



## PLANNING COMMISSION

Tuesday, March 24, 2026, at 7:00 PM  
Council Chambers at City Hall Building and Online  
110 S. Center Street, Santaquin, UT 84655

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### WELCOME

### INVOCATION/INSPIRATIONAL THOUGHT

### PLEDGE OF ALLEGIANCE

### ORDER OF AGENDA ITEMS

### PUBLIC FORUM

### DISCUSSION & POSSIBLE ACTION

1. [Scenic Ridge Estate Phase D](#)  
[A preliminary plan review of a 3-lot subdivision located at 430 S 1200 E](#)
2. [Meeting Minutes Approval](#)  
[January 27, 2026](#)
3. [Meeting Minutes Approval](#)  
[March 10, 2026](#)

### STAFF REPORTS

### ADJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at [www.santaquin.gov](http://www.santaquin.gov), in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public

Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:

A handwritten signature in blue ink, appearing to read "Stephanie Christensen", is enclosed within a light gray rectangular box.

---

Stephanie Christensen, City Recorder

# MEMORANDUM



To: Planning Commission

From: Aspen Elmer, City Planner

Date: March 19, 2026

RE: **Scenic Ridge Estates Subdivision Phase D Preliminary Review**

Zone: R-12
Size: 0.94Acres
Lots: 3

The Scenic Ridge Estates Subdivision is located at approximately 430 South and 1200 East. The proposed subdivision consists of 3 single-family lots on 0.94 acres and is in the Residential R-12 zone. The lots range from 12,059 square feet (.28 acres) to 15,244 square feet (0.35 acres). The development must follow the R-12 zoning requirements. Interior lots are required to be at least 12,000 square feet and have 100 feet of frontage. Corner lots are required to be at least 13,225 square feet and have 115 feet of frontage. The proposed subdivision meets all the R-12 zoning requirements.

On February 24, 2026, the Development Review Committee (DRC) reviewed the preliminary plans for the Scenic Ridge Estates Subdivision Phase D and forwarded a favorable recommendation to the Planning Commission, with the condition that redlines be addressed.

This is a preliminary subdivision application review by the Planning Commission to determine whether the proposed subdivision complies with Santaquin City Code. The Planning Commission is the land use authority for preliminary subdivision applications.

**Recommended Subdivision Motion:** “Motion to approve the Scenic Ridge Estates Subdivision Phase D Preliminary Review”

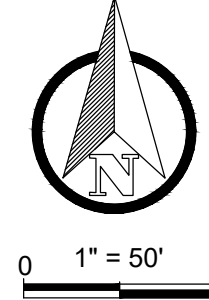
**Attachments:**

- Preliminary plan review

3/9/2026  
D:\2026\4300\_Scenic Ridge Estates\Phase 01\Drawings\Phase 01\Drawings\Phase 01.dwg

**SHEET INDEX**

- SHEET 1 COVER SHEET
- SHEET 2 PLAT
- SHEET 3 PHASING PLAN
- SHEET 4 LOT LAYOUT
- SHEET 5 OVERALL WATER
- SHEET 6 OVERALL SEWER
- SHEET 7 OVERALL STORM DRAIN
- SHEET 8 SLOPE MAP
- SHEET 9 CONSTRUCTION TRAFFIC MAP
- SHEET 10 OVERALL GRADING PLAN
- SHEET 11 PLAN AND PROFILE (1200 EAST STREET)
- SHEET 12 PLAN AND PROFILE (430 SOUTH STREET)
- SHEET 13 DETAIL SHEET
- SHEET 14 DETAIL SHEET
- SHEET 15 DETAIL SHEET
- SHEET 16 EROSION CONTROL PLAN

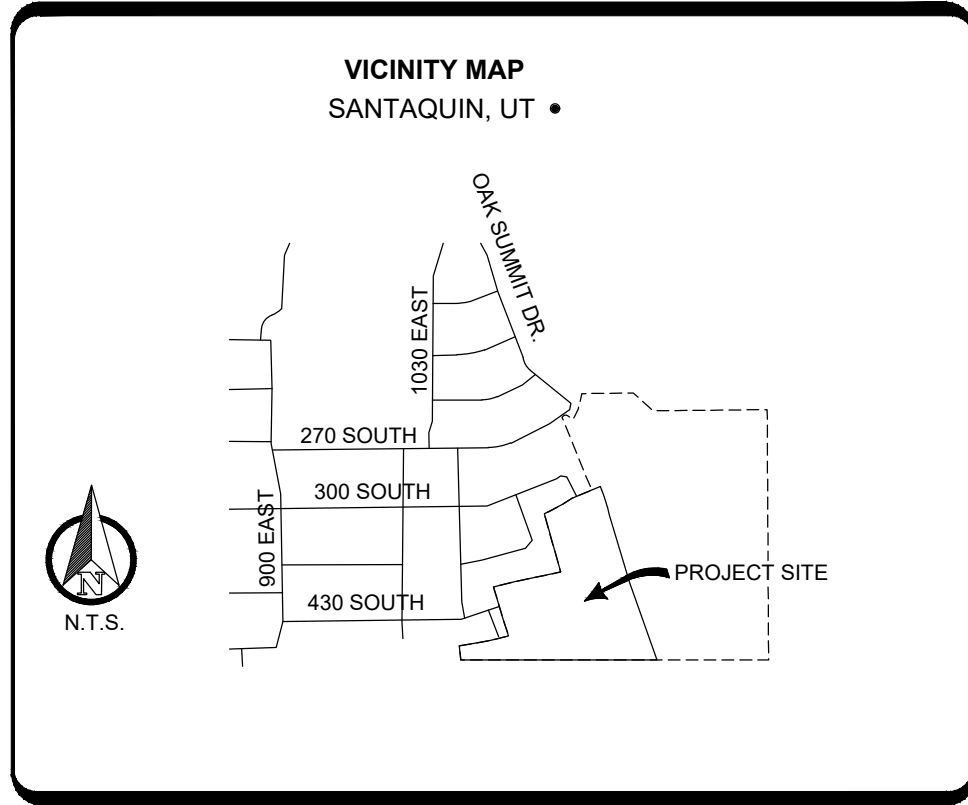


PHASE D DENSITY TABLE		
ZONE	R-12	
LOTS	3 RESIDENTIAL	
TOTAL ACREAGE	0.94 +/-	100%
LOT ACREAGE	0.94 +/-	100%



**PROPERTY OWNER**  
 NJC DEVELOPMENT, LLC  
 690 E. 600 S.  
 SANTAQUIN, UTAH, 84655

**PROPERTY DEVELOPER**  
 BASTIAN HOMES, LLC  
 1184 S. 1150 W.  
 PAYSON, UTAH, 84651

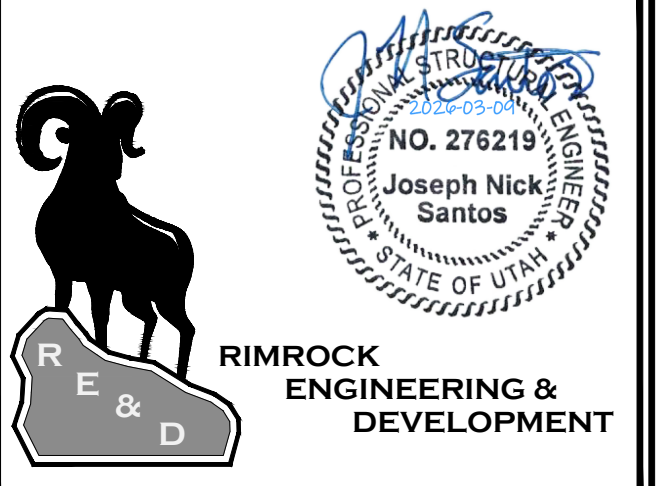


**SHEET NOTES**

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

**SHEET LEGEND**

**PLAN REVISIONS**



CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

**PROJECT NAME**

**SCENIC RIDGE ESTATES PHASE D**

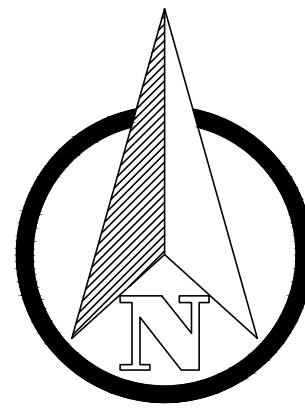
**SHEET NAME**

**COVER SHEET**

PLAN SUBMITTAL: FINAL

PERMIT SET  
 3/9/26

SHEET NUMBER  
**1**



0 1" = 50' 1"

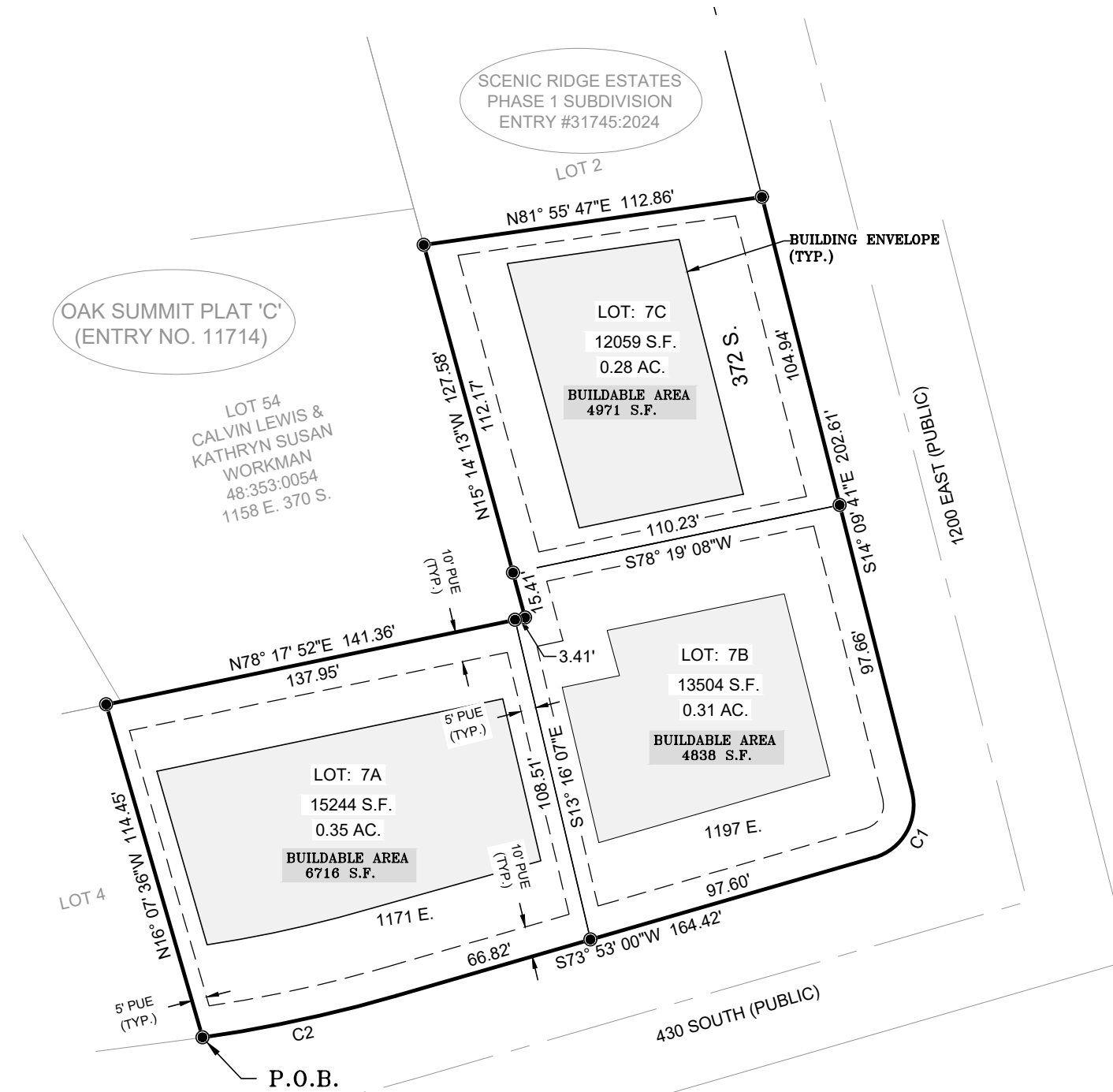
# SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1 CREATING LOTS 7A, 7B & 7C

LOCATED IN THE:  
SOUTHWEST QUARTER OF SECTION 6,  
TOWNSHIP 10 SOUTH, RANGE 2 EAST  
SALT LAKE BASE AND MERIDIAN,  
SANTAQUIN CITY, UTAH COUNTY, UTAH

### GENERAL PLAT NOTES

- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E) IS CREATED ALONG THE FRONT OF EACH LOT AND 5.00 FOOT ALONG THE REAR AND INTERIOR SIDE YARD. PER THIS PLAT. EACH LOT ALONG A STREET REQUIRES A 10.00 FOOT WIDE FRONT AND SIDE YARD PUBLIC UTILITY EASEMENT.
- THE SCENIC RIDGE PHASE 1 SUBDIVISION ENTRY#31745:2024 BOUNDARY RECORDED IN THE UTAH COUNTY RECORDERS OFFICE. WAS ESTABLISHED FROM A COMPLETED RECORD OF SURVEY BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE. THIS PLAT AMENDMENT WAS ESTABLISHED USING THE SCENIC RIDGE PHASE 1 PLAT.
- ZONING: R-12 SETBACKS (BUILDABLE AREA) PER CODE 10.20.090: DETACHED SINGLE-FAMILY DEVELOPMENT STANDARDS: (TABLE)
- FRONT YARD- FRONT SETBACKS TO THE LIVING AREA FROM ALL STREET FRONTING PROPERTY LINES: 30.0 SIDE YARD - 10.0 FEET (25.0 FEET STREET SIDE YARD)  
REAR YARD - 25.0 FEET. (SEE SHEET 2)
- AT THE TIME THAT THIS PLAT WAS PREPARED, THE PROPERTY OWNER WAS NJC DEVELOPMENT, LLC. PER WARRANTY DEED, ENTRY NUMBER 1477-2025, AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE, UTAH COUNTY PARCEL NUMBERS 32-040-0082, 32-040-0083.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.
- ALL LOTS LOCATED IN THE SANTAQUIN WUI ZONE AND MUST BE BUILT TO THE 2006 UTAH WUI CODE (SCC 9.05.010)

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.66	18.00	88°02'41"	N29°51'39"E	25.02
C2	65.53	472.00	7°57'15"	N77°51'37"E	65.47

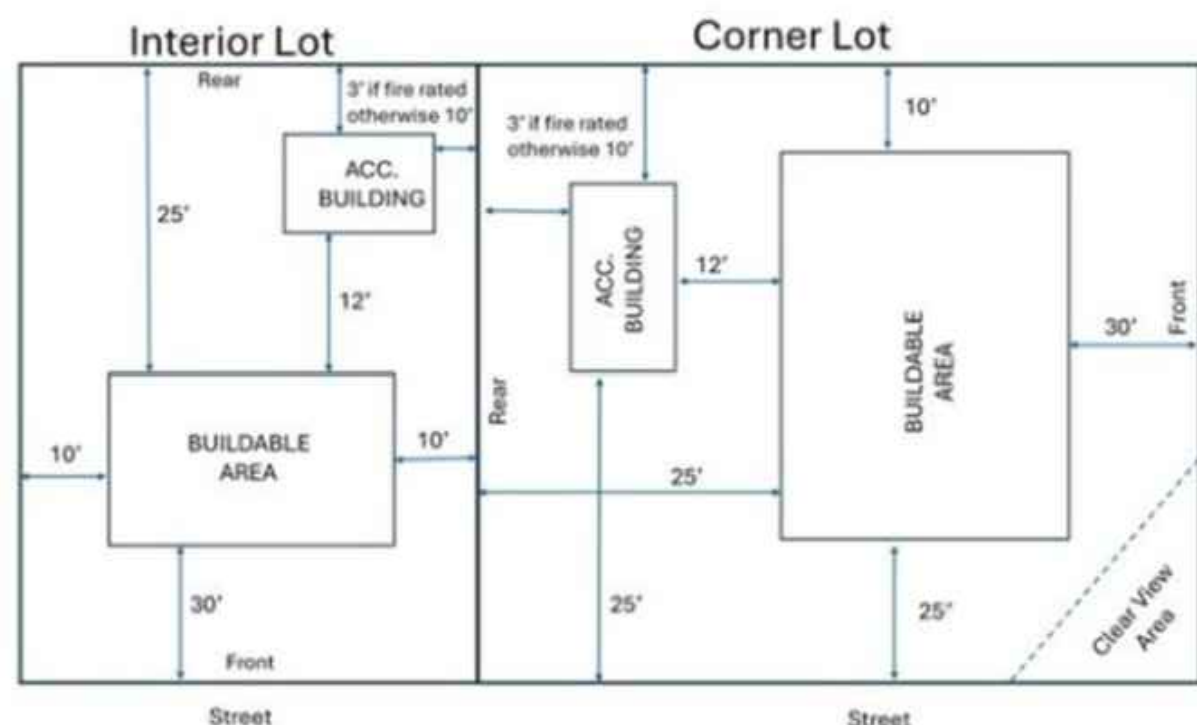


### SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, SANTAQUIN CITY, UTAH COUNTY, UTAH:  
ALL OF LOT 7, SCENIC RIDGE ESTATES SUBDIVISION AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDERS OFFICE ENTRY NUMBER 31745-2024. MORE PATICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 1450.88 FEET SOUTH 89°40'47" EAST AND 333.95 FEET NORTH FROM THE SOUTHWEST CORNER SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN. SAID POINT BEING THE SOUTHEAST CORNER LOT 4 SCENIC RIDGE ESTATES SUBDIVISION PHASE 1. CONTINUING THENCE NORTH 16°07'36" WEST 114.45 FEET ALONG THE EAST LINE OF SAID LOT 4 TO THE SOUTH LINE OF OAK SUMMIT PLAT C. SUBDIVISION; THENCE NORTH 78°17'52" EAST 141.36 FEET ALONG SAID PLAT C; THENCE NORTH 15°14'13" WEST 127.58 FEET ALONG SAID PLAT C TO THE SOUTHWEST CORNER LOT 2 SCENIC RIDGE ESTATES SUBDIVISION PHASE 1; THENCE DEPARTING FROM SAID PLAT C SUBDIVISION NORTH 81°55'47" EAST 112.86 FEET ALONG THE SOUTH LINE OF SAID LOT 2 TO THE WEST LINE OF 1200 EAST STREET; THENCE SOUTH 14°09'41" EAST 202.61 FEET ALONG SAID WEST LINE TO THE BEGINNING OF A 18.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 27.66 FEET ALONG SAID CURVE TO THE RIGHT TO THE NORTH LINE OF 430 SOUTH STREET (DELTA= 88°02'41" CHORD BEARS SOUTH 29°51'39" WEST 25.02 FEET); THENCE SOUTH 73°53'00" WEST 164.42 FEET ALONG SAID NORTH LINE TO THE BEGINNING OF A 472.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 65.53 FEET ALONG SAID CURVE AND NORTH LINE (DELTA= 7°57'15" CHORD BEARS SOUTH 77°51'37" WEST 65.47 FEET) TO THE POINT OF BEGINNING.

CONTAINING 40,807 S.F. OR 0.94 AC.



### ACCEPTANCE BY LEGISLATIVE BODY

THE PLANNING COMMISSION OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2026.

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_ ENGINEER (SEE SEAL) \_\_\_\_\_

ATTEST - CLERK RECORDER (SEE SEAL) \_\_\_\_\_

### CITY ENGINEER

\_\_\_\_\_  
(SEAL)

### CLERK - RECORDER

\_\_\_\_\_  
(SEAL)

### UTILITY APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER: \_\_\_\_\_ DATE: \_\_\_\_\_

CETRAMCOM: \_\_\_\_\_ DATE: \_\_\_\_\_

CENTURY LINK: \_\_\_\_\_ DATE: \_\_\_\_\_

### DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DOMINION ENERGY

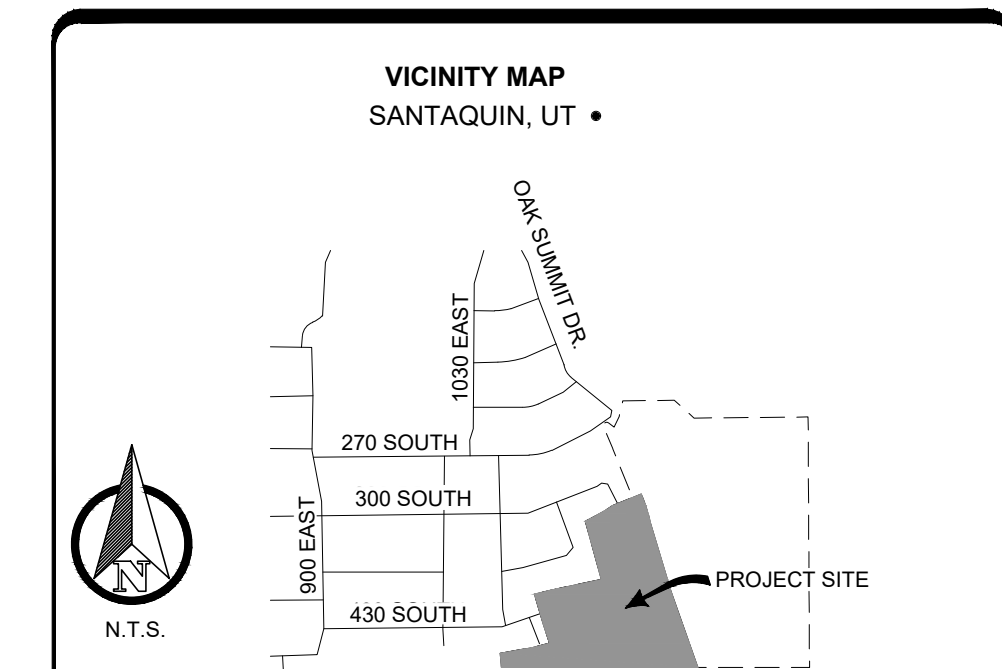
BY: \_\_\_\_\_

TITLE: \_\_\_\_\_

PROPERTY OWNER/DEVELOPER  
NJC DEVELOPMENT  
978 E 430 S, SANTAQUIN  
UTAH 84655

### LEGEND

- SECTION CORNER (FOUND)
- SECTION LINE
- BOUNDARY LINE
- PARCEL LINE
- SET MONUMENT (AS NOTED)
- FOUND MONUMENT
- CHAIN LINK FENCE
- WIRE FENCE
- EDGE OF ASPHALT



SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1  
LOT 7 AMENDED, AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1  
SW 1/4 OF SEC 6, T10S, R2E, SLB&M  
SANTAQUIN CITY, UTAH COUNTY, UTAH

PROJECT #:  
RGC2413-07-01

DATE:  
03/09/2026

SHEET NO:  
1 OF 1

DRAWN: AP

CHECKED: TG

TRAVIS R. GOWER  
P.L.S. 6439364

March 9, 2026  
DATE

### SURVEYOR'S CERTIFICATE

I, TRAVIS R. GOWER, EMPLOYED BY RIMROCK ENGINEERING AND DEVELOPMENT, CONTACT NUMBER, 801-837-0633, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS LICENSING ACT AND THAT I HOLD CERTIFICATE NUMBER 6439364 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND BY THE AUTHORITY OF THE OWNER(S), I HAVE REVIEWED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, IN OCTOBER 2021, IN ACCORDANCE WITH A RECORD OF SURVEY PREPARED BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS, HEREAFTER TO BE KNOWN AS: SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1

### OWNER'S DEDICATION AND CONSENT TO RECORD

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1, CREATING LOTS 7A, 7B & 7C. DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

AS WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, A.D.

BY: NJC DEVELOPMENT LLC. DATE \_\_\_\_\_  
NEIL J. CRAIG

### ACKNOWLEDGMENT

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY \_\_\_\_\_ WHO REPRESENTED THAT (S)HE IS THE AUTHORIZED SIGNER FOR NJC DEVELOPMENT LLC. AND THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_

PRINTED NAME OF NOTARY PUBLIC \_\_\_\_\_

RESIDING IN \_\_\_\_\_, UTAH

STATE OF UTAH } S.S.

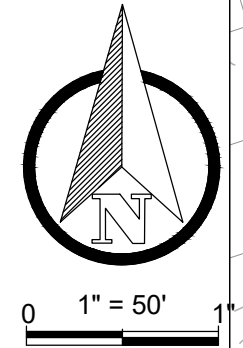
COUNTY OF \_\_\_\_\_ }

MY COMMISSION EXPIRES: \_\_\_\_\_

MY COMMISSION NUMBER: \_\_\_\_\_ (NOTARY STAMP)



C:\TEMP\4480\_0816\Scenic\_Ridge\_Estado\PhaseD\SCENIC RIDGE PHASE D\DWG\Scenic\_Ridge\_Phase D\_Layout1.dwg 3/9/2026



PHASE D DENSITY TABLE		
ZONE	R-12	
LOTS	3 RESIDENTIAL	
TOTAL ACREAGE	0.94 +/-	100%
LOT ACREAGE	0.94 +/-	100%

NOTE:  
SEE SHEET 2 FOR ROADWAY AND  
RESIDENTIAL LOT INFORMATION



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

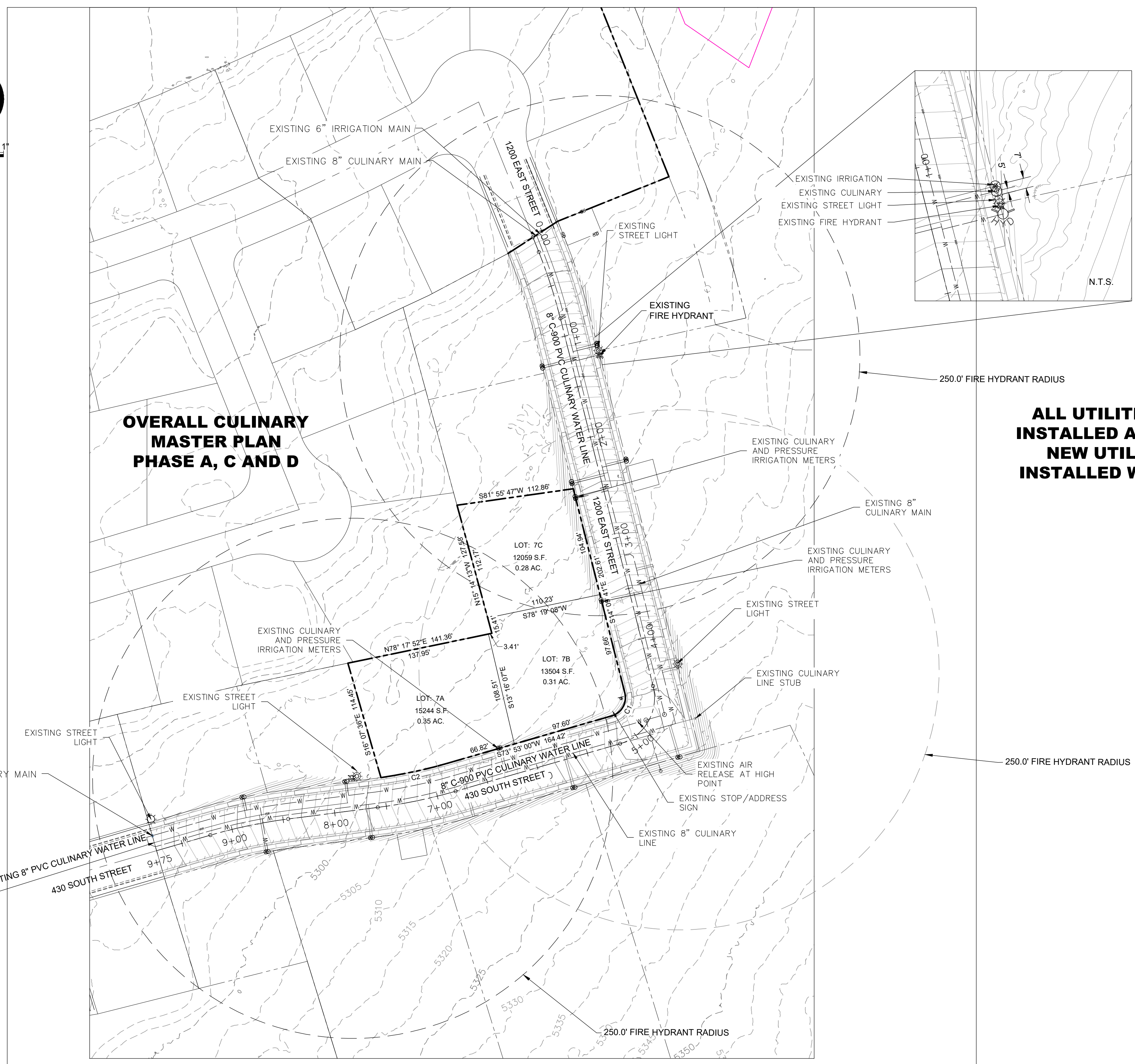
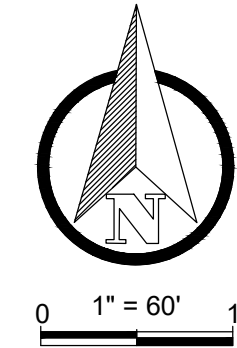
PROJECT NAME  
**SCENIC RIDGE ESTATES PHASE D**

SHEET NAME  
**LOT LAYOUT**

PLAN SUBMITTAL: FINAL

PERMIT SET 3/9/26	SHEET NUMBER <b>4</b>
----------------------	--------------------------

3/9/2026  
D:\TEMP\4480\_0816\SCENIC RIDGE PHASE D\DWG\SCENIC RIDGE PHASE D.dwg



### OVERALL CULINARY MASTER PLAN PHASE A, C AND D

**ALL UTILITIES SHOWN ARE INSTALLED AND EXISTING, NO NEW UTILITIES WILL BE INSTALLED WITH THIS PHASE**

#### SHEET NOTES

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2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

#### SHEET LEGEND

- NEW CULINARY WATER — W — W —
- NEW PI WATER — W — W —
- FUTURE CULINARY WATER — W — W —

#### PLAN REVISIONS

NO.	DESCRIPTION

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

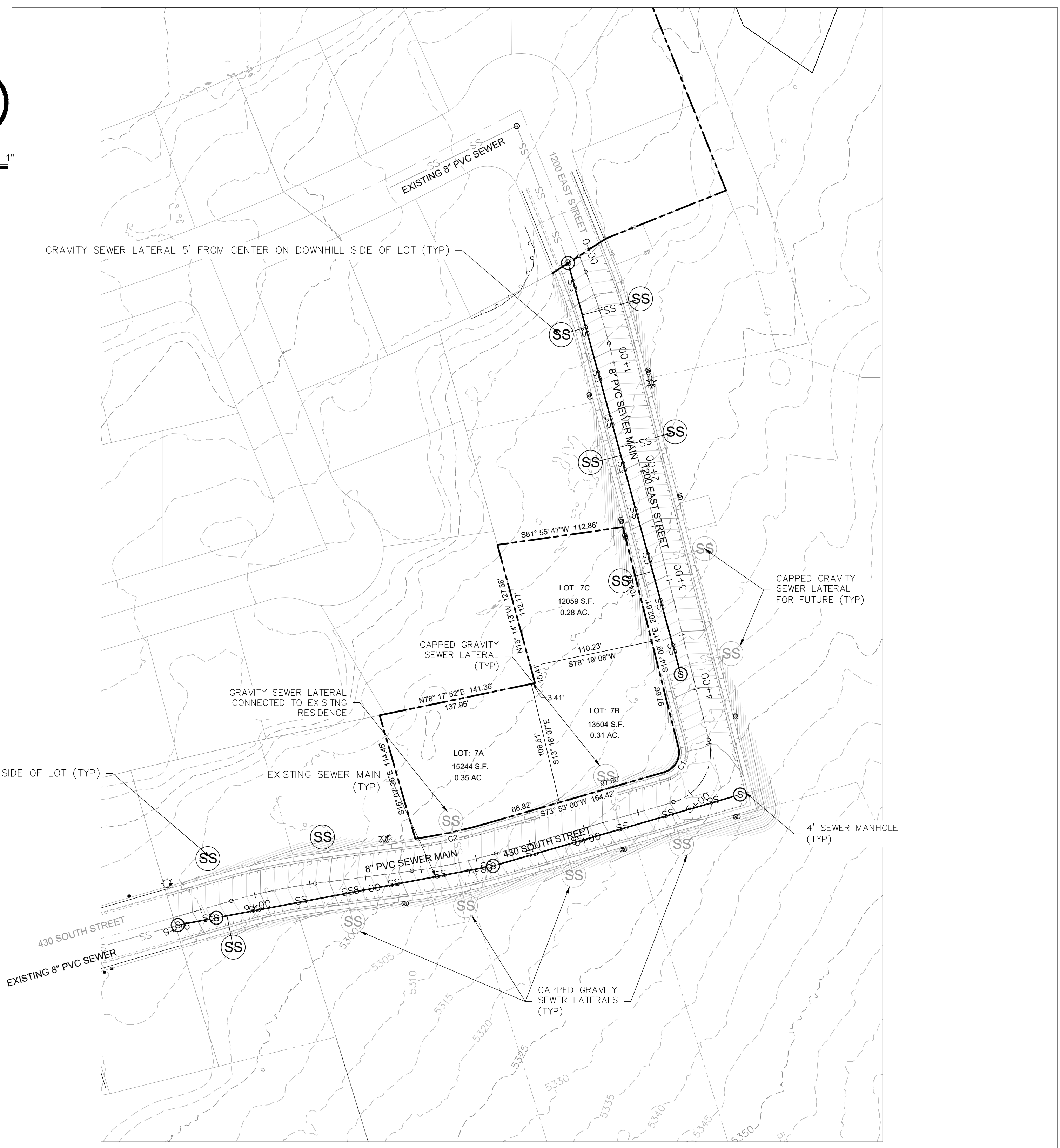
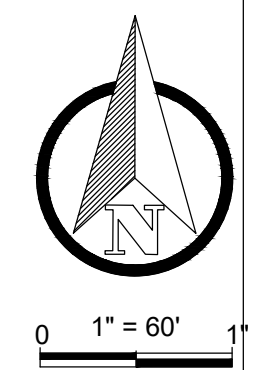
SHEET NAME  
**OVERALL CULINARY PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET 3/9/26 SHEET NUMBER **5**

- #### LEGEND:
- EXISTING SINGLE WATER METER
  - ⊗ EXISTING PRESSURE IRRIGATION METER
  - ⊗ EXISTING FIRE HYDRANT
  - EXISTING AIR RELEASE VALVE

3/9/2026  
D:\TEMP\4480\_0816\Scenic Ridge Estates\Drawings\SCENIC RIDGE PHASE 6\DWG\SEWER\_Ridge\_Phase\_6.dwg



**ALL UTILITIES SHOWN ARE  
INSTALLED AND EXISTING, NO  
NEW UTILITIES WILL BE  
INSTALLED WITH THIS PHASE**

**SHEET NOTES**

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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**SHEET LEGEND**

**PLAN REVISIONS**

**RIMROCK  
ENGINEERING &  
DEVELOPMENT**

CAD TECH:	CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME  
**SCENIC RIDGE  
ESTATES D**

SHEET NAME  
**SEWER PLAN**

PLAN SUBMITAL: FINAL

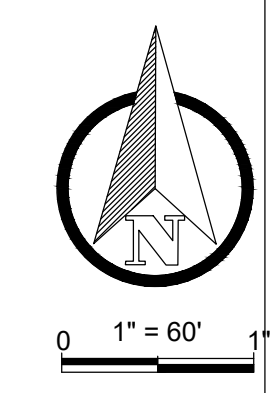
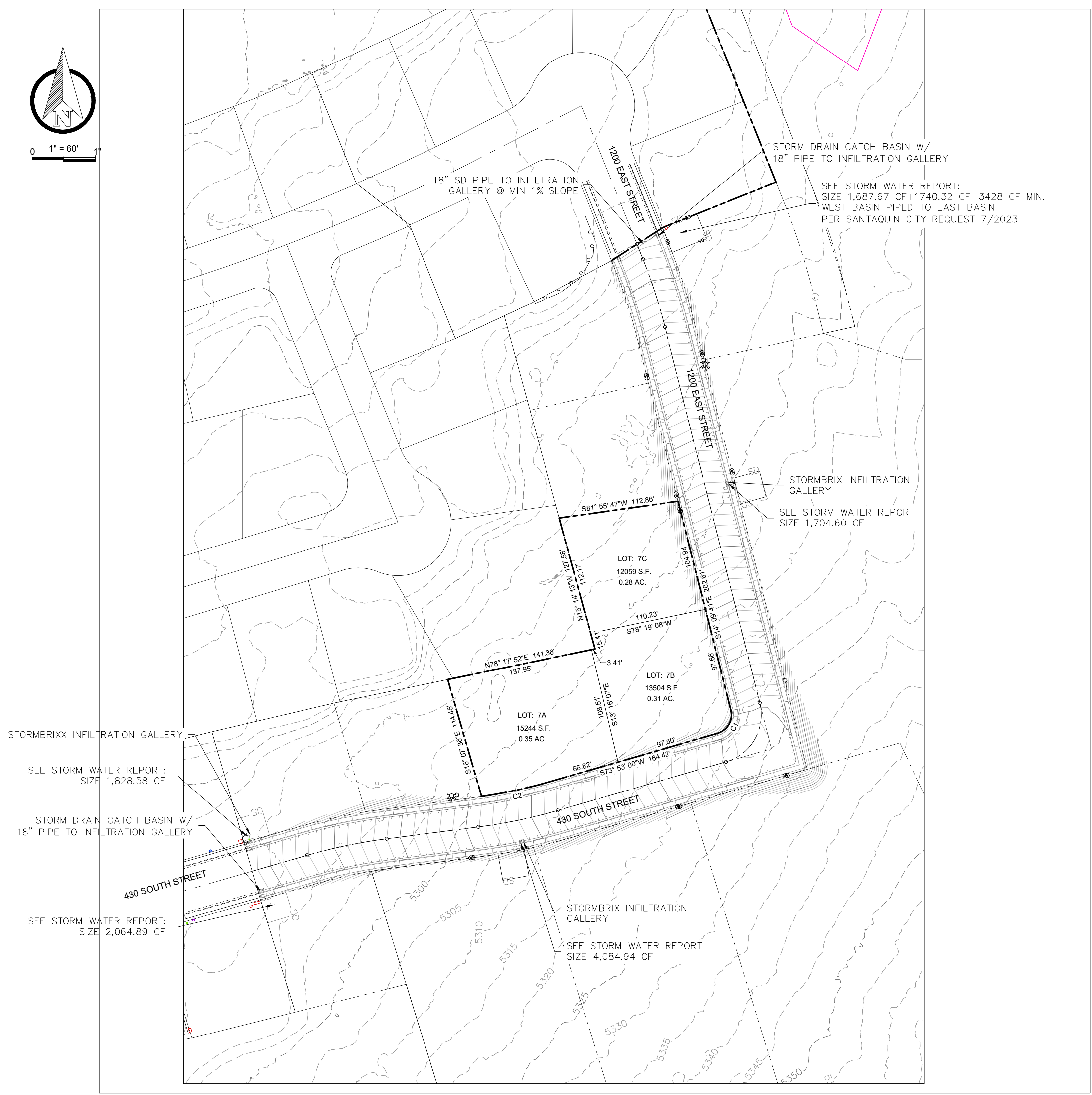
PERMIT SET  
3/9/26

SHEET NUMBER  
**6**

**LEGEND:**

- EXISTING GRAVITY SEWER SERVICE LATERAL
- GRAVITY SEWER SERVICE LATERAL CAPPED

D:\TEMP\4480\_DRW\4480\_Scenic Ridge Estates\Drawings\SCENIC RIDGE PHASE 2\DWG\Storm Water\Storm Water.dwg 3/9/2026



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

NO. 278219  
Joseph Nick Santos  
STATE OF UTAH

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH:	CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

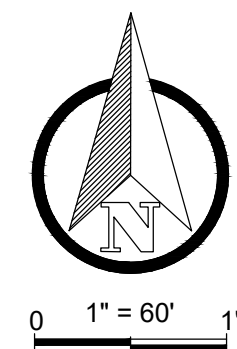
SHEET NAME  
**STORM WATER PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET 3/9/26

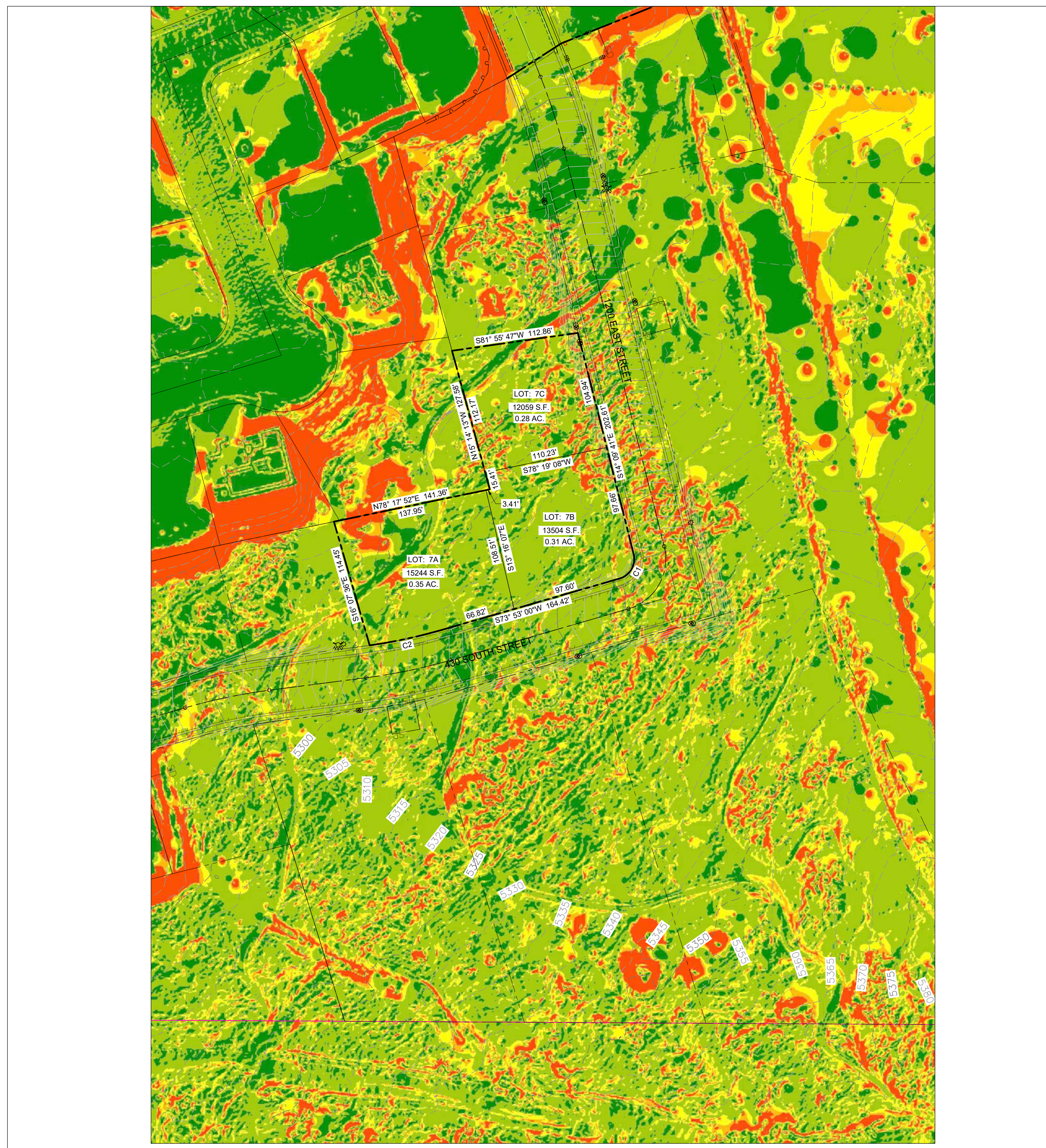
SHEET NUMBER  
**7**

2/2/2026



### SLOPE TABLE

	0 - 10
	10 - 20
	20 - 25
	25 - 30
	30+

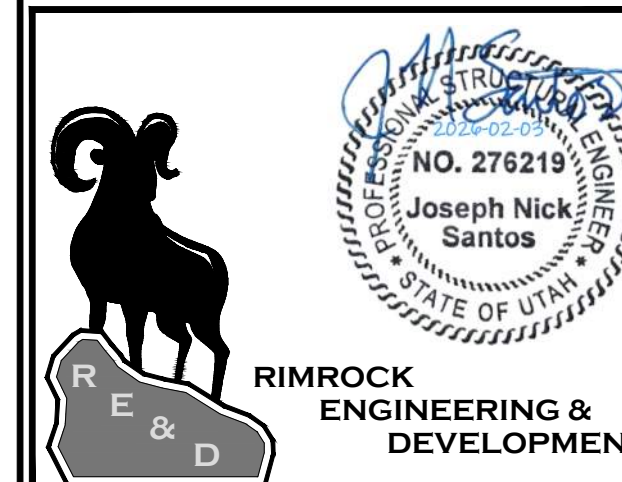


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#### SHEET LEGEND

#### PLAN REVISIONS



CAD TECH:	CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

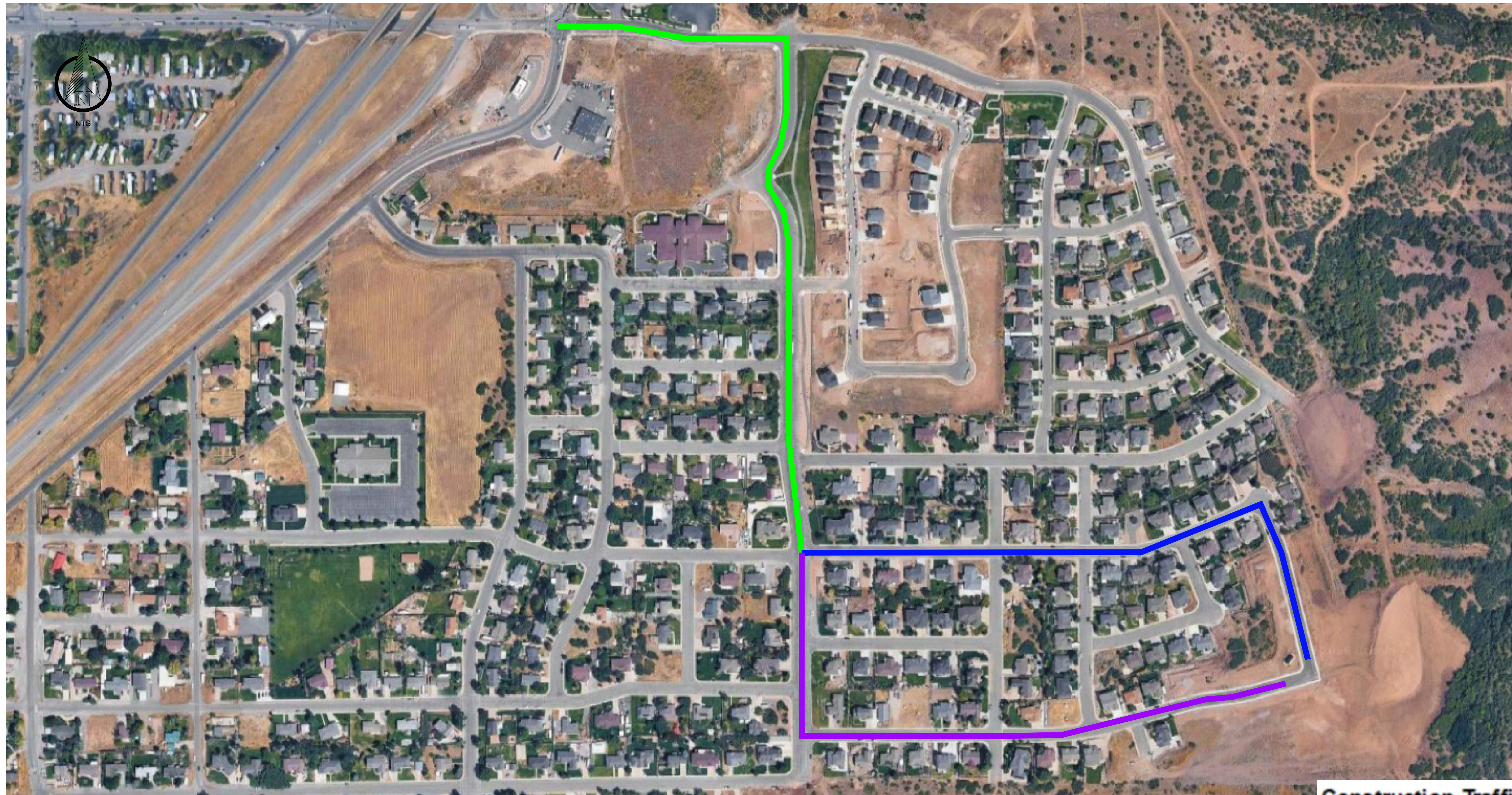
SHEET NAME  
**OVERALL SLOPE MAP**

PLAN SUBMITAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **8**

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2/2/2026



**Construction Traffic**

- Main Flow
- 50% of Traffic
- 50% of Traffic

**SHEET NOTES**

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**SHEET LEGEND**

**PLAN REVISIONS**

**RIMROCK ENGINEERING & DEVELOPMENT**

CAD TECH: CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

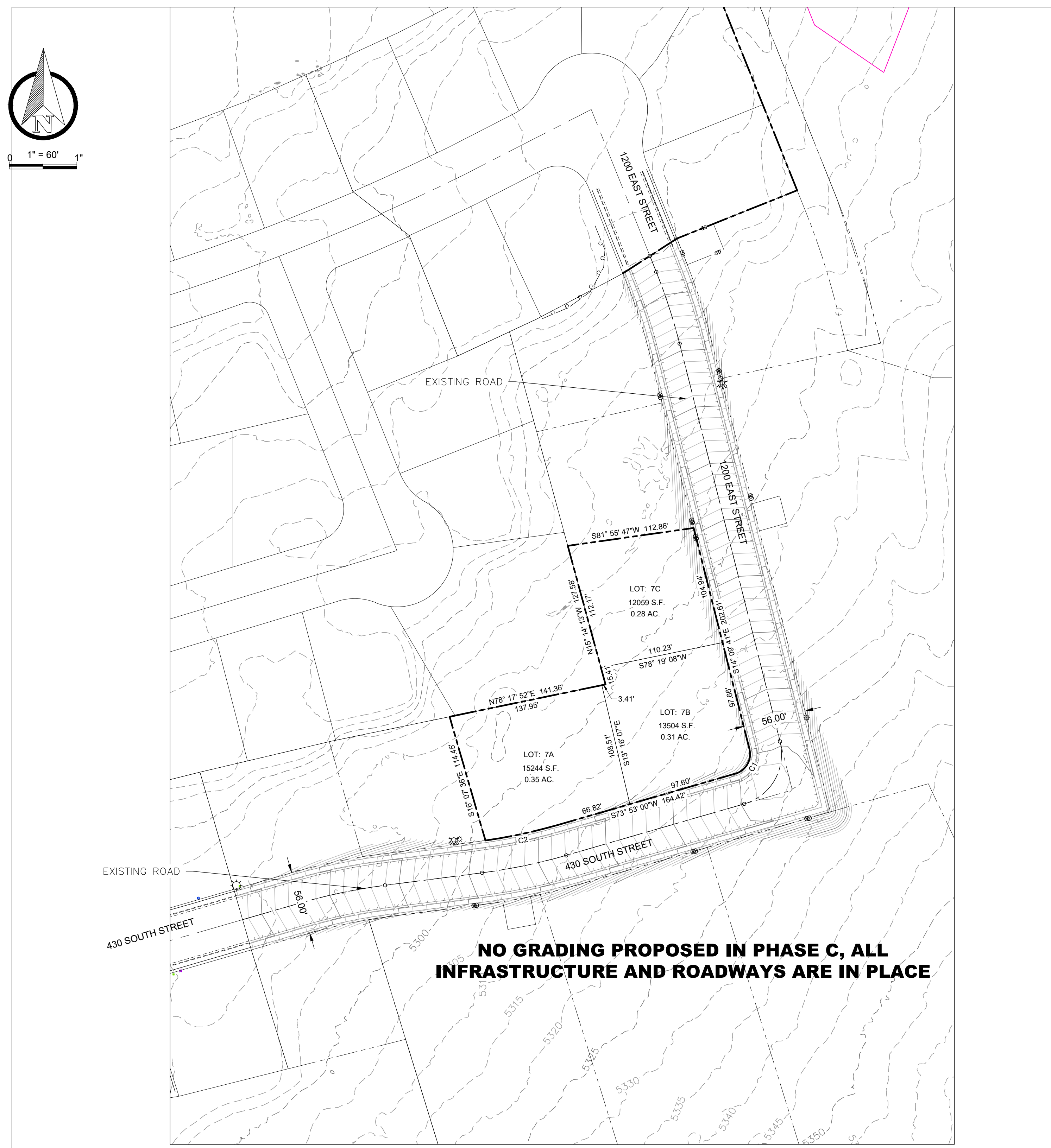
SHEET NAME  
**CONSTRUCTION TRAFFIC MAP**

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER <b>9</b>
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2/2/2026



SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

CAD TECH:	CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**OVERALL GRADING PLAN**

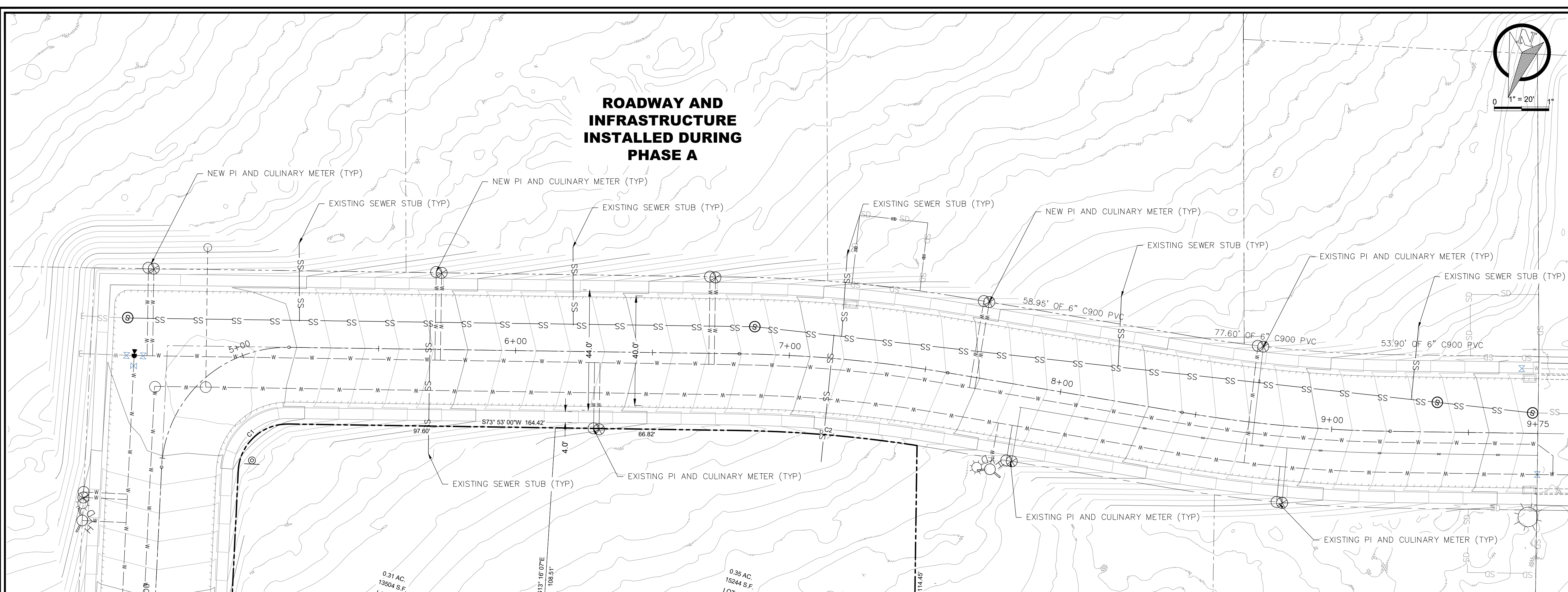
PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **10**

C:\TEMP\4480\_0816\Scenic Ridge Estates\Phase C\2025\WORK\M.C. SCENIC RIDGE PHASE C\DWG\Scenic Ridge Phase C.dwg



3/9/2026  
C:\TEMP\HARD\_DRIVE\Projects\Scenic Ridge\Phase A\Scenic Ridge Phase A.dwg

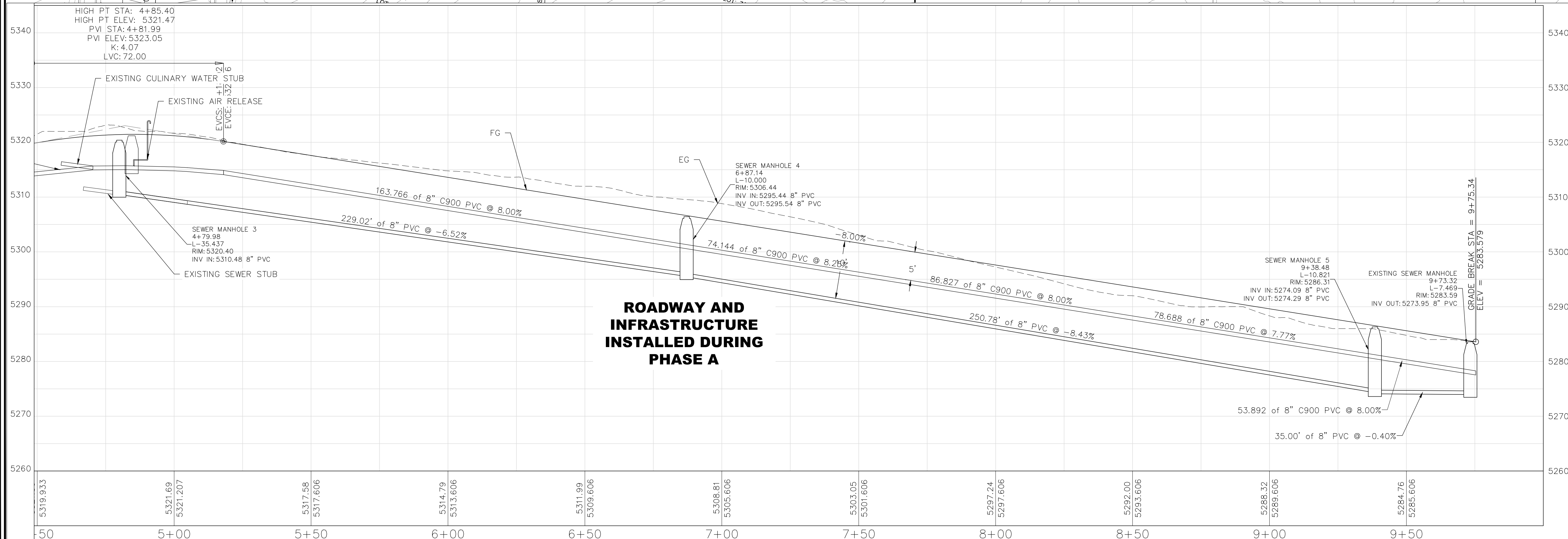


**SHEET NOTES**

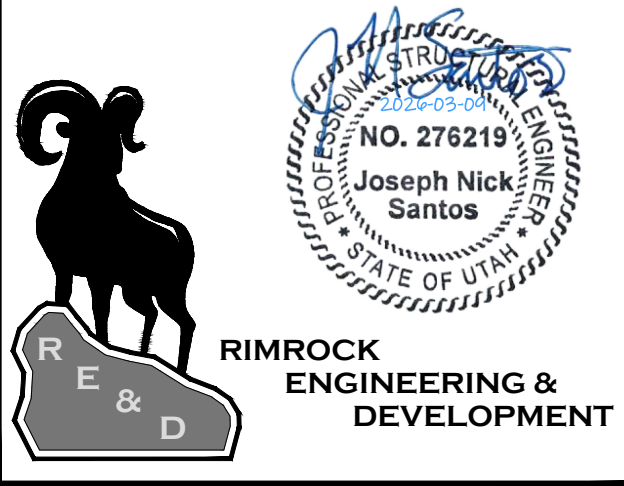
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**SHEET LEGEND**

EXISTING CULINARY — W — W —  
 EXISTING PI — SS — SS —  
 EXISTING SEWER LINE — SS — SS —



**PLAN REVISIONS**

CAD TECH: CRS  
 DESIGNER: CRS  
 Q&A: JC

**CALL BLUE STAKES PRIOR TO DIGGING**

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**PLAN AND PROFILE**

PLAN SUBMITTAL: FINAL

PERMIT SET 3/9/26  
 SHEET NUMBER 12

12/22/2021

**CULINARY WATER SERVICE CONNECTION**

**NOTES:**

- EACH HYDRANT SHALL HAVE A CLEAR ZONE OF 3 FEET ON THREE SIDES AND OPEN ON THE SIDE OF THE PUMPER NOZZLE.
- HYDRANT INSTALLED WHERE THERE IS NO CURB & GUTTER SHALL HAVE BOLLARDS PLACED ON EITHER SIDE IN FRONT OF THE HYDRANT.
- IN AREAS WHERE THERE IS A PLANTER STRIP, THE HYDRANT WILL BE PLACED IN THE CENTER OF THE PLANTER STRIP.
- FIRE HYDRANTS SHALL NOT BE PLACED WITHIN 10 FEET OF ANY SANITARY SEWER LINE.

**TABLE 1**  
Use when line pressure and soil bearing strength are known.

Line Pressure (psi)	Soil Bearing Strength (psf)	Area of Bearing Required (sq. ft.)
150	1,500	1.0
150	2,000	0.75
150	2,500	0.6
150	3,000	0.5
150	3,500	0.45
150	4,000	0.4
150	4,500	0.35
150	5,000	0.3
150	5,500	0.28
150	6,000	0.25
150	6,500	0.23
150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

**TABLE 2**  
Use when line pressure and soil bearing strength are not known.

Line Pressure (psi)	Soil Bearing Strength (psf)	Area of Bearing Required (sq. ft.)
150	1,500	1.0
150	2,000	0.75
150	2,500	0.6
150	3,000	0.5
150	3,500	0.45
150	4,000	0.4
150	4,500	0.35
150	5,000	0.3
150	5,500	0.28
150	6,000	0.25
150	6,500	0.23
150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/21	ISSUED FOR PERMIT

**STATEMENT OF WORK**

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NO.	DATE	DESCRIPTION
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**W1**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**FIRE HYDRANT & WATER VALVE DETAIL**

**PLAN VIEW**

**SECTION A-A**

**NOTES:**

- EACH HYDRANT SHALL HAVE A CLEAR ZONE OF 3 FEET ON THREE SIDES AND OPEN ON THE SIDE OF THE PUMPER NOZZLE.
- HYDRANT INSTALLED WHERE THERE IS NO CURB & GUTTER SHALL HAVE BOLLARDS PLACED ON EITHER SIDE IN FRONT OF THE HYDRANT.
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150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

**TABLE 2**  
Use when line pressure and soil bearing strength are not known.

Line Pressure (psi)	Soil Bearing Strength (psf)	Area of Bearing Required (sq. ft.)
150	1,500	1.0
150	2,000	0.75
150	2,500	0.6
150	3,000	0.5
150	3,500	0.45
150	4,000	0.4
150	4,500	0.35
150	5,000	0.3
150	5,500	0.28
150	6,000	0.25
150	6,500	0.23
150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

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**REVISIONS**

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**W2**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**THRUST BLOCK DETAILS**

**TABLE 1**  
Use when line pressure and soil bearing strength are known.

Line Pressure (psi)	Soil Bearing Strength (psf)	Area of Bearing Required (sq. ft.)
150	1,500	1.0
150	2,000	0.75
150	2,500	0.6
150	3,000	0.5
150	3,500	0.45
150	4,000	0.4
150	4,500	0.35
150	5,000	0.3
150	5,500	0.28
150	6,000	0.25
150	6,500	0.23
150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

**TABLE 2**  
Use when line pressure and soil bearing strength are not known.

Line Pressure (psi)	Soil Bearing Strength (psf)	Area of Bearing Required (sq. ft.)
150	1,500	1.0
150	2,000	0.75
150	2,500	0.6
150	3,000	0.5
150	3,500	0.45
150	4,000	0.4
150	4,500	0.35
150	5,000	0.3
150	5,500	0.28
150	6,000	0.25
150	6,500	0.23
150	7,000	0.21
150	7,500	0.2
150	8,000	0.19
150	8,500	0.18
150	9,000	0.17
150	9,500	0.16
150	10,000	0.15
150	10,500	0.14
150	11,000	0.13
150	11,500	0.12
150	12,000	0.11
150	12,500	0.1
150	13,000	0.09
150	13,500	0.08
150	14,000	0.07
150	14,500	0.06
150	15,000	0.05
150	15,500	0.04
150	16,000	0.03
150	16,500	0.02
150	17,000	0.01

**REVISIONS**

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/21	ISSUED FOR PERMIT

**CG4**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**TYPICAL SEWER LATERAL**

**STUB FOR NEW CONSTRUCTION**

**TIE TO EXISTING CONSTRUCTION**

**NOTES:**

- CONNECTION TO MAIN SHALL BE BY WYES OR TEES INSTALLED AS PART OF THE SEWER MAIN CONSTRUCTION.
- LOCATION OF STUB TO BE 10 FEET FROM THE CENTERLINE OF THE LATERAL FROM THE NEAREST DOWNSTREAM MANHOLE. USE SAME STATISTICS USED FOR SEWER MAIN.
- SHOW CENTERLINE STATION OF THE LATERAL FROM THE NEAREST DOWNSTREAM MANHOLE. USE SAME STATISTICS USED FOR SEWER MAIN.

**NOTES FOR CONNECTING TO EXISTING SEWER MAIN:**

- CLOSE SEWER MAIN WITH MANHOLE OPENING AROUND LATERAL OF 1\"/>

**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/21	ISSUED FOR PERMIT

**STATEMENT OF WORK**

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/21	ISSUED FOR PERMIT

**S2**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**TYPICAL SEWER MANHOLE**

**NOTES:**

- VENTED LIDS REQUIRED IN ALL PAVED STREETS.
- WHERE FIELD CONDITIONS PROHIBIT COMBINATION OF PRECAST CONC. SECTIONS SHOWN, OTHER COMBINATIONS OF PRECAST CONC. SECTIONS MAY BE USED AS PER ENGINEER'S APPROVAL.
- SEWER MANHOLE BASES SHALL PROVIDE A 0.10 FOOT INVERT ELEVATION DROP ACROSS THE MANHOLE (MINIMUM).
- NO COLLARS (CONCRETE OR ASPHALT) ARE TO BE USED ON MANHOLES WHEN SANTAQUIN CITY ROW USE D & L SUPPLY MANHOLE ADAPTER RINGS (RISERS) TO SET RING AND COVER TO FINISH GRADE.
- EXCAVATIONS FOR MANHOLE ADAPTER RINGS (RISERS) SHALL HAVE VERTICAL SIDE WALLS.

**REVISIONS**

NO.	DATE	DESCRIPTION
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**REVISIONS**

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1	10/15/21	ISSUED FOR PERMIT

**S1**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**CURB & GUTTER AND CROSS GUTTER DETAILS**

**TYPICAL HIGH BACK CURB AND GUTTER**

**MODIFIED CURB AND GUTTER**

**CROSS GUTTER**

**NOTES:**

- PROVIDE A TOOLED JOINT EVERY 10' IN CURB & GUTTER, & EVERY 5' IN SIDEWALK.
- PROVIDE AN EXPANSION JOINT EVERY 30' IN SIDEWALK.

**NOTES:**

- 24" MOUNTABLE CURB IS APPROVED ONLY ON A CASE BY CASE BASIS. (FACTORS FOR APPROVAL INCLUDE SUBDIVISION SIZE, STORM WATER DRAINAGE ISSUES, STREET WIDTH, AND SURROUNDING SUBDIVISIONS)
- TRANSITIONS TO HIGH BACK CURB SHALL BE ACCOMPLISHED IN A MINIMUM OF 6' (FOR CURB INLET BOXES, ETC.)

**REVISIONS**

NO.	DATE	DESCRIPTION
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**REVISIONS**

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**CG4**

**SANTAQUIN CITY**  
275 WEST MAIN STREET

ADOPTED DATE: 10 - OCT - 16

**SHEET NOTES**

- 

**SHEET LEGEND**

**PLAN REVISIONS**

NO.	DATE	DESCRIPTION
1	10/15/21	ISSUED FOR PERMIT

**PROJECT NAME**  
**SCENIC RIDGE ESTATES**

**SHEET NAME**  
**DETAILS**

**PLAN SUBMITTAL:** FINAL

**SHEET NUMBER**  
13

**REVIEW SET**  
10/5/2022

**CALL BLUE STAKES PRIOR TO DIGGING**

**CAD TECH:** JRC  
**DESIGNER:** JRC  
**Q&A:** DSE

**RIMROCK ENGINEERING & DEVELOPMENT**

**NO. 276219**  
Joseph Nick Santos  
STATE OF UTAH

12/22/2021

### Specifications

**POST DESCRIPTION:**  
The lighting post shall be all aluminum, one-piece construction, with a classic tapered and flared base design. The shaft shall be Ø3" smooth.

**MATERIALS:**  
The base shall be heavy wall, cast aluminum produced from certified ASTM 390.1 ingot per ASTM B179-05a or ASTM 6061. The straight shaft shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized.

**CONSTRUCTION:**  
The post shall be double welded to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially welded inside the base casting at the top of the access door, and externally where the shaft meets the base. All exposed welds below 8" shall be ground smooth. All welding shall be per ANSI/ASME D1.2-90. All welders shall be certified per Section 5 of ANSI/ASME D1.2-90.

**DIMENSIONS:**  
The post shall be 14'-0" in height with a 17" diameter base. The shaft diameter shall be 3" At the top of the post, a Ø3" x 3" tall tenon with a transitional donut shall be provided for luminaire mounting.

**INSTALLATION:**  
The post shall install with four, stainless steel L-type anchor bolts to be installed on a 12" diameter bolt circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

**FINISH:**  
The entire assembly shall have a standard Holograph black finish.

**LUMINAIRE DESCRIPTION:**  
-Granville Panner LED  
-40W 215mA Driver- 4x CCT  
-Aisle-Sensing 120-277V  
-Symmetric Type V, No Trim, Spike Free, Full Cover  
-NEMA Twilock Photocontrol Photoplastic  
-DTL Twilock Photocontrol For Solid-State Lighting 120-277V  
-200 Prewired Leads  
For complete specifications see LUM\_GPD.

**Anchor Detail**

Ø10" Opening  
180°  
270°  
90°  
0°  
Ø12" Bolt Circle  
Door Opening  
DO NOT USE TO SET ANCHOR BOLTS  
CONTACT CUSTOMER SERVICE FOR TEMPLATE

Catalog #s:  
GPOKAKASBNSBFCVBRHPCSL2S - NYA14SS11P07ABGBK

STATEMENT OF WORK	REVISION	DATE

**LOCAL AND COLLECTOR STREET LIGHTING DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

### TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS NOT ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

### TYPICAL SPEED LIMIT SIGN LOCATION WHEN SIDEWALK IS ADJACENT TO C&G PLAN VIEW

NOT TO SCALE

### TYPICAL SPEED LIMIT SIGN INSTALLATION

NOT TO SCALE

2x2" SQUARE POLE WITH BLACK POWDER COAT FINISH  
7'-3"  
3'-0"  
1" DIA. CONCRETE BASE  
POLE EXTENDS 1'-2" ABOVE SIGN

STATEMENT OF WORK	REVISION	DATE

**TYPICAL SPEED LIMIT SIGN DETAIL**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

### LOCAL STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20"

### LOCAL STREET/STOP SIGN DETAIL

NOT TO SCALE

MAPLE LN.  
200 SOUTH  
STREETS WITH NAMES

6" x 36" STREET SIGN FOR NAMED STREET.  
5" x 24" FOR STREET SIGN FOR ADDRESSED STREET.  
4 WAY ADAPTER  
3" Ø CLIP WITH HOLDER FOR TWO-WAY STREET SIGN ONE FOR EACH 3" OR 4" POLE.  
24" STOP SIGN  
24" BACK PLATE  
8'-6"  
3"  
BRANDON INDUSTRIES BLACK ALUMINUM 3" Ø POLE PART # SP53X12  
BRANDON INDUSTRIES BLACK ALUMINUM SLOVER BASE FOR 3" Ø POLE PART # SB-33 BK  
4" ANCHOR GRASS  
1" DIA. CONCRETE BASE

NOTE:  
THE LOCAL STOP SIGN MATCHES THE LOCAL STREET/STOP SIGN IN ALL ASPECTS EXCEPT FINAL IN PLACE OF THE STREET SIGN

LOCAL STOP SIGN DETAIL

STOP SIGNS AT FOR EDGE OF SIGN TO BE 2" CLEAR OF FACE OF THE CURB

STOP BAR

TYPICAL LOCAL STREET/STOP SIGN LOCATION PLAN VIEW  
SCALE: 1"=20"

LOCAL STREET/STOP SIGN DETAIL  
NOT TO SCALE

STATEMENT OF WORK	REVISION	DATE

**LOCAL STREET/STOP SIGN DETAIL**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

### TYPICAL STREET/STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20"

### TYPICAL STREET SIGN INSTALLATION

NOT TO SCALE

MAPLE LN.  
200 SOUTH  
STREETS WITH NAMES

6" x 36" STREET SIGN FOR NAMED STREET.  
5" x 24" FOR STREET SIGN FOR ADDRESSED STREET.  
4 WAY ADAPTER  
3" Ø CLIP WITH HOLDER FOR TWO-WAY STREET SIGN ONE FOR EACH 3" OR 4" POLE.

BRANDON INDUSTRIES BLACK ALUMINUM 3" Ø POLE PART # SP53X12  
BRANDON INDUSTRIES BLACK ALUMINUM SLOVER BASE FOR 3" Ø POLE PART # SB-33 BK

STOP SIGNS AT FOR EDGE OF SIGN TO BE 2" CLEAR OF FACE OF THE CURB

STOP BAR

TYPICAL STREET/STOP SIGN LOCATION PLAN VIEW  
SCALE: 1"=20"

TYPICAL STREET SIGN INSTALLATION  
NOT TO SCALE

STATEMENT OF WORK	REVISION	DATE

**TYPICAL STREET SIGN DETAIL (NO STOP SIGN)**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

### PLAN VIEW

TOOLED JOINT EVERY 5'

5' MAX. EXPANSION JOINT EVERY 30'

### RESIDENTIAL SIDEWALK SECTION A-A

CONCRETE SIDEWALK OR DRIVEWAY  
1/2" TOOLED JOINT  
SLOPE 1/4" PER FT. TOWARDS GUTTER  
6" UBC

### COMMERCIAL SIDEWALK SECTION A-A

CONCRETE SIDEWALK OR DRIVEWAY  
1/2" ASPHALT IMPREGATED EXPANSION BOARD  
1/4" R. TRP.  
SLOPE 1/4" PER FT. TOWARDS GUTTER  
6" UBC

NOTES:  
1. PROVIDE A TOOLED JOINT EVERY 5'-0" IN CURB & GUTTER, & EVERY 5'-0" IN SIDEWALK.  
2. PROVIDE AN EXPANSION JOINT EVERY 30'-0" IN SIDEWALK.  
3. PLACE UBC UNDER CONCRETE SIDEWALK, AND 12" BEYOND FRONT AND BACK OF WALK

NOTES:  
TOOLED JOINT IS TYPICAL FOR CURB, GUTTER, SIDEWALK, AND BLOCKOUTS  
EXPANSION JOINT IS TYPICAL FOR CURB, GUTTER, SIDEWALK, AND BLOCKOUTS

### SIDEWALK DETAILS

NOT TO SCALE

STATEMENT OF WORK	REVISION	DATE

**SIDEWALK DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

### PLAN - CURB/PLANTER STRIP/SIDEWALK

OPEN FACE CURB HOOD  
D&L I-3517 SINGLE UNIT INLET GRATE  
8.5" MIN.  
1'-4"  
1'-4"  
1'-4"  
1'-4"  
GUTTER  
CURB  
SIDEWALK  
PLANTER STRIP

### CONCRETE LID DETAILS

E) INSIDE BOX DIMENSIONS FROM FRONT TO BACK PLUS TWO TIMES THE WALL THICKNESS.

### PLAN - COMBINATION CURB & SIDEWALK

RECESS GRATE SO CURB FACE OPENING IS A MINIMUM OF 4".  
D&L I-3517 SINGLE UNIT INLET GRATE W/ OPEN FACE CURB HOOD.  
CONCRETE LID  
ANTI-SIPHON DEVICE TO EXTEND A MINIMUM OF 3" AND A MAXIMUM OF 24" ABOVE SNUOT.  
SNUOT (REQ'D) - FOLLOW THE MANUFACTURERS INSTALLATION RECOMMENDATIONS.  
PRE-CAST CURB INLET BOX WHICH MEETS N-20 LOADING AND ASTM SPECIFICATIONS C-898 FOR UNDERGROUND UTILITY STRUCTURES.  
6" UBC

NOTES:  
A) 24" MINIMUM.  
B) 3/4" OUTLET PIPE DIAMETER OR 6" MINIMUM.  
C) 2.5 TIMES THE OUTLET PIPE DIAMETER OR 36" WHICHEVER IS GREATER.  
D) INSIDE BOX DIMENSION FROM FRONT TO BACK IS MINIMUM OF THE THE OUTLET PIPE DIAMETER PLUS TWO FEET. BOX HEIGHT AS NEEDED.

### CURB INLET BOX ASSEMBLY

SANTAQUIN CITY  
275 WEST MAIN STREET

STATEMENT OF WORK	REVISION	DATE

**CURB INLET BOX ASSEMBLY**  
SANTAQUIN CITY  
275 WEST MAIN STREET

ADOPTED DATE: 19 - OCT - 15

**SHEET NOTES**

1.

**SHEET LEGEND**

**PLAN REVISIONS**

NO.	DESCRIPTION

**RIMROCK ENGINEERING & DEVELOPMENT**

NO. 276215  
Joseph Nick Santos  
STATE OF UTAH

CAD TECH: JRC  
DESIGNER: JRC  
Q&A: DSE

**CALL BLUE STAKES PRIOR TO DIGGING**

**PROJECT NAME**  
SCENIC RIDGE ESTATES

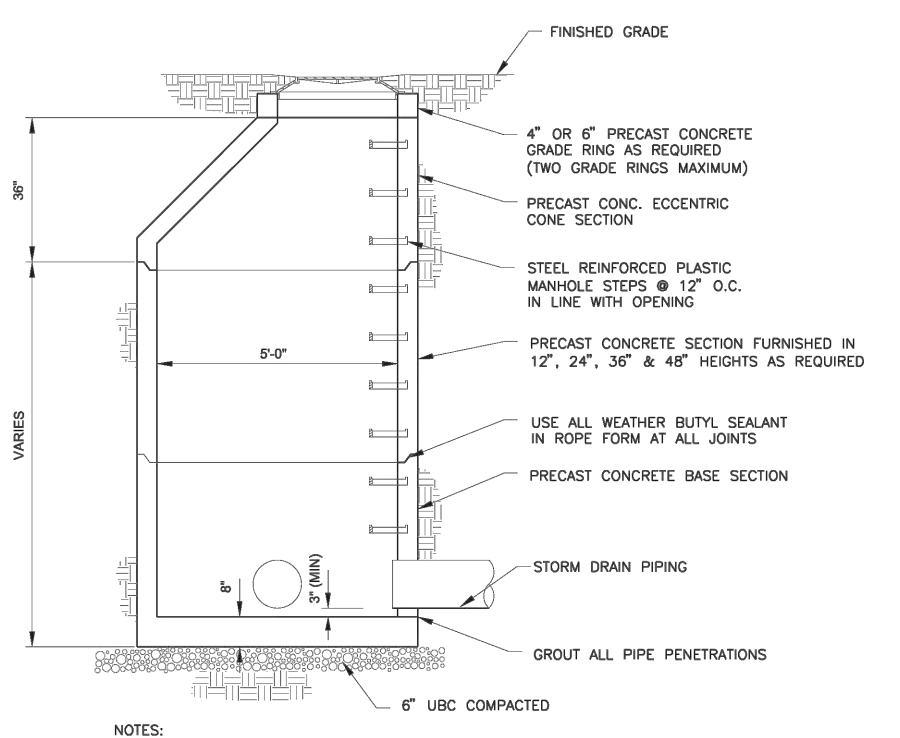
**SHEET NAME**  
DETAILS

PLAN SUBMITTAL: FINAL

REVIEW SET 10/5/2022

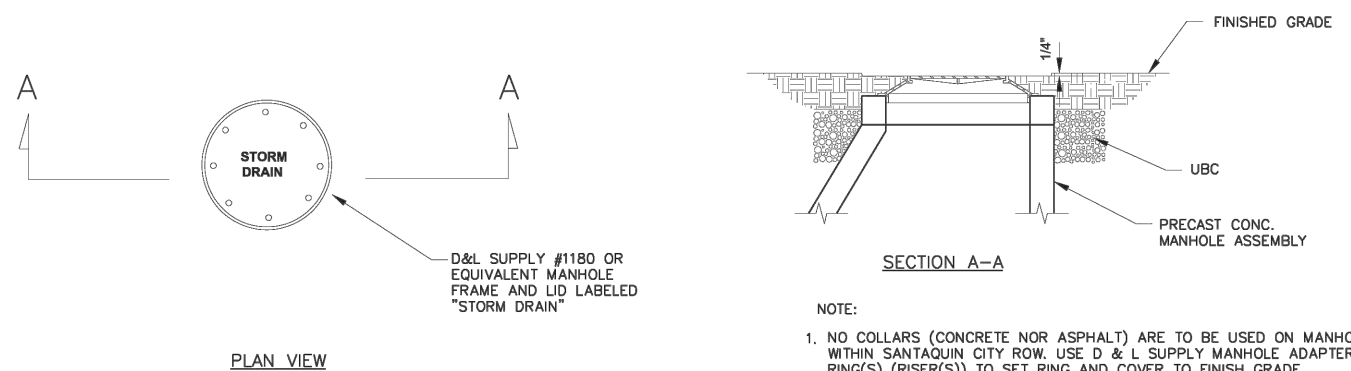
SHEET NUMBER 14

10/5/2022



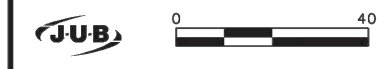
**TYPICAL STORM DRAIN MANHOLE**  
NOT TO SCALE

- NOTES:
1. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY, AND UPON APPROVAL OF THE CITY ENGINEER. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET FSD LIVE LOADING.
  2. MANHOLE RINGS PLACED IN FIELDS SHALL HAVE SOLID LIDS.

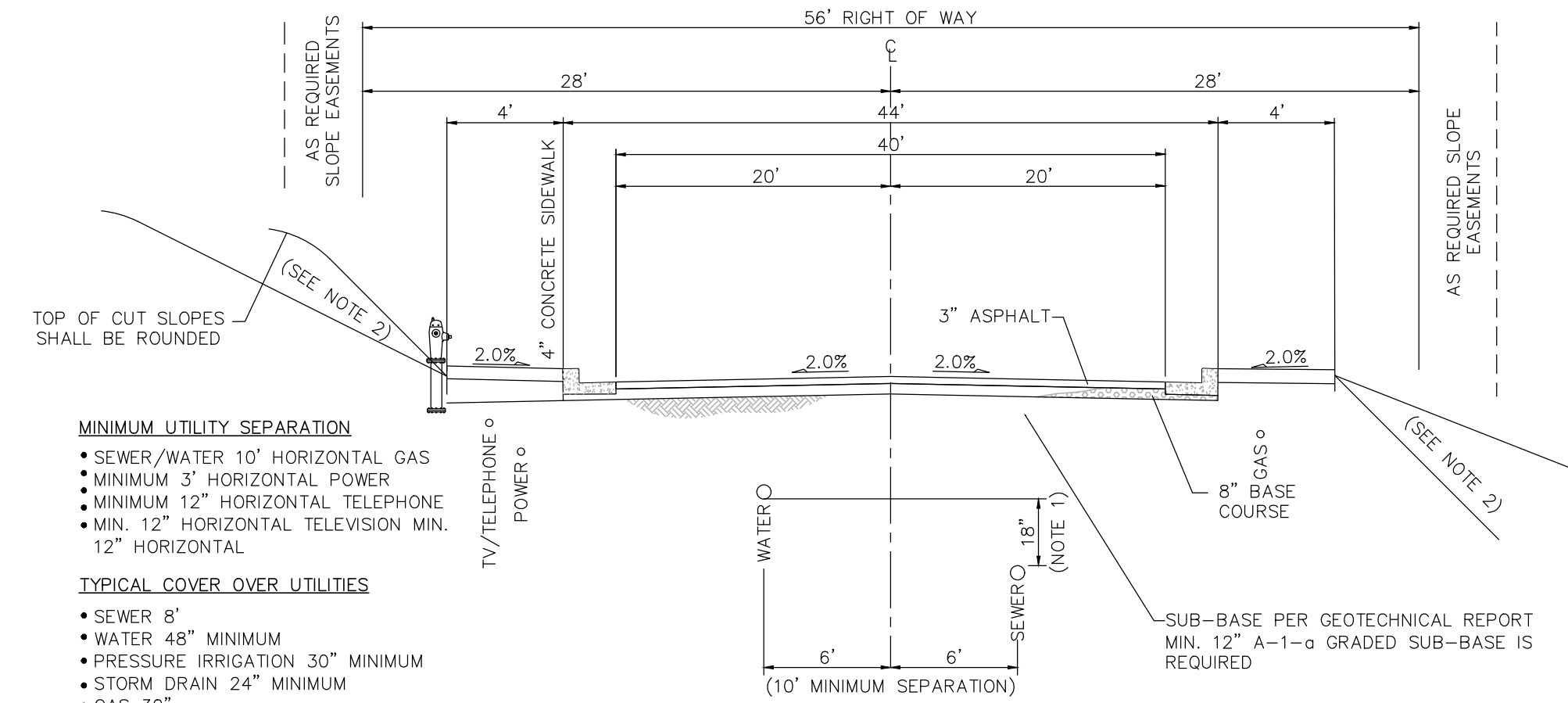


**MANHOLE RING & COVER**  
NOT TO SCALE

- NOTE:
1. NO COLLARS (CONCRETE NOR ASPHALT) ARE TO BE USED ON MANHOLES WITH SANTAQUIN CITY FROM USE OF DAL SUPPLY MANHOLE ADAPTER RINGS (ORSEKES) TO SET RING AND COVER TO FINISH GRADE.
  2. EXCAVATIONS FOR MANHOLE ADAPTER RINGS (ORSEKES) SHALL HAVE VERTICAL SIDE WALLS.
  3. FINISH RING AND COVER 1/4\"/>



STATEMENT OF WORK		SD2
TYPICAL STORM DRAIN MANHOLE & MANHOLE RING & COVER		
SANTAQUIN CITY 275 WEST MAIN STREET		



- MINIMUM UTILITY SEPARATION**
- SEWER/WATER 10' HORIZONTAL GAS
  - MINIMUM 3' HORIZONTAL POWER
  - MIN. 12" HORIZONTAL TELEPHONE
  - MIN. 12" HORIZONTAL TELEVISION MIN. 12" HORIZONTAL
- TYPICAL COVER OVER UTILITIES**
- SEWER 8'
  - WATER 48" MINIMUM
  - PRESSURE IRRIGATION 30" MINIMUM
  - STORM DRAIN 24" MINIMUM
  - GAS 30"
  - POWER 40"
  - TELEPHONE 24"
  - TELEVISION 24"

- GENERAL NOTES**
- 1) 18" MINIMUM VERTICAL CLEARANCE, 10' SEPERATION REQUIRED EXCEPT AT CROSSING LOCATIONS.
  - 2) CUT/FILL SLOPES ARE 3(H):1(V) BELOW A HEIGHT OF 5 FEET AND 2(H):1(V) ABOVE A HEIGHT OF 5 FEET AND SHALL BE PROTECTED WITH AMERICAN GREEN C-350 MATTING, OR APPROVED EQUAL.

**ROADWAY CROSS SECTION DETAIL TO MATCH EXISTING AT TIE-IN LOCATIONS**

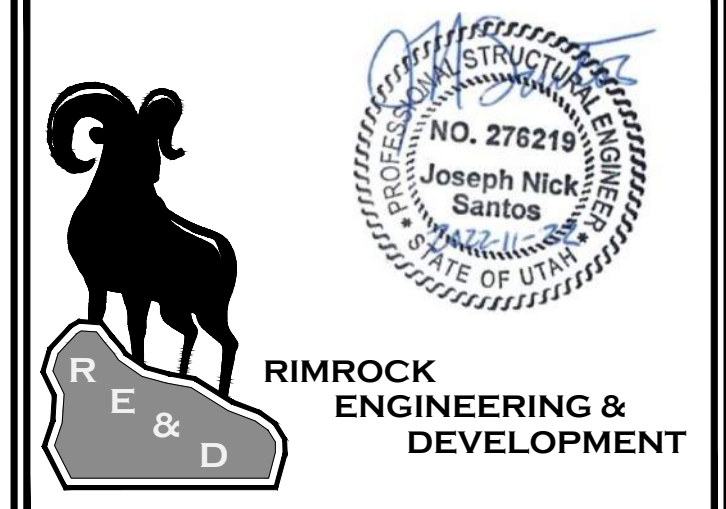
**SHEET NOTES**

1.

**SHEET LEGEND**

PLAN REVISIONS

A.	
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CAD TECH: JRC	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER: JRC	
Q&A: DSE	

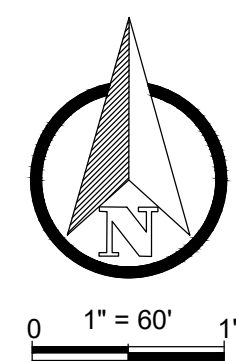
PROJECT NAME  
**SCENIC RIDGE ESTATES**

SHEET NAME  
**DETAILS**

PLAN SUBMITTAL: FINAL

REVIEW SET 10/5/2022	SHEET NUMBER 15
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2/2/2026

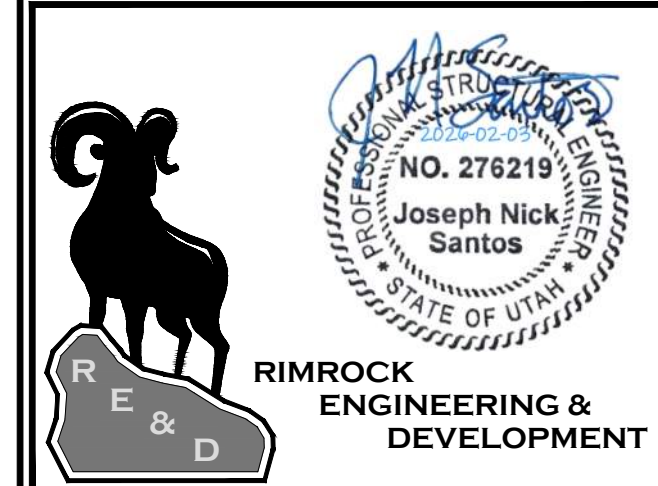


SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS



CAD TECH:	CRS	<b>CALL BLUE STAKES PRIOR TO DIGGING</b>
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME  
**SCENIC RIDGE ESTATES D**

SHEET NAME  
**EROSION CONTROL PLAN**

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER <b>16</b>
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C:\TEMP\4480\_0816\Scenic\_Ridge\_Estates\Plan\2025\WORKING\_SCENIC RIDGE PHASE D\DWG\Scenic\_Ridge\_Phase D.dwg



**Planning Commission Members in Attendance:** Commissioners Mike Weight, Drew Hoffman, Trevor Wood, BreAnna Nixon and LaDawn Moak

Commissioner Jesse Christopher was excused from the meeting.

**Others in Attendance:** City Council Member Jeff Siddoway, Assistant City Manager Jason Bond, City Planner Aspen Elmer, City Deputy City Recorder Gwen Butters and other members of the public.

Commission Chair Wood called the meeting to order at 7:01 p.m.

**INVOCATION/INSPIRATIONAL THOUGHT**

Commissioner Nixon offered an inspirational quote by Coretta Scott King; “The greatness of a community is most accurately measured by the compassionate actions of its members.”

**PLEDGE OF ALLEGIANCE**

Commissioner Weight led the Pledge of Allegiance.

**ORDER OF AGENDA ITEMS**

**PUBLIC FORUM**

Commission Chair Wood opened the Public Forum at 7:02 p.m.

No members of the public wished to address the Planning Commission in the Public Forum.

Commission Chair Wood closed the Public Forum at 7:02 p.m.

**DISCUSSION & POSSIBLE ACTION ITEMS**

**1. PUBLIC HEARING: Removing the Central Business District (CBD)**

A proposal to amend Santaquin City Code (SCC) 10.20.190 and 10.48.040 to repeal language from Santaquin City Code related to the Central Business District (CBD) of the Main Street Business District (MSBD) zone and to remove the Central Business District from the Santaquin City Official Zoning Map. The removed zoning on the Official Zoning Map would be replaced with approximately 3.7 acres as Main Street Residential (MSR) and approximately 20.4 acres as Main Street Commercial (MSC).

City Planner Elmer introduced the proposal to remove the CBD from the Santaquin City Official Zoning Map stating this a continuation of the discussion at the previous Planning Commission meeting on January 13, 2026.

Commission Chair Wood opened the Public Hearing at 7:03 p.m.

Property owner, Kenyon Anderson, addressed the Commission stating his support for removing the Central Business District from the zoning map and appreciates the discussion on the matter. His desire is for a more modern aesthetic within the area.

Commission Chair Wood closed the Public Hearing at 7:06 p.m.

Commission Chair Wood states that the discussion in the previous Planning Commission Meeting acknowledged the challenges of the CBD location. He expressed that his desire is not to see the CBD removed completely. His preference would be to discuss next steps rather than its removal.

Assistant City Manager Bond stated that missing from the ordinance, which was specified in the public hearing, is what the outcome would be in regard to the zoning when the CBD is removed. He further explained that the CBD would be replaced with the MSC zone, with the exception of the northern part of the current CBD area due to the existing homes in that area. The CBD title within the district would be removed and the differences compared with the MSC zone are minute. The idea of a CBD zone does not go away and further explains that this is a unique language amendment and zoning map change combined into one proposal.

Commission Chair Wood agreed and would like more discussion regarding the possibility of moving the CBD South, possibly in the area surrounding the civic center.

Assistant City Manager Bond agreed and states that for this hearing, removing the CBD from the zoning map is the first step towards having future discussions, reevaluation and new goals of the CBD.

Commissioner Weight stated that he agrees that the CBD language should not be removed completely.

Assistant City Manager Bond referenced the Professional Office Zone as an example to show that, as this zone is not technically applied at this time, it could be implemented with future zoning. The CBD zone would be the same and future discussions will determine where it may be implemented, if desired.

Commission Chair Wood agreed and approves of the option to retain the language of the CBD for use at a later time rather than removing it. He encouraged future discussion of relocating the CBD.

Commissioner Nixon noted that it is understood that the discussion now is the CBD but inquires if the commission would also look at the setbacks and height requirements of the MSC or MSR zone at a future date.

Assistant City Manager Bond states that discussing or addressing the specifications of the MSC and MSR zone are not part of the current proposal, however these may be discussed at any time in the future. For this proposal, the relevance of a CBD zone or district within that zone is being questioned. The intention of discussing the specific details with some of the requirements of the CBD or either the MSC or MSR district are not being addressed currently.

City Planner Elmer stated that many of the setback requirements of the CBD are similar to the MSC and MSR zones. The main difference is that the CBD prefers the urban street scape whereas the MSC and MSR reference a suburban/residential street scape.

Commission Chair Wood reiterated that the task of the commission at this meeting is to provide a recommendation to the city council regarding this proposal. Assistant City Manager Bond stated that, as a formality, if a motion is made, it should be noted that the code language be addressed as well as the zoning map to ensure that it is considered at the time of adoption. It is not in the draft ordinance now but was included in the public hearing notice.

Commissioner Hoffman stated his approval to leave the CBD as an unused zone for the time being and expressed agreement with rezoning, leaving the CBD language and future discussion.

Commissioner Weight made a motion to remove the Central Business District from the Santaquin City Official Zoning Map and retaining the CBD language in the code but unused at this time. Commissioner Hoffman seconded the motion.

Commissioner Mike Weight	Yes
Commissioner Drew Hoffman	Yes
Commissioner Trevor Wood	Yes
Commissioner BreAnna Nixon	Yes
Commissioner LaDawn Moak	Yes

The motion passed.

## 2. PUBLIC HEARING: Temporary Business License Durations

A proposal to amend Santaquin City Code (SCC) 3.28.010 to address a discrepancy with duration requirements for temporary business licenses that are also regulated in SCC 10.16.300.

City Planner Elmer introduced the proposal stating the discrepancy in codes and the need for amendment. Unless any specific uses are mentioned, temporary business licenses are allowed for 120 days. Within the meeting packet, the table was referenced showing that most temporary licenses are similar, but most are 150 days in duration.

Commission Chair Wood opened the Public Hearing at 7:20 p.m.

No members of the public wished to address the Planning Commission in the public hearing regarding the proposal to amend SCC 3.28.010

Commission Chair Wood closed the Public Hearing at 7:21 p.m.

Commissioner Weight and Nixon both mention the proposal is straightforward and have no questions.

Commissioner Nixon made a motion to forward a positive recommendation to amend Santaquin City Code to amend the discrepancy of duration requirements for temporary business licenses.

Commissioner Moak seconded the motion.

Commissioner Mike Weight	Yes
Commissioner Drew Hoffman	Yes
Commissioner Trevor Wood	Yes
Commissioner BreAnna Nixon	Yes
Commissioner LaDawn Moak	Yes

The motion passed.

**3. PUBLIC HEARING: Amending Retaining Wall Height Measurement Requirements**

A proposal to amend Santaquin City Code (SCC) 10.16.260, 10.20.120, and 10.20.230 to require all retaining walls of four feet in height or greater to be measured from the bottom of the footing to the top of the wall to match Utah State Code.

City Planner Elmer introduced the proposal to amend city codes regarding the height requirements for fences, walls and hedges within the commercial zone and the hillside development overlay zone. This is within the same section where retaining walls are mentioned. This proposal is to match Utah state code requiring retaining walls to be measured from bottom of the footing to the top of the wall. At present, our city code states that it measures from top of wall to finished grade. Making this amendment will affect building permits because anything greater than four (4) feet or higher requires structural engineering and a building permit.

Commission Chair Wood opened the Public Hearing at 7:23 p.m.

No members of the public wished to address the Planning Commission in the public hearing regarding the proposal to amend SCC 10.16.260, 10.20.120, and 10.20.230

Commission Chair Wood closed the Public Hearing at 7:23 p.m.

Commissioner Weight stated his concern and inquired that if the code is amended to require retaining walls to be measured from bottom of the footing to the top of the wall, what is to prevent a resident from creating a cement wall that is 3' 11" on top of the soil. He states that this could be dangerous and has concerns that this may result in future issues.

Commissioner Chair Wood sought clarification on the inquiry. It was confirmed that, in this example, a footing would not be poured. Commissioner Hoffman stated that if the total structure is under four (4) feet in height, it is legal. It would be the responsibility of the property owner and most likely they would incur damage to their own property.

Commissioner Weight stated that he agrees the code should match Utah state code. Commissioner Hoffman also stated that he agrees the code should match Utah state code.

Commissioner Chair Wood assumes the four (4) feet limit is to ensure safety, and anything above that may cause issues. Commissioner Hoffman confirms this assumption.

Commissioner Nixon stated that she prefers the wording of the current code, however, due to the need to meet state code, she understands that the change will protect residents and their property. Commissioner Hoffman stated that the code is necessary for the proper building of retaining walls. In instances of chance were a retaining wall fails, this protects the property owner and adjacent and properties.

Commissioner Nixon made a motion to recommend approval to amend city code to require all retaining walls of four (4) feet in height or greater to be measured from the bottom of the footing to the top of the wall to match Utah State Code. Commissioner Weight seconded the motion.

Commissioner Mike Weight	Yes
Commissioner Drew Hoffman	Yes
Commissioner Trevor Wood	Yes
Commissioner BreAnna Nixon	Yes
Commissioner LaDawn Moak	Yes

The motion passed.

**4. PUBLIC HEARING: Amending Parking Requirement for Attached Accessory Dwelling Units (ADUs)**

A proposal to amend Santaquin City Code 10.16.080 to reduce parking space requirements for attached accessory dwelling units (ADUs) from two spaces to one per Utah State Code.

City Planner Elmer introduced the proposal stating that this is city code does not match the current Utah state code. The state requires one parking space for internal ADUs so the change proposed is from two (2) spaces to one (1).

Commission Chair Wood opened the Public Hearing at 7:27 p.m.

No members of the public wished to address the Planning Commission in the public hearing regarding the proposal to amend SCC 10.16.080 to reduce parking space requirements of ADUs.

Commission Chair Wood closed the Public Hearing at 7:27 p.m.

Commissioner Hoffman stated his understanding that this an unpopular change, as with other parking requirements that have had to be changed. Commission Chair Wood agreed, and stated understanding for the necessity to comply with state code.

Commissioner Moak made a motion to recommend approval to amend the city code to reduce parking space requirements for accessory dwelling units (ADUs) from two (2) spaces to one (1) per Utah State Code. Commissioner Nixon seconded the motion.

Commissioner Mike Weight	Yes
Commissioner Drew Hoffman	Yes
Commissioner Trevor Wood	Yes
Commissioner BreAnna Nixon	Yes
Commissioner LaDawn Moak	Yes

The motion passed.

Commission Chair Wood closed the Public Hearing at 7:27 p.m.

**5. Meeting Minutes Approval**

January 13, 2026

Commissioner Wood indicated that there is an error of a commissioner's name mentioned within the minutes. The error was identified and verification will be needed in order to make the correction.

Commissioner Weight made a motion to approve the January 13, 2026 Planning Commission Meeting Minutes provided that the noted correction be made. Commissioner Nixon seconded the motion.

Commissioner Mike Weight	Yes
Commissioner Drew Hoffman	Yes
Commissioner Trevor Wood	Yes
Commissioner BreAnna Nixon	Yes
Commissioner LaDawn Moak	Yes

The motion passed.

**STAFF REPORTS**

No staff wished to report to the Planning Commission

**ADJOURNMENT**

Commissioner Weight made a motion to adjourn the meeting.

The meeting was adjourned at 7:33 p.m.

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Deputy City Recorder – Gwen Butters

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Planning Commission Chair – Trevor Wood



**Planning Commission Members in Attendance:** Commissioners Trevor Wood, Drew Hoffman, Jesse Christopher, Mike Weight, LaDawn Moak and Jayson Johnson

**Excused:** Commissioner BreAnna Nixon

**Others in Attendance:** Assistant City Manager Jason Bond, Alternate Commissioner Tyrell Russell, Deputy City Recorder Gwen Butters and resident, Bart Gibb.

Commission Chair Wood called the meeting to order at 7:01 p.m.

**INVOCATION/INSPIRATIONAL THOUGHT**

Commissioner Weight offered an invocation.

**PLEDGE OF ALLEGIANCE**

Commissioner Moak led the Pledge of Allegiance.

**ORDER OF AGENDA ITEMS**

**PUBLIC FORUM**

Commission Chair Wood opened the Public Forum at 7:03 p.m.

No members of the public wished to address the Planning Commission in the Public Forum.

Commission Chair Wood closed the Public Forum at 7:03 p.m.

**DISCUSSION & POSSIBLE ACTION ITEMS**

**1. PUBLIC HEARING: Detached Accessory Dwelling Units in the R-20 Zone**

To amend Santaquin City Code (SCC) 10.16.080 and 10.20.110 to permit detached accessory dwelling units (ADU) in the R-20 Residential Zone.

Assistant City Manager Bond explained that this item has been in the general plan. In particular, the moderate-income housing plan and strategy to allow zones that permit detached ADUs. It was stated that the general plan has yet to be amended, however this will not affect the actions of the commission at this time. This public hearing shall move forward and recommendations may be given. Amendments have been made to previous zones including R-8, R-10 and R-15. The R-20 zone on the agenda is the next to be amended addressing, for example, terminology. The importance of remaining consistent with the strategies of the past was stressed. It was noted that the Utah State Legislature is proposing a bill to pass a requirement for cities to allow detached ADUs in zones where single family residences are permitted. Being consistent with our strategy will ensure that Santaquin city remains in compliance with the moderate-income housing plan of the state. The objective of this agenda item is to allow detached ADUs in the R-20 zone.

Commission Chair Wood opened the Public Hearing at 7:06 p.m.

No members of the public wished to address the Planning Commission in the Public Hearing.

Commission Chair Wood closed the Public Hearing at 7:06 p.m.

Commissioner Wood stated that the commission is familiar with this subject matter and requests inquiries regarding this agenda item be presented at this time.

Assistant City Manager Bond stated that zones R-8, R-10, R-15 and R-20 is where ADUs are currently allowed and addressed in Santaquin City Code (SCC). The section defining the R-20 zone requires amending to provide consistent terminology throughout. The proposal at hand addresses the amendments needed. The zone map was referenced for context.

Commissioner Moak noted where the R-20 zone was on the map and commented that it is a small zone in reference to the other zones. Assistant City Manager Bond confirmed this statement. Commissioner Moak questioned which zone was amended first. Assistant City Manager Bond stated that the R-8 zone is where the amendments began due to this zone being historically larger due to the larger parcels in the center of town. This presented the possible use of ADUs within this zone. It was further stated that the more the city expands, the more conducive it would be to have ADUs due to lot size. Commissioner Moak expressed agreement with this logic.

Commissioner Weight inquired what the difference would be between a detached ADU and a mobile home being placed on a parcel. Assistant City Manager Bond explained that ADUs have specific requirements and stated a permanent foundation would be an example of such requirements. Commissioner Weight presented the scenario of a mobile home being placed on a permanent foundation and inquired if this would be allowed. Assistant City Manager Bond explained that such a dwelling must meet all the other requirements for ADUs and stated that a mobile home or a tiny home on wheels, would not fit the description of a detached ADU.

Commissioner Weight inquired as to why mobile homes are not part of our moderate-income housing strategy stating that most zones within Santaquin City do not allow mobile homes. It was suggested that if SCC were to amend the requirements, this may prove to be a more affordable option for residents. Assistant City Manager Bond stated that this is certainly a point that could be made and may have more to do with the fact that mobile home parks are not allowed for various reasons. If the city were to consider implementing this strategy to comply with the moderate-income housing requirement, it may be an option the state would accept. It was stated that we currently have strategies in place that build upon each other. An example given was the allowance of ADUs to a new zone. Each time the master plan is amended, impact fees are addressed for detached ADUs. Addressing this subject with the Planning Commission ensures that strategies are accurate and up to date with the goals for this year or in the coming years. Every year, as strategies are reviewed, new recommendations may be presented to the Council for review and consideration.

Commissioner Weight stated that, historically, affordable homes may have been a mobile home or something in comparison to the Brookside Subdivision in Springville which was built post-WWII. This development has very small lots and small homes. Current zoning does not allow for such examples and instead it is proposed that residents put a similar structure in their backyards. This being the case, it was questioned why not choosing a zone where an entire subdivision or development can be built that way is not an option. His expressed opinion was that developers are not choosing this option and instead, high-density housing developments are offered because the developers benefit financially. He expressed his feeling that this does not help residents as the cost of high-density housing appears to be the same as a single-family home with a lot offered ten years ago. He further stated that the affordable housing push that is advertised and driven by outside communities may not be the correct way to proceed for Santaquin residents. He stated that it may be better to come up with another option.

Assistant City Manager Bond stated that public sentiment influences the decisions of our community and noted that the option to allow a mobile home as an detached ADU may not be appealing to residents. Commissioner Weight states that high density housing may also be unappealing to the residents, noting that this is simply what is available. Assistant City Manager Bond agrees and states that achieving a balance of both affordable housing with an appealing product that the residents approve of can be difficult.

Commissioner Moak questioned whether the general plan must be amended before a motion can be made. Assistant City Manager Bond stated that because the public hearing has been held at this meeting, a recommendation can be made. That recommendation will be held until the general plan is brought forward. It will not be taken to the Council until that time.

Commissioner Moak made a motion to recommend approval of the proposed code amendment that permits detached accessory dwelling units (ADU) within the R-20 Residential Zone. Commissioner Christopher seconded the motion.

Commissioner Trevor Wood	Yes
Commissioner Drew Hoffman	Yes
Commissioner Jesse Christopher	Yes
Commissioner Michael Weight	Yes
Commissioner LaDawn Moak	Yes
Commissioner Jayson Johnson	Yes

The motion passed.

## 2. Meeting Minutes Approval

January 27, 2026

This item was not discussed and omitted from action as Meeting Minutes were not available for consideration at this time.

## STAFF REPORTS

Assistant City Manager Bond introduced new Planning Commissioner alternate, Tyrell Russell and the presence of newly appointed Commissioner, Jayson Johnson, who previously served as an alternate.

No other staff wished to report to the Planning Commission.

## ADJOURNMENT

Commissioner Weight made a motion to adjourn the meeting.

The meeting was adjourned at 7:18 p.m.

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Planning Commission Chair – Trevor Wood

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Deputy City Recorder – Gwen Butters

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