



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, February 27, 2024, at 10:00 AM  
Council Chambers at City Hall Building and Online  
110 S. Center Street, Santaquin, UT 84655

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. Scenic Ridge Estates Minor Change Review**

A review of a minor change in the Scenic Ridge Estates subdivision located at approximately 430 S. 1200 E.

**2. Apple Hollow at The Orchards B-1 & B-2 Final Plan**

A final review of a 2-lot single-family and 8 townhome subdivision located at approximately 215 W. and 930 N.

**3. Apple Hollow at The Orchards B-3 & B-4 Final Plan**


A final review of a 7-lot single-family and 21 townhome subdivision located at approximately 130 W. and 930 N.

### ADJOURNMENT

### CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at [www.santaquin.org](http://www.santaquin.org), in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

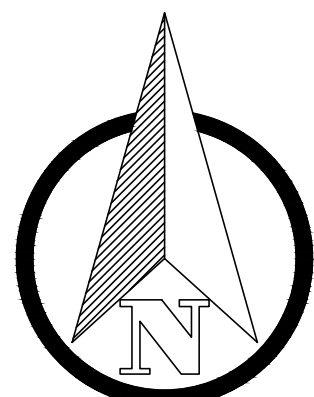
BY:

  
\_\_\_\_\_  
Amalie R. Ottley, City Recorder

# SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1

LOCATED IN THE:  
SOUTHWEST QUARTER OF SECTION 6,  
TOWNSHIP 10 SOUTH, RANGE 2 EAST  
SALT LAKE BASE AND MERIDIAN,  
SANTAQUIN CITY, UTAH COUNTY, UTAH

FOUND 3" UTAH COUNTY  
BRASS CAP MONUMENT  
CENTER OF SECTION 6,  
T10S, R2E, SLB&M



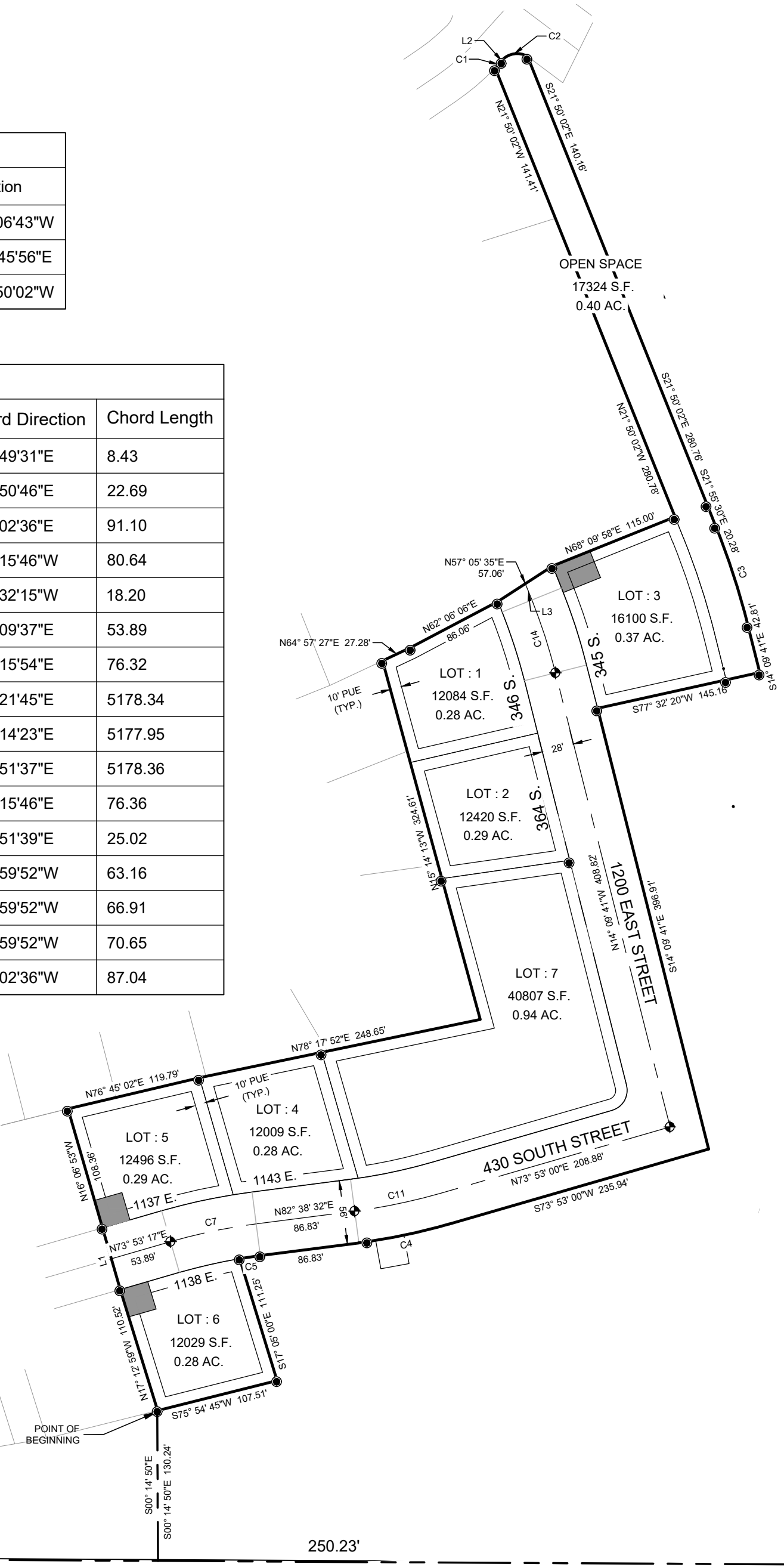
0 1" = 100' 1"

### GENERAL PLAT NOTES

- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E) IS CREATED ALONG THE FRONT OF EACH LOT AND 5.00 FOOT ALONG THE REAR AND INTERIOR SIDE YARD. PER THIS PLAT, EACH LOT ALONG A STREET REQUIRES A 10.00 FOOT WIDE FRONT AND SIDE YARD PUBLIC UTILITY EASEMENT. (SEE SHEET 2)
- THE SUBDIVISION BOUNDARY WAS ESTABLISHED FROM A COMPLETED RECORD OF SURVEY BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE.
- ZONING: R-12 SETBACKS (BUILDABLE AREA) PER CODE 10.20.090: DETACHED SINGLE-FAMILY DEVELOPMENT STANDARDS: (SEE SHEET 2)
- FRONT YARD- FRONT SETBACKS TO THE LIVING AREA FROM ALL STREET FRONTING PROPERTY LINES: 30.0 SIDE YARD - 10.0 FEET (25.0 FEET STREET SIDE YARD)  
REAR YARD - 25.0 FEET. (SEE SHEET 2)
- AT THE TIME THAT THIS PLAT WAS PREPARED, THE PROPERTY OWNER WAS BYRON BASTIAN AND NEIL J. CRAIG, PER WARRANTY DEED, ENTRY NUMBER 35070.2021, AS RECORDED IN THE UTAH COUNTY RECORDER'S OFFICE, UTAH COUNTY PARCEL NUMBERS 32-040-0042, 32-040-0045 AND 32-040-0047.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

Line #	Length	Direction
L1	56.00	N16°06'43"W
L2	0.27	N41°45'56"E
L3	15.35	N21°50'02"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	8.43	1763.98	0°16'26"	N42°49'31"E	8.43
C2	24.55	18.00	78°09'09"	N80°50'46"E	22.69
C3	91.17	672.82	7°45'49"	S18°02'36"E	91.10
C4	80.72	528.00	8°45'33"	S78°15'46"W	80.64
C5	18.20	472.00	2°12'34"	S81°32'15"W	18.20
C6	53.92	472.00	6°32'41"	N77°09'37"E	53.89
C7	76.40	500.00	8°45'16"	N78°15'46"E	76.32
C8	64.04	528.00	6°56'56"	N77°21'45"E	5178.34
C9	6.63	472.00	0°48'18"	N82°14'23"E	5177.95
C10	65.53	472.00	7°57'15"	N77°51'37"E	5178.36
C11	76.44	500.00	8°45'33"	N78°15'46"E	76.36
C12	27.66	18.00	88°02'41"	N29°51'39"E	25.02
C13	63.21	472.00	7°40'21"	N17°59'52"W	63.16
C14	66.96	500.00	7°40'21"	N17°59'52"W	66.91
C15	70.71	528.00	7°40'21"	N17°59'52"W	70.65
C16	87.10	642.82	7°45'49"	N18°02'36"W	87.04



6 6  
6 6 (C)

S00° 00' 22" W 26895.70'

### SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, SANTAQUIN CITY, UTAH COUNTY, UTAH:  
BEGINNING AT SOUTHEAST CORNER LOT 37 OAK SUMMIT PLAT 'B' (ENTRY #11320, UTAH COUNTY RECORDER'S OFFICE) 1276.33' FEET SOUTH 89°40'47" EAST ALONG SAID QUARTER SECTION LINE AND 130.24' NORTH 00°14'50" WEST FROM THE SOUTHWEST CORNER OF SAID SECTION 6; AND RUNNING THENCE ALONG THE EASTERLY AND SOUTHERLY LINES OF SAID OAK SUMMIT PLAT 'B' THE FOLLOWING SEVEN (7) COURSES: (1) NORTH 17°12'59" WEST 110.52 FEET TO THE SOUTHERLY LINE OF 430 SOUTH STREET; (2) NORTH 16°06'43" WEST 56.00 FEET TO THE NORTHERLY LINE OF 430 SOUTH STREET; AND (3) NORTH 16°06'53" WEST 308.36 FEET TO A POINT ON THE SOUTHERLY LINE OF LOT 51; OAK SUMMIT PLAT 'C' (ENTRY #11714, UTAH COUNTY RECORDER'S OFFICE); THENCE ALONG THE SOUTHERLY AND EASTERLY LINES OF SAID OAK SUMMIT PLAT 'C' THE FOLLOWING THREE (3) COURSES: (1) NORTH 76°45'02" EAST 119.79 FEET; (2) NORTH 78°17'52" EAST 248.65 FEET; (3) NORTH 15°14'13" WEST 324.61 FEET TO A POINT ON THE SOUTHERLY LINE OF LOT 73, OAK SUMMIT PLAT 'D' (ENTRY #11715, UTAH COUNTY RECORDER'S OFFICE); THENCE ALONG THE SOUTHERLY AND EASTERLY LINES OF SAID OAK SUMMIT PLAT 'D' AND THE EASTERLY AND SOUTHERLY LINE OF OAK SUMMIT PLAT 'E' (ENTRY #12871 UTAH COUNTY RECORD'S OFFICE) THE FOLLOWING EIGHT (8) COURSES: (1) NORTH 64°57'27" EAST 27.28 FEET; (2) NORTH 62°06'06" EAST 86.06 FEET TO THE WESTERLY LINE OF 1200 EAST STREET; (3) NORTH 57°05'35" EAST 57.06 FEET TO THE EASTERLY LINE OF 1200 EAST STREET; (4) NORTH 68°09'58" EAST 115.00 FEET; AND (5) NORTH 21°50'02" WEST 422.19 FEET TO THE SOUTHERLY LINE OF 270 SOUTH STREET TO THE BEGINNING OF A 1763.98 NONTANGENT CURVE TO THE RIGHT; (6) THENCE ALONG THE ARC 8.43 FEET (CENTRAL ANGLE EQUALS 0°26'26" CHORD BEARS NORTH 42°49'31" EAST 8.43 FEET); (7) NORTH 41°45'56" EAST 0.27 FEET TO THE BEGINNING OF A TANGENT CURVE; (8) NORTHEASTERLY ALONG THE ARC OF AN 18.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 24.55 FEET (CENTRAL ANGLE EQUALS 78°09'09" AND LONG CHORD BEARS NORTH 80°50'46" EAST 22.69 FEET) TO THE WESTERLY LINE OF OAK SUMMIT DRIVE AND A POINT OF TANGENCY; THENCE SOUTH 21°50'02" EAST 420.91 FEET; THENCE SOUTH 21°55'30" EAST 20.28 FEET TO THE BEGINNING OF TANGENT CURVE; THENCE SOUTHEASTERLY ALONG THE ARC OF AN 672.82 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 91.17 FEET (CENTRAL ANGLE EQUALS 07°45'49" AND LONG CHORD BEARS SOUTH 18°02'36" EAST 91.10 FEET); THENCE SOUTH 14°09'41" EAST 42.81 FEET; THENCE SOUTH 77°32'20" WEST 145.16 FEET; THENCE SOUTH 14°09'41" EAST 396.91 FEET; THENCE SOUTH 77°53'00" WEST 235.94 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE SOUTHWESTERLY ALONG THE ARC OF AN 528.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 80.72 FEET (CENTRAL ANGLE EQUALS 08°45'33" AND LONG CHORD BEARS SOUTH 78°15'46" WEST 80.64 FEET); THENCE SOUTH 82°38'32" WEST 86.83 FEET TO THE BEGINNING OF A TANGENT CURVE; THENCE SOUTHEASTERLY ALONG THE ARC OF AN 472.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 18.20 FEET (CENTRAL ANGLE EQUALS 02°12'34" AND LONG CHORD BEARS SOUTH 81°32'15" WEST 18.20 FEET); THENCE SOUTH 17°05'00" EAST 111.25 FEET; THENCE SOUTH 75°54'45" WEST 107.51 FEET TO THE POINT OF BEGINNING.

12 7  
12 7

FOUND 3" UTAH COUNTY  
BRASS CAP MONUMENT  
SW COR SECTION 6,  
T10S, R2E, SLB&M

PER RECORD OF SURVEY  
(ENTRY #07-4213)

FOUND 3" UTAH COUNTY  
BRASS CAP MONUMENT  
S 1/4 COR SECTION 6,  
T10S, R2E, SLB&M

CONTAINS 190,973 SQ. FT. OR 4.38 ACRES, +/-

**OWNER'S DEDICATION AND CONSENT TO RECORD**

KNOWN ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNERS OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS SCENIC RIDGE SUBDIVISION - PHASE 1, DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

AS WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
BYRON BASTIAN - OWNER

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
NEIL J. CRAIG - OWNER

**ACKNOWLEDGMENT**

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY \_\_\_\_\_ WHO REPRESENTED THAT (S)HE IS THE OWNER(S) OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

PRINTED NAME OF NOTARY PUBLIC \_\_\_\_\_

RESIDING IN \_\_\_\_\_, UTAH

STATE OF UTAH } S.S.  
COUNTY OF \_\_\_\_\_ }

MY COMMISSION EXPIRES: \_\_\_\_\_

MY COMMISSION NUMBER: \_\_\_\_\_ (NOTARY STAMP)

**ACKNOWLEDGMENT**

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY \_\_\_\_\_ WHO REPRESENTED THAT (S)HE IS THE OWNER(S) OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

PRINTED NAME OF NOTARY PUBLIC \_\_\_\_\_

RESIDING IN \_\_\_\_\_, UTAH

STATE OF UTAH } S.S.  
COUNTY OF \_\_\_\_\_ }

MY COMMISSION EXPIRES: \_\_\_\_\_

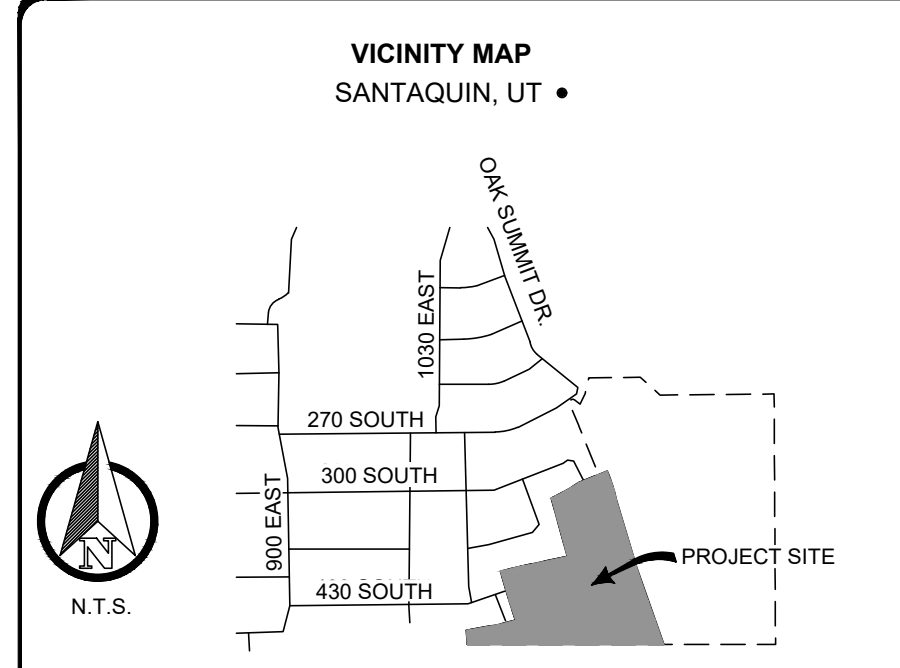
MY COMMISSION NUMBER: \_\_\_\_\_ (NOTARY STAMP)

**SURVEYOR'S CERTIFICATE**

I, TRAVIS R. GOWER, EMPLOYED BY RIMROCK ENGINEERING AND DEVELOPMENT, CONTACT NUMBER, 801-837-0633, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS LICENSING ACT AND THAT I HOLD CERTIFICATE NUMBER 6438364 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND BY THE AUTHORITY OF THE OWNER(S). I HAVE REVIEWED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, IN OCTOBER 2021, IN ACCORDANCE WITH A RECORD OF SURVEY PREPARED BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS, HEREAFTER TO BE KNOWN AS: **SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1**.

TRAVIS R. GOWER  
P.L.S. 6438364

DATE \_\_\_\_\_



**PROPERTY OWNER/DEVELOPER**  
BASTIAN HOMES, LLC  
1184 S. 1150 W.  
PAYSON, UTAH, 84651

**LEGEND**

SECTION CORNER (FOUND)

BOUNDARY LINE

PARCEL LINE

SET MONUMENT (AS NOTED)

FOUNDATION

CHAIN LINK FENCE

WIRE FENCE

EDGE OF ASPHALT

**SCENIC RIDGE ESTATES SUBDIVISION**  
**PHASE 1**  
SW 1/4 OF SEC 6, T10S, R2E, SLB&M  
SANTAQUIN CITY, UTAH COUNTY, UTAH

0 1" = 100' 1"	PROJECT #: RGC2213-02-01
DRAWN: AP	DATE: 02/15/2024
CHECKED: TG	SHEET NO.: 1 OF 3

**ACCEPTANCE BY LEGISLATIVE BODY**

THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_ ENGINEER (SEE SEAL) \_\_\_\_\_

ATTEST - CLERK RECORDER (SEE SEAL) \_\_\_\_\_

**CITY ENGINEER** \_\_\_\_\_ (SEAL)

**CLERK - RECORDER** \_\_\_\_\_ (SEAL)

**UTILITY APPROVAL**

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER: \_\_\_\_\_ DATE: \_\_\_\_\_

CETRAMCO: \_\_\_\_\_ DATE: \_\_\_\_\_

CENTURY LINK: \_\_\_\_\_ DATE: \_\_\_\_\_

**DOMINION ENERGY**

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DOMINION ENERGY

BY: \_\_\_\_\_

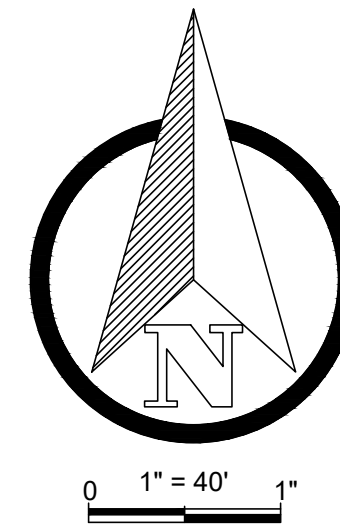
TITLE: \_\_\_\_\_





# SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1

LOCATED IN THE:  
SOUTHWEST QUARTER OF SECTION 6,  
TOWNSHIP 10 SOUTH, RANGE 2 EAST  
SALT LAKE BASE AND MERIDIAN,  
SANTAQUIN CITY, UTAH COUNTY, UTAH



OAK SUMMIT PLAT 'E'  
(ENTRY NO. 12871)

LOT 92  
STEPHEN CHERRINGTON  
48:378:0092  
823 S. OAK SUMMIT DRIVE

OAK SUMMIT PLAT 'E'  
(ENTRY NO. 12871)

Line Table		
Line #	Length	Direction
L2	0.27	N41°45'56"E

SET REBAR &  
"RIMROCK E & D" CAP  
(TYP.)

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	8.43	1763.98	0°16'26"	N42°49'31"E	8.43
C2	24.55	18.00	78°09'09"	N80°50'46"E	22.69

LOT 85  
JAY TYLER HOOP  
48:378:0085  
1212 E. 270 SOUTH

BYRON BASTIAN & NEIL J. CRAIG  
ENTRY NO. 35070:2021  
200 S. 1030 E.

OPEN SPACE  
17324 S.F.  
0.40 AC.

LOT 68  
JEFFREY R. VAN AUSDAL  
48:354:0068  
1197 E. 300 SOUTH

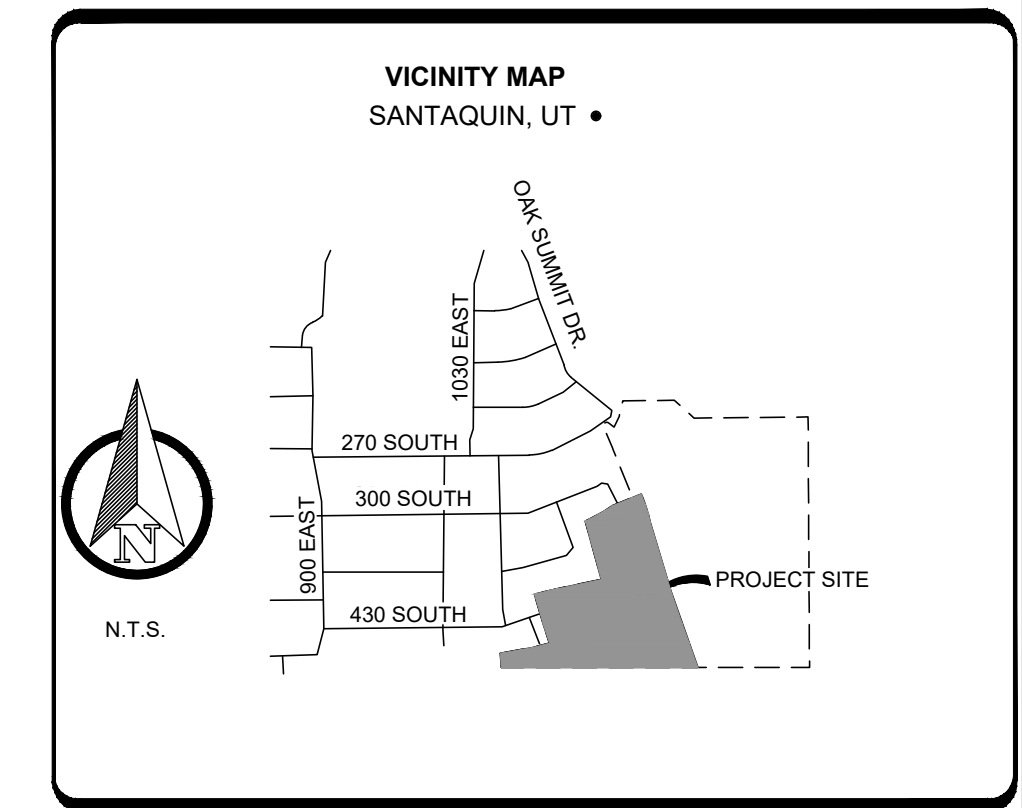
LOT 69  
GERALD L. BOWMAN  
48:354:0069  
1209 E. 300 SOUTH

LOT 70  
LACEY & STEPHEN CROOK  
48:354:0070  
309 S. 1200 EAST

OAK SUMMIT PLAT 'D'  
(ENTRY NO. 11715)

LOT 71  
LUIS BEDOLLA  
48:354:0071  
329 S. 1200 E.

LEGEND	
SECTION CORNER (FOUND)	
SECTION LINE	
BOUNDARY LINE	
PARCEL LINE	
SET MONUMENT (AS NOTED)	
FOUND MONUMENT	
CHAIN LINK FENCE	
WIRE FENCE	
EDGE OF ASPHALT	



**SCENIC RIDGE ESTATES SUBDIVISION  
PHASE 1**  
SW 1/4 OF SEC 6, T10S, R2E, SLB&M  
SANTAQUIN CITY, UTAH COUNTY, UTAH

ACCEPTANCE BY LEGISLATIVE BODY		CITY ENGINEER	CLERK - RECORDER
THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ___ DAY OF ___, 2023.			
APPROVED MAYOR OF SANTAQUIN	ENGINEER (SEE SEAL)		
ATTEST - CLERK RECORDER (SEE SEAL)			
		(SEAL)	(SEAL)

		PROJECT #: RGC2213-02-01
	DRAWN: AP	DATE: 02/15/2024
	CHECKED: TG	SHEET NO.: 3 OF 3

N:\PROJ\2020 SM PROJECT\BEAGLES NEST\DWGS\SHEETS\PHASE 1- PRELIM\20211012.DWG



# APPLE HOLLOW @ THE ORCHARDS "B"

## PHASE 1 SANTAQUIN, UTAH COUNTY, UTAH -INDEX OF PLAN SHEETS-

### GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT.
- A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, SANTAQUIN CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT OF THE ORCHARDS PLAT F-6 WITH THE COMPLETION OF ROW IMPROVEMENTS ASSOCIATED WITH ORCHARDS F-6.
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- GARAGES ON THE TOWNHOMES WILL BE 24'X24' WITH A 20' OPENING

### ROADWAY/STORM DRAIN

- ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF SANTAQUIN CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL STORM DRAIN PIPES TO BE REINFORCED CONCRETE PIPE (RCP) CLASS III, HDPE STORM DRAIN PIPE, OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CLEANOUT/ACCESS LOCATIONS MEET SANTAQUIN IRRIGATION COMPANY SPECIFICATIONS AND ARE COMPLETED UNDER THE DIRECTION OF SANTAQUIN IRRIGATION COMPANY.
- ALL IRRIGATION CORNERS (ANGLE POINTS) SHALL HAVE A PRE CAST - REINFORCED CONCRETE MANHOLE, WITH A WATERTIGHT SOLID MANHOLE COVER.
- ALL STORM DRAIN INLET BOXES TO MEET SANTAQUIN CITY STANDARD DRAWING SDI W/3' SEDIMENT TRAP.

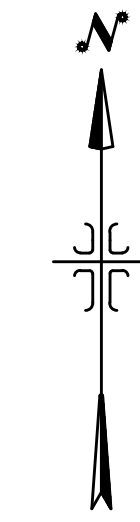
### SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SANTAQUIN CITY DESIGN STANDARDS & PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF SANTAQUIN CITY.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY SANTAQUIN CITY.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.

### WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST SANTAQUIN CITY WATER DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.
- WATERLINES TO BE BEDDED AS PER SANTAQUIN CITY DIVISION 3A SECTION 3A.04 SUB-SECTION E.
- ALL CULINARY WATERLINES, REGARDLESS OF SIZE, SHALL BE C-900 PVC PIPE AS PER SANTAQUIN CITY STANDARDS.

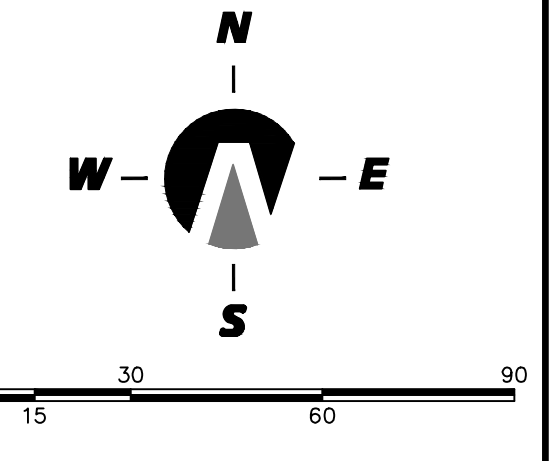
SHEET	DESCRIPTION
1	COVER SHEET FINAL PLAT B-1 FINAL PLAT B-2
SP-01	SITE PLAN/PHASING PLAN
UT-01	UTILITY LAYOUT
GR-01	GRADING & DRAINAGE
LS-01	LANDSCAPING PLAN
PP-01	PLAN & PROFILE 215 WEST
PP-02	PLAN & PROFILE GINGER GOLD ROAD
DT-01	ROW DETAILS
DT-02	DETAILS
DT-03	DETAILS





# APPLE HOLLOW AT THE ORCHARDS PLAT B-1

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN



(24"x36")  
SCALE 1" = 30'  
(11"x17")  
SCALE 1" = 60'

### SURVEYOR'S CERTIFICATE

I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

### BOUNDARY DESCRIPTION

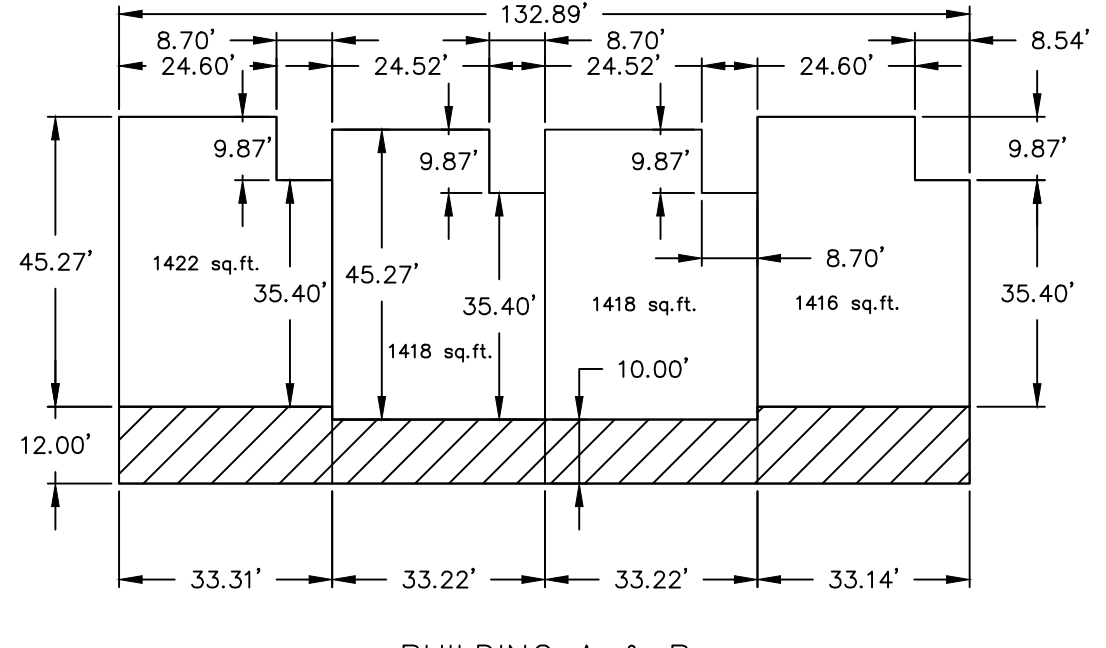
A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH. MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W. ALONG THE 1/4 SECTION LINE A DISTANCE OF 1136.31 FEET; THENCE NORTH A DISTANCE OF 553.11 FEET TO THE REAL POINT OF BEGINNING

THENCE N.33°17'00"W. A DISTANCE OF 66.50 FEET; THENCE N.30°22'22"W. A DISTANCE OF 53.14 FEET; THENCE S.56°43'00"W. A DISTANCE OF 85.13 FEET; THENCE N.33°17'00"W. ALONG THE EASTERLY LINE OF THE FOLLOWING THREE (3) RECORDED SUBDIVISION PLATS 1) THE ORCHARDS PLAT F-4; 2) THE ORCHARDS PLAT F-5; AND 3) THE ORCHARDS PLAT F-6 A DISTANCE OF 343.56 FEET TO A POINT OF CURVATURE OF A 4799.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID THE ORCHARDS PLAT F-6 THE FOLLOWING TWO (2) COURSES 1) NORTHEASTERLY ALONG THE ARC OF SAID CURVE 18.99 FEET HAVING A CENTRAL ANGLE OF 0°13'36" AND A CHORD THAT BEARS N.52°15'23"E. A DISTANCE OF 18.99 FEET; 2) THENCE N.00°19'22"E. A DISTANCE OF 89.74 FEET MORE OR LESS TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD TO A POINT OF CURVATURE OF A 4870.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 79.82 FEET HAVING A CENTRAL ANGLE OF 0°56'21" AND A CHORD THAT BEARS N.53°29'40"E. A DISTANCE OF 79.82 FEET; THENCE S.36°02'26"E. A DISTANCE OF 71.00 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 22.84 FEET HAVING A CENTRAL ANGLE OF 87°14'34" AND A CHORD THAT BEARS S.10°19'47"W. A DISTANCE OF 20.69 FEET; THENCE S.33°17'00"E. A DISTANCE OF 65.86 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 24.29 FEET HAVING A CENTRAL ANGLE OF 92°47'45" AND A CHORD THAT BEARS S.79°40'52"E. A DISTANCE OF 21.72 FEET; THENCE S.31°0'44"E. A DISTANCE OF 40.15 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 22.82 FEET HAVING A CENTRAL ANGLE OF 87°09'44" AND A CHORD THAT BEARS S.10°17'52"W. A DISTANCE OF 20.68 FEET; THENCE S.33°17'00"E. A DISTANCE OF 75.24 FEET; THENCE N.56°43'00"E. A DISTANCE OF 20.00 FEET; THENCE S.33°17'00"E. A DISTANCE OF 36.00 FEET; THENCE S.56°43'00"W. A DISTANCE OF 20.00 FEET; THENCE S.33°17'00"E. A DISTANCE OF 65.58 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S.78°17'02"E. A DISTANCE OF 21.21 FEET; THENCE S.33°17'00"E. A DISTANCE OF 51.00 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S.11°43'00"W. A DISTANCE OF 21.21 FEET; THENCE S.33°17'00"E. A DISTANCE OF 64.37 FEET MORE OR LESS TO THE NORTHERLY LINE OF THE ORCHARDS PLAT D-1 SUBDIVISION PLAT; THENCE ALONG SAID ORCHARDS PLAT D-1 BOUNDARY LINE THE FOLLOWING COURSE: THENCE S.56°55'08"W. A DISTANCE OF 55.00 FEET TO THE REAL POINT OF BEGINNING

### NOTES:

- 1) ALL LIMITED COMMON AREA & OPEN SPACE, COMMON AREAS ARE DEDICATED AS PUBLIC UTILITY EASEMENTS.
- 2) THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURE USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- 3) ALL BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO REFERENCED BEARING SHOWN ON BUILDING.
- 4) ALL HOUSE PLANS TO BE SIGNED BY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTING FOR BUILDING PERMITS.



### DOMINION ENERGY UTAH - NOTE:

Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purposes of approximating the location, boundaries, course and dimensions of the rights-of-way and easements and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department 801-366-8532

QUESTAR GAS COMPANY  
dba DOMINION ENERGY UTAH

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
By: \_\_\_\_\_  
Title: \_\_\_\_\_

### ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE ROCKY MOUNTAIN POWER COMPANY.  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE CENTRACOM COMPANY.  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

DEVELOPER  
REVERE HOMES  
JOHN CALDWELL (MANAGER)  
470 N. 2550 W.  
TREMONTON, UTAH 84337  
(801)-427-1733

### Northern ENGINEERING INC

ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON TO SANTAQUIN CITY FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY: \_\_\_\_\_

### ACKNOWLEDGMENT

STATE OF UTAH 1 s.s.  
COUNTY OF UTAH J s.s.  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ IN THE YEAR 20\_\_\_\_ BEFORE ME \_\_\_\_\_ PERSONALLY APPEARED JOHN CALDWELL, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS AN OWNER \_\_\_\_\_ [MEMBER WITH MANAGEMENT AUTHORITY] [MANAGER] OF REVERE HOMES \_\_\_\_\_ A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

### ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_  
APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

### APPLE HOLLOW AT THE ORCHARDS PLAT B-1

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN  
SANTAQUIN UTAH COUNTY, UTAH  
SCALE: 1" = 30 FEET

NOTARY PUBLIC SEAL	SURVEYOR'S SEAL KENNETH E. BARNEY No. 172762 STATE OF UTAH	CLERK-RECORDER SEAL	UTAH COUNTY RECORDER STAMP
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### LEGEND

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- LIMITED COMMON AREA
- PRIVATE AREA
- COMMON AREA (EXCLUDES PUBLIC ROADWAYS)

### CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	22.84'	15.00'	20.69'	S10°19'47"W	87°14'34"
C2	24.29'	15.00'	21.72'	S79°40'52"E	92°47'45"
C3	22.82'	15.00'	20.68'	S10°17'52"W	87°09'44"
C4	18.99'	4799.00'	18.99'	N52°15'23"E	0°13'36"
C5	23.56'	15.00'	21.21'	S11°43'00"W	90°00'00"
C6	79.82'	4870.00'	79.82'	N53°29'40"E	0°56'21"
C7	23.56'	15.00'	21.21'	S78°17'02"E	90°00'00"
C8	76.96'	4830.00'	76.96'	S53°06'48"W	0°54'46"
C9	32.83'	4830.00'	32.83'	S53°45'53"W	0°23'22"
C10	51.66'	4799.00'	51.66'	S52°40'41"W	0°37'00"
C11	24.54'	15.00'	21.89'	N80°08'43"W	93°43'27"
C13	29.29'	300.00'	29.28'	N30°29'11"W	5°35'38"
C15	29.29'	300.00'	29.28'	N30°29'11"W	5°35'38"



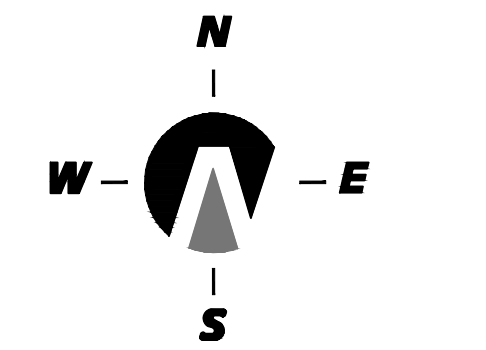
GRID FACTOR: 0.99961  
NAD 27  
STAT PLAN  
COORDINATED

NORTHING	EASTING
A 603525.85	1919958.33
B 604062.05	1918822.58
C 604117.62	1918786.10
D 604163.45	1918759.24
E 604116.75	1918688.10
F 604403.84	1918499.63
G 604415.46	1918514.64
H 604505.17	1918515.15
I 604552.63	1918579.28
J 604495.24	1918621.04
K 604474.89	1918617.33
L 604419.86	1918653.46
M 604415.97	1918674.82
N 604381.64	1918695.60
O 604361.30	1918691.90
P 604298.42	1918733.18
Q 604309.40	1918749.89
R 604279.31	1918769.64
S 604268.34	1918752.92
T 604213.54	1918788.90
U 604209.23	1918809.66
V 604166.61	1918837.64
W 604145.85	1918833.33
X 604092.06	1918868.65



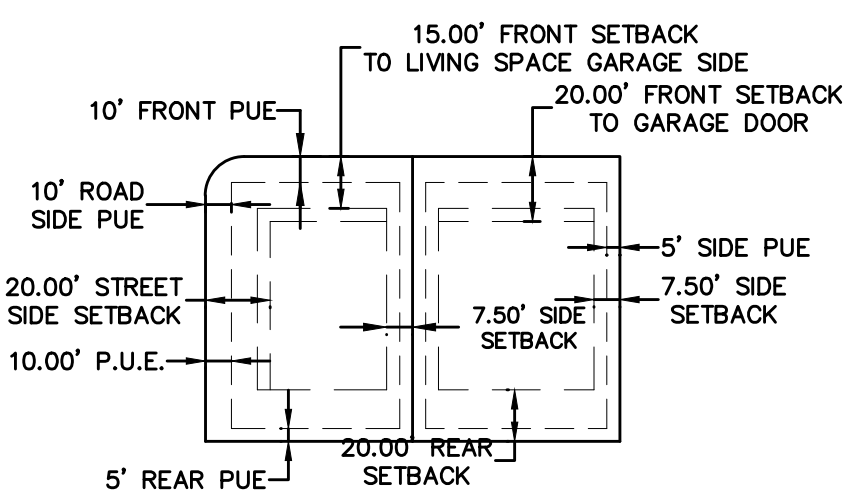
# APPLE HOLLOW AT THE ORCHARDS PLAT B-2

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN



(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'

### TYPICAL BUILDING SETBACKS & PUBLIC UTILITY EASEMENTS



GRID FACTOR: 0.99961

NAD 27 STAT PLAN COORDINATED	
NORTHING	EASTING
A 603525.85	1919958.33
B 603995.79	1918767.50
C 604416.75	1918688.10
D 604163.45	1918759.24
E 604117.62	1918786.10
F 604062.05	1918822.58
G 604040.96	1918836.32

### LEGEND

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE

### NOTES:

- ALL LIMITED COMMON AREA & OPEN SPACE AREAS ARE DEDICATED AS PUBLIC UTILITY EASEMENTS.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURE USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.



### VICINITY MAP

-NTS-

### DOMINION ENERGY UTAH - NOTE:

Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purposes of approximating the location, boundaries, course and dimensions of the rights-of-way and easement grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department 801-366-8532

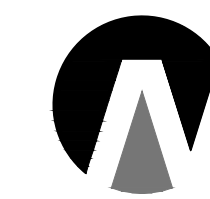
QUESTAR GAS COMPANY  
dba DOMINION ENERGY UTAH

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

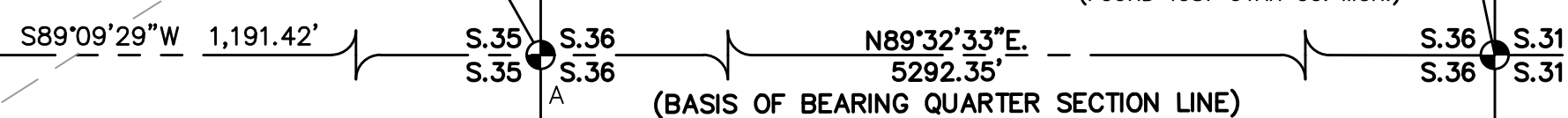
DEVELOPER  
REVERE HOMES  
JOHN CALDWELL (MANAGER)  
470 N. 2550 W.  
TREMONTON, UTAH 84337  
(801)-427-1733



**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT  
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

EAST QUARTER CORNER SECTION 35  
T. 9S., R. 1E., S1&M  
(FOUND 1952 UTAH CO. MON.)

EAST QUARTER CORNER SECTION 36  
T. 9S., R. 1E., S1&M  
(FOUND 1987 UTAH CO. MON.)



### SURVEYOR'S CERTIFICATE

I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-00085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.  
**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS:  
COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W ALONG THE 1/4 SECTION LINE A DISTANCE OF 1191.42 FEET; THENCE NORTH A DISTANCE OF 487.63 FEET TO THE REAL POINT OF BEGINNING  
THENCE N.33°17'00"W ALONG THE EASTERLY LINE OF THE FOLLOWING TWO (2) RECORDED SUBDIVISION PLATS THE ORCHARDS PLAT F-4; 2) THE ORCHARDS PLAT F-5; AND A DISTANCE OF 144.75 FEET; THENCE N.56°43'00"E A DISTANCE OF 85.14 FEET; THENCE S.30°22'22"E A DISTANCE OF 53.14 FEET; THENCE S.33°17'00"E A DISTANCE OF 66.50 FEET MORE OR LESS TO THE NORTHERLY LINE OF THE ORCHARDS PLAT D-1 SUBDIVISION PLAT; THENCE ALONG SAID ORCHARDS PLAT D-1 BOUNDARY LINE THE FOLLOWING TWO (2) COURSES: 1) THENCE S.33°04'52"E A DISTANCE OF 25.18 FEET; 2) THENCE S.56°43'00"W A DISTANCE OF 82.35 FEET TO THE REAL POINT OF BEGINNING  
CONTAINING 12,004 sq.ft. OR 0.28 acres MORE OR LESS.

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON TO SANTAQUIN CITY FOR PERPETUAL USE OF THE PUBLIC. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ BY: \_\_\_\_\_  
JOHN CALDWELL, OWNER REVERE HOMES, LLC

### ACKNOWLEDGMENT

STATE OF UTAH } s.s.  
COUNTY OF UTAH }  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED JOHN CALDWELL, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS A OWNER \_\_\_\_\_ [MEMBER WITH MANAGEMENT AUTHORITY] (MANAGER) OF REVERE HOMES \_\_\_\_\_ A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

### ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_ ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

### ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE ROCKY MOUNTAIN POWER COMPANY.  
BY \_\_\_\_\_ TITLE \_\_\_\_\_

### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE CENTRACOM COMPANY.  
BY \_\_\_\_\_ TITLE \_\_\_\_\_

### APPLE HOLLOW AT THE ORCHARDS PLAT B-2

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN  
SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH  
SCALE: 1" = 20 FEET

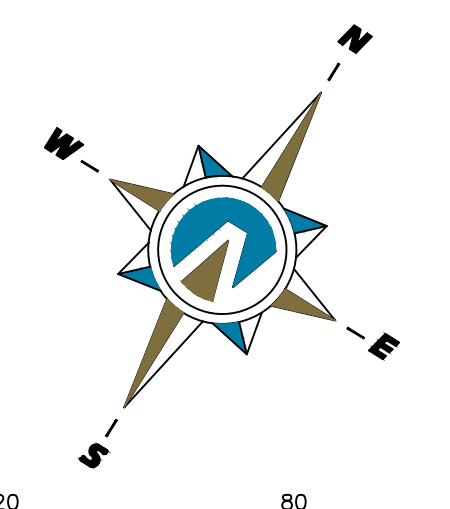
NOTARY PUBLIC SEAL SURVEYOR'S SEAL CLERK-RECORDER SEAL UTAH COUNTY RECORDER STAMP



# APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"

## SANTAQUIN, UTAH

JANUARY, 2024



5 20 40 80 120  
 (24"x36")  
 SCALE 1" = 40'  
 (11"x17")  
 SCALE 1" = 80'



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	REV. COGO FILE:		DATE:

K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 SHEET SET PHASE 1.dwg



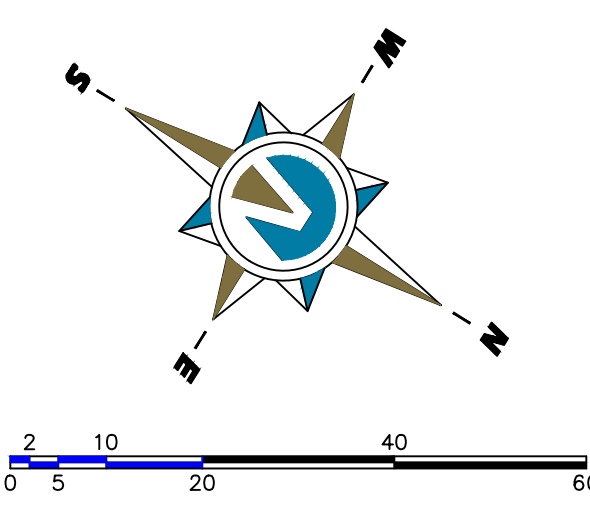
**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

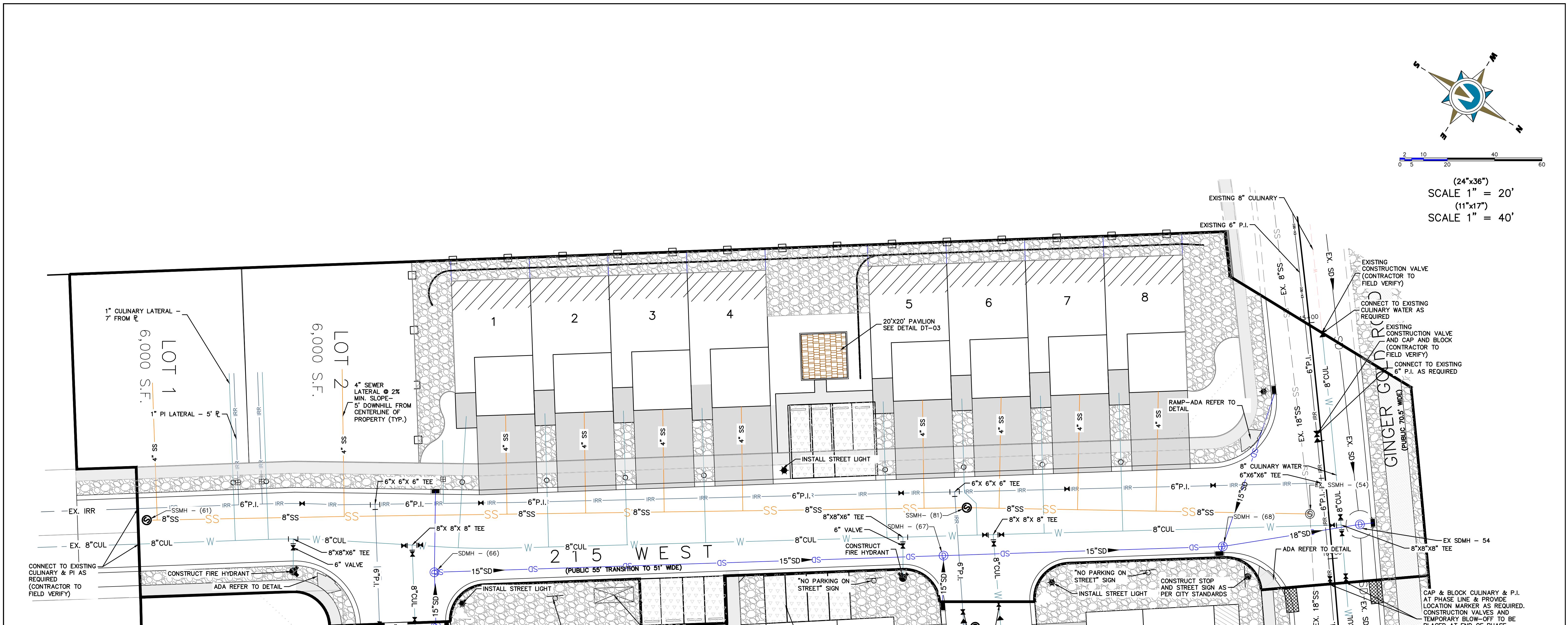
**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

SITE PLAN/PHASING PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>SP-01</b>





(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'



- NOTES:
- CONTRACTOR TO VERIFY THE LOCATION & DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - SEE DETAILS SHEET DT-02 FOR UTILITY LATERAL LOCATIONS PER SANTAQUIN CITY STANDARDS.
  - NOTE TO DEVELOPER AND GENERAL CONTRACTOR: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS, THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.
  - CULINARY AND P.I. SHALL BE CAPPED AND BLOCKED AT PHASE LINE AND PROVIDE LOCATION MARKER. CONSTRUCTION VALVES TO BE PLACED AT END OF PHASE PAVEMENT IMPROVEMENTS, PROVIDE AIR VAC VALVE AS PER CITY STANDARDS. SEWER TO BE STUBBED AT PHASE, STORM DRAIN TO BE CONNECTED TO EXISTING SYSTEM, TEMPORARY TURNAROUND TO BE INSTALLED AS PER CITY STANDARDS.
  - ALL RECOMMENDATIONS MADE IN PERTINENT GEOTECHNICAL REPORT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  - EXISTING UNDERGROUND STORM DRAIN INFILTRATION GALLERY TO REMAIN IN-PLACE & NOT BE DAMAGED DURING CONSTRUCTION.
  - PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.
  - SIDEWALK, TRAIL, & LANDSCAPING WILL BE INSTALLED BY DEVELOPER'S & CONTRACTOR.

- NOTES TO CONTRACTOR:
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & CUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

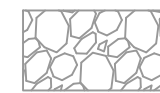







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**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

SITE UTILITY PLAN— PHASE A	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>UT-01</b>

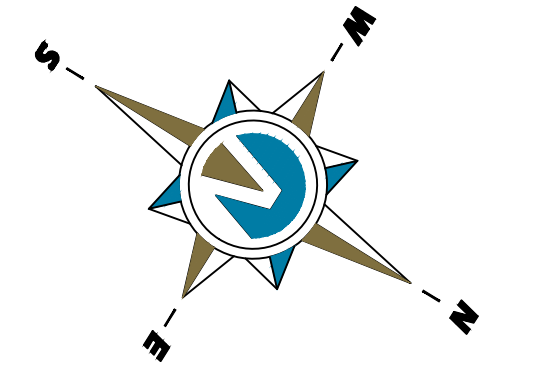


**LANDSCAPING LEGEND:**

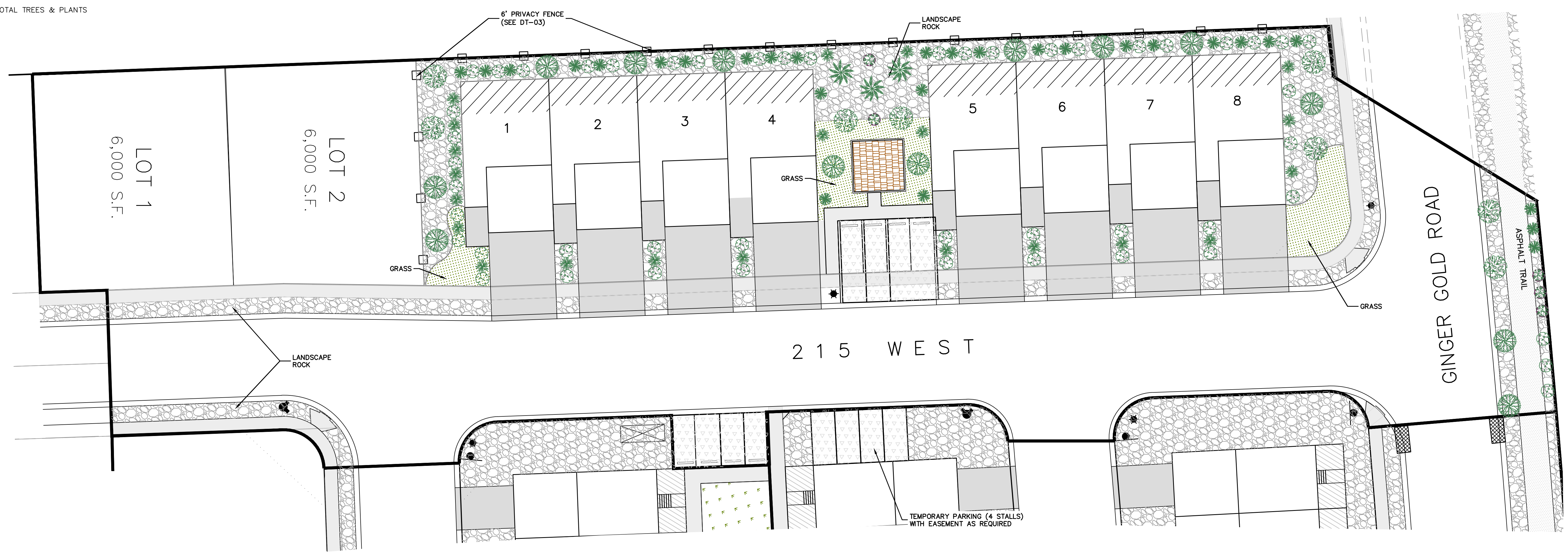
-  LANDSCAPE ROCK: TWO TO FOUR INCH (2" TO 4") DECORATIVE COBBLE ROCK. A SAMPLE OF THE PROPOSED MATERIAL MUST BE SUBMITTED TO AND APPROVED BY SANTAQUIN CITY PRIOR TO PLACING. COBBLE ROCK MULCH SHALL BE INSTALLED TO AN AVERAGE DEPTH OF FOUR INCHES (4") AND SHALL COMPLETELY COVER ALL PLANTER STRIP AREA. PRIOR TO INSTALLATION OF COBBLE ROCK, MULCH, A MIRAFI 600 (OR APPROVED EQUIVALENT) FABRIC MUST BE APPLIED TO THE PLANTER STRIP AREA.
  - 21±  HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS, 1-GAL.
  - 28±  CALAMAGROSTIS X ACUTIFLORA FOERSTER / FEATHER REED GRASS, 1-GAL.
  - 5±  EUONYMUS ALATUS COMPACTUS / COMPACT BURNING BUSH, 5-GAL.
  - 49±  RHAMNUS FRANGULA COLUMNARIS / ALDER BUCKTHORN, 5-GAL.
  - 13±  TILA AMERICAN REDMUND / REDMUND AMERICAN LINDEN, 2" - 2.5" CAL.
  - 8±  ACER FREEMAN / AUTUMN BLAZE MAPLE, 2" - 2.5" CAL.
  - 3±  PICEA PUNGENS / COLORADO "BLUE" SPRUCE, 2" - 2.5" CAL. (6' MIN HEIGHT)
- 127 = TOTAL TREES & PLANTS

**NOTES:**

1. STANDARD PLANTING PLAN FOR PLANTER AREAS ALONG GINGER GOLD ROAD. CONTRACTOR TO GET CITY APPROVAL PRIOR TO INSTALLATION.
2. ALL LANDSCAPING TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS AND MEET THE CONDITIONS OF THE ARCHITECTURAL REVIEW COMMITTEE.
3. IRRIGATION TO BE DESIGNED BY OTHERS AND SUBMITTED TO CITY FOR APPROVAL BEFORE INSTALLATION.
4. GROUP TREES IN CLUSTERS AND VARIETY ALTERNATING BETWEEN GROUPS OF THREE.
5. TREES SHALL NOT BE PLANTED LESS THAN 5-FT FROM CURBS OR HARD SURFACE AREAS UNLESS A ROOT BARRIER IS INSTALLED NEXT TO HARDSCAPE SURFACE.
6. CONTRACTOR TO PLANT ALL TREES AND SHRUBS ACCORDING TO SANTAQUIN CITY PLANTING STANDARDS.
7. ANY PROPOSED SUBSTITUTIONS OF PLAN SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE.
8. ALL TREES UP TO 2.5" CAL. SHALL BE DOUBLE STAKED AND ALL DECIDUOUS TREES GREATER THAN 2" CAL. AND ALL EVERGREEN TREES 6" AND TALLER SHALL BE TRIPLE STAKED OR GUYED.
9. NO PLANT MATERIAL SHALL BE PLANTED WITHIN 1-FT OF ANY WALK EDGE.
10. ALL PLANTING AREAS INCLUDING TREE AND SHRUB AREAS TO RECEIVE COMMERCIAL GRADE WEED BARRIER.
11. NO SOD GRASS IN PLANTER STRIP
12. 35% MAXIMUM SOD-GRASS ALLOWED IN FRONT OR SIDE YARD AS REQUIRED.
13. AIR CONDITIONING UNIT SCREENING IS REQUIRED.



(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'



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ENGINEERING—LAND PLANNING  
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1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

LANDSCAPE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>LS-01</b>

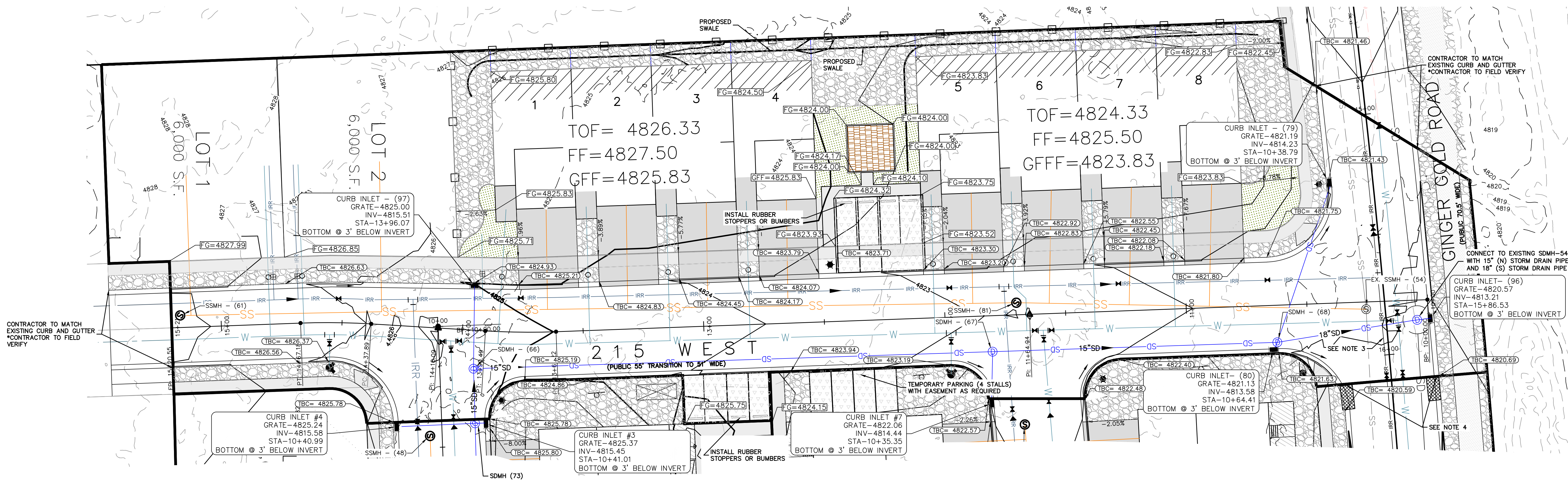


NOTES:

- NOTE TO DEVELOPER AND GENERAL CONTRACTOR: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS, THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.
- ALL RECOMMENDATIONS MADE IN PERTINENT GEOTECHNICAL REPORT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- INSTALL P.I. DRAIN TO CONNECT TO SDMH AS SHOWN AS PER CITY STANDARDS.
- PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.



(24"x36")  
 SCALE 1" = 20'  
 (11"x17")  
 SCALE 1" = 40'



**LEGEND:**  
 TOF= TOP OF FOUNDATION  
 FF=FINISHED FLOOR  
 GFF=GARAGE FINISHED FLOOR  
 BFF= BASEMENT FINISHED FLOOR

- NOTES TO CONTRACTOR:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**NOTES:**  
 1) 2% MAX GRADE FOR ALL ADA PARKING SPACES AND ACCESS AISLE.

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K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 SHEET SET PHASE 1.dwg			

**Northern ENGINEERING INC**  
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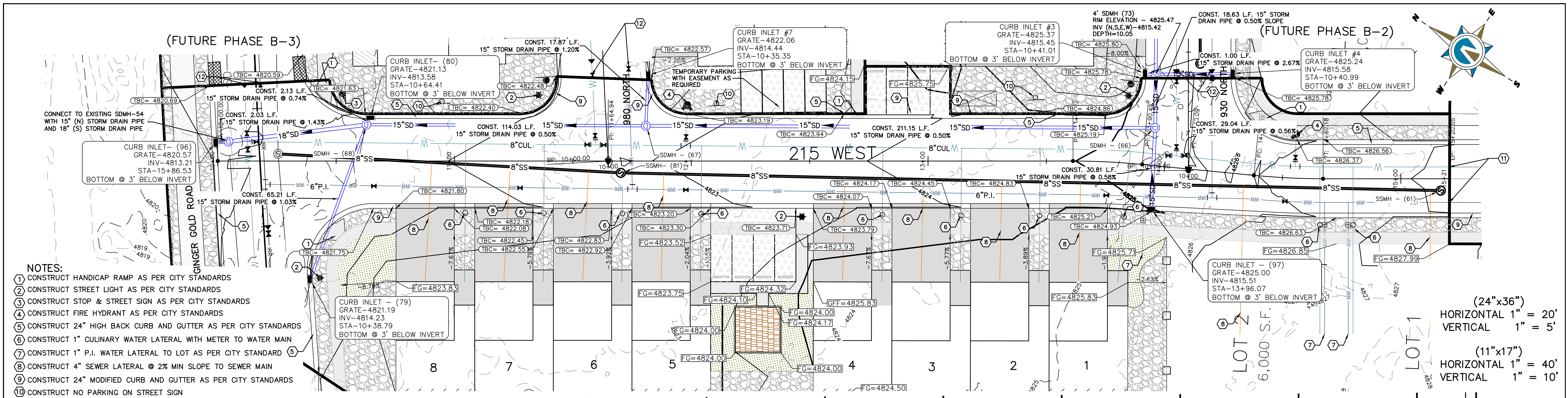
1040 E. 800 N.  
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 (801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

SITE GRADING AND DRAINAGE PLAN  
 SANTAQUIN, UTAH

JOB NO. 3-20-031  
 SHEET NO. GR-01





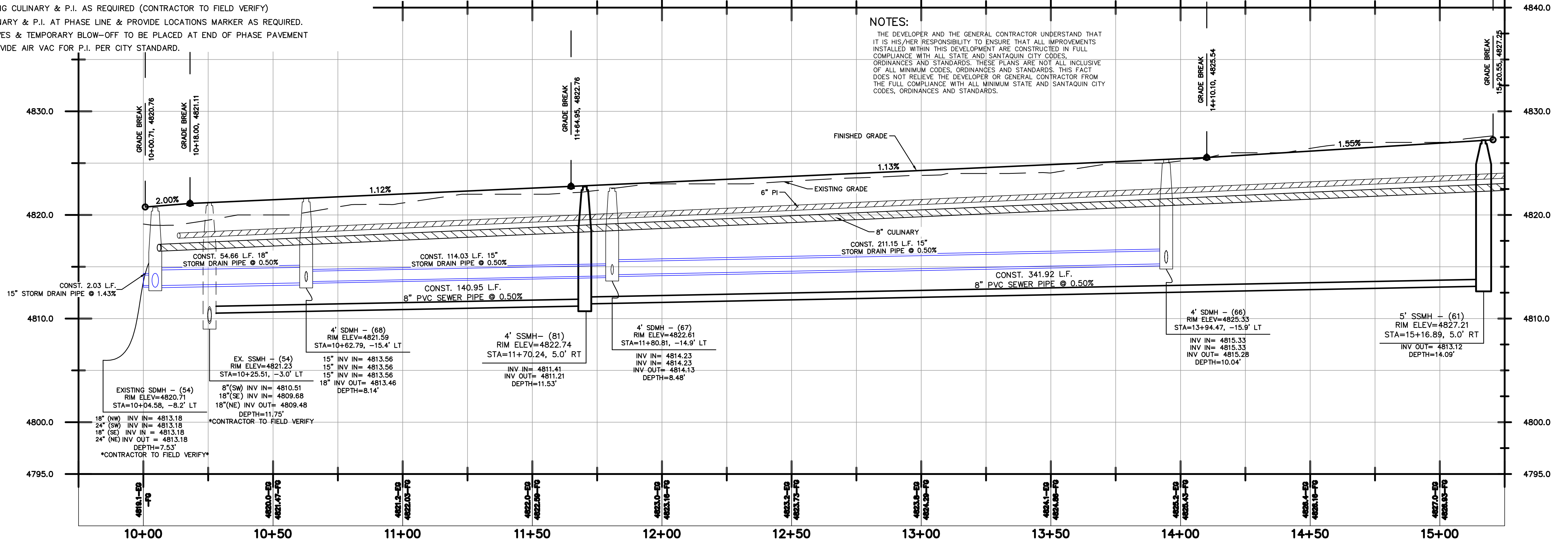
- NOTES:**
- 1) CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - 2) CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - 3) CONSTRUCT STOP & STREET SIGN AS PER CITY STANDARDS
  - 4) CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - 5) CONSTRUCT 24" HIGH BACK CURB AND GUTTER AS PER CITY STANDARDS
  - 6) CONSTRUCT 1" CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - 7) CONSTRUCT 1" P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - 8) CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN
  - 9) CONSTRUCT 24" MODIFIED CURB AND GUTTER AS PER CITY STANDARDS
  - 10) CONSTRUCT NO PARKING ON STREET SIGN
  - 11) CONNECT TO EXISTING CULINARY & P.I. AS REQUIRED (CONTRACTOR TO FIELD VERIFY)
  - 12) CAP & BLOCK CULINARY & P.I. AT PHASE LINE & PROVIDE LOCATIONS MARKER AS REQUIRED. CONSTRUCTION VALVES & TEMPORARY BLOW-OFF TO BE PLACED AT END OF PHASE PAVEMENT IMPROVEMENTS. PROVIDE AIR VAC FOR P.I. PER CITY STANDARD.

(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'

**NOTES:**

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CONSTRUCTION MANAGEMENT

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**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

215 WEST PLAN & PROFILE  
SANTAQUIN, UTAH

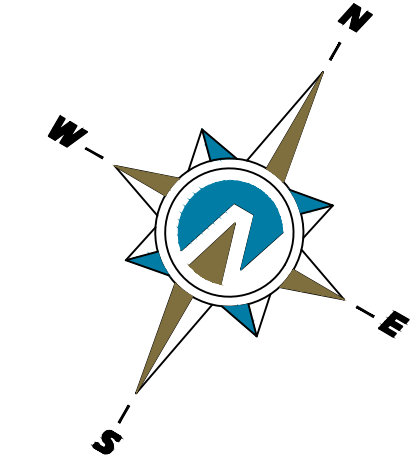
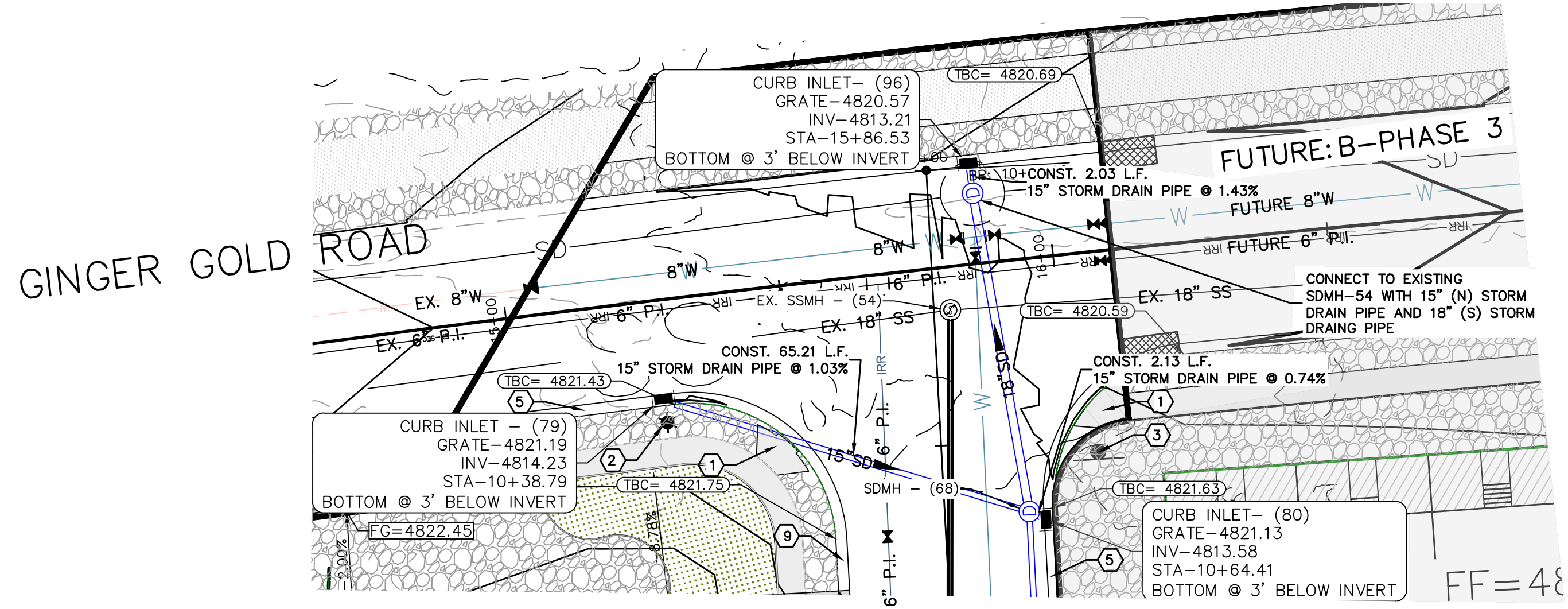
JOB NO. 3-20-031  
SHEET NO. PP-01



- NOTES:**
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STOP & STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" HIGH BACK CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT 1" CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT 1" P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN
  - ⑨ CONSTRUCT 24" MODIFIED CURB AND GUTTER AS PER CITY STANDARDS

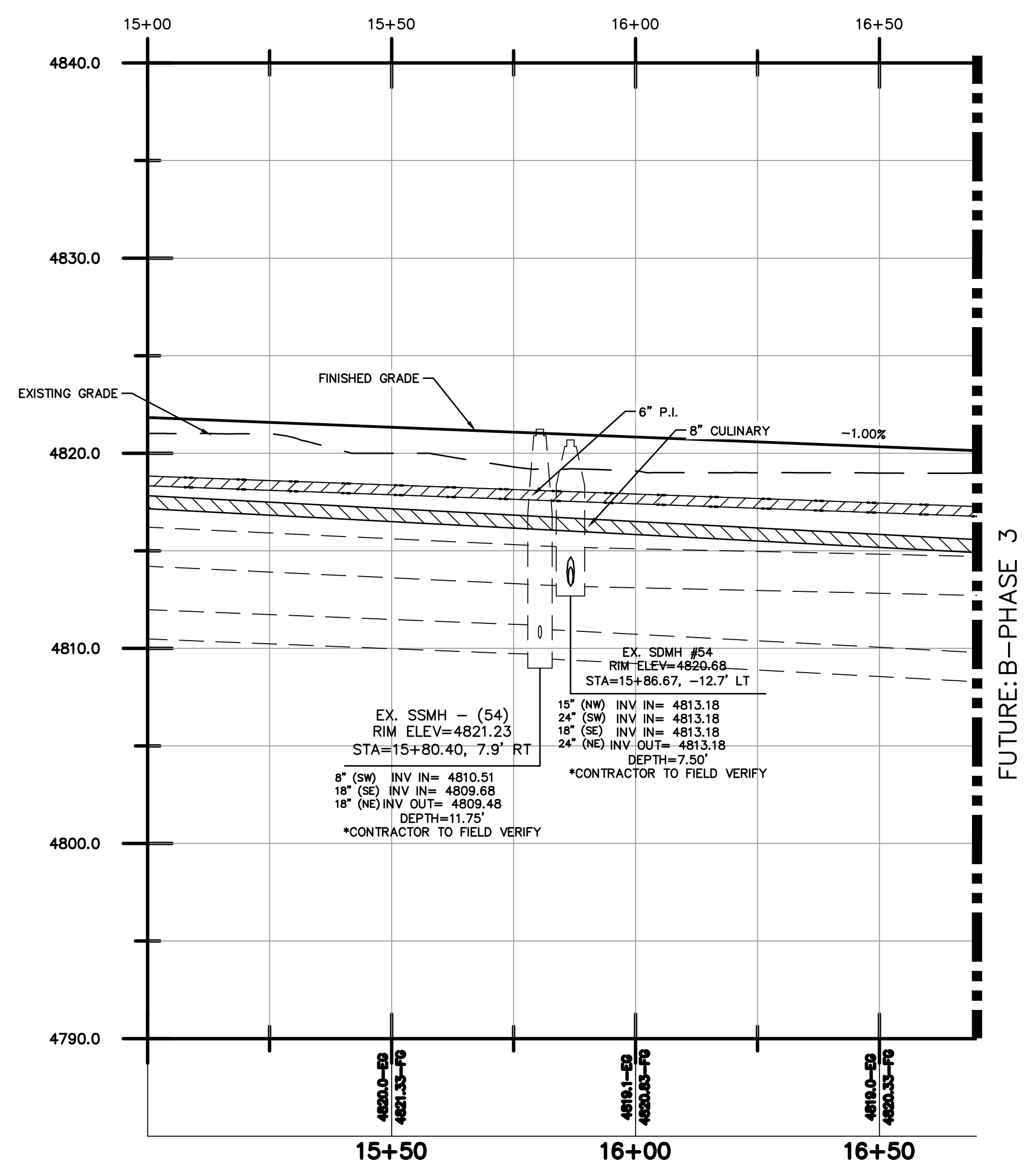
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 HORIZONTAL 1" = 20'  
 VERTICAL 1" = 5'

(11"x17")  
 HORIZONTAL 1" = 40'  
 VERTICAL 1" = 10'



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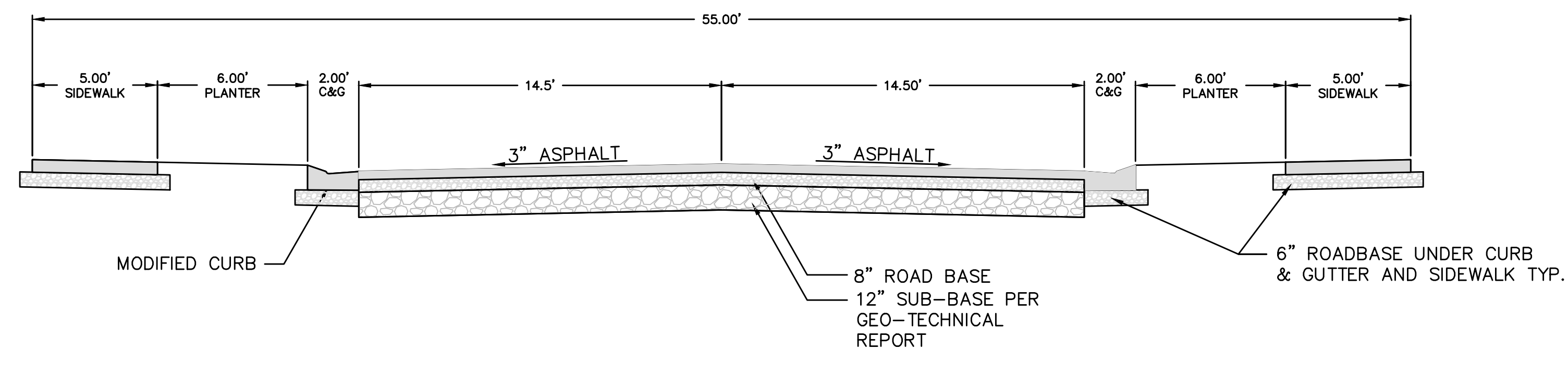
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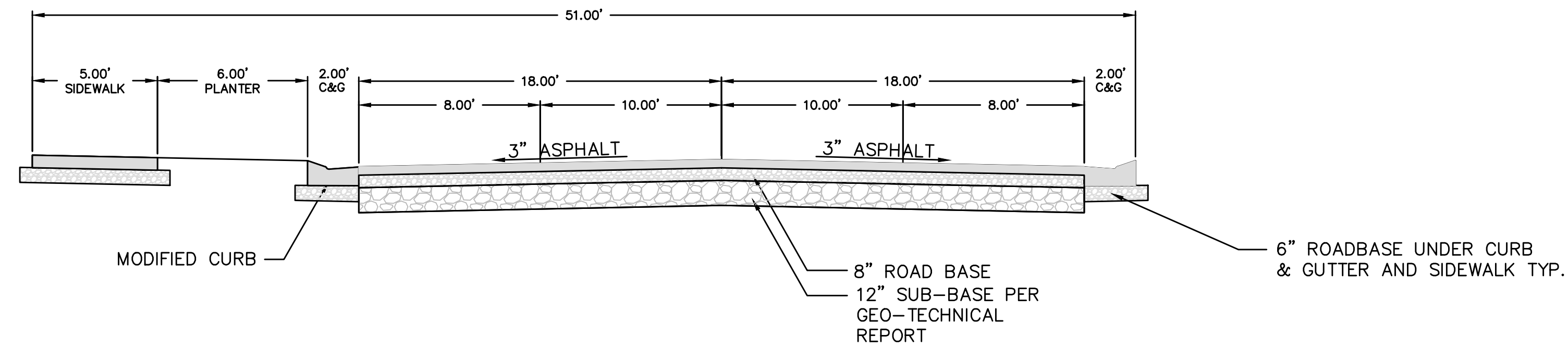
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**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

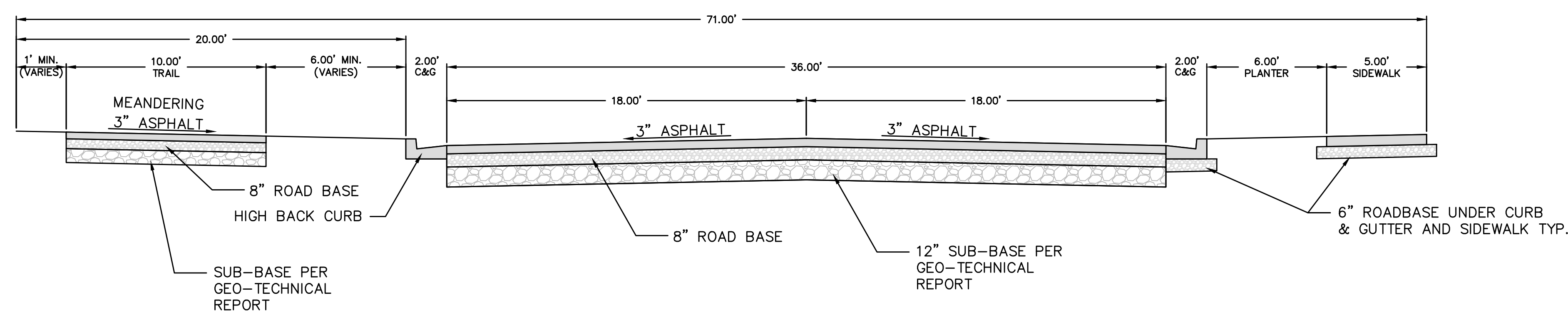
STORM DRAIN PLAN & PROFILE	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>PP-02</b>



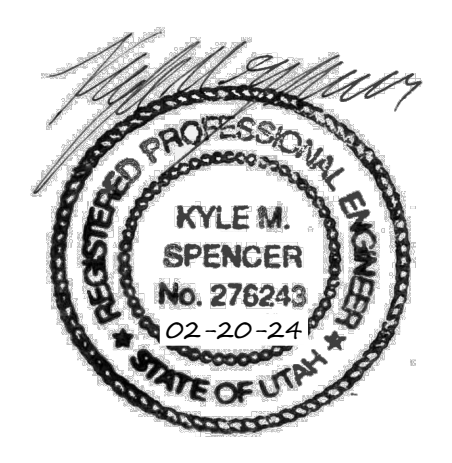
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215 WEST STREET  
-NTS-  
STA: 13+92.07 - 15+02.52



51.00' STANDARD STREET CROSS SECTION  
215 WEST STREET  
-NTS-  
STA: 10+00.00 - 13+92.07



71.00' STANDARD STREET CROSS SECTION  
GINGER GOLD ROAD  
-NTS-



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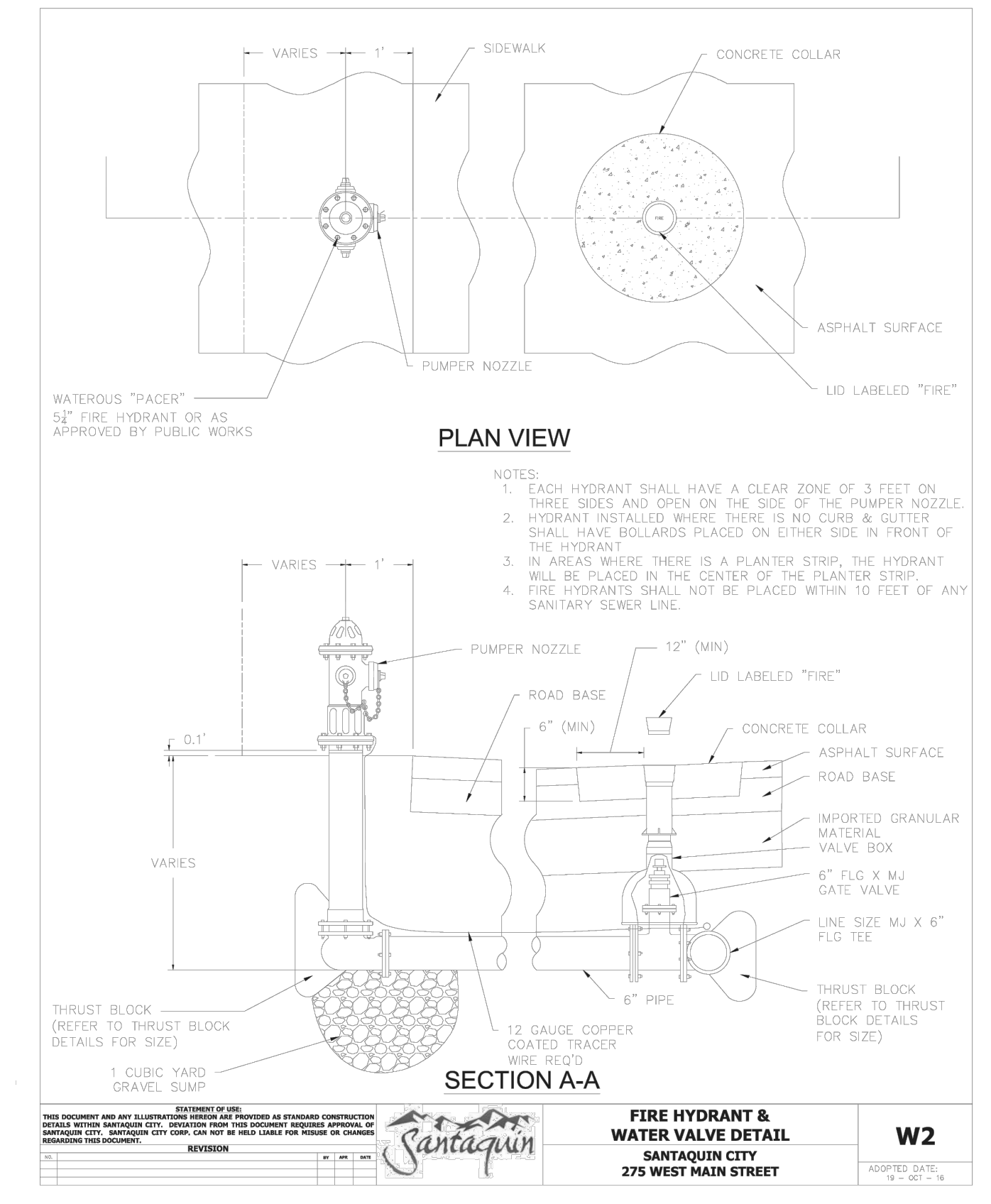
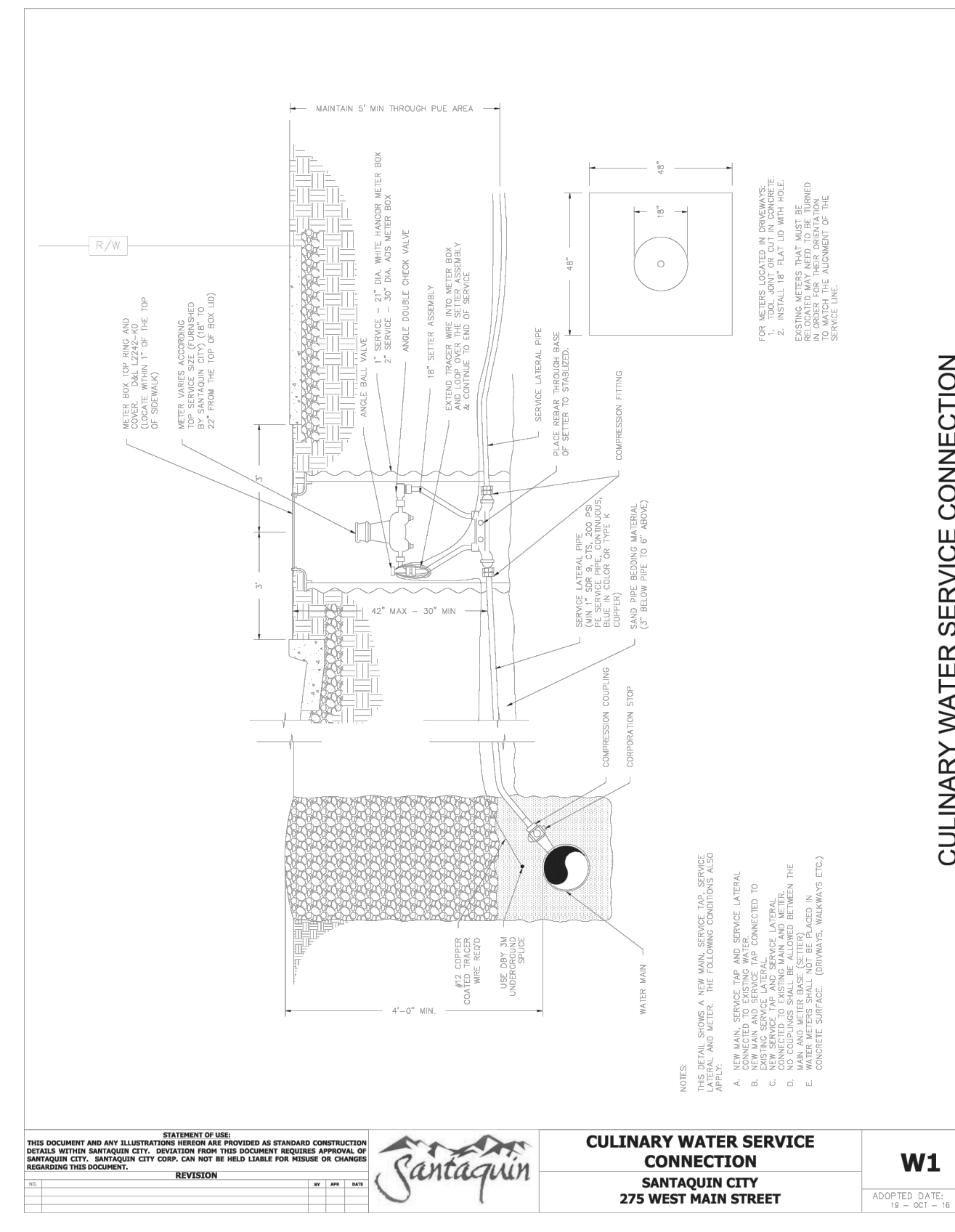
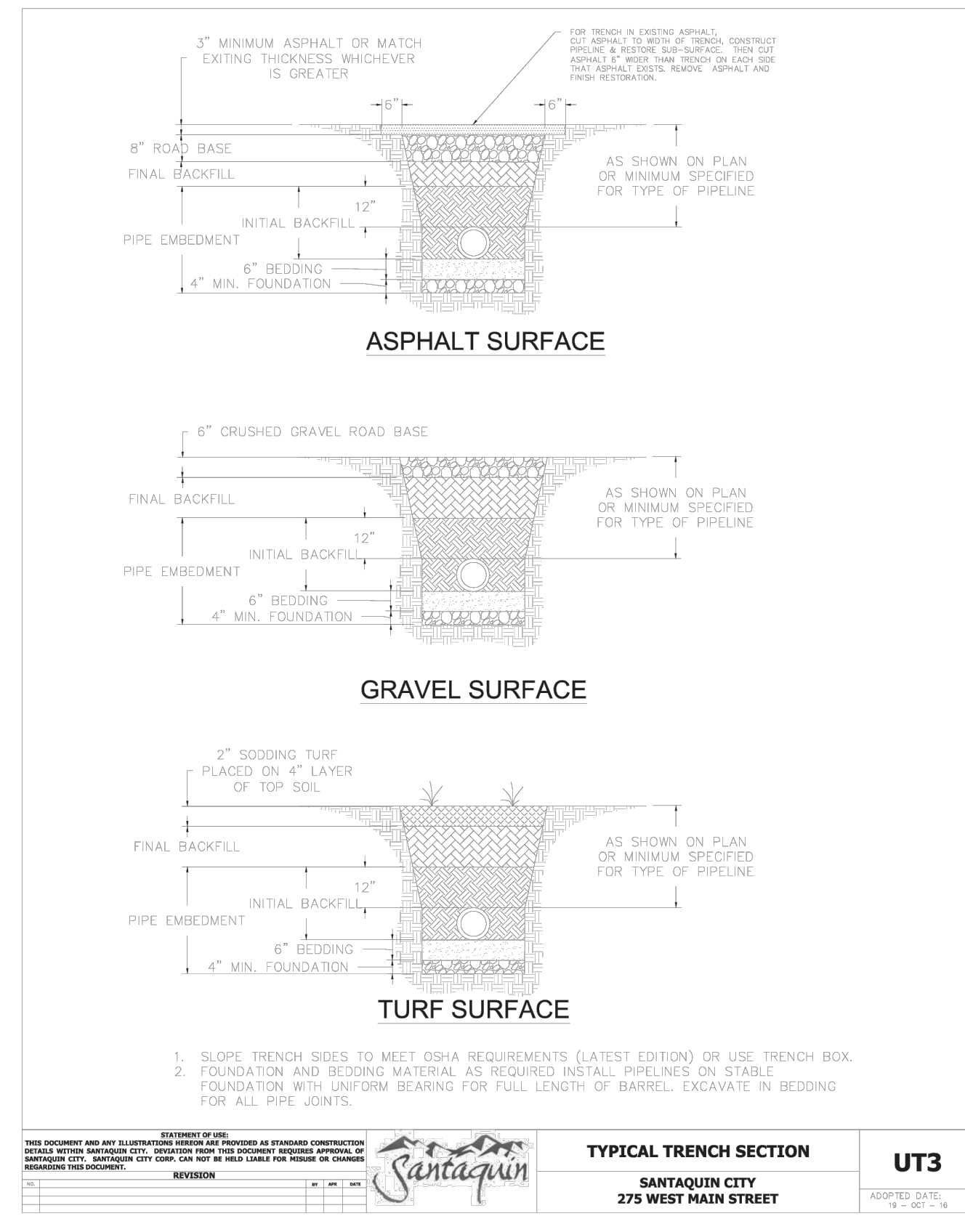
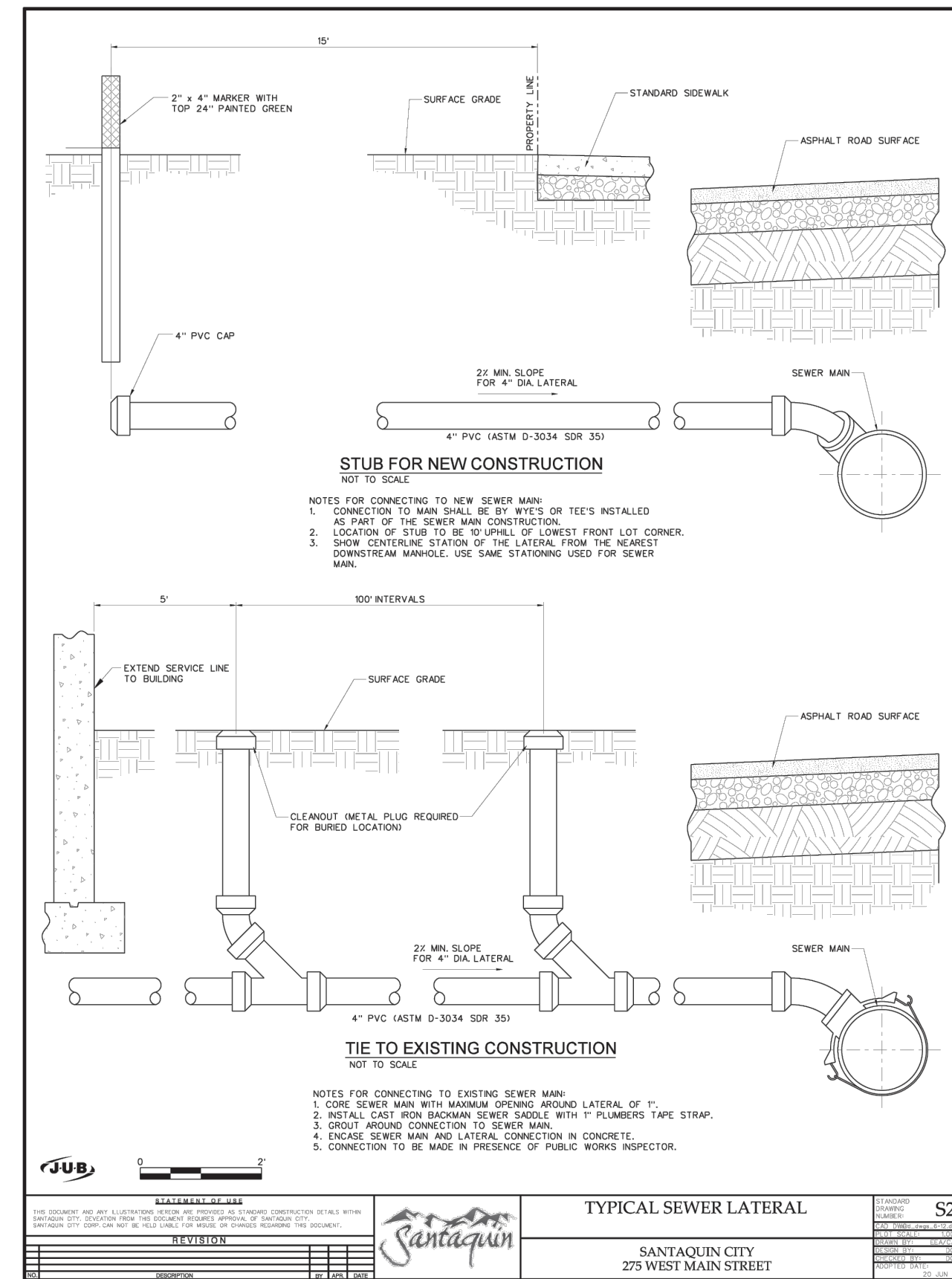
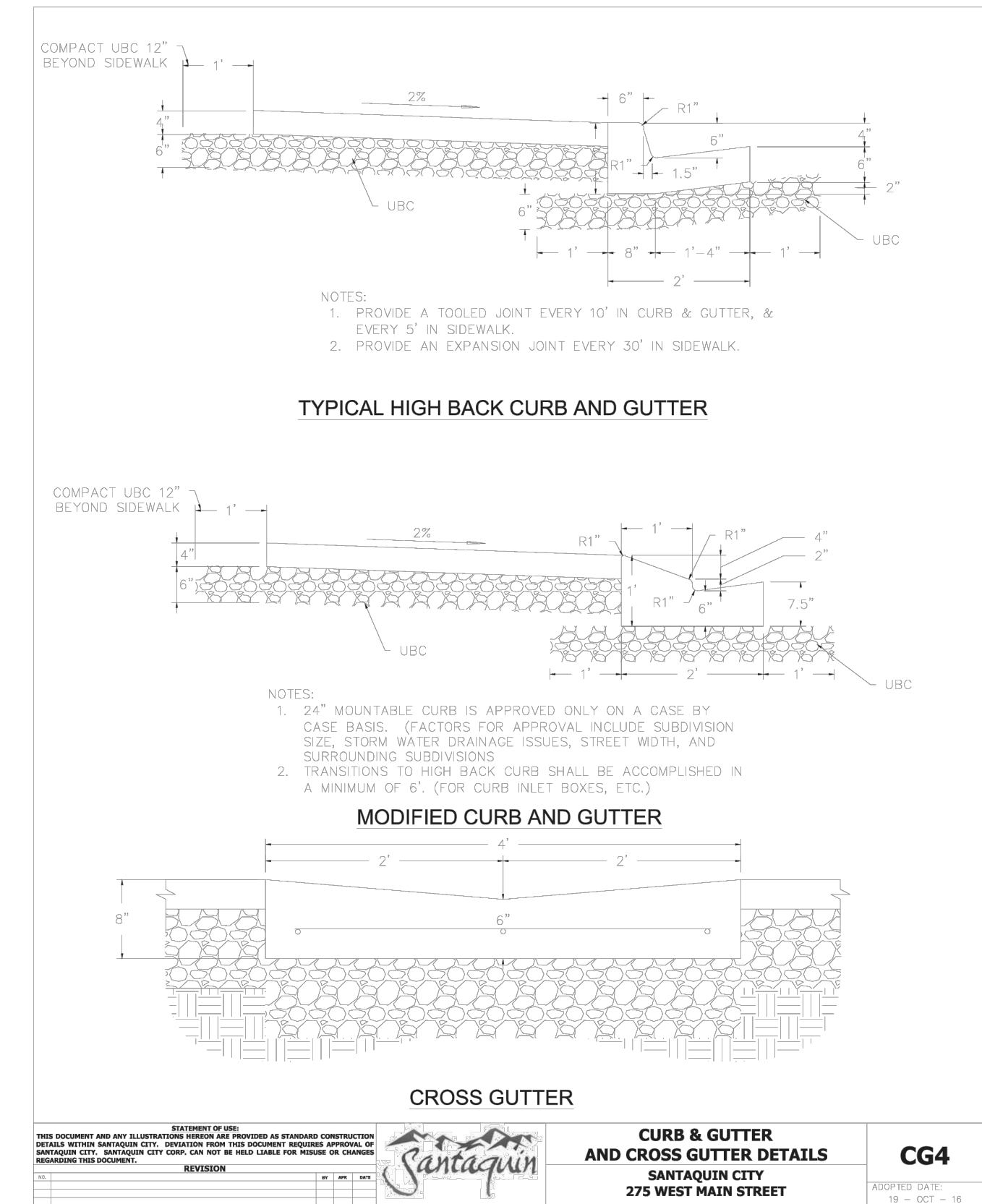
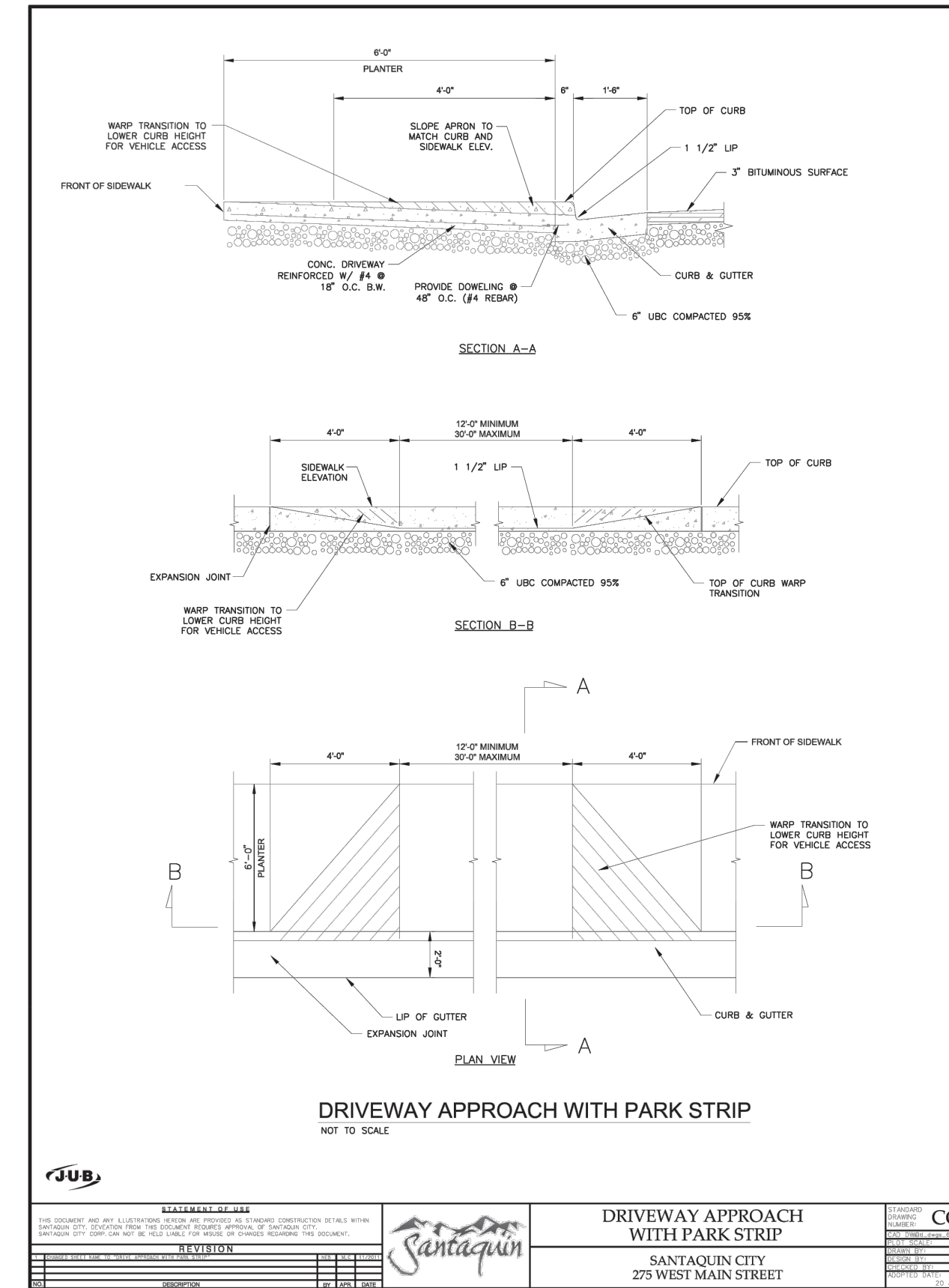
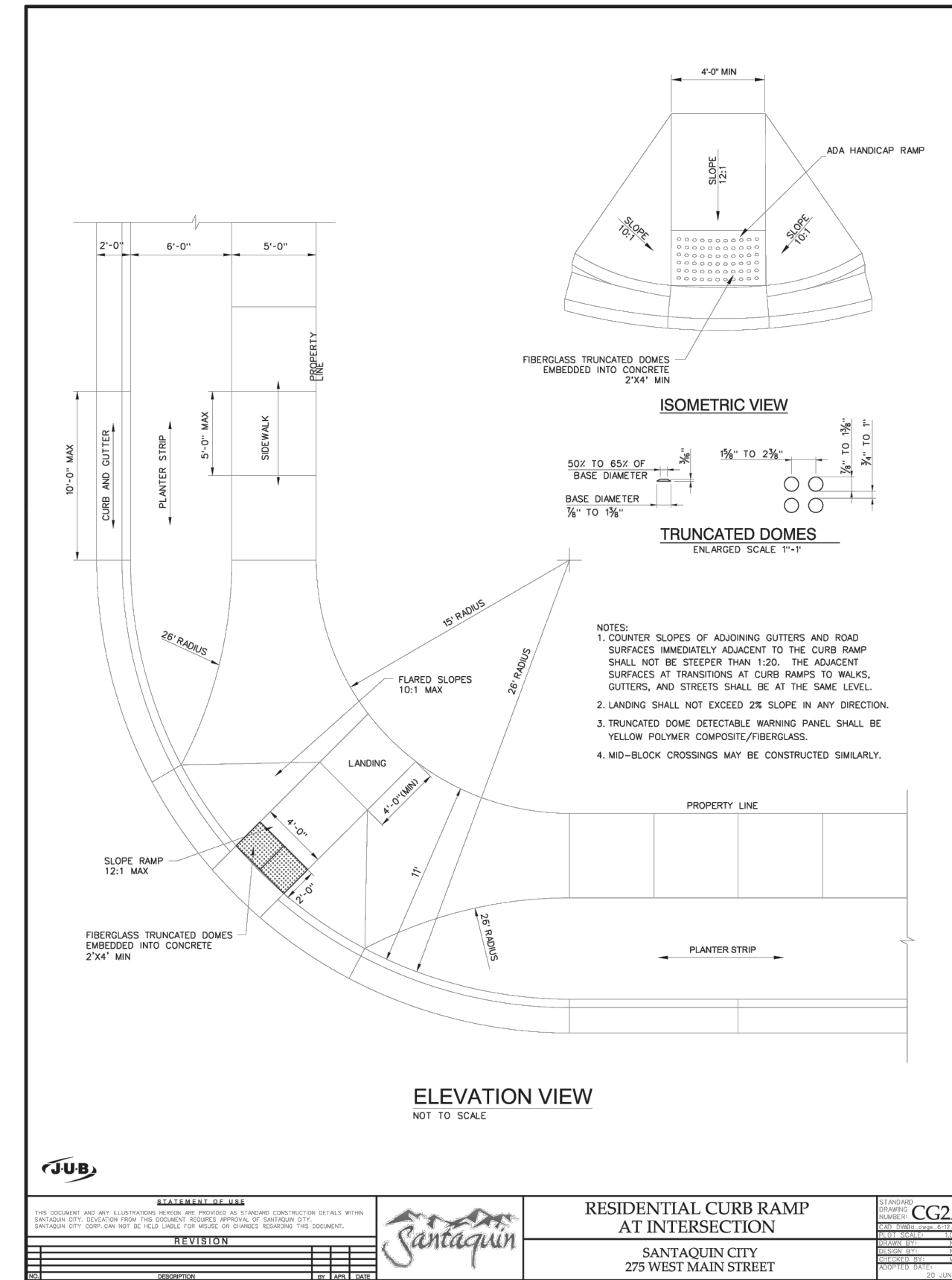
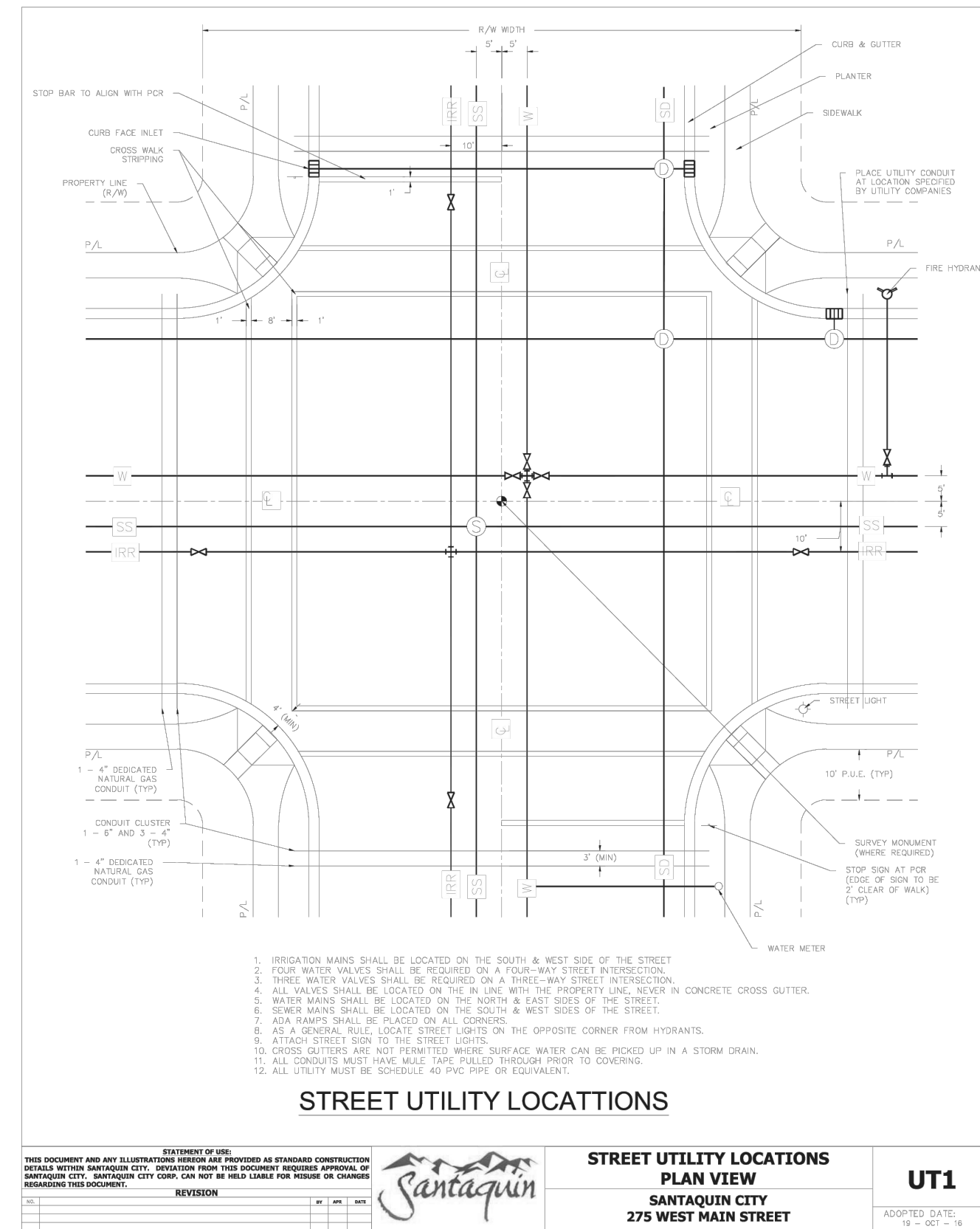
**Northern ENGINEERING INC**  
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CONSTRUCTION MANAGEMENT

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(801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

DETAILS	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. DT-01





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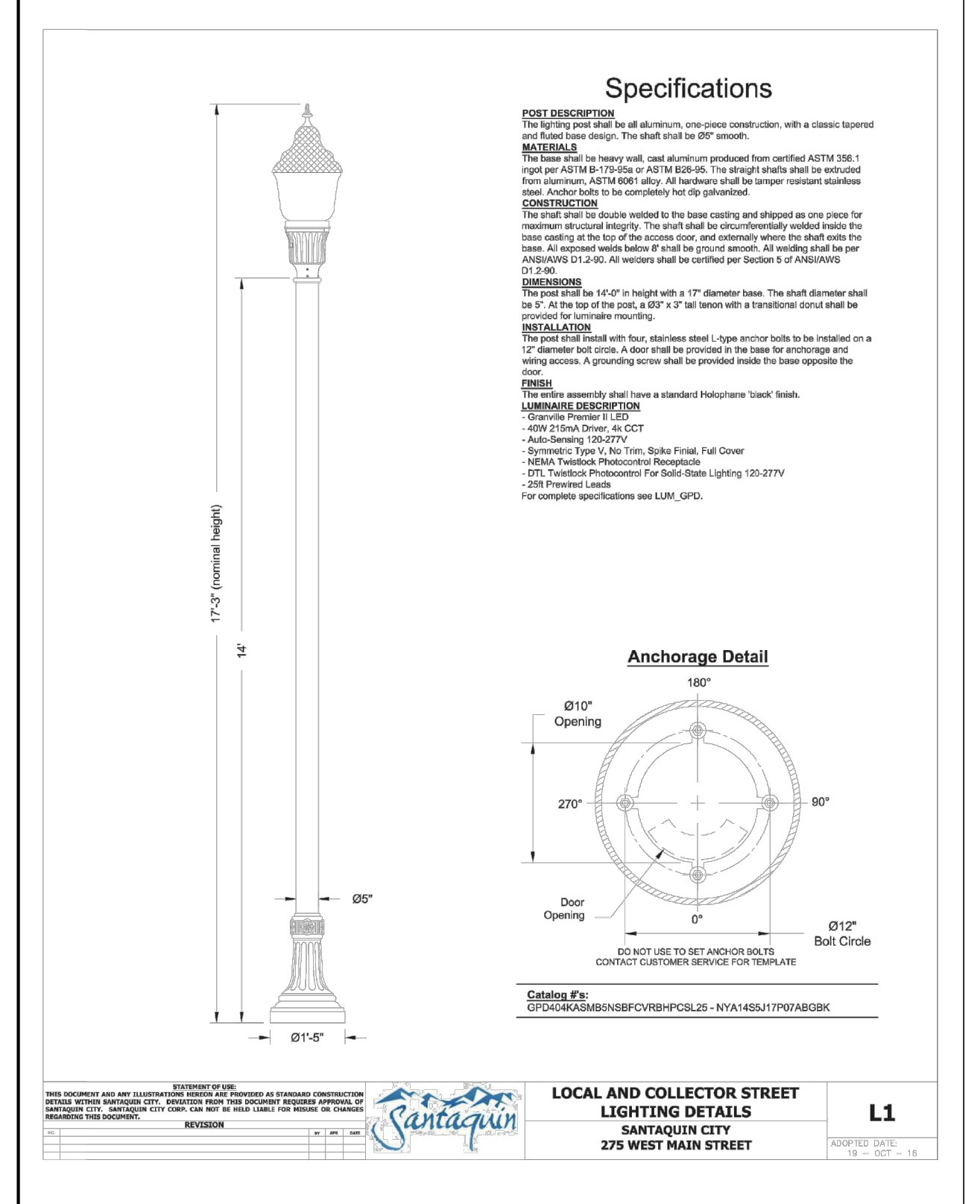
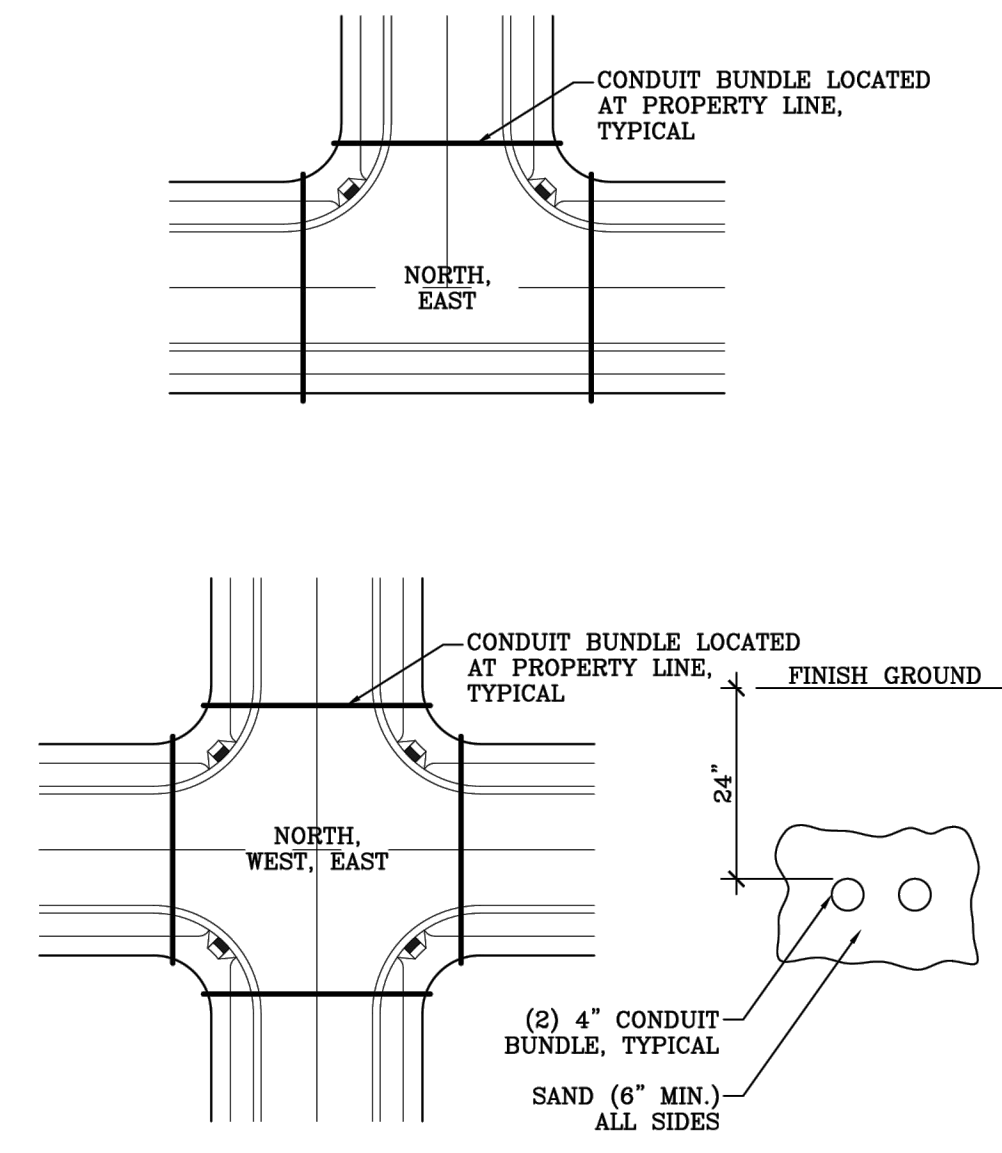
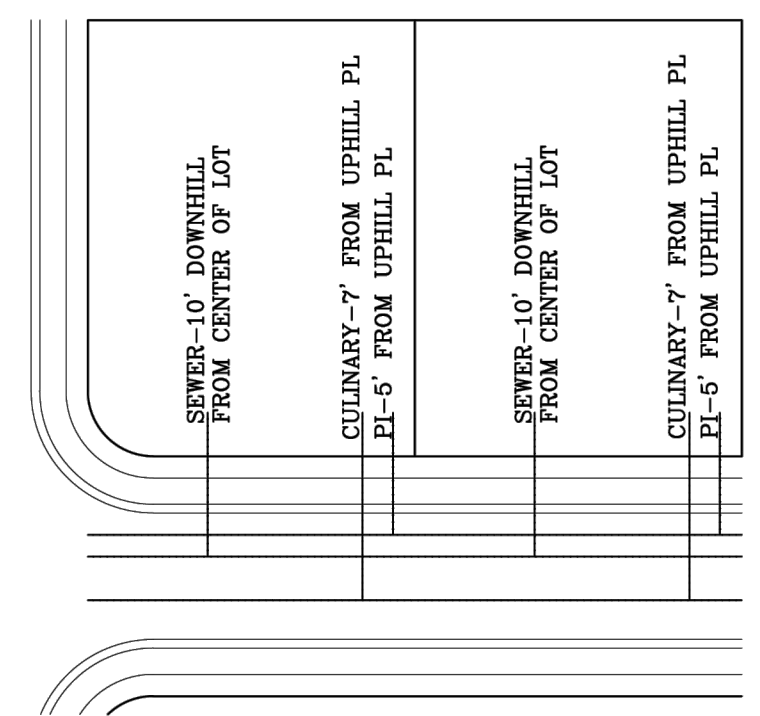
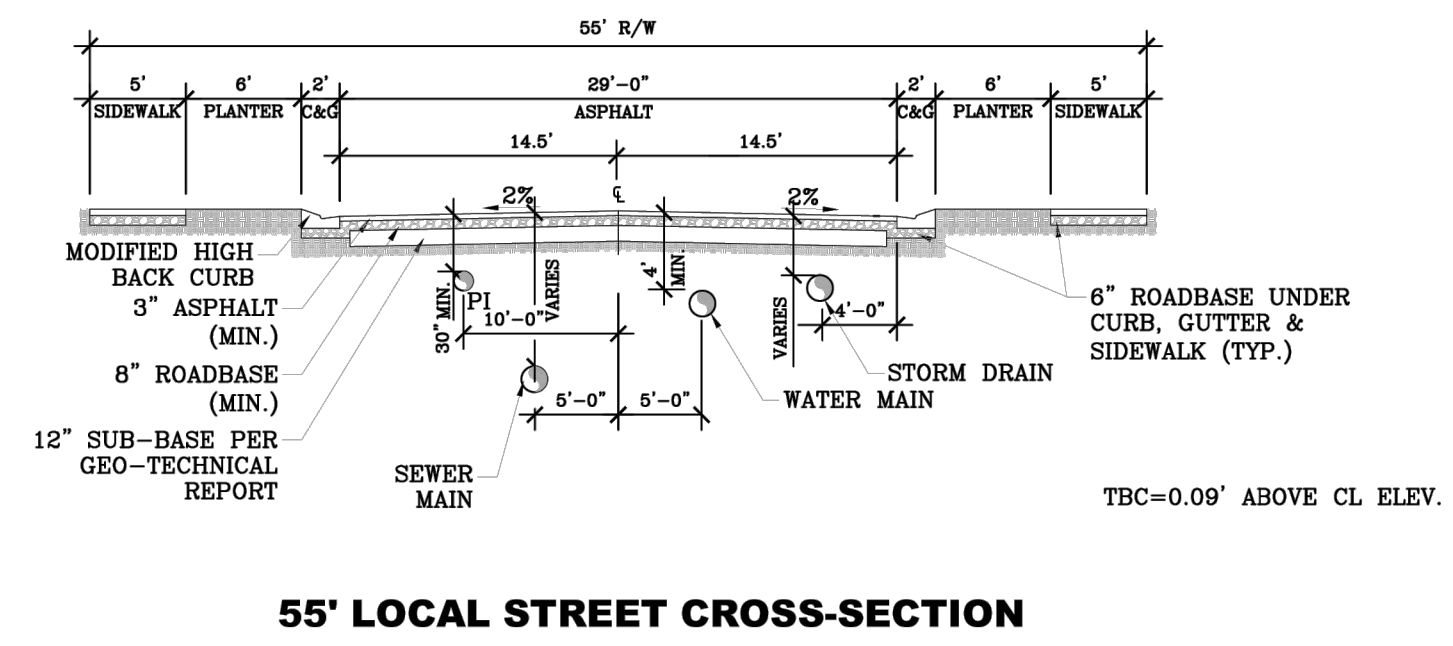
**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

DETAILS		JOB NO. 3-20-031
SANTAQUIN, UTAH		SHEET NO. DT-02





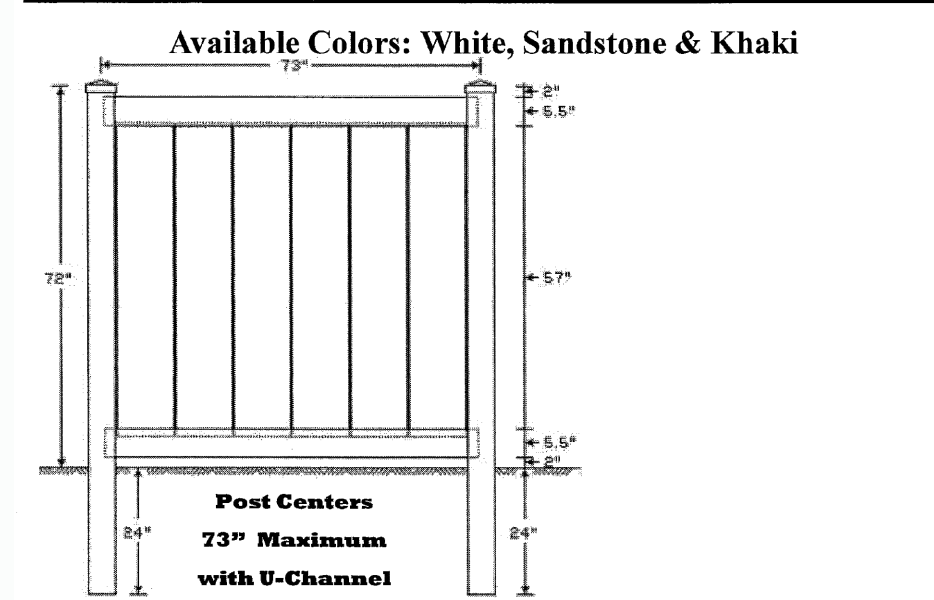
STREET CROSS-SECTIONS

LATERAL DETAIL

CONDUIT DETAILS

STREET LIGHT DETAIL

6' CLASSIC PRIVACY FENCE  
3/4 x 1 1/2 Panels & 1 1/2 x 5 1/2 Slotted Rails  
(68" Panel Height)



QTY	DESCRIPTION	LENGTH
2	1 1/2 x 5 1/2 Slotted Rail	72"
6	3/4 x 1 1/2 T&G	60
2	1/2 U-Channel	60 7/8" - Optional
6	#10 - Screw - (5/16" Hex Head)	3/2" - for U-Channel

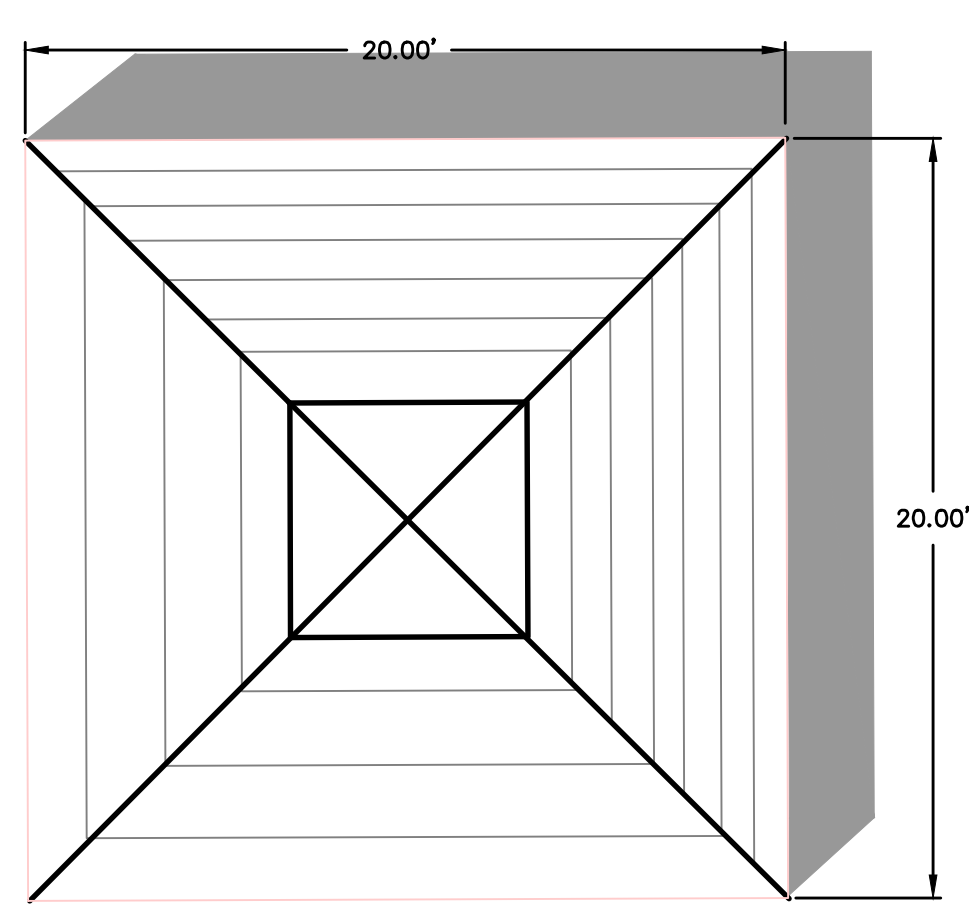
Posts  
5" x 5" - 8' .135 Wall      5" x 5" - 8' .150 Wall  
24" Post Set (Check Local Code Requirements)

NOTE: 6' DECORATIVE MASONRY WALL STAINED & TREATED ON BOTH SIDES W/ANTI-GRAFFITI SEALANT

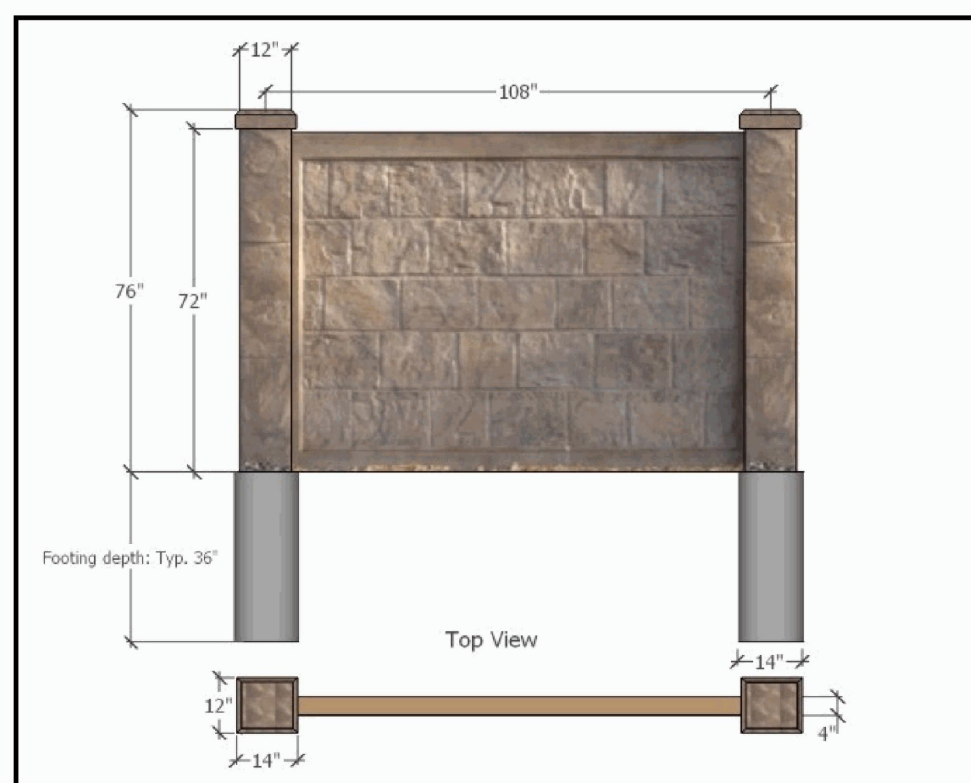
FENCE DETAIL  
PROPOSED OR EQUIVALENT  
-NTS-



20'X20' PAVILION DETAIL  
PROPOSED PAVILION OR EQUIVALENT  
WITH 4 PICNIC TABLES OR EQUIVALENT  
-NTS-



Rhinorock Fence Specifications



TECHNICAL INFORMATION: Rhinorock Fence Panel		
Dimension of Panel	182 cm x 350 cm	72"x102"
Weight of Panel	105 kg	230 lbs
Weight per area	21.5kg/m <sup>2</sup>	4.9lbs/ft <sup>2</sup>
Thickness of Panel	115mm	4.5"
EPS Foam Core Thickness	63-95mm	2.5-3.75"
Glass fiber reinforced concrete shell thickness	9mm	5/16"
% glass fiber by volume		4-4.50%
Compressive strength of proprietary concrete mix design	4x10 <sup>3</sup> N/m <sup>2</sup>	5800 psi
Ultimate tensile strength of glass fiber reinforced concrete	9.6x10 <sup>3</sup> - 1.4x10 <sup>4</sup> N/m <sup>2</sup>	1400-2100 psi
Wind load capacity of panel	225 km/h	140mph with 1.6 safety factor
axial load capacity of panel	1644 kg/lineal meter	1100 lbs/lineal foot
moisture absorption of EPS foam core by total immersion		<4%
Combustibility of glass fiber reinforced concrete shell		Non-combustible
Freeze/thaw performance		200 freeze thaw cycles with no damage
Debris, fungus, or mushroom attack		none
Termite food source		none

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

NO.	REVISIONS	BY	DATE	DESIGNED BY:	DATE:
5					
4					
3					
2					
1					
NO.					

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 1"**

DETAILS  
SANTAQUIN, UTAH

JOB NO.  
3-20-031

SHEET NO.  
DT-03



# APPLE HOLLOW @ THE ORCHARDS "B-PHASE 2"

## PHASE 2 SANTAQUIN, UTAH COUNTY, UTAH -INDEX OF PLAN SHEETS-

### GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT.
- A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, SANTAQUIN CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT OF THE ORCHARDS PLAT F-6 WITH THE COMPLETION OF ROW IMPROVEMENTS ASSOCIATED WITH ORCHARDS F-6.
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- GARAGES ON THE TOWNHOMES WILL BE 24'X24' WITH A 20' OPENING

### ROADWAY/STORM DRAIN

- ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF SANTAQUIN CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL STORM DRAIN PIPES TO BE REINFORCED CONCRETE PIPE (RCP) CLASS III, HDPE STORM DRAIN PIPE, OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CLEANOUT/ACCESS LOCATIONS MEET SANTAQUIN IRRIGATION COMPANY SPECIFICATIONS AND ARE COMPLETED UNDER THE DIRECTION OF SANTAQUIN IRRIGATION COMPANY.
- ALL IRRIGATION CORNERS (ANGLE POINTS) SHALL HAVE A PRE CAST - REINFORCED CONCRETE MANHOLE, WITH A WATERTIGHT SOLID MANHOLE COVER.
- ALL STORM DRAIN INLET BOXES TO MEET SANTAQUIN CITY STANDARD DRAWING SDI W/3' SEDIMENT TRAP.

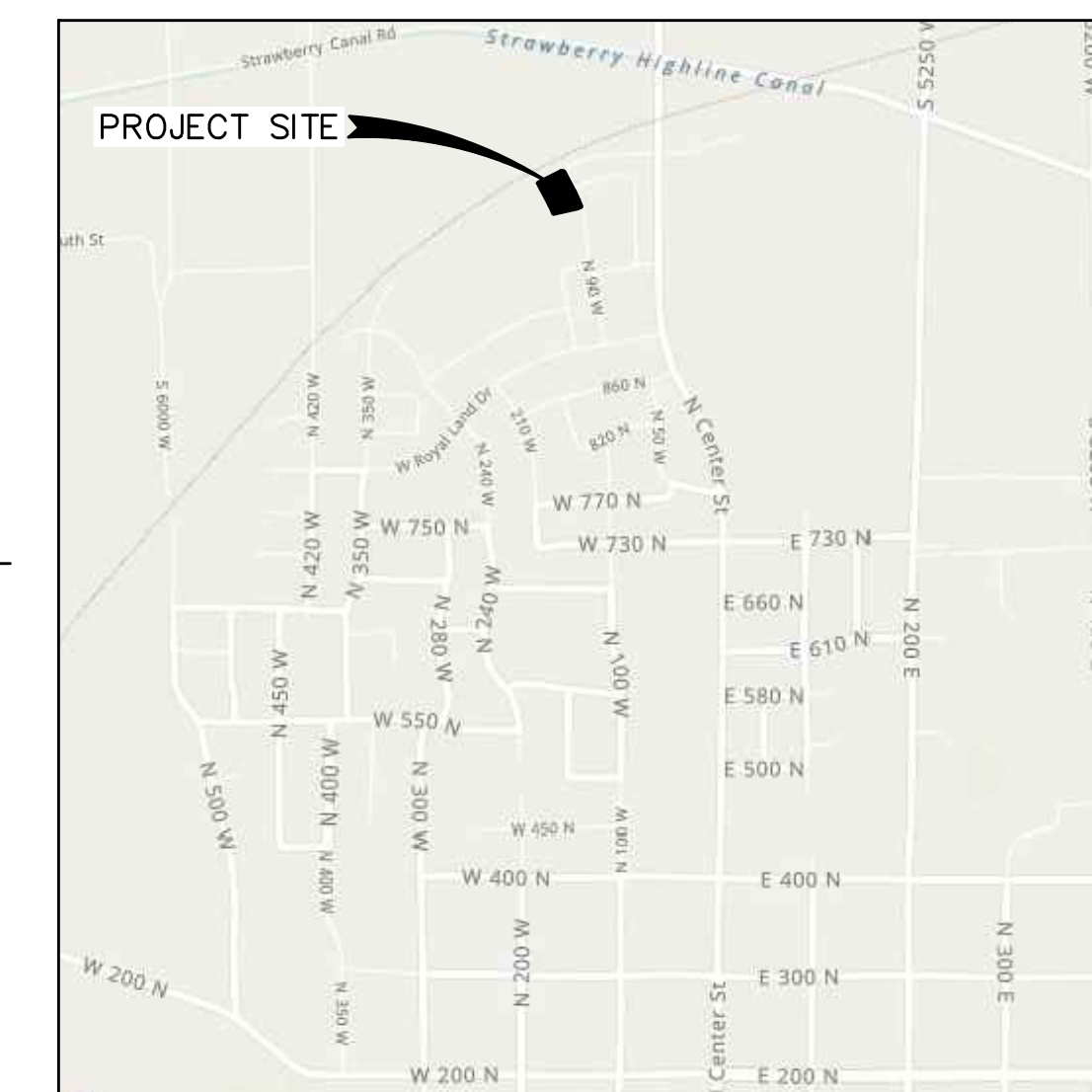
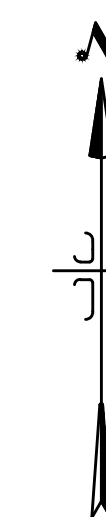
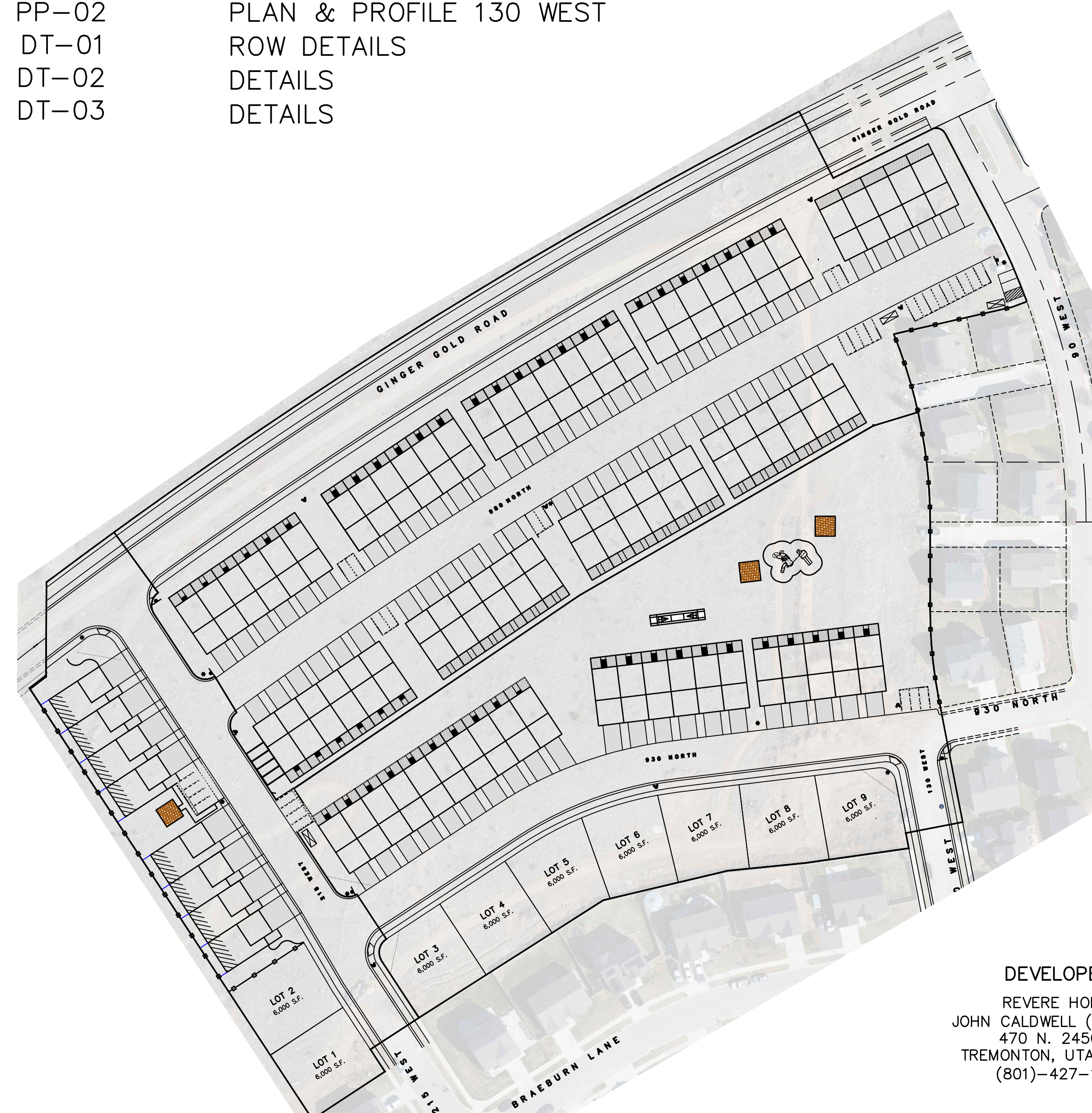
### SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SANTAQUIN CITY DESIGN STANDARDS & PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF SANTAQUIN CITY.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY SANTAQUIN CITY.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.

### WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST SANTAQUIN CITY WATER DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.
- WATERLINES TO BE BEDDED AS PER SANTAQUIN CITY DIVISION 3A SECTION 3A.04 SUB-SECTION E.
- ALL CULINARY WATERLINES, REGARDLESS OF SIZE, SHALL BE C-900 PVC PIPE AS PER SANTAQUIN CITY STANDARDS.

SHEET	DESCRIPTION
1	COVER SHEET FINAL PLAT B-3 FINAL PLAT B-4
SP-01	SITE PLAN/PHASING PLAN
UT-01	UTILITY LAYOUT
LS-01	LANDSCAPE
GR-01	GRADING & DRAINAGE
PP-01	PLAN & PROFILE 930 NORTH
PP-02	PLAN & PROFILE 130 WEST
DT-01	ROW DETAILS
DT-02	DETAILS
DT-03	DETAILS



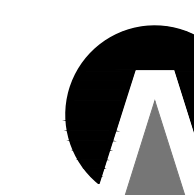
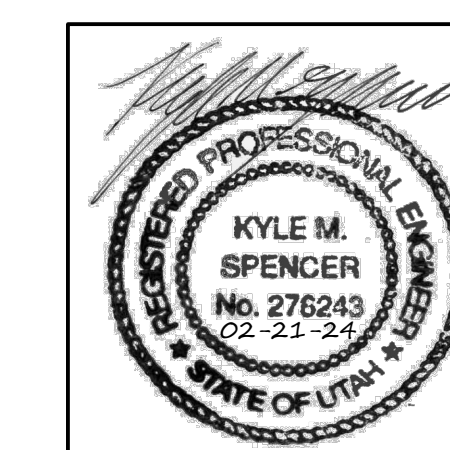
VICINITY MAP  
-NTS-

TABULATIONS	
APPLE HOLLOW AT THE ORCHARDS B - PHASE 2	
ZONE:	R-10 PUD ZONE
PLAT AREA:	4.27 ACRES
# OF LOTS:	7 LOTS
NUMBER OF TOWNHOMES:	21 UNITS
LOT AREA:	0.96 ACRES
TOWNHOME AREA:	0.75 ACRES
COMMON AREA:	1.52 ACRES
LIMITED COMMON AREA:	0.28 ACRES
RIGHT-OF-WAY AREA:	0.76 ACRES
DENSITY:	6.56 UNITS/ACRE

### ACCEPTANCE

SIGNATURE: DEVELOPER	DATE _____
SIGNATURE: CITY ENGINEER	DATE _____
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE _____
SIGNATURE: PUBLIC WORKS	DATE _____
SIGNATURE: BUILDING DEPARTMENT	DATE _____
SIGNATURE: POLICE DEPARTMENT	DATE _____
SIGNATURE: FIRE DEPARTMENT	DATE _____

DEVELOPER  
REVERE HOMES  
JOHN CALDWELL (MANAGER)  
470 N. 2450 W.  
TREMONTON, UTAH 84337  
(801)-427-1733



**Northern  
ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992





VICINITY MAP

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.56'	15.00'	21.21'	N78°17'02"W	90°00'00"
C2	105.01'	477.50'	104.80'	S81°8'01"E	123°02'00"
C3	80.75'	422.50'	80.82'	S5°28'30"E	105°00'00"
C4	22.50'	15.00'	20.45'	N53°55'31"W	85°57'03"
C5	155.87'	336.50'	154.49'	S69°54'29"W	28°22'32"
C6	169.87'	369.50'	168.38'	N69°53'14"E	28°22'32"
C7	176.35'	389.50'	177.77'	S69°54'29"W	28°22'32"

## APPLE HOLLOW AT THE ORCHARDS FINAL PLAT B-3

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN

DEVELOPER  
REVERE HOMES  
JOHN CALDWELL (MANAGER)  
470 N. 2550 W.  
TREMONTON, UTAH 84337  
(801)-427-1733

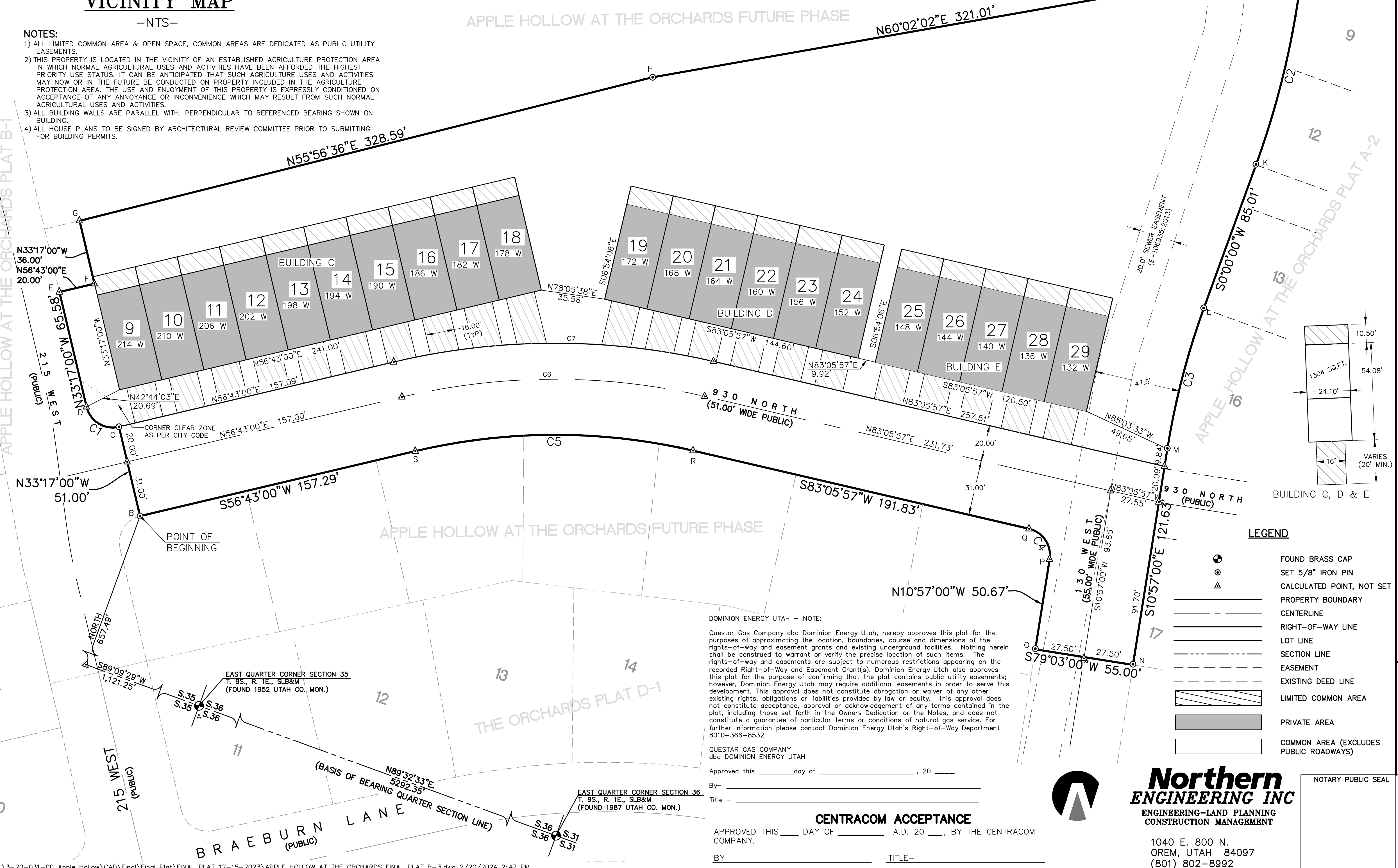
GRID FACTOR: 0.99961

NAD 27	STAT PLAN	
COORDINATED		
NORTHING	EASTING	
A	603525.85	1919958.33
B	604166.61	1918837.64
C	604209.23	1918809.66
D	604213.54	1918788.90
E	604268.34	1918752.92
F	604279.31	1918769.84
G	604309.40	1918749.89
H	604493.33	1919022.01
I	604653.61	1919300.00
J	604666.36	1919342.31
K	604562.23	1919353.81
L	604477.25	1919353.81
M	604397.03	1919361.50
N	604277.66	1919384.59
O	604267.22	1919350.63
P	604316.95	1919321.01
Q	604328.99	1919304.49
R	604305.95	1919114.11
S	604252.90	1918969.08



SCALE 1" = 30'  
SCALE 1" = 60'

- NOTES:
- 1) ALL LIMITED COMMON AREA & OPEN SPACE, COMMON AREAS ARE DEDICATED AS PUBLIC UTILITY EASEMENTS
  - 2) THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURE USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
  - 3) ALL BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO REFERENCED BEARING SHOWN ON BUILDING.
  - 4) ALL HOUSE PLANS TO BE SIGNED BY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTING FOR BUILDING PERMITS.



DOMINION ENERGY UTAH - NOTE:  
Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purposes of approximating the location, boundaries, course and dimensions of the rights-of-way and easement grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department 801-366-8532

QUESTAR GAS COMPANY  
dba DOMINION ENERGY UTAH

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
By: \_\_\_\_\_  
Title: \_\_\_\_\_

**CENTRACOM ACCEPTANCE**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE CENTRACOM COMPANY.  
BY \_\_\_\_\_ TITLE \_\_\_\_\_

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT  
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**SURVEYOR'S CERTIFICATE**  
I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-80-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.  
**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH. MORE PARTICULARLY DESCRIBED AS:  
COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W. ALONG THE 1/4 SECTION LINE A DISTANCE OF 1121.25 FEET; THENCE NORTH A DISTANCE OF 657.49 FEET TO THE REAL POINT OF BEGINNING  
THENCE N.33°17'00"W. A DISTANCE OF 51.00 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS N.78°17'00"W. A DISTANCE OF 21.21 FEET; THENCE N.33°17'00"W. A DISTANCE OF 65.58 FEET; THENCE N.56°43'00"E. A DISTANCE OF 20.00 FEET; THENCE N.33°17'00"W. A DISTANCE OF 36.00 FEET; THENCE N.55°56'36"E. A DISTANCE OF 328.59 FEET; THENCE N.60°02'02"E. A DISTANCE OF 321.01 FEET; THENCE N.73°14'19"E. A DISTANCE OF 44.21 FEET TO A POINT OF CURVATURE OF A 477.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 105.01 FEET HAVING A CENTRAL ANGLE OF 123°02'00" AND A CHORD THAT BEARS S.06°18'01"E. A DISTANCE OF 104.80 FEET; THENCE S.00°00'00"W. A DISTANCE OF 85.01 FEET TO A POINT OF CURVATURE OF A 422.50-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 80.75 FEET HAVING A CENTRAL ANGLE OF 105°00'00" AND A CHORD THAT BEARS S.05°28'30"E. A DISTANCE OF 80.62 FEET; THENCE S.10°57'00"E. A DISTANCE OF 121.63 FEET; THENCE S.79°03'00"W. A DISTANCE OF 55.00 FEET; THENCE N.10°57'00"W. A DISTANCE OF 50.67 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE 22.50 FEET HAVING A CENTRAL ANGLE OF 85°57'03" AND A CHORD THAT BEARS N.53°55'31"W. A DISTANCE OF 20.45 FEET; THENCE S.83°05'57"W. A DISTANCE OF 191.83 FEET TO A POINT OF CURVATURE OF A 338.50-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 155.87 FEET HAVING A CENTRAL ANGLE OF 26°22'32" AND A CHORD THAT BEARS S.69°54'29"W. A DISTANCE OF 154.49 FEET; THENCE S.56°43'00"W. A DISTANCE OF 157.29 FEET TO THE REAL POINT OF BEGINNING  
CONTAINING 143,141 sq.ft. OR 3.29 acres MORE OR LESS.

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON TO SANTAQUIN CITY FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.  
BY:  
JOHN CALDWELL, OWNER REVERE HOMES, LLC

**ACKNOWLEDGMENT**  
STATE OF UTAH )  
COUNTY OF UTAH ) S.S.  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED JOHN CALDWELL, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS AN OWNER \_\_\_\_\_ [MEMBER WITH MANAGEMENT AUTHORITY] (MANAGER) OF REVERE HOMES, A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_  
ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SEAL) \_\_\_\_\_ CITY RECORDER (SEE SEAL) \_\_\_\_\_

**ROCKY MOUNTAIN POWER ACCEPTANCE**  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE ROCKY MOUNTAIN POWER COMPANY.  
BY \_\_\_\_\_ TITLE \_\_\_\_\_

**APPLE HOLLOW AT THE ORCHARDS FINAL PLAT B-3**  
A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN  
SANTAQUIN UTAH COUNTY, UTAH  
SCALE: 1" = 30 FEET

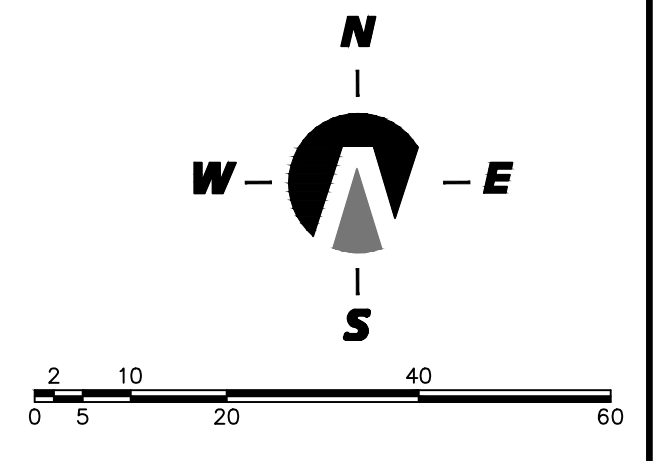
NOTARY PUBLIC SEAL SURVEYOR'S SEAL CLERK-RECORDER SEAL UTAH COUNTY RECORDER STAMP



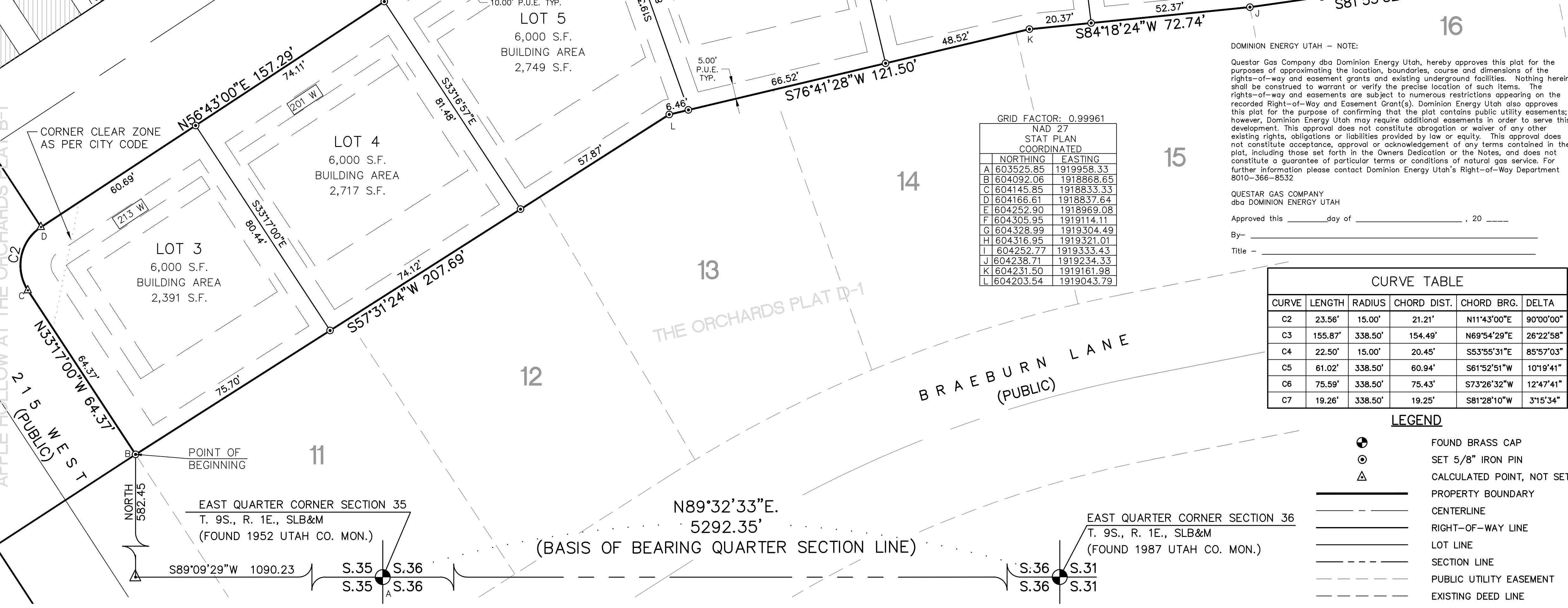
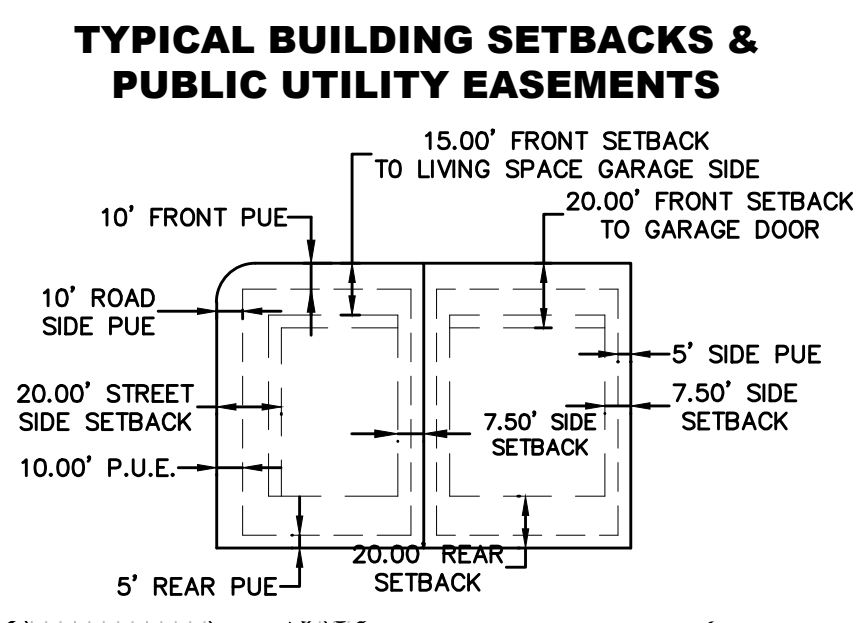


VICINITY MAP

**APPLE HOLLOW AT THE ORCHARDS FINAL PLAT B-4**  
 A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN



(24"x36")  
 SCALE 1" = 20'  
 (11"x17")  
 SCALE 1" = 40'



GRID FACTOR: 0.99961

NAD 27 STAT PLAN COORDINATED	
NORTHING	EASTING
A	603525.85 1919958.33
B	604092.06 1918868.65
C	604145.85 1918833.33
D	604166.61 1918837.64
E	604252.90 1918969.08
F	604305.95 1919114.11
G	604328.99 1919304.49
H	604316.95 1919321.01
I	604252.77 1919333.43
J	604238.71 1919234.33
K	604231.50 1919161.98
L	604203.54 1919043.79

**DOMINION ENERGY UTAH - NOTE:**  
 Questar Gas Company dba Dominion Energy Utah, hereby approves this plat for the purposes of approximating the location, boundaries, course and dimensions of the rights-of-way and easement grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department 801-366-8532

QUESTAR GAS COMPANY  
 dba DOMINION ENERGY UTAH

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

By: \_\_\_\_\_

Title - \_\_\_\_\_

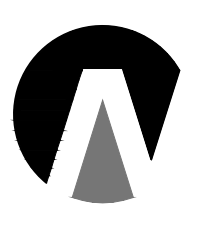
**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C2	23.56'	15.00'	21.21'	N11°43'00"E	90°00'00"
C3	155.87'	338.50'	154.49'	N69°54'29"E	26°22'58"
C4	22.50'	15.00'	20.45'	S53°55'31"E	85°57'03"
C5	61.02'	338.50'	60.94'	S61°52'51"W	101°19'41"
C6	75.59'	338.50'	75.43'	S73°26'32"W	12°47'41"
C7	19.26'	338.50'	19.25'	S81°28'10"W	31°5'34"

- LEGEND**
- FOUND BRASS CAP
  - SET 5/8" IRON PIN
  - △ CALCULATED POINT, NOT SET
  - PROPERTY BOUNDARY
  - CENTERLINE
  - - - RIGHT-OF-WAY LINE
  - LOT LINE
  - SECTION LINE
  - - - PUBLIC UTILITY EASEMENT
  - - - EXISTING DEED LINE

**NOTES:**  
 1) ALL LIMITED COMMON AREA & OPEN SPACE AREAS ARE DEDICATED AS PUBLIC UTILITY EASEMENTS.  
 2) THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURE USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

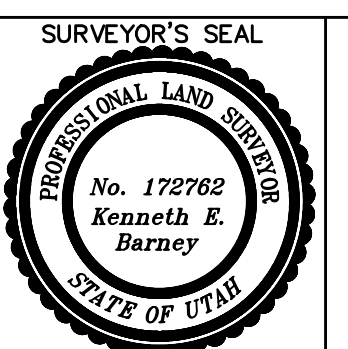
DEVELOPER  
 REVERE HOMES  
 JOHN CALDWELL (MANAGER)  
 470 N. 2550 W.  
 TREMONTON, UTAH 84337  
 (801)-427-1733



**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

NOTARY PUBLIC SEAL



SURVEYOR'S SEAL

CLERK-RECORDER SEAL

UTAH COUNTY RECORDER STAMP

**SURVEYOR'S CERTIFICATE**  
 I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, AND COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

**BOUNDARY DESCRIPTION**  
 A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH. MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W ALONG THE 1/4 SECTION LINE A DISTANCE OF 1090.23 FEET; THENCE NORTH A DISTANCE OF 582.45 FEET TO THE REAL POINT OF BEGINNING  
 THENCE N.33°17'00"W A DISTANCE OF 64.37 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS N.11°43'00"E. A DISTANCE OF 21.21 FEET; THENCE N.69°54'29"E. A DISTANCE OF 154.49 FEET TO A POINT OF CURVATURE OF A 338.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 155.87 FEET HAVING A CENTRAL ANGLE OF 26°22'58" AND A CHORD THAT BEARS N.69°54'29"E. A DISTANCE OF 154.49 FEET; THENCE N.83°05'57"E. A DISTANCE OF 191.83 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 22.50 FEET HAVING A CENTRAL ANGLE OF 85°57'03" AND A CHORD THAT BEARS S.53°55'31"E. A DISTANCE OF 20.45 FEET; THENCE S.10°57'00"E. A DISTANCE OF 65.40 FEET; THENCE S.81°55'32"W. A DISTANCE OF 100.13 FEET; THENCE S.84°18'24"W. A DISTANCE OF 72.74 FEET; THENCE S.76°41'28"W. A DISTANCE OF 121.50 FEET; THENCE S.57°31'24"W. A DISTANCE OF 207.69 FEET TO THE REAL POINT OF BEGINNING

CONTAINING 42,000 sq. ft. OR 0.96 ACRES MORE OR LESS.  
**OWNER'S DEDICATION**  
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON TO SANTAQUIN CITY FOR PERPETUAL USE OF THE PUBLIC.  
 IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

BY: \_\_\_\_\_ BY: \_\_\_\_\_  
 JOHN CALDWELL, OWNER REVERE HOMES, LLC

**ACKNOWLEDGMENT**  
 STATE OF UTAH } s.s.  
 COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_ BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED JOHN CALDWELL, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS A \_\_\_\_\_ [MEMBER WITH MANAGEMENT AUTHORITY] [MANAGER] OF REVERE HOMES \_\_\_\_\_, A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_  
 NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
 COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_ ATTEST \_\_\_\_\_  
 CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

**ROCKY MOUNTAIN POWER ACCEPTANCE**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE ROCKY MOUNTAIN POWER COMPANY.  
 BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

**CENTRACOM ACCEPTANCE**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE CENTRACOM COMPANY.  
 BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

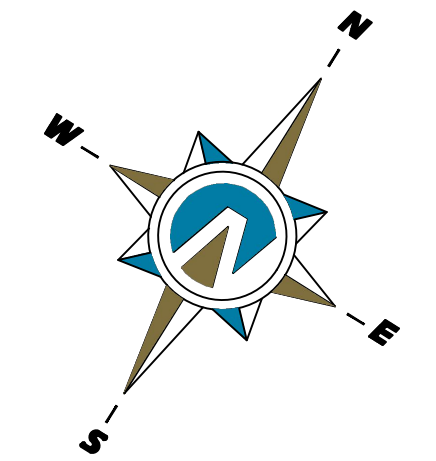
**APPLE HOLLOW AT THE ORCHARDS FINAL PLAT B-4**  
 A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN  
 SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH  
 SCALE: 1" = 20 FEET



# APPLE HOLLOW @ THE ORCHARDS "B-PHASE 2"

## SANTAQUIN, UTAH

JANUARY, 2024



5 20 40 80 120  
SCALE 1" = 40'  
(24"x36")  
SCALE 1" = 80'  
(11"x17")



THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

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4	DRAWN BY:	DATE:
3	CHECKED BY:	DATE:
2	APPROVED:	DATE:
1	COGO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:



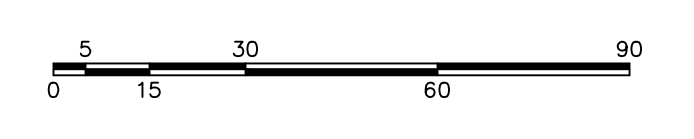
**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

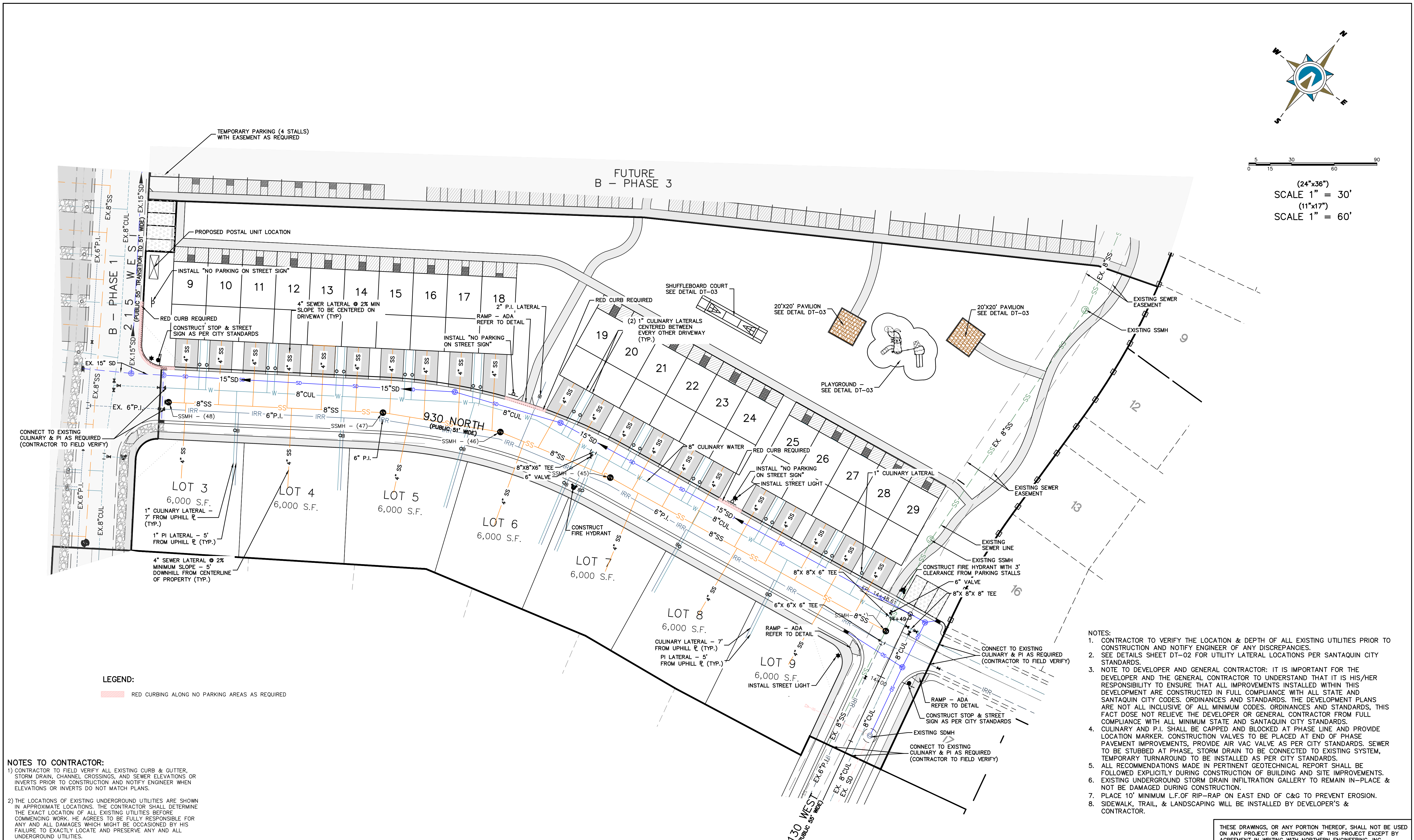
**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 2"**

SITE PLAN/PHASING PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>SP-01</b>





(24"x36")  
SCALE 1" = 30'  
(11"x17")  
SCALE 1" = 60'



**LEGEND:**  
[Red shaded area symbol] RED CURBING ALONG NO PARKING AREAS AS REQUIRED

**NOTES TO CONTRACTOR:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & CUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- NOTES:**
- CONTRACTOR TO VERIFY THE LOCATION & DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - SEE DETAILS SHEET DT-02 FOR UTILITY LATERAL LOCATIONS PER SANTAQUIN CITY STANDARDS.
  - NOTE TO DEVELOPER AND GENERAL CONTRACTOR: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS, THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.
  - CULINARY AND P.I. SHALL BE CAPPED AND BLOCKED AT PHASE LINE AND PROVIDE LOCATION MARKER. CONSTRUCTION VALVES TO BE PLACED AT END OF PHASE PAVEMENT IMPROVEMENTS, PROVIDE AIR VAC VALVE AS PER CITY STANDARDS. SEWER TO BE STUBBED AT PHASE, STORM DRAIN TO BE CONNECTED TO EXISTING SYSTEM, TEMPORARY TURNAROUND TO BE INSTALLED AS PER CITY STANDARDS.
  - ALL RECOMMENDATIONS MADE IN PERTINENT GEOTECHNICAL REPORT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  - EXISTING UNDERGROUND STORM DRAIN INFILTRATION GALLERY TO REMAIN IN-PLACE & NOT BE DAMAGED DURING CONSTRUCTION.
  - PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.
  - SIDEWALK, TRAIL, & LANDSCAPING WILL BE INSTALLED BY DEVELOPER'S & CONTRACTOR.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

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NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

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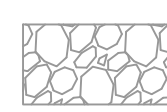







**APPLE HOLLOW @ THE ORCHARDS "B- PHASE 2"**

SITE UTILITY PLAN— PHASE B-2  
SANTAQUIN, UTAH  
JOB NO. 3-20-031  
SHEET NO. **UT-01**

K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 SHEET SET PHASE 2.dwg



**LANDSCAPING LEGEND:**

-  LANDSCAPE ROCK: TWO TO FOUR INCH (2" TO 4") DECORATIVE COBBLE ROCK. A SAMPLE OF THE PROPOSED MATERIAL MUST BE SUBMITTED TO AND APPROVED BY SANTAQUIN CITY PRIOR TO PLACING. COBBLE ROCK MULCH SHALL BE INSTALLED TO AN AVERAGE DEPTH OF FOUR INCHES (4") AND SHALL COMPLETELY COVER ALL PLANTER STRIP AREA. PRIOR TO INSTALLATION OF COBBLE ROCK, MULCH, A MIRAFI 600 (OR APPROVED EQUIVALENT) FABRIC MUST BE APPLIED TO THE PLANTER STRIP AREA.
- 40±  HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS, 1-GAL.
- 14±  CALAMAGROSTIS X ACUTIFLORA FOERSTER / FEATHER REED GRASS, 1-GAL.
- 3±  EUONYMUS ALATUS COMPACTUS / COMPACT BURNING BUSH, 5-GAL.
- 64±  RHAMNUS FRANGULA COLUMNARIS / ALDER BUCKTHORN, 5-GAL.
- 13±  TILA AMERICAN REDMUND / REDMUND AMERICAN LINDEN, 2" - 2.5" CAL.
- 17±  ACER FREEMAN / AUTUMN BLAZE MAPLE, 2" - 2.5" CAL.
- 8±  PICEA PUNGENS / COLORADO "BLUE" SPRUCE, 2" - 2.5" CAL. (6' MIN HEIGHT)
- 159 = TOTAL TREES AND PLANTS

**NOTES:**

1. ALL LANDSCAPING TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
2. IRRIGATION TO BE DESIGNED BY OTHERS AND SUBMITTED TO CITY FOR APPROVAL BEFORE INSTALLATION AND MEET THE CONDITIONS OF THE ARCHITECTURAL REVIEW COMMITTEE.
3. GROUP TREES IN CLUSTERS AND VARIETY ALTERNATING BETWEEN GROUPS OF THREE.
4. TREES SHALL NOT BE PLANTED LESS THAN 5-FT FROM CURBS OR HARD SURFACE AREAS UNLESS A ROOT BARRIER IS INSTALLED NEXT TO HARDSCAPE SURFACE.
5. CONTRACTOR TO PLANT ALL TREES AND SHRUBS ACCORDING TO SANTAQUIN CITY PLANTING STANDARDS.
6. ANY PROPOSED SUBSTITUTIONS OF PLAN SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE.
7. ALL TREES UP TO 2.5" CAL. SHALL BE DOUBLE STAKED AND ALL DECIDUOUS TREES GREATER THAN 2" CAL. AND ALL EVERGREEN TREES 6' AND TALLER SHALL BE TRIPLE STAKED OR GUYED.
8. NO PLANT MATERIAL SHALL BE PLANTED WITHIN 1-FT OF ANY WALK EDGE.
9. ALL PLANTING AREAS INCLUDING TREE AND SHRUB AREAS TO RECEIVE COMMERCIAL GRADE WEED BARRIER.
10. NO SOD-GRASS IN PLANTER STRIP
11. 35% MAXIMUM SOD-GRASS ALLOWED IN FRONT AND SIDE YARD AS REQUIRED
12. AIR CONDITION UNIT SCREENING IS REQUIRED.

**NOTES:**

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NO PARKING ON STREET SIGN (TYP.)

215 WEST STREET

NO PARKING ON STREET SIGN (TYP.)

930 NORTH STREET

NO PARKING ON STREET SIGN (TYP.)

6' PRIVACY FENCE (SEE DT-03)



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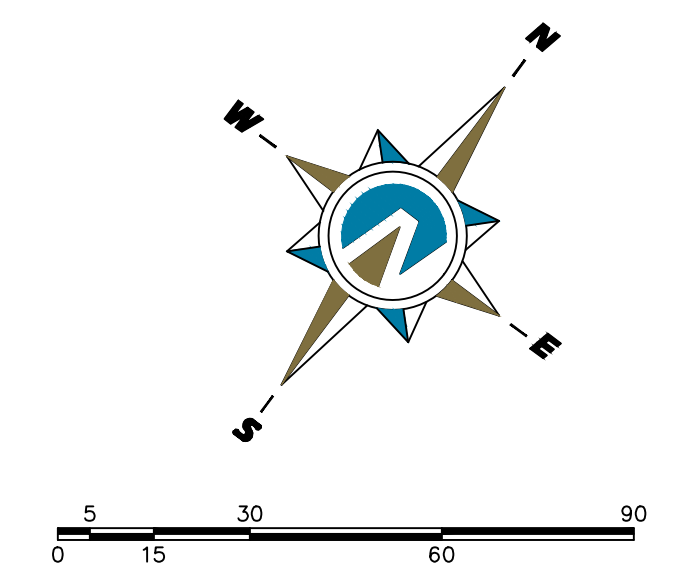
**APPLE HOLLOW @ THE ORCHARDS "B- PHASE 2"**

LANDSCAPE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>LS-01</b>

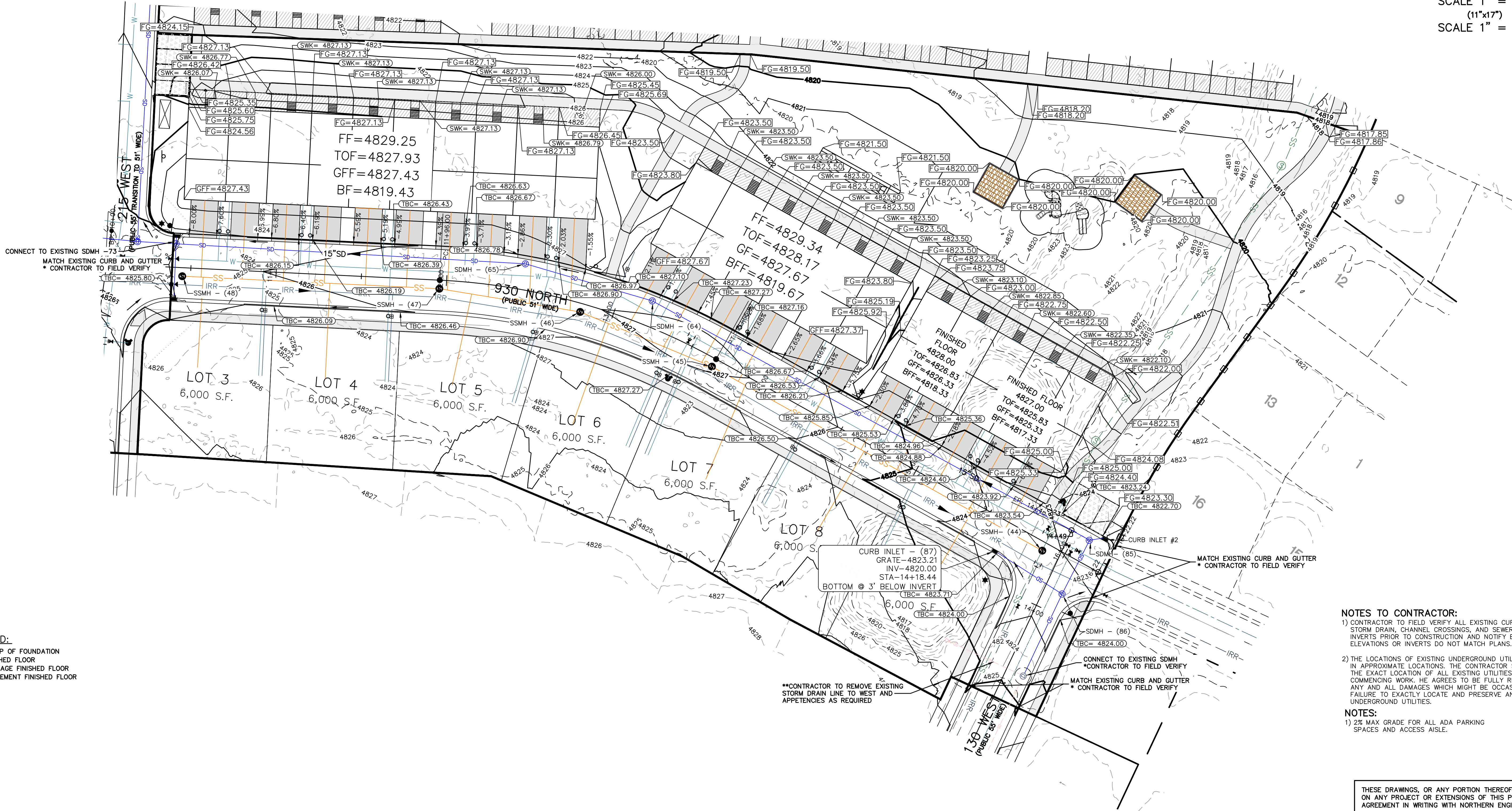


NOTES:

- NOTE TO DEVELOPER AND GENERAL CONTRACTOR: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS, THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.
- ALL RECOMMENDATIONS MADE IN PERTINENT GEOTECHNICAL REPORT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- INSTALL P.I. DRAIN TO CONNECT TO SDMH AS SHOWN AS PER CITY STANDARDS.
- PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.



(24"x36")  
 SCALE 1" = 30'  
 (11"x17")  
 SCALE 1" = 60'



**LEGEND:**  
 TOF= TOP OF FOUNDATION  
 FF=FINISHED FLOOR  
 GFF=GARAGE FINISHED FLOOR  
 BFF=BASEMENT FINISHED FLOOR

- NOTES TO CONTRACTOR:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- NOTES:**
- 2% MAX GRADE FOR ALL ADA PARKING SPACES AND ACCESS AISLE.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

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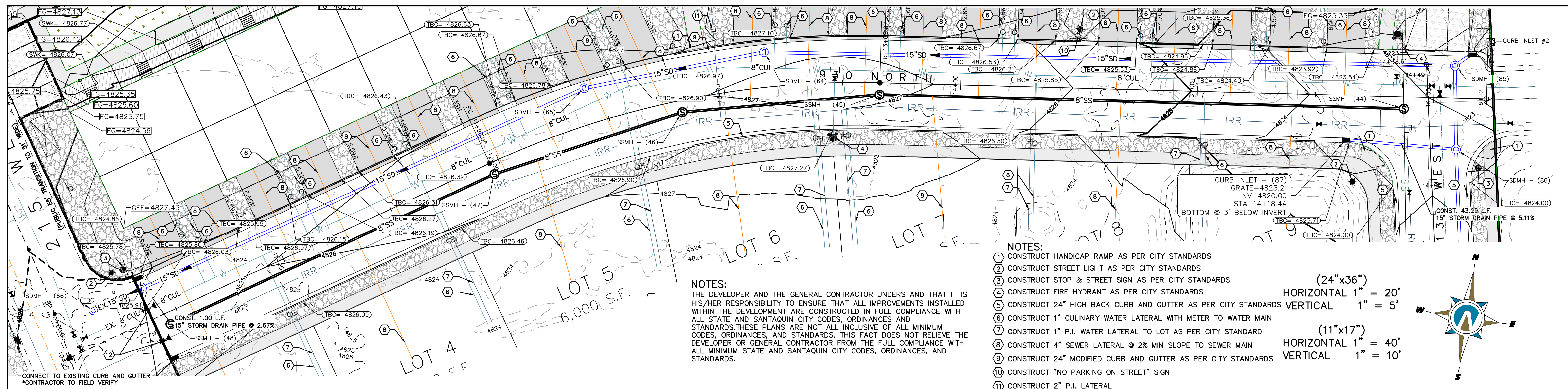
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**APPLE HOLLOW @ THE ORCHARDS "B- PHASE 2"**

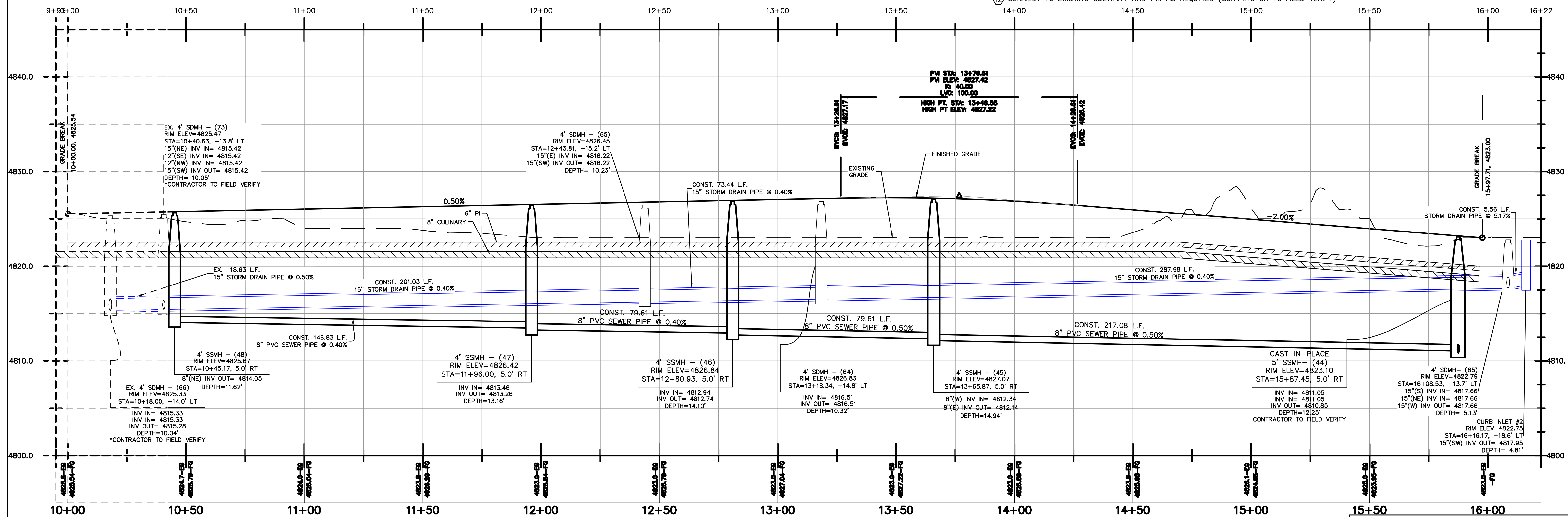
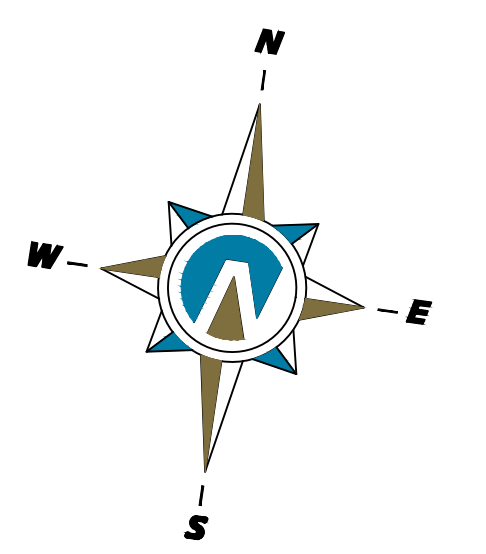
SITE GRADING AND DRAINAGE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. GR-01





**NOTES:**  
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- NOTES:**
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STOP & STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" HIGH BACK CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT 1" CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT 1" P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN
  - ⑨ CONSTRUCT 24" MODIFIED CURB AND GUTTER AS PER CITY STANDARDS
  - ⑩ CONSTRUCT "NO PARKING ON STREET" SIGN
  - ⑪ CONSTRUCT 2" P.I. LATERAL
  - ⑫ CONNECT TO EXISTING CULINARY AND P.I. AS REQUIRED (CONTRACTOR TO FIELD VERIFY)
- (24"x36")  
 HORIZONTAL 1" = 20'  
 VERTICAL 1" = 5'
- (11"x17")  
 HORIZONTAL 1" = 40'  
 VERTICAL 1" = 10'



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**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B- PHASE 2"**

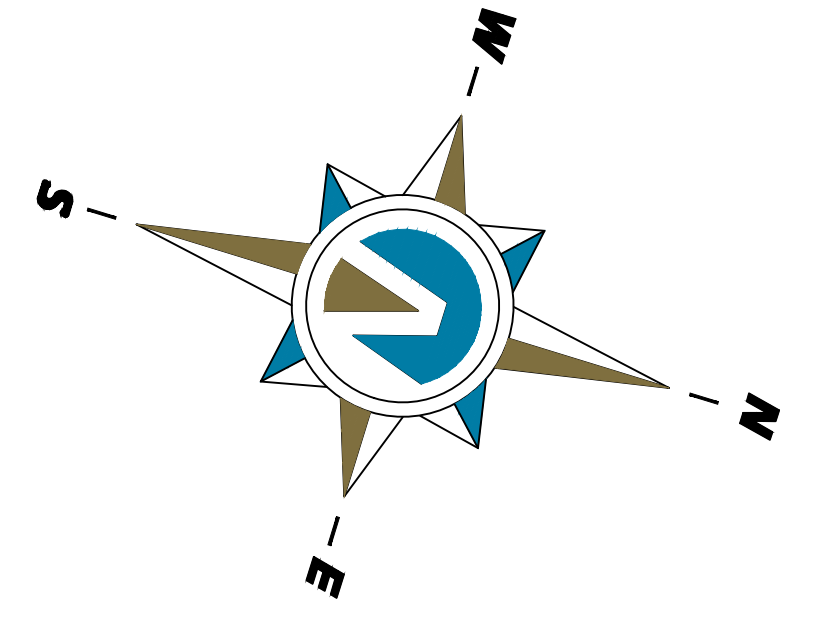
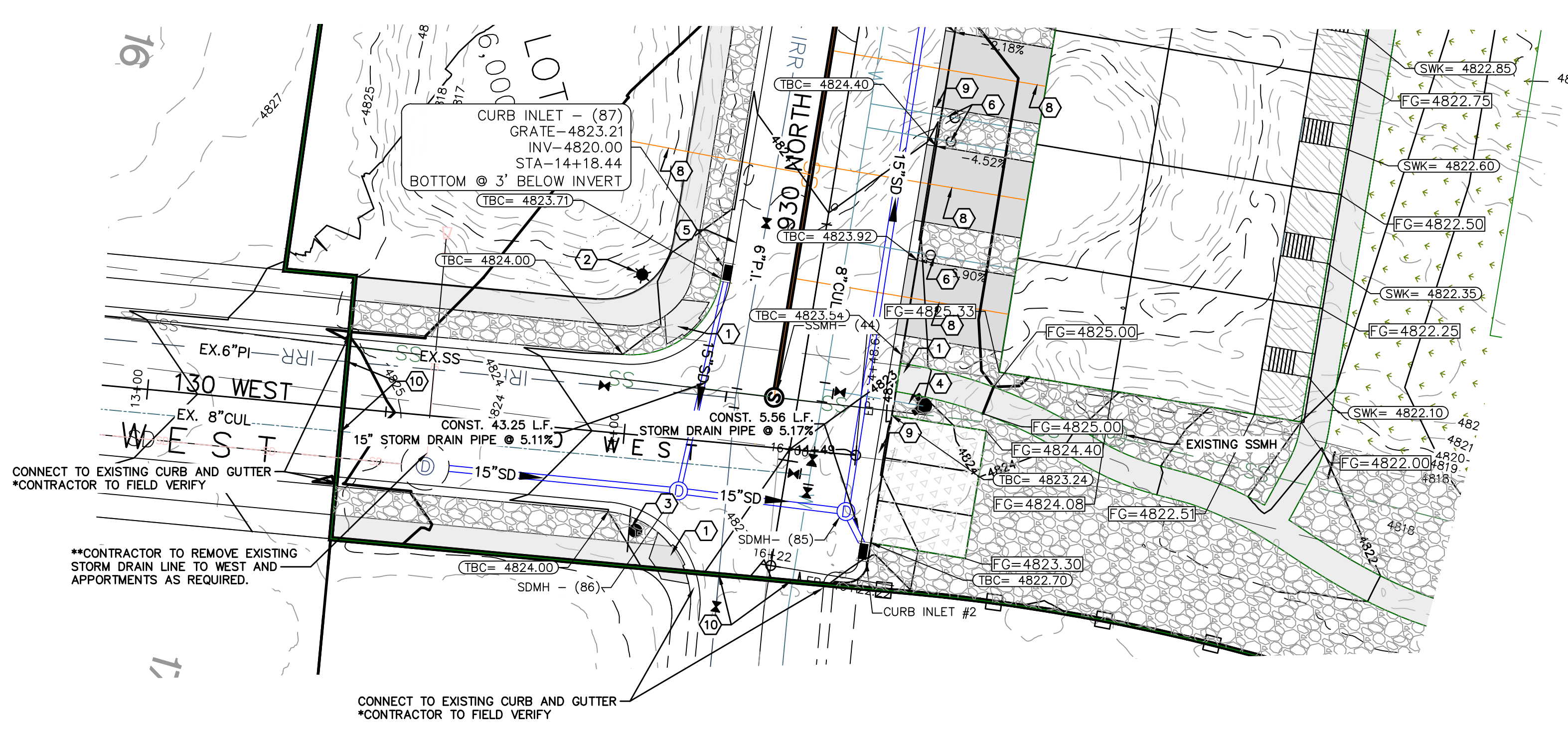
930 NORTH PLAN & PROFILE  
 SANTAQUIN, UTAH

JOB NO. 3-20-031  
 SHEET NO. PP-01



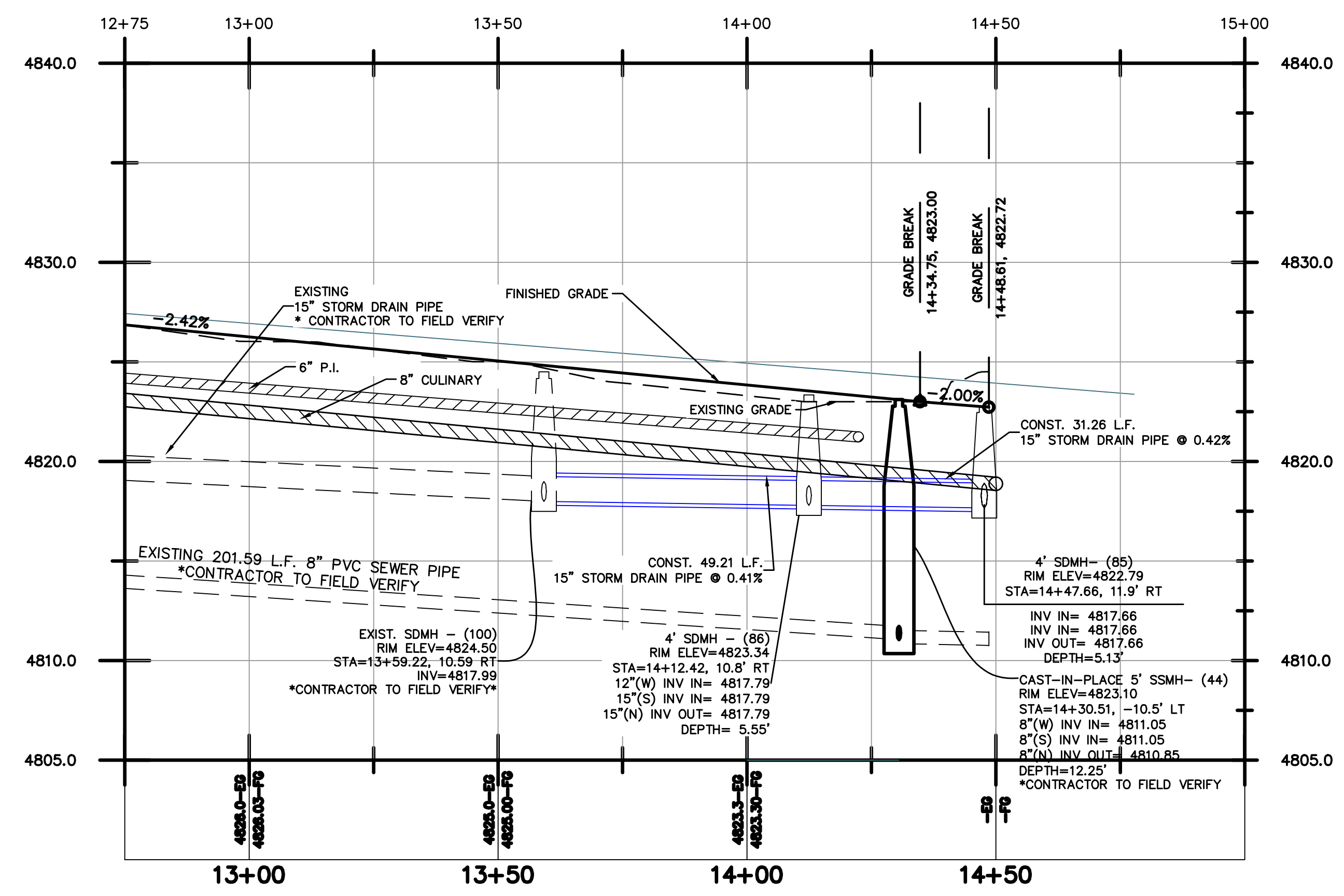
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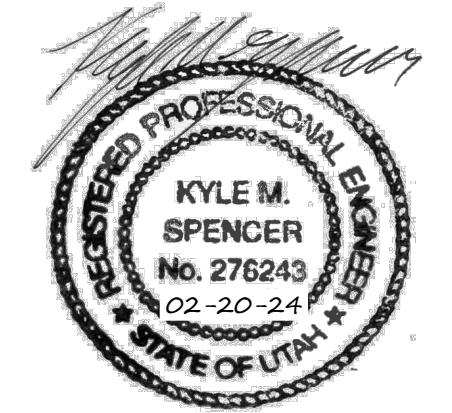
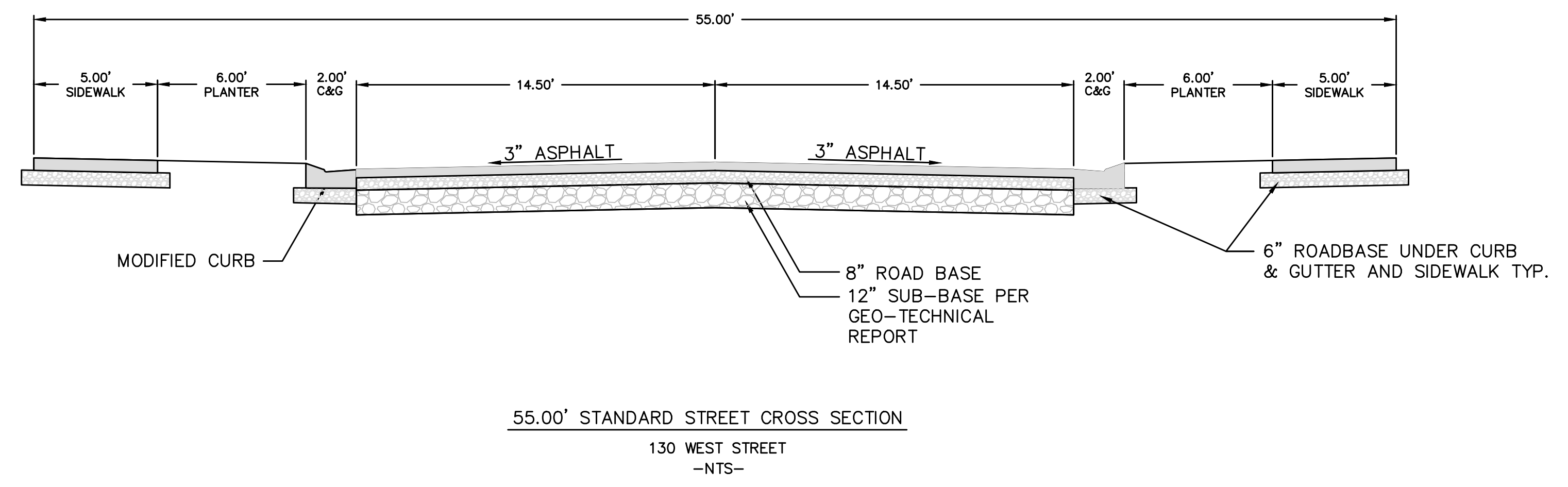
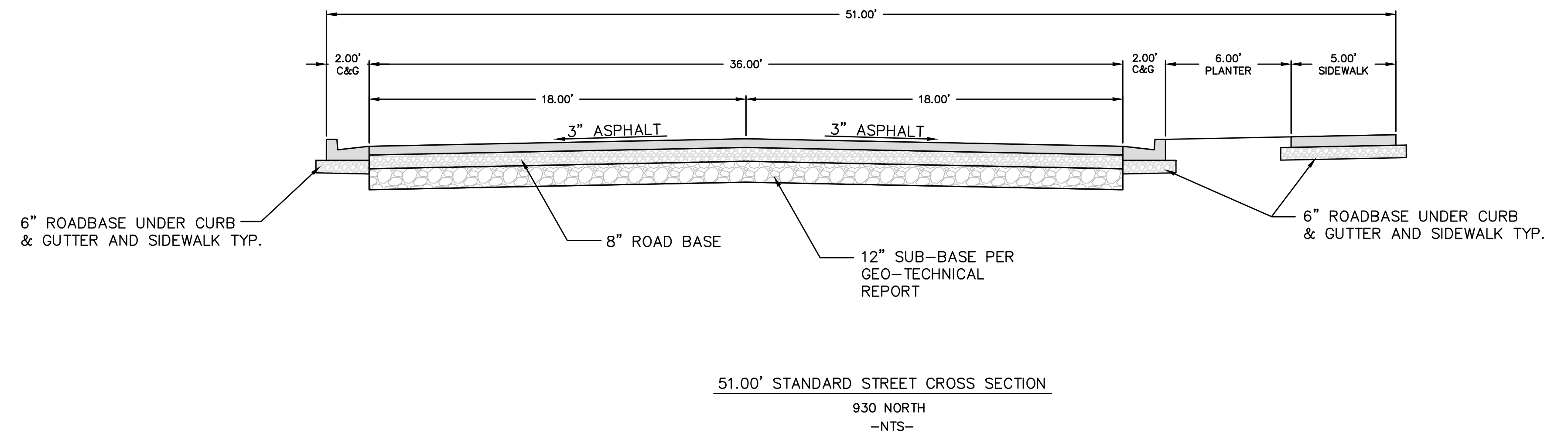
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**APPLE HOLLOW @ THE ORCHARDS "B- PHASE 2"**

130 WEST – PLAN & PROFILE  
 SANTAQUIN, UTAH

JOB NO. 3-20-031  
 SHEET NO. PP-02





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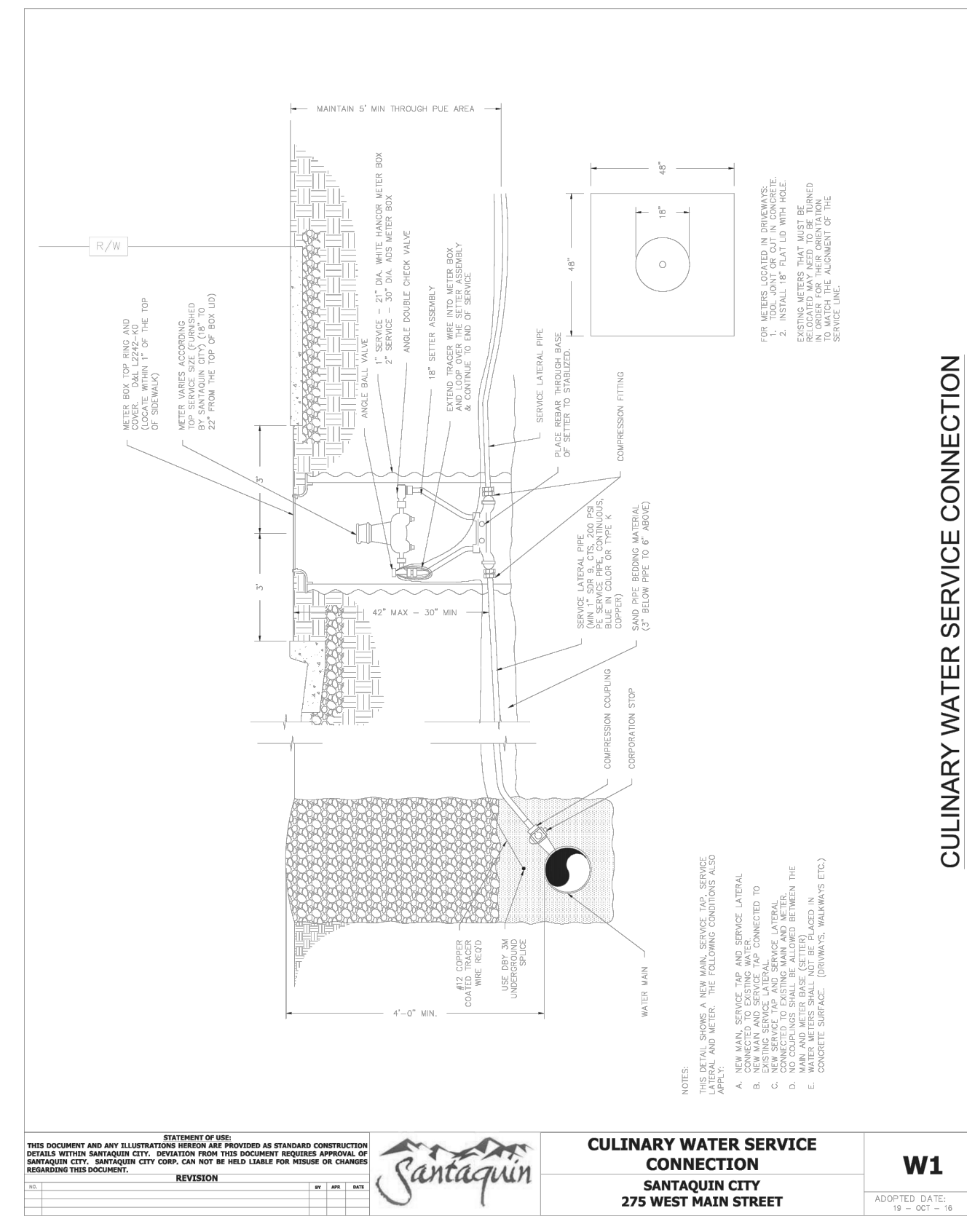
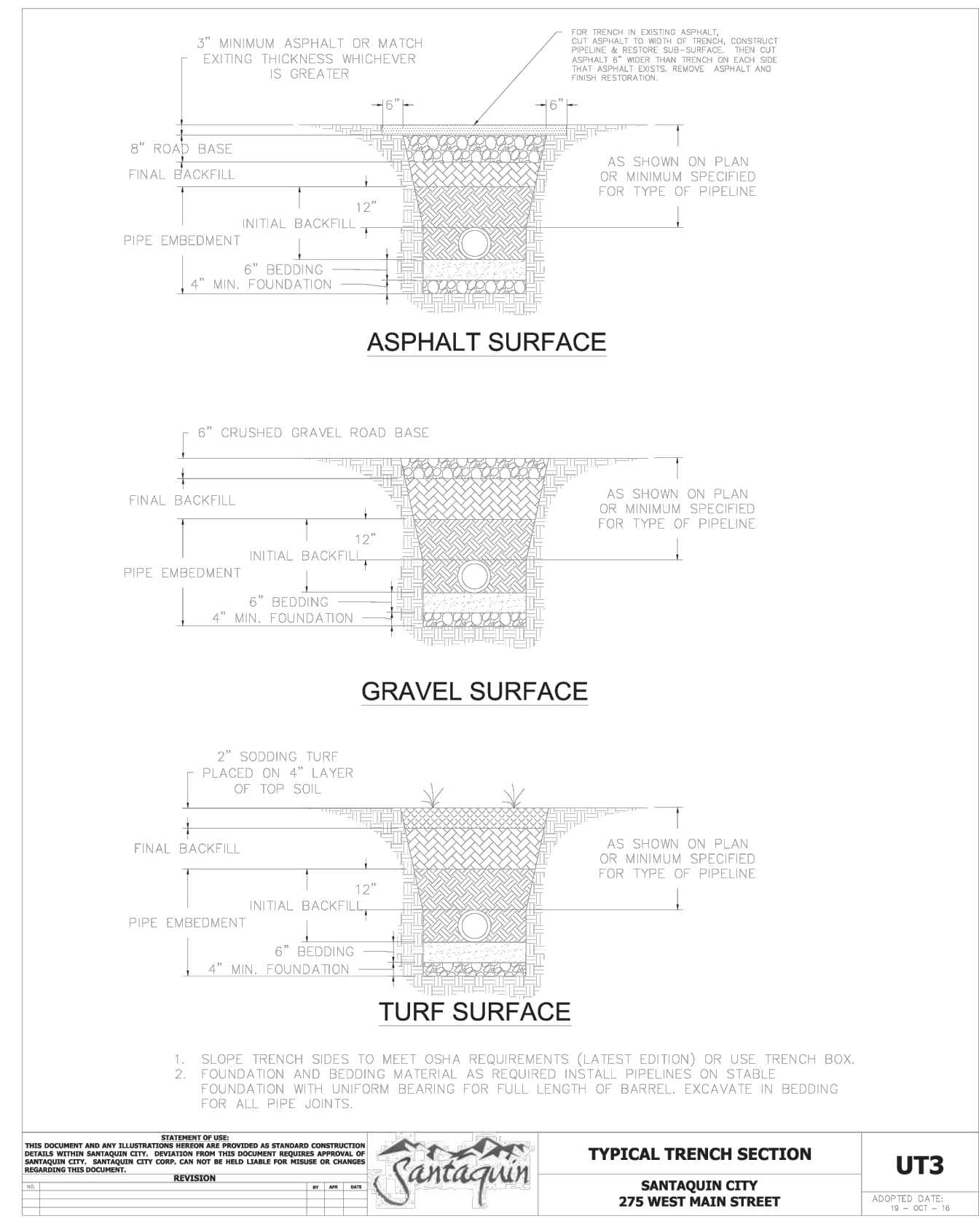
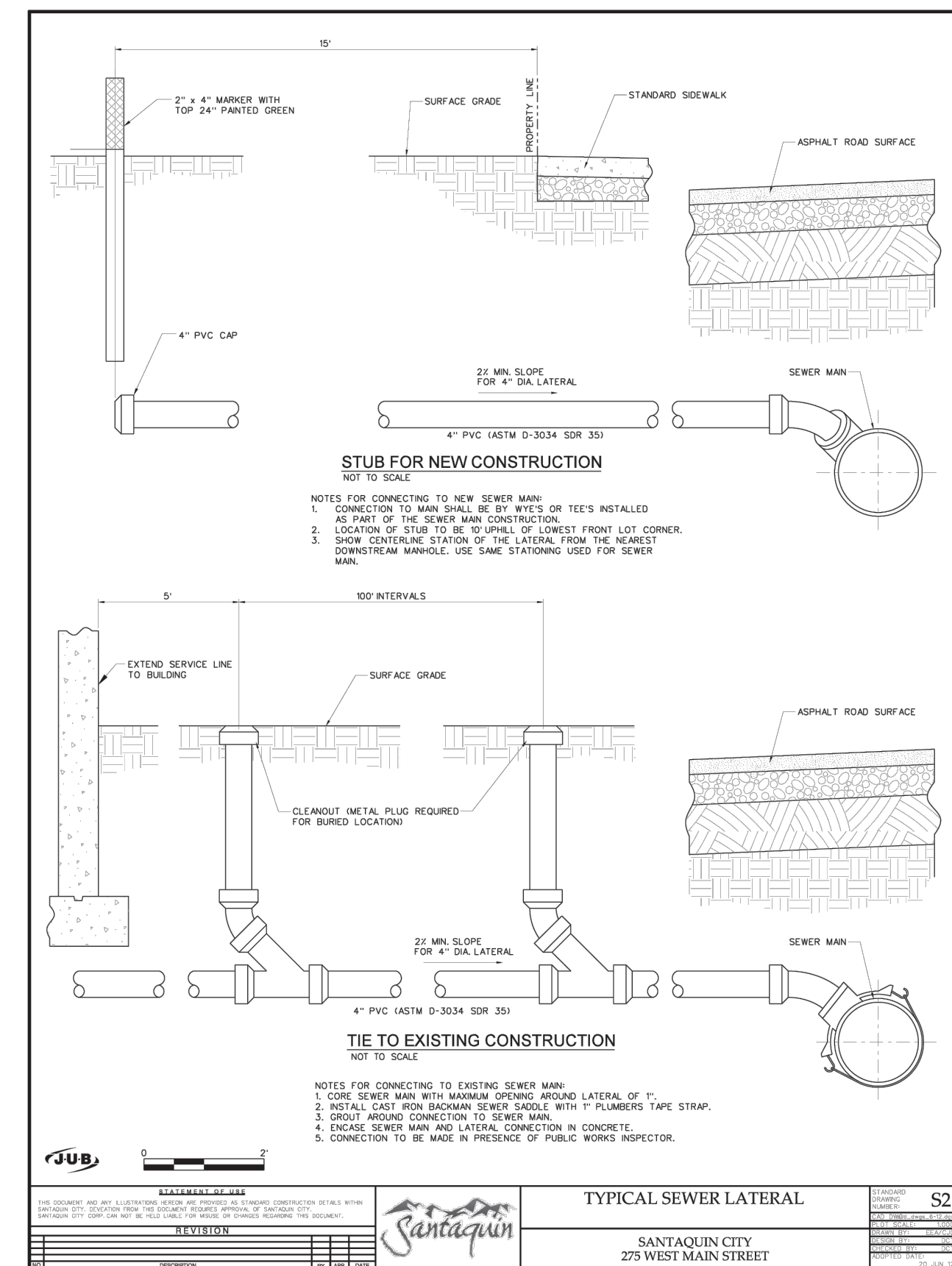
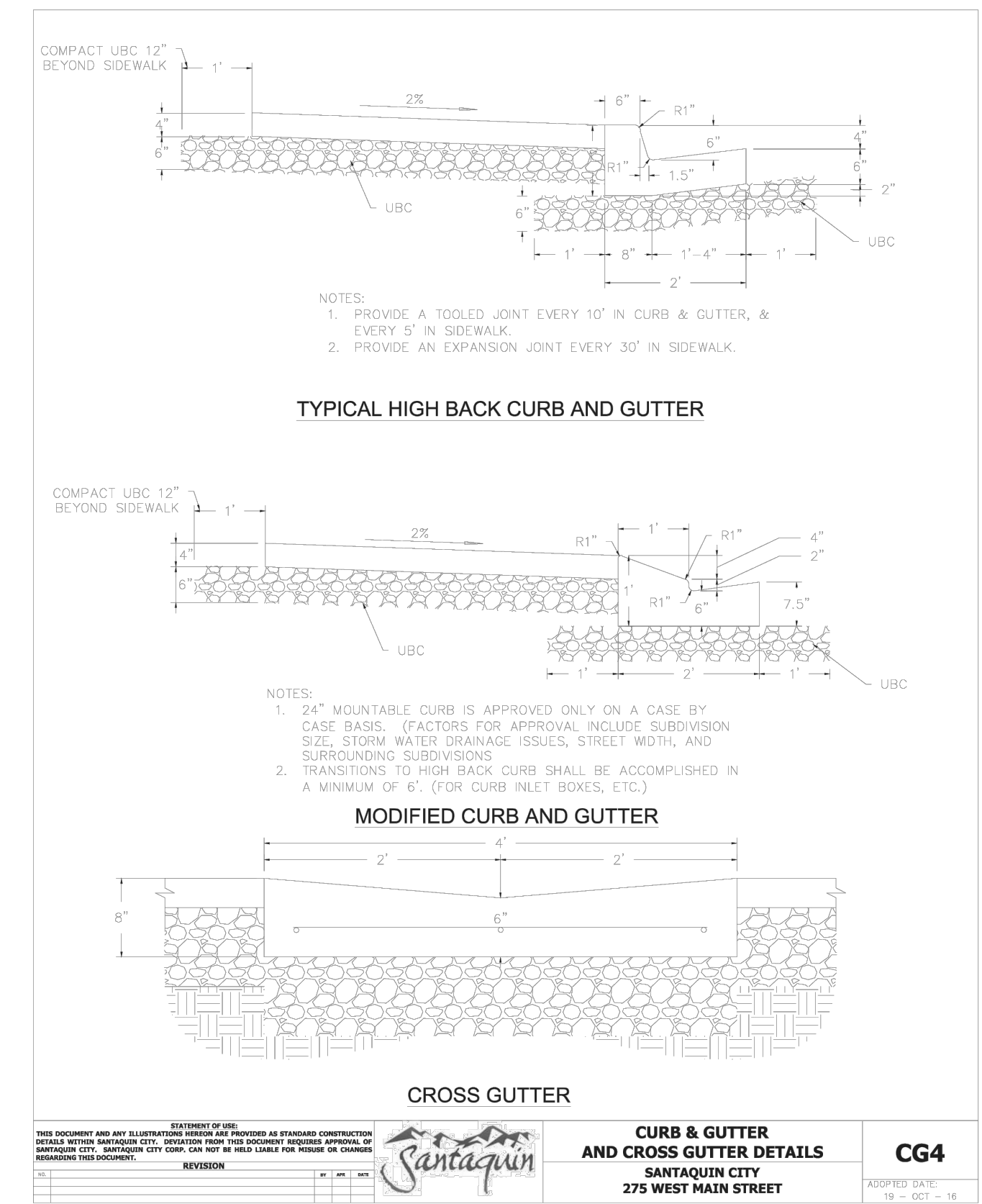
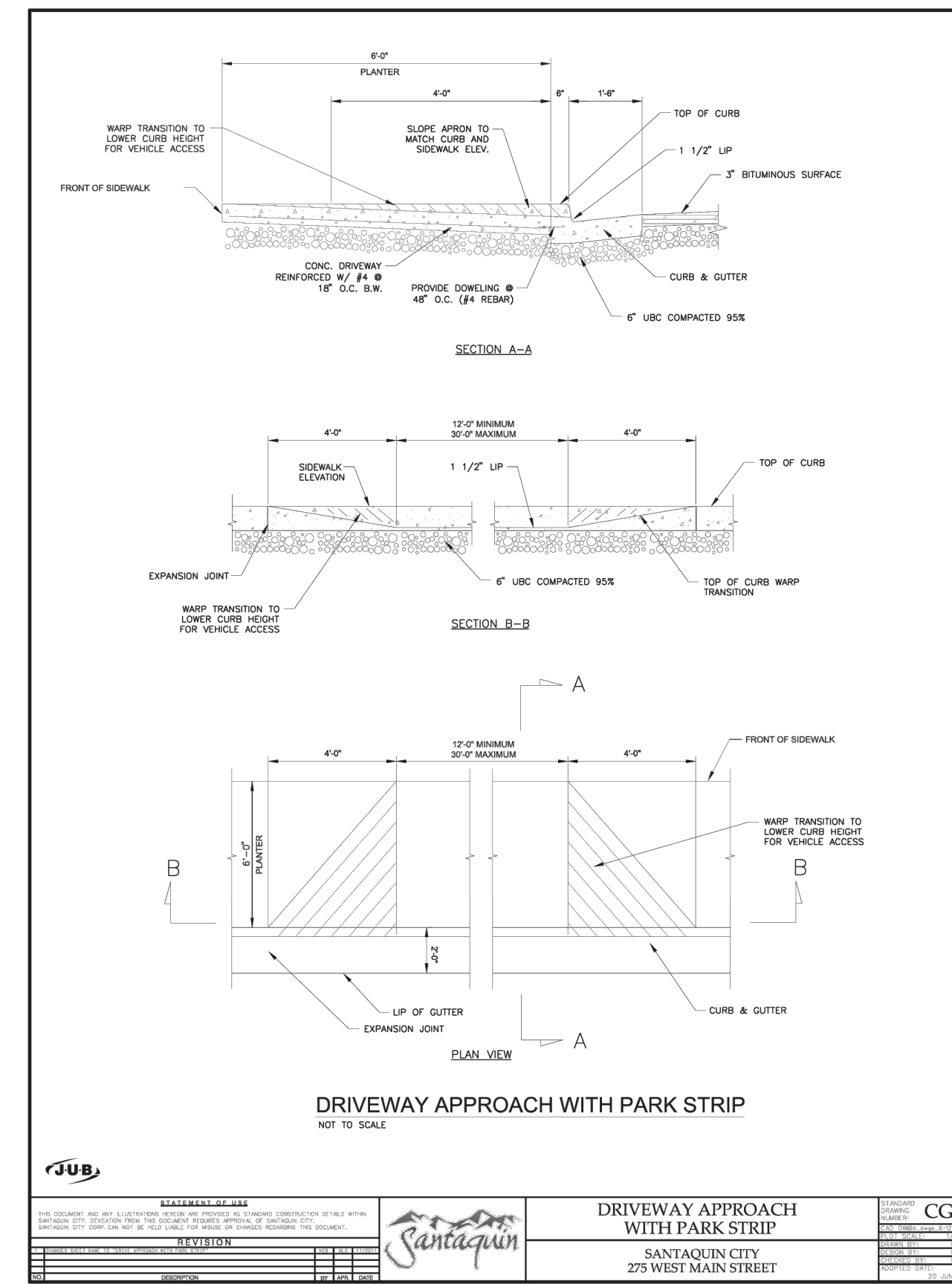
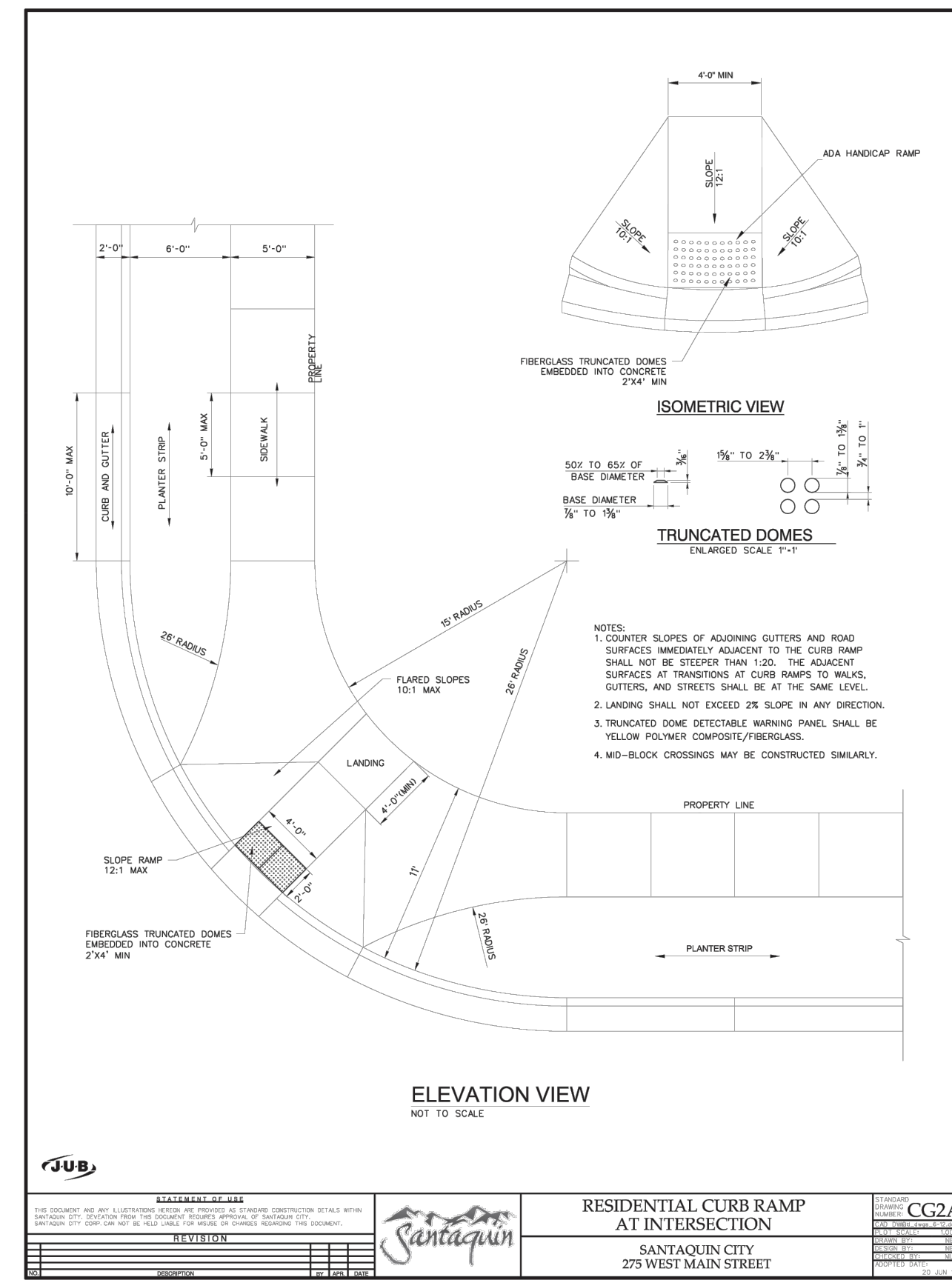
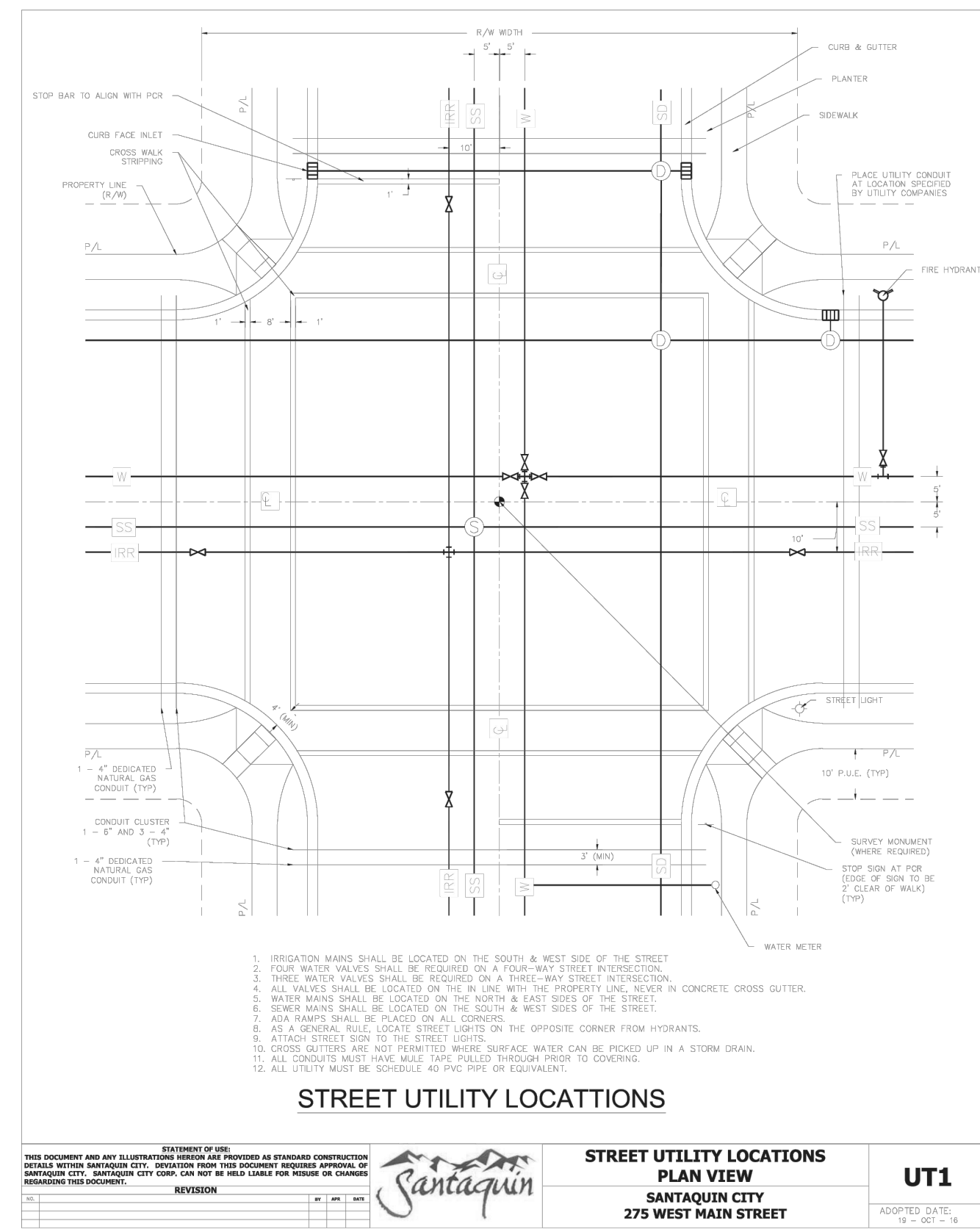
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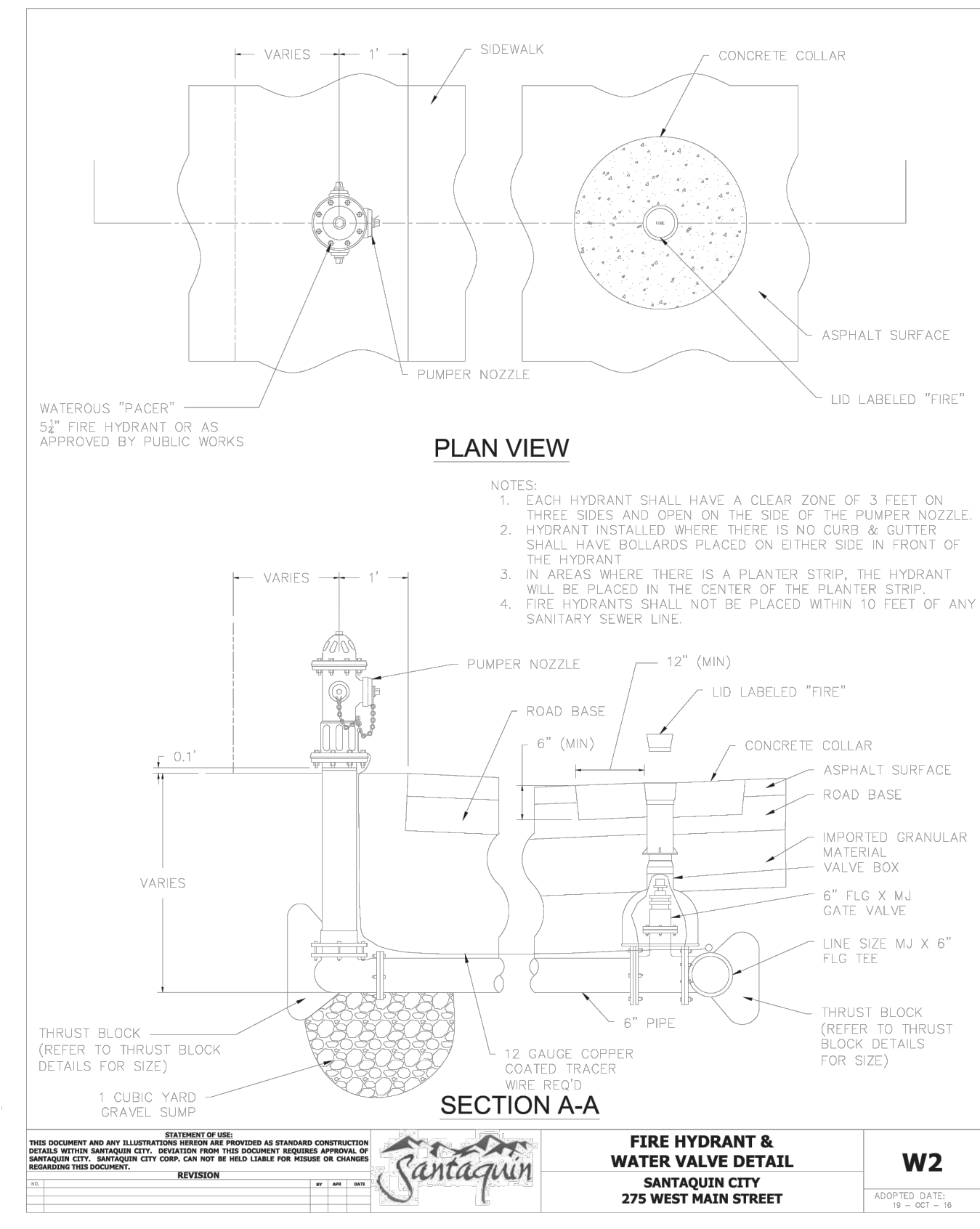
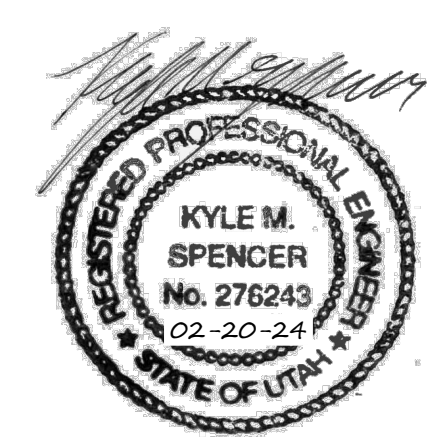
**APPLE HOLLOW @  
THE ORCHARDS "B-2"**

DETAILS	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. DT-01





CULINARY WATER SERVICE CONNECTION



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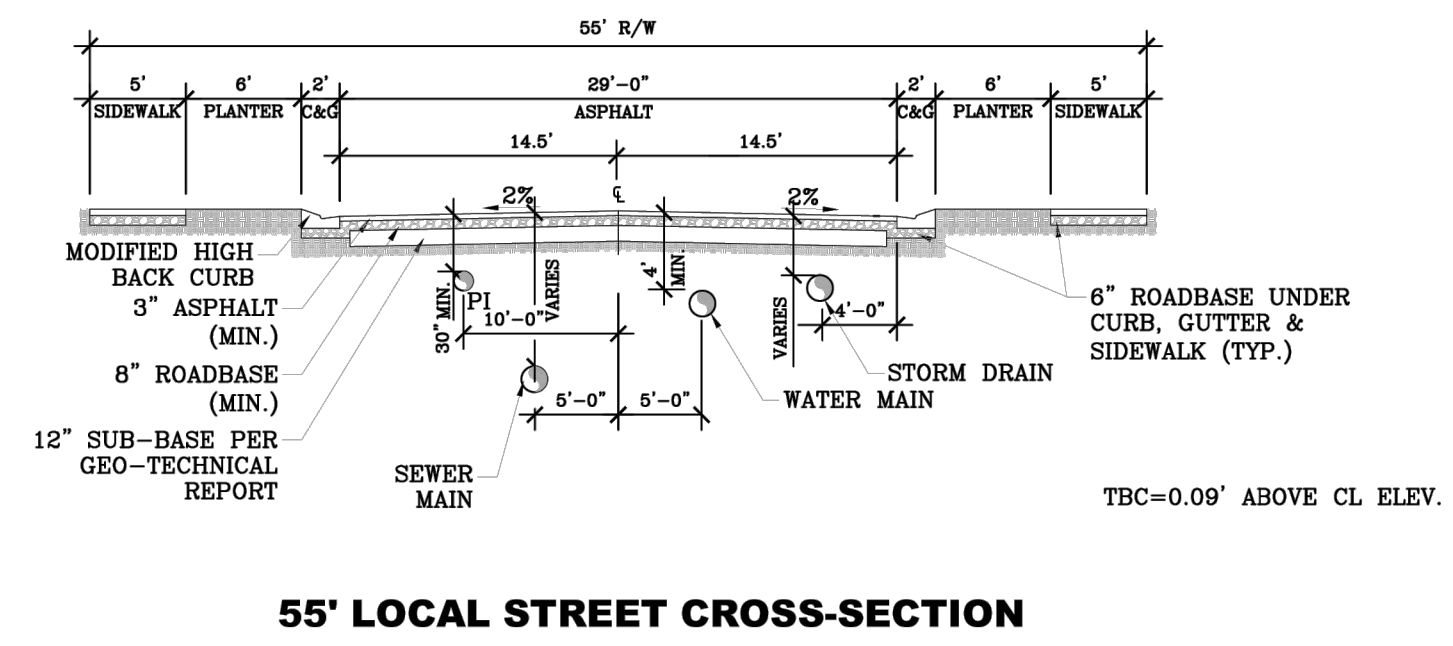
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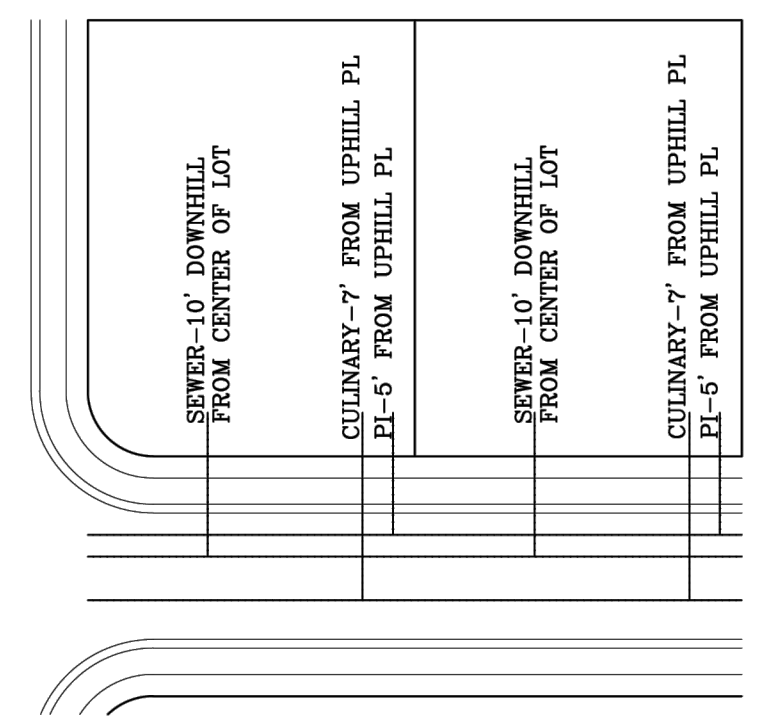
**APPLE HOLLOW @ THE ORCHARDS "B-2"**

DETAILS	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. DT-02

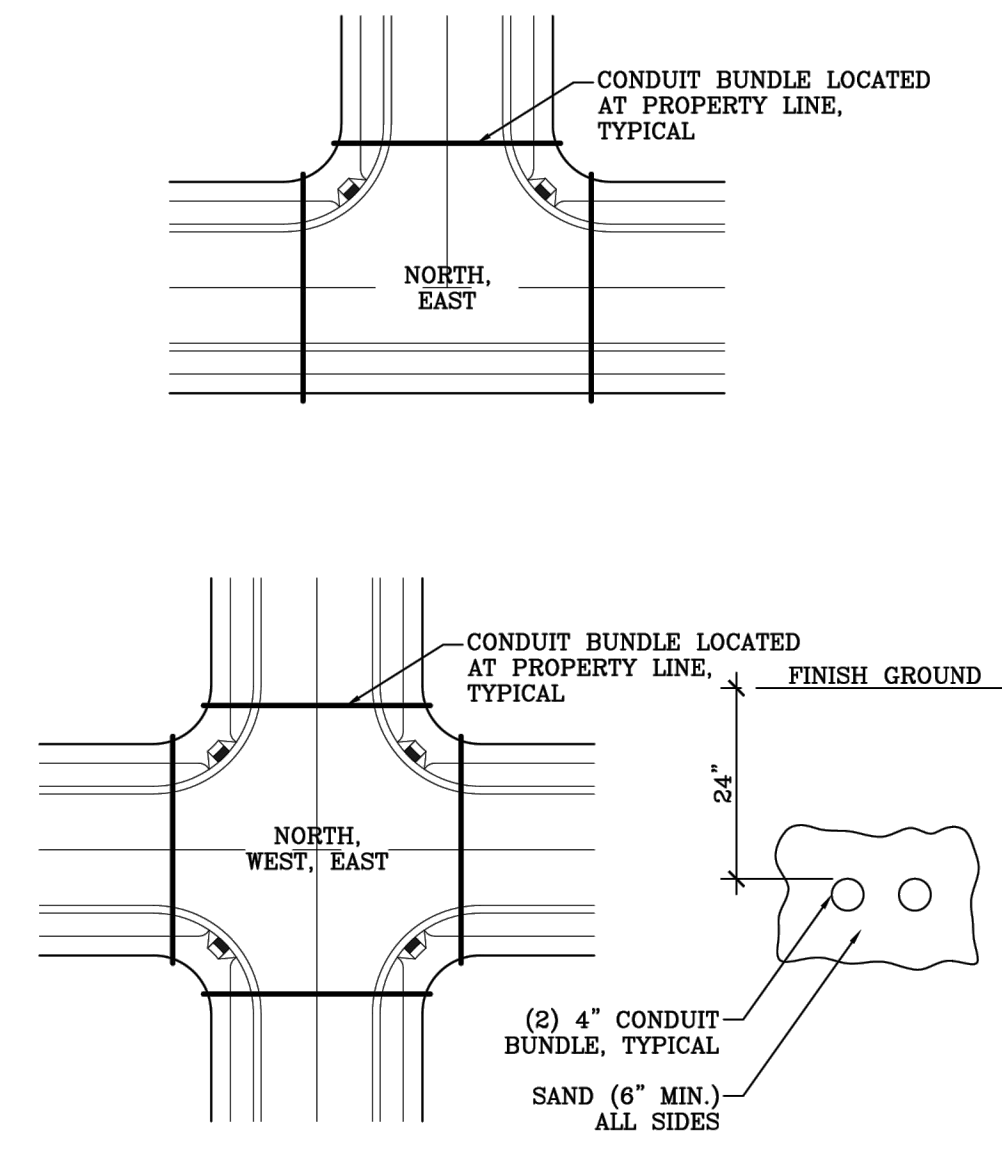




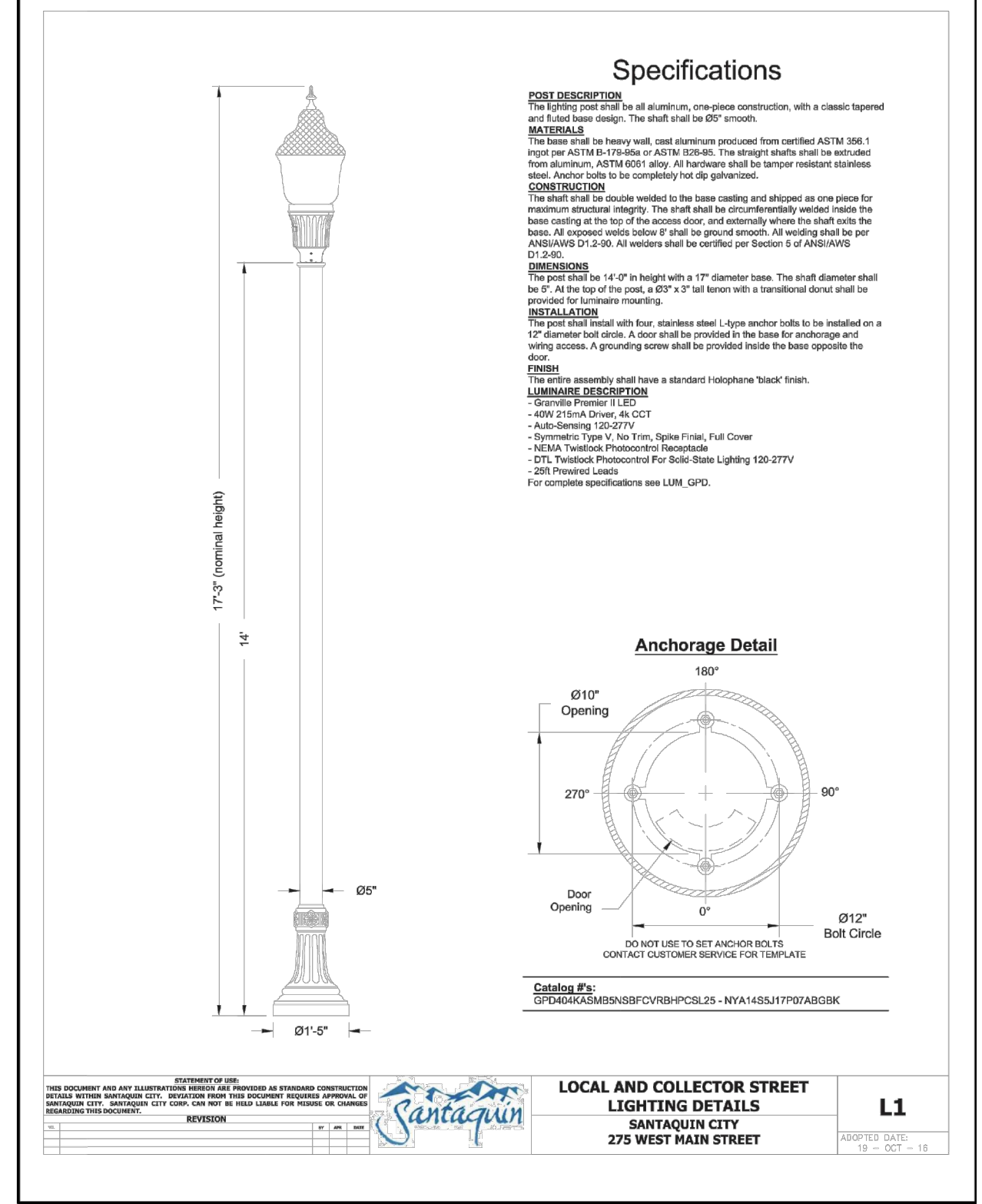
55' LOCAL STREET CROSS-SECTION



LATERAL DETAIL



CONDUIT DETAILS

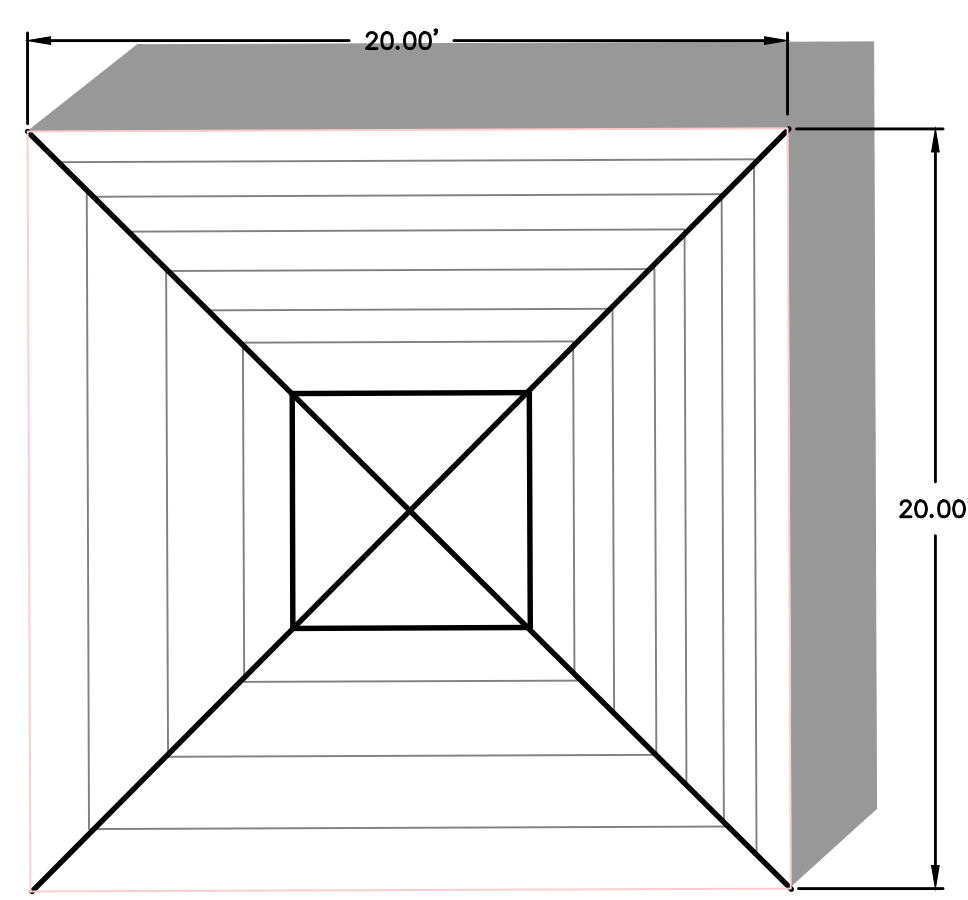


STREET LIGHT DETAIL

STREET CROSS-SECTIONS

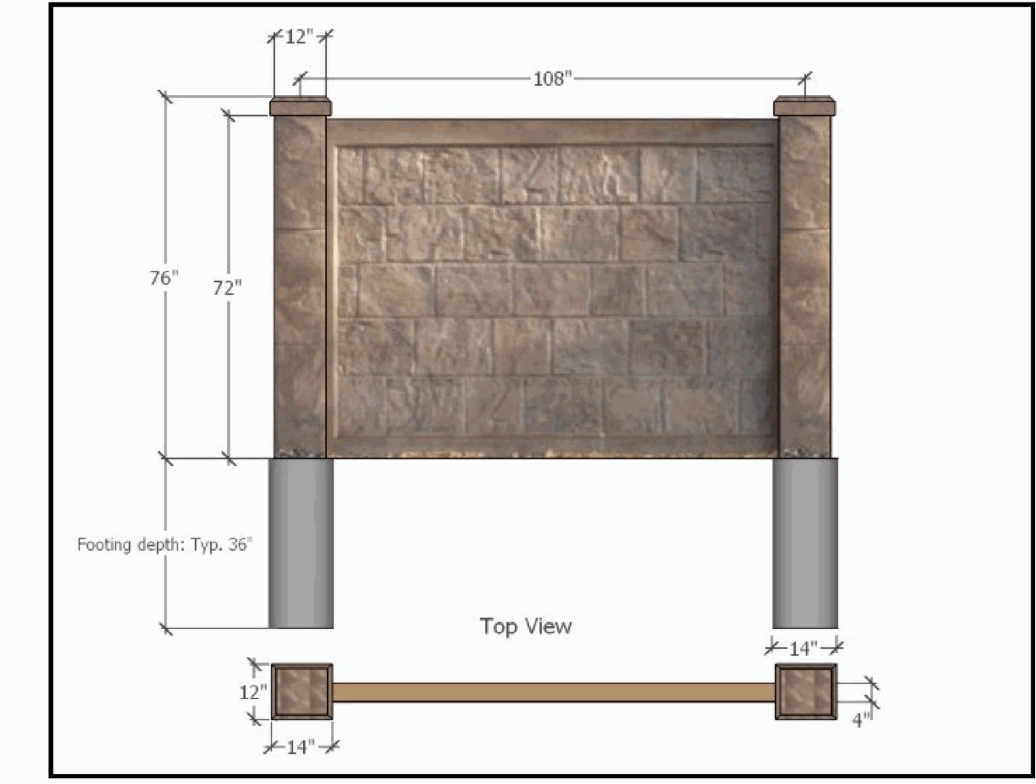


20'X20' PAVILION DETAIL  
PROPOSED PAVILION OR EQUIVALENT  
WITH 4 PICNIC TABLES OR EQUIVALENT  
-NTS-



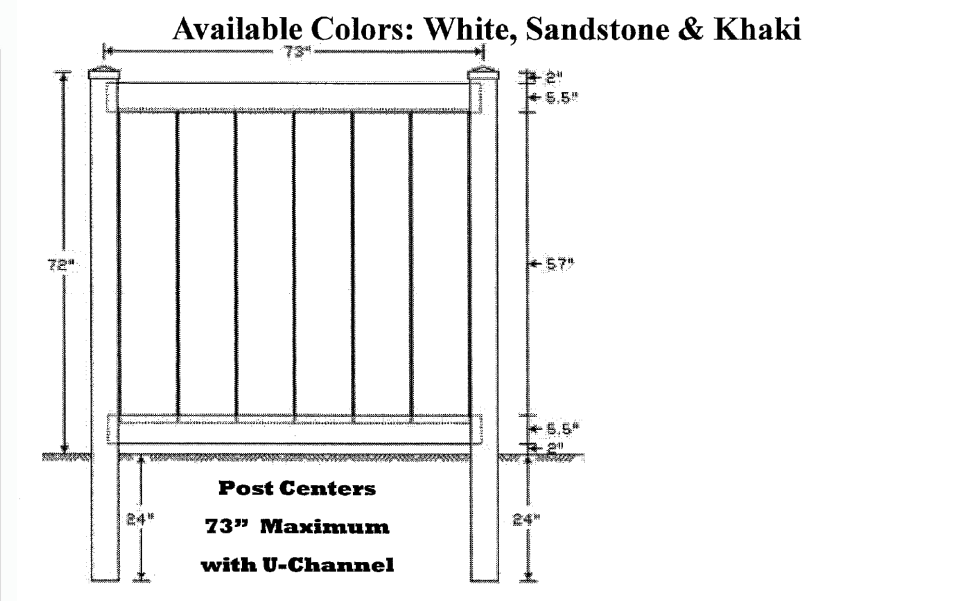
PLAYGROUND DETAIL  
PROPOSED OR EQUIVALENT  
-NTS-

RHINOROCK FENCE SPECIFICATIONS



TECHNICAL INFORMATION: RhinoRock Fence Panel		
Dimension of Panel	182 cm x 259 cm	72"x102"
Weight of Panel	105 kg	230 lbs
Weight per area	21.5kg/m <sup>2</sup>	4.9lbs/ft <sup>2</sup>
Thickness of Panel	115mm	4.5"
EPS foam core thickness	63-95mm	2.5-3.75"
Glass fiber reinforced concrete shell thickness	9mm	5/16"
% glass fiber by volume		4-4.50%
Compressive Strength of proprietary concrete mix design	4x10 <sup>3</sup> N/m <sup>2</sup>	5800 psi
Ultimate tensile strength of glass fiber reinforced concrete	9.6x10 <sup>3</sup> - 1.4x10 <sup>4</sup> N/m <sup>2</sup>	1400-2100 psi
Wind load capacity of panel	225 km/h	140mph with 1.6 safety factor
axial load capacity of panel	1644 kg/lineal meter	1100 lbs/lineal foot
moisture absorption of EPS foam core by total immersion		<4%
Combustibility of glass fiber reinforced concrete shell		Non-combustible
Freeze/thaw performance	200 freeze thaw cycles with no damage	
Delry, fungus, or moldroom attack		none
Termite food source		none

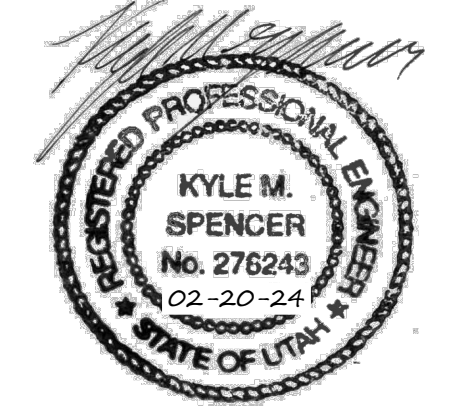
6' CLASSIC PRIVACY FENCE  
¾ x 11 ¼ Panels & 1 ½ x 5 ½ Slotted Rails  
(68" Panel Height)



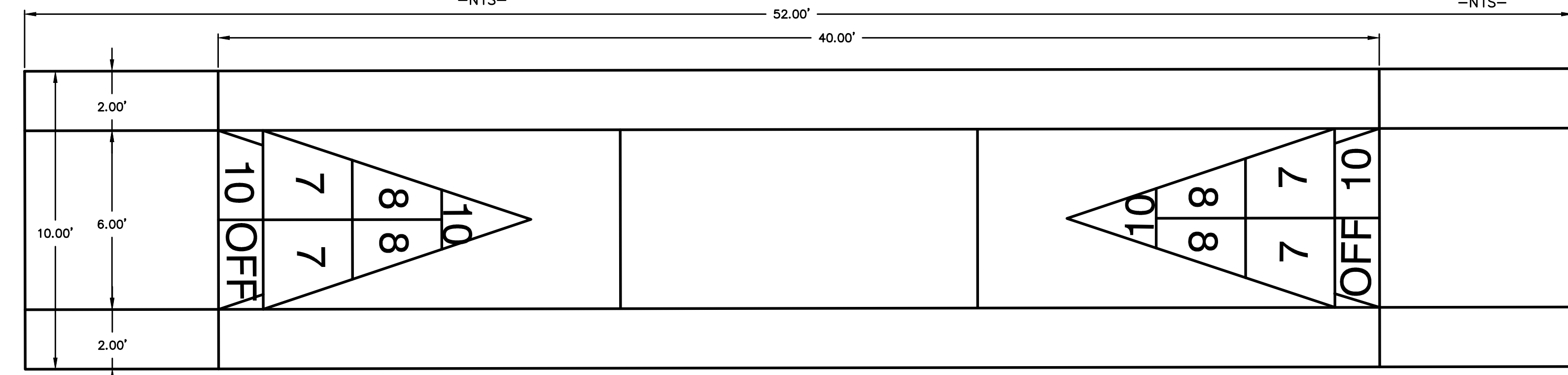
Parts List		
QTY	DESCRIPTION	LENGTH
2	1 ½ x 5 ½ Slotted Rail	72"
6	¾ x 11 ¼ T&G	60
2	¾ U-Channel	60 7/8" - Optional
6	#10 - Screw - (5/16" Hex Head)	¾" - for U-Channel

**Posts**  
5"x 5" - 8' .135 Wall    5" x 5" - 8' .150 Wall  
24" Post Set (Check Local Code Requirements)

NOTE: 6' DECORATIVE MASONRY WALL STAINED & TREATED ON BOTH SIDES W/ANTI-GRAFFITI SEALANT



FENCE DETAIL  
PROPOSED OR EQUIVALENT  
-NTS-



SHUFFLEBOARD DETAIL  
PROPOSED OR EQUIVALENT  
-NTS-

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3					
2					
1					

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT  
1040 E. 800 N. OREM, UTAH 84097 (801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B-PHASE 2"**

DETAILS  
SANTAQUIN, UTAH  
JOB NO. 3-20-031  
SHEET NO. DT-03

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