

### DEVELOPMENT REVIEW COMMITTEE

Tuesday, February 08, 2022, at 10:00 AM Court Room/Council Chambers (2nd Floor) and Online

### **MEETINGS HELD IN PERSON & ONLINE**

The public is invited to participate as outlined below:

- In Person Meetings are held on the 2<sup>nd</sup> floor in the Court Room/Council Chambers at City Hall
- YouTube Live Public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <a href="https://bit.ly/2P7ICfQ">https://bit.ly/2P7ICfQ</a> or by searching for Santaquin City Channel on YouTube.

### **ADA NOTICE**

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

### **AGENDA**

### **NEW BUSINESS**

### 1. Santaquin Estates Final Plat Review

A final review for a proposed 78-lot subdivision (77 residential, 1 commercial) located at approximately Main Street and 900 East. This subdivision is proposed to be done in one phase.

### 2. Traffic Control Device Request

The DRC will review a request for a traffic control device to help with speed control at approximately 300 West and 550 S.

### **MEETING MINUTES APPROVAL**

3. January 11, 2022

### **AJOURNMENT**

### **CERTIFICATE OF MAILING/POSTING**

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted on <a href="https://www.santaquin.org">www.santaquin.org</a>, as well as posted on the State of Utah's Public Notice Website.

BY:

K. Aaron Shirley, City Recorder

## SANTAQUIN ESTATES **CONSTRUCTION PLANS**

SANTAQUIN, UTAH

prepared for:

FLAGSHIP HOMES

170 SOUTH INTERSTATE PLAZA SUITE 250 LEHI. UT 84043

PHONE: (801)766-2592

prepared by:

TRANE ENGINEERING

27 EAST MAIN STREET

LEHI. UT 84043 PHONE: (801) 768-4544

### **GENERAL NOTES:**

All culinary mainline piping shall be placed with a minimum of 4'-0"cover over the top of the pipe. mainline is a minimum of 24" of cover over the top of the pipe. Gas lines must meet Dominion

Energy's bury requirements.

2. All new culinary water and pressurized irrigation main line pipe shall be PVC C900 DR 18 class 150 unless otherwise approved by the city.

3. Minimum of 8'in diameter culinary water and 6"in diameter pressurized irrigation for new main line

pipes.
4. A minimum of 50 PSI static pressure shall be required at all points in the culinary water system Culinary water service meter boxes shall be located within the 6' planter strip. Meters shall be

located only in landscaped areas. 6. The minimum required fire flow at the fire hydrant locations shall be 1500 GPM

When required, pressure reducing valve vaults (PRV) shall be located as directed by the City or City Engineer. The City or City Engineer shall provide the contractor with the appropriate downstream pressure setting.

Fire hydrants shall be located at all intersections. The maximum spacing between fire hydrants shall not exceed 500'measured along a public right-of-way.

9. Only City personnel shall open and close city water valves, unless otherwise approved in writing by

the City.

10. All water samples for culinary water testing shall be collected and delivered by City personnel. The

ontractor shall pay for the testing expense.

11. Tapping into water lines shall not be allowed in groundwater or mud.

12. All culinary water mainline valves must be attached to the fixture within the intersection and pressurized irrigation mainline valves shall be located in line with corner lot property lines.

13. All mainline sewer piping sizes 8" to 15" shall be PVC and shall be supplied in lengths no longer than 13'. Main line pipe sizes 18" and larger shall be reinforced concrete pipe.

14. All sewer service laterals taps on existing lines shall be "inserta—tee-type" connections.

15. The contractor shall provide, install, and maintain all road construction, barricades, channeling devices, and construction signs in accordance with the Manual of Uniform Traffic Control Devices (MUTCD) for road construction activities.

(MUTCD) for road construction activities.

16. Traffic access shall be maintained for local residents to properties along construction boundaries.

17. Work performed with the State Highway rights—of—way shall conform to State of Utah specifications for excavation on State Highway prepared by the Department of Transportation.

18. All debris resulting from work on the project shall be disposed of by the contractor. The contractor shall make appropriate arrangements for disposal sites at which debris may be lawfully disposal.

disposed.

19. No open burning of construction debris shall be allowed.

20. The contractor shall provide mailboxes and posts according to US Postal Service standards and shall place them in the planter strips at locations designated by USPS and the City.

- 1. The developer and the general contractor understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all state and Santaquin City codes, ordinances and standards. These plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the developer or general contractor from the full compliance with all minimum state and Santaquin City codes, ordinances and standards.

  2. All recommendations made in a pertinent geotechnical report/study shall be followed explicitly
- during construction of building and site improvements

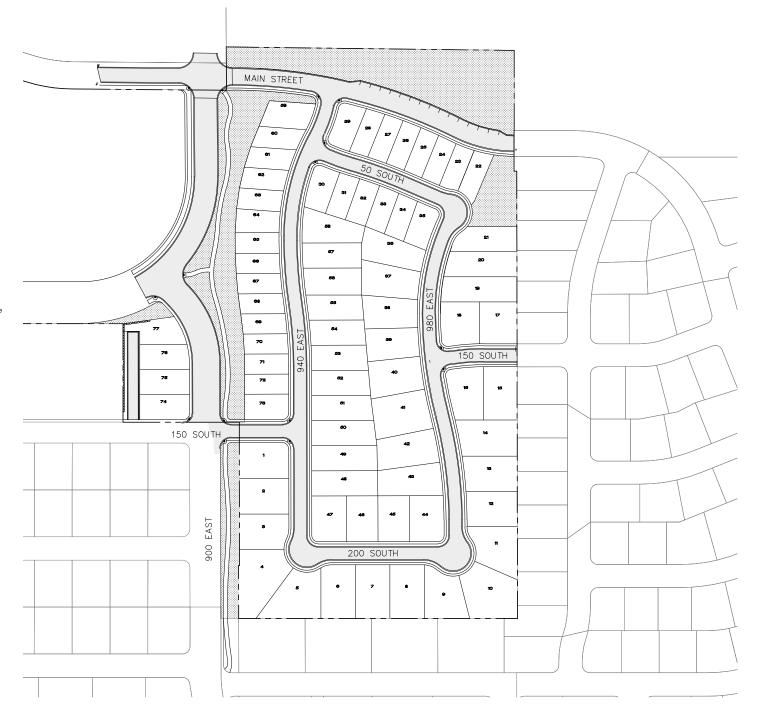
DRAWN BY:

CHECK BY: DATE:

### **BENCHMARK**

EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 9S, RANGE 2E





### SHEET INDEX

SHEET NO. SHEET NAME

COVER SHEET

UTILITY PLAN

GRADING & DRAINAGE PLAN

PP MAIN STREET

PP 900 EAST

PP 940 EAST

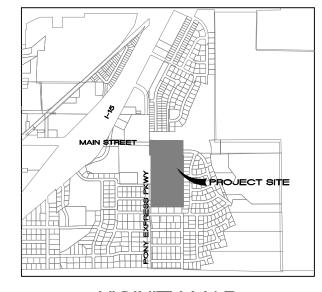
PP 980 EAST

PP 50 SOUTH & 200 SOUTH

PP 150 SOUTH

PRELIMINARY PLAT

LAND USE: PLAT "A" = 30.86 ACRES ZONING= C-1, R-10 (PUD) TOTAL LOTS= 77 LOTS ACREAGE IN LOTS= 15.15 ACRES ACREAGE IN ROW= 8.11 ACRES OPEN SPACE DEDICATION= 3.50 ACRES 5.42 ACRES ACREAGE COMMERCIAL= 2.43 LOTS/ACRE



VICINITY MAP

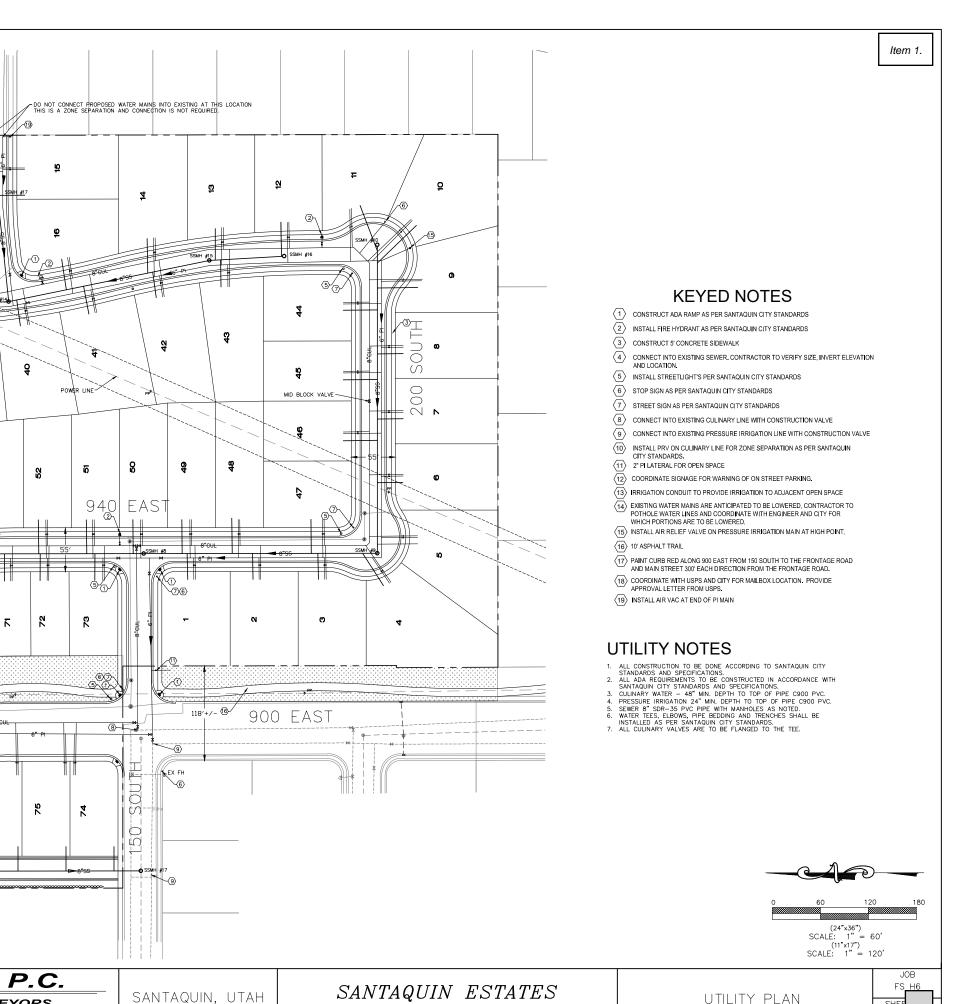


TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

SANTAQUIN, UTAH

SANTAQUIN ESTATES A RESIDENTIAL SUBDIVISION

2



		REVISIONS			
ND.	DATE	DESCRIPTION	BY	DESIGNED BY:	TGT
1	2/22/21	RED LINES	TT	DRAWN BY:	TT
2				CHECK BY:	TGT
3				DATE:	2/1/22
4				COGO FILE:	
IN EL ACCUEDA LIA DIGENIO. IL LA COLLUTTI ETV. I					

0

STREE FEE

NA!!N

8

₹3 8

8

8" WATER STUB FOR FUTURE COMMERCIAL 2" PI LATERAL FOR COMMERCIAL OPEN SPACE
8" SEWER STUB FOR FUTURE COMMERCIAL

6

FRONTAGE ROAD

မွ

TRANE ENGINEERING, P.C. CONSULTING ENGINEERS AND LAND SURVEYORS 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

φ

37

4" SEWER LATERAL TYP.
1" PI LATERAL TYP.
1" WATER LATERAL T

99

67

50

8

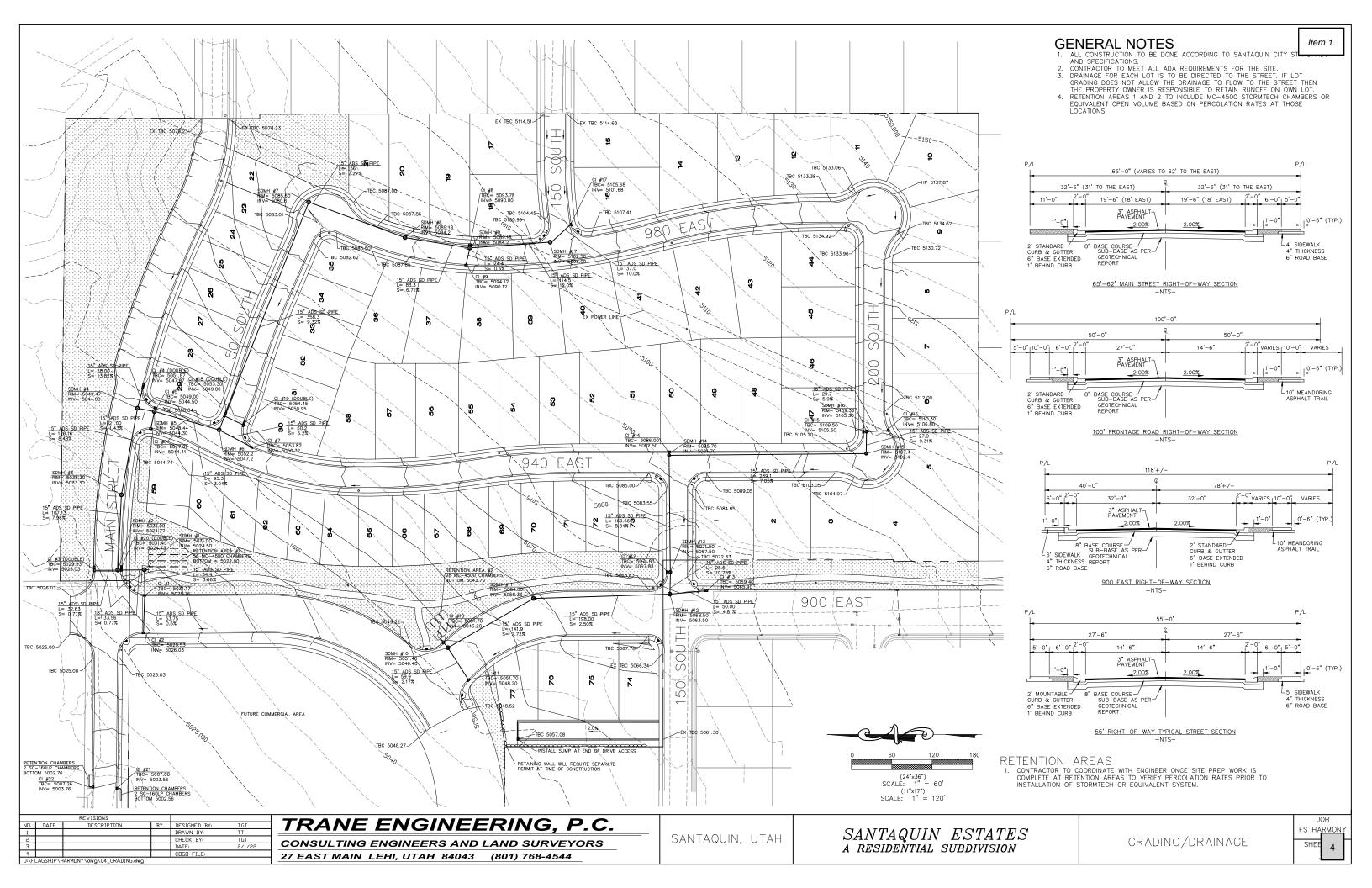
8

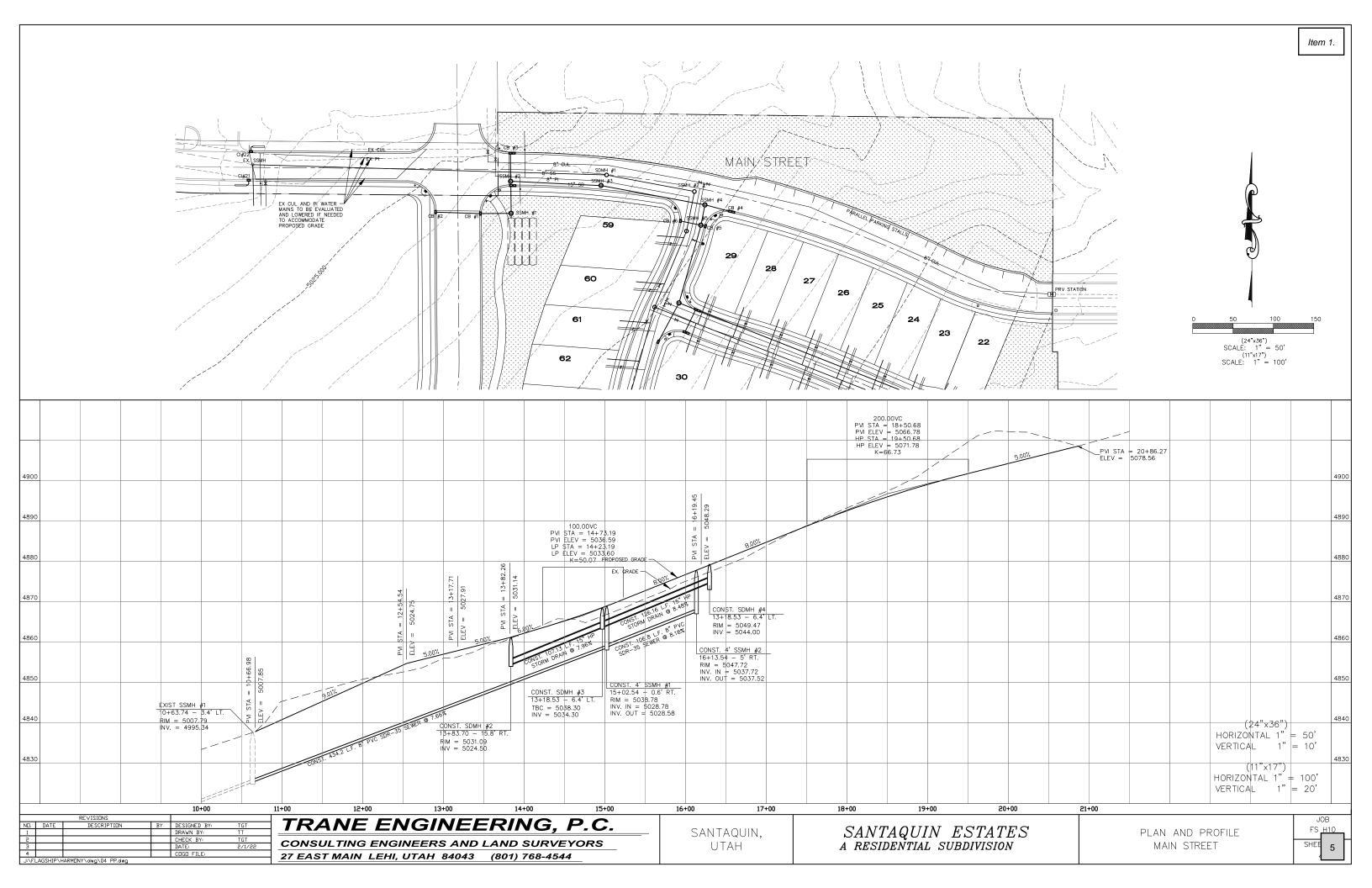
89

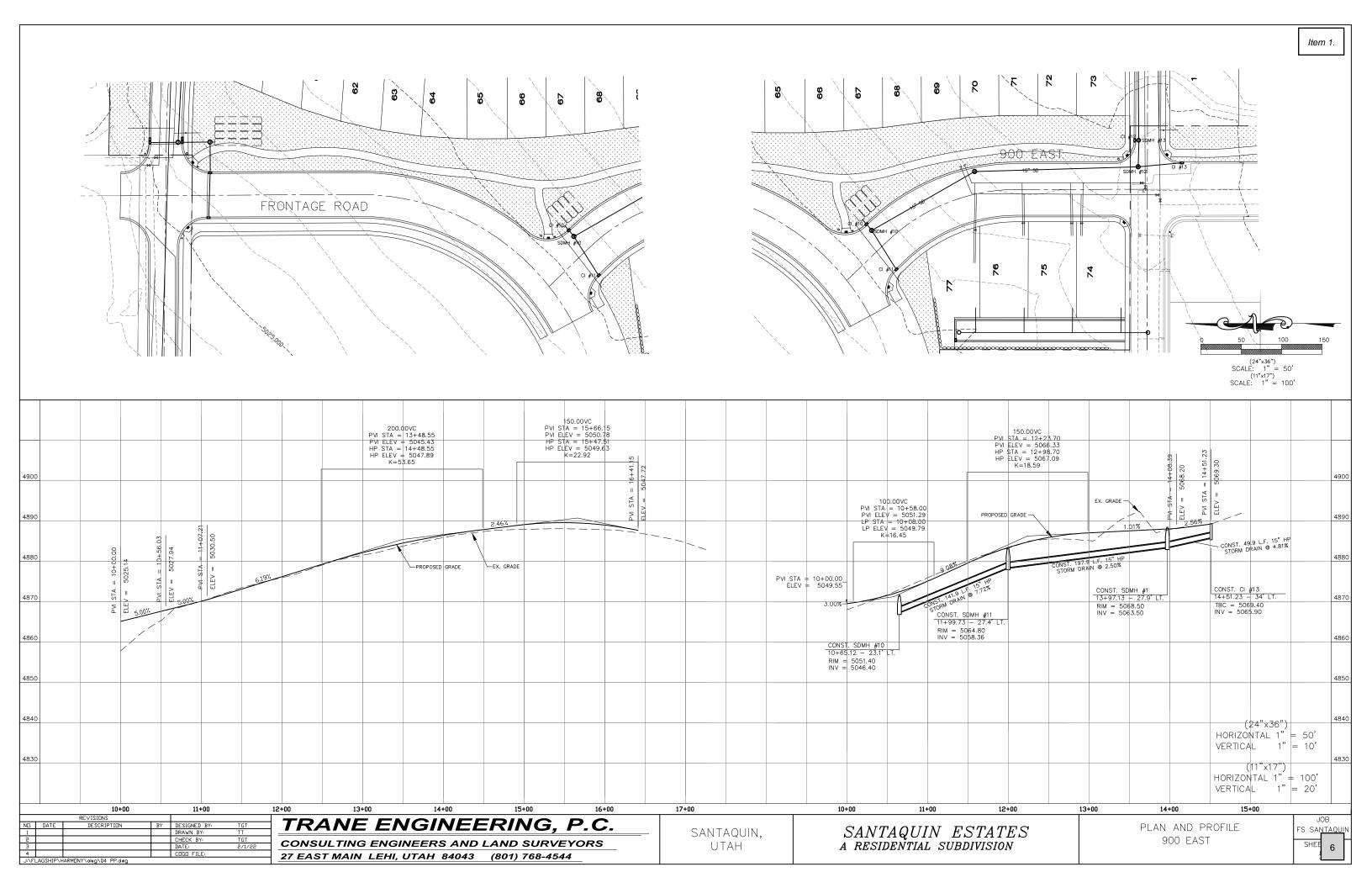
980

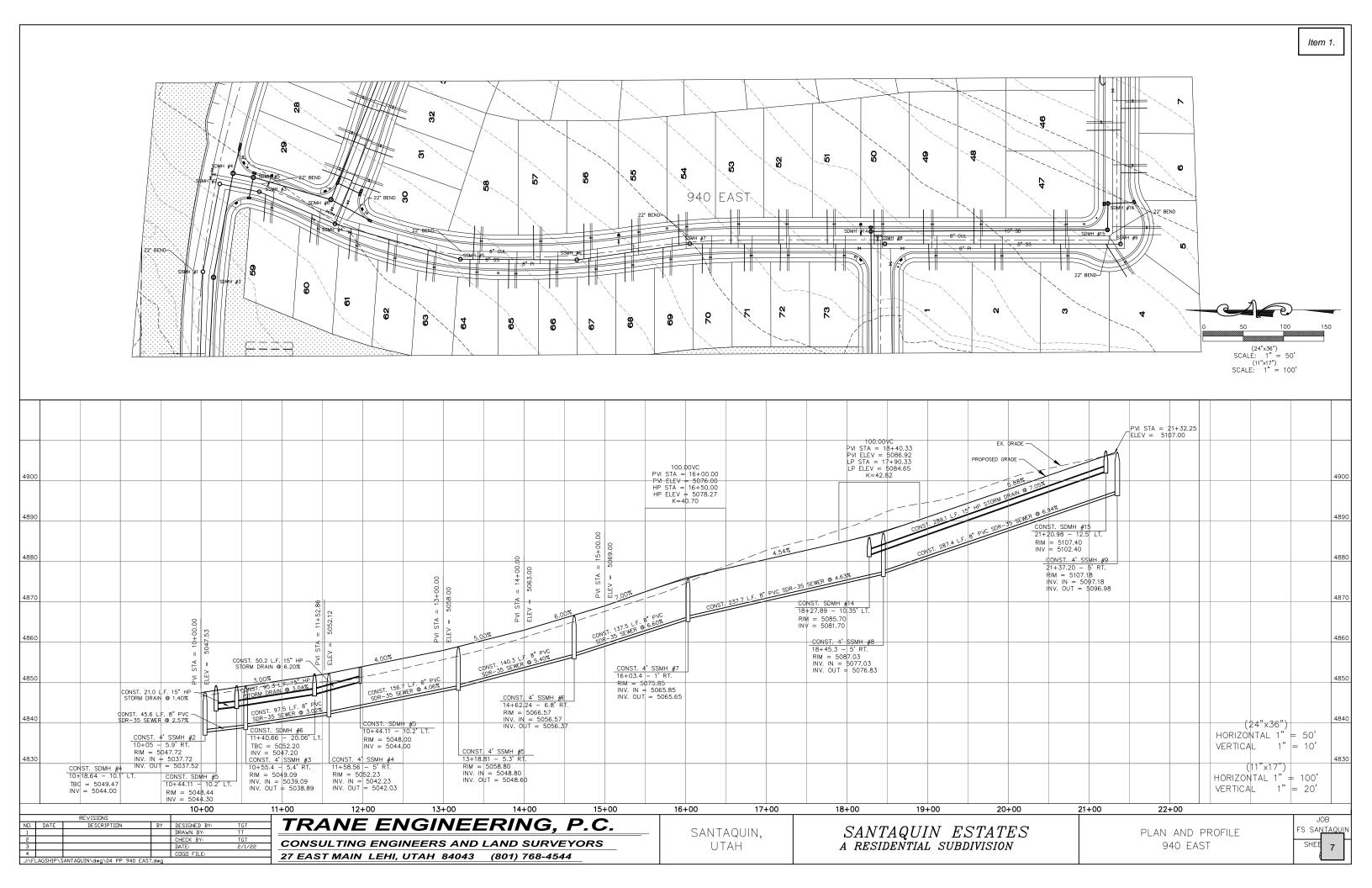
SANTAQUIN ESTATES A RESIDENTIAL SUBDIVISION



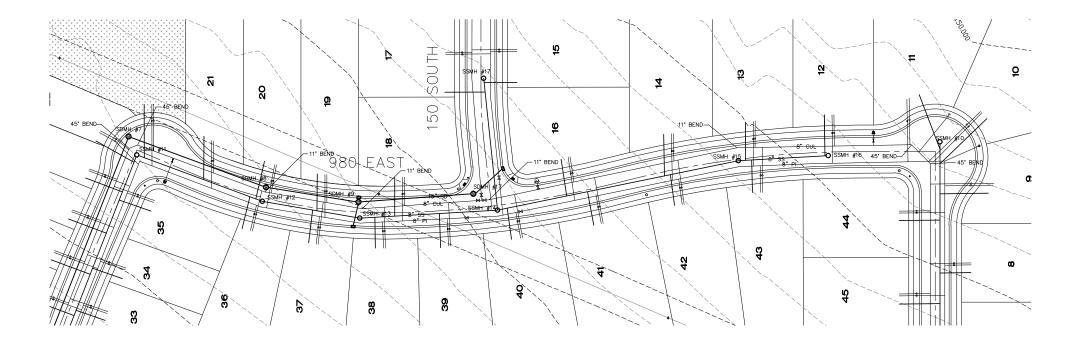


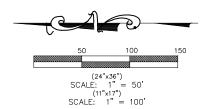


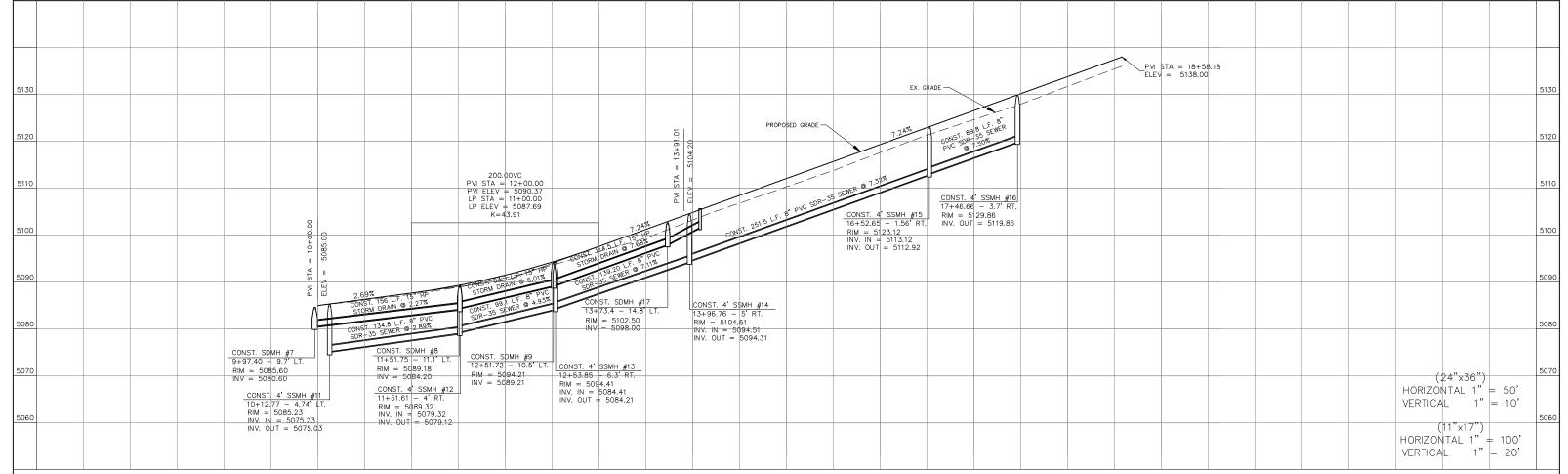












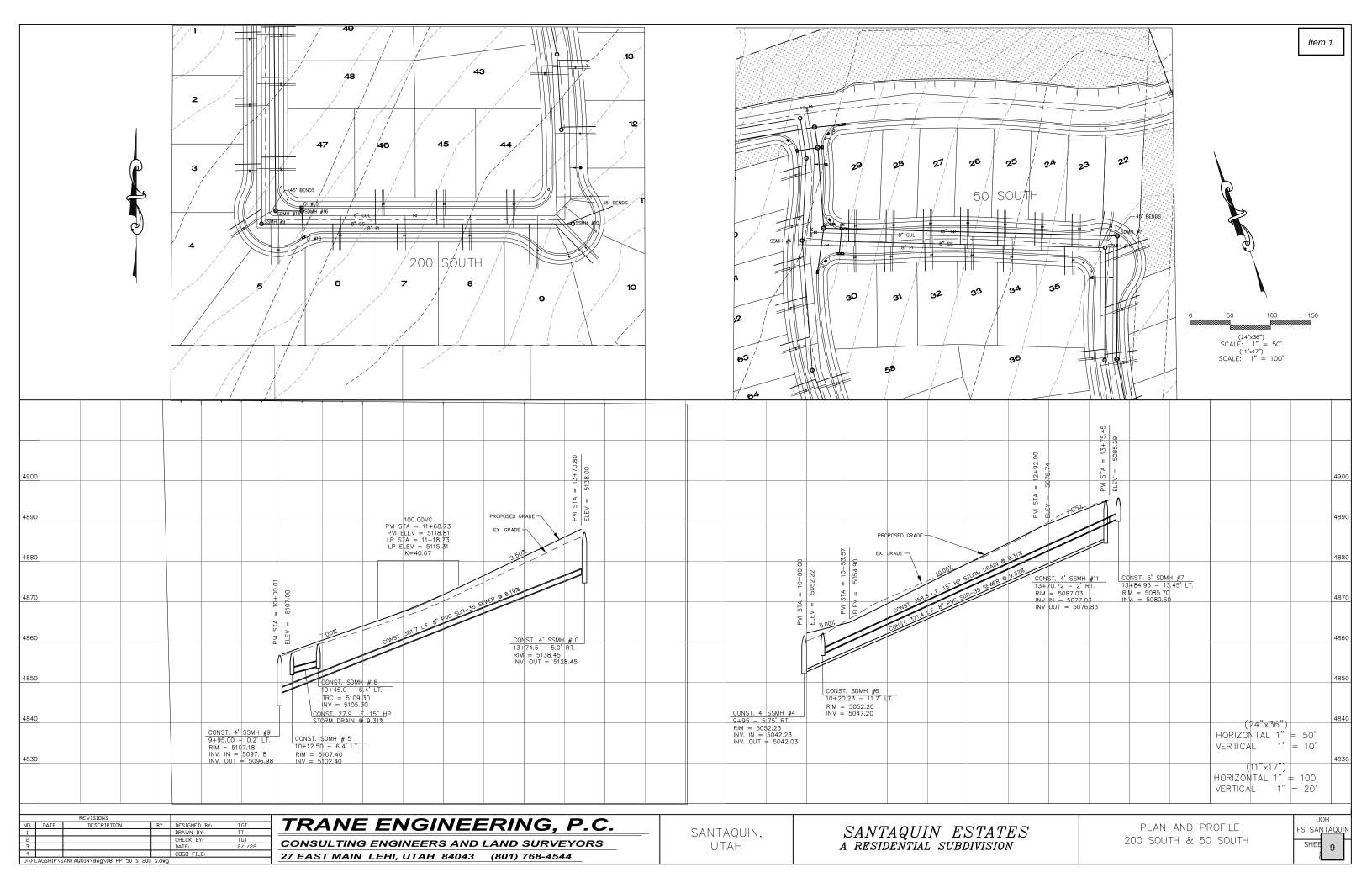
Ι			REVISIONS			
Ι	ND.	DATE	DESCRIPTION	BY	DESIGNED BY:	TGT
Γ	1				DRAWN BY:	TT
Γ	2				CHECK BY:	TGT
Ι	3				DATE:	2/1/22
Ι	4				COGO FILE:	
[	J:\FLAGSHIP\SANTAQUIN\dwg\07 PP 980 EAST.dwg					

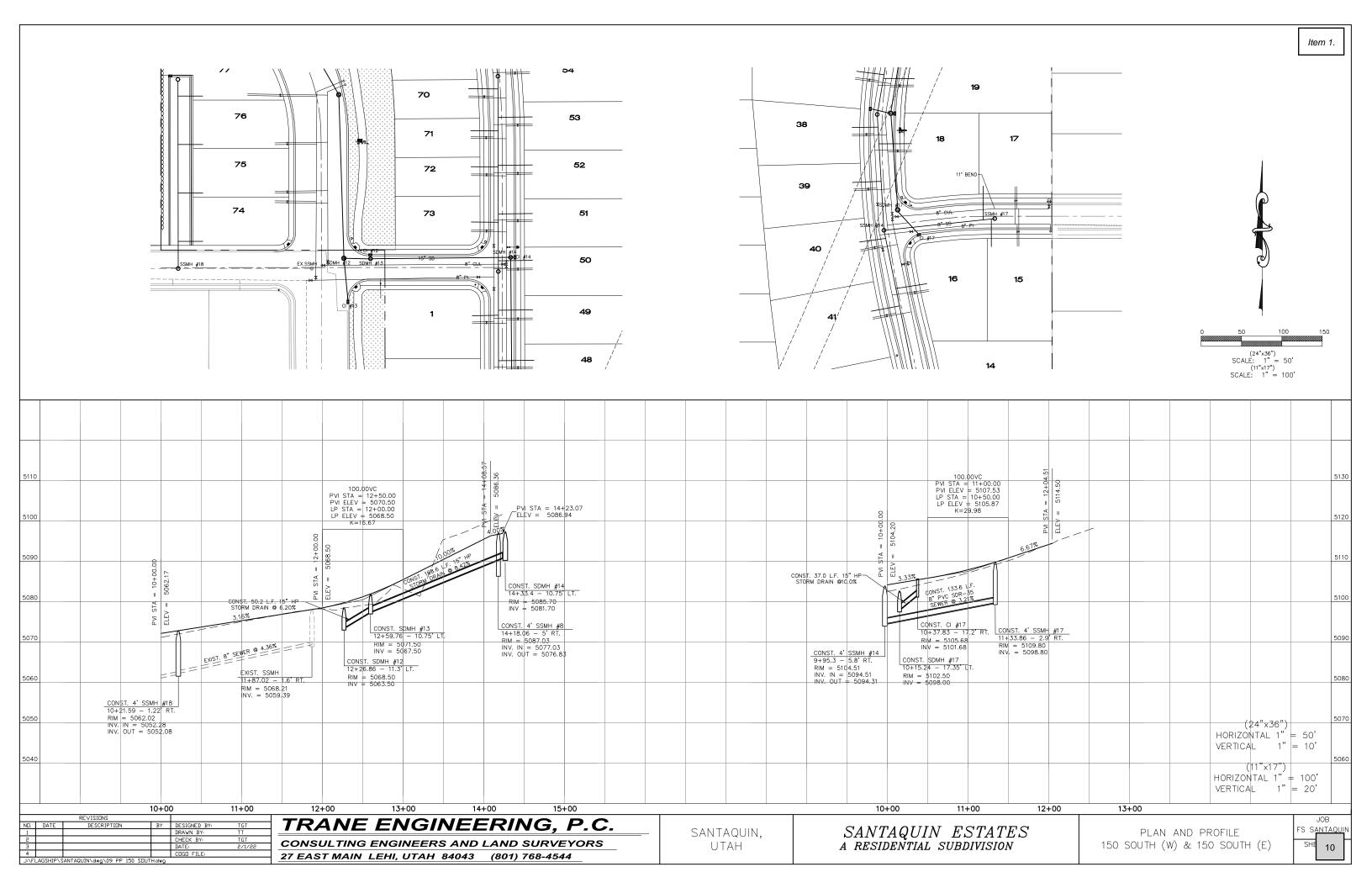
TRANE ENGINEERING, P.C.

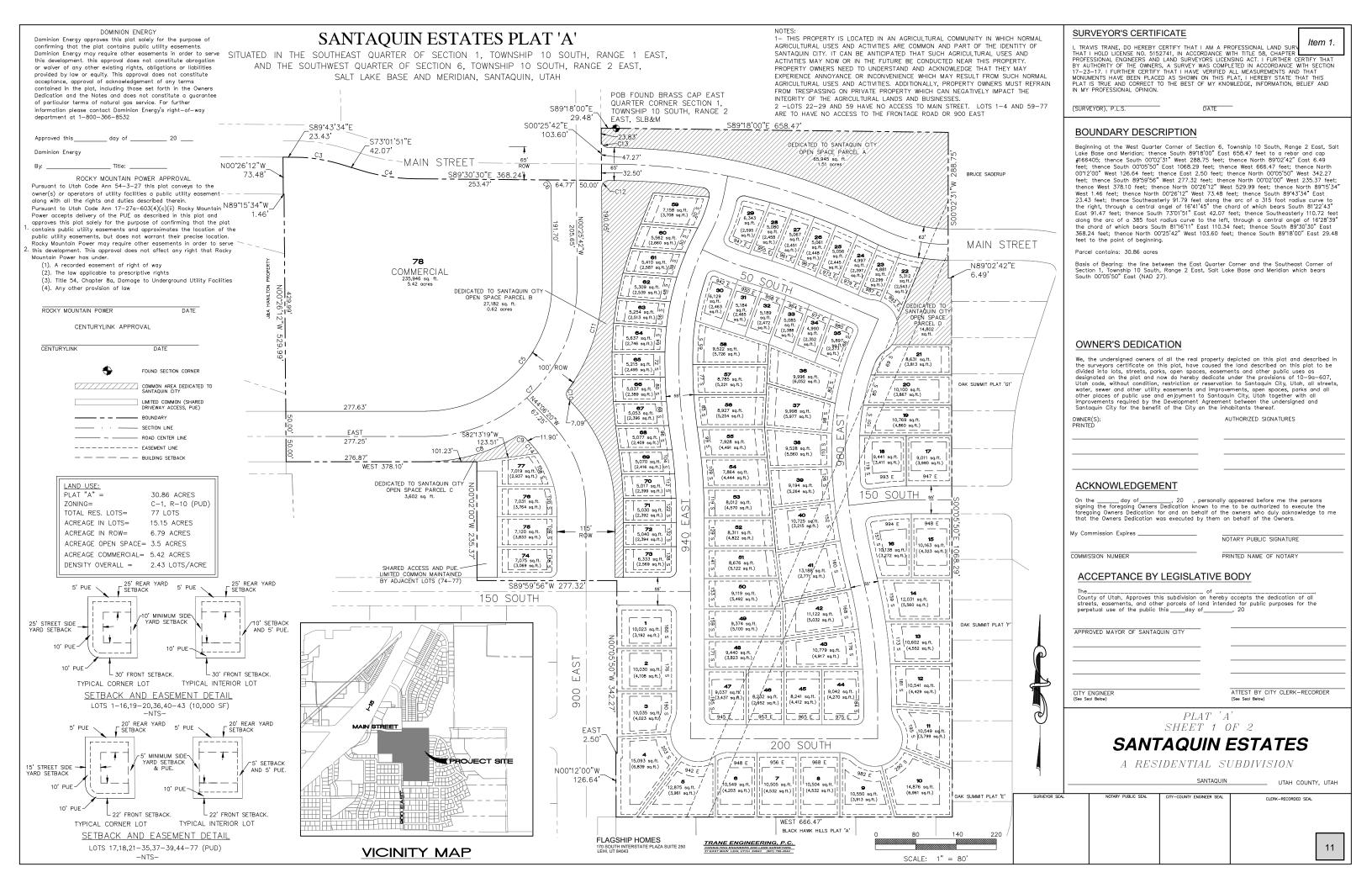
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

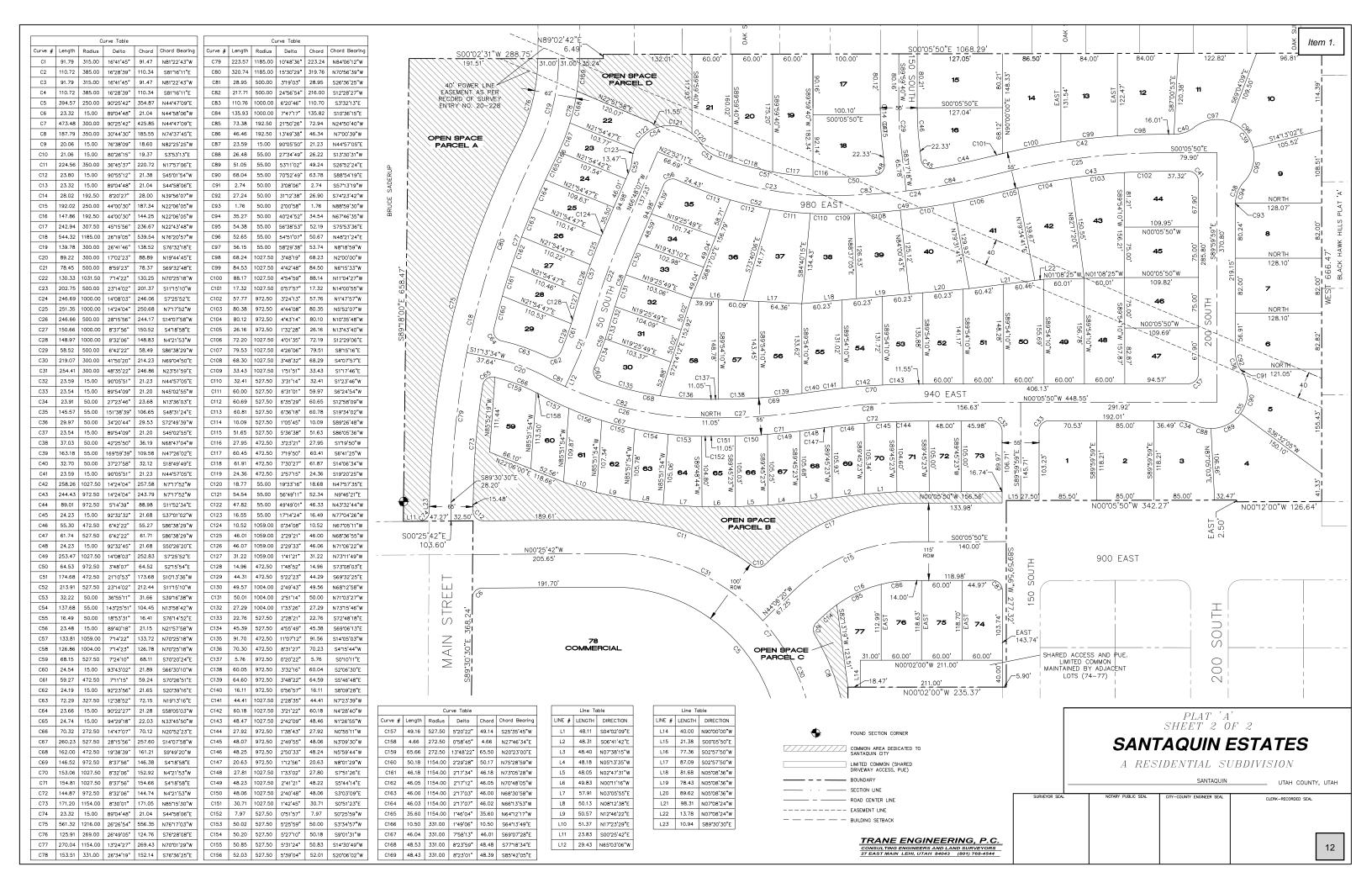
SANTAQUIN, UTAH SANTAQUIN ESTATES A RESIDENTIAL SUBDIVISION

PLAN AND PROFILE 980 EAST JOB FS SANTAQUIN









IRRIGATION NOTES

The Contractor shall be familiar with the irrigation technical specifications for this project. Failure to do so shall not relieve him of meeting all of the requirements contained therein.

- 2. The irrigation plan is diagrammatic in nature, and some drafting liberties have been taken to maintain the graphic clarity of the drawings. All irrigation equipment shall be located in planting areas only, unless noted otherwise. The Contractor shall install piping to minimize changes in direction, avoid placement under large trees or large shrubs, and avoid placement under hardscape features. Refer to the irrigation equipment schedule, installation details, and specifications for equipment and its proper installation.
- 3. The Contractor shall use only the equipment and products specified in the construction drawings. No substitution of materials will be allowed on the irrigation system without prior authorization from the Landscape Architect and the Owner.
- 4. The Contractor shall visit and inspect the project site. He shall take into consideration known and reasonably inferable conditions affecting the proposed work. Fallure to visit the site shall not relieve the Contractor of furnishing materials and performing the work required. Any discrepancies between existing site conditions and those indicated on the plans shall be called to the attention of the Landscape Architect prior to continuance of the project.
- 5. If the mater point of connection is located other than as shown on the drawings, or if the water pressure is different than indicated on the plans, or appears to be unusually high or low, the Contractor shall immediately notify the Landscape Architect prior to proceeding with any irrigation work.
- The Contractor shall keep the premises clean and free of excess equipment, materials, and rubbish incidental to work of this project. Work areas shall be swept clean and trash and debris picked up daily. Open trenches or hazards shall be protected with yellow caution tape. The Contractor is responsible for removal and legal disposal (offsite) of trash and debris generated by his work on this project.
- 7. Pipe fittings shall conform to the following standards unless otherwise noted:
- A.All main line fittings four (4) inches or larger shall be push-on, gasketed, and constructed of ductile iron material.
- B.All main line fittings three (3) inches and smaller shall be solvent weld Schedule 80 PVC
- C.M.J. tees, Schedule 80 tees with SxT Schedule 80 bushings, or Harco ductile iron service tees are approved on PVC main lines for automatic control valve installation. M.J. fittings shall be greased and mrapped.

  D.All lateral line fittings shall be solvent weld Schedule 40 PVC.
- E. All risers and exposed fittings shall be solvent weld Schedule 80 PVC, including conversions to metal pipe and fixtures, unless otherwise noted on the plans.

  F. All main line fittings four (4) inches and larger, whether ductile iron or solvent weld, shall be thrust
- Irrigation wire shall conform to the following:
- A.All irrigation control wire (hereafter referred to as 2-wire) from the controller to the field devices A.All irrigation control wire (inercenter reterred to as 2-wire) from the controller to the field devices must be Polyethylene double-jacketed or UF-B UL PVC double-jacketed two-conductor solid core designed for direct burial systems. The following is recommended:

  All 2-wire shall be soft drawn, annealed, solid copper conforming to ASTM 33, Conductor insulation must be 4/64-inch thick PVC, conforming to UL Standard #493 for thermoplastic-insulated style UF (Underground
- Feeder), rated at 60 degrees C.
- II. The two insulated conductors are laid in parallel and encased in a single outer jacket of 3/64-inch thick, high density, sunlight resistant polyethylene conforming to ICEA 5-61-402 and NEMA WC5, having a minimum wall thickness of 0.045-inch.
- The two conductors must be color-coded: normally one conductor red and one black. Both conductors
- B.All wire crossing water, attached to bridges, going under paving, or where conditions require protection, shall be housed in conduit or sleeves. All out-of-ground conduits shall be rigid metal. All buried conduit may be PVC. In areas where rodents are a known issue, all wire shall be placed in a
- C.All splices shall be water-tight. All connections made inside the box to connect the 2-wire to the valve shall be made using a dry-splice connector DBR/Y. Each connector shall be completely sealed and water-proof
- D.All other splices in 2-wire wire shall be housed in a separate round valve box and use DBR/Y
- E. Lightning arrestors and eight (8) foot long by 5/8-inch diameter copper ground rods shall be used as recommended by the controller manufacturer, and be installed per manufacturer recommendations and
- F. No aluminum wire shall be used on this project
- 9. Run a single fourteen (14) gauge wire along the top of the main line to be used for tracking the location of the main line. The color of the tracing wire shall be different than any other wire color used.
- 10. All pressure main lines shall have between twenty (20) and thirty (30) inches of cover, while all lateral lines shall have between twelve (12) and fourteen (14) inches of cover. Trench bedding and backfill material shall consist of existing site soil free of rocks larger than one (1) inch in diameter and any other debris. Masted pipe and other excess project materials or rubbish (tape, wire, trash, wrappers, boxes, plastic or glass bottles, etc.) shall not be backfilled into the trenches. All trenches shall be backfilled, and the watered sufficiently to insure no settlina of the surface. In the event of any backfill settlement prior to the end of the quarantee period, the Contractor shall perform all required repairs at his own expense
- All control valves shall be located within shrub areas where possible and installed per the details shown on the plans. Each control valve shall have a shut-off valve, and only one (1) control valve and gate valve per valve box. Shut-off valve may be at beginning of manifolds. If manifolds are used, the manifold must be sized so that all valves in manifold are are able to water at the same time. The bottom of the remote control valve shall be a minimum of four (4) inches above the gravel. Isolation gate valves on the main line shall be located in separate valve boxes.
- 12. All main lines and lateral lines shall be sleeved where they pass under any paved areas. The size of the sleeve shall be twice the size of the pipe being sleeved, unless otherwise specified on the drawings.
- 13. The automatic controller will be the Vineyard Loop Road Controller, that is to be relocated into the pump house and mounted on the wall. Coordinate with City on location.
- 14. Prior to backfilling any trenches or irrigation lines: A.All main lines shall be capped and pressure tested at 120 psi for a period of 4 hours. Any leaks found shall be corrected by removing the leaking pipe or fittings and installing new material in its place. Repeat the pressure test to insure the absence of leaks.
- B. The Contractor shall not allow nor cause any of his work to be covered until it has been inspected, tested, and approved by the Landscape Architect.
- C./Where a main line has been allowed to sit in the trench uncovered for any length of time prior to testing, the line may be shaded with a thin layer of soil to minimize weather related expansion or contraction of the pipe.
- 16. The Contractor shall adjust all irrigation heads to provide an even coverage and to keep spray off of walkways, and paved surfaces
- 17. When the sprinkler system has been completed, the Contractor shall, in the presence of the Landscape Architect or Owner's Representative, conduct a coverage test of the water afforded to the planting areas to insure that it is consistent and uniform. The Contractor shall provide, at his own expense, all materials and labor necessary to correct any deficiencies or inadequacies discovered during the coverage test
- The Contractor shall keep on site a current and accurate as-built record of his work. It shall include exact dimensioned locations, grades, elevations, and the size of all exterior and interior underground piping, valves, and drains. Dimensions shall indicate distances from columns, buildings, curbs, and similar permaner features on the site. This information shall be recorded on a print as the work progresses, but shall be permanently recorded on a reproducible. Please provide both a hard and digital copy

- The irrigation contractor shall maintain the system for the duration of the contract period, including the
- 19. Upon final acceptance of the sprinkler irrigation system as being operational and properly installed, the Contractor shall guarantee the workmanship, materials, fixtures, and equipment to be free from defects for a period of one (1) year after that date.

### PLANTING NOTES

- 1. The Contractor shall be familiar with the planting and irrigation technical specifications failure to do so will not relieve the contractor of his responsibility to fulfill all requirements in said specifications.
- $2. \,\,$  Prior to any planting operations, the irrigation system shall be fully operational and all planting areas shall be thoroughly moistened.
- 3. The planting plan is diagrammatic, and all plant locations are approximate. Plant symbols take precedence over plant quantities shown on the plans and in the Plant Material Schedule. The Contractor shall verify all plant quantities and notify the Landscape Architect of any discrepancies between the quantities and the symbols shown. The Plant Materials Schedule is for the Contractor's convenience only.
- 4. No substitution of size, grade, variety or any species shall be permitted except by written permission of the Landscape Architect. Upon receiving Notice to Proceed, the Contractor shall provide written proof that the specified plant material is available and has been secured or reserved specifically for this project. Obtain nursery stock and other plant materials from reliable and stable sources prior to order and delivery.
- 5. Final Grade Preparation
- i mai Grade Preparation

  A.The subgrade Material Shall be rough graded to plus or minus one tenth (+0.1) foot of the final rough grade, which will allow the Contractor to achieve final finished grade through the placement of the topsoil.
  - B. Protect existing trees, shrubs, lawns, existing structures, fences, roads, sidewalks, paving, curb and
  - gutter and other features during Construction.

    C.Protect above or below grade utilities. Contact utility companies to repair damage to utilities.

    Contractor shall pay all cost of repairs which he causes.
  - D. Maintain all benchmarks, control monuments and stakes, whether newly established by surveyor or
  - previously existing. Protect from damage and dislocation. E. Grading Intent: Spot elevations and contours indicated are based on the best available data. The intent is to maintain constant slopes between spot elevations.

  - F. Conduct work in an orderly manner. Do not create a nuisance. Do not permit soil accumulation on streets or sidewalks. Do not allow soil to be washed into sewers and storm drains. G. Grade slopes to provide adequate drainage after compaction. Do not create water pockets or

  - ridges. Use all means necessary to prevent erosion of freshly graded areas during construction until surfaces have been constructed and landscaping areas have taken hold.

    H. Grades shall be smooth, even, and maintain a consistent uniform slope. Grades with undulating surfaces
  - will be rejected and require re-grading. . The Contractor shall maintain a minimum of two (2) percent drainage away from all buildings, structures,
- and walls. Finished grades shall be smoothed to eliminate puddling or standing water J. All finished grades shall be approved by the Landscape Architect prior to installation of any plant
- 6. All planting areas shall receive a minimum of four (4) inches of imported topsoil in turf areas and twelve (12) inches in planting beds. All topsoil used on this project shall be stockpiled and provided by owner. Contractor shall place and spread topsoil per these plans and specifications.
- The following procedure shall be followed in placing all topsoil
- A.All areas to receive topsoil which have a slope of less than ten (10) percent shall be cross-ripped to a depth of four (4) to six (6) inches.
- B. The surface of the subgrade shall be scarified to a depth of two (2) inches to provide a transition zone between the subgrade and the topsoil. Place the topsoil on the subgrade and fine grade to the final finished grade and topsoil depths as indicated on the drawings and in these notes.
- C. Any required soil amendments (i.e. organic matter, fertilizer, gypsum, etc.) shall be placed directly or the topsoil at the required rates and spread evenly over the planting area. The amendments shall then be thoroughly blended into the topsoil to a depth of four (4) inches. Where only a dry, granular fertilizer is to be added, it may be applied to the surface and raked in during the fine grading process.
- All plants used for this project shall conform to the following:
- A.Any inspection certificates required by law shall accompany each delivery of plants and such certificate shall be filed with the Landscape Architect. All plants shall be subject to inspection and approval at the place of growth or upon delivery to the site for their quality, size, species, and variety. Such approval shall not impair the right of inspection and rejection at the site or during progress of work for size and condition of the plants, latent defects, or injuries. Any and all rejected plants shall be removed immediately from the premises by the Contractor. The Contractor shall make all replacements at his expense should he fail to comply in full with any of the
- specifications. Necessary replacements will be made as soon as weather conditions permit and all such plants replaced shall conform to all specifications herein.
- B. Plants shall be fresh and vigorous, of normal habit and growth, and free of disease, insects and insect eggs and insect larvae, weeds and weed seed. No heeled-in plants from cold storage shall be
- 9. All plants shall be installed using the following procedures: A.Plants shall be generally located as indicated by the drawing. The Contractor shall stake out the location of all plants and planting areas, and no excavation or installation shall commence until such ocations have been approved by the Landscape Architect.
- B.All trees and shrubs shall be planted in pits as detailed in the planting details contained herein or as noted on the drawings. Tree and shrub pits shall be circular in outline, with a diameter at least two (2) times the diameter of the rootball depth. When the plant is properly placed in the plant pit, the root collar shall be at or approximately one (1) Inch above finished grade. The sides of the plant pit shall be roughened, and not smooth or sculpted.
- C.Plant backfill mix shall be one hundred (100) percent native site soil.

  D.For container grown plants, remove the container and place the plant vertically in the plant pit, directly on undisturbed soil. The root crown or collar shall be at or approximately one (1) inch above the finished grade. Perennial plants and ornamental grasses shall be planted with root collar at finished grade. E. For balled and burlapped plants, place the plant vertically in the center of the pit, with the rootball
- resting on undisturbed soil. Cut and remove the wire basket and burlap or other wrapping material from the rootball. This may be done with the rootball in the pit. Any burlap or wire pieces underneath the rootball may be left in place if they cannot be removed. Do not fold the burlap over, but cut away as much as possible without disturbina the rootball. No burlap shall be pulled from under the rootbal Backfill the bottom one third (1/3) of the pit as the wire and burlap are removed. In all cases, maintain the integrity of the rootball
- F. Specified backfill material shall be carefully and firmly worked and tamped under and around the rootball to fill all voids. When backfilled and compacted to two thirds (2/3) the depth of the pit,
- thoroughly water with a hose to completely soak the roots and remove any air pockets.

  G. The plant pit shall then be completely backfilled with the specified backfill mix and tamped well. A shallow watering basin or rain cup shall be formed around each plant. This basin will be equal in diameter to that of the original planting pit.

- H. After planting, the following operations shall be performed:

  1. Stake and mulch all trees per installation details.

  11. Remove all nursery stakes ties, and tags from all plants. Prune and remove any dead, damaged, or broken branches. Maintain side growth on all trees.
- - A Two (2) 24x 24 square or 2' diameter round wood stakes minimum ten (10) feet in length shall be used to support each tree planted under this contract unless otherwise indicated. Metal t-posts shall not be
  - B. Tree ties shall conform to the staking detail shown on the planting detail sheet. Wire and vinyl hose

- C.Each stake shall be located adjacent to the rootball, on opposing sides, to provide maximum support to the trunk. Do not penetrate the rootball with the stake
- D.The stakes shall be driven into the pit bottom after the tree has been placed in the pit, but before
- backfilling begins so as to avoid damage to the roots.
- E. Stakes and ties shall be removed after one (I) full growing season from the time the tree was
- II. All plants shall be thoroughly watered immediately after planting. This shall mean full and thorough saturation of all backfill in the pits and beds during the same day of planting. Water shall be applied only by open end hose at very low pressure to avoid air pockets, injury to the plant, or washing away of backfill. When installed, watered, and fully settled, the plants shall be vertical. Subsequent watering shall be provided by the site's irrigation system. The Contractor shall insure that all plants, especially trees, receive sufficient water to maintain healthy growth and vigor. Over-watering shall be avoided, and prolonged saturation of the soil around the trees shall be eliminated by appropriately controlling the irrigation circuit which provides weter to that area.
- 12. Mulch (see plant materials schedule and specifications for size requirements) shall be placed to a depth of three (3) inches on top of the topsoil in all planting beds and over tree planting pits. The finished
  - A.Two (2) inches below the surface or finished grade of any paving, mow strips, or walks adjacent to the

  - B. One (1) inch below top of metal edging.

    C.At adjacent finished grade of the turf surrounding tree planting pits.

    D. No mulch required in tree pits.

  - E. Just prior to placement of the mulch, the Contractor shall treat the mulched areas with a pre-emergent herbicide according to the manufacturer's recommendations
- 13. For projects with turf grass sod, all sod used for this project shall be free of grassy and broad-leaf weeds, contain no bare or burned spots, and be clean and strongly rooted. It shall be of the varieties noted in the plans and Plant Material Schedule. The sod shall be cut using approved methods and equipment. It shall be cut in pieces not exceeding one (1) square yard, with a uniform thickness on all pieces. Sod thickness may vary between a minimum of on (1) linch and a maximum of one and one half (1 %) inches, but must be consistent throughout this project. The Contractor shall notify the Landscape Architect of the source of the sod prior to placement. The sod shall be stripped and delivered to the site not more than twenty-four (24) hour's prior to laying. It shall be maintained in a moist and healthy condition to encourage immediate
- 14. The following procedure shall be followed when installing the sod: A.Lay the sod on smooth, moist topsoil, working off planks if required. B.Rake the topsoil to loosen and level prior to placing each course of sod. C.Lay strips perpendicular to the direction of the slope. Strips shall be parallel to each other, with their end seams staggered. The sod shall be neither stretched nor overlapped, and all joints shall be butted
- D.Roll the sod immediately after placing and thoroughly water with a fine spray to a depth sufficient that the underside of the new sod and the soil immediately below the sod are thoroughly wet.
- E.On slopes two (2) horizontal to one (1) vertical or steeper, lay the sod perpendicular to the slope and secure every row with wooden pegs at two (2) feet maximum on center. Drive the pegs flush with the
- F. Sod pieces shall be laid tightly together. Sod areas with gaps caused by pieces not being laid tightly enough together or areas with ridges from overlapping pieces shall not be accepted and the Contractor will be required to re-lay the sod.
- 15. For projects with grass seed, the contractor may choose to apply seed by drilling or hydroseeding. Hydroseeding shall conform to the following: A. Mood filber mulch shall be echofilber or conwed or equal, that is virgin wood filber, free of growth or
  - germination-inhibiting substances. The mulch shall be air dried with not more than fifteen (15) percent moisture by weight. The total organic weight shall be a minimum of ninety eight (98) percent. Inorganic ash content shall be 0.7±0.2 percent. Water holding capacity shall be 10006/1006 (oven dried weight).
- I. Fiftu (50) percent shall be at least 0.15 inches in lenath or longer
- II. Fifty (50) percent shall be retained on the twenty eight (20) mesh screen

  B. The seed mix shall be as specified on the plans. Provide written certification that the seed conforms
- to Utah Seed Law and is in compliance with Utah State Department of Agriculture Regulations.
- C.The tackifier shall be M-Binder or Plantego or equal
- D.Application rates shall be as follows:
- 1. Wood Fiber Mulch 50 Pounds (min.)/1.000 SF
- see plans (7 Pounds/1,000 SF TYP.) III.Tackifier
- 100 Pounds/Acre 12er 7-8 Pounds/1,000 SF Fertilizer 92 Gallons/1,000 SF

hours to avoid seed deterioration.

- 16. One-step preparation and application of hydroseed mulch shall be as follows: A.The wood fiber mulch, seed, tackifier, fertilizer, and water shall be mixed together in a hydroseeding machine having capacity of at least two thousand (2000) gallons to allow for a homogeneous slyrry which is thoroughly mixed and can be applied easily without clogging. The machinge shall be mounted on a traveling unit which is either self-propelled or drawn by a separate unit. Equipment used in the hydroseeding process shall be thoroughly cleaned of all seed and other materials used in any previous hydroseeding process, prior to hydroseeding on this project.

  B. The equipment shall have a built-in agitation system and operating capacity sufficient to agitate,
- suspend, and homogeneously mix a slurry containing not less than flity (50) pounds of organic mulching amendment plus chemical additives and solids for each one hundred (100) gallons of water.
- C. The slurry shall be prepared at the site and its components shall be mixed to supply the rates of application as specified. The slurry preparation shall begin by adding water to the tank when the engine is at half (1/2) throttle. The engine throttle shall be open to full speed when the tank is one half (1/2) filled with water. All organic amendments, fiber, and chemicals shall then be added by the time the tank is two thirds (2/3) to three fourths (3/4) full. At this time and not before, the seed m
- be added. Spraying shall commence immediately when the tank is full, and the slurry is mixed.

  D. Apply the hydroseed to form even appearing cover over the required areas. The slurry shall be applied in a downward drilling motion via a fan stream nozzie. It is important to ensure that all the components enter and mix with the soil. Use only qualified and trained personnel to insure uniformity of the budgers of emplications. the hydroseed applications. hydroseeding slurry components shall not be left in the hydroseed machine for more than two (2)
- 17. Throughout the course of planting, excess and waste materials as well as excavated subsoil shall be continuously and promptly removed. All areas shall be kept clear and all reasonable precautions taken to avoid damage to existing structures, plants, and grass. When planting has been completed in an area, it shall be thoroughly cleaned of all debris, rubbish, subsoil, and waste materials. These shall be removed from the property and disposed of legally. All planting tools shall also be put away.

1250 East 200 South, Ste. 1D Lehi | Utah | 84043



call 811 or visit www.bluestakes.org before you dig to have all utilities located and marked

LANDSCAPE

antag

ಚ

JANUARY 2022

LANDSCAPE notes & details

CONCRETE PAVER

3/4" MANUAL DRAIN WELD TOP VALVE

1/4" DISTRIBUTION TUBING, 48" MAXIMUM LENGTH

- INSERT FITTING BARB CONNECTION OR INSERT BARBED TEE.

- ADDITIONAL EMITTER AND STAKE AT INSERT BARBED TEE IN DRIP TUBING. 177

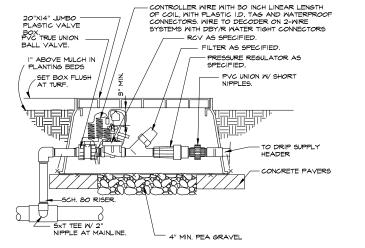
FX-IR-FX-EMIT-03

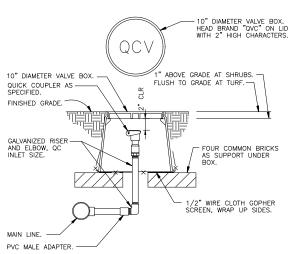
1/2" POLY DRIP TUBING

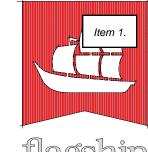
- TIE-DOWN STAKE AT

TOP OF MULCH ELEVATION.

34" 90 DEGREE STREET ELL







1250 East 200 South, Ste. 1D Lehi | Utah | 84043



Santaquin

ಹ

Street

**PLANS** 

LANDSCAPE

call 811 or visit www.bluestakes.org

before you dig to have all utilities located and marked

MANUAL DRAIN VALVE ASSEMBLY 1 1/2" = 1'-0'

(2) FIPT X FIPT 90

DEGREE ELL, (2) ¾" X CLOSE BRASS OR

REMOTE CONTROL VALVE ASSEMBLY DETAIL-FILE | |/2" = |'-0"

8

**DRIP VALVE ASSEMBLY** 3

1 1/2" = 1'-0"

DRIPLINE TO LATERAL "XPANDO" 45795.

ADAPTER CONNECTION DETAIL 130 DRILL 5/0" HOLE IN PVC LATERAL PIPE WHERE REQUIRED. YOU MUST USE A WHERE REQUIRED. YOU MUST USE A "FORSTNER" DRILL BIT FOR DRILLING INTO PVC. REMOVE ANY EXCESS BURRS OR ROUGH

QUICK COUPLING VALVE IN BOX 1 1/2" = 1'-0"

FX-IR-FX-QUIC-04

1) PVC LATERAL SUPPLY PIPE, SIZE AS PER PLAN WITH MINIMUM SIZE I I/2" DIAMETER.
2) DRIPLINE CONNECTION TO BELOW GRADE LATERAL PIPE. SEE DRIPLINE TO LATERAL "YPANDO" ADAPTER CONNECTION DETAIL. 9 Finished grade (10)-3 1/2" PLOYETHYLENE BLANK TUBING, AS REQUIRED. 3 4 BARB CROSS INSERT FITTING. (3)--(4) (11)-(5) BARB TEE INSERT FITTING. 6 AT-GRADE DRIPLINE, INNER RING 12" FROM PLANT, OUTTER RING 30" FROM PLANT. DRIPLINE TO BE 0.96PH EMITTERS AT 12" 0.0.
7 PLANT TRUNK. 12 13 (8) TYPICAL ANTELCO ASTA TIE-DOWN STAKE, (1) 9 NOTES.
9 DRIPLINE BARBED INSERT ELL. 10 RATCHET CLAMP AT ALL BARBED CONNECTIONS, control wires. (2-Wire in X 14MM, PART NO. 45595. (12) ISMM ANTELCO "CAPO: RUBBER GROMMET, NOTE:
PLACE TIE DOWN STAKES EVERY 3 FT. IN
SAND, 4 FT. IN LOAM, AND 5 FT. IN CLAY, AS
WELL AS AT ALL CHANGE OF DIRECTION
SUCH AS AT TEES OR ELLS. 2- Direct burial control wires shall be installed in Sch. 40 PVC electrical conduit if required. Pressurized line (mainline)

DRIP EMITTER AT 1/4" TUBING

- 1/4" TUBING STAKE.

20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.

4" MIN PEA GRAVEL

B-07

FX-IR-FX-EMIT-02

**IRRIGATION TRENCHING** 

3- 2-wire irrigation wire shall be installed in Sch. 40 PVC electrical conduit.

7

B-06

1 CONTROLLER ENCLOSURE AS SPECIFIED. 2 OPTIONAL PEDESTAL

> 3 QUICKPAD-3/16" MINIMUM THICKNESS ALUMINUM POWDERCOATED PREFORMED PAD. SEE QUICPAD TO ENCLOSURE CHART FOR MODEL. INSTALL

AS
PER MANUFACTURER'S

SHEEDTIGMIRIONSCONTROL WIRES CONTROL VALVES.

(5) PVC LONG SWEEP ELLS.

6 FINISH GRADE-2" (50MM) BELOW TOP OF QUICKPAD.

(7) QUICK PAD MOUNTING BASE.

8 PEA GRAVEL 3/4 FULL INSIDE 9 QUICK PAD MOUNTING BRACE.

(10) 120 VOLT SERVICE IN CONDUIT

(11) CONTROLLER SUB-ASSEMBLY (CSA) INCLIDES GFI AND TERMINAL STRIPS WITH PLACARDS, (12) AUTOMATIC CONTROLLER AS SPECIFIED.

QUICKPAD TO ENCLOSURE CHART

QUICKPAD FOR STRONG BOX CONTROLLER ENCLOSURES

QUICKPAD	CONTROLLER	QUICKPAD
MODEL NO.	ENCLOSURE	DIMENSIONS
QP-16	SB-16	28.5" X18.5" (724.X4TOMM)
QP-18	SB-18	28.5" X18.5" (724.X4TOMM)
QP-18D	SB-18D	28.5" X28.5" (724.X724MM)
QP-22	SB-22	28.5" X28.5" (724.X724MM)
QP-24	SB-24	28.5" X18.5" (724.X4TOMM)
QP-24D	SB-24D	28.5" X18.5" (724.X4TOMM)
QP-D	METERED ENCLOSURE	28.5" X18.5" (724.X4TOMM)
QP-LD16	LIGHT DUTY LD-16	28.5" X18.5" (724.X4TOMM)

0010101710	1014 51140140	DOX DAOIG EON ENDEOUSOIRES
QP-20BF	5BBC-20	32"XI9" (813X483MM)
QP-30BF	5BBC-30	32"XI9" (813X483MM)

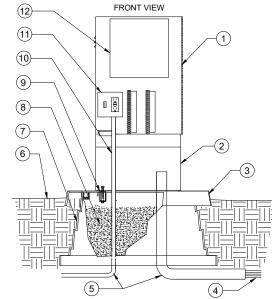
QUICKPAD FOR ORIGINAL EQUIPMENT MANUFACTURERS

QP-CAL	CALSENSE	28.5"XI8.5" (724X470MM)
QP-TOROG	TORO GOLF	19"XI6" (483X406MM)
QP-MC42	IRRITROL & SUPERIOR	RI9"XI6" (483X406MM)
QP-RBG	RAIN BIRD GOLF	28.5"XI8.5" (724X470MM)
QP-RBPEDI6	RAIN BIRD COMMERC	IAL 19"XI6" (483X406MM)
QP-RM	RAINMASTER	19"X16" (483X406MM)
QP-HUN	HUNTER COMMERCIAL	. 19"X16" (483X406MM)
QP-SIGM	SIGNATURE METAL	28.5"XI8.5" (724X470MM)
QP-SIGP	SIGNATURE PLASTIC	28.5"XI8.5" (724X470MM)

JANUARY 2022

LANDSCAPE notes & details





QUICKPAD CONTROLLER BASE





call 811 or visit www.bluestakes.org before you dig to have all utilities

# located and marked

Utah

Santaquin

900

ಹ

Street

**PLANS** 

LANDSCAPE

1) CINCH-TIE: DO NOT OVER TIGHTEN, ALLOW TREE TO MOVE SOMEWHAT TO BUILD CALIPER. 2" (50MM) DIAMETER LODGE POLE PINE TREE STAKE. (3) FINISHED GRADE.

-3" LAYER OF MULCH

- FINISH GRADE FINISH GRADE AT SLOPE (WHERE SLOPE OCCURS) -12" DEPTH TOPSOIL IN PLANTING BEDS UNDISTURBED SOIL

SHRUB/PRENNIAL/ORNAMENTAL GRASS PLANTING

4 BACKFILL AS PER PLANTING DETAIL. 5 REMOVE NURSERY STAKE BY THE END OF MAINTENANCE.

6 AVOID DAMAGE TO THE ROOT BALL WITH THE SUPPORT STAKES.

7) TREE AS SPECIFIED.

8 SET ROOTBALL CROWN | 1/2"
(38MM) HIGHER THAN THE
SURROUNDING FINISHED GRADE.
SLOPE BACKFILL AWAY FROM
ROOTBALL FOR POSITIVE
DRAINAGE.
(450MM) RADIUS GIRCLE AROUND
THE TREE. MULCH NITH A 3" (16MM)
THICK LAYER OF SHREDDED BARK.

(10) KEEP MUCLH 6" TO 8" (150-200MM) FROM BASE OF TREE.

11 4" (100MM) HIGH WATER WELL AT SHRUB AREAS.

12 PLANT TABLETS AS NOTED OR SPECIFIED.

BACKFILL MIX AS NOTED OR SPECIFIED.

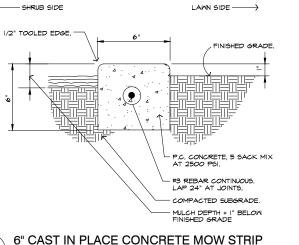
14) NATIVE SOIL MIX FIRMLY COMPACTED.

(15) BACKFILL 1/2 OF PLANT PIT AND MATER THOROUGHLY. ALLOW MATER TO SOAK IN AND FINISH BACKFILL.

16 RECESS TURF AREA I" (25MM) NO MULCH WHEN TREES ARE IN TURF

(17) MULCH WATER WELL AREA TO 3" (75MM) DEPTH

NOTES:
• STAKE ALL TRESS 24"



OUTLET

6" CAST IN PLACE CONCRETE MOW STRIP

2'-75/8"

4'-35%'

- SHRUB SIDE

PLAY SPACE EDGE AND SURFACING

1 RECYCLED WATER STICKER DO NOT DRINK 2 STRONGBOX SBBC-40ALHP 40"L, 39"H, 24"W ③ 2" BRONZE VALVE

4 2" GALVANIZED UNION

(5) 2 IN T SCANAWAY FILTER

UNIT

(6) 2" GALVANIZED PIPE

(7) LANDSCAPE

(8) 6" THICK CONCRETE PAD

9 3/4" CRUSHED GRAVEL SUMP BOX

10 MAINLINE

(1) LANDSCAPE FABRIC

(12) NATIVE SOIL

(13) 2" CLASS 315

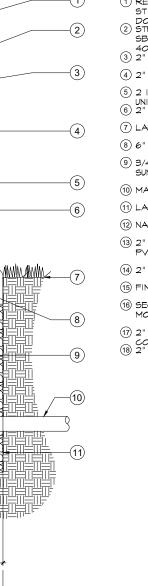
14 2" GALVANIZED PIPE

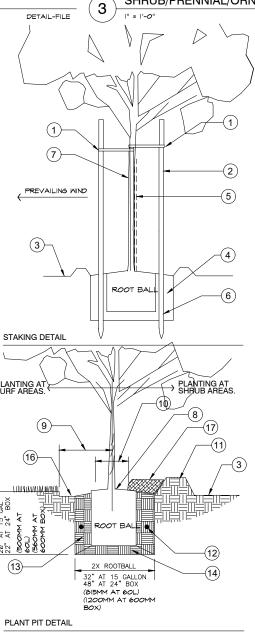
(15) FINISH GRADE

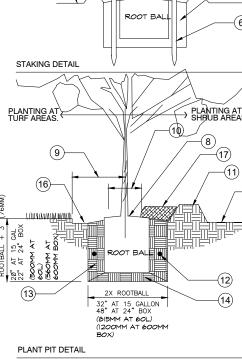
(16) SECURED SMIVEL MOUNTING PLATES

(17) 2" GALVANIZED

COUPLING
(18) 2" GALVANIZED ELBOW







STAKE ALL TRESS 24"
(600MM) BOX AND SMALLER.
INSTALL VI.T. PRODUCTS
MODEL TG-4 TRIM GUARD ON
ALL TREES PLANTED IN TURF.
REFER TO PLANTING DETAIL
AND SPECIFICATIONS FOR
PLANT PIT SIZE.
WRAP TIES AROUND THE TREE
TRINK AND STAKE USING THE
STANDARD OR FIGURE EIGHT
METHOD. SECURE WITH
GALVANIZED NALLS DRIVEN
THROUGH TIES AND INTO THE
STAKE TO PREVENT
SLIPPAGE.
INSTALL CINCH-TIE PER
MANUFACTURER'S
RECOMMENDATIONS.

JANUARY 2022 LANDSCAPE notes & details

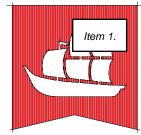
2" T SCANAWAY | |/2" = |'-0"

(16)-



### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>aty</u>	<u>PSI</u>	DETAIL
€ S ® LST SST RST	Hunter MP Strip PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LST=Ivory left strip, SST=Brown side strip, RST=Copper right	69	40	
₩ ₺ ७	strip.  Hunter MP1000 PR05-06-PR540-CV Turf Rotator, 6" pop-up with check valve, pressure regulated to 40 psj, MP Rotator nozzle on PR540 body. M=Maraon adj arc 90 to 210, L=Light Blue 210 to 270 arc, 0=0live 360 arc.	52	40	
<b>®©®</b>	Hunter MP2000 PR05-06-PR540-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body. K=Black adj arc 90-210, 6=Green adj arc 210-270, R=Red 360 arc.	40	40	
<u>®</u> Ø@	Hunter MP3000 PR05-06-PR540-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PR540 body. B=Blue adj arc 90-210, Y=Yellow adj arc 210-270, A=Gray 360 arc.	41	40	
<b>©</b>	Hunter MP3500 PR05-06-PR540-CV Turf Rotator, 6" Pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzie on PR540 body. LB=light brown adjustable arc, 90-210.	83	40	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>aty</u>		<u>DETAIL</u>
<b>B</b>	Drip Control Zone Kit Assembly - Low Flow Hunter ICZ-IOI-40 " ICV Globe Valve with 1" HYIOO filter system. Pressure Regulation: 4Opsi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	7		
+ + + + + + + + + + + + + + + + + + + +	Area to Receive Drip Emitters Netafim SPCV Single Outlet Pressure Compensating Drip Emitter, I.5psi Internal Check Valve, with Self-Plercing Barb, Blues O.5gph, Black= I.0gph, Red= 2.0gph. Emitter Notes:	25,325 s.f.		
	0.5 GPH emitters (I assigned to each I gal plant)	100		
	0.5 GPH emitters (2 assigned to each 5 gal plant)	284		
	0.5 GPH emitters (4 assigned to each B & B, 2\"Cal plant)	28		
	0.5 GPH emitters (4 assigned to each B & B, 6-8' Ht. plant)	16		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>aty</u>		DETAIL
•	Electric Remote Control Valve Assembly Hunter ICV-G - 1", I-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	।व		
	Quick Coupler Valve Assembly Hunter HQ-3RC, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, I-piece body.	4		
<u>(n.v</u> )	Master Valve Assembly 2" Hunter ICV-G - 1", I-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	2		
(D)	Drain Valve Assembly 3/4" slotted valve with brass or galvanized nipples.	4		
A	Controller Assembly Hydro Point MTOXR-C-30-CH2, 18-gauge anadized, pre-assembled, allminum back panel retrofits into any front entry pedestal 18" w $\times$ 36" h $\times$ 12" d or larger. (e.g., VIT Strongbox Enclosure Pedestal SB-1855 series)	I		
(F.S)	Flow Sensor Assembly Hunter HF5-100, Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.	2		
E	Filter Assembly Amiad 2-OL-MSiG- Steel Screen, Amiad 2" Mini Sigma, On-Line Self-Cleaning Filter, BSFT or NPT Inlet-outlet. Stainless Steel Weavewire Screen Element. ADI-P Bluetooth Range Controller. Maximum working pressure liepsi. Included in the assembly is a solid aluminum Strong Box Enclosure (SBBC 40ALHP).	2		
OC #1 (FOR FUTURE PARK)	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	I		
POC #2	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	I		
POC_#3	Point of Connection 2" Location approximate, design pressure is 75 PSI. If different contact landscape architect.	I		
	Irrigation Lateral Line: PVC Schedule 40	5,938 l.f.		
	Irrigation Mainline: PVC Schedule 40	1,801 l.f.		
	Pipe Sleeve: PVC Schedule 40 Sleeve size 2x size of pipe being sleeved.	352.I l.f.		
V	/alve Callout  Valve Number			
<u> </u>	Valve Flow			





1250 East 200 South, Ste. 1D Lehi | Utah | 84043

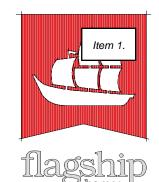


call 811 or visit www.bluestakes.org before you dig to have all utilities located and marked

SANTAQUIN ESTATES Santaquin . Utah LANDSCAPE PLANS Main Street & 900 East

JANUARY 2022

LANDSCAPE irrigation o v e r v <u>i e</u> w





call **811** or visit www.bluestakes.org before you dig to have all utilities located and marked

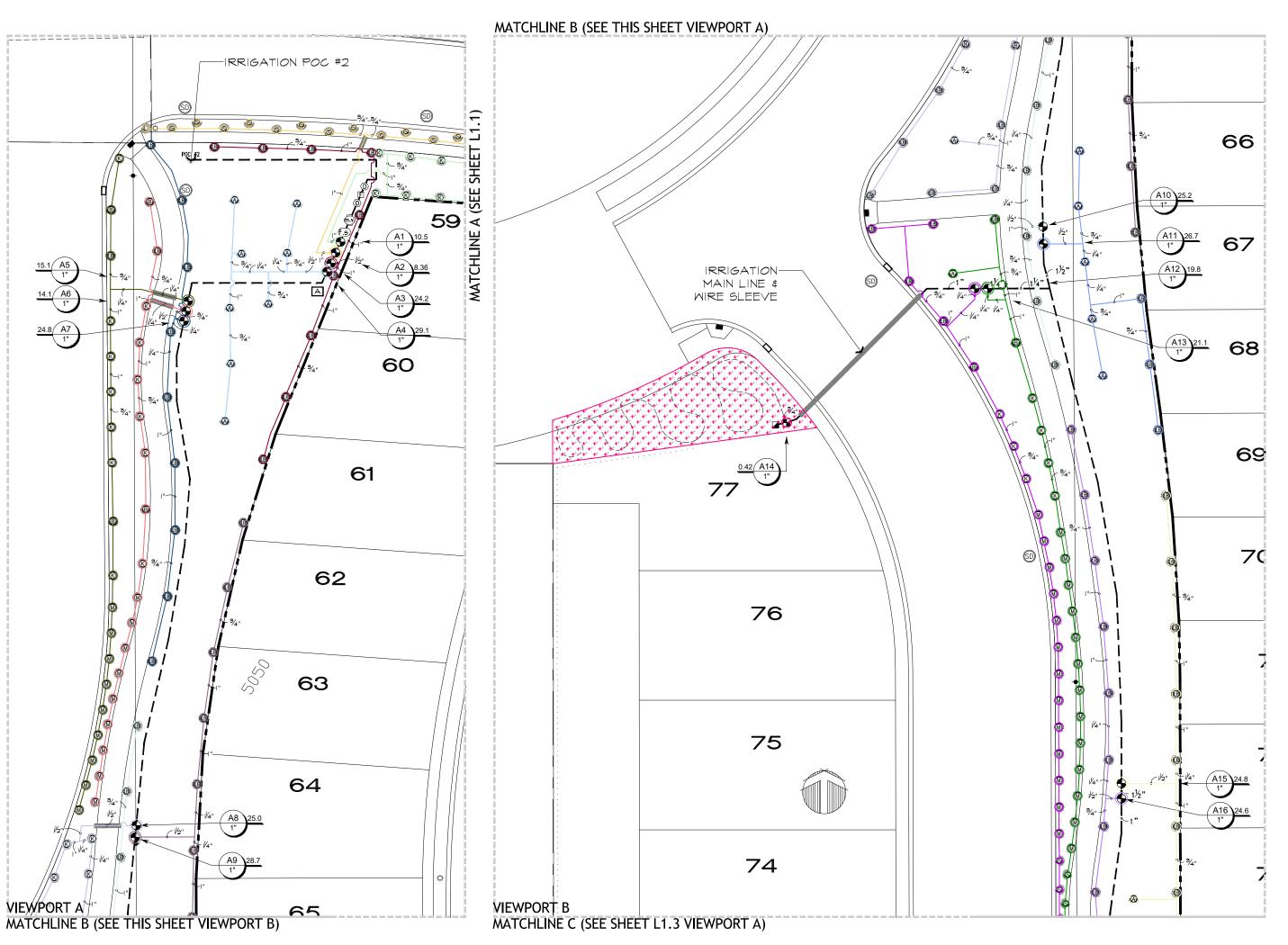
# STATE S

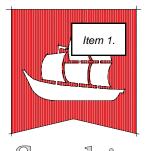
LANDSCAPE PLANS Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE irrigation plan











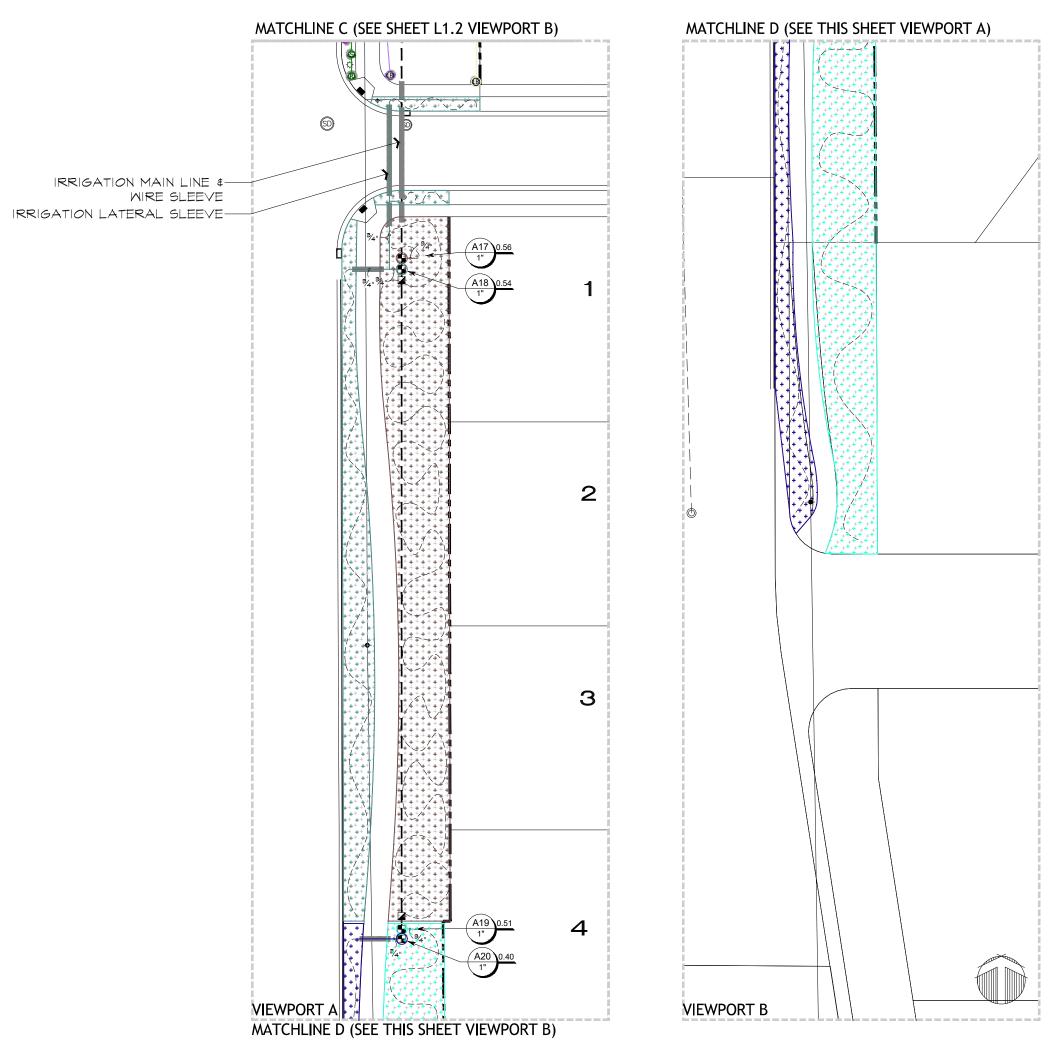
call **811** or visit www.bluestakes.org before you dig to have all utilities located and marked

Main Street & 900 East . Santaquin . Utah LANDSCAPE PLANS

JANUARY 2022

LANDSCAPE irrigation plan











call 811 or visit www.bluestakes.org before you dig to have all utilities located and marked

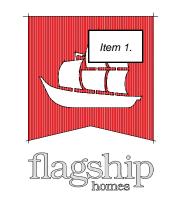
# SANTAQUIN ESTATES

Main Street & 900 East . Santaquin . Utah LANDSCAPE PLANS

JANUARY 2022

LANDSCAPE irrigation plan







call **811** or visit www.bluestakes.org before you dig to have all utilities located and marked

Santaquin . Utah

Main Street & 900 East

### PLANT SCHEDULE

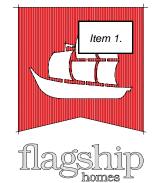
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	<u>aty</u>
•	Acer x freemanii 'Jeffsred' / Autumn Blaze Maple Mature Size: H50' W40'	В∉В	2\"Cal		5
JACTO Done	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust Mature Size: H45' W35'	ВŧВ	2\"Cal		21
	Picea pungens / Blue Phase Colorado Spruce Mature Size: H30-60' W10-20'	В₿В		6-8' Ht.	15
	Pinus nigra / Austrian Black Pine Mature Size: H50-60' W20-40'	В₿В		6-8' Ht.	12
	Piatanus x acerifolia / London Piane Tree Mature Size: H40-60' M30-40'	В₿В		6-8' Ht.	٩
SHRUBS	BOTANICAL / COMMON NAME	SIZE			
Exercise Section 1	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac Mature Size: H3' W8'	5 gal			29
<b>©</b>	Rosa shrub 'Knack Out' / Knack Out Rose Mature Size: H3' W3'	5 gal			II3
#	Stipa tenacissima / Mexican Feather Grass Mature Size: H2' W2'	l gal			71
ANNUALS/PERENNIALS	BOTANICAL / COMMON NAME	SIZE			
$\odot$	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint Mature Size: H24-30\" W36\"	l gal			15
<u>GRASSES</u>	BOTANICAL / COMMON NAME	SIZE			
0	Calamagrostis $\times$ acutiflora 'Karl Foerster' / Feather Reed Grass Mature Size: $H3-5'$ $W2-3'$	l gal			31
A CONTRACTOR OF THE CONTRACTOR	Pennisetum alopecuroides "Hameln' / Hameln Dwarf Fountain Grass Mature Size: H2' W3'	l gal			63
GROUND COVERS	BOTANICAL / COMMON NAME	CONT			
0.000 0.000 0.000 0.000 0.000	Planting Bed Area Mulch (4" depth) 2-4" decorative cobble rock mulch. Submit sample for approved by Santaquin City prior to placing. Average depth of four inches (4"). Install Mirafi 600 (or approved equal) fabric prior to installation of mulch.	mulch			24,934 :
	Play Area Surfacing / 12" min. depth of Engineered Mood Fiber	None			900 sf
	Turf Sod Bluegrass / Kentucky Bluegrass	sod			71,447 s

SANTAQUIN ESTATES

JANUARY 2022

LANDSCAPE planting overview







before you dig to have all utilities located and marked

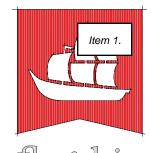
Main Street & 900 East . Santaquin . Utah LANDSCAPE PLANS

JANUARY 2022

LANDSCAPE planting plan











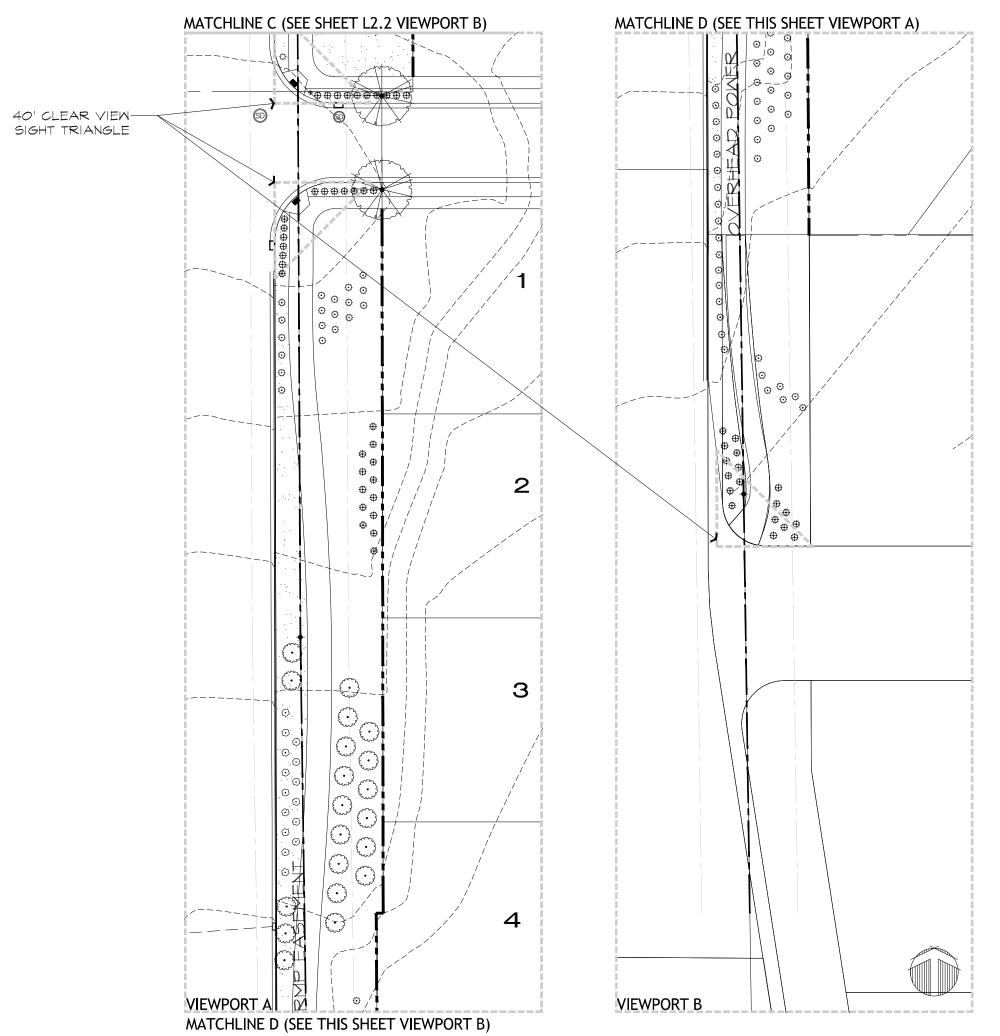
before you dig to have all utilities located and marked

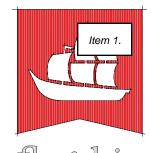
LANDSCAPE PLANS

Main Street & 900 East . Santaquin . Utah

JANUARY 2022

LANDSCAPE planting plan









call 811 or visit www.bluestakes.org before you dig to have all utilities located and marked

# SANTAQUIN ESTATES

Santaquin . Utah LANDSCAPE PLANS Main Street & 900 East

JANUARY 2022

LANDSCAPE planting plan





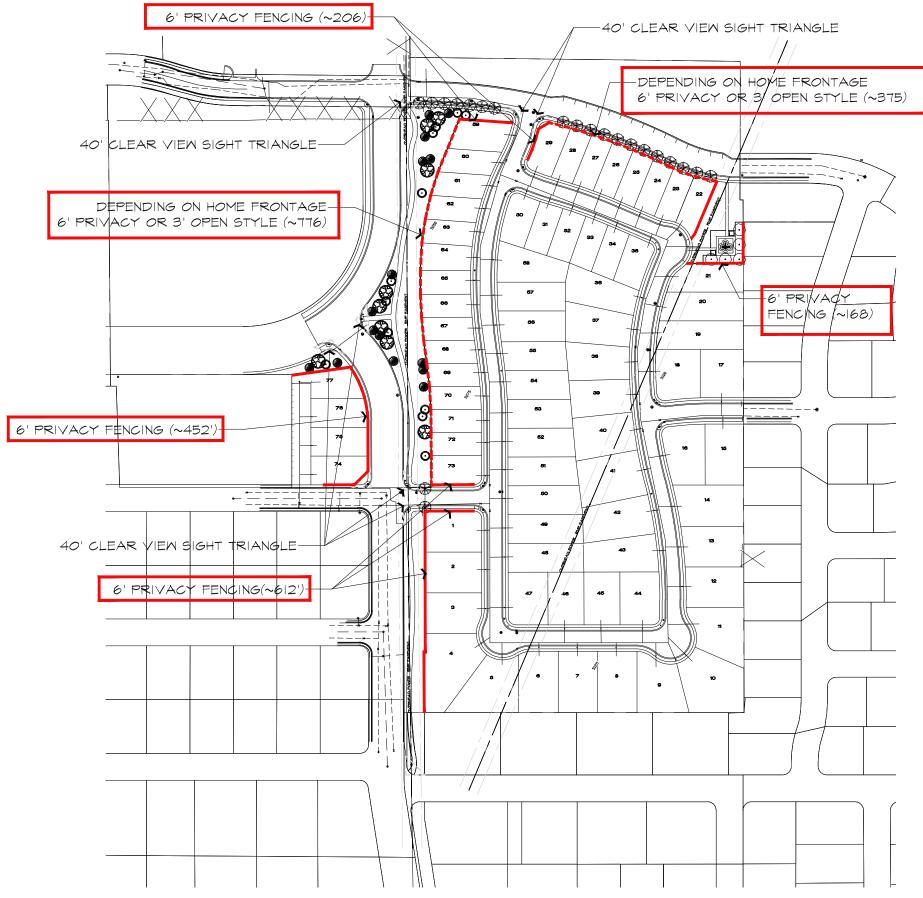
call 811 or visit www.bluestakes.org before you dig to have all utilities located and marked

# SANTAQUIN ESTATES

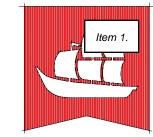
Main Street & 900 East . Santaquin . Utah LANDSCAPE PLANS

JANUARY 2022

LANDSCAPE amenity plan











call 811 or visit www.bluestakes.org before you dig to have all utilities

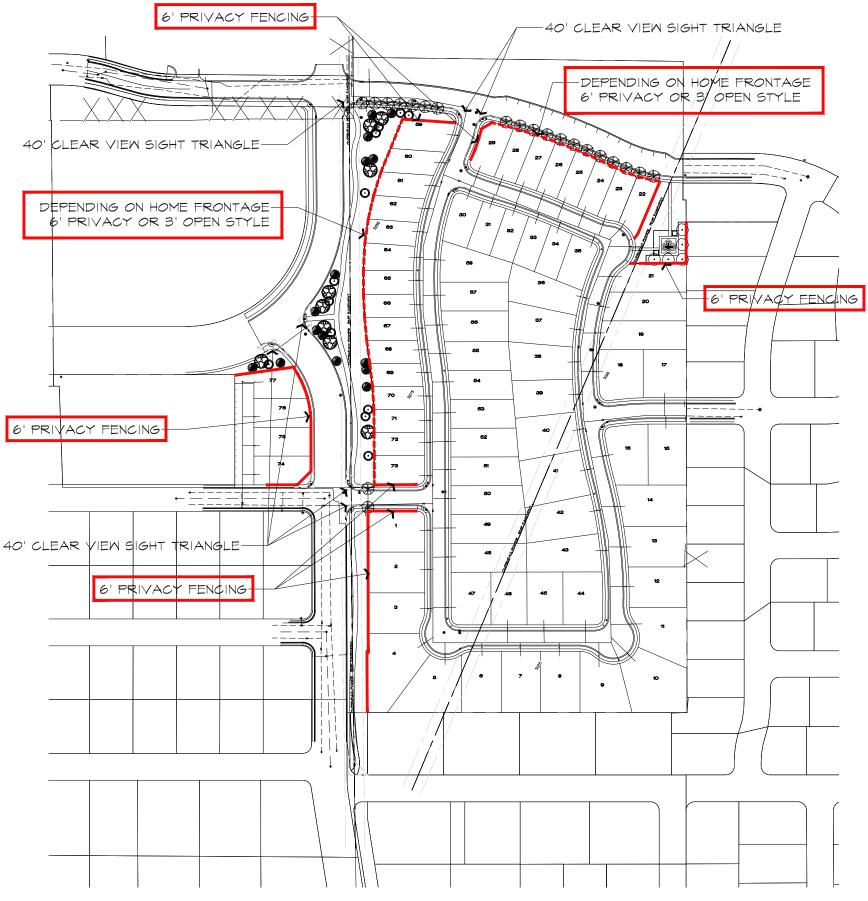
# located and marked

Santaquin . Utah LANDSCAPE PLANS Main Street & 900 East

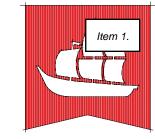
JANUARY 2022

LANDSCAPE fencing overview













call 811 or visit www.bluestakes.org before you dig to have all utilities

## located and marked

Santaquin . Utah LANDSCAPE PLANS Main Street & 900 East

JANUARY 2022

LANDSCAPE fencing overview





## DRC Meeting Minutes Tuesday, January 11, 2022

**DRC Members in Attendance:** Engineer Jon Lundell, Public Works Director Jason Callaway, Fire Chief Ryan Lind, Community Development Director Jason Bond, and City Manager Ben Reeves.

**Others in Attendance:** Assistant City Manager Norm Beagley, Staff Planner Ryan Harris. Kurt Greenhalgh and Gavin West representing the Green Hollow Subdivision. Kaden Cole and Shawn Herring representing the Hills at Summit Ridge Plats H, I, J, and K. Jody Reid,

Mr. Lundell called the meeting to order at 10:01 a.m.

### **Green Hollow Final Subdivision Review**

A final review of a 22-lot subdivision located at approximately 300 W. and 500 N.

Mr. Lundell explained that this subdivision was previously tabled by the DRC pending Planning Commission approval to modify the cross sections of 200 W. 450 N. and 300 W. He stated that this was reviewed by the Planning Commission who granted approval for the modified street cross sections.

**Engineering:** Mr. Lundell indicated that there are still outstanding redlines remaining on the storm drain report. He explained that the County Surveyor's Office is requesting that a PLSS certificate be completed for new subdivisions to protect survey monuments. Mr. Lundell stated that currently there is no P.I. line existing between approximately 450 N. and 500 north within 300 W. as is shown on the plans. He noted that it is a pressure zone breaks at this location in the P.I. system. He pointed out that a streetlight will be needed at the east end of450 N. because the 500-foot distance is exceeded.

Mr. Lundell asked the developer if they have contacted the Post Office regarding the location of the P.O. box. Mr. West stated that he will provide verification from the Post Office regarding the location of the boxes. Mr. Lundell indicated that a 2-inch overlay will be required on 300 W. due to the amount of road cuts required. He noted that the Storm Brix don't seem to be distributed appropriately throughout the development. He asked that the developer also provide verification of the volumes on the storm drain report. Mr. Lundell stated that any storm drain located on private property will need be located within an easement in favor of the city. He noted that at least 5 feet of separation is needed between the back of curb and the infiltration gallery.

Mr. Bond appreciates that the developer is developing this subdivision concurrently.

No comments from Public Works, Fire, Planning and Zoning, or Administration.

DRC Meeting Minutes January 11, 2022 Page 2 of 5

**Motion:** Mr. Bond motioned to approve the Green Hollow Subdivision Final Review with the condition that Engineering redlines be addressed. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

### The Hills at Summit Ridge Plat H Final Review

A final review of a 10-lot subdivision located at approximately Deerbrook Road and Windsong Drive.

**Public Works:** Mr. Callaway asked if there are any P.I. drains for this phase? Mr. Lundell explained that the low spot of the area (Plat H) is the intersection of Cypress Point/Sageberry Drive and Deerbrook Road. He noted that there is an existing 2-inch drain at that low spot, but he doesn't know if it's the permanent low spot based upon the grading. Mr. Herring confirmed that this is the low spot. Mr. Beagley asked that the low spot is noted on the plans and all Pl pipeline flow arrows be shown.

**Planning and Zoning:** Mr. Bond explained that the landscaping along the pond will need to match the existing landscaping along the top of the retention pond as was determined with previous phases.

**Engineering:** Mr. Lundell noted that the backfill for all trenches must be A-1-a material. If the developer wants to use native material for backfill, additional third-party testing is required. He noted that plat H is the only phase that can be developed alone as it isn't dependent upon other phases. Phases I, J, and K need to be developed concurrently to provide adequate waterline looping and road connection to all 3 phases. Mr. Lundell added that a PLSS certificate will need to be taken care of with the County Surveyor's Office.

Mr. Lundell indicated that it is the city's understanding that Salisbury is no longer the developer and asked that this be updated on the plat. He explained that a note regarding Santaquin being an agricultural community will be required on the plat. Mr. Lundell noted that the curve information doesn't match between Plats H and J. Mr. Lundell indicated that open space dedication is required due to the number of lots. It appears that there is a deficit regarding the amount of open space. The open space dedication needs to be included with either plat H or J.

Mr. Lundell explained that there is an existing 16-inch waterline that runs through this plat, the contractors doing the mass grading have indicated that there may not be enough cover over the waterline when this development is finished per the current grading design. Mr. Lundell noted that a privacy fence is required between the residential and retention basin area. He noted that that there must be 10 feet separation between the culinary and sewer lines per State Code. Mr. Lundell added that the existing berm between the finished portion of pond and unfinished area, needs to be removed from the basin during construction of the final basin per design.

No comments from Fire, or Administration.

DRC Meeting Minutes January 11, 2022 Page 3 of 5

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat H with the condition that all Engineering redlines be addressed. Chief Lind seconded. The motion passed unanimously in the affirmative.

### The Hills at Summit Ridge Plat I Final Review

A final review of a 9-lot subdivision located at approximately Deerbrook Road and White Sage Drive.

**Engineering:** Mr. Lundell asked that the developer works with the Post Office to ensure that the Mailbox Units (MBU's) are in the appropriate location and any easements required are provided.

No comments from Public Works, Fire, Planning and Zoning or Administration.

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat I with the condition that the Engineering redlines be addressed; and that construction does not move forward until there is appropriate access through plats H, J, and K. Chief Lind seconded. The motion passed unanimously in the affirmative.

### The Hills at Summit Ridge Plat J Final Review

A final review of a 41-lot subdivision located at approximately Cypress Point Drive and Monarch Loop.

**Engineering:** Mr. Lundell explained that the existing 16-inch culinary waterline cannot be relocated. He reiterated that the developer needs to adjust the proposed final grading for the finish roadway to provide appropriate cover over the water line. He stated that the city is working on installing a 16-inch pressure line irrigation line. He noted that the new PI line will be the same depth, approximately 3 to 4 feet deep, as the culinary water line, it will be offset of the culinary water line but will follow that similar alignment. Mr. Lundell asked for details regarding phase G, as it is currently showing lots with no utilities. Will the proposed church be located there? He indicated that the plans would need to show the correct utility connections if lots are to be fronting Sageberry Drive. Mr. Herring stated that they have since adjusted the plans to show the church and coordinating utilities and will provide these updated plans.

**Planning and Zoning:** Mr. Bond recommended that a T intersection be installed at the intersection of Wild Rose Blvd and Cypress Point Dr. He clarified that Cypress Point Dr. is known as Sageberry Dr and should be changed. He asked if Wild Rose Blvd will continue through the development? Mr. Herring answered that the road is expected to stay in line with the existing waterline easement. Mr. Bond suggested that Wild Rose Blvd be re-labeled Mountain View Drive if it will connect to that road at the north end of the future development.

DRC Meeting Minutes January 11, 2022 Page 4 of 5

Mr. Lundell stated that he would like to get Police input regarding the stop sign locations.

No comments from Public Works, Fire, or Administration

**Motion:** Mr. Bond motioned to approve the Hills at Summit Ridge Plat J with the following conditions: That more information be provided regarding the plans for Plat G. That the Engineering redlines be addressed. That discussion be held with Public Safety regarding stop sign locations. And that Plat J moves forward concurrently with plats H, I, and K to provide the required waterline looping and access. Mr. Reeves seconded. The motion passed unanimously in the affirmative.

### The Hills at Summit Ridge Plat K Final Review

A final review of a 21-lot subdivision located at approximately Monarch Loop and White Sage Drive.

Mr. Lundell asked that all trail improvements be installed all at one time rather than splitting them up between the proposed plat K and the future plat O. Mr. Bond indicated that it would be preferable if the trail improvements were to be constructed with Plat K. Mr. Lundell asked that details for the trail corridor be provided on the plat. He added that per the development agreement a 6-foot tan vinyl fence will be required between the trail corridor and property line.

No comments from Public Works, Fire, Planning and Zoning or Administration.

**Motion:** Mr. Callaway motioned to approve the Hills at Summit Ridge Plat K with the following conditions: that the Engineering redlines be addressed. And that the plat moves forward concurrently with plats H, I and J do to provide required access and waterline looping. Chief Lind seconded. The motion passed unanimously in the affirmative.

### Traffic Control Request for Striping on Highland Drive

The DRC will review a traffic control request for roadway striping on Highland Drive.

Mr. Lundell presented the data provided by the traffic count conducted. The maximum amount of traffic North bound set at 400 S. was 3400 cars within a day. South bound which was set about 450 S. was 3943 cars within a day. Mr. Lundell explained that per the Manual on Uniform Traffic Control Devices (MUTCD) (both Federal and State) require 6000 cars per day to warrant striping. Mr. Lundell stated that based upon the information provided striping isn't warranted on this roadway at this time.

DRC Meeting Minutes January 11, 2022 Page 5 of 5

**Public Works:** Mr. Callaway stated that he likes the striping coming into the intersections. As far as striping along Highland Drive it would create a recurring cost that would have to be done every few years. He doesn't believe that the current traffic count warrants it.

**Fire:** Chief Lind noted that striping coming into the intersection helps align drivers within the intersection. He added that they don't see many accidents within this area. He thinks the striping should be held off for now.

**Engineering:** Mr. Bond stated that he likes Mr. Callaway's proposal. Mr. Lundell explained that Mr. Callaway's proposal is to install delineators along Highland Drive on the side that abuts I-15. He explained that a delineator is a pole with a small reflective circle at the top. This would help delineate between traffic on I-15 and Highland Drive and help traffic from going off the asphalt. This would also help snowplow drivers, etc. He added that the maintenance cost over the life cycle is minimal.

**Administration:** Mr. Reeves stated that he's supportive of this idea. He noted that he believes that traffic should be reevaluated after Foothill Village is fully built out.

Ms. Jody Reid (the traffic control request applicant) explained that she appreciates that this will be revaluated with the future growth in the area. She stated that she is in support of this idea, as it addresses other problems and is cost affective.

**Motion:** Mr. Callaway motioned to install delineators along the West side of Highland Drive from Main Street to Canyon Road. Chief Lind Seconded. The motion passed unanimously in the affirmative.

### **MEETING MINUTES APPROVAL**

December 14, 2021

January 4, 2022

**Motion:** Mr. Reeves motioned to approve the minutes from December 14, 2021, and January 4, 2022. Mr. Callaway seconded. The motion passed unanimously in the affirmative.

### **ADJOURNMENT**

Mr. Reeves motioned to adjourn at 11:16 a.m.	
Jon Lundell, City Engineer	Kira Petersen, Deputy Recorder