



DEVELOPMENT REVIEW COMMITTEE

Tuesday, February 24, 2026, at 10:00 AM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://www.youtube.com/@santaquincity> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Scenic Ridge Estates Phase D

A preliminary plan review of a 3-lot subdivision located at 430 S 1200 E

2. Heritage Circle Preliminary Plan

A preliminary plan review of a 6-lot subdivision located at approximately 100 S 100 W

MEETING MINUTES APPROVAL

3. February 10, 2026

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.gov, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

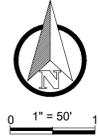
BY:

Stephanie Christensen, City Recorder

2/2/2026

SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 PLAT
- SHEET 3 PHASING PLAN
- SHEET 4 LOT LAYOUT
- SHEET 5 OVERALL WATER
- SHEET 6 OVERALL SEWER
- SHEET 7 OVERALL STORM DRAIN
- SHEET 8 SLOPE MAP
- SHEET 9 CONSTRUCTION TRAFFIC MAP
- SHEET 10 OVERALL GRADING PLAN
- SHEET 11 PLAN AND PROFILE (1200 EAST STREET)
- SHEET 12 PLAN AND PROFILE (430 SOUTH STREET)
- SHEET 13 DETAIL SHEET
- SHEET 14 DETAIL SHEET
- SHEET 15 DETAIL SHEET
- SHEET 16 EROSION CONTROL PLAN



SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

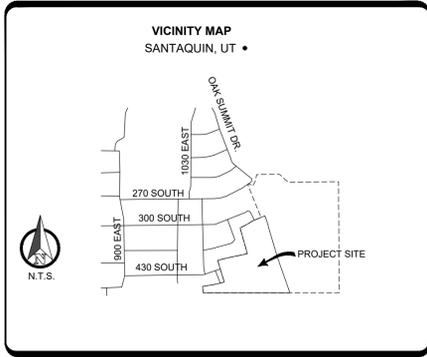
PLAN REVISIONS

NO. 276219
Joseph Nick Santos
REGISTERED PROFESSIONAL ENGINEER
STATE OF UTAH

RIMROCK ENGINEERING & DEVELOPMENT

PROPERTY OWNER
 NJC DEVELOPMENT, LLC
 690 E. 600 S.
 SANTAQUIN, UTAH, 84655

PROPERTY DEVELOPER
 BASTIAN HOMES, LLC
 1184 S. 1150 W.
 PAYSON, UTAH, 84651



CAD TECH: CRS
 DESIGNER: CRS
 Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

SHEET NAME
COVER SHEET

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER 1

D:\2026\4300_ScenicRidge_Estates\Phase D\SCENIC RIDGE PHASE D\UNB\ScenicRidge_Phase D.dwg



0 1" = 50' 1"

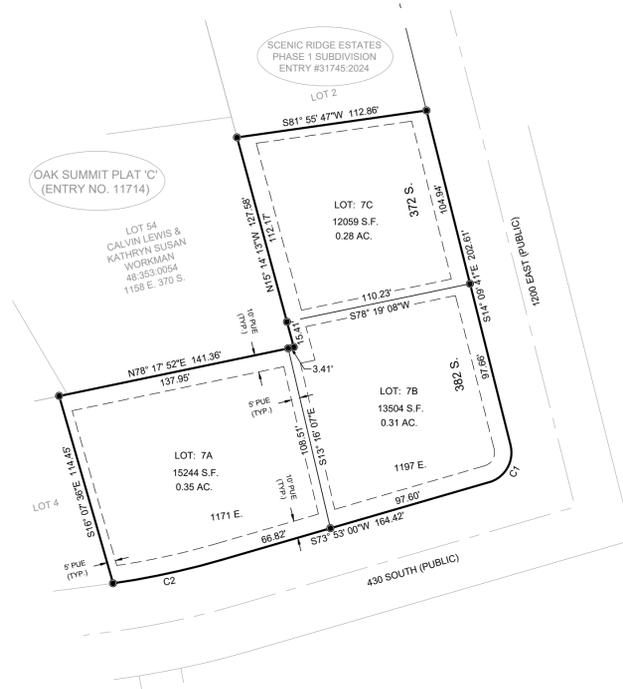
SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1 CREATING LOTS 7A, 7B & 7C

LOCATED IN THE:
SOUTHWEST QUARTER OF SECTION 6,
TOWNSHIP 10 SOUTH, RANGE 2 EAST
SALT LAKE BASE AND MERIDIAN,
SANTAQUIN CITY, UTAH COUNTY, UTAH

GENERAL PLAT NOTES

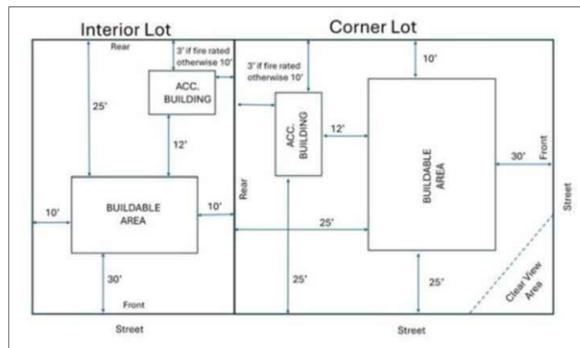
- A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT (P.U.E) IS CREATED ALONG THE FRONT OF EACH LOT AND 5.00 FOOT ALONG THE REAR AND INTERIOR SIDE YARD. PER THIS PLAT. EACH LOT ALONG A STREET REQUIRES A 10.00 FOOT WIDE FRONT AND SIDE YARD PUBLIC UTILITY EASEMENT.
- THE SCENIC RIDGE PHASE 1 SUBDIVISION ENTRY#31745:2024 BOUNDARY RECORDED IN THE UTAH COUNTY RECORDERS OFFICE. WAS ESTABLISHED FROM A COMPLETED RECORD OF SURVEY BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE. THIS PLAT AMENDMENT WAS ESTABLISHED USING THE SCENIC RIDGE PHASE 1 PLAT.
- ZONING: R-12 SETBACKS (BUILDABLE AREA) PER CODE 10.20.090: DETACHED SINGLE-FAMILY DEVELOPMENT STANDARDS: (TABLE)
- FRONT YARD- FRONT SETBACKS TO THE LIVING AREA FROM ALL STREET FRONTING PROPERTY LINES: 30.0 SIDE YARD - 10.0 FEET (25.0 FEET SIDE YARD) REAR YARD - 25.0 FEET. (SEE SHEET 2)
- AT THE TIME THAT THIS PLAT WAS PREPARED, THE PROPERTY OWNER WAS NJC DEVELOPMENT, LLC. PER WARRANTY DEED, ENTRY NUMBER 1477-2025, AS RECORDED IN THE UTAH COUNTY RECORDERS OFFICE, UTAH COUNTY PARCEL NUMBERS 32-040-0082, 32-040-0083.
- THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.66	18.00	88°02'41"	N29°51'39"E	25.02
C2	65.53	472.00	7°57'15"	N77°51'37"E	65.47



SUBDIVISION BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, SANTAQUIN CITY, UTAH COUNTY, UTAH:
ALL OF LOT 7, SCENIC RIDGE ESTATES SUBDIVISION AS RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDERS OFFICE ENTRY NUMBER 31745-2024.



OWNER'S DEDICATION AND CONSENT TO RECORD

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1, CREATING LOTS 7A, 7B & 7C. DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

AS WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS ____ DAY OF _____, 20____, A.D.

BY: NJC DEVELOPMENT LLC. DATE: _____
NEIL J. CRAIG

ACKNOWLEDGMENT

THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20____ BY _____ WHO REPRESENTED THAT (S)HE IS THE AUTHORIZED SIGNER FOR NJC DEVELOPMENT LLC. AND THE OWNER OF THE ABOVE DESCRIBED PROPERTY AND HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

SIGNATURE OF NOTARY PUBLIC _____

PRINTED NAME OF NOTARY PUBLIC _____

RESIDING IN _____, UTAH

STATE OF UTAH } S.S.

COUNTY OF _____ }

MY COMMISSION EXPIRES: _____

MY COMMISSION NUMBER: _____ (NOTARY STAMP)

SURVEYOR'S CERTIFICATE

I, TRAVIS R. GOWER, EMPLOYED BY RIMROCK ENGINEERING AND DEVELOPMENT, CONTACT NUMBER, 801-837-0633, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS LICENSING ACT AND THAT I HOLD CERTIFICATE NUMBER 6439364 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND BY THE AUTHORITY OF THE OWNER(S), I HAVE REVIEWED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT, IN OCTOBER 2021, IN ACCORDANCE WITH A RECORD OF SURVEY PREPARED BY EPIC ENGINEERING, FILE NUMBER 22-003, AS FILED IN THE UTAH COUNTY SURVEYOR'S OFFICE AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS, HEREAFTER TO BE KNOWN AS: SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1 LOT 7 AMENDED AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1

PRELIMINARY

Travis R. Gower
TRAVIS R. GOWER
P.L.S. 6439364



February 2, 2026
DATE

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____, 2026.

APPROVED MAYOR OF SANTAQUIN _____ ENGINEER (SEE SEAL) _____

ATTEST - CLERK RECORDER (SEE SEAL) _____

CITY ENGINEER

(SEAL)

CLERK - RECORDER

(SEAL)

UTILITY APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MOUNTAIN POWER: _____ DATE: _____

CETRAMCOM: _____ DATE: _____

CENTURY LINK: _____ DATE: _____

DOMINION ENERGY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES, AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

APPROVED THIS ____ DAY OF _____, 20____

DOMINION ENERGY

BY: _____

TITLE: _____

PROPERTY OWNER/DEVELOPER
NJC DEVELOPMENT
978 E 430 S, SANTAQUIN
UTAH 84655

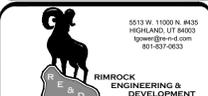
LEGEND

- SECTION CORNER (FOUND)
- SECTION LINE
- BOUNDARY LINE
- PARCEL LINE
- SET MONUMENT (AS NOTED)
- FOUND MONUMENT
- CHAIN LINK FENCE
- WIRE FENCE
- EDGE OF ASPHALT

VICINITY MAP



SCENIC RIDGE ESTATES SUBDIVISION - PHASE 1
LOT 7 AMENDED, AMENDING LOT 7 SCENIC RIDGE ESTATES PHASE 1
SW 1/4 OF SEC 6, T10S, R2E, SLB&M
SANTAQUIN CITY, UTAH COUNTY, UTAH



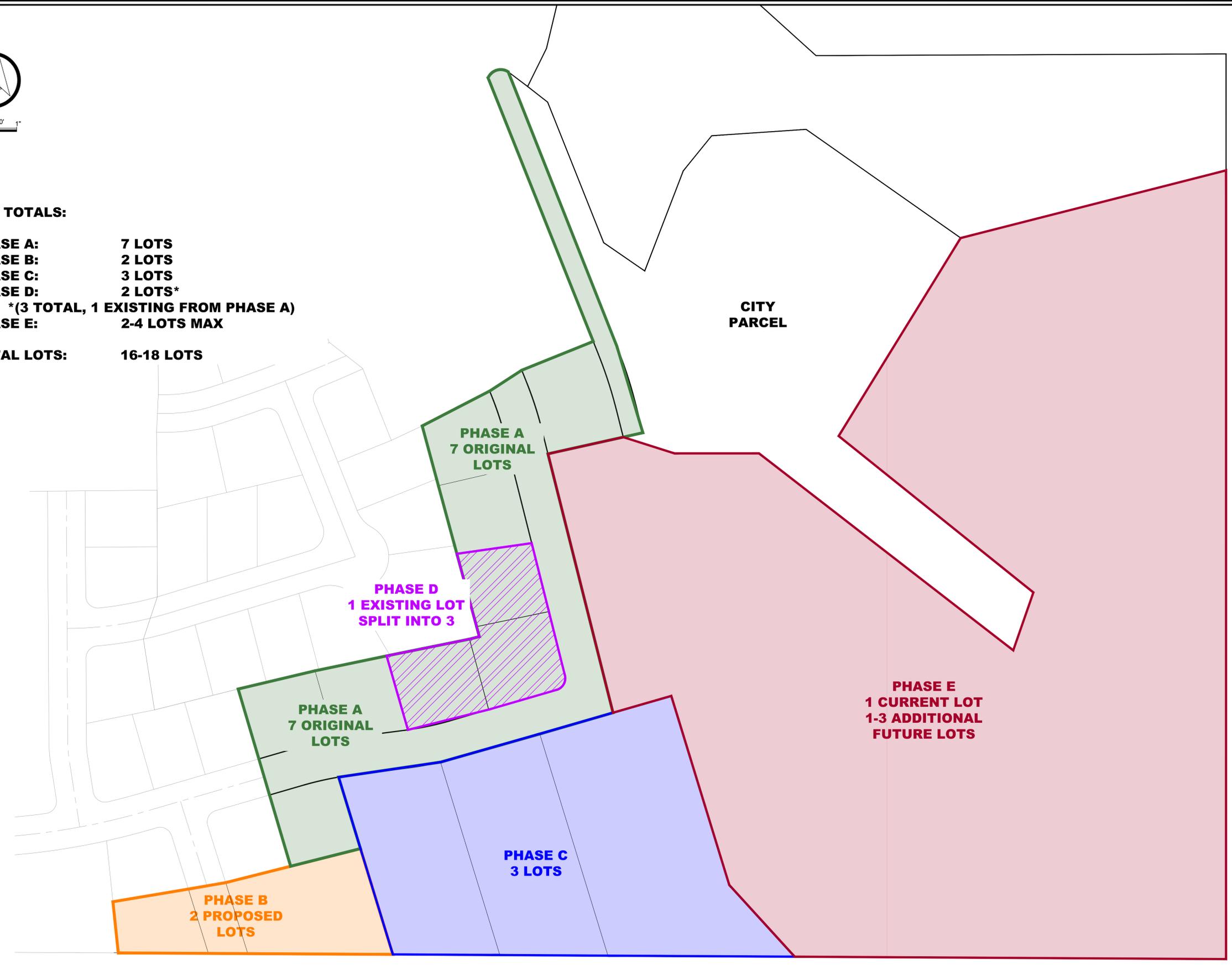
PROJECT #:
RGC2413-07-01
DATE:
02/02/2026
DRAWN: AP
CHECKED: TG
SHEET NO:
1 OF 1

2/2/2026
D:\TDP\1440\JOHN\SCENIC RIDGE ESTATES\Phase D\SCENIC RIDGE ESTATES PHASE D\PHASING PLAN.dwg



LOT TOTALS:

PHASE A: 7 LOTS
PHASE B: 2 LOTS
PHASE C: 3 LOTS
PHASE D: 2 LOTS*
 *(3 TOTAL, 1 EXISTING FROM PHASE A)
PHASE E: 2-4 LOTS MAX
TOTAL LOTS: 16-18 LOTS

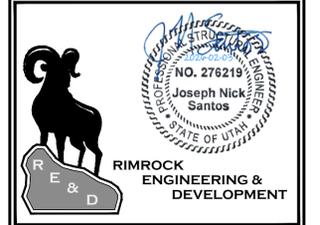


SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS



CAD TECH: CRS
 DESIGNER: CRS
 Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

SHEET NAME
PHASING PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET
 2/2/26

SHEET NUMBER
3

2/2/2026



DENSITY TABLE		
ZONE	R-12	
LOTS	3 RESIDENTIAL	
TOTAL ACREAGE	0.94 +/-	100%
LOT ACREAGE	0.94 +/-	100%

NOTE:
SEE SHEET 2 FOR ROADWAY AND
RESIDENTIAL LOT INFORMATION



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SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

Professional Engineer
 NO. 276219
 Joseph Nick Santos
 STATE OF UTAH

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

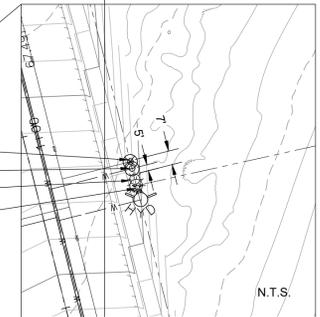
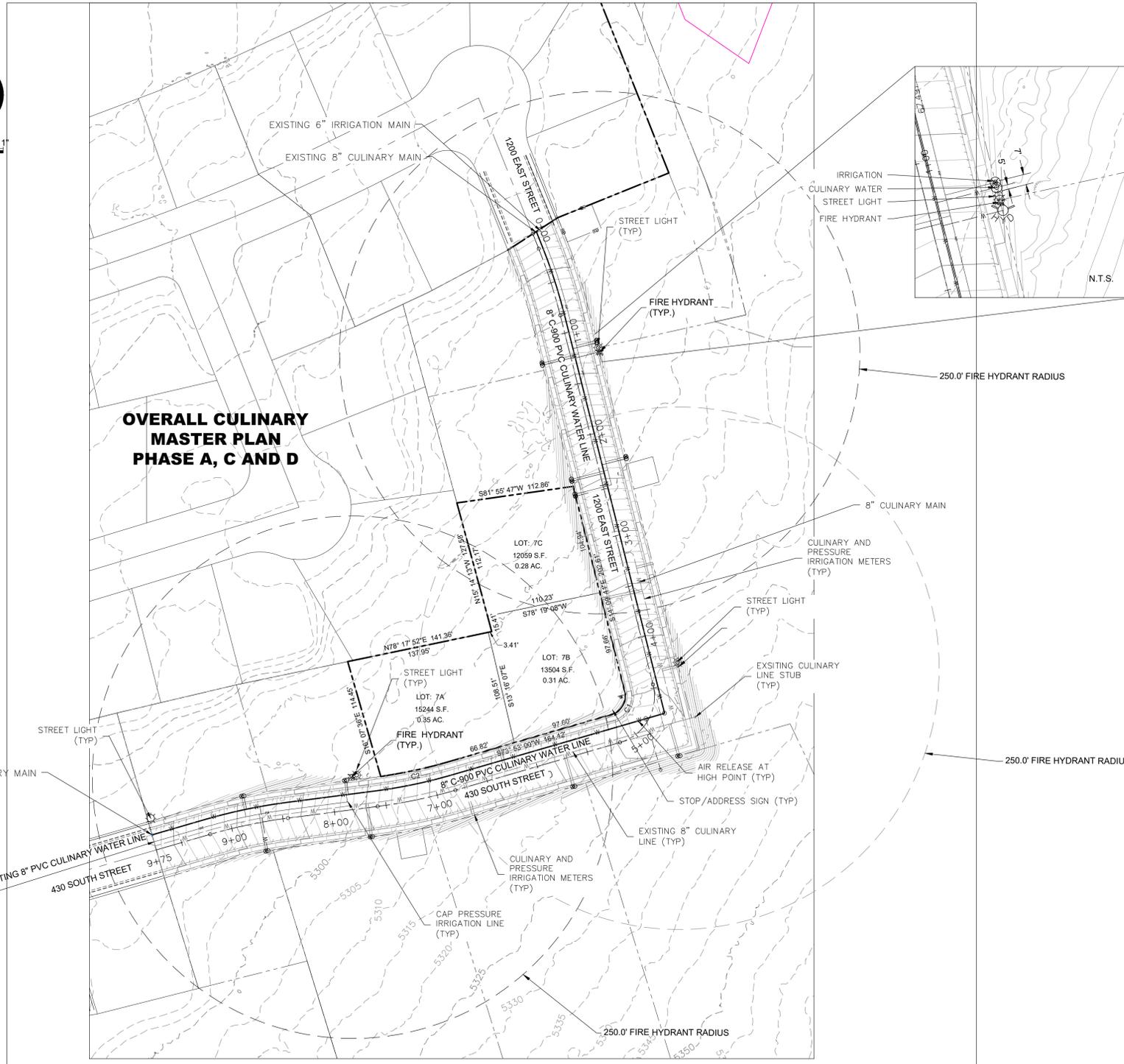
SHEET NAME
LOT LAYOUT

PLAN SUBMITAL: FINAL

SHEET NUMBER
4

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2/17/2026
D:\TEMP\4480_0816\SCENIC RIDGE PHASE D\DWG\SCENIC RIDGE PHASE D\SCENIC RIDGE PHASE D\SCENIC RIDGE PHASE D.dwg



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SHEET LEGEND

- NEW CULINARY WATER — W — W —
- NEW PI WATER — W — W —
- FUTURE CULINARY WATER — W — W —

PLAN REVISIONS

NO.	DESCRIPTION

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS
 DESIGNER: CRS
 Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
OVERALL CULINARY MASTER PLAN

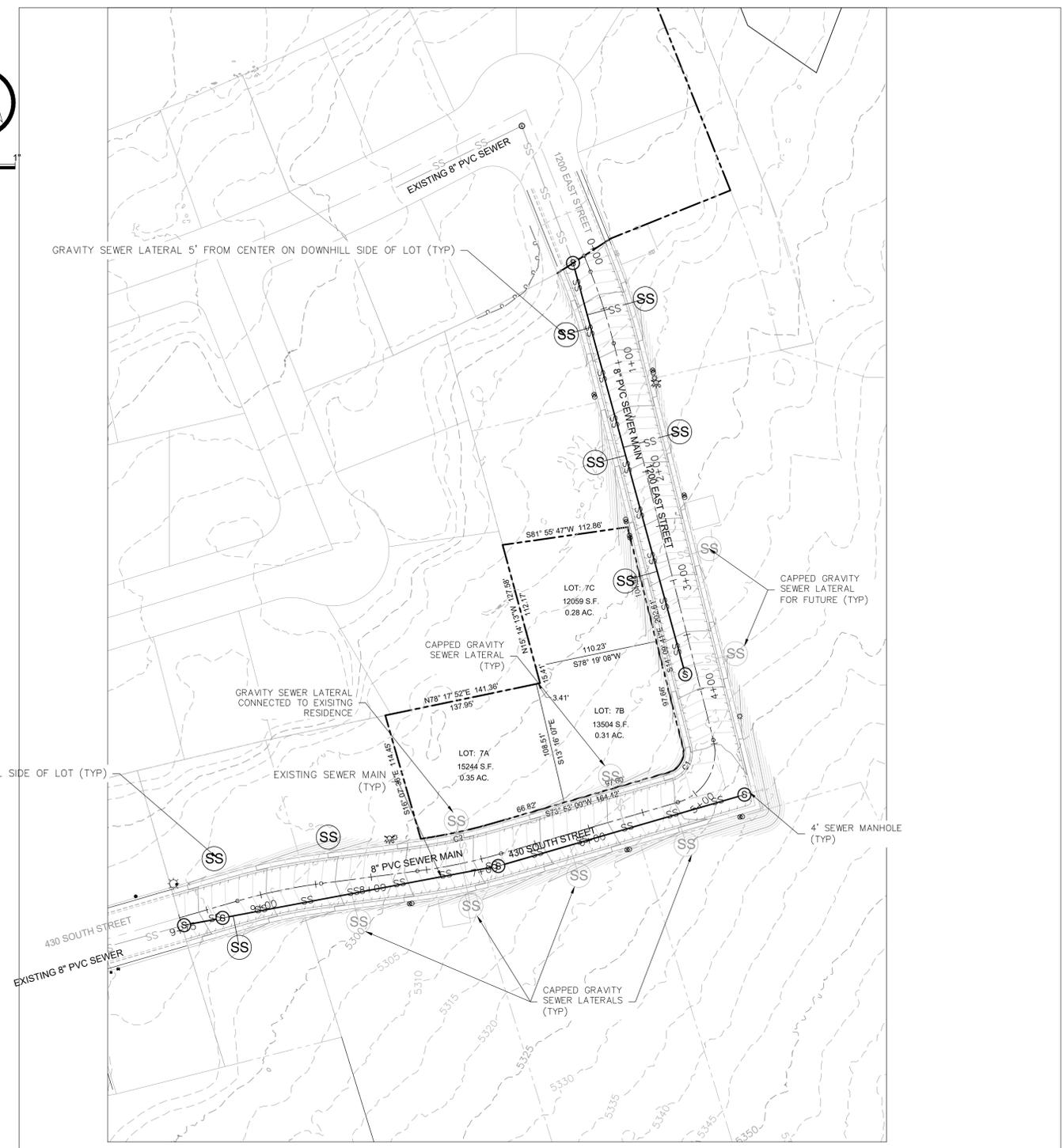
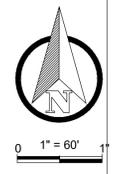
PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26

SHEET NUMBER
5

- LEGEND:**
- EXISTING SINGLE WATER METER
 - ⊗ EXISTING PRESSURE IRRIGATION METER
 - ⊗ EXISTING FIRE HYDRANT
 - EXISTING AIR RELEASE VALVE

D:\TEMP\4480_0816\Scenic Ridge Estates\Drawings\SCENIC RIDGE PHASE 2\DWG\SEWER_MASTER_Plan.dwg 2/2/2026



- LEGEND:**
- EXISTING GRAVITY SEWER SERVICE LATERAL
 - GRAVITY SEWER SERVICE LATERAL CAPPED

SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

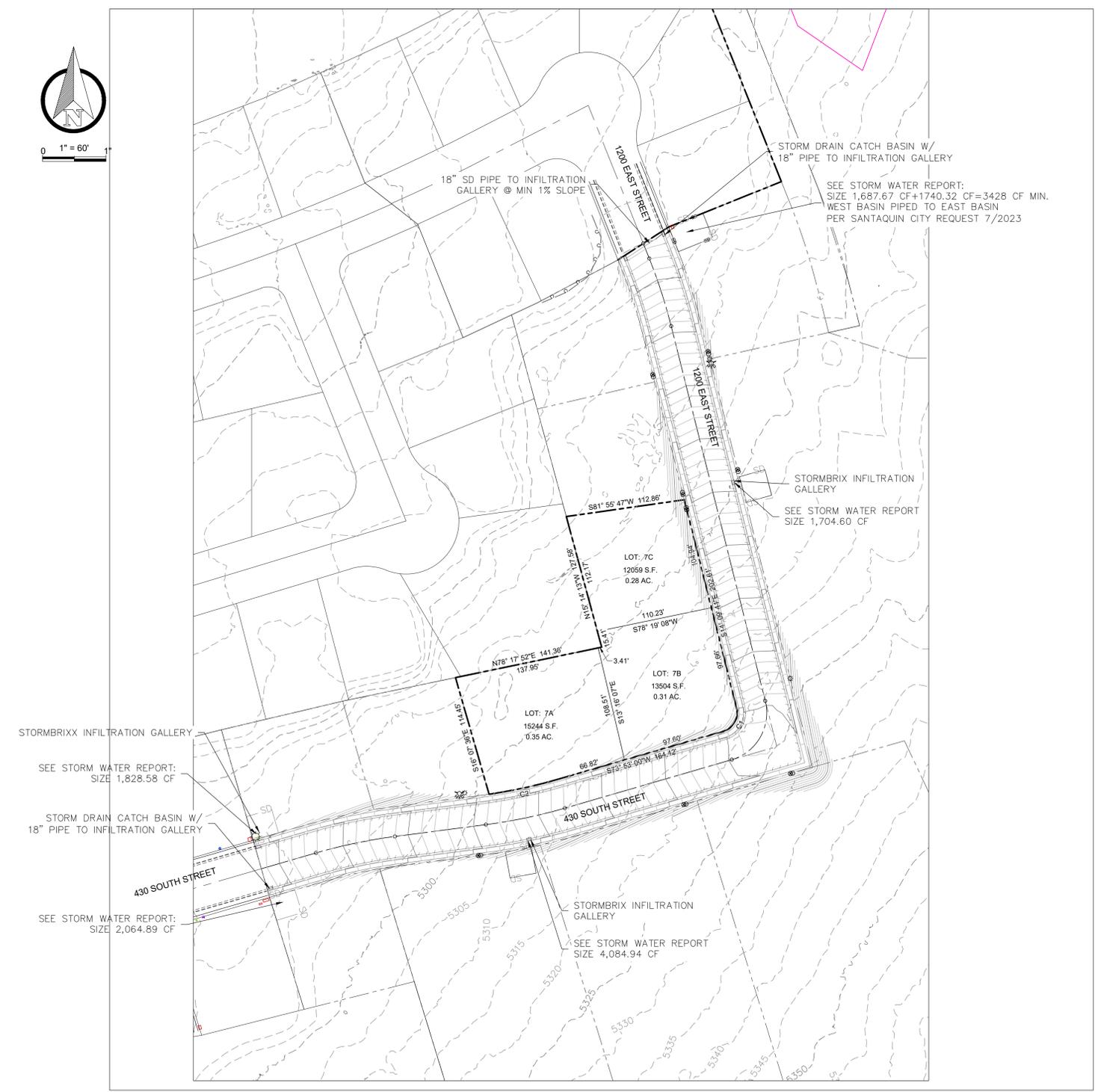
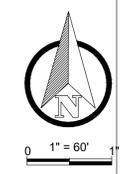
PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
SEWER MASTER PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **6**

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SHEET NOTES

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SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS
DESIGNER: CRS
Q&A: JC

CALL BLUE STAKES PRIOR TO DIGGING

PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
STORM WATER MASTER PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26

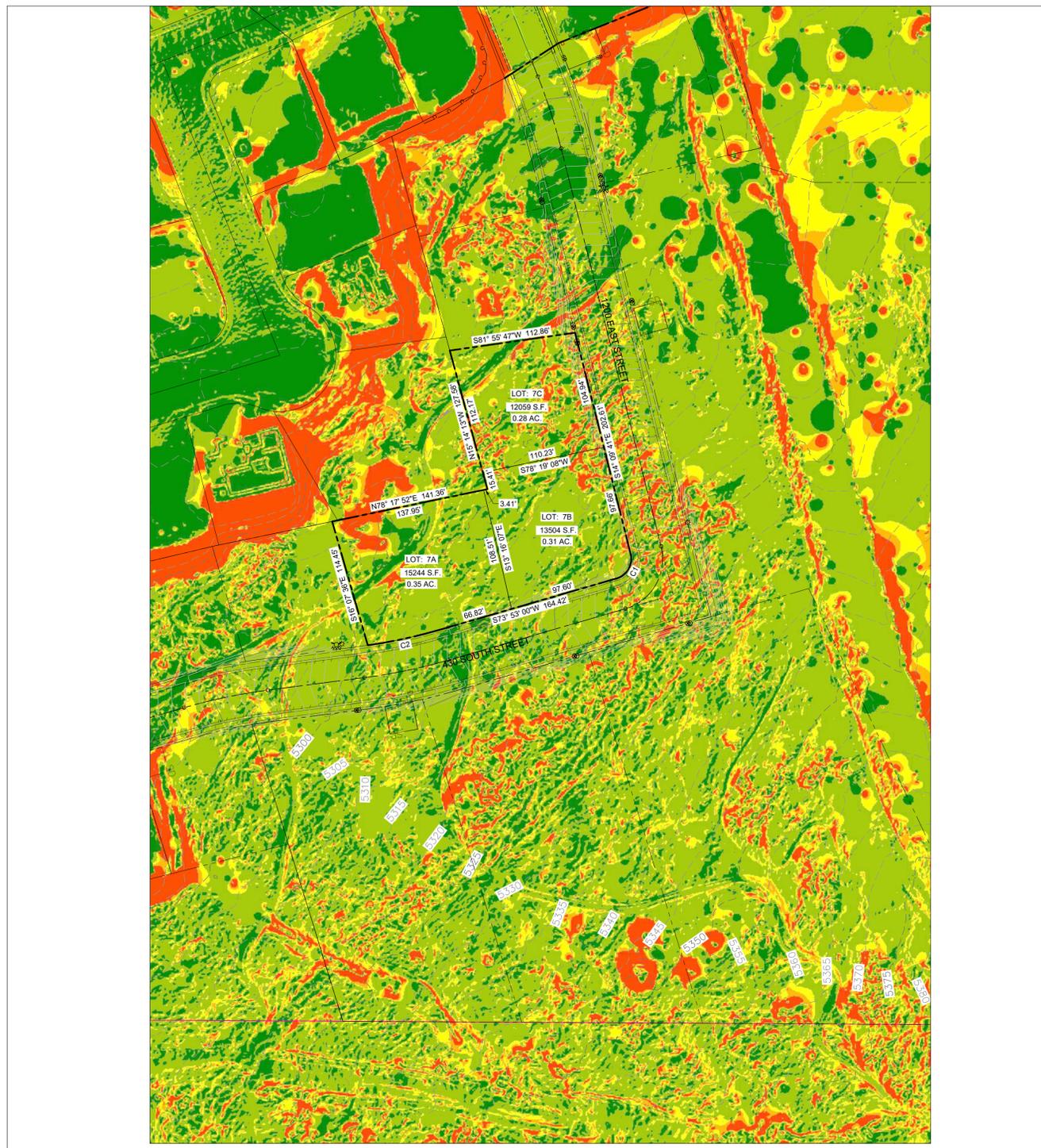
SHEET NUMBER
7

2/2/2026



SLOPE TABLE

	0 - 10
	10 - 20
	20 - 25
	25 - 30
	30+



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SHEET LEGEND

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH:	CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	CRS	
Q&A:	JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

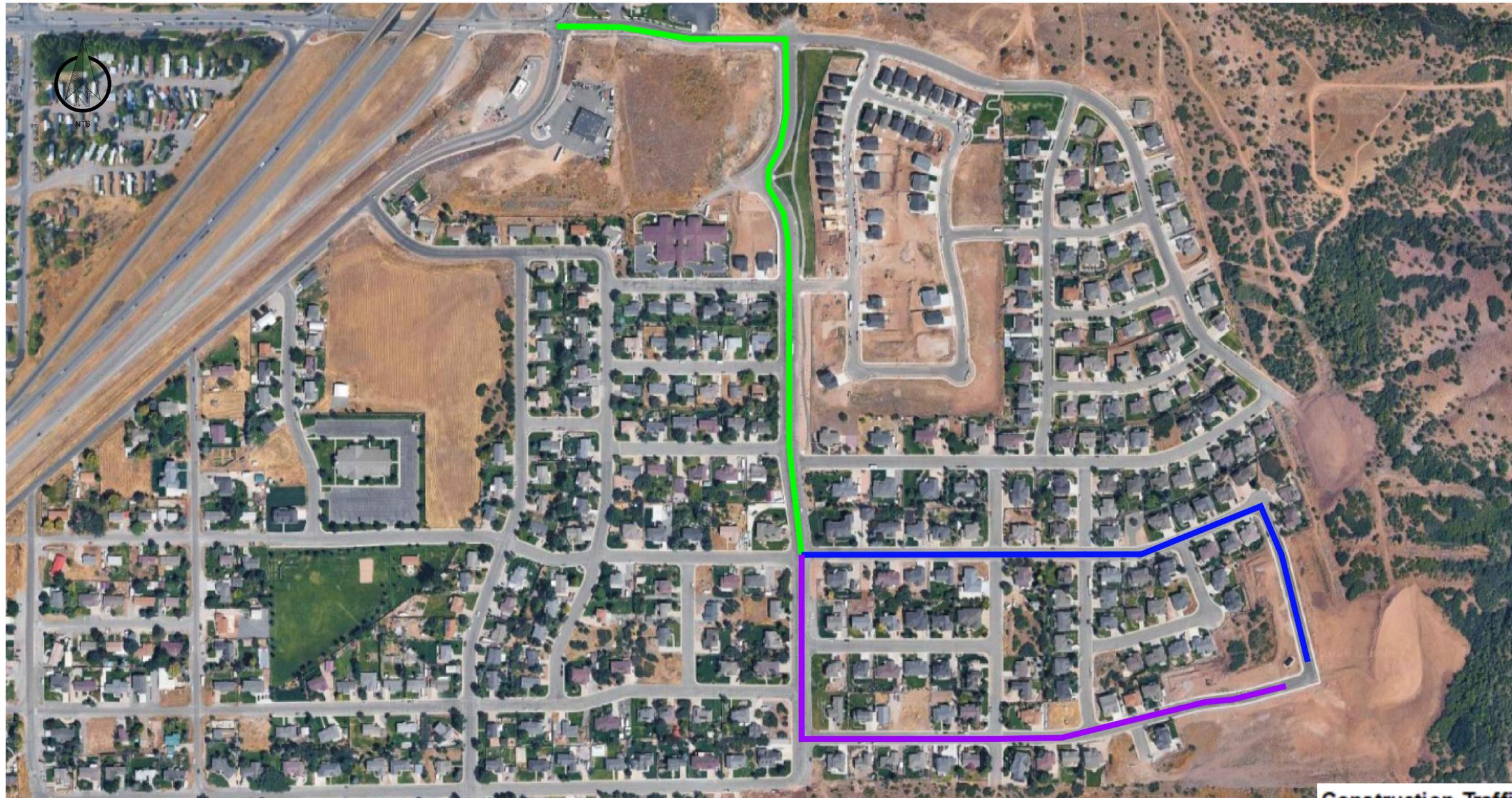
SHEET NAME
OVERALL SLOPE MAP

PLAN SUBMITAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER **8**

D:\TEMP\4480_0804\Scenic_Ridge_Estates\Drawings\2025\WORKING\SCENIC RIDGE ESTATES D\Overall Slope Map.dwg

2/2/2026



Construction Traffic

- Main Flow
- 50% of Traffic
- 50% of Traffic

SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

SHEET LEGEND

PLAN REVISIONS

NO.	DESCRIPTION

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES D

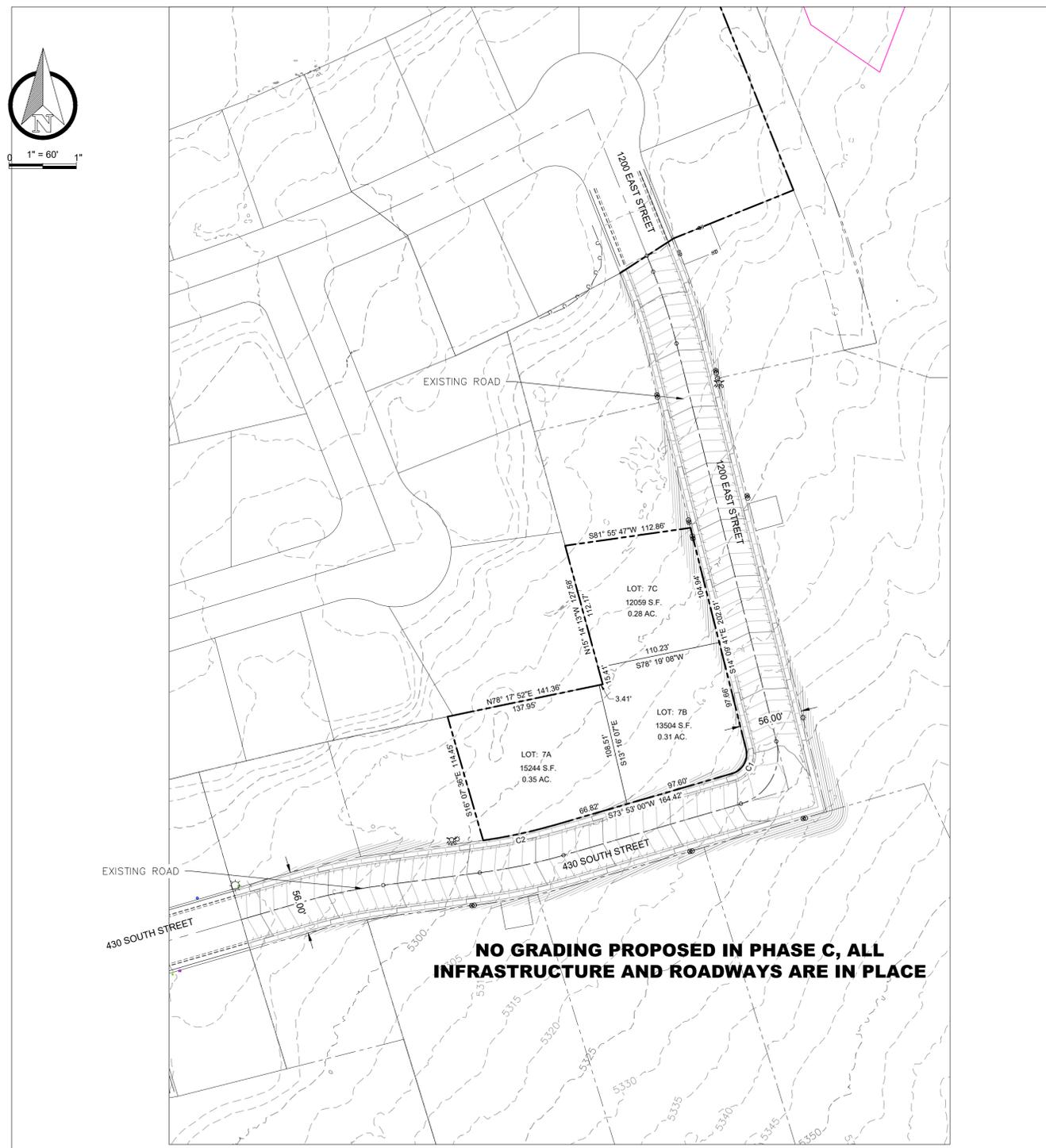
SHEET NAME
CONSTRUCTION TRAFFIC MAP

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26	SHEET NUMBER 9
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2/2/2026



**NO GRADING PROPOSED IN PHASE C, ALL
INFRASTRUCTURE AND ROADWAYS ARE IN PLACE**

SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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SHEET LEGEND

PLAN REVISIONS

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
**SCENIC RIDGE
ESTATES D**

SHEET NAME
**OVERALL GRADING
PLAN**

PLAN SUBMITTAL: FINAL

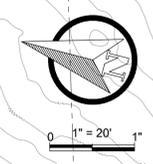
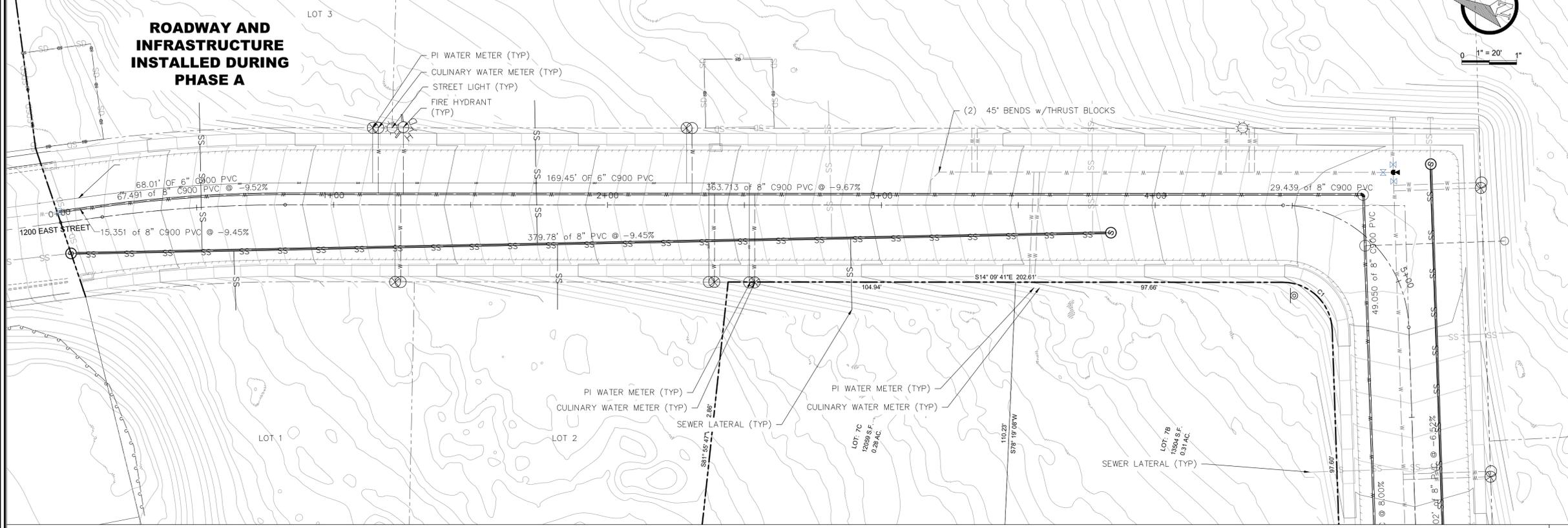
PERMIT SET
2/2/26

SHEET NUMBER
10

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2/2/2026
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ROADWAY AND INFRASTRUCTURE INSTALLED DURING PHASE A

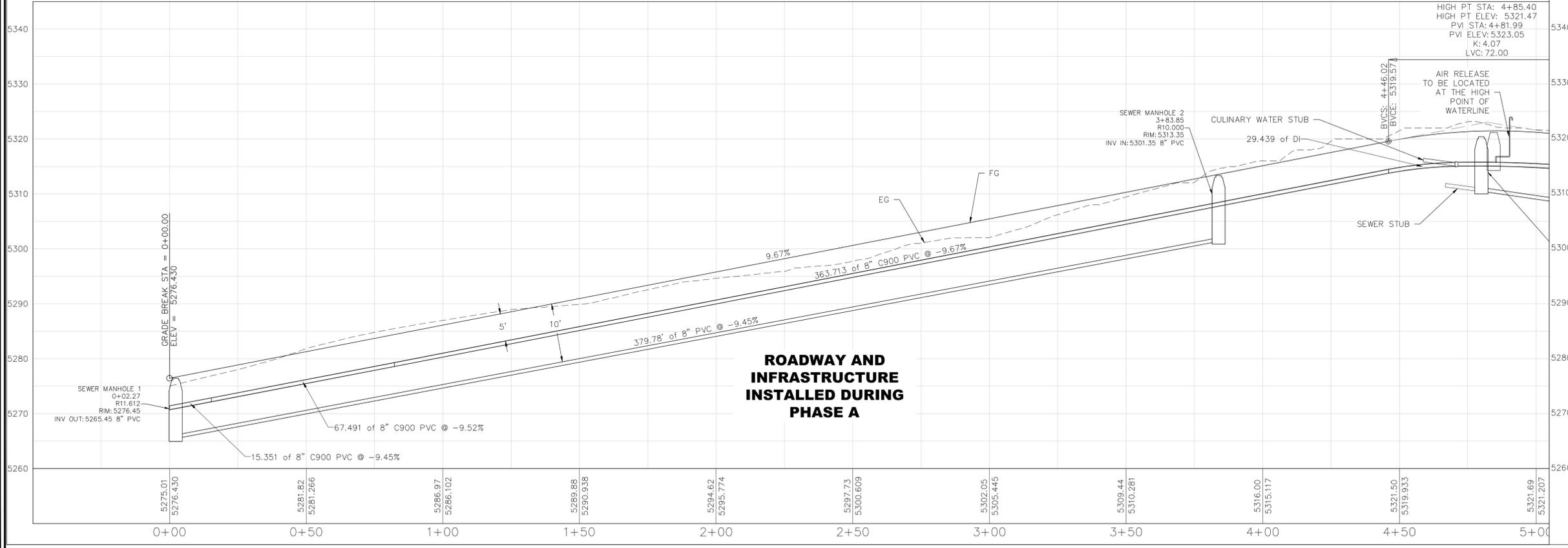


SHEET NOTES

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SHEET LEGEND

NEW CULINARY WATER	— W — W —
FUTURE CULINARY WATER	— W — W —
NEW PI WATER	— W — W —
EXISTING PI WATER	— W — W —
NEW SEWER LINE	— SS — SS —
EXISTING SEWER LINE	— SS — SS —



ROADWAY AND INFRASTRUCTURE INSTALLED DURING PHASE A

PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

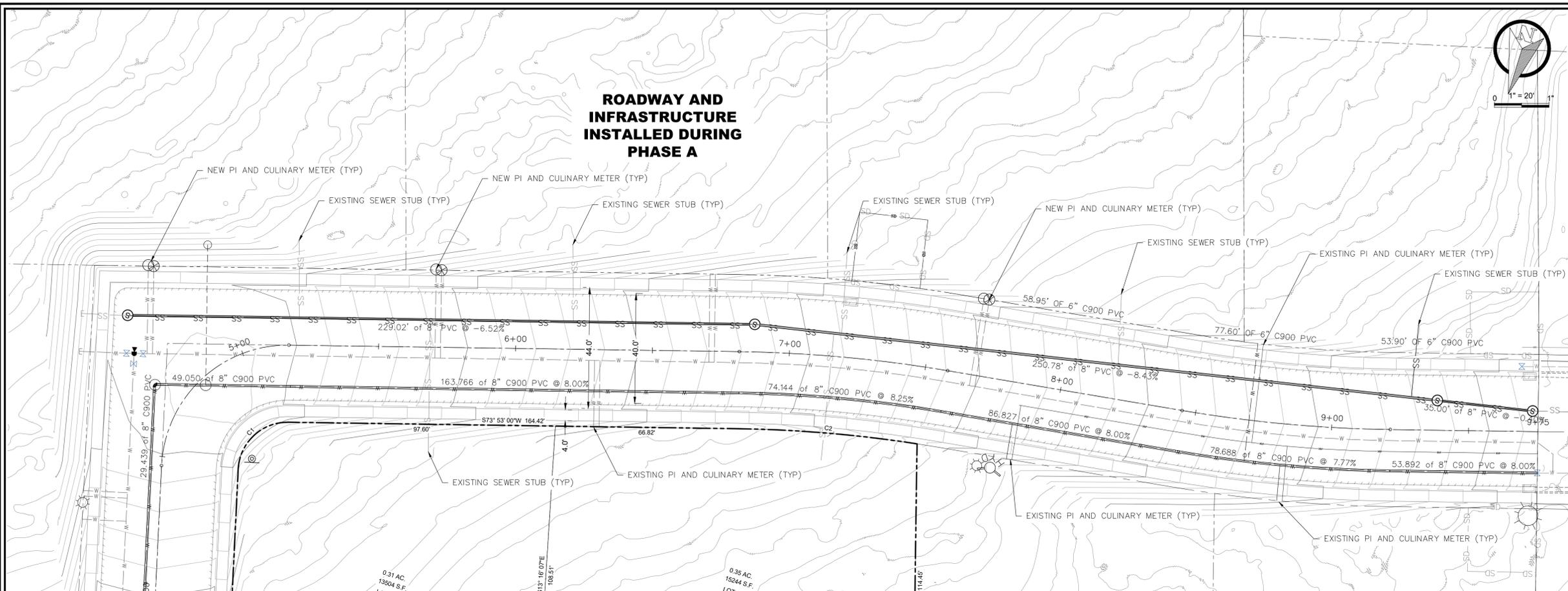
CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	

PROJECT NAME
SCENIC RIDGE ESTATES PHASE D

SHEET NAME
PLAN AND PROFILE

PLAN SUBMITTAL: FINAL	SHEET NUMBER: 11
REVIEW SET 2/2/26	

2/2/2026
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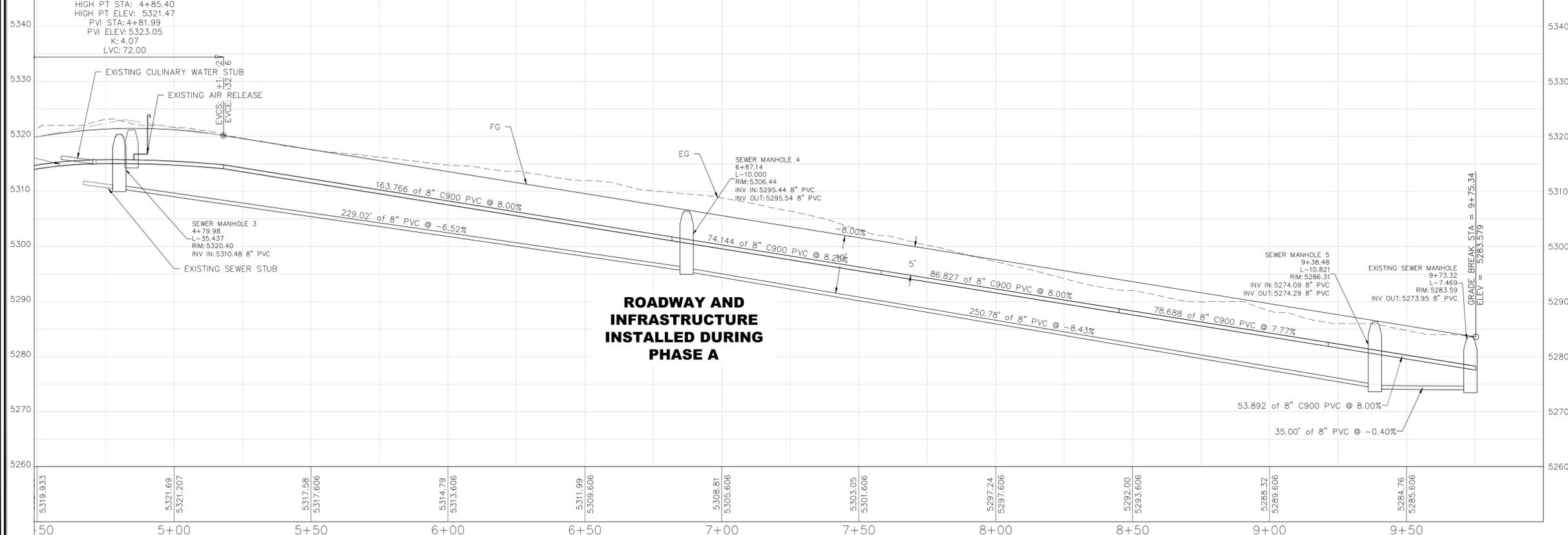


SHEET NOTES

1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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SHEET LEGEND

NEW CULINARY WATER	— W — W —
FUTURE CULINARY WATER	— W — W —
NEW PI WATER	— W — W —
EXISTING PI WATER	— W — W —
NEW SEWER LINE	— SS — SS —
EXISTING SEWER LINE	— SS — SS —



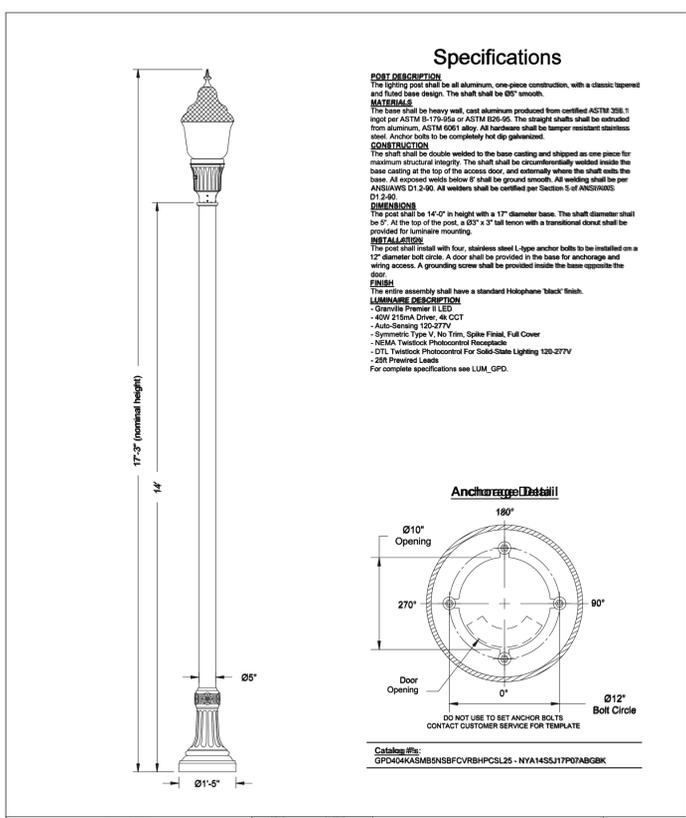
PLAN REVISIONS

RIMROCK ENGINEERING & DEVELOPMENT

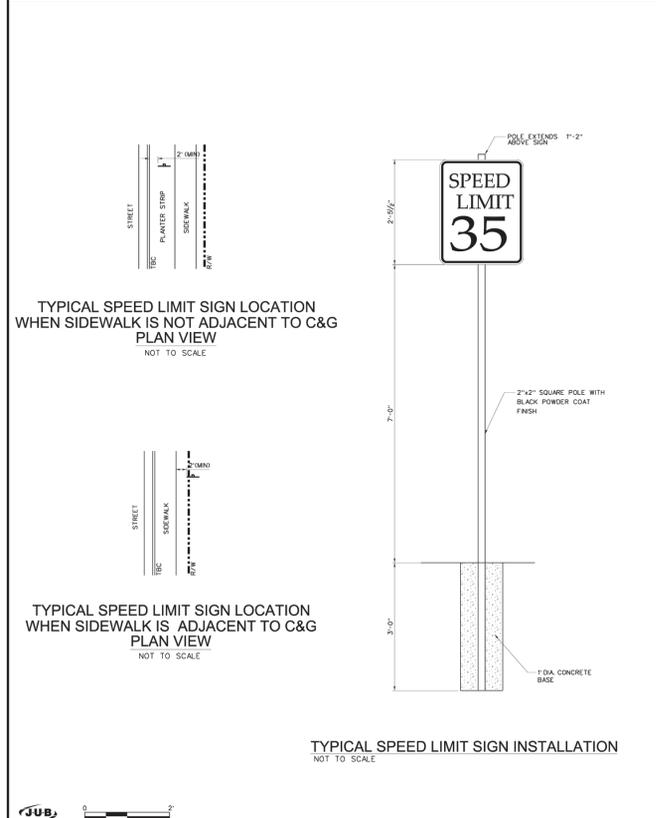
NO. 276219
Joseph Nick Santos
STATE OF UTAH

CAD TECH: CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: CRS	
Q&A: JC	
PROJECT NAME	
SCENIC RIDGE ESTATES D	
SHEET NAME	
PLAN AND PROFILE	
PLAN SUBMITTAL: FINAL	SHEET NUMBER
PERMIT SET 2/2/26	

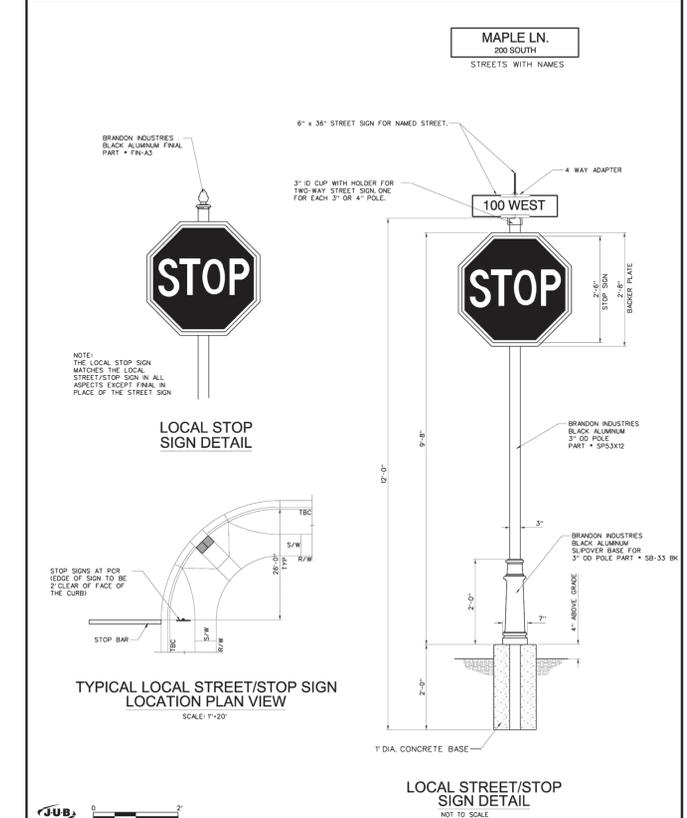
12/2/2021



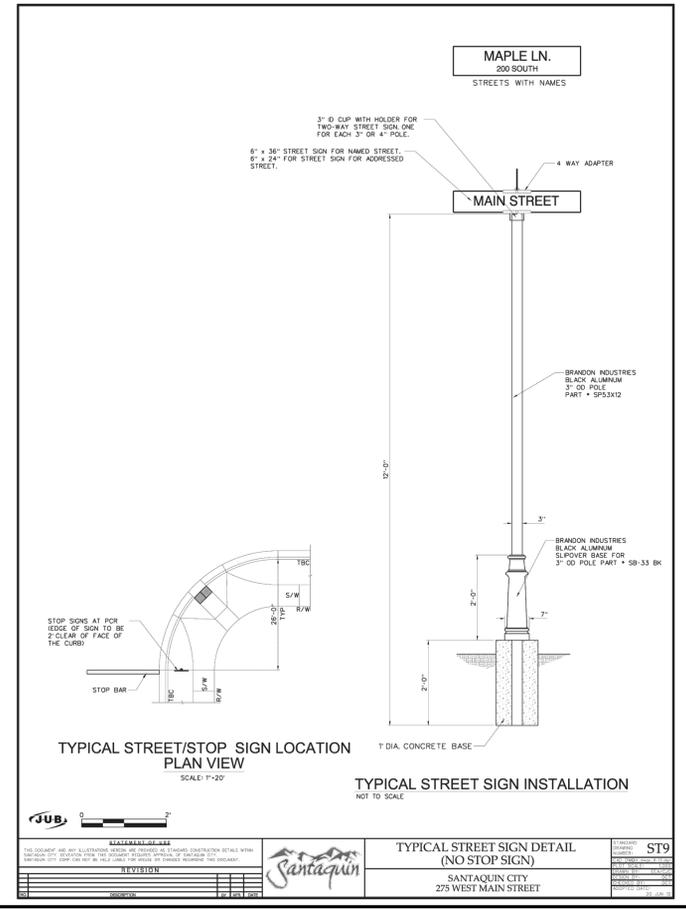
STATEMENT OF WORK	REVISION	LOCAL AND COLLECTOR STREET LIGHTING DETAILS	ST1
<p>LOCAL AND COLLECTOR STREET LIGHTING DETAILS</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p> <p>ADOPTED DATE: 19 - OCT - 15</p>		<p>LOCAL AND COLLECTOR STREET LIGHTING DETAILS</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>ST1</p>



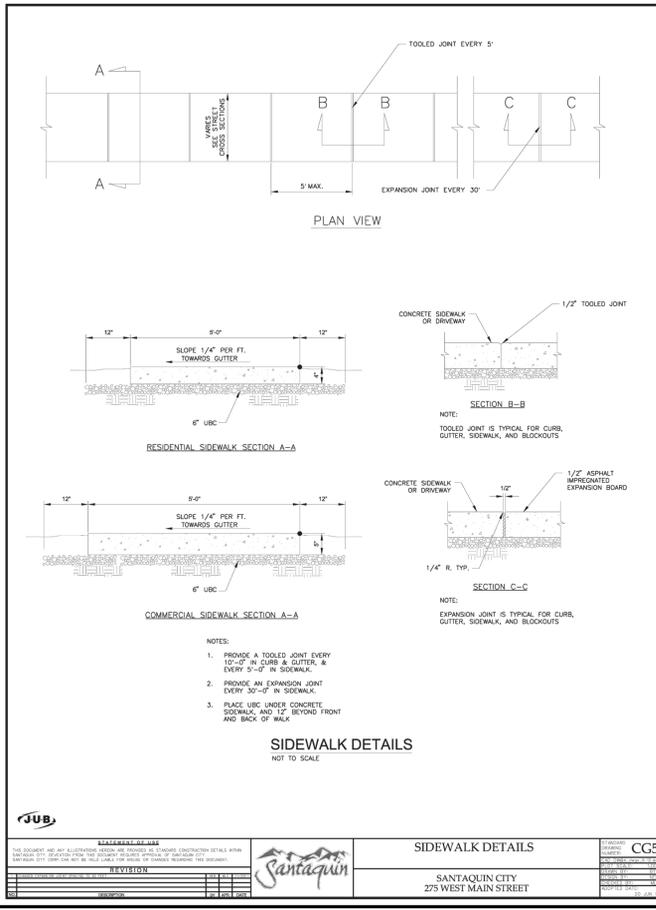
STATEMENT OF WORK	REVISION	TYPICAL SPEED LIMIT SIGN DETAIL	ST10
<p>TYPICAL SPEED LIMIT SIGN DETAIL</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>		<p>TYPICAL SPEED LIMIT SIGN DETAIL</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>ST10</p>



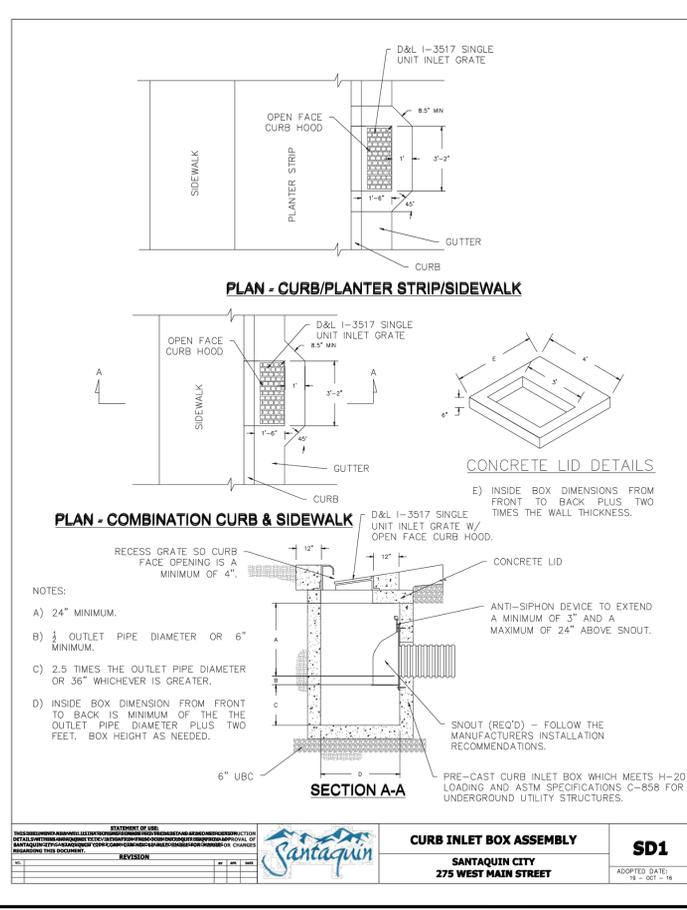
STATEMENT OF WORK	REVISION	LOCAL STREET/STOP SIGN DETAIL	ST17
<p>LOCAL STREET/STOP SIGN DETAIL</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>		<p>LOCAL STREET/STOP SIGN DETAIL</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>ST17</p>



STATEMENT OF WORK	REVISION	TYPICAL STREET SIGN DETAIL (NO STOP SIGN)	ST9
<p>TYPICAL STREET SIGN DETAIL (NO STOP SIGN)</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>		<p>TYPICAL STREET SIGN DETAIL (NO STOP SIGN)</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>ST9</p>



STATEMENT OF WORK	REVISION	SIDEWALK DETAILS	CG5
<p>SIDEWALK DETAILS</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>		<p>SIDEWALK DETAILS</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>CG5</p>



STATEMENT OF WORK	REVISION	CURB INLET BOX ASSEMBLY	SD1
<p>CURB INLET BOX ASSEMBLY</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>		<p>CURB INLET BOX ASSEMBLY</p> <p>SANTAQUIN CITY</p> <p>275 WEST MAIN STREET</p>	<p>SD1</p>

SHEET NOTES

1.

SHEET LEGEND

--

PLAN REVISIONS
A.

RIMROCK ENGINEERING & DEVELOPMENT

CAD TECH: JRC	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: JRC	
Q&A: DSE	

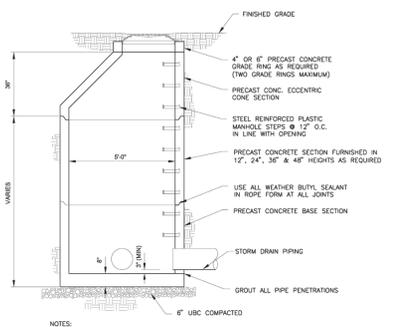
PROJECT NAME	SCENIC RIDGE ESTATES
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SHEET NAME	DETAILS
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PLAN SUBMITTAL:	FINAL
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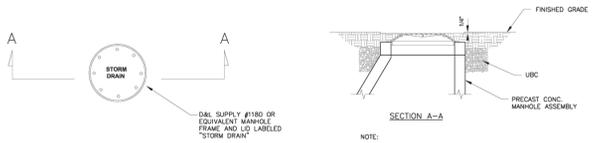
REVIEW SET 10/5/2022	SHEET NUMBER 14
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10/5/2022



TYPICAL STORM DRAIN MANHOLE
NOT TO SCALE

- NOTES:
1. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY, AND UPON APPROVAL OF THE CITY ENGINEER. FLAT LIDS SHALL BE OF ECCENTRIC DESIGN AND MEET FHD LIVE LOADING.
 2. MANHOLE RIMS PLACED IN FIELDS SHALL HAVE SOLID LIDS.

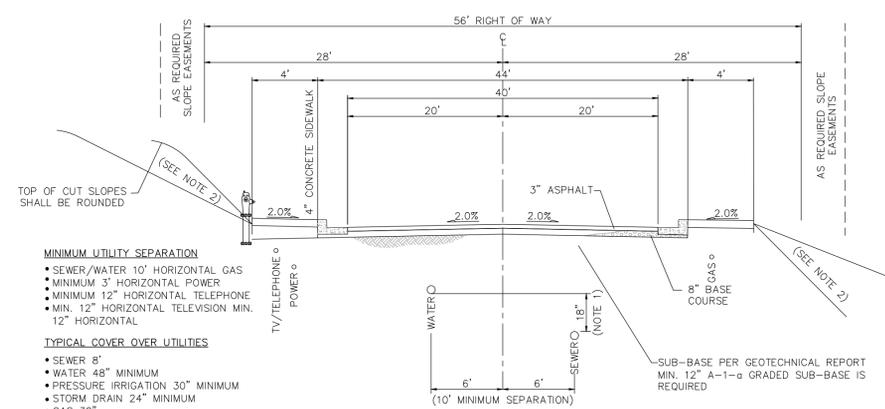


MANHOLE RING & COVER
NOT TO SCALE

- NOTE:
1. NO COLLARS (CONCRETE OR ASPHALT) ARE TO BE USED ON MANHOLES WITHIN SANTAQUIN CITY FROM USE OF D & L SUPPLY MANHOLE ADAPTER RINGS (ORSEKRS) TO SET RING AND COVER TO FINISH GRADE.
 2. EXCAVATIONS FOR MANHOLE ADAPTER RINGS (ORSEKRS) SHALL HAVE VERTICAL SIDE WALLS.
 3. FINISH RING AND COVER 1/4" BELOW THE FINISH GRADE OF THE ROADWAY.



STATEMENT OF WORK		SD2
TYPICAL STORM DRAIN MANHOLE & MANHOLE RING & COVER		
SANTAQUIN CITY 275 WEST MAIN STREET		
DATE: 10/5/2022	PROJECT NO: 2022-001	SCALE: AS SHOWN
DESIGNED BY: JRC	CHECKED BY: JRC	DATE: 10/5/2022
DRAWN BY: JRC	DATE: 10/5/2022	



- MINIMUM UTILITY SEPARATION**
- SEWER/WATER 10" HORIZONTAL GAS
 - MINIMUM 3" HORIZONTAL POWER
 - MIN. 12" HORIZONTAL TELEPHONE
 - MIN. 12" HORIZONTAL TELEVISION MIN. 12" HORIZONTAL
- TYPICAL COVER OVER UTILITIES**
- SEWER 8"
 - WATER 48" MINIMUM
 - PRESSURE IRRIGATION 30" MINIMUM
 - STORM DRAIN 24" MINIMUM
 - GAS 30"
 - POWER 40"
 - TELEPHONE 24"
 - TELEVISION 24"

- GENERAL NOTES**
- 1) 18" MINIMUM VERTICAL CLEARANCE, 10' SEPERATION REQUIRED EXCEPT AT CROSSING LOCATIONS.
 - 2) CUT/FILL SLOPES ARE 3(H):1(V) BELOW A HEIGHT OF 5 FEET AND 2(H):1(V) ABOVE A HEIGHT OF 5 FEET AND SHALL BE PROTECTED WITH AMERICAN GREEN C-350 MATTING, OR APPROVED EQUAL.

ROADWAY CROSS SECTION DETAIL TO MATCH EXISTING AT TIE-IN LOCATIONS

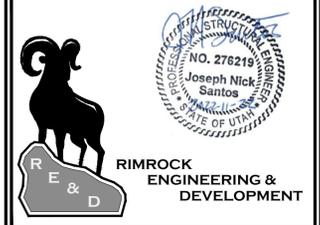
SHEET NOTES

1.

SHEET LEGEND

PLAN REVISIONS

A.	



CAD TECH: JRC	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER: JRC	
Q&A: DSE	

PROJECT NAME
SCENIC RIDGE ESTATES

SHEET NAME
DETAILS

PLAN SUBMITTAL: FINAL

REVIEW SET 10/5/2022	SHEET NUMBER 15
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2/2/2026



SHEET NOTES

- 1. THE DEVELOPER AND GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
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SHEET LEGEND

PLAN REVISIONS

Professional Engineer
 No. 276219
 Joseph Nick Santos
 STATE OF UTAH

CAD TECH:	CRS	CALL BLUE STAKES PRIOR TO DIGGING
DESIGNER:	CRS	
Q&A:	JC	

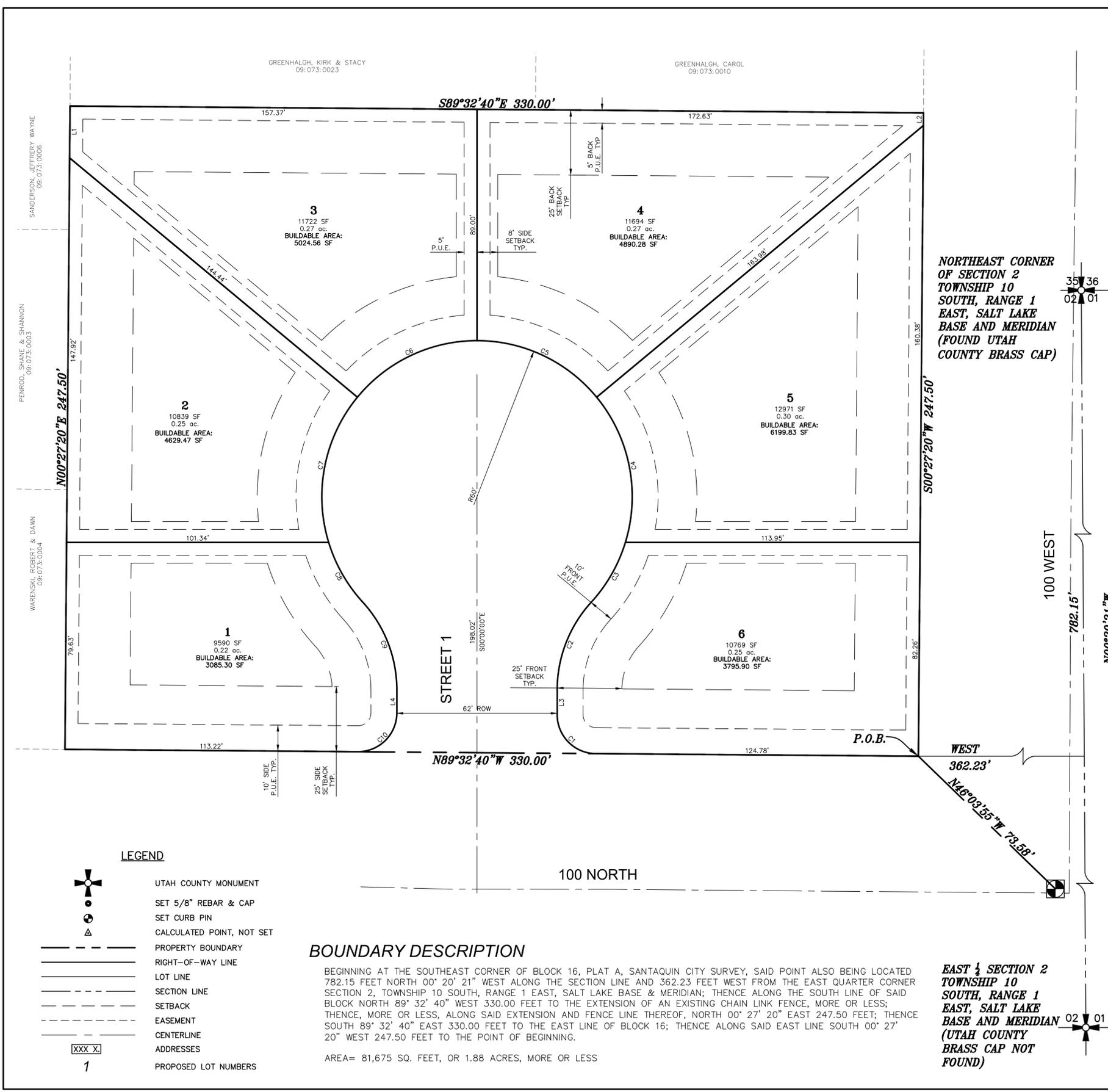
PROJECT NAME
SCENIC RIDGE ESTATES D

SHEET NAME
EROSION CONTROL PLAN

PLAN SUBMITTAL: FINAL

PERMIT SET 2/2/26 SHEET NUMBER 16

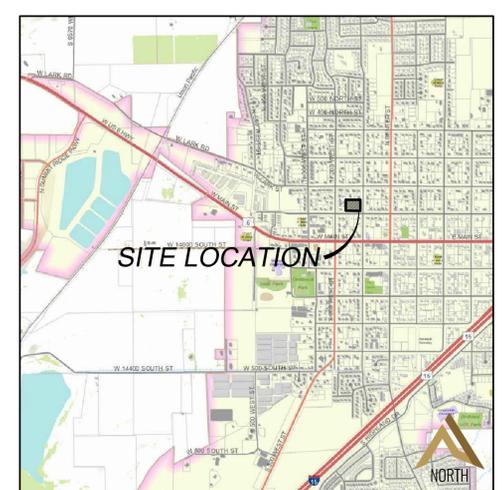
D:\TEMP\4480_0816\Scenic_Ridge_Estates\Plan\2025\WORK\M.C. SCENIC RIDGE PHASE D\DWG\Scenic_Ridge_Phase D.dwg



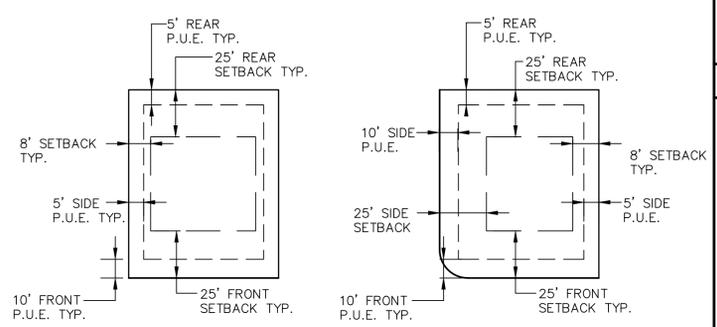
NORTHEAST CORNER OF SECTION 2 TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN (FOUND UTAH COUNTY BRASS CAP)

N00°20'21"W 2677.53' (BASIS OF BEARING)

EAST 1/4 SECTION 2 TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN (UTAH COUNTY BRASS CAP NOT FOUND)



VICINITY MAP -NTS-



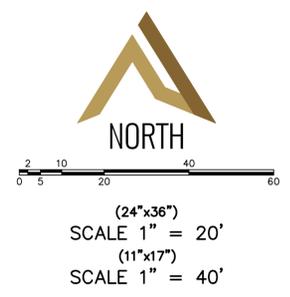
DETAIL - TYPICAL BUILDING SETBACK AND EASEMENT -NTS- LOTS 1-6

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.44'	15.00'	21.13'	S44°46'20"E	89°32'40"
C2	37.03'	49.28'	36.16'	S21°12'00"W	43°02'54"
C3	26.87'	60.00'	26.64'	N29°53'44"E	25°39'25"
C4	59.34'	60.00'	56.95'	N11°15'54"W	56°39'51"
C5	52.78'	60.00'	51.10'	N64°47'55"W	50°24'12"
C6	52.78'	60.00'	51.10'	S64°47'55"W	50°24'08"
C7	59.34'	60.00'	56.95'	S11°15'54"W	56°39'55"
C8	26.71'	60.00'	26.49'	S29°49'21"E	25°30'36"
C9	37.16'	50.00'	36.31'	N21°17'20"W	42°34'39"
C10	23.68'	15.00'	21.30'	N45°13'40"E	90°27'20"

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S0°27'20"W	19.95'
L2	N0°27'20"E	4.87'
L3	S0°00'00"E	9.45'
L4	N0°00'00"W	8.72'

DATA TABLE
 TOTAL ACREAGE=1.88
 ACREAGE IN ROW=0.32
 ACREAGE OF LOTS=1.56
 # OF LOTS = 6
 LOTS/ACRE = 3.19
 ZONING=R-8

OWNER/DEVELOPER
 KIRK GREENHALGH
 GREENHALGH CONSTRUCTION
 (801) 404-3000
 135 W 200 N, SANTAQUIN, UT 84665
 kirk@greenhalghconstruction.com



LEGEND

- UTAH COUNTY MONUMENT
- SET 5/8" REBAR & CAP
- SET CURB PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- SETBACK
- EASEMENT
- CENTERLINE
- ADDRESSES
- PROPOSED LOT NUMBERS

BOUNDARY DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 16, PLAT A, SANTAQUIN CITY SURVEY, SAID POINT ALSO BEING LOCATED 782.15 FEET NORTH 00° 20' 21" WEST ALONG THE SECTION LINE AND 362.23 FEET WEST FROM THE EAST QUARTER CORNER SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE ALONG THE SOUTH LINE OF SAID BLOCK NORTH 89° 32' 40" WEST 330.00 FEET TO THE EXTENSION OF AN EXISTING CHAIN LINK FENCE, MORE OR LESS; THENCE, MORE OR LESS, ALONG SAID EXTENSION AND FENCE LINE THEREOF, NORTH 00° 27' 20" EAST 247.50 FEET; THENCE SOUTH 89° 32' 40" EAST 330.00 FEET TO THE EAST LINE OF BLOCK 16; THENCE ALONG SAID EAST LINE SOUTH 00° 27' 20" WEST 247.50 FEET TO THE POINT OF BEGINNING.
 AREA= 81,675 SQ. FEET, OR 1.88 ACRES, MORE OR LESS

SHEET NO.

2

NO.	DATE	REVISIONS
12		
11		
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1		

PRELIMINARY PLAT

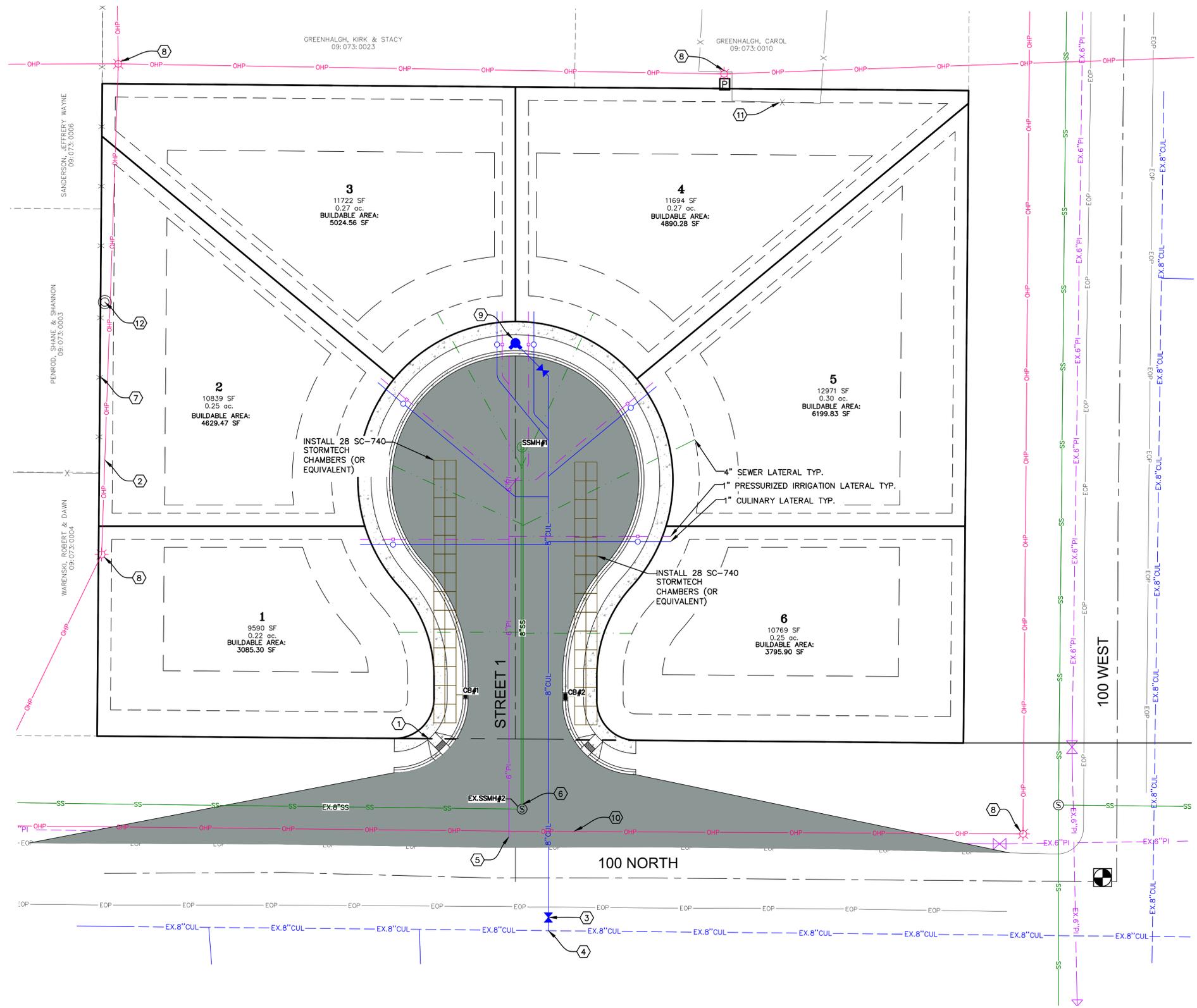
SANTAQUIN, UTAH

HERITAGE CIRCLE

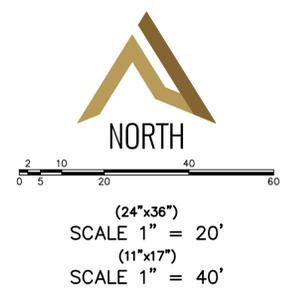
ATLAS ENGINEERING
 CIVIL · STRUCTURAL · SURVEY

PHONE: 801-955-4565
 946 E. BOON SITE A
 SPANISH FORK, UT 84660

C:\USERS\GAVIN\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2023\23-013 SANTAQUIN - GREENHALGH\CADD\PRELIMINARY\02--PRELIMINARY PLAT.DWG



- CONSTRUCTION NOTES**
- 1 CONST. ADA RAMP PER SANTAQUIN CITY STANDARDS.
 - 2 EXISTING OVERHEAD POWER LINE TO REMAIN.
 - 3 INSTALL 8" CULINARY PER SANTAQUIN CITY STANDARDS.
 - 4 LOCATE AND TIE TO EXISTING 8" CULINARY WATER.
 - 5 LOCATE AND TIE TO EXISTING 6" PRESSURIZED IRRIGATION.
 - 6 LOCATE AND TIE TO EXISTING SEWER.
 - 7 EXISTING FENCE TO REMAIN.
 - 8 EXISTING POWER POLE/ STREET LIGHT TO REMAIN.
 - 9 INSTALL FIRE HYDRANT ASSEMBLY PER SANTAQUIN CITY STANDARDS.
 - 10 EXISTING POWER POLE TO BE RELOCATED OUT OF PROPOSED INTERSECTION
 - 11 EXISTING FENCE TO BE REMOVED.
 - 12 EXISTING STORM DRAIN MANHOLE TO REMAIN.



HERITAGE CIRCLE
ATLAS ENGINEERING
 CIVIL · STRUCTURAL · SURVEY

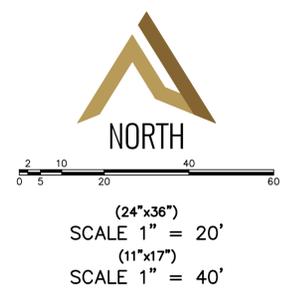
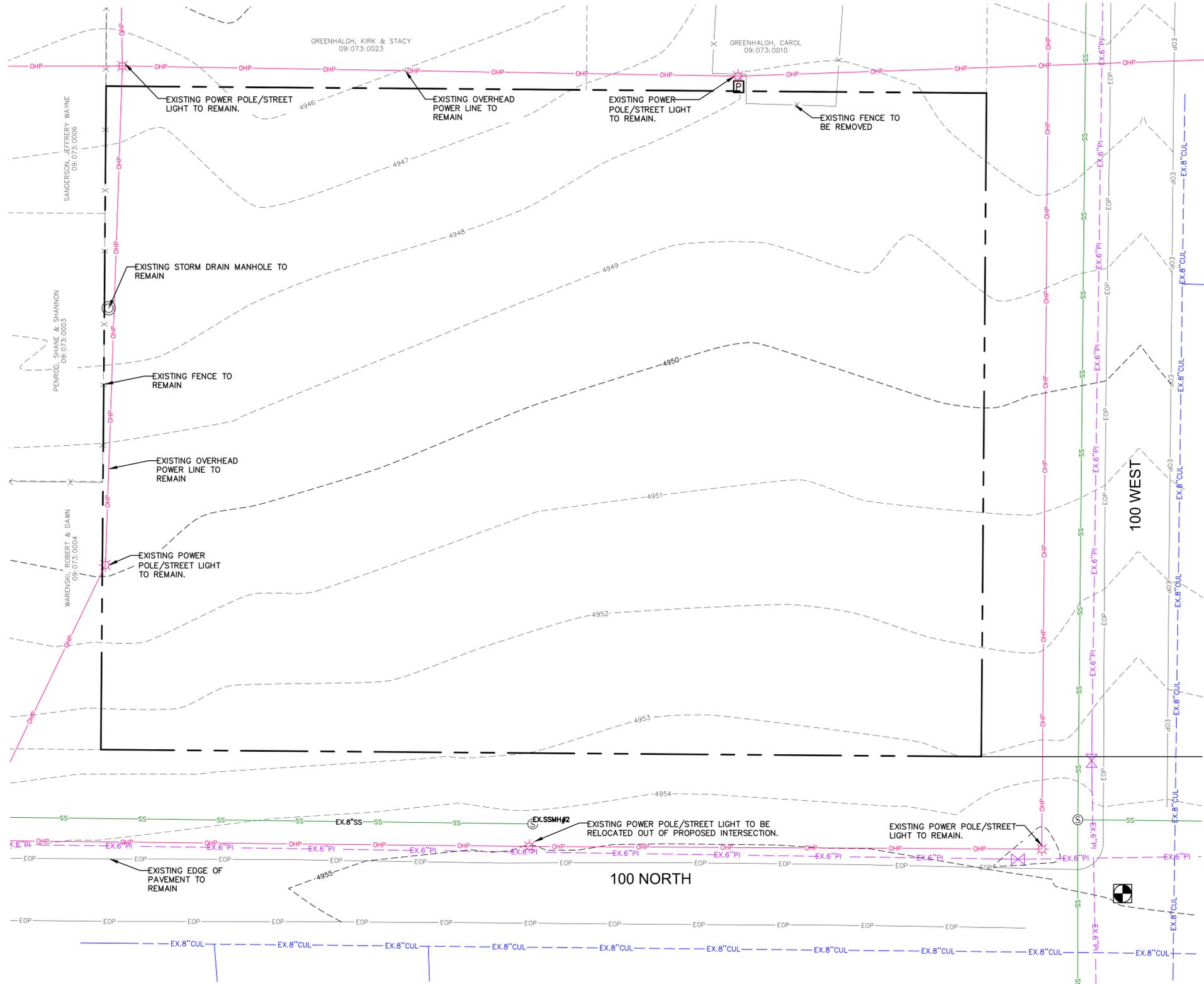
PHONE: 801-555-6565
 945 E. BOON SUITE A
 SPANISH FORK, UT 84601

UTILITY PLAN
SANTAQUIN, UTAH

G:\USERS\GAVINWEST\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2023\23-013 SANTAQUIN - GREENHALGH\CADD\PRELIMINARY\03 - UTILITY PLAN.DWG

NO.	REVISIONS	BY	DATE
12			
11			
10			
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6			
5			
4			
3			
2			
1			

SHEET NO. 3



SHEET NO.

4

NO.	REVISIONS	BY	DATE
12			
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

EXISTING TOPOGRAPHY

SANTAQUIN, UTAH

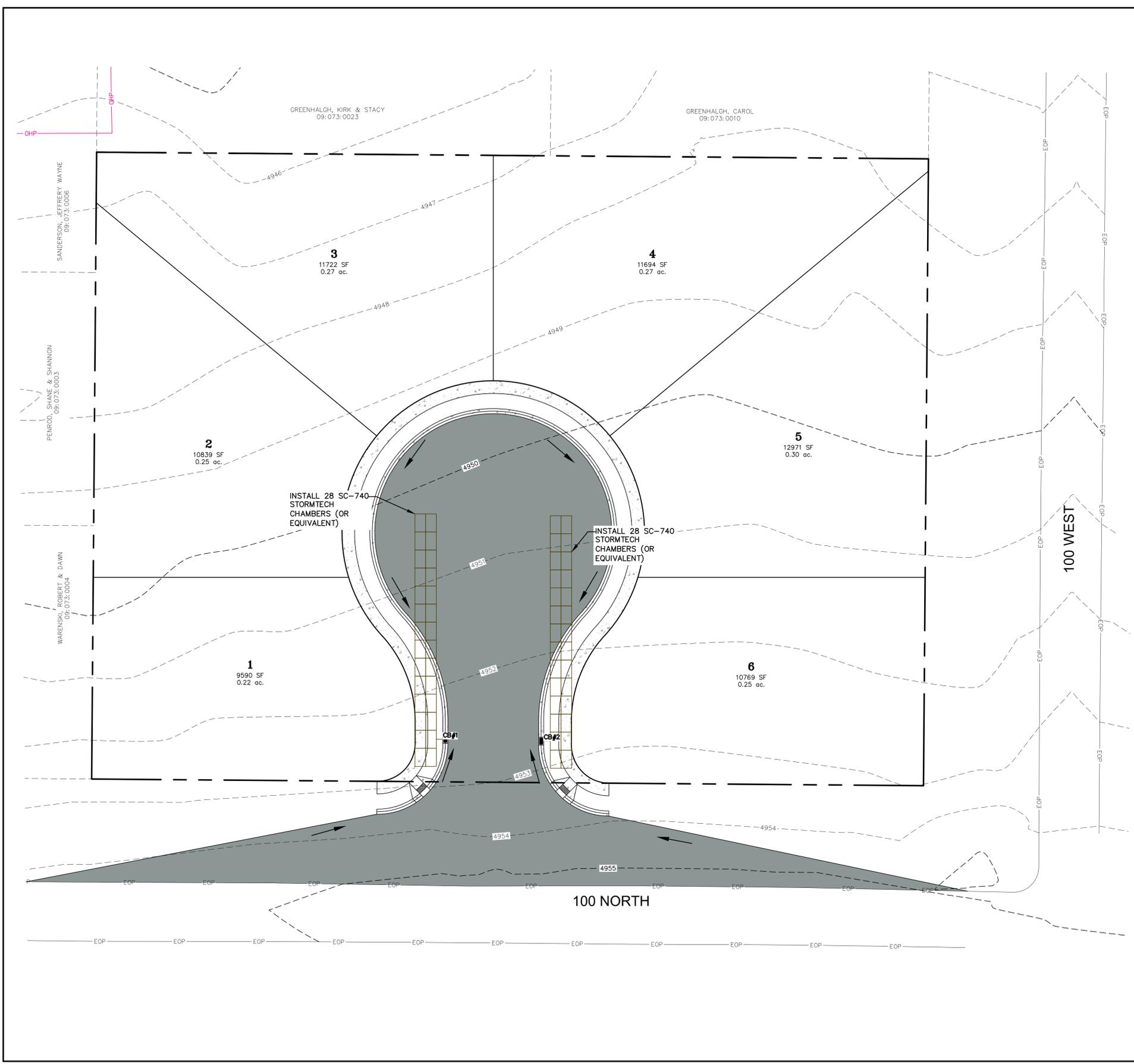
HERITAGE CIRCLE

ATLAS ENGINEERING
 CIVIL · STRUCTURAL · SURVEY

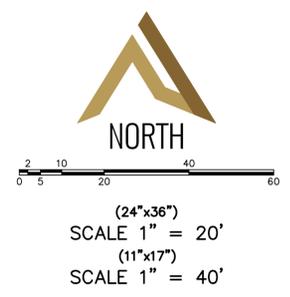
PHONE: 801-555-0566
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660



C:\USERS\GAVIN\WEST\ATLAS ENGINEERING\COMMUNICATION SITE - DOCUMENTS\1.0 OPERATIONS\1.1 - CIVIL\2023\23-013 SANTAQUIN - GREENHALGH\CADD\PRELIMINARY\04-EXISTING TOPOGRAPHY.DWG



NOTES
 1. PROPOSED CONTOURS WILL BE SHOWN ON FINAL PLAN SET.



HERITAGE CIRCLE

ATLAS ENGINEERING
 CIVIL · STRUCTURAL · SURVEY

PHONE: 801-455-0566
 946 E. BOON, SUITE A
 SPANISH FORK, UT 84601

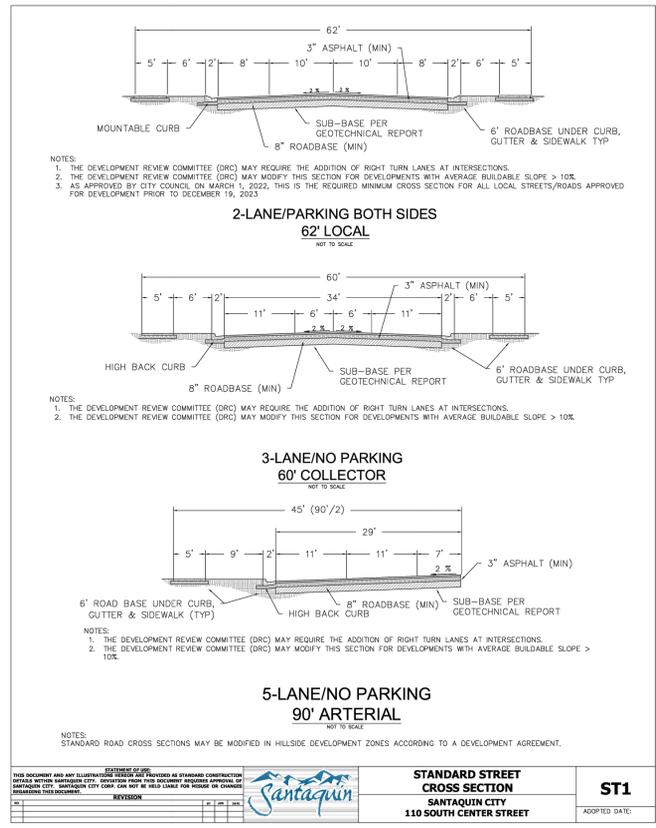
GRADING PLAN

SANTAQUIN, UTAH

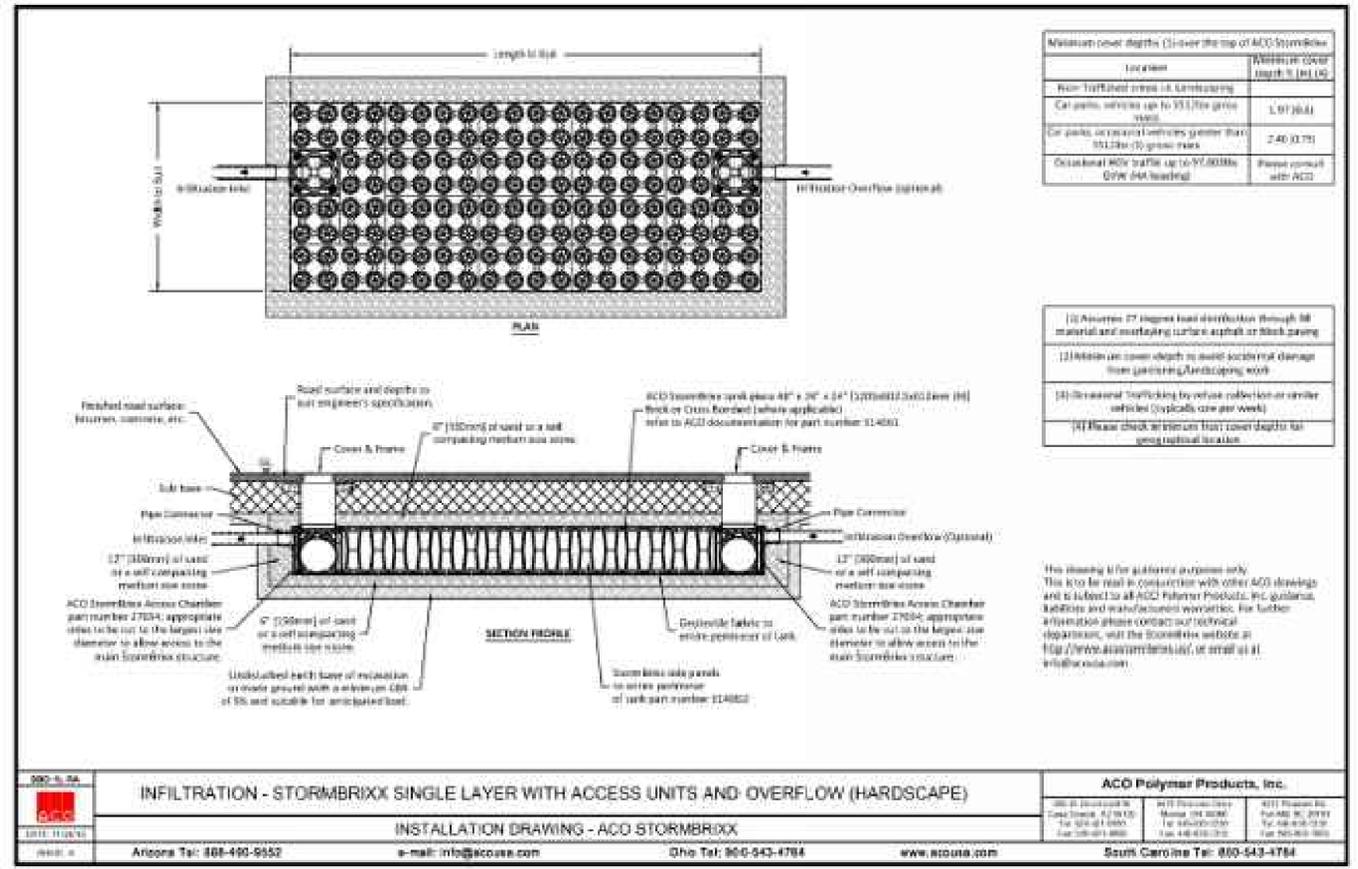
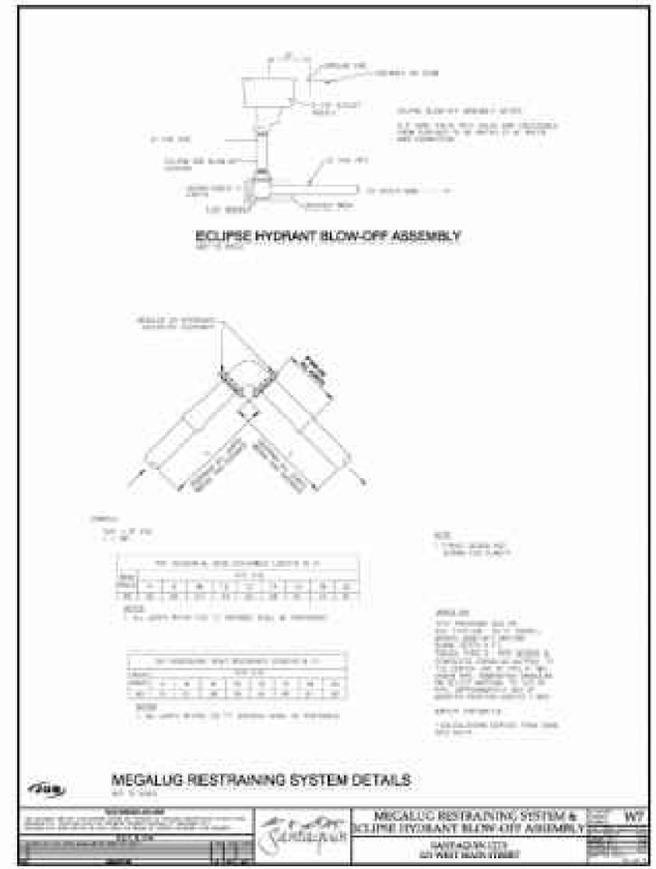
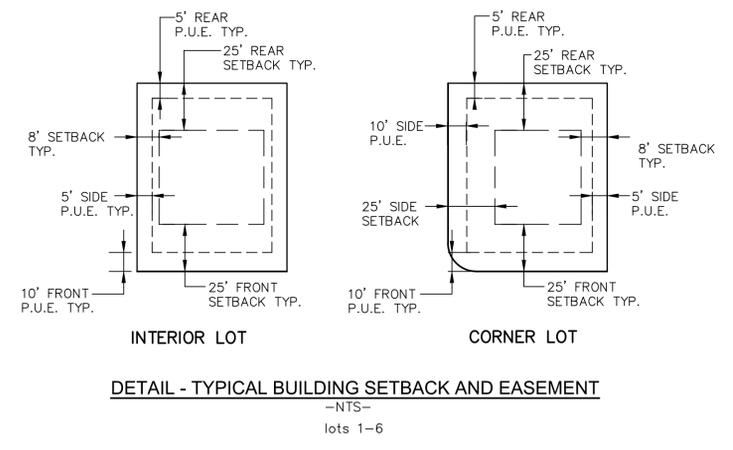
NO.	REVISIONS	BY	DATE
12			
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SHEET NO.

5



NOTE:
1. RIGHT OF WAY TO BE 62' WIDE IN ACCORDANCE WITH THE SANTAQUIN CITY CONSTRUCTION DESIGN STANDARDS.



SHEET NO. DT-01

DETAIL SHEET

SANTAQUIN, UTAH

HERITAGE CIRCLE

ATLAS ENGINEERING
CIVIL · STRUCTURAL · SURVEY

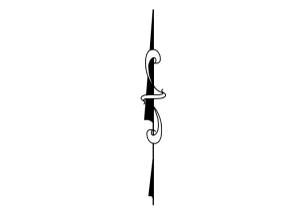
PHONE: 801-955-6565
945 E. BOON SUITE A
SPRINGFORK, UT 84607

ACO Polymer Products, Inc.

ACO StormBrixx
Part No. 27034
Part No. 27034
Part No. 27034

ACO StormBrixx
Part No. 27034
Part No. 27034
Part No. 27034

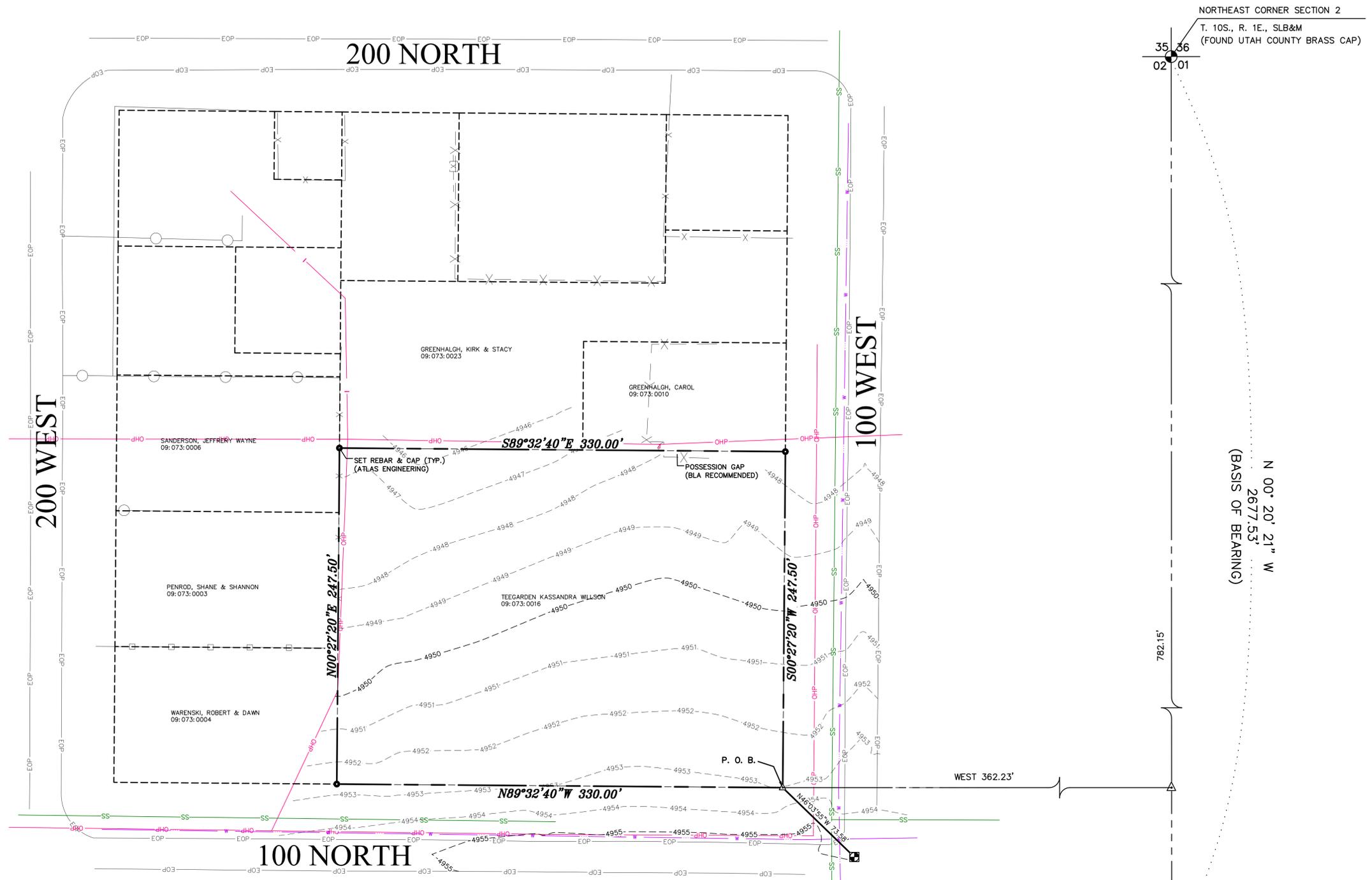
ACO StormBrixx
Part No. 27034
Part No. 27034
Part No. 27034



(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'

LEGEND

	PROPERTY BOUNDARY
	CENTERLINE
	SECTION LINE
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING FENCE REMNANTS
	EXISTING VINYL FENCE LINE
	EXISTING CHAIN FENCE LINE



NARRATIVE

1. THE PURPOSE OF THIS SURVEY IS SHOW THE RELATIONSHIP BETWEEN THE PHYSICAL POSSESSION & THE EXISTING DEEDS OF THE PROPERTY AND TO PROVIDE THE CURRENT TOPOGRAPHIC CONDITIONS. THE BOUNDARY OF THE REQUESTED PROPERTY SHOWN IS PROPOSED AND CORRECTIVE ACTION IS RECOMMENDED (BOUNDARY LINE AGREEMENT).
2. THE PROPERTY IS LOCATED IN THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN.
3. FOUND THE SOUTHEAST SECTION CORNER AND THE NORTHEAST SECTION CORNER, FOR SAID SECTION 2.
4. THE BASIS OF BEARING IS NORTH 00° 20' 21" WEST BETWEEN THE EAST QUARTER SECTION CORNER AND THE NORTHEAST SECTION CORNER OF SAID SECTION 2.
5. REBAR AND CAP WERE FOUND, AS SHOWN HEREON. SET PROPERTY MARKERS, AS SHOWN HEREON. IF CORNER FALLS IN CONCRETE OR FENCE CORNER NOTHING WAS SET.

AS-SURVEYED DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 16, PLAT A, SANTAQUIN CITY SURVEY, SAID POINT ALSO BEING LOCATED 782.15 FEET NORTH 00° 20' 21" WEST ALONG THE SECTION LINE AND 362.23 FEET WEST FROM THE EAST QUARTER CORNER SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE ALONG THE SOUTH LINE OF SAID BLOCK NORTH 89° 32' 40" WEST 330.00 FEET TO THE EXTENSION OF AN EXISTING CHAIN LINK FENCE, MORE OR LESS; THENCE, MORE OR LESS, ALONG SAID EXTENSION AND FENCE LINE THEREOF, NORTH 00° 27' 20" EAST 247.50 FEET; THENCE SOUTH 89° 32' 40" EAST 330.00 FEET TO THE EAST LINE OF BLOCK 16; THENCE ALONG SAID EAST LINE SOUTH 00° 27' 20" WEST 247.50 FEET TO THE POINT OF BEGINNING.

AREA= 81,675 SQ. FEET, OR 1.88 ACRES, MORE OR LESS

CERTIFICATION

I, DAVID F. HUNT, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH; THAT THIS MAP CORRECTLY REPRESENTS AN BOUNDARY & TOPOGRAPHIC SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF MARCH, 2023; THAT THE SURVEY IS TRUE AND CORRECT AS SHOWN; THAT THE PROPERTY BOUNDARY SHOWN & DESCRIBED HEREON IS CORRECT AND CAN BE RETRACED.



EAST 1/4 SECTION 2
T. 10S., R. 1E., SLB&M
(UTAH COUNTY BRASS CAP NOT FOUND)

NORTHEAST CORNER SECTION 2
T. 10S., R. 1E., SLB&M
(FOUND UTAH COUNTY BRASS CAP)

N 00° 20' 21" W
2677.53'
(BASIS OF BEARING)

SHEET NO.		R.O.S.	
12	11	10	9
8	7	6	5
4	3	2	1
NO.		DATE	
RECORD OF SURVEY		SANTAQUIN, UTAH	
HERITAGE CIRCLE		ATLAS ENGINEERING L.L.C. PHONE: 801-655-0566 946 E. 800 N., SUITE A SPANISH FORK, UT 84660 C:\USERS\ASTONEBWAYA\ONE DRIVE - ATLAS ENGINEERING\23-013 SANTAQUIN - GREENHALGH\CADD\PRELIMINARY\R.O.S..DWG	



DRC Members in Attendance: City Engineer Jon Lundell, City Planner Aspen Elmer, Building Official Randy Spadafora, Public Works Director Jason Callaway, Police Lieutenant Mike Wall, Fire Marshall Allen Duke and Assistant City Manager Jason Bond

Others in Attendance: Engineer Megan Wilson, Applicant John Caldwell and Deputy City Recorder Gwen Butters

City Engineer Lundell called the meeting to order at 10:00 a.m.

NEW BUSINESS

1. Final Subdivision Review for Apple Grove Plat A and B

A final review of a 24-unit condominium development located at approximately 1000 North 120 East

City Engineer Lundell introduced the item stating this is a final review of the Apple Grove Condominium Development Plats A and B. After coordinating with the applicant, they have requested that we proceed with A and B which correspond with buildings A and B which currently face 120 East. Public utilities are completed and currently available to the two buildings. In future DRC meetings, further phasing plan amendments will be addressed. The applicants request that we proceed with reviewing Plats A and B as there are no changes to these phases.

Assistant City Manager Bond stated for clarification, Plats C, D and E require amendment to the preliminary plan. Once completed, review will proceed for these plats. At this meeting, we are reviewing only Phases A and B.

City Engineer Lundell states that this is correct and further clarifies that because these reviews are for two separate phases, two motions will be required for each phase being reviewed.

Assistant City Manager Bond stated that the applicant has received approval for the architectural review. It was inquired whether there would be any issue with storm water retention. City Engineer Lundell stated the retention basin has been constructed and is in operation. However, the required landscaping has not been installed. This basin also serves developments that surround it to the North.

City Engineer Lundell noted that minor details are needed. The plan requires labeling for a minimum of six (6) inches of road base being compacted and placed to allow an adequate turn-around for emergency services. Also needed is labeling regarding what is assumed to be the pavilion detail.

No further comments from the DRC Committee were received.

Police Lieutenant Wall made a motion to approve Apple Grove Condominium Development Phase A. Building Official Spadafora seconded the motion.

City Engineer Jon Lundell	Yes
City Planner Aspen Elmer	Yes
Building Official Randy Spadafora	Yes
Public Works Director Jason Callaway	Yes
Police Lieutenant Mike Wall	Yes

Fire Marshall Allen Duke Yes
Assistant City Manager Jason Bond Yes

The motion passed.

Building Official Spadafora made a motion to approve Apple Grove Condominium Development Phase B.
City Planner Elmer seconded the motion.

City Engineer Jon Lundell Yes
City Planner Aspen Elmer Yes
Building Official Randy Spadafora Yes
Public Works Director Jason Callaway Yes
Police Lieutenant Mike Wall Yes
Fire Marshall Allen Duke Yes
Assistant City Manager Jason Bond Yes

The motion passed.

MEETING MINUTES APPROVAL

2. January 27, 2026

Fire Marshall Duke made a motion to approve the DRC meeting minutes from January 27, 2026.
Building Official Spadafora seconded the motion.

City Engineer Jon Lundell Yes
City Planner Aspen Elmer Yes
Building Official Randy Spadafora Yes
Public Works Director Jason Callaway Yes
Police Lieutenant Mike Wall Yes
Fire Marshall Allen Duke Yes
Assistant City Manager Jason Bond Yes

The motion passed.

ADJOURNMENT

Assistant City Manager Bond made a motion to adjourn the meeting.

The meeting was adjourned at 10:06 a.m.

Jon Lundell, City Engineer

Gwen Butters, Deputy City Recorder