



## PLANNING COMMISSION

Tuesday, February 22, 2022, at 7:00 PM  
Court Room/Council Chambers (2nd Floor) and Online

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### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

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### PUBLIC COMMENT & PUBLIC HEARING PARTICIPATION

As with all City Council and Planning Commission Meetings, we continue to invite the public to provide “Public Comment” (30-minute duration, maximum of 5-minutes per comment). We also continue to hold Public Hearings, as needed, and required on specific issues.

With the post-pandemic restoration of public gatherings, Santaquin City is pleased to restore pre-pandemic meeting protocols by inviting the public to participate in-person. For those interested in providing public comment, we invite you to sign up on the Public Forum Speaker Sheet.

For those who are unable to attend in person, we invite you to submit your comments by email to [PublicComment@Santaquin.org](mailto:PublicComment@Santaquin.org) wherein they will be distributed to the Mayor and City Council Members for review and consideration. However, they will not be read during the meeting.

To review the Santaquin City Council Meeting Protocols, please go to the following link:  
<https://www.santaquin.org/citycouncil/page/santaquin-city-council-protocols>.

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### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

**WELCOME**

**INVOCATION/INSPIRATION THOUGHT**

**PLEDGE OF ALLEGIANCE**

**ORDER OF AGENDA ITEMS**

**DISCUSSION & POSSIBLE ACTION**

1. **Public Hearing - Orchard Hills Storage Subdivision Concept Plan**

The Planning Commission will review a concept plan for a proposed 2-lot subdivision located at approximately 120 East and Highland Drive.

2. **Public Hearing - Conditional Use Permit for Wall Brothers Orchard Venue**

The Planning Commission will review a conditional use permit for the proposed Wall Brothers Orchard Venue located at approximately 950 North SR 198.

3. **Public Hearing - Standards and Specifications Amendment**

The Planning Commission will review a proposed amendment that would modify the Santaquin City Standard and Specifications and Drawings.

**PUBLIC FORUM**


**OTHER BUSINESS**

**ADJOURNMENT**

**CERTIFICATE OF MAILING/POSTING**

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on [www.santaquin.org](http://www.santaquin.org), as well as posted on the State of Utah's Public Notice Website.

BY:

  
Dennis L. Marker, City Recorder

# MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: February 18, 2022

RE: **Orchard Hills Storage 2-Lot Subdivision**

Zone: RC
Size: 6.83 Acres
Lots: 2

The Orchard Hills Storage subdivision is located on the southwest corner of Highland Drive and 120 East. The proposed subdivision is in the Residential Commercial (RC) zone and consists of 2 lots on 6.83 acres. Lot 1 will have a detached single-family home and it is proposed that Lot 2 will have storage units. Both uses are a permitted use in the RC zone. The proposed storage units need to be reviewed in a separate commercial site plan process. Lots in the RC zone that have detached single-family homes (Lot 1) are required to be 8,000 sq. ft. and corner lots are required to have 95' of frontage. There is no lot or frontage requirement for commercial parcels (Lot 2) in the RC Zone. The proposed lots within this subdivision meet the lot requirements in the RC zone. The RC Zone requirements can be found in [SCC 10.20.150](#).

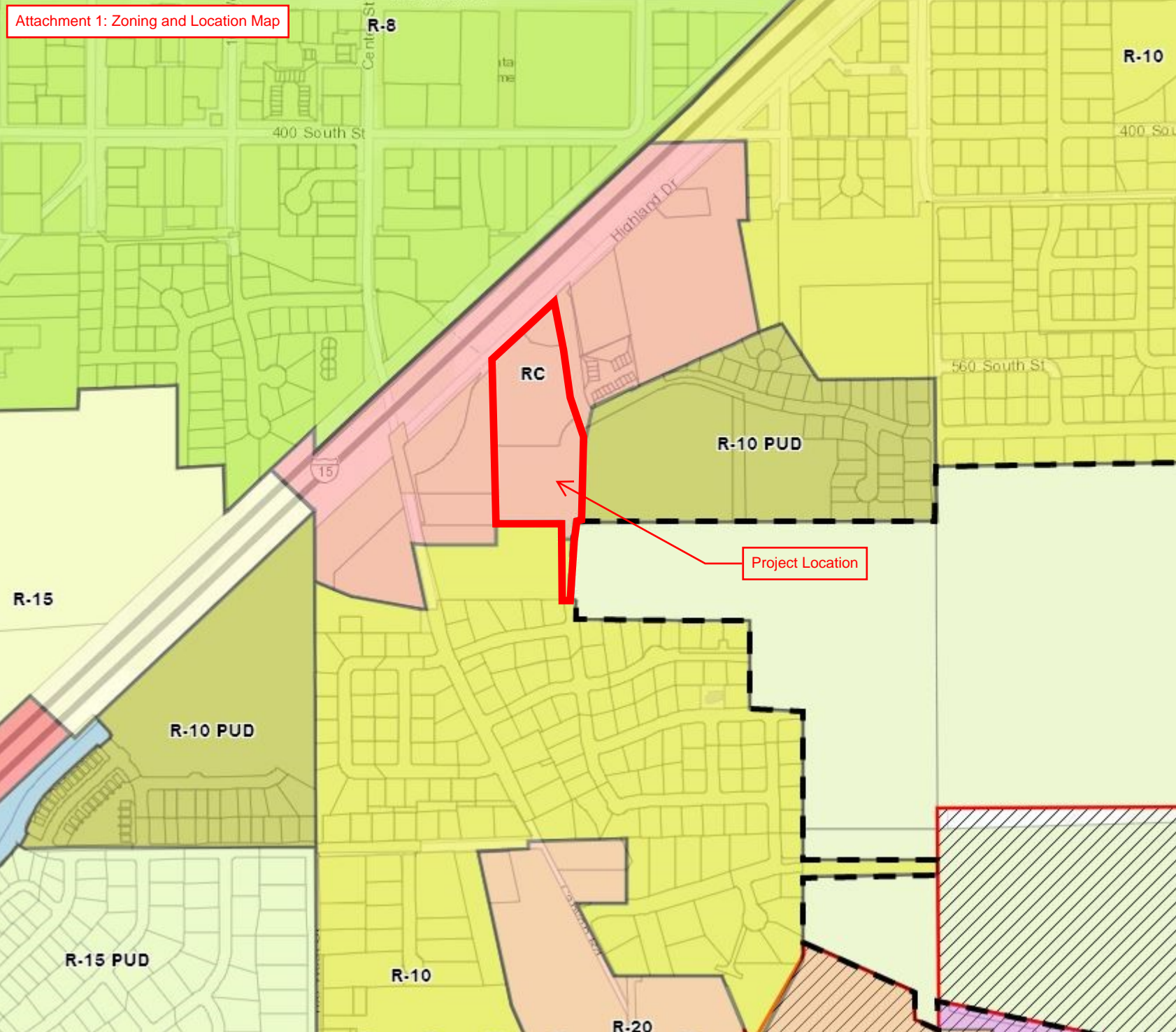
The proposed development will include installing part of 100 east that will be located on the east end of the property bordering Orchard Hills Elementary.

This is a subdivision concept review, and this review is for the Planning Commission to give feedback to the developer. This is not a review of any proposed use on the property. The review of the proposed storage units will happen later. They will be required to go through the site plan process and meet all Santaquin City Codes, Standards and Specifications, etc. The review of the subdivision concept plan shall not constitute an approval of any kind.

Subdivisions with three lots or less can combine preliminary and final plans into one submittal. After the concept review, the developer will need to submit preliminary/final subdivision plans. The preliminary/final plans will be reviewed by the Development Review Committee (DRC) and a recommendation will be forwarded to the Planning Commission. The Planning Commission will be the land use authority for the subdivision. The subdivision has vested rights once it receives final approval from the Planning Commission.

**Attachments:**

1. Zoning and Location Map
2. Concept Plan







# MEMORANDUM



To: Planning Commission

From: Ryan Harris, Staff Planner

Date: February 18, 2022

RE: **Wall Brothers Orchard Venue Conditional Use Permit**

Zone: R-Ag  
Size: 6.05 Acres

Chris Wall submitted a conditional use permit application to have a social/reception center located at approximately 950 North SR 198. The proposed center is in the Residential Agriculture (R-Ag) zone and a social/reception center is a conditional use in this zone. The applicant is proposing a 4,840 square foot building. The site has the required water connection, fire hydrant and will be using a septic tank, which is allowed in this area. The site also has enough area to meet the parking requirement and all building setbacks are being met. The requirements for the R-Ag zone can be found in [SCC 10.20.210](#)

Conditional uses are required to be reviewed by the Planning Commission. The planning commission shall use the criteria found in [SCC 10.24.060](#) to determine if the conditional use shall be approved or if any conditions need to be added to the permit.

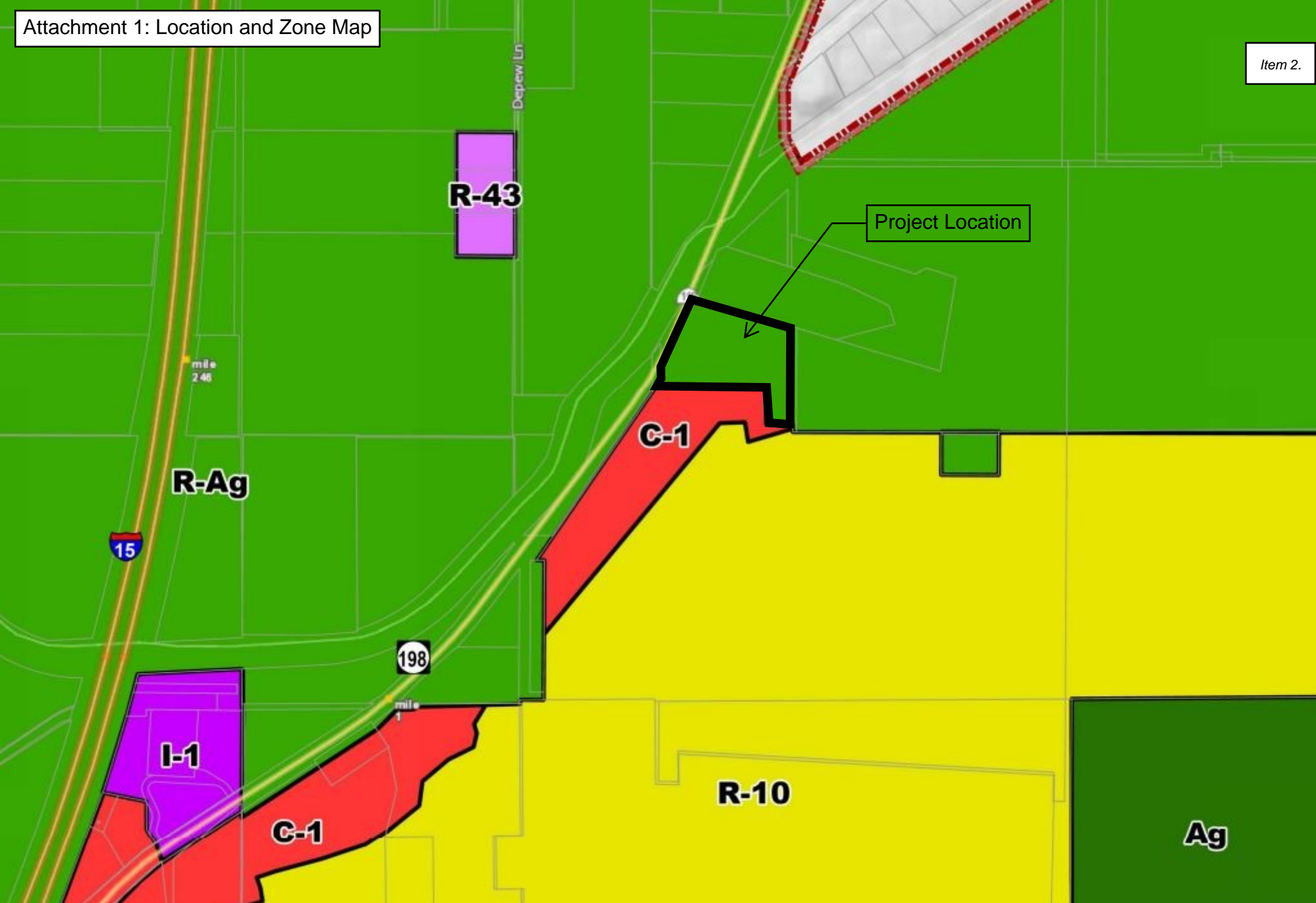
After the conditional use is approved, the applicant will be required to get site plan approval from the Development Review Committee and meet all Santaquin City Codes, Standards, Specifications, etc. before site plan approval is given and a building permit can be issued. A business license will also be required

**Motion:** “Motion to approve the conditional use permit for the proposed Wall Brothers Orchard Venue with the following conditions:

1. The applicant completes the City’s site plan process, including DRC and ARC reviews.
2. A business license be obtained before operation.

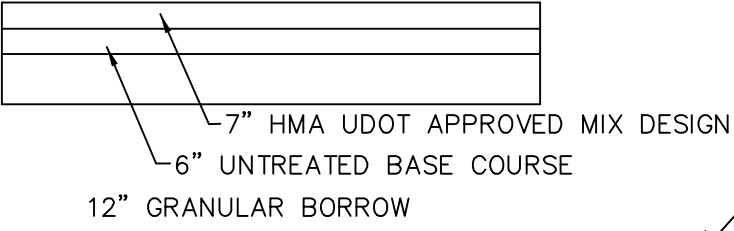
**Attachments:**

1. Zoning and Location Map
2. Concept Plan

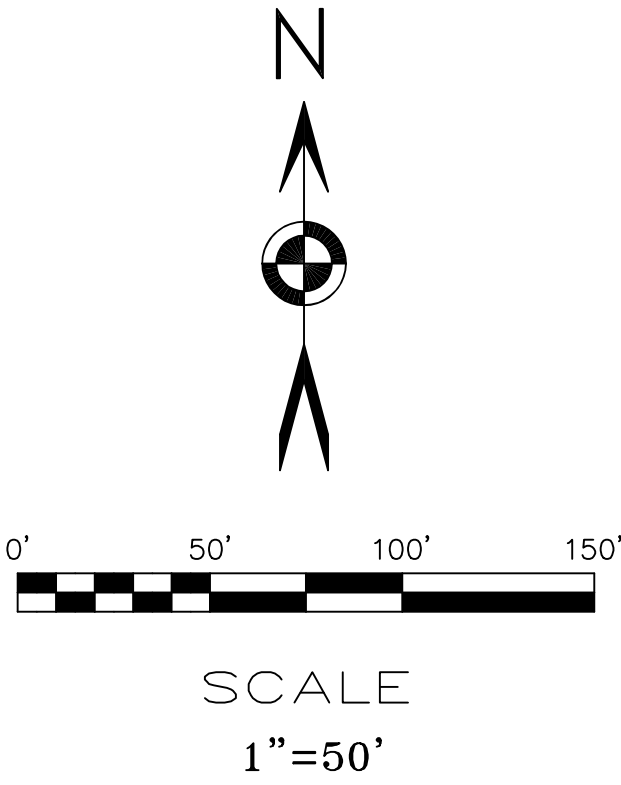
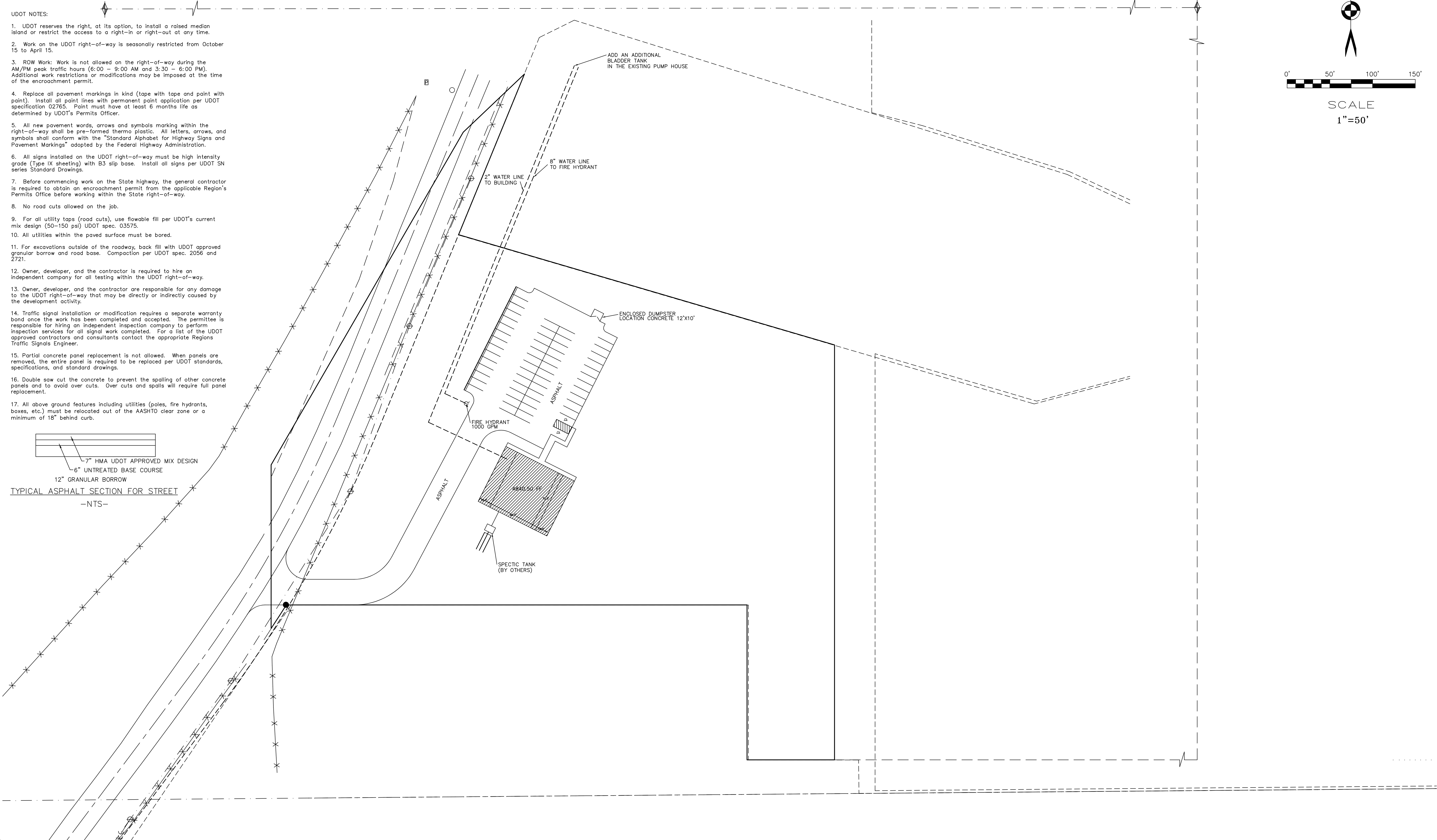


UDOT NOTES:

- UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
- Work on the UDOT right-of-way is seasonally restricted from October 15 to April 15.
- ROW Work: Work is not allowed on the right-of-way during the AM/PM peak traffic hours (6:00 – 9:00 AM and 3:30 – 6:00 PM). Additional work restrictions or modifications may be imposed at the time of the encroachment permit.
- Replace all pavement markings in kind (tape with tape and paint with paint). Install all paint lines with permanent paint application per UDOT specification 02765. Paint must have at least 6 months life as determined by UDOT's Permits Officer.
- All new pavement words, arrows and symbols marking within the right-of-way shall be pre-formed thermo plastic. All letters, arrows, and symbols shall conform with the "Standard Alphabet for Highway Signs and Pavement Markings" adopted by the Federal Highway Administration.
- All signs installed on the UDOT right-of-way must be high intensity grade (Type IX sheeting) with B3 slip base. Install all signs per UDOT SN series Standard Drawings.
- Before commencing work on the State highway, the general contractor is required to obtain an encroachment permit from the applicable Region's Permits Office before working within the State right-of-way.
- No road cuts allowed on the job.
- For all utility taps (road cuts), use flowable fill per UDOT's current mix design (50–150 psi) UDOT spec. 03575.
- All utilities within the paved surface must be bored.
- For excavations outside of the roadway, back fill with UDOT approved granular borrow and road base. Compaction per UDOT spec. 2056 and 2721.
- Owner, developer, and the contractor is required to hire an independent company for all testing within the UDOT right-of-way.
- Owner, developer, and the contractor are responsible for any damage to the UDOT right-of-way that may be directly or indirectly caused by the development activity.
- Traffic signal installation or modification requires a separate warranty bond once the work has been completed and accepted. The permittee is responsible for hiring an independent inspection company to perform inspection services for all signal work completed. For a list of the UDOT approved contractors and consultants contact the appropriate Regions Traffic Signals Engineer.
- Partial concrete panel replacement is not allowed. When panels are removed, the entire panel is required to be replaced per UDOT standards, specifications, and standard drawings.
- Double saw cut the concrete to prevent the spalling of other concrete panels and to avoid over cuts. Over cuts and spalls will require full panel replacement.
- All above ground features including utilities (poles, fire hydrants, boxes, etc.) must be relocated out of the AASHTO clear zone or a minimum of 18" behind curb.



TYPICAL ASPHALT SECTION FOR STREET  
—NTS—



REVISIONS	
1. _____	4. _____
2. _____	5. _____
3. _____	6. _____

PROJECT NO.: LE 4077 SURVEYOR/DIRECTOR: D. PENROD  
DATE: FEBRUARY 2022 FIELD SURVEYOR: M. JACOBSON  
SCALE: 1" = 50' DRAWN: K. ROUNDY  
REVISION: \_\_\_\_\_ CHECKED: B. LUDLOW



**LUDLOW ENGINEERING & ASSOCIATES**

Subdivisions \* Boundary Surveys \* City Lot Surveys \* ALTA Surveys  
Claim Surveys \* Control Networks \* Construction Surveys \* Topography  
Civil \* Sewer & Water Design \* Residential & Commercial Structure  
Subdivision Design \* Site Plans \* Road Design  
1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

SITE PLAN

WALL SITE PLAN  
SECTION 31, T 9 S, R 2 E, SLB&M.  
UTAH COUNTY, UTAH  
FEBRUARY 2022

SHEET	
C	2
SHEETS	





# Memorandum

To: Planning Commission  
From: Jon Lundell, P.E., City Engineer  
Date: February 17, 2022  
Re: **Santaquin City Standards and specifications update**

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Periodically Santaquin City's Standards and specifications must be updated to addresses product updates issues discovered with previous construction materials and methods and concerns from public safety.

The current update addresses the following

1. Division 3: Updates to pressure irrigation meter boxes
2. Division 3A: Update to the lid on culinary water meter cans.
3. Division 5: Sewer manhole design
4. Division 6: Specified manufacturer of butterfly valves and fire hydrant manufacturer
5. Division 12: Add maximum spacing for expansion joints in curb
6. Division 17: Add installation of communications conduit
7. Division 20: Add gravel driveway specification.
8. Standard Drawings
  - a. CG5 - Increase the thickness of residential sidewalk and commercial road base
  - b. UT2 – Location of communication conduit
  - c. ST3 – Update Street cross section to remove 55' wide cross section and cul-de-sac diameter
  - d. ST2 – Update street cross section to remove private cross section and rural local road cross section
  - e. W1 – Provide part number for water meter lid.

These updates will address concerns expressed by Santaquin City Public Works and public safety.

Recommended Motion:

It is staff's recommendation that the Planning Commission forward the proposed amendments to the City Council for approval.



# Standard Specifications and Drawings

Prepared by  
Santaquin City Engineering and Public Works.  
(Portions of text and Unaltered Drawings  
Provided by J-U-B Engineers, Inc.)

**Pending Approval by the Santaquin City Council**  
**March 1, 2022**

This Manual Updated Yearly

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# Chapter 4

## Standard Specifications



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## 2022 Standard and Specifications and Drawings Updates

## Errata for

## Changes made to the Santaquin City Standard Specification and Drawings

**Division 3**

- The proposed change to section 3.05 Subsection F addresses an issue of vehicles driving over the residential pressurized irrigation boxes and damaging the meter boxes. This update also adds text to match the standard drawing for pressure irrigation service connections shown on standard drawing PI 2??

## Section 3.05 Subsection F.

Service box shall be an ~~11 3/4~~ 13-inch by ~~16~~ 24-inch ~~standard green~~ traffic rated, ~~fiberglass~~ irrigation box with cover. Service box shall be installed over the ~~Ori-Seal valve and hose bib~~ [Ford BA43-344W Ball Meter Valve](#). A sign shall be attached or embossed to or on the cover indicating as follows: "IRRIGATION" ~~Box shall be Brooks 1419 series utility box with lid recessed and~~ ~~Box shall be~~ [DFW Plastics 1324C4-12-4T 63D or approved equivalent](#). ~~The meter box~~ shall be provided with Waterworks Pentagon Head locking device ~~or equivalent~~. The meter will be supplied by the City. The City shall be responsible to locate and install the meter in the service box. A PVC pipe jumper, consisting of a PVC pipe and male adapter shall be installed from the service valve to the sleeve under the sidewalk to provide proper alignment of the meter from the service valve to the homeowner's property.

**Division 3A**

- The proposed change to section 3A.05 Subsection D is to address the issue of service meter antennas from being damaged from landscape maintenance and vehicles driving over the culinary water meter boxes.

## Section 3A.05 Sub-section D:

The City will furnish and install the meter. The double check valve, meter setter assembly, meter box and cover will be furnished by the Developer/Contractor and the entire installation, excluding the meter, shall be made by the Developer/Contractor. [The cover shall have a recessed center for the MXU antenna](#). The service line shall be installed from the house to where the service line was stubbed from the water main, a thirty-inch (30") diameter hole excavated where the meter is to be installed prior to City crews installing the meter. No meters shall be located in sidewalks or driveways.

The Developer/Contractor shall furnish the meter box and cover for meters larger than one-inch (1"). The materials and type of box shall be approved by the Public Works.

If a meter box is located within a drive approach the standard meter box shall be replaced with a H20 load traffic rated box.

**Division 5**

- The proposed change to Section 5.01 is to ensure that Santaquin City Standards match Utah State Administrative Rule R317-3-2-2.4-A-4

Section 5.01: [Spacing between Sanitary sewer manholes shall not exceed 400 feet.](#)

## Division 6

- The proposed change to Section 6.03 is to allow for the more effective operation of Santaquin City's water system.

Section 6.03: Valves in sizes greater than ~~12~~10" shall be butterfly valves and Av-Tech Double Eccentric Butterfly valve 2504 or an "equal" as approved by the Public Works Director and City Engineer and shall conform to the latest revision of AWWA Standard C504, Class 150-B, and comply with the following:

The proposed change to Section 6.06 is to allow Santaquin City Public Works Director and City engineer to review multiple options for fire hydrants.

Section 6.06 FIRE HYDRANTS: Fire hydrants shall be "traffic model" type designed to conform to AWWA Specification C502 and shall be of either the compression or toggle joint type. Hydrants shall be Waterous "Pacer" or an equal as approved by the City Engineer and Public Works Director.

Hydrant valves shall be a minimum of 6-inch size. Hydrants shall be supplied complete with two 2 1/2-inch hose nozzles and one 4 1/2-inch pumper nozzle. All nozzles shall be provided with National Standard threading. A one cubic yard gravel sump shall be provided at each hydrant. All hydrants shall be mechanical joint end and shall be connected to the main by means of a mechanical joint by flanged tee and flanged by mechanical joint auxiliary gate valve and box as shown on the Standard Drawings. Each hydrant shall also be supplied with O-ring seals, a National Standard pentagon operating nut which is designed for clockwise rotation closing, and a 6-inch mechanical joint inlet. The color of the hydrant shall be red.

Set hydrants plumb with the pumper nozzle perpendicular to and facing roadway. The hydrant shall be set so the flange is one-tenth of a foot (0.10') above the elevation of the top back of curb. Hydrants shall be located in planter strips and at property lines where possible.

Final fire hydrant placement, design, demand, operating pressure and fire flow will be approved by the City engineer/fire chief for compliance with applicable local, state and national codes.

## Division 12

- The proposed change to Section 12.07 is to allow for a slip forming and placement method for curb and gutter installation and would extend the maximum expansion joint spacing from 30 feet to 100 feet only for slip formed curbing.

Section 12.07 Construction of curb, gutter and sidewalk - Curb and gutter to be installed with bituminous asphalt cement pavement shall have contraction joints placed every 10 feet by use of 1/8-inch steel template of the exact cross section of the curb and gutter. Where dividing plates are used joints shall have a minimum of 2-inches of concrete under the plate, or the joint will be sealed with an approved sealant. Remove the templates as the concrete takes initial set. Cut the joint 1-1/2 inches deep when using the slip form method to place the concrete. Use 1/2-inch thick, pre-molded, expansion joint filler at curb and gutter radii, where the curb and gutter abuts a solid object and at intervals not to exceed 30 feet, unless otherwise specified by the Public Works Representative/Engineer. When a slip forming method is used to install curb and gutter, expansion joints shall be a maximum spacing of 100 feet.

## Division 17

- The proposed change to Section 17.02 will add two additional 2" conduits along the frontage of the development in order to provide conduits to be available for future communications infrastructure.

Section 17.02 Utility Conduit: Two – two-inch (2") (initially empty) communications conduits shall be installed parallel and congruent to all primary and secondary power conduits such that communication lines can serve all lots individually. Communications service boxes labeled "Communications" shall be installed above the communications conduits directly adjacent to all power boxes (i.e. ground sleeves, transformers, etc.).

## Division 20

- The proposed change to Section 20.03 is to provide City standards for accessory type gravel driveways

**Section 20.03 GRAVEL DRIVE APPROACHES:** All gravel driveway extensions shall have a minimum of 4 inches of one half (1/2) inch angular gravel over a Mirafi 600 or equivalent fabric. No pea-gravel or rounded type gravel materials are allowed.

## Standard Drawings

- Sheet CG5 – Changes the Sidewalk Cross Section to 5" of concrete for residential sidewalk and changes to 8" of road base for commercial sidewalks.
- Sheet UT2 - Include location of 2-2" utility conduits
- Sheet ST3 –
  - Added note: 55' street cross section will no longer be used within developments that submit a development application after the date that these specifications are approved.
  - Adjusted Cul-de-sac diameter to be 96 feet (per IFC code appendix D103.1)
- Sheet ST2 – Added note:
  - 26' private street cross section will no longer be used within developments that submit a complete development application after the September 2, 2017.
  - 55" Rural local road cross section will no longer be used within developments that submit a development application after the date that these specifications are approved.
- Sheet W1 – Water meter lid update Part # DFW12AFD-1WT 63D-LID (Consistent with Division 3A text change listed above)



# CHAPTER 4

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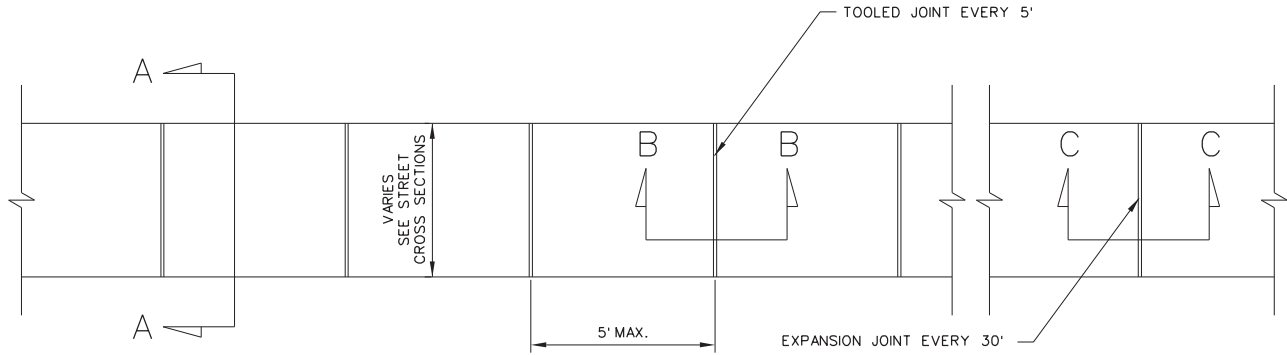
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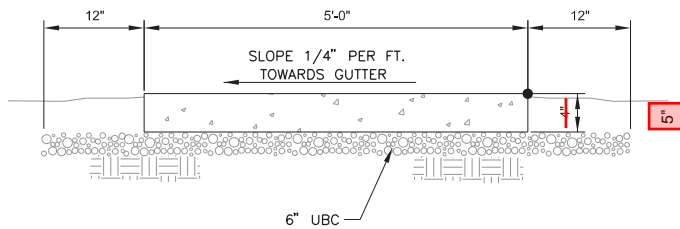
#### **DIVISION 4A: PVC PLASTIC PIPE**

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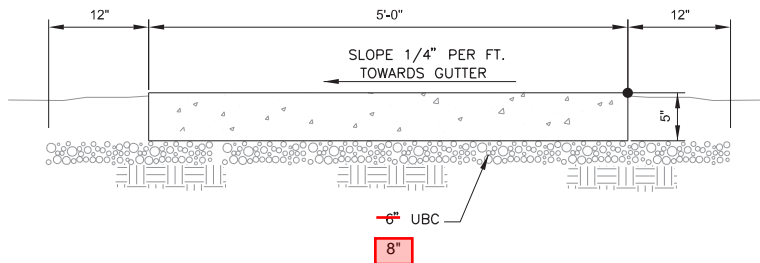




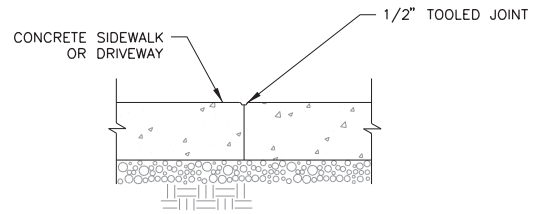
PLAN VIEW



RESIDENTIAL SIDEWALK SECTION A-A



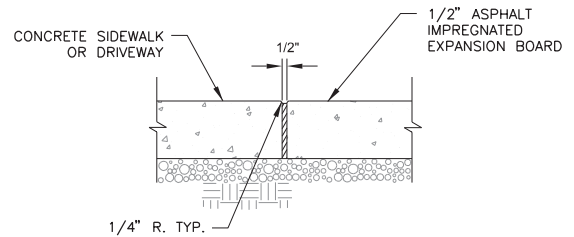
COMMERCIAL SIDEWALK SECTION A-A



SECTION B-B

NOTE:

TOOLED JOINT IS TYPICAL FOR CURB, GUTTER, SIDEWALK, AND BLOCKOUTS



SECTION C-C

NOTE:

EXPANSION JOINT IS TYPICAL FOR CURB, GUTTER, SIDEWALK, AND BLOCKOUTS

NOTES:

1. PROVIDE A TOOLED JOINT EVERY 10'-0" IN CURB & GUTTER, & EVERY 5'-0" IN SIDEWALK.
2. PROVIDE AN EXPANSION JOINT EVERY 30'-0" IN SIDEWALK.
3. PLACE UBC UNDER CONCRETE SIDEWALK, AND 12" BEYOND FRONT AND BACK OF WALK

## SIDEWALK DETAILS

NOT TO SCALE



### STATEMENT OF USE

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### REVISION

NO.	DESCRIPTION	BY	APR	DATE
1	CHANGED EXPANSION JOINT SPACING TO 30 FEET	NEB	M.C.	11/2011



## SIDEWALK DETAILS

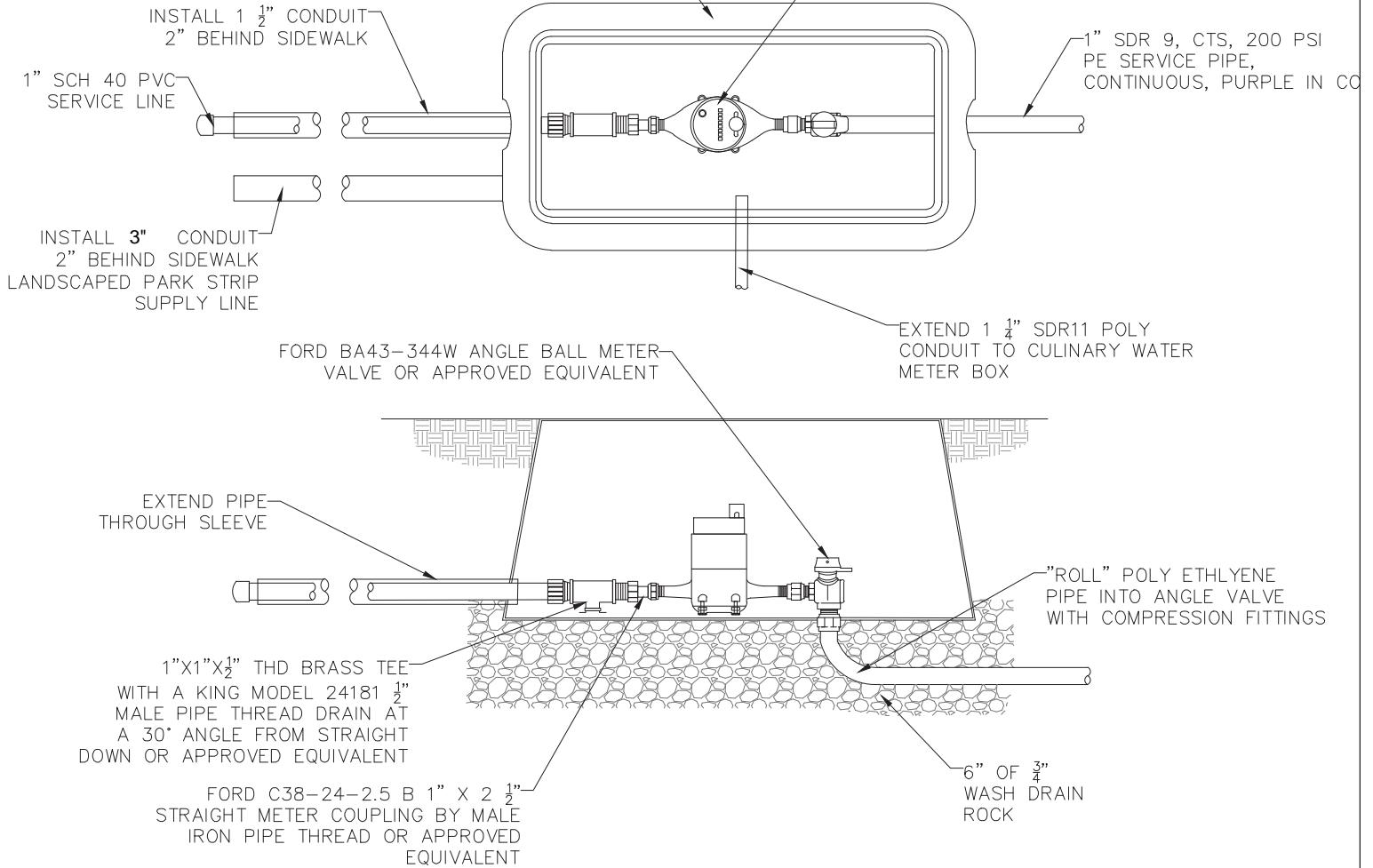
SANTAQUIN CITY  
275 WEST MAIN STREET

STANDARD DRAWING NUMBER:	CG5
CAD DWG.dwg, 6-12.dwg	
PLOT SCALE:	
DRAWN BY:	
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	20 JUN 12

# DFW PLASTICS 1324C4-12-4T 63D

~~CARSON BROOKS 1220 JUMBO IRRIGATION BOX WITH BOLTED DOWN COVER, OR APPROVED EQUIVALENT~~

METER SHALL BE PROVIDED BY THE CITY AND INSTALLED BY THE CONTRACTOR



## PRESSURIZED IRRIGATION METER BOX

NOT TO SCALE

### STATEMENT OF USE:

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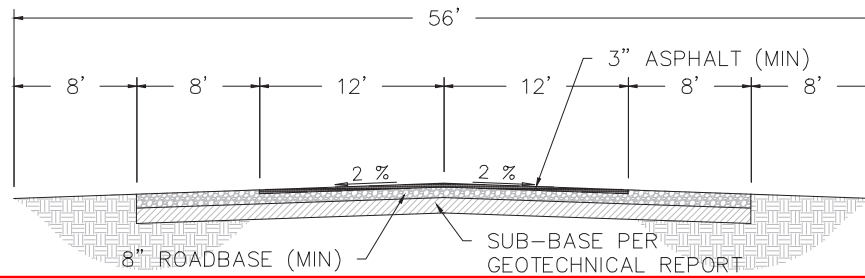


## PRESSURE IRRIGATION METER BOX

SANTAQUIN CITY  
275 WEST MAIN STREET

PI2

ADOPTED DA  
19 - 00



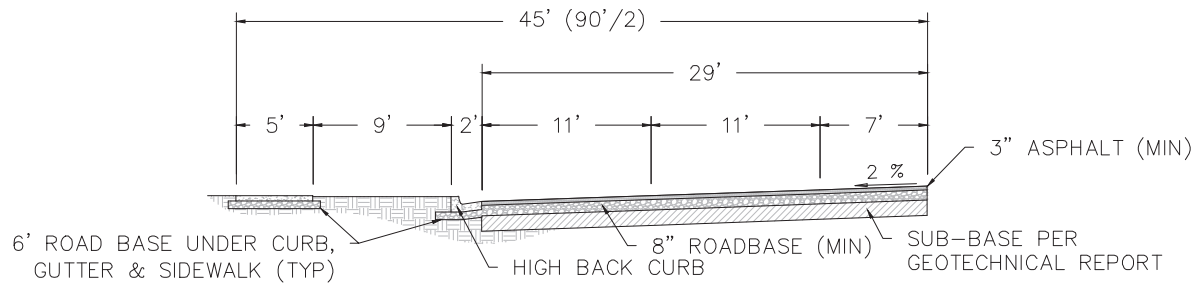
**55' RURAL LOCAL ROAD STREET CROSS SECTION WILL NO LONGER BE USED WITHIN DEVELOPMENTS THAT SUBMIT A COMPLETE DEVELOPMENT APPLICATION AFTER THE DATE THAT THESE SPECIFICATIONS ARE APPROVED.**

**NOTES:**

THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

## 55' RURAL LOCAL ROAD CROSS SECTION

NOT TO SCALE

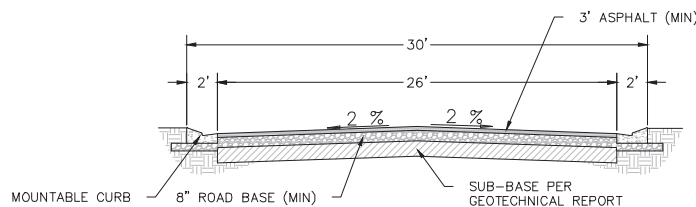


**NOTES:**

1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

## 5-LANE/NO PARKING 90' ARTERIAL

NOT TO SCALE



**NOTES:**

THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

## 26' PRIVATE STREET CROSS SECTION

NOT TO SCALE

**26' PRIVATE STREET CROSS SECTION WILL NO LONGER BE USED WITHIN DEVELOPMENTS THAT SUBMIT A COMPLETE DEVELOPMENT APPLICATION AFTER SEPTEMBER 2, 2017**

**NOTES:**

STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

**STATEMENT OF USE:**

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**REVISION**

NO.	BY	APR	DATE

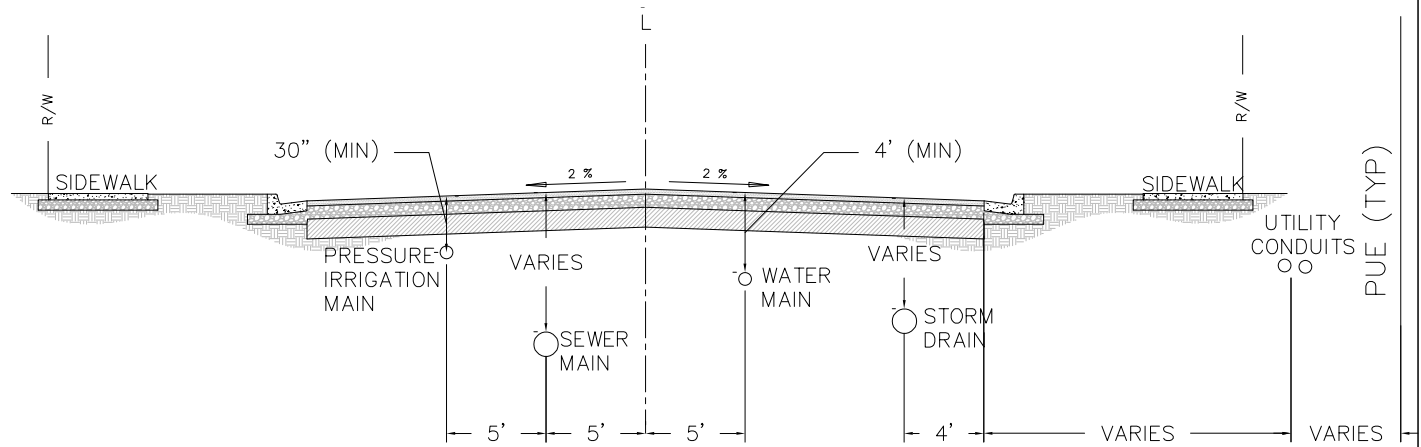


### STANDARD STREET CROSS SECTION

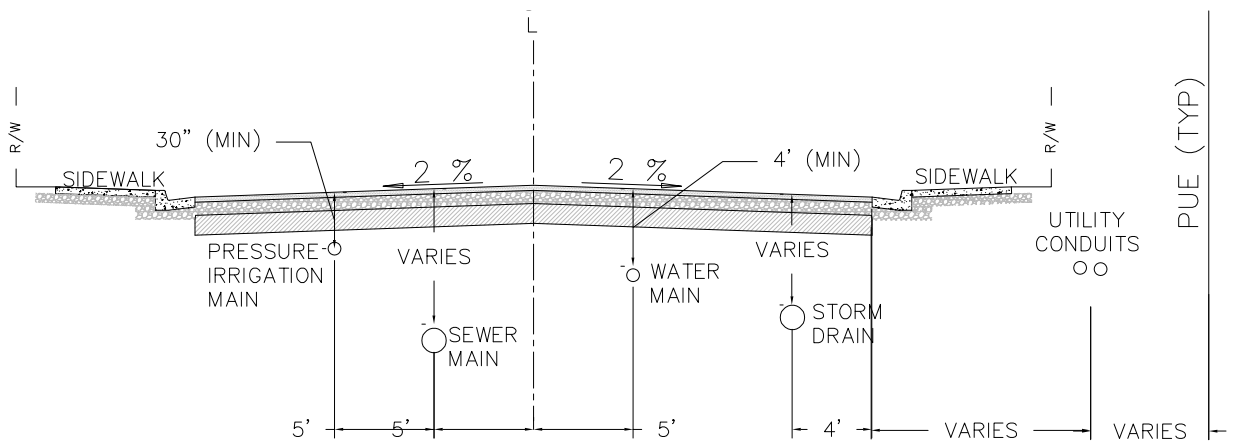
**SANTAQUIN CITY  
275 WEST MAIN STREET**

**ST2**

ADOPTED D  
19 - OC



## STREET UTILITY LOCATIONS WITH PLANT STRIP



## STREET UTILITY LOCATIONS SECTIONS

1. IRRIGATION MAINS SHALL BE LOCATED 10 FEET SOUTH & WEST OF CENTER OF THE STREET.
2. WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
3. SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
4. STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE LIP OF GUTTER ON NORTH & EAST SIDE OF THE STREET.
5. STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.
6. UTILITY CONDUITS: SEE SECTION 17.02

### STATEMENT OF USE:

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### REVISION

NO.	BY	DATE



**STREET UTILITY LOCATIONS  
PROFILE VIEW**  
**SANTAQUIN CITY**  
**275 WEST MAIN STREET**

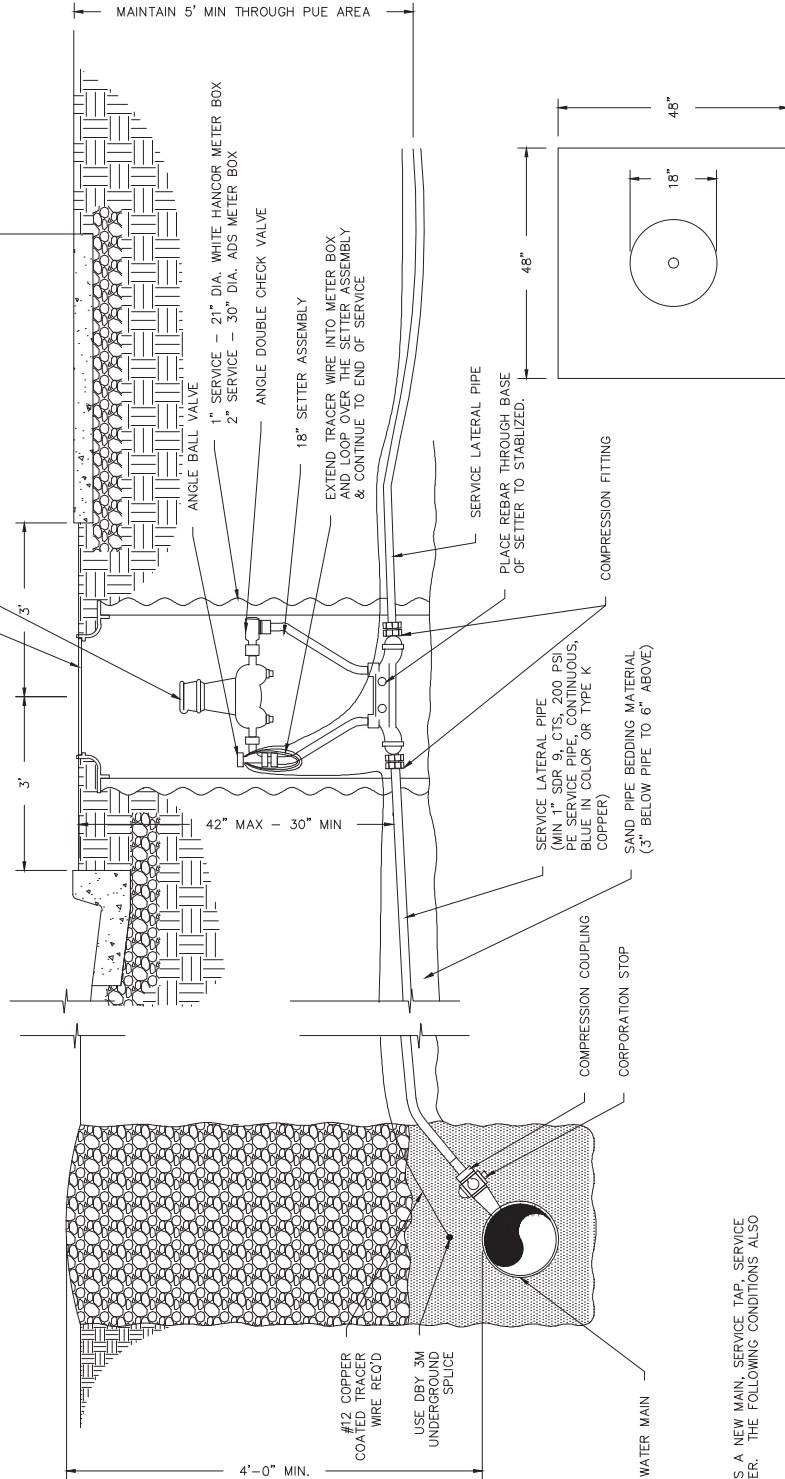
**UT2**

ADOPTED 19 - 00

DFW PLASTICS DFW12AFD-1WT 63D-LID

METER BOX TOP RING AND COVER (LOCATE WITHIN 1" OF THE TOP OF SIDEWALK)

METER VARIES ACCORDING TOP SERVICE SIZE (FURNISHED BY SANTAQUIN CITY) (18" TO 22" FROM THE TOP OF BOX LID)



- FOR METERS LOCATED IN DRIVEWAYS:
1. TOOL JOINT OR CUT IN CONCRETE.
  2. INSTALL 18" FLAT LID WITH HOLE.
- EXISTING METERS THAT MUST BE RELOCATED MAY NEED TO BE TURNED IN ORDER FOR THEIR ORIENTATION TO MATCH THE ALIGNMENT OF THE SERVICE LINE.

- NOTES:
- THIS DETAIL SHOWS A NEW MAIN, SERVICE TAP, SERVICE LATERAL AND METER. THE FOLLOWING CONDITIONS ALSO APPLY:
- A. NEW MAIN, SERVICE TAP AND SERVICE LATERAL CONNECTED TO EXISTING WATER.
  - B. NEW MAIN AND SERVICE TAP CONNECTED TO EXISTING SERVICE LATERAL.
  - C. NEW SERVICE TAP AND SERVICE LATERAL CONNECTED TO EXISTING MAIN AND METER.
  - D. NO COUPLERS SHALL BE ALLOWED BETWEEN THE MAIN AND METER. BLAST SETTERS SHALL BE USED.
  - E. WATER METERS SHALL NOT BE PLACED IN CONCRETE SURFACE. (DRIVEWAYS, WALKWAYS ETC.)

CULINARY WATER SERVICE CONNECTION

STATEMENT OF USE:				
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REVISION				
NO.		BY	APP	DATE



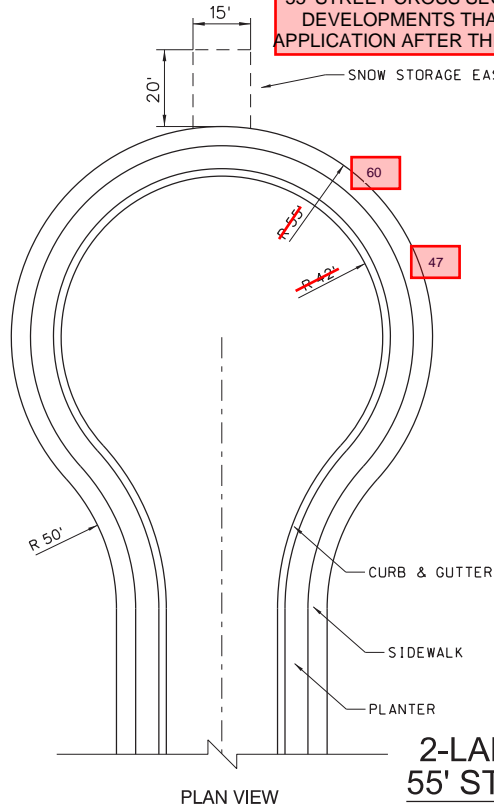
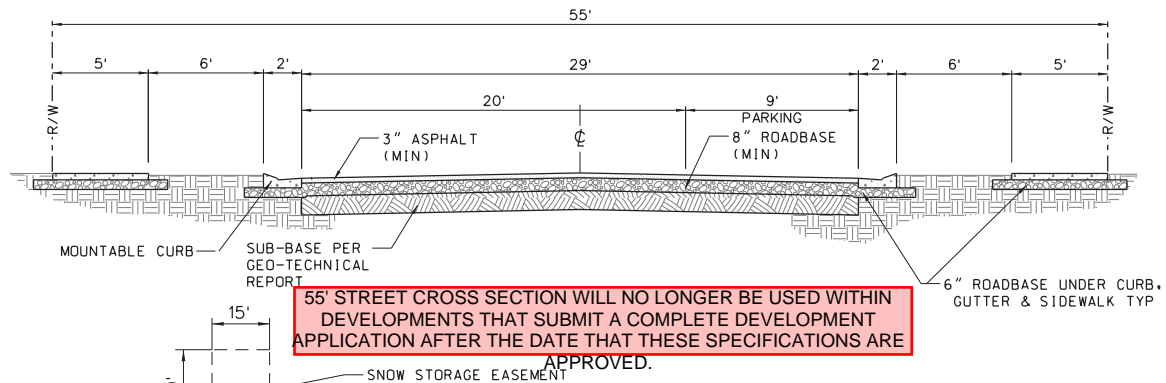
**CULINARY WATER SERVICE CONNECTION**

**SANTAQUIN CITY**

**275 WEST MAIN STREET**

**W1**

ADOPTED D  
19 - OC



## CUL-DE-SAC NOTES:

WHERE AVERAGE SLOPE OF PROPERTY &gt; 10%:

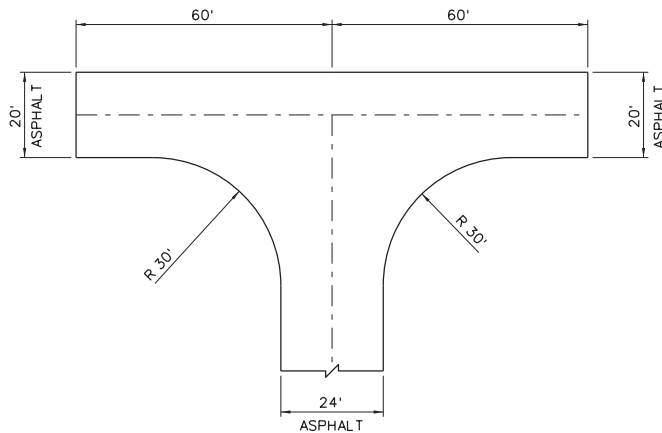
1. 20 LOT MAXIMUM
2. LENGTH OF STREET LIMITATION-1000 FEET MEASURED FROM CENTER OF INTERSECTION TO CENTER OF TURN AROUND.
3. INTERMEDIATE TURN AROUND AS PER THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST EDITION) FOR CUL-DE-SAC > 750 FEET IN LENGTH.
4. TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST CITY ADOPTED VERSION) **IFC D103.1**

WHERE AVERAGE SLOPE OF PROPERTY &lt; 10%:

1. 10 LOT MAXIMUM
2. LENGTH OF STREET LIMITATION-500 FEET MEASURED FROM CENTER OF INTERSECTION TO CENTER OF TURN AROUND.
3. TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST CITY ADOPTED VERSION) **IFC D103.1**

## 2-LANE/PARKING ONE SIDE 55' STREET CROSS-SECTION

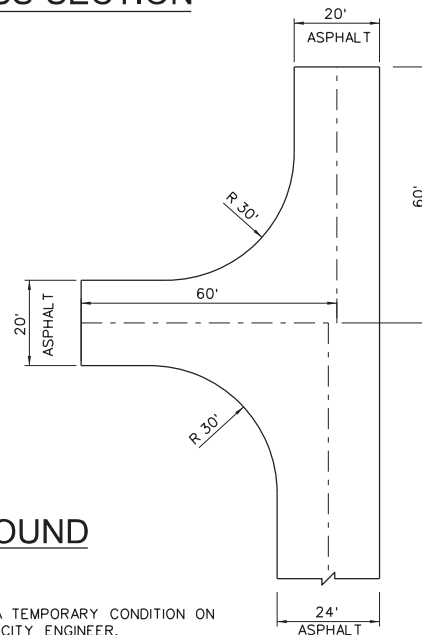
NOT TO SCALE



## HAMMERHEAD TURNAROUND

NOT TO SCALE

NOTE:  
HAMMERHEAD TURNAROUNDS ARE TO BE INSTALLED AS A TEMPORARY CONDITION ON STANDARD STREETS AND ONLY BY PERMISSION OF THE CITY ENGINEER.



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## REVISION

NO.	DESCRIPTION	BY	APR	DATE
1	SNOW STORAGE AREA ADDED	NEB	MLC	11/2/2011



## STANDARD STREET CROSS SECTIONS

SANTAQUIN CITY  
275 WEST MAIN STREET

STANDARD DRAWING NUMBER:	ST3
PLOT SCALE:	1" = 10'
DRAWN BY:	
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	20 JUN 12