



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, August 10, 2021, at 10:00 AM  
Court Room/Council Chambers (2nd Floor) and Online

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. Santaquin Estates Subdivision Concept Review**

A concept review of a proposed 86-lot subdivision located at approximately Main Street and 900 E. A zone change will be discussed during this review.

**2. Grey Cliffs Subdivision Concept Review**

A concept review of a proposed 217-lot residential subdivision with approximately 25.99 acres of commercial space; located east of State Road 198 and approximately 600 N. A zone change will be discussed during this review.

**3. Cedar Point Plat F at Summit Ridge Concept Review**

A concept review of a proposed 2-lot Subdivision located at 1371 West Cedar Pass Drive.

**4. Summit Ridge Commercial Subdivision Preliminary Review**

A preliminary review of a proposed 8-lot commercial subdivision located South of the intersection of Summit Ridge Parkway and South Ridge Farms Road.

**5. Orchards F-6 Final Plat Review**

A final review of a proposed 7-lot subdivision located at approximately Ginger Gold Road and 260 W.


### MEETING MINUTES APPROVAL

- 6.** July 27, 2021

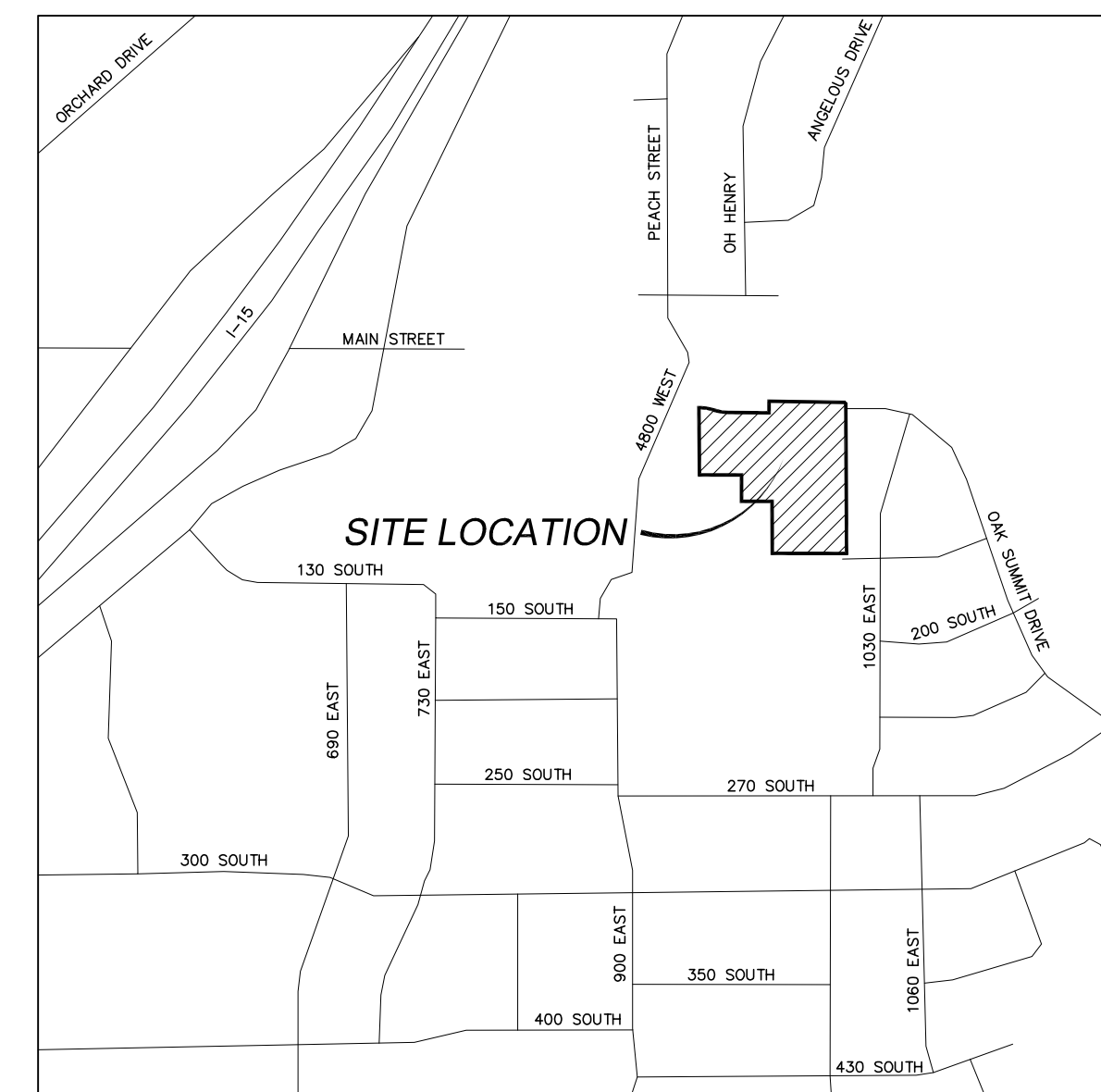
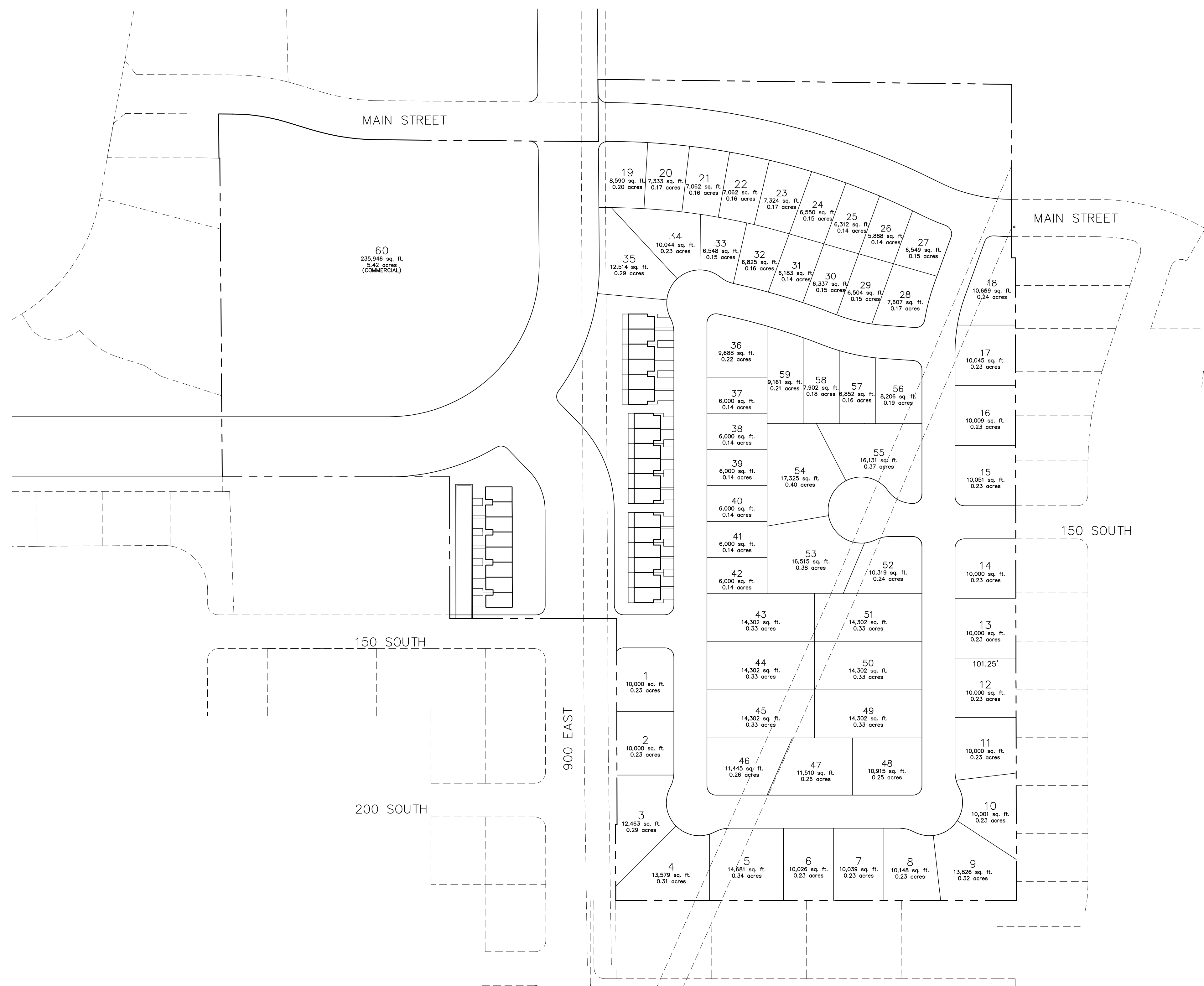
### AJOURNMENT

## CERTIFICATE OF MAILING/POSTING

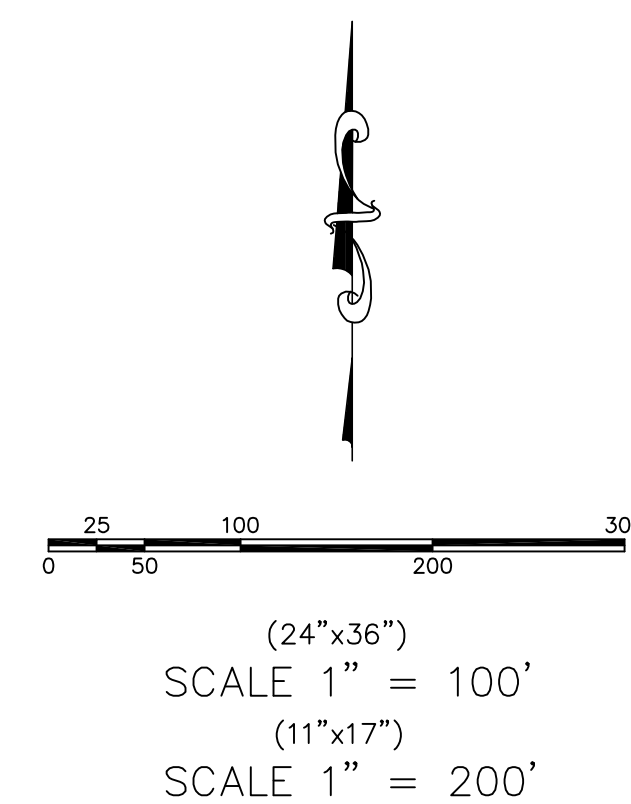
The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on [www.santaquin.org](http://www.santaquin.org), as well as posted on the State of Utah's Public Notice Website.

BY:   
K. Aaron Shirley, City Recorder





VICINITY MAP  
-NTS-



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# SANTAQUIN ESTATES

# ATLAS



PHONE: 801-655-0566  
FAX: 801-655-0109  
95 WEST 200 NORTH #2  
SPANISH FORK, UT 84660

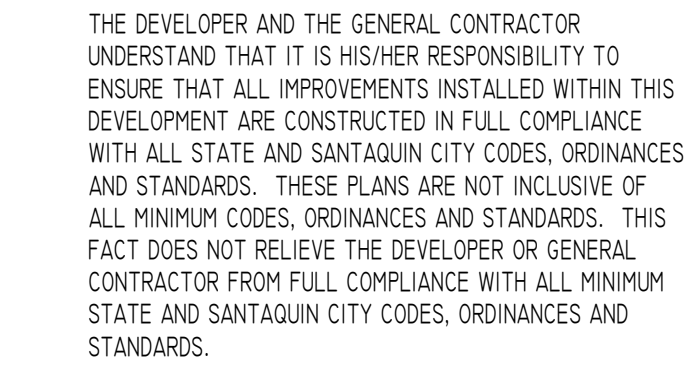
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SHEET NO.

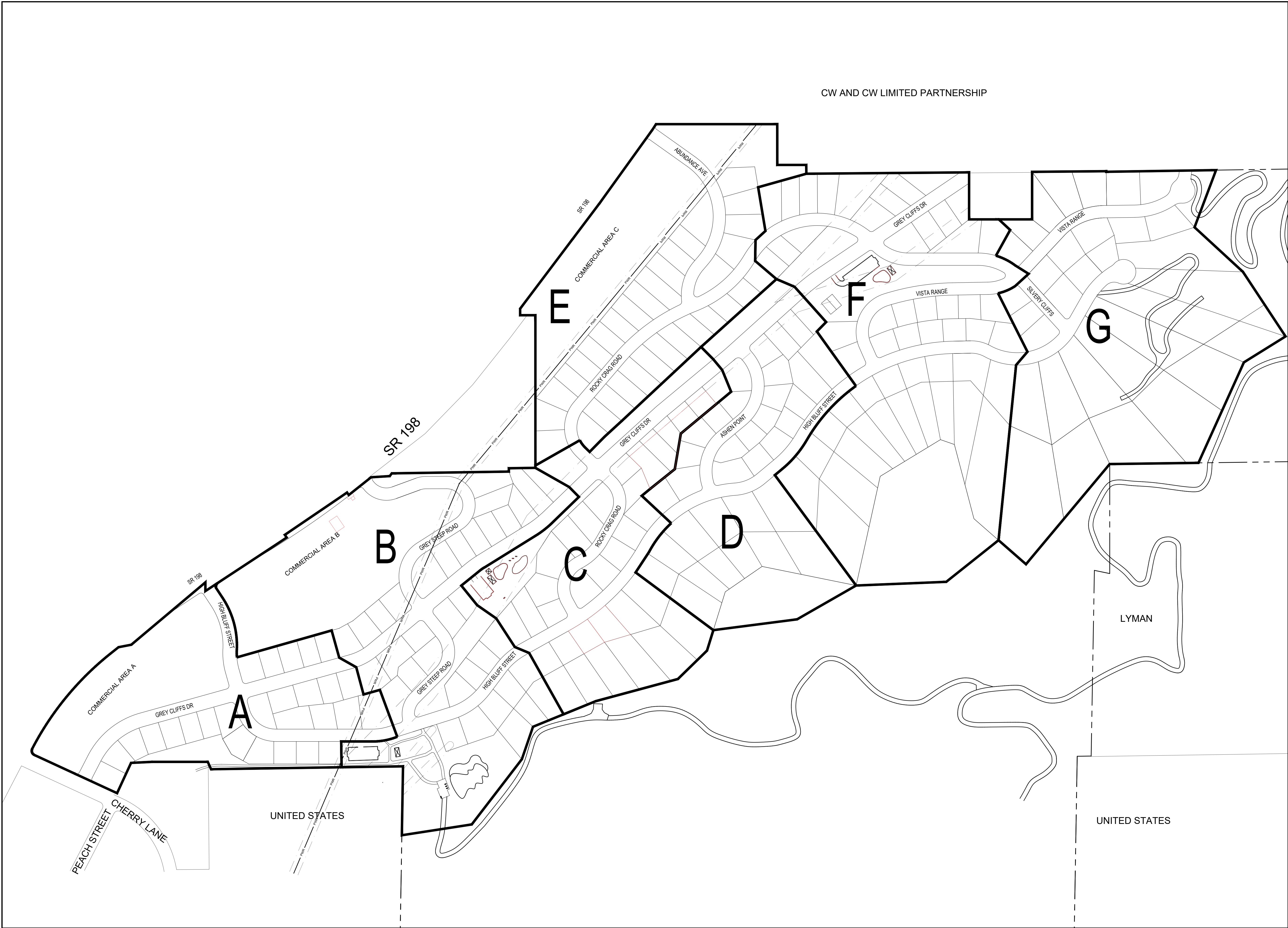
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## CONCEPT PLAN


SANTAQUIN, UTAH







DEVELOPMENT

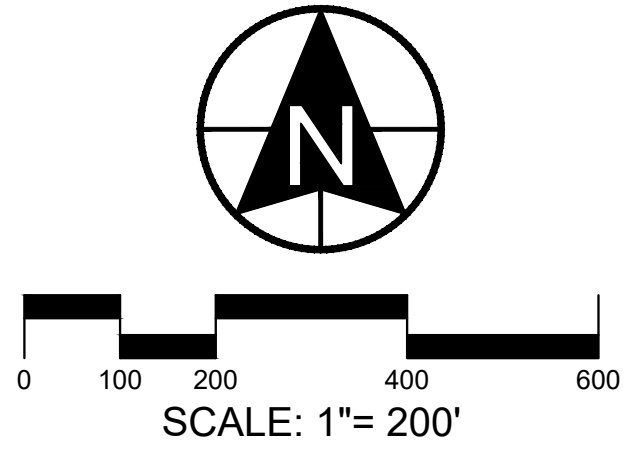


700 N SR198  
SANTAQUIN, UTAH COUNTY, UT


DEVELOPER

**GREY CLIFFS LLC.**

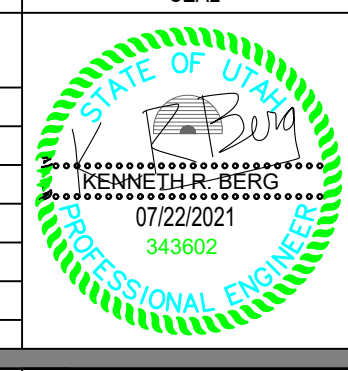
935 W. CENTER  
LONDON, UT 84042  
801.785.8458



SCALE: 1"= 200'




**CIVIL ENGINEERING**  
11038 N Highland Blvd Suite 400  
Highland Ut, 84003  
office (801) 492-1277  
cell (801) 616-1677

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ACTION	DATE
CONCEPT PLAN	07/22/2021

PROJECT



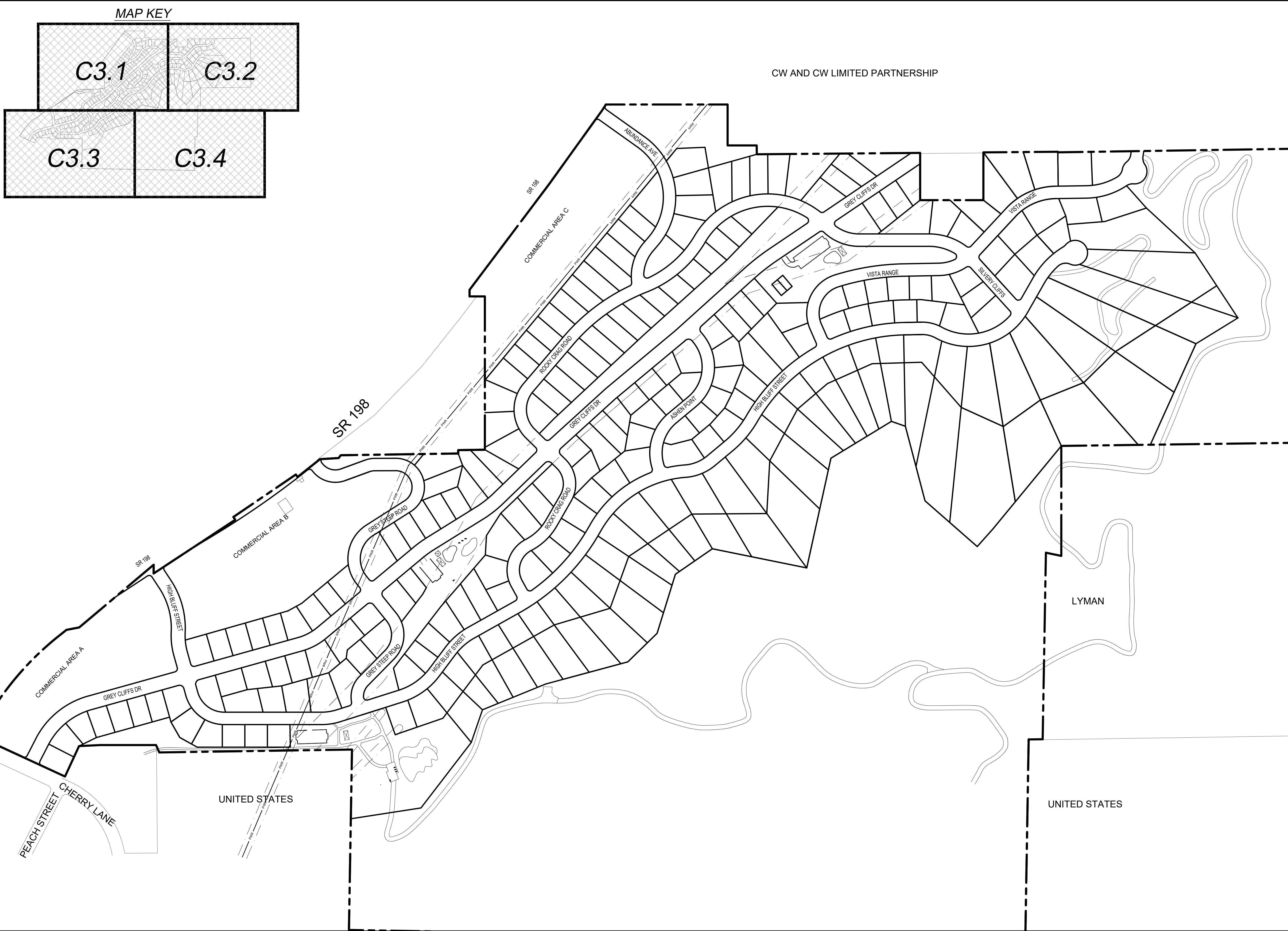
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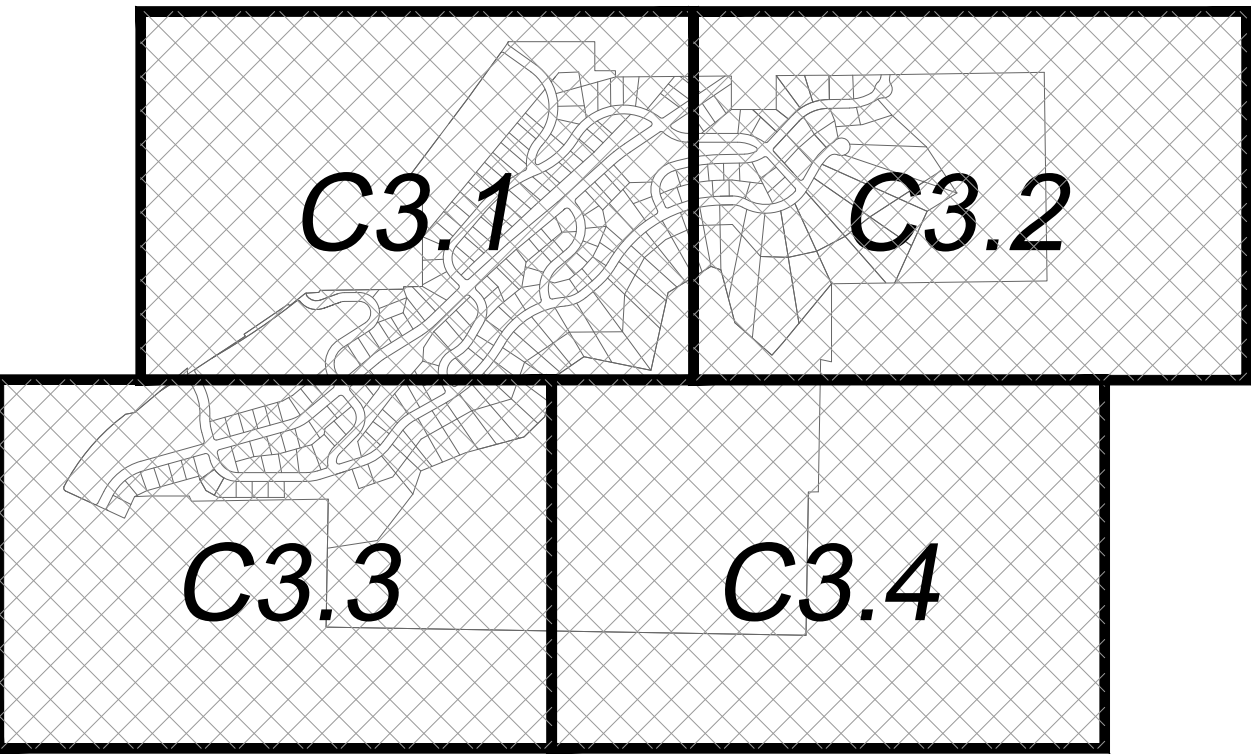
SHEET NAME	SHEET NUMBER
PHASING PLAN	<b>C2.0</b>

www.bergcivil.com 07/22/2021 grey cliffs llc  
C:\projects\c2.0\c2.0.dwg User: kberg Date: 07/22/2021





MAP KEY



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

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**GREY CLIFFS LLC.**

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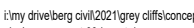
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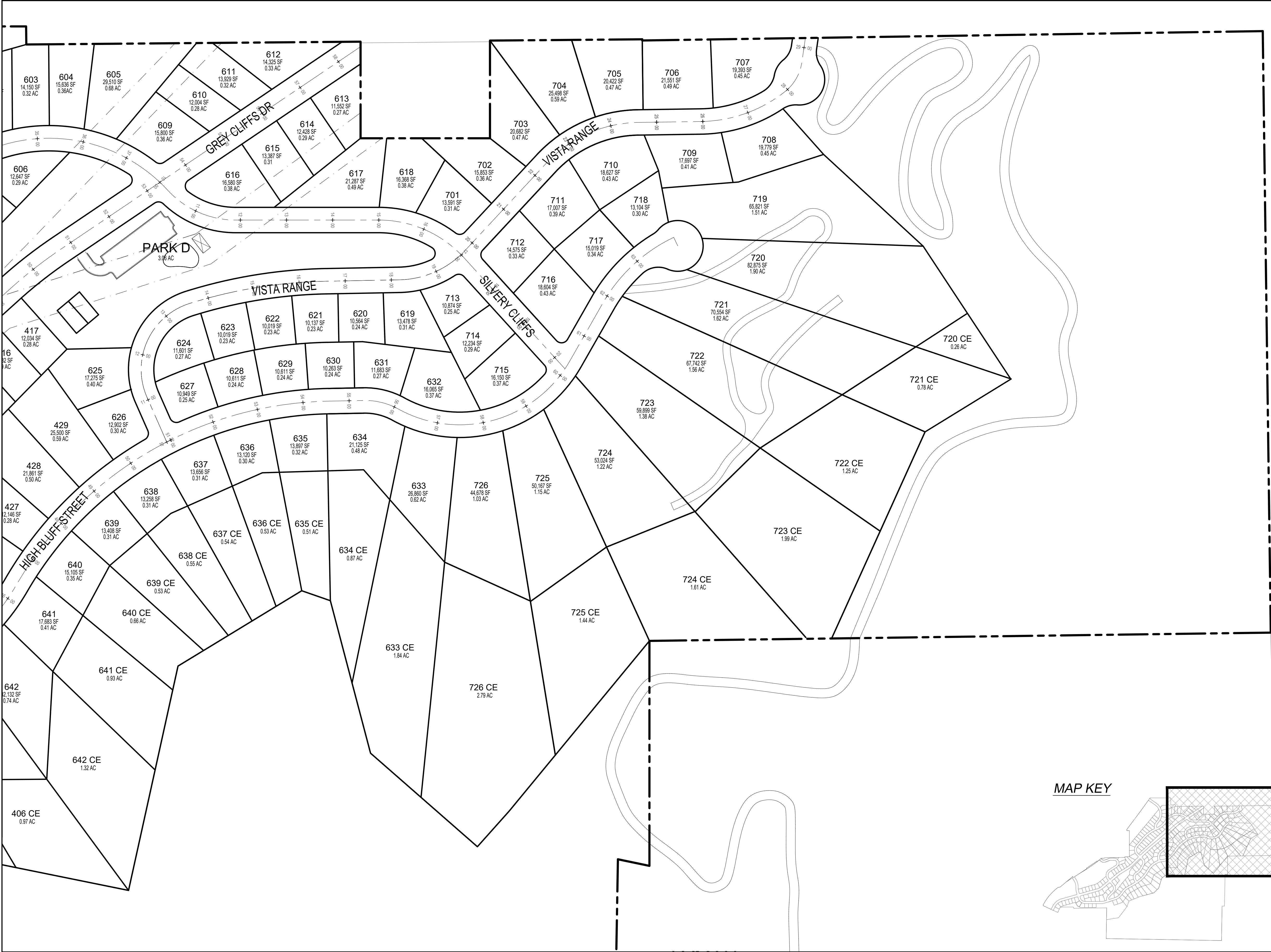
SHEET NAME	SHEET NUMBER
LAYOUT	<b>C3.0</b>

gray cliffs berg civil engineering  
11038 N Highland Blvd Suite 400  
Highland, UT 84003

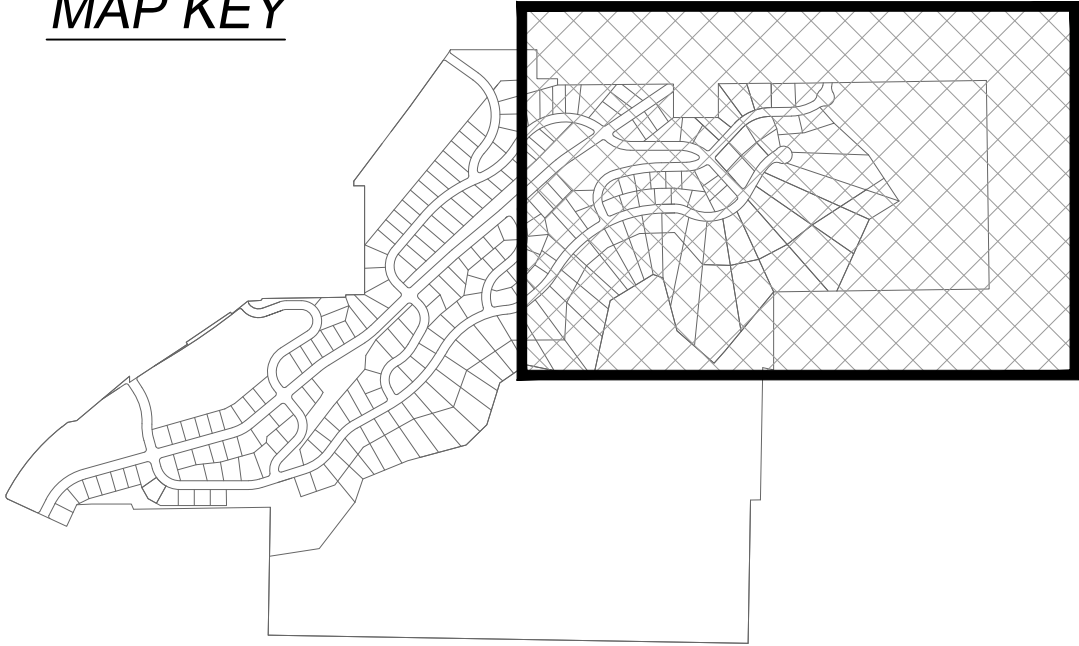








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935 W. CENTER  
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801.785.8458

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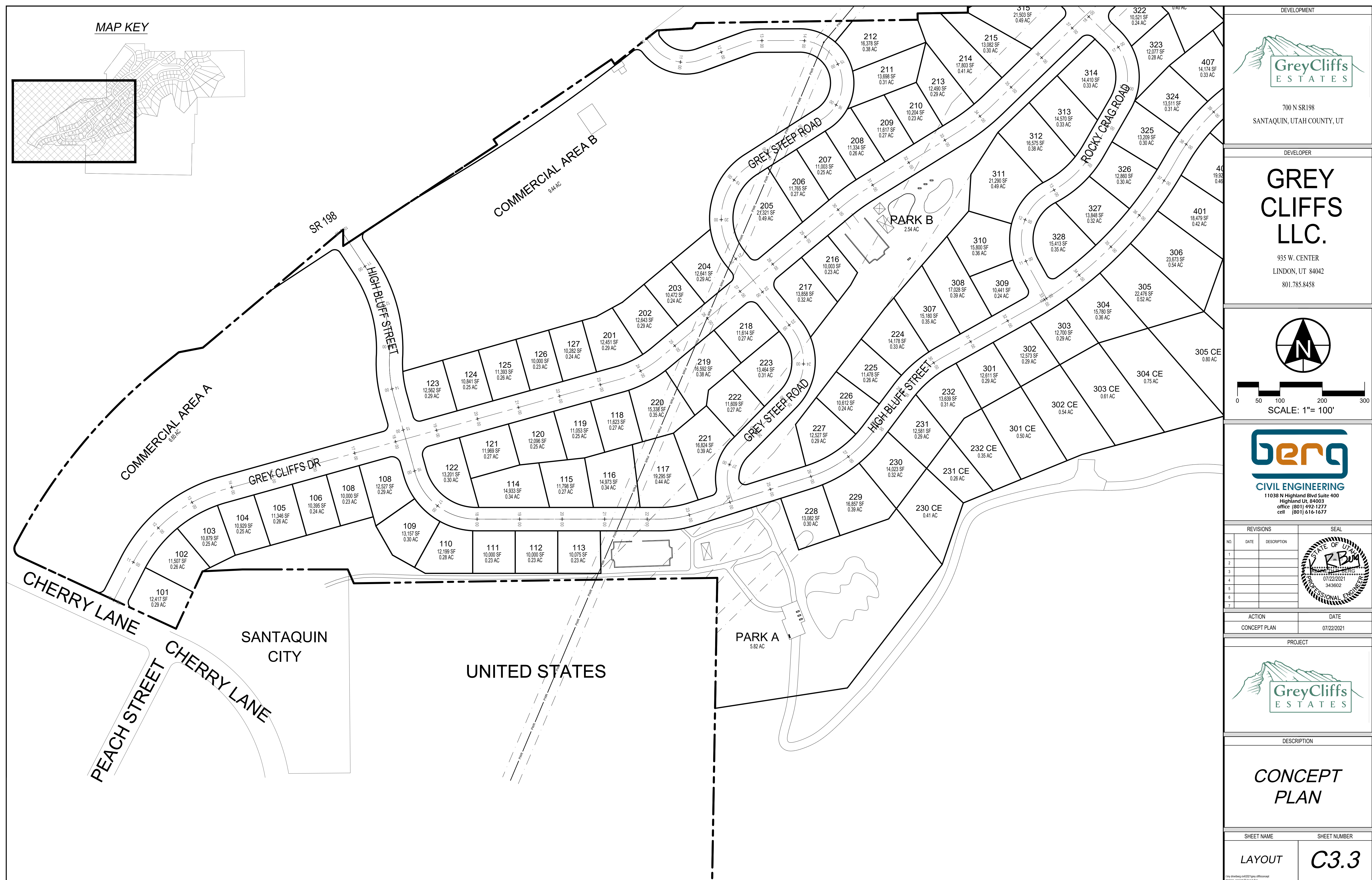
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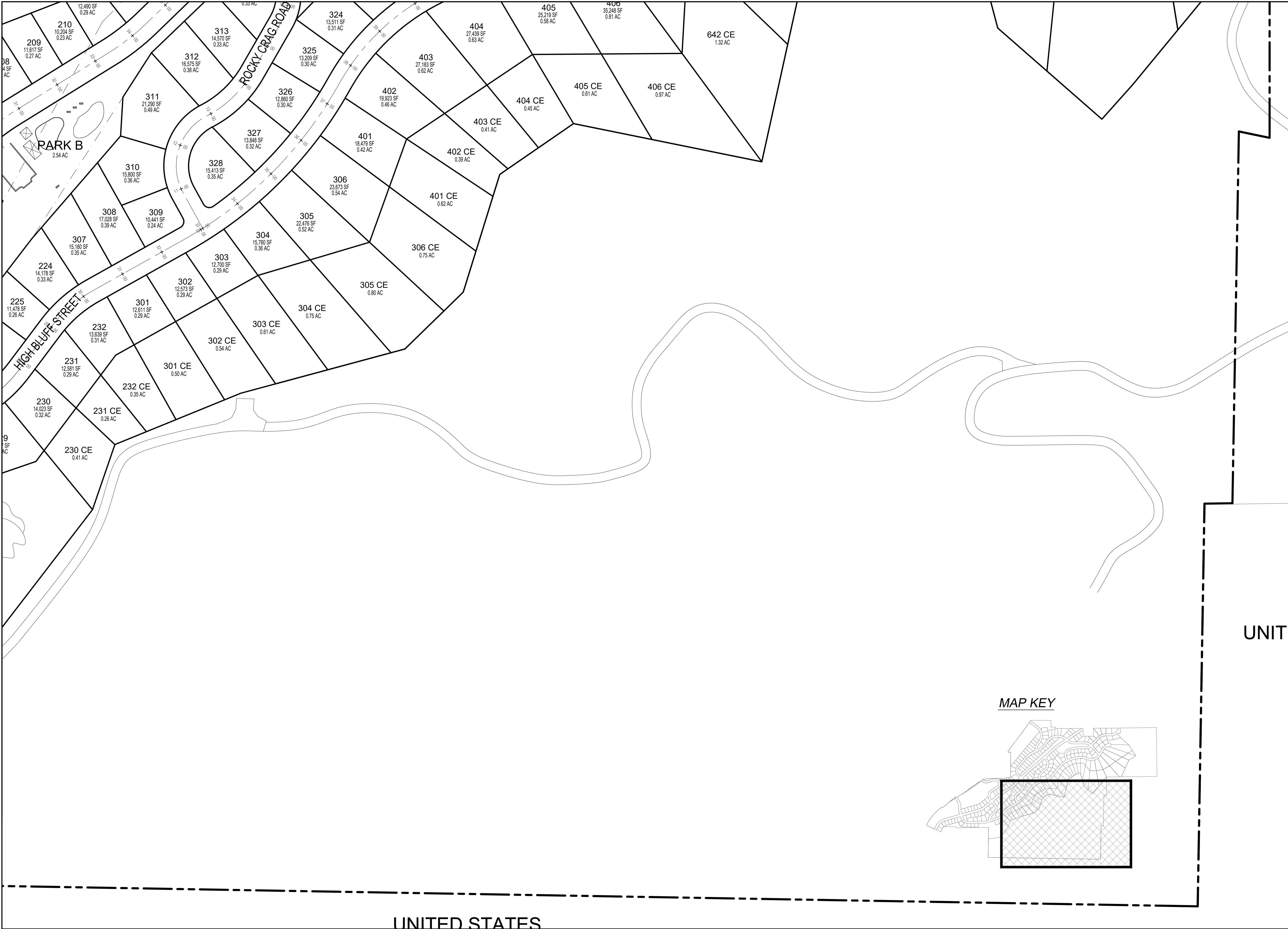
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any other Berg or B2C logo or reference  
© 2021, Berg or B2C Engineering









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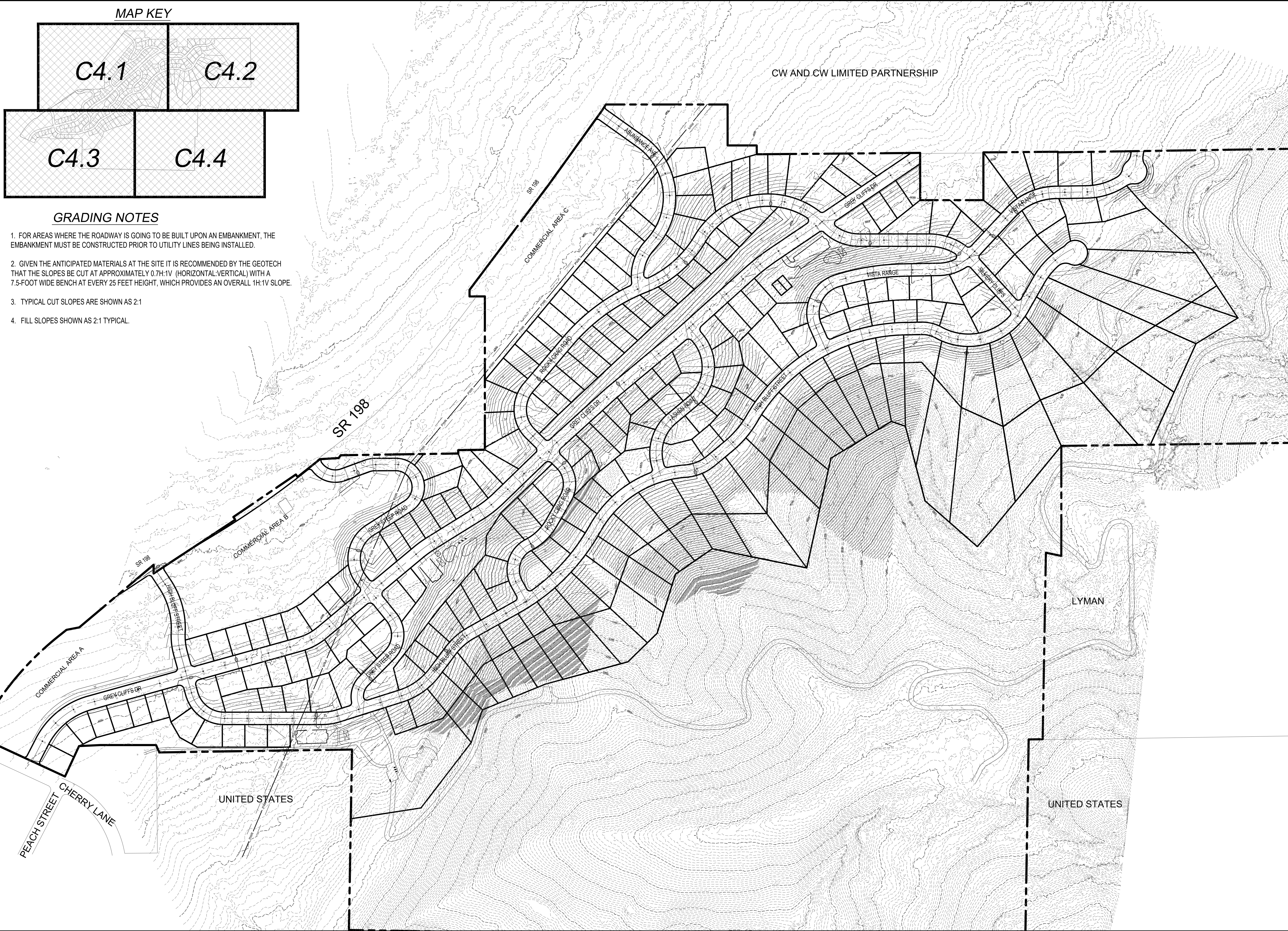
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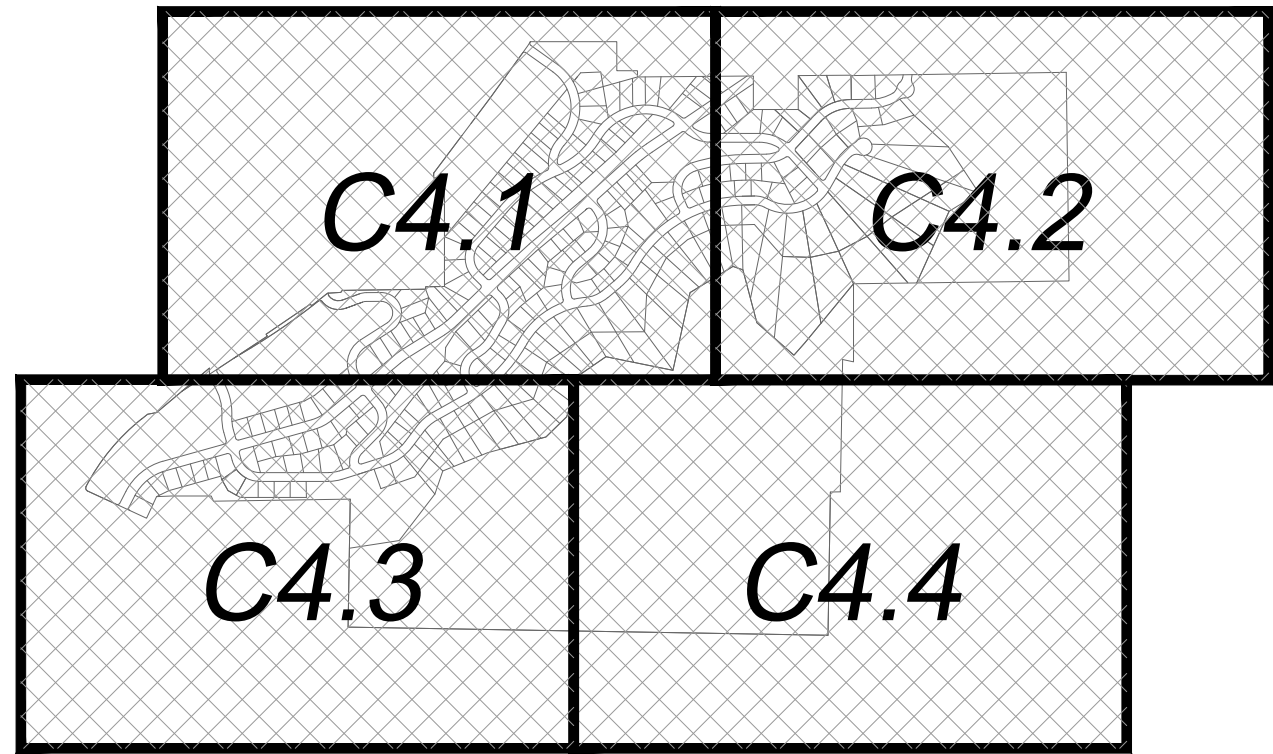
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any drawing not to scale unless otherwise noted  
© 2021 Berg Civil Engineering, Inc.





MAP KEY



GRADING NOTES

1. FOR AREAS WHERE THE ROADWAY IS GOING TO BE BUILT UPON AN EMBANKMENT, THE EMBANKMENT MUST BE CONSTRUCTED PRIOR TO UTILITY LINES BEING INSTALLED.
2. GIVEN THE ANTICIPATED MATERIALS AT THE SITE IT IS RECOMMENDED BY THE GEOTECH THAT THE SLOPES BE CUT AT APPROXIMATELY 0.7H:1V (HORIZONTAL:VERTICAL) WITH A 7.5-FOOT WIDE BENCH AT EVERY 25 FEET HEIGHT, WHICH PROVIDES AN OVERALL 1H:1V SLOPE.
3. TYPICAL CUT SLOPES ARE SHOWN AS 2:1
4. FILL SLOPES SHOWN AS 2:1 TYPICAL.

DEVELOPMENT

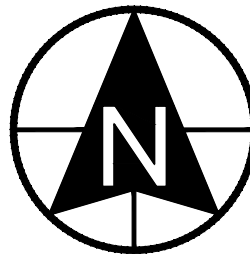


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**GREY  
CLIFFS  
LLC.**

935 W. CENTER  
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0 100 200 400 600  
SCALE: 1"= 200'



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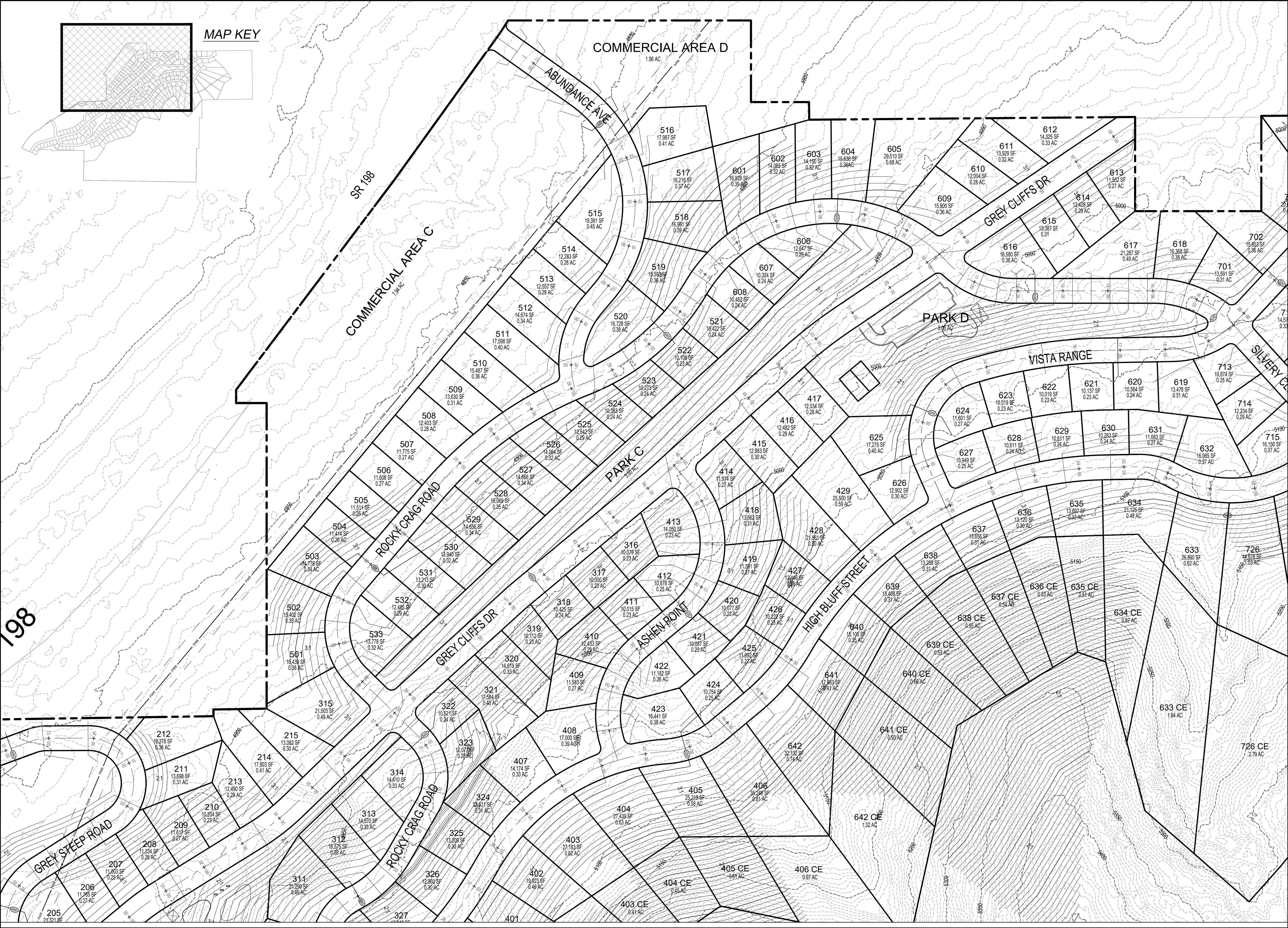
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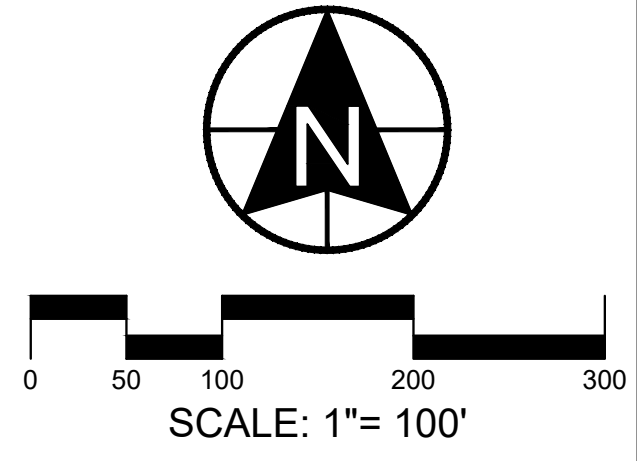


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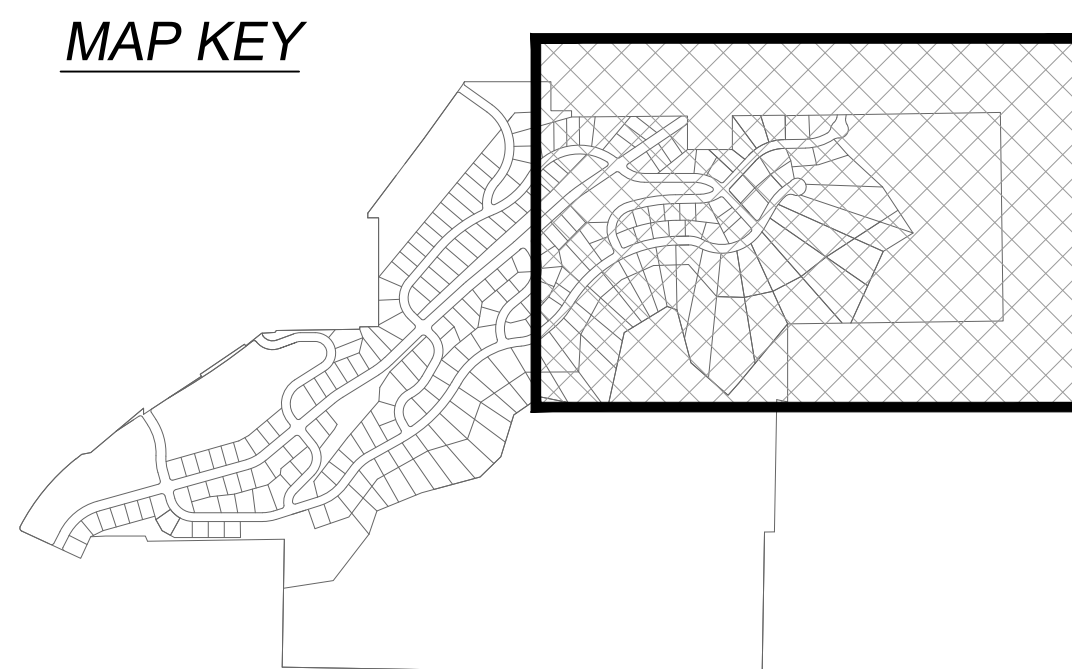


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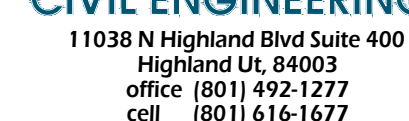
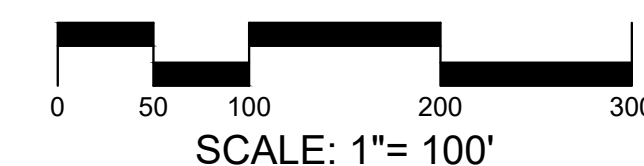
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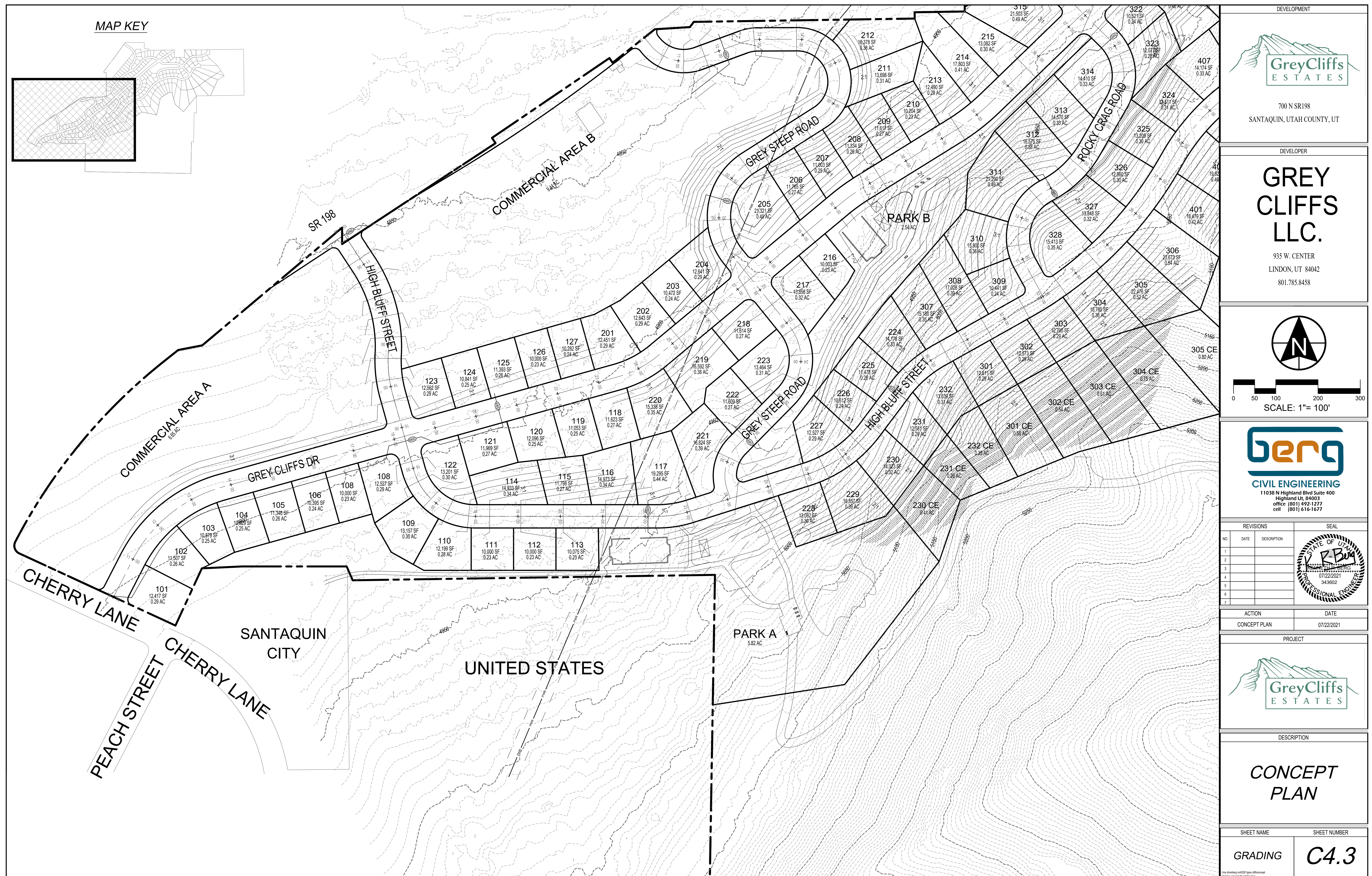
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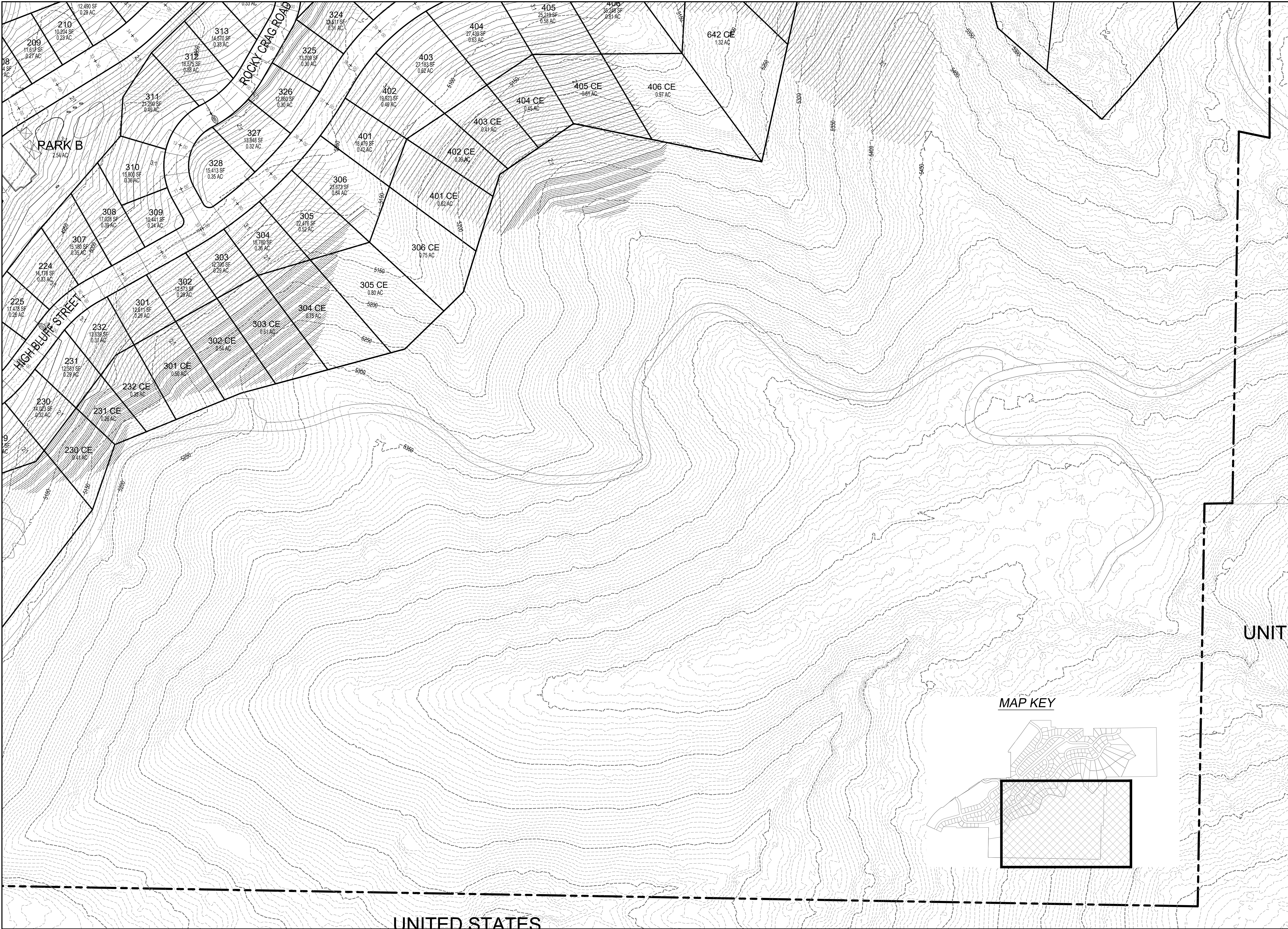
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DEVELOPMENT

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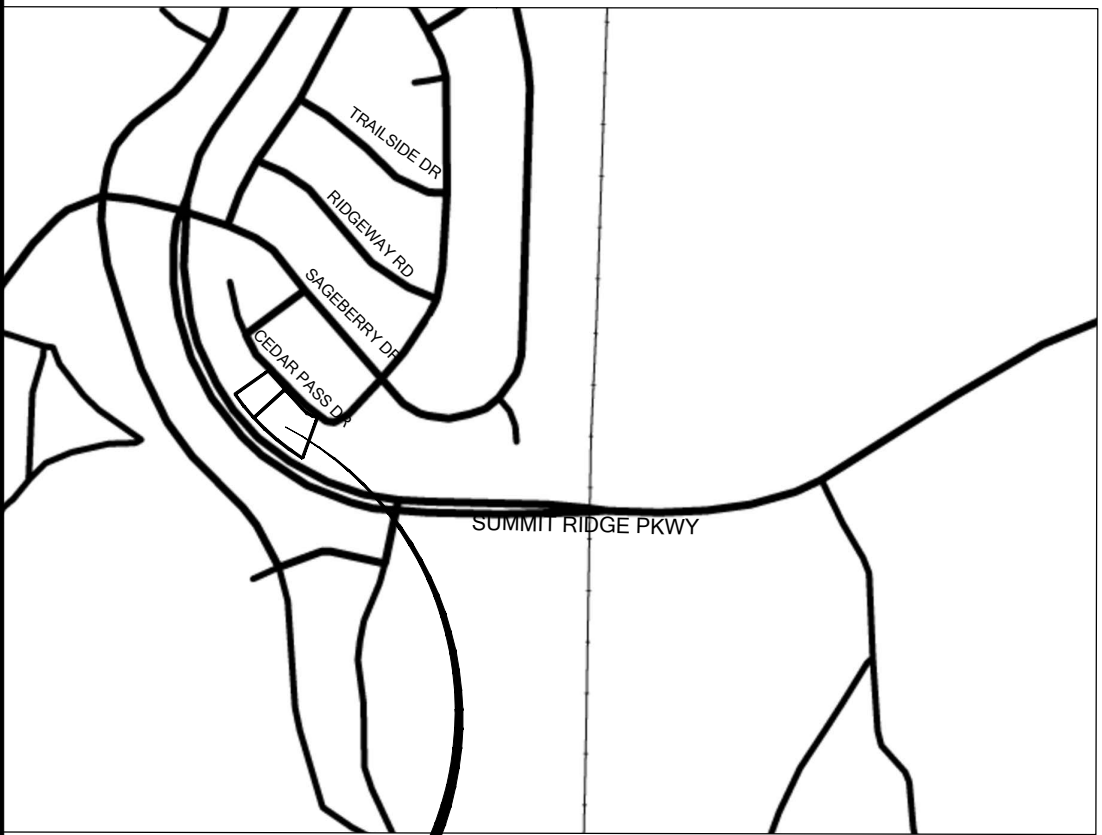
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GRADING	<b>C4.4</b>

see drawings and specifications for reference  
http://www.bergcivil.com



# CEDAR POINT AT SUMMIT RIDGE PLAT "F"

NW¼ SECTION 15, TOWNSHIP 10 SOUTH,  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
INCLUDES AN AMENDMENT OF LOTS 266 AND 265 OF THE CEDAR POINT AT SUMMIT



## LOCATION OF PROJECT



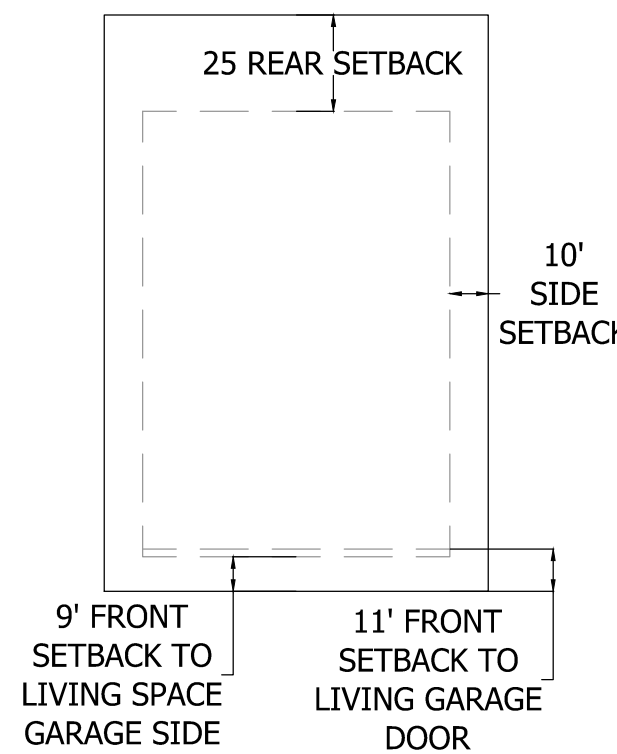
### VICINITY MAP

SCALE: N.T.S.

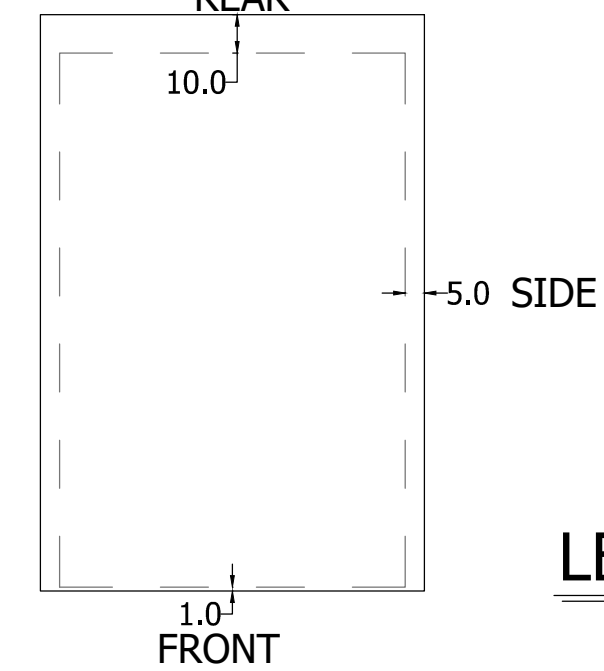
#### NOTES:

- NO LOT OR RESIDENTIAL ACCESS IS ALLOWED ONTO SUMMIT RIDGE PARKWAY
- THE LOTS ARE SUBJECT TO SPECIFIC GRADING AND DRAINAGE REQUIREMENTS. DETAILS MAY BE OBTAINED FROM SANTAQUIN CITY.

#### TYPICAL INTERIOR LOT BUILDING SETBACK (MINIMUM)



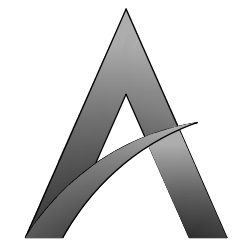
#### TYPICAL INTERIOR LOT PUBLIC UTILITY EASEMENTS



Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	341.05	852.00	22.93	338.77	N51° 00' 55"W
C2	65.89	100.00	37.75	64.70	S64° 44' 26"E
C3	115.40	852.00	7.76	115.32	N58° 36' 10"W
C5	110.24	852.00	7.41	110.16	N43° 15' 12"W
C6	115.40	852.00	7.76	115.32	N50° 50' 31"W

### LEGEND

- SET 3/8" REBAR & PLASTIC CAP MARKED LS 10719099
- FOUND SURVEY MONUMENT
- ✕ FOUND GOVERNMENT MONUMENT (AS NOTED)
- BOUNDARY LINE
- LOT LINE
- DEED LINES
- EASEMENT LINE/P.U.E
- RIGHT OF WAY LINE
- CENTER LINE
- BUILDING SETBACK



SCALE: 1" = 30'

#### UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE, AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

DATE

DATE

#### CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES UPON RECORDING OF THE PLAT MAP. CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929 AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.

DATE

#### DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THE DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-5632.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DOMINION ENERGY COMPANY

BY:

TITLE:

#### SURVEYOR'S CERTIFICATE

I, SPENCER J. MCCUTCHEON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 10719099 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT AND THAT A SURVEY OF THE DESCRIBED TRACT OF LAND HAS BEEN COMPLETED BY ME IN ACCORDANCE WITH SECTION 17-23-17 AND THAT I HAVE VERIFIED ALL MEASUREMENTS, HAVE PLACED MONUMENTS AS SHOWN HEREON.

(SEE SEAL BELOW)

#### BOUNDARY DESCRIPTION

A PARCEL OF LAND THAT LIES FULLY WITHIN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, COMPRISING OF 1.02 ACRES 35 OF AN ACRES OF LOT 266 OF THE CEDAR POINT AT SUMMIT RIDGE PLAT "C" AMENDED SUBDIVISION AS FOUND IN THE UTAH COUNTY RECORDERS OFFICE MAP NO. 11782 AND 0.67 OF AN ACRE OF LOT 265 OF THE SAID CEDAR POINT SUBDIVISION, BASIS OF BEARING FOR SAID PARCEL IS NORTH AS DETERMINED BY GPS OR N 50° 46' 25" W 920.59 FEET, MEASURED, BETWEEN THE FOUND MONUMENTS MONUMENTING THE EXTENSION LINE OF LOTS 272 AND 271 AND THE MOST NORTHEASTERLY CORNER OF LOT 265 OF SAID SUBDIVISION. SUBJECT PARCEL MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL OF LOTS 266 AND 265 OF THE CEDAR POINT AT SUMMIT RIDGE PLAT "C" AMENDED SUBDIVISION AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE MAP NO. 11782

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 44,471 SQUARE FEET OR 1.021 ACRES.

#### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I, WE, THE UNDERSIGNED OWNER(S) OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS CEDAR POINT AT SUMMIT RIDGE PLAT "F", AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SANTAQUIN CITY, UTAH: (1) ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC THOROUGHFARES FOREVER; (2) THOSE CERTAIN PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND (3) THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, TRAIL OR EASEMENTS, OR OF SIMILAR DESIGNATION. IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS. THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

ANTHONY BRYAN OLAYO

DATE

KYLE STEVEN OLAYO

DATE

PEGUY JACQUES, MANAGER  
JACQUES CONSTRUCTION LLC

DATE

#### ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF UTAH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021, ANTHONY BRYAN OLAYO AND KYLE STEVEN OLAYO, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION NUMBER: \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_

SIGNED (TO NOTARY PUBLIC COMMISSIONED IN UTAH) \_\_\_\_\_ PRINTED FULL NAME OF NOTARY

#### LIMITED COMPANY ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF UTAH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021, PEGUY JACQUES, MANAGER OF JACQUES CONSTRUCTION LLC, THE SIGNER OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION NUMBER: \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_

SIGNED (TO NOTARY PUBLIC COMMISSIONED IN UTAH) \_\_\_\_\_ PRINTED FULL NAME OF NOTARY

#### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

APPROVED:

MAYOR

ATTEST:

CITY RECORDER'S SIGNATURE (SEE SEAL BELOW)

CITY ENGINEER'S SIGNATURE (SEE SEAL BELOW)

## CEDAR POINT AT SUMMIT RIDGE

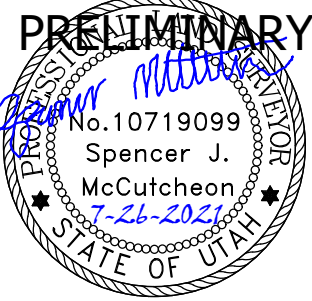
### PLAT "F"

A RESIDENTIAL SUBDIVISION LOCATED WITHIN THE SW¼ OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.  
INCLUDES AN AMENDMENT OF LOTS 266 AND 265 OF THE CEDAR POINT AT SUMMIT RIDGE PLAT "C" AMENDMENT

RECORDER SEAL

ENGINEER SEAL

SURVEYOR SEAL



UTAH COUNTY RECORDING CERTIFICATE



### TYPICAL SETBACKS

SCALE: 1" = 50'

0 50 100





# SUMMIT RIDGE COMMERCIAL SUBDIVISION

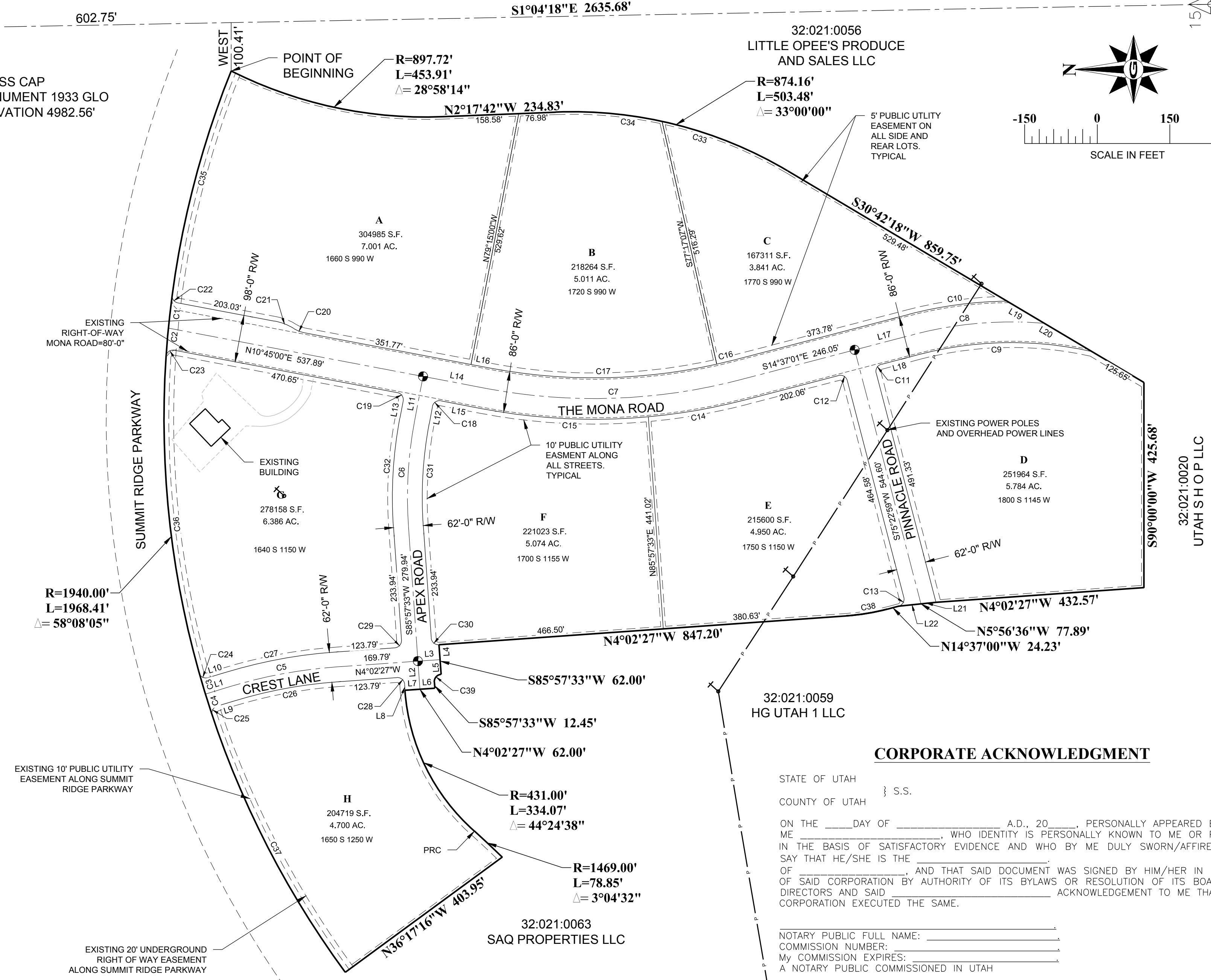
LOCATED IN THE NORTHEAST QUARTER OF SECTION 15 TOWNSHIP 10 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN.

## Parcel Line Table

Line #	Length	Direction
L1	51.11'	N16° 55' 00"W
L2	58.45'	S85° 57' 33"W
L3	46.00'	N4° 02' 27"W
L4	31.00'	S85° 57' 33"W
L5	31.00'	S85° 57' 33"W
L6	31.00'	N4° 02' 27"W
L7	31.00'	N4° 02' 27"W
L8	12.45'	S85° 57' 33"W
L9	35.44'	S16° 55' 00"E
L10	35.68'	N16° 55' 00"W
L11	93.74'	S79° 15' 00"E
L12	35.74'	N79° 15' 00"W
L13	35.95'	N79° 15' 00"W
L14	133.37'	S10° 45' 00"W
L15	87.40'	N10° 45' 00"E
L16	40.31'	N10° 45' 00"E
L17	127.73'	S14° 37' 01"E
L18	81.75'	N14° 37' 01"W
L19	89.75'	S30° 42' 18"W
L20	114.87'	S30° 42' 18"W
L21	31.34'	N5° 56' 36"W
L22	46.55'	N5° 56' 36"W

## Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	69.06'	1940.00'	2°02'23"	N83° 24' 11"W	69.06'
C2	60.15'	1940.00'	1°46'36"	N85° 18' 40"W	60.15'
C3	46.25'	1940.00'	1°21'57"	S73° 34' 10"W	46.25'
C4	46.41'	1940.00'	1°22'15"	S72° 12' 01"W	46.41'
C5	227.16'	1000.00'	13°00'56"	N10° 32' 55"W	226.68'
C6	220.46'	854.00'	14°47'27"	N86° 38' 43"W	219.85'
C7	531.28'	1200.00'	25°22'00"	S1° 55' 59"E	526.95'
C8	271.99'	800.00'	19°28'48"	N4° 52' 34"W	270.68'
C9	361.08'	757.00'	27°19'45"	N0° 57' 19"W	357.66'
C10	205.71'	843.00'	13°58'53"	N7° 37' 31"W	205.20'
C11	23.56'	15.00'	90°00'00"	N59° 37' 01"W	21.21'
C12	23.56'	15.00'	90°00'00"	N30° 22' 59"E	21.21'
C13	23.56'	15.00'	89°59'54"	S59° 37' 03"E	21.21'
C14	204.41'	1243.00'	9°25'21"	N9° 54' 19"W	204.18'
C15	345.91'	1243.00'	15°56'40"	N2° 46' 41"E	344.79'
C16	38.44'	1157.00'	1°54'13"	N13° 40' 05"W	38.44'
C17	473.68'	1157.00'	23°27'25"	N0° 59' 03"W	470.38'
C18	23.56'	15.00'	90°00'00"	N34° 15' 00"W	21.21'
C19	23.56'	15.00'	90°00'00"	S55° 45' 00"W	21.21'
C20	23.84'	64.00'	21°20'29"	S21° 25' 15"W	23.70'
C21	44.01'	111.00'	22°43'09"	S20° 46' 28"W	43.73'
C22	22.44'	15.00'	85°42'18"	S53° 36' 08"W	20.40'
C23	25.38'	15.00'	96°56'55"	S37° 43' 27"E	22.46'
C24	23.87'	15.00'	91°10'54"	N28° 40' 26"E	21.43'
C25	23.97'	15.00'	91°34'00"	S62° 41' 41"E	21.50'
C26	220.16'	969.00'	13°01'04"	S10° 32' 59"E	219.69'
C27	234.17'	1031.00'	13°00'48"	N10° 32' 51"W	233.66'
C28	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C29	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'
C30	23.56'	15.00'	90°00'00"	S40° 57' 33"W	21.21'
C31	212.46'	823.00'	14°47'27"	N86° 38' 44"W	211.87'
C32	228.25'	885.00'	14°46'38"	N86° 39' 08"W	227.62'
C33	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C34	503.48'	874.16'	33°00'00"	N14° 12' 18"E	496.55'
C35	481.80'	1940.00'	14°13'46"	N75° 16' 02"W	480.56'
C36	661.88'	1940.00'	19°32'52"	N84° 01' 38"E	658.67'
C37	602.79'	1940.00'	17°48'10"	N62° 36' 49"E	600.37'
C38	86.57'	469.00'	10°34'33"	S9° 19' 44"E	86.45'
C39	23.56'	15.00'	90°00'00"	N49° 02' 27"W	21.21'



## SURVEYOR'S CERTIFICATE

I, JOSH F. MADSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD LICENSE NO. 5152657 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY PER SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS SHOWN ON THIS PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS PLAT; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY; HEREAFTER KNOWN AS SUMMIT RIDGE COMMERCIAL SUBDIVISION.

JOSH F. MADSEN, P.L.S.  
NO. 5152657



## LEGAL DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SUMMIT RIDGE PARKWAY, LOCATED SOUTH 1°04'18" EAST ALONG THE SECTION LINE 602.75 FEET AND WEST 100.41 FEET FROM THE NORTHEAST CORNER OF SECTION 15, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; SOUTH-WESTERLY ALONG THE ARC OF AN 897.72 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (CENTER BEARS: SOUTH 63°19'25" EAST) A DISTANCE OF 453.91 FEET; THROUGH A CENTRAL ANGLE OF 28°58'14" (CHORD: SOUTH 12°11'24" WEST 449.09 FEET); THENCE SOUTH 2°17'42" EAST 234.83 FEET; THENCE ALONG THE ARC OF AN 874.16 FOOT RADIUS CURVE TO THE RIGHT 503.48 FEET; THROUGH A CENTRAL ANGLE OF 33°00'00" (CHORD: SOUTH 14°12'18" WEST 496.55 FEET); THENCE SOUTH 30°42'18" WEST 859.75 FEET; THENCE WEST 425.68 FEET; THENCE NORTH 4°02'27" WEST 432.57 FEET; THENCE NORTH 5°56'36" WEST 77.89 FEET; THENCE NORTH 14°37'00" WEST 24.23 FEET THENCE ALONG THE ARC OF A 469.00 FOOT RADIUS CURVE TO THE RIGHT (CENTER BEARS: NORTH 75°23'00" EAST) 469.00 FEET; 86.57 FEET; THROUGH A CENTRAL ANGLE OF 10°34'33" (CHORD: NORTH 9°19'44" WEST 86.45 FEET); THENCE NORTH 4°02'27" WEST 847.20 FEET; THENCE SOUTH 85°57'33" WEST 62.00 FEET; TO A POINT ON AN ARC OF A NON TANGENT CURVE THENCE, CONTINUING 23.56' ALONG THE ARC OF A 15.00 FOOT CURVE TO THE LEFT (CENTER BEARS: SOUTH 85°57'33" WEST) A DISTANCE OF 23.56 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" (CHORD: NORTH 49°02'27" WEST 21.21 FEET) THENCE SOUTH 85°57'33" WEST 12.45 FEET; THENCE NORTH 4°02'27" WEST 62.00 FEET TO A POINT OF CURVATURE ALONG A NON-TANGENT ARC OF A 431.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS: SOUTH 4°02'27" EAST) A DISTANCE OF 334.07 FEET; THROUGH A CENTRAL ANGLE OF 44°24'38" (CHORD: SOUTH 63°45'14" WEST 325.77 FEET); THENCE ALONG THE ARC OF A 1469.00 FOOT REVERSE RADIUS CURVE TO THE RIGHT (CENTER BEARS: NORTH 45°22'32" WEST) A DISTANCE OF 78.85 FEET; THROUGH A CENTRAL ANGLE OF 3°04'32" (CHORD: SOUTH 43°05'12" WEST 78.84 FEET); THENCE NORTH 36°17'16" WEST 403.95 FEET TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY OF SUMMIT RIDGE PARKWAY; THENCE ALONG AN ARC OF A 1,940.00 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (CENTER BEARS: SOUTH 36°17'16" EAST) A DISTANCE OF 1968.41 FEET THROUGH A CENTRAL ANGLE OF 58°08'05" (CHORD: NORTH 62°46'47" EAST 1885.05 FEET) TO THE POINT OF BEGINNING; LESS AND EXCEPTING THE MONA ROAD DEDICATION.

CONTAINS 48.683 ACRES AND 8 LOTS

## CORPORATE ACKNOWLEDGMENT

STATE OF UTAH

COUNTY OF UTAH

ON THE \_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, WHO IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS OR RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID \_\_\_\_\_ ACKNOWLEDGEMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.

NOTARY PUBLIC FULL NAME: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

## CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021  
A CENTRACOM COMPANY

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

## CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021  
A LUMEN COMPANY

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

## ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021  
A PACIFICORP COMPANY

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

## DOMINION ENERGY UTAH ACCEPTANCE

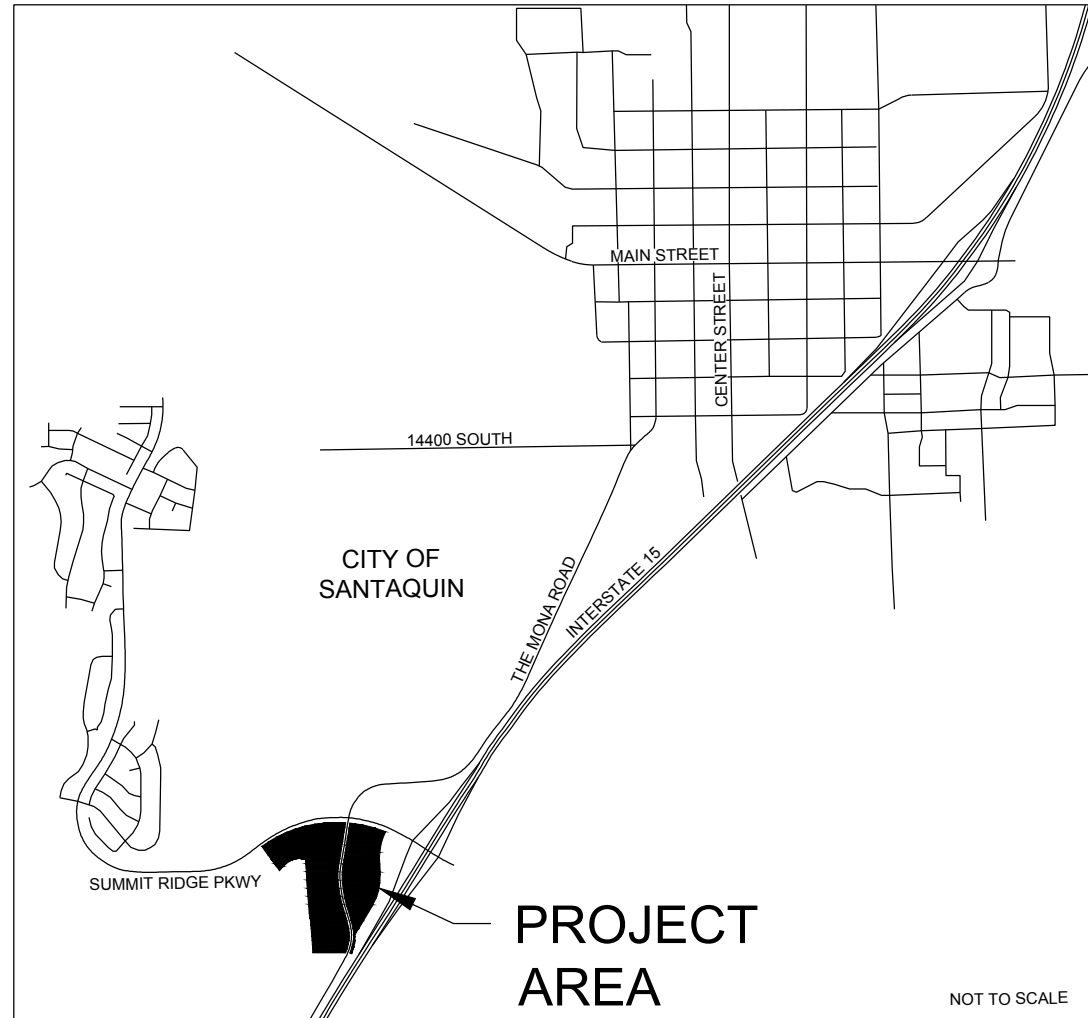
DOMINION ENERGY UTAH APPROVES THIS PLAT FOR THE PURPOSE OF APPROXIMATING THE LOCATION, BOUNDARIES, COURSE AND DIMENSIONS OF THE RIGHT-OF-WAY AND EASEMENT GRANTS AND EXISTING UNDERGROUND FACILITIES. NOTHING HEREIN SHALL BE CONSTRUED TO WARRANT OR VERIFY THE PRECISE LOCATION OF SUCH ITEMS. THE RIGHT-OF-WAY AND THE EASEMENTS ARE SUBJECT TO NUMEROUS RESTRICTIONS APPEARING ON THE RECORDED RIGHT-OF-WAY AND EASEMENT GRANT(S). DOMINION ENERGY UTAH ALSO APPROVES THIS PLAT FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS; HOWEVER, DOMINION ENERGY UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE IN OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE.

FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY UTAH'S EAST & SOUTH EAST UTAH COUNTY, CONSTRUCTION SERVICES DEPARTMENT AT 801-853-6586

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2021  
A DOMINION ENERGY COMPANY

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

## VICINITY MAP



## LEGEND

- SECTION CORNER (LOCATED)
- PROPOSED STREET MONUMENT
- REBAR AND CAP
- MONUMENT LINE
- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- POWER POLE



LOCATED IN THE CITY OF SANTAQUIN, UTAH 84655



SHEET INDEX	
SHEET NO.	NAME
	COVER SHEET
G.101	GENERAL NOTES
C.100	EXISTING SITE
C.101	PHASING PLAN
C.102	OVERALL SITE PLAN
C.201	OVERALL UTILITIES & GRADING PLAN
C.202	UTILITIES & GRADING PLAN
C.203	UTILITIES & GRADING PLAN
C.204	UTILITIES & GRADING PLAN
C.205	UTILITIES & GRADING PLAN
C.206	UTILITIES & GRADING PLAN
C.207	UTILITIES & GRADING PLAN
C.208	UTILITIES & GRADING PLAN
C.209	UTILITIES & GRADING PLAN
C.210	UTILITIES & GRADING PLAN

ZONING CLASSIFICATION:	C-1
TOTAL NUMBER OF LOTS:	8
TOTAL ACREAGE DEVELOPMENT:	49.25 AC
TOTAL LOT ACREAGE:	42.747 AC
TOTAL ROW ACREAGE:	5.936 AC
TOTAL OPEN SPACE ACREAGE:	0

CONTACT: CHAD LILJENQUIST  
6995 UNION PARK CENTER #440  
MIDVALE, UT 84047  
PHONE: (801) 566-6185

GILSON ENGINEERING, INC.  
12401 SOUTH 450 EAST, UNIT C2  
DRAPER, UTAH 84020-7937

CONTACT: BRAD GILSON  
PHONE: (801) 571-9414

LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

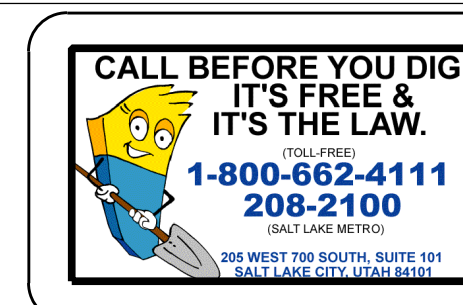
REVISION:

PROJ. # **LIL.012**

COVER

THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SATAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SATAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.





ABBREVIATIONS

ADJ	ADJUST
ADS	ADVANCE DRAINAGE SYSTEM
ARV	AIR RELEASE VALVE
BC	BAR AND CAP
BOW	BACK OF WALK
BVCE	BEGINNING VERTICAL CURVE ELEV.
BVCS	BEGINNING VERTICAL CURVE STATION
CB	CATCH BASIN
CBL	CABLE
CH	CHORD BEARING
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COR.	SECTION CORNER
D	DELTA ANGLE
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
EG	EXISTING GRADE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEV.
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FO	FIBER OPTICS
FT	FOOT
GB	GRADE BREAK
HC	HANDICAP
HDPE	HIGH DENSITY POLY ETHYLENE
HP	HIGH POINT
INV.	INVERT
IRR	IRRIGATION
L.F.	LINEAR FEET
LIP	LIP OF CURB
LP	LOW POINT
LT	LEFT
MAX.	MAXIMUM
MH	MANHOLE
MIN.	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
OC	ON CENTER
OHP	OVER HEAD POWER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
ROW	RIGHT OF WAY
RT.	RIGHT
S	SEWER
SD	STORM DRAIN
SER	SOUTH END RADIUS
SSMH	SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SECONDARY WATER
TBC	TOP BACK OF CURB
TOA	TOP OF ASPHALT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDER GROUND POWER
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WATER
WM	WATER METER
WV	WATER VALVE

GENERAL NOTES

- THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF GILSON ENGINEERING, INC.
- THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR USE.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. FAILURE TO DO SO VOIDS THE DESIGN.
- ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF GILSON ENGINEERING, INC. VOIDS THE DESIGN.
- IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
- ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.
- DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT.
- ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF GILSON ENGINEERING, INC. AT NO COST TO THE OWNER.
- THIS DESIGN PURPORTS TO PERMIT FULL ACCESS TO HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW. ANY DEVIATION OR COMPROMISE SHALL BE REPORTED TO GILSON ENGINEERING, INC. FOR RESOLUTION.
- ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK.
- ANY WORK THAT IS OUTSIDE OF THE LIMIT OF WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFORE HAND.
- CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ENGINEER OR INSPECTING AUTHORITY 72 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGNS SHOWN ON PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR IS RESPONSIBLE FOR ALL FLAGGING, CAUTION SIGNS, LIGHTS, BARRICADES, FLAG MEN, AND ALL OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES, AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS, AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSE BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFELY OF ALL PERSONS ON THE PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
- ALL WORK WITHIN THE SITE TO CONFORM TO THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSHA REQUIREMENTS, LATEST EDITIONS).
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
- SEWER MAINS, WATER MAINS, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
- SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.
- THE DEVELOPER AND THE CONTRACTOR UNDERSTAND THAT IS IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

UTILITY NOTES

- COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
- VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
- WATER METERS ARE TO BE INSTALLED PER CURRENT CITY STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
- WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
- FIELD VERIFY ALL EXISTING AND/OR PROPOSED ROOF DRAIN/ROOF DRAIN DOWN SPOUT CONNECTIONS TO STORM WATER SYSTEM WITH CIVIL, PLUMBING & ARCHITECTURAL PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL CATCH BASINS AND INLET BOX GRATES ARE TO BE BICYCLE SAFE.
- UNLESS OTHERWISE NOTED FOR EXISTING UTILITIES, ALL DRY UTILITIES ARE ASSUMED TO BE 3' BELOW EXISTING GRADE TO TOP OF CONDUIT. ALL WATER LINES ARE ASSUMED TO BE 4' BELOW EXISTING GRADE TO TOP OF PIPE. ALL STORM AND SANITARY LINES ARE BASED ON SURVEYED INVERT DATA. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS, VERIFY ELEVATIONS AND CONTACT ENGINEER IF ELEVATIONS ARE DIFFERENT FROM THOSE SHOWN IN THESE PLANS.
- ANY EXISTING VALVES AND MANHOLE COVERS SHALL BE RAISED OR LOWERED TO MEET FINISHED GRADE
- IF CONTRACTOR LOCATES ANY UNIDENTIFIED UTILITIES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION OF LOCATION BOTH HORIZONTAL AND VERTICAL.



CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

NOTE

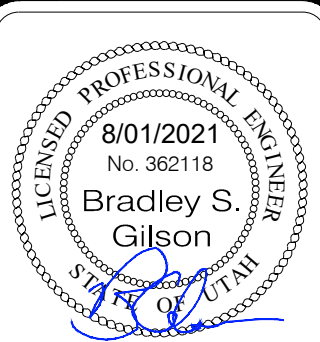
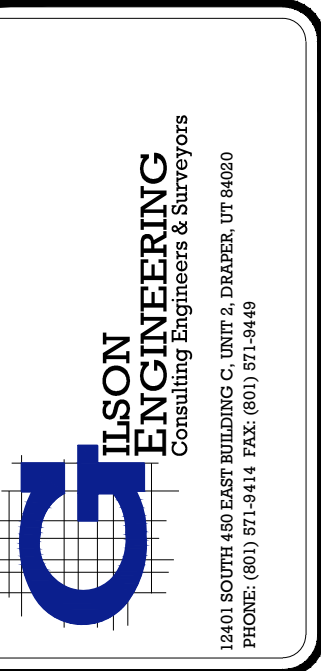
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GENERAL NOTES  
LILJENQUEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

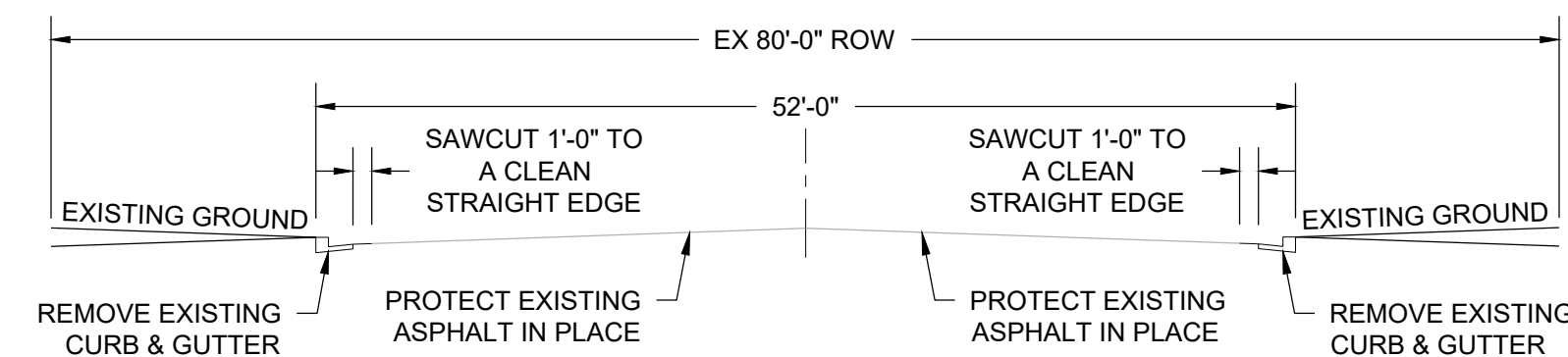
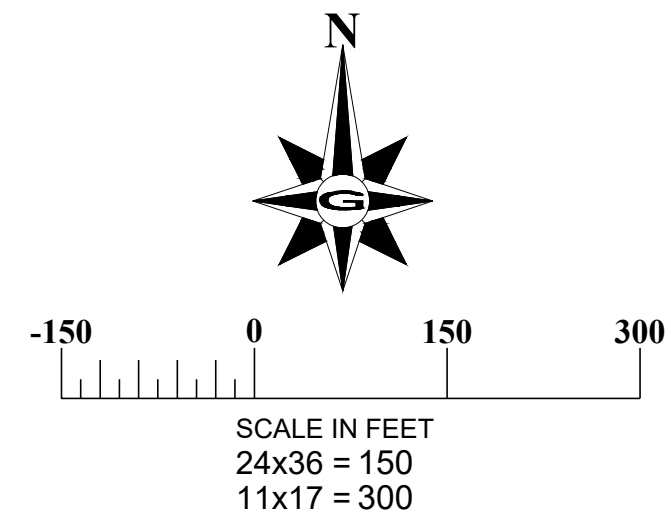
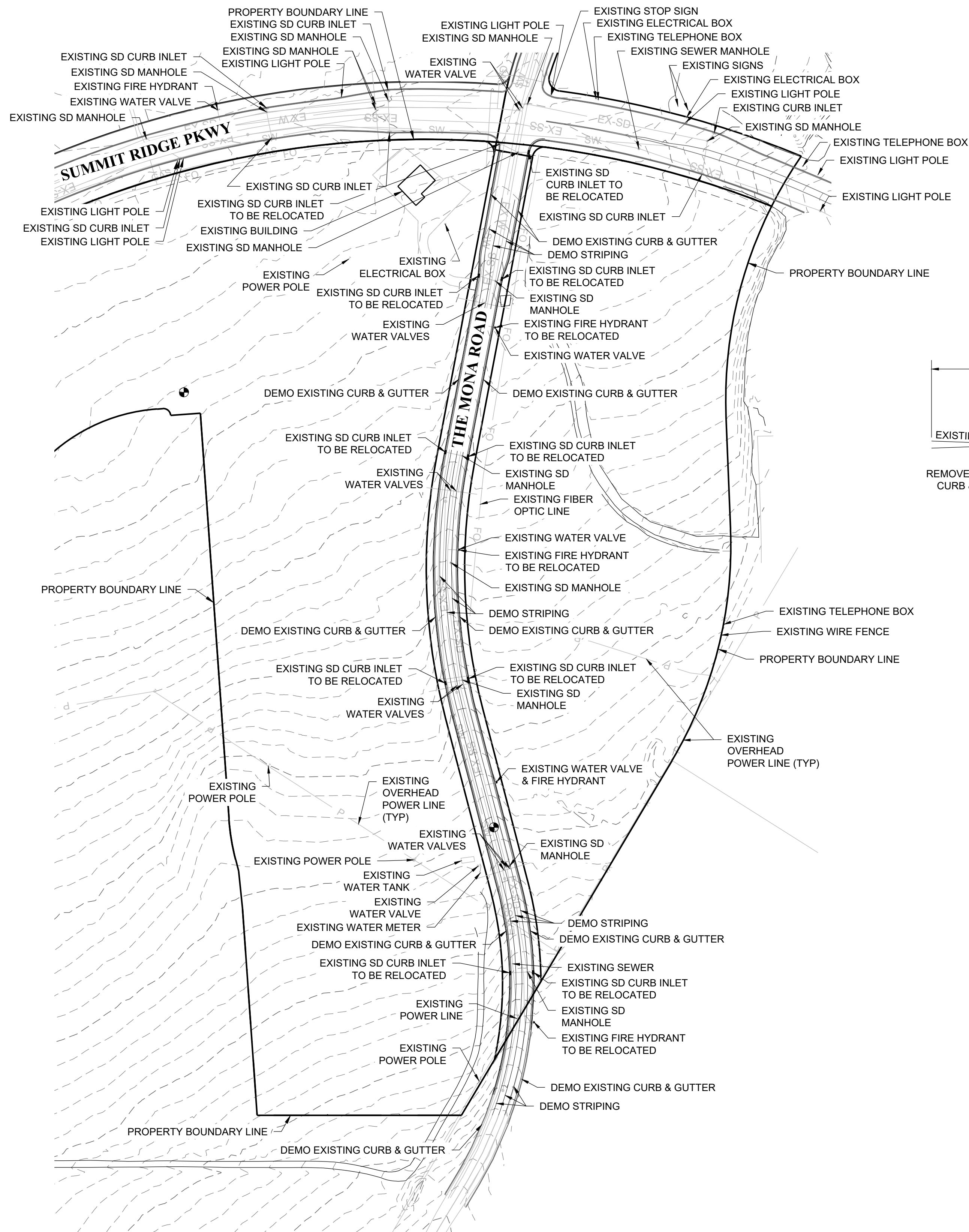
**G.101**



DATE	REVISIONS	BY	COMMENTS
AUGUST 2021			
DRAWING NAME			
G.101			
GENERAL NOTES			
DESIGNED/DRAWN BY:			
BG/BP			
CHECKED:			
APPROVED:			

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS





EXISTING STREET SECTION DEMO DETAIL

SCALE: N.T.S.

NOTE

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**EXISTING SITE**  
LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

**C.100**

DATE: AUGUST 2021

DRAWING NAME: C.100

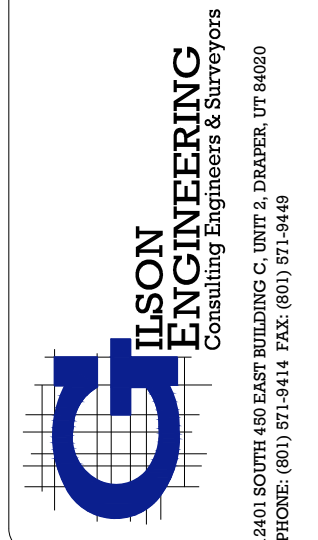
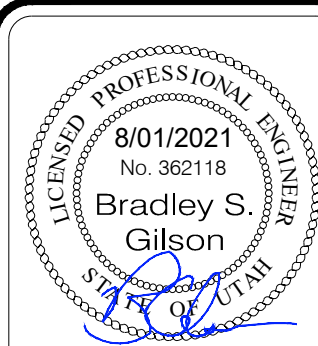
EXISTING SITE

DESIGNED/DRAWN BY: BG/BP

CHECKED: APPROVED: ---

REV	DATE	BY	COMMENTS

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS







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**PHASING PLAN**

LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -

PROJ. # **LIL.012**

**C.101**







**LILJENQUIST**  
**ENGINEERING**  
Consulting Engineers & Surveyors  
SANTAQUIN, UTAH 84655  
PHONE: (801) 873-8414 FAX: (801) 873-1449

REV	DATE	BY	COMMENTS

DATE: AUGUST 2021  
DRAWING NAME: C.102 SITE PLAN OVERALL  
DESIGNED/DRAWN BY: BG/BP  
CHECKED: APPROVED: ---

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS

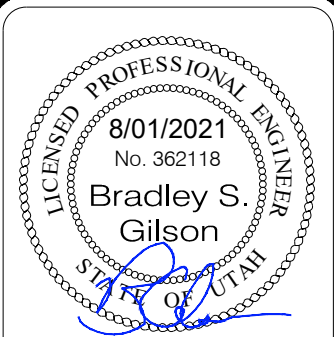
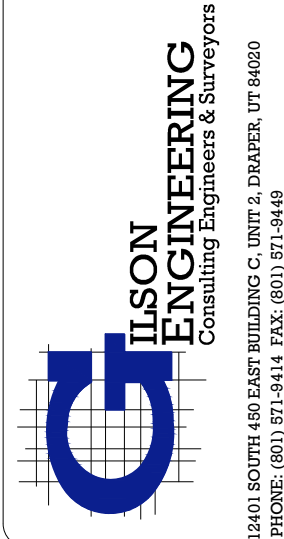
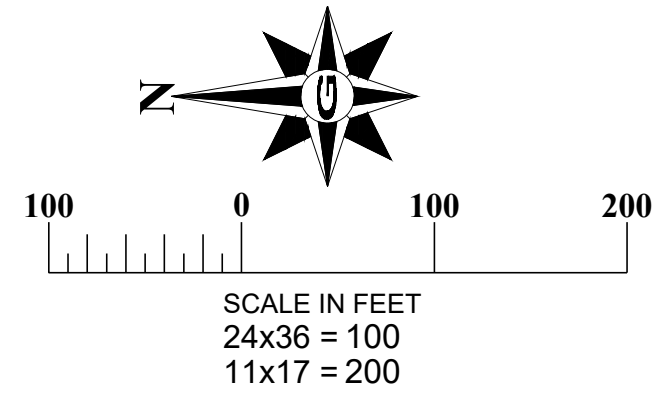
**OVERALL SITE PLAN**

LILJENQUIST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -  
PROJ. # **LIL.012**

**C.102**





REV	DATE	BY	COMMENTS

DATE: AUGUST 2021  
DRAWING NAME: C.201 OVERALL UTILITIES PLAN  
DESIGNED/DRAWN BY: BG/BP  
CHECKED: T APPROVED: ---

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS

**OVERALL UTILITIES & GRADING PLAN**

LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -  
PROJ. # **LIL.012**  
**C.201**

**NOTE**

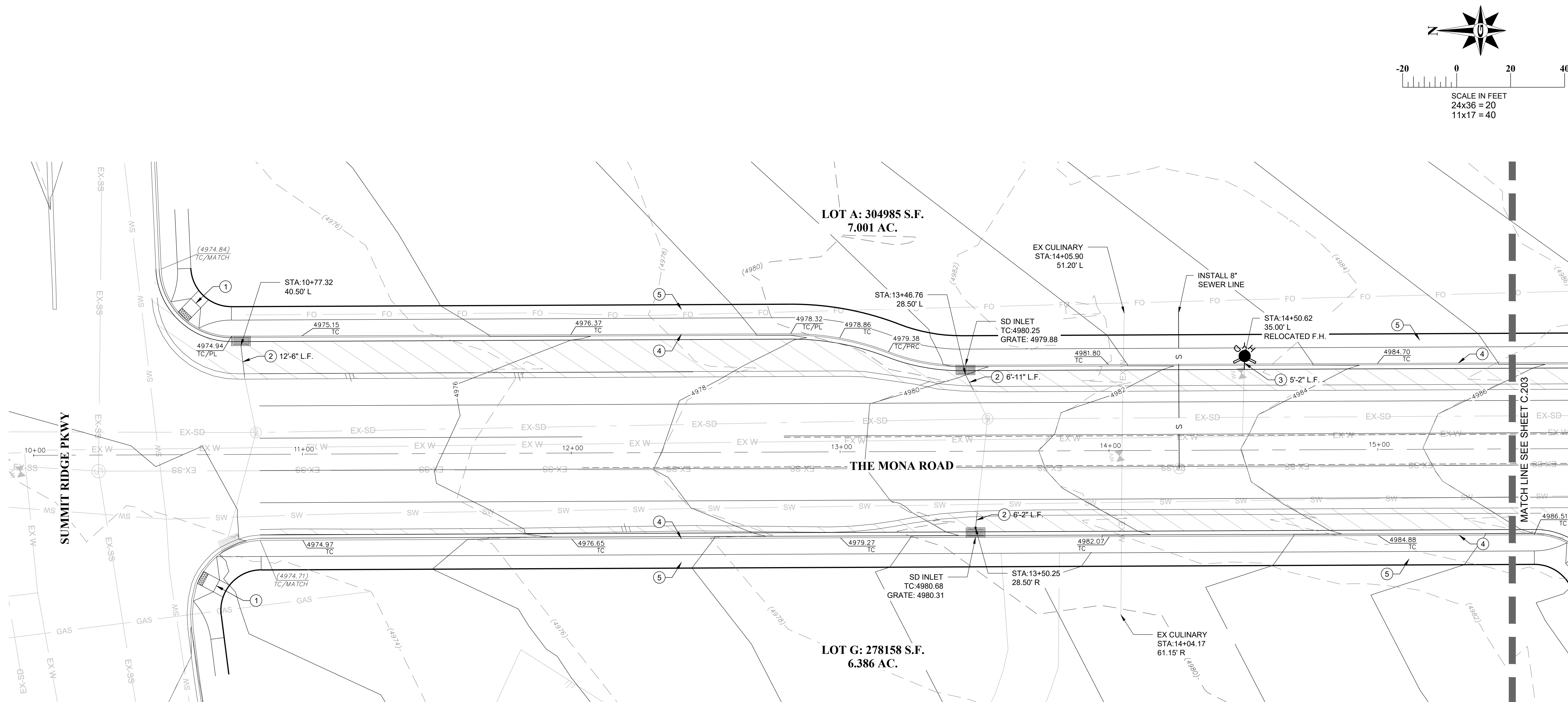
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SUMMIT RIDGE PKWY

THE MONA ROAD

#### UTILITY LEGEND

---	EX-SD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	NEW W	NEW WATER MAIN
---	NEW SW	NEW SECONDARY WATER MAIN
---	NEW S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Hatched Box]		STORM DRAIN INLET
(S)		SEWER MANHOLE

#### NOTE

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#### CONSTRUCTION KEY NOTES

1. CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
2. EXTEND STORM DRAIN PIPE AT EXISITNG GRADE TO RELOCATED INLET
3. EXTEND WATER LINE TO RELOCATED F.H.
4. CONSTRUCT HIGHBACK CURB & GUTTER PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG4 SHEET C.301.
5. CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
6. INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL S77 SHEET C.301.
7. EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.

AREA OF NEW AC PAVEMENT

#### DISCLAIMER NOTE

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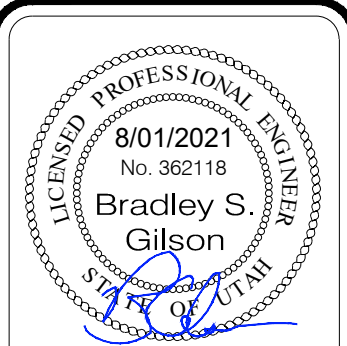
**CALL BEFORE YOU DIG**  
**IT'S FREE & IT'S THE LAW.**  
1-800-662-4111  
208-2100  
(SALT LAKE METRO)  
300 WEST TWO SOUTH, SUITE 101  
SALT LAKE CITY, UTAH 84111

### UTILITIES & GRADING PLAN

LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

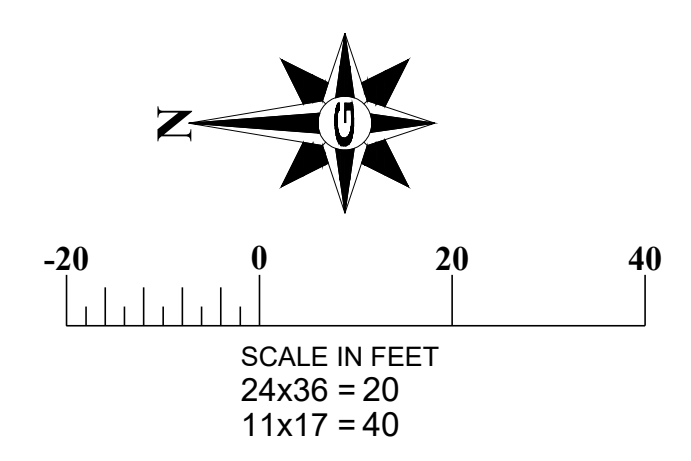
REVISION: -  
PROJ. # **LIL.012**

**C.202**














**GILSON ENGINEERING**  
Consulting Engineers & Surveyors  
1045 S. STATE, 4TH FLOOR, SUITE 400  
SALT LAKE CITY, UTAH 84143  
PHONE: (801) 571-8411 FAX: (801) 571-1449





**LOT A: 304985 S.F.  
7.001 AC.**

**LOT F: 221019 S.F.  
5.074 AC.**

	EXSD	EXISTING STORM DRAIN
	EX-SW	EXISTING SECONDARY WATER
	EX-W	EXISTING WATER
	EX-S	EXISTING SANITARY SEWER
		NEW WATER MAIN
	SW	NEW SECONDARY WATER MAIN
	S	NEW SEWER MAIN
		EXISTING STORM MANHOLE
		EXISTING SEWER MANHOLE
		STORM DRAIN INLET
		SEWER MANHOLE

- ① CONSTRUCT CURB RAMP PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG2A SHEET C.301.
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- ⑤ CONSTRUCT CONCRETE SIDEWALK PER SANTAQUIN CITY STD. DWG. SEE DETAIL CG5 SHEET C.301.
- ⑥ INSTALL STOP SIGN PER SANTAQUIN CITY STD. DWG SEE DETAIL ST7 SHEET C.301.
- ⑦ EXTEND WATER LINE & IRRIGATION LINE FROM STUB BEYOND NEW SIDEWALK.

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**GILSON**  
ENGINEERING  
Consulting Engineers & Surveyors  
401 SOUTH EAST BUILDING C, UNIT 2, DALLAS, TX 75402  
PHONE: (602) 571-5414 FAX: (602) 571-4449

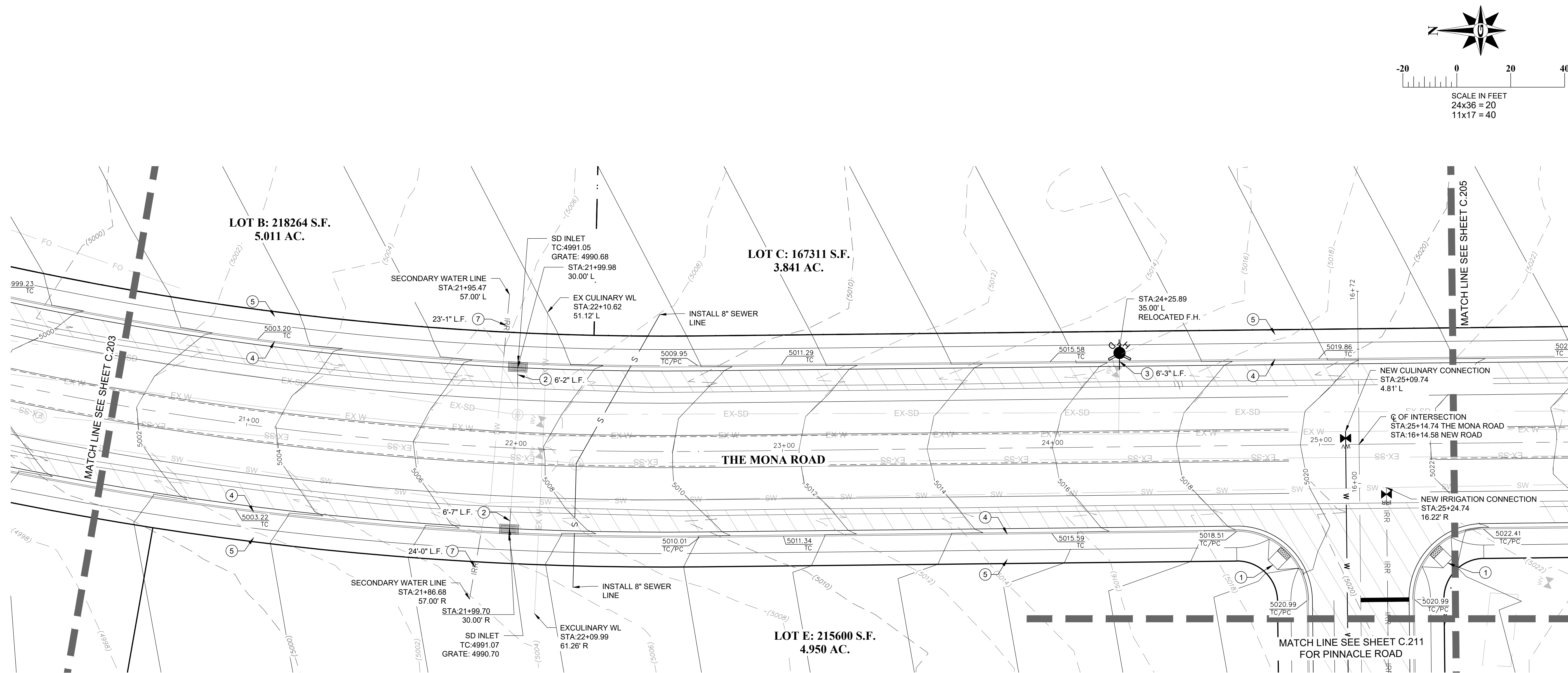
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REVISION: -

PROJ. # **LIL.012**

**C.203**





#### UTILITY LEGEND

---	EX-SD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	W	NEW WATER MAIN
---	SW	NEW SECONDARY WATER MAIN
---	S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Inlet Symbol]		STORM DRAIN INLET
(S)		SEWER MANHOLE

#### NOTE

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AREA OF NEW AC PAVEMENT

#### DISCLAIMER NOTE

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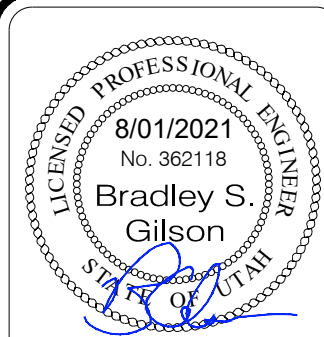
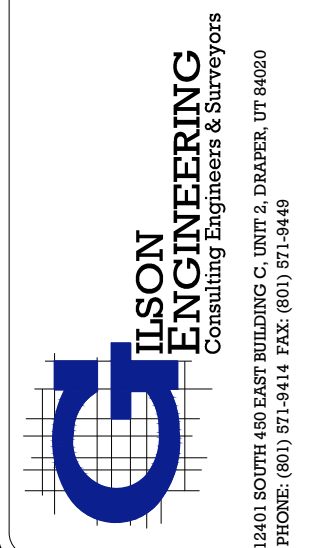
#### UTILITIES & GRADING PLAN

LILJENQUIST  
SANTIQUIN - SUMMIT RIDGE COMMERCIAL  
SANTIQUIN, UTAH 84655  
UTAH COUNTY, UTAH

REVISION: -

PROJ. # LIL.012

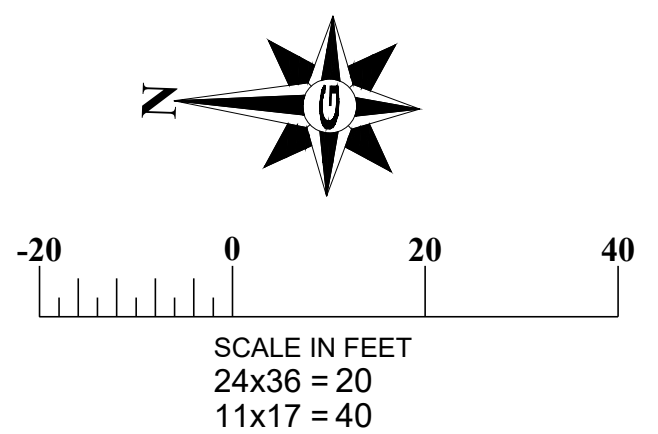
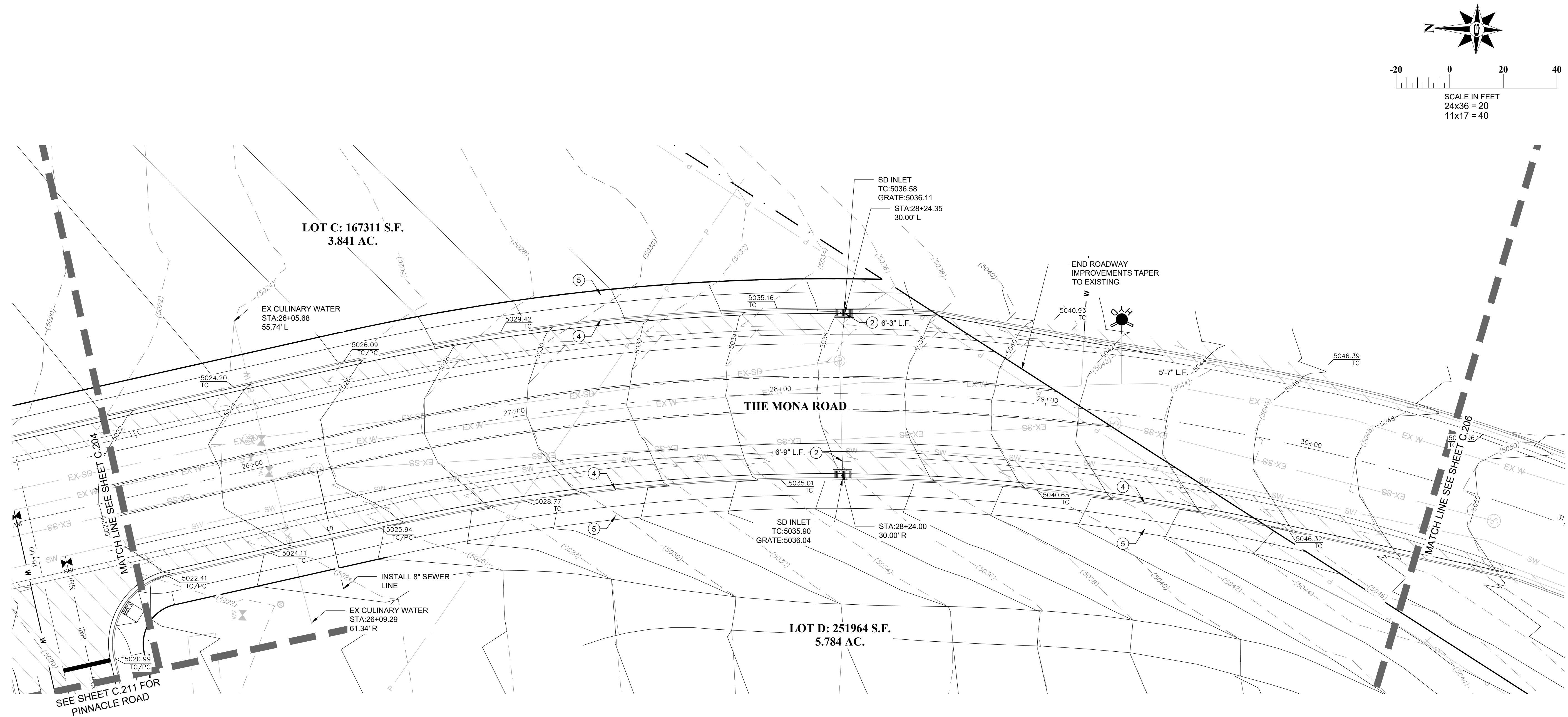
C.204



DATE	REV	DATE	BY	COMMENTS
AUGUST 2021				
DRAWING NAME	C-204 UTILITIES & GRADING PLAN			
DESIGNED/DRAWN BY	BG/BP			
CHECKED	APPROVED			

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS





UTILITY LEGEND

---	EX-SD	EXISTING STORM DRAIN
---	EX-SW	EXISTING SECONDARY WATER
---	EX-W	EXISTING WATER
---	EX-S	EXISTING SANITARY SEWER
---	W	NEW WATER MAIN
---	SW	NEW SECONDARY WATER MAIN
---	S	NEW SEWER MAIN
(SD)		EXISTING STORM MANHOLE
(S)		EXISTING SEWER MANHOLE
[Hatched Box]		STORM DRAIN INLET
(S)		SEWER MANHOLE

NOTE

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AREA OF NEW AC PAVEMENT

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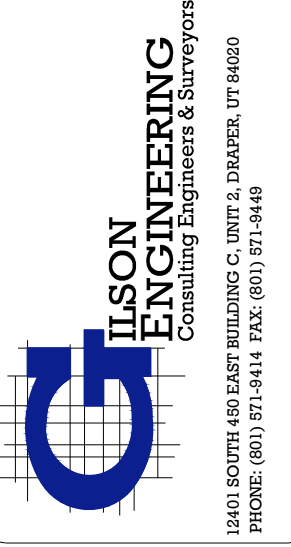
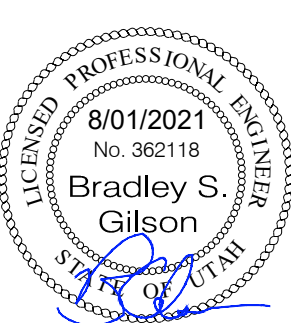


UTILITIES & GRADING PLAN

LILJENQUIEST  
SANTAQUIN - SUMMIT RIDGE COMMERCIAL  
SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

DATE: AUGUST 2021  
DRAWING NAME: C-205 UTILITIES & GRADING PLAN  
DESIGNED/DRAWN BY: BG/BP  
CHECKED: APPROVED

REV	DATE	BY	COMMENTS



C.205

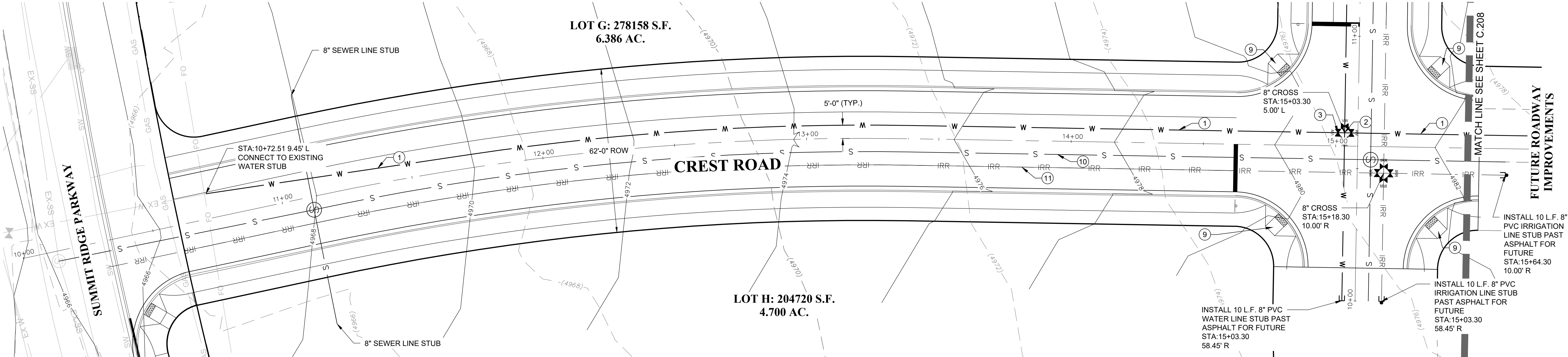
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REVISION: -



## UTILITY LEGEND

	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
	NEW WATER MAIN		
	NEW SECONDARY WATER MAIN		
	NEW SEWER MAIN		



## CONSTRUCTION KEY NOTES

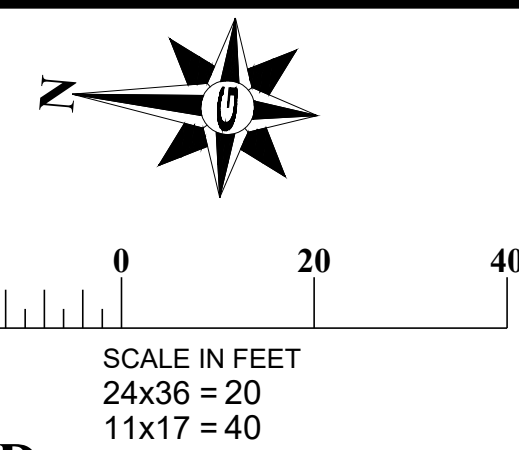
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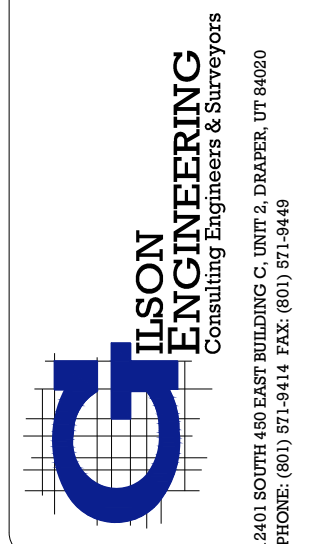
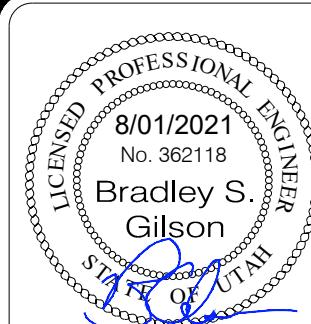
## UTILITY AND GRADING PLAN

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SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

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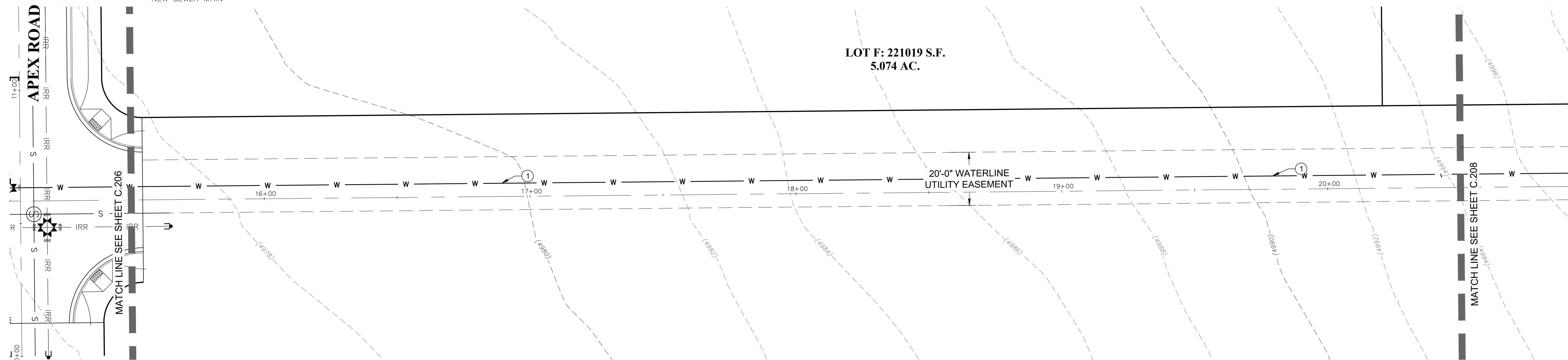
PROJ. # LIL.012

C.206



## UTILITY LEGEND

---	EXSD---	EXISTING STORM DRAIN	⊙	EXISTING STORM MANHOLE
---	EX-SW---	EXISTING SECONDARY WATER	⊙	EXISTING SEWER MANHOLE
---	EX W---	EXISTING WATER	⊙	STORM DRAIN INLET
---	S---	EXISTING SANITARY SEWER	⊙	SEWER MANHOLE
---	W---	NEW WATER MAIN		
---	IRR---	NEW SECONDARY WATER MAIN		
---	S---	NEW SEWER MAIN		



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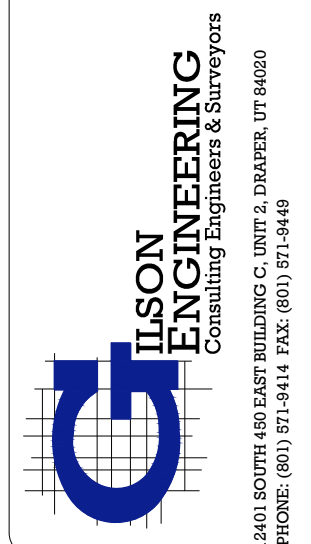
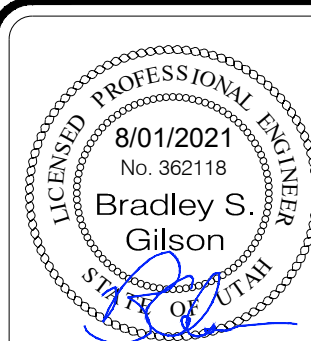
## PLAN &amp; PROFILES STA:15+50 - 20+50

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C.207



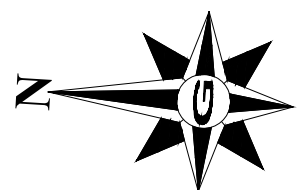


UTILITY LEGEND

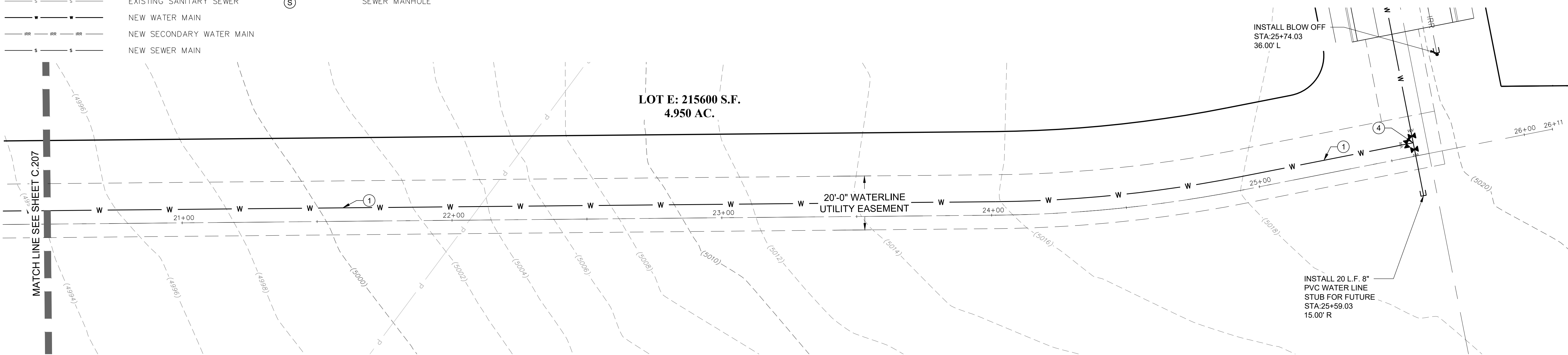
	EXISTING STORM DRAIN		EXISTING STORM MANHOLE
	EXISTING SECONDARY WATER		EXISTING SEWER MANHOLE
	EXISTING WATER		STORM DRAIN INLET
	EXISTING SANITARY SEWER		SEWER MANHOLE
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SCALE IN FEET  
24x36 = 20  
11x17 = 40



CONSTRUCTION KEY NOTES

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C.208

PLAN & PROFILES STA:20+50 - 26+11

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SANTAQUIN, UTAH 84655  
UTAH COUNTY, UTAH

DATE: AUGUST 2021

DRAWING NAME: C.208

PLAN & PROFILES

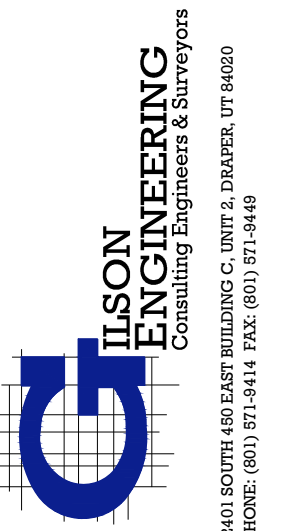
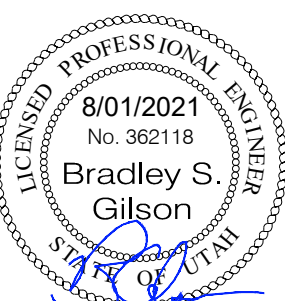
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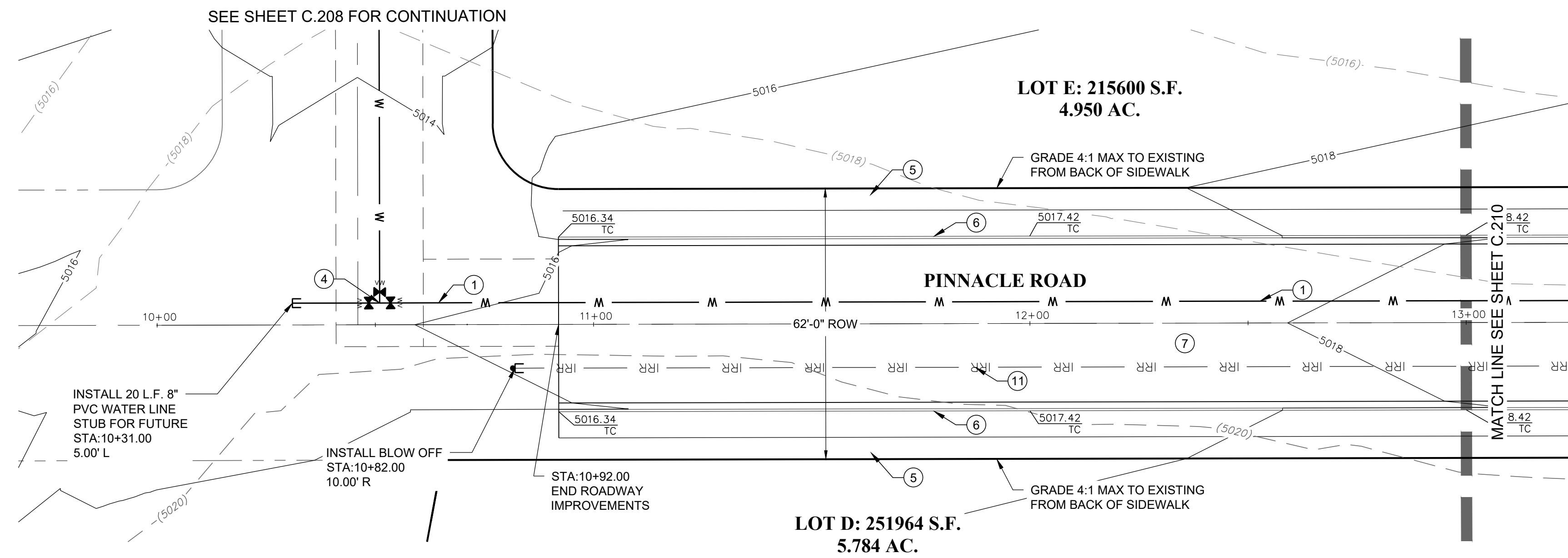
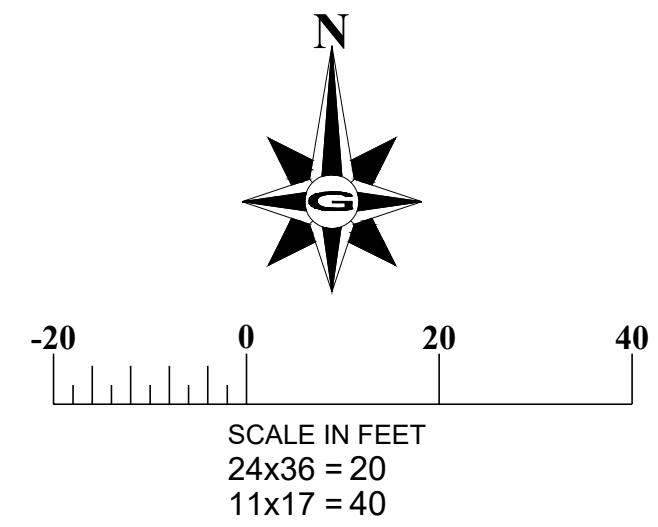
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1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEETS

REVISIONS

REV. DATE BY COMMENTS





#### UTILITY LEGEND

— — — — — EXSD — — — — —	EXISTING STORM DRAIN
— — — — — EX-SW — — — — —	EXISTING SECONDARY WATER
— — — — — EX — — — — —	EXISTING WATER
— — — — — S — — — — —	EXISTING SANITARY SEWER
— — — — — M — — — — —	NEW WATER MAIN
— — — — — IRR — — — — —	NEW SECONDARY WATER MAIN
— — — — — S — — — — —	NEW SEWER MAIN
(SD)	EXISTING STORM MANHOLE
(S)	EXISTING SEWER MANHOLE
[Hatched Box]	STORM DRAIN INLET
(S)	SEWER MANHOLE

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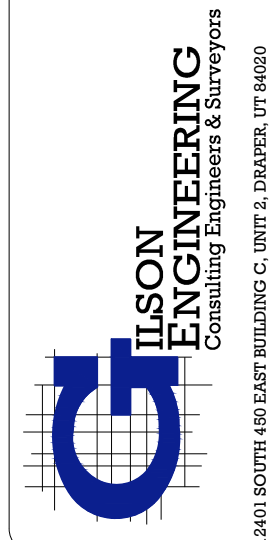
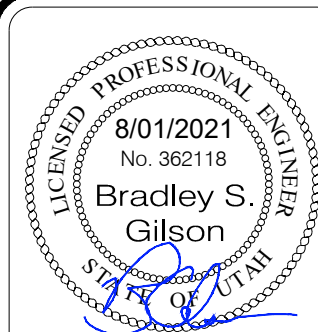
**PLAN & PROFILES STA:10+00 - 13+00**

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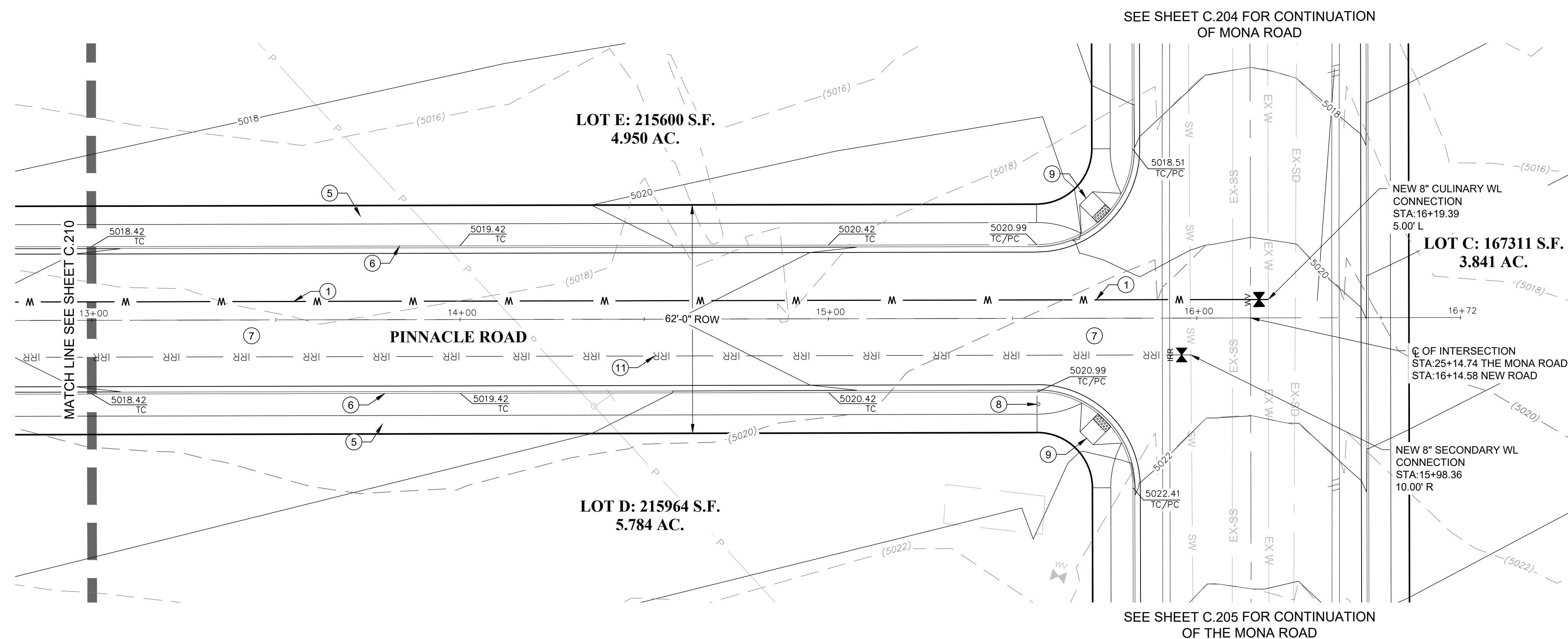
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**C.209**







#### UTILITY LEGEND

— EXSD —	EXISTING STORM DRAIN
— EX-SW —	EXISTING SECONDARY WATER
— EX-W —	EXISTING WATER
— S — S —	EXISTING SANITARY SEWER
— W — W —	NEW WATER MAIN
— RRR — RRR —	NEW SECONDARY WATER MAIN
— S — S —	NEW SEWER MAIN
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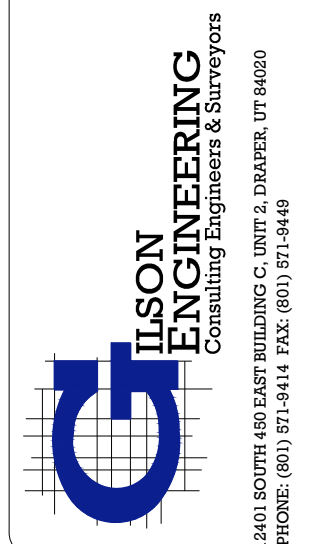
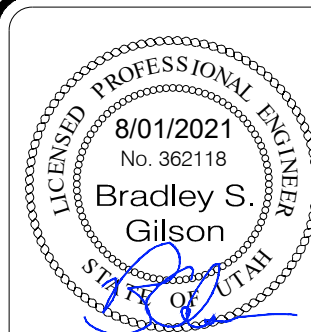
**PLAN & PROFILES STA:13+00 - 16+72**

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**C.210**



# THE ORCHARD PLAT "F-6"

## -INDEX OF PLAN SHEETS-

SHEET	DESCRIPTION
1	COVER SHEET
2	FINAL PLAT
3	UTILITY INDEX SHEET
4	GRADING & DRAINAGE SHEET
PP-01	STREET PLAN & PROFILE - 250 WEST STREET
PP-02	STREET PLAN & PROFILE - GINGER GOLD ROAD STA: 5+00 - 11+00
PP-03	STREET PLAN & PROFILE - GINGER GOLD ROAD STA: 11+00 - 17+00
PP-04	STREET PLAN & PROFILE - GINGER GOLD ROAD STA: 17+00 - 20+66.60
DT-01	DETAILS
DT-02	DETAILS

## GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT.
- A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, SANTAQUIN CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT OF APPLE HOLLOW PLAT F-5.
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.

## ROADWAY/STORM DRAIN

- ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF SANTAQUIN CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL STORM DRAIN PIPES TO BE REINFORCED CONCRETE PIPE (RCP) CLASS III OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CLEANOUT/ACCESS LOCATIONS MEET SANTAQUIN IRRIGATION COMPANY SPECIFICATIONS AND ARE COMPLETED UNDER THE DIRECTION OF SANTAQUIN IRRIGATION COMPANY.
- ALL IRRIGATION CORNERS (ANGLE POINTS) SHALL HAVE A PRE CAST - REINFORCED CONCRETE MANHOLE, WITH A WATERTIGHT SOLID MANHOLE COVER.
- ALL STORM DRAIN INLET BOXES TO MEET SANTAQUIN CITY STANDARD DRAWING 052 W/1' SEDIMENT TRAP.

## SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SANTAQUIN CITY DESIGN STANDARDS & PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF SANTAQUIN CITY.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY SANTAQUIN CITY.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.

## WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST SANTAQUIN CITY WATER DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.
- WATERLINES TO BE BEDDED IN GRANULAR MATERIAL. A MIN. OF 8" COVER OVER TOPS OF PIPE IS REQUIRED TO AVOID PENETRATION OF SUB BASE FROM ABOVE.
- ALL CULINARY WATERLINES, REGARDLESS OF SIZE, SHALL BE DUCTILE IRON & SHALL BE POLYWRAPPED.

### TABULATIONS

ZONE:	R-10 PUD ZONE
PLAT "F-6" AREA:	2.075 ACRES
# OF LOTS:	7 LOTS
LOT AREA:	1.049 ACRES
RIGHT-OF-WAY AREA:	1.026 ACRES
DENSITY:	3.37 UNITS/ACRE

ACCEPTANCE	
SIGNATURE: _____ DEVELOPER	DATE _____
SIGNATURE: _____ CITY ENGINEER	DATE _____
SIGNATURE: _____ COMMUNITY DEV. DIRECTOR	DATE _____
SIGNATURE: _____ PUBLIC WORKS	DATE _____
SIGNATURE: _____ BUILDING DEPARTMENT	DATE _____
SIGNATURE: _____ POLICE DEPARTMENT	DATE _____
SIGNATURE: _____ FIRE DEPARTMENT	DATE _____







## SENTIDV LINK ACCEPTANCE

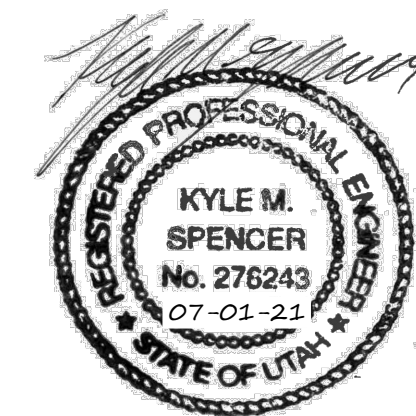
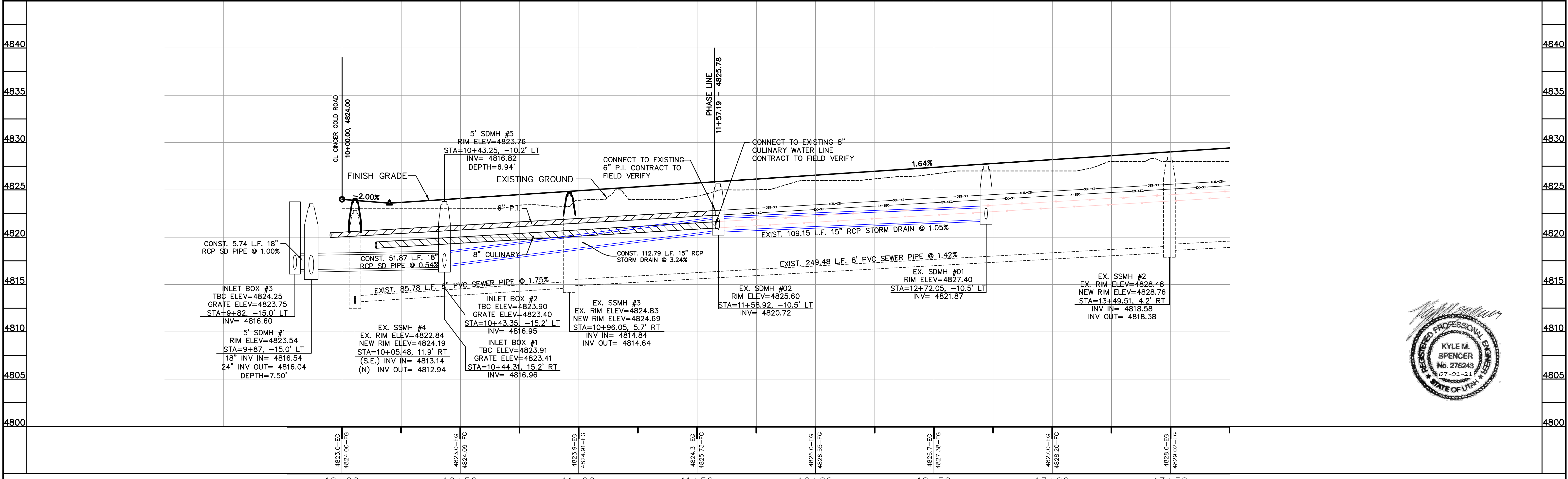
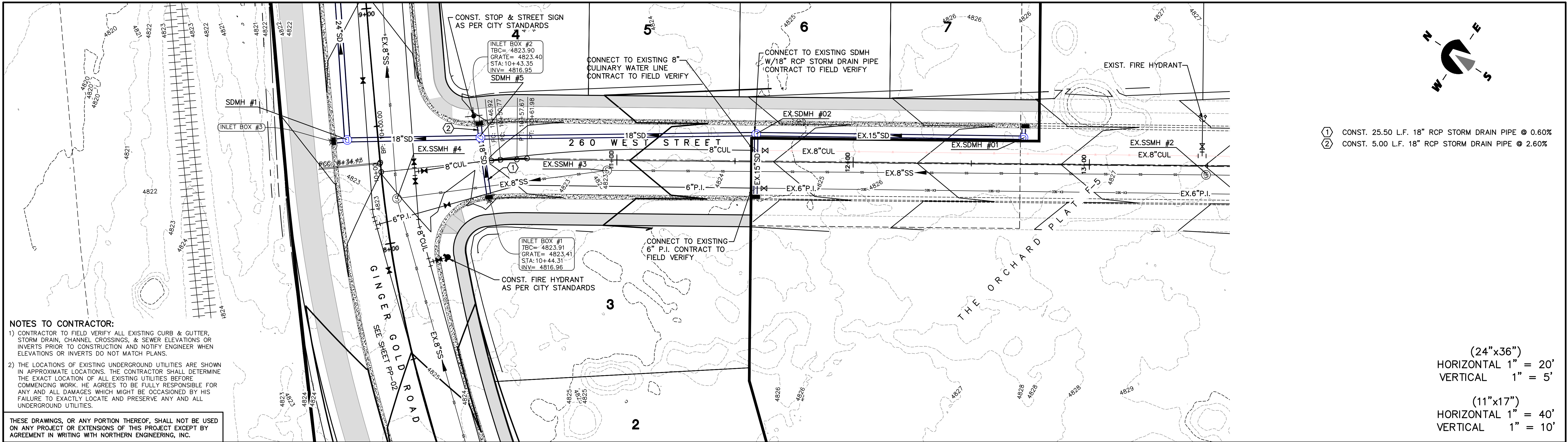












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**Northern**  
ENGINEERING INC  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

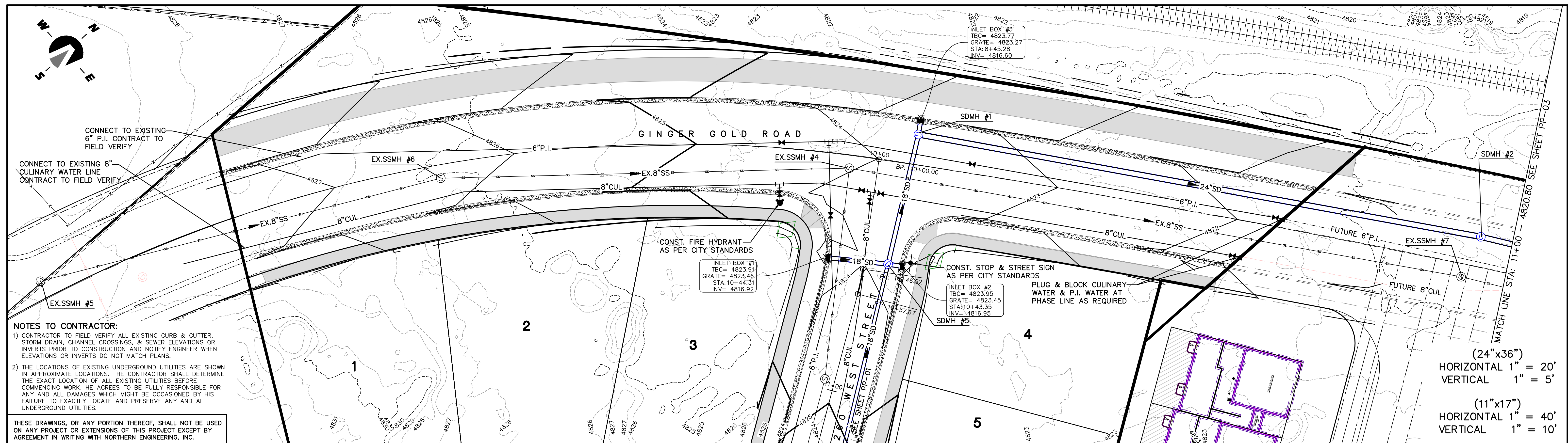
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**THE ORCHARD PLAT "F-6"**

260 WEST STREET  
SANTAQUIN, UTAH

JOB NO.  
3-21-053  
SHEET NO.  
PP-01





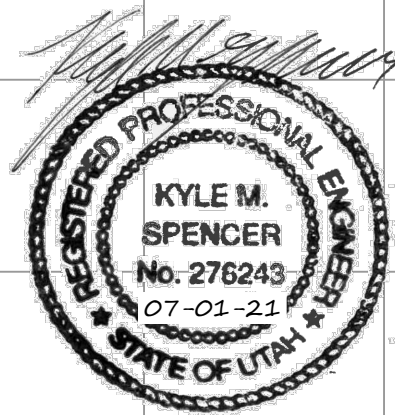
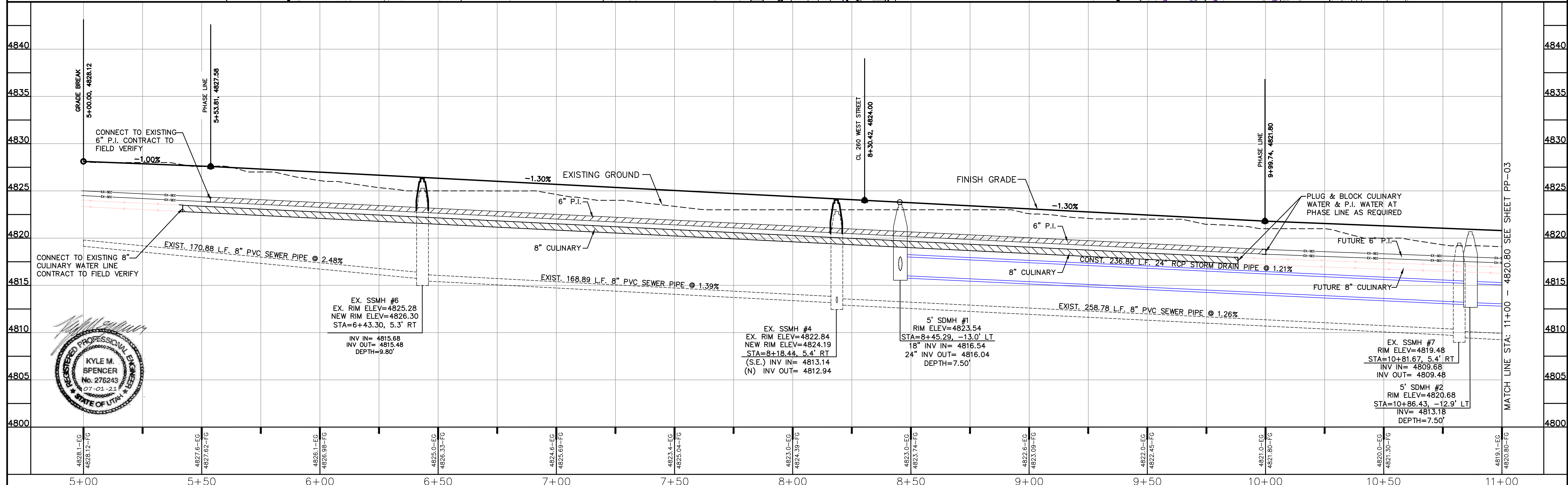
NOTES TO CONTRACTOR:

- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'



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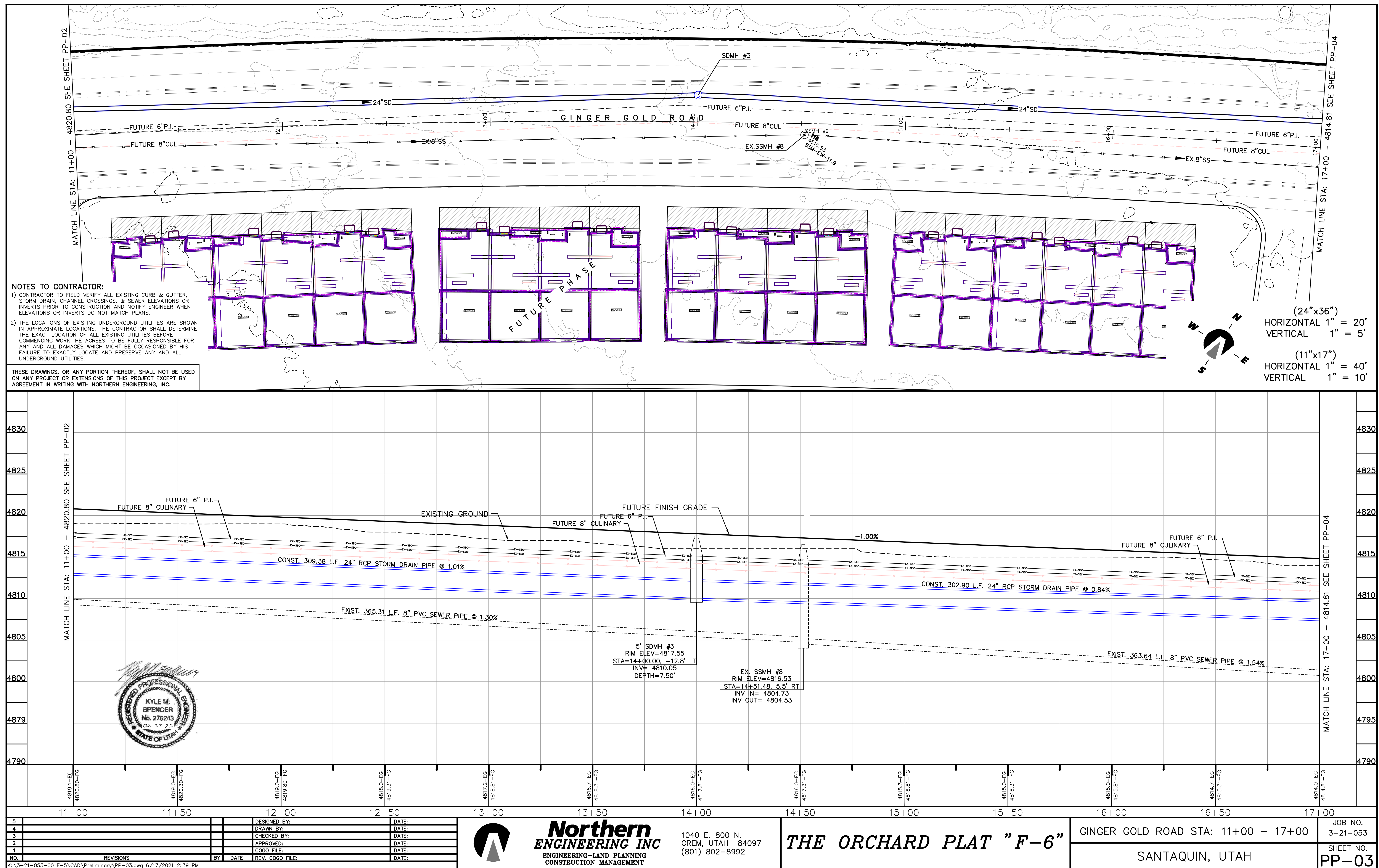


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<b>THE ORCHARD PLAT "F-6"</b>		GINGER GOLD ROAD STA: 5+00 - 11+00	JOB NO. 3-21-053
SANTAQUIN, UTAH			SHEET NO. <b>PP-02</b>

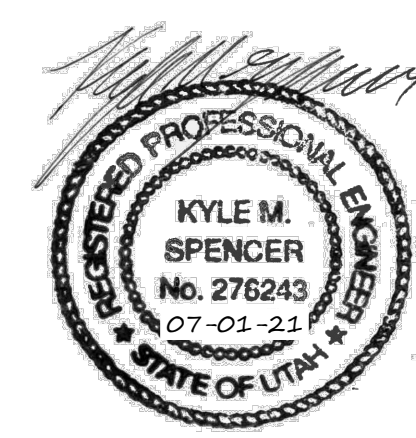
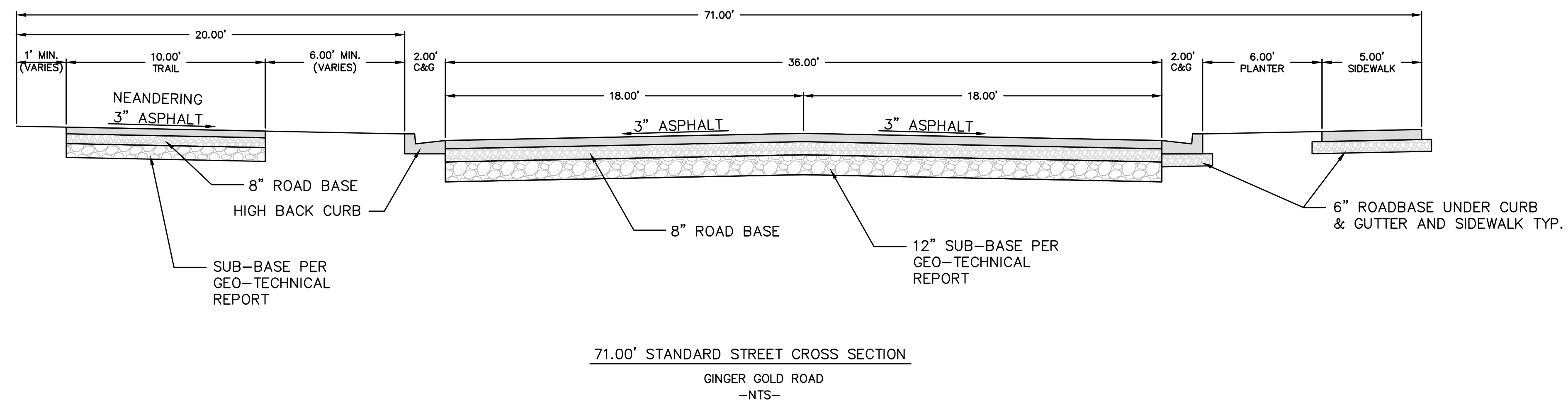
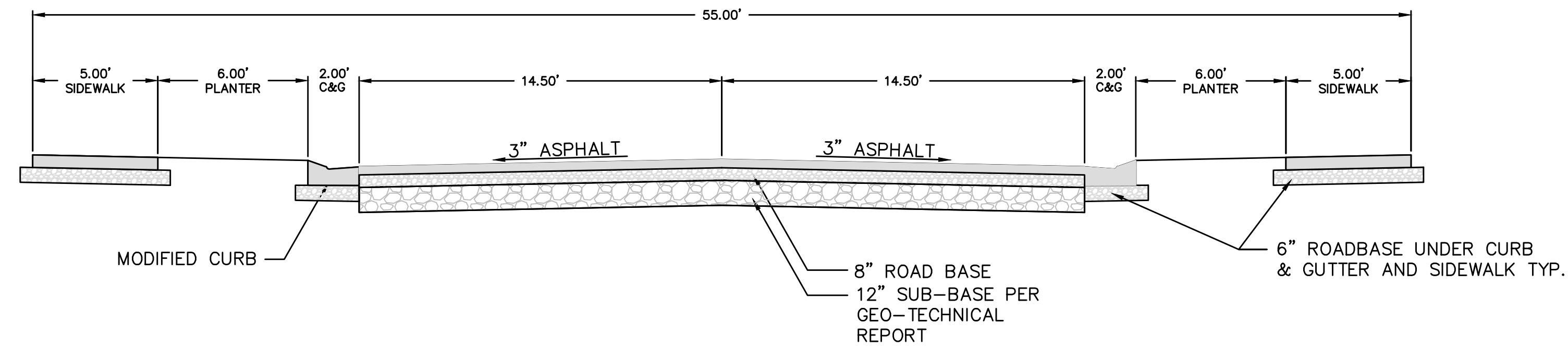












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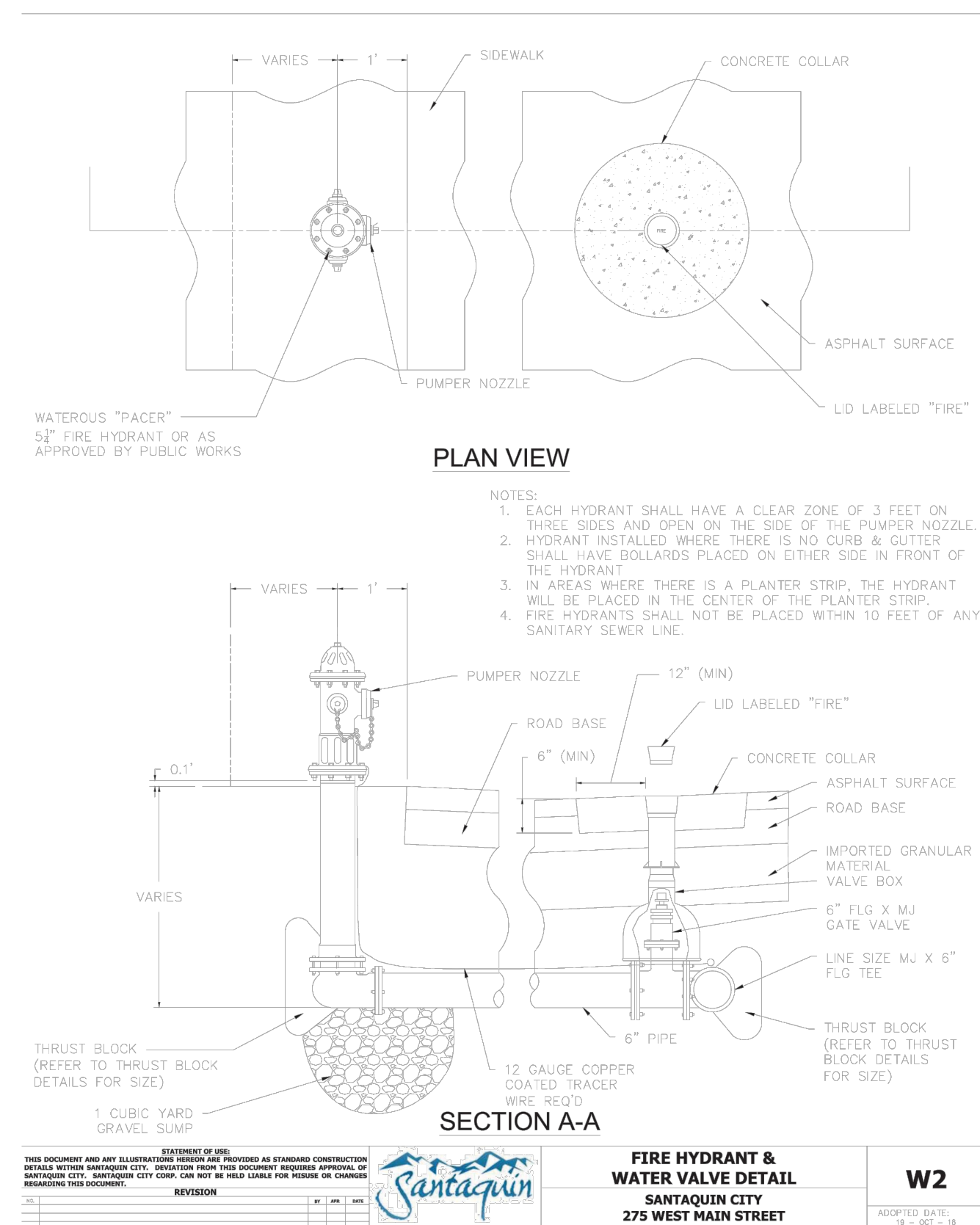
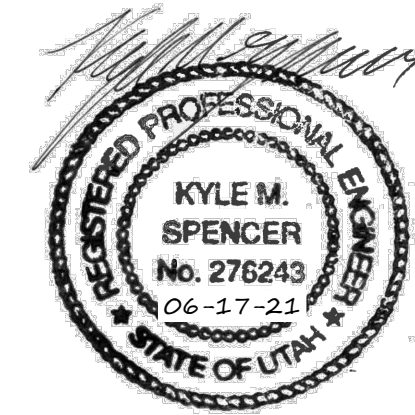
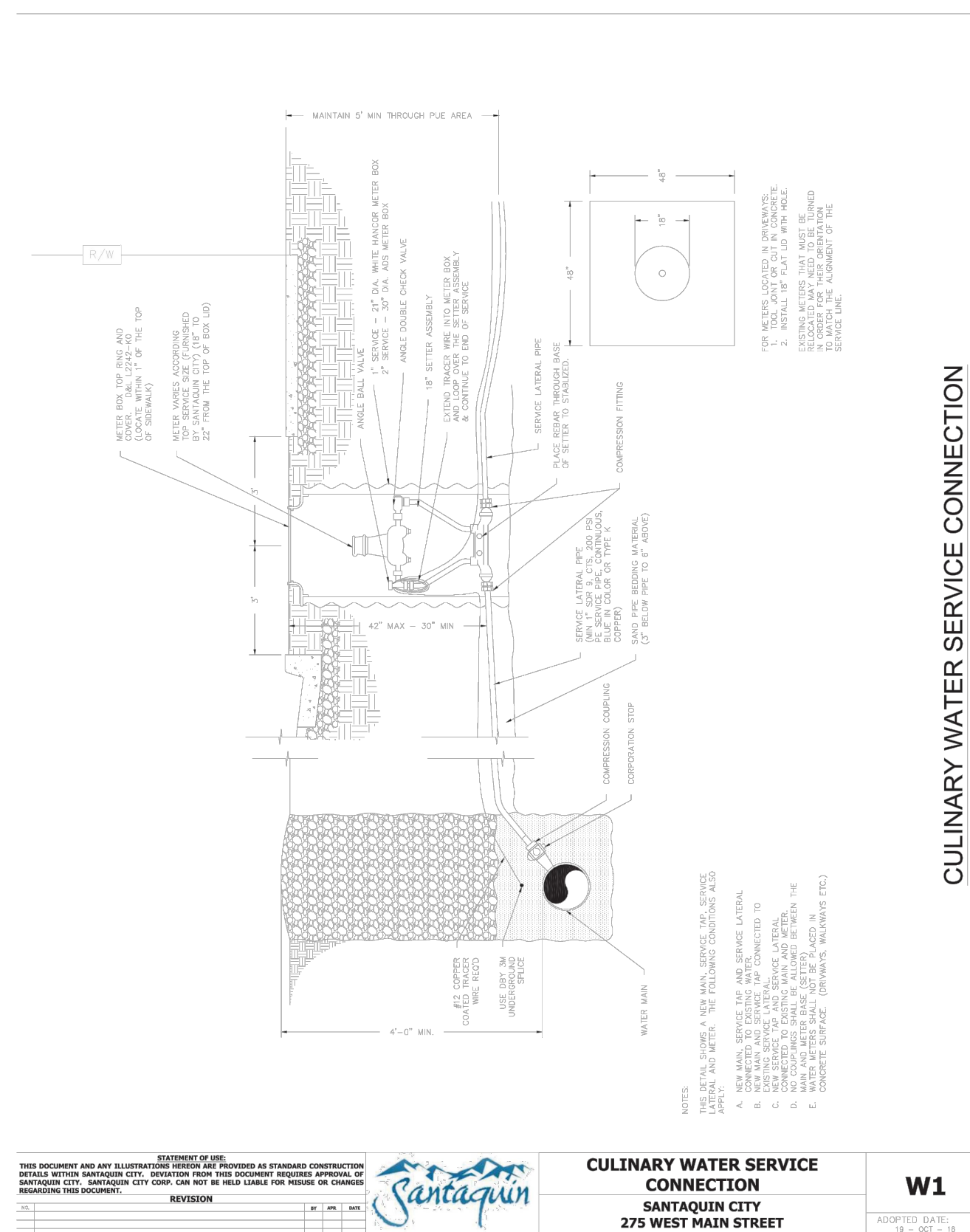
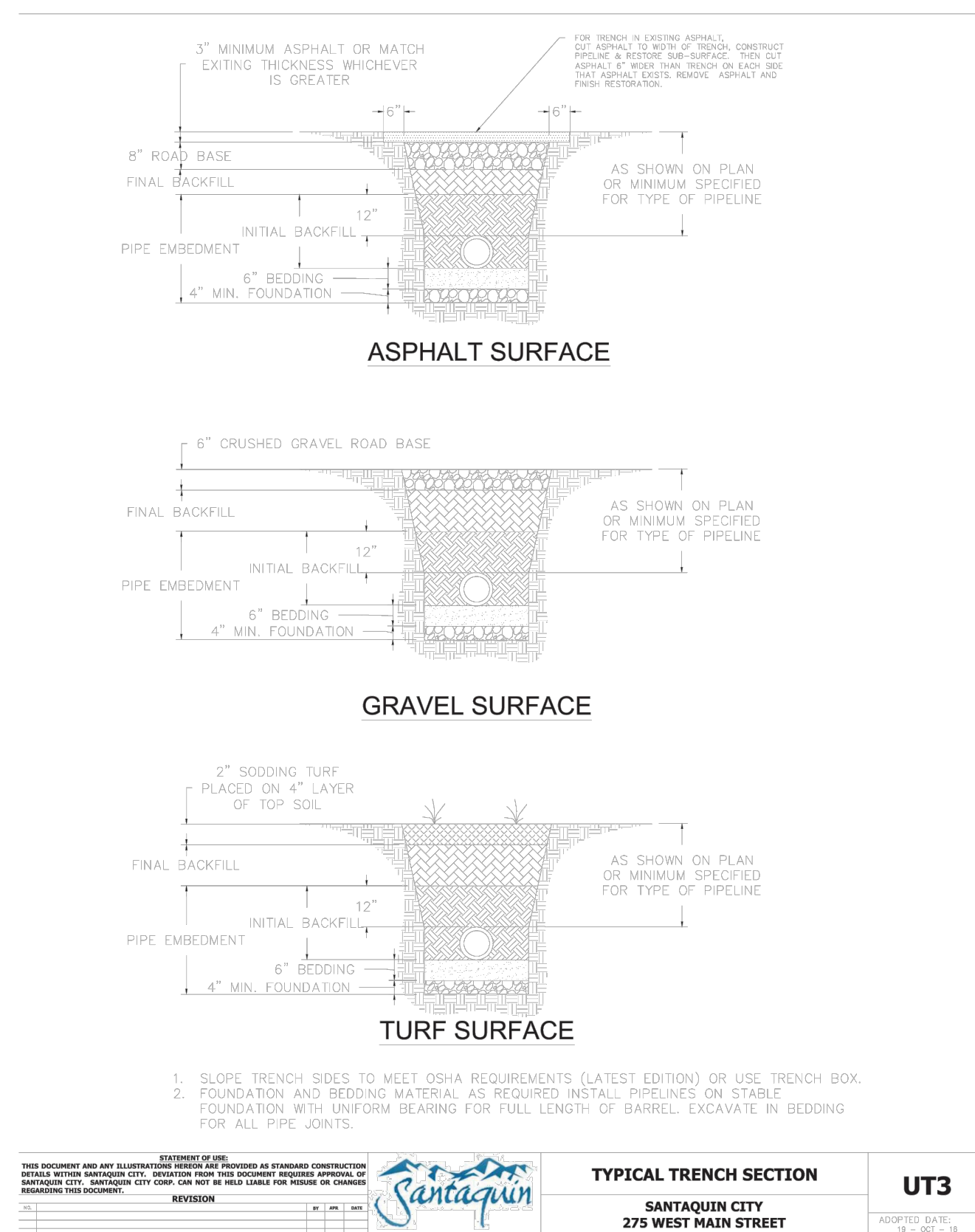
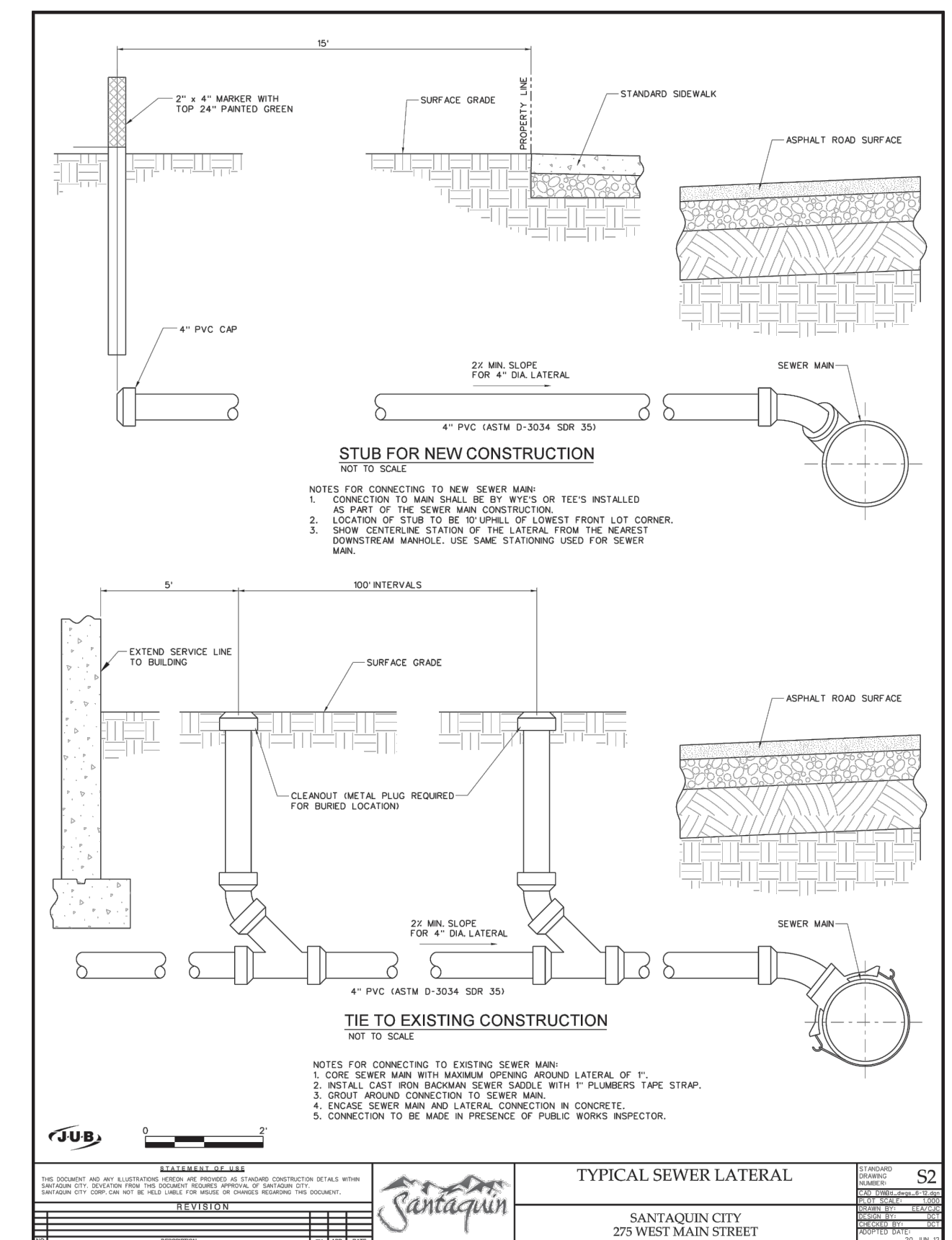
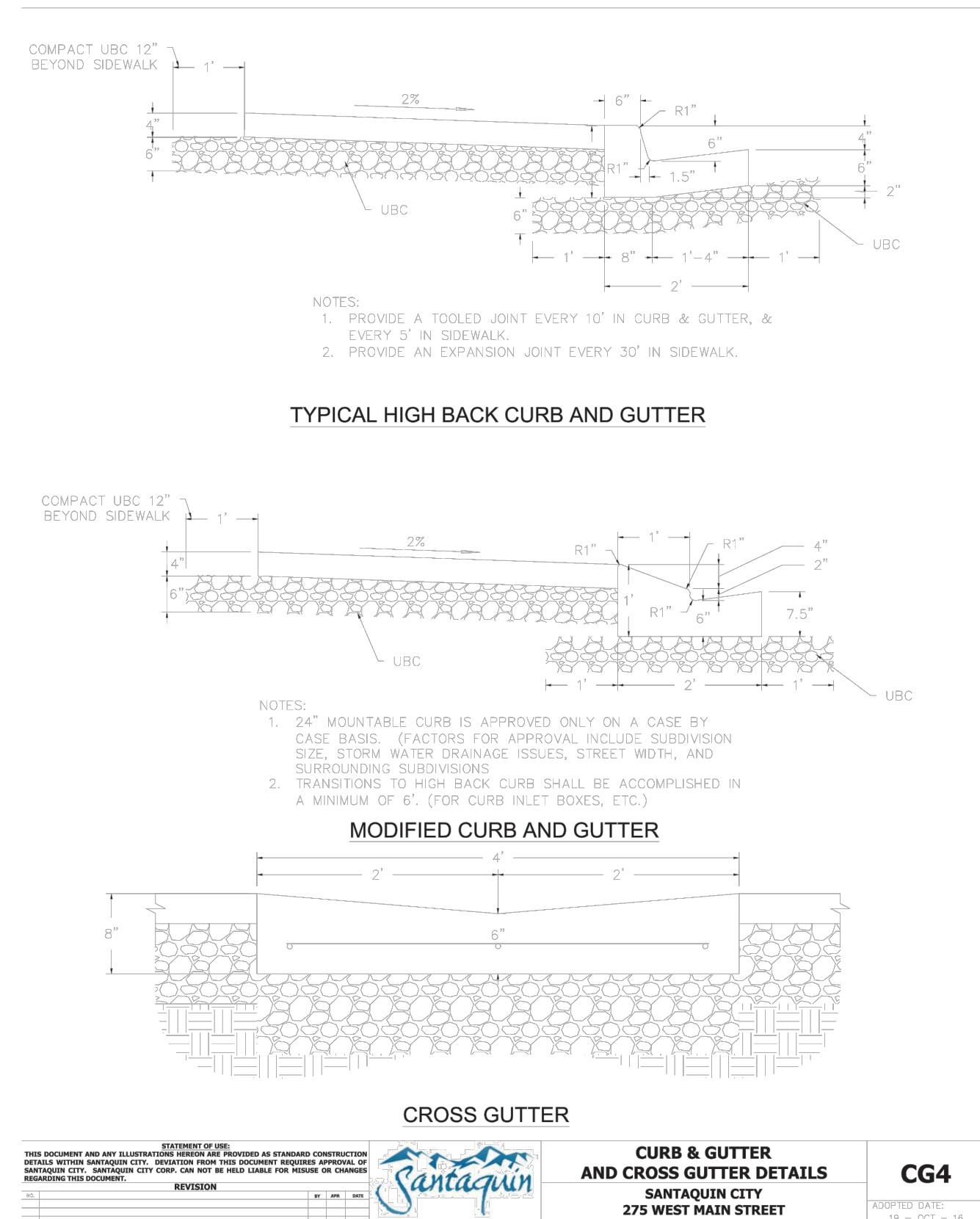
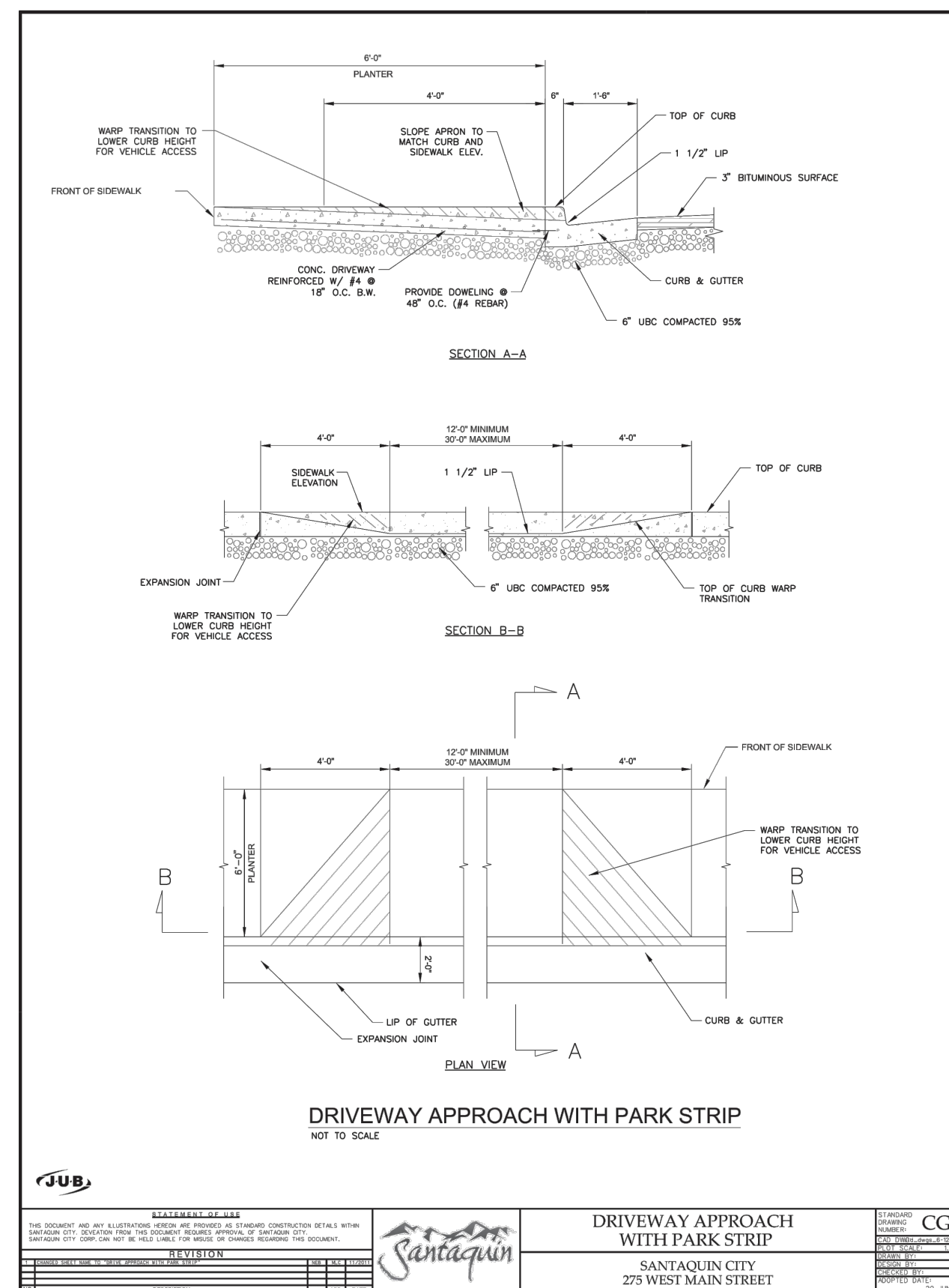
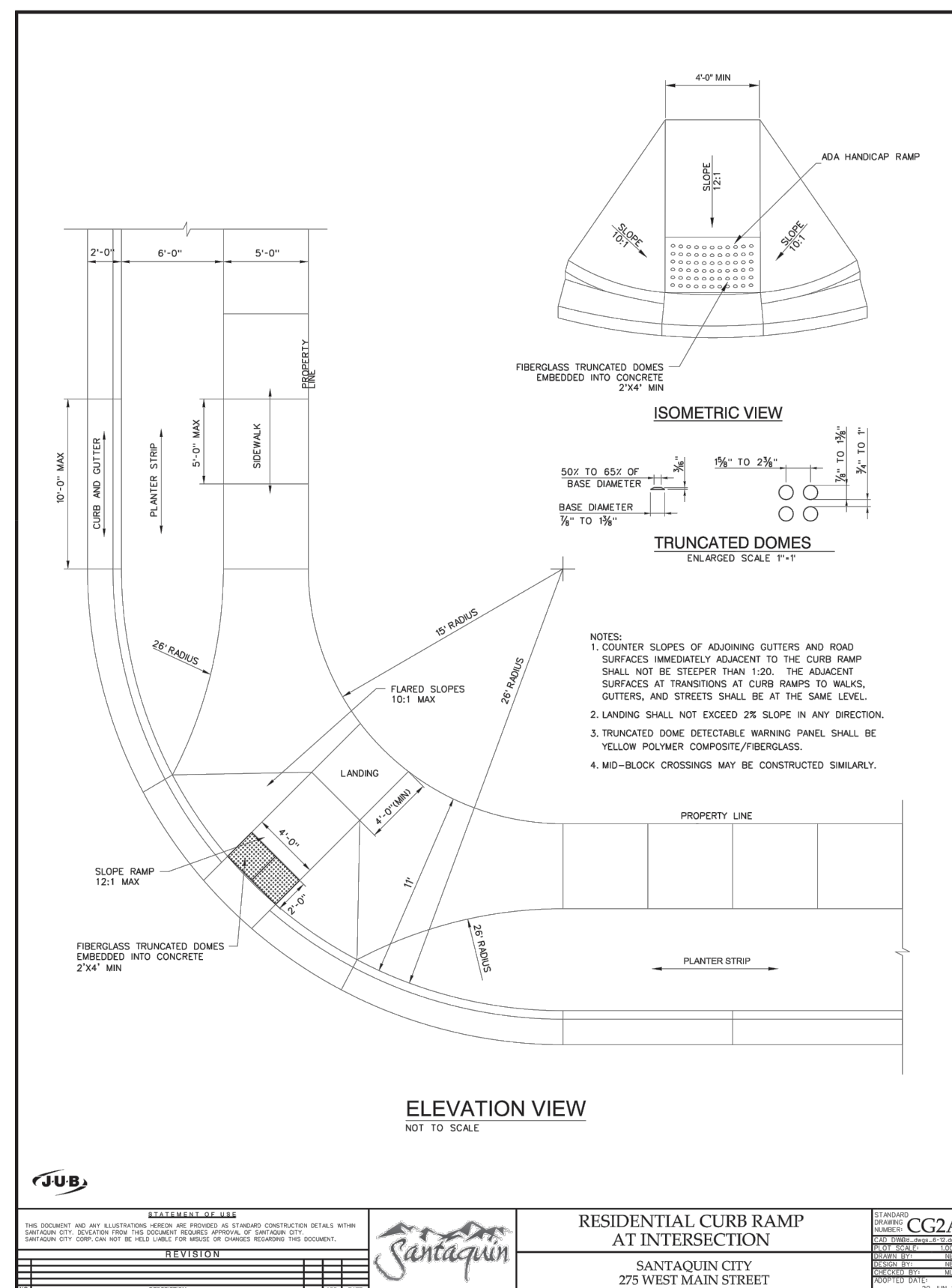
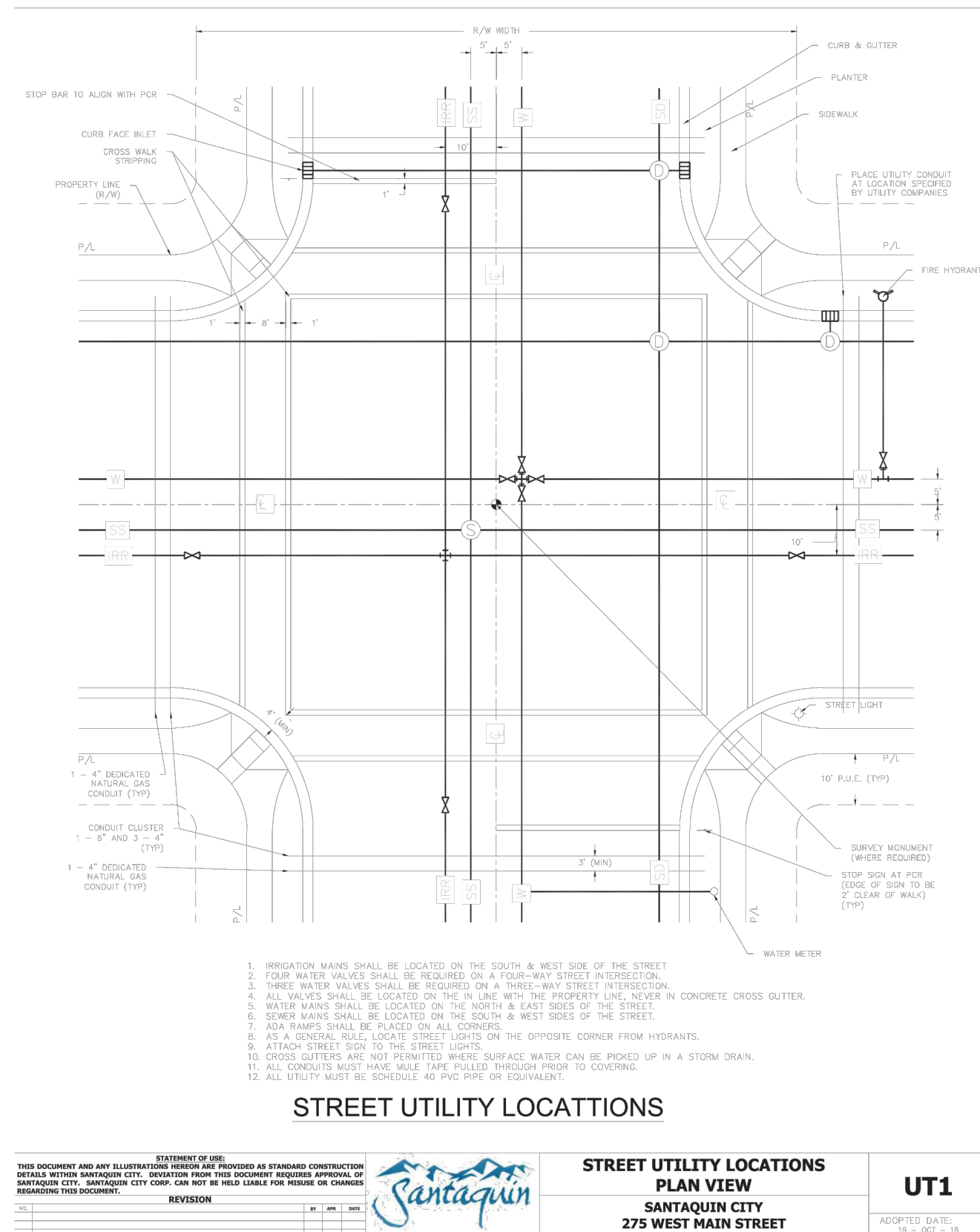
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CONSTRUCTION MANAGEMENT

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**THE ORCHARD PLAT "F-6"**

DETAILS	JOB NO. 3-21-053
SANTAQUIN, UTAH	SHEET NO. DT-01





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DETAILS

SANTAQUIN, UTAH

JOB NO.  
3-21-053

SHEET NO.  
DT-02



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CONSTRUCTION MANAGEMENT

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**THE ORCHARD PLAT "F-6"**

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**DRC Meeting Minutes**  
**Tuesday, July 27, 2021**

**DRC Members in Attendance:** Engineer Jon Lundell, Officer Russ Woodland, Building Official Randy Spadafora, Fire Chief Ryan Lind, Community Development Director Jason Bond and City Manager Ben Reeves.

**Others in Attendance:** Shawn Young AWA, Jillian Koop representing Tommy's Car Wash (Attending Via Zoom).

Mr. Lundell called the meeting to order at 10:01 a.m.

**Commercial Building in Ridley's Development (Tommy's Car Wash)**

*A site plan review of a commercial building which will be located at approximately 60 N. and 400 E.*

Mr. Lundell noted that DRC is the final approval body for this site plan.

**Fire:** Chief Lind asked if cars will be exiting on the north side? Mr. Young explained that the cars will enter at the south and exit to the north. Chief Lind expressed concern regarding the water coming onto 400 E. and freezing in the winter.

**Planning and Zoning:** Mr. Bond clarified that this site plan has gone through architectural review and received conditional approval. After DRC site plan approval, they can move forward with bonding and getting a building permit.

**Engineering:** Mr. Lundell stated that a photometric plan is required for all commercial site plans. He asked where the developer is proposing to put a trash enclosure on the site? Mr. Young indicated that they would like to have a shared trash enclosure with either Fiiz or Macey's. Mr. Lundell stated that if they were to have a shared trash enclosure written permission would be needed from Mr. Ridley.

Mr. Lundell asked how the traffic will be directed through the entry to the car wash as there are two lanes at the entrance and only one going into the carwash. Mr. Young clarified that there will be two types of lanes, but the intent is to have one car entering at a time. Mr. Lundell asked that striping for lanes is provided on the plans to provide clarity. Mr. Bond suggested that there is either hatching or a sign in the red highlighted area (to the north of the building) which states no standing, idling, etc. so that traffic flow around the car wash doesn't get blocked. Mr. Lundell asked that the developer provide verification regarding the occupancy, number of employee's, etc. to ensure that the parking is adequate. Mr. Young explained that their intent is to have some shared parking with Macey's. Mr. Bond indicated that approval from the Planning Commission and documentation from Macey's for the shared parking would be required.

Mr. Lundell explained that if a retaining wall is more than 4 feet in height, a building permit and engineering will be required. He asked that the developer provided the anticipated water usage for the site; as this will allow for the calculation of the culinary water impact fee, as well as water dedication requirements. Mr. Young illustrated that they reclaim water within the system to keep water usage minimal. He stated that he will provide numbers. Mr. Lundell also asked that they provide the anticipated concentration of soaps & silts that come out in the wastewater after any



**DRC Meeting Minutes**  
**July 27, 2021**  
**Page 2 of 2**

onsite treatment: to ensure that it won't be detrimental to the City's wastewater treatment system. Mr. Lundell indicated that all curb inlets require a 3-foot sump per City Standards and Specifications. He also noted a proposed tree in the landscaping plans which is located within the intersection. He explained that an adequate clear view area needs to be provided and the tree may need to be removed.

Mr. Spadafora asked if there will be a grease trap? Mr. Young answered that there will be multiple grease traps within the treatment vaults. Mr. Lundell asked how often the reclaim tanks will be cleaned out? Ms. Koop stated that on average they are cleaned out monthly, but it is done according to usage. Mr. Lundell stated that he plans to discuss the water usage, and reclamation process with Mr. Callaway, Public Works Director.

No comments from Police, Administration or Building Official.

**Motion:** Mr. Reeves motioned to approve the Site Plan for Tommy's Car Wash conditioned upon, the redlines being addressed, and the shared parking agreement being reviewed and approved by the Planning Commission. Chief Lind seconded. The motion passed unanimously in the affirmative.

### **Traffic Control Device Request- Apple Valley Crosswalk Sign**

*The DRC will review a request for non-flashing crosswalk signs going east/west in front of Apple Valley Elementary School located at approximately 105 E. 770 N.*

Mr. Lundell explained that Principal Argyle of Apple Valley Elementary School requested that school crossing signs be placed east and west bound on the road in front of the school. He pointed out the crosswalk which has been added in front of the school. Mr. Lundell noted that this crosswalk will be manned by the school district. Mr. Bond clarified that these signs would supplement the existing crosswalk and better bring it to people's attention.

**Motion:** Mr. Reeves motioned to approve the request for the crosswalk signs in front of Apple Valley Elementary School. Chief Lind seconded. The motion passed unanimously in the affirmative.

### **MEETING MINUTES APPROVAL**

July 13, 2021

**Motion:** Chief Lind Motioned to approve the minutes from July 13, 2021. Officer Woodland seconded. The motion passed unanimously in the affirmative.

### **AJOURNMENT**

The meeting was adjourned at 10:29 a.m.

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Jon Lundell, City Engineer

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Kira Petersen, Deputy Recorder