



DEVELOPMENT REVIEW COMMITTEE

Tuesday, January 04, 2022, at 10:00 AM
Court Room/Council Chambers (2nd Floor) and Online

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Lind 2-Lot Subdivision Preliminary/Final Review

A preliminary/final review of a single lot split located at 315 N. Center Street.

MEETING MINUTES APPROVAL

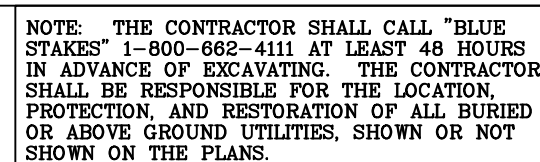
AJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on www.santaquin.org, as well as posted on the State of Utah's Public Notice Website.

BY:

K. Aaron Shirley, City Recorder



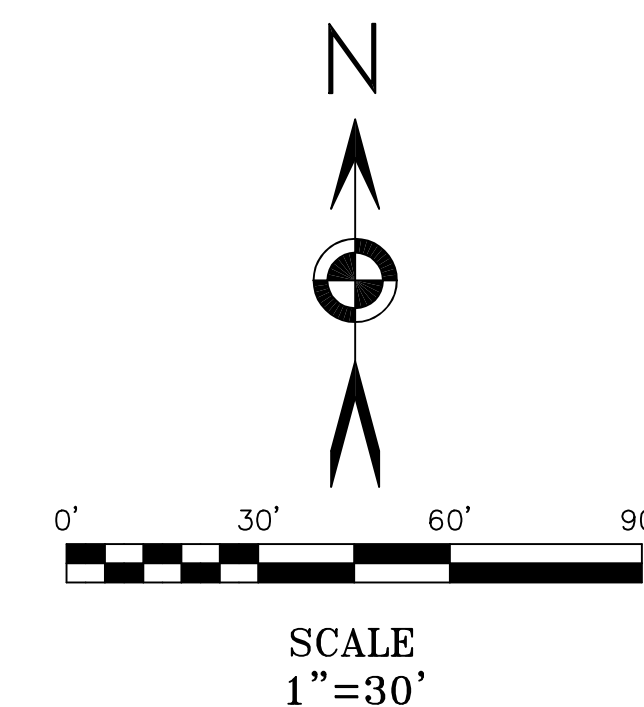
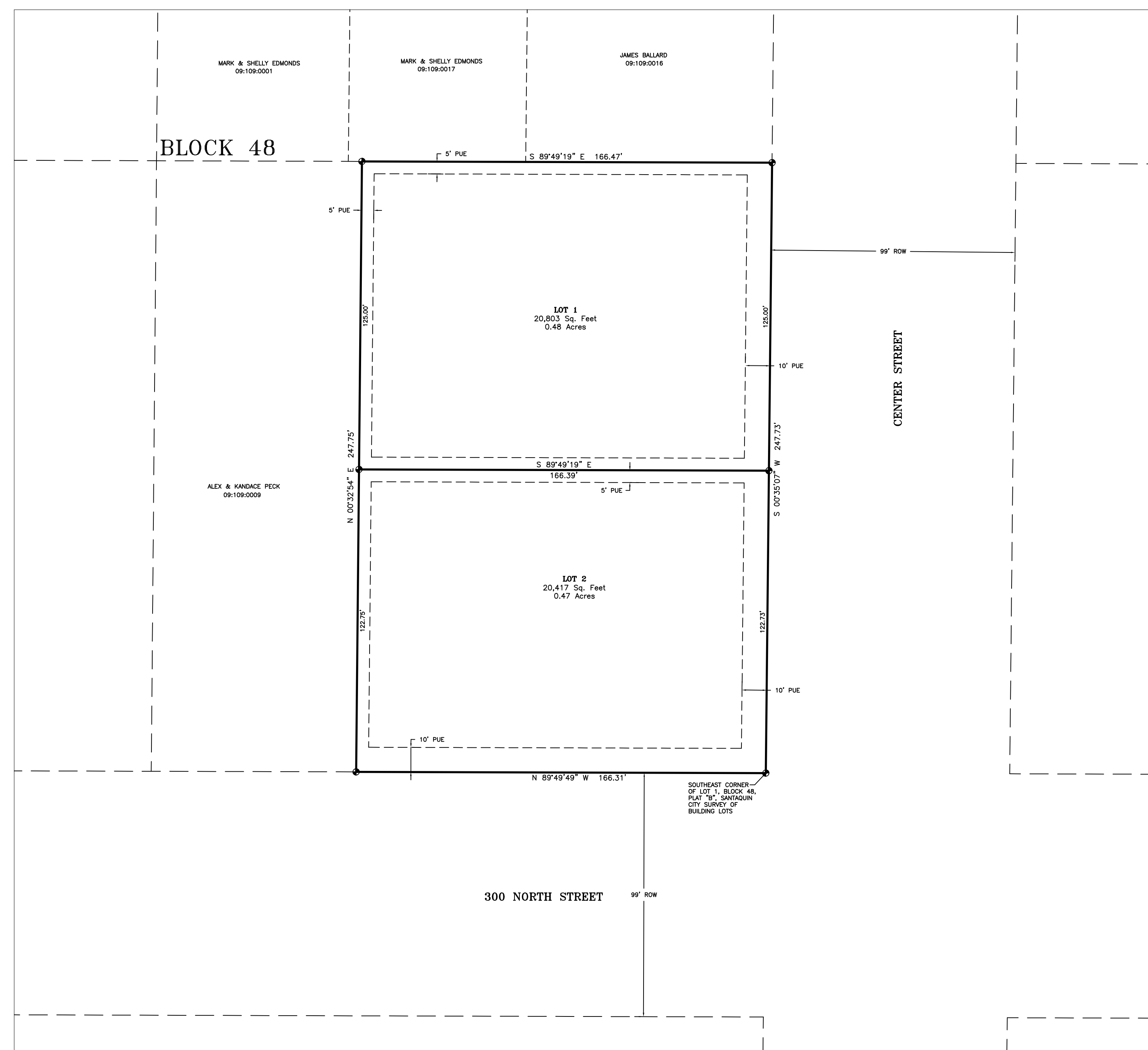
PLAT " A " LIND SUBDIVISION

SHEET #

SHEET NAME

- 1
- 2
- 3

COVER SHEET
FINAL PLAT "A"
UTILITY PLAN



DATA TABLE:
ZONING=R-8
TOTAL # OF LOTS=2
TOTAL ACREAGE=0.95

GENERAL NOTE:
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

OWNER:
SANDRA JILL SNELL
315 N CENTER
SANTAQUIN, UT 84655

DEVELOPER:
RYAN LIND
385-329-6271
rlind@santaguin.org

ENGINEER/SURVEYOR:
LUDLOW ENGINEERING
435-623-0897
1451 S MAIN
NEPHI, UT 84648

REVISIONS

1. _____ 4. _____
2. _____ 5. _____
3. _____ 6. _____

PROJECT NO.: LE 4047 SURVEYOR/DIRECTOR: D. PENROD
DATE: NOVEMBER 2021 FIELD SURVEYOR: M. JACOBSON
SCALE: N/A DRAWN: K. ROUNDY
REVISION: _____ CHECKED: D. PENROD



LUDLOW ENGINEERING & ASSOCIATES

Subdivisions * Boundary Surveys * City Lot Surveys * ALTA Surveys
Claim Surveys * Control Networks * Construction Surveys * Topography
Civil * Sewer & Water Design * Residential & Commercial Structure
Subdivision Design * Site Plans * Road Design
1451 South Main, Nephi, Utah 84648 (435) 623-0897 FAX (435) 623-2381

COVER SHEET

PLAT "A" LIND SUBDIVISION

SANTAQUIN CITY, UTAH COUNTY, UTAH
NOVEMBER 2021

I, Daryl N. Penrod, do hereby certify that I am a registered land surveyor, and that I hold a license in accordance with Title 58, chapter 22, professional Engineering and Land Surveyors Licensing Act, Utah Code Annotated, 1953 as amended, and I am duly qualified to further certify that by the authority of the owners, I have made a survey of the tract of land shown on this plot and described below, have subdivided said tract of land into lots, and easements, have completed a survey of the property, and that the information contained herein is true and correct. Utah code Annotated, 1953 as amended, have verified all measurements, and have placed monuments as represented on the plot.

BOUNDARY DESCRIPTION

SOUTHEAST CORNER OF SAID LOT BEING S 00°43'57" E 679.51 FEET ALONG THE SECTION LINE AND S 89°49'54" E 190.57 FEET ALONG THE SOUTH LINE OF SAID LOT, FROM THE NORTHWEST CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENT AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY
OF _____, A.D. 20__.

SANDRA JILL SNELL

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THE ____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, SANDRA JILL SNELL, THE SIGNER OF THE FOREGOING CERTIFICATE WHO DULY ACKNOWLEDGE TO ME THAT SHE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

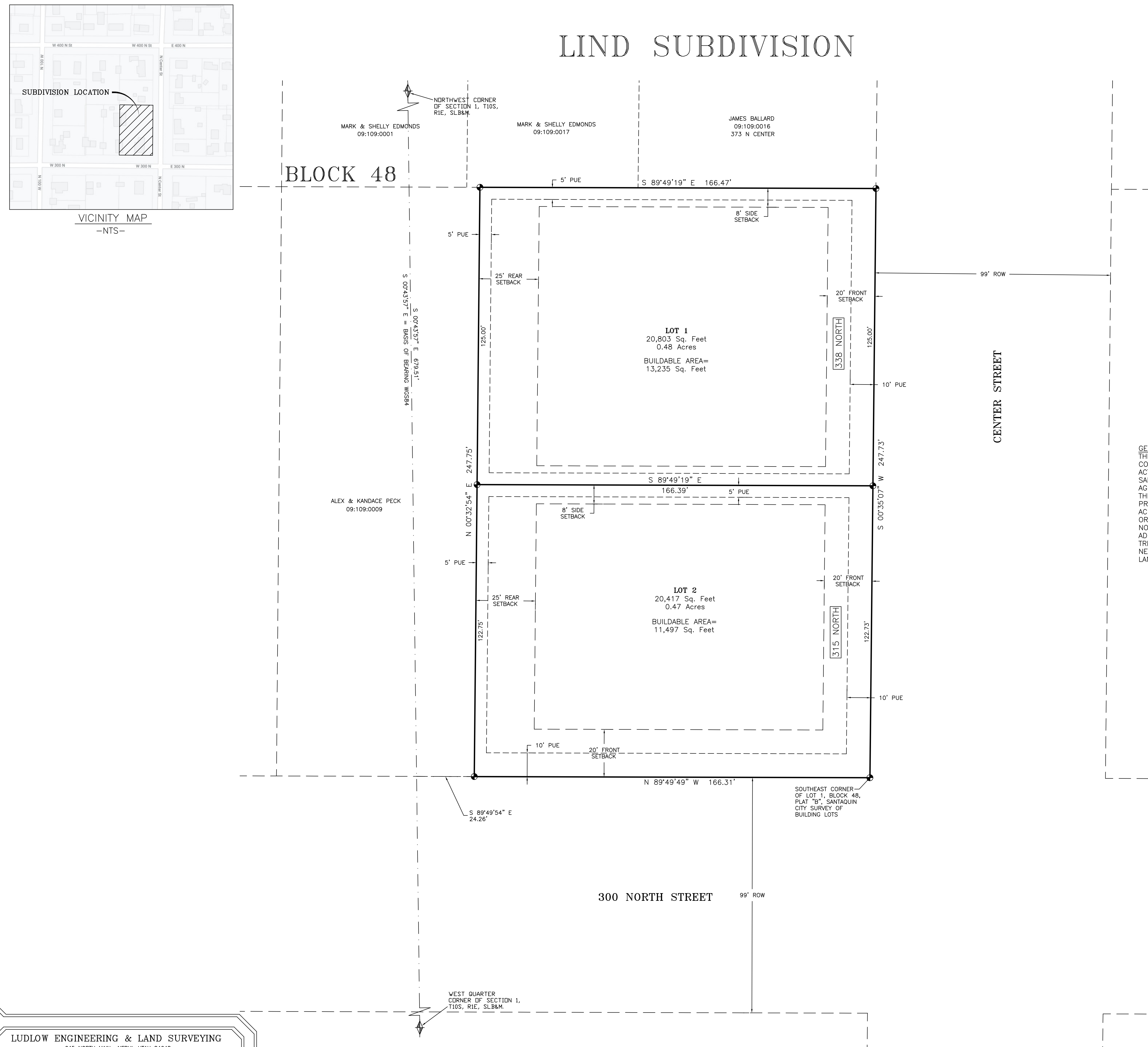
APPROVED THIS _____ DAY OF _____, A.D. 20____, BY
THE PLANNING COMMISSION.

CHAIRMAN _____ DIRECTOR / SECRETARY _____

SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, S.L.B. & M.
SANTAQUIN CITY, UTAH COUNTY, STATE OF UTAH
SCALE 1" = 20 FEET








SURVEYOR	CITY/COUNTY ENGINEER	CLERK-RECORDER	NOTARY PUBLIC
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COUNTY RECORDER'S CERTIFICATE



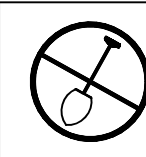
SCALE
1"=20'

LEGEND

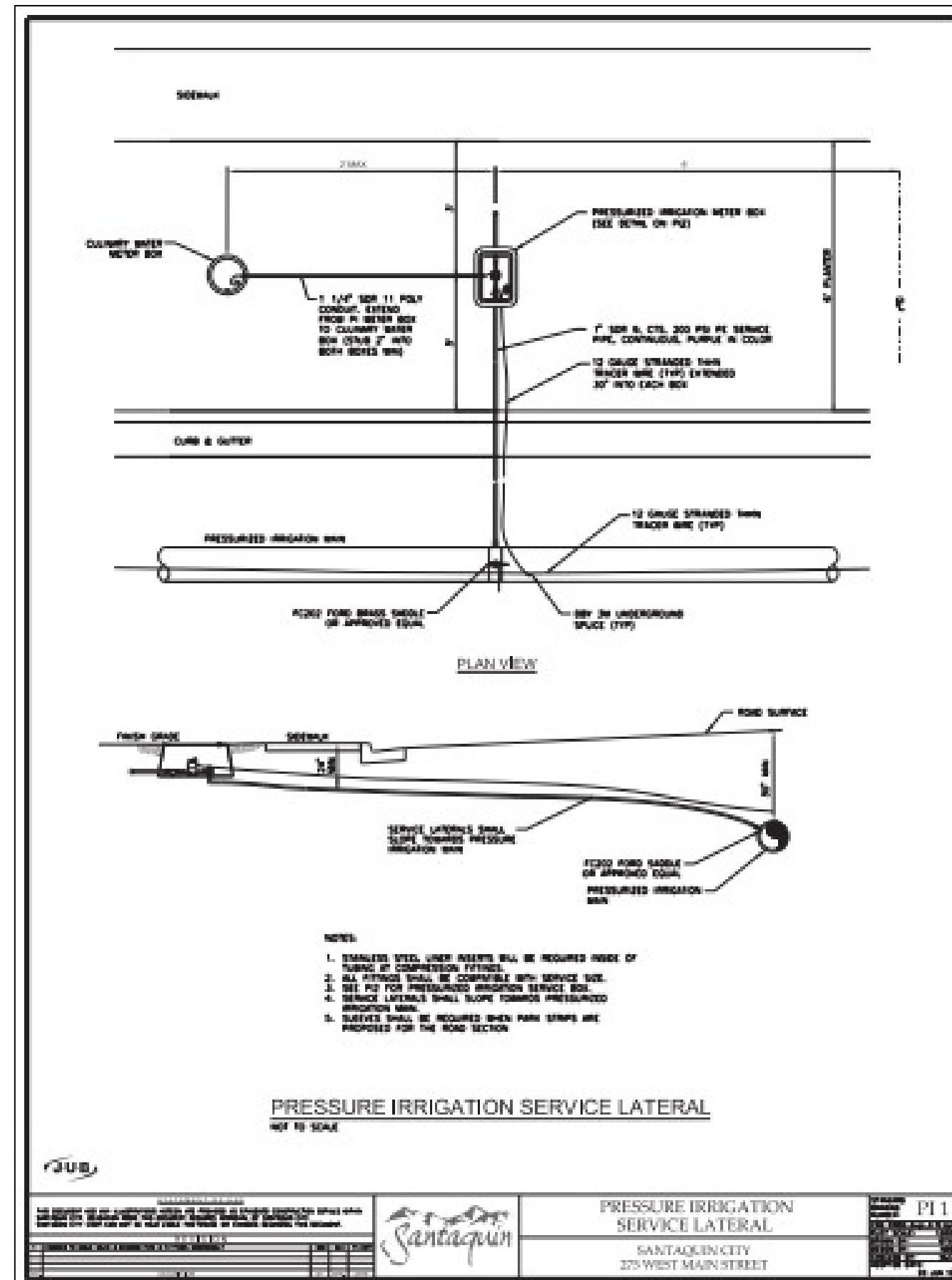
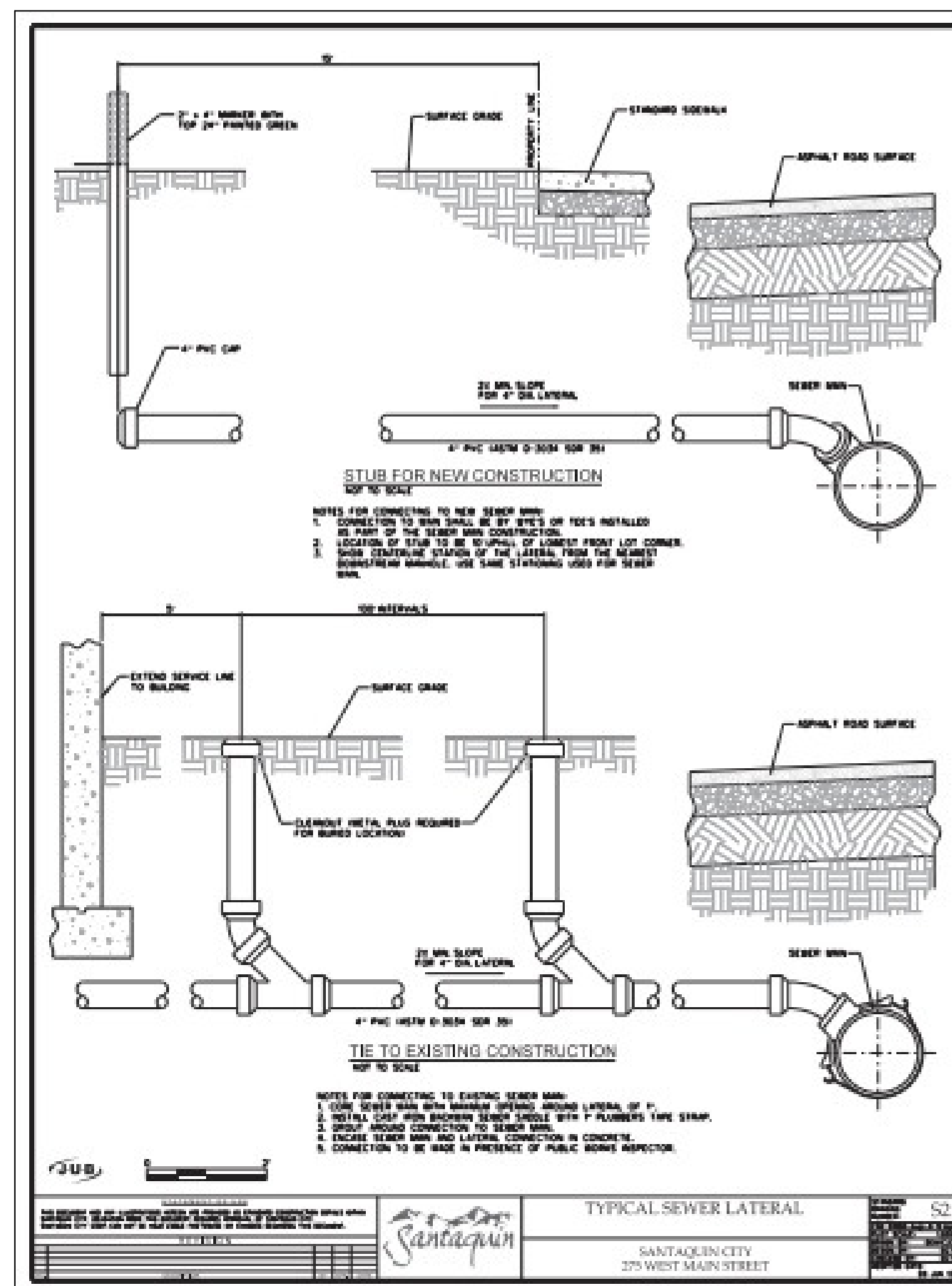
-  = FOUND 5/8" REBAR WITH CAP
-  = SECTION CORNER
-  = LAND OWNER DEED DESCRIPTION LINE
-  = DESCRIBED BOUNDARY
-  = SETBACK
-  = EASEMENT
-  = ADDRESS

SETBACK REQUIREMENTS:
FRONT=
15.00' TO COVERED PORCHES
20.00' TO LIVING AREA OR GARAGE SIDE
25.00' TO GARAGE DOOR
SIDE=8.00'
REAR=25.00'

GENERAL NOTE:
THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR DISTRESS WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.



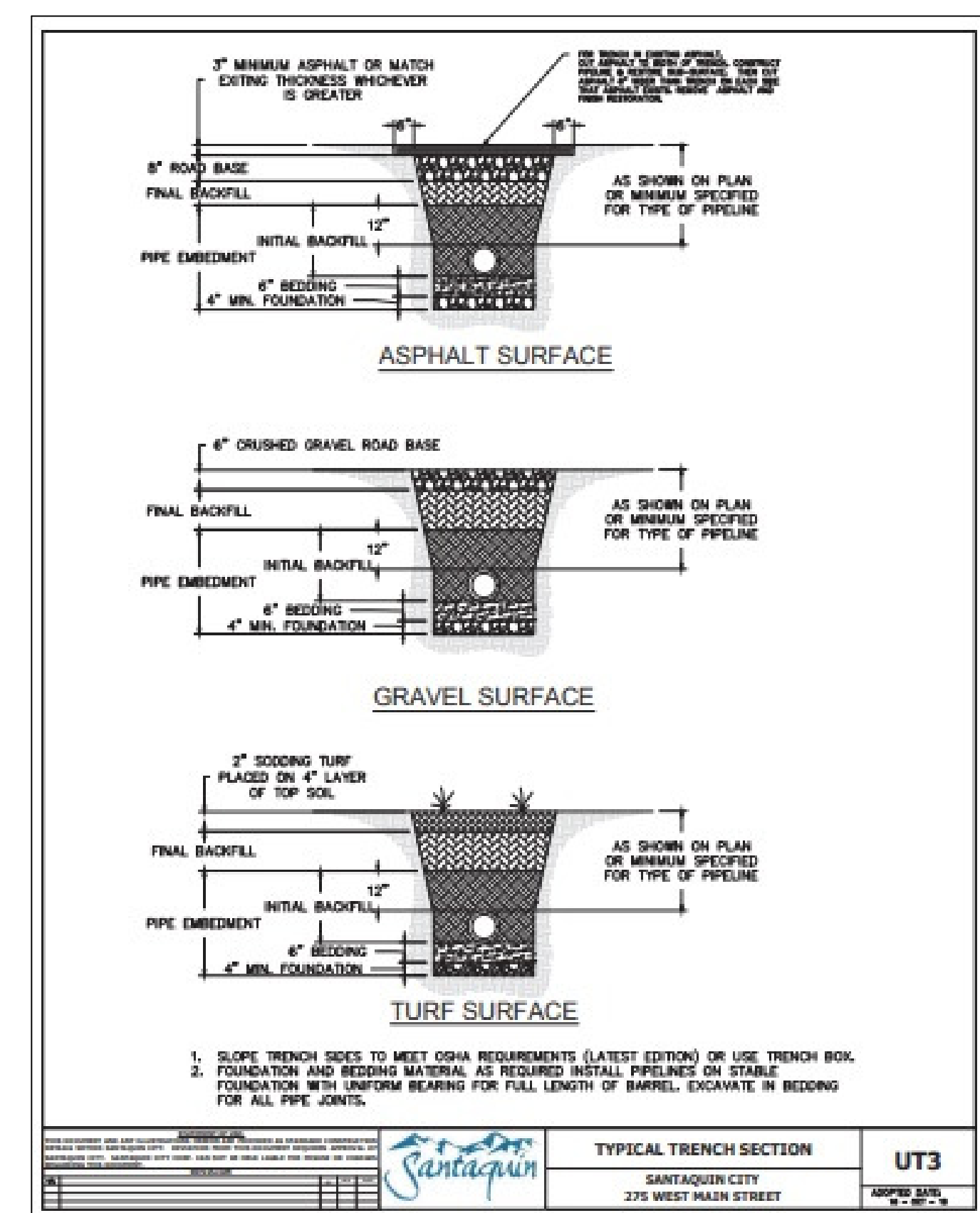
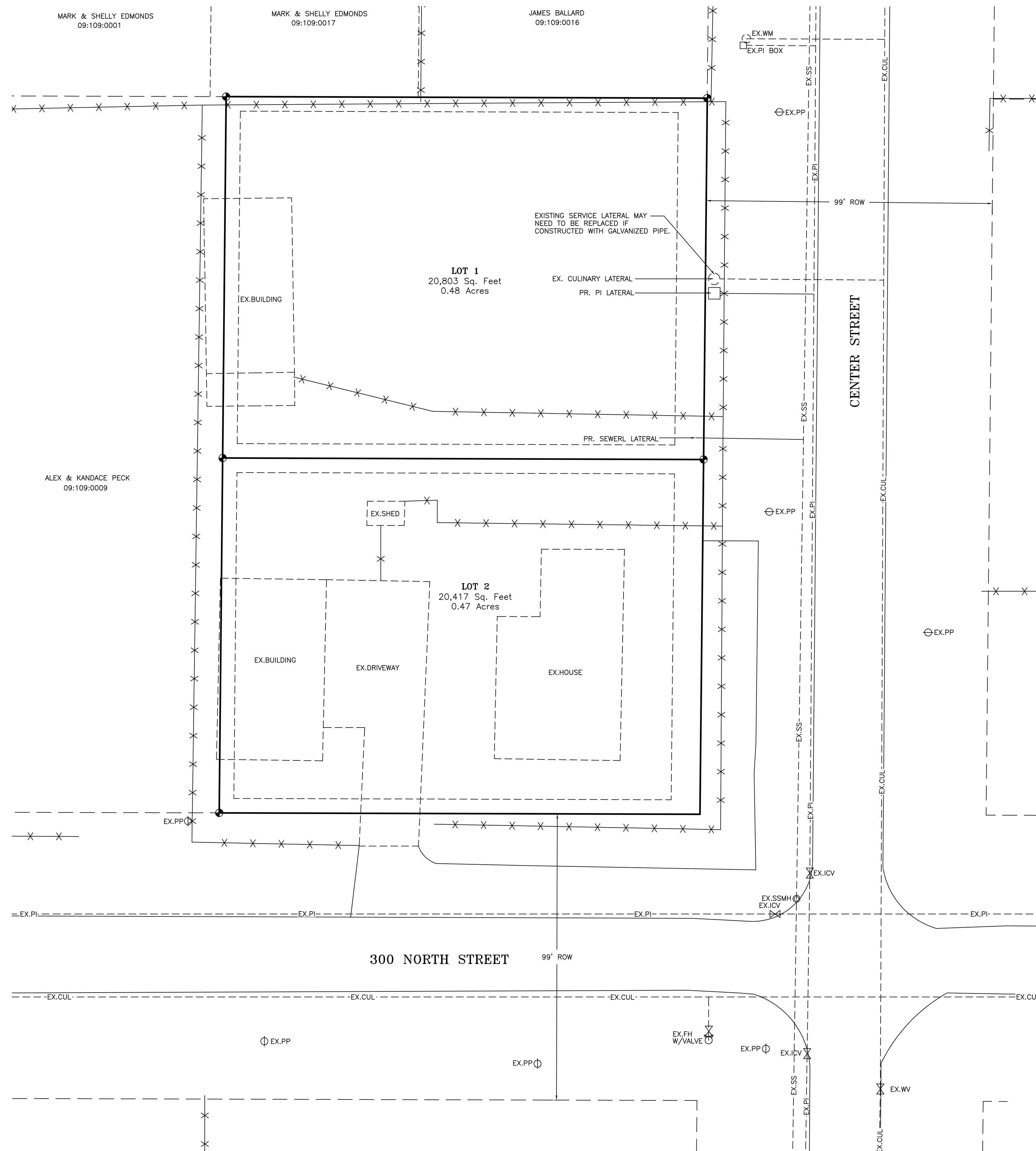
NOTE: THE CONTRACTOR SHALL CALL "BLUE STAKES" 1-800-662-4111 AT LEAST 48 HOURS IN ADVANCE OF EXCAVATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



MARK & SHELLY EDMONDS
09:109:0001

MARK & SHELLY EDMONDS
09:109:0017

JAMES BALLAR
09:109:0016



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