



DEVELOPMENT REVIEW COMMITTEE

Tuesday, May 10, 2022, at 10:00 AM
Court Room/Council Chambers (2nd Floor) and Online

MEETING PARTICIPATION

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Santaquin City Channel <https://bit.ly/2P7ICfQ>

Comments may be submitted to PublicComment@Santaquin.org for consideration.

To review the Santaquin City Council Meeting Protocols, please go to the following link:
<https://www.santaquin.org/citycouncil/page/santaquin-city-council-protocols>.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. McDonald's Drive-In Restaurant Site Plan Review

A commercial site plan review for a proposed business which will be located at 38 N. 500 E.

2. Minor Change to Approved Santaquin Estates Plat

A review of a minor change to the Santaquin Estates Plat which would remove two lots.

MEETING MINUTES APPROVAL

3. 04-26-2022

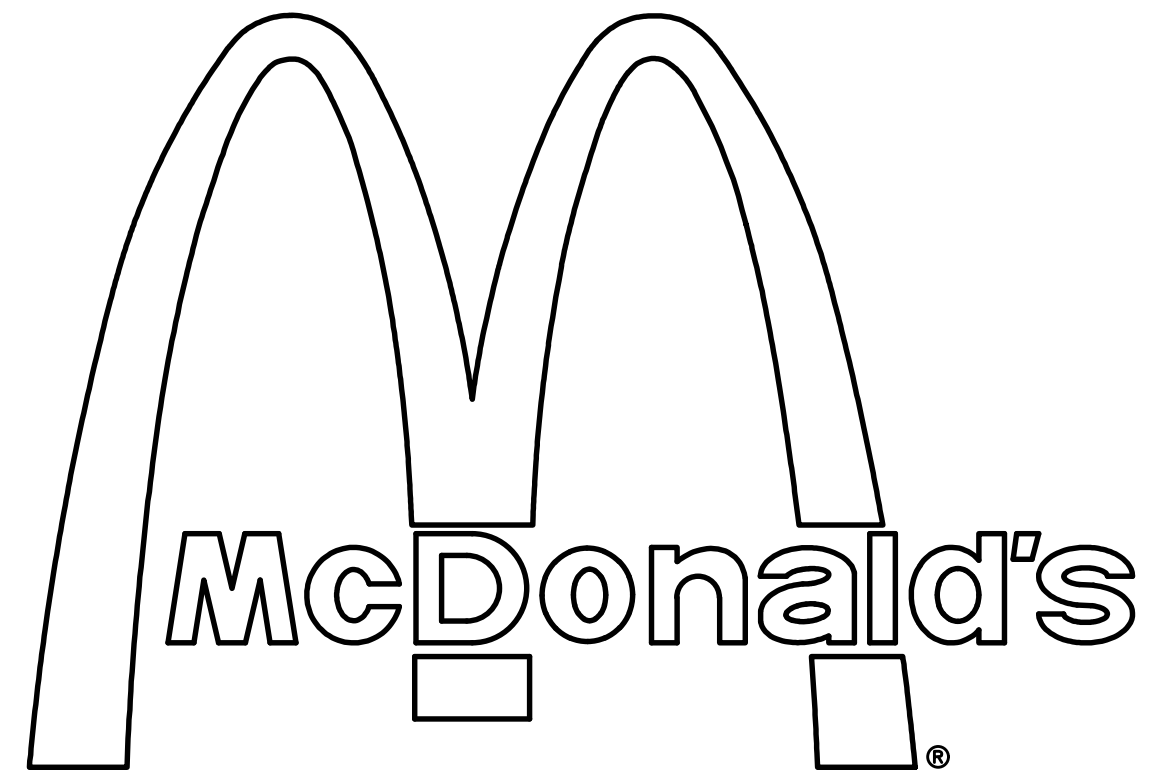
ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on www.santaquin.org, as well as posted on the State of Utah's Public Notice Website.

BY:

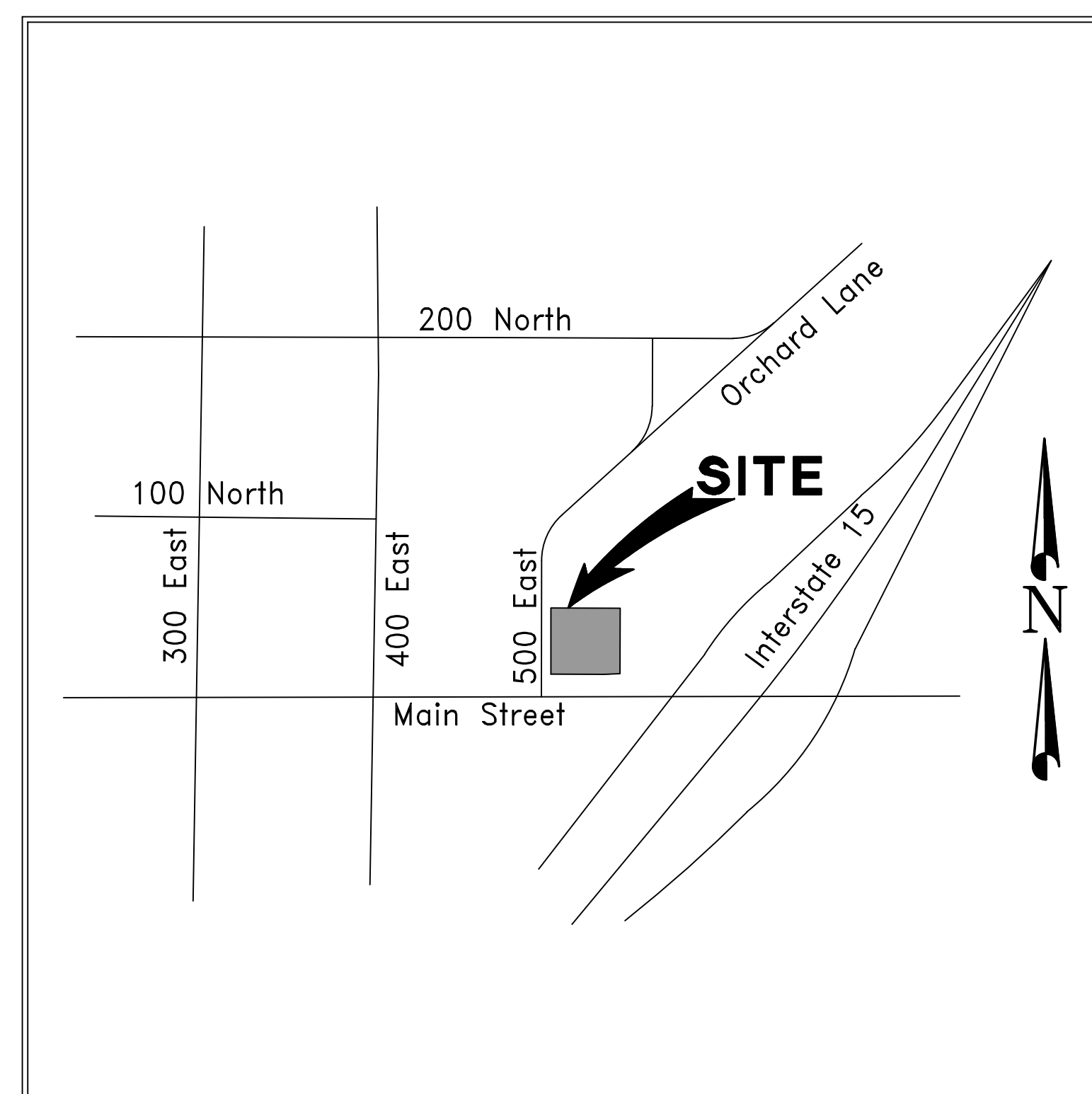
Amalie R Ottley, City Recorder



550 E. MAIN STREET
SANTAQUIN, UTAH

SITE 043-0320

SITE IMPROVEMENT PLANS (CIVIL PACKAGE)



Vicinity Map
Not to Scale

ISSUE DATE	DESCRIPTION	REVISION
4/15/2022	CITY SUBMITTAL #1	

INDEX OF SHEETS		
REVISION	SHEET NO.	SHEET
		COVER SHEET
	1 of 2	ALTA/ACSM LAND TITLE SURVEY
	2 of 2	ALTA/ACSM LAND TITLE SURVEY
	GN-1	GENERAL NOTES
	DM-1	SITE DEMOLITION PLAN
	SP-1	SITE IMPROVEMENT PLAN
	SP-1A	SITE DRIVE THRU LAYOUT
	SP-2	SITE UTILITY PLAN
	SP-3	SITE GRADING & DRAINAGE PLAN
	DT-1	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	DT-2	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	DT-3	DRIVE THRU DETAILS (DIGITAL PLATFORM)
	SD-1	SITE DETAILS (McDONALD'S)
	SD-2	SITE DETAILS (McDONALD'S)
	SD-3	TRASH ENCLOSURE/STORAGE BLDG. DETAILS
	SD-4	MISCELLANEOUS SITE DETAILS
	SD-5	MISCELLANEOUS SITE DETAILS
	SD-6	ADA STANDARD DETAILS
	SD-7	STORM DRAINAGE DETAILS
	LS-1	LANDSCAPE PLAN
	LS-2	IRRIGATION PLAN
	EC-1	EROSION CONTROL PLAN
	LTG-1	LIGHTING PLAN
	A2.0	BUILDING ELEVATIONS
	A2.1	BUILDING ELEVATIONS
		BUILDING COLOR ELEVATIONS

FOR
McDONALD'S CORPORATION

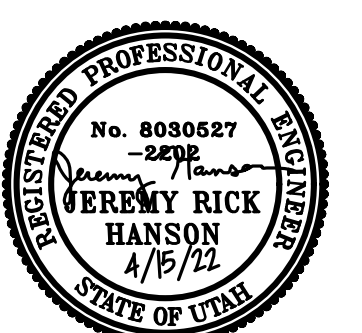
4643 South Ulster Street, Suite 1300
Denver, Colorado 80237
(303) 779-0444

PREPARED BY



Dominion
Engineering Associates, L.C.

5684 South Green Street
Murray, Utah 84123 801-713-3000



SURVEYOR'S CERTIFICATE:

To McDonald's USA, LLC, a Delaware limited liability company, McDonald's Real Estate Company, a Delaware corporation and McDonald's Corporation, a Delaware corporation, Cottonwood Title Insurance Agency, Inc. and Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b), 7(c), 8, 9, 10(a), 10(b), 11, 13, 14, 16, 17, 18, 19, 20, and 21 of Table A thereof. The original fieldwork was completed on October 9, 2020.

RECORD DESCRIPTION

PARCEL 1:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING.

PARCEL 2:

The non-exclusive easements, appurtenant to Parcel 1 above, for vehicular parking, vehicular and pedestrian ingress and egress, utilities and storm sewer lines, as created by and defined in that certain Ground Lease and Shopping Center Addendum attached thereto dated April 20, 2021, as said Ground Lease and Addendum are evidenced by a Memorandum of Lease recorded _____, 2021 as Entry No. _____ in Book _____ at Page _____, within those portions of the following described property intended for such purposes:

That parcel of land conveyed to CJM Limited Liability Limited Partnership, an Idaho limited partnership in Quit-Claim Deed recorded February 11, 2021 as Entry No. 26503:2021 in the office of the Utah County Recorder, described as follows:

A portion of a parcel of land for public right-of-way that is being vacated. Said parcel is situated in the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian. Said portion is described as follows:

Beginning at a point located on the North right-of-way of State Highway 6 (Santaquin Main Street), which point is South 00°30'42" East 2561.97 feet along the quarter section line and North 89°29'18" East 497.19 feet from the North quarter corner of said Section 1; thence North 00°10'03" East 115 feet; thence South 89°41'02" East 31 feet; thence South 00°10'03" East 115 feet to the North right-of-way of said State Highway 6; thence North 89°41'02" West 31 feet along said right-of-way to the point of beginning.

and

Lots 1, 2, 3, 4, 5 and 6, and PARCEL A, RIDLEY'S SUBDIVISION, according to the official plat thereof as recorded in the office of the Utah County Recorder on July 31, 2020 as Entry No. 111268:2020.

EXCEPT THEREFROM the following described land:

A parcel of land located in PARCEL A, RIDLEY'S SUBDIVISION, a part of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

Beginning at the Southwest corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the West line of the Northeast quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North quarter corner of said Section 1; thence along the East line of 500 East Street North 00°10'03" East 217.95 feet; thence South 89°47'57" East 228.03 feet; thence South 00°14'20" West 215.67 feet to the Southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 51.51 feet and 2) North 89°46'05" West 176.31 feet to the point of beginning.

FIELD DESCRIPTION (Subject Property)

A parcel of land being proposed Lot 7, Ridley's Subdivision, Plat B, said parcel located in Parcel A, Ridley's Subdivision, a part of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest Corner of Parcel A, Ridley's Subdivision, said corner being South 00°30'50" East 2,555.26 feet along the west line of the Northeast Quarter of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and South 89°46'05" East 559.13 feet from the North Quarter Corner of said Section 1, and thence along the east line of 500 East Street North 00°10'03" East 217.63 feet; thence South 89°49'57" East 246.18 feet; thence South 00°10'03" West 214.64 feet to the southerly line of said Parcel A; thence along said line the following two courses: 1) South 87°33'23" West 69.94 feet and 2) North 89°46'05" West 176.31 feet to the POINT OF BEGINNING. Said parcel contains 53,496 square feet or 1.228 acres, more or less.

Date: February 4, 2022

Mark N Gregory
P.L.S.No. 334576

NARRATIVE:

The purpose of this survey is retrace Parcel A, Ridley's Subdivision in order to perform an ALTA/NSPS Land Title Survey on a portion of said Parcel A. The North and South Quarter Corners of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian and said Ridley's Subdivision plat are used to control the location of said subdivision as shown hereon.

The vertical benchmark for this survey is the Utah County monument found marking the South Quarter Corner of said Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian, elevation 5078.38.

A commitment for title insurance prepared by Cottonwood Title Insurance Agency, Inc. (File No. 129278-WHF, dated March 26, 2021) was provided and relied upon for this survey.

Table A, Item 20 was specified to include statements if the title exceptions "affect" or "do not affect" the subject property as detailed in the McDonald's Survey Order Form and Minimum Requirements. These statements are shown in (parenthesis).

BASIS OF BEARING:

The basis of bearing for this survey is South 00°30'50" East between the North and South Quarter Corners of said Section 20 per the plat of Ridley's Subdivision.

SURVEYOR'S NOTES:

- This survey complies with the requirements set forth in the McDonald's Survey Order Form and Minimum Requirements.
- The subject property is located in a Zone Designation of X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 0975F, with a date of identification of July 17, 2002, for Community No. 49049C in Utah County, State of Utah, which is the current Flood Insurance Rate Map for the community in which the subject property is situated. No map has been printed for this area.
- A zoning report or letter was not provided. The subject property is located in a C1 General Commercial District. Per Title 10 of the Santaquin City Code. Per Chapter 10.20.120 the front maximum setback is 10 feet. the minimum side and rear yard set back is 0 or 10 if shared or 5 feet. The web site address for Santaquin City is https://www.santaquin.org/.
- There are no parking spaces located on the subject property.
- There is no observed evidence of current earth moving work, building construction or building additions.
- There are no proposed changes in right-of-way lines and no observed evidence of recent street or sidewalk construction.
- No field delineation of wetlands was provided and no markers were observed at the time of this survey.

SCHEDULE B – EXCEPTIONS:

Cottonwood Title Insurance Agency, Inc. File No. File No. 129278-WHF, dated March 26, 2021.

Exceptions No. 1–8: Will be eliminated and the (affect on the subject property can not be determined from the information provided)

Exception No. 9: Taxes (affect the subject property)

Exception No. 10: Intentionally deleted by the Title Company

Exception No. 11: The Land is located within the boundaries of Santaquin City, Central Utah Water Conservancy, Wasatch Mental Health Special Service District, South Utah Valley Animal Special Service District, Utah Valley Dispatch Special Service District, and is subject to any and all charges and assessments levied thereunder. Survey findings: The subject property is within the blanket areas indicated. (affects the subject property)

Exception No. 12: Certificate of Incorporation establishing the creation of the Santaquin Special Service District recorded May 17, 2007 as Entry No. 72904:2007. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 13: Certificate of Creation of the Utah Valley Dispatch Special Service District recorded October 22, 2008 as Entry No. 114949:2008. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 14: Certificate of Creation of the Santaquin Community Development and Renewal Agency recorded December 8, 2010 as Entry No. 106901:2010. Survey findings: The subject property is located within the boundary of the Agency cited and is subject to its terms. (affects the subject property)

Exception No. 15: Certificate of Creation of the Santaquin Special Service District for Road Maintenance recorded June 26, 2014 as Entry No. 43844:2014. Survey findings: The subject property is located within the boundary of the District cited and is subject to its terms. (affects the subject property)

Exception No. 16: Resolution No. 10–04–2019 recorded October 7, 2019 as Entry No. 101935:2019. Survey findings: The subject property is located within the boundary of the Development Area cited and is subject to its terms. (affects the subject property)

Exception No. 17: Minerals of whatsoever kind, subsurface and surface substances that may be produced from the Land. Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

Exception No. 18: Claim, right, title or interest to water or water rights whether or not shown by the public records. Survey findings: (the affect on the subject property can not be determined from the information provided)

Exceptions No. 19 – 27: Intentionally deleted by Title Company

Exception No. 28: Rights of tenant(s) in the Land... Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 29: Any lien, or right to a lien... Survey findings: (the affect on the subject property can not be determined from the information provided)

Exception No. 30: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020. Survey findings: The Easements shown on the subdivision plat that are on the subject property are shown. (affect the subject property)

Exception No. 31: Subject to the following matters disclosed on that certain survey prepared by Dominion Engineering Associates, L.C., having been certified under the date of December 17, 2020, as Project No. 3308–03, by Mark N. Gregory, a Professional Land Surveyor holding License No. 334576: a. Evidence of excavation; b. 4" concrete wall; c. 14" concrete pipe; d. 12" concrete pipe; e. 4" concrete head walls & f. concrete ditch. Survey findings: The conditions described are shown on the subject property. (affect the subject property)

Exception No. 32: Taxes for Parcel No. 32–003–0104. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 33: Taxes for Parcel No. 51–649–0001 under previous Parcel No. 32–003–0085. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 34: Taxes for Parcel No. 51–649–0002 under previous Parcel No. 32–003–0121 Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 35: Taxes for Parcel No. 51–649–0003 under previous Parcel No. 32–003–008 Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 36: Taxes for Parcel No. 51–649–0004 under previous Parcel No. 32–003–0085. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 37: Taxes for Parcel No. 51–649–0005 under previous Parcel No. 32–003–0086. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 38: Taxes for Parcel No. 51–649–0006 under previous Parcel No. 32–003–0092. Survey findings: The parcel indicated is not a part of the subject property. (does not affect)

Exception No. 39: Survey findings: The parcel indicated is a part of the subject property. (affects the subject property)

Exception No. 40: Same as Exception 11 (affects the subject property)

Exception No. 41: Same as Exception 12 (affects the subject property)

Exception No. 42: Same as Exception 13 (affects the subject property)

Exception No. 43: Same as Exception 14 (affects the subject property)

Exception No. 44: Same as Exception 15 (affects the subject property)

Exception No. 45: Same as Exception 16 (affects the subject property)

Exception No. 46: Same as Exception 17 (the affect on the subject property can not be determined from the information provided)

Exception No. 47: Same as Exception 18 (the affect on the subject property can not be determined from the information provided)

Exception No. 48: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company recorded January 8, 1929, as Entry No. 191, in Book 269, at Page 466. Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 49: Right of Way Easement in favor of the Mountain States Telephone and Telegraph Company, recorded January 8, 1929, as Entry No. 192, in Book 269, at Page 466. Survey findings: The area indicated does not include the subject property. (does not affect)

Exception No. 50: Rights of access to I–15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded September 21, 1964 as Entry No. 14234 in Book 985 at Page 538 of official records. Survey findings: The subject property is not adjacent to I–15. (does not affect)

Exception No. 51: Easement in favor of Summit Creek Irrigation Company recorded September 21, 1964, as Entry No. 14235, in Book 985, at Page 54. Survey findings: The area described is not on the subject property. (does not affect)

Exception No. 52: Rights of access to I–15 have been relinquished to the State Road Commission of Utah by Warranty Deed recorded February 5, 1965 as Entry No. 1818 in Book 999 at Page 618 of official records. Survey findings: The area described does not include the subject property. (does not affect)

Exception No. 53: Any right, title or interest of the East Santaquin Irrigation Company as disclosed by that certain Warranty Deed recorded October 18, 1966 as Entry No. 11979 in Book 10662 at Page 446. Survey findings: The location described is not on the subject property. (does not affect)

Exception No. 54: Easements for irrigation and incidental purposes as disclosed by that certain Final Order of Condemnation, dated October 13, 1967 and recorded October 25, 1967 as Entry No. 11640 in Book 1094 at Page 280. Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 55: An easement for irrigation and incidental purposes recorded October 13, 1981 as Entry No. 29732 in Book 1942 at Page 722. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 56: An easement for irrigation and incidental purposes recorded September 15, 1981 as Entry No. 27112 in Book 1937 at Page 623. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 57: Easement for an irrigation ditch recorded September 15, 1981, as Entry No. 27113, in Book 1937, at Page 624. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 58: Right of Way Easement recorded January 19, 1982, as Entry No. 1364, in Book 1960, at Page 140. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 59: An easement for ingress, egress, and pipeline purposes recorded November 19, 1986 as Entry No. 39643 in Book 2358 at Page 557. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 60: Rights of access to I–15, US–91 and Highway 6 have been relinquished to the Utah Department of Transportation by Quit Claim Deed recorded November 4, 1991 as Entry No. 43533 in Book 2851 at Page 76. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 61: Easement in favor of PacifiCorp, dba Utah Power & Light Company recorded January 7, 1998, as Entry No. 1462, in Book 4486, at Page 684. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 62: An easement for irrigation and incidental purposes recorded April 7, 2011 as Entry No. 27219:2011. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 63: Easement and Road Maintenance Agreement recorded December 30, 2015 as Entry No. 116714:2015. Survey findings: Describes the road along the west side of the subject property. (does not affect)

Exception No. 64: Same as Exception 16 (affects the subject property)

Exception No. 65: Any rights, interest or easements in favor of the public, or others entitled thereto, to use for street, public utilities, and incidental purposes, that portion of the Land lying within the bounds of former Orchard Lane or 100 North Street. Survey findings: (affect on the subject property can not be determined from the information provided)

Exception No. 66: Terms, conditions, easements, restrictions... recorded February 27, 2020 as Entry No. 25172:2020. Survey findings: The described location is not on the subject property. (does not affect)

Exception No. 67: A Ground Lease recorded April 3, 2020 as Entry No. 43653:2020; a Leasehold Construction Deed of Trust recorded April 3, 2020 as Entry Number 43654:2020 & a Request for Copy of Notice of Default and Notice of Sale recorded April 3, 2020 as Entry No. 43658:2020. Survey findings: All three documents reference "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 68: A Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46152:202. Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 69: Right-of-Way and Easement Grant, in favor of Questar Gas Company dba Dominion Energy Utah recorded April 9, 2020, as Entry No. 46155:2020. Survey findings: The location described and shown is not on the subject property. (does not affect)

Exception No. 70: Survey findings: Easements, notes and restrictions as shown on the plat of Ridley's Subdivision, recorded July 31, 2020 as Entry No. 111268:2020. Survey findings: Same as Exception 30 and are shown. (affect the subject property)

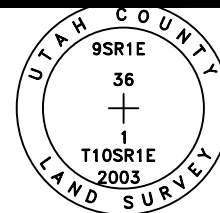
Exception No. 71: The UCC Financing Statement recorded August 10, 2020 as Entry No. 116576:2020. Survey findings: The document references "future Lot 1, of the forthcoming Ridley's Subdivision" which is northwest across the road from the subject property. (does not affect)

Exception No. 72: The Resolution 08–05–1010 Approving a Re-Conveyance of Property to CJM Property recorded September 23, 2020 as Entry No. 145899:2020. Survey findings: The document references the area of the public road westerly of the subject property. (does not affect)

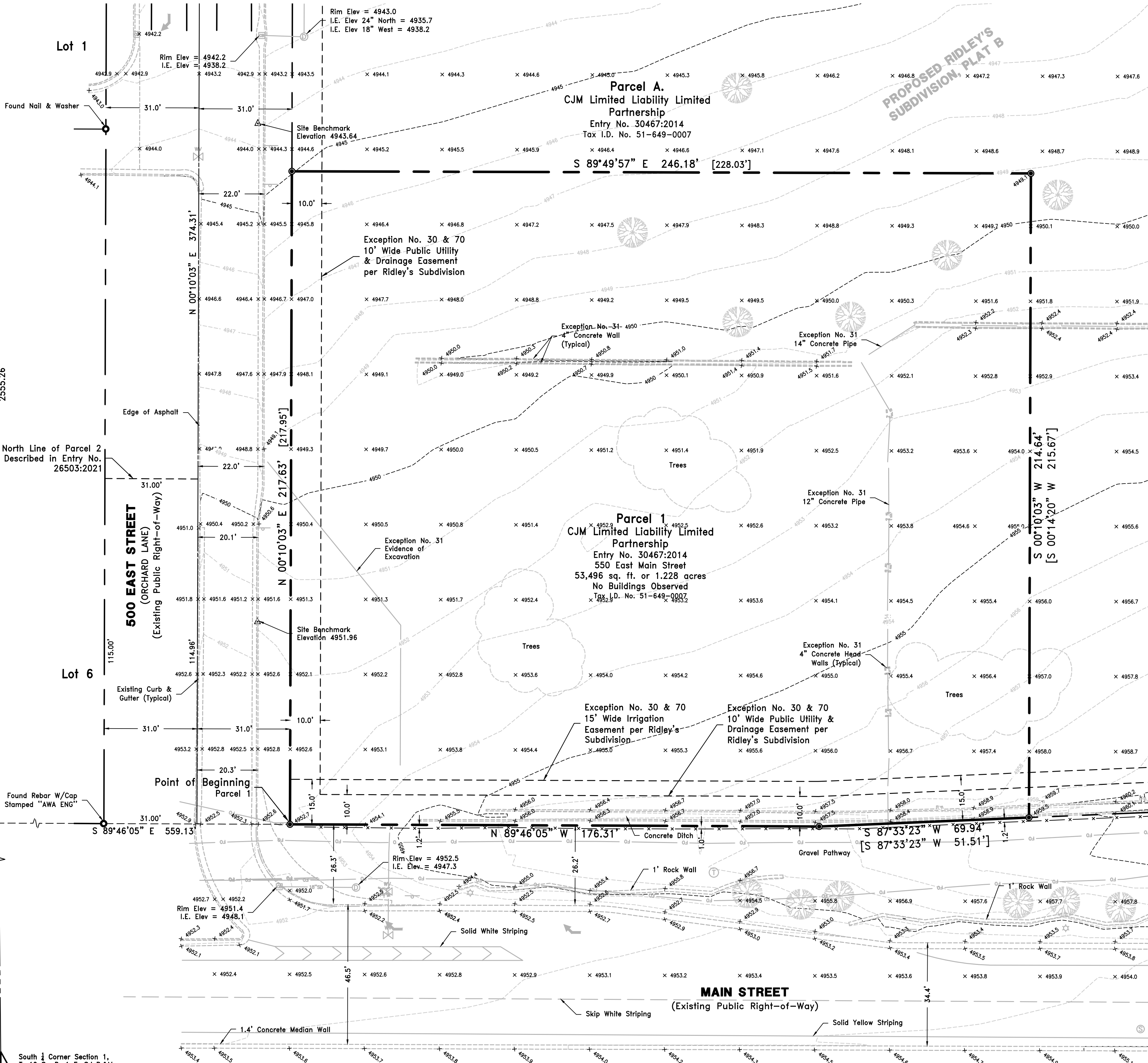
Exception No. 73: Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws. Survey findings: The issues cited in this exception are not matters of survey. (the affect on the subject property can not be determined from the information provided)

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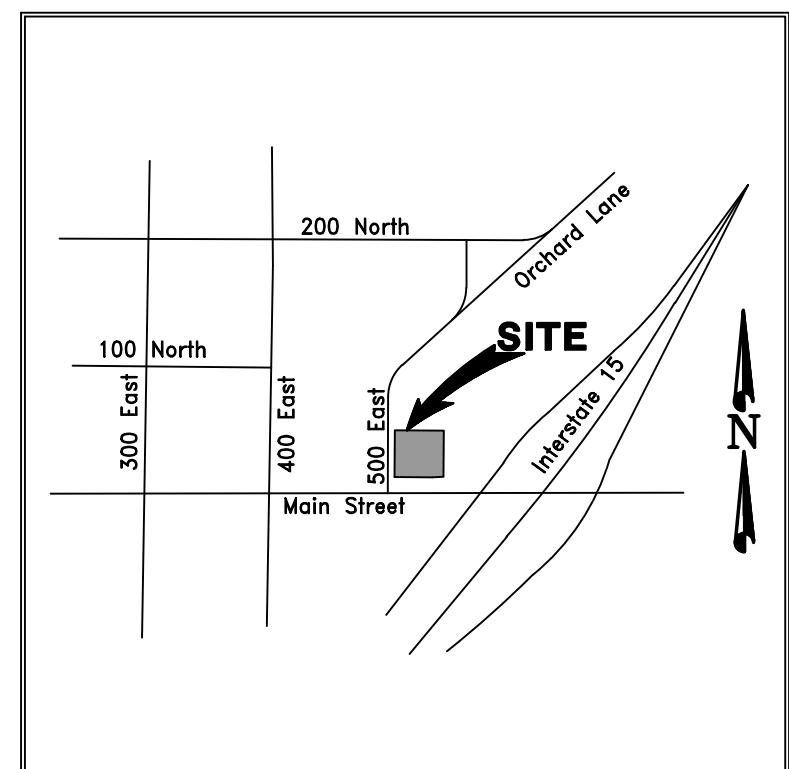
<div><div><div><div>DRAWN</div><div>MNG 11/20</div></div><div><div>CHECKED</div><div>DOM 11/20</div></div></div><div><div>DESIGNED</div><div>DATE</div></div><div><div>PROJECT ENGINEER</div><div></div></div></div> <tr><td><div><div>APPROVED</div><div>DATE</div></div><div><div>DLP</div><div>PROJECT MANAGER</div></div></td></tr>	<div><div>APPROVED</div><div>DATE</div></div> <div><div>DLP</div><div>PROJECT MANAGER</div></div>
<div><div>APPROVED</div><div>DATE</div></div> <div><div>DLP</div><div>PROJECT MANAGER</div></div>	



North 1/4 Corner Section 1,
T. 10 S., R. 1 E. S.L.B.&M. Found
Utah County Brass Monument



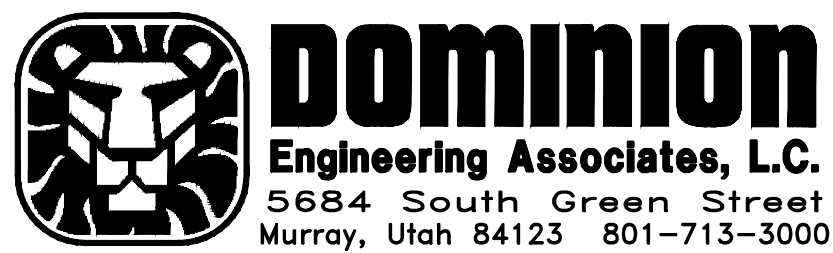
LEGEND	
	Section Corner Monument (As Noted)
	Property Boundary Line
	Right-of-Way Line
	Section Line
	Centerline
	Easement Line
	Set Rebar W/ Cap Stamped "DOMINION ENGINEERING" (Unless Otherwise Noted)
	Found Property Monument (As Noted)
	Edge of Existing Improvements (As Noted)
	Existing Wire Fence
	Existing Storm Drain Line
	Existing Water Line
	Existing Fiber Optic Line
	Existing Elevation Contour Line
	Existing Electric Box, Meter, Light Pole
	Existing Water Valve, Man Hole Fire Hydrant
	Existing Catch Basin
	Existing Irrigation Valve
	Existing Fiber Optic Box
	Existing Deciduous Tree



UTILITY COMPANIES		
Telephone	CenturyLink	1-800-603-6000
Power	Rocky Mountain Power	1-888-221-7070
Natural gas	Dominion Energy	1-800-323-5517
Sewer	Santaquin City	801-754-3211
Water	Santaquin City	801-754-3211

DRAWN	MNG 11/20	CHECKED	DOM 11/20
DESIGNED		PROJECT ENGINEER	
APPROVED		DLP	
		PROJECT MANAGER	

MCDONALD'S USA, LLC
SANTAQUIN CITY, UTAH COUNTY, UTAH



IN THE NE 1/4 SECTION 1, T10S, R1E, SLB&M
ALTA/NSPS LAND TITLE SURVEY LC 43-0320

PROJECT NO.		3308-03
SHEET NO.		2 of 2
NO.		2
REVISIONS		Update boundary & benchmark
BY		BJE
DATE		7.19.21
FILE NAME:		SCALE: 1"=20'

GENERAL NOTES

GENERAL NOTES:

1.

ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: THE CITY OF SANTAQUIN DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE STATED. ALL AMENDMENTS THERETO TO DATE, AND THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION IN ITS LATEST EDITION, THE M.U.T.C.D. MANUAL FOR STRIPING, UDOT FOR SIGNING AND TRAFFIC CONTROL, AND THE MANUAL FOR EROSION CONTROL, WHERE APPLICABLE.
2.

PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN FOR A PRE-CONSTRUCTION MEETING.
3.

IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE.
4.

WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5.

THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORSEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHTS-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION.
7.

THE CONTRACTOR SHALL AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS. CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.
8.

CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

9.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
10.

THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
11.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
12.

THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY REMOVAL OF SURVEY STAKING.
13.

THE CONTRACTOR AGREES THAT:

A.

THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.

B.

THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.

C.

THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.

D.

THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

E.

THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSECTIONS AT THEIR OWN EXPENSE.

F.

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.

G.

CONTRACTOR IS RESPONSIBLE FOR MATERIAL TESTING, TESTING RESULTS MUST BE SUBMITTED TO THE CITY OF SANTAQUIN.

14.

THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
15.

DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
16.

FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.
17.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
18.

IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
19.

WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
20.

THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

21.

WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.
22.

ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE ON ALL PARTS AND WORKMANSHIP.

CLEARING AND GRADING NOTES:

1.

CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH THE CITY OF SANTAQUIN STANDARD SPECIFICATIONS.
2.

THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPO SURVEY PERFORMED BY DOMINION ENGINEERING.
3.

CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PREVENT EROSION ONTO ADJACENT PROPERTY AND IN DRAINAGE FACILITIES. CONTRACTOR RESPONSIBLE TO CONTROL DUST AND MUD ON SURROUNDING STREETS.

DEWATERING NOTES:

1.

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

UNDERGROUND UTILITIES:

1.

THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION , IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OR WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.
2.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGE UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
3.

THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARDS AND REQUIREMENTS.
4.

PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; i.e. SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
5.

IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.
6.

THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:

TRENCHES WITH SLOPES < 10% = DAMS AT 500' INTERVALS

TRENCHES WITH SLOPES ≥ 10% = DAMS AT 100' INTERVALS
7.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF THE CITY OF SANTAQUIN FOR H-20 LOAD REQUIREMENTS.
8.

ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

GENERAL EROSION CONTROL NOTES

1.

PRE CONSTRUCTION MEETING IS REQUIRED WITH THE CITY PRIOR TO DISTURBANCE.
2.

IN THE EVENT A CHANGE OCCURS ON THIS APPROVED SITE PLAN WHICH INVOLVES ENLARGING THE AREA OF DISTURBANCE, THE CONTRACTOR SHALL CONTACT THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR PRIOR TO THE DISTURBANCE.
3.

THE CONTRACTOR WILL FILL OUT "EROSION AND SEDIMENT CONTROL PLAN" INSPECTION AND MAINTENANCE FORM EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT AND/OR A HEAVY SNOW MELT. PROVIDE COPIES OF MAINTENANCE FORM TO THE CITY OF SANTAQUIN EROSION CONTROL INSPECTOR AND OWNER AT WEEKLY CONSTRUCTION MEETINGS.
4.

THE CONTRACTOR WILL COMPLY WITH THE INSTALLATION AND MAINTENANCE OF THE "BEST MANAGEMENT PRACTICE" (BMP) USED ON THE EROSION AND SEDIMENT CONTROL PLANS UNTIL THE REVEGETATION BOND HAS BEEN 100% RELEASED.
5.

THE CONTRACTOR SHALL OBTAIN THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY AND PROVIDE EVIDENCE TO THE CITY AT THE PRE CONSTRUCTION MEETING.
6.

THE CONTRACTOR WILL MAINTAIN STREETS TO BE FREE FROM SOIL AND DEBRIS 24 HOURS PER DAY, SEVEN DAYS A WEEK.
7.

THE CONTRACTOR WILL MAINTAIN THE EROSION CONTROL DEVICES UNTIL THE GROUND COVER HAS BEEN ESTABLISHED.
8.

DUST CONTROL MEASURES WILL BE ON SITE AND IN WORKING ORDER WHEN SOIL IS DISTURBED. DUST CONTROL WILL BE USED 24 HOURS, SEVEN DAYS PER WEEK AS CONDITIONS DICTATE. THE CONTRACTOR WILL INCREASE EQUIPMENT AS NEEDED TO CONTROL DUST.
9.

THE CONTRACTOR WILL PREVENT SEDIMENTS FROM ENTERING UTILITIES BY INSTALLING FILTER FABRIC AROUND STRUCTURES.
10.

VEGETATION WILL BE DISPOSED OF IN ONE OR MORE OF THE FOLLOWING WAYS:

HAULING TO APPROVED LAND FILL

SHREDDING

CHIPPING

BURNING WITH APPROVED PERMIT

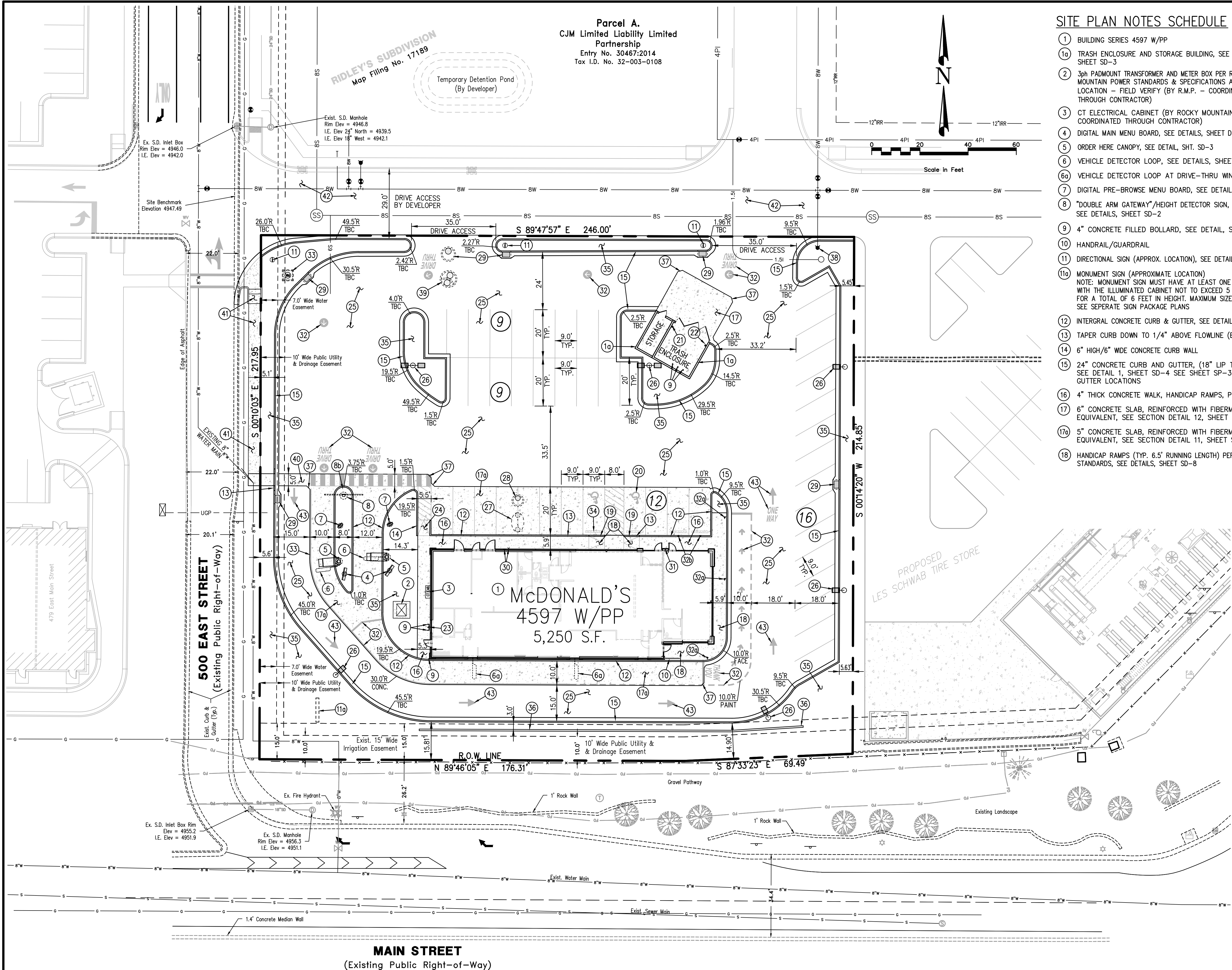
BRUSH MAY BE STOCKPILED AT TOES OF FILLS FOR TEMPORARY EROSION CONTROL.
11.

REMOVE NATIVE TREES WITHIN AREAS OF DISTURBANCE ONLY.
12.

ALL EXCAVATED MATERIAL MUST BE KEPT WITHIN THE "LIMITS OF MASS GRADING DISTURBANCE".
13.

PLACE GEOTEXTILE STYLE SILT FENCES PRIOR TO ANY EXCAVATIONS INDICATED BY THE EROSION CONTROL DRAWINGS. THE EROSION/SEDIMENTATION CONTROL (E.S.C.) MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED.

SHEET NO.	TITLE McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH DESCRIPTION GENERAL NOTES	DRAWN BY	STD	ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ID 043-0320	SITE ADDRESS 550 E. MAIN STREET, SANTAQUIN, UTAH	OFFICE ADDRESS DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237	PREPARED FOR McDONALD'S CORPORATION KNOX DRIVE - SAN BROOK, ILLINOIS 60081 <small>THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MC DONALD'S CORPORATION. THE CONTRACT DOCUMENTS WERE PREPARED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED AND ARE NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE CONTRACT DOCUMENTS ARE THE PROPERTY OF MC DONALD'S CORPORATION AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE.</small>	PREPARED BY	REGISTERED PROFESSIONAL ENGINEER No. 8030527 JEREMY RICK HANSON 4/16/12 STATE OF UTAH	REV	DATE	DESCRIPTION	BY Item 1.



UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE IMPROVEMENT PLAN

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED. ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

SITE PLAN NOTES SCHEDULE

- BUILDING SERIES 4597 W/PP
- TRASH ENCLOSURE AND STORAGE BUILDING, SEE DETAILS SHEET SD-3
- 3ph PADMOUNT TRANSFORMER AND METER BOX PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS APPROXIMATE LOCATION - FIELD VERIFY (BY R.M.P. - COORDINATED THROUGH CONTRACTOR)
- CT ELECTRICAL CABINET (BY ROCKY MOUNTAIN POWER COORDINATED THROUGH CONTRACTOR)
- DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- ORDER HERE CANOPY, SEE DETAIL, SHT. SD-3
- VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- "DOUBLE ARM GATEWAY"/HEIGHT DETECTOR SIGN, (REVERSE ARM) SEE DETAILS, SHEET SD-2
- 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- HANDRAIL/GUARDRAIL
- DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- MONUMENT SIGN (APPROXIMATE LOCATION)
NOTE: MONUMENT SIGN MUST HAVE AT LEAST ONE FOOT PEDESTAL WITH THE ILLUMINATED CABINET NOT TO EXCEED 5 FEET IN HEIGHT. FOR A TOTAL OF 6 FEET IN HEIGHT. MAXIMUM SIZE IS 80 SQ. FT. SEE SEPERATE SIGN PACKAGE PLANS
- INTERGRAL CONCRETE CURB & GUTTER, SEE DETAIL 2, SHT. SD-4
- TAPER CURB DOWN TO 1/4" ABOVE FLOWLINE (BOTH SIDES)
- 6" HIGH/6" WIDE CONCRETE CURB WALL
- 24" CONCRETE CURB AND GUTTER, (18" LIP TO FLOWLINE) SEE DETAIL 1, SHEET SD-4 SEE SHEET SP-3 FOR SPILL GUTTER LOCATIONS
- 4" THICK CONCRETE WALK, HANDICAP RAMPS, PATIO AREA, ETC.
- 6" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 12, SHEET SD-4
- 5" CONCRETE SLAB, REINFORCED WITH FIBERMESH OR EQUIVALENT, SEE SECTION DETAIL 11, SHEET SD-4
- HANDICAP RAMPS (TYP. 6.5' RUNNING LENGTH) PER ADA STANDARDS, SEE DETAILS, SHEET SD-8
- HANDICAP PARKING SIGNS (2 TOTAL-1 VAN PER ADA STNDS.) SEE SHEET SD-7
- HANDICAP SYMBOL (TYP. OF 2) PAINTED PER ADA STNDS.
- FREEZELESS YARD HYDRANT WITH THREADED WATER CONNECTION
- 1" PVC CONDUIT FOR POWER TO STORAGE BUILDING
- EXTERNAL GAS METER AND PRESSURE REGULATOR
- CONCRETE DELIVERY RAMP AND HANDICAP RAMP
- ASPHALT PAVING (TYP.) SEE SECTION DETAIL, SHEET SD-4
- OUTDOOR LOT LIGHT (APPROX. LOCATION), SEE SHEET LTG-1
- 1,500 GAL. GREASE INTERCEPTOR (SEWER), SEE CONFIGURATION DETAILS, SHT. SD-5
- SAMPLING MANHOLE (SEWER), SEE DETAIL SHEET SD-5
- STORM DRAIN CURB INLET BOX, STORM DRAIN MANHOLE
- WALL TYPE INDICATOR VALVE (WIV) AND FIRE DEPARTMENT CONNECTION (FDC), SEE SHT. SP-2
- "KNOX BOX" PER FIRE DEPARTMENT STANDARDS. & SPECS.
- SEE SHEET SP-1A FOR ALL PAINT MARKINGS (TYP.) AND DRIVE-THRU SIGNAGE LOCATION DETAILS
- ROLL FORWARD SIGNAGE, SEE SHEET SP-1A
- MOBILE ORDER SIGN, SEE SHEET SP-1A
- WATER METER BOX
- CONCRETE WHEEL STOP (TYP. OF 2)
- LANDSCAPE AREA, SEE SHT. LS-1
- 8" WIDE CONCRETE RETAINING WALL, SEE DETAIL, SHT. SD-4
- 2" CONCRETE CHAMFER (TYPICAL)
- PROPOSED FIRE HYDRANT BY DEVELOPER
- 72" DIA. CONCRETE MANHOLE FOR STORMTECH SYSTEM
- 5 FT. WIDE CONCRETE SIDEWALK BY McDONALD'S TO NEW SIDEWALK (BY DEVELOPER) FOR PUBLIC ACCESS
- 5 FT. WIDE CONCRETE SIDEWALK AND H.C. RAMP AS SHOWN ALONG 500 EAST STREET (BY DEVELOPER)
- 29' WIDE ASPHALT ACCESS DRIVE BY DEVELOPER
- PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS AROUND SITE

PROJECT DATA CHART

SANTAQUIN CITY ZONING	COMMERCIAL
TOTAL GROSS ACREAGE	1.23 ACRES (53,491 S.F.)
TOTAL GROSS RESTAURANT AND STORAGE BUILDING TOTAL GROSS AREA	5,406 S.F. (10.11%)
TOTAL GROSS HARDSCAPE AREA	37,214 S.F. (69.57%)
TOTAL PROP. LANDSCAPE	10,872 S.F. (20.32%)
PARKING REQUIREMENTS: 1 STALL PER 125 SQ. FT. OF TOTAL BUILDING SQUARE FOOTAGE 5,250 ÷ 125 = 42 STALLS REQUIRED	
PROVIDED PARKING STALLS	46

GENERAL NOTES:

- ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE) SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
- ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
- ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
- FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
- ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
- ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
- CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN 1-800-214-8765
9292 1st STREET, BOX 588 NEW ROCHELLE, NY 10802

ITEM 1.		REV	DATE	DESCRIPTION
No. 8030527		REGISTERED PROFESSIONAL ENGINEER		
JEREMY RICK		HANSON		
4/16/22		STATE OF UTAH		
DOMINION Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000				
PREPARED BY: DOMINION CORPORATION				
DRAWN BY: MCDONALD'S SITE IMPROVEMENT PLANS				
STD. ISSUE DATE: -				
REVIEWED BY: -				
DATE REVIEWED: -				
DATE ISSUED: -				
SITE ID: 043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH				
DESCRIPTION: SITE IMPROVEMENT PLAN				
SHEET NO. SP-1				






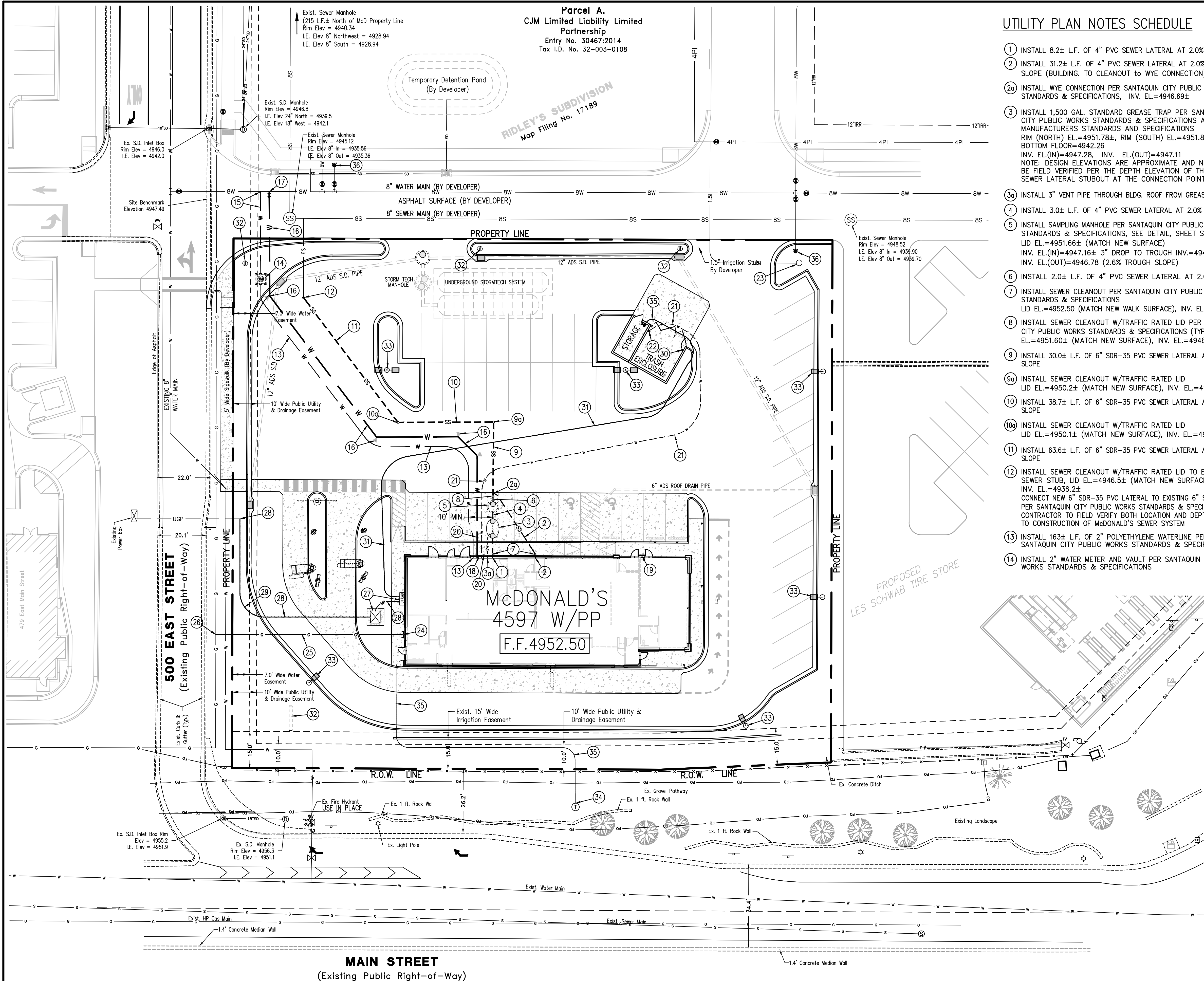
- 1 DIGITAL MAIN MENU BOARD, SEE DETAILS, SHEET DT-2
- 2 ORDER HERE CANOPY, SEE DETAIL, SHT. SD-2
- 3 VEHICLE DETECTOR LOOP, SEE DETAILS, SHEET DT-1
- 3a VEHICLE DETECTOR LOOP AT DRIVE-THRU WINDOWS
- 4 DIGITAL PRE-BROWSE MENU BOARD, SEE DETAILS, SHEET DT-2
- 5 "DOUBLE ARM GATEWAY" /HEIGHT DETECTOR SIGN WITH
"ANY LANE/ANY TIME" SIGN ATTACHED, SEE DETAILS, SHT. SD-1
- 6 4" CONCRETE FILLED BOLLARD, SEE DETAIL, SHEET SD-1
- 7 DIRECTIONAL SIGN (APPROX. LOCATION), SEE DETAILS, SHT. SD-2
- 8 MONUMENT SIGN (APPROXIMATE LOCATION)
- 9 ROLL FORWARD TURN LEFT SIGN - SEE DETAIL 3A THIS SHEET
- 10 ROLL FORWARD PULL AHEAD SIGN - SEE DETAIL 1A THIS SHEET
- 11 ROLL FORWARD PICK UP SIGN - SEE DETAIL 2A THIS SHEET
- 12 MOBILE ORDER SIGN 1 - SEE DETAIL 1B THIS SHEET
- 13 MOBILE ORDER SIGN 2 - SEE DETAIL 1B THIS SHEET
- 14 ROLL FORWARD DIRECTIONAL ARROW PAVEMENT MARKING (TYP.)
SEE DETAIL THIS SHEET
- 15 ROLL FORWARD 6-INCH YELLOW DASHED STRIPING PER
McDONALD'S STANDARDS
- 16 ROLL FORWARD 8-INCH YELLOW STRIPE PER McDonALD'S
STANDARDS
- 17 6-INCH YELLOW STRIPING (MERGE POINT) PER McDonALD'S
STANDARDS
- 18 6-INCH YELLOW STRIPING (TYP.) PER McDonALD'S STANDARDS
- 19 PAINT GRAPHICS MARKINGS PAINTED PMS123 YELLOW AROUND SITE (TYP.)
PER McDonALD'S STANDARDS
- 20 8-INCH YELLOW STRIPING (TYP.) PER McDonALD'S STANDARDS
- 21 PAINT GRAPHICS WHITE DIRECTIONAL PAINT MARKINGS
AROUND SITE

[illegible]

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEYS, TESTS AND/OR EXISTING LOTS, DRAWINGS AND VERBAL EXPLANATION. THIS SURVEY DOES NOT MAKE NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DOING CONTACT EACH UTILITY ENTITY, SO, THAT, THEY MAY, MARK THEIR LOCATIONS ON THE GROUND.

SHEET NO.	TITLE		DRAWN BY	PREPARED FOR:	 McDonald's Corporation 1900 S. GULF BLVD., LINCOLN, NE 68511 © 1996, McDonald's Corporation	 Dominion Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000		REV	DATE	DESCRIPTION
	McDonald's SITE IMPROVEMENT PLANS SANTAQUIN, UTAH									
	DESCRIPTION									
	SITE DRIVE—THRU LAYOUT PLAN									
	SITE ID									
SP-1A	SITE ADDRESS 0435-0320 150 E. MAIN STREET, SANTAQUIN, UTAH	DATE ISSUED —	OFFICE ADDRESS DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237							



UTILITY CONTACTS		
WATER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
STORM	SANTAQUIN CITY - JON LUNDELL	801-754-1974
SEWER	SANTAQUIN CITY - JON LUNDELL	801-754-1974
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	DOMINION ENERGY - DAVE CHRISTENSEN	801-853-6586
TELEPHONE	CENTURYLINK	801-974-8130
HEALTH DEPT.	UTAH COUNTY HEALTH DEPARTMENT	801-851-7332

SITE UTILITY PLAN

UTILITY PLAN NOTES SCHEDULE

- 1 INSTALL 8.2± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 2 INSTALL 31.2± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE (BUILDING TO CLEANOUT TO WYE CONNECTION)
- 2a INSTALL WYE CONNECTION PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, INV. EL.=4946.69±
- 3 INSTALL 1,500 GAL. STANDARD GREASE TRAP PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS AND MANUFACTURERS STANDARDS AND SPECIFICATIONS RIM (NORTH) EL.=4951.78±, RIM (SOUTH) EL.=4951.89± BOTTOM FLOOR=4942.26 INV. EL.(N)=4947.28, INV. EL.(OUT)=4947.11 NOTE: DESIGN ELEVATIONS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED PER THE DEPTH ELEVATION OF THE EXIST. SEWER LATERAL STUBOUT AT THE CONNECTION POINT
- 3a INSTALL 3" VENT PIPE THROUGH BLDG. ROOF FROM GREASE TRAP
- 4 INSTALL 3.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 5 INSTALL SAMPLING MANHOLE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS, SEE DETAIL, SHEET SD-6 LID EL.=4951.66± (MATCH NEW SURFACE) INV. EL.(IN)=4947.16± 3" DROP TO TROUGH INV.=4946.91 INV. EL.(OUT)=4946.78 (2.6% TROUGH SLOPE)
- 6 INSTALL 2.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE
- 7 INSTALL SEWER CLEANOUT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS LID EL.=4952.50 (MATCH NEW WALK SURFACE), INV. EL.=4947.19±
- 8 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS (TYPICAL) LID EL.=4951.60± (MATCH NEW SURFACE), INV. EL.=4946.69±
- 9 INSTALL 30.0± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT MIN. 3.3% SLOPE
- 9a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.2± (MATCH NEW SURFACE), INV. EL.=4944.57±
- 10 INSTALL 38.7± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 1.6% SLOPE
- 10a INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID LID EL.=4950.1± (MATCH NEW SURFACE), INV. EL.=4944.93±
- 11 INSTALL 63.6± L.F. OF 6" SDR-35 PVC SEWER LATERAL AT 13.73% SLOPE
- 12 INSTALL SEWER CLEANOUT W/TRAFFIC RATED LID TO EXIST. 6" SEWER STUB, LID EL.=4946.5± (MATCH NEW SURFACE) INV. EL.=4936.2± CONNECT NEW 6" SDR-35 PVC LATERAL TO EXISTING 6" SEWER STUB PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS CONTRACTOR TO FIELD VERIFY BOTH LOCATION AND DEPTH PRIOR TO CONSTRUCTION OF McDONALD'S SEWER SYSTEM
- 13 INSTALL 163± L.F. OF 2" POLYETHYLENE WATERLINE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 14 INSTALL 2" WATER METER AND VAULT PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS

- 15 INSTALL 34.0± L.F. OF 2" POLYETHYLENE WATERLINE AND MAKE TAP CONNECTION TO EXISTING 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 16 INSTALL 200± L.F. OF 6" PVC C900 WATER LINE W/TRACER WIRE, INSTALL 45° BENDS AND THRUST BLOCKING AS SHOWN (FIRE PROTECTION) AT MIN. 4 FT. COVER TO TOP OF PIPE PER SANTAQUIN CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS
- 17 INSTALL 8"x 6"x 8" TAPPING TEE WITH 6" GATE VALVE AND CONNECT NEW 6" PVC C900 WATER LINE (FIRE) TO EXIST. 8" WATER MAIN PER SANTAQUIN CITY PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS ALL JOINTS TO HAVE ADEQUATE THRUST BLOCKING
- 18 INSTALL WALL TYPE INDICATOR VALVE (WV) PER FIRE DEPT. REQUIREMENTS
- 19 INSTALL KNOX BOX PER FIRE DEPARTMENT REQUIREMENTS
- 20 INSTALL FIRE DEPT. CONNECTION (FDC) PER FIRE DEPT. REQUIREMENTS
- 21 INSTALL 153± L.F. OF 3/4" POLYETHYLENE WATER LINE AT MIN. 4" COVER FROM THE MAIN BUILDING TO HOSE BIBB IN TRASH ENCLOSURE
- 22 INSTALL FREEZE-PROOF HOSE BIBB WITH BACKFLOW PREVENTOR
- 23 1-1/2" PVC IRRIGATION PIPE CONNECTION (APPROXIMATE LOCATION)
- 24 INSTALL EXTERNAL GAS METER - APPROXIMATE LOCATION
- 25 INSTALL 77± L.F. OF GAS LINE - APPROXIMATE LOCATION, CONTRACTOR TO COORDINATE SIZE AND LOCATION WITH GAS COMPANY
- 26 GAS LINE CONNECTION POINT TO EXIST. GAS LINE (APPROX. LOCATION) CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING GAS LINE BEFORE NEW LINE TO BUILDING IS INSTALLED
- 27 NEW 3ph PADMOUNT TRANSFORMER AND CT CABINET (CONTRACTOR TO PROVIDE) PER ROCKY MOUNTAIN POWER STANDARDS & SPECIFICATIONS (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 28 INSTALL UNDERGROUND POWER SERVICE CONDUITS FROM CT CABINET TO NEW TRANSFORMER AND FROM TRANSFORMER TO CONNECTION POINT (CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER)
- 29 CONDUIT ELBOWS TO BE FIBERGLASS WITH MINIMUM 4 FT. RADIUS PER ROCKY MOUNTAIN POWER STANDARDS
- 30 INSTALL 1-INCH CONDUIT RISER FOR POWER TO TRASH ENCLOSURE
- 31 INSTALL 243± L.F. OF 1" CONDUIT FOR POWER TO TRASH ENCLOSURE AND STORAGE BUILDING
- 32 INSTALL CONDUIT TO THE BUILDING FOR POWER ON ALL NEW DIRECTIONAL SIGNS AND NEW MONUMENT SIGN - TYPICAL (SEPARATE SIGN PERMIT)
- 33 INSTALL LOT LIGHTING POLES, SEE DETAILS, SHT. LTG-1
- 34 EXISTING TELEPHONE BOX - USE IN PLACE (POSSIBLE CONNECTION POINT FOR COMMUNICATION CONDUIT TO NEW BUILDING)
- 35 INSTALL 131± L.F. OF COMMUNICATION CONDUIT PER CENTURYLINK COMMUNICATIONS STANDARDS & SPECIFICATIONS
- 36 EXISTING FIRE HYDRANT (BY DEVELOPER) - LEAVE IN PLACE

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.

Item 1.	DESCRIPTION	DATE	REV
1	SP-2		

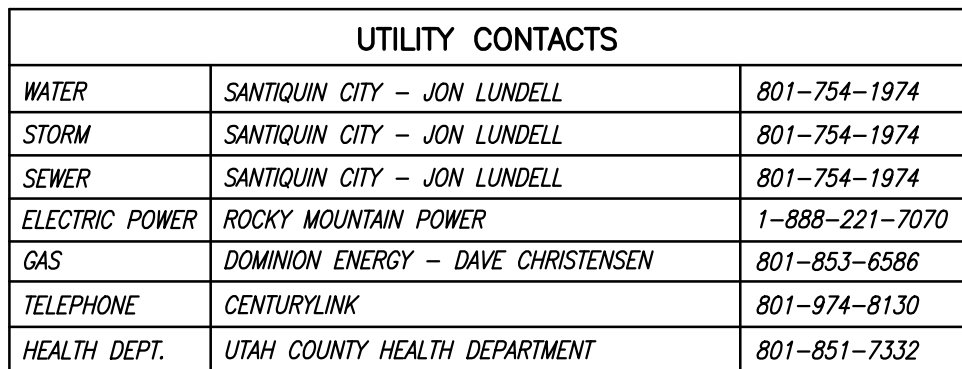
REGISTERED PROFESSIONAL ENGINEER
No. 8080527
JERRY RICK
HANSON
4/6/2022
STATE OF UTAH

DOMINION
Engineering Associates, L.C.
5084 South Green Street
Murray, Utah 84123 801-713-3000

PREPARED BY: JERRY RICK
DRAWN BY: JERRY RICK
STD. ISSUE DATE: 4/18/2022
REVIEWED BY: JERRY RICK
DATE REVIEWED: 4/18/2022
DATE ISSUED: 4/18/2022
OFFICE ADDRESS: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237
DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237

TITLE: McDONALD'S SITE IMPROVEMENT PLANS
DESCRIPTION: SANTAQUIN, UTAH
SITE UTILITY PLAN

SHEET NO. SP-2




NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIAGO CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIAGO CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

1. ALL HANDICAP ACCESS WALKWAYS TO BE CONSTRUCTED PER ADA STANDARDS AND SPECIFICATIONS (I.E.-MAX. 5% TRAVEL SLOPE AND MAX. 2% CROSS SLOPE). SEE SHEET SD-8 FOR ADA DETAILS AND ADDITIONAL CONSTRUCTION INFORMATION.
2. ALL APPLICABLE ELEMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.
3. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD AND THE CITY ENGINEER.
4. FOLLOW ALL RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT BY TERRACON CONSULTANTS, INC., DATED 11/9/2020
5. ALL CONCRETE SURFACE TO BE SEAL-COATED PER McDONALD'S REQUIREMENTS.
6. ALL PARKING STALLS AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE.
7. CONTRACTOR TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. THIS INCLUDES EXTERIOR DOORS, SELF-SERVE BEVERAGE BAR AND DRIVE-THRU WINDOWS. SIGNAGE PACKAGE SUPPLIED BY:
FORREST PERMA-SIGN 1-800-214-8765
9292 1st STREET, BOX 588 www.forrestpermasigns.com
NEW ROCHELLE, NY 10802

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEYS, TESTS AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

CONCRETE CURBING ONLY REQUIRED WHEN PREVENTING DIRECT ACCESS FROM SITE INGRESS.

STRIPING/LANDSCAPING

LANDSCAPING

2 PANEL OUTDOOR DIGITAL MENU BOARD - TYP. OF 2

OUTLINE OF BUILDING

LIMIT OF CONCRETE PAD (EXTEND 10'-0" PAST CENTER OF 3RD WINDOW OPENING WHEN UTILIZED.)

42.0'-45.0' MAX. WINDOW SPACING (40'-45' FOR EXISTING BUILDINGS)

40'-0" MINIMUM

1 DRIVE THRU LAYOUT GUIDELINES

ODMB 1" = 10'-0"

1F THE RADIUS OF THE ISLAND TIP SHALL BE 1'-6".

2. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 PAVEMENT MARKINGS:

2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.

2B DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.

2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".

2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.

2F A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

3F AUGER "McDONALD'S" CURB. SEE DETAIL.

3G THE DISTANCE FROM THE PRIMA... INSIDE THE CENTER OF THE ROAD.

3H THE PRIMA... INSIDE THE CENTER OF THE ROAD.

4. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 PAVEMENT MARKINGS:

4A TO POSITION THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

4B WHEN THE CURBED ISLAND COD CENTER LOOP PERFORMANCE IS NOT MET, THE CENTER OF THE LOOP SHALL BE ADJUSTED TO BE LESS THAN 10' FROM THE CENTER OF THE LOOP.

4C THE CENTER OF THE LOOP SHALL BE ADJUSTED TO BE LESS THAN 10' FROM THE CENTER OF THE LOOP.

4D AUGER "McDONALD'S" CURB. SEE DETAIL.

4E THE SECOND 25' FROM THE CENTER OF THE LOOP SHALL BE ADJUSTED TO BE LESS THAN 10' FROM THE CENTER OF THE LOOP.

4F "ANY LANE, OF CURB AREA, BE ORIENTED TO BE LESS THAN 10' FROM THE CENTER OF THE LOOP."

5. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 PAVEMENT MARKINGS:

5A DETECTOR WINDOW AT THE END OF THE DRIVE-THRU LANE.

- 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
- 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
- 1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
- 1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45". THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT.
- 1E ENTRANCE LANE ENTERING THE SIDE BY SIDE DRIVE-THRU IS TO BE 14'-0" MIN.
- 1F THE RADIUS FOR THE ISLAND TIP SHALL BE 1'-6".

2A) 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTSIDE EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" SIGN IS LOCATED.

2B) DOUBLE-HEADED ARROW PAVEMENT MARKING. STANDARD STRIPING MARKINGS ARE 7'-0" SHAFT, 7'-0" ARROW STEM AND 3'-0" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE.

2C) MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH COD SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 9'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0". AT THE INTERSECTION OF THESE OFFSETS, A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE.

2D) THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".

2E) THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PENDING WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.

2F) A CIRCLE DIRECTIONAL ARROW CENTERED ABOVE THE WORD "DRIVE THRU" USED TO INDICATE THE DRIVE THRU ENTRY POINT.

3A MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS ($\pm 5'$ FOR 80', 100', AND 120') TO A MAX OF 120'. 100'-0" IS OPTIMAL.

3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION.

3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' TO 35° ANGLE (35° PREFERRED) FROM A CAR POSITIONED AT THE COD AND WITH 100% VISIBILITY.

3D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.

3F AUGER "McDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.

3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD.

4. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 EQUIPMENT POSITIONING FOR SECONDARY LANE:

4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD.

4B WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACED FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE.

4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-3" (5'-0" MIN. AND 6'-0" MAX.) FROM CENTER OF THE COD FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB.

4D AUGER "McDONALD'S ORDER HERE CANOPY" COD/CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.

4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25' FROM A VEHICLE POSITIONED AT THE COD AND WITH 100% VISIBILITY.

4F "ANY LANE, ANY TIME" BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT THE BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB.

5. SIDE BY SIDE DRIVE-THRU STANDARD 1.0 DETECTOR LOOP:

5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENTER BOOTHS.

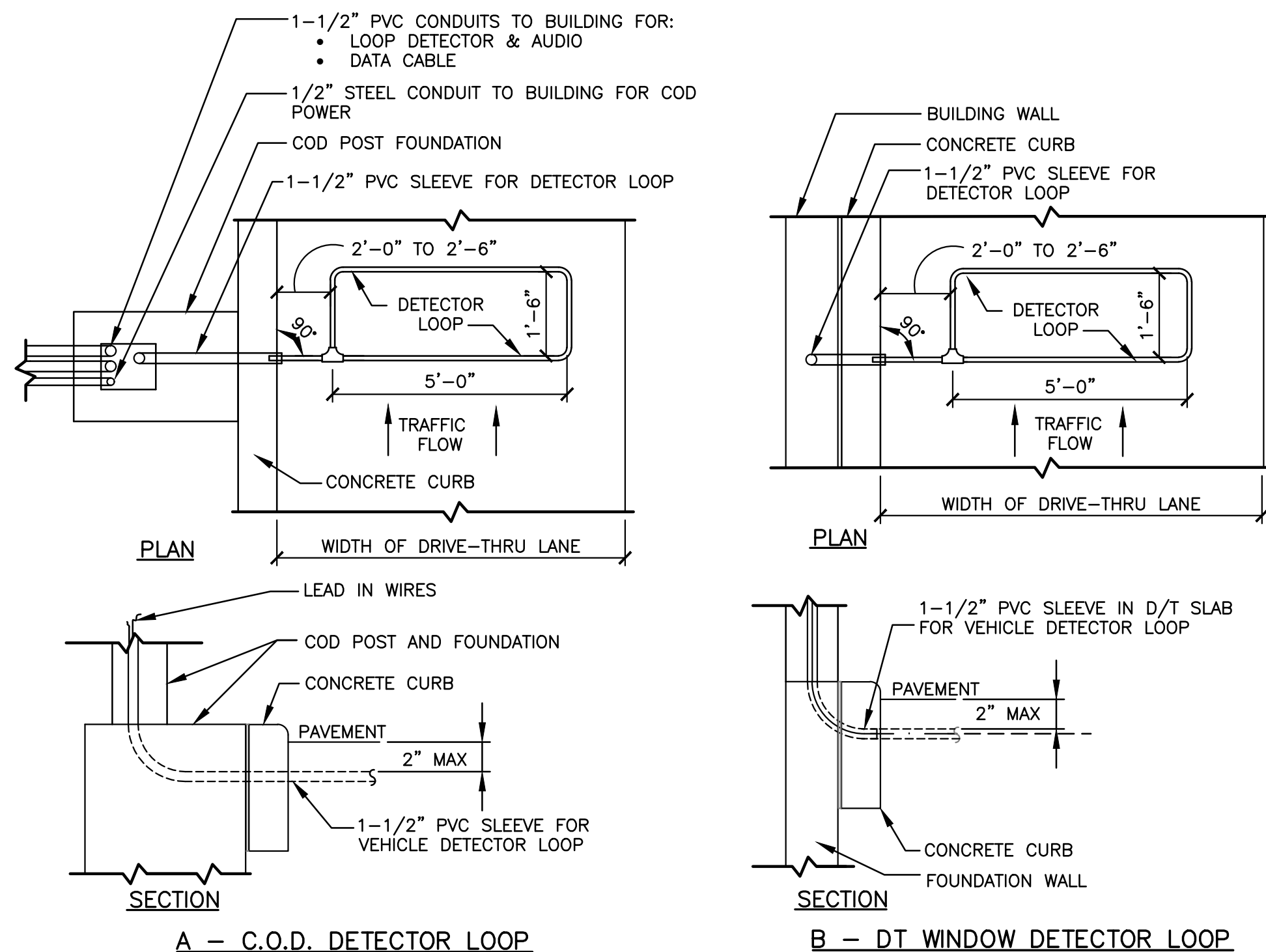
1A PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY COD AND PRE-BROWSE BOARD IS TO BE 15" AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD.

1B PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB (18" PREFERRED). THE DISTANCE BETWEEN THE SECONDARY COD AND PRE-BROWSE BOARD IS TO BE 15" AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE COD FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM COD (PREFERRED 35°).

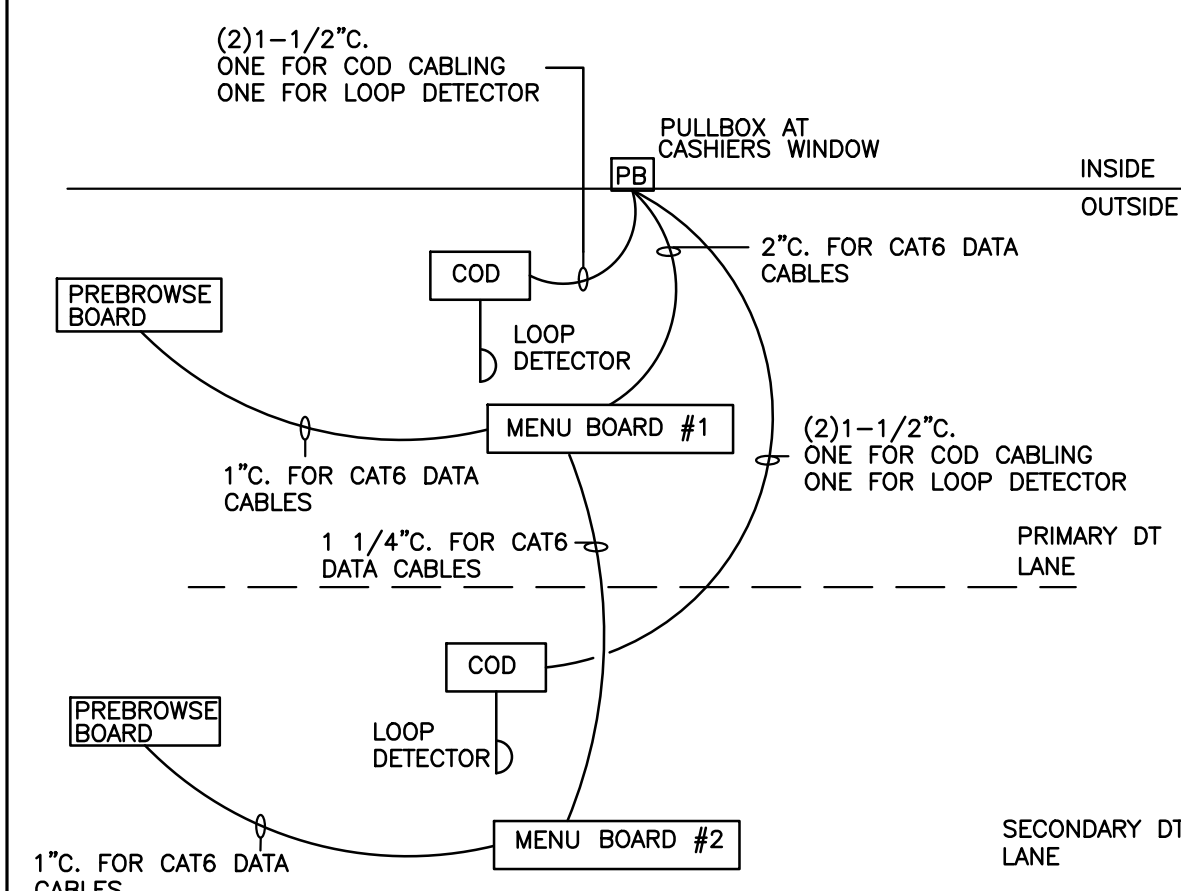
1. DRIVE-THRU ELEMENTS:
COD, DRIVE-THRU PYLON/CLEARANCE POLE AND BOLLARD SIGN
SHALL BE CONSISTENT WITH THE STANDARD BUILDING DESIGN
DRIVE-THRU ELEMENTS.
OTHER DESIGNS MAY NOT BE USED.
2. CONTRACTOR SHALL COORDINATE WITH APPLICABLE PLANS, McDONALD'S AREA CONSTRUCTION
MANAGER, CONTENT SUPPLIER AND SIGNAGE SUPPLIER TO DETERMINE EXACT LOCATION,
ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF BOARDS AND OTHER DRIVE-THRU ELEMENTS
TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH OTHER TRADES.
3. CONTACT McDONALD'S AREA CONSTRUCTION MANAGER FOR DRIVE-THRU ELEMENT FOOTING
AND WIRING REQUIREMENTS NOT SHOWN. (INFORMATION ALSO AVAILABLE THROUGH VENDOR
WEBSITES) SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C.
PRIOR TO FOUNDATION POURING.
4. SEE DETAIL 2 THIS SHEET FOR DETECTOR LOOP INFORMATION, DETAIL 3 THIS SHEET FOR LOW
VOLTAGE CONDUIT DIAGRAM AND DETAIL 4 THIS SHEET FOR DRIVE THRU POWER DIAGRAM;
VENDOR'S SPECIFICATIONS SHALL GOVERN UPON ANY DISCREPANCIES.
5. CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR,
CONTENT SUPPLIER AND THE SIGN SUPPLIER.
6. CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.
8. IF 12" MIN. CLEARANCE CANNOT BE ATTAINED OR IF THERE IS A HIGH CHANCE OF AN IMPACT,
A BOLLARD MAY BE INSTALLED TO PROTECT THE APPROPRIATE BOARD(S). 100% VISIBILITY OF
THE BOARD(S) IS REQUIRED AFTER BOLLARD PLACEMENT.
9. MENU BOARDS SHALL BE PLACE TO ALLOW FRONT ACCESS CLEARANCE: 100% ACCESS IS REQUIRED.

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS:
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.
SM 1-800-528-0033
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE-LENGTH IS THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

DT-2 NOT TO SCALE



(DT-1) NOT TO SCALE

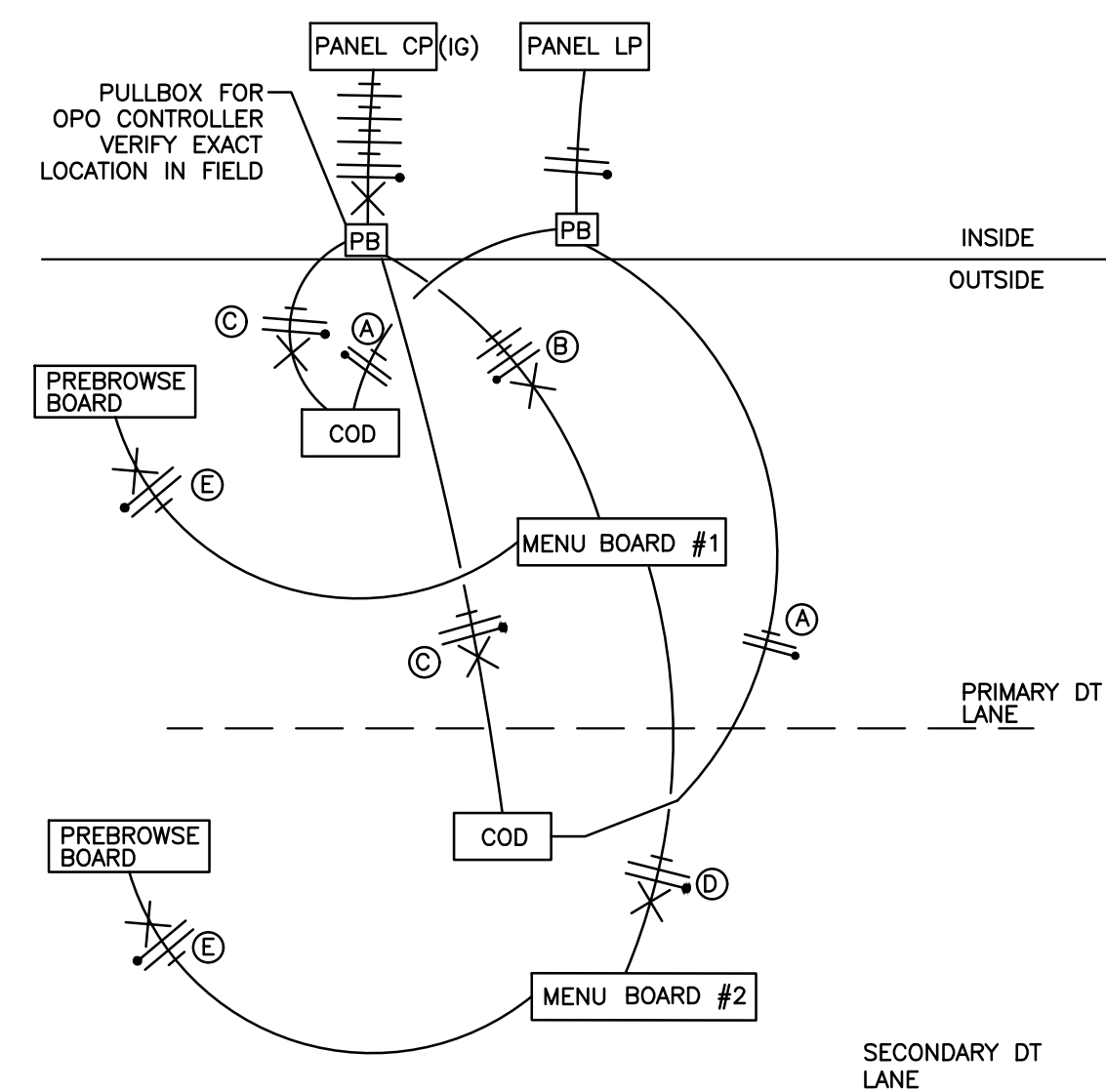


- * VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.



FOR EXISTING LOCATIONS:

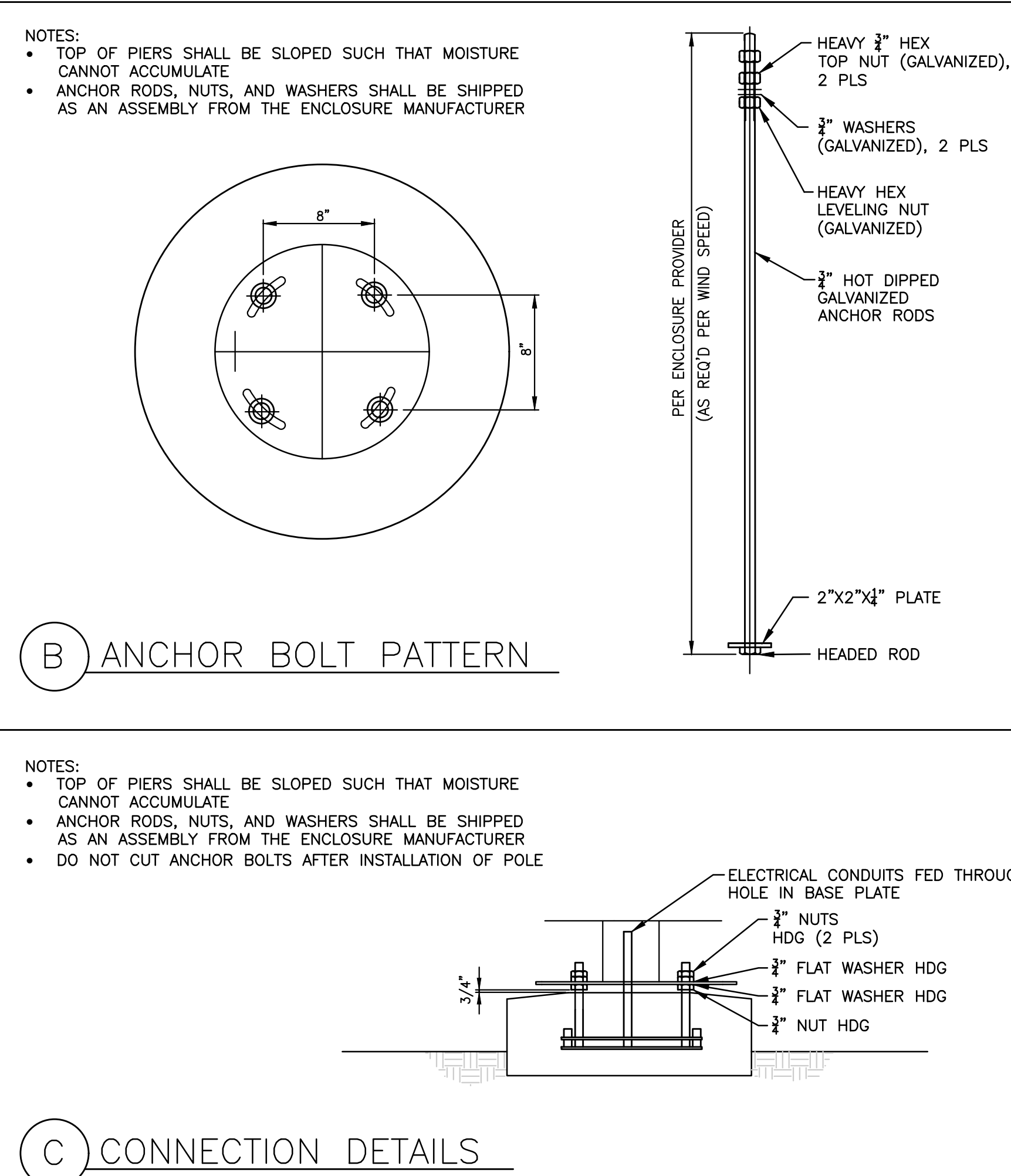
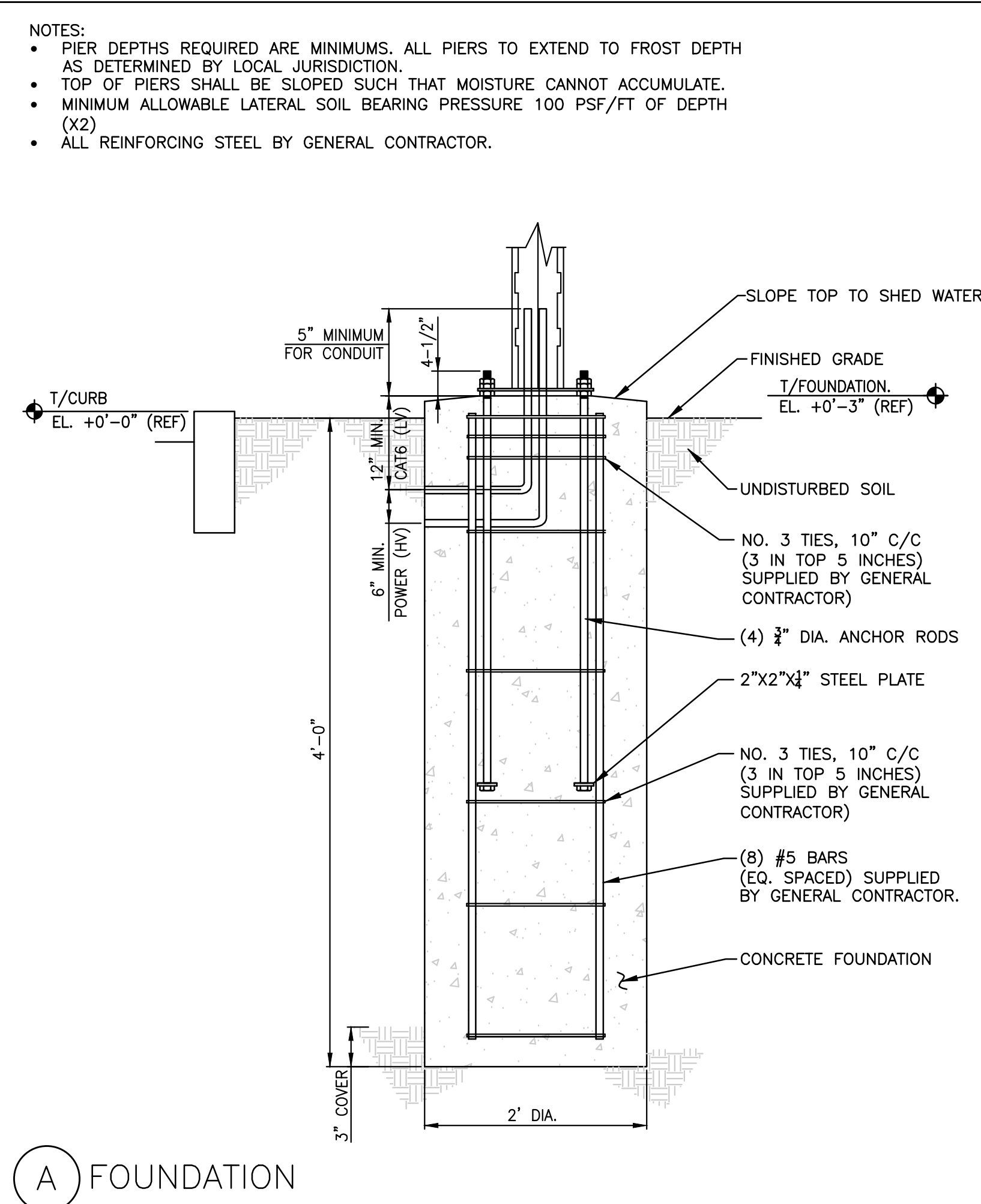
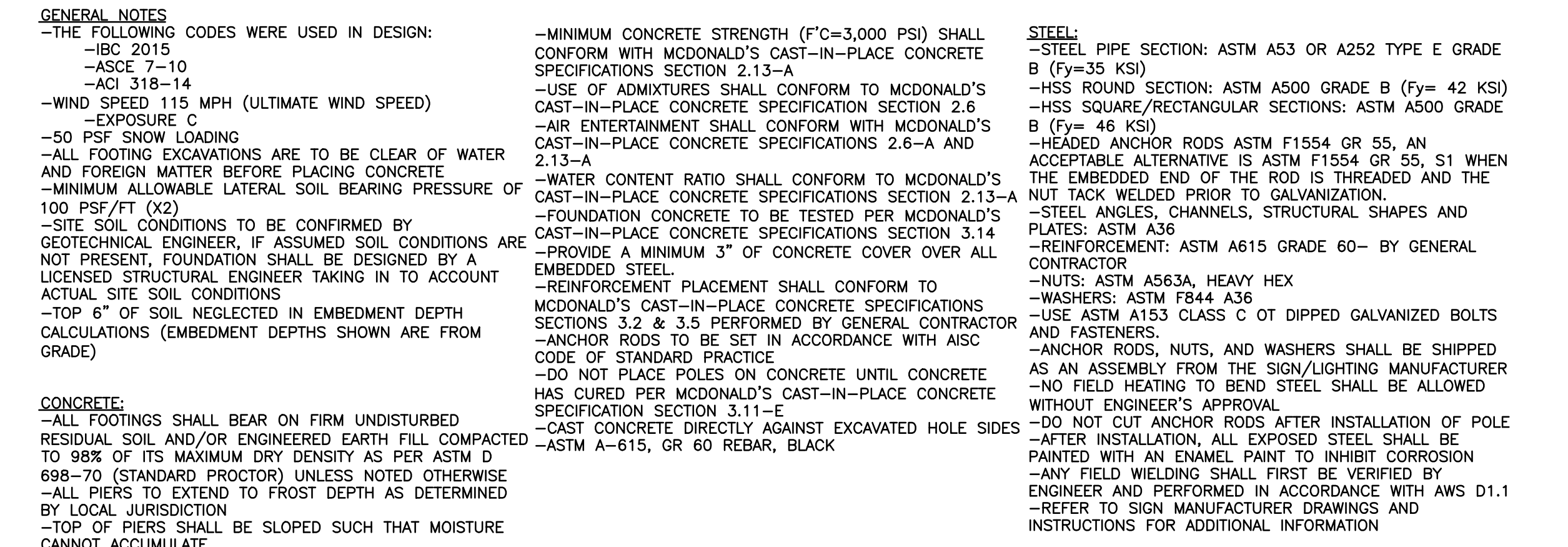
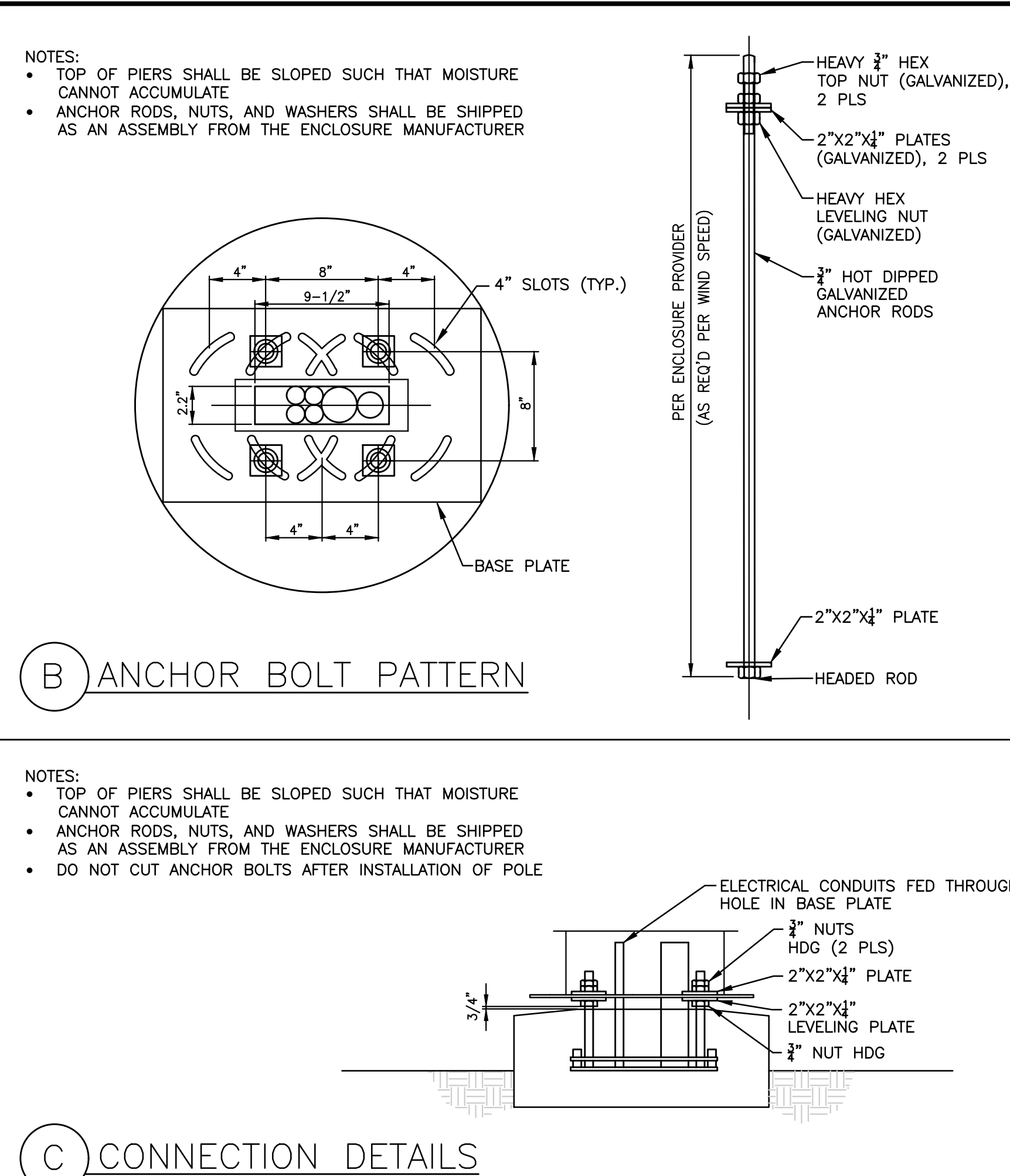
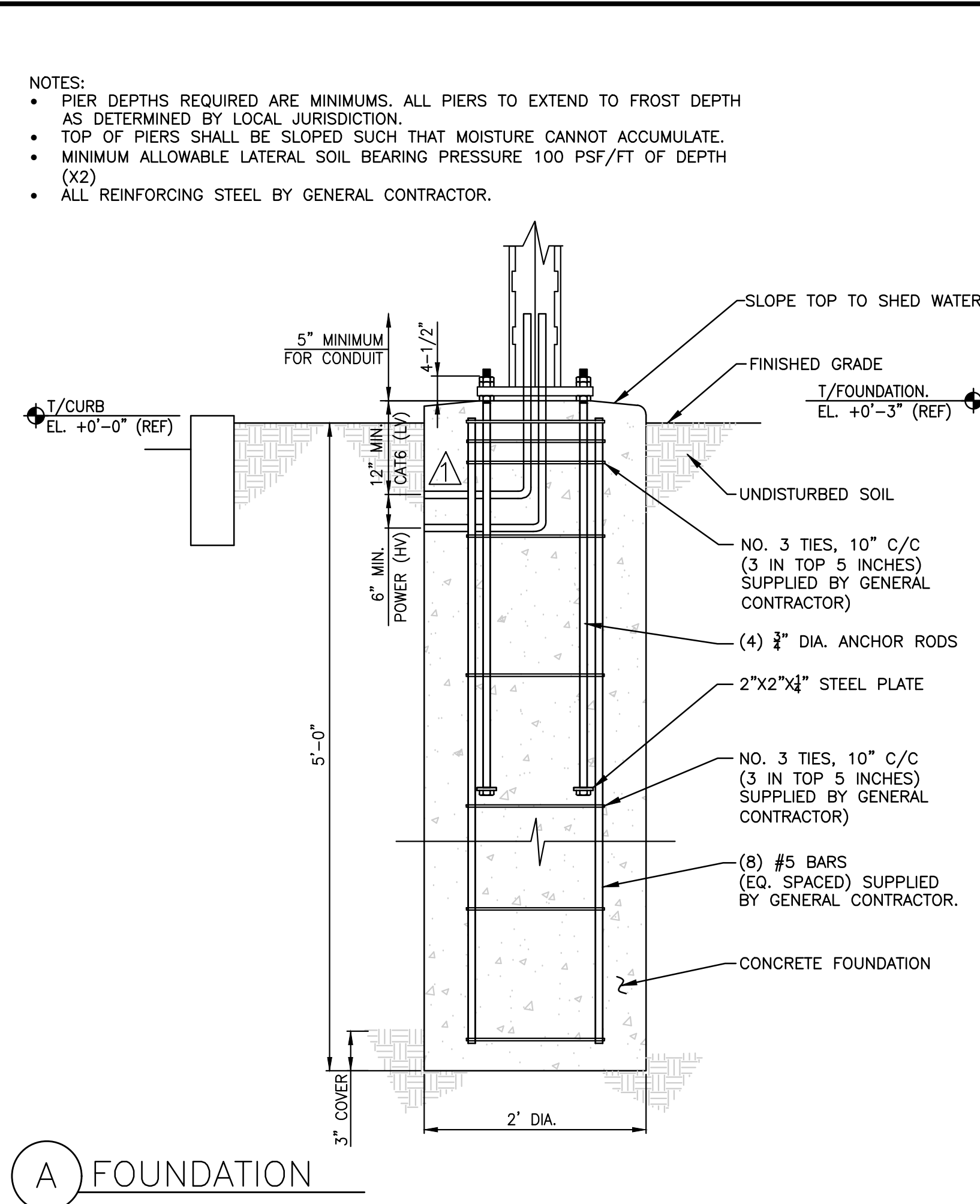
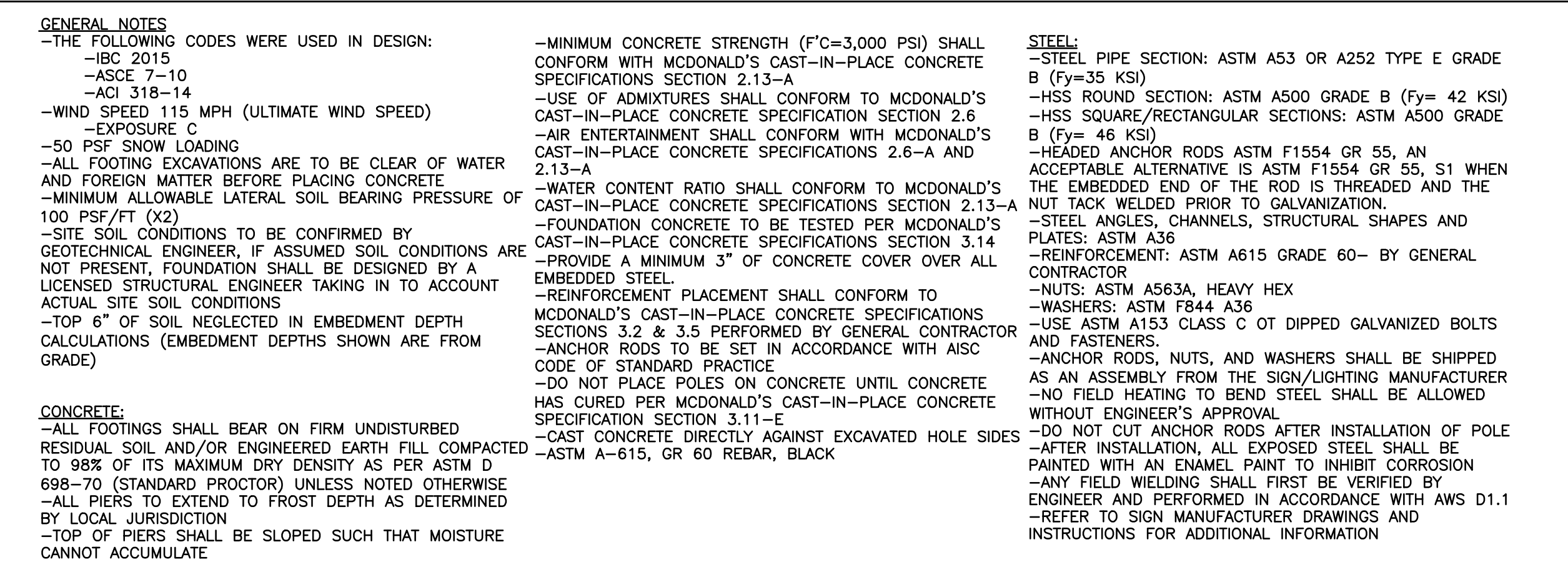
- * VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
- * VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY

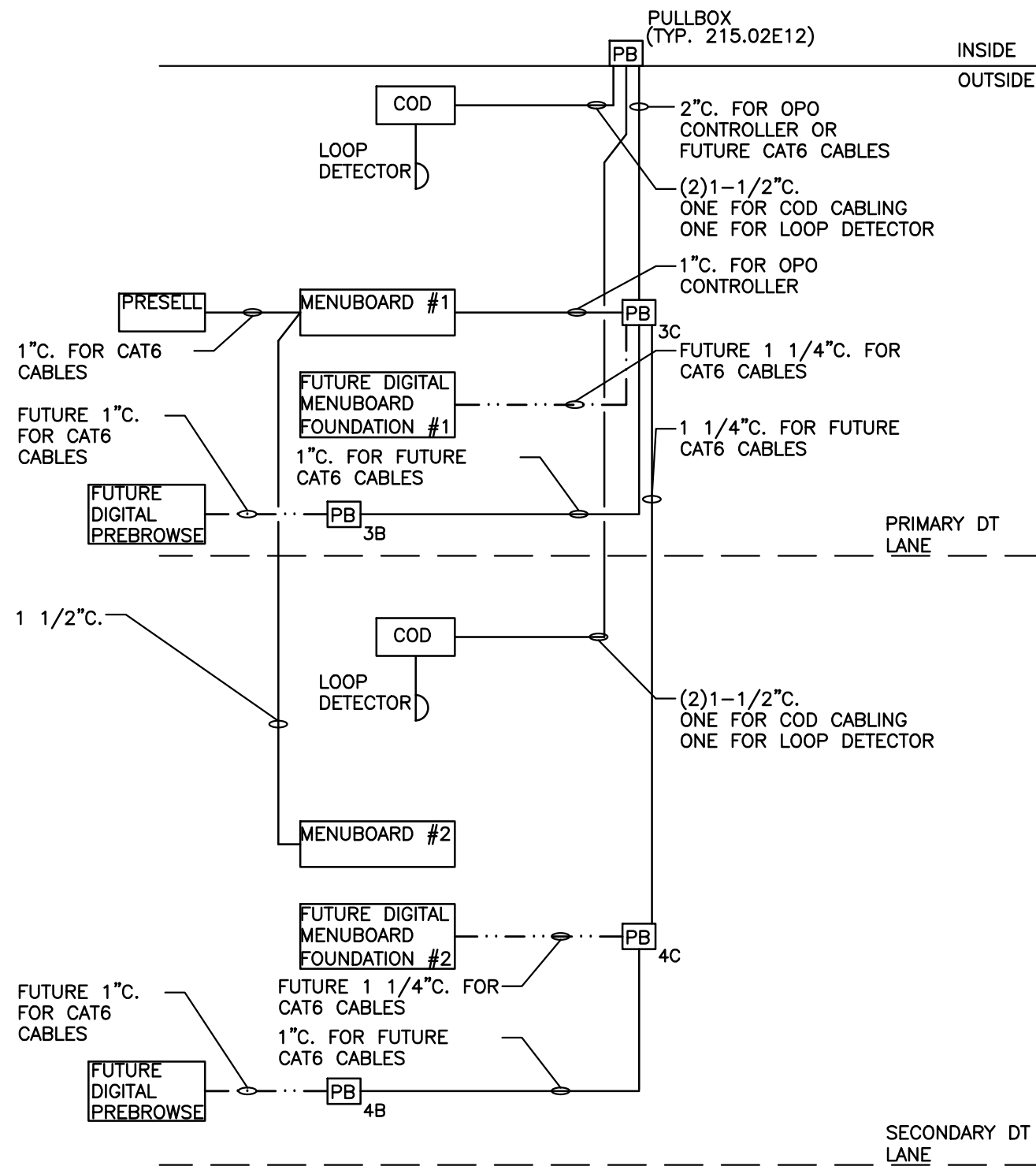
- (A) 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- (B) 4#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (C) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO CHS. EACH CHD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- (D) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (E) 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO FOR PRESSELL BOARDS AND MEDIA PLAYER.



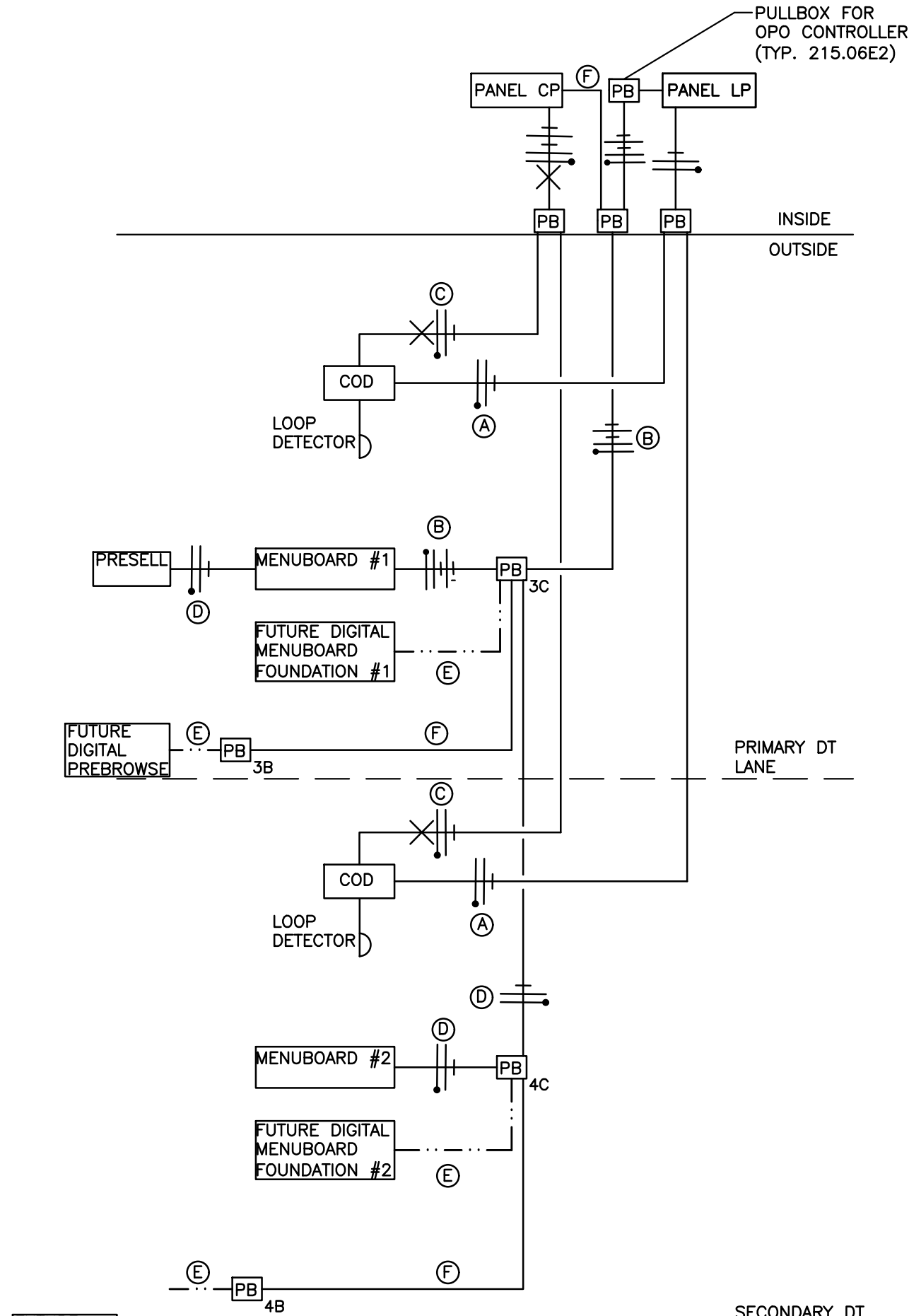
(DT-1) NOT TO SCALE

SHEET NO.	TITLE	DRAWN BY	PREPARED FOR:	PREPARED BY:		REV	DATE	DESCRIPTION	BY
DT-1	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	STD ISSUE DATE	REVIEWED BY —	DATE REVIEWED	DATE ISSUED —	SITE ADDRESS 043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH	OFFICE ADDRESS DENVER REGION: 4643 S. ULLSTER ST., SUITE 1300, DENVER, CO 80237	 DOMINION Engineering Associates, L.C. 5684 South Green Street Murray, Utah 84123 801-713-3000	

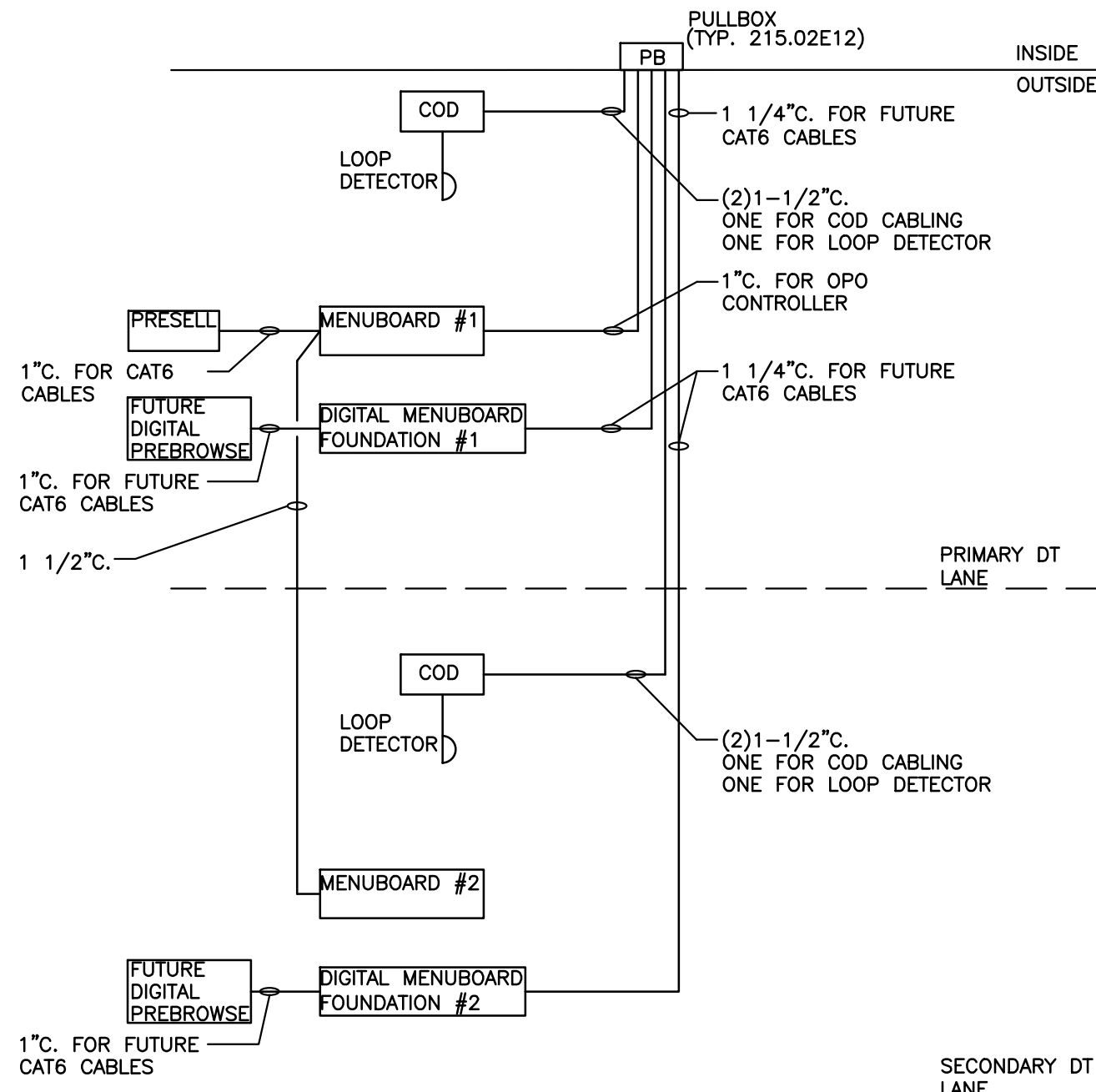




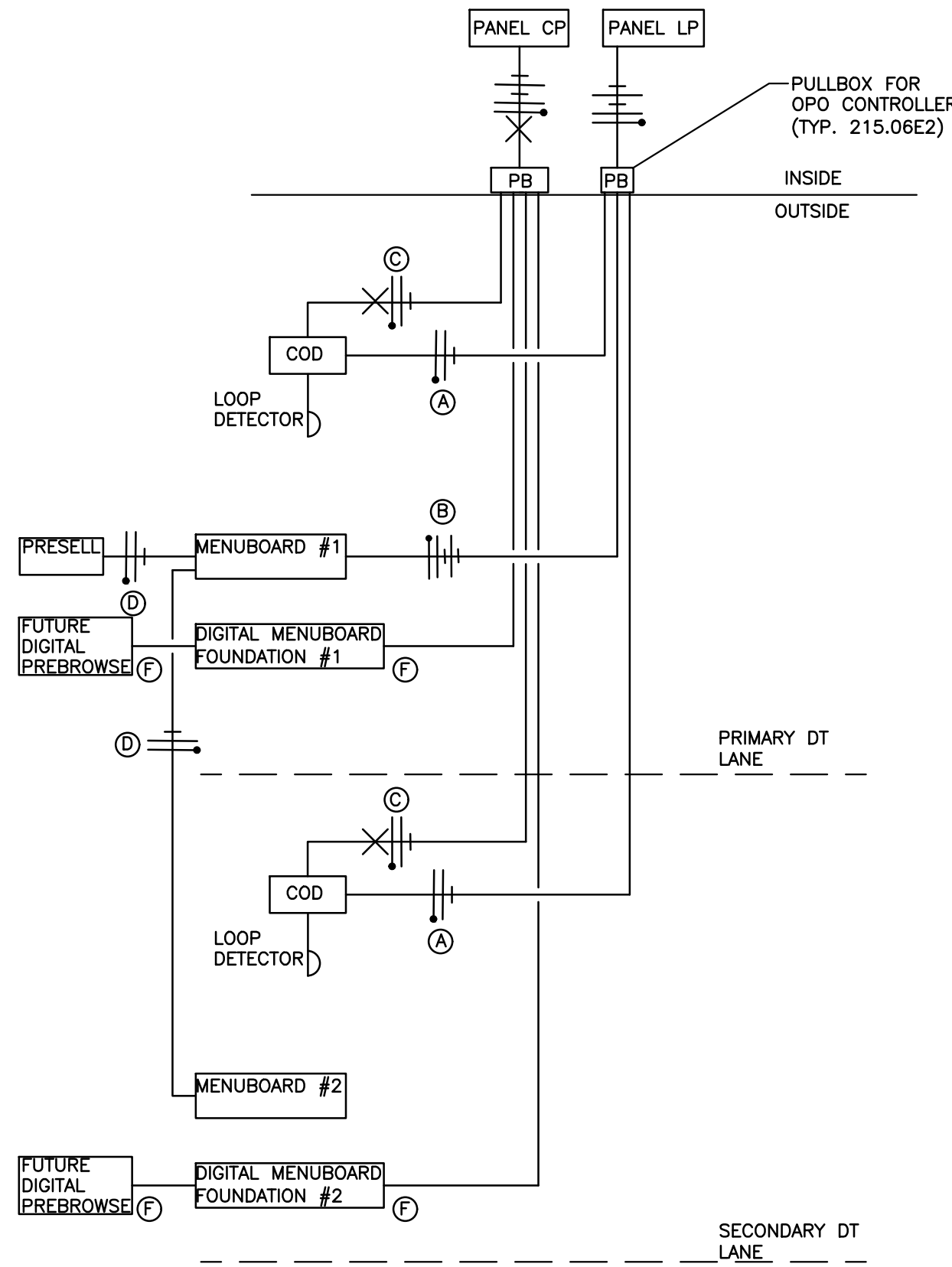
1 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 1.0)
E-DT NOT TO SCALE



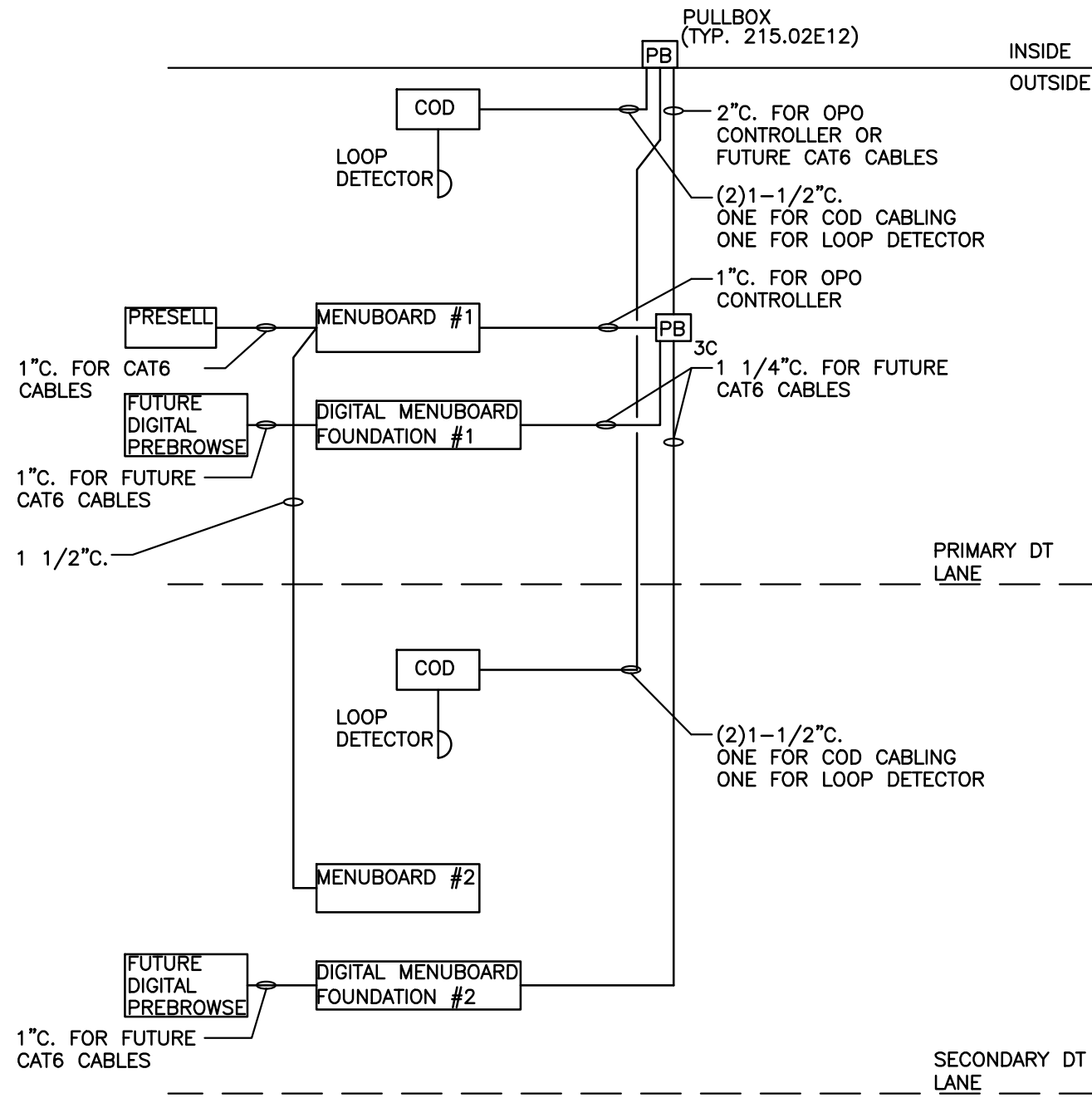
2 DT POWER DIAGRAM (OPTION 1.0)
E-DT NOT TO SCALE



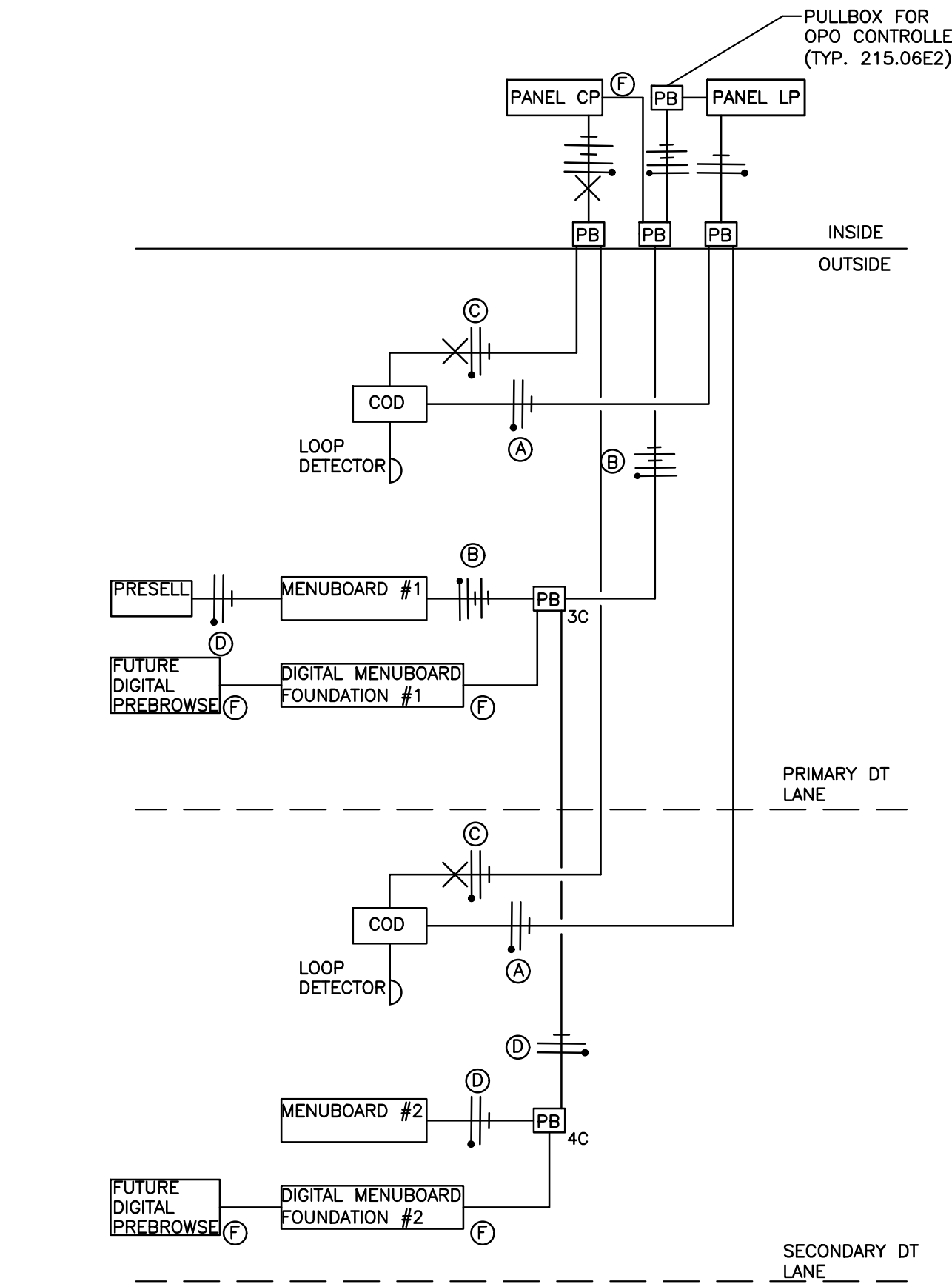
3 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 2.0A)
E-DT NOT TO SCALE



4 DT POWER DIAGRAM (OPTION 2.0A)
E-DT NOT TO SCALE



5 DT LOW VOLTAGE CONDUIT DIAGRAM (OPTION 2.0B)
E-DT NOT TO SCALE



6 DT POWER DIAGRAM (OPTION 2.0B)
E-DT NOT TO SCALE

GENERAL NOTES:

- COORDINATE ALL CONDUIT AND CIRCUITING REQUIREMENTS WITH MANUFACTURER'S INSTALL INSTRUCTIONS.
- ALL PULLBOXES/HANDHOLES SHOWN SHALL BE A MINIMUM OF TIER 8 QUARTZITE OR EQUAL.

ELECTRICAL POWER NOTES:

- PROVIDE TWO (2) SPARE 20A/1P BREAKERS WITHIN CP PANEL FOR FUTURE OUTDOOR DIGITAL MENUBOARDS
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR TRADITIONAL OPO MENUBOARDS REQUIRES SEPARATE DEDICATED NEUTRALS ARE PROVIDED TO MENU BOARD AND PRESELL BOARD FOR EACH CIRCUIT (PLC AND LIGHTING)

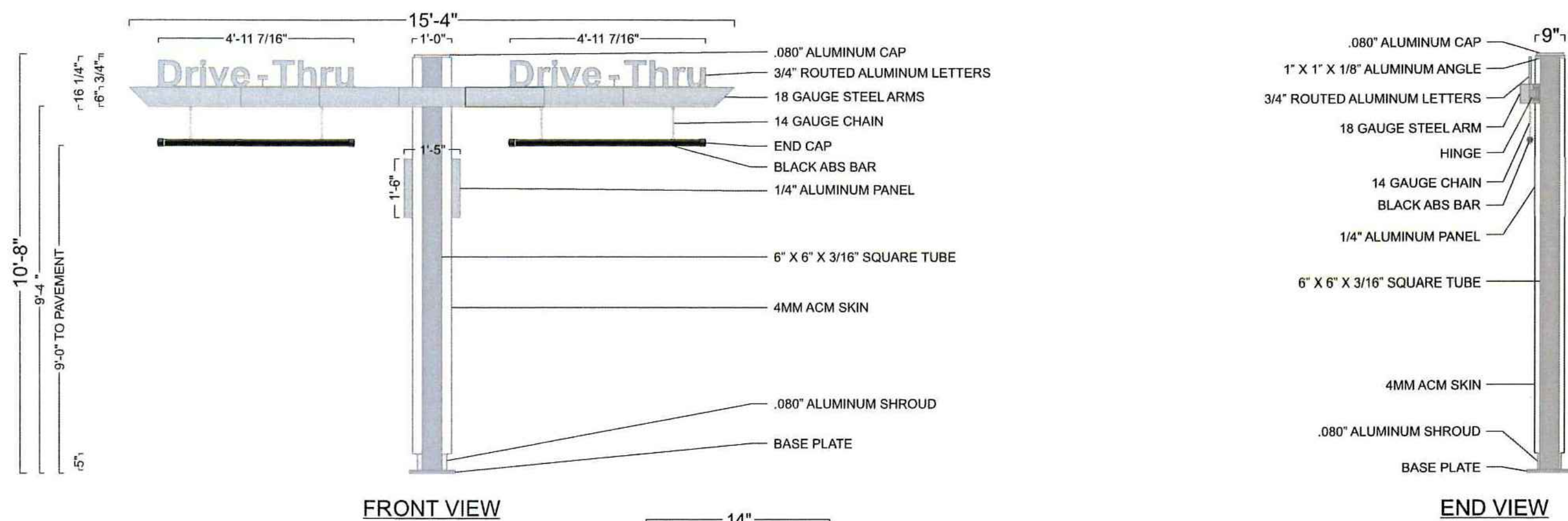
POWER DIAGRAMS TAGS:

- ② 2#12 & 1#12 GND., TO LP-1 FOR COD CANOPY LIGHTING (TYP. LP-1:23)
- ④ 4#12 & 1#12 GND., 3/4" TO LP-1 FOR OPO MENU BOARD #1 LIGHTING AND PLC (TYP. LP-1:23,25).
- ② 2#12 & 1#12 GND & 1#12 ISOLATED GND., TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT (TYP. CP:14,18).
- ② 2#12 & 1#12 GND., TO LP-1 FOR OPO MENU BOARD #2 AND PRESELL BOARD LIGHTING (TYP. LP-1:23)
- ⑥ FUTURE 3/4" CONDUIT FOR FUTURE OUTDOOR DIGITAL MENUBOARD OR PRESELL POWER.
- ⑥ 3/4" CONDUIT WITH PULL STRINGS FOR FUTURE MENUBOARD OR PRESELL BOARD POWER.

KEY:

- CONDUIT
- - - CONDUIT TO PULLED IN FUTURE (ONCE FOUNDATIONS ARE INSTALLED)
- PB PULLBOX
- xx SUBSCRIPT INDICATES RELATIVE LOCATION. REFER TO ODMB DRAWING.

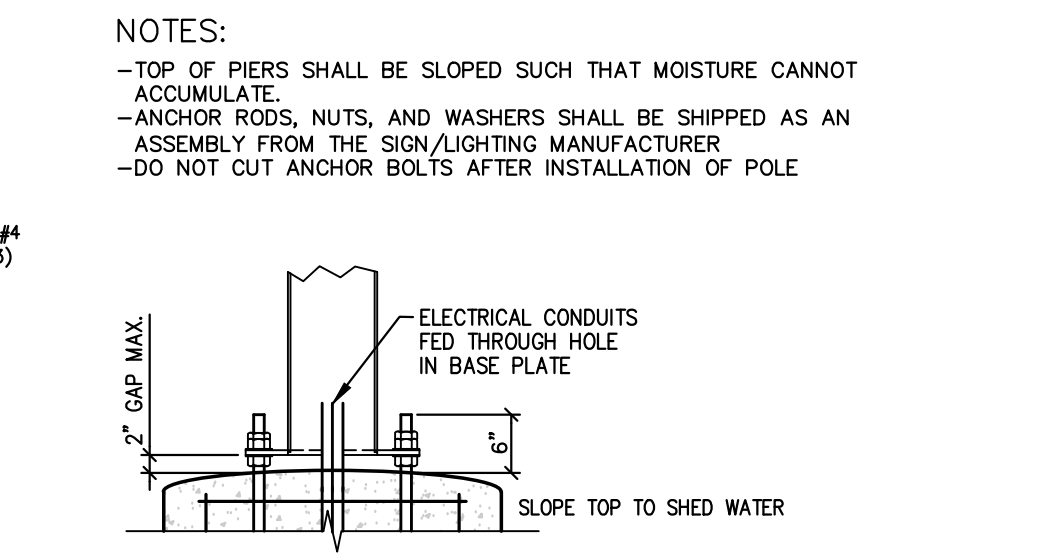
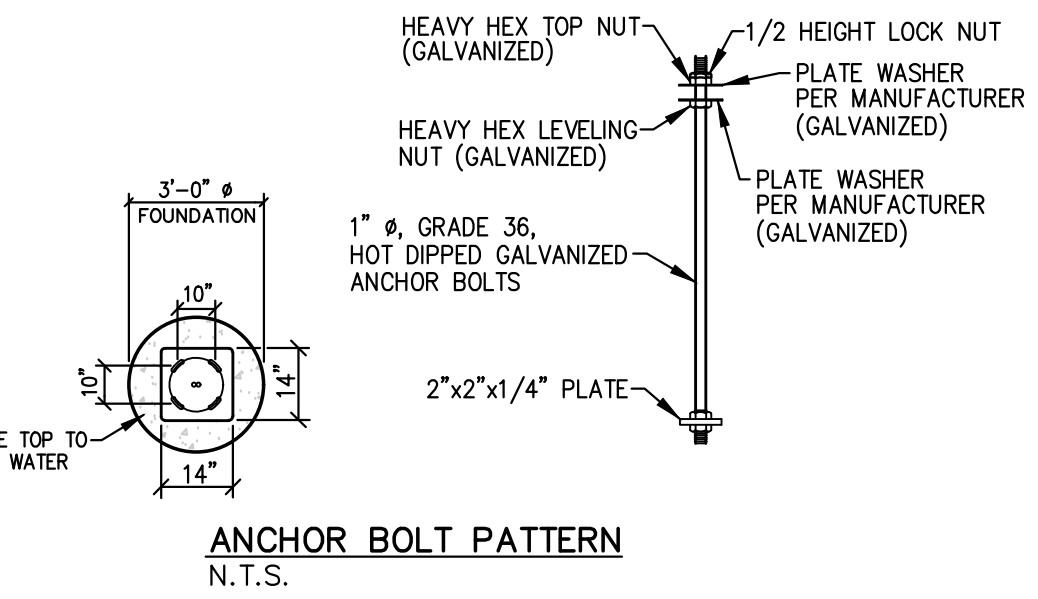
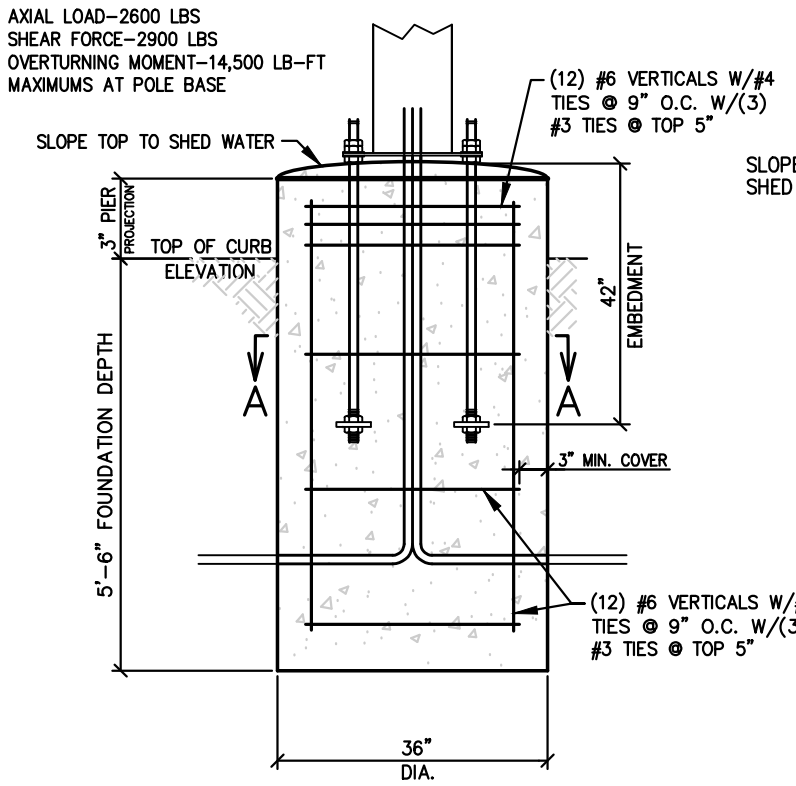
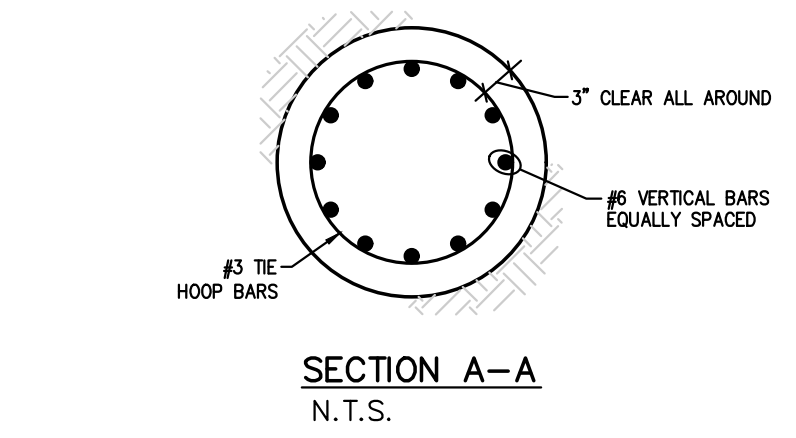
SHEET NO.		TITLE		DRAWN BY		PREPARED FOR:		PREPARED BY:		REV		DATE		DESCRIPTION		BY	
DT-3		McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH		—		McDONALD'S CORPORATION		McDONALD'S CORPORATION		—		—		—		—	
DESCRIPTION		DRIVE-THRU DETAILS		—		DRIVE-THRU WIRING DETAILS		—		—		—		—		—	
SITE ID		SITE ADDRESS		DATE ISSUED		OFFICE ADDRESS		—		—		—		—		—	
043-0320		550 E. MAIN STREET, SANTAQUIN, UTAH		—		DENVER REGION: 4643 S. JUSTER ST., SUITE 1300, DENVER, CO 80237		—		—		—		—		—	



PANEL DETAIL
1/4" ALUMINUM PANEL W/ 1ST SURFACE PAINT & VINYL DECO.:
■ MATCH PMS 123 C GOLD - BACK-GROUND, COPY & ARROW
■ 3630-22 BLACK - LANES

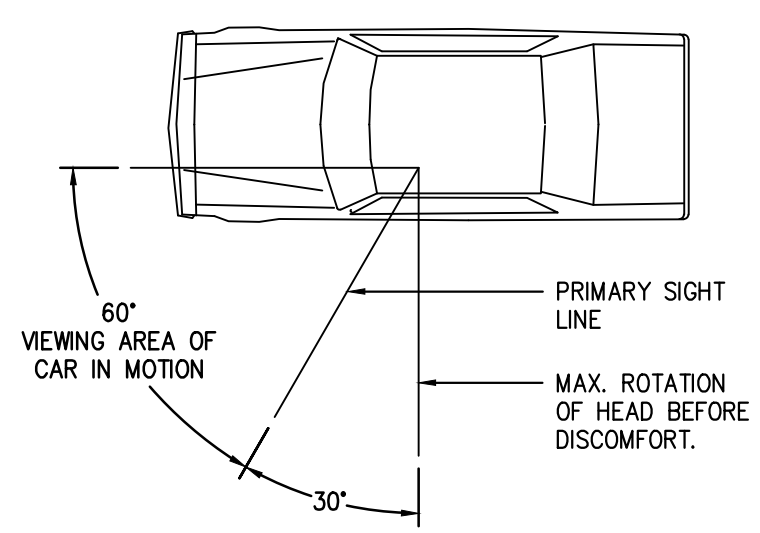
SWING ARM DETAIL
DESIGN FACTOR: TBD
18 GAUGE STEEL ARM WITH HINGE W/ 1ST SURFACE PAINT AND VINYL DECORATION:
■ MATCH PMS 123 C GOLD - SWING ARM
■ 7725-12 BLACK - "CLEARANCE 9 FEET" COPY

"DRIVE-THRU" LETTER DETAIL
3/4" ROUTED ALUMINUM LETTERS W/ 1ST SURFACE VINYL DECORATION:
■ 180-25 GOLD - "DRIVE-THRU" COPY
■ BLACK - COPY OUTLINE



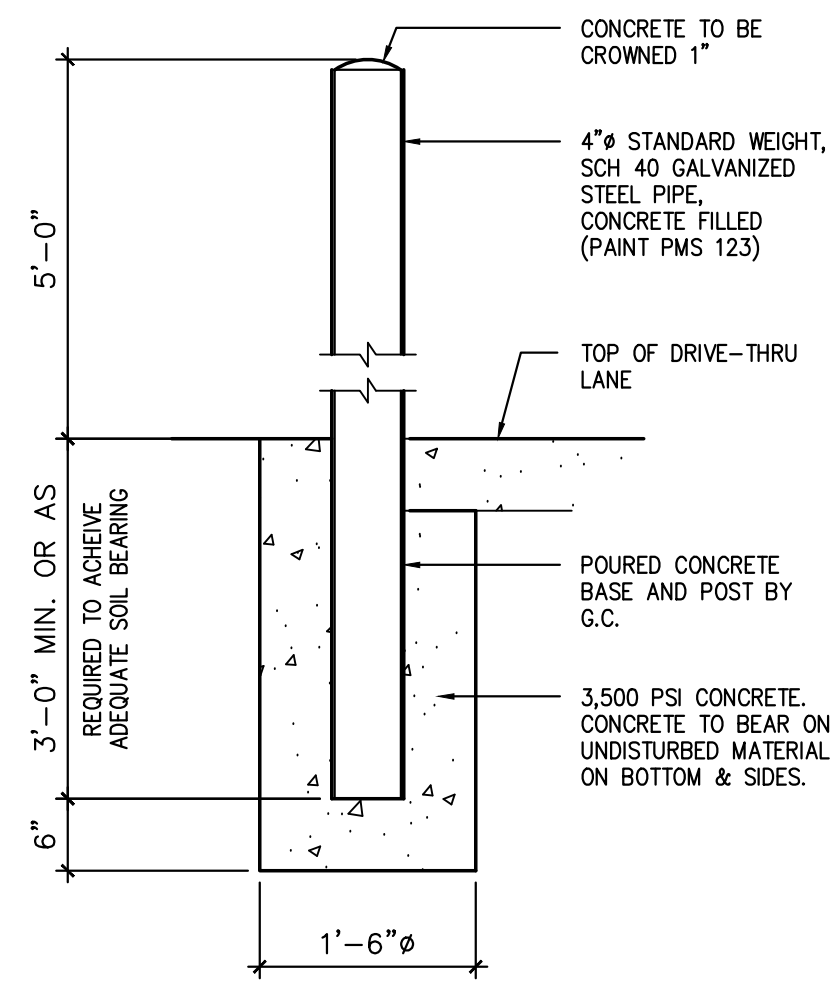
DOUBLE ARM GATEWAY/CLEARANCE SIGN BASE FOUNDATION DETAIL

WIND SPEED: 115 MPH EXPOSURE "C"



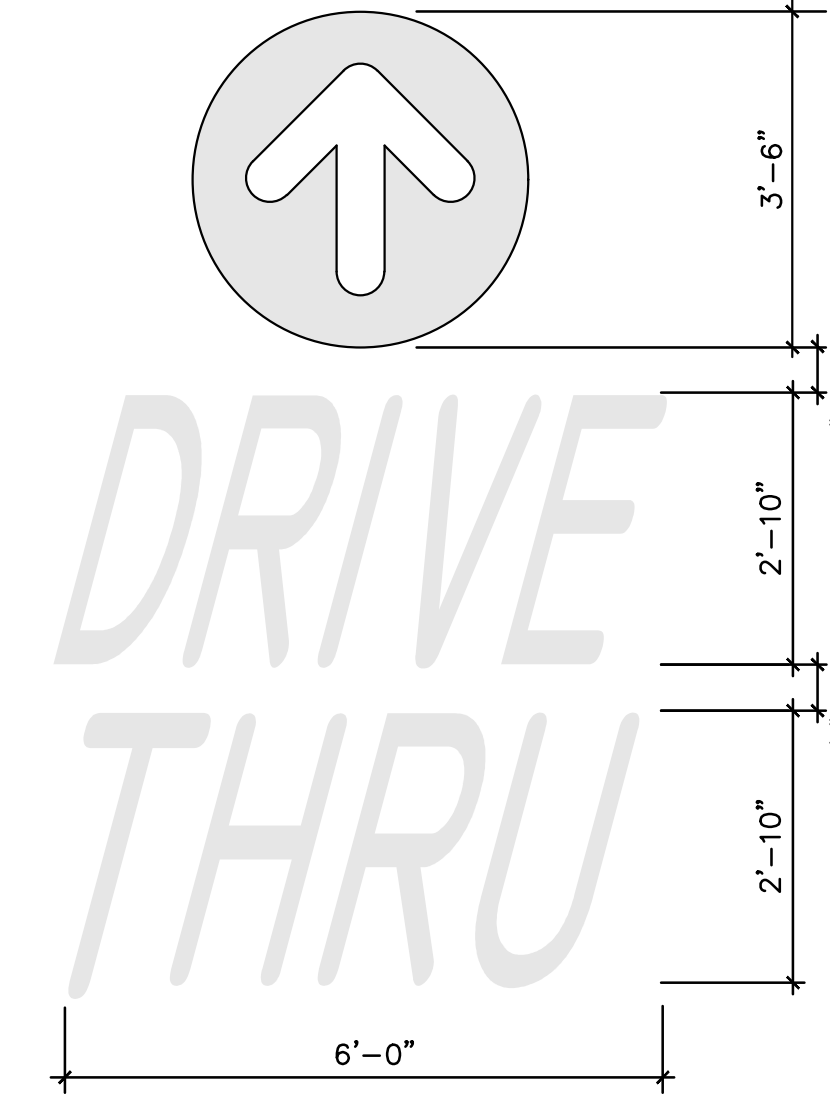
VEHICLE SIGHT LINES

N.T.S.



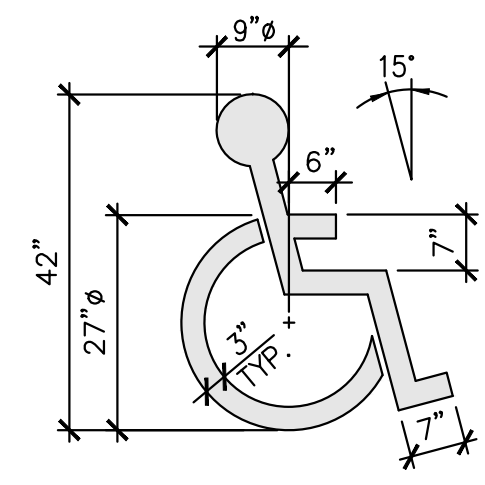
DRIVE THRU BOLLARD FOUNDATION

N.T.S.



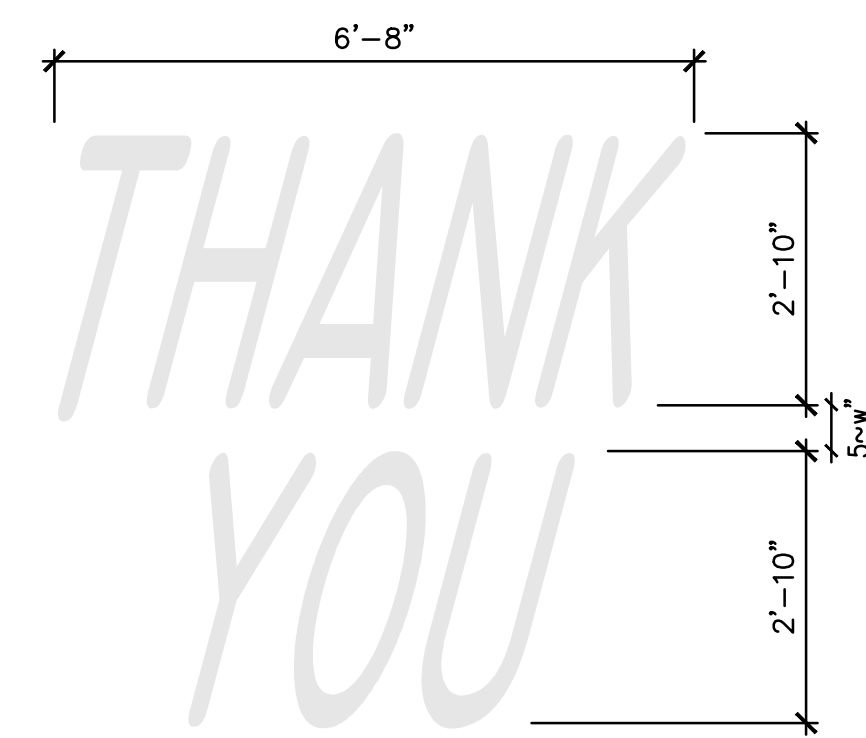
PAINTED "DRIVE THRU"

N.T.S.



PAINTED HANDICAPPED PARKING SYMBOL

N.T.S.



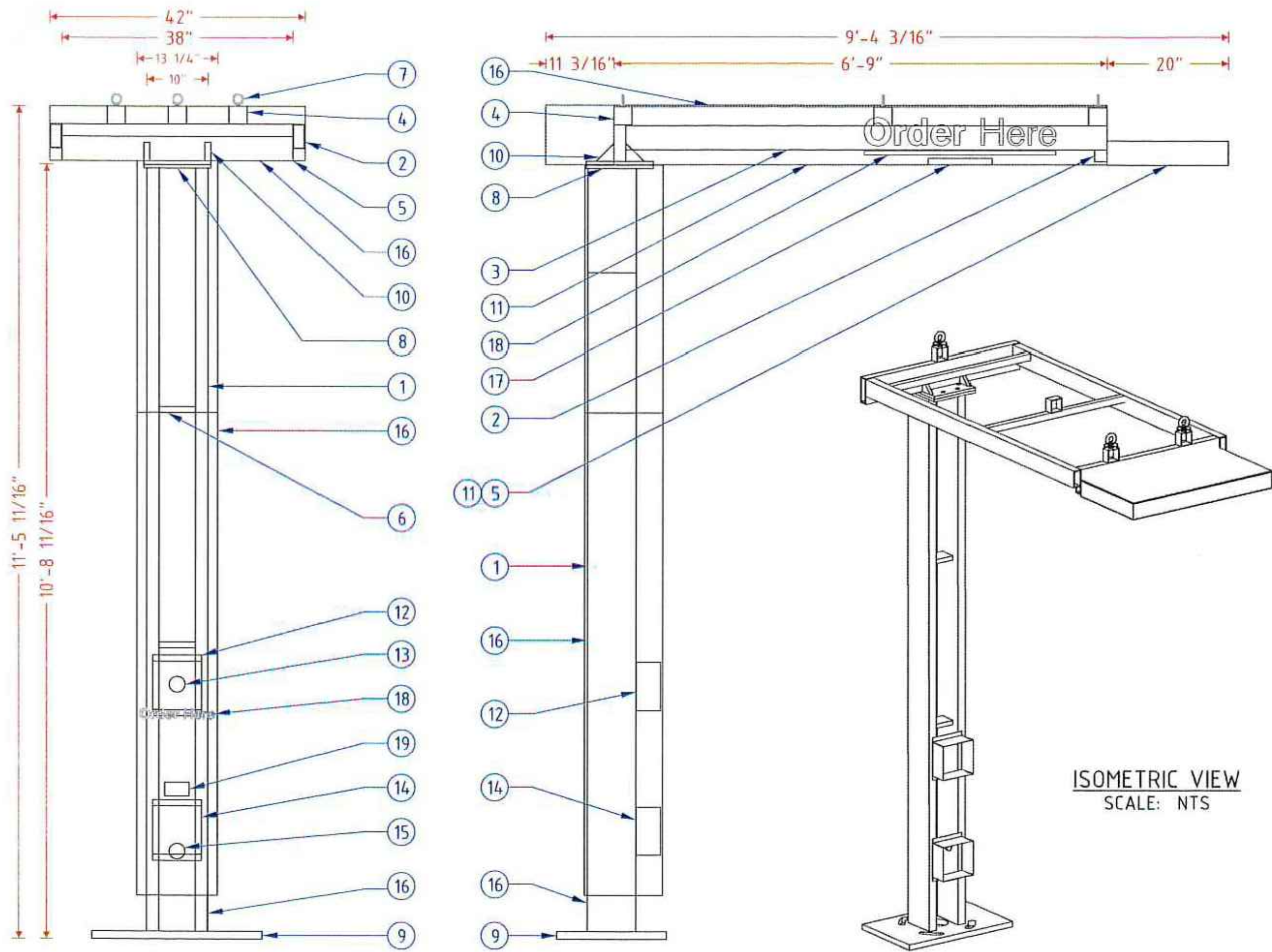
PAINTED "THANK YOU"

N.T.S.

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2015
 - ASCE 7-10
 - ACI 318-14
 - WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
 - EXPOSURE C
 - 50 PSF SNOW LOADING
 - ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
 - MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
 - SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
 - TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- CONCRETE:**
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
 - ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
 - TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
 - MINIMUM CONCRETE STRENGTH (F'C=3,000 PSI) SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - USE OF ADMIXTURES SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
 - AIR ENTERTAINMENT SHALL CONFORM WITH McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS 2.6-A AND 2.13-A
 - WATER CONTENT RATIO SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
 - FOUNDATION CONCRETE TO BE TESTED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
 - PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL
 - REINFORCEMENT PLACEMENT SHALL CONFORM TO McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
 - ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 - DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER McDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
 - CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
 - ASTM A-615, GR 60 REBAR, BLACK
- STEEL:**
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
 - HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
 - HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
 - HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION
 - STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
 - REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
 - NUTS: ASTM A563A, HEAVY HEX
 - WASHERS: ASTM F844 A36
 - USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
 - DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
 - AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
 - ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
 - REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

SHEET NO.		TITLE		DRAWN BY		DATE		REV		DATE		DESCRIPTION	
SD-1		McDONALD'S SITE IMPROVEMENT PLANS		J. J. J.		4/15/22							
		SANTAQUIN, UTAH											
		FOUNDATION AND MISCELLANEOUS DETAILS											
		DRIVE-THRU DETAILS											
		SITE ADDRESS											
		043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH											
		DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237											
		PREPARED BY: J. J. J.											
		McDONALD'S CORPORATION											
		KROC DRIVE - SAN BROOK, ILLINOIS 60081											
		THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION. THE CONTRACT DOCUMENTS TO BE PREPARED WITHOUT WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION IS STRICTLY PROHIBITED. ANY VIOLATION OF THIS NOTICE SHALL BE CONSIDERED A BREACH OF THE CONTRACT DOCUMENTS AND SHALL BE SUBJECT TO THE PENALTIES AND REMEDIES PROVIDED IN THE CONTRACT DOCUMENTS.											
		REGISTERED PROFESSIONAL ENGINEER											
		No. 8030527											
		JEREMY RICK HANSON											
		4/15/22											
		STATE OF UTAH											



FRAME & LAMP DETAIL

CROSS SECTION A-A

18" X 28" X 1 1/4" PLATE
1 3/8" SLOTTED HOLES
1" BOLTS

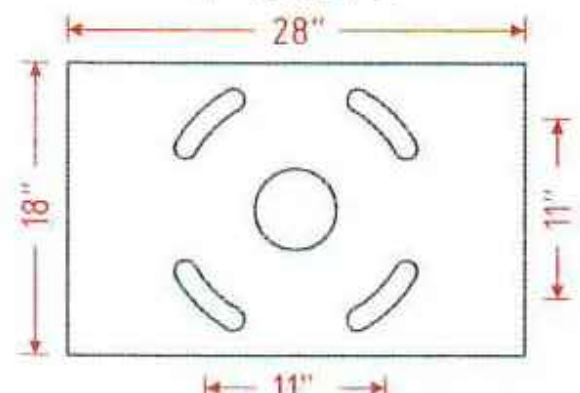


PLATE DETAIL

11" X 11" X 5/8" PLATE
3/4" HOLES
5/8" BOLTS

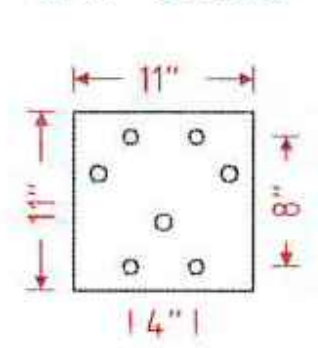


PLATE DETAIL

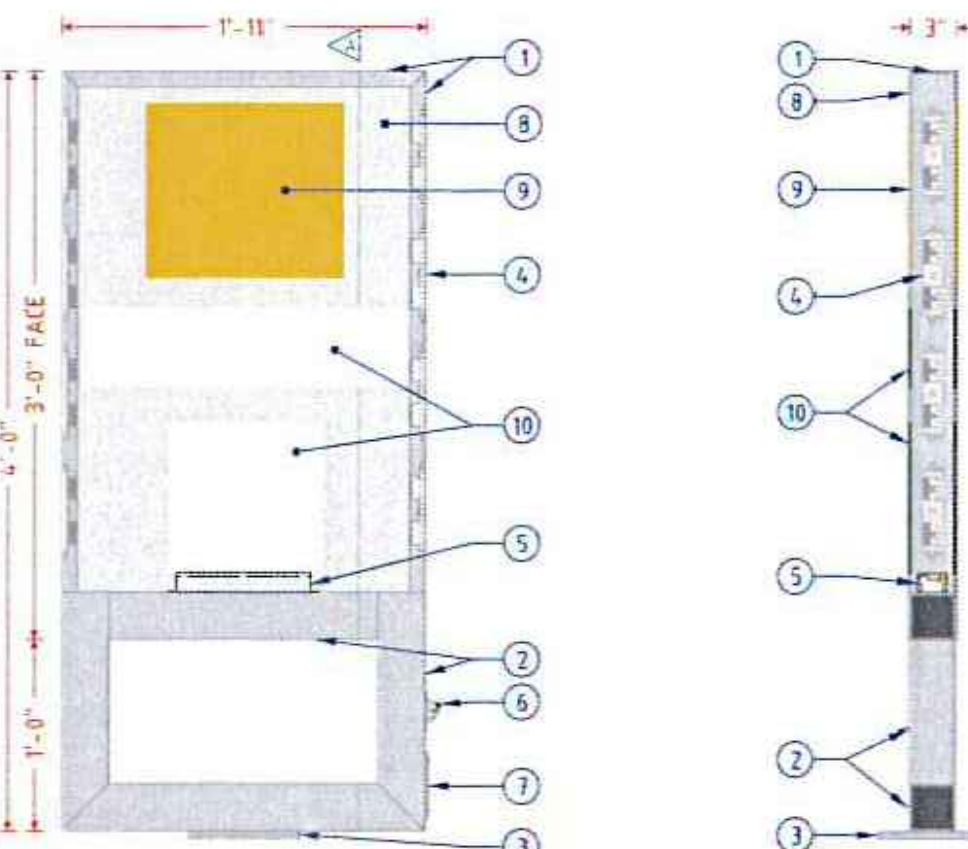
MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
 - BASE PLATE - PAINT BM 1631 MIDNIGHT OIL
 - TUBE AND TOP ACM - PAINT CHARCOAL
 - SPRINGBOARD TIP AND UNDERSIDE - PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS

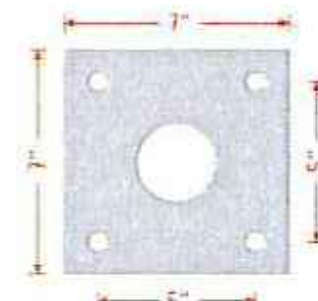
ORDER HERE CANOPY (COD) DETAIL

NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"



FRAME & LAMP DETAIL

CROSS SECTION A-A



1/2" X 7" X 7" ALUMINUM PLATE
5/8" BOLT HOLES
2 1/2" CENTER HOLE

PLATE DETAIL

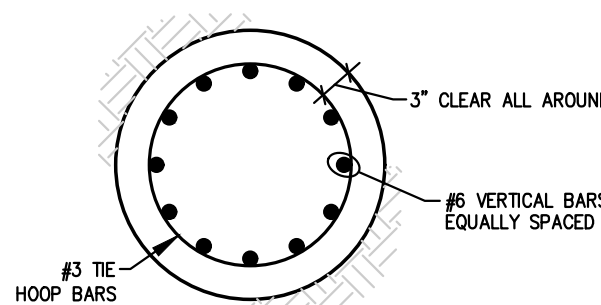


NEW GEN DIRECTIONAL SIGN DETAILS

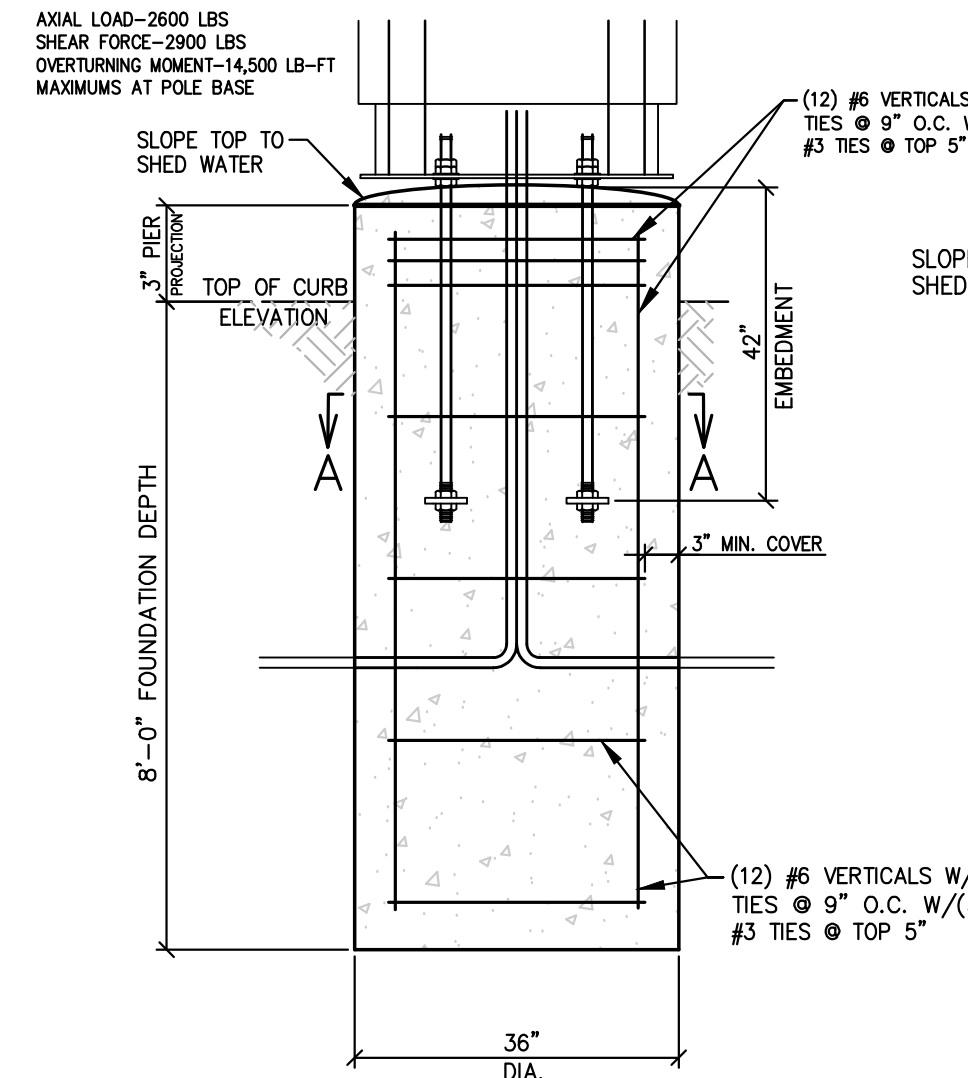
NOT TO SCALE WIND SPEED: 115 MPH EXPOSURE "C"

NOTES:

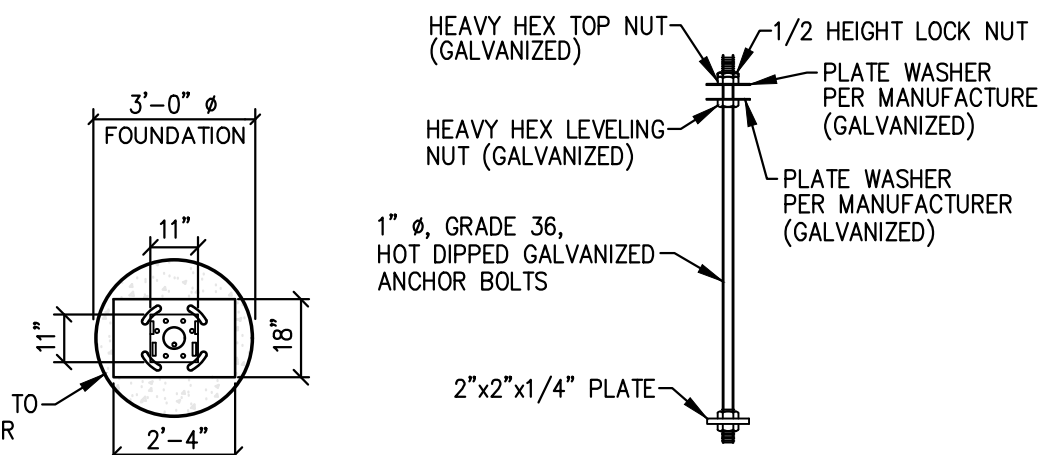
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.



SECTION A-A
N.T.S.



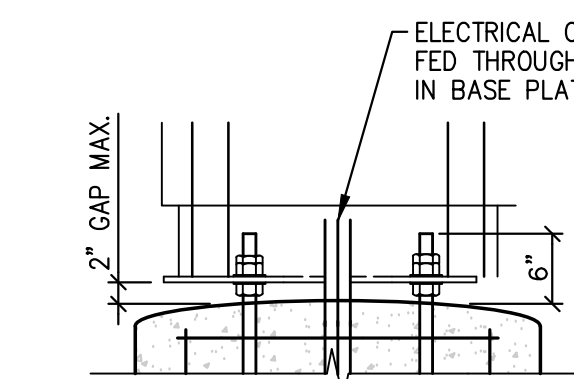
FOUNDATION
ORDER HERE CANOPY
N.T.S.



ANCHOR BOLT PATTERN
N.T.S.

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS
N.T.S.

ORDER HERE CANOPY FOUNDATION DETAIL

N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"

GENERAL NOTES:

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2015
 - ASCE 7-10
 - ACI 318-14
- WIND SPEED 115 MPH (ULTIMATE WIND SPEED)
- EXPOSURE C
- 50 PSF SNOW LOADING
- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100 PSF/FT (X2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING IN TO ACCOUNT ACTUAL SITE SOIL CONDITIONS
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

CONCRETE:

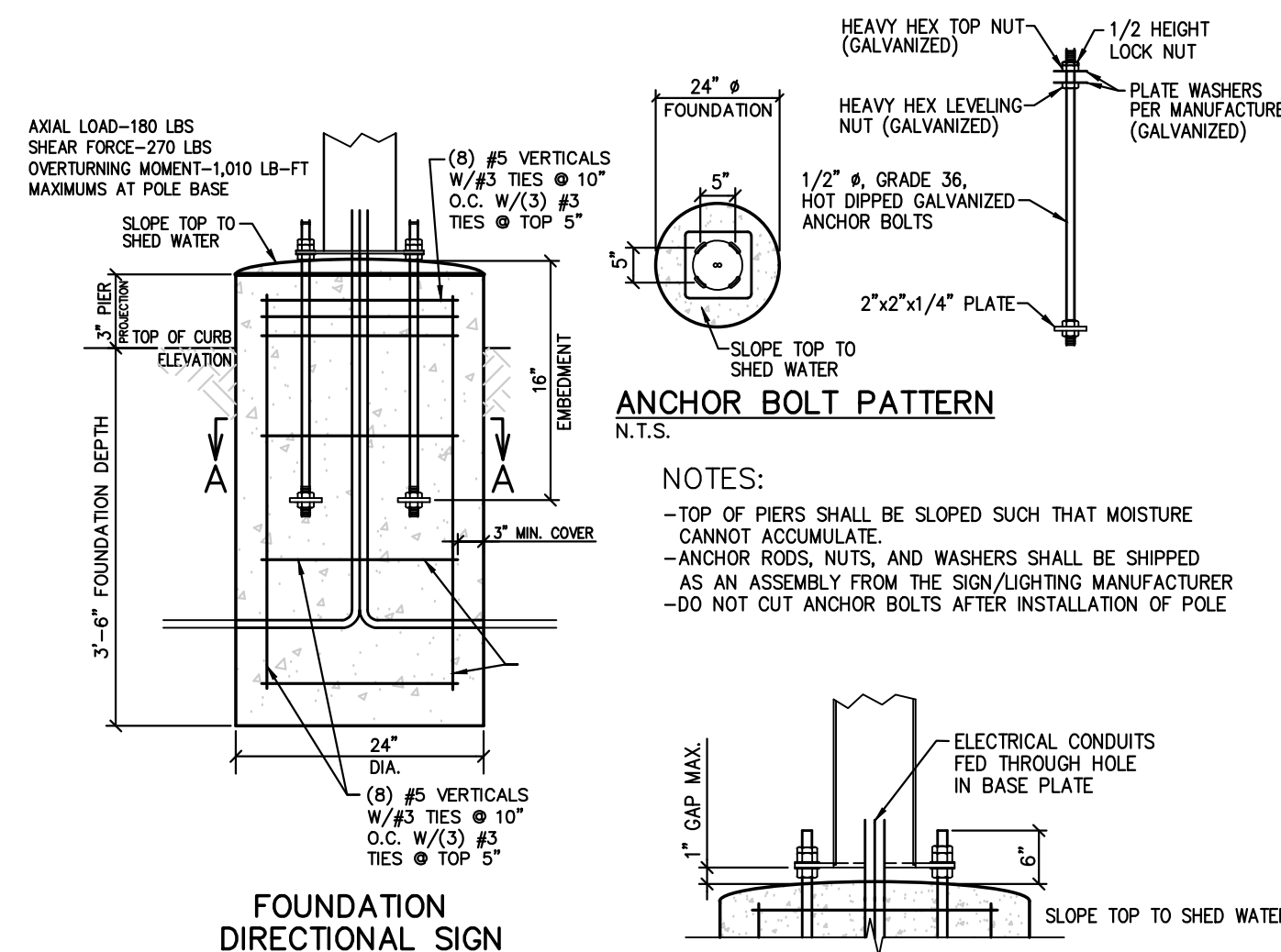
- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
- MINIMUM CONCRETE STRENGTH (F'c=3,000 PSI) SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTERTAINMENT SHALL CONFORM WITH MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5 PERFORMED BY GENERAL CONTRACTOR
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALD'S CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E
- CAST CONCRETE DIRECTLY AGAINST EXCAVATED HOLE SIDES
- ASTM A-615, GR 60 REBAR, BLACK

STEEL:

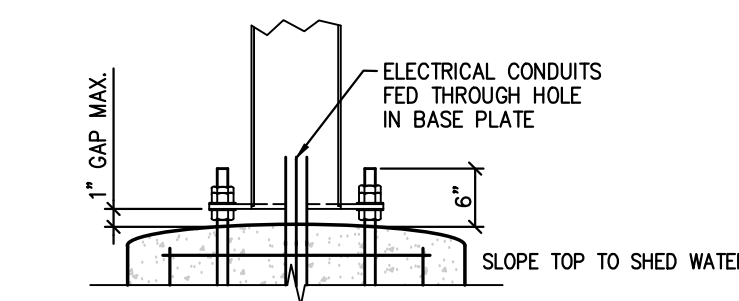
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35 KSI)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy= 42 KSI)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy= 46 KSI)
- HEADED ANCHOR RODS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60- BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C OT DIPPED GALVANIZED BOLTS AND FASTENERS.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1
- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION

NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- USE F1554 GRADE 36 BOLTS MINIMUM
- USE HOT DIPPED GALVANIZED BOLTS
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
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FOUNDATION
DIRECTIONAL SIGN
N.T.S.

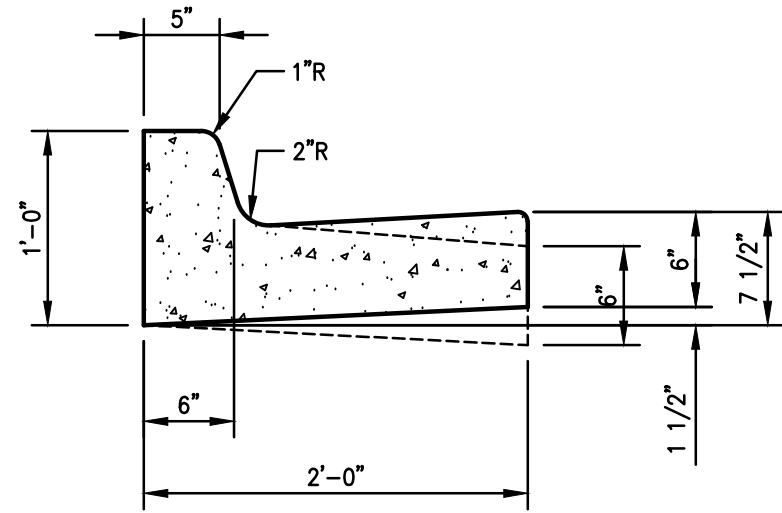


CONNECTION DETAILS
N.T.S.

DIRECTIONAL SIGN FOUNDATION DETAIL

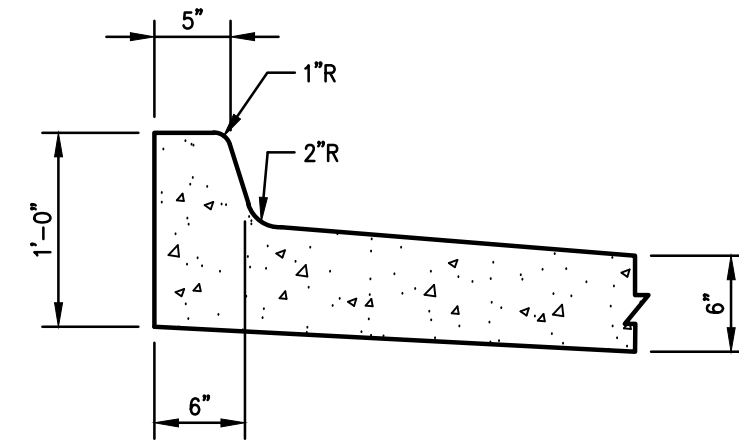
N.T.S. WIND SPEED: 115 MPH EXPOSURE "C"

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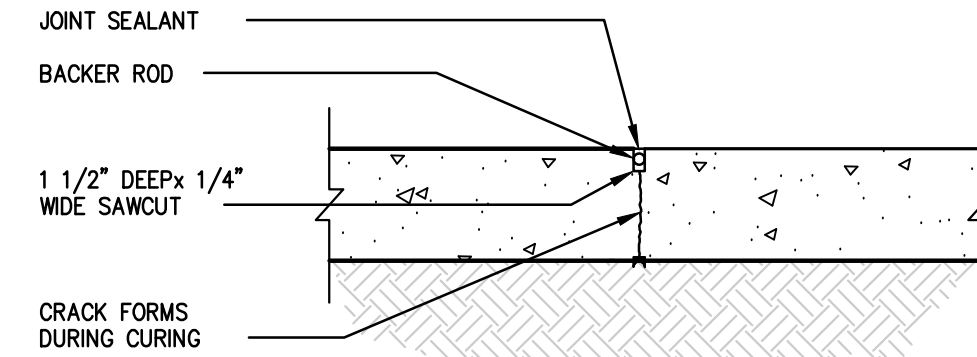


NOTES:
1. PROVIDE CONTRACTION JOINTS @ 15' CC & EXPANSION JOINTS @ 75' CC
2. REFER TO GRADING PLAN FOR SPILL GUTTER

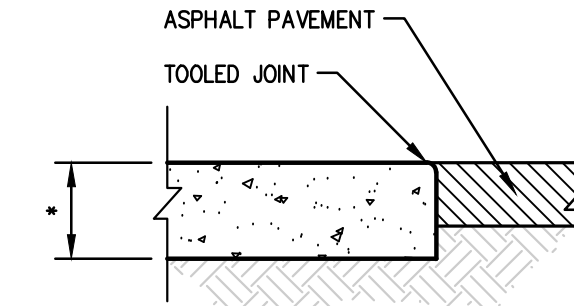
1
SD4 CONCRETE CURB & GUTTER
1" = 1'-0"



2
SD4 INTEGRAL CONCRETE CURB & GUTTER
1" = 1'-0"

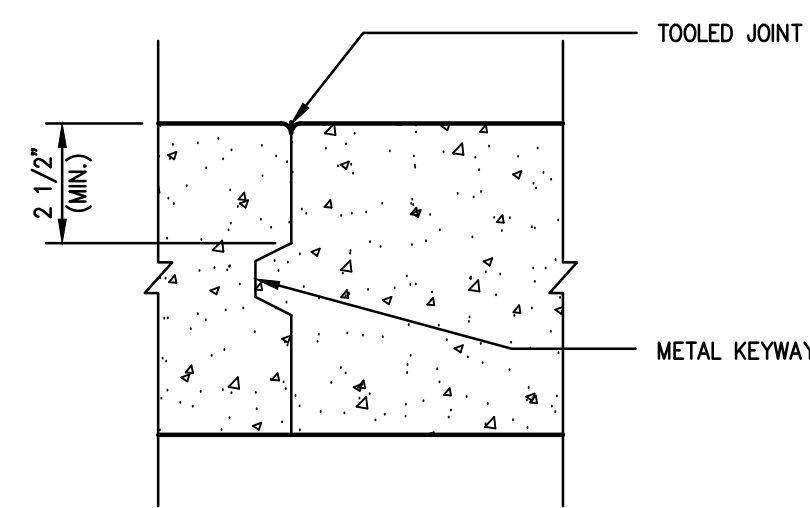


3
SD4 CONTRACTION JOINT
1" = 1'-0"

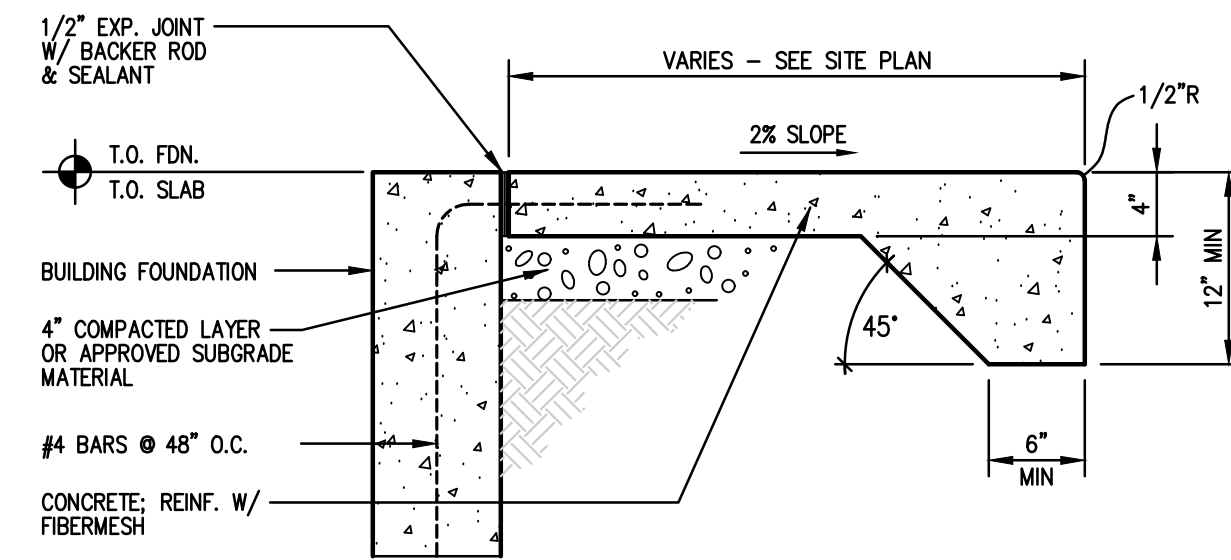


• SEE SITE PLAN

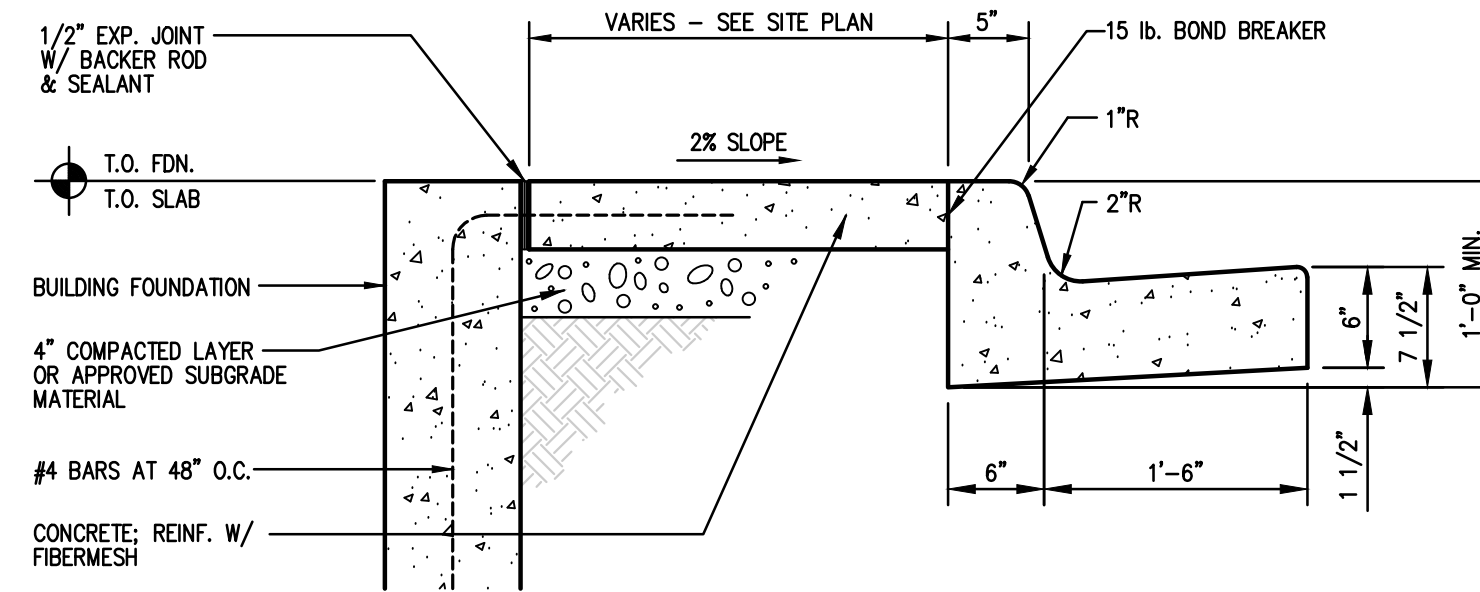
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SD4 TERMINAL JOINT W/ASPHALT PAVEMENT
1" = 1'-0"



5
SD4 CONSTRUCTION JOINT
3" = 1'-0"

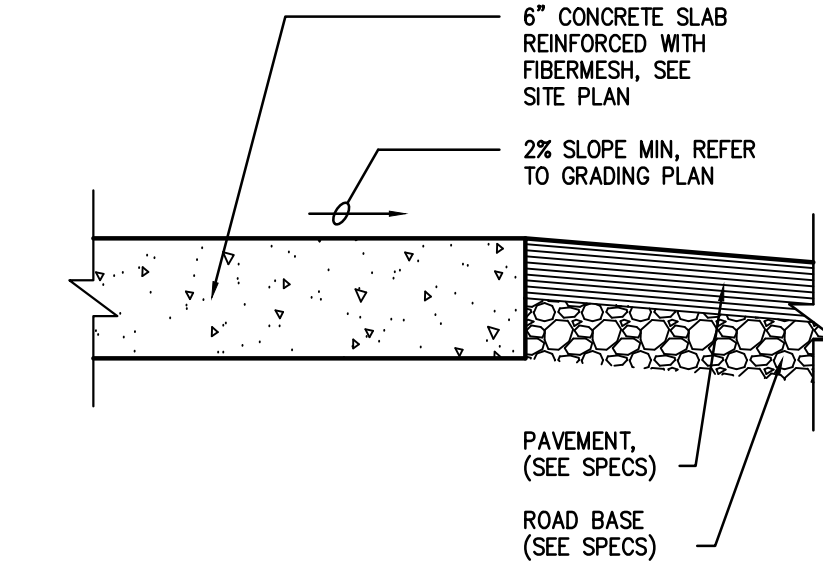


6
SD4 SIDEWALK AT BACK OF BUILDING
1" = 1'-0"



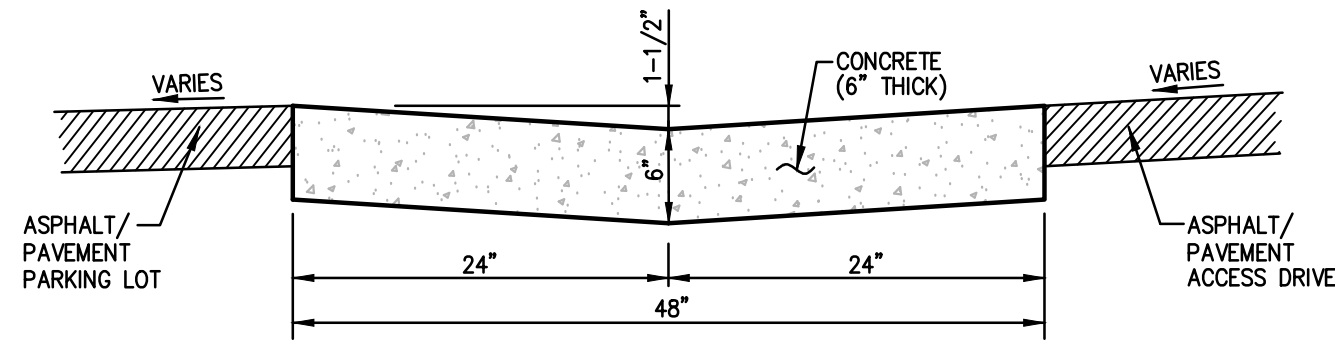
NOTES:
1. PROVIDE CONTRACTION JOINTS AT 15' C.C. AND EXPANSION JOINTS AT 75' C.C.

7
SD4 CONCRETE BUILDING WALK
1" = 1'-0"

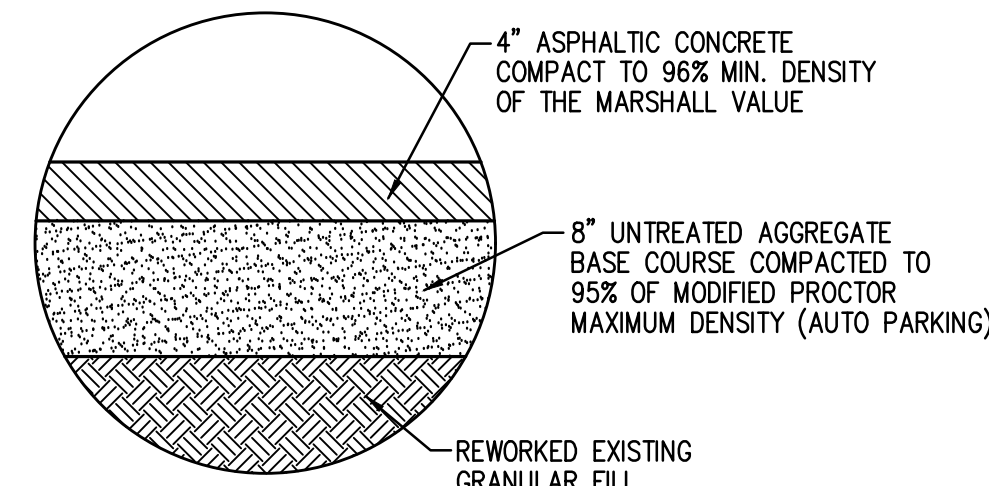


NOTE:
SLOPE PAVEMENT FOR PROPER DRAINAGE, SEE GRADING PLAN

8
SD4 DRIVE THRU LANE DETAIL
1-1/2" = 1'-0"

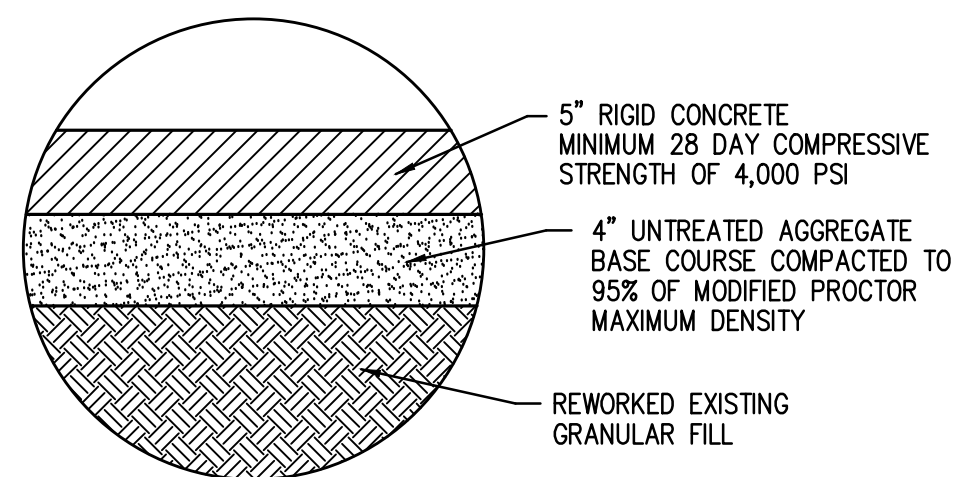


9
SD4 48" CONCRETE WATERWAY
1" = 1'-0"



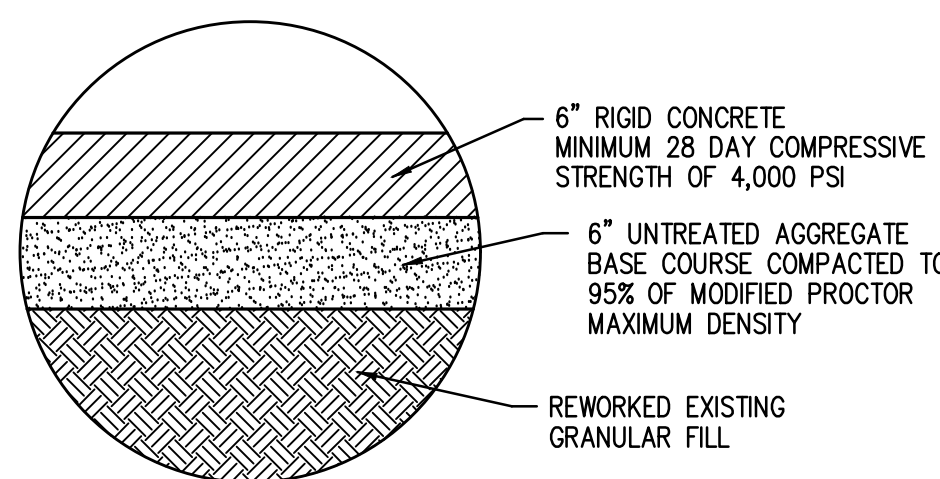
NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

10
SD4 ASPHALT FLEXIBLE PAVEMENT SECTION
N.T.S.



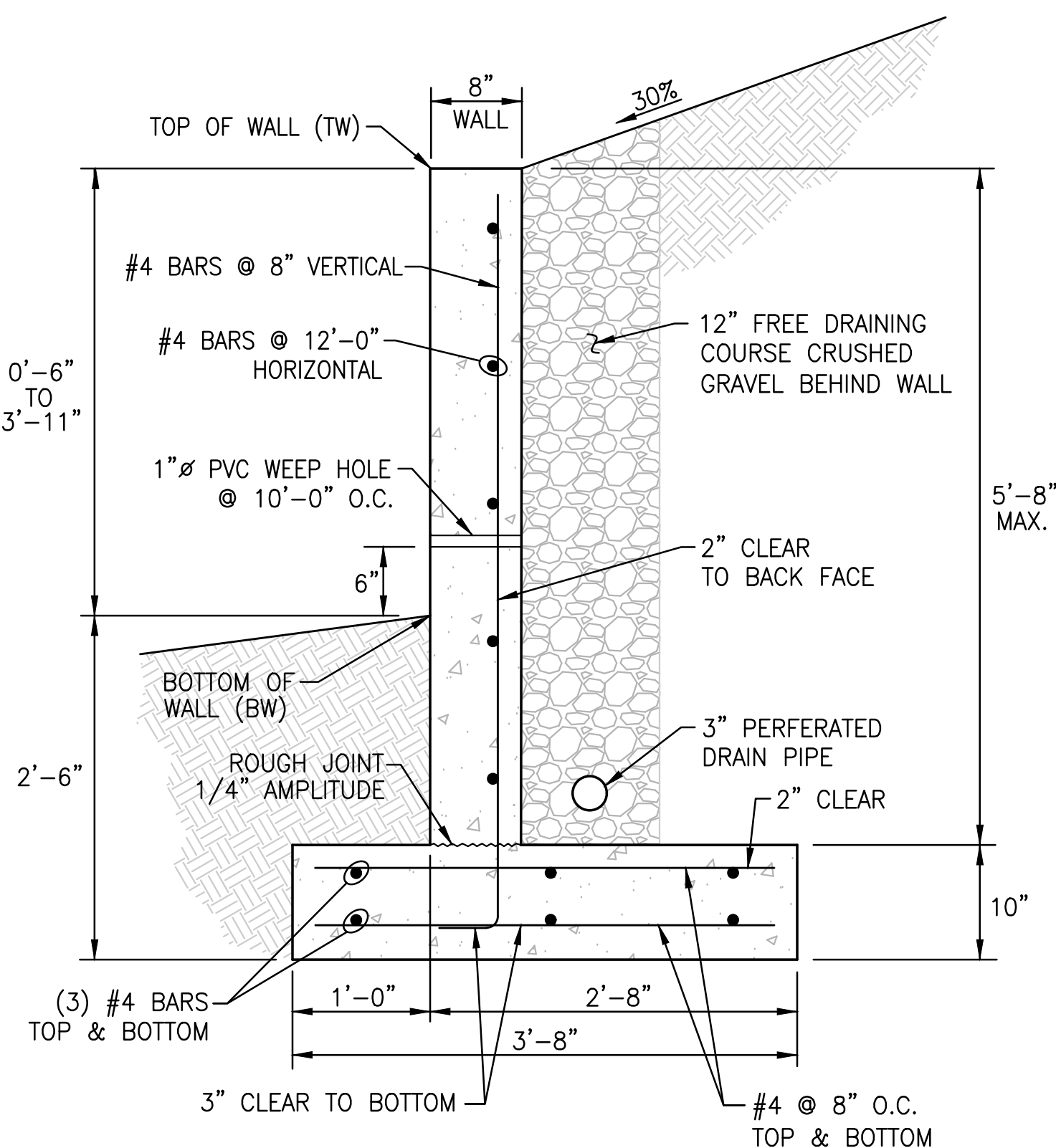
NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

11
SD4 CONCRETE RIGID PAVEMENT SECTION
N.T.S.



NOTE:
SUBGRADE PREPARATION SHOULD INCLUDE REWORKING AND COMPACTING THE UPPERMOST 12-INCHES OF NATIVE SOILS TO A MINIMUM OF 95 PERCENT OF THE MDD AS DETERMINED BY ASTM D-1557.

12
SD4 CONCRETE RIGID PAVEMENT SECTION
AT DUMPSTER LOCATION
N.T.S.



13
SD4 TYPICAL CONC. RETAINING WALL DETAIL
1"=1'-0"

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REGISTERED PROFESSIONAL ENGINEER
No. 8030527
JEREMY RICK HANSON
04/15/22
STATE OF UTAH

DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

PREPARED BY:
MCDONALD'S CORPORATION
KROC DRIVE - SAN BROOK, ILLINOIS 60501
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OFFICE ADDRESS
DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237

TITLE
MCDONALD'S SITE IMPROVEMENT PLANS
SANTAQUIN, UTAH

DESCRIPTION
MISCELLANEOUS SITE DETAILS

SHEET NO.
SD-4

SITE ID
043-0320

SITE ADDRESS
550 E. MAIN STREET, SANTAQUIN, UTAH

Job# 3308 | File Name: SD-5 Miscellaneous Site Details.dwg | Plot Date: April 15, 2022 |
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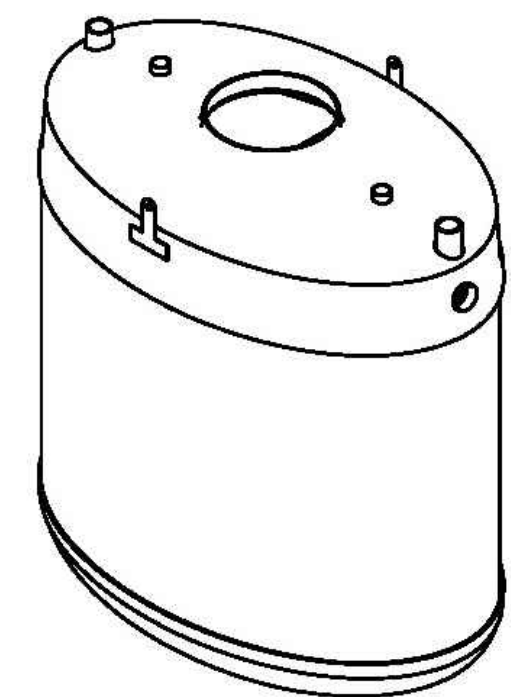
NOTES:

1. FOR GRAVITY APPLICATIONS ONLY
2. ALL PROCEPTOR UNITS ARE MANUFACTURED WITH FIBERGLASS REINFORCED PLASTICS. PHYSICAL CHARACTERISTICS AND DIMENSIONS:
 - 3. POLYESTER RESIN AND E GLASS
 - 4. MINIMUM THICKNESS 1/4" WALL AND 38" TOP AND BOTTOM BOWLS
 - 5. ALL PROCEPTOR UNITS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTION.
6. STANDARD PIPING IS SCH. 40 PVC
7. CMC500C 500 - 3000 INCHES CAN STANDARD WITH 4" INLET AND 4" OUT (OTHER PIPE SIZES ARE AVAILABLE UPON REQUEST)
8. EXTENSION COLLAR TO BE ORDERED TO MEET FINISHED GRADE, CUT ON SITE FOR FINAL ADJUSTMENT AND CAULKED WITH SIKAFLEX CONTRACTOR GRADE POLYURETHANE SEALANT
9. COVERS AVAILABLE FOR ABOVE TRAFFIC LOADING, PEDESTRIAN LOADING OR H20 TRAFFIC LOADING.
10. CONSULT GREEN TURTLE FOR COVER SIZES.
11. 30 YEAR WARRANTY AGAINST LEAKS AND STRUCTURAL FAILURE
12. U.S. PATENT #5,746,912; CDN PATENT # 2,195,922

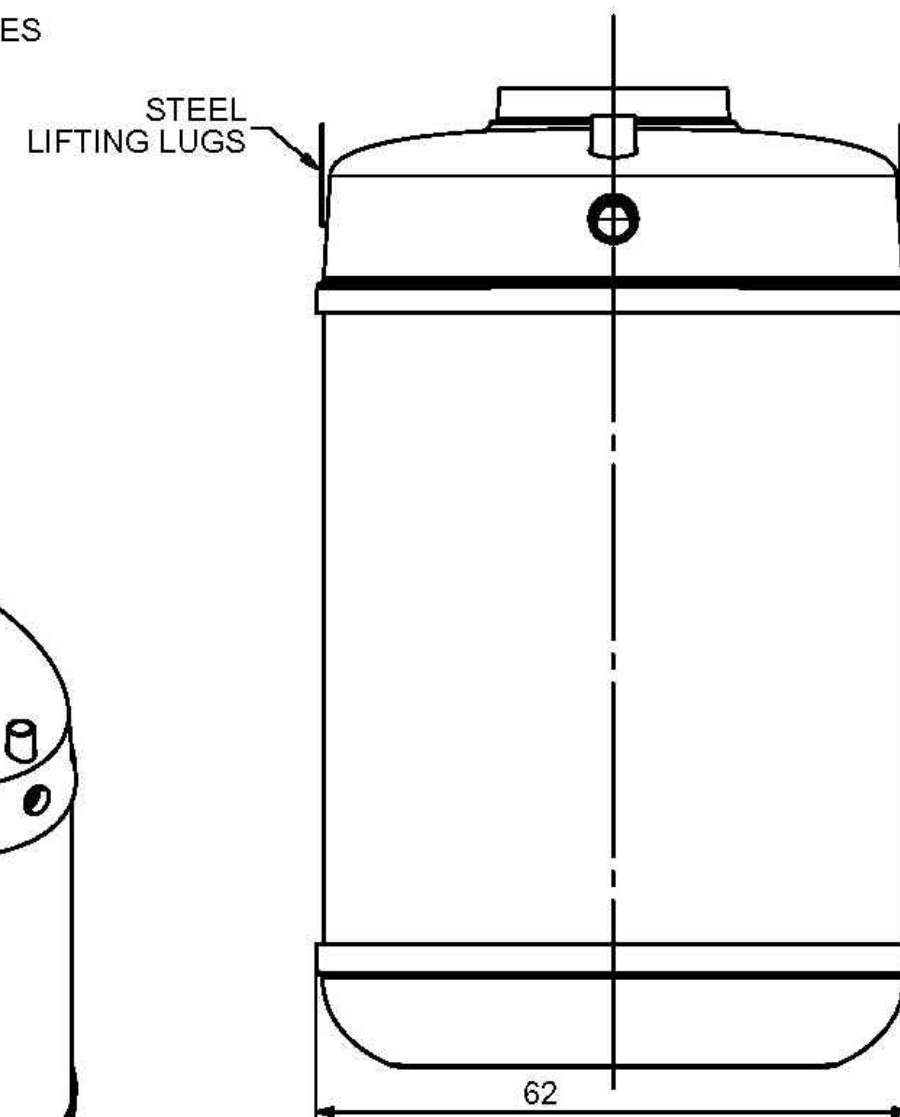
SPECIFICATIONS

PIPE SIZE: 4 INCH PVC SCH 40
INSTALLATION: BURIED
ACCESSWAY SIZE: 24 INCHES

OPTIONS



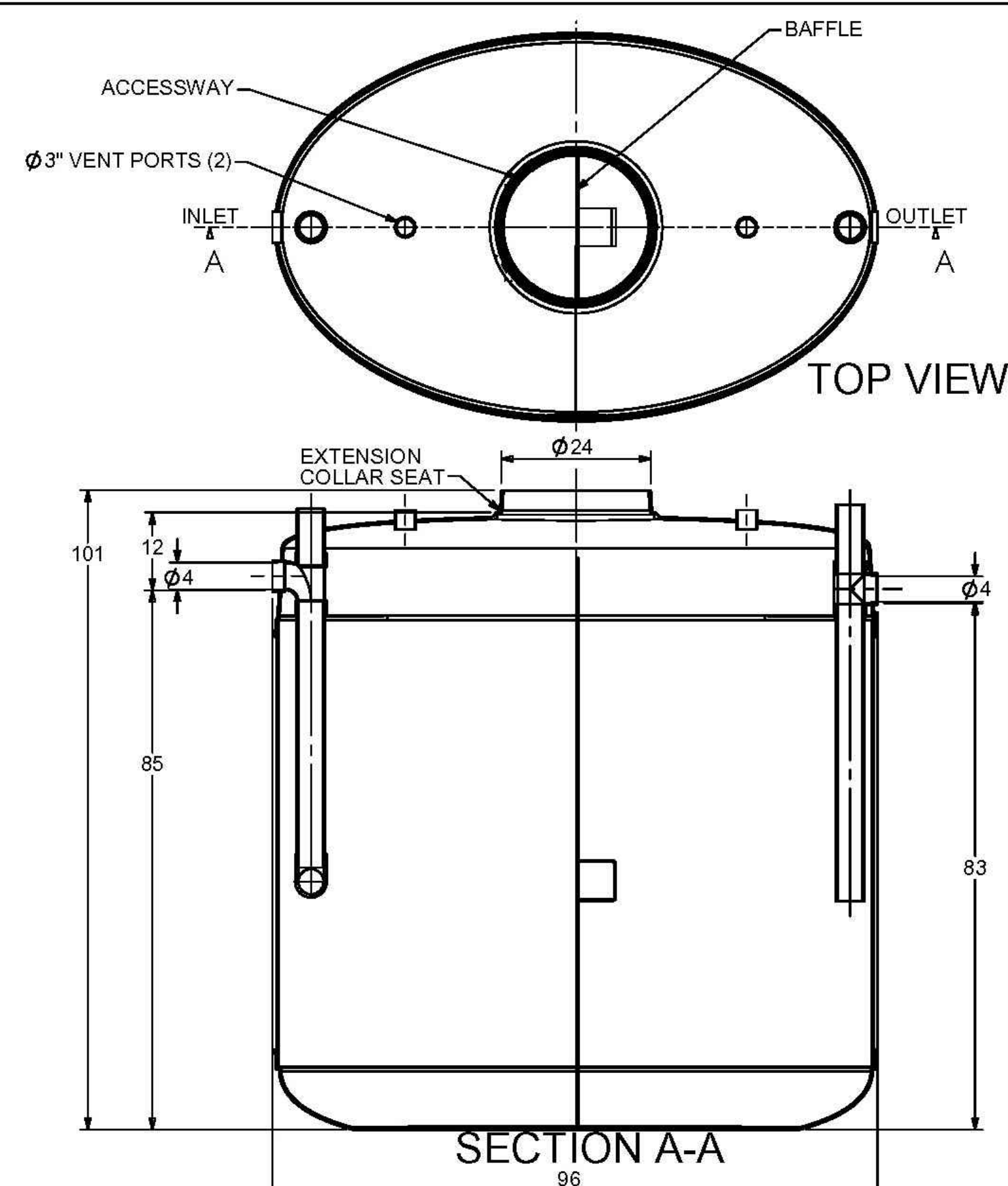
ISOMETRIC VIEW



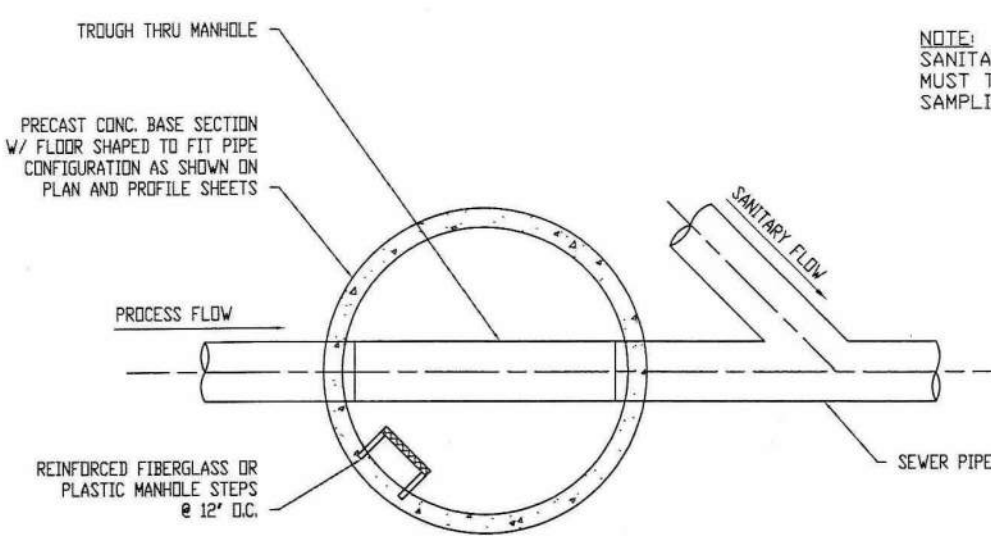
SIDE VIEW

TOTAL WET VOLUME:	1500 GAL
MAX. OIL CAPACITY:	819 GAL
MAX SOLIDS CAPACITY:	540 GAL

CONSULT LOCAL AUTHORITIES FOR
MINIMUM SIZE OF SEPARATORS



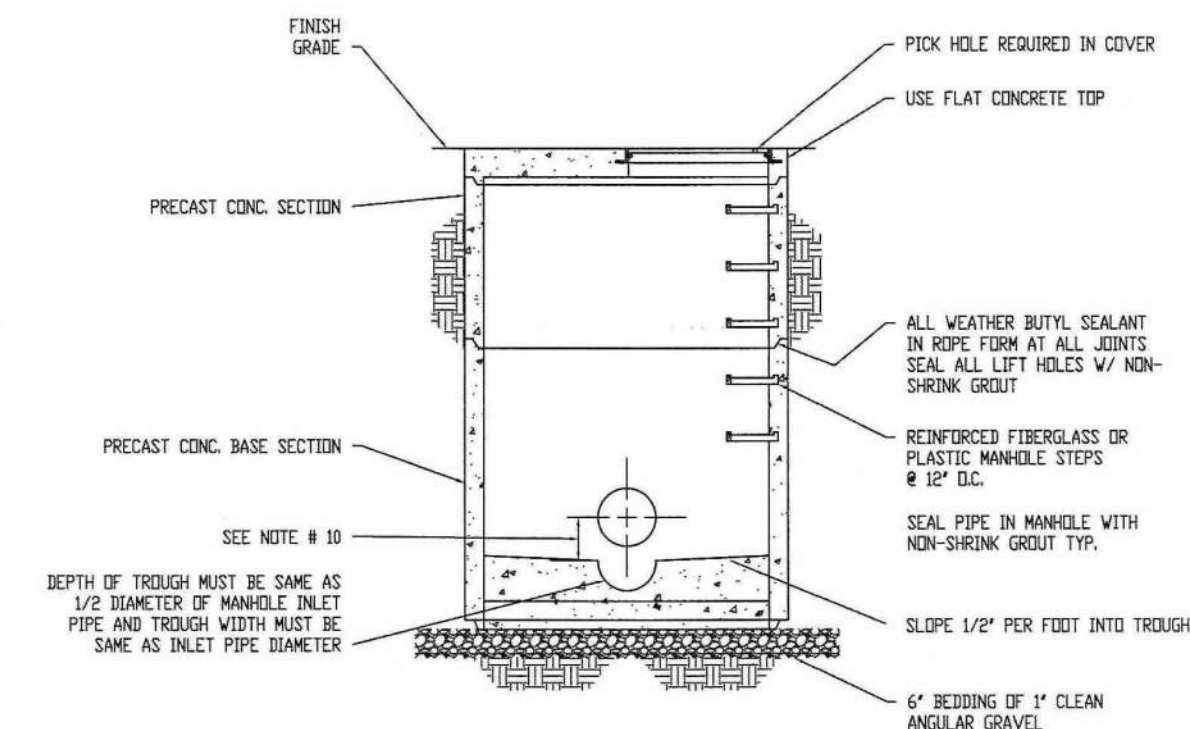
TOP VIEW



PLAN - MANHOLE

NONE

NOTE:
SANITARY PIPING FROM TOILETS
MUST TIE IN DOWNSTREAM FROM
SAMPLING MANHOLE.



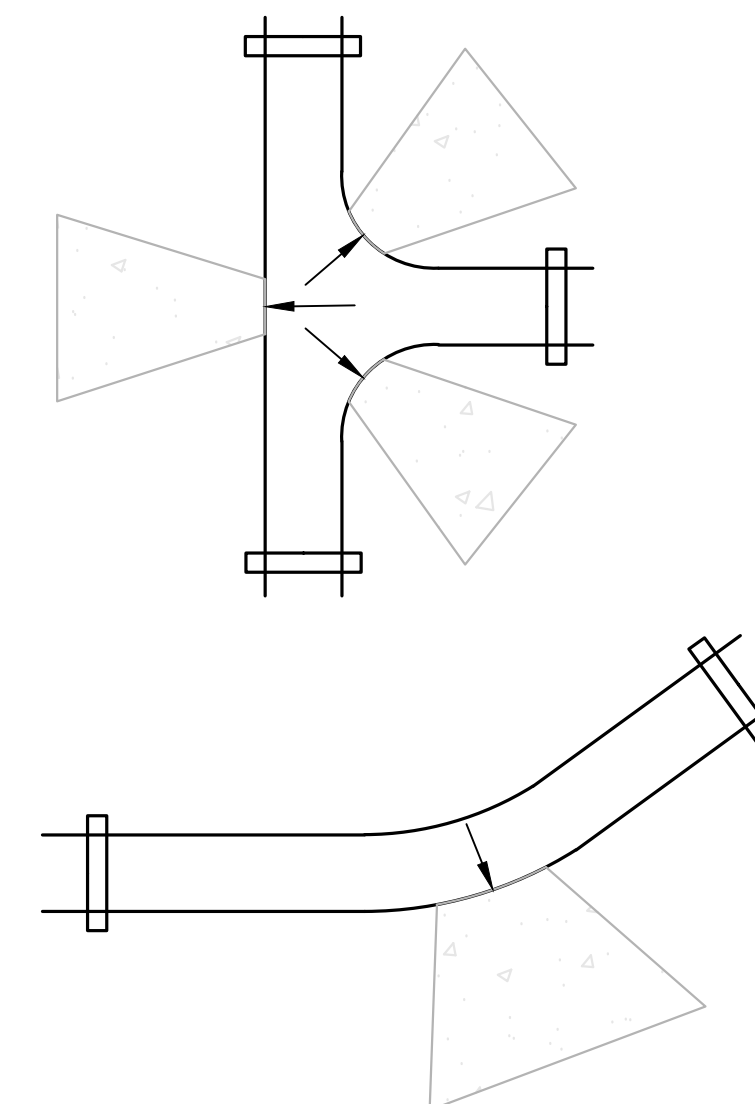
SECTION - MANHOLE

NONE

- NOTES:
1. PIPING, CLEANOUT CONFIGURATION, SIZE AND TYPE OF PIPING MATERIAL AS PER CITY OR ADOPTED SANITARY INSPECTION BY SVAPR PRIOR TO BACKFILLING IS REQUIRED.
2. WIDTH OF TROUGH IN THE MANHOLE MUST BE THE SAME SIZE AS THE INLET PIPE INTO MANHOLE. DEPTH OF TROUGH MUST BE THE SAME AS $\frac{1}{2}$ OF INLET PIPE DIAMETER.
3. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
4. REINFORCEMENT STEEL SHALL BE ASTM A615 GRADE 60.
5. THE CONCRETE COVER OVER REINFORCEMENT STEEL SHALL BE A MINIMUM OF $\frac{1}{2}$ INCHES.
6. THE STRUCTURE SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF UTAH.
7. THE STRUCTURE SHALL BE DESIGNED FOR THE FOLLOWING LOADING CRITERIA:
 - a. WALLS DESIGNED FOR A SATURATED EQUIVALENT FLUID AT-REST SOIL PRESSURE OF 90 PCF PLUS TRUCK TRUCKLOAD.
 - b. TRUCK LOADING USING AN 80,000 LB-20 TON TRUCK LOAD.
8. MANHOLES OVER 4 FEET IN DEPTH WILL HAVE STAINLESS OR PLASTIC STEPS.
9. ALL MANHOLES MUST HAVE ROUND NOTCHED COVERS WITH PICK HOLE FOR REMOVAL.
10. FOR NEW CONSTRUCTION, BOTTOM OF INLET PIPE INTO MANHOLE MUST BE AT LEAST 9 INCHES ABOVE THE BOTTOM OF THE TROUGH THRU THE MANHOLE.

SAMPLING MANHOLE – EXAMPLE DETAIL

N.T.S.



NFPA THRUST BLOCK DATA



THRUST BLOCK SIZE CHART

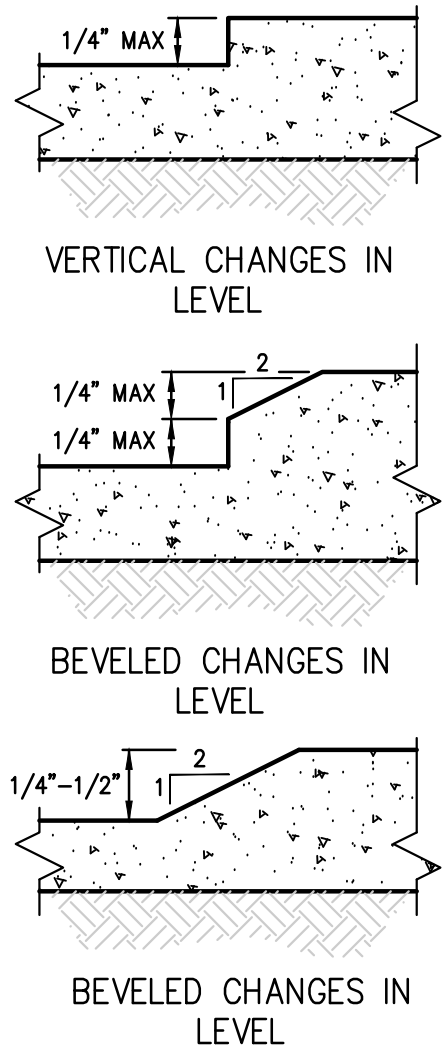
FEATURE	SIZE (IN)	BEARING AREA FT ²
45° BEND	6"	2.9
TFF / DEAD END	6"	5.4

Note: See Table A.10.6.1(b) in the 2019 NFPA 24 Standards for more information.

THRUST BLOCK DETAILS

N.T.S.

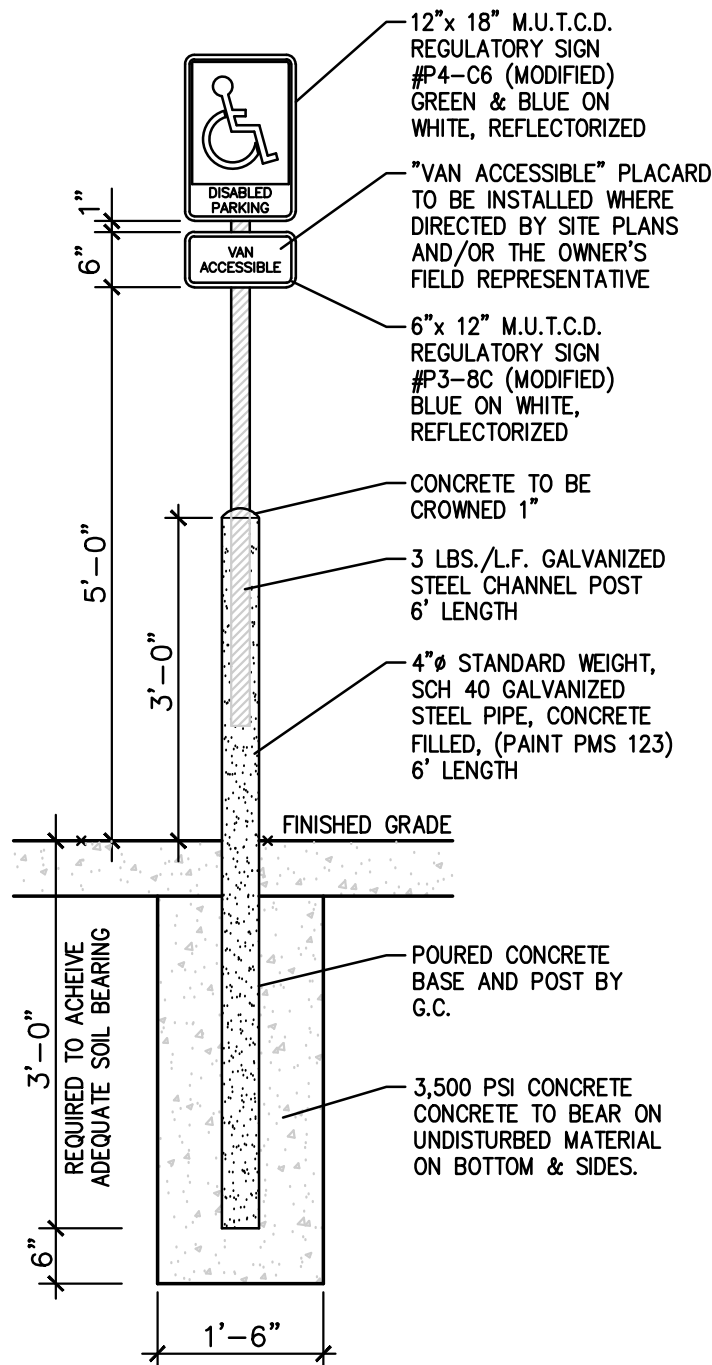
SHEET NO.	TITLE	PREPARED FOR:	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ADDRESS	SITE ID	REV	DATE	DESCRIPTION
	SD-5	McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH	—	—	—	—	—	—	—	—	—	—
DESCRIPTION		<p>McDONALD'S CORPORATION  1600 S. MAIN STREET, SUITE 100, SALT LAKE CITY, UTAH 84143 © 1995 McDonald's Corporation</p> <p>THESE DRAWINGS AND ALL INFORMATION HEREON ARE THE SOLE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION. THESE DRAWINGS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES, LOSSES, AND EXPENSES OF ANY KIND, INCLUDING ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.</p>										
MISCELLANEOUS SITE DETAILS		<p>PREPARED BY: DOMINION Engineering Associates, L.C.  5654 South Green Street Murray, Utah 84123 801-713-3000</p> <p>REGISTERED PROFESSIONAL ENGINEER No. 80306527 JEREMY RICK HANSON 04/15/22 STATE OF UTAH</p>										
SITE ID		<p>043-0320 550 E. MAIN STREET, SANTAQUIN, UTAH</p>										
DATE ISSUED		<p>DENVER REGION: 4643 S. ULSTER ST., SUITE 1300, DENVER, CO 80237</p>										



NOTE:
CHANGES IN LEVEL GREATER THAN 1/2" HIGH SHALL BE RAMPED.

ACCESSIBLE CHANGES IN LEVEL

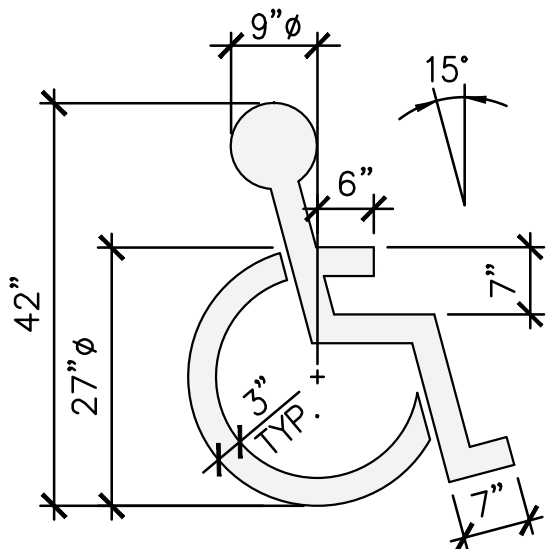
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NOTE:
INSTALL CONCRETE BOLLARD
WHERE VEHICLES ABUT.

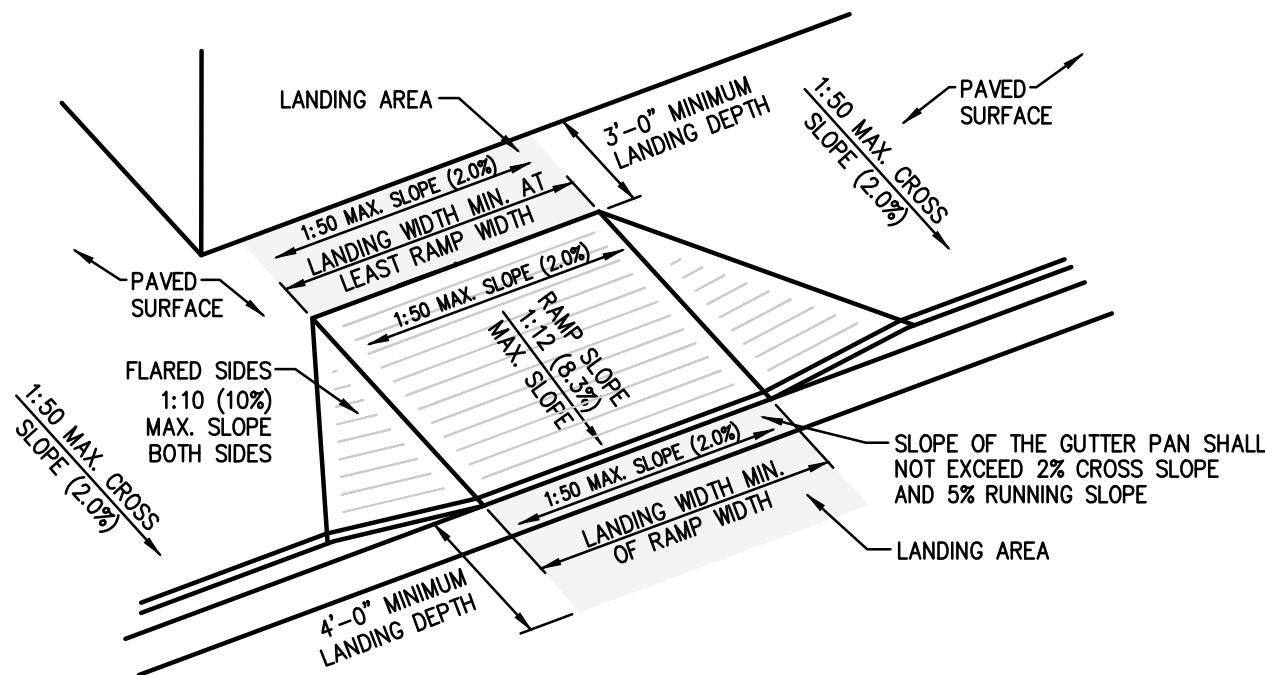
"HANDICAP PARKING-ONLY" SIGN

N.T.S.



PAINTED HANDICAPPED PARKING SYMBOL (ADA)

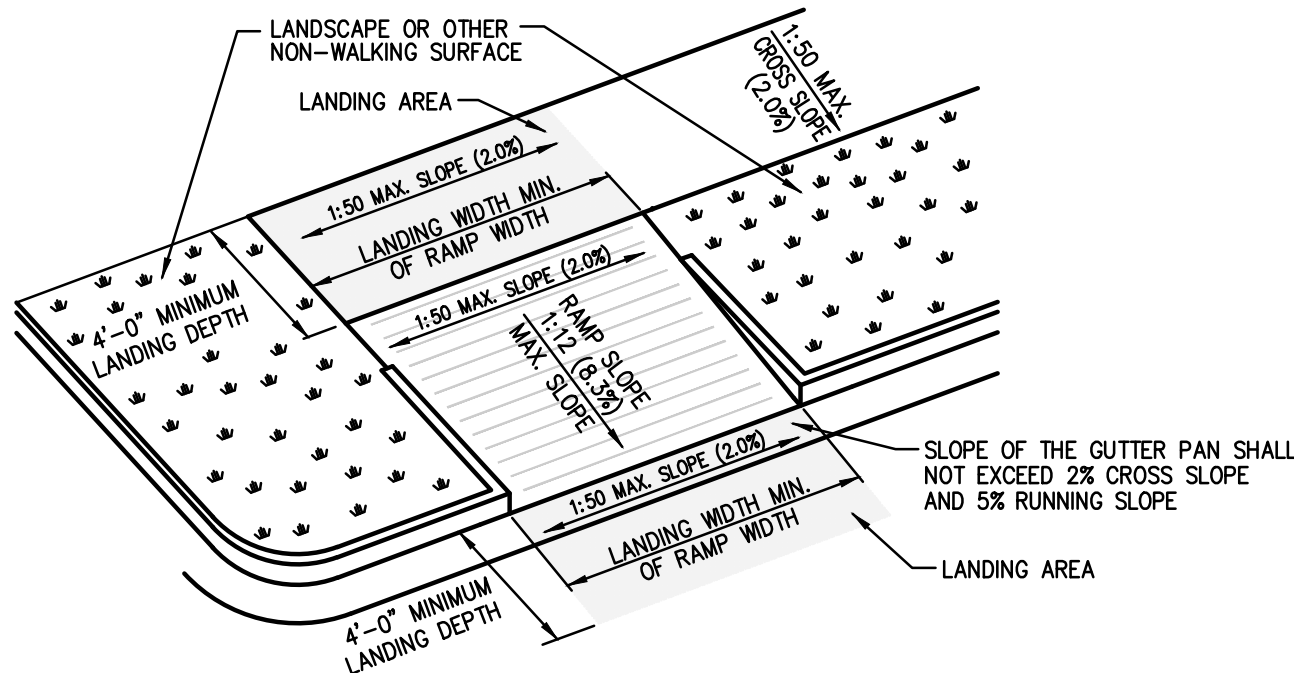
N.T.S.



- NOTES:
1. CROSS SLOPE OF RAMP SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 2. SLOPE OF LANDING SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 3. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES
 4. LANDING AREAS SHALL HAVE NO SLOPE GREATER THAN 1:50 (2.0%)

TYPICAL CURB RAMP IN PAVEMENT AREA

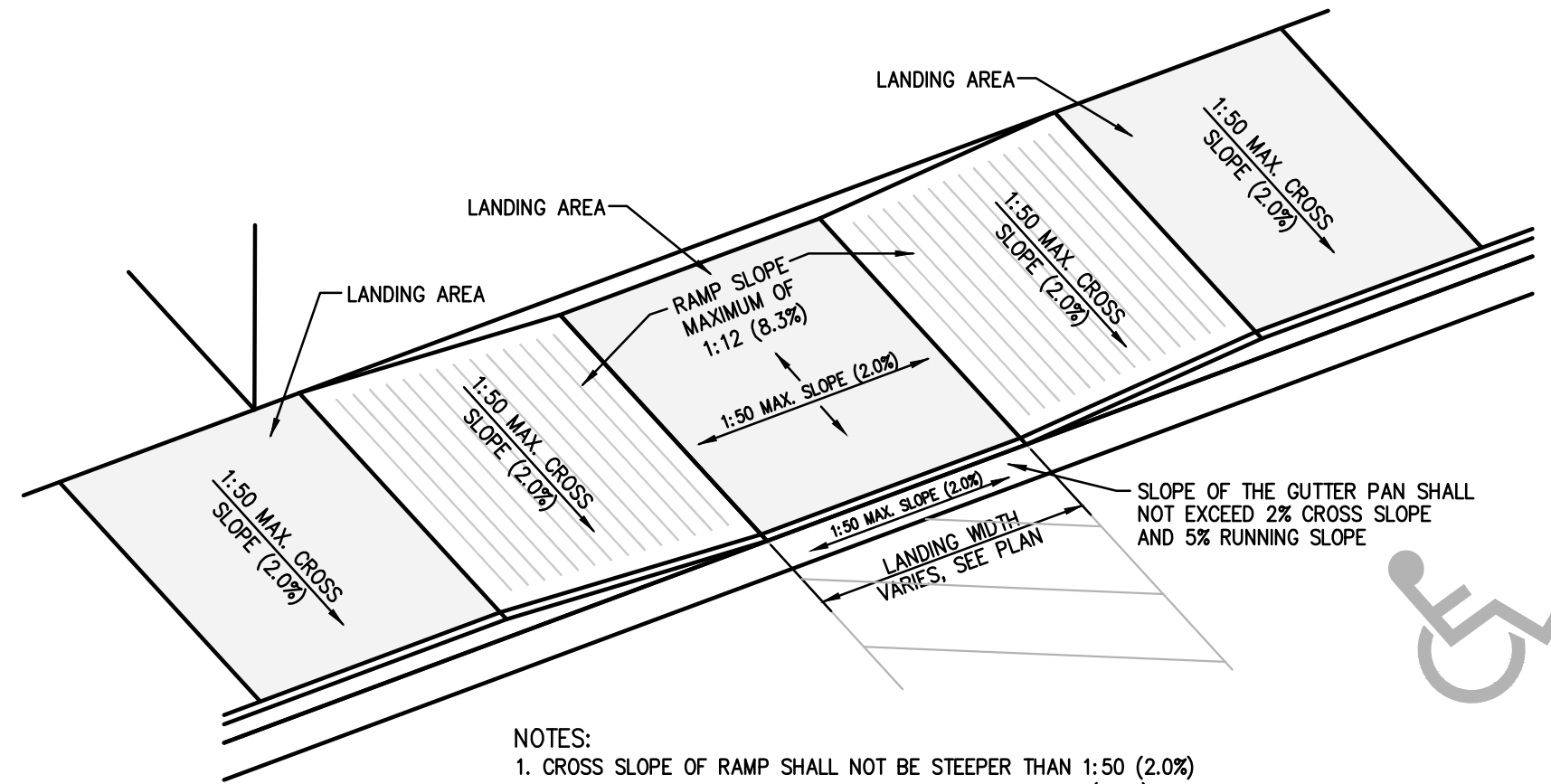
N.T.S.



- NOTES:
1. CROSS SLOPE OF RAMP SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 2. SLOPE OF LANDING SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 3. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES
 4. LANDING AREAS SHALL HAVE NO SLOPE GREATER THAN 1:50 (2.0%)

TYPICAL CURB RAMP IN LANDSCAPE AREA

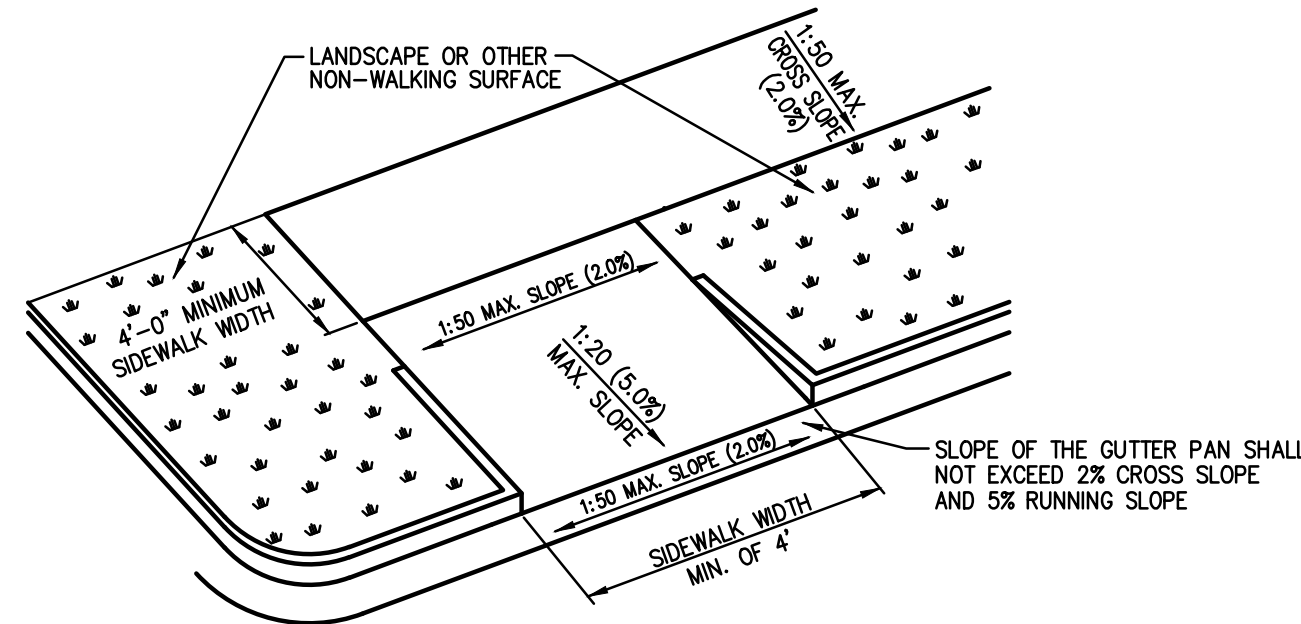
N.T.S.



- NOTES:
1. CROSS SLOPE OF RAMP SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 2. SLOPE OF LANDING SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 3. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES
 4. LANDING AREAS SHALL BE A MINIMUM OF 48" DEEP AND HAVE NO SLOPE GREATER THAN 1:50 (2.0%)

TYPICAL ACCESSIBLE PARKING RAMP

N.T.S.

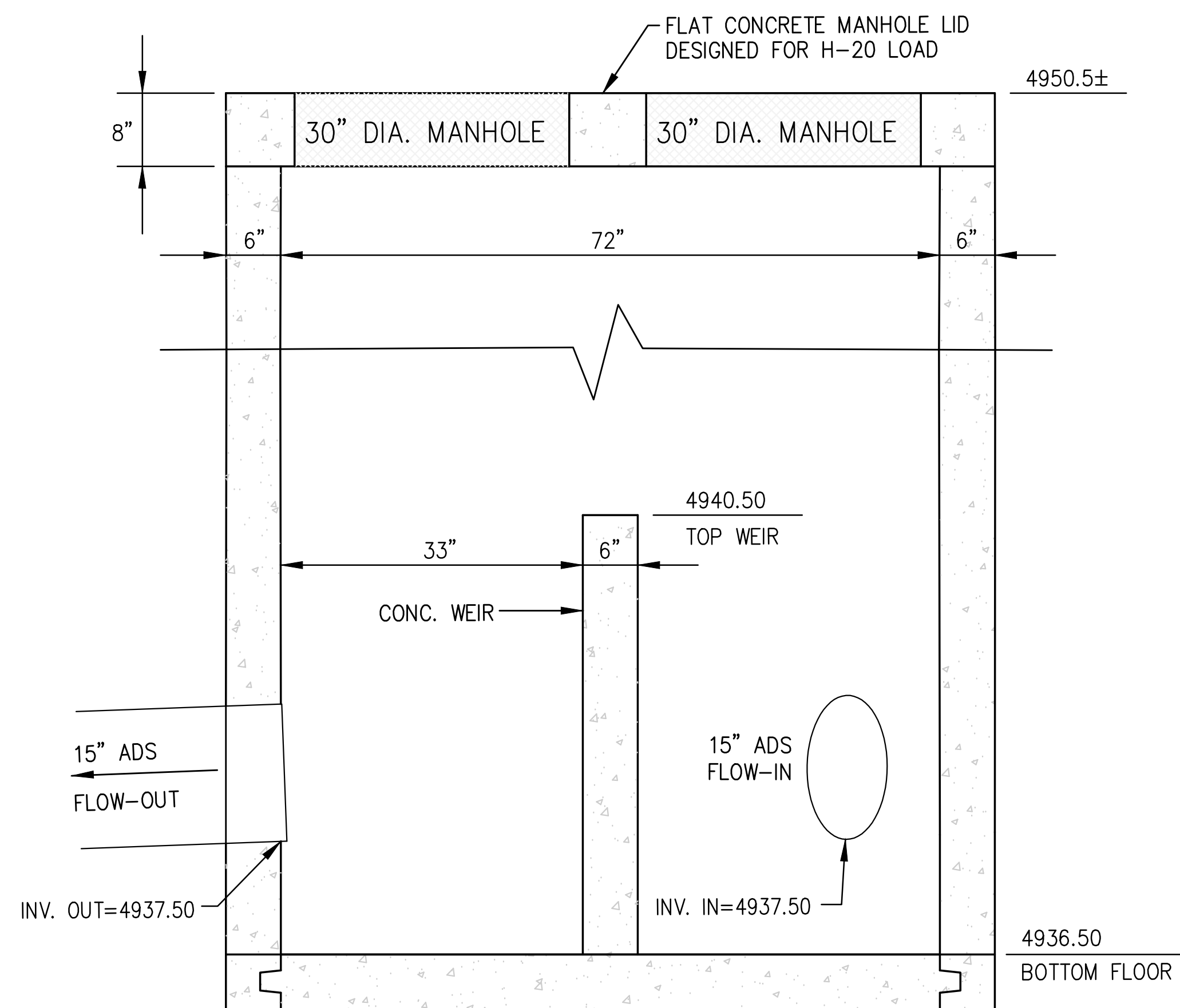


- NOTES:
1. CROSS SLOPE OF RAMP SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 2. SLOPE OF LANDING SHALL NOT BE STEEPER THAN 1:50 (2.0%)
 3. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES
 4. LANDING AREAS SHALL HAVE NO SLOPE GREATER THAN 1:50 (2.0%)

TYPICAL SIDEWALK CURB-CUT IN LANDSCAPE AREA

N.T.S.

SHEET NO.		TITLE		DRAWN BY		PREPARED FOR:		PREPARED BY:		REVISED		DATE		DESCRIPTION		BY	
SD-6		McDONALD'S SITE IMPROVEMENT PLANS SANTAQUIN, UTAH		-		McDONALD'S CORPORATION 1850 S. 1160 E. UTAH 84002-60021		JEREMY RICK HANSON 04/6/71		-		-		-		-	
DESCRIPTION		ADA SITE DETAILS		DATE REVIEWED		DATE REVIEWED		DATE REVIEWED		DATE REVIEWED		DATE REVIEWED		DATE REVIEWED		DATE REVIEWED	
SITE ID		SITE ADDRESS		DATE ISSUED		DATE ISSUED		DATE ISSUED		DATE ISSUED		DATE ISSUED		DATE ISSUED		DATE ISSUED	
043-0320		550 E. MAIN STREET, SANTAQUIN, UTAH		-		-		-		-		-		-		-	



72" PRECAST MANHOLE DETAIL

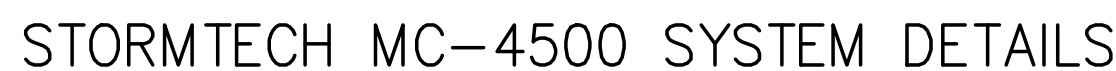


System Volume and Bed Size

Installed Storage Volume:	4005.62 cubic ft.
Storage Volume Per Chamber:	106.50 cubic ft.
Number Of Chambers Required:	19
Number Of End Caps Required:	4
Chamber Rows:	2
Maximum Length:	51.49 ft.
Maximum Width:	19.42 ft.
Approx. Bed Size Required:	963.11 square ft.

System Components

Amount Of Stone Required:	168.90 cubic yards
Volume Of Excavation (Not Including Fill):	249.70 cubic yards
Total Non-woven Geotextile Required:	389.18 square yards
Woven Geotextile Required (excluding Isolator Row):	21.23 square yards
Woven Geotextile Required (Isolator Row):	106.67 square yards
Total Woven Geotextile Required:	127.91 square yards



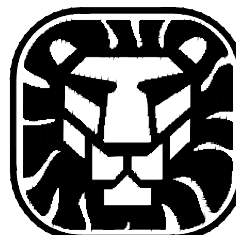
Lapsed Time (min)	Rainfall Intensity (in/hr)	Accumulated Rainfall (in)	Accumulated Flow (cf)	Allowable Discharge (cf)	Infiltration Discharge (cf)	Required Storage (cf)
5	5.04	0.42	1304	0	42.50	1262
10	3.84	0.64	1987	0	85.00	1902
15	3.32	0.83	2577	0	127.50	2450
30	2.24	1.12	3478	0	255.00	3223
60	1.40	1.40	4347	0	510.00	3837
120	0.78	1.56	4944	0	1020.00	3924
180	0.58	1.68	5217	0	1530.00	3687
360	0.32	1.92	5962	0	3060.00	2902
720	0.19	2.28	7080	0	6120.00	960
1440	0.11	2.64	8198	0	12240.00	-4042

McDonalds - Santaquin - Access Road
Drainage Calculations
100 Year, 24 Hour Event
Proposed Detained Basin - East

Lapsed Time (min)	Rainfall Intensity (in/hr)	Accumulated Rainfall (in)	Accumulated Flow (cfs)	Allowable Discharge (cfs)	Infiltration Discharge (cfs)	Required Storage (cfs)
15	4.01	1.00	420	0	0.00	420
30	2.70	1.35	565	0	0.00	565
60	1.67	1.67	699	0	0.00	699
950	0.35	2.08	871	0	0.00	871
720	0.20	2.28	1010	0	0.00	1010
1440	0.13	3.00	1256	0	0.00	1256

Retention in Pond				
Elevation	Area (ft^2)	Volume (ft^3)	Volume (ft^3)	
4945.00	206	0	0	
4946.00	633	420	420	
4947.00	1,136	884	1,304	HIGH WATER
4948.00	1,709	1,422	2,726	TOP OF POND

STORM WATER DRAINAGE CALCULATIONS



DOMINION
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



McDONALD'S
CORPORATION

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VISIT ADDRESS
DENVER REGION: 1643 S. ILLIPER ST SUITE 1300 DENVER CO 80237

TITLE
MCDONALD'S SITE IMPROVEMENT PLANS

STORM DRAINAGE DETAILS & CALCS.

SITE ID	SITE ADDRESS
043-0320	550 E MAIN STREET SANTIAGO, UTAH

SD-7

PLANTING NOTES:

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY, DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 3 NATIVE SOIL, 1/3 TOPSOIL AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. PREPARE SUBGRADE SOIL FOR TURF AND SHRUB / PERENNIAL PLANTER BEDS BY LOOSENING SUBGRADE TO A MINIMUM DEPTH OF 4". REMOVE STICKS, ROOTS, EXTRANEOUS MATTER, AND STONES LARGER THAN 1". THOROUGHLY BLEND SOIL TO A MINIMUM DEPTH OF 6". SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. ALL SOD AREAS, SHRUB BEDS, AND PERENNIAL PLANTERS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR INCHES (4") IN ALL SOD AREAS, SHRUB BEDS, FLOWERING ANNUAL BEDS, AND GROUNDCOVER AREAS.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.

10. MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. MULCH FOR ANNUALS AND SPREADING PERENNIAL GROUND COVER AREAS SHALL BE SOIL PEP. SEE PLANS FOR MULCH TYPES IN OTHER LANDSCAPE AREAS. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM DEPTH NOTED. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETIZED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE TREE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

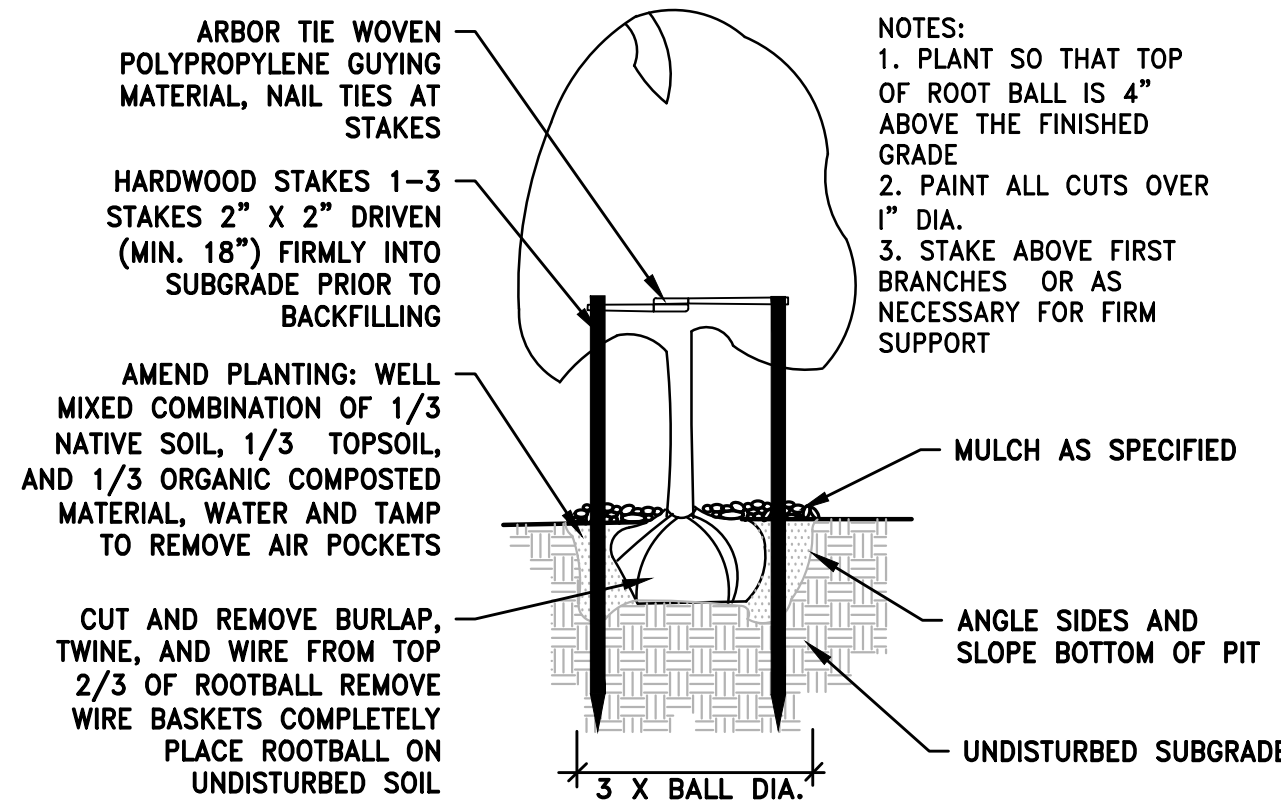
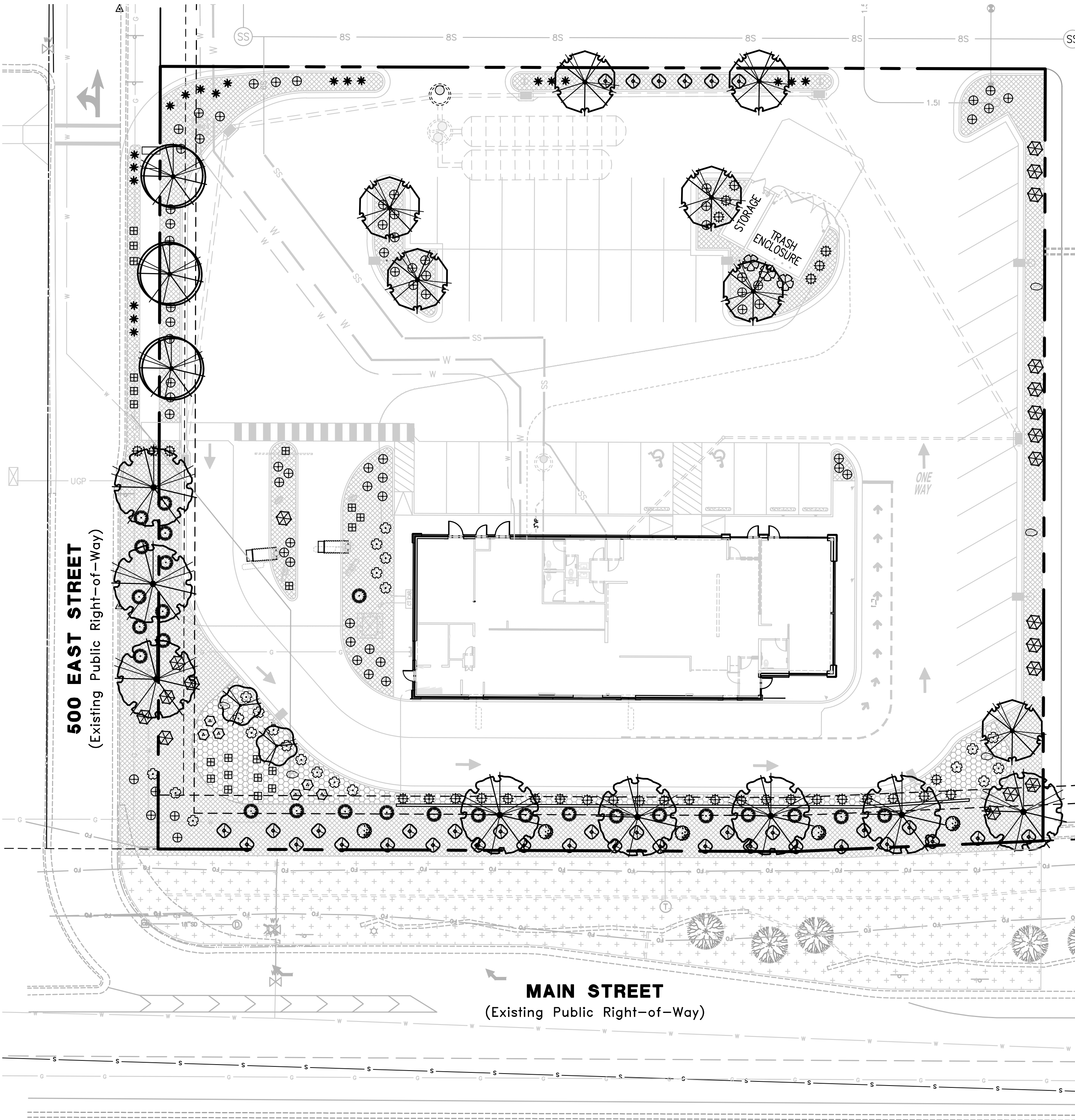
13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL, MOWING, AND IRRIGATION RUN TIME ADJUSTMENTS. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

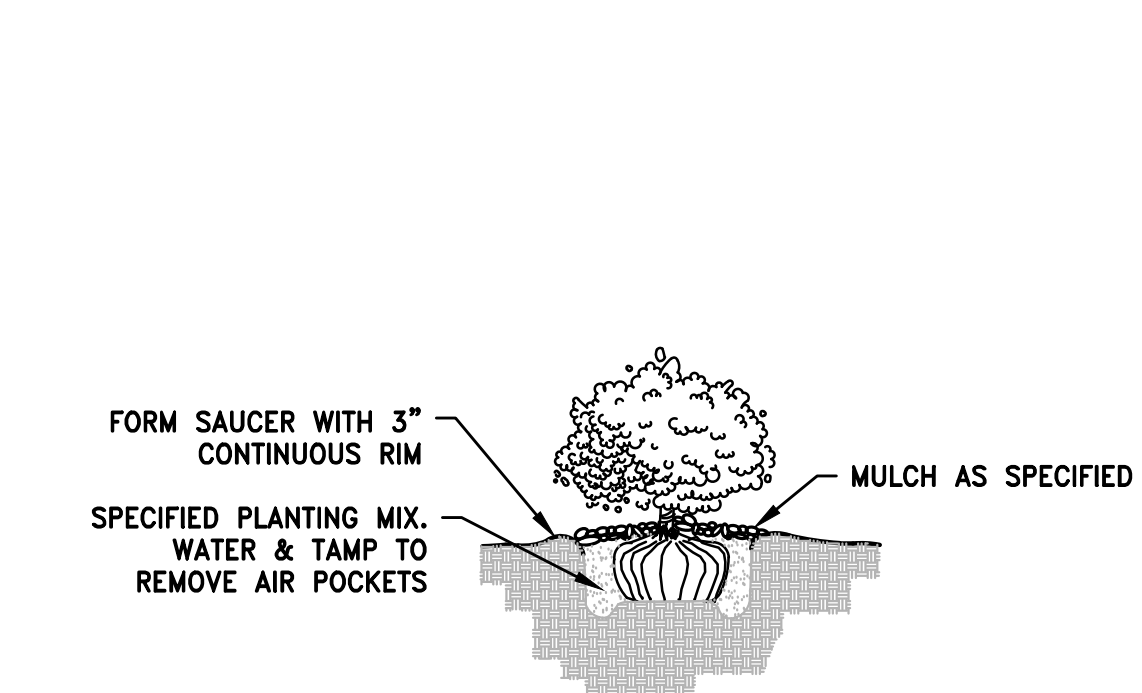
15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD WILL REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

16. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. DETAILED QUANTITIES FOR MULCH AND SOD ARE PLAN VIEW QUANTITIES AND DO NOT ACCOUNT FOR ANY INCREASE IN MATERIAL NEEDED FOR SLOPES. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

17. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2016 APWA "MANUAL OF STANDARD SPECIFICATIONS".



TREE PLANTING AND STAKING
SCALE: NTS

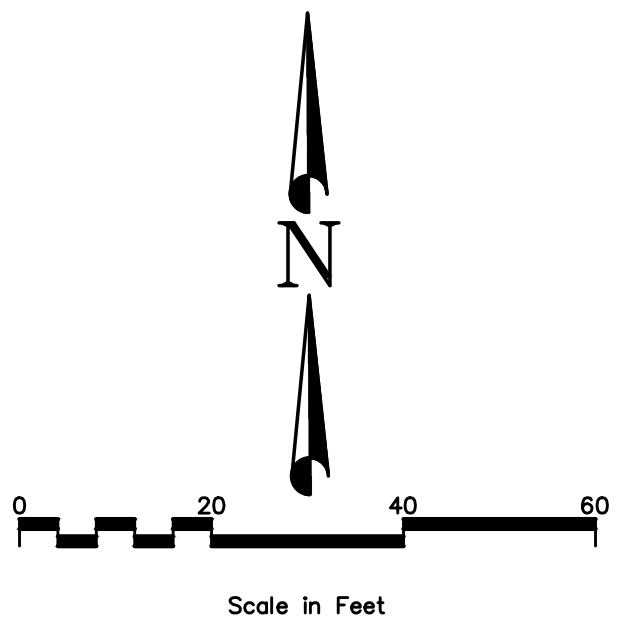


SHRUB PLANTING
SCALE: NTS

LANDSCAPE PLAN

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	CERCIS CANADENSIS 'COVEY' TM / LAVENDER TWIST EASTERN REDBUD	15 GAL		2
	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER GALLERY PEAR	B # B	2" CAL	3
	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B # B	1.75" CAL	6
	TILIA CORDATA / LITTLELEAF LINDEN	B # B	2" CAL	8
SHRUBS	BOTANICAL / COMMON NAME	CONT		
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL		6
	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST SHRUB	5 GAL		20
	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		3
	FORSYTHIA X INTERMEDIA 'KOLGOLD' TM / MAGICAL GOLD FORSYTHIA	2 GAL		5
	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL		26
	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL		36
	SPIRAEA X BUMALDA 'GOLDMOUND' / GOLD MOUND SPIREA	5 GAL		20
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	CONT		
	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		32
	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		21
	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' / MUNSTEAD ENGLISH LAVENDER	1 GAL		20
	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL		68
GROUND COVER / MULCH				QTY
	4" DEPTH OF 1 1/2" TAN TO CREAM COLORED ROCK OVER DEWITT PRO5 (OR EQUAL) WEED BARRIER			10,955 SF
	4" DEPTH OF 1" GRAY CRUSHED ROCK OVER DEWITT PRO5 (OR EQUAL) WEED BARRIER			1,780 SF
	LANDSCAPE BOULDER 8-12 CF			5 BOULDERS
	EXISTING LANDSCAPE TO REMAIN			



NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS / HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED. ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



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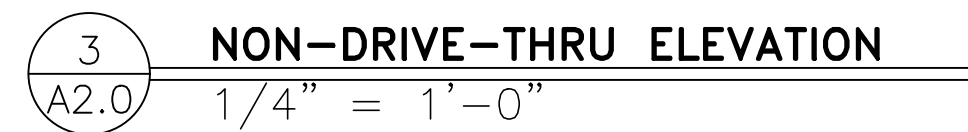
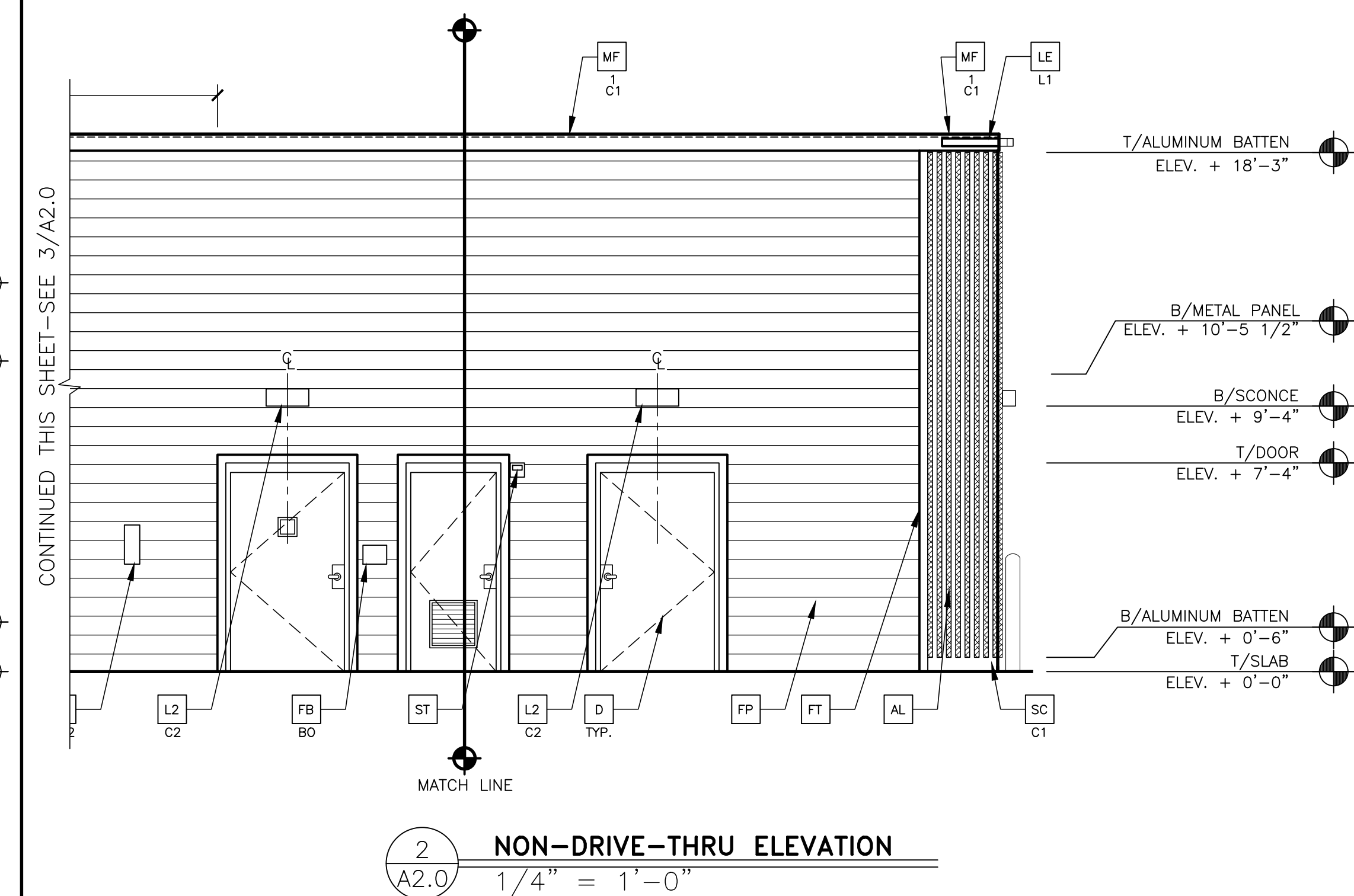
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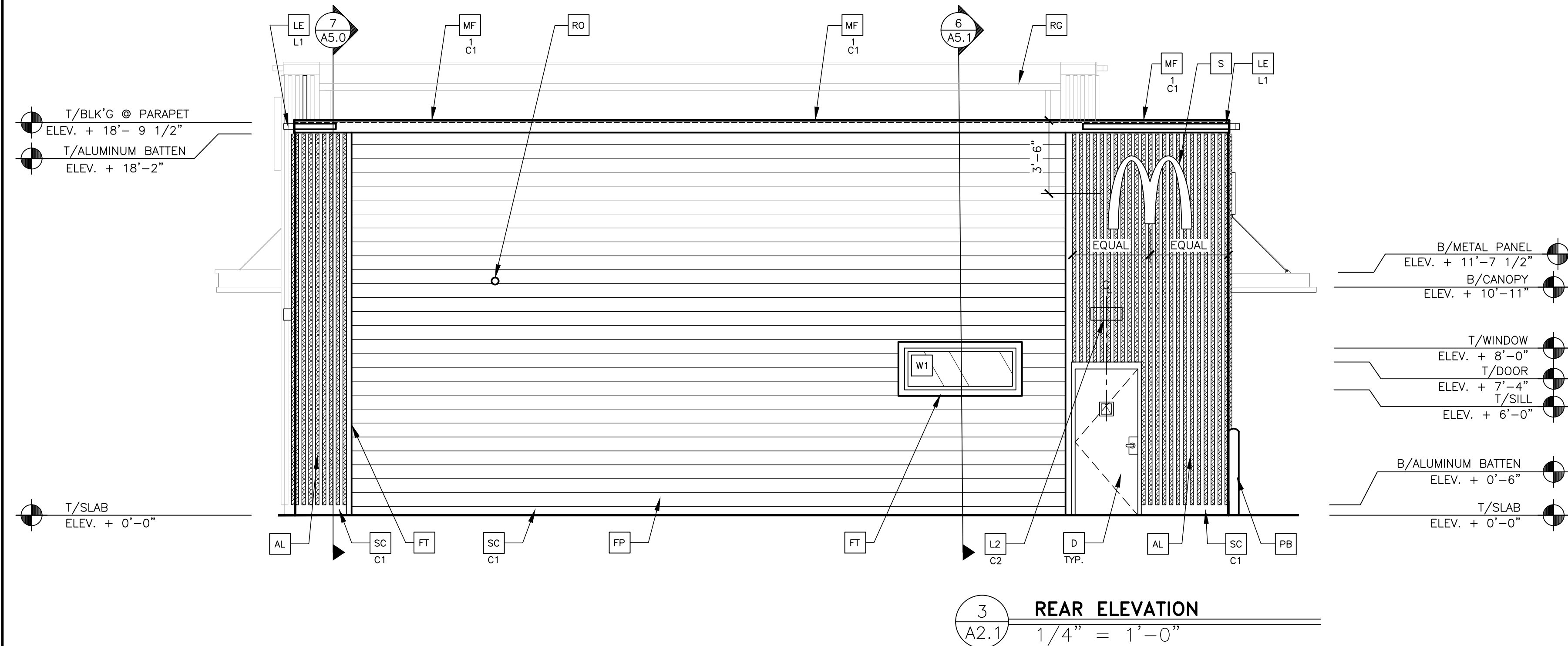
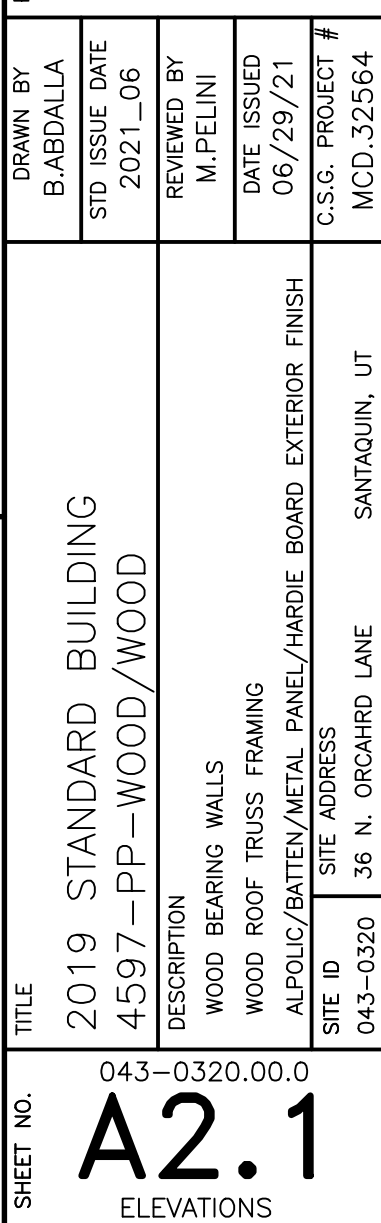
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MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
 OPEN; ELECTRONIC RELEASE
 COLOR: DEEP BRONZE
 SLIDE DIRECTION: RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT

[illegible]



ST	CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
UN	METAL UNDERSCORE COLOR: GOLD
W1	EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE
W2	DRIVE-THRU WINDOW BY READY ACCESS
XX	MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPENING ELECTRONIC RELEASE
	COLOR: DRY BRONZE
	SLIDE DIRECTION:
	RL = RIGHT TO LEFT
	LR = LEFT TO RIGHT

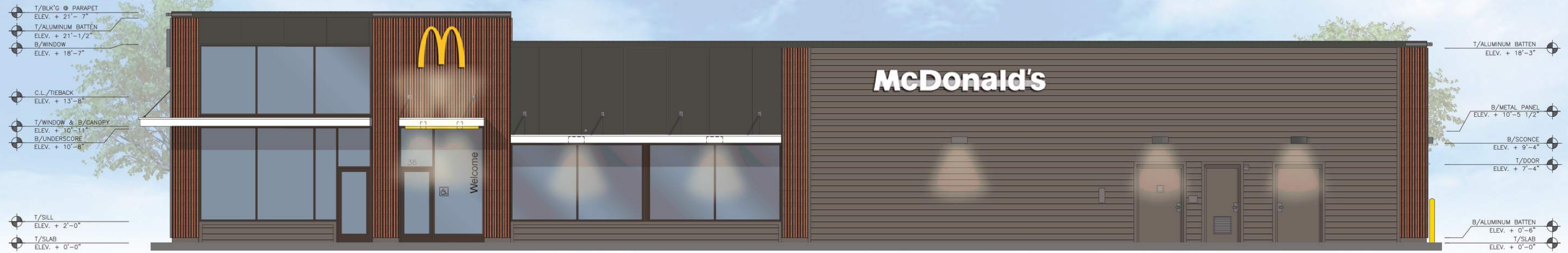


Front Elevation

Materials Legend	
	Hardie Plank(Main Building) "Aged Pewter"
	Aluminum Battens "Wood grain"
	Alpolic "RAL 7022"
	Paint (Accent) "Gauntlet Gray"
	Aluminum Canopy (Prefinished Metal) "White"
	Aluminum Trellis (Prefinished Metal) "RAL 7022"
	Aluminum Trellis (Underscore) "Gold"
	Metal Coping "Weathered Zinc"
	Metal Coping "RAL 7022"
	Storefront System "Dark Bronze"



Rear Elevation



Non-Drive-Thru Side Elevation



Drive-Thru Side Elevation

DOMINION ENERGY

Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion Energy may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Dominion Energy's right-of-way department at 1-800-366-8532

Approved this _____ day of _____ 20 ____

By: _____ Title: _____

Pursuant to Utah Code Ann 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement — along with all the rights and duties described therein. N8

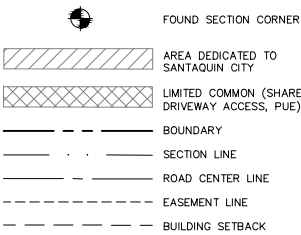
Pursuant to Utah Code Ann 17-27a-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat is correct and that the easements and approximately the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under.

1. contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve
2. this development. This approval does not affect any right that Rocky Mountain Power has under:
 - (1). A recorded easement of right of way
 - (2). The law applicable to prescriptive rights
 - (3). Title 54, Chapter 8a, Damage to Underground Utility Facilities
 - (4). Any other provision of law

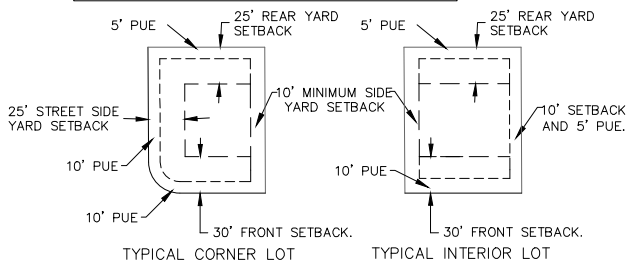
ROCKY MOUNTAIN POWER _____ DATE _____

CENTURYLINK APPROVAL

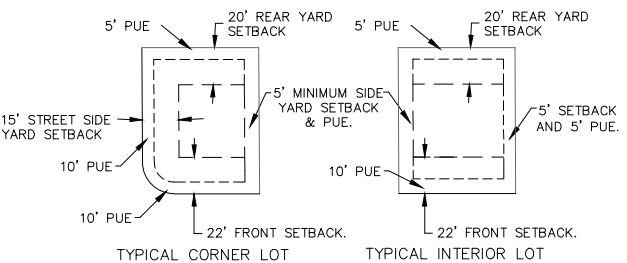
CENTURYLINK	DATE
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PLAT "A" -	30.86 ACRES
ZONING=	C-1, R-10 (PUD)
TOTAL RES. LOTS=	75 LOTS
ACREAGE IN LOTS=	15.15 ACRES
ACREAGE IN ROW=	6.79 ACRES
ACREAGE OPEN SPACE=	3.5 ACRES
ACREAGE COMMERCIAL=	5.42 ACRES
DENSITY OVERALL =	2.43 LOTS/ACRE



LOTS 1-16,19-20,36,40-43 (10,000 SF)
-NTS-



LOTS 17,18,21-35,37-39,44-75 (PUD)
-NTS-

1- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAUQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF THE AGRICULTURAL LANDS AND BUSINESSES.

2 -LOTS 22-29 AND 59 HAVE NO ACCESS TO MAIN STREET. LOTS 1-4 AND 59-75 ARE TO HAVE NO ACCESS TO THE FRONTAGE ROAD OR 900 EAST

I, TRAVIS TRANE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEY HOLD LICENSE NO. 5152741, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE ENGINEERS AND LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE OWNERS, A SURVEY WAS COMPLETED IN ACCORDANCE WITH SECTION 17-23-17. I FURTHER CERTIFY THAT I HAVE VERIFIED ALL MEASUREMENTS AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN ON THIS PLAT, I HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

DATE _____

A portion of the Southeast Quarter of Section 1, Township 10 South, Range 1 East and a portion of the Southwest Quarter of Section 6, Township 10 South, Range 2 East, Salt Lake Base and Meridian, being described as follows:

Beginning at the East Quarter Corner of Section 1, Township 10 South, Range 1 East, Salt Lake Base and Meridian; thence S 89°10'00" E 658.47 feet to a found rebar and cap #166405 at the northerly extension of the West line of Plat "G", Oak Summit Subdivision; thence S 00°02'31" W along the northerly extension of the west line of said plat 288.57 feet; thence continuing along the exterior boundary lines of the following subdivisions: Plat "G1" Oak Summit, Plat "F" Oak Summit, Plat "A" Black Hawk, and Plat "A" Black Hawk; thence the following three (3) courses: 1) S 89°02'42" E 6.49 feet; thence S 00°05'50" E 1068.29 feet; thence N 26°56'47 feet to the east line of that real property described in Deed Entry No. 39582:2012; thence N 00°12'00" W along said east line 126.64 feet; (the previous call also being in part along the east line of that real property described in Deed Entry No. 37652:2010) to the south line of that real property described in Deed Entry No. 37651:2010; thence along said real property the following three (3) courses: East 2.50 feet to the section line; thence N 00°05'50" W along the Section line 342.26 feet; thence S 89°59'56" W 277.32 feet; (the previous call also being in part along the north line of Plat "C", Santauquin Ridge Subdivision to the east line of Seasons of Santauquin subdivision; thence along said subdivision the following two (2) courses: N 00°02'20" W 235.47 feet; thence West 378.10 feet; thence N 00°26'12" W 529.73 feet to the south line Parcel 6 Maverick subdivision; thence along the boundary of said parcel 6 the following two (2) courses: N 89°15'34" W 1.47 feet; thence N 00°26'12" W 73.48 feet to the south line of Main Street as described on the Maverick subdivision plat; thence along south line of Main Street the following two (2) courses: 1) S 89°02'42" E 1068.29 feet; thence N 00°02'00" W 100.00 feet to the south line to the right 91.79 feet through a central angle of 16°41'42" (chord: S 81°22'49" E 91.46 feet); thence S 73°01'51" E 42.07 feet; thence along the arc of a 385.00 foot radius curve to the left 110.72 feet through a central angle of 16°28'39" (chord: S 81°16'11" E 110.34 feet); thence S 89°30'30" E 368.24 feet to the east boundary of Maverick subdivision; thence N 00°25'42" W along said subdivision 103.60 feet; thence S 89°18'00" E 29.49 feet to the point of beginning. Parcel contains: 30.85 acres

Basis of Bearing: the line between the East Quarter Corner and the Southeast Corner of Section 1, Township 10 South, Range 2 East, Salt Lake Base and Meridian which bears South 00°05'50" East (NAD 27). Subdivision based on Record of Survey for DR Horton Entry No. 20-28, Surveyed by LEI Dated August 14, 2019

We, the undersigned owners of all the real property depicted on this plat and described in the surveyors certificate on this plat, have caused the land described on this plat to be divided into lots, streets, parks, open spaces, easements and other public uses as designated on the plat and now do hereby dedicate under the provisions of 10-9a-607, Utah code, without condition, restriction or reservation to Sautanquin City, Utah, all streets, water, sewer and other public uses and improvements, open spaces, parks and all other public uses of public use and enjoyment to Sautanquin City, Utah together with all improvements required by the Development Agreement between the undersigned and Sautanquin City for the benefit of the City on the inhabitants thereof.

Pursuant to Utah Code 10-9A-604(1d) the owner hereby conveys the limited common area, as indicated herein, to the Santaquin Estates Lots 74-77 Home Owners Association.
1250 East 200 South Suite 1D, Lehi, Utah 84043.

OWNER(S):
PRINTED

AUTHORIZED SIGNATURES

On the _____ day of _____, 20____, personally appeared before me the persons signing the foregoing Owners Dedication known to me to be authorized to execute the foregoing Owners Dedication for and on behalf of the owners who duly acknowledge to me that the Owners Dedication was executed by them on behalf of the Owners.

My Commission Expires _____

NOTARY PUBLIC SIGNATURE

COMMISSION NUMBER

PRINTED NAME OF NOTARY

The _____ of _____
County of Utah, Approves this subdivision and hereby accepts the dedication of all
streets, easements, and other parcels of land intended for public purposes for the
perpetual use of the public this _____ day of _____, 20_____.

APPROVED MAYOR OF SANTAQUIN CITY

CITY ENGINEER
(See Seal Below)

ATTEST BY CITY CLERK-RECORDER
(See Seal Below)

A RESIDENTIAL SUBDIVISION

SANTAQUIN

UTAH COUNTY, UTAH

SURVEYOR SEAL

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAN

CLERK-RECORDED SEA

FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA SUITE 250
LEHI, UT 84043

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN, LEWIS, UTAH 84042 (801) 769-1544

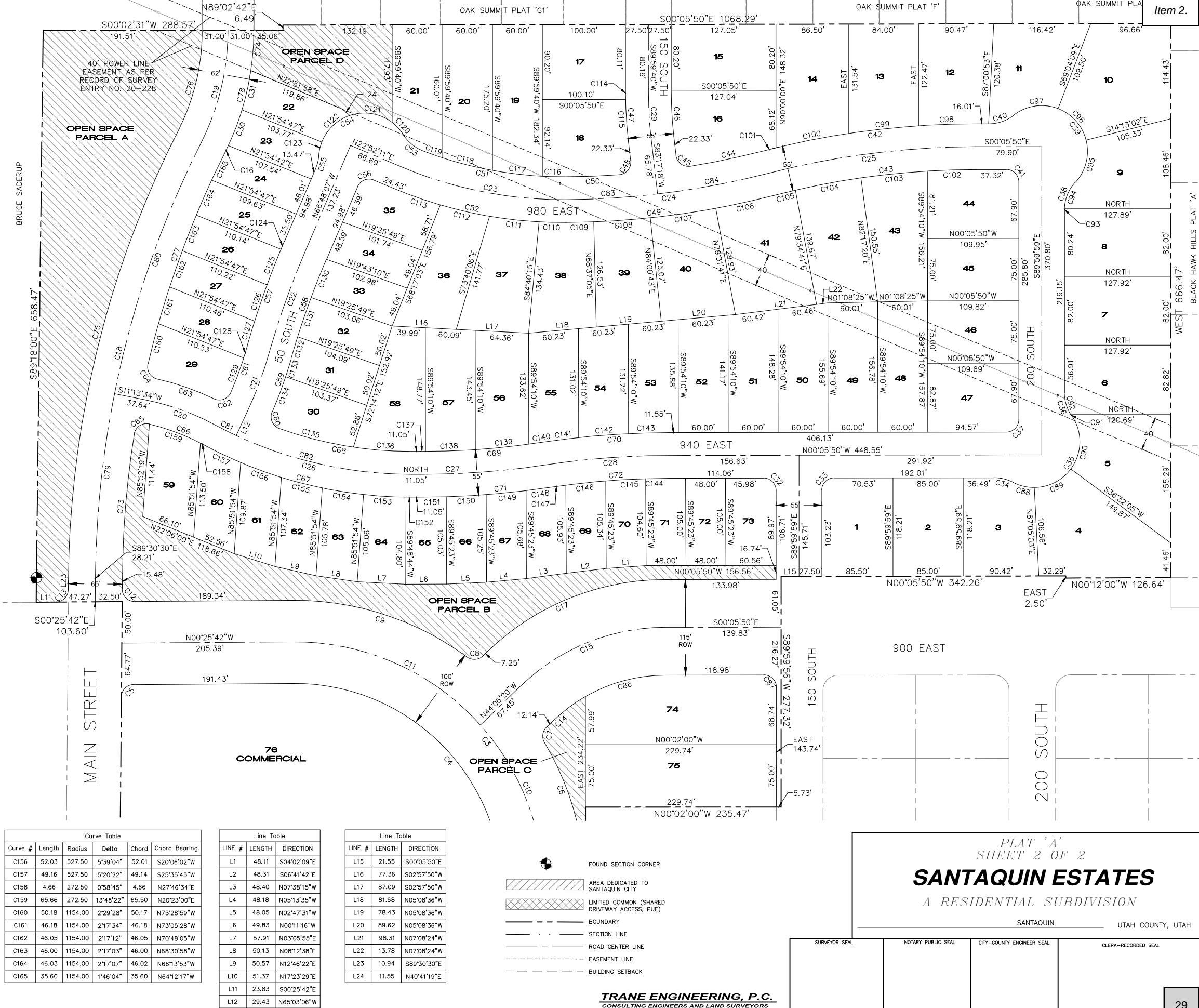
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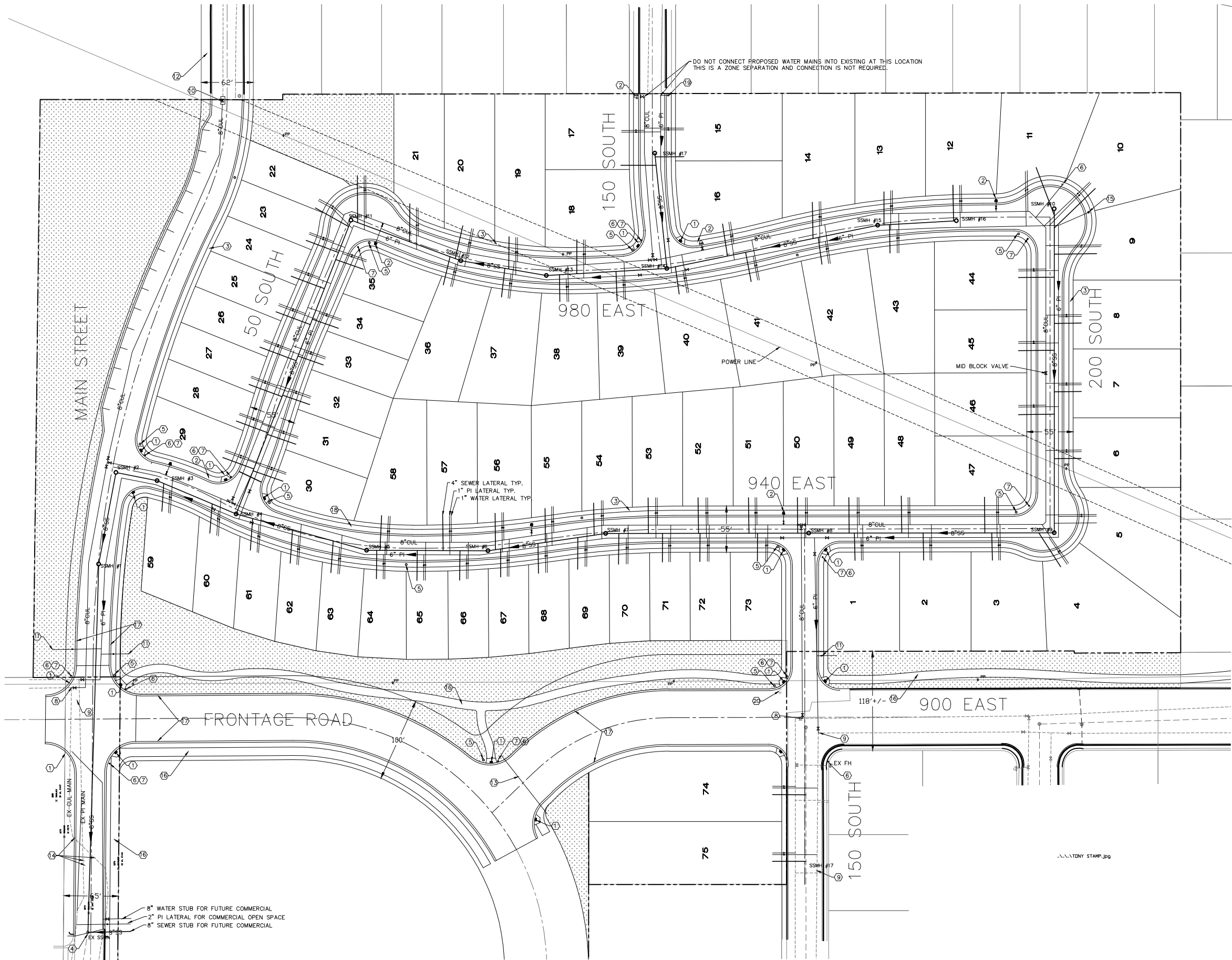
SCALE: 1" = 80'

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Curve Table				
Curve #	Length	Radius	Delta	Chord
C1	91.79	315.00	16°41'42"	91.46
C2	110.72	385.00	16°28'39"	110.34
C3	473.48	300.00	90°25'42"	425.85
C4	394.57	250.00	90°25'42"	354.87
C5	23.32	15.00	89°04'48"	21.04
C6	187.61	350.00	30°42'41"	185.37
C7	20.06	15.00	76°36'21"	18.59
C8	21.07	15.00	80°28'02"	19.38
C9	224.74	350.00	36°47'24"	220.90
C10	218.88	300.00	41°48'12"	214.06
C11	254.60	300.00	48°37'30"	247.03
C12	23.80	15.00	90°55'12"	21.38
C13	23.32	15.00	89°04'48"	21.04
C14	47.61	192.50	14°10'11"	47.49
C15	192.02	250.00	44°00'30"	187.34
C16	10.50	331.00	1°49'06"	10.50
C17	236.19	307.50	44°00'30"	230.43
C18	544.32	1185.00	26°19'05"	539.54
C19	139.78	300.00	26°41'43"	138.52
C20	89.22	300.00	17°02'23"	88.89
C21	78.45	500.00	8°59'23"	78.37
C22	130.33	1031.50	7°14'22"	130.25
C23	202.75	500.00	23°14'02"	201.37
C24	246.69	1000.00	14°08'03"	246.06
C25	251.35	1000.00	14°24'04"	250.68
C26	246.66	500.00	28°15'56"	244.17
C27	150.66	1000.00	8°37'56"	150.52
C28	148.97	1000.00	8°32'06"	148.83
C29	58.52	500.00	6°42'22"	58.49
C30	46.04	331.00	7°58'13"	46.01
C31	48.53	331.00	8°23'59"	48.48
C32	23.59	15.00	90°05'51"	21.23
C33	23.54	15.00	89°54'09"	21.20
C34	23.91	50.00	27°23'46"	23.68
C35	145.57	55.00	151°38'39"	106.65
C36	29.97	50.00	34°20'44"	29.53
C37	23.54	15.00	89°54'09"	21.20
C38	37.03	50.00	42°25'50"	36.19
C39	163.18	55.00	169°59'39"	109.58
C40	32.70	50.00	37°27'58"	32.12
C41	23.59	15.00	90°05'51"	21.23
C42	258.26	1027.50	14°24'04"	257.58
C43	244.43	972.50	14°24'04"	243.79
C44	89.01	972.50	5°14'39"	88.98
C45	24.23	15.00	92°32'32"	21.68
C46	55.30	472.50	6°42'22"	55.27
C47	61.74	527.50	6°42'22"	61.71
C48	24.23	15.00	92°32'45"	21.68
C49	253.47	1027.50	14°08'03"	252.83
C50	64.53	972.50	3°48'07"	64.52
C51	174.68	472.50	21°10'53"	173.68
C52	213.91	527.50	23°14'02"	212.44
C53	32.22	50.00	36°55'11"	31.66
C54	137.68	55.00	143°25'51"	104.45
C55	16.49	50.00	18°53'31"	16.41
C56	23.48	15.00	89°40'18"	21.15
C57	133.81	1059.00	7°14'22"	133.72
C58	126.86	1004.00	7°14'23"	126.78
C59	68.15	527.50	7°24'10"	68.11
C60	24.54	15.00	93°43'02"	21.89
C61	59.27	472.50	7°11'15"	59.24
C62	24.19	15.00	92°23'56"	21.65
C63	72.29	327.50	12°38'52"	72.15
C64	23.66	15.00	90°22'27"	21.28
C65	24.74	15.00	94°29'18"	22.03
C66	70.32	272.50	14°47'07"	70.12
C67	260.23	527.50	28°15'56"	257.60
C68	162.00	472.50	19°38'39"	161.21
C69	146.52	972.50	8°37'56"	146.38
C70	153.06	1027.50	8°32'06"	152.92
C71	154.81	1027.50	8°37'56"	154.66
C72	144.87	972.50	8°32'06"	144.74
C73	171.20	1154.00	8°30'01"	171.05
C74	48.43	331.00	8°22'58"	48.38
C75	561.32	1216.00	26°26'54"	556.35
C76	125.90	269.00	26°49'02"	124.76
C77	270.04	1154.00	13°24'27"	269.43

Curve Table				
Curve #	Length	Radius	Delta	Chord
C78	153.50	331.00	26°34'16"	152.13
C79	223.57	1185.00	10°48'36"	223.24
C80	320.74	1185.00	15°30'29"	319.76
C81	28.95	500.00	3°19'03"	28.95
C82	217.71	500.00	24°56'54"	216.00
C83	110.76	1000.00	6°20'46"	110.70
C84	135.93	1000.00	7°47'17"	135.82
C86	100.25	192.50	29°50'19"	99.12
C87	23.59	15.00	90°05'50"	21.23
C88	26.48	55.00	27°34'49"	26.22
C89	51.05	55.00	53°11'02"	49.24
C90	68.04	55.00	70°52'49"	63.78
C91	2.74	50.00	3°08'06"	2.74
C92	27.24	50.00	3°11'23"	26.90
C93	1.76	50.00	2°00'58"	1.76
C94	35.27	50.00	4°02'45"	34.54
C95	54.38	55.00	56°38'53"	52.19
C96	52.65	55.00	54°51'07"	50.67
C97	56.15	55.00	58°29'38"	53.74
C98	68.24	1027.50	3°48'19"	68.23
C99	84.53	1027.50	4°42'48"	84.50
C100	88.17	1027.50	4°54'59"	88.14
C101	17.32	1027.50	0°57'57"	17.32
C102	57.77	972.50	3°24'13"	57.76
C103	80.38	972.50	4°44'08"	80.35
C104	80.12	972.50	4°43'14"	80.10
C105	26.16	972.50	1°32'28"	26.16
C106	72.20	1027.50	4°01'35"	72.19
C107	79.53	1027.50	4°26'06"	79.51
C108	68.30	1027.50	3°48'32"	68.29
C109	33.43	1027.50	1°51'51"	33.43
C110	32.41	527.50	3°31'14"	32.41
C111	60.00	527.50	6°31'01"	59.97
C112	60.69	527.50	6°35'29"	60.65
C113	60.81	527.50	6°36'18"	60.78
C114	10.09	527.50	1°05'45"	10.09
C115	51.65	527.50	5°36'38"	51.63
C116	27.95	472.50	3°23'21"	27.95
C117	60.45	472.50	7°19'50"	60.41
C118	61.91	472.50	7°30'27"	61.87
C119	24.36	472.50	2°57'15"	24.36
C120	18.77	55.00	19°33'16"	18.68
C121	54.54	55.00	56°49'11"	52.34
C122	47.82	55.00	49°49'01"	46.33
C123	16.55	55.00	17°14'24"	16.49
C124	10.52	1059.00	0°34'08"	10.52
C125	46.01	1059.00	2°29'21"	46.00
C126	46.07	1059.00	2°29'33"	46.06
C127	31.22	1059.00	1°41'21"	31.22
C128	14.96	472.50	1°48'52"	14.96
C129	44.31	472.50	5°22'23"	44.29
C130	49.57	1004.00	2°49'43"	49.56
C131	50.01	1004.00	2°51'14"	50.00
C132	27.29	1004.00	1°33'26"	27.29
C133	22.76	527.50	2°28'21"	22.76
C134	45.39	527.50	4°55'49"	45.38
C135	91.70	472.50	11°07'12"	91.56
C136	70.30	472.50	8°31'27"	70.23
C137	5.76	972.50	0°20'22"	5.76
C138	60.05	972.50	3°32'16"	60.04
C139	64.60	972.50	3°48'22"	64.59
C140	16.11	972.50	0°56'57"	16.11
C141	44.41	1027.50	2°28'35"	44.41
C142	60.18	1027.50	3°21'22"	60.18
C143	48.47	1027.50	2°42'09"	48.46
C144	27.92	972.50	1°38'43"	27.92
C145	48.07	972.50	2°49'55"	48.06
C146	48.25	972.50	2°50'33"	48.24
C147	20.63	972.50	1°12'56"	20.63
C148	27.81	1027.50	1°33'02"	27.80
C149	48.23	1027.50	2°41'21"	48.22
C150	48.06	1027.50	2°40'48"	48.06
C151	30.71	1027.50	1°42'45"	30.71
C152	7.97	527.50	0°51'57"	7.97
C153	50.02	527.50	5°25'59"	50.00
C154	50.20	527.50	5°27'10"	50.18
C155	50.85	527.50	5°31'24"	50.83



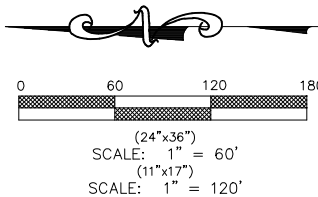


KEYED NOTES

- 1. CONSTRUCT ADA RAMP AS PER SANTAQUIN CITY STANDARDS
- 2. INSTALL FIRE HYDRANT AS PER SANTAQUIN CITY STANDARDS
- 3. CONSTRUCT 5' CONCRETE SIDEWALK
- 4. CONNECT INTO EXISTING SEWER, CONTRACTOR TO VERIFY SIZE, INVERT ELEVATION AND LOCATION.
- 5. INSTALL STREETLIGHT'S PER SANTAQUIN CITY STANDARDS
- 6. STOP SIGN AS PER SANTAQUIN CITY STANDARDS
- 7. STREET SIGN AS PER SANTAQUIN CITY STANDARDS
- 8. CONNECT INTO EXISTING CULINARY LINE WITH CONSTRUCTION VALVE
- 9. CONNECT INTO EXISTING PRESSURE IRRIGATION LINE WITH CONSTRUCTION VALVE
- 10. INSTALL PRV ON CULINARY LINE FOR ZONE SEPARATION AS PER SANTAQUIN CITY STANDARDS.
- 11. 2" PI LATERAL FOR OPEN SPACE
- 12. COORDINATE SIGNAGE FOR WARNING OF ON STREET PARKING.
- 13. IRRIGATION CONDUIT TO PROVIDE IRRIGATION TO ADJACENT OPEN SPACE
- 14. EXISTING WATER MAINS ARE ANTICIPATED TO BE LOWERED, CONTRACTOR TO POTHOLE WATER LINES AND COORDINATE WITH ENGINEER AND CITY FOR WHICH PORTIONS ARE TO BE LOWERED.
- 15. INSTALL AIR RELIEF VALVE ON PRESSURE IRRIGATION MAIN AT HIGH POINT.
- 16. 10' ASPHALT TRAIL
- 17. PAINT CURB RED ALONG 900 EAST FROM 150 SOUTH TO THE FRONTAGE ROAD AND MAIN STREET 300' EACH DIRECTION FROM THE FRONTAGE ROAD.
- 18. COORDINATE WITH USPS AND CITY FOR MAILBOX LOCATION. PROVIDE APPROVAL LETTER FROM USPS.
- 19. INSTALL AIR VAC AT END OF PI MAIN
- 20. RELOCATE EXISTING POWER AND COMMUNICATION BOXES

UTILITY NOTES

- 1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
- 2. ALL ADA REQUIREMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
- 3. CULINARY WATER — 48" MIN. DEPTH TO TOP OF PIPE C900 PVC.
- 4. PRESSURE IRRIGATION 24" MIN. DEPTH TO TOP OF PIPE C900 PVC.
- 5. SEWER 8" SDR-35 PVC PIPE WITH MANHOLES AS NOTED.
- 6. WATER TEES, ELBOWS, PIPE BEDDING AND TRENCHES SHALL BE INSTALLED AS PER SANTAQUIN CITY STANDARDS.
- 7. ALL CULINARY VALVES ARE TO BE FLANGED TO THE TEE.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	2/22/21	RED LINES	TT
2			
3			
4			

DESIGNED BY:	TGT
DRAWN BY:	TT
CHECK BY:	TGT
DATE:	2/9/22
CDGD FILE:	

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN, UTAH

SANTAQUIN ESTATES
A RESIDENTIAL SUBDIVISION

UTILITY PLAN



DRC Members in Attendance: Engineer Jon Lundell, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Community Development Director Jason Bond, Assistant City Manager Norm Beagley, Police Officer Russ Woodland, Building Official Randy Spadafora.

Others in Attendance: Tyler Harper representing Great Basin Engineering via Zoom and Race Ostler on behalf of Ostler Subdivision, Planner Ryan Harris.

Mr. Lundell called the meeting to order at 10:00 a.m.

Ostler Subdivision Preliminary Review

A Preliminary review of a proposed 5-lot subdivision located at 421 South 100 West. This was a second review of the application. The prior application was tabled in order to address various red lines and storm drain issues.

Jason Callaway inquired about the relocation of an existing fire hydrant. A delineator must be placed on the curb bulb-out so that snowplow drivers can see it during the winter season.

Ryan Lind had no comments.

Russ Woodland had no comments.

Randy Spadafora stated he will complete the addressing before the final review.

Assistant Manager Beagley inquired about proper frontage on lot #2, Planner Ryan Harris confirmed it will be submitted to the Planning Commission for review and consideration of infill development allowance.

Engineering: Mr. Lundell pointed out that labels need to be cleaned up on the plan and that sheet C-1 is missing. The fire hydrant must be moved to the property line as well as retained and protected until it is relocated and operational. The overhead communication lines on the plans need to correspond and agree with existing notes. The applicant and DRC discussed these overhead utilities, which will likely be Century Link and placed underground. The plans must reflect what work will be completed including poles, ditches, and utilities. The applicant must provide written notice to the city from the irrigation company regarding the cement ditch or a separate easement must be provided if the ditch is to remain as is. Engineer Lundell recommended that driveway approaches be adjusted to 20 feet rather than the minimum of 12 feet. The proposed storm drain retention distance from the back of the curb to the infiltration galley must be 5 feet to allow for long-term protection of our curb and gutter. Planning will send a checklist with references to the applicants.

Assistant City Manager Beagley and Director Bond inquired about the missing C-1 sheet. They both wanted to know if there were action items on the C-1 sheet that needed to be addressed or reviewed prior to the plans being submitted to the Planning Commission. Mr. Lundell confirmed that redlines on the C-1 sheet have been addressed.

Motion: Director Bond moved to approve the site plan and submit it to the Planning Commission with the conditions that all redlines be addressed prior to the plans being added to the PC agenda. Chief Ryan Lind seconded the motion. The motion passed unanimously in the affirmative.

Building Official Randy Spadafora	Yes
Police Officer Russ Woodland	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
Assistant City Manager Norm Beagley	Yes
Community Development Director Jason Bond	Yes

MEETING MINUTES APPROVAL

April 12, 2022

Motion: Assistant Manager Beagley motioned to approve the minutes from April 12, 2022. Jason Callaway seconded.

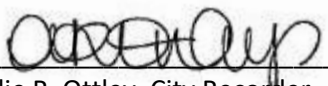
Building Official Randy Spadafora	Yes
Police Officer Russ Woodland	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
Assistant City Manager Norm Beagley	Yes
Community Development Director Jason Bond	Yes

The motion passed unanimously in the affirmative.

ADJOURNMENT

The meeting was adjourned at 10:22 a.m.

Jon Lundell, City Engineer



Amalie R. Ottley, City Recorder