



DEVELOPMENT REVIEW COMMITTEE

Tuesday, May 09, 2023, at 10:00 AM
Court Room/Council Chambers (2nd Floor) and Online
275 W. Main Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2nd floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Nebo School District Animal Structure Site Plan

A site plan review of a public education facility located at approximately 400 East and E Highline Canal Road.

2. Holiday Oil Expansion Site Plan

A proposed site plan expansion of the existing gas station located at 330 E. Main Street

3. Traffic Control Request (645 Stone Brook Lane)

MEETING MINUTES APPROVAL

4. April 11, 2023

5. April 25, 2023

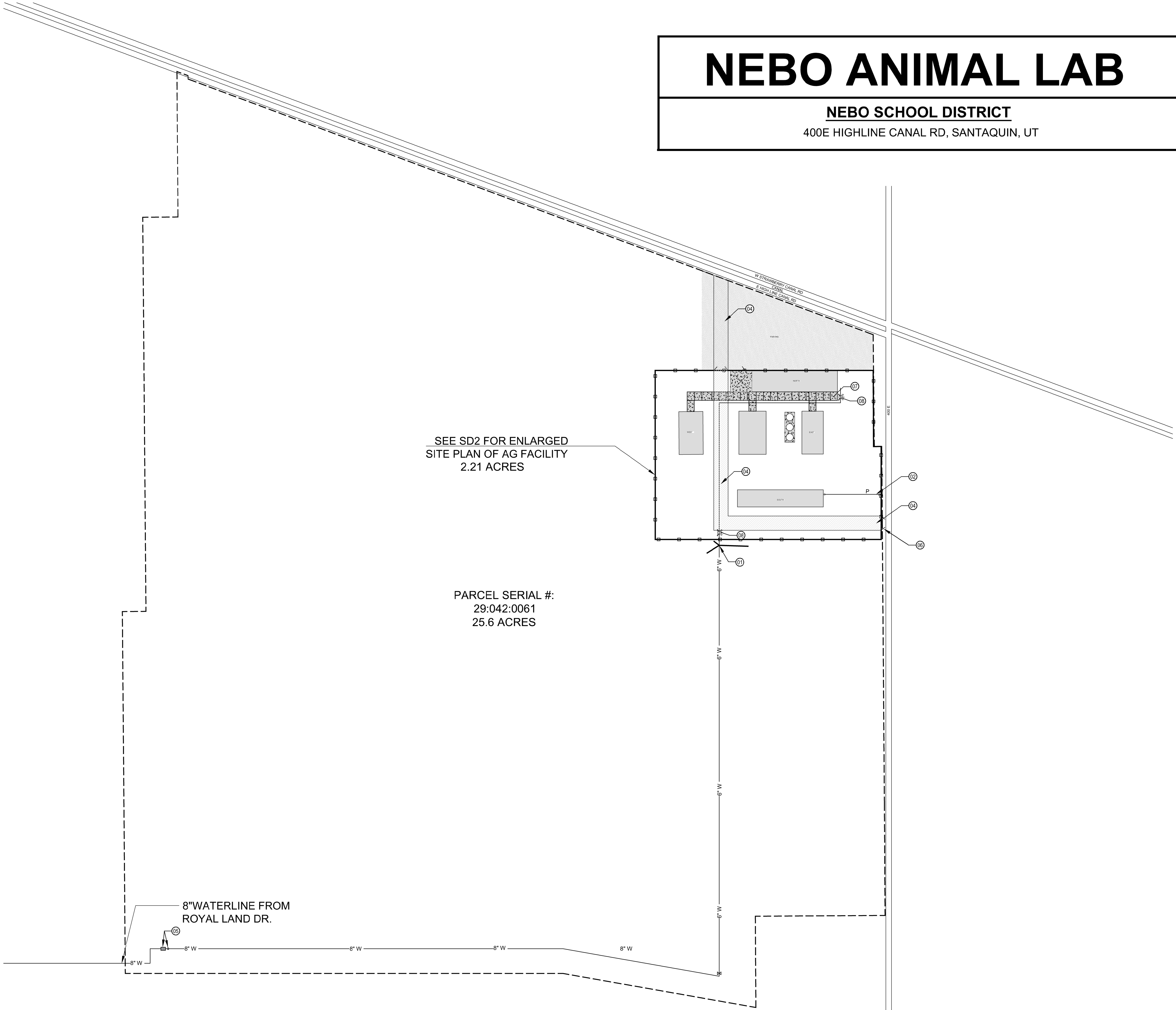
ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.org, in three physical locations (Santaquin City Public Safety Building, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:


Amalie R. Ottley, City Recorder



NEBO ANIMAL LAB

NEBO SCHOOL DISTRICT

400E HIGHLINE CANAL RD, SANTAQUIN, UT

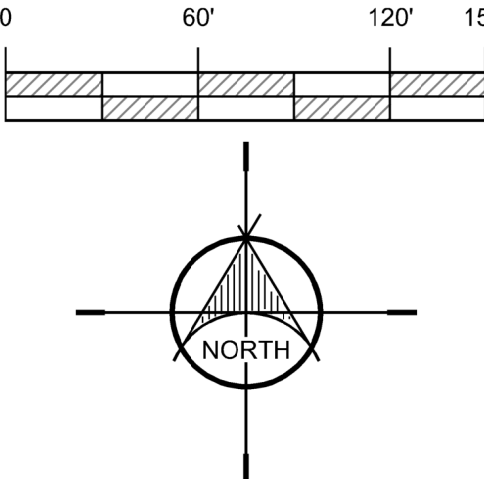
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E1	- ENCLOSED BUILDING ELECTRICAL LAYOUT PLAN
E1.1	- OPEN BUILDING ELECTRICAL LAYOUT PLAN

SHEET NOTES:

- 01 - NEW 2" WATER LINE
- 02 - EXISTING 2" MAIN POWER CONDUIT (UNDERGROUND)
- 03 - EXISTING 8" WATER LINE TO PROPERTY
- 04 - 20' FIRE LANE BUILT WITH AN ALL WEATHER SURFACE
- 05 - NEW METER AND BACK FLOW PREVENTER
- 06 - 20' GATE FIRE ACCESS ONLY
- 07 - 6" HEAVY DUTY CONCRETE
- 08 - FIRE HYDRANT

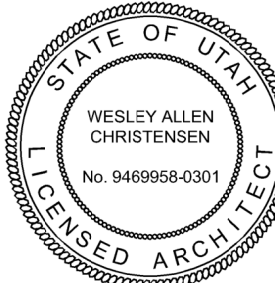
OVERALL SITE PLAN



NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS

400 E HIGHLINE CANAL RD

SANTAQUIN, UTAH



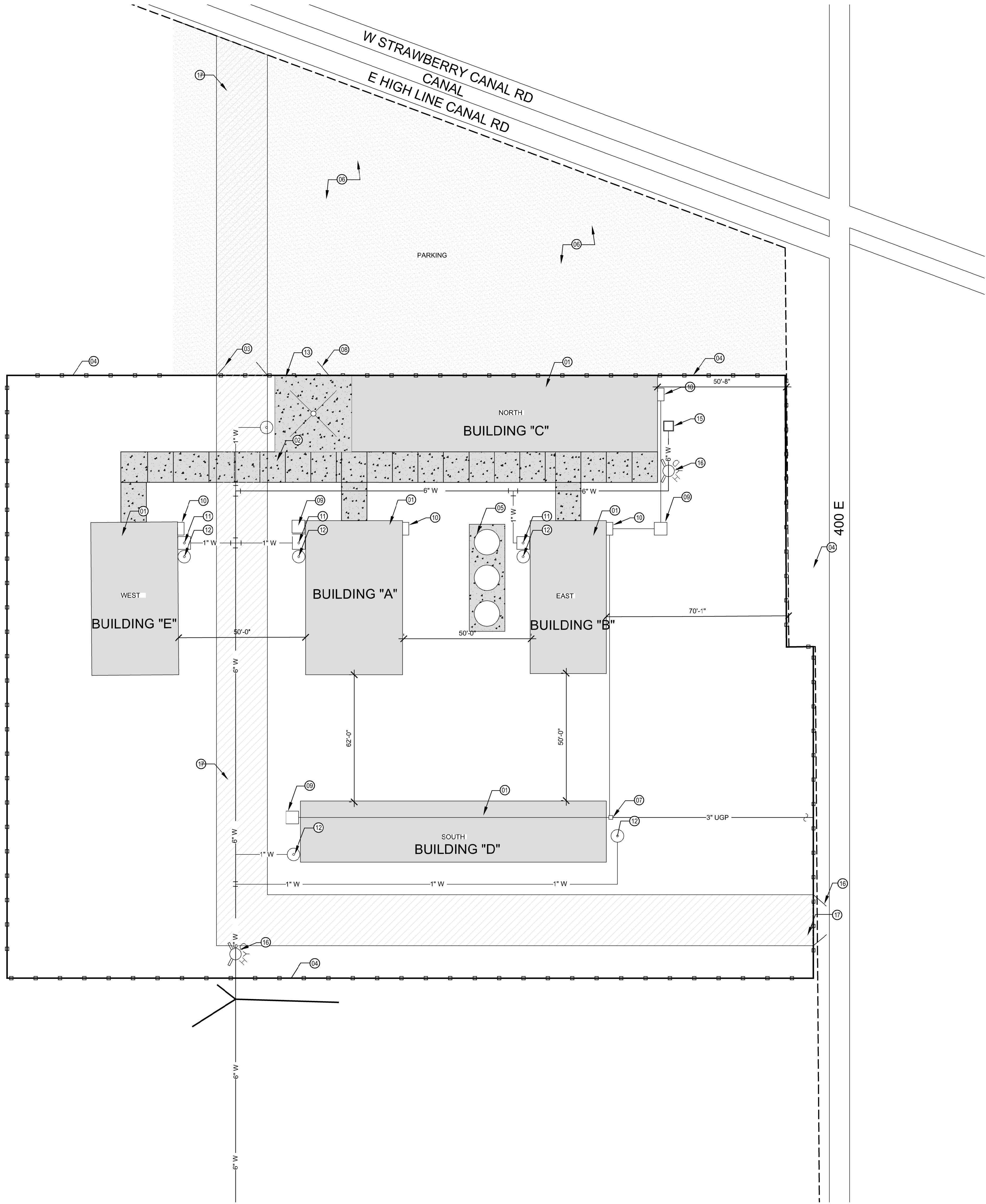
REVISIONS:



170 NORTH MAIN STREET
SPANISH FORK, UTAH 84660
WWW.KMAARCHITECTS.COM

DRAWN BY: CH
CHECKED BY: WC
DATE: FEB. 2023
PROJECT #: 171022

SD1

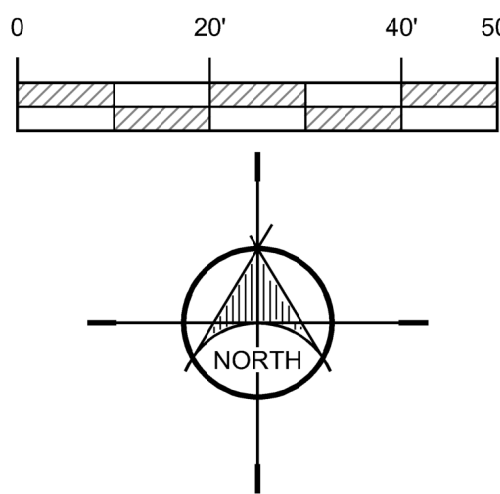


SHEET NOTES:

- 01 - PROPOSED NEW BUILDING TO BE CONSTRUCTED ON SITE
- 02 - CONCRETE DRIVEWAY OVER COMPACTED ROAD BASE
- 03 - CHAINLINK ROLLING OR SWINGING FENCE GATES
- 04 - 5' HIGH CHAINLINK SECURITY FENCE
- 05 - NEW VERTICAL FEED TANKS INSTALLED ON NEW 4" CONC. SLAB
- 06 - GRAVEL PARKING LOT OVER COMPACTED ROAD BASE
- 07 - POWER METER AS PER CITY STANDARDS
- 08 - 6" MAN GATE
- 09 - ELECTRICAL GROUND BOX
- 10 - ELECTRICAL PANEL
- 11 - 1" STOP AND WASTE
- 12 - 1/2" FROSTLESS HYDRANT
- 13 - CONC. SLAB W/ DRAIN
- 14 - 4' X 4' CONCRETE WATER JUNCTION BOX FOR ANIMAL WATER TROUGHS
- 15 - FIRE HYDRANT
- 16 - 20' FIRE LANE BUILT WITH AN ALL WEATHER SURFACE
- 17 - 20' GATE FIRE ACCESS ONLY

FENCED AREA AND
PARKING = 2.21 ACRES
OF THE 25.6 ACRE SITE.

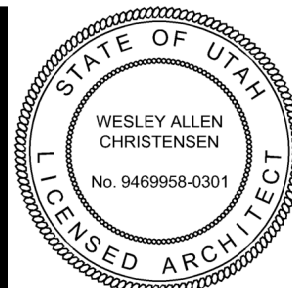
ENLARGED SITE PLAN 1" = 20'-0"



NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS

400 E HIGHLINE CANAL RD

SANTAQUIN, UTAH



REVISIONS:



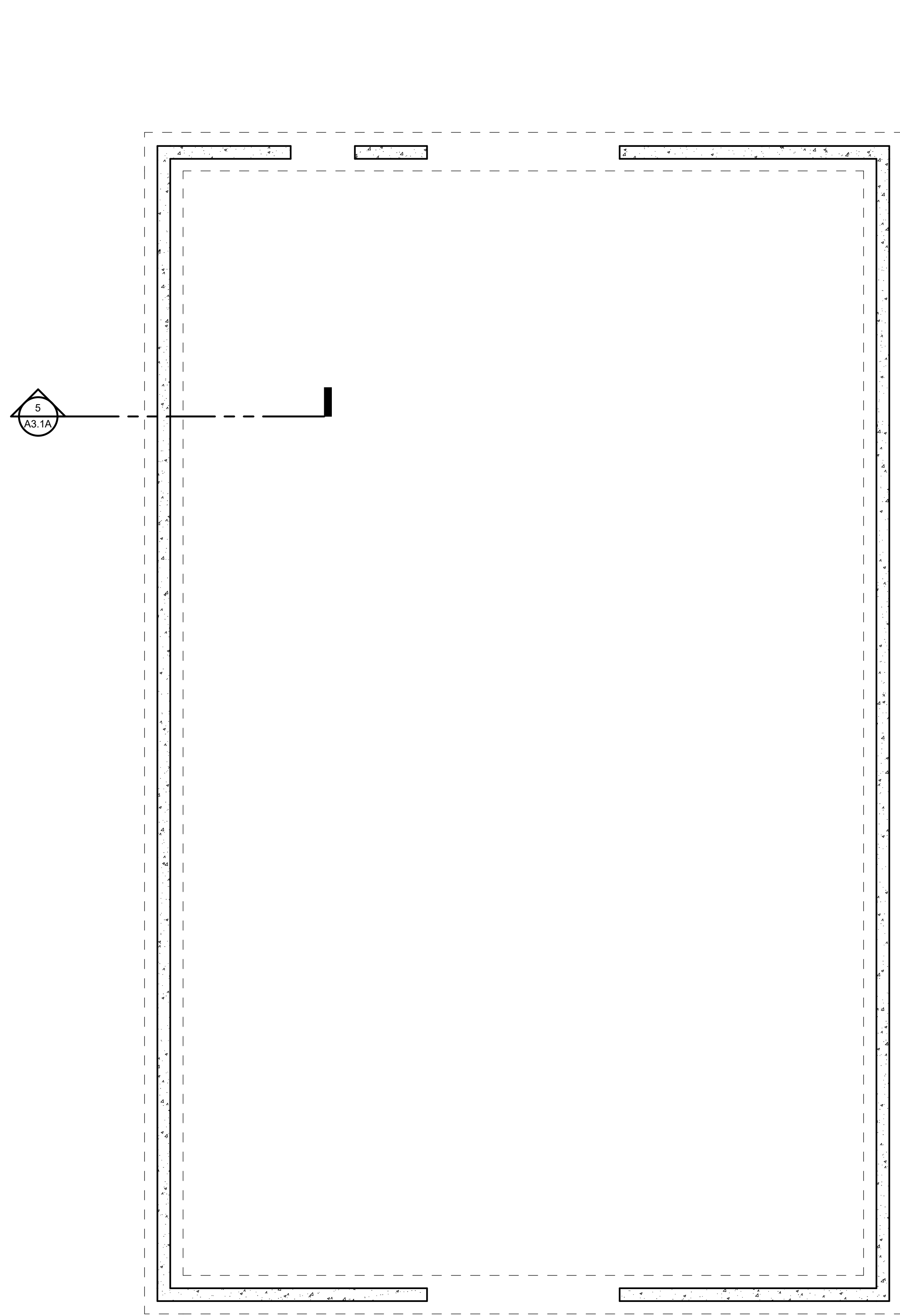
170 NORTH MAIN STREET
SPANISH FORK, UTAH 84660
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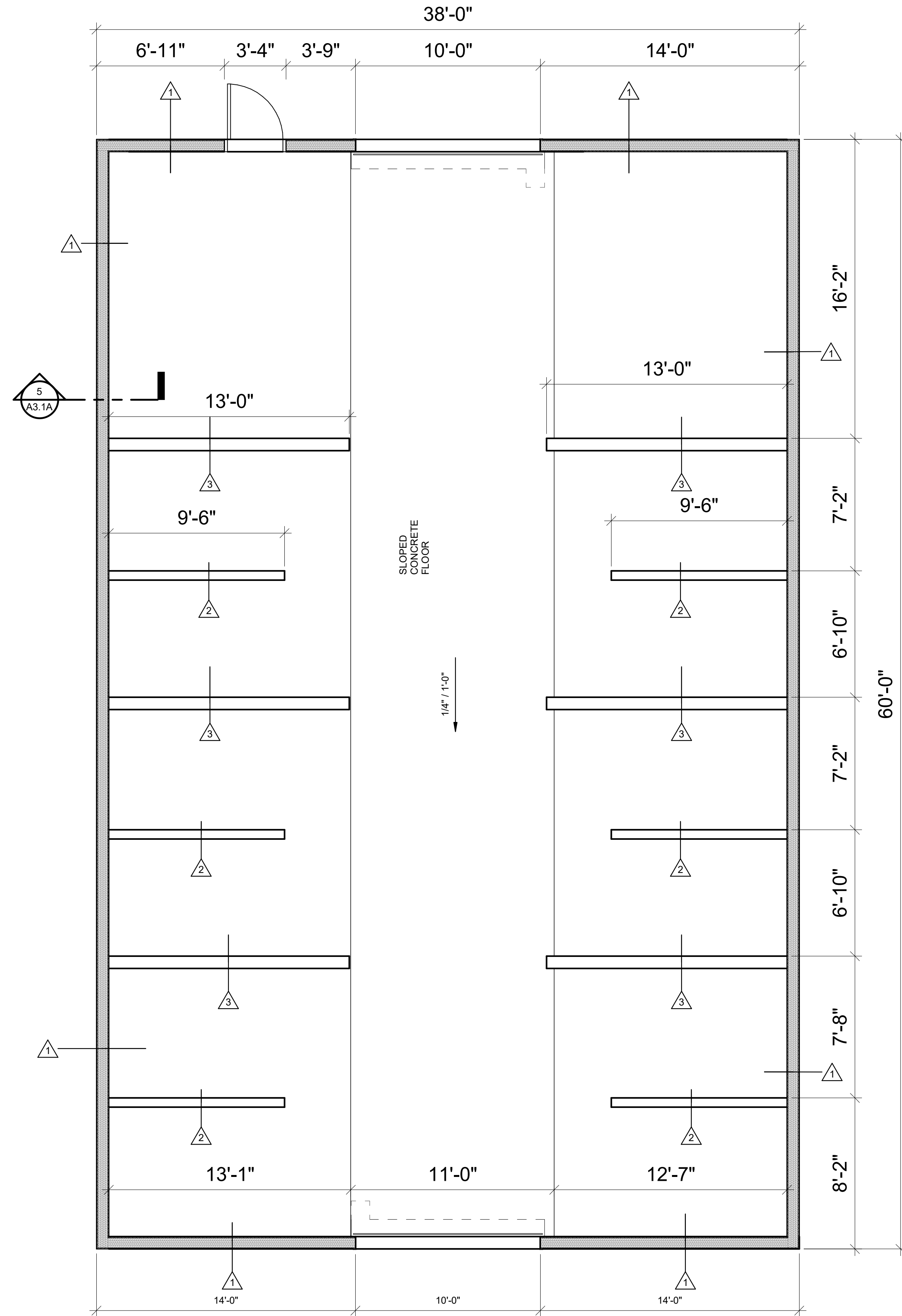
SD2

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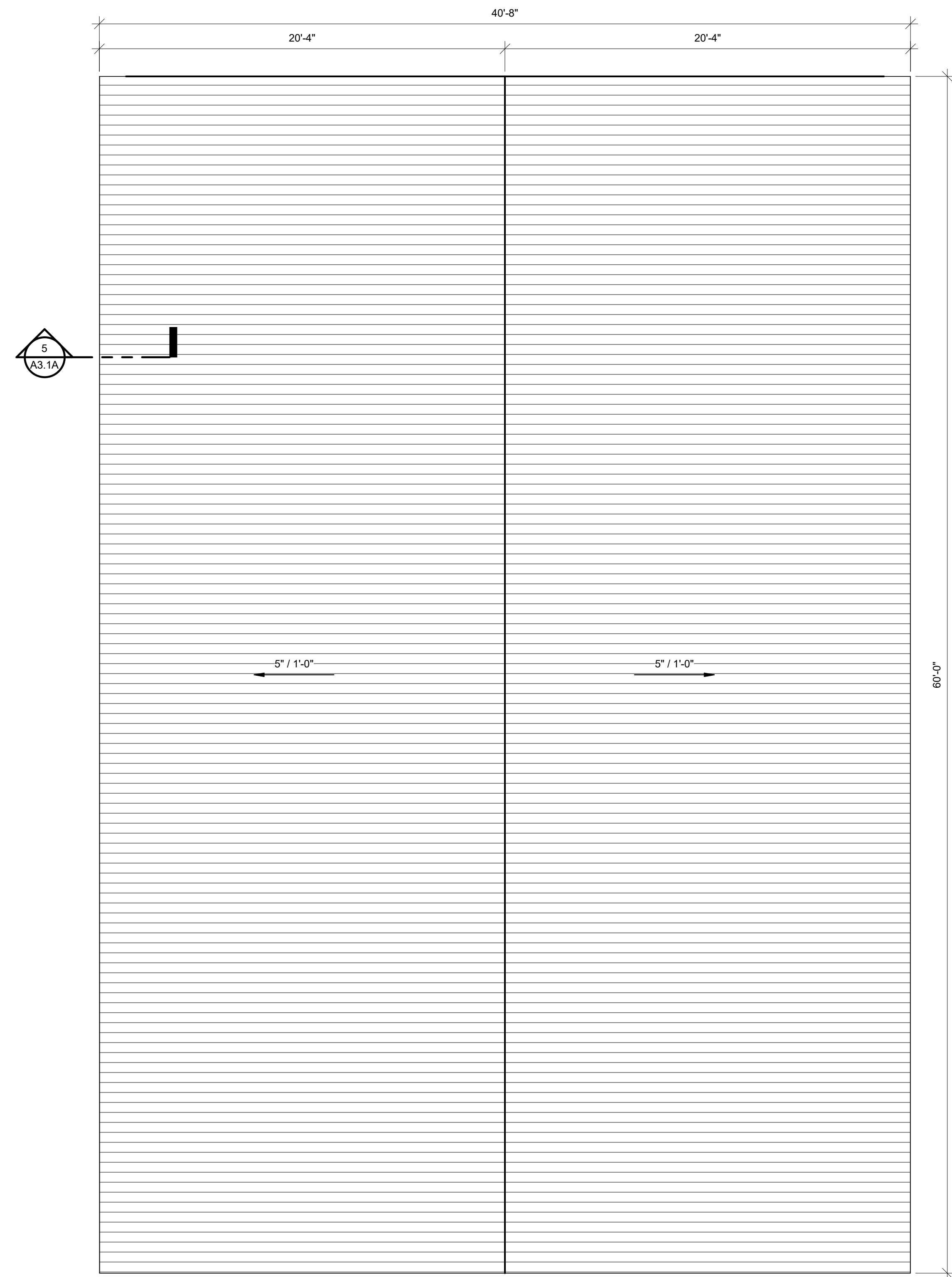
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As Noted



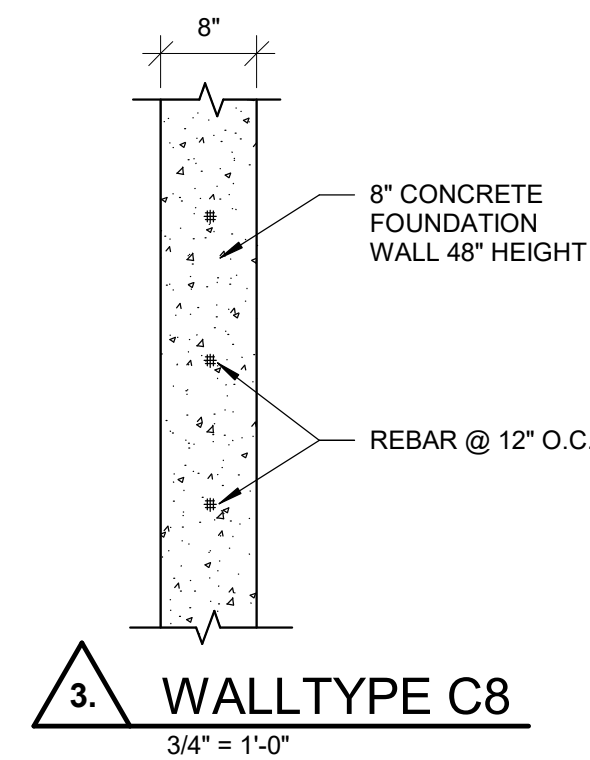
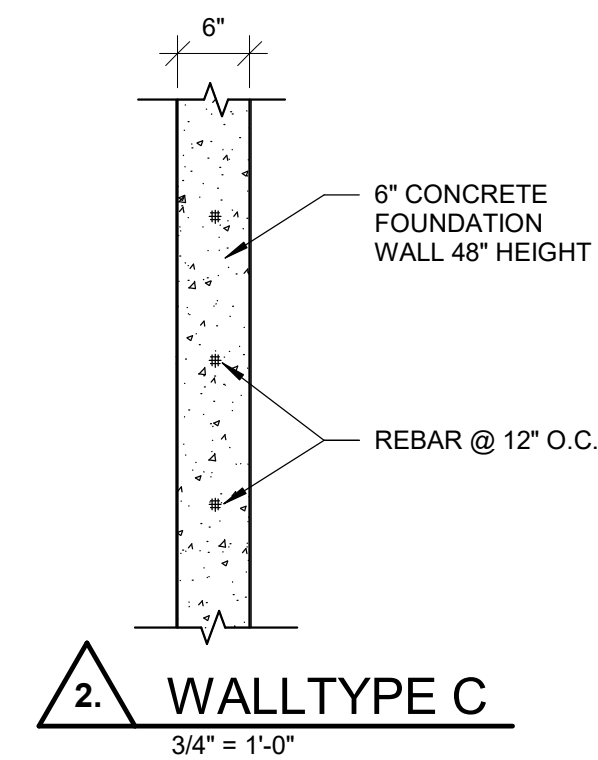
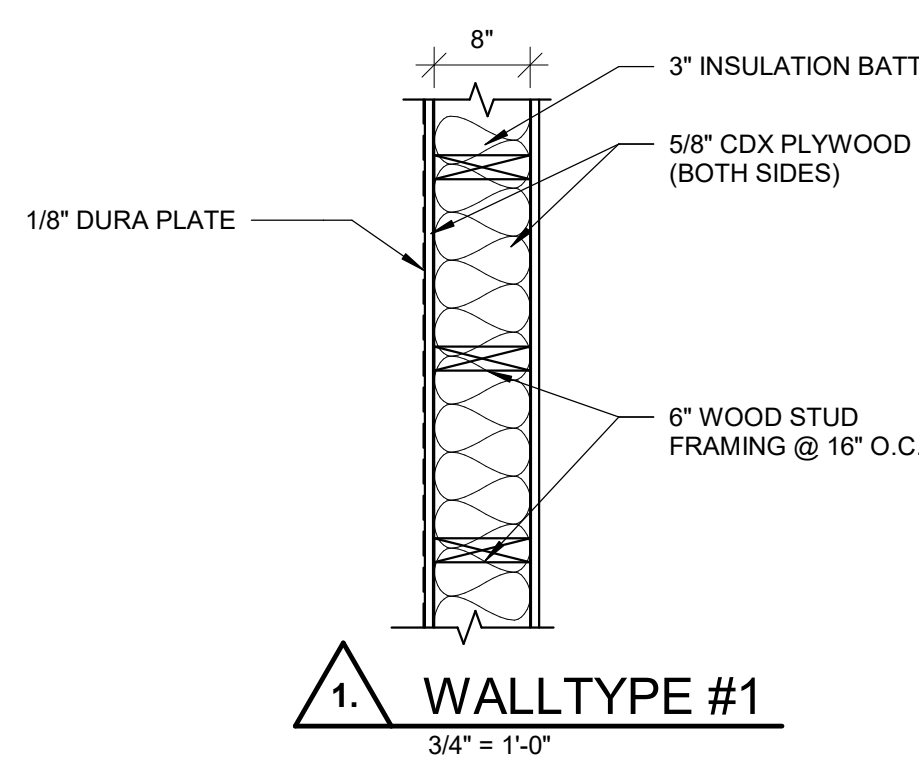
1 FOUNDATION PLAN BUILDING A
1/4" = 1'-0"



2 MAIN FLOOR PLAN BUILDING A
1/4" = 1'-0"



3 ROOF PLAN BUILDING A
1/4" = 1'-0"

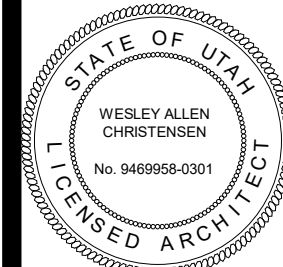


BUILDING A IS THE MIDDLE BUILDING

PROJECT TITLE

NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD

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PROJECT #: 171022



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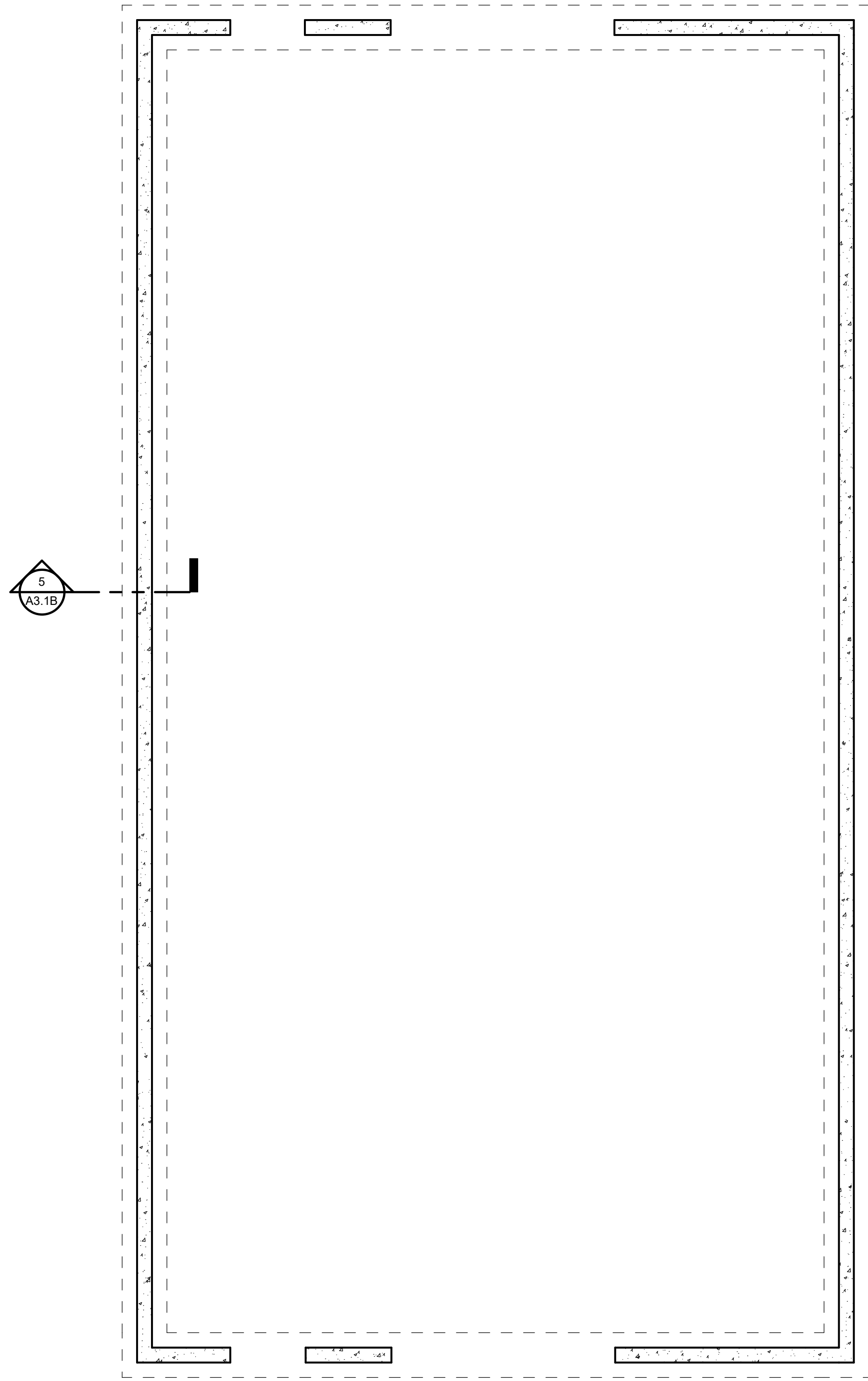
SANATQUIN, UTAH



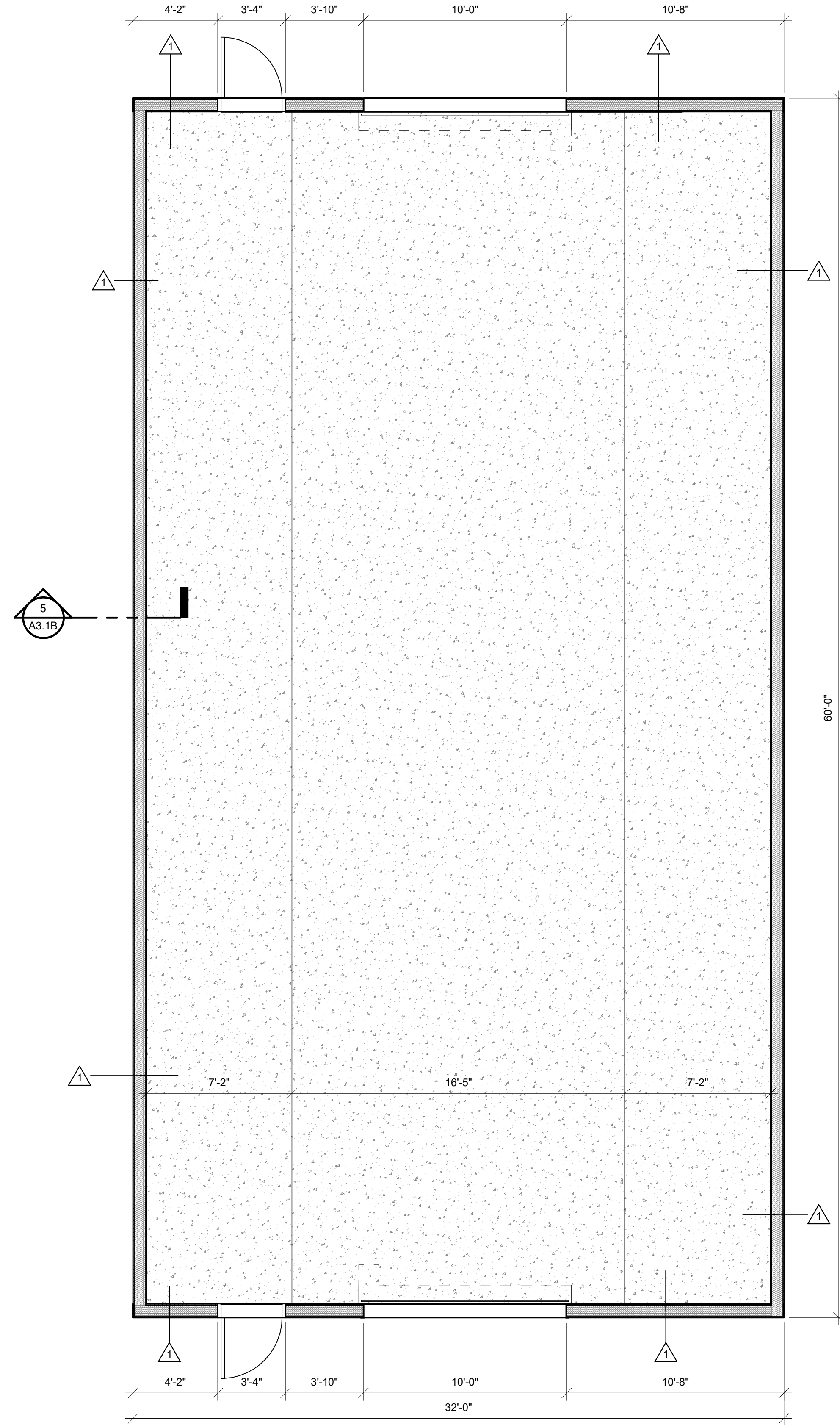
170 NORTH MAIN STREET
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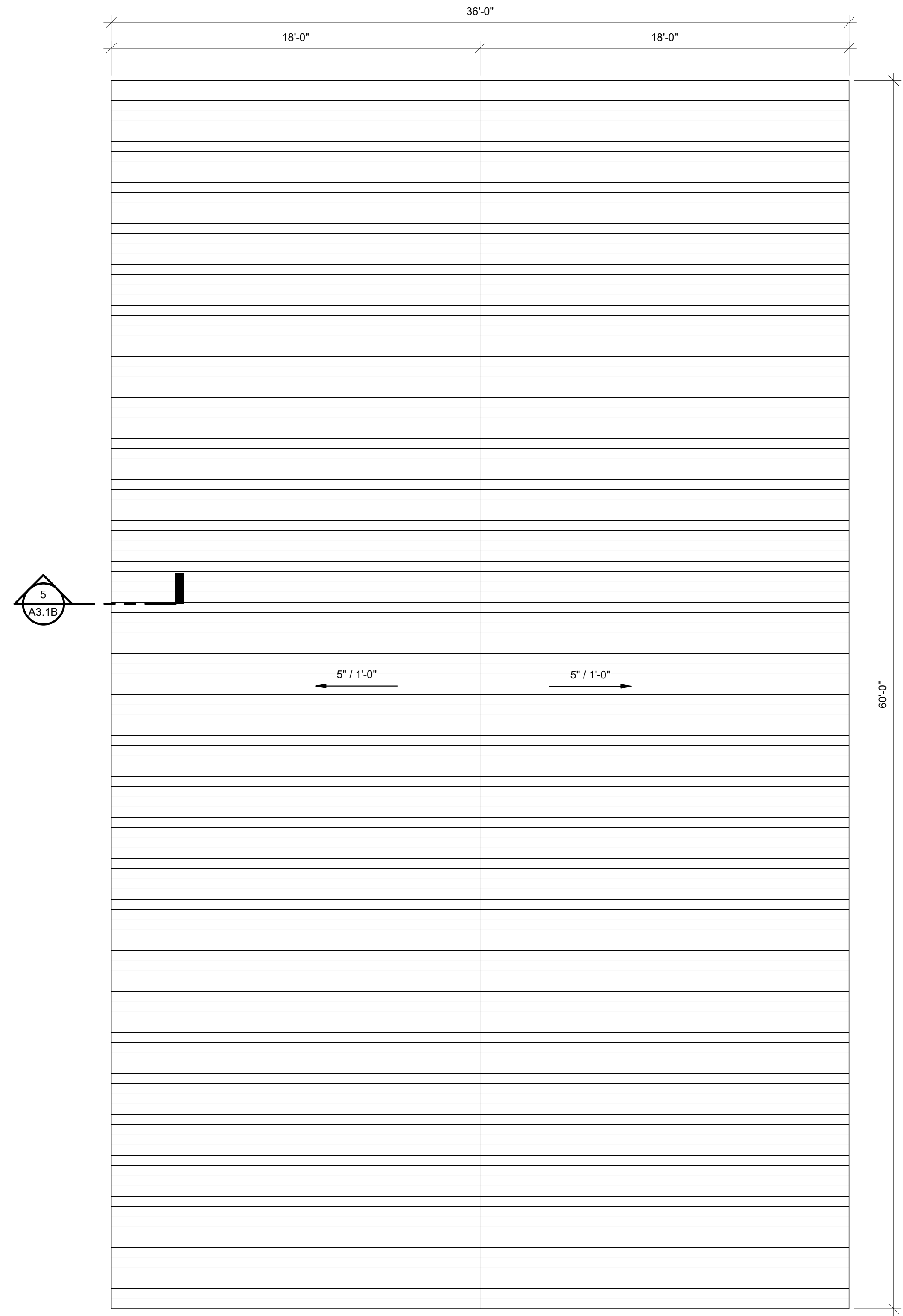
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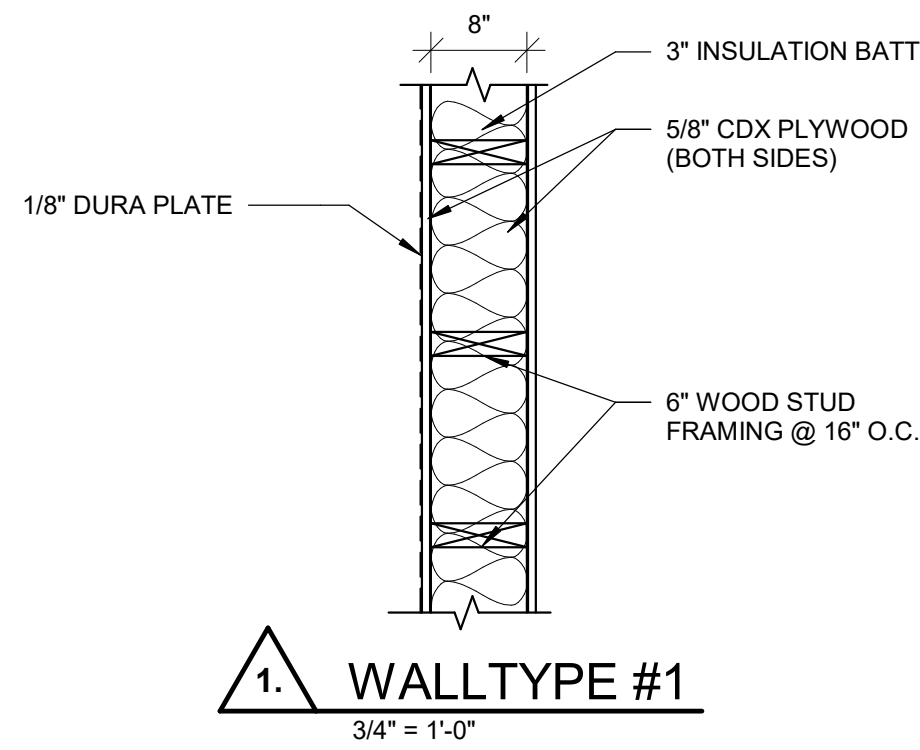
2 FOUNDATION PLAN BUILDING B
1/4" = 1'-0"



1 MAIN FLOOR PLAN BUILDING B
1/4" = 1'-0"



3 ROOF PLAN BUILDING B
1/4" = 1'-0"



1 WALLTYPE #1
3/4" = 1'-0"

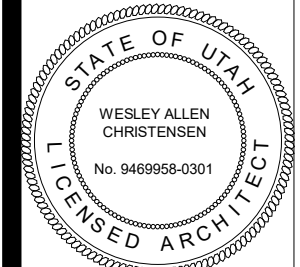
BUILDING B IS THE EAST BUILDING

PROJECT TITLE

NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD

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PROJECT #: 171022

SANATQUIN, UTAH



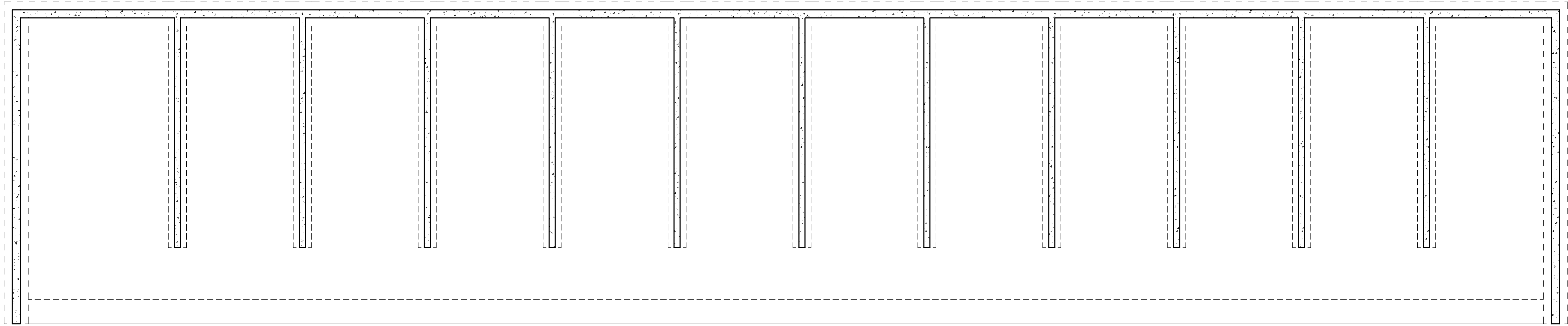
REVISIONS:



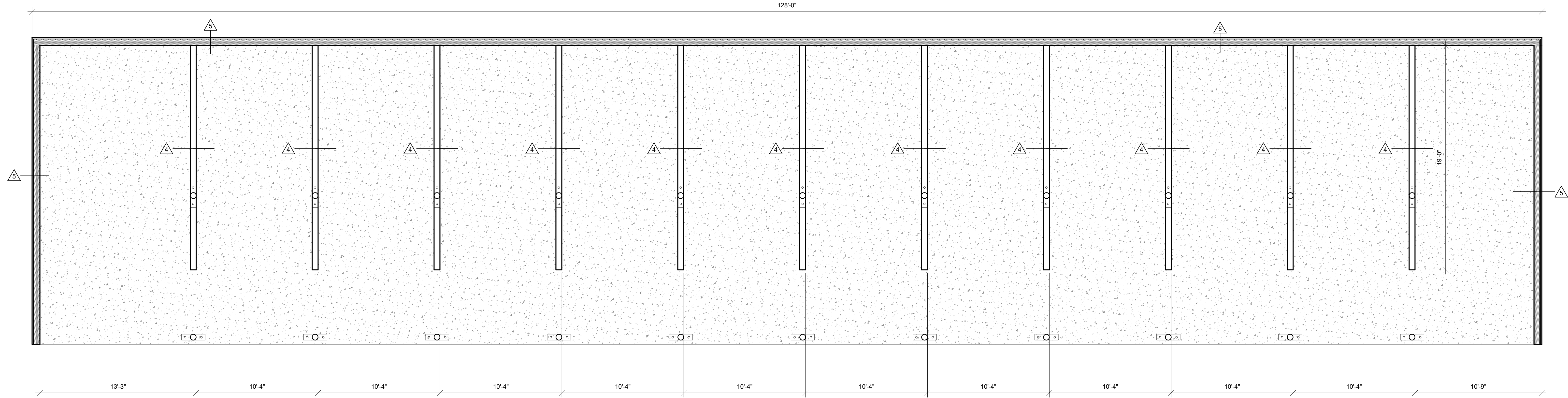
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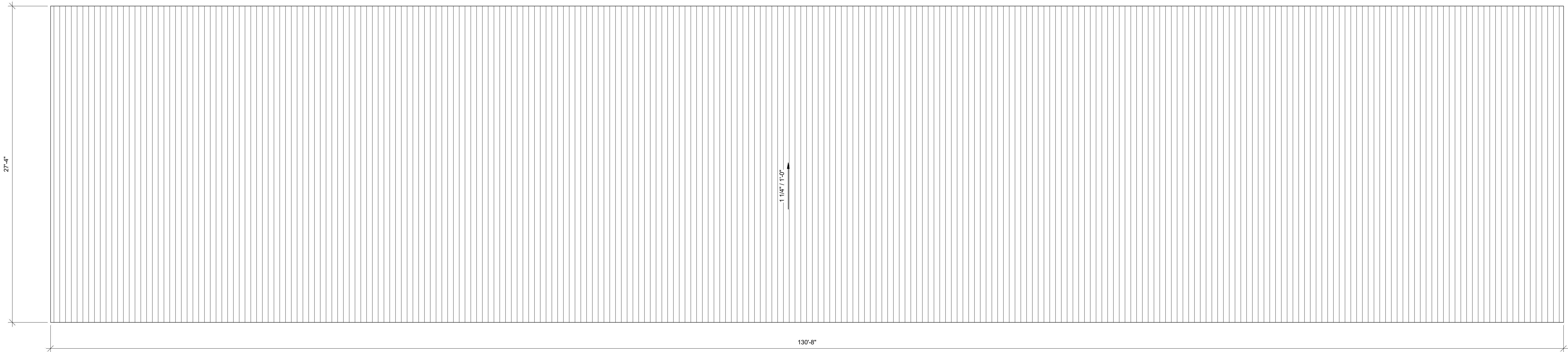
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As Noted



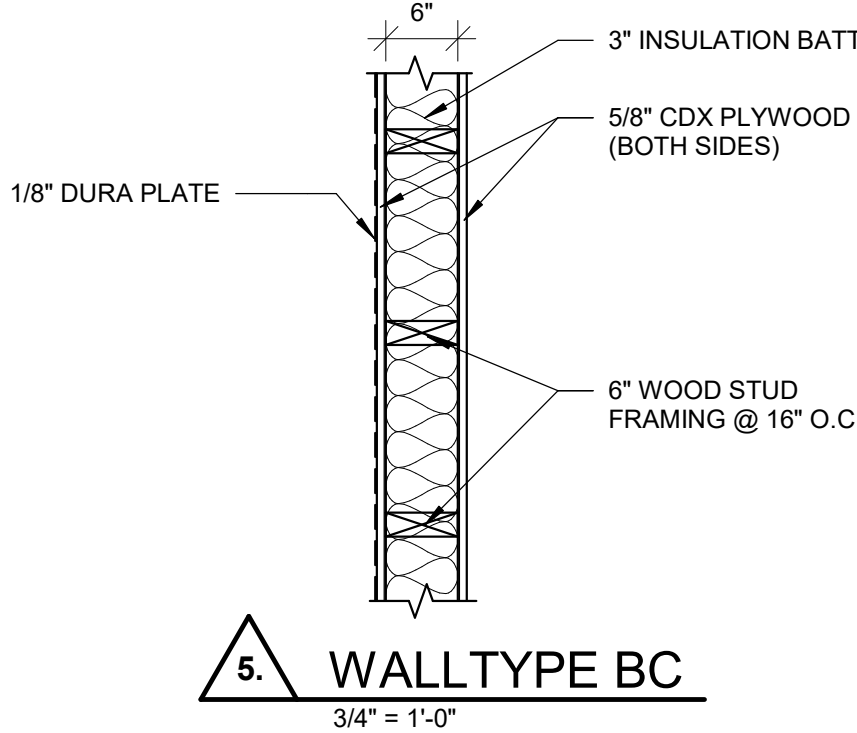
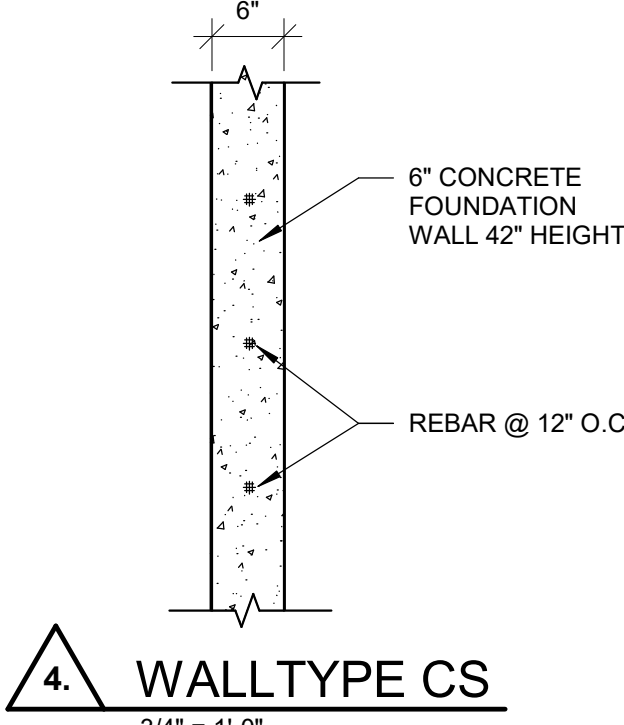
1 FOUNDATION PLAN BUILDING C
1/4" = 1'-0"



2 MAIN FLOOR PLAN BUILDING C
1/4" = 1'-0"

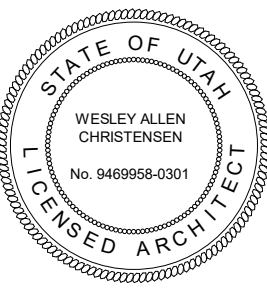


3 ROOF PLAN BUILDING C
1/4" = 1'-0"



BUILDING C IS THE
NORTH BUILDING

170 NORTH MAIN STREET
SPRINGFIELD, ILLINOIS 62760
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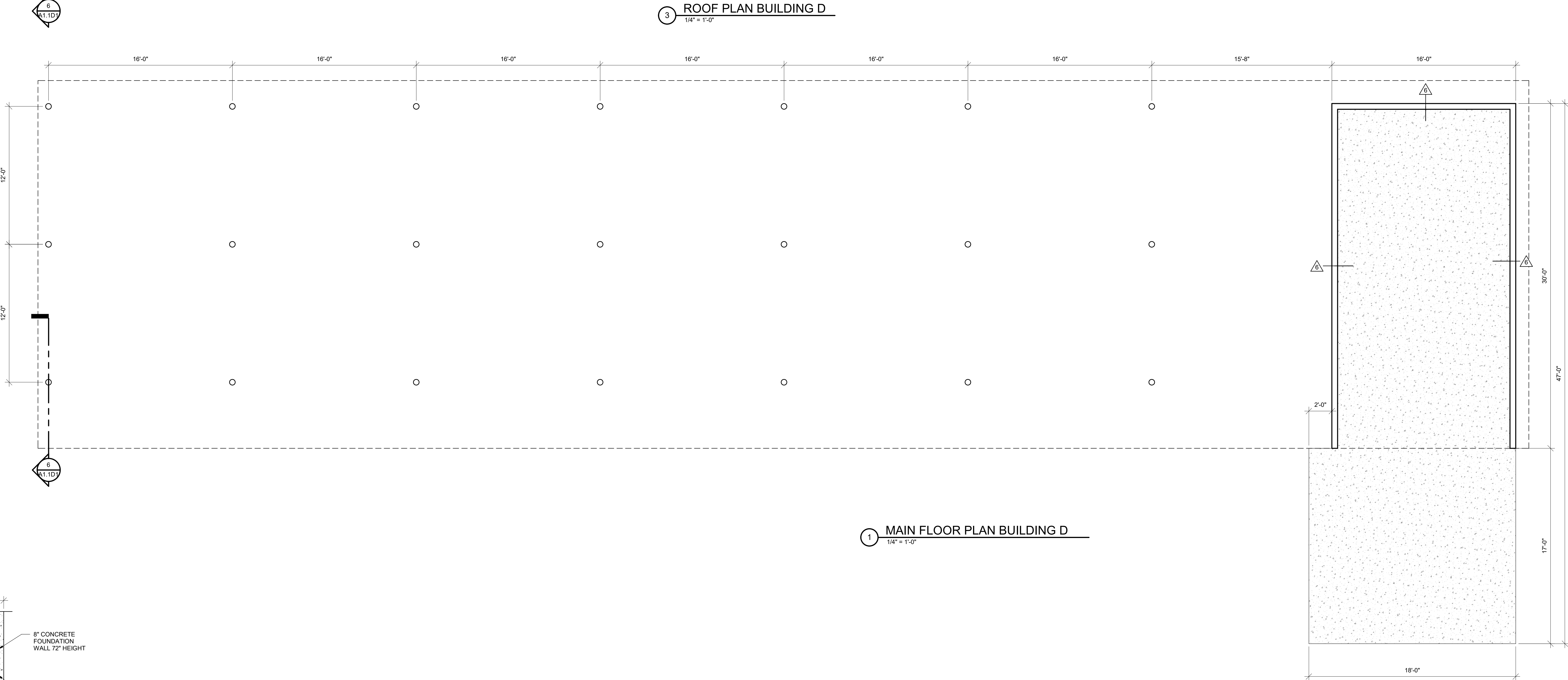
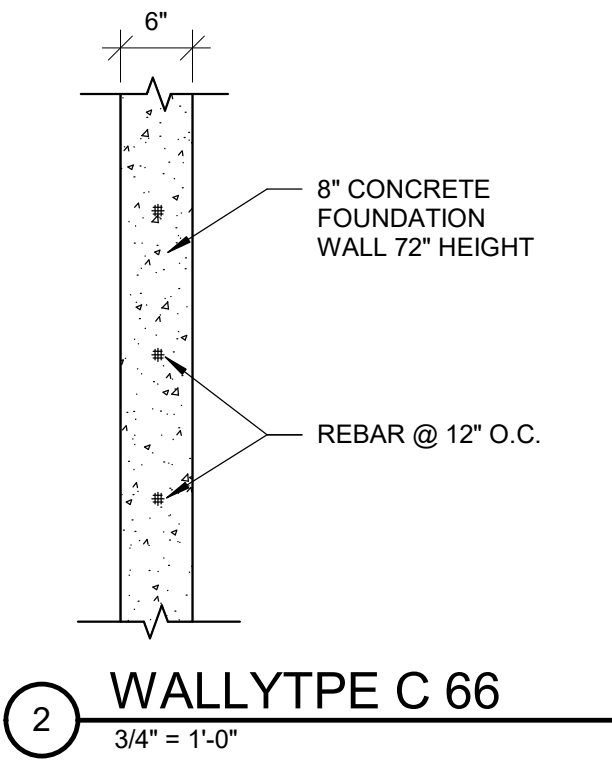
REVISIONS:

PROJECT TITLE
NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD
SANATQUIN, UTAH

DRAWN BY: STAFF
CHECKED BY: WES
DATE: FEB 2023
PROJECT #: 171022

A1.1C

BUILDING D IS THE SOUTH BUILDING



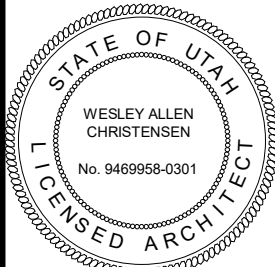
DRAWN BY: Author
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DATE: FEB 2023
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PROJECT TITLE

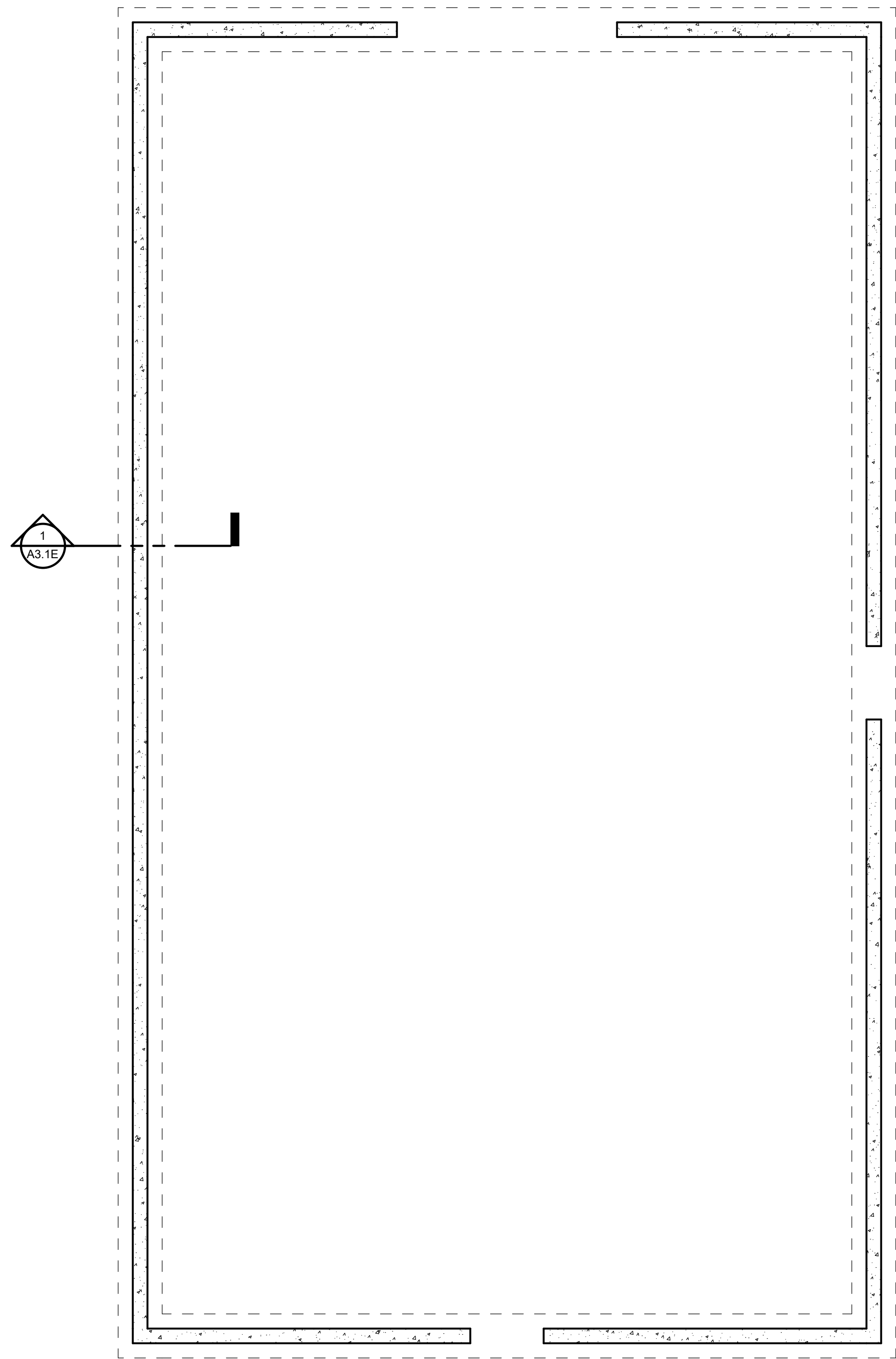
NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD

SANATQUIN, UTAH

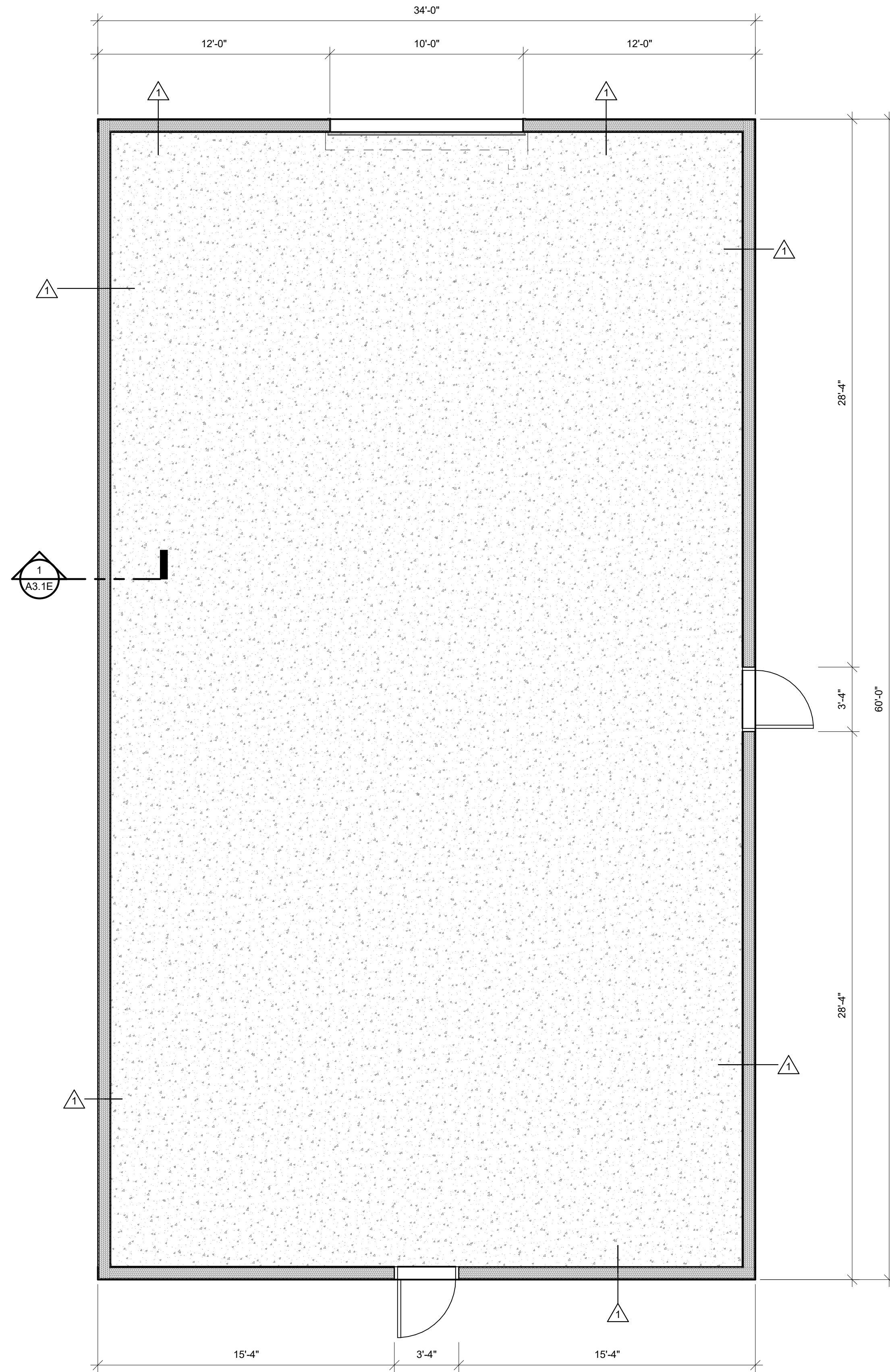
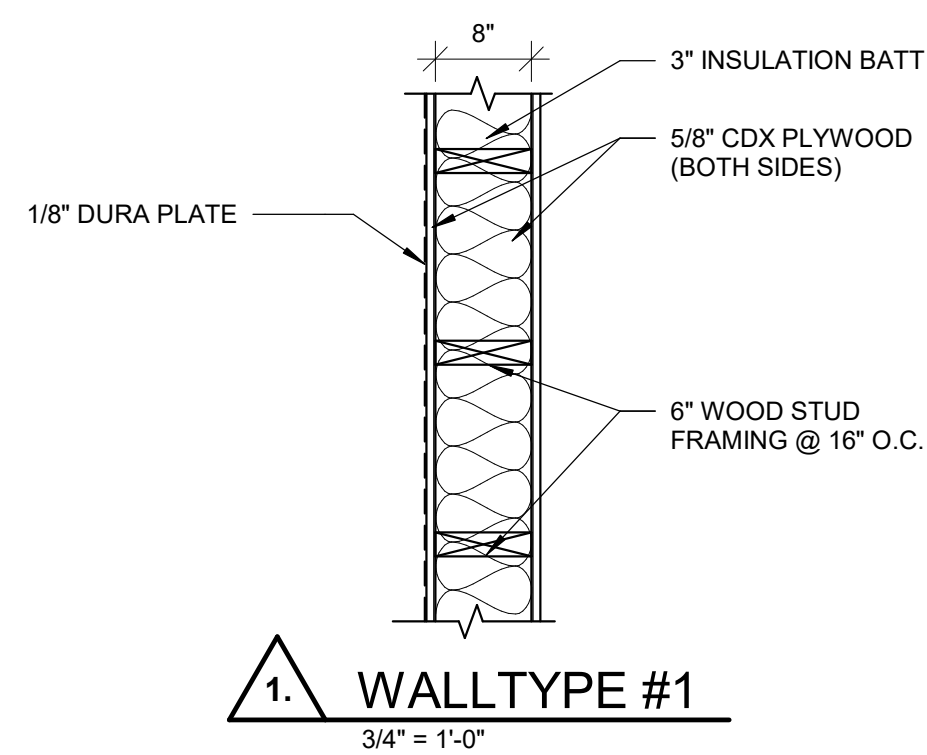
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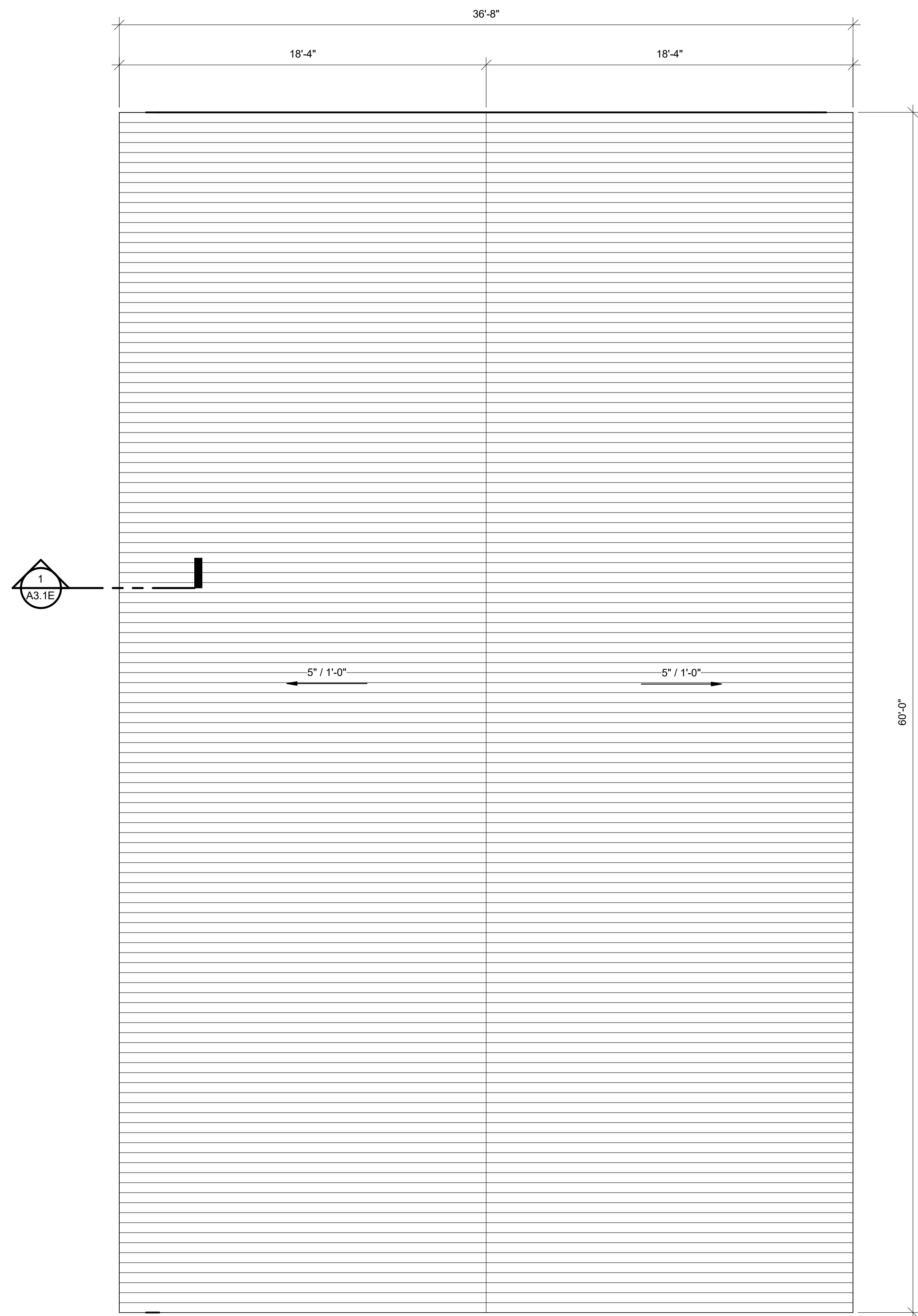
170 NORTH MAIN STREET
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1 FOUNDATION PLAN BUILDING E
1/4" = 1'-0"



2 MAIN FLOOR PLAN BUILDING E
1/4" = 1'-0"



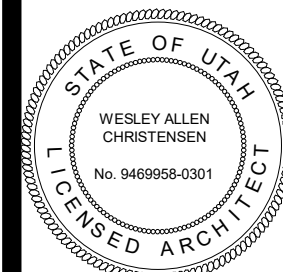
3 ROOF PLAN BUILDING E
1/4" = 1'-0"

BUILDING E IS THE WEST BUILDING

PROJECT TITLE

NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD
SANATQUIN, UTAH

DRAWN BY: Author
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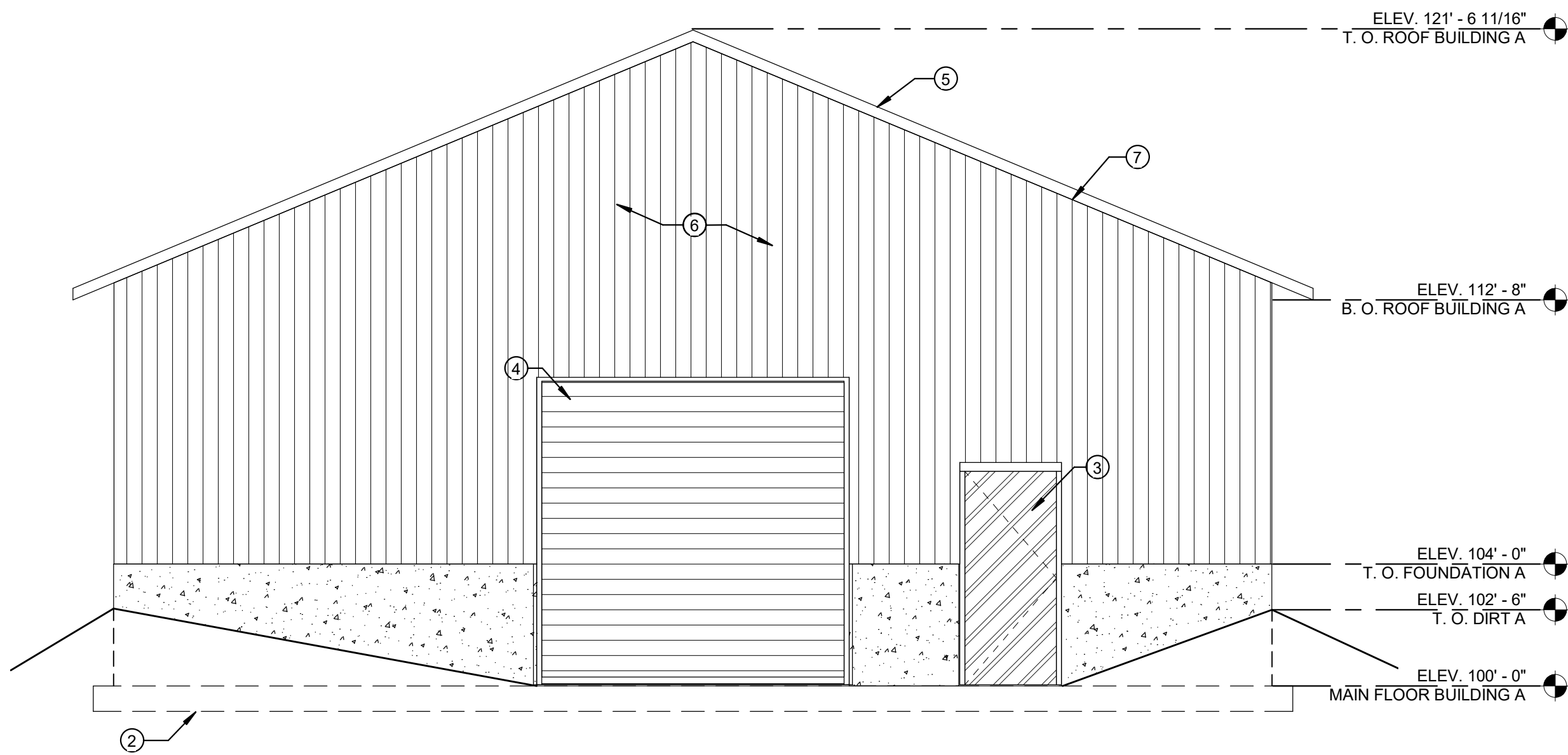


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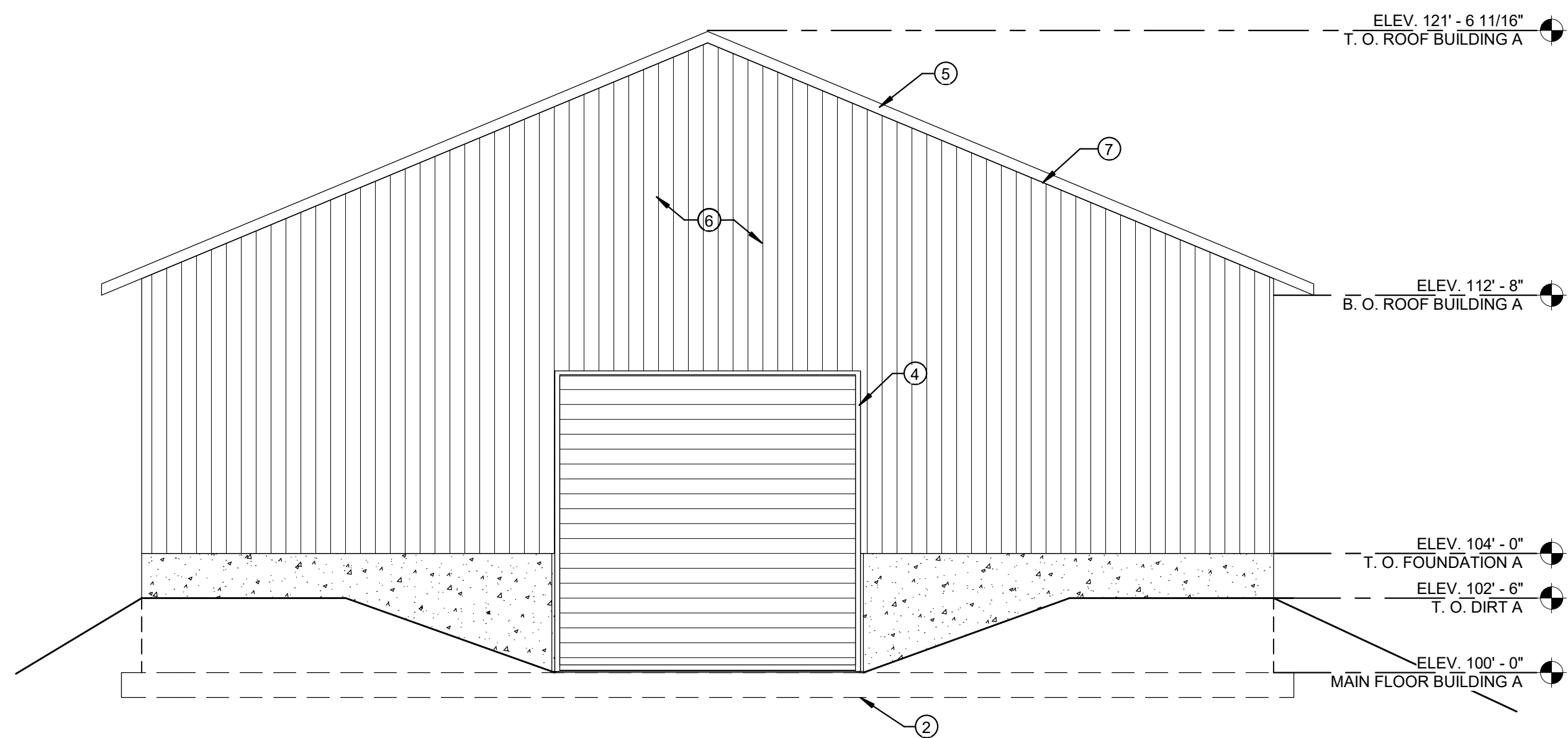


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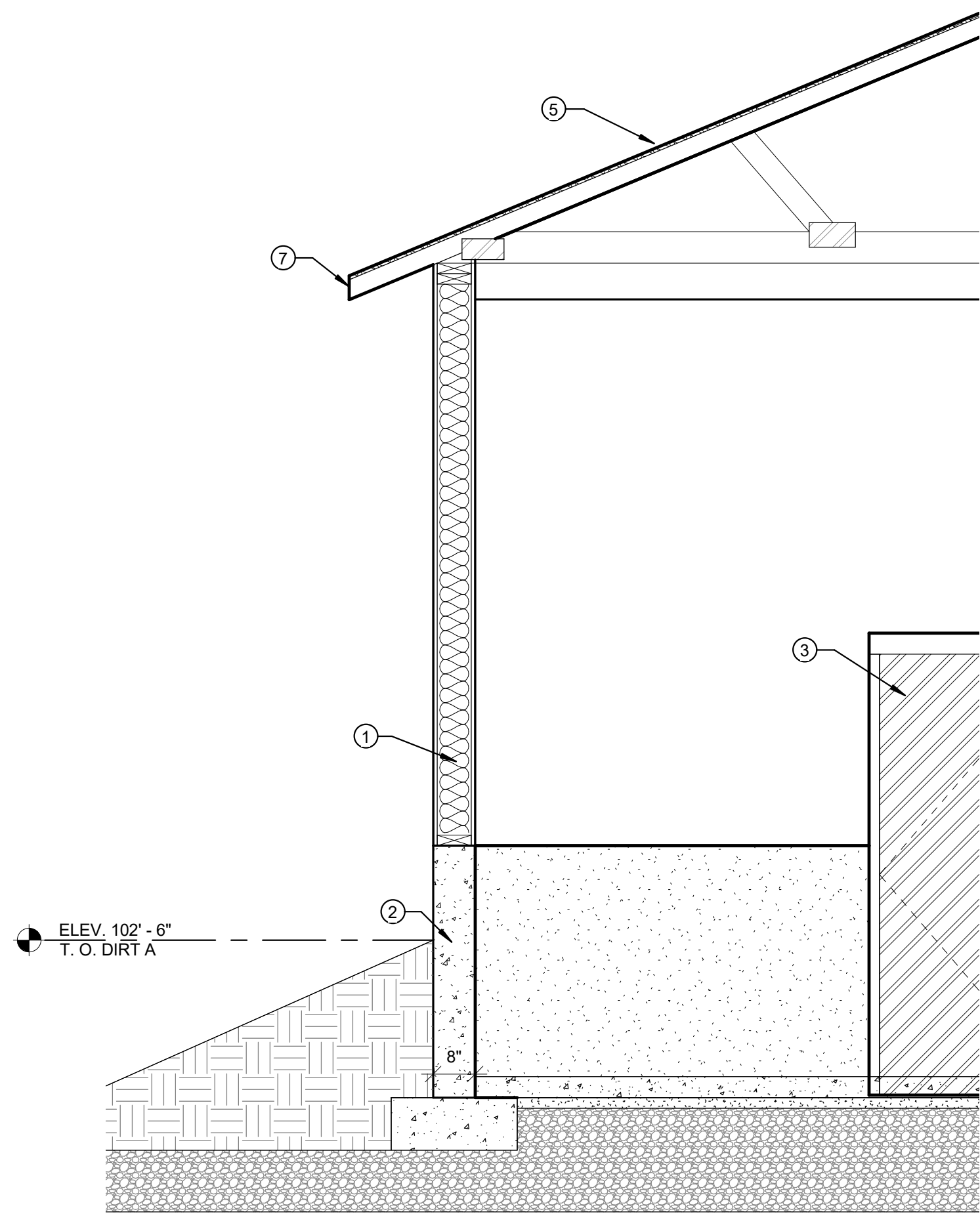
A1.1E



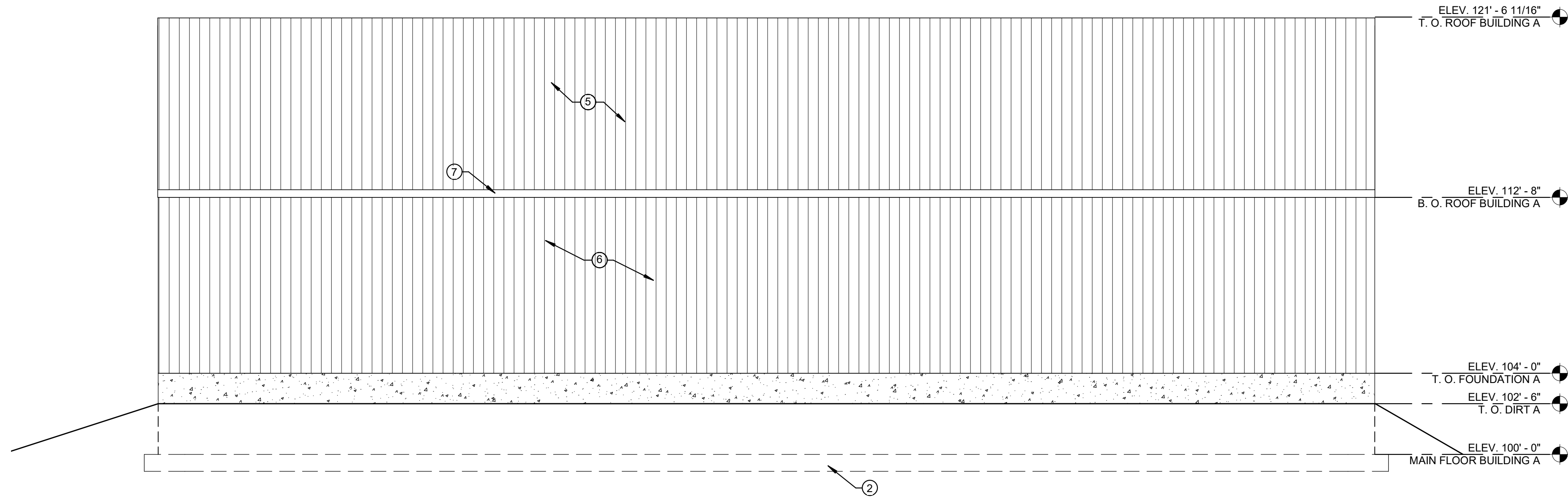
2 BUILDING A NORTH
1/4" = 1'-0"



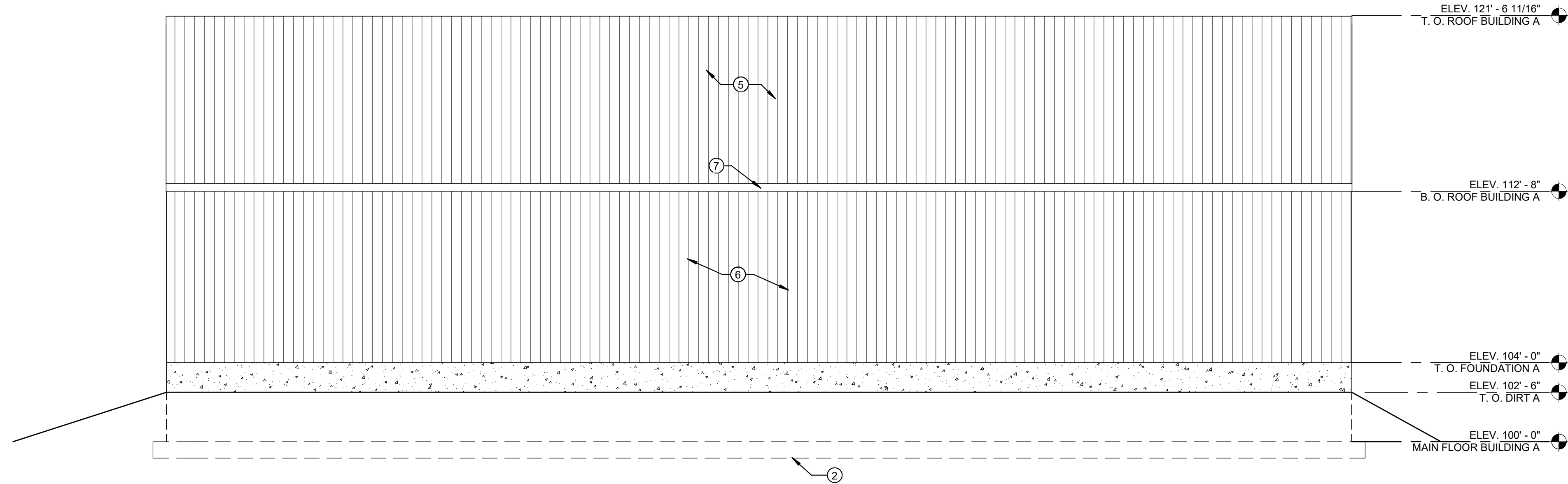
3 BUILDING A SOUTH
1/4" = 1'-0"



5 BUILDING A
1/2" = 1'-0"



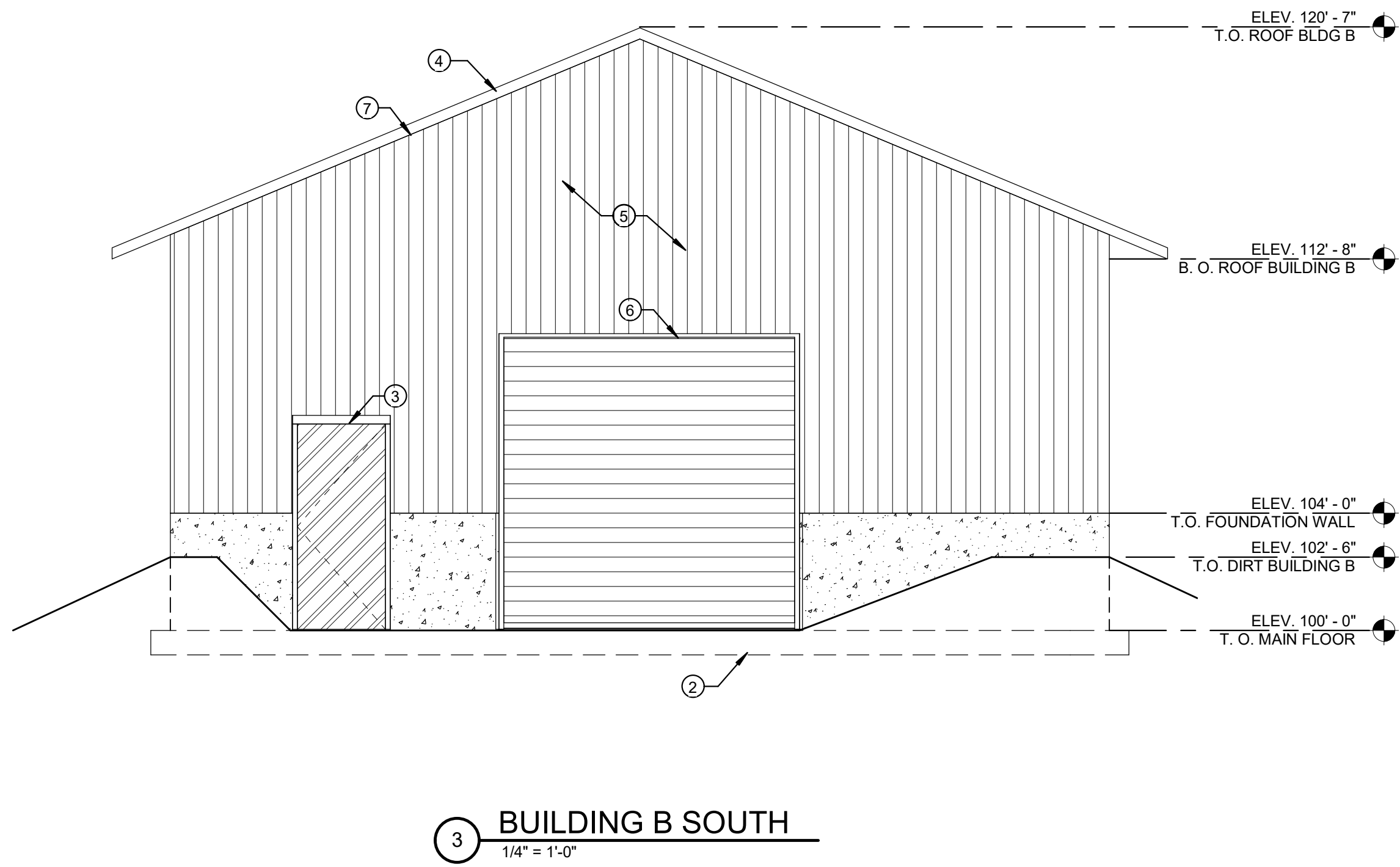
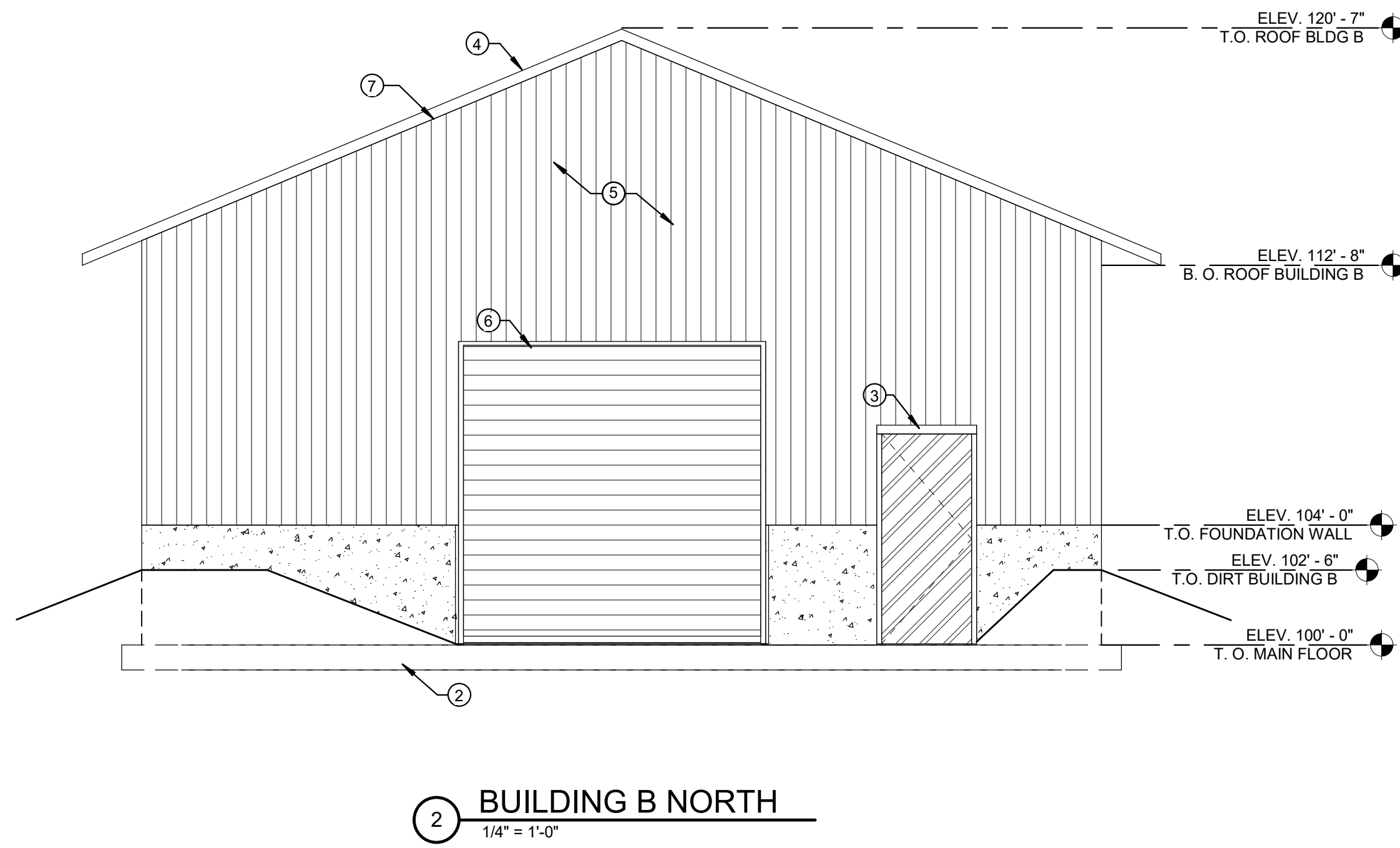
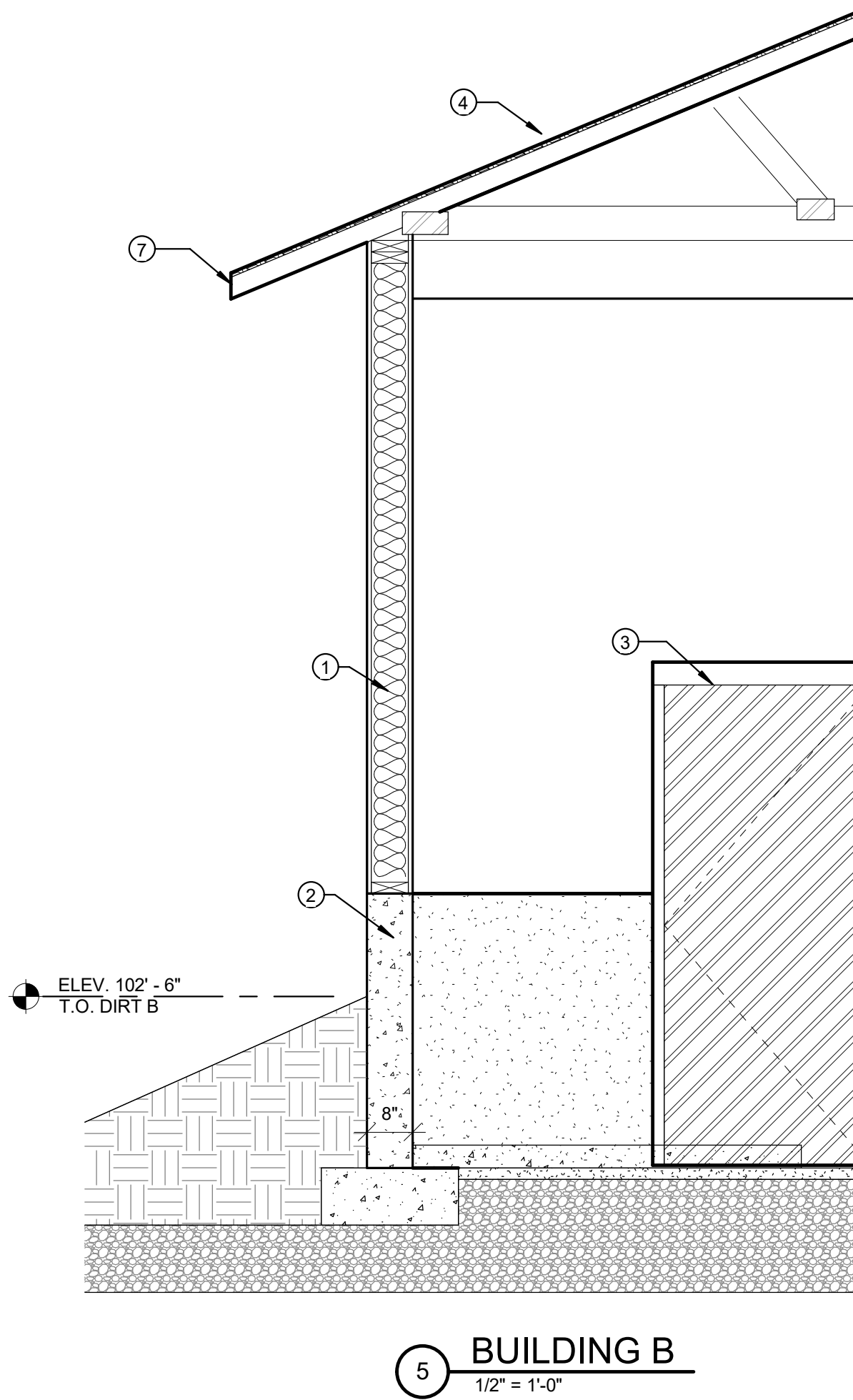
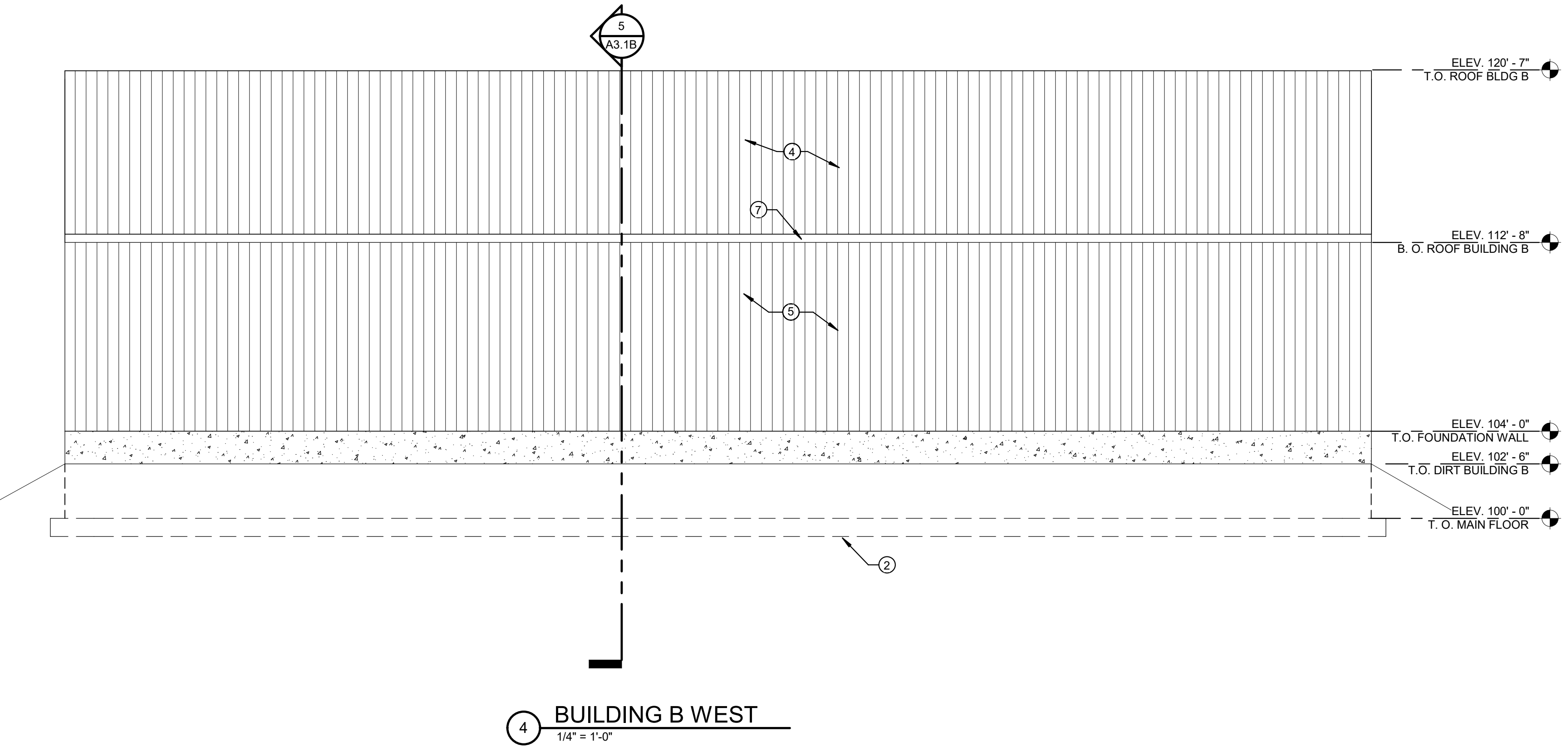
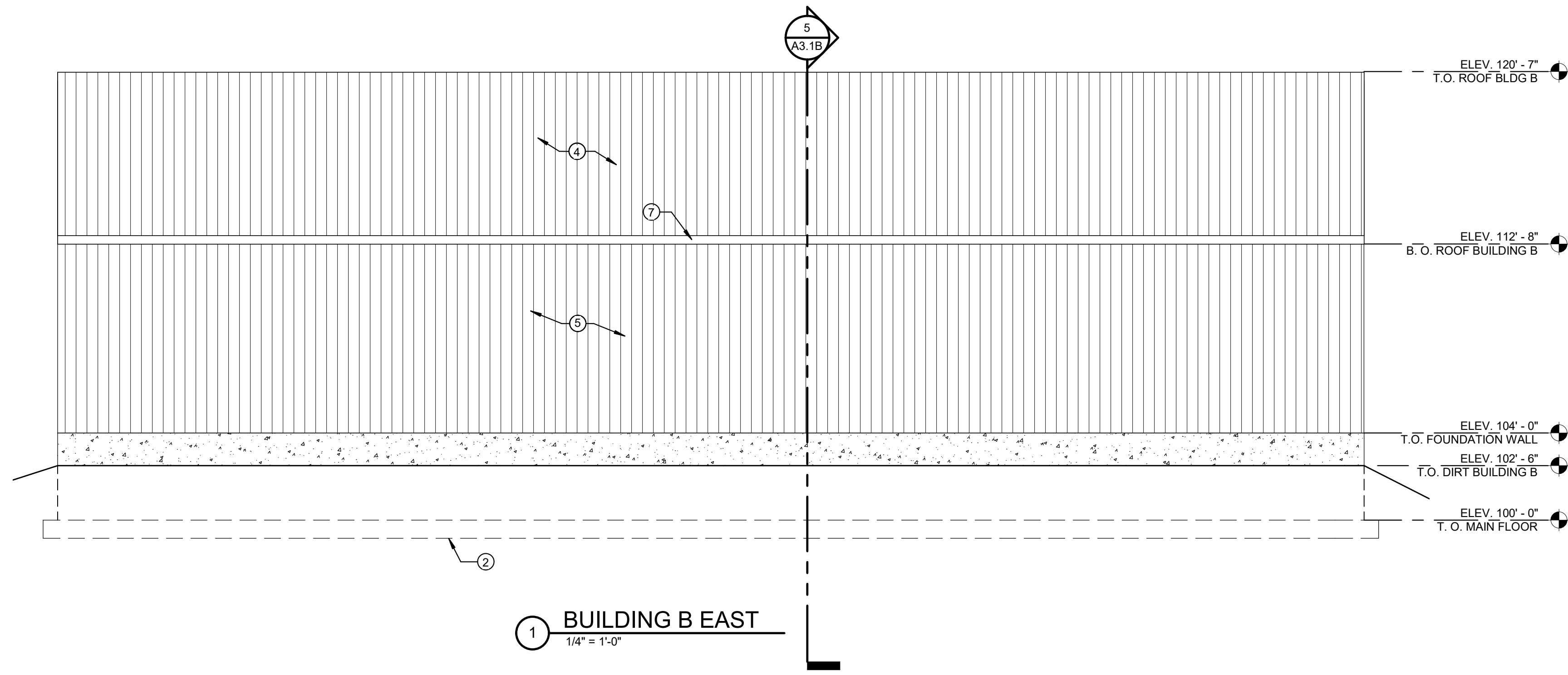
1 BUILDING A EAST
1/4" = 1'-0"



4 BUILDING A WEST
1/4" = 1'-0"

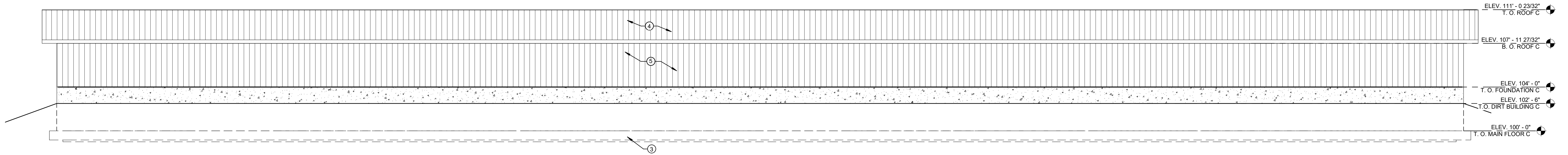
SHEET NOTES

- WOOD FRAME WALLS W/ 5/8" PLYWOOD - SEE STRUCTURAL SHEETS
- CONCRETE FOOTINGS AND FOUNDATION WALLS - SEE STRUCTURAL SHEETS FOR SIZE AND REINFORCING.
- HOLLOW METAL DOOR AND FRAME (PAINTED) - SEE DOOR SCHEDULE. COLOR AS SELECTED BY ARCHITECT.
- 10' ROLL UP DOOR
- METAL ROOF PANELS
- METAL WALL PANELS
- METAL SOFFIT, FASCIA, AND DOWN SPOUT

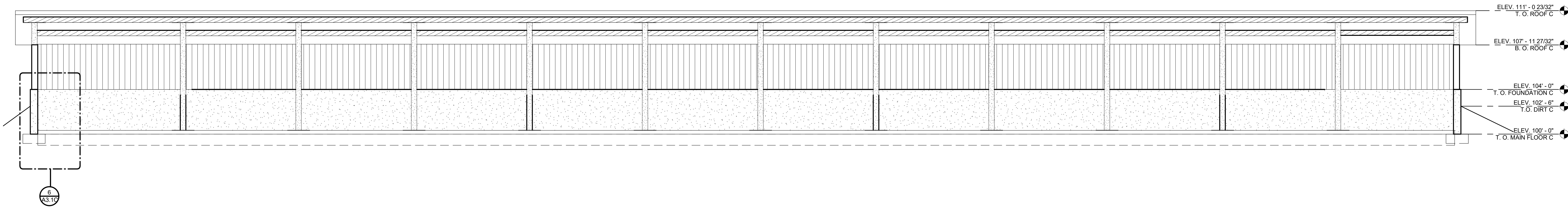


SHEET NOTES

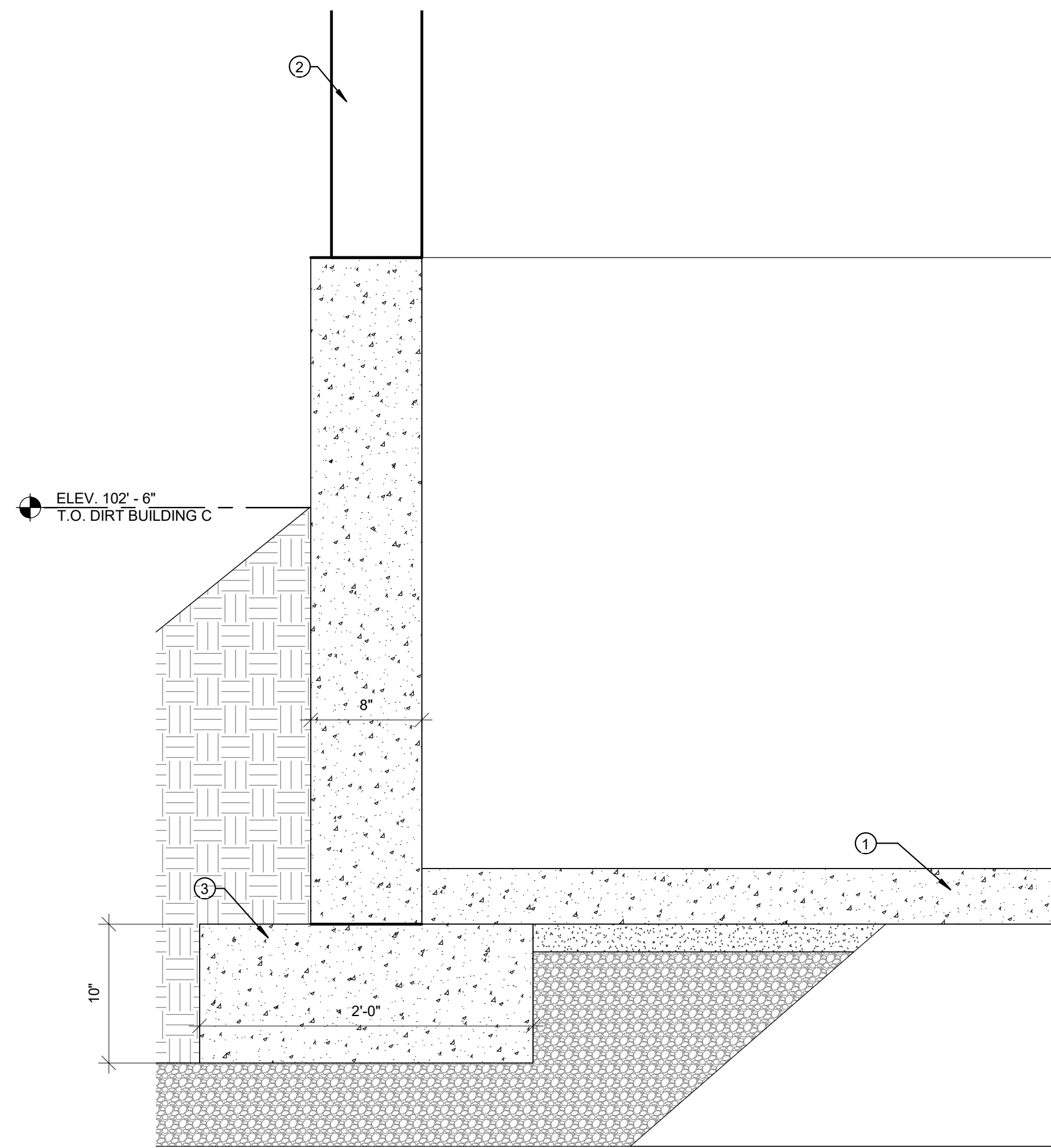
- 1 - WOOD FRAME WALLS W/ 5/8" PLYWOOD - SEE STRUCTURAL SHEETS
- 2 - CONCRETE FOOTINGS AND FOUNDATION WALLS - SEE STRUCTURAL SHEETS FOR SIZE AND REINFORCING.
- 3 - HOLLOW METAL DOOR AND FRAME (PAINTED) - SEE DOOR SCHEDULE. COLOR AS SELECTED BY ARCHITECT.
- 4 - METAL ROOF PANELS
- 5 - METAL WALL PANELS
- 6 - 10' ROLL UP DOOR
- 7 - METAL SOFFIT, FASCIA, AND DOWN SPOUT



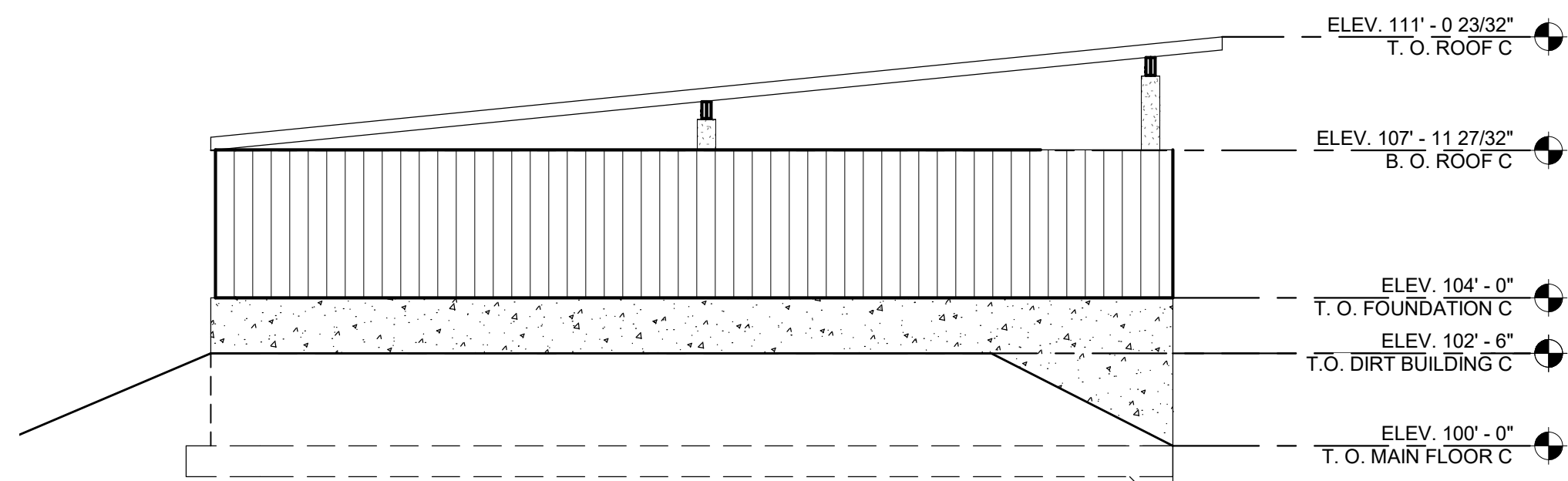
1 BUILDING C NORTH
1/4" = 1'-0"



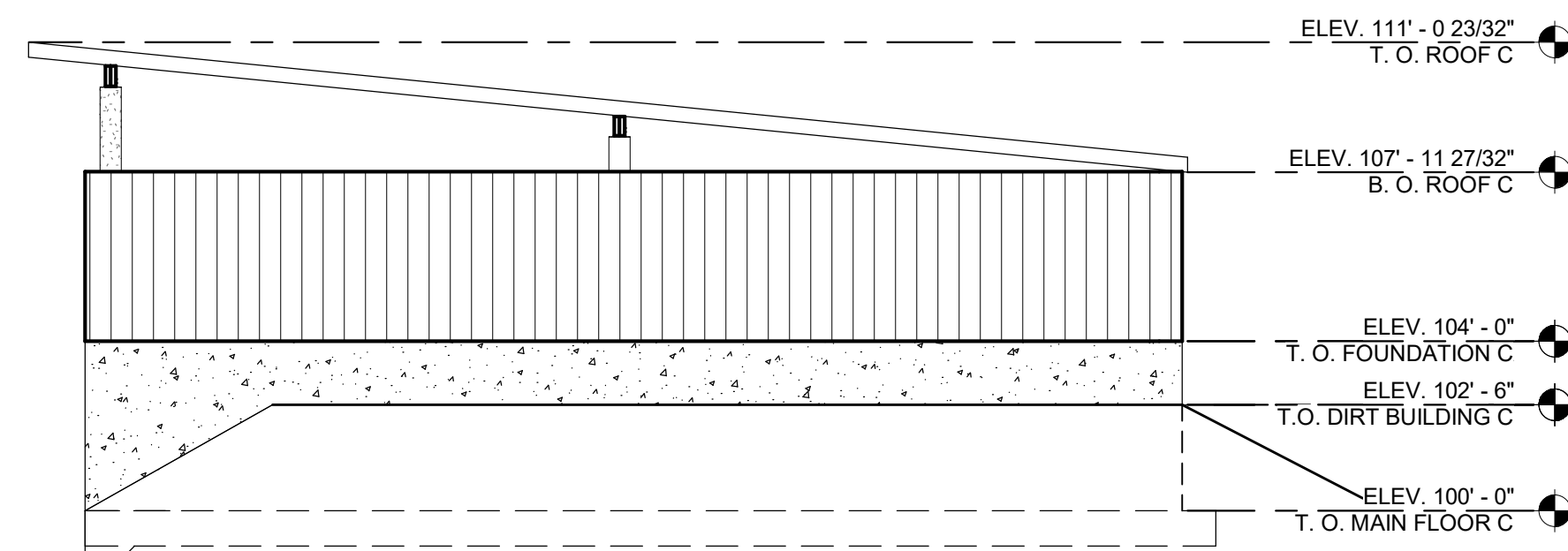
3 BUILDING C SOUTH
1/4" = 1'-0"



6 FOUNDATION DETAIL
1 1/2" = 1'-0"



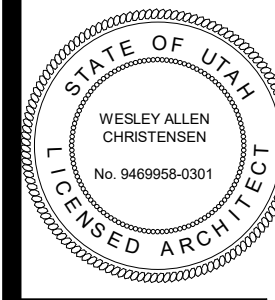
4 BUILDING C WEST
1/4" = 1'-0"



2 BUILDING C EAST
1/4" = 1'-0"

SHEET NOTES

- 1 - 4" CONCRETE SLAB OVER 6" FREE DRAINING GRAVEL - REINFORCED AS PER STRUCTURAL SHEETS. ROUGH PLUMBING TO BE TRENCHED INTO THE SUBSTRATE BELOW GRAVEL.
- 2 - WOOD FRAME WALLS W/ 5/8" PLYWOOD - SEE STRUCTURAL SHEETS
- 3 - CONCRETE FOOTINGS AND FOUNDATION WALLS - SEE STRUCTURAL SHEETS FOR SIZE AND REINFORCING.
- 4 - METAL ROOF PANELS
- 5 - METAL WALL PANELS



REVISIONS:

PROJECT TITLE
NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD
SANATQUIN, UTAH

DRAWN BY: Author
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PROJECT #: 171022

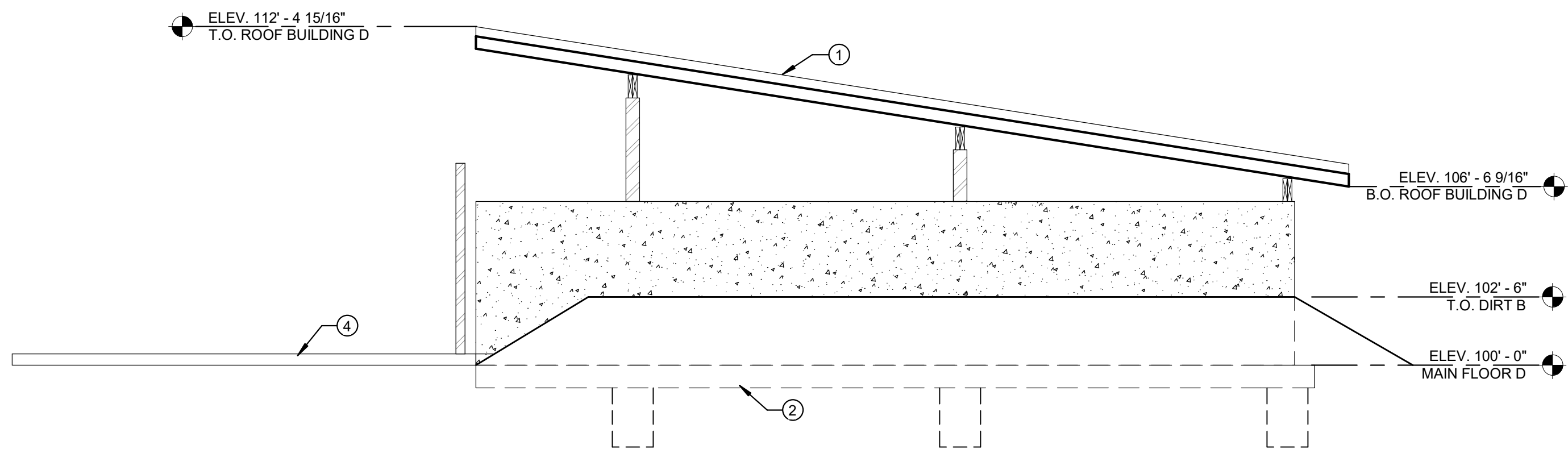
A3.1C

170 NORTH MAIN STREET
SPRINGFIELD, UTAH 84660
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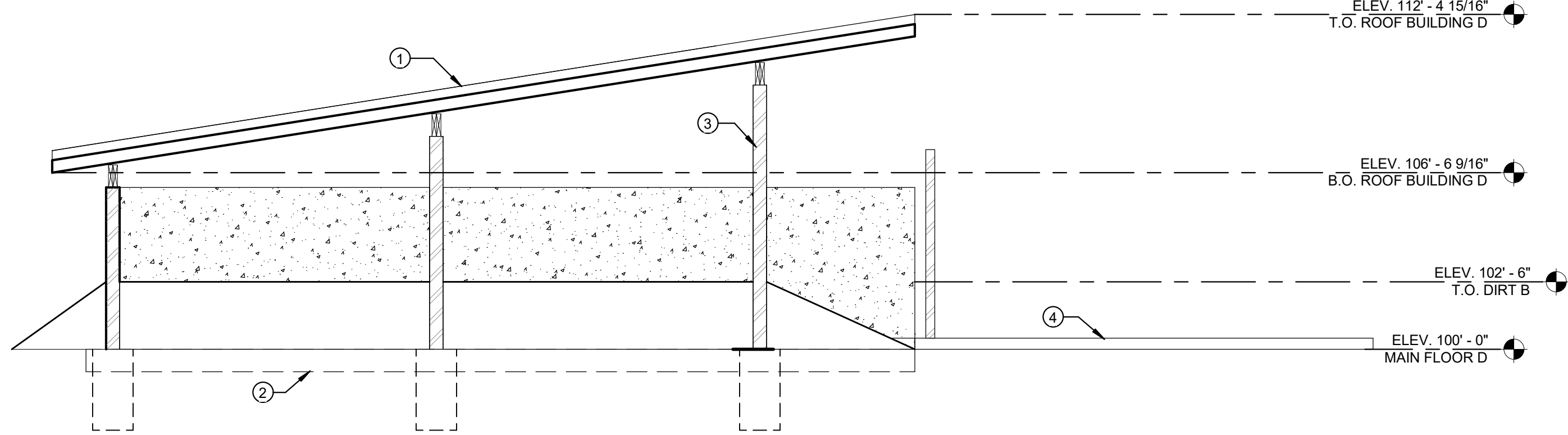


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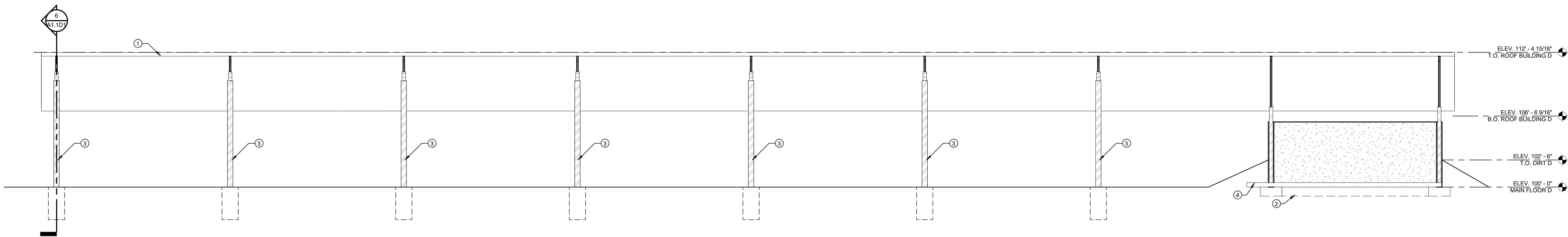
3/2/2023 10:24:21 AM 1/4" = 1'-0"



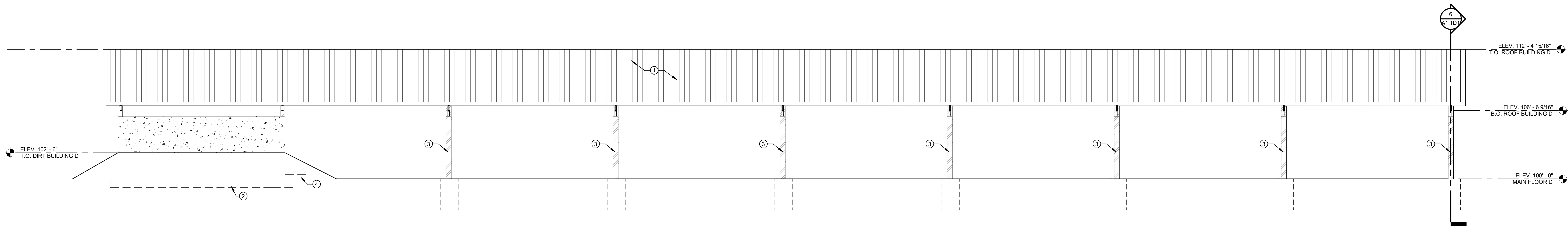
1 BUILDING D EAST
1/4" = 1'-0"



4 BUILDING D WEST
1/4" = 1'-0"



3 BUILDING D SOUTH
1/4" = 1'-0"

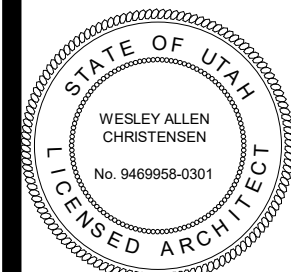


2 BUILDING D NORTH
1/4" = 1'-0"

SHEET NOTES

- 1 - METAL ROOF PANELS
- 2 - CONCRETE FOOTINGS AND FOUNDATION WALLS - SEE STRUCTURAL SHEETS FOR SIZE AND REINFORCING.
- 3 - 6" STEEL PIPE COLUMNS
- 4 - 5" CONCRETE SLAB OVER 6" FREE DRAINING GRAVEL - REINFORCED AS PER STRUCTURAL SHEETS. ROUGH PLUMBING TO BE TRENCHED INTO THE SUBSTRATE BELOW GRAVEL.

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SPRINGFIELD, ILLINOIS 62760
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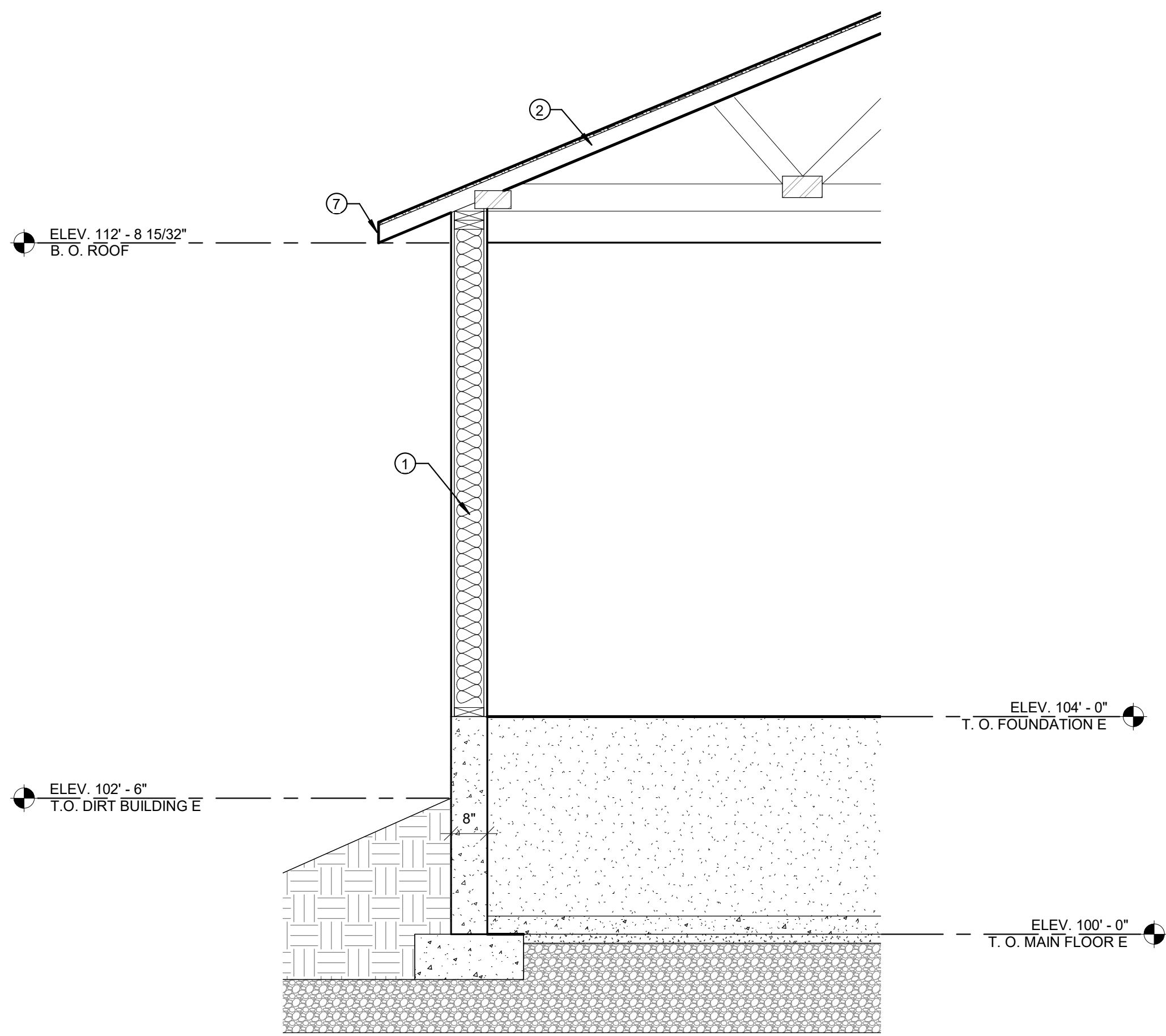
REVISIONS:

SANATQUIN, UTAH

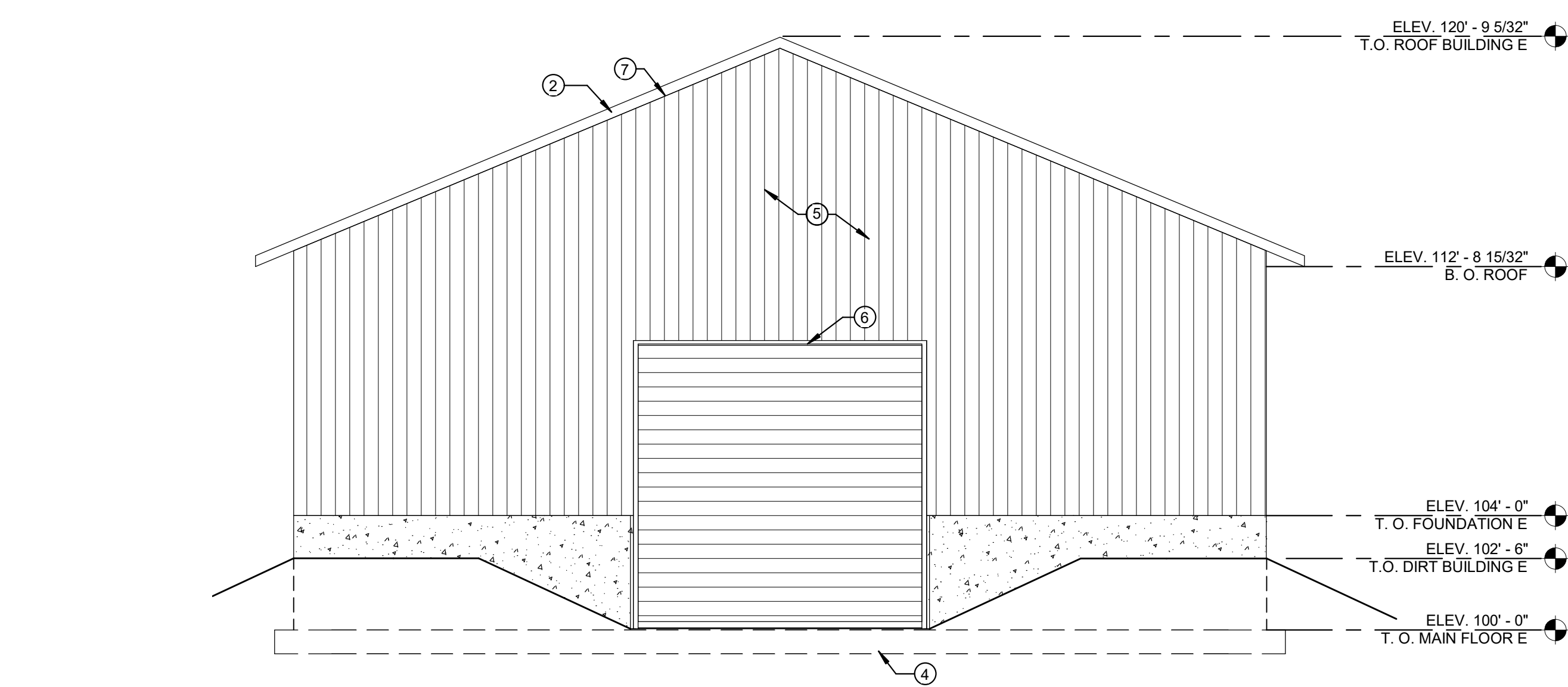
PROJECT TITLE
NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD

DRAWN BY: Author
CHECKED BY: Checker
DATE: FEB 2023
PROJECT #: 171022

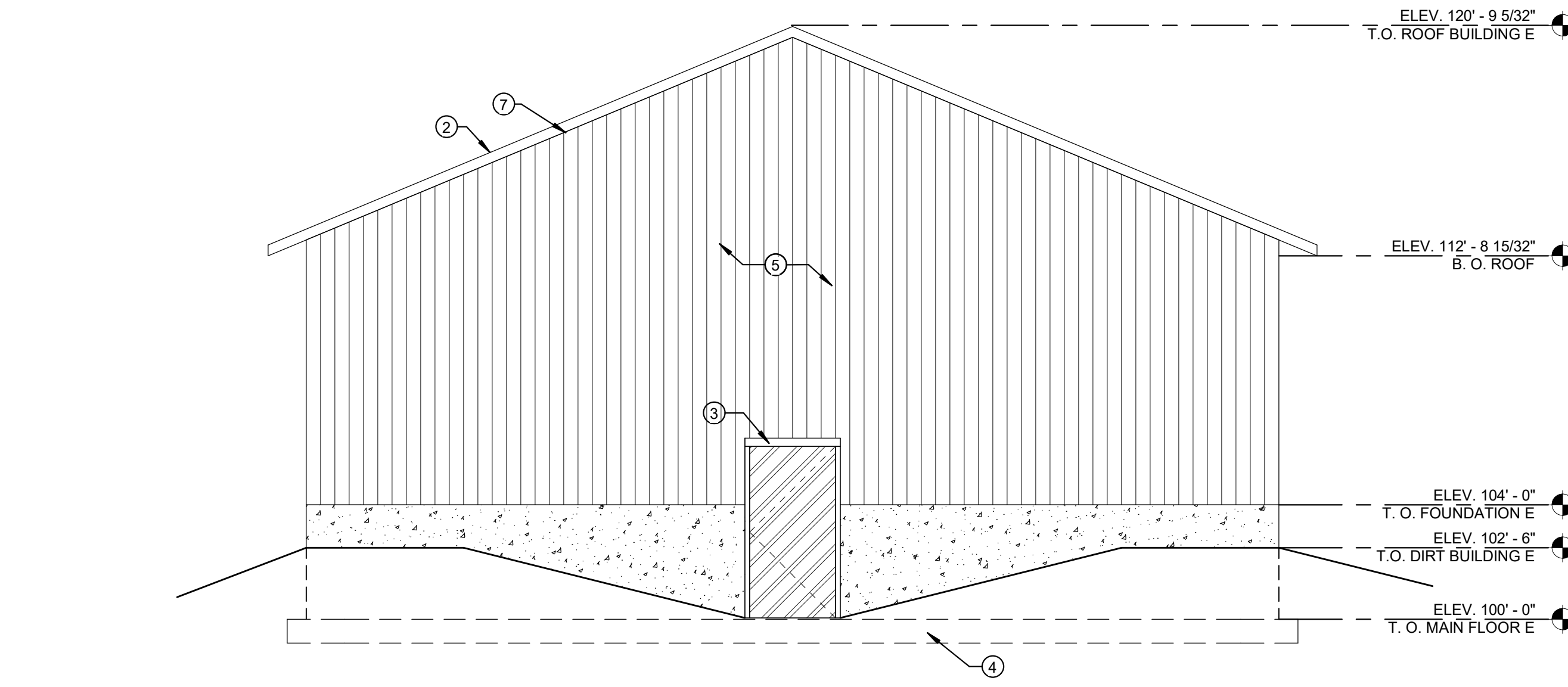
A3.1D



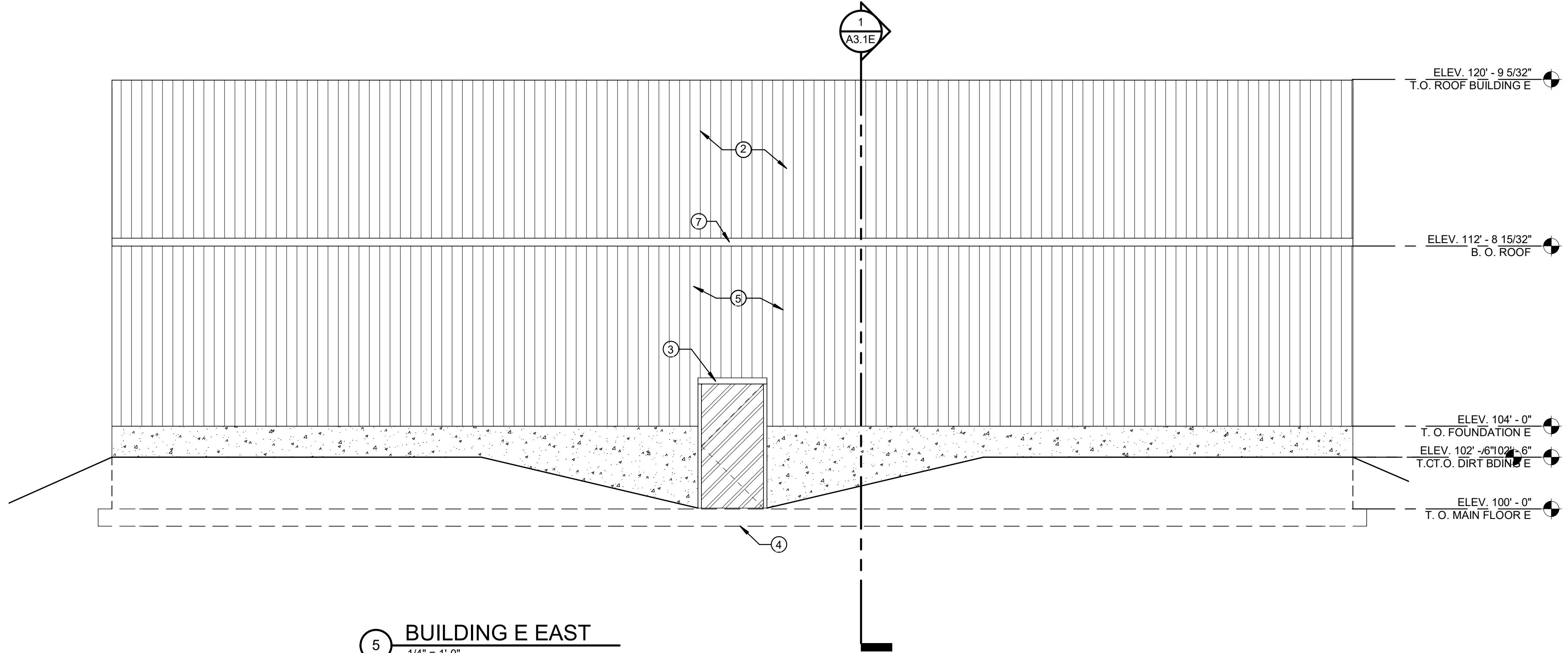
1 BUILDING E
1/2" = 1'-0"



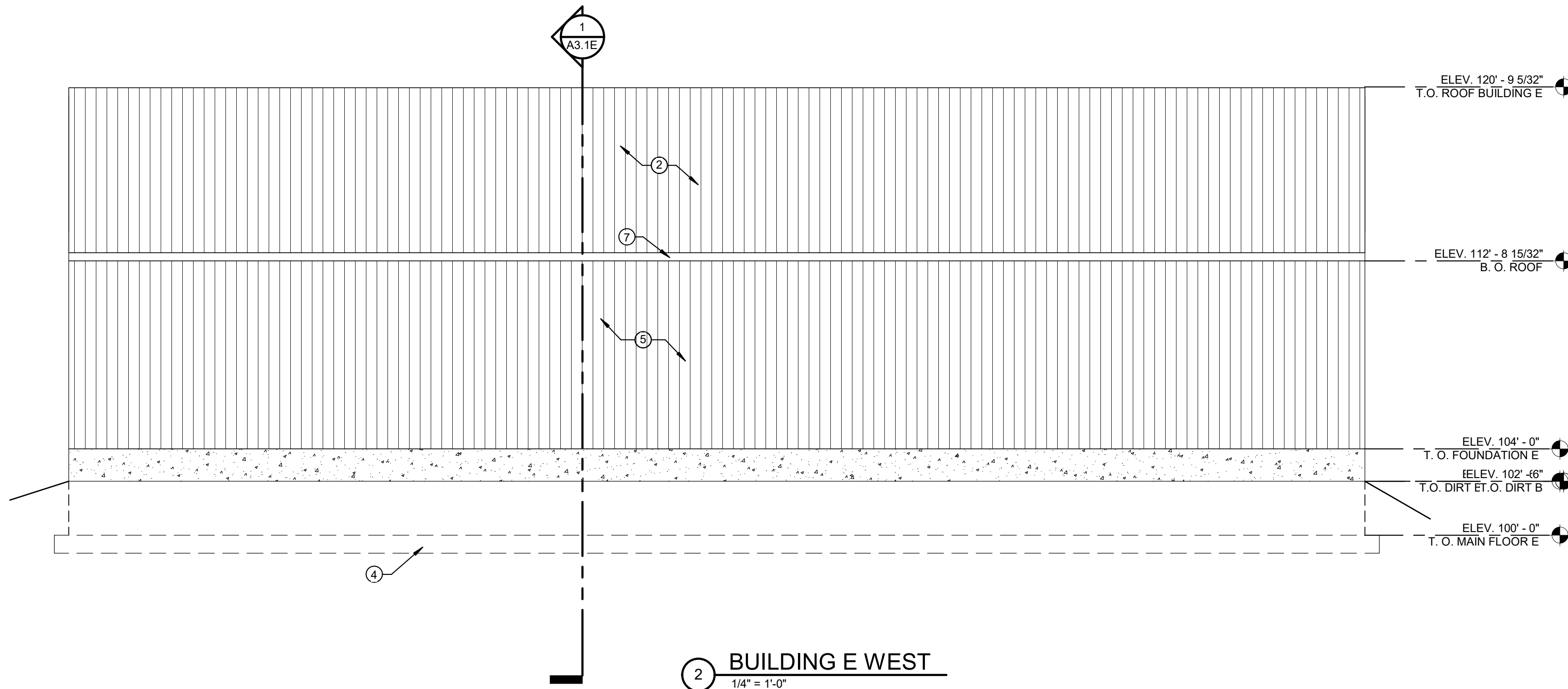
4 BUILDING E NORTH
1/4" = 1'-0"



3 BUILDING E SOUTH
1/4" = 1'-0"



5 BUILDING E EAST
1/4" = 1'-0"



2 BUILDING E WEST
1/4" = 1'-0"

SHEET NOTES

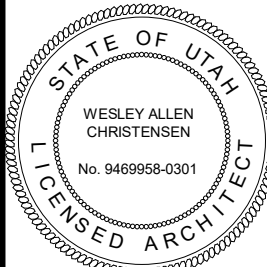
- 1 - WOOD FRAME WALLS W/ 5/8" PLYWOOD - SEE STRUCTURAL SHEETS
- 2 - METAL ROOF PANELS
- 3 - HOLLOW METAL DOOR AND FRAME (PAINTED) - SEE DOOR SCHEDULE. COLOR AS SELECTED BY ARCHITECT.
- 4 - CONCRETE FOOTINGS AND FOUNDATION WALLS - SEE STRUCTURAL SHEETS FOR SIZE AND REINFORCING.
- 5 - METAL WALL PANELS
- 6 - 10' ROLL UP DOOR
- 7 - METAL SOFFIT, FASCIA, AND DOWN SPOUT

PROJECT TITLE

NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD
SANATQUIN, UTAH

DRAWN BY: Author
CHECKED BY: Checker
DATE: FEB 2023
PROJECT #: 171022

A3.1E

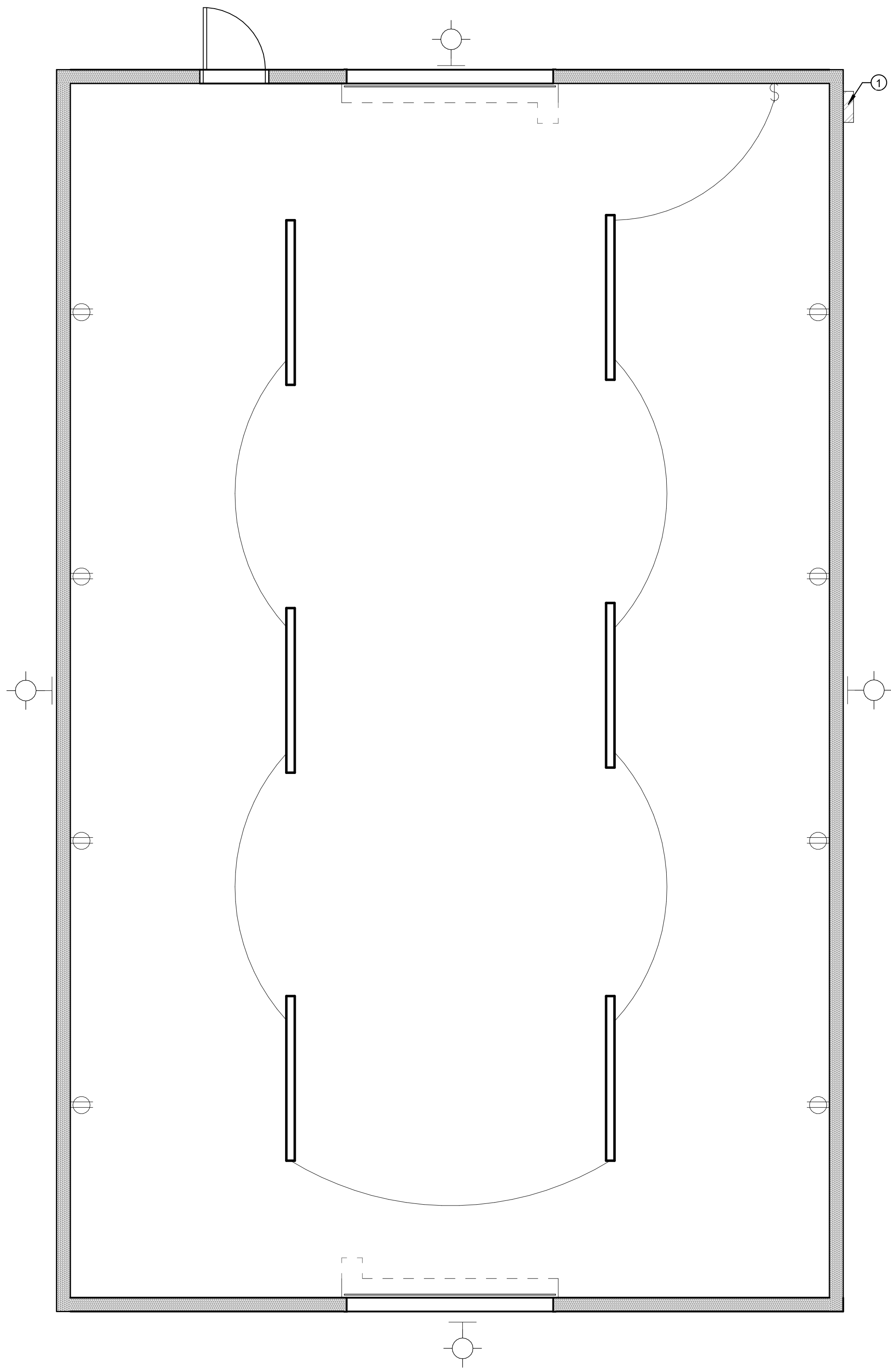


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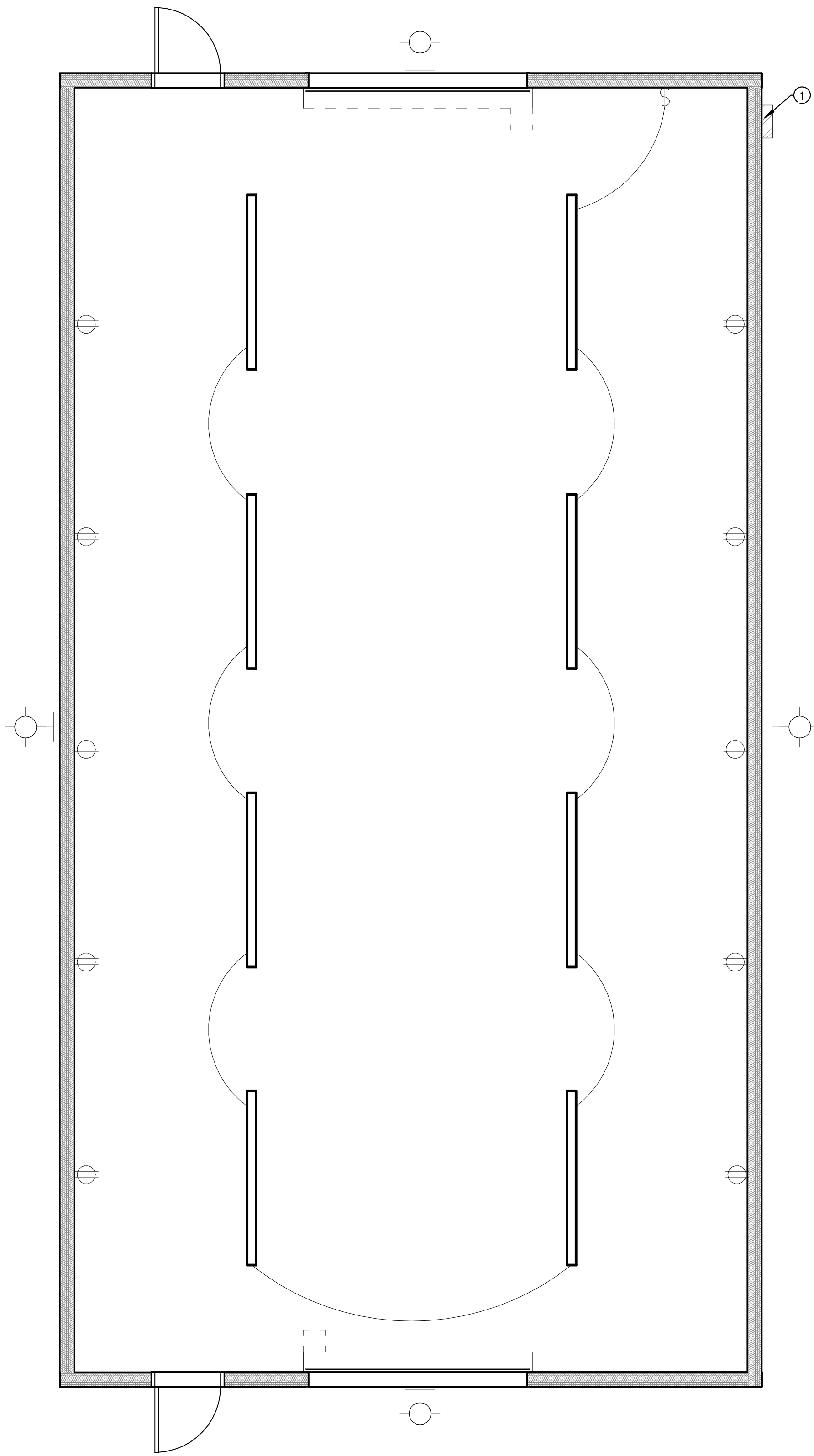
KMA ARCHITECTS
170 NORTH MAIN STREET
SPRINGFIELD, UTAH 84660
WWW.KMAARCHITECTS.COM

THIS PRINT AND ALL INFORMATION HEREON IS THE PROPERTY OF KMA ARCHITECTS AND SHALL NOT BE USED ON ANY OTHER JOB WITHOUT WRITTEN PERMISSION OF THE ARCHITECT

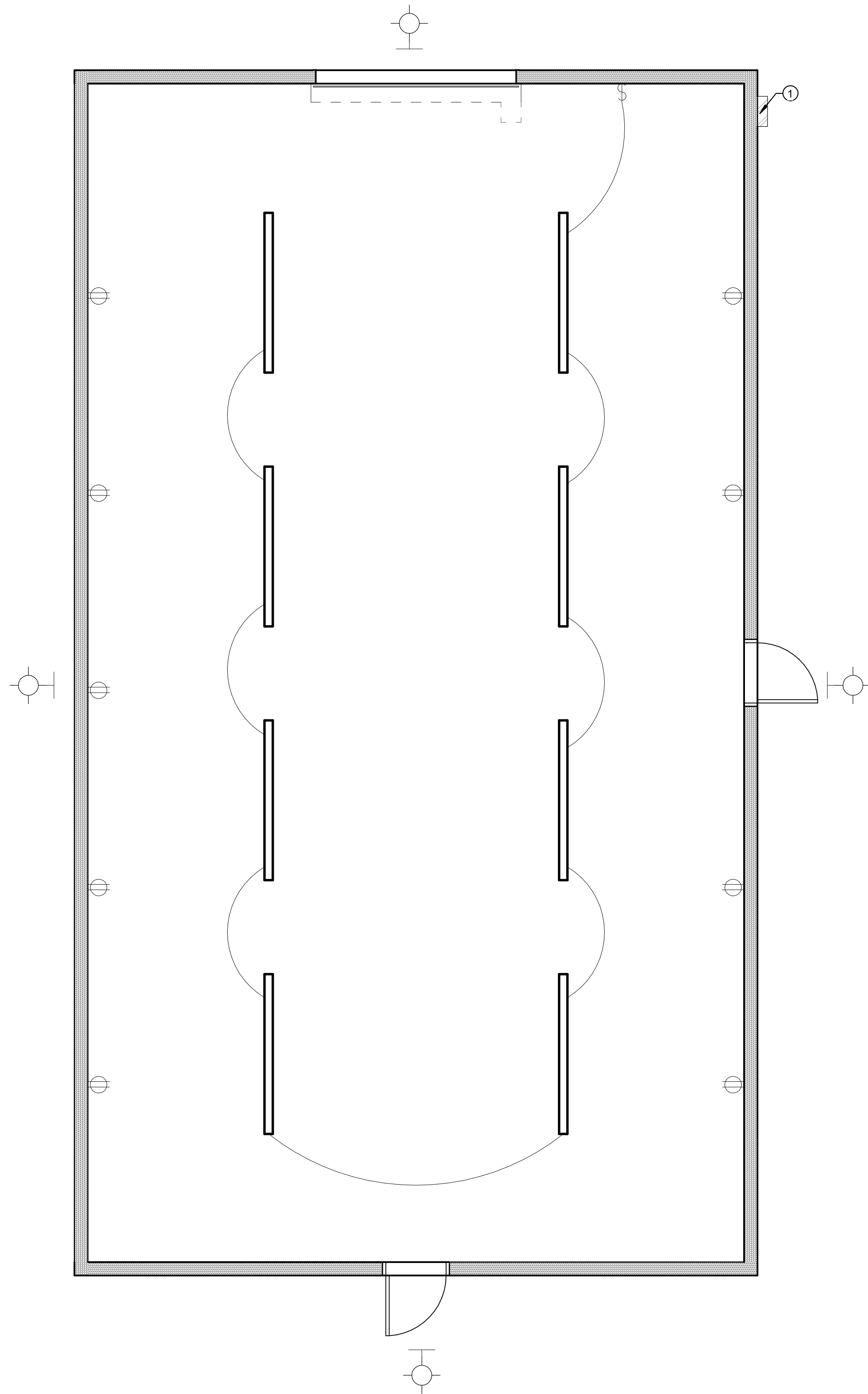
3/21/2023 10:24:41 AM
1/4" = 1'-0"



1 LIGHT PLAN BUILDING A
1/4" = 1'-0"



2 LIGHT PLAN BUILDING B
1/4" = 1'-0"



4 LIGHT PLAN BUILDING E
1/4" = 1'-0"

SHEET NOTES

1 - ELECTRICAL PANEL AND EQUIPMENT - SEE ELECTRICAL SHEETS.

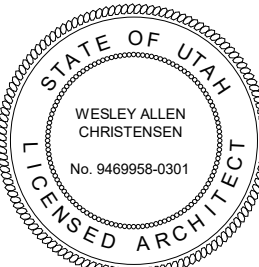
PROJECT TITLE

NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
400 E HIGHLINE CANAL RD

DRAWN BY: STAFF
CHECKED BY: W.C.
DATE: FEB 2023
PROJECT #: 171022

E1

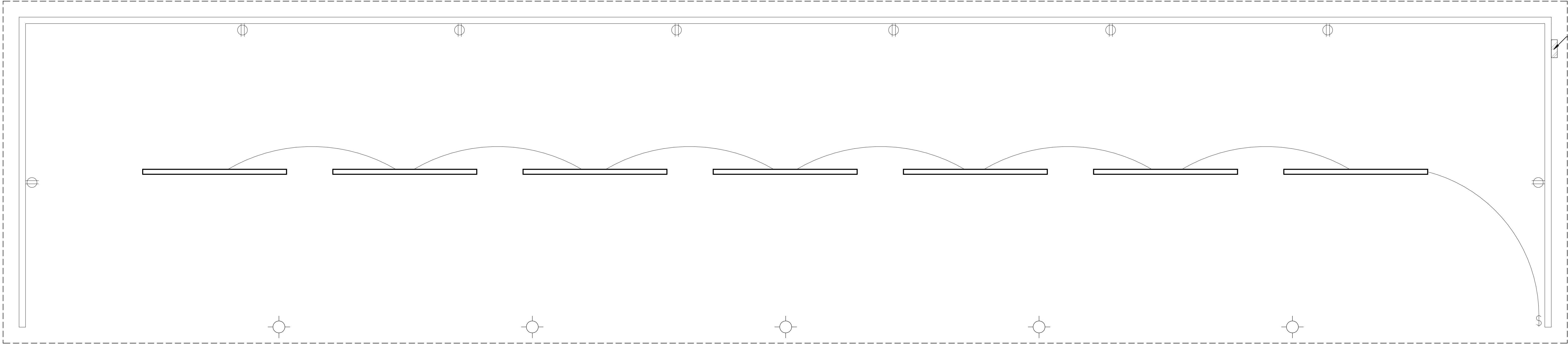
SANATQUIN, UTAH



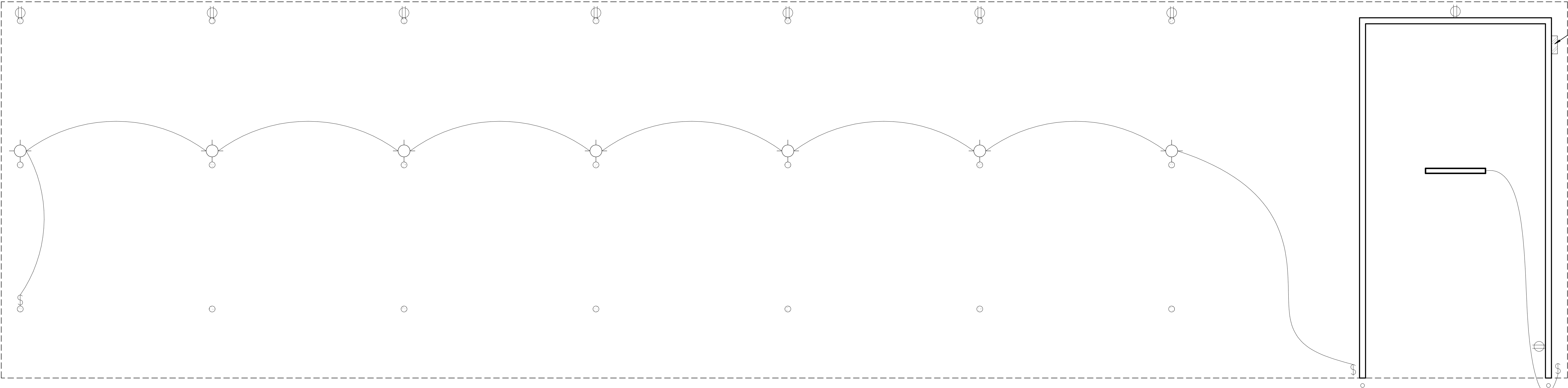
REVISIONS:



170 NORTH MAIN STREET
SPANISH FORK, UT 84660
WWW.KMAARCHITECTS.COM



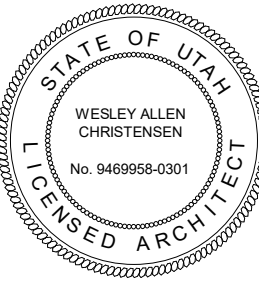
1 LIGHT PLAN BUILDING C
1/4" = 1'-0"



2 LIGHT PLAN BUILDING D
1/4" = 1'-0"

SHEET NOTES

- 1 - ELECTRICAL PANEL AND EQUIPMENT - SEE ELECTRICAL SHEETS.



REVISIONS:

PROJECT TITLE
NEBO SCHOOL DISTRICT
NEBO ANIMAL LABS
1400 E HIGHLINE CANAL RD
SANATQUIN, UTAH

DRAWN BY: Author
CHECKED BY: Checker
DATE: FEB 2023
PROJECT #: 171022

E1.1

170 NORTH MAIN STREET
SPANISH FORK, UT 84660
WWW.KMAARCHITECTS.COM



811

Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'

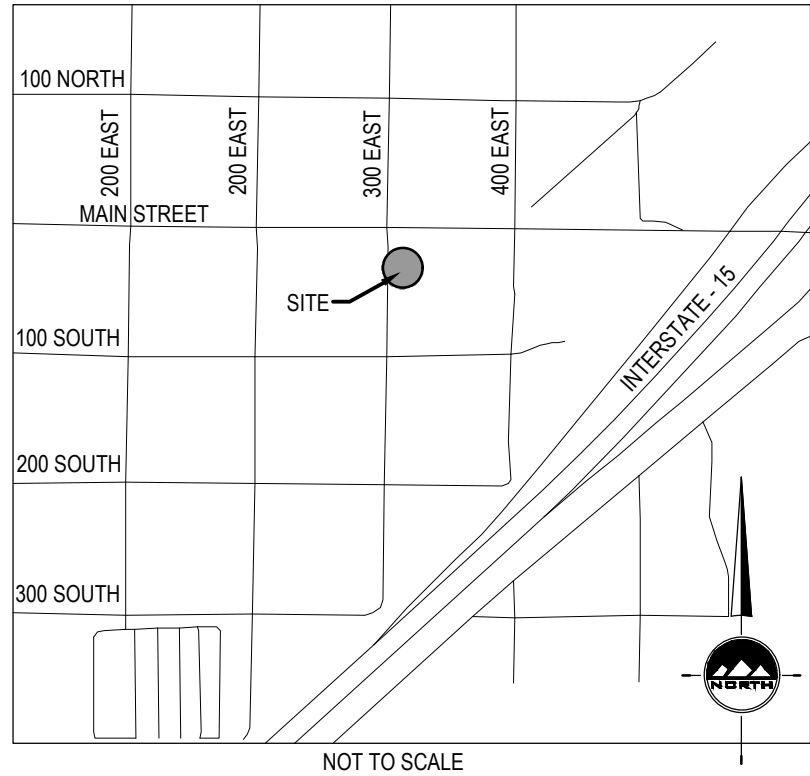
HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST
SANTAQUIN, UTAH

INDEX OF DRAWINGS

1 OF 1	ALTA SURVEY
C-001	GENERAL NOTES
C100	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING AND DRAINAGE PLAN
C400	UTILITY PLAN
C500	EROSION CONTROL
C600	DETAILS
PH100	PHOTOMETRIC PLAN
L100	LANDSCAPE PLAN
L200	IRRIGATION PLAN
L300	LANDSCAPE AND IRRIGATION DETAILS

VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO SANTAQUIN STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = SOUTHWEST QUARTER CORNER OF SECTION 1, T9S, R1E, SALT LAKE BASE AND MERIDIAN ELEV. = 4880.90'

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Item 2.

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:

HOLIDAY OIL
5115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH

CONTACT:

SCOTT WAGSTAFF
PHONE: 801-473-7002



HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST
SANTAQUIN, UTAH



COVER SHEET

PROJECT NUMBER
6458A

PRINT DATE
10/25/2022

DRAWN BY
MM

CHECKED BY
ORE

PROJECT MANAGER
CGD

C000

RICHFIELD
Phone: 435.896.2983

FOR:
HOLIDAY OIL
3115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH 84119

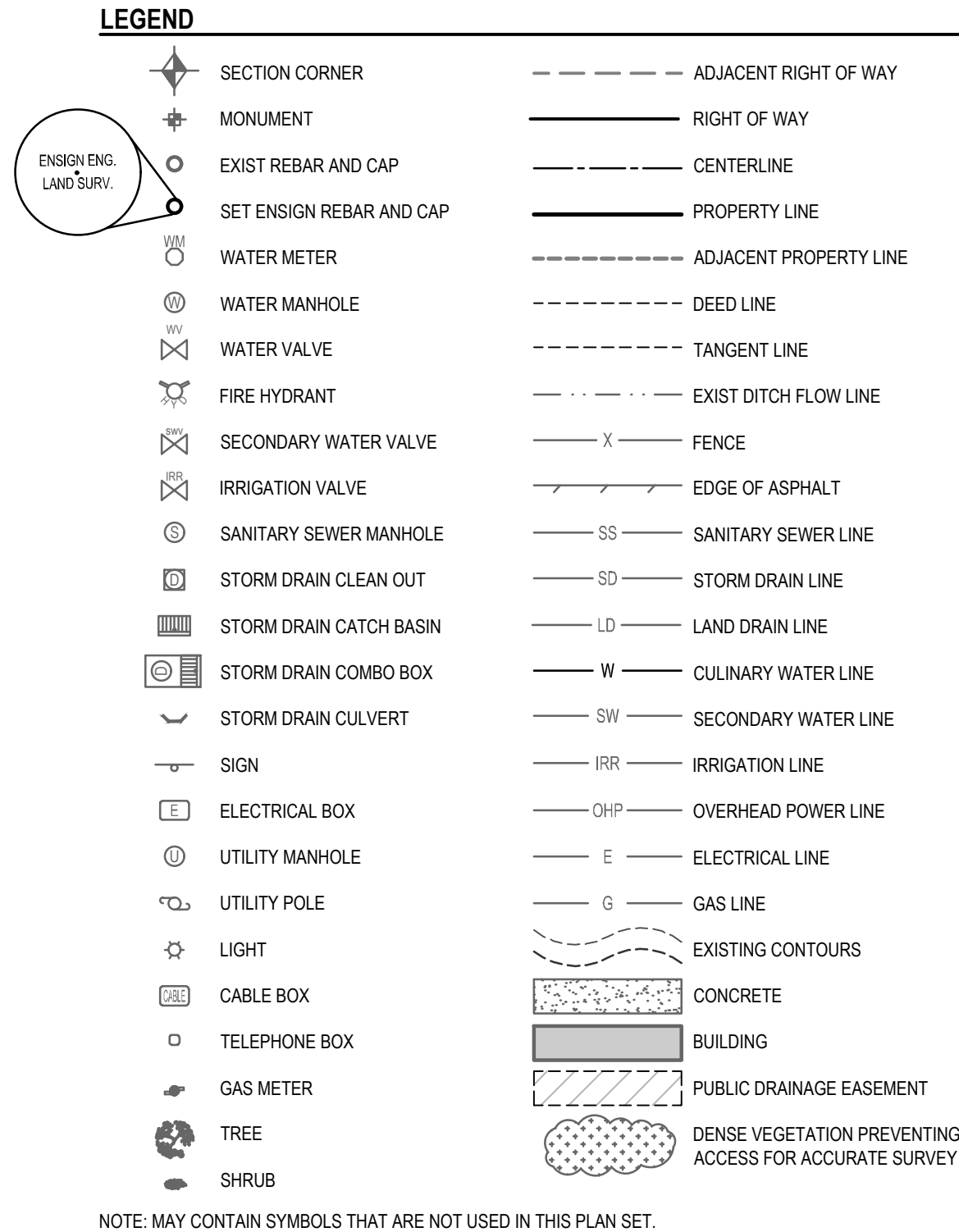
CONTACT:
SCOTT WAGSTAFF
PHONE: 801-973-7002

**HOLIDAY OIL - SANTAQUIN
ALTA-NSPS LAND TITLE AND TOPOGRAPHIC SURVEY**



PROJECT NUMBER	PRINT DATE
6458A	11/7/22
DRAWN BY	CHECKED BY
S. LEWIS	P. HARRIS
PROJECT MANAGER	
P. HARRIS	

1 OF 1



I, Patrick M. Harris do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide an ALTA/NPS Land Title and Topographic Survey for use by the client. The Basis of Bearing is the line between the North Quarter Corner of Section 1 and the Northwest Corner of Section 1, Township 9 South, Range 1 East, Salt Lake Base and Meridian, and measures South 88°18'10" West 2649.76 feet.

Commencing 7.50 rods South of the Northwest corner of Lot 4, Block 22, Plat "B", Santaquin Townsite Survey; thence East 10 rods; thence South 7.50 rods; thence West 10 rods; thence North 7.50 rods to the place of beginning.

A parcel of land situate in the Southwest Quarter of Section 1, Township 9 South, Range 1 East, Salt Lake Base and Meridian, being more particularly described as follows:

Beginning at a point on the Easterly Right-of-Way line of 300 East Street, said point being South 0°10'39" West 123.75 feet from the Northwest Corner of Lot 4, Block 22, Plat "B", Santaquin Townsite Survey, said point also being South 88°18'10" West 539.96 feet and South 0°10'39" West 2785.01 feet from the Northwest Quarter Corner of Section 1, Township 9 South, Range 1 East, Salt Lake Base and Meridian; and running

thence South 89°49'57" East 165.00 feet;
thence South 00°10'39" West 123.75 feet;
thence North 89°49'57" West 165.00 feet to the Easterly Right-of-Way line of 300 East Street;
thence North 00°10'39" East 123.75 feet along said Easterly Right-of-Way line to the point of beginning

Contains 20,419 Square Feet or 0.469 Acres.

To: (i)Wagstaff Investments, LLC.; and (ii)Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with 202 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 11, 13, 14, 16, 17, 18, and 19 of Table A thereof.

The fieldwork was completed on November 2, 2022.

Date of Plat or Map: November 7, 2022.

11/07/22
Date

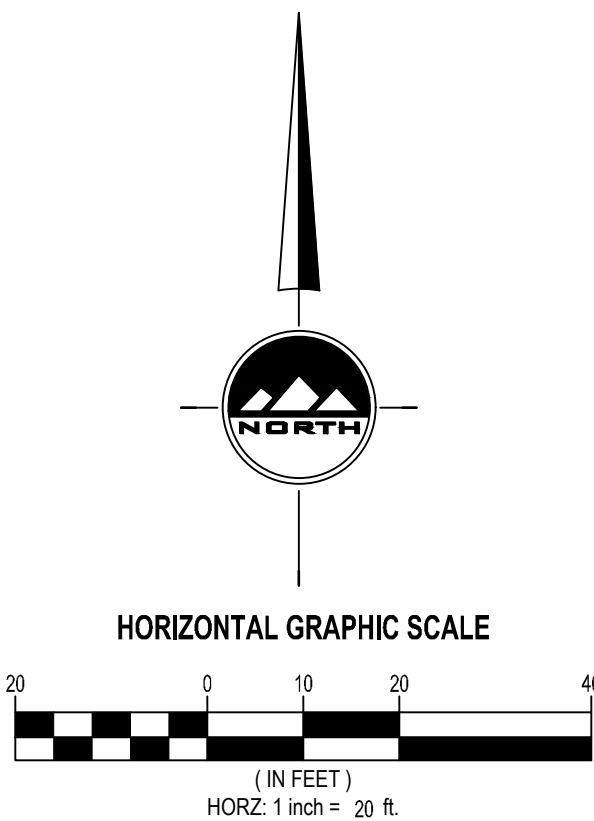
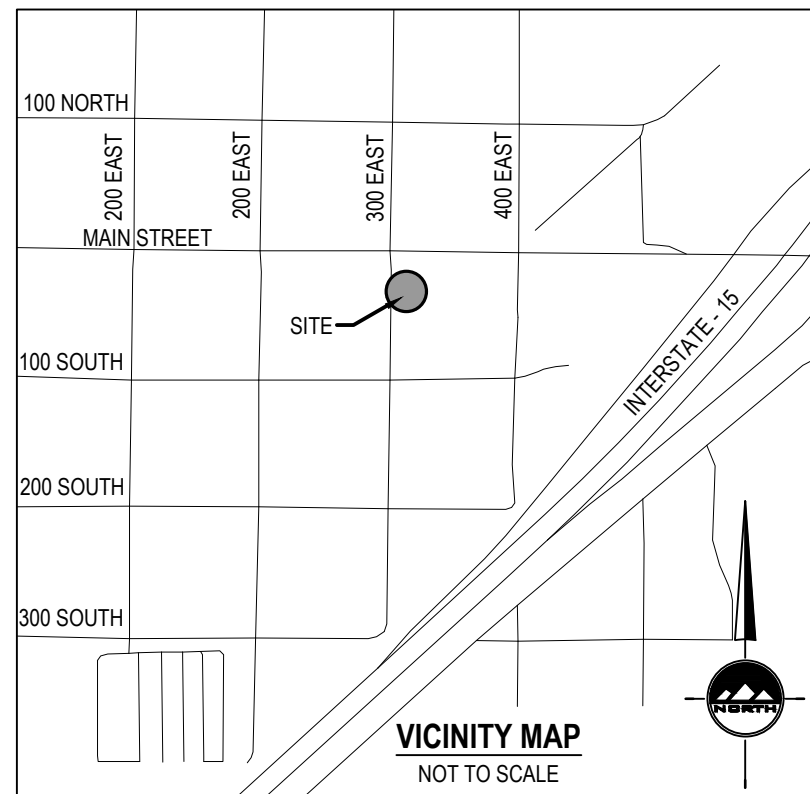
Note: For conditions of record not shown hereon as well as specific references to items in the title report, please refer to a title report supplied by Old Republic Title Insurance Company, of Orem, Utah under Commitment No. 2266547SM, dated effective May 3, 2022.

Schedule B-2 Exceptions

9. 2022 General Property Taxes are accruing as a lien and are not yet due and payable. 2021 General Property Taxes have been PAID in the amount of \$ 1,449.34. Tax ID No.: 09-091-0016
10. Subject property is included within the boundaries of Tax District 190 and is subject to the charges and assessments thereof. For status of the account contact - Santiquan (801-754-3211)
11. Subject to all existing rights, street, alley, ditches, reservoirs, utilities, canals, pipelines, power poles, telephone, sewer, gas or water lines and rights of way and easements thereof.
12. Water rights, or claims or title to water.
13. Deed of Trust
Dated: October 6, 2021
Trustor: Emmanuel Chavez
Trustee: Highland Title
Beneficiary: MERS, Inc., solely as nominee for Rock Canyon Bank
Amount: \$180,000.00
Recorded: October 12, 2021
Entry No.: 174233.2021, of the Official Records
14. Deed of Trust
Dated: March 17, 2022
Trustor: Emmanuel Chavez AKA Emmanuel Chavez-Rodriguez
Trustee: America First Federal Credit Union
Beneficiary: America First Federal Credit Union
Amount: \$100,000.00
Recorded: March 28, 2022
Entry No.: 38352.2022, of the Official Records

TABLE A

- 1) Monuments to be placed at all major corners of the boundary of the surveyed property.
- 2) Parcel address is 45 South 300 East, Santaquin Utah.
- 3) Parcel is located in Flood Zone X, per FEMA FIRIM map 49049C09075F effective June 19, 2020
- 4) Parcel contains 20,419 square feet or 0.469 acres.
- 5) Contours are shown at 1.0 foot intervals.
- 6) Utilities are shown on survey.
- 7) Adjacent owners are shown on survey
- 8) Distance to nearest intersecting street is shown on survey.
- 9) Subject parcels are currently under construction
- 10) No change to current street right-of-way at time of survey.
- 11) All plottable easements are shown on survey.
- 12) Minimum amount of professional liability insurance has been met.



LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 1 TOWNSHIP 9 SOUTH, RANGE 1
EAST SALT LAKE BASE AND MERIDIAN
SANTAQUIN, UTAH COUNTY, UTAH

GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE ABOVE SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS/HER WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
 - CONTRACTOR IS REQUIRED TO LOCATE AND POT HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
 - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
 - IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POT HOLE" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
 - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR PRIOR TO ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 0230 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OR SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS/HER OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS/HER WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AHWA	AMERICAN WATER WORKS ASSOCIATION
BS	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EDA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WIV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		PROPOSED STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW OUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		PROPOSED WALL
	EXISTING UTILITY POLE		EXISTING CONTOURS
	EXISTING LIGHT		PROPOSED CONTOURS
	PROPOSED LIGHT		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS METER		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS MANHOLE		EXISTING ASPHALT TO BE REMOVED
	EXISTING GAS VALVE		PROPOSED ASPHALT
	EXISTING TELEPHONE MANHOLE		EXISTING CURB AND GUTTER
	EXISTING TELEPHONE BOX		PROPOSED CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING CABLE BOX		TRANSITION TO REVERSE PAN CURB
	EXISTING BOLLARD		CONCRETE TO BE REMOVED
	PROPOSED BOLLARD		EXISTING CONCRETE
	EXISTING SIGN		PROPOSED CONCRETE
	PROPOSED SIGN		BUILDING TO BE REMOVED
	EXISTING SPOT ELEVATION		EXISTING BUILDING
	PROPOSED SPOT ELEVATION		PROPOSED BUILDING
	EXISTING FLOW DIRECTION		
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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LAYTON

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TOOELE

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CEDAR CITY

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RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

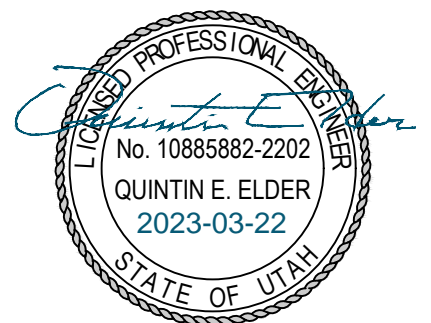
FOR:
HOLIDAY OIL
5115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH
CONTACT:
SCOTT WAGSTAFF
PHONE: 801-973-7002



HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST

SANTAQUIN, UTAH



GENERAL NOTES

PROJECT NUMBER
6458A
DRAWN BY
MM
PROJECT MANAGER
CGD
PRINT DATE
10/25/2022
CHECKED BY
QRE

C001



TOOELE
Phone: 435.843.3590

RICHFIELD
Phone: 435.896.2983

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WEST VALLEY CITY, UTAH

CONTACT:
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PHONE: 801-973-7002



**45 SOUTH 300 EAST
SANTAQUIN, UTAH**



C100

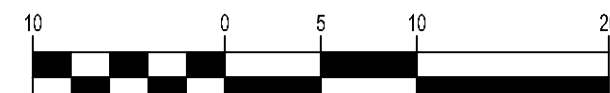
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTORS FAILURE TO CORRECT THE LOCATION OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
4. ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
5. SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JUNT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
6. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

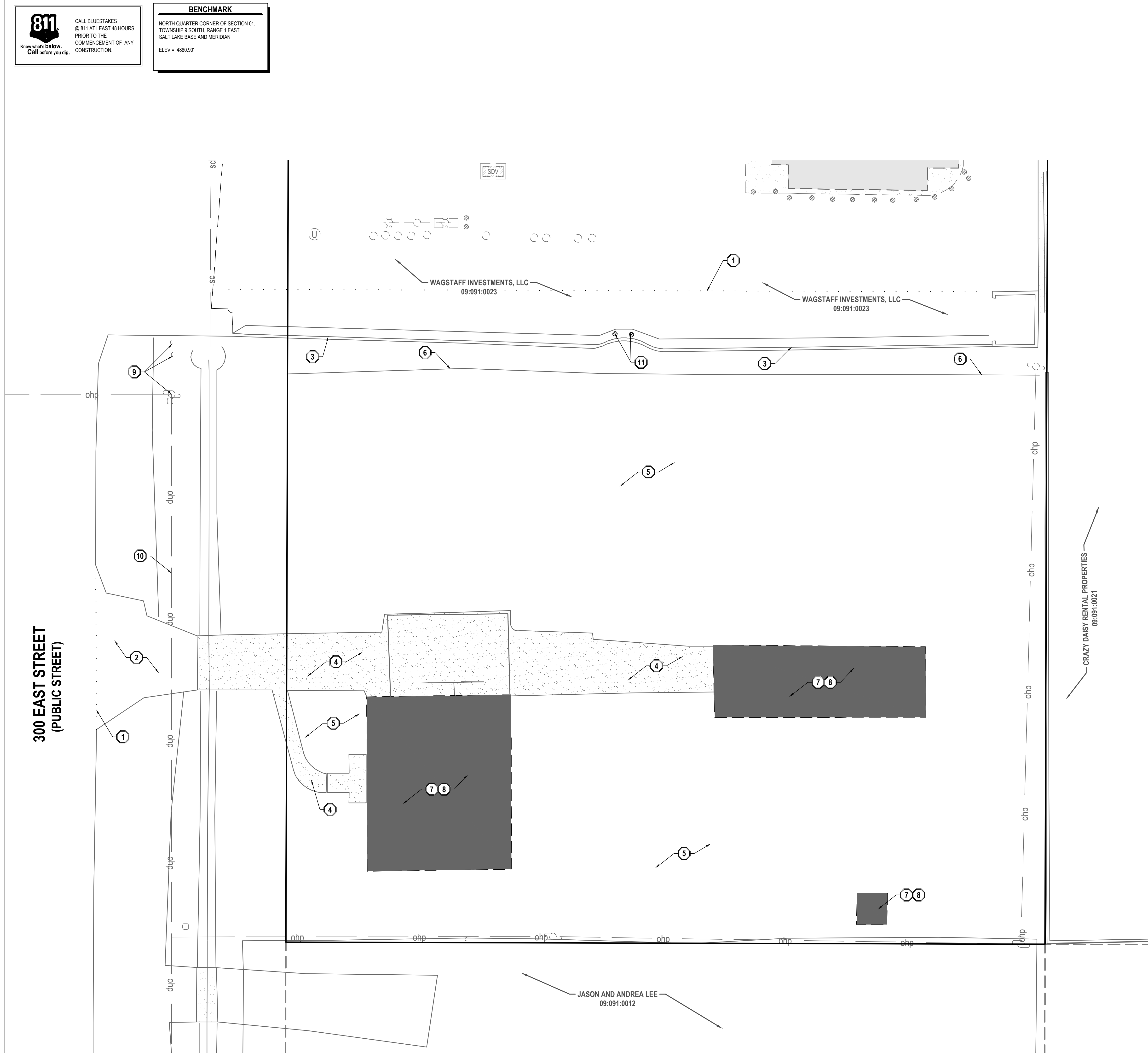
- 1 SAWCUT EXISTING ASPHALT/CONCRETE PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- 2 REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- 3 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 4 SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE DRIVEWAY/SIDEWALK.
- 5 REMOVE EXISTING LANDSCAPING IN THIS AREA. RETROFIT AND REPAIR IRRIGATION SYSTEM AS NEEDED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 6 REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- 7 REMOVE AND DISPOSE OF EXISTING BUILDING STRUCTURE.
- 8 REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPLIANCES. IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS. CONTRACTOR TO FILL IN HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- 9 REMOVE AND PROPERLY DISPOSE OF EXISTING POWER POLE AND GUY WIRES. COORDINATE WITH LOCAL POWER COMPANY.
- 10 OVERHEAD POWER LINES TO BE RELOCATED. COORDINATE WITH LOCAL POWER COMPANY.
- 11 REMOVE AND PROPERLY DISPOSE OF EXISTING BOLLARDS.
- 12 LIMIT OF DISTURBANCE.
- 13 PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).



(IN FEET)
HORZ: 1 inch = 10 ft



HORZ: 1 inch = 10 ft



811

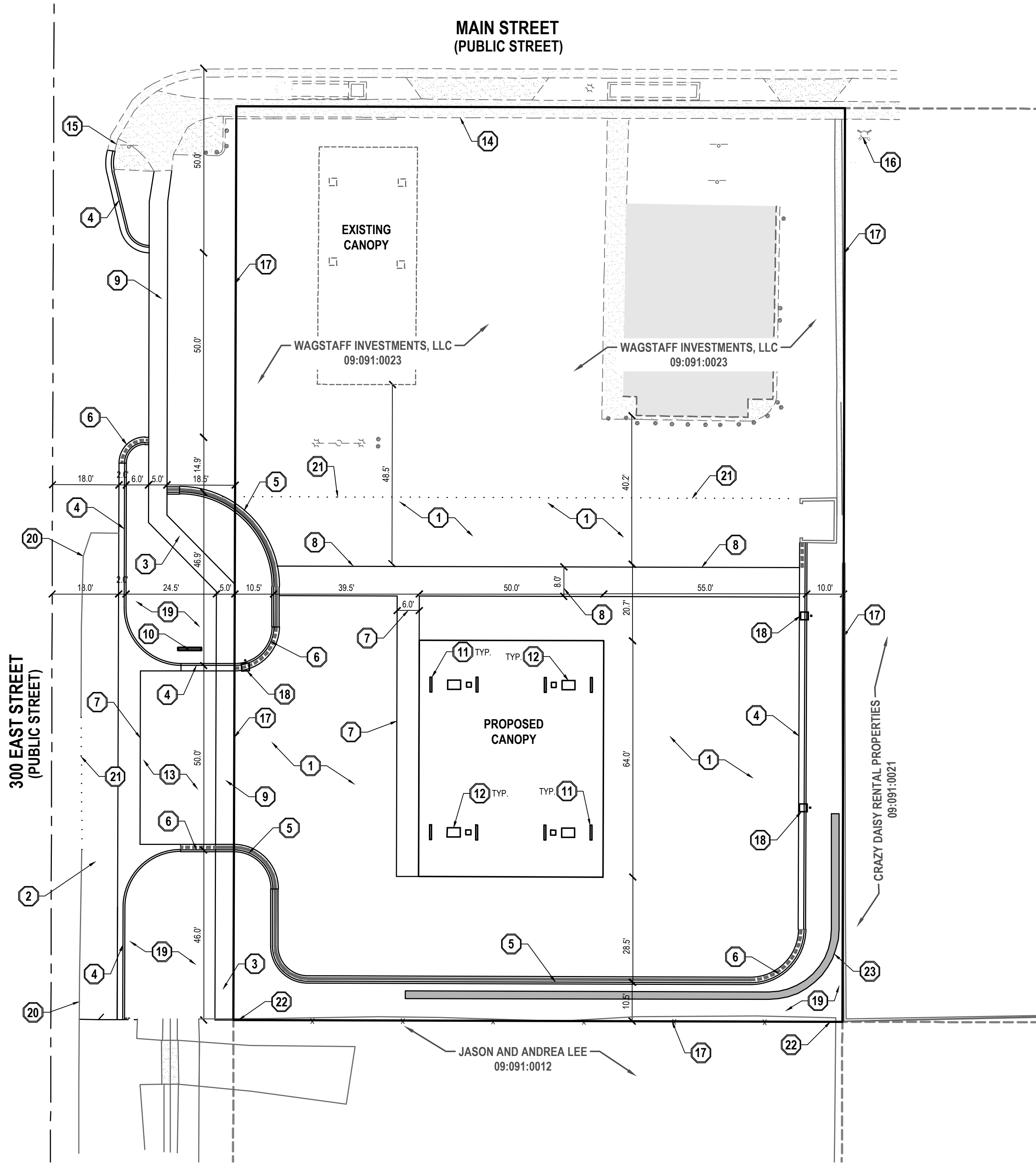
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

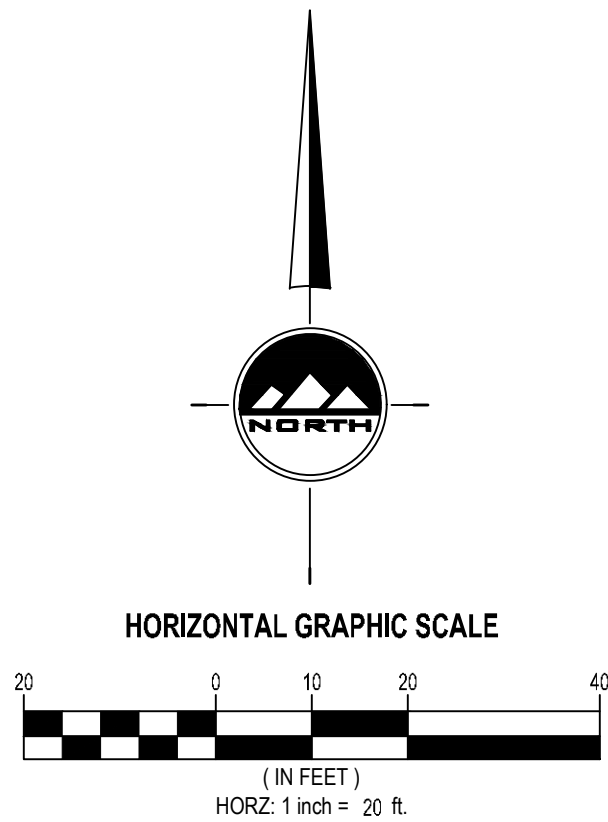
NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE LOCAL AGENCY JURISDICTION'S DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - ALL CONSTRUCTION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL AGENCY JURISDICTION'S CURRENT DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR AND THE PROPERTY OWNER.
 - PRIOR TO CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - ALL ADA ACCESSIBLE SIDEWALK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AGENCY JURISDICTION'S DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
 - ALL DIMENSIONS FROM CURB AND GUTTER ARE TO TOP BACK OF CURB UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR IS TO PROVIDE AN AS-BUILT DRAWING IN PDF FORMAT TO HOLIDAY OIL UPON COMPLETION OF THE PROJECT. A SCANNED COPY OF THE PLANS WITH CLEAR, LEGIBLE HAND WRITTEN NOTES IS ACCEPTABLE AND SHOULD INCLUDE ANY MODIFICATIONS THAT OCCUR DURING CONSTRUCTION, INCLUDING WATER, SEWER, STORM DRAIN, POWER AND ANY OTHER BURIED UTILITY.

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- CONCRETE PAVEMENT: 5.5" THICK CONCRETE WITH 5' UNTREATED BASE COURSE PER DETAIL 1/C600.
 - ASPHALT PAVEMENT: 3" THICK CONCRETE WITH 8' UNTREATED BASE COURSE DETAIL 4/C600.
 - 4" THICK CONCRETE SIDEWALK/PATIO WITH 6" UNTREATED BASE COURSE PER APWA PLAN NO. 231.
 - 24" HIGH BACK CURB AND GUTTER PER SANTAQUIN STANDARD DRAWING CG4 HIGHBACK AND SPECIFICATIONS.
 - 24" REVERSE PAN CURB AND GUTTER PER DETAIL 3/C600.
 - TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - 6" WIDE WATERWAY PER APWA PLAN 211 AND SPECIFICATIONS. SEE SHEET C600.
 - 8" WIDE WATERWAY PER APWA PLAN 211 AND SPECIFICATIONS. SEE SHEET C600.
 - 8" THICK CONCRETE SIDEWALK/PATIO WITH 6" UNTREATED BASE COURSE AND PER SANTAQUIN CITY'S STANDARD DETAIL CG5.
 - MONUMENT SIGN. SEPARATE SIGN PERMIT.
 - UPSIDE DOWN "U" CONCRETE BOLLARD. TYPE AND MATERIAL TO BE PROVIDED BY OWNER.
 - GAS PUMP. DESIGN BY OTHERS.
 - OPEN DRIVE APPROACH PER APWA STANDARD PLAN 225.
 - EXISTING SIDEWALK.
 - EXISTING CURB AND GUTTER.
 - EXISTING FIRE HYDRANT.
 - PROPERTY LINE.
 - 16' TALL LIGHT POLE, SEE PHOTOMETRIC PLAN.
 - NEW LANDSCAPING. SEE LANDSCAPE PLANS.
 - EXISTING ASPHALT EDGE.
 - SAWCUT EXISTING ASPHALT/CONCRETE PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
 - NEW 6" VINYL FENCE ALONG SOUTH PROPERTY LINE.
 - ROCK RETAINING WALL PER DETAIL 10/600. SEE GRADING PLAN FOR ELEVATIONS.



Item 2.

EN SIGN

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3115 WEST 2100 SOUTH
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HOLIDAY

HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST

SANTAQUIN, UTAH

UTAH PROFESSIONAL ENGINEER
No. 10885882-2202
QUINTIN E. ELDER
2023-03-22
STATE OF UTAH

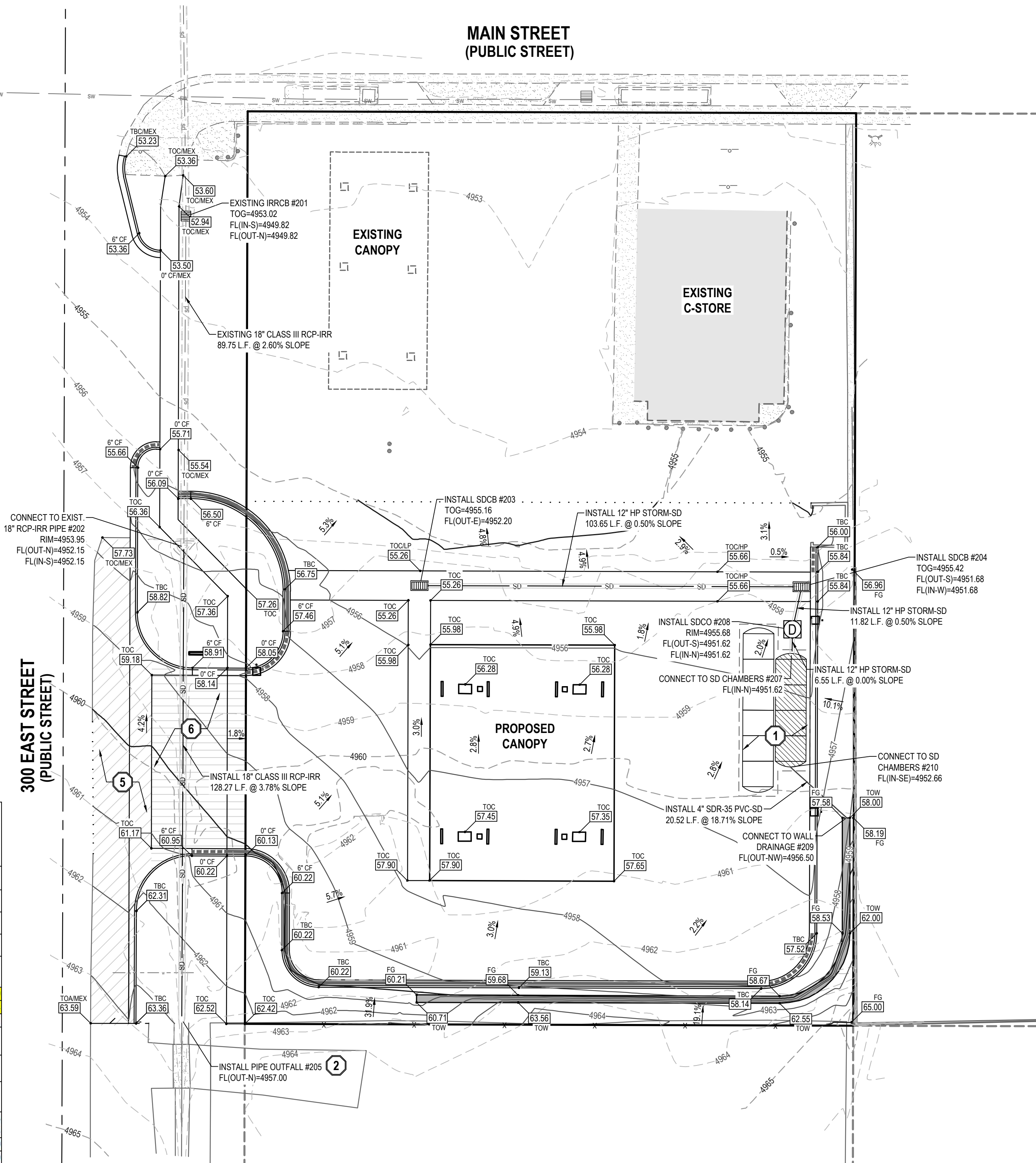
SITE PLAN

PROJECT NUMBER
6458A
DRAWN BY
MM
PROJECT MANAGER
CGD

PRINT DATE
10/25/2022
CHECKED BY
QRE

C200

21



<h1 style="margin: 0;">ON-SITE STORM DRAIN DETENTION</h1>				
PROJECT TITLE: HOLIDAY OIL SANTQUIN			PROJECT NUMBER: 6458A	
LOCATION: Santaquin, Utah			DATE: 03/16/23	
OWNER: Holiday Oil			SHEET: 1 OF 1	
DESIGNED BY: M. Martinez		CHECKED BY: Q. Elder		APPROVED BY: Q. Elder

AREA CALCULATION			
HARDSCAPE AREA	0.39	acres	runoff coeff. C :
LANDSCAPE/NATIVE AREA	0.08	acres	runoff coeff. C :
TOTAL AREA	0.47	acres	WEIGHTED C :
			0.81

RUNOFF CALCULATION			
25 Year Design Storm			Allowable Runoff
			0 cfs/ac
			Total allowable runoff
			0.000 cfs

Time (min)	CA (Acres)	Precipitation (in/hr)	Time (sec)	Cumulative Runoff (ft³)	Allowed Runoff (ft³)	Storage (ft³)
5	0.38	4.39	300	503	0	503
10	0.38	3.35	600	758	0	758
15	0.38	2.76	900	949	0	949
30	0.38	1.86	1,800	1,279	0	1,279
60	0.38	1.15	3,600	1,582	0	1,582
120	0.38	0.66	7,200	1,802	0	1,802
180	0.38	0.46	10,800	1,906	0	1,906
360	0.38	0.27	21,600	2,187	0	2,187
720	0.38	0.16	43,200	2,657	0	2,657
1440	0.38	0.10	86,400	3,400	0	3,400
STORAGE REQUIRED :						3,400
STORAGE PROVIDED :						3,539

1. ALL WORK TO COMPLY WITH THE SANTQUINN'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO: REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, REPAIRING OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACING OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SLOPE CONDITIONS.
5. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXXXX REPRESENTS AN ELEVATION OF 49XX.XX ON THIS PLAN.
6. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN REPIERED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
11. ALL FACILITIES WITH DOWNSPOUT/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE MECHANICAL SCHEDULE AND PLAN FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
12. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL AGENCY'S STANDARDS AND SPECIFICATIONS.
13. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
14. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
15. CONTRACTOR TO ENSURE THAT BOXES ARE SIZED TO ACCOMMODATE PIPE SIZES.
16. PERMANENT UNDERGROUND DETENTION FACILITY TO BE OWNED AND MAINTAINED BY OWNER OR THIS SHALL NOT BE TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH THE DETENTION FACILITY STORM DRAIN INFRASTRUCTURE WITHIN PROPERTY IS PRIVATE. TO BE OWNED AND MAINTAINED BY OWNER OF THIS PROPERTY NOT TO BE ALTERED OR REMOVED WITHOUT APPROVAL FROM THE GOVERNING AGENCY.

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED
THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INSTALL 10 STORMTECH MC-7200 CHAMBERS AND 2 END CAPS STORAGE CHAMBERS TO BE INSTALLED PER MANUFACTURER'S DRAWINGS AND SPECIFICATIONS. SUBMITTAL MUST BE PROVIDED TO ENGINEER OF RECORD FOR REVIEW PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE MANUFACTURER PRIOR TO STARTING CONSTRUCTION.

TOP OF GRAVEL =	4953.40	
TOP OF CHAMBER =	4951.90	
BOTTOM OF CHAMBER =	4946.90	
BOTTOM OF GRAVEL =	4946.15	
25-YR RETENTION STORAGE REQUIRED		= 3,400 CU. FT.
25-YR RETENTION STORAGE PROVIDED		= 3,539 CU. FT.

- ② PIPE OUTFALL PER APWA PLAN NO. 323 WITH TRASH GRATE.
- ⑤ INCREASE IN NON-RETAINED IMPERVIOUS AREA 1,307 S.F.
- ⑥ RIGHT-OF-WAY AREA TO BE RETAINED IN PRIVATE SD CHAMBER SYSTEM 1,198 S.F.



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FOR:

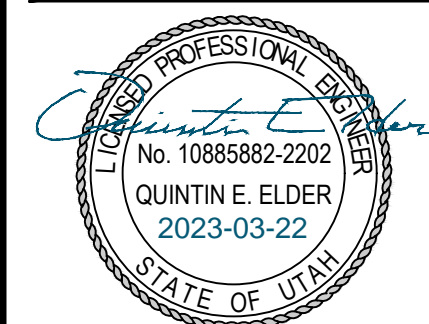
HOLIDAY OIL
3115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH

CONTACT:
SCOTT WAGSTAFF
PHONE: 801-973-7002



HOLIDAY OIL SANTAQUIN

**45 SOUTH 300 EAST
SANTAQUIN, UTAH**



GRADING AND DRAINAGE PLAN

PROJECT NUMBER	PRINT DATE
6458A	10/25/2022
DRAWN BY	CHECKED BY
MM	QRE
PROJECT MANAGER	
CGD	

C300

811

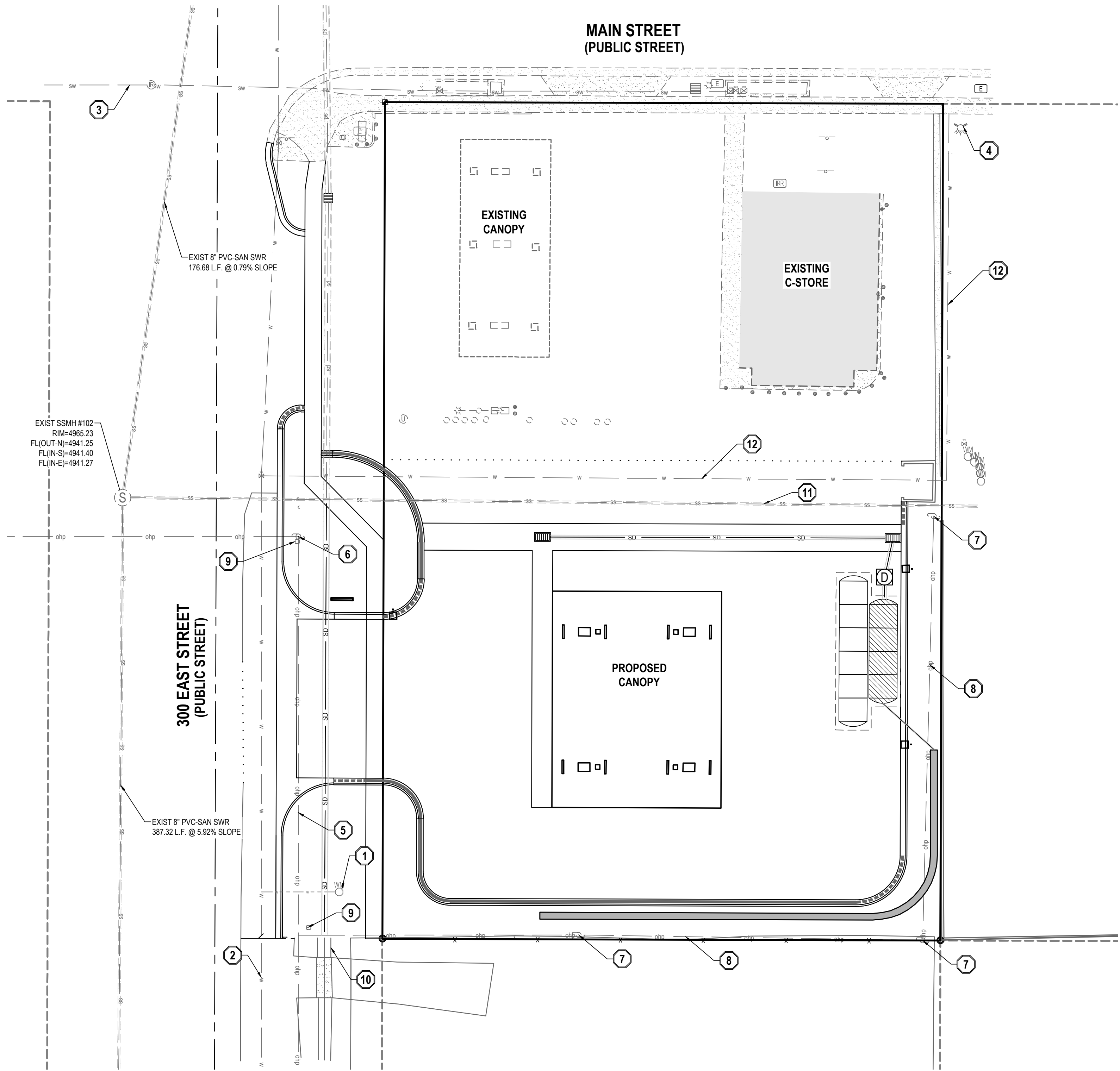
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'



- GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY OR APWA'S STANDARDS AND SPECIFICATIONS.

2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.

4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.

5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY OR APWA'S STANDARDS AND SPECIFICATIONS.

6. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACK-FLOW PROTECTION AND CROSS CONNECTION PREVENTION.

7. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.

8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.

9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY OR APWA'S STANDARDS AND SPECIFICATIONS.

10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

11. ALL CONSTRUCTION SHALL COMPLY WITH GOVERNING AGENCY OR APWA'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.

12. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

1. EXISTING WATER METER TO BE ABANDONED AND TERMINATED AT THE MAIN PER SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.

2. EXISTING CULINARY WATER LINE. PROTECT IN PLACE.

3. EXISTING SECONDARY WATER LINE. PROTECT IN PLACE.

4. EXISTING FIRE HYDRANT. PROTECT IN PLACE.

5. POWER LINE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY.

6. POWER POLE TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY.

7. EXISTING POWER POLE TO REMAIN AND BE PROTECTED IN PLACE.

8. EXISTING POWER LINE TO REMAIN AND BE PROTECTED IN PLACE.

9. EXISTING TELEPHONE BOX TO REMAIN AND BE PROTECTED IN PLACE.

10. EXISTING IRRIGATION DITCH. PROTECT IN PLACE.

11. EXISTING 8\"/>

Item 2.

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HOLIDAY

HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST

SANTAQUIN, UTAH

Professional Engineer

No. 10885882-2202

QUINTIN E. ELDER

2023-03-22

STATE OF UTAH

UTILITY PLAN

PROJECT NUMBER

6458A

PRINT DATE

10/25/2022

DRAWN BY

MM

CHECKED BY

QRE

PROJECT MANAGER

CGD

C400

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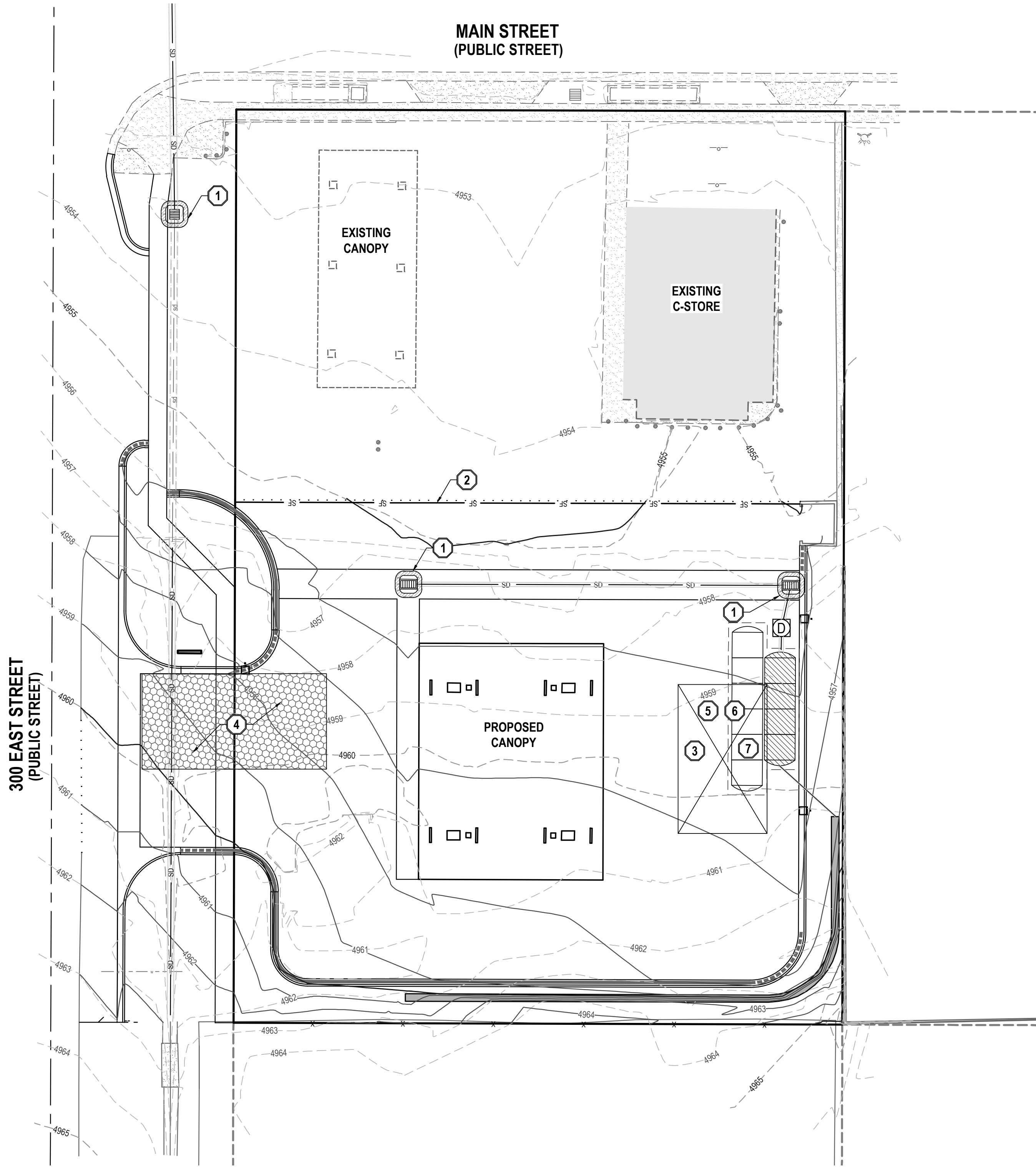
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NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'



- GENERAL NOTES

1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.

2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.

4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.

5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.

6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.

7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

8. PRIOR TO CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. INLET PROTECTION PER SANTAQUIN CITY STANDARD BMP DETAILS. SEE DETAIL 5/C800.

2. TEMPORARY CONSTRUCTION FENCE OR SILT FENCE PER SANTAQUIN CITY STANDARD BMP DETAILS. SEE DETAL 6/C600.

3. PORTABLE TOILET PER DETAIL 7/C600.

4. VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER SANTAQUIN CITY STANDARD BMP DETAILS. SEE DETAIL 8/C600.

5. CONCRETE WASTE MANAGEMENT PER DETAIL 9/C800.

6. SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.

7. SUGGESTED STOCKPILE AREA.
-
- Item 2.

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Holiday

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45 SOUTH 300 EAST

SANTAQUIN, UTAH

Professional Engineer

No. 10885882-2202

QUINTIN E. ELDER

2023-03-22

STATE OF UTAH

EROSION CONTROL PLAN

PROJECT NUMBER

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DRAWN BY

MM

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QRE

PROJECT MANAGER

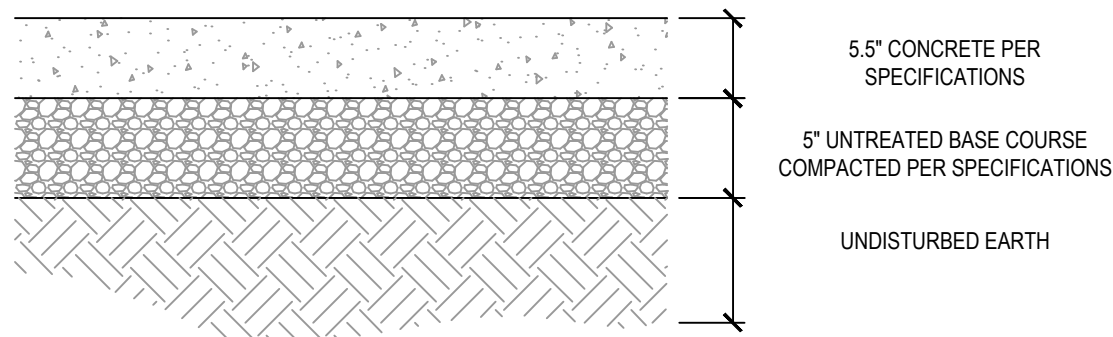
CGD

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CONCRETE NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-100 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



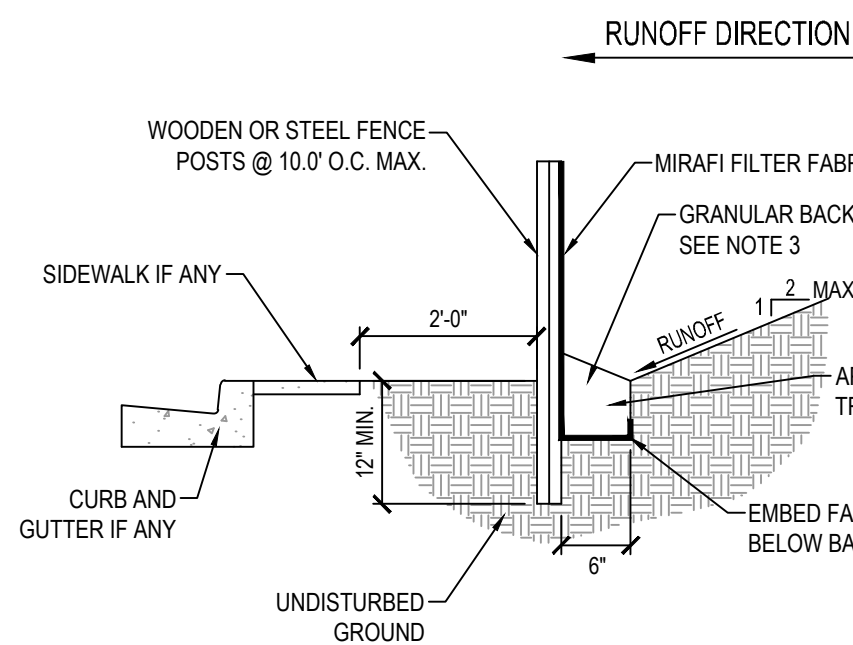
5.5" CONCRETE PER SPECIFICATIONS
5" UNTREATED BASE COURSE COMPACTED PER SPECIFICATIONS
UNDISTURBED EARTH

1 CONCRETE PAVEMENT SECTION

SCALE: NONE

6 TEMPORARY SILT FENCE

SCALE: NONE

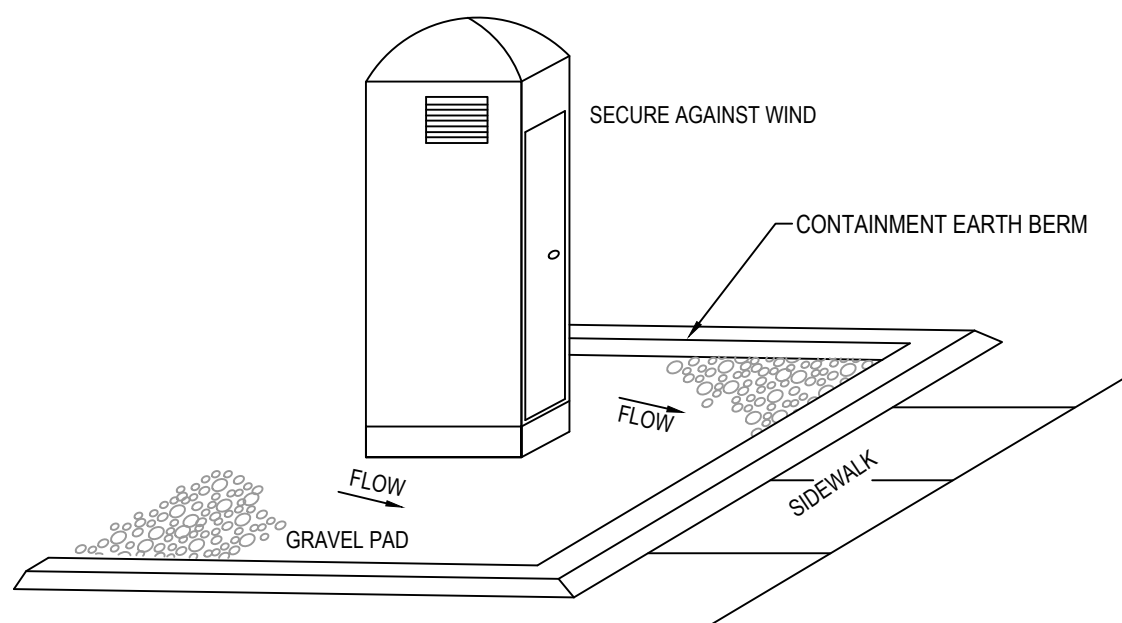


NOTES:

- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
- POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
- SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
- REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
- 10' MAX. SPACING BETWEEN STAKES.
- SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

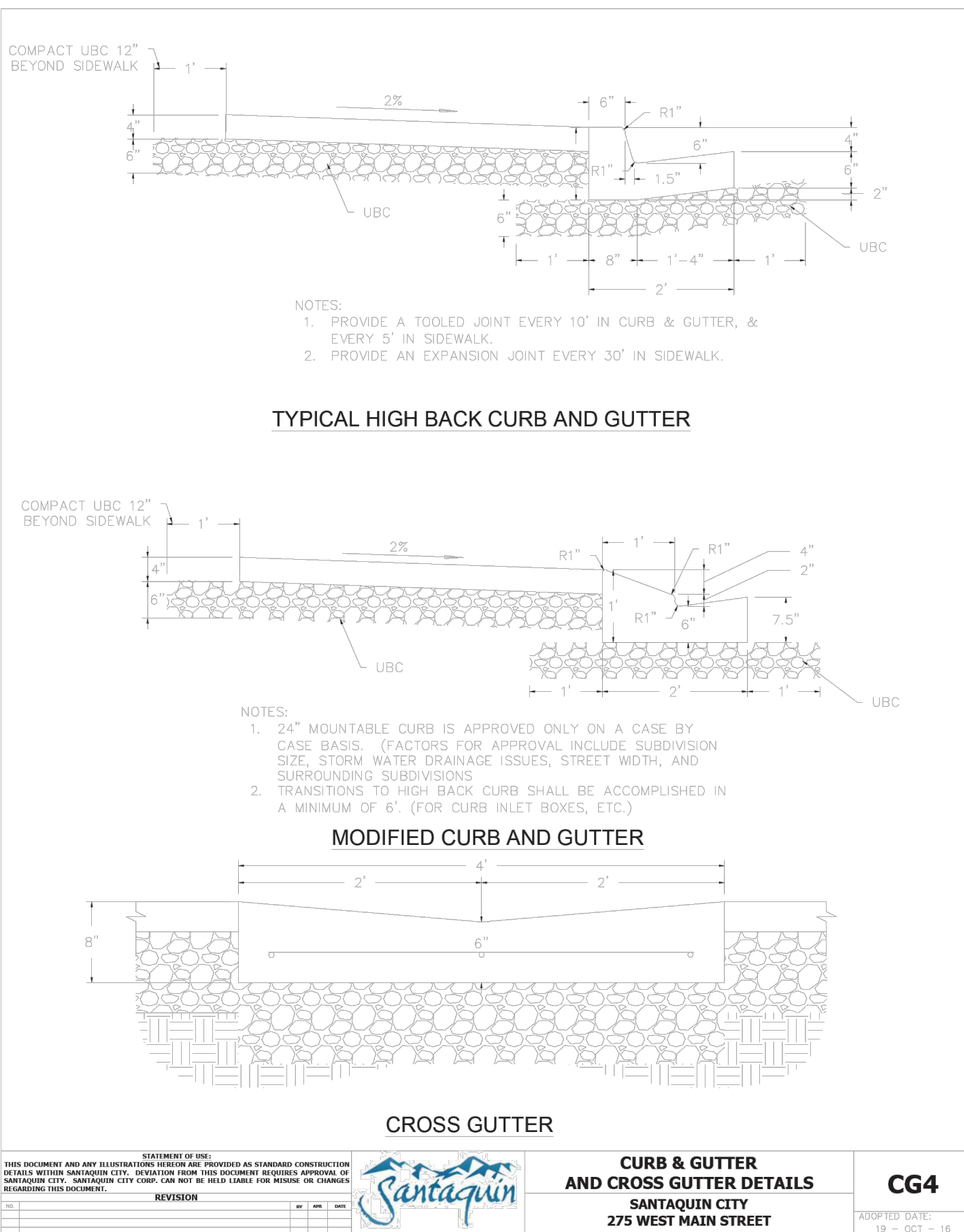
3 24" REVERSE PAN CURB AND GUTTER

SCALE: NONE



7 PORTABLE TOILET

SCALE: NONE



- NOTES:
- PROVIDE A TOOLED JOINT EVERY 10' IN CURB & GUTTER, & EVERY 5' IN SIDEWALK.
 - PROVIDE AN EXPANSION JOINT EVERY 30' IN SIDEWALK.

TYPICAL HIGH BACK CURB AND GUTTER

- NOTES:
- 24" MOUNTABLE CURB IS APPROVED ONLY ON A CASE BY CASE BASIS. (FACTORS FOR APPROVAL INCLUDE SUBDIVISION SIZE, STORM WATER DRAINAGE ISSUES, STREET WIDTH, AND SURROUNDING SUBDIVISIONS.)
 - TRANSITIONS TO HIGH BACK CURB SHALL BE ACCOMPLISHED IN A MINIMUM OF 6' (FOR CURB INLET BOXES, ETC.)

MODIFIED CURB AND GUTTER

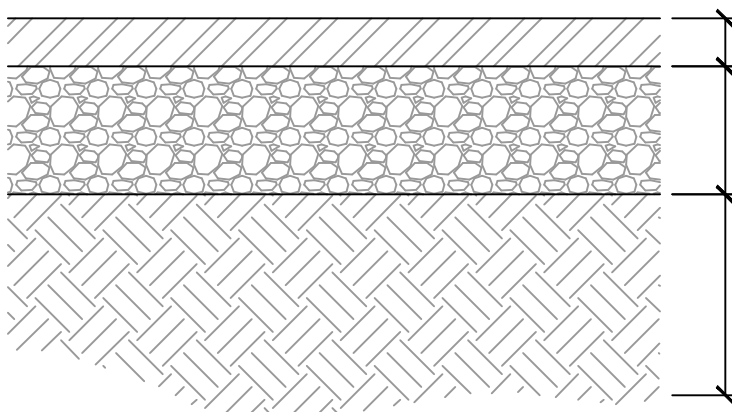
CROSS GUTTER

CURB & GUTTER AND CROSS GUTTER DETAILS
SANTAQUIN CITY
275 WEST MAIN STREET

CG4

ASPHALT NOTES

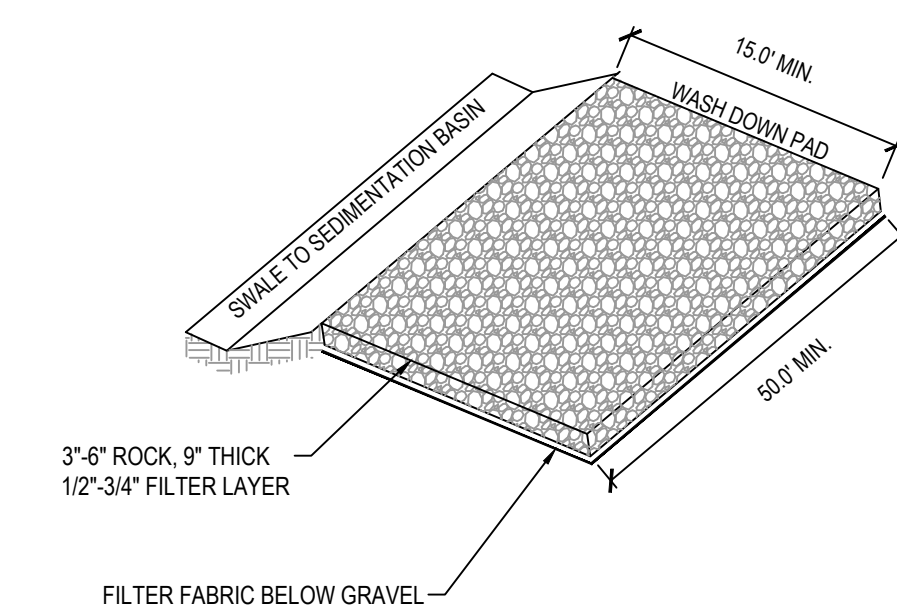
- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-100 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



3" ASPHALTIC CONCRETE PER SPECIFICATIONS, DM-112, PG 64-22, MAX RAP=15%
8" UNTREATED BASE COURSE COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS
PROPERLY PREPARED SUBGRADE OR FILL COMPACTED PER GEOTECHNICAL REPORT AND SPECIFICATIONS

4 STANDARD ASPHALT SECTION

SCALE: NONE

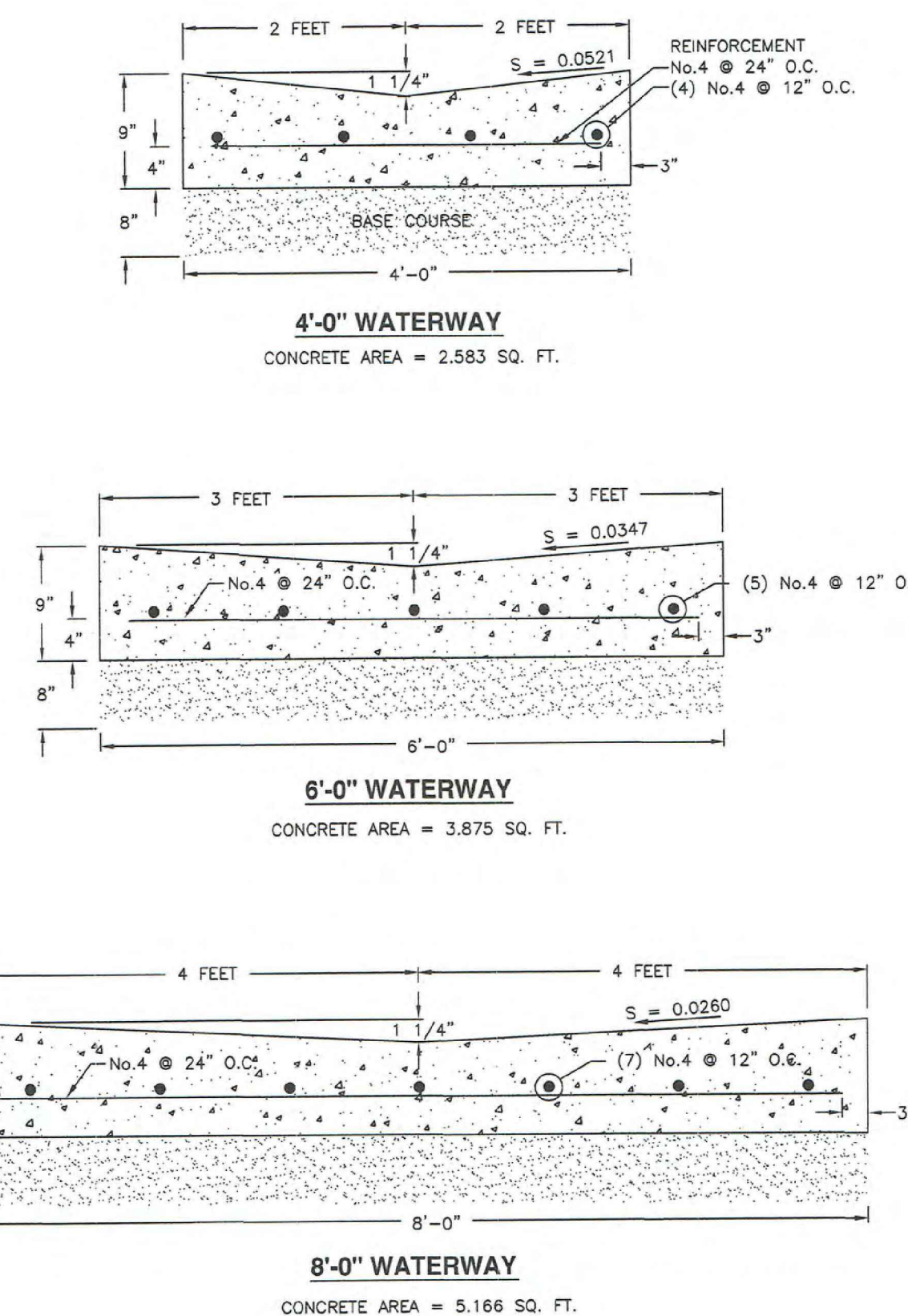


NOTE:

- PLACE SIGN ADJACENT TO ENTRANCE * CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION*

8 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE



4'-0" WATERWAY

CONCRETE AREA = 2.583 SQ. FT.

6'-0" WATERWAY

CONCRETE AREA = 3.875 SQ. FT.

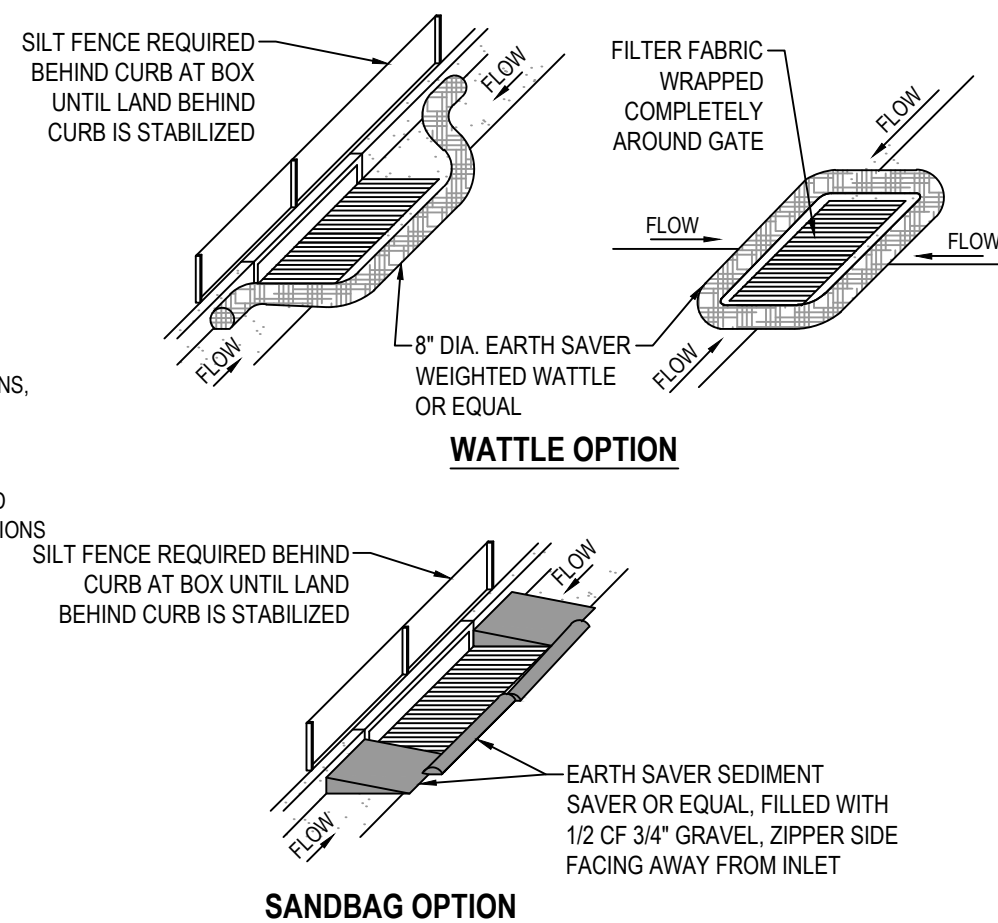
8'-0" WATERWAY

CONCRETE AREA = 5.166 SQ. FT.



Waterway

Plan
211
July 2011



WATTLE OPTION

SANDBAG OPTION

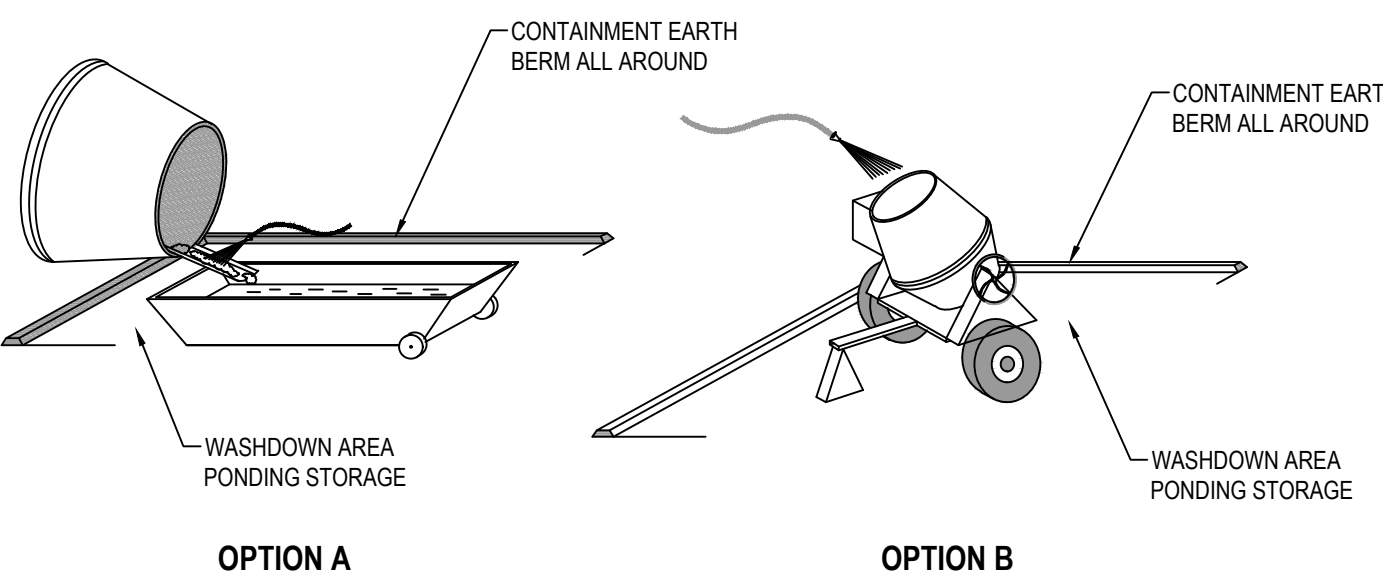
NOTES:

- PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLE BAG.
- PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
- INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
- REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
- CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
- BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

SCALE: NONE

5 SAG INLET PROTECTION

SCALE: NONE

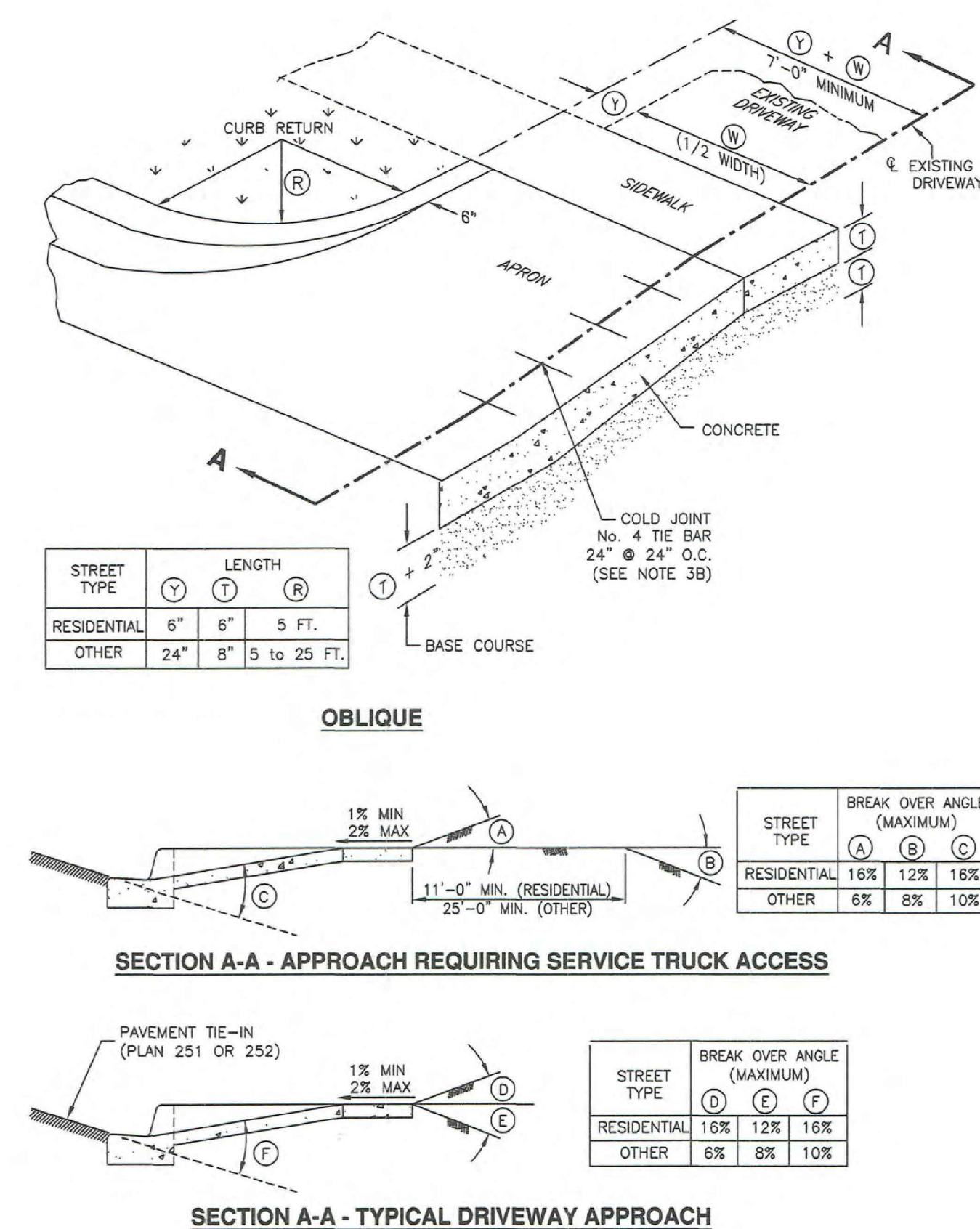


OPTION A

OPTION B

9 CONCRETE WASTE MANAGEMENT

SCALE: NONE



OBLIQUE

SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS

SECTION A-A - TYPICAL DRIVEWAY APPROACH



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
HOLIDAY OIL
3115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH
CONTACT:
SCOTT WAGSTAFF
PHONE: 801-973-7002



HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST
SANTAQUIN, UTAH

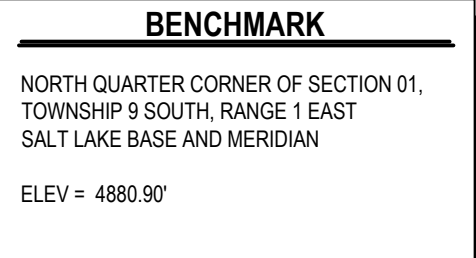
DETAILS

PROJECT NUMBER
6458A
DRAWN BY
MM
PROJECT MANAGER
CGO

PRINT DATE
10/25/2022

CHECKED BY
QRE

C600



SITE AVERAGE: 4.0 FC
MAX. MOUNTING HEIGHT 16'
FULL CUTOFF LIGHT POLE FIXTURE AS REQUIRED
ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT

NOTES:

1. ALL LIGHTING FIXTURES SHALL BE OF THE FULL CUTOFF VARIETY.
2. ANGLE SHALL BE DIRECTED DOWNWARD.
3. BULBS MAY NOT EXCEED 4000K
4. ALL FREE STANDING LIGHT FIXTURES SHALL BE BLACK.
5. ALL SITE LIGHTING SHALL MEET THE STANDARDS OF SANTAQUIN CITY.



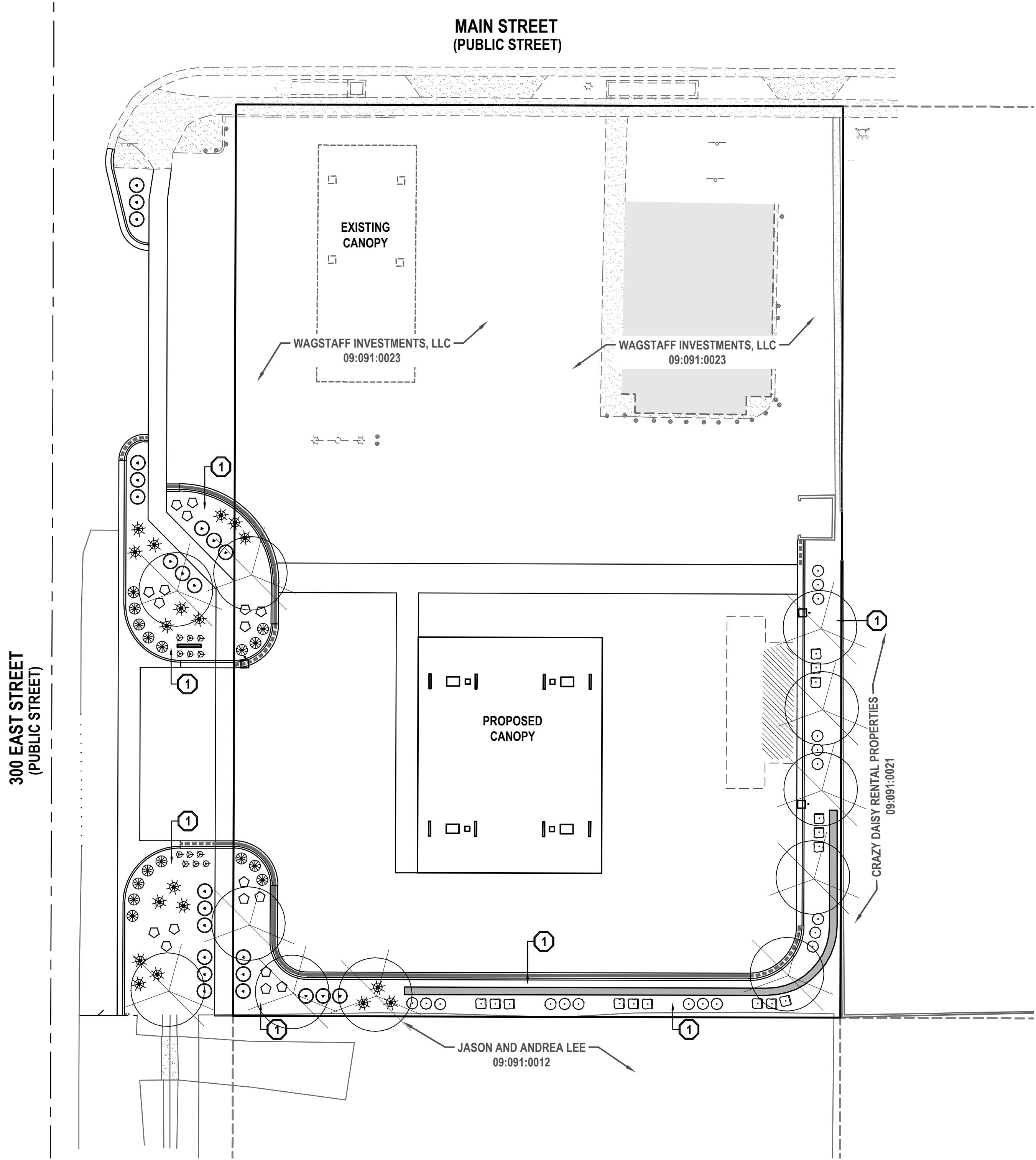
811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK

NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'



Landscape

Trees

Qty	Symbol	Common Name	Botanical Name	Plant Size
11		Amur Maple	Acer ginnala	2" Cal.

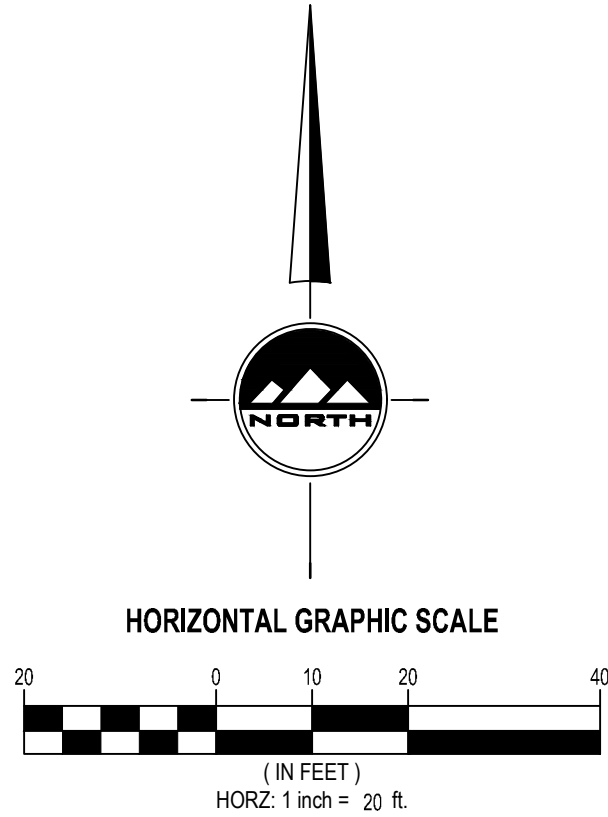
Shrubs

Qty	Symbol	Common Name	Botanical Name	Plant Size
18		Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
24		Winged Euonymus	Euonymus alatus 'Grove's Compactus'	5 Gallon
18		Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
16		Feather Reed Grass 'Karl Foerster'	Calamagrostis acutiflora 'Karl Foerster'	5 Gallon
18		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
15		Boxwood, Littleleaf	Buxus microphylla	5 Gallon

Annuals-Perennials

Qty	Symbol	Common Name	Botanical Name	Plant Size
12		Daylily	Hemerocallis	1 Gallon

1 In all planter bed areas, install 4" deep 2'-3" dia. Nephi Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.



Item 2.

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
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CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
HOLIDAY OIL
3115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH
CONTACT:
SCOTT WAGSTAFF
PHONE: 801-873-7002

HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST
SANTAQUIN, UTAH

LANDSCAPE PLAN

PROJECT NUMBER
6458A

PRINT DATE
10/25/2022

DRAWN BY
MM

CHECKED BY
QRE

PROJECT MANAGER
CGD

L100

27

811

Know what's below.
Call before you dig.

CALL BLUESTAKES
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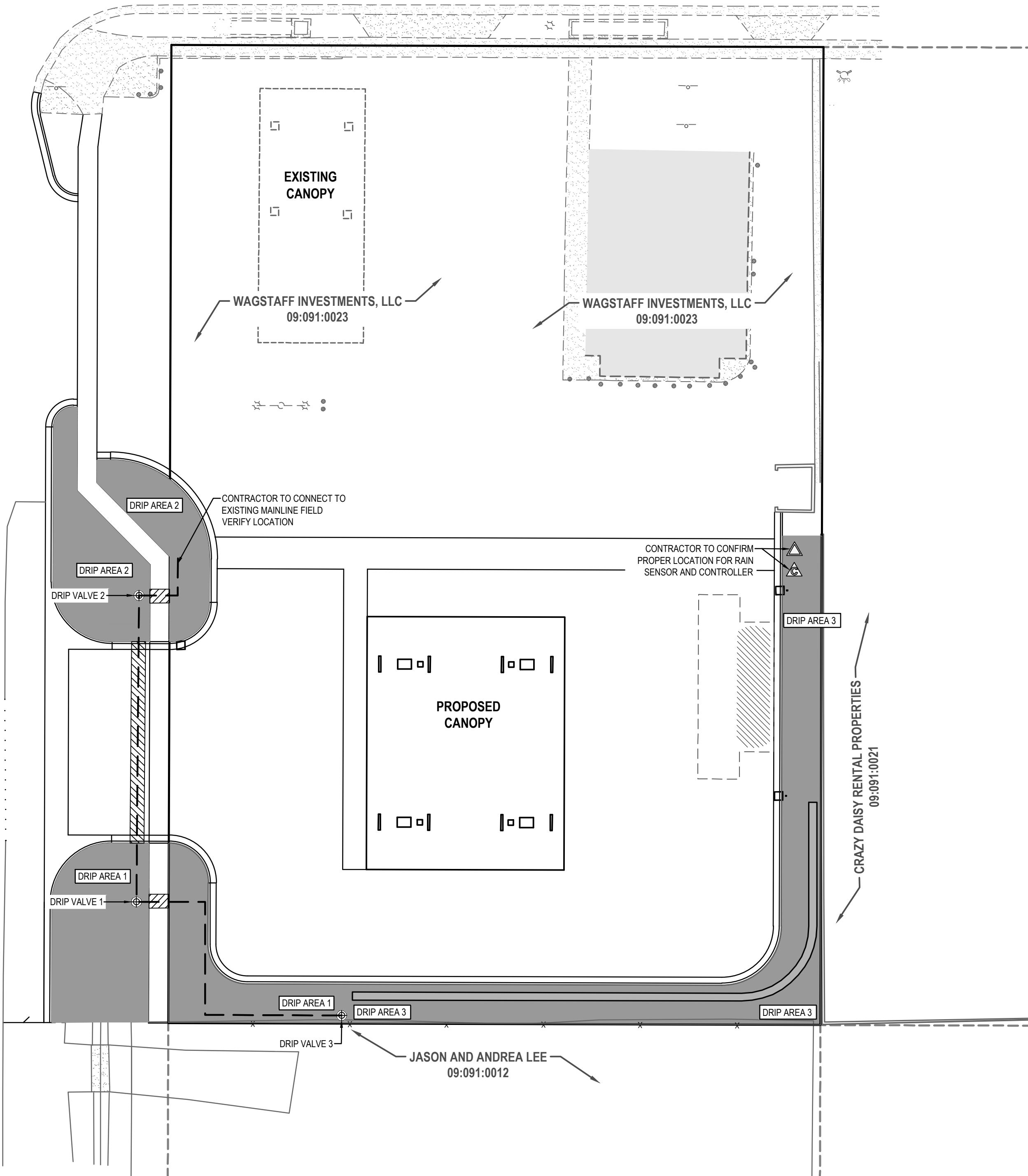
BENCHMARK

NORTH QUARTER CORNER OF SECTION 01,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

ELEV = 4880.90'

300 EAST STREET
(PUBLIC STREET)

MAIN STREET
(PUBLIC STREET)

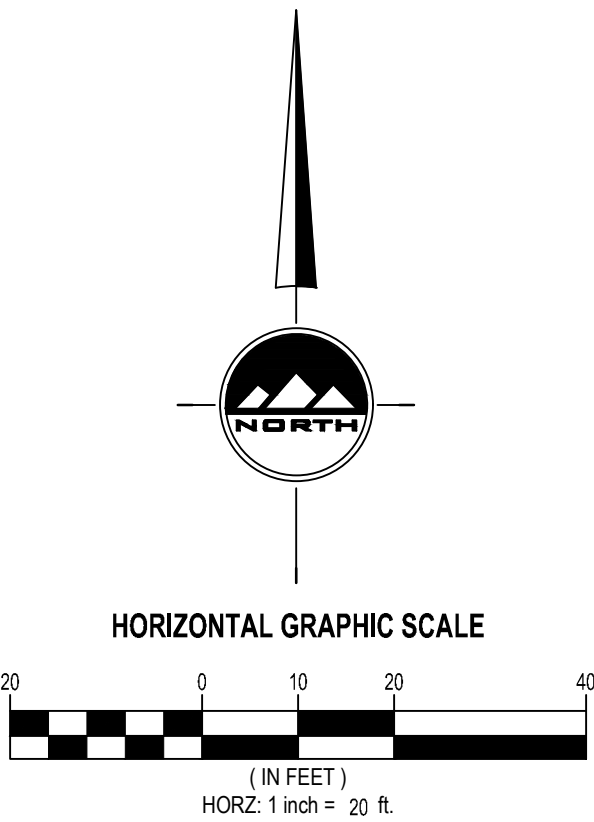


Qty	Symbol	Description
3		Rain Bird X CZ-100 COM
		Pipe Sleeve - 2x Pipe Diameter
		Mainline - Schedule 40 PVC
1		1 inch meter
1		Rain Bird RSD-BEx Rain Sensor
1		Rain Bird ESP-LX Plus Controller with Metal Pedestal
1		Mueller 1" Brass Stop and Waste
1		RPZ Backflow Prevention Device
		Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters*

*Install 2 emitters per shrub, 4 emitters per tree

** NOTES **
THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 50 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. **THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY.** PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNER'S FACILITY OPERATION DEPARTMENT.



SALT LAKE CITY
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Phone: 801.255.0529

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HOLIDAY OIL
3115 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH
CONTACT:
SCOTT WAGSTAFF
PHONE: 801-973-7002



HOLIDAY OIL SANTAQUIN

45 SOUTH 300 EAST
SANTAQUIN, UTAH

IRRIGATION PLAN

PROJECT NUMBER
6458A
DRAWN BY
MM
PROJECT MANAGER
CGD
PRINT DATE
10/25/2022
CHECKED BY
QRE

L200



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

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HOLIDAY OIL SANTAQUIN

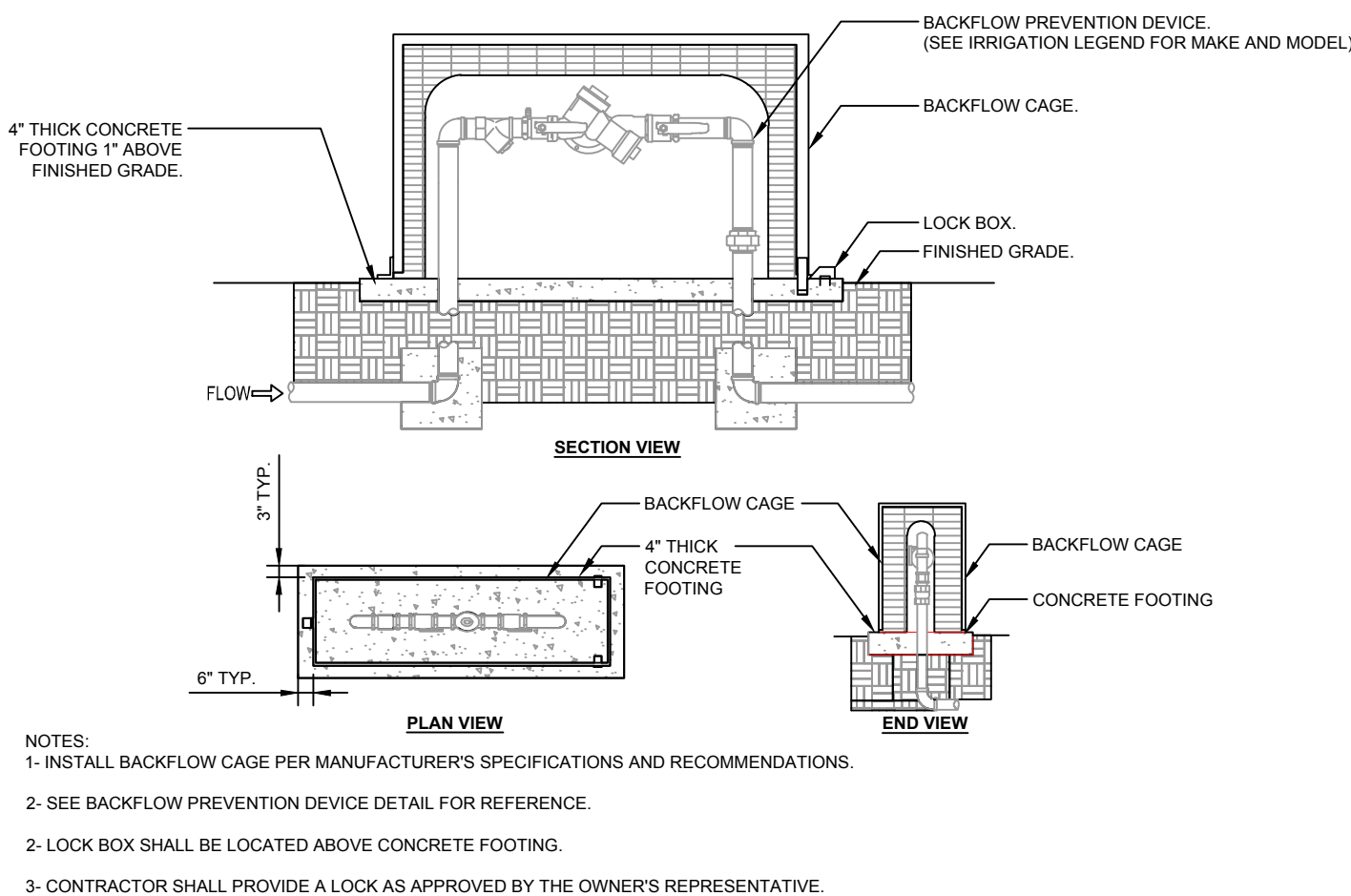
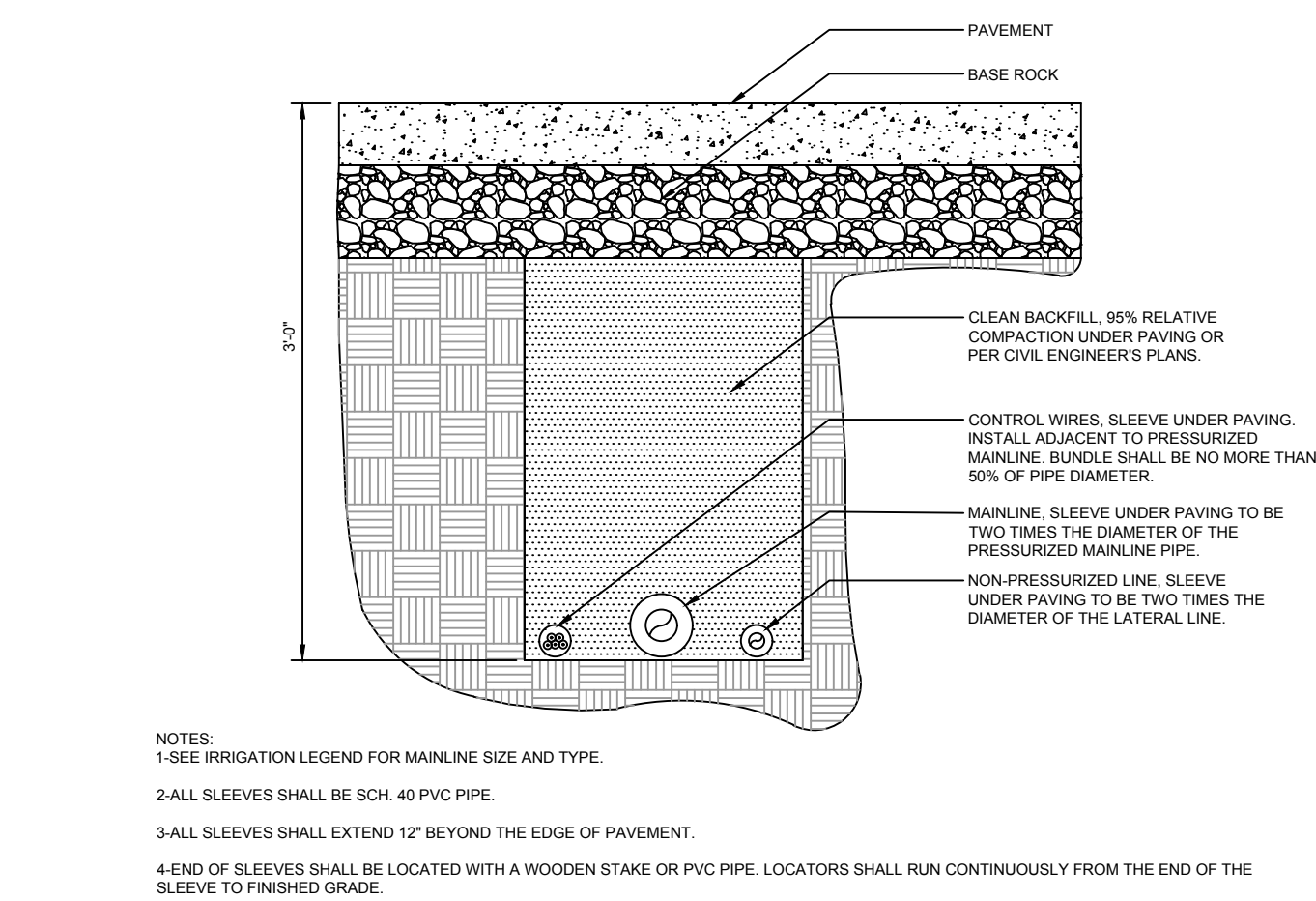
45 SOUTH 300 EAST
SANTAQUIN, UTAH

**LANDSCAPE AND
IRRIGATION DETAILS**

PROJECT NUMBER
6458A
DRAWN BY
MM
PROJECT MANAGER
CGD

PRINT DATE
10/25/2022
CHECKED BY
QRE

L300

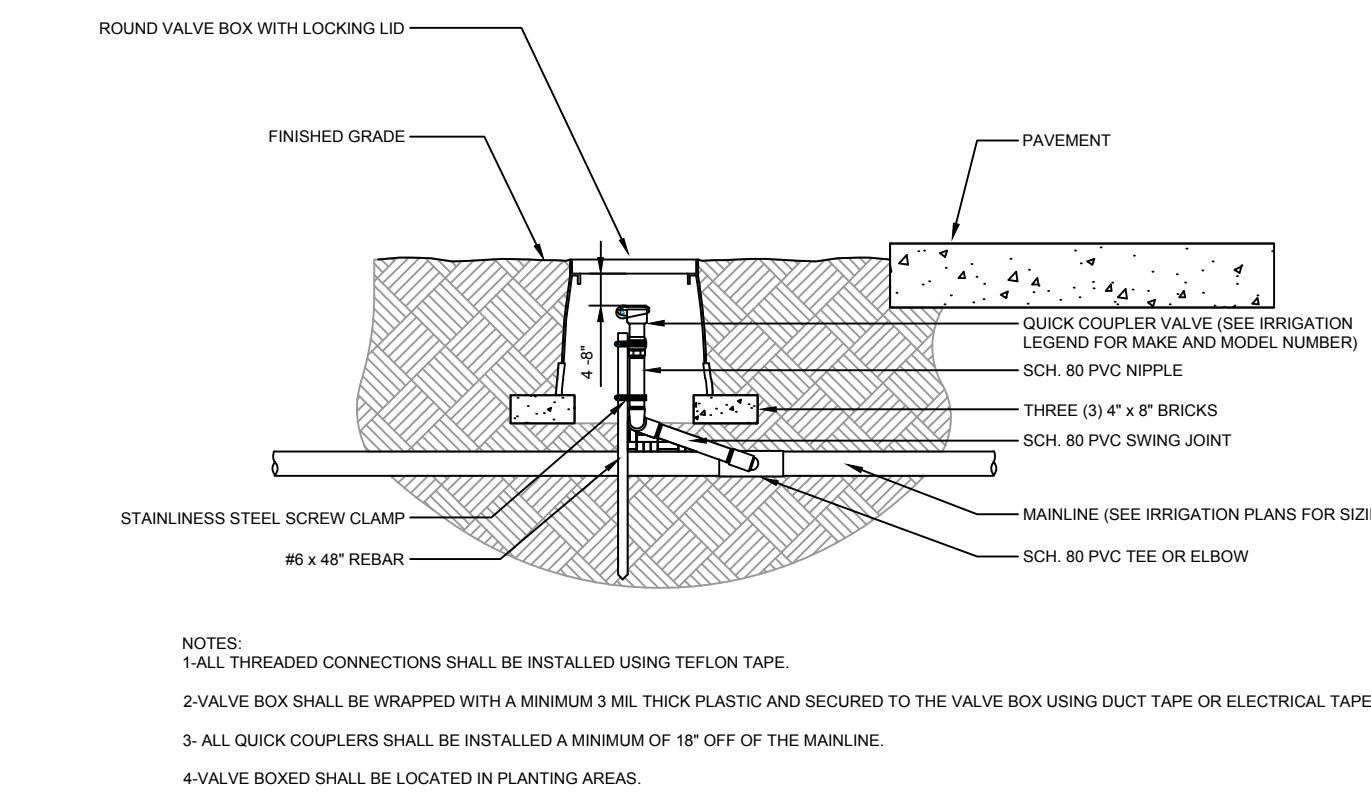
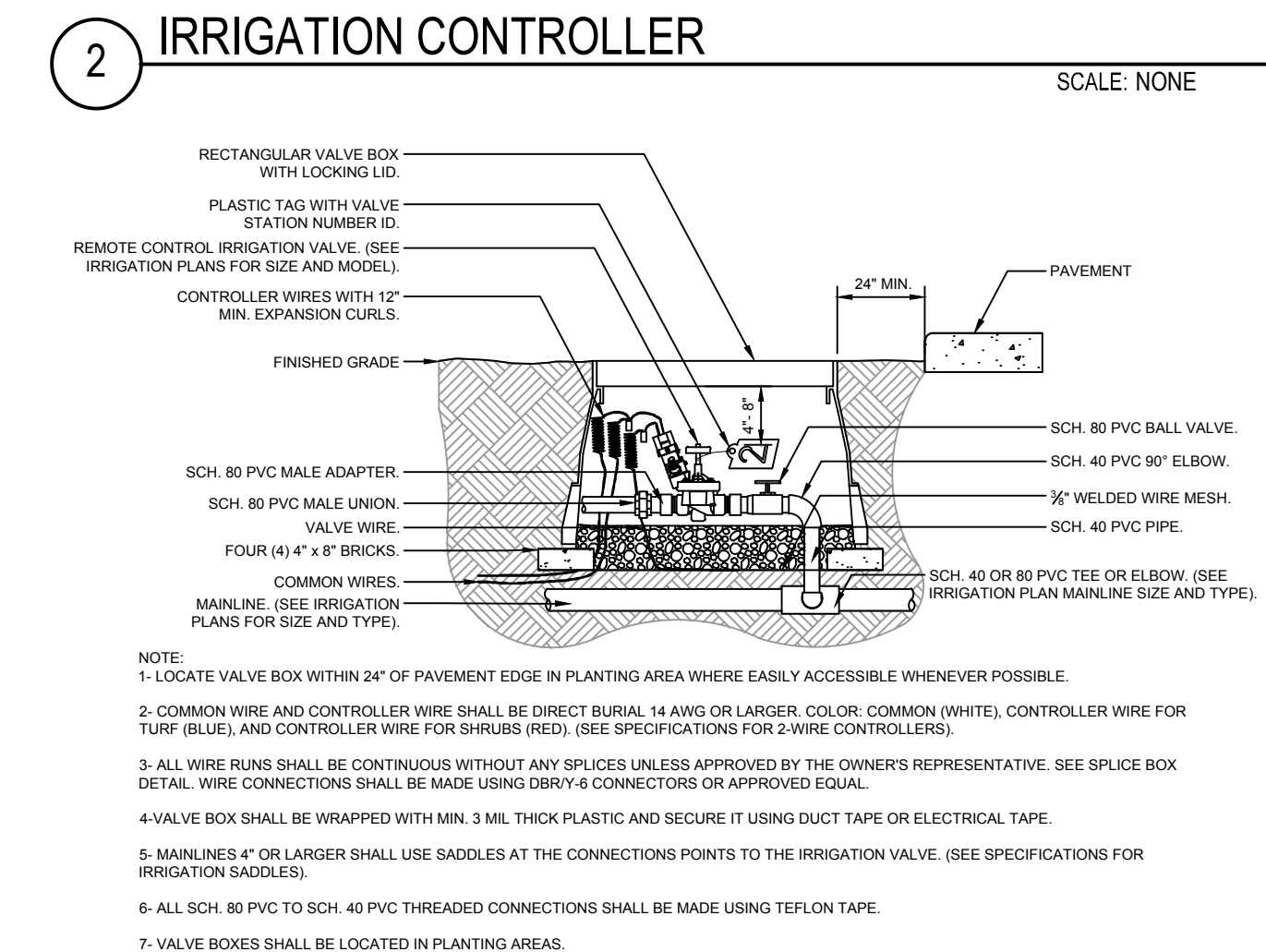
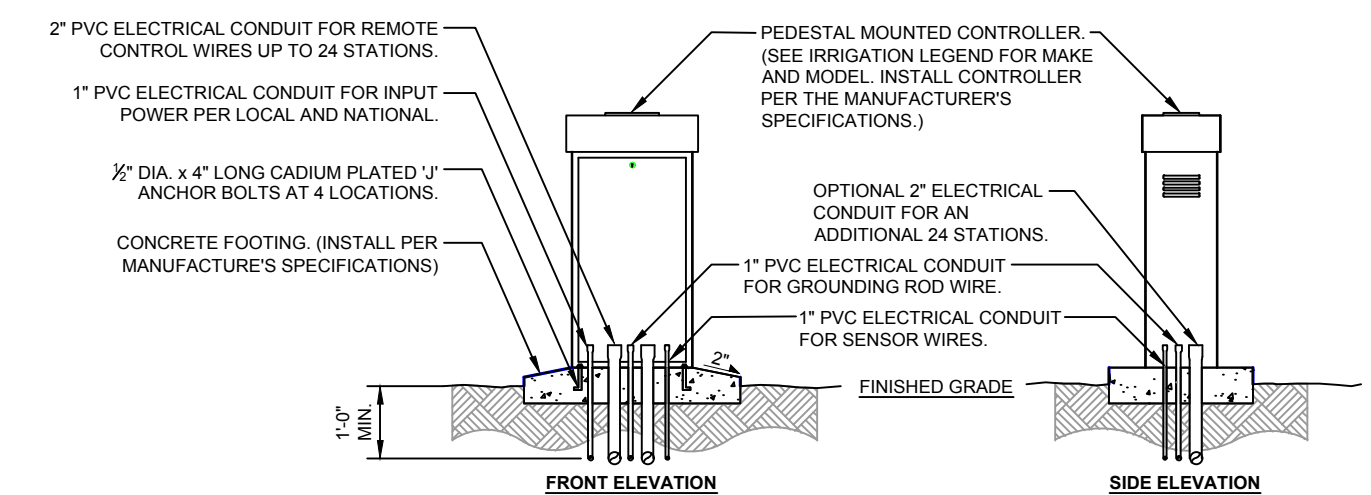
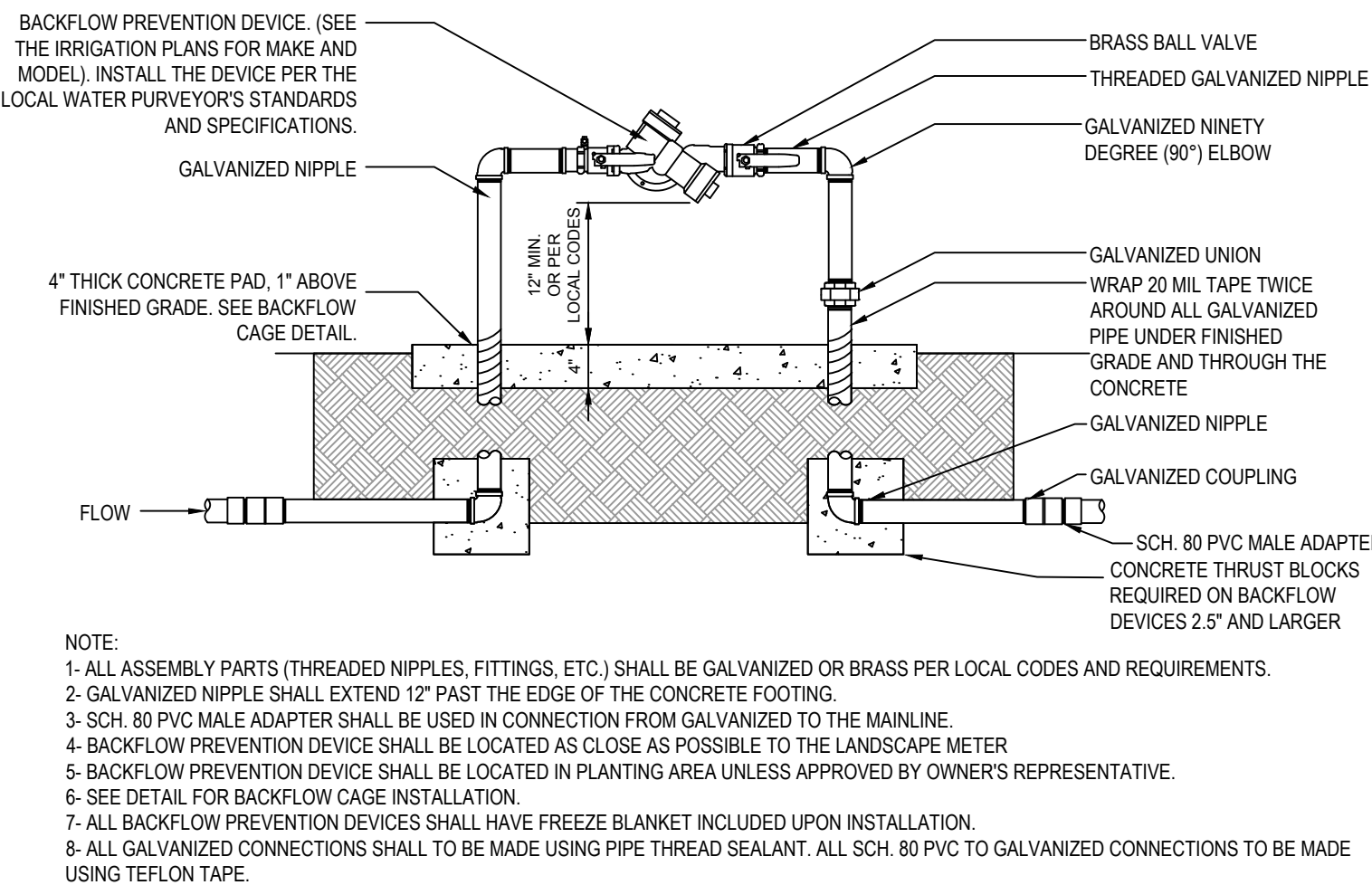
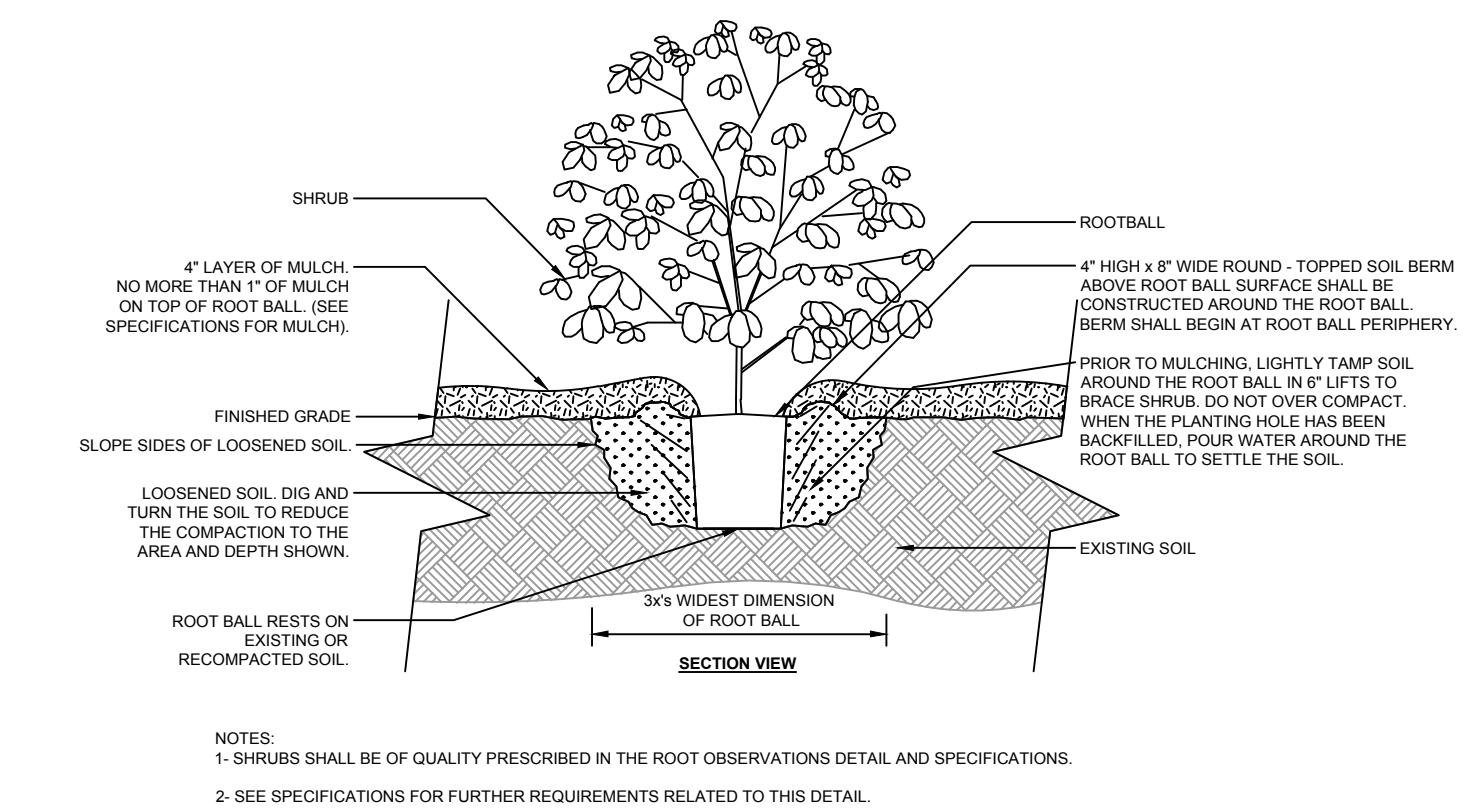
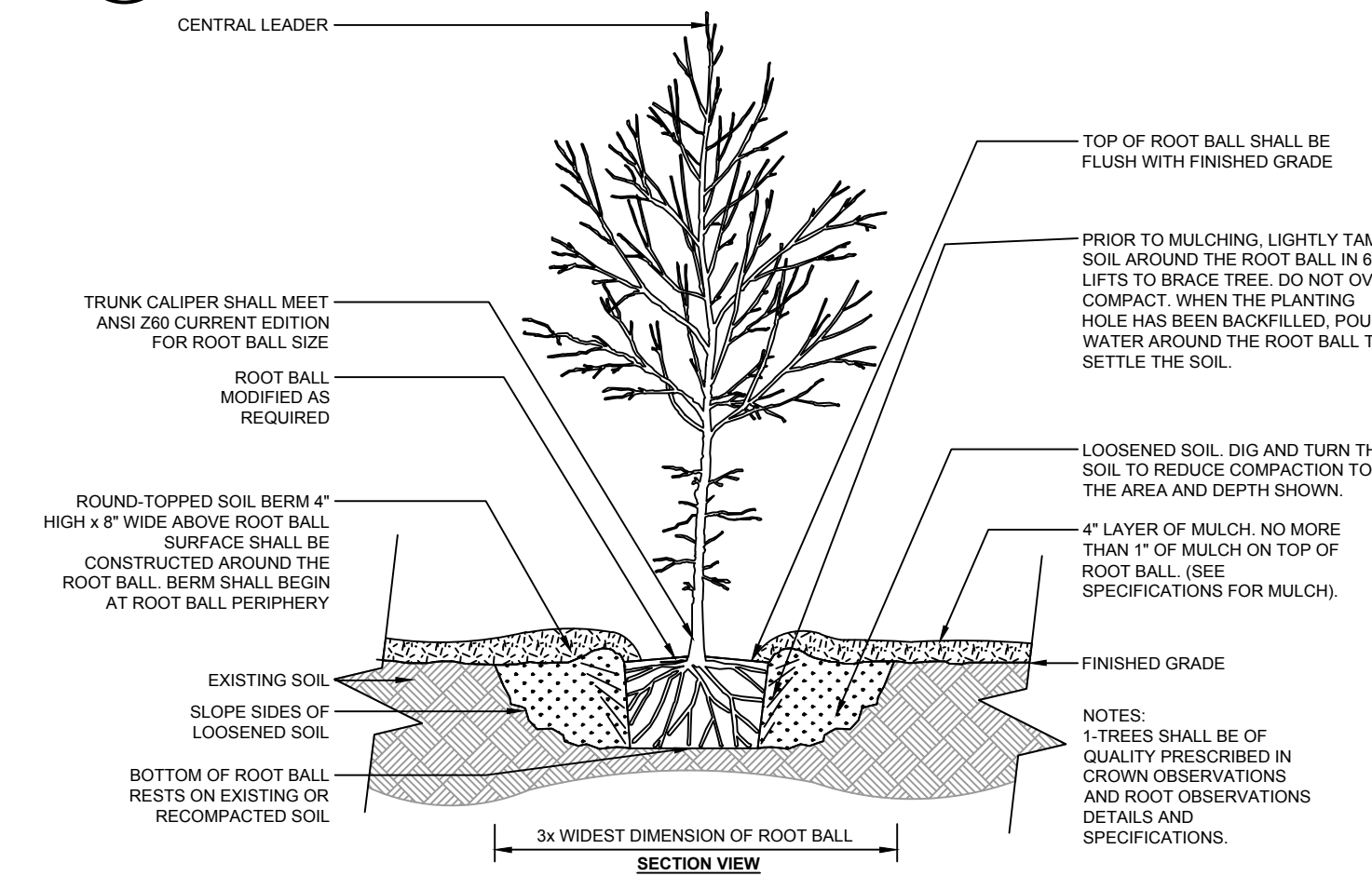
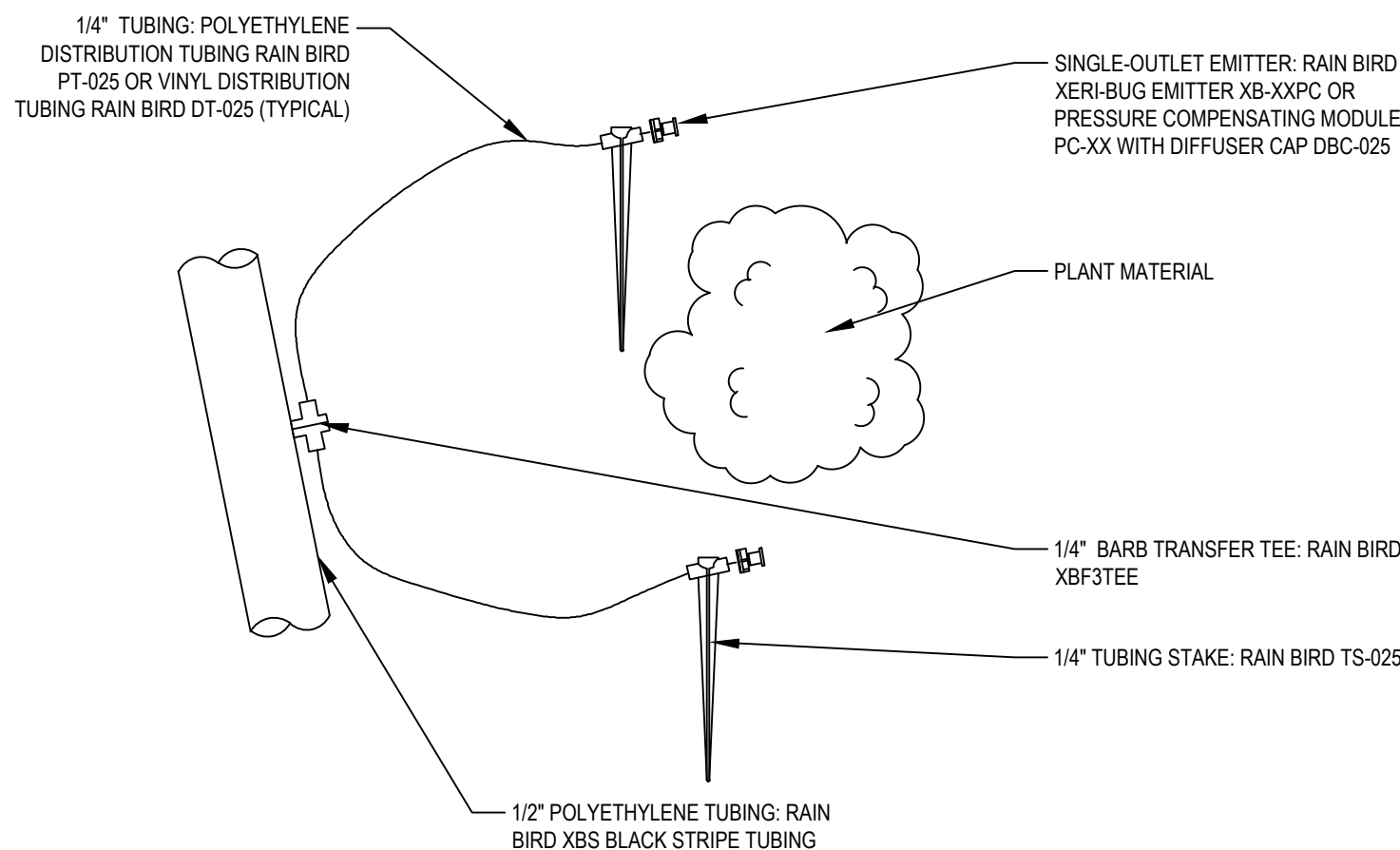
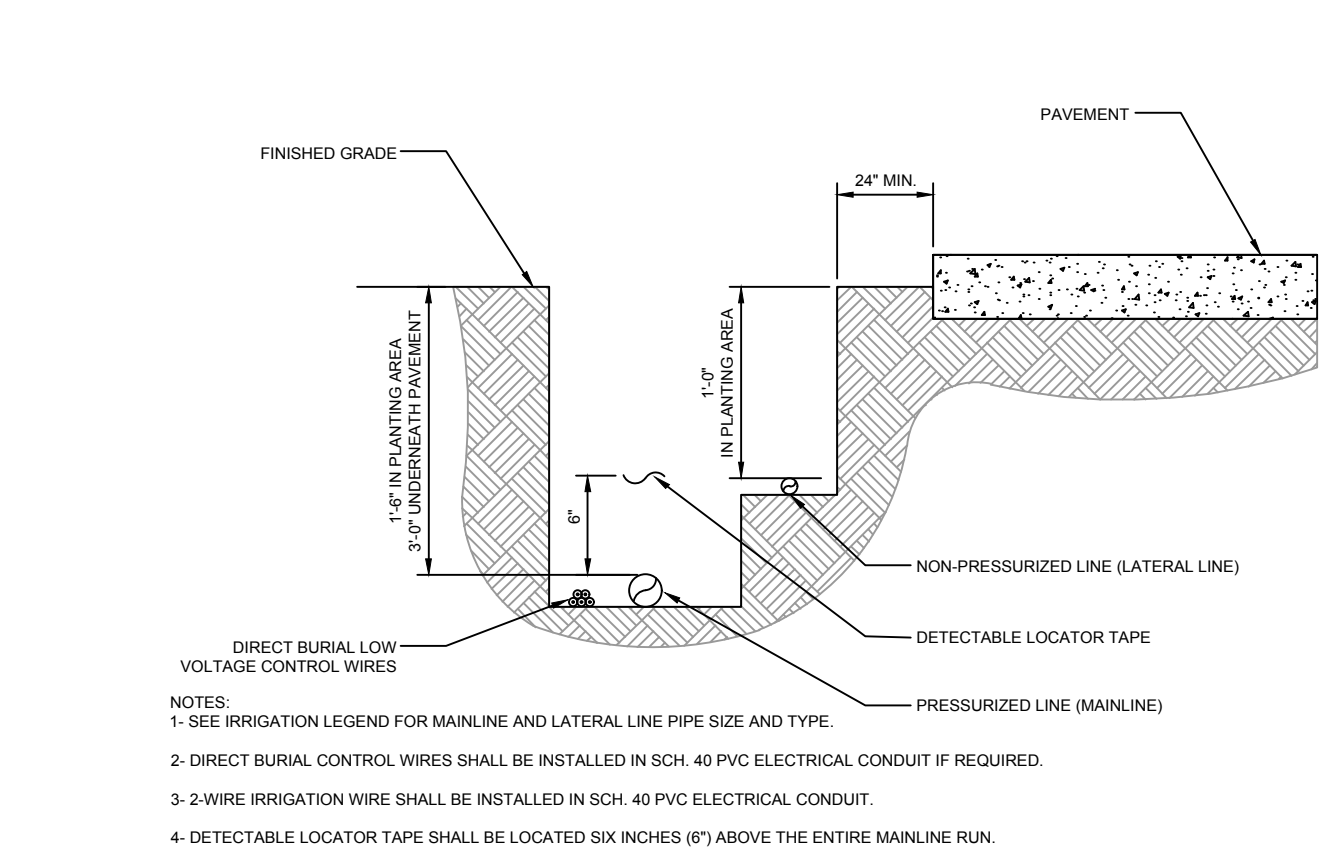


GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS, ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
- CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
- PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
A. 4" TOPSOIL IN ALL SOD AREAS
B. 6" TOP SOIL IN ALL PLANTER BEDS
- WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

IRRIGATION NOTES:

- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPERATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES- MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



Santaquin City Corporation

Request for Traffic Control Device

Community Development Department
275 West Main Street, Santaquin, Utah
(801) 754-1011
www.santaquin.org



Note: This application, in addition to all required information and exhibits, must be turned into the Community Development Department 14 days prior to a regularly scheduled Development Review Committee meeting for it to be on an agenda. All submitted proposals will be reviewed in accordance with Santaquin City Code 6.20.

Meetings: Development Review Committee meetings are held the 2nd and 4th Tuesdays of each month. The meeting is held in the City Offices, located at 275 West Main. Depending on the date of application, the Community Development Department will inform you of the day and time in which your request will be considered by the Development Review Committee.

Applicant Information		
Applicant Name: Stacie Pittman		
Telephone: 801-623-0749	Alternate Telephone:	Email: laciemate@yahoo.com
Requested Traffic Control Device Information		
Address of Proposed Traffic Control Device: 645 Stone Brook Lane		
Type of Traffic Control Device Requested: Disability Sign		
Description and Justification for the Request		
See Included Attachment		
Applicable Exhibits		
Please attach any drawing, map, or other information that can illustrate your request. See included Attachment		

Description and Justification for Request

Hey this is Stacie Pittman I live at 645 Stone Brook Ln, Santaquin UT 84655. I have seven children 3 of which are younger and I work with special needs kids everyday.

I am looking to get a couple signs put up on our street for my special needs son. In places I have lived before they have put up signs for me. My son is a 10 year old with a mental level of about a 4 year old. He has no sense of boundaries or danger. He has Soto syndrome, Autism, Executive Functioning disorder, ADHD, Oppositional defiance disorder and he has 40% hearing loss. He is actually a very sweet fun loving boy who absolutely loves to talk to everyone and ride his bike and little electric dirt bike up and down our road. A neighbor of ours is very disrespectful and mean and he can not even go by their house. I do not want anything to happen to him. So I am requesting if we could please put up a sign that would at least help somewhat. Thank you for hearing me. I really would like at least a couple between the stop sign and the end street sign. Thanks so much. Stacie Pittman 801-623-0749





DRC Members in Attendance: Engineer Jon Lundell, Assistant City Manager Jason Bond, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Police Chief Rod Hurst, City Manager Norm Beagley, Building Official Randy Spadafora

Others in Attendance: Recorder Amalie Ottley, Planner Camille Moffat, Senior Planner Loren Wiltse, Officer Kayson Shepherd, Alex Rugg (CentraCom), Brent Neil (Holiday Oil), Cameron Duncan (Ensign Engineering), Andrew Griffin via Zoom.

Various members of the public also attended the meeting.

Engineer Lundell called the meeting to order at 10:00 a.m.

The applicant for the Griffin Subdivision Concept Plan was not available at the beginning of the meeting. The DRC moved addressing the Holiday Oil Expansion to the first of the meeting agenda.

Holiday Oil Expansion Site Plan

A proposed site plan expansion of the existing gas station located at 330 E Main Street.

Brent Neil with Holiday Oil and Cameron Duncan with Ensign Engineering attended the meeting to represent the applicant.

Building Official Randy Spadafora had no comments.

Public Works Director Jason Callaway pointed out the trees near the entryway bulb-out stating that as they grow and mature, they will impair site lines and suggested that they be removed. He also asked that when any culinary lines are shut off at the existing home that the applicant notify the Public Works Department and any other utility companies.

Fire Chief Lind indicated that the existing fire hydrant is a significant distance away from the gas station and proposed new pumps and suggested that adding a hydrant to the island would help if there were any fires at the site. Chief Lind inquired about north/south power lines on the site. Manager Beagley and Engineer Lundell indicated that all power lines will be placed underground to meet the city code.

Police Chief Hurst had no comments.

Assistant Manager Bond informed the applicant that a recent code amendment allowed for the entries/exits to be expanded to a maximum of 40 feet. The most recent set of plans show the access at 50 feet. The DRC and the applicant addressed the entryway and access points to the store. Members of the DRC and the applicant discussed at length the process to increase the access widths again. The applicant expressed their desire to have 50-foot-wide access to the site and asked that the city go through the legislative process to request that a code amendment from the Planning Commission and City Council. The DRC asked that the applicant provide turning radii information so that those exhibits can be presented in conjunction with the request.

Engineer Lundell pointed out that the two existing parcels need to be consolidated with the Utah County Recorder's Office and requested that proof of that be provided to the city. He added that a city

demolition permit and an asbestos report are required for demolition of the existing home. Chief Lind stated that the Fire Department would be agreeable to training at that site if it doesn't interfere with the applicant's building process. Engineer Lundell noted on the storm drain plans that a separation between private and city right-of-way water is required. The applicant discussed the water historically traveling into the ditch in front of the residential area to the south and inquired if the city will now require an underground stormwater catch basin. Engineer Lundell stated that a new stormwater retention tank, allowable in the right-of-way by the curb and gutter, will need to be installed to meet current city code.

Manager Beagley made a motion to table the Holiday Oil Site Plan. Assistant City Manager Bond seconded the motion.

Police Chief Rodney Hurst	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Griffin Subdivision Concept Plan

A concept plan review of a 2-lot subdivision located at 270 S. 300 E.

Andrew Griffin attended the meeting via Zoom.

Building Official Spadafora stated that the address for the site would be better at 290 S. if it faces the east street or 295 E. if it faces the south street.

Fire Chief Lind had no comments.

Police Chief Hurst had no comments.

Public Works Director indicated that the culinary water line will need to be bored and cross under the street to the same side as the sewer and pressurized irrigation. Manager Beagley added that missing the line under the road will save costs as opposed to cutting the road itself.

Assistant Manager Bond brought up that as a corner lot there will be a secondary frontage with setbacks that need to meet City Code.

Engineer Lundell indicated, per City Code, any new subdivision requires that curb, gutter, and sidewalk be installed on the frontage of the property. Because the aforementioned lot is a corner lot, those improvements would be required for both frontages. Engineer Lundell stated that a deferral agreement may be requested and could be approved by the City Council. Assistant Manager Bond cautioned that a deferral agreement is not a waiver of infrastructure improvements, and the city may facilitate those

improvements at a time in the future. Engineer Lundell pointed out the need for survey information to be tied to the appropriate lot and block system. He added that Architectural Review Committee review is not required for this site's land use. He pointed out notes stating that the site is within the Agricultural Zone of the city and future owners will need to be made aware that agriculture activities may take place in and around the property. Engineer Lundell went over the requirements for landscaping in the front and side yards of new homes within the city. Lastly, Engineer Lundell stated that water and P.I. connection notes are missing on the plans for the existing home.

The applicant asked Engineer Lundell to reiterate the requirements for landscaping (or landscaping bond) must be in place before a Certificate of Occupancy is issued. The applicant also inquired about the possible infrastructure costs that may be deferred. The applicant and DRC discussed the process of what infrastructure has to be put in place prior to the sale of the lot.

As the plans were at a concept phase, no action was taken by the DRC.

Santaquin Peaks Preliminary Plan

A preliminary review of a 17-lot industrial subdivision located at approximately 225 N. Summit Ridge Parkway.

Building Official Spadafora noted that addressing has been completed for the subdivision.

Public Works Director Callaway had no comments.

Fire Chief Lind inquired about the widths of the roads and turning radii. He expressed his concerns of the turning radius for trucks turning into the subdivision from Summit Ridge Parkway. He asked that dimensions on the roadways, especially the entrances and exits, be shown so that it can be determined if larger semi-type trucks will be able to enter and exit the subdivision without swinging into oncoming traffic to achieve the turn. Fire Chief Lind also pointed out that due to the water pressure in that area fire hydrants will need to be spaced no more than 400 feet apart rather than 500 feet as shown on the plans.

Chief Hurst reiterated Chief Lind's concerns about turning radii for large vehicles in and out of the subdivision.

Assistant Manager Bond asked that a plat note be added allowing fencing to be close to sidewalks for lots with frontage along Summit Ridge Parkway. Chief Hurst and other members of the DRC discussed where trail access and sidewalks will be placed in the subdivision. Chief Hurst also asked about parking restrictions along Summit Ridge Parkway. Manager Beagley indicated that red curbing and signage hasn't been determined at this point and asked Engineer Lundell to note that red curbing and signage needs to be added, especially for commercial vehicles. Engineer Lundell pointed out that setback and cross-access easement notes will appear on the plats. He added that the easements and shared access agreements take into consideration the need for businesses to allow access for customer parking and overall traffic circulation. Engineer Lundell showed on the plans where stop signs will be located at each intersection.

The DRC discussed the possibility of growth to the west and the possible need for temporary turnarounds. The DRC also discussed where trail crossings will be located and the need for signage for those crossings.

Manager Beagley made a motion to provide a positive recommendation to the Planning Commission to approve the site plan on the condition that redlines are met. Building Official Spadafora seconded the motion.

Police Chief Rodney Hurst	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Meeting Minutes Approval

Manager Beagley made a motion to approve the DRC Meeting Minutes from March 28, 2023. Chief Lind seconded the motion.

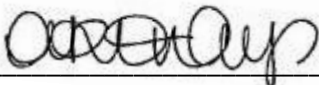
Police Chief Rodney Hurst	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Adjournment

The meeting was adjourned at 10:57 a.m.

Jon Lundell, Engineer



Amalie R. Ottley, Recorder



DRC Members in Attendance: Engineer Jon Lundell, Assistant City Manager Jason Bond, Public Works Director Jason Callaway, City Manager Norm Beagley, Building Official Randy Spadafora, Officer Kayson Shepherd

Others in Attendance: Recorder Amalie Ottley, Planner Camille Moffat, Marc Bing.

Fire Chief Lind was excused from the meeting.

Engineer Lundell called the meeting to order at 10:00 a.m.

Z.L. Goodall Plat A Subdivision Preliminary/Final Plan

A preliminary/final plan review of a 2-lot subdivision located at 159 S 300 E.

The applicant, Marc Bing, attended the meeting.

Building Official Randy Spadafora stated addressing for the site has been completed.

Public Works Director Jason Callaway indicated that the culinary water line will need to be connected to the same side of the street as the sewer and pressurized irrigation. Engineer Lundell added that missiling the line under the road will save costs as opposed to cutting the road itself. The applicant inquired who to reach out to in order to have the water lines missiled under the road. Manager Beagley stated that the applicant will need to hire a contractor to hook up and place water line connections accordingly. Manager Beagley added the need for the applicant to reach out to utility companies to hook up the dry utilities such as power, telecommunications, and gas. Engineer Lundell added that the culinary water and P.I. meters need to be relocated closer to the property line, opposite the garage, per city code.

Officer Shepherd had no comments.

Assistant Manager Bond addressed the naming of the site, stating that a new plat name for the subdivision needs to be unique per county standards. Manager Beagley added that the applicant may confirm with the county ahead of time to confirm the unique naming for the lot. Assistant Manager Bond stated that generally, stand alone accessory buildings are not allowed on lots, but as the applicant plans to build on the lot soon the city will work with him on that item.

Engineer Lundell brought up the existing Waiver of Protest on Plat A subdivision that was put in place in 2016 so that subdivision improvements could be deferred to a later date. He stated the Waiver of Protest does encompass the current subdivision and will continue to be in effect. He stated that a note needs to be added to the plat regarding the Waiver of Protest deferring the subdivision improvements until a date to be determined by the city.

Assistant Manager Bond made a motion to recommend approval to the Planning Commission of the Preliminary/Final Plan for the Z.L Goodall Subdivision with the following conditions:

- The name be changed to a unique name.
- The Waiver of Protest note be added to the plat.
- All other redlines are met.

The motion was seconded by Public Works Director Jason Callaway.

Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Absent
City Manager Norm Beagley	Yes
Assistant City Manager Jason Bond	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

Motion passed unanimously in favor.

Adjournment

The meeting was adjourned at 10:11 a.m.

Jon Lundell, Engineer



Amalie R. Ottley, Recorder