



DEVELOPMENT REVIEW COMMITTEE

Tuesday, January 09, 2024, at 10:30 AM
Council Chambers at City Hall Building and Online
110 S. Center Street, Santaquin, UT 84655

MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

AGENDA

NEW BUSINESS

1. Stratton Meadows Plat A Preliminary Plan

A Preliminary Plan review of the Statton Meadows Plat A subdivision located at approximately 840 N 200 E.

MEETING MINUTES APPROVAL

2. December 12, 2023

ADJOURNMENT

CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at www.santaquin.org, in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:

Amalie R. Ottley, City Recorder

SITE DEVELOPMENT CONSTRUCTION PLANS

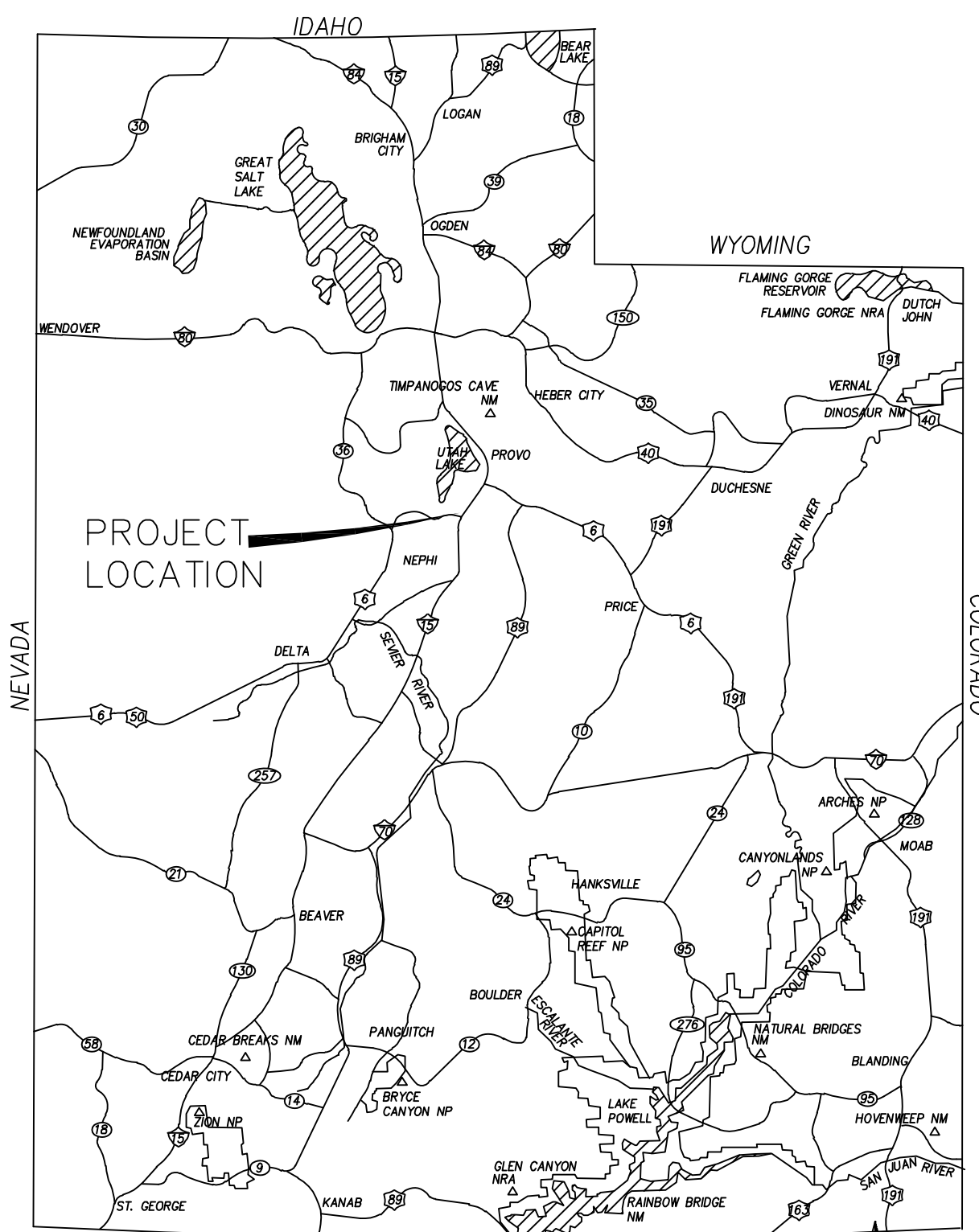
STRATTON MEADOW SUBDIVISION

LOCATION

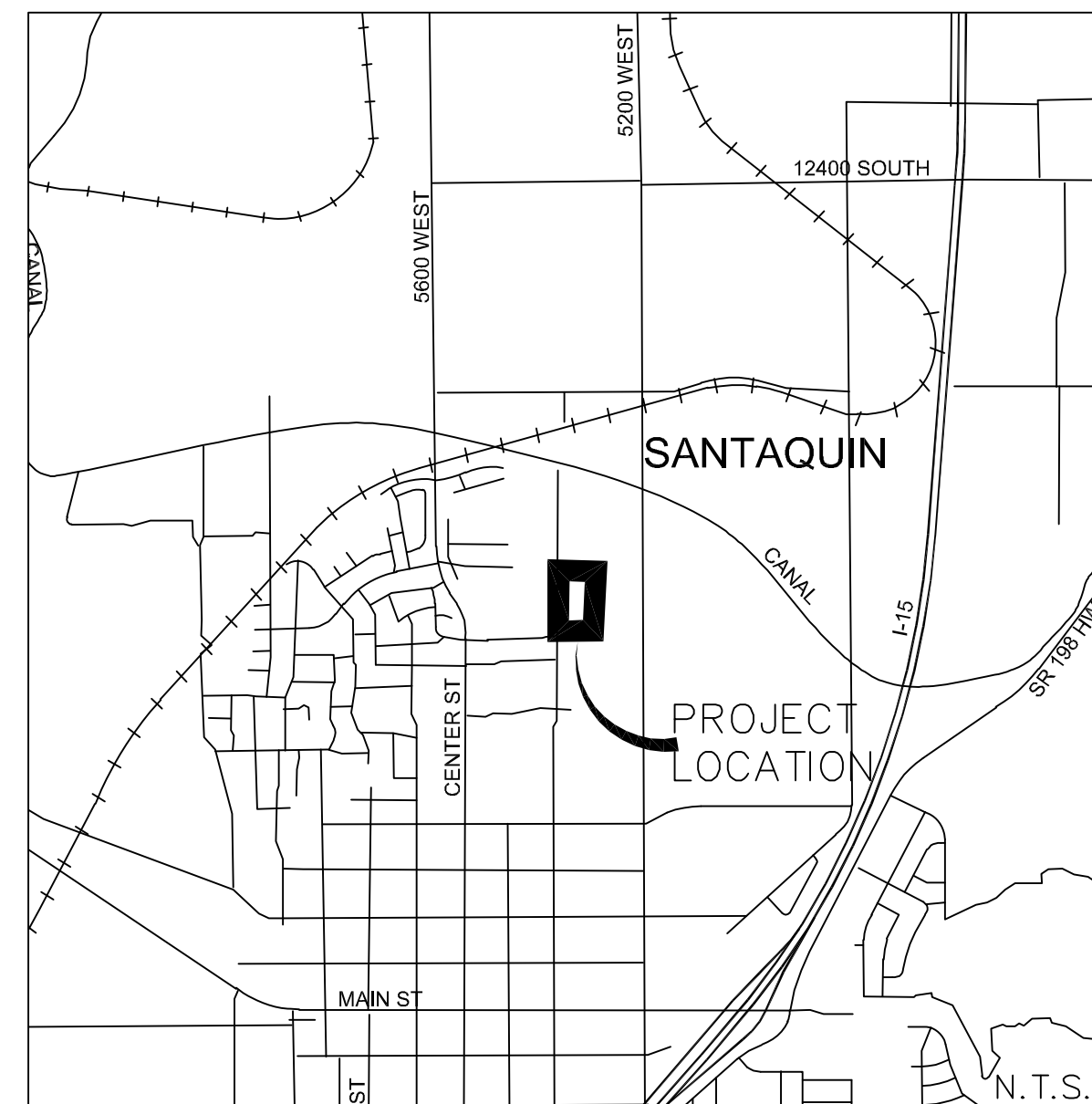
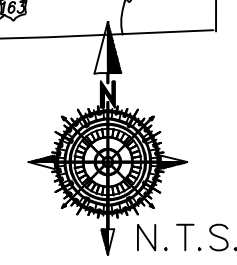
SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN, UTAH COUNTY, UTAH

PRELIMINARY
Sept 6, 2023

REVISIONS			
#	DESCRIPTION	DATE	SHEETS AFFECTED

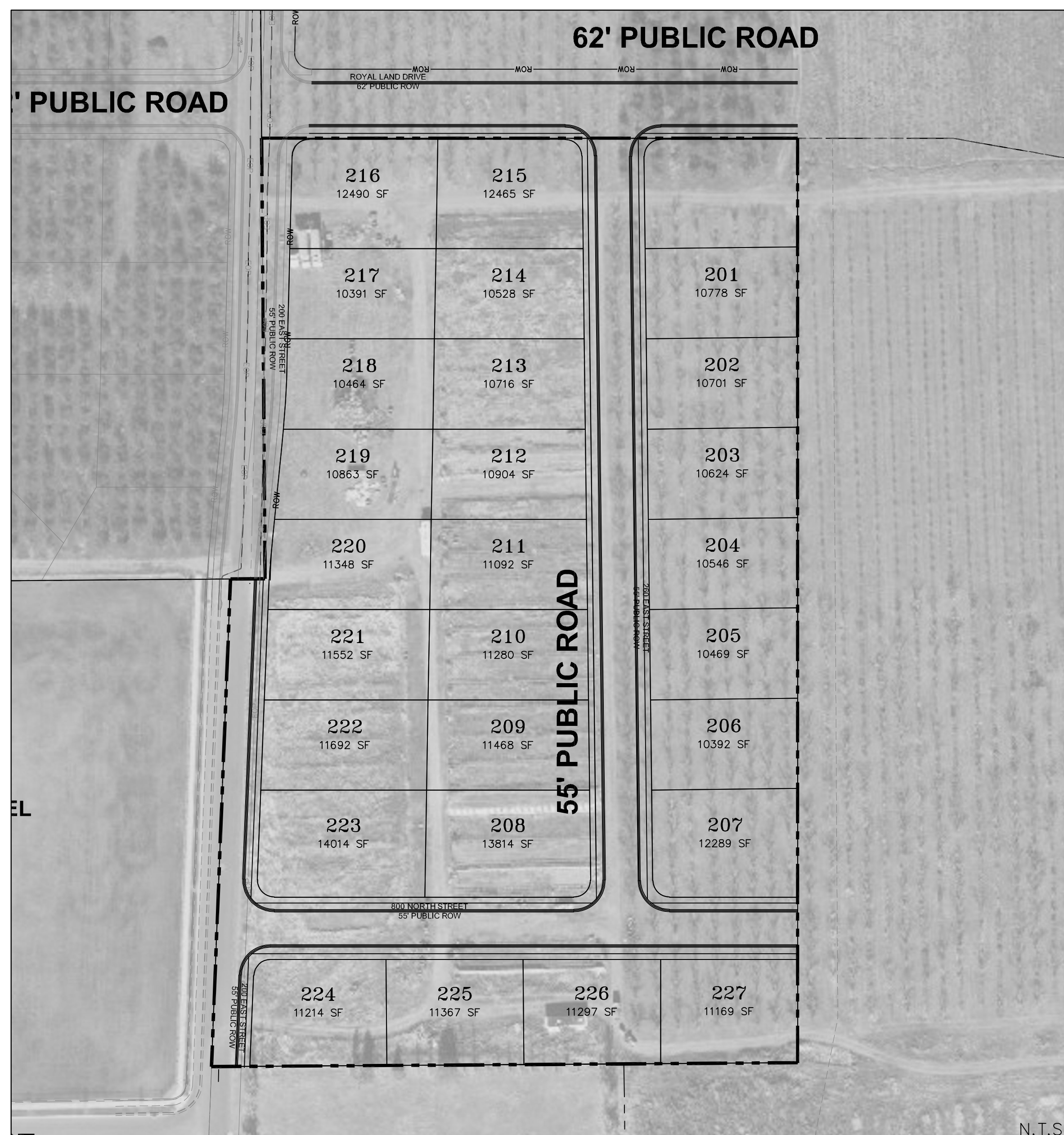


VICINITY MAP

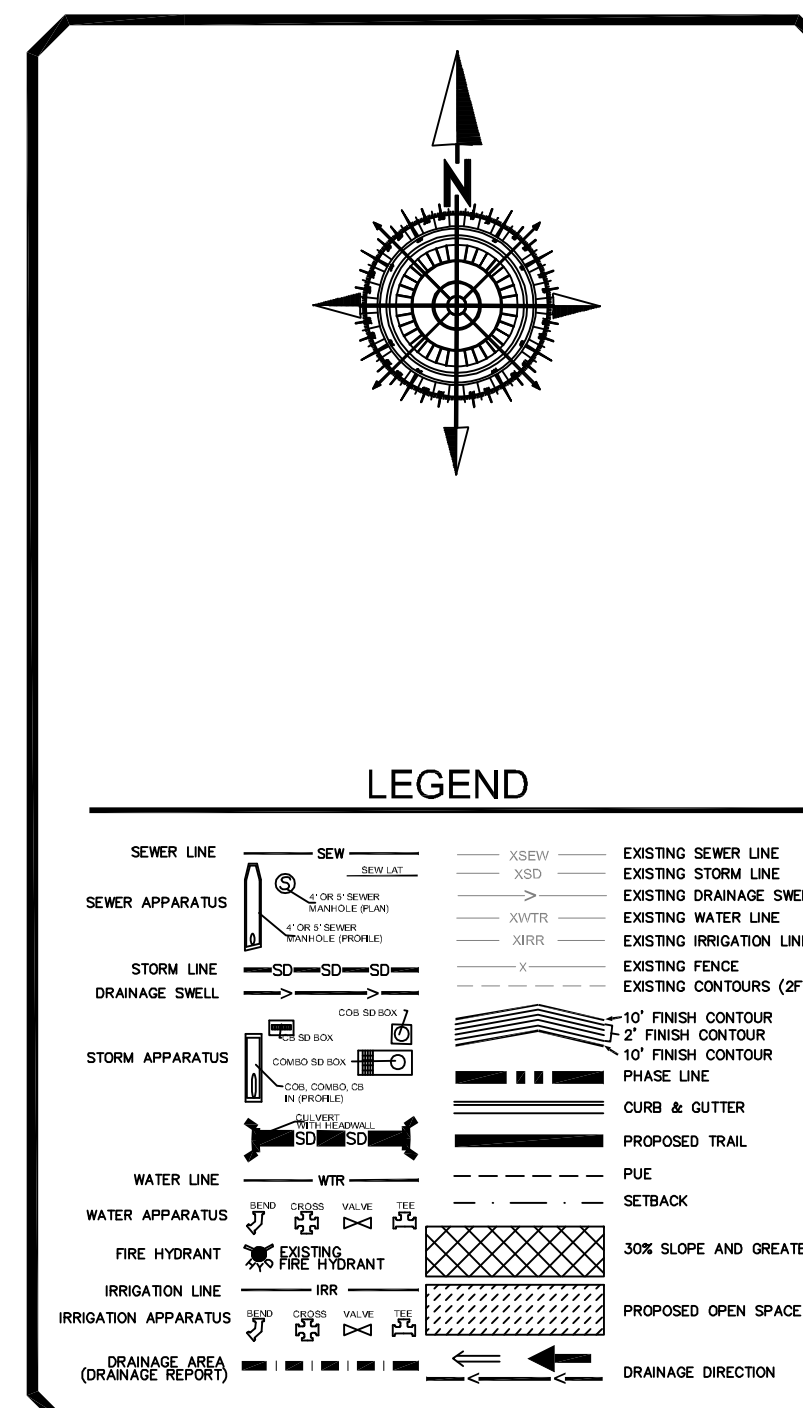


PROPERTY OWNER:
STRATTON ACRES LLC
KAMERON SPENCER
847 E DRAPER MEADOW LANE
DRAPER, UTAH 84020
801-330-0546

ENGINEER:
GATEWAY CONSULTING INC.
PAUL WATSON
PO BOX 951005
RIVERTON, UTAH 84095
801-694-5848



NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.

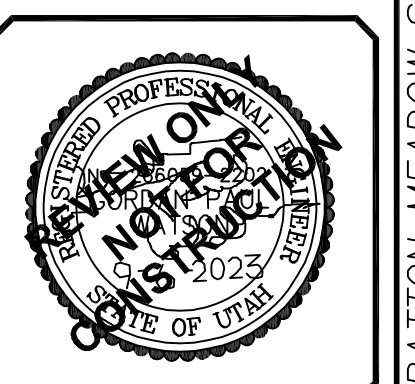


INDEX OF SHEETS	
1	TITLE SHEET
1A	PROJECT NOTES
	BOUNDARY SURVEY
	PLAT
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	OVERALL SITE PLAN
G1-G2	GRADING SHEETS (1"=30')
U1	CULINARY WATER UTILITY PLAN
U2	SANITARY SEWER UTILITY PLAN
U3	STORM WATER UTILITY PLAN
U4	IRRIGATION UTILITY PLAN
DRAIN	SITE DRAINAGE PLAN
SS1	LIGHTING / SIGNAGE /STRIPING PLAN
PP1	ROYAL LAND DRIVE
PP2	200 EAST STREET
PP3	260 EAST STREET
PP4	800 NORTH STREET
SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ER1-ER2	EROSION CONTROL NOTES AND DETAILS
D1	STREET DETAILS
D2	SANITARY SEWER DETAILS
D3	CULINARY WATER DETAILS
D4	STORM WATER DETAILS
D5	PRESSURIZED IRRIGATION DETAILS
D6	STREET LIGHT AND SIGNAGE DETAILS

ZONE	R-10
LOTS	27
ACREAGE	9.3ac.
ACREAGE LOTS	7.08ac.
ACREAGE ROW	1.96ac.
DENSITY	3 lots to the ac.

GATEWAY CONSULTING, Inc.
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT



SHEET NO. 1

STRATTON MEADOW SUBDIVISION
9-6-2023

CONSTRUCTION NOTES

- Construction Notes
1. All work to be done in conformity to SATAQUIN CITY standards and specification and as directed by the SATAQUIN CITY engineer or his representatives.
2. All sewer and water system construction shall be in accordance with SATAQUIN CITY standards and specifications.
3. Contractor shall contact blue stakes prior to beginning construction, to facilitate the location and identification of existing underground utilities.
4. Contractor responsible for protection of all utilities shown or not shown.
5. Contractor shall be responsible to obtain and pay for necessary permits.
6. Contractors shall attend all pre-construction conferences.
7. Contractor shall be responsible for all public safety and OSHA standards.
8. Contractor shall field verify locations and invert elevations of all existing sewer facilities and other utilities prior to building or staking any new sewer lines.
9. Location and installation of gas, power, telephone, and cable lines to be done in accordance with SATAQUIN CITY standards.
10. All culinary water lines shall be per SATAQUIN CITY standards.
11. Minimum depth for culinary waterlines from the final grade to the top of the pipe is 4 feet, unless otherwise noted on the plan and profile sheets.
12. Minimum spacing between waterlines and sewer lines is 10 feet horizontally or 12 inches vertically (in times of crossing the waterline shall be above the sewer line).
13. All ductile iron valves, hydrants, and buried fittings shall be wrapped with 8 mil thick polyethylene film tube or sheet.
14. Sanitary sewer laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted green.
15. All sewer laterals will be marked with a "S" stamped into the curb above.
16. Culinary water laterals shall extend into each lot 15' and be marked with a 2" by 4" board with the top 12" painted blue.
17. All culinary water laterals will be marked with a "W" on the curb above.
18. Contractor to verify as build sewer laterals for building FF design. Existing sewer lateral to govern.

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santiquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santiquin City Codes, Ordinances and Standards'.

MISC CONSTRUCTION NOTES

THE CONTRACTOR SHALL CAREFULLY READ ALL OF THE NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL BE SATISFIED AS TO THEIR TRUE MEANING AND INTENT AND SHALL BE RESPONSIBLE FOR COMPLYING WITH EACH.

GENERAL NOTES:

- 1) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE FOLLOWING: SATAQUIN CITY STANDARD SPECIFICATIONS, LATEST EDITION, AND ALL AMENDMENTS THERETO UNLESS OTHERWISE STATED.
2) PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL CONTACT SATAQUIN CITY FOR A PRE-CONSTRUCTION CONFERENCE.
3) IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
4) WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
5) THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT.
7) CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHTS-OF-WAY OR EASEMENTS FROM SATAQUIN CITY AND UDOT.
8) THE CONTRACTOR SHALL, AT THE TIME OF BIDDING, AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDBLE FOR AN AMOUNT EQUAL TO OR GREATER THAN THE AMOUNT BID AND TO DO THE TYPE OF WORK CONTEMPLATED IN THE PLANS AND SPECIFICATIONS.
9) CONTRACTOR SHALL INSPECT THE SITE OF THE WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.
10) THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY.
11) THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.
12) THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
13) THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.
14) THE CONTRACTOR AGREES THAT:
A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK.
B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.
C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES.
D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE RIGHTS-OF-WAY AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE.
F. UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
15) THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
16) DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
17) CONSTRUCTION STAKING FOR LIMITS OF DISTURBANCE INCLUDING CONSTRUCTION AND SILT FENCES, GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTRICS MAY BE DONE BY AWARDED SURVEYOR.
18) FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL.
19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT.
20) IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE.
21) WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
22) THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES.
23) WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.
24) BENCHMARK: 4759.858
ELEVATION: NORTHEAST CORN SEC 36, T9S, R1E, S1B&M
DESCRIPTION: FOUND 3" BRASS CAP

CLEARING AND GRADING NOTES:

- 1) CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH SATAQUIN CITY STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATIONS FOUND IN THE LATEST REPORT OF GEOTECHNICAL INVESTIGATION.
2) THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON A TOPO SURVEY SUPPLIED BY THE OWNER.
3) THE OWNER SHALL PROVIDE A TEMPORARY EROSION CONTROL PLAN AND OBTAIN ALL PERMITS REQUIRED BY SATAQUIN CITY AND THE STATE OF UTAH FOR TEMPORARY EROSION CONTROL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ALL TEMPORARY EROSION CONTROL AND MAINTENANCE, AND SHALL PROVIDE EROSION AND SEDIMENT CONTROL FORMS TO THE CITY.
4) SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION.
5) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.
7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

DEWATERING NOTES:

- 1) THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION.
2) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS.
3) SLUMPS SHALL BE AT THE LOW POINT OF EXCAVATION.
4) THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "BOILS", DOES NOT OCCUR.
5) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS.
6) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS.
7) THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS.

UNDERGROUND UTILITIES:

- 1) THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION.
2) PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATED IN THE FIELD, THEIR MAIN AND SERVICE LINES.
3) THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE.
4) PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED.
5) IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES.
6) THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION.
7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF SATAQUIN CITY FOR H-20 LOAD REQUIREMENTS.

SURFACE IMPROVEMENTS:

- 1) SUB GRADE PREPARATION: EARTHWORK FOR ROADWAY SECTIONS SHOULD BE CONDUCTED PER THE LATEST GEOTECH REPORT.
2) ALL MANHOLE RIMS, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING.
3) PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON THE PLANS.
4) INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH SATAQUIN CITY DEVELOPMENT GUIDELINES.
5) PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT TO THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY OF SATAQUIN, AND POWER CO. TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.
6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING.
7) STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02580.

Table with columns: NO., DESCRIPTION, N/S, DATE, APPD.

Table with columns: ORIG. DATE, SURVEY BY, DRAWN BY, DESIGNED BY, CHECKED BY, SCALE.

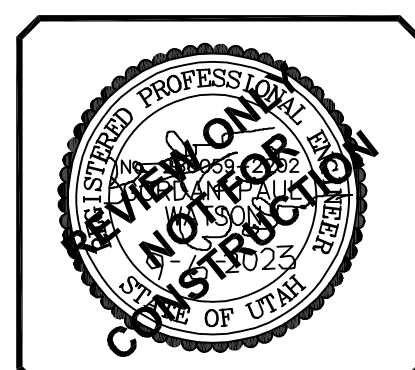
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GATEWAY CONSULTING, Inc.
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CIVIL ENGINEERING * CONSULTING * LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
PROJECT NOTES AND CONTACT INFORMATION
9-6-2023
PLOT DATE:

SANTAQUIN CITY



SHEET NO. 1A

LEGAL DESCRIPTIONS

PARCEL 1:

Commencing 17.76 chains East of the Southwest corner of the Northwest quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence East 5.98 chains; thence North 13.59 chains; thence East 25 links; thence North 6.45 chains to a point 20 chains North of the South line of said Northwest quarter; thence West 5.78 chains; thence South 6.45 chains; thence West 50 links; thence South 13.59 chains to the beginning.

ALSO that portion of land acquired by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

LESS AND EXCEPTING THEREFROM the following:

Beginning at a point located North 89°32'33" East along the quarter section line 1,136.25 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence North 01°41'33" East 17.18 feet; thence along the arc of a 790.00 foot radius curve (radius bears North 14°48'36" East) 80.27 feet through a central angle of 05°49'18" (Chord: South 78°06'03" East 80.23 feet) to said quarter section line; thence South 89°32'33" West along said quarter section line 79.02 feet to the point of beginning.

ALSO LESS AND EXCEPTING that portion of land deeded to Kenyon L. Farley and Irene Farley aka Irene L. Farley by Boundary Line Agreement recorded March 19, 2007 as Entry No. 39584:2007.

PARCEL 2:

Commencing North 1323.92 feet and East 1184.86 feet from the West quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 423.05 feet; thence West 22.17 feet; thence North 01°41'33" East 21.06 feet; thence North 00°13'13" West 402 feet; thence East 23.09 feet to the beginning.

PARCEL 3:

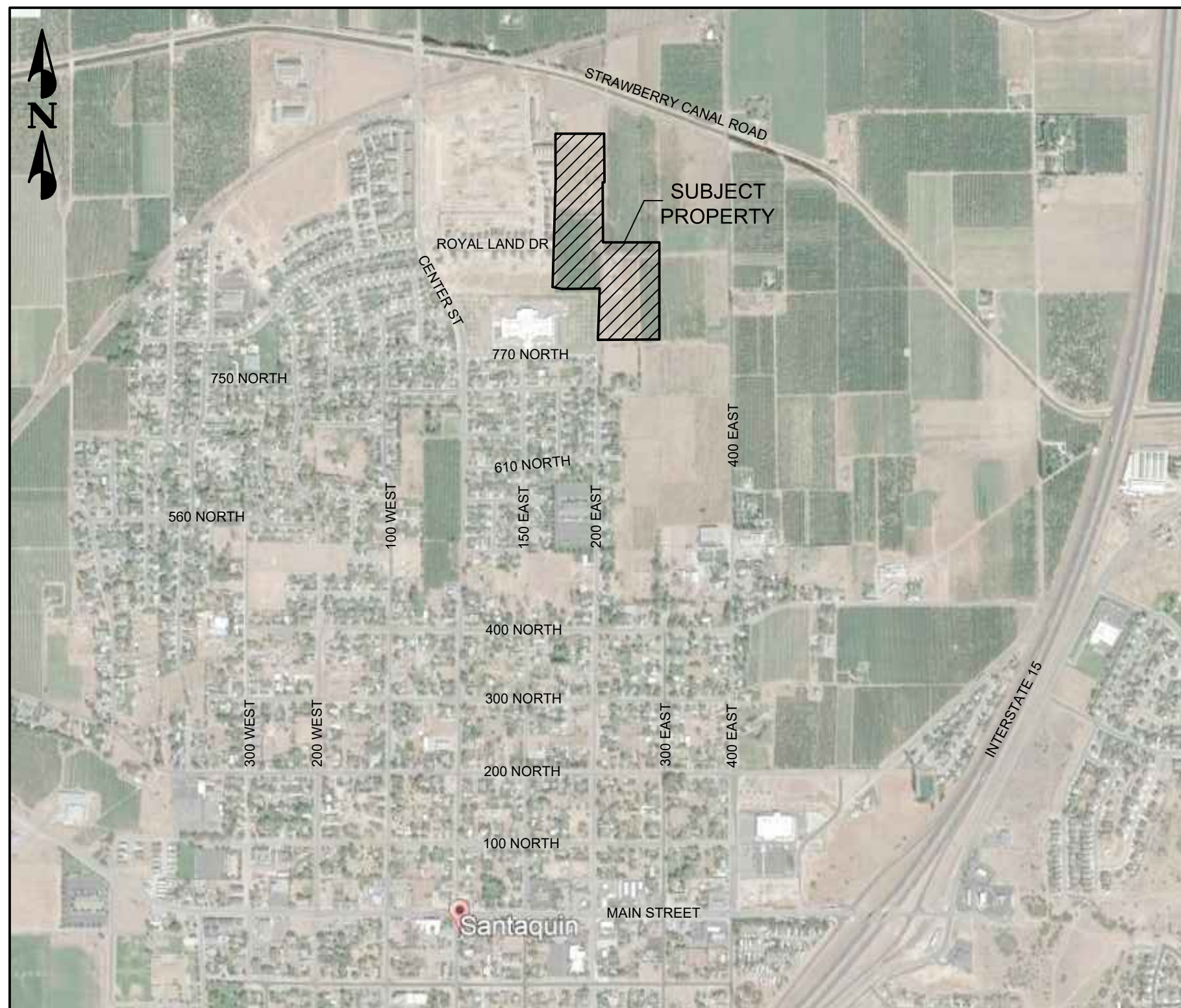
Commencing 9.20 chains West of the Southeast Corner of the Northwest Quarter of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence South 6.72 chains; thence West 8.04 chains; thence North 6.72 chains; thence East 1.07 chains; thence North 16.99 chains; thence East 25 links; thence North 1.47 chains; thence East 6.72 chains; thence South 18.46 chains to beginning.

LESS AND EXCEPTING the following:

Beginning at the intersection of the North boundary line of Plat "B", Alpine View Subdivision and the Easterly right-of-way line of Center Street (a 99' wide public road) as dedicated on Plat "E", The Orchards Subdivision official plat. Said intersection lies 2,050.41 feet N. 00°16'52" W. along the section line and 407.76 feet East of the Southwest corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; thence N. 00°12'34" E. 123.48 feet along said right-of-way, thence continuing along said right-of-way along a curve turning to the left with an arc length of 538.70 feet, a radius of 1,054.00 feet and a chord bearing and distance of N. 14°25'59" W. 532.85 feet to the 1/4 section line, thence N. 89°32'36" E. 1,257.59 feet along the 1/4 section line, thence S. 02°13'39" W. 626.31 feet to the Northeast corner of said Plat "B", Alpine View Subdivision, thence S. 88°46'00" W. 1,101.10 feet along said subdivision to the point of beginning.

ALSO LESS AND EXCEPTING the following:

Beginning at a point that lies S 00°20'15" E 1371.20 feet along the Quarter Section Line and 27.63 feet West from the North Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian, thence S. 00°33'21" E. 156.60 feet along the West line of a Warranty Deed as recorded in the Utah County Recorder's office as Entry Number 56278, thence N. 89°24'42" E. 10.35 feet along the South line of said Warranty Deed to the West line of 5200 West Street, thence along said West line of said 5200 West Street the following 2 courses (1) S. 00°24'57" E. 500.88 feet, (2) S. 00°19'44" E. 155.45 feet, thence S. 89°40'02" W. 181.50 feet, thence S. 00°19'44" E. 127.73 feet, thence N. 80°00'00" W. 274.06 feet, thence West 613.10 feet to the Southeast corner of a Quit Claim Deed as recorded in the Utah County Recorder's Office as Entry Number 93946:2017, thence N. 00°27'24" W. 506.49 feet along the East line of said Quit Claim Deed, thence N. 89°32'36" E. 33.00 feet to the East line of a 2 rod street as platted in Map 34-E (a Subdivision of the West half of said Section 36 filed June 3, 1908 in the office of the Utah County Recorder), thence N. 00°27'24" W. 551.60 feet along said East line, thence N. 89°32'36" E. 49.50 feet along Lot 3 of said Subdivision, thence N. 00°27'24" W. 203.58 feet along Lot 3 of said Subdivision to the South Line of Strawberry High-line Canal Easement, thence S. 69°35'24" E. 16.70 feet along said South line to the Northeast Corner of a less and excepting parcel of land as recorded in the Utah County Recorder's Office as Entry Number 55820:2008, thence S. 00°33'00" E. 4.67 feet along the West line of said Parcel of Land, thence S. 69°32'40" E. 1023.79 feet to the point of beginning.



VICINITY MAP
(NOT TO SCALE)

REFERENCE DOCUMENTS

CHERRY ORCHARD ESTATES PLAT-G
ENTRY: 16468:2001 MAP #8952

THE ORCHARDS PLAT "G-4"
ENTRY: 131982:2021 MAP #17824

APPLE VALLEY PLAT A
ENTRY: 46147:2018 MAP #16048

BENCHMARK

EAST 1/4 CORNER SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
NAD83 ELEVATION=4793.24

LOCATION

LOCATED IN PORTIONS OF THE NORTHWEST
AND SOUTHWEST QUARTER OF SECTION 36,
TOWNSHIP 9 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN.

FLOOD ZONE

PARCELS LIE WITHIN FLOOD ZONE X,
AREA OF MINIMAL FLOOD HAZARD
COMMUNITY-PANEL NUMBER 49049C0975F,
EFFECTIVE DATE: JUNE 19, 2020

TITLE REPORT EXCEPTIONS

Republic National Title Insurance Company
Cottonwood Title Insurance Agency
File Number: 155143-RCM
Commitment Date: August 18, 2022 at 7:30AM

1.-15. {Not a survey matter}

16. Easement Agreement in favor of Qwest Corporation d/b/a CenturyLink QC, its successors, assigns, lessees, licensees, agents and affiliates to construct, operate, maintain, repair, expand, replace and remove a communication system and incidental purposes, by instrument recorded October 7, 2020, as Entry No. 156593:2020. {Does not affect Subject Property as shown hereon}

NOTE: The legal description therein appears to contain an error.

17. Rights of the public, and others entitled thereto, to use for street and incidental purposes any portion of the Land lying within 200 East Street. {Affects Subject Property as shown hereon}

18.-22. {Not a survey matter}

NARRATIVE

The purpose of this survey is to show the relationship of Survey Parcel with surrounding parcels and improvements, as well as to provide those named in the Surveyors Certificate a ALTA/NSPS survey for their use in evaluating the site.

This Survey does not guarantee title to line, nor is it proof of ownership, nor is it a legal instrument of conveyance. Furthermore, any survey markers set in conjunction with this survey are not intended to represent evidence of ownership of the subject property or its adjoiners. The general intent of this survey is to portray where possible the record title lines of the subject property and to show their relationship to any evidence of use and/or possession.

This survey represents opinions based on facts and evidence. As the evidence changes or if new evidence is discovered or recovered, then the surveyor reserves the right to modify or alter his opinions pertaining to this survey according to this new evidence.

This survey shows all easements of record as disclosed by the title report as shown hereon. The surveyor has made no independent search for record easements or encumbrances. This survey depicts all observable improvements or other indications of easements and utilities. Utilities shown hereon are based on a combination of visual inspection by survey crews and drawings provided by local utility companies during the course of the survey. It is the contractors responsibility to seek blue stake information and verify utility locations prior to any excavation.

Basis of Bearing is North 89°32'33" East between the East Quarter corner and the West Quarter corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian as shown hereon.

SURVEY DESCRIPTION

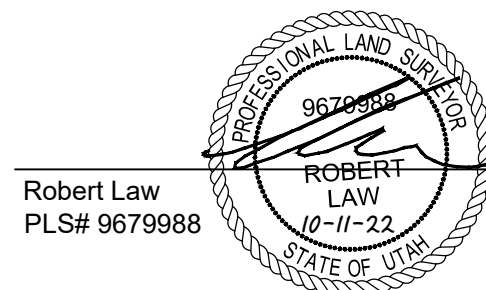
Beginning at the southeast corner of Lot 209 of The Orchards Plat G-1, Entry Number 102759:2019, Map Number 16746; said point being North 89°32'33" East, along the section line, 1146.15 feet and North, 317.94 feet from the West Quarter Corner of Section 36, Township 9 South, Range 1 East, Salt Lake Base and Meridian; said West Quarter Corner of Section 36 being South 89°32'33" West, along the section line, 5292.30 feet from the East Quarter Corner of said Section 36; and running thence along the easterly boundary line of said The Orchards Plat G-1 the following two (2) calls: 1) North 01°38'35" E, 595.10 feet; 2) North 00°13'13" West, 139.06 feet to a point at the southeast corner of the Apple Hollow at The Orchards Plat A-11, Entry Number 12754:2019, Map Number 16860; thence North 00°13'13" West, along the easterly boundary line of said Apple Hollow at The Orchards Plat A-11, 258.32 feet; thence East, 411.19 feet; thence South 00°27'27" East, 409.77 feet; thence South 89°32'33" West, 16.49 feet; thence South 00°27'27" East, 506.49 feet; thence East, 475.18 feet; thence South 00°00'03" East, 819.47 feet; thence South 89°37'56" West, 519.80 feet; thence North 02°13'39" East, 432.44 feet to a point the quarter section line; thence South 89°32'33" West, along said quarter section line, 320.88 feet to a point on a non-tangent 790.00 foot radius curve to the right; thence 79.47 feet along said curve through a central angle of 05°45'50" (chord bears North 78°07'37" West, 79.44 feet) to a point on the easterly boundary line of The Orchards Plat G-4, Entry Number 131982:2021, Map Number 17824; thence North 01°38'35" East, along said easterly boundary line, 301.17 feet to the point of beginning.

Contains: 21.69 Acres

SURVEYORS CERTIFICATE

To: Stratton Acres, LLC, a Utah limited liability company, Old Republic National Title Insurance Company, and Cottonwood Title Insurance Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on: September 23, 2022.



Robert Law
PLS# 9679988

Date: 10-11-2022

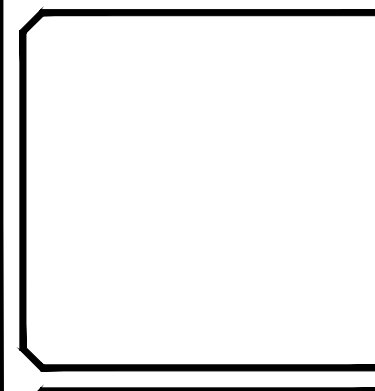
NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE:	09/2022
SURVEY BY:	PEFG CREW
DRAWN BY:	BCB
DESIGNED BY:	N/A
CHECKED BY:	RSL
SCALE:	1"=60'

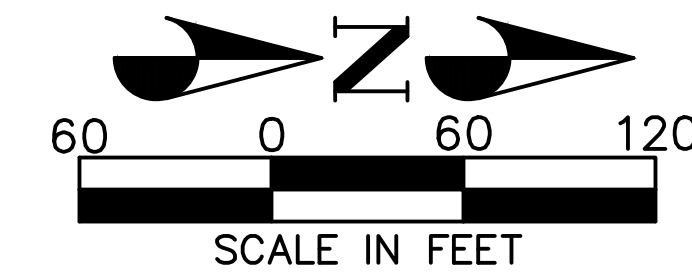
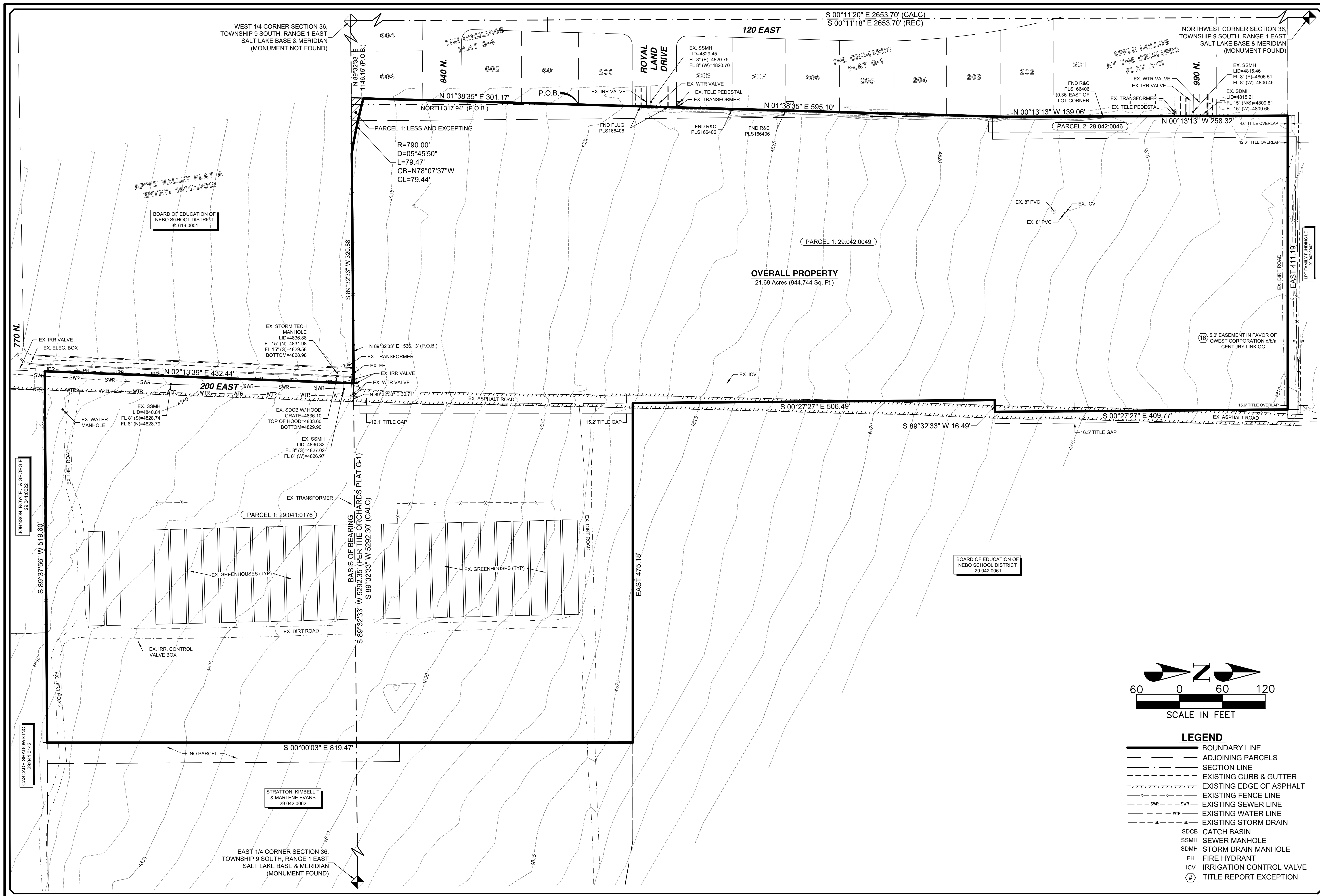
CMT TECHNICAL SERVICES
9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2621 • FAX: (801) 562-2551
MATERIALS TESTING • INSPECTION SERVICES • LAB TESTING • GEOTECHNICAL
ENVIRONMENTAL • CIVIL ENGINEERING • TRANSPORTATION ENGINEERING
SURVEYING • CONSTRUCTION MANAGEMENT • SPECIALTY LAB

STRATTON ACRES, LLC
ALTA/NSPS SURVEY
PARCELS: 29:042:0049,
29:042:0046, & 29:041:0176
OCTOBER 11, 2022
LAST REVISED: _____
PROJECT NUMBER: 1555.2210
DRAWING FILE: DWG\ALTA-PH2

SANTAQUIN CITY



SHEET NO. 1/2



- LEGEND**
- BOUNDARY LINE
 - - - ADJOINING PARCELS
 - SECTION LINE
 - - - EXISTING CURB & GUTTER
 - ||||| EXISTING EDGE OF ASPHALT
 - - - EXISTING FENCE LINE
 - - - SWR - - - EXISTING SEWER LINE
 - - - WTR - - - EXISTING WATER LINE
 - - - SD - - - EXISTING STORM DRAIN
 - SDCB CATCH BASIN
 - SSMH SEWER MANHOLE
 - SDMH STORM DRAIN MANHOLE
 - FH FIRE HYDRANT
 - ICV IRRIGATION CONTROL VALVE
 - (E) TITLE REPORT EXCEPTION

NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE: 09/2022
 SURVEY BY: REFG CREW
 DRAWN BY: BCB
 DESIGNED BY: N/A
 CHECKED BY: RSJ
 SCALE: 1"=60'

CMT TECHNICAL SERVICES
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
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STRATTON ACRES, LLC
ALTA/NSPS SURVEY
 PARCELS: 29:042:0049,
 29:042:0046, & 29:041:0176
 OCTOBER 11, 2022
 PROJECT NUMBER: 1555.2210
 DRAWING FILE: DWG\ALTA-PH2

SANTAQUIN CITY

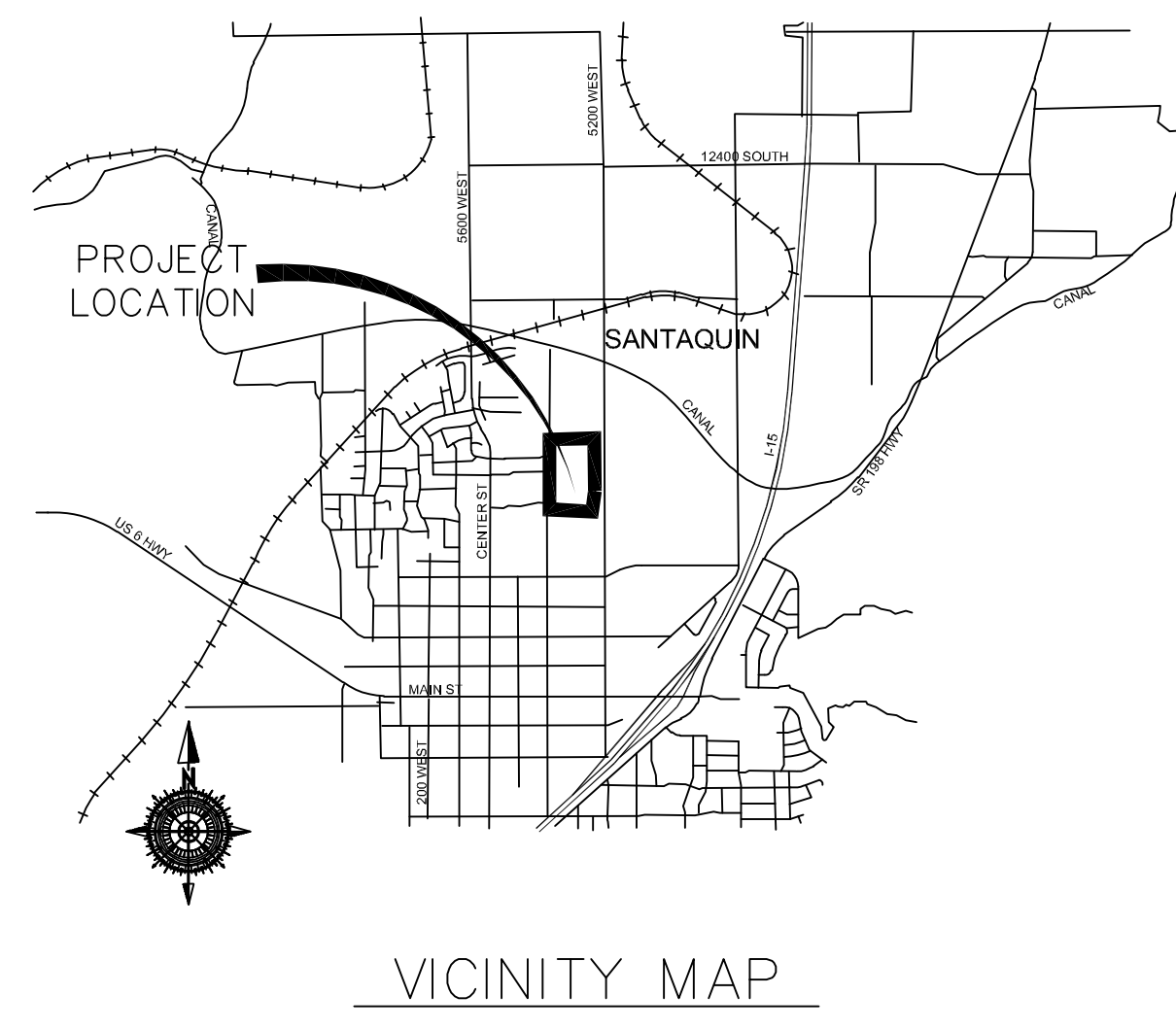
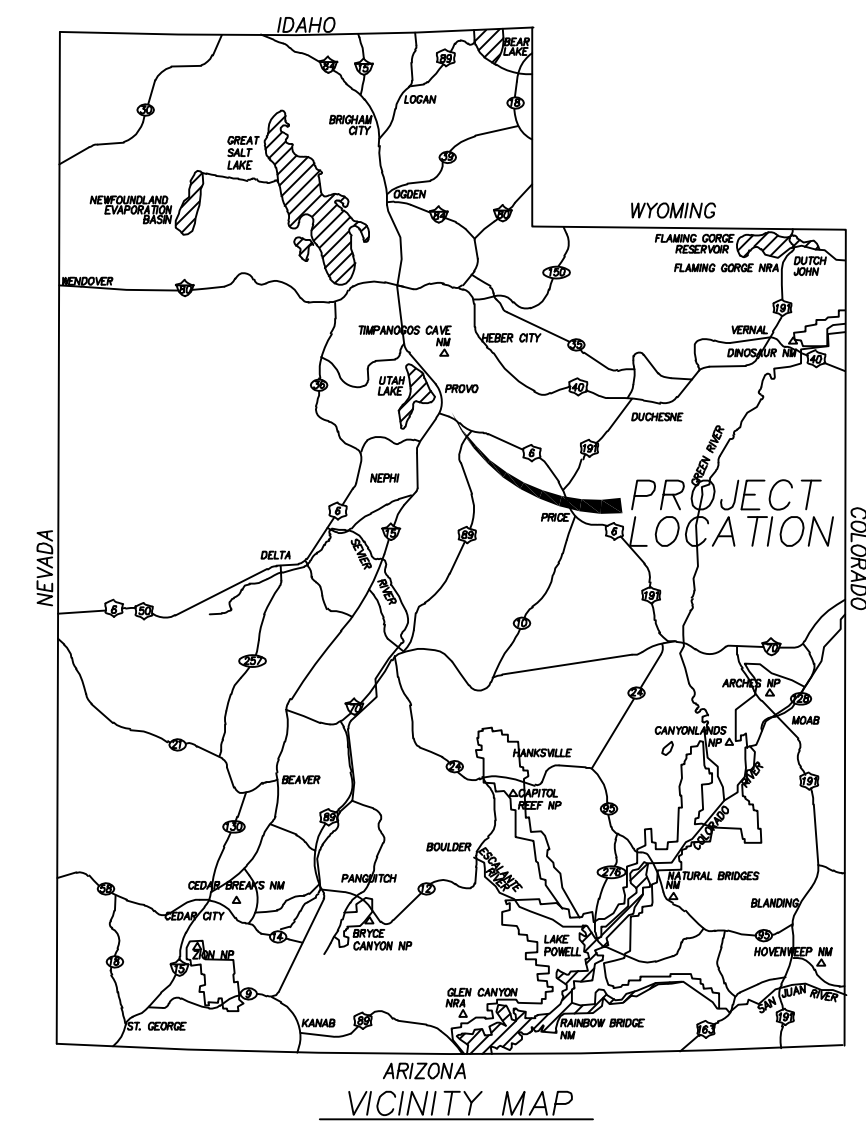


SHEET NO. **2/2**

STRATTON MEADOW SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH

PRELIMINARY PLAT



SURVEYOR'S CERTIFICATE

I, _____ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR WITH PEPG CONSULTING, LLC AND THAT I HOLD LICENSE NO. 9679988 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS(S), I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17 AND HAVE VERIFIED ALL MEASUREMENTS AND HAVE PLACED MONUMENTS AS REPRESENTED ON THIS PLAT. AND THE PLAT IS STRATTON MEADOW SUBDIVISION, SANTAQUIN, UTAH. HAS BEEN DRAWN CORRECTLY TO THE DESIGNATED SCALE AND IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LANDS INCLUDED IN SAID SUBDIVISION, BASED UPON DATA COMPILED FROM RECORDS IN THE SALT LAKE COUNTY RECORDER'S OFFICE AND FROM SAID SURVEY MADE BY ME ON THE GROUND.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT THAT IS S 89°23'33" W 1,536.13 FEET ALONG THE 1/4 SECTION LINE FROM THE WEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE SOUTHEAST CORNER OF SANTAQUIN ACRES PHASE 1, AND RUNNING THENCE ALONG SAID BOUNDARY THE FOLLOWING 2 CALLS; 1) THENCE N 89°32'33" E 30.71 FEET, 2) THENCE N 00°27'27" W 390.47 FEET, THENCE EAST 475.18 FEET, THENCE S 00°00'03" E 819.47 FEET, THENCE S 89°37'06" W 519.60 FEET, THENCE N 02°13'39" E 432.56 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINS 28 LOTS AND 9.30 ACRES.

DATE: _____

NOTES:

- TYPE II MONUMENT (ALUMINUM CAN AND REBAR) TO BE SET #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
- NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- AGRICULTURE PROTECTION AREA
THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS, THAT ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYORS CERTIFICATE HEREON AND SHOWN ON THE MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20_____

BOARD OF EDUCATION NEBO SCHOOL DISTRICT
(MANAGER)

STRATTON ACRES LLC
XXXXXX (MANAGER)

STRATTON ACRES LLC
KAMERON SPENCER (MANAGER)

STRATTON MEADOW SUBDIVISION

A SINGLE FAMILY PROJECT LOCATED IN THE SOUTH HALF OF SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 1 SOUTH, RANGE 5 EAST SALT LAKE BASE AND MERIDIAN.

ACCEPTANCE BY ADMINISTRATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC. THIS _____ DAY OF _____, A.D. 20_____

APPROVED BY MAYOR _____

APPROVED _____ ENGINEER (SEE SEAL BELOW) ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNERS(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 17-27a-903(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 96, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

Approved this _____ day of _____, 20_____

ROCKY MOUNTAIN POWER

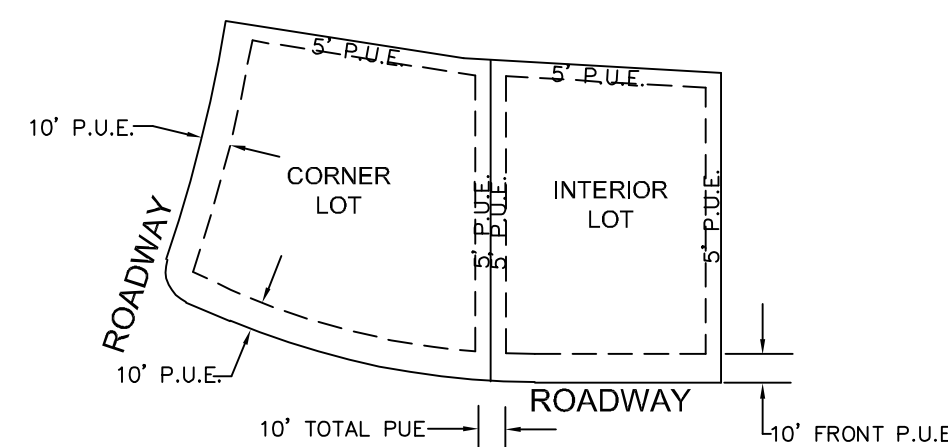
DOMINION ENERGY QUESTAR CORPORATION

DOMINION ENERGY QUESTAR CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY QUESTAR CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY QUESTAR CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
Approved this _____ day of _____, 20_____

QUESTAR GAS COMPANY

By: _____
Title: _____

TYPICAL LOT P.U.E. DETAILS



INTERIOR AND CORNER LOTS UNLESS OTHERWISE NOTED ON PLAT

- NOTES:
- 10 FEET PUE FRONT AND STREET SIDES.
 - 5 FEET PUE REAR AND 5' PUE SIDE LOT LINES.

NOT TO SCALE

SCHOOL BOARD ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
ON THE _____ DAY OF _____, 20_____, PERSONALLY APPEARED BEFORE ME _____ FOR AND IN BEHALF OF _____ WHO BEING BY ME DULY SWORN, DID SAY THAT (S)HE IS THE SIGNER(S) OF THE FOREGOING INSTRUMENT, AND THAT THE (S)HE EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
On the _____ day of _____, A.D., 20_____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

UTAH COUNTY RECORDER

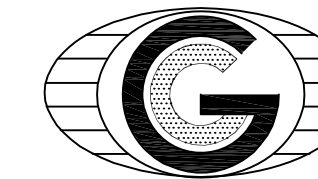
NO. _____ BOOK _____ PAGE _____ DATE _____ STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____ RECORDED AND FILED AT THE REQUEST OF _____

COUNTY RECORDER

SURVEYOR OF RECORD:

SURVEYOR LOGO HERE

PROJECT ENGINEER:



GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ S.S.
On the _____ day of _____, A.D., 20_____, personally appeared before me, the undersigned Notary Public, in and for said County of _____ in said State of Utah, _____ who after being duly sworn acknowledged to me that _____ a Limited Liability Company (), that He signed the owners dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

COUNTY RECORDER SEAL

CITY CLERK SEAL

SURVEYORS SEAL

CITY ENGINEER SEAL

SHEET NO

1 / 2

ADDRESSES	
LOT	ADDRESS
201	884 NORTH 260 EAST
202	872 NORTH 260 EAST
203	860 NORTH 260 EAST
204	848 NORTH 260 EAST
205	836 NORTH 260 EAST
206	824 NORTH 260 EAST
207	812 NORTH 260 EAST
208	800 NORTH 260 EAST
209	788 NORTH 260 EAST
210	776 NORTH 260 EAST
211	764 NORTH 260 EAST
212	752 NORTH 260 EAST
213	740 NORTH 260 EAST
214	728 NORTH 260 EAST
215	716 NORTH 260 EAST
216	704 NORTH 260 EAST
217	692 NORTH 260 EAST
218	680 NORTH 260 EAST
219	668 NORTH 260 EAST
220	656 NORTH 260 EAST
221	644 NORTH 260 EAST
222	632 NORTH 260 EAST
223	620 NORTH 260 EAST
224	608 NORTH 260 EAST
225	596 NORTH 260 EAST
226	584 NORTH 260 EAST
227	572 NORTH 260 EAST

EAST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

STRATTON MEADOWS SUBDIVISION

PROJECT LOCATED IN THE SOUTH HALF OR THE NORTHWEST CORNER
OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

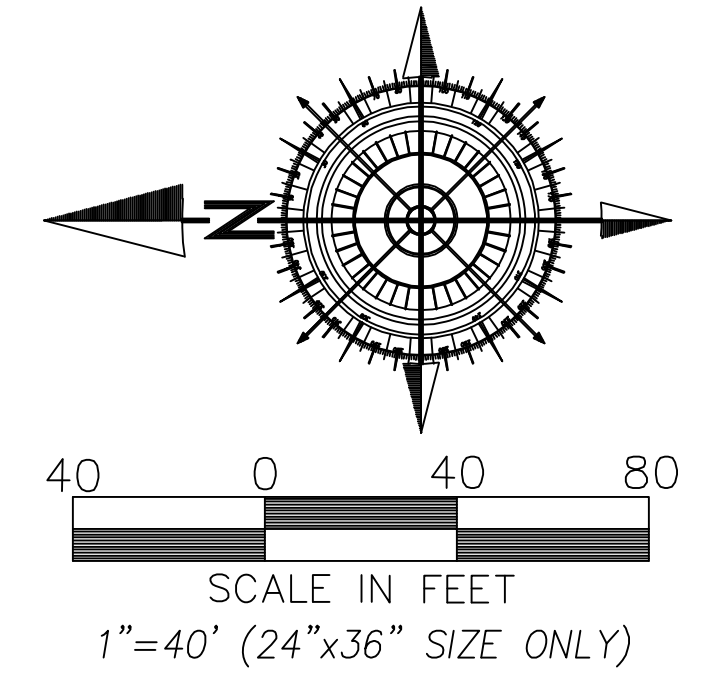


BOARD OF
EDUCATION
29:042:0061

ROADWAY DEDICATION
ENTRY#
BOOK
PAGE

CASCADE SHADOWS INC
29:041:0142

JOHNSON
29:041:0022



SURVEYOR OF RECORD:
SURVEYOR LOGO HERE

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.38'	15.00'	21.08'	S45°20'46"E	89°18'29"
C2	23.74'	15.00'	21.34'	N44°39'14"E	90°41'31"
C3	22.98'	15.00'	20.80'	S46°06'48"W	87°45'04"
C4	24.15'	15.00'	21.63'	S43°52'32"E	92°14'56"
C5	23.74'	15.00'	21.34'	S44°39'14"W	90°41'31"
C6	23.38'	15.00'	21.08'	N45°20'46"W	89°18'29"
C7	23.19'	15.00'	20.95'	S45°42'21"W	88°35'18"
C8	38.78'	527.50'	38.77'	S3°31'04"W	4°12'44"
C9	36.76'	500.00'	36.75'	S3°31'04"W	4°12'44"
C10	14.58'	247.50'	14.58'	S3°56'11"W	3°22'30"
C11	16.20'	275.00'	16.20'	S3°56'11"W	3°22'30"

- LEGEND**
- PHASE BOUNDARY LINE
 - - - SECTION LINE
 - CENTER LINE
 - - - P.U.E. LINE
 - - - SETBACKS
 - EXISTING UDOT MONUMENT
 - ◆ SECTION CORNER
 - NEW ROAD MONUMENT
 - EXISTING REBAR AND CAP

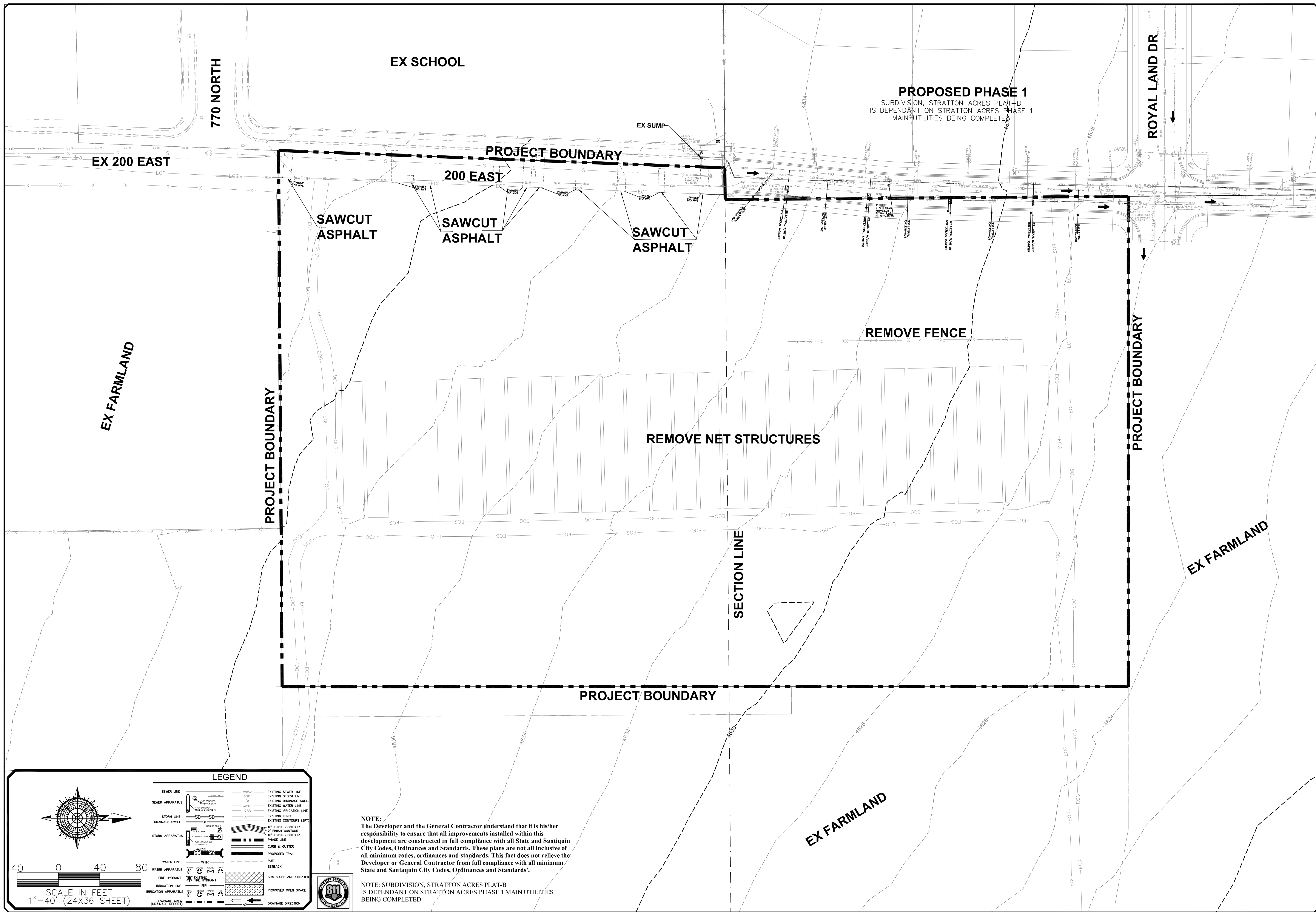
PROJECT ENGINEER:
GATEWAY CONSULTING, inc
P.O. BOX 951005 SOUTH JORDAN, UT 84095
PH: (801) 694-5848
paul@gatewayconsultingllc.com

POINT OF BEGINNING:
S 89°32'33"W 1.636 13'
S 89°32'33"W 5.292 30' (CALC)
S 89°32'33"W 5.292 35' (PER THE ORCHARDS PLAT G-1)
BASIS OF BEARING

WEST QUARTER CORNER
SECTION 36
TOWNSHIP 9 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN

SHEET NO
2
2

SANTAQUIN CITY RECORDER
NO. _____ BOOK _____ PAGE _____ DATE _____
STATE OF UTAH, COUNTY OF WASATCH, TIME _____, FEE _____
RECORDED AND FILED AT THE REQUEST OF _____
COUNTY RECORDER



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (2FT)
	IRRIGATION APPARATUS		10' FINISH CONTOUR
	DRAINAGE SHELL		2' FINISH CONTOUR
	PROPOSED TRAIL		PHASE LINE
	SETBACK		CURB & GUTTER
	SLOPE AND GREATER		PROPOSED OPEN SPACE
	DRAINAGE DIRECTION		SAWCUT ASPHALT

NOTE:
The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards.

NOTE: SUBDIVISION, STRATTON ACRES PLAT-B IS DEPENDANT ON STRATTON ACRES PHASE 1 MAIN UTILITIES BEING COMPLETED

NO.	DESCRIPTION	DATE	APP'D

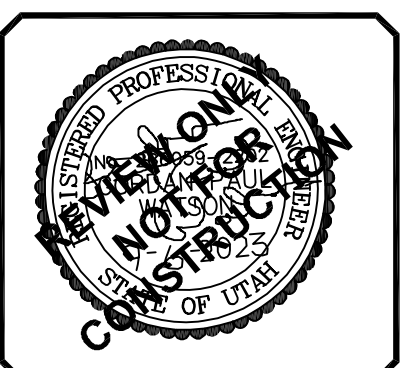
ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

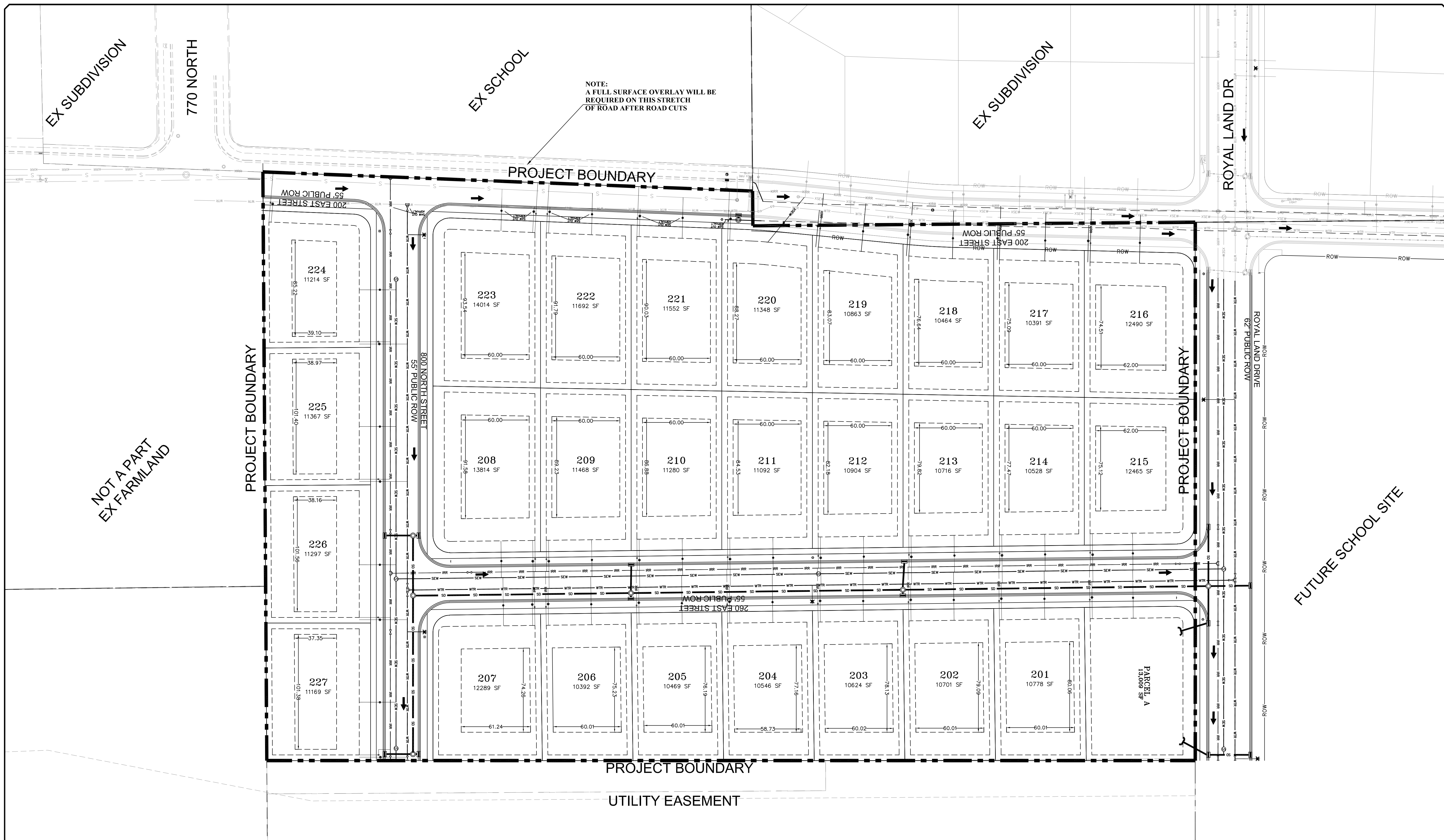
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 EXISTING CONDITIONS
 AND DEMOLITION SHEET
 9-6-23

SANTAQUIN
 CITY



SHEET NO. 2



LEGEND

SEWER LINE	EXISTING SEWER LINE
SEWER APPARATUS	EXISTING STORM LINE
STORM LINE	EXISTING DRAINAGE SWELL
DRAINAGE SWELL	EXISTING WATER LINE
STORM APPARATUS	EXISTING IRRIGATION LINE
WATER LINE	EXISTING FENCE
WATER APPARATUS	EXISTING CONTOUR (2FT)
FIRE HYDRANT	10' FINISH CONTOUR
IRRIGATION LINE	5' FINISH CONTOUR
IRRIGATION APPARATUS	10' FINISH CONTOUR
DRAINAGE AREA	PHASE LINE
STREET LIGHT	BOUNDARY LINE
	CURB & OUTER
	PIKE
	SETBACK
	SOE SLOPE AND GRATER
	PROPOSED OPEN SPACE
	STOP OR STREET SIGN
	DRAINAGE DIRECTION

SCALE IN FEET
1" = 40' (24x36 SHEET)

NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=40'

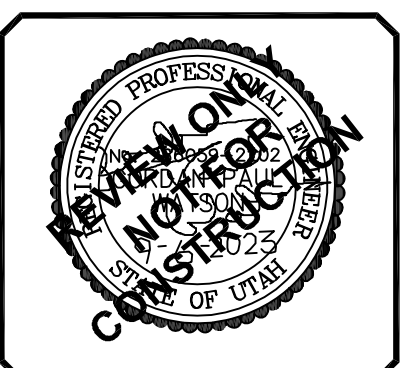
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 paul@gatewayconsultingllc.com

CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW
 SUBDIVISION
 SITE PLAN

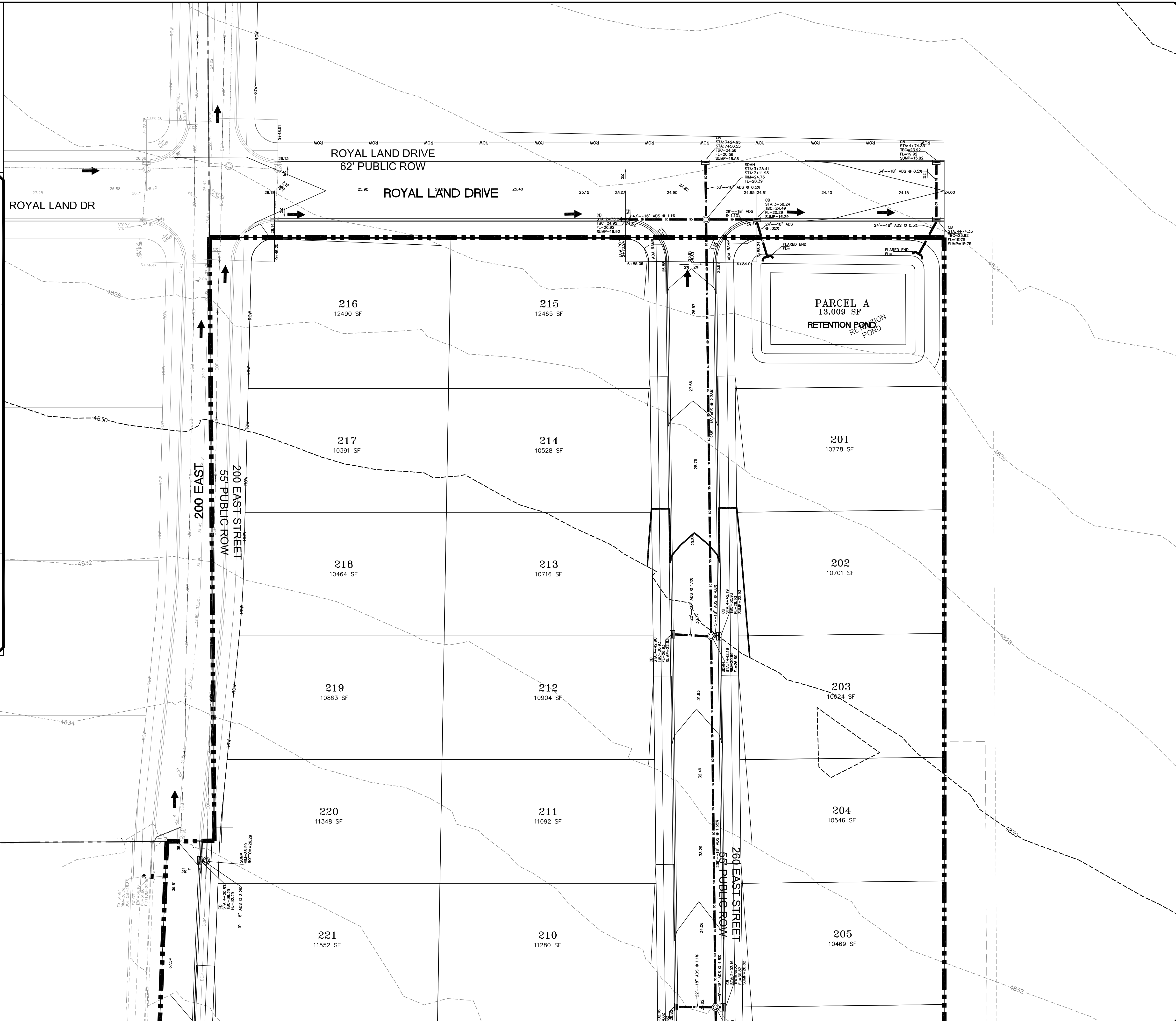
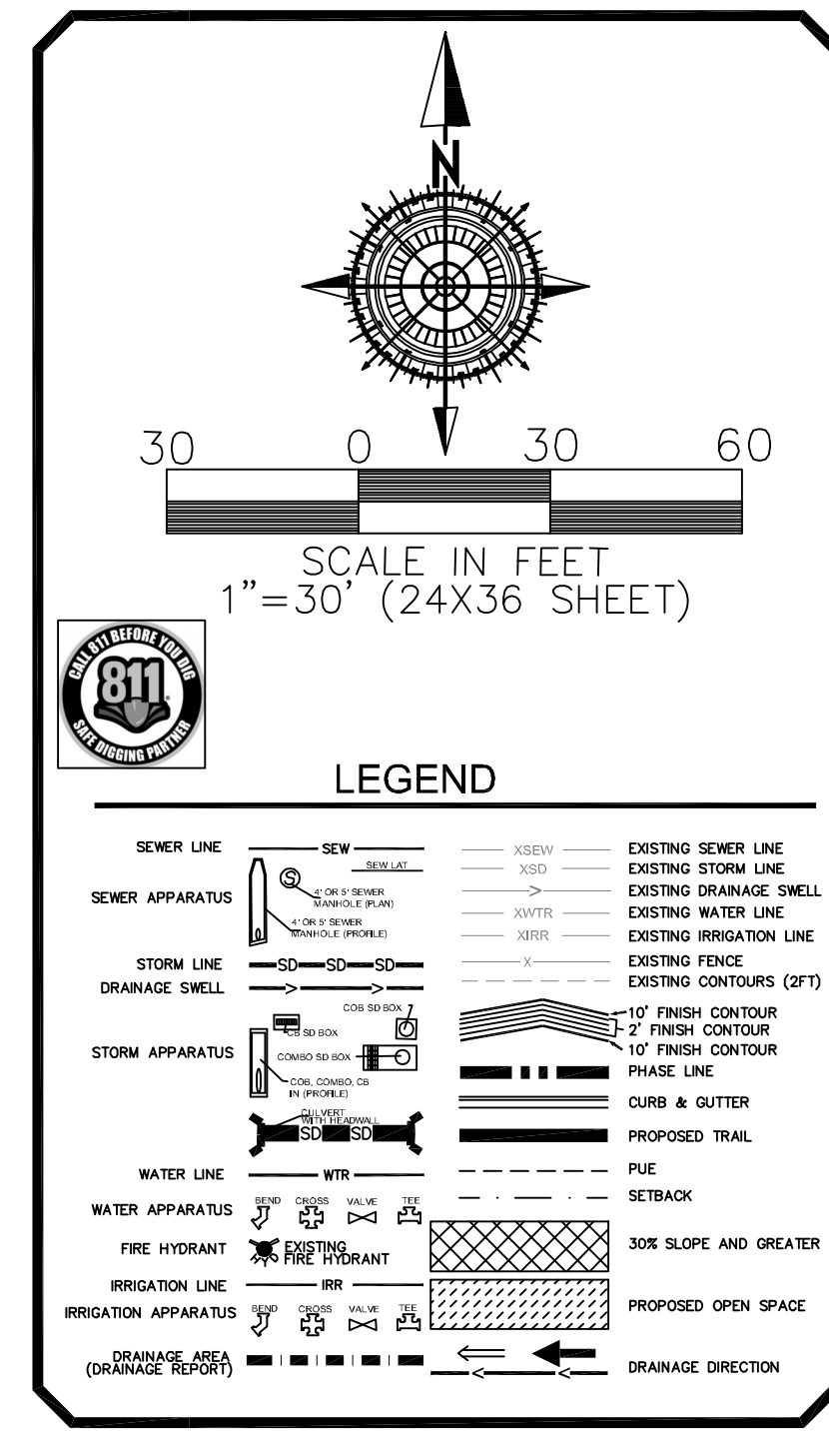
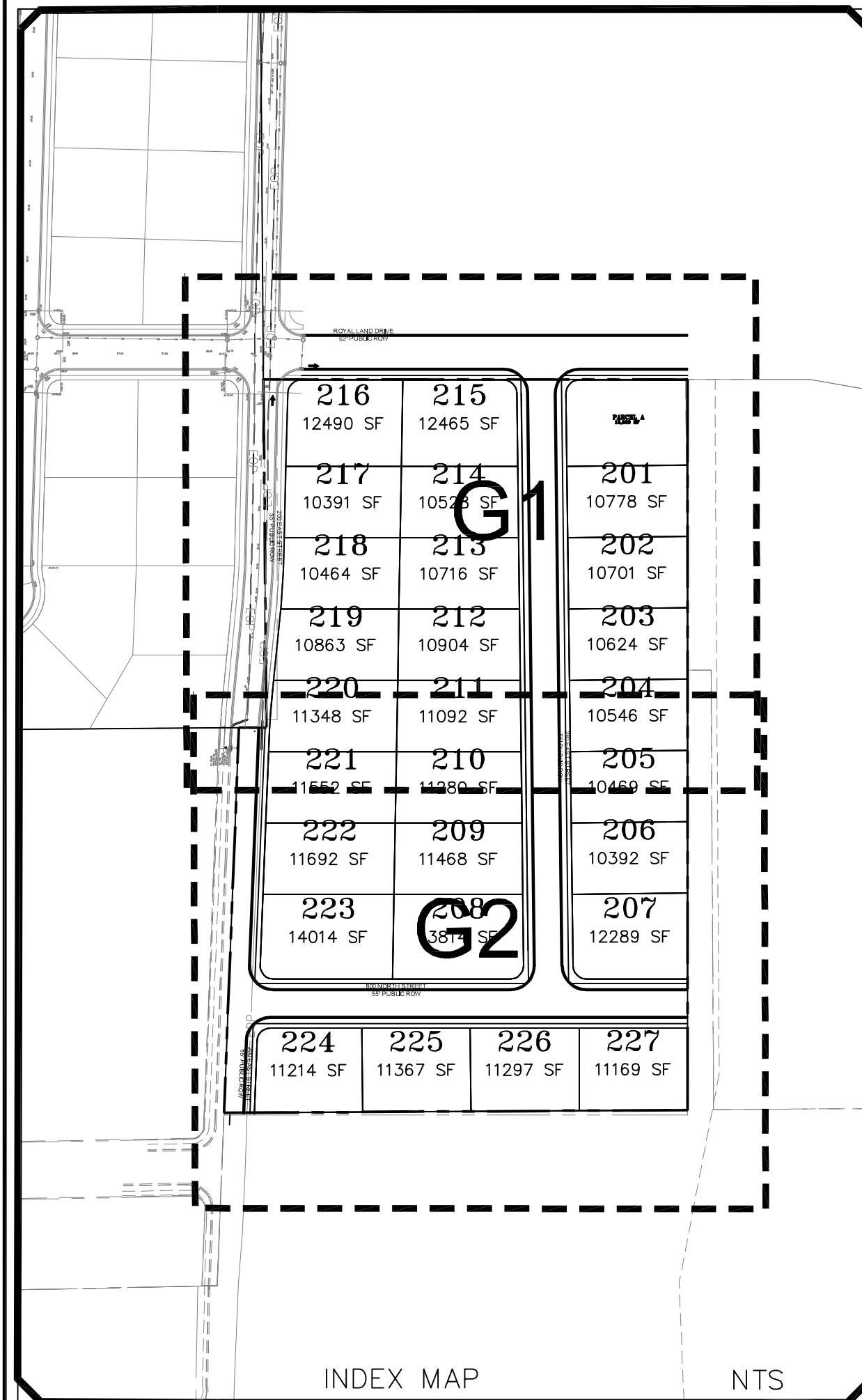
9-6-2023

SANTAQUIN
 CITY



SHEET NO. 3

NOTE:
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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-6-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com

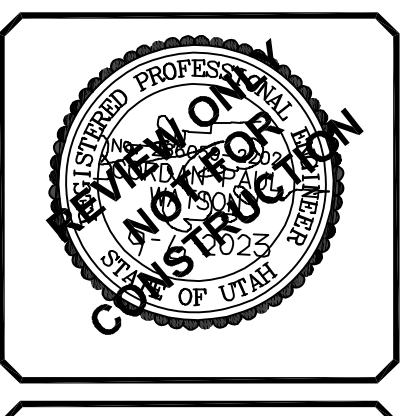
CIVIL ENGINEERING * CONSULTING * LAND PLANNING
 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

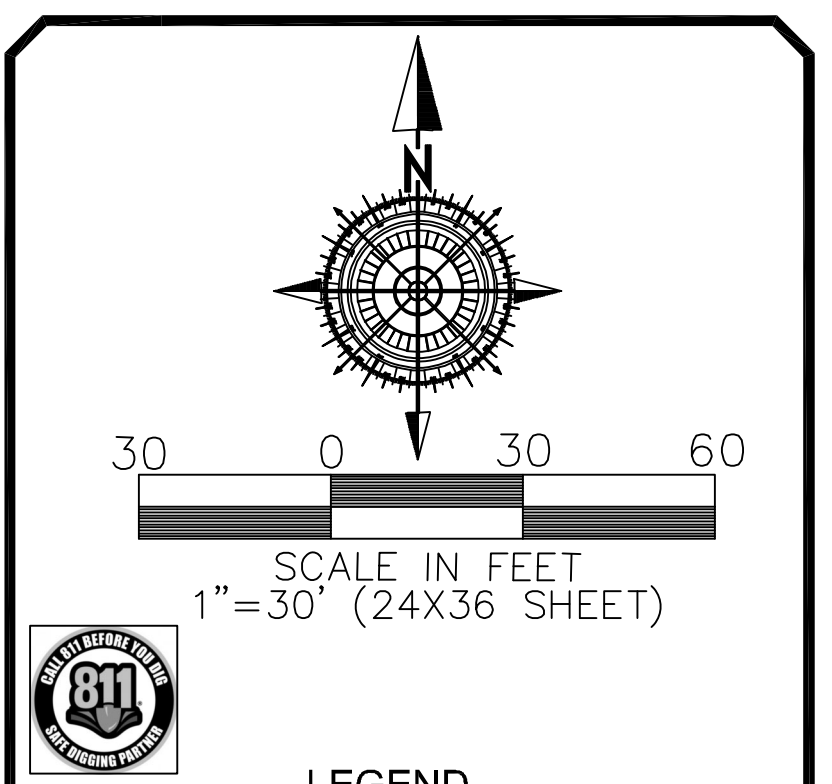
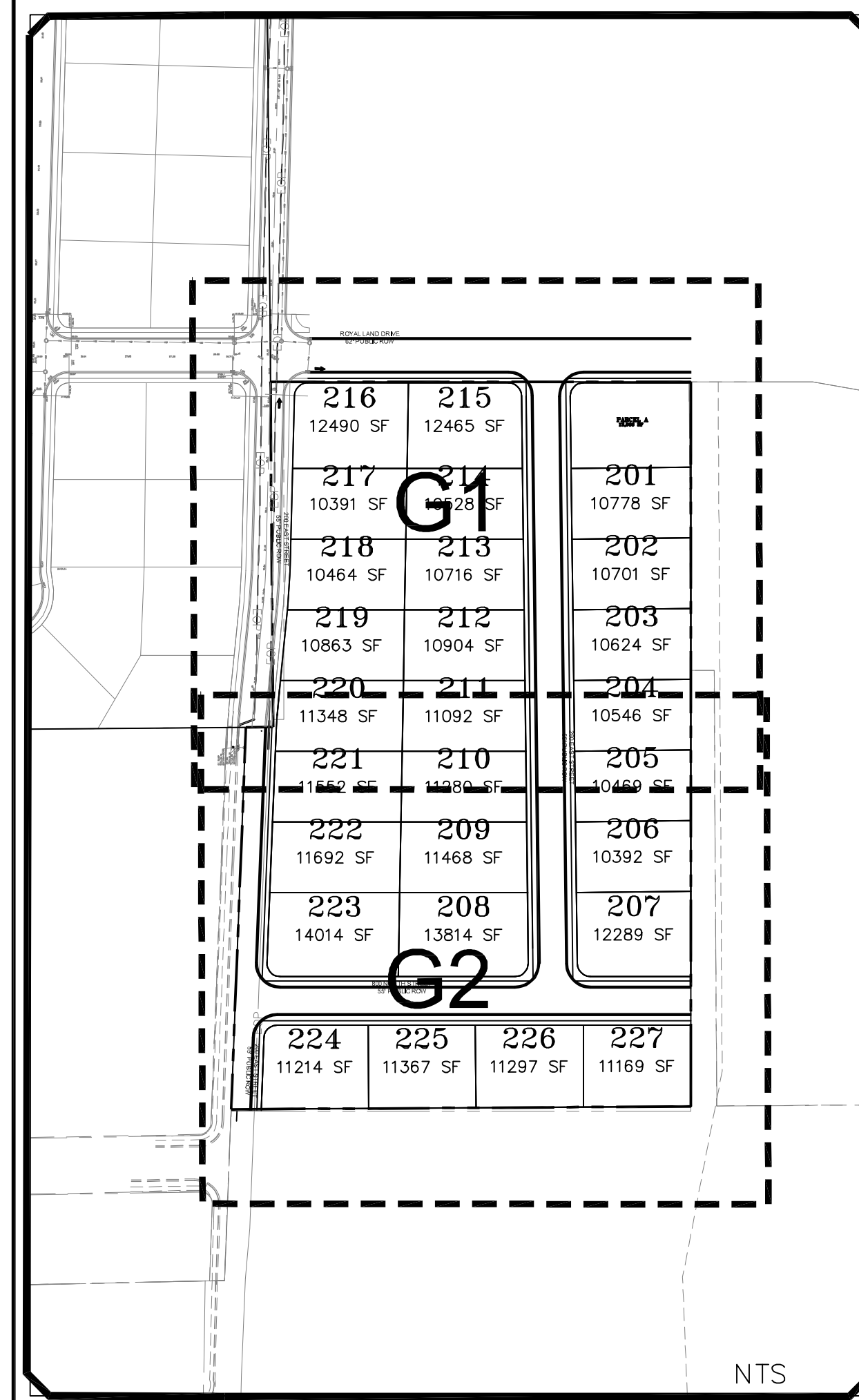
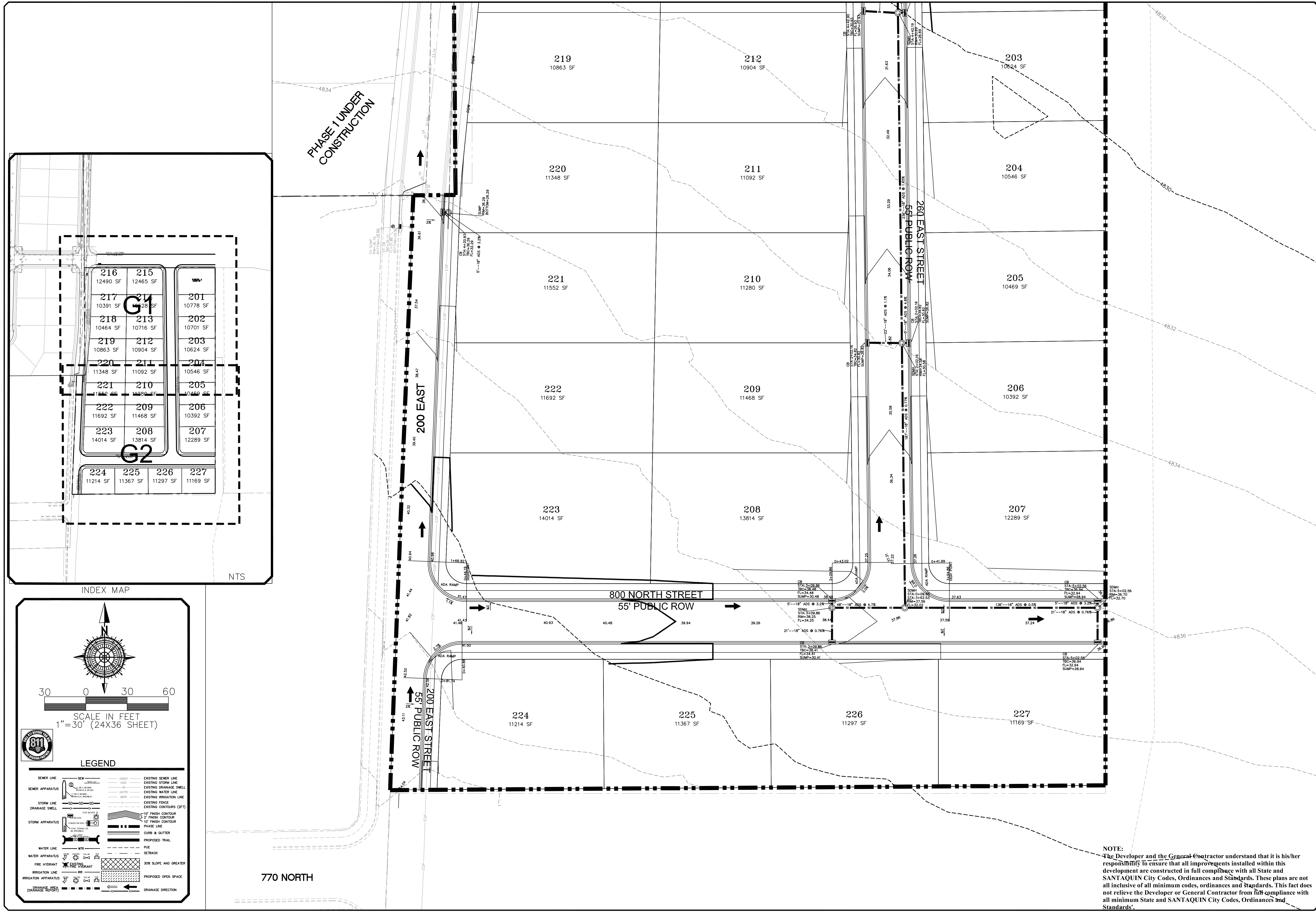
GRADING

9-6-2023

SANTAQUIN CITY



SHEET NO. G1



LEGEND

SEWER LINE	SEW	EXISTING SEWER LINE	SEW
SEWER APPURTENANCE	SEW	EXISTING STORM LINE	STO
STORM LINE	STO	EXISTING DRAINAGE SWELL	DRS
DRAINAGE SWELL	DRS	EXISTING WATER LINE	WTR
STORM APPURTENANCE	STO	EXISTING IRRIGATION LINE	IRR
WATER LINE	WTR	EXISTING FENCE	FNC
FIRE HYDRANT	FHY	EXISTING CONTOURS (PT)	CON
IRRIGATION APPURTENANCE	IRR	10' FINISH CONTOUR	10' FNC
DRAINAGE AREA (DRAINAGE REPORT)	DRS	7' FINISH CONTOUR	7' FNC
		10' FINISH CONTOUR	10' FNC
		PRIME LINE	PRM
		CURB & GUTTER	CRB
		PROPOSED TRAIL	TRL
		PUE	PUE
		SETBACK	SET
		3:0% SLOPE AND GREATER	SLO
		PROPOSED OPEN SPACE	OSP
		DRAINAGE DIRECTION	DRD

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21
 SURVEY BY: OPW
 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

GATEWAY CONSULTING, Inc
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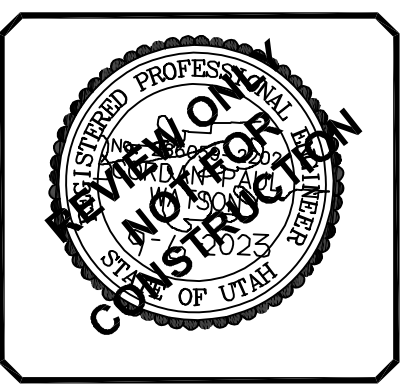
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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

GRADING

9-6-2023

SANTAQUIN CITY



SHEET NO. G2



LEGEND

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION LINE	IRRIGATION APPARATUS	DRAINAGE LINE (DRAINAGE SHIELD)	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SHIELD	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (DT)	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR	CURB & GUTTER	PROPOSED TRAIL	FILE	SETBACK	5% SLOPE AND GREATER	PROPOSED OPEN SPACE	DRAINAGE DIRECTION
---	○	---	○	---	○	---	○	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH811

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	SCALE: 1"=40'
SURVEY BY: GPW	CHECKED BY: GPW
DRAWN BY: GPW	DESIGNED BY: GPW

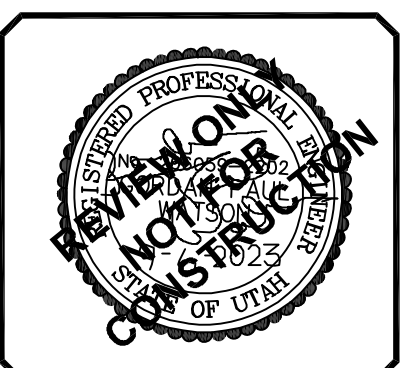
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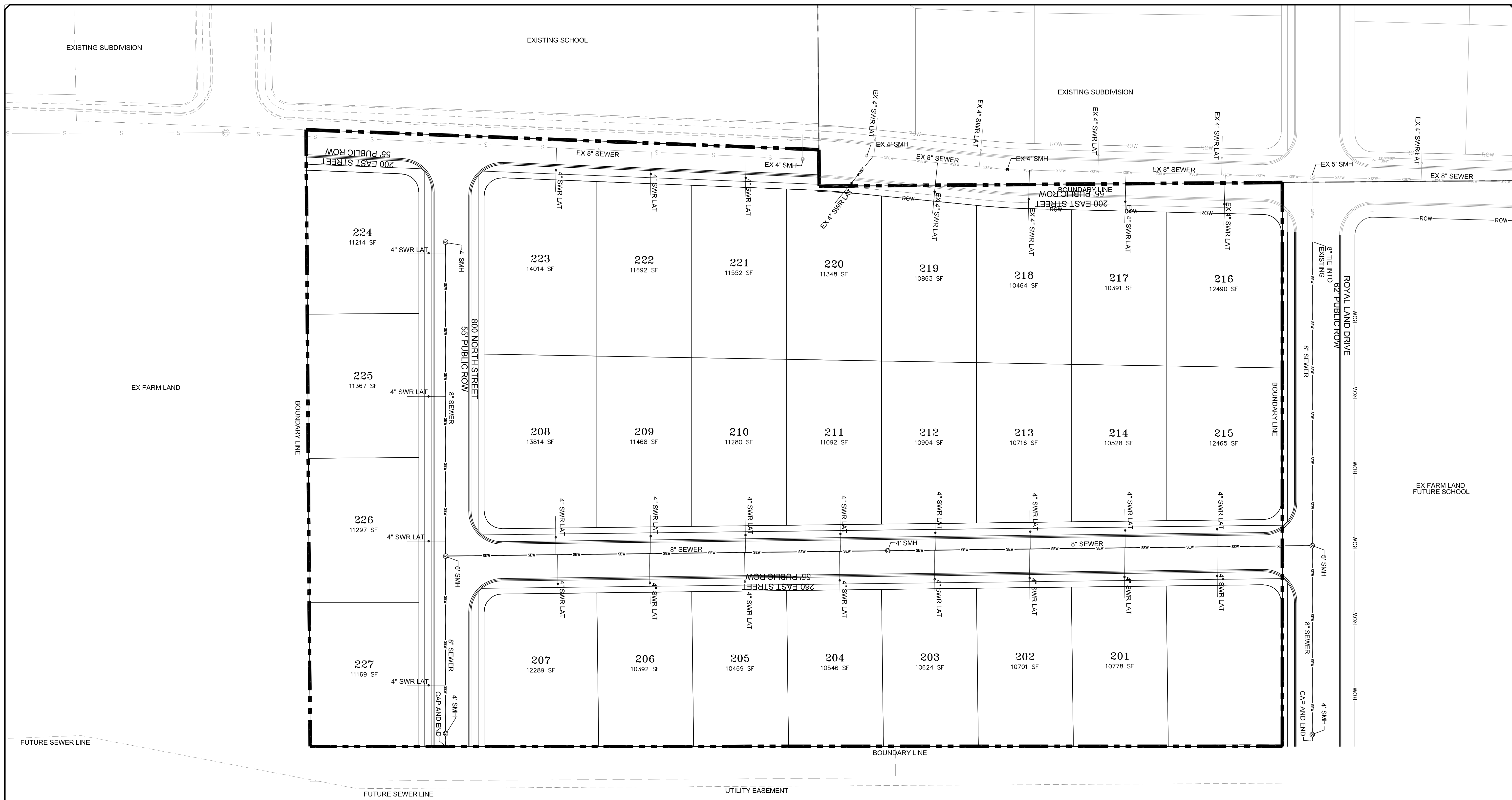
STRATTON MEADOW SUBDIVISION
WATER UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY



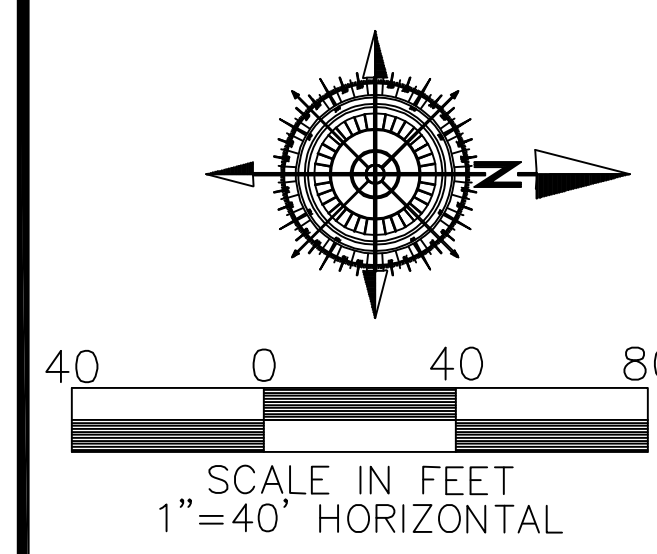
SHEET NO. **U1**



LEGEND

SEWER LINE	SWR LAT	EXISTING SEWER LINE	EXISTING STORM LINE
SEWER APPARATUS	STORM APPARATUS	EXISTING SEWER APPARATUS	EXISTING STORM APPARATUS
WATER LINE	FIRE HYDRANT	PROPOSED ROAD	PROPOSED OPEN SPACE
IRRIGATION LINE	PROPOSED OPEN SPACE	PROPOSED ROAD	PROPOSED OPEN SPACE

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NO.	DESCRIPTION	DATE	APPD.

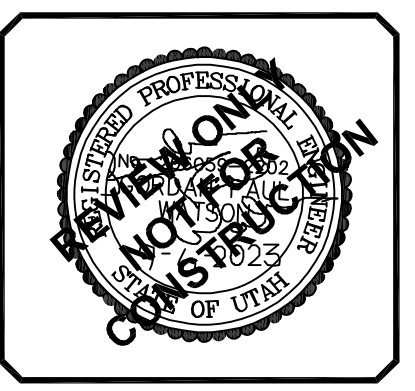
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SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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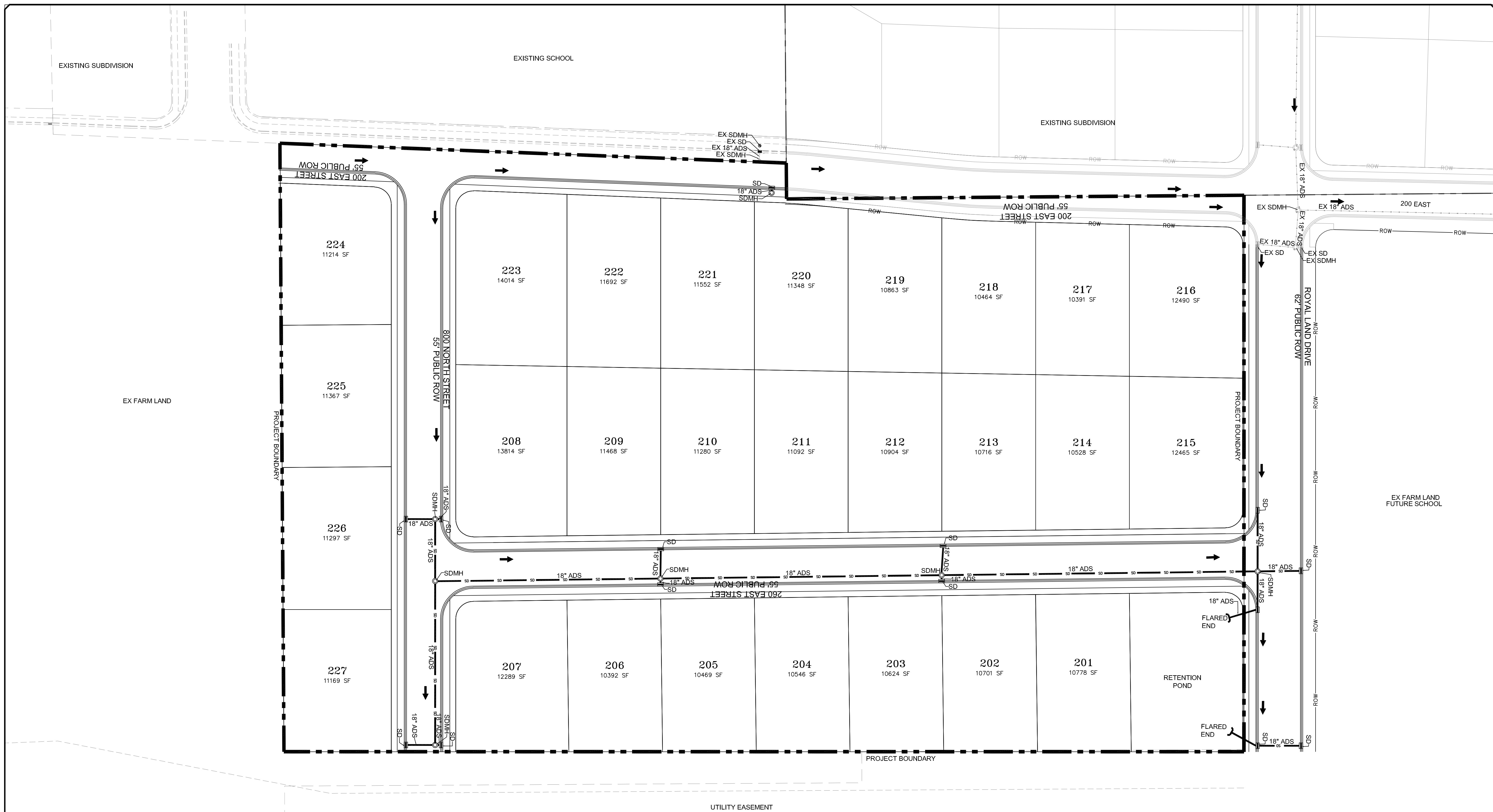
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 CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION
 SEWER UTILITY SHEET
 PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. U2



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING STORM LINE
	STORM LINE		EXISTING DRAINAGE SHELL
	DRAINAGE SHELL		EXISTING WATER LINE
	STORM APPARATUS		EXISTING IRRIGATION LINE
	WATER LINE		EXISTING FENCE
	FIRE HYDRANT		EXISTING CONTOURS (10')
	IRRIGATION LINE		10' FINISH CONTOUR
	DRAINAGE LINE		2' FINISH CONTOUR
	18" ADS		10' FINISH CONTOUR
	18" ADS		CURBS & GUTTERS
	18" ADS		PROPOSED TRAIL
	18" ADS		FILE
	18" ADS		SETBACK
	18" ADS		5% SLOPE AND GREATER
	18" ADS		PROPOSED OPEN SPACE
	18" ADS		DRAINAGE DIRECTION

Blue Stakes of UTAH 811

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NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE: 2-8-21	SURVEY BY: GPW	DESIGNED BY: GPW	CHECKED BY: GPW	SCALE: 1"=40'
DRAWN BY: GPW				

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STRATTON MEADOW SUBDIVISION

STORM UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY



SHEET NO. U3



LEGEND

SEWER LINE	1" IRR LAT	EXISTING SEWER LINE	1" IRR LAT
SEWER APPARATUS	6" IRR VALVE	EXISTING STORM LINE	6" IRR VALVE
STORM LINE	6" IRR TEE	EXISTING DRAINAGE SHELL	6" IRR VALVE
DRAINAGE SHELL	6" IRR VALVE	EXISTING WATER LINE	6" IRR VALVE
STORM APPARATUS	6" IRR VALVE	EXISTING IRRIGATION LINE	6" IRR VALVE
WATER LINE	6" IRR VALVE	EXISTING FENCE	6" IRR VALVE
FIRE HYDRANT	6" IRR VALVE	EXISTING CONTOURS (DT)	6" IRR VALVE
IRRIGATION LINE	6" IRR VALVE	1" FINISH CONTOUR	6" IRR VALVE
DRAINAGE LINE (DRAINAGE SHELL)	6" IRR VALVE	2" FINISH CONTOUR	6" IRR VALVE
		10" FINISH CONTOUR	6" IRR VALVE
		CLUB & GUTTER	6" IRR VALVE
		PROPOSED TRAIL	6" IRR VALVE
		FILE	6" IRR VALVE
		SETBACK	6" IRR VALVE
		5% SLOPE AND GREATER	6" IRR VALVE
		PROPOSED OPEN SPACE	6" IRR VALVE
		DRAINAGE DIRECTION	6" IRR VALVE

SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 811

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ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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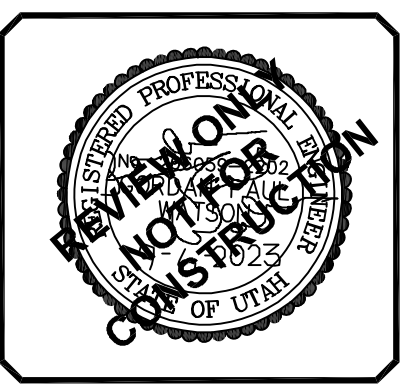
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STRATTON MEADOW SUBDIVISION

IRRIGATION UTILITY SHEET

PRINT DATE: 9-6-2023

SANTAQUIN CITY

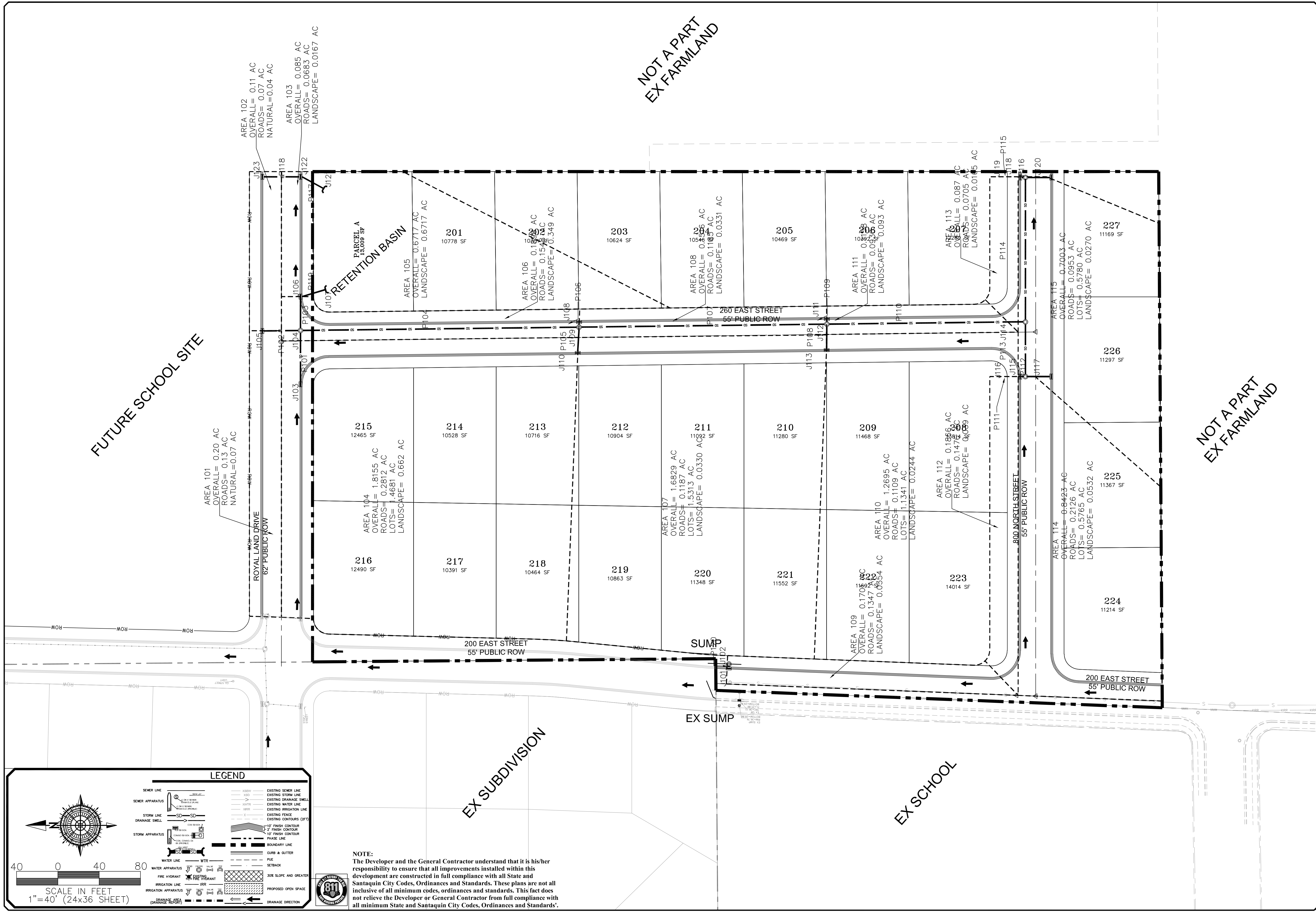


SHEET NO. U4

FUTURE SCHOOL SITE

NOT A PART
EX FARMLAND

NOT A PART
EX FARMLAND



LEGEND

	SEWER LINE		EXISTING SEWER LINE
	SEWER APPARATUS		EXISTING DRAINAGE SHELL
	STORM LINE		EXISTING WATER LINE
	DRAINAGE SHELL		EXISTING IRRIGATION LINE
	STORM APPARATUS		EXISTING FENCE
	WATER LINE		EXISTING CONTOURS (2 FT)
	WATER APPARATUS		1/2\"/>
	FIRE HYDRANT		3/4\"/>
	IRRIGATION LINE		PROPOSED OPEN SPACE
	IRRIGATION APPARATUS		DRAINAGE DIRECTION
	BOUNDARY LINE		
	CURB & GUTTER		
	FIRE HYDRANT		
	SETBACK		
	SLOPE AND GREATER		

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NO.	DESCRIPTION	DATE	APP'D.

ORIG. DATE: 2-6-21

SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW

SCALE: 1"=40'

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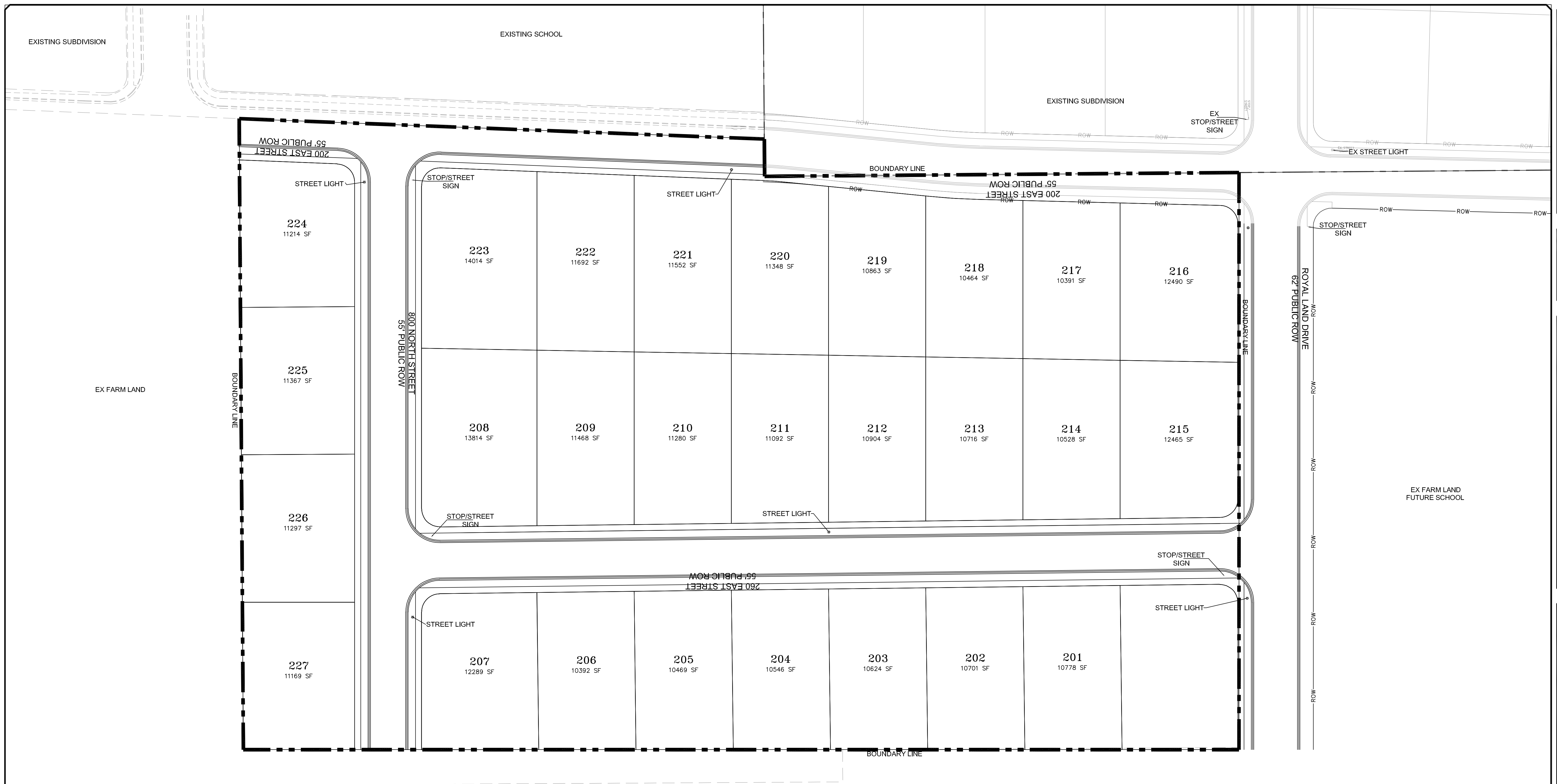
**STRATTON MEADOW
SUBDIVISION**
DRAINAGE PLAN

9-6-2023

SANTAQUIN CITY



SHEET NO. DRAIN



LEGEND

SEWER LINE	SEWER APPARATUS	STORM LINE	STORM APPARATUS	WATER LINE	FIRE HYDRANT	IRRIGATION APPARATUS	IRRIGATION LINE	DRAINAGE LINE (DRAINAGE SWALE)	EXISTING SEWER LINE	EXISTING STORM LINE	EXISTING DRAINAGE SWALE	EXISTING WATER LINE	EXISTING IRRIGATION LINE	EXISTING FENCE	EXISTING CONTOURS (2 FT)	10' FINISH CONTOUR	2' FINISH CONTOUR	10' FINISH CONTOUR	CLUB & GUTTER	PROPOSED TRAIL	FILE	SETBACK	30% SLOPE AND GREATER	PROPOSED OPEN SPACE	SEWER APPARATUS	STORM APPARATUS	WATER APPARATUS	IRRIGATION APPARATUS	DRAINAGE APPARATUS	DRAINAGE DIRECTION
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SCALE IN FEET
1" = 40' HORIZONTAL

Blue Stakes of UTAH 811

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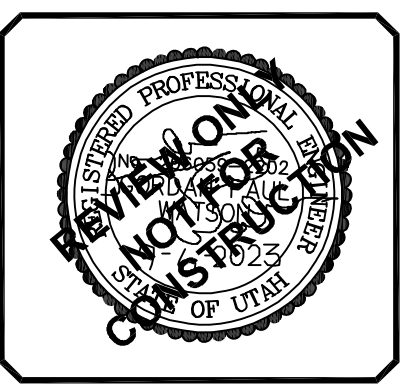
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SCALE:	1"=40'

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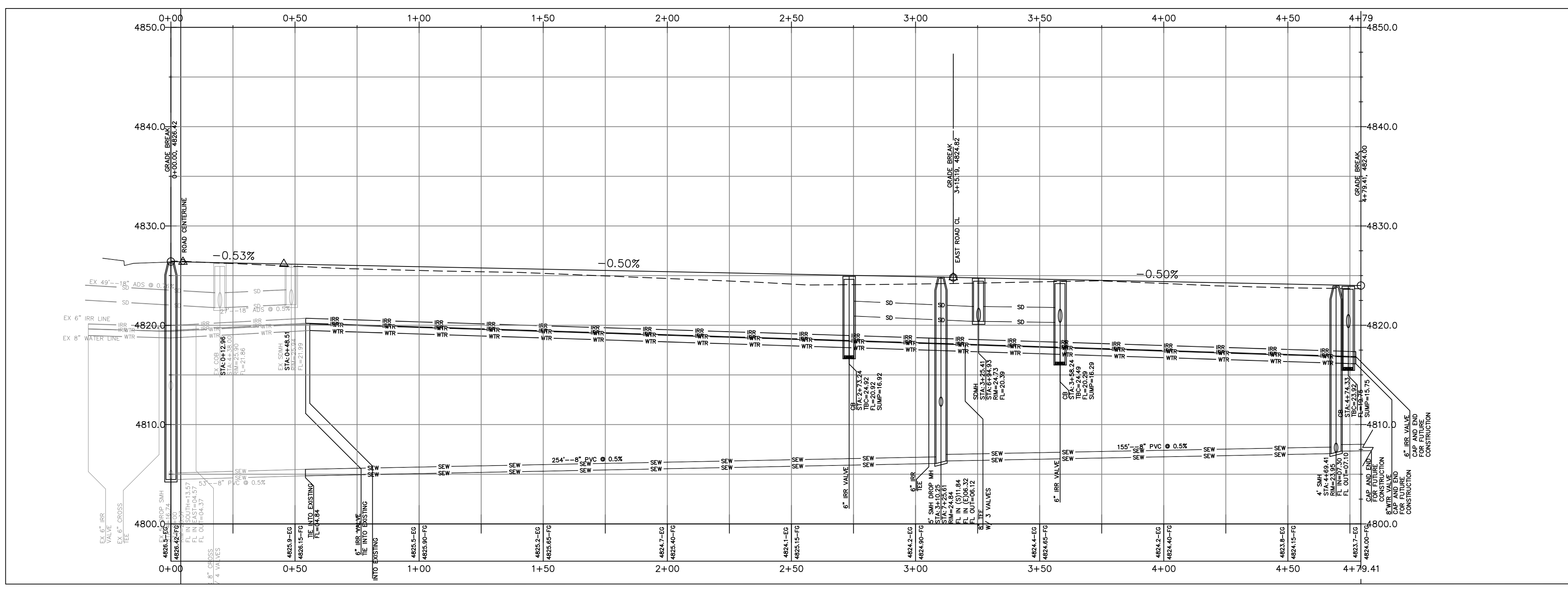
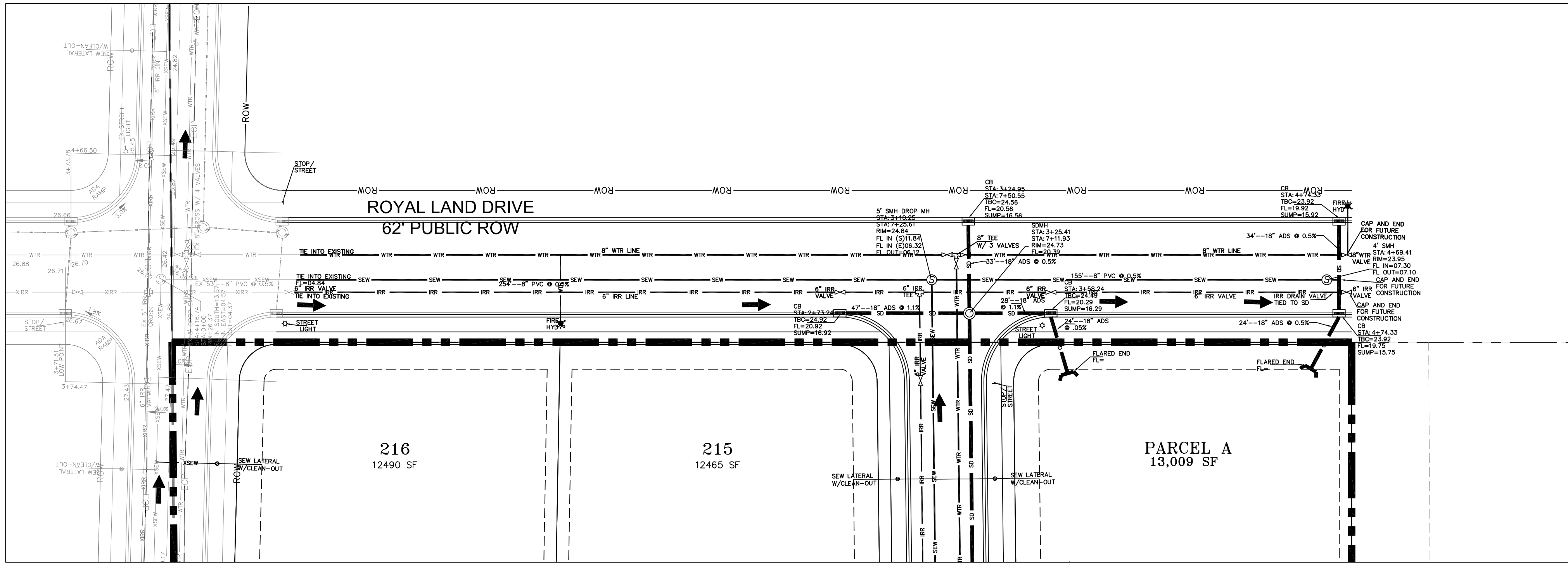
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STRATTON MEADOW SUBDIVISION
LIGHT AND SIGN PLAN
 PRINT DATE: 9-6-2023

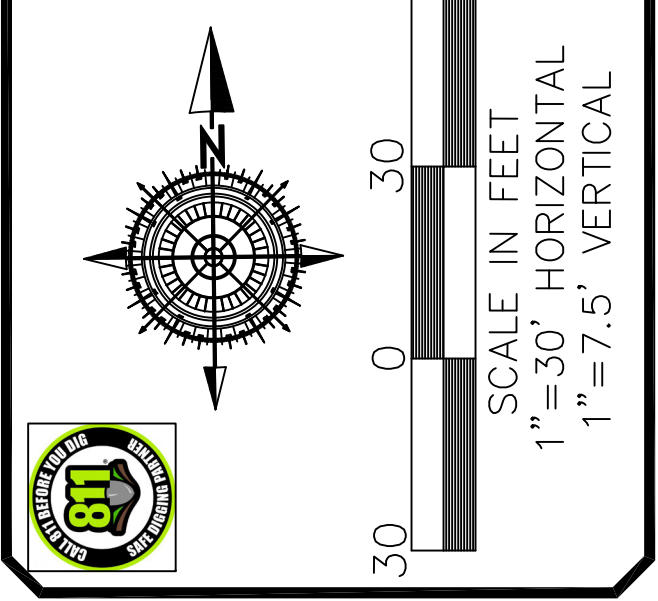
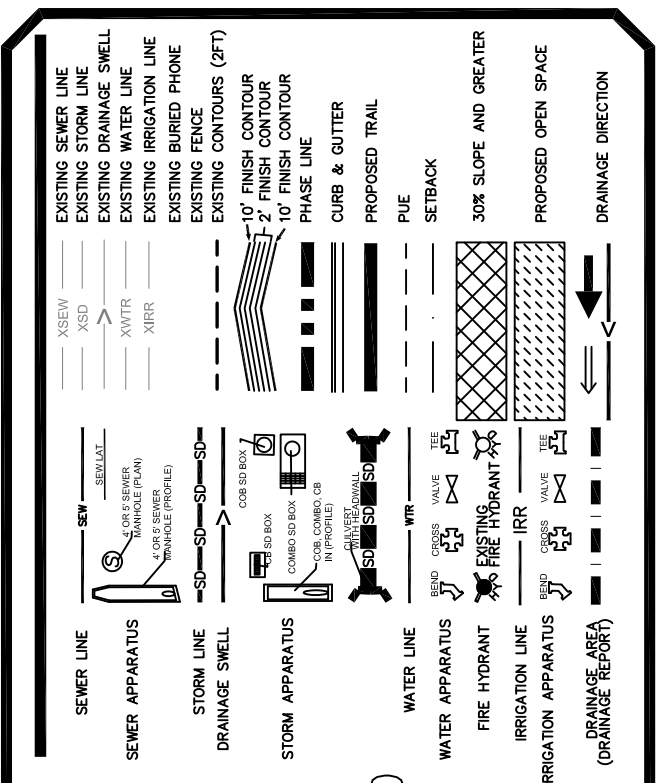
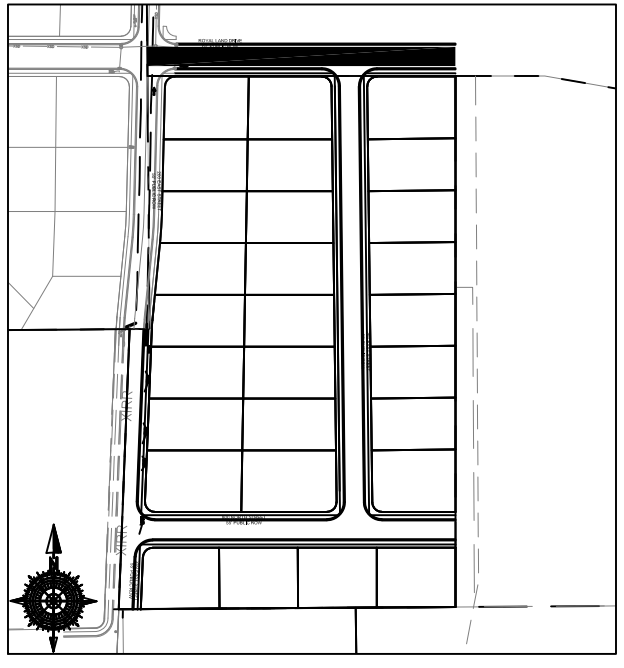
SANTAQUIN CITY



SHEET NO. SS1



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ORIG. DATE: 2-6-21
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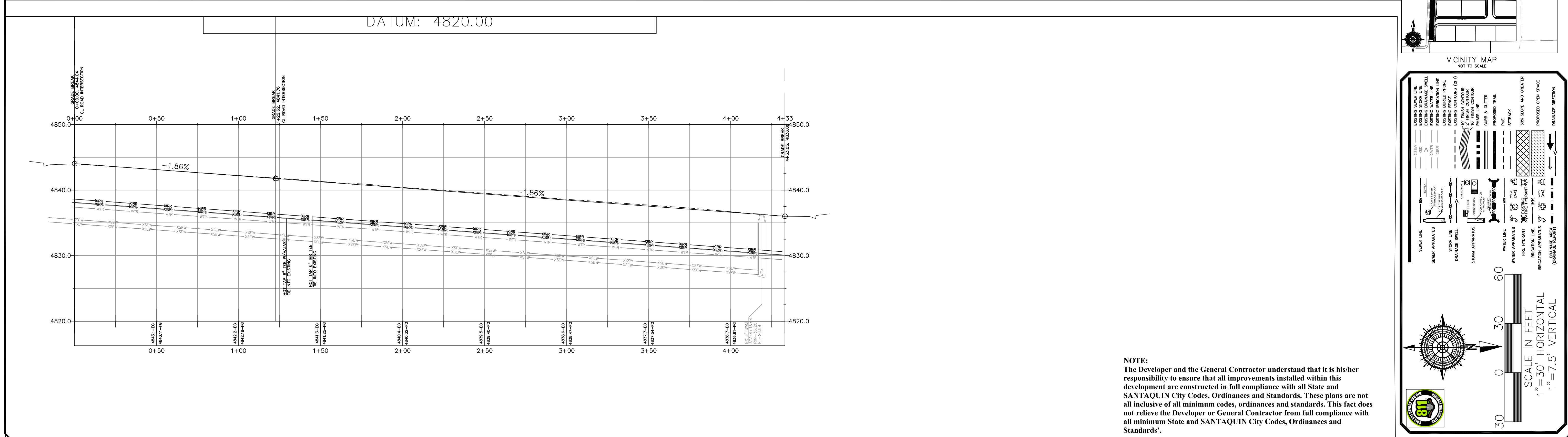
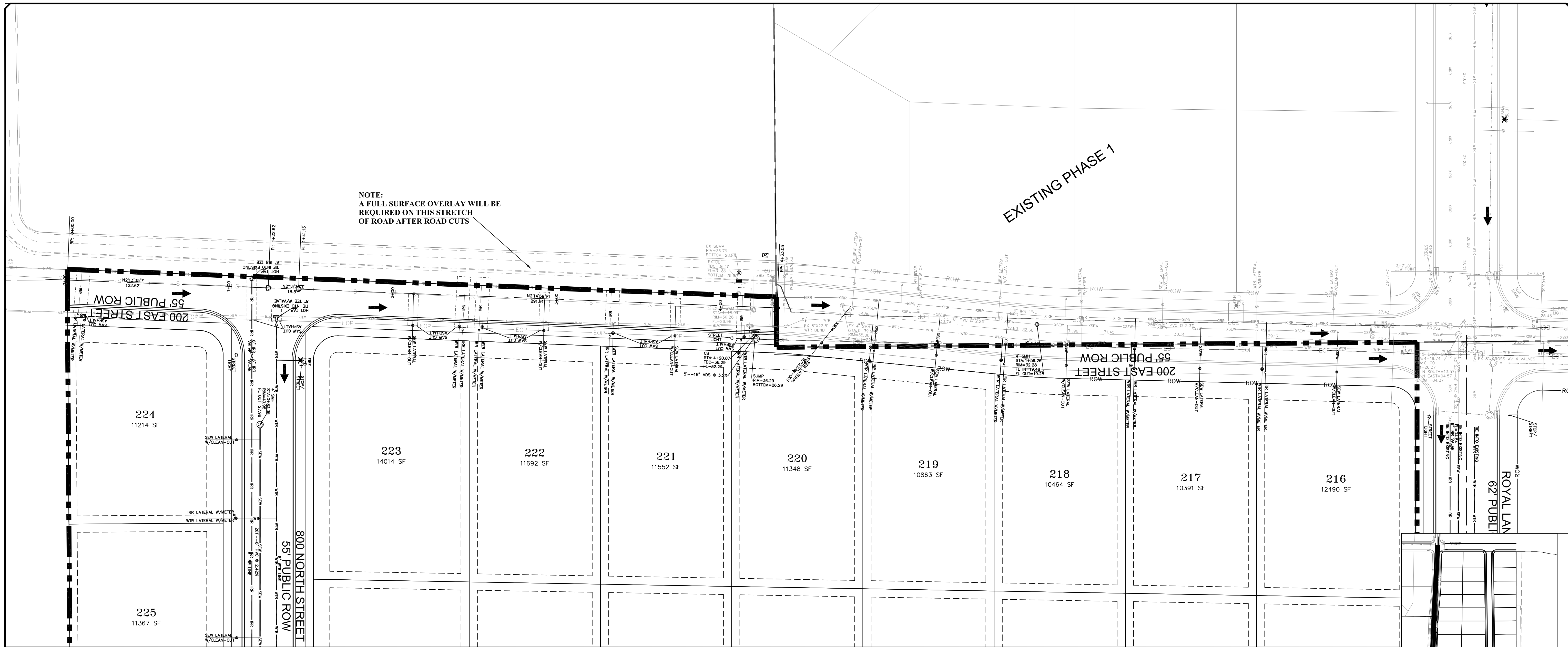
**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 ROYAL LAND DR**

9-6-2023

SANTAQUIN CITY



SHEET NO. **PP1**



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ORIG. DATE: 2-6-21
 SURVEY BY: CPW
 DRAWN BY: CPW
 DESIGNED BY: CPW
 CHECKED BY: CPW
 SCALE: 1"=30'

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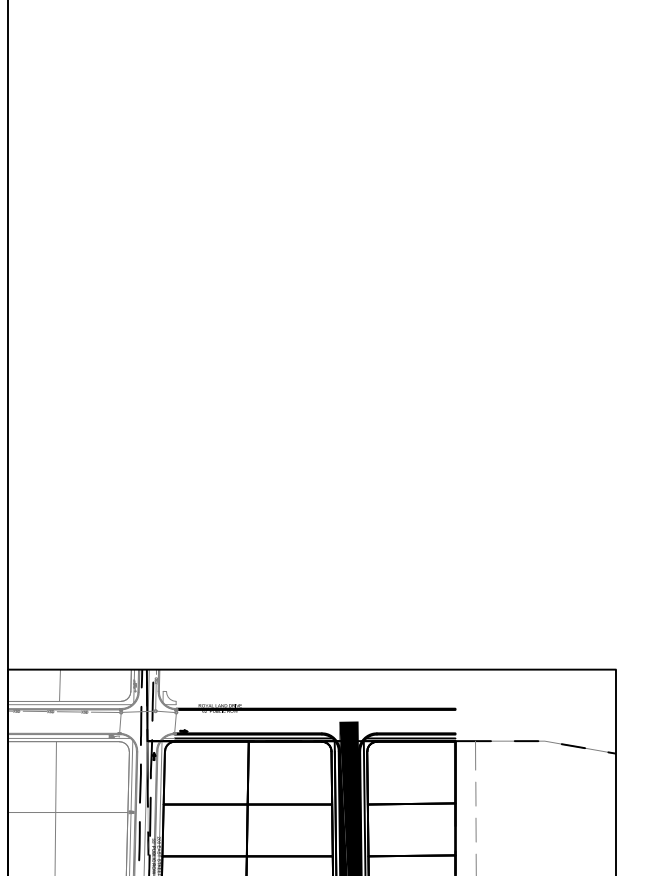
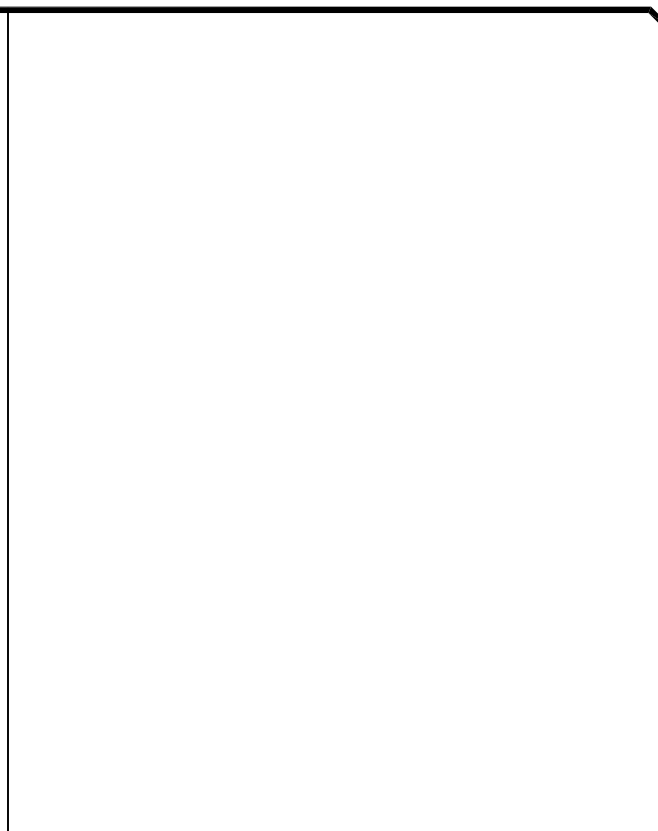
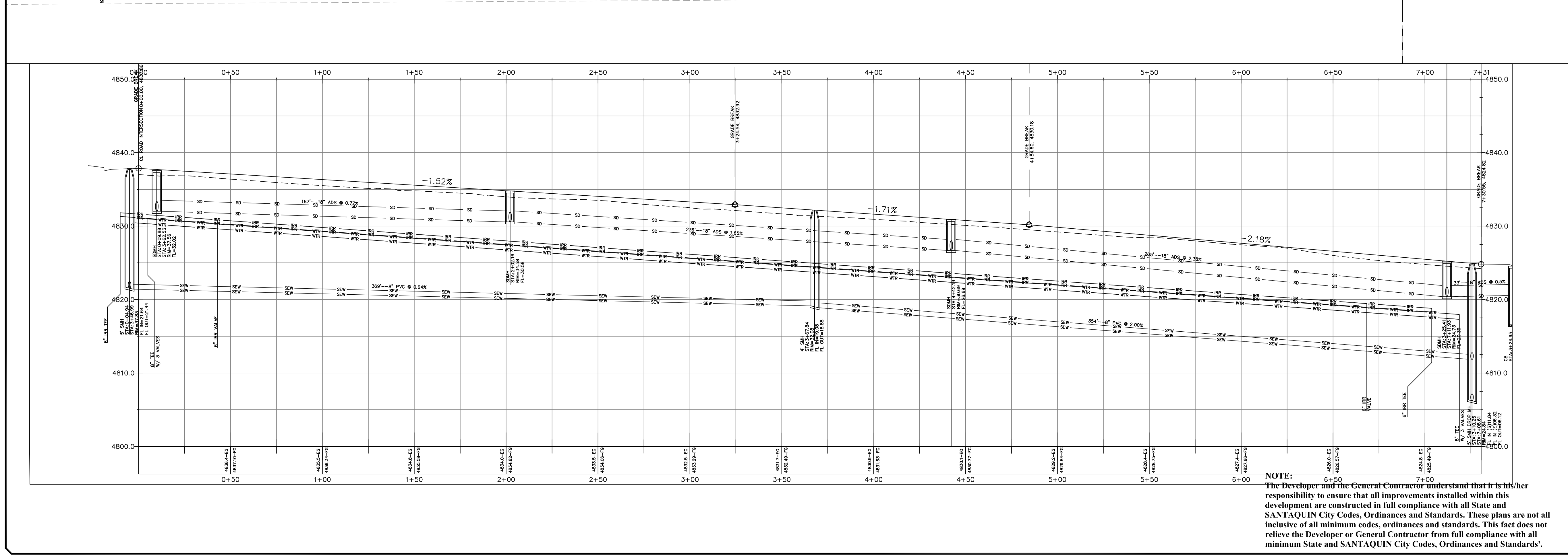
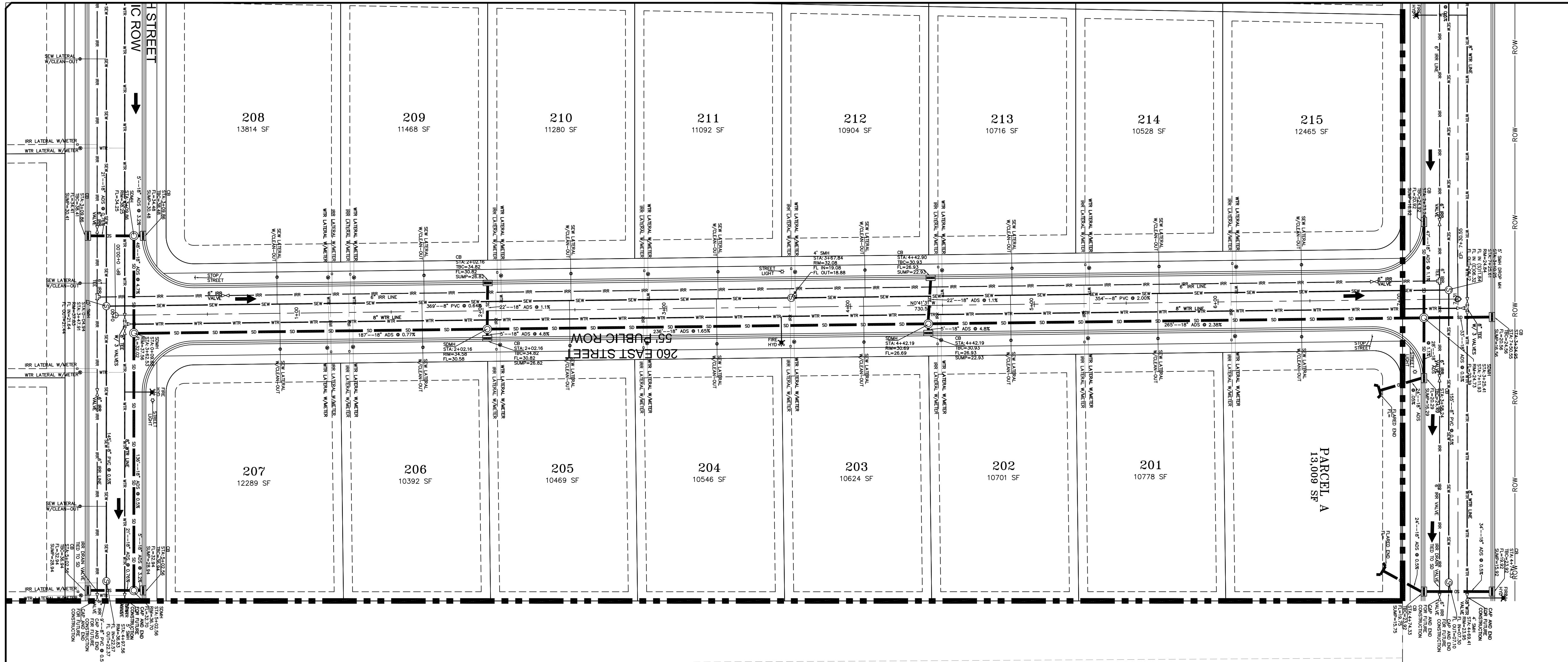
STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 200 EAST

9-6-2023

SANTAQUIN CITY

801 PROFESSIONAL ENGINEERING
 DOT FILED
 2023
 COUNTY OF UTAH

SHEET NO. PP2



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NO.	DESCRIPTION	DATE	APP'D

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 DRAWN BY: OPW
 DESIGNED BY: OPW
 CHECKED BY: OPW
 SCALE: 1"=30'

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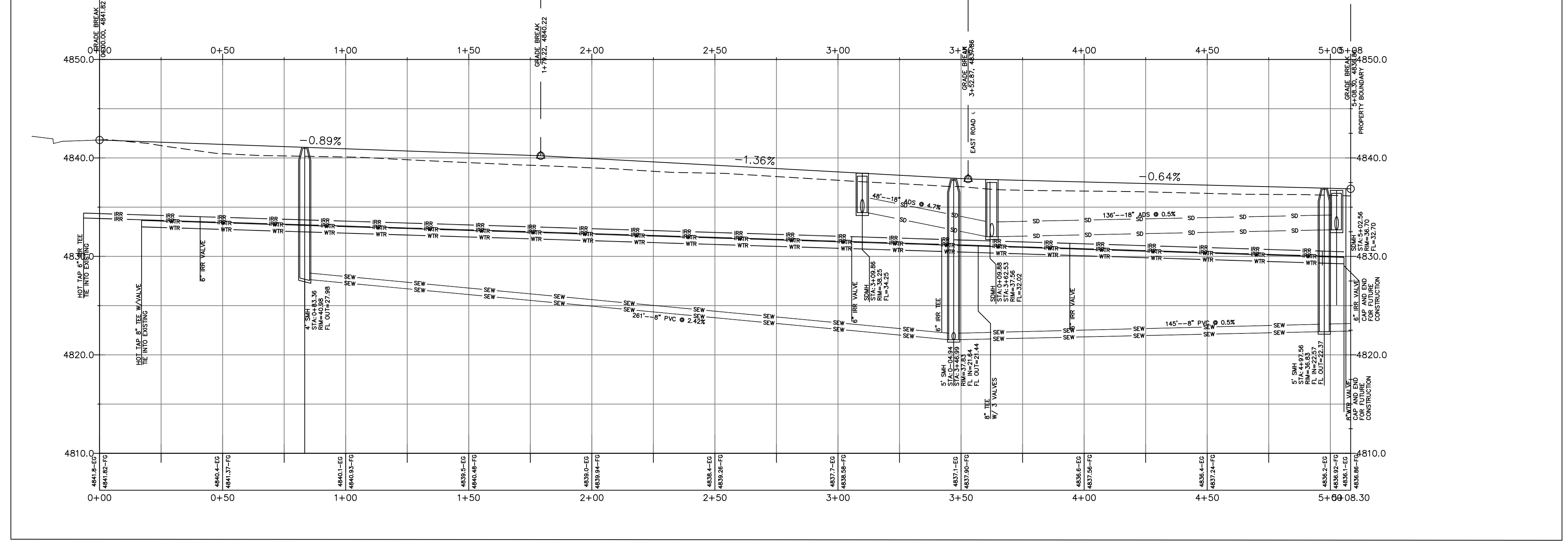
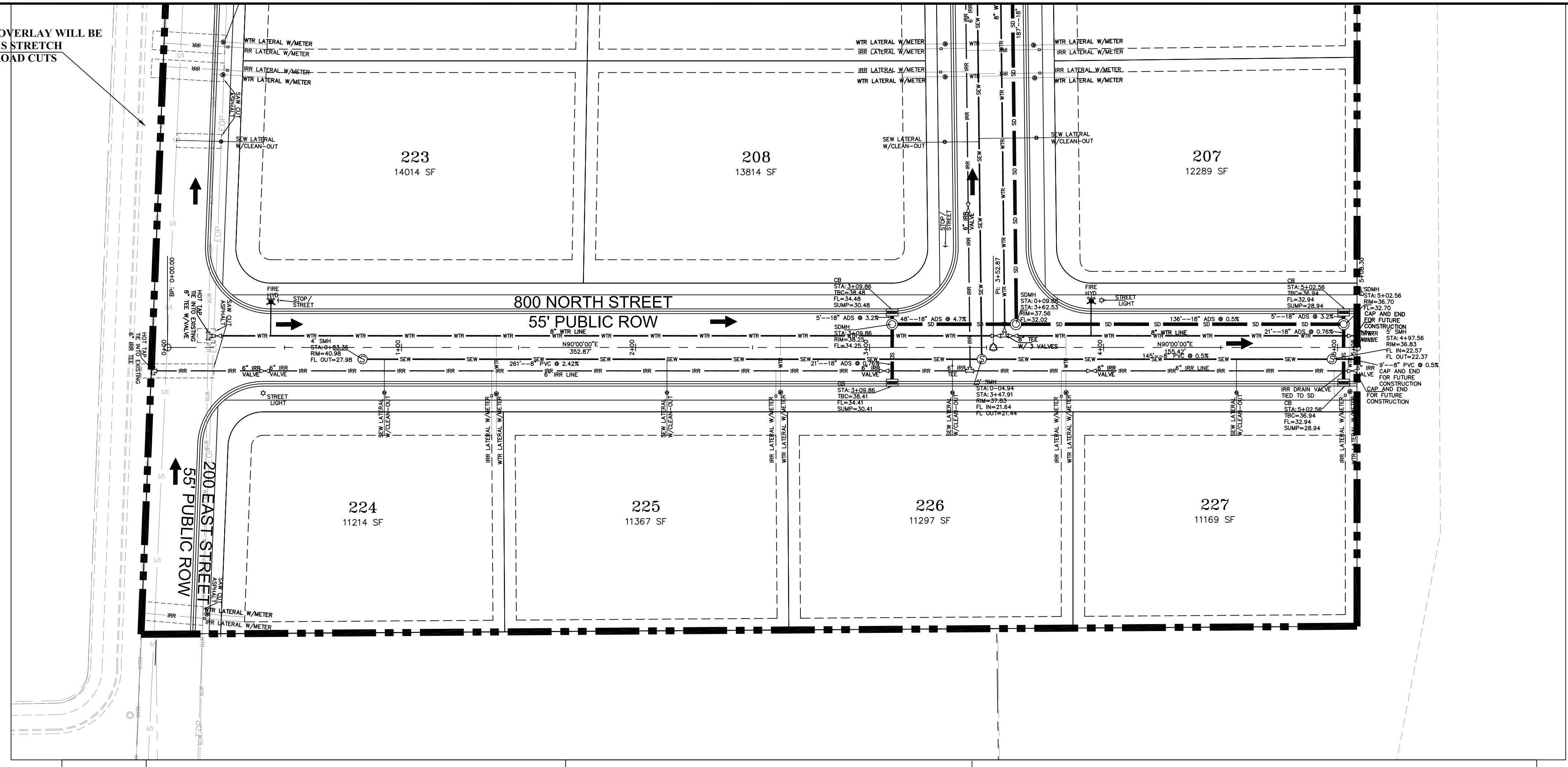
**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 EAST ROAD**

9-6-2023

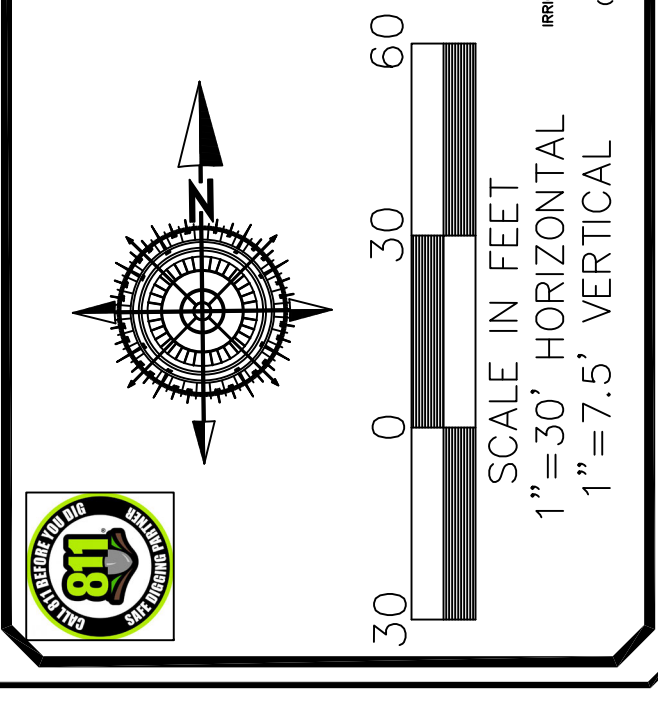
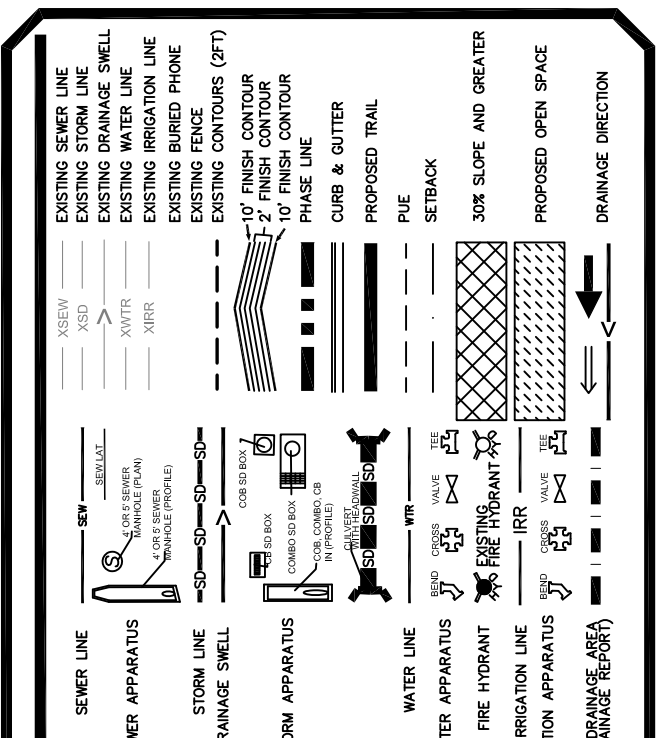
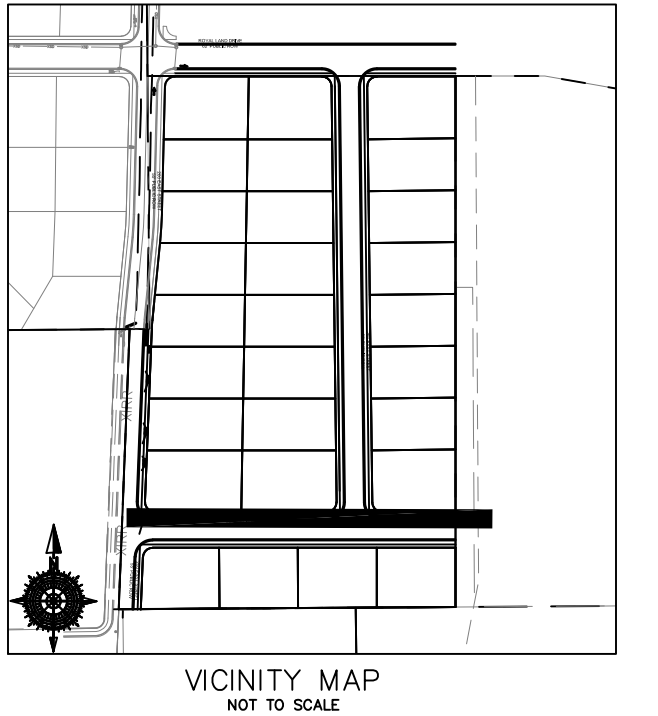
SANTAQUIN CITY

SHEET NO. PP3

NOTE:
A FULL SURFACE OVERLAY WILL BE
REQUIRED ON THIS STRETCH
OF ROAD AFTER ROAD CUTS



NOTE:
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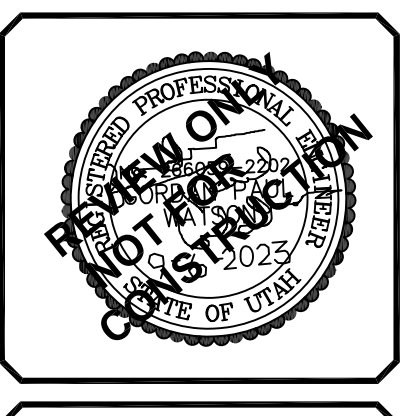
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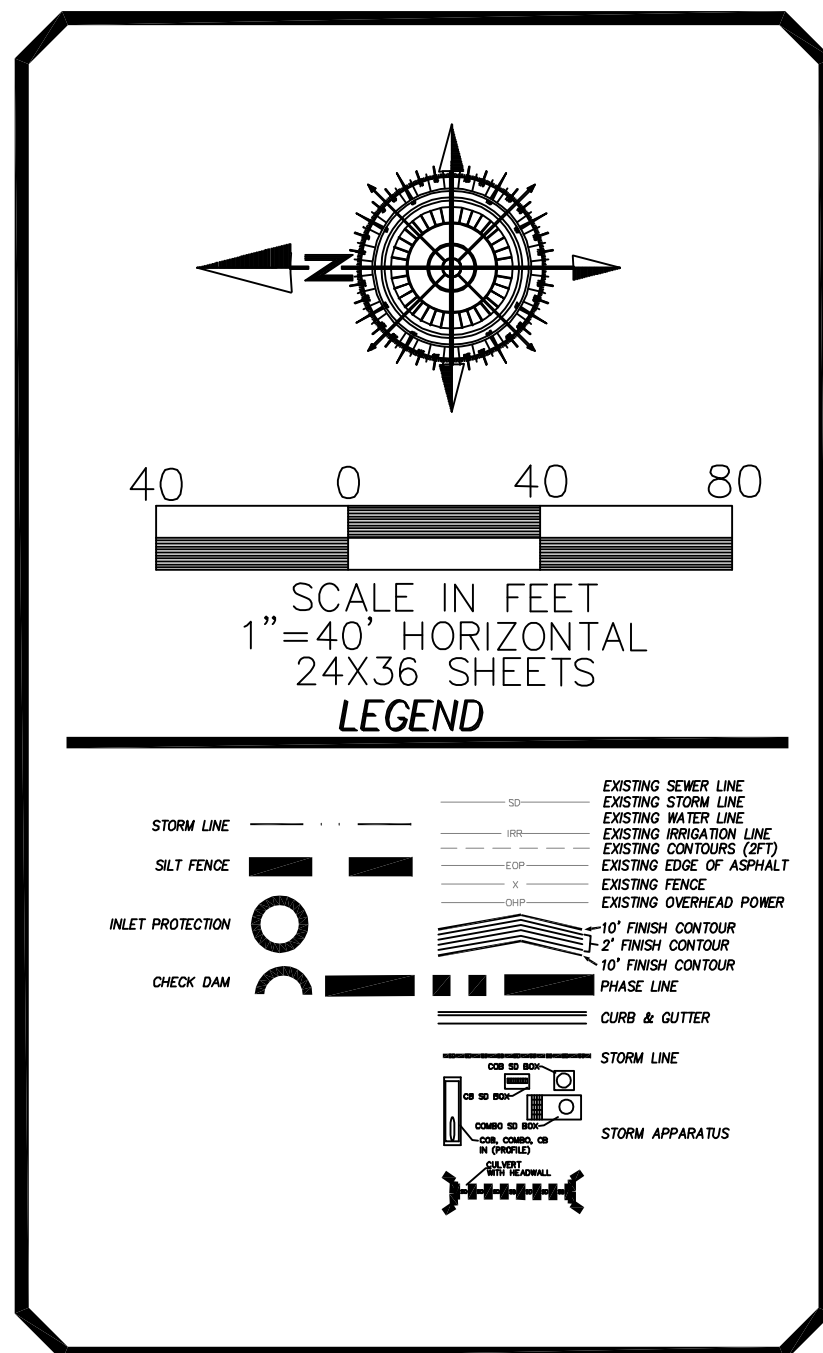
GATEWAY CONSULTING, Inc
 P.O. BOX 951005 SOUTH JORDAN, UT 84095
 PH: (801) 694-5848
 paul@gatewayconsultingllc.com
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 CONSTRUCTION MANAGEMENT

**STRATTON MEADOWS
 SUBDIVISION
 PLAN AND PROFILE
 SOUTH ROAD**

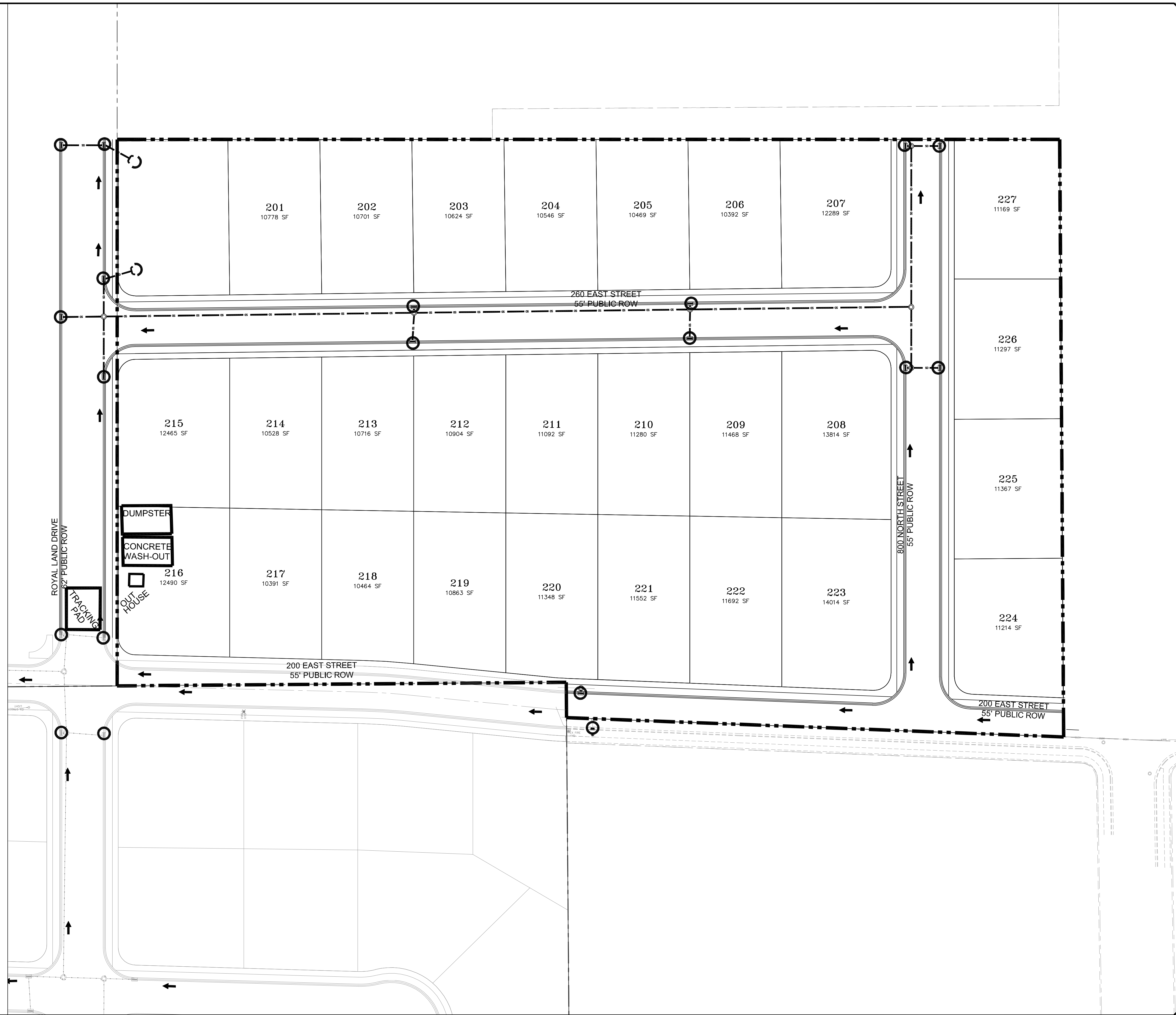
SANTAQUIN CITY



SHEET NO. PP4



NOTE:
 The Developer and the General Contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Codes, Ordinances and Standards'.



NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
DRAWN BY:	GPW
DESIGNED BY:	GPW
CHECKED BY:	GPW
SCALE:	1"=40'

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**CIVIL ENGINEERING • CONSULTING • LAND PLANNING
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**STRATTON MEADOW
 SUBDIVISION**

**STORM WATER POLLUTION
 PREVENTION PLAN**

PRINT DATE: 9-6-2023

SANTAQUIN
 CITY



SHEET NO. SWPPP

GENERAL EROSION CONTROL NOTES

DURING CONSTRUCTION

- GENERAL EROSION CONTROL NOTES:
1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF...
2. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS...
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STREETS CLEAN AND FREE FROM DEBRIS FROM TRAFFIC FROM THE SITE...
4. ALL STORM DRAIN FACILITIES ON SITE AND ADJACENT TO THE SITE NEED TO BE PROTECTED FROM SITE RUNOFF...
5. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED, SEEDED WITH NATIVE VEGETATION, OR LANDSCAPED...
6. EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING ARE IN PLACE...
7. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE...
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE...
9. BLOWING DUST MUST BE CONTROLLED AT ALL TIMES. INSTALLATION OF A SILT SCREEN AND SITE WATERING SHALL BE USED TO CONTROL DUST...
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT...
11. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY...
12. ALL MEASURES CONTAINED IN THIS PLAN MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE...
13. ALL UTILITY LINES SHALL BE CLEANED OF DIRT AND DEBRIS PRIOR TO BEING PUT IN TO SERVICE...

ADDITIONAL EROSION CONTROL NOTES

POST CONSTRUCTION

- 1. THE CUT SLOPES ARE PROGRAMMED AS SHOWN. TOPS OF 3:1 & 2:1 CUTS THAT OCCUR IN TOP SOIL WILL BE ROUNDED TO BLEND INTO NATURAL TERRAIN.
2. EXCAVATED MATERIAL TO BE STOCKPILED IN AREAS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR.
3. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE AND AS SHOWN ON THE PLANS AND WITHIN FIELD DESIGNATED STORAGE, STAGING ACCESS, CONSTRUCTION AND MATERIAL WASTE AREAS AS APPROVED BY THE CITY ENGINEER.
4. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN.
5. ORGANIC MATERIALS WILL BE SEPARATED, REMOVED FROM THE ROAD BEDS AND STOCKPILED IN LOCATIONS TO BE DETERMINED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND COUNTY INSPECTOR. NO ORGANIC MATERIAL WILL BE PLACED IN THE STRUCTURAL FILLS AREA.
6. AFTER CLEARING AND GRUBBING OPERATIONS, TOPSOIL IS TO BE STOCKPILED IN AREAS TO BE DETERMINED IN FIELD BY THE ENGINEER, CONTRACTOR, COUNTY REVIEW ENGINEER AND COUNTY INSPECTOR. NO ORGANIC MATERIAL OR ROCK LARGER THAN 24" WILL BE PLACED IN ROADWAY FILLS. 12" MINUS IN TOP 1' OF ROADWAY.
7. NO BRUSH OR TOPSOIL SHALL BE STOCKPILED WITHIN THE ROADWAY RIGHT OF WAYS.
8. ALL FILL SLOPES WILL BE GRADED AS SHOWN OR AS DETERMINED BY A GEOTECHNICAL ENGINEER. COMPACTION OF EMBANKMENT FILLS WILL BE CONSTRUCTED TO SATAQUIN CITY ROADWAY STANDARDS. FILL AREAS SHALL BE CLEARED, GRUBBED, STRIPPED OF SOIL AND SCARIFIED PRIOR TO PLACEMENT OF SUITABLE EMBANKMENT MATERIAL.
9. ALL DISTURBED AREAS WILL BE REVEGETATED ACCORDING TO REVEGETATION / EROSION CONTROL NOTES WITH A GRASS MIXTURE AS FOLLOWS APPLIED AT A MINIMUM RATE OF 50 LBS. PLS (PURE LIVE SEED PER ACRE WITH MIX)
10. SILT FENCING WILL BE HELD IN PLACE WITH 2 X 2 STAKES AND WILL BE PLACED ON THE DOWNHILL SIDES OF ALL DISTURBED AREAS AND AREAS USED FOR STOCKPILING AND TRENCHED INTO GROUND.
11. THE SILT FENCING SHALL BE INSTALLED BEFORE CLEARING AND GRUBBING AT THE TOE OF THE DISTURBED DOWNHILL SLOPE. NO GRUBBED AREA SHALL BE WITHOUT SILT FENCE PROTECTION FOR LONGER THAN 24 HOURS. THE SILT FENCE SHALL BE MONITORED AND REPLACED IF NECESSARY.
12. ALL SITE DRAINAGE SHALL BE ADEQUATELY PROVIDED FOR DURING CONSTRUCTION.
13. NATURAL VEGETATION WILL BE PRESERVED AND PROTECTED AS MUCH AS POSSIBLE AND VEGETATION REMOVAL WILL BE MINIMIZED.
14. DRAINAGE WAYS AND OUTLETS WILL BE PROTECTED FROM INCREASED FLOWS AND EROSION.
15. THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF THE PROPOSED CONSTRUCTION WITHIN THE UTILITIES AREA OF OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED WITH FIELD LOCATION OF ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. SHOULD THE CONTRACTOR EXPERIENCE A FAILURE BY THE UTILITY COMPANIES TO COMPLY WITH THEIR RESPONSIBILITY OF RELOCATING OR ADJUSTING THEIR FACILITIES, IF ANY, THE OWNER MUST BE NOTIFIED IN WRITING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
16. THE CONTRACTOR SHALL FOLLOW AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED:
- UNIFORM BUILDING CODE, 1997 EDITION, APPENDIX CHAPTER A33, EXCAVATING AND GRADING
- UNIFORM FIRE CODE

Table with 2 columns: % Pure, Grass Type. Rows include: 20.00 Hard fescue, 15.00 Pubescent wheat grass, 15.00 Orchard grass (sod forming), 15.00 smooth brom grass, 20.00 Stream bank wheat grass (sod forming), 15.00 Western wheat grass.

TOPSOIL SHALL BE PLACED TO A DEPTH OF 6" ON ALL CUT AND FILL SLOPES 3:1 OR FLATTER. REVEGETATION AREAS WILL BE SEEDED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION COMPLETION.

- 17. FINISH GRADES ARE AT ROADWAY CENTERLINE, UNLESS OTHERWISE SPECIFICALLY NOTED.
18. NATIVE MATERIAL CAN BE CRUSHED AND PROCESSED ON SITE FOR ROAD BASE MATERIAL.
19. TEMP. DEBRIS PILES WILL BE LOCATED EVERY 200' AS NEEDED.
20. ALL ROADWAYS, TRENCHES, DETENTION PONDS AND/OR EXCAVATIONS OF ANY KIND REQUIRING FILL MATERIAL WILL BE INSPECTED AND APPROVED BY THE OWNERS QUALITY CONTROL FIRM PRIOR TO THE PLACEMENT OF ANY FILL MATERIAL.
21. ALL FILL OR BACK FILL, WHETHER IMPORT OR NATIVE SOILS, WILL BE TESTED FOR DENSITY, MOISTURE AND BEARING AT REGULAR INTERVALS THROUGH THE COURSE OF THE FILL PLACEMENT. ALL FILLS WILL BE PLACED IN LIFTS AS PER THE PLANS AND SATAQUIN CITY SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE THE GEOTECH 24 HOURS IN ADVANCE OF SCHEDULED FILL PLACEMENT.
22. IN THE EVENT OF DISCREPANCIES BETWEEN BID DOCUMENTS AND EXISTING ONSITE CONDITIONS, CONTRACTOR WILL 1) IMMEDIATELY HALT WORK ACTIVITY AND NOTIFY DESIGN ENGINEER OF ANY SUCH DISCREPANCIES 2) UPON RESOLUTION OF DISCREPANCIES, CONTRACTOR WILL SUBMIT COST OF CHANGED CONDITION, IF ANY. 3) PROCEED WITH WORK AFTER RECEIPT OF WRITTEN NOTICE TO COMMENCE WORK.
23. CONTRACTOR WILL, PRIOR TO INSTALLATION PREPARE AND SUBMIT PRODUCT DATA AND DETAILS FOR MATERIAL USED IN CONJUNCTION WITH THIS PRODUCT IE. OVERFLOW STRUCTURES, DRAINAGE PIPE, FILTER FABRICS, EROSION BLANKETS, GROUT, GUARDRAILS, ROAD SIGNS, ETC.
24. CUT AND FILL SLOPES MATTING TO BE SEEDED AND TOPSOILED PRIOR TO PLACEMENT OF EROSION BLANKETS.
25. STAPLE PATTERNS ON EROSION MATS PER SUPPLIERS SPECS

EROSION CONTROL BLANKET - ALL REQUIRED GRADING AND SEEDING IN AREAS TO RECEIVE EROSION CONTROL BLANKET SHOULD BE COMPLETED AND APPROVED BEFORE PLACING THE PRODUCT. APPLY THE BLANKET WITHIN 24 HOURS AFTER SEEDING OR BEFORE PRECIPITATION FALLS. IF THE BLANKET IS NOT INSTALLED AND A PRECIPITATION EVENT OCCURS, CREATING SOIL EROSION, REPLACE ERODED MATERIAL, REWORK THE SOIL, AND RESEED BEFORE INSTALLING THE BLANKET. INSTALL THE EROSION CONTROL BLANKET OR CHANNEL LINER STRICTLY FOLLOWING MANUFACTURER'S SPECIFICATIONS. ALLOW THE BLANKET OR LINER TO LAY LOOSELY ON THE SOIL TO ACHIEVE MAXIMUM SOIL CONTACT. REMOVE ROOTS, BRANCHES, OR OTHER LOOSE OBJECTS THAT CAUSE THE BLANKET OR CHANNEL LINER TO "TENT". PLACE ROOTS AND BRANCHES ON AREAS ALREADY BLANKETED. DO NOT STRETCH THE BLANKET DURING INSTALLATION. STAPLE THE BLANKET OR LINER USING MANUFACTURER'S SPECIFICATIONS. STAPLE REQUIREMENTS VARY ACCORDING TO THE STEEPNESS AND LENGTH OF THE SLOPE. PLACE ADDITIONAL STAPLES IN AREAS SUCH AS: SWALES, BASE OF HUMPS, AGAINST ROCK OUTCROPS AND AS REQUIRED TO ACHIEVE MAXIMUM CONTACT BETWEEN THE BLANKET AND THE SOIL.

TOPSOIL - PLACE TOPSOIL JUST BEFORE SEEDING TO ELIMINATE COMPETITION FROM WEEDS, COORDINATE TOPSOIL PLACEMENT WITH THE SEEDING WINDOW.

SEEDING WINDOW - COMPLETE ALL GENERAL DISTURBED AREA SEEDING WITHIN THE APPROPRIATE SEEDING WINDOW. IF THE SEEDING IS NOT COMPLETED WITHIN THE GIVEN WINDOW, POSTPONE SEEDING UNTIL THE FOLLOWING YEAR. UNDER CERTAIN CONDITIONS, AN EXCEPTION TO THIS WINDOW MAY BE OBTAINED THROUGH THE REGION LANDSCAPE ARCHITECT. THE ENGINEER APPROVES EXCEPTIONS.

Table with 2 columns: ELEVATION, SEEDING WINDOW. Rows include: 4000 TO 6000 FT, SEPT. 15 TO DEC. 1; ABOVE 6000 FT, SEPT. 1 TO NOV 15.

Table with 4 columns: NO., DESCRIPTION, DATE, APPD.

Table with 2 columns: 2-6-21, N/A. Rows include: ORIG. DATE, SURVEY BY, DRAWN BY, DESIGNED BY, CHECKED BY, SCALE.

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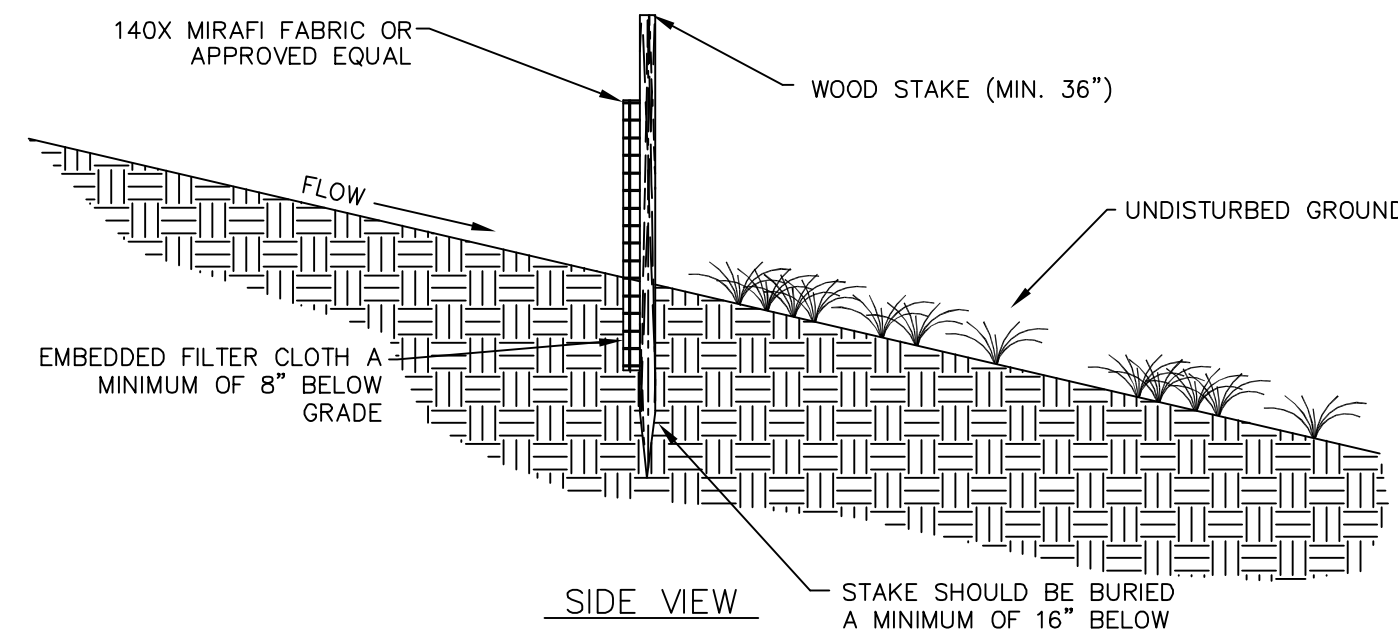
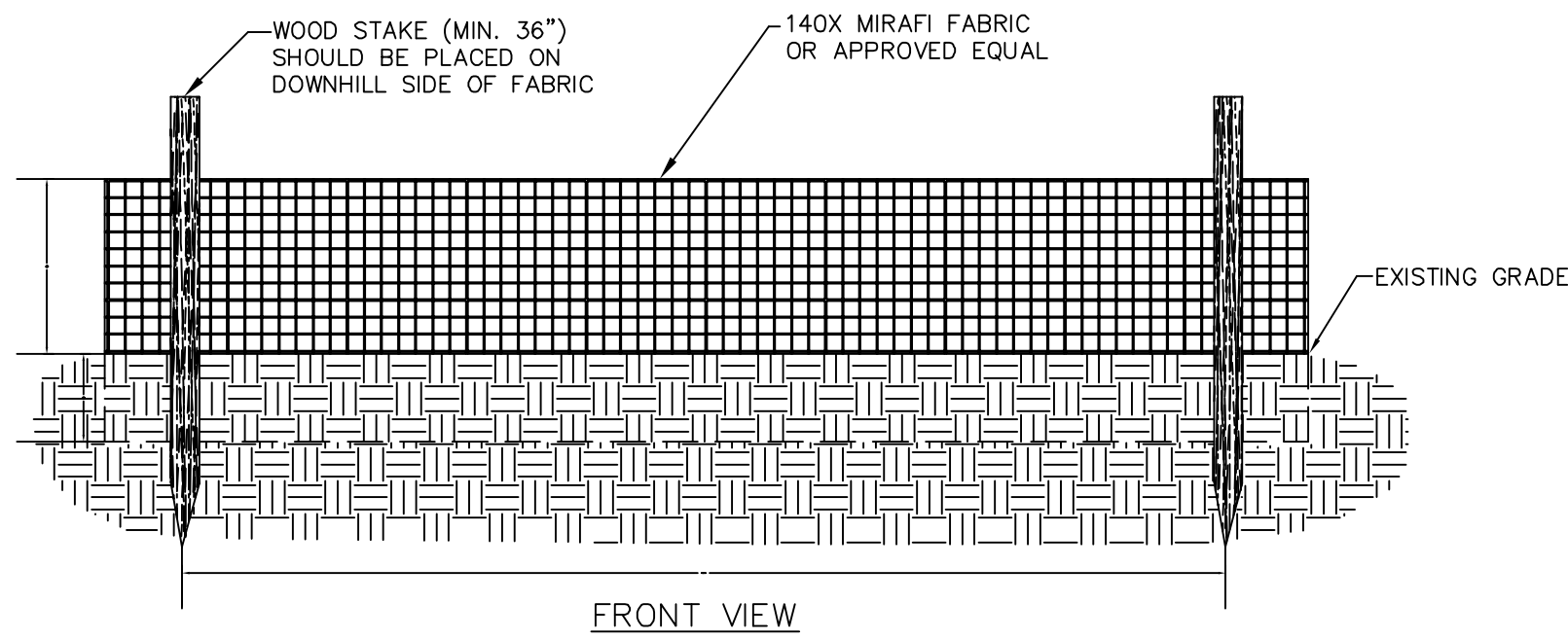
STRATTON MEADOW SUBDIVISION EROSION CONTROL DETAILS and NOTES. 9-6-2023.

SATAQUIN CITY

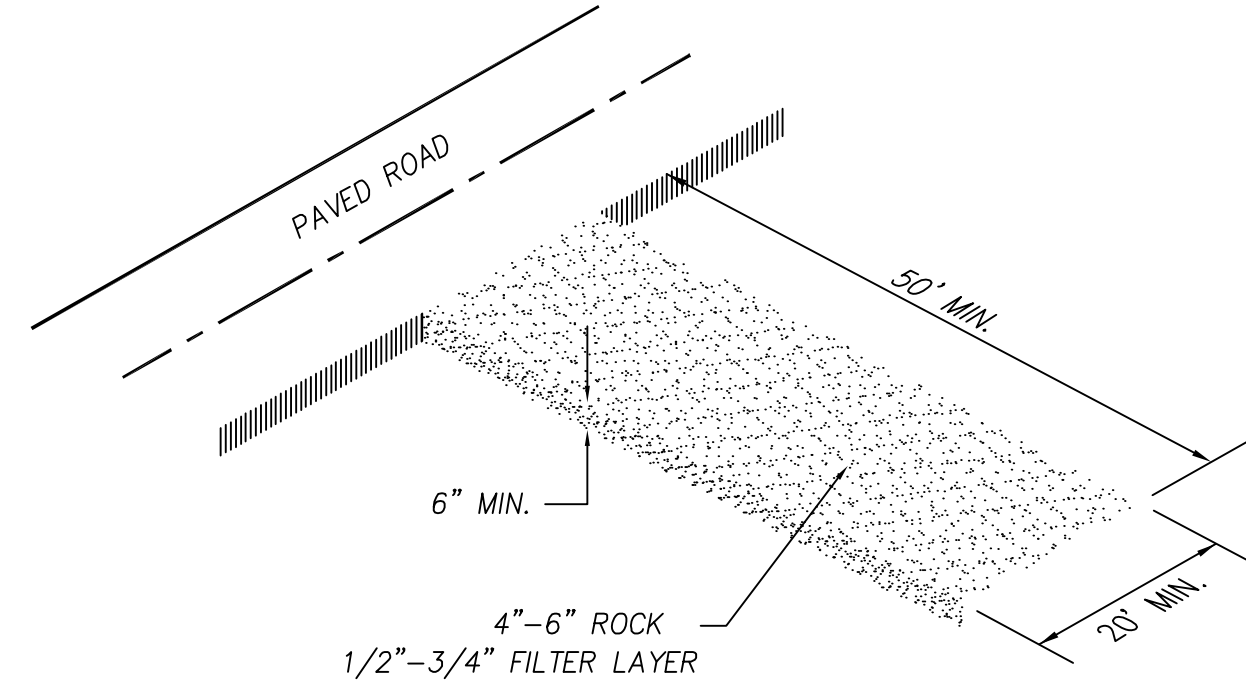


811 logo: CALL 811 BEFORE YOU DIG. THE DIGGING PARTNER.

SHEET NO. ER-1

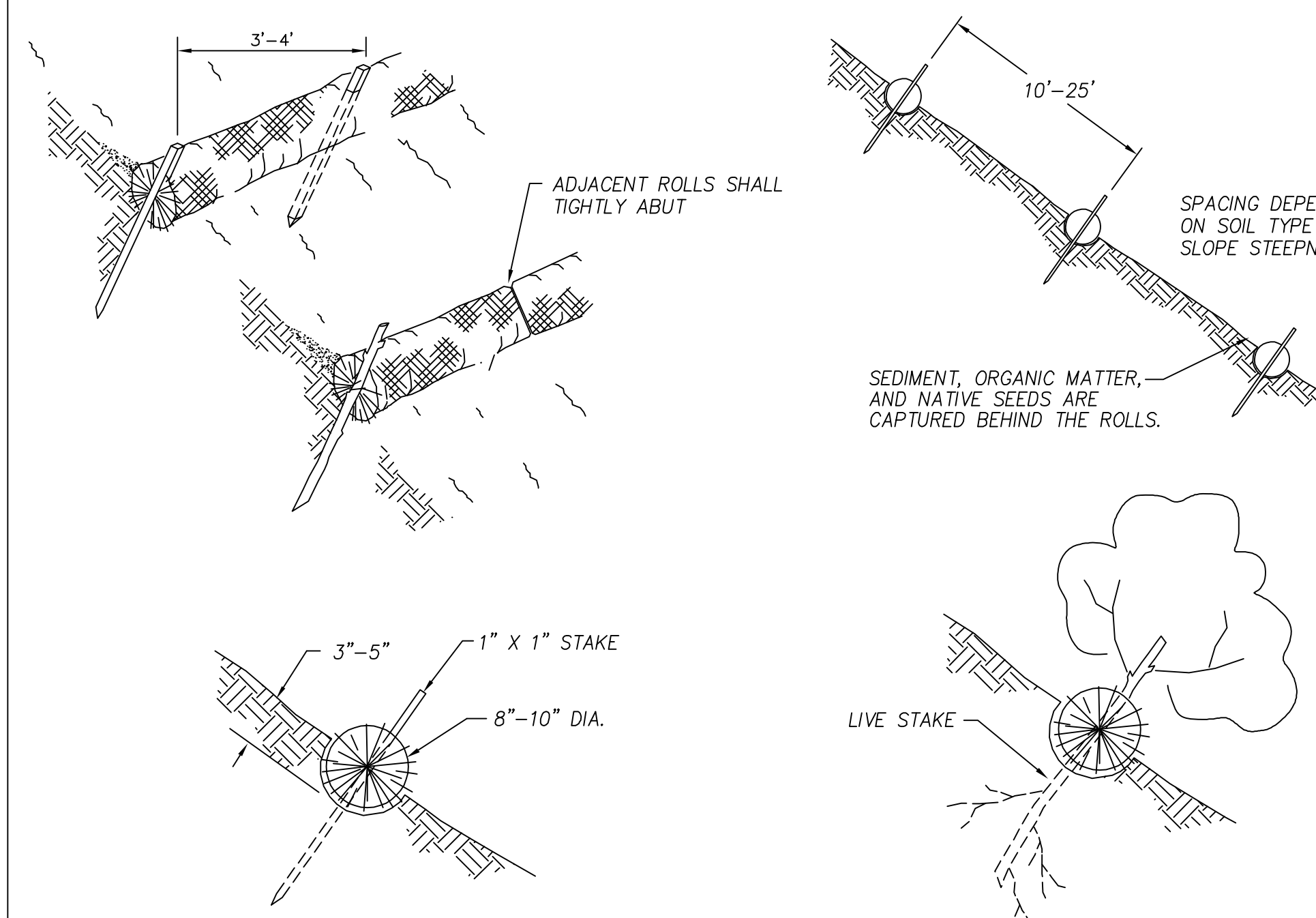


SILT FENCE DETAIL
NOT TO SCALE



- NOTES:**
- 1-CLEAR AND GRUB AREA AND GRADE TO PROVIDE MAXIMUM SLOPE OF 2%
 - 2-COMPACT SUBGRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN IN USE FOR MORE THEN 3 MONTHS)
 - 3-PLACE COURSE AGGREGATE 1 TO 2-1/2 INCHES SIZE, TO A MINIMUM DEPTH OF 8 INCHES
 - 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.

VEHICLE TRACKING DETAIL
NOT TO SCALE



NOTES:

Straw wattles shall be installed as soon as construction will allow or when designated by the Engineer. Straw wattles shall be placed in shallow trenches and staked along the contour of disturbed or newly constructed slopes, in accordance with the Plans, perpendicular to the flow direction and parallel to the slope contour.

The wattles shall be installed at the intervals designated by the Engineer.

Trench construction and wattle installation shall begin from the base of the slope and work uphill. Excavated material shall be spread evenly along the uphill slope and compacted using hand tamping or other method approved by the Engineer. On gradually sloped or clay-type soils trenches shall be 2 to 3 inches deep. On loose soils, in high rainfall areas, or on steep slopes, trenches shall be 3 to 5 inches deep, or half the thickness of the wattle.

The wattle shall be install snugly into the trench, abutting adjacent wattles tightly, end to end, without overlapping the ends. Wattles shall be staked at each end and at 4 foot centers along their entire length. When trench conditions require, pilot holes for the stakes shall be driven through the wattle and into the soil using a straight bar. Stakes shall be driven through the middle of the wattle, leaving 2 to 3 inches of the stake protruding above the wattle.

Wattles shall be inspected regularly to ensure they remain thoroughly entrenched and in contact with the soil, and immediately after a runoff producing rainfall.

STRAW WATTLE (SILT FENCE ALTERNATIVE)
NOT TO SCALE

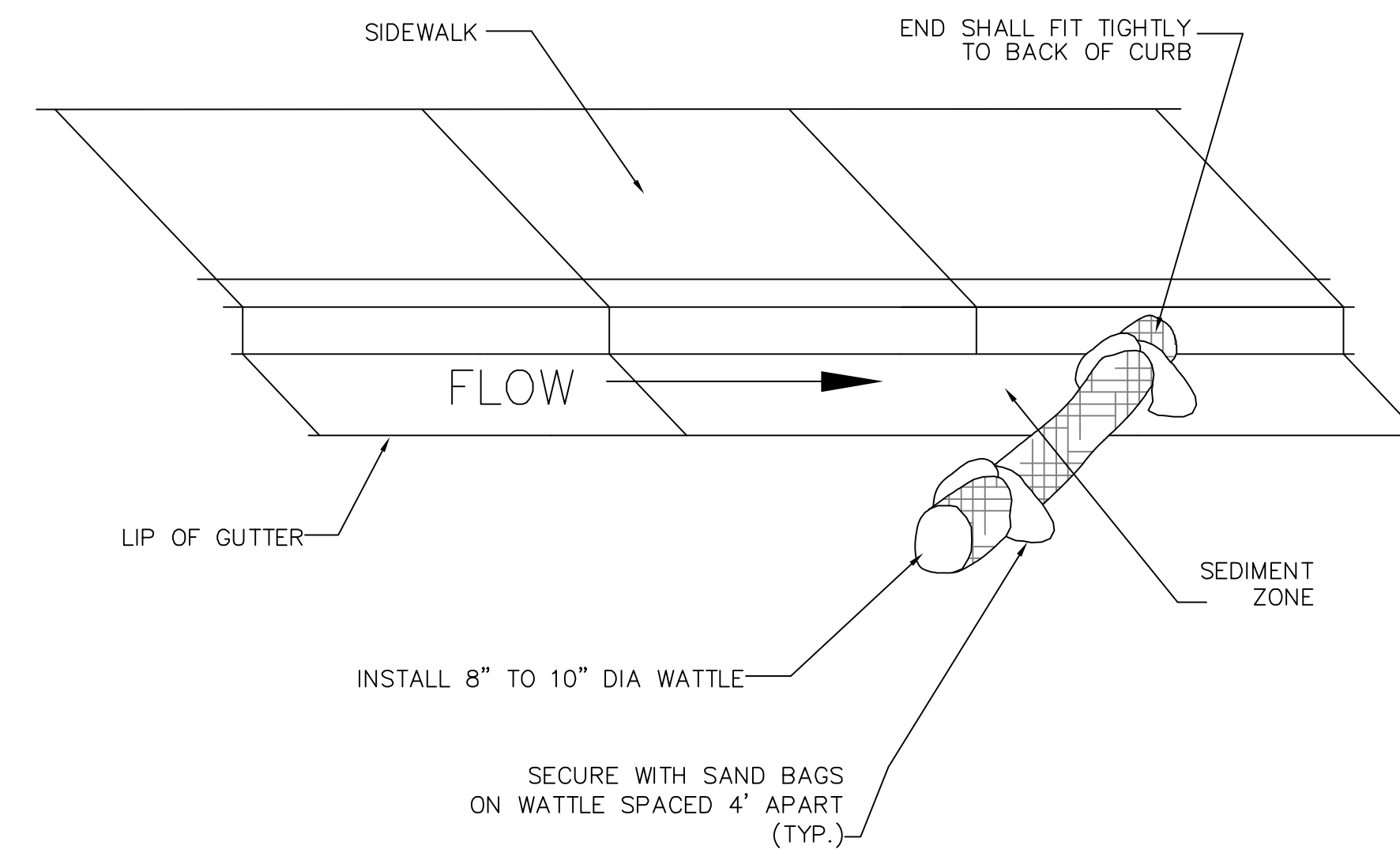
NOTE:

TYPICALLY STRAW BALES ARE NOT RECOMMENDED FOR INLET PROTECTION BARRIERS.

PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

SANDBAGS OF EITHER BURLAP OR WOVEN 'GEOTEXTILE' FABRIC TO BE USED TO WEIGH DOWN WATTLE IN AREAS WHERE THE WATER FLOW MAY MOVE THE WATTLE.

INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

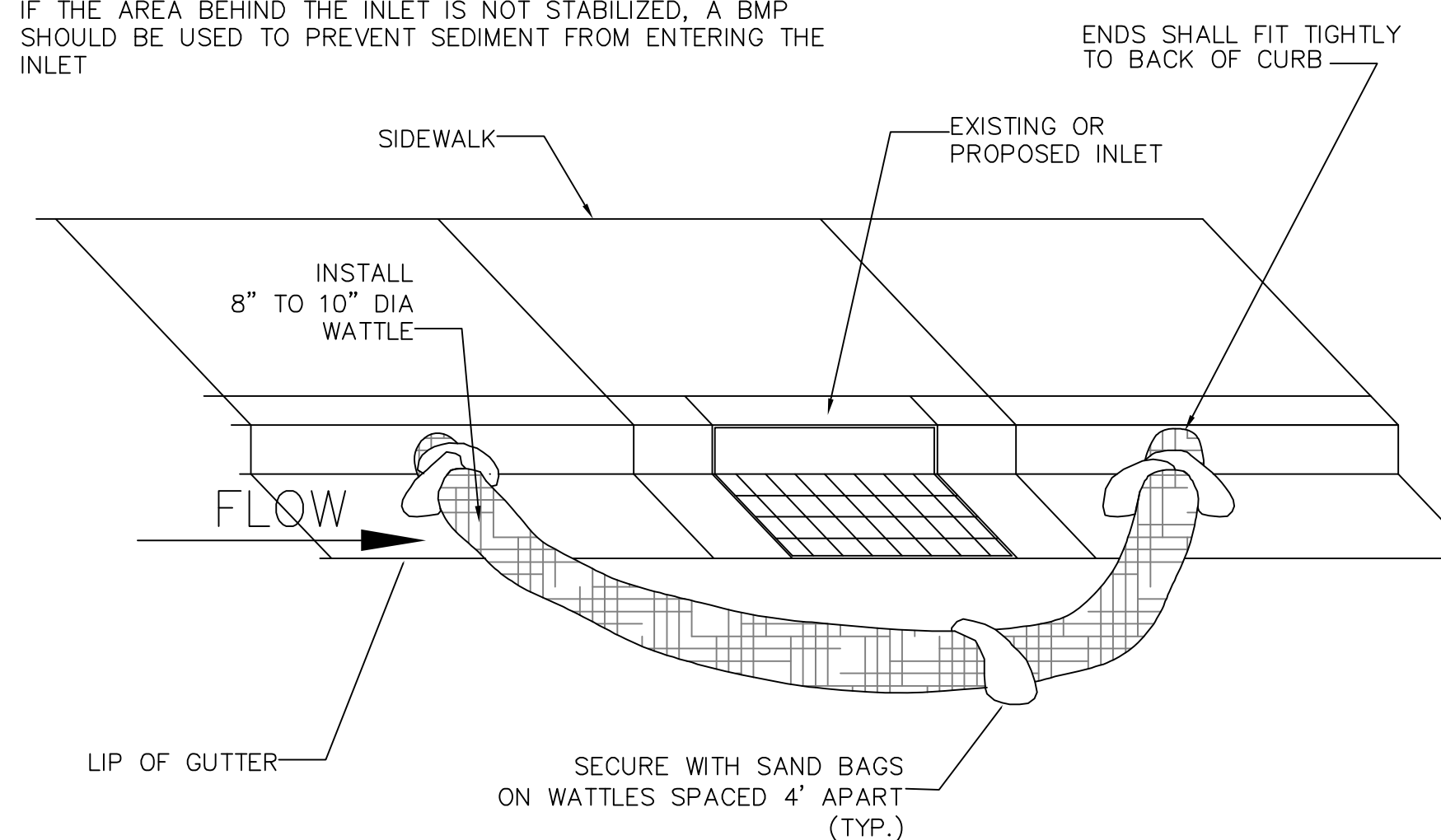


NOTE:

INSTALL GUTTER WATTLE MIDWAY BETWEEN IMPACTED INLETS AND CONSTRUCTION DISTURBANCE.

GUTTER PROTECTION SETUP

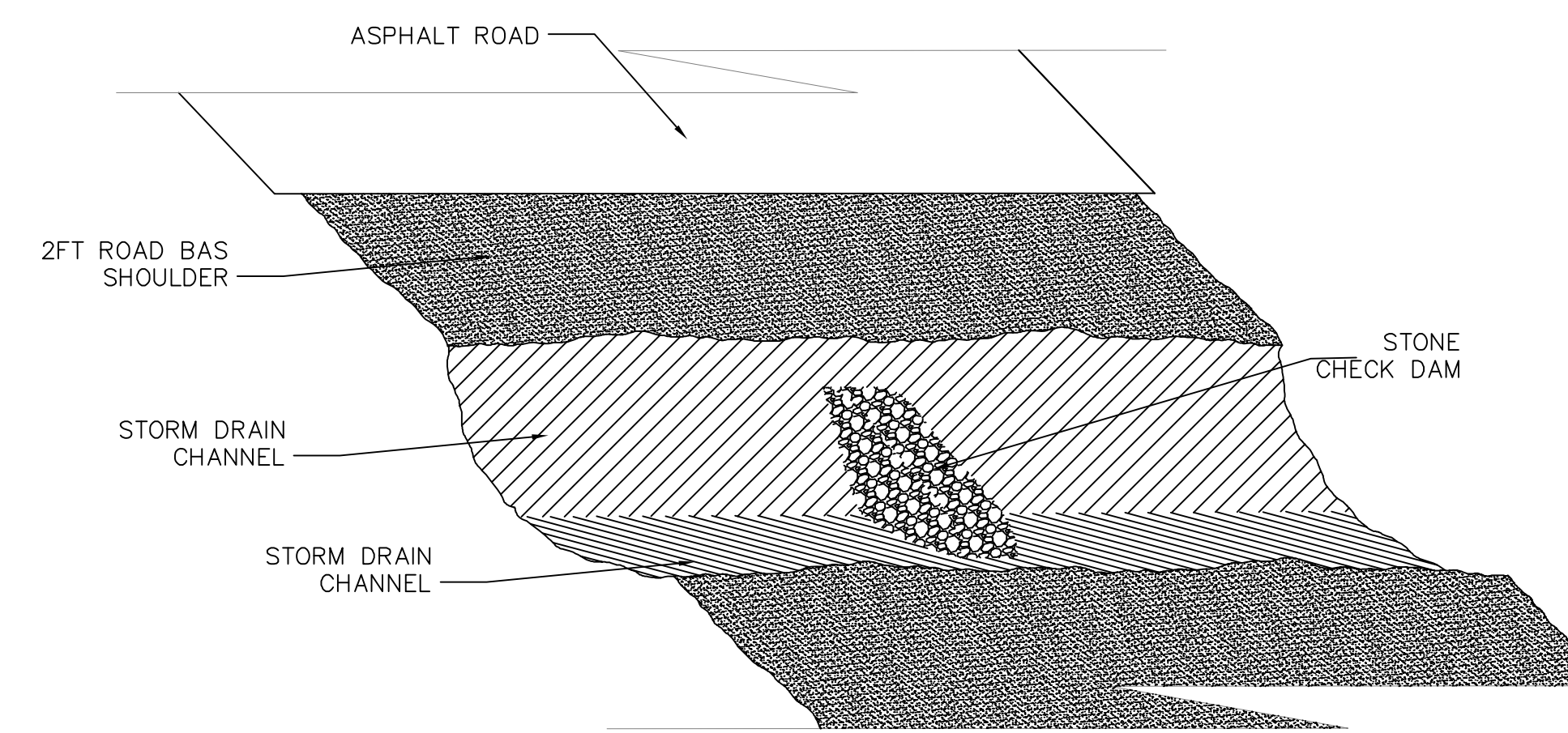
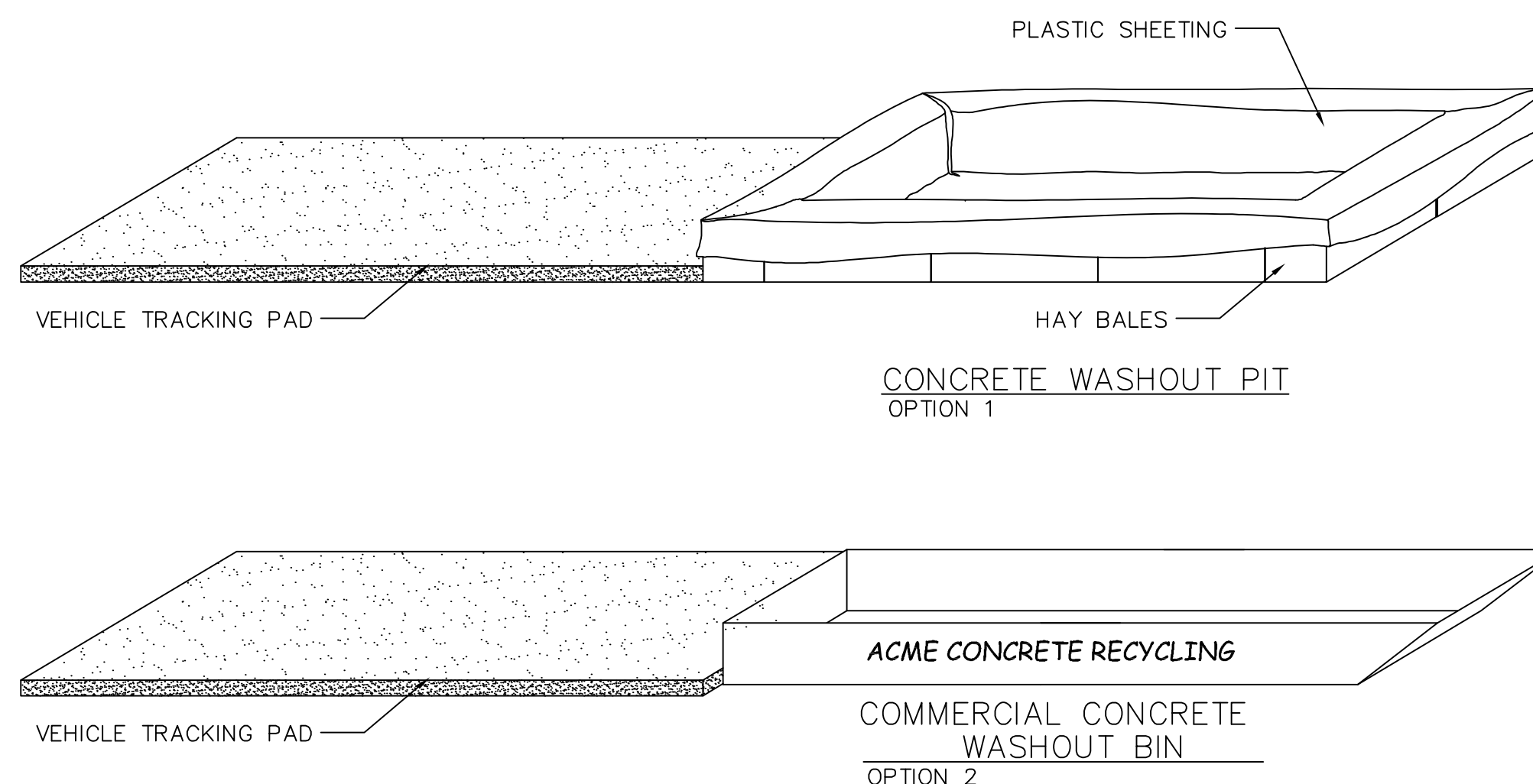
IF THE AREA BEHIND THE INLET IS NOT STABILIZED, A BMP SHOULD BE USED TO PREVENT SEDIMENT FROM ENTERING THE INLET



INLET PROTECTION BARRIERS
NOT TO SCALE

- BMP**
- 1-AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON SITE.
 - 2-PERFORM CONCRETE TRUCK WASHOUT OFF SITE OR IN DESIGNATED AREA
 - 3-DO NOT WASHOUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, STREETS OR STREAMS
 - 4-LOCATE ONSITE WASHOUT AREA MORE THEN 50 FT AWAY FROM NEAREST STORM INLET.
 - 5-WASHOUT CONCRETE WASTE INTO WASHOUT PIT OR COMMERCIAL WASHOUT BIN ONLY.
- USE OF CONCRETE WASHOUT**
- 1-IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONCRETE WASHOUT AREA.
 - 2-WASHOUT CONCRETE WASTE INTO PIT OR CONTAINER WHERE IT CAN SET AND LATER BE BROKEN UP AND DISPOSED OF PROPERLY
 - 3-NO WASTE OR LITTER IS TO BE PERMITTED TO ACCUMULATE IN THE WASHOUT AREA. AREA SHOULD BE CLEAN AT THE
 - END OF EACH WORK DAY.
 - 4-INSTALL PROPER WASTE WATER PROTECTION AT ALL EFFECTED DOWNHILL STORM DRAINS AND INLETS
 - 5-INSTALL A VEHICLE TRACKING PAD TO PROTECT THE STREETS FROM MUD AND OTHER DEBRIS FROM TRUCKS. MAKE SURE ALL TRUCKS ARE CLEAR OF MUD AND ROCK THAT CAN FALL FROM TRUCK WHILE TRAVELING ON STREETS.

CONCRETE WASHOUT AREA
NOT TO SCALE



- NOTES:**
1. PLACE A CHECK DAM AT EVERY 100 LINIER FEET OF DRAIN CHANNEL
 2. PLACE CHECK DAMS PERPENDICULAR TO THE FLOW LINE OF THE CHANNEL
 3. CONSTRUCT CHECK DAMS SO THAT WATER DOES NOT FLOW AROUND THE ENDS OF THE DAM
 4. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.

DRAINAGE CHANNEL PROTECTION
NOT TO SCALE

See SATAQUIN CITY specifications for further information.

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STRATTON MEADOW SUBDIVISION
EROSION CONTROL DETAILS and NOTES

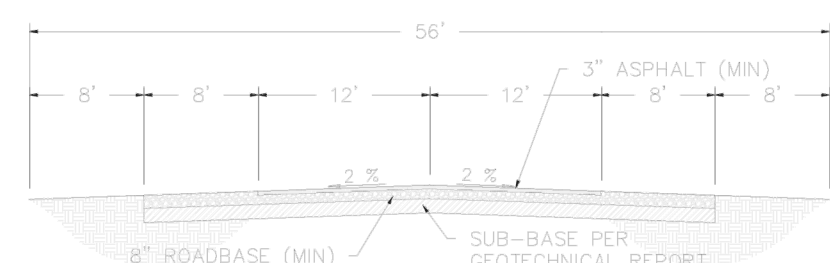
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SATAQUIN CITY

SHEET NO. ER-2

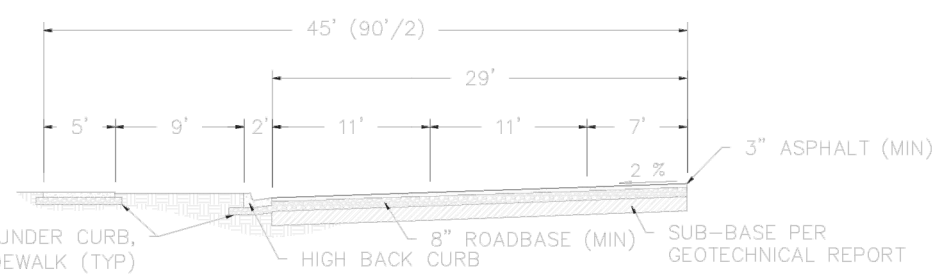
NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-6-21
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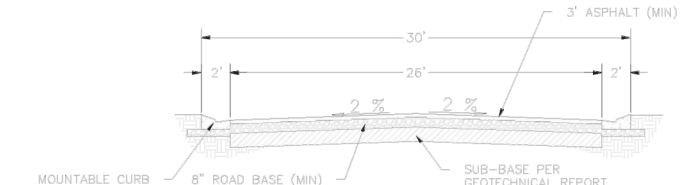
NOTES:
1. THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

55' RURAL LOCAL ROAD CROSS SECTION



NOTES:
1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

5-LANE/NO PARKING 90' ARTERIAL



NOTES:
1. THE TURN-A-ROUND TO MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE APPENDIX D (LATEST ADOPTED VERSION).

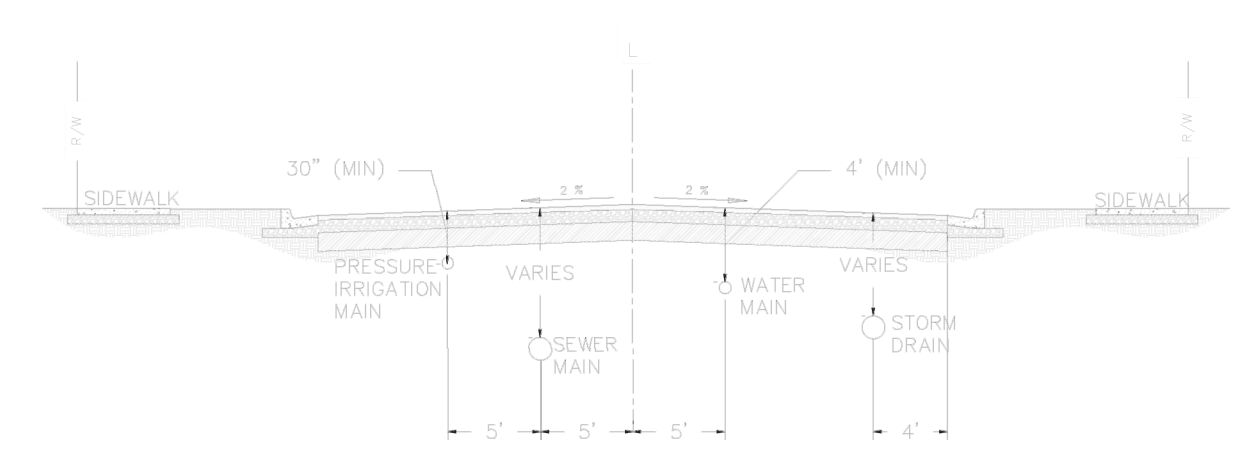
26' PRIVATE STREET CROSS SECTION

NOTES:
STANDARD ROAD CROSS SECTIONS MAY BE MODIFIED IN HILLSIDE DEVELOPMENT ZONES ACCORDING TO A DEVELOPMENT AGREEMENT.

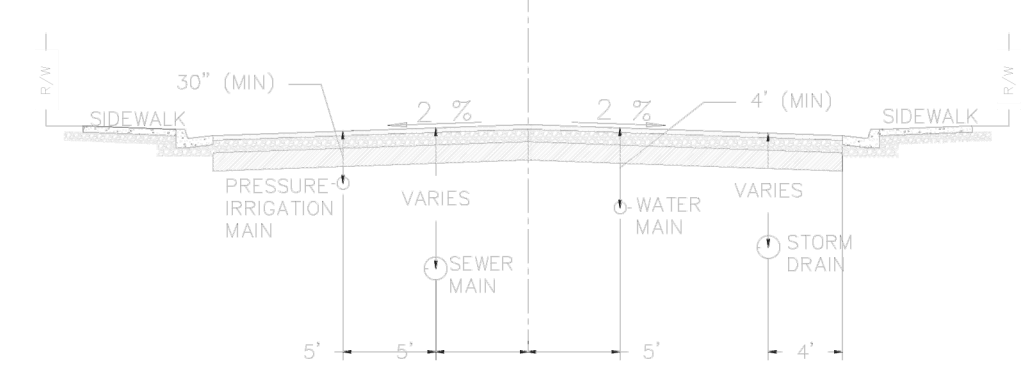
STATEMENT OF WORK: THIS DOCUMENT AND ANY ILLUSTRATIONS THEREIN ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF THE DEVELOPMENT REVIEW COMMITTEE (DRC). STANDARD CITY CODES DO NOT APPLY TO THIS DOCUMENT. REVISION: [Table with 3 columns: No., Description, Date]

Santaquin STANDARD STREET CROSS SECTION SANTAQUIN CITY 275 WEST MAIN STREET **ST2** ADOPTED DATE: 10-20-23

NOT TO SCALE



STREET UTILITY LOCATIONS WITH PLANT STRIP



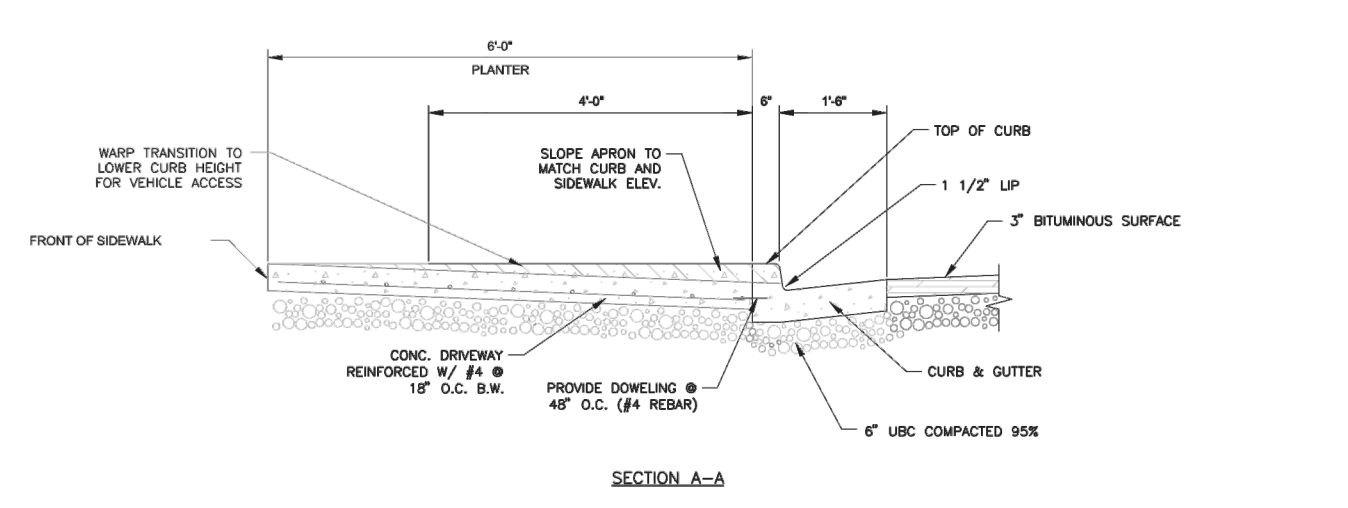
STREET UTILITY LOCATIONS SECTIONS

- IRRIGATION MAINS SHALL BE LOCATED TO FEET SOUTH & WEST OF CENTER OF THE STREET.
- WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
- SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
- STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE LIP OF GUTTER ON NORTH & EAST SIDE OF THE STREET.
- STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.

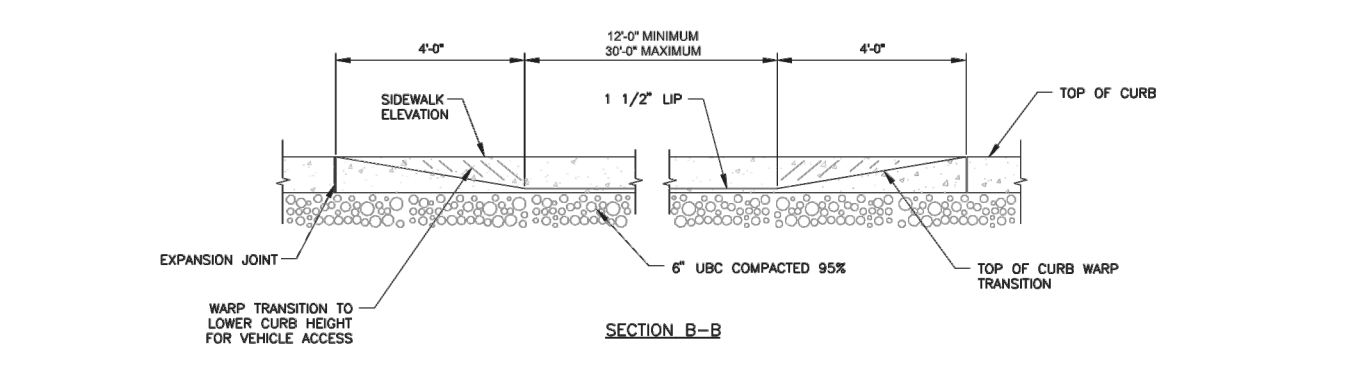
STATEMENT OF WORK: THIS DOCUMENT AND ANY ILLUSTRATIONS THEREIN ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTAQUIN CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF THE DEVELOPMENT REVIEW COMMITTEE (DRC). STANDARD CITY CODES DO NOT APPLY TO THIS DOCUMENT. REVISION: [Table with 3 columns: No., Description, Date]

Santaquin STREET UTILITY LOCATIONS PROFILE VIEW SANTAQUIN CITY 275 WEST MAIN STREET **UT2** ADOPTED DATE: 10-20-23

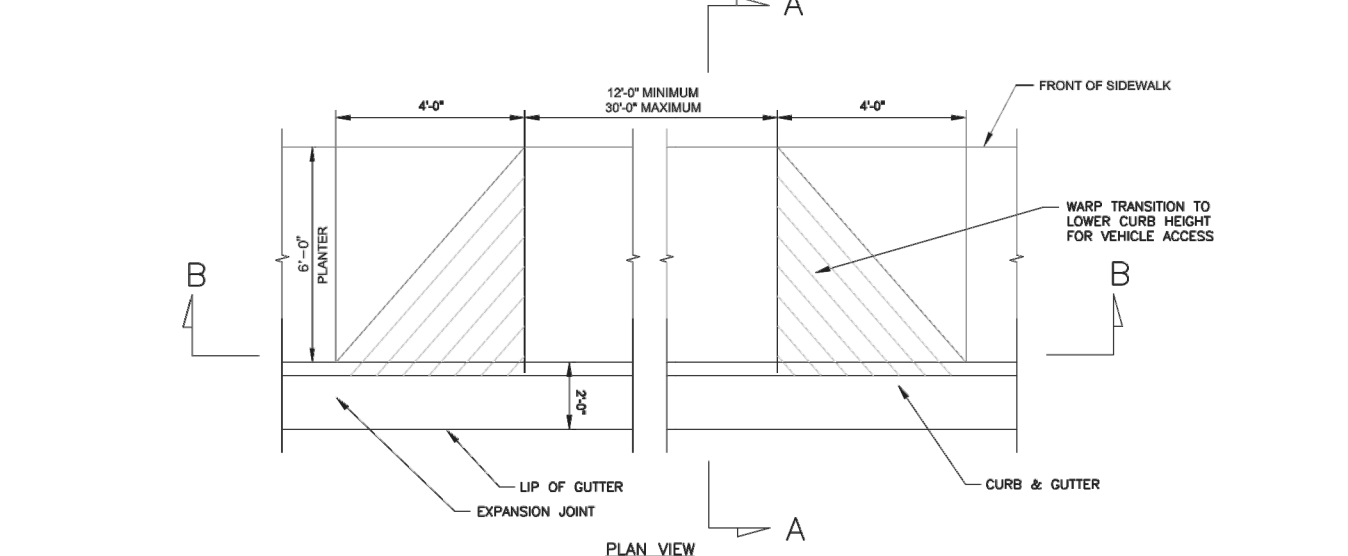
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SECTION A-A



SECTION B-B

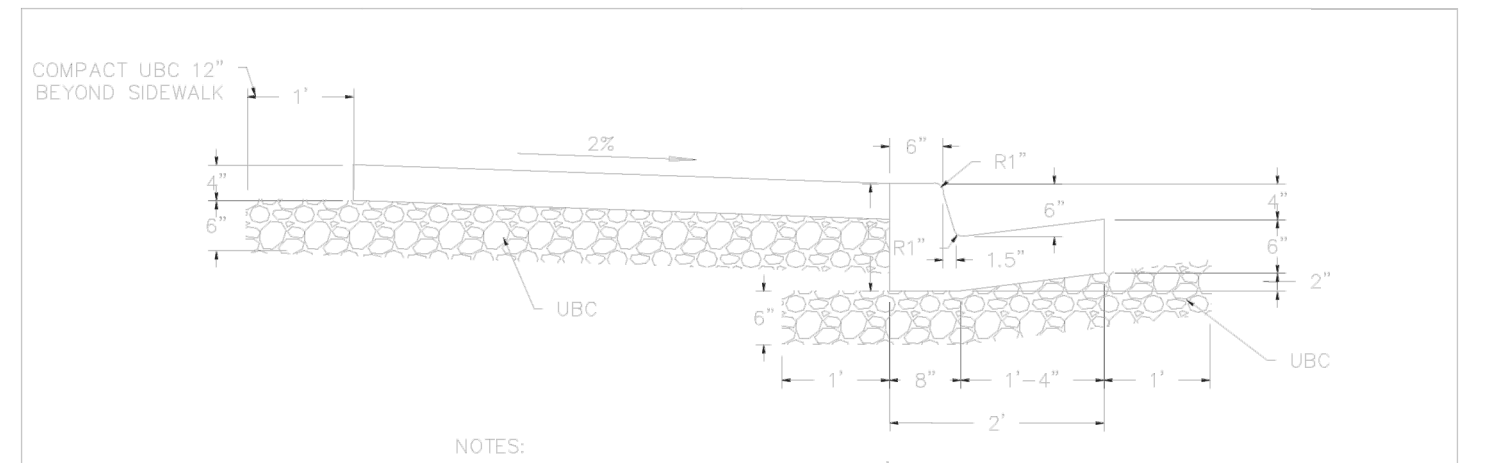


DRIVEWAY APPROACH WITH PARK STRIP NOT TO SCALE

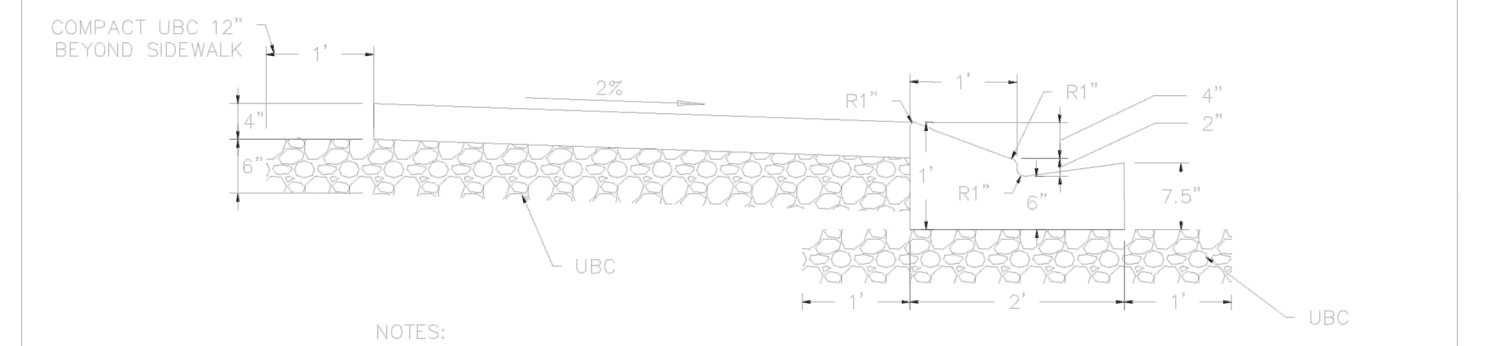
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Santaquin DRIVEWAY APPROACH WITH PARK STRIP SANTAQUIN CITY 275 WEST MAIN STREET **CG3** ADOPTED DATE: 10-20-23

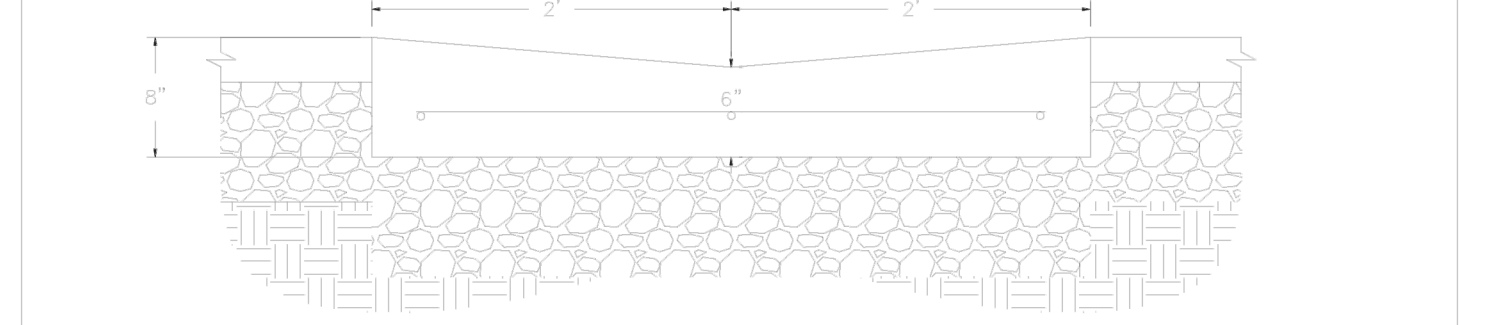
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TYPICAL HIGH BACK CURB AND GUTTER



MODIFIED CURB AND GUTTER

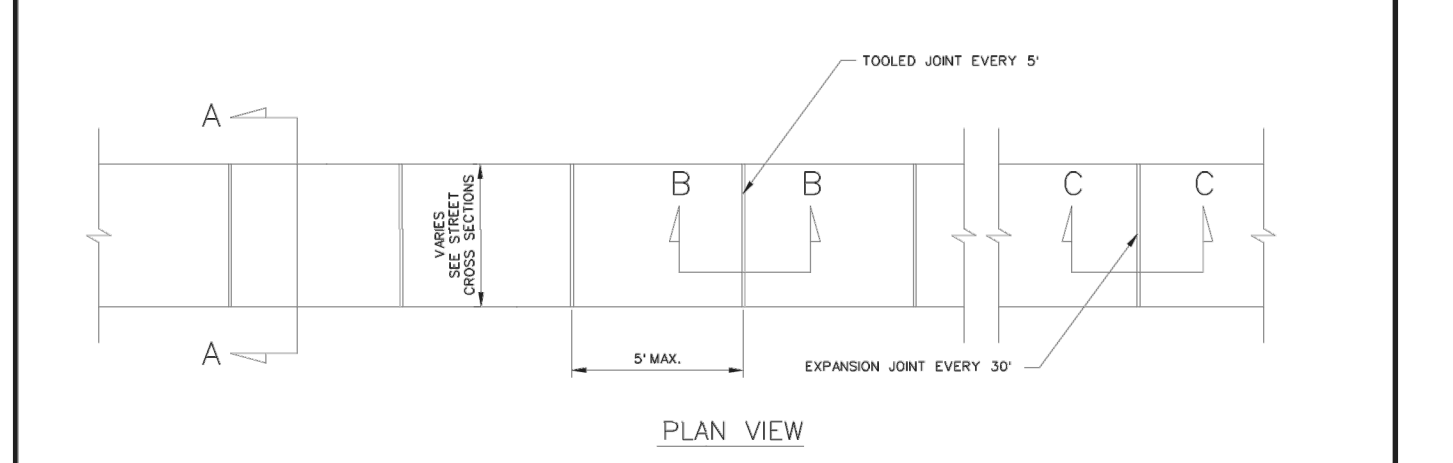


CROSS GUTTER

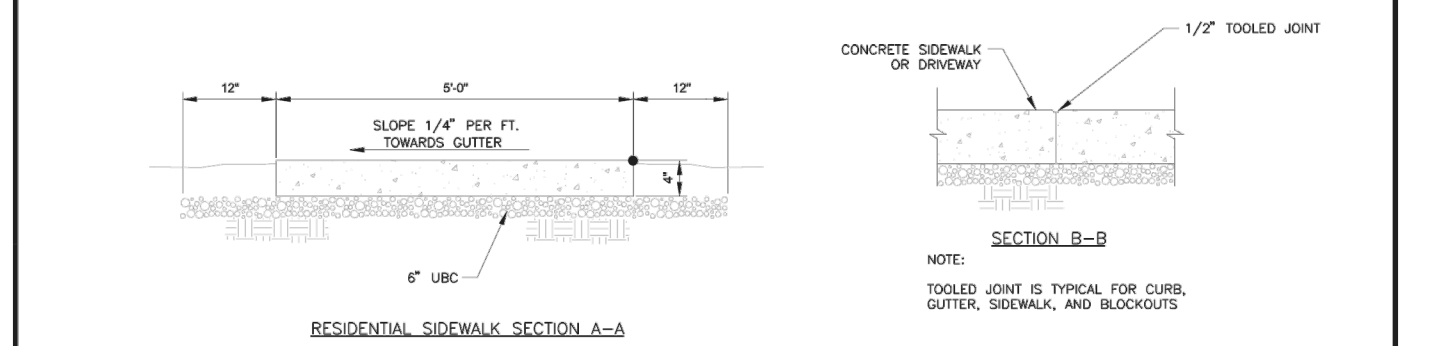
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Santaquin CURB & GUTTER AND CROSS GUTTER DETAILS SANTAQUIN CITY 275 WEST MAIN STREET **CG4** ADOPTED DATE: 10-20-23

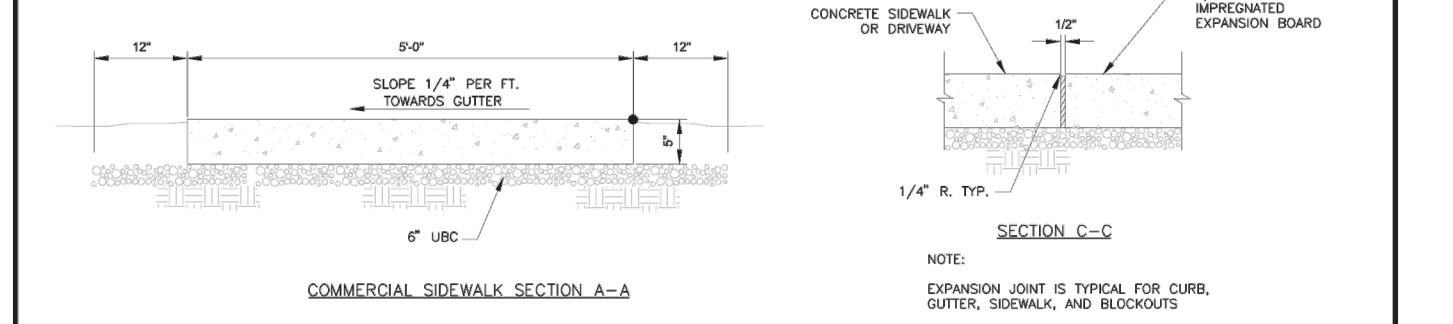
NOT TO SCALE



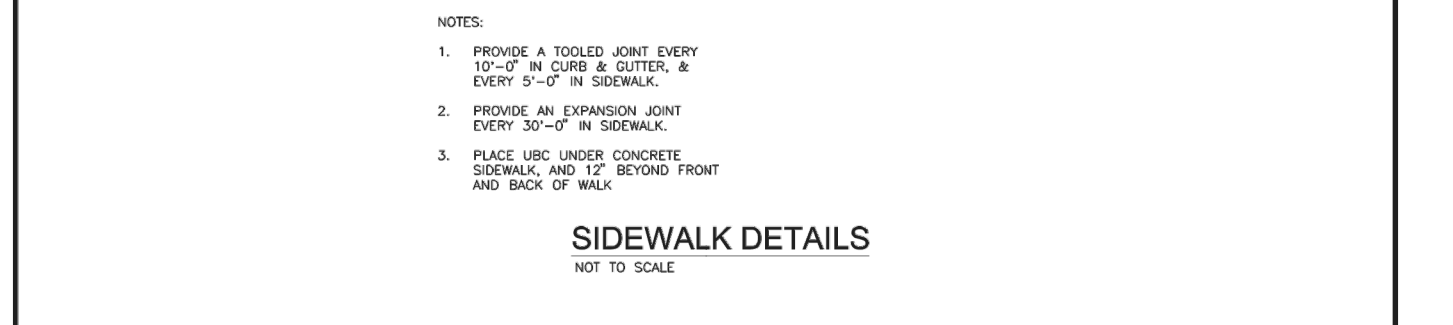
PLAN VIEW



RESIDENTIAL SIDEWALK SECTION A-A



COMMERCIAL SIDEWALK SECTION A-A



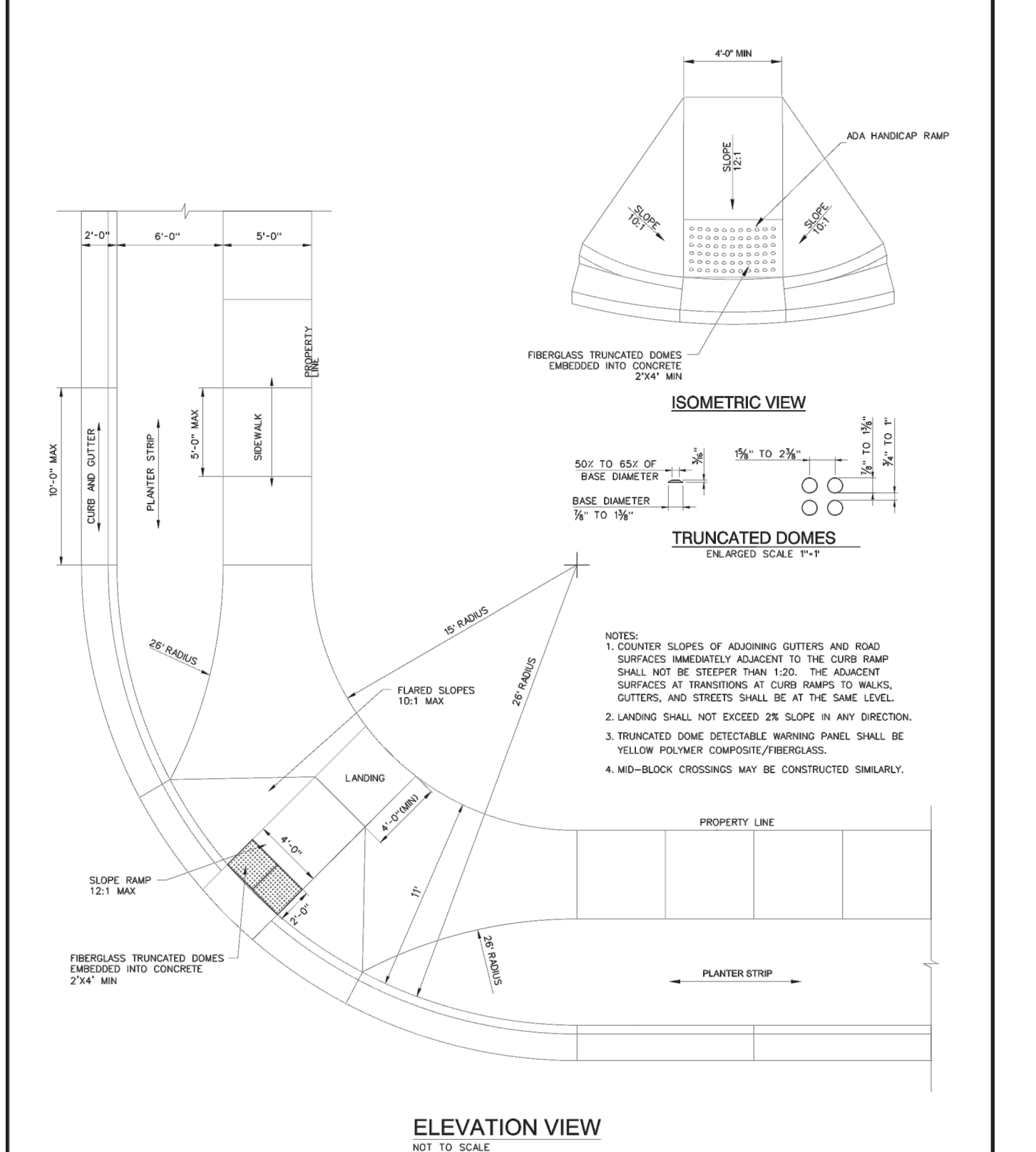
SIDEWALK DETAILS

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Santaquin SIDEWALK DETAILS SANTAQUIN CITY 275 WEST MAIN STREET **CG5** ADOPTED DATE: 10-20-23

NOT TO SCALE



ELEVATION VIEW

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Santaquin RESIDENTIAL CURB RAMP AT INTERSECTION SANTAQUIN CITY 275 WEST MAIN STREET **CG2A** ADOPTED DATE: 10-20-23

NOT TO SCALE

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CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT

STRATTON MEADOW SUBDIVISION

STREET DETAILS

PRINT DATE: 9-6-2023

SANTAQUIN CITY

TYPICAL SEWER MANHOLE
NOT TO SCALE

NOTES:

- FLAT LEGS MAY BE USED IN LIEU OF EGGING CONE WHERE NECESSARY, AND FROM APPROVAL OF THE CITY ENGINEER. FLAT LEG SHALL BE OF EGGING CONE AND MEET 150 LBS. LOADING.
- MANHOLES PLACED IN FIELDS SHALL HAVE SOLO LEGS.
- MANHOLES OUTSIDE OF ROADWAYS SHALL BE PLACED 4' HIGHER ABOVE GRADE.
- PROVIDE A 0.15 FOOT INVERT ELEVATION DROP ACROSS THE MANHOLE (MINIMUM).
- 80\"/>

NOTES:

- VENTED LEGS REQUIRED IN ALL PAVED STREETS.
- WHERE FIELD CONDITIONS PROHIBIT COMBINATION OF PRECAST CONCRETE SECTIONS, OTHER COMBINATIONS OF PRECAST CONCRETE SECTIONS MAY BE USED AS PER ENGINEER'S APPROVAL.
- SEWER MANHOLE BASES SHALL PROVIDE A 0.10 FOOT INVERT ELEVATION DROP ACROSS THE MANHOLE (MINIMUM).
- NO COLLARS (CONCRETE OR ASPHALT) ARE TO BE USED ON MANHOLES WITH SANTAQUIN CITY RING USE 3 A.1. SUPPLY MANHOLE ADAPTER RINGS (MSRERS) TO SET RING AND COVER TO FINISH GRADE.
- EXCAVATIONS FOR MANHOLE ADAPTER RINGS (MSRERS) SHALL HAVE VERTICAL SIDE WALLS.

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 2-8-21

SURVEY BY: GPW

DRAWN BY: GPW

DESIGNED BY: GPW

CHECKED BY: GPW

SCALE: N/A

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CONSTRUCTION MANAGEMENT

SANTAQUIN CITY
275 WEST MAIN STREET

UT2
ADOPTED DATE: 10-1-2018

CAST IN PLACE SEWER MANHOLE MANHOLE RING & COVER
NOT TO SCALE

NOTES:

- CAST IN PLACE MANHOLE SECTIONS SHALL ONLY BE USED WHEN A NEW SEWER MAIN IS BEING CONNECTED INTO AN EXISTING SEWER MAIN.
- PROVIDE 30 FOOT DROP FROM THE NEW SEWER MAIN TO THE EXISTING SEWER MAIN.
- CONSTRUCT THE CAST IN PLACE TROUGH (N/A) A SWEEPING RADUS AS SHOWN ON DRAWING S1.
- CUT OUT THE TOP HALF OF THE EXISTING PIPE AFTER THE CAST IN PLACE TROUGH PIPE AFTER THE CAST IN PLACE TROUGH CONNECTION TO PROVIDE A SMOOTH FLOW LINE.
- GROUT/GRIND ANY RIDGES OR BELLES THAT MAY HAVE BEEN CREATED IN THE TROUGH OR AT THE MAIN TROUGH LINE.
- 80\"/>

REVISIONS:

NO.	DESCRIPTION	DATE

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CONSTRUCTION MANAGEMENT

SANTAQUIN CITY
275 WEST MAIN STREET

UT3
ADOPTED DATE: 10-1-2018

DROP SEWER MANHOLE
NOT TO SCALE

NOTES:

- FOR DROP DISTANCES LESS THAN 10' NO DROP MANHOLE SHALL BE USED. THE CONTRACTOR SHALL SLOPE THE TROUGH IN THE BASE SECTION OF THE MANHOLE TO ACCOMMODATE THE DROP DISTANCES.
- SEWER MAINS LARGER THAN 10" SHALL USE OUTSIDE DROPS, SIMILARLY CONFIGURED, BUT WITH THE DROP PIPE OUTSIDE THE MANHOLE WITH SHORT LENGTHS OF PIPE EXTENDING INTO THE MANHOLE.

REVISIONS:

NO.	DESCRIPTION	DATE

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CONSTRUCTION MANAGEMENT

SANTAQUIN CITY
275 WEST MAIN STREET

S2
ADOPTED DATE: 10-1-2018

STREET UTILITY LOCATIONS WITH PLANT STRIP

STREET UTILITY LOCATIONS SECTIONS

- IRRIGATION MAINS SHALL BE LOCATED 10 FEET SOUTH & WEST OF CENTER OF THE STREET.
- WATER MAINS SHALL BE LOCATED 5 FEET NORTH & EAST OF CENTER OF THE STREET.
- SEWER MAINS SHALL BE LOCATED 5 FEET SOUTH & WEST OF THE CENTER OF THE STREET.
- STORM DRAIN SHALL BE LOCATED 4 FEET FROM THE LIP OF CUTTER ON NORTH & EAST SIDE OF THE STREET.
- STORM DRAIN SHALL BE LOCATED LOWER THAN THE WATER MAIN.

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 2-8-21

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SANTAQUIN CITY
275 WEST MAIN STREET

UT2
ADOPTED DATE: 10-1-2018

TYPICAL TRENCH SECTION
NOT TO SCALE

- SLOPE TRENCH SIDES TO MEET OSHA REQUIREMENTS (LATEST EDITION) OR USE TRENCH BOX.
- FOUNDATION AND BEDDING MATERIAL AS REQUIRED INSTALL PIPELINES ON STABLE FOUNDATION WITH UNIFORM BEARING FOR FULL LENGTH OF BARREL EXCAVATE IN BEDDING FOR ALL PIPE JOINTS.

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 2-8-21

SURVEY BY: GPW

DRAWN BY: GPW

DESIGNED BY: GPW

CHECKED BY: GPW

SCALE: N/A

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CONSTRUCTION MANAGEMENT

SANTAQUIN CITY
275 WEST MAIN STREET

UT3
ADOPTED DATE: 10-1-2018

TYPICAL SEWER LATERAL
NOT TO SCALE

NOTES FOR CONNECTING TO EXISTING SEWER MAIN:

- USE SEWER MAIN WITH MARKING STRIPS AROUND LATERAL OF 10'.
- INSTALL CAST IRON BACKHAM SEWER SADDLE WITH 1\"/>

NOTES FOR CONNECTING TO NEW SEWER MAIN:

- CONNECTOR TO MAIN SHALL BE 80\"/>

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 2-8-21

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SCALE: N/A

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SANTAQUIN CITY
275 WEST MAIN STREET

S2
ADOPTED DATE: 10-1-2018

NO.	DESCRIPTION	DATE	APPD.

DATE: 2-8-21

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SCALE: N/A

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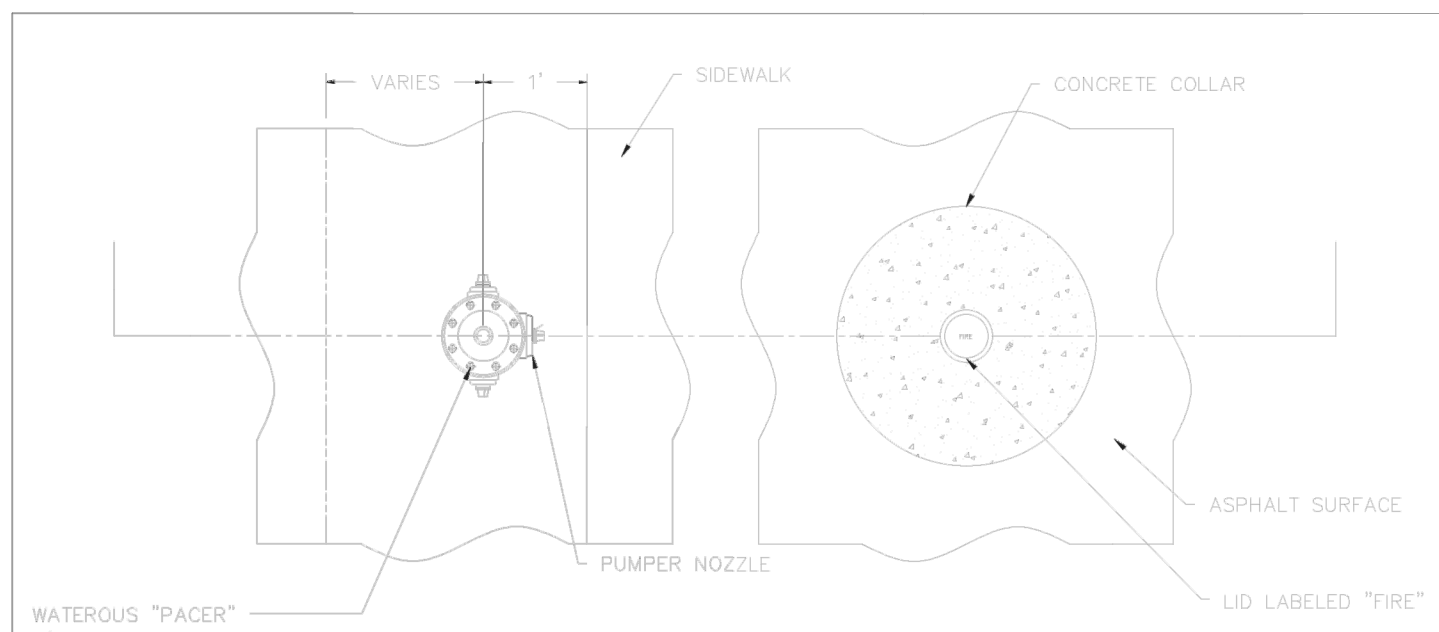
STRATTON MEADOW SUBDIVISION
SEWER DETAILS

9-6-2023

SANTAQUIN CITY



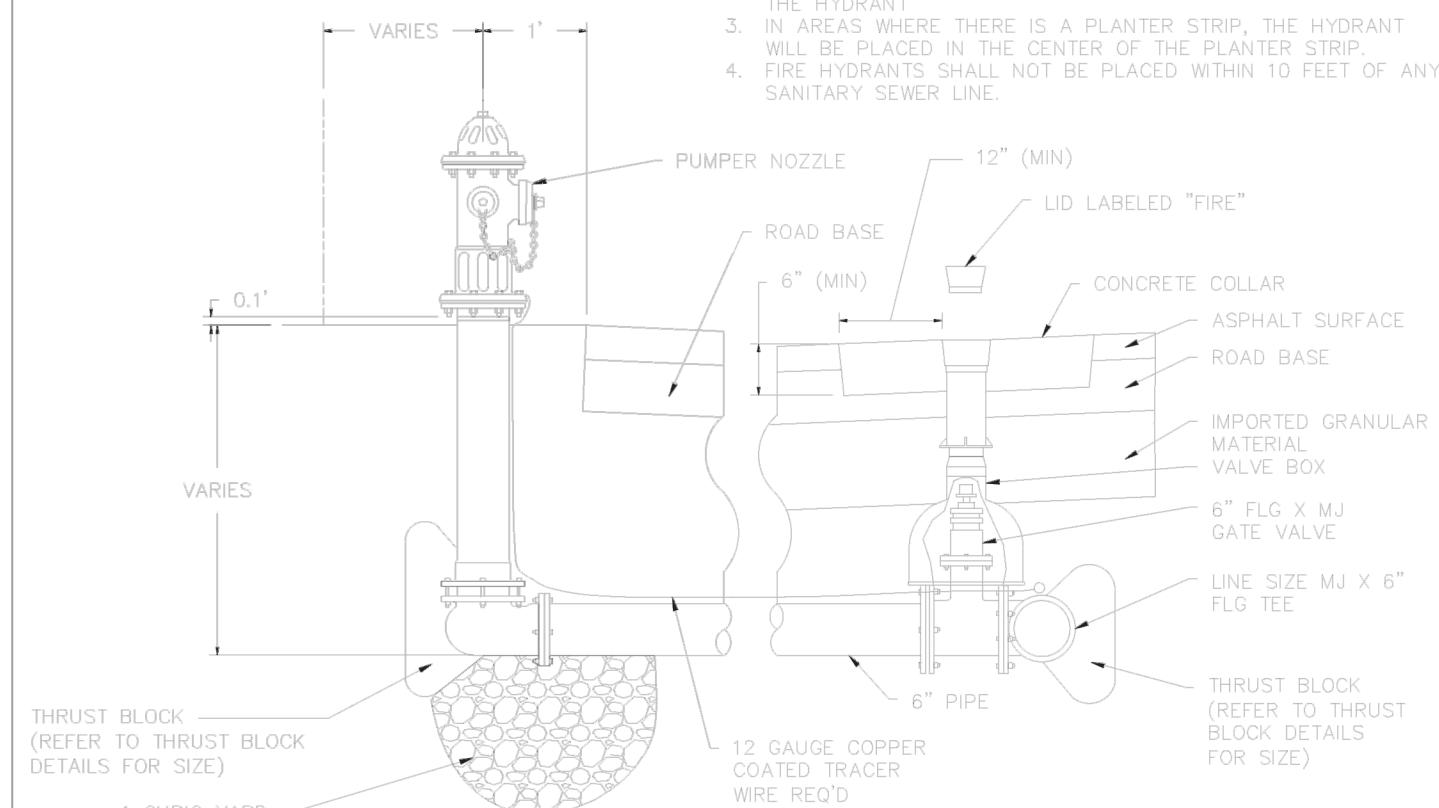
SHEET NO. **D2**



WATEROUS "PACER" 5/8" FIRE HYDRANT OR AS APPROVED BY PUBLIC WORKS

PLAN VIEW

- NOTES:
1. EACH HYDRANT SHALL HAVE A CLEAR ZONE OF 3 FEET ON THREE SIDES AND OPEN ON THE SIDE OF THE PUMPER NOZZLE.
 2. HYDRANT INSTALLED WHERE THERE IS NO CURB & GUTTER SHALL HAVE BOLLARDS PLACED ON EITHER SIDE IN FRONT OF THE HYDRANT.
 3. IN AREAS WHERE THERE IS A PLANTER STRIP, THE HYDRANT WILL BE PLACED IN THE CENTER OF THE PLANTER STRIP.
 4. FIRE HYDRANTS SHALL NOT BE PLACED WITHIN 10 FEET OF ANY SANITARY SEWER LINE.



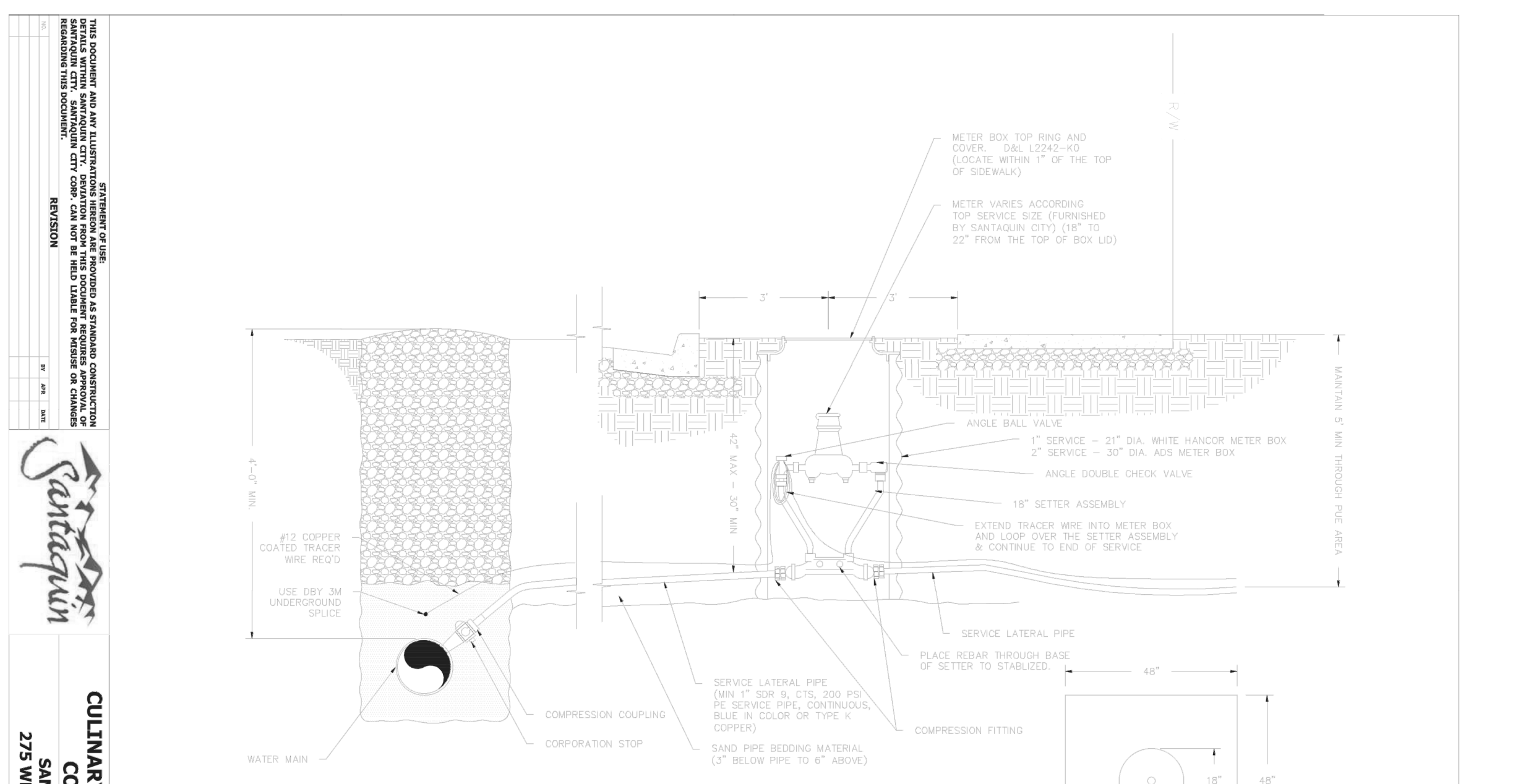
SECTION A-A

FIRE HYDRANT & WATER VALVE DETAIL
SANTAQUIN CITY
275 WEST MAIN STREET



W2

NOT TO SCALE



CULINARY WATER SERVICE CONNECTION

- NOTES:
- A. NEW MAIN, SERVICE TAP AND SERVICE LATERAL CONNECTED TO EXISTING WATER.
 - B. NEW MAIN AND SERVICE TAP CONNECTED TO EXISTING SERVICE LATERAL.
 - C. NEW SERVICE TAP AND SERVICE LATERAL CONNECTED TO EXISTING MAIN AND METER.
 - D. NO COUPLINGS SHALL BE ALLOWED BETWEEN THE MAIN AND METER BASE (SEE DETAIL).
 - E. WATER METERS SHALL NOT BE PLACED IN CONCRETE SURFACE. (DRAINWAYS, WALKWAYS ETC.)

THIS DETAIL SHOWS A NEW MAIN, SERVICE TAP, SERVICE LATERAL AND METER. THE FOLLOWING CONDITIONS ALSO APPLY:

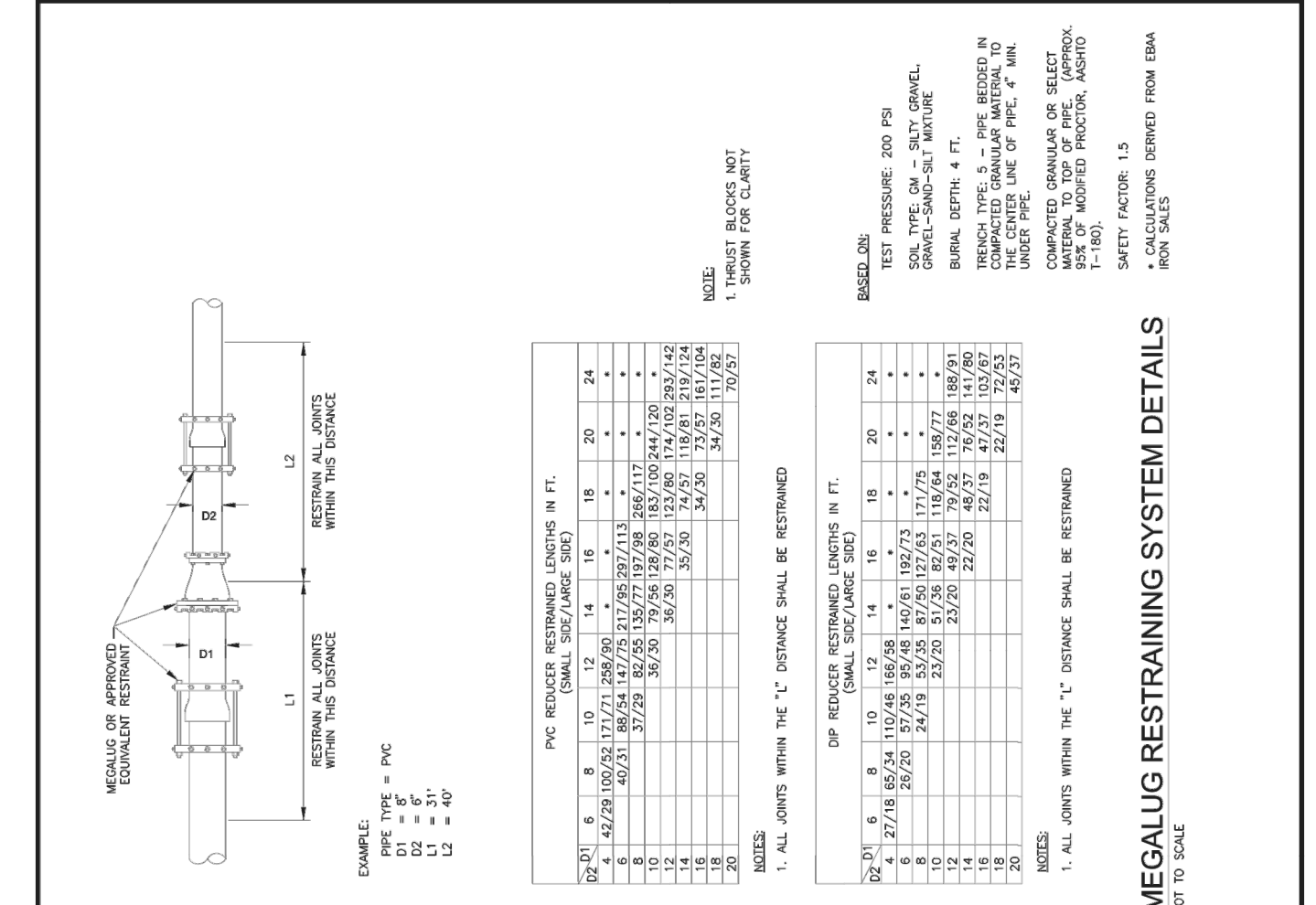
1. THIS JOINT BE CUT IN CONCRETE.
2. INSTALL 1/2" FLAT LID WITH HOLE.

EXISTING METERS THAT MUST BE RELOCATED MAY NEED TO BE TURNED IN ORDER FOR THEIR ORIENTATION TO MATCH THE ALIGNMENT OF THE SERVICE LINE.



W1

NOT TO SCALE



MEGALUG RESTRAINING SYSTEM DETAILS

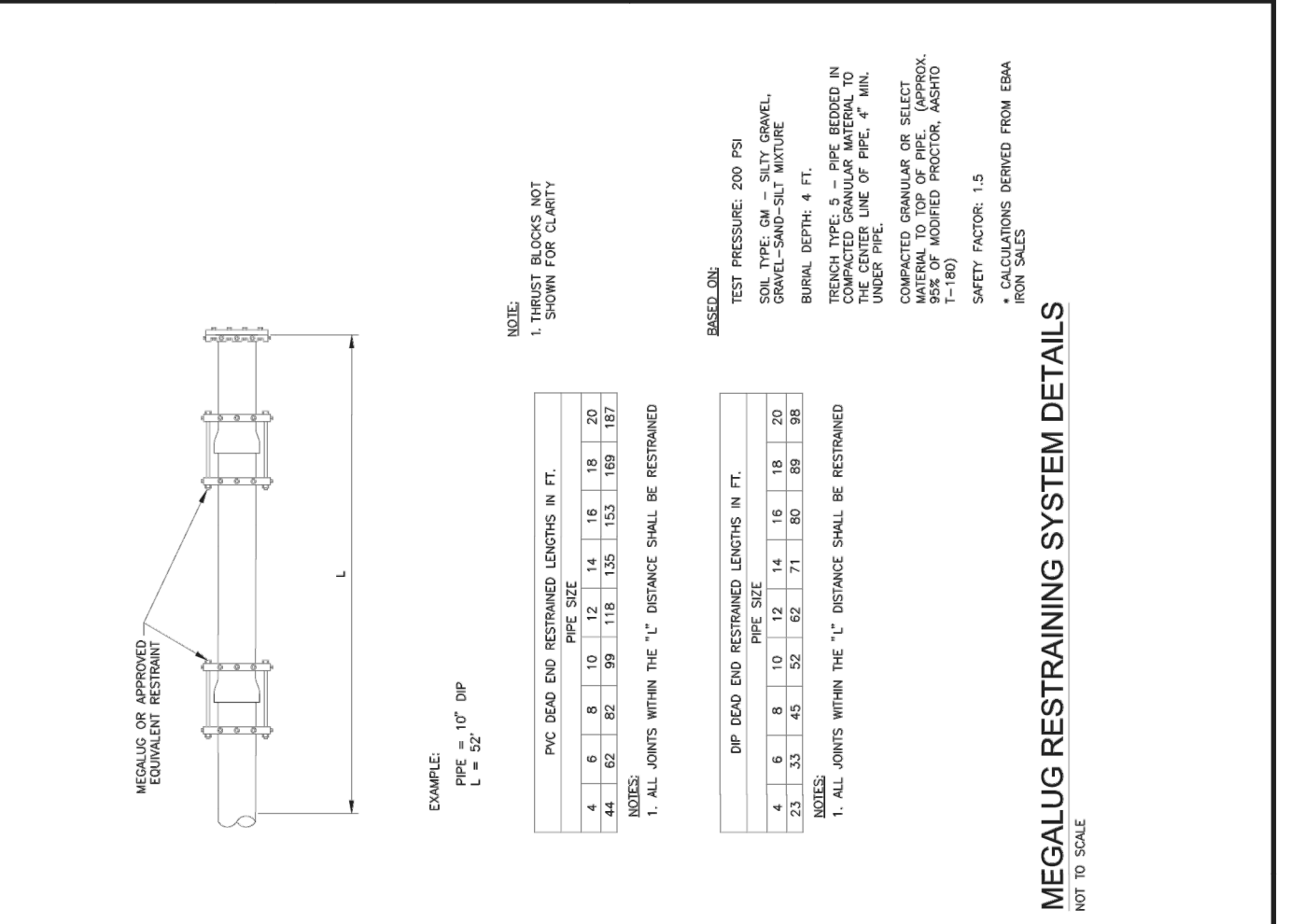
TABLE 1: PVC PIPE RESTRAINING SYSTEMS

PIPE SIZE (IN.)	MIN. RESTRAINING LENGTH (IN.)	MIN. RESTRAINING LENGTH (FT.)
4	12	1.0
6	18	1.5
8	24	2.0
10	30	2.5
12	36	3.0
14	42	3.5
16	48	4.0
18	54	4.5
20	60	5.0
24	72	6.0
30	90	7.5
36	108	9.0
42	126	10.5
48	144	12.0
54	162	13.5
60	180	15.0
72	216	18.0
84	252	21.0
96	288	24.0
108	324	27.0
120	360	30.0
144	432	36.0
168	504	42.0
192	576	48.0
216	648	54.0
240	720	60.0
288	864	72.0
336	1008	84.0
360	1080	90.0
420	1260	105.0
480	1440	120.0
540	1620	135.0
600	1800	150.0
720	2160	180.0
840	2520	210.0
960	2880	240.0
1080	3240	270.0
1200	3600	300.0

MEGALUG RESTRAINING SYSTEM DETAILS

W5

NOT TO SCALE



MEGALUG RESTRAINING SYSTEM DETAILS

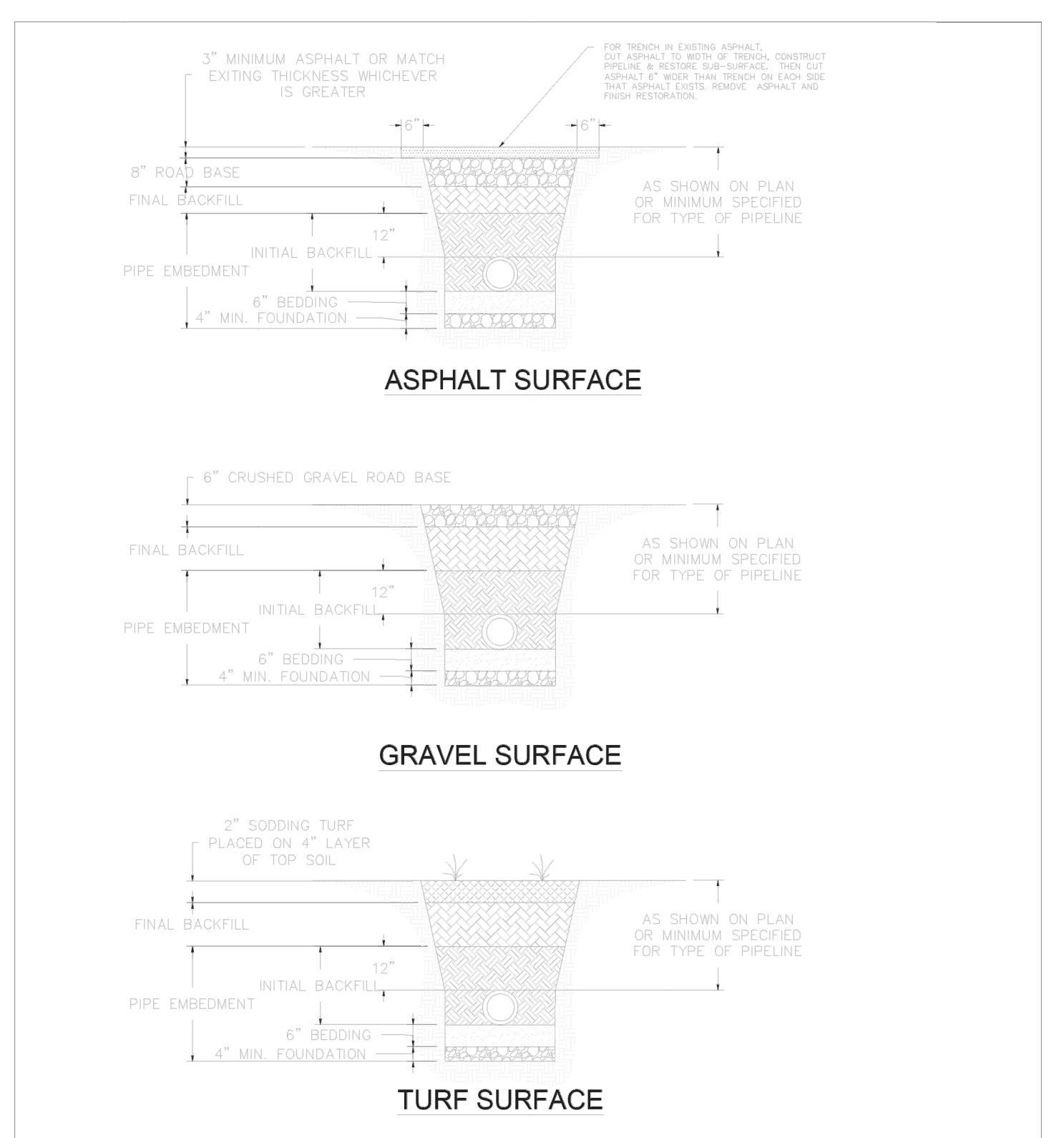
TABLE 2: TRENCH BEARING REQUIREMENTS

PIPE SIZE (IN.)	MIN. BEARING CAPACITY (PSF)
4	120
6	180
8	240
10	300
12	360
14	420
16	480
18	540
20	600
24	720
30	900
36	1080
42	1260
48	1440
54	1620
60	1800
72	2160
84	2520
96	2880
108	3240
120	3600
144	4320
168	5040
192	5760
216	6480
240	7200
288	8640
336	10080
360	10800
420	12600
480	14400
540	16200
600	18000
720	21600
840	25200
960	28800
1080	32400
1200	36000

MEGALUG RESTRAINING SYSTEM DETAILS

W6

NOT TO SCALE

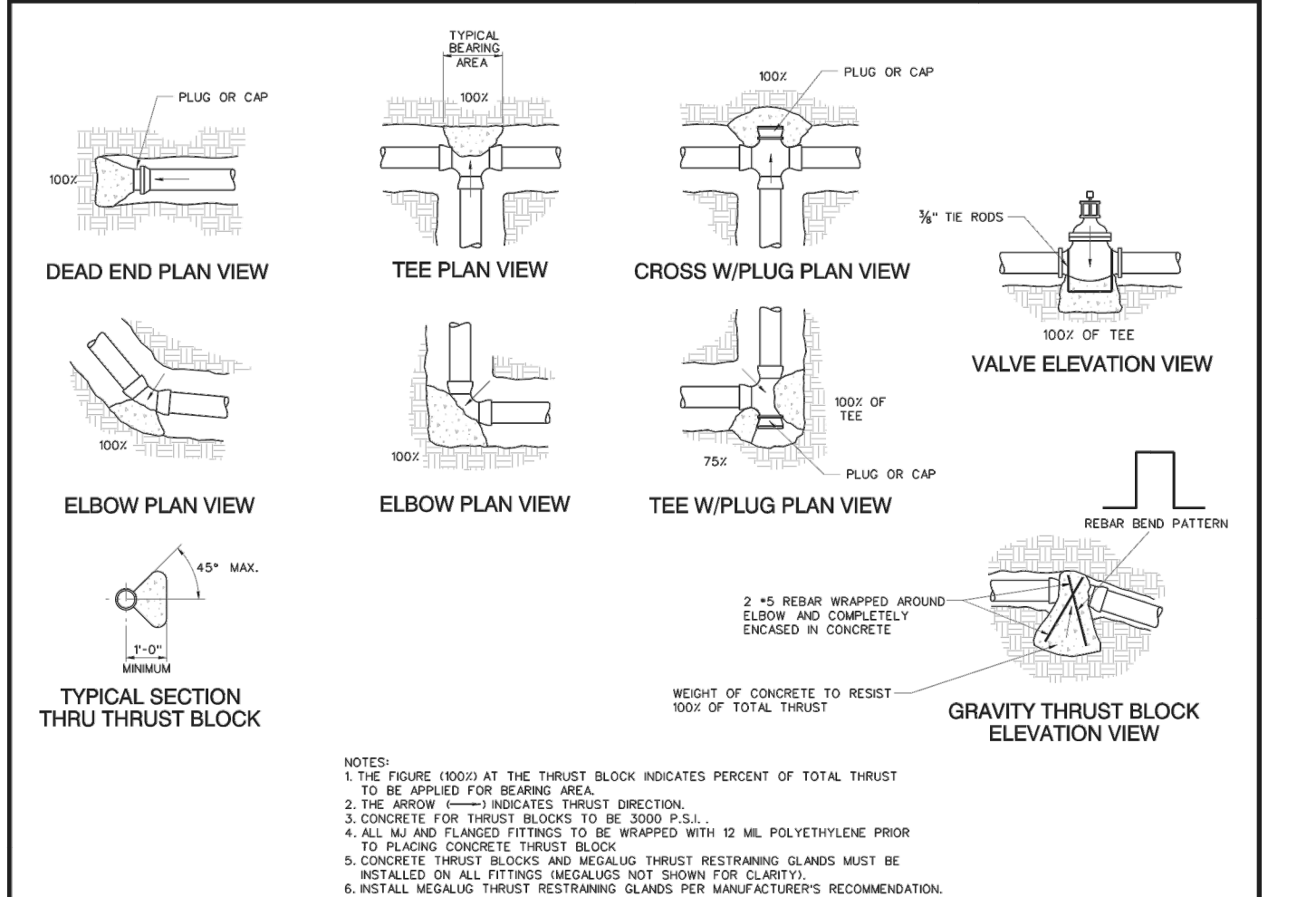


TYPICAL TRENCH SECTION

SANTAQUIN CITY
275 WEST MAIN STREET

UT3

NOT TO SCALE



THRUST BLOCK DETAILS

TABLE 1: THRUST BLOCK BEARING REQUIREMENTS

PIPE SIZE (IN.)	MIN. BEARING CAPACITY (PSF)
4	120
6	180
8	240
10	300
12	360
14	420
16	480
18	540
20	600
24	720
30	900
36	1080
42	1260
48	1440
54	1620
60	1800
72	2160
84	2520
96	2880
108	3240
120	3600
144	4320
168	5040
192	5760
216	6480
240	7200
288	8640
336	10080
360	10800
420	12600
480	14400
540	16200
600	18000
720	21600
840	25200
960	28800
1080	32400
1200	36000

THRUST BLOCK DETAILS

W4

NOT TO SCALE

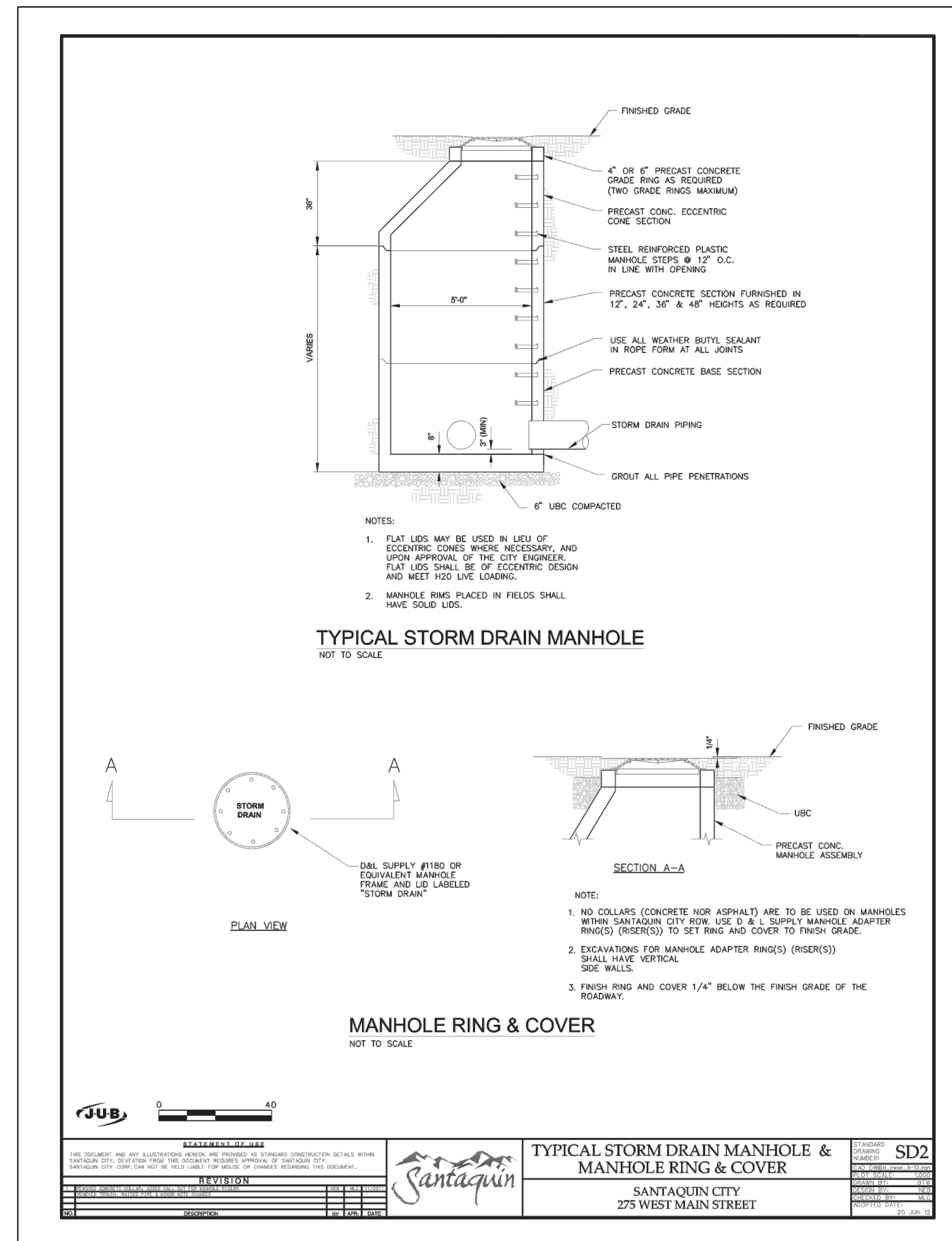
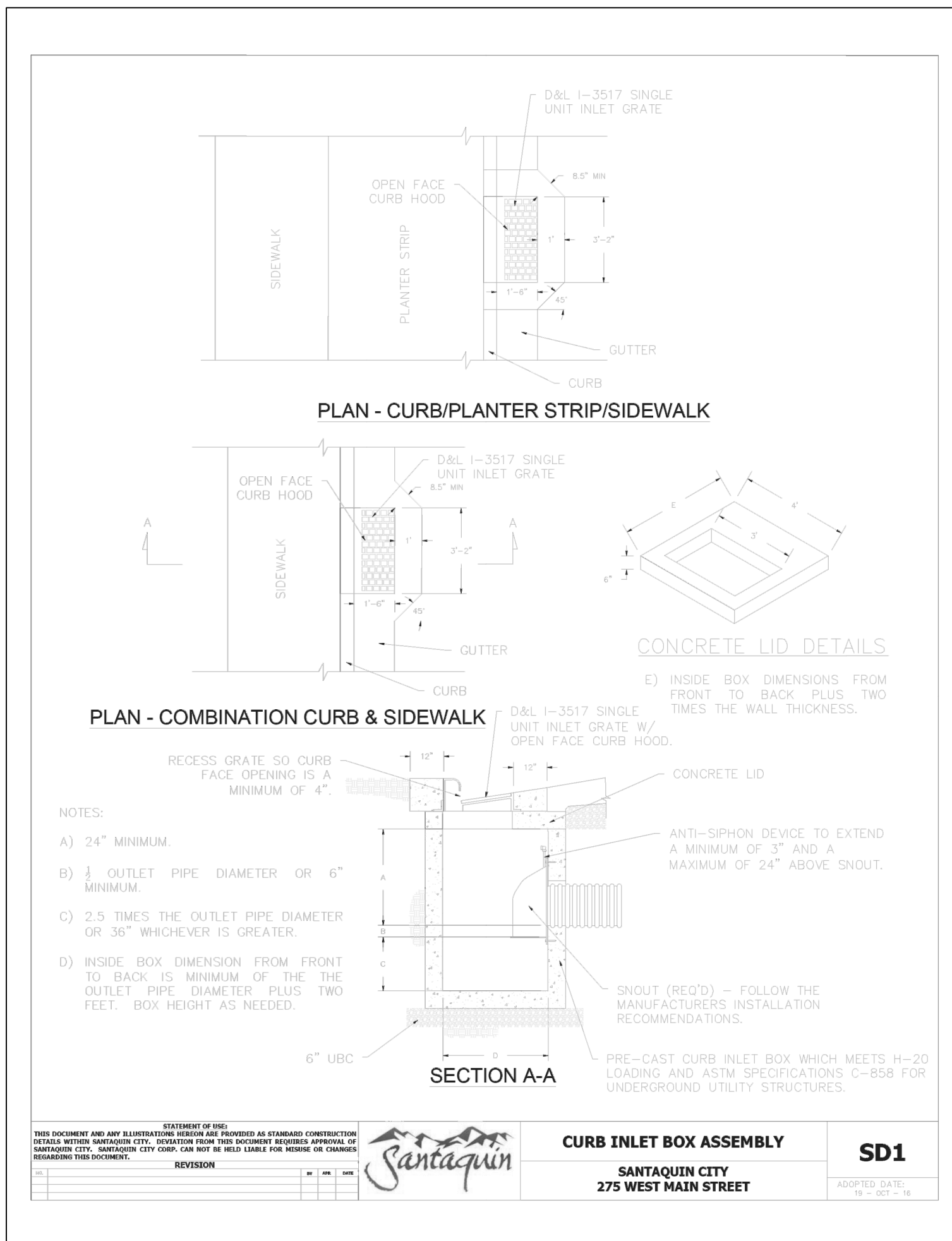
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STRATTON MEADOW SUBDIVISION
WATER DETAIL

9-6-2023

SANTAQUIN CITY



NO.	DESCRIPTION	DATE	APP'D

ORIG. DATE:	2-8-21
SURVEY BY:	CPW
DRAWN BY:	CPW
DESIGNED BY:	CPW
CHECKED BY:	CPW
SCALE:	N/A

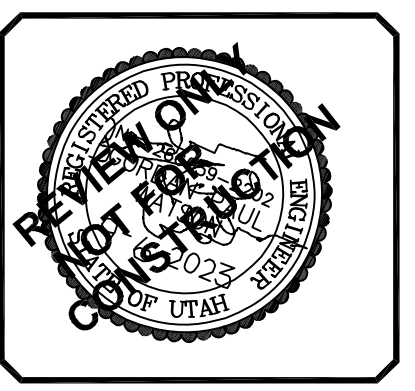
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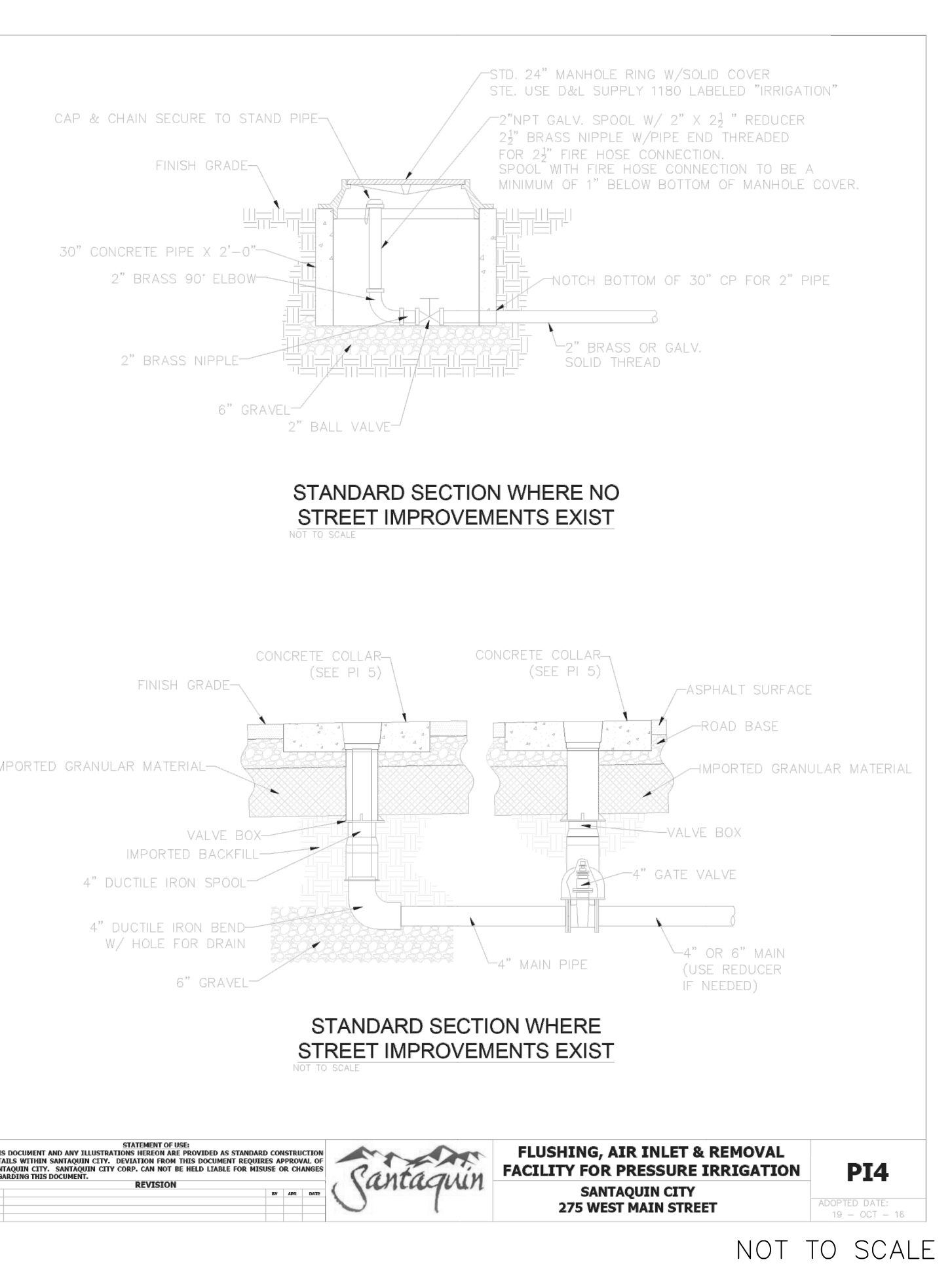
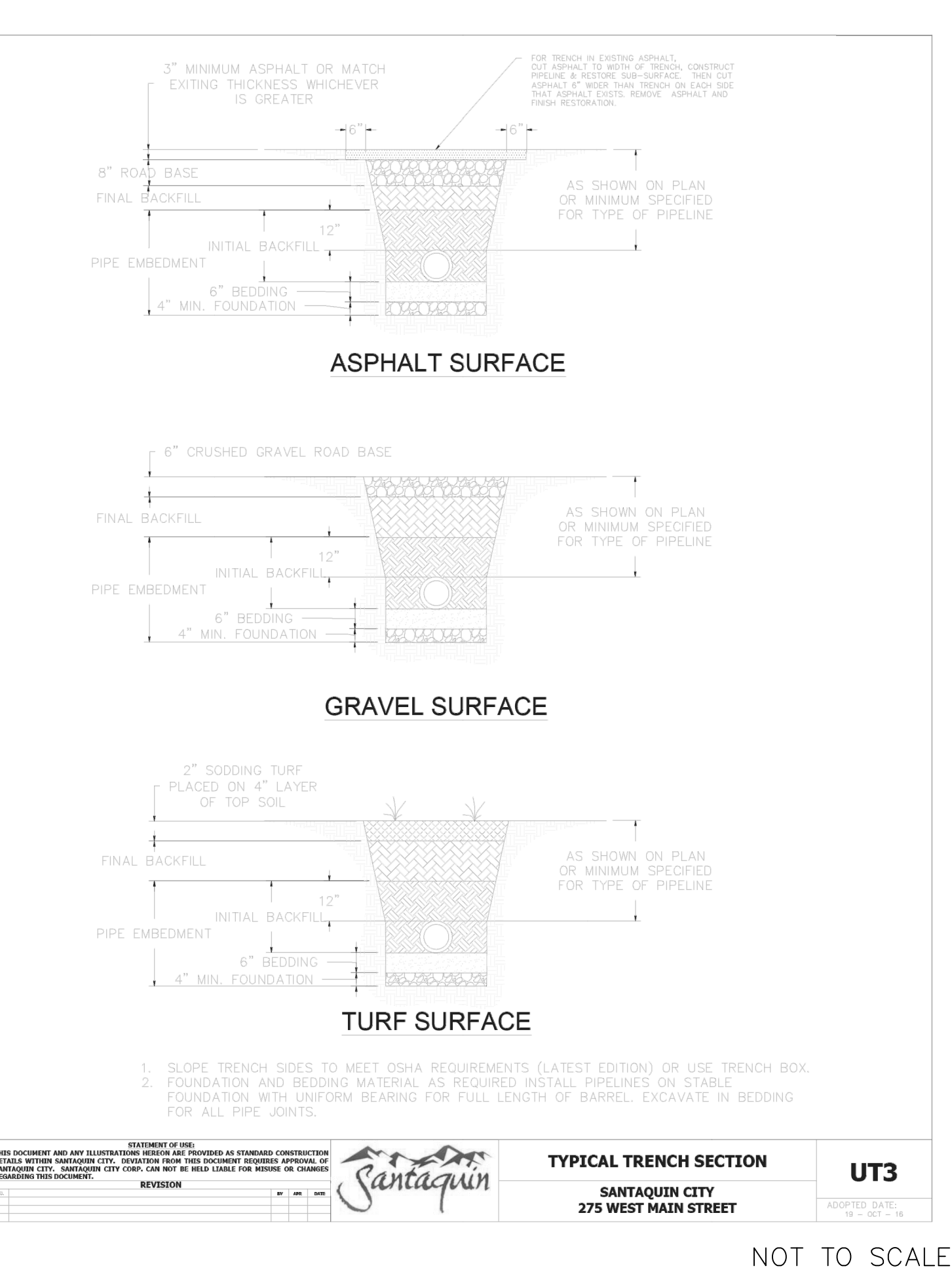
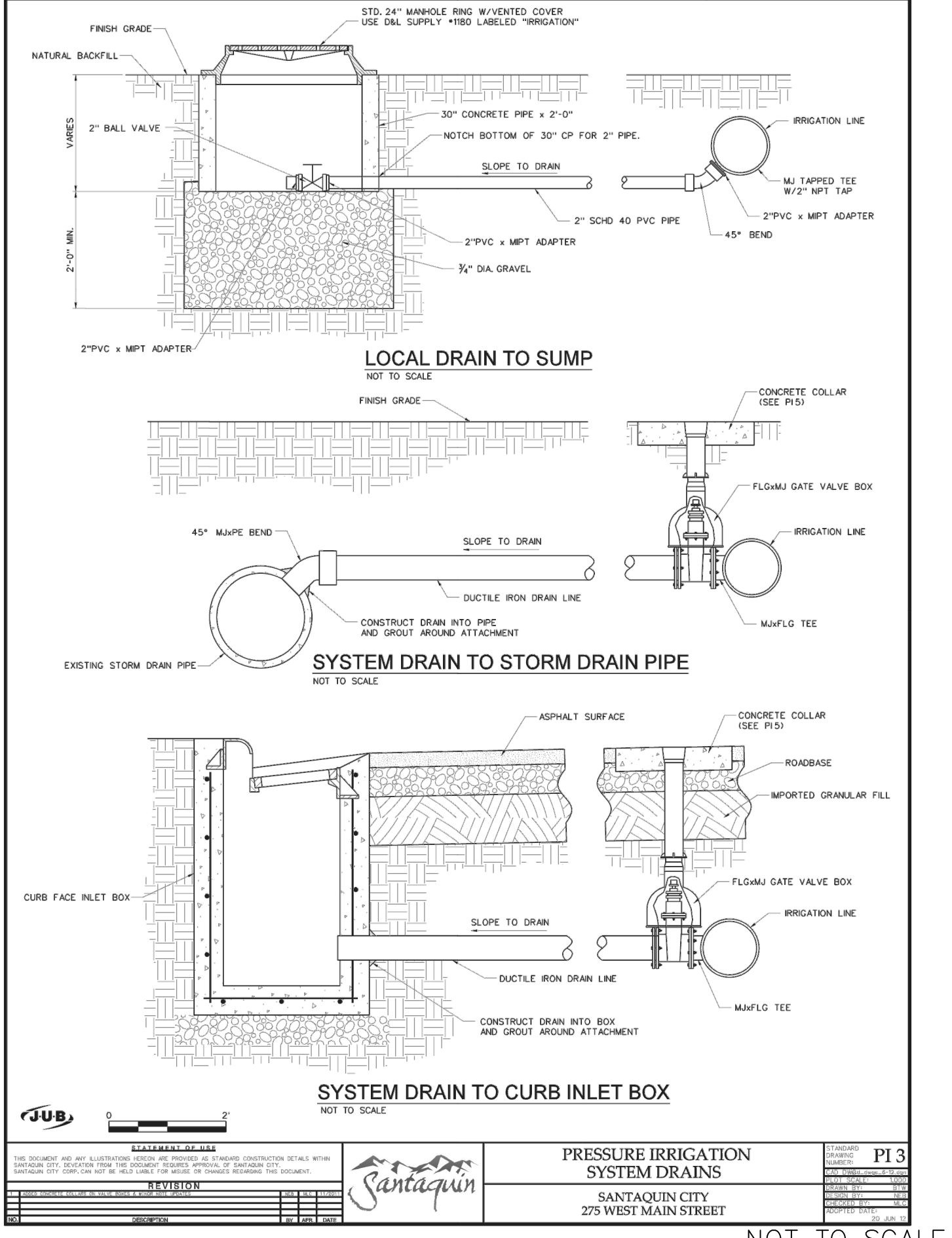
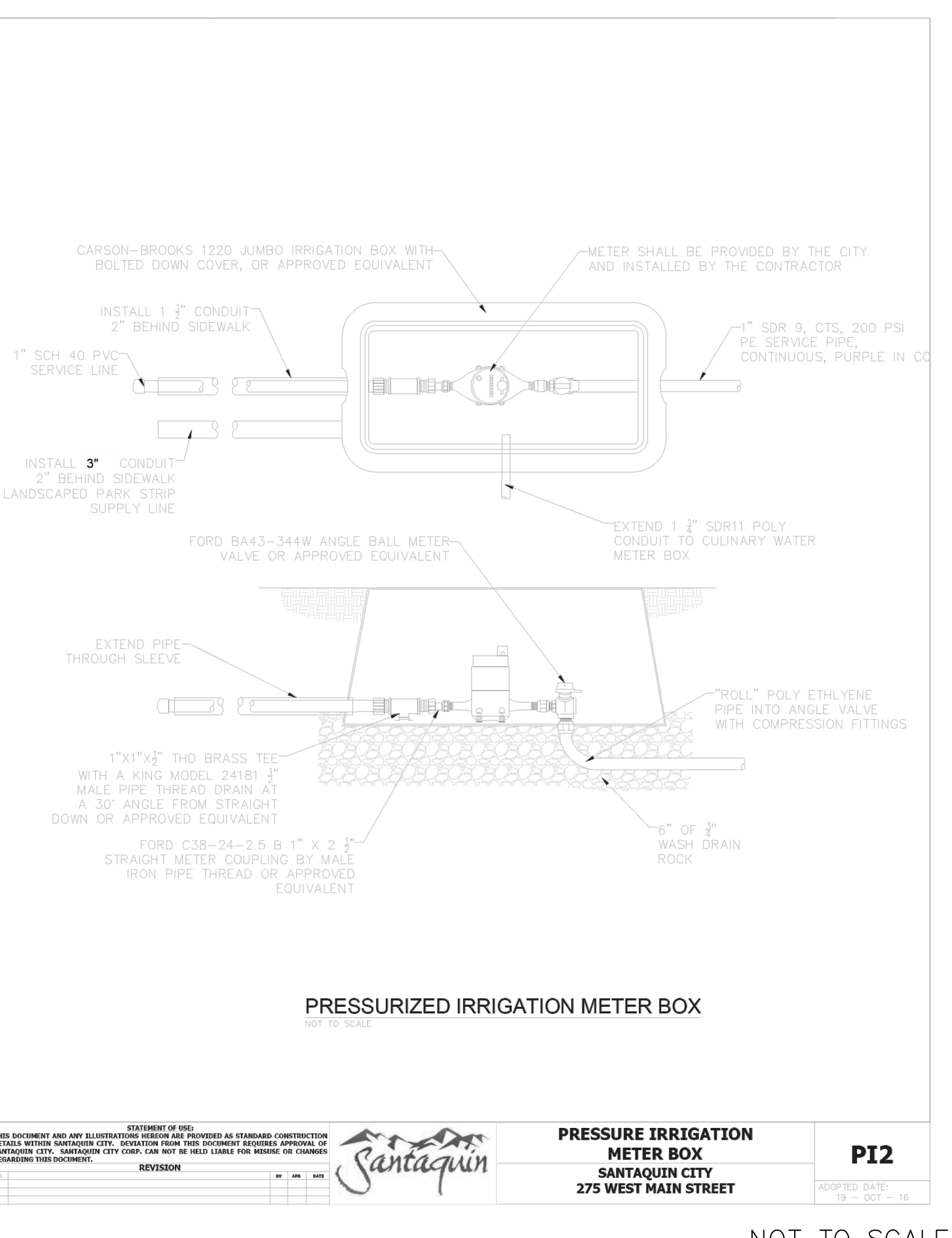
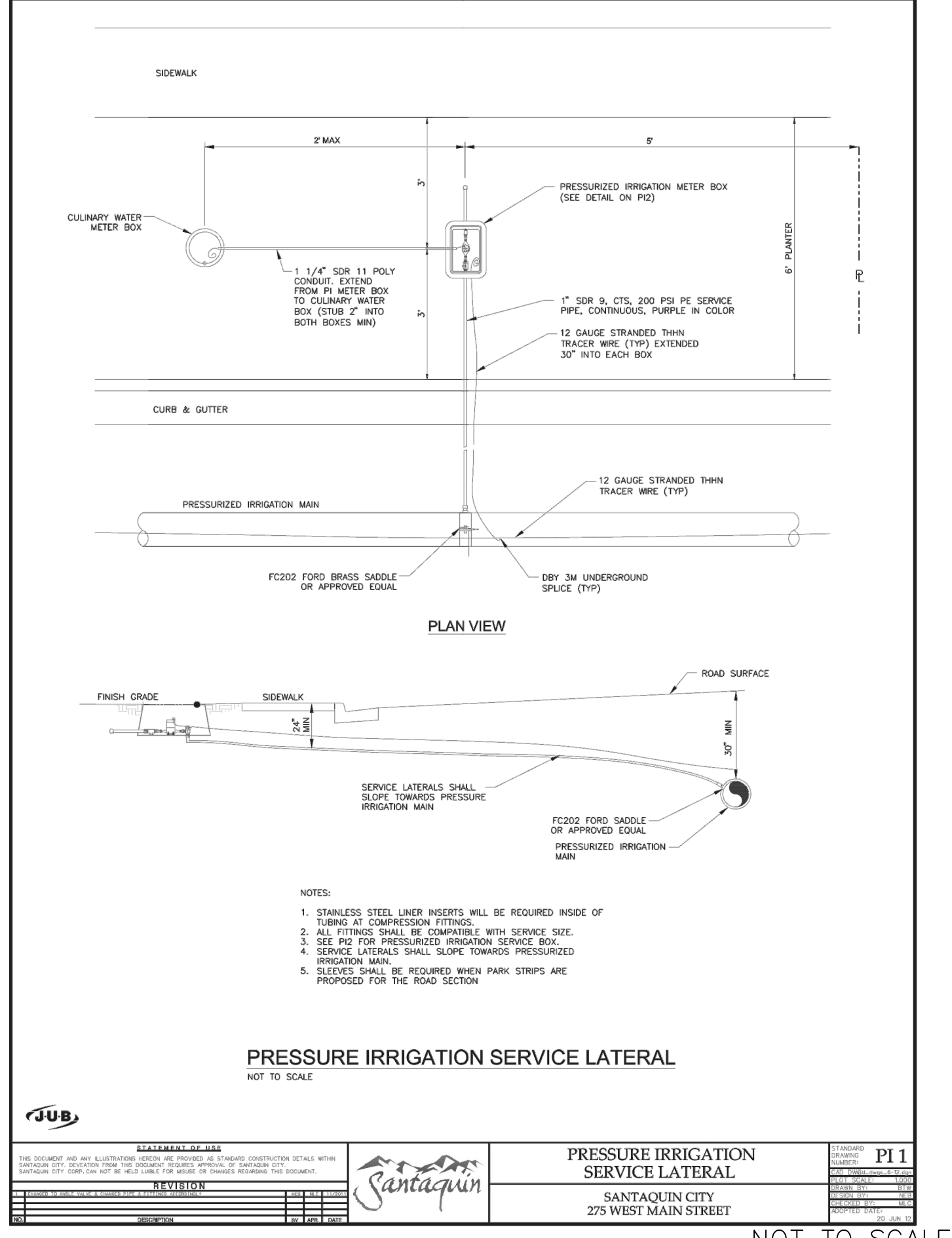
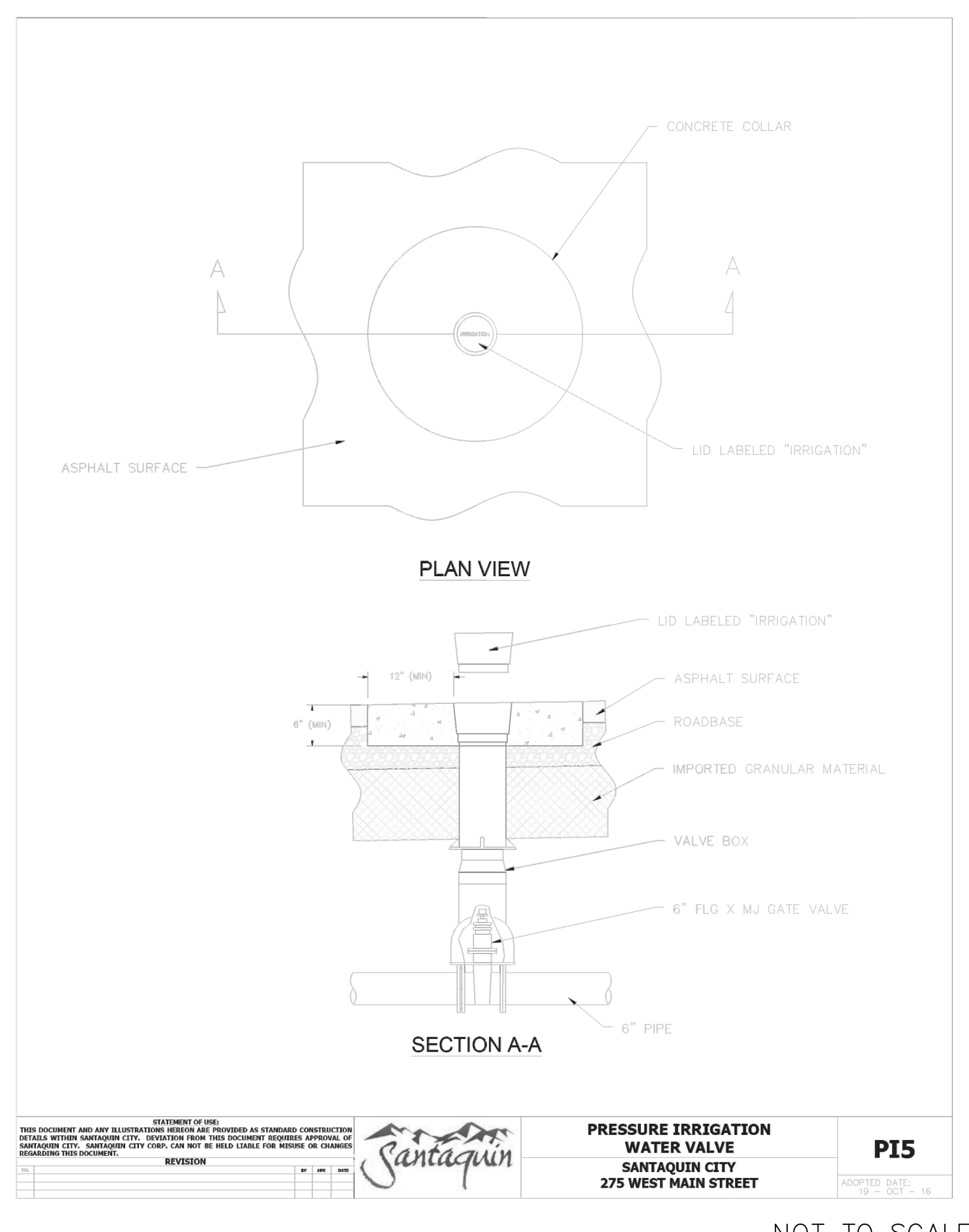
STRATTON MEADOW SUBDIVISION
STORM DETAIL

9-6-2023

SANTAQUIN CITY



SHEET NO. **D4**



NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE:	2-8-21
SURVEY BY:	GPW
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DESIGNED BY:	GPW
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SCALE:	N/A

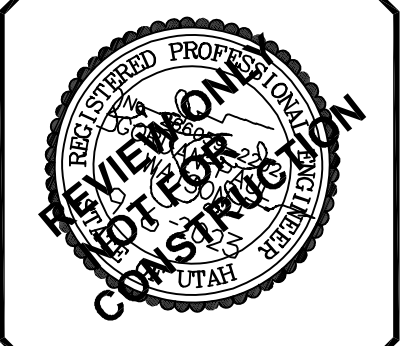
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**CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT**

STRATTON MEADOW SUBDIVISION
IRRIGATION WATER DETAILS

9-6-2023

SANTAQUIN CITY



SHEET NO. D5

Specifications

POST DESCRIPTION
The lighting post shall be all aluminum, one-piece construction, with a classic tapered and fluted base design. The shaft shall be 60° smooth.

MATERIALS
The base shall be heavy wall, cast aluminum produced from certified ASTM 356.1 ingot per ASTM B-179.05 or ASTM B246. The upright shaft shall be extruded from aluminum, ASTM 6061 alloy. All hardware shall be temper resistant stainless steel. Anchor bolts to be completely hot dip galvanized.

CONSTRUCTION
The shaft shall be double-vented to the base casting and shipped as one piece for maximum structural integrity. The shaft shall be circumferentially vented inside the base casting at the top of the access door, and externally where the shaft meets the base. All exposed vents below 8' shall be ground smooth. All welding shall be per ANSI/AWS D1.5:05. All welds shall be certified per Section 5 of ANSI/AWS D1.5:05.

DIMENSIONS
The post shall be 14'-0" in height with a 17" diameter base. The shaft diameter shall be 4". At the top of the post, a 60° x 3" tall fin with a transitional flange shall be provided for luminaire mounting.

INSTALLATION
The post shall install with four stainless steel L-type anchor bolts to be installed on a 12" diameter notched circle. A door shall be provided in the base for anchorage and wiring access. A grounding screw shall be provided inside the base opposite the door.

FINISH
The entire assembly shall have a standard Holographic "black" finish.

LUMINAIRE DESCRIPTION
- Ceramic Fluorescent LED
- 40W 215mA Driver, 4x CCT
- Auto-Dimming 120-277V
- Symmetric Type V, No Trim, Splice Free, Full Cover
- HEMA Textbook Photocell/Photocell
- DTL T-Walock Photocell For 5046-Style Lighting 120-277V
- 258 Thermal Lens
For complete specifications see LUM_GFD.

Anchorage Detail

DO NOT USE TO SET ANCHOR BOLTS
CONTACT CUSTOMER SERVICE FOR TEMPLATE

Catalog #s:
GFD4KAKASMBNSBFCVFB#P#C#L#25 - NYA1A65H1P07A#06BK

LOCAL AND COLLECTOR STREET LIGHTING DETAILS SANTAQUIN CITY 275 WEST MAIN STREET	L1 APPROVED DATE: 09-10-2023
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BREAK AWAY COUPLING DETAIL

NOT TO SCALE

ANCHOR BASE DETAIL

NOT TO SCALE

ANCHOR BASE & BREAK AWAY COUPLING SANTAQUIN CITY 275 WEST MAIN STREET	L4 APPROVED DATE: 09-10-2023
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MAPLE LN. 200 SOUTH STREETS WITH NAMES

LOCAL STREET/STOP SIGN DETAIL

NOT TO SCALE

TYPICAL LOCAL STREET/STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20'

LOCAL STREET/STOP SIGN DETAIL SANTAQUIN CITY 275 WEST MAIN STREET	ST7 APPROVED DATE: 09-10-2023
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OAK SUMMIT DR. 1250 EAST STREETS WITH NAMES

ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL

NOT TO SCALE

TYPICAL ARTERIAL & COLLECTOR STREET/STOP SIGN LOCATION PLAN VIEW

SCALE: 1"=20'

ARTERIAL & COLLECTOR STREET/STOP SIGN DETAIL SANTAQUIN CITY 275 WEST MAIN STREET	ST8 APPROVED DATE: 09-10-2023
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MAPLE LN. 200 SOUTH STREETS WITH NAMES

TYPICAL STREET SIGN INSTALLATION

NOT TO SCALE

TYPICAL STREET SIGN DETAIL (NO STOP SIGN)

NOT TO SCALE

TYPICAL STREET SIGN DETAIL (NO STOP SIGN) SANTAQUIN CITY 275 WEST MAIN STREET	ST9 APPROVED DATE: 09-10-2023
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NO.	DESCRIPTION	DATE	APPD.

ORIG. DATE: 2-8-21	SURVEY BY: GPW	DESIGNED BY: GPW	CHECKED BY: GPW

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**CIVIL ENGINEERING • CONSULTING • LAND PLANNING
CONSTRUCTION MANAGEMENT**

**STRATTON MEADOW
SUBDIVISION**
LIGHT AND SIGN DETAILS
PRINT DATE: 9-6-2023

SANTAQUIN CITY



DRC Members in Attendance: City Manager Norm Beagley, Senior Planner Ryan Harris, City Engineer Jon Lundell, Public Works Director Jason Callaway, Building Official Randy Spadafora, Police Officer Kayson Shepherd, Fire Chief Ryan Lind.

Others in Attendance: Recorder Amalie Ottley, John Caldwell, Kyle Spencer, Shawn Herring, Norm Avery and Ken Burg.

Engineer Lundell called the meeting to order at 10:00 a.m.

1. O'Reilly Auto Parts Site Plan

A site plan review for a proposed auto parts store located at approximately 479 W Main Street.

Representatives for the applicant attended the meeting via Zoom.

City Engineer Jon Lundell indicated that the applicant has received appropriate permits from UDOT for a second access at the site.

Building Official Randy Spadafora had no comments other than stating that the address was established at a previous meeting.

Fire Chief Ryan Lind had no comments.

Public Works Director Jason Callaway noted that there isn't a Pressurized Irrigation (PI) service connection to the property. He indicated that the PI service connection will need to be installed and connected to the line on 30 South. Director Callaway also noted that GIS shows sewer laterals on the property. He stated that those sewer laterals will need to be located and verified in the field.

Senior Planner Ryan Harris stated that a photometric plan needs to be included with the lighting plan that will detail what types of lights will be used at the location. He added that per Santaquin City Code the applicant's number of parking stalls at 38.25 needs to be rounded up to 39. Lastly, he indicated again per Santaquin City Code that as the commercial site neighbors a residential lot on the East side, that a fencing or privacy barrier will have to be installed. Plans for that barrier will need to be provided to the City for review.

Officer Kayson Shepherd inquired if a stop sign is needed on the site in and out of the private entrance as well as on Main Street. He asked that those stop signs be looked at more closely.

City Engineer Lundell stated that improvements to the plans for Main Street will need to match the plans considered in the Main Street Widening Project. Engineer Lundell and Chief Lind discussed the turning radius into the site. Chief Lind indicated that the proposed turning radius is sufficient for emergency vehicles. Engineer Lundell discussed with the applicant the requirement to install street improvements across the entire frontage of the property. City Manager Beagley clarified that the improvements on Main Street will have to be completed with the construction of the project. Engineer Lundell pointed out that there are two PI main pipelines on 30 South, one 10-inch line and one 4-inch line. He added that the applicant cannot connect to the 10-inch PI main line. Senior Planner Harris added that the area between the property and the park strip area on 500 West will need to be improved

and landscaped. As such, landscape plans will need to be submitted to the City by the applicant for the plans for that area. The applicant will also need to submit an irrigation plan.

City Manager Beagley made a motion to conditionally approve the O'Reilly's Auto Parts Site Plan pending all redlines being addressed. Public Works Director Callaway seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

2. Apple Hollow at The Orchards B Preliminary Plan

A preliminary review of a 9-lot and 84 townhome subdivision located at approximately 215 W. and Ginger Gold Road

The applicants, Kyle Spencer and John Caldwell, attended the meeting in person.

Building Official Randy Spadafora had no comments.

Fire Chief Lind pointed out that no fire hydrants were shown on the plans on Ginger Gold Road. He added that as there wasn't a legend on the plans notating symbols. It was difficult to delineate what all the symbols meant.

Public Works Director Callaway recommended that the applicant work closely with the City to make sure that work on Ginger Gold Road is done correctly. He noted that the CUP Utah Lake System (ULS) pipeline will go through that area and the applicant should be aware of the work being completed on that line.

Senior Planner Harris addressed the recent code update that changed the City's approval authority for the subdivision process from the City Council to the Planning Commission. He wanted to make sure the applicant was aware of those recent changes as an amenities detail was missing from the plans and would need to be submitted before the project could be scheduled for a Planning Commission meeting. He added that architectural renderings must be submitted for approval by the Architectural Review Committee for which a meeting will be set.

Officer Shepherd asked that notes for proposed traffic controls such as stop signs be provided.

Manager Beagley noted the Orchards development is under a current Development Agreement with the City, passed by Resolution 05-02-2023. He added that the applicant's amenities plan needs to match the 2023 Development Agreement amendment.

Engineer Lundell confirmed with the applicant that single family home lots will be on separate plats from the multi-unit plats. He added that garage sizes are required to be a minimum of 24x24 feet in order to count those garages as 2 parking stalls. Engineer Lundell also addressed various notes on the plats that will be provided to the applicant. He pointed out on the plans were streetlights need be relocated closer to intersections and parking areas.

Fire Chief Lind strongly recommended that a sidewalk be finished on the south side of the building to help with emergency calls.

Fire Chief Lind made a motion to conditionally approve the Apple Hollow at The Orchards B Preliminary Plan with the condition that all redlines be addressed before being scheduled for a Planning Commission Meeting. Building Official Spadafora seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

3. The Hills Plat G Final Plan

A final plan review for a one lot subdivision located at approximately 1544 S. and Sageberry Drive.

The applicant, Shawn Herring, attended the meeting in person.

Building Official Spadafora stated that addressing is complete.

Fire Chief Lind had no comments.

Public Works Director Callaway had no comments.

Planner Harris pointed out that the setback showing on the detail sheet is different than what is showing on the plat. He asked that the detail sheet and the plat notes match and both meet City Code setback standards.

Engineer Lundell clarified with the applicant that the 40-foot easement on the back of the property is for the slope and grading associated with the site. Manager Beagley added that the aforementioned easement would have to be recorded on the plat.

Officer Shepherd and Engineer Lundell discussed where at the site it would be most appropriate to place stop signs.

Engineer Lundell noted that any future use or future building on the site would be a separate site plan application that would have to be submitted to the City. He added that the previously named “Cyprus Point Drive” had been renamed “Sageberry Drive” and notes should be reflected as such moving forward. Engineer Lundell pointed out that the roadway will need to be constructed from the curb on the northside of the site and road improvements completed on the south side. The sidewalk will not need to be constructed on the north side of Mountain View Drive as that improvement will fall under future development. Engineer Lundell added that sewer lines will need to be connected to the west end of the property and the plans will need to show how existing utilities will be/are stubbed to the lot. He asked that a grading plan be provided for the totality of the subdivision as the site reflects today.

Manager Beagley made a motion to conditionally approve The Hills Plat G Final Plan with the condition that all redlines be addressed. Fire Chief Lind seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

4. Citadel Santaquin Storage Units Subdivision Preliminary/Site Plan

A preliminary review of a 2-lot subdivision and site plan located at approximately 120 E. 610 S.

The applicant, Norm Avery, attended the meeting in person.

Members of the DRC clarified that before there can be site plan approval for the application, the corrected subdivision must be recorded. Future meetings will need to reflect the separate action items for the site.

Building Official Spadafora inquired if the setback behind the existing home is being met. Planner Harris indicated that the setback needs to be met at 25-feet, for which measurements are not currently addressed on the plans.

Fire Chief Lundell pointed out that all fire hydrants and turning radii for emergency vehicles need to be provided with a traffic access and circulation plan.

Public Works Director Callaway stated that Summit Creek Irrigation Company has multiple conveyance lines and structures in the area. He encouraged the applicant to communicate well with Summit Creek Irrigation Company moving forward to locate those lines. Engineer Lundell added the approval from Summit Creek Irrigation Company for the proposed site will need to be provided to the City.

Senior Planner Harris reviewed the subdivision and preliminary site plan processes. He pointed out where setbacks need to be clarified on the plans and what, per City Code, those setbacks will be. He added that any proposed fencing will need to be detailed in the plans.

Manager Beagley discussed where right-of-way dedication to the City will need to be prepared and cleaned up after the last application for the property had lapsed.

Engineer Lundell addressed where the realignment project of Highland Drive and improvements have been completed by the City associated with the first splitting of the parcels. He stated that the City required reimbursement for the improvements that were made for that City project. Engineer Lundell inquired if there was an existing easement for public utilities. The applicant indicated that there is an easement in place. Engineer Lundell stated that the easement needs to be shown on the plans. Engineer Lundell discussed where the public right-of-way exists on City property and where plans need to be adjusted near private property. Engineer Lundell also discussed the maximum roadway width recently adopted by State Code being 32-feet as opposed to the previously required 40-feet. The roadway cross section would have to be 32-feet of asphalt, curb, gutter, 6-foot planter strip, and 5-foot sidewalk or trail. Senior Planner Harris pointed out that by adjusting the road size, setbacks may be more easily met. Engineer Lundell and Chief Lind discussed with the applicant the need to install an appropriately sized fire riser at the project. Because of existing pipelines at the site, Engineer Lundell encouraged the applicant to adjust the alignment of the PI and culinary lines and to avoid crossing them as currently shown. Engineer Lundell addressed where storm drain infiltration galleries need to be placed away from the roadway, adding that a storm drain report needs to be submitted that will include underground retention basins. Manager Beagley discussed with the applicant how to bring in fill for the site and testing will need to be considered. Senior Planner Harris added that a landscaping plan will need to be provided for the area being dedicated to the City. Engineer Lundell pointed out where water has run historically on the property and asked that the applicant make sure that any runoff is also taken into consideration/addressed. Engineer Lundell encouraged the applicant to make sure there are not dark spots on the photometric lighting plan for the site.

Manager Beagley made a motion to table both the subdivision and site plan for the Citadel Storage Units. Building Official Spadafora seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

5. Grey Cliffs Plat A Final Plan

A final plan review for the Grey Cliffs Subdivision Plat A located east of State Road 198 and approximately 1082 E. Grey Cliffs Drive.

The applicant, Ken Burg, attended the meeting in person.

Building Official Spadafora stated that some clean up was done to complete addressing for the site.

Fire Chief Lind asked that the applicant make sure the temporary turnarounds/bulb-outs will sufficiently hold the weight of emergency vehicles.

Public Works Director Callaway inquired how the water line will line up with the commercial portion of the site. The applicant discussed that the proposed water line placement will help with future pressure zones.

Senior Planner Harris indicated that irrigation plans must be submitted for the proposed city park. Members of the DRC discussed where irrigation lines can tie into the existing system.

Officer Shepherd had no comments.

Engineer Lundell addressed the missing notes on the plat sheets such as bearings, call outs, and legal descriptions. Because the PI water lines shown on the utility sheet break the pressure zone, utility connections need to be shown for each lot, including commercial lots. Street and stop signs need to be clearly marked on the plans as well. Engineer Lundell indicated that an access permit is required to connect the lines and for roadway improvement along SR 198 as it's a UDOT facility. He added that storm drainage needs to reflect the correct retention and capacity for the area and to include all lots. Engineer Lundell discussed with the applicant the slope on the site at 0.33% matching with State requirements but stated the difficulties that the Public Works department faces with the lower sloping lines.

Public Works Director Callaway made a motion to conditionally approve the Grey Cliffs Plat A Final Plan on the condition that all redlines be addressed. Senior Planner Harris seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

6. Meeting Minutes Approval

Manager Beagley made a motion to approve the November 14, 2023 meeting minutes. Fire Chief Lind seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Fire Chief Ryan Lind	Yes

City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

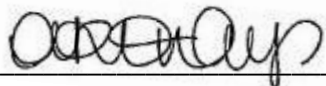
The motion passed unanimously.

Adjournment

Fire Chief Lind made a motion to adjourn.

The meeting was adjourned at 11:35 a.m.

Jon Lundell, City Engineer



Amalie R. Ottley, City Recorder

DRAFT