



## ARCHITECTURAL REVIEW COMMITTEE

Monday, May 17, 2021, at 5:30 PM  
Court Room/Council Chambers (2nd Floor) and Online

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at [https://www.youtube.com/channel/UCTzZT\\_yW2H2Hd-58M2\\_ddSw](https://www.youtube.com/channel/UCTzZT_yW2H2Hd-58M2_ddSw) or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

#### 1. Santaquin City Hall Architectural Review

An architectural review of the new City Hall building which will be located on the corner of Center Street and 100 S.

#### 2. Commercial Pad Site C Retaining Wall Ratification

The Architectural Review Committee will ratify a change to the color of block used for the retaining wall of Commercial Pad Site C located at 450 E. Main Street.

### MEETING MINUTES APPROVAL

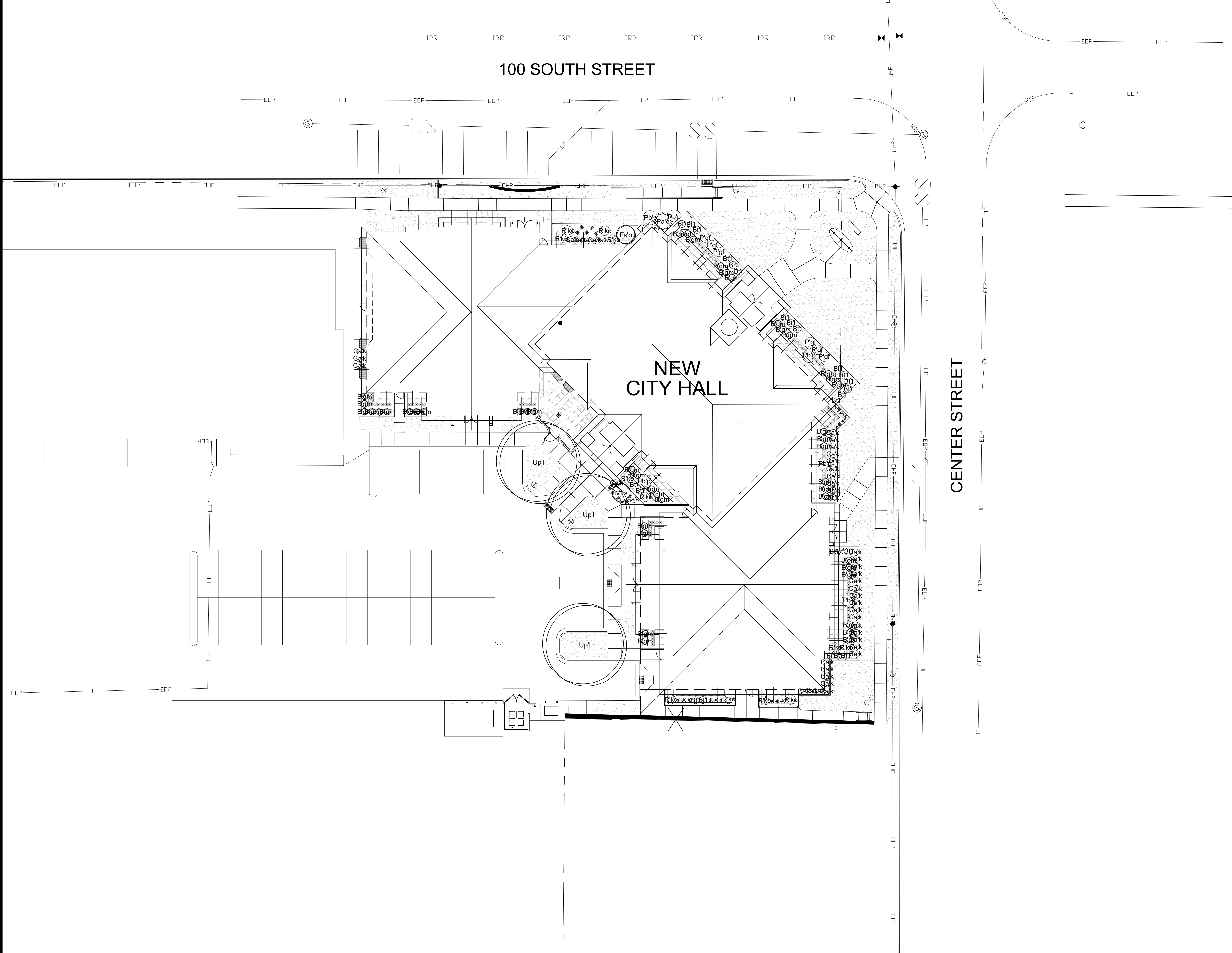
#### 3. February 24, 2021

### ADJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on [www.santaquin.org](http://www.santaquin.org), as well as posted on the State of Utah's Public Notice Website.

BY:   
K. Aaron Shirley, City Recorder



PLANT LEGEND						
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	Pa'e	1	Picea abies 'Capressina' Columnar Norway Spruce	B & B		5'-6'
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	Fs'o	1	Fagus sylvatica 'Red Obelisk' Red Obelisk European Beech	B & B		2"Cal
	Mrs	1	Malus x 'JFS KW213MX' TM Raspberry Spear Crabapple	B & B		2"Cal
	Up'l	3	Ulmus parvifolia 'Emer II' Alice Lacebark Elm	B & B		2"Cal
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	Am'm	27	Aronia melanocarpa 'U'CONNAM165' TM Low Scape Mound Chokeberry	5 gal		
	Bt'l	25	Berberis thunbergii 'Ball'lin' TM Lamoneillo Barberry	5 gal		
	P'gf	6	Potentilla fruticosa 'Goldfinger' Goldfinger Potentilla	5 gal		
	Pb'p	6	Prunus besseyi 'P011S' TM Pawnee Batten Sand Cherry	5 gal		
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	B'gm	45	Buxus x 'Green Mountain' Green Mountain Boxwood	5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	Ca'k	43	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal		
	F'sb	73	Festuca x 'Siskiyou Blue' Siskiyou Blue Fescue	1 gal		
ROSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	R'ko	12	Rosa x 'Radrazz' TM Knock Out Shrub Rose	5 gal		

SITE MATERIALS LEGEND		
SYMBOL	1. LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 10% "APM PERENNIAL RYEGRASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE-LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	7,080 sf
1-03	STONE MULCH PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF STONE MULCH TOP DRESSING.	3,390 sf
1-04	6" CONCRETE MOW CURB	112 lf
1-12	STONE MULCH COLOR: DARK GRAY. SIZE: 1" PLANTING AREAS TO RECEIVE MIN. 6" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE APPROPRIATE SOIL QUALITY FOR PROPOSED PLANTINGS.	939 sf

ISSUE DATE

5/11/2021

PROJECT NUMBER

UT20099

PLAN INFORMATION

811

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC  
1-800-662-4111  
www.bluestakes.org

0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

PROJECT INFORMATION

SANTAQUIN CITY HALL

CENTER ST. & 100 SOUTH

SANTAQUIN, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Property Owner:

Architect / Engineer:

WPA ARCHITECTURE  
475 NORTH FREEDOM BLVD.  
PROVO, UT 84601

LANDSCAPE ARCHITECT / PLANNER

PKJ  
DESIGN GROUP  
Landscape Architecture • Planning & Visualization  
3450 N. TRIUMPH BLVD. SUITE 102  
LEHI, UTAH 84043 (801) 960-2698  
www.pkjdesigngroup.com

LICENSE STAMP

LANDSCAPE PLAN

PRELIMINARY PLANS NOT FOR CONSTRUCTION

LP-101

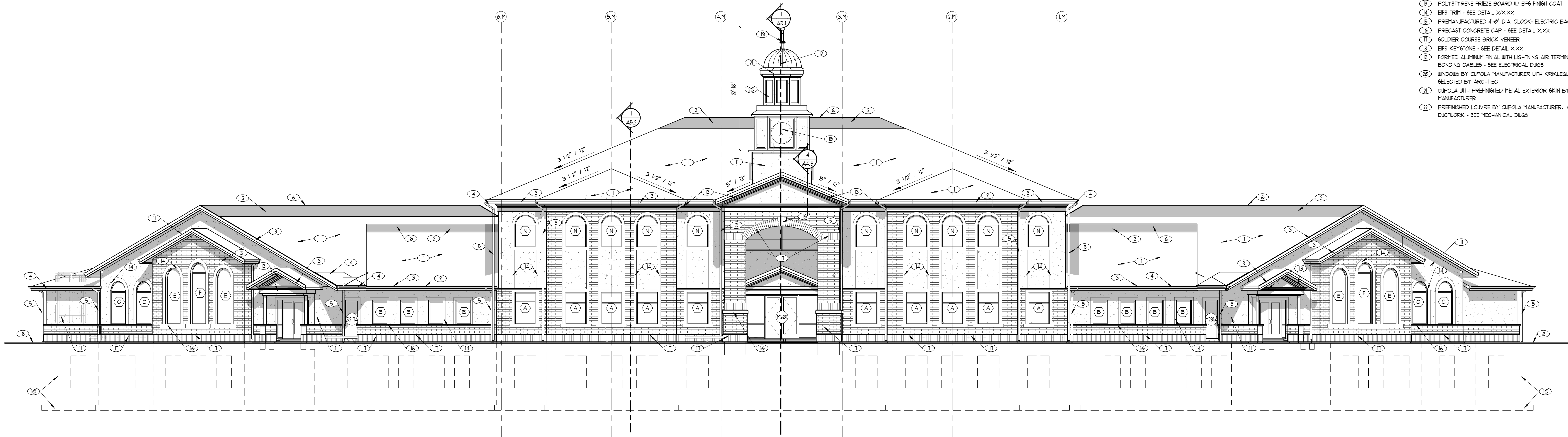
DRAWING INFO

PM: JTA  
DRAWN: KBA  
CHECKED: JMA  
PLOT DATE: 5/11/2021

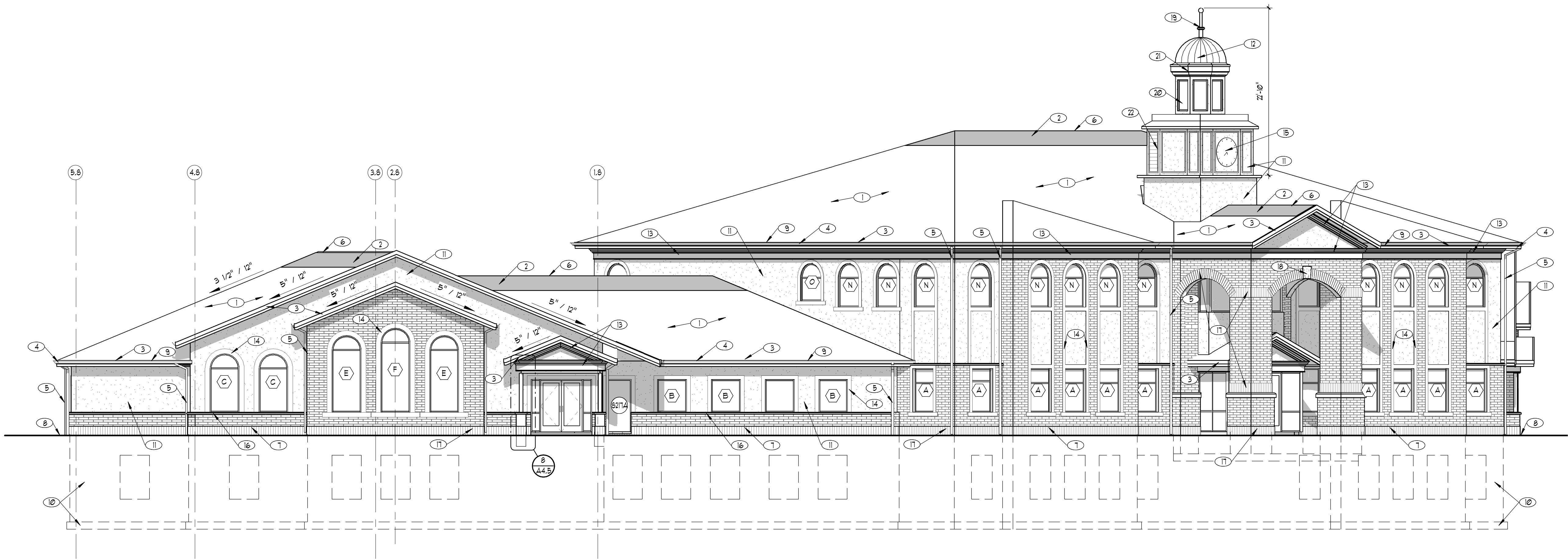
2

SHEETNOTES:

- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE - SEE SHEET A3.1  
○ TYPICAL REFERENCE FOR DOOR TYPE - SEE SHEET A3.3  
○ TYPICAL REFERENCE FOR WINDOW TYPE - SEE SHEET A3.4
- 1 50 YEAR ASPHALT SHINGLES OVER ICE & WATER SHIELD UNDERLAYMENT  
2 50 YEAR ASPHALT SHINGLES OVER VAPORSHIELD  
3 PREFINISHED METAL FASCIA OVER 2 X12 TREATED FASCIA BOARD w/ 1/4 TREATED SECONDARY TRIM  
4 PREFINISHED METAL RAIN GUTTER WITH ELECTRIC HEAT CABLE  
5 DOWNSPOUT TO GROUND LEVEL WITH ELECTRIC HEAT CABLE  
6 RIDGE VENT  
7 BRICK VENEER  
8 APPROX. FINISH GRADE - SEE CIVIL DUGS  
9 PREFINISHED METAL DRIP EDGE  
10 REINFORCED CONCRETE FOOTINGS AND FOUNDATION  
11 EPS. PROVIDE CONTROL PER MANUFACTURERS RECOMMENDATION  
12 1/8" SEGMENT PREFINISHED METAL DOME BY CUPOLA MANUFACTURER  
13 POLYSTYRENE FRIDGE BOARD w/ EPS FINISH COAT  
14 EPS TRIM - SEE DETAIL XXX-XXX  
15 PREMANUFACTURED 4'-0" DIA. CLOCK- ELECTRIC BACKLIT  
16 PRECAST CONCRETE CAP - SEE DETAIL XXX  
17 SOLDIER COURSE BRICK VENEER  
18 EPS KEYSTONE - SEE DETAIL XXX  
19 FORMED ALUMINUM FINIAL WITH LIGHTNING AIR TERMINAL AND BONDING CABLES - SEE ELECTRICAL DUGS  
20 WINDOWS BY CUPOLA MANUFACTURER WITH KRIKLEGLASS COLOR AS SELECTED BY ARCHITECT  
21 CUPOLA WITH PREFINISHED METAL EXTERIOR SKIN BY CUPOLA MANUFACTURER  
22 PREFINISHED LOUVRE BY CUPOLA MANUFACTURER. CONNECTED TO DUCTWORK - SEE MECHANICAL DUGS



1 NORTH ELEVATION  
1/8" = 1'-0"



2 NORTHEAST ELEVATION  
1/8" = 1'-0"

Item 1.

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Date: APRIL 8, 2021 - DESIGN DEVELOPMENT SUBMITTAL  
Revision:

Alan R. Poulson  
Ronald B. Jones  
Bruce T. Fallon

**WPA**  
Architecture  
475 North Freedom Blvd.  
Provo, Utah 84601  
Tel: (801) 374-0800  
info@wpa-architecture.com

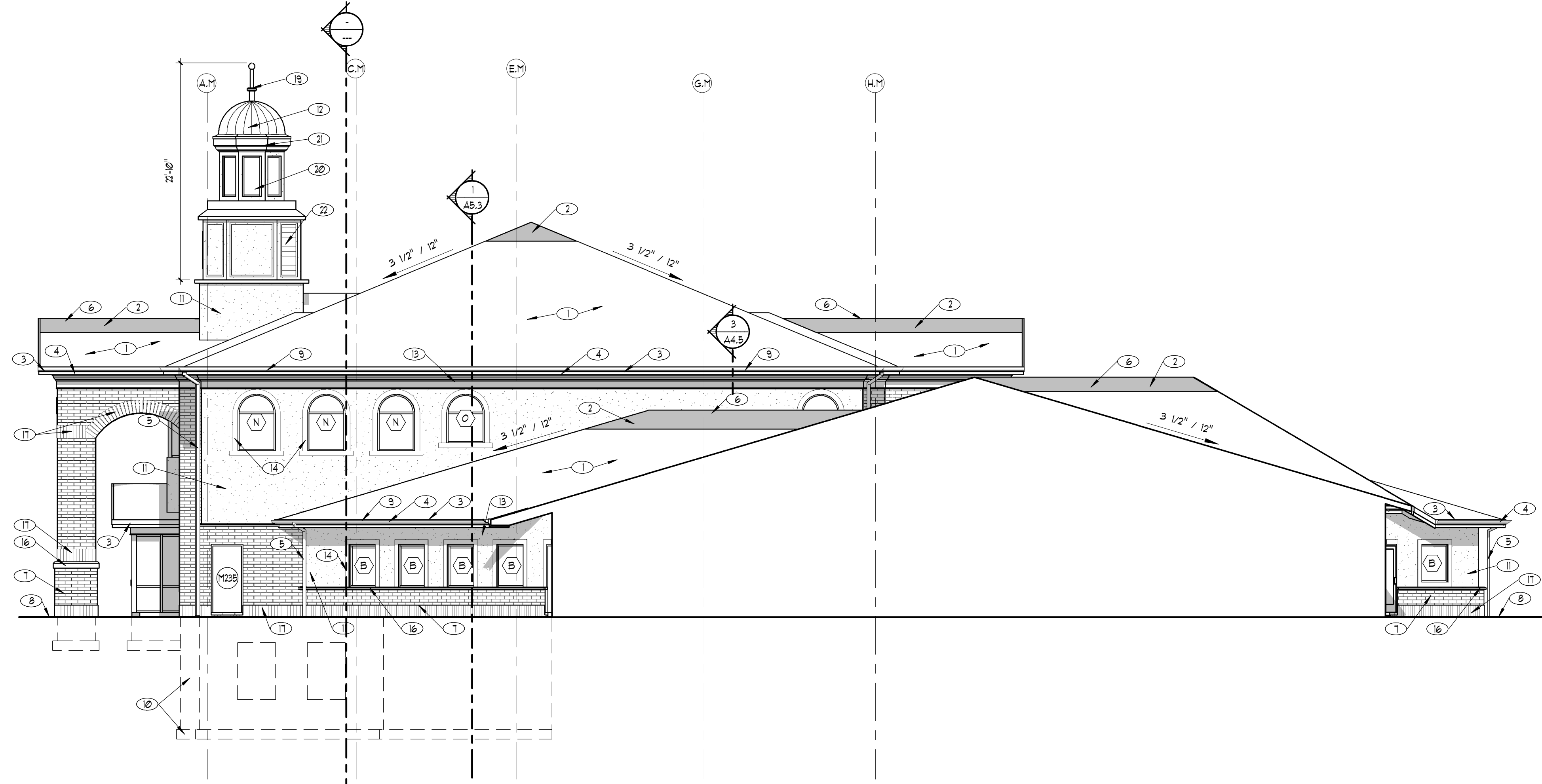
**SANTAQUIN CITY HALL**  
CENTER STREET AND 100 SOUTH  
SANTAQUIN, UTAH 84655

**Santaquin**  
A Breath of Fresh Air

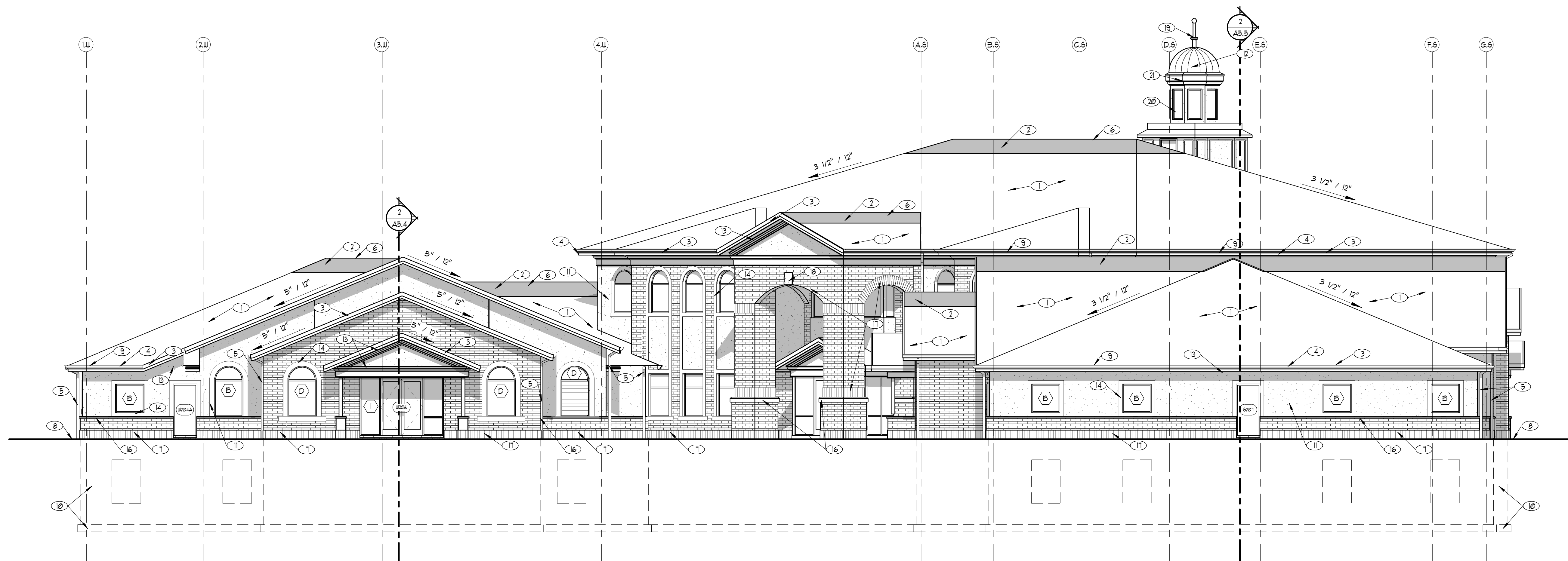
**A4.1**  
EXTERIOR ELEVATIONS

**SHEETNOTES:**

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- TYPICAL REFERENCE FOR DOOR TYPE - SEE SHEET A3.3
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- 11 EPS PROVIDE CONTROL PER MANUFACTURERS RECOMMENDATION
- 12 1/8 SEGMENT PREFINISHED METAL DOME BY CUPOLA MANUFACTURER
- 13 POLYSTYRENE RIEZE BOARD w/ EPS FINSH COAT
- 14 EPS TRIM - SEE DETAIL XXXXX
- 15 PREMANUFACTURED 4'-0" DIA. CLOCK- ELECTRIC BACKLIT
- 16 PRECAST CONCRETE CAP - SEE DETAIL XXX
- 17 SOLDIER COURSE BRICK VENEER
- 18 EPS KEYSTONE - SEE DETAIL XXX
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- 22 PREFINISHED LOUVRE BY CUPOLA MANUFACTURER. CONNECTED TO DUCTWORK - SEE MECHANICAL DUGS



1 NORTHWEST ELEVATION 2  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

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Item 1

Date: APRIL 8, 2021 - DESIGN DEVELOPMENT SUBMITTAL

Revision:

Alan R. Poulson  
Ronald B. Jones  
Bruce T. Fallon

WPA Architecture  
86-127300-1301  
03.08.2018  
STATE OF UTAH

SANTAQUIN CITY HALL  
CENTER STREET AND 100 SOUTH  
SANTAQUIN, UTAH 84655

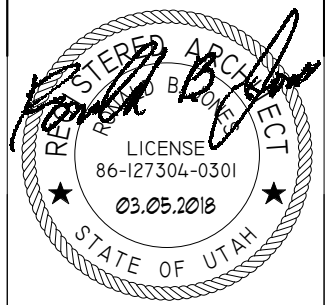
A4.2  
EXTERIOR ELEVATIONS

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- 12 16 SEGMENT PREFINISHED METAL DOME BY CUPOLA MANUFACTURER
- 13 POLYSTYRENE FRIDGE BOARD w/ EPS FINISH COAT
- 14 EPS TRIM - SEE DETAIL XXX.XXX
- 15 PREFABRICATED 4'-0" DIA. CLOCK- ELECTRIC BACKLIT
- 16 PRECAST CONCRETE CAP - SEE DETAIL XXX
- 17 SOLDIER COURSE BRICK VENEER
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Date: APRIL 8, 2021 - DESIGN  
DEVELOPMENT SUBMITTAL

Revision:



Alan R. Poulson  
Ronald B. Jones  
Bruce T. Fallon



SANTAQUIN CITY HALL

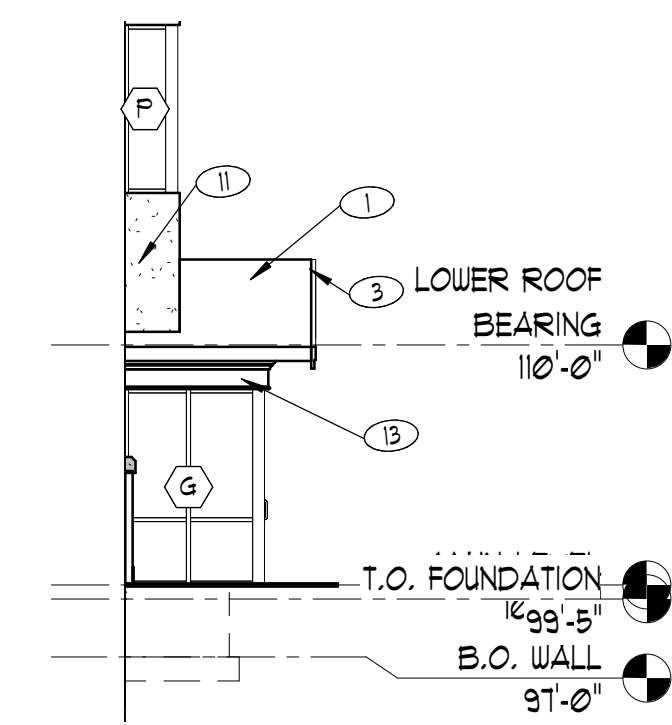
SANTAQUIN, UTAH 84655

CENTER STREET AND 100 SOUTH

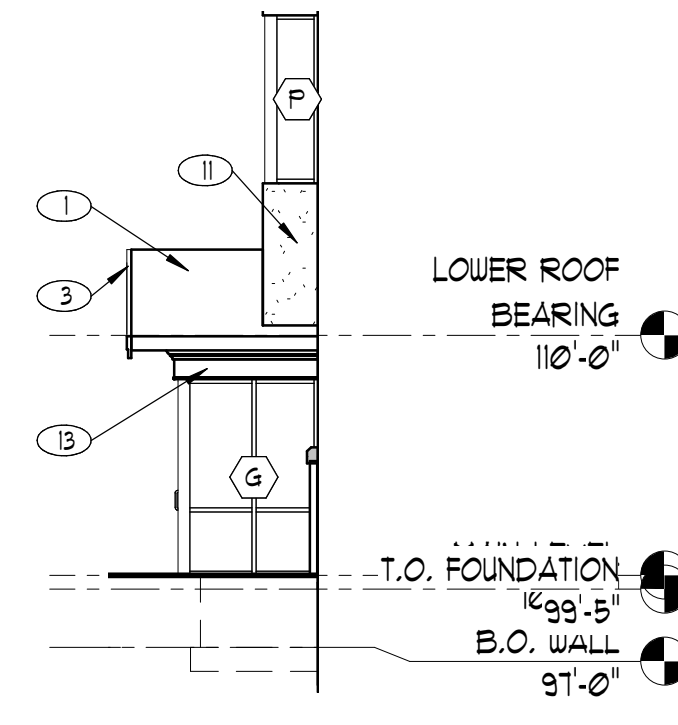


A4.3

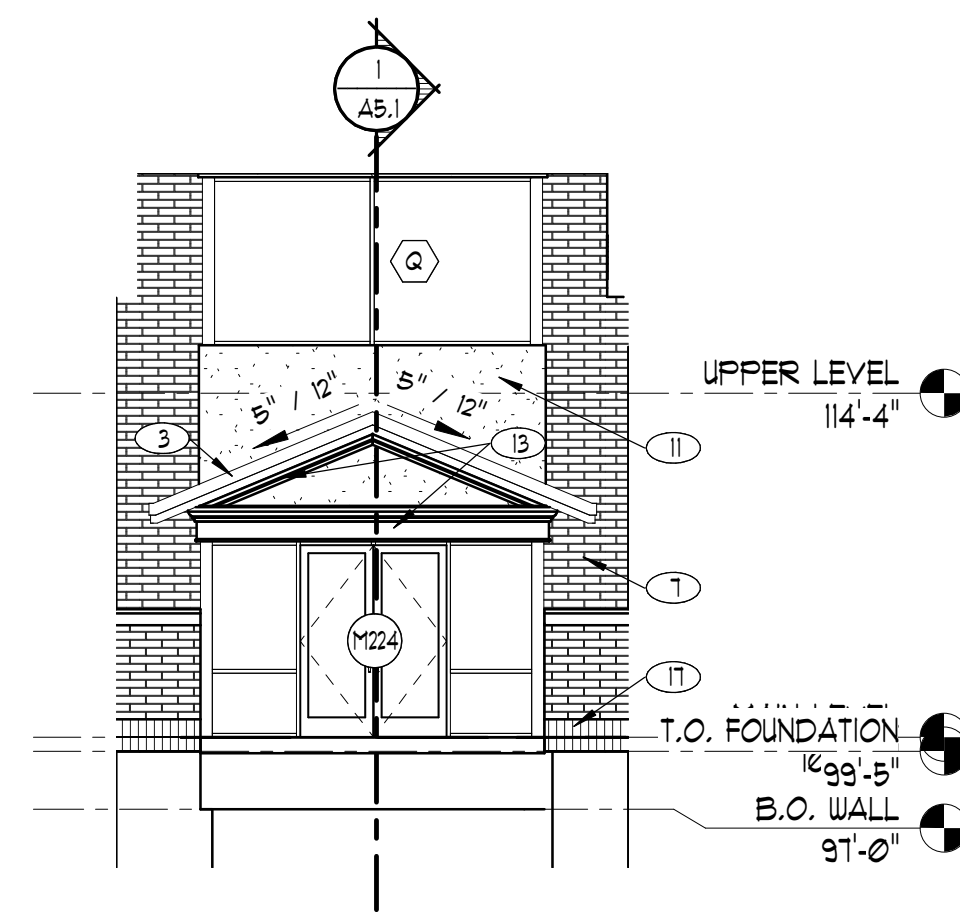
EXTERIOR  
ELEVATIONS



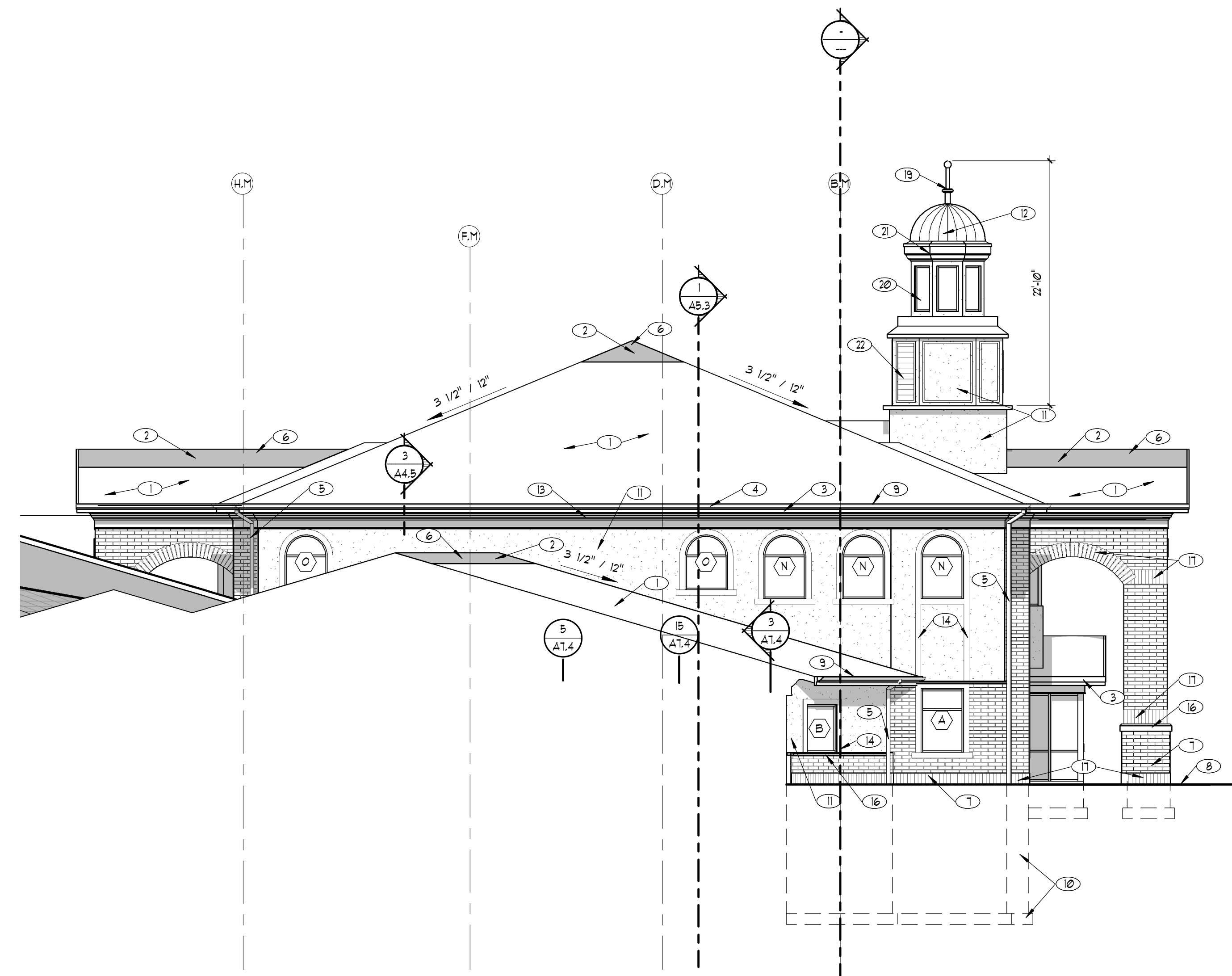
5 SOUTHWEST ENTRY  
1/8" = 1'-0"



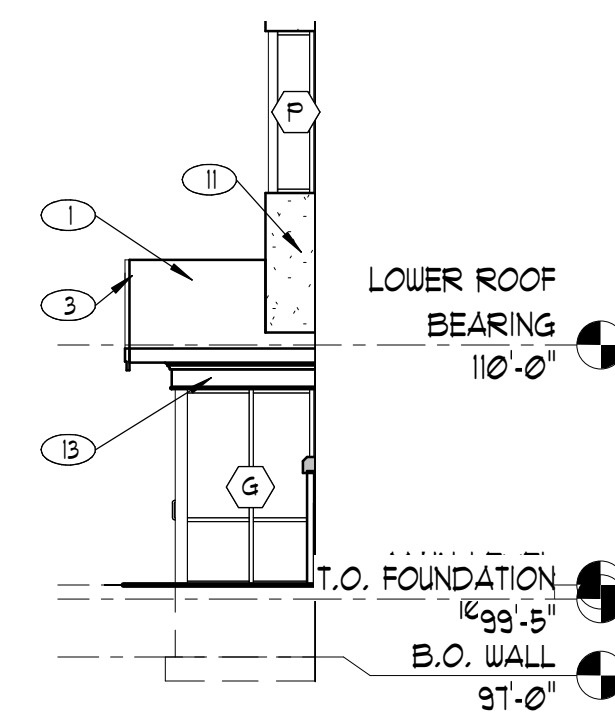
4 SOUTHEAST ENTRY  
1/8" = 1'-0"



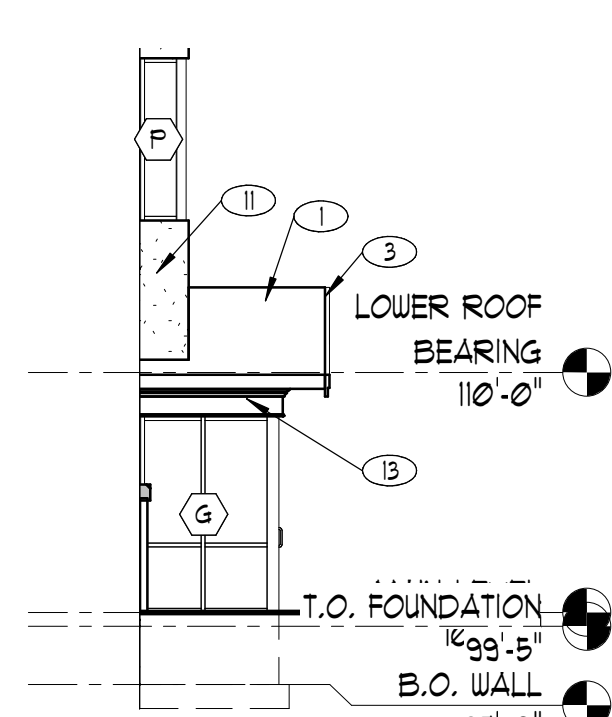
3 SOUTH ENTRY  
1/8" = 1'-0"



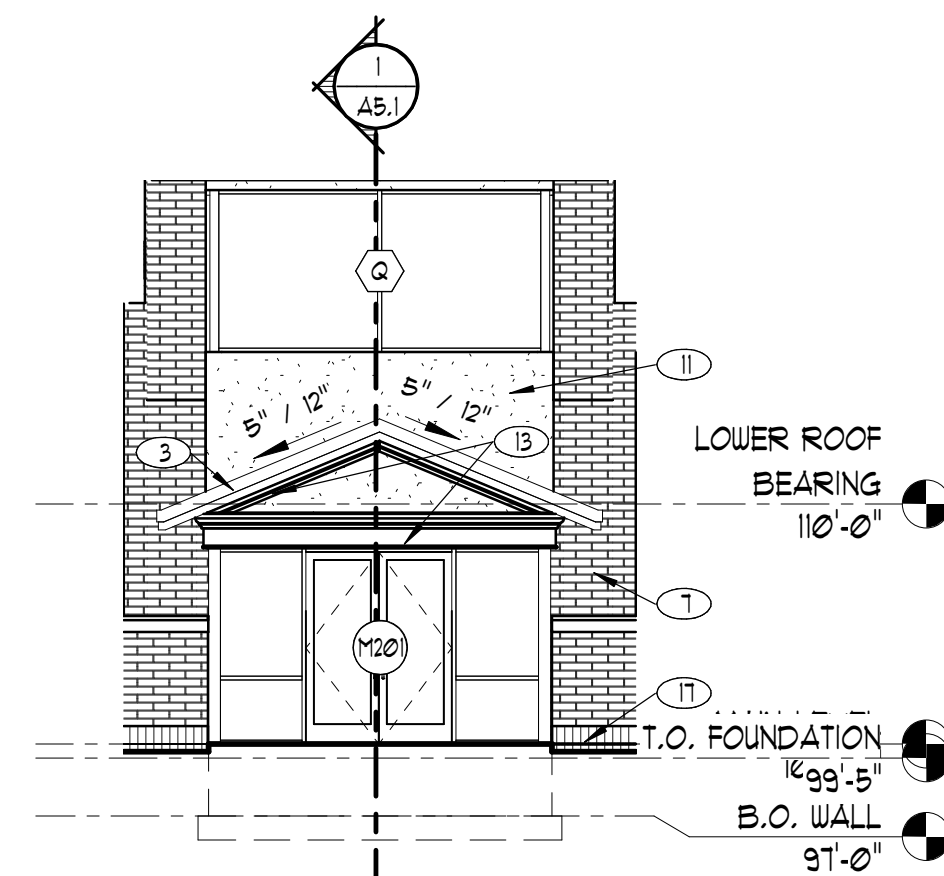
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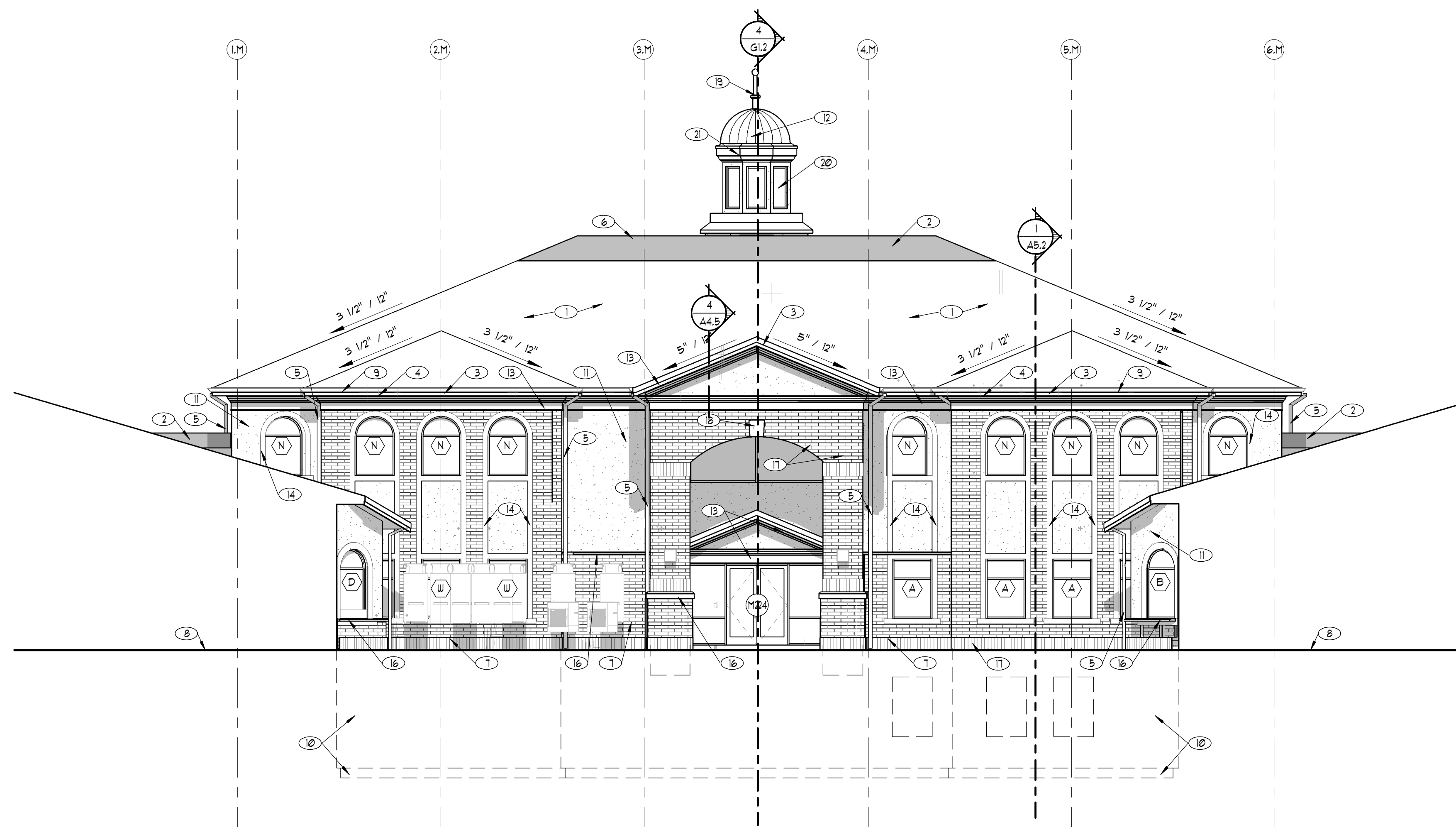
8 NORTHWEST ENTRY  
1/8" = 1'-0"



7 NORTHEAST ENTRY  
1/8" = 1'-0"



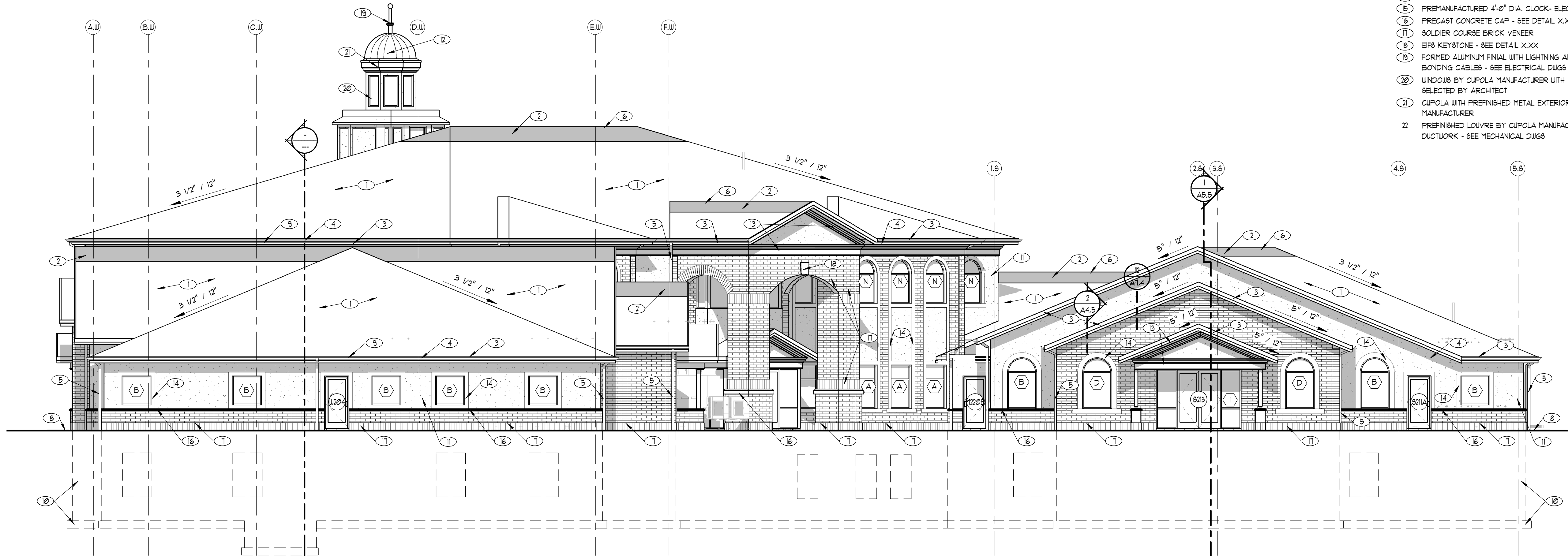
6 NORTH ENTRY  
1/8" = 1'-0"



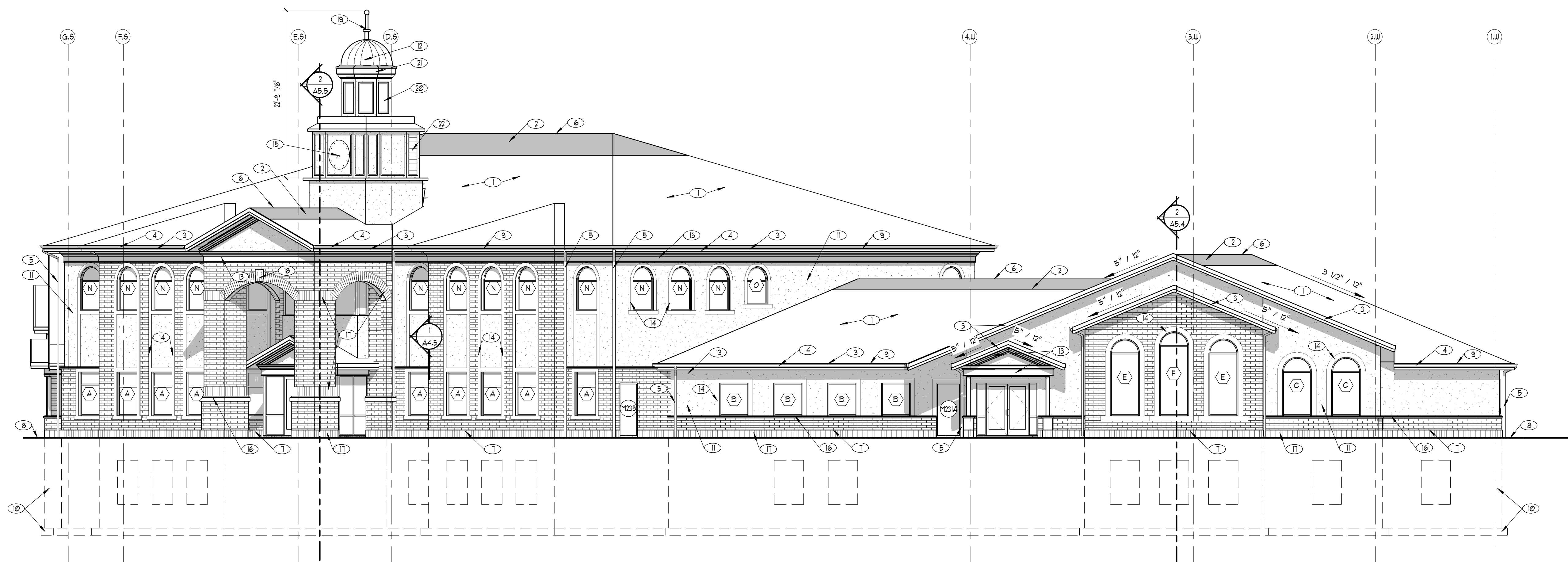
2 SOUTH ELEVATION  
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**SHEETNOTES:**

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**1 WEST ELEVATION**  
1/8" = 1'-0"



**2 NORTHWEST ELEVATION**  
1/8" = 1'-0"

**WPA**  
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info@wpa-architecture.com

**SANTAQUIN CITY HALL**

CENTER STREET AND 100 SOUTH

SANTAQUIN, UTAH 84655

**A4.4**

EXTERIOR ELEVATIONS

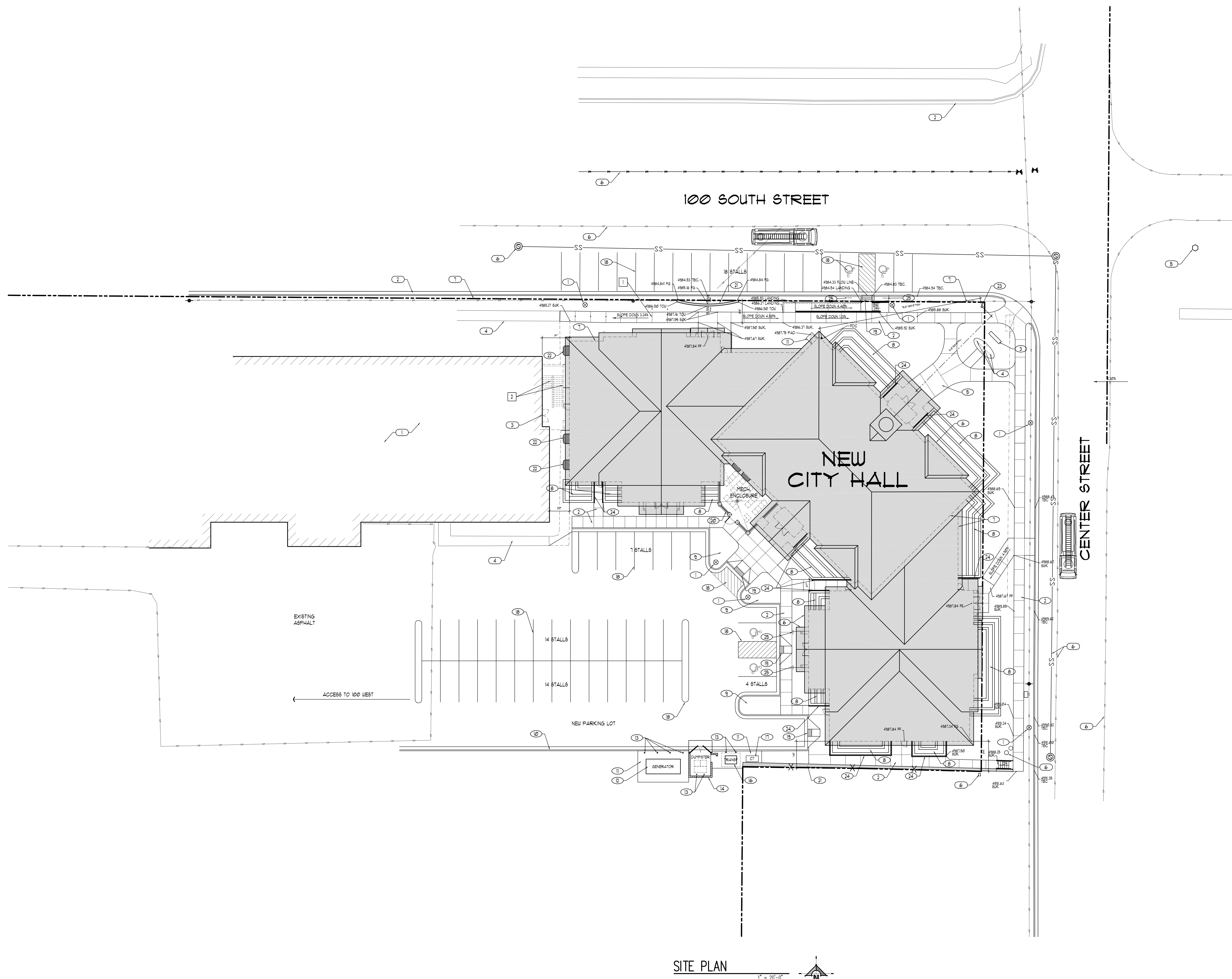
**Alan R. Poulson**  
**Ronald B. Jones**  
**Bruce T. Fallon**

Date: APRIL 8, 2021 - DESIGN DEVELOPMENT SUBMITTAL

Revision:

90 DAY PERMIT EXPIRATION DATE: 06/08/2018

90 DAY PERMIT EXPIRATION DATE: 06/08/2018



SHEETNOTES:

- 1 REMOVE PORTION OF EXISTING SIDEWALK
- 2 REMOVE EXISTING STAIRS AND ASSOCIATED EAST WALL
- 3 EXISTING BUILDING TO REMAIN
- 4 EXISTING CURB AND GUTTER
- 5 EXISTING DOUBLE DOORS ON UPPER LEVEL OF EXIST. BLDG. PROVIDE PLYWOOD OVER THESE DOORS TO ENSURE NO ACCESS WHEN STAIRS ARE REMOVED.
- 6 EXISTING CONCRETE SIDEWALK
- 7 EXISTING FIRE HYDRANT
- 8 EXISTING SITE UTILITY
- 9 EXISTING PROPERTY LINE
- 10 EXISTING FENCE
- 11 SITE LIGHTING - SEE ELECTRICAL DWGS.
- 12 5'-0" CONCRETE SIDEWALK
- 13 BUILDING MONUMENT SIGN - SEE DETAIL (A)-
- 14 THREE GROUND-SET FLAG POLES - SEE DETAIL T/A12
- 15 CONCRETE PAVING w/ CONTROL JOINTS AS REQUIRED
- 16 LINE OF BUILDING ROOF
- 17 OUTLINE OF BUILDING BELOW ROOF
- 18 LANDSCAPING AREAWAYS - SEE SITE DETAILS A13
- 19 LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- 20 CONCRETE CURB AND GUTTER
- 21 CONCRETE SLAB ON GRADE
- 22 EMERGENCY GENERATOR - SEE ELECTRICAL DWGS.
- 23 6" CONCRETE FILLED METAL BOLLARD - PAINT
- 24 8" CMU WITH BRICK VENEER DUMPSTER ENCLOSURE w/ GATE
- 25 CONCRETE APRON
- 26 TRANSFORMER - SEE ELECTRICAL DWGS.
- 27 CY CANS - SEE ELECTRICAL DWGS.
- 28 PARKING LOT STRIPING
- 29 ACCESSIBLE RAMP
- 30 LINE OF MECHANICAL ENCLOSURE
- 31 RETAINING WALL - SEE SITE DETAILS A13
- 32 MANUFACTURED METAL WINDOW WELLS WITH COVER GRATE
- 33 NEW FIRE HYDRANT - SEE CIVIL DRAWINGS
- 34 GALVANIZED EXTERIOR GUARDRAIL - PAINT
- 35 ADA PARKING SIGN - SEE SITE DETAILS A13

Item 1.

Date: APRIL 2021

Revision:

Alan R. Poulson  
Ronald B. Jones  
Bruce T. Fallon

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**NEW SANTAQUIN CITY HALL**  
SANTAQUIN CITY  
CENTER AND 100 SOUTH  
SANTAQUIN, UTAH 84655

**Santaquin**  
A Breath of Fresh Air

**A1.1**  
SITE PLAN



**ARC Meeting Minutes**  
**Tuesday, February 24, 2021**

**ARC Members in Attendance:** Jason Bond Community Development Director, City Council Member Nick Miller, Planning Commission Member Kylie Lance and Ron Jones.

**Other's in Attendance:** Kevin Olson and John Smiley representing Orchard Hills Townhomes.

Mr. Bond called the meeting to order at 5:30 p.m.

**Orchard Hills Townhome Architectural Review**

*An architectural review in the Orchard Hills Townhome development of the building that faces Highland Drive, and which will have commercial spaces on the main floor and residential above. The development is located at approximately 120 E. and Highland Drive.*

Mr. Bond explained that due to the commercial aspect on the main floor the architecture will differ from the already approved architectural renderings for the Orchard Hills Townhomes. He indicated that there is no outside lighting shown on the plans. Mr. Smiley explained that there will be outdoor can lights underneath the shop windows. Mr. Bond indicated that another element is needed to break up the flat wall expanse on the left elevation. Mr. Smiley answered that there will be trees to break up the flat wall. Committee Member Jones asked if the change of materials is also a change in plain or if it is flat with the rest of the siding? Mr. Smiley indicated that it is currently flat, but it could be bumped out if needed.

Mr. Bond showed the proposed renderings. He explained that they have provided two, one with all brick on the second-floor front elevation, and another with both brick and vinyl. The rendering with both brick and vinyl on the second floor has 1% more vinyl material than code allows. The developer is asking the ARC which configuration they prefer. Committee Member Lance stated that she prefers the rendering with brick all the way up rather than brick and vinyl. She also asked that the proposed green colors be changed to be more differential because they are very close in color. Mr. Bond agreed with Committee Member Lance. Committee Member Lance suggested that the two green colors either be the same, or more contrasting. Mr. Jones stated that he likes the breakup of the brick and siding on the second floor between brick and siding. Mr. Bond stated that he prefers the brick all the way, specifically since it meets the requirements.

Committee Member Lance asked if there could be canned lights on the balcony. Mr. Smiley explained that they will already be there and will be able to be controlled by the residents.

Committee Member Jones asked that options for providing more articulation on the side elevation be discussed. Committee Member Lance suggested that brick be continued onto the side of the building to provide more articulation. Providing pop outs above the windows were

also suggested. Mr. Smiley indicated that it is difficult to add pop outs on the side due to the proximity of the parking lot. Mr. Bond explained that rather than pop outs, awnings could be used to provide articulation. Mr. Smiley indicated that they could add awnings to the side elevation.

**ARC Meeting Minutes**  
**Tuesday, February 24, 2021**  
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Committee Member Lance asked is there is any provision per code requiring lighting all the way up on the building. Committee Member Jones suggested that if lights are on the top level they are directed downward. Mr. Bond indicated that he would need to further review code to determine what is required in this case. Council Member Miller stated that he isn't worried about having lighting all the way up the whole building; but rather that the lighting at the commercial level is only controlled by the commercial unit. Committee Member Lance suggested that a sensor is installed on the lights for the commercial units, so they automatically turn on. Committee Member Jones asked if there will be any light poles along the trail along Highland Drive. Mr. Bond indicated that the streetlights will be determined during the site plan review.

**Motion:** Committee Member Lance motioned to approve the Orchard Hills Townhome Architecture as presented with the following conditions: That the green colors on the front elevation be regulated as discussed. That the brick continues up to the third level. That two awnings be added to the left elevation. That code requirements regarding light poles and lighting on the third level be reviewed. And that photocells be added to the business lights. Committee Member Jones seconded. The motion passed unanimously 4 to 0.

## MEETING MINUTES APPROVAL

January 12, 2021

**Motion:** Committee Member Jones motioned to approve the ARC meeting minutes from January 12, 2021. Committee Member Jones seconded. The vote was unanimous in the affirmative.

## Adjournment

The meeting was adjourned at 6:12 p.m.

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Kira Petersen, Deputy Recorder

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