



DEVELOPMENT REVIEW COMMITTEE

Tuesday, February 22, 2022, at 10:00 AM
Court Room/Council Chambers (2nd Floor) and Online

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Orchard Hills Storage Subdivision Concept Plan

A concept review of a proposed 2-lot subdivision located at approximately 120 East and Highland Drive.

2. Minor Change to Ridley's 3-Lot Commercial Subdivision Plan

A proposed minor change to the Ridley's 3-lot commercial subdivision located at Main Street and 500 East that will move the north property line by 15 feet.

MEETING MINUTES APPROVAL


3. January 11, 2022

AJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on www.santaquin.org, as well as posted on the State of Utah's Public Notice Website.

BY:

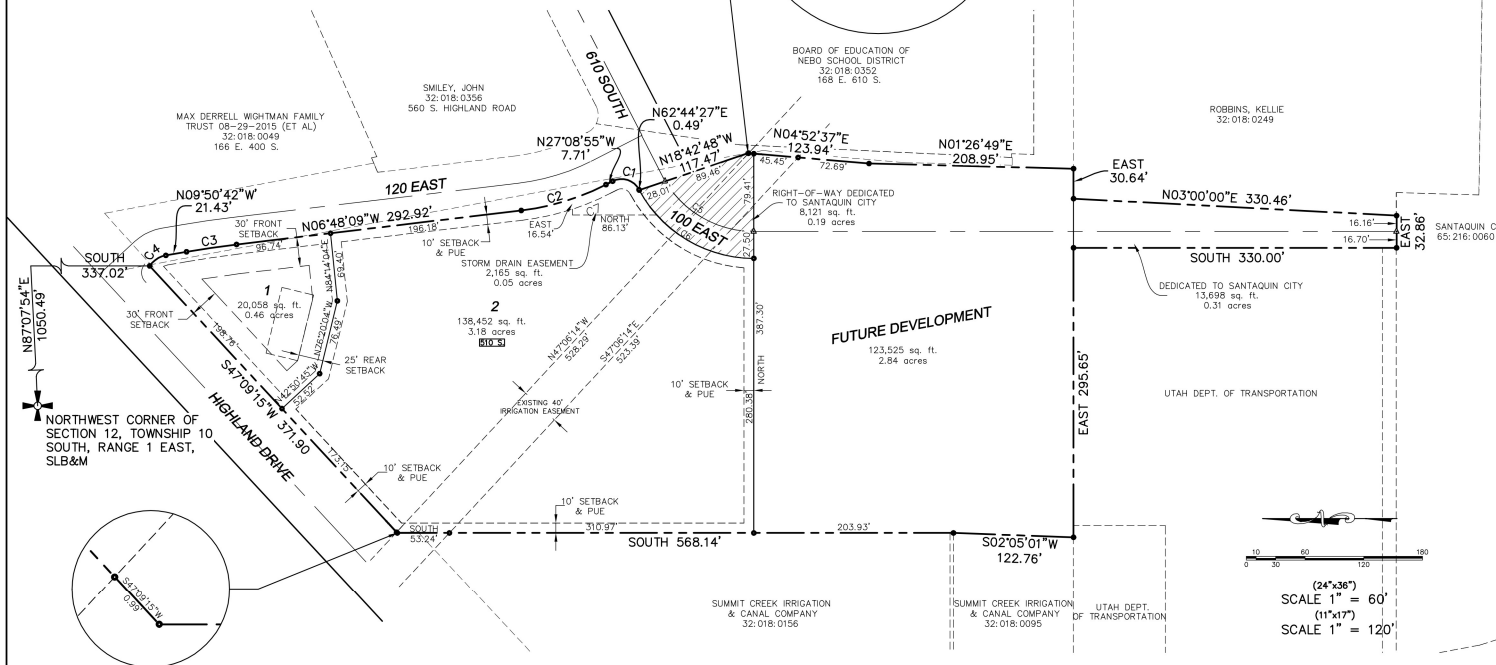

Dennis L. Marker, City Recorder

ALL PUBLIC UTILITY EASEMENTS PLATED HEREON ARE IN PERPETUITY FOR INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S PROPERTY FOR THE ABOVE DESCRIBED PURPOSES. THE EASEMENT SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND THE GRANTOR'S SUCCESSORS, HEIRS AND ASSIGNS.

NOTES:

1. ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRIC METERS, AND ALL ELECTRIC AND SFON COMMUNICATION SERVICE LINES UP TO THE MAST ON OVERHEAD INSTALLATIONS AND TO THE TOP OF THE METER BASE FOR UNDERGROUND INSTALLATIONS ARE DEDICATED TO SANTAUQUIN CITY.
2. THIS AREA IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, EQUIPMENT, FACILITIES, AND ALL OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE. FUTURE RESIDENTS SHOULD ALSO RECOGNIZE THE RISKS INHERENT WITH LIVESTOCK.
3. FINAL GRADE MAY DIFFER FROM DESIGN IN CONSTRUCTION.

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	20.00	31.41	28.28	N 17°51'00" E	89°59'49"
C2	256.00	90.92	90.44	N 16°58'37" W	20°20'58"
C3	972.00	51.61	51.61	N 08°19'25" W	37°02'33"
C4	25.00	20.29	19.73	N 33°05'30" W	46°29'37"
C5	105.01	108.68	103.89	S 29°33'34" W	59°17'40"
C6	133.10	143.01	136.23	S 30°46'54" W	61°33'51"
C7	266.00	42.03	41.99	S 22°37'29" E	9°03'13"

**LEGEND**

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- AREA TO BE DEDICATED TO ROW



VICINITY MAP
-NTS-

SURVEYOR'S CERTIFICATE

I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

SURVEYOR _____ DATE _____

BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE SOUTH RIGHT-OF-WAY OF HIGHLAND DRIVE, SANTAQUIN, UTAH, WHICH LIES N87°07'54"E 1050.49 FEET ALONG THE SECTION LINE AND SOUTH 337.02 FEET FROM THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE S47°08'15"W 371.90 FEET; THENCE SOUTH 568.14 FEET; THENCE S02°05'01"W 122.76 FEET; THENCE EAST 286.65 FEET; THENCE SOUTH 330.00 FEET; THENCE EAST 32.86 FEET; THENCE N03°00'00"E 330.46 FEET; THENCE EAST 30.64 FEET; THENCE N01°26'49"E 208.95 FEET; THENCE N04°52'37"E 123.94 FEET; THENCE N18°42'48"W 117.47 FEET; THENCE N02°44'27"E 0.49 FEET; THENCE 31.41 FEET ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 89°59'49", (THE CHORD BEARS N17°51'00"E 28.28 FEET); THENCE N27°08'55"W 7.71 FEET; THENCE 90.92 FEET ALONG THE ARC OF A 256.00 FOOT RADIUS CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 20°20'58", (THE CHORD BEARS N16°58'37"W 90.44 FEET); THENCE N06°48'09"W 292.92 FEET; THENCE 51.61 FEET ALONG THE ARC OF A 972.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 37°02'33", (THE CHORD BEARS N08°19'25"W 51.61 FEET); THENCE N09°50'42"W 21.43 FEET; THENCE 20.29 FEET ALONG THE ARC OF A 25.00 FOOT RADIUS CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 46°29'37", (THE CHORD BEARS N33°05'30"W 19.73 FEET) TO THE POINT OF BEGINNING, CONTAINING 6.88 ACRES.

OWNER'S DEDICATION

(I)WE, _____ BEING THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 2018.

MEMBER: _____

MEMBER: _____

MEMBER: _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH _____ S.S. COUNTY OF UTAH _____ DAY OF _____, A.D. 2018 PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE PLANNING COMMISSION OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 2018.

APPROVED BY MAYOR _____

APPROVED BY _____

APPROVED BY _____

APPROVED BY _____

APPROVED BY _____

APPROVED BY _____

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APPROVED BY _____

APPROVED BY _____

SNELL STORAGE

SANTAQUIN CITY, UTAH COUNTY, UTAH

CONTAINING 2 LOTS AND 6.88 ACRES LOCATED IN THE NORTHWEST CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

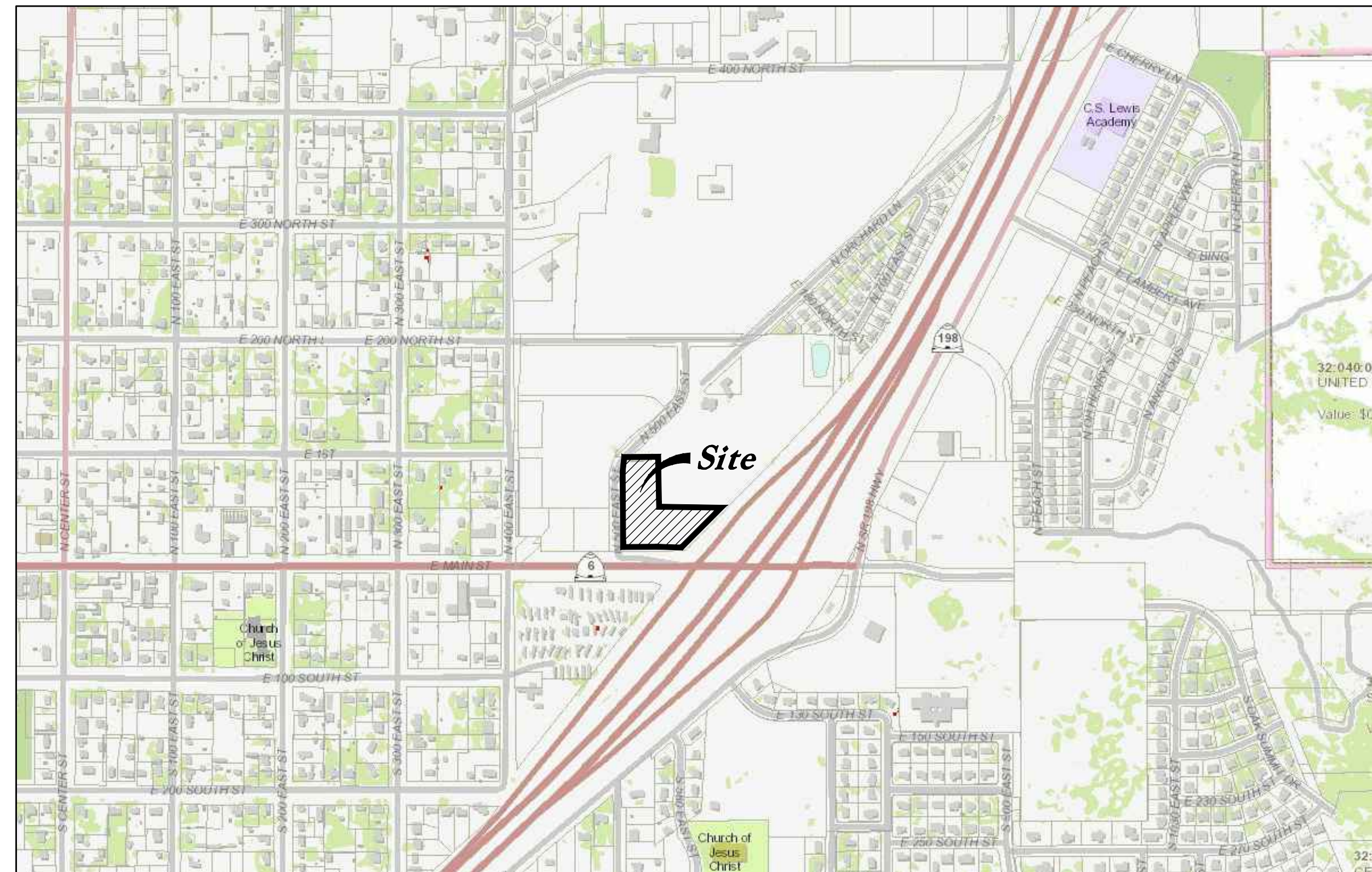
SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL

ENGINEER CONTACT INFO:
ALAN ENGINEERING
PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

SURVEYOR CONTACT INFO:
BARRY PRETTYMAN
PHONE: 801-423-1040
946 E. 800 N. SUITE B
SPANISH FORK, UT 84660

DEPOSITOR:
ANDRADE CHRISTENSEN
andradechristensen@gmail.com
801-787-8728

***500 East Main Street
Santaquin, UT, 84655***



Vicinity Map
Not to Scale

Civil Sheet Index

C0.0	Cover Sheet
	Subdivision Plat
C0.1	Demolition Plan
C1.0	Phasing Plan
C1.1	Site Plan
C2.1	Grading Plan
C3.0	Overall Utility Plan
C3.1	Sewer Main Plan and Profile
C3.2	Water Main Plan and Profile
C3.3	Water Main Plan and Profile
C4.1	Details
C4.2	Details
C5.1	Erosion Control Plan
C5.2	Erosion Control Details

Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Bollard	PVC	Polyvinyl Chloride
BRW	Finish Grade – Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grade
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade – Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter		Existing Improvements	
Proposed Open Face C & G		Existing Asphalt	
Proposed Asphalt		Existing Concrete	
Proposed Concrete		Existing Inlet Box	
Proposed Truncated Domes		Existing Catch Basin	
Proposed Inlet Box		Existing Manhole	
Proposed Catch Basin		Existing Fire Hydrant	
Proposed Manhole		Existing Water Valve	
Proposed Transformer		Existing Overhead Power Line	
Proposed Meter Box		Existing Water	
Proposed Water Meter		Existing Secondary Water	
Proposed Combo Box		Existing Sewer	
Proposed Fire Hydrant		Existing Storm Drain	
Proposed Water Valve		Existing Gas	
Proposed Water Line		Existing Power	
Proposed Sanitary Sewer		Existing Telephone	
Proposed Storm Drain		Existing Fence	
Proposed Conduit Line		Flowline	
Proposed Power Line		Centerline	
Proposed Gas Line		Existing Contour	
Proposed Fire Line		Existing Spot	
Proposed Secondary Water Line		Existing Light Pole	
Proposed Roof Drain		Existing Street Light	
Proposed Fence		Existing Building	
Ridge line		Existing Telephone Box	
Grade Break		Existing Power Meter	
Proposed Contour		Existing Electrical Box	
Direction of Drainage		Existing Electrical Cabinet	
Proposed Spot		Existing Gas Meter	
ADA Accessible Route		Existing Water Meter	
Property Line		Existing Irrig. Control Box	
Sawcut Line		Existing Bollard	
Proposed Light Pole		Existing Hose Bib	
Proposed Street Light		Working Point	
Proposed Building		Existing Deciduous Tree	
Existing Power Pole		Existing Coniferous Tree	
Existing Power Pole w/ Guy		Detail Number	
Existing Utility Marker		Sheet Number	
Existing Post			

Santaquin City Notes

It is important for the developer and the general contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. This fact does not relieve the developer or general contractor from full compliance with all minimum state and Santaquin City standards.

Santaquin City Note to Developers & General Contractors

All recommendations made in the provided geotechnical report/study shall be followed explicitly during construction of building and site improvements.

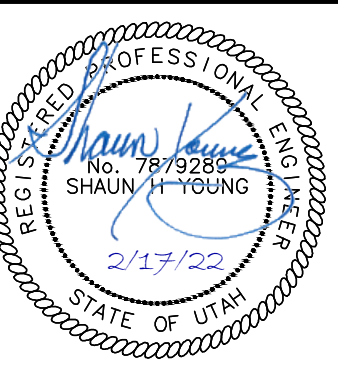
Property Owner

CJM Limited
621 Washington Street South
Twin Falls, Idaho 83301-5519

Cover Sheet

Ridley's Subdivision Phase 2
500 East and Main Street

500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

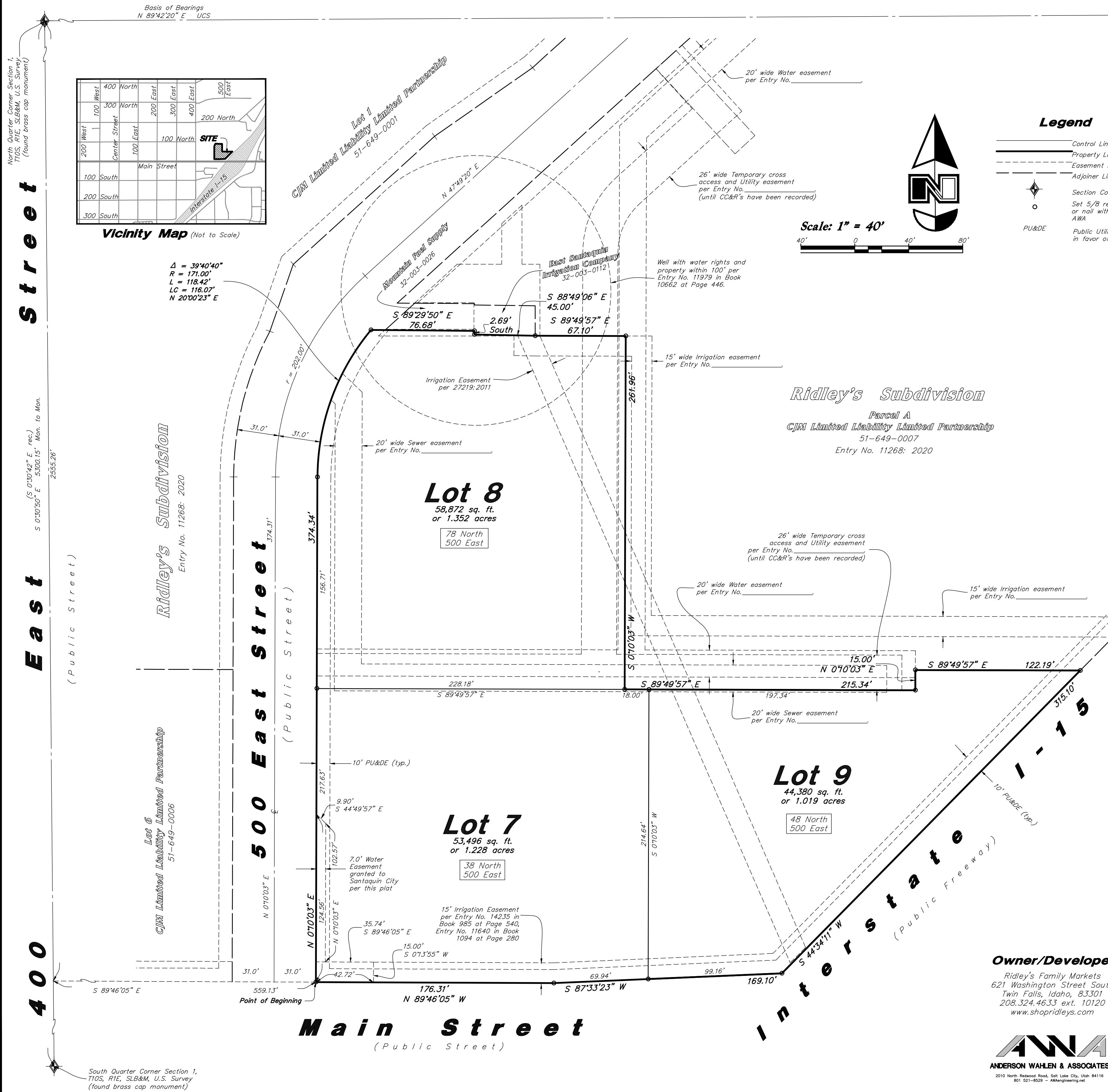
SHEET NO.

CO.0

Ridley's Subdivision, Plat B

A part of Parcel A, Ridley's Subdivision, of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey, City of Santaquin, Utah County, Utah
2021

21-1324d



Surveyor's Certificate

I, Ken B. Hawkes, do hereby certify that I am a Licensed Professional Land Surveyor in the State of Utah and that I hold Certificate No. 8707113 in accordance with Title 58, Chapter 22, of the Professional Engineers and Land Surveyors Licensing Act; I further certify for, and on behalf of Anderson Wahlen & Associates that by authority of the owners I have completed a survey of the property described on this Subdivision Plat in accordance with Section 17-23-17 and have verified all measurements; that the reference monuments shown on this plat are located as indicated and are sufficient to retrace or reestablish this plat; and that the information shown herein is sufficient to accurately establish the lateral boundaries of the herein described tract of real property; hereafter known as

Ridley's Subdivision, Plat B

Description

A part of Parcel A, Ridley's Subdivision recorded as Entry No. 111268:2020 and as Map No. 17189 Official Records of Utah County, being a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey in Utah County, Utah:

Beginning at the point of intersection of the North line of Main Street and the East line of 500 East Street as it exists at 31.00 foot half-width located 2555.26 feet South 0°30'50" East along the Quarter Section Line; and 559.13 feet South 89°46'05" East along said North line from a Brass Cap Monument found marking the North Quarter Corner of said Section 1; and running thence North 0°10'03" East 374.34 feet along said East line to a point of curvature; thence Northeasterly along the arc of a 171.00 foot radius curve to the right a distance of 118.42 feet (Central Angle equals 39°40'40" and Long Chord bears North 20°00'23" East 116.07 feet); thence South 89°29'50" East 76.68 feet along the Southerly line of an Agreement recorded as Entry No. 72273:2010 of Official Records monumented by an existing boundary line fence to the Westerly line of a Warranty Deed recorded as Entry No. 27219:2011 of Official Records as it exists on the ground; thence South 2.69 feet along said Westerly line to the Southwest Corner thereof; thence South 88°49'06" East 45.00 feet along an existing fence monumenting the Southerly line of said Warranty Deed as it exists on the ground to the Southeasterly Corner thereof; thence South 89°49'57" East 67.10 feet; thence South 0°10'03" West 261.96 feet; thence South 89°49'57" East 215.34 feet; thence North 0°10'03" East 15.00 feet; thence South 89°49'57" East 122.19 feet to the Northwesterly line of Interstate Highway 1-15; thence South 44°34'11" West 315.10 feet along said Northwesterly line to said North line of Main Street; thence along said North line the following two courses: South 87°33'23" West 169.10 feet; and North 89°46'05" West 176.31 feet to said East line of 500 East Street as it exists at 31.00 foot half-width and the point of beginning.

Contains 156,748 sq. ft.
Or 3.598 acres
3 Lots

Date: _____ Ken B. Hawkes
Utah PLS No. 8707113

Owner's Dedication and Consent to Record

Know all men by these presents that I, the undersigned owner of the hereon described tract of land, hereby set apart and subdivide the same into Lots as shown on this plat and name said plat

Ridley's Subdivision, Plat B

and do hereby dedicate, grant and convey to the City of Santaquin all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever, and those certain public utility easements as shown hereon to be used for the installation, maintenance and operation of Public Utility service lines.

In witness whereof I have hereunto set my hand
This ____ Day of ____ A.D. 20 ____

CJM Limited Liability Limited Partnership

by: Mark Ridley
its: Director

Approval By Legislative Body

The City Council of the City of Santaquin, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.

This ____ day of ____ A.D. 20 ____

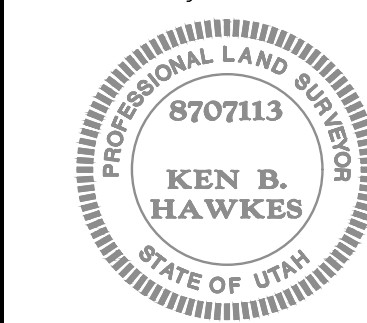
City Mayor _____ Attest _____

City Recorder (See Seal Below)

Ridley's Subdivision, Plat B

A part Parcel A, Ridley's Subdivision, located in the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, U.S. Survey City of Santaquin, Utah County, Utah

Surveyors Seal



City Engineer Seal

Clerk-Recorder Seal

Rocky Mountain Power

1. Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the Owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.

2. Pursuant to Utah Code Ann. 17-27A-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PU&E as described in this plat and approves this plat solely for the purpose of confirming that the plat contains Public Utility Easements and approximates the location of the Public Utility Easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not effect any right that Rocky Mountain Power has under:

- A recorded easement or Right-of-Way
- The law applicable to prescriptive rights
- Title 54, Chapter 8a, damage to underground utility facilities or
- Any other provision of law

Approved this ____ day
of ____ 20 ____

Rocky Mountain Power Company

By: _____

Title: _____

Dominion Energy

a Questar Corporation

Questar Gas Company, dba Dominion Energy Utah, hereby approves this plat solely for the purposes of confirming that the plat contains public utility easements. Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations of liabilities including prescriptive rights and other rights, obligations of liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the owner Dedication or in the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 1-800-366-8532.

Approved this ____ Day of ____

A.D. 20 ____

By: _____

Title: _____

DOMINION ENERGY, a Questar Corporation

LUMEN

Approved by Lumen this ____ Day of ____ A.D. 20 ____

Lumen

Acknowledgment

State of _____ } ss
County of _____

On this ____ day of ____ 20____ personally appeared before me, Mark Ridley the signer of the foregoing Instrument, who duly acknowledged to me that he is the Director of CJM Limited Liability Limited Partnership, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: _____

Commission Number: _____

My Commission Expires: _____

A Notary Public Commissioned in Utah

(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

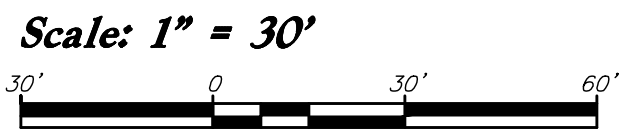
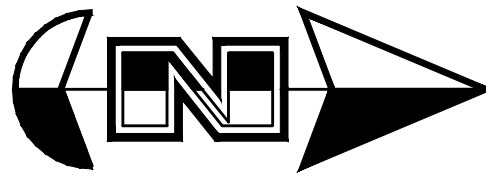
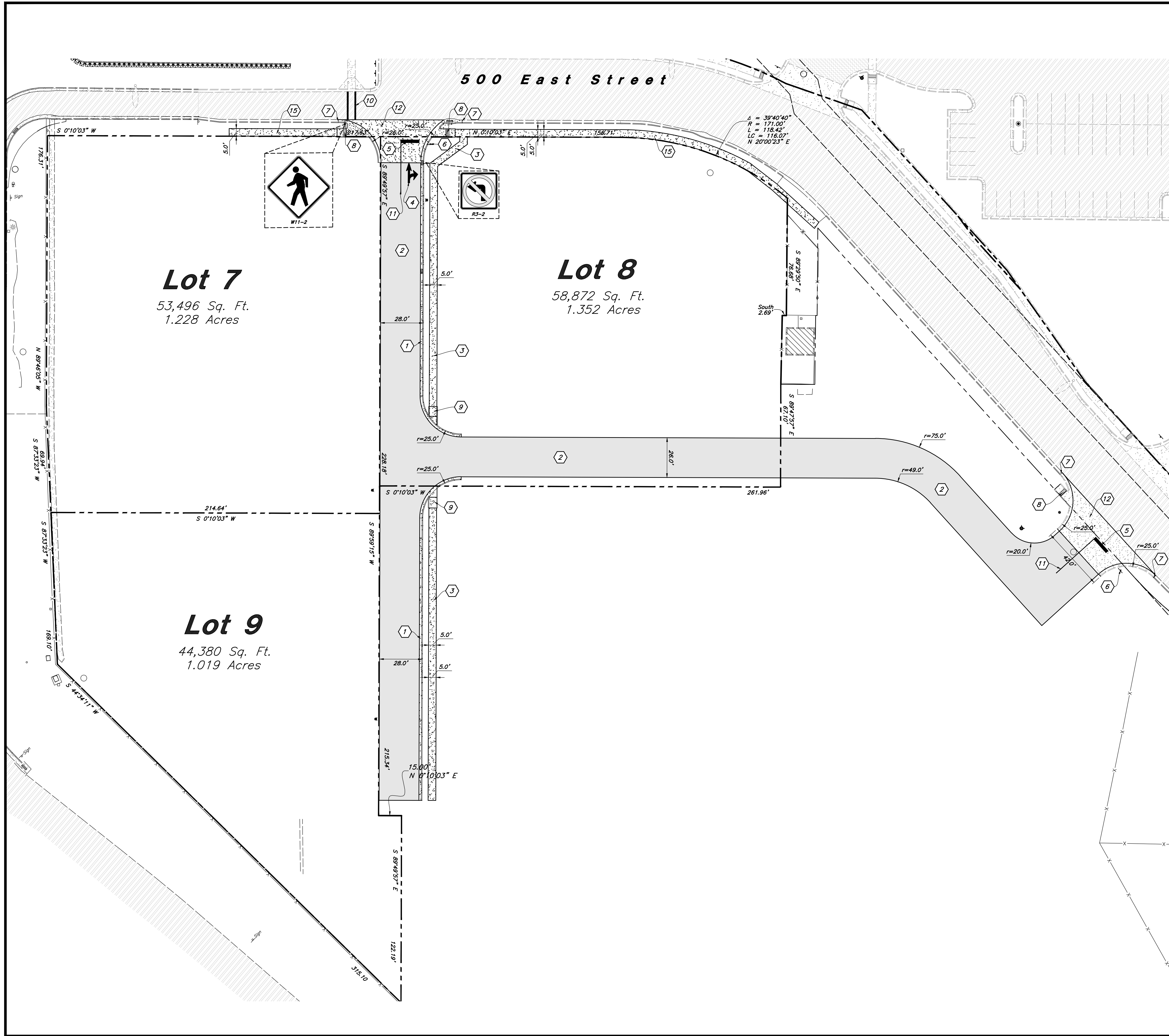


17 Feb, 2022

SHEET NO.

CO.1





Site Data
Zone: C-1 General Commercial
Overall Area = 155,025 s.f. (3.559 ac.)
Lot 7 Area = 53,496 s.f. (1.228 ac.)
Lot 8 Area = 58,872 s.f. (1.352 ac.)
Lot 9 Area = 44,380 s.f. (1.019 ac.)

- Site Construction Notes**
- 1 Const. 24" Curb & Gutter
 - 2 Const. Asphalt Paving
 - 3 Const. Concrete Sidewalk
 - 4 Const. Directional Arrows per MUTCD
 - 5 Const. 24" White Stop Bar
 - 6 Const. Stop Sign per MUTCD R1-1
 - 7 Connect to Existing Improvements and Match Grade Elevation
 - 8 Const. Pedestrian Ramp per Santaquin City Standards
 - 9 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition)
 - 10 Const. 12" White Paint Stripe Pedestrian Crossing, Contractor Shall Provided 15 mils Min. Thickness
 - 11 Const. 4" Yellow Paint Stripe (Typ.) Contractor Shall Provided 15 mils Min. Thickness
 - 12 Const. Concrete Paving
 - 13 Const. Left Turn Prohibition Sign per MUTCD R3-2
 - 14 Const. Pedestrian Traffic Sign per MUTCD W11-2
 - 15 Const. Concrete Sidewalk per Santaquin City Standards

- General Site Notes:**
- 1. All dimensions are to back of curb unless otherwise noted.
 - 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
 - 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
 - 4. Const. curb transition at all points where curb abuts sidewalk, see detail.
 - 5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
 - 6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

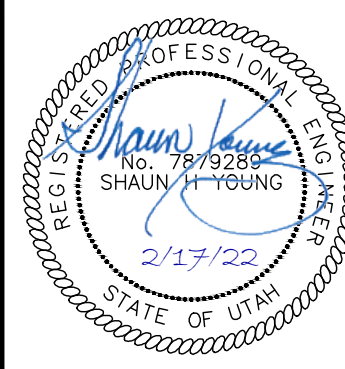
Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

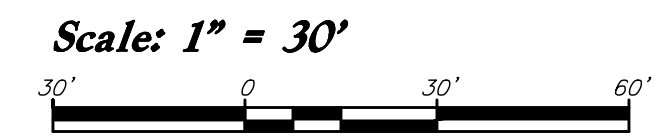
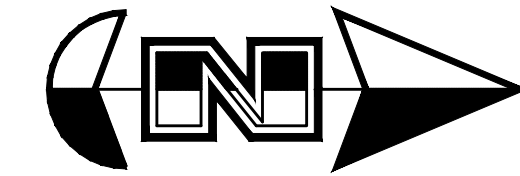
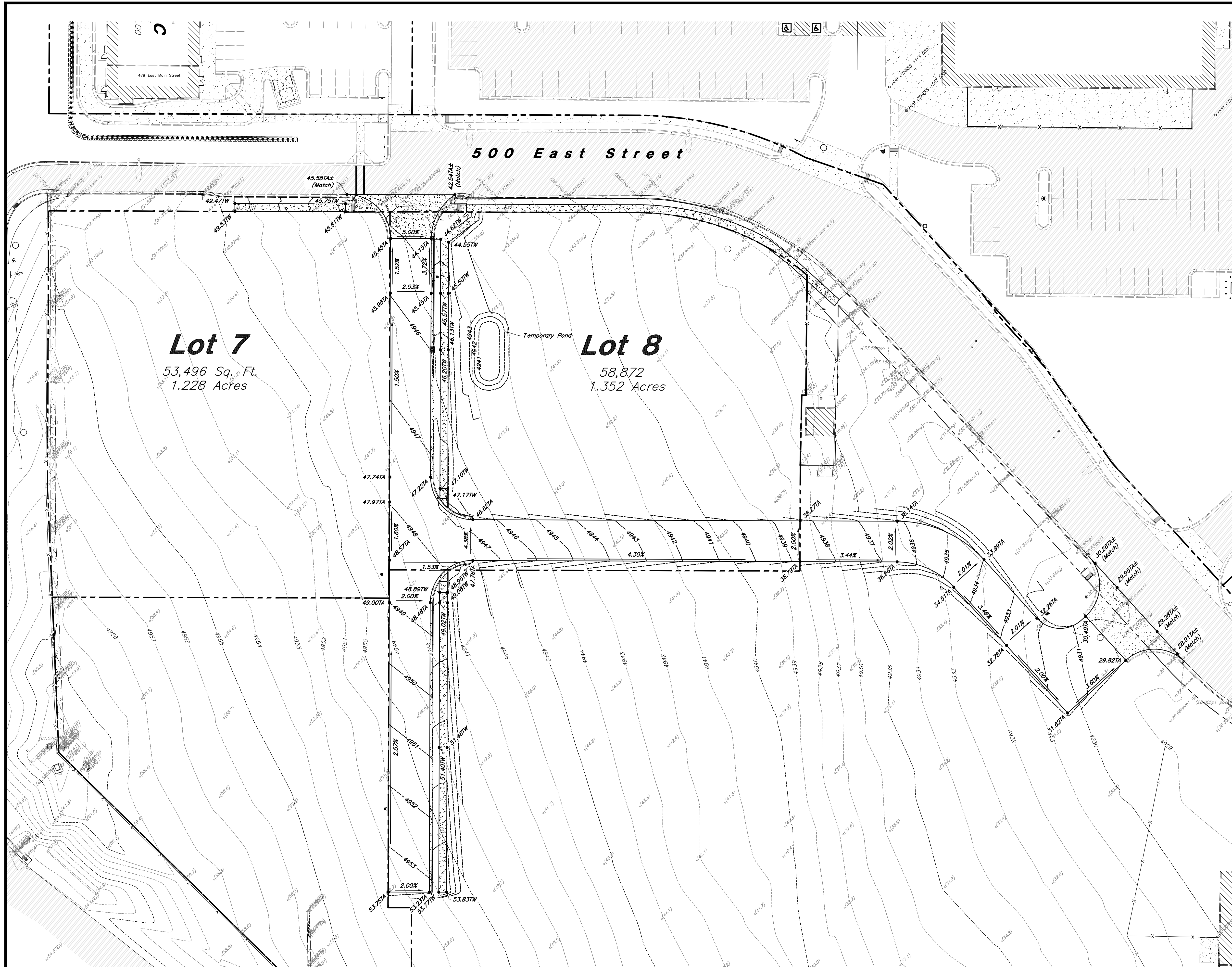
Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 SP

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 321-8529 - AWaengineering.net

Site Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022
SHEET NO.
C1.1



General Grading Notes:

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be banded into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
18. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

Curb and Gutter Construction Notes:

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

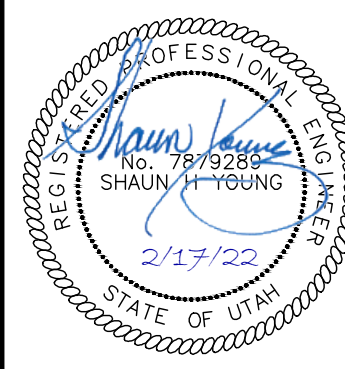
Sidewalk Construction Notes:

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
3. Refer to the Site Plan for sidewalk dimensions.

Designed by: SY
Drafted by: KF
Client Name:
CJM Limited
21-132 GR

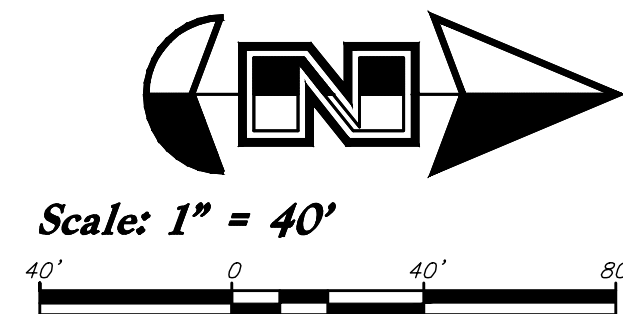
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2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWaengineering.net

Grading Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

SHEET NO.
C2.1



Scale: 1" = 40'

General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type 'K'.

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.

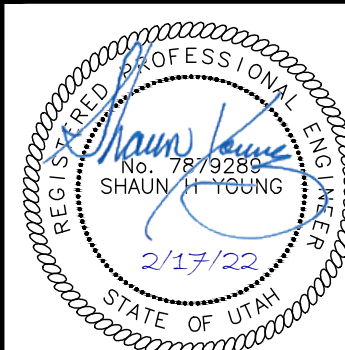
CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



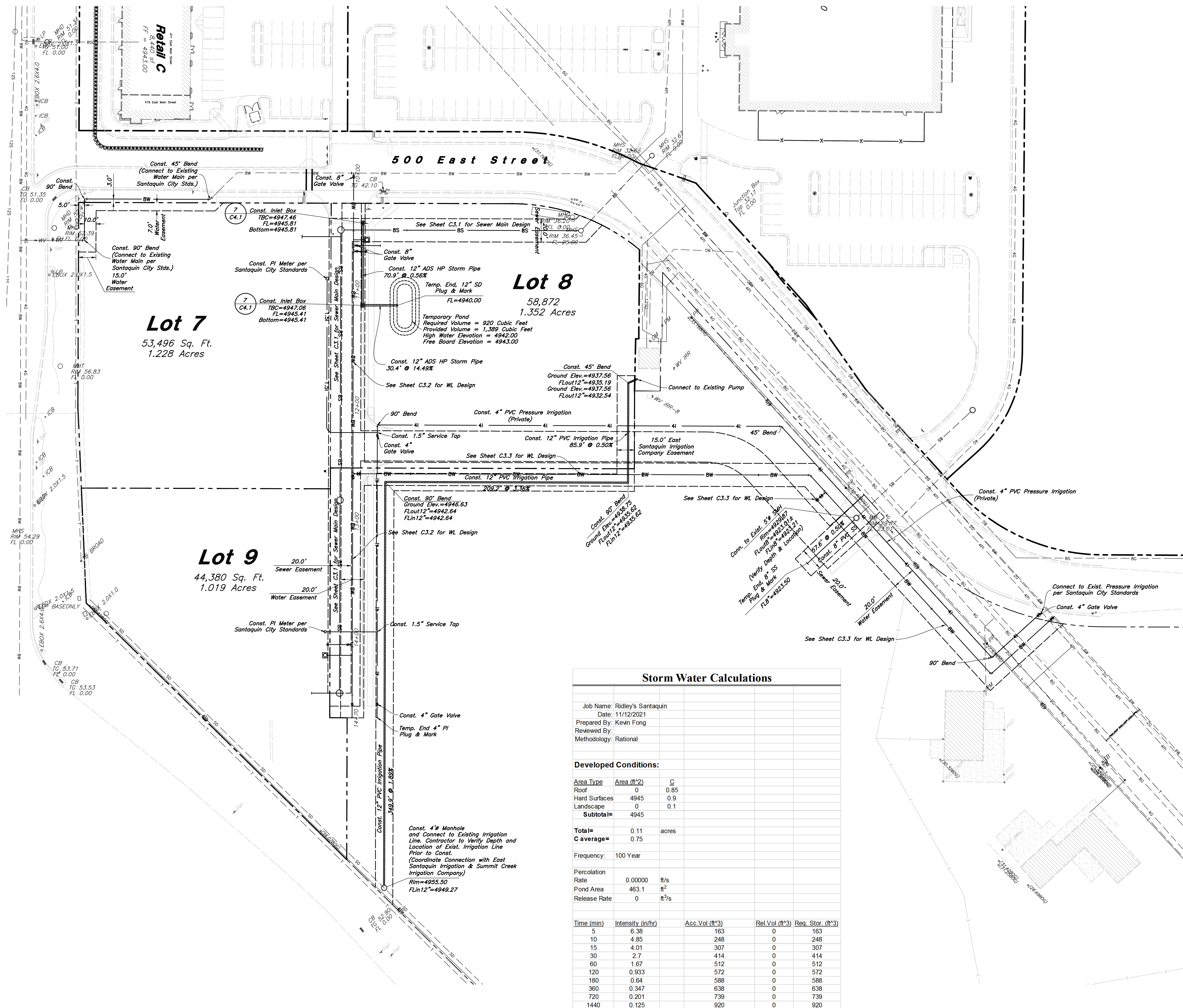
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Overall Utility Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah



17 Feb, 2022

SHEET NO.

C3.0**Storm Water Calculations**

Job Name: Ridley's Santaquin
Date: 11/12/2021
Prepared By: Kevin Fong
Reviewed By:
Methodology: Rational

Developed Conditions:

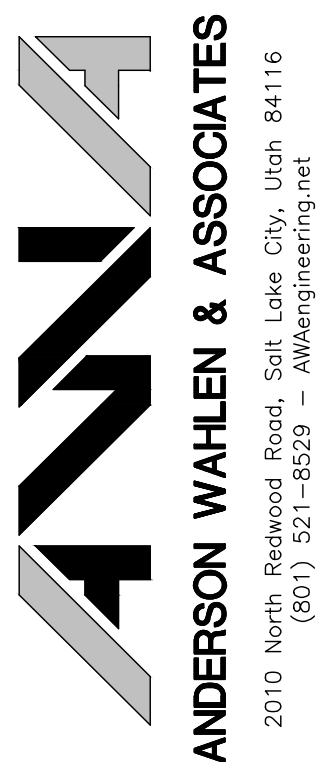
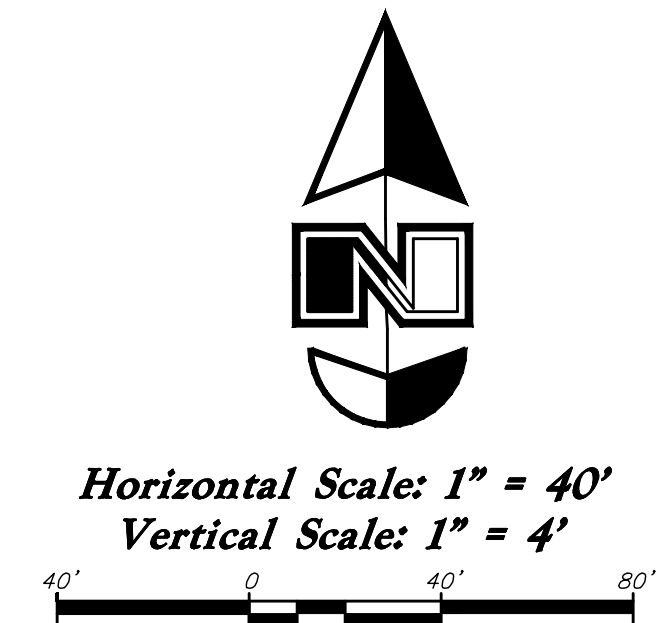
Area Type	Area (ft ²)	C
Roof	0	0.85
Hard Surfaces	4945	0.9
Landscape	0	0.1
Subtotal	4945	

Total = 0.11 acres
C average = 0.75

Frequency: 100 Year

Percolation Rate	0.00000	ft/s
Pond Area	463.1	ft ²
Release Rate	0	ft ³ /s

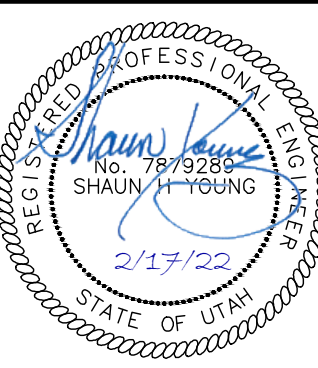
Time (min)	Intensity (in/hr)	Acc. Vol (ft ³)	Rel. Vol (ft ³)	Req. Stor. (ft ³)
5	6.38	163	0	163
10	4.85	248	0	248
15	4.01	307	0	307
30	2.7	414	0	414
60	1.67	512	0	512
120	0.933	572	0	572
180	0.64	588	0	588
360	0.347	638	0	638
720	0.201	739	0	739
1440	0.125	920	0	920



Sewer Plan & Profile

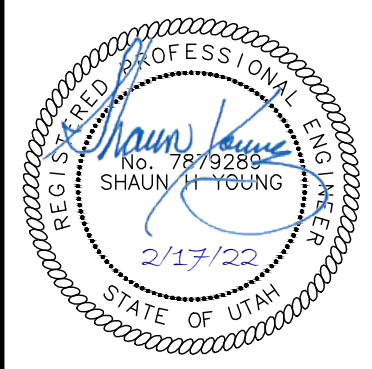
Ridley's Subdivision

*500 East and Main Street
Santaquin, Utah County, Utah*



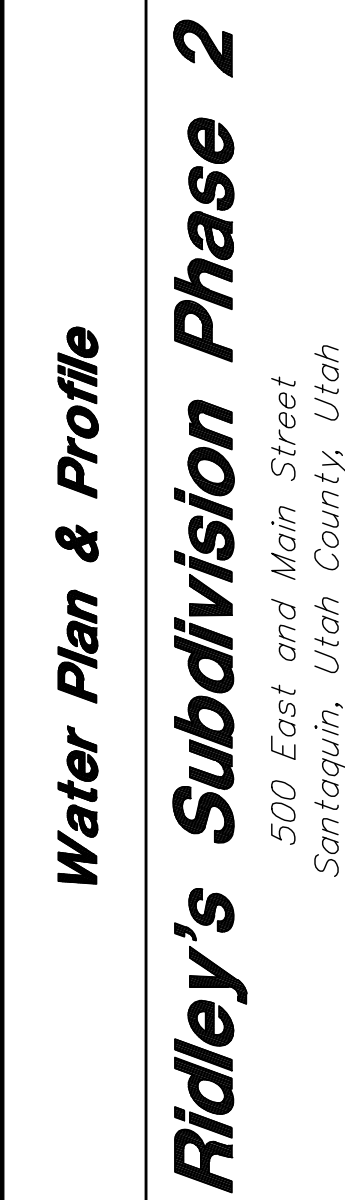
17 Feb, 2022

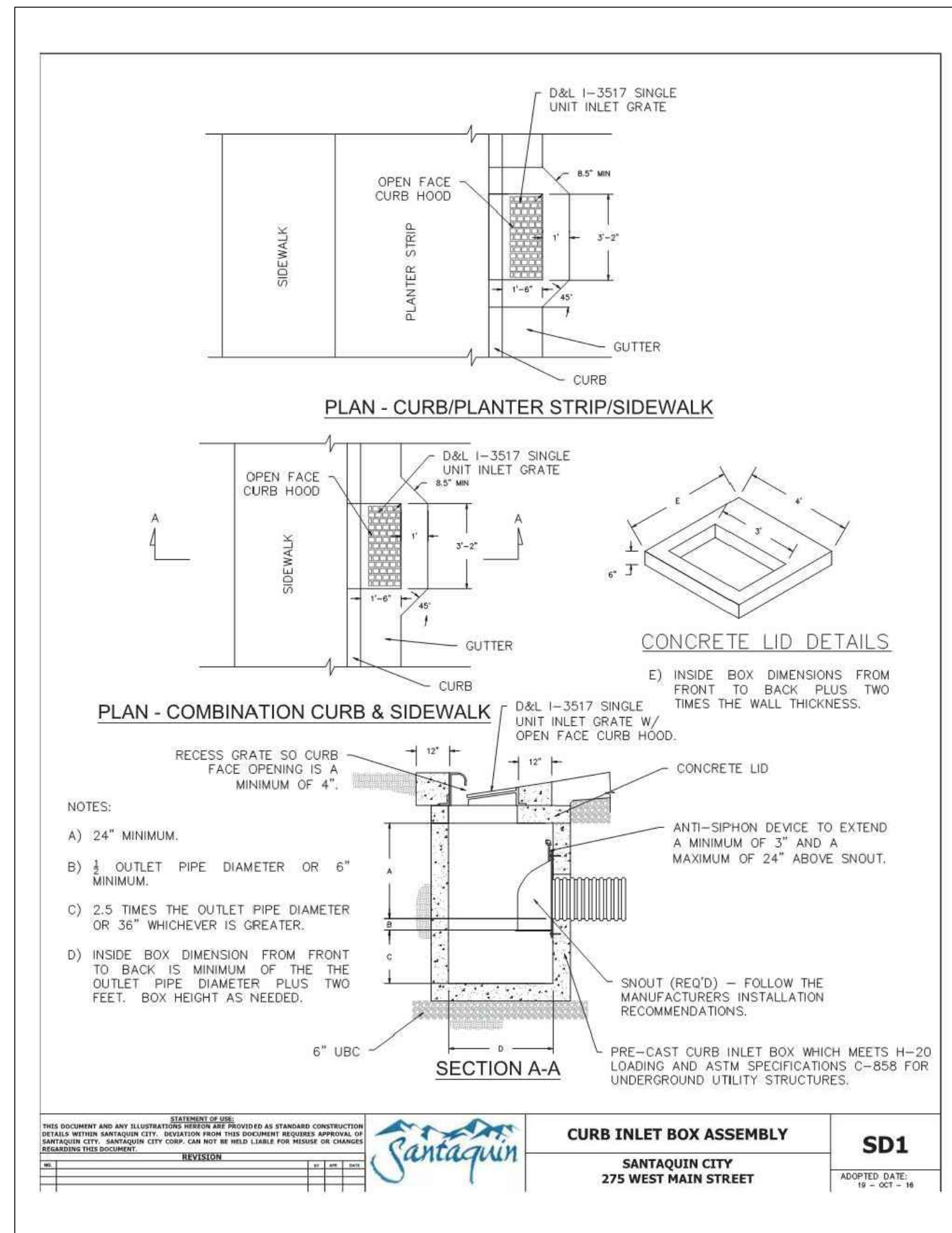
C3.1



SHEET NO.

C3.2

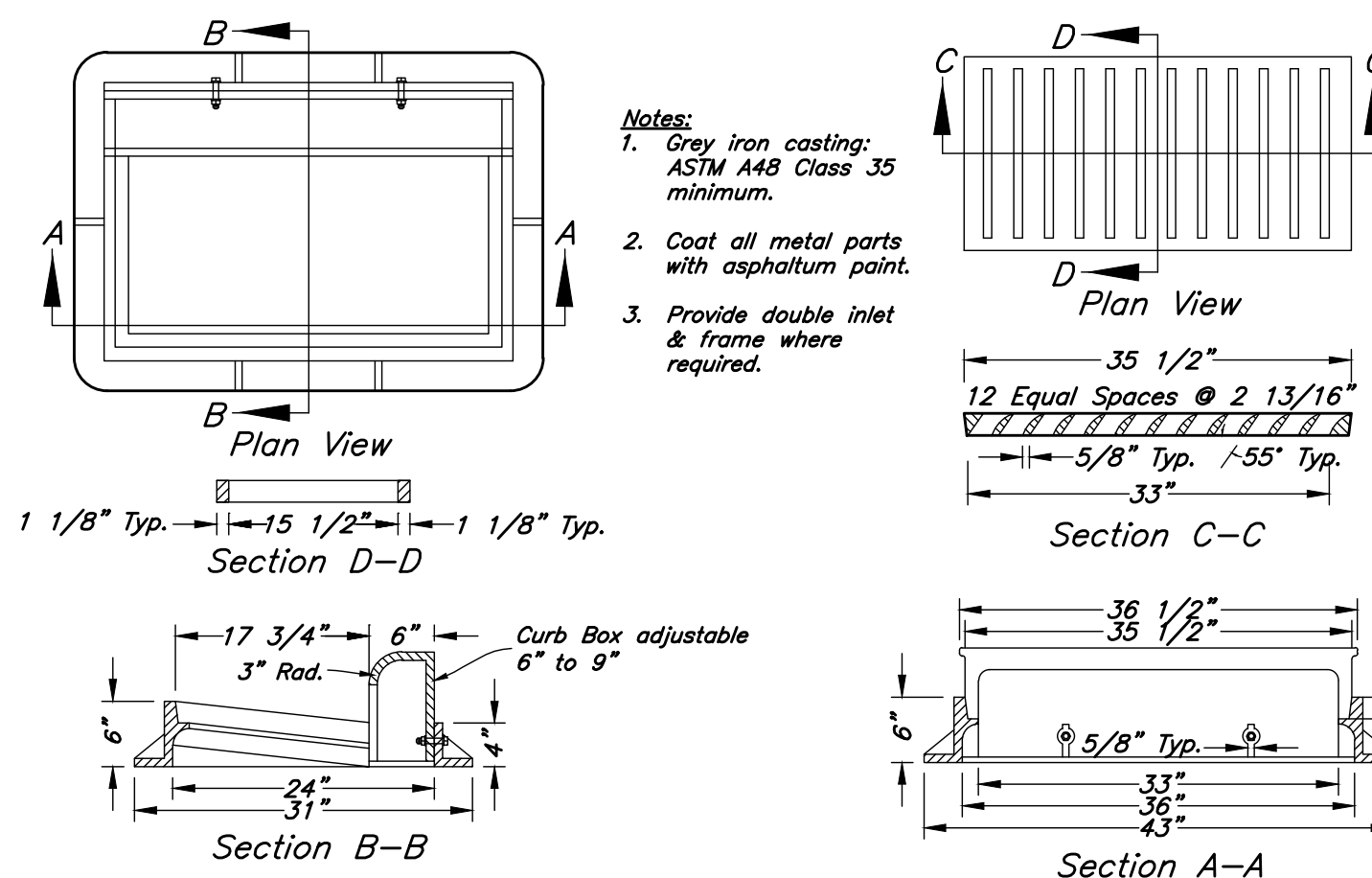




Santaquin City Std. Dwg. SD1 Curb Inlet Box Assembly

7

Not to Scale

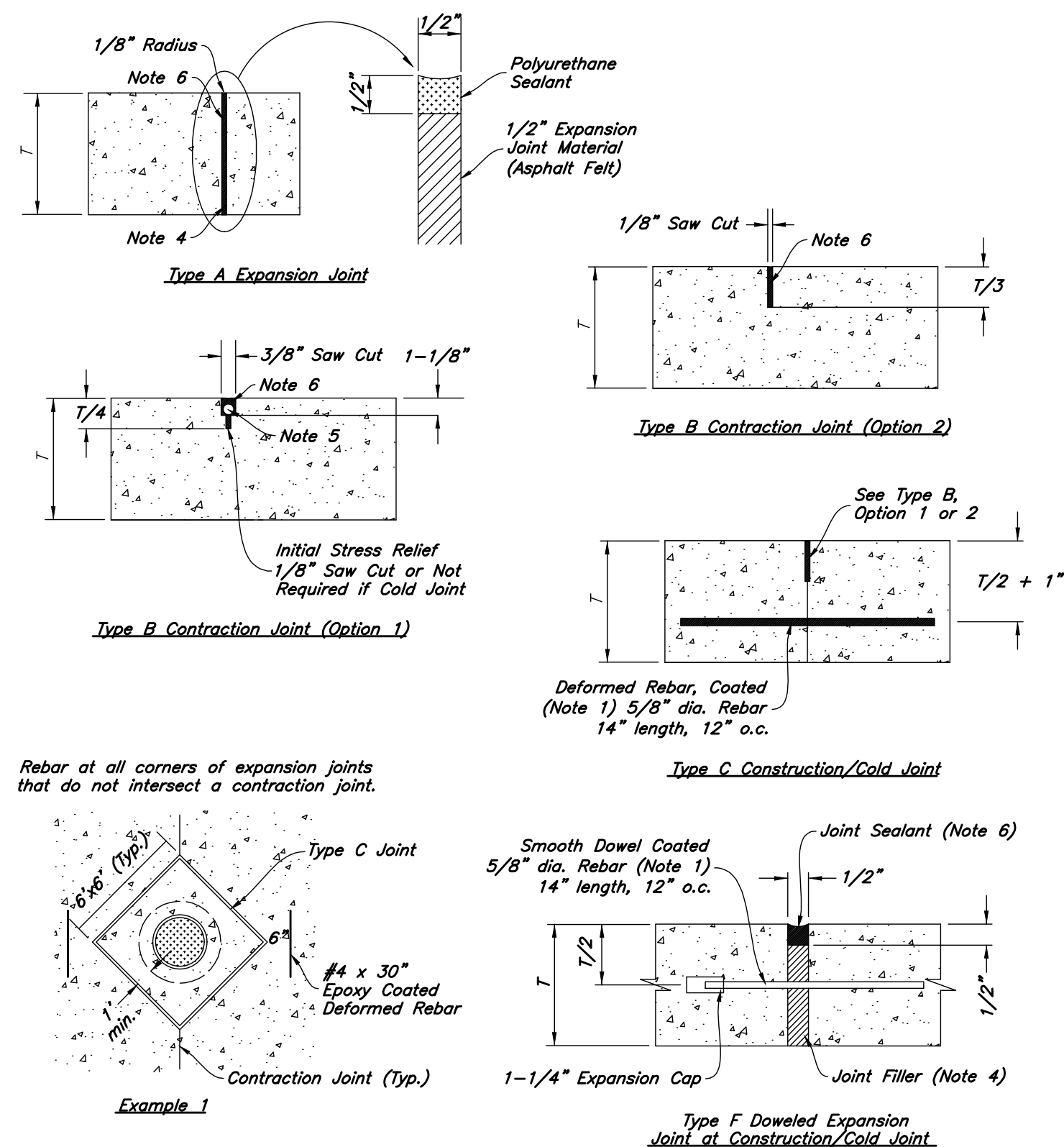


Inlet Grate Frame

6

Not to Scale

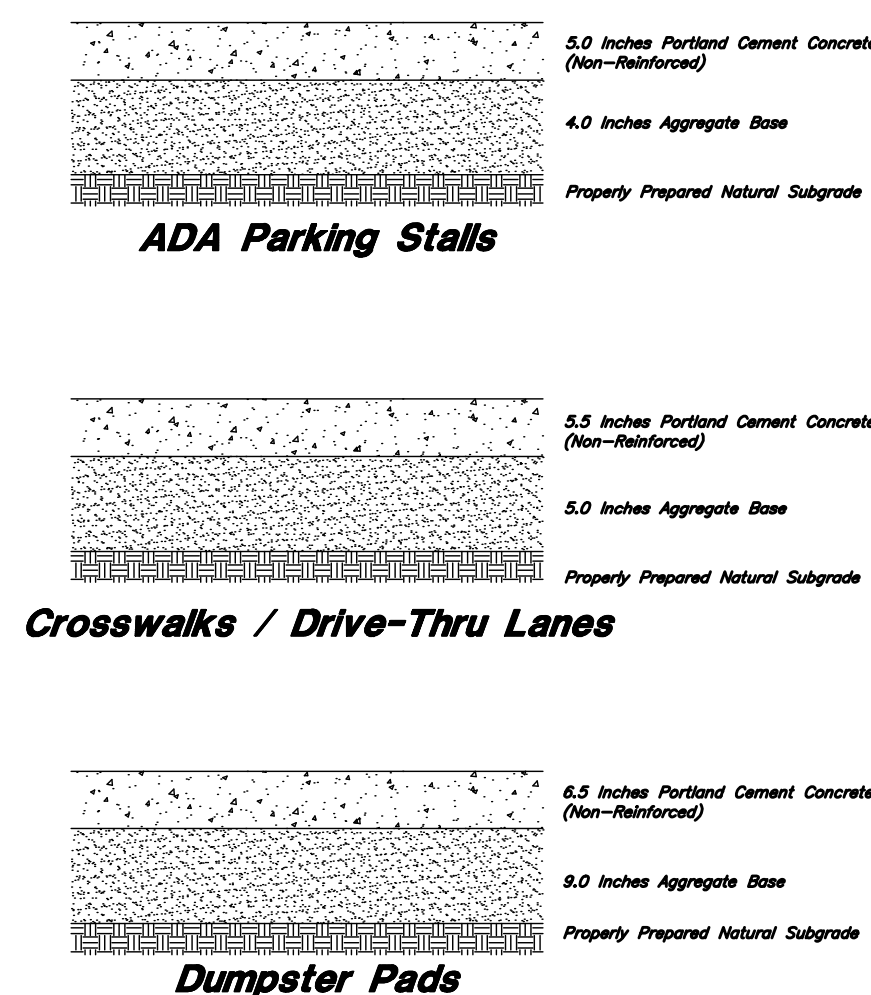
- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D894. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.



Concrete Joint Detail

5

Not to Scale



(Private) Concrete Paving Section

4

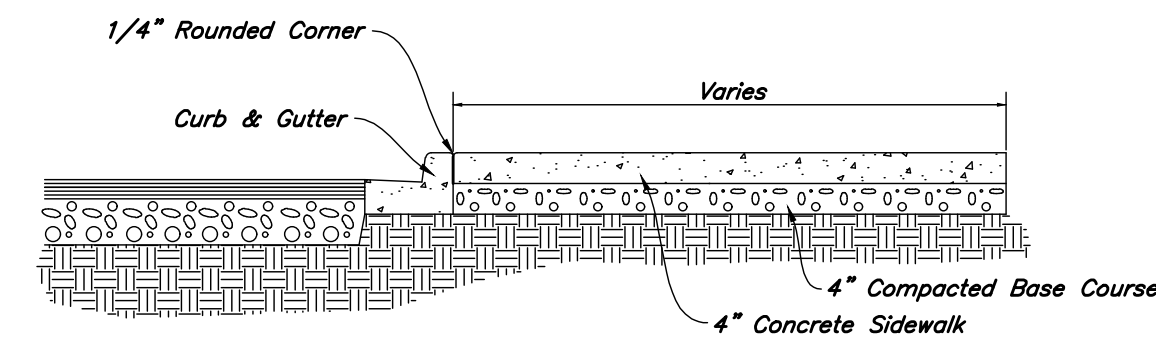
Not to Scale

Contraction Joints

A. Spacing = 10' o.c.

Expansion Joints

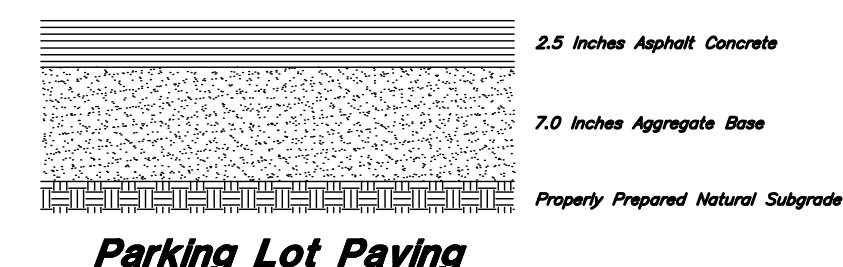
- Make expansion joints full depth, see joint detail
- Place expansion joint at all cold joints
- Expansion joints are required at the start or end of curb radius



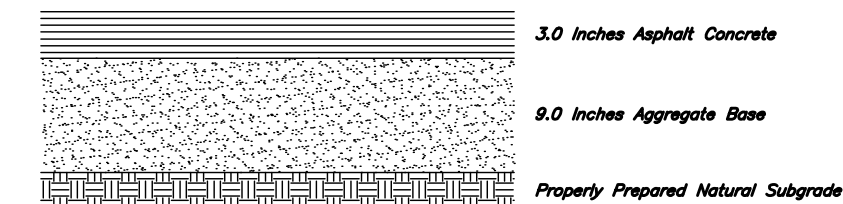
(Private) Typical Sidewalk Detail

Not to Scale

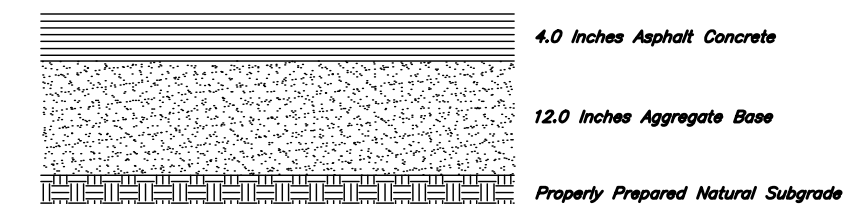
3



Parking Lot Paving



Internal Roadway Paving



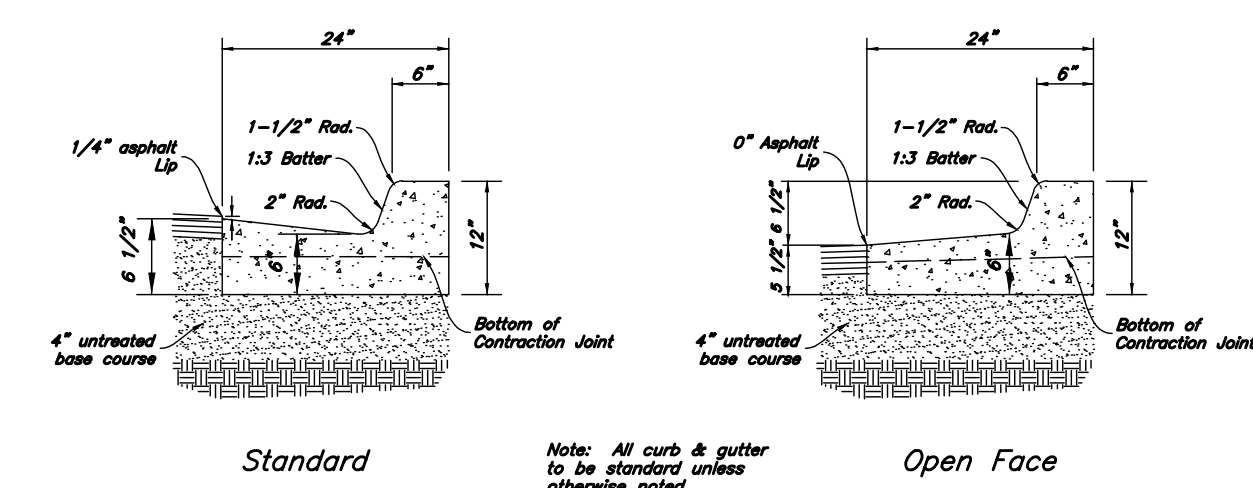
Truck Lane Paving

(Private) Asphalt Sections

2

Not to Scale

- Contraction Joints
 - Spacing = 10' o.c., see joint detail
 - 1/8" wide by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints
 - Make expansion joints full depth, see joint detail
 - Place expansion joint at all cold joints
 - Expansion joints are required at ends of all road D.O.B.
 - Required 5'-0" on each side of drainage structures
 - Required at 10'-0" maximum intervals in straight curb and gutter
 - Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (5' thick aluminum filter material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All road shall be true area
- Medium to light broom finish on all exterior concrete



(Private) 24" Curb And Gutter

1

Not to Scale

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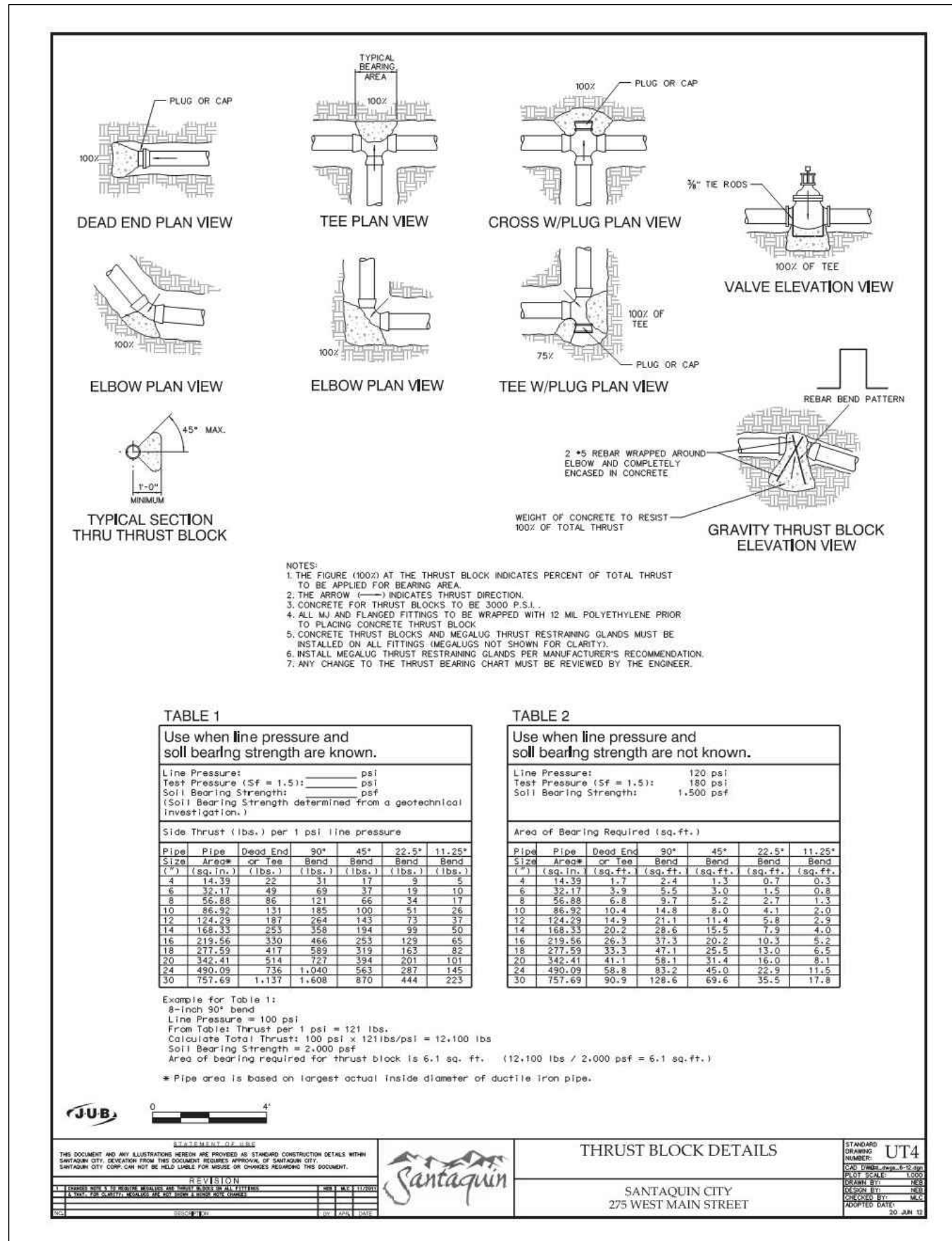
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

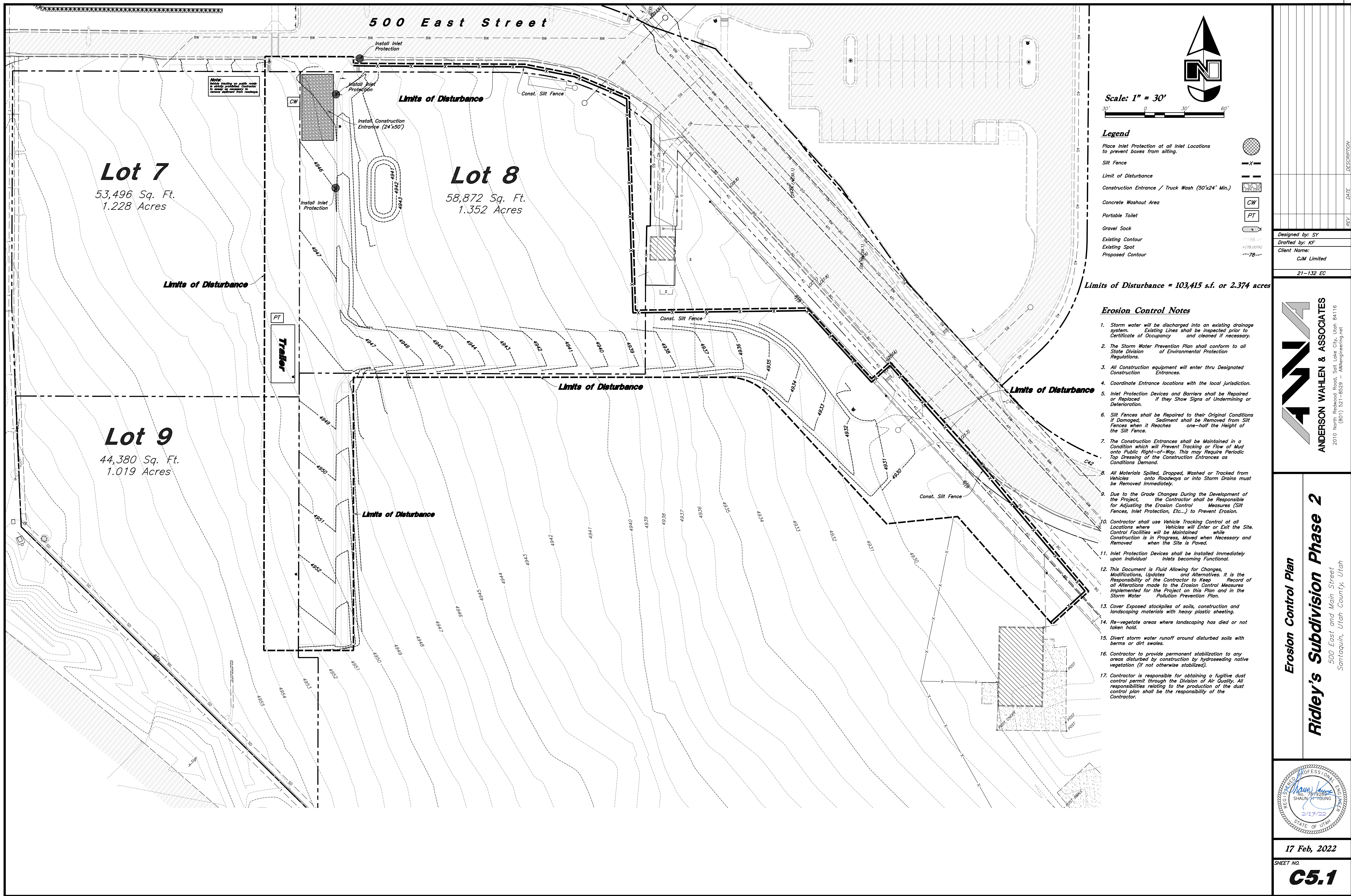
SHAUN H. YOUNG
REGISTERED PROFESSIONAL ENGINEER
No. 79938
2/17/22
STATE OF UTAH

17 Feb, 2022

SHEET NO.

C4.1





ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWahlen@engineering.net

Erosion Control Plan
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

17 Feb, 2022

C5.1

6

Not Used

Not to Scale

3

Silt Fence Section

Not to Scale

5

Not Used

Not to Scale

2

Inlet Protection

Not to Scale

4

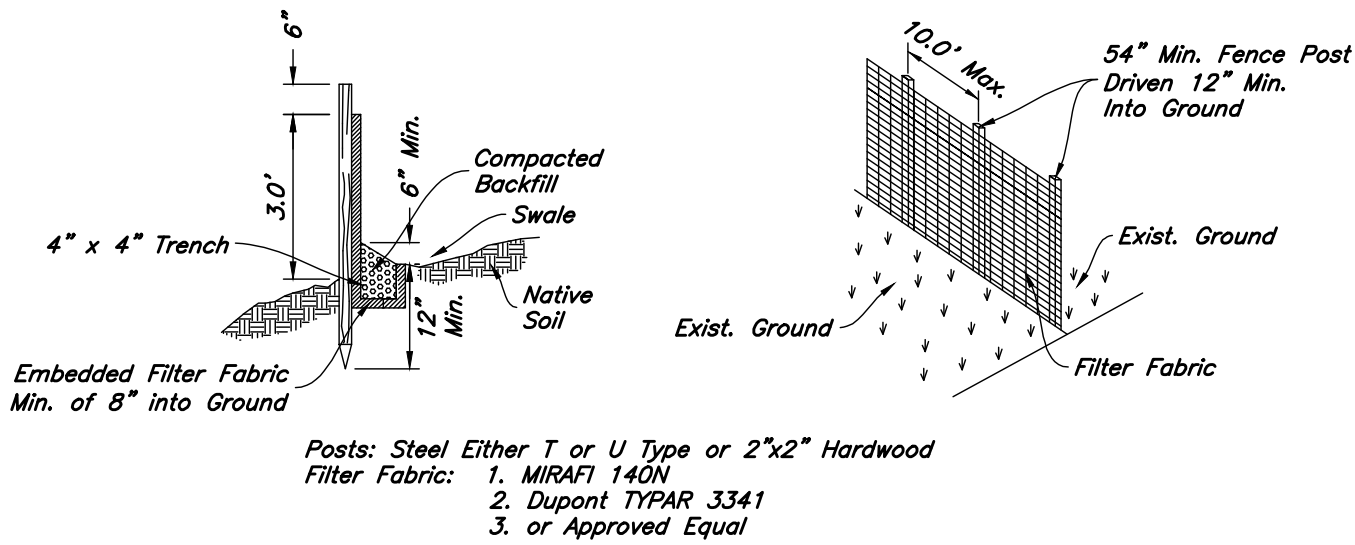
Concrete Washout

Not to Scale

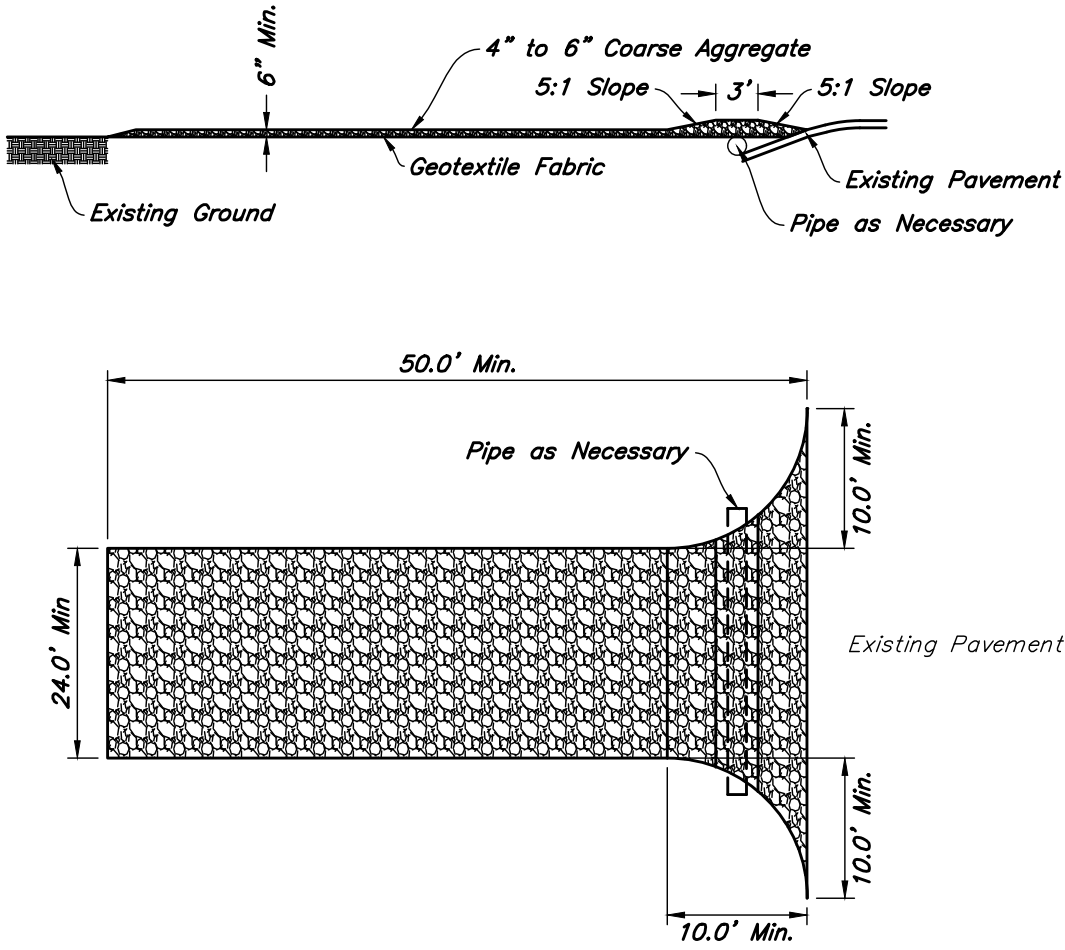
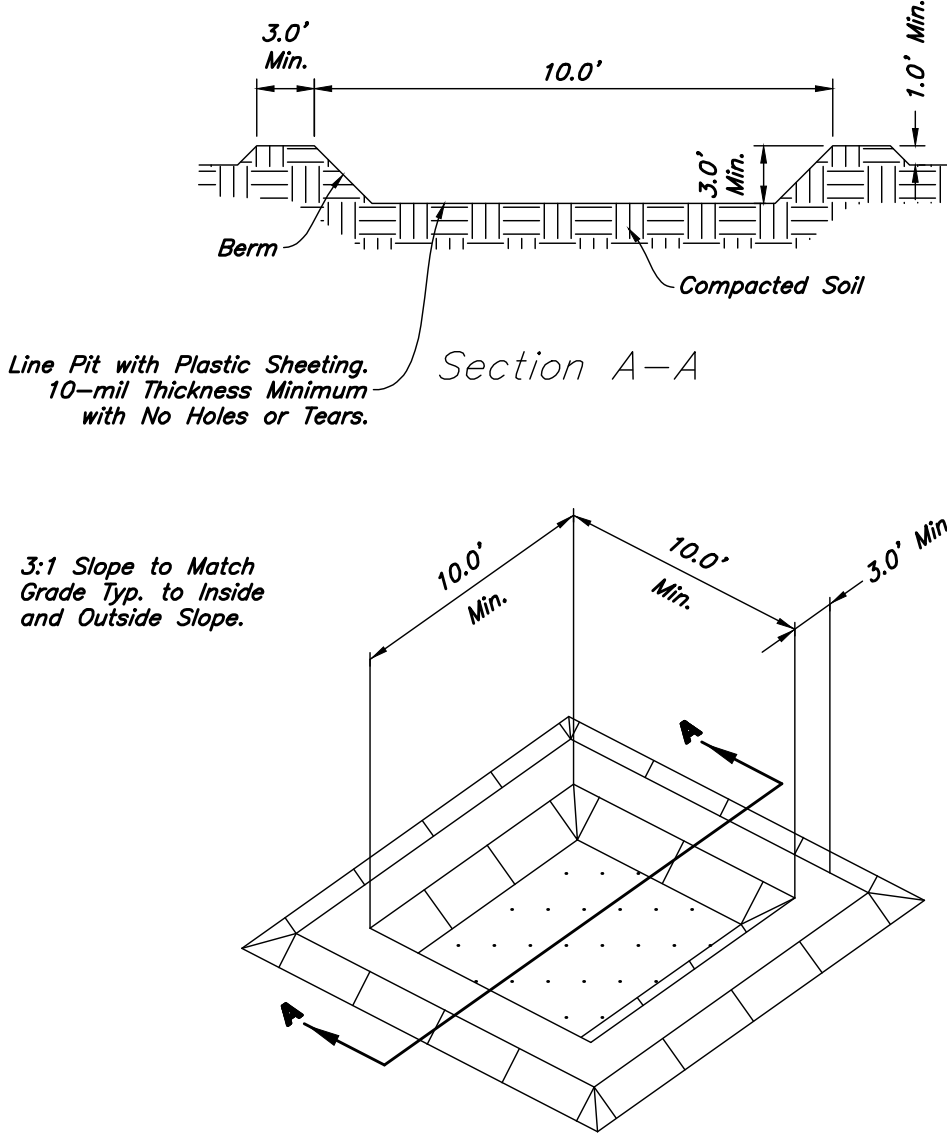
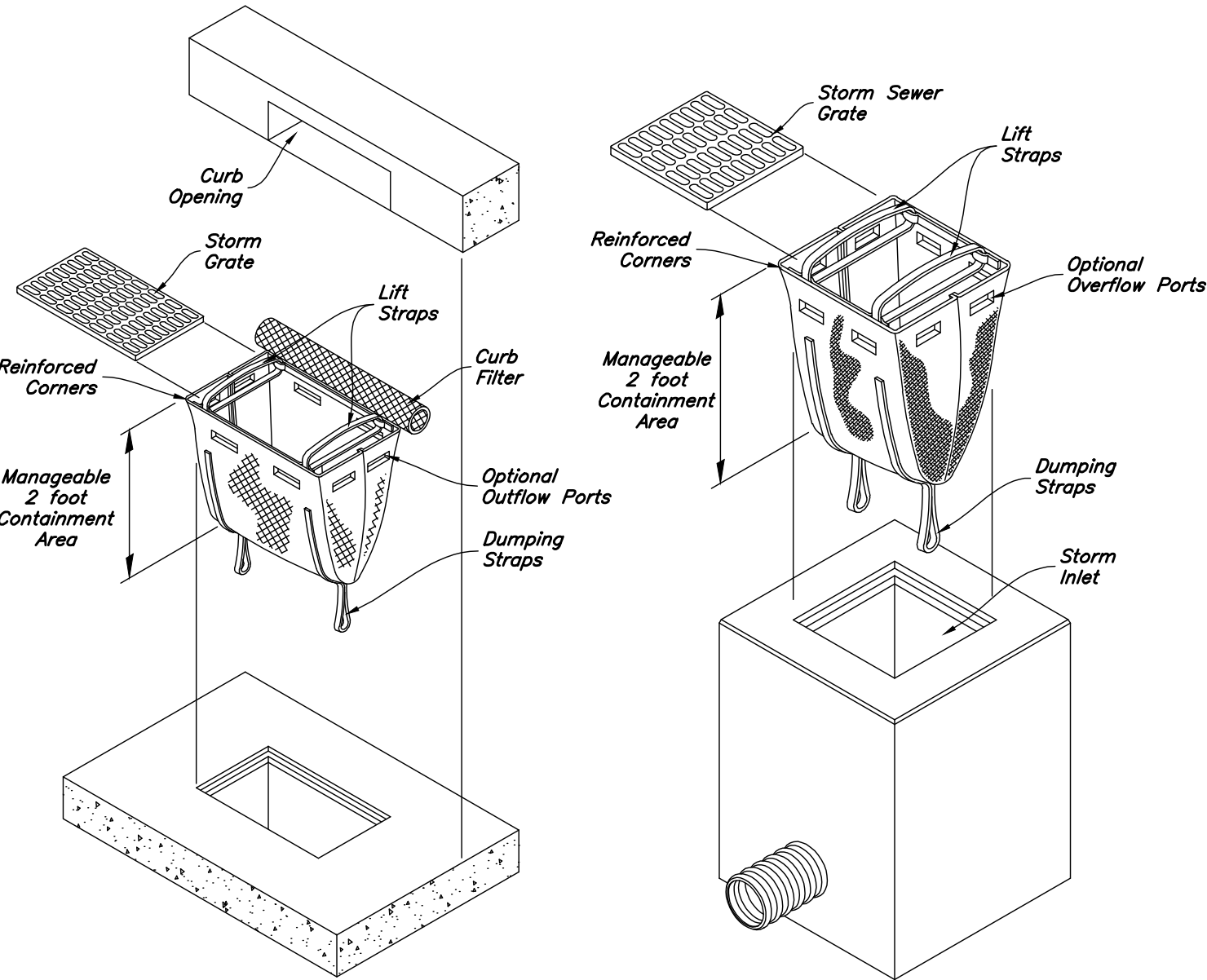
1

Stabilized Construction Entrance

Not to Scale



- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
 2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
 3. Collected material shall be removed when "bulges" develop in the silt fence.



ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 — AWAengineering.net

Erosion Control Details
Ridley's Subdivision Phase 2
500 East and Main Street
Santaquin, Utah County, Utah

REGISTERED PROFESSIONAL ENGINEER
No. 799328
SHAUN H. YOUNG
2/17/22
STATE OF UTAH

17 Feb, 2022
SHEET NO.
C5.2



DRC Meeting Minutes
Tuesday, January 11, 2022

DRC Members in Attendance: Engineer Jon Lundell, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Community Development Director Jason Bond, and City Manager Ben Reeves.

Others in Attendance: Assistant City Manager Norm Beagley, Staff Planner Ryan Harris. Kurt Greenhalgh and Gavin West representing the Green Hollow Subdivision. Kaden Cole and Shawn Herring representing the Hills at Summit Ridge Plats H, I, J, and K. Jody Reid,

Mr. Lundell called the meeting to order at 10:01 a.m.

Green Hollow Final Subdivision Review

A final review of a 22-lot subdivision located at approximately 300 W. and 500 N.

Mr. Lundell explained that this subdivision was previously tabled by the DRC pending Planning Commission approval to modify the cross sections of 200 W. 450 N. and 300 W. He stated that this was reviewed by the Planning Commission who granted approval for the modified street cross sections.

Engineering: Mr. Lundell indicated that there are still outstanding redlines remaining on the storm drain report. He explained that the County Surveyor's Office is requesting that a PLSS certificate be completed for new subdivisions to protect survey monuments. Mr. Lundell stated that currently there is no P.I. line existing between approximately 450 N. and 500 north within 300 W. as is shown on the plans. He noted that it is a pressure zone breaks at this location in the P.I. system. He pointed out that a streetlight will be needed at the east end of 450 N. because the 500-foot distance is exceeded.

Mr. Lundell asked the developer if they have contacted the Post Office regarding the location of the P.O. box. Mr. West stated that he will provide verification from the Post Office regarding the location of the boxes. Mr. Lundell indicated that a 2-inch overlay will be required on 300 W. due to the amount of road cuts required. He noted that the Storm Brix don't seem to be distributed appropriately throughout the development. He asked that the developer also provide verification of the volumes on the storm drain report. Mr. Lundell stated that any storm drain located on private property will need be located within an easement in favor of the city. He noted that at least 5 feet of separation is needed between the back of curb and the infiltration gallery.

Mr. Bond appreciates that the developer is developing this subdivision concurrently.

No comments from Public Works, Fire, Planning and Zoning, or Administration.

DRC Meeting Minutes
January 11, 2022
Page 2 of 5

Motion: Mr. Bond motioned to approve the Green Hollow Subdivision Final Review with the condition that Engineering redlines be addressed. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

The Hills at Summit Ridge Plat H Final Review

A final review of a 10-lot subdivision located at approximately Deerbrook Road and Windsong Drive.

Public Works: Mr. Callaway asked if there are any P.I. drains for this phase? Mr. Lundell explained that the low spot of the area (Plat H) is the intersection of Cypress Point/Sageberry Drive and Deerbrook Road. He noted that there is an existing 2-inch drain at that low spot, but he doesn't know if it's the permanent low spot based upon the grading. Mr. Herring confirmed that this is the low spot. Mr. Beagley asked that the low spot is noted on the plans and all PI pipeline flow arrows be shown.

Planning and Zoning: Mr. Bond explained that the landscaping along the pond will need to match the existing landscaping along the top of the retention pond as was determined with previous phases.

Engineering: Mr. Lundell noted that the backfill for all trenches must be A-1-a material. If the developer wants to use native material for backfill, additional third-party testing is required. He noted that plat H is the only phase that can be developed alone as it isn't dependent upon other phases. Phases I, J, and K need to be developed concurrently to provide adequate waterline looping and road connection to all 3 phases. Mr. Lundell added that a PLSS certificate will need to be taken care of with the County Surveyor's Office.

Mr. Lundell indicated that it is the city's understanding that Salisbury is no longer the developer and asked that this be updated on the plat. He explained that a note regarding Santaquin being an agricultural community will be required on the plat. Mr. Lundell noted that the curve information doesn't match between Plats H and J. Mr. Lundell indicated that open space dedication is required due to the number of lots. It appears that there is a deficit regarding the amount of open space. The open space dedication needs to be included with either plat H or J.

Mr. Lundell explained that there is an existing 16-inch waterline that runs through this plat, the contractors doing the mass grading have indicated that there may not be enough cover over the waterline when this development is finished per the current grading design. Mr. Lundell noted that a privacy fence is required between the residential and retention basin area. He noted that that there must be 10 feet separation between the culinary and sewer lines per State Code. Mr. Lundell added that the existing berm between the finished portion of pond and unfinished area, needs to be removed from the basin during construction of the final basin per design.

No comments from Fire, or Administration.

DRC Meeting Minutes
January 11, 2022
Page 3 of 5

Motion: Mr. Bond motioned to approve the Hills at Summit Ridge Plat H with the condition that all Engineering redlines be addressed. Chief Lind seconded. The motion passed unanimously in the affirmative.

The Hills at Summit Ridge Plat I Final Review

A final review of a 9-lot subdivision located at approximately Deerbrook Road and White Sage Drive.

Engineering: Mr. Lundell asked that the developer works with the Post Office to ensure that the Mailbox Units (MBU's) are in the appropriate location and any easements required are provided.

No comments from Public Works, Fire, Planning and Zoning or Administration.

Motion: Mr. Bond motioned to approve the Hills at Summit Ridge Plat I with the condition that the Engineering redlines be addressed; and that construction does not move forward until there is appropriate access through plats H, J, and K. Chief Lind seconded. The motion passed unanimously in the affirmative.

The Hills at Summit Ridge Plat J Final Review

A final review of a 41-lot subdivision located at approximately Cypress Point Drive and Monarch Loop.

Engineering: Mr. Lundell explained that the existing 16-inch culinary waterline cannot be relocated. He reiterated that the developer needs to adjust the proposed final grading for the finish roadway to provide appropriate cover over the water line. He stated that the city is working on installing a 16-inch pressure line irrigation line. He noted that the new PI line will be the same depth, approximately 3 to 4 feet deep, as the culinary water line, it will be offset of the culinary water line but will follow that similar alignment. Mr. Lundell asked for details regarding phase G, as it is currently showing lots with no utilities. Will the proposed church be located there? He indicated that the plans would need to show the correct utility connections if lots are to be fronting Sageberry Drive. Mr. Herring stated that they have since adjusted the plans to show the church and coordinating utilities and will provide these updated plans.

Planning and Zoning: Mr. Bond recommended that a T intersection be installed at the intersection of Wild Rose Blvd and Cypress Point Dr. He clarified that Cypress Point Dr. is known as Sageberry Dr and should be changed. He asked if Wild Rose Blvd will continue through the development? Mr. Herring answered that the road is expected to stay in line with the existing waterline easement. Mr. Bond suggested that Wild Rose Blvd be re-labeled Mountain View Drive if it will connect to that road at the north end of the future development.

DRC Meeting Minutes
January 11, 2022
Page 4 of 5

Mr. Lundell stated that he would like to get Police input regarding the stop sign locations.

No comments from Public Works, Fire, or Administration

Motion: Mr. Bond motioned to approve the Hills at Summit Ridge Plat J with the following conditions: That more information be provided regarding the plans for Plat G. That the Engineering redlines be addressed. That discussion be held with Public Safety regarding stop sign locations. And that Plat J moves forward concurrently with plats H, I, and K to provide the required waterline looping and access. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

The Hills at Summit Ridge Plat K Final Review

A final review of a 21-lot subdivision located at approximately Monarch Loop and White Sage Drive.

Mr. Lundell asked that all trail improvements be installed all at one time rather than splitting them up between the proposed plat K and the future plat O. Mr. Bond indicated that it would be preferable if the trail improvements were to be constructed with Plat K. Mr. Lundell asked that details for the trail corridor be provided on the plat. He added that per the development agreement a 6-foot tan vinyl fence will be required between the trail corridor and property line.

No comments from Public Works, Fire, Planning and Zoning or Administration.

Motion: Mr. Callaway motioned to approve the Hills at Summit Ridge Plat K with the following conditions: that the Engineering redlines be addressed. And that the plat moves forward concurrently with plats H, I and J do to provide required access and waterline looping. Chief Lind seconded. The motion passed unanimously in the affirmative.

Traffic Control Request for Striping on Highland Drive

The DRC will review a traffic control request for roadway striping on Highland Drive.

Mr. Lundell presented the data provided by the traffic count conducted. The maximum amount of traffic North bound set at 400 S. was 3400 cars within a day. South bound which was set about 450 S. was 3943 cars within a day. Mr. Lundell explained that per the Manual on Uniform Traffic Control Devices (MUTCD) (both Federal and State) require 6000 cars per day to warrant striping. Mr. Lundell stated that based upon the information provided striping isn't warranted on this roadway at this time.

DRC Meeting Minutes
January 11, 2022
Page 5 of 5

Public Works: Mr. Callaway stated that he likes the striping coming into the intersections. As far as striping along Highland Drive it would create a recurring cost that would have to be done every few years. He doesn't believe that the current traffic count warrants it.

Fire: Chief Lind noted that striping coming into the intersection helps align drivers within the intersection. He added that they don't see many accidents within this area. He thinks the striping should be held off for now.

Engineering: Mr. Bond stated that he likes Mr. Callaway's proposal. Mr. Lundell explained that Mr. Callaway's proposal is to install delineators along Highland Drive on the side that abuts I-15. He explained that a delineator is a pole with a small reflective circle at the top. This would help delineate between traffic on I-15 and Highland Drive and help traffic from going off the asphalt. This would also help snowplow drivers, etc. He added that the maintenance cost over the life cycle is minimal.

Administration: Mr. Reeves stated that he's supportive of this idea. He noted that he believes that traffic should be reevaluated after Foothill Village is fully built out.

Ms. Jody Reid (the traffic control request applicant) explained that she appreciates that this will be reevaluated with the future growth in the area. She stated that she is in support of this idea, as it addresses other problems and is cost effective.

Motion: Mr. Callaway motioned to install delineators along the West side of Highland Drive from Main Street to Canyon Road. Chief Lind Seconded. The motion passed unanimously in the affirmative.

MEETING MINUTES APPROVAL

December 14, 2021

January 4, 2022

Motion: Mr. Reeves motioned to approve the minutes from December 14, 2021, and January 4, 2022. Mr. Callaway seconded. The motion passed unanimously in the affirmative.

ADJOURNMENT

Mr. Reeves motioned to adjourn at 11:16 a.m.

Jon Lundell, City Engineer

Kira Petersen, Deputy Recorder