



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, February 08, 2022, at 10:00 AM  
Court Room/Council Chambers (2nd Floor) and Online

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- **YouTube Live** – Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. Santaquin Estates Final Plat Review**

A final review for a proposed 78-lot subdivision (77 residential, 1 commercial) located at approximately Main Street and 900 East. This subdivision is proposed to be done in one phase.

**2. Traffic Control Device Request**

The DRC will review a request for a traffic control device to help with speed control at approximately 300 West and 550 S.

### MEETING MINUTES APPROVAL

- 3.** January 11, 2022

### AJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on [www.santaquin.org](http://www.santaquin.org), as well as posted on the State of Utah's Public Notice Website.

BY:

K. Aaron Shirley, City Recorder

# SANTAQUIN ESTATES CONSTRUCTION PLANS SANTAQUIN, UTAH

prepared for:  
**FLAGSHIP HOMES**  
170 SOUTH INTERSTATE PLAZA SUITE 250  
LEHI, UT 84043  
PHONE: (801)766-2592

prepared by:  
**TRANE ENGINEERING**  
27 EAST MAIN STREET  
LEHI, UT 84043  
PHONE: (801) 768-4544

### GENERAL NOTES:

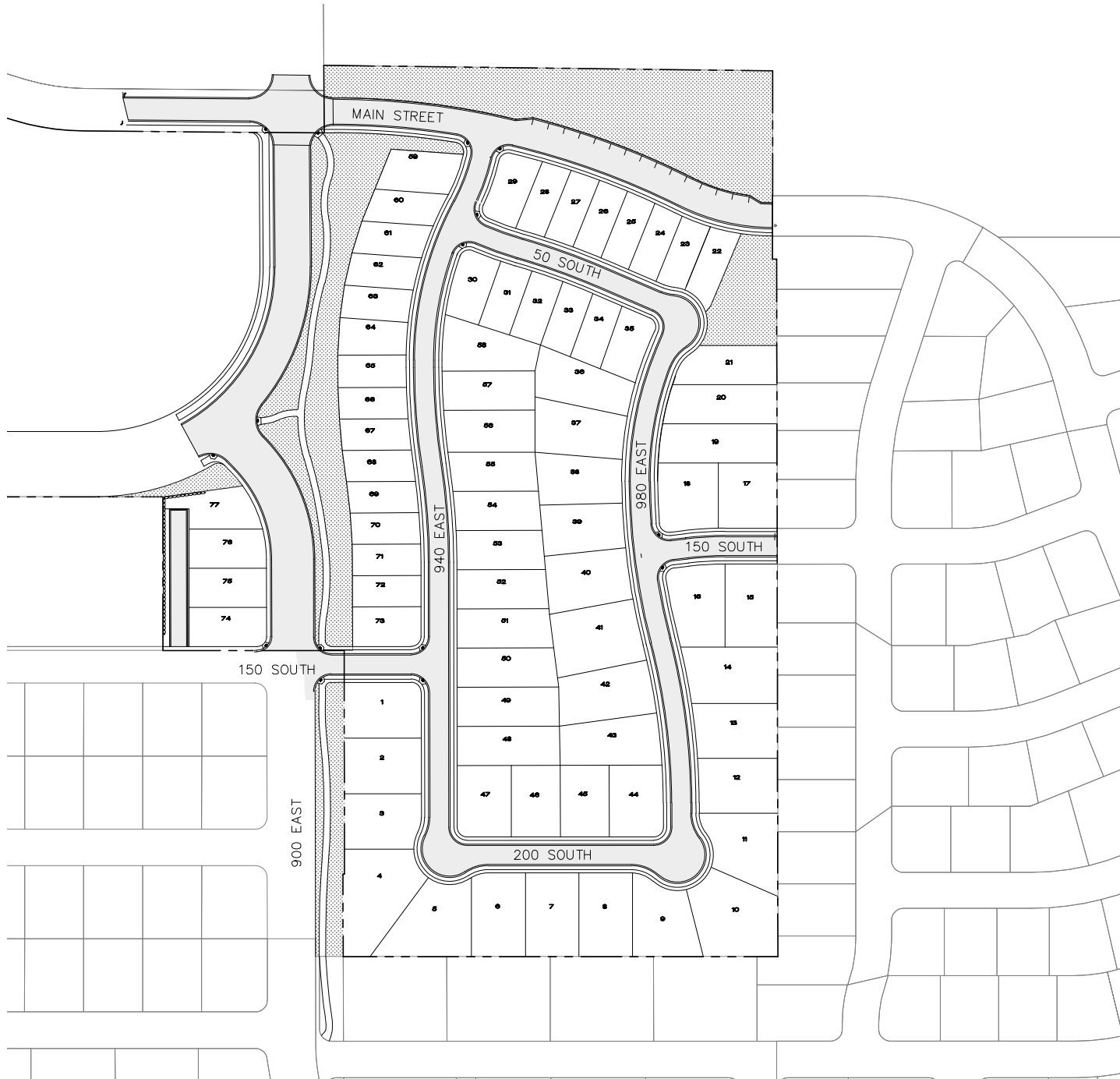
- General Construction Notes:
- All culinary mainline piping shall be placed with a minimum of 4'-0" cover over the top of the pipe. PI mainline is a minimum of 24" of cover over the top of the pipe. Gas lines must meet Dominion Energy's bury requirements.
  - All new culinary water and pressurized irrigation main line pipe shall be PVC C900 DR 18 class 150 unless otherwise approved by the city.
  - Minimum of 8" in diameter culinary water and 6" in diameter pressurized irrigation for new main line pipes.
  - A minimum of 50 PSI static pressure shall be required at all points in the culinary water system within the boundaries of all new subdivisions.
  - Culinary water service meter boxes shall be located within the 6' planter strip. Meters shall be located only in landscaped areas.
  - The minimum required fire flow at the fire hydrant locations shall be 1500 GPM.
  - When required, pressure reducing valve vaults (PRV) shall be located as directed by the City or City Engineer. The City or City Engineer shall provide the contractor with the appropriate downstream pressure setting.
  - Fire hydrants shall be located at all intersections. The maximum spacing between fire hydrants shall not exceed 500' measured along a public right-of-way.
  - Only City personnel shall open and close city water valves, unless otherwise approved in writing by the City.
  - All water samples for culinary water testing shall be collected and delivered by City personnel. The contractor shall pay for the testing expense.
  - Tapping into water lines shall not be allowed in groundwater or mud.
  - All culinary water mainline valves must be attached to the fixture within the intersection and pressurized irrigation mainline valves shall be located in line with corner lot property lines.
  - All mainline sewer piping sizes 8" to 15" shall be PVC and shall be supplied in lengths no longer than 13'. Main line pipe sizes 18" and larger shall be reinforced concrete pipe.
  - All sewer service laterals taps on existing lines shall be "insert-a-tee-type" connections.
  - The contractor shall provide, install, and maintain all road construction, barricades, channeling devices, and construction signs in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) for road construction activities.
  - Traffic access shall be maintained for local residents to properties along construction boundaries.
  - Work performed with the State Highway rights-of-way shall conform to State of Utah specifications for excavation on State Highway prepared by the Department of Transportation.
  - All debris resulting from work on the project shall be disposed of by the contractor. The contractor shall make appropriate arrangements for disposal sites at which debris may be lawfully disposed.
  - No open burning of construction debris shall be allowed.
  - The contractor shall provide mailboxes and posts according to US Postal Service standards and shall place them in the planter strips at locations designated by USPS and the City.

### NOTE

- The developer and the general contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the developer or general contractor from the full compliance with all minimum state and Santaquin City codes, ordinances and standards.
- All recommendations made in a pertinent geotechnical report/study shall be followed explicitly during construction of building and site improvements

### BENCHMARK

EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 9S, RANGE 2E  
ELEVATION = 4577.63

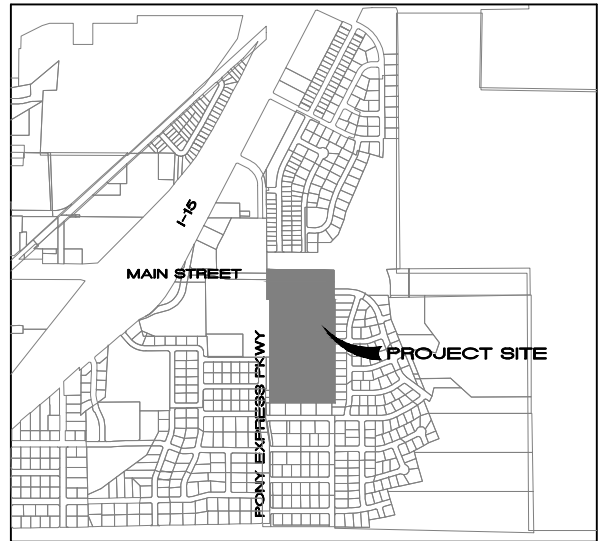


### SHEET INDEX

SHEET NO. SHEET NAME

1	COVER SHEET
2	UTILITY PLAN
3	GRADING & DRAINAGE PLAN
4	PP MAIN STREET
5	PP 900 EAST
6	PP 940 EAST
7	PP 980 EAST
8	PP 50 SOUTH & 200 SOUTH
9	PP 150 SOUTH
PLAT	PRELIMINARY PLAT

LAND USE:	
PLAT "A" =	30.86 ACRES
ZONING=	C-1, R-10 (PUD)
TOTAL LOTS=	77 LOTS
ACREAGE IN LOTS=	15.15 ACRES
ACREAGE IN ROW=	8.11 ACRES
OPEN SPACE DEDICATION=	3.50 ACRES
ACREAGE COMMERCIAL=	5.42 ACRES
DENSITY OVERALL =	2.43 LOTS/ACRE



VICINITY MAP



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
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4			

J:\FLAGSHIP\HARMONY\dwg\01\_COVER.dwg

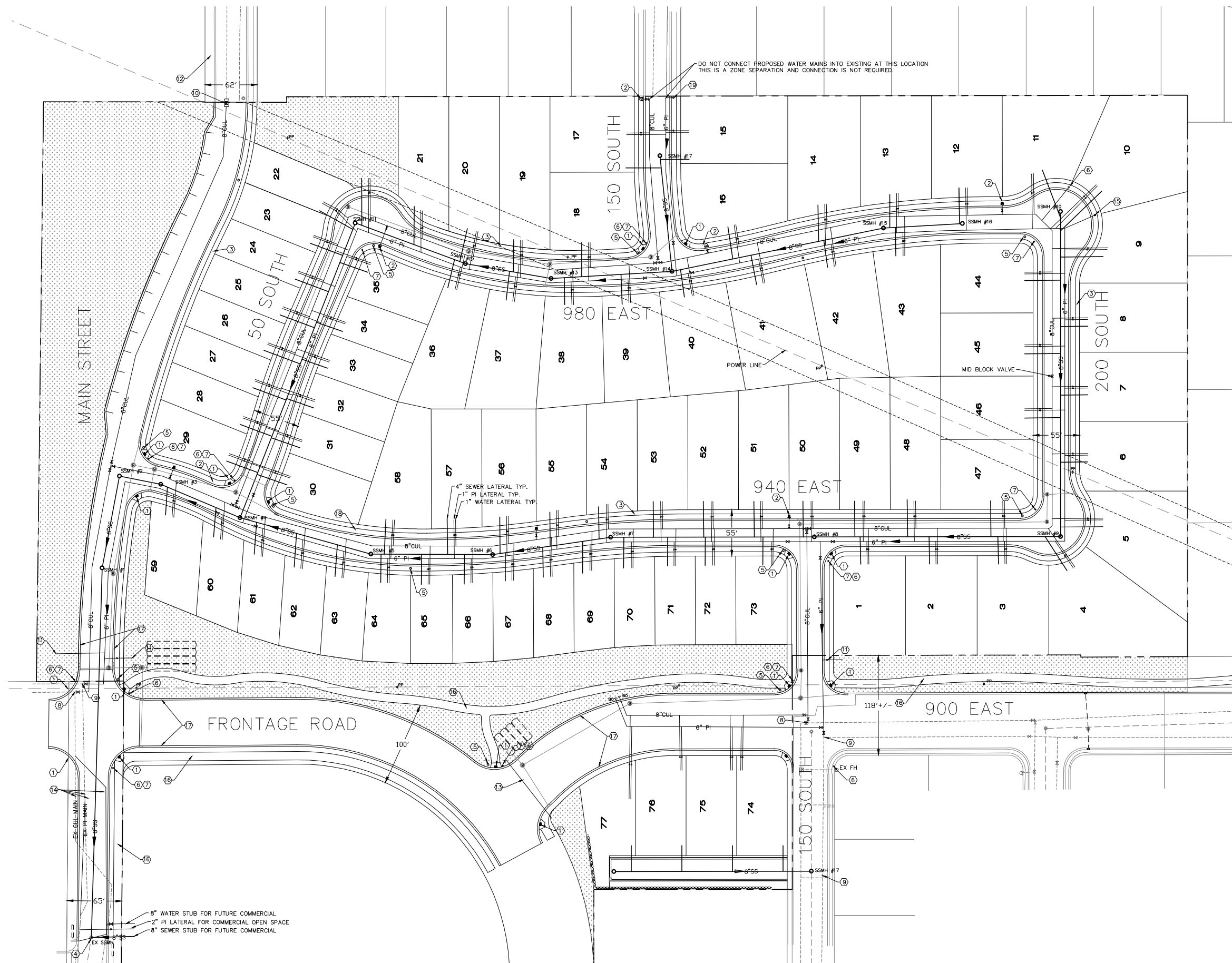
**TRANE ENGINEERING, P.C.**  
**CONSULTING ENGINEERS AND LAND SURVEYORS**  
**27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544**

SANTAQUIN, UTAH

**SANTAQUIN ESTATES**  
**A RESIDENTIAL SUBDIVISION**

COVER SHEET

JOB  
FS HARMONY  
SHEET  
**2**

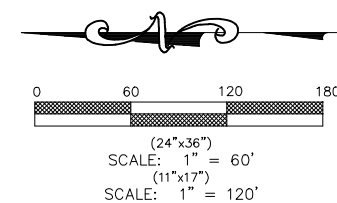


## KEYED NOTES

1. CONSTRUCT ADA RAMP AS PER SANTAQUIN CITY STANDARDS
2. INSTALL FIRE HYDRANT AS PER SANTAQUIN CITY STANDARDS
3. CONSTRUCT 5' CONCRETE SIDEWALK
4. CONNECT INTO EXISTING SEWER, CONTRACTOR TO VERIFY SIZE, INVERT ELEVATION AND LOCATION.
5. INSTALL STREETLIGHTS PER SANTAQUIN CITY STANDARDS
6. STOP SIGN AS PER SANTAQUIN CITY STANDARDS
7. STREET SIGN AS PER SANTAQUIN CITY STANDARDS
8. CONNECT INTO EXISTING CULINARY LINE WITH CONSTRUCTION VALVE
9. CONNECT INTO EXISTING PRESSURE IRRIGATION LINE WITH CONSTRUCTION VALVE
10. INSTALL PRV ON CULINARY LINE FOR ZONE SEPARATION AS PER SANTAQUIN CITY STANDARDS.
11. 2" PI LATERAL FOR OPEN SPACE
12. COORDINATE SIGNAGE FOR WARNING OF ON STREET PARKING.
13. IRRIGATION CONDUIT TO PROVIDE IRRIGATION TO ADJACENT OPEN SPACE
14. EXISTING WATER MAINS ARE ANTICIPATED TO BE LOWERED, CONTRACTOR TO POTHOLE WATER LINES AND COORDINATE WITH ENGINEER AND CITY FOR WHICH PORTIONS ARE TO BE LOWERED.
15. INSTALL AIR RELIEF VALVE ON PRESSURE IRRIGATION MAIN AT HIGH POINT.
16. 10' ASPHALT TRAIL
17. PAINT CURB RED ALONG 900 EAST FROM 150 SOUTH TO THE FRONTAGE ROAD AND MAIN STREET 300' EACH DIRECTION FROM THE FRONTAGE ROAD.
18. COORDINATE WITH USPS AND CITY FOR MAILBOX LOCATION. PROVIDE APPROVAL LETTER FROM USPS.
19. INSTALL AIR VAC AT END OF PI MAIN

## UTILITY NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
2. ALL ADA REQUIREMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
3. CULINARY WATER - 48" MIN. DEPTH TO TOP OF PIPE C900 PVC.
4. PRESSURE IRRIGATION 24" MIN. DEPTH TO TOP OF PIPE C900 PVC.
5. SEWER 8" SDR-35 PVC PIPE WITH MANHOLES AS NOTED.
6. WATER TEES, ELBOWS, PIPE BEDDING AND TRENCHES SHALL BE INSTALLED AS PER SANTAQUIN CITY STANDARDS.
7. ALL CULINARY VALVES ARE TO BE FLANGED TO THE TEE.



REVISIONS				
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1	2/22/21	RED LINES	TT	DRAWN BY: TT
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3				DATE: 2/1/22
4				CGDG FILE:

***TRANE ENGINEERING, P.C.***  
***CONSULTING ENGINEERS AND LAND SURVEYORS***  
***27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544***

SANTAQUIN, UTAH

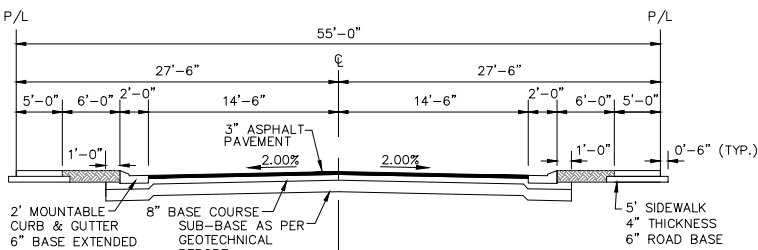
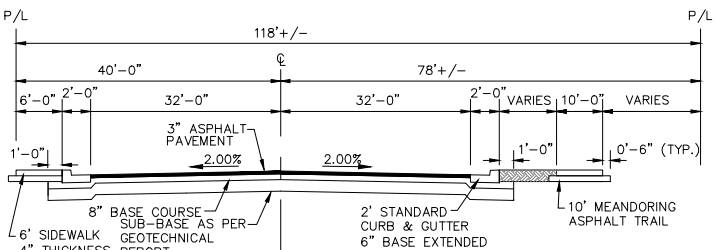
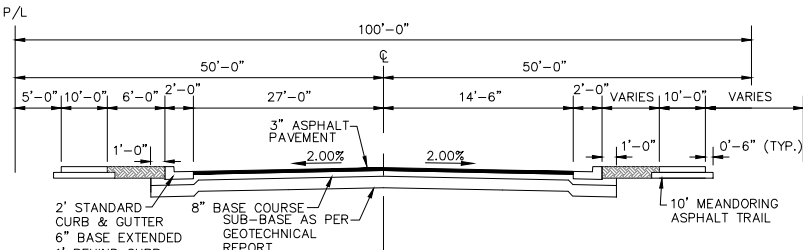
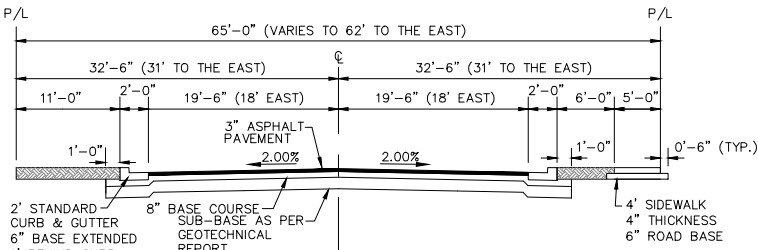
*SANTAQUIN ESTATES*  
*A RESIDENTIAL SUBDIVISION*

UTILITY PLAN

JOB  
FS H6  
SHEET 3

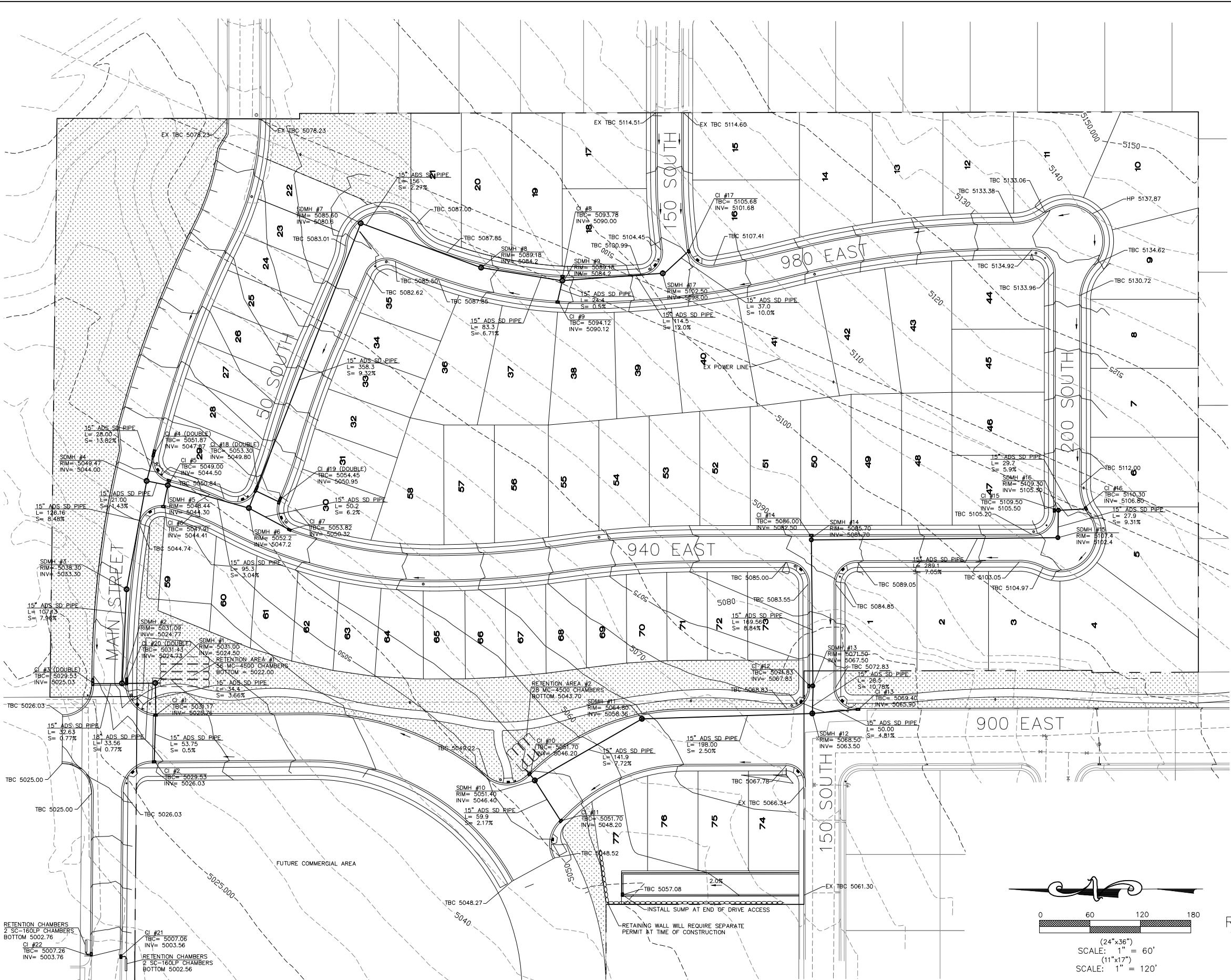
GENERAL NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO MEET ALL ADA REQUIREMENTS FOR THE SITE.
3. DRAINAGE FOR EACH LOT IS TO BE DIRECTED TO THE STREET. IF LOT GRADING DOES NOT ALLOW THE DRAINAGE TO FLOW TO THE STREET THEN THE PROPERTY OWNER IS RESPONSIBLE TO RETAIN RUNOFF ON OWN LOT.
4. RETENTION AREAS 1 AND 2 TO INCLUDE MC-4500 STORMTECH CHAMBERS OR EQUIVALENT OPEN VOLUME BASED ON PERCOLATION RATES AT THOSE LOCATIONS.



RETENTION AREAS

1. CONTRACTOR TO COORDINATE WITH ENGINEER ONCE SITE PREP WORK IS COMPLETE AT RETENTION AREAS TO VERIFY PERCOLATION RATES PRIOR TO INSTALLATION OF STORMTECH OR EQUIVALENT SYSTEM.



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27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

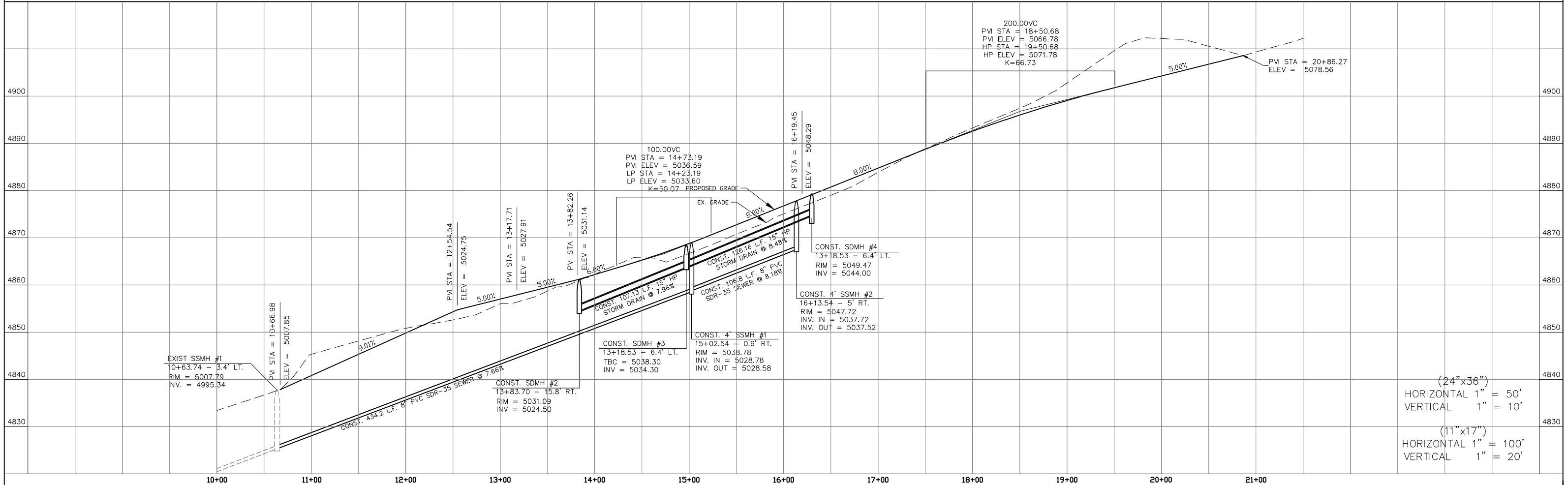
SANTAQUIN, UTAH

**SANTAQUIN ESTATES**  
A RESIDENTIAL SUBDIVISION

GRADING/DRAINAGE

JOB  
FS HARMONY  
SHEET  
4





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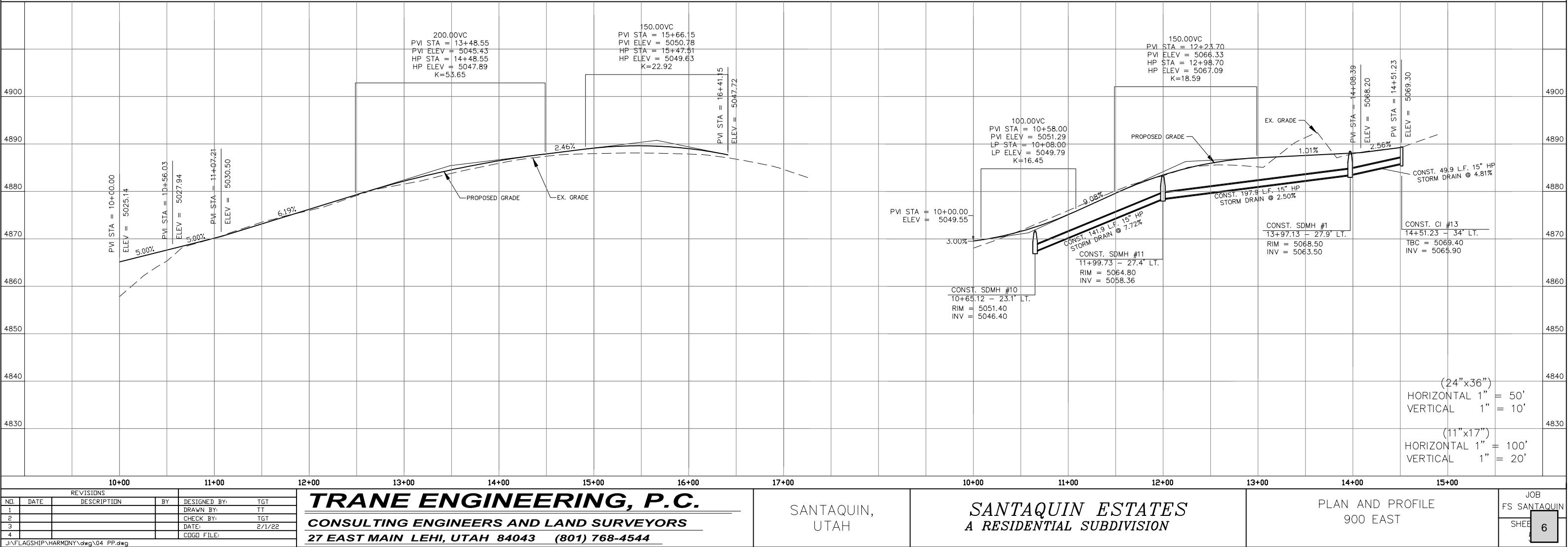
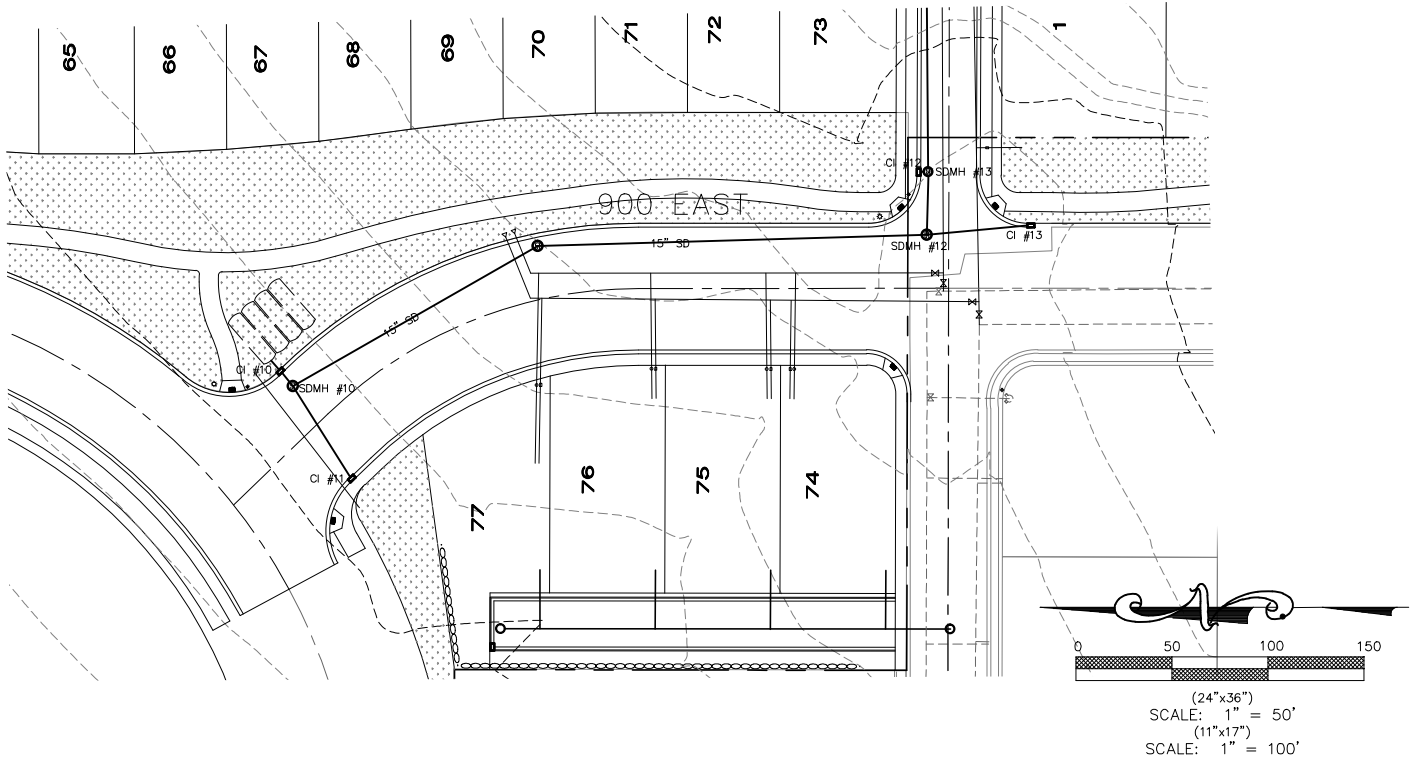
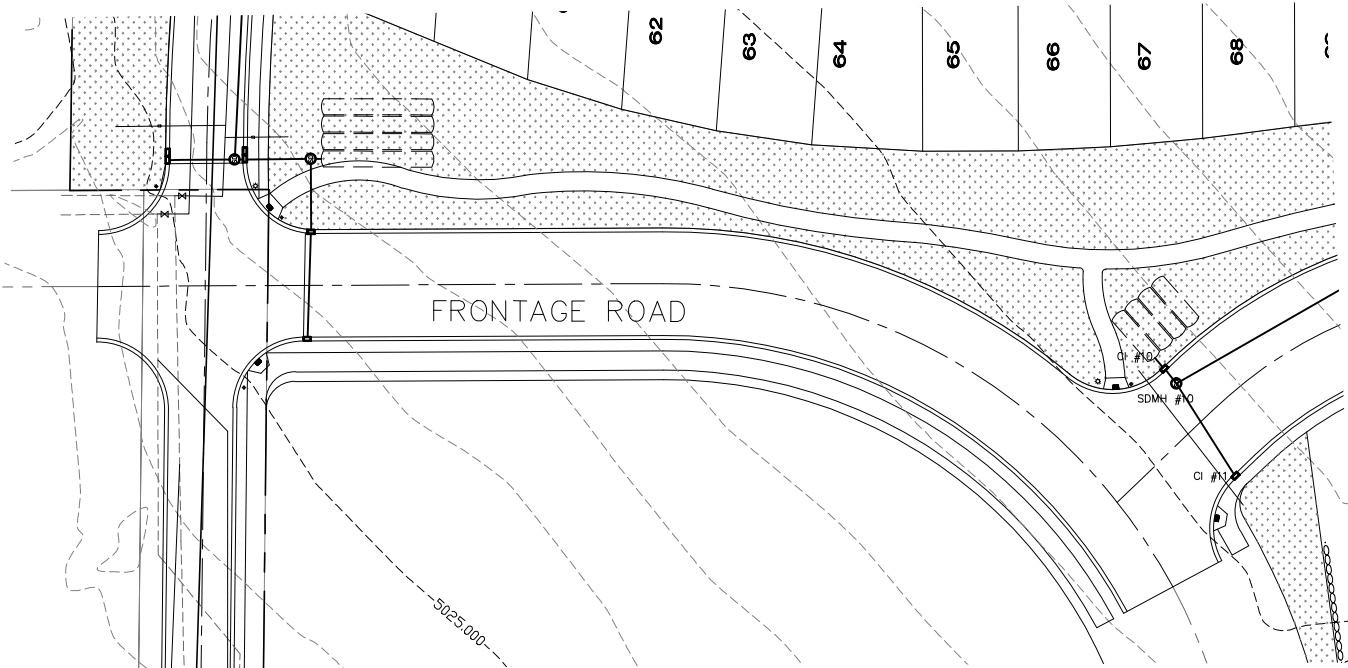
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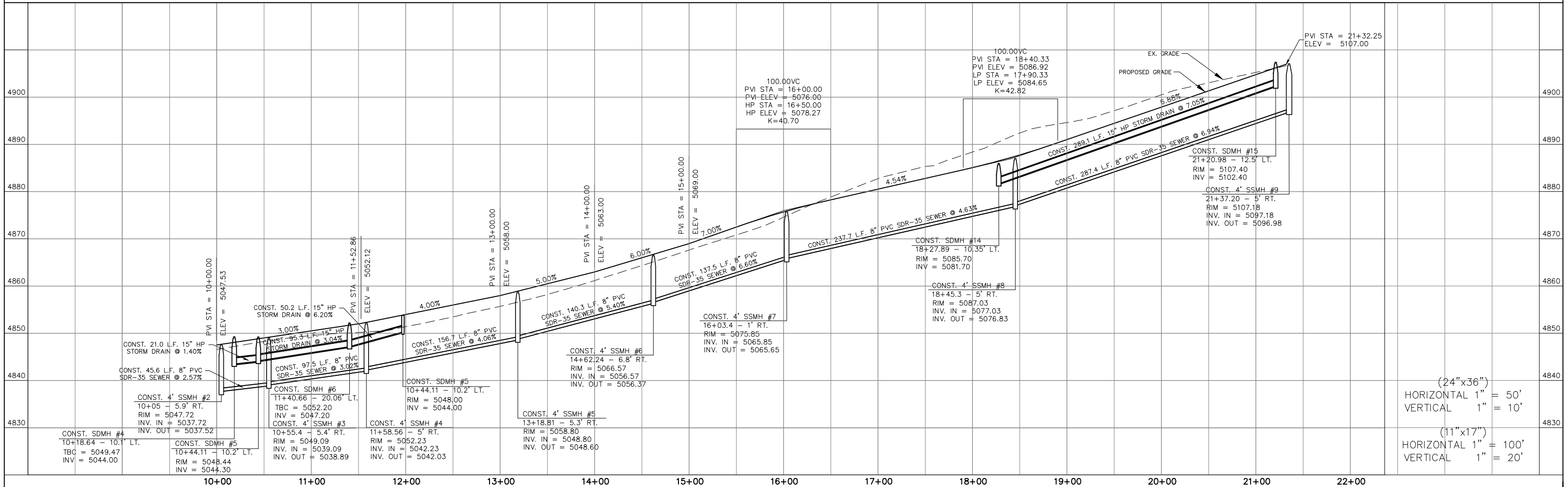
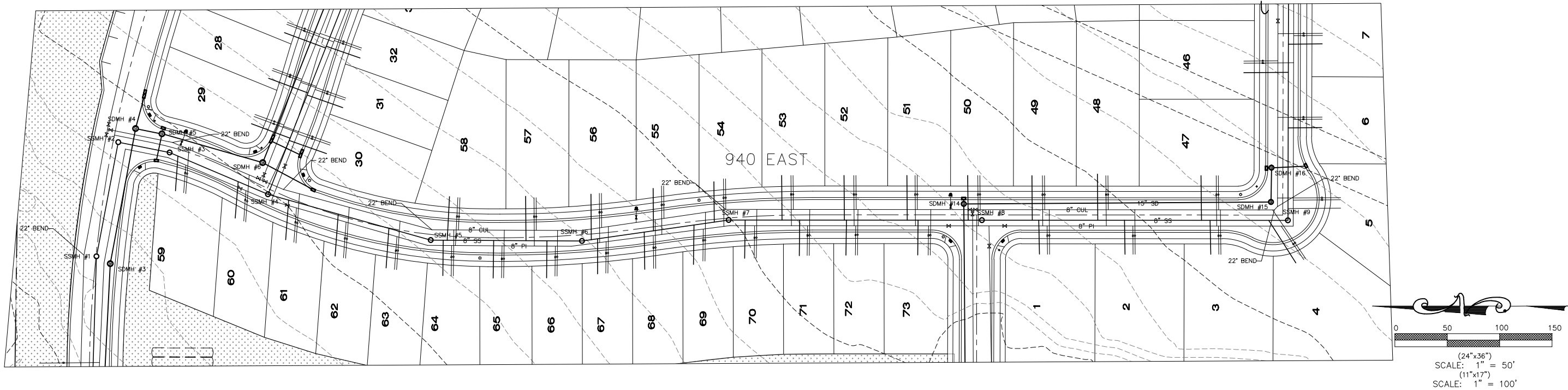
SANTAQUIN,  
UTAH

**SANTAQUIN ESTATES**  
**A RESIDENTIAL SUBDIVISION**

PLAN AND PROFILE  
MAIN STREET

JOB  
FS H10  
SHEET  
**5**





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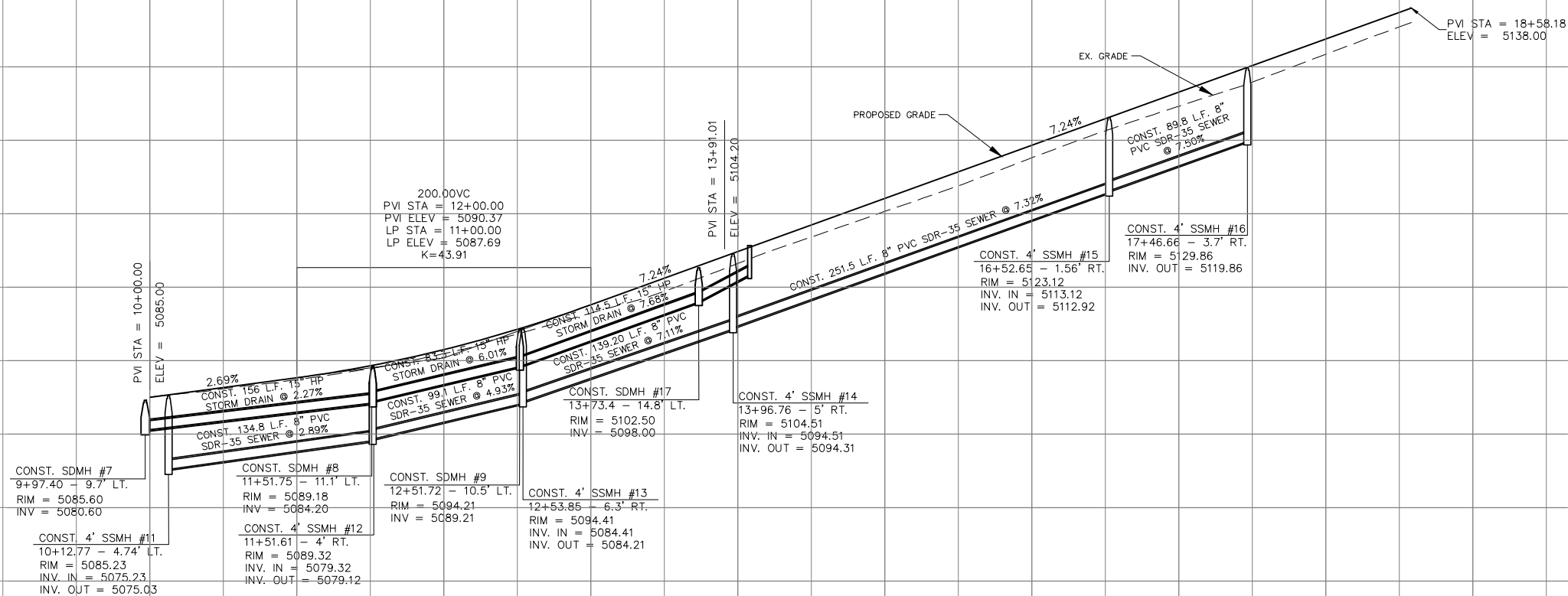
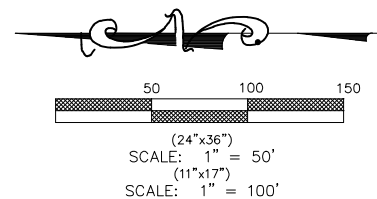
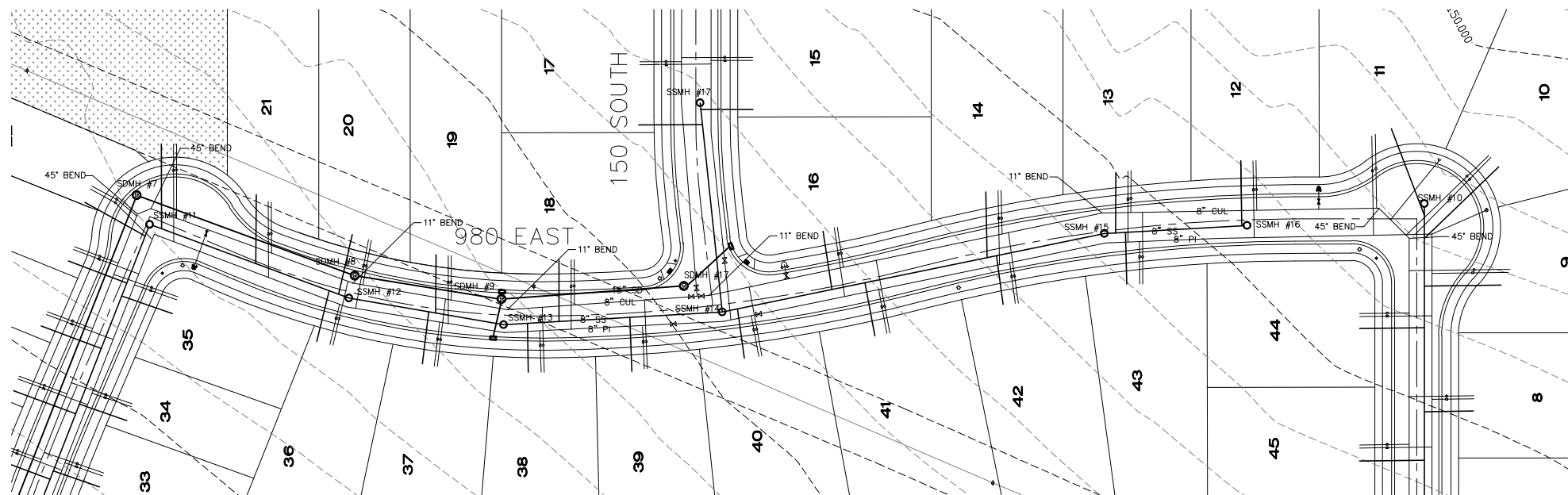
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**27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544**

SANTAQUIN,  
UTAH

**SANTAQUIN ESTATES**  
**A RESIDENTIAL SUBDIVISION**

PLAN AND PROFILE  
940 EAST

JOB  
FS SANTAQUIN  
SHEET  
**7**



(24"x36")  
HORIZONTAL 1" = 50'  
VERTICAL 1" = 10'  
(11"x17")  
HORIZONTAL 1" = 100'  
VERTICAL 1" = 20'

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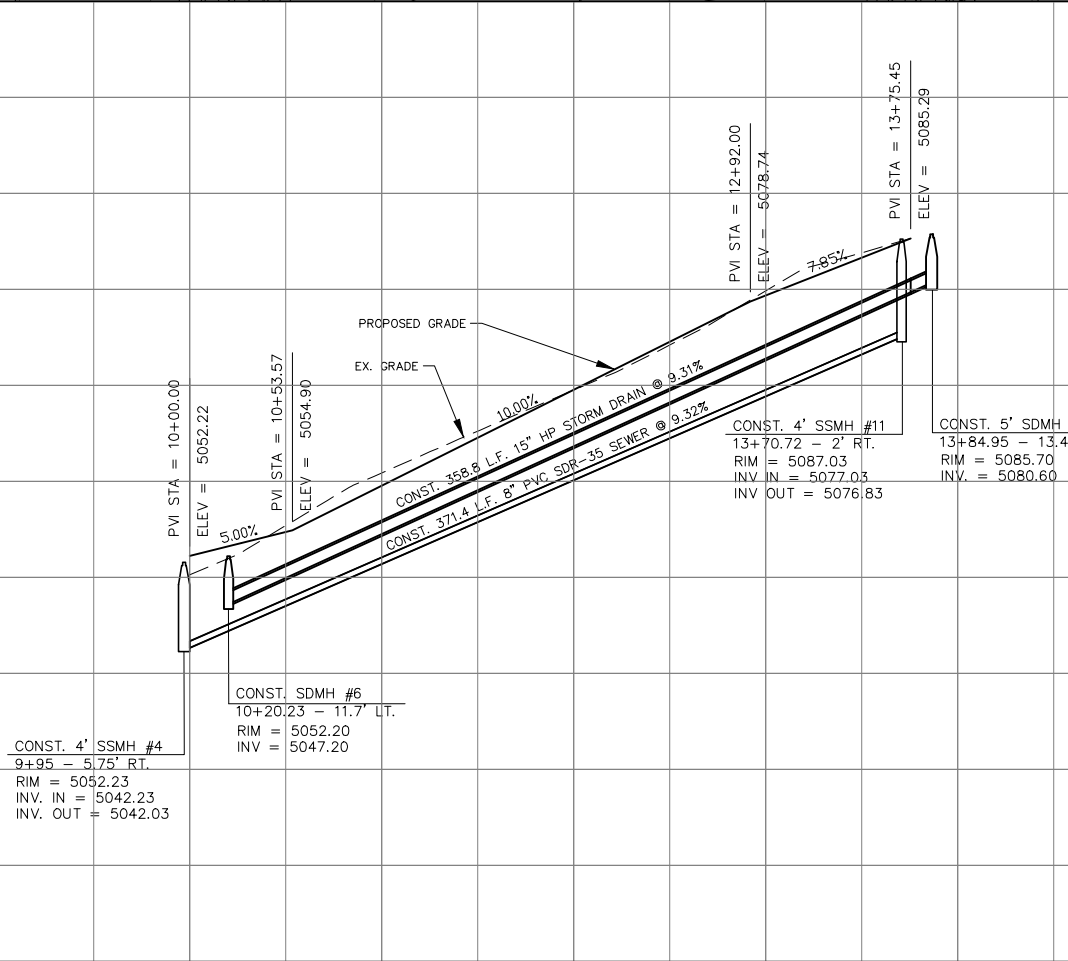
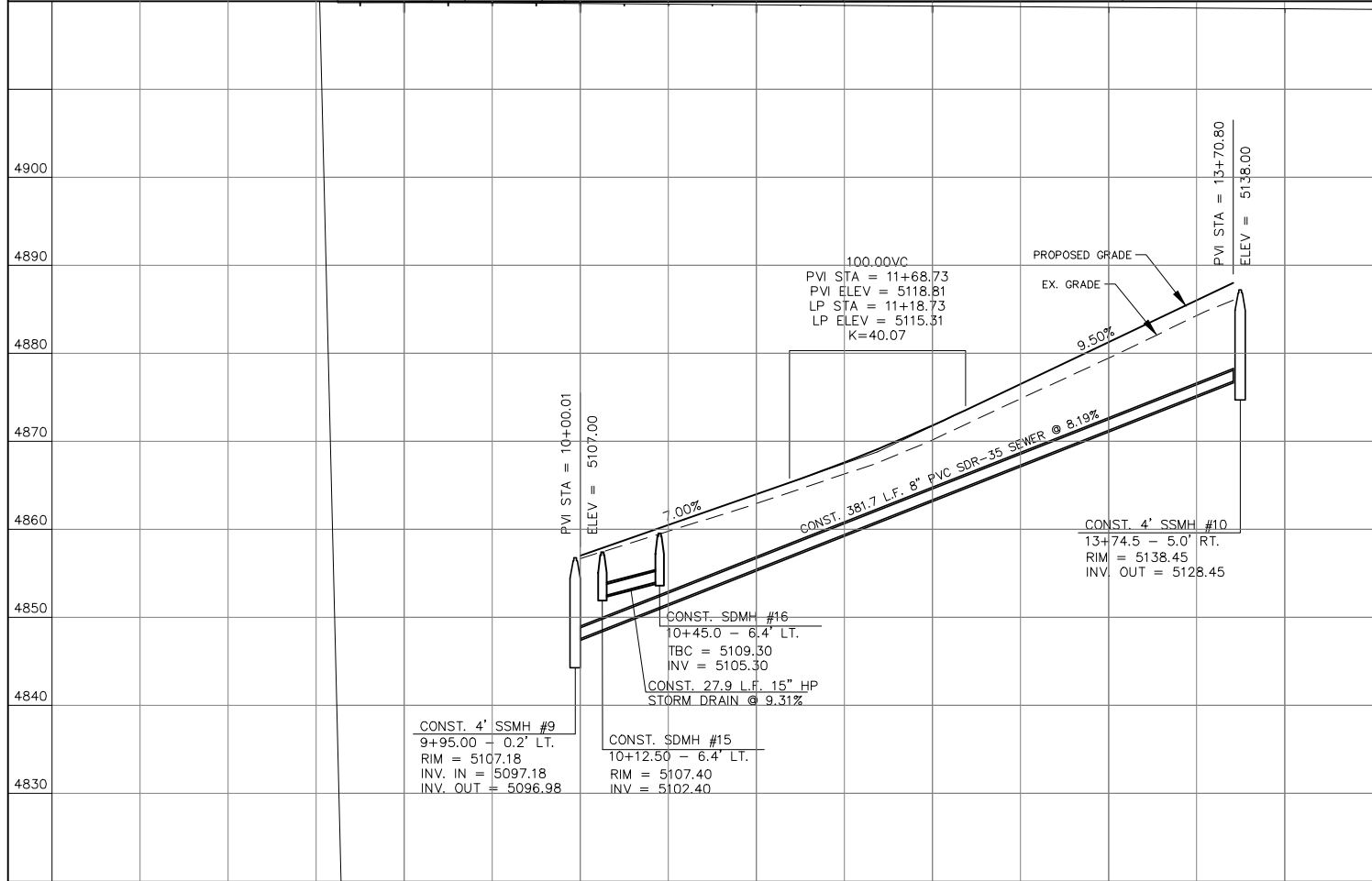
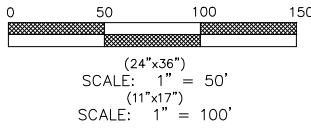
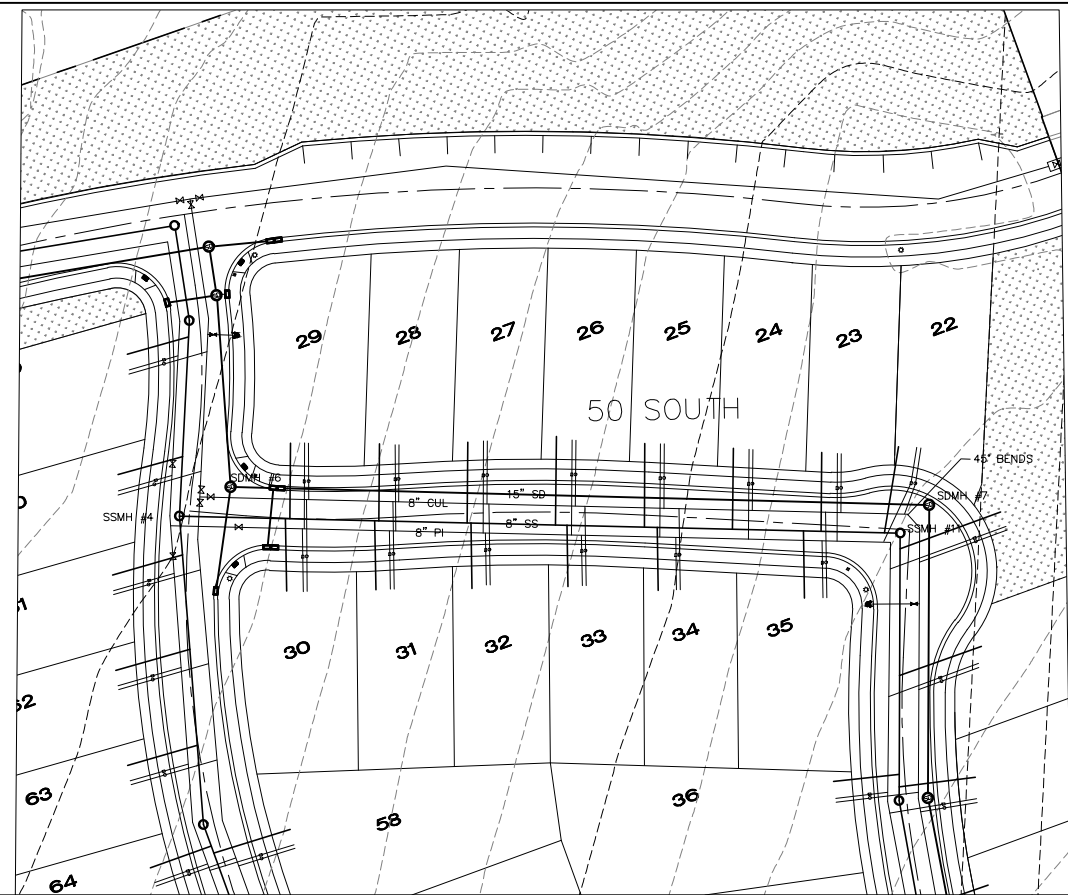
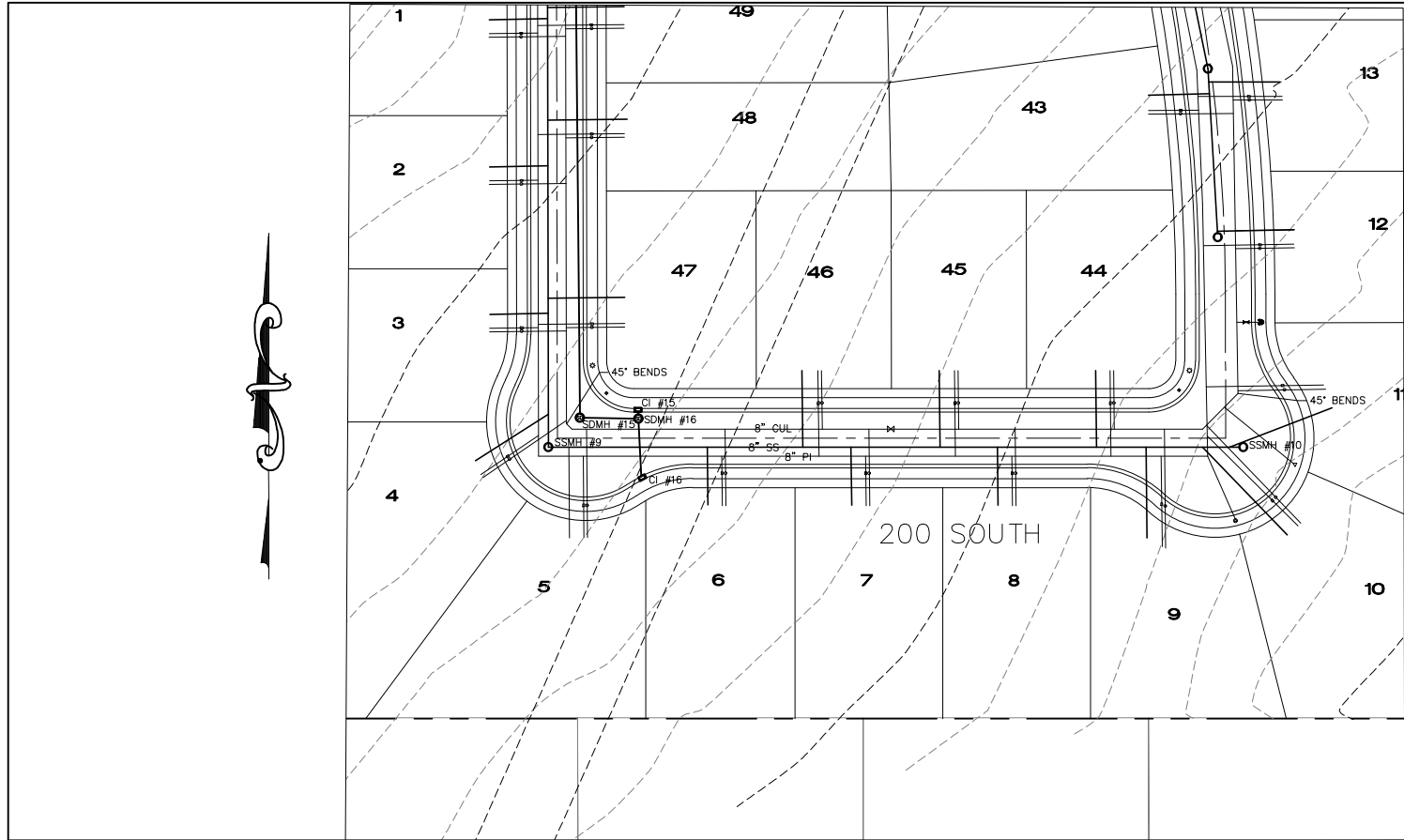
SANTAQUIN,  
UTAH

**SANTAQUIN ESTATES**  
**A RESIDENTIAL SUBDIVISION**

PLAN AND PROFILE  
980 EAST

JOB  
FS SANTAQUIN  
SHEET  
**8**





(24"x36")  
HORIZONTAL 1" = 50'  
VERTICAL 1" = 10'

(11"x17")  
HORIZONTAL 1" = 100'  
VERTICAL 1" = 20'

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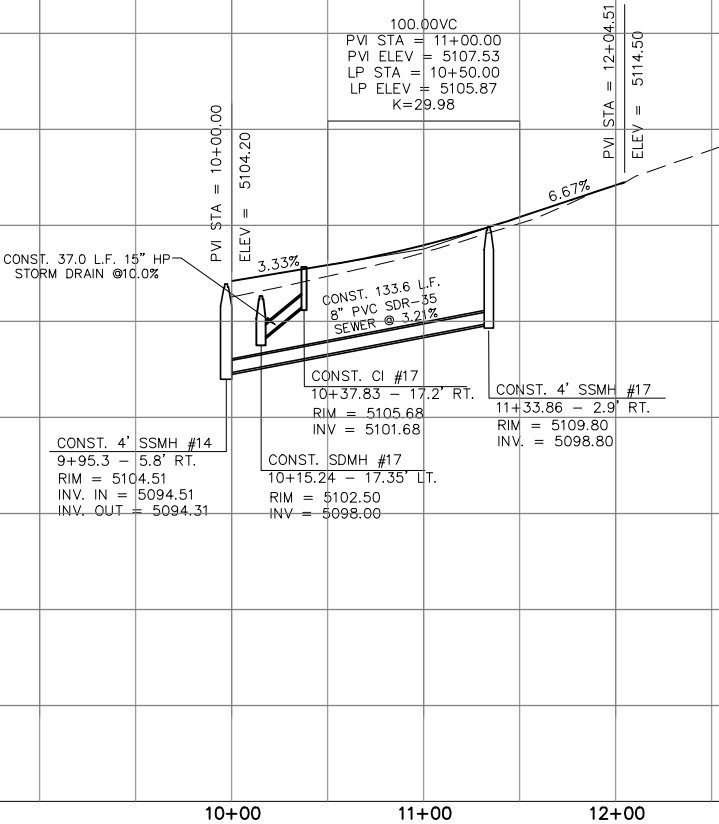
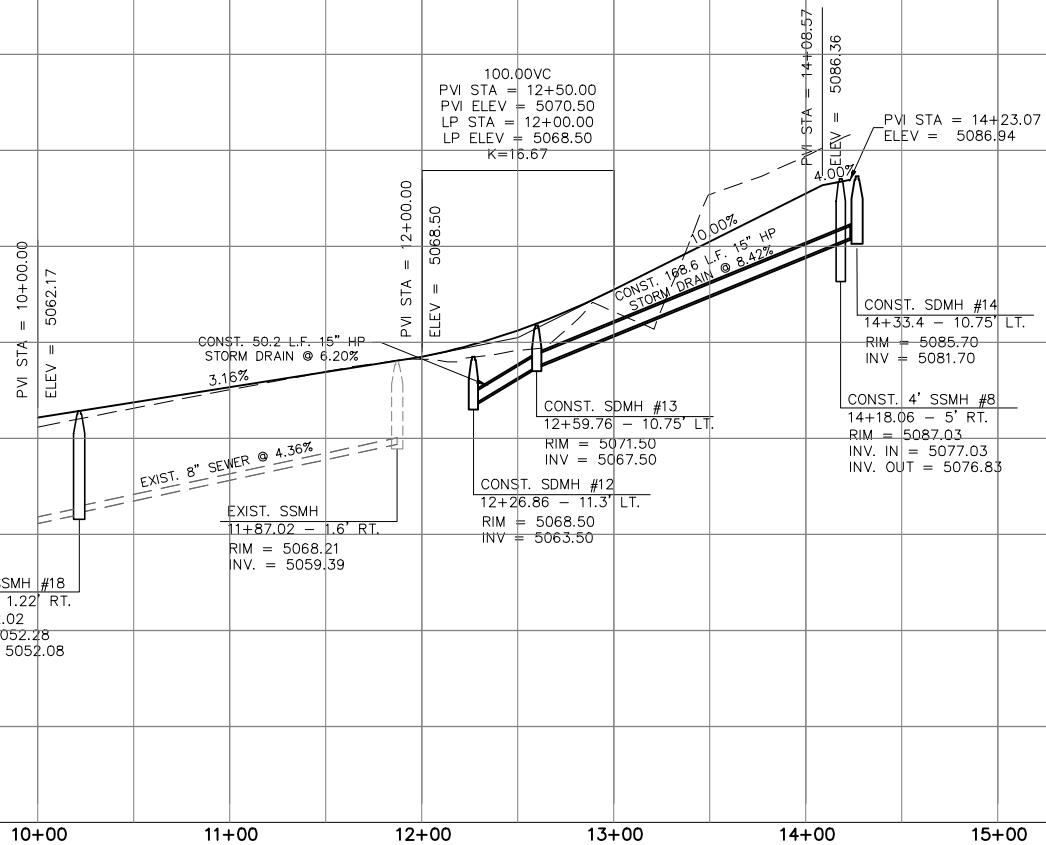
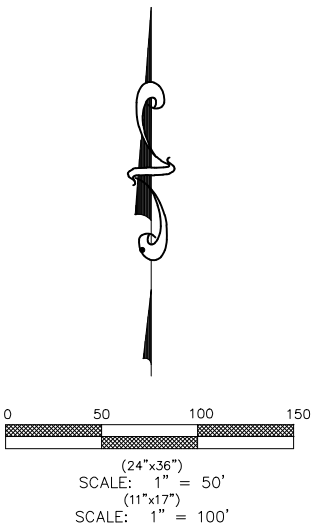
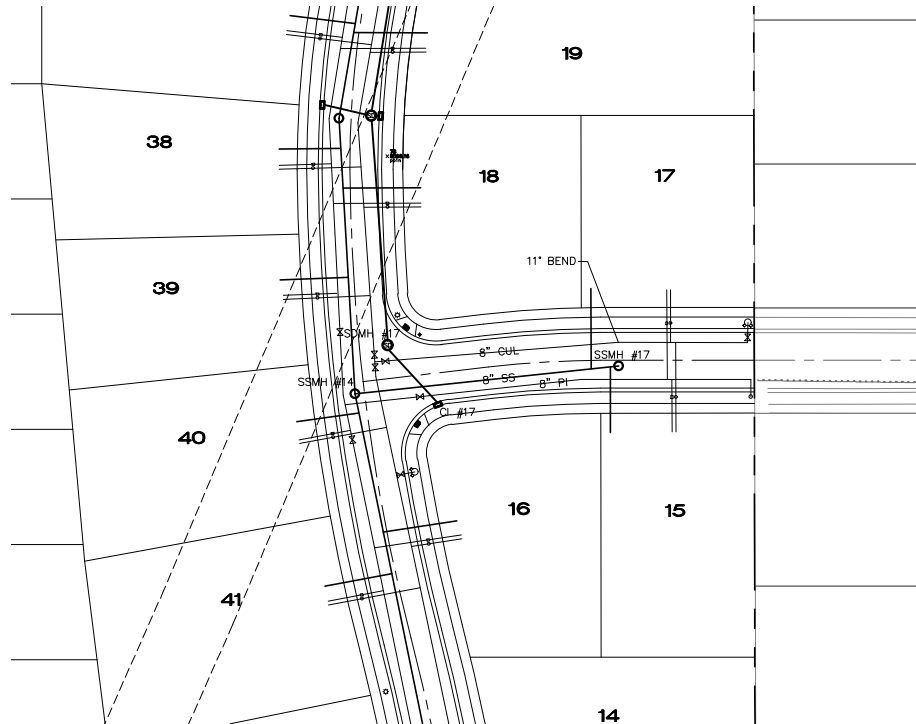
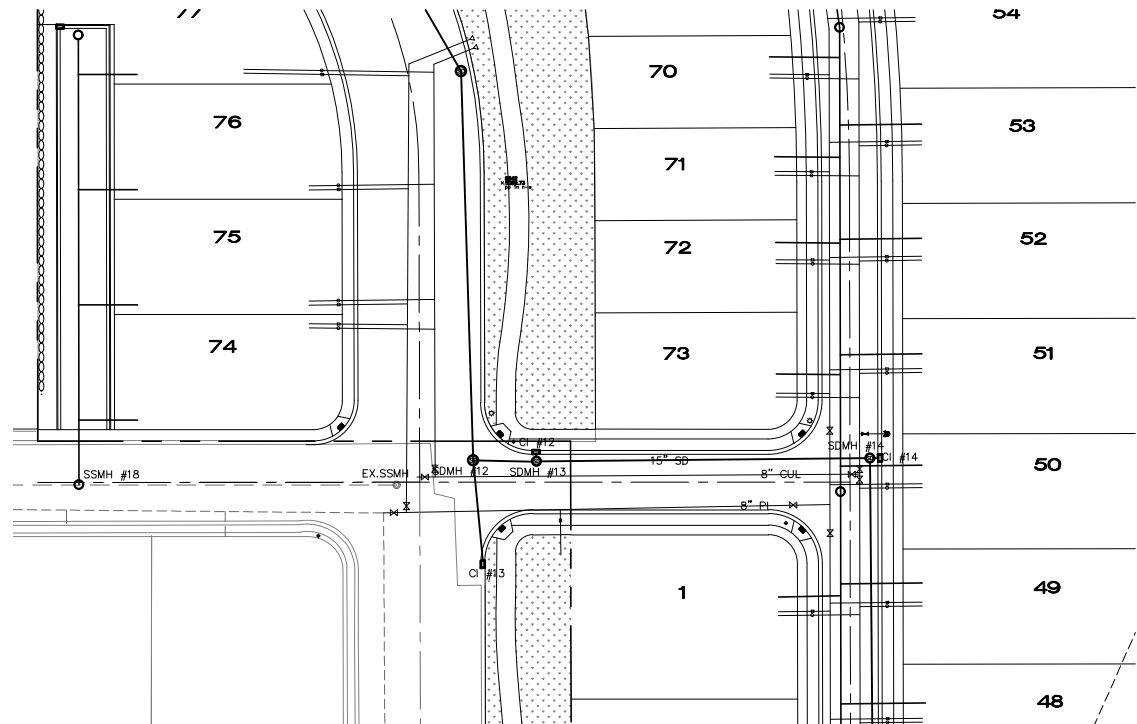
**TRANE ENGINEERING, P.C.**  
**CONSULTING ENGINEERS AND LAND SURVEYORS**  
**27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544**

SANTAQUIN,  
UTAH

**SANTAQUIN ESTATES**  
**A RESIDENTIAL SUBDIVISION**

PLAN AND PROFILE  
200 SOUTH & 50 SOUTH

JOB  
FS SANTAQUIN  
SHEET  
**9**



(24"x36")  
HORIZONTAL 1" = 50'  
VERTICAL 1" = 10'

(11"x17")  
HORIZONTAL 1" = 100'  
VERTICAL 1" = 20'

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27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN,  
UTAH

SANTAQUIN ESTATES  
A RESIDENTIAL SUBDIVISION

PLAN AND PROFILE  
150 SOUTH (W) & 150 SOUTH (E)

Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion Energy may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval of acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Dominion Energy's right-of-way department at 1-800-366-8532

Approved this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_

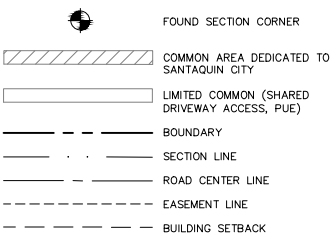
Dominion Energy  
By: \_\_\_\_\_ Title: \_\_\_\_\_

ROCKY MOUNTAIN POWER APPROVAL  
Pursuant to Utah Code Ann 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.  
Pursuant to Utah Code Ann 17-27a-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under.

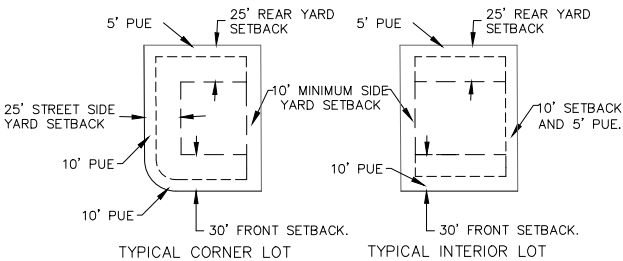
- (1). A recorded easement of right of way
- (2). The law applicable to prescriptive rights
- (3). Title 54, Chapter 8a, Damage to Underground Utility Facilities
- (4). Any other provision of law

ROCKY MOUNTAIN POWER \_\_\_\_\_ DATE \_\_\_\_\_

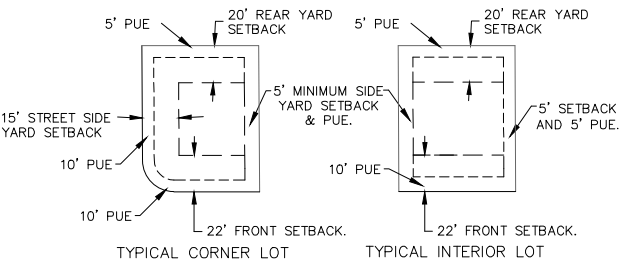
CENTURYLINK APPROVAL  
CENTURYLINK \_\_\_\_\_ DATE \_\_\_\_\_



LAND USE:  
PLAT "A" = 30.86 ACRES  
ZONING= C-1, R-10 (PUD)  
TOTAL RES. LOTS= 77 LOTS  
ACREAGE IN LOTS= 15.15 ACRES  
ACREAGE IN ROW= 6.79 ACRES  
ACREAGE OPEN SPACE= 3.5 ACRES  
ACREAGE COMMERCIAL= 5.42 ACRES  
DENSITY OVERALL = 2.43 LOTS/ACRE



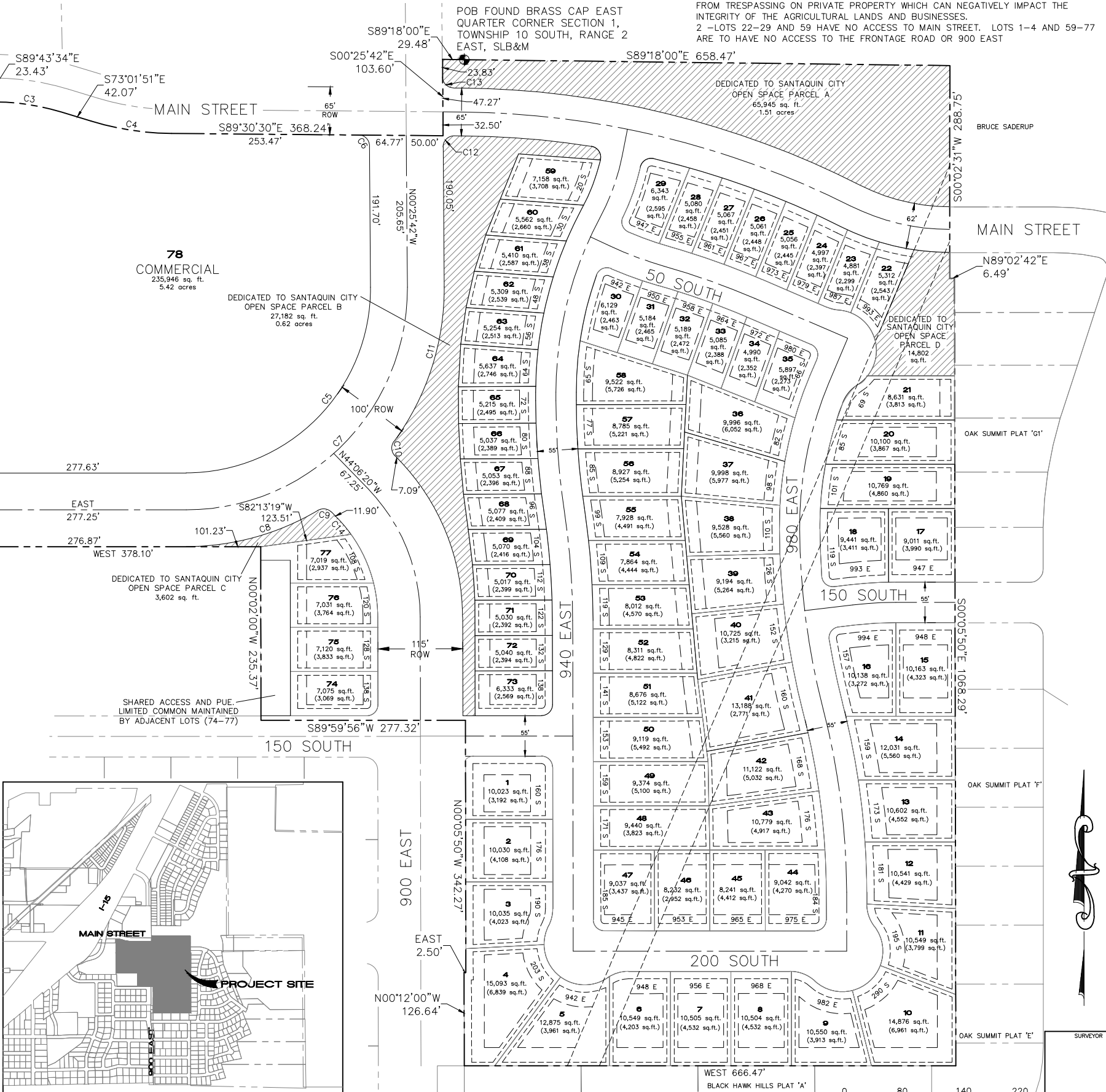
SETBACK AND EASEMENT DETAIL  
LOTS 1-16,19-20,36,40-43 (10,000 SF)  
-NTS-



SETBACK AND EASEMENT DETAIL  
LOTS 17,18,21-35,37-39,44-77 (PUD)  
-NTS-

## SANTAQUIN ESTATES PLAT 'A'

SITUATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST,  
AND THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST,  
SALT LAKE BASE AND MERIDIAN, SANTAQUIN, UTAH



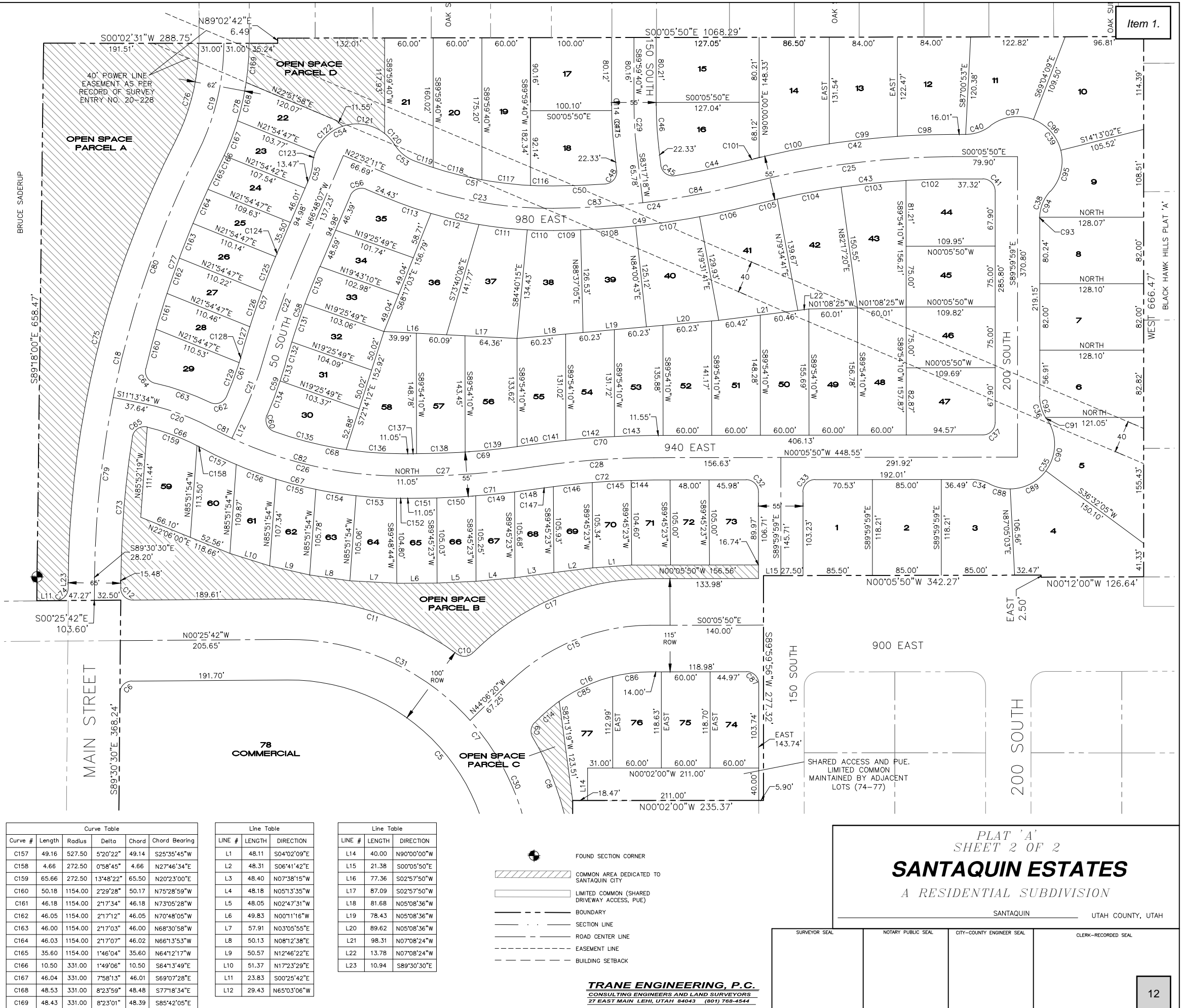
Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	91.79	315.00	16°41'45"	91.47	N81°22'43"W
C2	110.72	385.00	16°28'39"	110.34	S81°16'11"E
C3	91.79	315.00	16°41'45"	91.47	N81°22'43"W
C4	110.72	385.00	16°28'39"	110.34	S81°16'11"E
C5	394.57	250.00	90°25'42"	354.87	N44°47'09"E
C6	23.32	15.00	89°04'48"	21.04	N44°58'06"W
C7	473.48	300.00	90°25'42"	425.85	N44°47'09"E
C8	187.79	350.00	30°44'30"	185.55	N73°47'35"E
C9	20.06	15.00	76°38'09"	18.60	N82°25'25"W
C10	21.06	15.00	80°26'15"	19.37	S3°33'13"E
C11	224.56	350.00	36°45'37"	220.72	N17°57'06"E
C12	23.80	15.00	90°55'12"	21.38	S45°01'54"E
C13	23.32	15.00	89°04'48"	21.04	S48°58'06"E
C14	28.02	192.50	8°20'27"	28.00	N39°56'07"W
C15	192.02	250.00	44°00'30"	187.34	N22°06'05"W
C16	147.86	192.50	44°00'30"	144.25	N22°06'05"W
C17	242.94	307.50	45°51'56"	236.67	N22°43'48"W
C18	544.32	1185.00	26°19'05"	539.54	N76°20'57"W
C19	139.78	300.00	26°41'46"	138.52	S76°32'18"E
C20	89.22	300.00	17°02'23"	88.89	N19°44'45"E
C21	78.45	500.00	8°59'23"	78.37	S69°32'48"E
C22	130.33	1031.50	7°14'22"	130.25	N70°25'18"W
C23	202.75	500.00	23°14'02"	201.37	S11°15'10"W
C24	246.69	1000.00	14°08'03"	246.06	S75°25'52"E
C25	251.35	1000.00	14°24'04"	250.68	N71°52'W
C26	246.66	500.00	28°15'56"	244.17	S14°07'58"W
C27	150.66	1000.00	8°37'56"	150.52	S41°85'28"E
C28	148.97	1000.00	8°32'06"	148.83	N42°15'33"W
C29	58.52	500.00	6°42'22"	58.49	S86°38'29"W
C30	219.07	300.00	41°50'20"	214.23	N69°04'50"E
C31	254.41	300.00	48°35'22"	246.86	N23°51'59"E
C32	23.59	15.00	90°05'51"	21.23	N44°57'05"E
C33	23.54	15.00	89°54'09"	21.20	N45°02'55"W
C34	23.91	50.00	27°23'46"	23.68	N13°36'03"E
C35	145.57	55.00	15°13'38"	106.65	S48°31'24"E
C36	29.97	50.00	34°20'44"	29.53	S73°49'49"E
C37	23.54	15.00	89°54'09"	21.20	S45°02'55"E
C38	37.03	50.00	42°25'50"	36.19	N68°47'04"W
C39	163.18	55.00	16°9'59"39"	109.58	N47°26'02"E
C40	32.70	50.00	37°27'58"	32.12	S13°49'49"E
C41	23.59	15.00	90°05'51"	21.23	N44°57'05"E
C42	258.26	1027.50	14°24'04"	257.58	N71°52'W
C43	244.43	972.50	14°24'04"	243.79	N71°52'W
C44	89.01	972.50	51°43'39"	88.98	S11°52'34"E
C45	24.23	15.00	92°32'32"	21.68	S37°01'02"W
C46	55.30	472.50	6°42'22"	55.27	S86°38'29"W
C47	61.74	527.50	6°42'22"	61.71	S86°38'29"W
C48	24.23	15.00	92°32'45"	21.68	S50°26'20"E
C49	253.47	1027.50	14°08'03"	252.83	S72°55'52"E
C50	64.53	972.50	3°48'07"	64.52	S21°54'E
C51	174.68	472.50	21°10'53"	173.68	S10°13'36"W
C52	213.91	527.50	23°14'02"	212.44	S11°15'10"W
C53	32.22	50.00	36°55'11"	31.66	S39°16'38"W
C54	137.68	55.00	14°23'25"	104.45	N13°58'42"E
C55	16.49	50.00	18°53'31"	16.41	N61°41'52"E
C56	23.48	15.00	89°40'18"	21.15	N21°57'58"W
C57	133.81	1059.00	7°14'22"	133.72	N70°25'18"W
C58	126.86	1004.00	7°14'23"	126.78	N70°25'18"W
C59	68.15	527.50	7°24'10"	68.11	S70°20'24"E
C60	24.54	15.00	93°43'02"	21.89	S66°30'10"W
C61	59.27	472.50	7°11'15"	59.24	S70°26'51"E
C62	24.19	15.00	92°23'56"	21.65	S20°39'16"E
C63	72.29	327.50	12°38'52"	72.15	N19°13'16"E
C64	23.66	15.00	90°22'27"	21.28	S58°05'03"W
C65	24.74	15.00	94°29'18"	22.03	N33°45'50"W
C66	70.32	272.50	14°47'07"	70.12	N20°52'23"E
C67	260.23	527.50	28°15'56"	257.60	S14°07'58"W
C68	162.00	472.50	19°38'39"	161.21	S9°49'20"W
C69	146.52	972.50	8°37'56"	146.38	S41°85'28"E
C70	153.06	1027.50	8°32'06"	152.92	N42°15'33"W
C71	154.81	1027.50	8°37'56"	154.66	S41°85'28"E
C72	144.87	972.50	8°32'06"	144.74	N42°15'33"W
C73	171.20	1154.00	8°30'01"	171.05	N85°15'30"W
C74	23.32	15.00	89°04'48"	21.04	S44°58'06"W
C75	561.32	1216.00	26°26'54"	556.35	N76°17'03"W
C76	125.91	269.00	26°49'05"	124.76	S76°28'08"E
C77	270.04	1154.00	13°24'27"	269.43	N70°01'29"W
C78	153.51	331.00	26°34'19"	152.14	S76°36'25"W

Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C79	223.57	1185.00	10°48'36"	223.24	N84°06'12"W
C80	320.74	1185.00	15°30'29"	319.76	N70°56'39"W
C81	28.95	500.00	3°19'03"	28.95	S26°36'25"W
C82	217.71	500.00	24°56'54"	216.00	S12°28'27"W
C83	110.76	1000.00	6°20'46"	110.70	S3°32'13"W
C84	135.93	1000.00	7°47'17"	135.82	S10°36'15"E
C85	73.38	192.50	21°50'26"	72.94	N24°50'40"W
C86	46.46	192.50	13°49'38"	46.34	N7°00'39"W
C87	23.59	15.00	90°05'50"	21.23	N44°57'05"E
C88	26.48	55.00	27°34'49"	26.22	S13°30'31"W
C89	51.05	55.00	53°11'02"	49.24	S26°52'24"E
C90	68.04	55.00	70°52'49"	68.28	S88°54'19"W
C91	2.74	50.00	3°08'06"	2.74	S5°71'31"E
C92	27.24	50.00	3°12'38"	26.90	S74°23'42"W
C93	3.76	50.00	2°00'58"	1.76	N85°59'30"W
C94	35.27	50.00	40°24'52"	34.54	N67°46'35"W
C95	54.38	55.00	56°38'53"	52.99	S75°53'36"E
C96	52.65	55.00	54°51'07"	50.67	N48°21'24"E
C97	56.15	55.00	58°29'38"	53.74	N8°18'59"W
C98	68.24	1027.50	3°48'19"	68.23	N2°00'00"W
C99	84.53	1027.50	4°42'48"	84.50	N6°15'33"W
C100	88.17	1027.50	4°54'59"	88.14	N11°04'27"W
C101	17.32	1027.50	0°57'57"	17.32	N14°00'55"W
C102	57.77	972.50	3°24'13"	57.76	N14°57'59"W
C103	80.38	972.50	4°44'08"	80.35	N5°52'07"W
C104	80.12	972.50	4°43'14"	80.10	N10°35'48"W
C105	26.16	972.50	1°32'28"	26.16	N13°34'40"W
C106	72.20	1027.50	4°01'35"	72.19	S12°29'06"W
C107	79.53	1027.50	4°26'06"	79.51	S8°15'16"E
C108	68.30	1027.50	3°48'32"	68.29	S40°75'7"E
C109	33.43	1027.50	1°51'51"	33.43	S11°7'46"E
C110	32.41	527.50	3°31'14"	32.41	S12°46'46"W
C111	60.00	527.50	6°31'01"	59.97	S6°24'54"W
C112	60.69	527.50	6°35'29"	60.65	S12°58'09"W
C113	60.81	527.50	6°36'18"	60.78	S13°43'02"W
C114	10.09	527.50	1°05'45"	10.09	S89°26'48"W
C115	51.65	527.50	5°36'38"	51.63	S86°05'36"W
C116	27.95	472.50	3°23'21"	27.95	S11°59'50"W
C117	60.45	472.50	7°19'50"	60.41	S6°41'25"W
C118	61.91	472.50	7°30'27"	61.87	S14°06'34"W
C119	24.36	472.50	2°57'15"	24.36	S19°20'25"W
C120	18.77	55.00	19°33'16"	18.68	N4°75°35"E
C121	54.54	55.00	56°49'11"	52.34	N9°46'21"E
C122	47.82	55.00	49°49'01"	46.33	N4°32'44"W
C123	16.55	55.00	17°14'24"	16.49	N7°00'42"W
C124	10.52	1059.00	0°34'08"	10.52	N6°05'11"W
C125	46.01	1059.00	2°29'21"	46.00	N6°36'35"W
C126	46.07	1059.00	2°29'33"	46.06	N7°106'22"W
C127	31.22	1059.00	1°41'21"	31.22	N7°31'149"W
C128	14.96	472.50	1°48'52"	14.96	S73°08'03"E
C129	44.31	472.50	5°22'23"	44.29	S69°32'25"E
C130	49.57	1004.00	2°49'43"	49.56	N68°12'58"W
C131	50.01	1004.00	2°51'14"	50.00	N71°03'27"W
C132	27.29	1004.00	1°33'26"	27.29	N73°15'46"W
C133	22.76	527.50	2°28'21"	22.76	S72°48'18"E
C134	45.39	527.50	4°55'49"	45.38	S69°06'13"E
C135	91.70	472.50	11°07'12"	91.26	S14°05'03"W
C136	70.30	472.50	8°31'27"	70.23	S4°15'44"W

Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C157	49.16	527.50	5'20"22"	49.14	S25°35'45"W
C158	4.66	272.50	5°08'45"	4.66	N27°46'34"E
C159	65.66	272.50	13°48'22"	65.50	N20°23'00"E
C160	50.18	1154.00	2°29'28"	50.17	N75°28'59"W
C161	46.18	1154.00	2°17'34"	46.18	N7°30'528"W
C162	46.05	1154.00	2°17'12"	46.05	N70°48'05"W
C163	46.00	1154.00	2°17'03"	46.00	N68°30'58"W
C164	46.03	1154.00	2°17'07"	46.02	N66°13'53"W
C165	35.60	1154.00	1°46'04"	35.60	N61°21'17"W
C166	10.50	331.00	1°49'06"	10.50	S64°31'49"E
C167	46.04	331.00	7°58'13"	46.01	S69°07'28"E
C168	48.53	331.00	8°23'59"	48.48	S77°18'34"E
C169	48.43	331.00	8°23'01"	48.39	S85°42'05"E

Line Table		
LINE #	LENGTH	DIRECTION
L1	48.11	S04°02'09"E
L2	48.31	S06°41'32"E
L3	48.40	N07°38'15"W
L4	48.18	N05°13'35"W
L5	48.05	N02°47'31"W
L6	49.83	N00°11'16"W
L7	57.91	S03°05'55"E
L8	50.13	N08°12'38"E
L9	50.57	N12°46'22"E
L10	51.37	N17°23'29"E
L11	23.83	S00°25'42"E
L12	29.43	N65°03'06"W

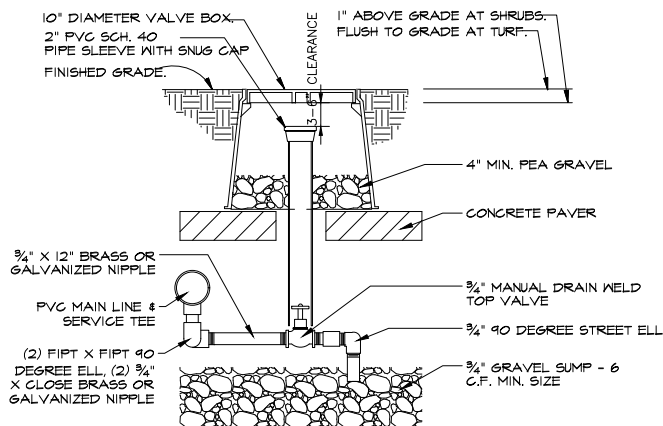
Line Table		
LINE #	LENGTH	DIRECTION
L14	40.00	N90°00'00"W
L15	21.38	S00°05'50"E
L16	77.36	S02°57'50"W
L17	87.09	S02°57'50"W
L18	81.68	N05°08'36"W
L19	78.43	N05°08'36"W
L20	89.62	N05°08'36"W
L21	98.31	N07°08'24"W
L22	13.78	N07°08'24"W
L23	10.94	S89°30'30"E







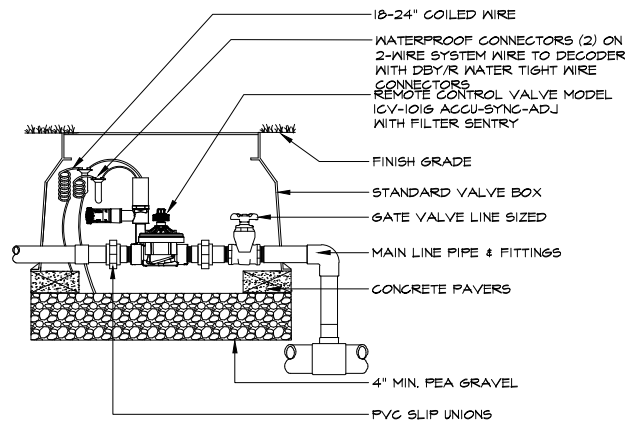




1 MANUAL DRAIN VALVE ASSEMBLY

1 1/2" = 1'-0"

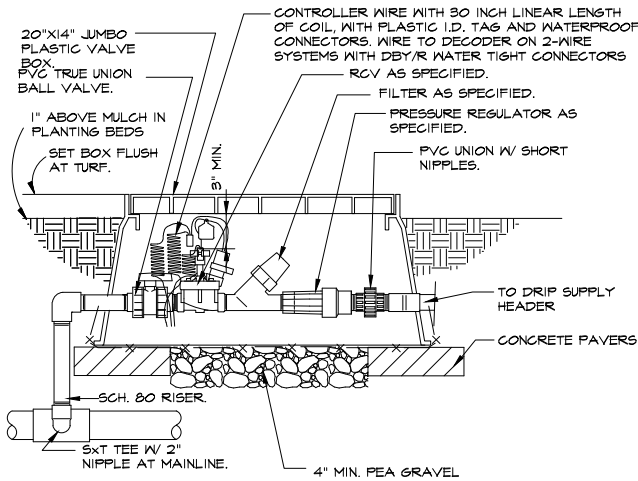
DETAIL-FILE



2 REMOTE CONTROL VALVE ASSEMBLY

1 1/2" = 1'-0"

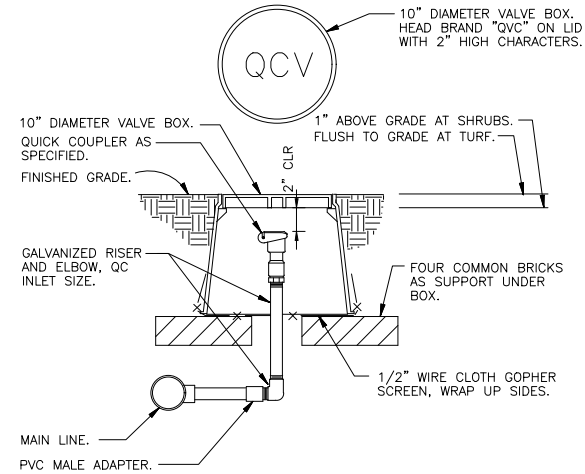
B-01



3 DRIP VALVE ASSEMBLY

1 1/2" = 1'-0"

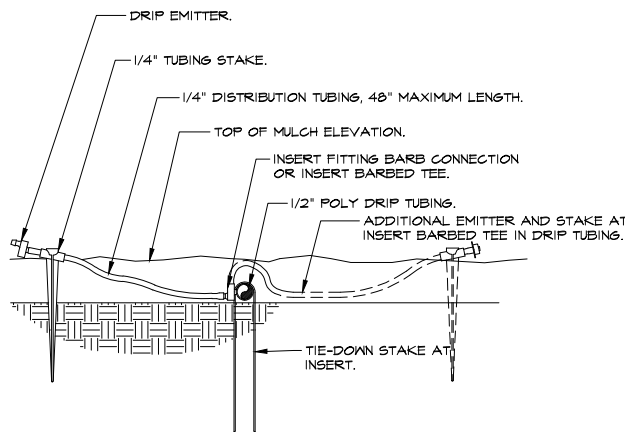
B-06



4 QUICK COUPLING VALVE IN BOX

1 1/2" = 1'-0"

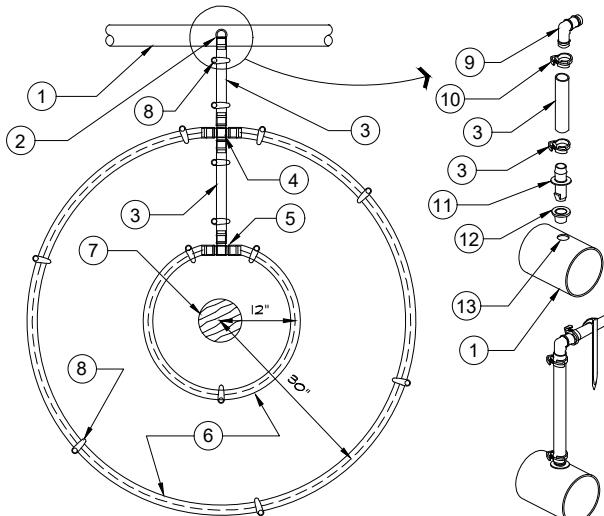
FX-IR-FX-QUIC-04



5 DRIP EMITTER AT 1/4" TUBING

3" = 1'-0"

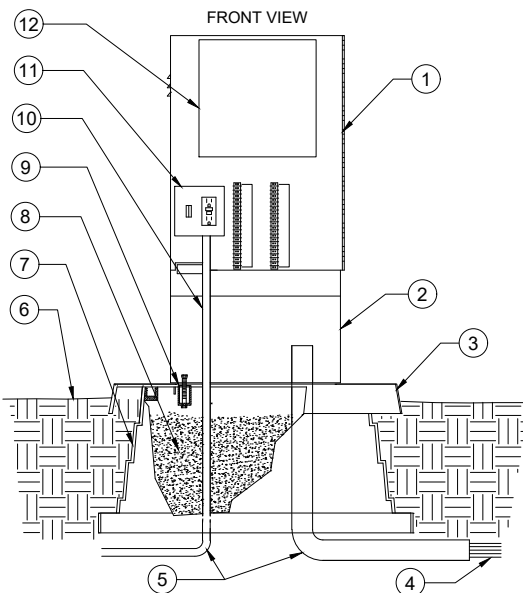
FX-IR-FX-EMIT-03



6 20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.

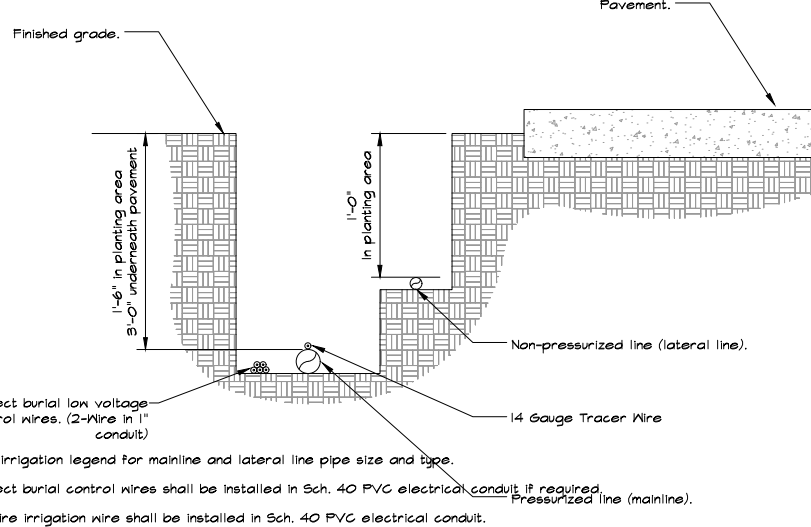
N.T.S.

FX-IR-FX-EMIT-02



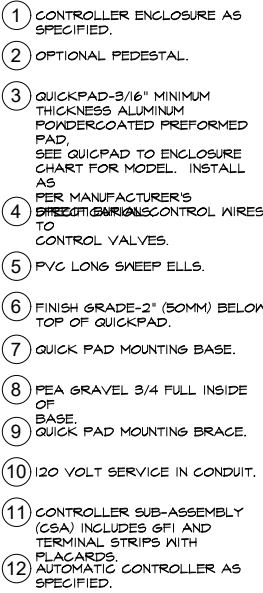
9 QUICKPAD CONTROLLER BASE

N.T.S.

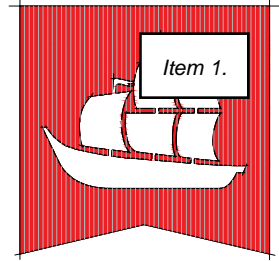


7 IRRIGATION TRENCHING

N.T.S.



QUICKPAD TO ENCLOSURE CHART		
QUICKPAD FOR STRONG BOX CONTROLLER ENCLOSURES		
QUICKPAD MODEL NO.	CONTROLLER ENCLOSURE	QUICKPAD DIMENSIONS
QP-16	SB-16	28.5"x18.5" (724x470MM)
QP-18	SB-18	28.5"x18.5" (724x470MM)
QP-18D	SB-18D	28.5"x28.5" (724x724MM)
QP-22	SB-22	28.5"x28.5" (724x724MM)
QP-24	SB-24	28.5"x18.5" (724x470MM)
QP-24D	SB-24D	28.5"x18.5" (724x470MM)
QP-D	METERED ENCLOSURE	28.5"x18.5" (724x470MM)
QP-LD16	LIGHT DUTY LD-16	28.5"x18.5" (724x470MM)
QUICKPAD FOR STRONG BOX BACKFLOW ENCLOSURES		
QP-20BF	SBBC-20	32"x14" (813x483MM)
QP-30BF	SBBC-30	32"x14" (813x483MM)
QUICKPAD FOR ORIGINAL EQUIPMENT MANUFACTURERS PEDESTALS		
QP-CAL	CALSENSE	28.5"x18.5" (724x470MM)
QP-TOROS	TORO GOLF	19"x16" (483x406MM)
QP-MC42	IRRITROL & SUPERIOR	19"x16" (483x406MM)
QP-REG	RAIN BIRD GOLF	28.5"x18.5" (724x470MM)
QP-RBPD16	RAIN BIRD COMMERCIAL	19"x16" (483x406MM)
QP-RM	RAINMASTER	19"x16" (483x406MM)
QP-HUN	HUNTER COMMERCIAL	19"x16" (483x406MM)
QP-SIGM	SIGNATURE METAL	28.5"x18.5" (724x470MM)
QP-SIGP	SIGNATURE PLASTIC	28.5"x18.5" (724x470MM)



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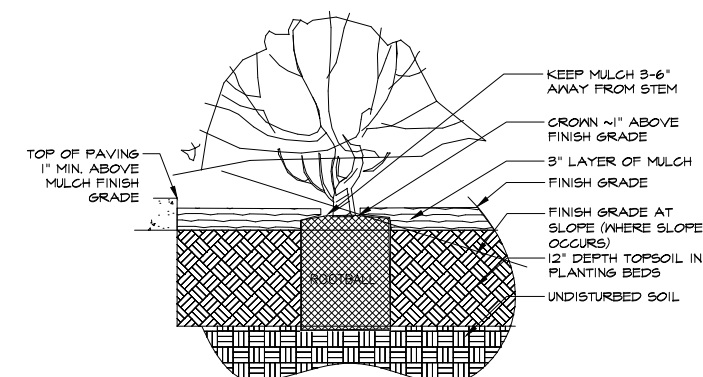
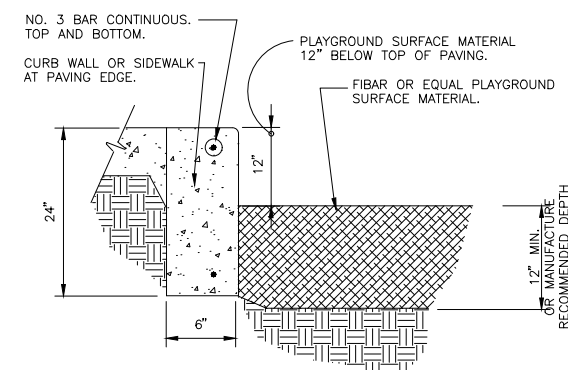
JANUARY 2022

LANDSCAPE  
notes & details

**L.O.**

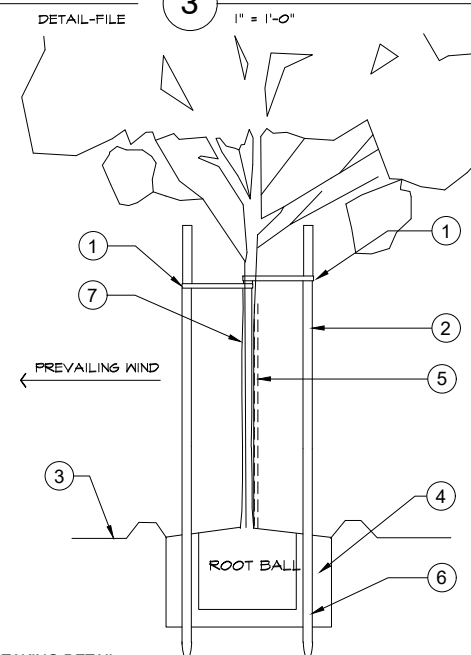
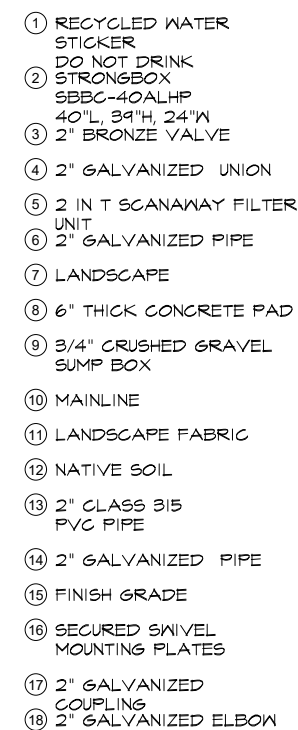
14

FX-IR-STBX-ENCS-13

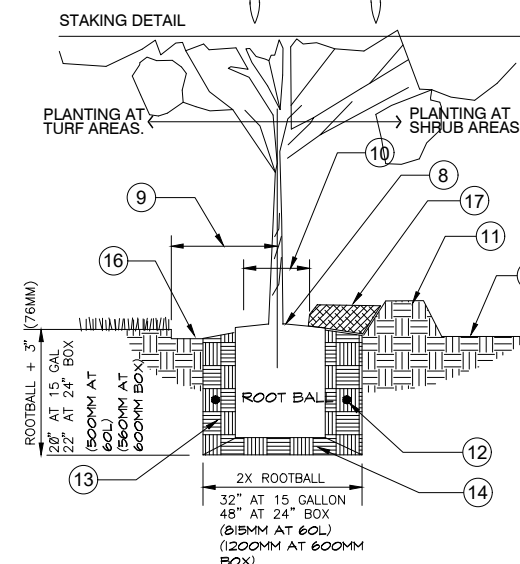


## 2 PLAY SPACE EDGE AND SURFACING

### 3 SHRUB/PRENNIAL/ORNAMENTAL GRASS PLANTING



- ① KINCH-TIE; DO NOT OVER TIGHTEN, ALLOW TREE TO MOVE SOMEWHAT TO BUILD CALIFER.
- ② 2" (50MM) DIAMETER LODGE POLE FINE TREE STAKE.
- ③ FINISHED GRADE.
- ④ BACKFILL AS PER PLANTING DETAIL.
- ⑤ REMOVE NURSERY STAKE BY THE END OF MAINTENANCE.
- ⑥ AVOID DAMAGE TO THE ROOT BALL WITH THE SUPPORT STAKES.
- ⑦ TREE AS SPECIFIED.
- ⑧ SET ROOTBALL CROWN 1 1/2" (38MM) HIGHER THAN THE SURROUNDING FINISHED GRADE. SLOPE BACKFILL AWAY FROM ROOTBALL FOR POSITIVE DRAINAGE.
- ⑨ KEEP TURF CLEAR FOR A 16" (400MM) RADIUS CIRCLE AROUND THE TREE. MULCH WITH A 3" (76MM) THICK LAYER OF SHREDDED BARK.
- ⑩ KEEP MULCH 6" TO 8" (150-200MM) FROM BASE OF TREE.
- ⑪ 4" (100MM) HIGH WATER WELL AT SHRUB AREAS.
- ⑫ PLANT TABLETS AS NOTED OR SPECIFIED.
- ⑬ BACKFILL MIX AS NOTED OR SPECIFIED.
- ⑭ NATIVE SOIL MIX FIRMLY COMPACTED.
- ⑮ BACKFILL 1/2 OF PLANT PIT AND WATER THOROUGHLY. ALLOW WATER TO SOAK IN AND FINISH BACKFILL.
- ⑯ RECESS TURF AREA 1" (25MM) NO MULCH WHEN TREES ARE IN TURF
- ⑰ MULCH WATER WELL AREA TO 3" (75MM) DEPTH.



- STAKE ALL TRESS 24" (600MM) BOX AND SMALLER. INSTALL V.I.T. PRODUCTS MODEL TG-4 TRIM GUARD ON ALL TREES PLANTED IN TURF.
- REFER TO PLANTING DETAIL AND SPECIFICATIONS FOR PLANT PIT SIZE.
- TIES AROUND THE TREE TRUNK AND STAKE USING THE STANDARD OR FIGURE EIGHT METHOD. SECURE WITH GALVANIZED NAILS DRIVEN THROUGH TIES AND INTO THE STAKE TO PREVENT SLIPPAGE.
- INSTALL GINCH-TIE PER MANUFACTURER'S RECOMMENDATIONS.

## 5 TREE PLANTING WITH CINCH-TIE STAKE



IRRIGATION SCHEDULE				
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Hunter MP Strip FROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.	69	40	
	Hunter MPI000 FROS-06-PRS40-CV Turf Rotator, 6" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	52	40	
	Hunter MP2000 FROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	40	40	
	Hunter MP3000 FROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	41	40	
	Hunter MP3500 FROS-06-PRS40-CV Turf Rotator, 6" Pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LB=light brown adjustable arc, 90-210.	83	40	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL	
	Drip Control Zone Kit Assembly - Low Flow Hunter ICZ-101-401" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	7		
	Area to Receive Drip Emitters			
	Netatm SPCV	25,325 s.f.		
	Single Outlet Pressure Compensating Drip Emitter, 1.5psi Internal Check Valve, with Self-Piercing Barb. Blue= 0.5gph, Black= 1.0gph, Red= 2.0gph.			
	Emitter Notes:			
	0.5 GPH emitters (1 assigned to each 1 gal plant)	180		
	0.5 GPH emitters (2 assigned to each 5 gal plant)	284		
	0.5 GPH emitters (4 assigned to each B & B, 2 1/2" Gal plant)	28		
	0.5 GPH emitters (4 assigned to each B & B, 6-8' Ht. plant)	16		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL	
	Electric Remote Control Valve Assembly Hunter ICV-G - 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	19		
	Quick Coupler Valve Assembly Hunter HQ-3RC, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 1-piece body.	4		
	Master Valve Assembly 2" Hunter ICV-G - 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	2		
	Drain Valve Assembly 3/4" slotted valve with brass or galvanized nipples.	4		
	Controller Assembly Hydro Point WTOR-C-30-CH2, 18-gauge anodized, pre-assembled, aluminum back panel retrofits into any front entry pedestal 18" w x 36" h x 12" d or larger. (e.g., VIT Strongbox Enclosure Pedestal SB-18SS series)	1		
	Flow Sensor Assembly Hunter HFS-1Q0, Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.	2		
	Filter Assembly Amiad 2-OL-M516- Steel Screen, Amiad 2" Mini Sigma, On-Line Self-Cleaning Filter, BSPT or NPT Inlet-outlet. Stainless Steel Weavewire Screen Element. ADI-P Bluetooth Range Controller. Maximum working pressure 116psi. Included in the assembly is a solid aluminum Strong Box Enclosure (SBBC 40ALHP).	2		
POC #1 (FOR FUTURE PARK)	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	1		
POC #2	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	1		
POC #3	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	1		
	Irrigation Lateral Line: PVC Schedule 40	5,938 l.f.		
	Irrigation Mainline: PVC Schedule 40	1,801 l.f.		
	Pipe Sleeve: PVC Schedule 40 Sleeve size 2x size of pipe being sleeved.	352.1 l.f.		
	Valve Callout			
	Valve Number			
	Valve Flow			

Item 1.

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SANTAQUIN ESTATES

LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
irrigation  
overview

L1.0

16





# SANTAQUIN ESTATES

# LANDSCAPE PLANS

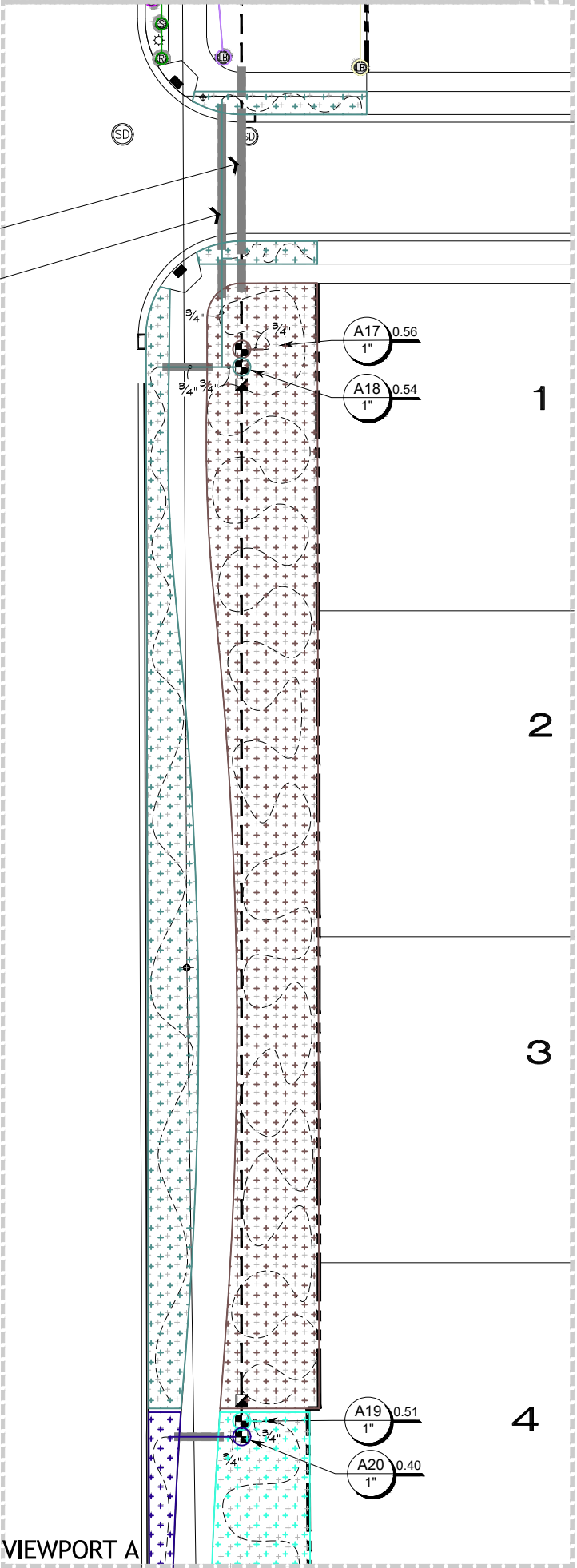
Main Street & 900 East . Santaquin . Utah

LANDSCAPE  
irrigation plan

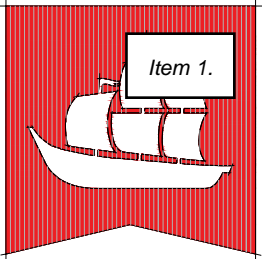
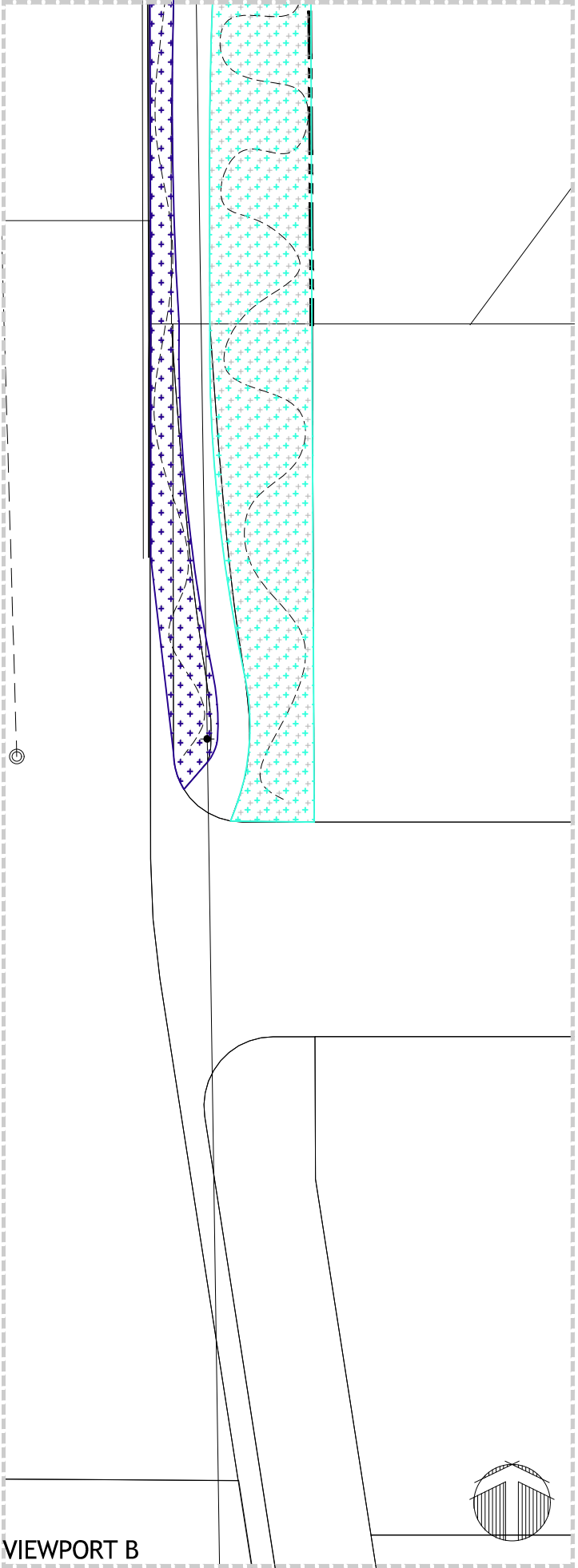


IRRIGATION MAIN LINE &  
WIRE SLEEVE  
IRRIGATION LATERAL SLEEVE

MATCHLINE C (SEE SHEET L1.2 VIEWPORT B)



MATCHLINE D (SEE THIS SHEET VIEWPORT A)



flagship  
homes

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# SANTAQUIN ESTATES

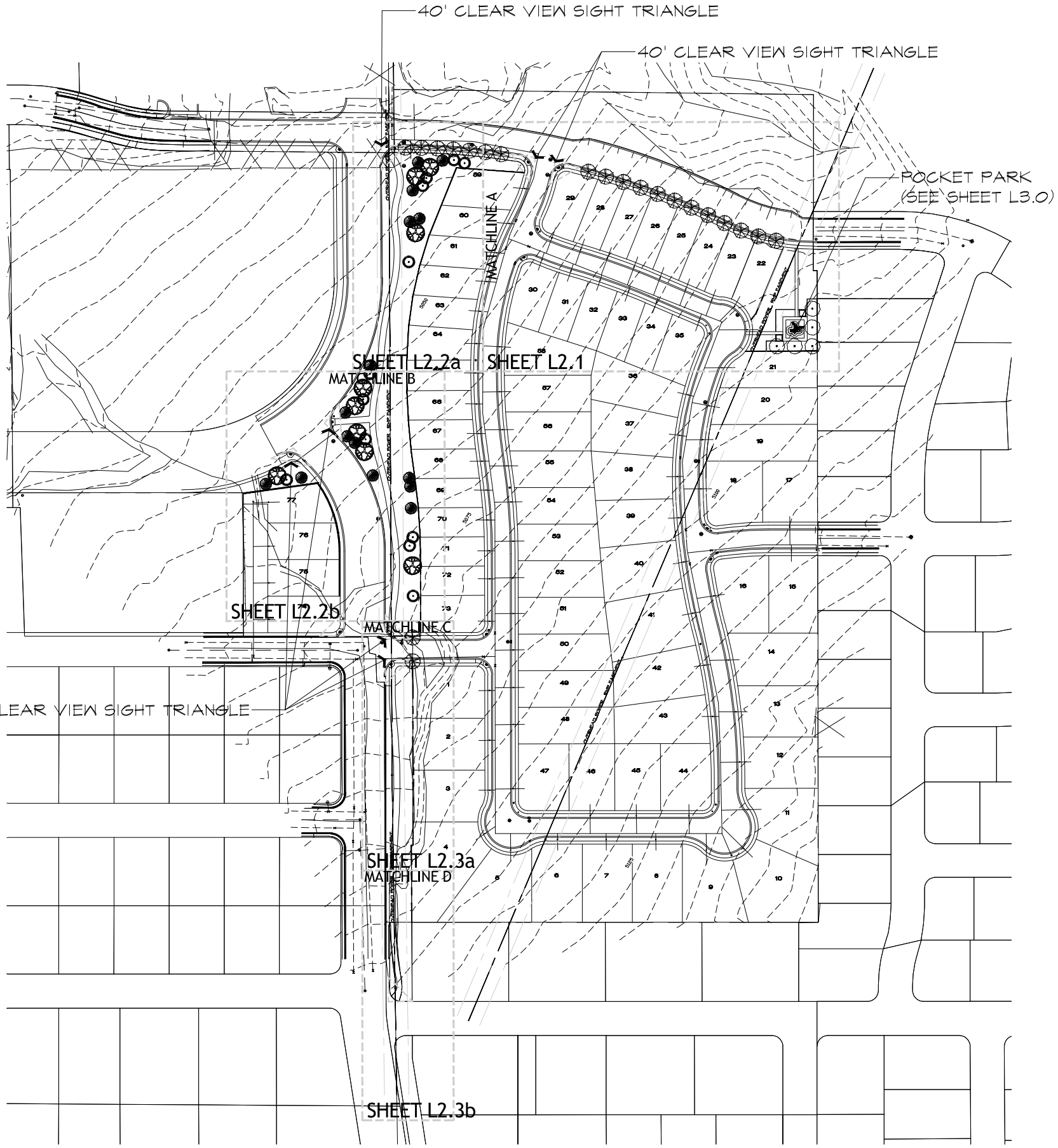
## LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

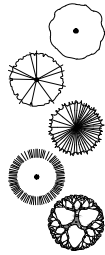
LANDSCAPE  
irrigation plan





PLANT SCHEDULE

TREES



BOTANICAL / COMMON NAME

CONT

CAL

SIZE

QTY

Acer x freemanii 'Jeffered' / Autumn Blaze Maple  
Mature Size: H50' W40'

Gleditsia triacanthos 'Skyline' / Skyline Honey Locust  
Mature Size: H45' W35'

Picea pungens / Blue Phase Colorado Spruce  
Mature Size: H30-60' W10-20'

Pinus nigra / Austrian Black Pine  
Mature Size: H50-60' W20-40'

Platanus x acerifolia / London Plane Tree  
Mature Size: H40-60' W30-40'

B & B

2 1/2" Cal

5

B & B

2 1/2" Cal

21

B & B

6-8' Ht.

15

B & B

6-8' Ht.

12

B & B

6-8' Ht.

9

SHRUBS



BOTANICAL / COMMON NAME

SIZE

5 gal

29

5 gal

113

1 gal

71

ANNUALS/PERENNIALS



BOTANICAL / COMMON NAME

SIZE

1 gal

15

GRASSES



BOTANICAL / COMMON NAME

SIZE

1 gal

31

1 gal

63

GROUND COVERS



BOTANICAL / COMMON NAME

CONT

mulch

24,934 sf

Planting Bed Area Mulch (4" depth)  
2-4" decorative cobble rock mulch. Submit sample for  
approved by Santaquin City prior to placing. Average depth of  
four inches (4"). Install Mirafi 600 (or approved equal) fabric  
prior to installation of mulch.

Play Area Surfacing / 12" min. depth of Engineered Wood Fiber

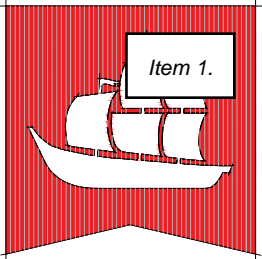
None

900 sf

Turf Sod Bluegrass / Kentucky Bluegrass

sod

71,447 sf



flagship  
homes

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SANTAQUIN ESTATES

LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
planting  
overview

L2.0



This site plan illustrates a residential development layout. The plan is divided into several lots, with numbers 21 through 35 and 58, 59. A road network is shown, including a main road and several access roads. A "POCKET PARK (SEE SHEET L3.0)" is located near lot 35. A building complex, consisting of several interconnected rectangular structures, is situated in the lower right corner, adjacent to lot 21. A dashed line indicates an "OVERHEAD POWER RMP EASEMENT" running diagonally across the plan. Various symbols, including circles with "SD" and small squares, are used to denote specific features or utilities. The plan also shows a series of trees along a road and a small structure near lot 21.

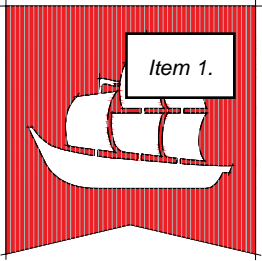
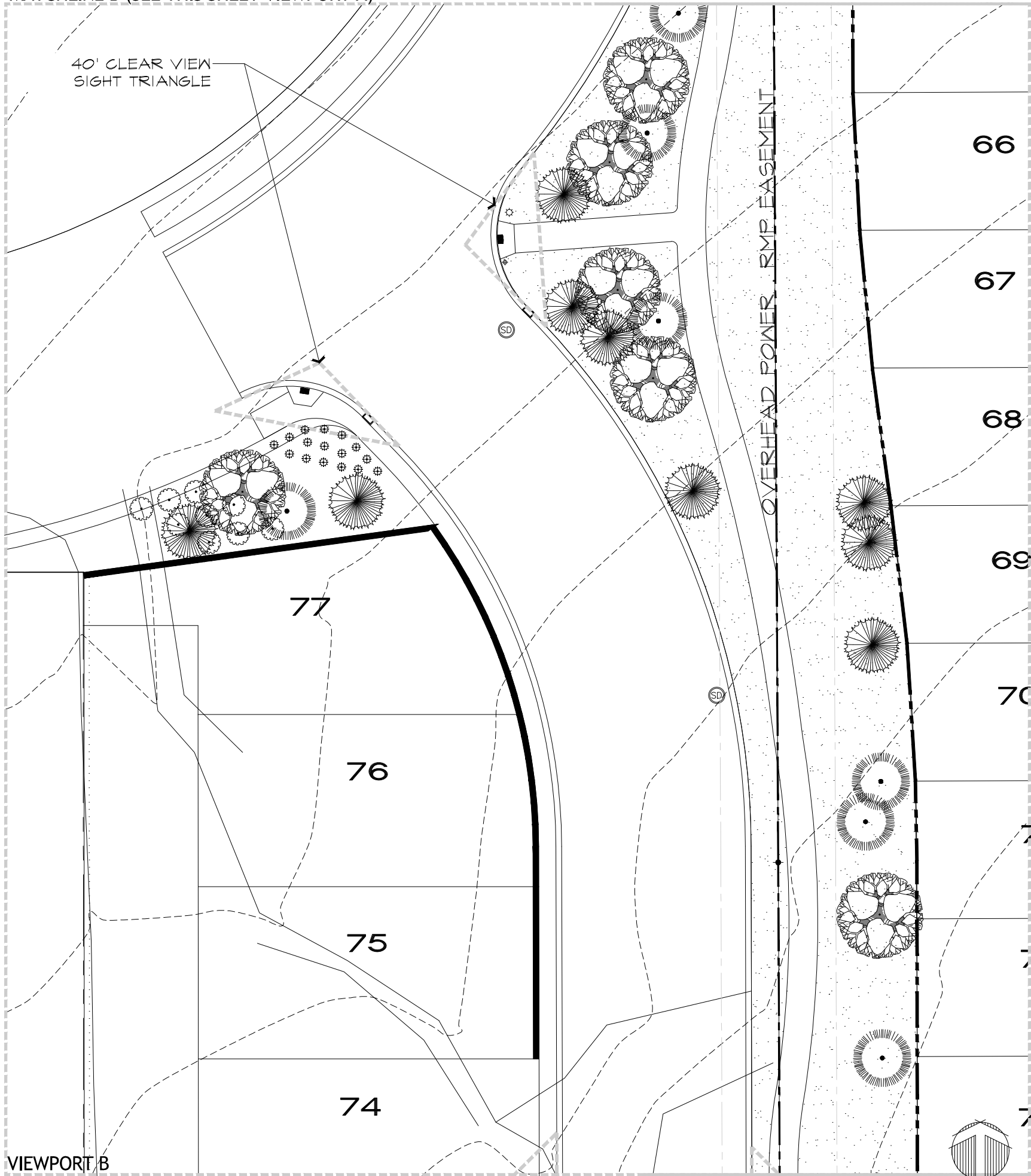
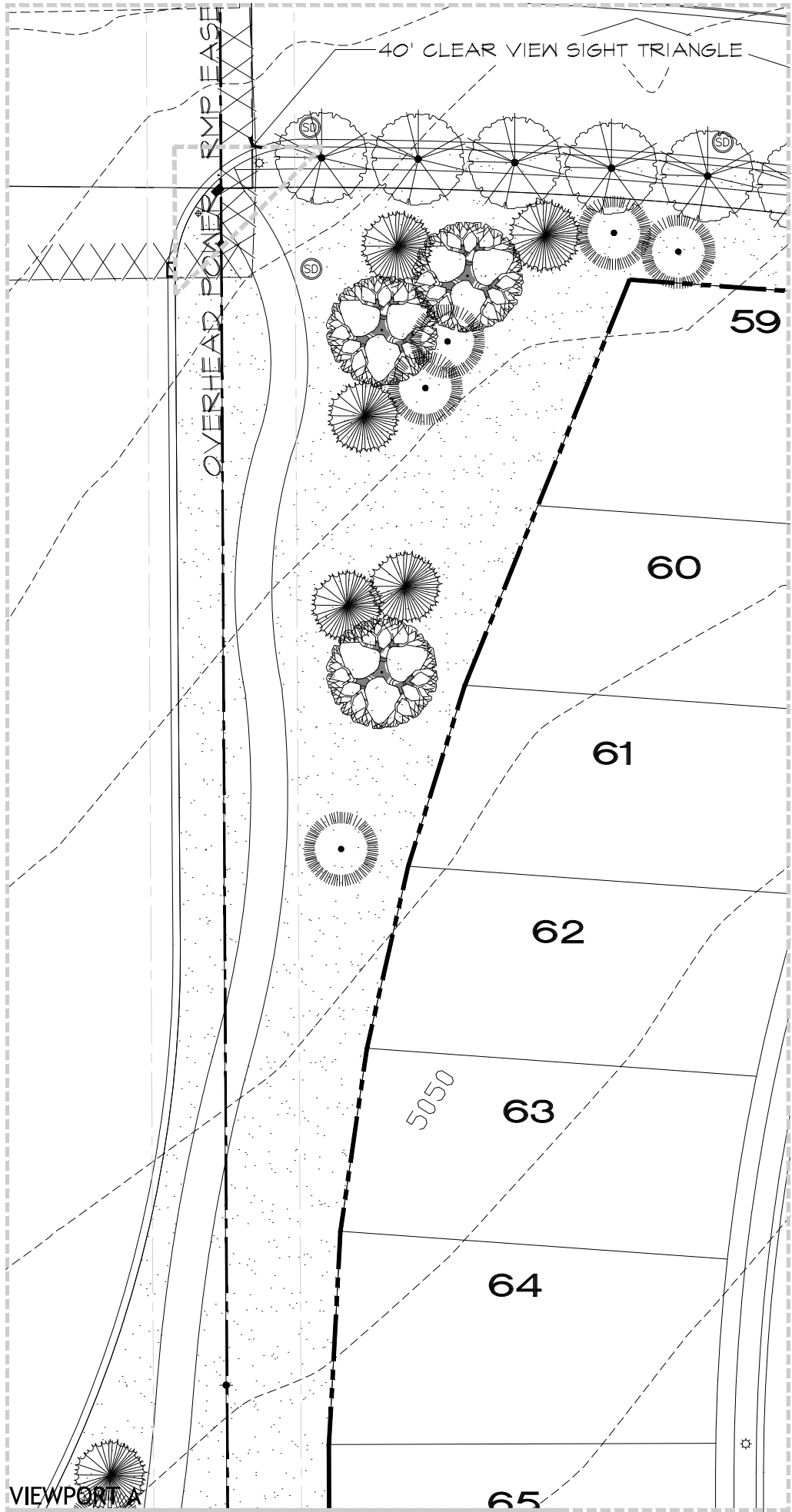


# ANTAQUIN ESTATES

## LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

LANDSCAPE  
planting plan



flagship  
homes

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# SANTAQUIN ESTATES

LANDSCAPE PLANS

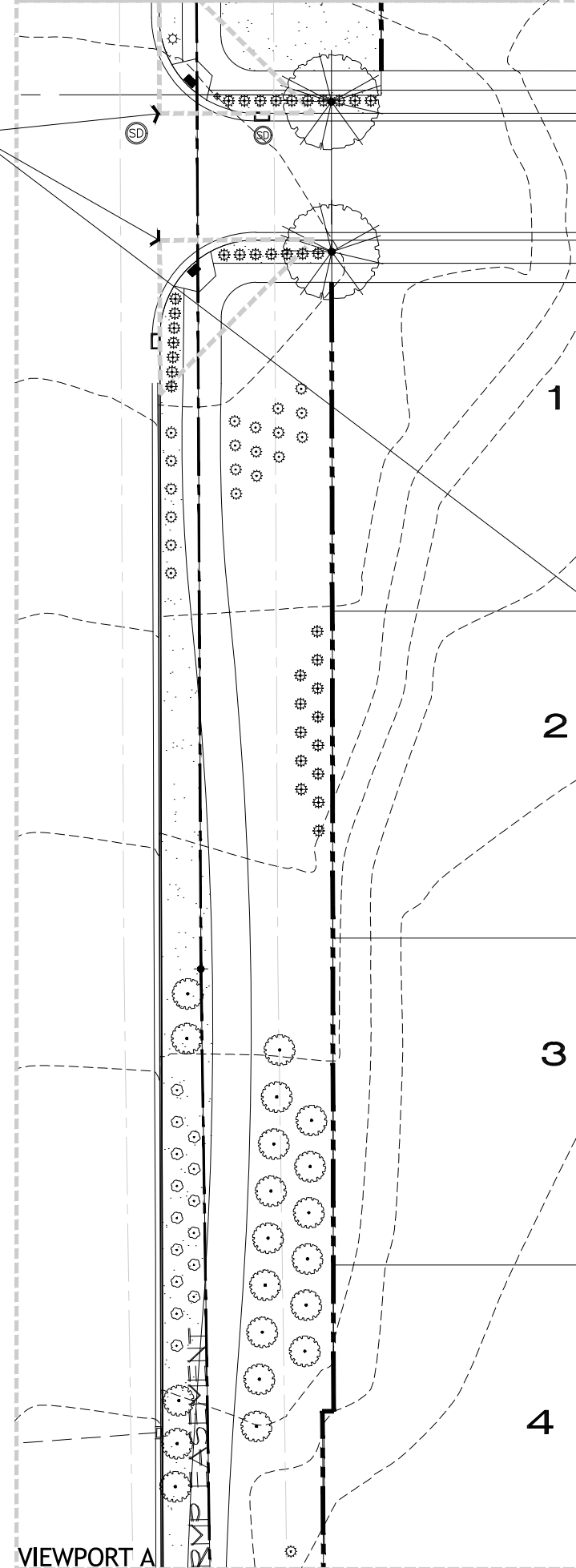
Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
planting plan

40' CLEAR VIEW  
SIGHT TRIANGLE

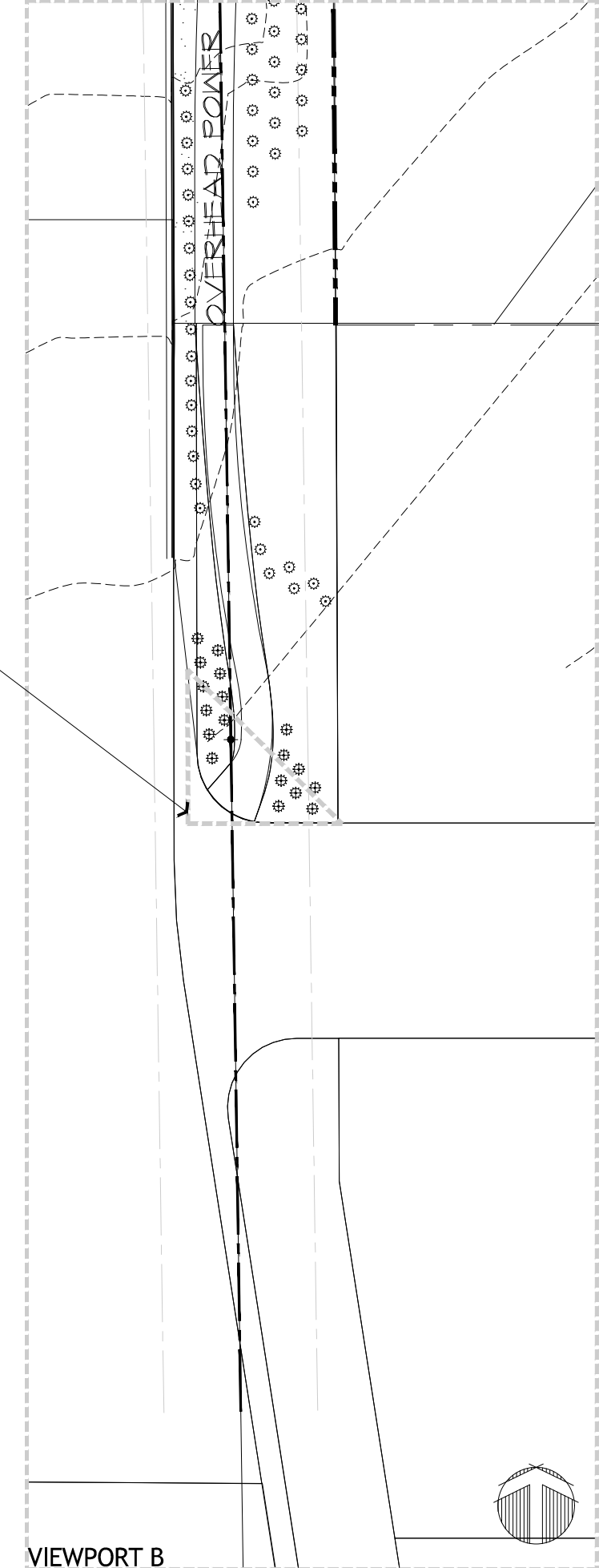
MATCHLINE C (SEE SHEET L2.2 VIEWPORT B)



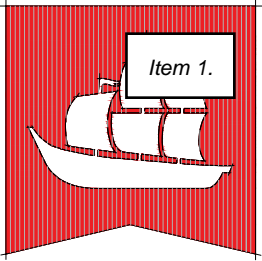
VIEWPORT A

MATCHLINE D (SEE THIS SHEET VIEWPORT B)

MATCHLINE D (SEE THIS SHEET VIEWPORT A)



VIEWPORT B



flagship  
homes

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SANTAQUIN ESTATES

LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
planting plan

L2.5

23





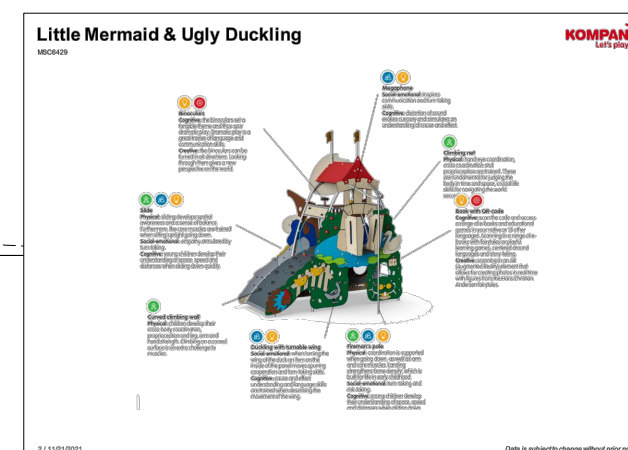
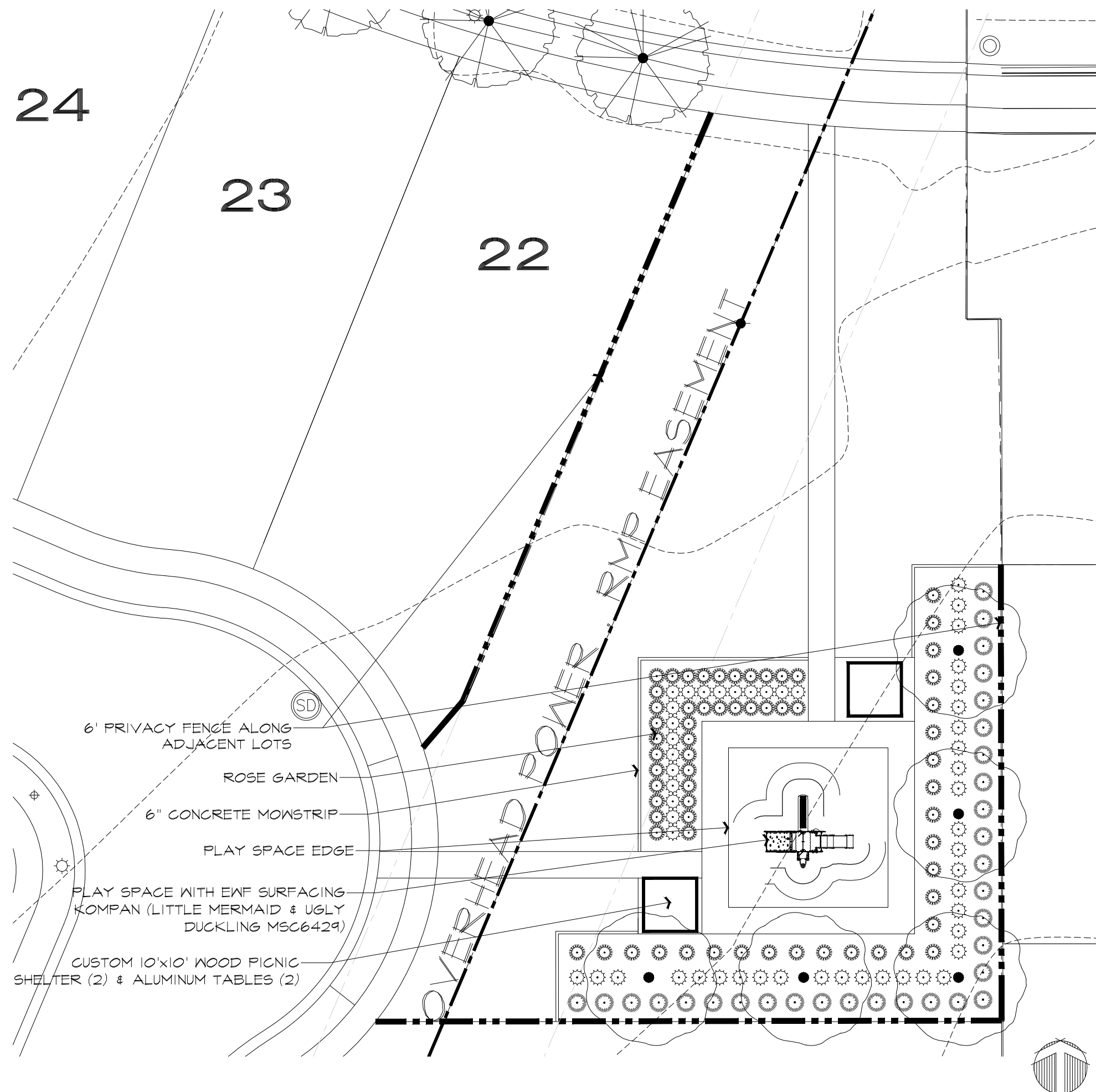
# ANTAQUIN ESTATES

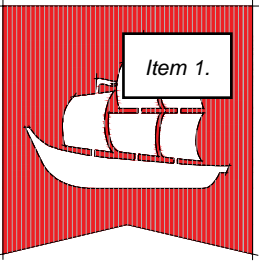
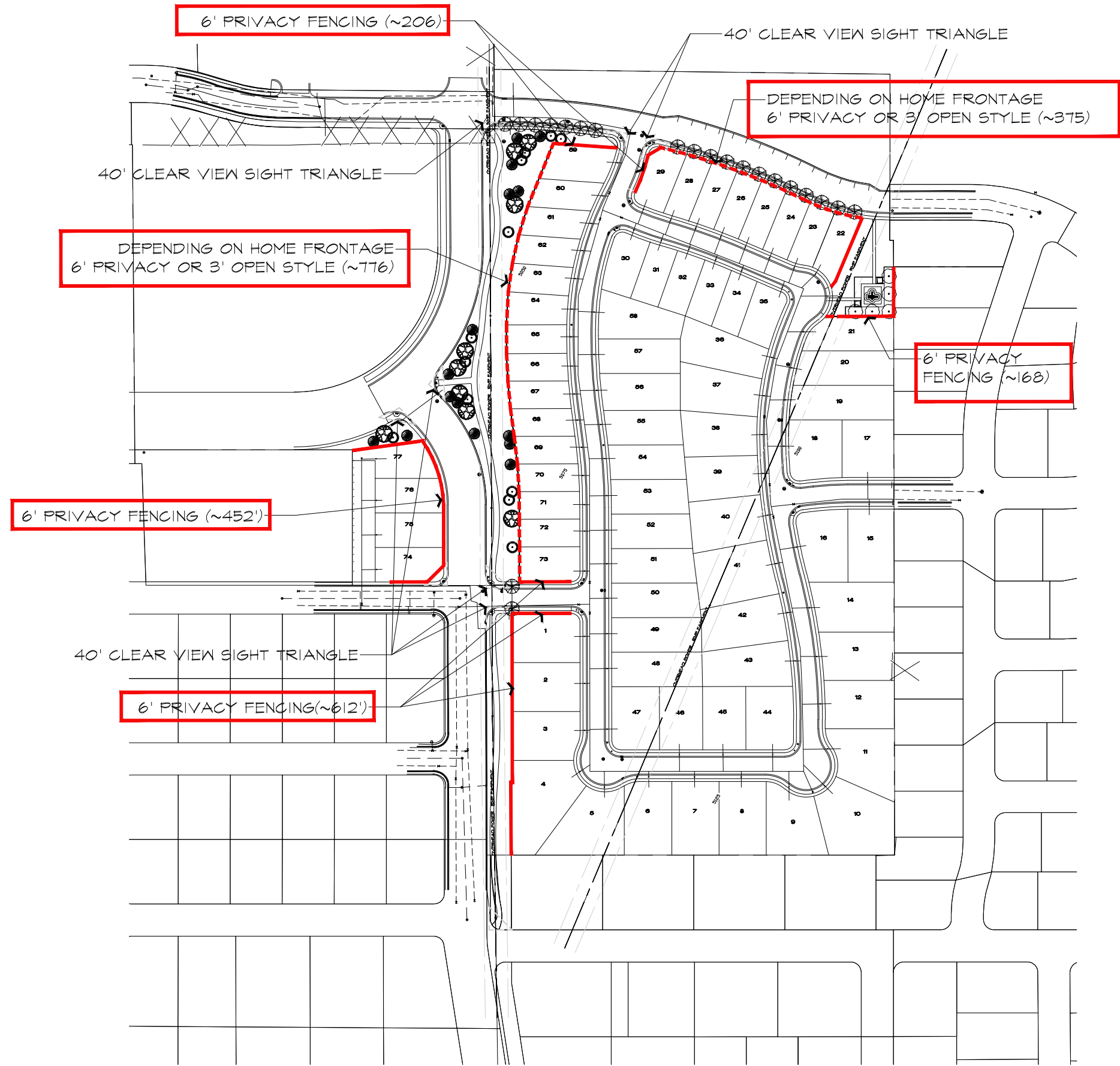
## LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

LANDSCAPE  
amenity plan

L3.0





flagship  
homes

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# SANTAQUIN ESTATES

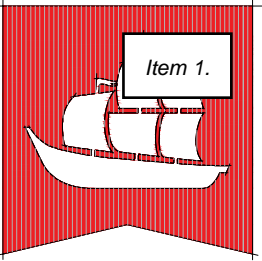
## LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
fencing overview





flagship  
homes

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located and marked

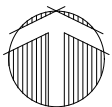
# SANTAQUIN ESTATES

LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE  
fencing overview







**DRC Meeting Minutes**  
**Tuesday, January 11, 2022**

**DRC Members in Attendance:** Engineer Jon Lundell, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Community Development Director Jason Bond, and City Manager Ben Reeves.

**Others in Attendance:** Assistant City Manager Norm Beagley, Staff Planner Ryan Harris. Kurt Greenhalgh and Gavin West representing the Green Hollow Subdivision. Kaden Cole and Shawn Herring representing the Hills at Summit Ridge Plats H, I, J, and K. Jody Reid,

Mr. Lundell called the meeting to order at 10:01 a.m.

**Green Hollow Final Subdivision Review**

*A final review of a 22-lot subdivision located at approximately 300 W. and 500 N.*

Mr. Lundell explained that this subdivision was previously tabled by the DRC pending Planning Commission approval to modify the cross sections of 200 W. 450 N. and 300 W. He stated that this was reviewed by the Planning Commission who granted approval for the modified street cross sections.

**Engineering:** Mr. Lundell indicated that there are still outstanding redlines remaining on the storm drain report. He explained that the County Surveyor's Office is requesting that a PLSS certificate be completed for new subdivisions to protect survey monuments. Mr. Lundell stated that currently there is no P.I. line existing between approximately 450 N. and 500 north within 300 W. as is shown on the plans. He noted that it is a pressure zone breaks at this location in the P.I. system. He pointed out that a streetlight will be needed at the east end of 450 N. because the 500-foot distance is exceeded.

Mr. Lundell asked the developer if they have contacted the Post Office regarding the location of the P.O. box. Mr. West stated that he will provide verification from the Post Office regarding the location of the boxes. Mr. Lundell indicated that a 2-inch overlay will be required on 300 W. due to the amount of road cuts required. He noted that the Storm Brix don't seem to be distributed appropriately throughout the development. He asked that the developer also provide verification of the volumes on the storm drain report. Mr. Lundell stated that any storm drain located on private property will need be located within an easement in favor of the city. He noted that at least 5 feet of separation is needed between the back of curb and the infiltration gallery.

Mr. Bond appreciates that the developer is developing this subdivision concurrently.

No comments from Public Works, Fire, Planning and Zoning, or Administration.

**DRC Meeting Minutes**  
**January 11, 2022**  
**Page 2 of 5**

**Motion:** Mr. Bond motioned to approve the Green Hollow Subdivision Final Review with the condition that Engineering redlines be addressed. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

**The Hills at Summit Ridge Plat H Final Review**

*A final review of a 10-lot subdivision located at approximately Deerbrook Road and Windsong Drive.*

**Public Works:** Mr. Callaway asked if there are any P.I. drains for this phase? Mr. Lundell explained that the low spot of the area (Plat H) is the intersection of Cypress Point/Sageberry Drive and Deerbrook Road. He noted that there is an existing 2-inch drain at that low spot, but he doesn't know if it's the permanent low spot based upon the grading. Mr. Herring confirmed that this is the low spot. Mr. Beagley asked that the low spot is noted on the plans and all PI pipeline flow arrows be shown.

**Planning and Zoning:** Mr. Bond explained that the landscaping along the pond will need to match the existing landscaping along the top of the retention pond as was determined with previous phases.

**Engineering:** Mr. Lundell noted that the backfill for all trenches must be A-1-a material. If the developer wants to use native material for backfill, additional third-party testing is required. He noted that plat H is the only phase that can be developed alone as it isn't dependent upon other phases. Phases I, J, and K need to be developed concurrently to provide adequate waterline looping and road connection to all 3 phases. Mr. Lundell added that a PLSS certificate will need to be taken care of with the County Surveyor's Office.

Mr. Lundell indicated that it is the city's understanding that Salisbury is no longer the developer and asked that this be updated on the plat. He explained that a note regarding Santaquin being an agricultural community will be required on the plat. Mr. Lundell noted that the curve information doesn't match between Plats H and J. Mr. Lundell indicated that open space dedication is required due to the number of lots. It appears that there is a deficit regarding the amount of open space. The open space dedication needs to be included with either plat H or J.

Mr. Lundell explained that there is an existing 16-inch waterline that runs through this plat, the contractors doing the mass grading have indicated that there may not be enough cover over the waterline when this development is finished per the current grading design. Mr. Lundell noted that a privacy fence is required between the residential and retention basin area. He noted that that there must be 10 feet separation between the culinary and sewer lines per State Code. Mr. Lundell added that the existing berm between the finished portion of pond and unfinished area, needs to be removed from the basin during construction of the final basin per design.

No comments from Fire, or Administration.

**DRC Meeting Minutes**  
**January 11, 2022**  
**Page 3 of 5**

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat H with the condition that all Engineering redlines be addressed. Chief Lind seconded. The motion passed unanimously in the affirmative.

### **The Hills at Summit Ridge Plat I Final Review**

*A final review of a 9-lot subdivision located at approximately Deerbrook Road and White Sage Drive.*

**Engineering:** Mr. Lundell asked that the developer works with the Post Office to ensure that the Mailbox Units (MBU's) are in the appropriate location and any easements required are provided.

No comments from Public Works, Fire, Planning and Zoning or Administration.

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat I with the condition that the Engineering redlines be addressed; and that construction does not move forward until there is appropriate access through plats H, J, and K. Chief Lind seconded. The motion passed unanimously in the affirmative.

### **The Hills at Summit Ridge Plat J Final Review**

*A final review of a 41-lot subdivision located at approximately Cypress Point Drive and Monarch Loop.*

**Engineering:** Mr. Lundell explained that the existing 16-inch culinary waterline cannot be relocated. He reiterated that the developer needs to adjust the proposed final grading for the finish roadway to provide appropriate cover over the water line. He stated that the city is working on installing a 16-inch pressure line irrigation line. He noted that the new PI line will be the same depth, approximately 3 to 4 feet deep, as the culinary water line, it will be offset of the culinary water line but will follow that similar alignment. Mr. Lundell asked for details regarding phase G, as it is currently showing lots with no utilities. Will the proposed church be located there? He indicated that the plans would need to show the correct utility connections if lots are to be fronting Sageberry Drive. Mr. Herring stated that they have since adjusted the plans to show the church and coordinating utilities and will provide these updated plans.

**Planning and Zoning:** Mr. Bond recommended that a T intersection be installed at the intersection of Wild Rose Blvd and Cypress Point Dr. He clarified that Cypress Point Dr. is known as Sageberry Dr and should be changed. He asked if Wild Rose Blvd will continue through the development? Mr. Herring answered that the road is expected to stay in line with the existing waterline easement. Mr. Bond suggested that Wild Rose Blvd be re-labeled Mountain View Drive if it will connect to that road at the north end of the future development.

**DRC Meeting Minutes**  
**January 11, 2022**  
**Page 4 of 5**

Mr. Lundell stated that he would like to get Police input regarding the stop sign locations.

No comments from Public Works, Fire, or Administration

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat J with the following conditions: That more information be provided regarding the plans for Plat G. That the Engineering redlines be addressed. That discussion be held with Public Safety regarding stop sign locations. And that Plat J moves forward concurrently with plats H, I, and K to provide the required waterline looping and access. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

### **The Hills at Summit Ridge Plat K Final Review**

*A final review of a 21-lot subdivision located at approximately Monarch Loop and White Sage Drive.*

Mr. Lundell asked that all trail improvements be installed all at one time rather than splitting them up between the proposed plat K and the future plat O. Mr. Bond indicated that it would be preferable if the trail improvements were to be constructed with Plat K. Mr. Lundell asked that details for the trail corridor be provided on the plat. He added that per the development agreement a 6-foot tan vinyl fence will be required between the trail corridor and property line.

No comments from Public Works, Fire, Planning and Zoning or Administration.

**Motion:** Mr. Callaway motioned to approve the Hills at Summit Ridge Plat K with the following conditions: that the Engineering redlines be addressed. And that the plat moves forward concurrently with plats H, I and J do to provide required access and waterline looping. Chief Lind seconded. The motion passed unanimously in the affirmative.

### **Traffic Control Request for Striping on Highland Drive**

*The DRC will review a traffic control request for roadway striping on Highland Drive.*

Mr. Lundell presented the data provided by the traffic count conducted. The maximum amount of traffic North bound set at 400 S. was 3400 cars within a day. South bound which was set about 450 S. was 3943 cars within a day. Mr. Lundell explained that per the Manual on Uniform Traffic Control Devices (MUTCD) (both Federal and State) require 6000 cars per day to warrant striping. Mr. Lundell stated that based upon the information provided striping isn't warranted on this roadway at this time.

**DRC Meeting Minutes**  
**January 11, 2022**  
**Page 5 of 5**

**Public Works:** Mr. Callaway stated that he likes the striping coming into the intersections. As far as striping along Highland Drive it would create a recurring cost that would have to be done every few years. He doesn't believe that the current traffic count warrants it.

**Fire:** Chief Lind noted that striping coming into the intersection helps align drivers within the intersection. He added that they don't see many accidents within this area. He thinks the striping should be held off for now.

**Engineering:** Mr. Bond stated that he likes Mr. Callaway's proposal. Mr. Lundell explained that Mr. Callaway's proposal is to install delineators along Highland Drive on the side that abuts I-15. He explained that a delineator is a pole with a small reflective circle at the top. This would help delineate between traffic on I-15 and Highland Drive and help traffic from going off the asphalt. This would also help snowplow drivers, etc. He added that the maintenance cost over the life cycle is minimal.

**Administration:** Mr. Reeves stated that he's supportive of this idea. He noted that he believes that traffic should be reevaluated after Foothill Village is fully built out.

Ms. Jody Reid (the traffic control request applicant) explained that she appreciates that this will be reevaluated with the future growth in the area. She stated that she is in support of this idea, as it addresses other problems and is cost effective.

**Motion:** Mr. Callaway motioned to install delineators along the West side of Highland Drive from Main Street to Canyon Road. Chief Lind Seconded. The motion passed unanimously in the affirmative.

## MEETING MINUTES APPROVAL

December 14, 2021

January 4, 2022

**Motion:** Mr. Reeves motioned to approve the minutes from December 14, 2021, and January 4, 2022. Mr. Callaway seconded. The motion passed unanimously in the affirmative.

## ADJOURNMENT

Mr. Reeves motioned to adjourn at 11:16 a.m.

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Jon Lundell, City Engineer

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Kira Petersen, Deputy Recorder