



PLANNING COMMISSION

Tuesday, January 14, 2025, at 7:00 PM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

WELCOME

INVOCATION/INSPIRATION THOUGHT

PLEDGE OF ALLEGIANCE

ORDER OF AGENDA ITEMS

PUBLIC FORUM

DISCUSSION & POSSIBLE ACTION

1. **[Public Hearing: Standard Specifications, & Drawings Update](#)**

[The Planning Commission will hold a Public Hearing to consider an update to the Santaquin City Standard Specifications & Drawings.](#)

2. **[Public Hearing: Peter Rabbit Springs Property Rezone](#)**

[The Planning Commission will hold a public hearing to consider rezoning approximately 2 acres of parcel # 32:040:0066 from the Public Facilities \(PF\) Zone to the Residential \(R-12\) Zone.](#)

3. **[The Peak Subdivision Preliminary Plan](#)**

[The Planning Commission will review the Peak 2-lot Subdivision located at approximately 390 N. 200 E.](#)

4. **Discussion on Setback Tables & Figures**

The Planning Commission will discuss possible changes to how setbacks are presented in the Santaquin City Code.

5. **Discussion on Moderate Income Housing**

The Planning Commission will discuss possible Moderate Incoming Housing strategies for the coming year.

OTHER BUSINESS

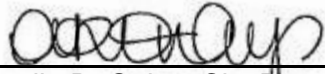
6. [Meeting Minutes Approval](#)

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:



Amalie R. Ottley, City Recorder



Memorandum

To: Santaquin City Planning Commission
 From: Jon Lundell, P.E., City Engineer
 Date: January 9, 2025
 Re: **Santaquin City Standards and specifications update**

Periodically Santaquin City's Standards and specifications must be updated to address issues discovered with previous construction materials and methods and to bring specifications in line with modifications to Utah State Code.

The current update addresses the following:

1. Division 1 – General Requirements: Section 1.23 - The proposed change is to clarify testing requirements for roadway subgrade materials.
2. Division 3 – Pressurized Irrigation: The proposed change updates include the following:
 - a. Section 3.04.G - Add the requirement for continuity testing of required tracer wires.
 - b. Section 3.05.F - Change the irrigation meter box lid to a purple color to match Utah State division of water requirements.
 - c. Section 3.05.F - Adds language for clarification of conduits connecting culinary water and pressurized irrigation meter boxes.
3. Division 3A – Culinary Water: The proposed change updates include the following:
 - a. Section 3.04A.I - Add the requirement for continuity testing of required tracer wires.
 - b. Section 3.04A.D - Adds language for clarification of conduits connecting culinary water and pressurized irrigation meter boxes.
 - c. Section 3.04A.D - The proposed change requires 4" meter vaults to have drain rock instead of a concrete floor
4. Division 6 – Fire Hydrants: The proposed changes include the following:
 - a. Division 6.06 - Proposed change to require Fire Hydrants be located outside of the clear view area as defined by city code 10.16.090
 - b. Division 6.06 - Proposed change to require a concrete maintenance pad around the base of fire hydrants
 - c. Division 6.06 - Proposed change to require an access box for the locator wires at the fire hydrant
5. Division 10 – Surface Improvements restoration: The proposed changes to require asphalt joints run diagonally across the roadway.

6. Division 13 – Storm Drain: The proposed changes include the following:
 - a. Section 13.04 – Require flowable fill between manholes and curb inlet boxes that are located close together.
 - b. Section 13.07 – Clarify inlet grate and frame type and specify minimum inlet opening
 - c. Section 13.09 – Add inspection port requirements
7. Division 16 – Detention Basin: Proposed change 16.05 topsoil to require fractured rock surface in detention basins
8. Division 20 – Landscaping: Proposed to change the following:
 - a. 20.02 - Topsoil requirements
 - b. 20.04 – Basic irrigation requirements
 - i. Section 20.04.A - Change Lateral sizing to a minimum of 2” diameter
 - ii. Section 20.04.A - Must follow improvement drawings and specifications.
 - iii. Section 20.04.A - Install unions at all valves, filters, connections, etc.
 - iv. Section 20.04.C – Swing joints required for all 1” and greater pipe
 - v. Section 20.04.D - Specified a WeatherTrak control 2-wire system and housing
 - vi. Section 20.04.J – Isolation Valves at all sprinkler valves
 - vii. Section 20.04.L – All filters to be Amiad filters and an filter 4” or larger requires a manual flush drain valve.
 - c. Section 20.07 Trees – Deep root irrigation system required for all trees
 - d. Add section 20.08 – Recreational facilities
 - i. Pour in place surfaces
 - ii. Pavilion requirements.
9. Standard Drawings
 - a. All Drawings: Update the title block
 - b. W3 – update label for a double check valve to be testable
 - c. PI2 – Update label to match text
 - d. W3 – Added pipe between meter boxes to match text
 - e. W7 – Remove label that states 2” PVC blow off assembly.

These updates will address concerns expressed by Santaquin City Public Works and the recent changes to the Utah State Code.

Recommended Motion:

The Planning Commission forwards a positive recommendation to the City Council for approval of the proposed Standard and Specifications update.



Draft

Standard Specifications and Drawings

Prepared by
Santaquin City Engineering and Public Works.
(Portions of text and Unaltered Drawings
Provided by J-U-B Engineers, Inc.)

**Approval by the Santaquin City Council
January XX, 2025**

This Manual Updated Yearly

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Chapter 4

Standard Specifications

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2024 Standard and Specifications and Drawings Updates

Errata for

Changes made to the Santaquin City Standard Specification and Drawings

Division 1

- The proposed change is the update the testing requirements to include subgrade

Section 1.23 Subsection E Compaction Test of Soil, Untreated Base Course, and subgrade:

- 1) Laboratory test to establish maximum laboratory density shall be determined in accordance with AASHTO T-180, Method D or ASTM D 1557.
- 2) Samples to determine laboratory density shall be taken from the stockpiled backfill or from the un-compacted base course and imported subgrade material in place.
- 3) The acceptance of soil, base course with respect, and subgrade to compaction shall be based upon the average density of all density tests made in a lot.
 - a) Field density tests shall be taken as specified in AASHTO T-191 or by use of a portable nuclear density testing device. Field density tests shall be taken at a depth equal to ½ the maximum depth of the lift tested.
 - b) A lot shall equal the amount of soil or untreated base course compacted in each production day.
 - c) A test lot shall be divided into sub-lots and one density test shall be taken within each sub-lot.
 - d) The location of sampling sites within the sub-lot shall be chosen on a random basis by use of a suitable random number table or at the locations designated by the Public Works Representative/Engineer.
 - e) Each test lot shall have a minimum of two (2) sub-lots. A sub-lot shall be no larger than 1,000 cubic yards for embankment, no larger than 200 cubic yards for backfill over pipe or against structures and no larger than 500 tons for untreated road base.
- 4) The test results of all samples tested shall be reported to the City. A test lot shall be accepted when the average of the density determinations is not less than the density required for that improvement in these specifications and when no one density determination is less than 95% of the density required by these specifications.
- 5) Compaction test not meeting the required specifications may be rejected and re-compaction or related construction efforts to obtain compaction shall be at the Developer/Contractor's expense.
- 6) All compaction testing must be completed no less than 24 hours prior to the placement of any structural material, road base, asphalt or concrete within the roadway and sidewalk.

Division 3

- The proposed change requires a continuity test for tracer wire on pressure irrigation pipe

Section 3.04 Subsection G. Tracer Wire

All pipe shall include a 12 gauge solid THHN tracer wire installed according to NESC standards. The locator wire shall be installed in the pipeline trench approximately 6-inches above the top of pipe. The locator wire shall be extended 30" into all service boxes to permit a continuity connection when doing line location.

A continuity test shall be conducted to ensure there are no breaks in the tracer wire prior to the placement of material over said wire.

Division 3

- The proposed change requires a purple lid for the irrigation service box
Section 3.05 Subsection F. Service Box and Meter Box shall be DFW Plastics 1324C4-12-4T 63D with a purple lid or approved equivalent.

Division 3

- The proposed change requires PVC conduit be installed between the PI and Culinary meter boxes

Section 3.05 Subsection F. Service Box and Meter

Where PI and culinary meters are located together, A 1 ¼" PVC conduit shall be installed extending from the PI meter box to the Culinary Water Box, and stub at least 2" into each box.

Division 3A

- Section 3A.04 Subsection I. Tracer Wire
The proposed change requires a continuity test for tracer wire on culinary water pipe

A continuity test shall be conducted to ensure there are no breaks in the tracer wire prior to the placement of material over said wire.

Division 3A

- The proposed change requires PVC conduit be installed between the PI and Culinary meter boxes
Section 3A.05 Subsection D. Meter, Meter Setter Assembly, Meter Box and Cover:

Where PI and Culinary meters are located together, A 1 ¼" PVC conduit shall be installed extending from the PI meter box to the Culinary Water Box, and stub at least 2" into each box.

Division 3A

- The proposed change requires 4" meter vaults to have drain rock instead of a concrete floor
Section 3A.05 Subsection D. Meter, Meter Setter Assembly, Meter Box and Cover:

4" Meter Vaults shall have no concrete floor Place 12" of drain rock along the bottom of vault.

Division 6

- Proposed change to require Fire Hydrants be located outside of the clear view area as defined by city code 10.16.090
- Proposed change to require a concrete maintenance pad around the base of fire hydrants
- Proposed change to require an access box for the locator wires at the fire hydrant
- Section 6.06 Fire Hydrants

Fire Hydrants shall be located outside of the clear view area as defined in Santaquin City Code

All Fire Hydrants shall have a concrete maintenance pad surrounding the base of the fire hydrant. The fire hydrant shall be located in the center of the concrete pad. The maintenance pad shall be a minimum of 3 foot wide by the width of the planter strip or 3 foot square, whichever is greater.

A snake pit access box (PART #: CD14BTP BLUE LID) or approved equivalent shall be provided by and installed by the developer to house the locator wires at the hydrant. Box shall be located between the hydrant and the curb and gutter and within the concrete maintenance pad.

- Proposed change to require 4" vaults to have drain rock instead of a concrete floor
Section 6.10 Pressure Irrigation 4-Inch Flushing, Air Inlet and Removal Facility
Each 4-inch flushing, air inlet and removal facility shall be constructed as detailed and placed at the locations shown on the drawings. The work is to include excavation, gravel foundation, backfill, piping, fittings, concrete thrust blocks and collars, valves, utility boxes, sod replacement, and appurtenances. 4" Vaults shall have no concrete floor Place 12" of drain rock along the bottom of vault.

Division 10

- Proposed change to require asphalt joints to run diagonally at a small angle
Section 10.03 Removal of Pavement, Sidewalks, Curbs, Etc.
Asphalt joints shall run diagonally across the roadway at a 1 to 2 degree angle

Division 13

- Proposed change to require flowable fill where manholes and inlet boxes are located close together
Section 13.04 Manholes
Flowable fill shall be used between the manhole and an inlet box if they are located 32" or less from each other.
- Proposed change to correct the part number of the storm drain grate required

Section 13.07 Subsection A. Concrete Inlet boxes:

The storm drain inlet grate and frame shall be a D & L Supply I-35178 single unit with curb box ~~with type "V" grate or equal.~~ Grates and frames are to be dipped in cold tar epoxy following fabrication. Following construction of the curb and gutter improvements and before the final inspection each inlet box shall have a decal mounted on the curb face adjacent to the inlet box. The decal shall be purchased from the City by the Developer.

- Proposed change to require a 10" opening at the curb box

Section 13.07 Subsection A. Concrete Inlet Boxes:

The opening of the curb box must be at least 10" wide.

- Proposed change to add requirements for Underground Stormwater Detention Systems

Section 13.09 UNGROUND STORMWATER DETENTION SYSTEMS

All underground stormwater detention systems are required to have a 10" diameter inspection port located at the end of the infiltration gallery furthest away from the inlet at the chambers.

The inspection port shall have a threaded cap and have a minimum 10 inch cast iron lid for access.

Division 16

- Proposed change to require fractured rock surface in detention basins

Section 16.05 Topsoil

Detention basins shall have a minimum of 6 inches of 2-3 inch Fractured rock along the entire surface of the basin, if not landscaped with grass.

Division 20:

- Proposed change to specify a topsoil mix for landscaping

Section 20.02

Topsoil shall be fertile, sandy loam topsoil, obtained from well-drained areas. It shall be without admixture of subsoil or slag and shall be free of stones, lumps, sticks, plants or their roots, toxic substances or other extraneous matter that may be harmful to plant growth and would interfere with future maintenance. Topsoil ~~pH range shall be 5.3 to 6.0~~ shall meet the requirements listed in the tables below. Native topsoil at the site may be used as the final topsoil layer if it is of adequate quality. Where topsoil is required a 6" layer of topsoil shall be placed.

Physical Properties

Test	pH	EC	SAR	% Sand	% Silt	% Clay	% OM
Acceptable level(s)	5.5-8.0	<3.0	<6.0	15-60	10-60	5-30	>1.0

Nutrients

Test	No3-N ppm	P ppm	K ppm	Fe ppm
Acceptable level(s)	>20	>11	>130	>10

- Proposed change to specify a minimum of 2" diameter for the irrigation connection to open space areas
- Proposed change to require unions at all valves filters and connection points

Section 20.04 Subsection A. Basic Irrigation Requirements

The Developer/Irrigation Contractor shall provide labor, materials, equipment and services necessary to complete the irrigation work as defined in these specifications and as indicated on the Improvement

Drawings. The Contractor shall coordinate work of this section with work of all related trades and subcontractors to assure smooth progression of work. Work shall include, but is not limited to:

1. The minimum service connection to all open space areas either public dedication or privately maintained must be a minimum of 2" diameter.
 2. Completing the irrigation system as shown on the Improvement Drawings and required by these specifications.
 3. Verifying the underground utility locations.
 4. Protecting and/or restoring all existing improvements.
 5. Trenching and backfilling for all pipes, valves and drain pits specified.
 6. Furnishing and installing all filter mains, laterals, risers and fitting, heads, quick-coupling valves, gate valves, control valves, controllers, electric wire, controls, etc., and all necessary specialties and accessories.
 7. Furnishing and installing all sleeves beneath walkways, roads, and driveways where required.
 8. Testing of irrigation system.
 9. Regulating and adjusting all heads and programming controller.
 10. Unions shall be installed at all valves, filters, and connection points, etc.
- A two year warranty of the system (materials and installation) shall be provided.
- Proposed change to the model of automatic controller required
Proposed change to require a hydrometer and valve

Section 20.04 Sub-section C. Fittings

Swing joints are required on all fittings 1" and greater in diameter.

Section 20.04 Subsection D. Automatic Controller

~~The developer will check with the Public Works Director prior to purchasing an automatic controller. Unless directed otherwise the automatic controller will be a Huner controller with stainless steel pedestal mount ICC, with TBOX batter operated module.~~ The automatic controller shall be a WeatherTrak pro3 2 wire controller and ET Pro3 2-Wire housing box. The controller shall be housed in a NEMA Type 4, weatherproof, watertight enclosure with lockable access door. The enclosure shall be at grade or pedestal mounted as determined by the Public Works Director.

The developer shall provide an appropriately sized Netafim combined hydrometer and valve, with a digital register, after the point of connection, such as the meter. The equipment must be installed with the manufacturer's required materials.

- Proposed change to require manual isolation valves on sprinklers
- Section 20.04 Subsection J. Valves and Couplers:

Manual Isolation valves shall be installed at each sprinkler valve.

- Proposed change to require filters before the flow meter, and bypass systems on filters larger than 4"

Section 20.04

Sub-section L. Filters

All filters must be installed before the flow meter. Filters must be an auto-flushing Amiad filter or approved equivalent.

All Filters 4" or larger shall utilize a bypass system with a manual flush drain valve before the filter.

- Proposed change to require deep root tree irrigation systems on trees

Section 20.07

A deep root tree irrigation system shall be installed on all trees.

- Proposed change to include specifications for recreational facilities, including rubber play surfaces for playgrounds, and pavilion materials.

Section 20.08 Recreational Facilities

This section includes specifications for playground equipment, pavilions and other facilities.

Playgrounds:

Pour-in-place rubber surfaces shall be installed under all playground equipment. The manner and area of installation shall be done according to the approved plans and the manufacturer's recommendations for both the play structure and play surface. Colors must be neutral earthtone colors approved by Santaquin City.

Pavillions:

Any pavilions installed shall be finished with an architectural powder coated metal or aluminum construction.

Standard Drawings:

- All Drawings: Update title block to show current address
- W3 Update the label on 4" Double check valve to state that it must be testable
- PI2 change label on conduit between meter boxes to match specification text
- W7: Remove label that says 2" PVC on the Eclipse Hydrant Blow-Off Assembly and replace with 2" ductile iron

CHAPTER 4

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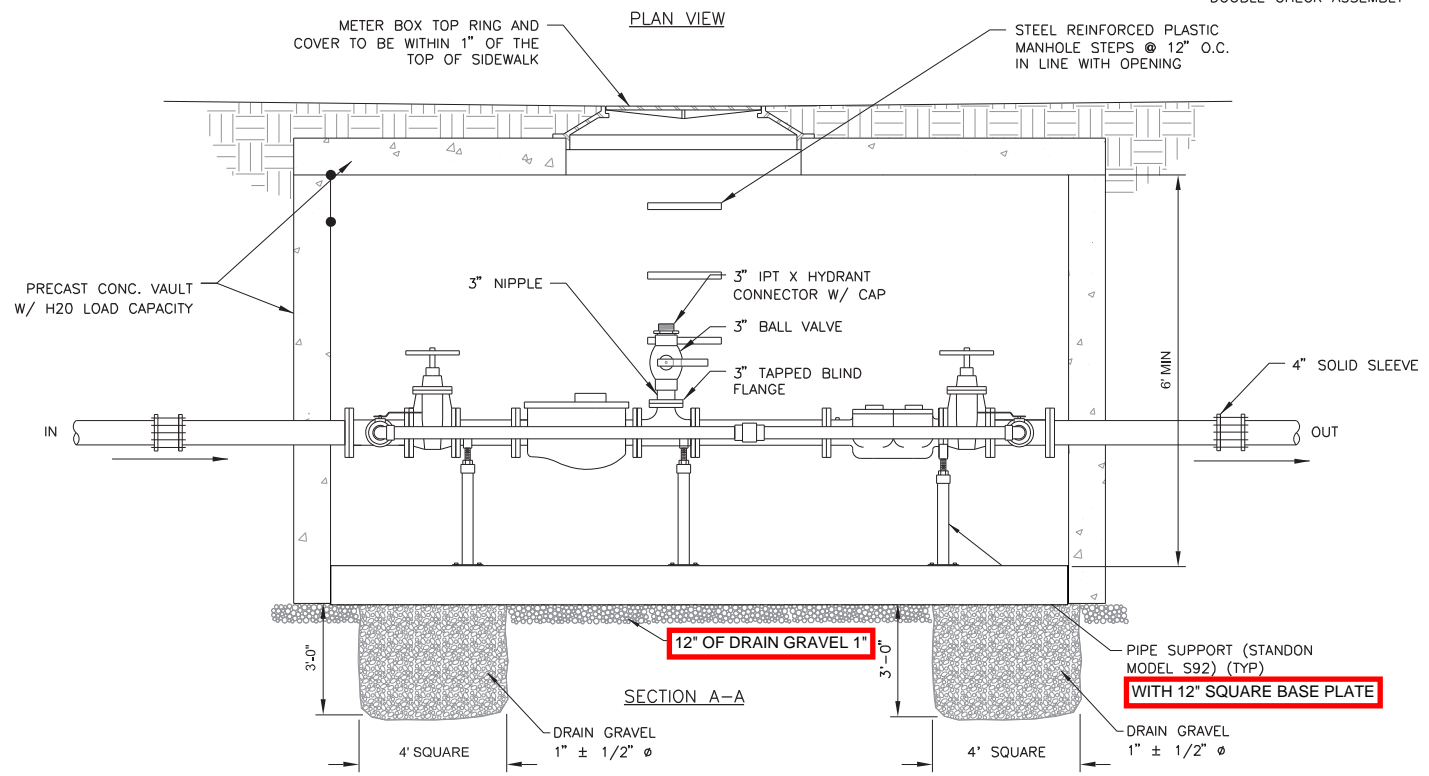
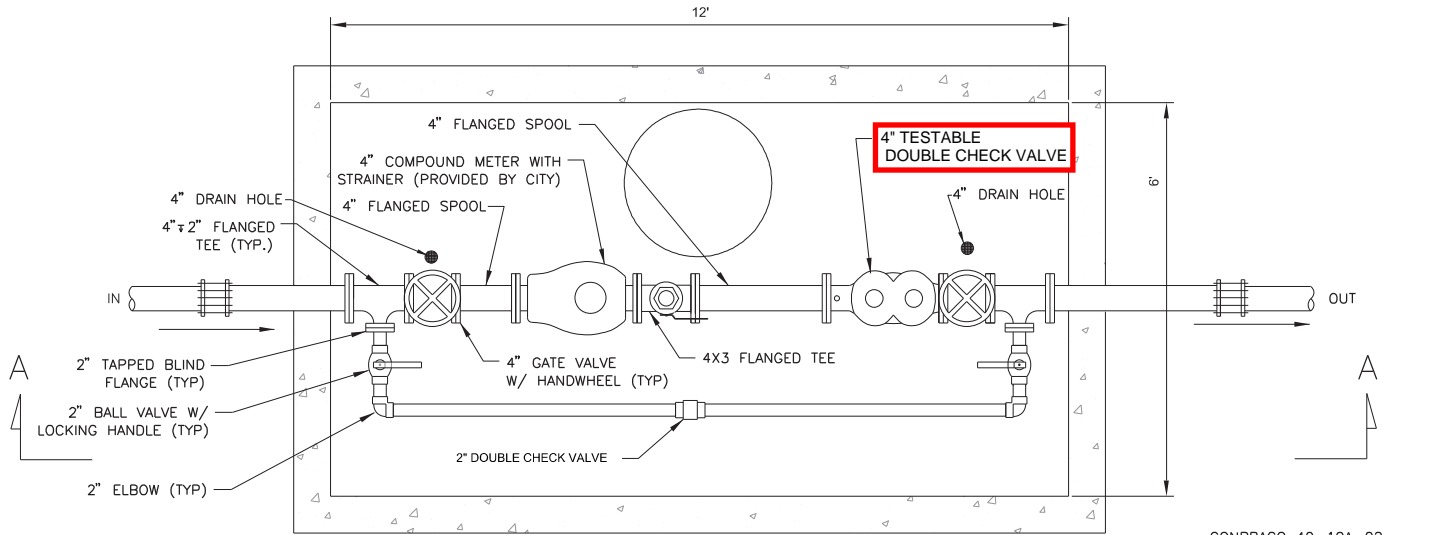
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- NOTES:
1. ALL 4" PIPE AND FITTINGS SHALL BE DUCTILE IRON.
 2. ALL DUCTILE IRON PIPING AND FITTINGS SHALL BE PAINTED W/ AN NSF APPROVED EPOXY BASED PAINT
 3. ALL 3" & 2" PIPE AND FITTINGS SHALL BE BRASS
 4. ALL REBAR SHALL HAVE 30" OVERLAPS.
 5. PORTLAND CEMENT CONCRETE MAY ONLY BE POURED ON UNDISTURBED SOIL, 3/4" CRUSHED GRAVEL, OR COMPACTED UNTREATED ROAD BASE.
 6. SEPARATE DRAWINGS MUST BE SUBMITTED FOR APPROVAL FOR LARGER WATER SERVICES.
 7. METER BOXES SHALL BE PLACED IN LANDSCAPE AREAS.

4" WATER SERVICE CONNECTION
NOT TO SCALE

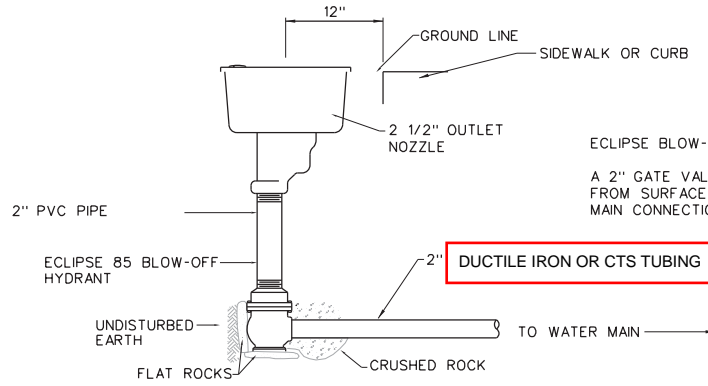


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REVISION	DESCRIPTION



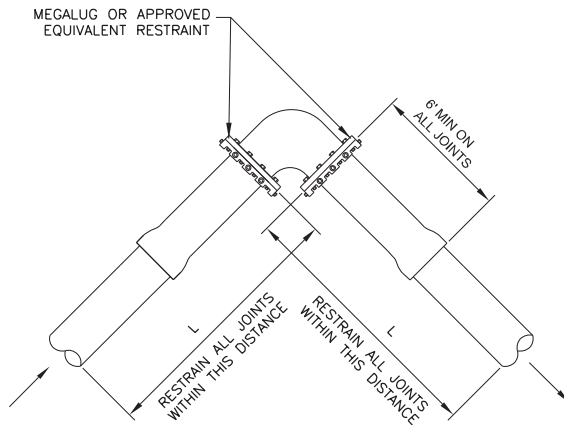
4" WATER SERVICE CONNECTION
SANTAQUIN CITY
110 SOUTH CENTER STREET

STANDARD DRAWING NUMBER:	W3
CAD DWG. NO.:	6-17.dwg
PLOT SCALE:	
DRAWN BY:	
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	20 JUN 12



ECLIPSE BLOW-OFF ASSEMBLY NOTES:
 A 2" GATE VALVE WITH VALVE BOX (ACCESSIBLE FROM SURFACE) TO BE INSTALLED AT WATER MAIN CONNECTION

ECLIPSE HYDRANT BLOW-OFF ASSEMBLY
 NOT TO SCALE



EXAMPLE:

PIPE = 6" PVC
 L = 28'

PVC HORIZONTAL BEND RESTRAINED LENGTHS IN FT.									
BEND ANGLE	PIPE SIZE								
	4	6	8	10	12	14	16	18	20
90	20	28	37	44	52	59	67	73	81

NOTES:

- 1. ALL JOINTS WITHIN THE "L" DISTANCE SHALL BE RESTRAINED

DIP HORIZONTAL BEND RESTRAINED LENGTHS IN FT.									
BEND ANGLE	PIPE SIZE								
	4	6	8	10	12	14	16	20	
90	15	21	28	34	40	45	51	62	

NOTES:

- 1. ALL JOINTS WITHIN THE "L" DISTANCE SHALL BE RESTRAINED

NOTE:

- 1. THRUST BLOCK NOT SHOWN FOR CLARITY

BASED ON:

TEST PRESSURE: 200 PSI
 SOIL TYPE: GM - SILTY GRAVEL,
 GRAVEL-SAND-SILT MIXTURE
 BURIAL DEPTH: 4 FT.
 TRENCH TYPE: 5 - PIPE BEDDED IN
 COMPACTED GRANULAR MATERIAL TO
 THE CENTER LINE OF PIPE, 4" MIN.
 UNDER PIPE. COMPACTED GRANULAR
 OR SELECT MATERIAL TO TOP OF
 PIPE. (APPROXIMATELY 95% OF
 MODIFIED PROCTOR, AASHTO T-180)

SAFETY FACTOR: 1.5

* CALCULATIONS DERIVED FROM EBAA
 IRON SALES



MEGALUG RESTRAINING SYSTEM DETAILS

NOT TO SCALE

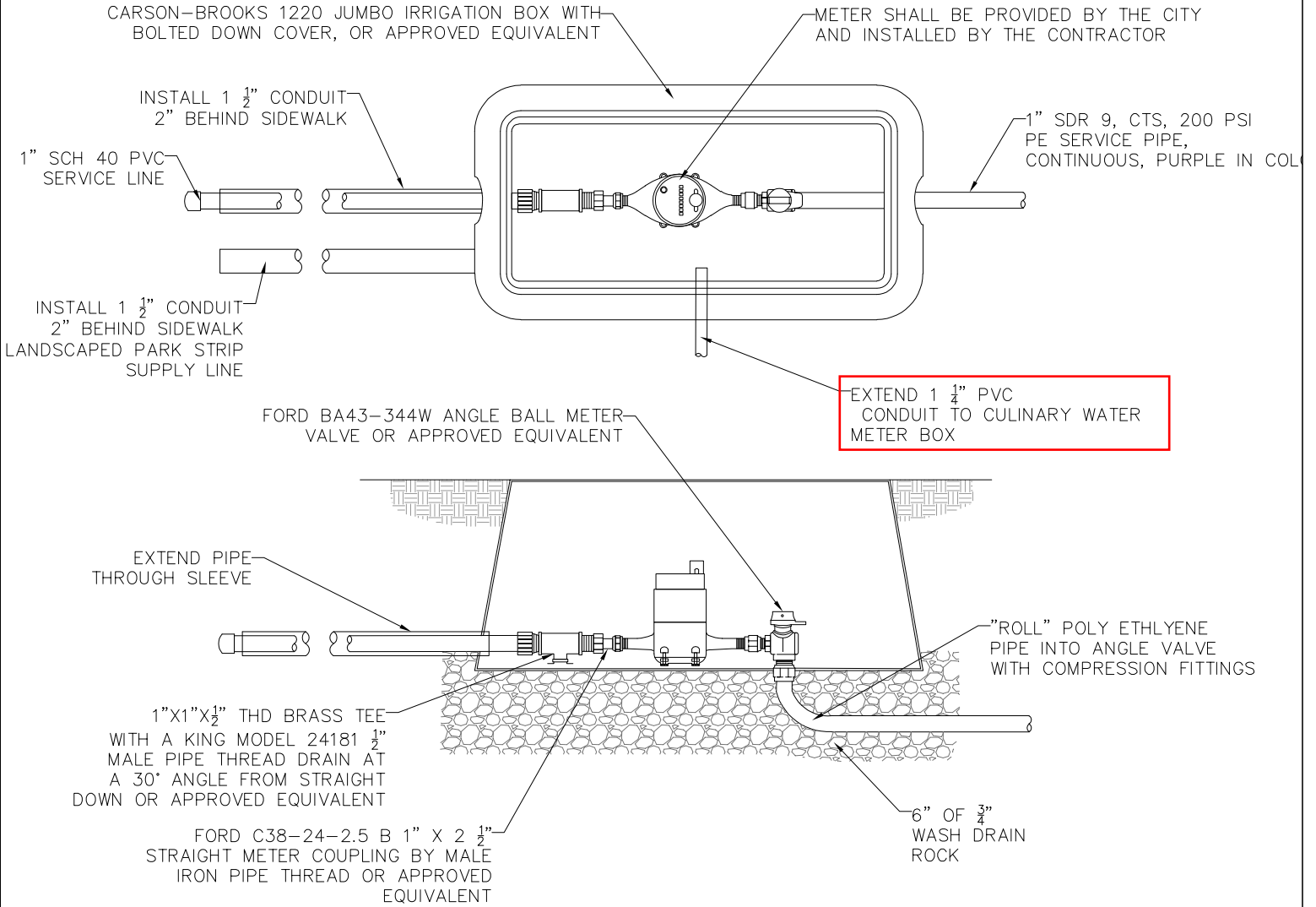
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REVISION			
NO.	DESCRIPTION	BY	APR. DATE
1	ADDED NOTE THAT THRUST BLOCKS ARE NOT SHOWN FOR CLARITY		



**MEGALUG RESTRAINING SYSTEM &
 ECLIPSE HYDRANT BLOW-OFF ASSEMBLY**

SANTAQUIN CITY
 110 SOUTH CENTER STREET

STANDARD DRAWING NUMBER:	W7
PLOT SCALE:	CAD DWG.dwg 6:37 pm
DRAWN BY:	
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	26
	20 JUN 12



PRESSURIZED IRRIGATION METER BOX
NOT TO SCALE

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REVISION			
NO.	DESCRIPTION	BY	DATE
1	fixed label for conduit between boxes to say PVC	TJW	



PRESSURE IRRIGATION METER BOX
SANTAQUIN CITY
110 SOUTH CENTER STREET

PI2

ADOPTED DATE: 19 - OCT - 16

MEMORANDUM



To: Planning Commission
From: Ryan Harris, Senior Planner
Date: January 8, 2025
RE: **2-Acre Peter Rabbit Springs Rezone Request**

It is proposed that the Planning Commission and City Council consider amending the Santaquin City Zoning Map to change the zoning of approximately 2 acres of parcel number 32:040:0066 from the Public Facilities (PF) zone back to the R-12 zone.

This rezoning proposal is related to the approval of the Scenic Ridge Estates Development Agreement, which was reviewed by the Planning Commission on November 12, 2024 and approved by the City Council on November 19, 2024. In the development agreement, the developer provided the City with approximately 5 acres within the Scenic Ridge Development for a debris basin, while the City granted the developer the two acres that are being proposed to be rezoned.

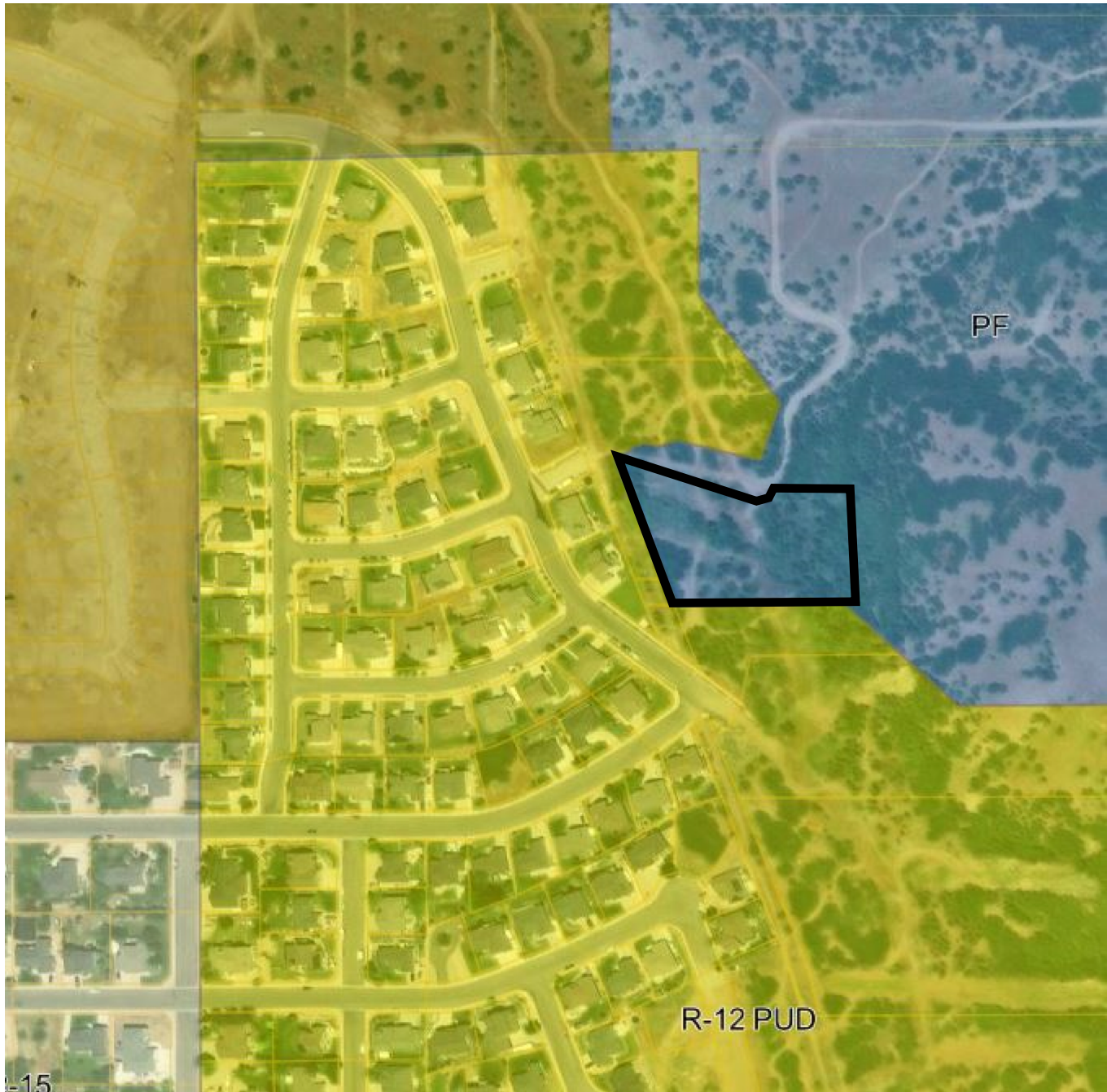
Prior to the approval of the development agreement, city staff also worked to rezone city land to the Public Facilities (PF) zone. Peter Rabbit Springs, which includes the 2 acres involved in this rezone request, was rezoned from the Residential R-12PUD to the PF zone. The proposed rezone aims to revert the property from the PF zone back to its original zoning of R-12.

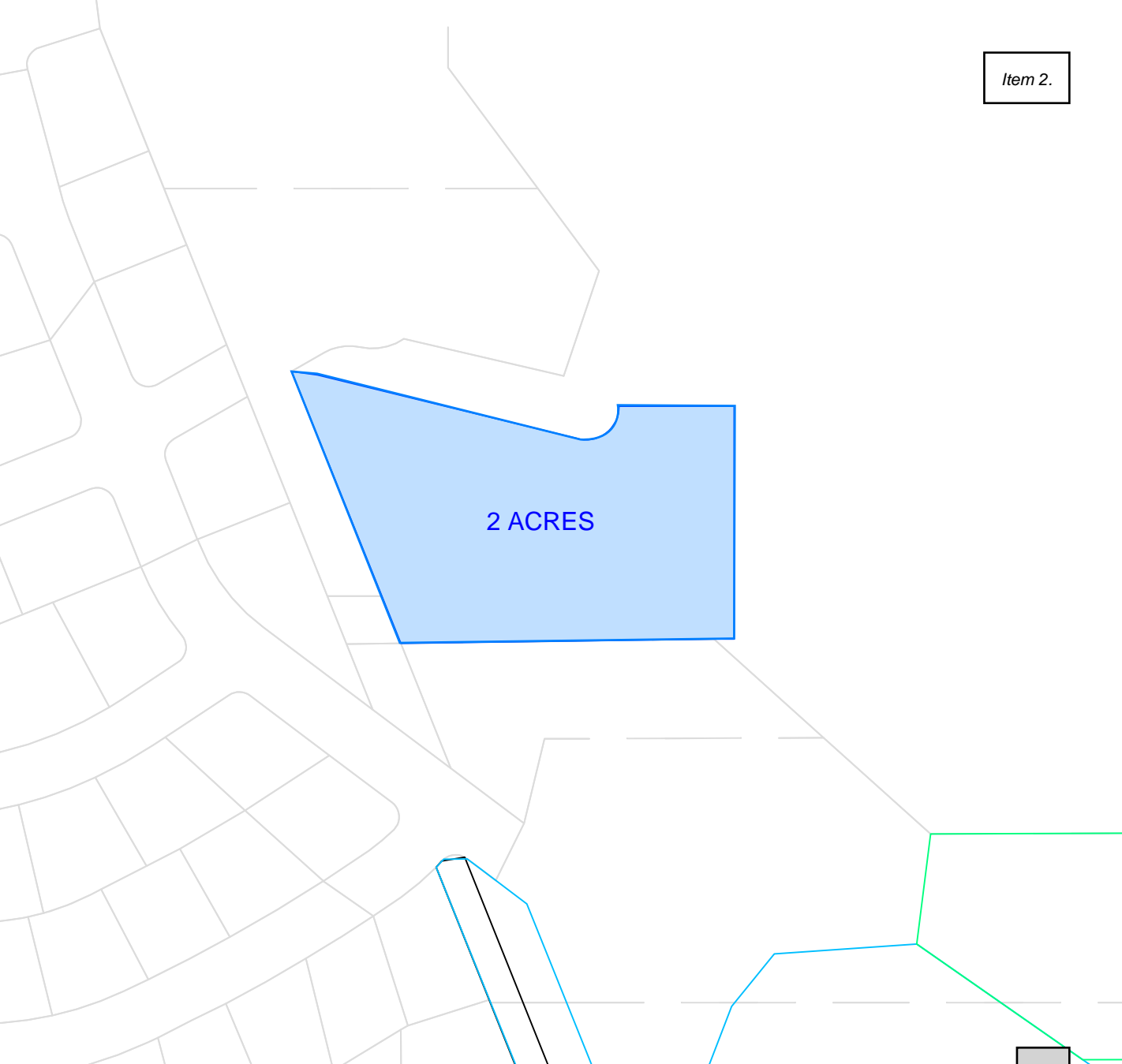
Recommended motion: “Motion to forward a positive recommendation to the City Council for the rezoning of approximately two acres of parcel number 32:040:0066 from the Public Facilities (PF) zone to Residential (R-12) Zone.

Attachments:

1. Property Location and Current Zoning
2. Proposed Zoning Map

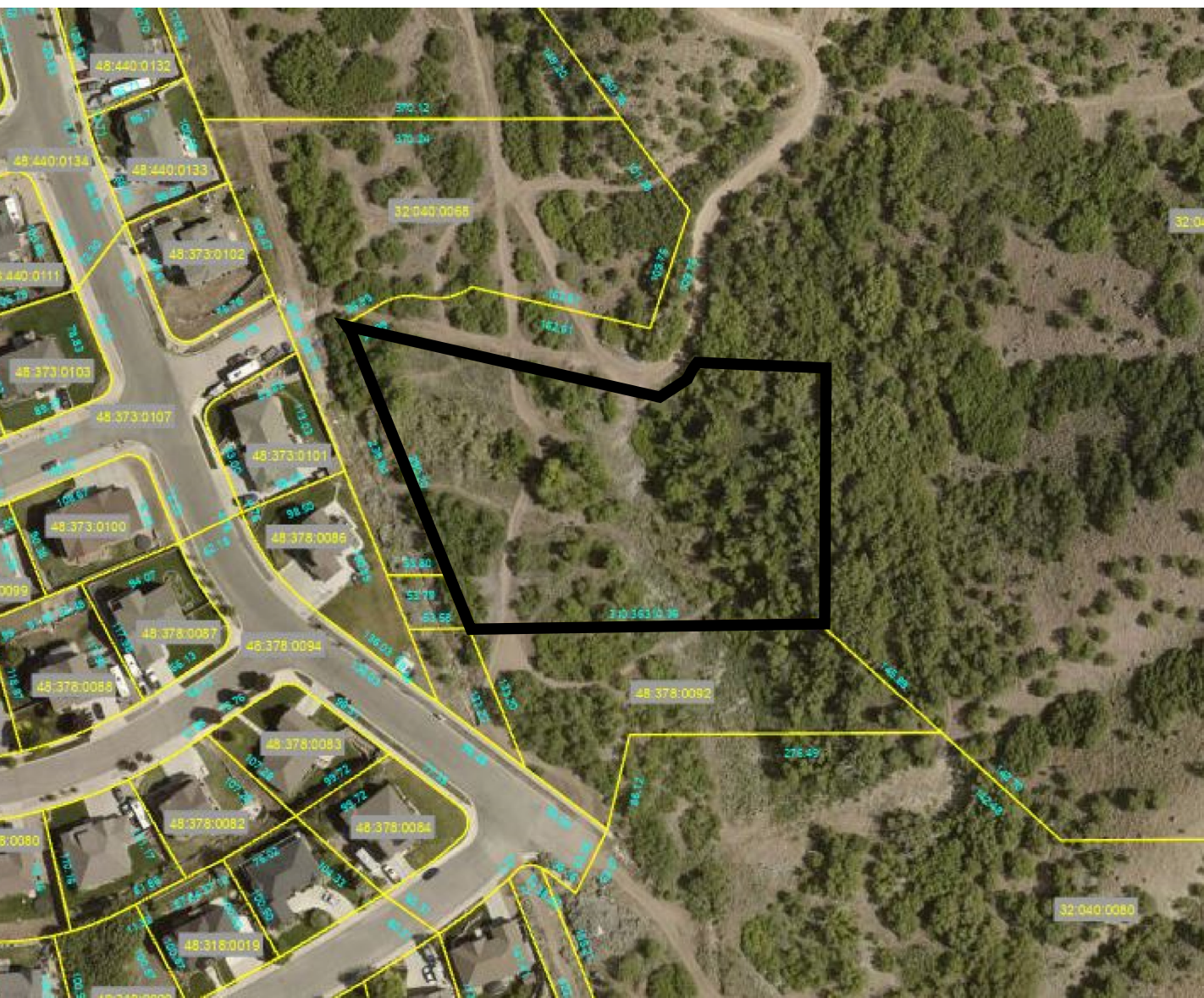
Attachment 1: Property Location and Current Zoning

























2 ACRES

<small>FIN AS AN AQUIN CITY AND IS THROUGH THE</small>	DRAWN BY:	CHECKED BY:	SANTAQUIN CITY 110 SOUTH CENTER STREET SANTAQUIN, UT 84655	Property Deeded to Developer	30
	DATE: 6-22-2024				






Santaquin City Zoning

City Zoning Areas

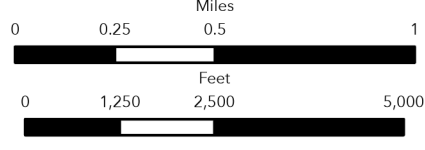
- | | |
|---|--|
|  Ag - Agriculture |  R-12 - Single Family 12,000sf Lots |
|  C-1 - General Commercial |  R-12 PUD-Planned Unit Development |
|  CBD - Central Business District |  R-15 - Single Family 15,000sf Lots |
|  CLM - Commercial Light Manufacturing |  R-15 PUD-Planned Unit Development |
|  I-1 - Industrial |  R-20 - Single Family 20,000sf Lots |
|  MSC - Main Street Commercial |  R-43 - Single Family Min. 1 Acre Lots |
|  MSR - Main Street Residential |  R-8 - Core Area Residential 8,000sf Lots |
|  PC - Planned Community |  R-Ag - Residential Agriculture |
|  PF - Public Facilities |  RC - Residential Commercial |
|  R-10 - Single Family 10,000sf Lots | |
|  R-10 PUD-Planned Unit Development | |

Boundary Lines

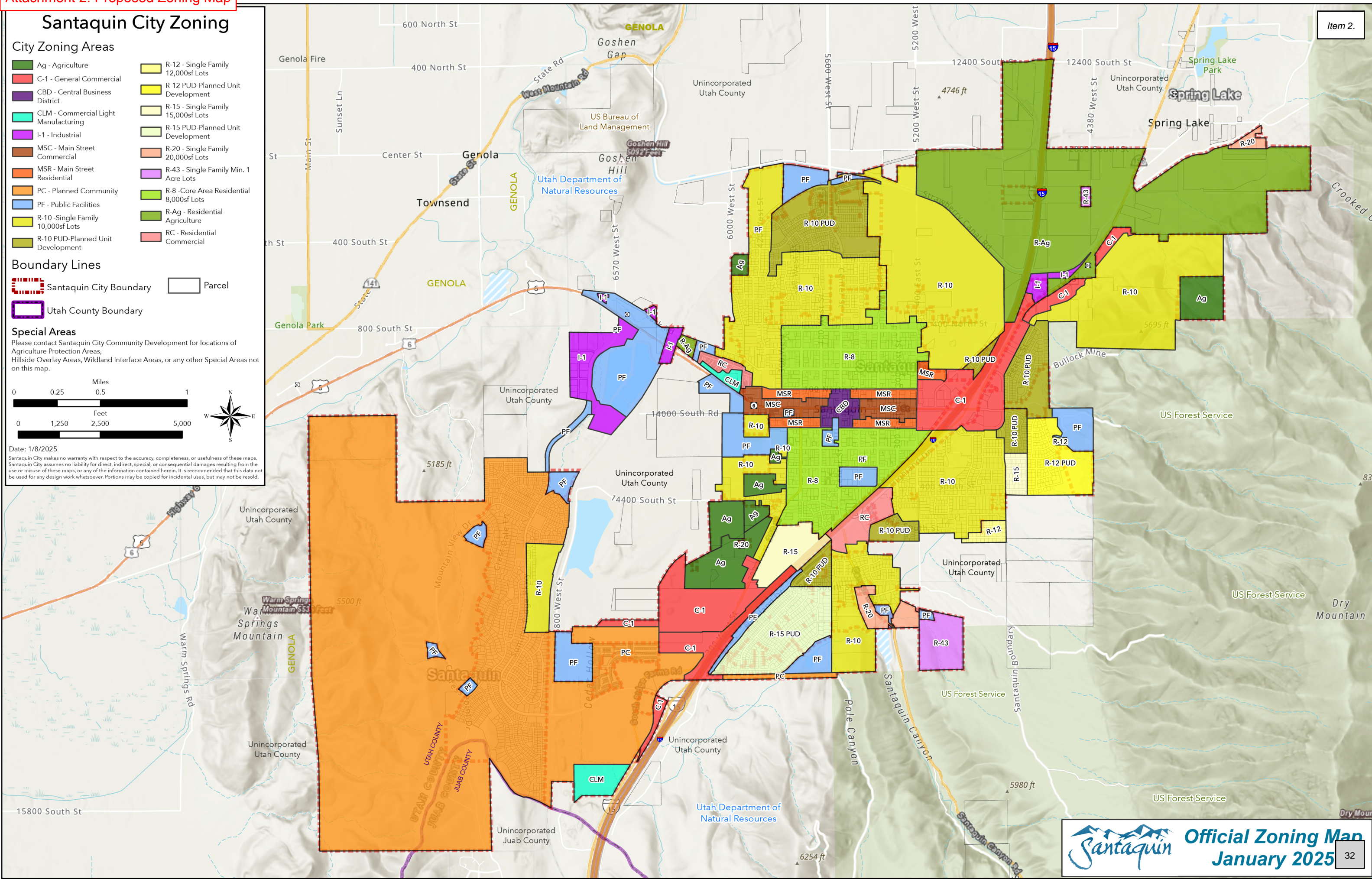
-  Santaquin City Boundary
-  Parcel
-  Utah County Boundary

Special Areas

Please contact Santaquin City Community Development for locations of Agriculture Protection Areas, Hillside Overlay Areas, Wildland Interface Areas, or any other Special Areas not on this map.



Date: 1/8/2025
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MEMORANDUM

To: Planning Commission
 From: Aspen Stevenson, Staff Planner
 Date: January 14, 2025
 RE: **Peak Subdivision Preliminary Review**

Zone: R-8
 Size: 0.30 Acres

The Peak Subdivision is located at 390 North 200 East. The proposed subdivision is in the R-8 zone and consists of 2 lots on 0.30 acres. Lots within the R-8 zone are required to have a minimum size of 8,000 square feet and a minimum lot width of 80 feet. Both proposed lots are 0.15 acres (6,487 square feet).

The applicant was granted an infill reduction request on September 10, 2024, by the Planning Commission. Infill Reduction may reduce frontage requirements and required lot size by 20%. The Planning Commission made the following motion, “motion to approve the 390 N 200 E subdivision infill reduction request, (reducing the frontage requirement for the interior lot to 68.62’ and the size requirement for both lots to 6,411 square feet).”

Infill Reduction		
	Approved	Actual
Lot 2 Frontage	68.62 ft	69.635 ft
Lot 1 Square Footage	6,411 sq ft	6,487 sq ft
Lot 2 Square Footage	6,411 sq ft	6,487 sq ft

The applicant proposed a deferral agreement to the City Council on October 1, 2024. The City Council made the following motion “approve Resolution 10-01-2024, a resolution approving an infrastructure deferral agreement with Peak to Peak Real Estate, LLC for 390 N. 200 E. Subdivision located at 390 N. 200 E.”. The deferral agreement allows them to defer the street improvements (i.e., sidewalk, curb, gutter, asphalt, etc.) to a later date.

On December 10, 2024, the Development Review Committee (DRC) reviewed the preliminary plans for the Peak Subdivision and forwarded a favorable recommendation to the Planning Commission, with the condition that redlines be addressed.

This review is for the Planning Commission to determine whether the proposed subdivision complies with the Santaquin City Code. The Planning Commission is the land use authority for preliminary subdivision applications.

Findings

1. The subdivision plans meet the requirements of the R-8 Zone (SCC 10.20.080).
2. The subdivision plans meet all Engineering and Public Works requirements found in the Santaquin City Standard Specifications and Drawings.
3. The City Council has approved a deferral agreement to deferral street improvements to a later date.
4. All applicable requirements in Santaquin City Title 11 (Subdivision Regulations) have been met with exceptions to the written approval from Summit Creek Irrigation and the transfer of ownership for the remnant parcel. Both exceptions are conditions of approval.
5. The subdivision has followed the subdivision review process in SCC 11.20.020 and preliminary plans have received a favorable recommendation from the DRC.

6. The subdivision plans (attachment 2) have met all conditions in the DRC motion with exceptions to the written approval from Summit Creek Irrigation and the transfer of ownership for the remnant parcel. Both exceptions are conditions of approval.
7. The developer has met all requirements of Infill Reduction approval granted by the Planning Commission.

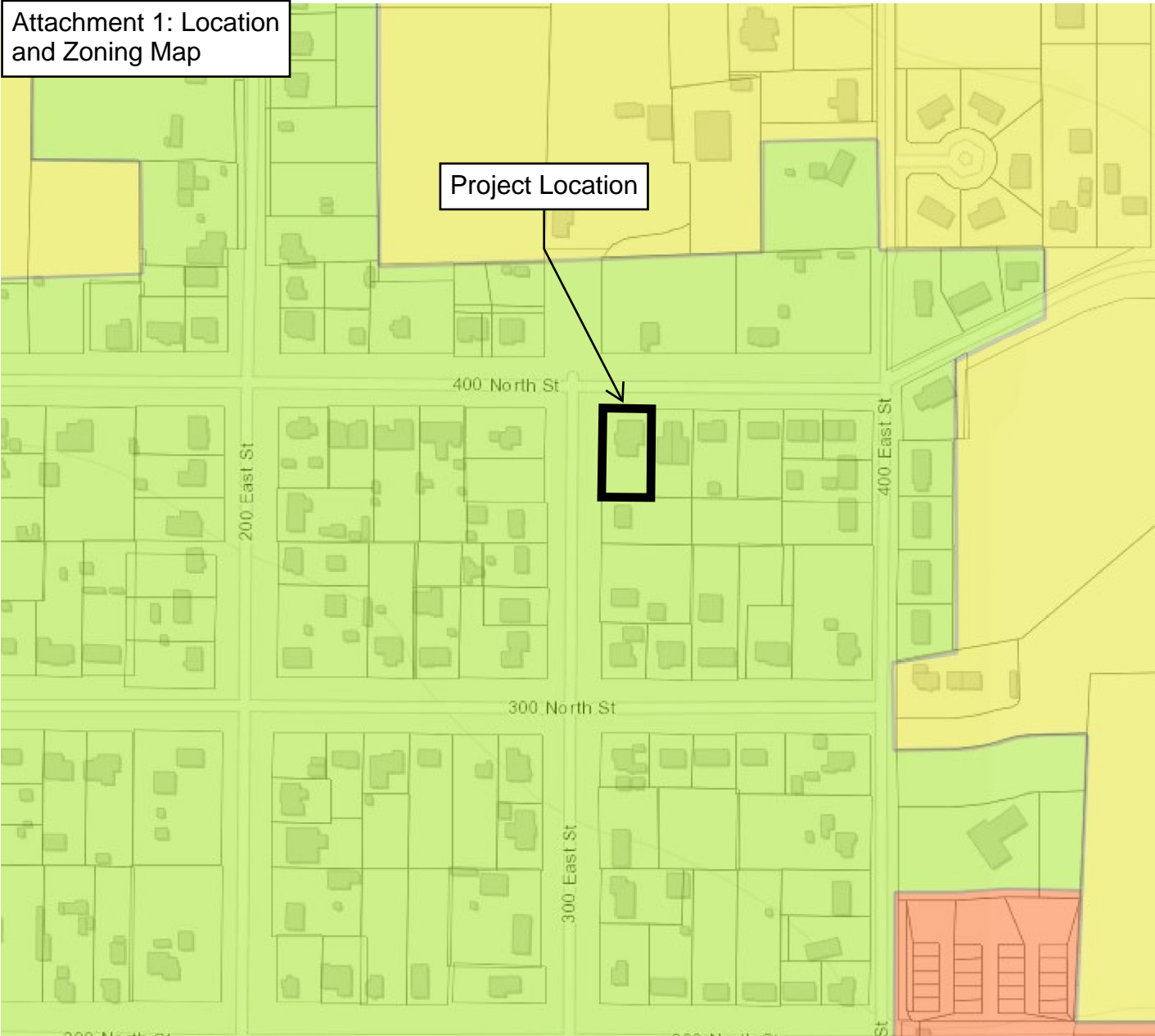
Recommended Motion: “Motion to conditionally approve the preliminary plans for the Peak Subdivision with the following conditions:

1. Provide written approval from Summit Creek Irrigation Co.
2. The remnant parcel needs to be transferred to the property owners to the south of the subdivision (Parcel No. 09:112:0018) before plat recordation.”

Attachments:

1. Zoning and Location Map
2. Preliminary Plan

Attachment 1: Location and Zoning Map



Project Location

400 North St

200 East St

400 East St

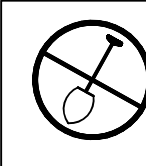
300 North St

300 East St

St

Project Location





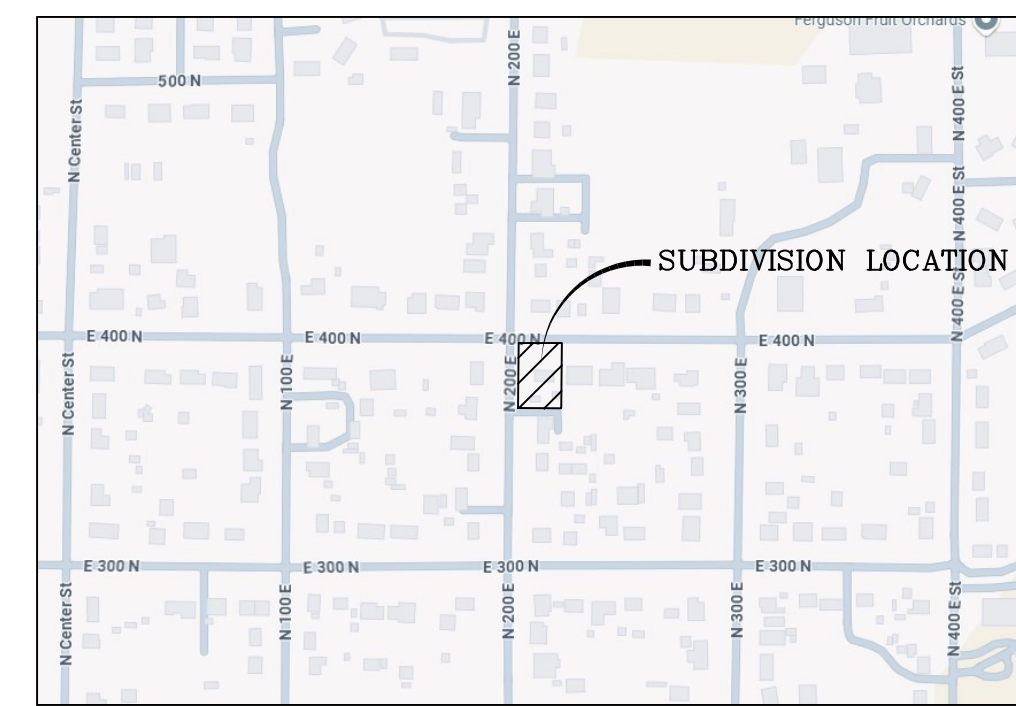
NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-882-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PLAT "A" PEAK SUBDIVISION

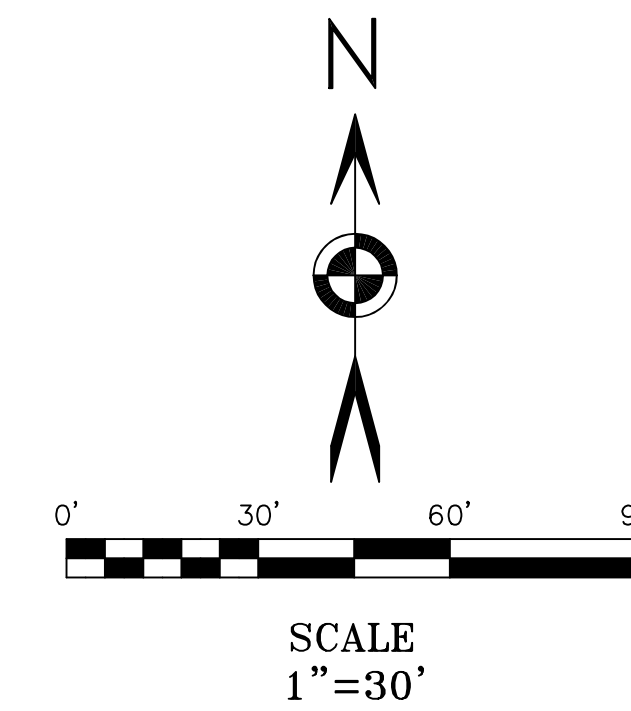
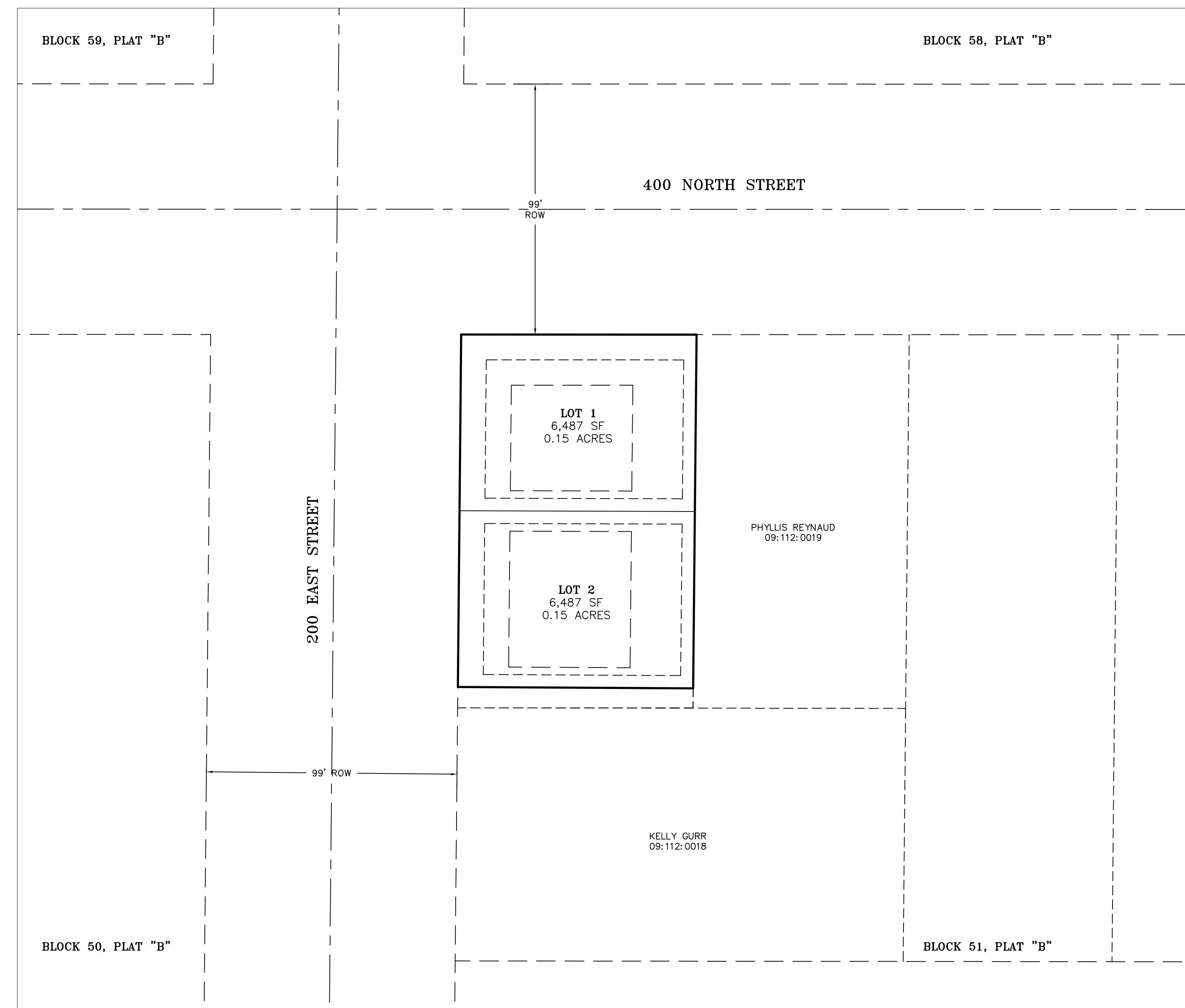
SANTAQUIN CITY, UTAH COUNTY, UTAH

SHEET # SHEET NAME

1	COVER SHEET
2	FINAL PLAT "A"
3	UTILITY PLAN
4	SURVEY PLAT

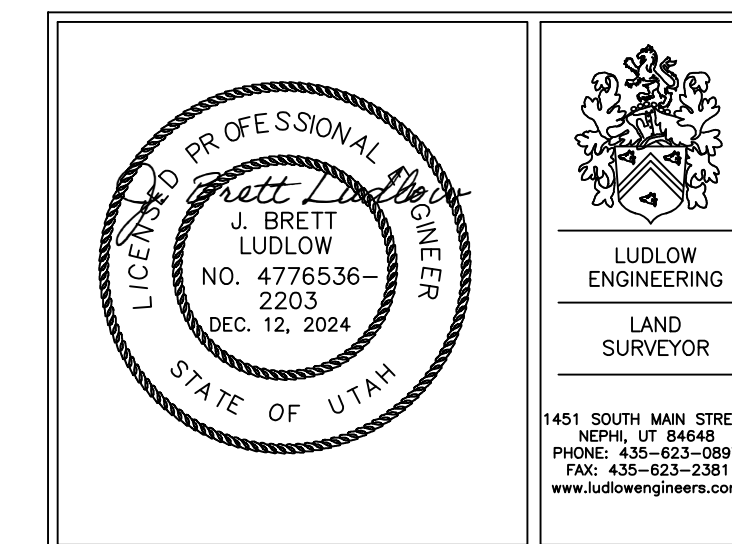


VICINITY MAP
-NTS-



DATA TABLE:
ZONING=R-8
TOTAL # OF LOTS=2
TOTAL ACREAGE=0.30
LOTS/ACRE=6.67

GENERAL NOTE:
 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
 2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



OWNER/DEVELOPER:
PEAK TO PEAK REAL ESTATE, LLC
JARRETT WHITE
435-851-1101

ENGINEER/SURVEYOR:
LUDLOW ENGINEERING
435-623-0897
1451 S MAIN
NEPHI, UT 84648

REVISIONS

1. DECEMBER 12, 2024	4. _____
2. _____	5. _____
3. _____	6. _____

PROJECT NO.: LE 4471 SURVEYOR/DIRECTOR: D. PENROD
 DATE: DECEMBER 2024 FIELD SURVEYOR: T.H.
 SCALE: 1" = 30' DRAWN: K. ROUNDY
 REVISION: _____ CHECKED: D. PENROD



LUDLOW ENGINEERING & ASSOCIATES

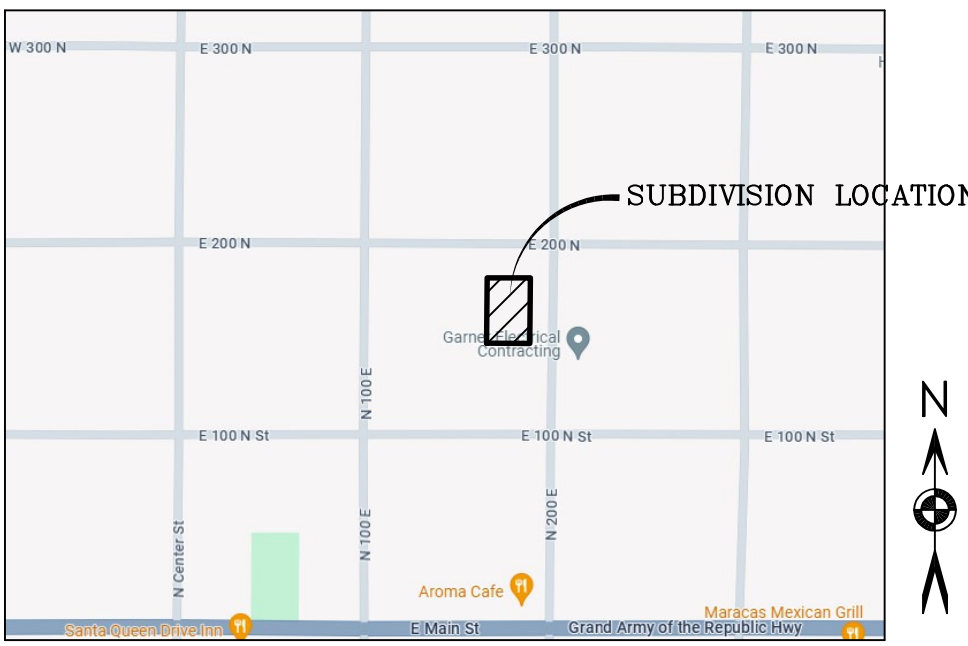
Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
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 1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

COVER SHEET

PLAT "A" PEAK SUBDIVISION

LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSITE SURVEY OF BUILDING LOTS
 SANTAQUIN CITY, UTAH COUNTY, UTAH
 DECEMBER 2024

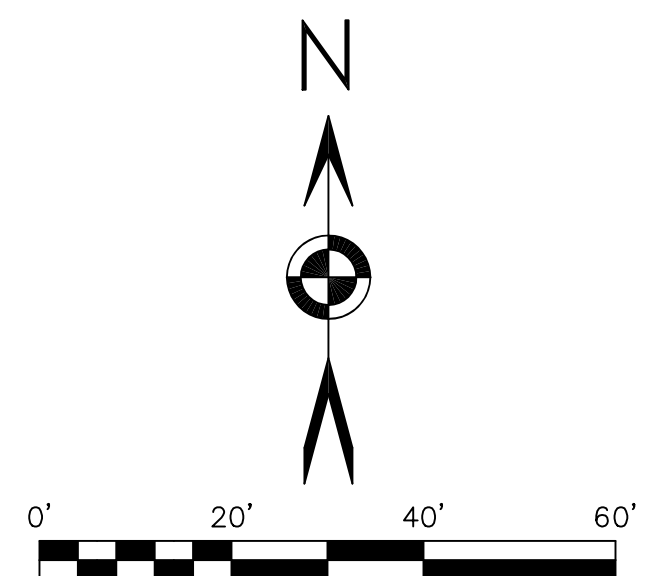
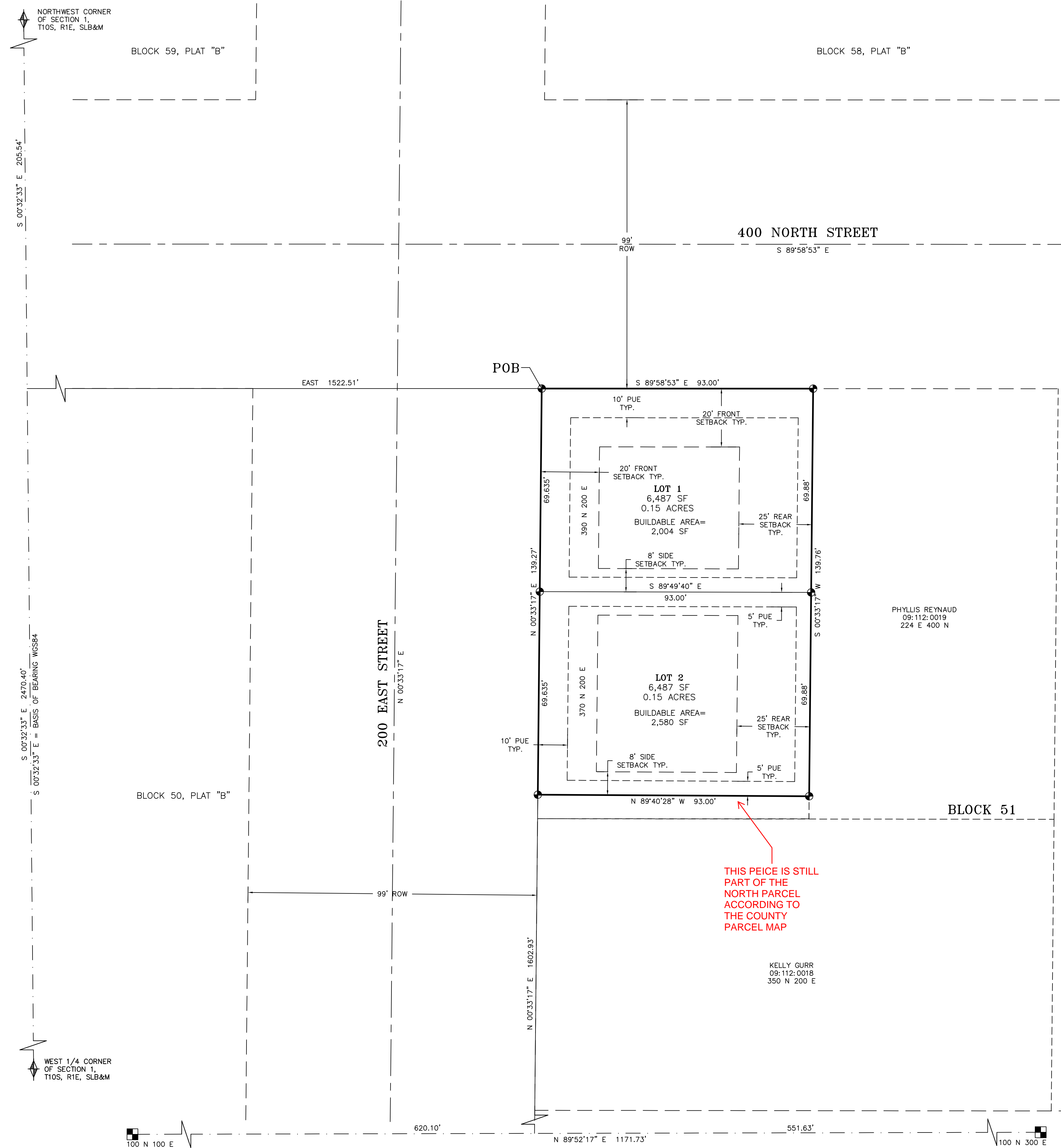
PLAT "A" PEAK SUBDIVISION



VICINITY MAP
-NTS-

GENERAL NOTE:
THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

SETBACK REQUIREMENTS:
FRONT=
15.00' TO COVERED PORCHES
20.00' TO LIVING AREA OR GARAGE SIDE
25.00' TO GARAGE DOOR
SIDE=8.00'
REAR=25.00'



- LEGEND**
- = SET 5/8" REBAR WITH CAP
 - = SECTION CORNER
 - = FOUND INTERSECTION MONUMENT
 - = LAND OWNER DEED DESCRIPTION LINE
 - = DESCRIBED BOUNDARY
 - = SECTION LINE
 - = SETBACK
 - = EASEMENT
 - = ADDRESS

DOMINION ENERGY
DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS _____ DAY OF _____ 20____
DOMINION ENERGY
BY: _____
TITLE: _____

CERTIFICATION
I Daryl N. Penrod, do hereby certify that I am a registered land surveyor, and that I hold a license in accordance with Title 58, chapter 22, professional Engineers and Land Surveyors Licensing Act, Utah Code Annotated, 1953 as amended, certificate no. 5331527. I further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, and easements, have completed a survey of the property described on this plat in accordance with Section 17-23-17, Utah code Annotated, 1953 as amended, have verified all measurements, and have placed monuments as represented on the plat.

DARYL N. PENROD _____ DATE _____

BOUNDARY DESCRIPTION
BEGINNING AT THE NORTHWEST CORNER OF LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSHIP SURVEY, SAID POINT ALSO BEING N89°52'17"E 620.10 FEET AND N00°33'17"E 1742.20 FEET FROM THE 100 NORTH AND 100 EAST FOUND INTERSECTION MONUMENT, SAID POINT ALSO BEING S00°32'33"E 205.54 FEET ALONG THE SECTION LINE AND EAST 1522.51 FEET FROM THE NORTHWEST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; AND RUNNING THENCE S89°58'53"E 93.00 FEET ALONG THE NORTH LINE OF SAID BLOCK 51; THENCE S00°33'17"W 139.76 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID FENCE LINE N89°40'28"W 93.00 FEET TO THE WEST LINE OF SAID BLOCK 51; THENCE ALONG SAID WEST LINE N00°33'17"E 139.27 FEET TO THE POINT OF BEGINNING, CONTAINING 0.30 ACRES OF LAND.

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENT AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

JARRETT WHITE, MANAGING MEMBER OF _____
PEAK TO PEAK REAL ESTATE, LLC

ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, JARRETT WHITE, MANAGING MEMBER OF PEAK TO PEAK REAL ESTATE, LLC, THE SIGNER OF THE FOREGOING CERTIFICATE WHO DULY ACKNOWLEDGE TO ME THAT HE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, A.D. 20____ BY _____
THE PLANNING COMMISSION.

CHAIRMAN _____ DIRECTOR / SECRETARY _____

UTILITY APPROVAL
UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT TO ACCESS SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE, OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

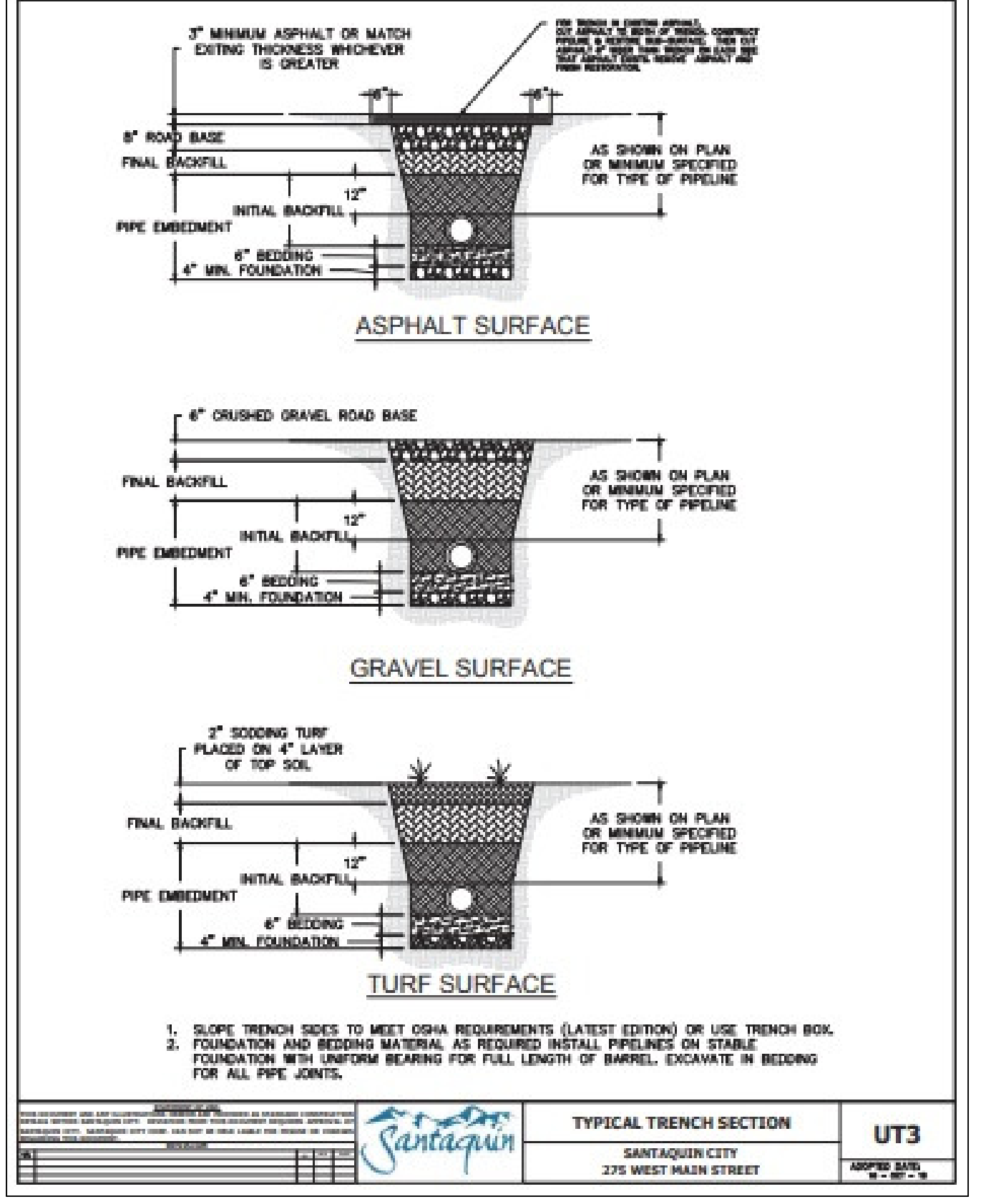
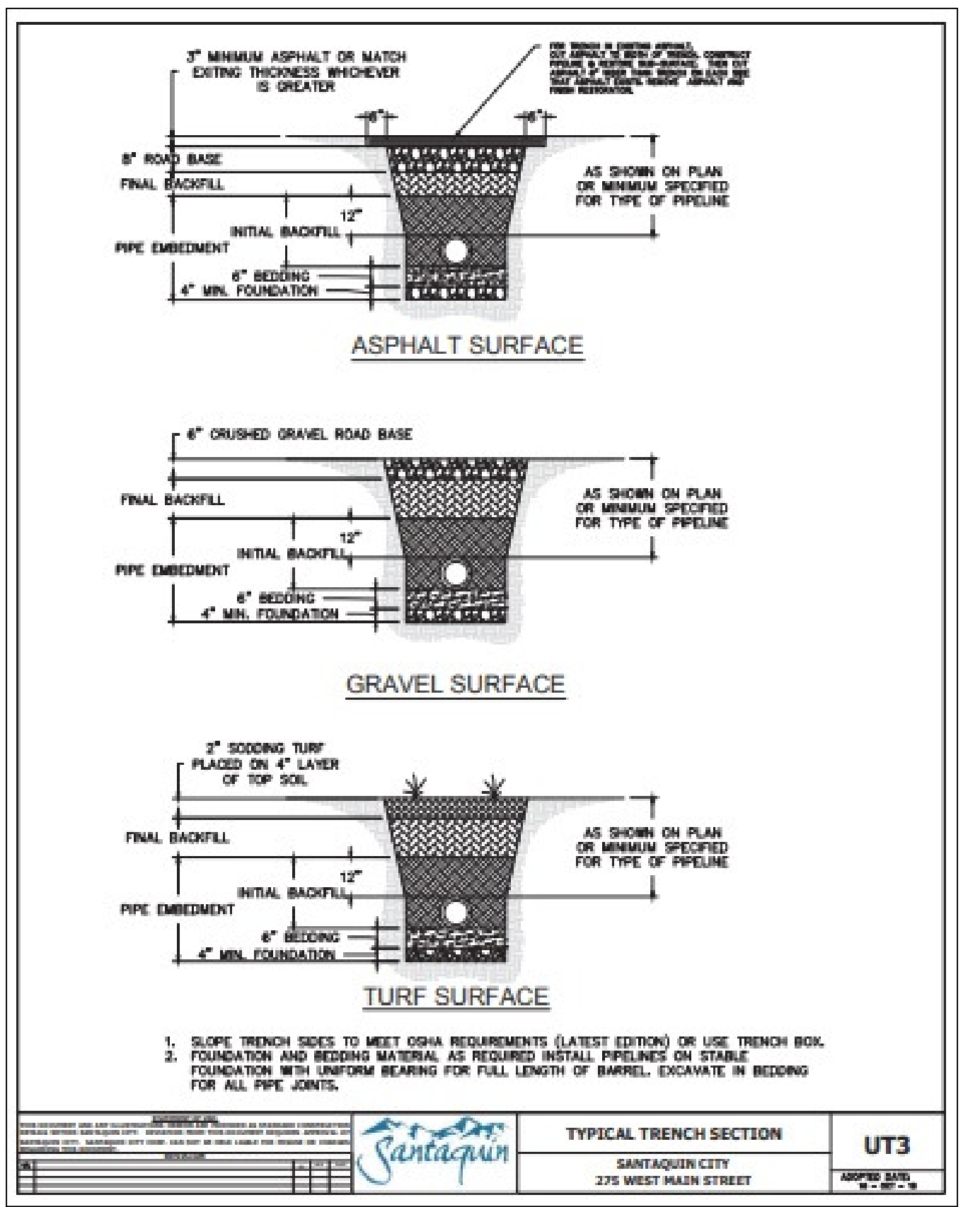
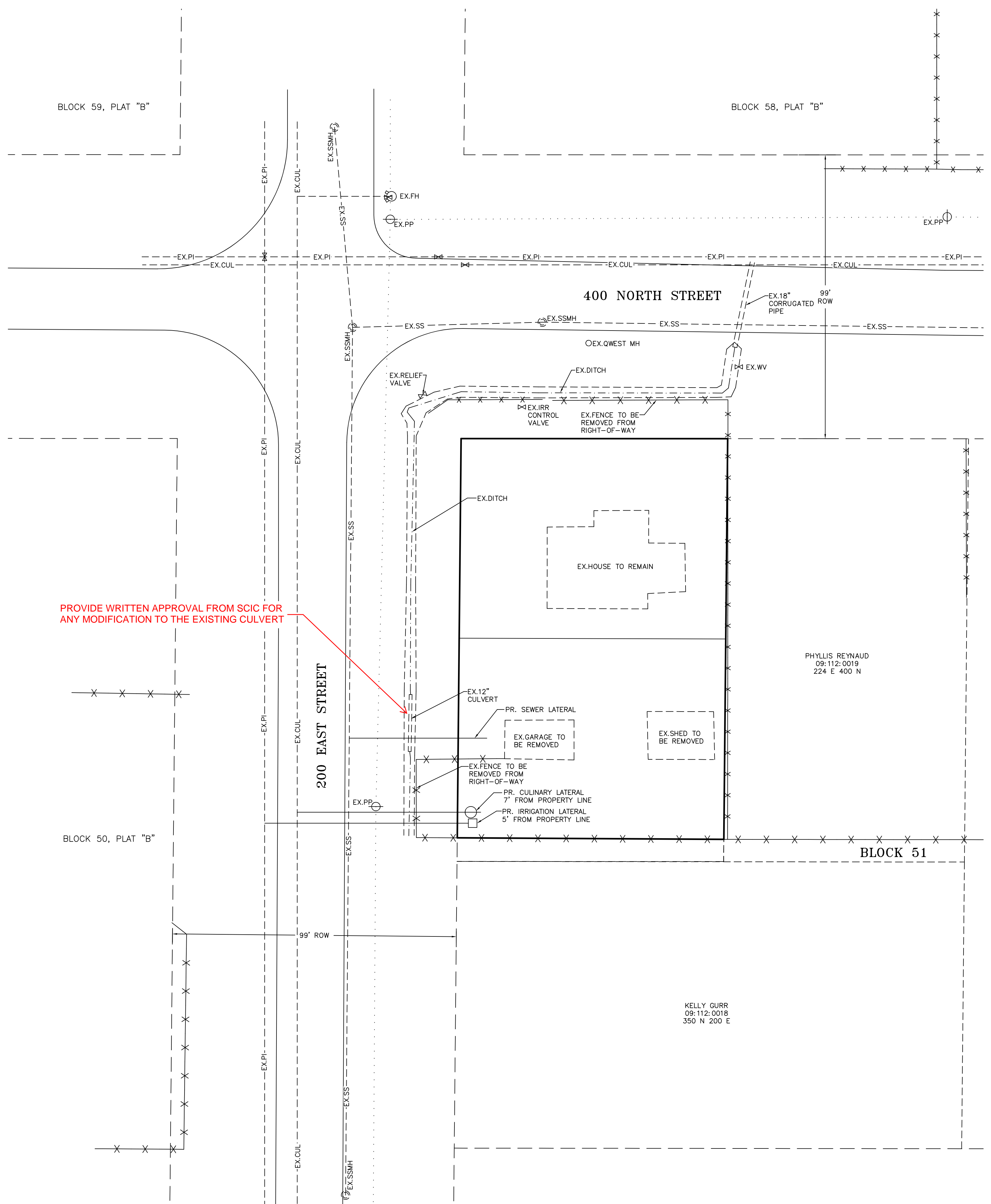
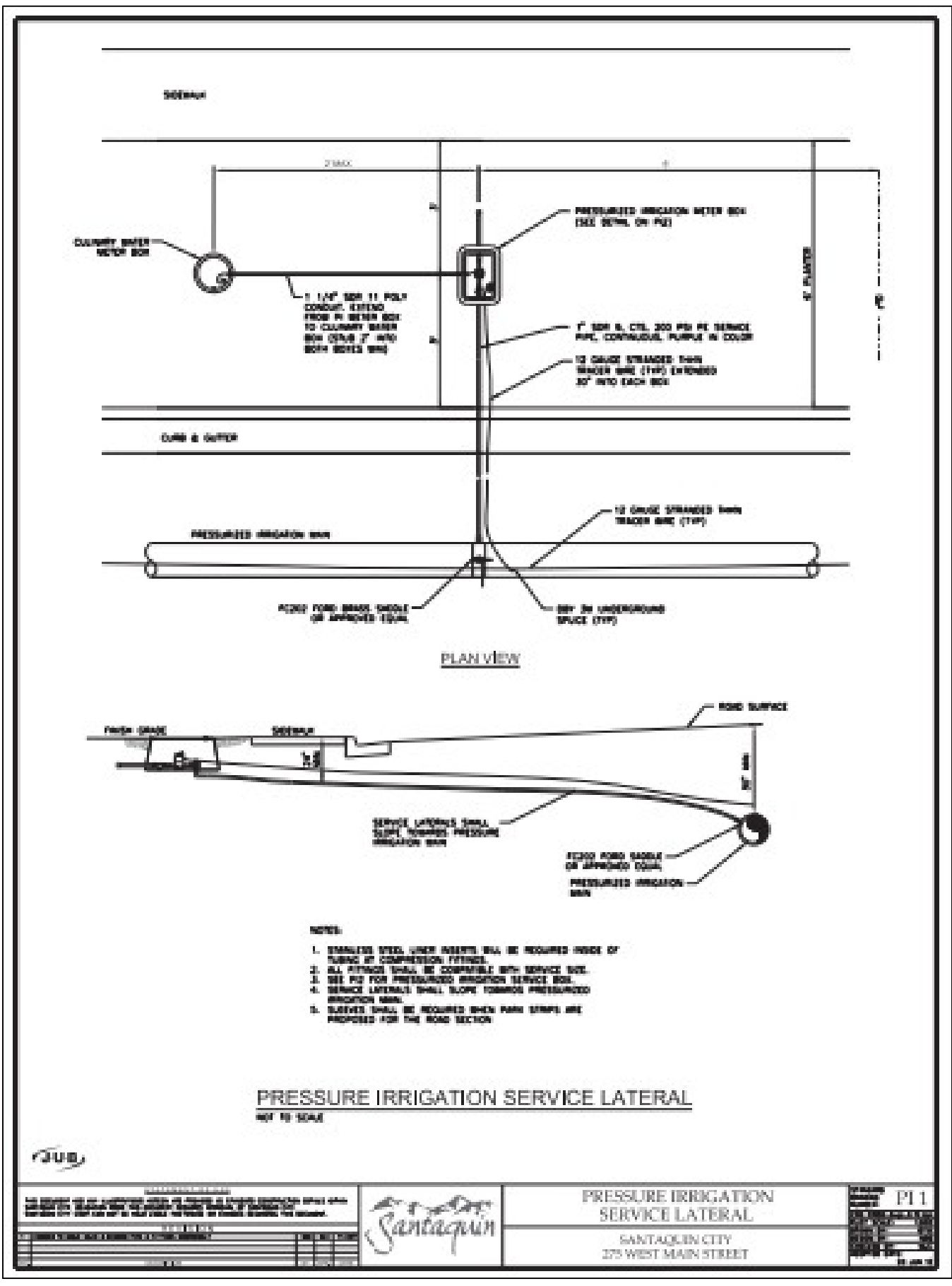
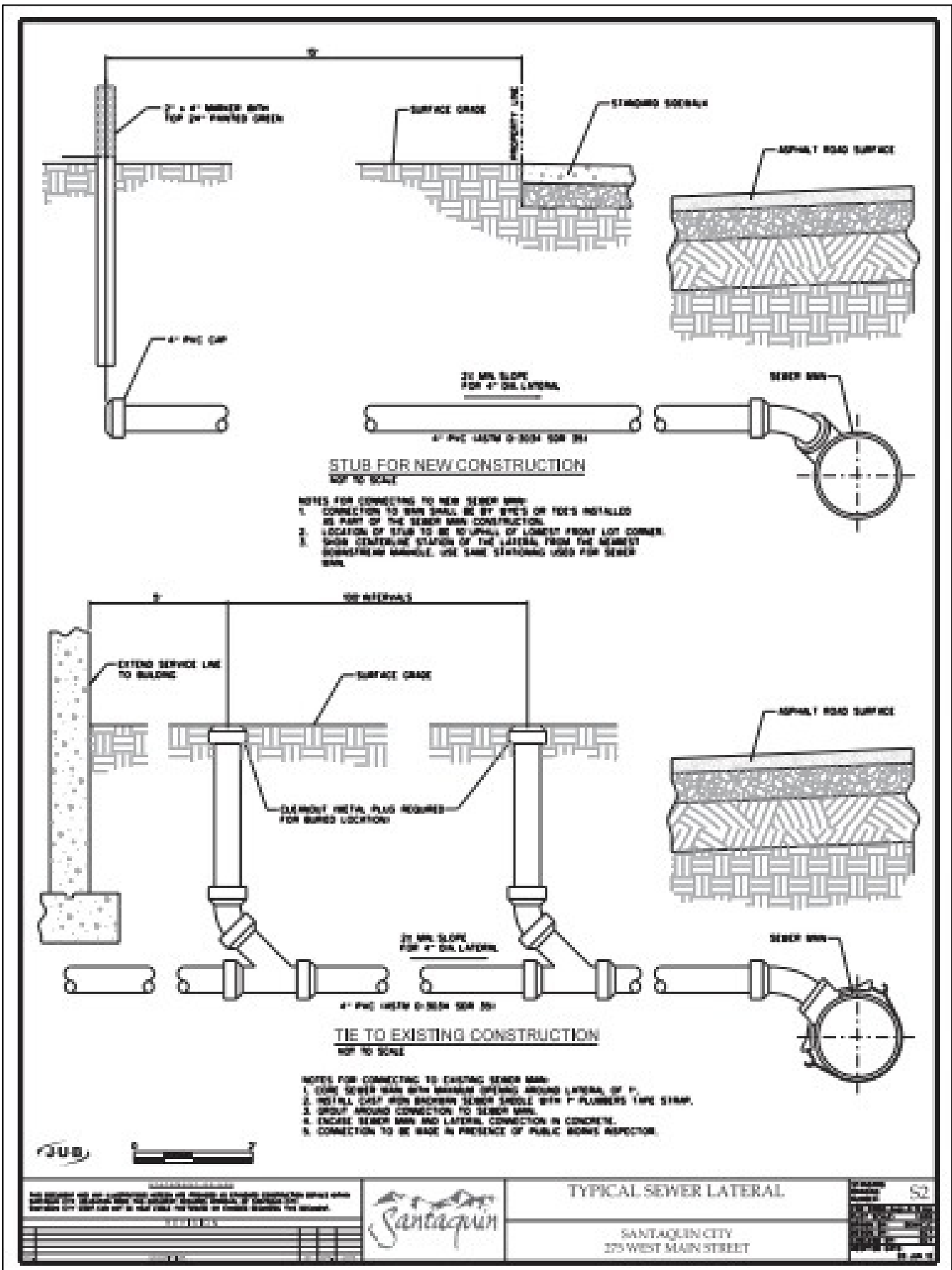
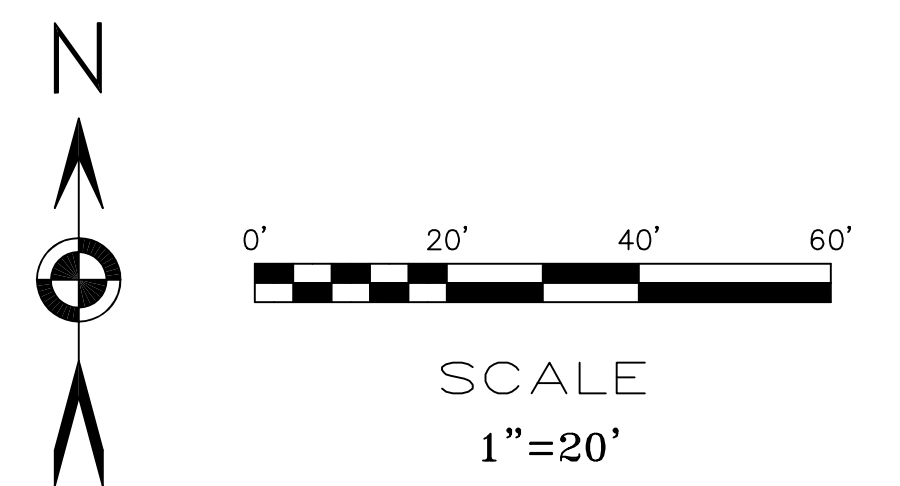
ROCKY MOUNTAIN POWER _____ DATE _____
CENTRACOM _____ DATE _____
CENTURY LINK _____ DATE _____

**PLAT A
PEAK
SUBDIVISION**
SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, S.L.B. & M.
SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE 1"= 20 FEET

SURVEYOR	CITY/COUNTY ENGINEER	CLERK-RECORDER	NOTARY PUBLIC

COUNTY RECORDER'S CERTIFICATE

NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-682-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



REVISIONS table with columns for revision number and description.

PROJECT NO.: LE 4471 SURVEYOR/DIRECTOR: D. PENROD
DATE: DECEMBER 2024 FIELD SURVEYOR: T.H.
SCALE: 1" = 20' DRAWN: K. ROUNDY
REVISION: CHECKED: D. PENROD

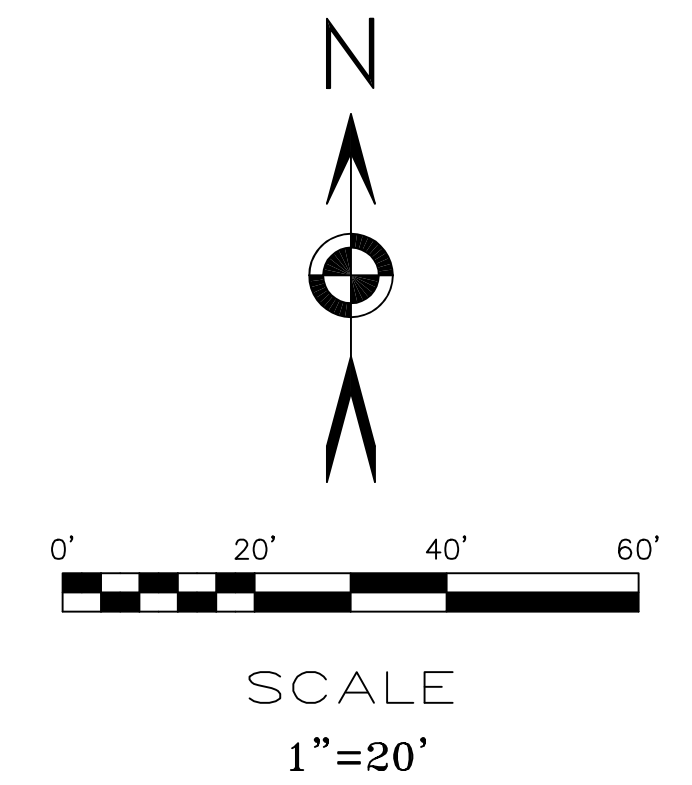
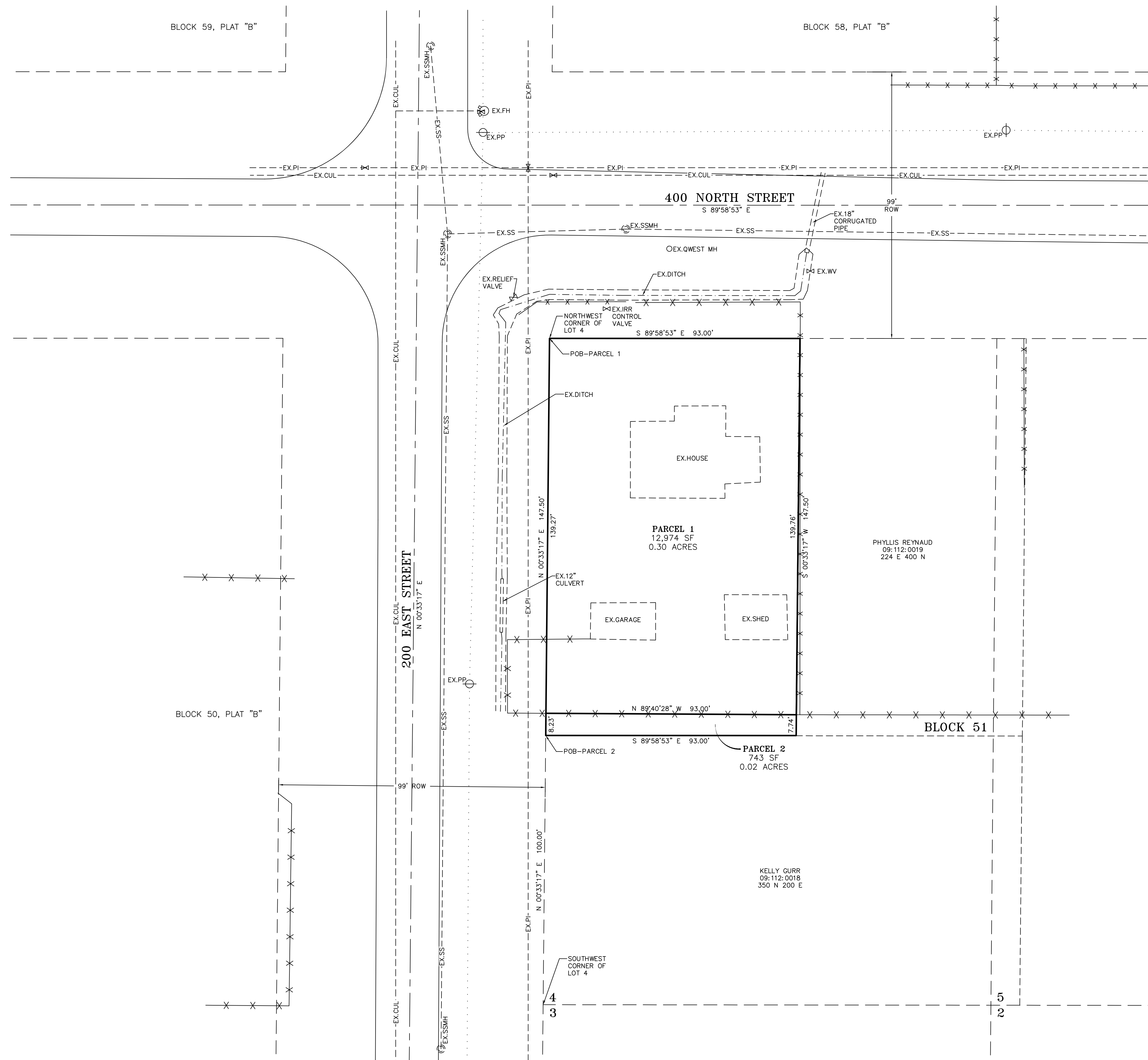
LUDLOW ENGINEERING & ASSOCIATES
Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
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Civil * Sewer & Water Design * Residential & Commercial Structure
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1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

UTILITY PLAN

PLAT "A" PEAK SUBDIVISION
LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSHIP SURVEY OF BUILDING LOTS
SANTAQUIN CITY, UTAH COUNTY, UTAH
DECEMBER 2024

SHEET C 3 SHEETS

BLOCK 51, PLAT "B", SANTAQUIN TOWNSITE SURVEY



- LEGEND**
- = SET 5/8" REBAR WITH CAP
 - = SECTION CORNER
 - = LAND OWNER DEED DESCRIPTION LINE
 - = SECTION LINE
 - = EXISTING FENCE LINE
 - = DESCRIBED BOUNDARY

NARRATIVE

This survey was conducted to establish visual boundary lines of the parcel described below. The current deed line was surveyed and located as plat indicates.

Survey requested by PEAK TO PEAK REAL ESTATE, LLC.

CURRENT DEED DESCRIPTION

TAX PARCEL #09-112-0013; COMMENCING 100 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSITE SURVEY; THENCE NORTH 147.50 FEET; THENCE EAST 93 FEET; THENCE SOUTH 147.50 FEET; THENCE WEST 93 FEET TO THE PLACE OF BEGINNING.

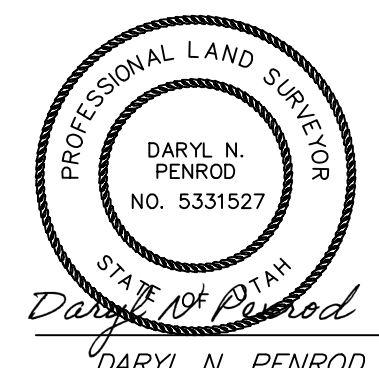
REQUESTED SURVEYED DESCRIPTION

PARCEL 1: BEGINNING AT THE NORTHWEST CORNER OF LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSITE SURVEY; AND RUNNING THENCE S89°58'53"E 93.00 FEET ALONG THE NORTH LINE OF SAID BLOCK 51; THENCE S00°33'17"W 139.76 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID FENCE LINE N89°40'28"W 93.00 FEET TO A POINT ON THE WEST LINE OF SAID BLOCK 51 WHICH LIES N00°33'17"E 108.23 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 4; THENCE ALONG SAID WEST LINE N00°33'17"E 139.27 FEET TO THE POINT OF BEGINNING. CONTAINING 0.30 ACRES OF LAND.

PARCEL 2: BEGINNING AT A POINT WHICH LIES N00°33'17"E 100.00 FEET FROM THE SOUTHWEST CORNER OF LOT 4, BLOCK 51, PLAT "B", SANTAQUIN TOWNSITE SURVEY; AND RUNNING THENCE S89°58'53"E 93.00 FEET; THENCE N00°33'17"E 7.74 FEET TO AN EXISTING FENCE LINE; THENCE ALONG SAID FENCE LINE N89°40'28"W 93.00 FEET TO THE WEST LINE OF SAID BLOCK 51; THENCE ALONG SAID WEST LINE S00°33'17"W 8.23 FEET TO THE POINT OF BEGINNING. CONTAINING 0.02 ACRES OF LAND.

SURVEYOR'S CERTIFICATE

I, DARYL N. PENROD, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; AND THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW.



Daryl N. Penrod 10/31/2024 5331527
 DARYL N. PENROD DATE UT. LICENSE NO.

REVISIONS

1. _____	4. _____
2. _____	5. _____
3. _____	6. _____

PROJECT NO.: LE 4471 SURVEYOR/DIRECTOR: D. PENROD
 DATE: OCTOBER 2024 FIELD SURVEYOR: T.H.
 SCALE: 1" = 20' DRAWN: K. ROUNDY
 REVISION: _____ CHECKED: D. PENROD

LUDLOW ENGINEERING & ASSOCIATES

Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
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1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

RECORD OF SURVEY

SURVEY FOR
PEAK TO PEAK REAL ESTATE, LLC

SECTION 1, T. 10 S., R. 1 E., S. 18B.M.
 SANTAQUIN CITY, UTAH COUNTY, UTAH
 OCTOBER 2024

SHEET

1	1
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SHEETS



Planning Commission Members in Attendance: Commissioners Trevor Wood, Michael Romero, BreAnna Nixon, Mike Weight, Ladawn Moak, Drew Hoffman, and Jessica Tolman.

Others in Attendance: Senior Planner Ryan Harris, Planner Aspen Stevenson, City Council Member Jeff Siddoway, City Manager Norm Beagley, Recorder Amalie Ottley, Neil Craig, Cameron Spencer, and other various members of the public.

Commission Chair Wood called the meeting to order at 7:00 p.m.

INVOCATION/INSPIRATIONAL THOUGHT

Commissioner Romero offered an inspirational thought.

PLEDGE OF ALLEGIANCE

Commissioner Nixon led the Pledge of Allegiance.

PUBLIC FORUM

Commission Chair Wood opened the Public Forum at 7:03 p.m.

No members of the public wished to address the Planning Commission in the Public Forum.

Commission Chair Wood closed the Public Forum at 7:03 p.m.

DISCUSSION & POSSIBLE ACTION ITEMS:

1. Public Hearing: Scenic Ridge Development Agreement

Senior Planner Harris presented the proposed Scenic Ridge Development Agreement. He explained that Mayor Dan Olson and Santaquin City staff have worked with Mr. Neil Craig and his team to draft a development agreement for property that he owns which is on the east side of Santaquin City and which has already received partial development approval in a subdivision called Scenic Ridge Estates. There were some zoning requirements that were specifically discussed, and some exceptions have been negotiated in the development agreement. In order for those exceptions to be valid, a legislative review needs to take place. Planner Harris explained the benefits to Santaquin City that come from the development agreement which include:

- Approximately 5.19 acres of property (in exchange for 2 acres of currently owned City property) will be dedicated to Santaquin City for the purpose of a debris basin and conveyance channel which design and construction will be funded by the federal government as authorized by the National Resource Conservation Service (NRCS).
- Certain portions of the dedicated acreage will also serve as open space and trails that will connect to the mountains.
- A perpetual easement consisting of approximately 1 acre will be granted to Santaquin City along the existing conveyance channel.

The negotiated exceptions that benefit the owner of the property are:

- A minimum lot size zoning regulation would be reduced from 12,000 square feet to 10,841 square feet for one building lot on the west side of an anticipated future extension of 1100 East Street.
- The construction of a 30-foot wide driveway on parcel numbers 32:040:0078 and 32:040:0077 located at the east end of the recently completed 430 south and the intersection of 430 South

and 1200 East that is adjacent to the property would satisfy the frontage requirement for construction of a single-family residence on said parcel.

- A minimum width and frontage requirement will be reduced from 100 feet to 60 feet for one residential lot to be located on parcel number 32:040:0080.
- The developer would be allowed to install a private home drinking water booster pump to serve a single-family home on parcel 32:040:0078.
- To assist the developer in construction of adequate water facilities, the City would allow the 3 Item 1. water service laterals to be located on the downhill side of the lot, for a maximum of two lots only.
- The dedication and transfer of property to the City would satisfy the developer's open space dedication requirement in the Hillside Overlay Zone.

Commission Chair Wood opened the Public Hearing at 7:07 p.m.

City Manager Norm Beagley read the following comment he received regarding the Scenic Ridge Development Agreement.

"Good afternoon!

I just wanted to share some of my concerns regarding the Scenic Ridges Estates development by Bastian Homes and would appreciate this email being shared with the public and the planning commission.

The information for this meeting was made available Friday, November 8th. Then the city offices were closed Saturday, November 9th through Monday, November 11th (Veteran's Day). The meeting occurs tonight, November 12, and I have not been able to view the information and prepare for the meeting. In the future, may we have 5 BUSINESS days to review any proposals as it pertains to our community?

Previously, the development agreement permitted 8 lots. Since that time, the lots have not been purchased by homebuyers. So I don't understand the urgency to expand this development at this time.

Additionally, our water issues have not been addressed. Our water pressure is very low. Additional homes & families will put more users on the existing infrastructure. We need a pump station at the very least to address concerns from the existing residents before expanding.

Santaquin is a beautiful community. We elect our city council members and mayor with trust that they will make decisions in the best interests of the citizens they serve. Please continue to keep us informed and allow us to add our perspective to things that directly impact us. Transparency and open communication serves to further that trust.

*Thank you!
Jessica Mitchell"*

Commission Chair Wood closed the Public Hearing at 7:10 p.m.

Manager Beagley addressed the noticing that was cited in the resident's comments. Per State Law, Public Hearing notices for Planning Commission items are published 10 days or more in advance of any hearing. Agendas and packets are published the Friday before the upcoming Tuesday meetings. State law requires that agendas and packets be published at least 24 hours in advance. Although the City

Offices were open on Veteran's Day, Manager Beagley stated that he will express the concerns of the resident regarding noticing to members of the city council and Mayor Olson.

Manager Beagley addressed the resident's concerns regarding water pressure. He indicated that two separate engineering firms have analyzed and tested the infrastructure that has been installed at the 18 lots in the Scenic Ridge Development. Both engineering firms agreed that the infrastructure would have no detrimental effects on neighboring developments. He added that all infrastructure and improvements meet current State standards. Commissioner Nixon inquired about the lot that would have a exceptions due to the water pressure. Manager Beagley confirmed that one home would have a private booster pump station, as allowed by State code, and two other homes would have service laterals on the lot on the downhill side. He added that those service laterals are already installed. Commissioner Moak inquired about the need for a personal pump station. Commissioner Hoffman explained that a personal pump station would be required for a home that doesn't currently meet the State standards for fire suppression.

Commissioner Tolman inquired if the City has plans for the property to be transferred to the City other than a basin and open space. Manager Beagley indicated that the dedicated land would be part of the open space in the hillside overlay zone. He stated the basin will be completed by the City and the improved trails would be the responsibility of both the City and the developer.

Commissioner Weight inquired if there were concerns about the reduction in footage on the frontage of properties. Senior Planner Harris answered that the reduction in size of lots still meets fire code and is not a concern for the fire department.

Commissioner Moak inquired if the city owned property will be rezoned to the Public Facility (PF) zone. Manager Beagley indicated that there is a possibility that the city property becoming a PF zone as the City has been working towards rezoning other city owned properties this past year. However, he indicated there are no current plans to rezone it at this time.

Commissioner Wood inquired if there were concerns about the building envelope on the lot with reduced frontage as there are no exceptions to setbacks. Senior Planner Harris indicated that there is enough buildable area on that specific lot. Commissioner Weight inquired about roads being put through in that area. Senior Planner Harris stated that the plans are currently for a residential home to be built rather than putting the indicated road through.

Commissioner Nixon asked about the one-acre debris basin south of the development. Manager Beagley confirmed that the debris basin is adjacent to the channel. Senior Planner Harris showed where the debris basin and the channel will be constructed. Commissioner Tolman inquired about the construction progress of the debris basin. Manager Beagley stated that the City has been working on the design of the debris basin for approximately 8 years but has not broken ground. He stated that the City received money in the past to work on 5 separate debris basins on the east bench with concerns of burnt-over conditions. Commissioner Tolman confirmed with Manager Beagley that should the development agreement not be approved, that the debris basin would not likely be completed.

Commissioner Romero inquired about the resident that submitted the concern regarding the development. He asked if any other individuals submitted concerns. Manager Beagley stated that only one statement was submitted to the City.

Commissioner Nixon made a motion to provide a positive recommendation to the City Council regarding the Santaquin City Code exceptions that were negotiated in the Scenic Ridge Estates Development Agreement. Commissioner Hoffman seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Yes
Commissioner Romero	Yes
Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

2. Stratton Meadows Preliminary Plan

Senior Planner Harris introduced the Stratton Meadows Preliminary Plan. The Stratton Meadows Subdivision is located at 800 N 200 E. The proposed subdivision is in the R10 Residential zone, with thirty-seven lots on 11.84 acres. Lots within the R-10 zone must have a minimum lot size of 10,000 square feet.

On October 22, 2024, the Development Review Committee (DRC) reviewed the preliminary plans for the Stratton Meadows Subdivision and forwarded a favorable recommendation to the Planning Commission, on the condition that redlines be addressed. The applicant has submitted updated plans with a few minor redlines on the plat that can be fixed with the final plat review. Minor issues include closure edits on a few lots that will not affect the design or layout of the lots, and the mailbox easement needs to be removed.

Commissioner Wood inquired what the term “closure” meant in the preliminary plan. Manager Beagley stated that closure is an engineering term indicating that the boundary of a lot or a boundary of a subdivision closes in the legal description on the plat and makes sure that all of the lots don’t have any open boundaries.

Commissioner Moak inquired about the ownership of Nebo School District on the plat. Senior Planner Harris indicated that the note on the plat indicated that Nebo School District will need to sign their approval of the preliminary and final plans.

The applicant, Cameron Spencer, attended the meeting. He indicated that he sent an email from USPS indicating the location of the cluster mailboxes. Mr. Spencer thanked the Planning Commission for their thorough review of the plans. He spoke to the plans for the connectivity to the development in the future.

Commissioner Tolman made a motion to approve the preliminary plans for the Stratton Meadows Subdivision with the following conditions: that the redlines on the plat be addressed at the final plat and the developer submits USPS acknowledgment on the amount and location of the cluster mailboxes before final plans are submitted. Commissioner Weight seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes

Commissioner Nixon	Yes
Commissioner Romero	Yes
Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

3. Detached Accessory Dwelling Units Discussion

Senior Planner Ryan Harris and Planner Aspen Stevenson presented research that they have conducted in the State of Utah on detached accessory dwelling units (ADUs). They also presented feedback received from residents who attended a public open house meeting held in Santaquin. (See attachments). Aspen listed the benefits of ADUs for residents. Feedback from residents and developers listed amending the height requirements of ADUs, reducing setbacks from property lines, determining if home occupations should be allowed in ADUs, and redefined the rear yard on corner lots.

In a previous meeting, the Planning Commission determined that they were not in agreement in amending height requirements for ADU and leaving the provision that the ADU may not be higher than the main home. Senior Planner Harris clarified that currently, the setback requirements shall be at least 12 feet from the primary dwelling and 10 feet from the side and rear property lines and 25 feet from the street side yard. Planner Harris pointed out that in the R8 Zone that the setback requirements for main homes and accessory buildings are 8 feet. He suggested that the setbacks for detached ADUs be changed to 8 feet to be more congruent with the code. Planner Stevenson reported on the setbacks used for accessory dwellings in other cities. Senior Planner Harris went over requirements in our code regarding minor and major home occupations. Planner Stevenson reported on home occupation requirements in other cities. Senior Planner Harris discussed the current code requirements in rear yards and suggested that the city extend the rear lot of corner lots to the property line along the road. Commission members discussed the 25-foot side setback and parking requirements. Planner Stevenson reported on rear setback requirements in other cities. Commissioners also discussed footprint requirements in Santaquin versus other cities.

Senior Planner Harris reported on the interest the Planning Department has received from residents regarding detached ADUs. Commissioner Nixon expressed her approval of extending the rear lot of corner lots to the property line. Commissioner Hoffman pointed out that any code changes for accessory dwelling units should also take into account other accessory buildings. Commissioner Nixon inquired about how setbacks may be different in a Planned Unit Development (PUD). Senior Planner Harris recommended that all developments, including PUDs, have a standardized setback across the board. Commissioner Wood requested that staff present a table showing setbacks in each zone for future consideration. Commissioner Weight inquired about offsite employees in home occupations. Planner Harris indicated that the City Code currently allows for 1-2 offsite employees in a minor home occupation. Commissioner Wood indicated that minor home occupations would be agreeable in an ADU as long as it was the homeowner occupying the space.

OTHER BUSINESS

4. 2025 Chair and Deputy Chair Nominations

Commissioner Nixon nominated Commission Chair Wood to be the 2025 Commission Chair.
Commissioner Moak also nominated Commission Chair Wood to be the 2024 Commission Chair.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Yes
Commissioner Romero	Yes
Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The nomination passed.

Commissioner Hoffman nominated Commissioner Weight to be the 2024 Deputy Chair.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Yes
Commissioner Romero	Yes
Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The nomination passed.

5. 2025 Planning Commission Meeting Schedule

Commission Chair Wood presented the 2025 Meeting Schedule for approval.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Yes
Commissioner Romero	Yes
Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The schedule was approved.

Meeting Minutes Approval

Commissioner Weight made a motion to approve the October 22, 2024 Meeting Minutes. Commissioner Romero seconded the motion.

Commissioner Hoffman	Yes
Commissioner Moak	Yes
Commissioner Nixon	Yes
Commissioner Romero	Yes

Commissioner Tolman	Yes
Commissioner Weight	Yes
Commissioner Wood	Yes

The motion passed.

Senior Planner Harris went over an upcoming training opportunity for Planning Commission members. He also went over anticipated meetings for the rest of the year.

ADJOURNMENT

Commissioner Nixon made a motion to adjourn the meeting.

The meeting was adjourned at 8:28 p.m.

City Recorder – Amalie R. Ottley

Planning Commission Chair – Trevor Wood

DRAFT

Accessory Dwelling Units



Benefits of ADUs

1. Affordable housing
2. Multigenerational living
3. Sustainable neighborhood development
4. Long-term investment
5. Provides living space for a caregiver or nurse

RECAP: ADU OPEN HOUSE DISCUSSION



Feedback From Residents

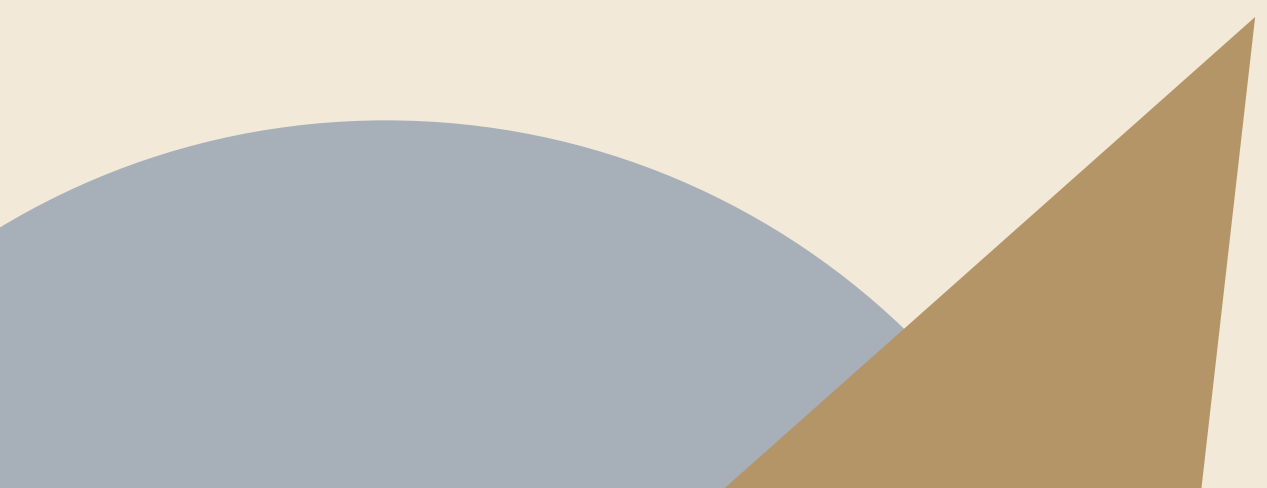
1. Amend the height requirement for ADU's.
2. Reduce setbacks from property lines
3. Determine if Home Occupations should be allowed in ADU's.
4. Redefine the rear yard on corner lots



Amend the height requirements for ADU's

SIZE AND SETBACKS: THE MAXIMUM FOOTPRINT OF A DETACHED ACCESSORY DWELLING UNIT SHALL BE 800 SQUARE FEET. THE MAXIMUM SQUARE FOOTAGE OF A DETACHED ACCESSORY DWELLING UNIT SHALL BE 1,600 SQUARE FEET. THE MAXIMUM HEIGHT OF A DETACHED ACCESSORY DWELLING UNIT SHALL NOT EXCEED THE HEIGHT OF THE PRIMARY DWELLING UNIT OR 24 FEET, WHICHEVER IS LESS. THE SETBACKS OF A DETACHED ACCESSORY DWELLING UNIT SHALL BE AT LEAST 12 FEET FROM THE PRIMARY DWELLING AND 10 FEET FROM THE SIDE AND REAR PROPERTY LINES.

SUGGESTIONS FROM RESIDENTS:
ALLOW THE MAXIMUM HEIGHT OF THE ADU TO BE 24 FEET IN HEIGHT. REMOVE THE PROVISION THAT IT CAN'T BE HIGHER THAN THE MAIN HOME.



REDUCE SETBACKS FROM PROPERTY LINES

Size and Setbacks: The maximum footprint of a detached accessory dwelling unit shall be 800 square feet. The maximum square footage of a detached accessory dwelling unit shall be 1,600 square feet. The maximum height of a detached accessory dwelling unit shall not exceed the height of the primary dwelling unit or 24 feet, whichever is less. The setbacks of a detached accessory dwelling unit shall be at least 12 feet from the primary dwelling and 10 feet from the side and rear property lines.

Suggestions from residents:

1. Allow a single-story ADU to be 3 feet from property line. Accessory building are allowed within 3 feet if they are fire rated. If it is a two-story ADU, keep it at 10 feet.
2. The other suggestions were to allow the ADU to be between 3–8 feet from the property line.

Staff Suggestion: At minimum, reduce the side yard setback to 8 feet. The R-8 Zone allows for an 8-foot side yard for the main dwelling. There are a few development (i.e. Foothill Subdivision) that allow for the main dwelling to be 5' from the side yard.

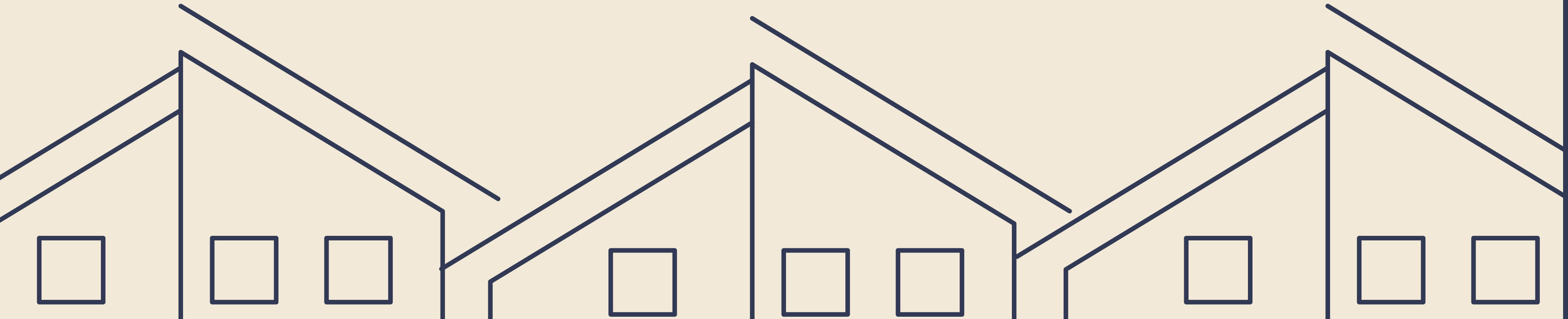
Setbacks

UT County Examples

- American Fork – 5' rear & side, 12' from main dwelling (17.5.134)
- Provo – 10' from all property lines (14.30.030)
- Lehi – 5' if walls have windows 10' (26.030)
- Eagle Mountain – 6' from main dwelling, meet same setbacks as primary dwelling (17.70 & 17.25.040)
- Payson 10' side and rear (13.20.221)
- Pleasant Grove 25' rear, 10' side and 10' from main dwelling (10-10-9)

Home Occupations

CURRENTLY, SANTAQUIN CITY CODE IS SILENT ON HOME OCCUPATION IN ADU'S. THE HOME OCCUPATION ORDINANCE ALLOWS A HOME OCCUPATION TO BE WITHIN THE HOME (500 SQUARE FEET OR 25% WHICHEVER IS LESS) OR THEY CAN USE 50% OF A GARAGE, SHED, ETC.



Home Occupations

Almost all cities within Utah County allow home occupation business licenses within ADUs



01 OFFICE USE ONLY
Pleasant Grove allows office use if they have written permission from the property owner (10-15-47).

02 NO CUSTOMERS, DELIVERIES OR OFF SITE EMPLOYEES
Orem allows home occupations as long as no customers, deliveries or off site employees are coming to the ADU (22-14-15).



Redefine the rear yard on corner lots

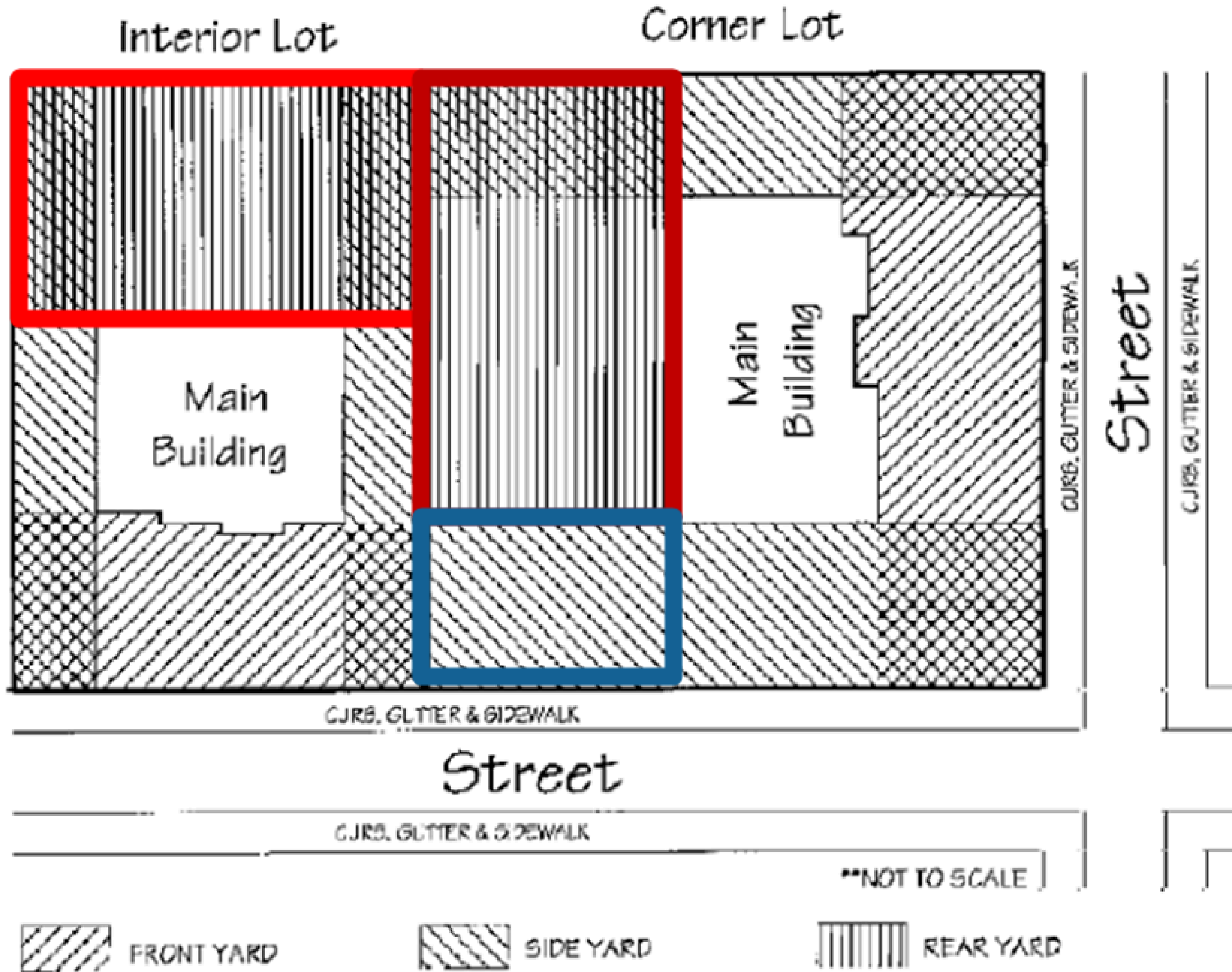
LOCATION: DETACHED ACCESSORY DWELLING UNITS SHALL ONLY BE ALLOWED IN THE REAR YARD OF A SINGLE-FAMILY DWELLING. DETACHED ACCESSORY DWELLING UNITS CANNOT BE SUBDIVIDED FROM THE PRIMARY DWELLING AND CANNOT BE SOLD SEPARATELY FROM THE PRIMARY DWELLING. EITHER THE PRIMARY DWELLING OR THE DETACHED ACCESSORY DWELLING UNIT NEED TO BE OWNER OCCUPIED. DETACHED ACCESSORY DWELLING UNITS CANNOT BE LEASED FOR A TERM LONGER THAN 2 YEARS WITHOUT A RENEWAL AGREEMENT. SCC 10.16.140 AREA OF ACCESSORY BUILDINGS

ACCESSORY BUILDINGS IN ANY RESIDENTIAL ZONE SHALL NOT COVER MORE THAN A COMBINED TOTAL OF TWENTY FIVE PERCENT (25%) OF THE REAR OR SIDE YARD, AS APPLICABLE.

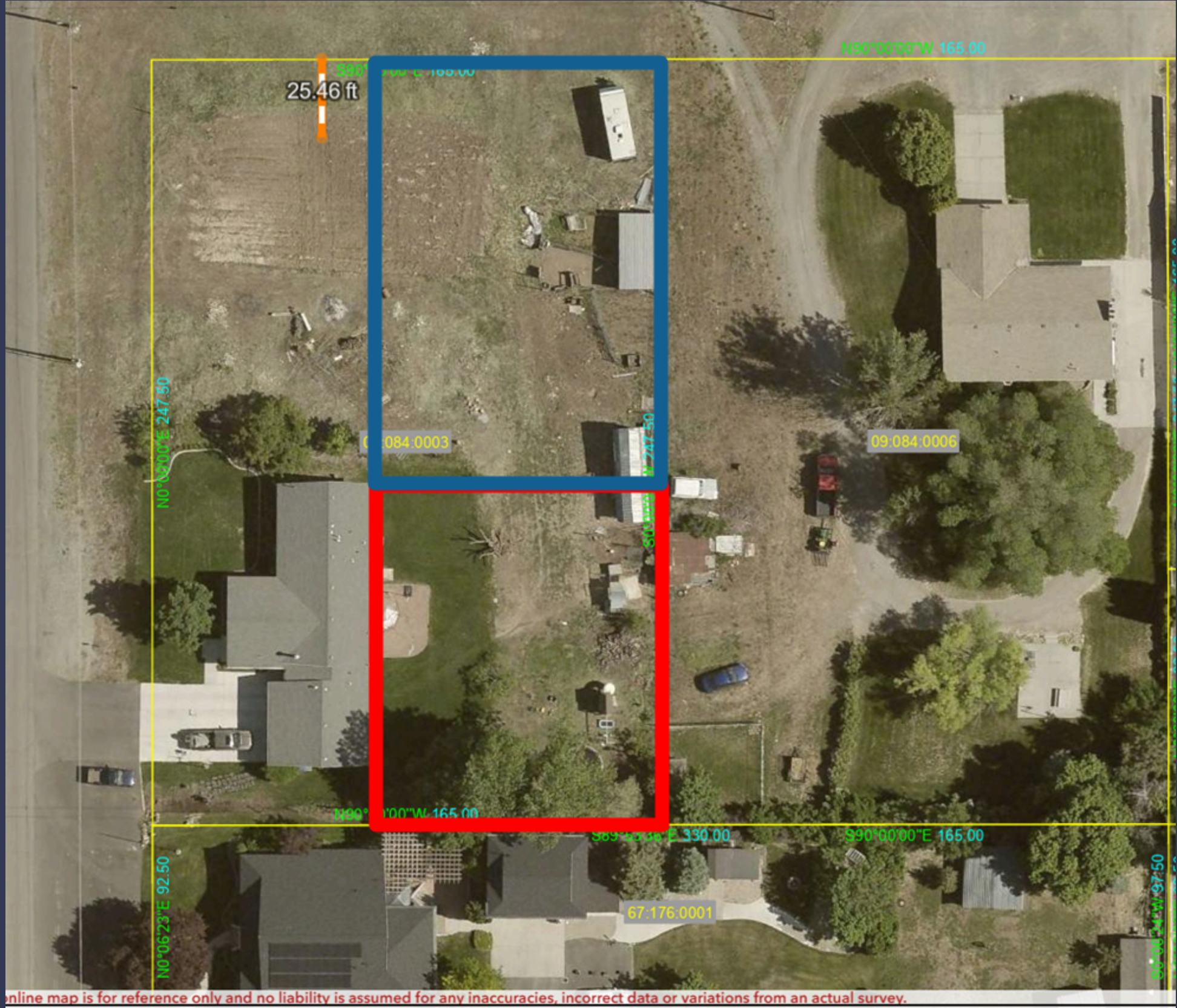
**SUGGESTIONS FROM RESIDENTS:
EXTEND THE REAR LOT OF CORNER LOTS TO THE PROPERTY LINE ALONG THE ROAD.**



Yard Designation



EXAMPLE #1



Online map is for reference only and no liability is assumed for any inaccuracies, incorrect data or variations from an actual survey.

EXAMPLE #2



EXAMPLE #3



TOTAL LOT AREA
 • 8,400 SQUARE FEET

RED AREA
 • 1,209 SQUARE FEET.
 • 25% = 302 SQUARE FEET

RED AND BLUE AREA
 • 3,040 SQUARE FEET
 • 25% = 760 SQUARE FEET.

Corner Lots

Most cities define rear yard as anything behind the house (See diagram on next slide)

To ensure ADUs are not taking priority of the full yard:

- Lehi 26.030 ADUs cannot cover more than **30%** of the rear yard.
- Payson 13.20.221, Salem 14-1-065, Lindon 17.46.100, and Highland 3-624 require ADUs to be built on **6,000** sq ft lots or larger.
- Eagle Mountain 17.70, Payson 13.20.221, Lindon 17.46.100 require ADUs to be **no more than 1,200 sq ft.**



UT Examples

BLUFFDALE 11.340.040

- Setbacks same as accessory building
- Allow home occupations
- Corner lot has 2 front yards must be 20' back along street sides.
- Don't allow separate addresses for ADUs

SALT LAKE ADU HANDBOOK

- 3' rear and side setbacks
- Corner lot side setbacks are 10'
- Can't exceed 50% of the rear yard.
- Offer a few pre-approved plans

TREMONTON CHPT 1.21 & 1.

- 5' or 10' setbacks depending on the zone
- Can't exceed 30% of rear yard
- Currently, no code is written to deny or allow home occupations.

Out of State Examples



- 10' setbacks
- Can't exceed 40% of rear yard
- Allow 2 per property
- Can be used as airbnbs

SEATTLE, WASHINGTON



- 3' setbacks
- Can't Exceed 50% of primary dwelling
- Houston offers preapproved downloadable plans created by Grad students at Rice university to reduce permit approval time.

DENTON & HOUSTON, TEXAS



- 4' setbacks
- Allow JADUs no more than 500' sq can share main bathroom.
- Require impact fees and separate utilities

Nevada County

Conclusion

REDUCING SETBACKS AND REDEFINING THE REAR YARD WILL ALLOW MORE RESIDENTS TO BUILD ADUS WHICH WILL
INCREASE MODERATE INCOME HOUSING OPTIONS
PROVIDE LONG TERM INVESTMENT OPPORTUNITIES
AND ENSURE SUSTAINABLE NEIGHBORHOOD DEVELOPMENT

