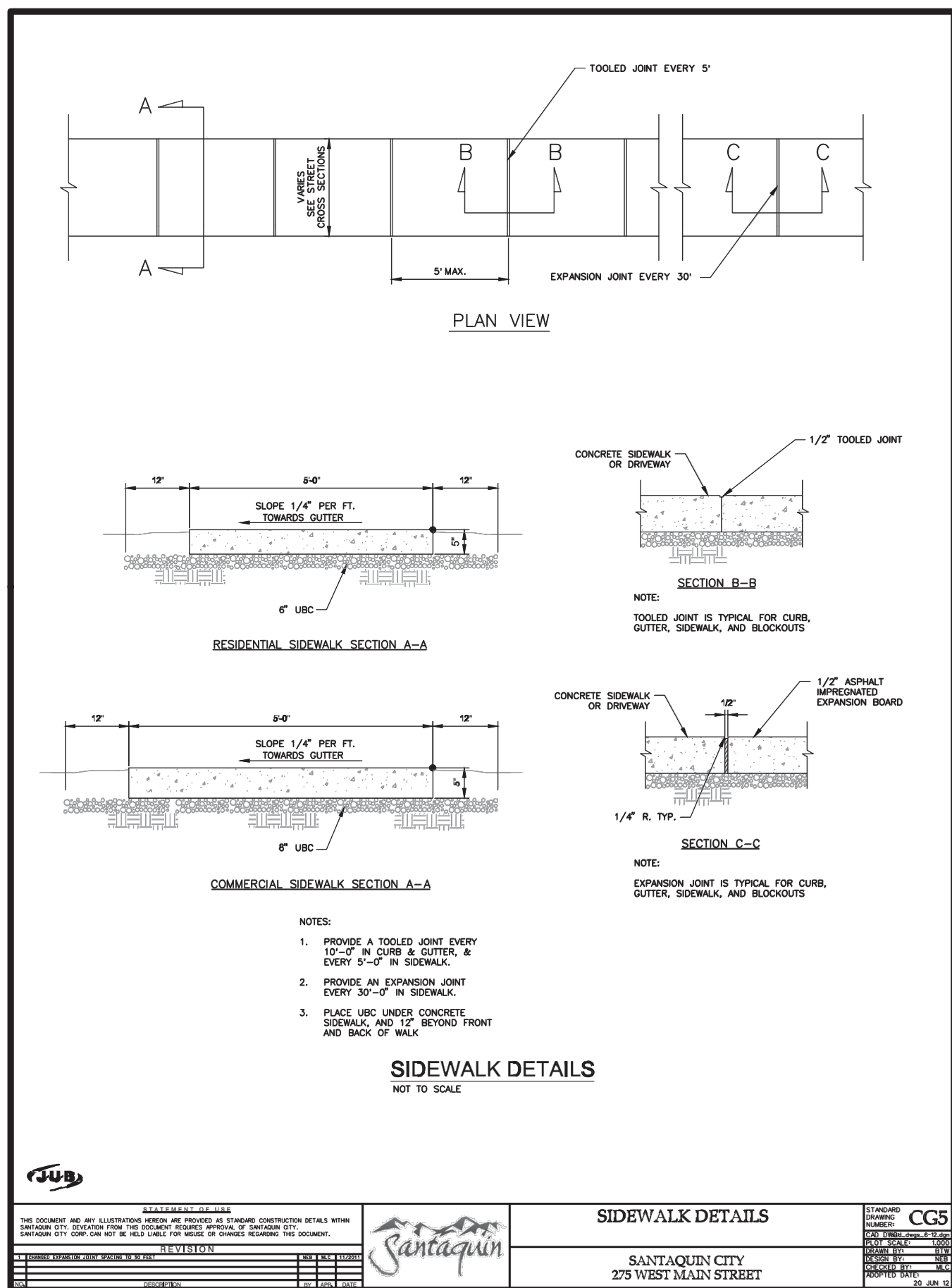
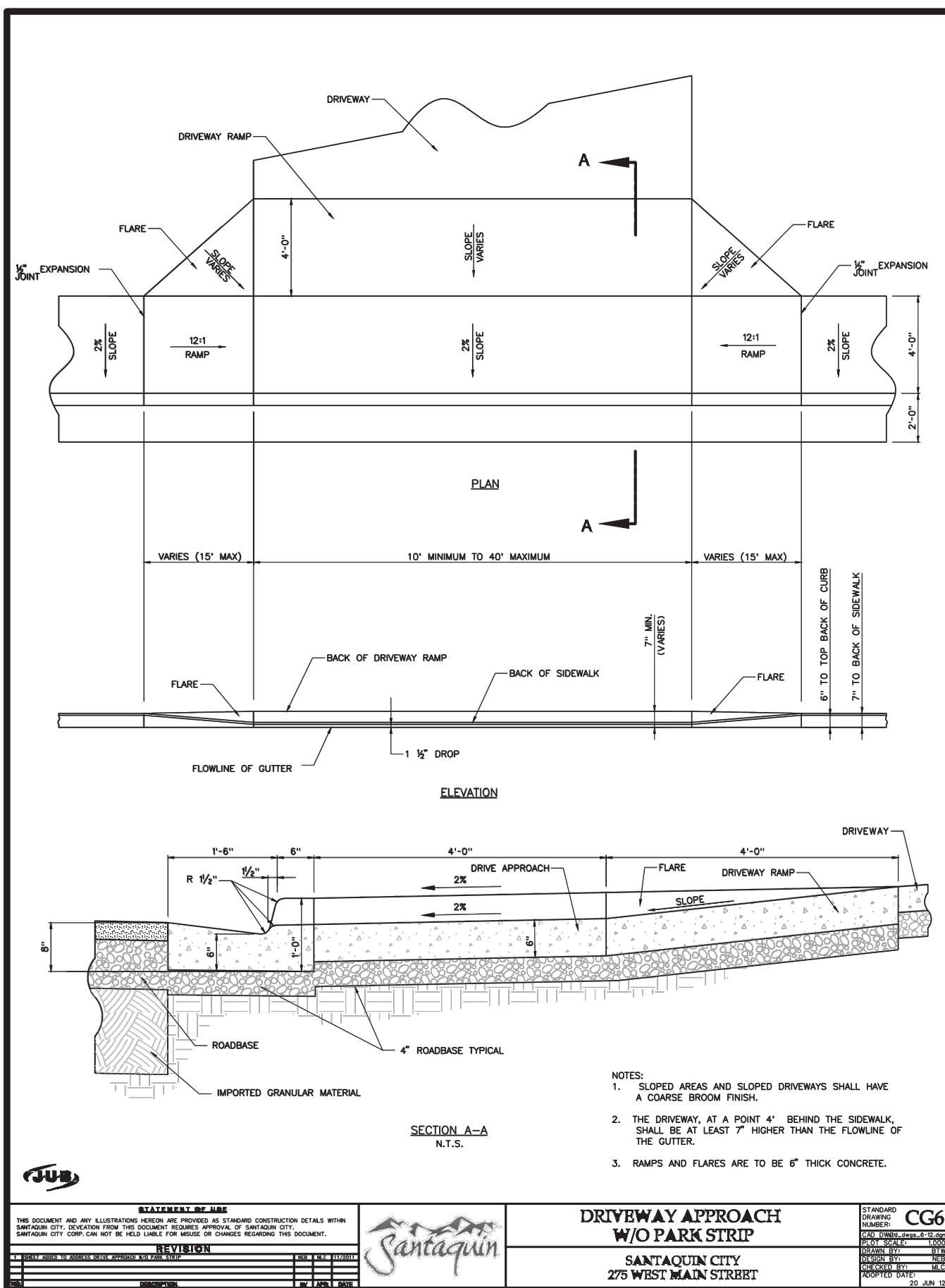
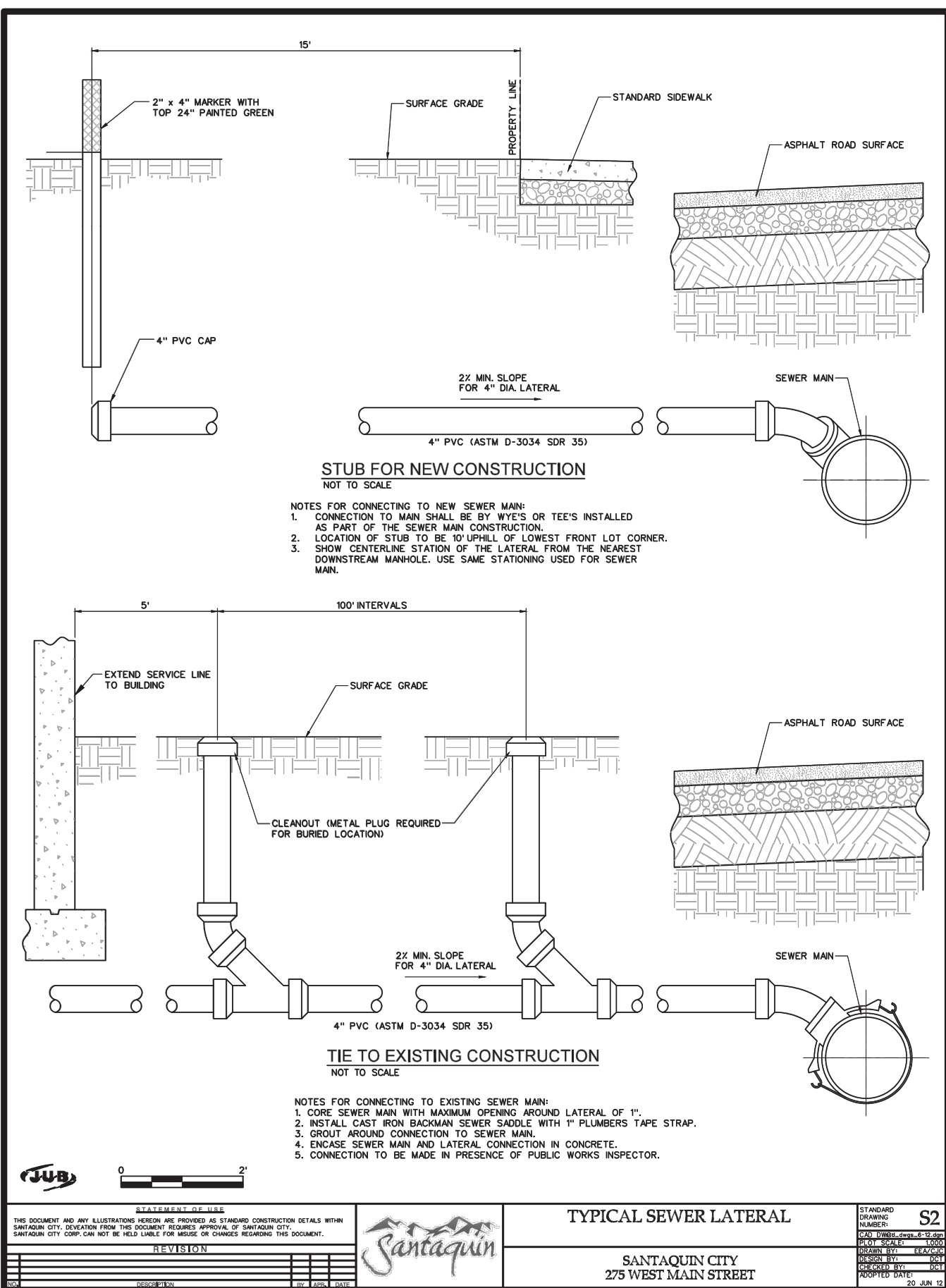
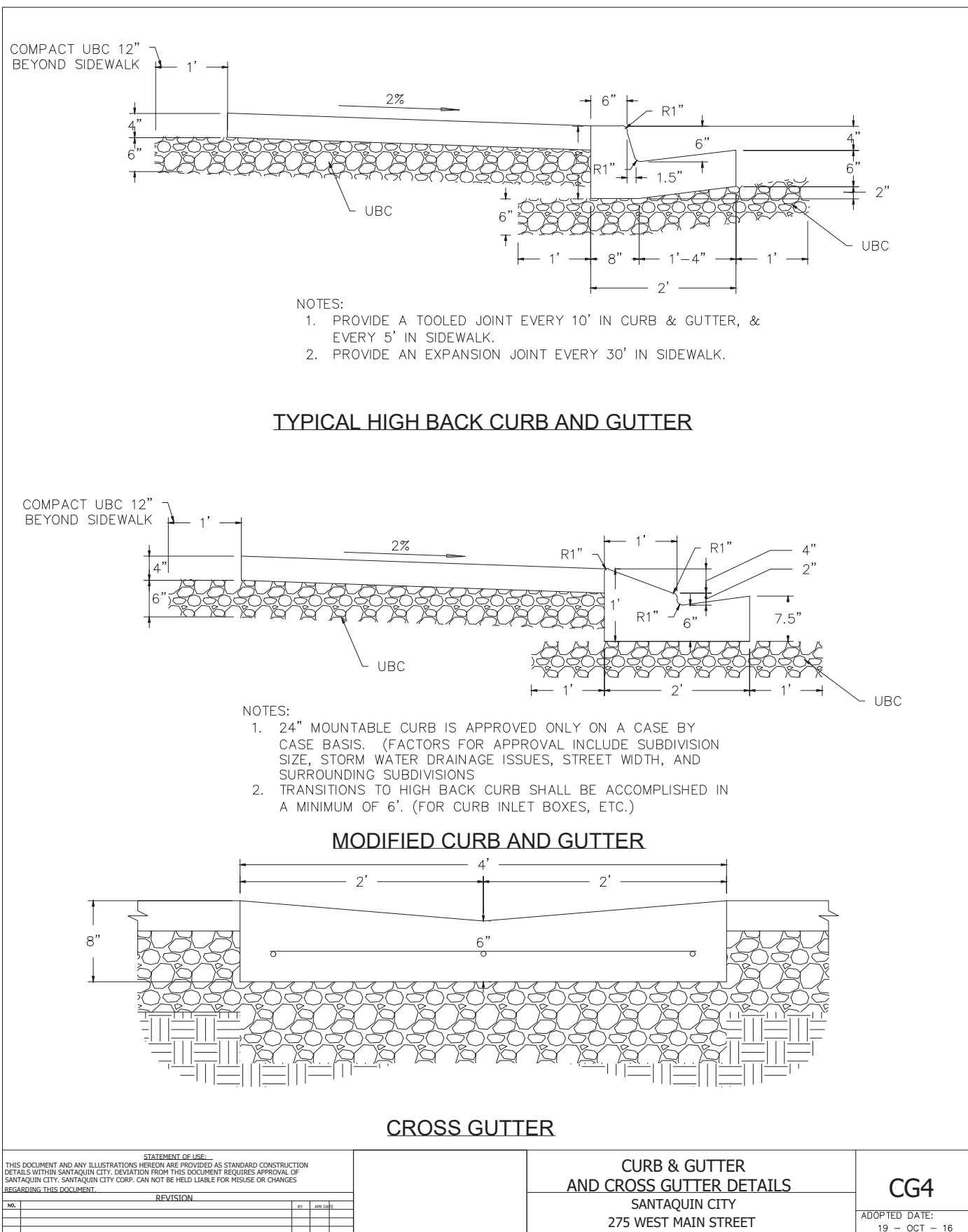
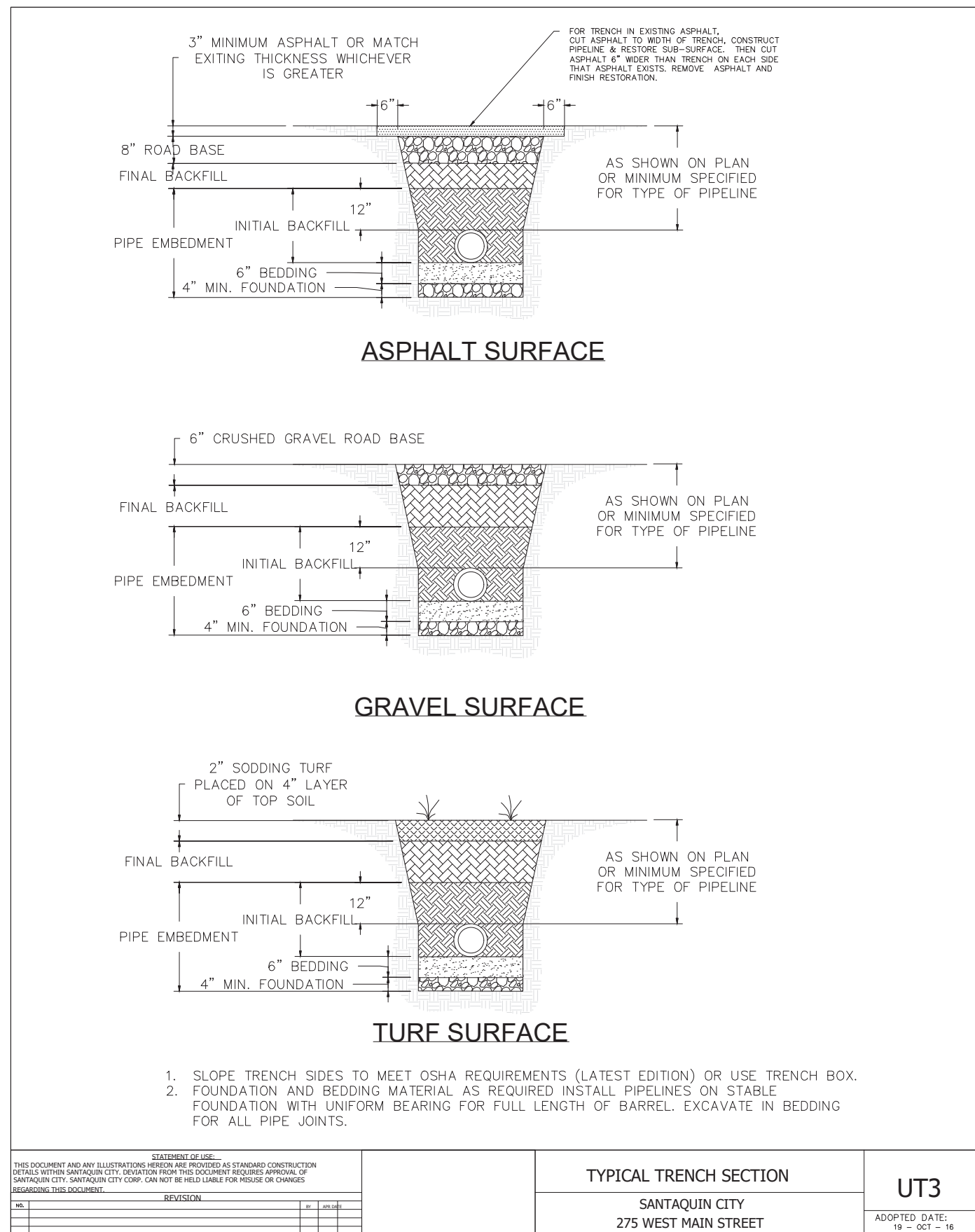
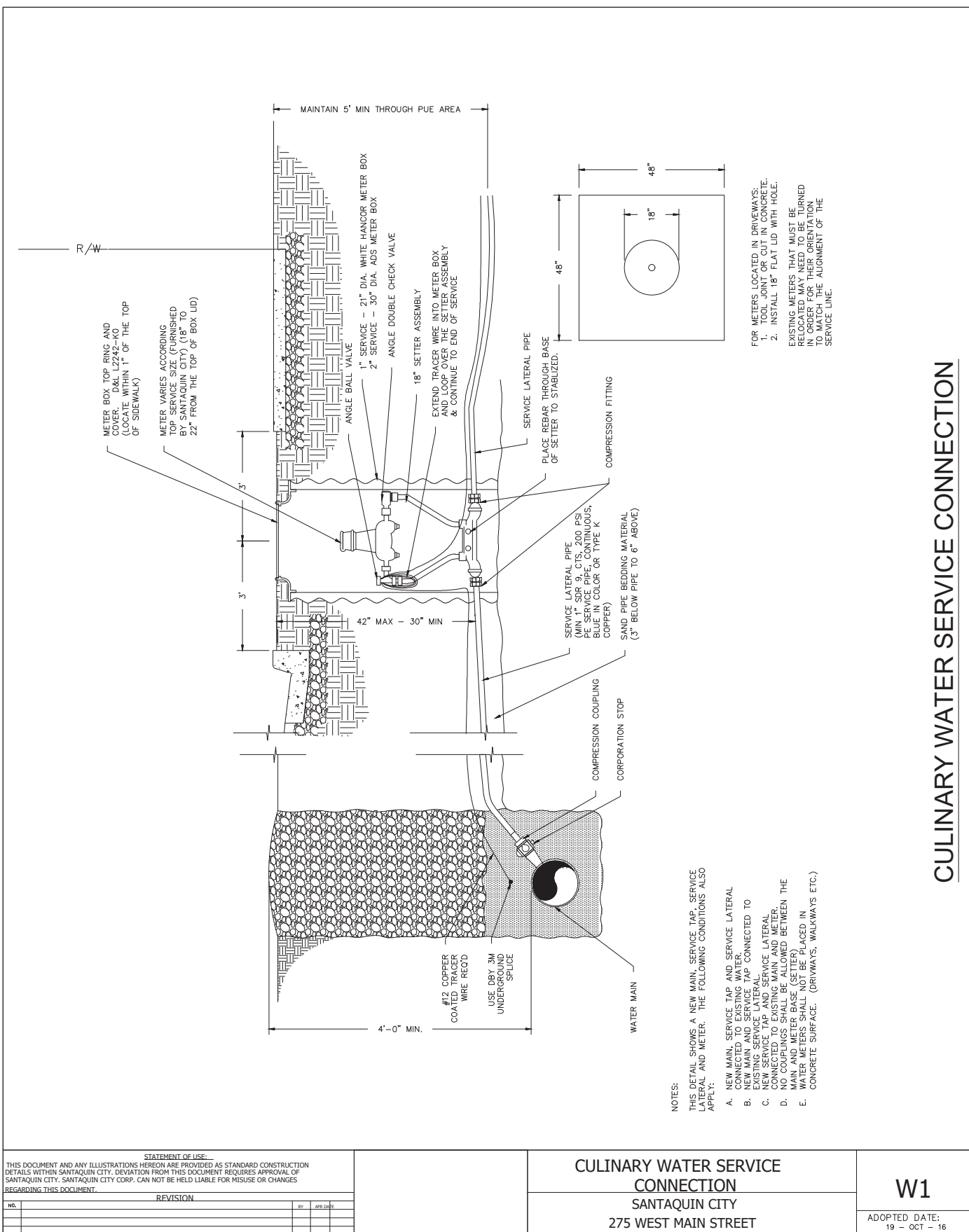
CRAIG A. SCHNEIDER, AIA  
ARCHITECT  
1736 East Sunshine, Suite 417  
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417-862-0558  
Fax: 417-862-3265  
e-mail: architect@esterlyschneider.com



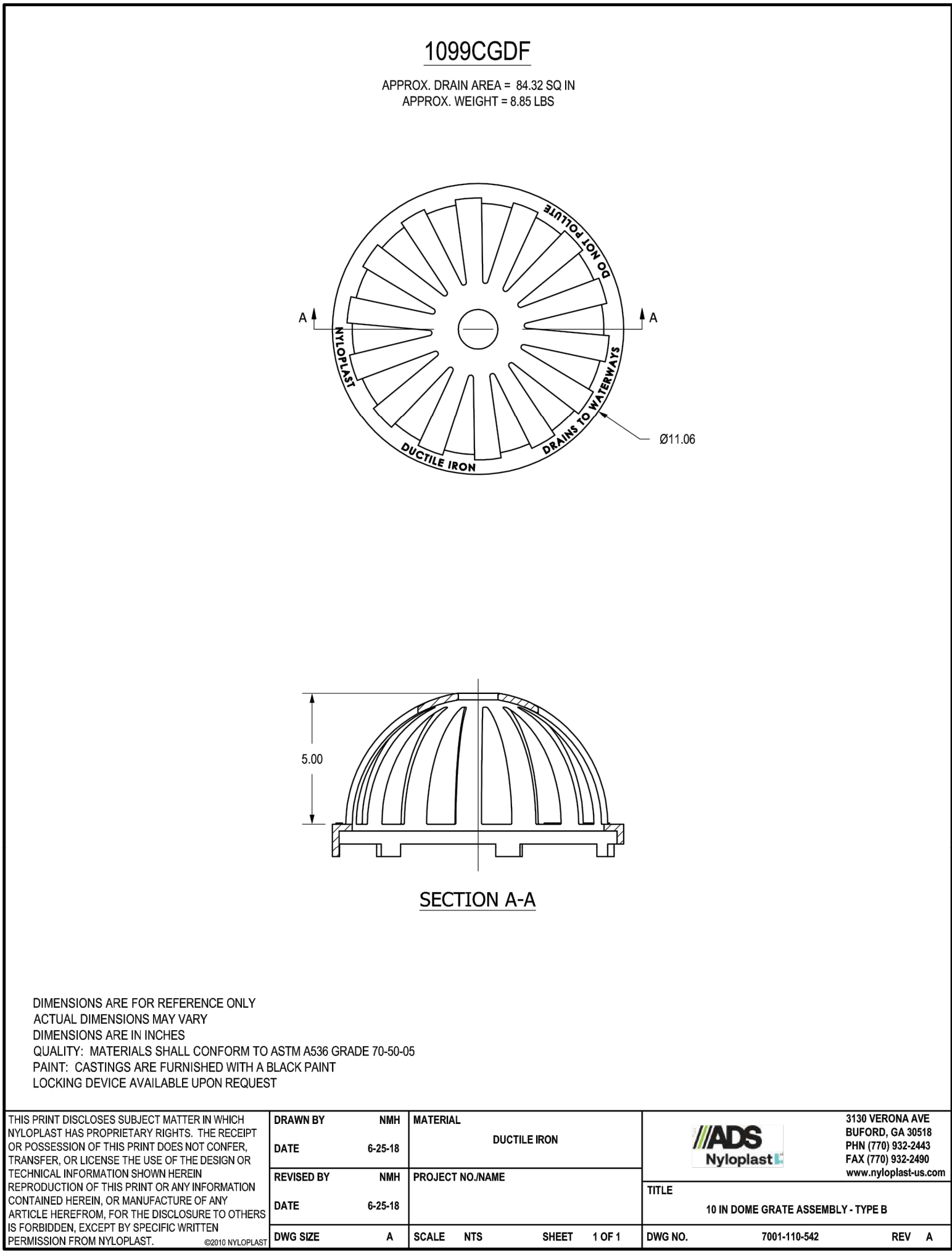
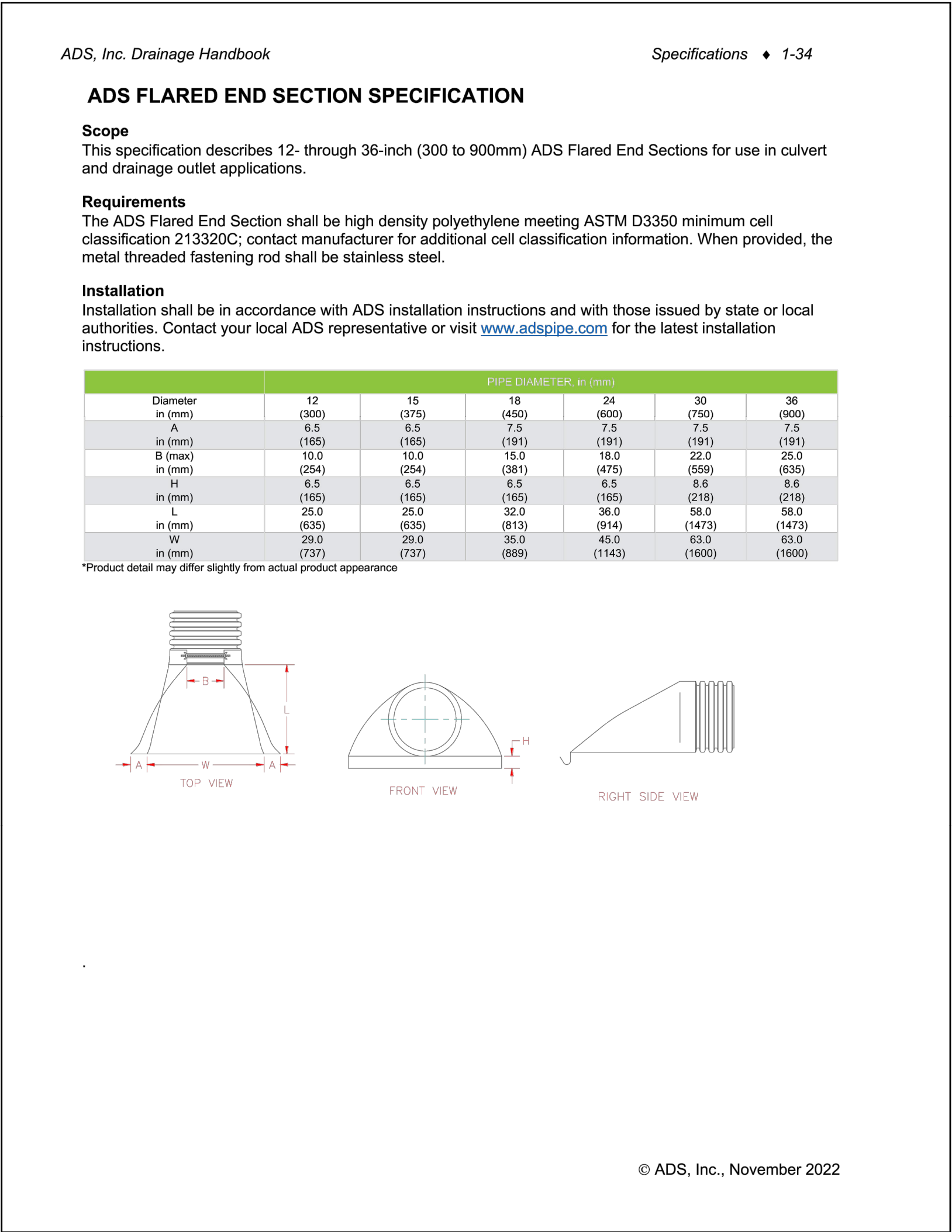
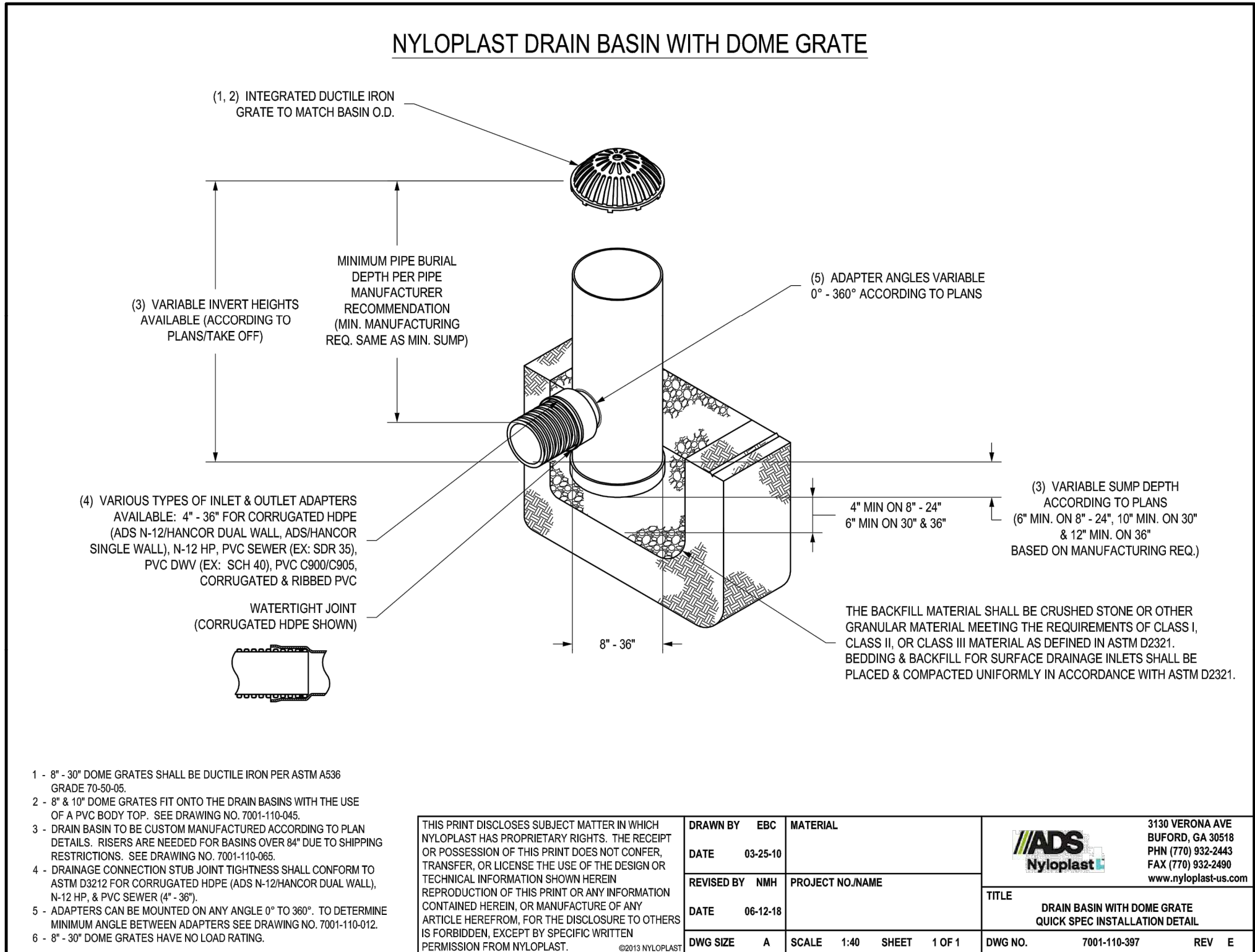
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## GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL OFFSITE CONCRETE TO BE 4,000 PSI.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.







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Orange County Sacramento Denver Dallas  
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Since 1914

**PROFESSIONAL ENGINEER**  
NO. 670884-2202  
JACOB VANDERVIS  
STATE OF COLORADO

JACOB VANDERVIS PE 517324-2202

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
UTILITY DETAILS

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

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e-mail: [architect@eterlyschneider.com](mailto:architect@eterlyschneider.com)

**O'Reilly AUTO PARTS**

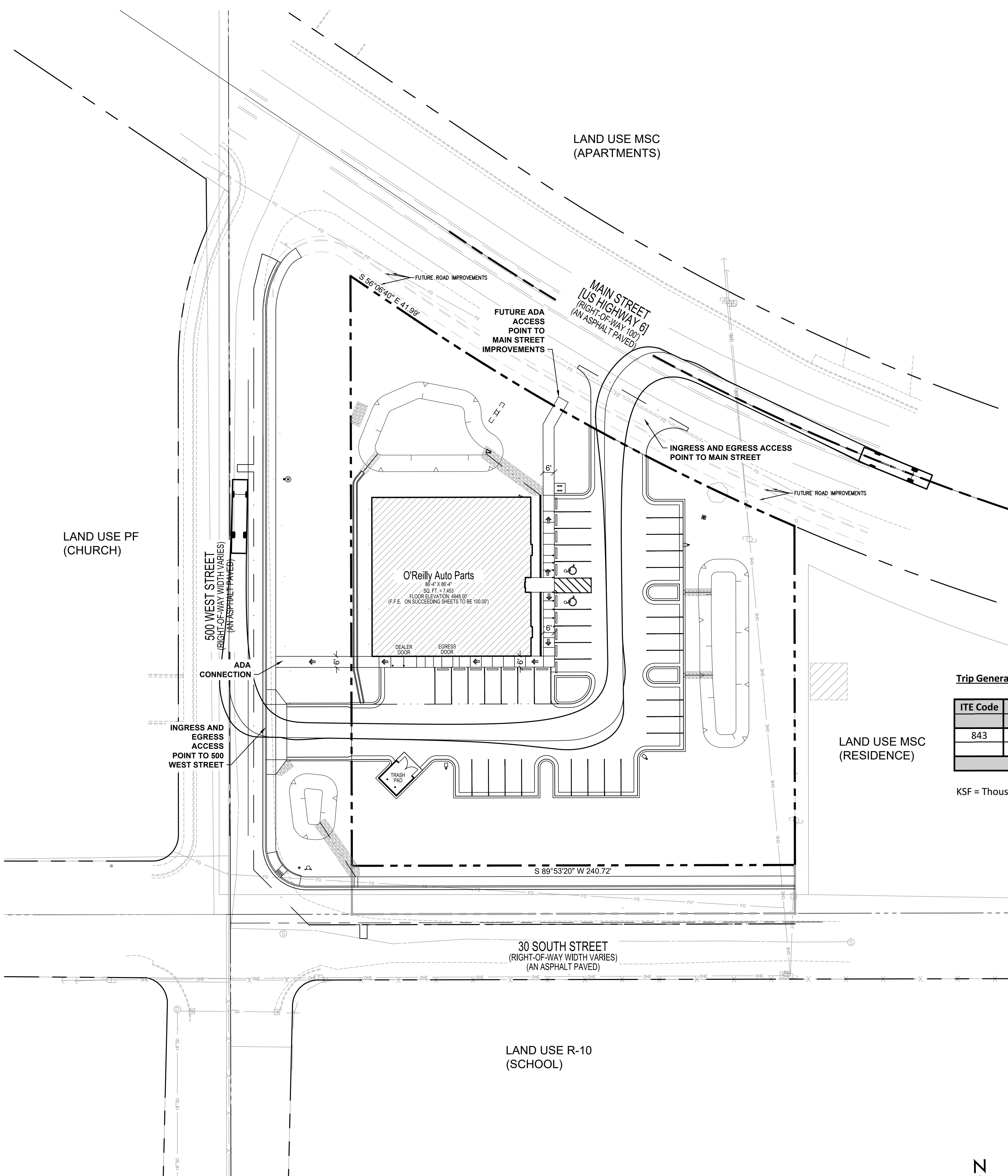
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DATE:

C2.5

11





### ZONING CODE

ZONING CLASSIFICATION: MSC - MAIN STREET COMMERCIAL  
PROPERTY AREA: 1.36 ACRE (FINAL BOUNDARY)  
PAVEMENT AREA: 0.45 ACRE

PARKING SUMMARY  
PARKING FORMULA: 5 STALLS PER 1,000 SQ.FT. GROSS FLOOR AREA  
SPACE SIZE: 9 FT. X 20 FT.  
SPACES REQUIRED: 38 STALLS  
SPACES PROVIDED: 40 STALLS  
H.C. SPACES PROVIDED: 2 STALLS

BICYCLE SUMMARY  
PARKING FORMULA: 3 STALLS FOR EVERY 25,000 SQ.FT. NOT TO EXCEED 12 PARKING STALLS  
SPACES REQUIRED: 3 STALLS  
SPACES PROVIDED: 4 STALLS

LAND USE WEST IS PF (PUBLIC FACILITIES)  
LAND USE SOUTH IS R-10  
LAND USE EAST AND NORTH IS MSC (MAIN STREET COMMERCIAL)

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAVDB88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

### BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

### EMERGENCY VEHICLE DETAILS

**NOTE:**  
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

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Trip Generation (ITE 11th Edition)

ITE Code	Land Use	Size	Average Daily Trips		AM Peak Hour Trips						PM Peak Hour Trips					
			Rate	Total	Rate	% In	In	% Out	Out	Total	Rate	% In	In	% Out	Out	Total
843	Auto Parts Sales	7,453 KSF	54.57	407	2.51	55%	10	45%	9	19	4.90	48%	18	52%	19	37
Total				407			10		9	19			18		19	37

KSF = Thousand Square Feet

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ARCHITECT

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417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterlyschneider.com

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
SITE ACCESSIBILITY CIRCULATION PLAN

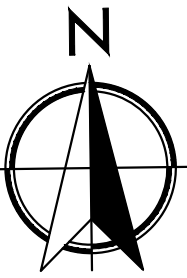
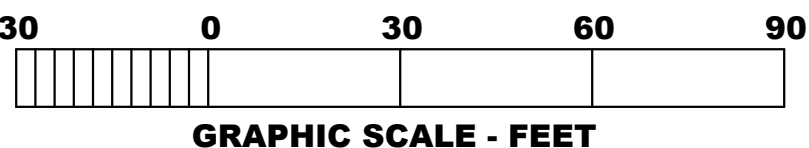
O'Reilly AUTO PARTS

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
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DATE:

1 SITE ACCESSIBILITY CIRCULATION PLAN

C2.6 SCALE: 1" = 30'-0"

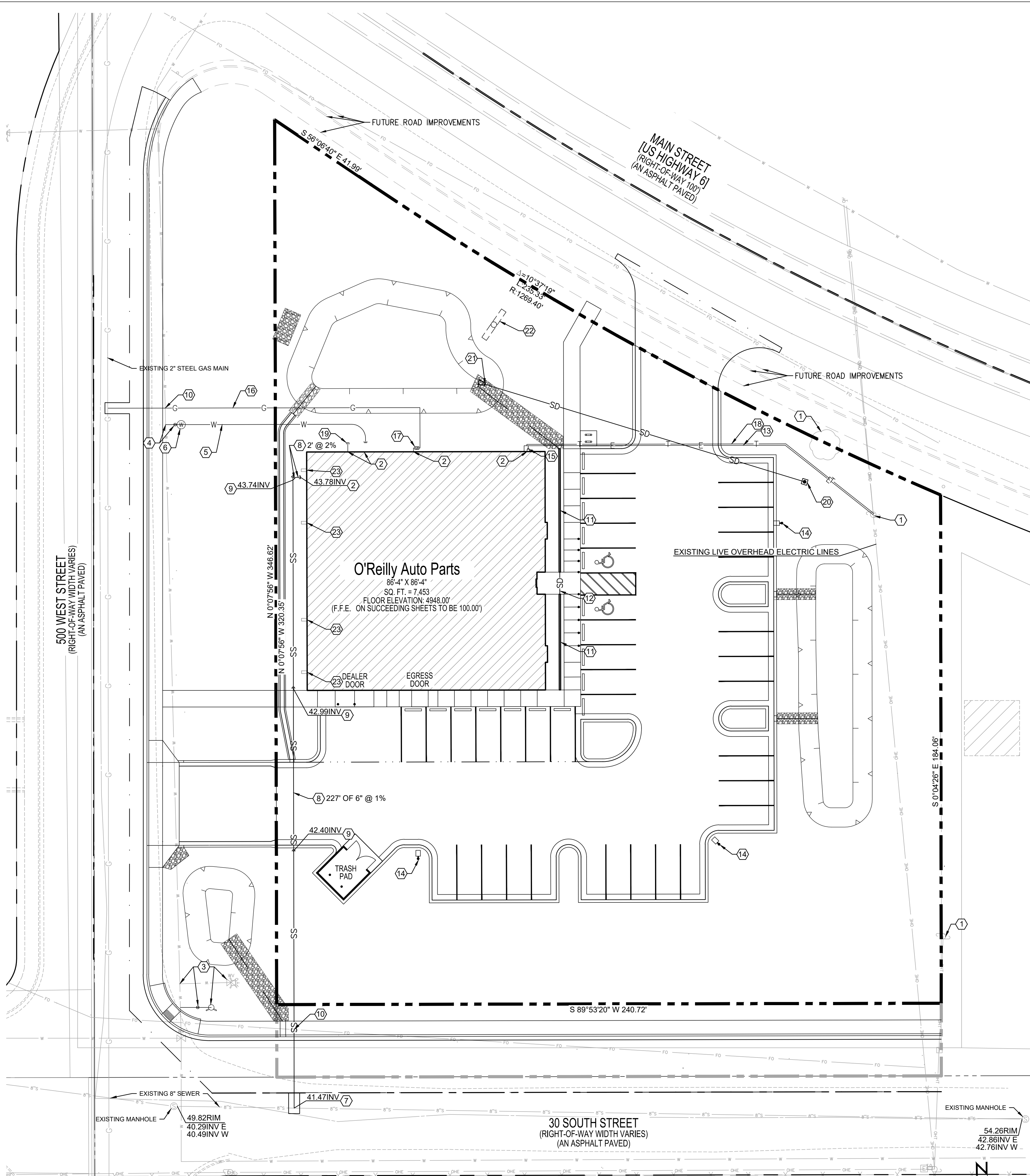


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Know what's below  
Call before you dig.





- ### KEY NOTES
- PROTECT EXISTING IMPROVEMENTS IN PLACE.
  - UTILITY CONNECTIONS AT BUILDING. REFER TO US1 FOR DETAIL.
  - RELOCATE VALVE AND HYDRANT PER SANTAQUIN CITY DETAIL W2. CAP EXISTING TEE. SEE C2.4 FOR DETAIL.
  - CONNECT 1" DOMESTIC SERVICE LINE TO EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH THE CITY OF SANTAQUIN FOR SERVICE LINE TAP AND CURB STOP INSTALLATION. REFER TO SANTAQUIN CITY MUNICIPAL CODE SEC 8.04.040 AND SANTAQUIN CITY DETAIL W1. SEE C2.4 FOR DETAIL.
  - 1" TYPE K COPPER WATER SERVICE LINE. CONTRACTOR TO INSTALL SERVICE LINE FROM METER TO BUILDING. REFER TO CITY DETAIL W1. SEE C2.4 FOR DETAIL.
  - 1" WATER METER. CITY TO PROVIDE METER FOR CONTRACTOR TO INSTALL. REFER TO SANTAQUIN MUNICIPAL CODE SEC 8.04.040 AND STANDARD DETAIL W1. PROVIDE A 21" DIAMETER WHITE HANCOR METER BOX. REFER TO SANTAQUIN CITY STANDARD DETAIL W1. SEE C2.4 FOR DETAIL.
  - CONNECT 6" SEWER SERVICE LINE TO EXISTING 8" SEWER MAIN WITH SADDLE. REFER TO SANTAQUIN CITY MUNICIPAL CODE 8.08.040.H AND SANTAQUIN CITY DETAIL S2. SEE C2.4 FOR DETAIL.
  - 6" SDR-35 PVC SANITARY SEWER SERVICE LINE AT MINIMUM 1%. REFER TO SANTAQUIN CITY DETAIL S2 AND UT3 FOR TRENCH SECTION. SEE C2.4 FOR DETAILS.
  - 6" SANITARY CLEANOUT PER SANTAQUIN CITY DETAIL S2. MINIMUM SPACING 100 FEET. SEE C2.4 FOR DETAIL.
  - UTILITY CROSSING. CONTRACTOR TO CONFIRM DEPTHS AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - 4" PRESLOPED TRENCH DRAIN. REFER TO DETAIL C2.2/11.
  - 4" STORM DRAIN CONNECTION PIPE.
  - PROPOSED UNDERGROUND ELECTRIC SERVICE LINE. REFER TO US1 FOR DETAIL.
  - PROPOSED LIGHT POLE. REFER TO US1 FOR DETAIL.
  - PROPOSED ELECTRIC STRUCTURE. REFER TO US1 FOR DETAIL.
  - PROPOSED GAS SERVICE LINE. REFER TO US1 FOR DETAIL.
  - PROPOSED GAS STRUCTURE. REFER TO US1 FOR DETAIL.
  - PROPOSED UNDERGROUND COMMUNICATION SERVICE LINE. REFER TO US1 FOR DETAIL.
  - IRRIGATION STUB SHOWN FOR REFERENCE. REFER TO IRRIGATION AND LANDSCAPE PLANS FOR DETAIL AND METER INFO.
  - 18" OVERFLOW INLET STRUCTURE. REFER TO SHEET C2.5 FOR DETAILS. REFER TO C1.1 FOR ELEVATIONS.
  - 12" HDPE STORM DRAIN PIPE WITH FLARE END SECTION AT MIN 2% SLOPE. REFER TO C2.5 FOR DETAILS. REFER TO C1.1 FOR ELEVATIONS.
  - PROPOSED LIGHTED SIGN. REFER TO US1 FOR DETAIL.
  - PROPOSED 2' X 1' SPLASH PAD AT ROOF DRAIN.

### EXISTING UTILITY NOTE

CONTRACTOR TO CONFIRM MINIMUM BURY DEPTH IS MAINTAINED OVER EXISTING UTILITIES.

- ### EXISTING CONDITIONS NOTES
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
  - EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
  - ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY RESULTING FROM DAMAGE TO OR MODIFICATIONS OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS / INSTALLATIONS.

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- ### SYMBOLS LEDGEN
- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEDGEN.
- |  |                             |
|--|-----------------------------|
|  | NEW BUILDING CONSTRUCTION   |
|  | AREA OF RIP RAP             |
|  | CONCRETE PAVING BLOCK       |
|  | O'REILLY PROPERTY LINE/ROW  |
|  | ADJACENT PROPERTY LINE      |
|  | CENTER LINE                 |
|  | RIGHT-OF-WAY LINE           |
|  | BUILDING SETBACK LINE       |
|  | EXISTING EASEMENT           |
|  | PROPOSED EASEMENT           |
|  | PROPOSED GAS SERVICE LINE   |
|  | PROPOSED ELECTRIC LINE      |
|  | PROPOSED WATER LINE         |
|  | PROPOSED SANITARY LINE      |
|  | PROPOSED TELEPHONE LINE     |
|  | PROPOSED SAWCUT             |
|  | PROPOSED RIDGELINE          |
|  | PROPOSED SWALE FLOW LINE    |
|  | LIMITS OF DISTURBANCE       |
|  | PROPOSED POLE SIGN LOCATION |
|  | PROPOSED LIGHT POLE         |
|  | PROPOSED BOLLARD            |
|  | PROPOSED WATER METER        |
|  | PROPOSED FIRE HYDRANT       |

- ### UTILITY COMPANY CONTACTS
- |  |  |
|--|--|
| <b>CULINARY WATER &amp; SANITARY SEWER:</b><br>SANTAQUIN CITY<br>JON LUNDELL, P.E.<br>(801)-754-1974<br>JLUNDELL@SANTAQUIN.ORG | <b>NATURAL GAS:</b><br>DOMINION ENERGY<br>SL MAPPING DEPARTMENT<br>(801) 324-3970<br>MAP.REQUESTS@DOMINIONENERGY.COM |
| <b>POWER:</b><br>ROCKY MOUNTAIN POWER<br>CLAIRE HUNTER<br>(385) 395-7198<br>CLAIRE.HUNTER@PACIFICORP.COM                       | <b>CABLE TV &amp; PHONE:</b><br>CENTRACOM INTERACTIVE<br>ALISA FAATZ<br>(435) 427-3331<br>A.FAATZ@CENTRACOM.COM      |
| <b>FIBER OPTIC &amp; PHONE:</b><br>LUMEN/CENTURYLINK<br>LARRY BUHLER<br>(385) 479-7357<br>LARRY.BUHLER@LUMEN.COM               | <b>FIBER OPTIC:</b><br>UTOPIA FIBER<br>XIAOTONG WU<br>(801) 613-3854<br>XWU@UTOPIANET.ORG                            |
|  | <b>FIBER OPTIC &amp; TRAFFIC SIGNALS:</b><br>UDOT REGION III<br>DEGEN LEWIS<br>(801) 227-8011<br>DLEWIS@UTAH.GOV     |

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

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**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
SITE UTILITY PLAN

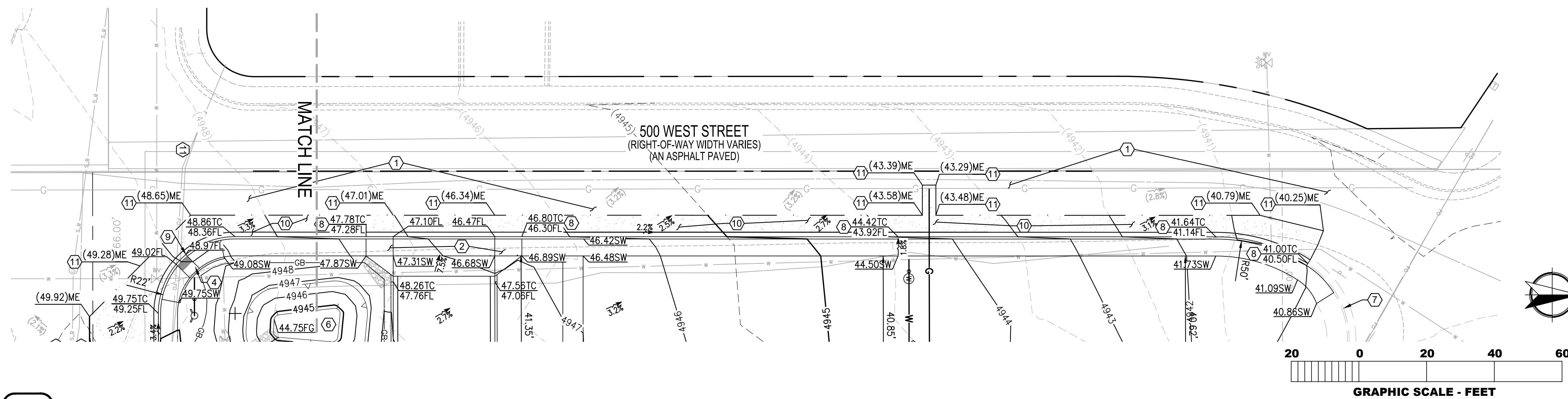
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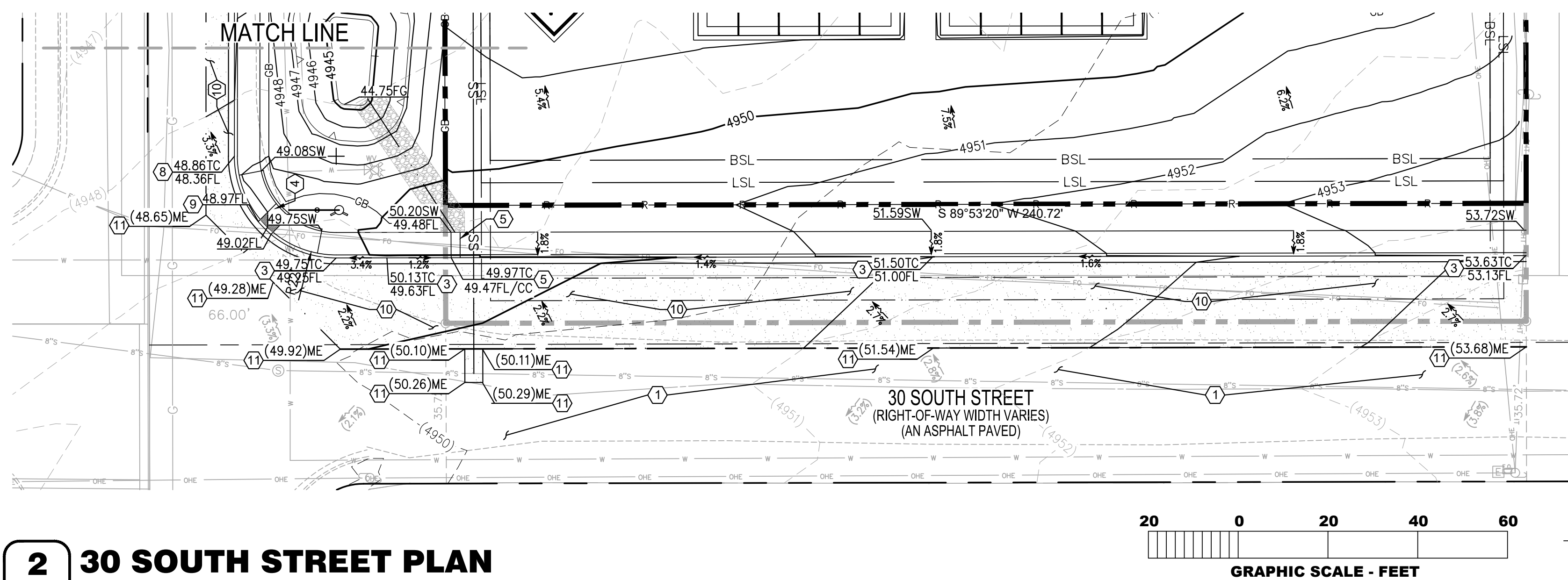
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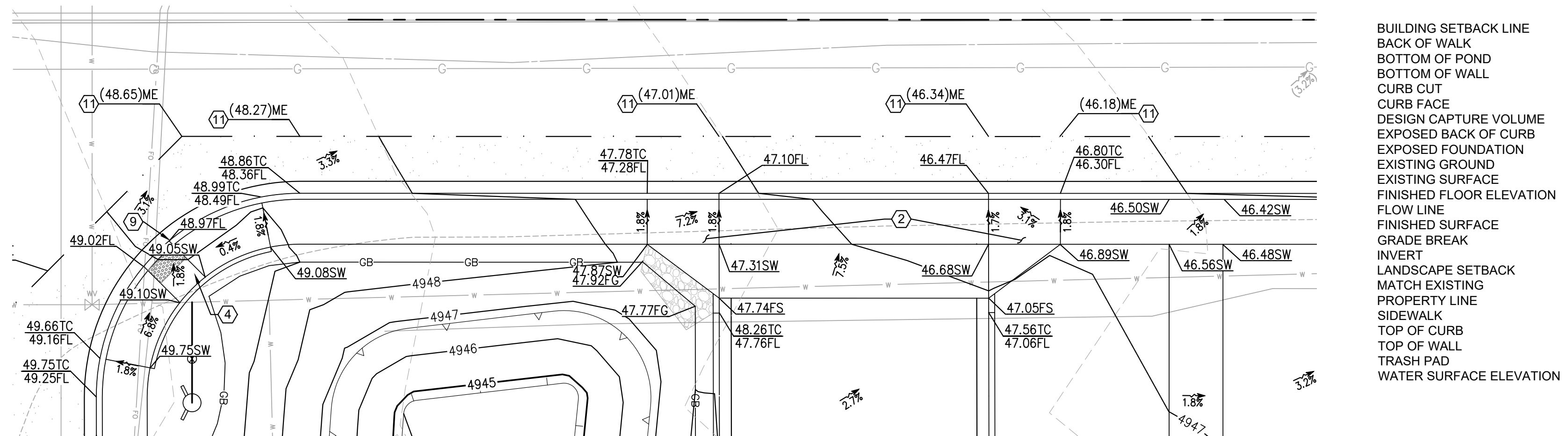
## 1 500 WEST STREET PLAN

C4.1 SCALE: 1" = 20'-0"



## 2 30 SOUTH STREET PLAN

C4.1 SCALE: 1" = 20'-0"



## 3 ADA RAMP GRADING DETAIL

C4.1 SCALE: 1" = 10'-0"

## BASIS OF BEARING

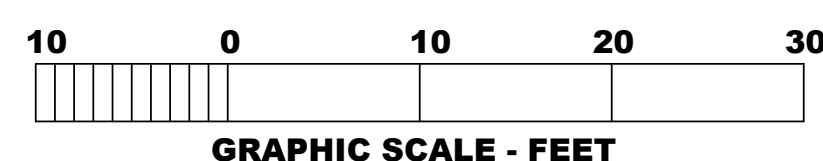
THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SL8&M.

## BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVOD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.



**NOTE:**  
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT RELIEF THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

**NOTE:**  
ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

BSL	BSL	PROPOSED POLE SIGN LOCATION
BW	BW	PROPOSED LIGHT POLE
BOP	BOP	PROPOSED BOLLARD
BOW	BOW	PROPOSED WATER METER
CC	CC	PROPOSED FIRE HYDRANT
CF	CF	EXISTING SURFACE LABEL
DCV	DCV	FINISHED SURFACE LABEL
EC	EC	EXISTING CONTOUR
EF	EF	PROPOSED CONTOUR
EG	EG	EXISTING SLOPE
ES	ES	PROPOSED SLOPE
FF/FFE	FF/FFE	TOP OF RETENTION POND
FL	FL	TOE OF RETENTION POND
FS	FS	
GB	GB	
INV	INV	
LSB	LSB	
ME	ME	
PL	PL	
SW	SW	
TC	TC	
TOW	TOW	
TP	TP	
WSEL	WSEL	

BUILDING SETBACK LINE  
BACK OF WALK  
BOTTOM OF POND  
BOTTOM OF WALL  
CURB CUT  
CURB FACE  
DESIGN CAPTURE VOLUME  
EXPOSED BACK OF CURB  
EXPOSED FOUNDATION  
EXISTING GROUND  
FINISHED SURFACE  
FINISHED FLOOR ELEVATION  
FLOW LINE  
FINISHED SURFACE  
GRADE BREAK  
INVERT  
LANDSCAPE SETBACK  
MATCH EXISTING  
PROPERTY LINE  
SIDEWALK  
TOP OF CURB  
TOP OF WALL  
TRASH PAD  
WATER SURFACE ELEVATION

	AREA OF ASPHALT
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
BSL	BUILDING SETBACK LINE
LSL	EXISTING EASEMENT
	PROPOSED EASEMENT
G	PROPOSED GAS SERVICE LINE
E	PROPOSED ELECTRIC LINE
W	PROPOSED WATER LINE
SS	PROPOSED SANITARY LINE
T	PROPOSED TELEPHONE LINE
	PROPOSED SAWCUT
R	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
//	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	EXISTING SURFACE LABEL
	FINISHED SURFACE LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SLOPE
	PROPOSED SLOPE
	TOP OF RETENTION POND
	TOE OF RETENTION POND

## GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL OFF-SITE CONCRETE TO BE 4,000 PSI PER SANTAQUIN SPECIFICATION 12.02, CLASS AA(AE).
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

## ADA NOTE

- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
  - LONGITUDINAL SLOPE NOT TO EXCEED 5%
  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
  - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
  - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

## STORMWATER NOTES

RIGHT OF WAY STORAGE IS DESIGNED PER THE SANTAQUIN STORM DRAIN MASTER PLAN FOR RETENTION OF 25 YEAR, 6 HOUR STORM AND MITIGATION OF 100 YEAR, 24 HOUR STORM.

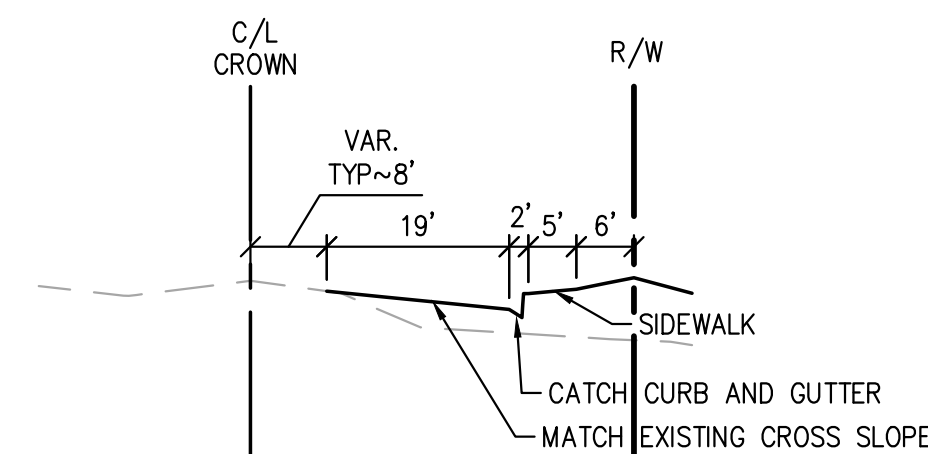
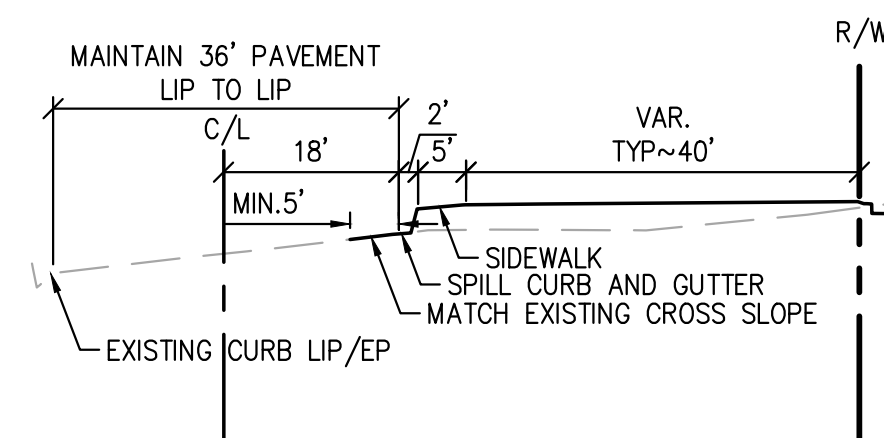
RETENTION VOLUMES:  
REQUIRED SOUTH STREET 25 YEAR, 6 HOUR RETENTION VOLUME = 785 CF  
RIGHT OF WAY STORAGE VOLUME AT 4946.75 = 790 CF  
100 YEAR, 24 HOUR RUNOFF VOLUME = 1497 CF  
STORAGE VOLUME AT 4947.75 = 1944 CF

## KEYNOTES

- PROTECT EXISTING IMPROVEMENTS IN PLACE.
- DRIVEWAY APPROACH W/O PARK STRIP PER SANTAQUIN STANDARD DRAWING CG6 ON SHEET C2.4.
- HIGH BACK CURB AND GUTTER WITH ATTACHED WALK PER SANTAQUIN STANDARD DRAWING CG4 ON SHEET C2.4.
- CURB RAMP AT INTERSECTION PER SANTAQUIN STANDARD DRAWING CG1 ON SHEET C2.4.
- UNDER SIDEWALK DRAIN. SEE C1.1 FOR ELEVATIONS. REFER TO DETAIL 12/C2.2
- RIGHT OF WAY STORM RUNOFF RETENTION POND.
- FUTURE ROAD IMPROVEMENTS.
- HIGH BACK CURB AND SPILL GUTTER WITH ATTACHED WALK.
- TRANSITION FROM HIGH BACK CURB TO HIGH BACK CURB WITH SPILL GUTTER.
- ASPHALT PAVING. REFER TO DETAIL 13/C2.2.
- GRIND 12" BEYOND SAWCUT AT 3" DEPTH, OVERLAY TO MATCH EXISTING PER SANTAQUIN CITY STANDARD AND SPECIFICATION 10.05.

## 500 WEST STREET SECTION

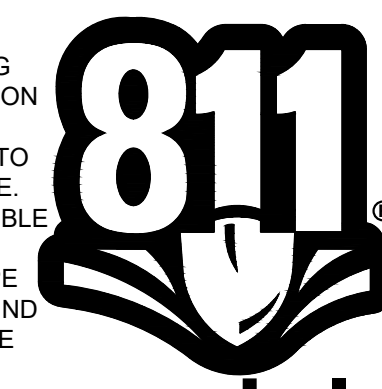
SCALE: N.T.S.



## 30 SOUTH STREET SECTION

SCALE: N.T.S.

**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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San Luis Obispo Riverside Boise Atlanta



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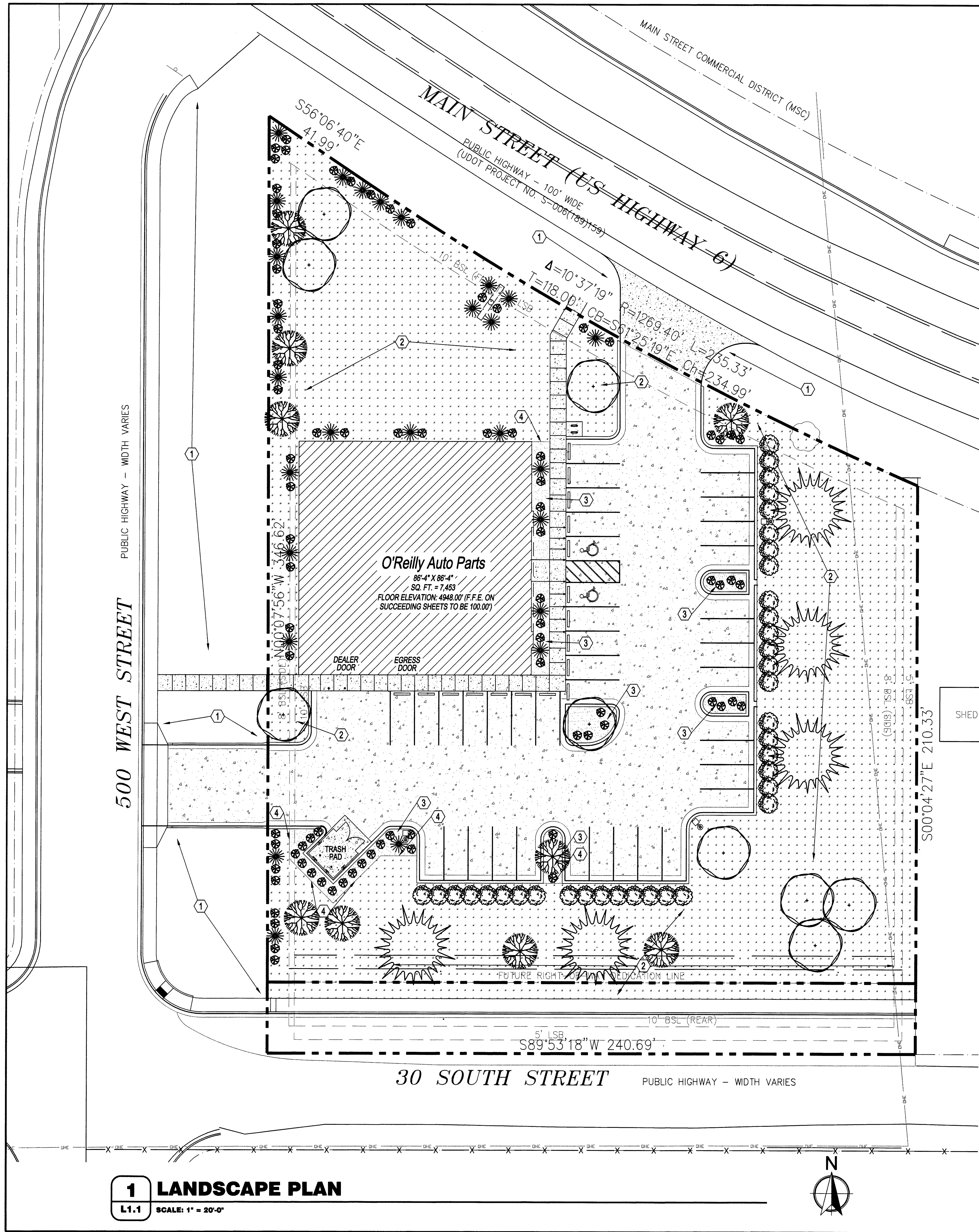
PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
ROAD PLAN

**O'Reilly** AUTO PARTS  
CORPORATE OFFICES  
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SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE:

C4.1





## KEY NOTES

- 1 AREA OF HYDRO MULCH OR SEED AND STRAW. UNLESS NOTED OTHERWISE, ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 2 AREA OF SOD, REFER TO DETAIL 1/L1.2.
- 3 CREEK GRAVEL, REFER TO DETAIL 2/L1.2.
- 4 LANDSCAPE EDGING, REFER TO DETAIL 2/L1.2. PROVIDE AT ALL GROUND COVER TYPE TRANSITIONS.

## SYMBOLS LEGEND

- NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.
- NEW AREA OF LANDSCAPE GRAVEL
  - NEW AREA OF SOD

## GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- G PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- H WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED AREA OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- I RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- J PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

## PLANTING SCHEDULE

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS  
ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

MARK	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	NOTES
	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 8' HEIGHT MIN., B & B
	EMERALD QUEEN MAPLE	ACER PLANTANOIDES 'EMERALD QUEEN'	2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
	CORAL SUN GOLDEN RAIN TREE	KOELREUTERIA PANICULATA 'CORAL SUN'	1 1/2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 8' HEIGHT MIN., B & B
	MISS KIM LILAC HEDGE	SYRINGA PATULA 'MISS KIM'	2' HEIGHT MIN.	4/L1.2	FULL PLANT
	ROSE GLOW JAPANESE BARBERRY	BERBERIS THUNBERGII ATROPURPUREA 'ROSE GLOW'	2' HEIGHT MIN.	4/L1.2	FULL PLANT
	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	1' HEIGHT MIN.	4/L1.2	FULL PLANT

CAUTION:  
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UTILITIES IS NOT GUARANTEED TO  
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THE CONTRACTOR IS RESPONSIBLE  
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AND OTHER UTILITIES AS MAY BE  
NECESSARY TO AVOID DAMAGE  
THERE TO.



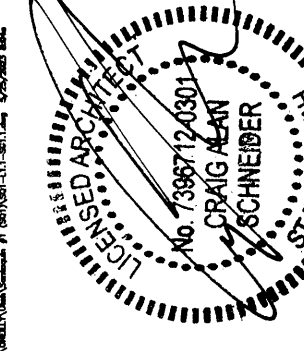
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PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY 6)  
SANTAQUIN, UT  
LANDSCAPE PLAN

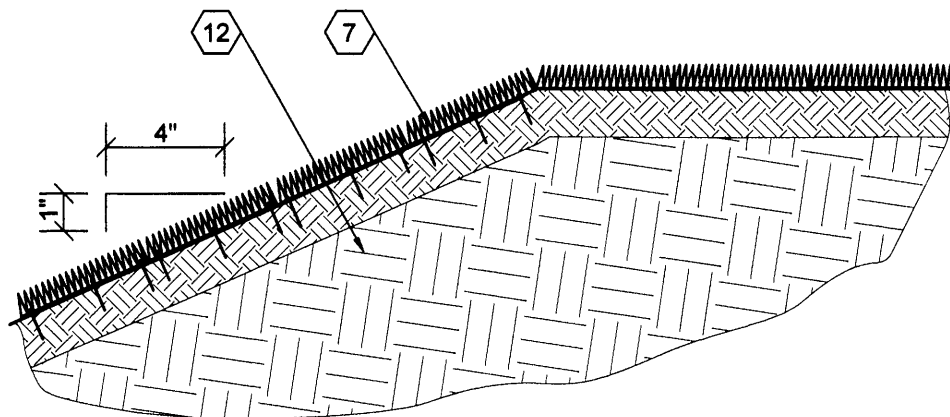
O'Reilly AUTO PARTS  
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COMM # 4704  
DATE: 5-26-23  
REVISION  
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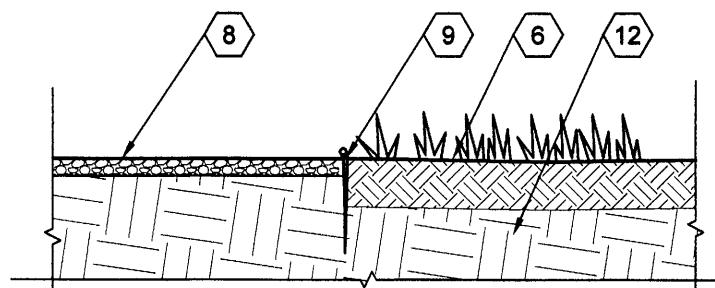






**1 SOD DETAIL**

**L1.2** SCALE: 3/4" = 1'-0"

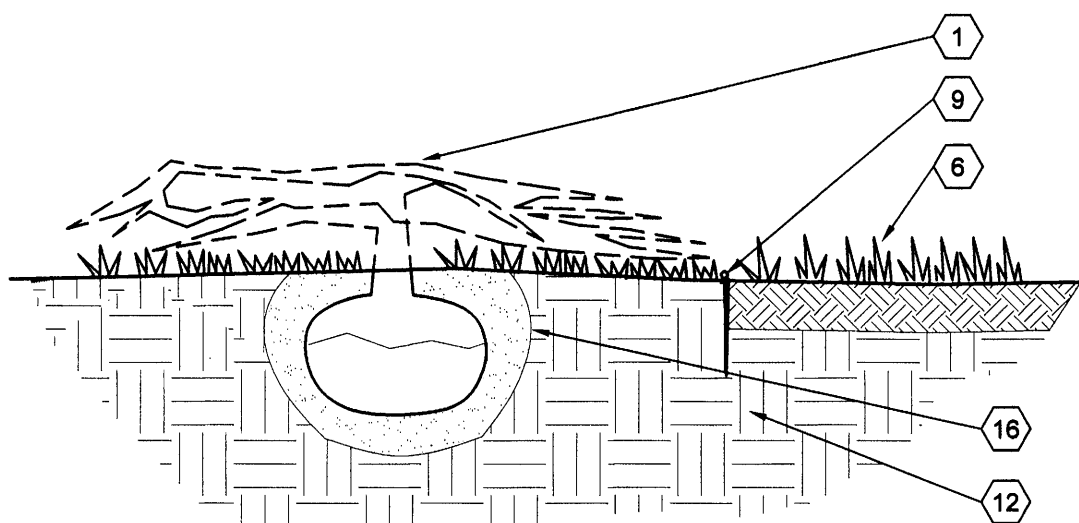


**2 LANDSCAPE GRAVEL DETAIL**

**L1.2** SCALE: 3/4" = 1'-0"

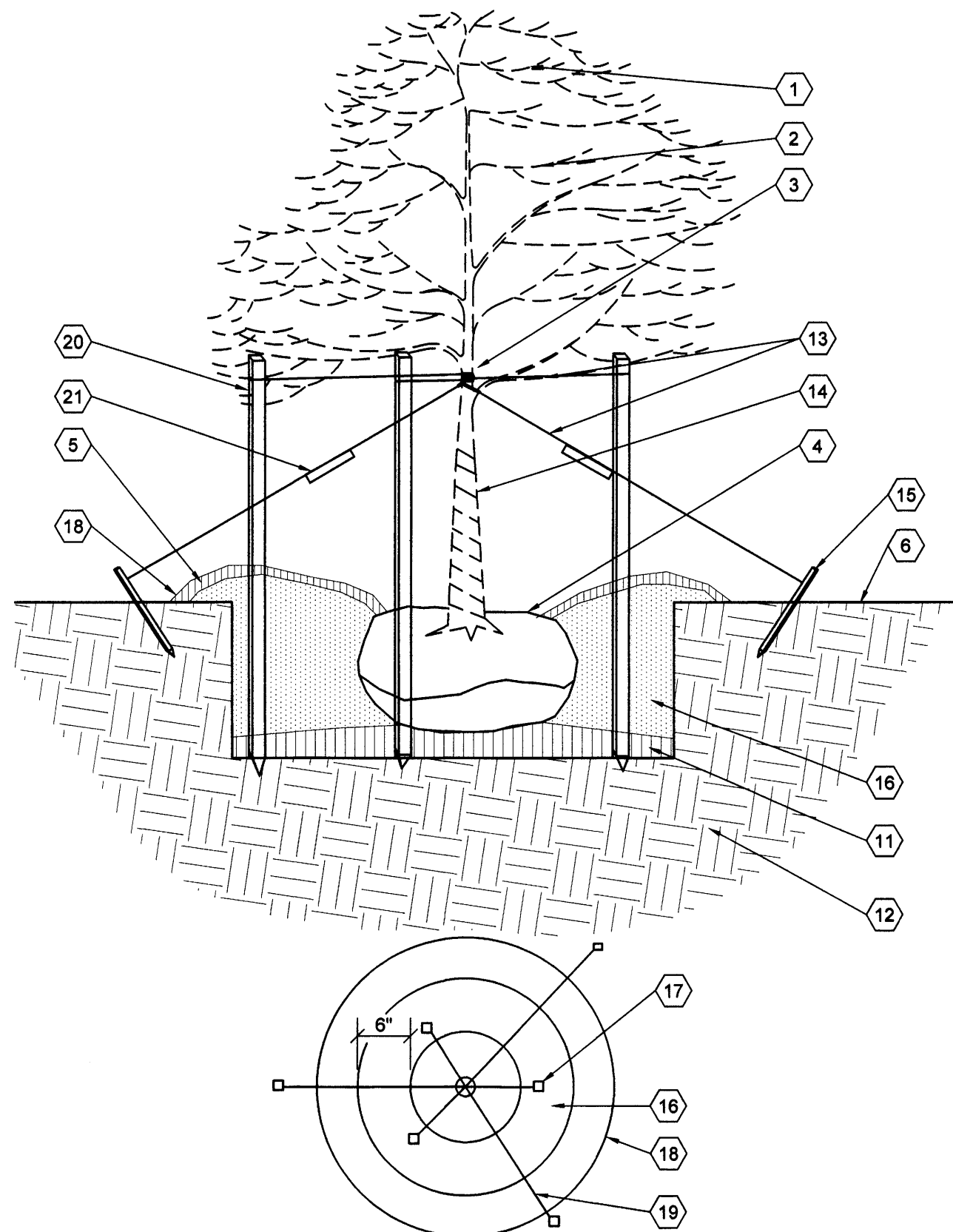
**3 NOT USED**

**L1.2** NOT TO SCALE



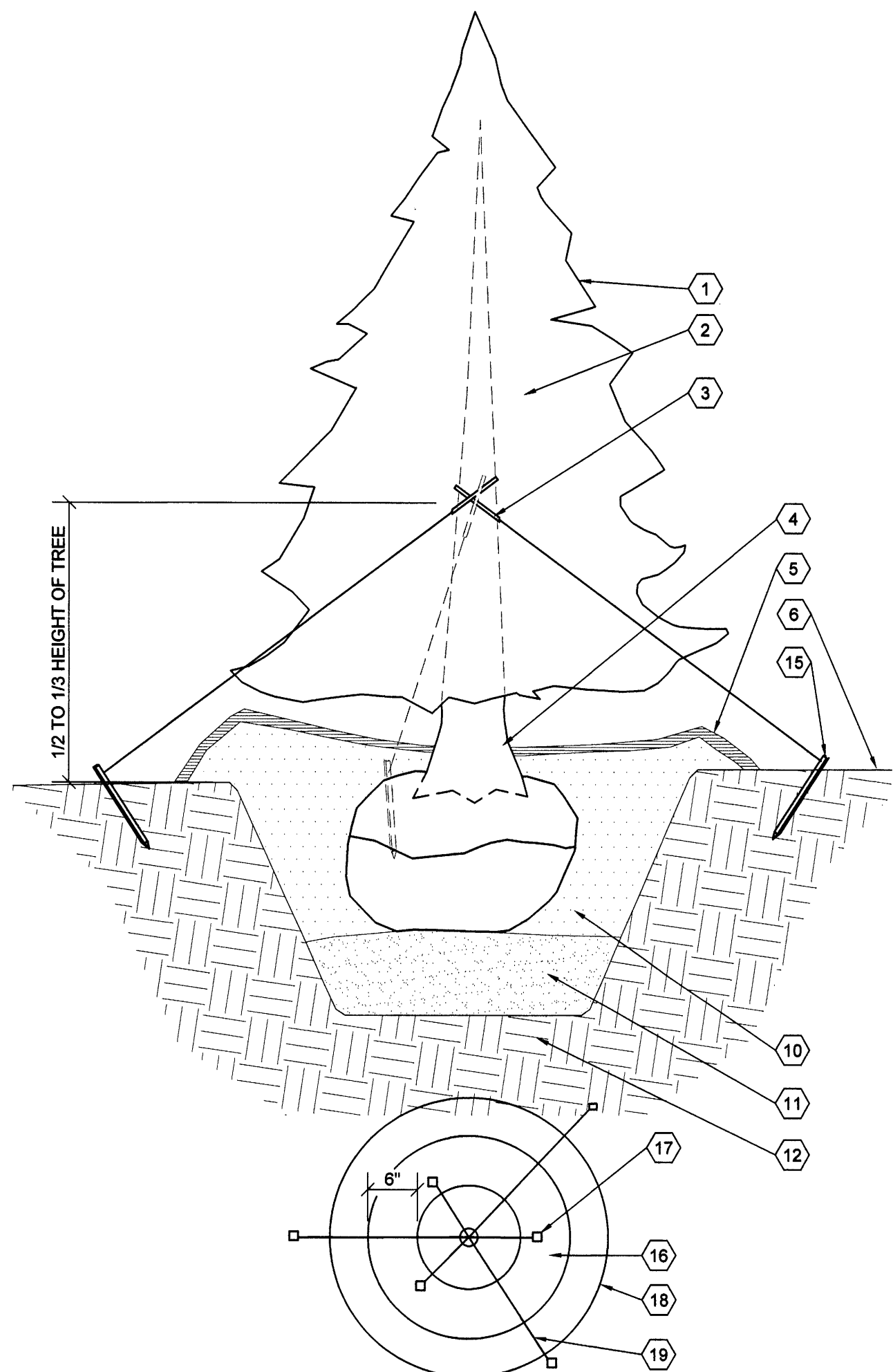
**4 SMALL SHRUB DETAIL**

**L1.2** SCALE: 3/4" = 1'-0"



**5 LARGE DECIDUOUS TREE**

**L1.2** SCALE: 3/4" = 1'-0"



**6 LARGE CONIFEROUS TREE**

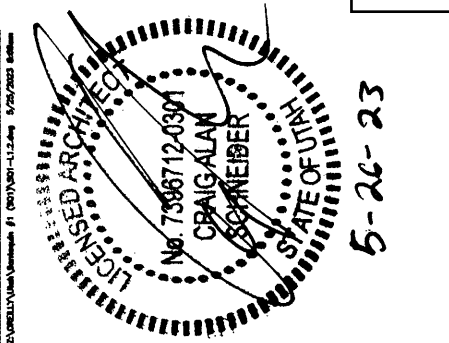
**L1.2** SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL AND SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO LANDSCAPE PLAN FOR PLANTING TYPES AND LOCATIONS.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

**KEY NOTES**

- (1) PLANTING, REFER TO PLANTING SCHEDULE FOR TYPES.
- (2) SET TREE LEVEL AND PLUMB. STRAIGHTEN AFTER SETTLEMENT IF NEEDED.
- (3) ENCASE WIRE AROUND TRUNK IN BLACK RUBBER. MOVE UP ABOVE EQUAL TO 1/2 TO 1/3 OF THE HEIGHT OF TREE.
- (4) SET TREE WITH TOP 1/3 OF ROOT ABOVE FINISH GRADE.
- (5) REFER TO LANDSCAPE PLAN FOR GROUND COVER TYPE AND LOCATIONS. PROVIDE 3" DEEP 5/8" CREEK GRAVEL OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER OR 3" SHREDDED CYPRESS MULCH OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER.
- (6) LAWN, REFER TO LANDSCAPE PLAN FOR TYPE AND LOCATIONS. PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- (7) SOD, REFER TO LANDSCAPE PLAN FOR LOCATIONS. PLACE THREE PINS EVERY 2'-0", SPACING EQUALLY. PROVIDE 4" TOPSOIL AT ALL SOD AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- (8) 3" DEEP, 5/8" CREEK GRAVEL OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER.
- (9) 4" BLACK POLY VINYL EDGING.
- (10) PREFERRED SOIL.
- (11) COMPACTED PLANTING.
- (12) SUB GRADE.
- (13) TWO STRANDS OF WIRE.
- (14) TRUNK WRAP.
- (15) 2" X 2" X 10" WOOD STAKES BURY BELOW FINISH GRADE.
- (16) PREPARED PLANTING MIXTURE.
- (17) TREES 6'-0" IN HEIGHT OR LESS SHALL BE STAKED.
- (18) EXTENTS OF PLANTING BERM TO HOLD WATER.
- (19) TREES TALLER THAN 3'-0" MUST BE TIED.
- (20) 2" X 4" STAKE - OR - METAL FENCE POST.
- (21) 1" X 4" X 10" WHITE WOOD FLAG.



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PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**

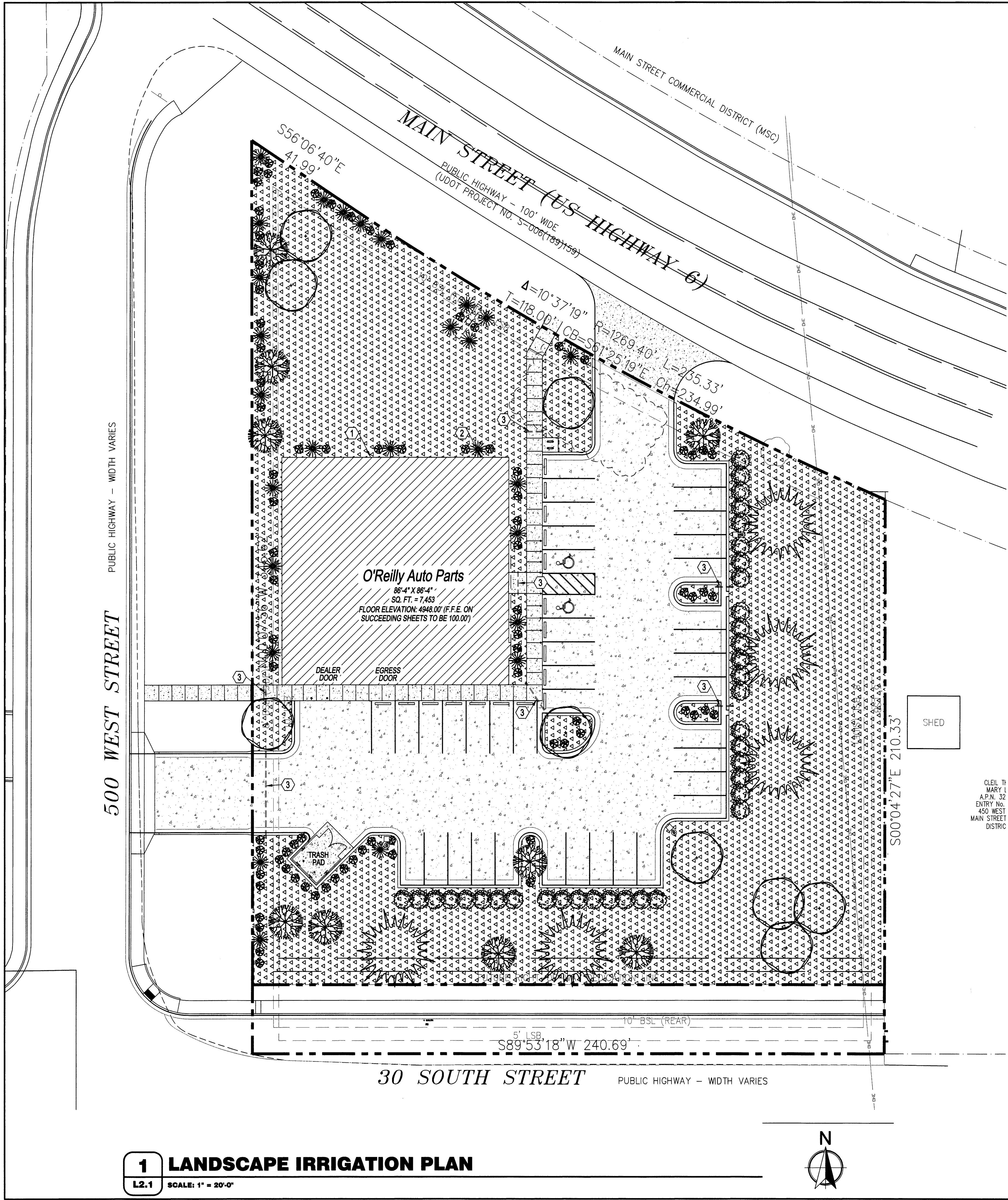
**LANDSCAPE DETAILS**

**O'Reilly AUTO PARTS**

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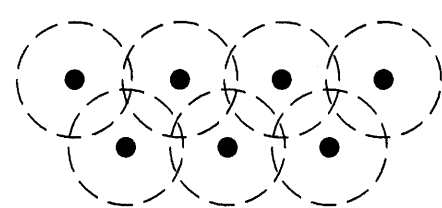
**1 LANDSCAPE IRRIGATION PLAN**  
L2.1 SCALE: 1" = 20'-0"

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO CIVIL AND SITE UTILITY DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (C) PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- (D) IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SHOWN COVERAGE AREAS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL AS SPECIFIED.
- (E) VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- (F) COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND PLANTING. REFER TO LANDSCAPE PLAN. WHEN TRENCHING AVOID TREE ROOT BALLS AND INSTALL HEADS AT APPROPRIATE LOCATIONS.
- (G) ADJUST ALL NOZZLES TO AVOID OVERTHROW ON SIDEWALKS, PAVING, WALLS, ROADWAYS, AND BEYOND PROPERTY LINES, UNLESS OTHERWISE INDICATED. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- (H) SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- (I) INSTALL RISERS 18" FROM WALLS AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD.
- (J) TOP OF SPRAY AND ROTOR HEADS SHALL BE SET AT TOP OF SOD OR TOP OF MULCH LAYERS.
- (L) PROVIDE RAIN SENSOR AND ANTI-FREEZE ASSEMBLY ON IRRIGATION SYSTEM.
- (M) THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- (N) ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- (O) ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000 PSI POURED CONCRETE THRUST BLOCKS.
- (P) PROVIDE COMPRESSED AIR QUICK CONNECT BRASS FITTING IN VALVE BOX FOR WINTERIZATION. LOCATE AS CLOSE TO WATER SOURCE AS POSSIBLE.

**COVERAGE REQUIREMENTS**

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



**KEY NOTES**

- 1 APPROXIMATE LOCATION OF LAWN IRRIGATION METER (INSIDE BUILDING) WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN.
- 2 IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- 3 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.

NEW AREA OF IRRIGATION SYSTEM COVERAGE

**CAUTION:**  
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**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY 6)  
SANTAQUIN, UT

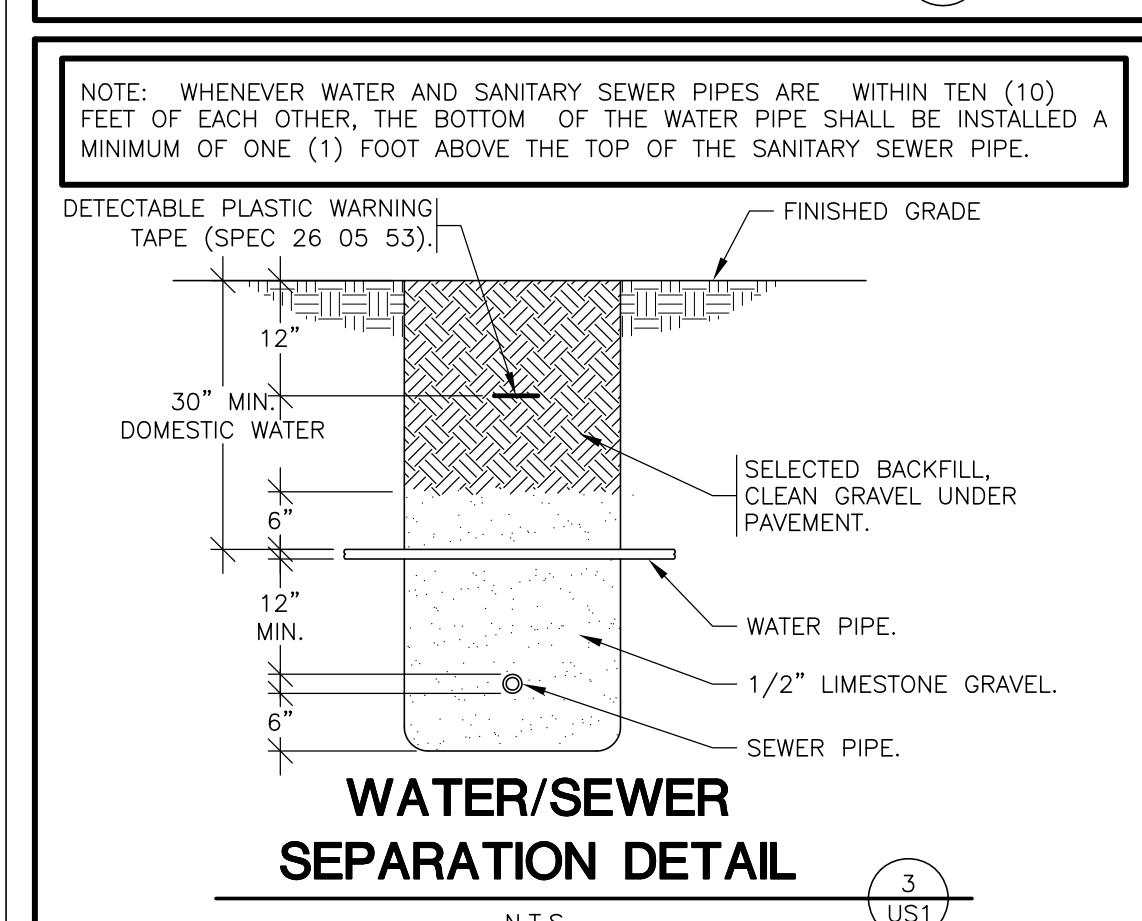
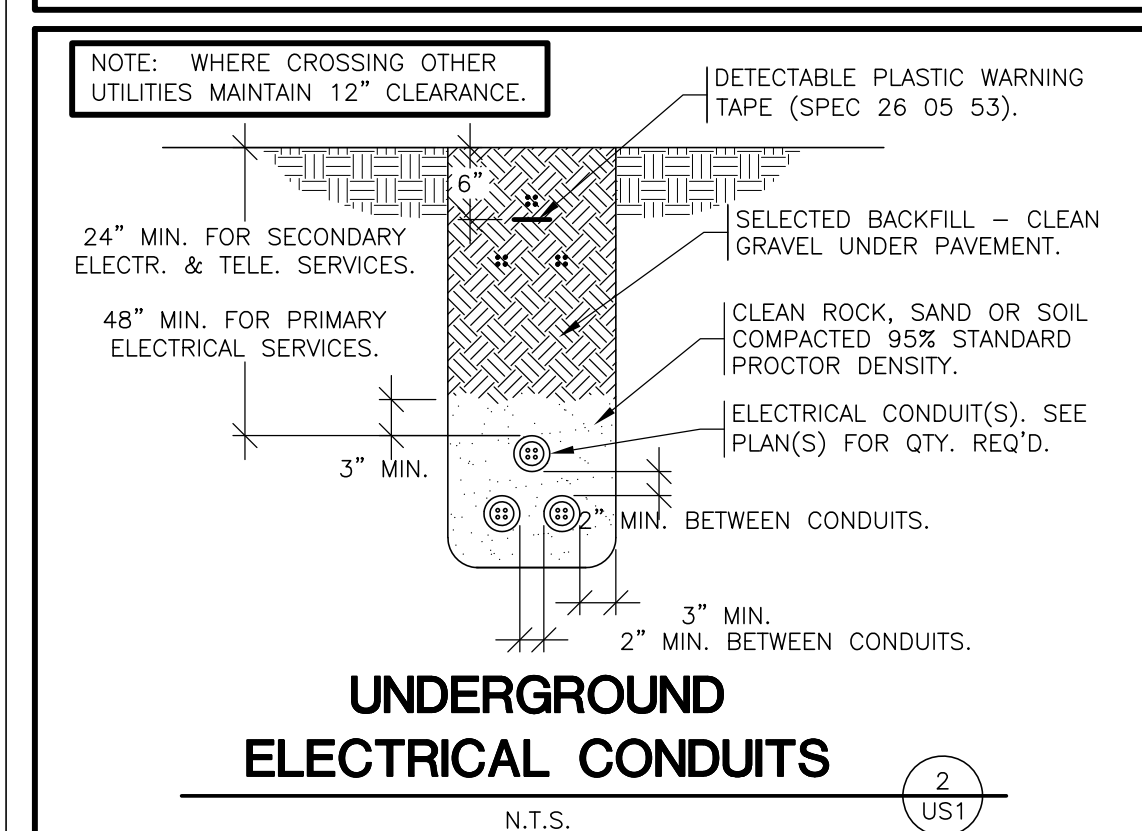
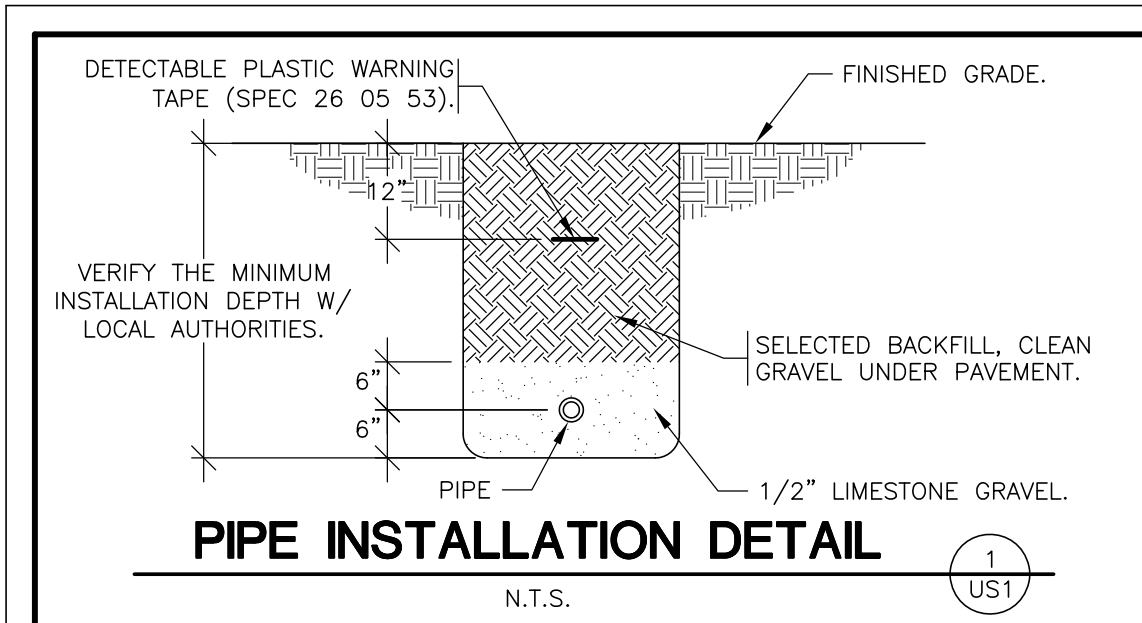
**LANDSCAPE IRRIGATION PLAN**

**O'Reilly AUTO PARTS**  
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SPRINGFIELD, MISSOURI 65802  
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DATE:

L2.1





- ### EXISTING CONDITIONS NOTES
1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
  2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
  3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
  4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
  5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

### TELEPHONE SERVICE REQUIREMENTS

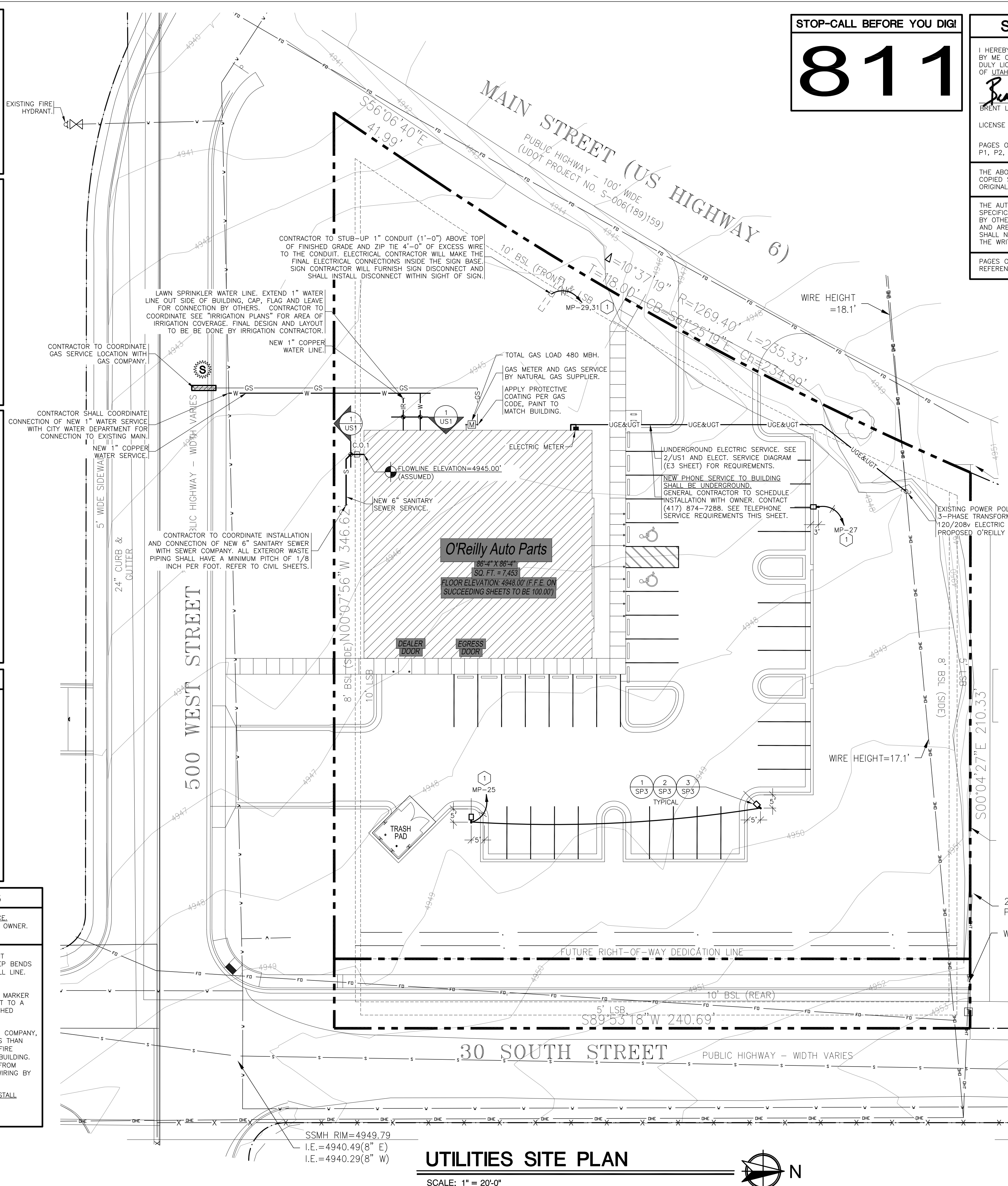
SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

CONTRACTOR SHALL CONTACT PHONE COMPANY AND VERIFY REQUIRED SIZE OF CONDUIT (2", 3" OR 4") SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY. IF NECESSARY, OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (ft.) ABOVE FINISHED GRADE ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10 PAIR CABLE, IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4' X 6' X 3/4" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE--THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.



## UTILITIES SITE PLAN

SCALE: 1" = 20'-0"

STOP-CALL BEFORE YOU DIG!

# 811

### STATE OF UTAH LIMITATION

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF UTAH.

**Brent L. Courter** 05/26/23 (DATE)

LICENSE RENEWAL DATE IS MARCH 31, 2023

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DRAWN BY: NAR

05/26/23

### CONTRACTOR CAUTION!!!

#### VERIFY SEWER LINE ELEVATION

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM (LIBERTY PUMPS #D4896LSG203-36-S-FRPHD).

PHONE: (518) 346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

### UTILITIES CONTACTS:

ELECTRIC: ROCKY MOUNTAIN POWER, CLAIRE HUNTER: 385-395-7198  
TELEPHONE: CENTURYLINK, LARRY BUHLER: 385-479-7357  
WATER: CITY OF SANTAQUIN, JON LUNDELL: 801-754-1974  
SEWER: CITY OF SANTAQUIN, JON LUNDELL: 801-754-1974  
GAS: DOMINION ENERGY: 801-324-3970

CONTRACTOR TO CONTACT UTILITY COMPANIES FOR TAPPING AND FINAL CONNECTION RESPONSIBILITIES.

### NEW UTILITIES

Symbol	Description
W	WATER SERVICE
IR	IRRIGATION SERVICE
UGE	UNDERGROUND ELECTRIC
UGT	UNDERGROUND TELEPHONE
S	SANITARY SEWER
OHE	OVERHEAD ELECTRIC
OHT	OVERHEAD TELEPHONE
G	GAS SERVICE (BY GAS CO.)

• P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00) LOCATED 5'-0" OUTSIDE BUILDING, AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION.

### GENERAL NOTE:

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

### EMS KEYNOTE

1 EMS / LIGHTING CONTROL PANEL. SEE EM SHEETS FOR MORE INFORMATION.

### SAWCUT NOTE

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- 1) SAWCUTTING PAVING, CONCRETE CURB & GUTTER.
- 2) REMOVAL & TRENCHING.
- 3) INSTALLATION OF UTILITY.
- 4) BACKFILL & COMPACTION.
- 5) INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.

CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

### METER LOCATION

TWO 1" METERS AND BACKFLOW DEVICES ARE TO BE INSTALLED INSIDE BUILDING, SEE P1 & P2 SHEET FOR LOCATION.

# SGE

SMITH-GOTH ENGINEERS, INC.

3855 S. JEFFERSON AVE. P: 417-882-2200  
SPRINGFIELD, MO 65807 F: 417-882-1188  
WWW.SMITHGOTH.COM

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-0558  
Fax: 417-862-3265  
e-mail: architect@esterlyschneider.com

**ESTERLY SCHNEIDER & ASSOCIATES, INC.**  
architects & planners  
AIA

PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT #1**  
**UTILITIES SITE PLAN**

**O'Reilly AUTO PARTS**

CORPORATE OFFICES:  
3855 S. JEFFERSON AVE. SPRINGFIELD, MO 65807  
(417) 882-2674 TELEPHONE

COMM # 4704  
DATE: 05-26-2023  
REVISION  
DATE:

US1 of 1





**DRC Members in Attendance:** City Engineer Jon Lundell, Assistant City Manager Jason Bond, Public Works Director Jason Callaway, City Manager Norm Beagley, Building Official Randy Spadafora, Police Officer Kayson Shepherd, Fire Chief Ryan Lind.

**Others in Attendance:** Planner Camille Moffat and Senior Planner Loren Wiltse. Various members of the public attended the meeting in person and via Zoom.

Engineer Lundell called the meeting to order at 10:00 a.m.

### **1. Griffin Subdivision Preliminary/Final Plan**

*A preliminary/final review of a 2-lot subdivision located at 270 S 300 E.*

The applicant, Andrew Griffin, attended the meeting via Zoom.

Building Official Spadafora had no comments.

Fire Chief Lind had no comments.

Public Works Director Callaway addressed the missing sewer lateral that is shown on the plans. It is his understanding that there is no sewer lateral installed on the proposed lot. Engineer Lundell indicated that the current sewer lateral on the site needs to be verified and a new lateral will likely need to be installed to service the lot. Director Callaway added that a water service lateral may be bored under the street so that a roadcut shouldn't be necessary.

Officer Shepherd had no comments.

Assistant Manager Bond and Manager Beagley had no comments.

Engineer Lundell pointed out again that any utilities be bored or missiled under the road rather than cutting the road in order to save costs for the applicant.

Assistant Manager Bond inquired about how the new house will be oriented. The applicant indicated that the orientation of the new home has not been determined.

Engineer Lundell added that property boundary line bearings need to be included on the plans. Manager Beagley inquired if full right-of-way has been dedicated to the city. Engineer Lundell confirmed that right-of-way is dedicated appropriately.

Manager Beagley made a motion to forward a positive recommendation of the Griffin Subdivision to the Planning Commission with the condition that all redlines be addressed before it is added to an agenda. Chief Lind seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes



Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

## 2. Les Schwab Site Plan

*A site plan review of a proposed tire retail store located a 98 N 500 E.*

Ron Isaacson, Nicole Olmstead, Stacie Gebers, Eric Rouse, Chris Moudry, Cory Nielsen, and Stephanie Donovan all appeared via Zoom for the Les Schwab Site Plan.

Building Official Spadafora stated that addressing has been completed along with the Ridley's Phase 3 portion of the subdivision and will be submitted to the applicant.

Chief Lind pointed out that the remote for the fire sprinkling system needs to be added to the plans. He also inquired if the turning radius at the site is sufficient to meet the needs of larger commercial type vehicles. The applicant indicated that the focus for the store is the commercial market mainly consisting of pick-up trucks and commuting cars. He added that the circulation plan for large delivery trucks will enter from the south driveway and curve around and exit on the north side. The applicant pointed out where the fire hydrant and fire sprinkling FTC will be located. Chief Lind and the applicant discussed the preference to place a remote FTC on the building for fire accessibility.

Director Callaway pointed out his approval of the onsite grease trap. He inquired where the waterline will be placed on the site. Engineer Lundell confirmed that the waterline will be placed with Ridley's Phase 3 portion of the subdivision.

Assistant Manager Bond inquired what the plan is for the free space between the freeway and the building site. The applicant indicated on the landscaping plan that was included in the plan set where trees and shrubs will be located. The applicant added that there are no plans for fencing around the site. Assistant Manager Bond stated that renderings of the building and landscaping will be reviewed at an Architectural Review Committee (ARC) meeting.

Manager Beagley asked the applicant if fencing was planned for any part of the site. Manager Beagley indicated, per city code, if any storage is planned outside of the building fencing would be required and expressed his concern with used tires or garbage being stored outside. The applicant stated that all storage would be inside. Members of the DRC and the applicants discussed if a cohesive fence should be placed between the business and the freeway.

Fire Chief Lind asked the applicant if the hydrant and remote FDC would be contained by a concrete pad in the landscape island shown on the plans. That concrete pad would allow for better fire department access. Manager Beagley inquired what the back wall expanse would look like that faces the freeway. The DRC and the applicant discussed the articulation along the different sides of the building. Assistant Manager Bond stated that the ARC will work with the applicant on building materials and design.



Engineer Lundell indicated that Ridley's Phase III is still pending recordation. That phase will need to be recorded prior to these site plans being approved. Also, a note will need to be added to the plans protecting the existing irrigation line in place on the site. Engineer Lundell added that on the grading plan for the Ridley's subdivision phase 3, that storm drainage will have to accommodate any additional storm drainage from the private site improvements. Water accumulation calculations need to be provided for control of a 100-year event. He noted that curb inlets need to meet city inlet box standards requiring pre-treatment depth sumps. Engineer Lundell inquired if the meter size was appropriate for the applicant. The applicant stated that coordination with their plumbing engineer is standard on their building and plans and indicated that the size of the meter and calculations will be confirmed.

Manager Beagley inquired about the location for the dumpster. He also asked if the company would own the lot or if it will remain owned by Mark Ridley. The applicant indicated that Mark Ridley will own the lot and Les Schwab will maintain operations of the building and of the lot. Manager Beagley stated that a letter indicating that the property owner, Mr. Ridley, authorizing Les Schwab to construct their building on the property will need to be provided at the time a building permit application is submitted to the city. He added that impact fees will be addressed with the building permit as well. The applicant will need to provide an anticipated water usage so water and sewer impact fees can be determined. Public Works Director stated that the grease interceptor on the site plans is sufficient as long as it's maintained as needed. Lastly, Assistant Manager Bond added that per the City Code, fencing is not required at the site as long as there is no outside storage. He stated that fencing may come up and be addressed at an ARC Meeting.

Manager Beagley made a motion to approve the Les Schwab Site Plan with the following conditions:

- All redlines be addressed.
- Recordation of the subdivision plat is complete.
- A letter is received from the owner (Mark Ridley) allowing for a building permit.
- Approval is granted by the ARC.

The motion was seconded by Building Official Randy Spadafora.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

### **3. Provstgaard Acres Plat B Concept Plan**

*A concept review of a 2-lot subdivision located at approximately 30 E 900 S.*

Building Official Spadafora stated that addressed have been assigned.

Fire Chief Lind had no comments.



Public Works Director indicated that utilities just need to be verified to confirm sewer laterals are in place.

Officer Shepherd had no comments.

Manager Beagley inquired if the existing buildings on the lots will still be left in place. The applicant indicated that the accessory buildings are currently being demolished.

Engineer Lundell and members of the DRC discussed where right-of-way dedications need to be surveyed and confirmed along the property lines. Engineer Lundell discussed with the applicant the city code requirements for infrastructure improvements such as curb, gutter, storm drain, and sidewalk being installed. He added that the city council may be willing to work with the applicant on a deferral agreement that would defer the improvements until a later time. Deferral agreements are required to be reviewed and approved by the City Council. The applicant and members of the DRC discussed the deferral agreement process.

As the plans were in the concept phase, no action was taken at the DRC Meeting.

#### **4. Silver Oaks Phase 1 Final Plan**

*A final review for Phase 1 of a 165-lot subdivision located at approximately 590 W. Main Street.*

Derek Terry and AJ DelPivo attended the meeting.

Engineer Lundell addressed multiple comments that need to be addressed on the plan set. He recommended that the Final Plans be tabled so that redlines can be addressed by the applicant.

Building Official Spadafora indicated that he is working on addressing. He informed the applicant that a street name needs to be added to the southern roadway near lots 1 through 11. Addressing can be completed after a street name is provided.

Fire Chief Lind had no comments.

Public Works Director Callaway addressed the discrepancy between irrigation line sizes on the plans. He added that those irrigation lines will need to meet city standards and be approved by the irrigation company. Director Callaway inquired if master culinary water meters are required on the lots. Engineer Lundell pointed out on the plans where meters and laterals are placed. Manager Beagley discussed recent meetings with the Summit Creek Irrigation Company at which time concerns with pipeline sizing in the area were addressed. Both Manager Beagley and Engineer Lundell stated that the applicant will need to provide written approval from the irrigation company to the city verifying and approving pipe sizes in the development.

Officer Shepherd pointed out the intersection at 200 N and 500 W is missing a stop sign.

Assistant Manager Bond discussed where parking will need to be located for the pickleball court amenities. Manager Beagley recommended that parking spaces be added for functionality and feasibility.



near the amenities be added early on in the development. Members of the DRC and the applicant discussed access to the development during the phasing process. Manager Beagley asked that the applicant include the red curbing plan with the final plans as it has been addressed in the preliminary plan set. He added that the final plan sets need to be conclusive of all plan sets.

Manager Beagley made a motion to table the Silver Oaks Phase 1 Final Plan. Director Callaway seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

#### **5. Santaquin Peaks Subdivision Final Plan**

*A final review for a 17-lot industrial subdivision located at approximately 225 N. Summit Ridge Parkway.*

Building Official Spadafora had no comments.

Fire Chief Lind asked that sufficient turnarounds be provided at the south end of the subdivision. Manager Beagley added that turnarounds will be added to all street ends.

Director Callaway pointed out that combo signs will need to be added to the intersections to include addressing and stop signs.

Officer Shepherd inquired if stop signs will be 4-way stops or if they will just be north and south to help with traffic flow. Officer Shepherd suggested that traffic flow onto Summit Ridge Parkway would be better if there weren't east and west stop signs in the subdivision. Officer Shepherd also asked if Summit Ridge Parkway will be red curbed or how parking will be addressed along Summit Ridge Parkway. The DRC discussed that signage will be added that will prohibit commercial vehicle parking on Summit Ridge Parkway.

Assistant Manager Bond pointed out where plat notes for cross access, fencing, and other items such as orientation of buildings need to be added. Members of the DRC discussed trail access and widths.

Manager Beagley made a motion to approve the Santaquin Peaks Subdivision Final Plan with the condition that redlines be addressed. Chief Lind seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes



Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

#### 6. Meeting Minutes Approval

Chief Lind made a motion to approve the DRC Meeting minutes from May 9<sup>th</sup>, 2023. Director Callaway seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

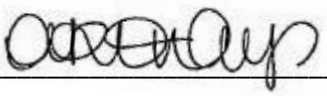
Motion passed unanimously in favor.

#### Adjournment

The meeting was adjourned at 10:24 a.m.

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Jon Lundell, Engineer



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Amalie R. Ottley, Recorder