



DEVELOPMENT REVIEW COMMITTEE

Tuesday, March 28, 2023, at 10:00 AM
Court Room/Council Chambers (2nd Floor) and Online
275 W. Main Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Rowley's Red Barn Expansion Site Plan

A proposed site plan expansion of the existing Rowley's Red Barn located at 901 S 300 W

2. Silver Oaks Preliminary Plan

A preliminary plan review of a 165-lot subdivision located at approximately 590 W Main Street

3. Z.L. Goodall Plat A Subdivision Concept Plan

A concept plan review of a 2-lot subdivision located at 159 S 300 E

MEETING MINUTES APPROVAL


4. March 14, 2023

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was posted on www.santaquin.org, Santaquin City Social Media sites, posted in three physical locations (Santaquin City Public Safety Building, Zions Bank, Santaquin Post Office), and posted on the State of Utah's Public Notice Website.

BY:

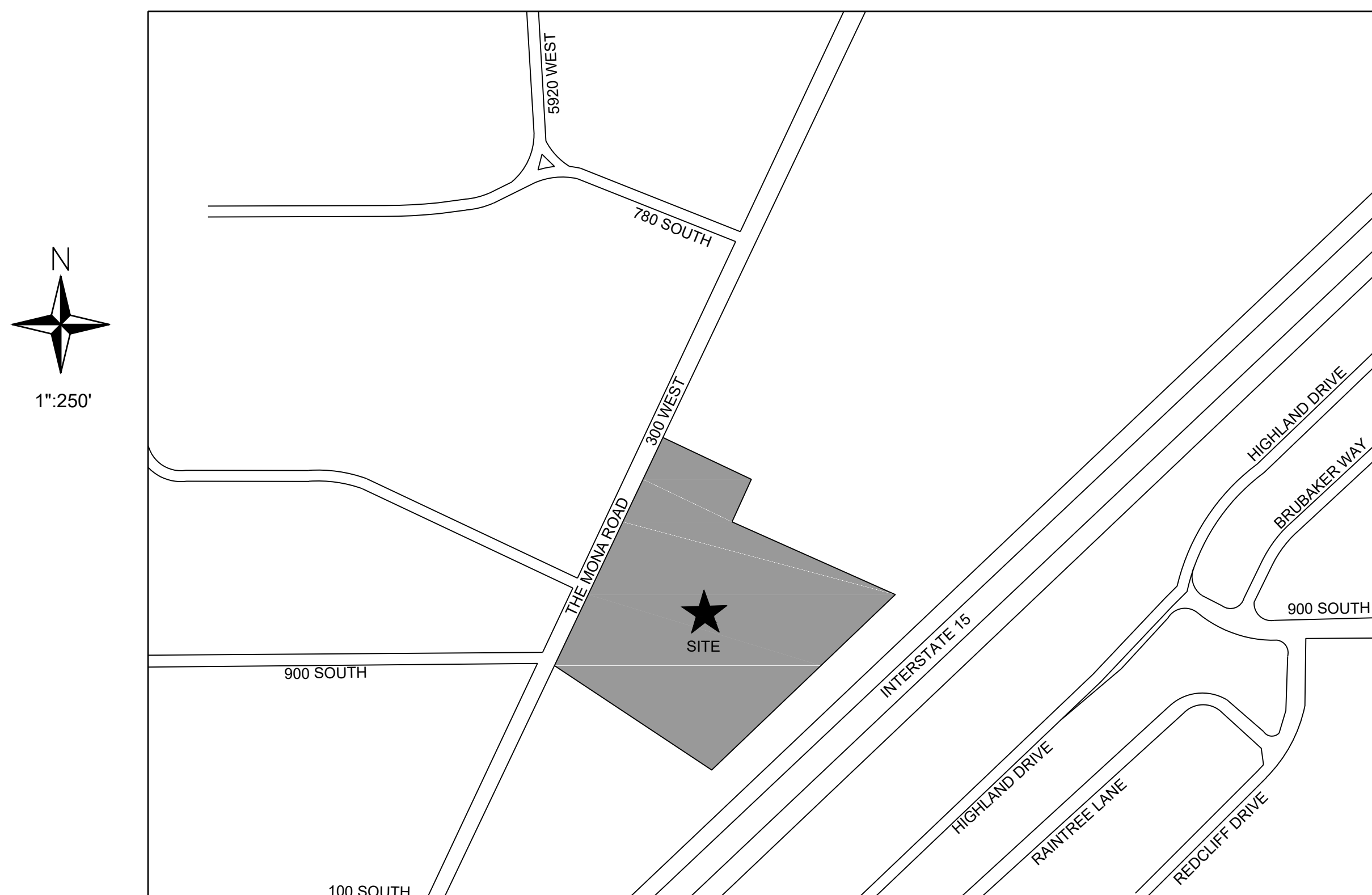


Amalie R. Ottley, City Recorder

ROWLEY'S RED BARN EXPANSION

**901 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655**

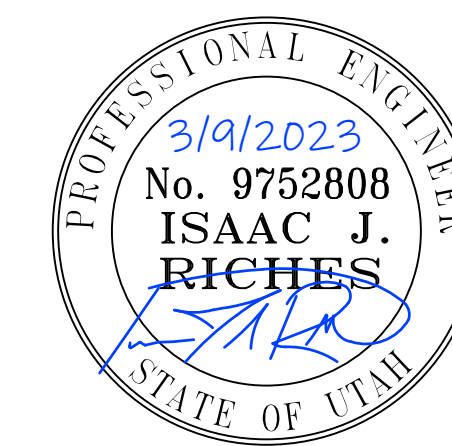
**LOT 3, BLOCK 14, PLAT "A", SANTAQUIN TOWNSHIP SURVEY,
BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 2,
T10S, R1E, SLB&M, UTAH COUNTY, UTAH
SANTAQUIN CITY, UTAH**



VICINITY MAP

1. ALL WORK SHALL CONFORM TO SANTAQUIN CITY STANDARDS & SPECIFICATIONS
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE CARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.
4. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
5. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

GENERAL NOTES



THIS SEAL APPLIES TO ALL SHEETS CONTAINING THIS SIGNATURE

SHEET INDEX

PAGE #	SHEET #	SHEET TITLE
1	C000	COVER SHEET
2	1 OF 1	SUBDIVISION SURVEY
3	C100	GENERAL NOTES
4	C200	DEMO/EXISTING PLAN
5	C300	SITE PLAN
6	C400	UTILITY PLAN
7	C401-C402	PLAN AND PROFILES
8	C500	GRADING PLAN
9	C600	DRAINAGE PLAN
10	C700	EROSION CONTROL PLAN
11	C800-C801	DETAILS
12	L101	LANDSCAPE PLANS

ENGINEER
ISAAC RICHES, P.E.
WCG CONSULTANTS
2139 SOUTH 1260 WEST
S.L.C. UTAH 84119
E: ISAAC.RICHES@WCG.US

OWNER
SCOT ROWLEY
ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN, UTAH 84655
E: SCOT@SOUTHTRIDSEFARMS.COM

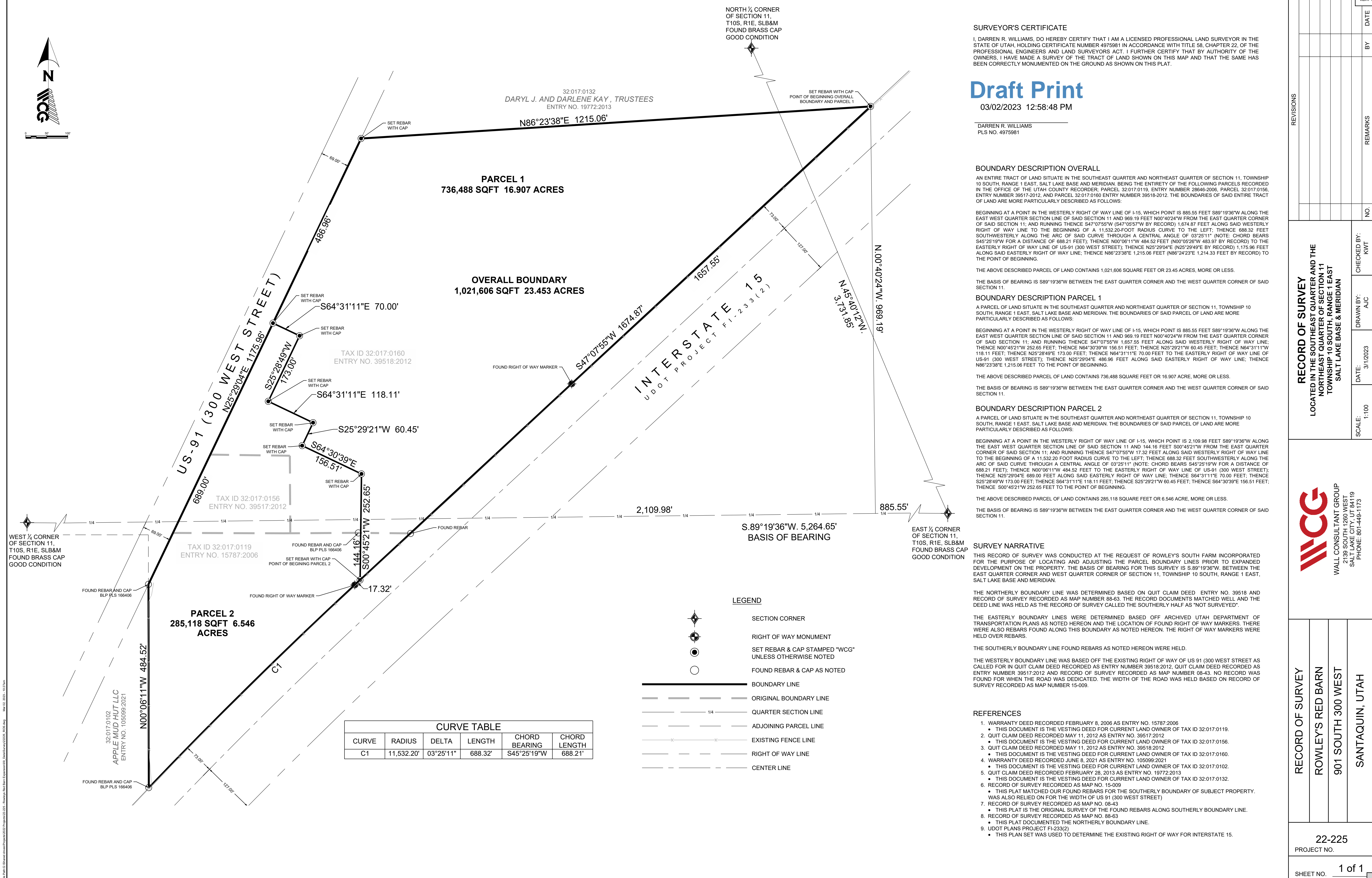
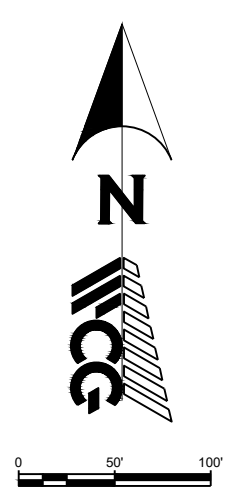
NO.	REVISIONS	BY	DATE

DATE: 1/16/2023
DESIGNED BY: IJR
CHECKED BY: IJR
ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655
SCOT ROWLEY

WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173
APPROVED
ISAAC RICHES
PROFESSIONAL ENGINEER

PROJECT: ROWLEY'S RED BARN
PROJECT NUMBER: WCG# 22-225
COVER SHEET

SHEET NO. C000



CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD LENGTH
C1	11,532.20'	03°25'11"	688.32'	S45°25'19"W	688.21'

- LEGEND**
- SECTION CORNER
 - RIGHT OF WAY MONUMENT
 - SET REBAR & CAP STAMPED "WCG" UNLESS OTHERWISE NOTED
 - FOUND REBAR & CAP AS NOTED
 - BOUNDARY LINE
 - ORIGINAL BOUNDARY LINE
 - QUARTER SECTION LINE
 - ADJOINING PARCEL LINE
 - EXISTING FENCE LINE
 - RIGHT OF WAY LINE
 - CENTER LINE

SURVEYOR'S CERTIFICATE

I, DARREN R. WILLIAMS, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, HOLDING CERTIFICATE NUMBER 4975981 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS MAP AND THAT THE SAME HAS BEEN CORRECTLY MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

Draft Print
03/02/2023 12:58:48 PM

DARREN R. WILLIAMS
PLS NO. 4975981

BOUNDARY DESCRIPTION OVERALL

AN ENTIRE TRACT OF LAND SITUATE IN THE SOUTHEAST QUARTER AND NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, BEING THE ENTIRETY OF THE FOLLOWING PARCELS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER: PARCEL 32:017:0119, ENTRY NUMBER 28645-2006; PARCEL 32:017:0156, ENTRY NUMBER 39517-2012; AND PARCEL 32:017:0160, ENTRY NUMBER 39518-2012. THE BOUNDARIES OF SAID ENTIRE TRACT OF LAND ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY RIGHT OF WAY LINE OF I-15, WHICH POINT IS 885.55 FEET S89°19'36"W ALONG THE EAST WEST QUARTER SECTION LINE OF SAID SECTION 11 AND 988.19 FEET N00°40'24"W FROM THE EAST QUARTER CORNER OF SAID SECTION 11; AND RUNNING THENCE S47°07'55"W (S47°05'57"W BY RECORD) 1,674.87 FEET ALONG SAID WESTERLY RIGHT OF WAY LINE TO THE BEGINNING OF A 11,532.20-FOOT RADIUS CURVE TO THE LEFT; THENCE 688.32 FEET SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03°25'11" (NOTE: CHORD BEARS S45°25'19"W FOR A DISTANCE OF 688.21 FEET); THENCE N00°06'11"W 484.52 FEET (N00°05'26"W 483.97 BY RECORD) TO THE EASTERLY RIGHT OF WAY LINE OF US-91 (300 WEST STREET); THENCE N25°29'04"E (N25°29'49"E BY RECORD) 1,175.96 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE; THENCE N86°23'38"E 1,215.06 FEET (N86°24'23"E 1,214.33 FEET BY RECORD) TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 1,021,606 SQUARE FEET OR 23.45 ACRES, MORE OR LESS.
THE BASIS OF BEARING IS S89°19'36"W BETWEEN THE EAST QUARTER CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 11.

BOUNDARY DESCRIPTION PARCEL 1

A PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER AND NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THE BOUNDARIES OF SAID PARCEL OF LAND ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY RIGHT OF WAY LINE OF I-15, WHICH POINT IS 885.55 FEET S89°19'36"W ALONG THE EAST WEST QUARTER SECTION LINE OF SAID SECTION 11 AND 988.19 FEET N00°40'24"W FROM THE EAST QUARTER CORNER OF SAID SECTION 11; AND RUNNING THENCE S47°07'55"W 1,657.55 FEET ALONG SAID WESTERLY RIGHT OF WAY LINE; THENCE N00°45'21"W 252.65 FEET; THENCE N64°30'39"W 156.51 FEET; THENCE N25°29'21"W 60.45 FEET; THENCE N64°31'11"W 118.11 FEET; THENCE N25°28'49"E 173.00 FEET; THENCE N64°31'11"E 70.00 FEET TO THE EASTERLY RIGHT OF WAY LINE OF US-91 (300 WEST STREET); THENCE N25°29'04"E 486.96 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE; THENCE N86°23'38"E 1,215.06 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 736,488 SQUARE FEET OR 16.907 ACRE, MORE OR LESS.
THE BASIS OF BEARING IS S89°19'36"W BETWEEN THE EAST QUARTER CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 11.

BOUNDARY DESCRIPTION PARCEL 2

A PARCEL OF LAND SITUATE IN THE SOUTHEAST QUARTER AND NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THE BOUNDARIES OF SAID PARCEL OF LAND ARE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY RIGHT OF WAY LINE OF I-15, WHICH POINT IS 2,109.98 FEET S89°19'36"W ALONG THE EAST WEST QUARTER SECTION LINE OF SAID SECTION 11 AND 144.16 FEET S00°45'21"W FROM THE EAST QUARTER CORNER OF SAID SECTION 11; AND RUNNING THENCE S47°07'55"W 17.32 FEET ALONG SAID WESTERLY RIGHT OF WAY LINE TO THE BEGINNING OF A 11,532.20 FOOT RADIUS CURVE TO THE LEFT; THENCE 688.32 FEET SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03°25'11" (NOTE: CHORD BEARS S45°25'19"W FOR A DISTANCE OF 688.21 FEET); THENCE N00°06'11"W 484.52 FEET TO THE EASTERLY RIGHT OF WAY LINE OF US-91 (300 WEST STREET); THENCE N25°29'04"E 688.00 FEET ALONG SAID EASTERLY RIGHT OF WAY LINE; THENCE S64°31'11"E 70.00 FEET; THENCE S25°28'49"W 173.00 FEET; THENCE S64°31'11"E 118.11 FEET; THENCE S25°29'21"W 60.45 FEET; THENCE S64°30'39"E 156.51 FEET; THENCE S00°45'21"W 252.65 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 285,118 SQUARE FEET OR 6.546 ACRE, MORE OR LESS.
THE BASIS OF BEARING IS S89°19'36"W BETWEEN THE EAST QUARTER CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 11.

SURVEY NARRATIVE

THIS RECORD OF SURVEY WAS CONDUCTED AT THE REQUEST OF ROWLEY'S SOUTH FARM INCORPORATED FOR THE PURPOSE OF LOCATING AND ADJUSTING THE PARCEL BOUNDARY LINES PRIOR TO EXPANDED DEVELOPMENT ON THE PROPERTY. THE BASIS OF BEARING FOR THIS SURVEY IS S.89°19'36"W BETWEEN THE EAST QUARTER CORNER AND WEST QUARTER CORNER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

THE NORTHERLY BOUNDARY LINE WAS DETERMINED BASED ON QUIT CLAIM DEED ENTRY NO. 39518 AND RECORD OF SURVEY RECORDED AS MAP NUMBER 88-63. THE RECORD DOCUMENTS MATCHED WELL AND THE DEED LINE WAS HELD AS THE RECORD OF SURVEY CALLED THE SOUTHERLY HALF AS 'NOT SURVEYED'.

THE EASTERLY BOUNDARY LINES WERE DETERMINED BASED OFF ARCHIVED UTAH DEPARTMENT OF TRANSPORTATION PLANS AS NOTED HEREON AND THE LOCATION OF FOUND RIGHT OF WAY MARKERS. THERE WERE ALSO REBARS FOUND ALONG THIS BOUNDARY AS NOTED HEREON. THE RIGHT OF WAY MARKERS WERE HELD OVER REBARS.

THE SOUTHERLY BOUNDARY LINE FOUND REBARS AS NOTED HEREON WERE HELD.

THE WESTERLY BOUNDARY LINE WAS BASED OFF THE EXISTING RIGHT OF WAY OF US 91 (300 WEST STREET) AS CALLED FOR IN QUIT CLAIM DEED RECORDED AS ENTRY NUMBER 39518-2012, QUIT CLAIM DEED RECORDED AS ENTRY NUMBER 39517-2012 AND RECORD OF SURVEY RECORDED AS MAP NUMBER 08-43. NO RECORD WAS FOUND FOR WHEN THE ROAD WAS DEDICATED. THE WIDTH OF THE ROAD WAS HELD BASED ON RECORD OF SURVEY RECORDED AS MAP NUMBER 15-009.

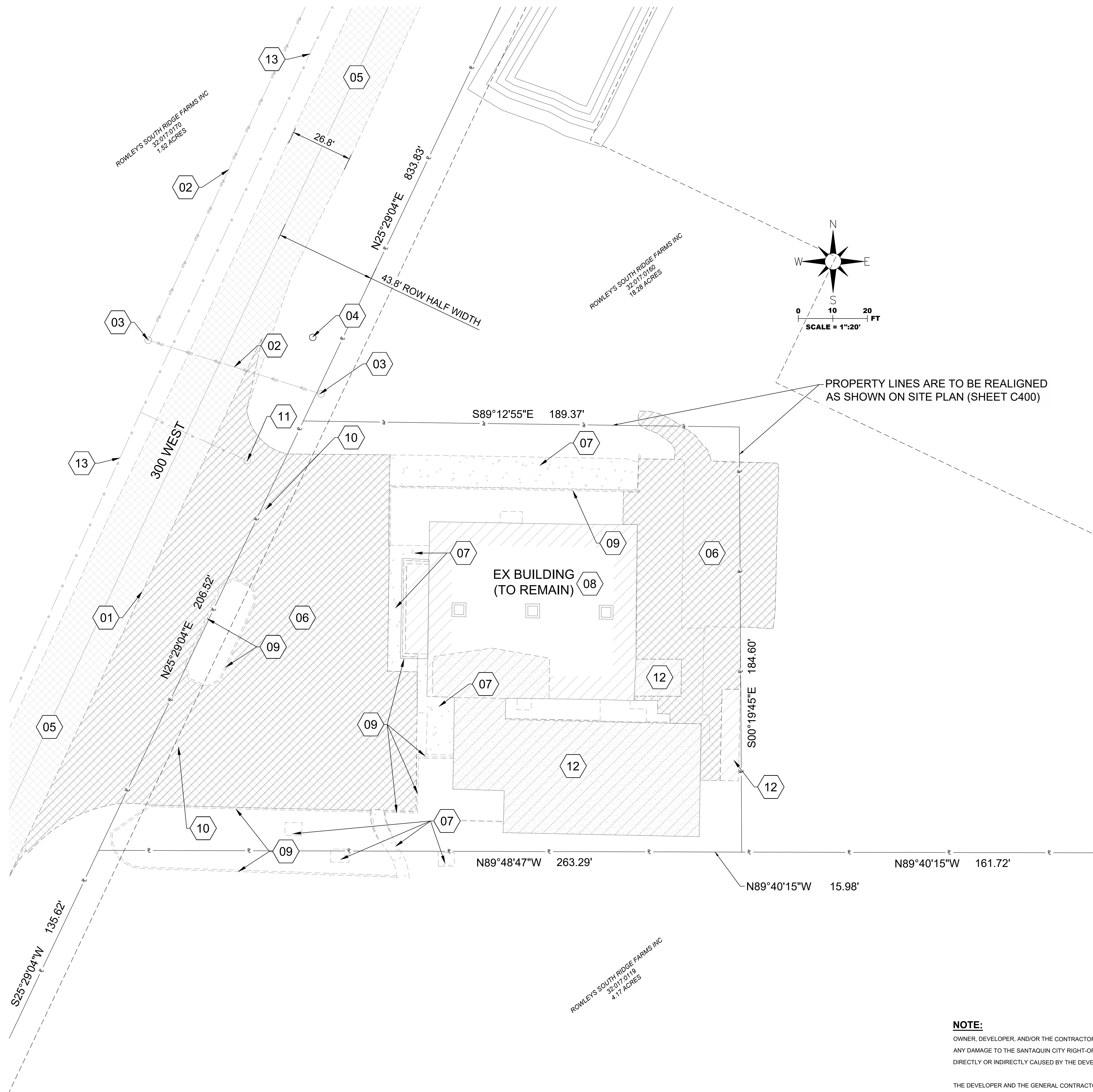
REFERENCES

- WARRANTY DEED RECORDED FEBRUARY 8, 2006 AS ENTRY NO. 15787-2006
 - THIS DOCUMENT IS THE VESTING DEED FOR CURRENT LAND OWNER OF TAX ID 32:017:0119.
- QUIT CLAIM DEED RECORDED MAY 11, 2012 AS ENTRY NO. 39517-2012
 - THIS DOCUMENT IS THE VESTING DEED FOR CURRENT LAND OWNER OF TAX ID 32:017:0156.
- QUIT CLAIM DEED RECORDED MAY 11, 2012 AS ENTRY NO. 39518-2012
 - THIS DOCUMENT IS THE VESTING DEED FOR CURRENT LAND OWNER OF TAX ID 32:017:0160.
- WARRANTY DEED RECORDED JUNE 8, 2021 AS ENTRY NO. 105099-2021
 - THIS DOCUMENT IS THE VESTING DEED FOR CURRENT LAND OWNER OF TAX ID 32:017:0102.
- QUIT CLAIM DEED RECORDED FEBRUARY 28, 2013 AS ENTRY NO. 19772-2013
 - THIS DOCUMENT IS THE VESTING DEED FOR CURRENT LAND OWNER OF TAX ID 32:017:0132.
- RECORD OF SURVEY RECORDED AS MAP NO. 15-009
 - THIS PLAT MATCHED OUR FOUND REBARS FOR THE SOUTHERLY BOUNDARY OF SUBJECT PROPERTY. WAS ALSO RELIED ON FOR THE WIDTH OF US 91 (300 WEST STREET)
- RECORD OF SURVEY RECORDED AS MAP NO. 08-43
 - THIS PLAT IS THE ORIGINAL SURVEY OF THE FOUND REBARS ALONG SOUTHERLY BOUNDARY LINE.
- RECORD OF SURVEY RECORDED AS MAP NO. 88-63
 - THIS PLAT DOCUMENTED THE NORTHERLY BOUNDARY LINE.
- UDOT PLANS PROJECT FI-233(2)
 - THIS PLAN SET WAS USED TO DETERMINE THE EXISTING RIGHT OF WAY FOR INTERSTATE 15.

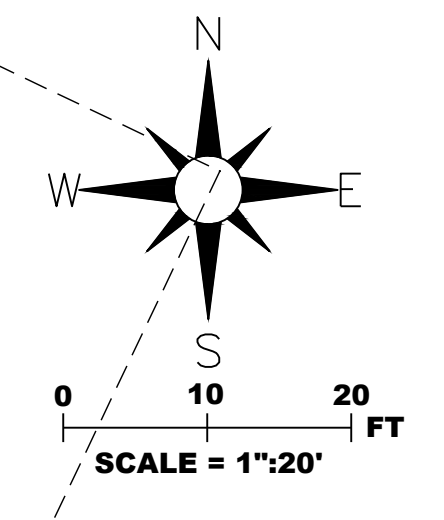
RECORD OF SURVEY LOCATED IN THE SOUTHEAST QUARTER AND THE NORTHEAST QUARTER OF SECTION 11 TOWNSHIP 10 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN	REVISIONS
RECORD OF SURVEY ROWLEY'S RED BARN 901 SOUTH 300 WEST SANTAQUIN, UTAH	NO.
22-225 PROJECT NO.	CHECKED BY: KWT
SHEET NO. 1 of 1	DRAWN BY: AJC
DATE: 3/1/2023	REMARKS
SCALE: 1:100	BY
DATE	DATE



Map 03 2023 15772.mxd
 32:017:0102 APPLE MUD HUT LLC ENTRY NO. 105099-2021
 32:017:0156 TAX ID 32:017:0156 ENTRY NO. 39517-2012
 32:017:0119 TAX ID 32:017:0119 ENTRY NO. 15787-2006
 32:017:0132 TAX ID 32:017:0132 ENTRY NO. 19772-2013
 32:017:0160 TAX ID 32:017:0160 ENTRY NO. 39518-2012
 32:017:0156 TAX ID 32:017:0156 ENTRY NO. 39517-2012
 32:017:0119 TAX ID 32:017:0119 ENTRY NO. 15787-2006
 32:017:0132 TAX ID 32:017:0132 ENTRY NO. 19772-2013
 32:017:0160 TAX ID 32:017:0160 ENTRY NO. 39518-2012



- KEYNOTES:**
- 01 SAWCUT LINE
 - 02 EXISTING OVERHEAD POWER (TO REMAIN)
 - 03 EXISTING UTILITY POLE (TO REMAIN)
 - 04 EXISTING UTILITY MANHOLE (TO REMAIN)
 - 05 EXISTING ASPHALT (TO REMAIN)
 - 06 EXISTING ASPHALT (AREA WITHIN BOUNDARY TO BE REMOVED)
 - 07 EXISTING CONCRETE (TO BE REMOVED)
 - 08 EXISTING BUILDING (TO REMAIN)
 - 09 EXISTING CURB AND GUTTER (TO BE REMOVED)
 - 10 EXISTING DRIVE APPROACH (TO BE REMOVED)
 - 11 EXISTING WATER MANHOLE (TO REMAIN)
 - 12 EXISTING BUILDING (AREA WITHIN BOUNDARY TO BE REMOVED)
 - 13 EXISTING WATER MAIN



PROPERTY LINES ARE TO BE REALIGNED AS SHOWN ON SITE PLAN (SHEET C400)

NOTE:
OWNER, DEVELOPER, AND/OR THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE SANTAQUIN CITY RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODE, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

OWNER
SCOT ROWLEY
ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN, UTAH 84655
E: SCOT@SOUTHRIDGEFARMS.COM

ENGINEER
ISAAC RICHES, P.E.
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2139 SOUTH 1260 WEST
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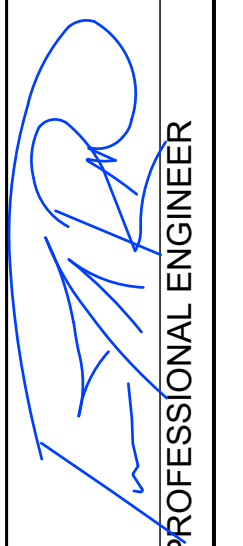
Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

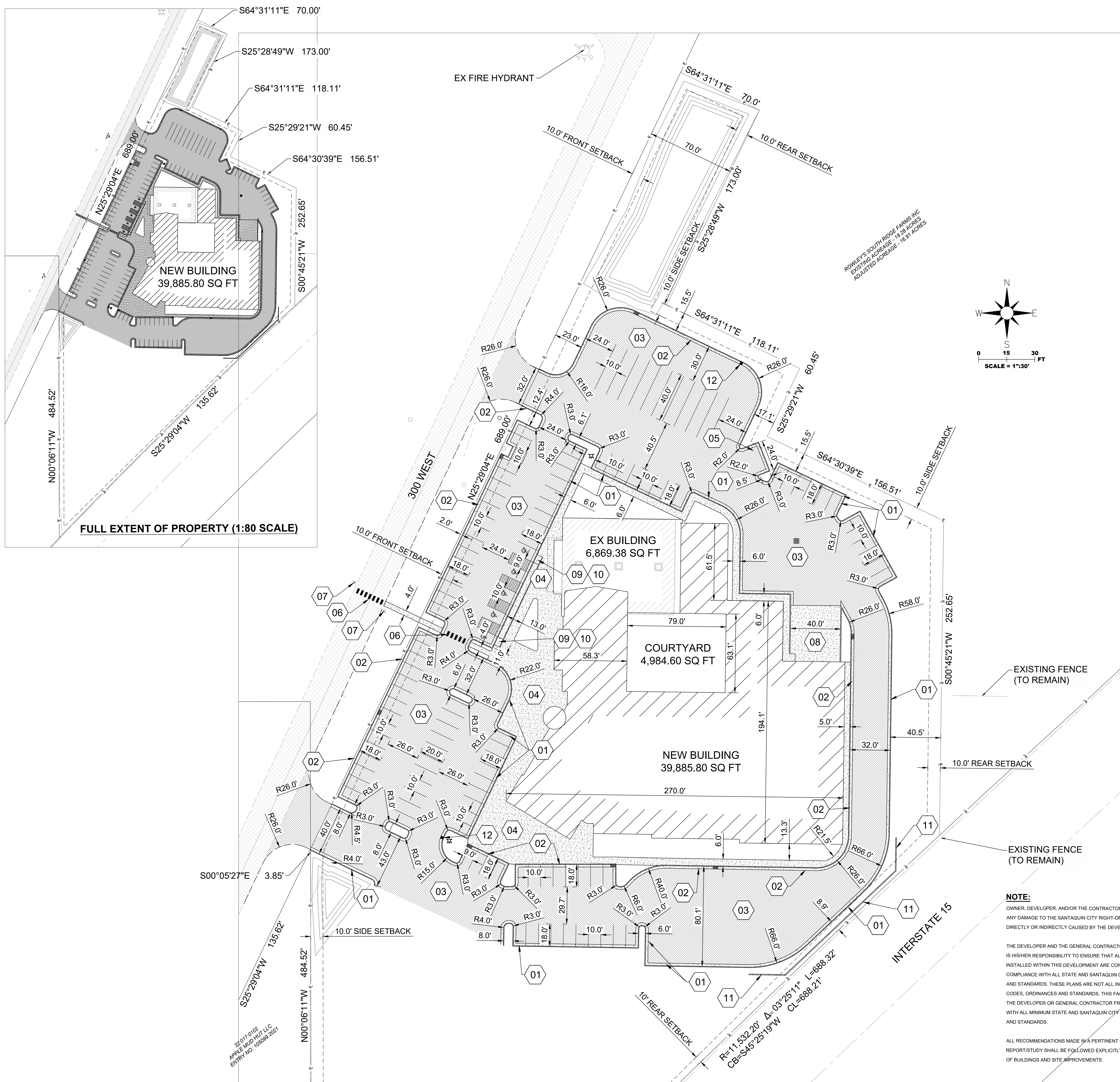
THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.

CAUTION: NOTICE TO CONTRACTOR

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REVISIONS		NO.	REMARKS	BY	DATE

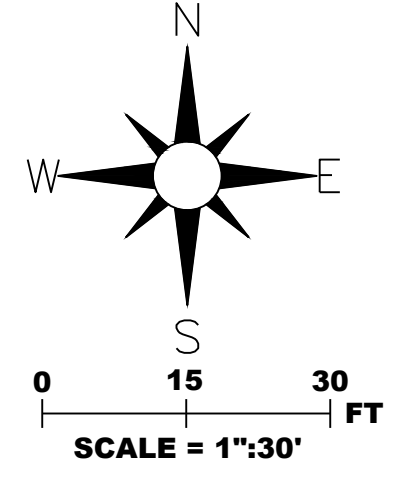
ROWLEY'S RED BARN 901 SOUTH 300 WEST SANTAQUIN CITY, UTAH 84655 SCOT ROWLEY		CHECKED BY: J.R. DESIGNED BY: J.R. DATE: 1/19/2023 SCALE: 1"=20'
WALL CONSULTANT GROUP 2139 SOUTH 1260 WEST SALT LAKE CITY, UT 84119 PHONE: 801-448-1173 		APPROVED  PROFESSIONAL ENGINEER
PROJECT ROWLEY'S RED BARN	PROJECT NUMBER WCG# 22-225	DEMOLITION/EXISTING PLAN SHEET NO. C200



KEYNOTES:

- 01 RELEASE CURB AND GUTTER (SEE DETAIL 2 ON SHEET C900)
- 02 CATCH CURB AND GUTTER (SEE DETAIL 1 ON SHEET C900)
- 03 ASPHALT (SEE DETAIL 3 ON SHEET C900)
- 04 CONCRETE (SEE DETAIL 4 ON SHEET C900)
- 05 DUMPSTER PAD (SEE DETAIL 6 ON SHEET C900)
- 06 STREET CROSSING STRIPING PER SANTAQUIN CITY STANDARD - 11.17
- 07 'LOW PEDESTRIAN CROSSING' SIGN THAT MEETS SANTAQUIN CITY HEIGHT AND STANDARDS AS SANTAQUIN CITY STD DWG ST10
- 08 LOADING DOCK (SEE GRADING ON SHEET C800)
- 09 ADA RAMP (SEE SHEET C500 FOR GRADES AND DETAIL 5 ON SHEET C500)
- 10 ADA SIGNAGE (SEE DETAIL 5 ON SHEET C900)
- 11 RETAINING WALL - SEE ELEVATIONS ON SHEET C500 (STRUCTURAL DESIGN DETAIL 1 ON SHEET C801)
- 12 CURB TRANSITION

LAND USE TABLE		
PROPERTY ZONE: C-1		
TOTAL GROSS ACREAGE (ACRES)	285,261.00 SQ FT (6.55 ACRES)	100%
EX BUILDING FOOTPRINT	6,869.4 SQ FT	2.4%
NEW BUILDING FOOTPRINT	39,885.8 SQ FT	14.0%
LANDSCAPING	133,015.8 SQ FT	46.6%
HARDSCAPING	105,490.0 SQ FT	37.0%
ADA PARKING SPACES		5 STALLS
RV/TRAILER PARKING STALLS		10 STALLS
PARKING STALLS		102 STALLS
TOTAL PARKING		117 STALLS
REQ'D PARKING SPACES	46,755.20 SQ FT/1,000 SQ FT * 2 STALLS = 93.5 STALLS 2 SPACES/1,000 SQ FT (ANCILLARY COMMERCIAL)	94 STALLS



FULL EXTENT OF PROPERTY (1:80 SCALE)

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THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. IF A CONFLICT IS IDENTIFIED, THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY, PRIOR TO ANY FURTHER WORK BEING DONE RELATED TO THE ISSUE. CONTRACTOR IS TO BEGIN CONSTRUCTION AT LOW SIDE OF ALL GRAVITY LINES.

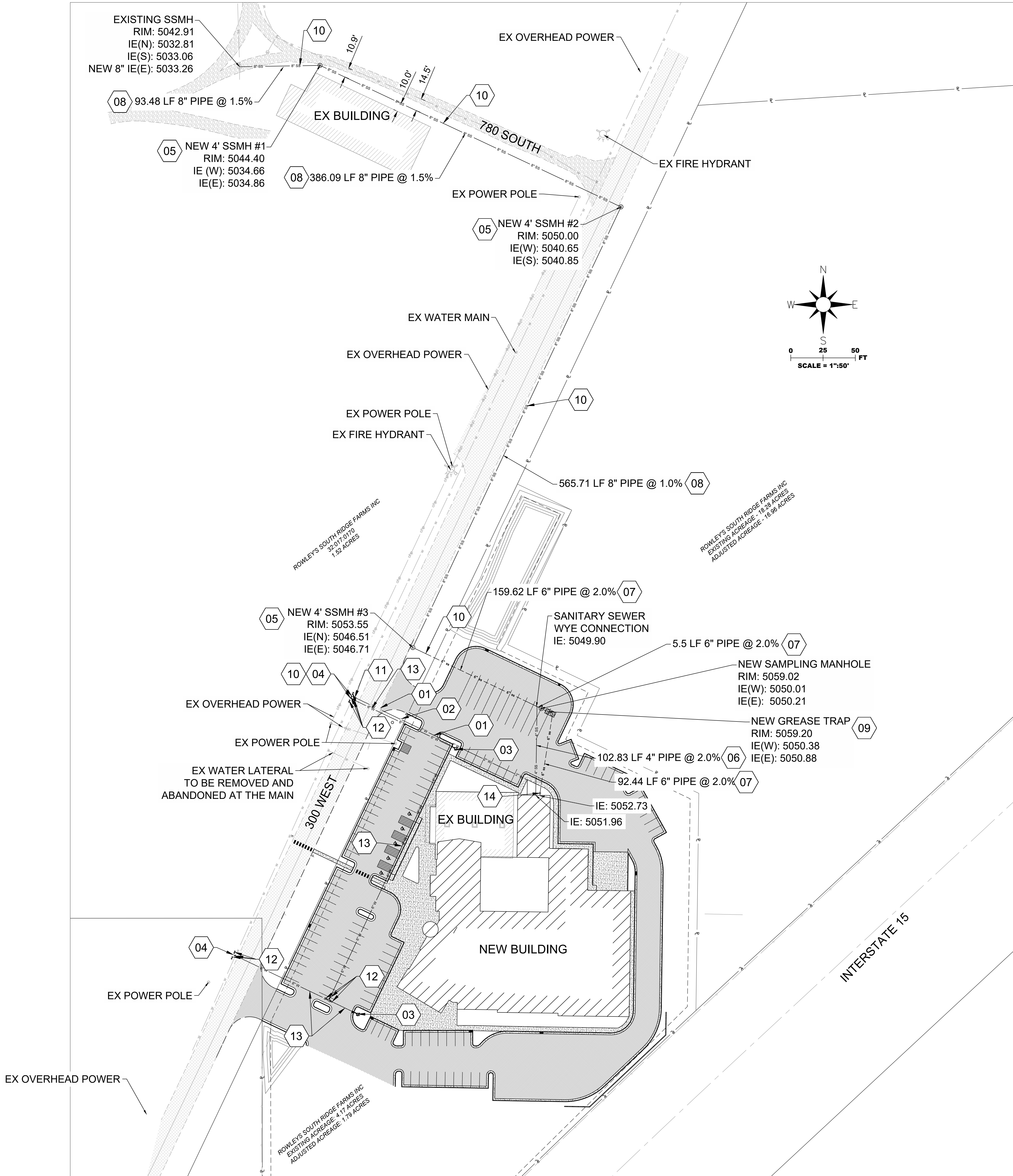
REVISED	BY	DATE	REMARKS	NO.

WALL CONSULTANT GROUP 2139 SOUTH 1260 WEST SALT LAKE CITY, UT 84119 PHONE: 801-448-1173	SCOT ROWLEY PROFESSIONAL ENGINEER	DATE: 1/19/2023	CHECKED BY: JLR	DESIGNED BY: JLR
---	---	-----------------	-----------------	------------------

WALL CONSULTANT GROUP 2139 SOUTH 1260 WEST SALT LAKE CITY, UT 84119 PHONE: 801-448-1173	SCOT ROWLEY PROFESSIONAL ENGINEER	APPROVED
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PROJECT ROWLEY'S RED BARN	PROJECT NUMBER WCG# 22-225	SHEET NO. C300
-------------------------------------	--------------------------------------	--------------------------

2/20/21 0102
APRIL MUIR HUT LLC
ENTRY NO. 102999-2021



KEYNOTES:

- 01 2" POLY WATER LATERAL PER SANTAQUIN CITY STANDARD W1
- 02 2" WATER METER PER SANTAQUIN CITY STANDARD DRAWING W1
- 03 FIRE HYDRANT AND VALVE PER SANTAQUIN CITY STANDARD DRAWING W2
- 04 NEW WATER CONNECTION PER SANTAQUIN CITY STANDARD DRAWING W1
- 05 4" SEWER MANHOLE PER SANTAQUIN CITY STANDARD DRAWING S3
- 06 4" C900 SEWER LATERAL 'TEED' INTO 6" LATERAL
- 07 6" C900 SEWER LATERAL PER SANTAQUIN CITY STANDARD DRAWING S2
- 08 8" C900 SEWER MAIN
- 09 GREASE TRAP AND SAMPLING MANHOLE PER SANTAQUIN CITY STANDARD DRAWING S5
- 10 TRENCHING PER SANTAQUIN CITY STANDARD DRAWING UT3
- 11 2" GATE VALVE
- 12 6" GATE VALVE
- 13 6" C900 DR14 CLASS 305 PIPE WATER LINE
- 14 SEWER CLEANOUT PER SANTAQUIN CITY STANDARD DRAWING S2

NO.	REVISIONS	BY	DATE

ROWLEY'S RED BARN
 907 SOUTH 300 WEST
 SANTAQUIN CITY, UTAH 84655
 SCOT ROWLEY

WALL CONSULTANT GROUP
 2139 SOUTH 1260 WEST
 SALT LAKE CITY, UT 84119
 PHONE: 801-448-1173

ROWLEY'S RED BARN
 WCG# 22-225
 UTILITY PLAN

PROJECT: ROWLEY'S RED BARN
 PROJECT NUMBER: WCG# 22-225
 SHEET NO.: C400

NOTE:

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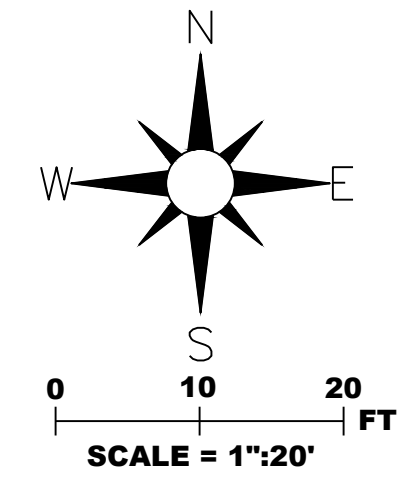
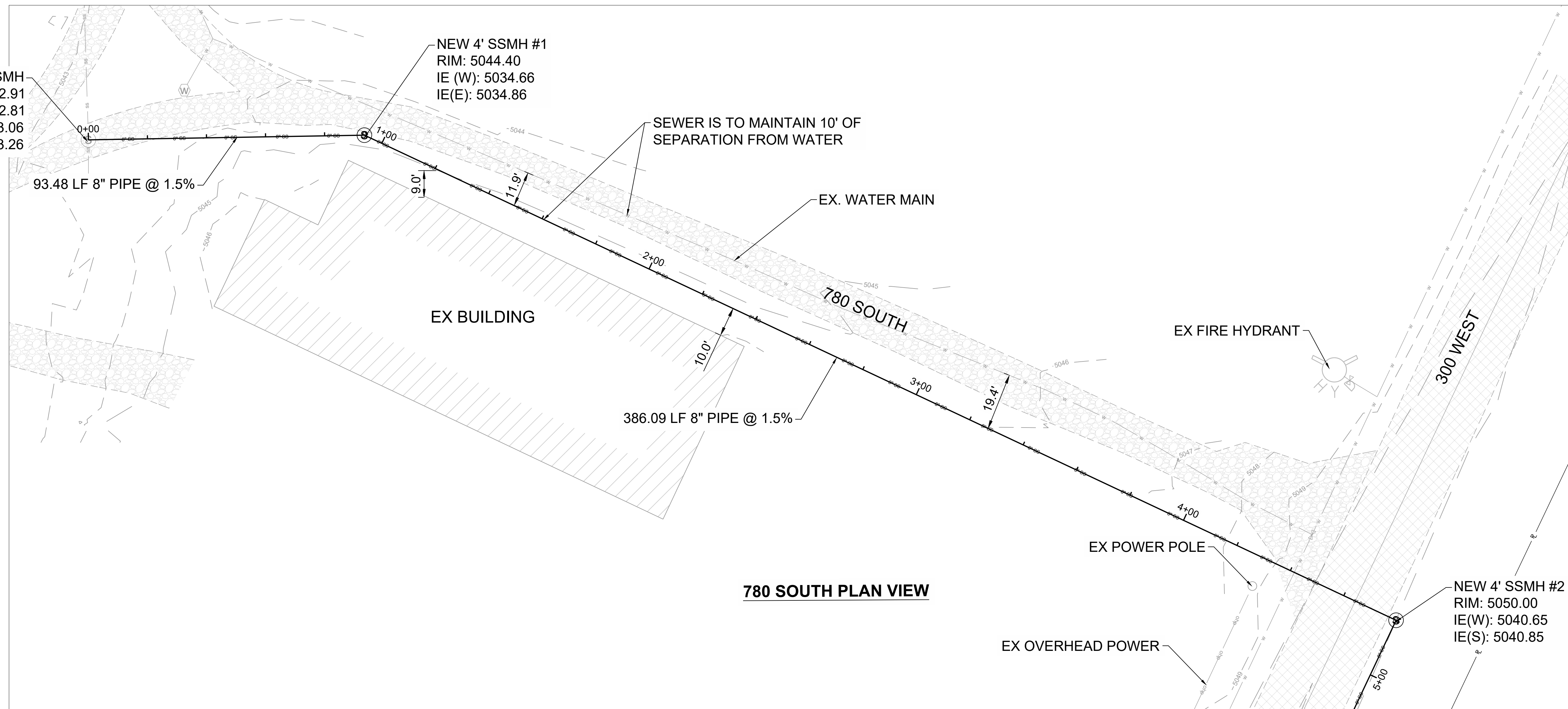
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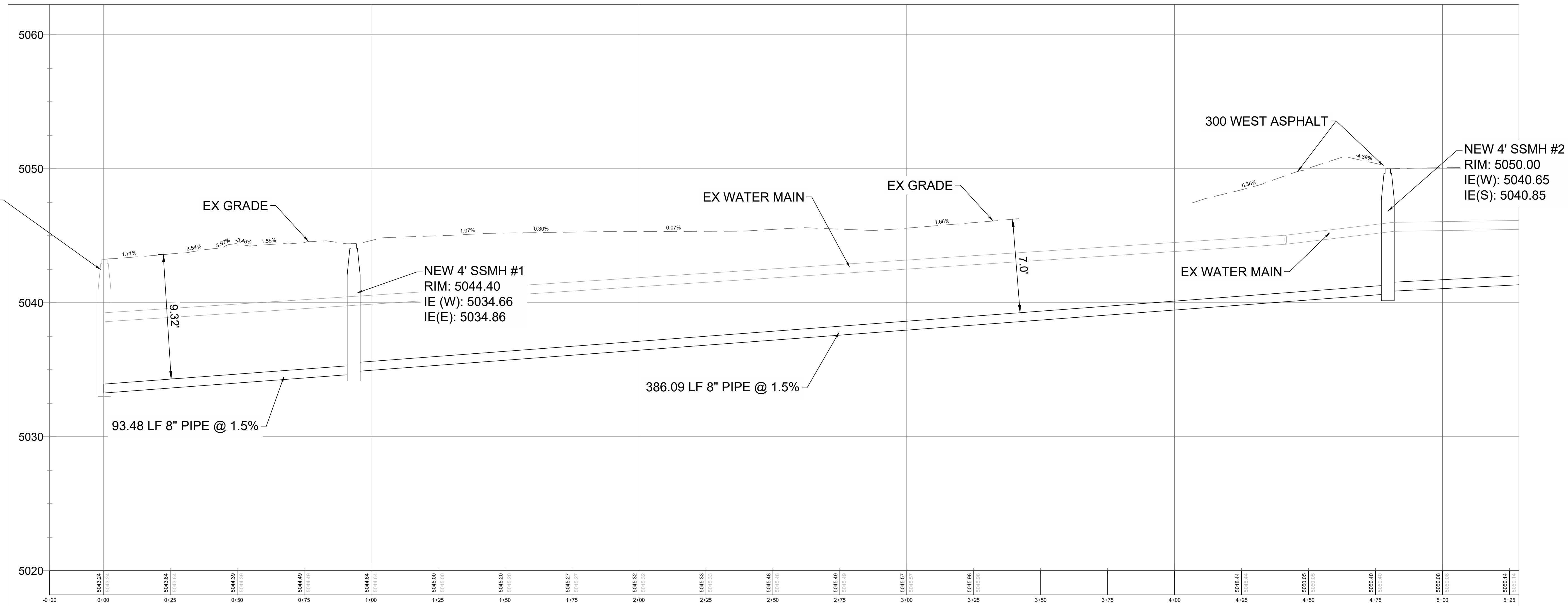
OWNER:
 SCOT ROWLEY
 ROWLEY'S RED BARN
 907 SOUTH 300 WEST
 SANTAQUIN, UTAH 84655
 E: SCOT@SOUTHTRIDGEPARMS.COM

ENGINEER:
 ISAAC RICHES, P.E.
 WALL CONSULTING GROUP
 2139 SOUTH 1260 WEST
 S.L.C., UTAH 84119
 P: 801-448-2191
 E: isaac.riches@wcp.us

EXISTING SSMH
RIM: 5042.91
IE(N): 5032.81
IE(S): 5033.06
NEW 8" IE(E): 5033.26



EXISTING SSMH
RIM: 5042.91
IE(N): 5032.81
IE(S): 5033.06
NEW 8" IE(E): 5033.26



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NO.	REVISIONS	BY	DATE

SCALE: 1"=20'

DATE: 1/16/2023

DESIGNED BY: IJR

CHECKED BY: IJR

PROJECT: ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655
SCOT ROWLEY, P.E.

WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173

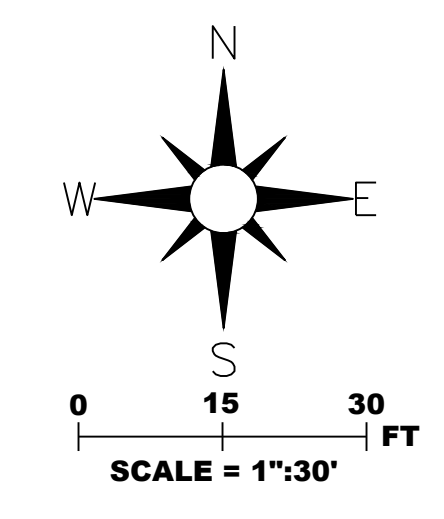
APPROVED

PROFESSIONAL ENGINEER

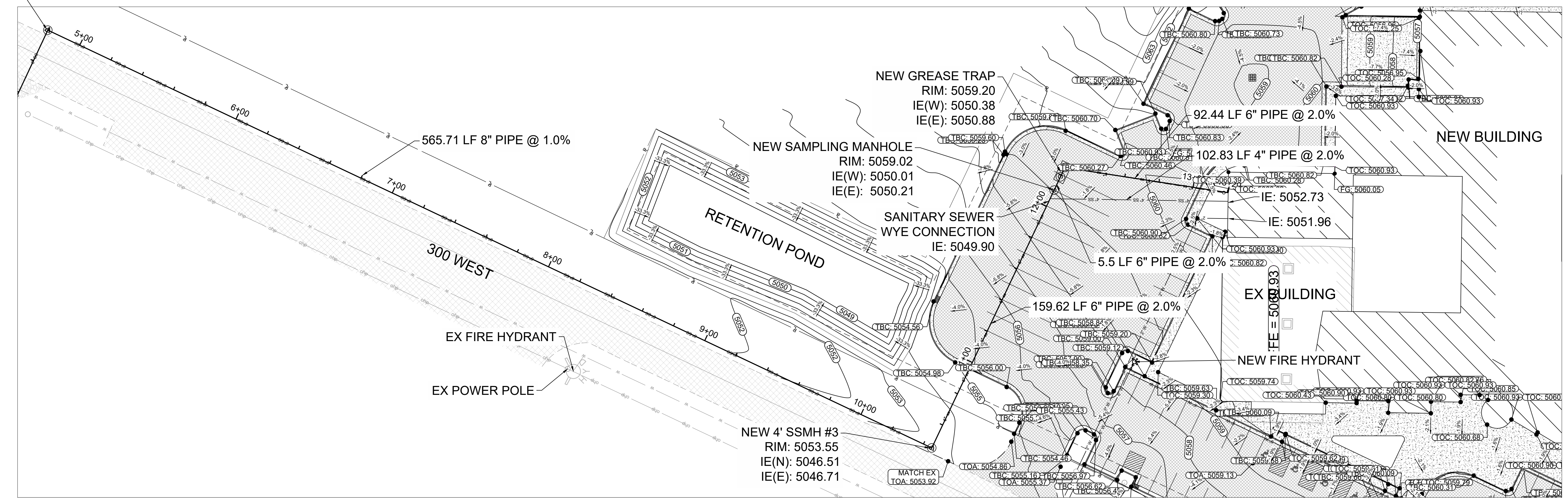
PROJECT: ROWLEY'S RED BARN

PROJECT NUMBER: WCC# 22-225

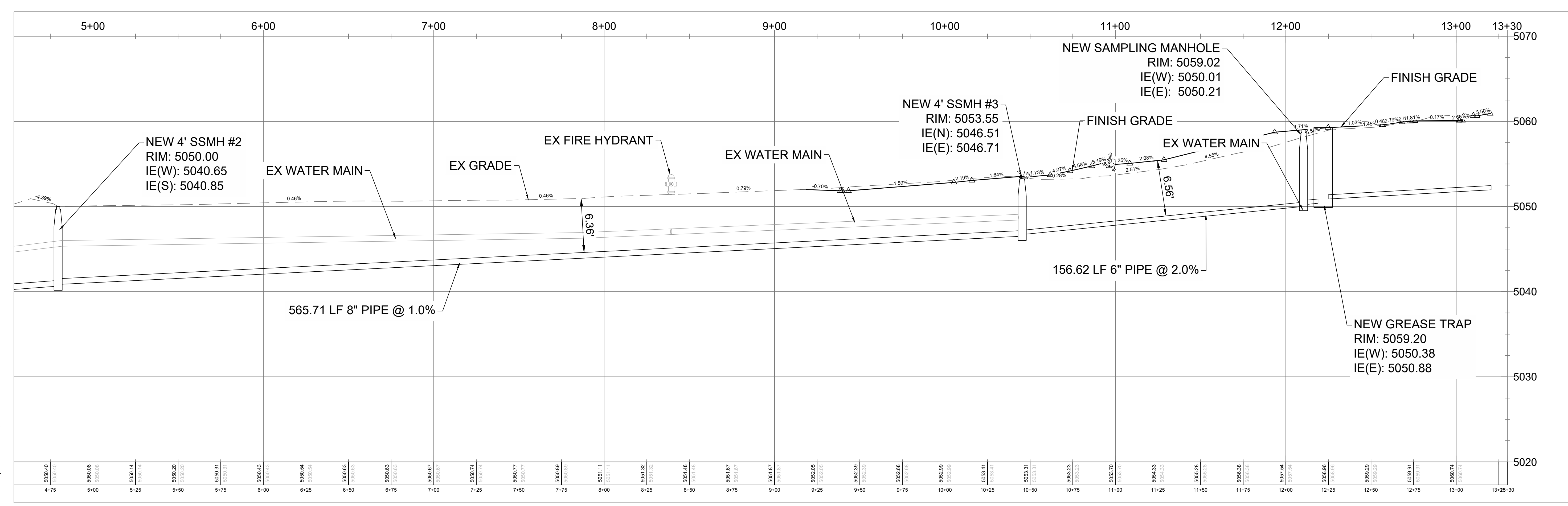
780 SOUTH PLAN AND PROFILE



NEW 4' SSMH #2
RIM: 5050.00
IE(W): 5040.65
IE(S): 5040.85



300 WEST PLAN VIEW



300 WEST PROFILE VIEW

NOTE:
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NO.	REVISIONS	BY	DATE

PROJECT	ROWLEY'S RED BARN 901 SOUTH 300 WEST SANTAQUIN CITY, UTAH 84655 SCOT ROWLEY, P.E.
DESIGNED BY:	LJR
CHECKED BY:	LJR
DATE:	1/16/2023
SCALE:	1"=30'

WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173



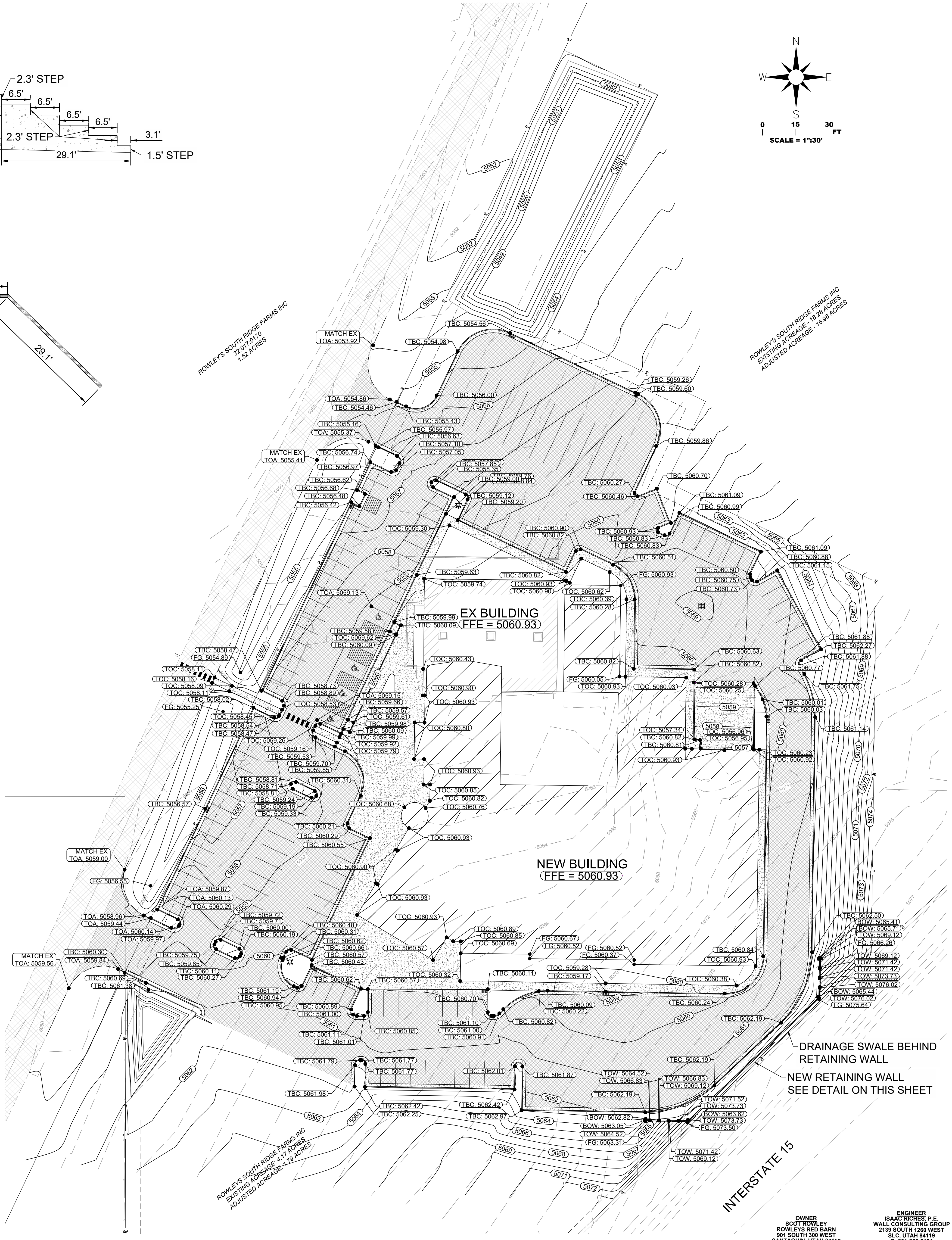
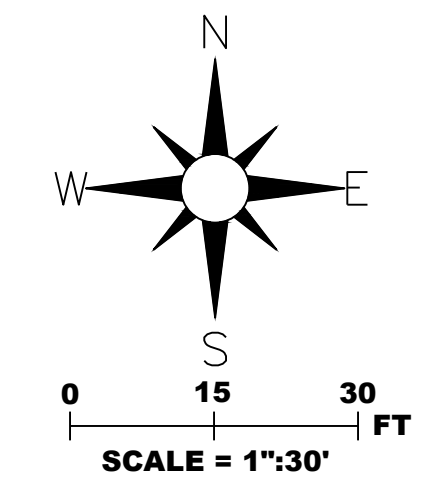
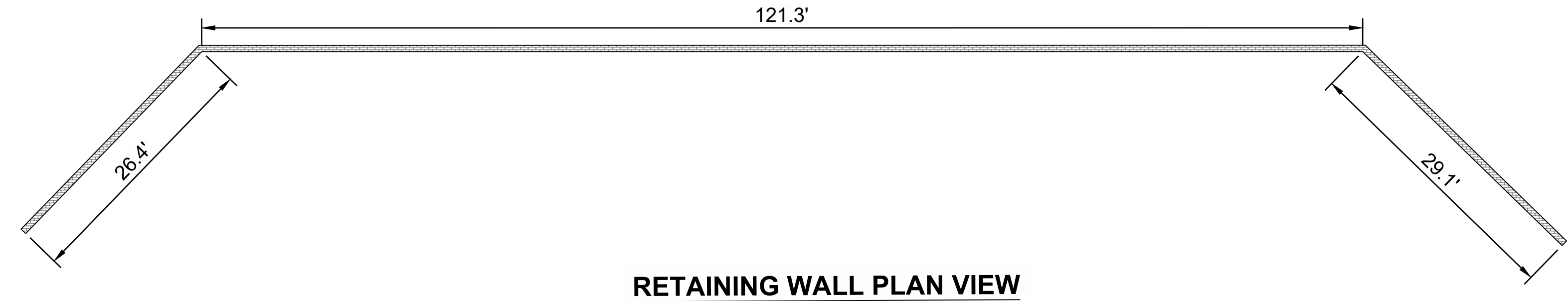
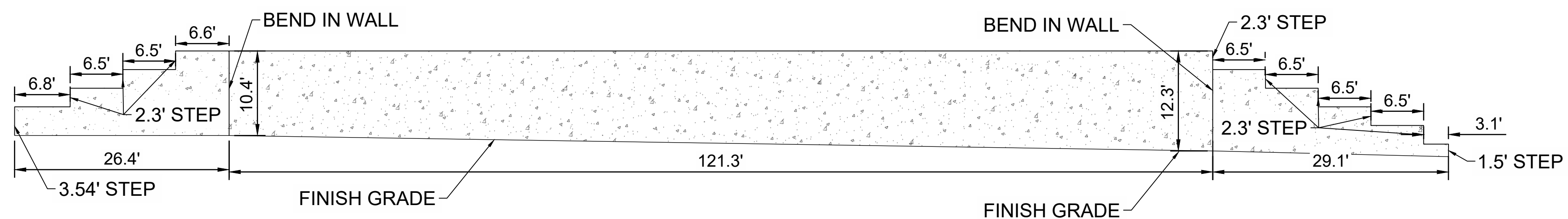
PROFESSIONAL ENGINEER

PROJECT	ROWLEY'S RED BARN
PROJECT NUMBER	WCC# 22-225
300 WEST PLAN AND PROFILE	

OWNER
SCOT ROWLEY
ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN, UTAH 84655
E: SCOT@SOUTHRIDGEFARMS.COM

ENGINEER
ISAAC RICHES, P.E.
WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UTAH 84119
P: 801-448-1173
E: isaac.riches@wcg.us

NO.	REVISIONS	DATE	BY



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WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173

WCG# 22-225

GRADING PLAN

ROWLEY'S RED BARN
907 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655
SCOTT ROWLEY, P.E.

DATE: 1/19/2023
SCALE: 1"=50'
DESIGNED BY: JLR
CHECKED BY: JLR

PROJECT NUMBER: C400

PROFESSIONAL ENGINEER

APPROVED

RED BARN SITE STORM CALCULATIONS - 25 YEAR STORM					
	AREA	RATIONAL RUNOFF COEFFICIENT 'C'	WEIGHTED C		
Building Area	46755.20 ft ²	C _b 0.87	0.20		
Pavement Area	105790.00 ft ²	C _p 0.87	0.44		
Landscape Area	55570.00 ft ²	C _i 0.17	0.05		
Total Area 'A'	208115.20 ft ²	WEIGHTED C	0.68		
CA	4.78 Acres				
CA	3.26				
DESIGN FREQUENCY 25 year 24 hour storm					
Release Rate 'R'		0.00 ft ³ /sec/Acre			
Rain fall data from NOAA					
T	RAIN FALL	C*A	RAIN FALL * C*A	DISCHARGE, D	STORAGE
15 min	2.75 in/hr	142161.22 ft ²	8144.65 ft ³	0.00 ft ³	8144.65 ft ³
30 min	1.85 in/hr	142161.22 ft ²	10958.26 ft ³	0.00 ft ³	10958.26 ft ³
60 min	1.14 in/hr	142161.22 ft ²	13505.32 ft ³	0.00 ft ³	13505.32 ft ³
360 min	0.26 in/hr	142161.22 ft ²	18480.96 ft ³	0.00 ft ³	18480.96 ft ³
720 min	0.16 in/hr	142161.22 ft ²	22745.80 ft ³	0.00 ft ³	22745.80 ft ³
1440 min	0.10 in/hr	142161.22 ft ²	29285.21 ft ³	0.00 ft ³	29285.21 ft ³
EQUATION		CA = C*A	F = d/12*CA	D=R*A/60*T	Storage = F-D

RED BARN SITE STORM CALCULATIONS - 25 YEAR STORM - SOUTH					
	AREA	RATIONAL RUNOFF COEFFICIENT 'C'	WEIGHTED C		
Building Area	0.00 ft ²	C _b 0.9	0.00		
Pavement Area	0.00 ft ²	C _p 0.9	0.00		
Landscape Area	72374.10 ft ²	C _i 0.17	0.17		
Total Area 'A'	72374.10 ft ²	WEIGHTED C	0.17		
CA	1.66 Acres				
CA	0.28				
DESIGN FREQUENCY 25 year 24 hour storm					
Release Rate 'R'		0.00 ft ³ /sec/Acre			
Rain fall data from NOAA					
T	RAIN FALL	C*A	RAIN FALL * C*A	DISCHARGE, D	STORAGE
15 min	2.75 in/hr	12303.60 ft ²	704.89 ft ³	0.00 ft ³	704.89 ft ³
30 min	1.85 in/hr	12303.60 ft ²	948.40 ft ³	0.00 ft ³	948.40 ft ³
60 min	1.14 in/hr	12303.60 ft ²	1168.84 ft ³	0.00 ft ³	1168.84 ft ³
360 min	0.26 in/hr	12303.60 ft ²	1599.47 ft ³	0.00 ft ³	1599.47 ft ³
720 min	0.16 in/hr	12303.60 ft ²	1968.58 ft ³	0.00 ft ³	1968.58 ft ³
1440 min	0.10 in/hr	12303.60 ft ²	2460.72 ft ³	0.00 ft ³	2460.72 ft ³
EQUATION		CA = C*A	F = d/12*CA	D=R*A/60*T	Storage = F-D

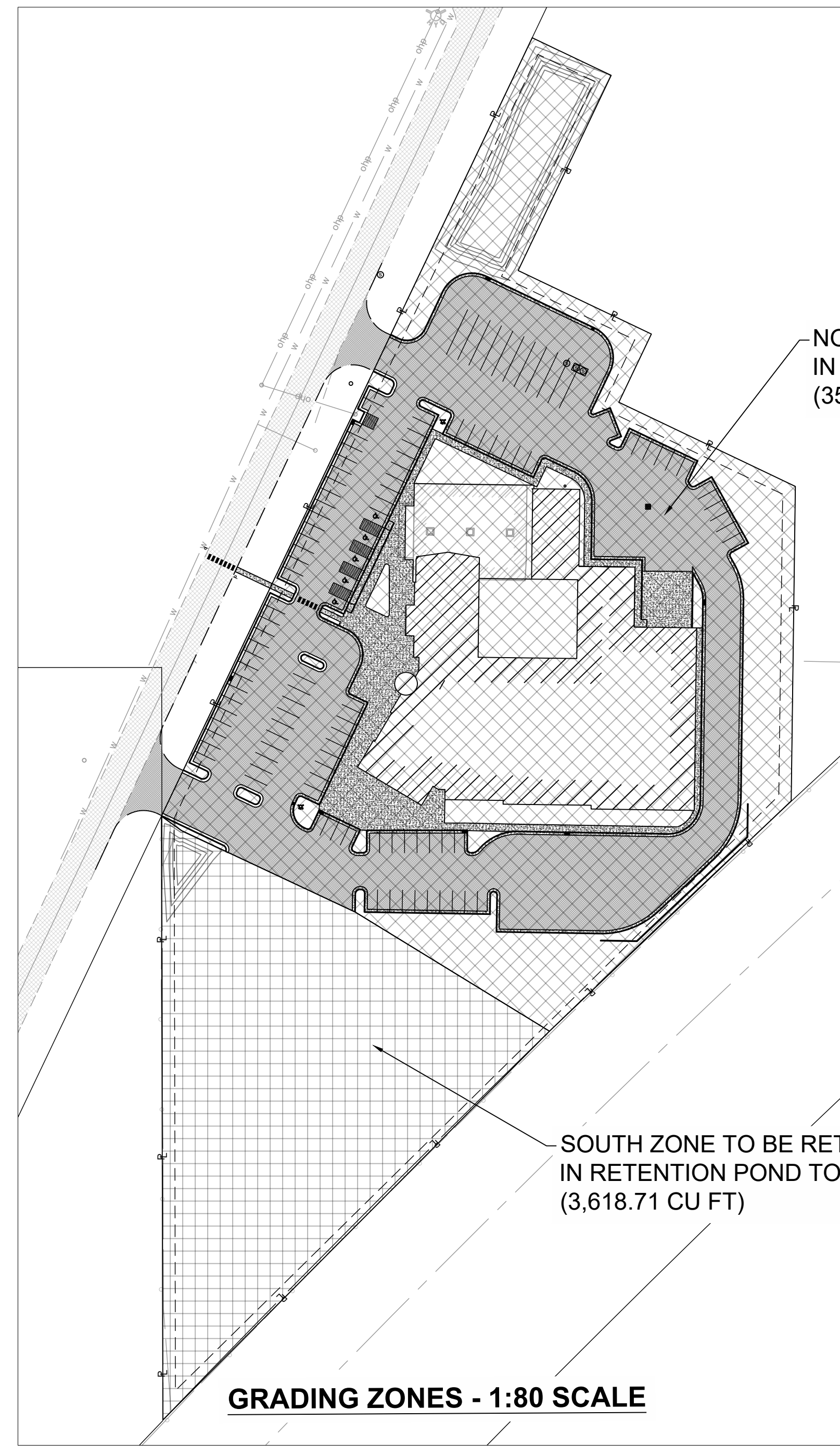
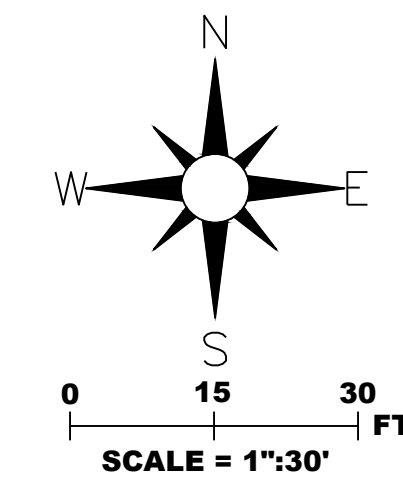
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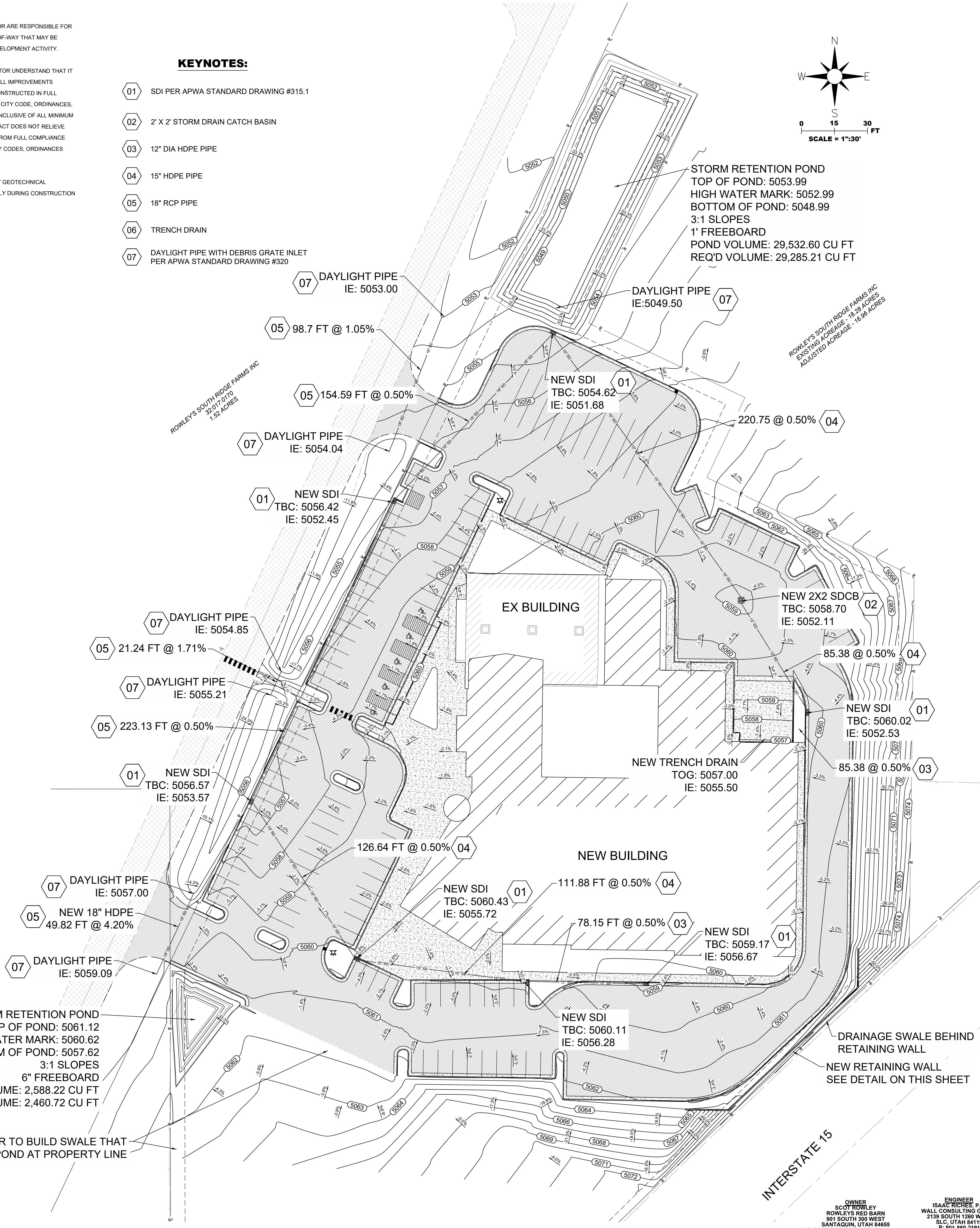
KEYNOTES:

- 01 SDI PER APWA STANDARD DRAWING #315.1
- 02 2' X 2' STORM DRAIN CATCH BASIN
- 03 12" DIA HDPE PIPE
- 04 15" HDPE PIPE
- 05 18" RCP PIPE
- 06 TRENCH DRAIN
- 07 DAYLIGHT PIPE WITH DEBRIS GRATE INLET PER APWA STANDARD DRAWING #320



NORTH ZONE TO BE RETAINED
IN RETENTION POND TO THE NORTH
(35,130.61 CU FT)

SOUTH ZONE TO BE RETAINED
IN RETENTION POND TO THE WEST
(3,618.71 CU FT)



STORM RETENTION POND
TOP OF POND: 5053.99
HIGH WATER MARK: 5052.99
BOTTOM OF POND: 5048.99
3:1 SLOPES
1' FREEBOARD
POND VOLUME: 29,532.60 CU FT
REQ'D VOLUME: 29,285.21 CU FT

STORM RETENTION POND
TOP OF POND: 5061.12
HIGH WATER MARK: 5060.62
BOTTOM OF POND: 5057.62
3:1 SLOPES
6" FREEBOARD
POND VOLUME: 2,588.22 CU FT
REQ'D VOLUME: 2,460.72 CU FT

CONTRACTOR TO BUILD SWALE THAT
DRAINS TO POND AT PROPERTY LINE

REVISIONS	BY	DATE	REMARKS	NO.

ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655
SCOTT ROWLEY, P.E.

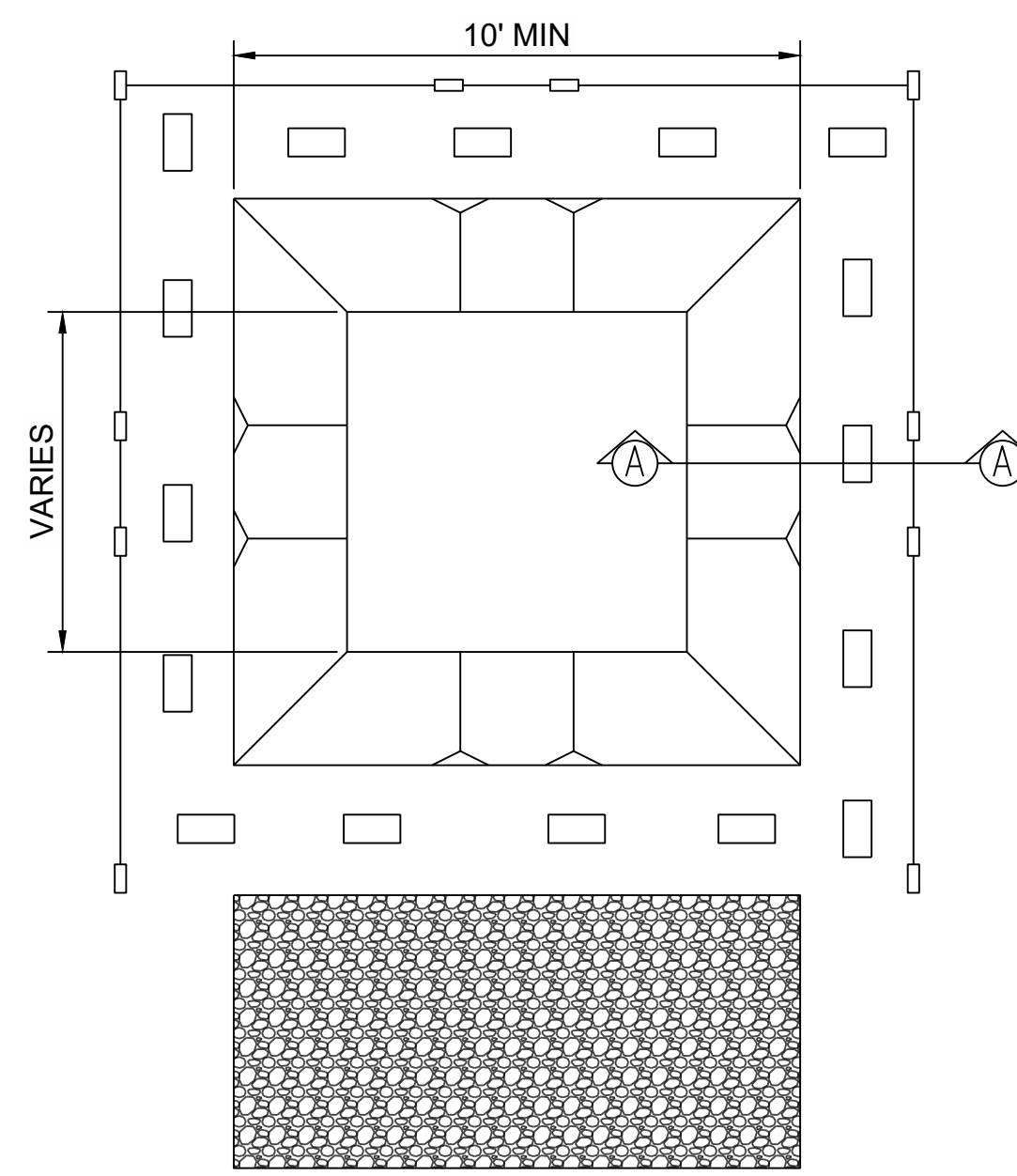
CHECKED BY: JLR
DESIGNED BY: JLR
DATE: 1/19/2023
SCALE: 1"=50'

WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173

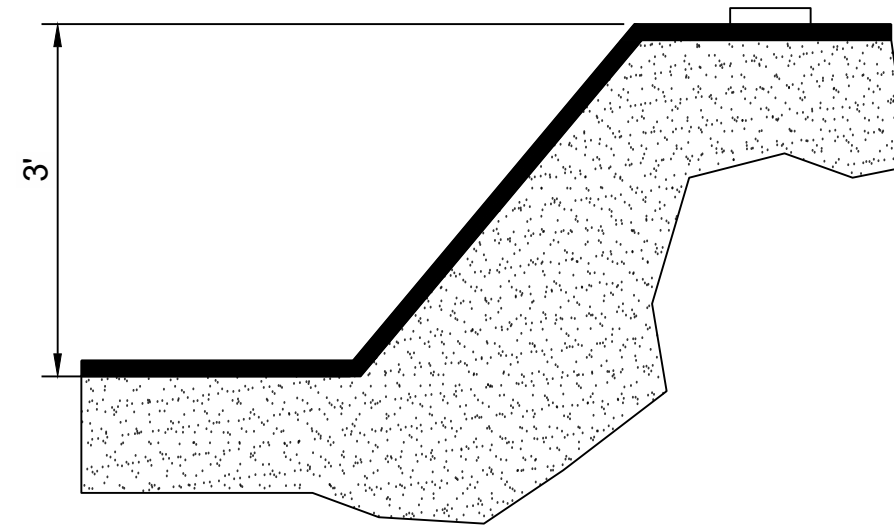
APPROVED: [Signature]
PROFESSIONAL ENGINEER

ROWLEY'S RED BARN
WCG# 22-225

GRADING PLAN
SHEET NO. C400

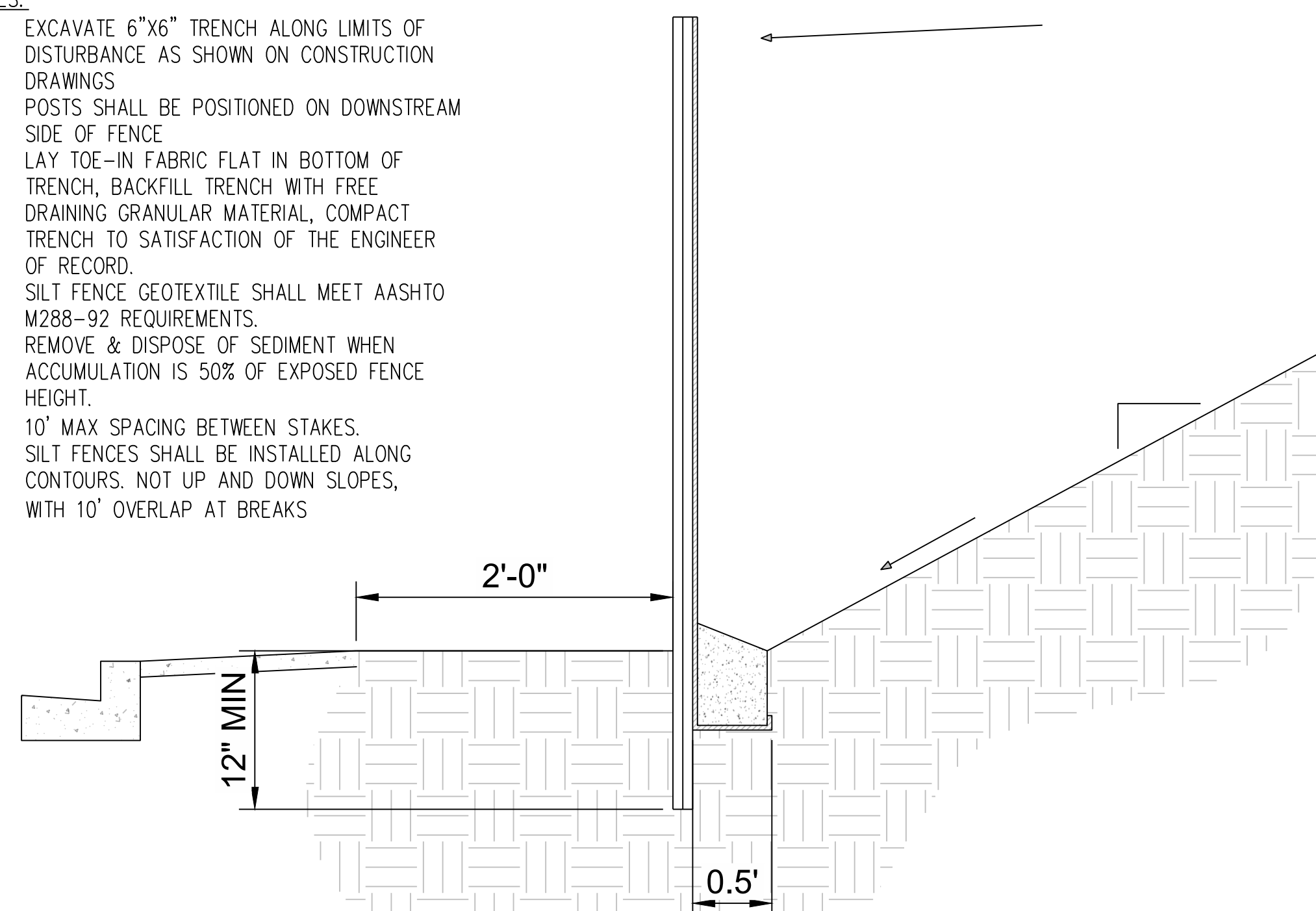


1 CONCRETE WASHOUT SCALE: NONE

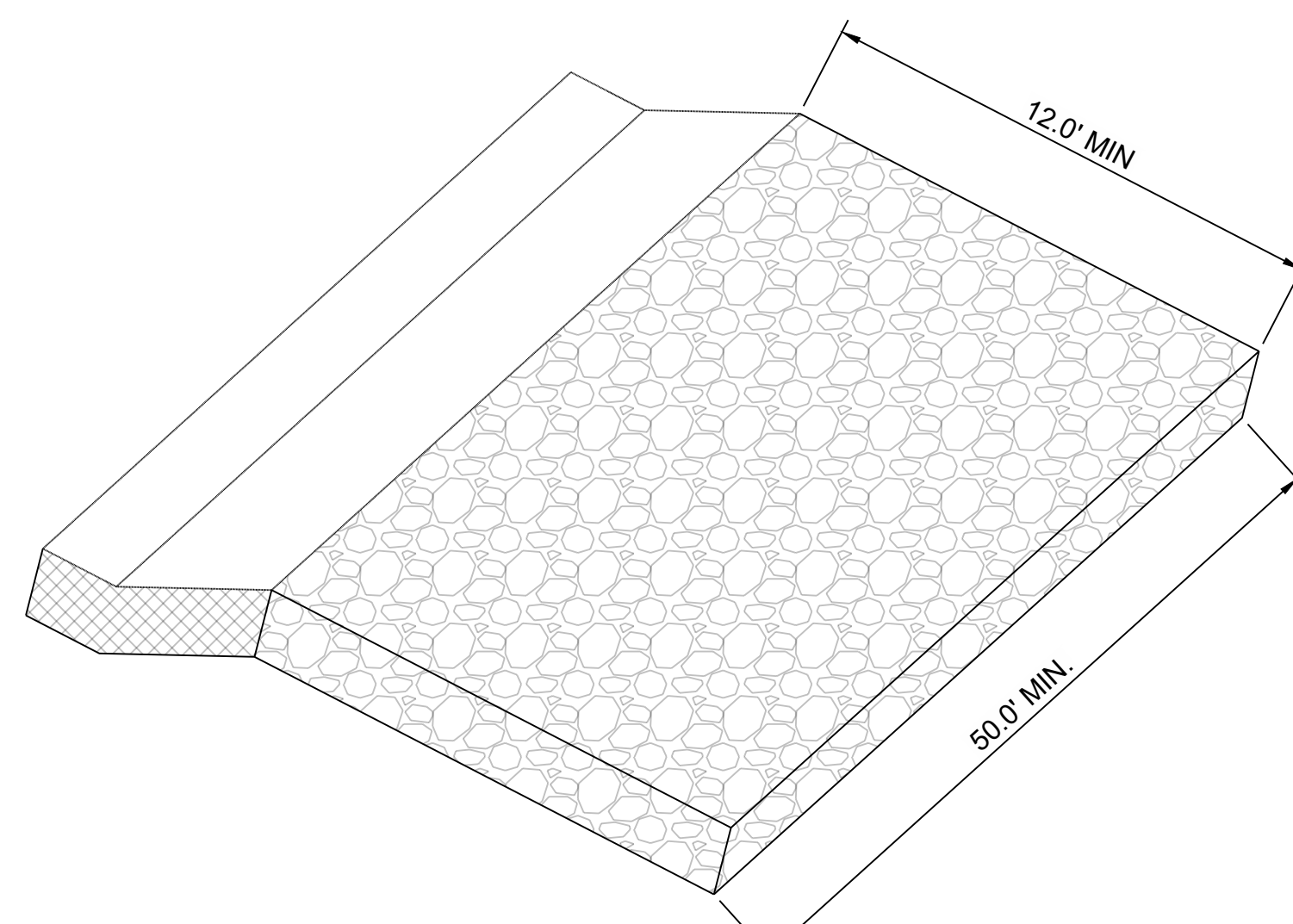


- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 20 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. WASHOUT NEEDS TO BE EMPTIED AND REPAIRED WHEN 75% OF STORAGE CAPACITY IS FILLED.
 4. DEVELOPER/CONTRACTOR RESPONSIBLE FOR REMOVAL & DISPOSAL OF CONCRETE PRIOR TO FILING N.O.T.

- NOTES:
1. EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
 2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
 3. LAY TOE-IN FABRIC FLAT IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL, COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
 4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
 5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
 6. 10' MAX SPACING BETWEEN STAKES.
 7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



2 SILT FENCE SCALE: NONE



3 CONSTRUCTION ENTRANCE SCALE: NONE

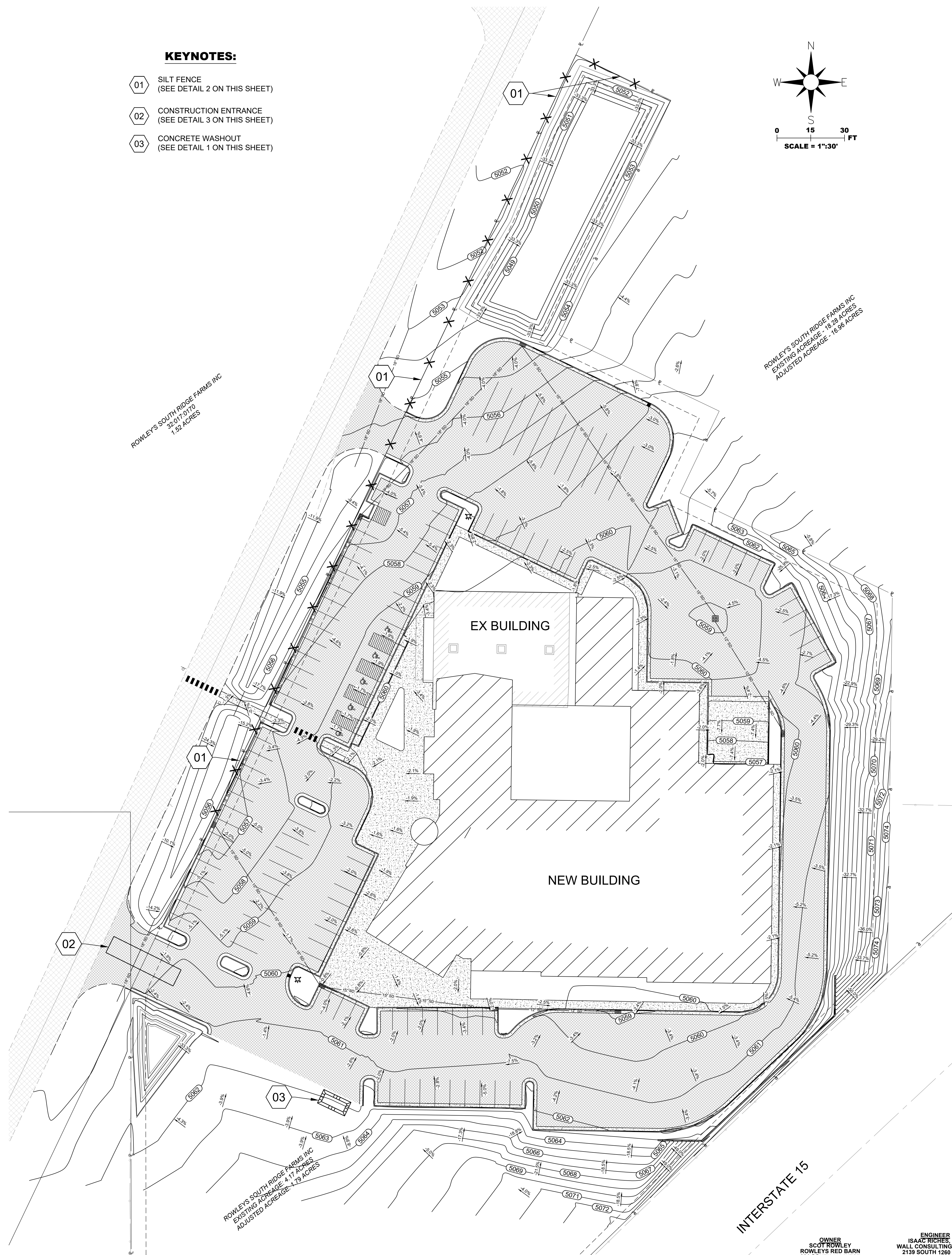
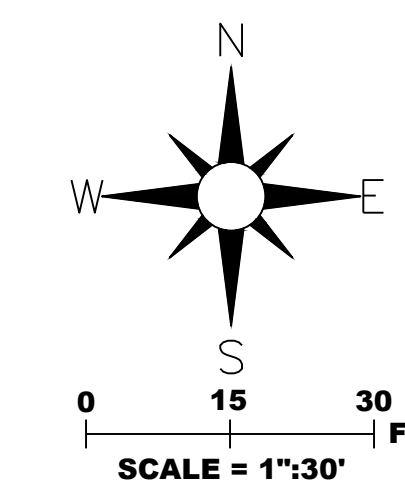
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KEYNOTES:

- 01 SILT FENCE (SEE DETAIL 2 ON THIS SHEET)
- 02 CONSTRUCTION ENTRANCE (SEE DETAIL 3 ON THIS SHEET)
- 03 CONCRETE WASHOUT (SEE DETAIL 1 ON THIS SHEET)



ROWLEY'S SOUTH RIDGE FARMS INC
EXISTING ACREAGE - 23.01 ACRES
ADJUSTED ACREAGE - 1.58 ACRES

ROWLEY'S SOUTH RIDGE FARMS INC
EXISTING ACREAGE - 18.8 ACRES
ADJUSTED ACREAGE - 16.8 ACRES

ROWLEY'S SOUTH RIDGE FARMS INC
EXISTING ACREAGE - 4.17 ACRES
ADJUSTED ACREAGE - 1.79 ACRES

NOTES:
PLACE SIGN ADJACENT TO ENTRANCE "CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATOR"

NO.	REVISIONS	BY	DATE

ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN CITY, UTAH 84655
SCOT ROWLEY

DESIGNED BY: J.R.
CHECKED BY: J.R.

DATE: 1/19/2023

SCALE: 1"=50'

WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
SALT LAKE CITY, UT 84119
PHONE: 801-448-1173

APPROVED

PROFESSIONAL ENGINEER

ROWLEY'S RED BARN

PROJECT NUMBER: WCG# 22-225

GRADING PLAN

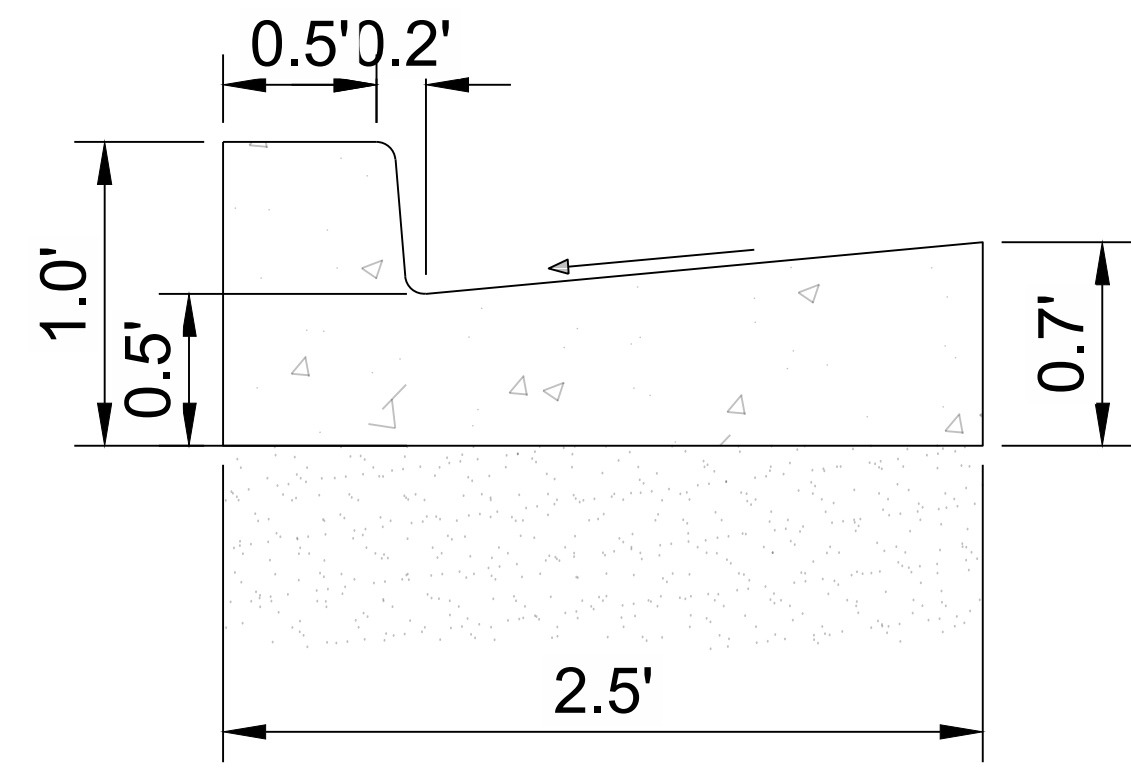
PROJECT: ROWLEY'S RED BARN

PROJECT NUMBER: WCG# 22-225

SHEET NO. C400

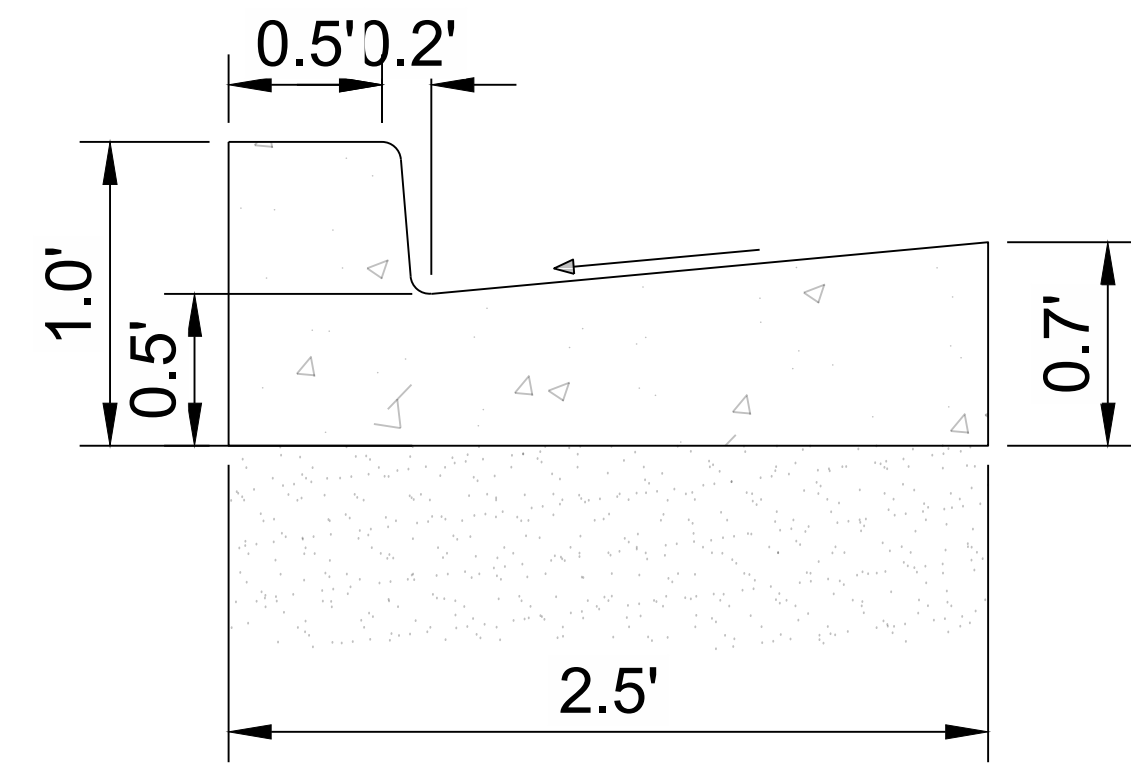
OWNER
SCOT ROWLEY
ROWLEY'S RED BARN
901 SOUTH 300 WEST
SANTAQUIN, UTAH 84655
E: SCOT@SOUTHRIDGEFARMS.COM

ENGINEER
ISAAC RICHES, P.E.
WALL CONSULTANT GROUP
2139 SOUTH 1260 WEST
S.L.C. UTAH 84119
P: 801-448-1173
E: isaac.riches@wccg.us



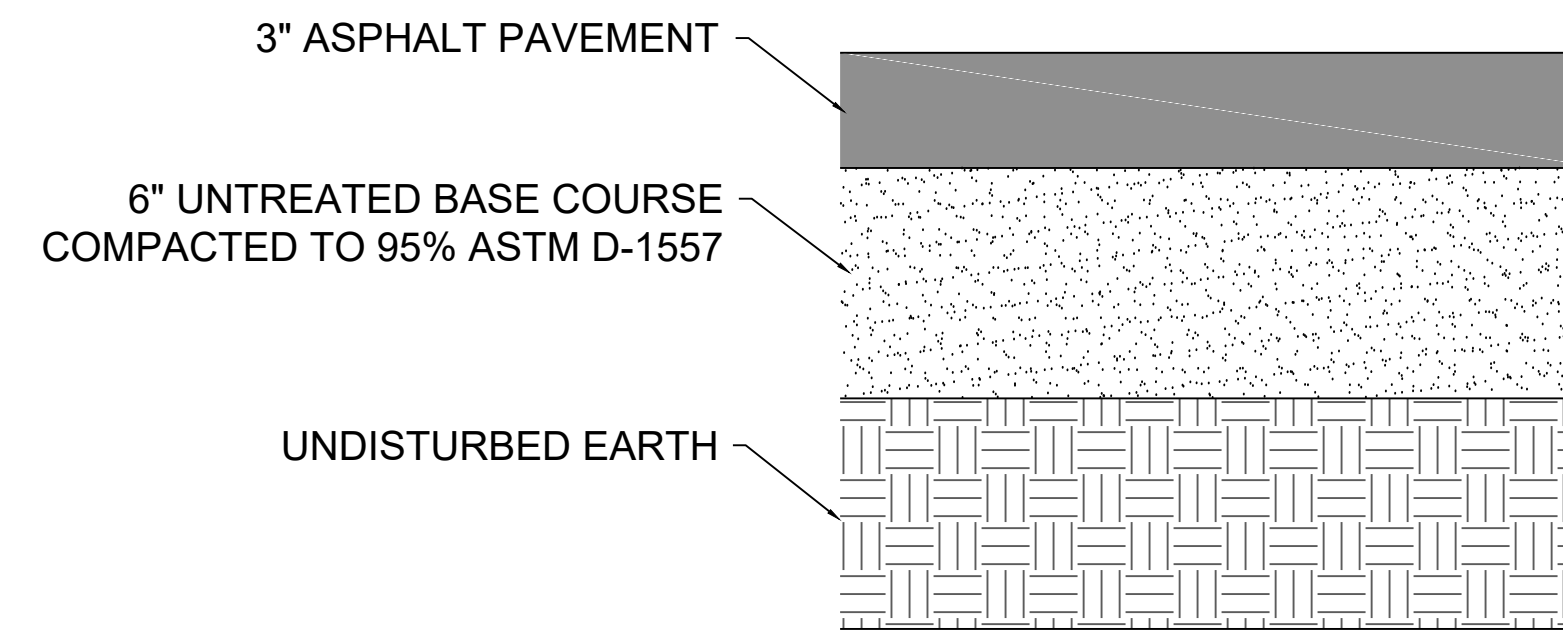
NOTE:
 * CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA PLAN NO. 205
 * CONCRETE AREA = 1.698 SQ. FT.

1 30" COLLECTION CURB AND GUTTER
 SCALE: NONE

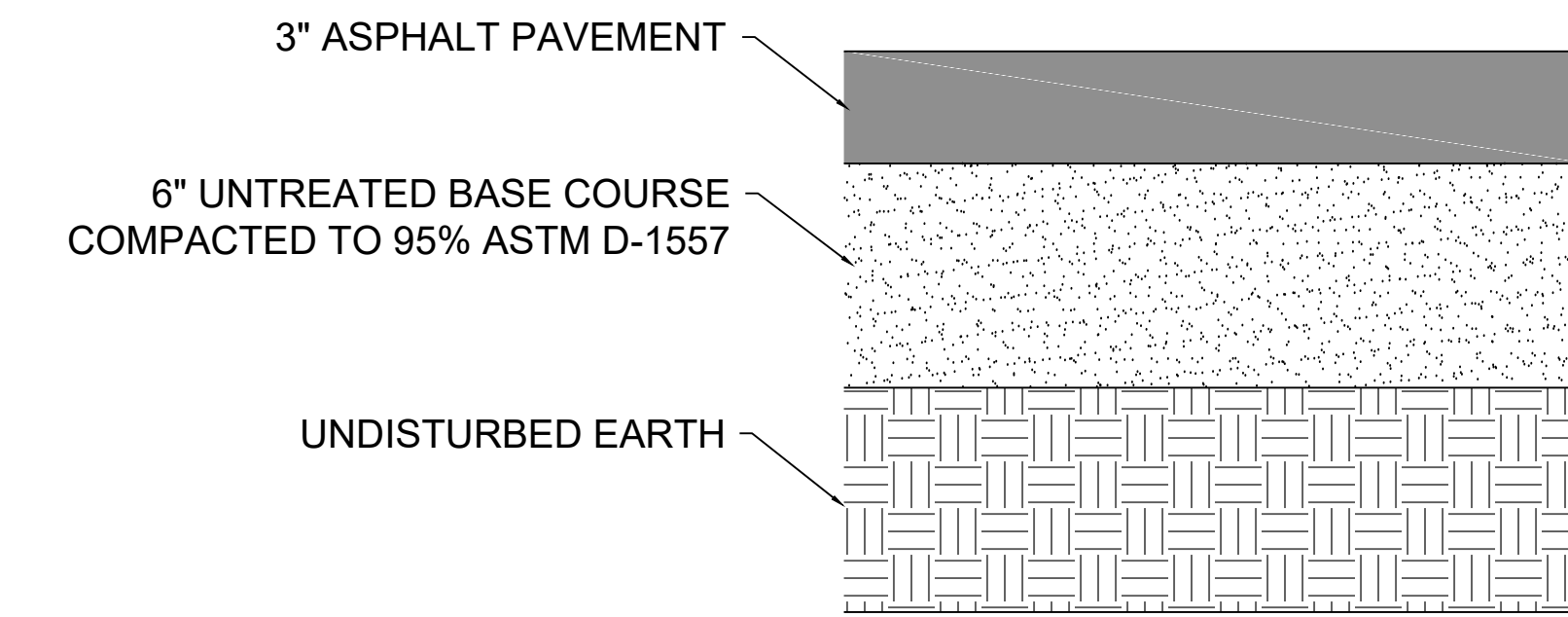


NOTE:
 * CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA PLAN NO. 205
 * CONCRETE AREA = 1.698 SQ. FT.

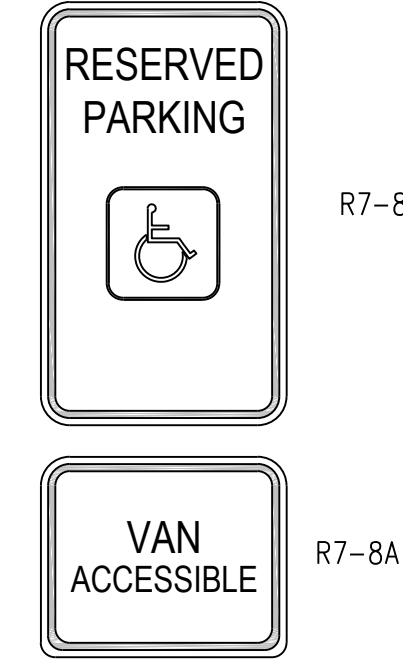
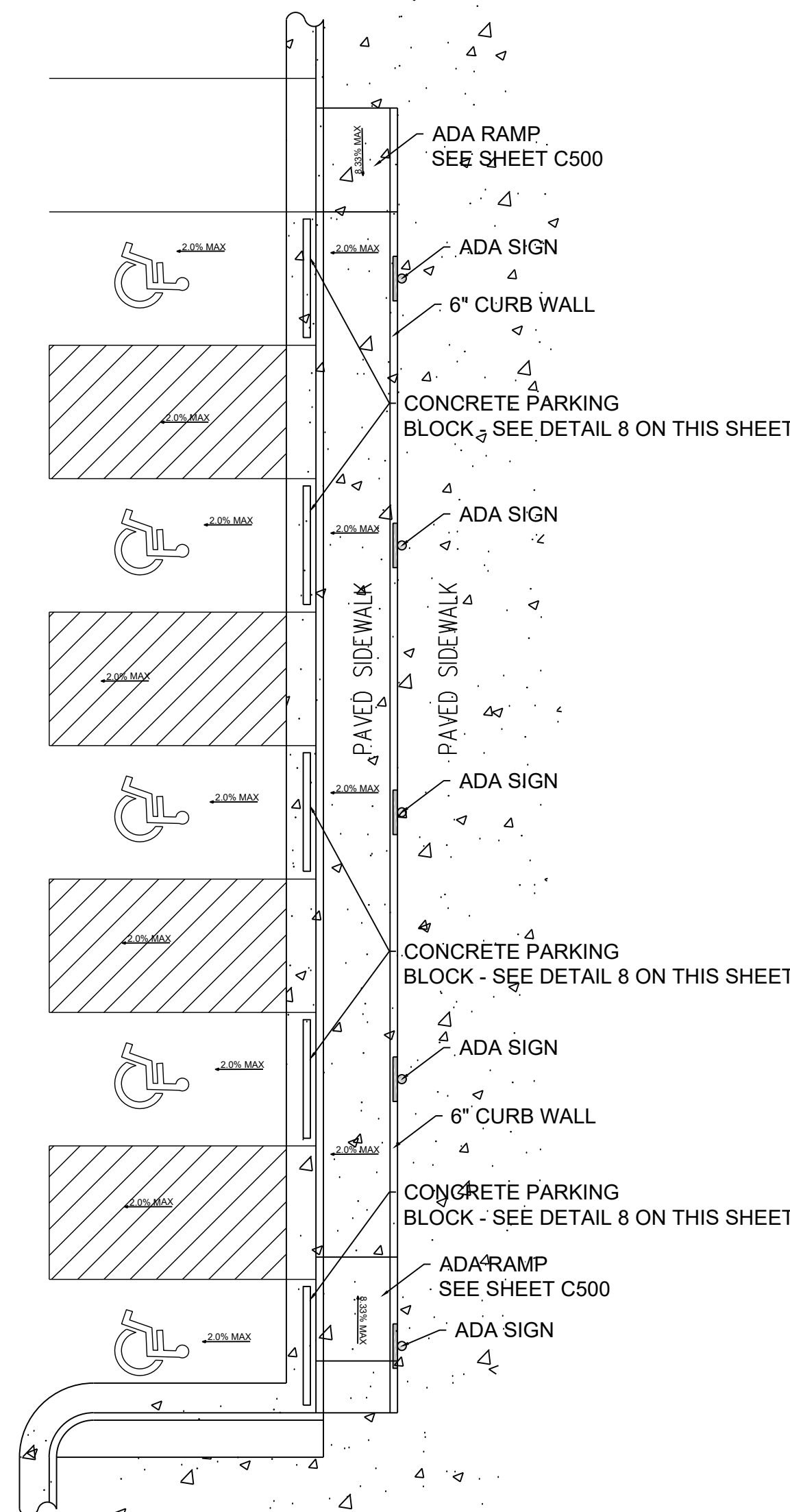
2 30" REVERSE PAN CURB AND GUTTER
 SCALE: NONE



3 PAVEMENT SECTION
 SCALE: NONE



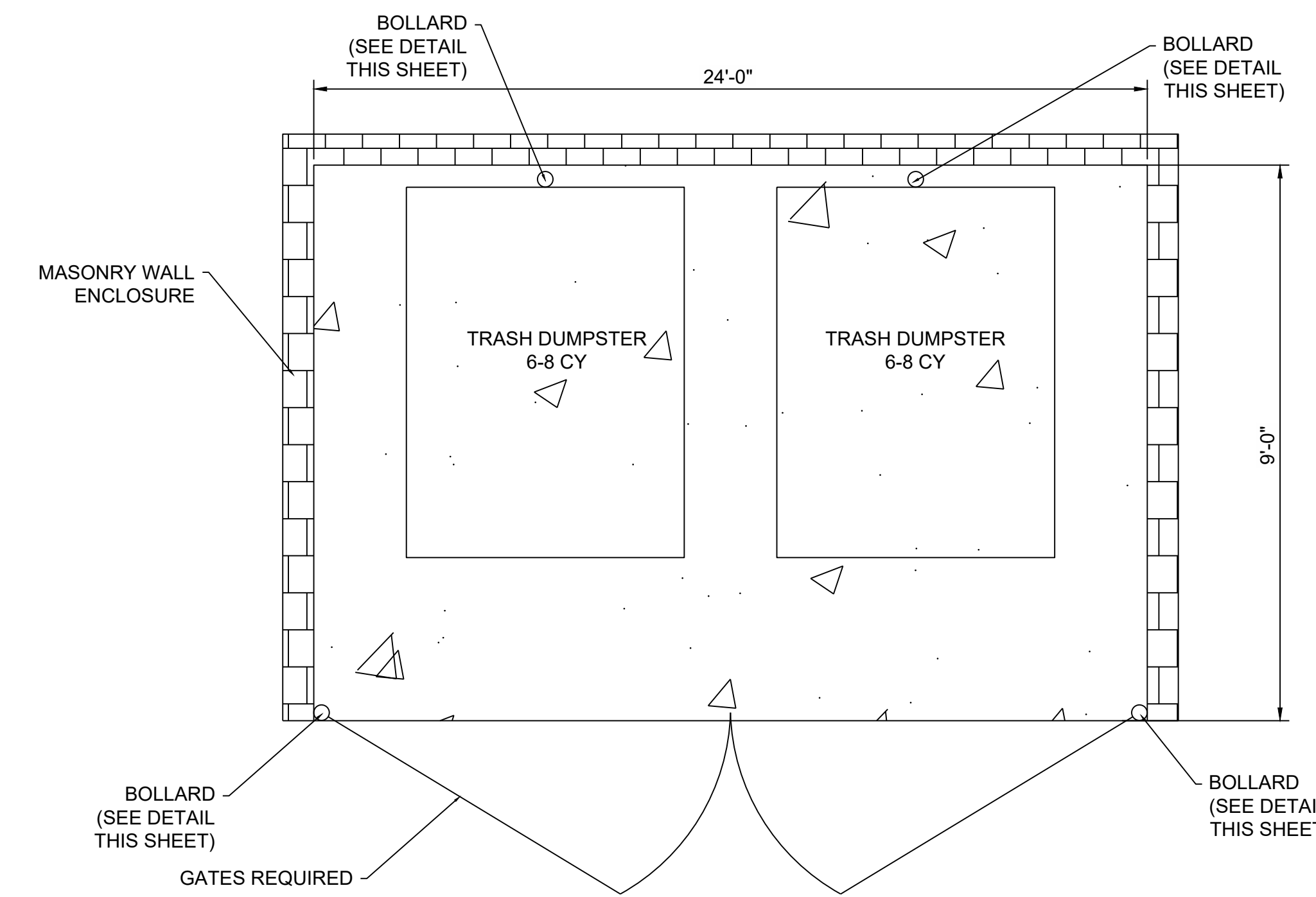
4 CONCRETE SECTION
 SCALE: NONE



- NOTES:
1. THE REGION TRAFFIC ENGINEER DETERMINES THE NUMBER AND LOCATIONS OF CROSSWALKS AT AN INTERSECTION.
 2. THE REGION TRAFFIC ENGINEER DETERMINES WHEN TO USE THE "SPECIAL EMPHASIS" CROSSWALK.
 3. PLACE THE STOP OR YIELD LINE AT DESIRED STOPPING POINT WHEN THERE IS NOT A CROSSWALK.
 4. USE A WEDGE STOP OR YIELD LINE ONLY WHEN APPROVED BY THE REGION TRAFFIC ENGINEER.
 5. ESTABLISH A "NO PARKING" ZONE 30' PRIOR TO FLASHING SIGNAL, STOP SIGN, YIELD SIGN, OR TRAFFIC CONTROL SIGNAL PLACED ON THE SIDE OF ROADWAY.
 6. RED CURB MARKING IS OPTIONAL FOR "NO PARKING" ZONE.
 7. PROVIDE RESERVED PARKING SIGNING (R7-8) FOR ACCESSIBLE PARKING SPACES. INCLUDE "VAN ACCESSIBLE" PLaque (R7-8A) FOR VAN PARKING SPACES.
 8. BLEND ACCESSIBLE WITH PAVED SIDEWALK OR PEDESTRIAN RAMP FOR SMOOTH ELEVATION TRANSITION.
 9. MARKING SPACING ARE TYPICAL FOR STOP OR SIGNAL CONTROL. USE SIMILAR DISTANCES AND APPROPRIATE MARKINGS FOR YIELD CONTROL.

* BOTTOM OF SIGN TO BE INSTALLED ON POST AT 60" ABOVE GROUND
 ** SEE NOTE 7

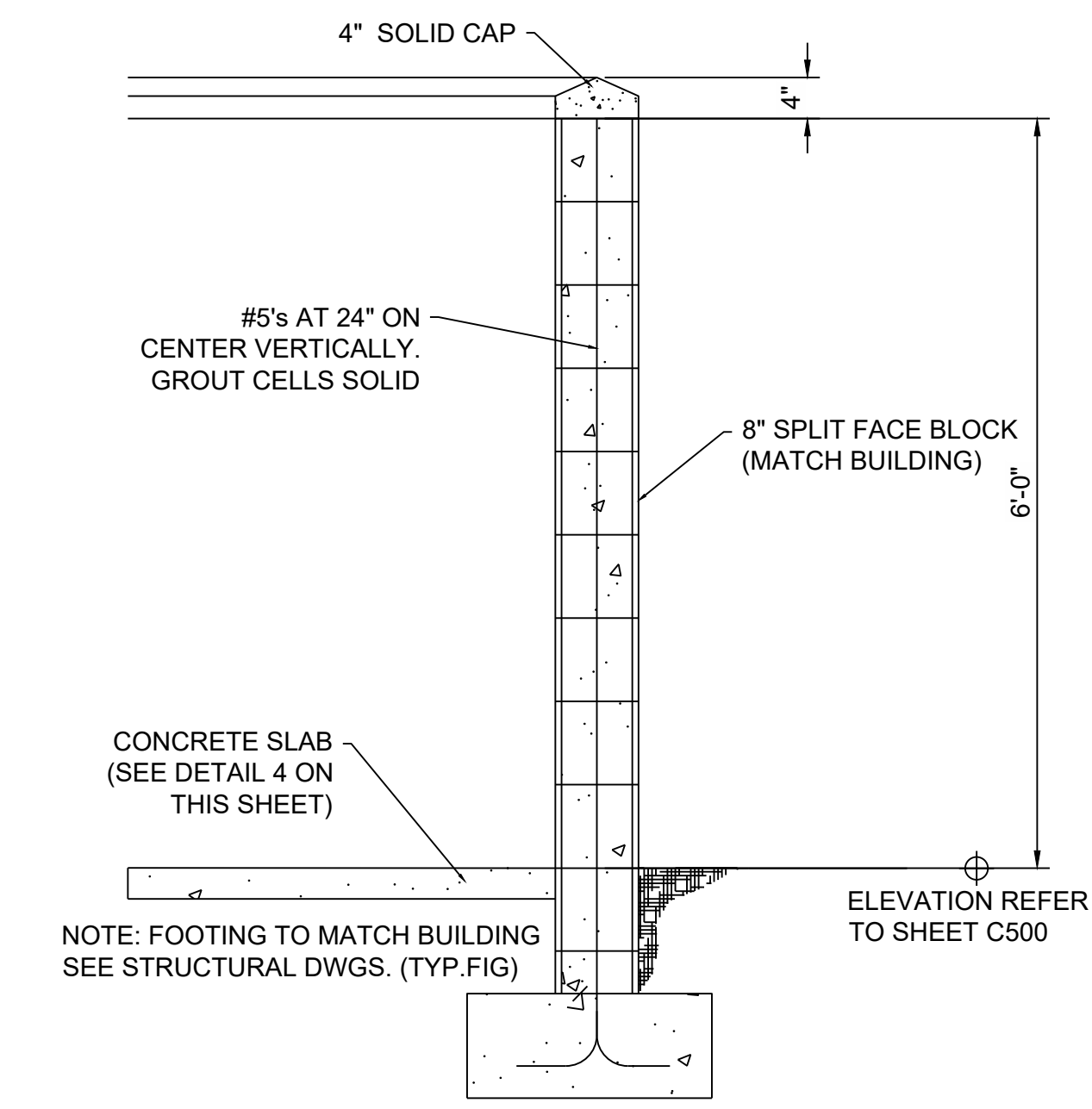
5 ADA PARKING & SIGNAGE
 SCALE: NONE



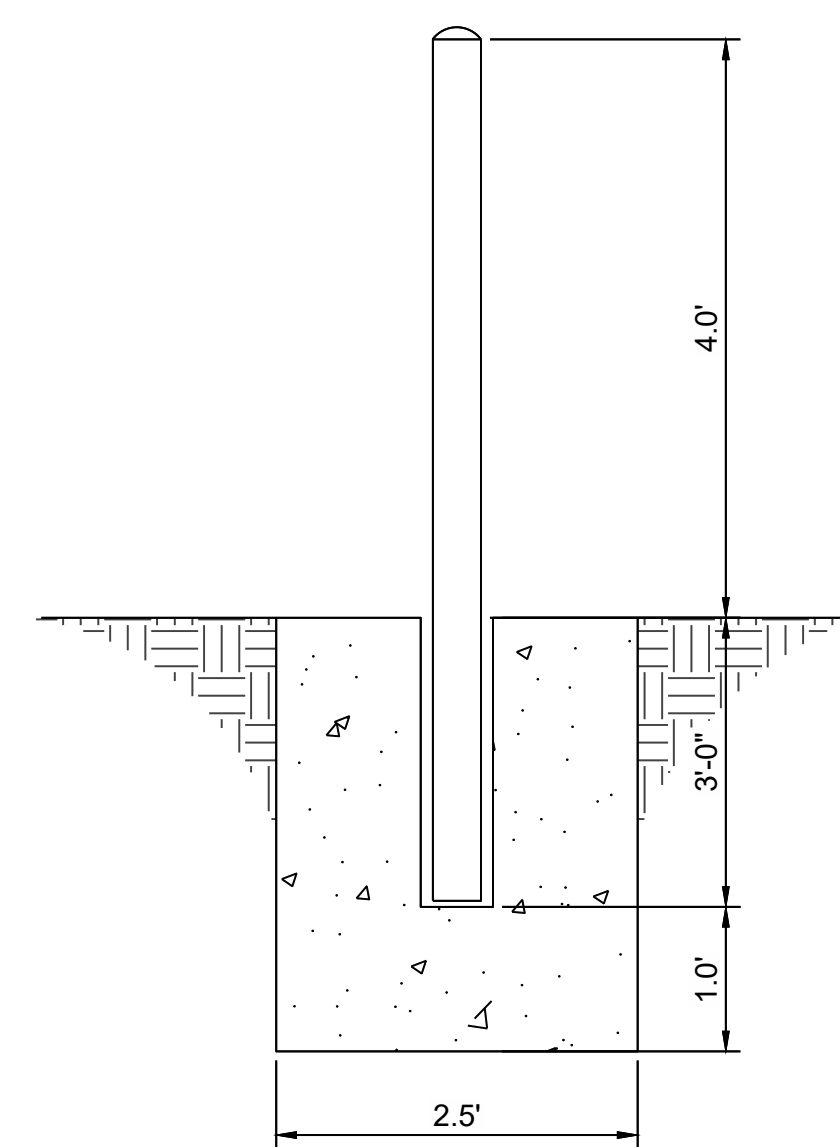
NOTE: BOLLARDS BEHIND THE DUMPSTERS SHALL BE 6'-0" TALL ABOVE THE PAVEMENT SURFACE AND EXTEND 3'-0" INTO THE GROUND

DUMPSTER PLAN

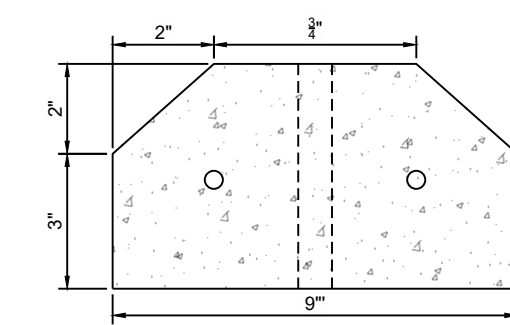
6 DUMPSTER DETAILS
 SCALE: NONE



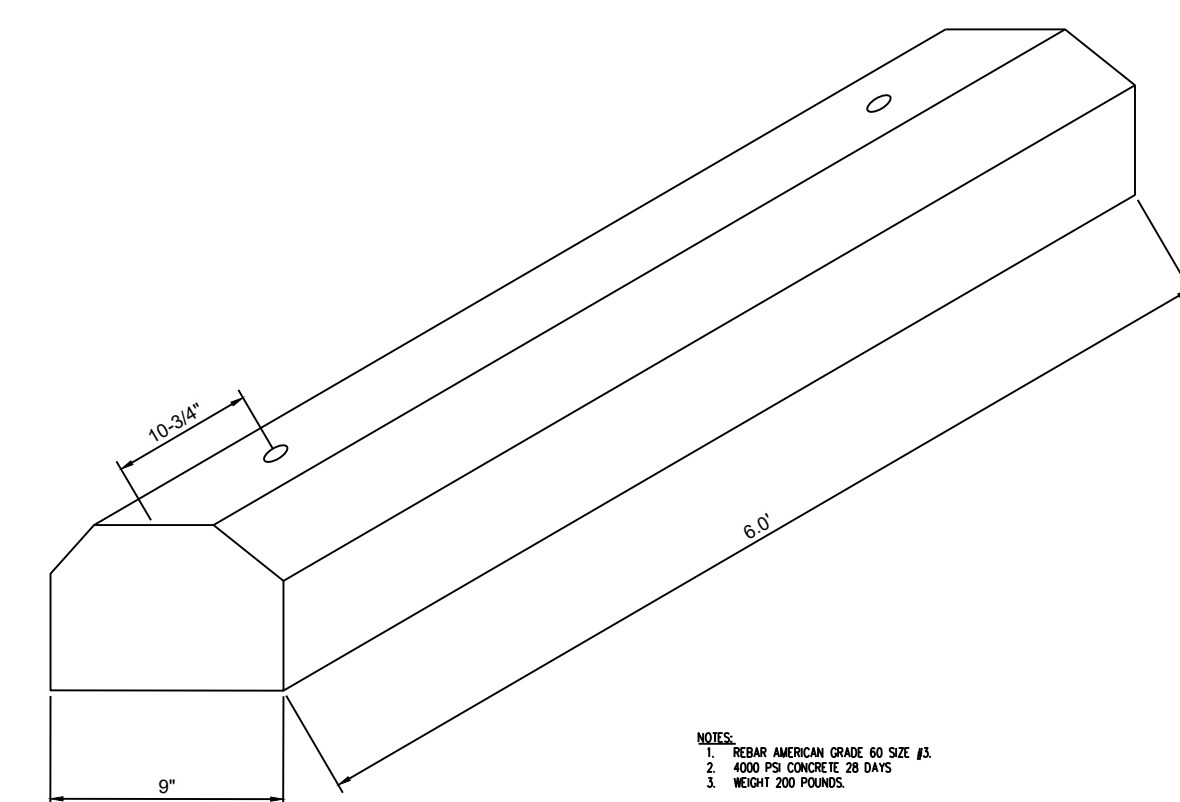
WALL PROFILE



7 BOLLARD
 SCALE: NONE



SECTION VIEW



8 PARKING BLOCK
 SCALE: NONE

NO.	REVISIONS	DATE	BY

ROWLEY'S RED BARN 901 SOUTH 300 WEST SALT LAKE CITY, UTAH 84655 SCOTT ROWLEY, P.E.	CHECKED BY: IJR DESIGNED BY: IJR DATE: 1/19/2023 SCALE: 1"=50'
---	---

WALL CONSULTANT GROUP 2139 SOUTH 1260 WEST SALT LAKE CITY, UT 84119 PHONE: 801-448-1173	APPROVED  PROFESSIONAL ENGINEER
--	--

ROWLEY'S RED BARN PROJECT NUMBER WCG# 22-225	DETAILS
SHEET NO. C700	13

GENERAL

- 1. Changes to these contract drawings may be made only by an authorized representative of the engineer or architect. The architect or engineer shall not be held responsible or liable for any claims arising directly or indirectly from changes made without written authorization by an authorized representative.

EARTHWORK

- 1. Clearing, removal of existing structures and associated foundations, walls, fences, asphalt, concrete, and incidental structures as necessary for project construction. The entire building area, including 3 feet beyond the building footprint, shall be cleared to the depth necessary for excavation to remove all vegetation, topsoil, loose/unstable surface soils, debris, and any other obstructions.

FOUNDATION

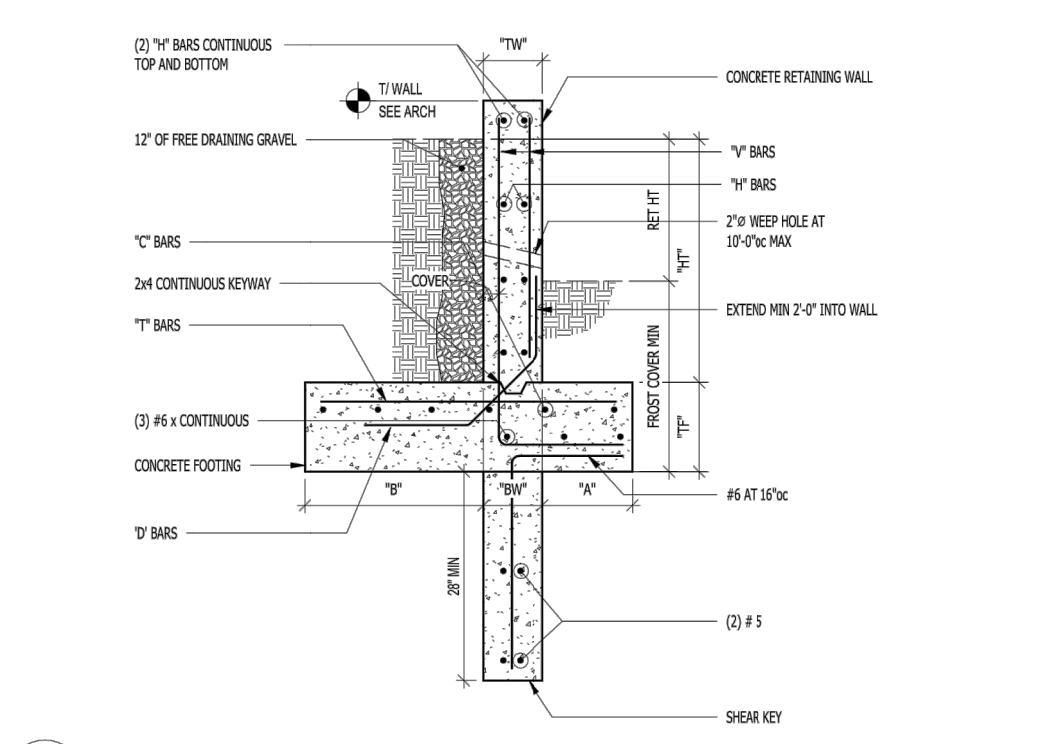
- 1. Soils Report by: AGC - Applied Geotech July 15, 2012
- 2. Soil Bearing Pressure: 2000 psf (Compacted Fill, 30 inches minimum)

CONCRETE

- 1. Materials unless noted otherwise: Normal Weight Aggregate (No. 57, Class II Proportion) ASTM C 883 Gravel (60 to 425) ASTM C 33 Sand (No. 20) ASTM C 1185 Concrete (Type II) ASTM C 1108 (Normal Weight) Concrete (Type I) ASTM C 1108 (High Strength) Concrete (Type III)

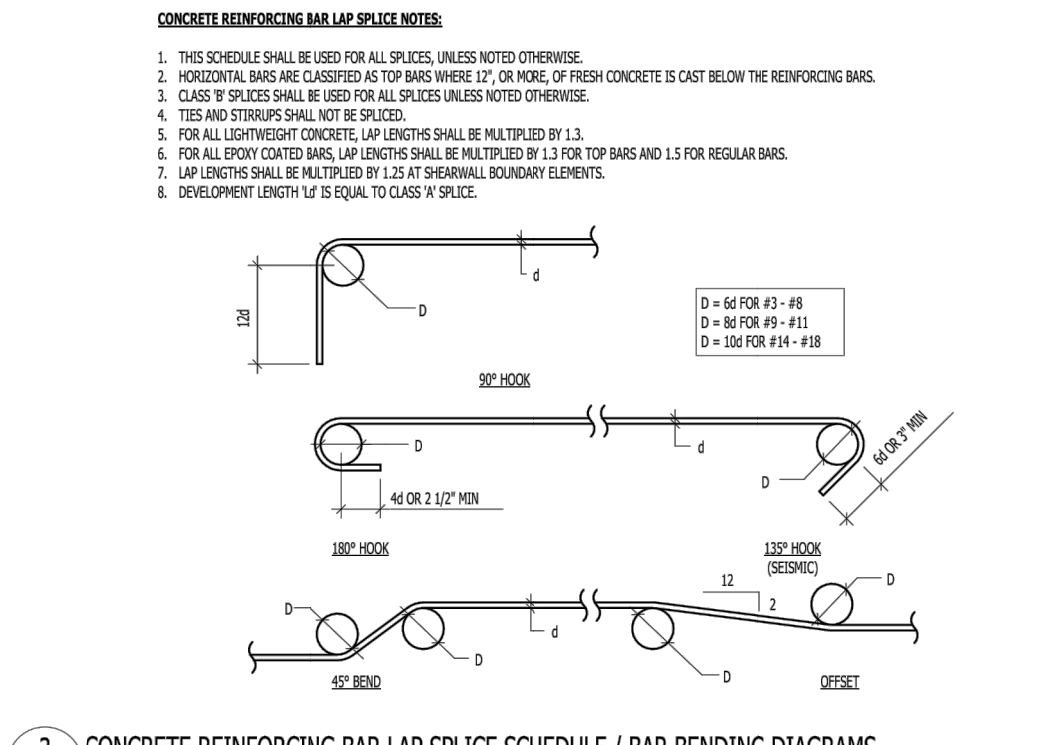
CONCRETE RETAINING WALL SCHEDULE

Table with columns: WALL, HEIGHT, TYPE, CLASS, THICKNESS, FINISH, FOOTING, FOOTING THICKNESS, FOOTING CLASS. Includes notes on rebar placement and footing details.



CONCRETE RETAINING WALL SCHEDULE

Table with columns: BAR, REGULAR, TOP, REGULAR, TOP, REGULAR, TOP, REGULAR, TOP, REGULAR, TOP. Includes notes on bar placement and development length.



CONCRETE RETAINING WALL SCHEDULE / BAR BENDING DIAGRAMS

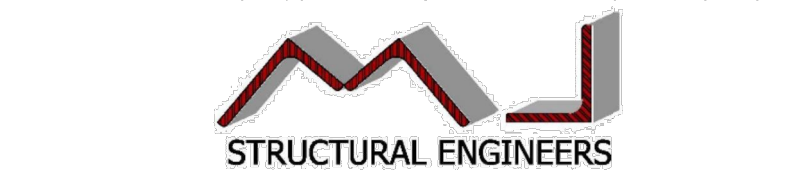
STRUCTURAL ENGINEERS 5673 S Redwood Rd Salt Lake City, UT 84123 Office: 801-965-1097 mjb@structuralengineers.com

OWNER PROJECT DATA Rowley's Red Barn Retaining Wall 901 S 300 W Santaquin, UT 84655

ISSUE DATE: 2/27/2023 ISSUE TYPE: PERMIT SET DRAWN BY: JG DESIGNED BY: MJ CHECKED BY: MJ

ISSUE DATE: 2/27/2023 ISSUE TYPE: PERMIT SET DRAWN BY: JG DESIGNED BY: MJ CHECKED BY: MJ

S101

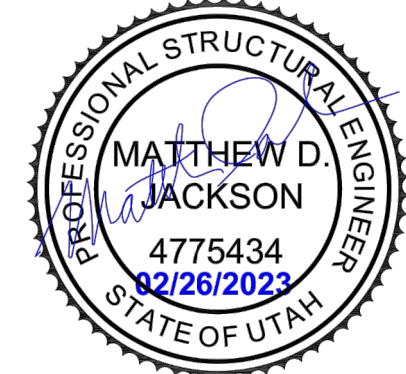


STRUCTURAL CALCULATIONS

MISE Project# 23201

Rowleys Red Barn Retaining Wall

901 S 300 W Santaquin City, UT 84655



PREPARED FOR:

Layton Davis Architects Michael Burton 2005 E 2700 S, Suite 200 Salt Lake City, UT 84109

February 26, 2023

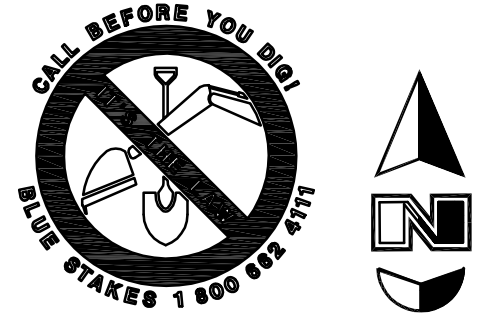
Retaining Wall Design Based on ACI 318-14. INPUT DATA & DESIGN SUMMARY. CONCRETE STRENGTH: f'c = 3 ksi, fy = 60 ksi. REBAR YIELD STRESS = 60 ksi. LATERAL SOIL PRESSURE = 50 psf. PASSIVE PRESSURE = 250 psf/ft. ANALYSIS: Service loads, factored loads, resisting moment, overturning factor of safety = 1.13.

CHECK SOIL BEARING CAPACITY (ACI 318 13.3.1.1). L = Lt + lb + Lh = 13.33 ft. q_max = 1.40 ksf < q_u. CHECK FLEXURE CAPACITY, A_s1 & A_s2. M_u = 0.00 ft-kips. CHECK SHEAR CAPACITY FOR STEM (ACI 318 13.2.7.2 & 22.5). V_u = 0.00 kips. CHECK HEEL FLEXURE CAPACITY, A_s3, FOR FOOTING (ACI 318 13.2.7.1, 21, & 22). rho_max = 0.015, rho_min = 0.001.

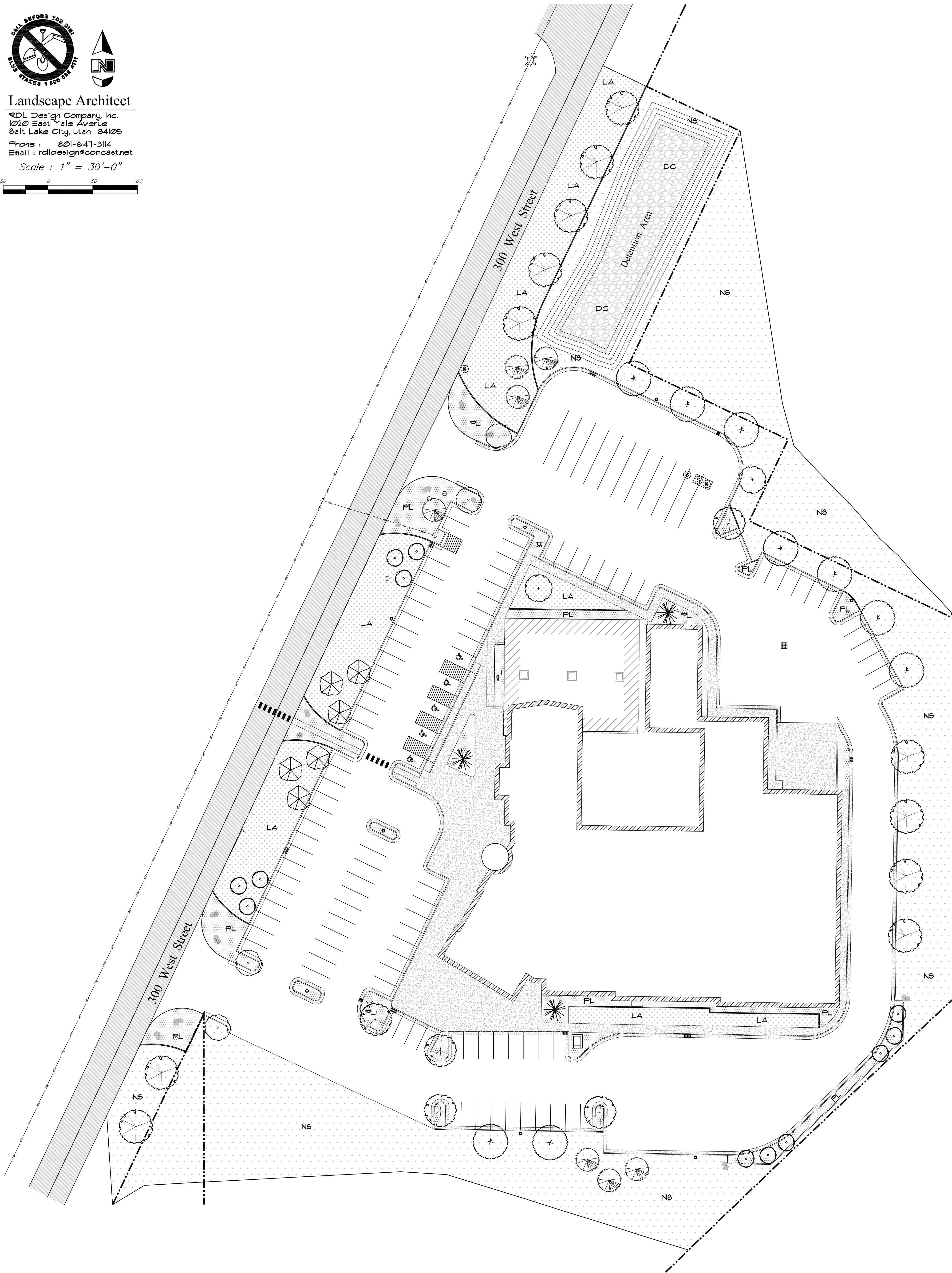
0.85f'c * (1 - sqrt(1 - M_u3 / (0.383bd^2f'c))) / fy = 0.002. CHECK TOE FLEXURE CAPACITY, A_s4, FOR FOOTING (ACI 318 13.2.7.1, 21, & 22). rho_max = 0.015, rho_min = 0.001. CHECK SLIDING CAPACITY (2015 IBC 1807.2.3). 1.5(Hb + Hs) = 9.54 kips < Hb + mu*Sigma W = 9.65 kips [Satisfactory]

Table with columns: NO., DATE, BY, REMARKS. Includes project information: ROWLEY'S RED BARN, 901 SOUTH 300 WEST, SANTAQUIN CITY, UTAH 84655. SHEET NO. C801.

WALL CONSULTANT GROUP 2139 SOUTH 1260 WEST SALT LAKE CITY, UT 84119 PHONE: 801-448-1173. PROJECT: ROWLEY'S RED BARN. PROJECT NUMBER: WCG# 22-225. STRUCTURAL DETAILS. SHEET NO. C801.



Landscape Architect
 RDL Design Company, Inc.
 1020 East Yale Avenue
 Salt Lake City, Utah 84105
 Phone : 201-641-3114
 Email : rdl@comcast.net
 Scale : 1" = 30'-0"



Suggested Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
NA	(Symbol)	Acer truncatum 'Pacific Sunset'	Pacific Sunset Maple	2" Cal. Min. 10'-12" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Cercis canadensis	Eastern Redbud	2" Cal. Min. 8'-10" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Crataegus lavelli	Lavalle Hawthorn	2" Cal. Min. 8'-10" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal. Min. 8'-10" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Picea pungens	Colorado Spruce	10'-12" Ht.	Uniform Shape Specimen
NA	(Symbol)	Prunus virginiana 'Canada Red'	Canadian Red Cherry	2" Cal. Min. 8'-10" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Cal. Min. 8'-10" Ht.	Matched Heads Straight Trunks
NA	(Symbol)	Zelcova serrata 'Village Green'	Village Green Zelcova	2" Cal. Min. 10'-12" Ht.	Matched Heads Straight Trunks

Suggested Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
NA	(Symbol)	Buxus japonica 'Julia Jane'	Julia Jane Boxwood	5" Container 18"-24" Height	
NA	(Symbol)	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5" Container 18"-24" Height	
NA	(Symbol)	Euonymus alatus 'Compacta'	Dwarf Burning Bush	5" Container 18"-24" Height	
NA	(Symbol)	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5" Container 18"-24" Height	
NA	(Symbol)	Physocarpus op. 'Summer Wine'	Summer Wine Ninebark	5" Container 18"-24" Height	
NA	(Symbol)	Pinus mugo 'Bloumound'	Bloumound Mugo Pine	5" Container 15"-18" Spread	
NA	(Symbol)	Potentilla fruticosa	Shrubby Cinquefoil	5" Container 15"-18" Height	
NA	(Symbol)	Rhus aromatica 'Grow Low'	Grow Low Sumac	5" Container 15"-18" Height	
NA	(Symbol)	Rosa sp. 'Knock Out'	Knock Out Rose	5" Container 18"-24" Spread	
NA	(Symbol)	Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5" Container 15"-18" Height	
NA	(Symbol)	Yucca filamentosa 'Color Guard'	Color Guard Yucca	5" Container 15"-18" Height	

Suggested Plant List (ORNAMENTAL GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
NA	(Symbol)	Calamagrostis a. 'Avalanche'	Avalanche Feather Grass	5" Container 18"-24" Height	
NA	(Symbol)	Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	5" Container 24"-30" Height	
NA	(Symbol)	Helleotrichon sempervirens	Blue Oat Grass	5" Container 12"-15" Height	
NA	(Symbol)	Fanicum virgatum 'Shenandoah'	Shenandoah Switch Grass	5" Container 18"-24" Height	
NA	(Symbol)	Pennisetum apol. 'Hainsi'	Hainsi Dwarf Fountain Grass	5" Container 12"-15" Height	

Suggested Plant List (PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
NA	(Symbol)	Achillea 'Summer Pastels'	Summer Pastels Yarrow	5" Container 12" Ht. Full Can	
NA	(Symbol)	Echinacea purpurea	Purple Coneflower	5" Container 12" Ht. Full Can	
NA	(Symbol)	Heimerocallis sp. 'Stella d'Oro'	Stella d'Oro Day Lily	5" Container 12" Ht. Full Can	
NA	(Symbol)	Iris pallida 'Variegata'	Sweet Iris	5" Container 12" Ht. Full Can	
NA	(Symbol)	Lavandula sp. 'Hidcote'	Hidcote Lavender	5" Container 12" Ht. Full Can	
NA	(Symbol)	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	5" Container 12" Ht. Full Can	
NA	(Symbol)	Salvia 'May Night'	May Night Garden Sage	5" Container 12" Ht. Full Can	

Planting Notes

- All lawn areas shall receive a 4 inch depth of topsoil, planting areas an 8 inch depth. If topsoil material is not available at the site, it must be imported from an approved local source. All topsoil material shall be of a sandy loam mix.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
- All trees shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter bark mulch ring. All trees shall be staked for wind protection, unless otherwise indicated.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over Daultt Pro-5 used barrier fabric.
- In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stones.
- Landscape maintenance shall be required for a period of 30 days minimum following the date of project acceptance, and shall include weeding, pruning, and one herbicide and plant fertilizer application.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.

General Notes

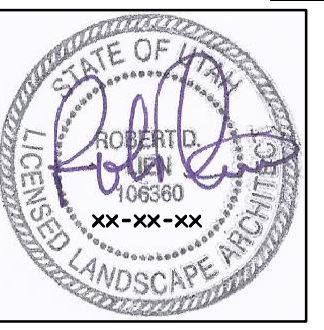
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate their work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below the top of all surrounding walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- The contractor shall plant all plants per the planting details, stakes/guy as shown. The top of root balls shall be planted flush with finish grade.
- The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walks, etc.
- The contractor shall maintain all work until all work is complete and accepted by the Owner. Maintenance shall include weeding, pruning, trimming, fertilizing, cleaning, insecticides, herbicides, and all other items necessary for a complete service of the project.

Sub-Grade Requirements

- LAWN AREAS** : Six (6) inches below finish grade. This will allow for the installation of a 4 inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
- SHRUB AREAS** : Twelve (12) inches below finish grade. This will allow for the installation of an 8 inch depth of import topsoil along with a four inch depth of shredded bark mulch or decorative stone, leaving it slightly below finish grade and concrete areas.
- ROCK ONLY AREAS** : Four (4) inches below finish grade. This will allow for the installation of a 4 inch depth of decorative stone over the used barrier fabric, leaving it slightly below finish grade and concrete areas.

Legend

Symbol	Description	Remarks
(Symbol)	4" x 6" Extruded Concrete Mow-strip / Natural Color & Finish	Install in True Lines, Flush To All Concrete Edges And Between All Lawn And Planting Areas. Compact Sub-grade To 95%.
(Symbol)	Decorative Boulder / Blockish Grapes / Brown Canyon Spruce	Individually Placed Boulders / 36"-48" Diameter Minimum / Bury 1/4 Of Boulder Into Soil - Best Visual Site Up.
FL	Planting Area / Mixed Shrubs, Ornamental Grasses & Perennials	Provide Specified Plant Materials Over An 8" Depth Of Topsoil, Along With A 4" Depth Of Bark Mulch Or Decorative Stone.
DC	Decorative Cobble / 4"-6" Depth In Detention Area	Provide Specified Material To A 4"-6" Depth & Over "Daultt" Pro-5 Used Barrier Fabric (Or Equal).
LA	Lawn (Sod) Area / Provide Drought Tolerant Mixture	Provide Specified Material Over A 4" Depth Of Topsoil, Rough & Fine Graded To A Smooth Surface.
NS	Native Seed Area / Provide For All Re-vegetation Grading	Provide Specified Material Over A 4" Depth Of Topsoil, Graded To An Acceptable Surface. Use One-Step Hydroseed Method.



PRINTED DATE
03-09-2023

LAYTON DAVIS ARCHITECTS

1 Suite 200
2005 East 2700 South
Salt Lake City, Utah 84109
P: 801.487.0715 | www.laytondavisarchitects.com

ROWLEY'S RED BARN EXPANSION

901 South 300 West
Santaquin, Utah. 84655

CHRONOLOGY

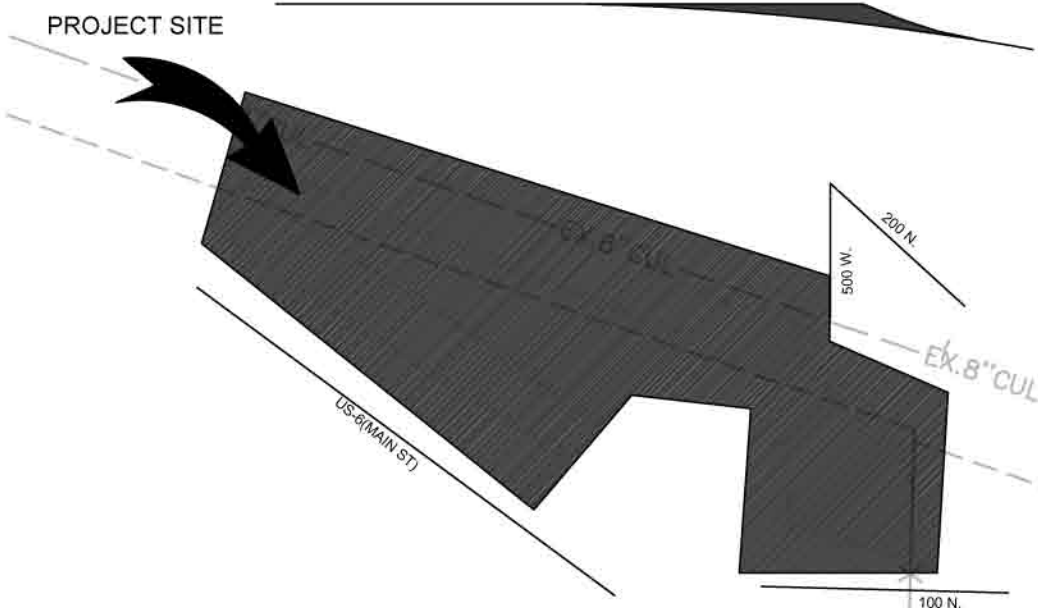
PROJECT NO.
21.010

DWN BY / CHK BY
RDL / RDL

TITLE
Landscape
Plan

L101

VICINITY MAP



PLANT LEGEND

CODE	QTY	BOTANICAL / COMMON NAME	CONT
CLP	100	Cotoneaster lucida Peking Cotoneaster	5 gal
FXS	421	Forsythia x 'NIMBUS' TM Show Off Sugar Baby Dwarf Forsythia	5 gal
HTL	106	Hydrangea paniculata 'Jane' TM Little Lime Hydrangea	5 gal
PHP	331	Prunus besseyi 'P011S' TM Pawnee Butter Sand Cherry	5 gal
GRASSES			
CODE	QTY	BOTANICAL / COMMON NAME	CONT
BCB	519	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Blue Grama	1 gal
CAK	486	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal
PVS	421	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass	1 gal
PERENNIALS			
CODE	QTY	BOTANICAL / COMMON NAME	CONT
EPD	135	Echinacea x 'Purple Emperor' Purple Emperor Coneflower	1 gal
ROSES			
CODE	QTY	BOTANICAL / COMMON NAME	CONT
RN7	487	Rosa x 'Nuestance' TM Flower Carpet White Groundcover Rose	5 gal

PLANT LEGEND

CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CONIFERS					
PN'A	148	Pinus nigra 'Arnold Sentinel' Arnold Sentinel Austrian Pine	B & B		6'
DECIDUOUS TREES					
AG'A	51	Amelanchier x grandiflora 'Autumn Brilliance' Autumn Brilliance Serviceberry	B & B		Multi-trunked
OC'T	10	Cercis canadensis 'Forest Pansy' Forest Pansy Eastern Redbud	B & B		
MFS	84	Malus x 'Raspberry Spear' Raspberry Spear Crabapple	B & B		2" Cal
TCG	81	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden	B & B		2" Cal
DECIDUOUS SHRUBS					
BTM	166	Berberis thunbergii 'Maria' TM Sunjoy Gold Pillar Barberry	5 gal		
BTO	305	Berberis thunbergii 'Orange Torch' Orange Torch Barberry	2 gal		

SITE MATERIALS LEGEND

	L-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% BLUESTAR KENTUCKY BLUEGRASS, 19% MARQUIS KENTUCKY BLUEGRASS, 17% NEWPORT KENTUCKY BLUEGRASS, 17% TOUCHDOWN KENTUCKY BLUEGRASS, 16% APM PERENNIAL RYEGRASS, 13% ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINI: LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED LAWN. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND CLEAR DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT (4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH. NO SHREDDED FINIS. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	22,457 sf
	L-10	1" MINUS TAN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE. ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 50Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	61,212 sf
	L-11	1" MINUS GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE. ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 50Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	29,215 sf
	L-14	2-4" TAN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE. ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 50Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	24,592 sf
	L-15	2-4" GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE. ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT, BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 50Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING AND AFTER APPLYING MULCH. THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	36,627 sf
	L-20	5" DEEP STEEL EDGING - INSTALL PER MANUFACTURER SPECIFICATION.	2,534 lf
	L-30	PLAYGROUND SURFACE. SOFT FALL ENGINEERED WOOD FIBER. INSTALL AS PER MANUFACTURERS SPECIFICATIONS.	192.09 sq



ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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3/16/2023 UT23029

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC
1-800-662-4111
www.bluestakes.org

NO. REVISION DATE
1 XXXX XX-XX-XX
2
3
4
5
6
7

GRAPHIC SCALE: 1" = 80'

SILVER OAKS
SANTAQUIN, UTAH

ATLAS ENGINEERING
A/E: ANDREW DELPIVO
801-655-0566
A@ATLASENGINEERING

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PKJ DESIGN GROUP

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PKJ DESIGN GROUP
Landscape Architecture & Planning & Visualization

3450 N. TRIUMPH BLVD, SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

COLOR ILLUSTRATION
PERMIT SET

LP-COLOR

JTA
ACP
JMA
3/16/2023

BOUNDARY DESCRIPTION:

BEGINNING AT THE NORTHWEST CORNER OF RANDOLPH'S ACRE SUBDIVISION PLAT "A", WHICH POINT LIES N89°45'12"E 188.78 FEET ALONG THE SECTION LINE AND SOUTH 1184.54 FEET FROM THE NORTH 1/4 CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE BOUNDARY OF SAID SUBDIVISION THE FOLLOWING (7) COURSES TO WIT: (1) S30°00'00"W 52.67 FEET, (2) N72°00'00"W 13.88 FEET, (3) SOUTHWESTERLY 59.34 FEET ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 68°00'04", THE CHORD BEARS S74°00'00"W 55.92 FEET, (4) S40°00'00"W 44.97 FEET, (5) N70°00'00"W 12.79 FEET, (6) S00°58'08"E 87.85 FEET, (7) S67°30'00"E 237.34 FEET; THENCE S03°23'14"W 410.46 FEET; THENCE N88°06'09"W 244.70 FEET; THENCE SOUTH 64.91 FEET; THENCE N84°57'48"W 95.86 FEET; THENCE N00°30'26"E 52.56 FEET; THENCE N89°59'42"W 109.93 FEET; THENCE N04°11'33"E 387.92 FEET; THENCE N85°48'27"W 282.01 FEET; THENCE S38°59'57"W 335.51 FEET TO THE NORTHERLY LINE OF U.S. HIGHWAY 6; THENCE ALONG HIGHWAY 6 THE FOLLOWING (4) COURSES TO WIT: (1) N55°00'24"W 73.99 FEET, (2) N51°05'26"W 333.63 FEET, (3) N51°29'54"W 480.77 FEET, (4) N49°41'03"W 63.18 FEET; THENCE N14°06'45"E 355.65 FEET; THENCE S71°45'22"E 472.28 FEET ALONG THE REMNANTS OF AN OLD FENCE; THENCE S01°20'49"W 4.13 FEET; THENCE S71°10'53"E 115.14 FEET; THENCE S00°01'23"W 11.74 FEET; THENCE S70°28'44"E 150.20 FEET; THENCE N04°00'00"W 21.60 FEET; THENCE S70°45'00"E 39.68 FEET; THENCE NORTH 23.23 FEET; THENCE S70°47'24"E 332.91 FEET ALONG AN EXISTING BOUNDARY LINE AGREEMENT (ENTRY No. 36074:1986); THENCE S69°30'48"E 245.96 FEET CONTINUING ALONG SAID BOUNDARY LINE AGREEMENT; THENCE SOUTH 27.27 FEET; THENCE S70°45'01"E 46.53 FEET; THENCE N00°21'44"E 34.04 FEET; THENCE N00°09'44"W 162.79 FEET TO THE SOUTH LINE OF LARK STREET; THENCE S50°42'27"E 240.06 FEET ALONG SAID STREET TO THE POINT OF BEGINNING. CONTAINING 20.50 ACRES.

SILVER OAKS

SITE PLAN

SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY PLAN SET

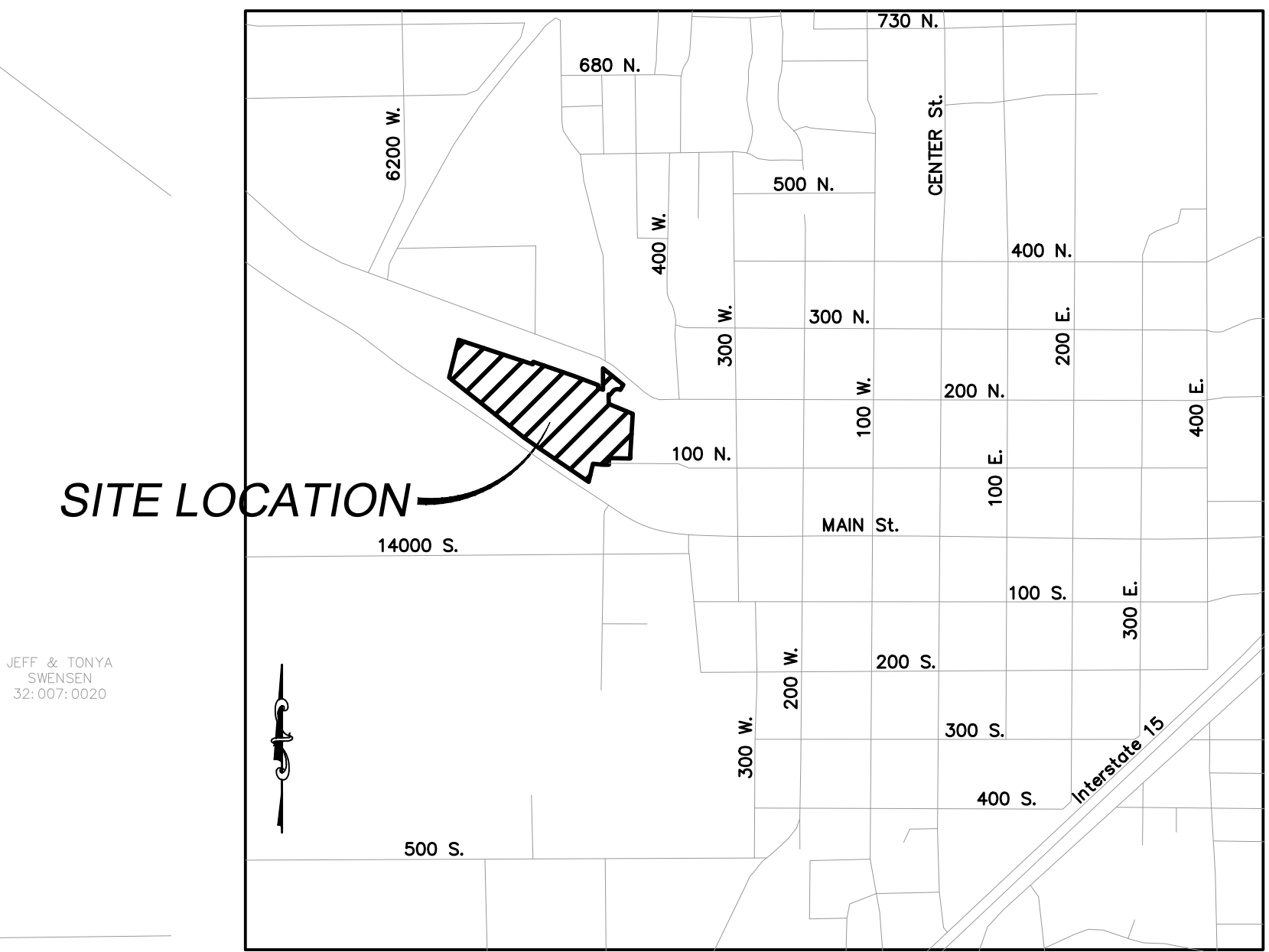
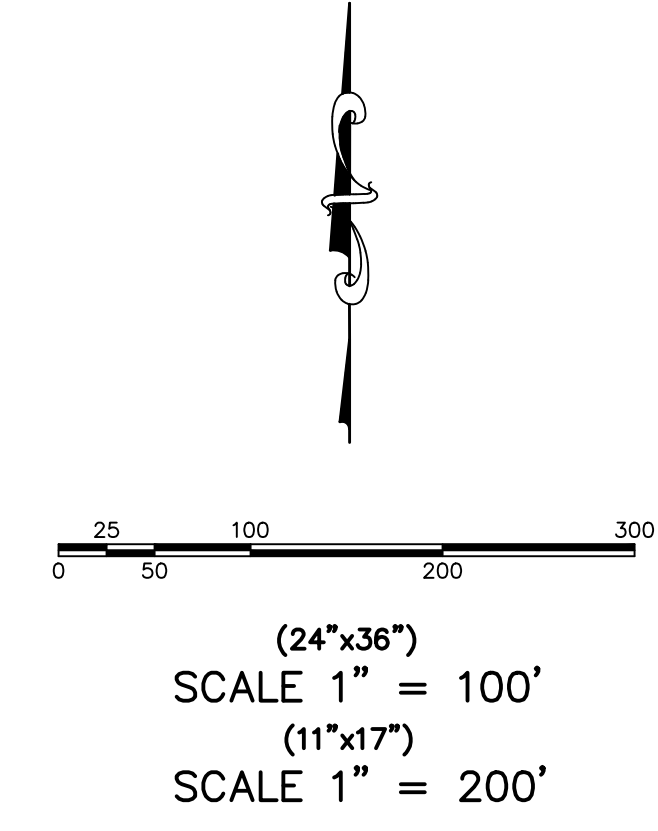
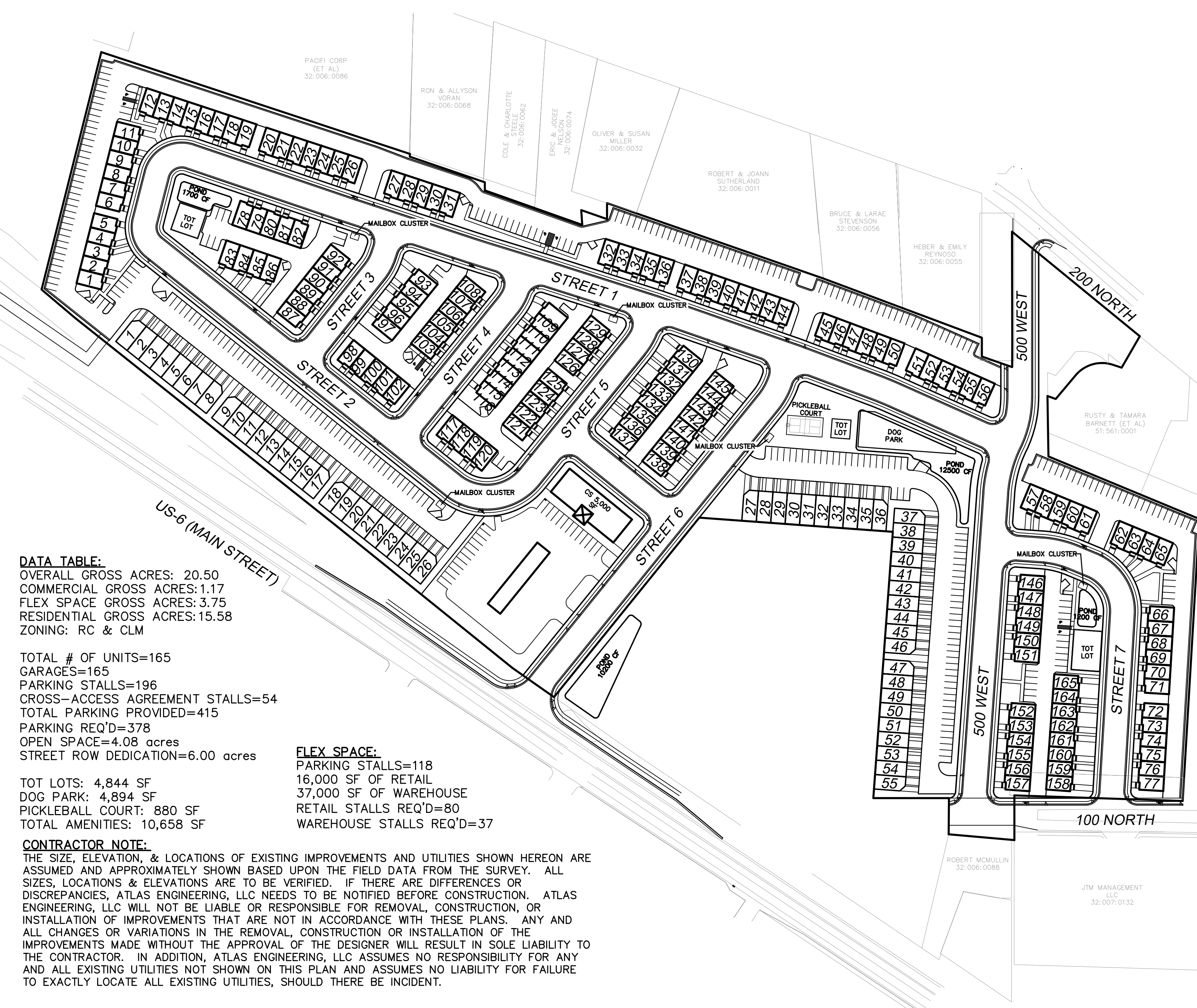
MARCH 2023

GENERAL NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCE AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

-SHEET INDEX-

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4A	FINAL PLAT
4B	FINAL PLAT
5	EXISTING TOPOGRAPHY PLAN
6	DETAIL SHEET
7	FIRE ACCESS/OPEN SPACE PLAN
8	PHASING PLAN



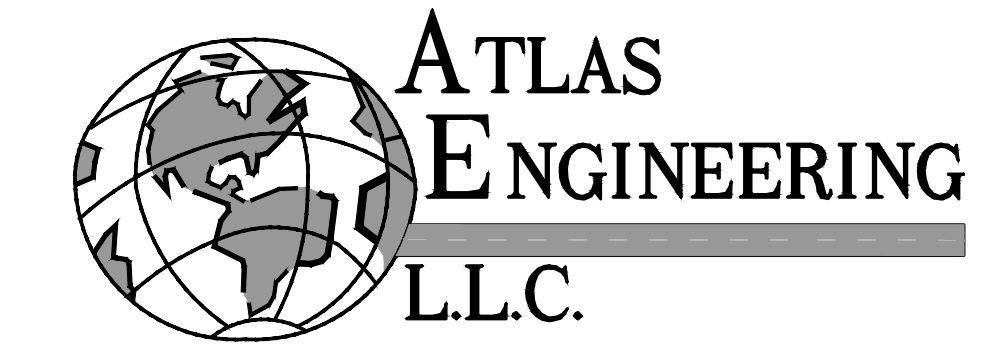
LEGEND
(APPLIES TO ALL SHEETS)

	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING STORM DRAIN W/MH
	EXISTING WATER
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED SEWER
	PROPOSED STORM DRAIN
	PROPOSED CULINARY WATER
	PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)

VICINITY MAP
-NTS-

OWNER/DEVELOPER CONTACT INFO:
DEREK TERRY - FIG DEVELOPMENT
(435) 668-6844
3278 WEST 1150 SOUTH
PROVO, UT 84601

ENGINEER/SURVEYOR CONTACT INFO:
ATLAS ENGINEERING LLC
(801) 655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660



PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

DATA TABLE:
OVERALL GROSS ACRES: 20.50
COMMERCIAL GROSS ACRES: 1.17
FLEX SPACE GROSS ACRES: 3.75
RESIDENTIAL GROSS ACRES: 15.58
ZONING: RC & CLM

TOTAL # OF UNITS=165
GARAGES=165
PARKING STALLS=196
CROSS-ACCESS AGREEMENT STALLS=54
TOTAL PARKING PROVIDED=415
PARKING REQ'D=378
OPEN SPACE=4.08 acres
STREET ROW DEDICATION=6.00 acres

FLEX SPACE:
PARKING STALLS=118
16,000 SF OF RETAIL
37,000 SF OF WAREHOUSE
RETAIL STALLS REQ'D=80
WAREHOUSE STALLS REQ'D=37

CONTRACTOR NOTE:

THE SIZE, ELEVATION, & LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES SHOWN HEREON ARE ASSUMED AND APPROXIMATELY SHOWN BASED UPON THE FIELD DATA FROM THE SURVEY. ALL SIZES, LOCATIONS & ELEVATIONS ARE TO BE VERIFIED. IF THERE ARE DIFFERENCES OR DISCREPANCIES, ATLAS ENGINEERING, LLC NEEDS TO BE NOTIFIED BEFORE CONSTRUCTION. ATLAS ENGINEERING, LLC WILL NOT BE LIABLE OR RESPONSIBLE FOR REMOVAL, CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS THAT ARE NOT IN ACCORDANCE WITH THESE PLANS. ANY AND ALL CHANGES OR VARIATIONS IN THE REMOVAL, CONSTRUCTION OR INSTALLATION OF THE IMPROVEMENTS MADE WITHOUT THE APPROVAL OF THE DESIGNER WILL RESULT IN SOLE LIABILITY TO THE CONTRACTOR. IN ADDITION, ATLAS ENGINEERING, LLC ASSUMES NO RESPONSIBILITY FOR ANY AND ALL EXISTING UTILITIES NOT SHOWN ON THIS PLAN AND ASSUMES NO LIABILITY FOR FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES, SHOULD THERE BE INCIDENT.

SHEET NO.

2

NO.	DATE	BY	REVISIONS
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

SITE PLAN

SANTAQUIN, UTAH

SILVER OAKS



PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

Z:\2021\21-008_ERCANBRACK_SANTAQUIN\CADD\PRELIMINARY\09 - SITE PLAN.DWG

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

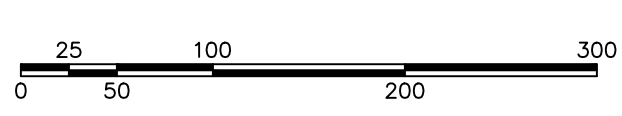
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LEGEND

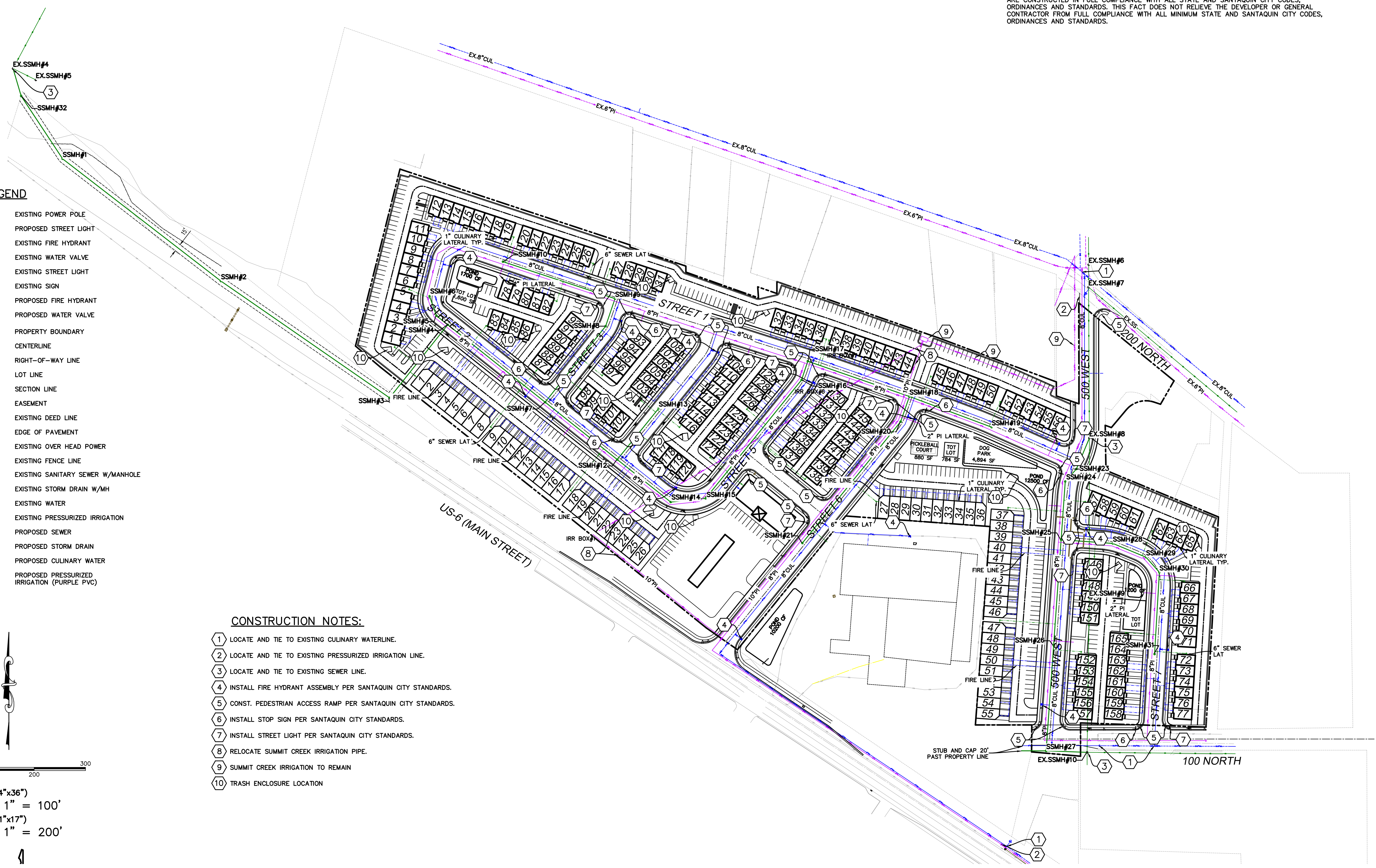
- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EOP
- OHP
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EXISTING WATER
- EXISTING PRESSURIZED IRRIGATION
-
-
-
-

CONSTRUCTION NOTES:

- 1 LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
- 2 LOCATE AND TIE TO EXISTING PRESSURIZED IRRIGATION LINE.
- 3 LOCATE AND TIE TO EXISTING SEWER LINE.
- 4 INSTALL FIRE HYDRANT ASSEMBLY PER SANTAQUIN CITY STANDARDS.
- 5 CONST. PEDESTRIAN ACCESS RAMP PER SANTAQUIN CITY STANDARDS.
- 6 INSTALL STOP SIGN PER SANTAQUIN CITY STANDARDS.
- 7 INSTALL STREET LIGHT PER SANTAQUIN CITY STANDARDS.
- 8 RELOCATE SUMMIT CREEK IRRIGATION PIPE.
- 9 SUMMIT CREEK IRRIGATION TO REMAIN
- 10 TRASH ENCLOSURE LOCATION



(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'



SHEET NO.

3

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

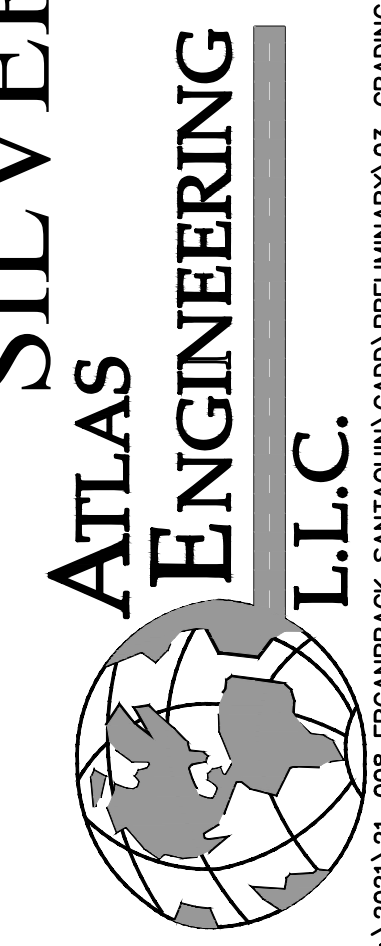
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NO.	REVISIONS	BY	DATE
10			
9			
8			
7			
6			
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4			
3			
2			
1			

GRADING PLAN

SANTAQUIN, UTAH

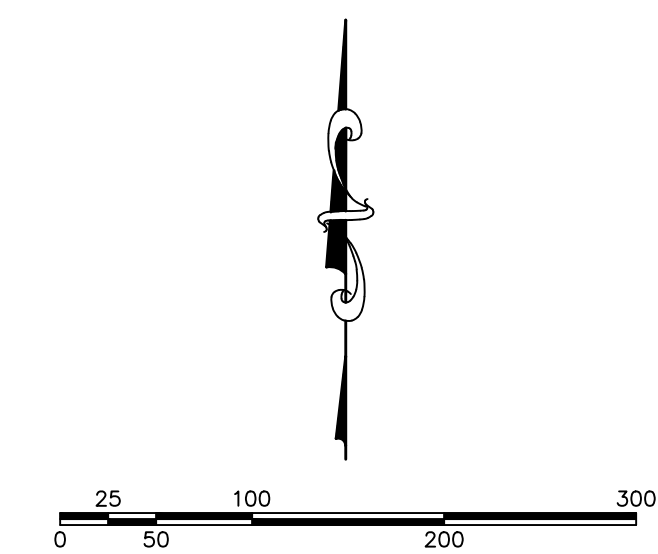
SILVER OAKS



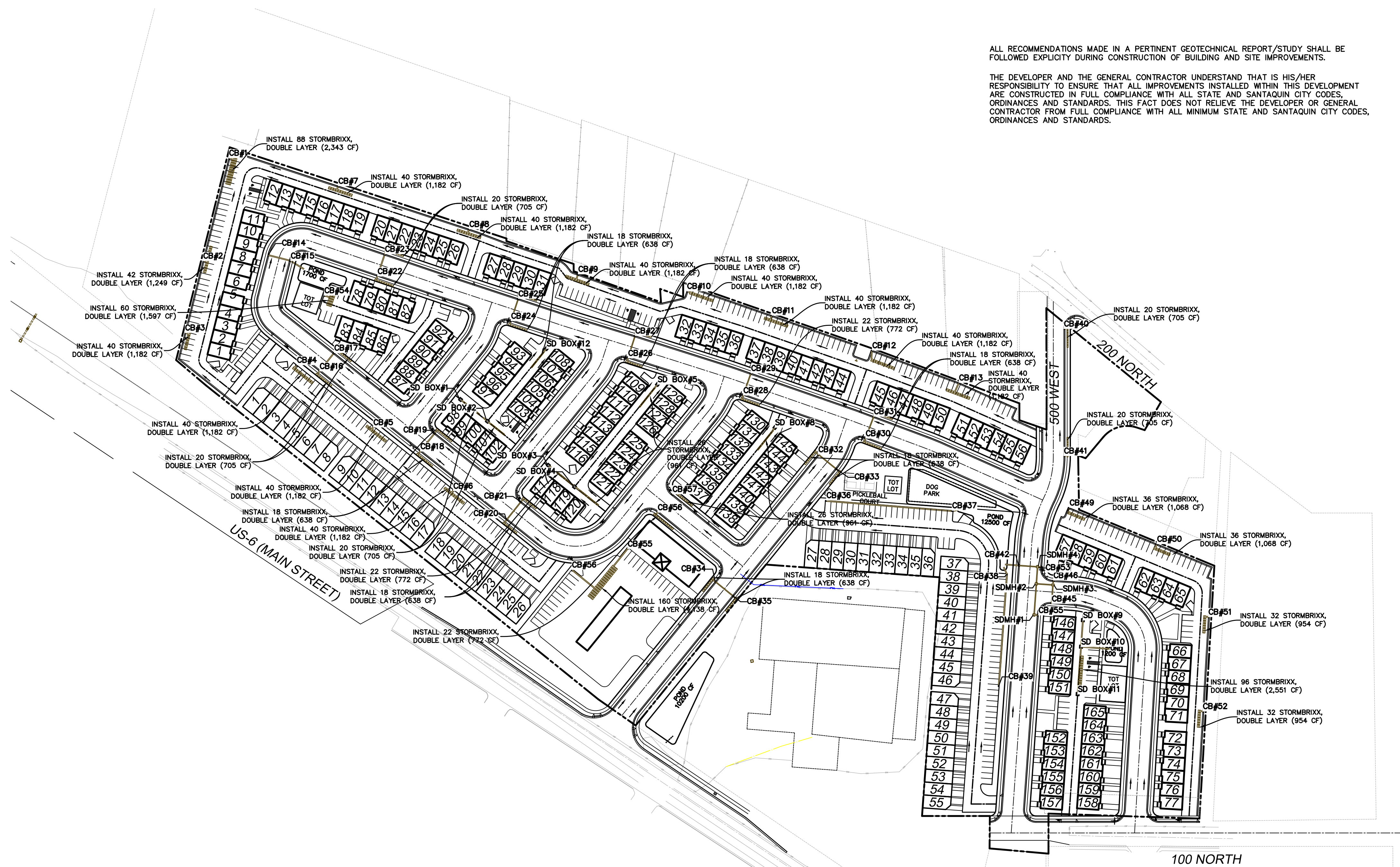
PHONE: 801-855-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

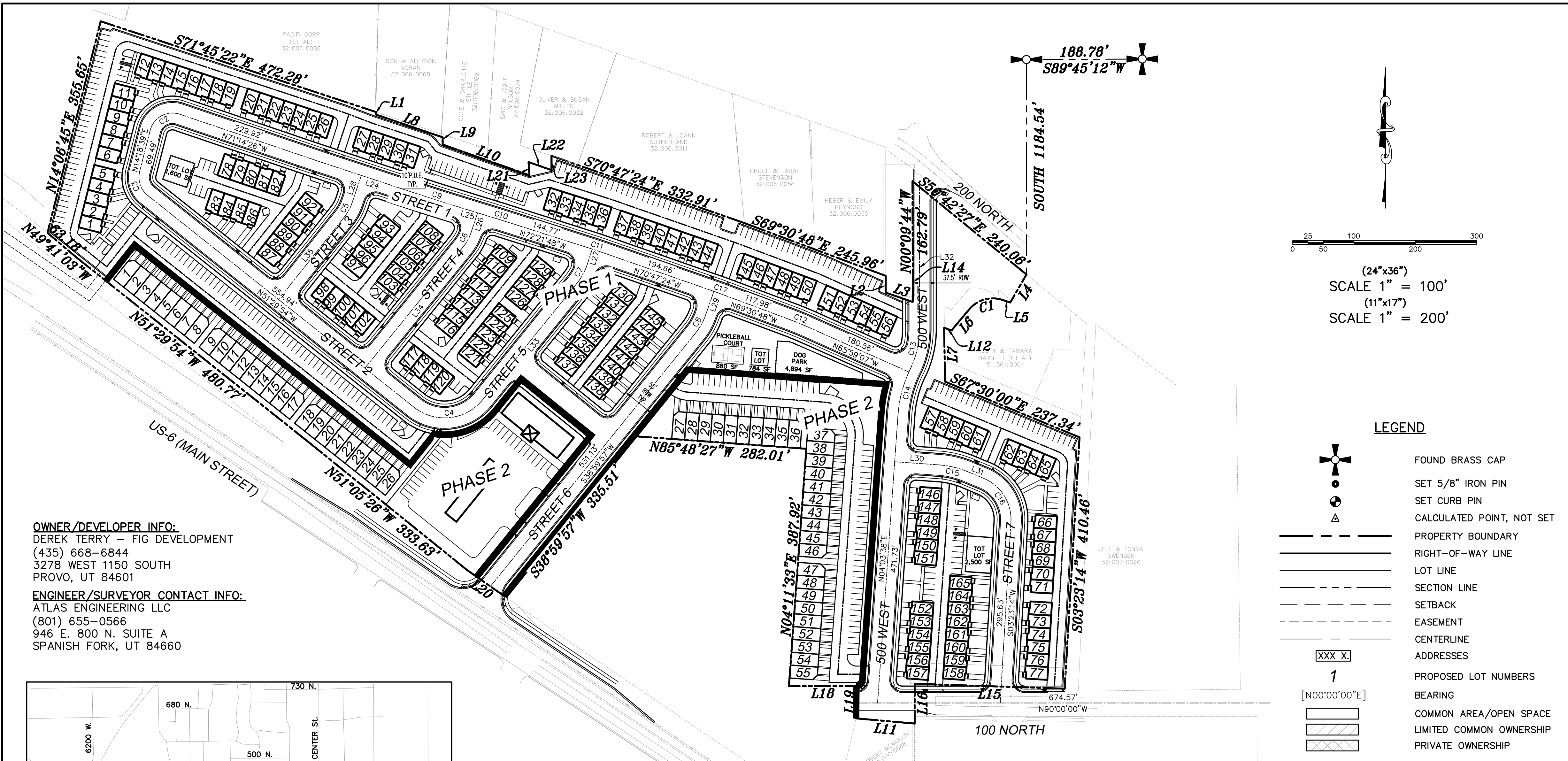
Z:\2021\21-008 ERCANBRACK_SANTAQUIN\CADD\PRELIMINARY\03-GRADING PLAN.DWG

- LEGEND**
- EXISTING POWER POLE
 - PROPOSED STREET LIGHT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING STREET LIGHT
 - EXISTING SIGN
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER VALVE
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 - EXISTING STORM DRAIN W/MH
 - EXISTING WATER
 - EXISTING PRESSURIZED IRRIGATION
 -



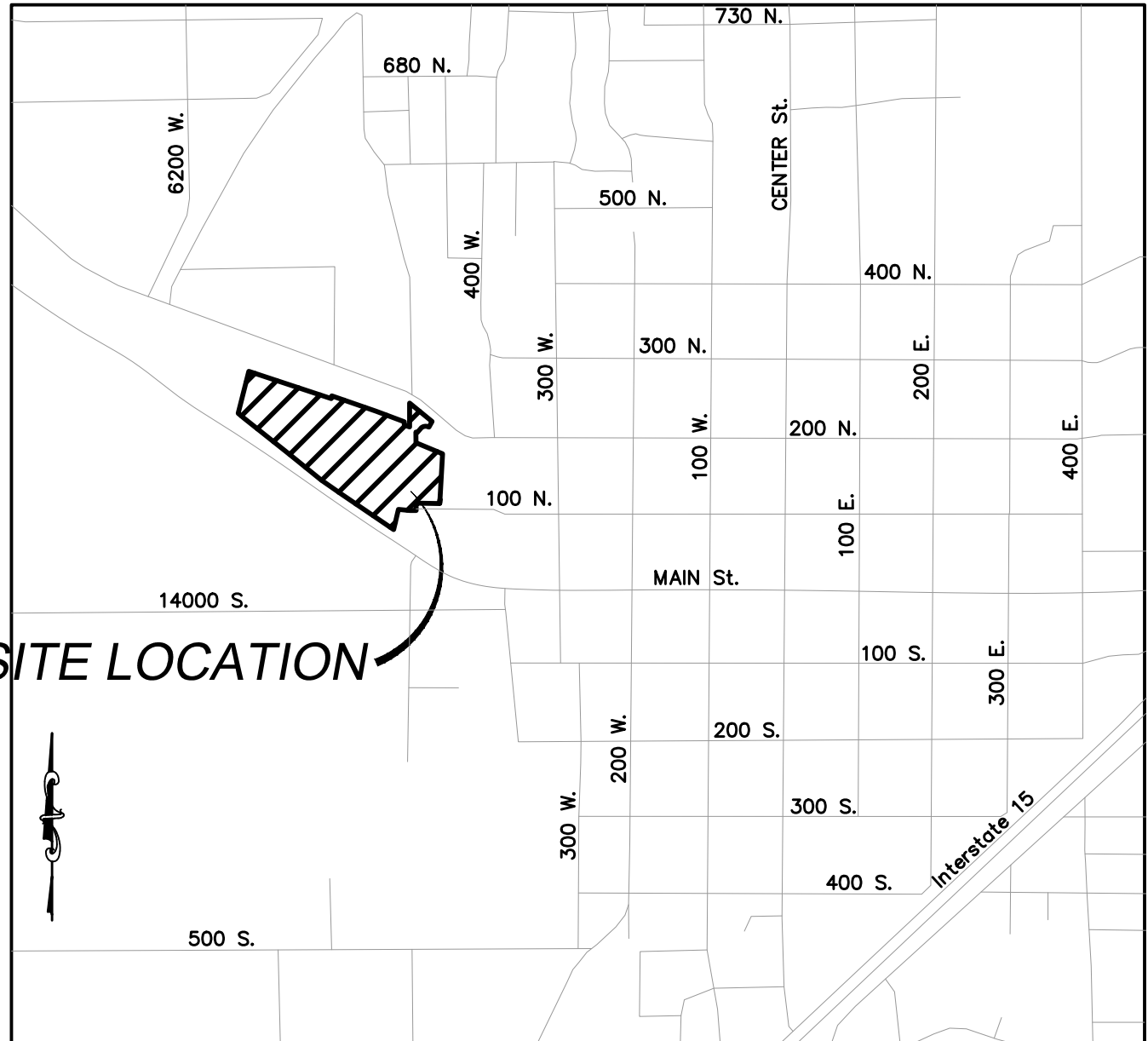
(24"x36")
 SCALE 1" = 100'
 (11"x17")
 SCALE 1" = 200'





OWNER/DEVELOPER INFO:
 DEREK TERRY — FIG DEVELOPMENT
 (435) 668-6844
 3278 WEST 1150 SOUTH
 PROVO, UT 84601

ENGINEER/SURVEYOR CONTACT INFO:
 ATLAS ENGINEERING LLC
 (801) 655-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660



VICINITY MAP
 -NTS-

NOTES

- VERTICAL DATA BASED ON NAVD 88.
- COORDINATE SYSTEM = NAD83
- PROJECT TO BE COMPLETED IN 2 PHASE(S).

BOUNDARY DESCRIPTION:
 BEGINNING AT THE NORTHWEST CORNER OF RANDOLPH'S ACRE SUBDIVISION PLAT "A", WHICH POINT LIES N89°45'12"E 188.78 FEET ALONG THE SECTION LINE AND SOUTH 1184.54 FEET FROM THE NORTH 1/4 CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE BOUNDARY OF SAID SUBDIVISION THE FOLLOWING (7) COURSES TO WIT: (1) S30°00'00"W 52.67 FEET; (2) N72°00'00"W 13.88 FEET; (3) SOUTHWESTERLY 59.34 FEET ALONG THE ARC OF A 50.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 68°00'04"; THE CHORD BEARS S74°00'00"W 55.92 FEET; (4) S40°00'00"W 44.97 FEET; (5) N70°00'00"W 12.79 FEET; (6) S00°58'08"E 87.85 FEET; (7) S67°30'00"E 237.34 FEET; THENCE S03°23'14"W 410.46 FEET; THENCE N88°06'09"W 244.70 FEET; THENCE SOUTH 60.91 FEET; THENCE N84°57'48"W 95.86 FEET; THENCE N00°30'26"E 52.56 FEET; THENCE N89°59'42"W 109.93 FEET; THENCE N04°11'33"E 387.92 FEET; THENCE N85°48'27"W 282.01 FEET; THENCE S38°59'57"W 335.51 FEET TO THE NORTHERLY LINE OF U.S. HIGHWAY 6; THENCE ALONG HIGHWAY 6 THE FOLLOWING (4) COURSES TO WIT: (1) N55°00'24"W 73.99 FEET; (2) N51°05'26"W 333.63 FEET; (3) N51°29'54"W 480.77 FEET; (4) N49°41'03"W 63.18 FEET; THENCE N14°06'45"E 355.65 FEET; THENCE S71°45'22"E 472.28 FEET ALONG THE REMNANTS OF AN OLD FENCE; THENCE S01°20'49"W 4.13 FEET; THENCE S71°10'53"E 115.14 FEET; THENCE S00°01'23"W 11.74 FEET; THENCE S70°28'44"E 150.20 FEET; THENCE N04°00'00"W 21.60 FEET; THENCE S70°45'00"E 39.68 FEET; THENCE NORTH 23.23 FEET; THENCE S70°47'24"E 332.91 FEET ALONG AN EXISTING BOUNDARY LINE AGREEMENT (ENTRY No. 36074:1986); THENCE S69°30'48"E 245.96 FEET CONTINUING ALONG SAID BOUNDARY LINE AGREEMENT; THENCE SOUTH 27.27 FEET; THENCE S70°45'01"E 46.53 FEET; THENCE N00°21'44"E 34.04 FEET; THENCE N00°09'44"W 162.79 FEET TO THE SOUTH LINE OF LARK STREET; THENCE S50°42'27"E 240.06 FEET ALONG SAID STREET TO THE POINT OF BEGINNING. CONTAINING 20.50 ACRES.

DOMINION ENERGY

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT. INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

APPROVED _____
 DOMINION ENERGY

CONVEYANCE OF COMMON AREAS TO ASSOCIATION

THE UNDERSIGNED OWNER IN RECORDING THIS PLAT, HAS DESIGNATED CERTAIN AREAS OF THE LAND AS PRIVATE DRIVEWAYS, STREETS, LIMITED COMMON AREAS AND OTHER COMMON AREAS INTENDED FOR THE USE BY MEMBERS OF ERCANBRACK PROPERTY HOMEOWNERS ASSOCIATION, THEIR GUESTS AND INVITEES. SUCH AREAS ARE TO BE CONVEYED TO THE APPROPRIATE PARTIES, INCLUDING THE CONVEYANCE OF COMMON AREAS TO SUMMIT TOWNHOMES HOMEOWNERS ASSOCIATION, BY DEED, TO BE RECORDED IN THE UTAH COUNTY RECORDERS OFFICE, FOR THE USE AND ENJOYMENT BY THE OWNERS OF LOTS OR DWELLINGS IN THE ERCANBRACK PROPERTY PROJECT AS MORE FULLY DESCRIBED IN THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS APPLICABLE TO THIS PROJECT AND RECORDED WITH THIS PLAT.

NOTE OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS

THIS PROJECT, WITH ITS LOTS, DWELLINGS AND COMMON AREAS ARE SUBJECT TO CERTAIN COVENANTS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ERCANBRACK PROPERTY, WHICH ARE RECORDED IN THE OFFICES OF THE UTAH COUNTY RECORDER. SAID COVENANTS, CONDITIONS AND RESTRICTIONS ARE INTENDED TO RUN WITH THE LAND AND TO BE BINDING UPON ALL HEIRS, SUCCESSORS OR ASSIGNS OF THE DECLARANT IN ACCORDANCE WITH THE RECORDED DECLARATION.

CENTRACOM APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2023.

 CENTRACOM REPRESENTATIVE

CENTURYLINK APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2023.

 CENTURYLINK REPRESENTATIVE

ROCKY MOUNTAIN POWER APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2023.

 ROCKY MOUNTAIN POWER REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, DAVID F. HUNT DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5243543 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

DATE _____

BOUNDARY DESCRIPTION

SEE LEFT.

OWNER'S DEDICATION

(I)WE, _____ BEING THE UNDERSIGNED OWNER(S) OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS(S) THIS _____ DAY OF _____, A.D. 2023.

MEMBER: _____

MEMBER: _____

MEMBER: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH _____ S.S.
 COUNTY OF UTAH _____

ON THE _____ DAY OF _____, A.D. 2023 PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT THEY ARE THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY THEM IN BEHALF OF SAID _____ BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGED TO ME THAT SAID _____ EXECUTED THE SAME.

_____ A NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH

COMMISSION NUMBER / EXPIRES _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 2023.

APPROVED _____ CITY MANAGER

APPROVED _____ CITY ATTORNEY

APPROVED _____ ENGINEER (SEE SEAL)

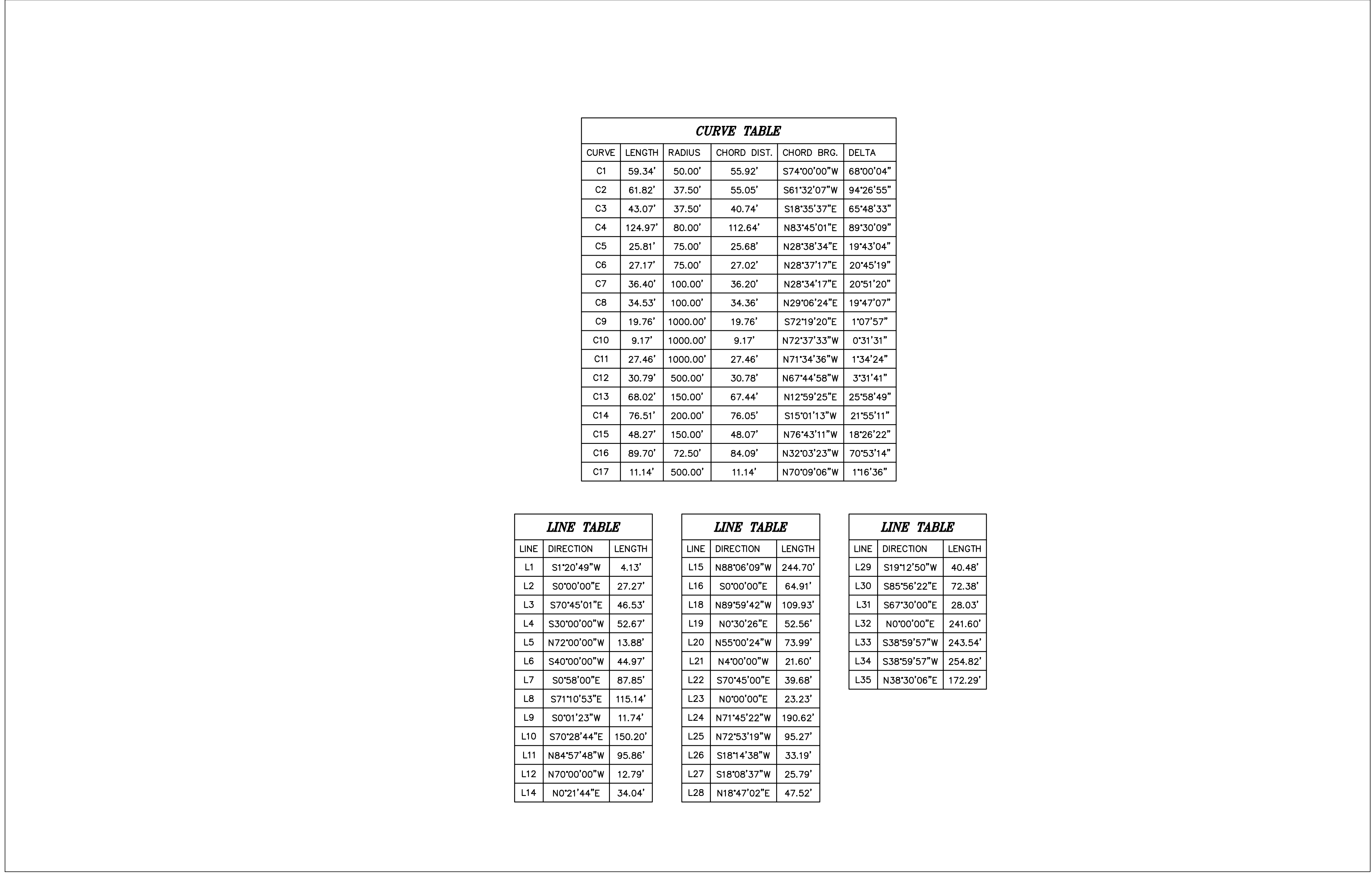
ATTEST _____ CLERK-RECORDER

APPROVED _____ COMMUNITY DEVELOPMENT DIRECTOR

APPROVED _____ CITY COUNCIL

SILVER OAKS
 A RESIDENTIAL SUBDIVISION IN
 SANTAQUIN CITY, UTAH COUNTY, UTAH
 CONTAINING 220 UNITS AND 20.50 ACRES.
 LOCATED IN THE NORTH 1/4 CORNER OF SECTION 2, OF TOWNSHIP 10 SOUTH,
 RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL
-----------------	--------------------	--------------------	---------------------



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	59.34'	50.00'	55.92'	S74°00'00"W	68°00'04"
C2	61.82'	37.50'	55.05'	S61°32'07"W	94°26'55"
C3	43.07'	37.50'	40.74'	S18°35'37"E	65°48'33"
C4	124.97'	80.00'	112.64'	N83°45'01"E	89°30'09"
C5	25.81'	75.00'	25.68'	N28°38'34"E	19°43'04"
C6	27.17'	75.00'	27.02'	N28°37'17"E	20°45'19"
C7	36.40'	100.00'	36.20'	N28°34'17"E	20°51'20"
C8	34.53'	100.00'	34.36'	N29°06'24"E	19°47'07"
C9	19.76'	1000.00'	19.76'	S72°19'20"E	1°07'57"
C10	9.17'	1000.00'	9.17'	N72°37'33"W	0°31'31"
C11	27.46'	1000.00'	27.46'	N71°34'36"W	1°34'24"
C12	30.79'	500.00'	30.78'	N67°44'58"W	3°31'41"
C13	68.02'	150.00'	67.44'	N12°59'25"E	25°58'49"
C14	76.51'	200.00'	76.05'	S15°01'13"W	21°55'11"
C15	48.27'	150.00'	48.07'	N76°43'11"W	18°26'22"
C16	89.70'	72.50'	84.09'	N32°03'23"W	70°53'14"
C17	11.14'	500.00'	11.14'	N70°09'06"W	1°16'36"

LINE TABLE

LINE	DIRECTION	LENGTH
L1	S1°20'49"W	4.13'
L2	S0°00'00"E	27.27'
L3	S70°45'01"E	46.53'
L4	S30°00'00"W	52.67'
L5	N72°00'00"W	13.88'
L6	S40°00'00"W	44.97'
L7	S0°58'00"E	87.85'
L8	S71°10'53"E	115.14'
L9	S0°01'23"W	11.74'
L10	S70°28'44"E	150.20'
L11	N84°57'48"W	95.86'
L12	N70°00'00"W	12.79'
L14	N0°21'44"E	34.04'

LINE TABLE

LINE	DIRECTION	LENGTH
L15	N88°06'09"W	244.70'
L16	S0°00'00"E	64.91'
L18	N89°59'42"W	109.93'
L19	N0°30'26"E	52.56'
L20	N55°00'24"W	73.99'
L21	N4°00'00"W	21.60'
L22	S70°45'00"E	39.68'
L23	N0°00'00"E	23.23'
L24	N71°45'22"W	190.62'
L25	N72°53'19"W	95.27'
L26	S18°14'38"W	33.19'
L27	S18°08'37"W	25.79'
L28	N18°47'02"E	47.52'

LINE TABLE

LINE	DIRECTION	LENGTH
L29	S19°12'50"W	40.48'
L30	S85°56'22"E	72.38'
L31	S67°30'00"E	28.03'
L32	N0°00'00"E	241.60'
L33	S38°59'57"W	243.54'
L34	S38°59'57"W	254.82'
L35	N38°30'06"E	172.29'

SILVER OAKS
ATLAS
ENGINEERING
L.L.C.

PHONE: 801-655-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

FINAL PLAT

SANTAQUIN, UTAH

NO.	REVISIONS	BY	DATE
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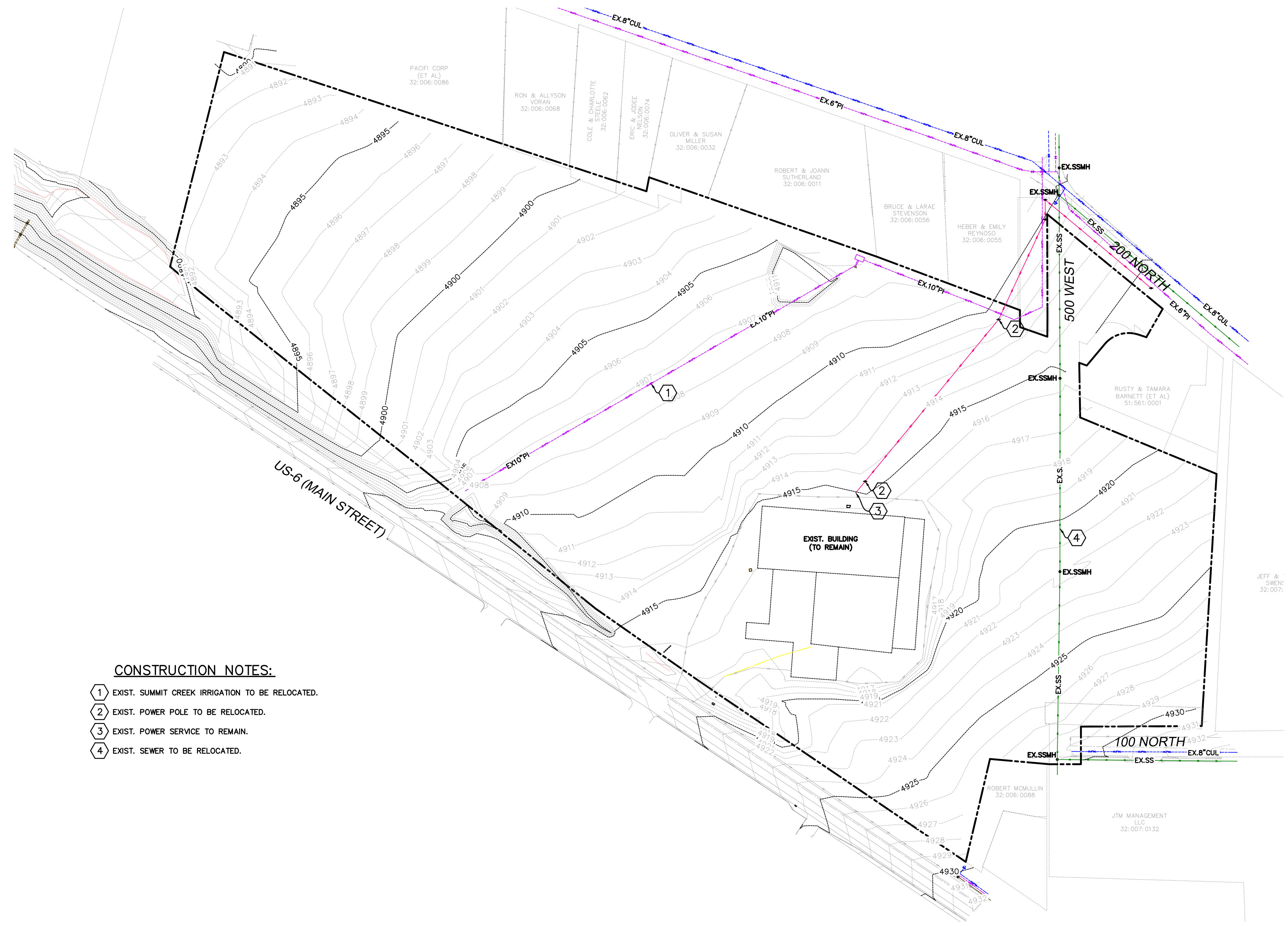
SHEET NO.
4B

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

SHEET NO.

5

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- CONSTRUCTION NOTES:**
- 1 EXIST. SUMMIT CREEK IRRIGATION TO BE RELOCATED.
 - 2 EXIST. POWER POLE TO BE RELOCATED.
 - 3 EXIST. POWER SERVICE TO REMAIN.
 - 4 EXIST. SEWER TO BE RELOCATED.

LEGEND

- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING STREET LIGHT
- EXISTING SIGN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING STORM DRAIN W/MH
- EXISTING WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- PROPOSED CULINARY WATER
- PROPOSED PRESSURIZED IRRIGATION (PURPLE PVC)

0 25 50 100 200 300

(24"x36")
SCALE 1" = 100'
(11"x17")
SCALE 1" = 200'

EXISTING TOPOGRAPHY

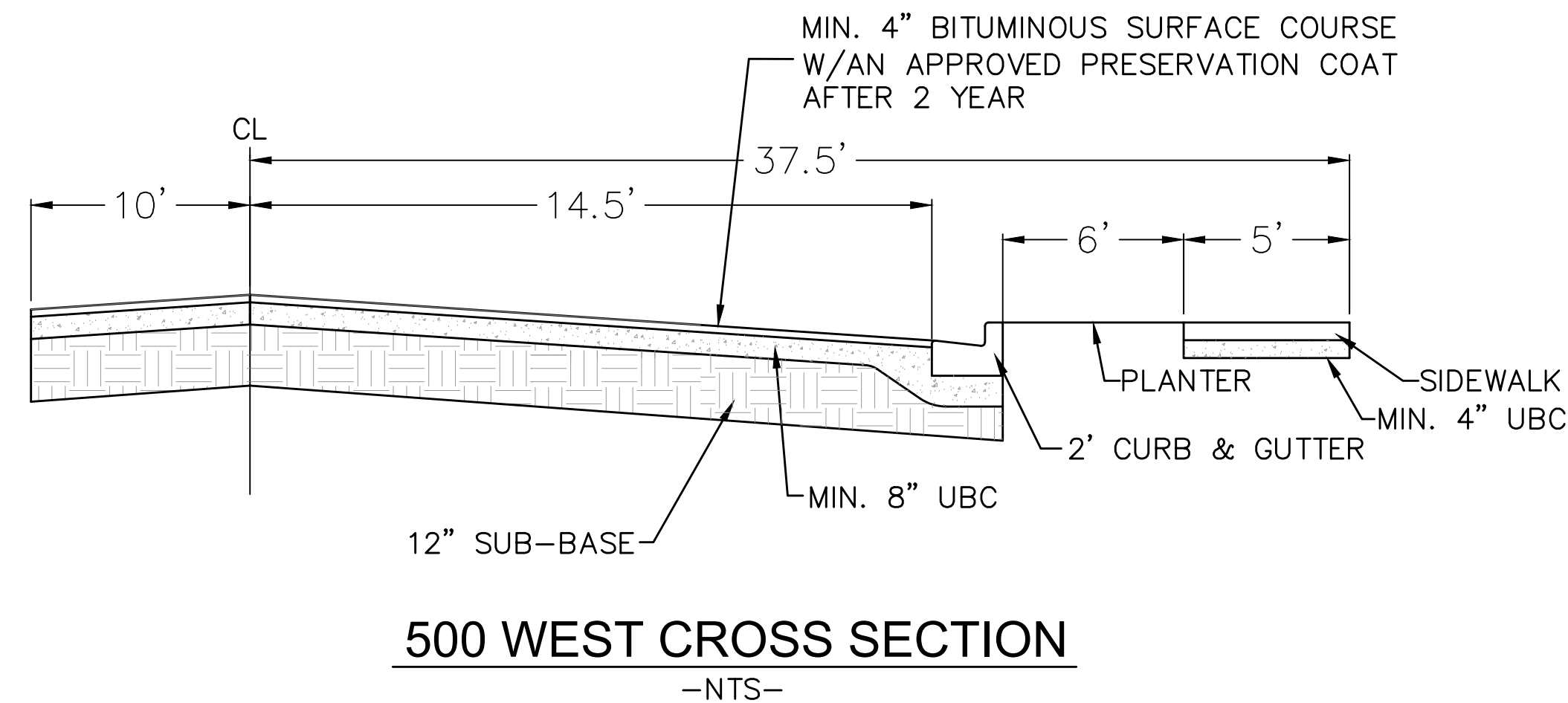
SANTAQUIN, UTAH

SILVER OAKS
ATLAS ENGINEERING L.L.C.

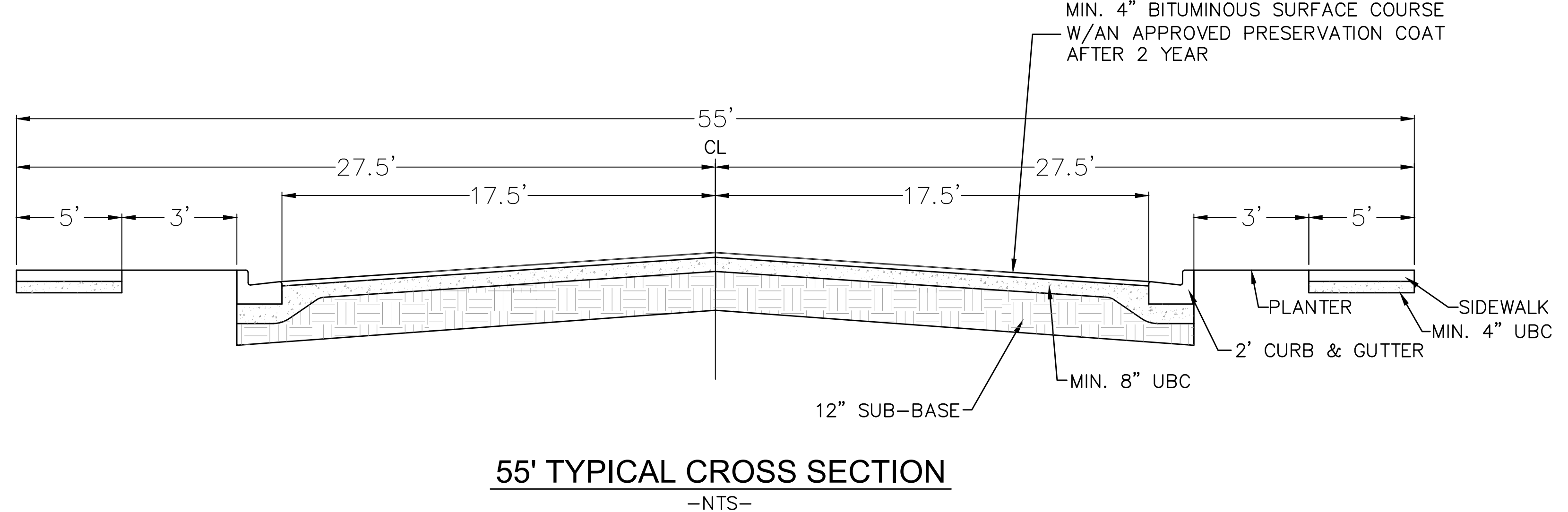
PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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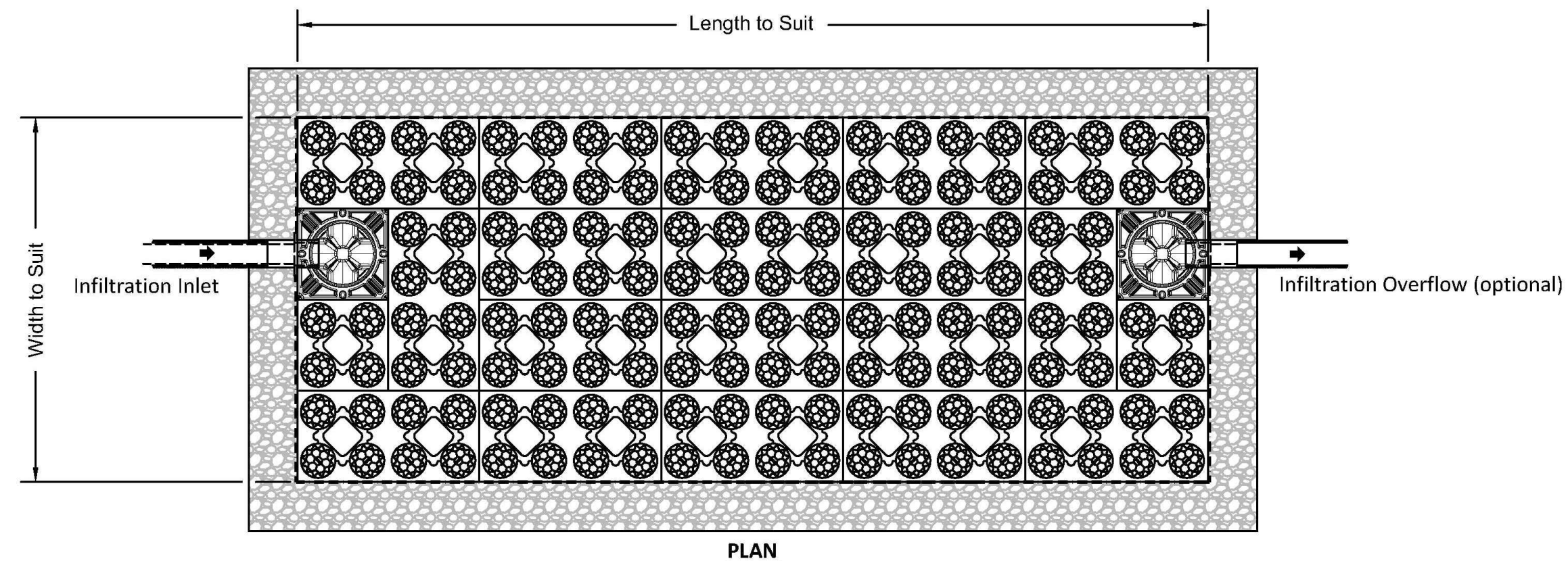
SHEET NO.		6	
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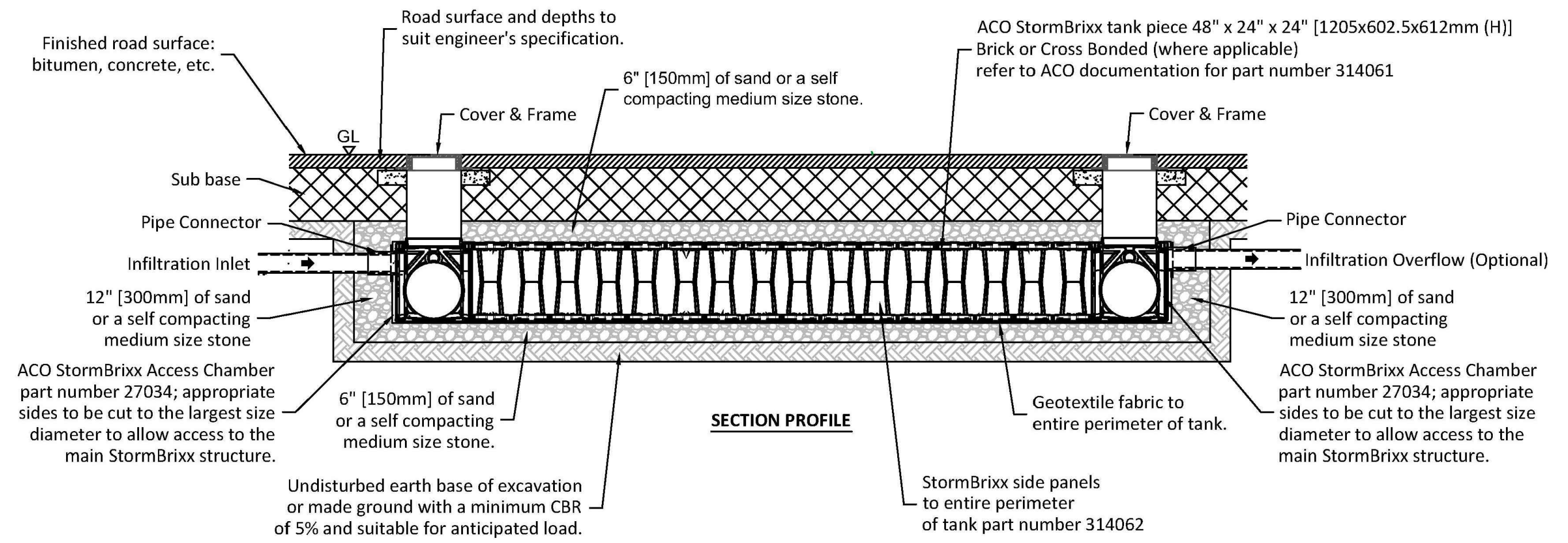
500 WEST CROSS SECTION
-NTS-



55' TYPICAL CROSS SECTION
-NTS-



PLAN



SECTION PROFILE

Minimum cover depths (1) over the top of ACO StormBrixx	
Location	Minimum cover depth ft (m) (4)
Non-Trafficked areas i.e. Landscaping	
Car parks, vehicles up to 5512lbs gross mass	1.97 (0.6)
Car parks, occasional vehicles greater than 5512lbs (3) gross mass	2.46 (0.75)
Occasional HGV traffic up to 97,003lbs GVW (HA loading)	Please consult with ACO

- (1) Assumes 27 degree load distribution through fill material and overlaying surface asphalt or block paving
- (2) Minimum cover depth to avoid accidental damage from gardening/landscaping work
- (3) Occasional Trafficking by refuse collection or similar vehicles (typically one per week)
- (4) Please check minimum frost cover depths for geographical location

This drawing is for guidance purposes only. This is to be read in conjunction with other ACO drawings and is subject to all ACO Polymer Products, Inc. guidance, liabilities and manufacturers warranties. For further information please contact our technical department, visit the StormBrixx website at <http://www.acostormbrixx.us/>, or email us at info@acousa.com

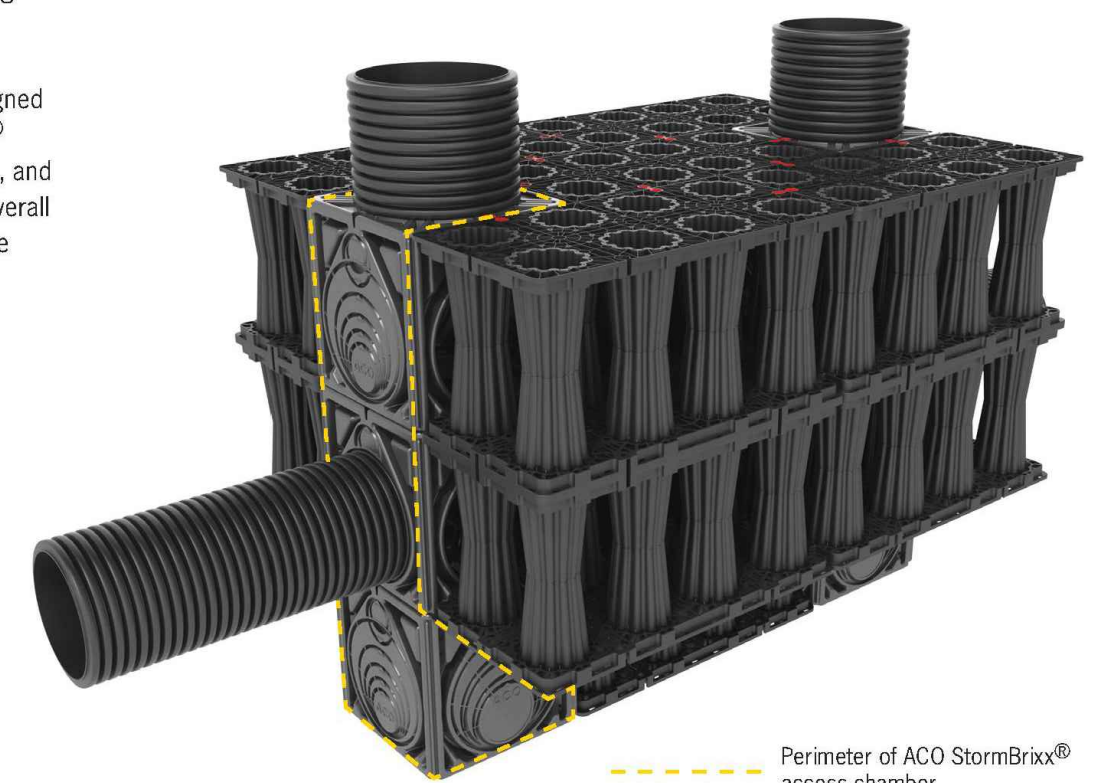
ACO StormBrixx® Access Chamber

The access chamber is designed to provide complete 3D access to enable inspection of all levels and areas of the system by either tracked or push rod CCTV inspection equipment. Where required, ACO StormBrixx® systems can be jetted using standard equipment.

When the ACO StormBrixx® access chamber has been configured to create a low flow drain down channel or a silt trap, the unit allows for the removal of silt and debris.

Cover and frame
18" diameter (450mm) solid ductile iron cover and frame is available to complete the StormBrixx® access chamber installation. Cover is rated to 40 ton loads.

The modular stackable chamber is designed to be incorporated into any StormBrixx® detention/retention or infiltration system, and forms an integral part of the system's overall volume, removing the need for expensive upstream manholes.



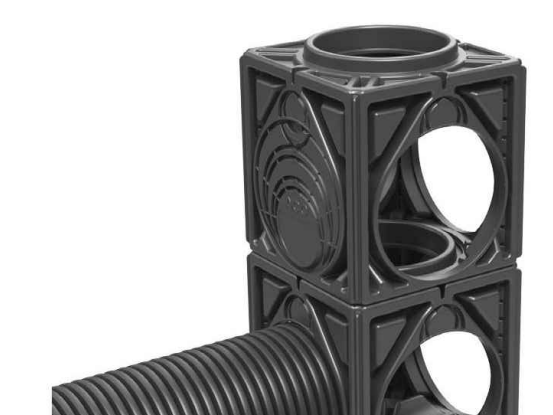
Cut unit as guides for required pipe connection. Push up to 2.5" (65mm) of pipe into access chamber module.



If using more than one access chamber module in a stack, it will be necessary to remove base from all modules except bottom base unit. Cut along the recessed cutting line provided and remove base.



Layer connectors should be incorporated before the next module is added to the access chamber stack.



Once the main access chamber has been constructed it will be necessary to add a 18" (450mm) ID raising piece cut to length and placed over the top of the access chamber unit. Once the bases of the upper module(s) have been removed, simply stack units on top of each other ensuring that each module is clipped to the main structure using the StormBrixx® layer connectors.



<p>SBD-1L-RA</p> <p>DATE: 11/24/15</p> <p>ISSUE: A</p>	<p>INFILTRATION - STORMBRIXX SINGLE LAYER WITH ACCESS UNITS AND OVERFLOW (HARDSCAPE)</p>	<p>ACO Polymer Products, Inc.</p> <p>825 W. Beechcraft St Casa Grande, AZ 85122 Tel: 520-421-8988 Fax: 520-421-9899</p> <p>9470 Pinecone Drive Mentor, OH 44060 Tel: 440-639-7230 Fax: 440-639-7235</p> <p>4211 Pleasant Rd. Fort Mill, SC 29708 Tel: 440-639-7230 Fax: 803-802-1063</p>
	<p>INSTALLATION DRAWING - ACO STORMBRIXX</p> <p>Arizona Tel: 888-490-9552 e-mail: info@acousa.com Ohio Tel: 800-543-4764 www.acousa.com South Carolina Tel: 800-543-4764</p>	<p>www.ACOSTORMBRIXX.us</p>

DETAIL SHEET

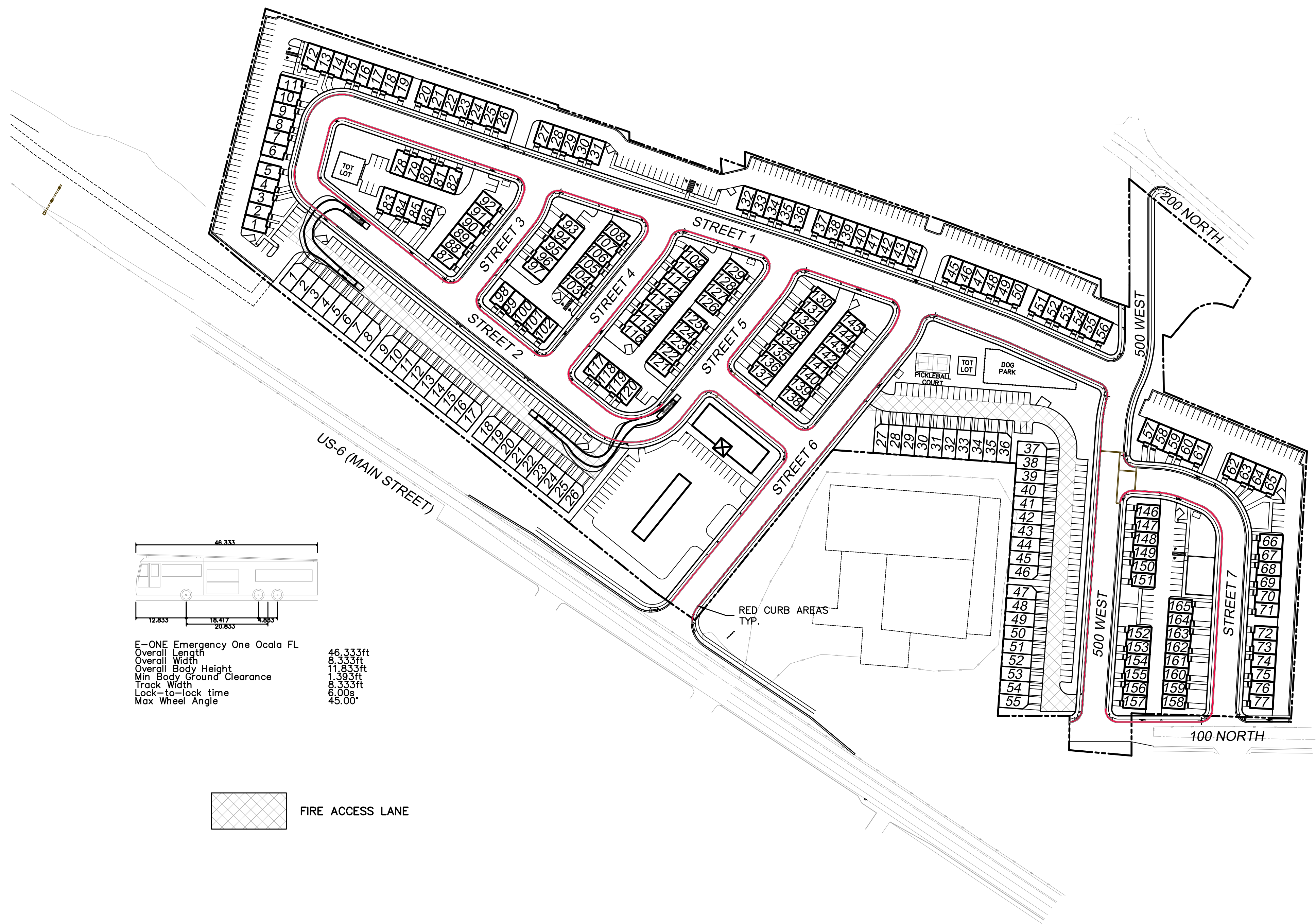
SANTAQUIN, UTAH

SILVER OAKS

ATLAS ENGINEERING L.L.C.

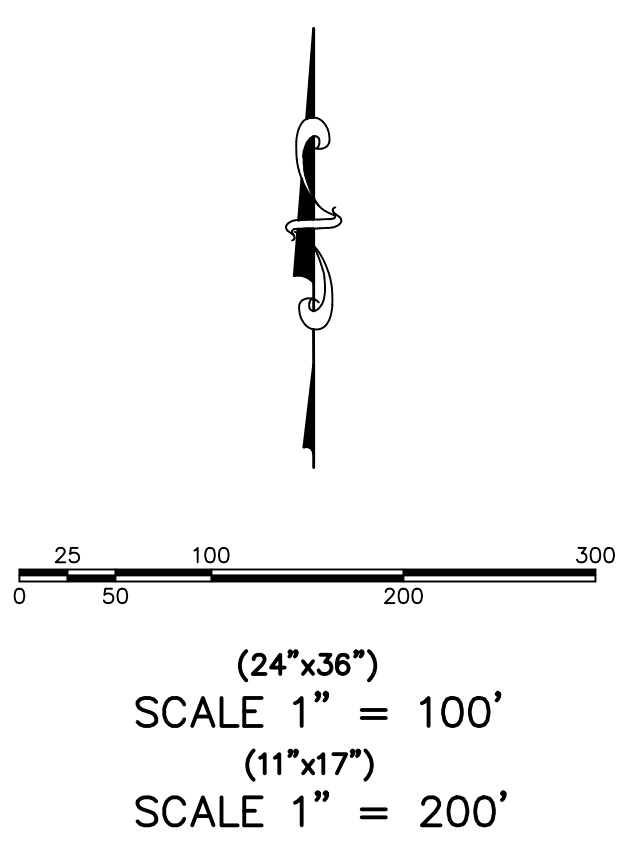
PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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E-ONE Emergency One Ocala FL	46.333ft
Overall Length	8.333ft
Overall Width	11.833ft
Overall Body Height	1.393ft
Min Body Ground Clearance	8.333ft
Track Width	6.00s
Lock-to-lock time	45.00°
Max Wheel Angle	

 FIRE ACCESS LANE



SHEET NO.
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FIRE ACCESS/
OPEN SPACE PLAN


SANTAQUIN, UTAH

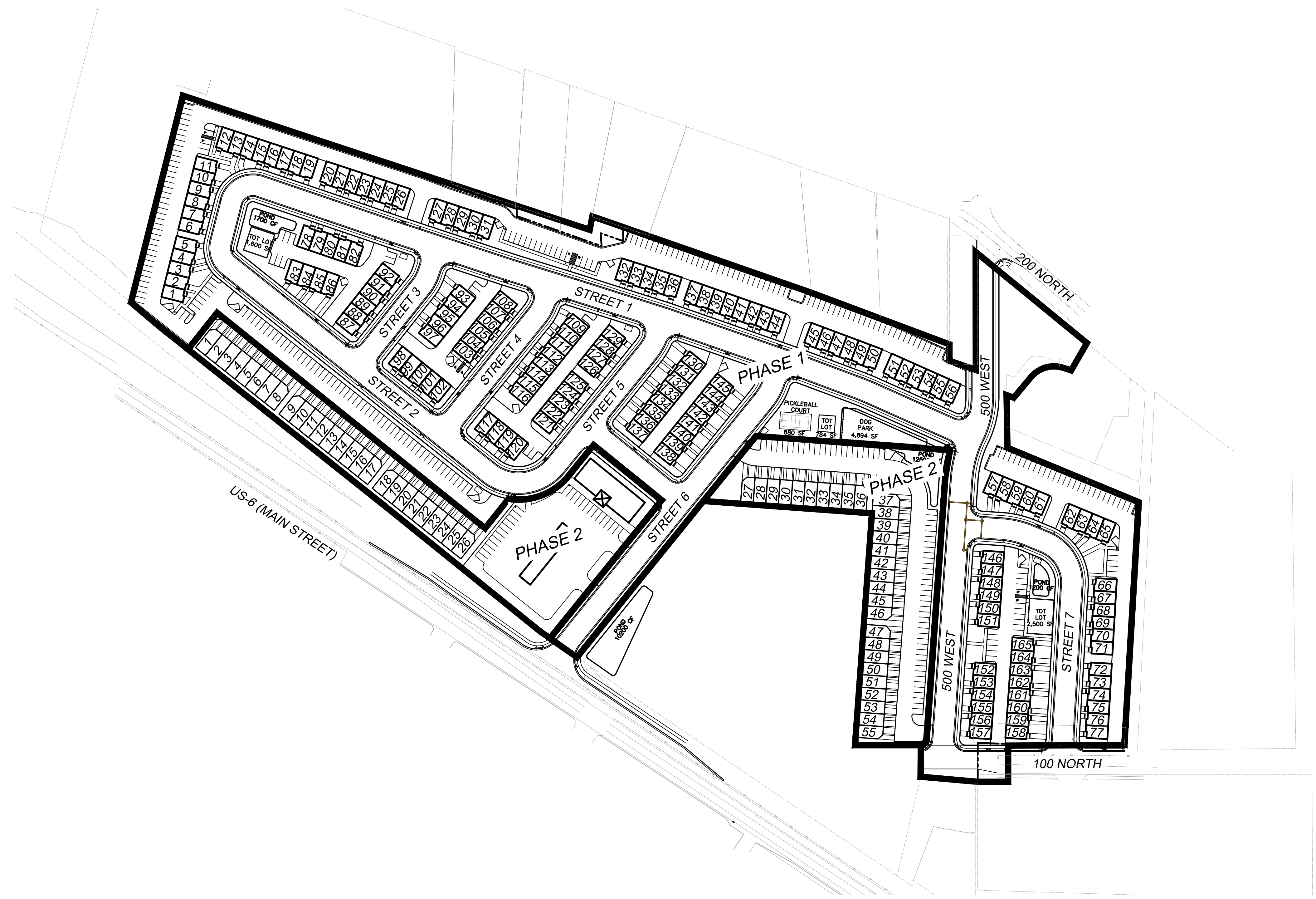
SILVER OAKS

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

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 (24"x36")
 SCALE 1" = 100'
 (11"x17")
 SCALE 1" = 200'



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PHASING PLAN
 SANTAQUIN, UTAH

SILVER OAKS
ATLAS ENGINEERING L.L.C.
 PHONE: 801-655-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660
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SHEET NO.
8



Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah

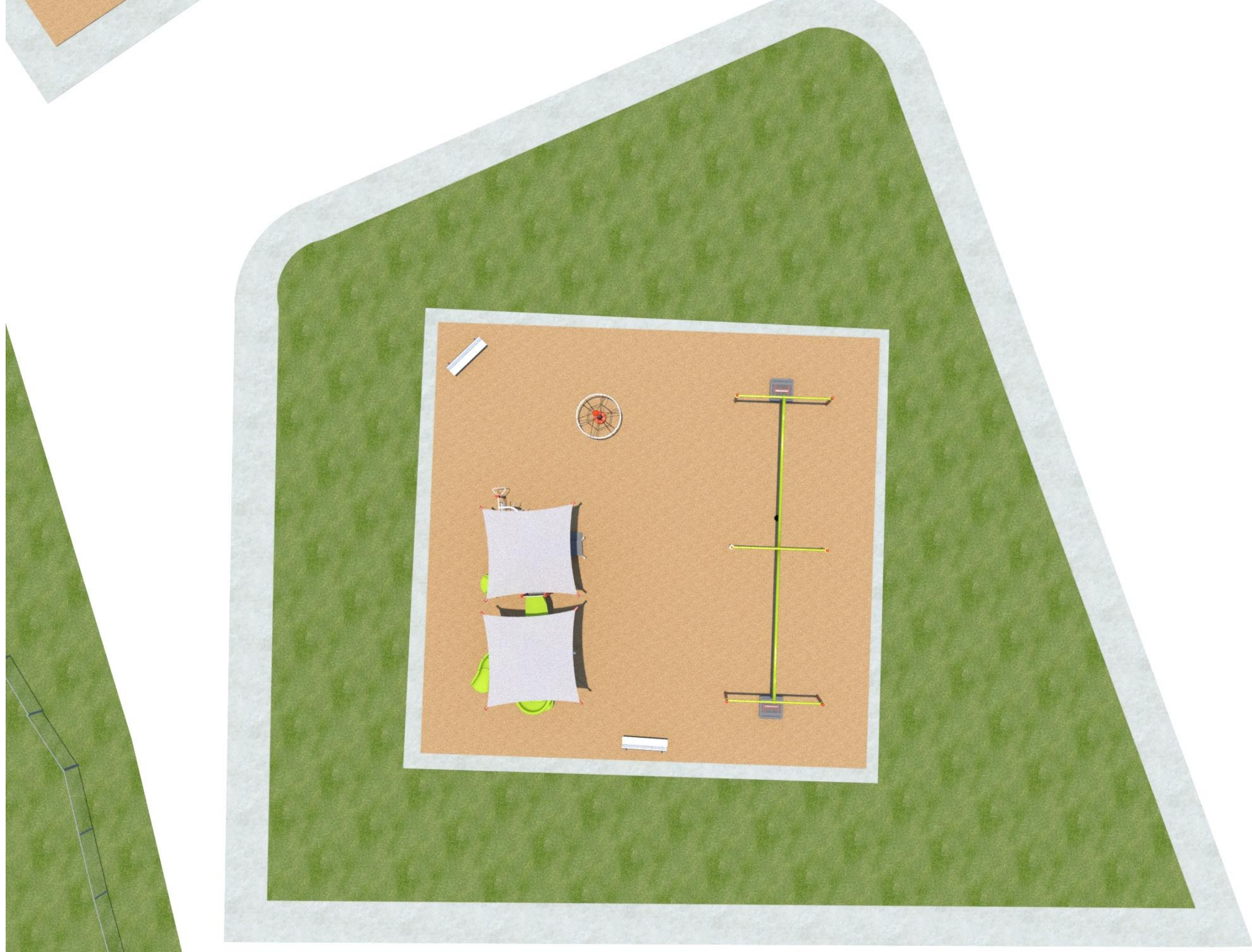




Ercanbrack - Option 2

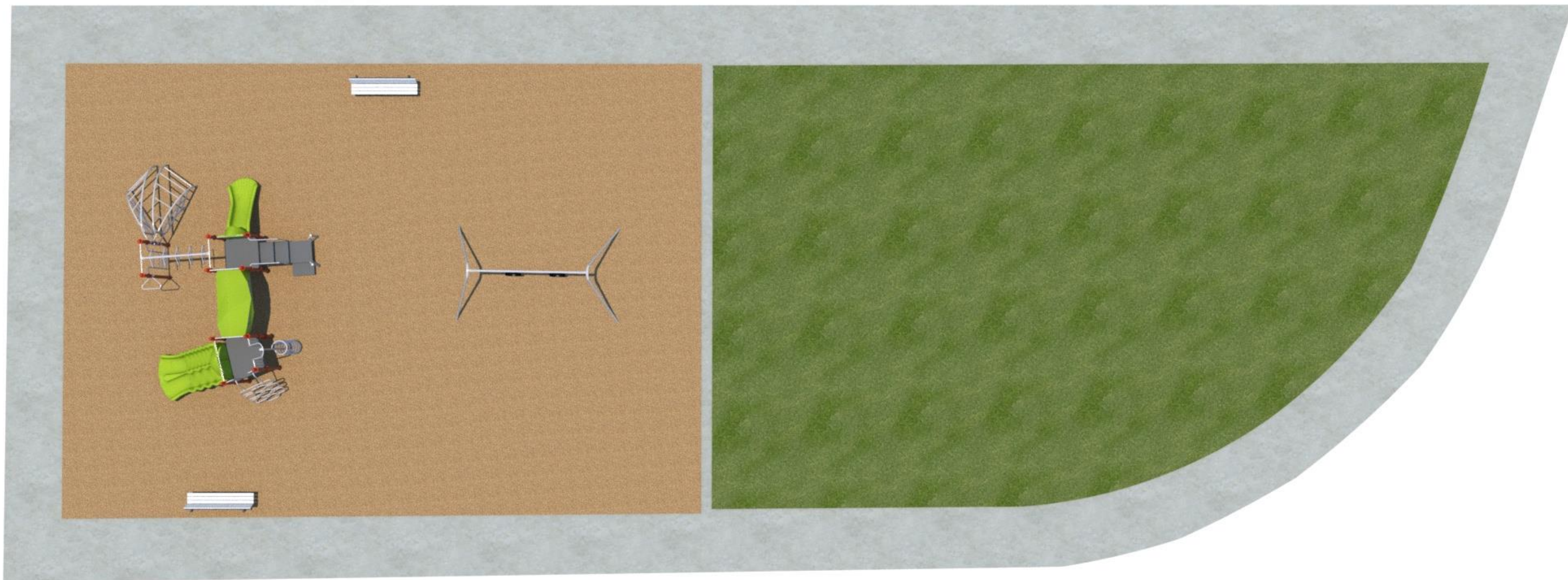
Santaquin, Utah





Ercanbrack - Option 2

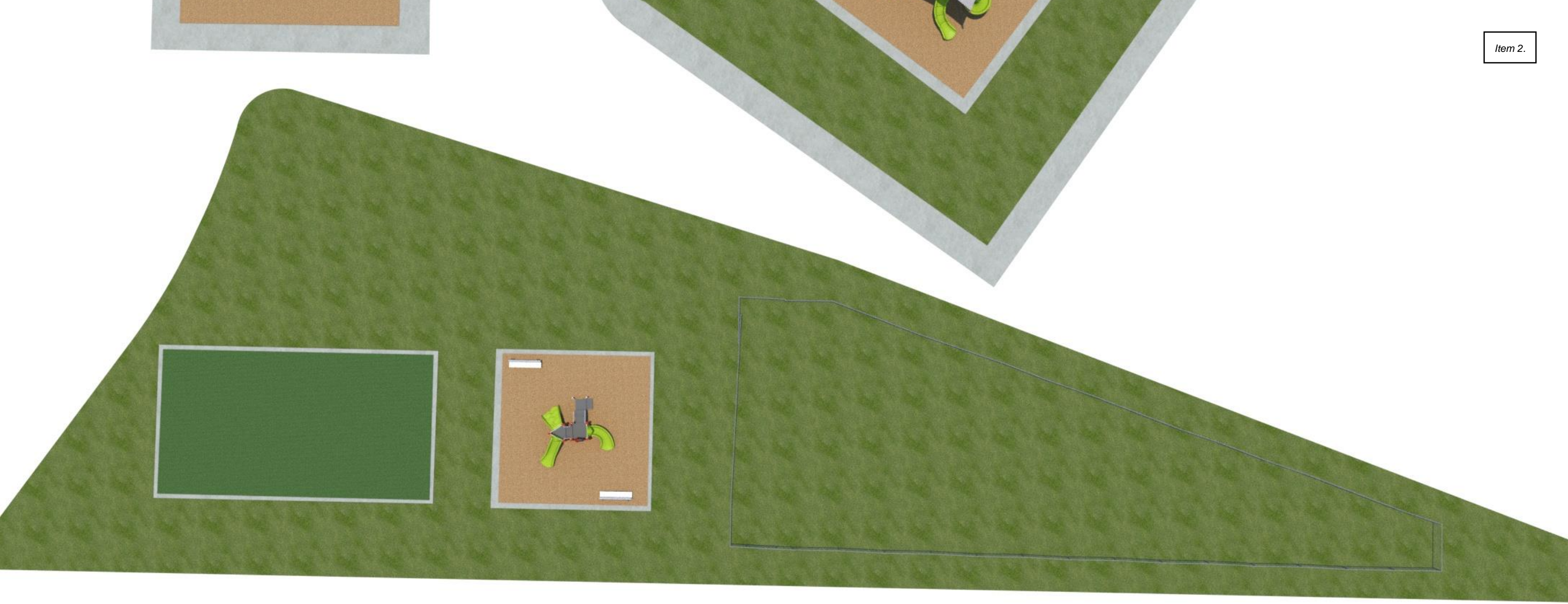
Santaquin, Utah



Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah





Ercanbrack - Option 2

Santaquin, Utah

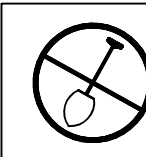




Ercanbrack - Option 2

Santaquin, Utah



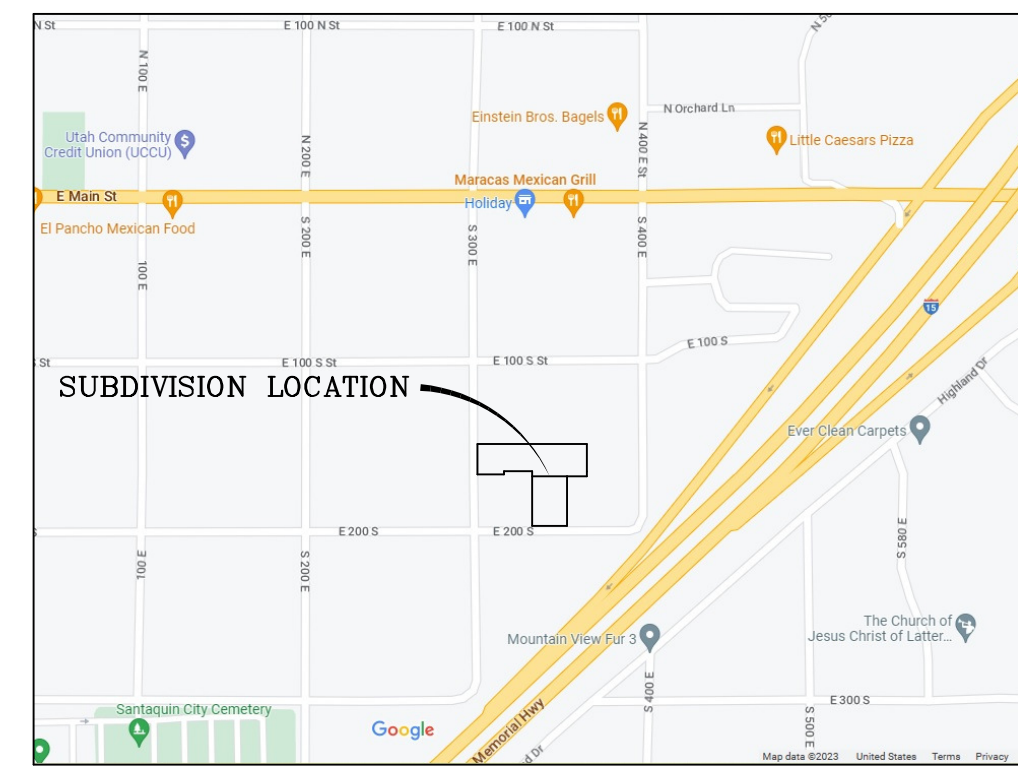


NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-962-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

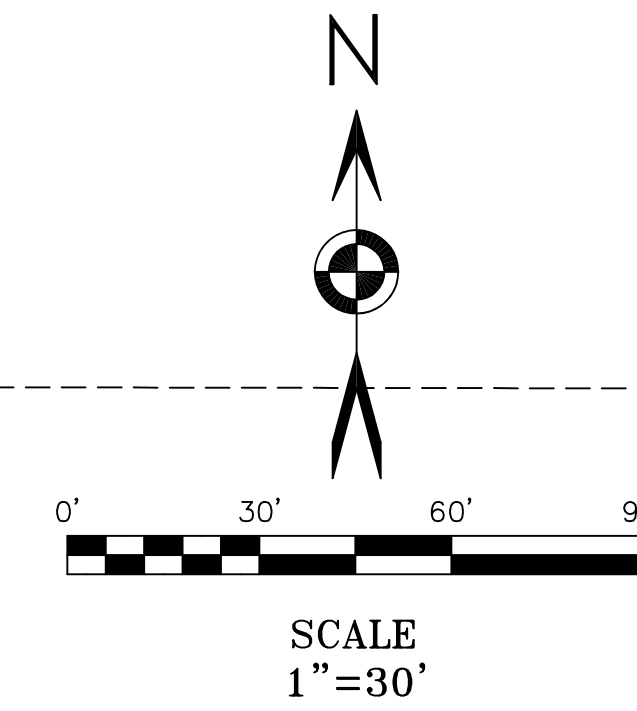
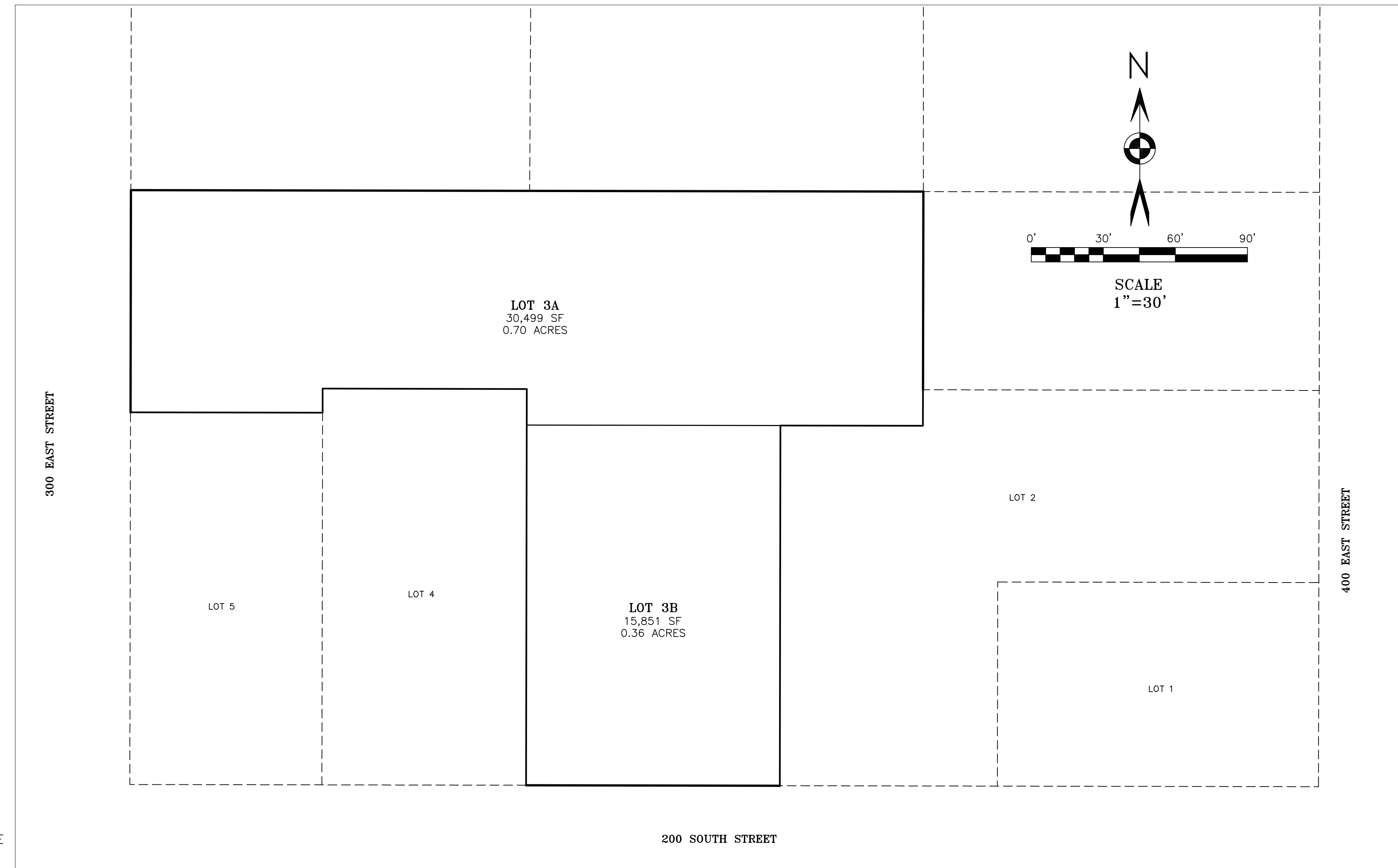
PLAT "A" Z.L. GOODALL SUBDIVISION AMENDED LOT 3

SANTAQUIN CITY, UTAH COUNTY, UTAH

SHEET #	SHEET NAME
1	COVER SHEET
2	FINAL PLAT "A" AMENDED LOT 3
3	UTILITY PLAN



VICINITY MAP
-NTS-



DATA TABLE:
ZONING=R-8
TOTAL # OF LOTS=2
TOTAL ACREAGE=1.06

GENERAL NOTE:
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

DEVELOPER:
MARC BING
801-420-7909
explodingmarc@gmail.com

ENGINEER/SURVEYOR:
LUDLOW ENGINEERING
435-623-0897
1451 S MAIN
NEPHI, UT 84648

REVISIONS

- | | |
|----|----|
| 1. | 4. |
| 2. | 5. |
| 3. | 6. |

PROJECT NO.: LE 4237 SURVEYOR/DIRECTOR: D. PENROD
 DATE: FEBRUARY 2023 FIELD SURVEYOR: M. JACOBSON
 SCALE: N/A DRAWN: K. ROUNDY
 REVISION: CHECKED: B. LUDLOW



LUDLOW ENGINEERING & ASSOCIATES

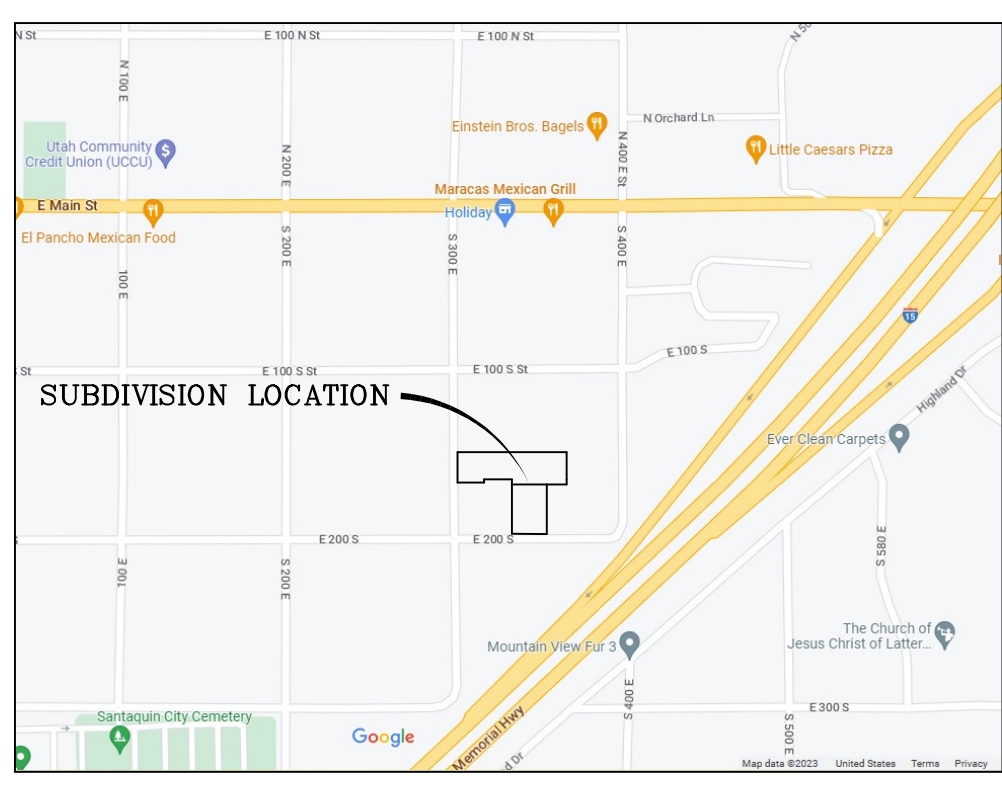
Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
 Claim Surveys * Control Networks * Construction Surveys * Topography
 Civil * Sewer & Water Design * Residential & Commercial Structure
 Subdivision Design * Site Plans * Road Design
 1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

COVER SHEET

PLAT "A" Z.L. GOODALL SUBDIVISION
AMENDED LOT 3

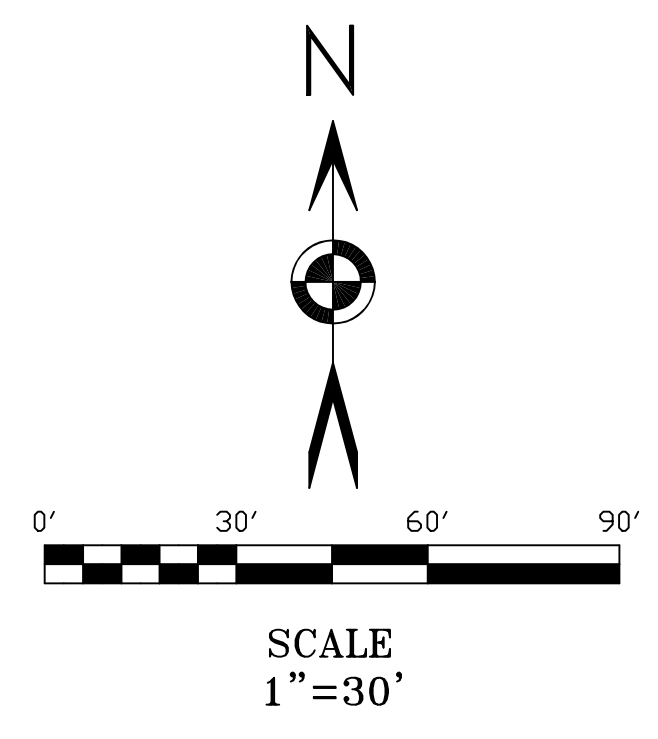
SECTION 1, T 10 S, R 1 E, SLB&M,
SANTAQUIN CITY, UTAH COUNTY, UTAH
FEBRUARY 2023

PLAT "A" Z.L. GOODALL SUBDIVISION AMENDED LOT 3



VICINITY MAP
-NTS-

- LEGEND**
- = FOUND 5/8" REBAR WITH CAP
 - = SECTION CORNER
 - = LAND OWNER DEED DESCRIPTION LINE
 - = DESCRIBED BOUNDARY
 - = SETBACK
 - = EASEMENT
 - XXX N. = ADDRESS



CERTIFICATION

I Daryl N. Penrod, do hereby certify that I am a registered land surveyor, and that I hold a license in accordance with Title 58, chapter 22, professional Engineers and Land Surveyors Licensing Act, Utah Code Annotated, 1953 as amended, certificate no. 5331527. I further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, and easements, have completed a survey of the property described on this plat in accordance with Section 17-23-17, Utah code Annotated, 1953 as amended, have verified all measurements, and have placed monuments as represented on the plat.

DARYL N. PENROD _____ DATE _____

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES NORTH 1536.80 FEET AND WEST 107.14 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; SAID POINT BEING THE SOUTHWEST CORNER OF BLOCK 15, PLAT "B", SANTAQUIN CITY SURVEY; AND RUNNING THENCE ALONG THE SOUTH LINE OF SAID BLOCK N89°53'36"W 224.33 FEET TO THE TRUE POINT OF BEGINNING; AND CONTINUING THENCE ALONG THE SOUTH LINE OF SAID BLOCK N89°53'36"W 105.67 FEET TO THE SOUTHEAST CORNER OF LOT 4 OF THE PLAT "A" Z.L. GOODALL SUBDIVISION; THENCE N00°06'24"E 165.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 4; THENCE N89°53'36"W 85.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 4; THENCE S00°06'24"W 10.00 FEET TO THE NORTHEAST CORNER OF LOT 5 OF SAID SUBDIVISION; THENCE N89°53'36"W 80.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 5; THENCE N00°06'24"E 92.50 FEET TO THE MID-BLOCK LINE; THENCE S89°53'36"E 330.00 FEET ALONG THE MID-BLOCK LINE; THENCE S00°06'24"W 97.50 FEET TO THE NORTH LINE OF LOT 2 OF SAID SUBDIVISION; THENCE N89°53'36"W 59.33 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE S00°06'24"W 150.00 FEET TO THE POINT OF BEGINNING. CONTAINING 1.06 ACRES OF LAND.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENT AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D. 20____.

MARC H. BING _____ DALAYN G. BING _____

ACKNOWLEDGMENT

STATE OF UTAH) s.s.
COUNTY OF UTAH)
ON THE ____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, MARC H. BING AND DALAYN G. BING, THE SIGNERS OF THE FOREGOING CERTIFICATE WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC _____

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF _____, A.D. 20____ BY _____ THE PLANNING COMMISSION.

CHAIRMAN _____ DIRECTOR / SECRETARY _____

UTILITY APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT TO ACCESS SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS ____ DAY OF _____ 20____
BY: DOMINION ENERGY
TITLE: _____

ROCKY MOUNTAIN POWER _____ DATE _____
CENTRACOM _____ DATE _____
CENTURY LINK _____ DATE _____

PLAT "A"

Z.L. GOODALL

AMENDED LOT 3

SUBDIVISION

SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, S.L.B. & M.
SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE 1"= 30 FEET

SURVEYOR	CITY/COUNTY ENGINEER	CLERK-RECORDER	NOTARY PUBLIC

COUNTY RECORDER'S CERTIFICATE

SETBACK REQUIREMENTS:

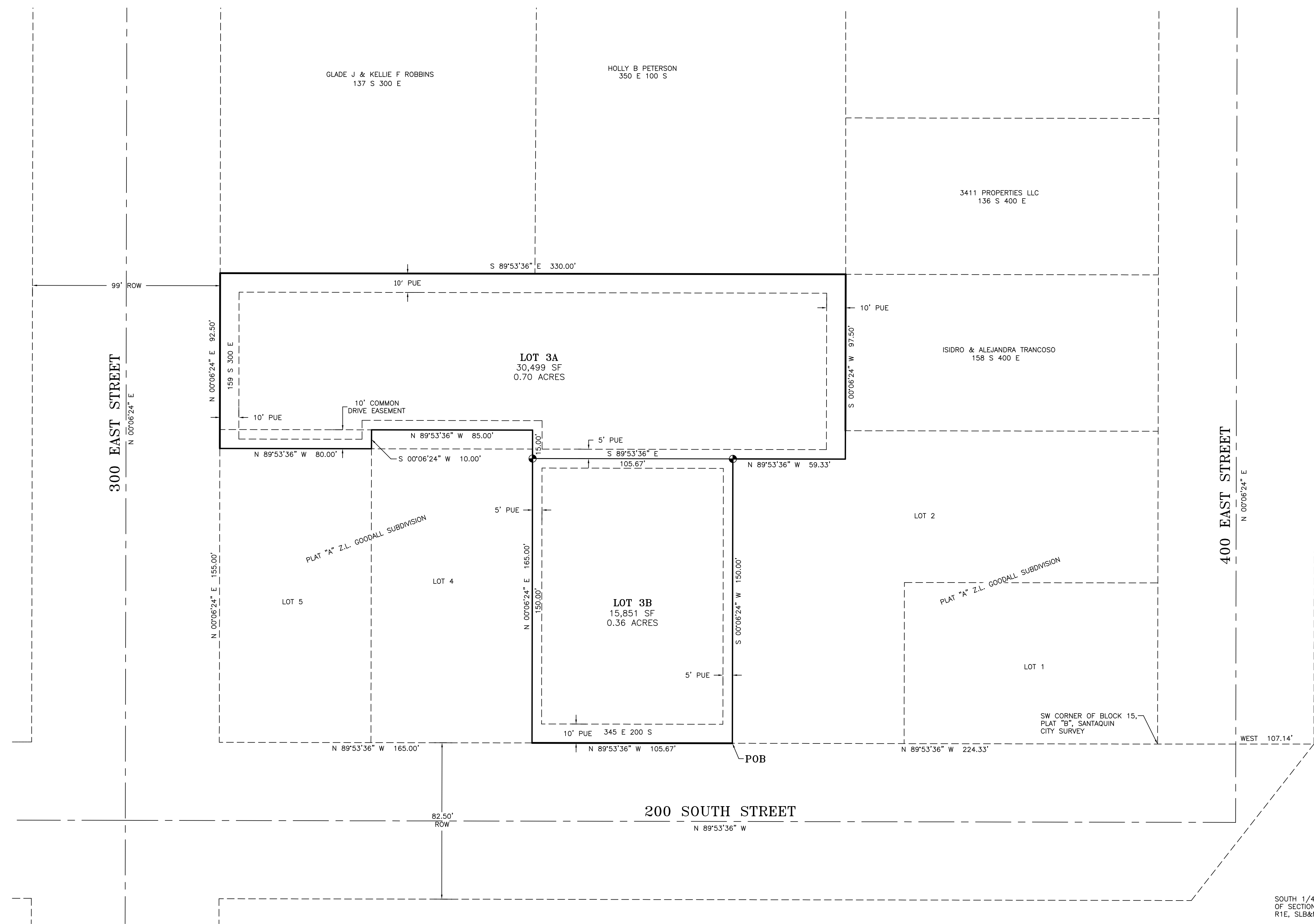
- FRONT=
 - 15.00' TO COVERED PORCHES
 - 20.00' TO LIVING AREA OR GARAGE SIDE
 - 25.00' TO GARAGE DOOR
- SIDE=8.00'
- REAR=25.00'

GENERAL NOTE:

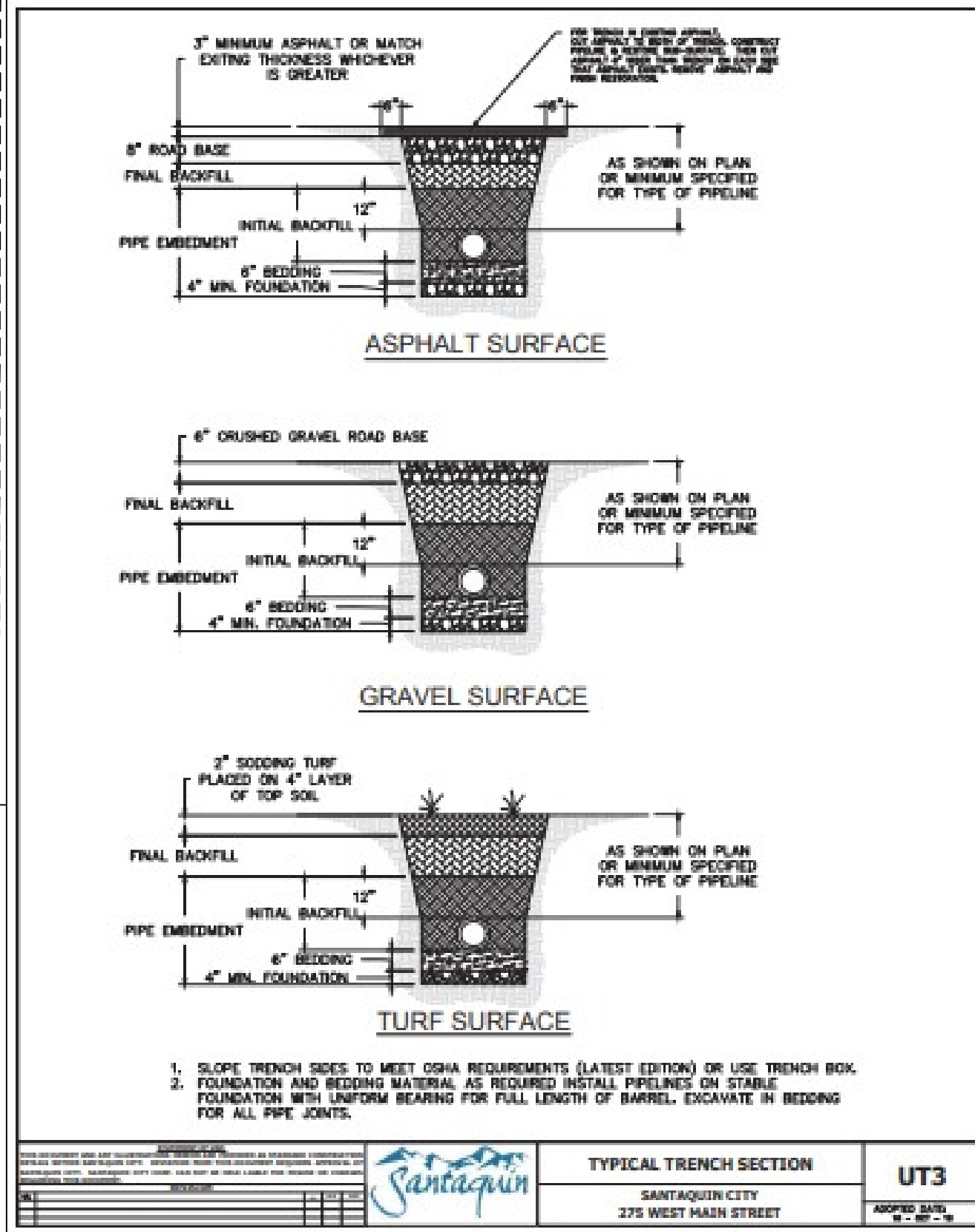
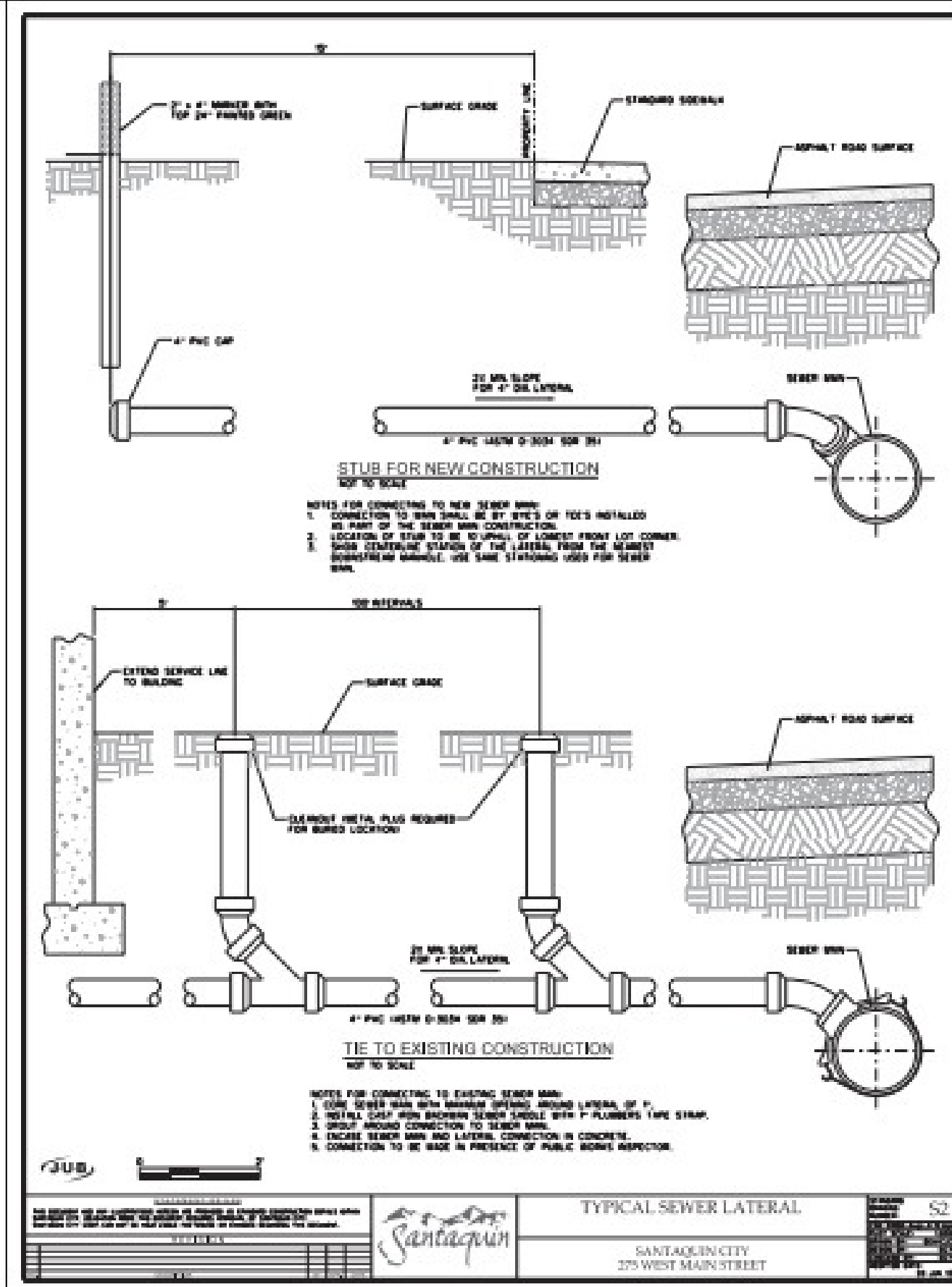
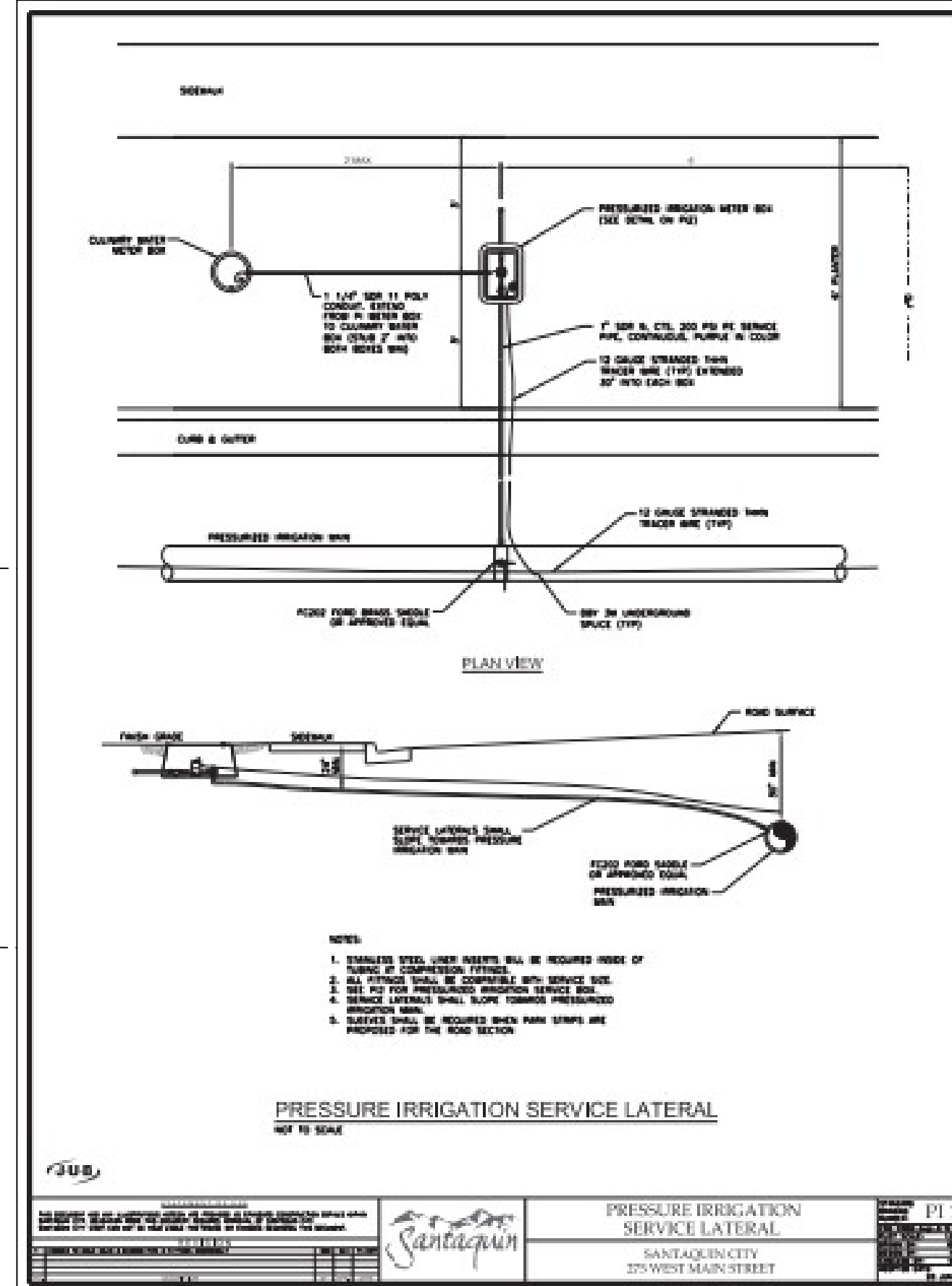
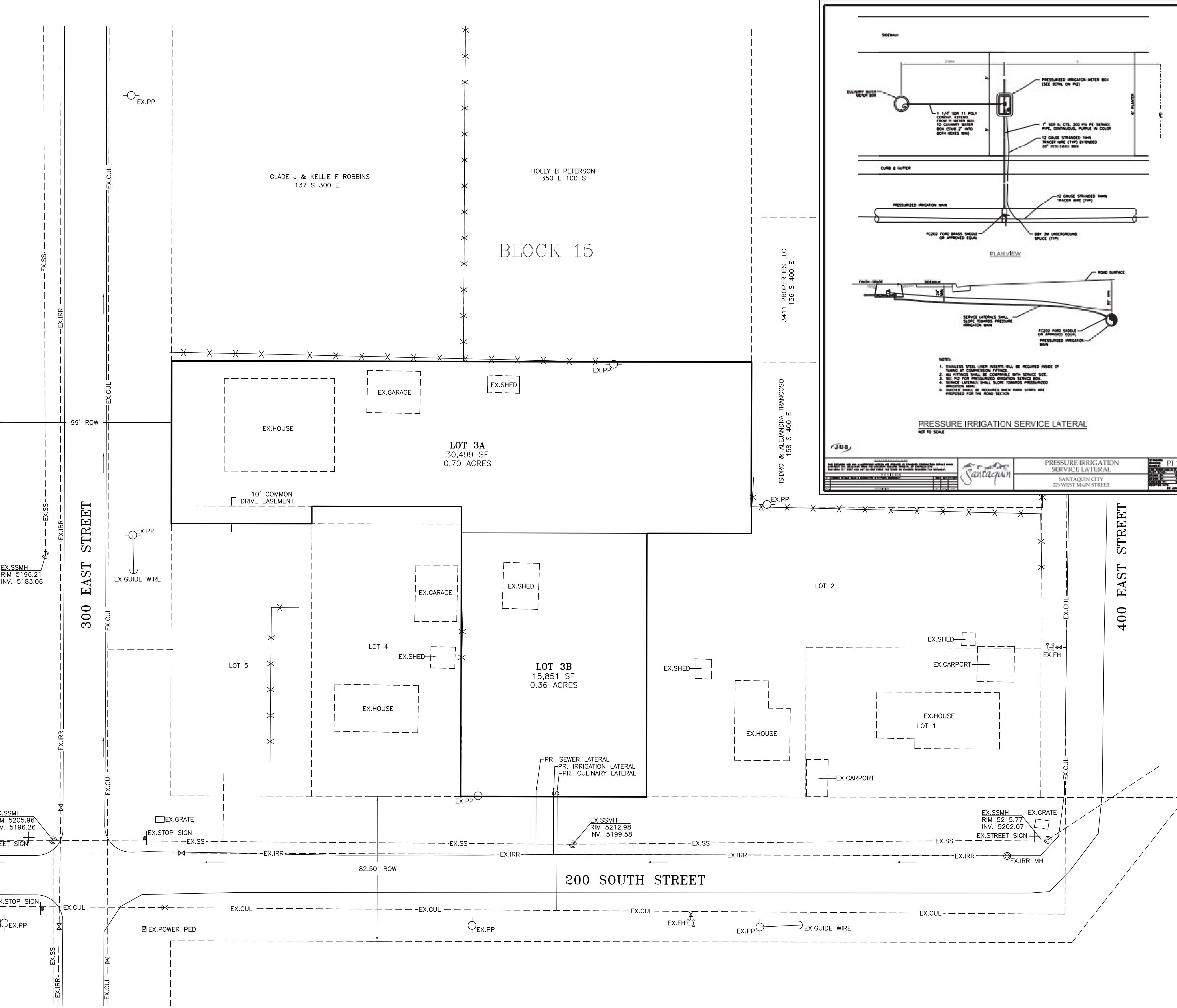
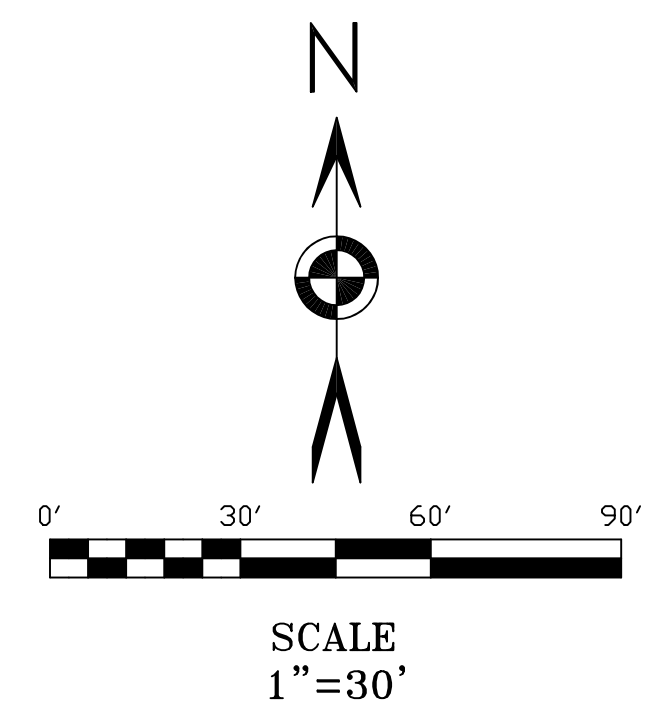
THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.



NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-862-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



REVISIONS

1. _____	4. _____
2. _____	5. _____
3. _____	6. _____

PROJECT NO.: LE 4237 SURVEYOR/DIRECTOR: D. PENROD
 DATE: FEBRUARY 2023 FIELD SURVEYOR: M. JACOBSON
 SCALE: 1" = 30' DRAWN: K. ROUNDY
 REVISION: _____ CHECKED: B. LUDLOW

LUDLOW ENGINEERING & ASSOCIATES
 Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
 Claim Surveys * Control Networks * Construction Surveys * Topography
 Civil * Sewer & Water Design * Residential & Commercial Structure
 Subdivision Design * Site Plans * Road Design
 1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

UTILITY PLAN

PLAT "A" Z.L. GOODALL SUBDIVISION
 AMENDED LOT 3
 SECTION 1, T 10 S, R 1 E, S1B&M,
 SANTAQUIN CITY, UTAH COUNTY, UTAH
 FEBRUARY 2023

3



DRC Members in Attendance: Building Official Randy Spadafora, Public Works Director Jason Callaway, City Engineer Jon Lundell, Fire Marshall Taylor Sutherland, Police Chief Rod Hurst, Assistant City Manager Jason Bond, City Manager Norm Beagley.

Others in Attendance: Recorder Amalie Ottley, Planner Camille Moffat, Senior Planner Loren Wiltse, Officer Kayson Shepherd, Council Member Art Adcock, Alex Rugg with CentraCom.

Engineer Lundell called the meeting to order at 10:00 a.m.

Ridley's Phase 3 Preliminary/Final Plan

A preliminary/final plan review of a 2-lot commercial subdivision located north of Main Street and east of 500 east.

Shaun Young attended the meeting via Zoom.

Building Official Spadafora had no comments.

Public Works Director Callaway inquired about the water meter on Lot #11. The applicant indicated their plans are to tap into the main line as other lots are developed. City Engineer Lundell informed the applicant that any subdivision lot requires fully improved lots including irrigation, sewer, and culinary service laterals. Engineer Lundell stated he will check the city code to see if a deferment would be possible for the water meter.

Fire Marshall Sutherland and the applicant discussed locations of the water hydrants in Phases 2 and 3.

Police Chief Hurst inquired about the addressing off of 500 east.

Assistant Manager Bond pointed out that as a matter of procedure, the process for the plans could be considered as both Preliminary and Final. The applicant indicated that they would prefer today's review be considered as both a Preliminary and Final.

City Engineer Lundell pointed out notes on the plats that need to be corrected i.e., for the East Santaquin Irrigation Company. Assistant Manager Bond suggested that the access for the East Santaquin Irrigation Company may require an additional curb cut for access to the site. The applicant indicated that the Santaquin Irrigation Company represented that they wouldn't require an additional curb cut. As such, the applicant is not currently planning on the additional curb cut along 500 East. Engineer Lundell, the DRC, and the applicant discussed where curb cuts, high back curbs and/or aprons and sidewalks will be located along Lot #11. Engineer Lundell addressed that all lots require easements to be provided for commercial and service access. The applicant indicated that the easements will be recorded and provide cross-access for all phases. Manager Beagley and the applicant discussed where the easements will show on the plat so that when the plats are recorded the easements will be included with the recordation. Assistant Manager Bond clarified that the access road isn't showing on the plat and subdivision improvements would need to be shown with the access road plat addition.

Building Official Spadafora confirmed that addressing has been provided.

Assistant Manager Bond made a motion to recommend approval of the Ridley’s Subdivision Plat C Preliminary and Final Plans in the streamlined process to the Planning Commission with the condition that redlines be addressed and any other outstanding items be addressed prior to the subdivision being added to a Planning Commission agenda. Building Official Randy Spadafora seconded the motion.

Police Chief Rodney Hurst	Yes
Public Works Director Jason Callaway	Yes
Fire Marshall Taylor Sutherland	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Nebo School District Animal Structure Site Plan

A site plan review of a public education facility located at approximately 400 East and E Highline Canal Road.

A representative from Nebo School District was not able to attend the meeting.

Assistant Manager Bond clarified that the school district’s current intentions are for a temporary use of the land for agricultural purposes. Per Santaquin City Code, the use for the site plan purposed is allowed whether it’s permanent or temporary.

Building Official Spadafora indicated that the addressing was based off of 400 East even though access will be along the Highline Canal Road.

Public Works Director Callaway clarified that there will be no restrooms at the site, stating that water will be used for handwashing and basic gray-water runoff. Engineer Lundell pointed out that the applicant will be installing an 8-inch water line along the east end of the existing Royal Land Drive extending to the west side of the school district property and then connecting a 2-inch line to service the buildings. Manager Beagley inquired if the applicant with be cutting the road on 200 East to accommodate the new water line. Engineer Lundell confirmed that a road cut will be necessary. Manager Beagley addressed the road cut fee required by city code.

Fire Marshall Sutherland pointed out that a fire hydrant for the site will need to be provided. Currently the plans show a hydrant located more than 1,000 feet away, bringing up concerns for emergency response and access. As such, a pipeline larger than 2 inches may be required. Due to the pipelines not looping back into the city’s system, Fire Marshall Sutherland was unsure if there is enough pressure to support the hydrant. Fire Marshall Sutherland indicated that fire approval of school district sites/building are approved by State of Utah Fire Marshall rather than the city. Taylor stated he will reach out to the State Fire Marshall to address concerns about a fire hydrant being 1,000 feet away from any potential structural fires.

Police Chief Hurst had no comments.

Assistant Manager Bond pointed out that the Trail Master Plan shows that a trail will run through the north end of the property and may need to be looked at long term, along with other items like fencing, when the site is more fully developed.

Manager Beagley addressed concerns he’s heard from city staff and the public about construction already happening at the site. Manager Beagley specified that a site plan submitted by the school district is different than other site plans in that the School District as authorized by State code, had a lot of autonomy when it comes to building permits, building inspections, site plan requirements, etc. Manager Beagley reiterated that the specific agricultural use requested by the applicant is specifically allowed in existing Santaquin City code. He went on to say that as city has input for utility services and emergency responses the city will continue to work with the school district as closely as possible. Engineer Lundell pointed out that impact fees and improvements are similar to other types of site plans and are still required for the school district.

Lastly, Engineer Lundell pointed out that access point labels for the site are missing on the plans and need to be clarified.

Fire Marshall Sutherland recommended that the site plan be tabled so that further communication with the State Fire Marshall’s office can provide more guidance for water and access to utilities. Fire Marshall Sutherland made a motion to table the Nebo School District Animal Structure Site Plan. Assistant Manager Bond seconded the motion.

Members of the DRC discussed further the possible requirement for an 8-inch line for fire flows and pressure. Models will need to be completed for the hydrant should the State Fire Marshall recommend it.

- | | |
|--------------------------------------|-----|
| Police Chief Rodney Hurst | Yes |
| Public Works Director Jason Callaway | Yes |
| Fire Marshall Taylor Sutherland | Yes |
| City Manager Norm Beagley | Yes |
| Assistant City Manager Jason Bond | Yes |
| Building Official Randy Spadafora | Yes |
| City Engineer Jon Lundell | Yes |

Motion passed unanimously in favor.

Meeting Minutes Approval

Manager Beagley made a motion to approve the DRC Meeting Minutes from February 14, 2023 and February 28, 2023. Public Works Director Callaway seconded the motion.

- | | |
|--------------------------------------|-----|
| Police Chief Rodney Hurst | Yes |
| Public Works Director Jason Callaway | Yes |
| Fire Marshall Taylor Sutherland | Yes |
| City Manager Norm Beagley | Yes |
| Assistant City Manager Jason Bond | Yes |

Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Adjournment

The meeting was adjourned at 10:34 a.m.

Jon Lundell, Engineer



Amalie R. Ottley, Recorder

DRAFT