



PLANNING COMMISSION

Tuesday, January 11, 2022, at 7:00 PM
Court Room/Council Chambers (2nd Floor) and Online

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
 - **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.
-

PUBLIC COMMENT & PUBLIC HEARING PARTICIPATION

As with all City Council and Planning Commission Meetings, we continue to invite the public to provide “Public Comment” (30-minute duration, maximum of 5-minutes per comment). We also continue to hold Public Hearings, as needed, and required on specific issues.

With the post-pandemic restoration of public gatherings, Santaquin City is pleased to restore pre-pandemic meeting protocols by inviting the public to participate in-person. For those interested in providing public comment, we invite you to sign up on the Public Forum Speaker Sheet.

For those who are unable to attend in person, we invite you to submit your comments by email to PublicComment@Santaquin.org wherein they will be distributed to the Mayor and City Council Members for review and consideration. However, they will not be read during the meeting.

To review the Santaquin City Council Meeting Protocols, please go to the following link:
<https://www.santaquin.org/citycouncil/page/santaquin-city-council-protocols>.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

WELCOME

INVOCATION/INSPIRATION THOUGHT

PLEDGE OF ALLEGIANCE

ORDER OF AGENDA ITEMS

PUBLIC FORUM

DISCUSSION & POSSIBLE ACTION

1. **PUBLIC HEARING- Mehlhoff Property Rezone**

The Planning Commission will conduct a Public Hearing and consider a recommendation to the City Council to amend the Santaquin City Zoning Map to change the zoning of a portion of the Mehlhoff property located at approximately 300 W. and 1000 S. (Parcel ID's 32:017:0102 & 32:017:0197) from Interchange Commercial (C-1) Zone to the R-10 PUD Residential Zone.

2. **PUBLIC HEARING- Tanner (Eklof) 2-Lot Subdivision Concept Plan**

The Planning Commission will conduct a Public Hearing and review a concept plan for a proposed 2-Lot Subdivision located at approximately 439 S. 200 W.

3. **Ridley's 3-Lot Commercial Subdivision Preliminary/Final Plan Review**

The Planning Commission will review a Preliminary/Final plan for a proposed 3-lot commercial subdivision located at approximately Main Street and 500 E.

4. **Lind 2-Lot Subdivision Preliminary/Final Review**

The Planning Commission will review a preliminary/final plan for a proposed 2-Lot Subdivision located at 315 N. Center Street.

5. **Timber Valley 3-Lot Subdivision Preliminary/Final Plan Review**

The Planning Commission will review a Preliminary/Final plan for a proposed 3-lot Subdivision located at 465 N. 500 W.

OTHER BUSINESS

6. **Approval of Meeting Minutes from**

December 14, 2021

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on www.santaquin.org, as well as posted on the State of Utah's Public Notice Website.

BY:



K. Aaron Shirley, City Recorder

MEMORANDUM



To: Planning Commission
From: Ryan Harris, Staff Planner
Date: January 7, 2022
RE: **Mehlhoff Rezone Request**

It is proposed that the Planning Commission and City Council consider amending the Santaquin City Zoning Map to change the zoning of a portion of the Mehlhoff property (Parcel ID's 32.:017:0102 & 32:017:0197) from Interchange Commercial (C-1) Zone to R-10PUD Residential Zone. The area proposed to be rezoned is currently vacant and consists of approximately 34.58 acres of land.

The applicants, Mr. Dester and Mr. Mehlhoff, have submitted a concept plan (Attachment 2) that shows a possible layout of the development. This conceptual plan is the applicant's justification for why the proposed zone change should be approved. This review is not approving any development on the site. This review is for the Planning Commission to forward a recommendation on the rezone to the City Council.

A Similar proposal (Attachment 3) was unanimously denied by the City Council on June 2, 2020. The current proposal's concept plan shows changes to the layout and types of residential dwellings as seen when compared with attachment 3.

Staff Recommendation: It is recommended that the Planning Commission provide a recommendation to the City Council regarding the proposed rezone of a portion of the Mehlhoff property from Interchange Commercial Zone (C-1) to R-10PUD Residential Zone.

Recommended motion: "Motion to forward a (positive or negative) recommendation to the City Council that approximately 34.58 acres of the Mehlhoff property be rezoned from Interchange Commercial Zone (C-1) to R-10PUD Residential Zone.

Attachments:

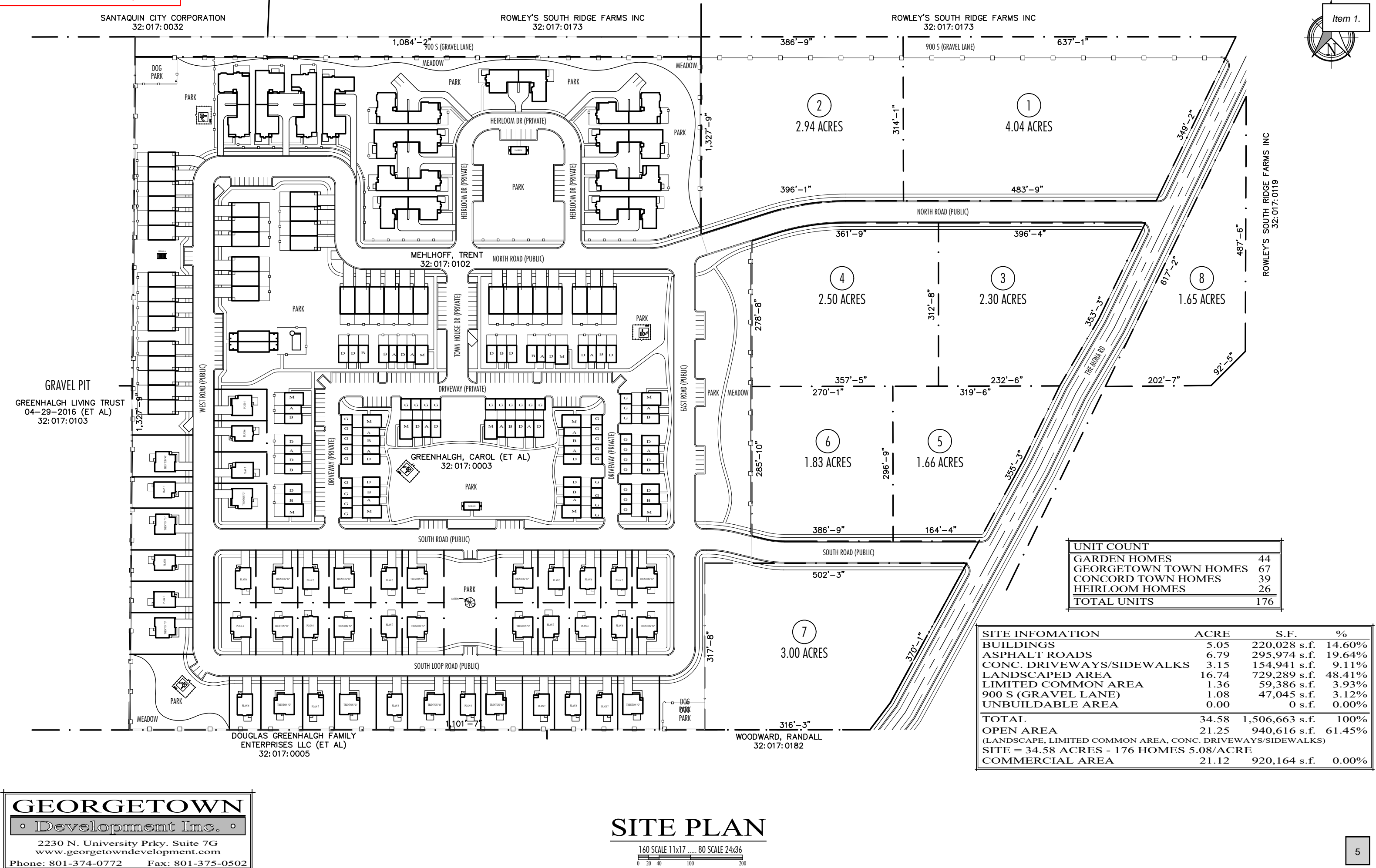
1. Proposed and Existing Zoning Map
2. Concept Plan
3. Past Concept Plan

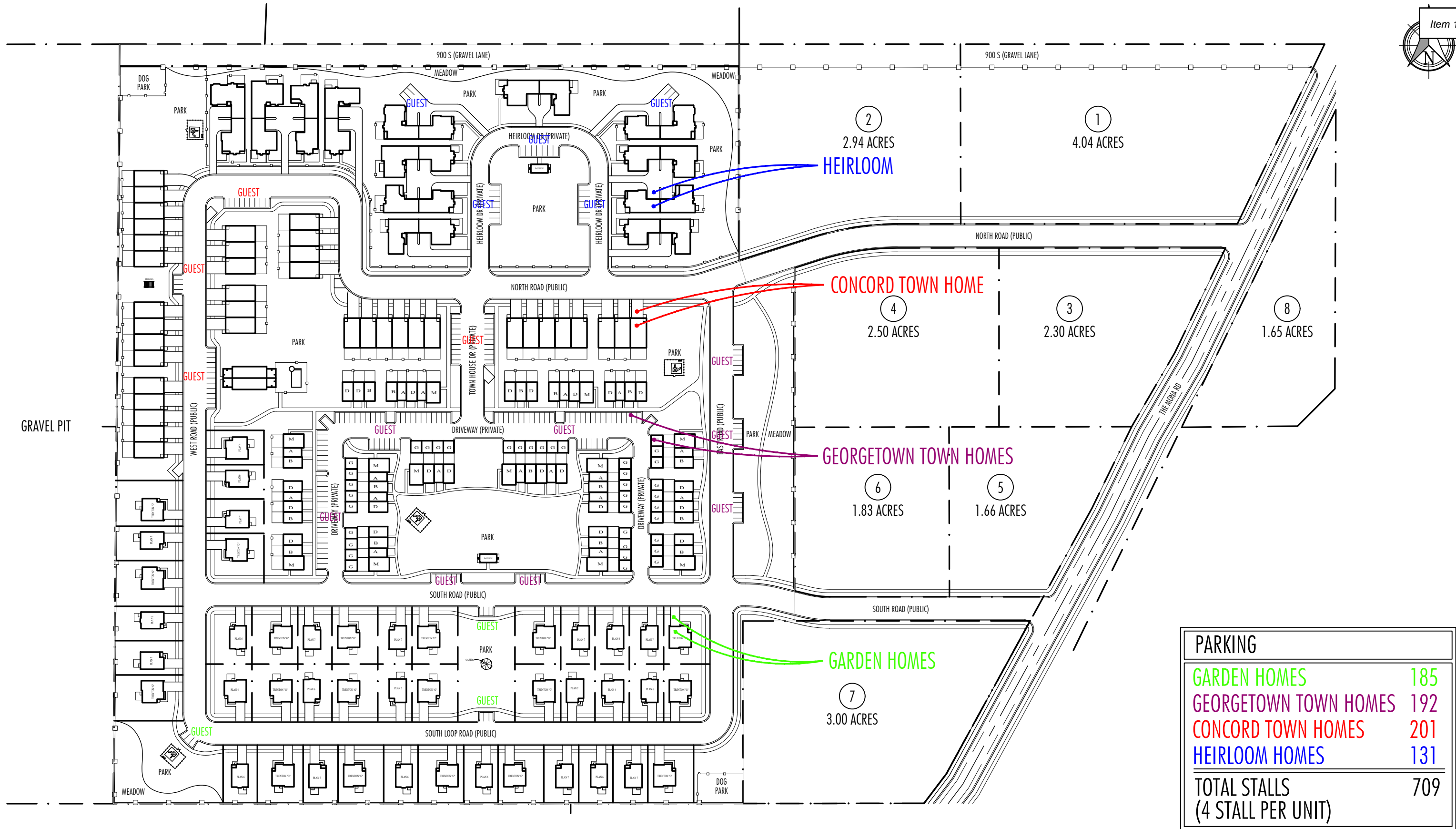
The map displays the following land use zones and features:

- C-1:** Red zones, primarily in the center and left.
- R-10 PUD:** Olive green zone in the center.
- R-15:** Yellow zones in the top right and bottom right.
- Ag:** Dark green zone in the top center.
- PC:** Orange zone in the bottom left.
- PF:** Blue zone along the river in the bottom right.

Key roads and landmarks include:

- 5100 W** and **5200 W** running diagonally.
- 51st Ave**, **52nd Ave**, **53rd Ave**, **54th Ave**, **55th Ave**, **56th Ave**, **57th Ave**, **58th Ave**, **59th Ave**, **60th Ave**, **61st Ave**, **62nd Ave**, **63rd Ave**, **64th Ave**, **65th Ave**, **66th Ave**, **67th Ave**, **68th Ave**, **69th Ave**, **70th Ave**, **71st Ave**, **72nd Ave**, **73rd Ave**, **74th Ave**, **75th Ave**, **76th Ave**, **77th Ave**, **78th Ave**, **79th Ave**, **80th Ave**, **81st Ave**, **82nd Ave**, **83rd Ave**, **84th Ave**, **85th Ave**, **86th Ave**, **87th Ave**, **88th Ave**, **89th Ave**, **90th Ave**, **91st Ave**, **92nd Ave**, **93rd Ave**, **94th Ave**, **95th Ave**, **96th Ave**, **97th Ave**, **98th Ave**, **99th Ave**, **100th Ave**.
- 51st St**, **52nd St**, **53rd St**, **54th St**, **55th St**, **56th St**, **57th St**, **58th St**, **59th St**, **60th St**, **61st St**, **62nd St**, **63rd St**, **64th St**, **65th St**, **66th St**, **67th St**, **68th St**, **69th St**, **70th St**, **71st St**, **72nd St**, **73rd St**, **74th St**, **75th St**, **76th St**, **77th St**, **78th St**, **79th St**, **80th St**, **81st St**, **82nd St**, **83rd St**, **84th St**, **85th St**, **86th St**, **87th St**, **88th St**, **89th St**, **90th St**, **91st St**, **92nd St**, **93rd St**, **94th St**, **95th St**, **96th St**, **97th St**, **98th St**, **99th St**, **100th St**.
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GEORGETOWN

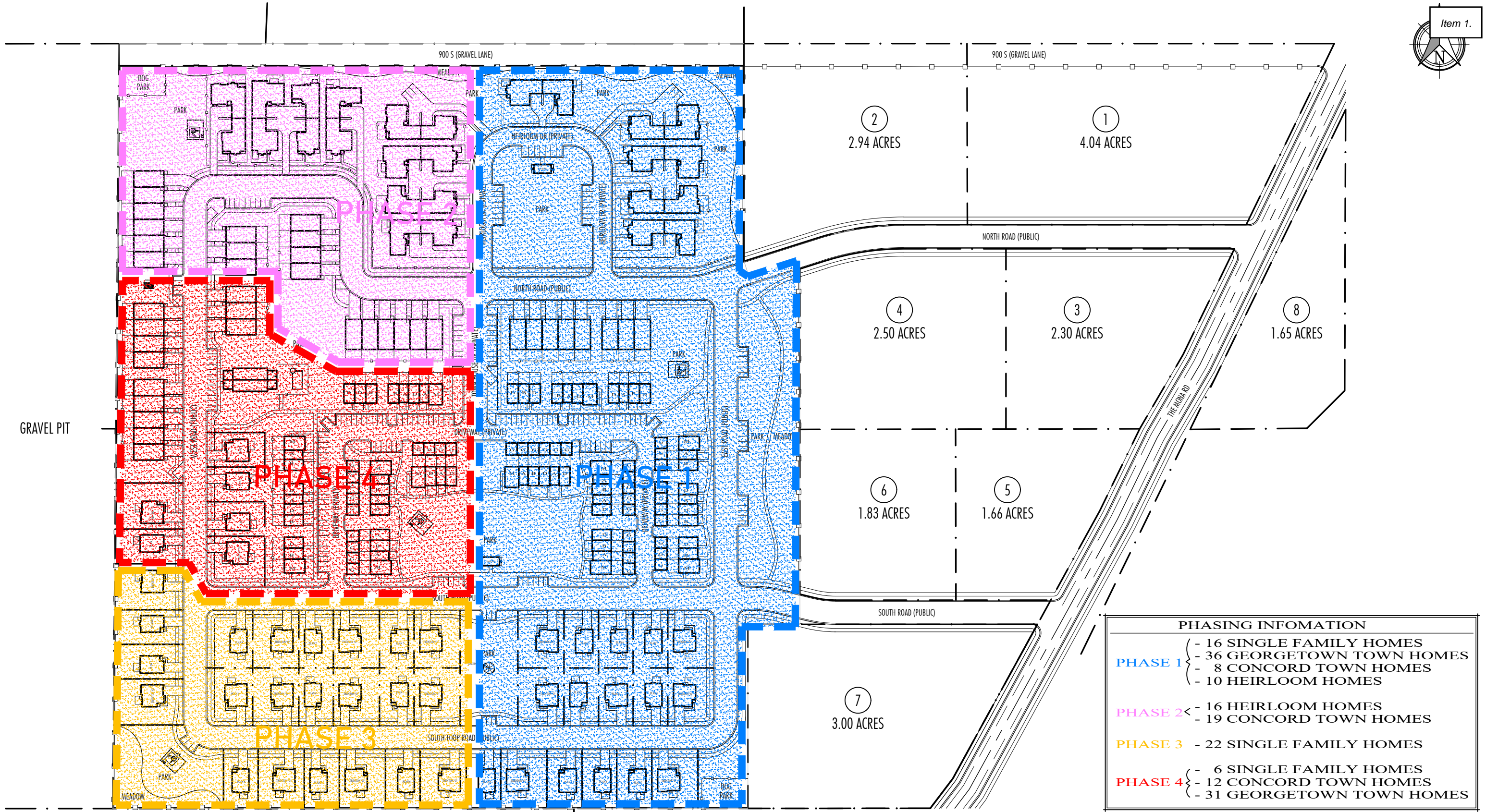
Development Inc.

2230 N. University Prky. Suite 7G
www.georgetowndevelopment.com

Phone: 801-374-0772 Fax: 801-375-0502

PARKING PLAN

1/60 SCALE 11x17 80 SCALE 24x36
0 20 40 100 200



GEORGETOWN

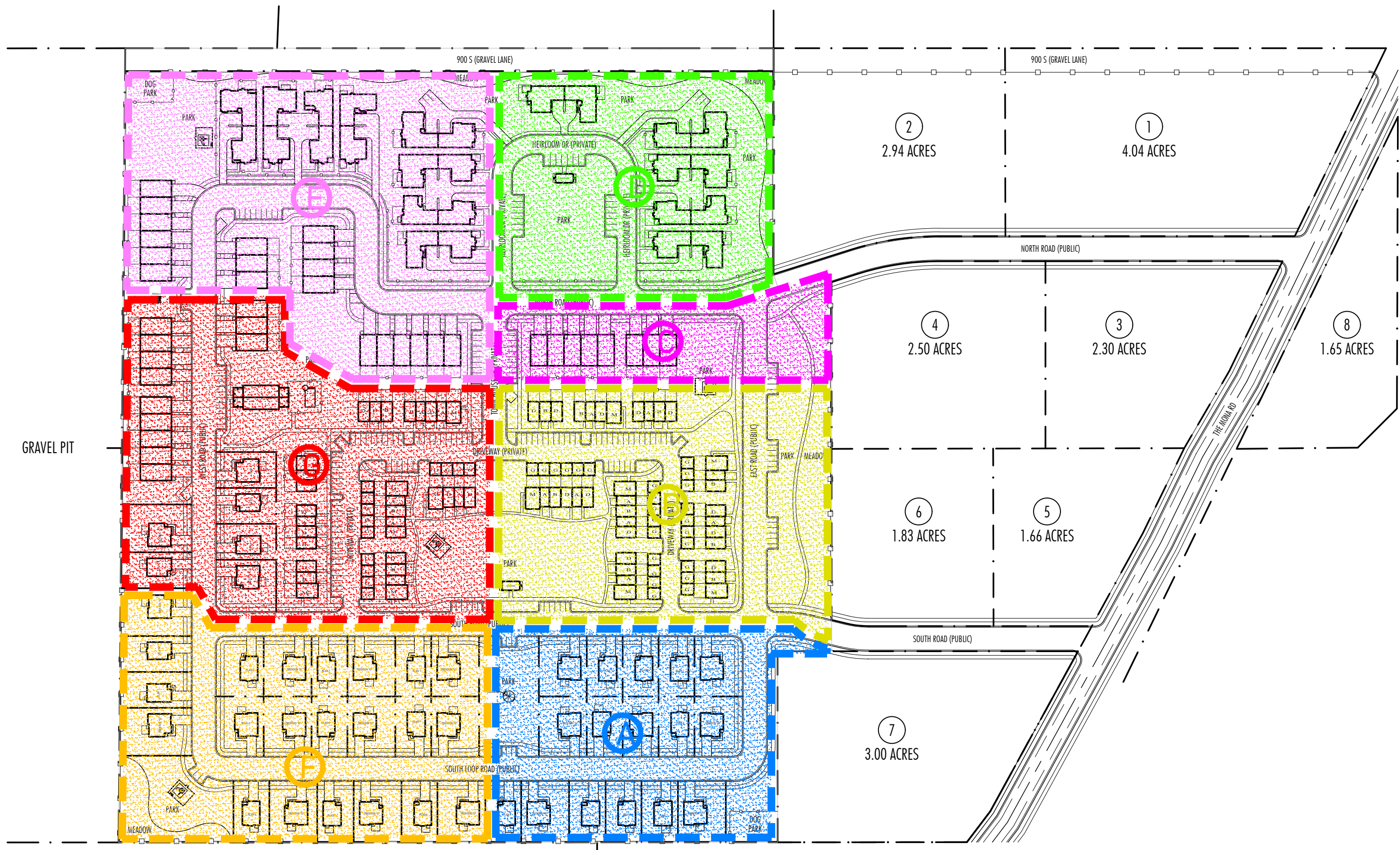
Development Inc.

2230 N. University Prky. Suite 7G
www.georgetowndevelopment.com

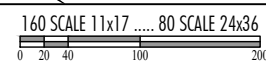
Phone: 801-374-0772 Fax: 801-375-0502

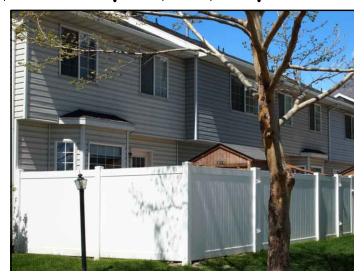
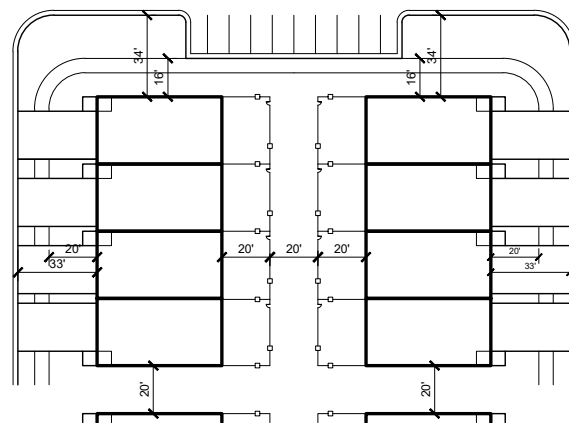
PHASING PLAN

160 SCALE 11x17 80 SCALE 24x36
0 20 40 100 200



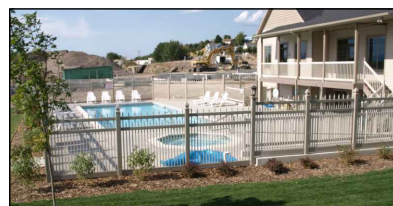
PLAT MAPS (WITHIN PHASES)





6' VINYL PRIVACY FENCE

CONCORD TOWNHOUSE FENCES



6' VINYL POOL FENCE



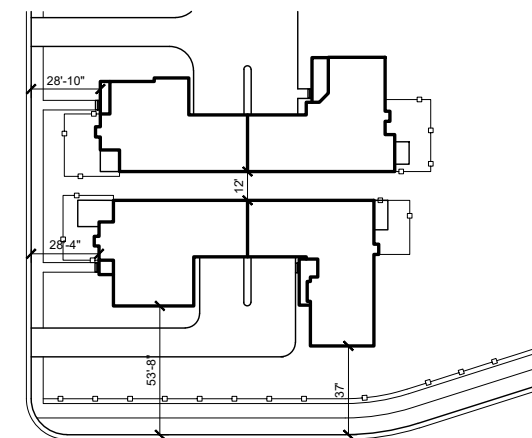
CLUBHOUSE POOL



6' RHINO CONCRETE WALL



SITE PERIMETER WALL



Item 1.

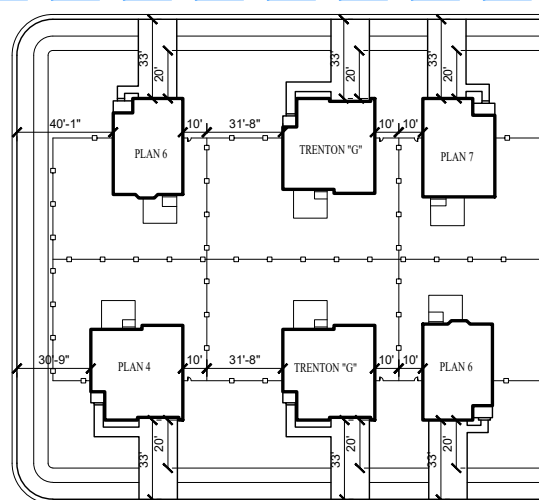


6' VINYL PRIVACY FENCE



4' WROUGHT IRON FENCE

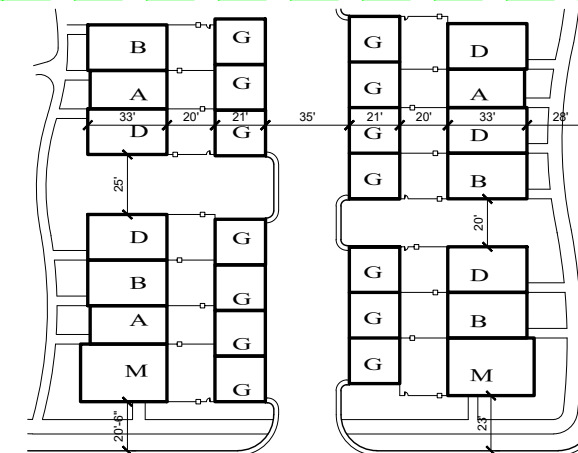
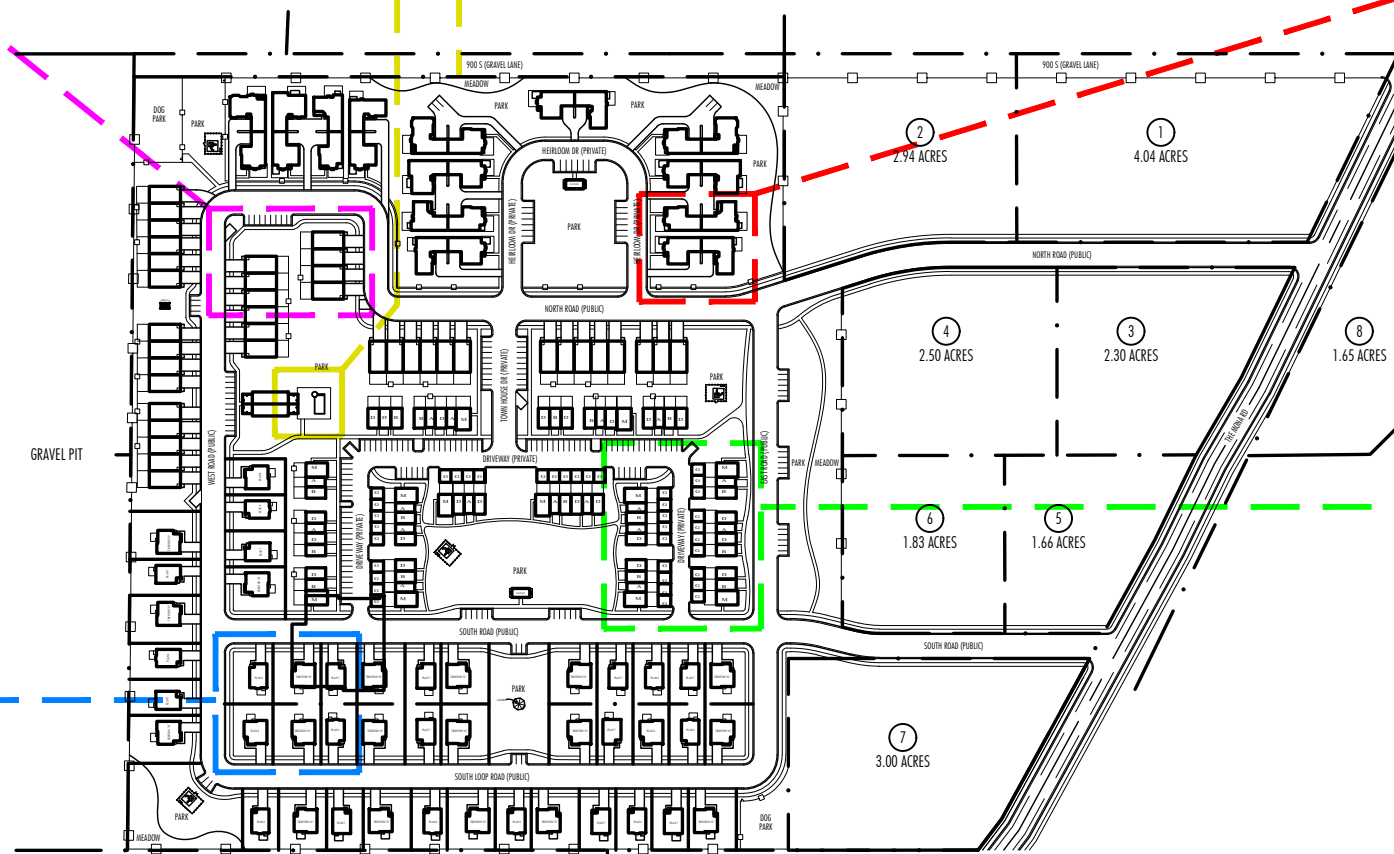
HEIRLOOM HOME FENCES



6' VINYL PRIVACY FENCE



GARDEN HOME FENCES



6' VINYL PRIVACY FENCE

GEORGETOWN TOWNHOME FENCES

GEORGETOWN

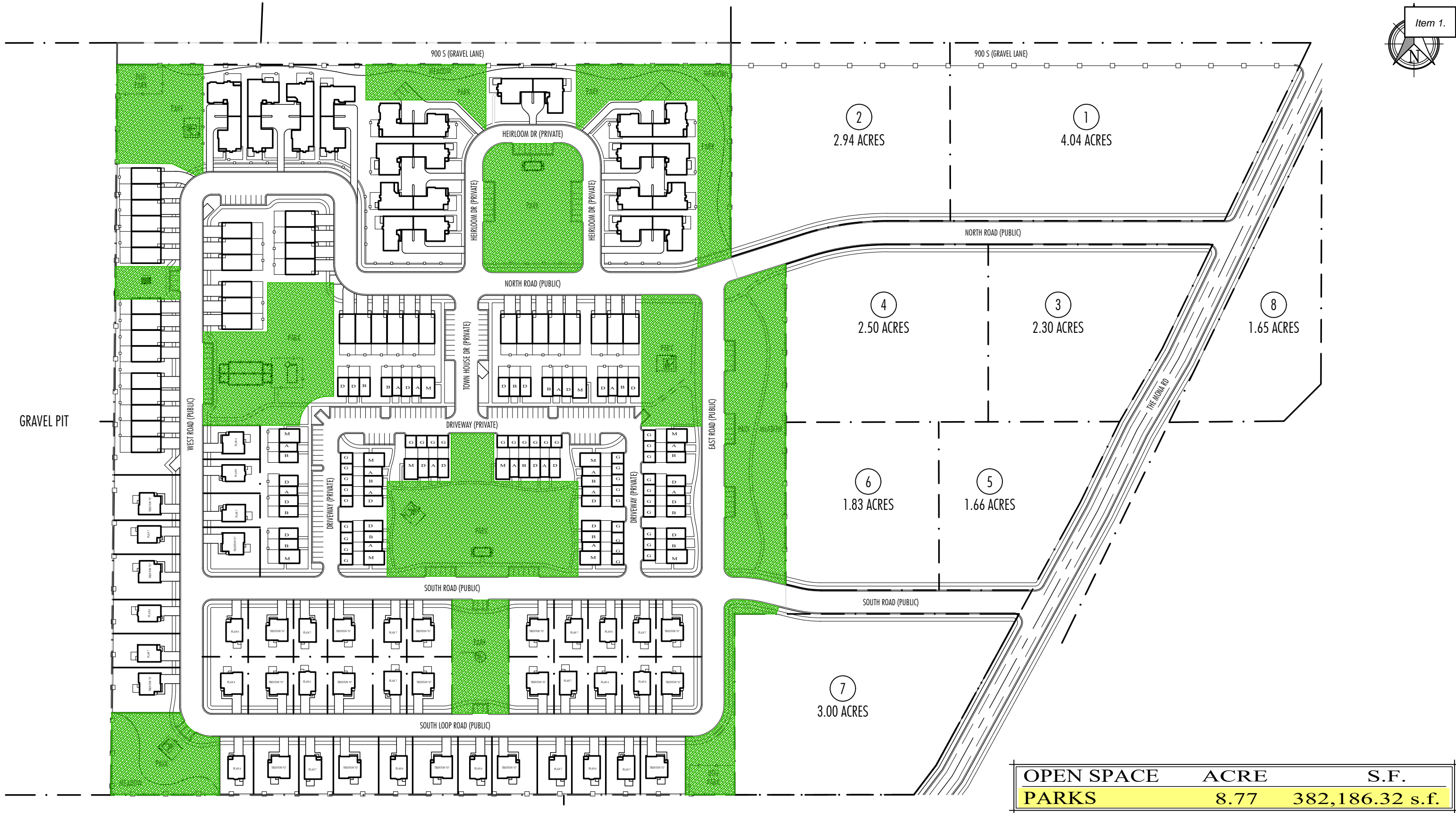
Development Inc.

2230 N. University Prky. Suite 7G
www.georgetowndevelopment.com

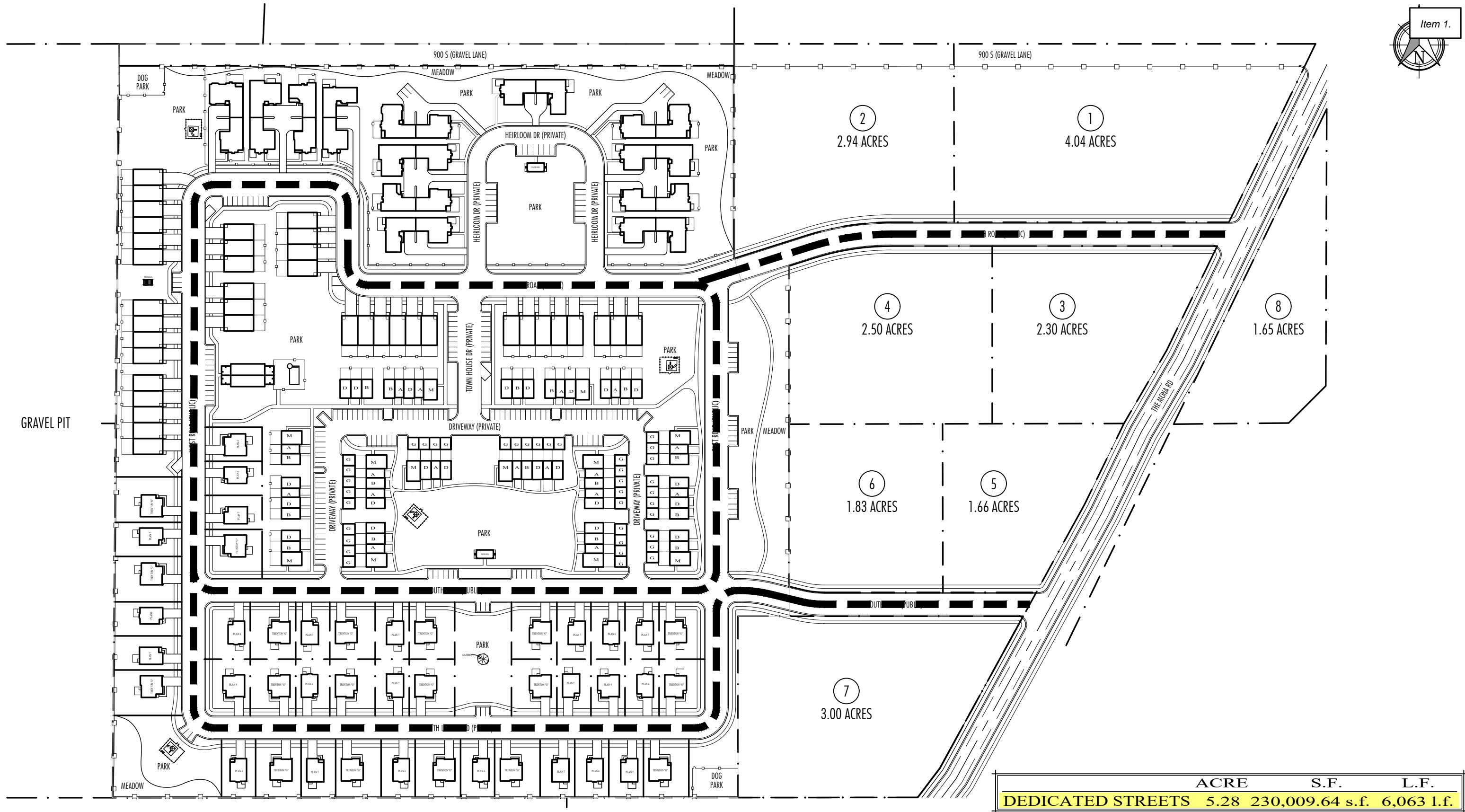
Phone: 801-374-0772 Fax: 801-375-0502

TYP. BUILDING SETBACKS/FENCING PLAN

NTS SCALE 11x17 NTS SCALE 24x36
0 20 40 100 200



CONSOLIDATED PARK OPEN SPACES



GEORGETOWN

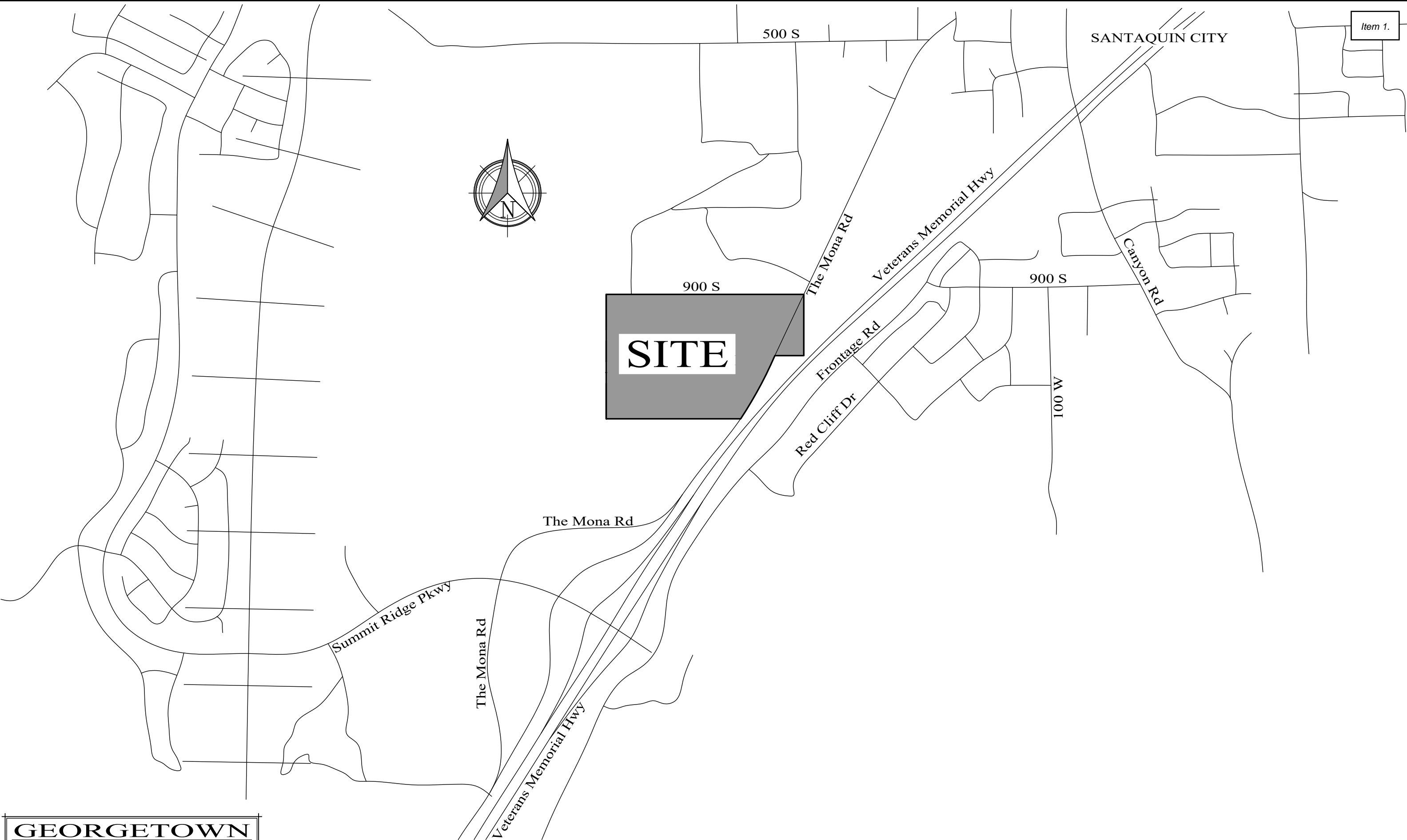
Development Inc.

2230 N. University Prky. Suite 7G
www.georgetowndevelopment.com

Phone: 801-374-0772 Fax: 801-375-0502

DEDICATED STREET AREA

1/60 SCALE 11x17 80 SCALE 24x36
0 20 40 100 200



GEORGETOWN

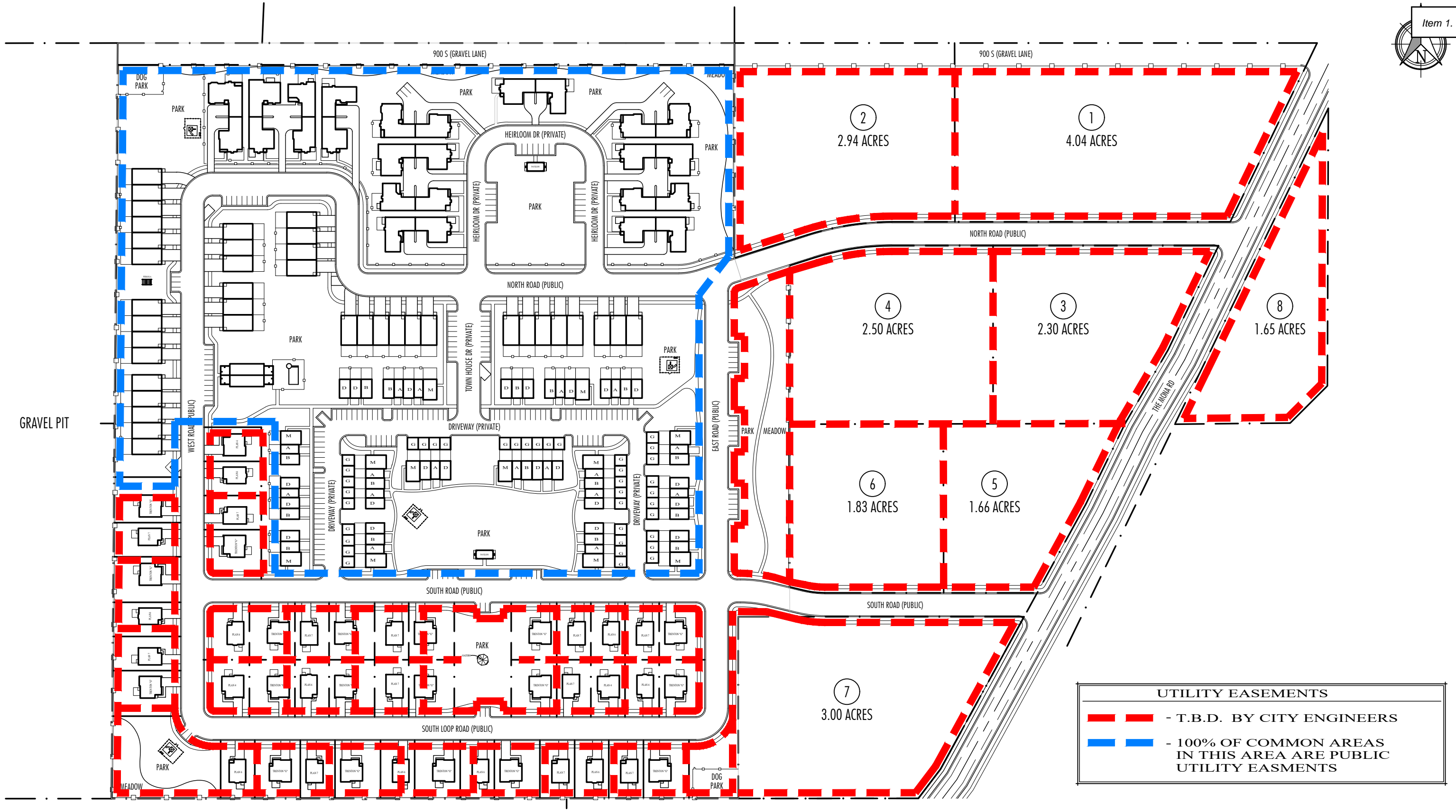
◦ Development Inc. ◦

2230 N. University Prky. Suite 7G
www.georgetowndevelopment.com

Phone: 801-374-0772 Fax: 801-375-0502

VICINITY MAP

NTS SCALE 11x17 NTS SCALE 24x36





MEHLHOFF PROPERTY

GEORGETOWN
Development inc
2230 N. UNIVERSITY PKWY., SUITE 7G
PROVO, UT. 84604
PHONE 374-0772 FAX 375-0502
www.georgetowndevelopment.com

UNIT COUNT	
GARDEN HOMES	47
TOWN HOMES	67
LG TOWN HOMES	46
PATIO HOMES	18
<hr/>	
TOTAL UNITS	178

MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: January 7, 2022

RE: **Tanner (Eklof) Subdivision Concept Review**

Zone: R-10 Size: .35 Acres Lots: 2
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The Tanner (Eklof) Subdivision is located at 439 South 200 West. The proposed subdivision is in the R-8 zone and consists of 2 lots on .35 acres. The applicant is proposing to split the existing lot into two lots. The R-8 zone requires each lot to have minimum of 80 feet of frontage and a minimum lot size of 8,000 square feet. At this time, a survey has not been conducted on the proposed subdivision. This isn't required at the concept stage. The lot size will be verified when a survey is done when preliminary/final plans are submitted. They estimate the lot sizes to be between 7,600-10,000 square feet. If any of the lot sizes are under 7,600 square feet, the applicant will request the infill development exception that will be discussed in the next paragraph. Both lot frontages are estimated at 82.5 feet. There is an existing house that will be on the corner lot, which will meet all required setbacks with the proposed property lines.

The infill reduction standards can be found in Santaquin City Code ([SCC 10.32](#)). The Planning Commission is the deciding body for infill reduction requests and the decision will be made during the preliminary review. To be able to propose infill reduction standards, the subdivision shall meet one of the definitions of "Infill Development" found in SCC 10.32.010 and be in the core area of town. The proposed subdivision falls under Section B of SCC 10.32.010 and is in the core area of town. Three lots within a proposed subdivision can use the infill reduction (SCC 10.32.030). The infill reduction standards allow for the lot area and frontage to be reduced by no more the 20% of the underlying zone. If the infill reduction is approved, the frontage along a lot can be reduced to 64 feet and the size of a lot can be reduced to 6,400 square feet.

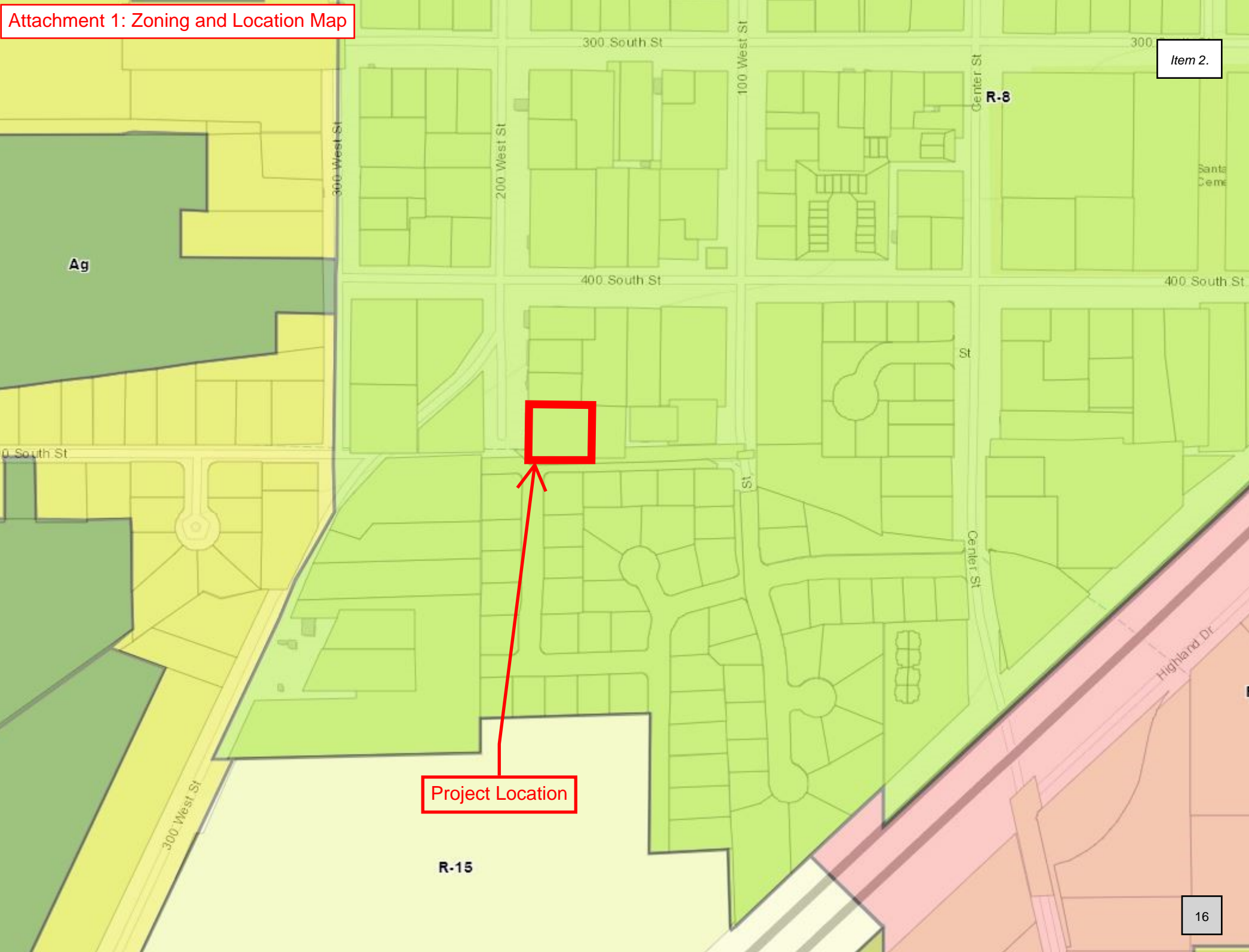
Santaquin City Code requires that all street improvements (i.e. sidewalk, curb and gutter, asphalt, etc.) be put in with any new subdivision. The applicant will be required to install all street improvement on 200 West and connect 200 West to 500 South.

This is a subdivision concept review and is for the Planning Commission to give feedback to the developer. The review of the concept plan shall not constitute an approval or recommendation of any kind.

Subdivisions with three lots or less have a streamlined review process. After the concept review, the developer will need to submit preliminary/final subdivision plans. These plans will be reviewed by the Development Review Committee (DRC) and a recommendation will be forwarded to the Planning Commission. The Planning Commission will be the land use authority and will approve the subdivision. The subdivision has vested rights once it receives final approval by the Planning Commission.

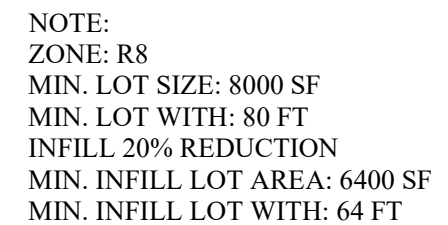
Attachments:

1. Zoning and Location Map
2. Concept Plan



Item 2.

Project Location



DATE	REVISION
PROJECT # ----	
CAD DWG FILE: SKETCH PLAN.dwg	
DRAWN BY: #####	
CHECKED BY: #####	
DESIGNED BY: #####	
PRELIMINARY DRAWING NOT FOR CONSTRUCTION	
SHEET TITLE: -----	
SHEET NAME: CONCEPT	
SHEET	1 OF 1

MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: July 9, 2021

RE: **Ridley's Phase 2 Commercial Subdivision Preliminary/Final Review**

Zone: C-1 Size: 3.559 acres Lots: 3

The Ridley's Subdivision is located at approximately 500 East and Main Street. The proposed commercial subdivision is in the C-1 zone and consists of 3 lots on 3.559 acres. There are no minimum or maximum frontage or lot size requirements in the C-1 land use regulations.

There will be a second access to this subdivision from the north. A portion of the access road will not be located within this subdivision. The developer has a cross access and utility easement on the property to the north where the access road and utilities are located.

Subdivisions with three lots or less can combine preliminary and final plans into one submittal. This development qualifies for this streamlined process. The final plans were reviewed by the Development Review Committee and a positive recommendation was forwarded to the Planning Commission. The Planning Commission will be the land use authority for the subdivision.

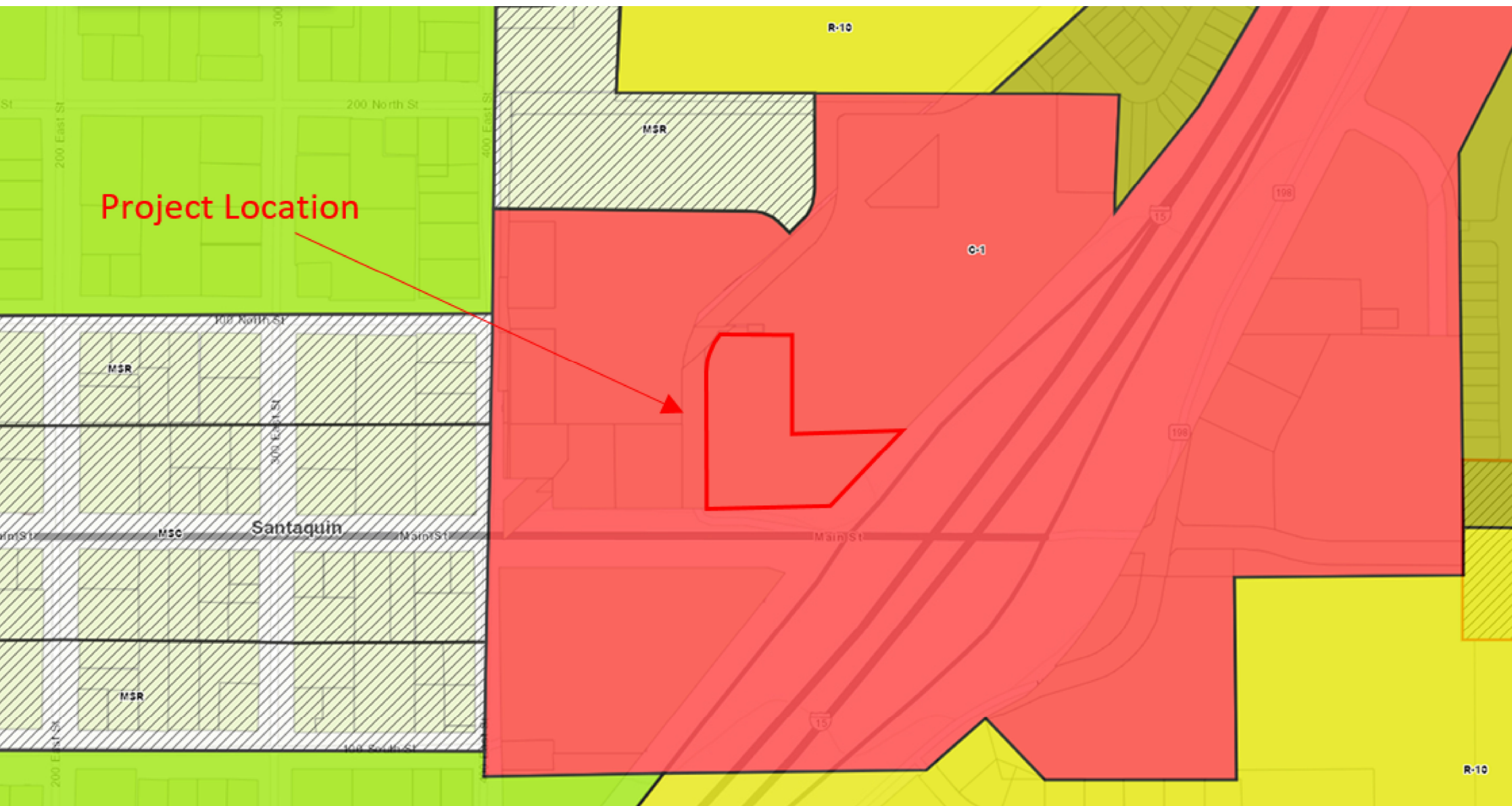
Recommended Motion: "Motion to approve Ridley's Phase 2 Commercial Subdivision with the following condition:

- All engineering redlines be addressed.

Attachments:

1. Zoning and Location Map
2. Preliminary/Final Plans

Attachment 1: Zoning and Location Map



***500 East Main Street
Santaquin, UT, 84655***



C0.0	Cover Sheet
	Subdivision Plat
C0.1	Demolition Plan
C1.0	Phasing Plan
C1.1	Site Plan
C2.1	Grading Plan
C3.0	Overall Utility Plan
C3.1	Sewer Main Plan and Profile
C3.2	Water Main Plan and Profile
C3.3	Water Main Plan and Profile
C4.1	Details
C4.2	Details
C5.1	Erosion Control Plan
C5.2	Erosion Control Details

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Bollard	PVC	Polyvinyl Chloride
BRW	Finish Grade – Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grade
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade – Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Proposed Curb & Gutter		Existing Improvements	
Proposed Open Face C & G		Existing Asphalt	
Proposed Asphalt		Existing Concrete	
Proposed Concrete		Existing Inlet Box	
Proposed Truncated Domes		Existing Catch Basin	
Proposed Inlet Box		Existing Manhole	
Proposed Catch Basin		Existing Fire Hydrant	
Proposed Manhole		Existing Water Valve	
Proposed Transformer		Existing Overhead Power Line	
Proposed Meter Box		Existing Water	
Proposed Water Meter		Existing Secondary Water	
Proposed Combo Box		Existing Sewer	
Proposed Fire Hydrant		Existing Storm Drain	
Proposed Water Valve		Existing Gas	
Proposed Water Line		Existing Power	
Proposed Sanitary Sewer		Existing Telephone	
Proposed Storm Drain		Existing Fence	
Proposed Conduit Line		Flowline	
Proposed Power Line		Centerline	
Proposed Gas Line		Existing Contour	
Proposed Fire Line		Existing Spot	
Proposed Secondary Water Line		Existing Light Pole	
Proposed Roof Drain		Existing Street Light	
Proposed Fence		Existing Telephone Box	
Road Line		Existing Power Meter	
Grade Break		Existing Electrical Box	
Proposed Contour		Existing Electrical Cabinet	
Direction of Drainage		Existing Gas Meter	
Proposed Spot		Existing Water Meter	
ADA Accessible Route		Existing Irrig. Control Box	
Property Line		Existing Bollard	
Sawcut Line		Existing Hose Bib	
Proposed Light Pole		Working Point	
Proposed Street Light		Existing Deciduous Tree	
Proposed Building		Existing Coniferous Tree	
Existing Power Pole		Detail Number	
Existing Power Pole w/ Guy			
Existing Utility Marker			
Existing Post			

It is important for the developer and the general contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. This fact does not relieve the developer or general contractor from full compliance with all minimum state and Santaquin City standards.

All recommendations made in the provided geotechnical report/study shall be followed explicitly during construction of building and site improvements.

CJM Limited
621 Washington Street South
Twin Falls, Idaho 83301-5519

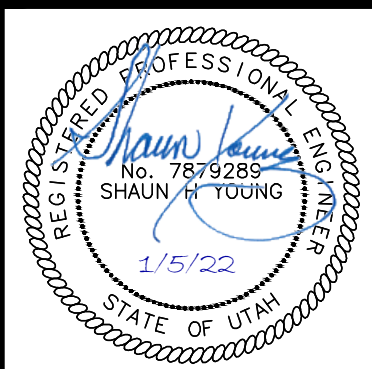


ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 592-8899 — www.andersongroup.net

Cover Sheet

Ridley's Subdivision Phase 2

500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022

SHEET NO.

CO.0

Ridley's Subdivision, Plat B

A part of Parcel A, Ridley's Subdivision, of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, City of Santaquin, Utah County, Utah
2021

21-1324ub

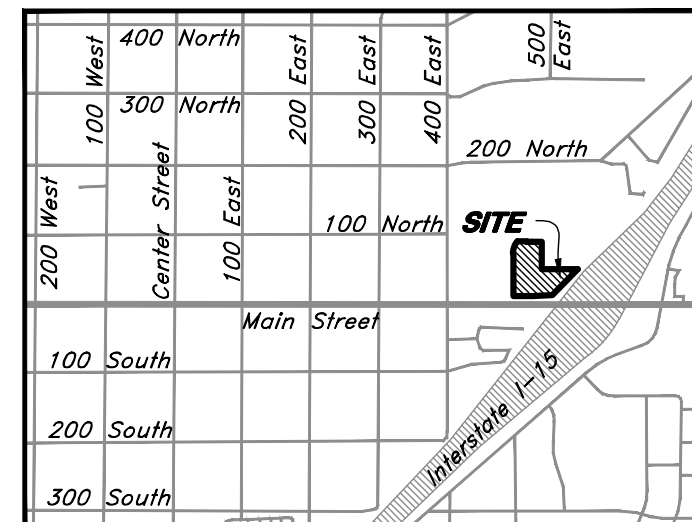
North Quarter Corner Section 1,
T10S, R1E, SL&M, U.S. Survey
(found brass cap monument)

Street

East

(Public Street)

400

Basis of Bearings
N 89°42'20" E UCS

Vicinity Map (Not to Scale)

$\Delta = 39^{\circ}40'40''$
 $R = 171.00'$
 $L = 118.42'$
 $LC = 116.07'$
 $N 20^{\circ}00'23'' E$

Ridley's Subdivision
Entry No. 11268: 2020Lot 8
CJM Limited Liability Partnership
51-649-0006500 East Street
(Public Street)Main Street
(Public Street)South Quarter Corner Section 1,
T10S, R1E, SL&M, U.S. Survey
(found brass cap monument)

Scale: 1" = 40'



Legend

- Control Line
- Property Line
- Easement Line
- Adjoiner Line
- Section Corner
- Set 5/8 rebar with plastic cap or nail with brass tag stamped AWA
- PU&DE
- Public Utility and Drainage Easement in favor of Santaquin City

Note

This property is located in an agricultural community in which normal agricultural uses and activities are common and part of the identity of Santaquin City. It can be anticipated that such agricultural uses and activities may now or in the future be conducted near this property. Property Owners need to understand and acknowledge that they may experience annoyance or inconvenience which may result from such normal agricultural uses and activities. Additionally, property Owners must refrain from trespassing on private property which can negatively impact the integrity of agricultural lands and businesses.

Narrative

This Subdivision was requested by Ridley's Family Markets in order to create 3 Lots.

A line between monuments found for North Quarter Corner and the Northeast Corner of Section 1 was assigned the UCS bearing of North 89°42'20" East as the Basis of Bearings.

This subdivision retraces and honors the underlying 2020 Ridleys Subdivision

Property corners will be set upon completion of site construction.

Rocky Mountain Power

- Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described herein.
- Pursuant to Utah Code Ann. 17-27A-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this _____ day
of _____, 20____.

Rocky Mountain Power Company

By—

Title—

Dominion Energy

a Questar Corporation

Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations of liabilities including prescriptive rights and other rights, obligations of liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8532.

Approved this _____ Day of
A.D. 20____

By:

Title:

DOMINION ENERGY, a Questar Corporation

LUMEN

Approved by Lumen this
_____ Day of _____ A.D. 20____

Lumen

Acknowledgment

{ss

State of
County of

On this _____ day of _____, 20____ personally appeared before me, Mark Ridley the signer of the foregoing Instrument, who duly acknowledged to me that he is the Director of CJM Limited Liability Partnership, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____

Commission Number: _____

My Commission Expires: _____

A Notary Public Commissioned in Utah

(If above information is provided,
no stamp required per Utah Code,
Title 46, Chapter 1, Section 16)

A Notary Public

Owner/Developer

Ridley's Family Markets
621 Washington Street South
Twin Falls, Idaho, 83301
208.324.4633 ext. 10120
www.shopridleys.com



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Blvd., Salt Lake City, Utah 84116
801.521.8529 • www.andersonwahlen.com

Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Ridley's Subdivision, Plat B

Description

A part of Parcel A, Ridley's Subdivision recorded as Entry No. 111268:2020 and as Map No. 17189 Official Records of Utah County, being a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at the point of intersection of the North line of Main Street and the East line of 500 East Street as it exists at 31.00 foot half-width located 2555.26 feet South 0°30'50" East along the Quarter Section Line; and 559.13 feet South 89°46'05" East along said North line from a Brass Cap Monument found marking the North Quarter Corner of said Section 1; and running thence North 0°10'03" East 374.34 feet along said East line to a point of curvature; thence Northeasterly along the arc of a 171.00 foot radius curve to the right a distance of 118.42 feet (Central Angle equals 39°40'40" and Long Chord bears North 20°00'23" East 116.07 feet); thence South 89°29'50" East 76.68 feet along the Southerly line of an Agreement recorded as Entry No. 72273:2010 of Official Records monumented by an existing boundary line fence to the Westerly line of a Warranty Deed recorded as Entry No. 27219:2011 of Official Records as it exists on the ground; thence South 2.69 feet along said Westerly line to the Southwest Corner thereof; thence South 88°49'06" East 45.00 feet along an existing fence monumenting the Southerly line of said Warranty Deed as it exists on the ground to the Southeasterly Corner thereof; thence South 89°49'57" East 67.10 feet; thence South 0°10'03" West 261.96 feet; thence South 89°49'57" East 322.84 feet to the Northwesterly line of Interstate Highway I-15; thence South 44°34'11" West 294.11 feet along said Northwesterly line to said North line of Main Street; thence along said North line the following two courses: South 87°33'23" West 169.10 feet; and North 89°46'05" West 176.31 feet to said East line of 500 East Street as it exists at 31.00 foot half-width and the point of beginning.

Contains 155,025 sq. ft.
Or 3.559 acres
3 Lots

Date: 4 Jan, 2022

Ken B. Hawkes

Ken B. Hawkes
Utah PLS No. 8707113

Owner's Dedication and Consent to Record

Know all men by these presents that I, the undersigned owner of the hereon described tract of land, hereby set apart and subdivide the same into Lots as shown on this plat and name said plat

Ridley's Subdivision, Plat B

and do hereby dedicate, grant and convey to the City of Santaquin all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and those certain public utility easements as shown hereon to be used for the installation, maintenance and operation of Public Utility service lines.

In witness whereof I have hereunto set my hand
This _____ Day of _____ AD, 20____.

CJM Limited Liability Partnership

by: Mark Ridley
Its: Director

Approval By Legislative Body

The City Council of the City of Santaquin, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This _____, day of _____, A.D. 20____.

City Mayor

Affest

City Recorder (See Seal Below)

Ridley's Subdivision, Plat B

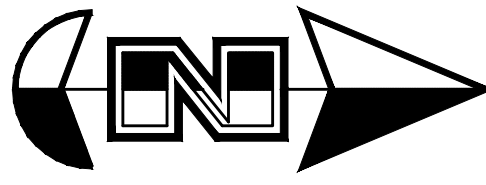
A part Parcel A, Ridley's Subdivision, located in the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey City of Santaquin, Utah County, Utah

Surveyors Seal

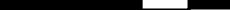


City Engineer Seal

Clerk-Recorder Seal



Scale: 1" = 30'



A horizontal scale bar with alternating black and white segments. It is marked with '0' at the left end, '30'' at the midpoint, and '60'' at the right end.

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, walkways and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact appropriate jurisdiction having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. If Contractor observes evidence of hazardous materials or contaminated soils, he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of soil materials or contaminated soil.
16. Limits of Demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible for restoring impacted areas and all restoration shall be part of the contract bid.

CAUTION :

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



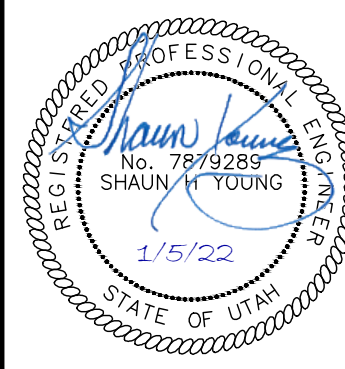
Ridley's Subdivision Phase 2

500 East and Main Street
Santaquin, Utah County, Utah



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 — AWAengineering.net

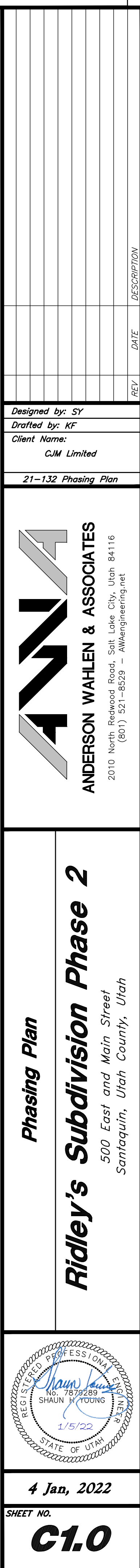
Designed by: SY
Drafted by: KF
Client Name: CJM Limited
21-132 DM

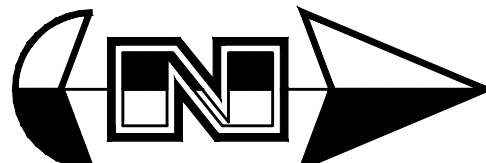


4 Jan, 2022

SHEET NO.

CO.1





Site Data

Zone: C-1 General Commercial
Overall Area = 155,025 s.f. (3.559 ac.)
Lot 7 Area = 53,496 s.f. (1.228 ac.)
Lot 8 Area = 58,872 s.f. (1.352 ac.)
Lot 9 Area = 42,657 s.f. (0.979 ac.)

Site Construction Notes

- | | | |
|----|--|------------------|
| 1 | Const. 24" Curb & Gutter | $\frac{1}{C4.1}$ |
| 2 | Const. Asphalt Paving | $\frac{2}{C4.1}$ |
| 3 | Const. Concrete Sidewalk | $\frac{3}{C4.1}$ |
| 4 | Const. Directional Arrows per MUTCD | |
| 5 | Const. 24" White Stop Bar | |
| 6 | Const. Stop Sign per MUTCD R1-1 | |
| 7 | Connect to Existing Improvements
and Match Grade Elevation | |
| 8 | Const. Pedestrian Ramp per Santaquin City
Standards | |
| 9 | Const. Accessible Ramp per ICC/ANSI A117.1
(Latest Edition) | |
| 10 | Const. 12" White Point Stripe Pedestrian Crossing,
Contractor Shall Provided 15 mils Min. Thickness | |
| 11 | Const. 4" Yellow Point Stripe (Typ.) Contractor
Shall Provided 15 mils Min. Thickness | |
| 12 | Const. Concrete Paving | $\frac{4}{C4.1}$ |
| 13 | Const. Left Turn Prohibition Sign per MUTCD R3-2 | |
| 14 | Const. Pedestrian Traffic Sign per MUTCD W11-2 | |
| 15 | Const. Concrete Sidewalk per Santaquin City
Standards | $\frac{8}{C4.2}$ |

General Site Notes:

1. *All dimensions are to back of curb unless otherwise noted.*
2. *Fire lane markings and signs to be installed as directed by the Fire Marshal.*
3. *Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.*
4. *Const. curb transition at all points where curb abuts sidewalk, see detail.*
5. *Contractor shall place asphalt paving in the direction of vehicle travel where possible.*
6. *Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.*

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement surveying plans. The contractor or surveyor shall ensure the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The contractor or surveyor shall verify the points shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately report the discrepancies to the owner. Any discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the construction of this project, including safety of all persons and property; that this agreement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

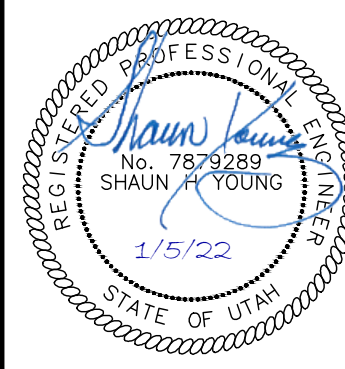
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Designed by: SY
Drafted by: KF
Client Name: CJM Limited
21-132 SP



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2010 North Redwood Road, Salt Lake City, Utah 84116
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Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan. 2022

SHEET NO.

C1.1



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-situ density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. As part of the construction documents, owner has provided contractor with topographic and aerial photographs by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
18. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide information and obtain direction before proceeding with disturbance of soil materials or contaminated soil.

Curb and Gutter Construction Notes:

1. *Open face gutter shall be constructed where drainage is directed away from curb.*
2. *Open face gutter locations are indicated by shading and notes on the grading plan.*
3. *It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.*
4. *Refer to the typical details for standard and open face curb and gutter dimensions.*
5. *Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.*
6. *Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.*

Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

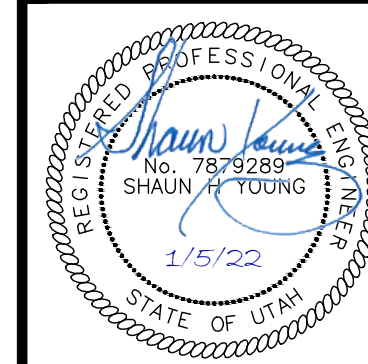
Designed by: SY
Drafted by: KF
Client Name: CJM Limited
21-132 GR



Grading Plan

Ridley's Subdivision Phase 2

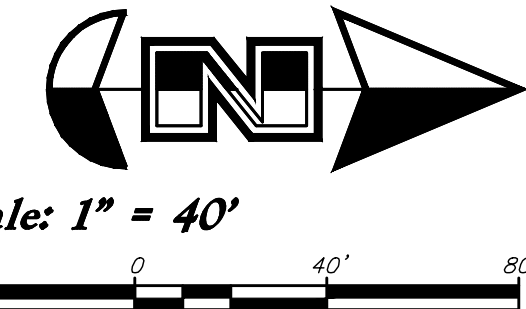
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022

SHEET NO.

C2.1



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K'.

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation.
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

CAUTION :

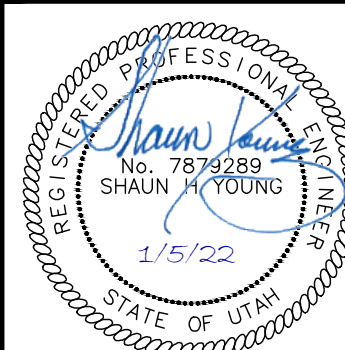
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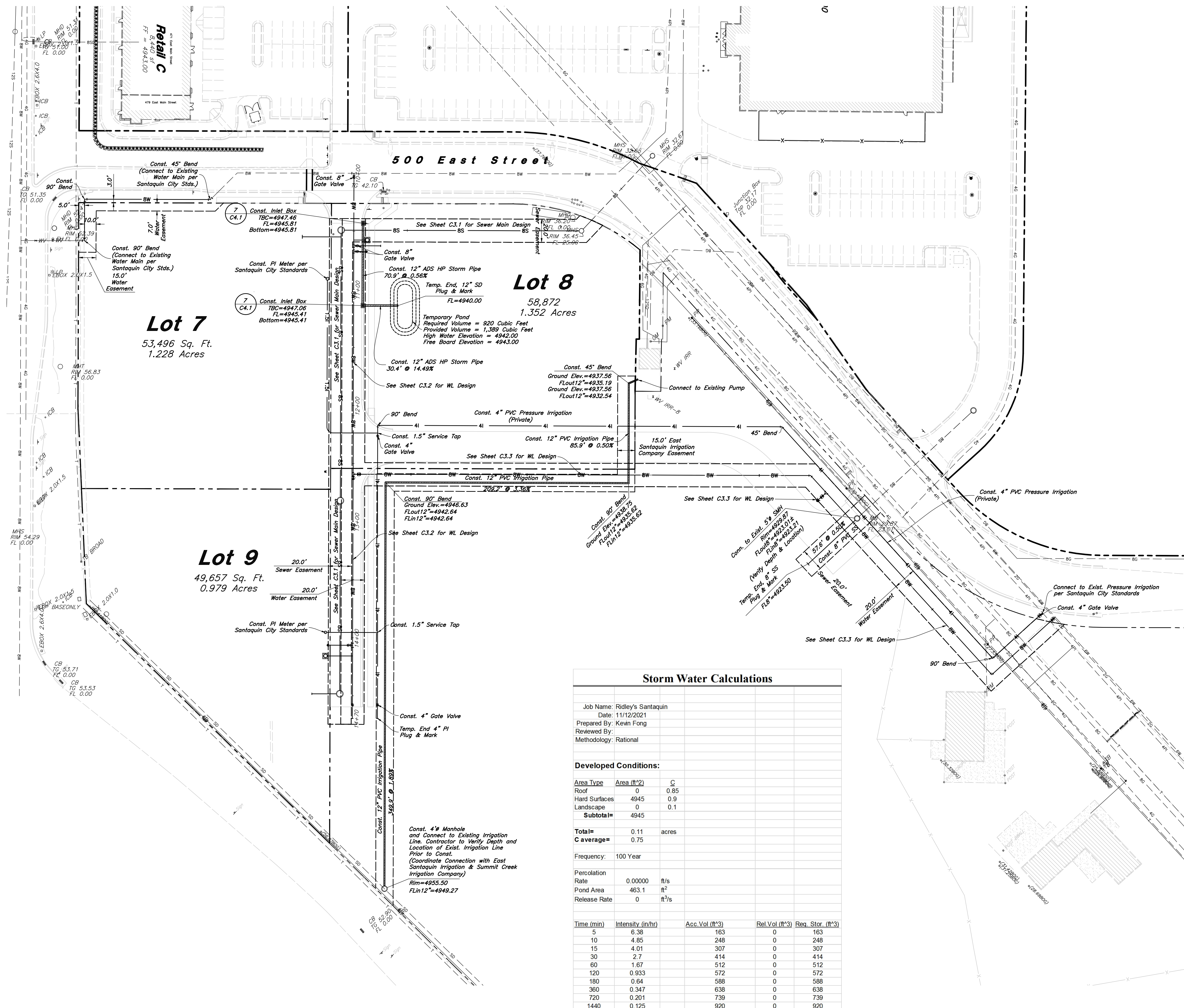
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

Overall Utility Plan



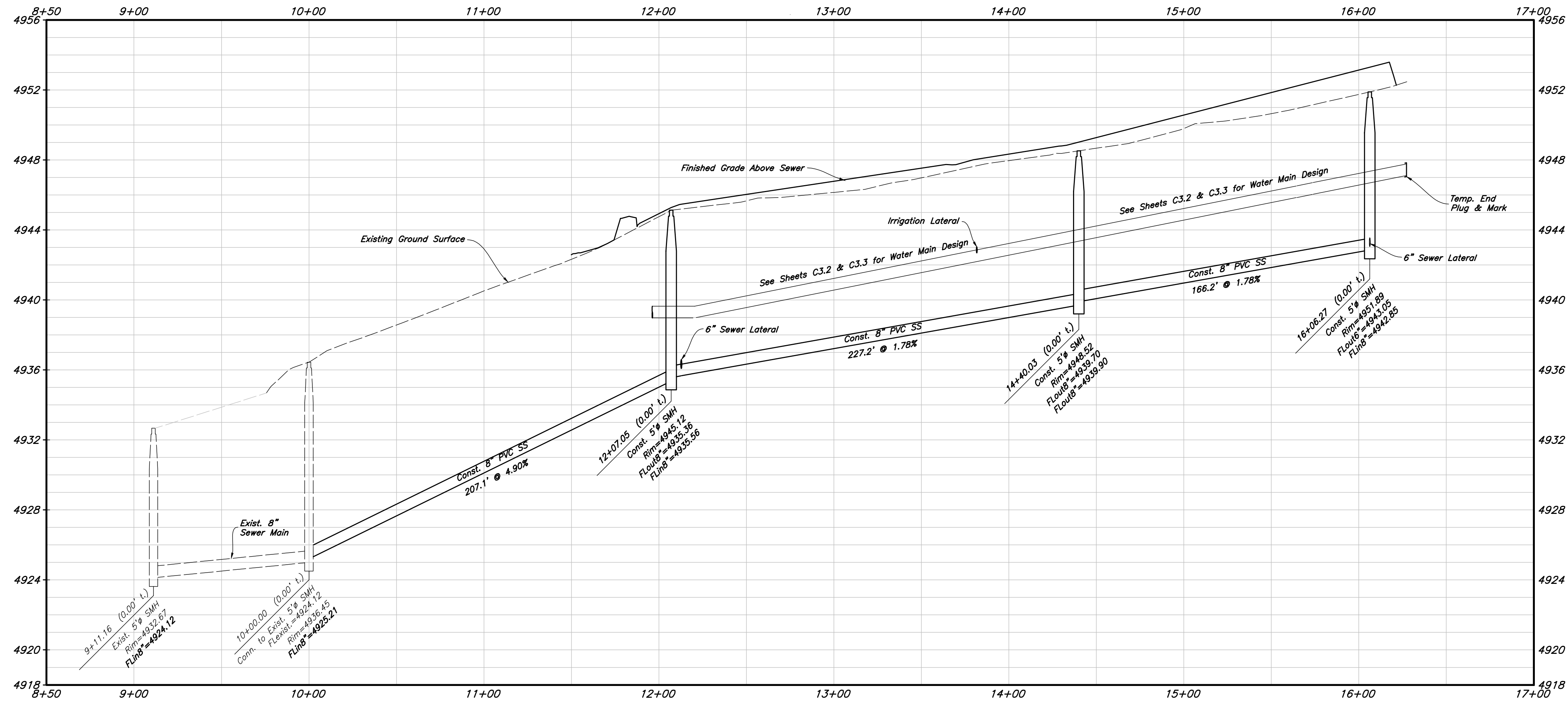
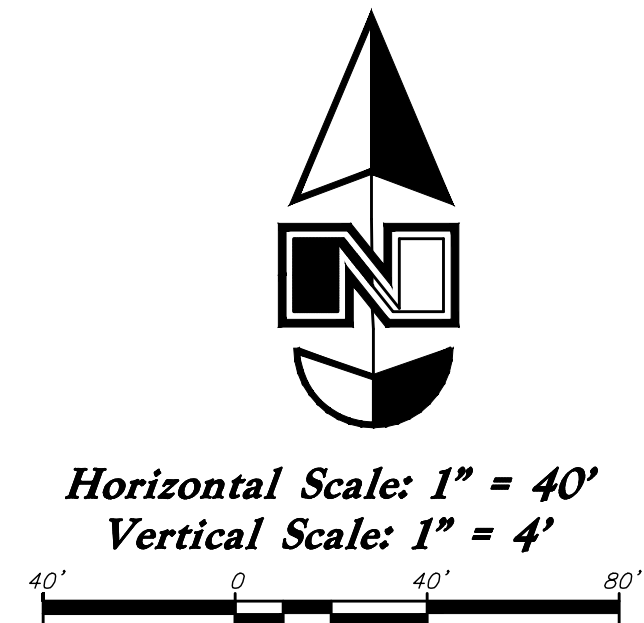
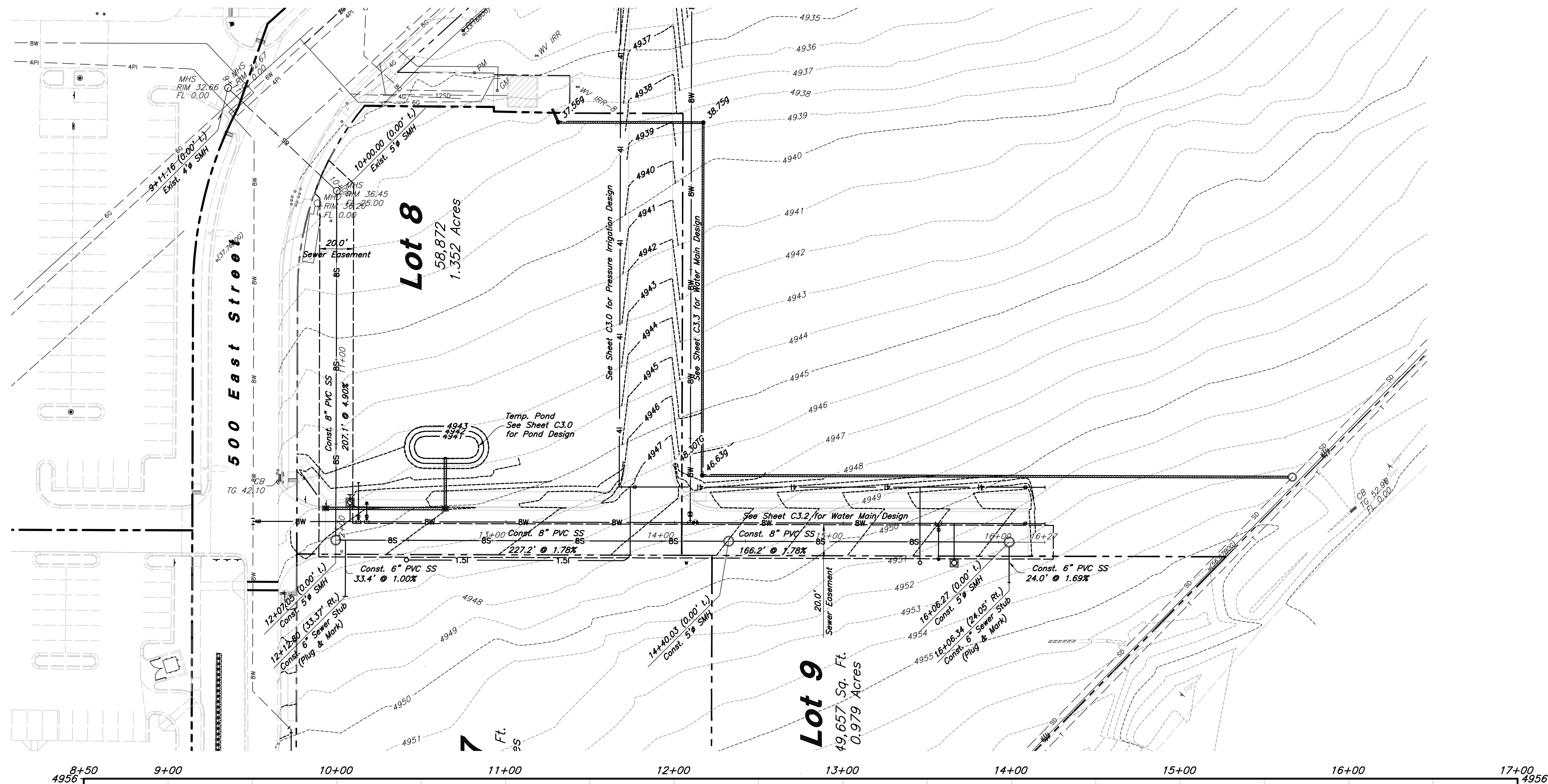
4 Jan, 2022

SHEET NO.
C3.0



Storm Water Calculations

Job Name: Ridley's Santaquin			
Date: 11/12/2021			
Prepared By: Kevin Fong			
Reviewed By:			
Methodology: Rational			
Developed Conditions:			
Area Type	Area (ft²)	C	
Roof	0	0.85	
Hard Surfaces	4945	0.9	
Landscape	0	0.1	
Subtotal=	4945		
Total=	0.11	acres	
C average=	0.75		
Frequency:	100 Year		
Percolation Rate	0.00000	ft/s	
Pond Area	463.1	ft ²	
Release Rate	0	ft ³ /s	
Time (min)	Intensity (in/hr)	Acc. Vol (ft³)	Rel. Vol (ft³)
5	6.38	163	0
10	4.85	248	0
15	4.01	307	0
30	2.7	414	0
60	1.67	512	0
120	0.933	572	0
180	0.64	588	0
360	0.347	638	0
720	0.201	739	0
1440	0.125	920	0



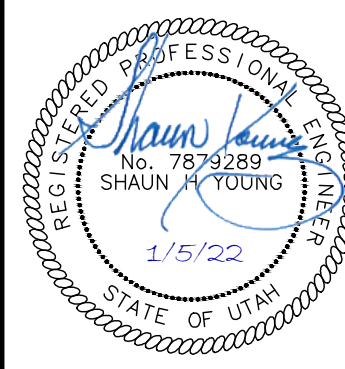
Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 UT

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Sewer Plan & Profile
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

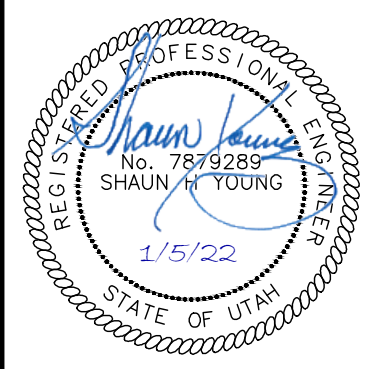
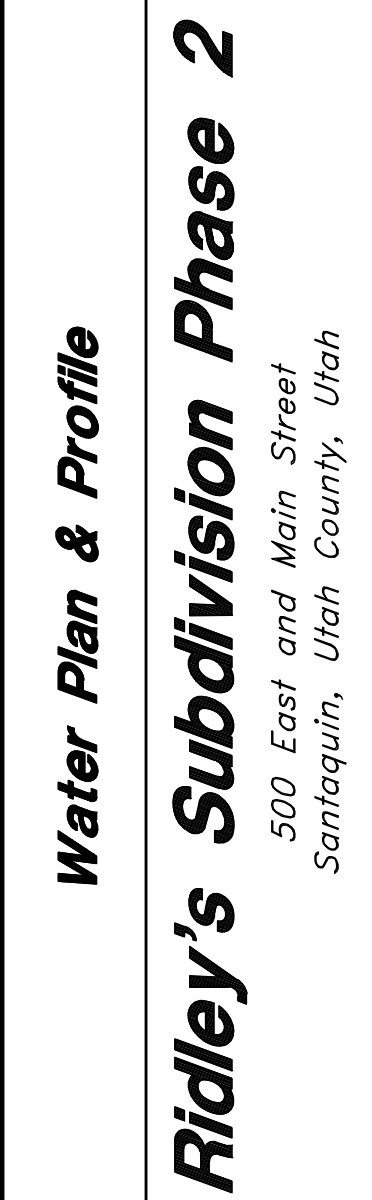
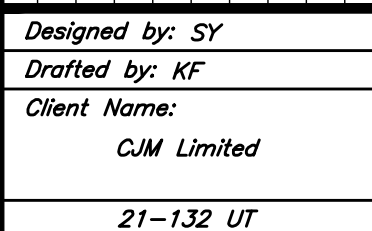
REGISTERED PROFESSIONAL ENGINEER
SHAUN YOUNG
No. 7879389
1/5/22
STATE OF UTAH

4 Jan, 2022
SHEET NO.
C3.1



SHEET NO.

C3.2



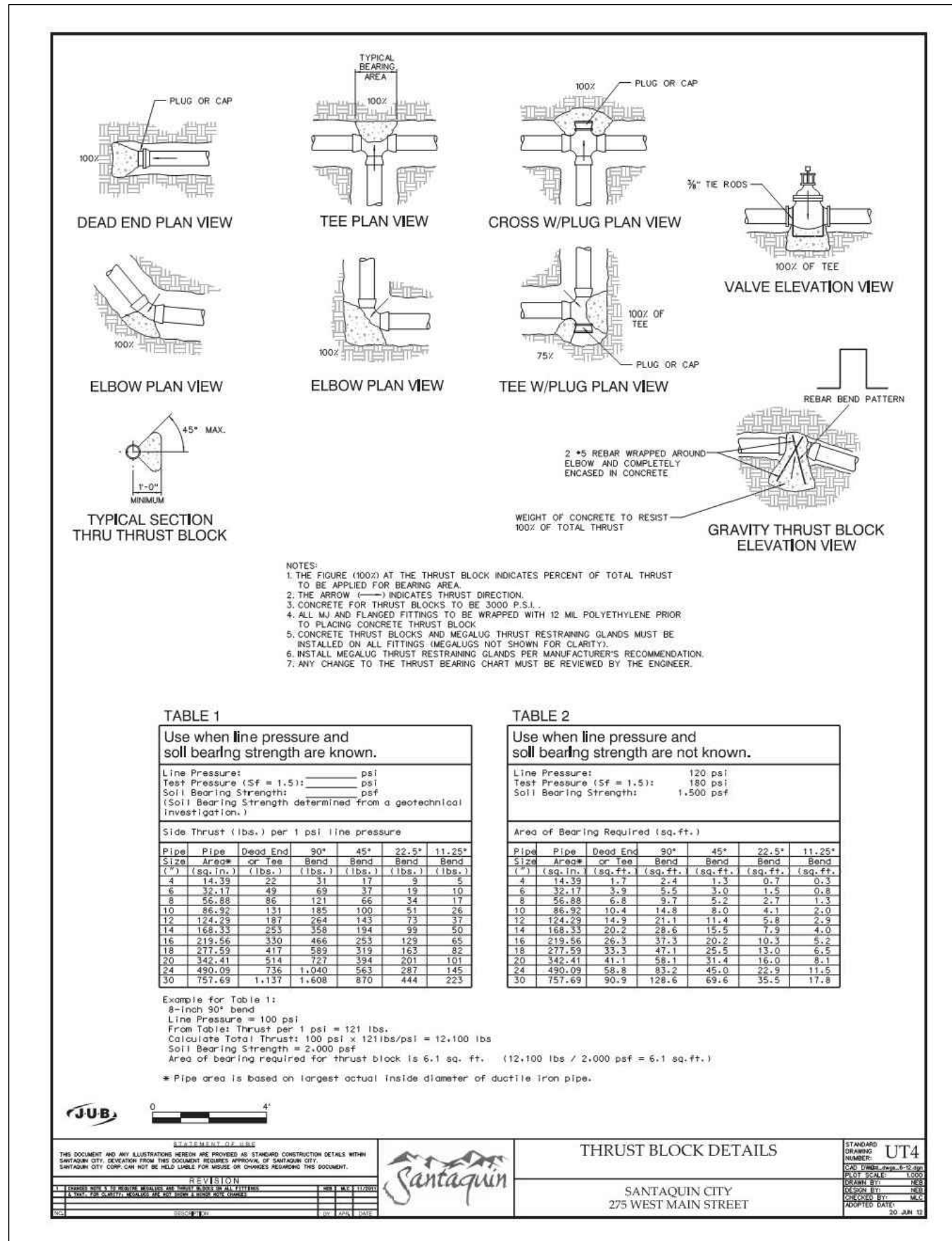
4 Jan, 2022

SHEET NO.
C3.3



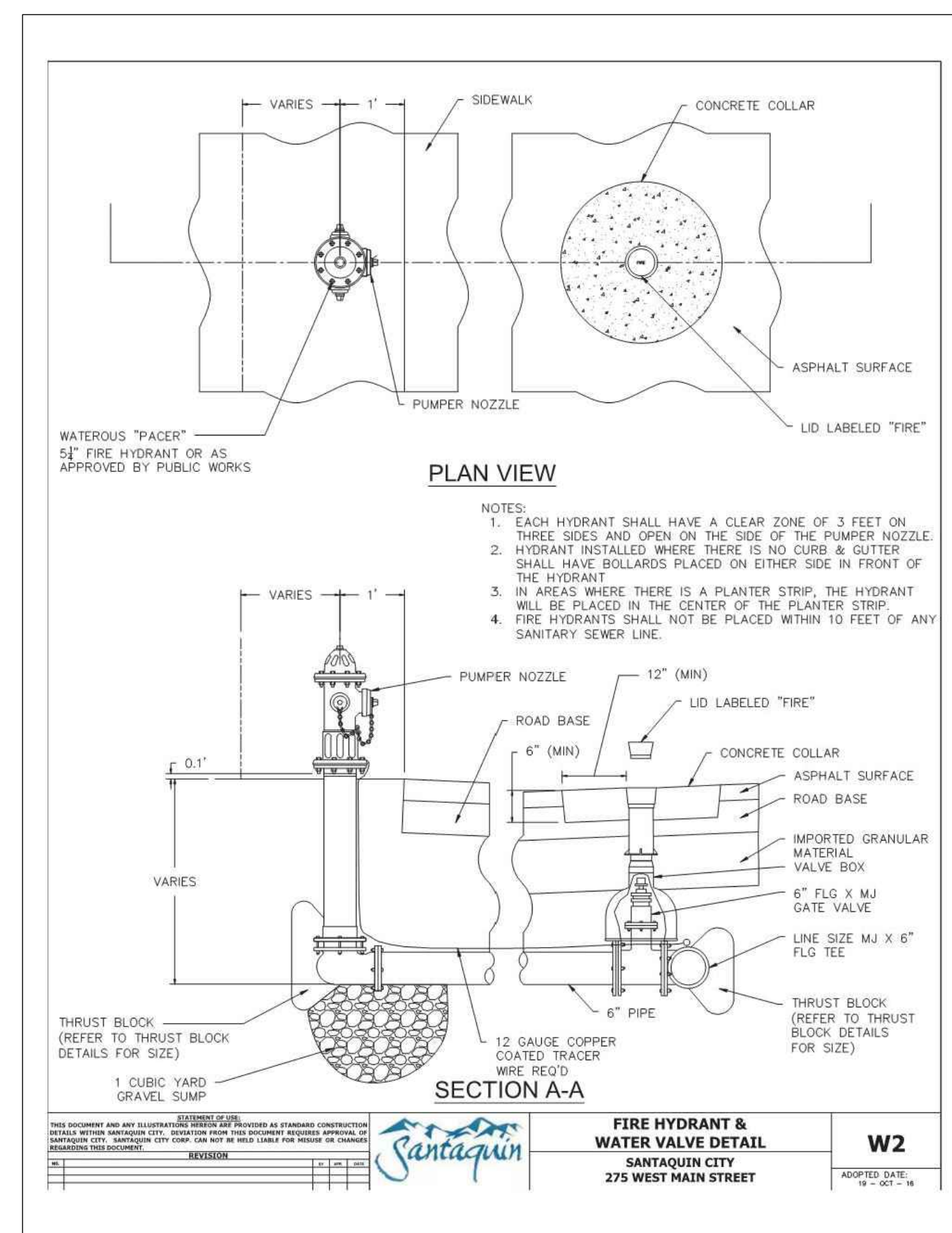
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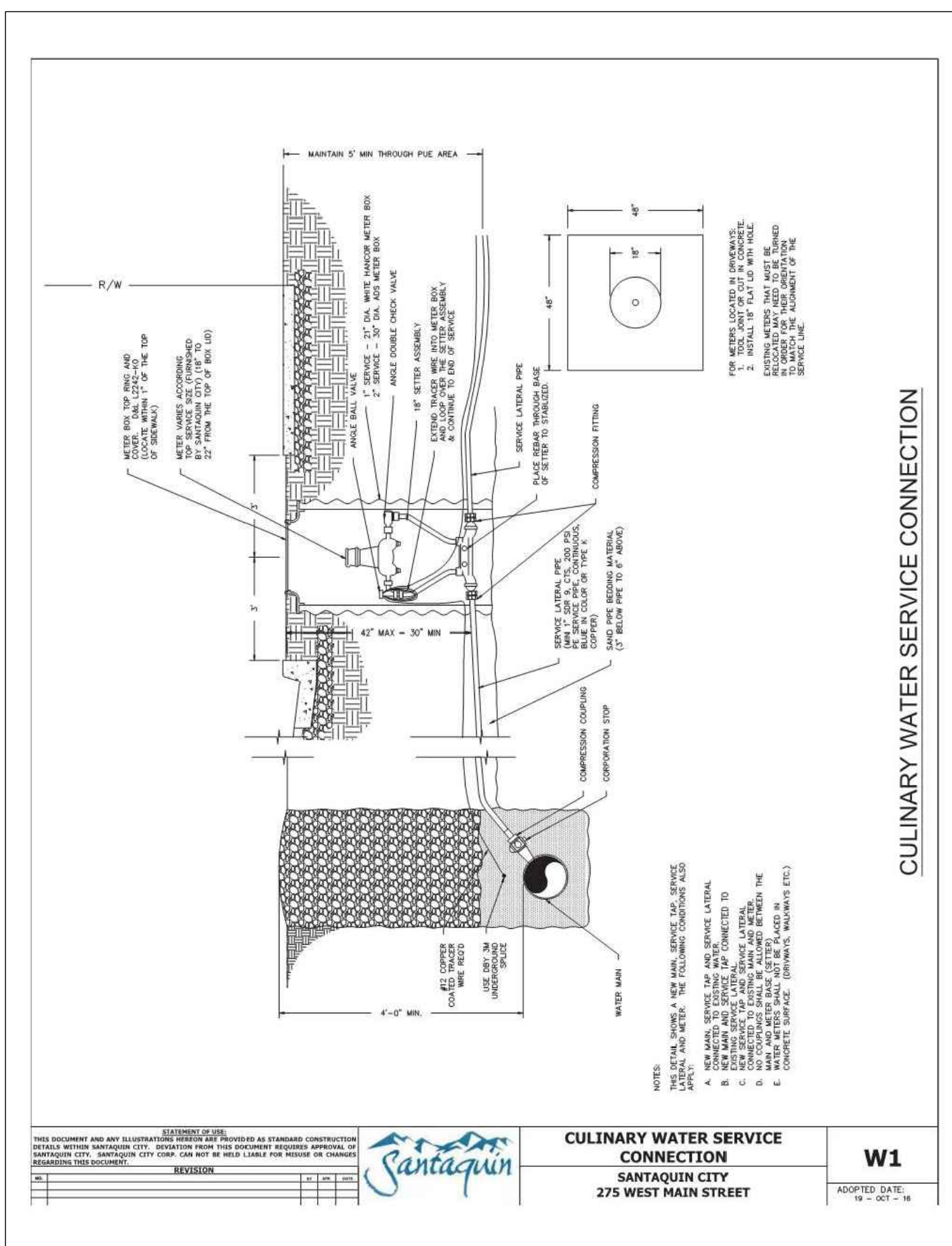
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Thrust Block Details**

Not to Scale



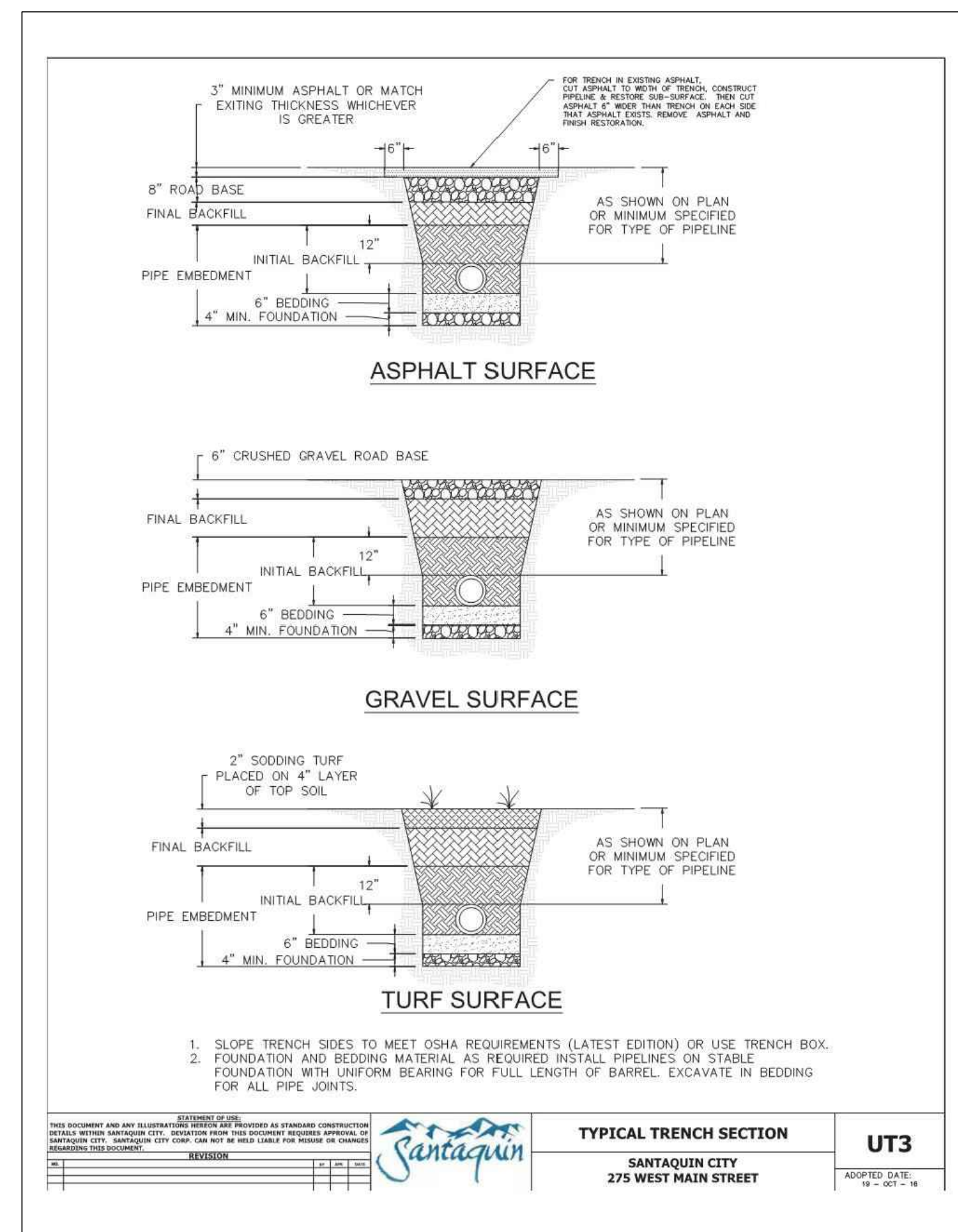
**Santaquin City Std. Dwg. W2
Fire Hydrant & Water Valve**

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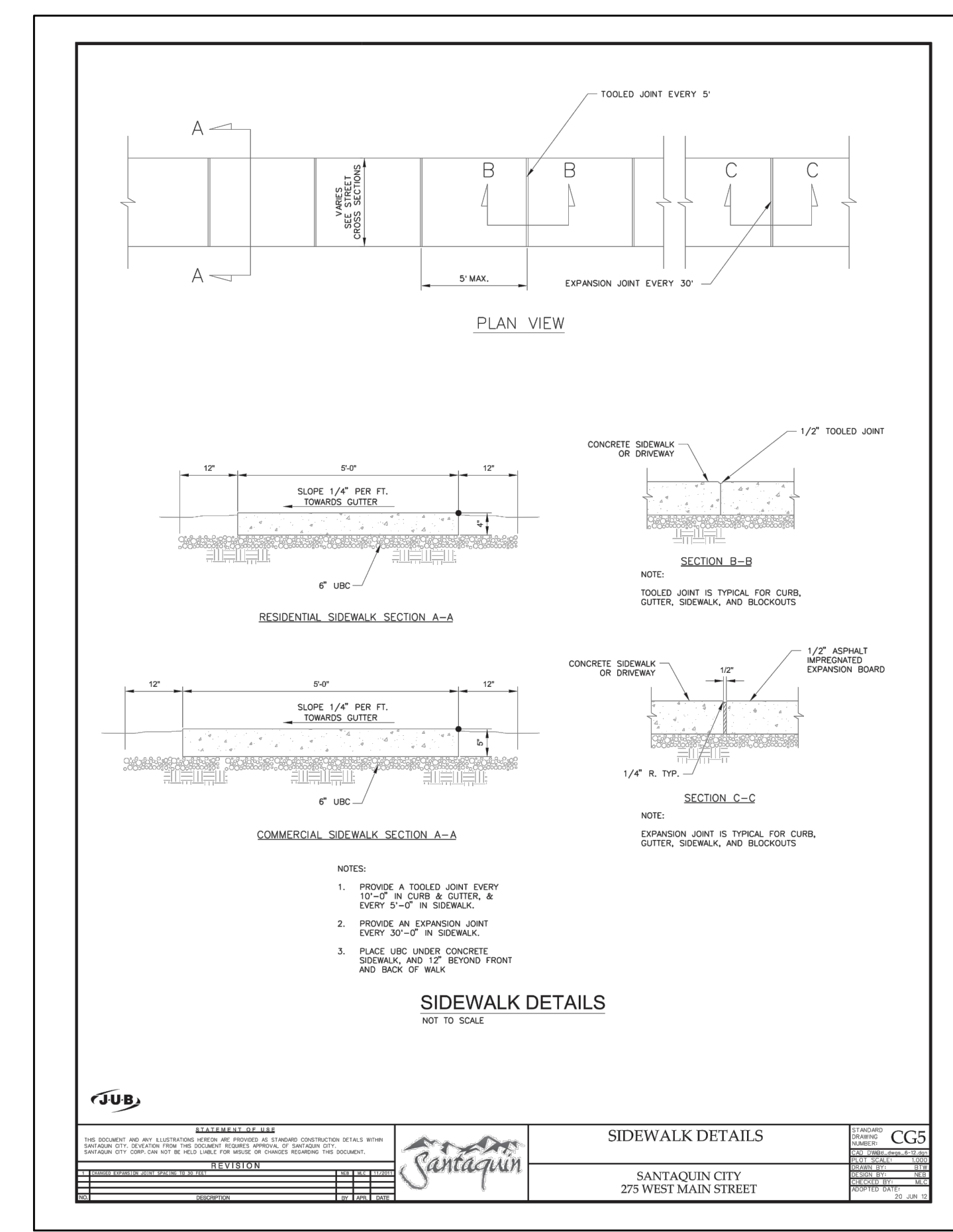
**Santaquin City Std. Dwg. W1
Culinary Water Service Connection**

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**Santaquin City Std. Dwg. UT3
Typical Trench Section**

Not to Scale



**Santaquin City Std. Dwg. CG5
Sidewalk Detail**

Not to Scale

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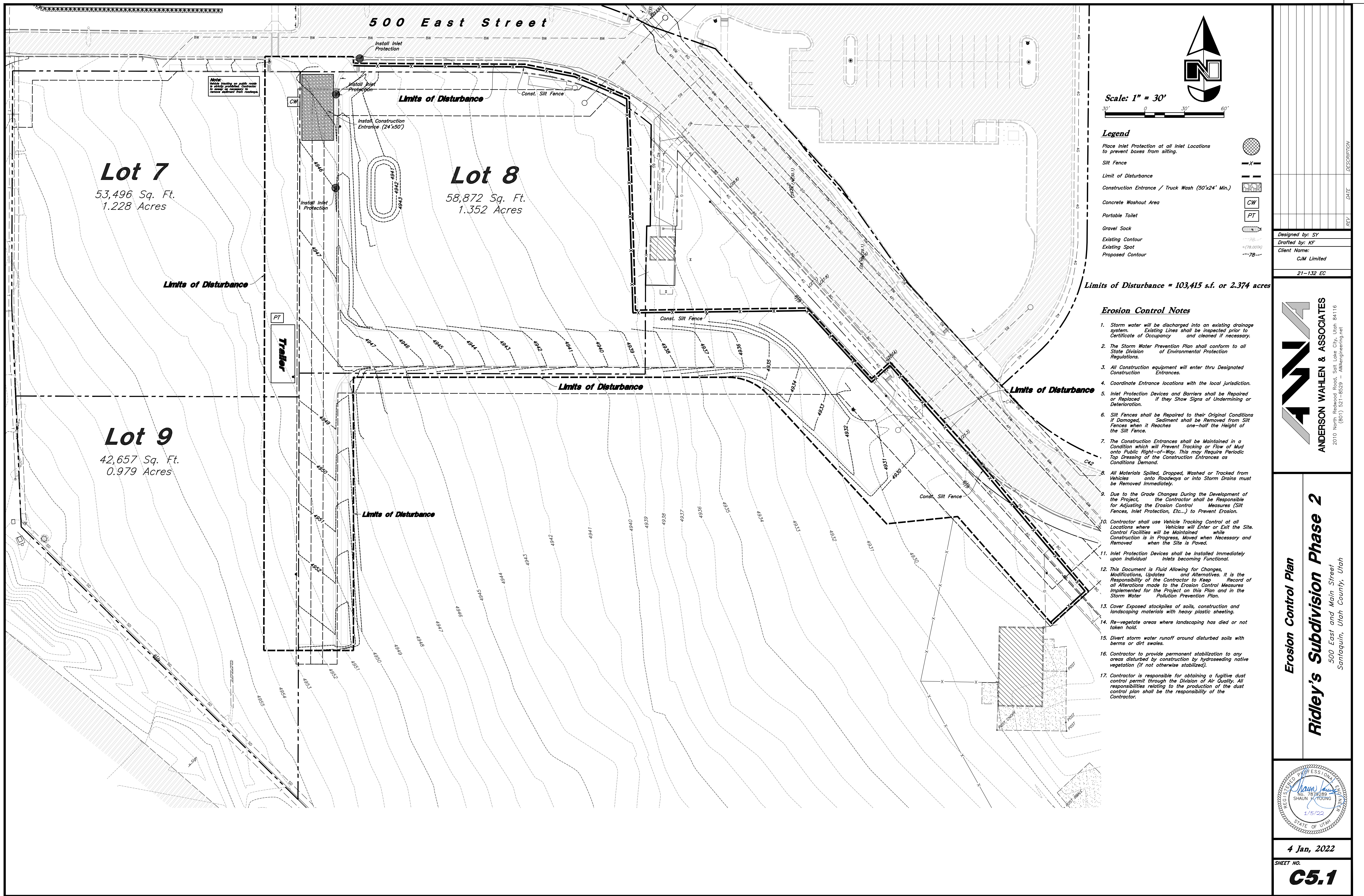
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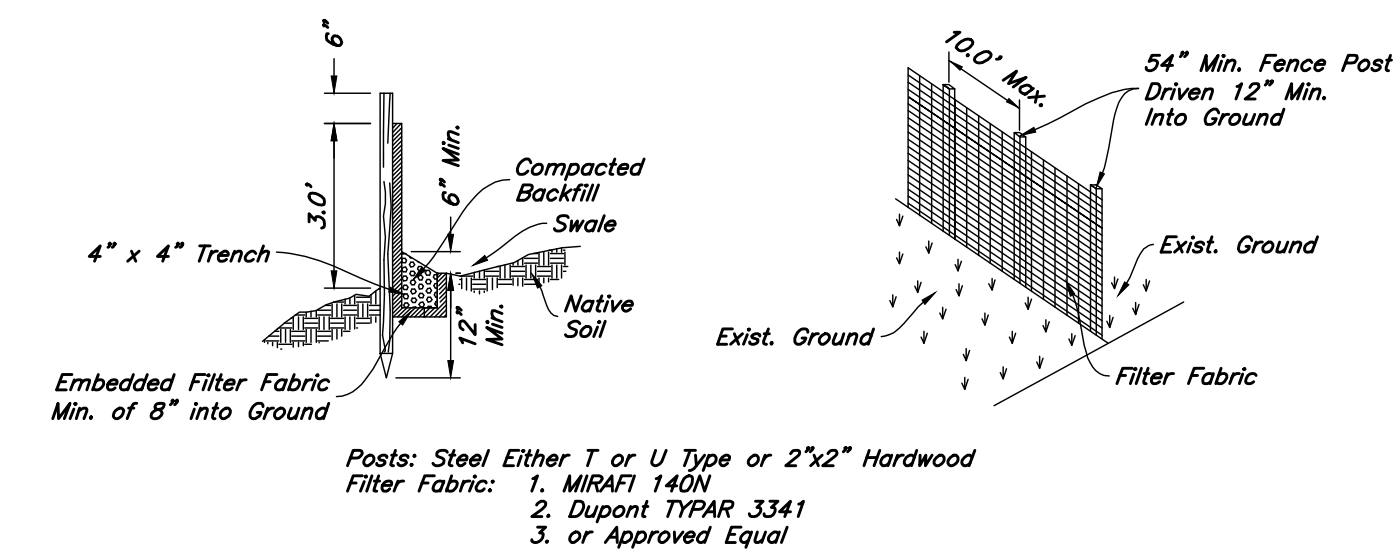
ANDERSON WAHLEN & ASSOCIATES
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Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 78928P
SHAUN A. YOUNG
1/5/22
STATE OF UTAH

4 Jan, 2022
SHEET NO.
C4.2





Notes:

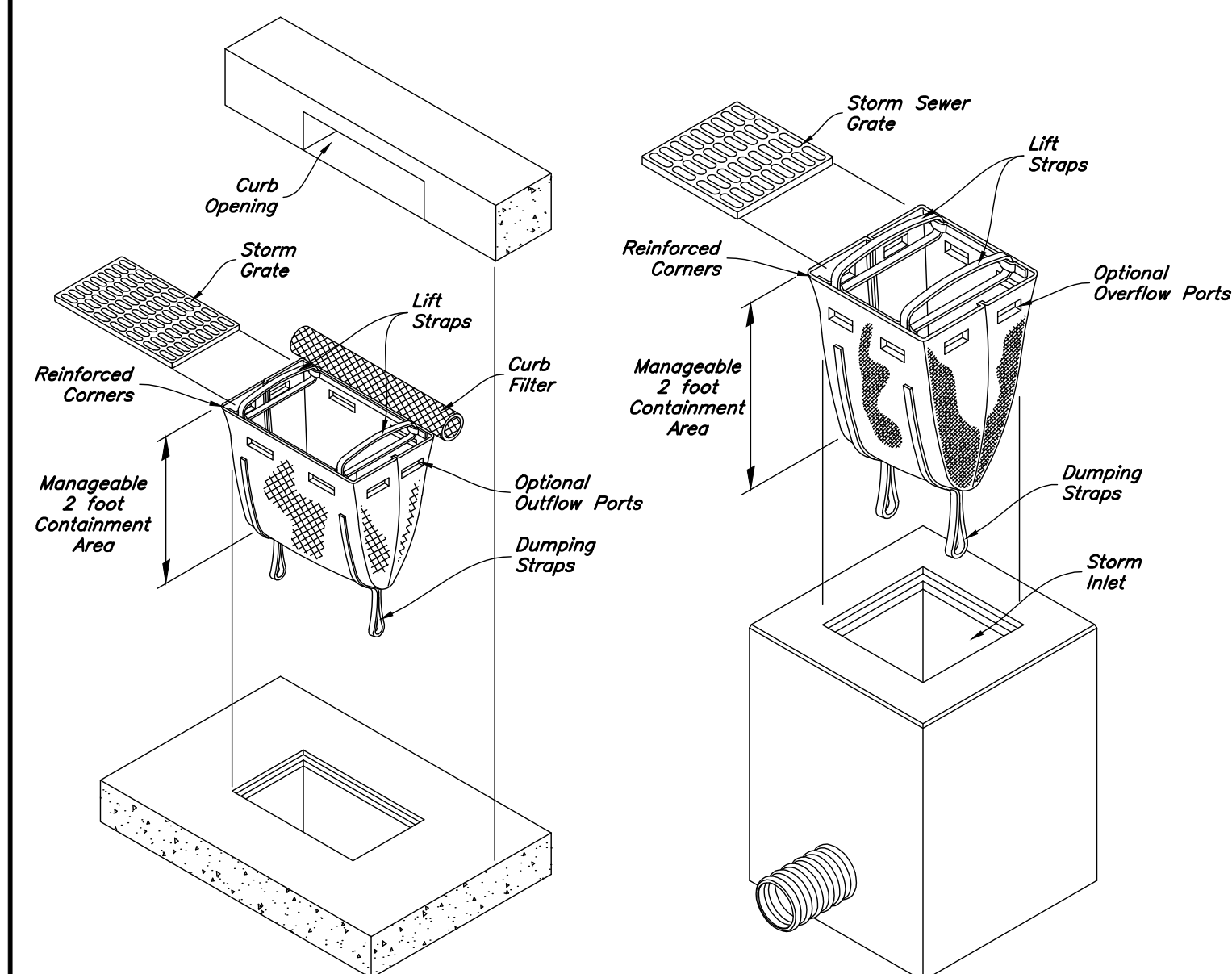
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
3. Collected material shall be removed when "bulges" develop in the silt fence.

Designed by: SY
Drafted by: KF
Client Name: CJM Limited

21-132 EC

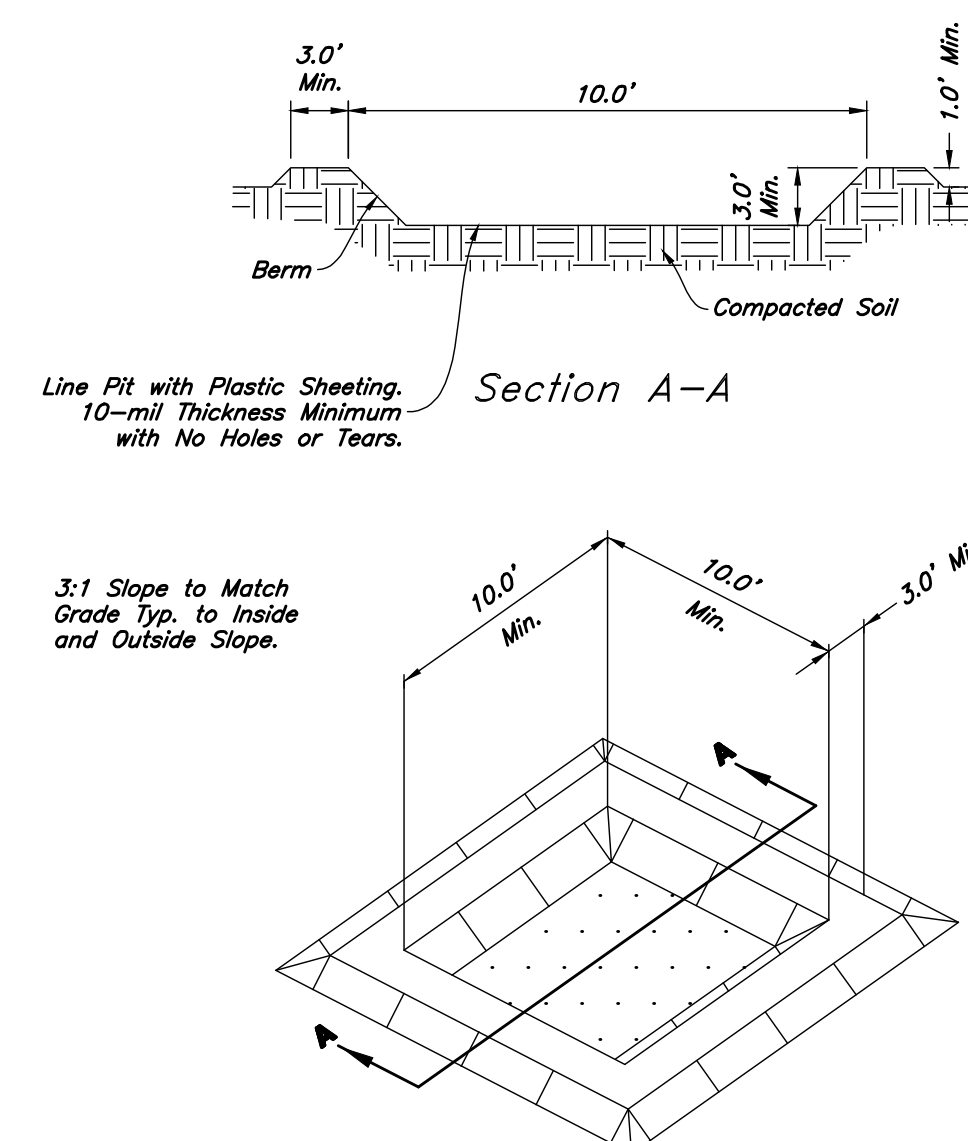
6 *Not Used*
Not to Scale

3 *Silt Fence Section*
Not to Scale

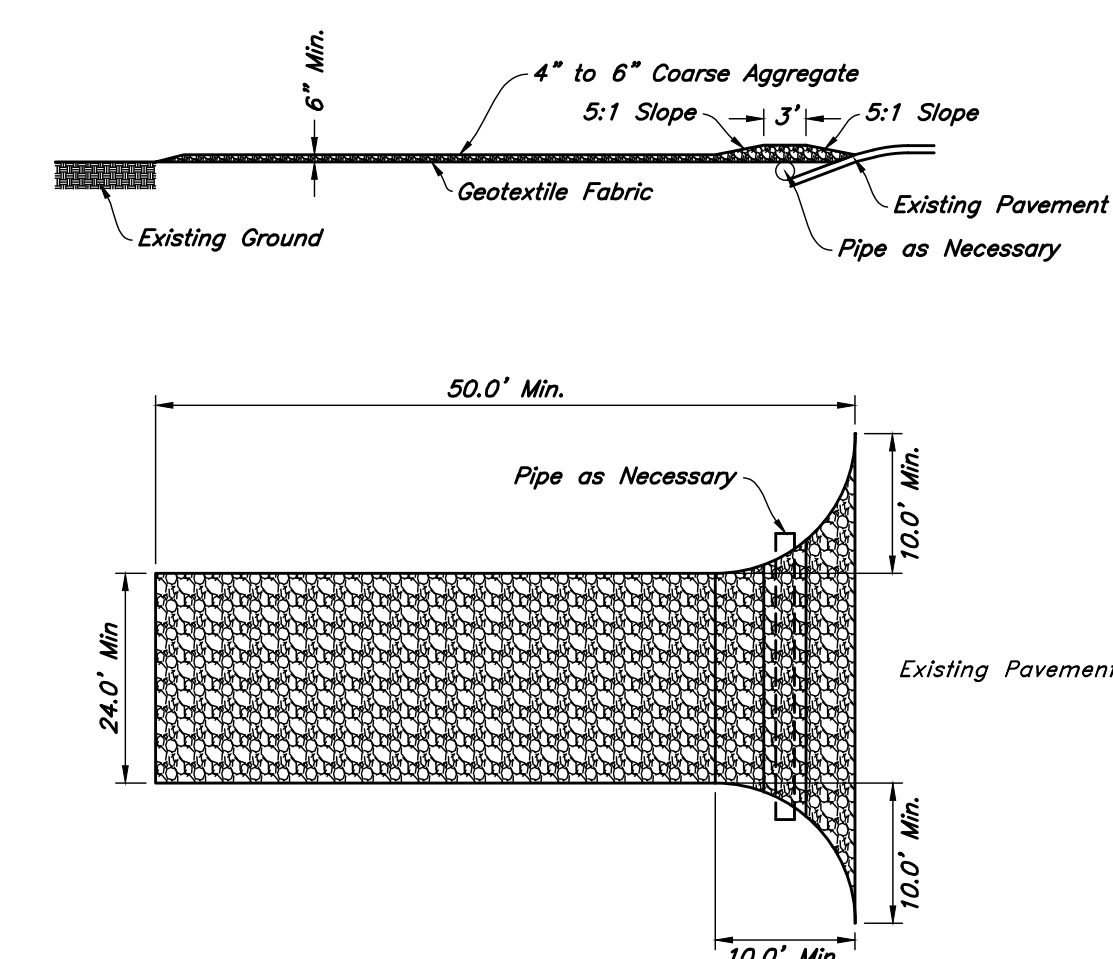


5 *Not Used*
Not to Scale

2 Inlet Protection



4 Concrete Washout
Not to Scale



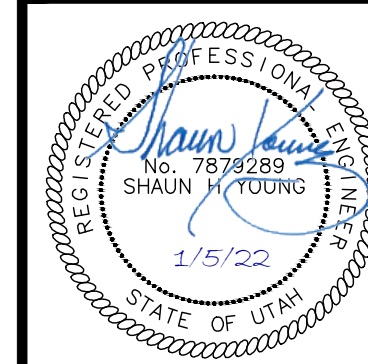
1 *Stabilized Construction Entrance*
Not to Scale



ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 (801) 521-8529 — AWengineering.net

Erosion Control Details

Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



4 Jan, 2022

SHEET NO.
C5.2

MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: January 7, 2022

RE: **Lind Subdivision Preliminary/Final Review**

Zone: R-10
Size: .95 Acres
Lots: 2

The Lind Subdivision is located at 315 North Center Street. The proposed subdivision is in the R-8 zone and consists of 2 lots on .95 acres. The applicant is proposing to split the existing lot into two lots. The R-8 zone requires each lot to have minimum of 80 feet of frontage and a minimum lot size of 8,000 square feet. The proposed subdivision meets these requirements. There is an existing house that will be on the corner lot, which will meet all required setbacks.

Santaquin City Code requires that all street improvements be put in with any new subdivision. The developer can request a deferral agreement that would defer the street improvements (i.e. sidewalk, curb and gutter, asphalt, etc.) to a later date. The City Council approved the deferral agreement last month.

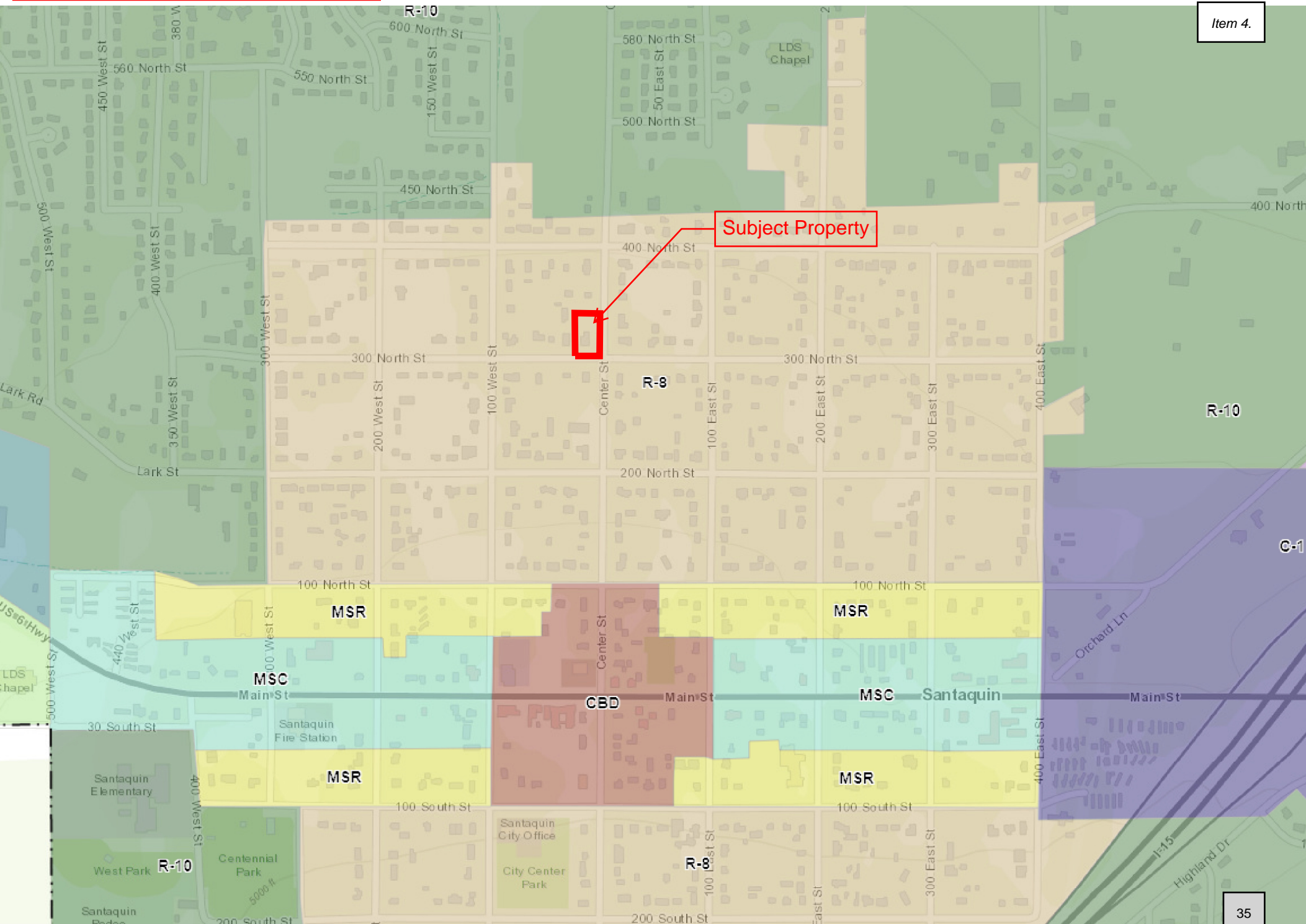
Subdivisions with three lots or less can combine preliminary and final plans into one submittal. This development qualifies for this streamlined process. The preliminary/final plans were reviewed by the Development Review Committee and a positive recommendation was forwarded to the Planning Commission. The Planning Commission will be the land use authority for the subdivision,

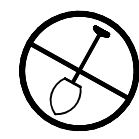
Recommended Motion: “Motion to approve the Lind Subdivision with the following condition:

- All engineering redlines be addressed.

Attachments:

1. Zoning and Location Map
2. Preliminary/Final Plans





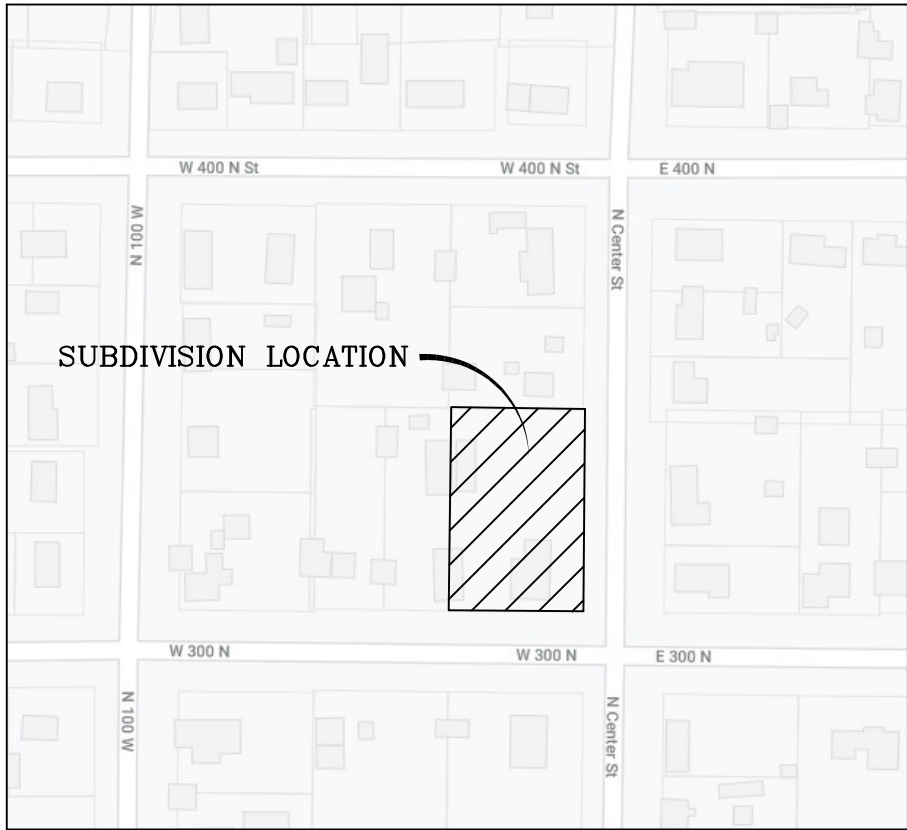
NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-862-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PLAT "A" LIND SUBDIVISION

SANTAQUIN CITY, UTAH COUNTY, UTAH

SHEET # SHEET NAME

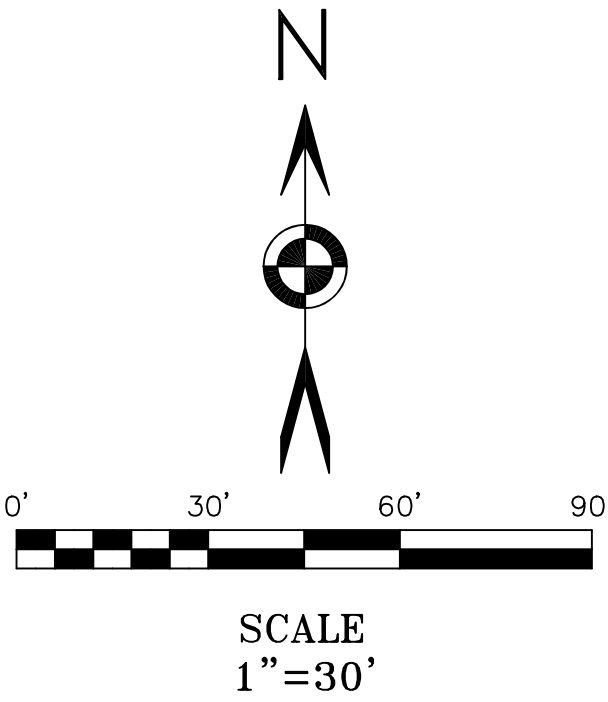
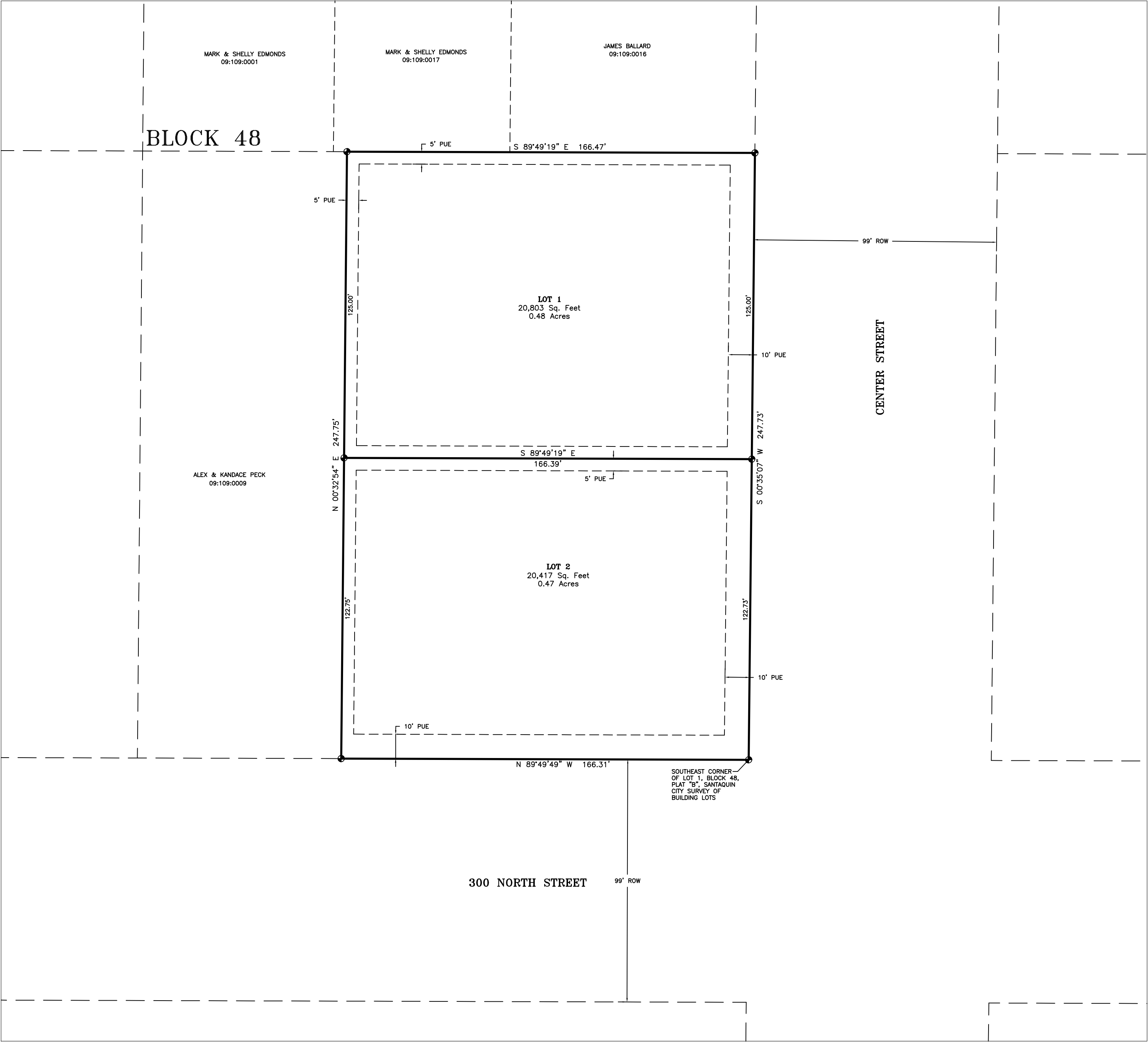
1 COVER SHEET
2 FINAL PLAT "A"
3 UTILITY PLAN



VICINITY MAP
-NTS-

DATA TABLE:
ZONING=R-8
TOTAL # OF LOTS=2
TOTAL ACREAGE=0.95

GENERAL NOTE:
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.



OWNER:
SANDRA JILL SNELL
315 N CENTER
SANTAQUIN, UT 84655

DEVELOPER:
RYAN LIND
385-329-6271
rlind@santaquin.org

ENGINEER/SURVEYOR:
LUDLOW ENGINEERING
435-623-0897
1451 S MAIN
NEPHI, UT 84648

REVISIONS

1. _____ 4. _____
2. _____ 5. _____
3. _____ 6. _____

PROJECT NO.: LE 4047 SURVEYOR/DIRECTOR: D. PENROD
DATE: NOVEMBER 2021 FIELD SURVEYOR: M. JACOBSON
SCALE: N/A DRAWN: K. ROUNDY
REVISION: _____ CHECKED: D. PENROD



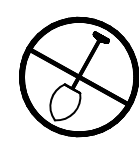
LUDLOW ENGINEERING & ASSOCIATES

Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
Claim Surveys * Control Networks * Construction Surveys * Topography
Civil * Sewer & Water Design * Residential & Commercial Structure
Subdivision Design * Site Plans * Road Design
1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

COVER SHEET

PLAT "A" LIND SUBDIVISION

SANTAQUIN CITY, UTAH COUNTY, UTAH
NOVEMBER 2021



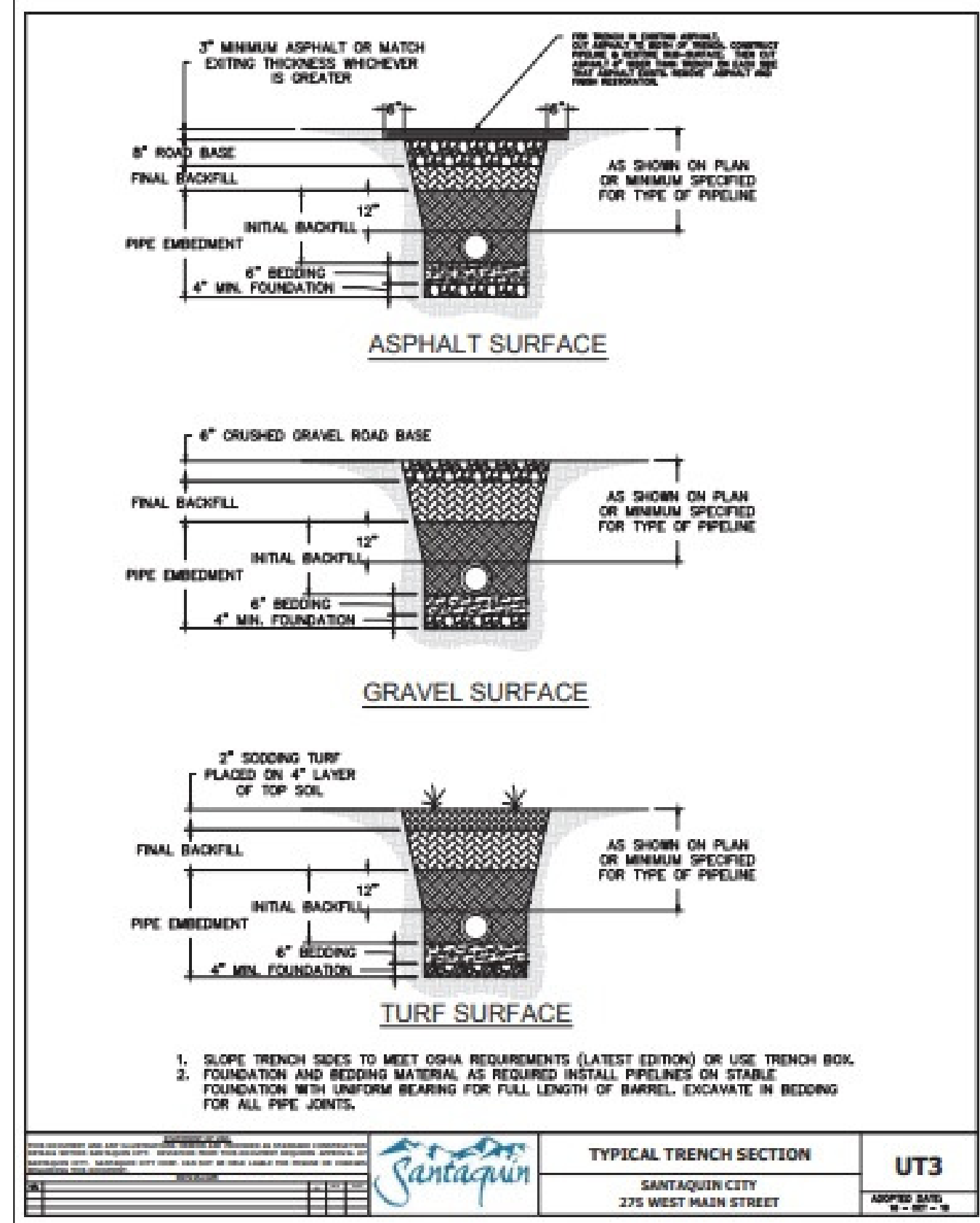
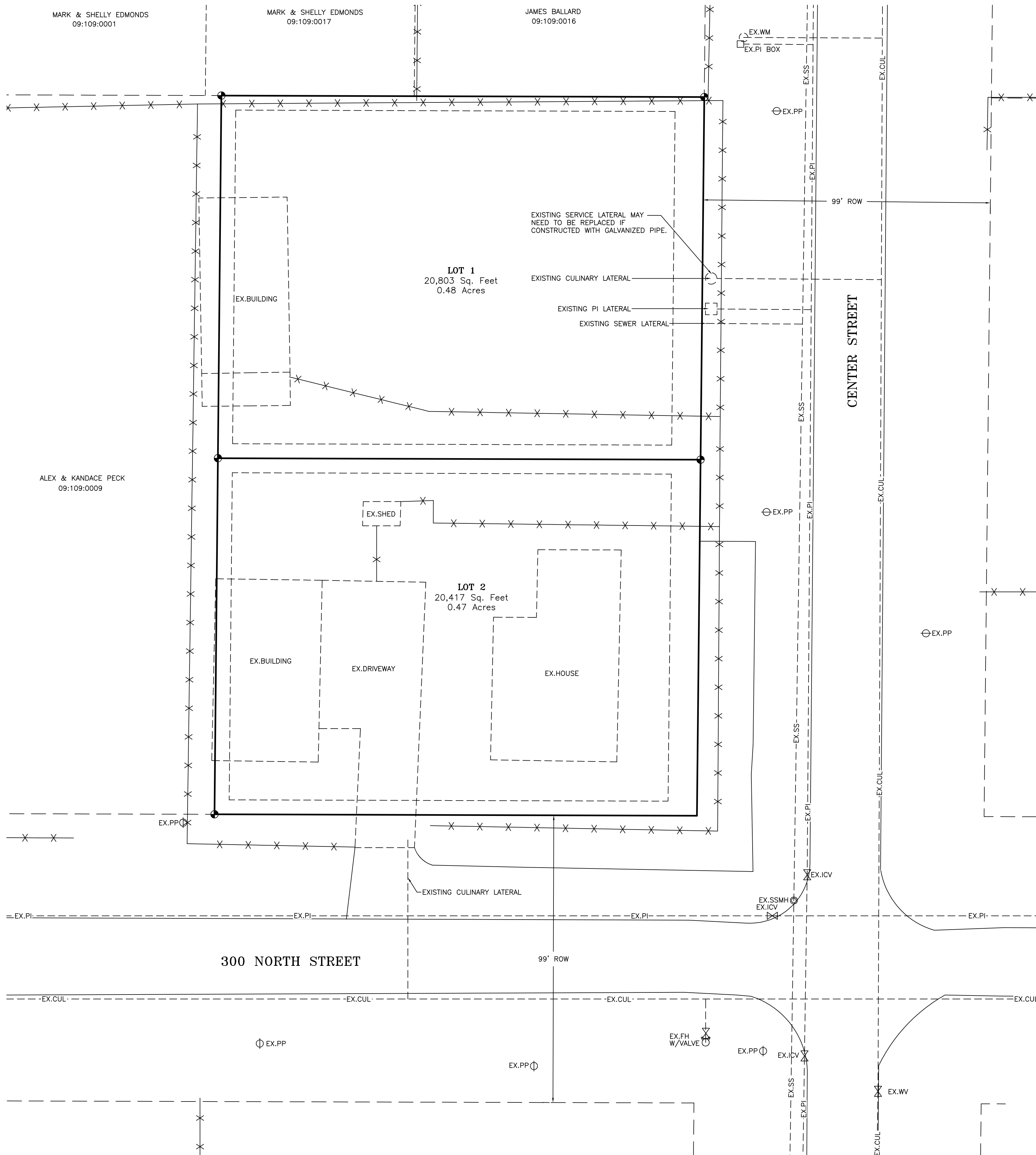
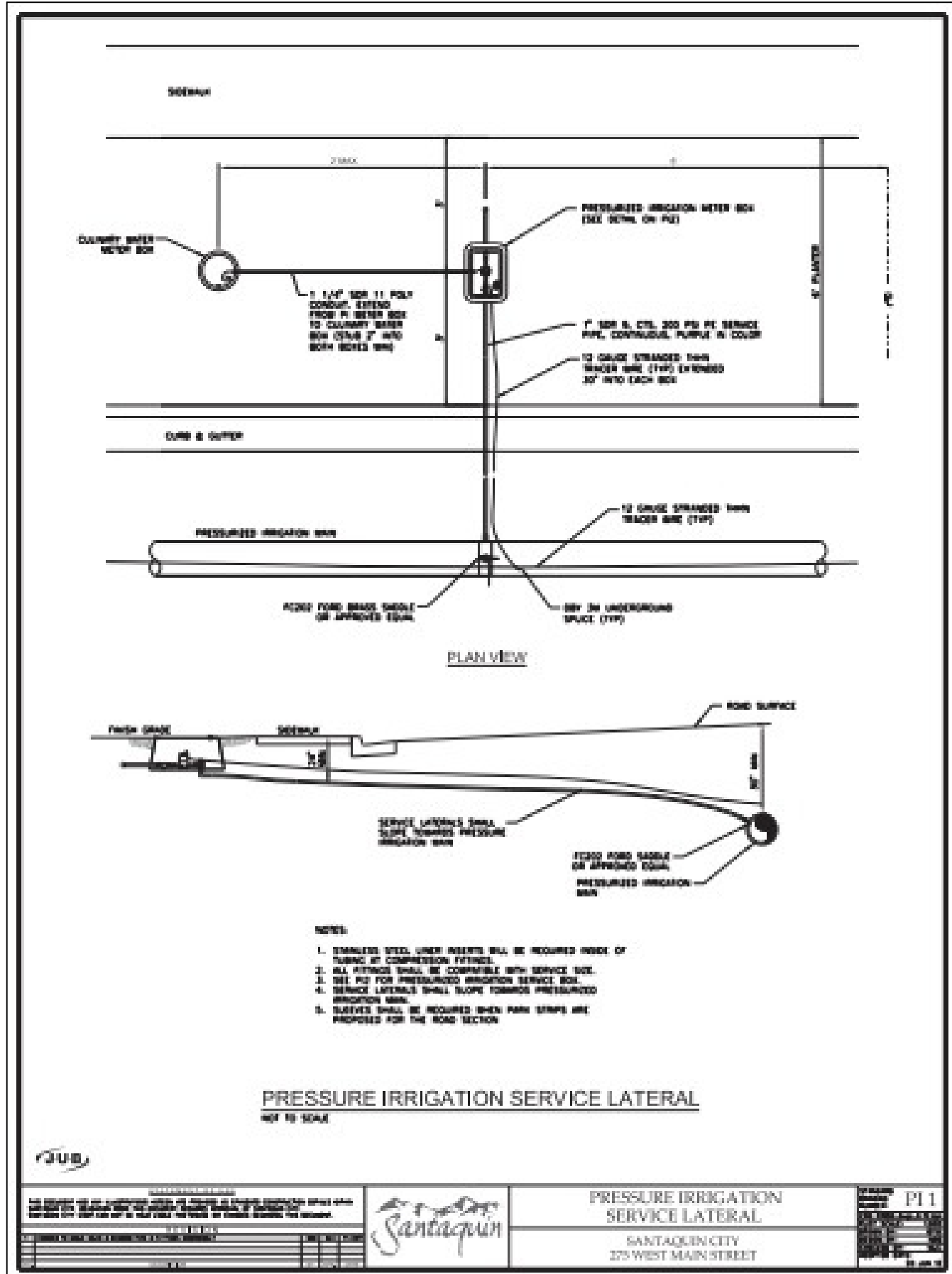
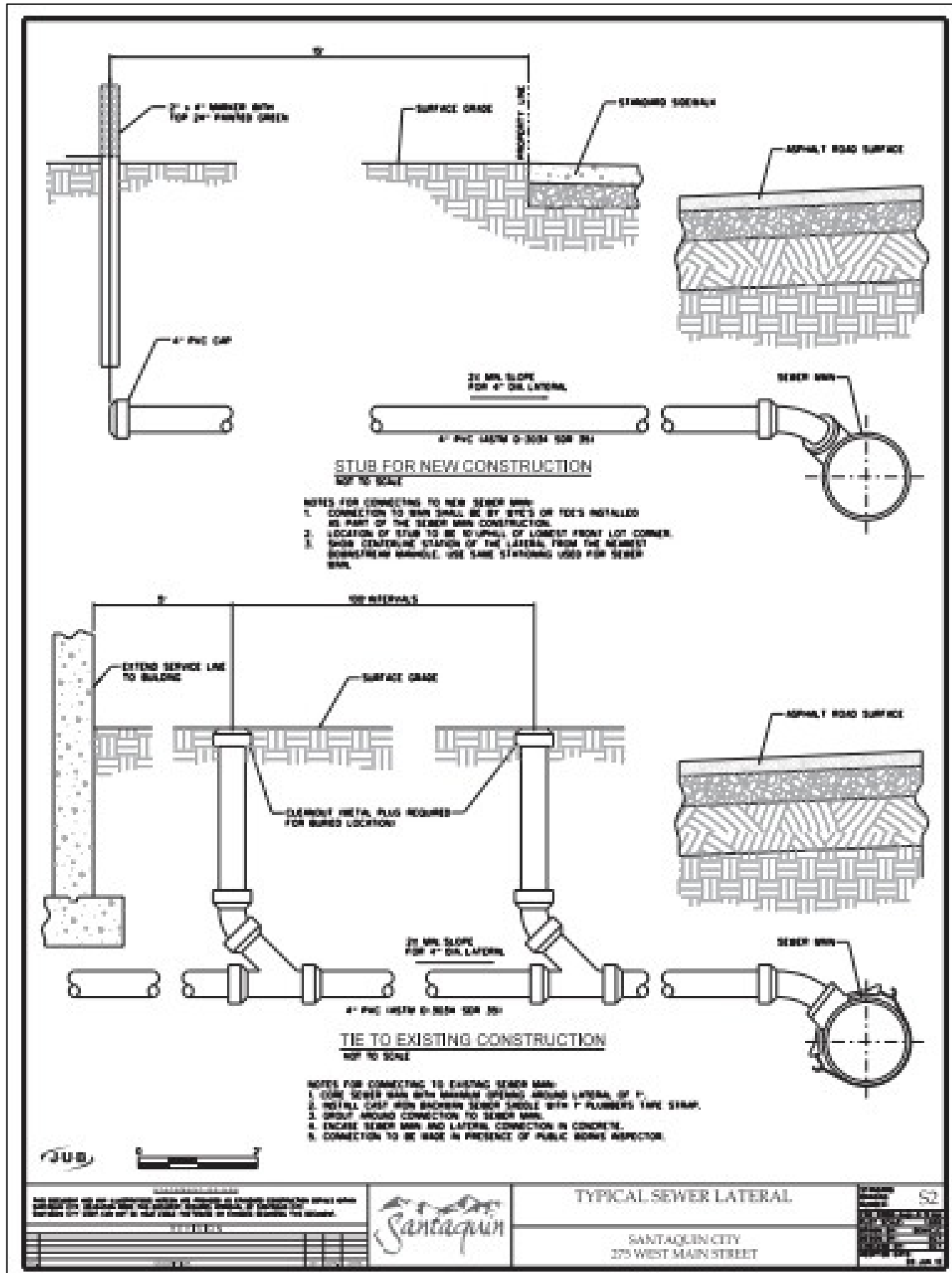
NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-862-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

MARK & SHELLEY EDMONDS
09:109:0001

MARK & SHELLEY EDMONDS
09:109:0017

JAMES BALLARD
09:109:0016

ALEX & KANDACE PECK
09:109:0009



REVISIONS

- | | |
|----------|----------|
| 1. _____ | 4. _____ |
| 2. _____ | 5. _____ |
| 3. _____ | 6. _____ |

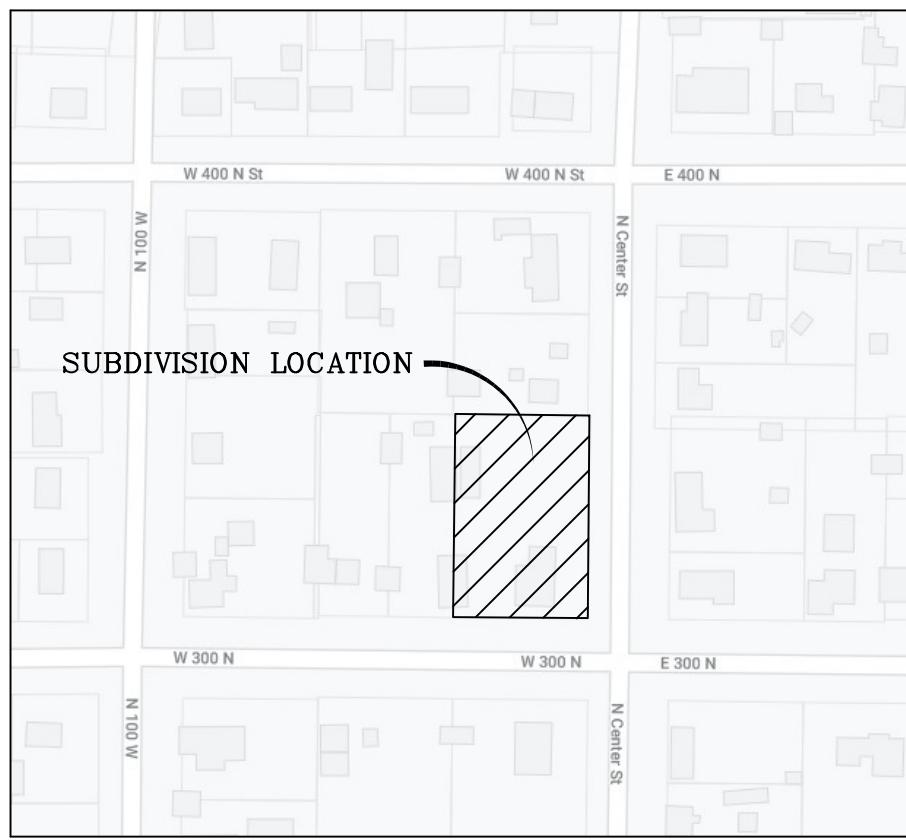
PROJECT NO.: LE 4047 SURVEYOR/DIRECTOR: D. PENROD
DATE: JANUARY 2022 FIELD SURVEYOR: M. JACOBSON
SCALE: 1" = 20' DRAWN: K. ROUNDY
REVISION: CHECKED: D. PENROD

LUDLOW ENGINEERING & ASSOCIATES
Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
Claim Surveys * Control Networks * Construction Surveys * Topography
Civil * Sewer & Water Design * Residential & Commercial Structure
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1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

UTILITY PLAN

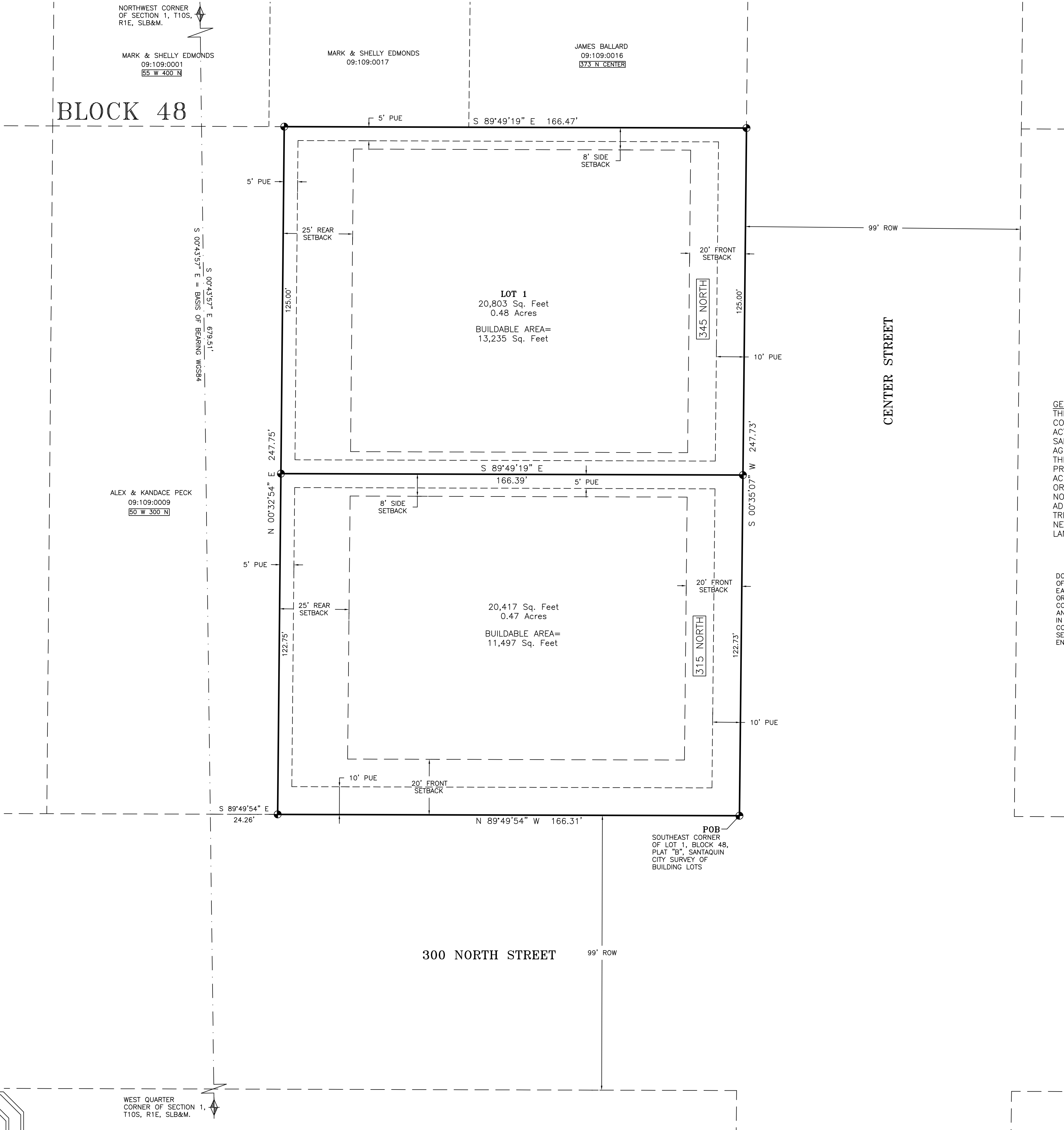
PLAT "A" LIND SUBDIVISION

SANTAGUIN CITY, UTAH COUNTY, UTAH
JANUARY 2022



VICINITY MAP
-NTS-

LIND SUBDIVISION



SCALE
1"=20'

LEGEND

- = FOUND 5/8" REBAR WITH CAP
- = SECTION CORNER
- = LAND OWNER DEED DESCRIPTION LINE
- = DESCRIBED BOUNDARY
- = SETBACK
- = EASEMENT
- = ADDRESS

SETBACK REQUIREMENTS:
FRONT= 15.00' TO COVERED PORCHES
20.00' TO LIVING AREA OR GARAGE SIDE
25.00' TO GARAGE DOOR
SIDE=8.00'
REAR=25.00'

GENERAL NOTE:
THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS ____ DAY OF _____ 20____
BY: DOMINION ENERGY
TITLE: _____

CERTIFICATION

I Daryl N. Penrod, do hereby certify that I am a registered land surveyor, and that I hold a license in accordance with Title 58, chapter 22, professional Engineers and Land Surveyors, Licensing Act, Utah Code Annotated, 1953 as amended, certificate no. 5331527. I further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, and easements, have completed a survey of the property described on this plat in accordance with Section 17-23-17, Utah code Annotated, 1953 as amended, have verified all measurements, and have placed monuments as represented on the plat.

DARYL N PENROD

DATE

BOUNDARY DESCRIPTION

ALL OF LOT 1, BLOCK 48, PLAT "B", SANTAQUIN CITY SURVEY OF BUILDING LOTS.

ALSO DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH LIES S00°43'57"E 679.51 FEET ALONG THE SECTION LINE AND S89°49'54"E 190.57 FEET ALONG THE SOUTH LINE OF SAID LOT, FROM THE NORTHWEST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE N89°49'54"W 166.31 FEET ALONG THE NORTH RIGHT-OF-WAY OF 300 NORTH STREET; THENCE N00°32'54"E 247.75 FEET; THENCE S89°49'19"E 166.47 FEET TO THE WEST RIGHT-OF-WAY OF CENTER STREET; THENCE ALONG SAID RIGHT-OF-WAY S00°35'07"W 247.73 FEET TO THE POINT OF BEGINNING. CONTAINING 0.95 ACRES OF LAND.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENT AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____, A.D. 20____.

SANDRA JILL SNELL

ACKNOWLEDGMENT

STATE OF UTAH } s.s.
COUNTY OF UTAH }

ON THE ____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, SANDRA JILL SNELL, THE SIGNER OF THE FOREGOING CERTIFICATE WHO DULY ACKNOWLEDGE TO ME THAT SHE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF _____, A.D. 20____, BY
THE PLANNING COMMISSION.

CHAIRMAN

DIRECTOR / SECRETARY

UTILITY APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT TO ACCESS SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER

DATE

CENTRACOM

DATE

CENTURY LINK

DATE

PLAT A

LIND

SUBDIVISION

SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, S.L.B. & M.

SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE 1"= 20 FEET

SURVEYOR

CITY/COUNTY ENGINEER

CLERK-RECORDER

NOTARY PUBLIC

COUNTY RECORDER'S CERTIFICATE

LUDLOW ENGINEERING & LAND SURVEYING

645 NORTH MAIN NEPHI, UTAH 84648
VOICE (435) 623-0897 FAX: (435) 623-2381
LE 4047

WEST QUARTER
CORNER OF SECTION 1,
T10S, R1E, SLB&M.

MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: January 7, 2022

RE: **Timber Valley Subdivision Preliminary/Final**

Zone: R-10 Size: 1.60 Acres Lots: 3

The Timber Valley subdivision is located at 465 North 500 West. The proposed subdivision is in the R-10 Residential zone and consists of 3 lots on 1.60 acres. Lots within the R-10 zone are required to have a minimum lot size of 10,000 square feet and a minimum lot width of 80 feet. The proposed lots range from 0.48 acres (20,901 square feet) to 0.60 acres (26,205 square feet), and the lot frontages range from 82.53 feet to 112.04 feet. All requirements in the R-10 zone ([SCC 10.20.080](#)) are being met.

The applicant is required to put in a fence along the west border of the property. There is an active agricultural use to the west of the project. The applicant is proposing a white vinyl split rail fence that will match the fence that is along the front of the property. The fence requirement can be found in [SCC 11.24.340.B](#).

Subdivisions with three lots or less can combine preliminary and final plans into one submittal. This development qualifies for this streamlined process. The final plans were reviewed by the Development Review Committee and a positive recommendation was forwarded to the Planning Commission. The Planning Commission will be the land use authority for the subdivision.

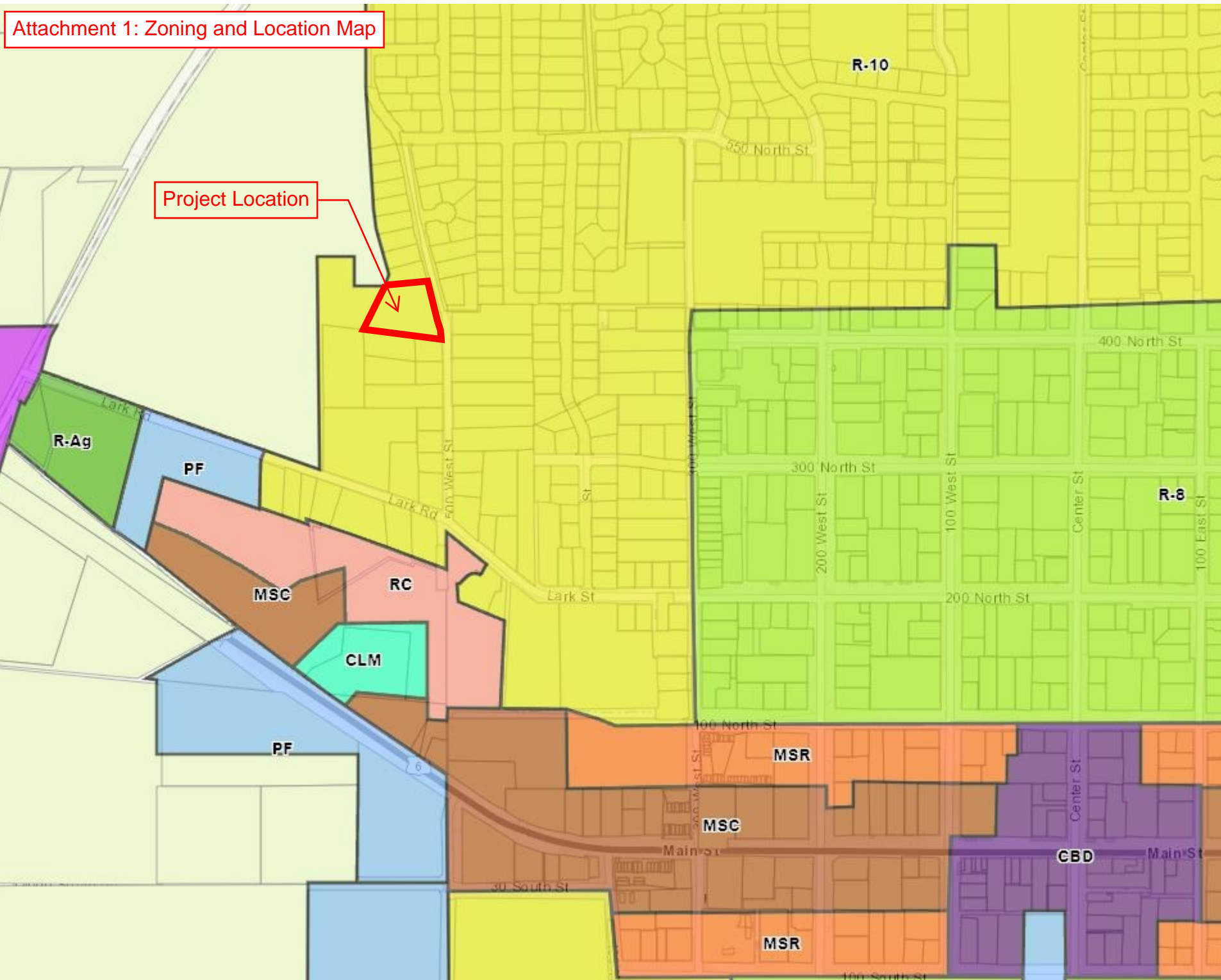
Recommended Motion: “Motion to approve the Timber Valley Subdivision with the following condition:

- All engineering redlines be addressed.

Attachments:

1. Zoning and Location Map
2. Preliminary/Final Plans

Attachment 1: Zoning and Location Map



TIMBER VALLEY SUBDIVISION

465 N 500 W
29:037:0041
SANTAQUIN, UTAH COUNTY, UTAH

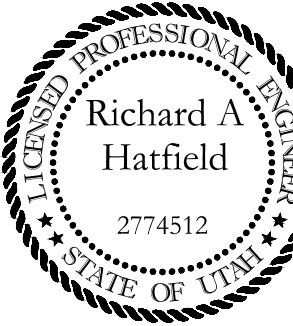
ENGINEER
RICHARD HATFIELD, P.E.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: RICHARDH@APEX20.COM

SURVEYOR:
SPENCER MCCUTCHEON, P.L.S.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: SPENCERM@APEX20.COM

DEVELOPER:
KENT STEPHENS
TEL: 801-706-3085
EMAIL: KENTCSTEPHENS@GMAIL.COM



REVISIONS	
DATE	BY



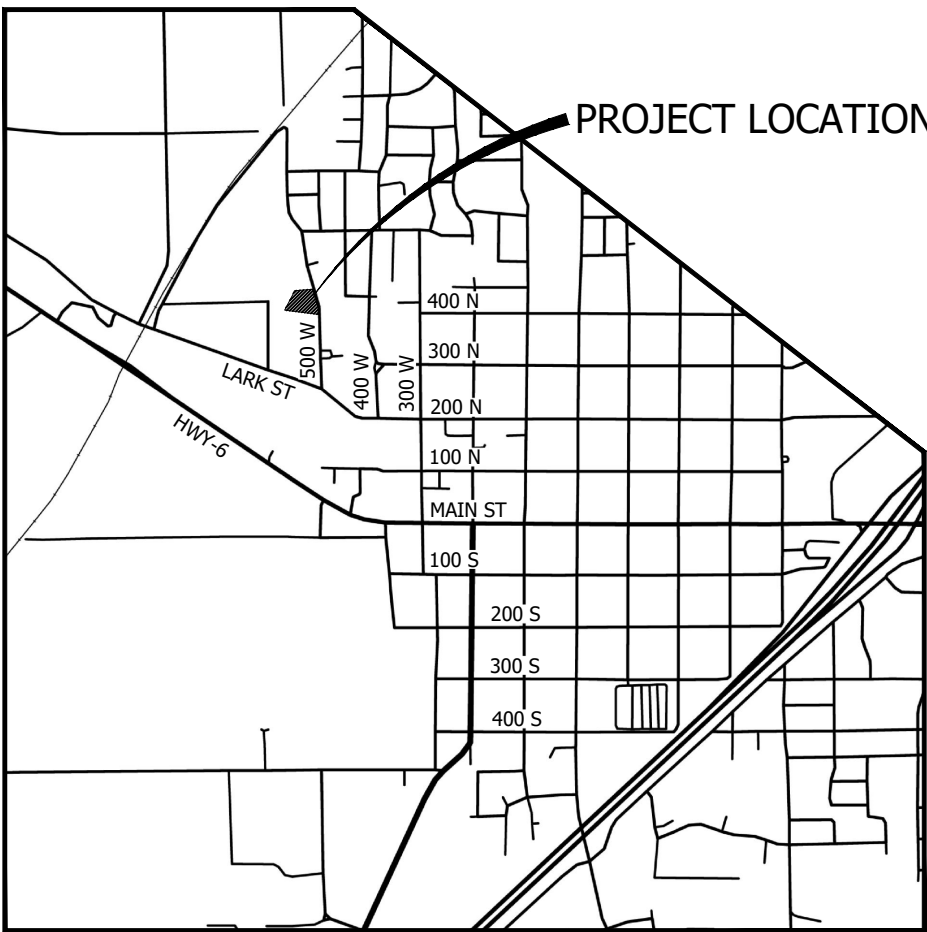
TIMBER VALLEY SUBDIVISION
COVER SHEET

FOR: KENT STEPHENS

LOCATION: SANTAQUIN, UTAH COUNTY, UTAH

DATE: 12-21-2021

DRAWING: C-1



VICINITY MAP
SCALE: N.T.S.

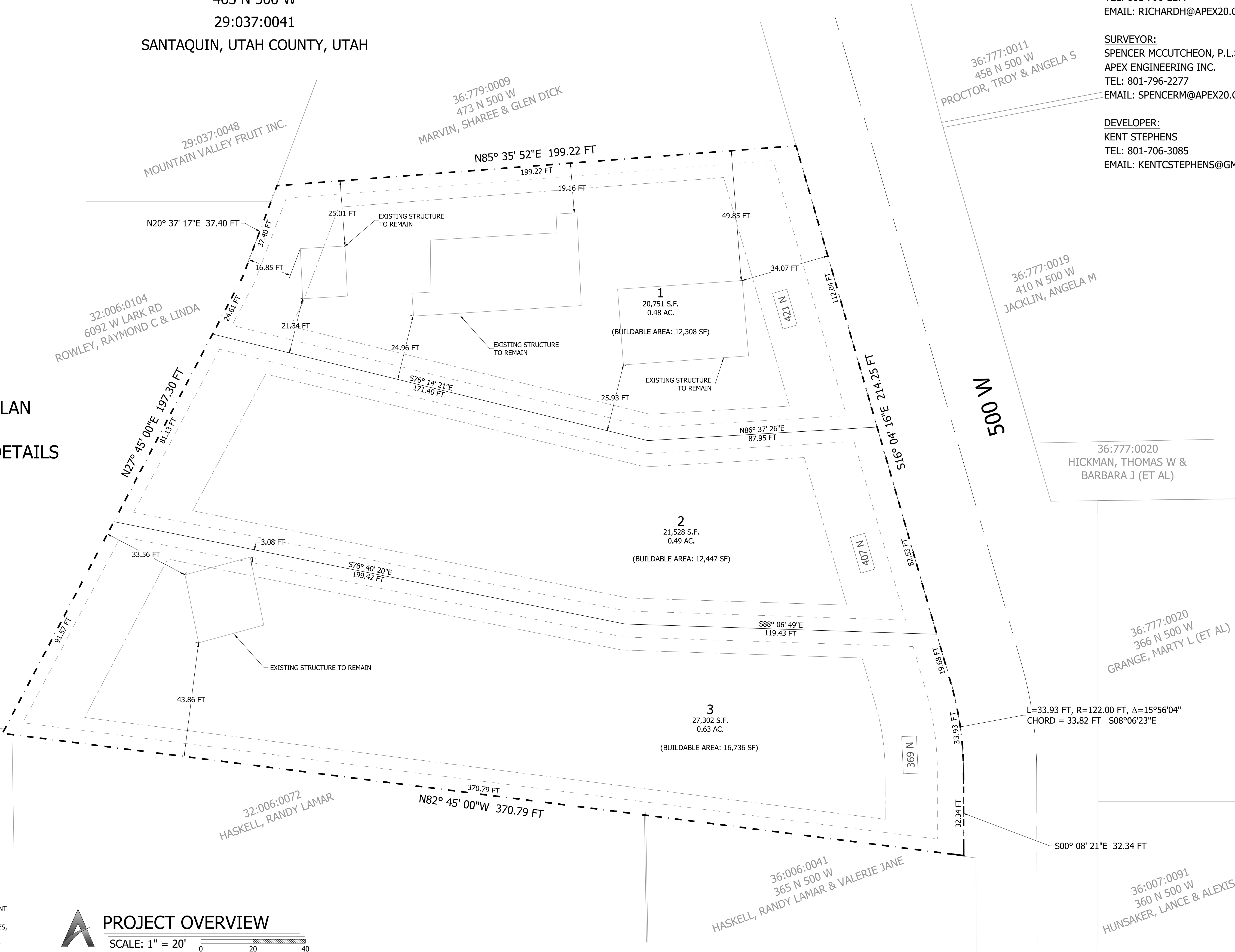
SHEET INDEX

- C-1 COVER SHEET
- C-2 DEMOLITION PLAN
- C-3 UTILITY PLAN
- C-4 EROSION CONTROL PLAN
- D-1 DETAIL SHEET
- D-2 EROSION CONTROL DETAILS
- EX-1 PLAT SHEET

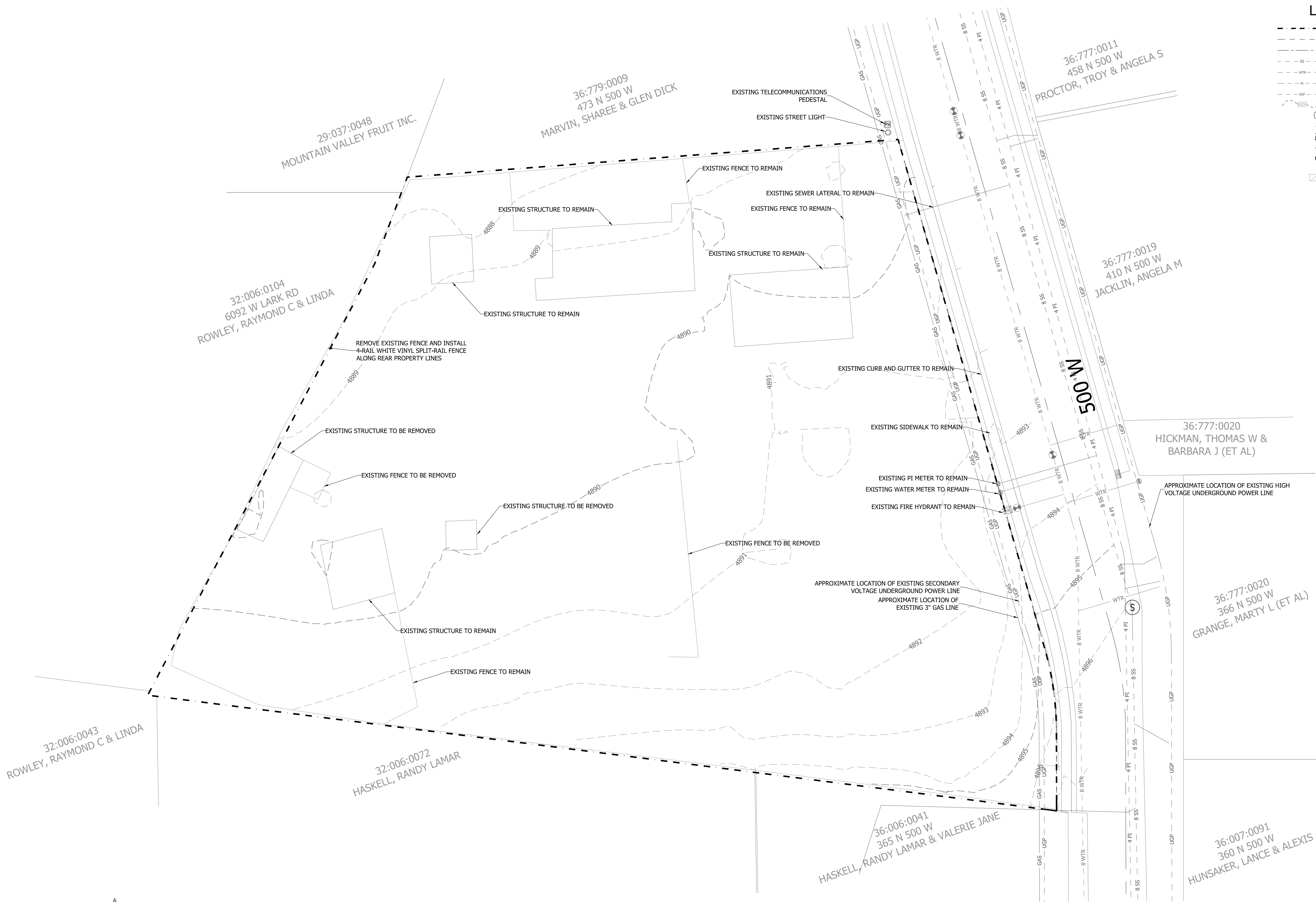
DENSITY TABLE	
ZONING CLASSIFICATION	R-10
TOTAL NUMBER OF LOTS	3
TOTAL ACREAGE	1.60 AC
TOTAL ACREAGE IN LOTS	1.60 AC
TOTAL R.O.W. ACREAGE	0 AC
TOTAL OPEN SPACE ACREAGE	0 AC
TOTAL UNBUILDABLE ACREAGE	0 AC
GROSS DENSITY	1.875 UNITS/AC

NOTE:
1) THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

PROJECT OVERVIEW
SCALE: 1" = 20'



PRELIMINARY- NOT FOR CONSTRUCTION



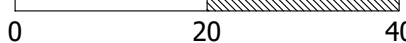
LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- SETBACK LINE
- SS --- EXISTING SANITARY SEWER LINE
- WTR --- EXISTING WATER LINE
- PI --- EXISTING PI LINE
- UGP --- EXISTING POWER LINE
- EXISTING CONTOUR LINE
- (S) EXISTING SEWER MANHOLE
- SEWER CLEANOUT
- ⊗ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊗ WATER METER
- ▨ PROPOSED 2" EDGE MILL AND ASPHALT OVERLAY



DEMOLITION PLAN

SCALE: 1" = 20'

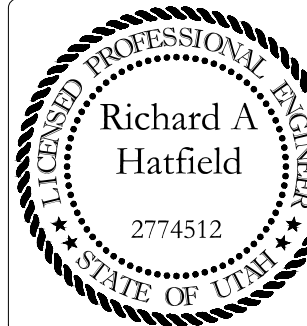


PRELIMINARY- NOT FOR CONSTRUCTION



REVISIONS

DATE	BY	REMARKS



TIMBER VALLEY SUBDIVISION
DEMOLITION PLAN

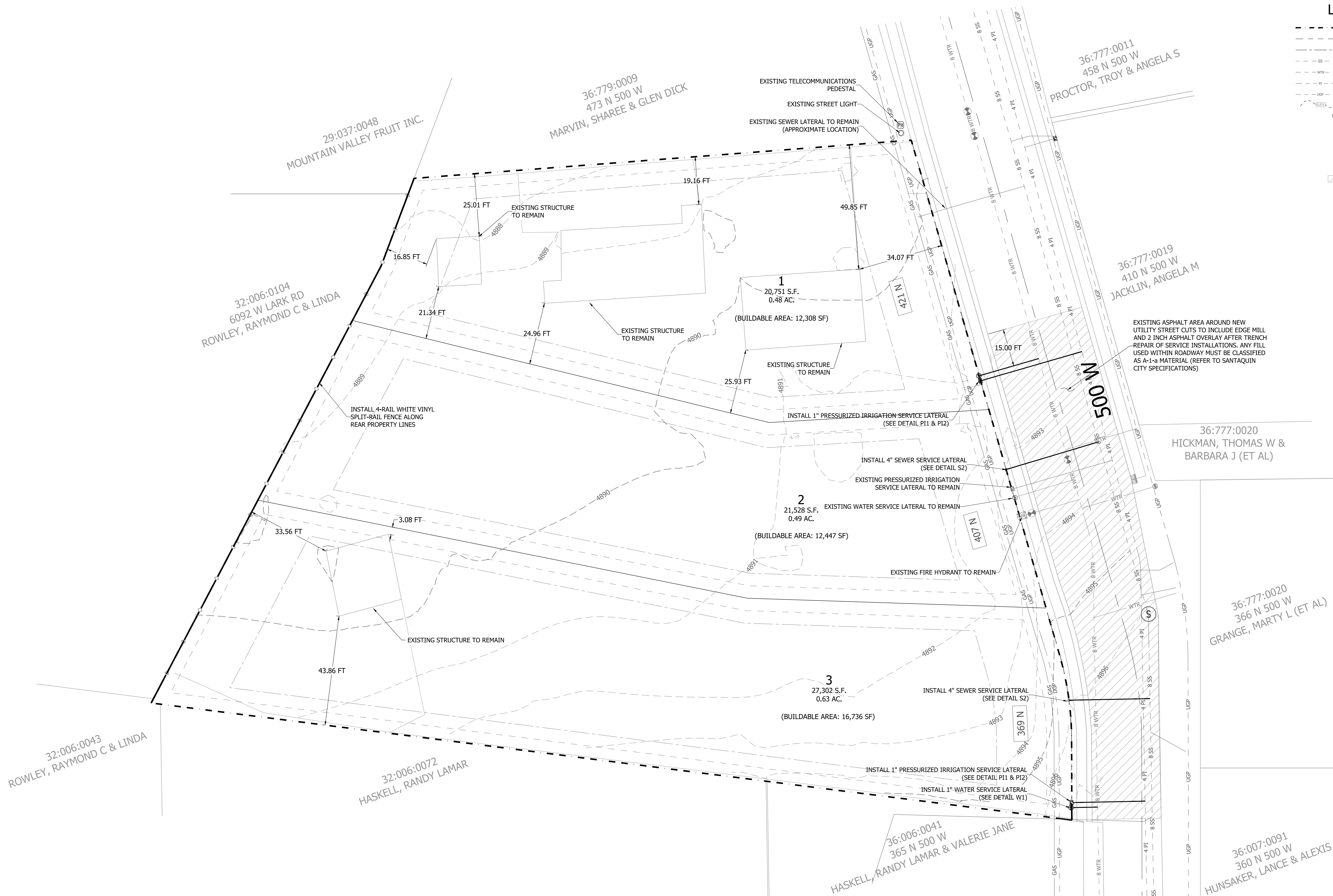
DATE: 12-21-2021

LOCATION: SANTAQUIN, UTAH COUNTY, UTAH

FOR: KENT STEPHENS

DRAWING:

C-2



- LEGEND
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - SETBACK LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE
 - EXISTING P1 LINE
 - EXISTING POWER LINE
 - EXISTING CONTOUR LINE
 - EXISTING SEWER MANHOLE
 - SEWER CLEANOUT
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - PROPOSED 2" EDGE MILL AND ASPHALT OVERLAY

UTILITY PLAN
SCALE: 1" = 20'

PRELIMINARY- NOT FOR CONSTRUCTION



REVISIONS	
DATE	BY



TIMBER VALLEY SUBDIVISION
UTILITY PLAN








FOR: KENT STEPHENS

DRAWING: C-3

LOCATION: SANTAQUIN, UTAH COUNTY, UTAH

DATE: 12-21-2021

LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  BOUNDARY OF PROJECT
-  SILT FENCE
-  LIMITS OF DISTURBANCE
-  INLET PROTECTION
-  PT
-  CW
- CONCRETE WASHOUT

GENERAL STORM WATER POLLUTION PREVENTION PLAN

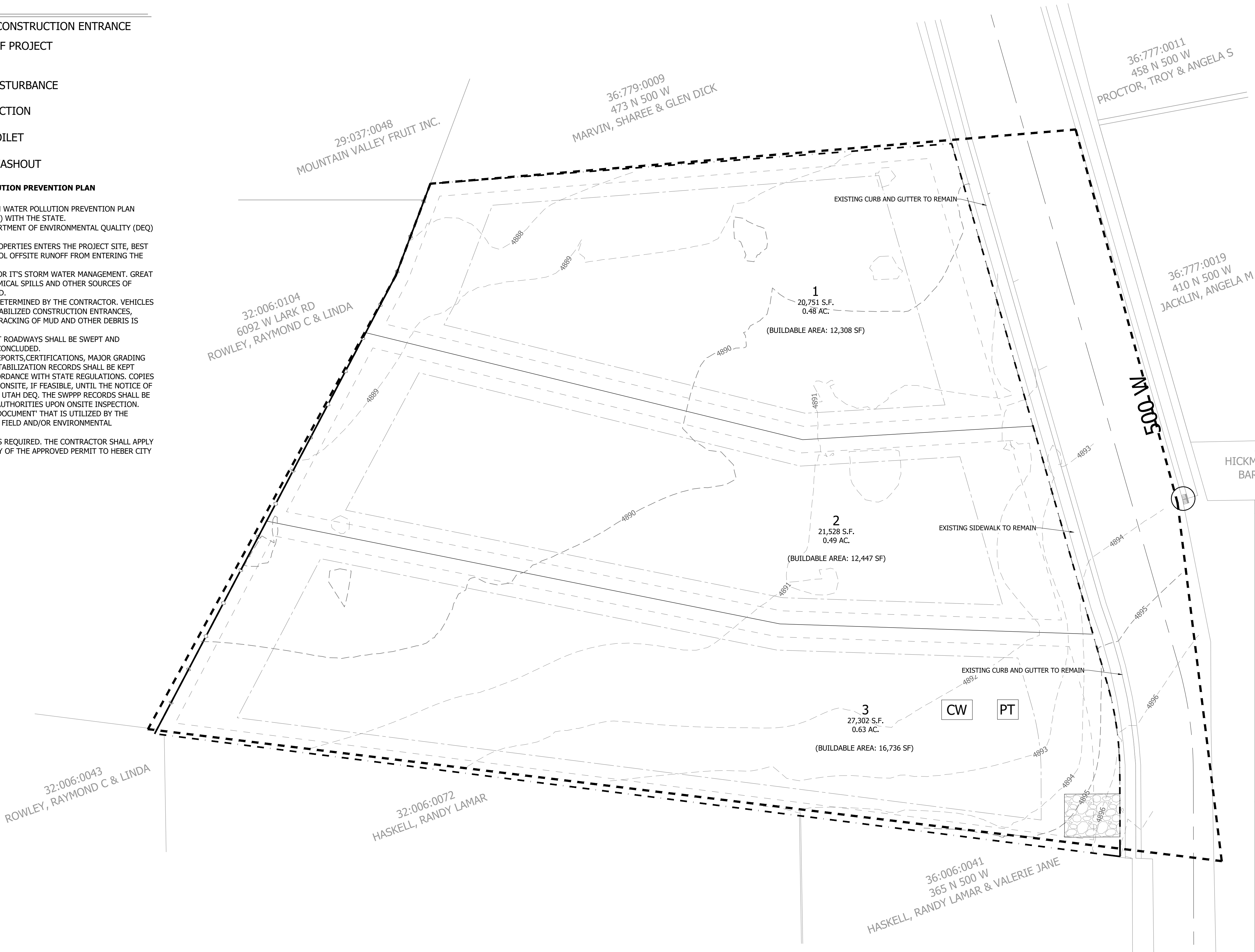
NOTES:

- A. THE CONTRACTOR MUST COMPLETE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE STATE.
- B. THE SWPPP MUST COMPLY WITH UTAH DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) REGULATIONS.
- C. IF AT ANY TIME RUNOFF FROM ADJACENT PROPERTIES ENTERS THE PROJECT SITE, BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL OFFSITE RUNOFF FROM ENTERING THE SITE SHALL BE IMPLEMENTED.
- D. THIS PROJECT UTILIZES 100% RETENTION FOR IT'S STORM WATER MANAGEMENT. GREAT CARE MUST BE TAKEN TO ENSURE THAT CHEMICAL SPILLS AND OTHER SOURCES OF ONSITE POLLUTION SOURCES ARE PREVENTED.
- E. VEHICLE ENTRANCE LOCATIONS ARE TO BE DETERMINED BY THE CONTRACTOR. VEHICLES MUST EXIT THE SITE ONLY THROUGH THE STABILIZED CONSTRUCTION ENTRANCES, ESPECIALLY DURING TIMES WHEN VEHICLE TRACKING OF MUD AND OTHER DEBRIS IS LIKELY.
- F. SEDIMENT THAT IS DEPOSITED ON ADJACENT ROADWAYS SHALL BE SWEEPED AND REMOVED DAILY BEFORE THE WORK DAY IS CONCLUDED.
- G. THE SWPPP, INSPECTION & MAINTENANCE REPORTS,CERTIFICATIONS, MAJOR GRADING RECORDS, AND TEMPORARY & PERMANENT STABILIZATION RECORDS SHALL BE KEPT CURRENT BY THE CONTRACTOR AND IN ACCORDANCE WITH STATE REGULATIONS. COPIES OF THE ALL SWPPP RECORDS SHALL BE KEPT ONSITE, IF FEASIBLE, UNTIL THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE UTAH DEQ. THE SWPPP RECORDS SHALL BE MADE READILY AVAILABLE TO REGULATORY AUTHORITIES UPON ONSITE INSPECTION.
- H. THIS SWPPP IS INTENDED TO BE 'WORKING DOCUMENT' THAT IS UTILIZED BY THE CONTRACTOR AND CHANGED ACCORDING TO FIELD AND/OR ENVIRONMENTAL CONDITIONS.
- I. A UPDES GENERAL CONSTRUCTION PERMIT IS REQUIRED. THE CONTRACTOR SHALL APPLY FOR THE PERMIT AND SHALL PROVIDE A COPY OF THE APPROVED PERMIT TO HEBER CITY PRIOR TO CONSTRUCTION.



EROSION CONTROL PLAN

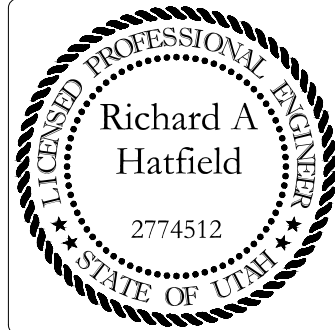
SCALE: 1" = 20'



PRELIMINARY- NOT FOR CONSTRUCTION



REVISIONS	
DATE	BY



TIMBER VALLEY SUBDIVISION

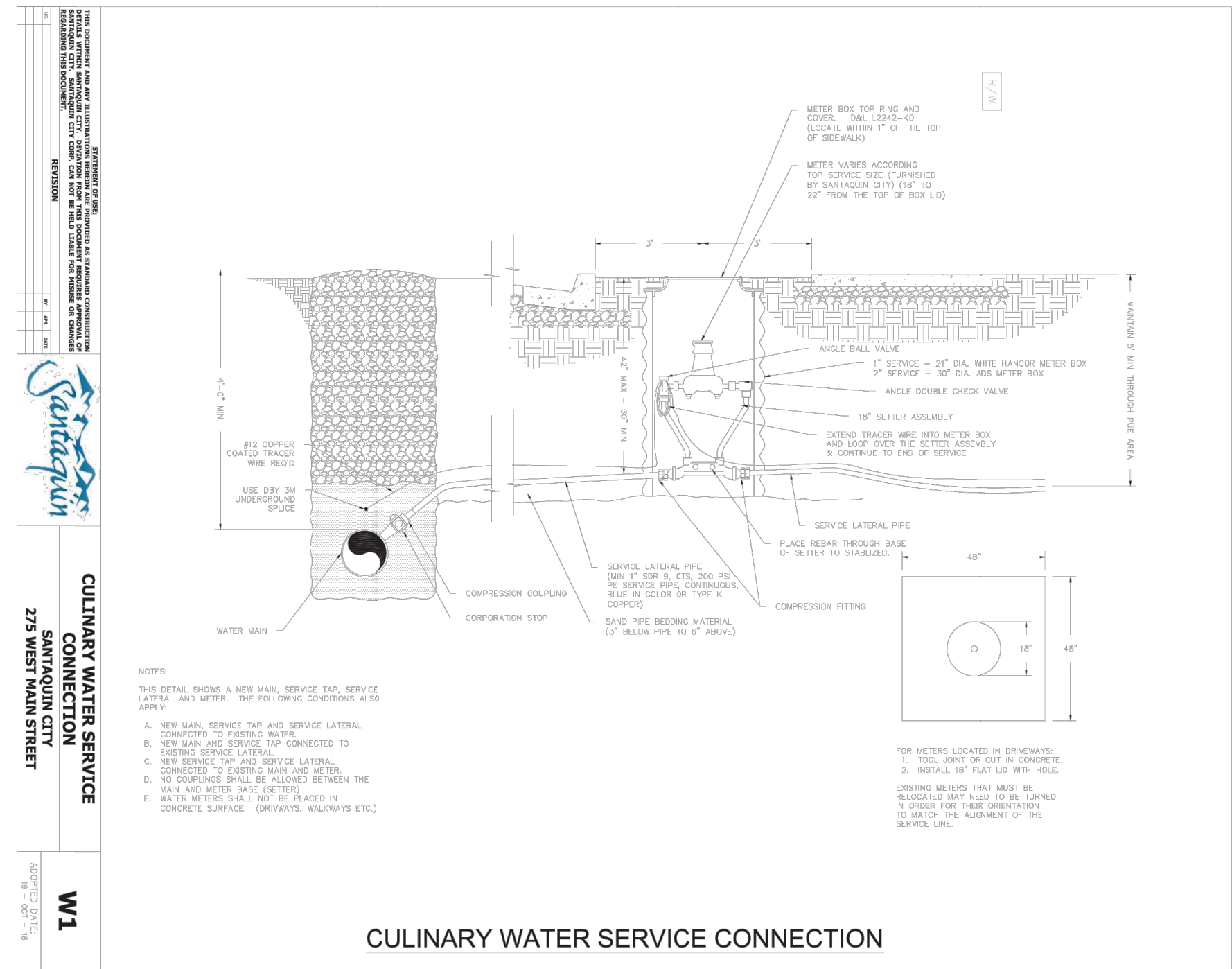
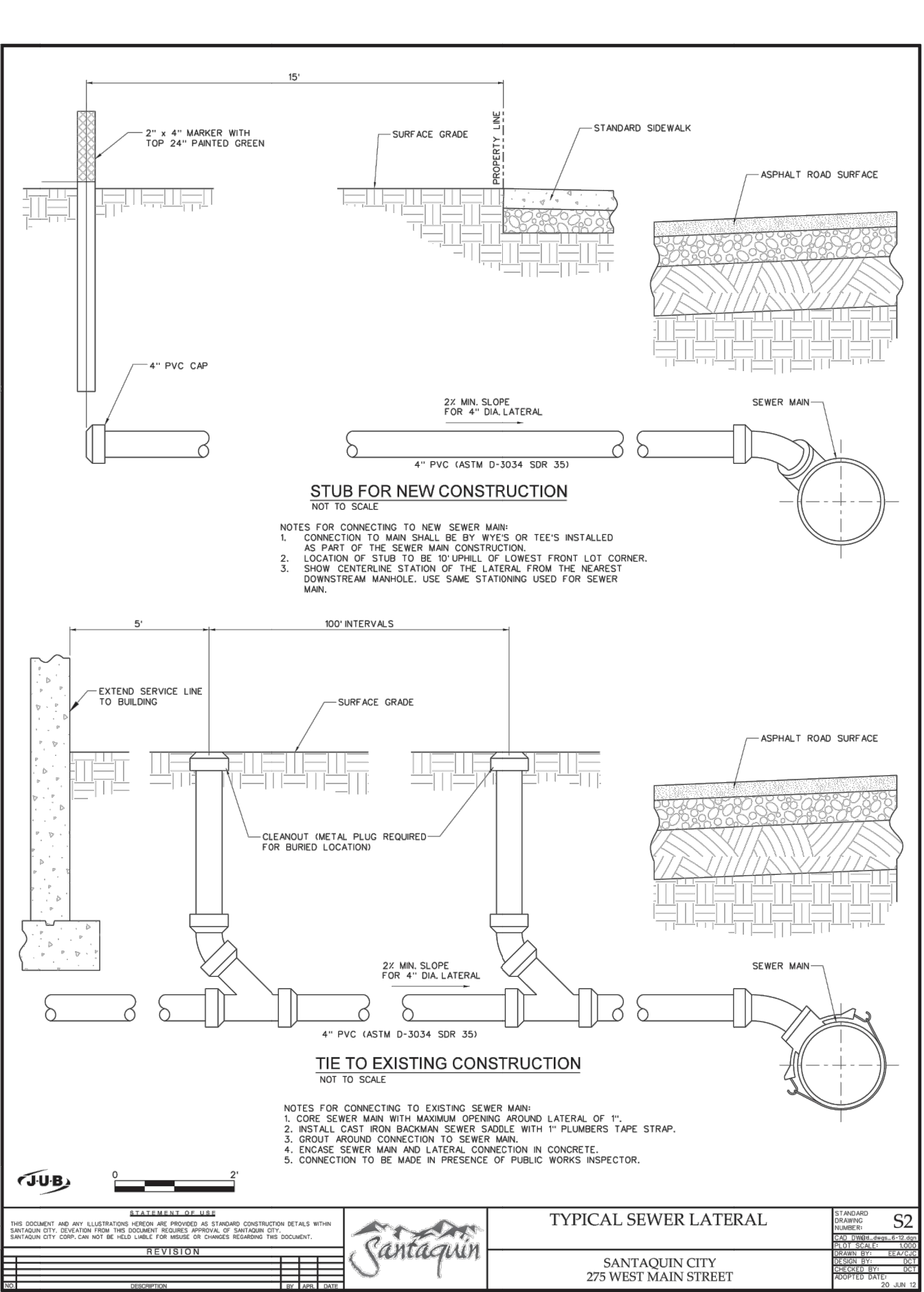
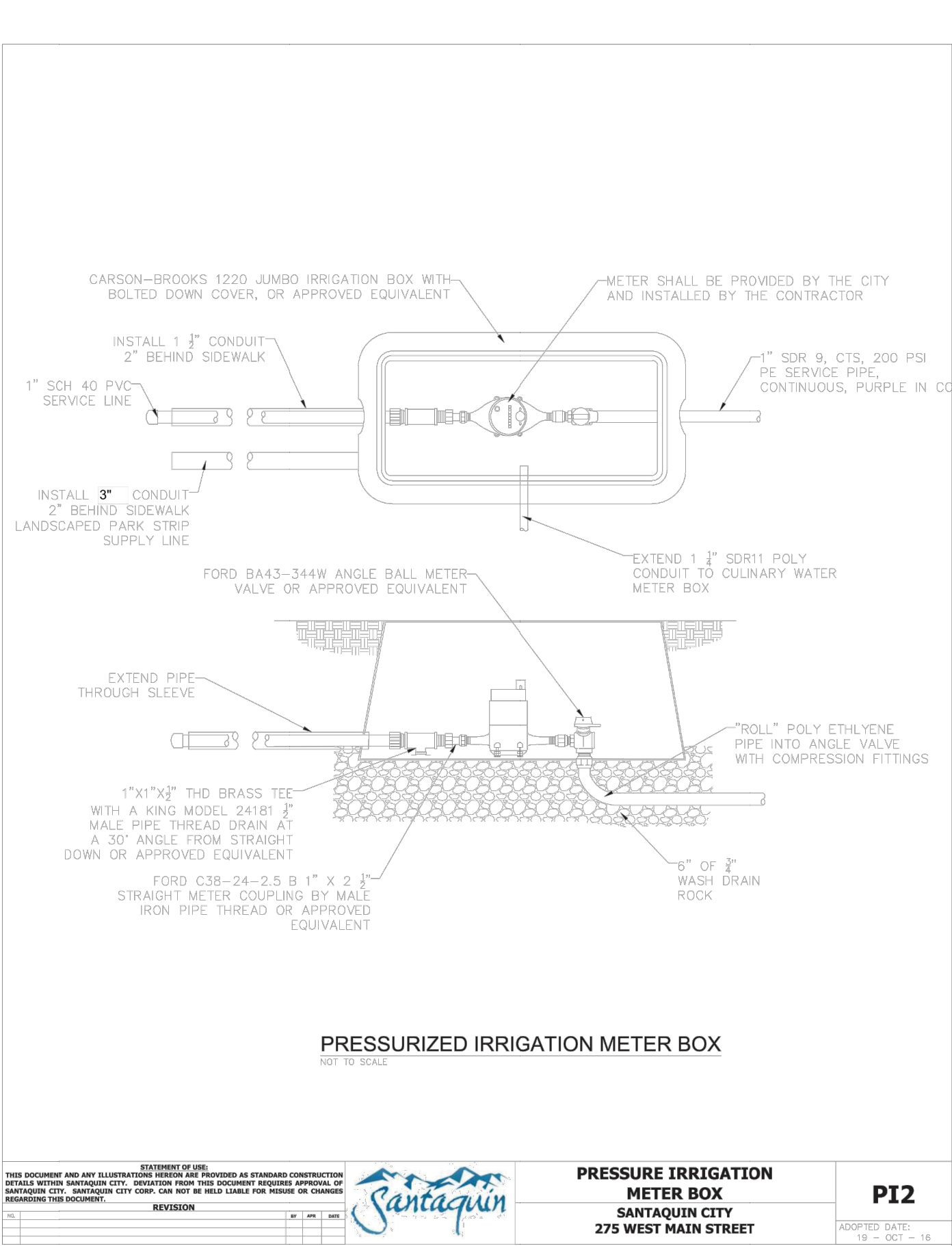
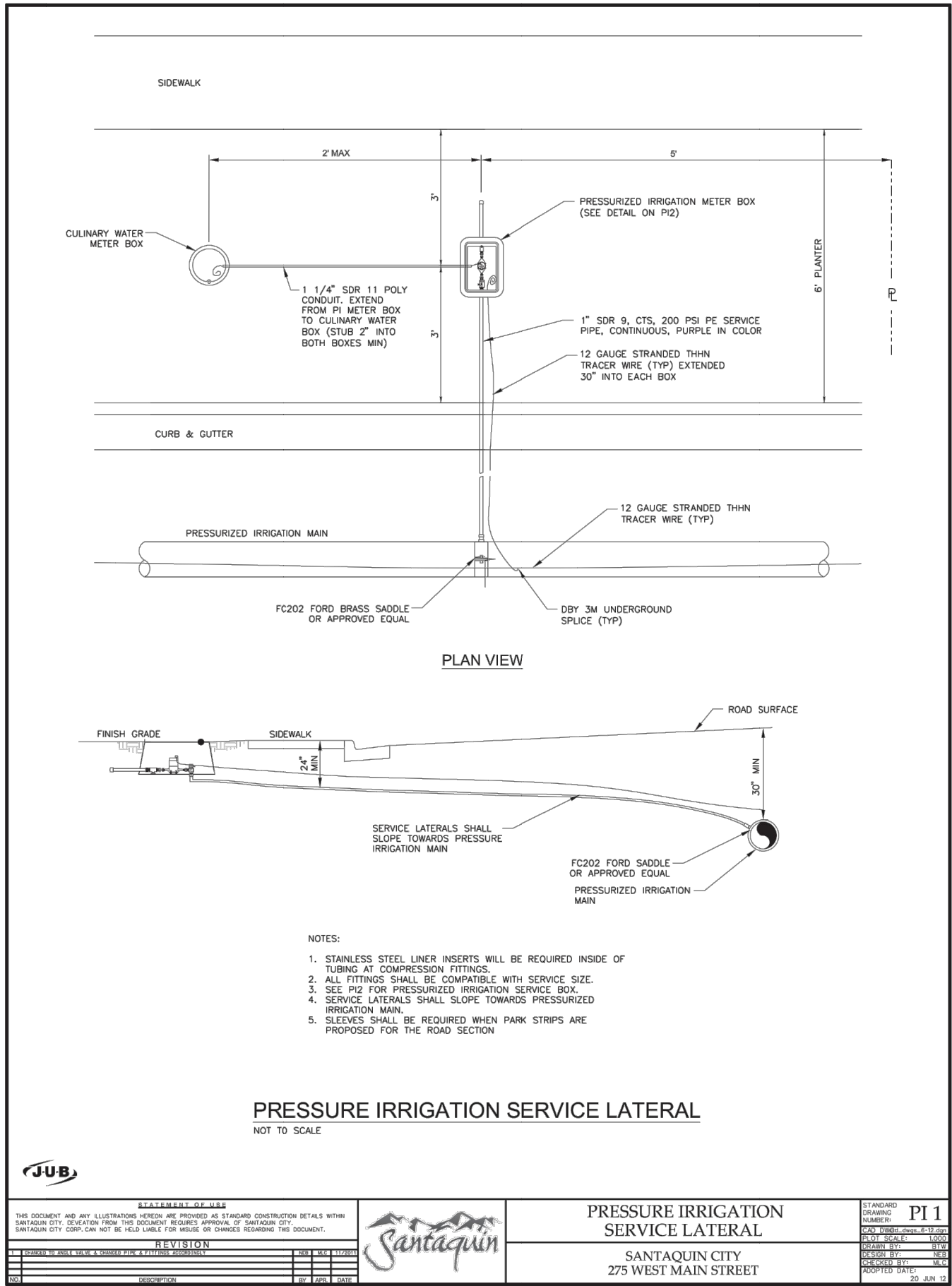
EROSION CONTROL PLAN

FOR: KENT STEPHENS

LOCATION: SANTAQUIN, UTAH COUNTY, UTAH

DATE: 12-21-2021

DRAWING: C-4



PRELIMINARY- NOT FOR CONSTRUCTION

TIMBER VALLEY SUBDIVISION
DETAIL SHEET

FOR: KENT STEPHENS
LOCATION: SANTAQUIN, UTAH COUNTY, UTAH
DATE: 12-21-2021

DRAWING: D-1

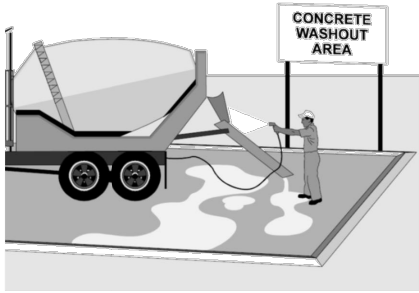


REVISIONS	
DATE	BY



CONCRETE WASHOUT

DESCRIPTION:
CONCRETE WORK, ESPECIALLY CONCRETE WASH-OUT ACTIVITIES GENERATE WATER AND SLURRY CONTAINING FINE PARTICLES OFTEN HAVING A HIGH PH (CAUSTIC), WHICH IS DETRIMENTAL TO STORMWATER QUALITY AS WELL AS ANY AQUATIC LIFE NEARBY. THE DISCHARGE OF CONCRETE WASHOUT WATERS ARE PROHIBITED UNDER THE CGP UNLESS MANAGED BY AN APPROPRIATE CONTROL. THE CONCRETE WASTE MANAGEMENT GUIDELINES AND PRACTICES PROVIDED IN THIS BMP ARE INTENDED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF CONCRETE WASTES INTO THE STORM DRAIN SYSTEM AND WATERWAYS.



- APPLICATION:**
- CONCRETE WASTE MANAGEMENT GUIDELINES AND PRACTICES ARE TO BE IMPLEMENTED ON ALL CONSTRUCTION PROJECTS WHERE CONCRETE OR MORTAR IS USED, WHERE CONCRETE DUST AND DEBRIS RESULT FROM DEMOLITION ACTIVITIES AND CONCRETE TRUCK WASHOUT OCCURS.
 - WHERE SLURRIES CONTAINING PORTLAND CEMENT CONCRETE (PCC) OR ASPHALT CONCRETE (AC) ARE GENERATED, SUCH AS FROM SAW CUTTING, CORING, GRINDING, GROOVING, AND HYDRO-CONCRETE DEMOLITION.
 - WHERE CONCRETE TRUCKS AND OTHER CONCRETE-HANDLING EQUIPMENT ARE EMPTIED AND/OR WASHED ON-SITE.

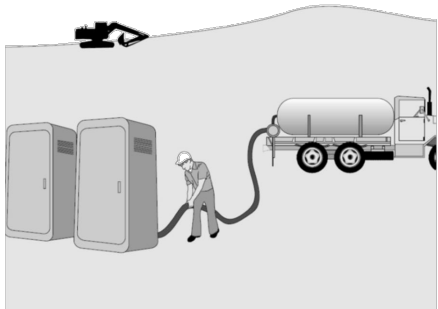
- LIMITATIONS:**
- MULTIPLE WASHOUTS MAY BE NEEDED TO ASSUME ADEQUATE CAPACITY AND TO ALLOW FOR EVAPORATION.

- DESIGN AND IMPLEMENTATION:**
- EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON THE CONCRETE WASTE MANAGEMENT TECHNIQUES DESCRIBED HEREIN.
 - PCC AND AC WASTE SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERWAYS.
 - PCC AND AC WASTE SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN CONFORMANCE WITH STANDARD SPECIFICATIONS SECTION 107.
 - COLLECT SLURRY RESIDUE AND PLACE IN A TEMPORARY CONTAINMENT FACILITY AND ALLOW SLURRY TO DRY. DRIED SLURRIES SHALL BE PROPERLY DISPOSED BEFORE PROJECT COMPLETION.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 100 FEET, WHERE PRACTICAL, FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES, UNLESS DETERMINED INFEASIBLE BY THE ENGINEER. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
 - A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY ADVISING CONCRETE EQUIPMENT OPERATORS ON THE LOCATION OF THE WASHOUTS AND THEIR PROPER USE.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - TEMPORARY WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREA OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
 - WASH CONCRETE ONLY FROM MIXER TRUCK CHUTES INTO APPROVED DESIGNATED CONCRETE WASH OUT FACILITY.
 - HARDENED CONCRETE WASTE IN WASHOUT FACILITIES SHALL BE BROKEN UP, REMOVED, AND DISPOSED OF PER BMP MM-05 CONSTRUCTION DEBRIS AND LITTER MANAGEMENT. HARDENED CONCRETE CAN BE BROKEN UP AND INCORPORATED INTO FILL AS APPROVED BY THE ENGINEER.
 - BELOW-GRADE CONCRETE WASHOUT FACILITIES SHALL BE LINED MATERIAL. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 40-MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
 - THE SOIL BASE SHALL BE PREPARED FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE PLASTIC LINING MATERIAL.

- MAINTENANCE AND INSPECTION:**
- MONITOR ON-SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
 - TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES FOR ABOVE GRADE FACILITIES AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE, MAINTAINING LINERS, AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
 - WHEN THE WASHOUT IS 75% FULL (NOT INCLUDING FREEBOARD), IT MUST BE CLEANED, OR A NEW WASHOUT CONSTRUCTED.
 - ENSURE SIGNAGE IS PROPERLY MAINTAINED AT ALL ONSITE TEMPORARY WASHOUT FACILITIES.

PORTABLE TOILET / SANITARY WASTE

DESCRIPTION:
THE MAJORITY OF CONSTRUCTION WORK REQUIRES TEMPORARY OR PORTABLE SANITARY/SEPTAGE FACILITIES TO BE PROVIDED ON-SITE FOR EMPLOYEES AND STAFF. THIS BMP PROVIDES GUIDELINES AND PRACTICES TO MINIMIZE THE LIKELIHOOD OF SANITARY/SEPTAGE WASTE FROM PORTABLE TOILETS REACHING THE STORM DRAIN SYSTEM OR WATERCOURSES.



- APPLICATION:**
- CONSTRUCTION SITES THAT UTILIZE PORTABLE TOILETS.
- LIMITATIONS:**
- CONTRACTS ARE REQUIRED FOR ON-SITE SERVICING OF PORTABLE TOILETS, CONSEQUENTLY OVERSIGHT OF VENDOR SERVICING ACTIVITIES MAY BE NECESSARY.

DESIGN AND IMPLEMENTATION:

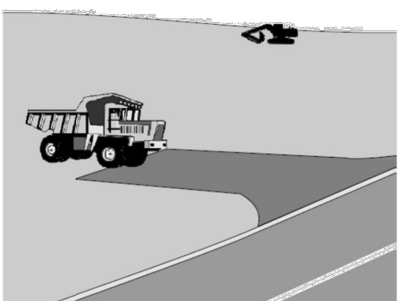
- EDUCATION**
- THE CONTRACTOR SHOULD EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON SANITARY/SEPTAGE WASTE STORAGE AND DISPOSAL PROCEDURES.
 - THE CONTRACTOR SHOULD EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS OF POTENTIAL DANGERS TO HUMANS AND THE ENVIRONMENT FROM SANITARY/SEPTAGE WASTES.

- APPLICATION PRACTICES**
- TEMPORARY SANITARY FACILITIES SHALL BE LOCATED AWAY FROM WATERWAYS AND DRAINAGE FACILITIES (OUTSIDE OF STORMWATER FLOW AREAS).
 - ALL PORTABLE TOILETS MUST BE FIRMLY SECURED TO PREVENT OVERTURNING. STAKE TOILETS TO THE GROUND SURFACE (ALL FOUR CORNERS) OR USE TRAILER MOUNTED UNITS.
 - WASTEWATER SHALL BE PROPERLY DISPOSED AND NEVER DISCHARGED OR BURIED.
 - ENSURE THAT SANITARY/SEPTIC FACILITIES ARE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE PROVIDER.
 - USE ONLY LICENSED SANITARY/SEPTAGE WASTE HAULERS TO CLEAN AND PUMP OUT THE UNITS.
 - PLACE TOILETS AT CONVENIENT LOCATIONS TO ENCOURAGE USE.
 - LOCATE TOILETS IN SECURE AREAS OF THE CONSTRUCTION SITE TO AVOID VANDALISM.
 - DO NOT SITUATE PORTABLE TOILETS IN AREAS WHERE THEY MAY BE KNOCKED OVER BY EQUIPMENT OF VEHICLES.
 - REPORT ALL DISCHARGES OF PORTABLE TOILETS TO THE ENGINEER IMMEDIATELY.

- MAINTENANCE AND INSPECTION:**
- MAINTAIN, CLEAN, REPAIR AND SERVICE PORTABLE TOILETS AS REQUIRED.
 - INSPECT FOR LEAKS OR OTHER ISSUES AT LEAST WEEKLY.
 - ARRANGE A REGULAR MAINTENANCE SCHEDULE FOR CLEANING AND EMPTYING.

STABILIZED CONSTRUCTION ENTRANCE

DESCRIPTION:
A STABILIZED CONSTRUCTION ENTRANCE IS A DEFINED POINT OF ACCESS TO ENTER OR EXIT A CONSTRUCTION SITE THAT IS STABILIZED TO REDUCE THE TRACKING OF MUD AND DIRT ONTO ADJACENT ROADS BY CONSTRUCTION VEHICLES AND EQUIPMENT. EXAMPLES INCLUDE: AGGREGATE PADS, STEEL PLATES WITH RIBS (I.E. WHEEL SHAKERS), AND WASH RACKS.



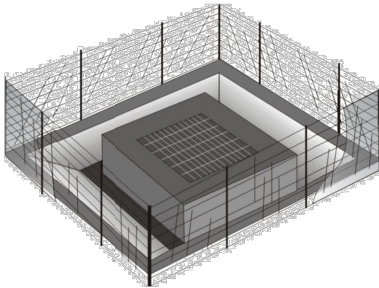
- APPLICATION:**
CONSTRUCTION PROJECTS WHERE SEDIMENT AND OTHER MATERIALS HAVE THE POTENTIAL TO BE TRACKED OFF-SITE.
- LIMITATIONS:**
SITE CONDITIONS WILL DICTATE THE ACTUAL DESIGN.

- DESIGN AND CONSTRUCTION**
- DESIGNATE DEDICATED ENTRANCES AND EXITS AND REQUIRE ALL CONSTRUCTION TRAFFIC TO USE THESE POINTS OF ACCESS.
 - INSTALL SIGNS DIRECTING TRAFFIC TO THE DESIGNATED APPROACHES.
 - LIMIT VEHICLE SPEEDS ON ALL UNPAVED ROUTES AND PARKING AREAS TO LIMIT DUST GENERATION.
 - PROPERLY GRADE CONSTRUCTION ENTRANCES AND EXITS TO PREVENT RUNOFF FROM FLOWING ONTO PAVED ROADS.
 - AVOID SITING EXITS AT DIPS, LOW SPOTS, AND AREAS THAT REMAIN WET AFTER PRECIPITATION.
 - ROUTE RUNOFF FROM STABILIZED APPROACH TO DESIGNATED AREAS AND RETAIN THE RUNOFF ON-SITE.
 - DESIGN STABILIZED APPROACHES TO SUPPORT THE HEAVIEST ANTICIPATED VEHICLES AND EQUIPMENT.
 - STABILIZED APPROACHES SHOULD BE A MINIMUM OF 15 FEET WIDE BY 50 FEET LONG (OR THE LENGTH OF THE LONGEST HAUL TRUCK, WHICHEVER IS GREATER). AGGREGATE MATERIAL SHALL BE AT LEAST 8 INCHES DEEP AND CONSIST OF 2"-3" ROCK RIPRAP. GEOTEXTILE SHALL BE PLACED UNDER THE AGGREGATE MATERIAL.
 - INSTALL WHEEL SHAKERS CONSISTING OF CONSTRUCTED/MANUFACTURED STEEL PLATES WITH RIBS. RIBBED OR CORRUGATED STEEL PLATES MUST BE MANUFACTURED TO SUPPORT ALL EXPECTED VEHICLE/EQUIPMENT LOADS.
 - WHEEL SHAKERS WITH LESS THAN 4 INCHES OF SOIL STORAGE SPACE BELOW THE TOP OF THE RACK SHOULD BE INSTALLED OVER 6 INCHES OF COARSE AGGREGATE.

- MAINTENANCE AND INSPECTION:**
- INSPECT DAILY FOR DAMAGE AND TO ASSESS BMP EFFECTIVENESS.
 - REMOVE AGGREGATE, SEPARATE, AND DISPOSE OF SEDIMENT IF AGGREGATE BECOMES LADEN WITH SEDIMENT. ADD ADDITIONAL AGGREGATE WHEN NEEDED.
 - INSPECT ROADWAYS FOR TRACKED MATERIALS DAILY AND REMOVE/DISPOSE TRACKED MATERIALS.

STORM DRAIN INLET PROTECTION

DESCRIPTION:
BMP'S MUST BE IMPLEMENTED WHEN WORKING NEAR INLETS TO MINIMIZE THE POTENTIAL FOR SITE GENERATED DEBRIS OR SEDIMENTS TO ENTER THE STORM DRAIN SYSTEM. THERE ARE NUMEROUS TECHNIQUES, DEVICES AND METHODS USED TO PROTECT STORM DRAIN INLETS, RANGING FROM GRAVEL BAGS, INLET FILTER SACKS, PADS, AND SILT FENCING. INLET PROTECTION IS A TEMPORARY BMP INTENDED TO KEEP SEDIMENT AND DEBRIS FROM ENTERING THE STORM SEWER SYSTEM UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE. INLET PROTECTION IS THE LAST LINE OF DEFENSE TO PREVENTING SEDIMENT AND DEBRIS FROM ENTERING THE STORM SEWER SYSTEM; THEREFORE, IT IS NECESSARY TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES WITHIN INLET DRAINAGE AREAS AS APPROPRIATE.



- APPLICATION:**
THIS PRACTICE IS TO BE IMPLEMENTED WHERE THERE IS AN INLET TO THE STORM SEWER SYSTEM THAT HAS THE POTENTIAL TO RECEIVE SEDIMENT OR OTHER DEBRIS FROM A CONSTRUCTION SITE. AN INLET IS TYPICALLY IN THE FORM OF A STANDARD DROP INLET, BUT MAY INCLUDE CURB CUTS, GRATES, DRAINAGE AND OVERFLOW STRUCTURES.

- LIMITATIONS:**
- INLET PROTECTION MEASURES CAN RESULT IN PONDED WATER ON THE ROADWAY. POORLY DRAINED ROADWAYS AND STANDING WATER MAY PRESENT A HAZARD TO DRIVERS. INLET PROTECT SHOULD BE PULLED DURING LARGER EVENTS TO MINIMIZE THIS RISK.
 - SHOULD UPSTREAM EROSION AND/OR SEDIMENT CONTROLS BE INADEQUATE, INLET PROTECTION MEASURES MAY BECOME OVERWHELMED WITH SEDIMENT AND DEBRIS.
 - LOCAL REGULATIONS MAY DICTATE THE USE OF INLET PROTECTION MEASURES.

- DESIGN AND CONSTRUCTION:** IDENTIFY STORM DRAIN INLETS WITH POTENTIAL TO RECEIVE STORMWATER RUNOFF. DETERMINE IF STORM DRAIN INLET PROTECTION IS NEEDED, AND WHICH TYPE OF DEVICE TO INSTALL.
- FILTER FABRIC FENCE INLET PROTECTION IS APPROPRIATE IN OPEN AREAS SUBJECT TO SHEET FLOW AND FOR FLOWS LESS THAN 0.5 FT³/S.
 - GRAVEL BAG BARRIERS FOR INLET PROTECTION ARE RECOMMENDED. SEDIMENT LOGS SHOULD NOT BE USED FOR INLET PROTECTION UNLESS EFFECTIVELY WEIGHTED/ANCHORED DOWN TO PROVIDE SUFFICIENT CONTACT WITH THE UNDERLYING SURFACE.
 - EXCAVATED INLET SEDIMENT TRAPS ARE APPROPRIATE WHERE RELATIVELY HEAVY FLOWS ARE EXPECTED, AND OVERFLOW CAPABILITY IS NEEDED. THIS METHOD SHALL BE USED FOR DRAIN INLETS REQUIRING PROTECTION IN AREAS WHERE FINISHED GRADE IS ESTABLISHED.

- COMMON INLET PROTECTION APPLICATIONS**
- SILT FENCE INLET PROTECTION:** SILT FENCING CAN BE USED TO PROTECT INLETS IN APPLICATIONS WHERE THE SURROUNDING AREA IS UNPAVED. INSTALL SILT FENCING AROUND THE PERIMETER OF THE INLET ALLOWING FOR SLOPE AND TOE CONSTRAINTS. DO NOT USE SILT FENCING AS FILTER FABRIC UNDERNEATH THE INLET GRATE ITSELF.
 - GRAVEL BAG INLET BARRIERS:** GRAVE BAG BARRIERS ARE RECOMMENDED COMMON ROADWAY INLET PROTECTION. THE OBJECTIVE OF THIS BMP IS TO SLOW THE FLOW AND ALLOW SIMPLE SEDIMENTATION BEHIND THE GRAVEL BAGS. GRAVEL BAGS SHOULD BE PLACED IN A MANNER THAT SLOWS AND DETAINS MOST SMALL STORMWATER EVENTS WITH NO SHORT CIRCUITING.
 - VENDOR PRODUCTS:** MANY PROPRIETARY DEVICES AND PRODUCTS ARE AVAILABLE FOR STORM DRAIN INLET PROTECTION. IF USED, THESE PRODUCTS SHALL BE INSTALLED AND MAINTAINED PER THE MANUFACTURER'S RECOMMENDATIONS.

- REQUIREMENTS:**
- INLET PROTECT SHALL BE IMPLEMENTED IN A MANNER THAT AVOIDS PONDING AND ENCROACHMENT UPON ROADWAY TRAFFIC OR ADJACENT PROPERTY.
 - REMOVE AND PROPERLY DISPOSE OF ALL INLET PROTECTION DEVICES AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTION IS NO LONGER NEEDED.
 - BRING THE DISTURBED AREA TO FINAL GRADE, AND SMOOTH AND COMPACT THE AREA IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. STABILIZE, AS APPROPRIATE, ALL DISTURBED AREAS AROUND THE INLET.

- MAINTENANCE AND INSPECTION:**
- INSPECT AREAS FOR ADEQUATE DRAINAGE.
 - ENSURE INLET PROTECTION MEASURES ARE NOT IMPACTING MOTORIST TRAFFIC.
 - ACCUMULATED SEDIMENT AND DEBRIS IS REMOVED AND DISPOSED OF ACCORDINGLY.



APEX
Engineering, Inc.
661 N. Main St., Spanish Fork, UT

REVISIONS		REMARKS	
DATE	BY		



TIMBER VALLEY SUBDIVISION

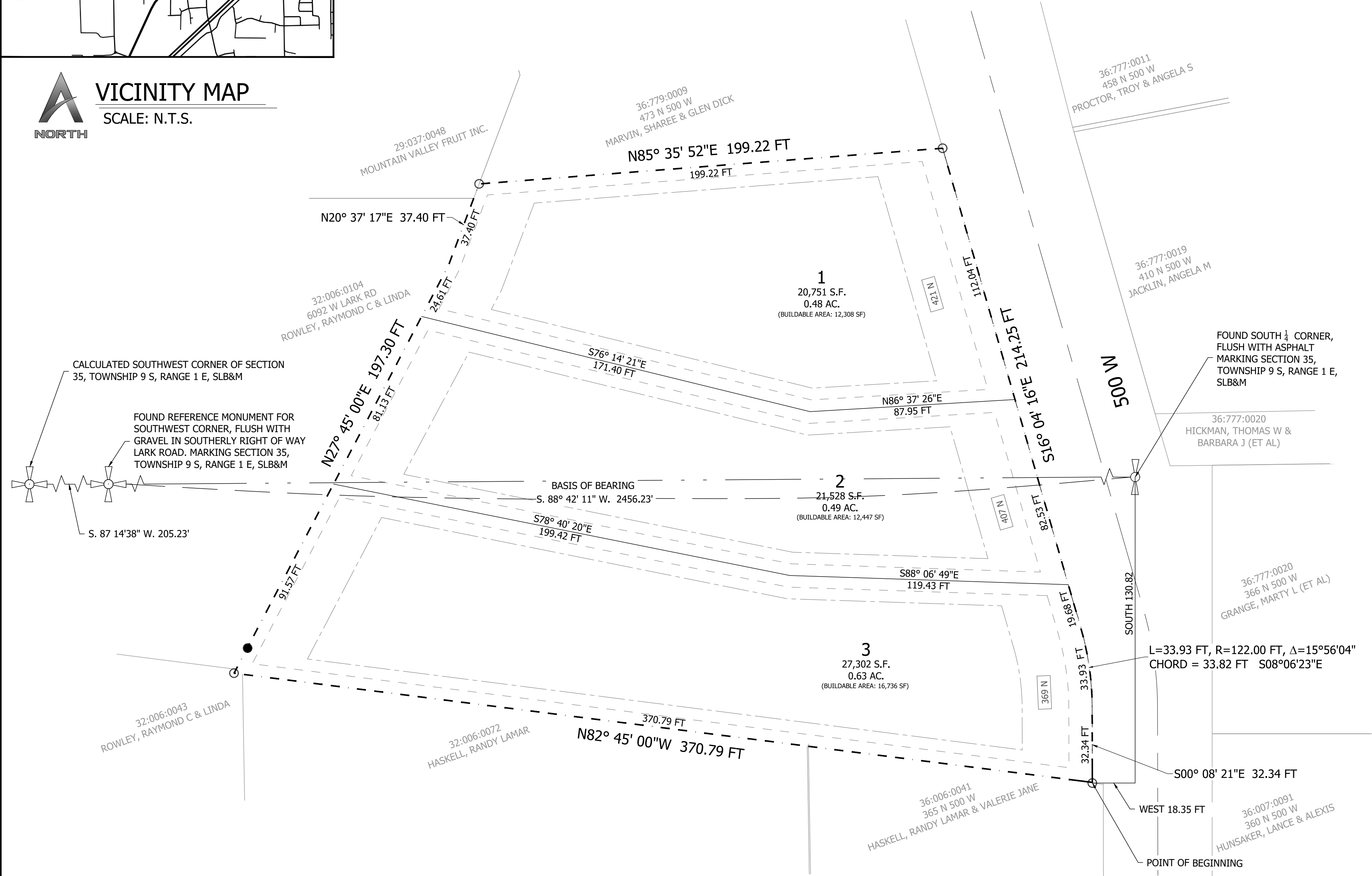
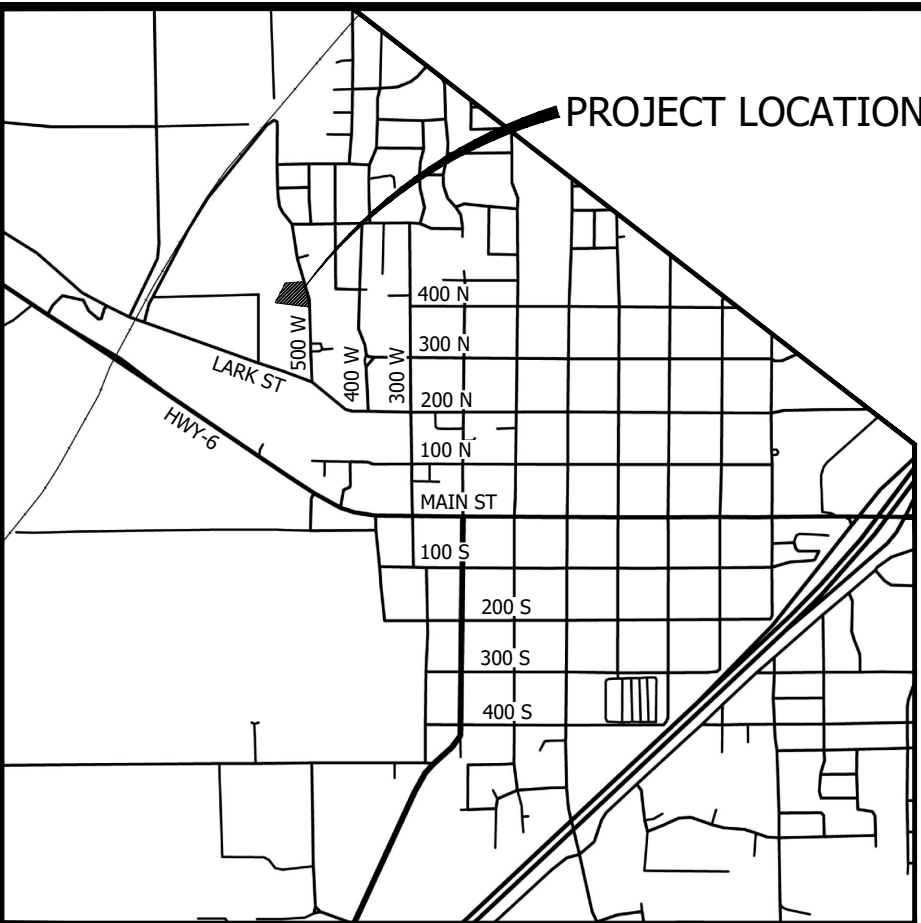
EROSION CONTROL DETAIL SHEET

FOR: KENT STEPHENS

LOCATION: SANTAQUIN, UTAH COUNTY, UTAH

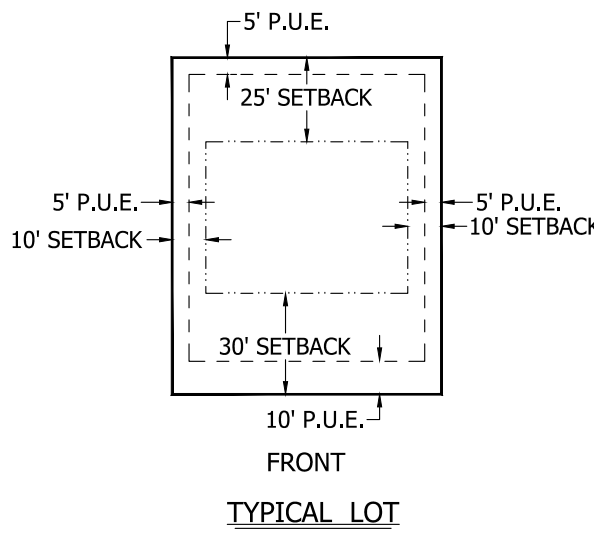
DATE: 12-21-2021

DRAWING: D-2



NOTE:
1) THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

SETBACK AND EASEMENT DETAIL



LEGEND

- SET 3/8" REBAR & PLASTIC CAP MARKED "APEX 10719099" OR AS NOTED
- FOUND SURVEY MONUMENT
- BOUNDARY LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK
- ✚ FOUND GOVERNMENT MONUMENT



ENGINEER
RICHARD HATFIELD, P.E.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: RICHARDH@APEX20.COM

SURVEYOR:
SPENCER MCCUTCHEON, P.L.S.
APEX ENGINEERING INC.
TEL: 801-796-2277
EMAIL: SPENCERM@APEX20.COM

DEVELOPER:
KENT STEPHENS
TEL: 801-706-3085
EMAIL: KENTCSTEPHENS@GMAIL.COM



Scale: 1" = 30'

PLOT DATE: 12 NOVEMBER 2021

SURVEYOR'S CERTIFICATE

I, SPENCER J. MCCUTCHEON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 10719099. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, TOGETHER WITH EASEMENTS, HEREFTER TO BE KNOWN AS TIMBER VALLEY SUBDIVISION PLAT "A" AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

(SEE SEAL BELOW)

BOUNDARY DESCRIPTION

A PARCEL OF LAND THAT LIES PARTIALLY WITHIN THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, AND THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. BASIS OF BEARING LIES BETWEEN THE SOUTH QUARTER CORNER AND THE SOUTHWEST REFERENCE CORNER OF SAID SECTION 35 (2456.53 FEET S 88° 42' 11" W) MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST RIGHT OF WAY OF 500 WEST, SAID POINT BEING 130.82 SOUTH AND 18.35 FEET WEST FROM THE SOUTH QUARTER CORNER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. RUNNING THENCE, N 82° 45' 00" W 370.79 FEET TO A SET REBAR AND CAP MARKED "APEX 10719099". THENCE, N 27° 45' 00" E 197.30 FEET ALONG THE WESTERLY BOUNDARY. THENCE, N 20° 37' 17" E 37.40 FEET TO A FOUND REBAR AND CAP MARKED "BLP PLUS 186408". THENCE, N 85° 35' 52" E 199.22 FEET ALONG THE NORTHERLY BOUNDARY TO A SET REBAR AND CAP MARKED "APEX 10719099" ON THE WEST RIGHT OF WAY OF SAID 500 WEST. THENCE, S 16° 04' 16" E FOR A DISTANCE OF 214.25 FEET ALONG SAID WESTERLY RIGHT OF WAY OF 500 WEST TO A POINT OF CURVATURE. SOUTHEASTERLY 33.93 FEET ALONG A 122 RADIUS CURVE TO THE RIGHT FOLLOWING SAID 500 WEST THROUGH A DELTA ANGLE OF 15° 56' 04" (NOTE: CHORD BEARS S 08° 06' 23" E 33.82 FEET). THENCE, S 00° 08' 21" E 32.34 FEET ALONG SAID WEST RIGHT OF WAY OF 500 WEST TO A SET REBAR AND CAP MARKED "APEX 10719099" AND TO THE POINT OF BEGINNING

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I/WE, THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS TIMBER VALLEY SUBDIVISION PLAT "A", AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SANTAQUIN CITY, UTAH: (1) ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; (2) THOSE CERTAIN PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND (3) THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, TRAIL OR EASEMENTS, OR OF SIMILAR DESIGNATION. IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS. THIS ____ DAY OF ____, 2021.

SIGNED KENT STEPHENS, OWNER

DATE

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH

COUNTY OF UTAH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF ____, A.D. 2021, BY KENT STEPHENS, AND HAS AUTHORITY TO EXECUTE

THIS INSTRUMENT.

MY COMMISSION NUMBER:

MY COMMISSION EXPIRES:

SIGNED (TO NOTARY PUBLIC COMMISSIONED IN UTAH)

PRINTED FULL NAME OF NOTARY

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____, A.D. 2021 BY THE SANTAQUIN CITY PLANNING COMMISSION.

CHAIRPERSON, PLANNING COMMISSION

DATE

DIRECTOR-SECRETARY

DATE

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER

DATE

CENTRACOM

DATE

CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES UPON RECORDING OF THE PLAT MAP. CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929 AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.

CENTURYLINK

DATE

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THE DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-5632.

APPROVED THIS ____ DAY OF ____, 20 ____

DOMINION ENERGY COMPANY

BY:

TITLE:

TIMBER VALLEY SUBDIVISION PLAT "A" A RESIDENTIAL SUBDIVISION

RECORDER SEAL

ENGINEER SEAL

SURVEYOR SEAL

UTAH COUNTY RECORDING CERTIFICATE



Planning Commission Meeting Minutes

Tuesday, December 14, 2021

Planning Commission Members in Attendance: Trevor Wood, Kylie Lance, Drew Hoffman, Art Adcock, BreAnna Nixon and Brad Gunnell.

Others in Attendance: Community Development Director Jason Bond, City Manager Ben Reeves,

Commission Chair Wood called the meeting to order at 6:00 p.m.

INVOCATION/INSPIRATION THOUGHT- Mr. Bond offered an invocation.

PLEDGE OF ALLEGIANCE- Commissioner Adcock led the Pledge of Allegiance.

PUBLIC FORUM- Commissioner Wood opened the Public Forum at 6:03 p.m. there were no comments so he closed the Public Hearing at 6:03 p.m.

DISCUSSION & POSSIBLE ACTION

2022 Regular Meeting Schedule

The Planning Commission will approve the regular meeting schedule for 2022.

Motion: Commissioner Lance motioned to approve the Regular Meeting schedule for 2022 as presented. Commissioner Hoffman seconded. The motion passed unanimously in the affirmative.

Nomination of a New Chair and Deputy Chair

The Planning Commission will nominate a new Chair and Deputy Chair for 2022.

Commissioner Adcock nominated Trevor Wood as the Planning Commission Chair. Commissioner Lance seconded. Commissioner Wood accepted the nomination.

The nomination of Trevor Wood as the Planning Commission Chair for 2022 was voted for unanimously in the affirmative.

Commissioner Hoffman nominated Kylie Lance as the Deputy Chair. Commissioner Lance accepted the nomination. Commissioner Adcock seconded it.

The nomination of Kylie Lance as the Planning Commission Deputy Chair for 2022 was voted for unanimously in the affirmative.

OTHER BUSINESS

Meeting Minutes Approval

November 30, 2021

Motion: Commissioner Lance motioned to approve the Planning Commission Minutes from November 30, 2021. Commissioner Nixon seconded. The motion passed unanimously in the affirmative.

Mr. Bond noted that the next Planning Commission meeting won't be held until January 11, 2022. He explained that LUAU (Land Use Academy of Utah) training will be required for the new Commissioners, and as review training for the existing Planning Commissioners.

Commissioner Adcock thanked those who he has served on the Planning Commission with for the last few years for the opportunity he had to serve.

Mr. Bond noted that Commissioners Curtis and Jorgensen will no longer be serving on the Planning Commission for 2022. He thanked them and acknowledged their service.

Adjournment:

Commissioner Lance motioned to adjourn at 6:13 p.m.