



## DEVELOPMENT REVIEW COMMITTEE

Tuesday, December 12, 2023, at 10:00 AM  
Council Chambers at City Hall Building and Online  
110 S. Center Street, Santaquin, UT 84655

### MEETINGS HELD IN PERSON & ONLINE

The public is invited to participate as outlined below:

- **In Person** – The meeting will be held in the Council Chambers on the Main Floor in the City Hall Building
- **YouTube Live** – Some public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at <https://bit.ly/2P7ICfQ> or by searching for Santaquin City Channel on YouTube.

### ADA NOTICE

If you are planning to attend this Public Meeting and due to a disability need assistance in understanding or participating in the meeting, please notify the City Office ten or more hours in advance and we will, within reason, provide what assistance may be required.

## AGENDA

### NEW BUSINESS

**1. O'Reilly Auto Parts Site Plan**

A site plan review for a proposed auto parts store located at approximately 479 W Main Street.

**2. Apple Hollow at The Orchards B Preliminary Plan**

A preliminary review of a 9-lot and 84 townhome subdivision located at approximately 215 W. and Ginger Gold Road.

**3. The Hills Plat G Final Plan**

A final plan review for a one lot subdivision located at approximately 1544 S. and Cyprus Point Drive.

**4. Citadel Santaquin Storage Units Subdivision Preliminary/Site Plan**

A preliminary review of a 2-lot subdivision and site plan located at approximately 120 E. 610 S.

**5. Grey Cliffs Plat A Final Plan**

A final plan review for the Grey Cliffs Subdivision Plat A located east of State Road 198 and approximately 1082 E. Grey Cliffs Drive.


### MEETING MINUTES APPROVAL

**6. November 14, 2023**

### ADJOURNMENT

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda may be found at [www.santaquin.org](http://www.santaquin.org), in three physical locations (Santaquin City Hall, Zions Bank, Santaquin Post Office), and on the State of Utah's Public Notice Website, <https://www.utah.gov/pmn/index.html>. A copy of the notice may also be requested by calling (801)754-1904.

BY:   
\_\_\_\_\_  
Amalie R. Ottley, City Recorder

# SITE PLAN DEVELOPMENT

## O'REILLY AUTO PARTS - MAIN STREET

PARCEL NO. 32.007.0013  
CITY OF SANTAQUIN, COUNTY OF UTAH, STATE OF UTAH

### SYMBOLS LEGEND

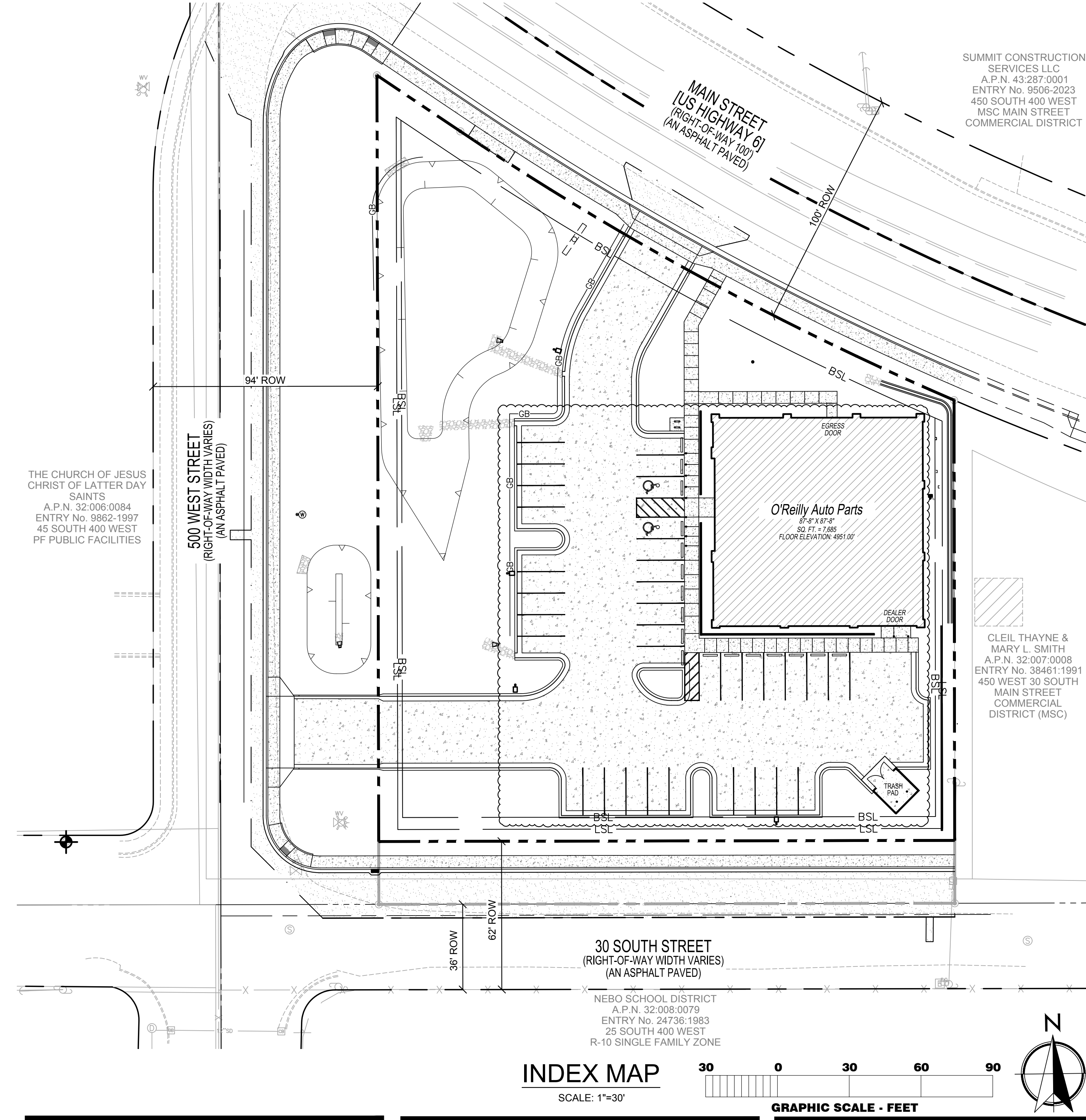
- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- NEW BUILDING CONSTRUCTION
  - AREA OF CONCRETE
  - AREA OF ASPHALT
  - AREA OF RIP RAP
  - CONCRETE PAVING BLOCK
  - O'REILLY PROPERTY LINE/ROW
  - ADJACENT PROPERTY LINE
  - CENTER LINE
  - RIGHT-OF-WAY LINE
  - BSL BUILDING SETBACK LINE
  - LSL LANDSCAPE SETBACK LINE
  - PROPOSED EASEMENT
  - LIMITS OF DISTURBANCE
  - PROPOSED POLE SIGN LOCATION
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED WATER METER
  - PROPOSED FIRE HYDRANT
  - TOP OF RETENTION POND
  - TOE OF RETENTION POND

### ABBREVIATIONS

BUILDING SETBACK LINE	BSL
BACK OF WALK	BW
BOTTOM OF POND	BOP
BOTTOM OF WALL	BOW
CURB CUT	CC
CURB FACE	CF
DESIGN CAPTURE VOLUME	DCV
EXPOSED BACK OF CURB	EC
EXPOSED FOUNDATION	EF
EXISTING GROUND	EG
EXISTING SURFACE	ES
FINISHED FLOOR ELEVATION	FF/FFE
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
INVERT	INV
LANDSCAPE SETBACK	LSB
MATCH EXISTING	ME
PROPERTY LINE	PL
SIDEWALK	SW
TOP OF CURB	TC
TOP OF WALL	TOW
TOP OF GRATE	TG
TRASH PAD	TP
WATER SURFACE ELEVATION	WSEL

### SHEET INDEX

- C1.0 - COVER SHEET
  - D1.1 - SITE DEMOLITION PLAN
  - C1.1 - SITE GRADING PLAN
  - C1.2 - SITE EROSION CONTROL PLAN
  - C2.1 - SITE DEVELOPMENT PLAN
  - C2.2 - SITE DETAILS
  - C2.3 - REFUSE ENCLOSURE DETAILS
  - C2.4 - CITY STANDARD DETAILS
  - C2.5 - UTILITY DETAILS
  - C2.6 - SITE ACCESSIBILITY CIRCULATION PLAN
  - C2.7 - UDOT STANDARD DETAILS
  - C3.1 - SITE UTILITY PLAN
  - C4.1 - ROAD PLAN
  - C4.2 - MAIN STREET IMPROVEMENTS
- REFERENCE LANDSCAPE PLANS FOR LANDSCAPING DETAILS.



### SITE DETAILS

PARCEL AREA:	65,753 SQ. FT.
BUILDING AREA:	59,428 SQ. FT. (FINAL BOUNDARY)
PARKING LOT AREA:	7,453 SQ. FT.
LANDSCAPED AREA:	21,628 SQ. FT.
TOTAL ACREAGE TO BE DEDICATED FOR ROW:	0.145 ACRE
CONCRETE WALK AREA:	1,841 SQ. FT.

### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

### BENCHMARK

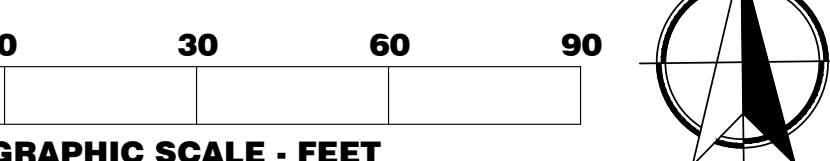
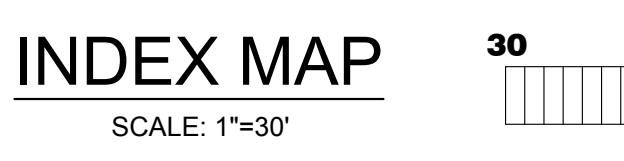
THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVDS88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.



### UTILITY COMPANY CONTACTS

- CULINARY WATER & SANITARY SEWER:**  
SANTAQUIN CITY  
JON LUNDELL, P.E.  
(801)-754-1974  
JLUNDELL@SANTAQUIN.ORG
- POWER:**  
ROCKY MOUNTAIN POWER  
CLAIRE HUNTER  
(385) 395-7198  
CLAIRE.HUNTER@PACIFICORP.COM
- FIBER OPTIC & PHONE:**  
LUMEN/CENTURYLINK  
LARRY BUHLER  
(385) 479-7357  
LARRY.BUHLER@LUMEN.COM
- NATURAL GAS:**  
DOMINION ENERGY  
SL MAPPING DEPARTMENT  
(801) 324-3970  
MAP.REQUESTS@DOMINIONENERGY.COM
- CABLE TV & PHONE:**  
CENTRACOM INTERACTIVE  
ALISA FAATZ  
(435) 427-3331  
A.FAATZ@CENTRACOM.COM
- FIBER OPTIC:**  
UTOPIA FIBER  
XIAOTONG WU  
(801) 613-3854  
XWU@UTOPIANET.ORG
- FIBER OPTIC & TRAFFIC SIGNALS:**  
UDOT REGION III  
DEGEN LEWIS  
(801) 227-8011  
DLEWIS@UTAH.GOV

### CONTACTS

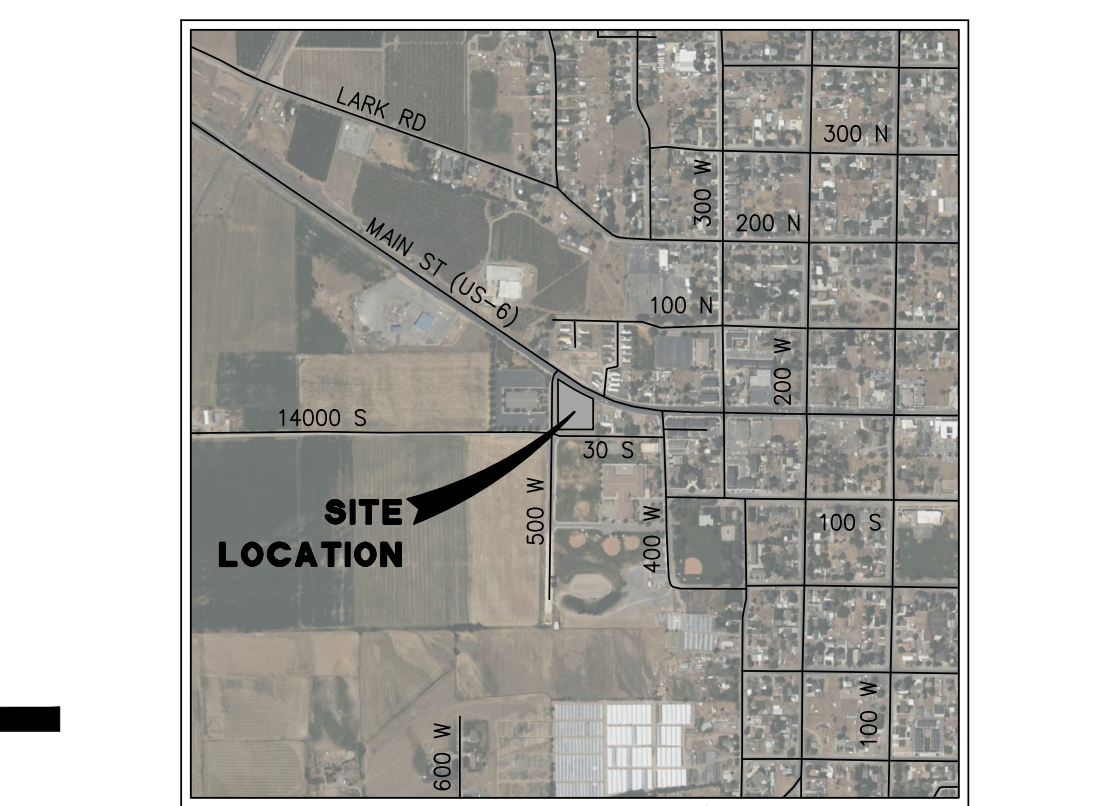
- CIVIL ENGINEER:**  
TAIT & ASSOCIATES, INC.  
6163 E. COUNTY ROAD 16  
LOVELAND, CO 80537  
ATTN: BRANDON HUMANN, PE  
405-650-5238
- MEP:**  
SMITH-GOTH ENGINEERS, INC.  
3855 JEFFERSON AVE.  
SPRINGFIELD, MO 65807  
(417) 882-1188
- ARCHITECT:**  
CRAIG A. SCHNEIDER, AIA  
1736 EAST SUNSHINE, SUITE 417  
SPRINGFIELD, MO 65804  
(417) 862-0558

### DEVELOPER/OWNER

**O'Reilly AUTO PARTS**

O'REILLY AUTO ENTERPRISES, LLC  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

### VICINITY MAP



COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE: 08/17/2023  
12/01/2023

**811**  
Know what's below  
Call before you dig.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

6163 East County Road 16  
Loveland, CO 80537  
p: 970.613.1447  
www.tait.com

**TAIT & ASSOCIATES**  
ENGINEERING ENVIRONMENTAL BUILDING LAND  
Orange County Sacramento Denver Dallas  
San Luis Obispo Riverside Boise Atlanta

Since 1914

PROFESSIONAL ENGINEER  
No. 2976759  
BRANDON HUMANN  
11/09/2023  
STATE OF UTAH

BRANDON HUMANN  
PE 12976759-2202

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-0558  
Fax: 417-862-3265  
e-mail: architect@esterlyschneider.com

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT  
COVER SHEET

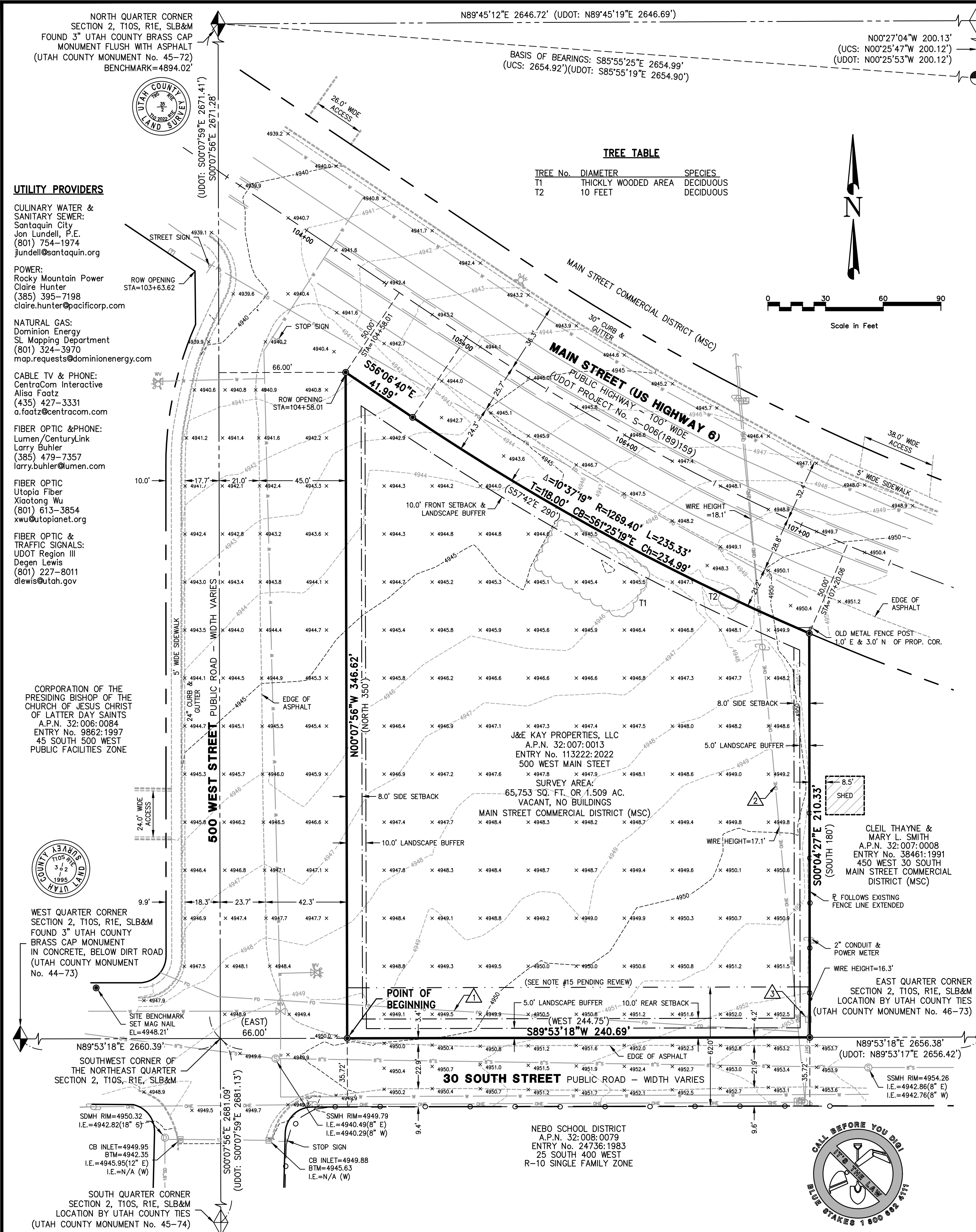
**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
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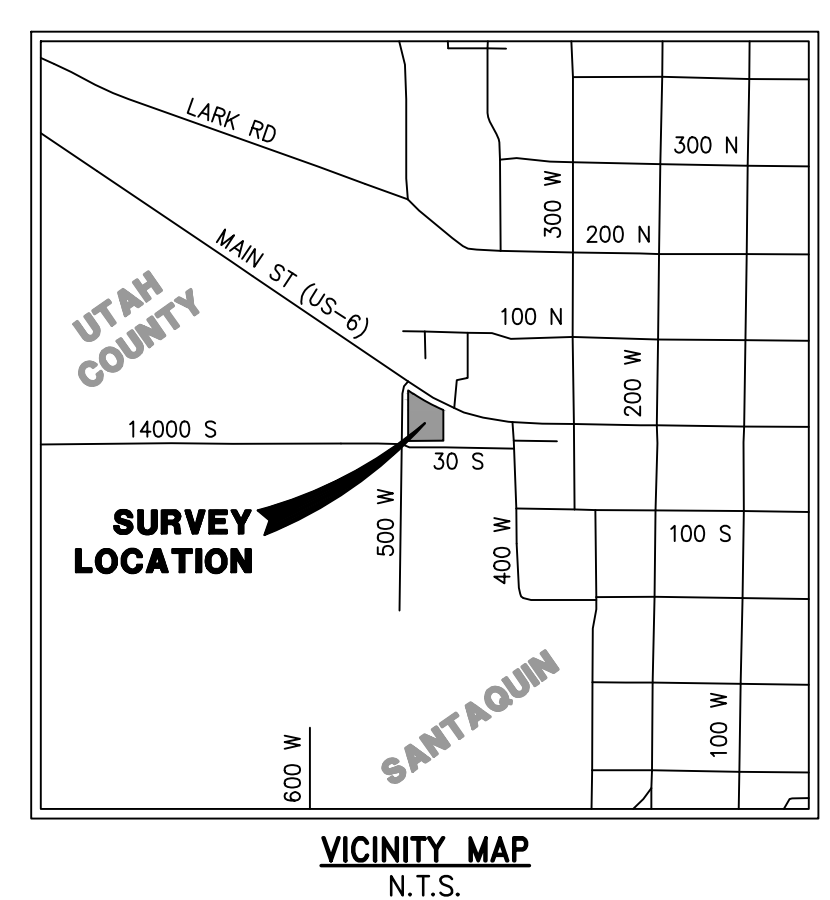
**811**  
Know what's below  
Call before you dig.

C1.0



**NORTHEAST CORNER**  
SECTION 2, T10S, R1E, SLB&M  
RECORD LOCATION  
(UTAH COUNTY MONUMENT No. 46-72)

**REFERENCE CORNER**  
FOR THE NORTHEAST CORNER  
SECTION 2, T10S, R1E, SLB&M  
FOUND 3" UTAH COUNTY BRASS CAP  
MONUMENT IN CONCRETE,  
BELOW GRAVEL DRIVEWAY  
(UTAH COUNTY MONUMENT No. 46-72RC)



**SURVEYOR'S CERTIFICATE**  
To O'Reilly Auto Enterprises, LLC, a Delaware limited liability company; Stewart Title of Utah, Inc. and Stewart Title Guaranty Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 6, 8, 9, 11, 13, 14, 16 and 17 of Table A thereof. The on-site measurements were completed on February 2, 2023. To the best of my knowledge, information and belief, all information hereon is true and accurately shown.

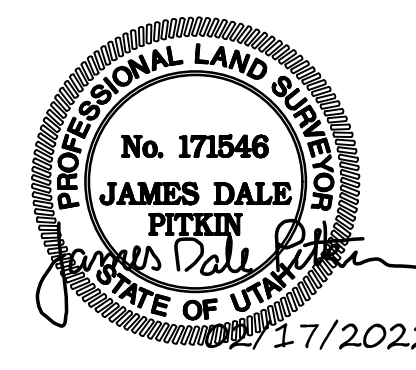
**RECORD DESCRIPTION**  
(Title Commitment No. 1928441, Effective Date: December 30, 2022)

Commencing 66 feet East of the Southwest corner of the Northeast quarter of Section 2, Township 10 South, Range 1 East, Salt Lake Base and Meridian; thence North 350 feet, more or less, to State Highway right of way boundary, thence South 57'45" East 290 feet, more or less, to property fence; thence South 180 feet, more or less, to South boundary of Quarter Section; thence West 244.75 feet to the place of beginning.

Tax ID No. 32-007-0013

Date: February 17, 2023

James D. Pitkin, PLS  
License No. 171546



- GENERAL NOTES**
- THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.
  - THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.
  - SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.
  - THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA IDENTIFIED AS ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 49049C0975F, EFFECTIVE DATE: JUNE 19, 2020, FOR COMMUNITY NO. 49227, CITY OF SANTAQUIN. NO MAP HAS BEEN PRINTED FOR THIS AREA.
  - PER ZONING VERIFICATION LETTER FROM SANTAQUIN CITY COMMUNITY DEVELOPMENT DEPARTMENT (LOREN WILTZE 801-754-1011), DATED NOVEMBER 17, 2022, THE SUBJECT PROPERTY IS CURRENTLY ZONED MAIN STREET COMMERCIAL DISTRICT (MSC). SANTAQUIN CITY MUNICIPAL CODE 10.20.190 "MAIN STREET BUSINESS DISTRICTS ZONE" DISCLOSES THE FOLLOWING MINIMUM BUILDING SETBACK REQUIREMENTS: FRONT - 10 FEET; SIDE - 0 FEET OR 8 FEET IF NOT BUILT TO THE PROPERTY LINE IF MIXED USE OR NONRESIDENTIAL STRUCTURE WITH BUILDING CODE RATED FIREWALL; REAR - 0 FEET IF BUILDING CODE RATED FIREWALL OR 10 FEET FOR LOADING DOCK WITH APPROVED SCREENING. MAXIMUM BUILDING HEIGHT IS 60 FEET FOR NONRESIDENTIAL BUILDINGS. MAXIMUM BUILDING COVERAGE IS 80%. CITY CODE 10.48.040 "NUMBER OF PARKING SPACES REQUIRED" DISCLOSES 5 SPACES PER 1,000 SQUARE FEET IS REQUIRED FOR RETAIL SALES AND SERVICES.
  - NO CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
  - UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE INDICATIONS SURVEYED ON THE SUBJECT PROPERTY. INFORMATION PROVIDED FROM UTILITY PROVIDERS AND PAINTED MARKINGS PROVIDED BY GPS WORK AUTHORIZATION NO. 522734. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND MAKES NO GUARANTEES THAT THE UTILITIES SHOWN HEREON COMPROMISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - EXISTING UNDERGROUND SANITARY SEWER INFORMATION SHOWN IS PER INFORMATION FROM SANTAQUIN CITY, OBSERVED EVIDENCE AND PAINTED UTILITY LOCATE MARKINGS. EXISTING UNDERGROUND SANITARY SEWER LINES SHOWN ARE 8" DIAMETER PVC PIPE.
  - EXISTING UNDERGROUND CULINARY WATER INFORMATION SHOWN IS PER INFORMATION FROM SANTAQUIN CITY, OBSERVED EVIDENCE AND PAINTED UTILITY LOCATE MARKINGS.
  - EXISTING UNDERGROUND STORM DRAIN INFORMATION SHOWN IS PER INFORMATION FROM SANTAQUIN CITY, OBSERVED EVIDENCE AND PAINTED UTILITY LOCATE MARKINGS. EXISTING UNDERGROUND STORM DRAIN LINES SHOWN RANGE FROM 12"-18" DIAMETER METAL PIPE.
  - NO EVIDENCE OF EXISTING UNDERGROUND GAS LINES OBSERVED. INFORMATION FROM DOMINION ENERGY IS PENDING AT THE TIME OF THIS SURVEY.
  - EXISTING UNDERGROUND AND ABOVE GROUND ELECTRIC LINE INFORMATION SHOWN IS PER INFORMATION FROM ROCKY MOUNTAIN POWER, OBSERVED EVIDENCE AND PAINTED UTILITY LOCATE MARKINGS.
  - MAIN STREET (US HIGHWAY 6) IS CONSIDERED TO BE AN INTERSTATE HIGHWAY. THE ROADWAY ADJOINING THE NORTHERLY SIDE OF THE SUBJECT PROPERTY HAS TWO TRAVEL LANES WITH A SHARED LEFT TURN LANE. PAVEMENT IS IN GOOD CONDITION. THE SPEED LIMIT FOR MAIN STREET ALONG THE SUBJECT PROPERTY IS 35 MPH. THE RIGHT OF WAY WIDTH TO THE ALONG THE SUBJECT PROPERTY IS 100 FEET AND IS SHOWN. PER SANTAQUIN CITY ENGINEERING DEPARTMENT (JON LUNDELL 801-754-1974) THERE ARE PLANS TO WIDEN MAIN STREET FROM TWO TRAVEL LANES TO FOUR TRAVEL LANES THAT WILL NOT REQUIRE ADDITIONAL PROPERTY FOR THE PROJECT. ANY NEW ACCESS ONTO MAIN STREET WILL NEED TO BE APPROVED BY THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT).
  - 500 WEST STREET IS CONSIDERED TO BE A COLLECTOR ROAD. THE ROADWAY ADJOINING THE WESTERLY SIDE OF THE SUBJECT PROPERTY HAS TWO UNPAINTED TRAVEL LANES. PAVEMENT IS IN FAIR CONDITION. THE SPEED LIMIT FOR 500 WEST STREET ALONG THE SUBJECT PROPERTY IS 25 MPH. PER SANTAQUIN CITY ENGINEERING DEPARTMENT (JON LUNDELL 801-754-1974) IT IS NOT ANTICIPATED THAT ADDITIONAL RIGHT OF WAY DEDICATION WOULD BE NEEDED AS THERE IS APPROXIMATELY 93 FEET OF CITY RIGHT OF WAY.
  - 30 SOUTH STREET IS CONSIDERED TO BE A LOCAL ROAD. THE ROADWAY ADJOINING THE SOUTHERLY SIDE OF THE SUBJECT PROPERTY HAS TWO UNPAINTED TRAVEL LANES. PAVEMENT IS IN FAIR CONDITION. THE SPEED LIMIT FOR 30 SOUTH STREET ALONG THE SUBJECT PROPERTY IS 20 MPH. PER SANTAQUIN CITY ENGINEERING DEPARTMENT (JON LUNDELL 801-754-1974) IT IS ANTICIPATED THAT ADDITIONAL RIGHT OF WAY DEDICATION WOULD BE NEEDED AS THE EXISTING RIGHT OF WAY IS ONLY APPROXIMATELY 36 FEET AND SANTAQUIN CITY'S CURRENT MINIMUM ROAD WAY WIDTH IS 62 FEET.
  - THE ON-SITE MEASUREMENTS WERE CONDUCTED IN WINTER CONDITIONS. SOME FEATURES MAY HAVE BEEN OBSCURED BY SNOW & ICE.

- REFERENCES**
- COMMITMENT FOR TITLE INSURANCE & ASSOCIATED DOCUMENTATION PREPARED BY STEWART TITLE OF UTAH, INC., TITLE COMMITMENT NO. 1928441, EFFECTIVE DATE: DECEMBER 30, 2022.
  - UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE AND DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, DATED NOVEMBER 6, 2019.
  - UTAH DEPARTMENT OF TRANSPORTATION RECORD OF SURVEY NO. 18-095 (SANTAQUIN MAIN STREET PROJECT NO. S-0006(18)159), PREPARED BY J-U-B ENGINEERS, INC., SIGNED MARCH 20, 2018. RECORDS OF SURVEY NOS. 97-253 & 97-291.

- POSSIBLE ENCROACHMENTS**
- UNDERGROUND FIBER OPTIC LINE WITH NO APPARENT EASEMENT ALONG SOUTH SIDE OF SUBJECT PROPERTY.
  - OVERHEAD ELECTRIC AND TELECOMMUNICATION LINES WITH NO APPARENT EASEMENT ALONG EAST SIDE OF SUBJECT PROPERTY.
  - TELECOMMUNICATION BOX WITH NO APPARENT EASEMENT AT SOUTHEAST CORNER OF SUBJECT PROPERTY.

**LEGEND**

	SUBJECT PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINES
	SECTION LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE (LINE TYPE VARIES)
	SETBACK LANDSCAPE BUFFER LINE
	SECTION MONUMENTS FOUND, NOT FOUND (AS NOTED)
	REFERENCE MONUMENTS FOUND
	SET REBAR & CAP MARKED "DOMINION ENGINEERING" (UNLESS OTHERWISE NOTED)
	EXISTING CHAIN LINK FENCE
	EDGE OF EXISTING IMPROVEMENTS ± (AS NOTED)
	CULINARY WATER LINES ±
	SANITARY SEWER LINES ±
	STORM DRAIN LINES ±
	OVERHEAD POWER LINES ±
	OVERHEAD TELECOMMUNICATION LINES ±
	FIBER OPTIC LINES ±
	NATURAL GAS LINES ±
	EXISTING WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE, CATCH BASIN
	EXISTING ELECTRICAL BOX, POWER POLE
	EXISTING TELECOMMUNICATIONS BOX
	EXISTING FIRE HYDRANT
	RECORD BEARINGS AND/OR DISTANCES
	EXISTING ONE FOOT ELEVATION CONTOUR LINE
	EXISTING SPOT ELEVATION
	POSSIBLE ENCROACHMENT REFERENCE NUMBERS
	UTAH COUNTY SURVEYOR
	UTAH DEPARTMENT OF TRANSPORTATION

<b>DRAWN</b>	BCD 02.2023	<b>CHECKED</b>	JDP 02.2023
<b>DESIGNED</b>		<b>PROJECT ENGINEER</b>	
<b>APPROVED</b>		<b>PROJECT MANAGER</b>	

**O'REILLY AUTO ENTERPRISES, LLC**

**SANTAQUIN CITY, UTAH COUNTY, UTAH**

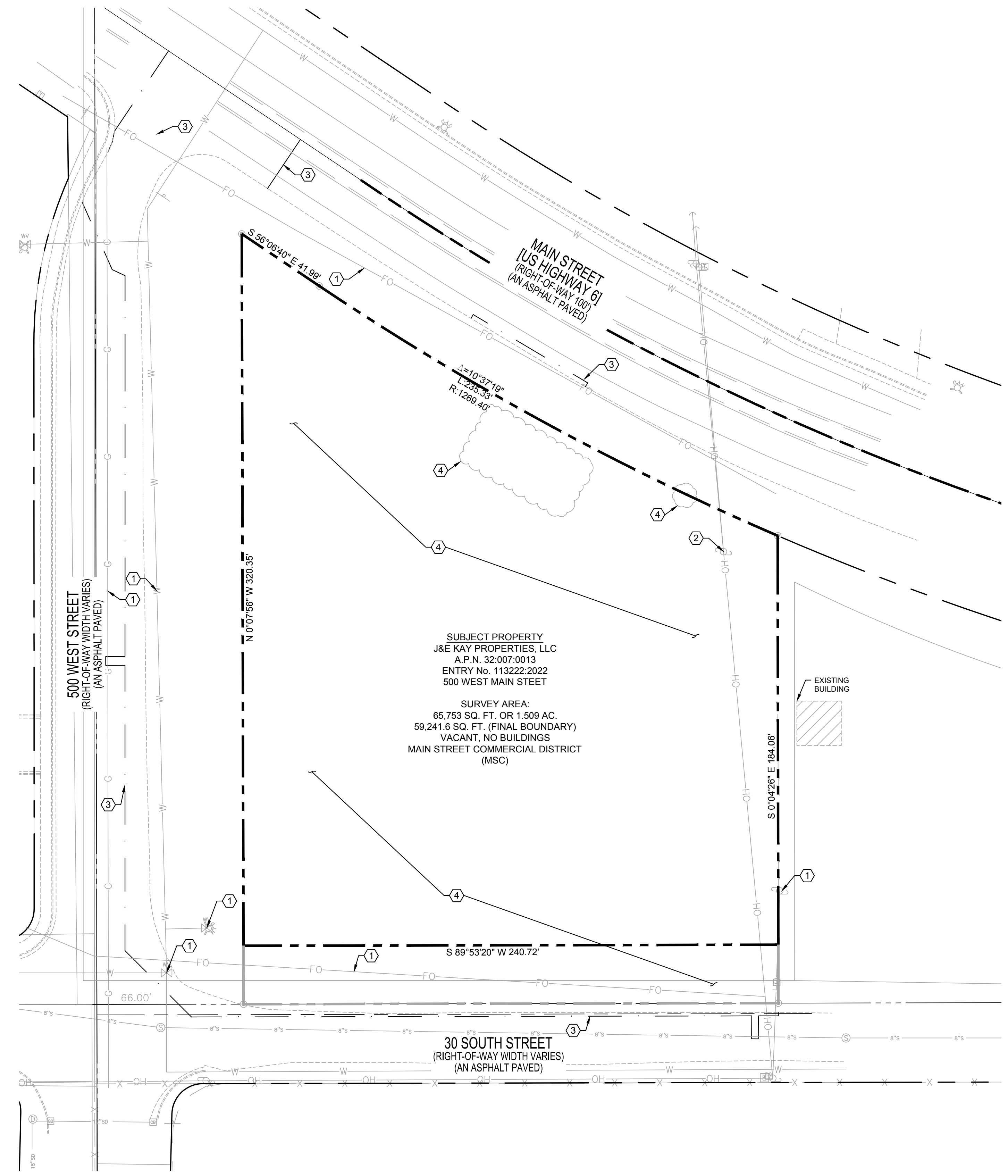
**Dominion**  
Engineering Associates, L.C.  
5684 South Green Street  
Murray, Utah 84123 801-713-3000

**ALTA/NSPS LAND TITLE SURVEY**

**500 WEST MAIN STREET**

**LOCATED IN THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN**

<b>PROJECT NO.</b>		3704-01	
<b>SHEET NO.</b>		SV1	
<b>NO.</b>	<b>REVISIONS</b>	<b>BY</b>	<b>DATE</b>
1	ADD ZONING LETTER, DEED E.N. TYPDS	BCD	02.17.23
0	RELEASED FOR REVIEW	JDP	02.13.23
<b>FILE NAME:</b>		<b>SCALE:</b>	
S01_ALTA		1"=20'	



### GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

### KEY NOTES

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 RELOCATE UTILITY POLE
- 3 SAWCUT EXISTING PAVEMENT AS SHOWN.
- 4 CLEAR AND GRUB

### BASIS OF BEARING

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GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

### BENCHMARK

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SL&M.

### SYMBOLS LEGEND

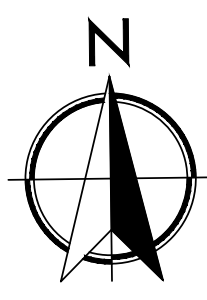
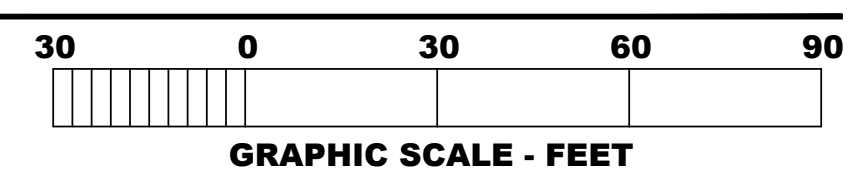
	EXISTING BUILDING
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	SECTION LINE
	ROAD CENTERLINE
	ADJACENT PROPERTY LINE
	EXISTING 8" SEWER MAIN
	EXISTING WATER LINE
	EXISTING FENCE
	EXISTING 12" STORM DRAIN LINE
	EXISTING 18" STORM DRAIN LINE
	EXISTING FIBER OPTIC CABLE
	EXISTING MISCELLANEOUS
	EXISTING TREE
	EXISTING FIBER OPTIC BOX
	EXISTING ELECTRICAL BOX
	EXISTING POWER POLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING SIGN

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## 1 SITE DEMOLITION PLAN

D1.1 SCALE: 1" = 30'-0"



PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

**TAIT & ASSOCIATES**  
6163 East County Road 16  
Loveland, CO 80537  
p: 970.613.1477  
www.tait.com

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**PROFESSIONAL ENGINEER**  
BRANDON HUMANN  
No. 2376759  
11/09/2023  
STATE OF UTAH

BRANDON HUMANN  
PE 12976759-2202

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804

417.862.0558  
Fax: 417.862.3265  
e-mail: architec@esterlyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**SITE DEMOLITION PLAN**

**O'Reilly AUTO PARTS**

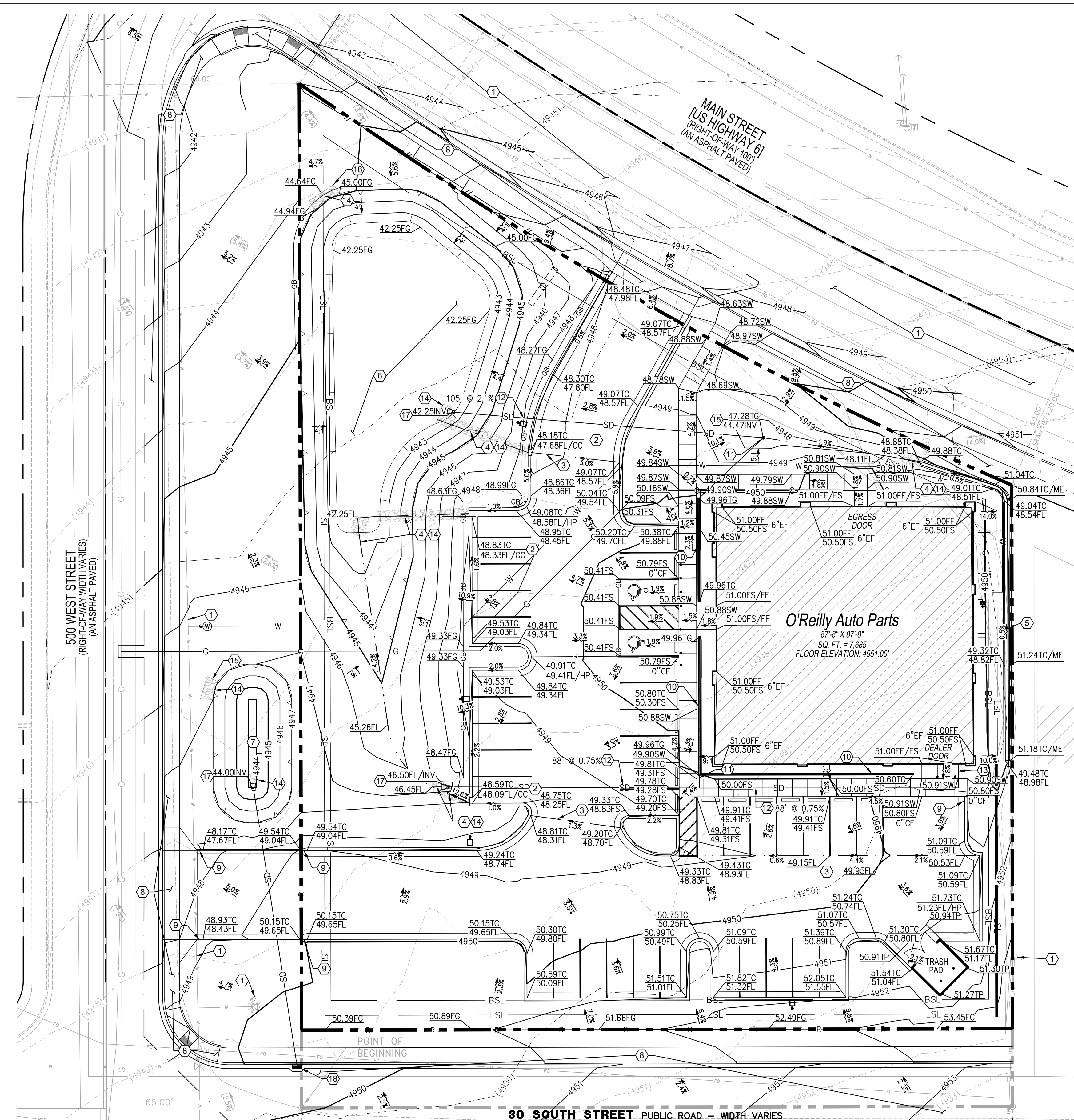
CORPORATE OFFICES  
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COMM #4704
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REVISION
DATE: 08/17/2023
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**CAUTION:**  
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**Know what's below**  
**Call before you dig.**



**1 SITE GRADING PLAN**

C1.1 SCALE: 1" = 20'-0"

**BASIS OF BEARING**

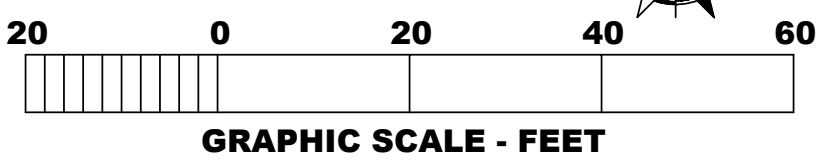
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**BENCHMARK**

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAD83), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.



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**2 ADA DETAIL**

C1.1 SCALE: 1" = 10'-0"

**SYMBOLS LEGEND**

	NEW BUILDING CONSTRUCTION
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	PROPOSED GAS SERVICE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SAWCUT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	EXISTING SURFACE LABEL
	FINISHED SURFACE LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SLOPE
	PROPOSED SLOPE
	TOP OF RETENTION POND
	TOE OF RETENTION POND

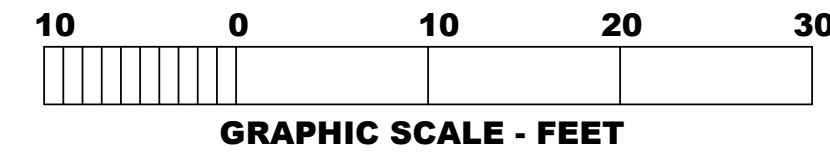
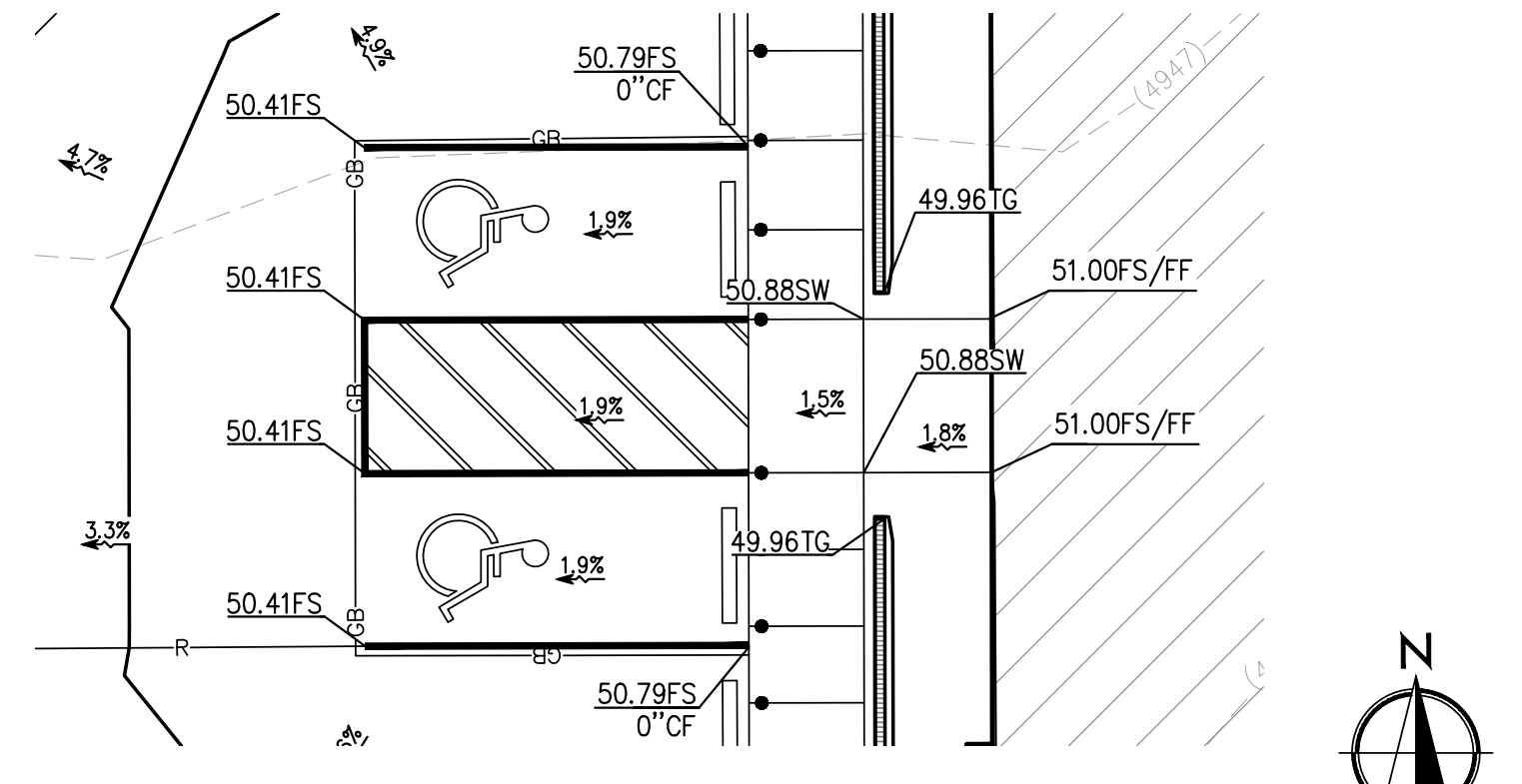
**ADA NOTE**

ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:  
 • CROSS-SLOPE NOT TO EXCEED 2%  
 • LONGITUDINAL SLOPE NOT TO EXCEED 5%  
 • LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%  
 • RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)  
 • PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

**STORMWATER NOTES**

ON-SITE STORAGE IS DESIGNED PER THE SANTAQUIN STORM DRAIN MASTER PLAN FOR RETENTION OF THE 100 YEAR, 24 HOUR STORM.  
**ONSITE RETENTION VOLUMES:**  
 TOTAL 100 YEAR, 24 HOUR STORM RUNOFF VOLUME = 8463 CF  
 POND STORAGE VOLUME AT ELEV 4944.00 = 8990 CF  
**OFFSITE RETENTION VOLUMES:**  
 REQUIRED SOUTH STREET 25 YEAR, 6 HOUR RUNOFF VOLUME = 799 CF  
 RIGHT OF WAY STORAGE VOLUME AT 4946.00 = 877 CF

**NOTE:**  
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**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

**KEYNOTES**

- (1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- (2) 2' WIDE CURB CUT. REFER TO DETAIL 8/C2.2.
- (3) PROPOSED SWALE IN CONCRETE.
- (4) PROPOSED SWALE IN LANDSCAPE RIPRAP.
- (5) 1' U-GUTTER IN LANDSCAPE CURB. REFER TO DETAIL 9/C2.2.
- (6) PROPOSED ONSITE RETENTION POND.
- (7) PROPOSED OFFSITE RETENTION POND.
- (8) OFFSITE IMPROVEMENTS. SEE SHEETS C4.1 AND C4.2.
- (9) 2' CURB TRANSITION.
- (10) 4' PRESLOPED TRENCH DRAIN. REFER TO DETAIL 11/C2.2.
- (11) 4' TRENCH DRAIN HDPE CONNECTION PIPE. REFER TO C3.1 FOR GRADES.
- (12) 8" HDPE STORM DRAIN PIPE AT GRADES SHOWN.
- (13) ROOF DRAIN MANIFOLD CONNECTION.
- (14) RIP RAP UNDERLINED WITH NONWOVEN GEOTEXTILE FABRIC. TYPE D50-6" RIPRAP TO A DEPTH OF 18".
- (15) 12" AREA DRAIN. REFER TO DETAILS ON SHEET C2.5
- (16) SECONDARY/EMERGENCY OVERFLOW
- (17) 8" HDPE FLARED END SECTION. REFER TO DETAILS ON SHEET C2.5
- (18) STANDARD CITY OF SANTAQUIN CURB INLET. REFER TO DETAIL SD1/C2.5.

THIS PLAN HAS BEEN UPDATED TO REFLECT THE CHANGE IN BUILDING SIZE AND SHIFT IN LOCATION.

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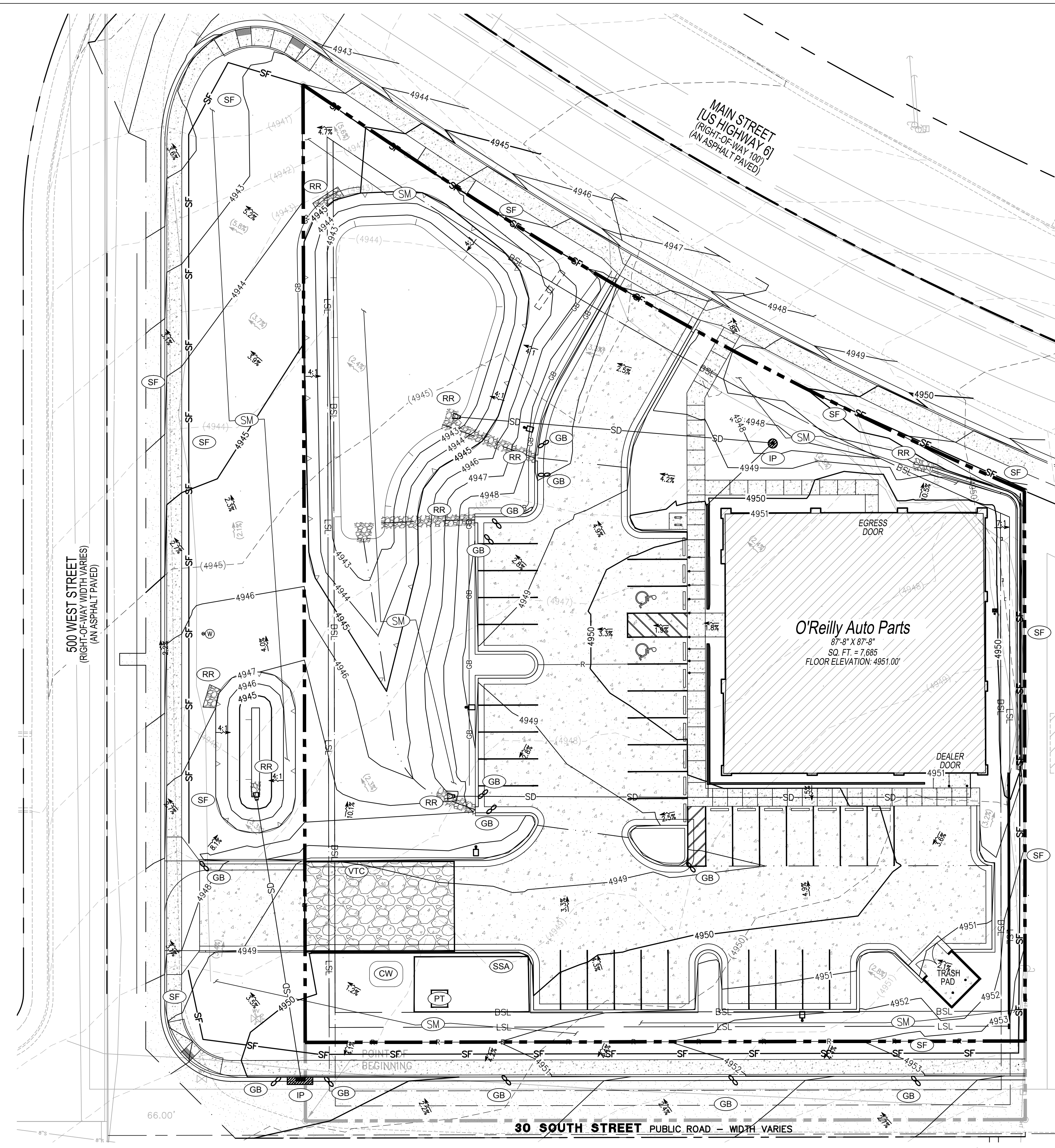
Professional Engineer  
 Brandon Humann  
 No. 2976759  
 11/09/2023  
 State of Colorado  
 Denver  
 Boulder  
 Broomfield  
 Jefferson  
 Weld

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
 1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417-862-0558  
 Fax: 417-862-3265  
 e-mail: architec@esterlyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**SITE GRADING PLAN**

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
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### EROSION CONTROL & MAINTENANCE PLAN NOTES

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADINGS AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION WITH A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY CODE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO SITE DETAILS FOR SILT FENCE CONSTRUCTION.
7. REFER TO COLORADO DEPARTMENT OF ENVIRONMENTAL QUALITY STORM WATER MANAGEMENT DURING CONSTRUCTION FIELD GUIDE FOR BEST MANAGEMENT PRACTICES DURING CONSTRUCTION.
8. REFUELING AND MAINTENANCE OPERATIONS SHALL TAKE PLACE IN THE DESIGNATED STABILIZED STAGING AREA.

### SITE LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- NEW BUILDING CONSTRUCTION
  - AREA OF CONCRETE
  - AREA OF ASPHALT
  - AREA OF RIP RAP
  - CONCRETE PAVING BLOCK
  - O'REILLY PROPERTY LINE/ROW
  - ADJACENT PROPERTY LINE
  - CENTER LINE
  - RIGHT-OF-WAY LINE
  - BSL - BUILDING SETBACK LINE
  - LSL - LANDSCAPE SETBACK LINE
  - PROPOSED EASEMENT
  - PROPOSED SAWCUT
  - PROPOSED RIDGELINE
  - PROPOSED SWALE FLOW LINE
  - PROPOSED POLE SIGN LOCATION
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED WATER METER
  - PROPOSED FIRE HYDRANT
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING SLOPE
  - PROPOSED SLOPE
  - TOP OF RETENTION POND
  - TOE OF RETENTION POND

### STAGE OF CONSTRUCTION NOTES

- PHASE 1 (PRE-CONSTRUCTION)
1. INSTALLATION OF EROSION CONTROL SILT FENCE.
  2. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
  3. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
    - VEHICLE TRACKING CONTROL
    - SANITARY FACILITIES
    - GRAVEL BAGS
- PHASE 2 (DURING GRADING, AND PAVING)
4. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
  5. ROUGH GRADING.
  6. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
  7. FINAL GRADING.
    - CONCRETE WASHOUT AREA
    - PRIOR TO ANY CONCRETE WORK
    - INLET PROTECTION FOR PROPOSED ONCE INSTALLED
- PHASE 3 (POST PAVING)
8. PLACEMENT OF FINAL LANDSCAPING ITEMS.
  9. REMOVAL OF EROSION CONTROL FENCE.
    - FINAL LANDSCAPE INSTALLATION PER LANDSCAPE PLANS
    - REMOVE REMAINING EROSION CONTROL BMP'S ONCE STABILIZED

### EROSION CONTROL SYMBOLS

TITLE	KEY	SYMBOL
CONCRETE WASHOUT AREA	CW	[Symbol]
PORTABLE TOILET	PT	[Symbol]
VEHICLE TRACKING CONTROL	VTC	[Symbol]
GRAVEL BAG	GB	[Symbol]
DRAIN INLET PROTECTION	IP	[Symbol]
STABILIZED STAGING AREA	SSA	[Symbol]
SILT FENCE	SF	[Symbol]
AREA OF RIP RAP	RR	[Symbol]
SEEDING & MULCHING	SM	[Symbol]

### CONSTRUCTION EGRESS NOTES

1. PREFABRICATED CONSTRUCTION EGRESS SHALL BE 12" MINIMUM WIDTH AND 35' MINIMUM LENGTH. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. AGGREGATE BASED CONSTRUCTION EGRESS SHALL BE 12" MINIMUM AND 70' LENGTH WITH A 6" MIN THICKNESS OF STONE (1.5" 3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER CITY OR STATE REQUIREMENTS.

### SITE EXCAVATION REQUIREMENTS

- (A) A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- (B) FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- (C) REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

THIS PLAN HAS BEEN UPDATED TO REFLECT THE CHANGE IN BUILDING SIZE AND SHIFT IN LOCATION.

### 1 SITE EROSION CONTROL PLAN

C1.2 SCALE: 1" = 20'-0"

#### BASIS OF BEARING

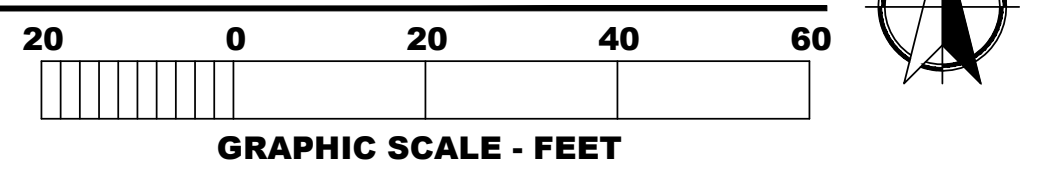
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Orange County Sacramento Riverside  
San Luis Obispo Since 1914

PROFESSIONAL ENGINEER  
No. 2976759  
BRANDON HUMANN  
11/09/2023  
STATE OF

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

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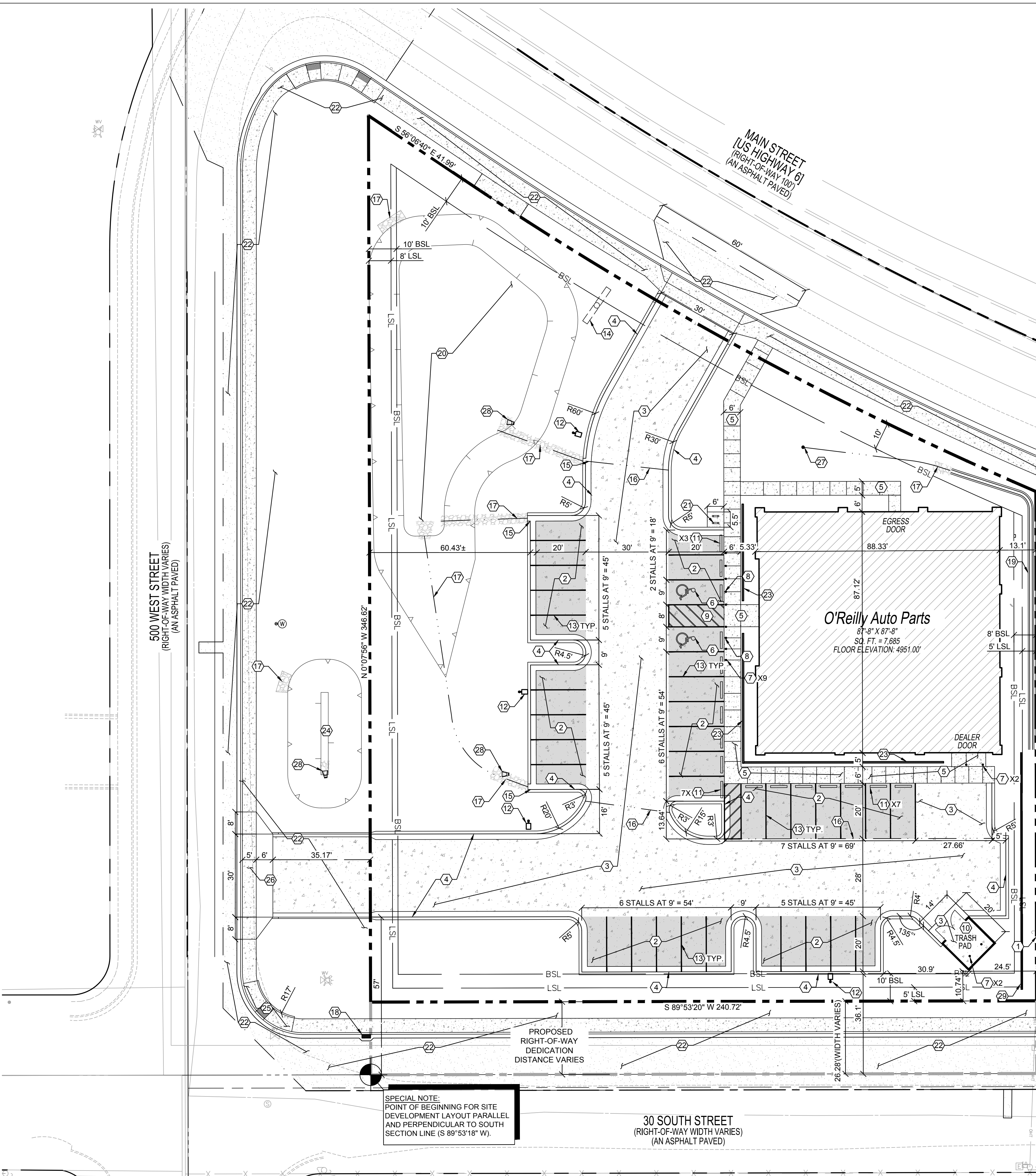
PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**SITE EROSION CONTROL PLAN**

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
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C1.2



### ZONING CODE

ZONING CLASSIFICATION: MSC - MAIN STREET COMMERCIAL  
 PROPERTY AREA: 1.36 ACRE (FINAL BOUNDARY)  
 PAVEMENT AREA: 0.45 ACRE

PARKING SUMMARY  
 PARKING FORMULA: 5 STALLS PER 1,000 SQ.FT. GROSS FLOOR AREA  
 SPACE SIZE: 9 FT. X 20 FT.  
 SPACES REQUIRED: 38 STALLS  
 SPACES PROVIDED: 38 STALLS  
 H.C. SPACES PROVIDED: 2 STALLS

BICYCLE SUMMARY  
 PARKING FORMULA: 3 STALLS FOR EVERY 25,000 SQ.FT. NOT TO EXCEED 12 PARKING STALLS  
 SPACES REQUIRED: 3 STALLS  
 SPACES PROVIDED: 4 STALLS

### GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
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### KEY NOTES

- (1) NOT USED.
- (2) CONCRETE PAVING (LIGHT DUTY) AT PARKING AREAS, REFER TO DETAIL 1/C2.2.
- (3) CONCRETE PAVING (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA, REFER TO DETAIL 2/C2.2.
- (4) CONCRETE CURB, REFER TO 3/C2.2 FOR DETAIL.
- (5) CONCRETE SIDEWALK AND/OR DOOR LANDING, REFER TO DETAIL 4/C2.2 AND STRUCTURAL DRAWINGS FOR LAYOUT ADJACENT TO BUILDING PERIMETER 5'X5' MINIMUM, 2% MAX SLOPE.
- (6) ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 5/C2.2.
- (7) STEEL BOLLARD, REFER TO DETAIL 6/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- (8) ACCESSIBLE PARKING SIGN. REFER TO DETAIL 7/C2.2.
- (9) ACCESSIBLE PARKING SPACES WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- (10) MASONRY SCREEN FENCE REFUSE ENCLOSURE, REFER TO C2.3.
- (11) CONCRETE BUMPER BLOCK (8" W X 5" H X 6'-0" LONG) ANCHORED TO PAVING WITH (2)1"-6" LONG #4 REBAR.
- (12) PARKING LOT LIGHTING. REFER TO UTILITY SITE PLAN US1 FOR TYPE AND CONSTRUCTION.
- (13) 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- (14) SITE SIGN. REFER TO SHEET SG1.1 FOR TYPE, CONSTRUCTION AND LOCATION. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SITE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS.
- (15) 2' WIDE CURB CUT. REFER TO DETAIL 10/C2.2.
- (16) PROPOSED SWALE IN CONCRETE.
- (17) PROPOSED SWALE IN LANDSCAPING. RIP RAP UNDERLINED WITH NONWOVEN GEOTEXTILE FABRIC. D50-6" RIPRAP A DEPTH OF 18".
- (18) CITY OF SANTAQUIN STANDARD INLET. REFER TO SD1/C2.5
- (19) 1" U-GUTTER AND LANDSCAPE CURB. REFER TO DETAIL 9/C2.2.
- (20) PROPOSED RETENTION POND, REFER TO C1.1 FOR DETAILS.
- (21) BICYCLE PARKING. REFER TO DETAIL 8/C2.2.
- (22) REFER TO ROAD PLAN C4.1 AND MAIN STREET IMPROVEMENTS C4.2 FOR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
- (23) 4" PRESLOPED TRENCH DRAIN. REFER TO DETAIL 11/C2.2
- (24) PROPOSED OFF-SITE RETENTION POND, REFER TO C1.1 FOR GRADING DETAILS.
- (25) SIDEWALK CURB RAMP. REFER TO CITY DETAIL CG1 ON SHEET C2.3.
- (26) DRIVE APPROACH. REFER TO CITY DETAIL CG6 ON SHEET C2.3.
- (27) 12" AREA INLET. REFER TO SHEET C2.5
- (28) 8" HDPE PIPE FLARED END SECTION. REFER TO SHEET C2.5
- (29) SCREENING WALL.

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAV/D88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

### BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT SURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

### SYMBOLS LEDGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEDGEND.

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF LIGHT DUTY CONCRETE
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED FIRE HYDRANT
	TOP OF RETENTION POND
	TOE OF RETENTION POND
	STREET CENTERLINE

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

NOTE: ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

NOTE: THE PROJECT SITE IS LOCATED WITHIN FLOODZONE X, AREA OF MINIMAL FLOOD HAZARD.

THIS PLAN HAS BEEN UPDATED TO REFLECT THE CHANGE IN BUILDING SIZE AND SHIFT IN LOCATION.

CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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 11/09/2023  
 STATE OF

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 PE 12976759-2202

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**

1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417.862.0558  
 Fax: 417.862.3265  
 e-mail: architect@esterlyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY6)**  
**SANTAQUIN, UT**  
**SITE DEVELOPMENT PLAN**

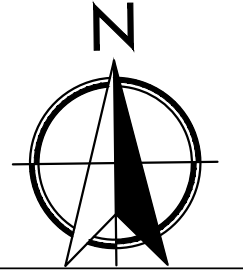
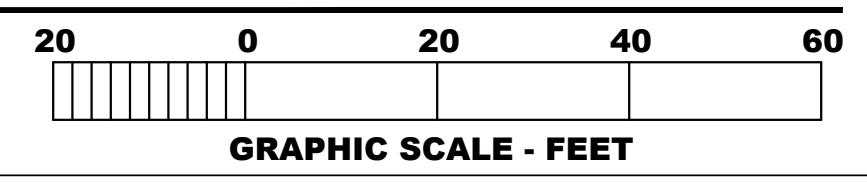
**O'Reilly AUTO PARTS**

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 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

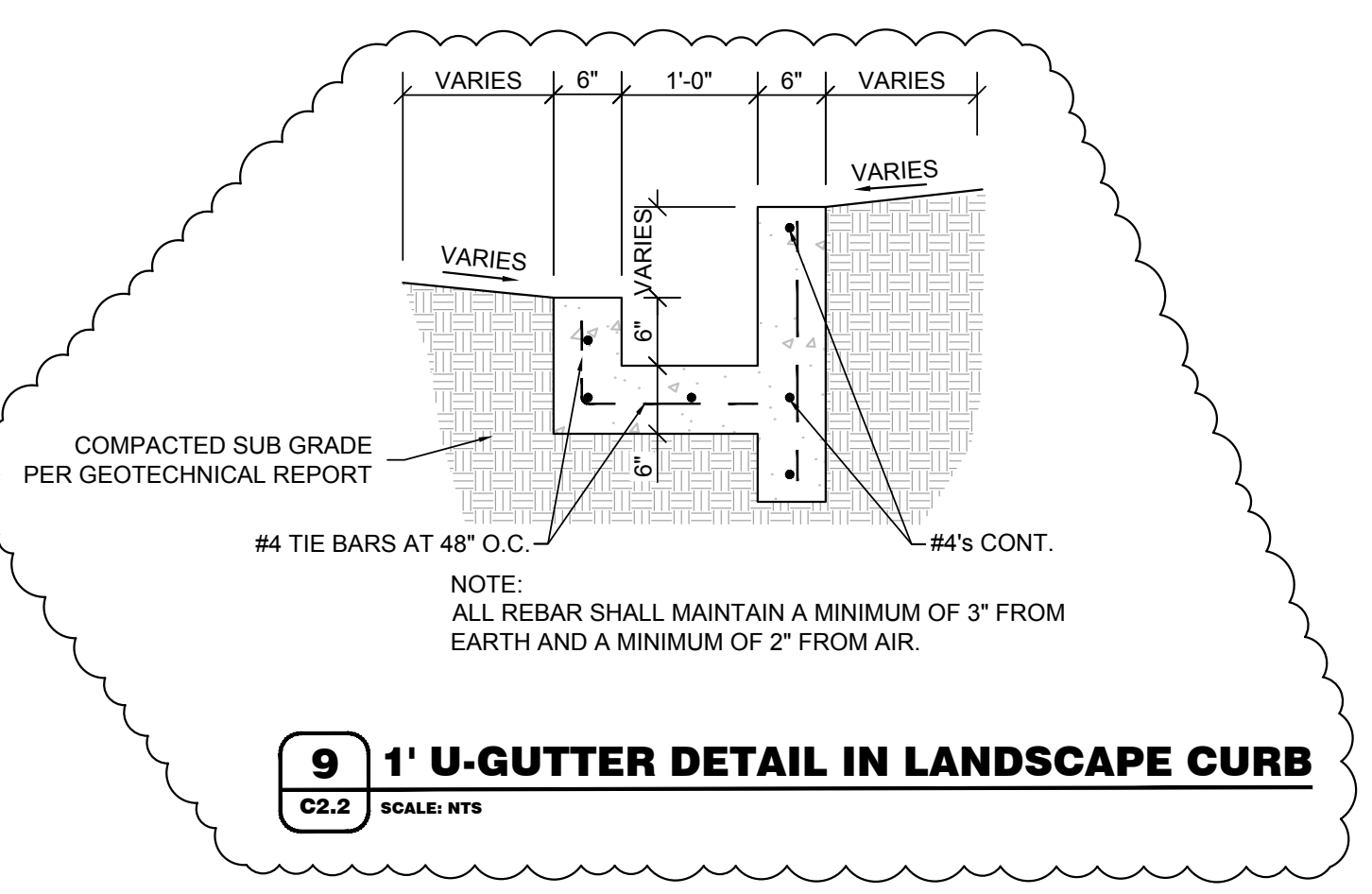
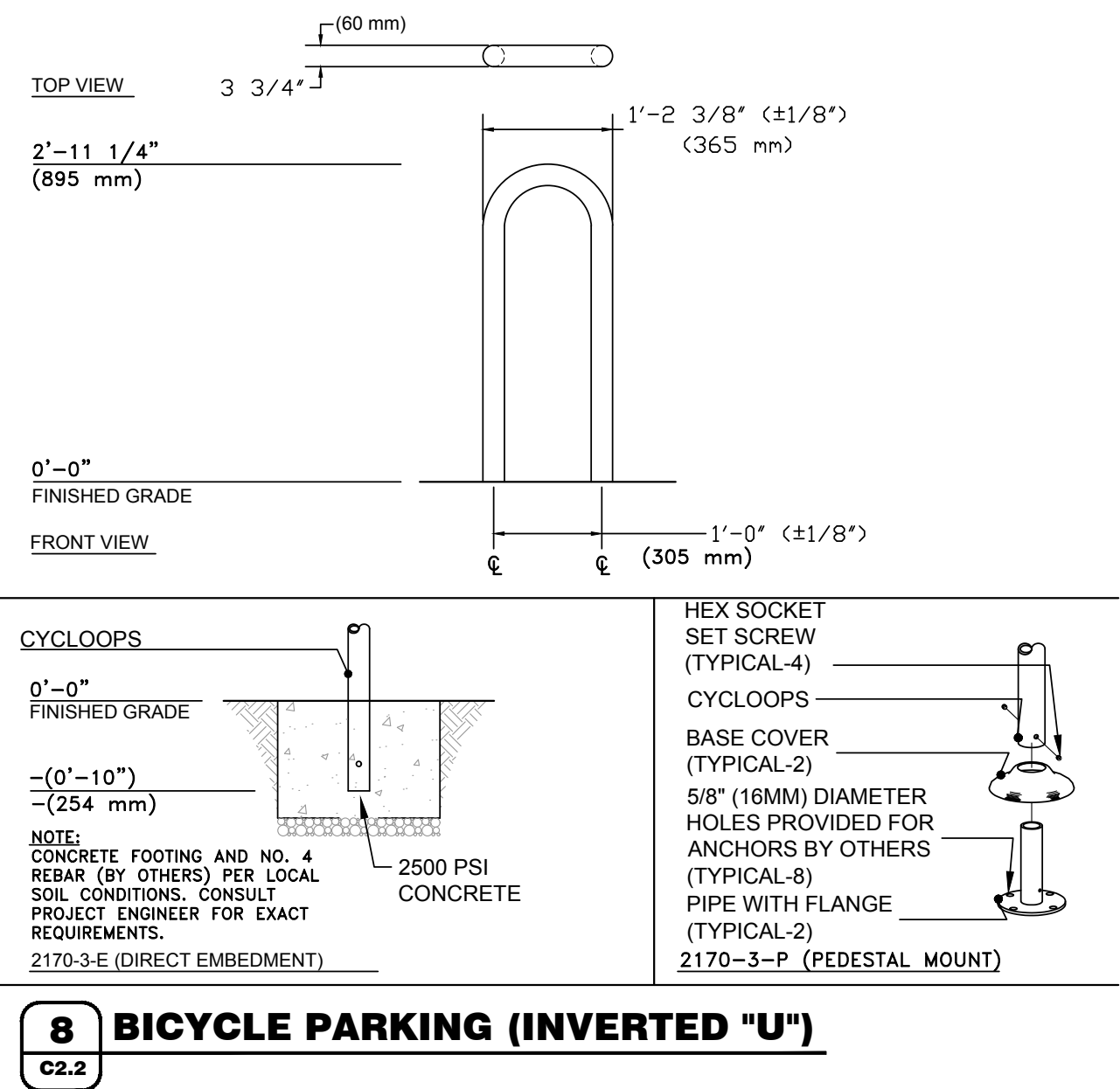
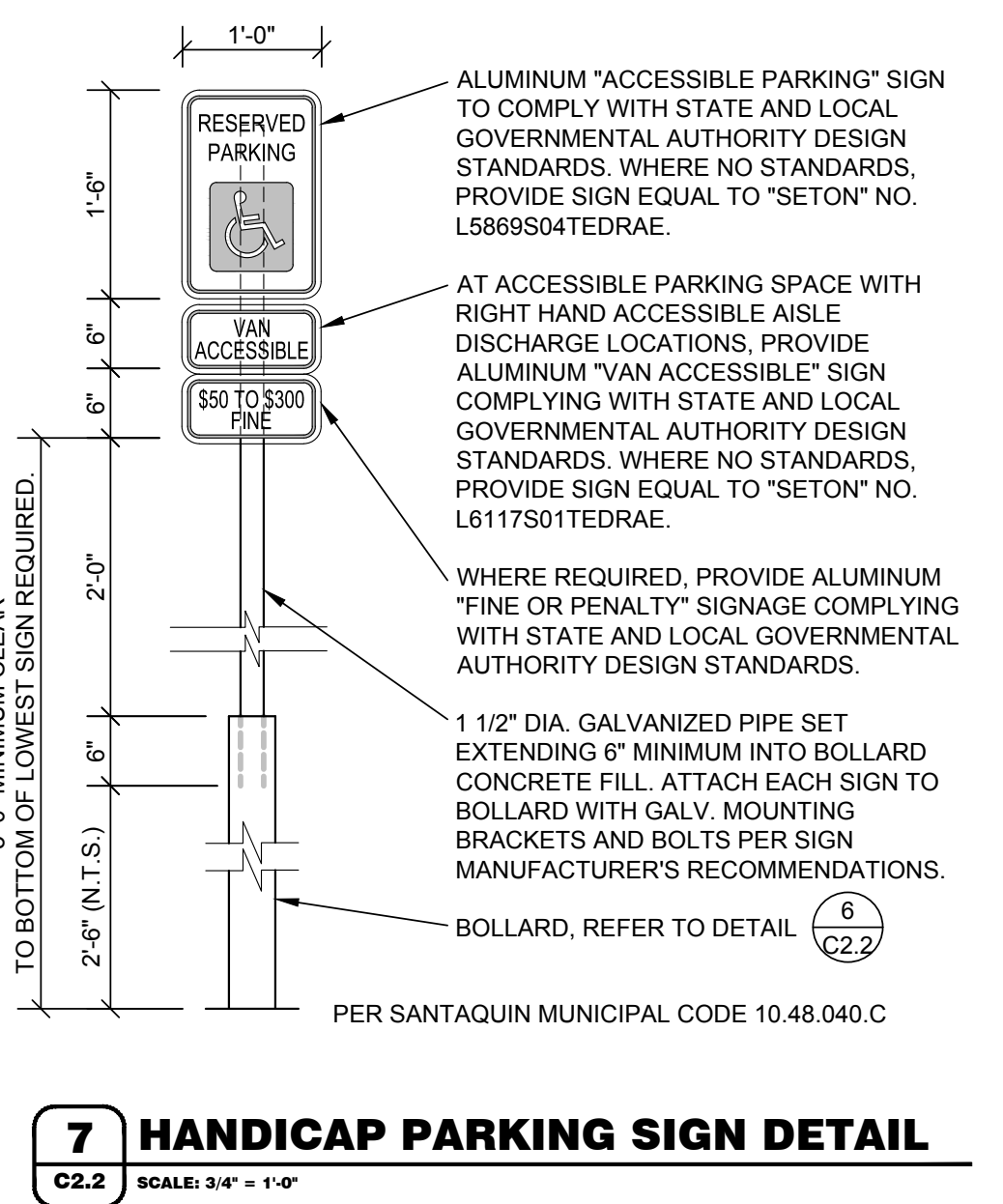
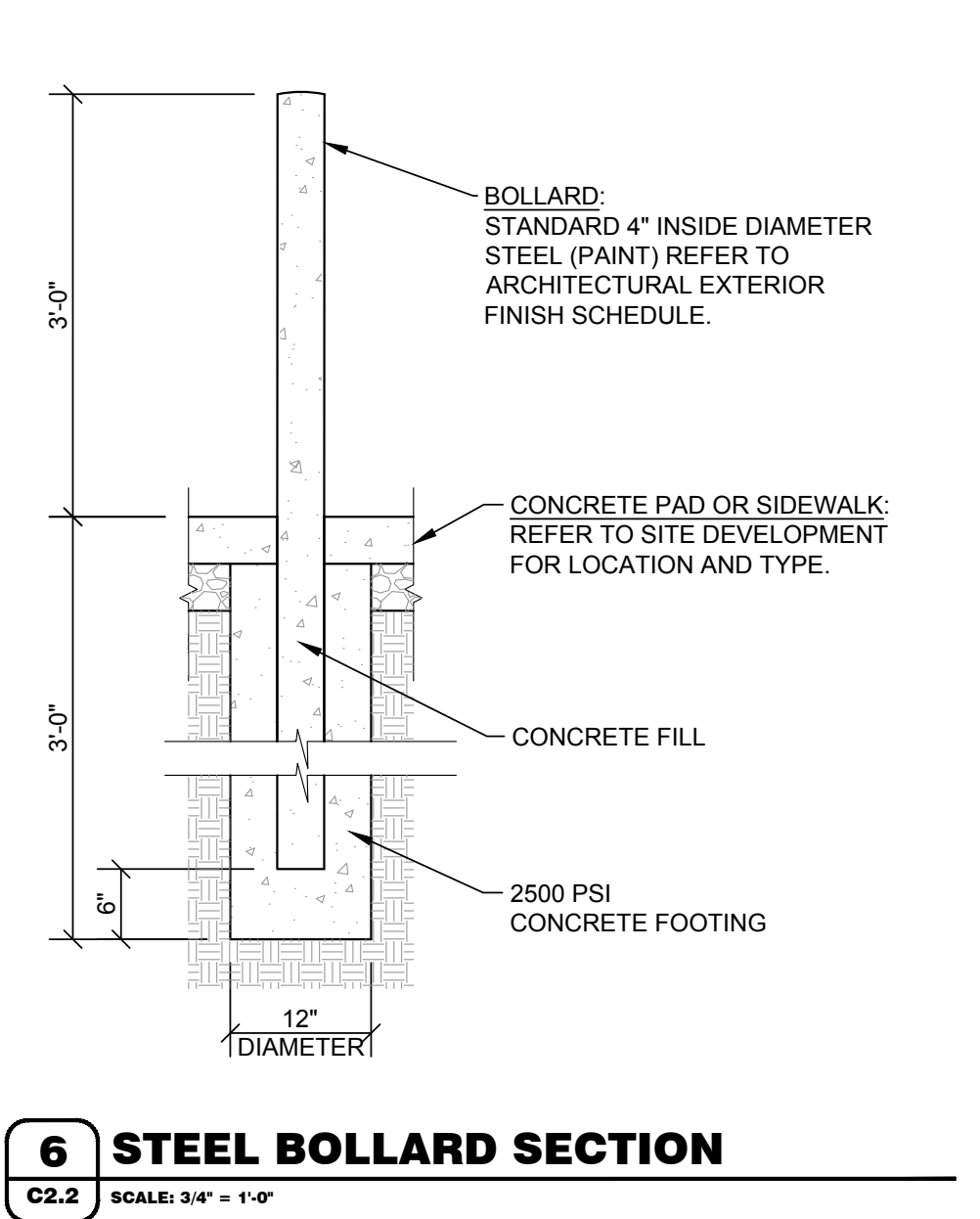
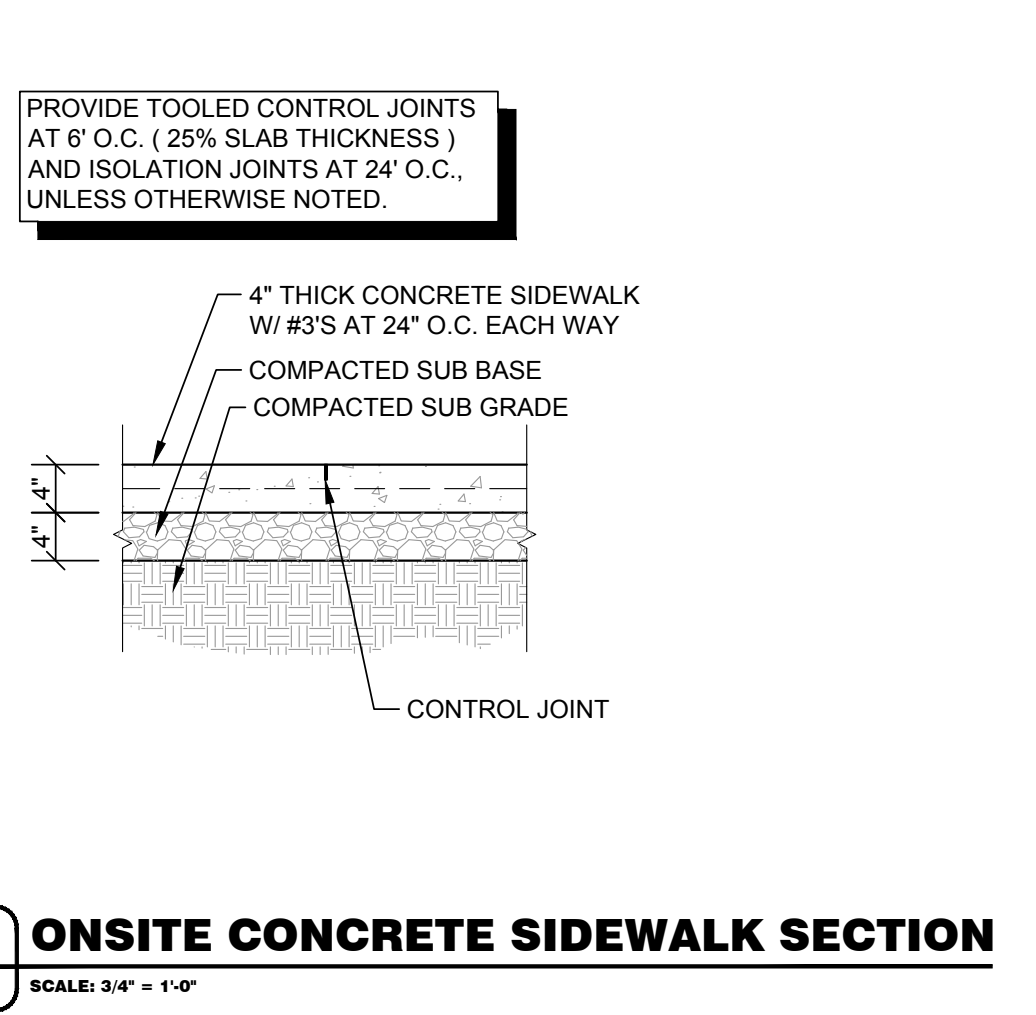
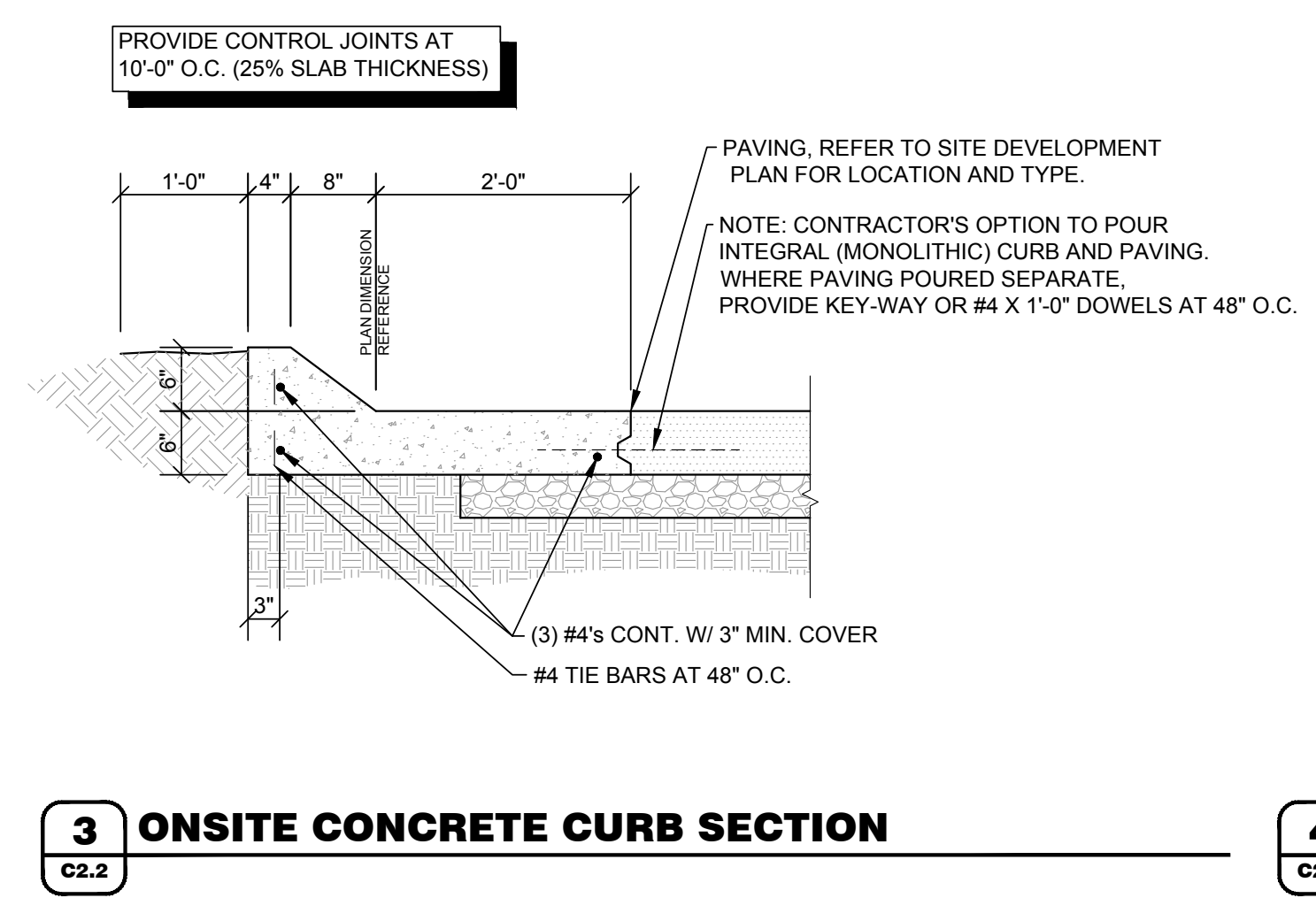
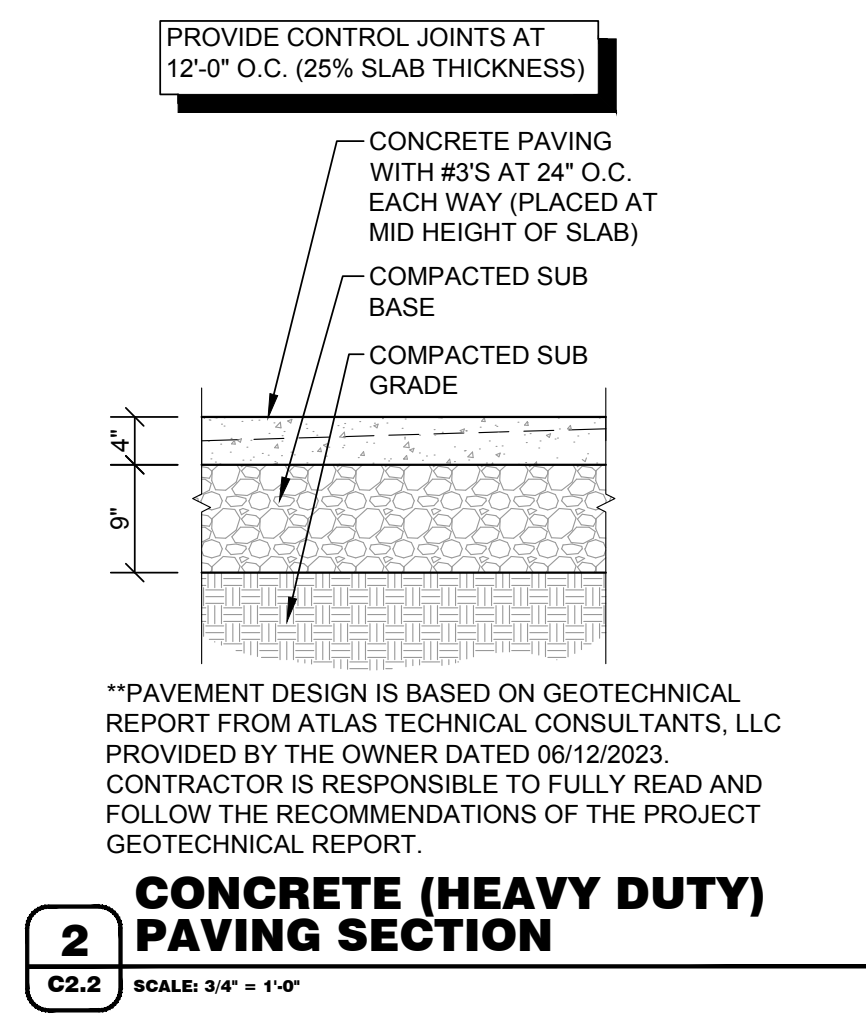
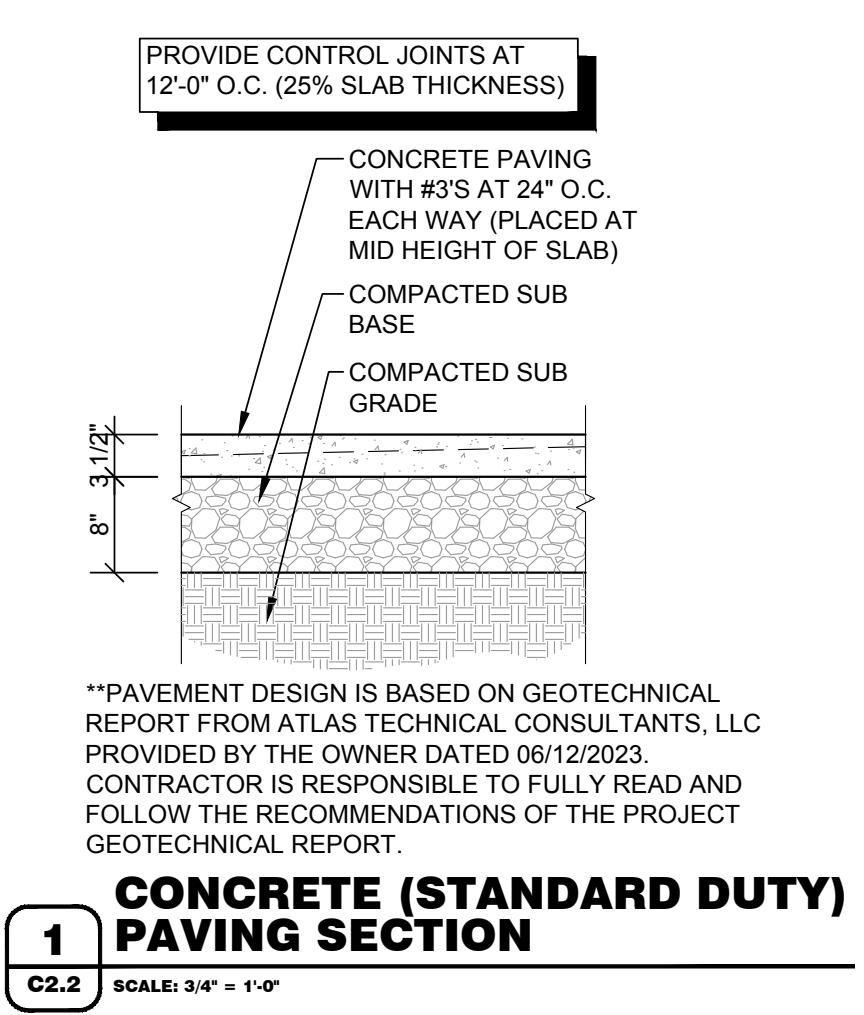
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DATE: 05/26/2023
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DATE: 08/17/2023
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## 1 SITE DEVELOPMENT PLAN

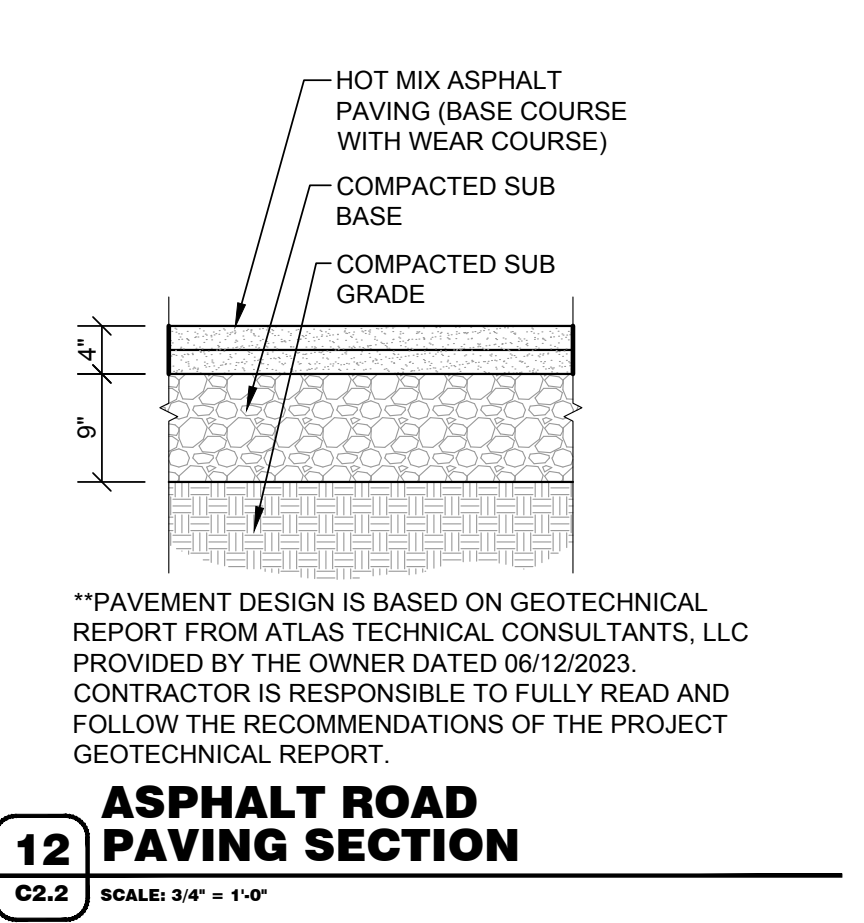
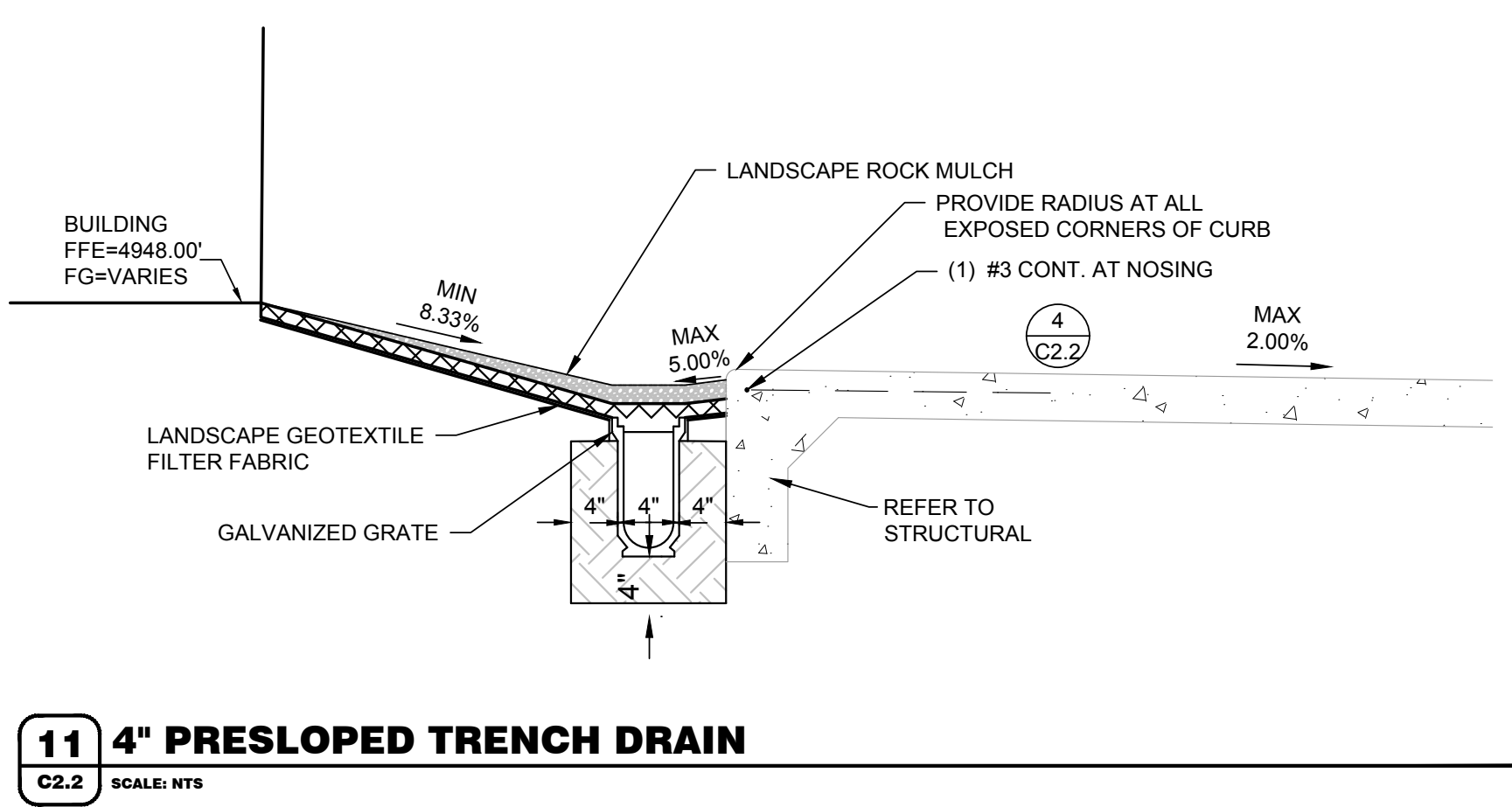
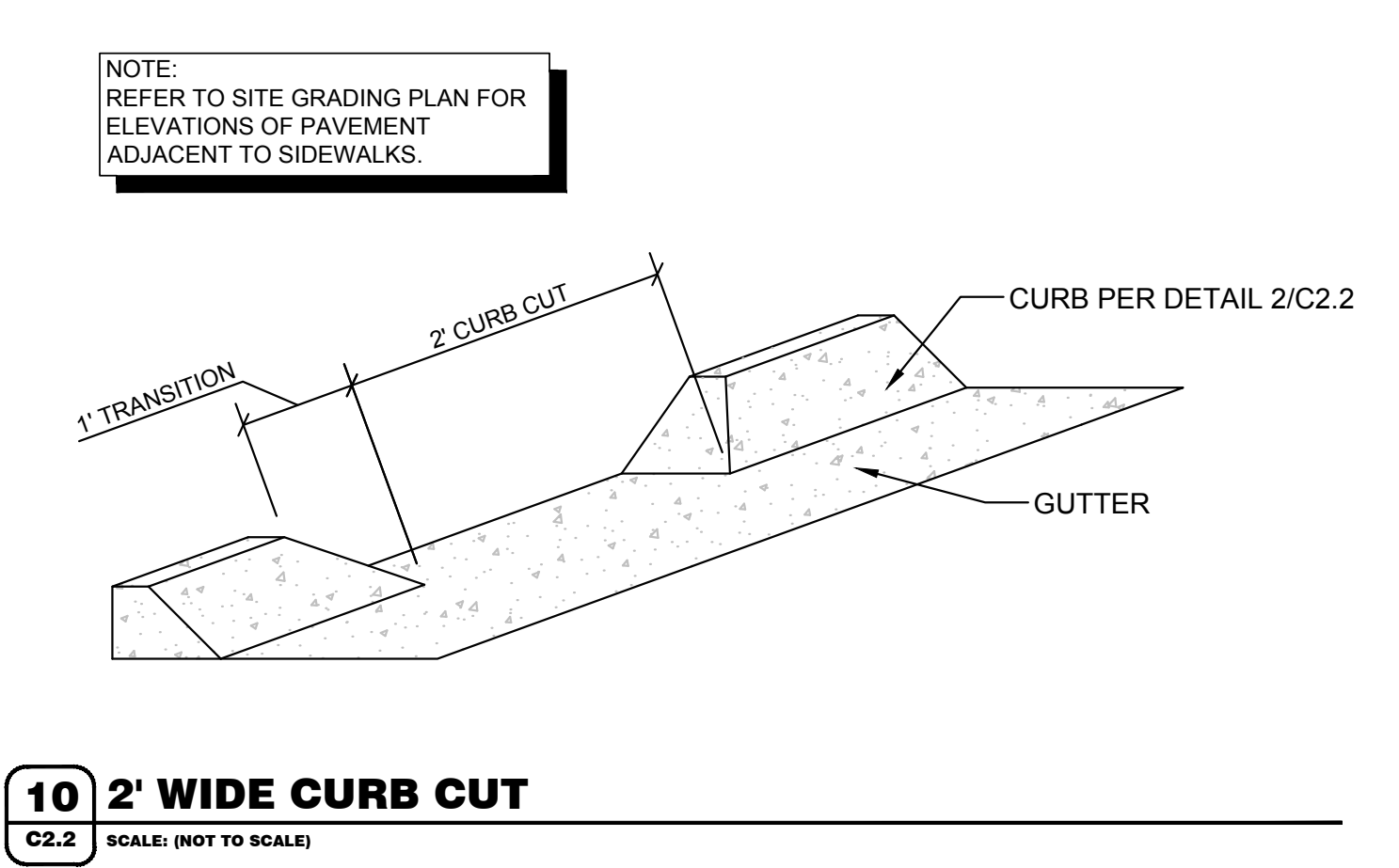
C2.1 SCALE: 1" = 20'-0"







- GENERAL NOTES**
- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
  - (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
  - (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
  - (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
  - (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.



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 ARCHITECT

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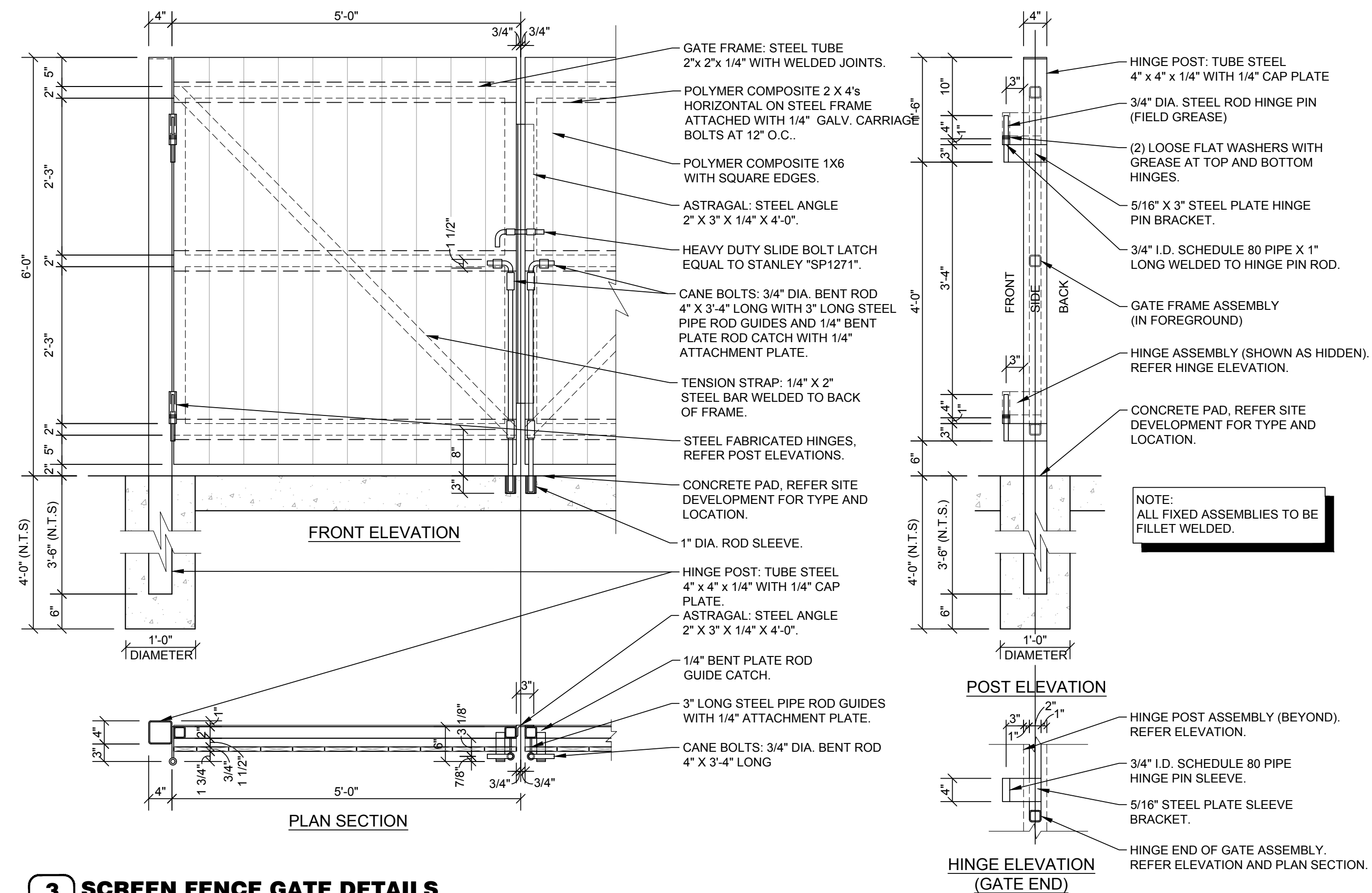
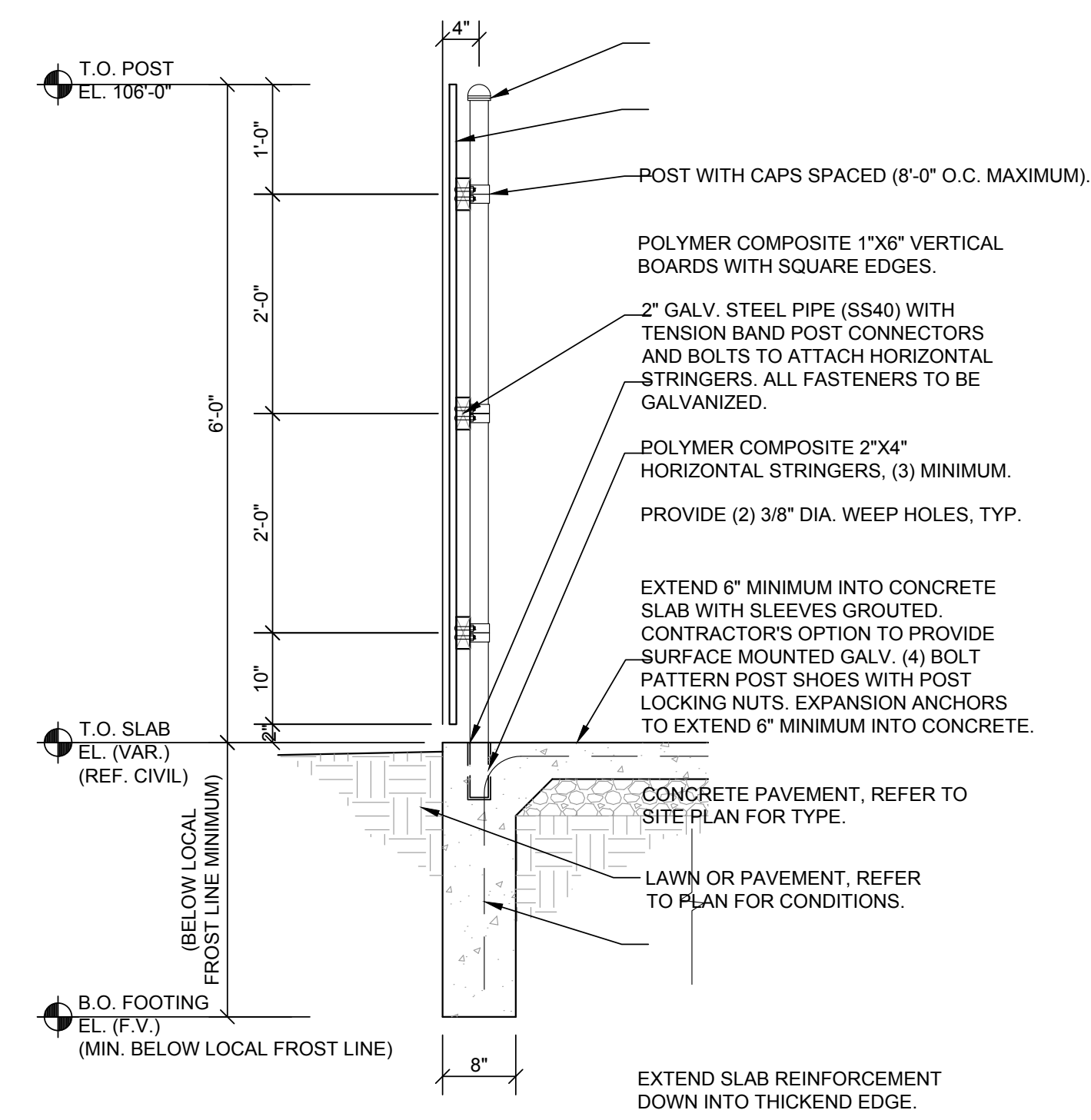
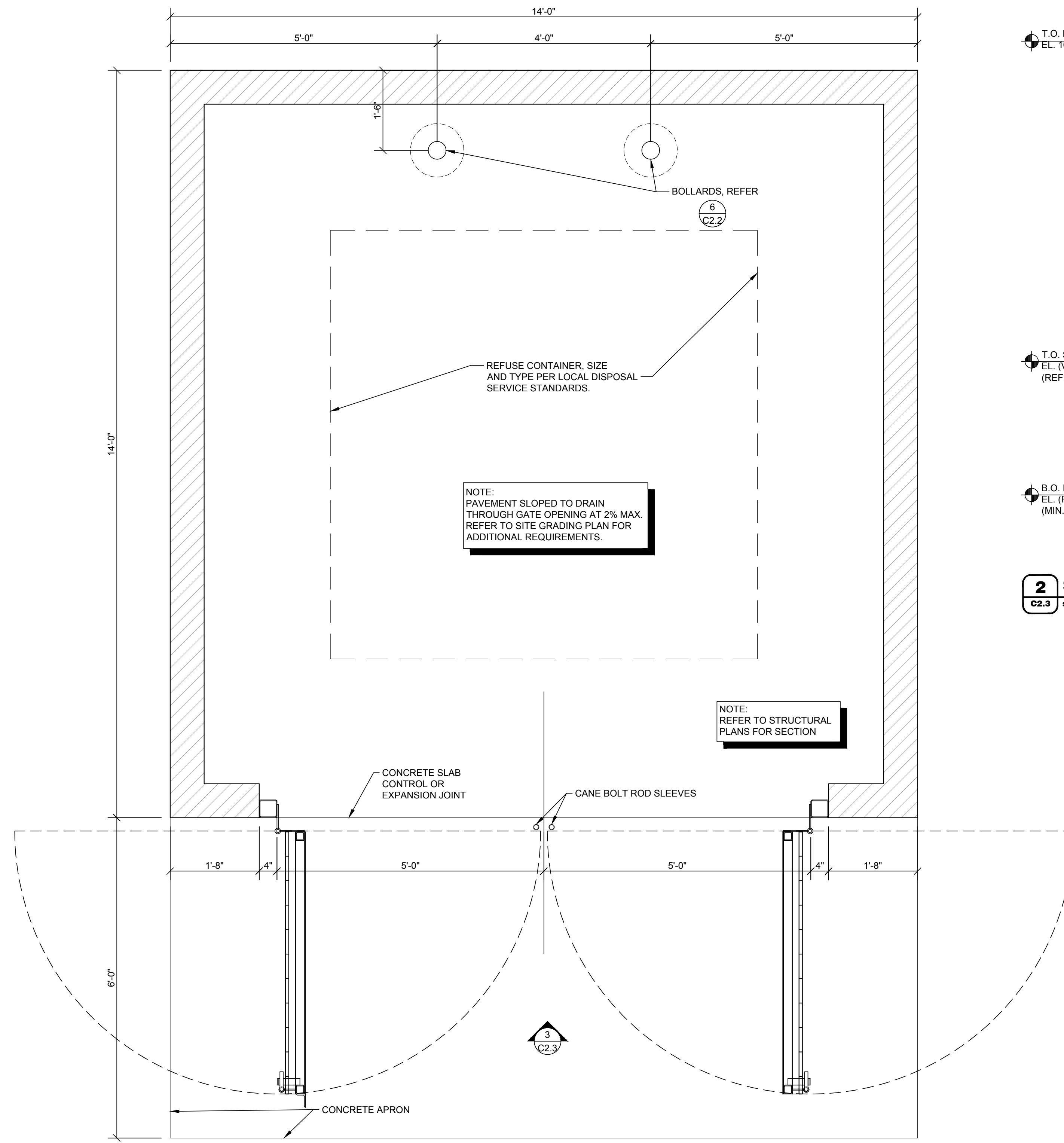
417.862.0558  
 Fax: 417.862.3265  
 e-mail: architect@esterischnedler.com

**PROJECT:**  
 NEW O'REILLY AUTO PARTS STORE  
 MAIN STREET (US HWY6)  
 SANTAQUIN, UT  
 SITE DETAILS

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

COMM #4704  
 DATE: 05/26/2023  
 REVISION  
 DATE: 08/17/2023  
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**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, MASONRY, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- (C) REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- (D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:
  1. ALL MASONRY SURFACES TO MATCH TEXTURES AND FIELD COLOR OF BUILDING. EXPOSED MASONRY INSIDE ENCLOSURE TO BE PRIMED AND PAINTED (2) COATS OF COLOR TO MATCH ENCLOSURE EXTERIOR MASONRY.
  2. ALL EXPOSED ARCHITECTURAL PRECAST TO BE NATURAL CONCRETE COLOR IN SMOOTH FORM FINISH.
  3. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".
  4. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO "TREX" DECKING SERIES "PEBBLE GREY". FINAL COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.

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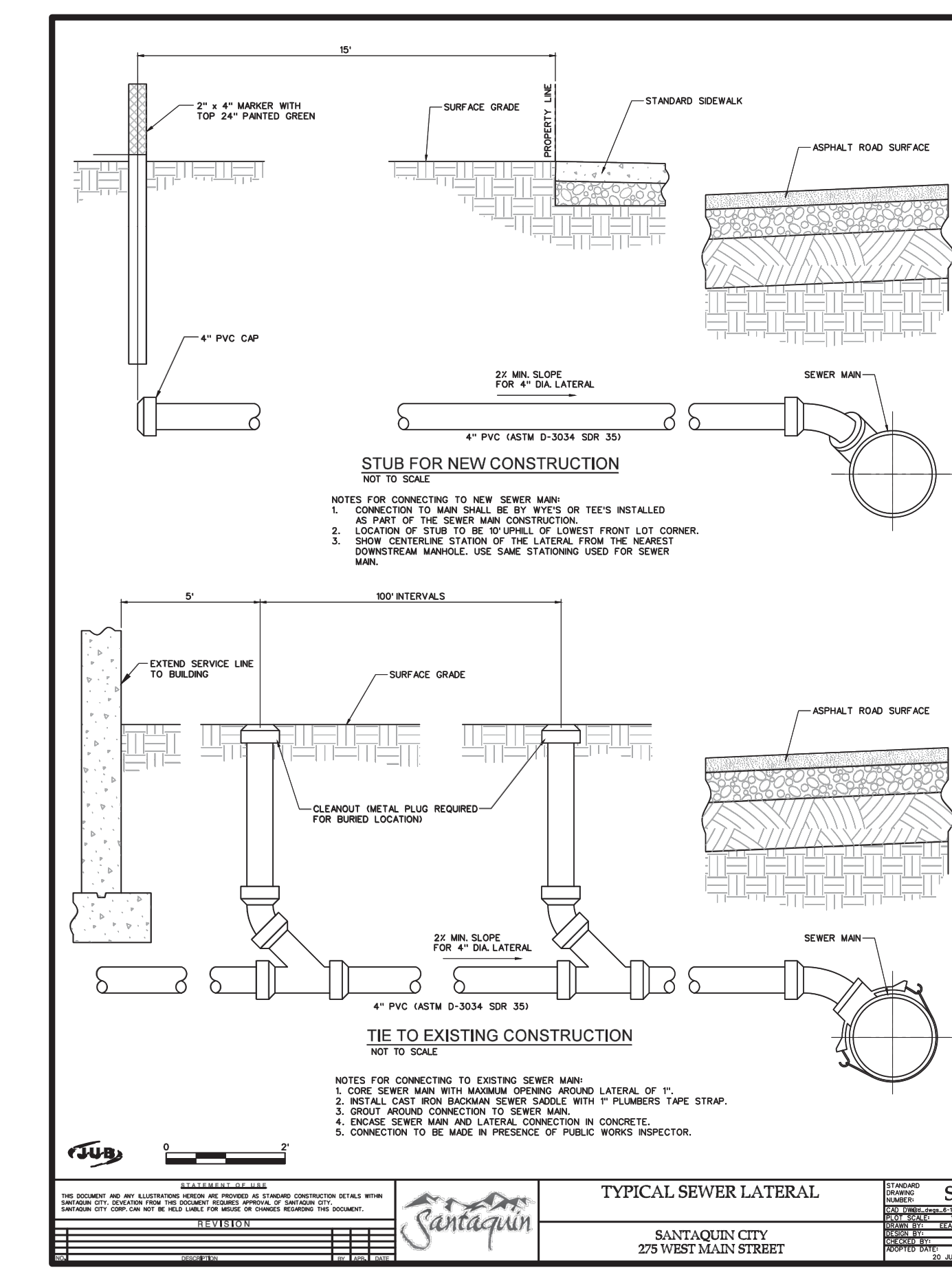
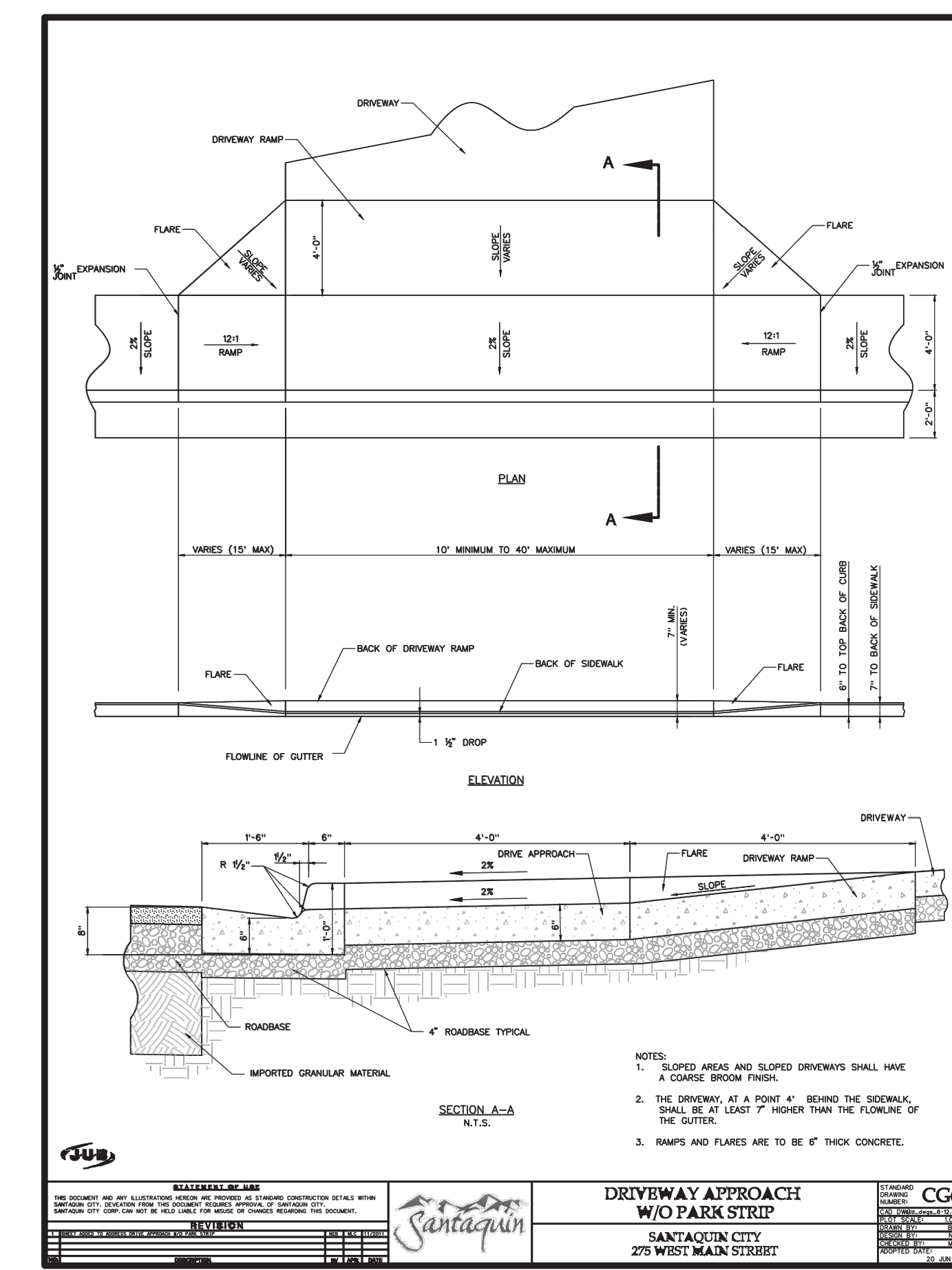
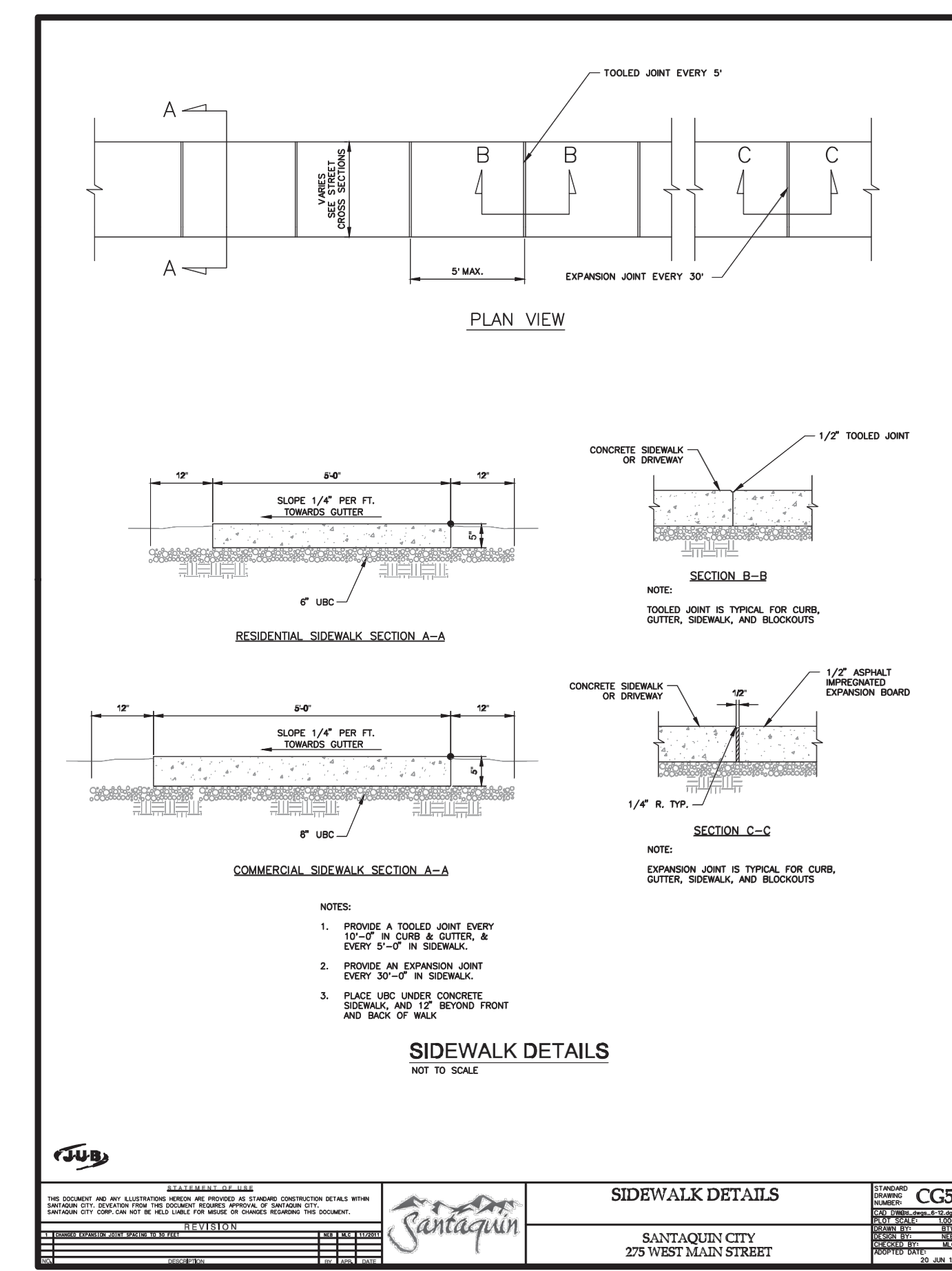
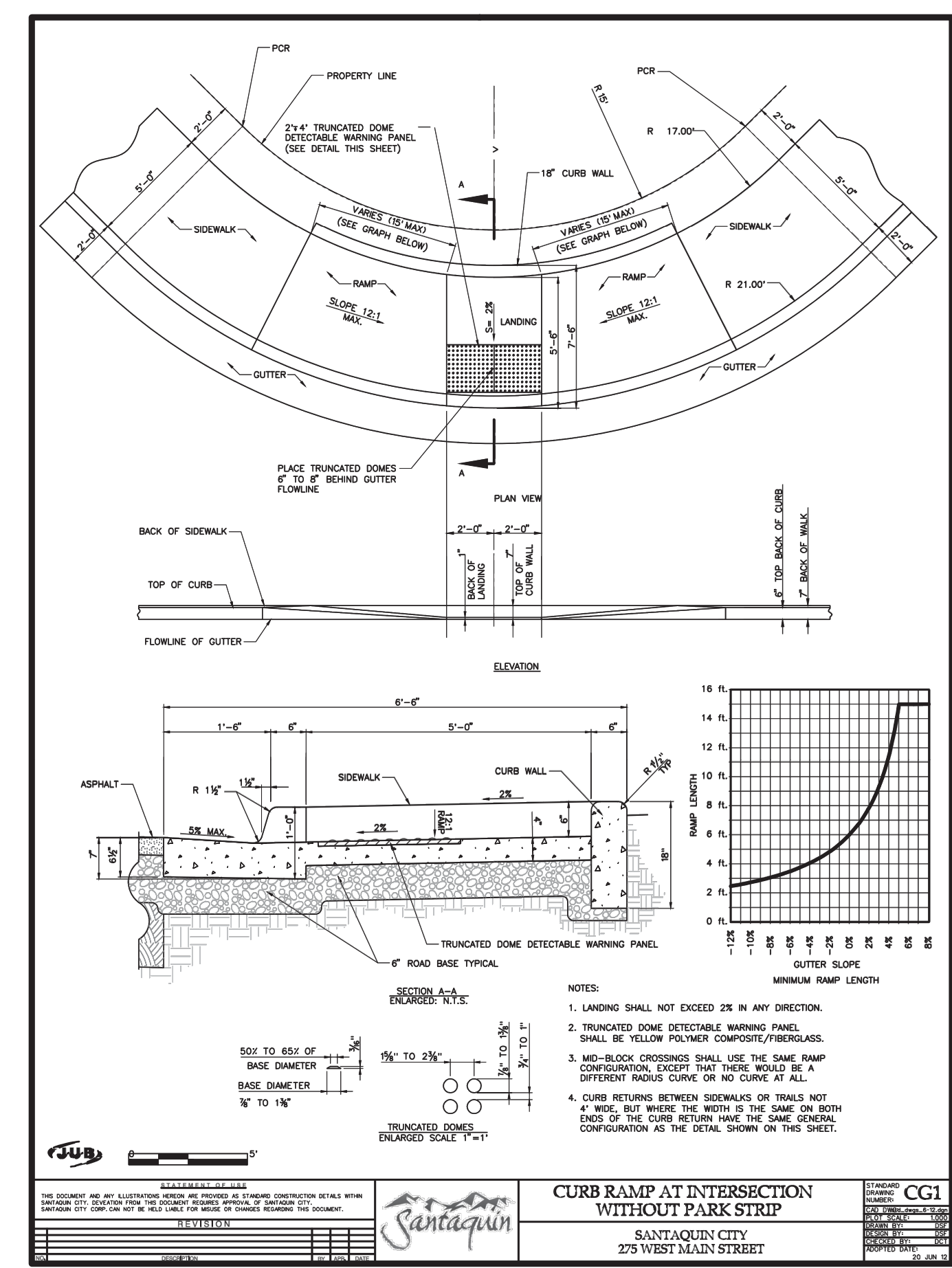
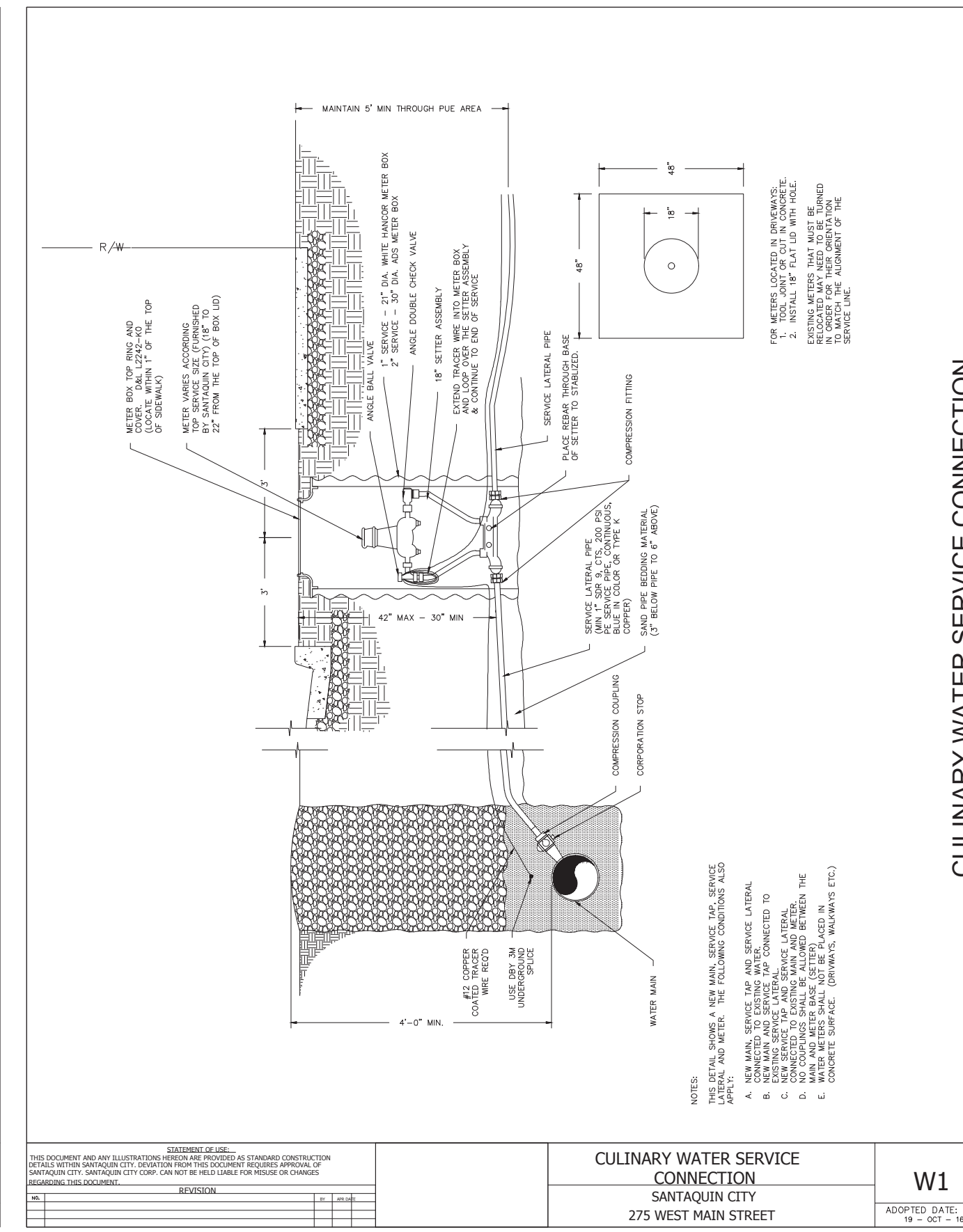
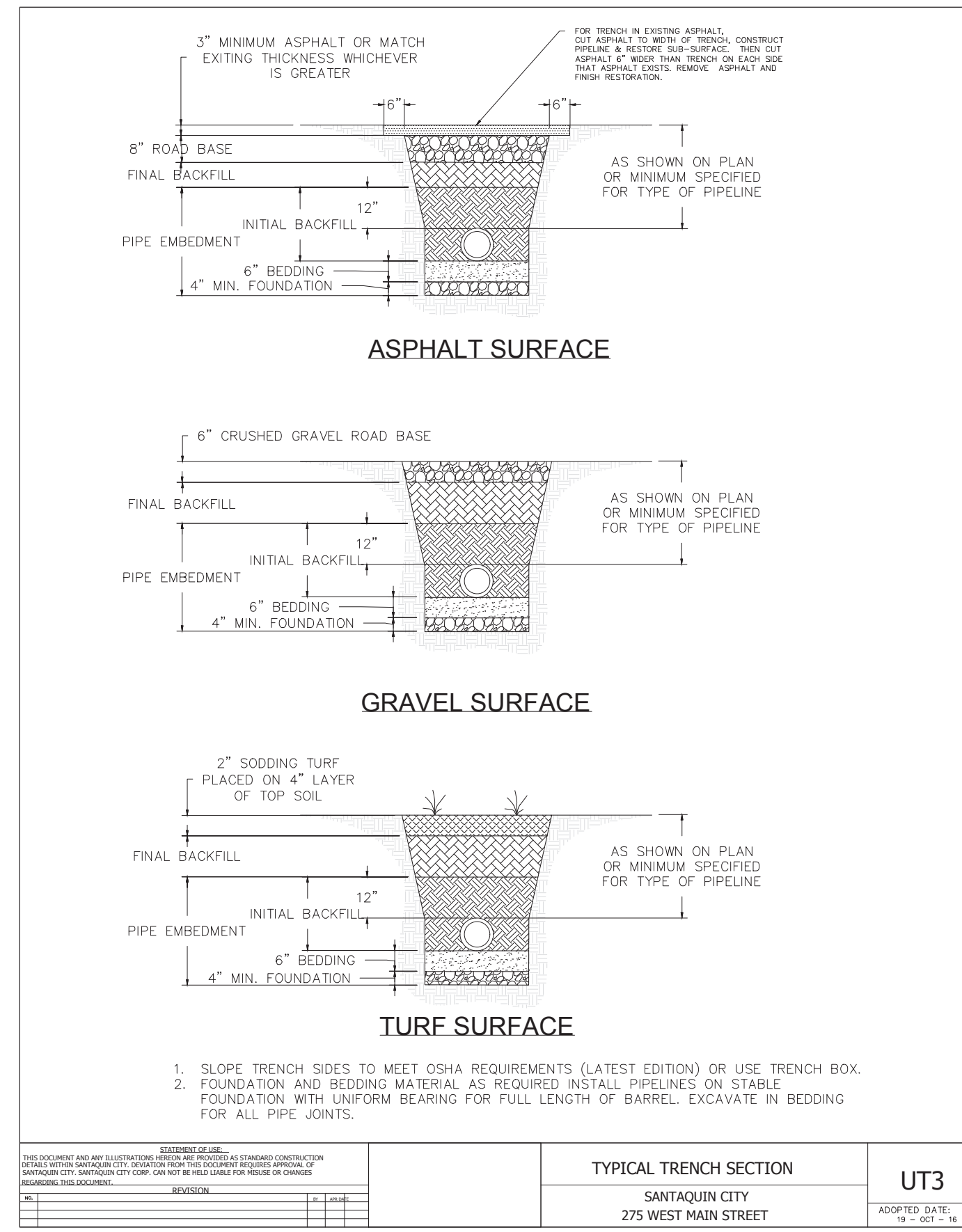
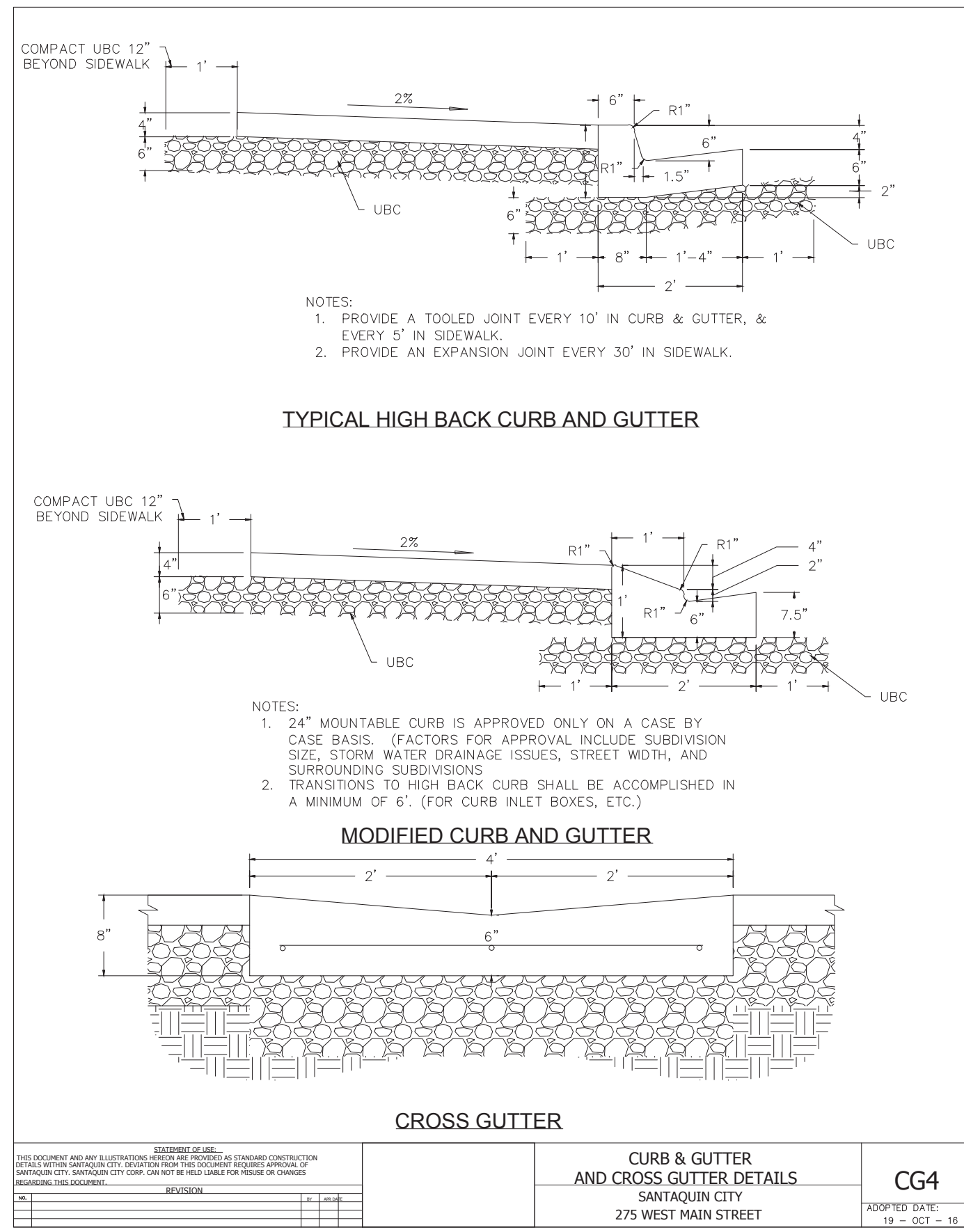
**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY6)**  
**SANTAQUIN, UT**

**REFUSE ENCLOSURE DETAILS**

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

COMM #4704  
 DATE: 05/26/2023  
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NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20

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NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40

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Item 1.

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**ARCHITECT**

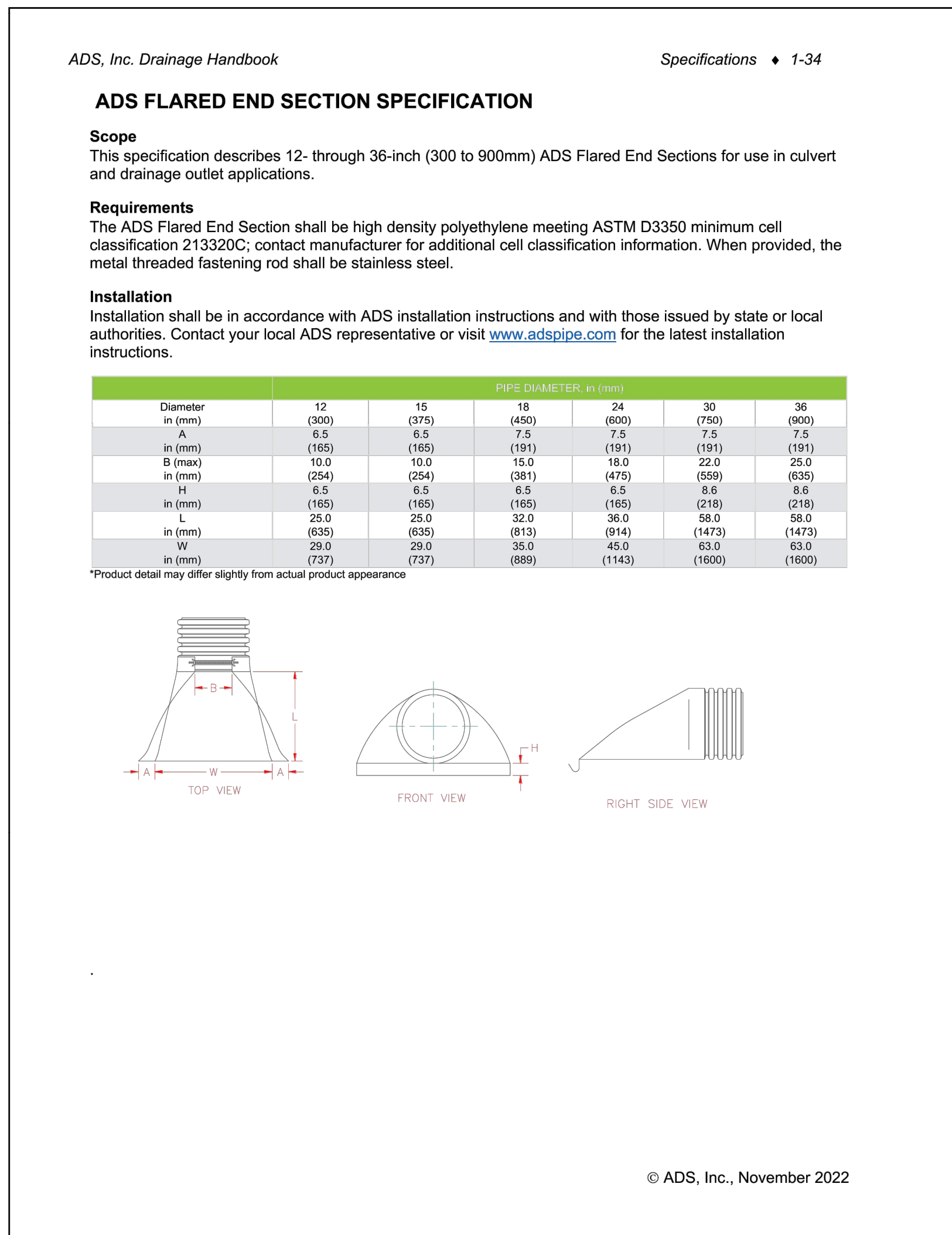
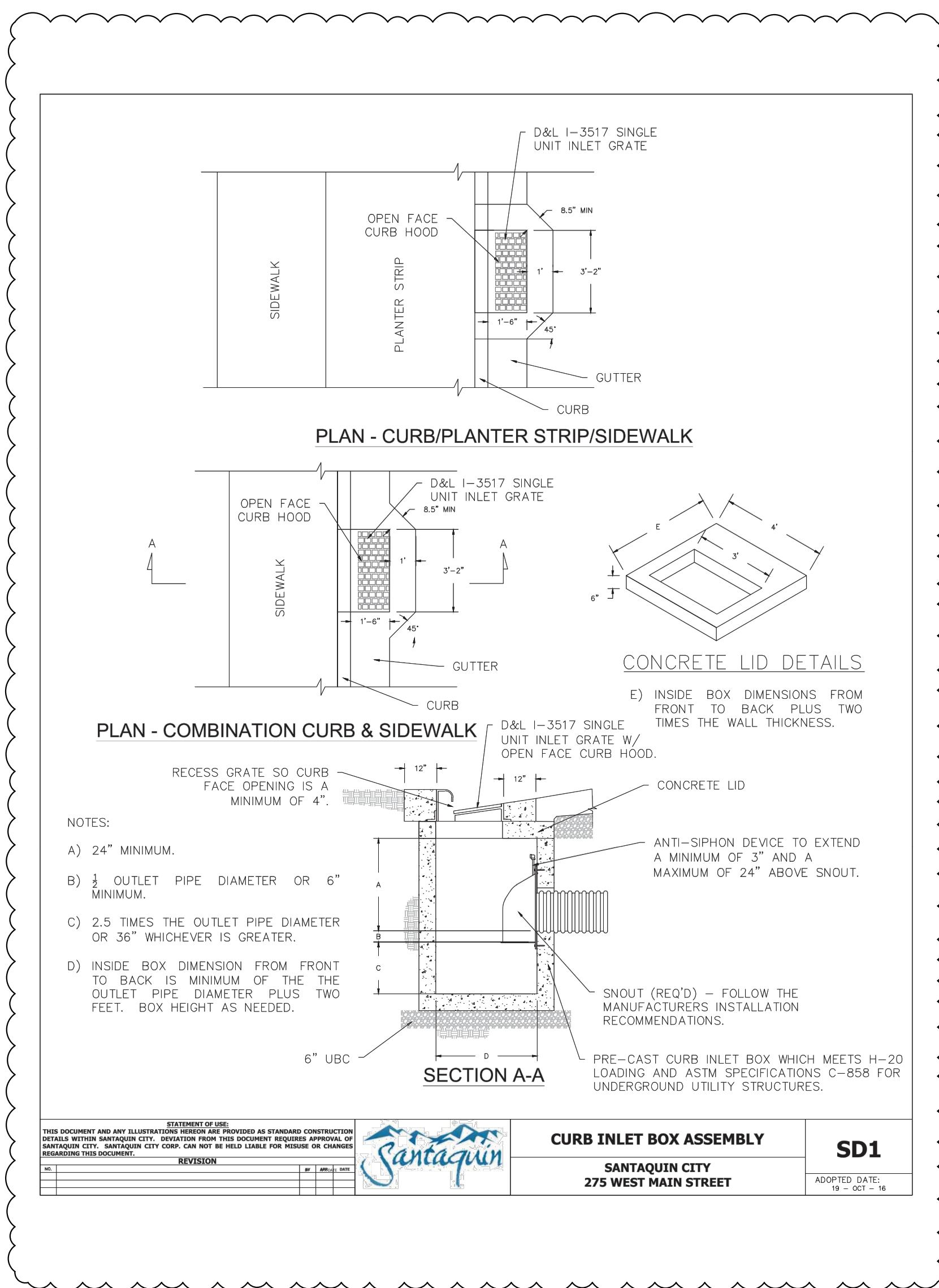
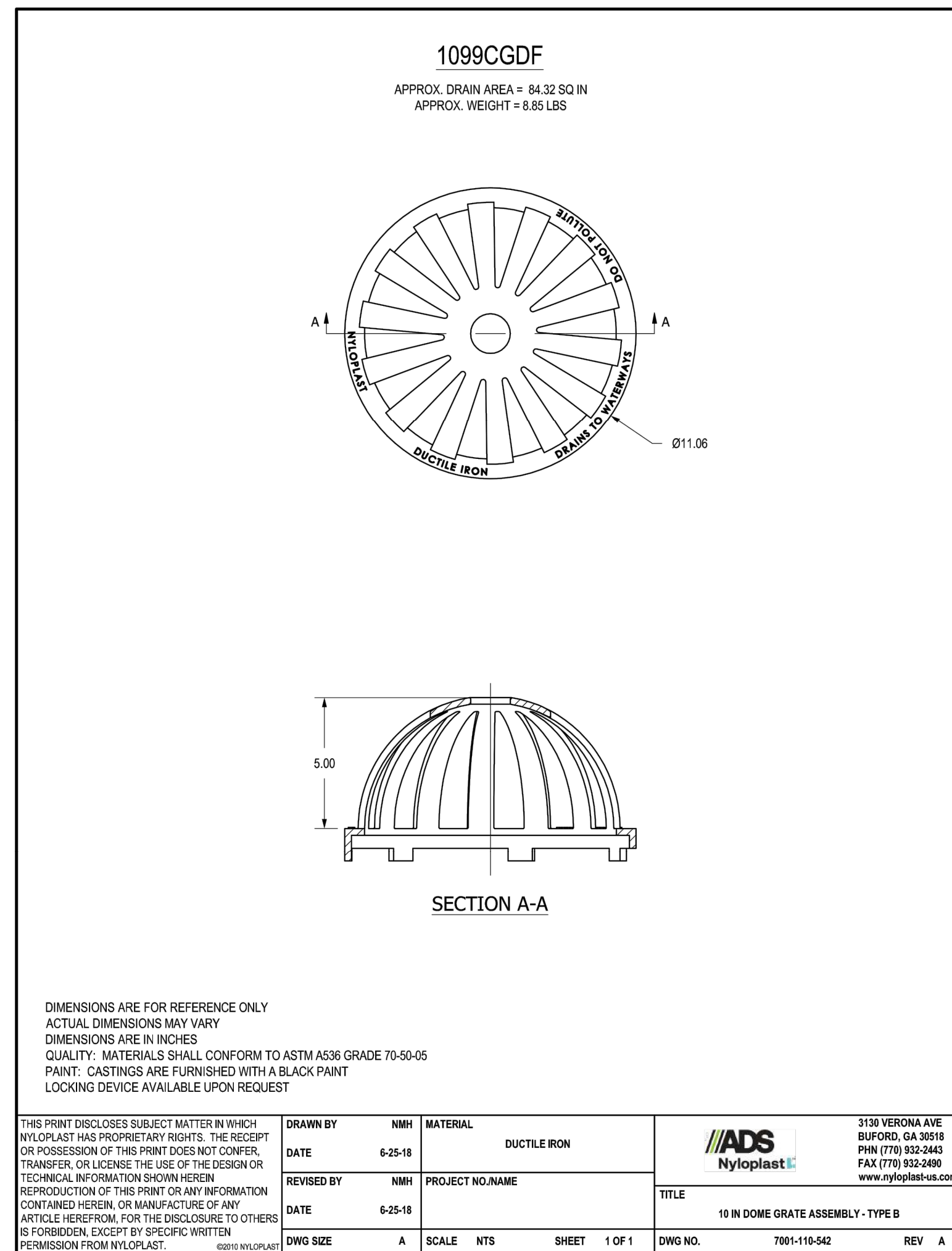
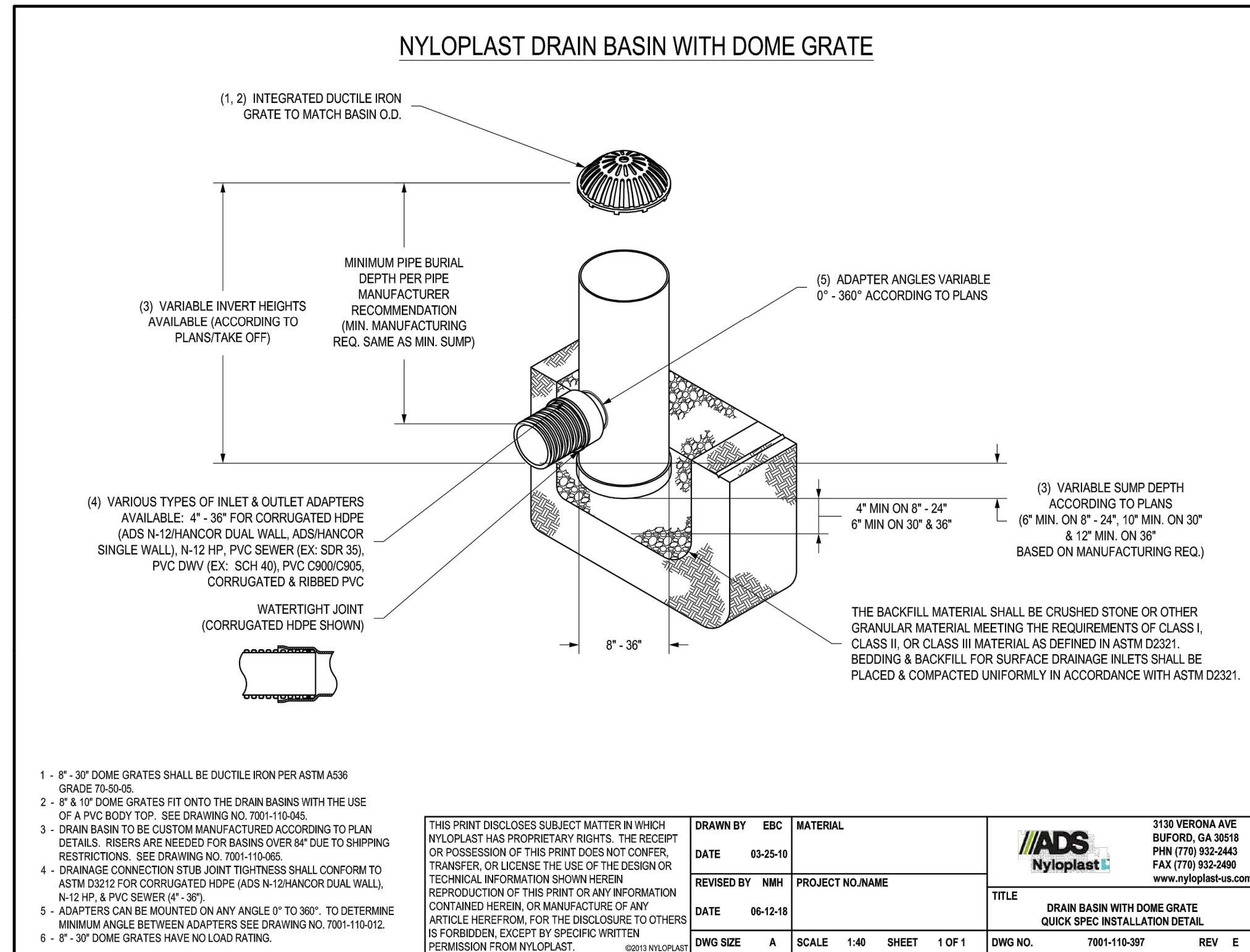
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 e-mail: architect@eterfyschneider.com

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**CITY STANDARD DETAILS**

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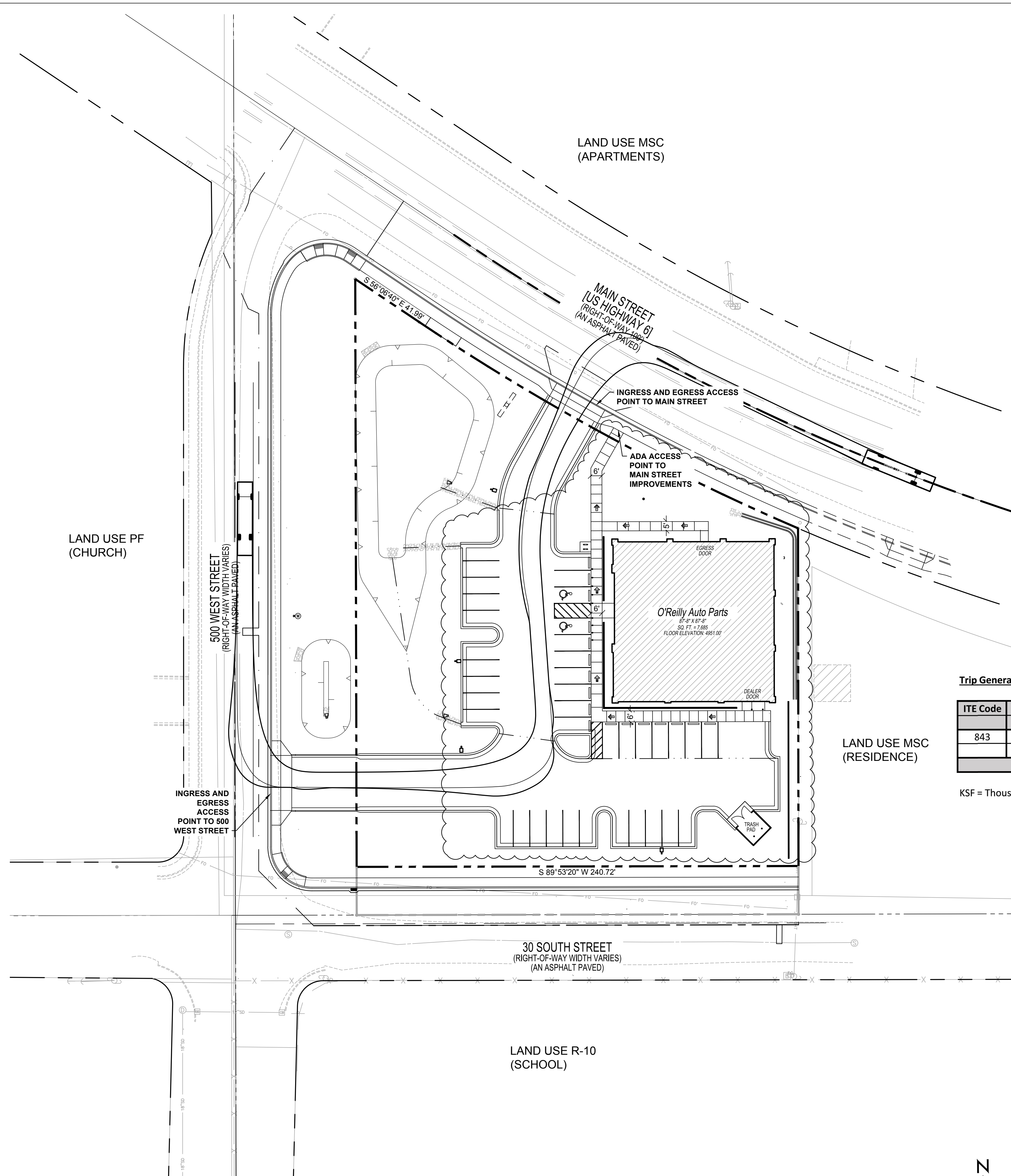
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**SANTAQUIN, UT**  
**UTILITY DETAILS**

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### ZONING CODE

ZONING CLASSIFICATION: MSC - MAIN STREET COMMERCIAL  
 PROPERTY AREA: 1.36 ACRE (FINAL BOUNDARY)  
 PAVEMENT AREA: 0.45 ACRE

PARKING SUMMARY  
 PARKING FORMULA: 5 STALLS PER 1,000 SQ.FT. GROSS FLOOR AREA  
 SPACE SIZE: 9 FT. X 20 FT.  
 SPACES REQUIRED: 38 STALLS  
 SPACES PROVIDED: 40 STALLS  
 H.C. SPACES PROVIDED: 2 STALLS

BICYCLE SUMMARY  
 PARKING FORMULA: 3 STALLS FOR EVERY 25,000 SQ.FT. NOT TO EXCEED 12 PARKING STALLS  
 SPACES REQUIRED: 3 STALLS  
 SPACES PROVIDED: 4 STALLS

LAND USE WEST IS PF (PUBLIC FACILITIES)  
 LAND USE SOUTH IS R-10  
 LAND USE EAST AND NORTH IS MSC (MAIN STREET COMMERCIAL)

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED AS 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

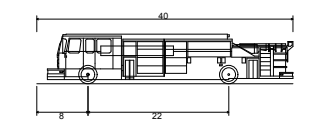
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GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

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THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

### EMERGENCY VEHICLE DETAILS



Flumper Fire Truck	40,000#
Overall Length	31'-0"
Overall Body Height	10'-0"
Min. Body Ground Clearance	0'-0"
Track Width	8'-0"
Look-Ahead Time	3.50"
Max. Wheel Angle	45.00°

**NOTE:**  
 THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

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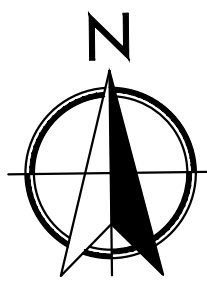
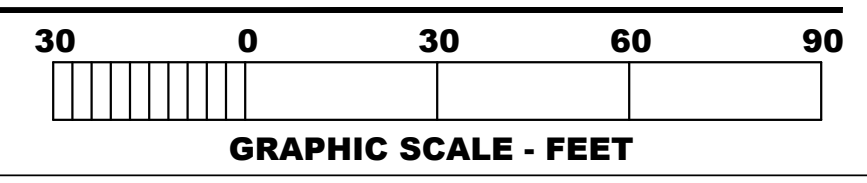
Trip Generation (ITE 11th Edition)

ITE Code	Land Use	Size	Average Daily Trips		AM Peak Hour Trips					PM Peak Hour Trips						
			Rate	Total	Rate	% In	In	% Out	Out	Total	Rate	% In	In	% Out	Out	Total
843	Auto Parts Sales	7,453 KSF	54.57	407	2.51	55%	10	45%	9	19	4.90	48%	18	52%	19	37
<b>Total</b>				<b>407</b>			<b>10</b>		<b>9</b>	<b>19</b>			<b>18</b>		<b>19</b>	<b>37</b>

KSF = Thousand Square Feet

## 1 SITE ACCESSIBILITY CIRCULATION PLAN

C2.6 SCALE: 1" = 30'-0"



**CAUTION:**  
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



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**ARCHITECT**  
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 e-mail: architect@esterlyschneider.com

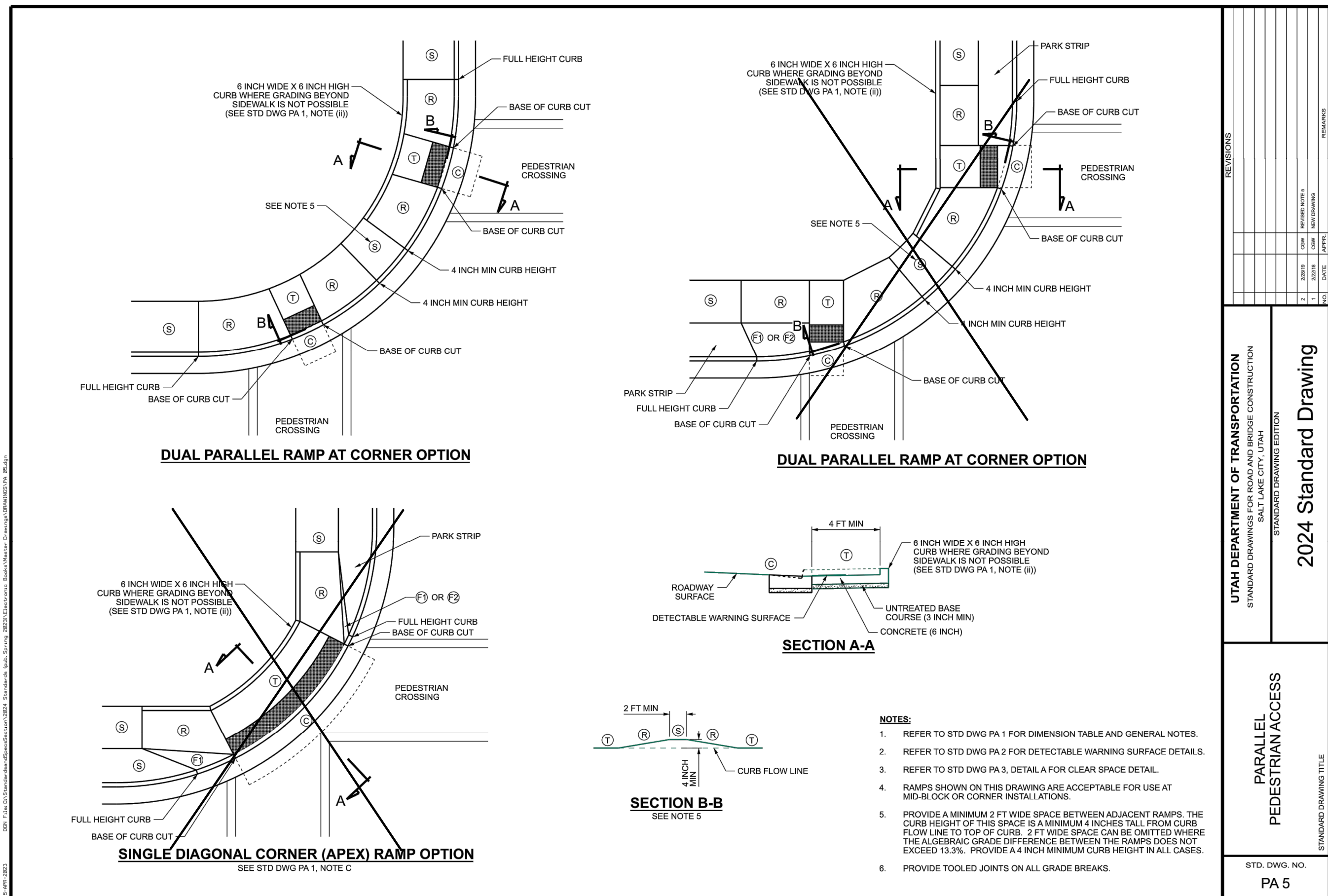
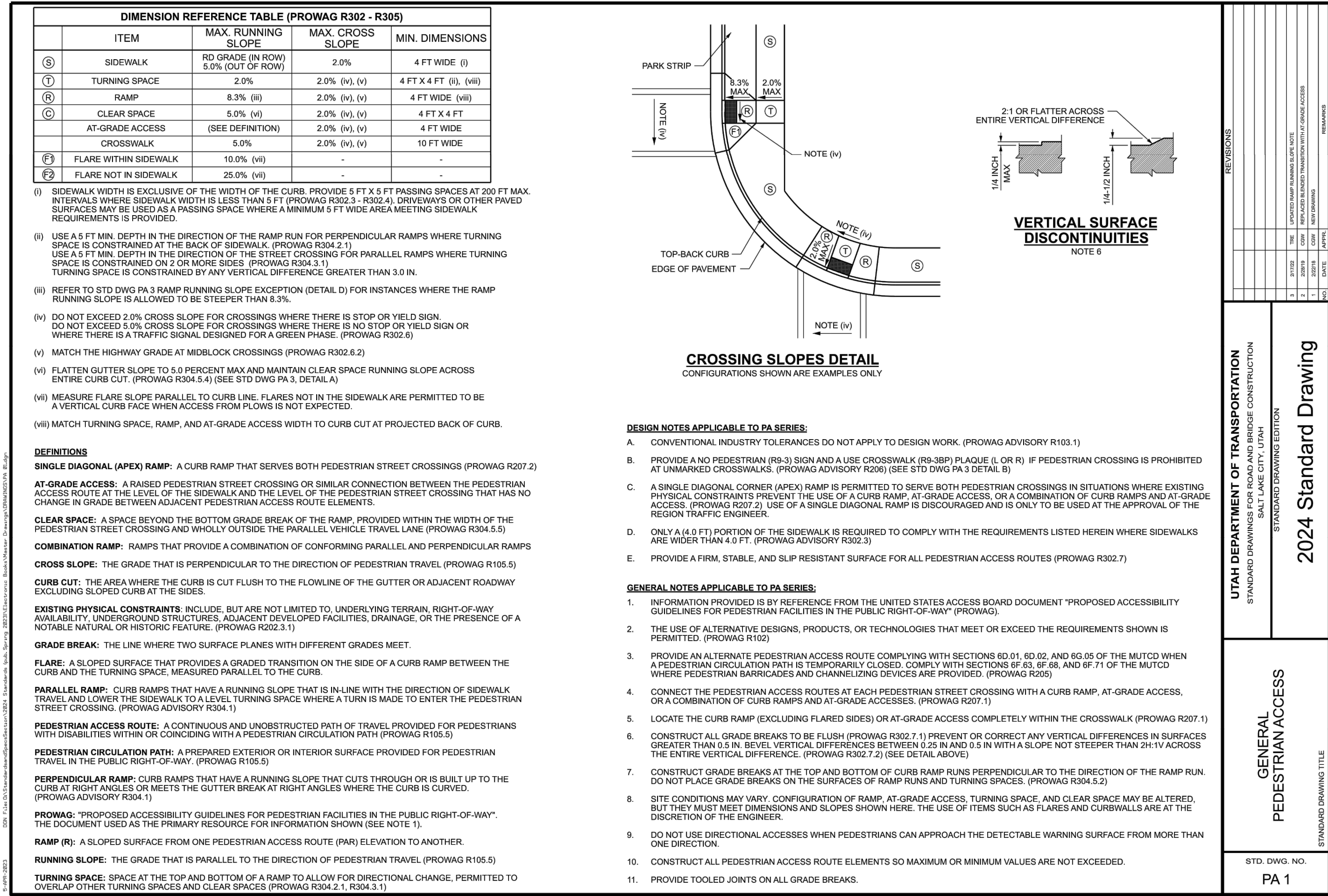
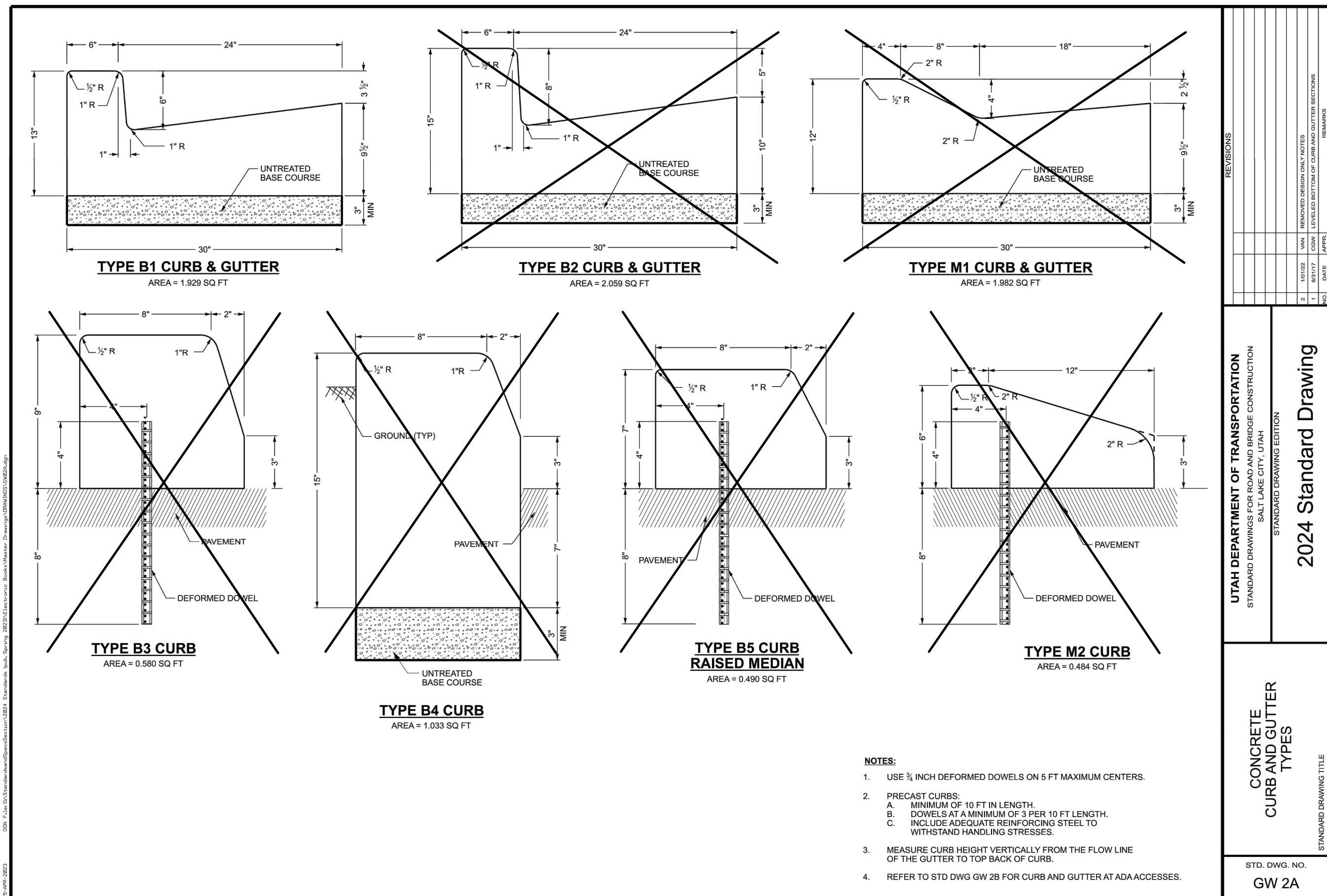
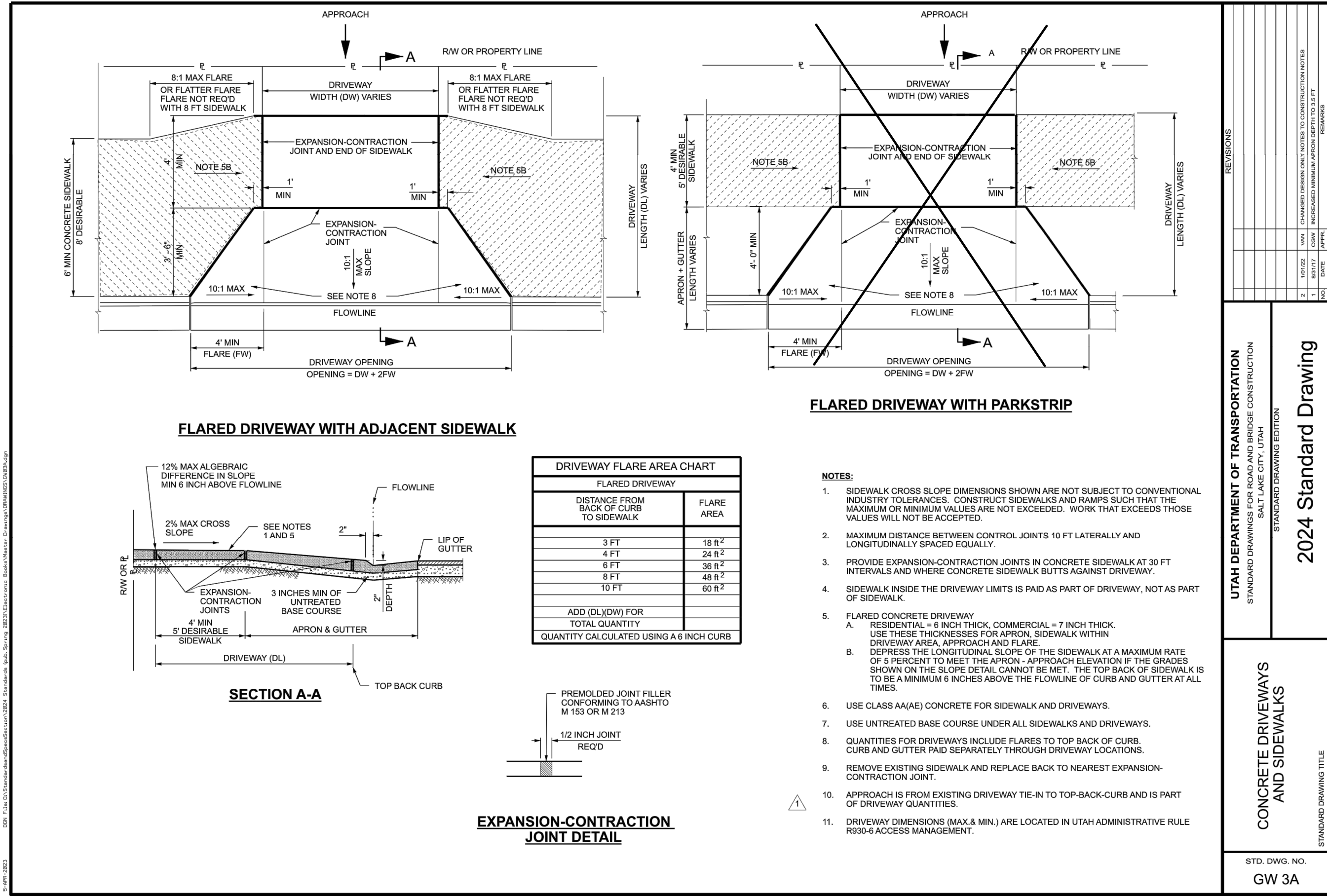
**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**SITE ACCESSIBILITY CIRCULATION PLAN**

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

COMM #4704
DATE: 05/26/2023
REVISION
DATE: 08/17/2023
12/01/2023

C2.6



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SINCE 1914

PROFESSIONAL ENGINEER  
NO. 2376159  
BRANDON HUMANN  
11/29/2023  
STATE OF UTAH

BRANDON HUMANN  
PE 129747-59-2202

TAIT & ASSOCIATES

2024 Standard Drawing

GENERAL PEDESTRIAN ACCESS

STD. DWG. NO. PA 1

PROJECT: NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY6)  
SANTAQUIN, UT

UDOT STANDARD DETAILS

COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE: 08/17/2023  
12/01/2023

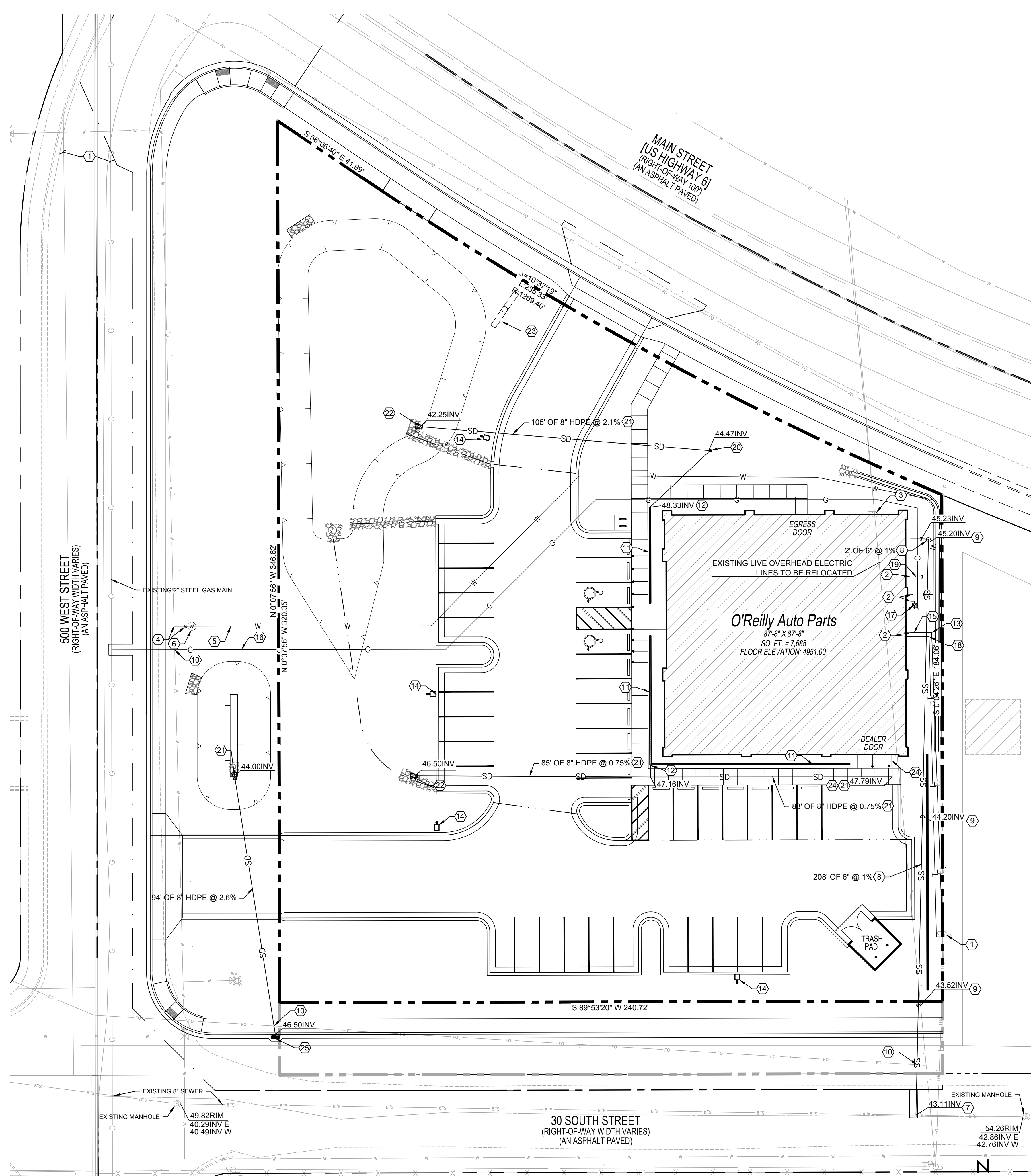
THIS PLAN WAS ADDED TO THE SET.

TAIT & ASSOCIATES

2024 Standard Drawing

PARALLEL PEDESTRIAN ACCESS

STD. DWG. NO. PA 5



### KEY NOTES

- 1 PROTECT EXISTING IMPROVEMENTS IN PLACE.
- 2 UTILITY CONNECTIONS AT BUILDING. REFER TO US1 FOR DETAIL.
- 3 RELOCATE UTILITY POLE.
- 4 CONNECT 1" DOMESTIC SERVICE LINE TO EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH THE CITY OF SANTAQUIN FOR SERVICE LINE TAP AND CURB STOP INSTALLATION. REFER TO SANTAQUIN CITY MUNICIPAL CODE SEC 8.04.040 AND SANTAQUIN CITY DETAIL W1. SEE C2.4 FOR DETAIL.
- 5 1" TYPE K COPPER WATER SERVICE LINE. CONTRACTOR TO INSTALL SERVICE LINE FROM METER TO BUILDING. REFER TO CITY DETAIL W1. SEE C2.4 FOR DETAIL.
- 6 1" WATER METER. CITY TO PROVIDE METER FOR CONTRACTOR TO INSTALL. REFER TO SANTAQUIN MUNICIPAL CODE SEC 8.04.040 AND STANDARD DETAIL W1. PROVIDE A 21" DIAMETER WHITE HANCOR METER BOX. REFER TO SANTAQUIN CITY STANDARD DETAIL W1. SEE C2.4 FOR DETAIL.
- 7 CONNECT 6" SEWER SERVICE LINE TO EXISTING 8" SEWER MAIN WITH SADDLE. REFER TO SANTAQUIN CITY MUNICIPAL CODE 8.08.040.H AND SANTAQUIN CITY DETAIL S2. SEE C2.4 FOR DETAIL.
- 8 6" SDR-35 PVC SANITARY SEWER SERVICE LINE AT MINIMUM 1%. REFER TO SANTAQUIN CITY DETAIL S2 AND UT3 FOR TRENCH SECTION. SEE C2.4 FOR DETAILS.
- 9 6" SANITARY CLEANOUT PER SANTAQUIN CITY DETAIL S2. MINIMUM SPACING 100 FEET. SEE C2.4 FOR DETAIL.
- 10 UTILITY CROSSING. CONTRACTOR TO CONFIRM DEPTHS AND NOTIFY ENGINEER OF ANY CONFLICTS.
- 11 4" PRESLOPED TRENCH DRAIN. REFER TO DETAIL C2.2/11.
- 12 4" STORM DRAIN CONNECTION PIPE.
- 13 PROPOSED UNDERGROUND ELECTRIC SERVICE LINE. REFER TO US1 FOR DETAIL.
- 14 PROPOSED LIGHT POLE. REFER TO US1 FOR DETAIL.
- 15 PROPOSED ELECTRIC STRUCTURE. REFER TO US1 FOR DETAIL.
- 16 PROPOSED GAS SERVICE LINE. REFER TO US1 FOR DETAIL.
- 17 PROPOSED GAS STRUCTURE. REFER TO US1 FOR DETAIL.
- 18 PROPOSED UNDERGROUND COMMUNICATION SERVICE LINE. REFER TO US1 FOR DETAIL.
- 19 IRRIGATION STUB SHOWN FOR REFERENCE. REFER TO IRRIGATION AND LANDSCAPE PLANS FOR DETAIL AND METER INFO.
- 20 12" AREA INLET STRUCTURE. REFER TO SHEET C2.5 FOR DETAILS. REFER TO C1.1 FOR ELEVATIONS.
- 21 8" HDPE STORM DRAIN PIPE AT SLOPE SHOWN (MIN 0.75%). REFER TO C2.5 FOR DETAILS. REFER TO C1.1 FOR ELEVATIONS.
- 22 8" HDPE STORM DRAIN PIPE FLARED END SECTION.
- 23 PROPOSED LIGHTED SIGN. REFER TO US1 FOR DETAIL.
- 24 ROOF DRAIN MANIFOLD CONNECTION TO 8" STORM DRAIN PIPE.
- 25 STANDARD CURB INLET. REFER TO DETAIL SD1/C2.5

### EXISTING UTILITY NOTE

CONTRACTOR TO CONFIRM MINIMUM BURY DEPTH IS MAINTAINED OVER EXISTING UTILITIES.

### EXISTING CONDITIONS NOTES

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS LINES, GAS MAINS LINES, SEWER MAINS LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY RESULTING FROM DAMAGE TO OR MODIFICATIONS OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS / INSTALLATIONS.

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### SYMBOLS LEDGEN

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEDGEN.
- NEW BUILDING CONSTRUCTION
  - AREA OF RIP RAP
  - CONCRETE PAVING BLOCK
  - O'REILLY PROPERTY LINE/ROW
  - ADJACENT PROPERTY LINE
  - CENTER LINE
  - RIGHT-OF-WAY LINE
  - BUILDING SETBACK LINE
  - LANDSCAPE SETBACK LINE
  - PROPOSED EASEMENT
  - PROPOSED GAS SERVICE LINE
  - PROPOSED ELECTRIC LINE
  - PROPOSED WATER LINE
  - PROPOSED TELEPHONE LINE
  - PROPOSED SAWCUT
  - PROPOSED RIDGELINE
  - PROPOSED SWALE FLOW LINE
  - LIMITS OF DISTURBANCE
  - PROPOSED POLE SIGN LOCATION
  - PROPOSED LIGHT POLE
  - PROPOSED BOLLARD
  - PROPOSED WATER METER
  - PROPOSED FIRE HYDRANT

### UTILITY COMPANY CONTACTS

- CULINARY WATER & SANITARY SEWER:**  
DOMINION ENERGY  
SL MAPPING DEPARTMENT  
JON LUNDELL, P.E.  
(801) 324-3970  
MAP.REQUESTS@DOMINIONENERGY.COM  
JLUNDELL@SANTAQUIN.ORG
- POWER:**  
ROCKY MOUNTAIN POWER  
CLAIRE HUNTER  
(385) 395-7198  
CLAIRE.HUNTER@PACIFICORP.COM
- FIBER OPTIC & PHONE:**  
LUMEN/CENTURYLINK  
LARRY BUHLER  
(385) 479-7357  
LARRY.BUHLER@LUMEN.COM
- NATURAL GAS:**  
DOMINION ENERGY  
SL MAPPING DEPARTMENT  
(801) 324-3970  
MAP.REQUESTS@DOMINIONENERGY.COM
- CABLE TV & PHONE:**  
CENTRACOM INTERACTIVE  
ALISA FAATZ  
(435) 427-3331  
A.FAATZ@CENTRACOM.COM
- FIBER OPTIC & TRAFFIC SIGNALS:**  
UDOT REGION III  
DEGEN LEWIS  
(801) 227-8011  
DLEWIS@UTAH.GOV

### BENCHMARK

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVDD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

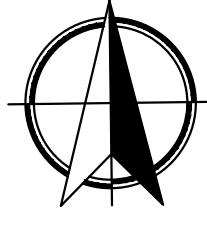
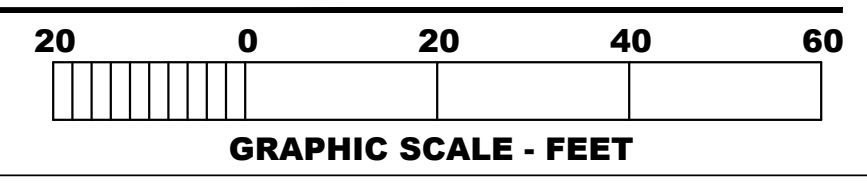
THIS PLAN HAS BEEN UPDATED TO REFLECT THE CHANGE IN BUILDING SIZE AND SHIFT IN LOCATION.



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### 1 SITE UTILITY PLAN

C3.1 SCALE: 1" = 20'-0"



PROJECT:  
**NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY 6)  
SANTAQUIN, UT  
SITE UTILITY PLAN**



COMM #4704  
DATE: 05/26/2023  
REVISION  
DATE: 08/17/2023  
12/01/2023

C3.1

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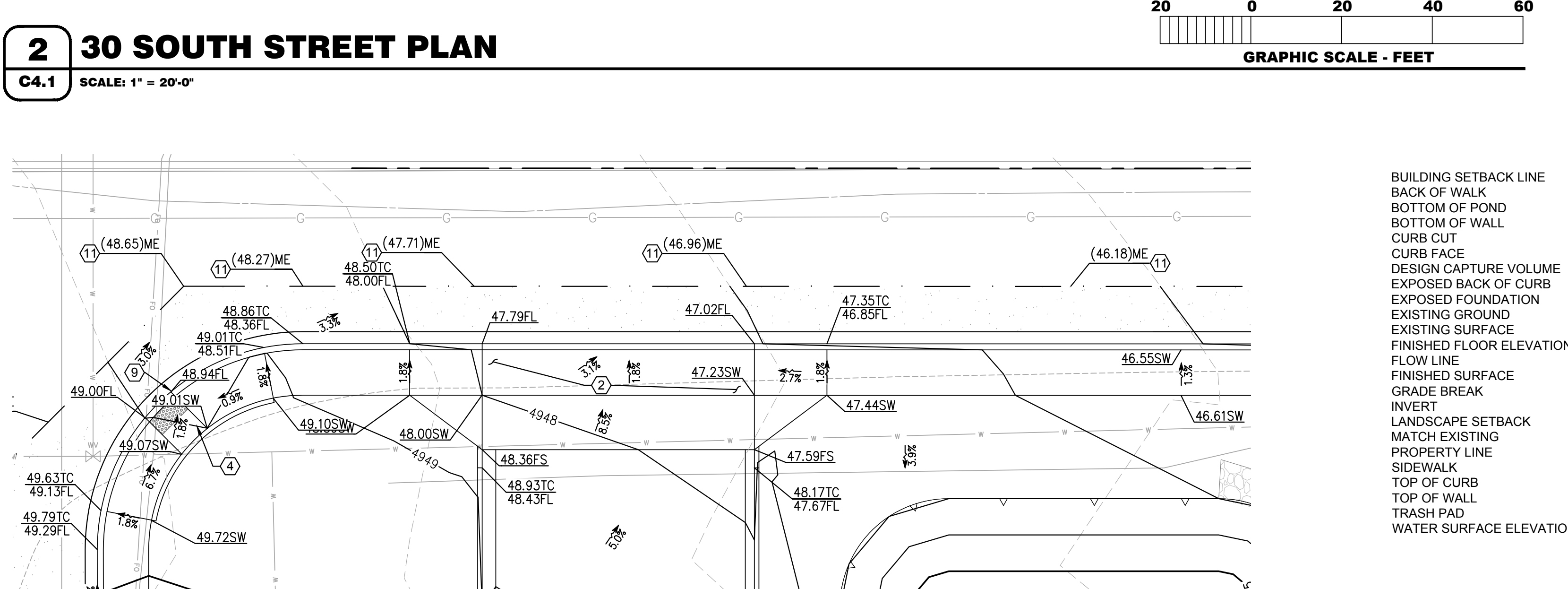
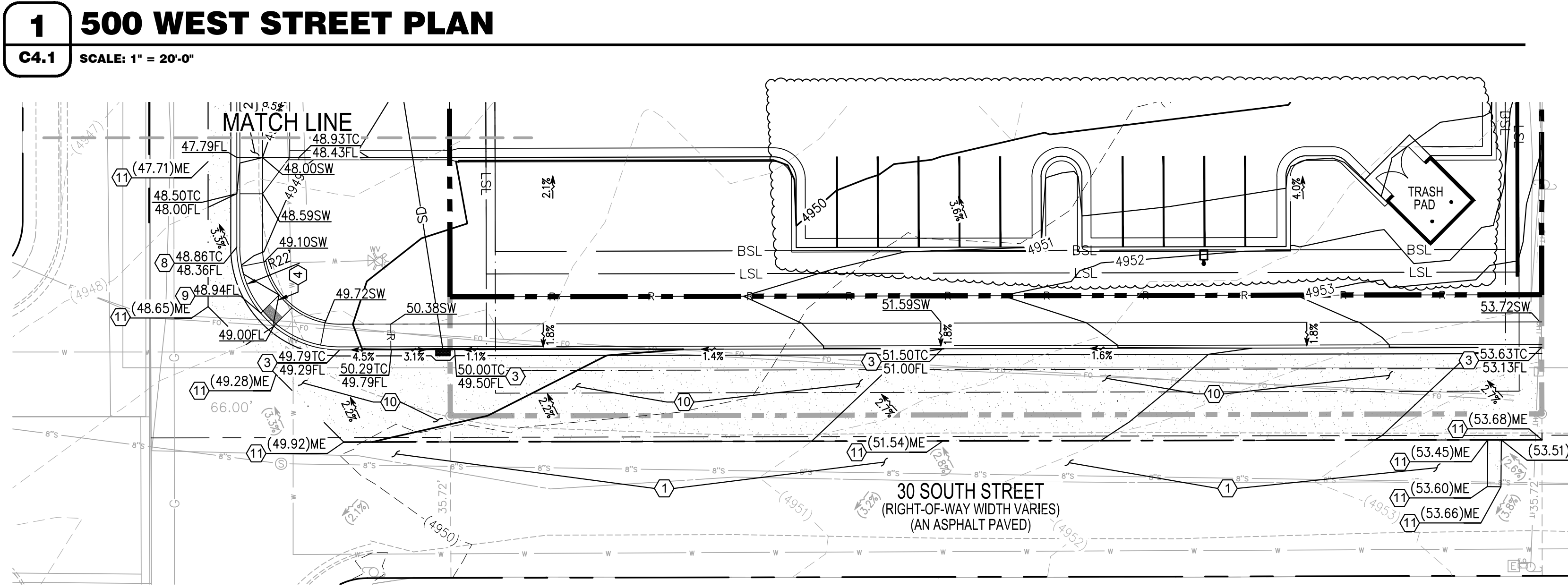
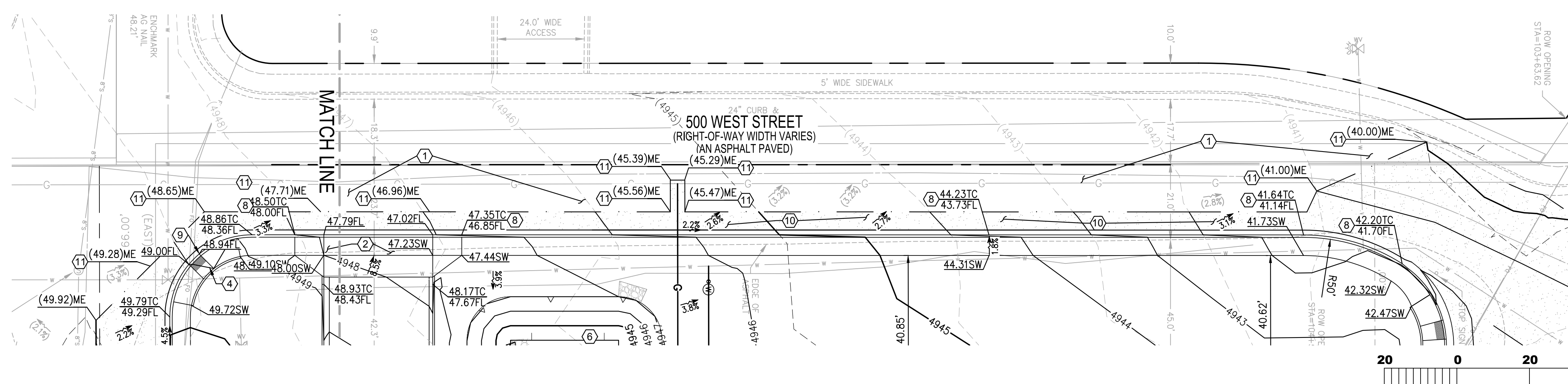
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PROFESSIONAL ENGINEER  
No. 2976759  
BRANDON HUMANN  
11/09/2023  
STATE OF UTAH

BRANDON HUMANN  
PE 12976759-2202

**CRAIG A. SCNEIDER, AIA**  
**ARCHITECT**  
1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
e-mail: architec@esterfyschneider.com  
417.862.0558  
Fax: 417.862.3265



**BASIS OF BEARING**

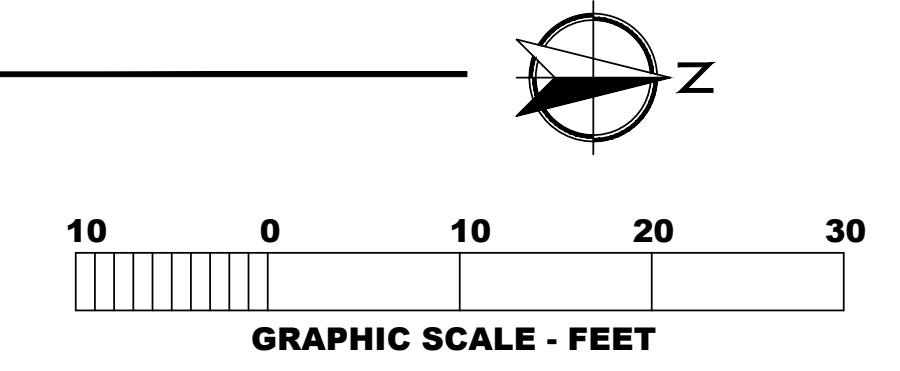
THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANE COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

**BENCHMARK**

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SECTION TIE SHEET NO. 45-72.

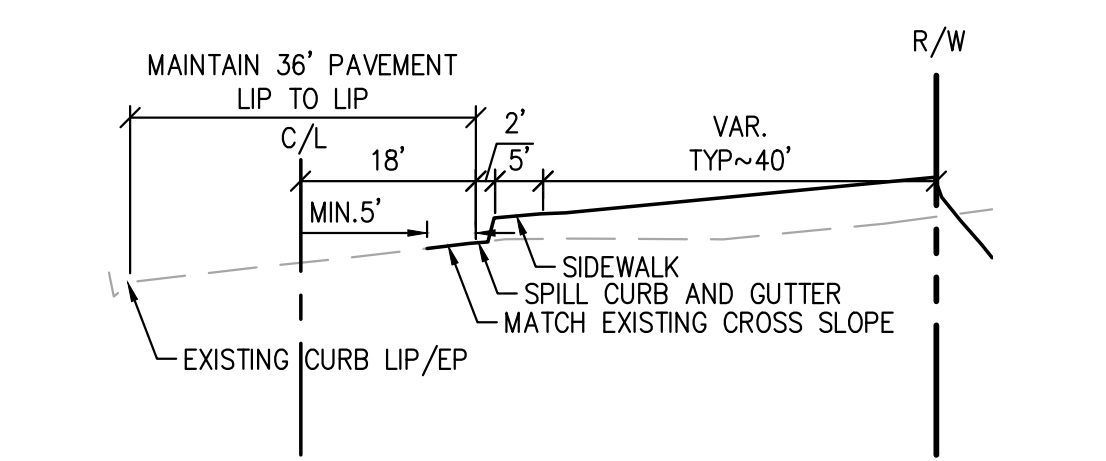
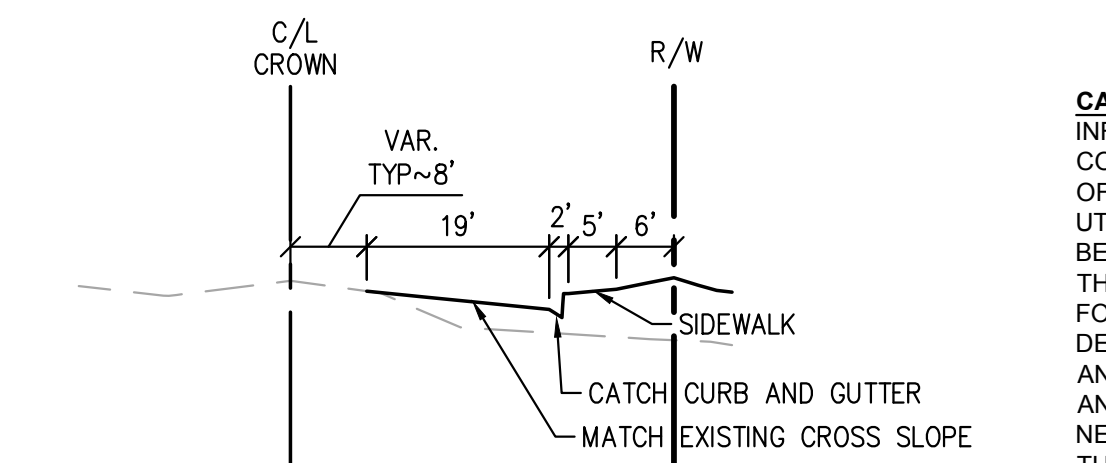
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GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

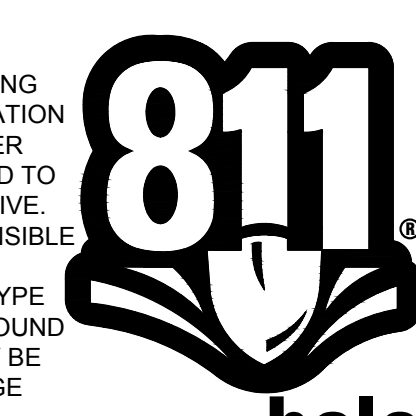


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- GENERAL NOTES**
- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL OFF-SITE CONCRETE TO BE 4,000 PSI PER SANTAQUIN SPECIFICATION 12.02, CLASS AA(AE).
  - B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
  - C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
  - D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
  - E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

- ADA NOTE**
- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
  - LONGITUDINAL SLOPE NOT TO EXCEED 5%
  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
  - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
  - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

- STORMWATER NOTES**
- RIGHT OF WAY STORAGE IS DESIGNED PER THE SANTAQUIN STORM DRAIN MASTER PLAN FOR RETENTION OF 25 YEAR, 6 HOUR STORM AND MITIGATION OF 100 YEAR, 24 HOUR STORM.
- RETENTION VOLUMES:  
 REQUIRED SOUTH STREET 25 YEAR, 6 HOUR RETENTION VOLUME = 799 CF  
 RIGHT OF WAY STORAGE VOLUME AT 4946.00 = 877 CF  
 100 YEAR, 24 HOUR RUNOFF VOLUME = 1523 CF  
 STORAGE VOLUME AT 4947.00 = 2082 CF

- KEYNOTES**
- ① PROTECT EXISTING IMPROVEMENTS IN PLACE.
  - ② DRIVEWAY APPROACH W/O PARK STRIP PER SANTAQUIN STANDARD DRAWING CG6 ON SHEET C2.4.
  - ③ HIGH BACK CURB AND GUTTER WITH ATTACHED WALK PER SANTAQUIN STANDARD DRAWING CG4 ON SHEET C2.4.
  - ④ CURB RAMP AT INTERSECTION PER SANTAQUIN STANDARD DRAWING CG1 ON SHEET C2.4.
  - ⑤ STANDARD CURB INLET. REFER TO DETAIL SD1/C2.5
  - ⑥ RIGHT OF WAY STORM RUNOFF RETENTION POND.
  - ⑦ FUTURE ROAD IMPROVEMENTS.
  - ⑧ HIGH BACK CURB AND SPILL GUTTER WITH ATTACHED WALK.
  - ⑨ TRANSITION FROM HIGH BACK CURB TO HIGH BACK CURB WITH SPILL GUTTER.
  - ⑩ ASPHALT PAVING. REFER TO DETAIL 12/C2.2
  - ⑪ GRIND 12" BEYOND SAWCUT AT 3" DEPTH, OVERLAY TO MATCH EXISTING PER SANTAQUIN CITY STANDARD AND SPECIFICATION 10.05.

**SYMBOLS LEGEND**

	AREA OF ASPHALT
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED GAS SERVICE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SAWCUT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	EXISTING SURFACE LABEL
	FINISHED SURFACE LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SLOPE
	PROPOSED SLOPE
	TOP OF RETENTION POND
	TOE OF RETENTION POND

BSL	BUILDING SETBACK LINE
BW	BACK OF WALK
BOP	BOTTOM OF POND
BOW	BOTTOM OF WALL
CC	CURB CUT
CF	CURB FACE
DCV	DESIGN CAPTURE VOLUME
EC	EXPOSED BACK OF CURB
EF	EXPOSED FOUNDATION
EG	EXISTING GROUND
ES	EXISTING SURFACE
FF/FFE	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
INV	INVERT
LSB	LANDSCAPE SETBACK
ME	MATCH EXISTING
PL	PROPERTY LINE
SW	SIDEWALK
TC	TOP OF CURB
TOW	TOP OF WALL
TP	TRASH PAD
WSEL	WATER SURFACE ELEVATION

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**CRAIG A. SCNEIDER, AIA**  
 ARCHITECT

1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417-862-0558  
 Fax: 417-862-3265  
 e-mail: architect@esterlyscneider.com

**PROJECT:**  
 NEW O'REILLY AUTO PARTS STORE  
 MAIN STREET (US HWY6)  
 SANTAQUIN, UT  
 ROAD PLAN



COMM #4704
DATE: 05/26/2023
REVISION
DATE: 08/17/2023
12/01/2023



**INSPECTION AND TESTING**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATERIALS TESTING INCLUDING BUT NOT LIMITED TO CONCRETE, FLUSHING, DISINFECTION, LEAK, PRESSURE, BACTERIOLOGICAL, AND COMPACTION. ALL TESTS SHALL MEET MINIMUM ENGINEER REQUIREMENTS. SEE THE CONTRACT DOCUMENTS AND DRAWINGS FOR FREQUENCY OF TESTING. RESULTS ARE TO BE DELIVERED TO SPECIAL INSPECTOR, OWNER AND ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ENGINEER AND SPECIAL INSPECTOR FOR INSPECTIONS OF WORK AT APPROPRIATE INTERVALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PAY FOR ADDITIONAL INSPECTIONS THAT ARE THE RESULT OF HIS WORKMANSHIP.

**CITY AND UDOT GENERAL NOTES**

- SANTAQUIN CITY AND THE ENGINEER HAVE JURISDICTION OVER THIS SANTAQUIN CITY AND THE ENGINEER HAVE JURISDICTION OVER THIS PROJECT. UDOT HAS JURISDICTION OVER THE HIGHWAY 6 (MAIN STREET) ROADWAY. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DUST ABATEMENT AND ANY CONTRACTOR IS RESPONSIBLE FOR DUST ABATEMENT AND ANY LIABILITY ISSUES RELATED TO DUST AT ANY LOCATION WHICH MAY BE CAUSED BY THIS PROJECT.
- TRAFFIC CONTROL MUST BE APPROVED BY CITY AND UDOT PRIOR TRAFFIC CONTROL MUST BE APPROVED BY CITY AND UDOT PRIOR TO BEGINNING ANY WORK ON THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND PROTECTION OF PEDESTRIANS IN AND AROUND THIS WORK. REFERENCE THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD LATEST EDITION FOR WORK ZONE TRAFFIC CONTROL), AND UDOT 2022 STANDARD SPECIFICATIONS AND DRAWINGS.
- ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THE REQUIREMENTS OF THAT AGENCY AND, IN PARTICULAR, REQUIREMENTS OF ANY RIGHT-OF-WAY SPECIAL USE PERMIT, OR OTHER PERMIT. ALL WORK SHALL MEET CURRENT OSHA REQUIREMENTS.
- WHERE WORK IS PERFORMED ON EASEMENTS, THE CONTRACTOR WHERE WORK IS PERFORMED ON EASEMENTS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO ELIMINATE ANY ADVERSE EFFECTS ON THE ADJACENT PROPERTY AND/OR TO RESTORE IT TO ITS ORIGINAL CONDITION.
- ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATION MAY BE MADE PRIOR TO THE START OF THE WORK.
- THE CONTRACTOR SHALL ARRANGE FOR, SECURE AND PAY FOR THE CONTRACTOR SHALL ARRANGE FOR, SECURE AND PAY FOR DIRECTLY, ANY AND ALL TEMPORARY UTILITY SUPPLIES (E.G. WATER POWER, AND TELEPHONE) IT MAY REQUIRE FOR EXECUTION OF ITS WORK. THE COST OF SUCH UTILITIES SHALL BE INCLUDED IN THE APPROPRIATE BID ITEM WITH WHICH IT IS ASSOCIATED.
- SHOULD CONSTRUCTION BE HALTED BECAUSE OF INCLEMENT SHOULD CONSTRUCTION BE HALTED BECAUSE OF INCLEMENT WEATHER CONDITIONS, THE CONTRACTOR WILL COMPLETELY CLEAN UP ALL AREAS AND MAINTAIN THE SURFACE IN GOOD CONDITION DURING THE SHUT-DOWN PERIOD.
- THE CONTRACTOR'S PERSONNEL, EQUIPMENT, AND OPERATIONS THE CONTRACTOR'S PERSONNEL, EQUIPMENT, AND OPERATIONS SHALL COMPLY FULLY WITH ALL APPLICABLE STANDARDS, REGULATIONS, AND REQUIREMENTS OF EXISTING FEDERAL, UTAH STATE, AND LOCAL GOVERNMENTAL AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE, AND FEDERAL PERMITS REQUIRED FOR STORMWATER POLLUTION PREVENTION AS A RESULT OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN FOR APPROVAL BY THE ENGINEER. IF THE CONSTRUCTION WILL DISTURB MORE THAN ONE ACRE, THE CONTRACTOR SHALL OBTAIN A COPY OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY'S NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (OTHERWISE KNOWN AS THE CONSTRUCTION GENERAL PERMIT OR CGP) AND SUBMIT A "NOTICE OF INTENT" (NOI/EPA FORM 3510-9 (8/03)) FOR PERMIT COVERAGE UNDER THE GENERAL PERMIT. THE CGP MAY BE FOUND ON THE INTERNET AT <http://www.epa.gov/npdes/stormwater/cgp> OR BY OR BY CONTACTING THE U.S. EPA OFFICE OF WATER DIRECTLY AT (800) 424-4372. THE NOI MAY BE FILED ELECTRONICALLY AT THE FOLLOWING WEBSITE: <http://cfpub.epa.gov/npdes/stormwater/enoi.cfm>. THE CGP DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH OTHER REGULATIONS OR CONTRACT REQUIREMENTS REGARDING STORMWATER POLLUTION PREVENTION INCLUDING BUT NOT LIMITED TO: PROTECTION OF SURFACE WATERS, PREVENTION OF SOIL RUNOFF INTO DRAINS, DUST CONTROL, PREVENTION OF TRACKING SOILS TO ADJACENT STREETS, FUEL CONTAINMENT, SPILL CONTROL, ETC.
- SANTAQUIN CITY WILL OBTAIN APPROVAL FROM SUMMIT CREEK SANTAQUIN CITY WILL OBTAIN APPROVAL FROM SUMMIT CREEK IRRIGATION AND CANAL COMPANY PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE CONTAINED IN OR LIMITED TO THE CITY'S ALL WORK SHALL BE CONTAINED IN OR LIMITED TO THE CITY'S PROPERTY, EASEMENTS, OR APPROVED STAGING AREAS.
- THE GEOTECHNICAL EVALUATION FOR THIS PROJECT IS FOUND IN THE GEOTECHNICAL EVALUATION FOR THIS PROJECT IS FOUND IN THE PROJECT SPECIFICATIONS. RECOMMENDATIONS FROM THE REPORT SHALL BE FOLLOWED. IN THE EVENT OF A CONFLICT WITH THE PROJECT SPECIFICATIONS, THE ENGINEER AND THE GEOTECHNICAL ENGINEER WILL APPROVE THE PROPER COURSE OF ACTION. REFER TO GEOTECHNICAL REPORT FOR SUBSURFACE SOILS INFORMATION.
- CONTRACTOR TO PROVIDE, CONSTRUCT, MAINTAIN AND REMOVE A CONTRACTOR TO PROVIDE, CONSTRUCT, MAINTAIN AND REMOVE A TEMPORARY FENCE AROUND THE CONSTRUCTION SITE USED TO PROTECT NEIGHBORING PROPERTIES FROM DAMAGE. CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTION TO SAFE GUARD WORK SITE. PAY ITEM TO BE INCLUDED IN MOBILIZATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING VERTICAL AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING VERTICAL AND HORIZONTAL CONTROLS AND ALL CONSTRUCTION STAKING REQUIRED TO COMPLETE THE PROJECT.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITIES AND BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND EXISTING IMPROVEMENTS AS A RESULT OF THE CONTRACTOR'S IMPROVEMENTS AS A RESULT OF THE CONTRACTOR'S CONSTRUCTION ACTIVITIES. ACTIVITIES.
- DURING CONSTRUCTION, ALL OPEN ENDS OF ALL PIPE LINES AND DURING CONSTRUCTION, ALL OPEN ENDS OF ALL PIPE LINES AND MANHOLE ACCESSES SHALL BE COVERED AND SEALED AT THE END OF THE WORK DAY. WORK ON SUMMIT CREEK IRRIGATION AND CANAL COMPANY FACILITIES TO BE PERFORMED BETWEEN OCTOBER 15TH AND APRIL 1ST.
- THE MINIMUM COVER FOR ALL WATER LINES SHALL BE 4' UNLESS THE MINIMUM COVER FOR ALL WATER LINES SHALL BE 4' UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF REMOVAL WITH THE THE CONTRACTOR SHALL VERIFY THE LIMITS OF REMOVAL WITH THE LIMITS OF NEW IMPROVEMENTS PRIOR TO DEMOLITION.

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL OFF-SITE CONCRETE TO BE 4,000 PSI PER SANTAQUIN SPECIFICATION 12.02, CLASS AA(AE).
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

**ADA NOTE**

- ALL ACCESSIBLE PATHS OF TRAVEL ARE TO ABIDE BY THE FOLLOWING PARAMETERS:
- CROSS-SLOPE NOT TO EXCEED 2%
  - LONGITUDINAL SLOPE NOT TO EXCEED 5%
  - LONGITUDINAL RAMP SLOPE NOT TO EXCEED 8.33%
  - RAMP LANDINGS NOT TO EXCEED 2% (LANDING PLACEMENT PER RAMP DETAILS)
  - PATHWAYS EXCEEDING THESE STANDARDS WILL BE REPLACED AT THE CONTRACTORS EXPENSE

**SYMBOLS LEGEND**

	AREA OF ASPHALT
	AREA OF RIP RAP
	CONCRETE PAVING BLOCK
	O'REILLY PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	PROPOSED EASEMENT
	PROPOSED GAS SERVICE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SAWCUT
	PROPOSED RIDGELINE
	PROPOSED SWALE FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED POLE SIGN LOCATION
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	EXISTING SURFACE LABEL
	FINISHED SURFACE LABEL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SLOPE
	PROPOSED SLOPE
	TOP OF RETENTION POND
	TOE OF RETENTION POND

**KEYNOTES**

- (1) PROTECT EXISTING IMPROVEMENTS IN PLACE.
- (2) DRIVEWAY APPROACH W/O PARK STRIP PER UDOT STANDARD DRAWING GW 3A ON SHEET C2.7.
- (3) HIGH BACK CURB AND GUTTER TYPE B1 PER UDOT STANDARD DRAWING GW 2A ON SHEET C2.7.
- (4) CURB RAMP AT INTERSECTION PER UDOT STANDARD DRAWING PA 1 AND PA 5 ON SHEET C2.7.
- (5) TRANSITION FROM HIGH BACK CURB TO HIGH BACK CURB WITH SPILL GUTTER.
- (6) ASPHALT PAVING. REFER TO DETAIL 13/C2.2.
- (7) GRIND 12" BEYOND SAWCUT AT 3" DEPTH, OVERLAY TO MATCH EXISTING PER UDOT STANDARDS.

**BASIS OF BEARING**

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 85°55'25" EAST 2654.99 FEET MEASURED BETWEEN THE NORTH QUARTER CORNER AND THE REFERENCE CORNER FOR THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, PER UTAH COUNTY SURVEYOR'S STATE PLANS COORDINATE & DEPENDENT RESURVEY OF THE NORTHEAST QUARTER OF T10S, R1E, SLB&M.

**BENCHMARK**

THE BENCHMARK UTILIZED FOR ELEVATIONS SHOWN IS THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SAID SECTION 2, MEASURED 4894.02 FEET (NAVD88), PER UTAH COUNTY SURVEYOR'S SHEET NO. 45-72.

SET MAG NAIL IN CONCRETE SIDEWALK 133.3 FEET NORTHWEST FROM THE SOUTHWEST CORNER OF PROPERTY AS A SITE BENCHMARK. ELEVATION DETERMINED BY GPS MEASUREMENT IS 4948.21 FEET.

GRADE FLAG ELEVATIONS SHOWN HEREON ARE TRUNCATED BY 4900 FEET.

ELEVATION ADJUSTMENT NOTE:  
 MAIN STREET IMPROVEMENTS FOR SANTAQUIN CITY USE ELEVATION DATUM REFERENCE OF THE UTAH COUNTY BRASS CAP MONUMENT MARKING THE NORTH QUARTER CORNER OF SECTION 1, GIS MONUMENT NUMBER 5101, USING V.R.S. DERIVED ELEVATION. THE ELEVATION REFERENCE FOR THOSE PLANS OF MONUMENT 5101 IS GIVEN AS 4877.21 FEET WITH NGVD29 DATUM. THE ELEVATION FOR SECTION CORNER 2 FOR THE MAIN STREET IMPROVEMENTS PROJECT WITH THAT SURVEY CONTROL WAS PROVIDED AS 4890.66, OR 3.36 FEET LOWER THAN THE PUBLISHED ELEVATION OF 4894.02 FEET FOR THE NAVD88 DATUM. ELEVATIONS ON SANTAQUIN CITY PLANS FOR MAIN STREET IMPROVEMENTS HAVE BEEN INCREASED BY SAID 3.36 FEET AND USED FOR THE ELEVATIONS OF THE MAIN STREET IMPROVEMENTS ON THESE PLANS FOR ELEVATION TIES BETWEEN THE PROJECTS.

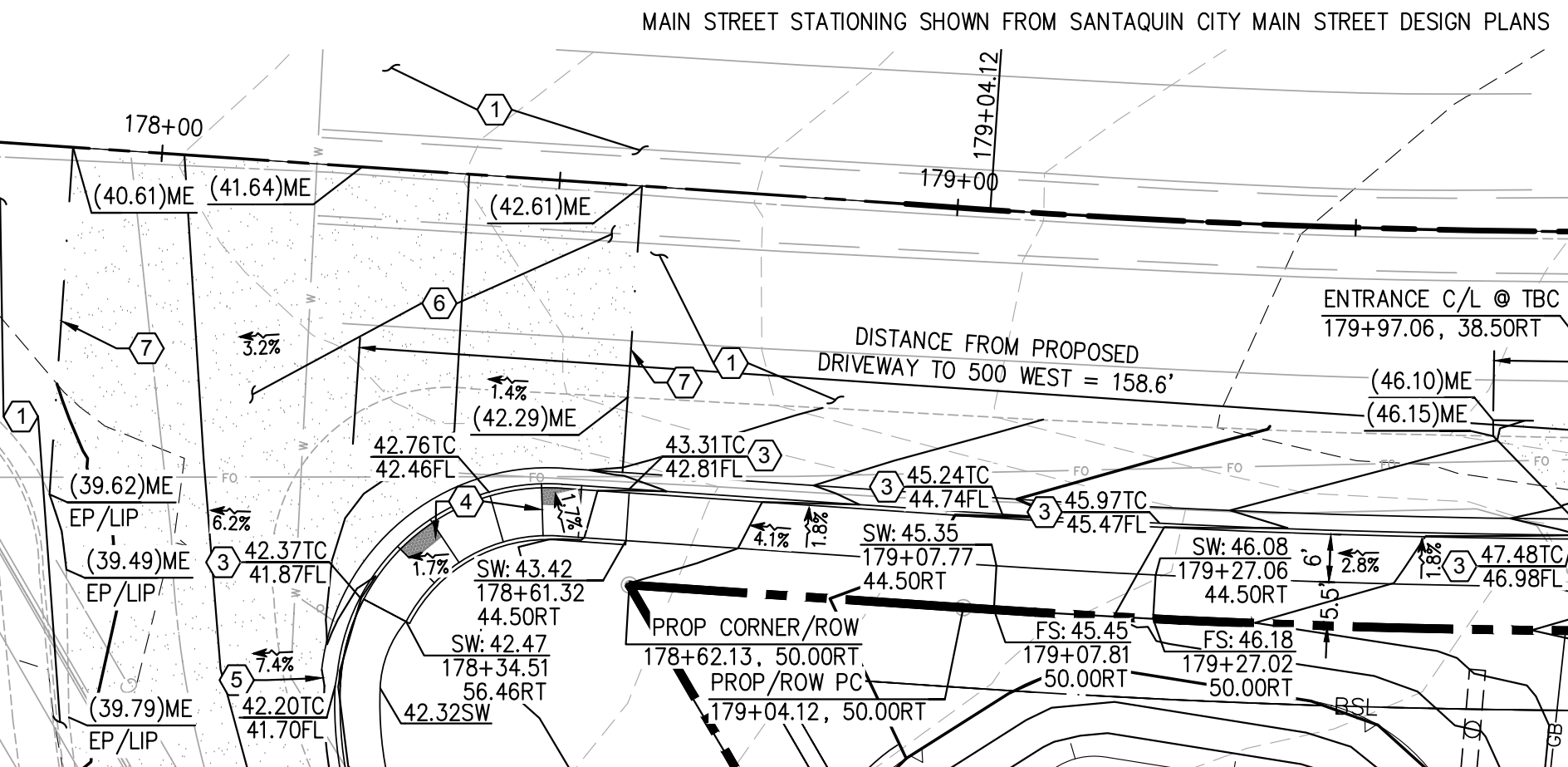
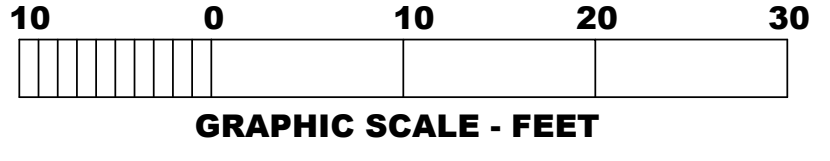
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**Know what's below  
 Call before you dig.**

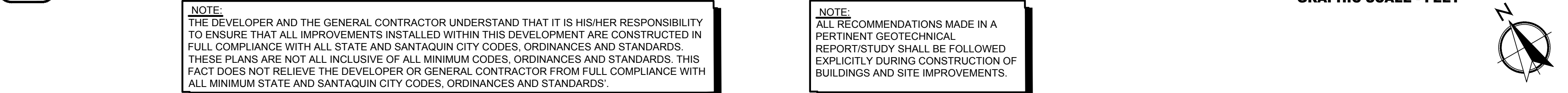
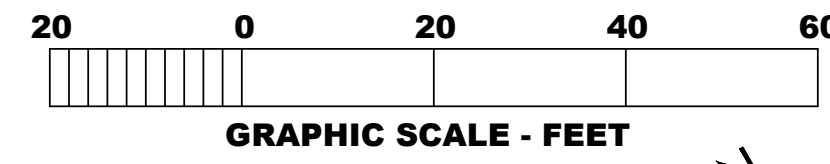
**2 ADA RAMP GRADING DETAIL**

C4.2 SCALE: 1" = 10'-0"



**1 MAIN STREET IMPROVEMENTS**

C4.2 SCALE: 1" = 20'-0"



**NOTE:**  
 THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

**NOTE:**  
 ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

PREPARED UNDER THE SUPERVISION OF TAIT & ASSOCIATES, INC.

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 Loveland, CO 80537  
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PROJECT: **NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY6)**  
**SANTAQUIN, UT**

ARCHITECT  
**CRAIG A. SCHNEIDER, AIA**  
 1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417.862.0538  
 Fax: 417.862.3265  
 e-mail: architect@esterlyschneider.com

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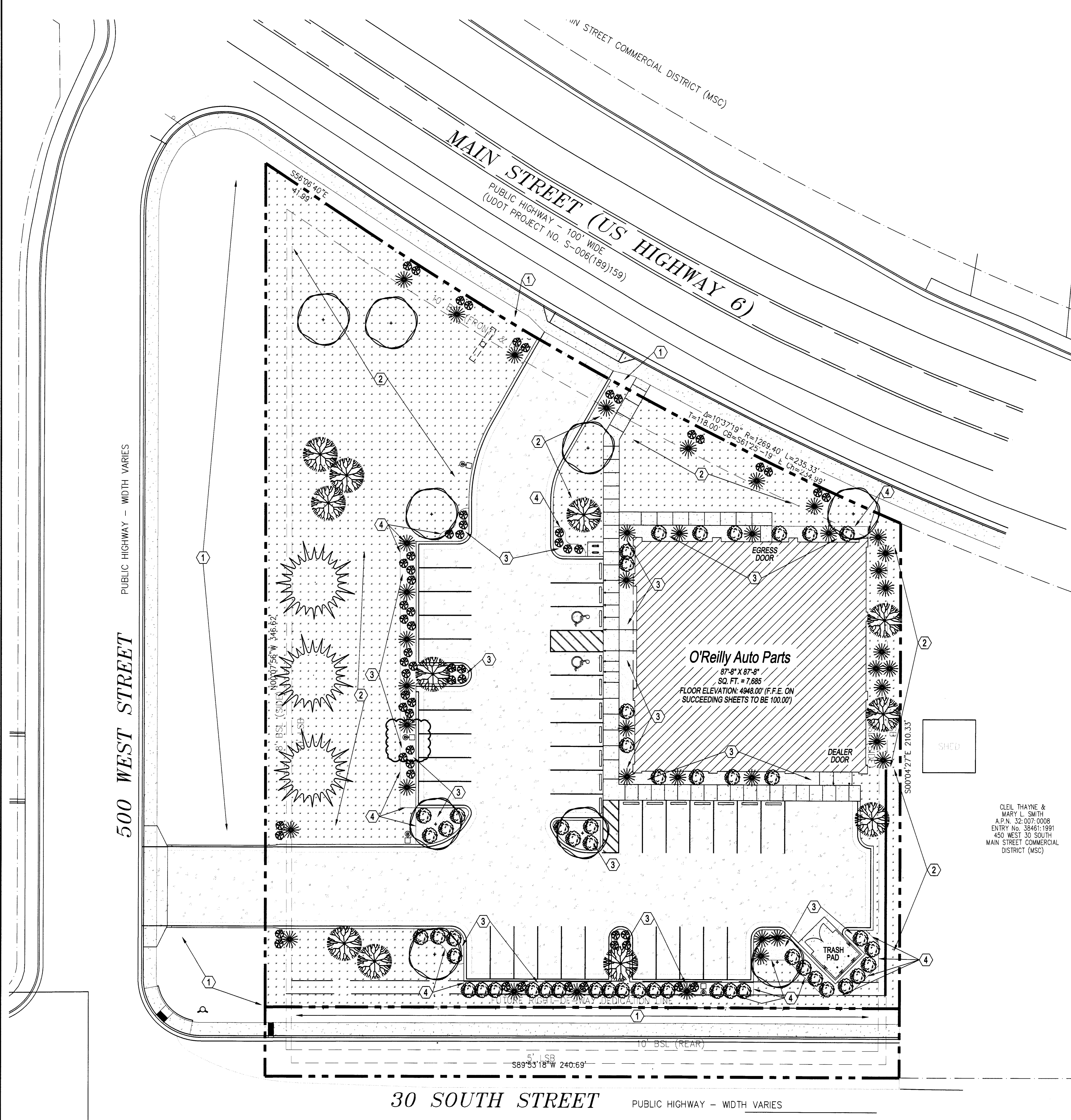
**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

COMM #4704  
 DATE: 05/26/2023  
 REVISION  
 DATE: 08/17/2023

12/01/2023

C4.2



**KEY NOTES**

- 1 AREA OF HYDRO MULCH OR SEED AND STRAW, UNLESS NOTED OTHERWISE, ALL AREAS DISTURBED BY CONSTRUCTION ARE FIRST TO BE FINE GRADED AND THEN FOLLOWED BY HYDRO MULCH OR SEED AND STRAW OVER MIN. 4" TOPSOIL STOCKPILED FROM SITE OR HAULED IN AS REQUIRED.
- 2 AREA OF SOD, REFER TO DETAIL 1/L1.2.
- 3 CREEK GRAVEL, REFER TO DETAIL 2/L1.2.
- 4 LANDSCAPE EDGING, REFER TO DETAIL 2/L1.2. PROVIDE AT ALL GROUND COVER TYPE TRANSITIONS.

**SYMBOLS LEGEND**

- NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.
- NEW AREA OF LANDSCAPE GRAVEL
  - NEW AREA OF SOD

**GENERAL NOTES**

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSEYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.
- E NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- F PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- G PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- H WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHED AREA OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- I RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE RIGHT-OF-WAY.
- J PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

**PLANTING SCHEDULE**

REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS  
ALL PLANTINGS MAY BE SUBSTITUTED DUE TO REGION OR LOCAL REQUIREMENTS IF NECESSARY

MARK	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	NOTES
	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	2" CALIPER MIN.	6/L1.2	WELL BRANCHED, FULL HEAD, 8' HEIGHT MIN., B & B
	EMERALD QUEEN MAPLE	ACER PLANTANOIDES 'EMERALD QUEEN'	2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 10' HEIGHT MIN., B & B
	CORAL SUN GOLDEN RAIN TREE	KOELREUTERIA PANICULATA 'CORAL SUN'	1 1/2" CALIPER MIN.	5/L1.2	WELL BRANCHED, FULL HEAD, 8' HEIGHT MIN., B & B
	MISS KIM LILAC HEDGE	SYRINGA PATULA 'MISS KIM'	2' HEIGHT MIN.	4/L1.2	FULL PLANT
	ROSE GLOW JAPANESE BARBERRY	BERBERIS THUNBERGII ATROPURPUREA 'ROSE GLOW'	2' HEIGHT MIN.	4/L1.2	FULL PLANT
	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	1' HEIGHT MIN.	4/L1.2	FULL PLANT

CLEL THAYNE & MARY L. SMITH  
A.P.N. 32:007:0008  
ENTRY No. 38461:1991  
450 WEST 30 SOUTH  
MAIN STREET COMMERCIAL DISTRICT (MSC)

**1 LANDSCAPE PLAN**  
L1.1 SCALE: 1" = 20'-0"



**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



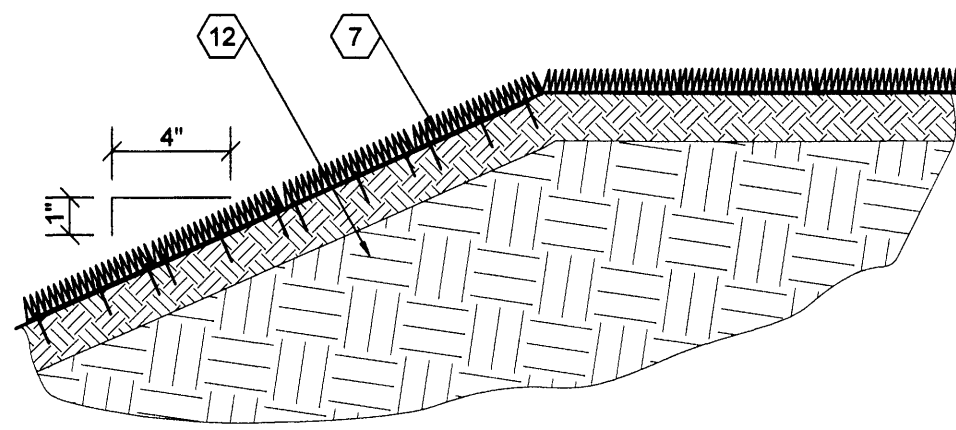
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ARCHITECT  
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Fax: 417.862.3265  
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**LANDSCAPE PLAN**

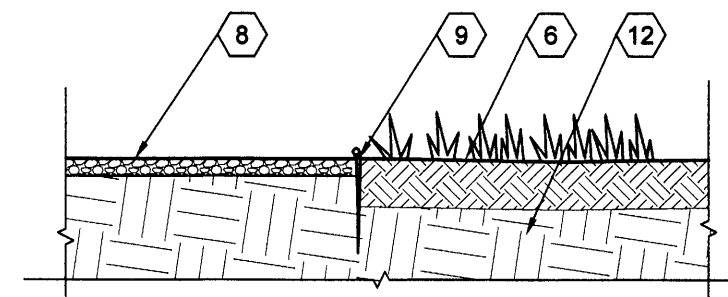
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DATE:	5-26-23
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DATE:	11-2-23
	11-30-23



**1 SOD DETAIL**

L1.2 SCALE: 3/4" = 1'-0"

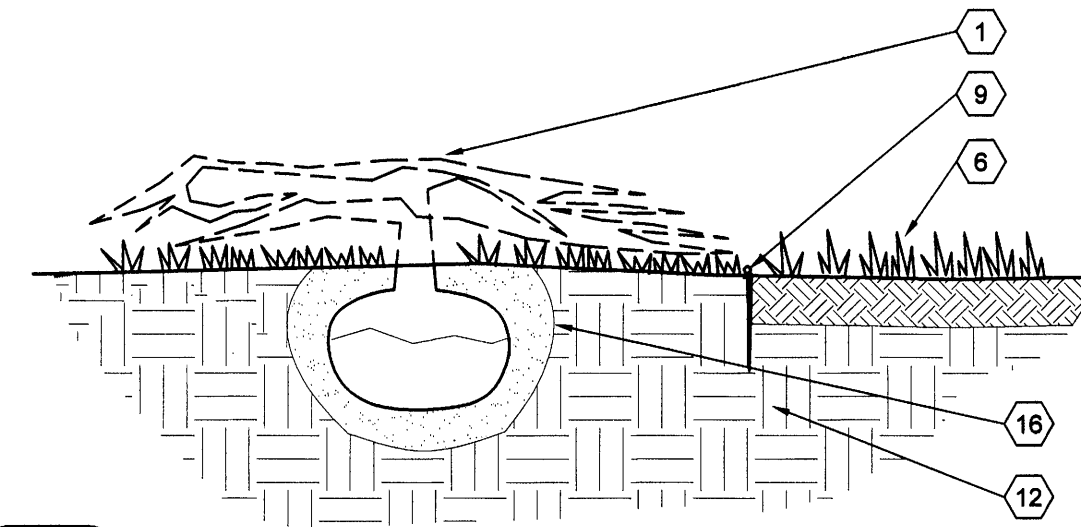


**2 LANDSCAPE GRAVEL DETAIL**

L1.2 SCALE: 3/4" = 1'-0"

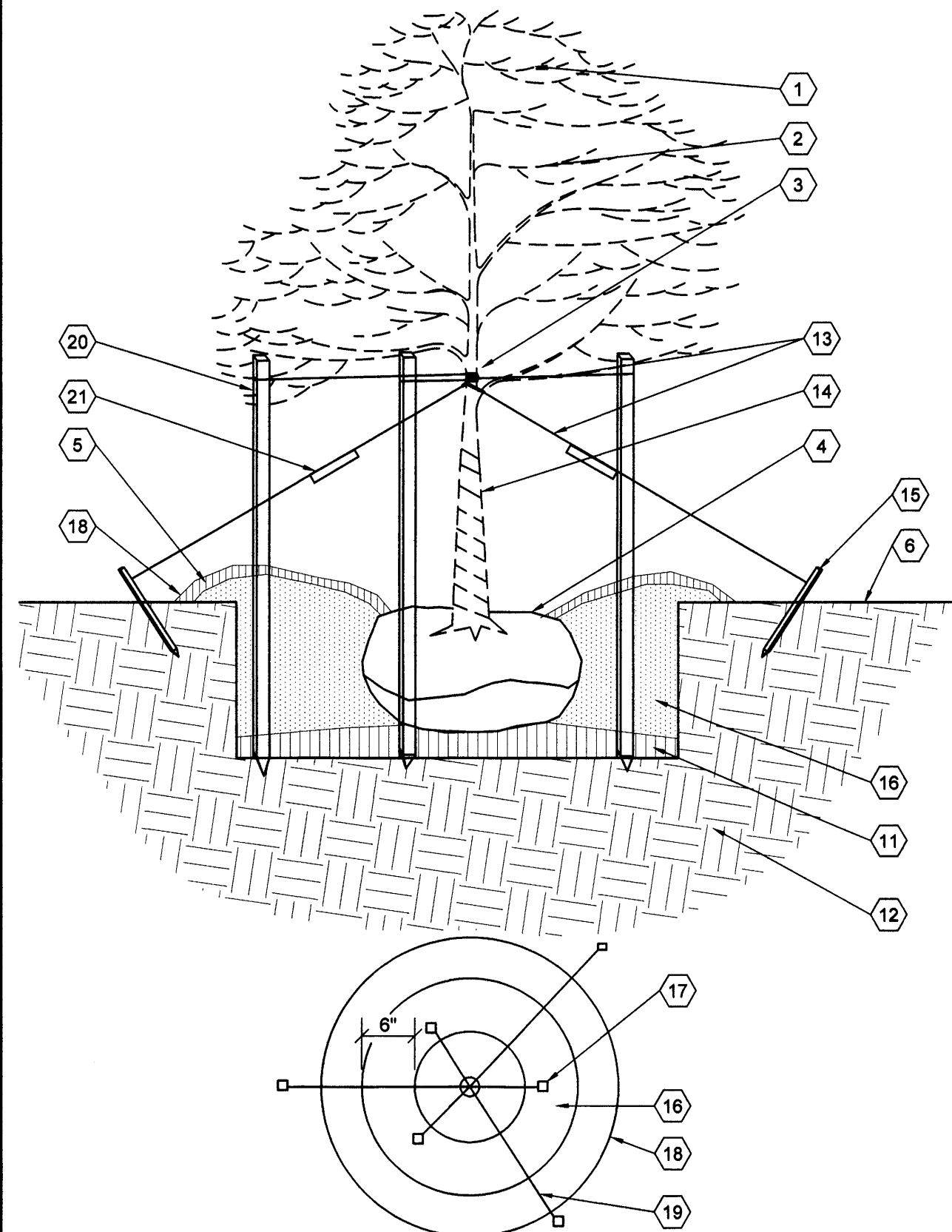
**3 NOT USED**

L1.2 NOT TO SCALE



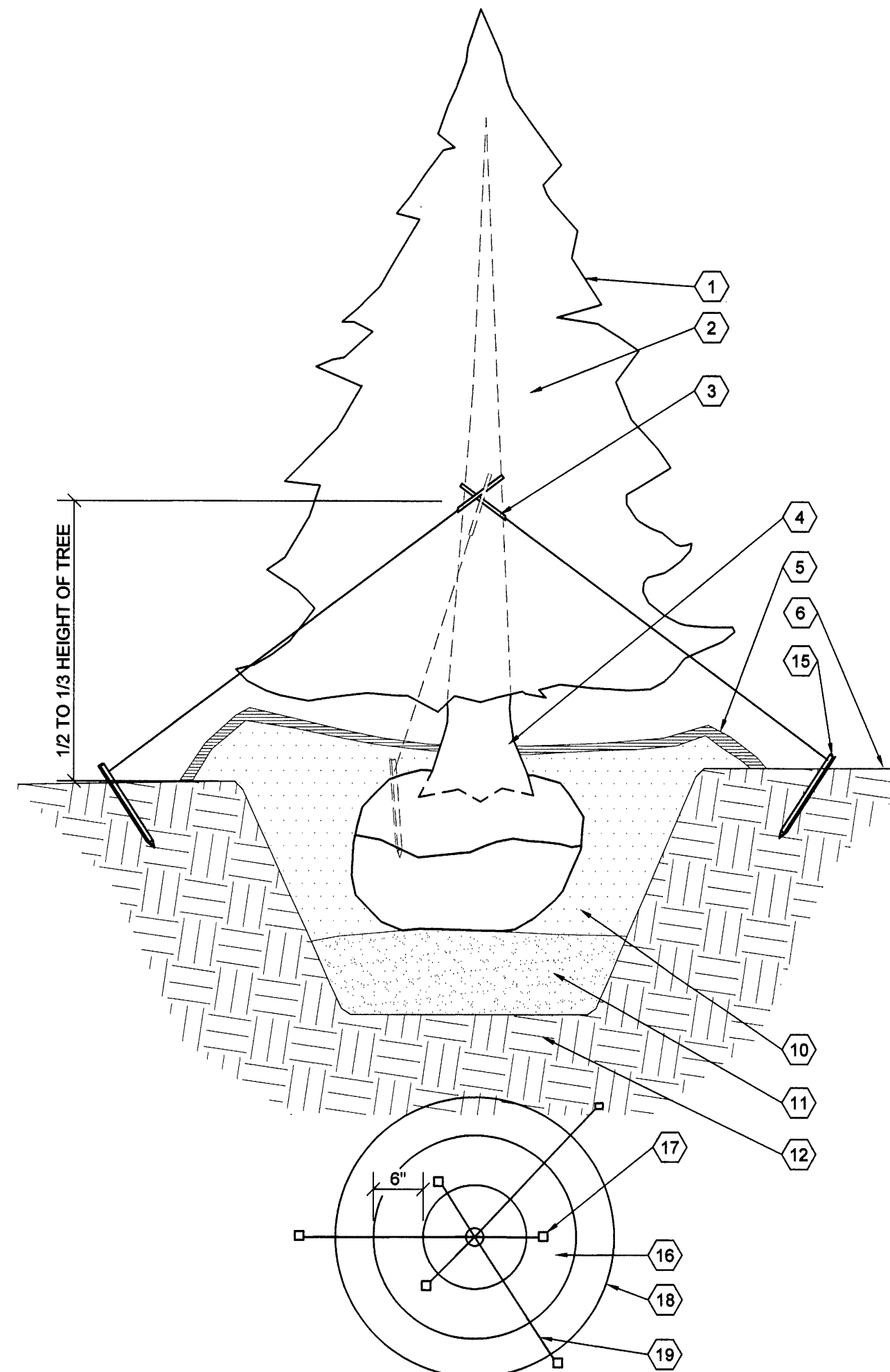
**4 SMALL SHRUB DETAIL**

L1.2 SCALE: 3/4" = 1'-0"



**5 LARGE DECIDUOUS TREE**

L1.2 SCALE: 3/4" = 1'-0"



**6 LARGE CONIFEROUS TREE**

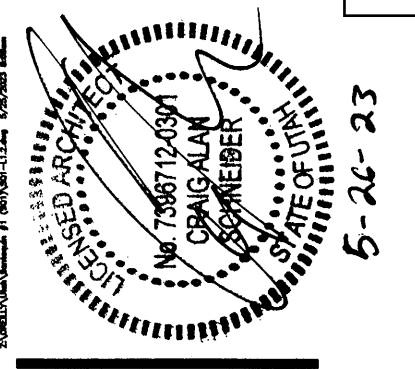
L1.2 SCALE: 3/4" = 1'-0"

**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL AND SCOPE OF WORK SCHEDULE FOR ADDITIONAL REQUIREMENTS.
- (B) REFER TO LANDSCAPE PLAN FOR PLANTING TYPES AND LOCATIONS.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

**KEY NOTES**

- (1) PLANTING, REFER TO PLANTING SCHEDULE FOR TYPES.
- (2) SET TREE LEVEL AND PLUMB. STRAIGHTEN AFTER SETTLEMENT IF NEEDED.
- (3) ENCASE WIRE AROUND TRUNK IN BLACK RUBBER. MOVE UP ABOVE EQUAL TO 1/2 TO 1/3 OF THE HEIGHT OF TREE.
- (4) SET TREE WITH TOP 1/3 OF ROOT ABOVE FINISH GRADE.
- (5) REFER TO LANDSCAPE PLAN FOR GROUND COVER TYPE AND LOCATIONS. PROVIDE 3" DEEP 5/8" CREEK GRAVEL OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER OR 3" SHREDDED CYPRESS MULCH OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER.
- (6) LAWN, REFER TO LANDSCAPE PLAN FOR TYPE AND LOCATIONS. PROVIDE 4" TOPSOIL AT ALL SOD, SEED AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- (7) SOD, REFER TO LANDSCAPE PLAN FOR LOCATIONS. PLACE THREE PINS EVERY 2'-0", SPACING EQUALLY. PROVIDE 4" TOPSOIL AT ALL SOD AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. REFER TO CIVIL SITE GRADING PLAN FOR SLOPE REQUIREMENTS.
- (8) 3" DEEP, 5/8" CREEK GRAVEL OVER BLACK 4 MIL. VISQUEEN VAPOR BARRIER.
- (9) 4" BLACK POLY VINYL EDGING.
- (10) PREFERRED SOIL.
- (11) COMPACTED PLANTING.
- (12) SUB GRADE.
- (13) TWO STRANDS OF WIRE.
- (14) TRUNK WRAP.
- (15) 2" X 2" X 10" WOOD STAKES BURY BELOW FINISH GRADE.
- (16) PREPARED PLANTING MIXTURE.
- (17) TREES 6'-0" IN HEIGHT OR LESS SHALL BE STAKED.
- (18) EXTENTS OF PLANTING BERM TO HOLD WATER.
- (19) TREES TALLER THAN 3'-0" MUST BE TIED.
- (20) 2" X 4" STAKE - OR - METAL FENCE POST.
- (21) 1" X 4" X 10" WHITE WOOD FLAG.



**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
 1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417.862.6558  
 417.862.3265  
 Fax: 417.862.3265  
 e-mail: architect@esterlyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**LANDSCAPE DETAILS**

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 1000 W. MAIN STREET  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

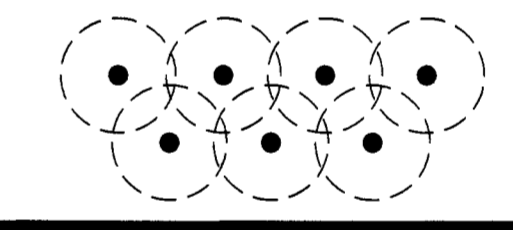
COMM #	4704
DATE:	5-26-23
REVISION	
DATE:	

### GENERAL NOTES

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B REFER TO CIVIL AND SITE UTILITY DRAWINGS FOR ADDITIONAL REQUIREMENTS. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- C PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- D IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR FOR SHOWN COVERAGE AREAS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND OPERABLE IRRIGATION SYSTEM IN ACCORDANCE WITH GOVERNING CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL AS SPECIFIED.
- E VERIFY MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO DESIGN AND BEGINNING CONSTRUCTION.
- F COORDINATE IRRIGATION SYSTEM WITH LANDSCAPING AND PLANTING. REFER TO LANDSCAPE PLAN. WHEN TRENCHING AVOID TREE ROOT BALLS AND INSTALL HEADS AT APPROPRIATE LOCATIONS.
- G ADJUST ALL NOZZLES TO AVOID OVERTHROW ON SIDEWALKS, PAVING, WALLS, ROADWAYS, AND BEYOND PROPERTY LINES, UNLESS OTHERWISE INDICATED. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. ADJUST ARC AND RADIUS OF REQUIRED SPRINKLERS AS NEEDED.
- H SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- I INSTALL RISERS 18" FROM WALLS AND A MINIMUM OF 12" FROM ANY SIDEWALK OR ROAD.
- J TOP OF SPRAY AND ROTOR HEADS SHALL BE SET AT TOP OF SOD OR TOP OF MULCH LAYERS.
- K PROVIDE RAIN SENSOR AND ANTI-FREEZE ASSEMBLY ON IRRIGATION SYSTEM.
- L THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE WORK UNTIL OWNER GIVES FINAL ACCEPTANCE.
- M ALL CIRCUIT PIPE IS TO BE CLASS 160 PVC OR HIGHER GRADE.
- N ALL MAIN FITTINGS SHALL BE REINFORCED WITH 2000 PSI POURED CONCRETE THRUST BLOCKS.
- P PROVIDE COMPRESSED AIR QUICK CONNECT BRASS FITTING IN VALVE BOX FOR WINTERIZATION. LOCATE AS CLOSE TO WATER SOURCE AS POSSIBLE.

### COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.

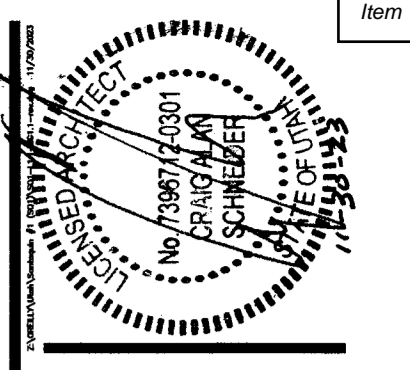


### KEY NOTES

- 1 APPROXIMATE LOCATION OF LAWN IRRIGATION METER (INSIDE BUILDING) WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN.
- 2 IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING.
- 3 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

### SYMBOLS LEGEND

NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.



**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
 1736 East Sunshine, Suite 417  
 Springfield, Missouri 65804  
 417.862.0558  
 Fax: 417.862.3265  
 e-mail: architect@esterlyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**MAIN STREET (US HWY 6)**  
**SANTAQUIN, UT**  
**LANDSCAPE IRRIGATION PLAN**

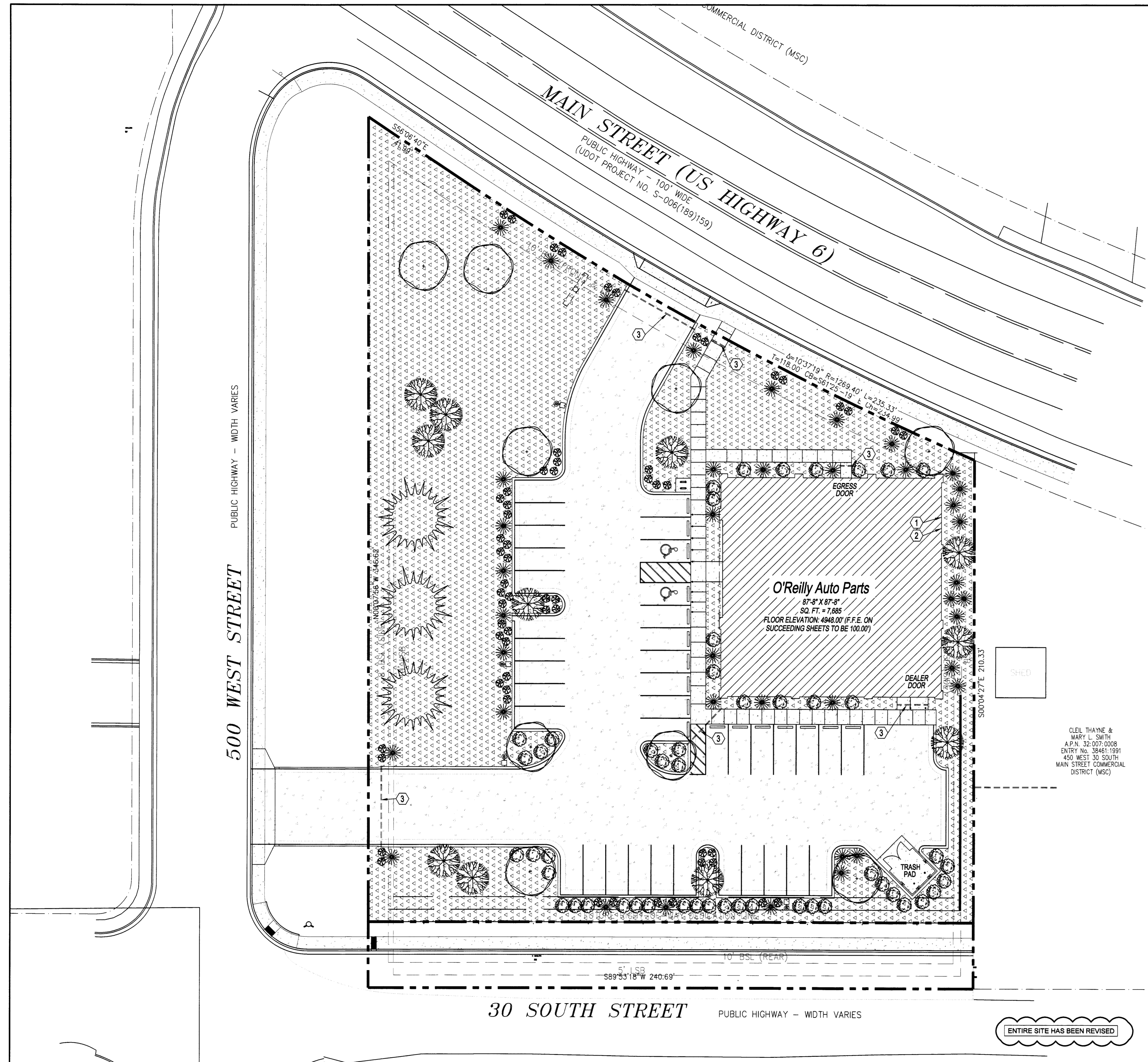
**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES:  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

COMM #	4704
DATE:	5-26-23
REVISION	
DATE:	11-30-23

CAUTION:  
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below**  
**Call before you dig.**

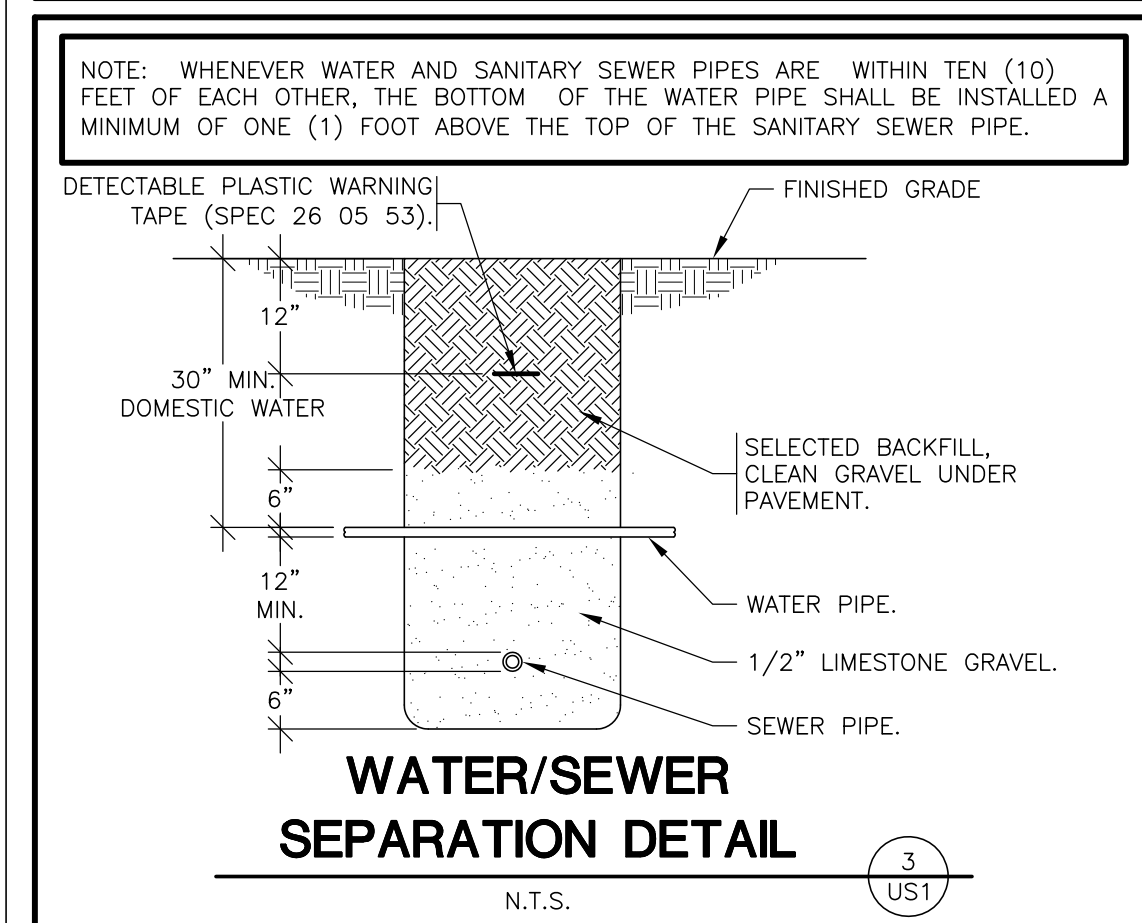
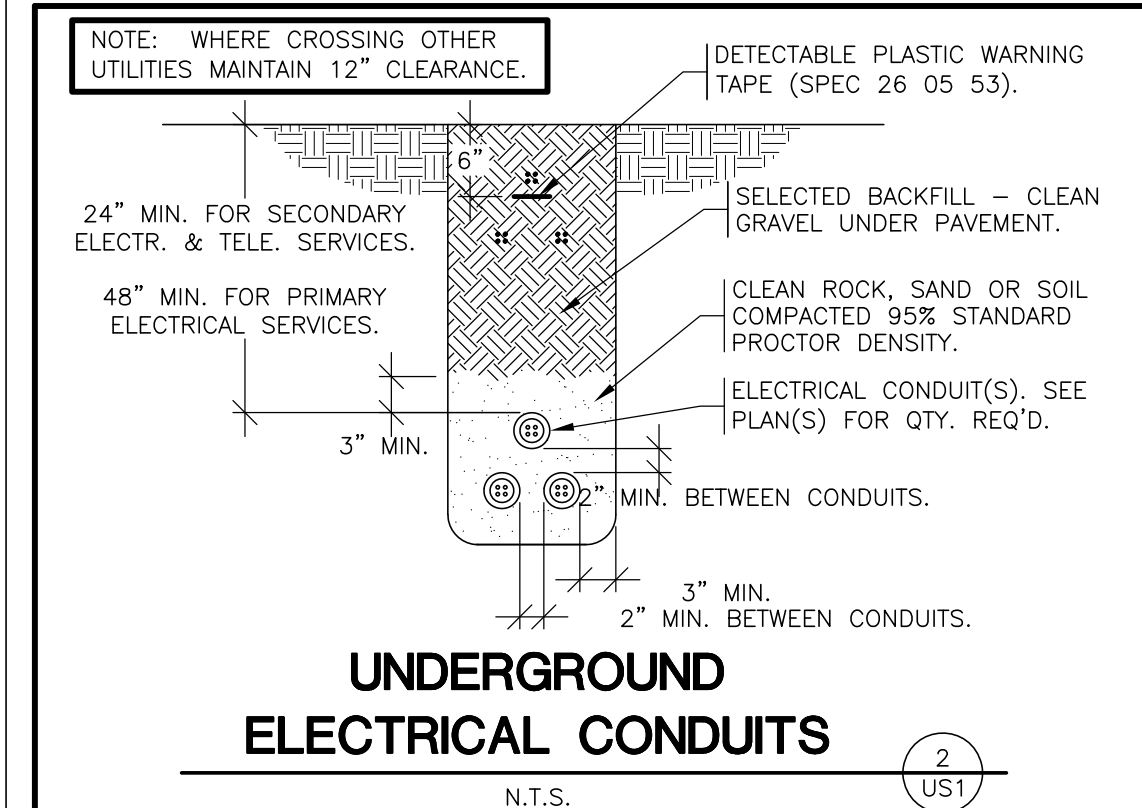
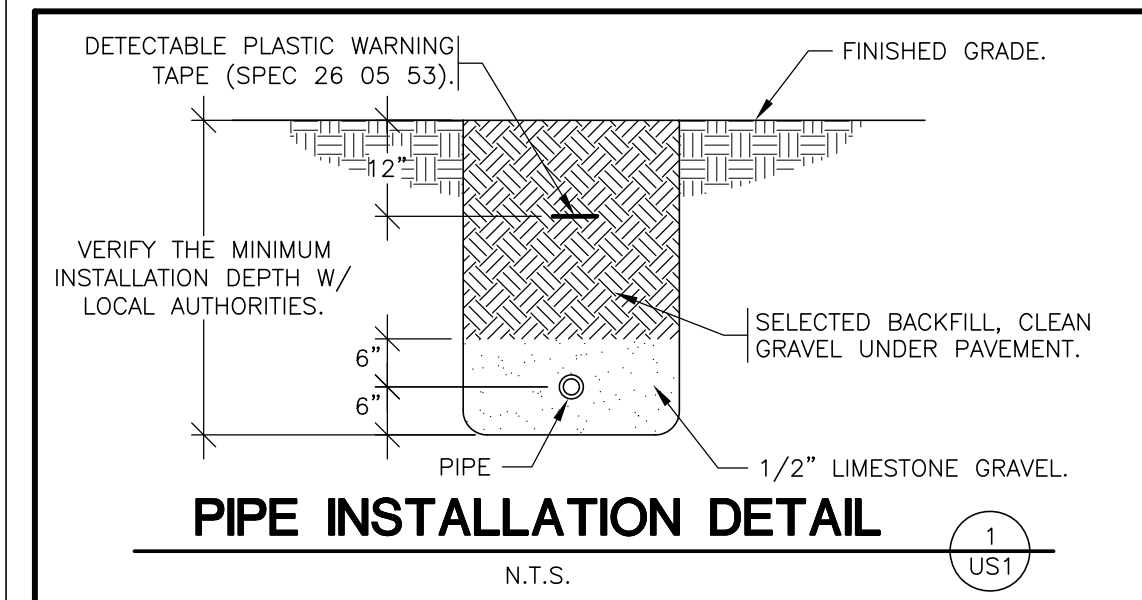


**1 LANDSCAPE IRRIGATION PLAN**  
L2.1 SCALE: 1" = 20'-0"



ENTIRE SITE HAS BEEN REVISED

CLEL THAYNE &  
 MARY L. SMITH  
 A.P.N. 32-007-0008  
 ENTRY No. 38461-1991  
 450 WEST 30 SOUTH  
 MAIN STREET COMMERCIAL  
 DISTRICT (MSC)



- ### EXISTING CONDITIONS NOTES
1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
  2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
  3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
  4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
  5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

### TELEPHONE SERVICE REQUIREMENTS

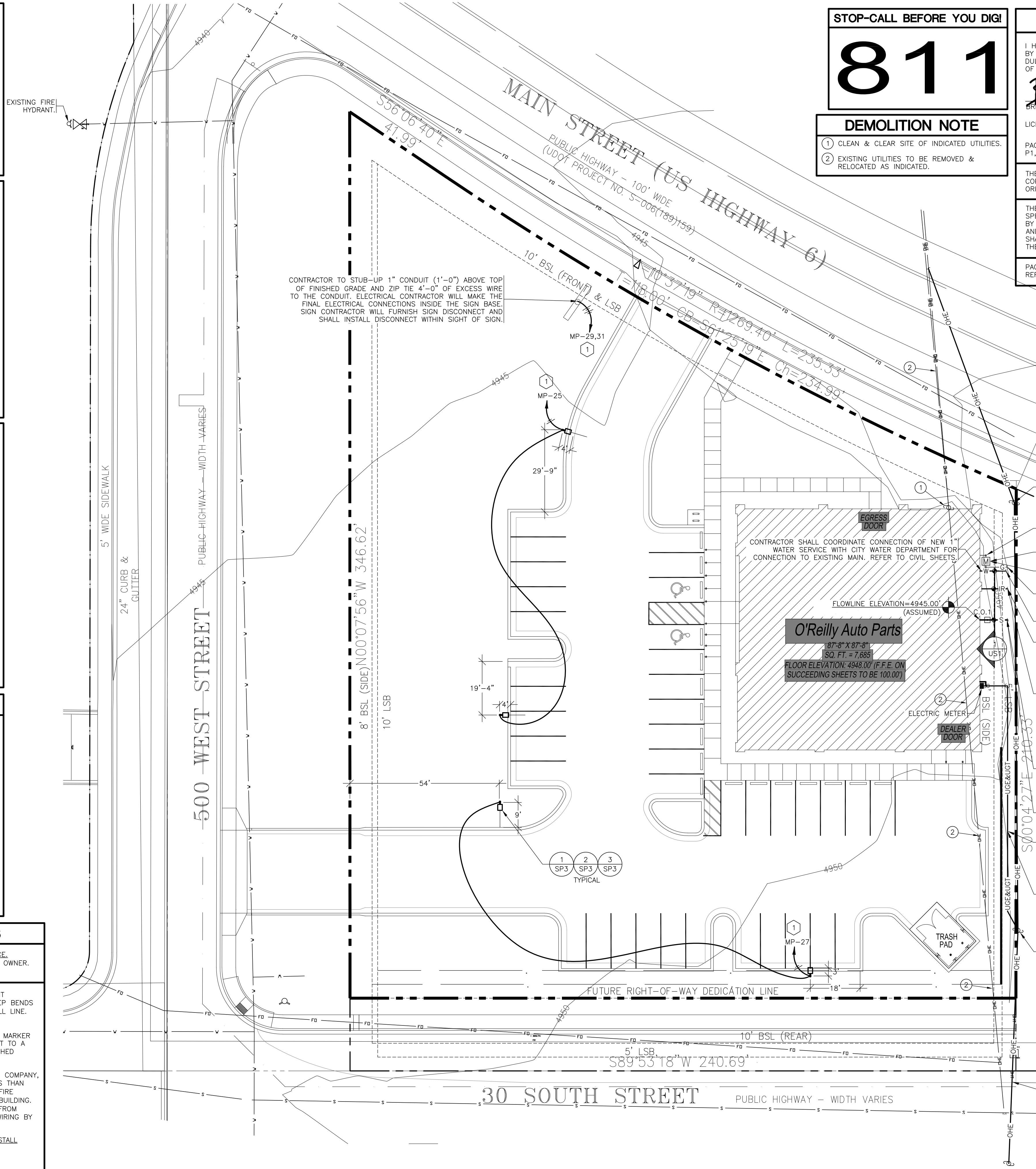
SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

CONTRACTOR SHALL CONTACT PHONE COMPANY AND VERIFY REQUIRED SIZE OF CONDUIT (2", 3" OR 4" PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRICAL CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (ft.) ABOVE FINISHED GRADE ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10 PAIR CABLE, IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4' X 6' X 3/4" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.



**STOP-CALL BEFORE YOU DIG!**

# 811

**DEMOLITION NOTE**

- 1 CLEAN & CLEAR SITE OF INDICATED UTILITIES.
- 2 EXISTING UTILITIES TO BE REMOVED & RELOCATED AS INDICATED.

### STATE OF UTAH LIMITATION

I HEREBY CERTIFY THAT THESE ENGINEERING DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF UTAH.

*Brent L. Courter* 11/29/23  
BRENT L. COURTER (DATE)

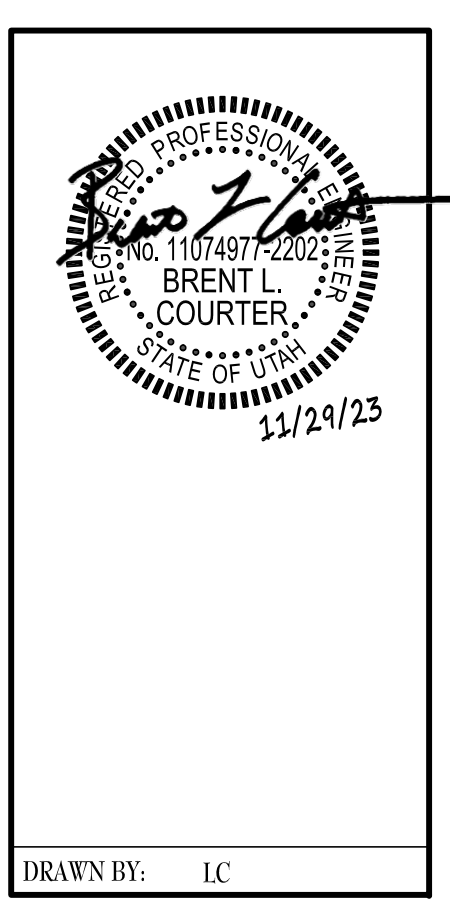
LICENSE RENEWAL DATE IS MARCH 31, 2025

PAGES OR SHEETS COVERED BY THE SEAL: US1, SP1, SP2, SP3, ME1, P1, P2, M1, M2, M3, E1, E2, E3 AND E4.

THE ABOVE-STATED DRAWINGS ARE VALID AND AUTHENTIC ONLY IF EACH COPIED SHEET BEARS THE SEAL, SIGNATURE, AND DATE AFFIXED TO THE ORIGINAL DRAWING BY THE ENGINEER.

THE AUTHORSHIP AND COPYRIGHT OF THE ABOVE STATED DRAWINGS AND SPECIFICATIONS REMAIN WITH SMITH-GOTH ENGINEERS INC. NO CHANGES BY OTHERS ARE AUTHORIZED. THEY ARE AN INSTRUMENT OF SERVICE AND ARE INTENDED FOR USE ON THE INDICATED PROJECT ONLY. THEY SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER WORK WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

PAGES OR SHEETS DESIGNED BY OTHERS AND INCLUDED ONLY FOR REFERENCE: EM1-0, EM1-1, EM1-2, AND EM1-3



### CONTRACTOR CAUTION!!!

#### VERIFY SEWER LINE ELEVATION

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM (LIBERTY PUMPS #D4896LSG203-36-S-FRPHD).

PHONE: (518) 346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

### UTILITIES CONTACTS:

ELECTRIC: ROCKY MOUNTAIN POWER, CLAIRE HUNTER: 385-395-7198  
TELEPHONE: CENTURYLINK, LARRY BUHLER: 385-479-7357  
WATER: CITY OF SANTAQUIN, JON LUNDELL: 801-754-1974  
SEWER: CITY OF SANTAQUIN, JON LUNDELL: 801-754-1974  
GAS: DOMINION ENERGY: 801-324-3970

CONTRACTOR TO CONTACT UTILITY COMPANIES FOR TAPPING AND FINAL CONNECTION RESPONSIBILITIES.

### NEW UTILITIES

W	WATER SERVICE	P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00) LOCATED 5'-0" OUTSIDE BUILDING, AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION.
IR	IRRIGATION SERVICE	
UGE	UNDERGROUND ELECTRIC	
UGT	UNDERGROUND TELEPHONE	
S	SANITARY SEWER	
OHE	OVERHEAD ELECTRIC	
OHT	OVERHEAD TELEPHONE	
G	GAS SERVICE (BY GAS CO.)	

LEGEND:  
 Saw Cut (diagonal lines)  
 Bore (dashed line)  
 Gravel (stippled pattern)

### GENERAL NOTE:

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

### EMS KEYNOTE

1 EMS / LIGHTING CONTROL PANEL. SEE EM SHEETS FOR MORE INFORMATION.

### SAWCUT NOTE

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- 1) SAWCUTTING PAVING, CONCRETE CURB & GUTTER.
- 2) REMOVAL & TRENCHING.
- 3) INSTALLATION OF UTILITY.
- 4) BACKFILL & COMPACTION.
- 5) INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.

CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

### METER LOCATION

TWO 1" METERS AND BACKFLOW DEVICES ARE TO BE INSTALLED INSIDE BUILDING, SEE P1 & P2 SHEET FOR LOCATION.

CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO RELOCATE EXISTING POWER POLE AS SHOWN, FOLLOWING POWER CO CLEARANCE REQUIREMENTS. REFER TO UTILITIES CONTACTS THIS SHEET.

APPLY PROTECTIVE COATING PER GAS CODE, PAINT TO MATCH BUILDING.

GAS METER AND GAS SERVICE BY NATURAL GAS SUPPLIER.

TOTAL GAS LOAD 480 MBH.

CONTRACTOR TO COORDINATE GAS SERVICE LOCATION WITH GAS COMPANY. REFER TO CIVIL SHEETS.

NEW 1" COPPER WATER SERVICE.

NEW 1" COPPER WATER LINE.

LAWN SPRINKLER WATER LINE. EXTEND 1" WATER LINE OUT SIDE OF BUILDING, CAP, FLAG AND LEAVE FOR CONNECTION BY OTHERS. CONTRACTOR TO COORDINATE SEE "IRRIGATION PLANS" FOR AREA OF IRRIGATION COVERAGE. FINAL DESIGN AND LAYOUT TO BE DONE BY IRRIGATION CONTRACTOR.

CONTRACTOR TO COORDINATE INSTALLATION AND CONNECTION OF NEW 6" SANITARY SEWER WITH SEWER COMPANY. ALL EXTERIOR WASTE PIPING SHALL HAVE A MINIMUM PITCH OF 1/8 INCH PER FOOT. REFER TO CIVIL SHEETS.

NEW 6" SANITARY SEWER SERVICE.

UNDERGROUND ELECTRIC SERVICE. SEE 2/US1 AND ELEC. SERVICE DIAGRAM (E3 SHEET) FOR REQUIREMENTS.

NEW PHONE SERVICE TO BUILDING SHALL BE UNDERGROUND. GENERAL CONTRACTOR TO SCHEDULE INSTALLATION WITH OWNER. CONTACT (417) 874-7288. SEE TELEPHONE SERVICE REQUIREMENTS THIS SHEET.

EXISTING POWER POLE. PROPOSED NEW 3-PHASE TRANSFORMER BANK AND A 120/208V ELECTRIC DROP TO PROPOSED O'REILLY AUTO PARTS STORE.

CONTRACTOR SHALL COORDINATE WITH POWER COMPANY TO RELOCATE OVERHEAD ELECTRIC SERVICE AWAY FROM PROPOSED O'REILLY AUTO PARTS STORE. REFER TO UTILITIES CONTACTS THIS SHEET.

## UTILITIES SITE PLAN

SCALE: 1" = 20'-0"

11-29-23

**SHEET CHANGED IN ITS ENTIRETY.**

8855 S. JEFFERSON AVE. P: 417-882-2200  
SPRINGFIELD, MO 65807 F: 417-882-1188  
WWW.SMITHGOTH.COM

Item 1.

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417-862-0558  
Fax: 417-862-3265  
e-mail: architect@esterlyschneider.com

**ESTERLY SCHNEIDER & ASSOCIATES, INC.**  
AIA architects & planners

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
MAIN STREET (US HWY 6)  
SANTAQUIN, UT #1  
UTILITIES SITE PLAN

REPRODUCTION PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES:  
535 S. GILBERT ST. SUITE 100  
SANTAQUIN, UT 84405  
(417) 862-2674 TELEPHONE

COMM # 4704  
DATE: 05-26-2023  
REVISION DATE: 08-17-2023  
11-29-2023


US1 of 1

GENERAL INFORMATION					
Issuance Date	Region		Project Name	OLP Application ID	
11/20/2023	Region 3		Santaquin (SQ1)	143920	
Physical Address	City		Permit Type	Access Use Type	
500 West Main Street	SANTAQUIN		New	Commercial	
PERMITEE INFORMATION					
Property Owner Name	Primary Contact		Primary Phone	Email	
J&E Kay Properties (currently under contra	Drew Leino		(970) 612-5447	dleino@tait.com	
LOCATION, WIDTH, AND ACCESS CATEGORY INFORMATION					
State Route	Milepost Marker	DD Center Latitude	DD Center Longitude	Access Width	Access Category
0006	159.35			30	8 - Community Urban

A Conditional Access Permit is hereby authorized subject to the Utah Department of Transportation's (the Department's) Access Management Rule (Utah Administrative Code R-930-6), the Utility Accommodation Rule (Utah Administrative Code R930-7), the Standard Specifications for Road and Bridge Construction, and any terms, conditions, and limitations set forth herein. Per Utah Administrative Code R930-6-8(6)(g), a Conditional Access Permit shall expire if the access construction is not completed within twelve (12) months of the issuance date as identified at the top left of this document.

By carrying out the activities authorized by this approval the permittee and the permittee's successors in interests and/or assigns agree to accept all terms, conditions, and, limitations, of the approval including any attachments submitted with the Conditional Access Permit Application. In addition, the permittee certifies they will comply with all applicable regulations, properly control and warn the public of said work to prevent accident, and shall defend, indemnify and hold harmless the Department from all damages arising out of any and all operations performed during construction and operation of said access. Per Utah Administrative Code R930-6-8(5)(e), the permittee understands any intentional misrepresentation of existing or future conditions or of information requested for the application for the purposes of receiving a more favorable determination is sufficient grounds for permit revocation. The access allowed under this permit creates a license to only access a state highway to the extent provided in the permit. The access may be closed, modified or relocated by UDOT if, at any time, UDOT determines in its sole discretion that safety, efficiency or other reasons so require. UDOT will not be liable for any costs, losses or damages resulting from UDOT's review and comments on the submitted plan sets for a Conditional Access Permit.

**This conditional access permit does NOT allow construction or other activities within a state right-of-way. An encroachment permit must be separately applied for and issued before any construction within a state right-of-way may commence. Work on UDOT's right-of-way is seasonally restricted from October 15 to April 15. Work is not allowed on the right-of-way during the AM/PM peak traffic hours of 6:00 A.M. to 9:00 A.M. and 3:30 P.M. to 6:00 P.M. Some exceptions to this A.M./P.M. peak travel work restriction may be permissible for low AADT routes in rural areas. Any such exception requires special Region approval and must be explicitly stated on the approved encroachment permit.**

Authorizing Name (printed)	Jeff Wood	Authorizing Name (signed)	
----------------------------	-----------	---------------------------	---

### TERMS, CONDITIONS, AND LIMITATIONS

1. A copy of this permit must be posted in a conspicuous location and be available for immediate review at the location of the permitted activity. No exceptions.
2. This agreement and/or permit is UDOT approval only. The permittee is responsible for obtaining clearances, authorizations, or permits from railroads, private property owners, other utility owners, and other government agencies as may also be required.
3. By the accepting this permit, the permittee acknowledges the hazardous nature of conducting activities within the right-of-way and assumes full responsibility in the event of an accident or other incident involving death, injury, or damages to any party resulting from the permittee's authorized use of the right-of-way.
4. All work performed under this permit must be in accordance with UDOT approved plans and standard drawings unless otherwise stated in writing.
5. The primary function of the highway is for transportation purposes. All other highway purposes are subordinate to this primary purpose. By conducting the activities authorized by this permit, the permittee agrees to timely prosecute the permitted activities in a manner that minimizes transportation-related impacts including but not limited to; ensuring overall site safety as an overarching priority, and by applying systematic efforts to minimize, or shorten, the project schedule.
6. UDOT may cancel, suspend, or revoke this permit due to:
  - A) Non-compliance with the permit provisions including terms, conditions, and limitations
  - B) Deviating from the approved permit provisions without written authorization
  - C) Misrepresentation(s) discovered on the originating application, or associated documents
  - D) Adverse weather or traffic conditions

- E) Concurrent transportation construction or maintenance operations in conflict with the permit
- F) Any condition deemed unsafe for workers or for the traveling public
- G) Any other condition that arises where work stoppage may be warranted for cause

In the event of a cancellation, suspension, or revocation the permittee shall promptly terminate occupancy of the right-of-way.

7. At all times the permittee and all activities authorized under this permit will comply with all applicable federal and state constitutions, law, rules, codes, orders, and regulations, including applicable licensure and certification requirements.
8. Use current edition of UDOT standard drawings for traffic control. Use Utah MUTCD standards for traffic control elements not shown in UDOT standard drawings. Traffic control must be maintained at the encroachment site for the entire encroachment period.
9. Before constructing the access connection authorized by this conditional access permit, an encroachment permit must be secured first.
10. The permittee agrees to maintain the permitted access in a professional workmanlike manner, free from physical defects including but not limited to potholes or other similar substandard conditions for the life of the permit. The permit holder's maintenance-related responsibilities shall extend to UDOT's edge of asphalt where said permitted access physically connects to UDOT's main traveled way and shall be guaranteed in perpetuity. Failure to properly maintain said private access point shall be grounds for permit revocation and for the closure of the permitted access point.

# APPLE HOLLOW @ THE ORCHARDS "B"

PRELIMINARY PLAT  
SANTAQUIN, UTAH COUNTY, UTAH  
OCTOBER 2023

## -INDEX OF PLAN SHEETS-

### GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT.
- A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, SANTAQUIN CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF SITE EASEMENTS ARE TO BE TAKEN FROM THE PLAT OF THE ORCHARDS PLAT F-6 WITH THE COMPLETION OF ROW IMPROVEMENTS ASSOCIATED WITH ORCHARDS F-6.
- ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

### ROADWAY/STORM DRAIN

- ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF SANTAQUIN CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL STORM DRAIN PIPES TO BE REINFORCED CONCRETE PIPE (RCP) CLASS III, HDPE STORM DRAIN PIPE, OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL CLEANOUT/ACCESS LOCATIONS MEET SANTAQUIN IRRIGATION COMPANY SPECIFICATIONS AND ARE COMPLETED UNDER THE DIRECTION OF SANTAQUIN IRRIGATION COMPANY.
- ALL IRRIGATION CORNERS (ANGLE POINTS) SHALL HAVE A PRE CAST - REINFORCED CONCRETE MANHOLE, WITH A WATERTIGHT SOLID MANHOLE COVER.
- ALL STORM DRAIN INLET BOXES TO MEET SANTAQUIN CITY STANDARD DRAWING SDI W/3' SEDIMENT TRAP.

### SEWER

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SANTAQUIN CITY DESIGN STANDARDS & PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF SANTAQUIN CITY.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY SANTAQUIN CITY.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.

### WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE SANTAQUIN CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST SANTAQUIN CITY WATER DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF AS-BUILT PLANS TO SANTAQUIN CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH SANTAQUIN CITY STANDARDS.
- WATERLINES TO BE BEDDED AS PER SANTAQUIN CITY DIVISION 3A SECTION 3A.04 SUB-SECTION E.
- ALL CULINARY WATERLINES, REGARDLESS OF SIZE, SHALL BE C-900 PVC PIPE AS PER SANTAQUIN CITY STANDARDS.

SHEET	DESCRIPTION
1	COVER SHEET
	PRELIMINARY PLAT
SP-01	SITE PLAN
UT-01	UTILITY LAYOUT
GR-01	GRADING & DRAINAGE
GR-02	GRADING & DRAINAGE PHASE B-1
GR-03	GRADING & DRAINAGE PHASE B-2
GR-04	GRADING & DRAINAGE PHASE B-3
PP-01	PLAN & PROFILE GINGER GOLD ROAD
PP-02	PLAN & PROFILE GINGER GOLD ROAD
PP-03	PLAN & PROFILE 980 NORTH
PP-04	PLAN & PROFILE 980 NORTH
PP-05	PLAN & PROFILE 930 NORTH
PP-06	PLAN & PROFILE 215 WEST
PP-07	PLAN & PROFILE 130 WEST
1	STRIPING PLAN
2	FENCING/PHASING PLAN
DT-01	DETAILS



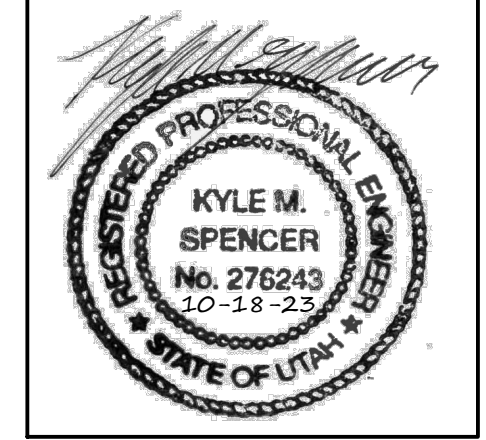
VICINITY MAP -NTS-

TABULATIONS  
APPLE HOLLOW AT THE ORCHARDS B

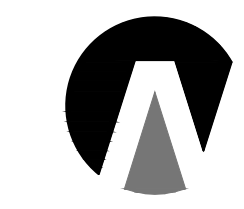
ZONE:	R-10 PUD ZONE
PROJECT AREA:	11.60 ACRES
# OF LOTS:	9 LOTS
NUMBER OF UNITS:	84 UNITS
LOT AREA:	1.24 ACRES
UNITS AREA:	2.54 ACRES
COMMON AREA:	2.79 ACRES
LIMITED COMMON AREA:	1.47 ACRES
RIGHT-OF-WAY AREA:	3.56 ACRES
DENSITY:	8.02 UNITS/ACRE

ACCEPTANCE

SIGNATURE: DEVELOPER	DATE
SIGNATURE: CITY ENGINEER	DATE
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE
SIGNATURE: PUBLIC WORKS	DATE
SIGNATURE: BUILDING DEPARTMENT	DATE
SIGNATURE: POLICE DEPARTMENT	DATE
SIGNATURE: FIRE DEPARTMENT	DATE



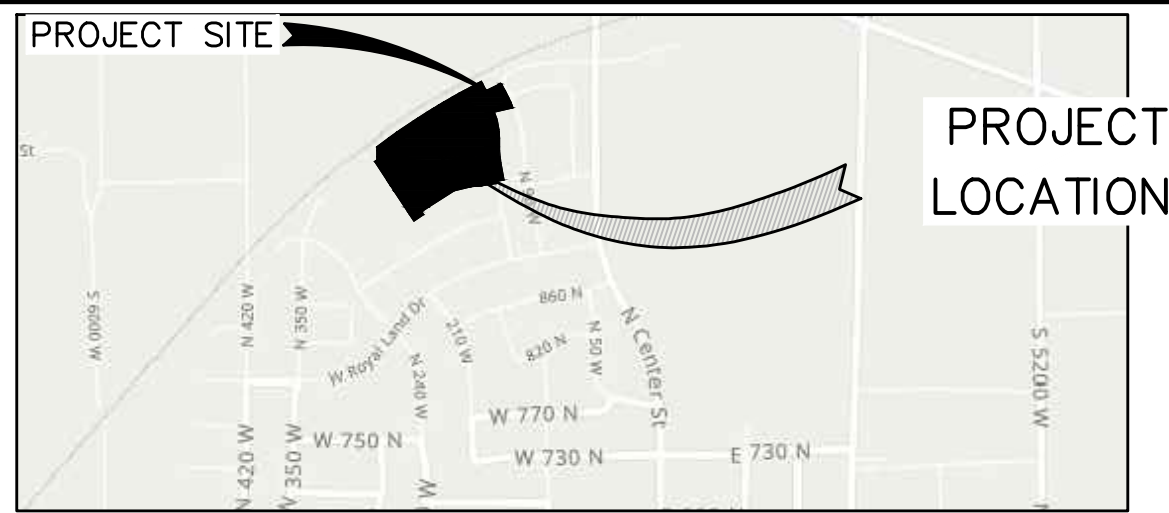
DEVELOPER  
REVERE HOMES  
JOHN CALDWELL (MANAGER)  
470 N. 2450 W.  
TREMONTON, UTAH 84337  
(801)-427-1733



**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

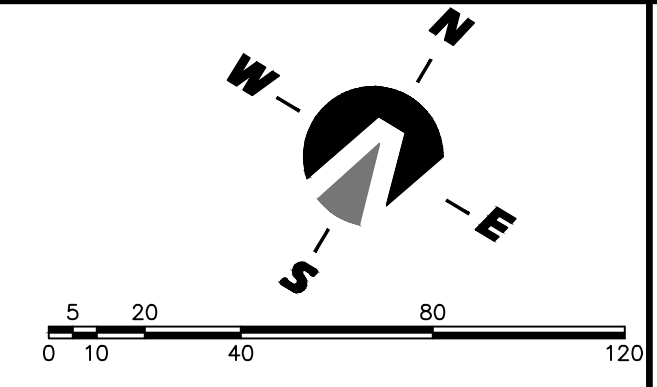




**VICINITY MAP**

- NOTES:**
- 1) THE OWNERS OF EACH PARCEL SHALL HAVE ACCESS TO, AND THE RIGHT TO USE IN COMMON WITH THE OWNERS, OCCUPANTS, CUSTOMERS, OR LICENSEES OF EACH OF THE OTHER LOTS, AREA FOR INGRESS OR EGRESS IN ANY OF THE RESPECTIVE PARKING LOTS USED BY EACH BUSINESS, AND GARBAGE COLLECTION FACILITIES THAT ARE NOW OR MAY BE HEREAFTER CONSTRUCTED ON ANY OF THE RESPECTIVE LOTS.
  - 2) THE MAINTENANCE OF THE STORM DRAIN SYSTEM WILL BE THE SOLE RESPONSIBILITY OF EACH PARCEL OWNER. ALL STORM DRAIN WATER WILL BE ALLOWED TO FLOW FREELY THROUGH THE STORM DRAIN SYSTEM AS DESIGNED AND CONSTRUCTED. THE OWNER'S COLLECTIVELY CARRY THE RESPONSIBILITY TO MAINTAIN THE STORM WATER PIPE NETWORK.
  - 3) WHEN ANY SUB TERRANEAN UTILITY IS REPAIRED, REPLACED, OR INSTALLED, ALL IMPACTED IMPROVEMENTS SHALL BE REPLACED BY THE CONTRACTOR IN A CONDITION EQUAL TO OR BETTER THAN THE CONDITION PRIOR TO THE DAMAGE.
  - 4) ALL M.U.E. (MUNICIPAL UTILITY EASEMENTS) DEDICATED TO SALEM CITY.
  - 5) IMPROVEMENTS OF THE PROPERTY MUST BE COMPLETED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD PLANS OF SALEM CITY AND ASSOCIATED STUDIES.
  - 6) ALL CONSTRUCTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING DATED AUGUST 23, 2022 (PROJECT NO.18940) AND ALL ADDENDUM. C2

**APPLE HOLLOW AT THE ORCHARDS PRELIMINARY PLAT B**  
 A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN



(24"x36")  
 SCALE 1" = 40'  
 (11"x17")  
 SCALE 1" = 80'

**SURVEYOR'S CERTIFICATE**  
 I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD UNDERGROUND FACILITIES, CURVED TO THE RIGHT, IN SECTION 54-80-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE NORTHEAST CORNER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W. ALONG THE 1/4 SECTION LINE A DISTANCE OF 1191.42 FEET; THENCE NORTH A DISTANCE OF 487.63 FEET TO THE REAL POINT OF BEGINNING.

THENCE N.33°17'00"W. ALONG THE EASTERLY LINE OF THE FOLLOWING THREE (3) RECORDED SUBDIVISION PLATS 1) THE ORCHARDS PLAT F-4; 2) THE ORCHARDS PLAT F-5; AND 3) THE ORCHARDS PLAT F-6 A DISTANCE OF 488.32 FEET TO A POINT OF CURVATURE OF A 4799.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID THE ORCHARDS PLAT F-6 THE FOLLOWING TWO (2) COURSES 1) NORTHEASTERLY ALONG THE ARC OF SAID CURVE 18.99 FEET HAVING A CENTRAL ANGLE OF 0°13'36" AND A CHORD THAT BEARS N.52°15'23"E. A DISTANCE OF 18.99 FEET; 2) THENCE N.00°19'22"E. A DISTANCE OF 89.74 FEET MORE OR LESS TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD TO A POINT OF CURVATURE OF A 4870.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 843.85 FEET HAVING A CENTRAL ANGLE OF 9°55'40" AND A CHORD THAT BEARS N.57°59'20"E. A DISTANCE OF 842.79 FEET MORE OR LESS TO THE WESTERLY LINE OF THE ORCHARDS PLAT E SUBDIVISION; THENCE ALONG SAID ORCHARDS PLAT E SUBDIVISION THE FOLLOWING TWO (2) COURSES: 1) S.27°03'08"E. A DISTANCE OF 71.00 FEET TO A POINT OF CURVATURE OF A 4799.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; 2) THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 104.19 FEET HAVING A CENTRAL ANGLE OF 1°04'38" AND A CHORD THAT BEARS N.63°33'58"E. A DISTANCE OF 104.19 FEET MORE OR LESS TO A POINT ON THE APPLE HOLLOW AT THE ORCHARDS PLAT A-1 SUBDIVISION PLAT TO A POINT OF REVERSE CURVATURE OF A 10.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT ALONG THE APPLE HOLLOW AT THE ORCHARDS PLAT A-1 PLAT THE FOLLOWING FIVE (5) COURSES: 1) THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 15.41 FEET HAVING A CENTRAL ANGLE OF 88°18'29" AND A CHORD THAT BEARS S.71°39'15"E. A DISTANCE OF 13.93 FEET; 2) THENCE S.27°30'00"E. A DISTANCE OF 99.63 FEET TO A POINT OF CURVATURE OF A 606.50-FOOT RADIUS TANGENT CURVE TO THE RIGHT; 3) THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 77.57 FEET HAVING A CENTRAL ANGLE OF 71°9'42" AND A CHORD THAT BEARS S.23°50'09"E. A DISTANCE OF 77.52 FEET; 4) THENCE S.69°49'00"W. A DISTANCE OF 15.16 FEET; 5) THENCE S.77°09'00"W. A DISTANCE OF 115.00 FEET TO A POINT OF CURVATURE OF A 477.50-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE SOUTHEASTERLY CONTINUING ALONG THE BOUNDARY LINE OF SAID APPLE HOLLOW AT THE ORCHARDS PLAT A-1 AND ALONG THE WESTERLY BOUNDARY LINE OF THE APPLE HOLLOW AT THE ORCHARDS PLAT A-2 PLAT ALONG THE ARC OF SAID CURVE 182.77 FEET HAVING A CENTRAL ANGLE OF 21°55'50" AND A CHORD THAT BEARS S.10°57'57"E. A DISTANCE OF 181.65 FEET; THENCE ALONG SAID APPLE HOLLOW AT THE ORCHARDS PLAT A-2 THE FOLLOWING THREE (3) COURSES: 1) S.00°00'00"E. A DISTANCE OF 85.01 FEET; TO A POINT OF CURVATURE OF A 422.50-FOOT RADIUS TANGENT CURVE TO THE LEFT; 2) THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 80.75 FEET HAVING A CENTRAL ANGLE OF 10°57'00" AND A CHORD THAT BEARS S.05°28'30"E. A DISTANCE OF 80.62 FEET; 3) THENCE S.10°57'00"E. A DISTANCE OF 121.63 FEET MORE OR LESS TO THE NORTHERLY LINE OF THE ORCHARDS PLAT D-1 SUBDIVISION PLAT; THENCE ALONG SAID ORCHARDS PLAT D-1 BOUNDARY LINE THE FOLLOWING NINE (9) COURSES: 1) S.79°03'00"W. A DISTANCE OF 54.98 FEET; 2) THENCE S.10°57'00"E. A DISTANCE OF 14.73 FEET; 3) THENCE S.81°55'32"W. A DISTANCE OF 100.13 FEET; 4) THENCE S.84°18'24"W. A DISTANCE OF 72.74 FEET; 5) THENCE S.76°41'28"W. A DISTANCE OF 121.50 FEET; 6) THENCE S.57°31'24"W. A DISTANCE OF 207.69 FEET; 7) THENCE S.56°55'08"W. A DISTANCE OF 55.00 FEET; 8) THENCE S.33°04'52"E. A DISTANCE OF 25.18 FEET; 9) THENCE S.56°43'00"W. A DISTANCE OF 82.35 FEET TO THE REAL POINT OF BEGINNING

CONTAINING 505,287 SQ.FT. OR 11.60 ACRES MORE OR LESS.

**OWNER'S DEDICATION**  
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON TO SALEM CITY FOR PERPETUAL USE OF THE PUBLIC. PURSUANT TO THE UTAH CODE 10-9A-604(1)(D)

IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

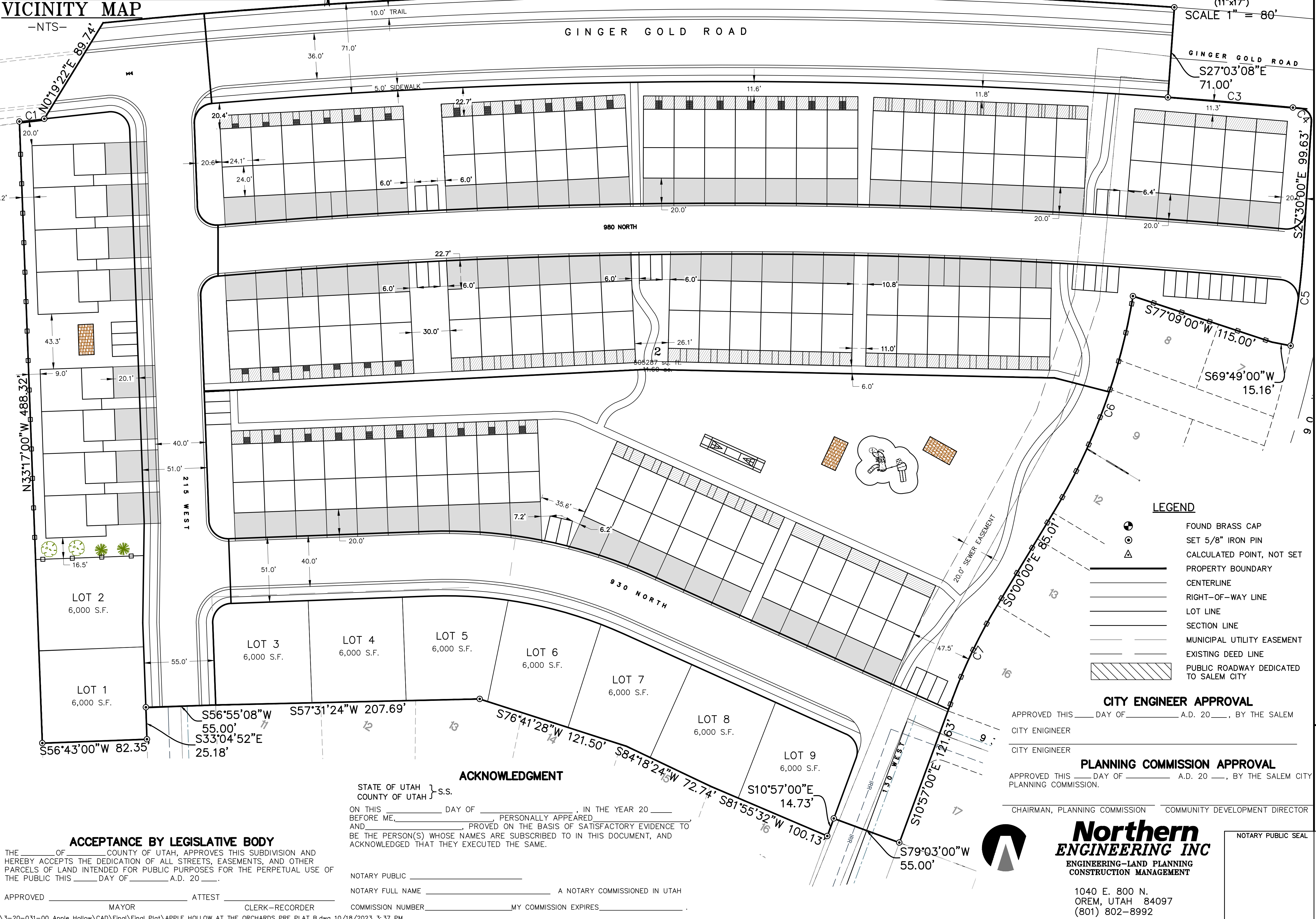
BY \_\_\_\_\_

BY \_\_\_\_\_

**APPLE HOLLOW AT THE ORCHARDS PRELIMINARY PLAT B**  
 A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN

SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 40 FEET



- LEGEND**
- FOUND BRASS CAP
  - SET 5/8" IRON PIN
  - CALCULATED POINT, NOT SET
  - PROPERTY BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - SECTION LINE
  - MUNICIPAL UTILITY EASEMENT
  - EXISTING DEED LINE
  - PUBLIC ROADWAY DEDICATED TO SALEM CITY

**CITY ENGINEER APPROVAL**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE SALEM CITY ENGINEER \_\_\_\_\_

**PLANNING COMMISSION APPROVAL**  
 APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE SALEM CITY PLANNING COMMISSION.

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_

**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

NOTARY PUBLIC SEAL

SURVEYOR'S SEAL

CLERK-RECORDER SEAL

UTAH COUNTY RECORDER STAMP

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

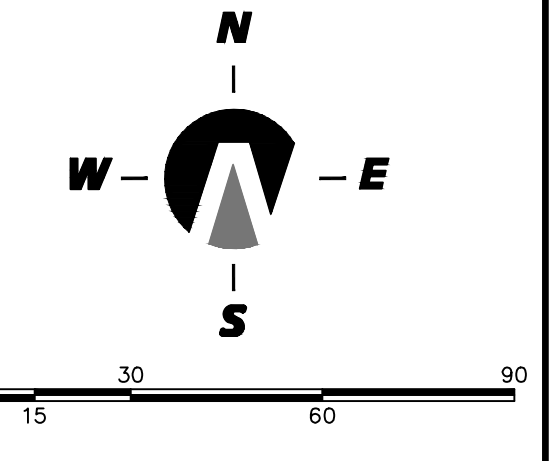
APPROVED \_\_\_\_\_ MAYOR ATTEST \_\_\_\_\_ CLERK-RECORDER

**ACKNOWLEDGMENT**  
 STATE OF UTAH } s.s.  
 COUNTY OF UTAH }  
 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ IN THE YEAR 20\_\_\_\_ BEFORE ME, \_\_\_\_\_ PERSONALLY APPEARED AND \_\_\_\_\_ PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME.

NOTARY PUBLIC \_\_\_\_\_  
 NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
 COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

# APPLE HOLLOW AT THE ORCHARDS PLAT B-1

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN



(24"x36")  
SCALE 1" = 30'  
(11"x17")  
SCALE 1" = 60'

### SURVEYOR'S CERTIFICATE

I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

### BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH. MORE PARTICULARLY DESCRIBED AS: COMMENCING AT A BRASS CAP MONUMENT MARKING THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE S.89°09'29"W. ALONG THE 1/4 SECTION LINE A DISTANCE OF 1191.42 FEET; THENCE NORTH A DISTANCE OF 487.63 FEET TO THE REAL POINT OF BEGINNING

THENCE N.33°17'00"W. ALONG THE EASTERLY LINE OF THE FOLLOWING THREE (3) RECORDED SUBDIVISION PLATS 1) THE ORCHARDS PLAT F-4; 2) THE ORCHARDS PLAT F-5; AND 3) THE ORCHARDS PLAT F-6 A DISTANCE OF 488.32 FEET TO A POINT OF CURVATURE OF A 4799.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE CONTINUING ALONG THE WESTERLY LINE OF SAID THE ORCHARDS PLAT F-6 THE FOLLOWING TWO (2) COURSES 1) NORTHEASTERLY ALONG THE ARC OF SAID CURVE 18.99 FEET HAVING A CENTRAL ANGLE OF 0°13'36" AND A CHORD THAT BEARS N.52°15'23"E. A DISTANCE OF 18.99 FEET; 2) THENCE N.00°19'22"E. A DISTANCE OF 89.74 FEET MORE OR LESS TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD TO A POINT OF CURVATURE OF A 4870.00-FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 79.82 FEET HAVING A CENTRAL ANGLE OF 0°56'21" AND A CHORD THAT BEARS N.53°29'40"E. A DISTANCE OF 79.82 FEET; THENCE S.36°02'26"E. A DISTANCE OF 71.00 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 22.84 FEET HAVING A CENTRAL ANGLE OF 87°14'34" AND A CHORD THAT BEARS S.12°47'45"E. A DISTANCE OF 20.69 FEET; THENCE S.33°17'00"E. A DISTANCE OF 65.86 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 24.29 FEET HAVING A CENTRAL ANGLE OF 92°47'45" AND A CHORD THAT BEARS S.79°40'52"E. A DISTANCE OF 21.72 FEET; THENCE S.31°10'44"E. A DISTANCE OF 40.15 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 22.82 FEET HAVING A CENTRAL ANGLE OF 87°09'44" AND A CHORD THAT BEARS S.10°17'52"W. A DISTANCE OF 20.68 FEET; THENCE S.33°17'00"E. A DISTANCE OF 176.82 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S.78°17'00"E. A DISTANCE OF 21.21 FEET; THENCE S.33°17'00"E. A DISTANCE OF 51.00 FEET TO A POINT OF CURVATURE OF A 15.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 23.56 FEET HAVING A CENTRAL ANGLE OF 90°00'00" AND A CHORD THAT BEARS S.11°43'00"W. A DISTANCE OF 21.21 FEET; THENCE S.33°17'00"E. A DISTANCE OF 64.37 FEET MORE OR LESS TO THE NORTHERLY LINE OF THE ORCHARDS PLAT D-1 SUBDIVISION PLAT; THENCE ALONG SAID ORCHARDS PLAT D-1 BOUNDARY LINE THE FOLLOWING THREE (3) COURSES: 1) THENCE S.56°55'08"W. A DISTANCE OF 55.00 FEET; 2) THENCE S.33°04'52"E. A DISTANCE OF 25.18 FEET; 3) THENCE S.56°43'00"W. A DISTANCE OF 82.35 FEET TO THE REAL POINT OF BEGINNING

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

BY: \_\_\_\_\_

JOHN CALOWELL, OWNER REVERE HOMES, LLC

### ACKNOWLEDGMENT

STATE OF UTAH } S.S.  
COUNTY OF UTAH } S.S.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_ BEFORE ME \_\_\_\_\_ PERSONALLY APPEARED \_\_\_\_\_ WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS A \_\_\_\_\_ [MEMBER WITH MANAGEMENT AUTHORITY] [MANAGER] OF \_\_\_\_\_, A UTAH LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC \_\_\_\_\_  
NOTARY FULL NAME \_\_\_\_\_ A NOTARY COMMISSIONED IN UTAH  
COMMISSION NUMBER \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

### ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

APPROVED BY MAYOR \_\_\_\_\_  
CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_

APPROVED \_\_\_\_\_ ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

## APPLE HOLLOW AT THE ORCHARDS PLAT B-1

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN

SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 30 FEET

NOTARY PUBLIC SEAL	SURVEYOR'S SEAL K. E. BARNEY No. 172762 Utah County, Utah	CLERK-RECORDER SEAL	UTAH COUNTY RECORDER STAMP
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### LEGEND

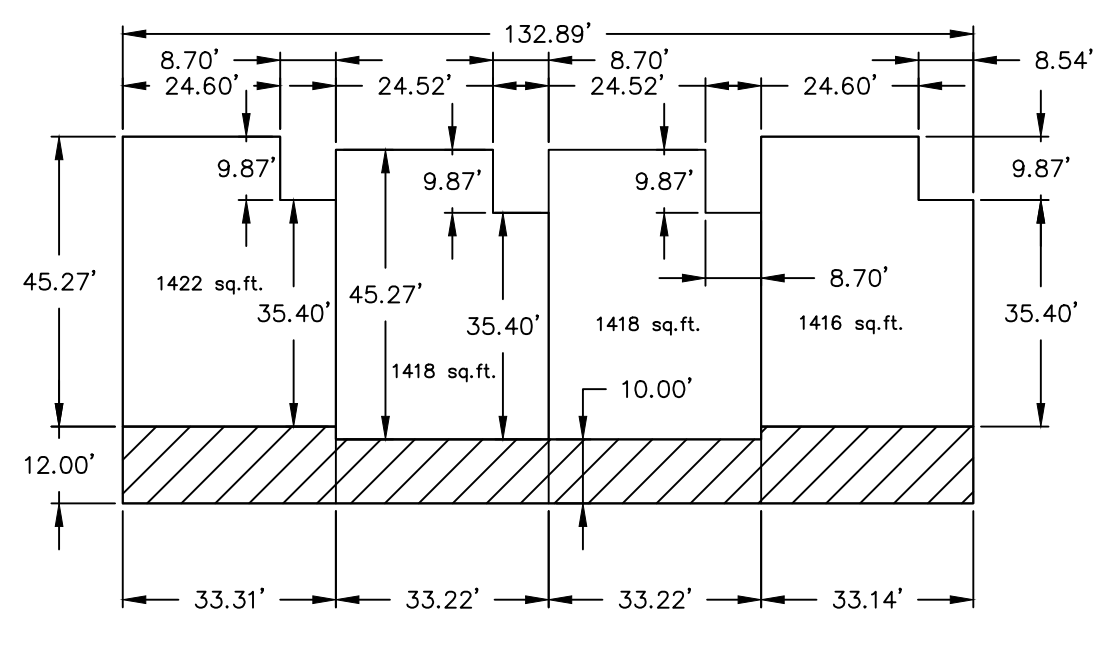
- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- LIMITED COMMON AREA

### CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	22.84'	15.00'	20.69'	S10°19'47"W	87°14'34"
C2	24.29'	15.00'	21.72'	S79°40'52"E	92°47'45"
C3	22.82'	15.00'	20.68'	S10°17'52"W	87°09'44"
C4	18.99'	4799.00'	18.99'	N52°15'23"E	0°13'36"
C5	23.56'	15.00'	21.21'	N11°43'00"E	90°00'00"
C6	79.82'	4870.00'	79.82'	N53°29'40"E	0°56'21"
C7	23.56'	15.00'	21.21'	N78°17'00"W	90°00'00"
C8	76.96'	4830.00'	76.96'	S53°06'48"W	0°54'46"
C9	32.83'	4830.00'	32.83'	S53°45'53"W	0°23'22"
C10	51.60'	4799.00'	51.60'	S52°41'04"W	0°36'58"
C11	24.54'	15.00'	21.89'	N80°08'43"W	93°43'27"
C13	29.29'	300.00'	29.28'	N30°29'11"W	5°35'38"
C15	29.29'	300.00'	29.28'	N30°29'11"W	5°35'38"



VICINITY MAP  
-NTS-



- ### NOTES:
- THE OWNERS OF EACH PARCEL SHALL HAVE ACCESS TO, AND THE RIGHT TO USE IN COMMON WITH THE OWNERS, OCCUPANTS, CUSTOMERS, OR LICENSEES OF EACH OF THE OTHER LOTS, AREA FOR INGRESS OR EGRESS IN ANY OF THE RESPECTIVE PARKING LOTS USED BY EACH BUSINESS, AND GARBAGE COLLECTION FACILITIES THAT ARE NOW OR MAY BE HEREAFTER CONSTRUCTED ON ANY OF THE RESPECTIVE LOTS.
  - THE MAINTENANCE OF THE STORM DRAIN SYSTEM WILL BE THE SOLE RESPONSIBILITY OF EACH PARCEL OWNER. ALL STORM DRAIN WATER WILL BE ALLOWED TO FLOW FREELY THROUGH THE STORM DRAIN SYSTEM AS DESIGNED AND CONSTRUCTED. THE OWNER'S COLLECTIVELY CARRY THE RESPONSIBILITY TO MAINTAIN THE STORM WATER PIPE NETWORK.
  - WHEN ANY SUB TERRANEAN UTILITY IS REPAIRED, REPLACED, OR INSTALLED, ALL IMPACTED IMPROVEMENTS SHALL BE REPLACED BY THE CONTRACTOR IN A CONDITION EQUAL TO OR BETTER THAN THE CONDITION PRIOR TO THE DAMAGE.
  - ALL M.U.E. (MUNICIPAL UTILITY EASEMENTS) DEDICATED TO SALEM CITY.
  - IMPROVEMENTS OF THE PROPERTY MUST BE COMPLETED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD PLANS OF SALEM CITY AND ASSOCIATED STUDIES.
  - ALL CONSTRUCTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING DATED AUGUST 23, 2022 (PROJECT NO.18940) AND ALL ADDENDUM.

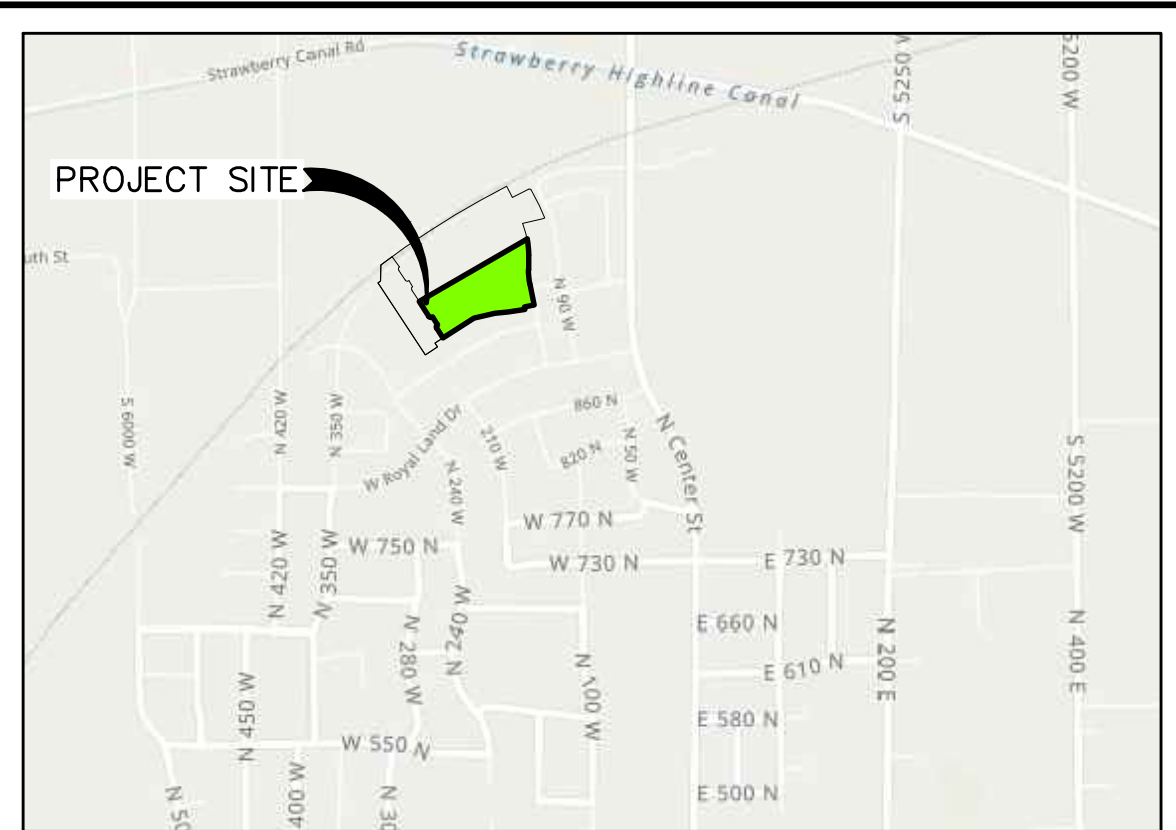
### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BY THE SALEM CITY PLANNING COMMISSION.

CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_ COMMUNITY DEVELOPMENT DIRECTOR \_\_\_\_\_

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992



# APPLE HOLLOW AT THE ORCHARDS PRELIMINARY PLAT B-2

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN



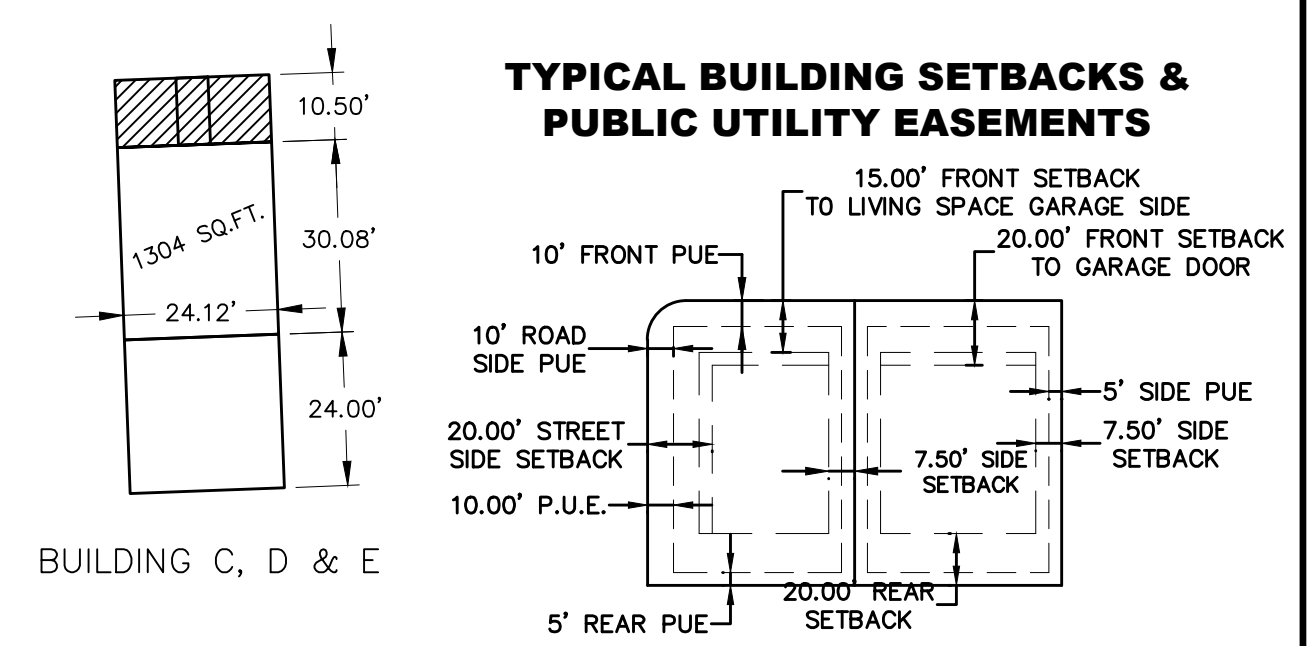
(24"x36")  
SCALE 1" = 30'  
(11"x17")  
SCALE 1" = 60'

**SURVEYOR'S CERTIFICATE**  
I, KENNETH E. BARNEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 172762. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW (PARCELS 30-030-0069 & 30-030-0085), HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

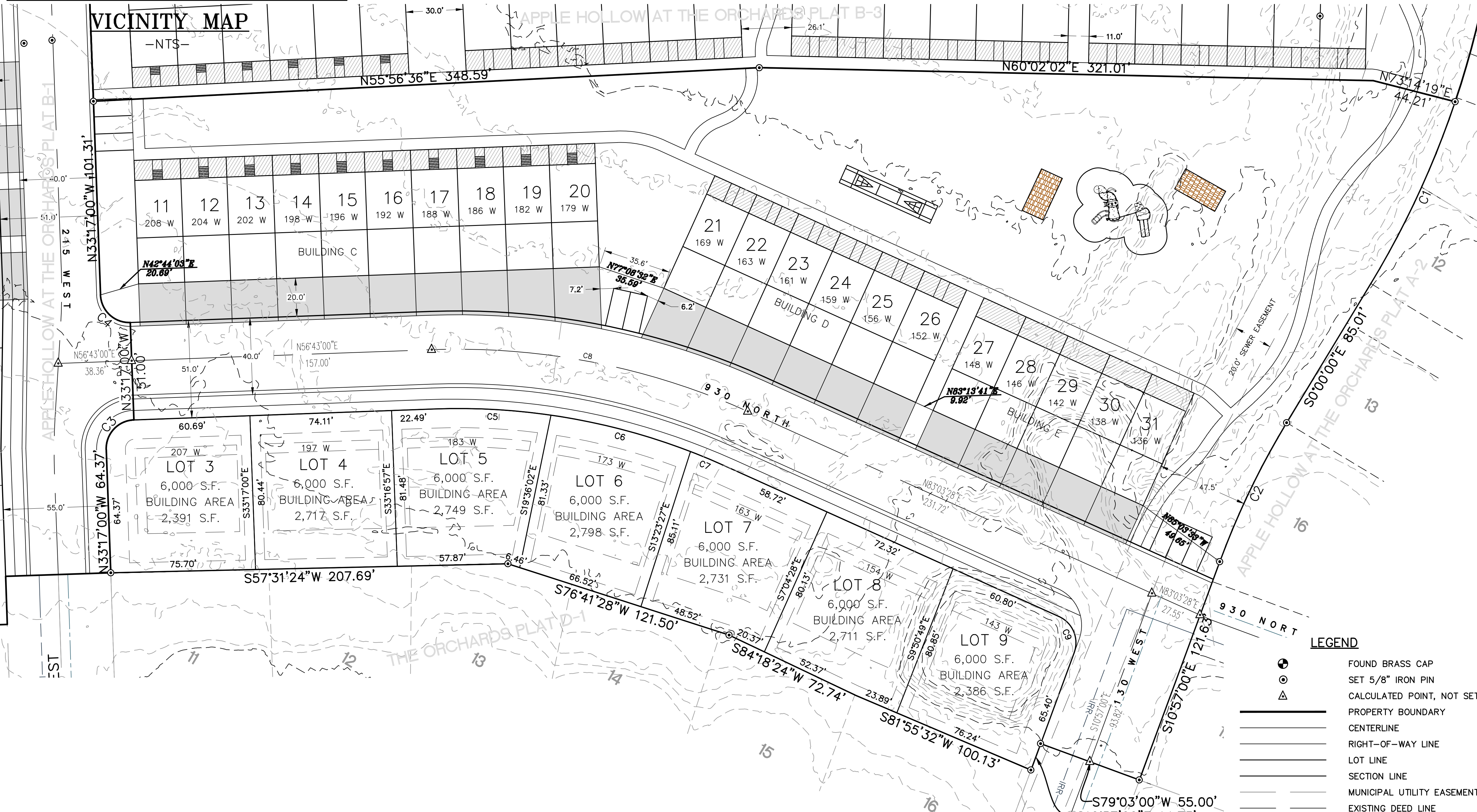
**LEGEND**

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- △ CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- MUNICIPAL UTILITY EASEMENT
- EXISTING DEED LINE
- ▨ PUBLIC ROADWAY DEDICATED TO SALEM CITY



**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	105.01'	477.50'	104.80'	S61°18'02"E	12°36'00"
C2	80.75'	422.50'	80.62'	S5°28'30"E	10°57'00"
C3	23.56'	15.00'	21.21'	N11°43'00"E	90°00'00"
C4	23.56'	15.00'	21.21'	N78°17'00"W	90°00'00"
C5	61.02'	338.50'	60.94'	S61°52'51"W	10°19'41"
C6	94.85'	338.50'	94.54'	S75°04'19"W	16°03'15"
C7	94.85'	338.50'	94.54'	S75°04'19"W	16°03'15"
C8	61.02'	338.50'	60.94'	S61°52'51"W	10°19'41"
C9	22.50'	15.00'	20.45'	N53°55'31"W	85°57'03"



- LEGEND**
- FOUND BRASS CAP
  - SET 5/8" IRON PIN
  - △ CALCULATED POINT, NOT SET
  - PROPERTY BOUNDARY
  - CENTERLINE
  - RIGHT-OF-WAY LINE
  - LOT LINE
  - SECTION LINE
  - MUNICIPAL UTILITY EASEMENT
  - EXISTING DEED LINE

**NOTES:**

- THE OWNERS OF EACH PARCEL SHALL HAVE ACCESS TO, AND THE RIGHT TO USE IN COMMON WITH THE OWNERS, OCCUPANTS, CUSTOMERS, OR LICENSEES OF EACH OF THE OTHER LOTS, AREA FOR INGRESS OR EGRESS IN ANY OF THE RESPECTIVE PARKING LOTS USED BY EACH BUSINESS, AND GARBAGE COLLECTION FACILITIES THAT ARE NOW OR MAY BE HEREAFTER CONSTRUCTED ON ANY OF THE RESPECTIVE LOTS.
- THE MAINTENANCE OF THE STORM DRAIN SYSTEM WILL BE THE SOLE RESPONSIBILITY OF EACH PARCEL OWNER. ALL STORM DRAIN WATER WILL BE ALLOWED TO FLOW FREELY THROUGH THE STORM DRAIN SYSTEM AS DESIGNED AND CONSTRUCTED. THE OWNER'S COLLECTIVELY CARRY THE RESPONSIBILITY TO MAINTAIN THE STORM WATER PIPE NETWORK.
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## APPLE HOLLOW AT THE ORCHARDS PRELIMINARY PLAT B-2

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN

SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 30 FEET

NOTARY PUBLIC SEAL

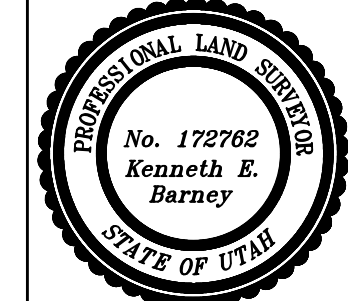
SURVEYOR'S SEAL

CLERK-RECORDER SEAL

UTAH COUNTY RECORDER STAMP

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992



APPLE HOLLOW AT THE ORCHARDS PLAT B-2

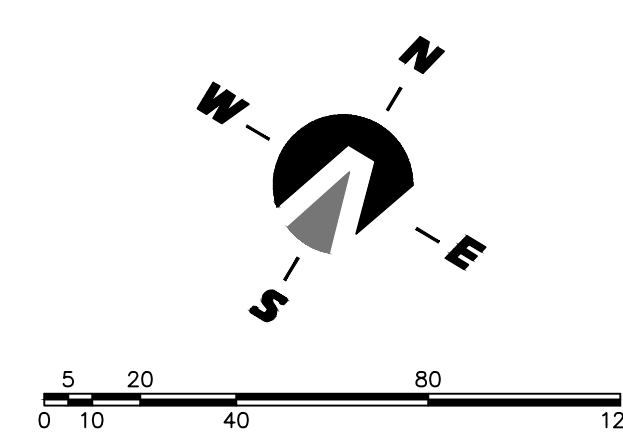


CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	22.82'	15.00'	20.68'	N101°17'52"E	87°09'44"
C2	24.29'	15.00'	21.72'	N79°40'52"W	92°47'45"
C3	22.82'	15.00'	20.69'	N101°19'45"E	86°53'29"
C4	764.03'	4870.00'	763.24'	N58°27'31"E	8°59'20"
C5	104.19'	4799.00'	104.19'	N63°33'58"E	1°14'38"
C6	15.41'	10.00'	13.93'	S71°39'15"E	88°19'49"
C7	77.57'	606.50'	77.52'	S23°50'09"E	7°19'42"
C8	77.76'	477.50'	77.67'	S17°16'13"E	9°19'50"
C9	854.35'	4683.31'	853.16'	S59°07'34"W	10°27'08"
C10	840.22'	4703.31'	839.10'	S59°02'19"W	10°14'08"
C11	837.11'	4663.31'	835.99'	S59°01'17"W	10°17'07"
C12	35.05'	4683.31'	35.05'	S53°41'08"W	0°25'44"
C13	19.00'	4683.31'	19.00'	S64°28'06"W	0°13'57"

## APPLE HOLLOW AT THE ORCHARDS PLAT B-3

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	21.80'	N39°58'02"E
L2	29.91'	N55°57'57"E
L3	25.39'	N57°12'46"E
L4	11.02'	N60°08'10"E
L5	8.67'	S72°41'24"E
L6	11.34'	N64°09'00"W
L7	30.09'	S55°51'36"W
L8	14.72'	S62°37'41"W
L9	12.47'	S61°06'18"W
L10	36.87'	S61°46'50"W
L11	18.83'	S59°48'37"W



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DATE \_\_\_\_\_ KENNETH E. BARNEY, P.L.S.

### VICINITY MAP

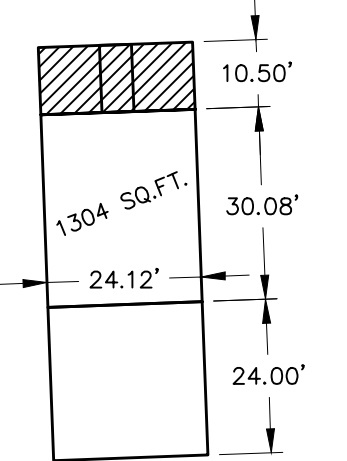


#### LEGEND

- FOUND BRASS CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- MUNICIPAL UTILITY EASEMENT
- EXISTING DEED LINE
- PUBLIC ROADWAY DEDICATED TO SALEM CITY

#### NOTES:

- 1) THE OWNERS OF EACH PARCEL SHALL HAVE ACCESS TO, AND THE RIGHT TO USE IN COMMON WITH THE OWNERS, OCCUPANTS, CUSTOMERS, OR LICENSEES OF EACH OF THE OTHER LOTS, AREA FOR INGRESS OR EGRESS IN ANY OF THE RESPECTIVE PARKING LOTS USED BY EACH BUSINESS, AND GARBAGE COLLECTION FACILITIES THAT ARE NOW OR MAY BE HEREAFTER CONSTRUCTED ON ANY OF THE RESPECTIVE LOTS.
- 2) THE MAINTENANCE OF THE STORM DRAIN SYSTEM WILL BE THE SOLE RESPONSIBILITY OF EACH PARCEL OWNER. ALL STORM DRAIN WATER WILL BE ALLOWED TO FLOW FREELY THROUGH THE STORM DRAIN SYSTEM AS DESIGNED AND CONSTRUCTED. THE OWNER'S COLLECTIVELY CARRY THE RESPONSIBILITY TO MAINTAIN THE STORM WATER PIPE NETWORK.
- 3) WHEN ANY SUB TERRANEAN UTILITY IS REPAIRED, REPLACED, OR INSTALLED, ALL IMPACTED IMPROVEMENTS SHALL BE REPLACED BY THE CONTRACTOR IN A CONDITION EQUAL TO OR BETTER THAN THE CONDITION PRIOR TO THE DAMAGE.
- 4) ALL M.U.E. (MUNICIPAL UTILITY EASEMENTS) DEDICATED TO SALEM CITY.
- 5) IMPROVEMENTS OF THE PROPERTY MUST BE COMPLETED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD PLANS OF SALEM CITY AND ASSOCIATED STUDIES.
- 6) ALL CONSTRUCTION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY CMT ENGINEERING DATED AUGUST 23, 2022 (PROJECT NO.18940) AND ALL ADDENDUM.



BUILDING F, G, H, I, J, K, L, M & N

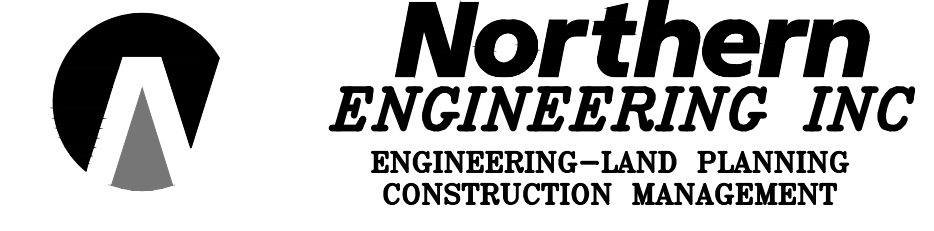
## APPLE HOLLOW AT THE ORCHARDS PLAT B-3

A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 9 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN

SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 30 FEET

NOTARY PUBLIC SEAL	SURVEYOR'S SEAL 	CLERK-RECORDER SEAL	UTAH COUNTY RECORDER STAMP
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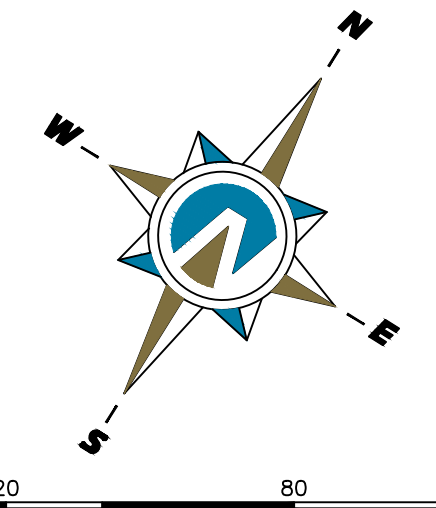
1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

APPLE HOLLOW AT THE ORCHARDS PLAT B-3

# APPLE HOLLOW @ THE ORCHARDS "B"

## SANTAQUIN, UTAH

OCTOBER, 2023



0 10 20 40 80 120

(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'



THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:



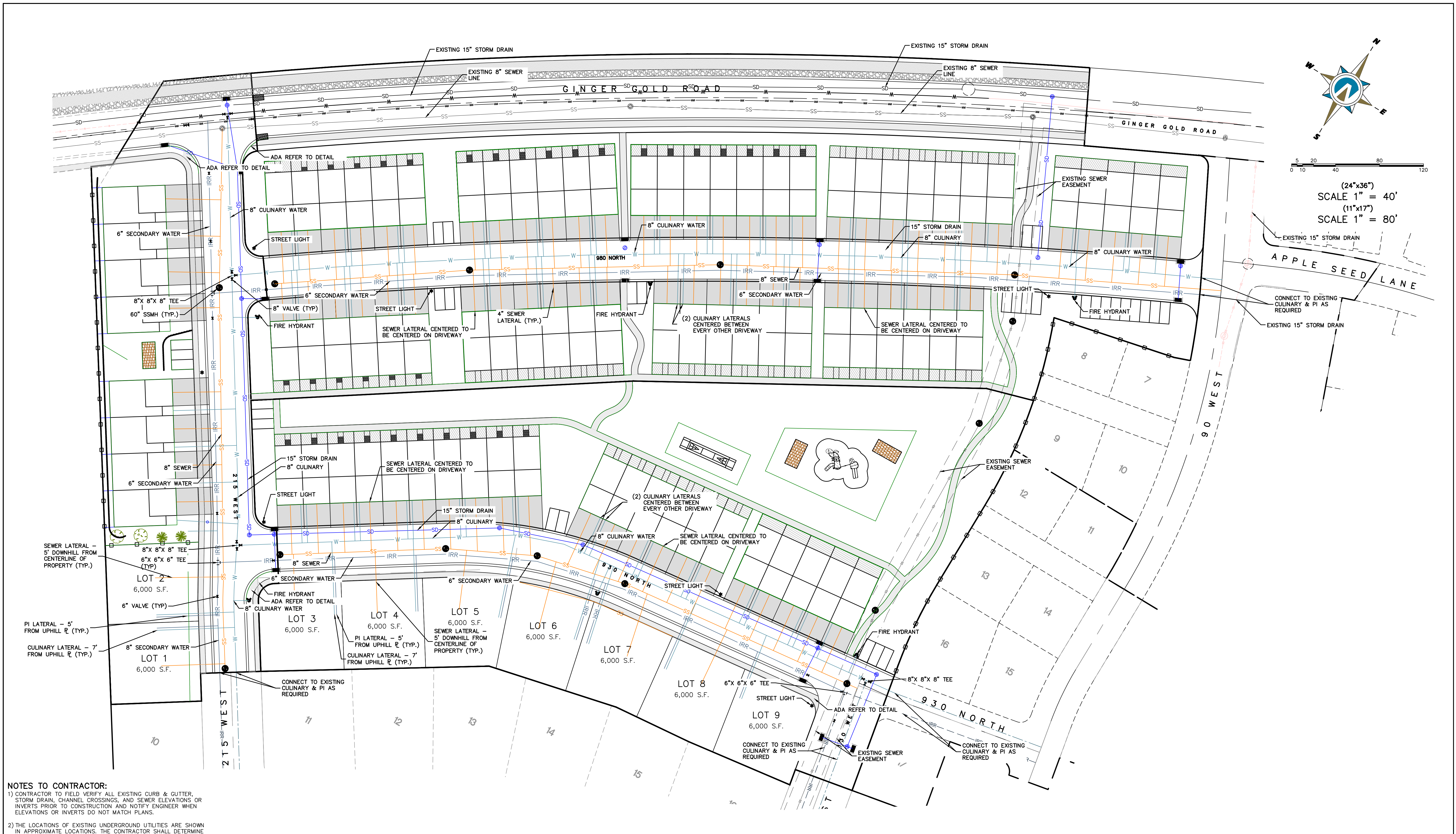
**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

### APPLE HOLLOW @ THE ORCHARDS "B"

PRELIMINARY SITE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. SP-01

K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 BASE.dwg



**NOTES TO CONTRACTOR:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & CUTTER, STORM DRAIN, CHANNEL CROSSINGS, AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

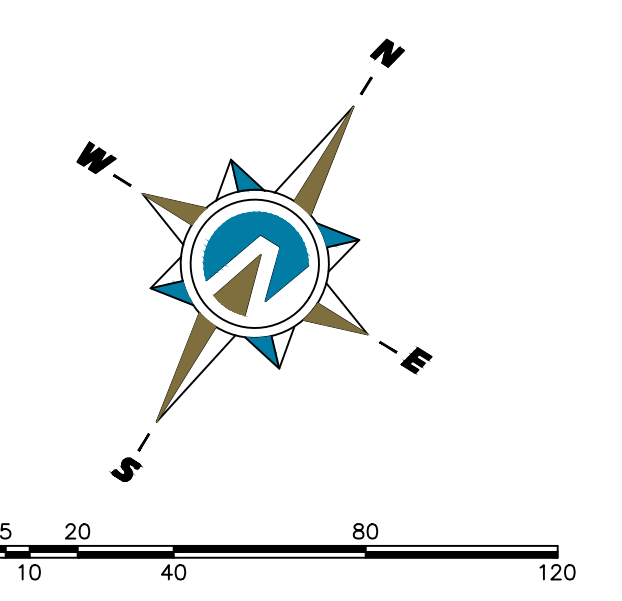
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1	COGO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:


**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @ THE ORCHARDS "B"**

PRELIMINARY SITE UTILITY PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>UT-01</b>



(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'



**LEGEND:**  
TFF= TOP OF FOUNDATION  
FF=FINISHED FLOOR  
GFF=GARAGE FINISHED FLOOR  
BFF=BASEMENT FINISHED FLOOR (IF APPLICABLE)

**NOTES:**  
1) 2% MAX GRADE FOR ALL ADA PARKING SPACES AND ACCESS AISLE.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:		DATE:	
4		DRAWN BY:		DATE:	
3		CHECKED BY:		DATE:	
2		APPROVED:		DATE:	
1		COGO FILE:		DATE:	
NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
ENGINEERING-LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

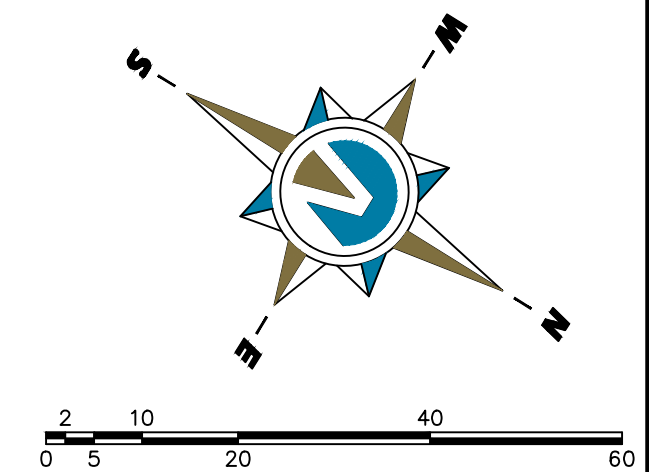
# APPLE HOLLOW @ THE ORACHARDS "B"

PRELIMINARY SITE GRADING AND DRAINAGE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. GR-01

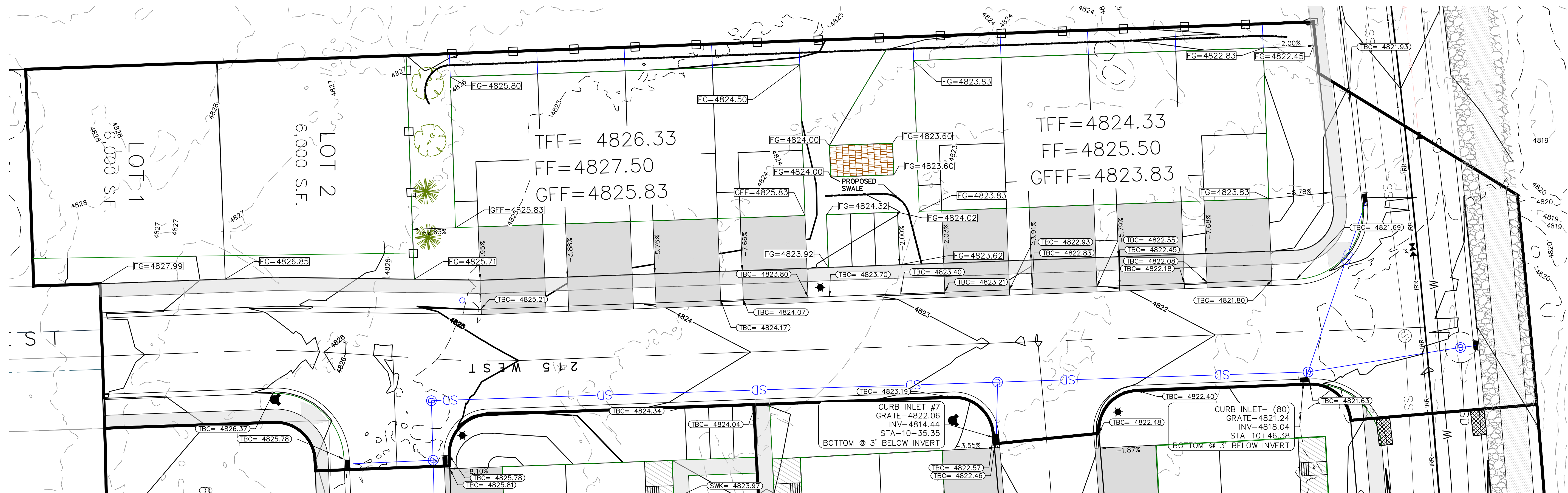
K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 BASE.dwg

NOTES:

- NOTE TO DEVELOPER AND GENERAL CONTRACTOR: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS, THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.
- ALL RECOMMENDATIONS MADE IN PERTINENT GEOTECHNICAL REPORT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- INSTALL P.I. DRAIN TO CONNECT TO SDMH AS SHOWN AS PER CITY STANDARDS.
- PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.



(24"x36")  
 SCALE 1" = 20'  
 (11"x17")  
 SCALE 1" = 40'



LEGEND:

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- FF=FINISHED FLOOR
- GFF=GARAGE FINISHED FLOOR
- BFF=BASEMENT FINISHED FLOOR (AS APPLICABLE)

NOTES:

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NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:
5				DESIGNED BY:	DATE:
4				DRAWN BY:	DATE:
3				CHECKED BY:	DATE:
2				APPROVED:	DATE:
1				COGO FILE:	DATE:



**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @  
 THE ORACHARDS "B"**

PRELIMINARY SITE GRADING AND  
 DRAINAGE PLAN PHASE B-1

SANTAQUIN, UTAH

JOB NO.  
 3-20-031

SHEET NO.  
**GR-02**

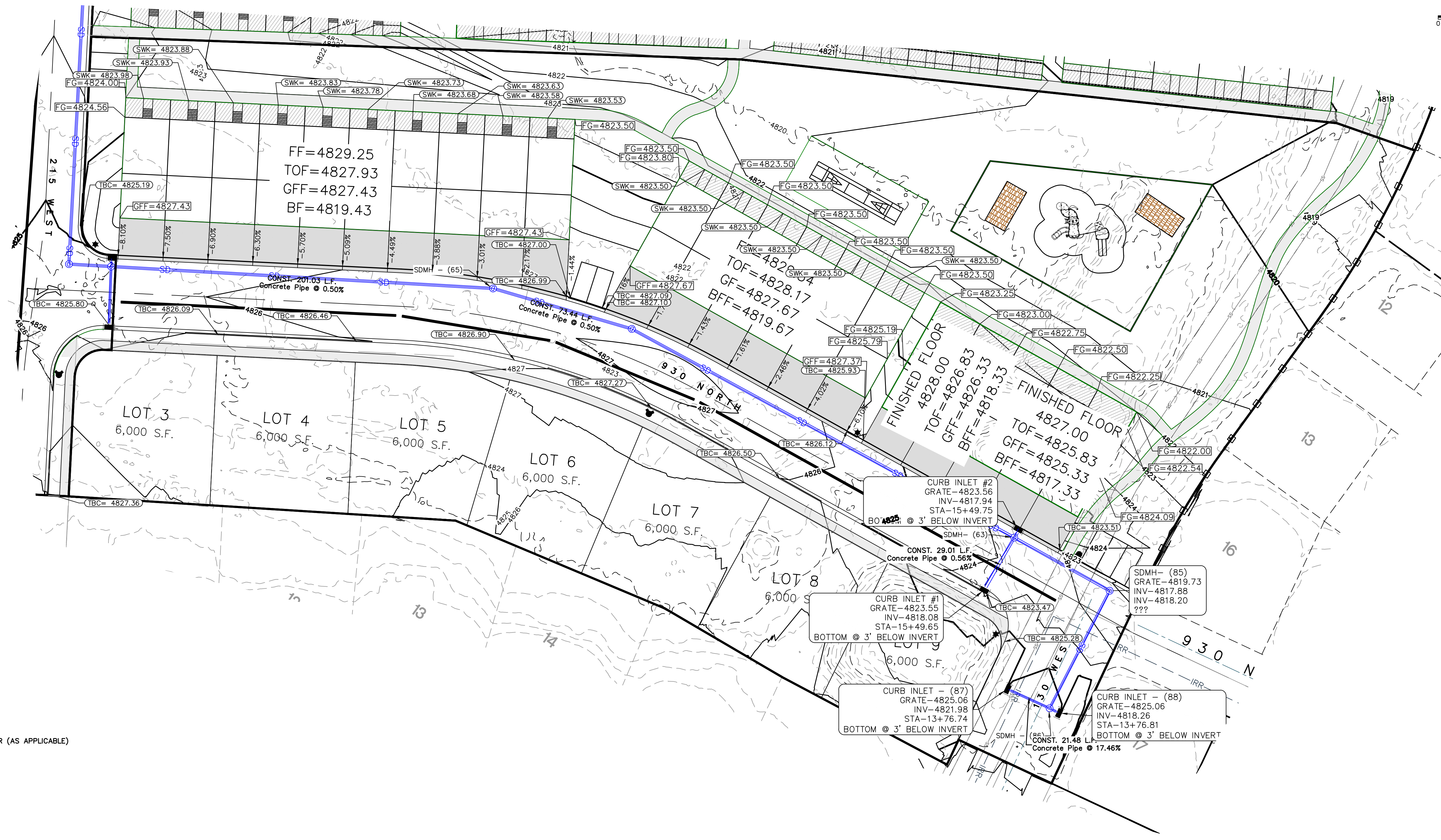


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- INSTALL P.I. DRAIN TO CONNECT TO SDMH AS SHOWN AS PER CITY STANDARDS.
- PLACE 10' MINIMUM L.F. OF RIP-RAP ON EAST END OF C&G TO PREVENT EROSION.



(24"x36")  
 SCALE 1" = 30'  
 (11"x17")  
 SCALE 1" = 60'



**LEGEND:**  
 TOF= TOP OF FOUNDATION  
 FF=FINISHED FLOOR  
 GFF=GARAGE FINISHED FLOOR  
 BFF=BASEMENT FINISHED FLOOR (AS APPLICABLE)

**NOTES:**  
 1) 2% MAX GRADE FOR ALL ADA PARKING SPACES AND ACCESS AISLE.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

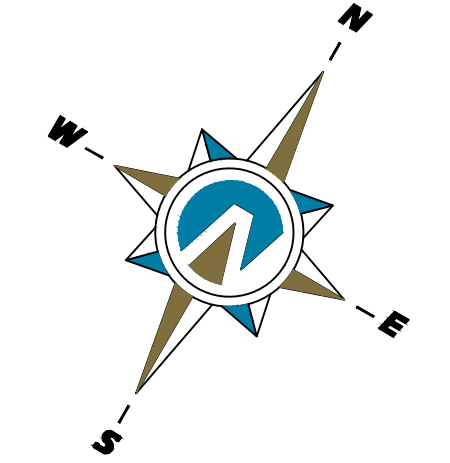
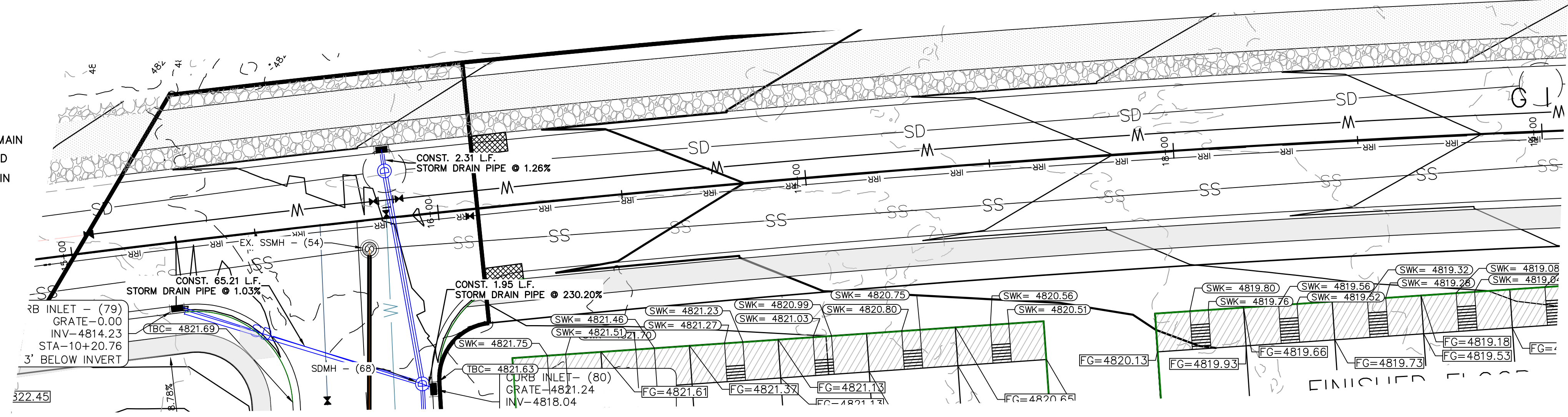
1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @  
 THE ORACHARDS "B"**

PRELIMINARY SITE GRADING AND DRAINAGE PLAN PHASE B-2	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>GR-03</b>

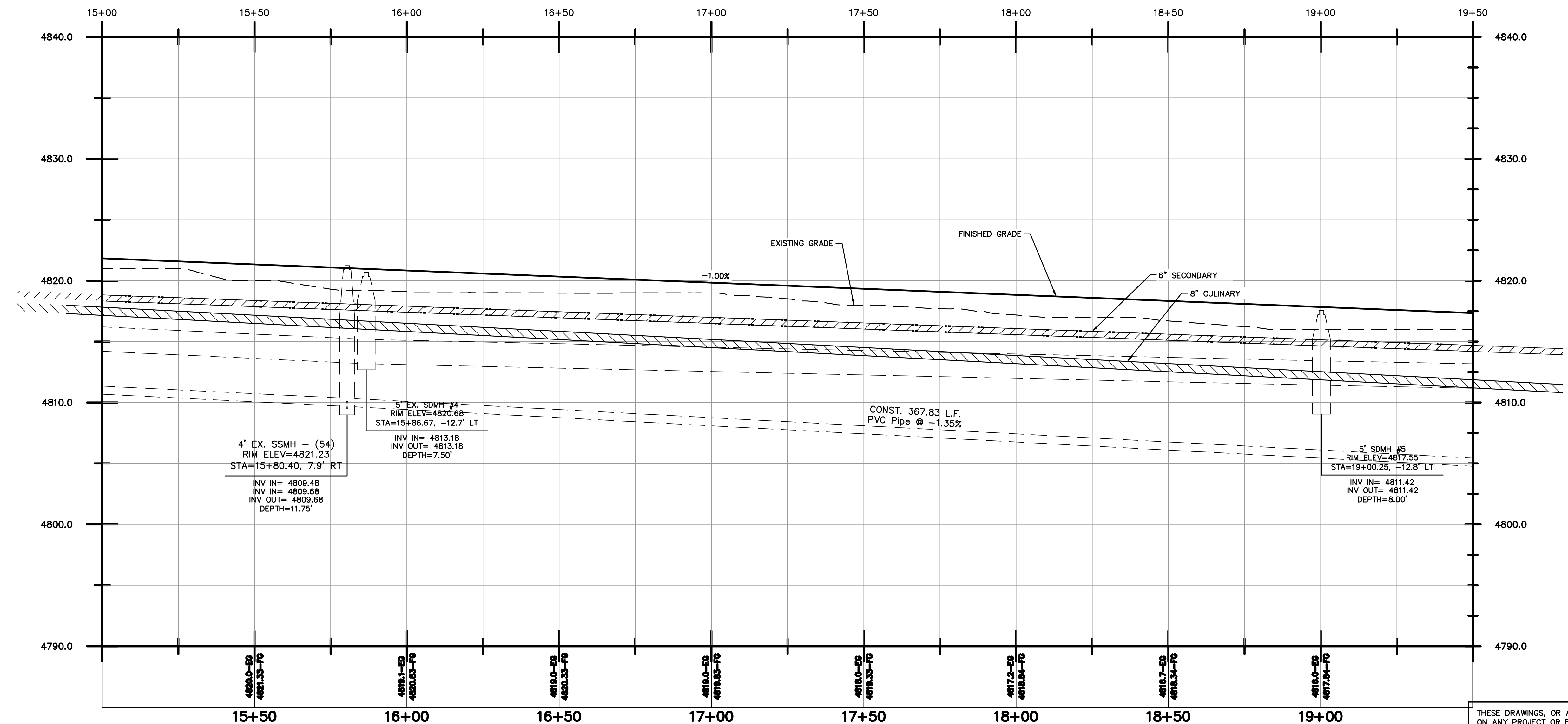
K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 BASE.dwg

- NOTES:
- 1 CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - 2 CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - 3 CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - 4 CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - 5 CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - 6 CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - 7 CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - 8 CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN
  - 9 CONSTRUCT XX L.F. 15" RCP STORM DRAIN PIPE @ XX%
  - 10 CONSTRUCT 2" AIR/VACUUM COMBINATION WITH VENT.



(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'



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2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
	REV. COGO FILE:		DATE:

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @  
THE ORACHARDS "B"**

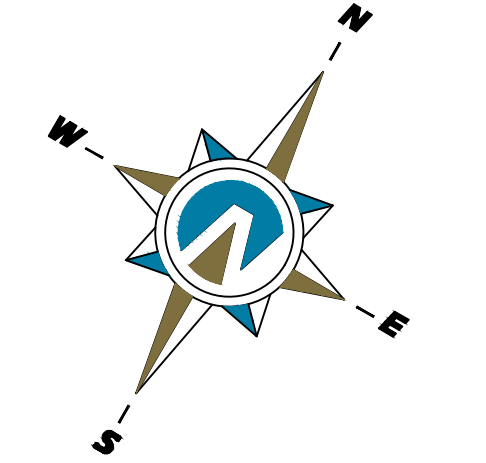
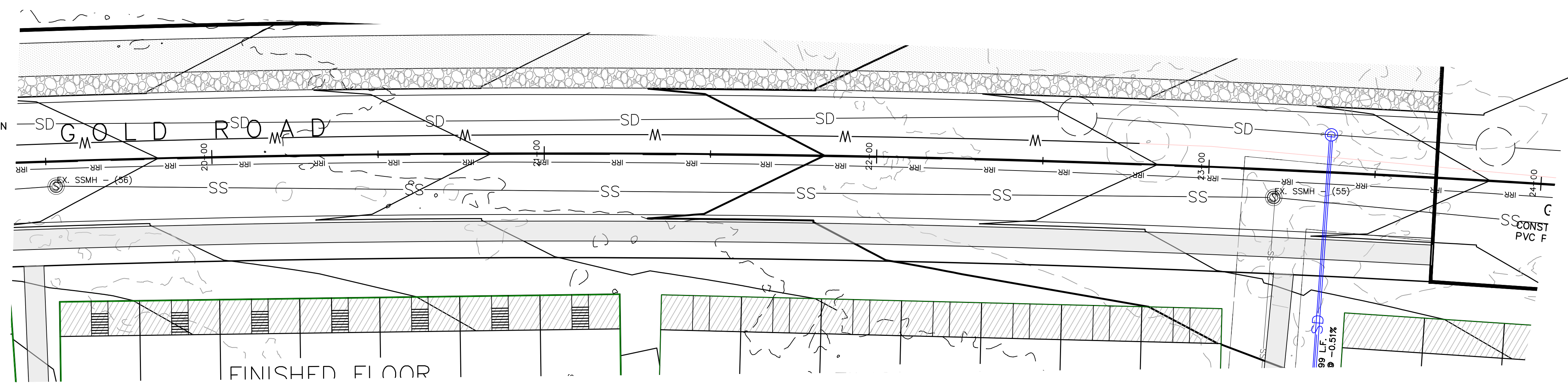
PRELIMINARY STORM DRAIN PLAN &  
PROFILE — GINGER GOLD ROAD

SANTAQUIN, UTAH

JOB NO.  
3-20-031

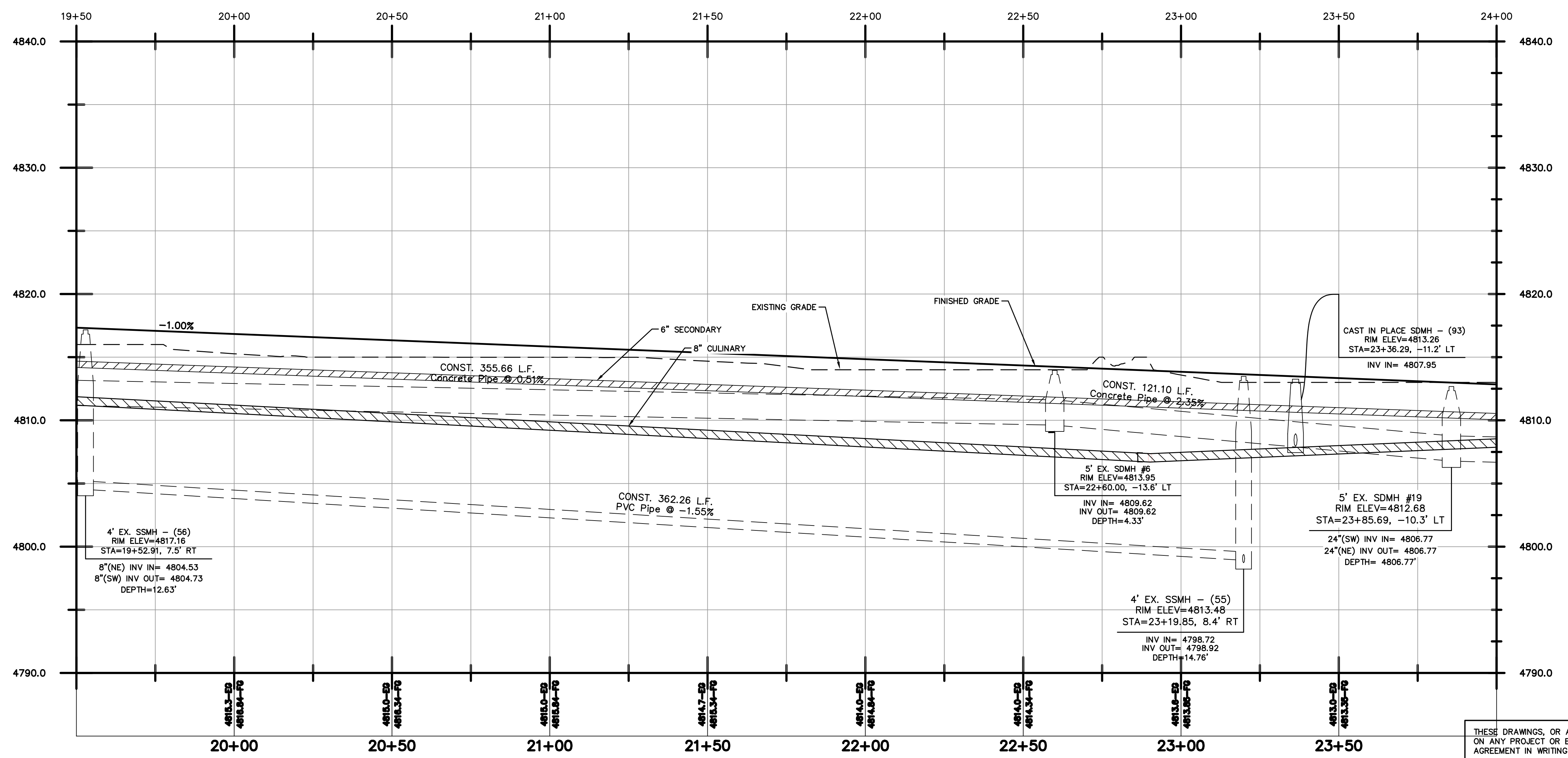
SHEET NO.  
**PP-01**

- NOTES:
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN
  - ⑨ CONSTRUCT XX L.F. 15" RCP STORM DRAIN PIPE @ XX%
  - ⑩ CONSTRUCT 2" AIR/VACUUM COMBINATION WITH VENT.



(24"x36")  
 HORIZONTAL 1" = 20'  
 VERTICAL 1" = 5'

(11"x17")  
 HORIZONTAL 1" = 40'  
 VERTICAL 1" = 10'



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5	DESIGNED BY:	DATE:
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3	CHECKED BY:	DATE:
2	APPROVED:	DATE:
1	COGO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:

**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

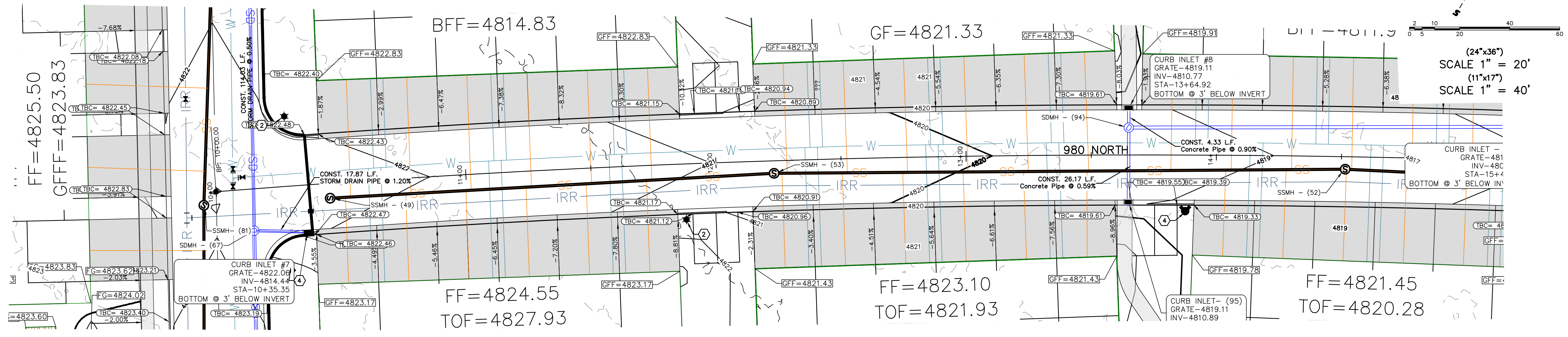
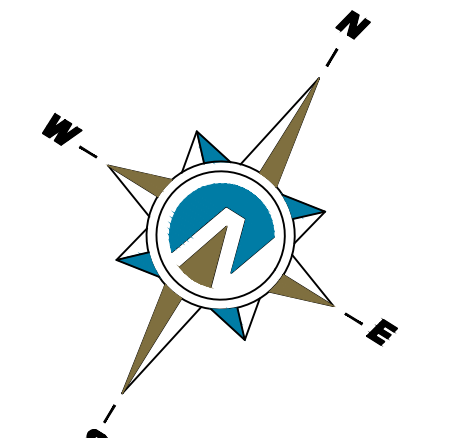
1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @ THE ORACHARDS "B"**

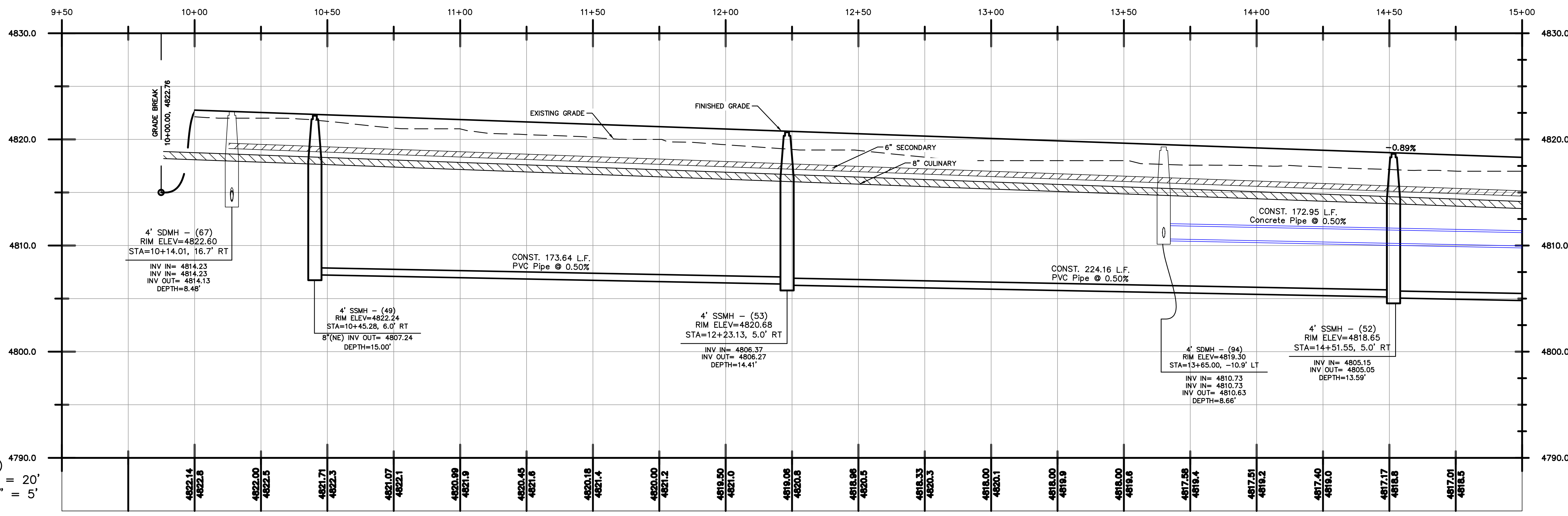
PRELIMINARY STORM DRAIN PLAN & PROFILE — GINGER GOLD ROAD  
 SANTAQUIN, UTAH

JOB NO. 3-20-031  
 SHEET NO. PP-02

- NOTES:
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN



(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'



(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'

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NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @  
THE ORACHARDS "B"**

PRELIMINARY — 980 NORTH  
PLAN & PROFILE

SANTAQUIN, UTAH

JOB NO.  
3-20-031

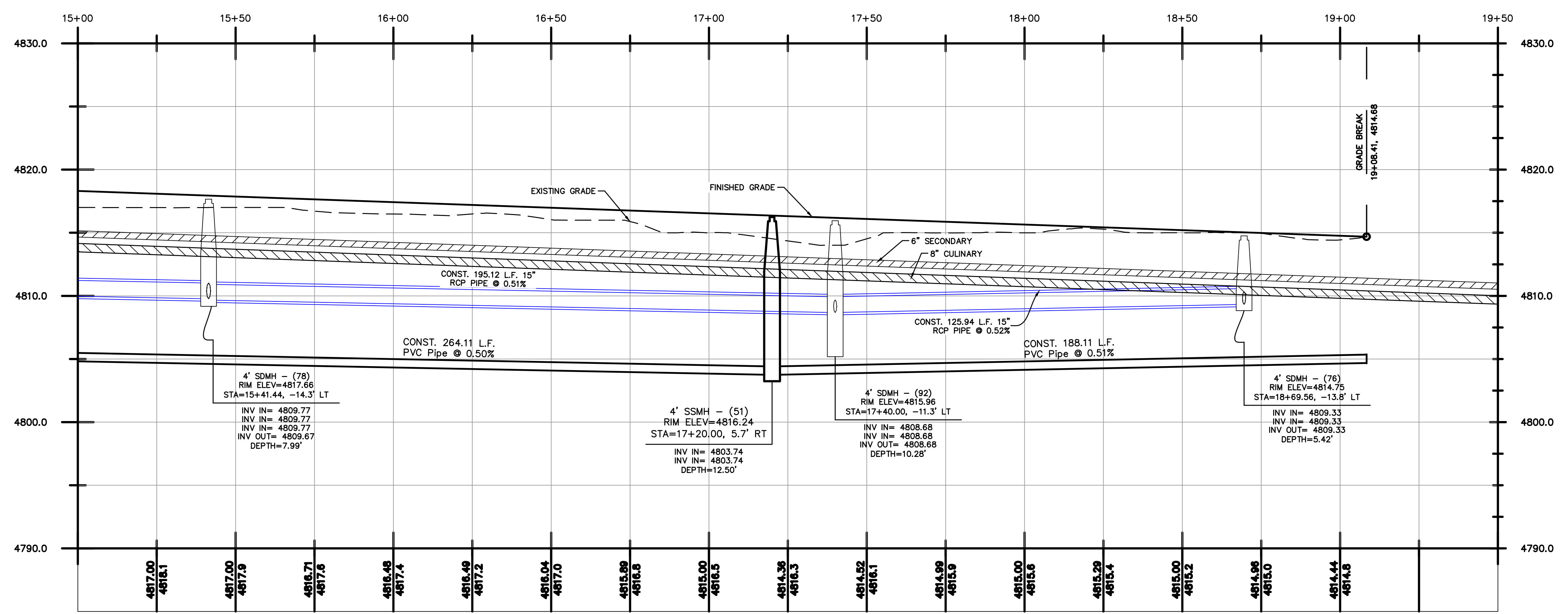
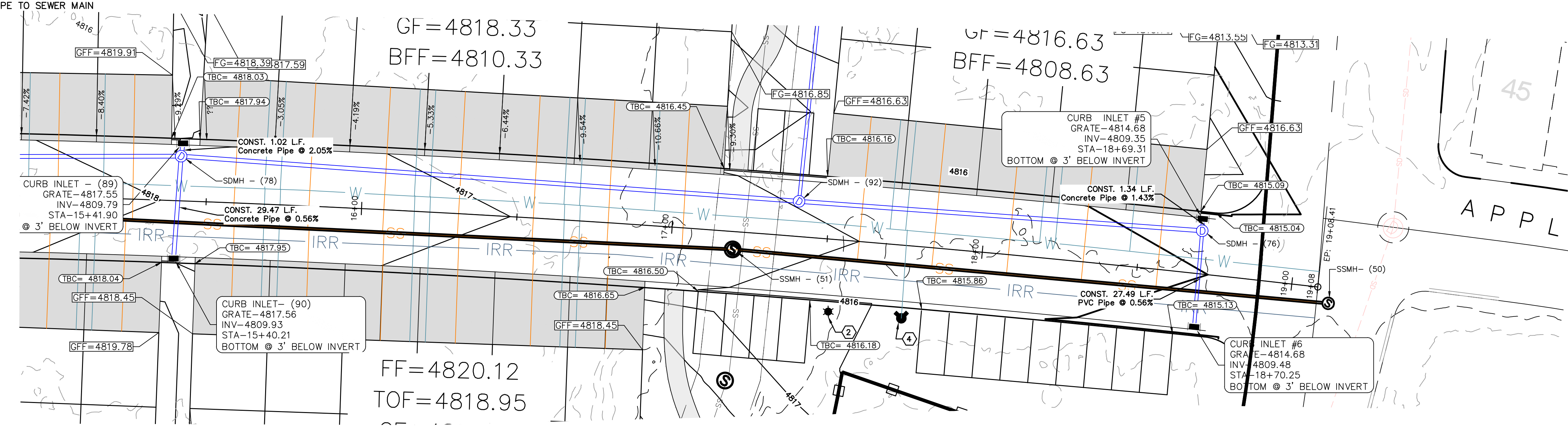
SHEET NO.  
**PP-03**

- NOTES:**
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN



(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'



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NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

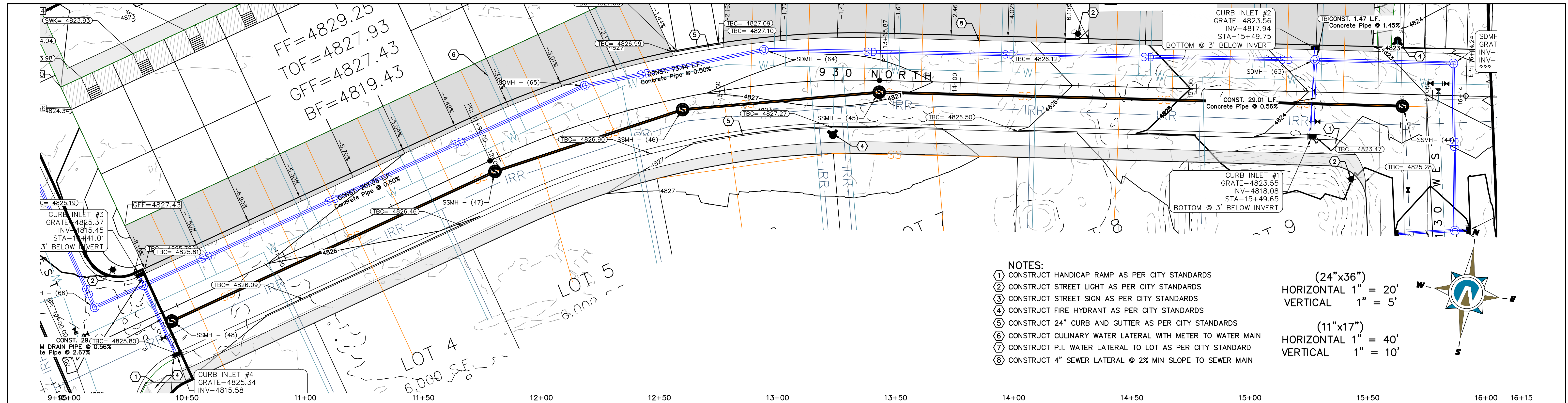
**APPLE HOLLOW @  
THE ORACHARDS "B"**

PRELIMINARY 980 NORTH  
PLAN & PROFILE

SANTAQUIN, UTAH

JOB NO.  
3-20-031

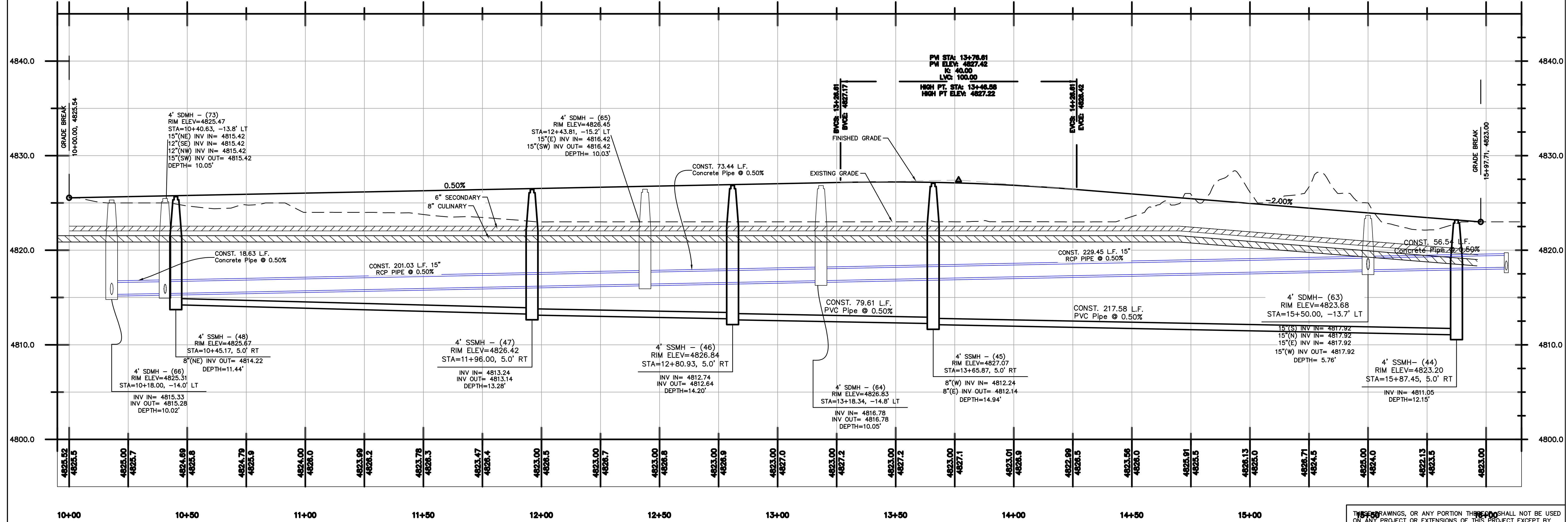
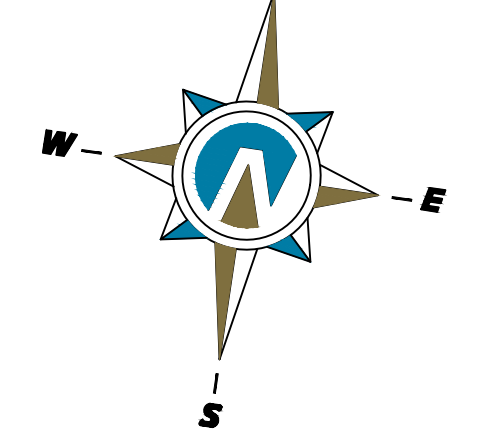
SHEET NO.  
**PP-04**



- NOTES:**
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN

(24"x36")  
 HORIZONTAL 1" = 20'  
 VERTICAL 1" = 5'

(11"x17")  
 HORIZONTAL 1" = 40'  
 VERTICAL 1" = 10'



**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

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**APPLE HOLLOW @  
 THE ORACHARDS "B"**

PRELIMINARY — 930 NORTH  
 PLAN & PROFILE

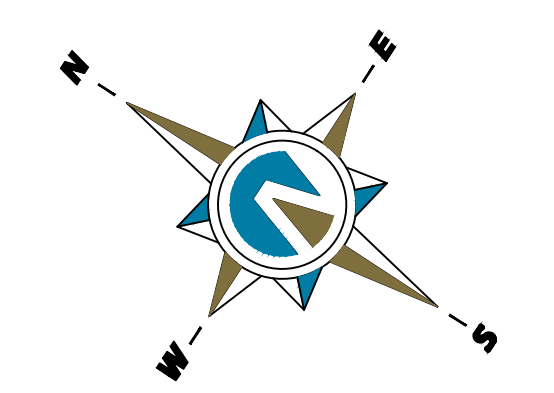
SANTAQUIN, UTAH

JOB NO.  
 3-20-031

SHEET NO.  
**PP-05**

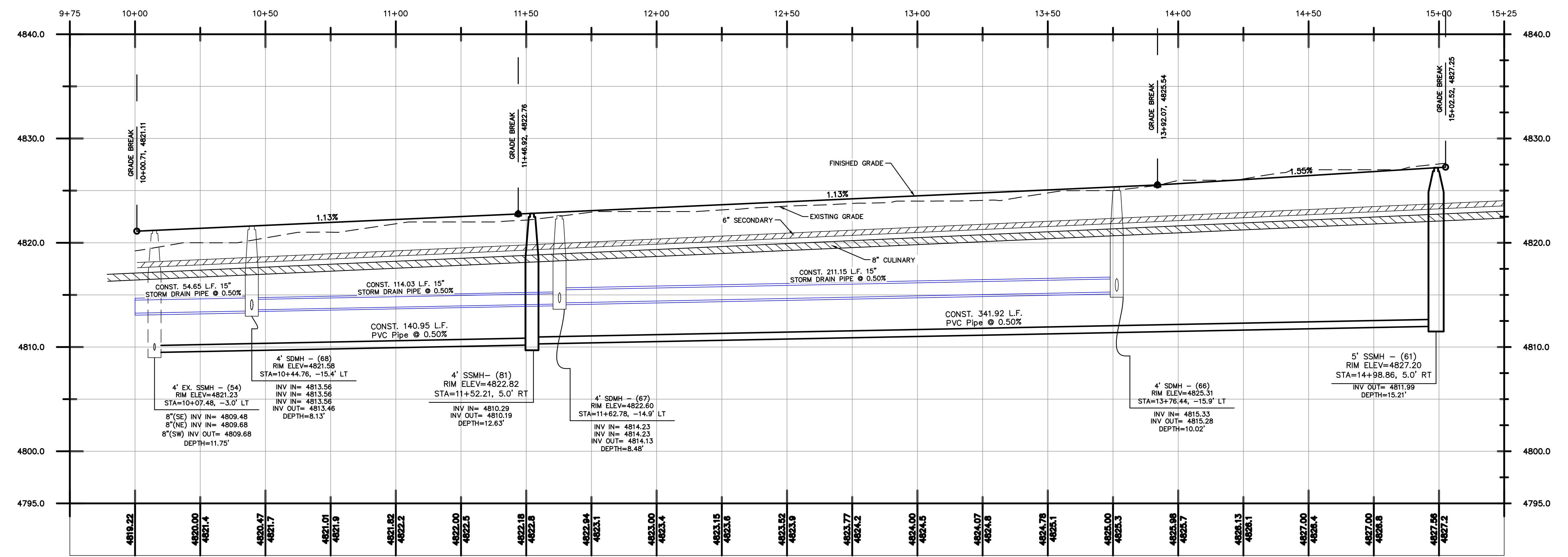
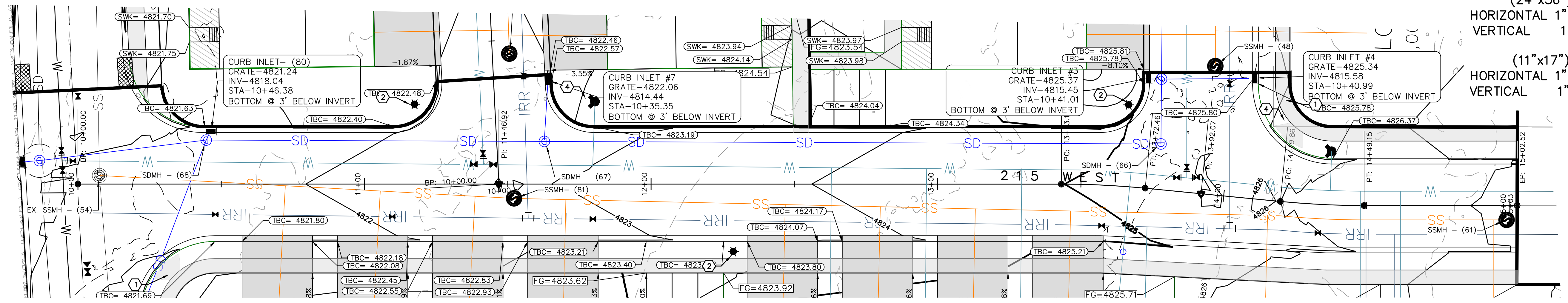
K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 BASE.dwg

- NOTES:
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN



(24"x36")  
HORIZONTAL 1" = 20'  
VERTICAL 1" = 5'

(11"x17")  
HORIZONTAL 1" = 40'  
VERTICAL 1" = 10'



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2		APPROVED:		DATE:
1		COGO FILE:		DATE:
NO.	REVISIONS	BY	DATE	REV. COGO FILE:

**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

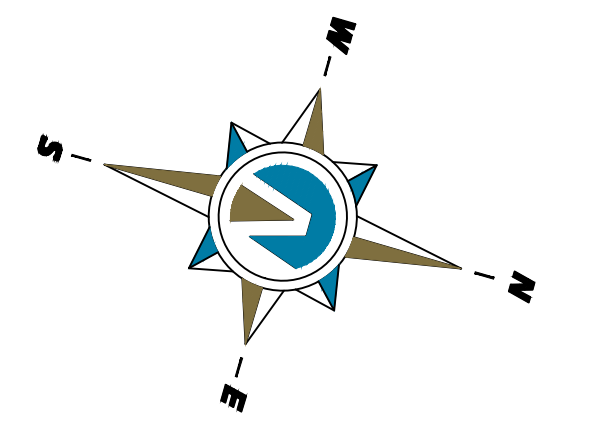
1040 E. 800 N.  
OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @ THE ORACHARDS "B"**

PRELIMINARY — 215 WEST  
PLAN & PROFILE  
SANTAQUIN, UTAH

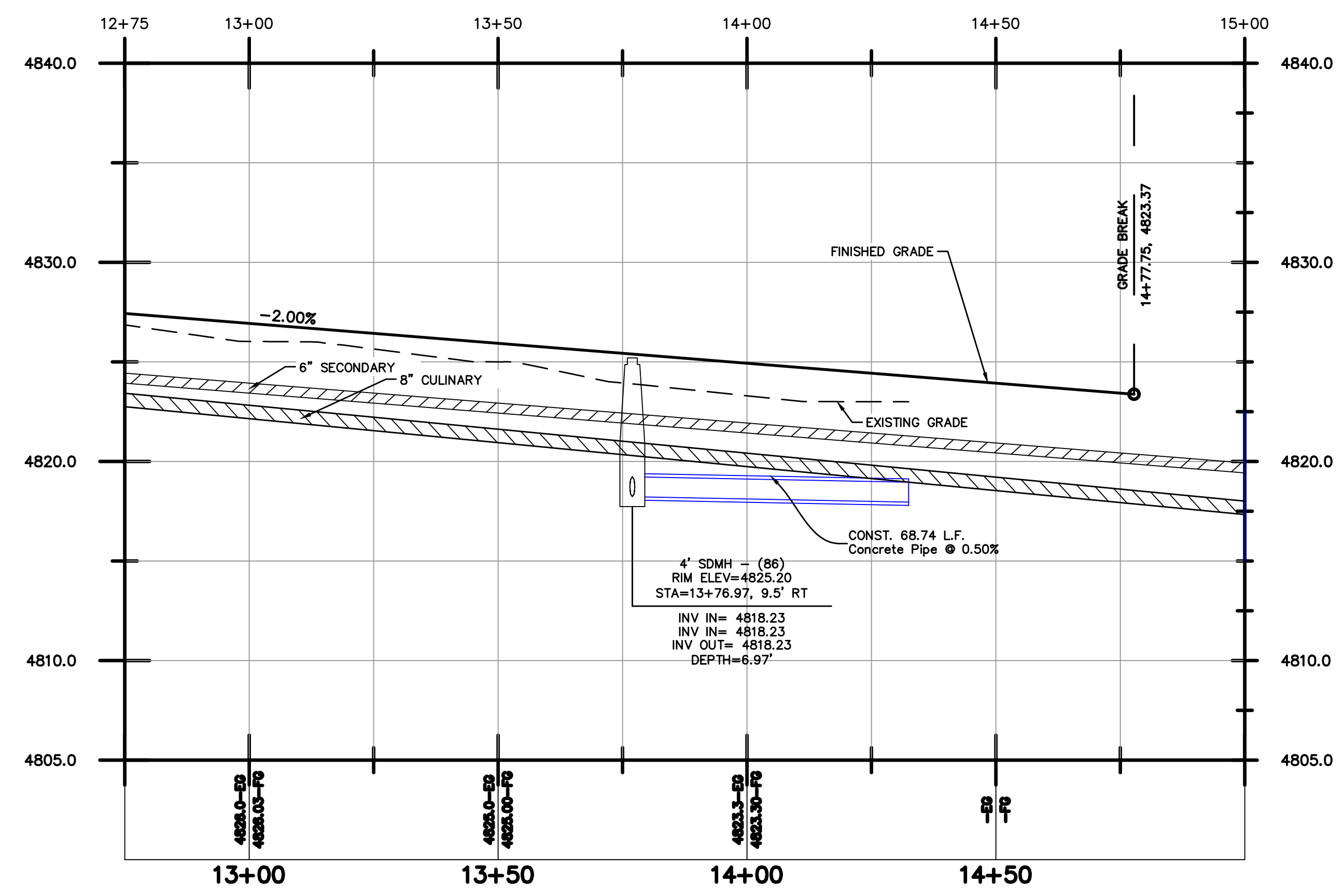
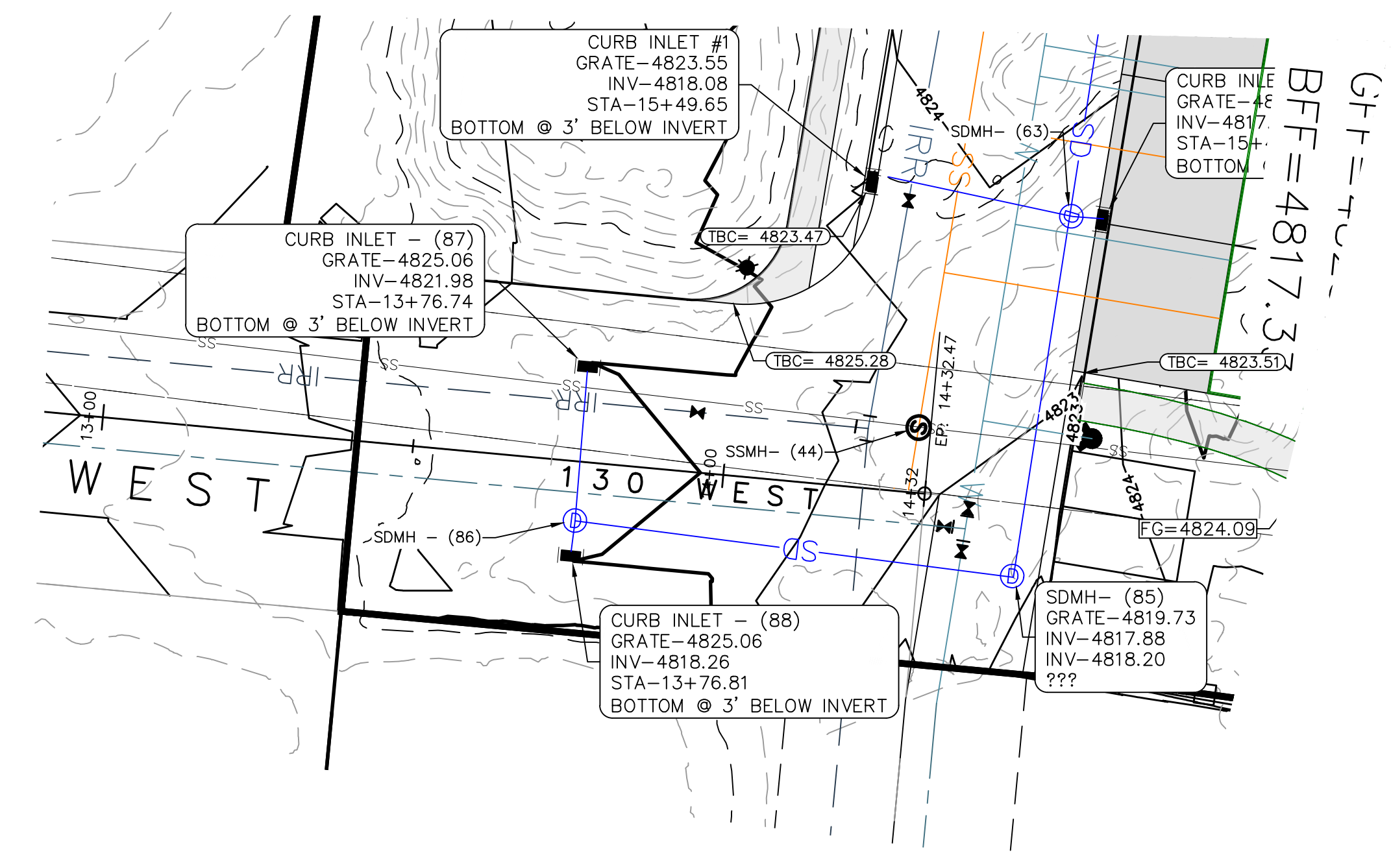
JOB NO. 3-20-031  
SHEET NO. PP-06

- NOTES:**
- ① CONSTRUCT HANDICAP RAMP AS PER CITY STANDARDS
  - ② CONSTRUCT STREET LIGHT AS PER CITY STANDARDS
  - ③ CONSTRUCT STREET SIGN AS PER CITY STANDARDS
  - ④ CONSTRUCT FIRE HYDRANT AS PER CITY STANDARDS
  - ⑤ CONSTRUCT 24" CURB AND GUTTER AS PER CITY STANDARDS
  - ⑥ CONSTRUCT CULINARY WATER LATERAL WITH METER TO WATER MAIN
  - ⑦ CONSTRUCT P.I. WATER LATERAL TO LOT AS PER CITY STANDARD
  - ⑧ CONSTRUCT 4" SEWER LATERAL @ 2% MIN SLOPE TO SEWER MAIN



(24"x36")  
 HORIZONTAL 1" = 20'  
 VERTICAL 1" = 5'

(11"x17")  
 HORIZONTAL 1" = 40'  
 VERTICAL 1" = 10'



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NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW @  
 THE ORACHARDS "B"**

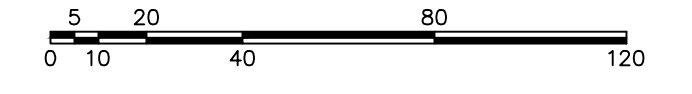
PRELIMINARY — 130 WEST  
 PLAN & PROFILE

SANTAQUIN, UTAH

JOB NO.  
 3-20-031

SHEET NO.  
**PP-07**





(24"x36")  
SCALE 1" = 40'  
(11"x17")  
SCALE 1" = 80'



THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

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3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
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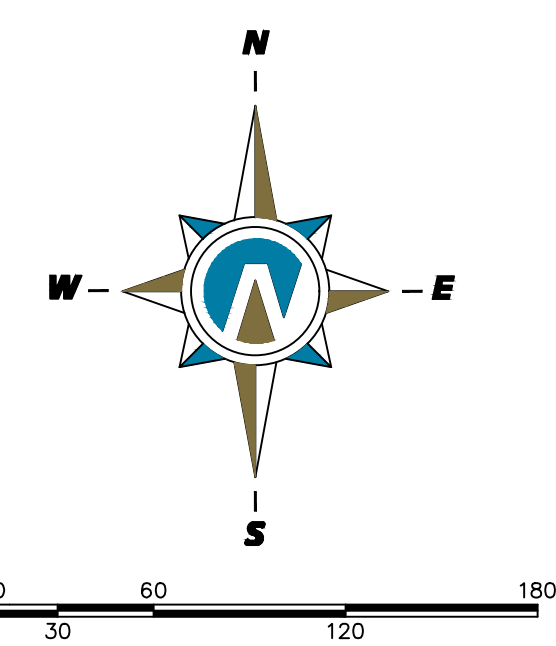
**Northern ENGINEERING INC**  
ENGINEERING—LAND PLANNING  
CONSTRUCTION MANAGEMENT

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OREM, UTAH 84097  
(801) 802-8992

**APPLE HOLLOW @  
THE ORACHARDS "B"**

PRELIMINARY -STRIPING & LIGHTING PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>1</b>

K:\3-20-031-00 Apple Hollow\CAD\Design\Apple Hollow CONCEPT 11 BASE.dwg



(24"x36")  
 SCALE 1" = 60'  
 (11"x17")  
 SCALE 1" = 120'

—□—□—□— PROPOSED FENCE

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

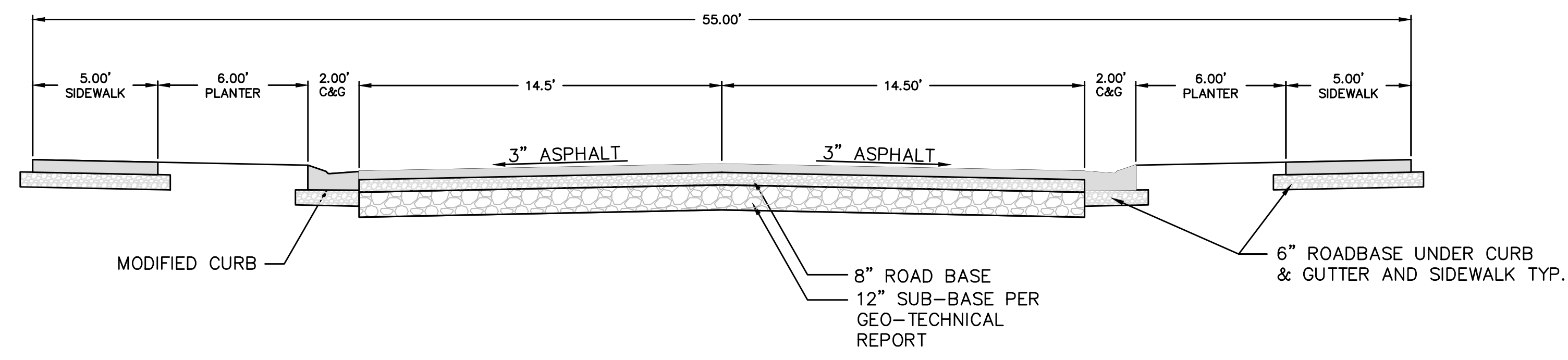
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1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
 ENGINEERING—LAND PLANNING  
 CONSTRUCTION MANAGEMENT

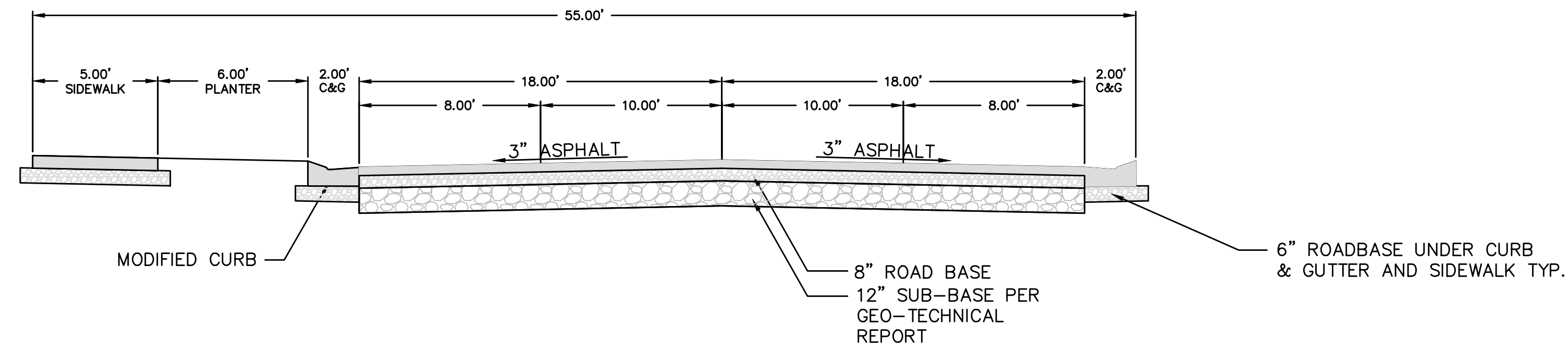
1040 E. 800 N.  
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**APPLE HOLLOW @  
 THE ORACHARDS "B"**

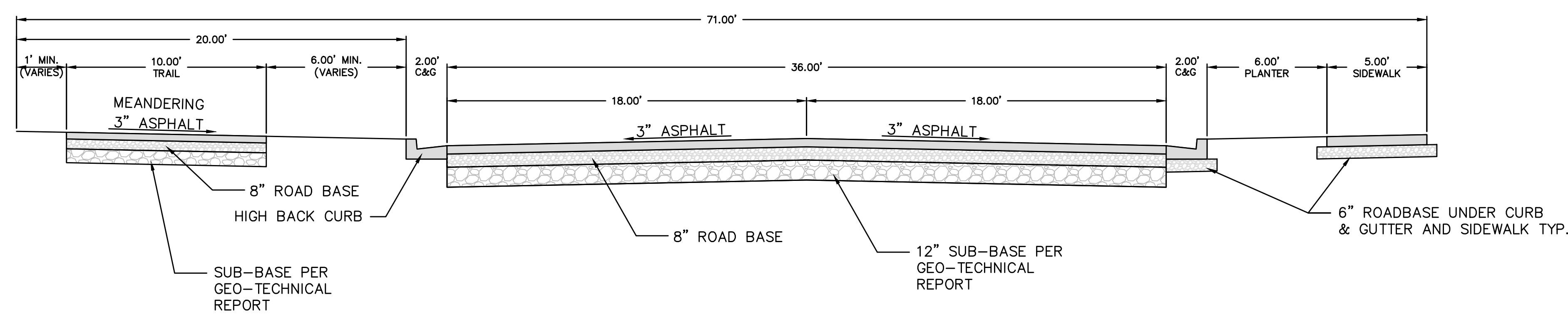
PRELIMINARY – FENCE PLAN	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. <b>2</b>



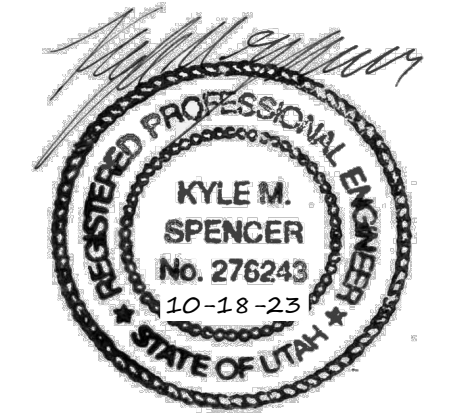
55.00' STANDARD STREET CROSS SECTION  
 215 WEST STREET  
 -NTS-  
 STA: 13+92.07 - 15+02.52



51.00' STANDARD STREET CROSS SECTION  
 215 WEST STREET  
 -NTS-  
 STA: 10+00.00 - 13+92.07



71.00' STANDARD STREET CROSS SECTION  
 GINGER GOLD ROAD  
 -NTS-



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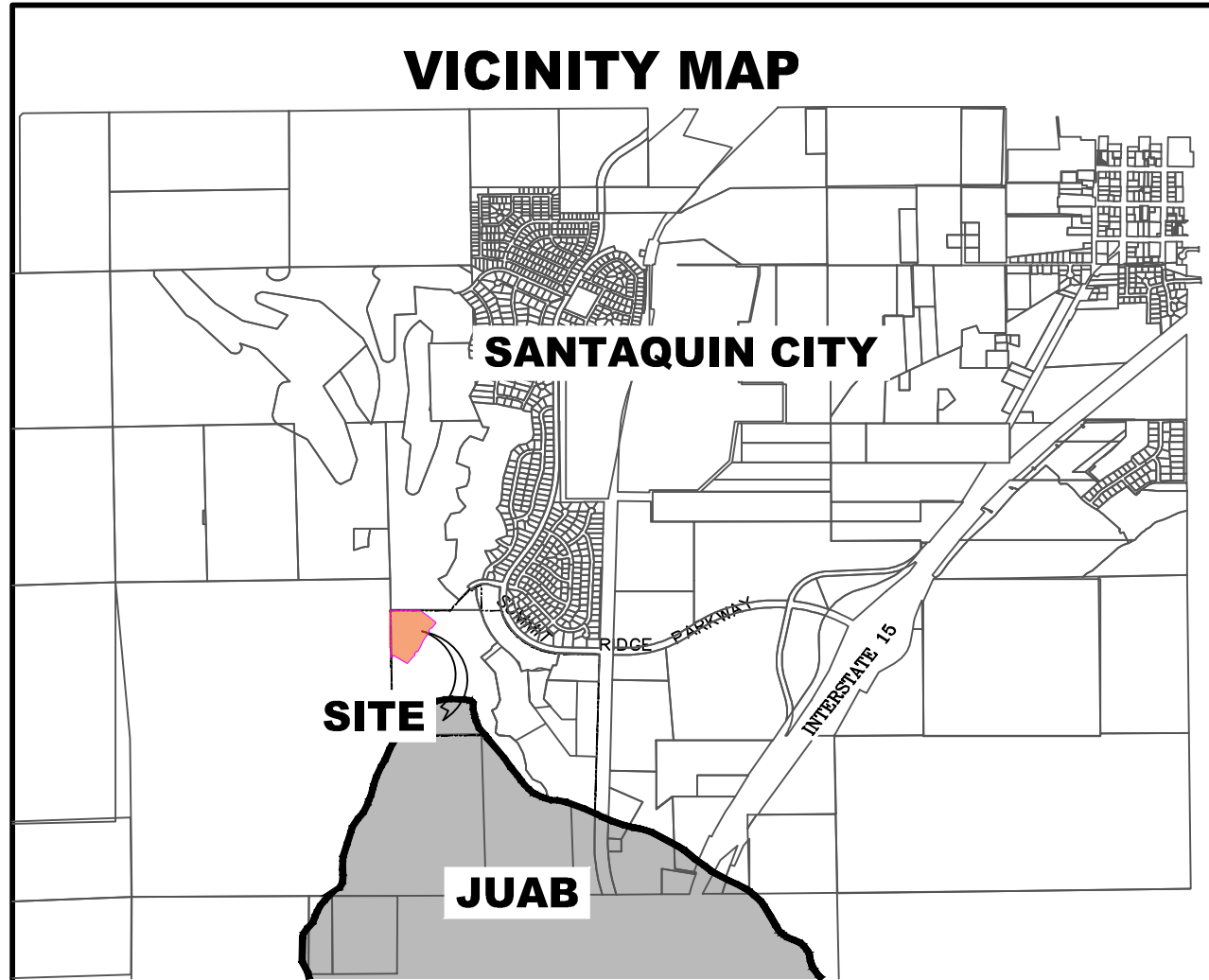
5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
 ENGINEERING-LAND PLANNING  
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 802-8992

**APPLE HOLLOW**  
**@ THE ORCHARDS "B"**

DETAILS	JOB NO. 3-20-031
SANTAQUIN, UTAH	SHEET NO. DT-01



# The Hills @ Summit Ridge

## PHASE 'G'

### December 23

Santaquin, Utah County, Utah

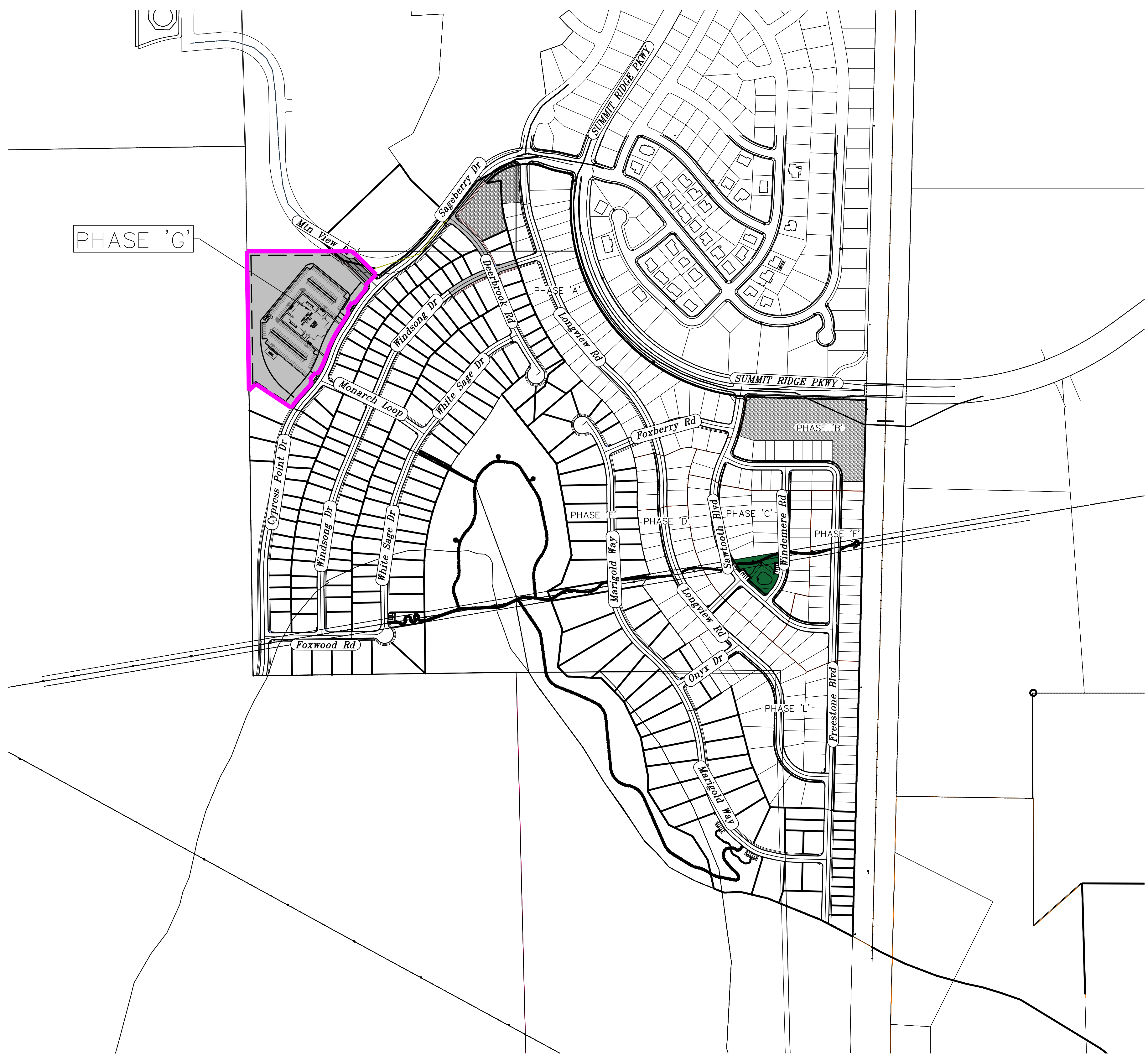
AREA BREAKDOWN	
TOTAL PLAT ACREAGE	7.73 ACRES
TOTAL LOT ACREAGE	7.33 ACRES
TOTAL ROW ACREAGE	0.40 ACRES
TOTAL OPEN SPACE	— ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	N/A
NUMBER OF LOTS	1 LOTS

**PROJECT ENGINEER & SURVEYOR**  
 REGION ENGINEERING & SURVEYING  
 1776 NORTH STATE STREET #110  
 OREM, UTAH 84057  
 PH - 801.376.2245

region Engineering & Surveying  
 1776 N. State St. #110  
 Orem, UT 84057  
 P: 801.376.2245  
 regiondesignllc.com

- ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS
- ALL TRENCH BACKFILL MUST BE A1-a MATERIAL
- FOR REQUIRED UTILITY AND TRAFFIC LOOPING, PHASES I, J AND K MUST BE BUILT CONCURRENTLY OR AFTER PHASE H IS COMPLETED
- POSTAL SERVICE BOXES WILL BE LOCATED WITHIN PHASES J & K AND WILL SERVICE THE HILLS PHASE H, I, J, K, N & O

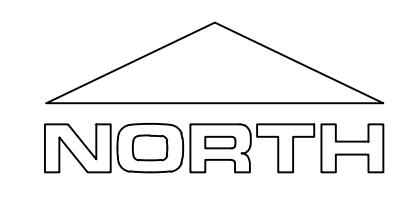
PHASE 'G'



INDEX OF PLAN SHEETS	
SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	PLAT SHEETS
UP-01	SITE & UTILITY PLANS
GR-01	GRADING PLANS
DT-01-02	TYPICAL DETAILS

- NOTES:**
- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
  - ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
  - ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND SHEET DT-02 UNLESS OTHERWISE NOTED.
  - 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND P.I. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
  - ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
  - ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
  - ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

**NOTES TO CONTRACTOR:**  
 CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



**THE HILLS @ SUMMIT RIDGE**  
**PHASE 'G'**  
 LOCATED IN PORTIONS OF SECTION 12 AND 13,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

PROJECT #

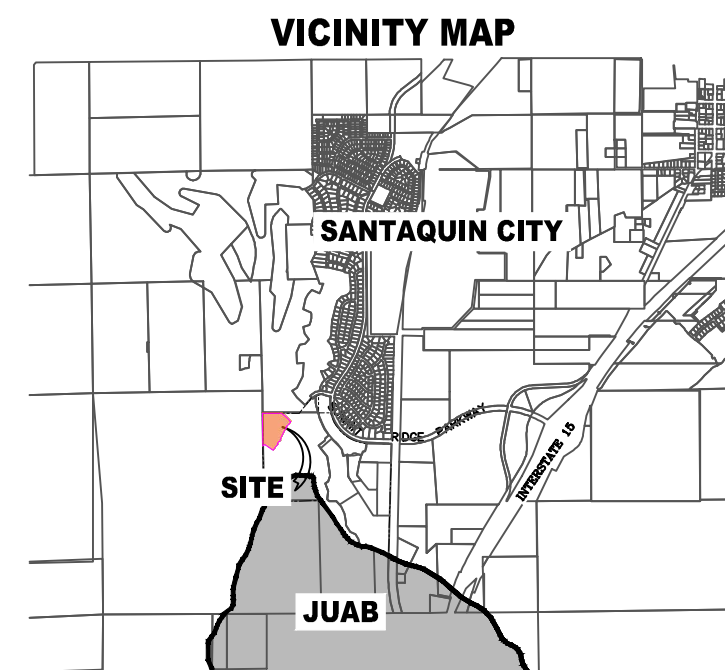
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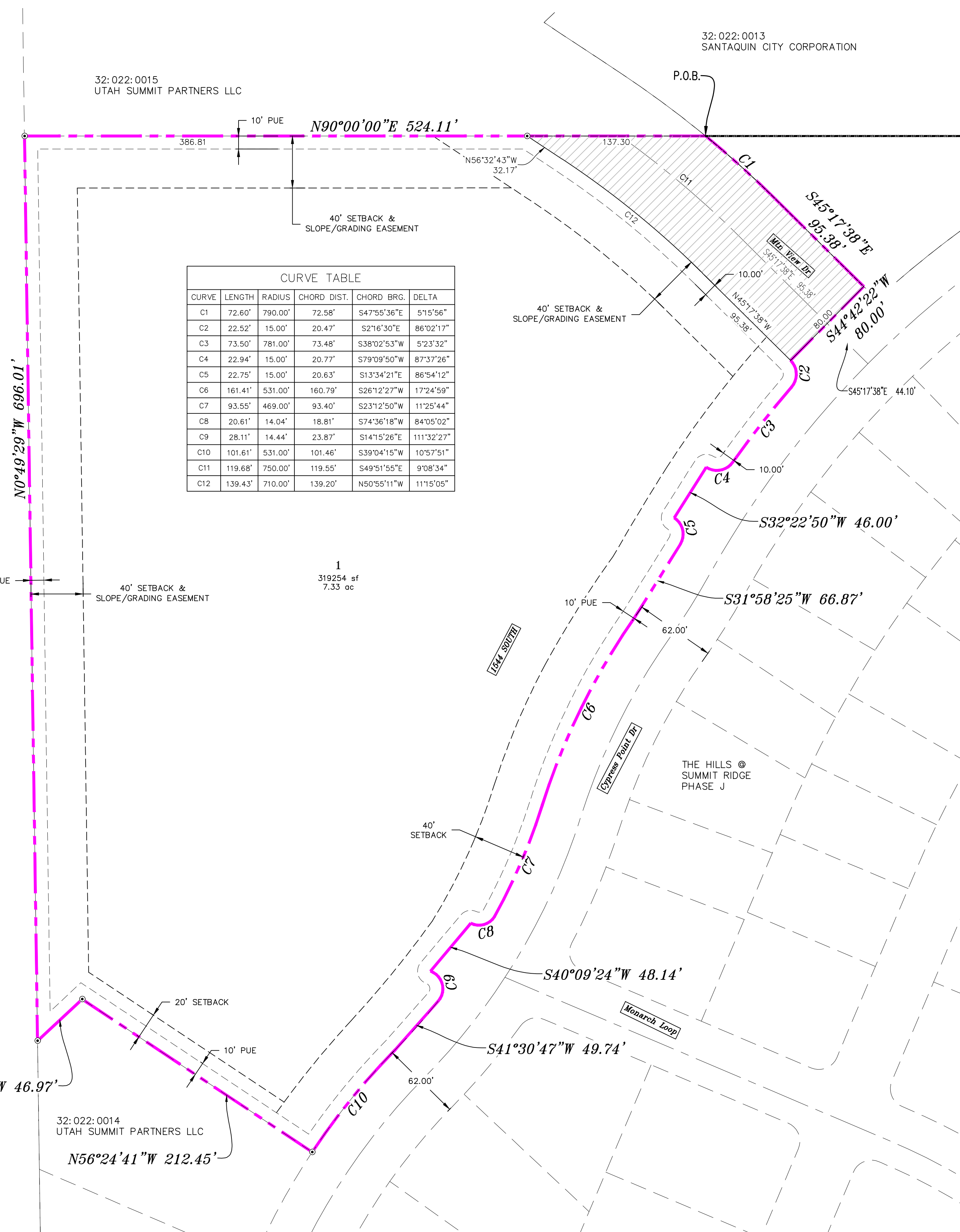
SHEET NAME:  
 COVER SHEET & NOTES

SHEET:  
 CS-01

# THE HILLS @ SUMMIT RIDGE PHASE 'G'



SW CORNER OF SECTION 10, T10S, R1E, S.L.B.&M.  
S.0°01'14"E  
546.46'  
WEST  
820.96'



CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	72.60'	790.00'	72.58'	S47°55'36"E	51°5'56"
C2	22.52'	15.00'	20.47'	S2°16'30"E	86°02'17"
C3	73.50'	781.00'	73.48'	S38°02'53"W	52°3'32"
C4	22.94'	15.00'	20.77'	S79°09'50"W	87°37'26"
C5	22.75'	15.00'	20.63'	S13°34'21"E	86°54'12"
C6	161.41'	531.00'	160.79'	S26°12'27"W	172°4'59"
C7	93.55'	469.00'	93.40'	S23°12'50"W	11°25'44"
C8	20.61'	14.04'	18.81'	S74°36'18"W	84°05'02"
C9	28.11'	14.44'	23.87'	S14°15'26"E	111°32'27"
C10	101.61'	531.00'	101.46'	S39°04'15"W	10°57'51"
C11	119.68'	750.00'	119.55'	S49°51'55"E	9°08'34"
C12	139.43'	710.00'	139.20'	N50°55'11"W	111°5'05"

32:022:0002  
UTAH STATE DEPT OF  
NATURAL RESOURCES

1  
319254 sf  
7.33 ac

**LEGEND**

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS I STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDCBU (4'x8' POSTAL EASEMENT)
- AREA DEDICATED TO SANTAQUIN CITY AS PUBLIC RIGHT OF WAY

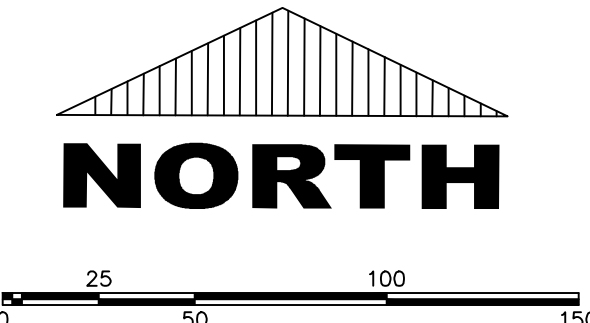
**BASIS OF BEARING**  
THE BASIS OF BEARING FOR THE HILLS @ SUMMIT RIDGE IS ON THE SECTION LINE BETWEEN THE SW CORNER OF SECTION 10 AND THE WEST 1/4 CORNER OF SECTION 15, T10S, R1E, SLB&M WITH THE BEARING BEING S0°01'14"E ALONG SAID LINE.

- NOTES:**
- TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
  - REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
  - PROPOSED RESIDENTIAL ADDRESS
  - AREA IN PARENTHESIS DENOTES BUILDABLE AREA
  - THIS SUBDIVISION IS LOCATED WITHIN A HILLSIDE OVERLAY ZONE AND ADDITIONAL GRADING PLANS ARE REQUIRED AT THE TIME OF BUILDING PERMIT APPLICATION
  - THIS PROPERTY IS LOCATED IN AN AGRICULTURAL COMMUNITY IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES ARE COMMON AND PART OF THE IDENTITY OF SANTAQUIN CITY. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED NEAR THIS PROPERTY. PROPERTY OWNERS NEED TO UNDERSTAND AND ACKNOWLEDGE THAT THEY MAY EXPERIENCE ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES. ADDITIONALLY, PROPERTY OWNERS MUST REFRAIN FROM TRESPASSING ON PRIVATE PROPERTY WHICH CAN NEGATIVELY IMPACT THE INTEGRITY OF AGRICULTURAL LANDS AND BUSINESSES.

**UTILITIES APPROVAL**

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER \_\_\_\_\_  
CENTRACOM \_\_\_\_\_  
CENTURY LINK \_\_\_\_\_



**AREA BREAKDOWN**

TOTAL PLAT ACREAGE	7.73 ACRES
TOTAL LOT ACREAGE	7.33 ACRES
TOTAL ROW ACREAGE	0.40 ACRES
TOTAL OPEN SPACE	ACRES
ZONE	PC - PLANNED COMMUNITY
DENSITY	N/A
NUMBER OF LOTS	1 LOTS

**PROJECT DEVELOPER**  
David Simpson  
801-376-1966  
Woodsprings@gmail.com  
407 N Main Street Springville, UT 84663

**PROJECT ENGINEER & SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH - 801.376.2245

**DOMINION ENERGY ACCEPTANCE**

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

DOMINION ENERGY COMPANY

BY- \_\_\_\_\_

TITLE- \_\_\_\_\_

SHEET 1 of 1

### Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

**PHASE 'G' Boundary Description**

BEGINNING AT A POINT ON A CURVE THAT IS S.0°01'14"E, A DISTANCE OF 546.46' ALONG THE SECTION LINE AND WEST 820.96' FROM THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

Said curve turning to the right through an angle of 05° 15' 56", having a radius of 790.00 feet, and whose long chord bears S 47° 55' 36" E for a distance of 72.58 feet.

Thence, S 45° 17' 38" E for a distance of 95.38 feet to a point on a line.

Thence, S 44° 42' 22" W for a distance of 80.00 feet to the beginning of a non-tangential curve.

Said curve turning to the right through 86° 02' 17", having a radius of 15.00 feet, and whose long chord bears S 02° 16' 30" E for a distance of 20.47 feet to the beginning of a non-tangential curve. Said curve turning to the left through 05° 23' 32", having a radius of 781.00 feet, and whose long chord bears S 38° 02' 53" W for a distance of 73.48 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 87° 37' 26", having a radius of 15.00 feet, and whose long chord bears S 79° 09' 50" W for a distance of 20.77 feet to a point of intersection with a non-tangential line. Thence, S 32° 22' 50" W for a distance of 46.00 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 86° 54' 12", having a radius of 15.00 feet, and whose long chord bears S 13° 34' 21" E for a distance of 20.63 feet to a point of intersection with a non-tangential line. Thence, S 31° 58' 25" W for a distance of 66.87 feet to the beginning of a non-tangential curve. Said curve turning to the left through 17° 24' 59", having a radius of 531.00 feet, and whose long chord bears S 26° 12' 27" W for a distance of 160.79 feet to the beginning of a non-tangential curve. Said curve turning to the right through 11° 25' 44", having a radius of 469.00 feet, and whose long chord bears S 23° 12' 50" W for a distance of 93.40 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 84° 05' 02", having a radius of 14.04 feet, and whose long chord bears S 74° 36' 18" W for a distance of 18.81 feet to a point of intersection with a non-tangential line. Thence, S 40° 09' 24" W for a distance of 48.14 feet to the beginning of a non-tangential curve. Said curve turning to the right through an angle of 111° 32' 27", having a radius of 14.44 feet, and whose long chord bears S 14° 15' 26" E for a distance of 23.87 feet.

Thence, S 41° 30' 47" W for a distance of 49.74 feet to the beginning of a non-tangential curve. Said curve turning to the left through an angle of 10° 57' 51", having a radius of 531.00 feet, and whose long chord bears S 39° 04' 15" W for a distance of 101.46 feet to a point of intersection with a non-tangential line. Thence, N 56° 24' 41" W for a distance of 212.45 feet to a point on a line. Thence, S 47° 03' 43" W for a distance of 46.97 feet to a point on a line. Thence, N 00° 49' 29" W for a distance of 696.01 feet to a point on a line. Thence N 90° 00' 00" E a distance of 524.11 feet to the POINT OF BEGINNING

CONTAINING 7.73 ACRES OF LAND AND 1 LOT

December 6, 2023  
DATE

ROBBIN J. MULLEN  
PROFESSIONAL LAND SURVEYOR  
No. 368356  
STATE OF UTAH

**OWNERS DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREBY AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**LIMITED COMPANY ACKNOWLEDGEMENT**

STATE OF UTAH \_\_\_\_\_ S.S.  
COUNTY OF UTAH \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED MAYOR OF SANTAQUIN \_\_\_\_\_

ATTEST: \_\_\_\_\_ CLERK-RECORDER (See Seal Below)

**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**

UTAH COUNTY, UTAH

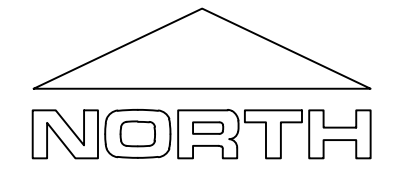
SCALE: 1" = 50 FEET

NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
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This form approved by Utah County and the municipalities therein.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. ALL BUILDING PERMITS ARE REQUIRED TO HAVE A GRADING PLAN SUBMITTED FOR REVIEW AT THE TIME THAT THE BUILDING PERMIT IS APPLIED FOR.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
7. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- ① RESIDENTIAL STREET LIGHT  
(PER SANTAQUIN CITY STANDARDS)
- ② STOP/STREET SIGN



(24"x36")  
SCALE 1" = 20'  
(11"x17")  
SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

POSTAL SERVICE BOXES WILL BE LOCATED WITHIN PHASES J & K AND WILL SERVICE THE HILLS PHASE H, I, J, K, N & O

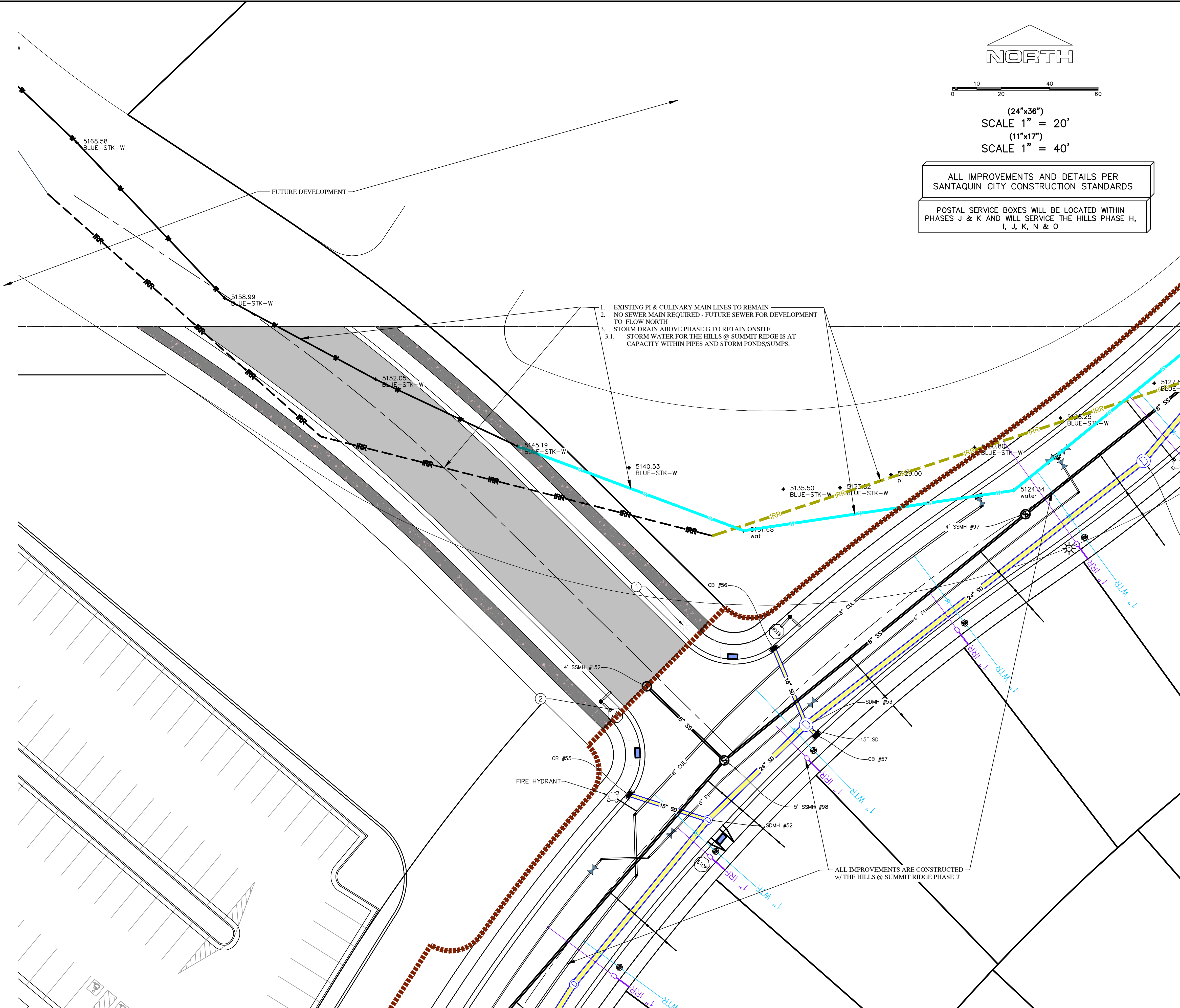
**LEGEND**

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- SD EXISTING STORM MAIN
- SS EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING PI MAIN
- EXISTING CONCRETE
- PI/WAT/SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT/PI/SEWER SERVICE LATERALS
- ☆ RESIDENTIAL STREET LIGHT
- PROPOSED VALVE (WAT/PI)
- PROPOSED SEWER MANHOLE
- PROPOSED STORM INLET/MANHOLE
- PROPOSED ADA RAMP
- PROPOSED STOP/STREET SIGN
- PROPOSED FIRE HYDRANT
- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- PUBLIC UTILITY EASEMENT
- SECTION LINE

**NOTES TO CONTRACTOR:**

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



1. EXISTING PI & CULINARY MAIN LINES TO REMAIN
2. NO SEWER MAIN REQUIRED - FUTURE SEWER FOR DEVELOPMENT TO FLOW NORTH
3. STORM DRAIN ABOVE PHASE G TO RETAIN ONSITE
- 3.1. STORM WATER FOR THE HILLS @ SUMMIT RIDGE IS AT CAPACITY WITHIN PIPES AND STORM PONDS/SUMPS.

region  
Engineering  
& Surveying

1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**THE HILLS @ SUMMIT RIDGE  
PHASE 'G'**

LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

PROJECT #

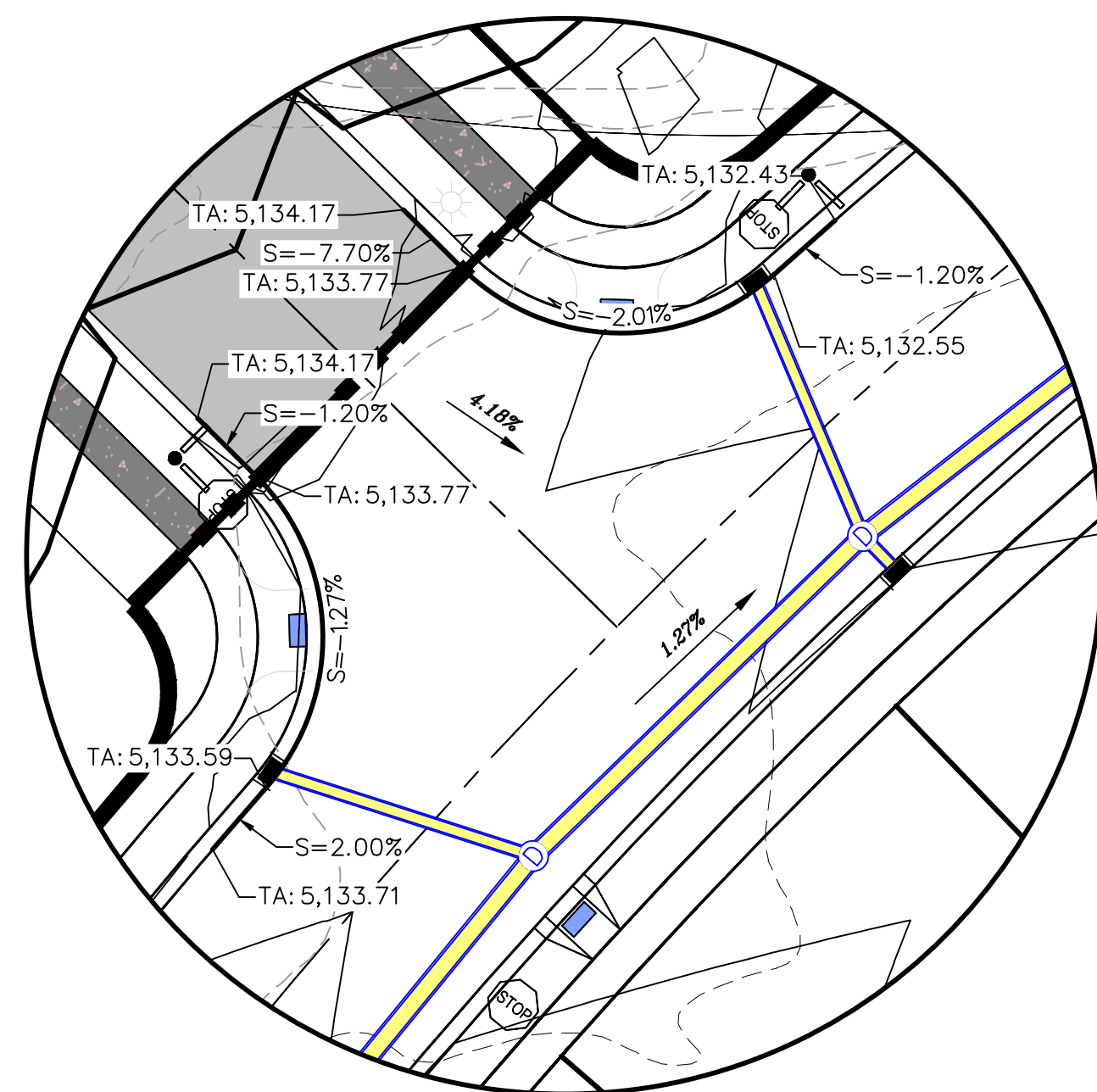
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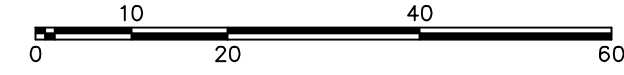
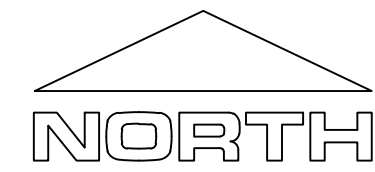
SHEET NAME:  
UTILITY PLANS

SHEET:  
UP-01

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
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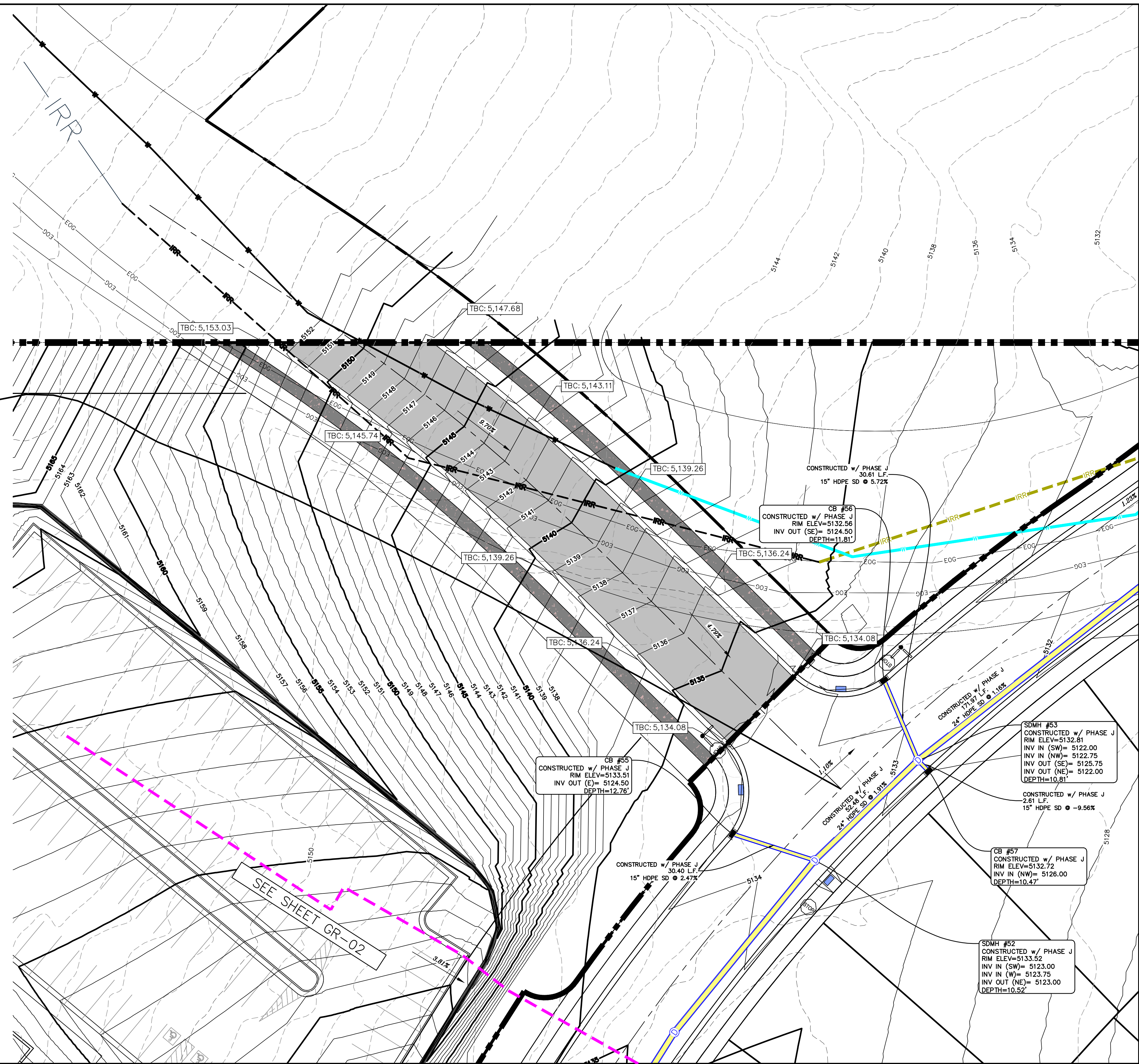


CONSTRUCTED WITH PHASE J



(24"x36")  
 SCALE 1" = 20'  
 (11"x17")  
 SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER  
 SANTAQUIN CITY CONSTRUCTION STANDARDS



SEE SHEET GR-02

**region**  
 Engineering  
 & Surveying  
 1776 N. State St. #110  
 Orem, UT 84057  
 P: 801.376.2245  
 regiondesignllc.com



**THE HILLS @ SUMMIT RIDGE**  
**PHASE 'C'**  
 LOCATED IN PORTIONS OF SECTION 12 AND 13,  
 TOWNSHIP 6 SOUTH  
 RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023

PROJECT #

REVISIONS:

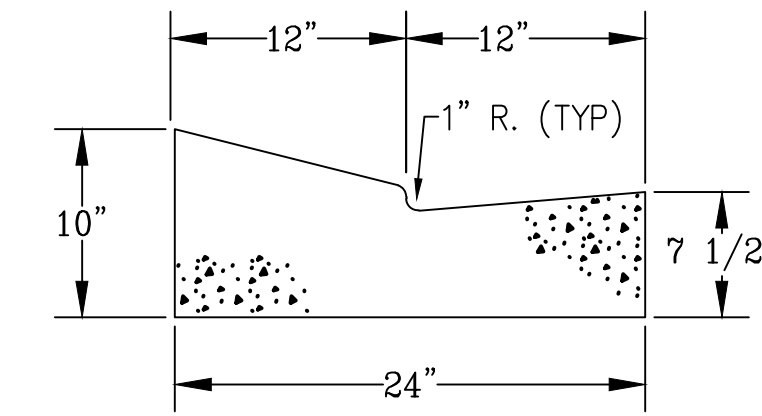
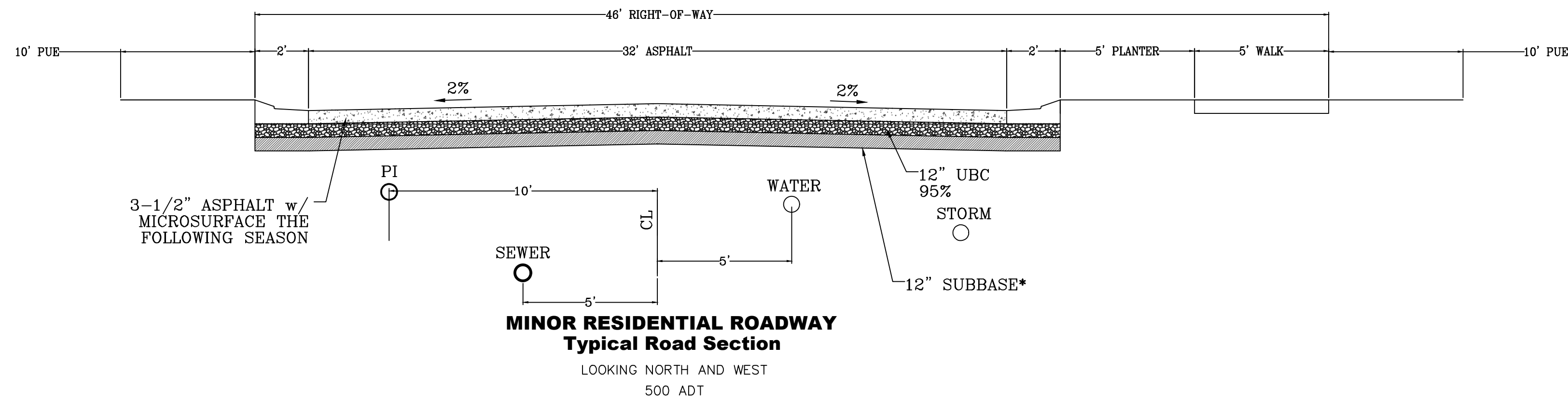
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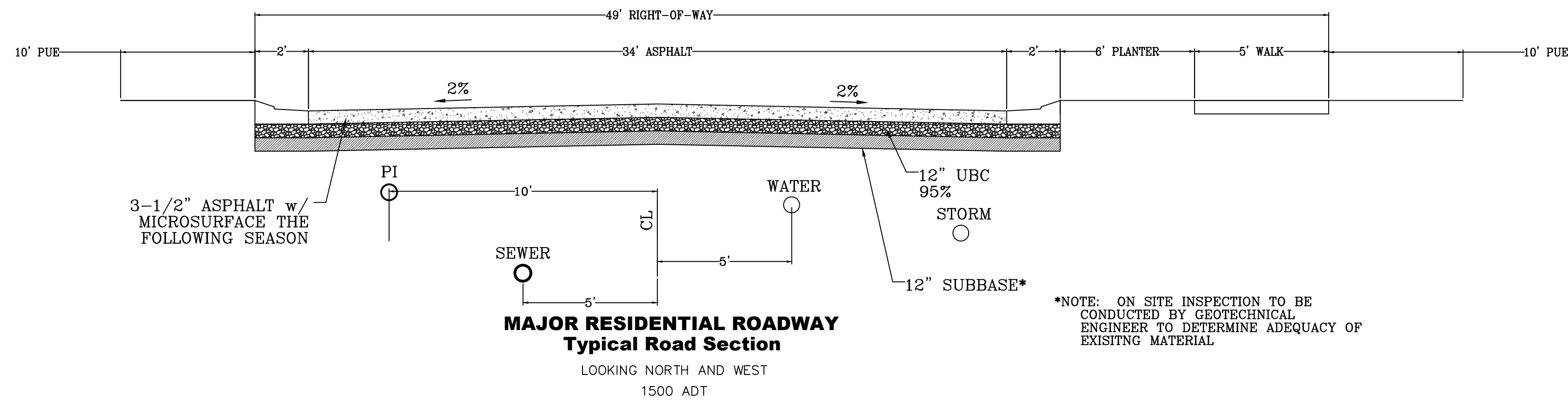
GRADING PLANS

SHEET:

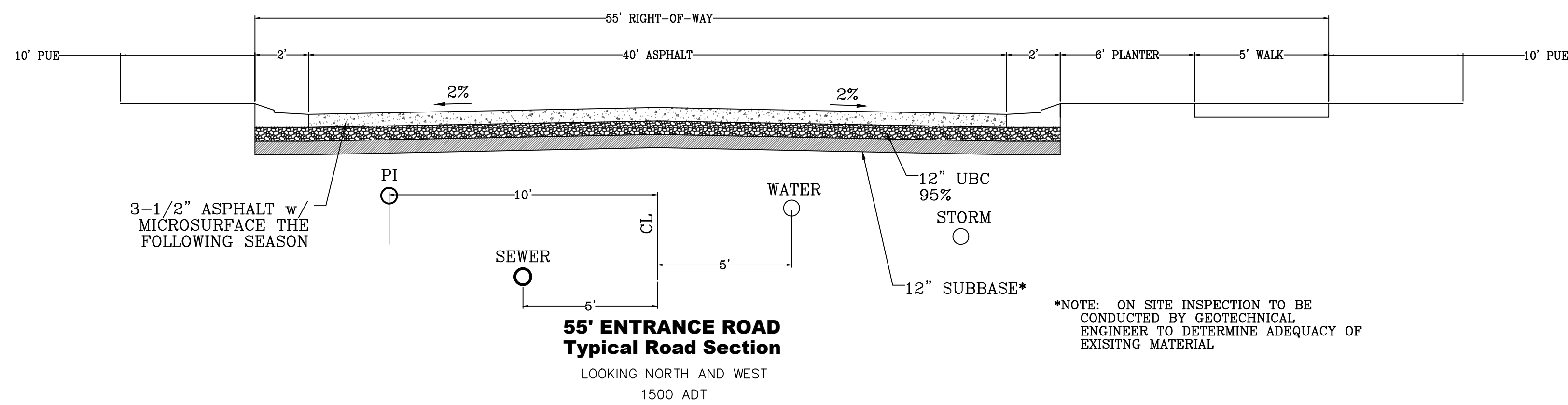
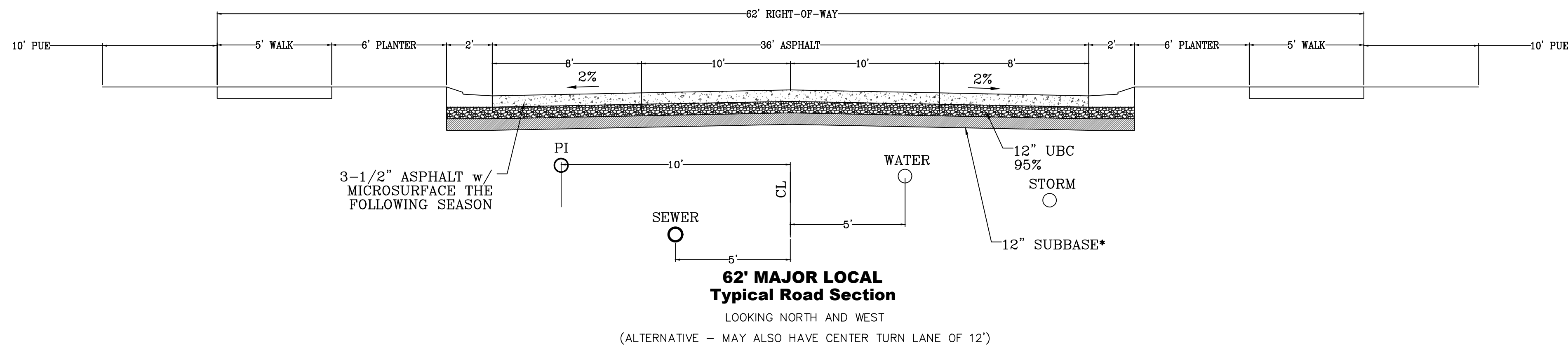
GR-01



\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL



\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL.



\*NOTE: ON SITE INSPECTION TO BE CONDUCTED BY GEOTECHNICAL ENGINEER TO DETERMINE ADEQUACY OF EXISTING MATERIAL.

region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com



**THE HILLS @ SUMMIT RIDGE  
PHASE 'C'**  
LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

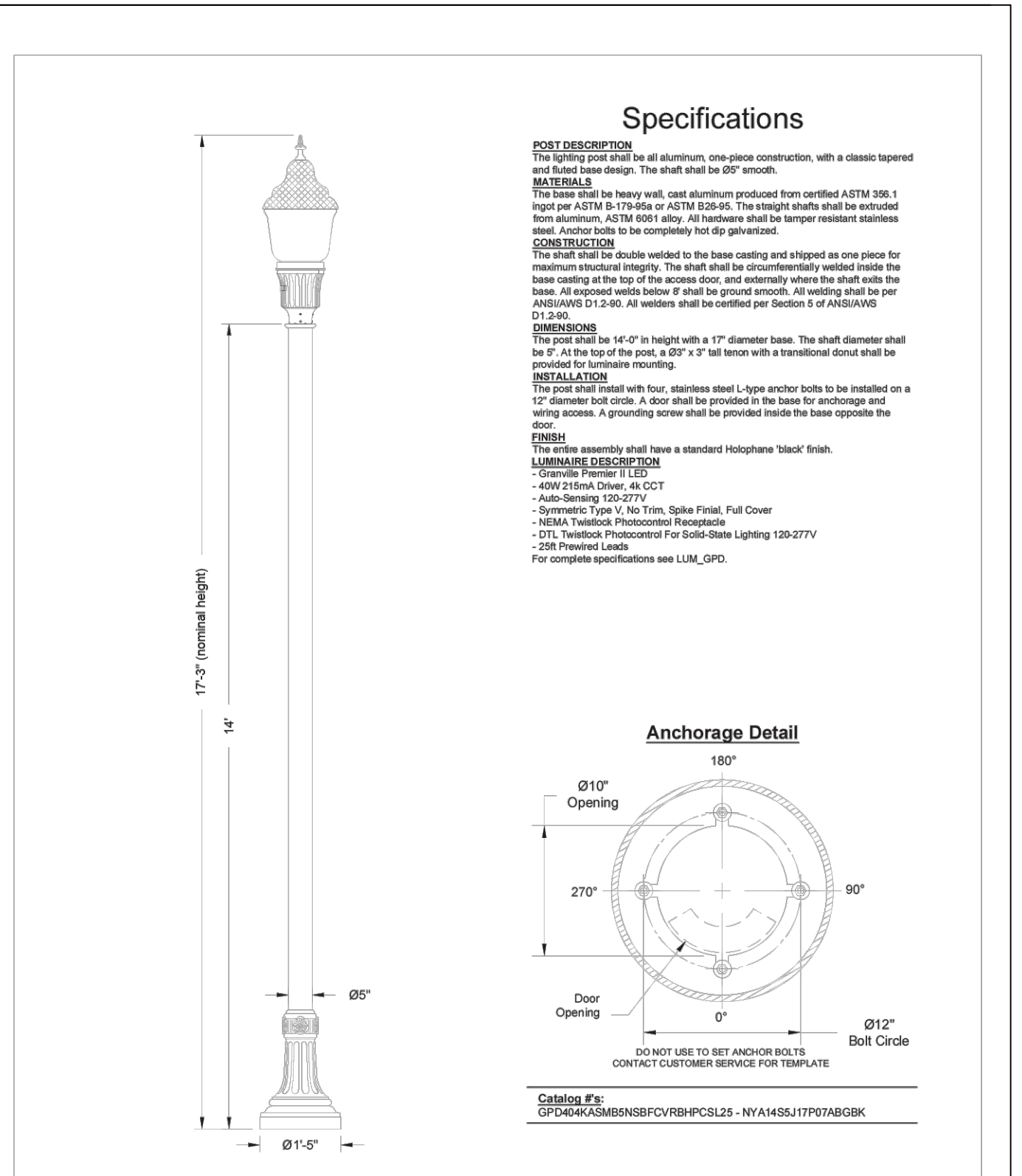
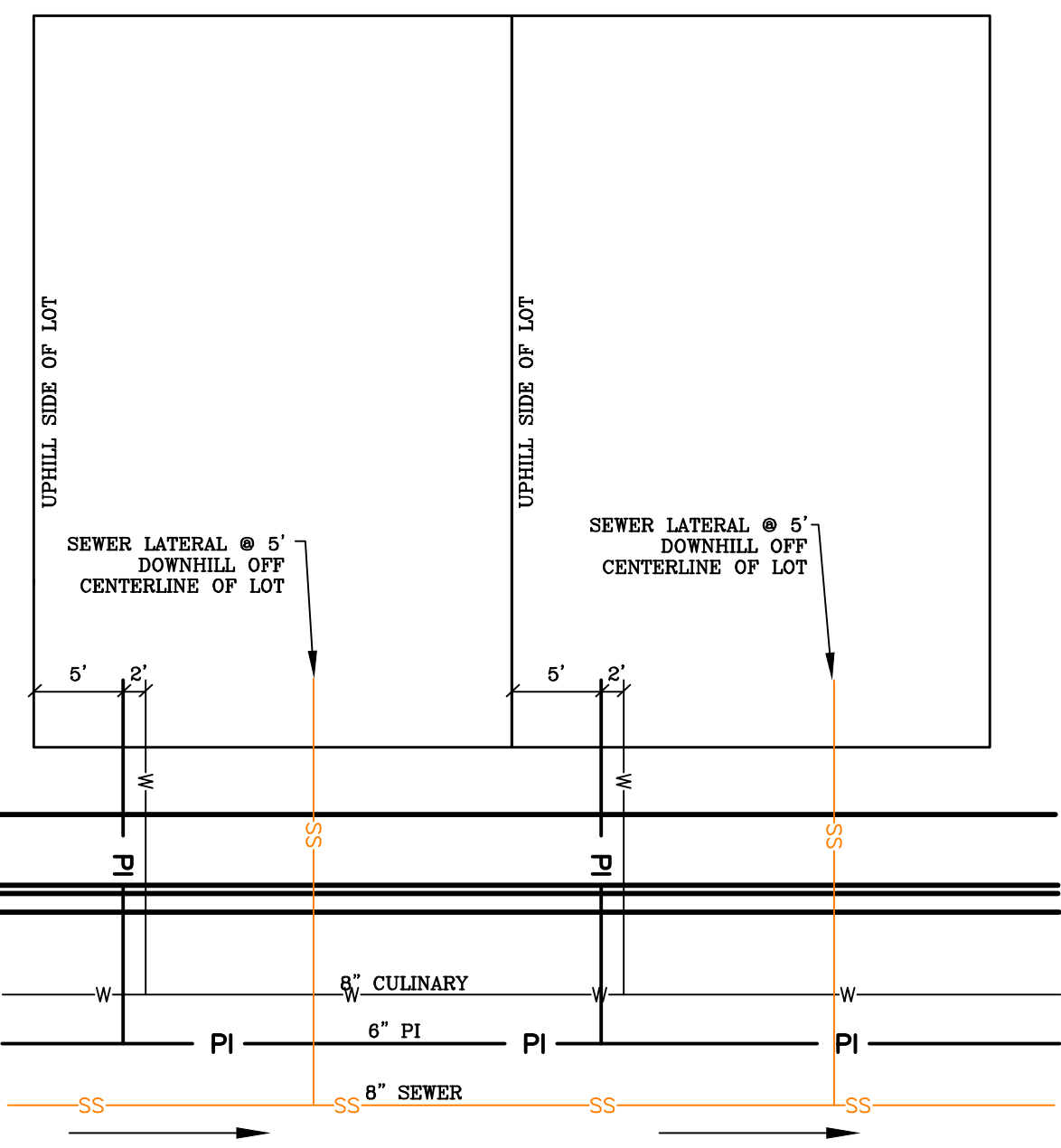
DATE: 12.6.2023  
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-01

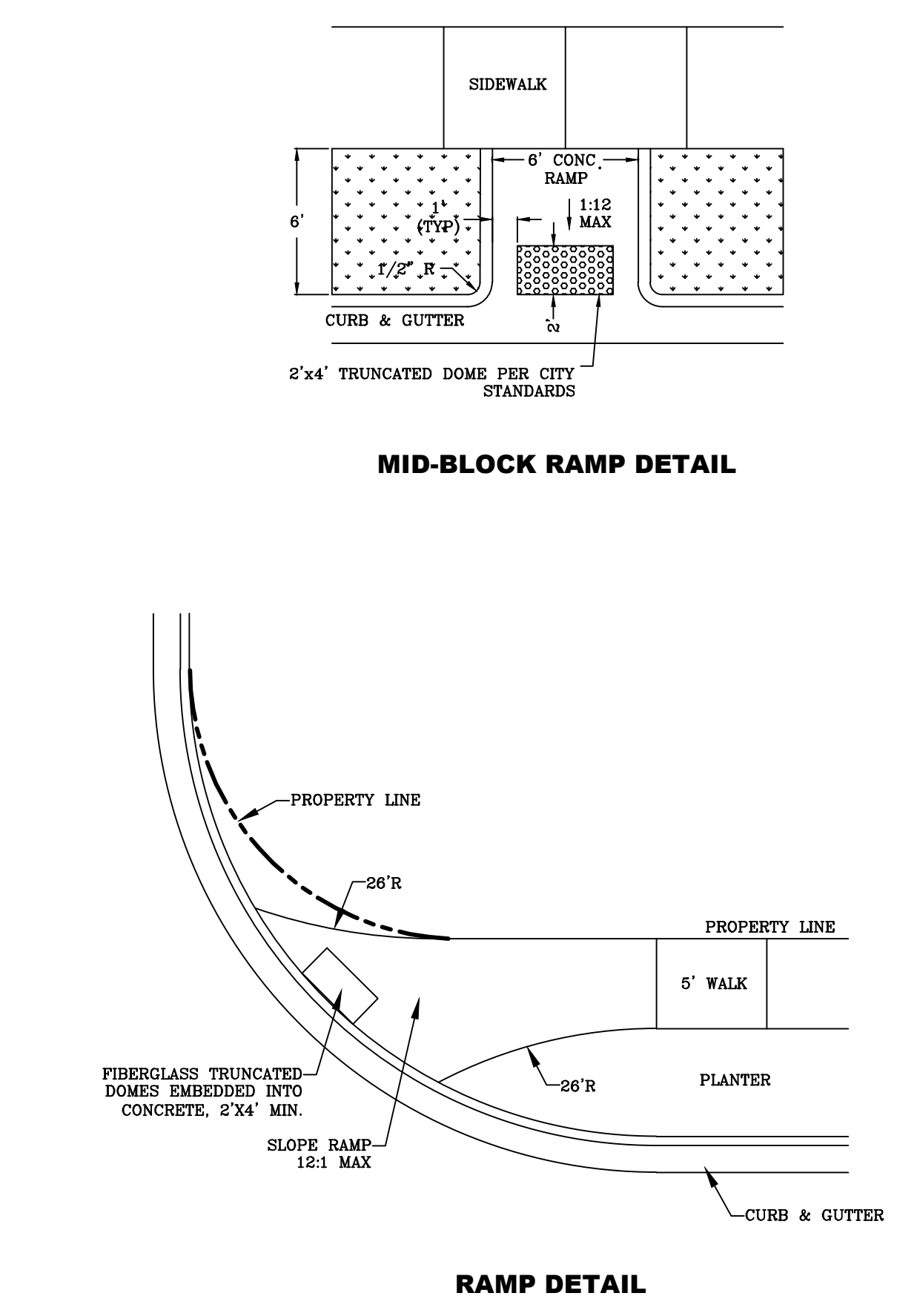
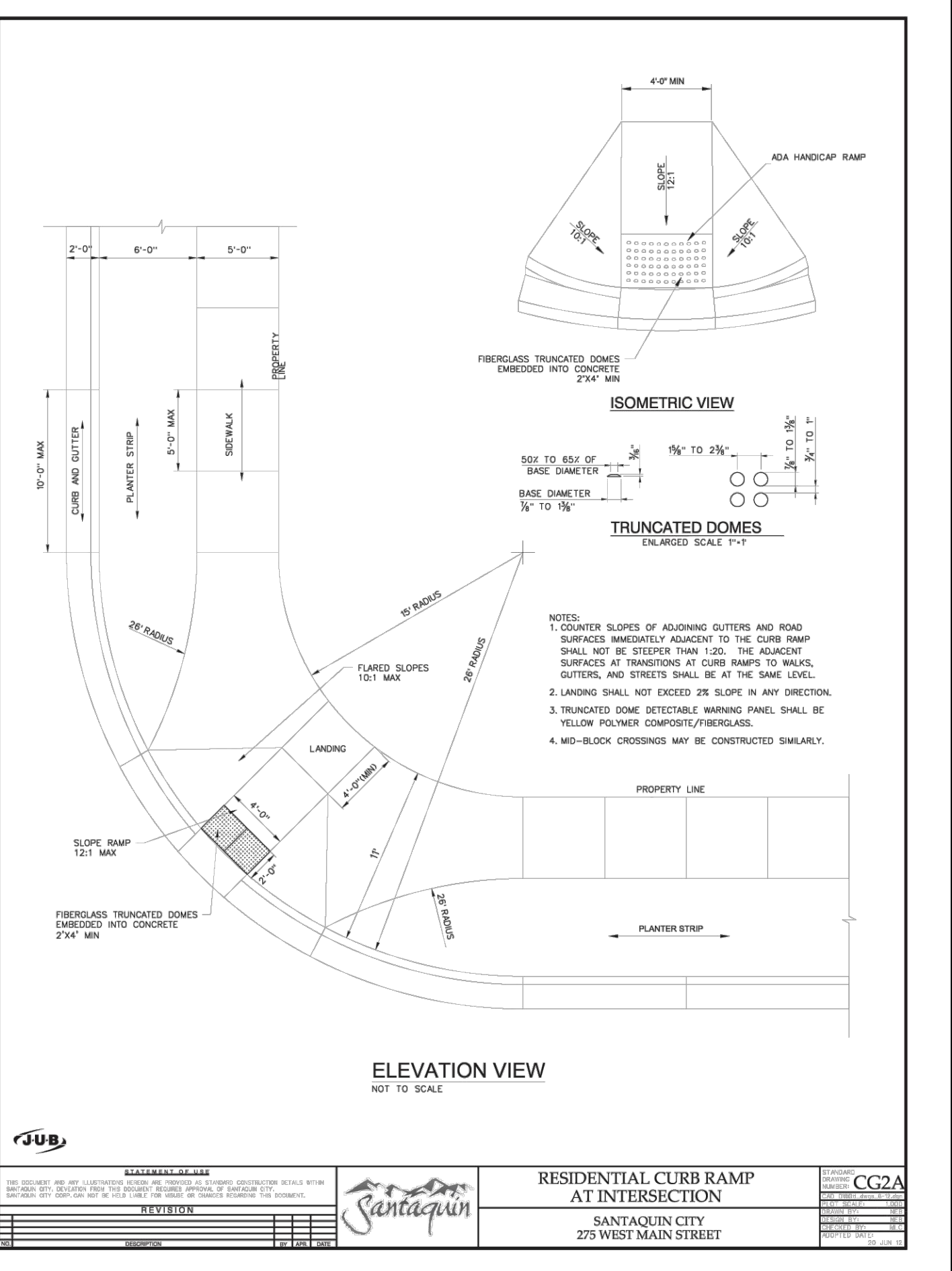




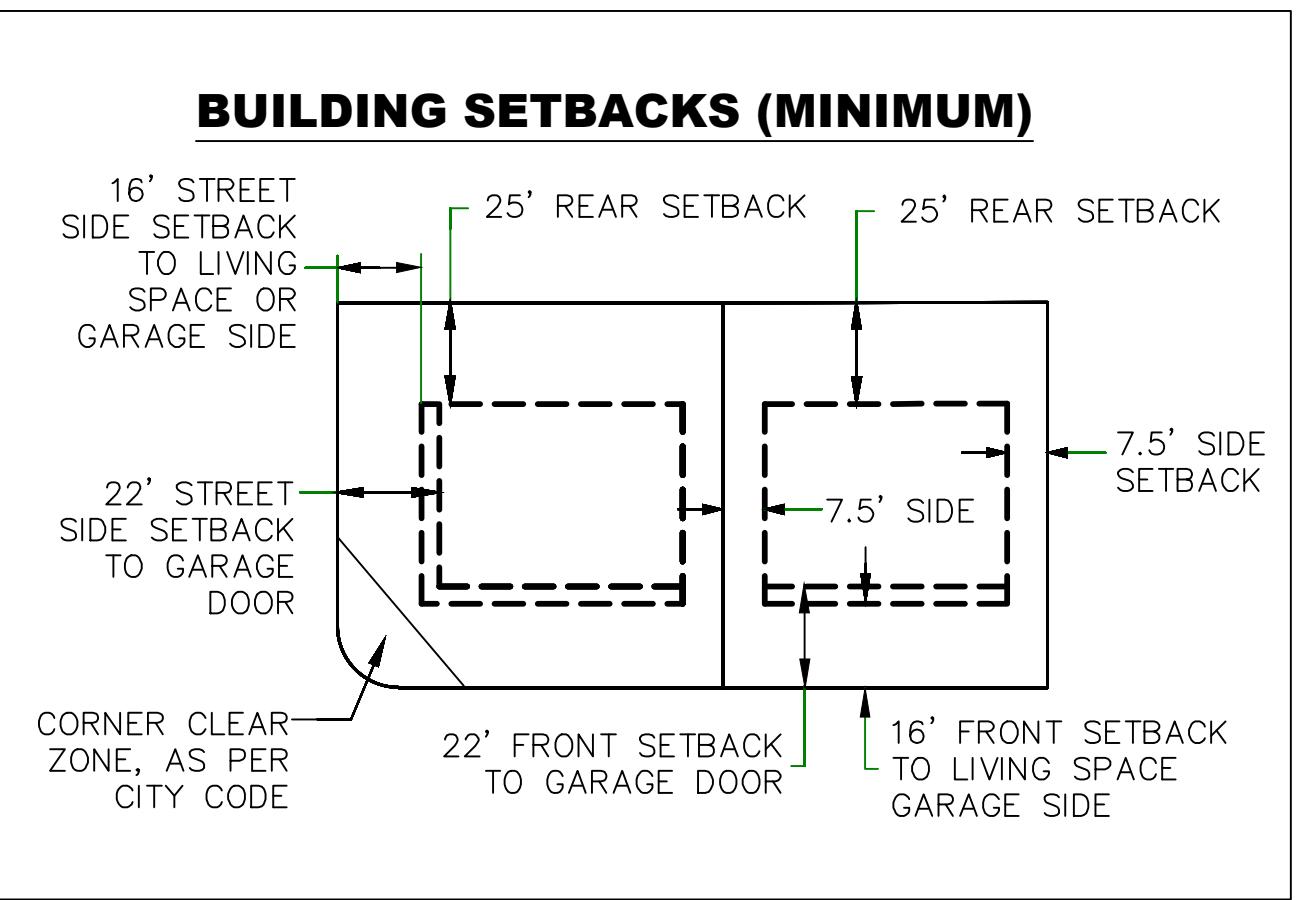
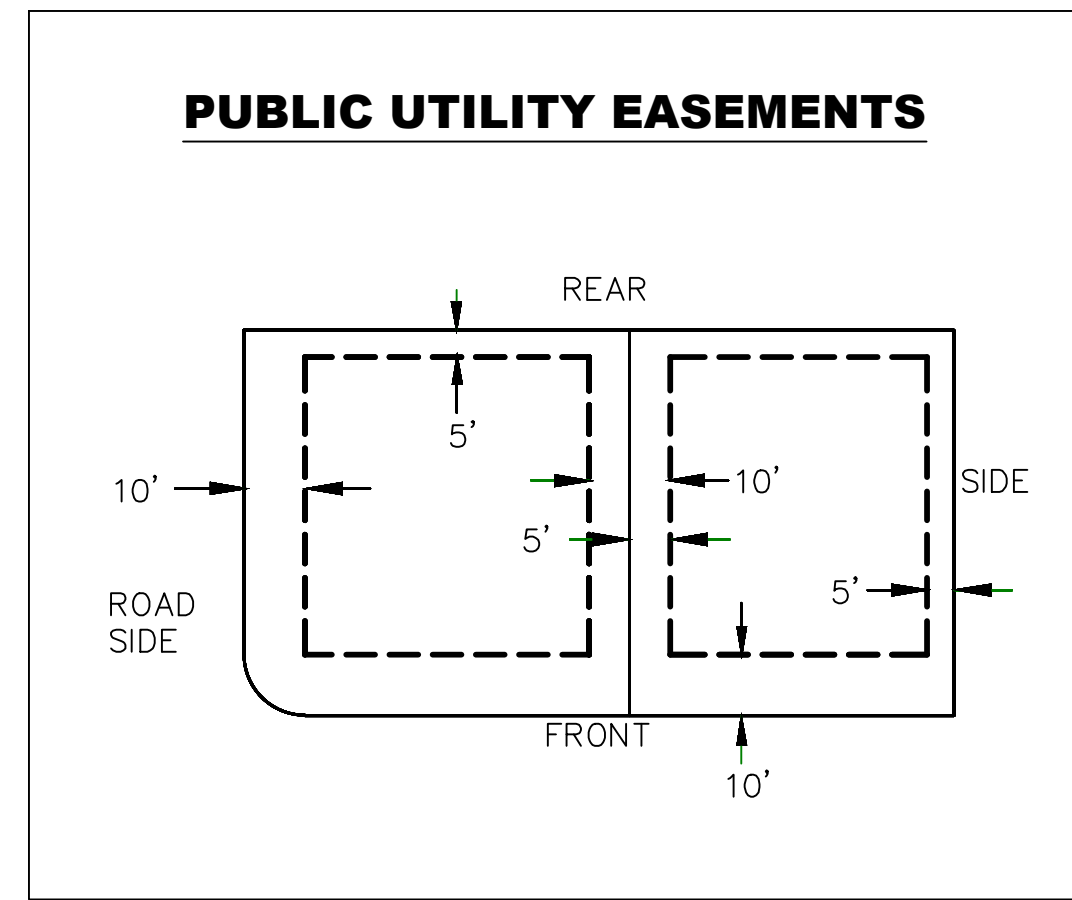
REVISIONS	DATE	BY	APP'D

**LOCAL AND COLLECTOR STREET LIGHTING DETAILS**  
SANTAQUIN CITY  
275 WEST MAIN STREET

**L1**



ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



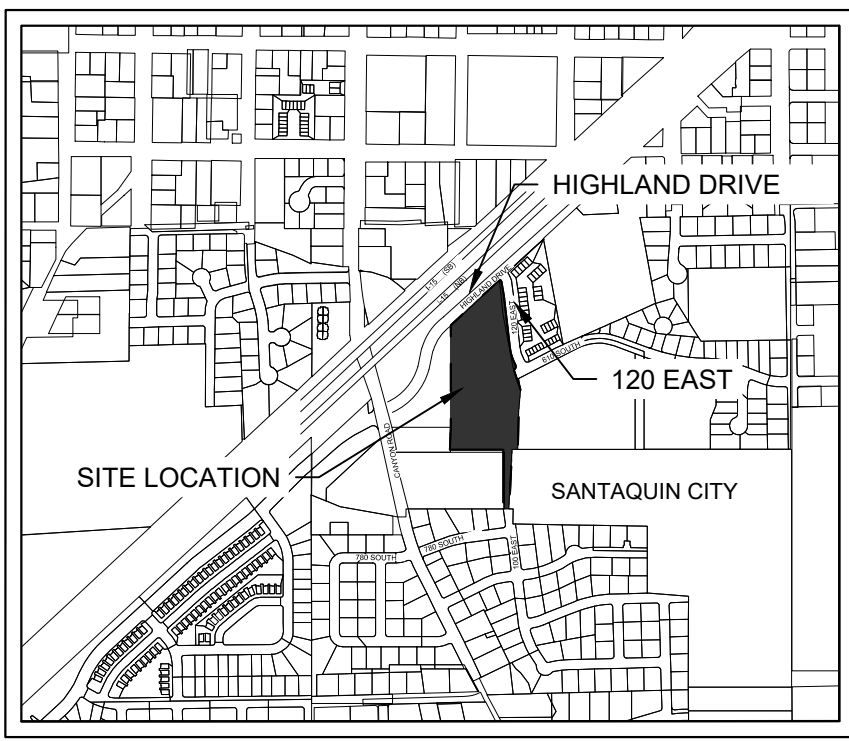
**region**  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
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**THE HILLS @ SUMMIT RIDGE**  
**PHASE 'C'**  
LOCATED IN PORTIONS OF SECTION 12 AND 13,  
TOWNSHIP 6 SOUTH  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

DATE: 12.6.2023
PROJECT #
REVISIONS:
1
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3

SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-02

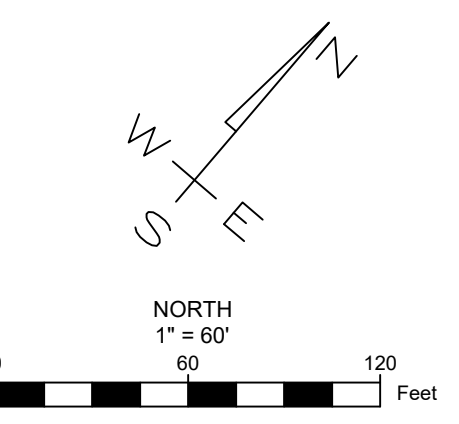
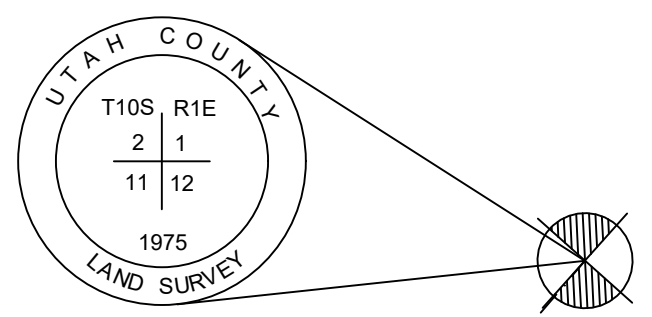


VICINITY MAP (NTS)

# CITADEL SANTAQUIN STORAGE

## UNITS PLAT "A"

SITUATE IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, SANTAQUIN, UTAH COUNTY, UTAH



### SURVEYOR'S CERTIFICATE

I, JAXON THOMAS BROWN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 13513878 IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH SECTION 17-23-17, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

### BOUNDARY DESCRIPTION

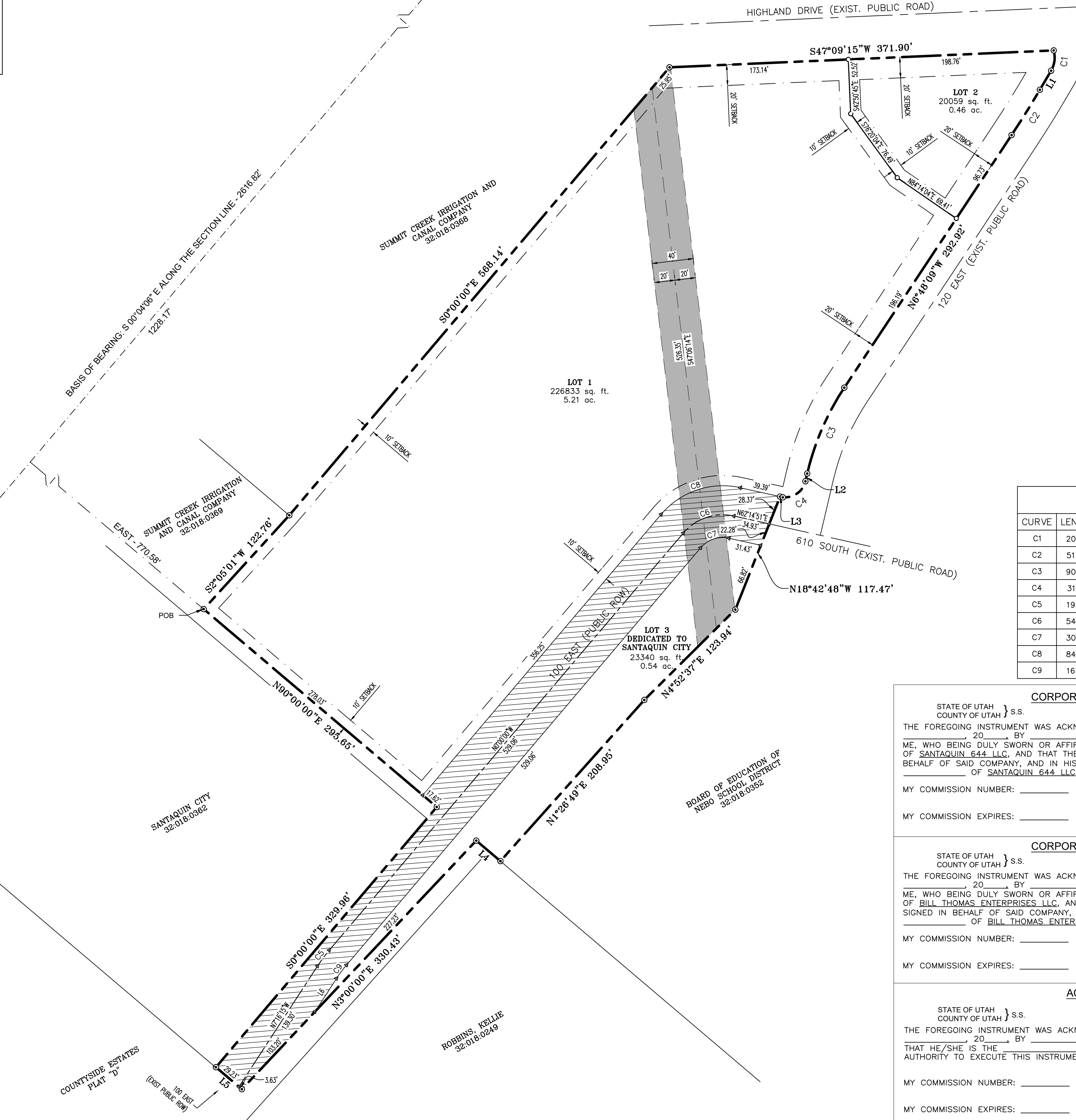
A PARCEL OF LAND SITUATE IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED 1228.17' S 00°04'06" E ALONG THE SECTION LINE AND 770.58 FEET EAST FROM THE NORTHWEST CORNER OF SAID SECTION 12, AND RUNNING THENCE N 02°05'01" E 122.76 FEET, THENCE N 00°00'00" E 568.14 FEET, THENCE N 47°09'15" E 371.90 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF 120 EAST STREET, THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING SEVEN COURSES: 1) ALONG A CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 46°29'00", HAVING A RADIUS OF 25.00 FEET, AND WHOSE LONG CHORD BEARS S 33°05'30" E FOR A DISTANCE OF 19.73 FEET, 2) S 09°50'42" E FOR A DISTANCE OF 21.43 FEET TO THE BEGINNING OF A CURVE, 3) ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 03°03'00", HAVING A RADIUS OF 969.63 FEET, AND WHOSE LONG CHORD BEARS S 08°19'25" E FOR A DISTANCE OF 51.61 FEET, 4) S 06°48'09" E 292.92 FEET TO THE BEGINNING OF A CURVE, 5) ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 20°21'00", HAVING A RADIUS OF 255.98 FEET, AND WHOSE LONG CHORD BEARS S 16°58'37" E FOR A DISTANCE OF 90.44 FEET, 6) S 27°08'55" E OF 7.71 FEET TO THE BEGINNING OF A CURVE, 7) ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 89°59'00", HAVING A RADIUS OF 20.00 FEET, AND WHOSE LONG CHORD BEARS S 17°51'00" W FOR A DISTANCE OF 28.28 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE, THENCE S 62°44'27" W 0.49 FEET, THENCE S 18°42'48" E 117.47 FEET, THENCE S 04°52'37" W 123.94 FEET, THENCE S 01°28'49" W 208.95 FEET, THENCE N 90°00'00" W 30.64 FEET, THENCE S 03°00'00" W 330.43 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF COUNTRYSIDE ESTATES PLAT D OF OFFICIAL RECORDS, THENCE ALONG SAID BOUNDARY N 89°59'34" W 32.86 FEET, THENCE N 00°00'00" E 329.96 FEET, THENCE N 90°00'00" W 295.65 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 6.98 ACRES (303,856 SQ. FT.)  
 NOTE: BASIS OF BEARING IS A MODIFIED NAD 83, UTAH CENTRAL ZONE, S 00°04'06" E ALONG THE SECTION LINE IN BETWEEN THE NORTHWEST CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 12.

### LEGEND

- ⊙ SUBDIVISION PROPERTY CORNER
- LOT CORNER (REBAR & CAP ON REAR CORNERS, MAG NAIL & WASHER SET IN CURB ON FRONT CORNERS)
- △ CALCULATED POINT (NOT SET)
- ⊕ SECTION CORNER MONUMENT (NTS)
- PROPERTY LINE
- - - LOT LINE
- ▨ PUBLIC ROAD ROW TO BE DEDICATED TO SALEM CITY, 3.20 ACRES (139,575 SQ. FT.)
- ▩ A 40' IRRIGATION EASEMENT, 20' PARALLEL EACH SIDE OF THE DESCRIBED CENTERLINE



### LINE TABLE

LINE	LENGTH	DIRECTION
L1	21.43'	N9°50'42"W
L2	7.71'	N27°08'55"W
L3	0.49'	N62°44'27"E
L4	30.64'	N90°00'00"E
L5	32.86'	S89°59'34"E
L6	38.22'	N7°16'15"W

### CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	20.28'	25.00'	19.73'	N3°05'30"W	46°29'00"
C2	51.62'	969.63'	51.61'	N8°19'25"W	3°03'00"
C3	90.92'	255.98'	90.44'	N16°58'37"W	20°21'00"
C4	31.41'	20.00'	28.28'	N17°51'00"E	89°59'00"
C5	19.03'	150.00'	19.02'	N3°38'07"W	7°16'15"
C6	54.32'	50.00'	51.69'	N31°07'25"E	62°14'51"
C7	30.42'	28.00'	28.95'	N31°07'25"E	62°14'51"
C8	84.76'	78.02'	80.66'	N31°07'25"E	62°14'51"
C9	16.24'	128.00'	16.23'	N3°38'07"W	7°16'15"

### CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH }  
 COUNTY OF UTAH } s.s.  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ WHO PERSONALLY APPEARED BEFORE ME, WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF SANTAQUIN 644 LLC, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID COMPANY, AND IN HIS/HER CAPACITY AS \_\_\_\_\_ OF SANTAQUIN 644 LLC.

MY COMMISSION NUMBER: \_\_\_\_\_ SIGNED: (A NOTARY PUBLIC COMMISSIONED IN UTAH)

MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME OF NOTARY \_\_\_\_\_

### CORPORATE ACKNOWLEDGEMENT

STATE OF UTAH }  
 COUNTY OF UTAH } s.s.  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ WHO PERSONALLY APPEARED BEFORE ME, WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF BILL THOMAS ENTERPRISES LLC, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID COMPANY, AND IN HIS/HER CAPACITY AS \_\_\_\_\_ OF BILL THOMAS ENTERPRISES LLC.

MY COMMISSION NUMBER: \_\_\_\_\_ SIGNED: (A NOTARY PUBLIC COMMISSIONED IN UTAH)

MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME OF NOTARY \_\_\_\_\_

### ACKNOWLEDGEMENT

STATE OF UTAH }  
 COUNTY OF UTAH } s.s.  
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_ OF THE \_\_\_\_\_ AND HAS AUTHORITY TO EXECUTE THIS INSTRUMENT.

MY COMMISSION NUMBER: \_\_\_\_\_ SIGNED: (A NOTARY PUBLIC COMMISSIONED IN UTAH)

MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME OF NOTARY \_\_\_\_\_

### OWNER'S DEDICATION

KNOW ALL BY THESE PRESENTS THAT WE, ALL THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 SANTAQUIN 644 LLC

\_\_\_\_\_  
 BILL THOMAS ENTERPRISES LLC

SIGNED: \_\_\_\_\_ SIGNED: \_\_\_\_\_  
 (MANAGER) (MANAGER)

BROADBENT, JARIN & JAMI AS HUSBAND & WIFE

SIGNED: \_\_\_\_\_  
 (JARIN & JAMI BROADBENT)

### ACCEPTANCE BY LEGISLATIVE BODY

THE CITY OF SANTAQUIN, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
 CITY ENGINEER  
 (SEE SEAL BELOW)

\_\_\_\_\_  
 APPROVED BY MAYOR

\_\_\_\_\_  
 ATTEST CITY RECORDER

### UTAH COUNTY RECORDER

## PLAT "A"

### CITADEL SANTAQUIN STORAGE





A STORAGE UNIT DEVELOPMENT  
 SITUATE IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, SANTAQUIN, UTAH COUNTY, UTAH  
 SCALE: 1" = 60'  
 SHEET 1 OF 1

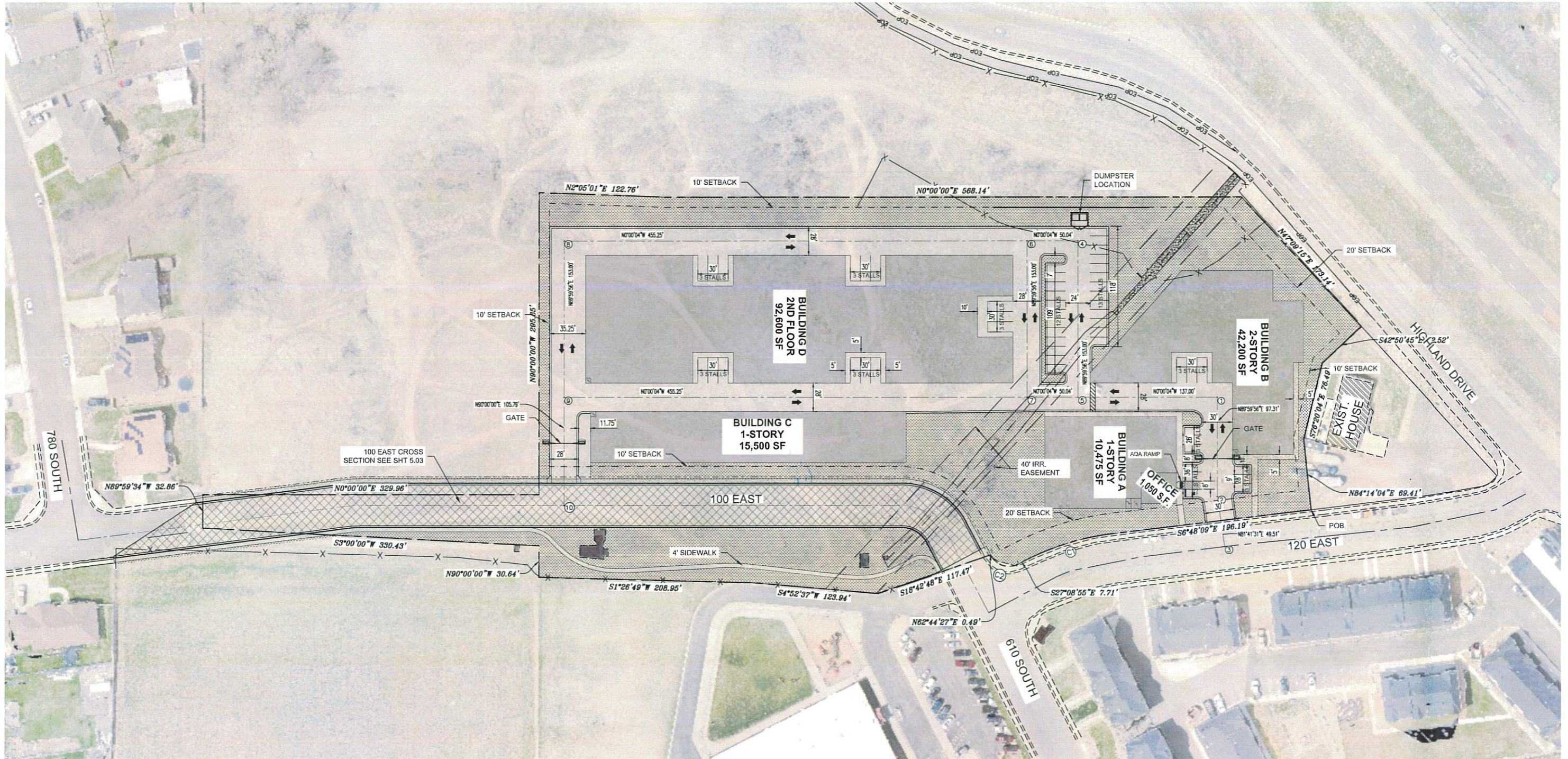
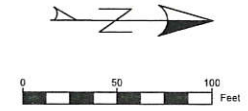
NOTARY PUBLIC SEAL      CITY ENGINEER SEAL      CLERK - RECORDER SEAL

**MW BROWN ENGINEERING, INC**  
 Office: (801) 377-1790 Fax: (801) 377-1789  
 578 East 770 North, Orem UT 84097

# CITADEL SANTAQUIN STORAGE UNITS

120 EAST HIGHLAND DRIVE  
SANTAQUIN, UTAH

-  LANDSCAPE
-  BUILDING
-  RIGHT OF WAY DEDICATED TO CITY
-  CONCRETE



Item 4.

**BROWN**  
ENGINEERING, INC.

Office: (801) 377-1790 Fax: (801) 377-1789  
578 East 770 North, Orem UT 84058

No.	Date	By	Notes

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: \_\_\_\_\_

Title: CITADEL SANTAQUIN  
Location: SANTAQUIN, UTAH  
Drawing Name: SITE PLAN

PROJECT NO. 2023  
SHEET 51  
1.00

**BOUNDARY DESCRIPTION**

A PARCEL OF LAND SITUATE IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED ON THE WESTERLY RIGHT-OF-WAY OF 120 EAST STREET, SAID POINT IS 469.22 FEET S 00°04'06" E ALONG THE SECTION LINE AND 1061.99 FEET EAST FROM THE NORTHWEST CORNER OF SAID SECTION 12, AND RUNNING THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING FIVE COURSES: 1) S 06°48'09" E 196.19 FEET TO THE BEGINNING OF A CURVE, 2) ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 20°21'00", HAVING A RADIUS OF 255.98 FEET, AND WHOSE LONG CHORD BEARS S 16°56'37" E 90.44 FEET, 3) S 27°08'55" E 7.71 FEET TO THE BEGINNING OF A CURVE, 4) ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 89°59'00", HAVING A RADIUS OF 20.00 FEET, AND WHOSE LONG CHORD BEARS S 17°51'00" W 28.26 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE, 5) S 62°44'27" W 0.49 FEET, THENCE S 16°42'48" E 117.47 FEET, THENCE S 04°52'37" W 123.94 FEET, S 01°26'49" W 208.95 FEET, THENCE N 90°00'00" W 30.64 FEET, THENCE S 03°00'00" W 330.43 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF COUNTRYSIDE ESTATES PLAT D OF OFFICIAL RECORDS, THENCE ALONG SAID BOUNDARY N 89°59'34" W 32.86 FEET, THENCE N 00°00'00" E 329.96 FEET, THENCE N 90°00'00" W 295.65 FEET, THENCE N 02°05'01" E 122.76 FEET, THENCE N 00°00'00" E 568.14 FEET, THENCE N 47°09'15" E 173.14 FEET, THENCE S 42°50'45" E 52.52 FEET, THENCE S 76°20'04" E 76.49 FEET, THENCE N 84°14'04" E 68.41 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 6.52 ACRES (283,797 SQ. FT.)

NOTE: BASIS OF BEARING IS A MODIFIED NAD 83, UTAH CENTRAL ZONE, S 60°04'06" E ALONG THE SECTION LINE IN BETWEEN THE NORTHWEST CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 12.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	90.92'	255.98'	90.44'	N16°58'37"W	20°21'00"
C2	31.41'	20.00'	28.28'	N17°51'00"E	89°59'00"

**Point Table**

Point #	Northing	Eastings
1	7156589.8180	1561188.3463
2	7156589.8199	1561285.6523
3	7156596.9733	1561334.6395
4	7156452.8150	1561035.3491
5	7156452.8180	1561188.3490
6	7156402.7742	1561035.3500
7	7156402.7772	1561188.3500
8	7155947.5230	1561035.3589
9	7155947.5260	1561188.3589
10	7155947.5280	1561294.1511

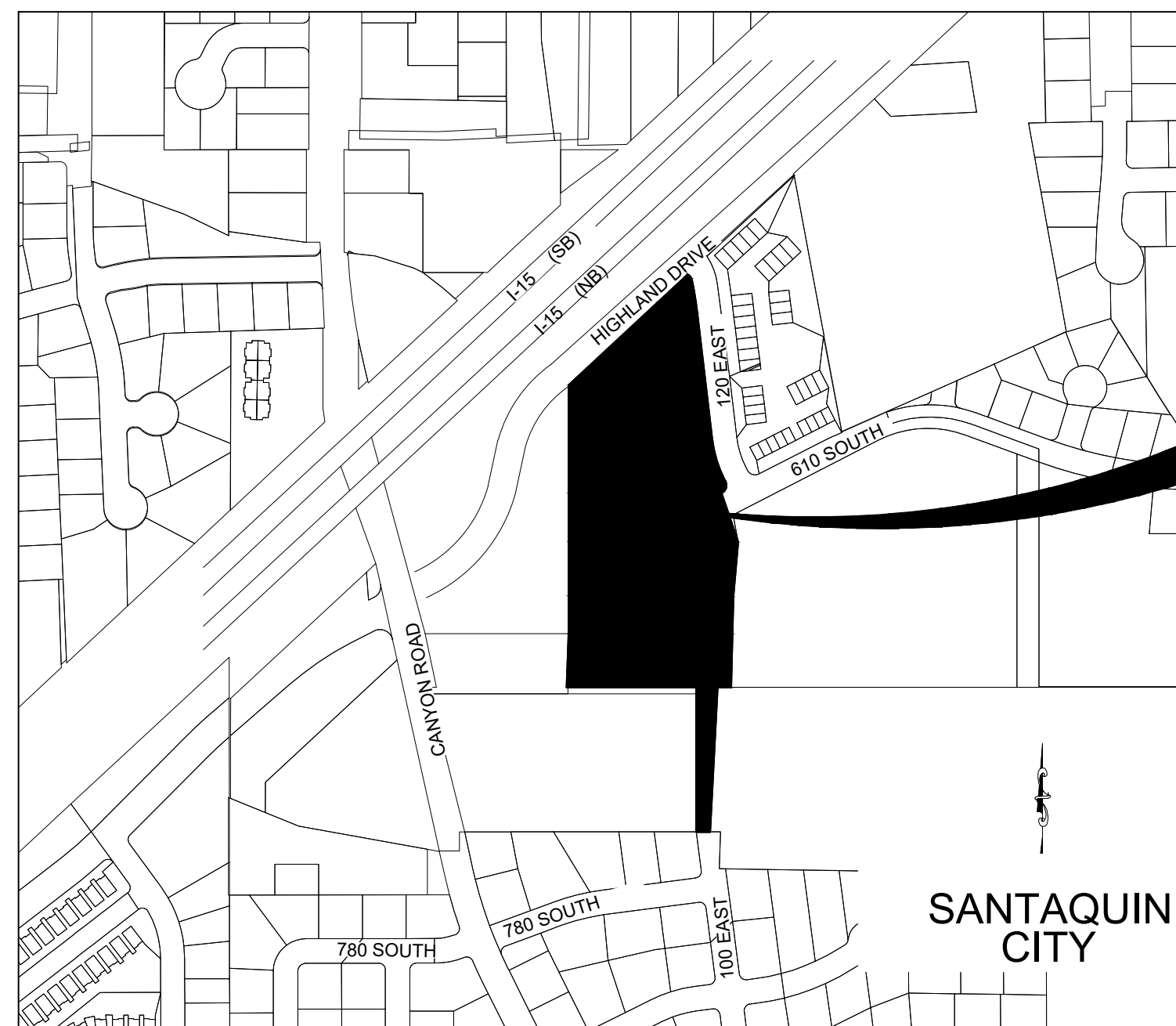
**GENERAL NOTES**

1. EXISTING WATER, SANITARY, AND STORM SEWER LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS SPECIFICALLY AT CONNECTION POINTS AND AT POTENTIAL POINTS OF CONFLICT. ALL INFORMATION SHALL BE SUPPLIED TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - (A) CONTRACTOR SHALL OBTAIN ALL PERMITS FOR STREET CUTS, UTILITIES CONSTRUCTION AND GRADING. THE COST OF ALL PERMITS SHALL BE INCLUDED AS PART OF THE CONTRACTOR'S BID INCLUDING, BUT NOT LIMITED TO THE NOI & NOT PERMITS AND ASSOCIATED SWPPP.
  - (B) COORDINATING WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
  - (C) ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRENCH EXCAVATION AND SHORINGS, TRAFFIC CONTROL, AND SECURITY.
  - (D) COORDINATING ALL WORK AND INSPECTIONS AS REQUIRED BY THE CITY OR THE STATE.
  - (E) OBTAINING NECESSARY PERMITS FROM UDOT FOR ALL WORK IN AND ADJACENT TO UDOT RIGHT-OF-WAY.
  - (F) RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. AS-BUILTS SHALL INCLUDE UNDERGROUND UTILITIES AS WELL AS ANY FIELD MODIFICATIONS OF THE PLANS.
  - (G) KEEPING ADJACENT STREETS FREE AND CLEAN OF ALL DEBRIS AND DIRT FROM THE JOB SITE.
3. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
4. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE CITY, COUNTY, OR STATE RIGHT-OF-WAYS. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND AS MODIFIED BY THE UDOT SUPPLEMENT TO THE MUTCD. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.
5. TWO WORKINGS DAYS BEFORE YOU DIG, GRADE, OR EXCAVATE, CALL THE UTILITY NOTIFICATION CENTER OF UTAH FOR THE MARKING OF MEMBER UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS ARE PLOTTED BASED ON AVAILABLE INFORMATION. M.W. BROWN ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, AND REPAIR OF ANY EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ANY UTILITY DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE SANTAQUIN CITY STANDARD SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL HAVE COPIES OF CITY AND STATE SPECIFICATIONS ON THE SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL UTILITY COMPANIES INVOLVED AND THE CITY OF SANTAQUIN WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OR EXISTING UTILITIES DURING CONSTRUCTION TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE.
8. ADVANCE COORDINATION BY THE CONTRACTOR TO ALL UTILITY COMPANIES INVOLVED SHALL BE REQUIRED FOR ANY SERVICE INTERRUPTIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER, PROJECT MANAGER AND THE UTILITY COMPANY 48 HOURS PRIOR TO START OF CONSTRUCTION. NO UTILITY TAPS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE UTILITY COMPANY AND THE CITY.
9. MAINTAIN 10-FOOT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER PIPELINES.
10. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
11. CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY BUILDING INSPECTION DEPARTMENT 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH UTILITY COMPANIES TO OBTAIN TEMPORARY POWER AND TELEPHONE SERVICE DURING CONSTRUCTION. ALL COSTS FOR TEMPORARY SERVICES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR COMPLETION OF INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED BY NOTE TO BE "PROVIDED", "INSTALLED" OR "CONSTRUCTED" UNLESS SPECIFICALLY NOTED OTHERWISE.
14. CONTRACTOR WILL HAVE A COPY OF APPROVED SOILS REPORTS FOR PAVEMENT DESIGN AND COMPACTION REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT AND SHALL SUBMIT A PAVEMENT DESIGN TO THE PAYSON CITY ENGINEERING DEPARTMENT PRIOR TO ANY PAVING.
15. SUBGRADE DENSITY SHALL BE TESTED BY A PRIVATE SOILS TESTING FIRM AND APPROVED BY THE SOILS ENGINEER PRIOR TO INSTALLING BASE COURSE OR CONCRETE. BASE COURSE DENSITY SHALL ALSO BE TESTED BY THE PRIVATE SOILS FIRM AND APPROVED BY THE SOILS ENGINEER PRIOR TO INSTALLING PAVEMENT.
16. THESE GENERAL NOTES SHALL BE APPLICABLE TO ALL SHEETS WITHIN THIS SET OF DRAWINGS.
17. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES. EACH SUBCONTRACTOR (INCLUDING THE SURVEYOR) SHALL HAVE A SIGNED COPY OF THE PLANS AND THE APPROPRIATE STANDARDS AND SPECIFICATIONS IN HIS POSSESSION AT ALL TIMES WHEN IMPROVEMENTS ARE BEING INSTALLED.
18. THE SITE WORK SHALL MEET OR EXCEED THE LATEST EDITION OF THE CITY DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. THE CONTRACTOR SHALL HAVE A COPY OF THE STANDARDS ON SITE AT ALL TIMES.
19. BENCHMARK VERIFICATION: CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
20. COORDINATES ARE GIVEN TO AID THE CONTRACTOR/SURVEYOR IN LOCATING PROPOSED IMPROVEMENTS. THE CONTRACTOR/SURVEYOR IS RESPONSIBLE FOR CHECKING THE LOCATIONS OF IMPROVEMENTS LAID OUT WITH COORDINATES USING DIMENSIONS AND OFFSETS GIVEN. IF A PERTINENT DIMENSION OR OFFSET IS NOT SHOWN ON THE PLAN, CONTACT THE ENGINEER FOR INFORMATION.

# CITADEL SANTAQUIN STORAGE UNITS CONSTRUCTION PLANS

120 East Highland Drive  
Santaquin, Utah

NOVEMBER 03, 2023



VICINITY MAP

**CITY NOTES:**

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

ARCHITECT:  
JORDAN ARCHITECTS  
DAVID MEINECKE  
949-388-8090  
131 CALLE IGLESIA, SUITE 100  
SAN CLEMENTE, CALIFORNIA 92672

GEOTECHNICAL ENGINEER:  
CMT TECHNICAL SERVICES  
JEFFREY EGBERT, P.E.  
801-810-8193  
496 E 1750 N SUITE B  
VINEYARD, UTAH 84057

ENGINEER:  
M.W. BROWN ENGINEERING  
MATT W. BROWN P.E.  
801-377-1790  
578 EAST 770 NORTH  
OREM, UTAH 84097

OWNER:  
RIDGEPOINT MANAGEMENT GROUP, LLC  
HEATH JOHNSTON  
801-764-9191  
947 SOUTH 500 EAST #100  
AMERICAN FORK, UTAH 84003

INDEX OF SHEETS	
SHEET	DESCRIPTION
CV	COVER
0.00	EXISTING CONDITIONS
1.00	SITE PLAN
1.01	GRADING PLAN
1.02	UTILITY PLAN
2.00-2.09	PLAN & PROFILE SHEETS
2.10-2.11	SD PROFILES
3.00	SCI&CC IRRIGATION PLAN & PROFILE
4.00-4.01	RETAINING WALL PLAN SHEETS
5.00-5.05	DETAIL SHEETS

SITE INFORMATION	
DESCRIPTION	PROJECT DATA
TYPE OF BLDG	Self Storage
TYPE OF CONSTRUCTION	Type IIB
TYPE OF OCCUPANCY	S-1
NUMBER OF STORIES	1 & 2
FIRE SUPPRESSION	NFPA-13 Sprinkler System

SITE TABULATIONS		
DESCRIPTION	SQ. FT.	ACRES
PARCEL SIZE	303,856	6.98
PARKING LOT AREA	63,099	1.45
LANDSCAPE AREA	83,622	1.92
STREET RW	32,863	0.75
CONC. WALK AREAS	8,976	0.21

BUILDING AREA TABULATIONS (SF)			
BUILDING	SELF STORAGE	OFFICE	TOTAL
BLDG A - 1 STORY	10,475	1,050	11,525
BLDG B - 2 STORY	42,200		42,200
BUILDING C - 1 STORY	15,500		15,500
BUILDING D - 2 STORY	92,600		92,600
TOTAL GROSS AREA	160,025	1,050	161,075

PARKING TABULATIONS		
DESCRIPTION	REQUIRED	PROVIDED
OFFICE SPACE	4*	6
ADA	1	1**
TOTAL PARKING		52
* 1 STALL / 300 SF (1,050 SF PROPOSED)		
** INCLUDES 1 VAN ACCESSIBLE STALLS		

Item 4

No.	Date	By	Notes

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: \_\_\_\_\_

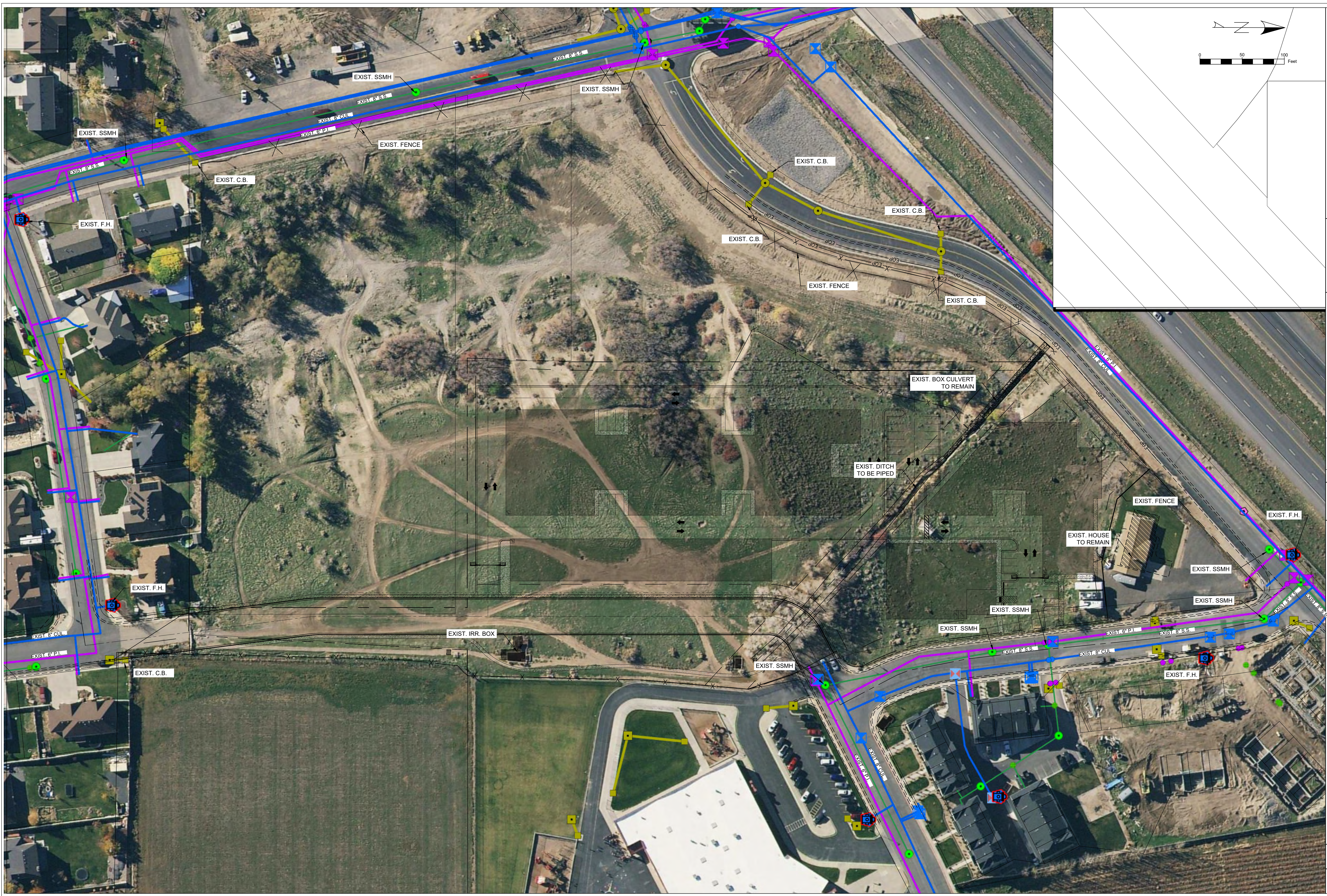
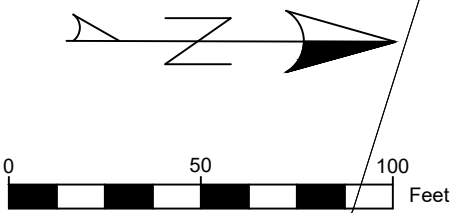
Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: COVER SHEET

PROJECT NO.  
2023.018

SHEET NO.  
CV

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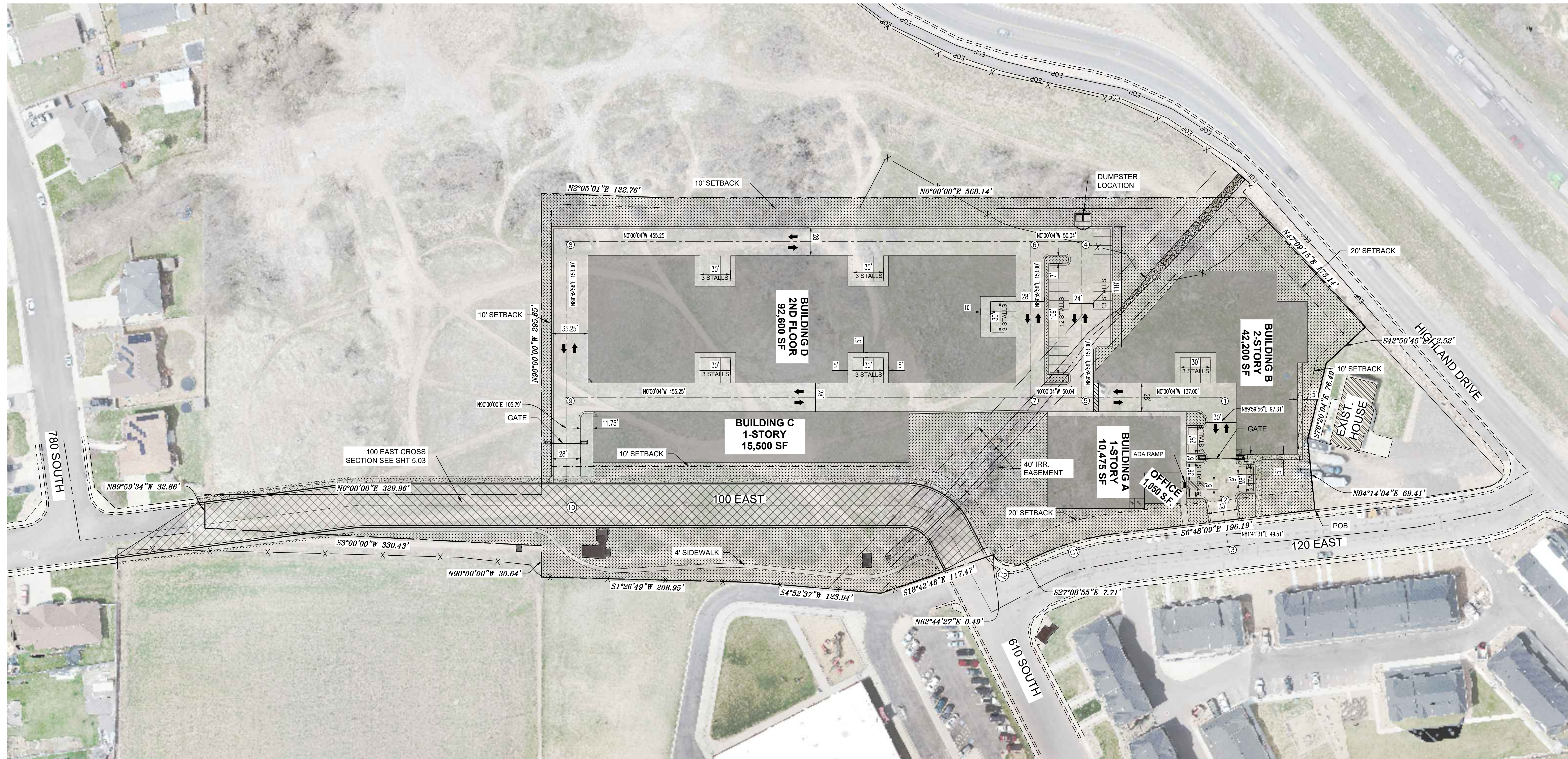
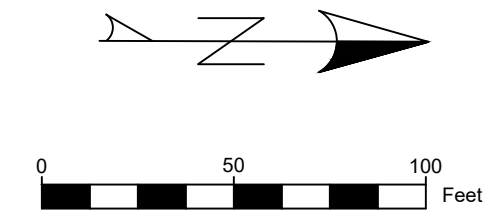
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 Location: **SANTAQUIN, UTAH**  
 Drawing Name: **EXISTING CONDITIONS**

PROJECT NO. 2023.018  
 SHEET NO. **0.00**

# CITADEL SANTAQUIN STORAGE UNITS

120 EAST HIGHLAND DRIVE  
SANTAQUIN, UTAH

LANDSCAPE  
BUILDING  
RIGHT OF WAY DEDICATED TO CITY  
CONCRETE



**MW BROWN ENGINEERING, INC.**  
Office: (801) 377-1790 Fax: (801) 377-1789  
578 East 770 North, Orem UT 84058

NO.	DATE	BY	REVISIONS

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: \_\_\_\_\_

**CITADEL SANTAQUIN**  
**SANTAQUIN, UTAH**  
**SITE PLAN**

Title: \_\_\_\_\_  
Location: \_\_\_\_\_  
Drawing Name: \_\_\_\_\_

PROJECT NO.  
2023.018

SHEET NO.  
**1.00**

### BOUNDARY DESCRIPTION

A PARCEL OF LAND SITUATE IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

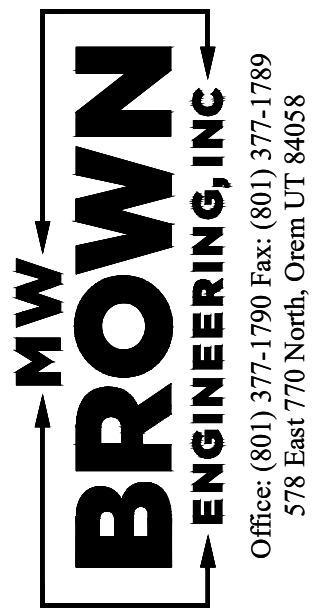
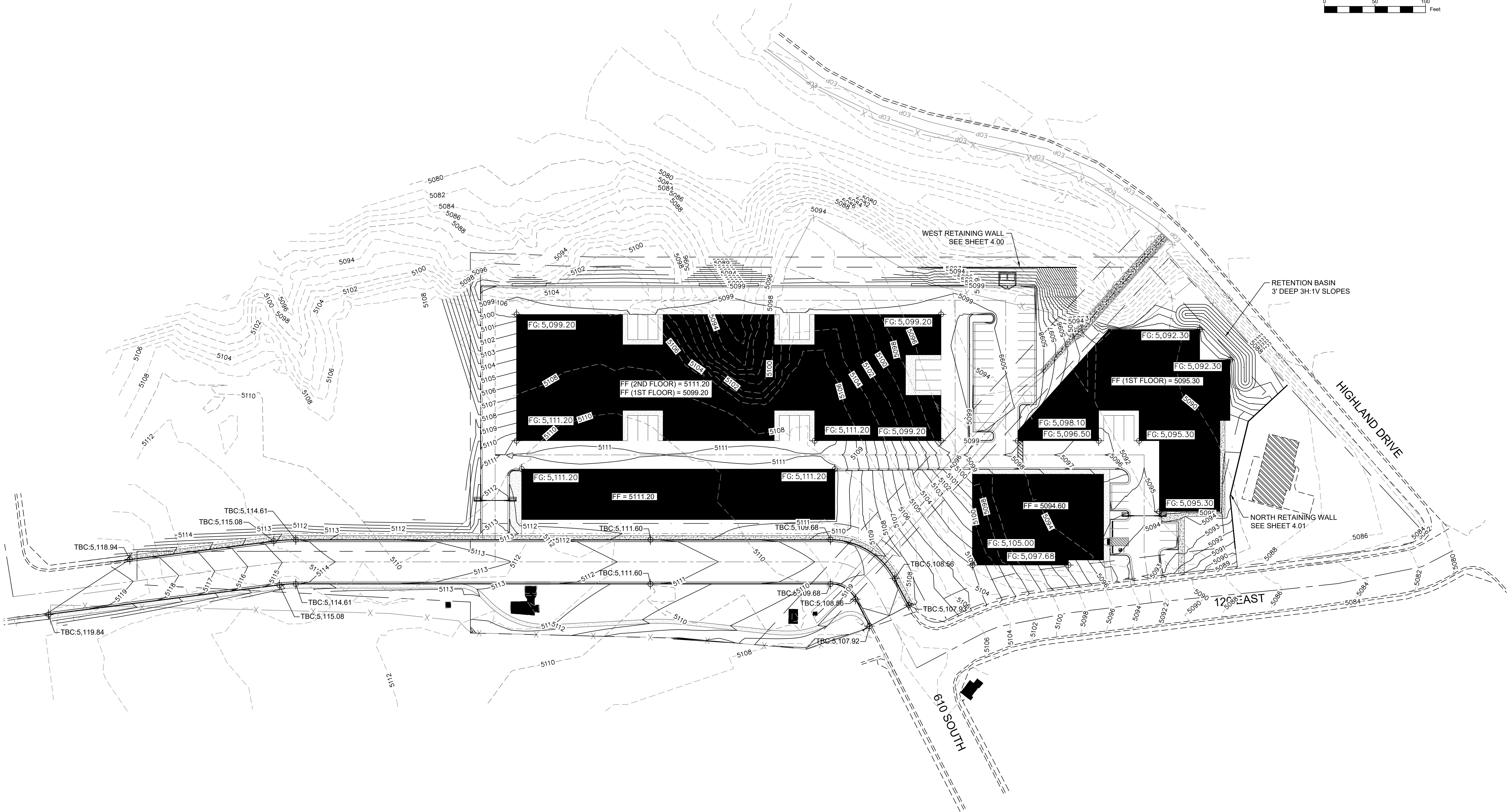
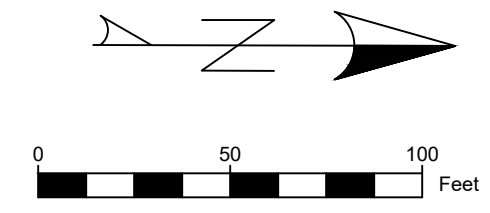
BEGINNING AT A POINT LOCATED ON THE WESTERLY RIGHT-OF-WAY OF 120 EAST STREET, SAID POINT IS 469.22 FEET S 00°04'06" E ALONG THE SECTION LINE AND 1081.99 FEET EAST FROM THE NORTHWEST CORNER OF SAID SECTION 12, AND RUNNING THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING FIVE COURSES: 1) S 06°48'09" E 196.19 FEET TO THE BEGINNING OF A CURVE, 2) ALONG SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 20°21'00", HAVING A RADIUS OF 255.98 FEET, AND WHOSE LONG CHORD BEARS S 16°58'37" E 90.44 FEET, 3) S 27°08'55" E 7.71 FEET TO THE BEGINNING OF A CURVE, 4) ALONG SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 89°59'00", HAVING A RADIUS OF 20.00 FEET, AND WHOSE LONG CHORD BEARS S 17°51'00" W 28.28 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE, 5) S 62°44'27" W 0.49 FEET, THENCE S 18°42'48" E 117.47 FEET, THENCE S 04°52'37" W 123.94 FEET, S 01°26'49" W 208.95 FEET, THENCE N 90°00'00" W 30.64 FEET, THENCE S 03°00'00" W 330.43 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF COUNTRYSIDE ESTATES PLAT D OF OFFICIAL RECORDS, THENCE ALONG SAID BOUNDARY N 89°59'34" W 32.86 FEET, THENCE N 00°00'00" E 329.96 FEET, THENCE N 90°00'00" W 285.65 FEET, THENCE N 02°05'01" E 122.76 FEET, THENCE N 00°00'00" E 568.14 FEET, THENCE N 47°09'15" E 173.14 FEET, THENCE S 42°50'45" E 62.52 FEET, THENCE S 76°20'04" E 76.49 FEET, THENCE N 84°14'04" E 69.41 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 6.52 ACRES (283,797 SQ. FT.)

NOTE: BASIS OF BEARING IS A MODIFIED NAD 83, UTAH CENTRAL ZONE, S 00°04'06" E ALONG THE SECTION LINE IN BETWEEN THE NORTHWEST CORNER AND THE WEST QUARTER CORNER OF SAID SECTION 12.

Point #	Northing	Easting
1	7156589.8180	1561188.3463
2	7156589.8199	1561285.6523
3	7156596.9733	1561334.6395
4	7156452.8150	1561035.3491
5	7156452.8180	1561188.3490
6	7156402.7742	1561035.3500
7	7156402.7772	1561188.3500
8	7155947.5230	1561035.3589
9	7155947.5260	1561188.3589
10	7155947.5280	1561294.1511

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	90.92'	255.98'	90.44'	N16°58'37"W	20°21'00"
C2	31.41'	20.00'	28.28'	N17°51'00"E	89°59'00"

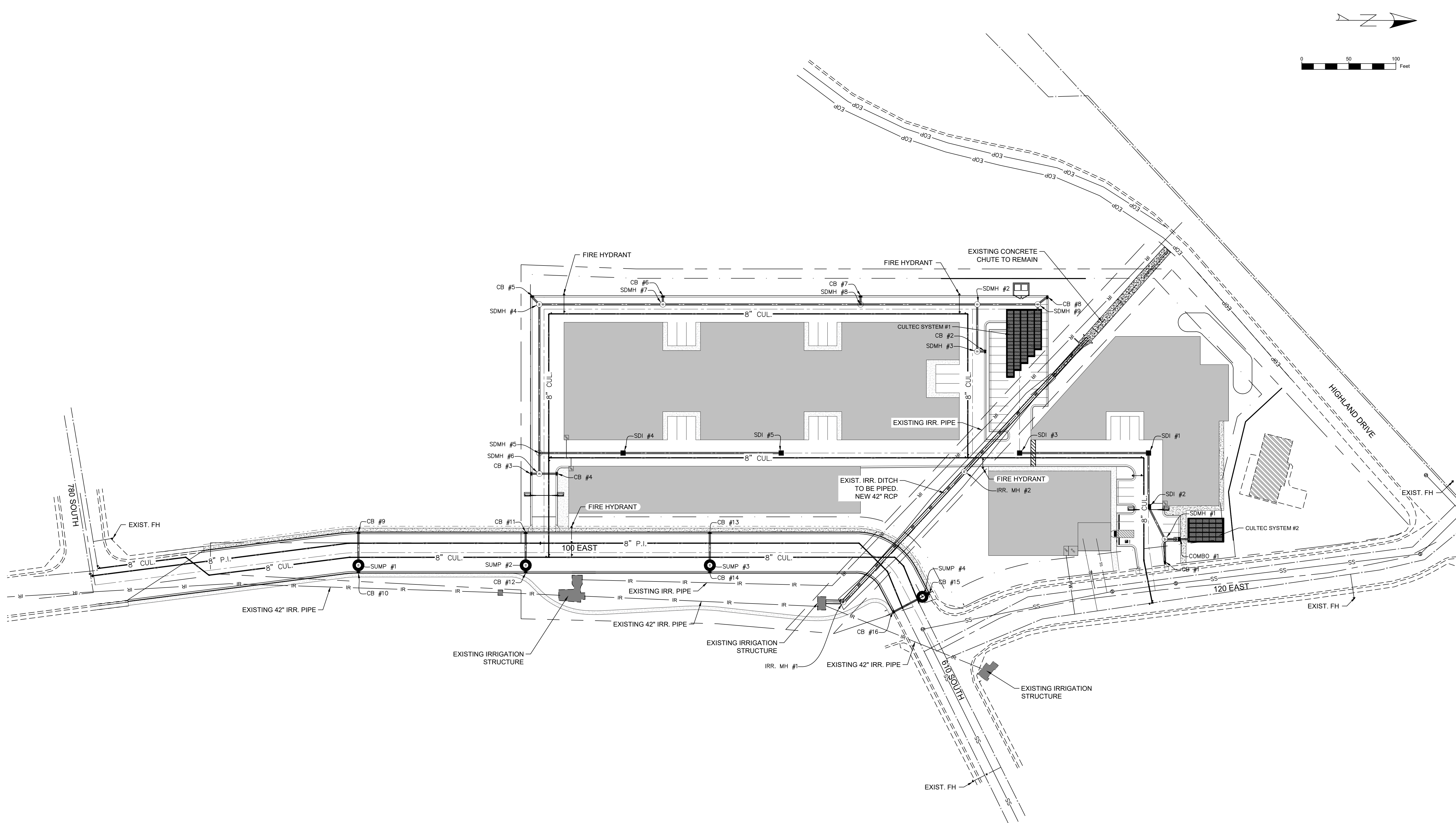
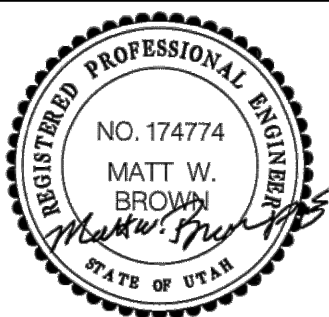
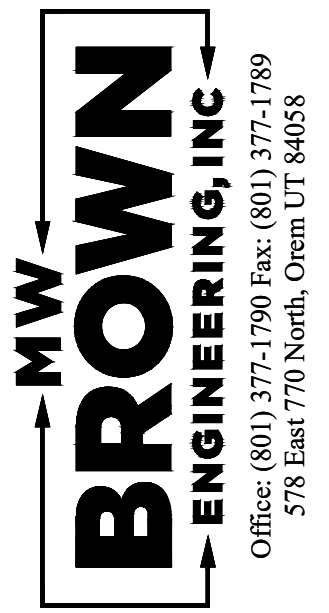
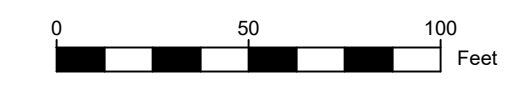
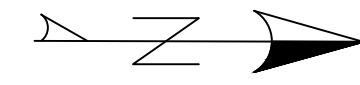


No.	Date	By	Notes

Designed: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_

Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: GRADING PLAN

PROJECT NO.  
2023.018  
 SHEET NO.  
1.01



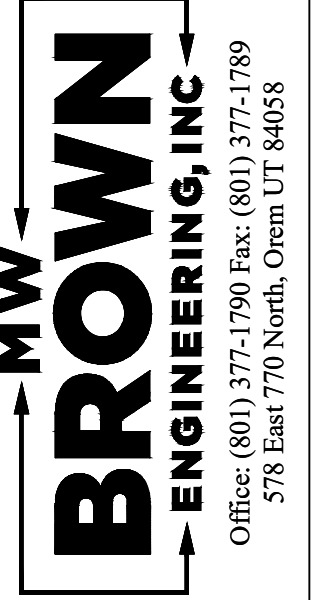
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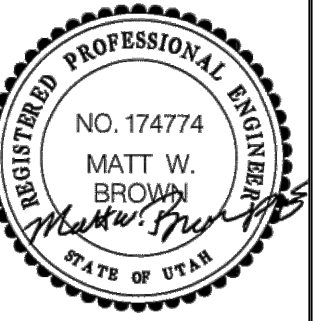
Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: UTILITY PLAN

PROJECT NO.  
2023.018  
 SHEET NO.  
1.02





Office: (801) 377-1790 Fax: (801) 377-1789  
578 East 770 North, Orem UT 84058



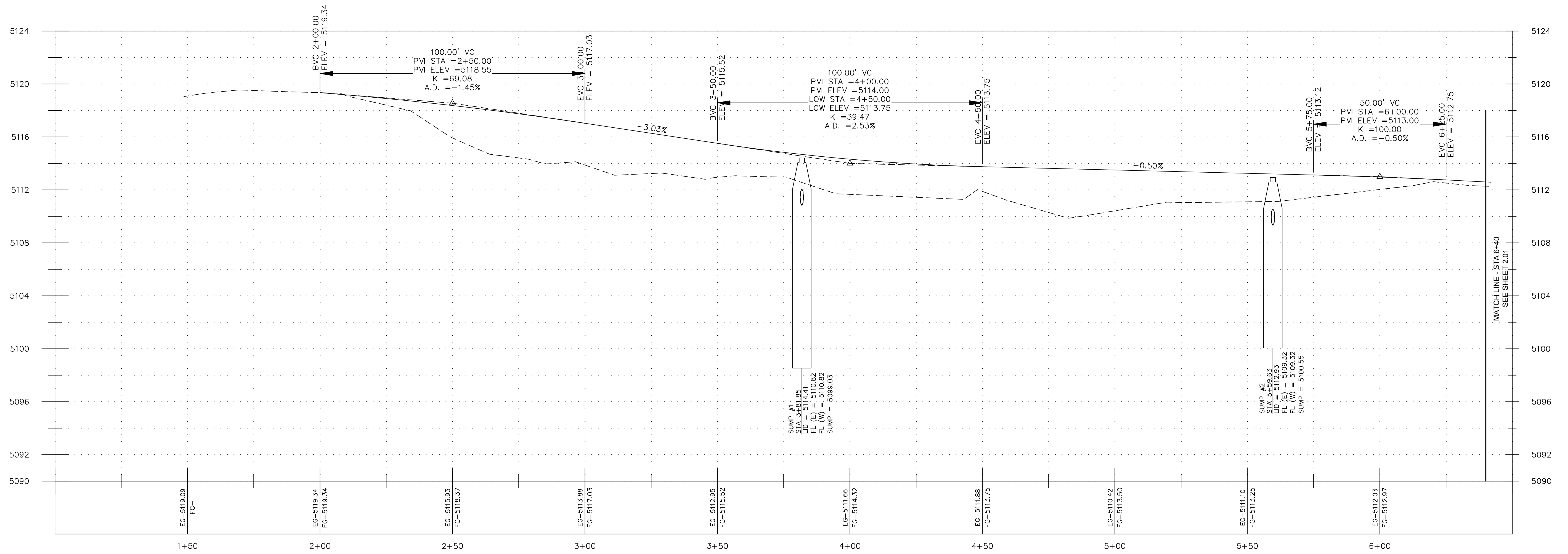
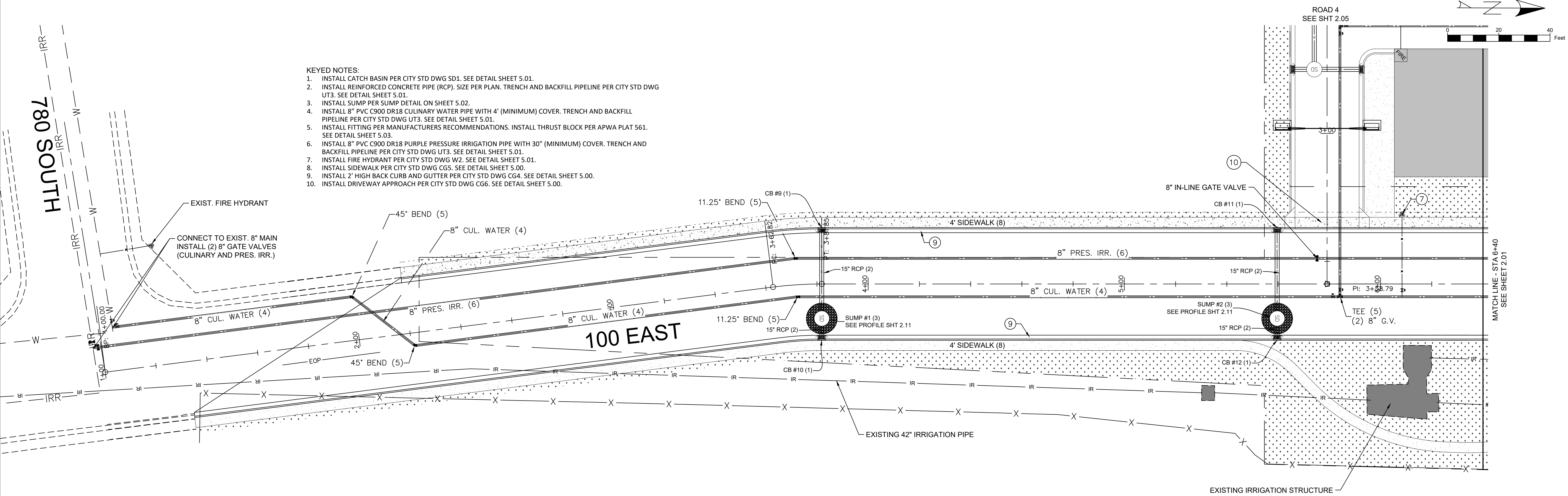
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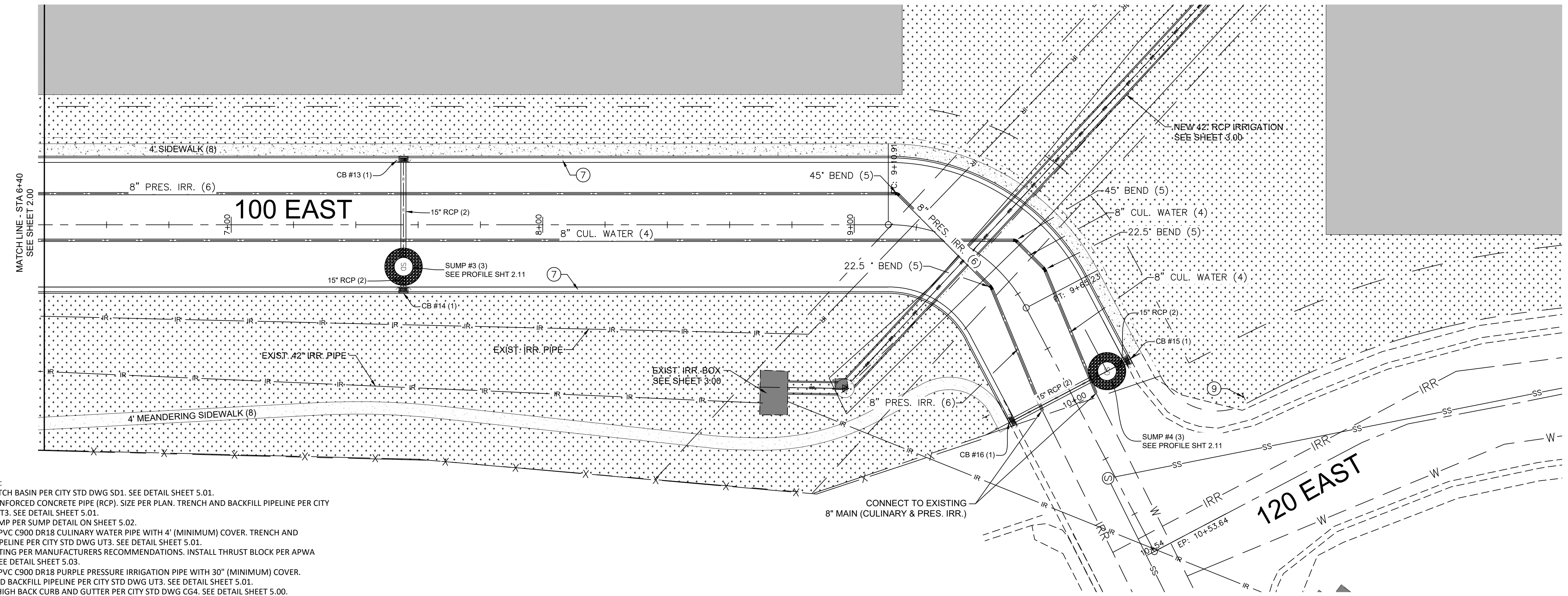
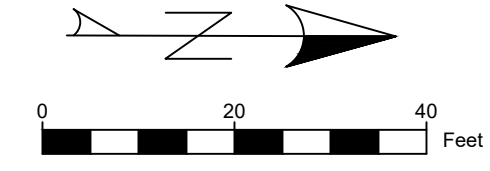
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Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: 100 EAST P&P

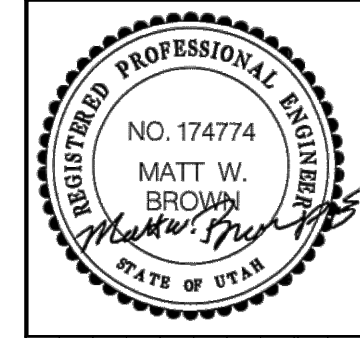
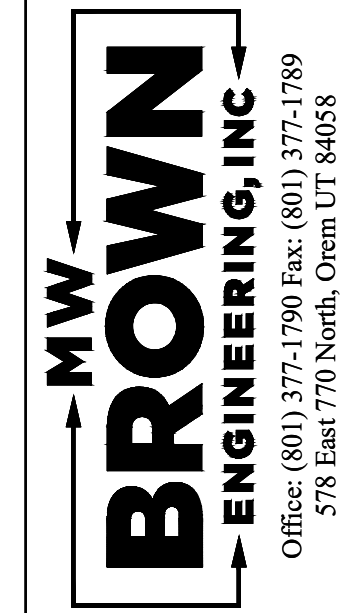
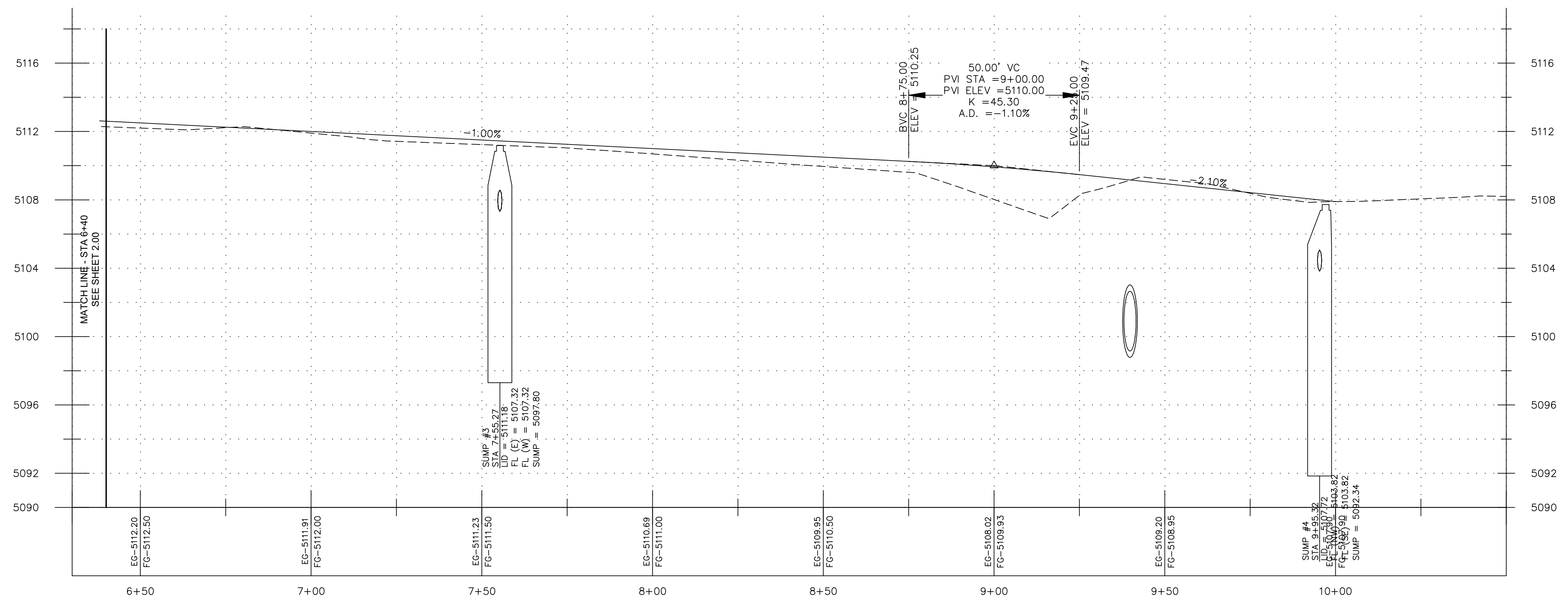
PROJECT NO. 2023.018  
 SHEET NO. 2.00

- KEYED NOTES:**
1. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  2. INSTALL REINFORCED CONCRETE PIPE (RCP). SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  3. INSTALL SUMP PER SUMP DETAIL ON SHEET 5.02.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  6. INSTALL 8" PVC C900 DR18 PURPLE PRESSURE IRRIGATION PIPE WITH 30" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  7. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  8. INSTALL SIDEWALK PER CITY STD DWG CG5. SEE DETAIL SHEET 5.00.
  9. INSTALL 2" HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.
  10. INSTALL DRIVEWAY APPROACH PER CITY STD DWG CG6. SEE DETAIL SHEET 5.00.





- KEYED NOTES:**
1. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  2. INSTALL REINFORCED CONCRETE PIPE (RCP). SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  3. INSTALL SUMP PER SUMP DETAIL ON SHEET 5.02.
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  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
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  7. INSTALL 2" HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.
  8. INSTALL SIDEWALK PER CITY STD DWG CG5. SEE DETAIL SHEET 5.00.
  9. INSTALL STREET/STOP SIGN PER CITY STD DWG ST7. SEE DETAIL SHEET 5.01.

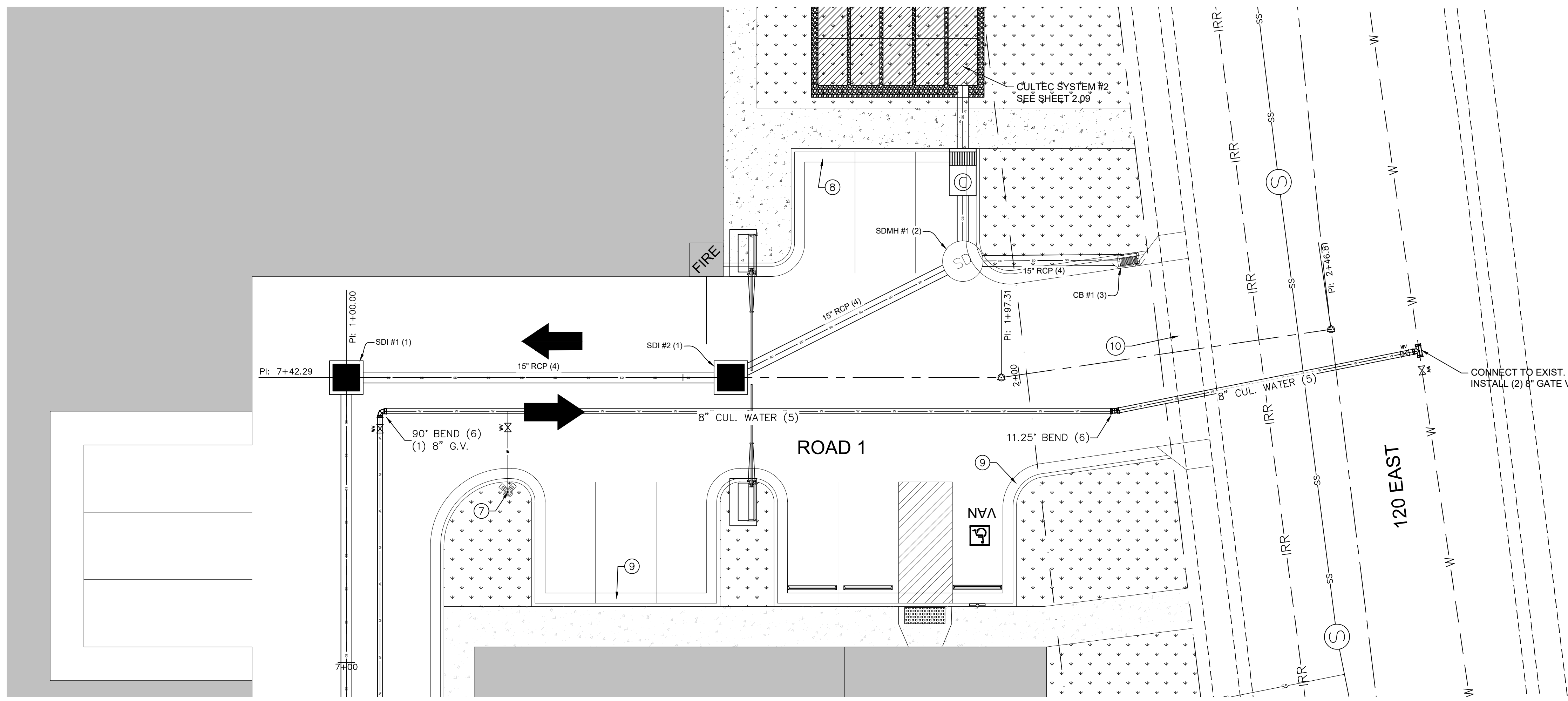
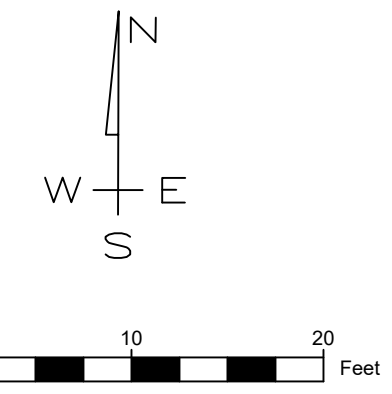


No.	Date	By	REVISIONS

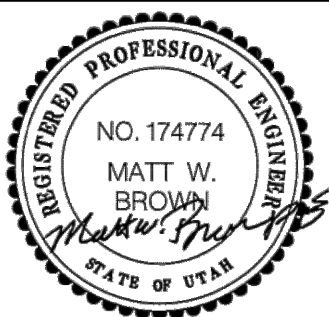
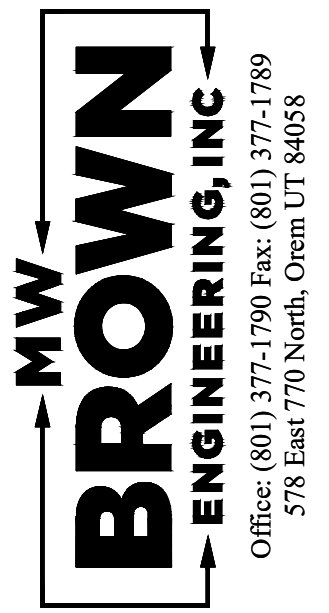
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 Date: \_\_\_\_\_

Title: **CITADEL SANTAQUIN**  
 Location: **SANTAQUIN, UTAH**  
 Drawing Name: **100 EAST P&P**

PROJECT NO.  
2023.018  
 SHEET NO.  
**2.01**



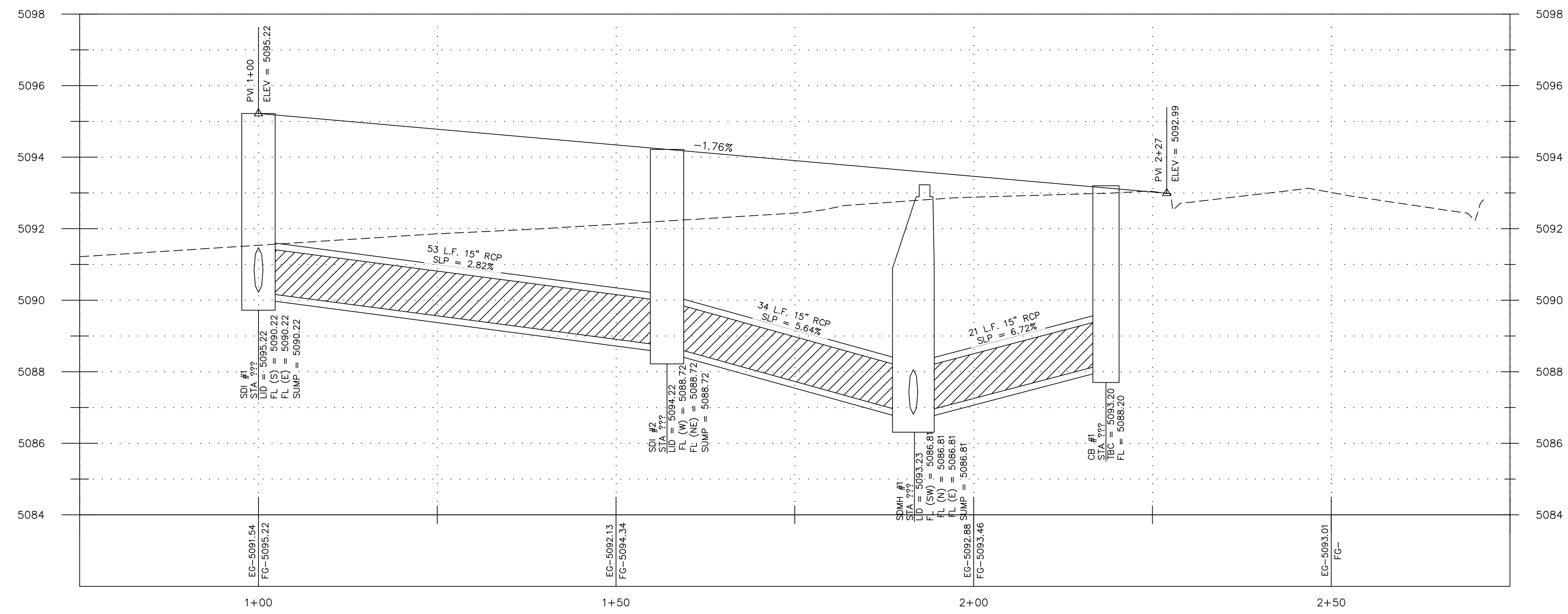
- KEYED NOTES:**
1. INSTALL PRECAST 4'x4' STORM DRAIN INLET BOX PER APWA PLAN 332 WITH GRATE LID. SEE DETAIL SHEET 5.02.
  2. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 5.01.
  3. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  4. INSTALL REINFORCED CONCRETE PIPE (RCP). SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  6. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  7. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  8. INSTALL 2' HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.
  9. INSTALL 2' FALLOUT CURB AND GUTTER. SEE DETAIL SHEET 5.00.
  10. INSTALL DRIVEWAY APPROACH PER CITY STD DWG CG6. SEE DETAIL SHEET 5.00.



No.	Date	By	Notes

Designed: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_

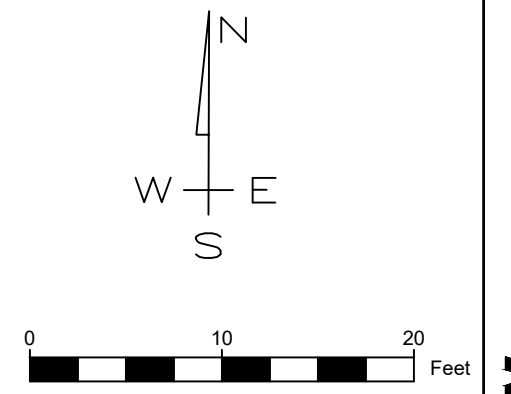
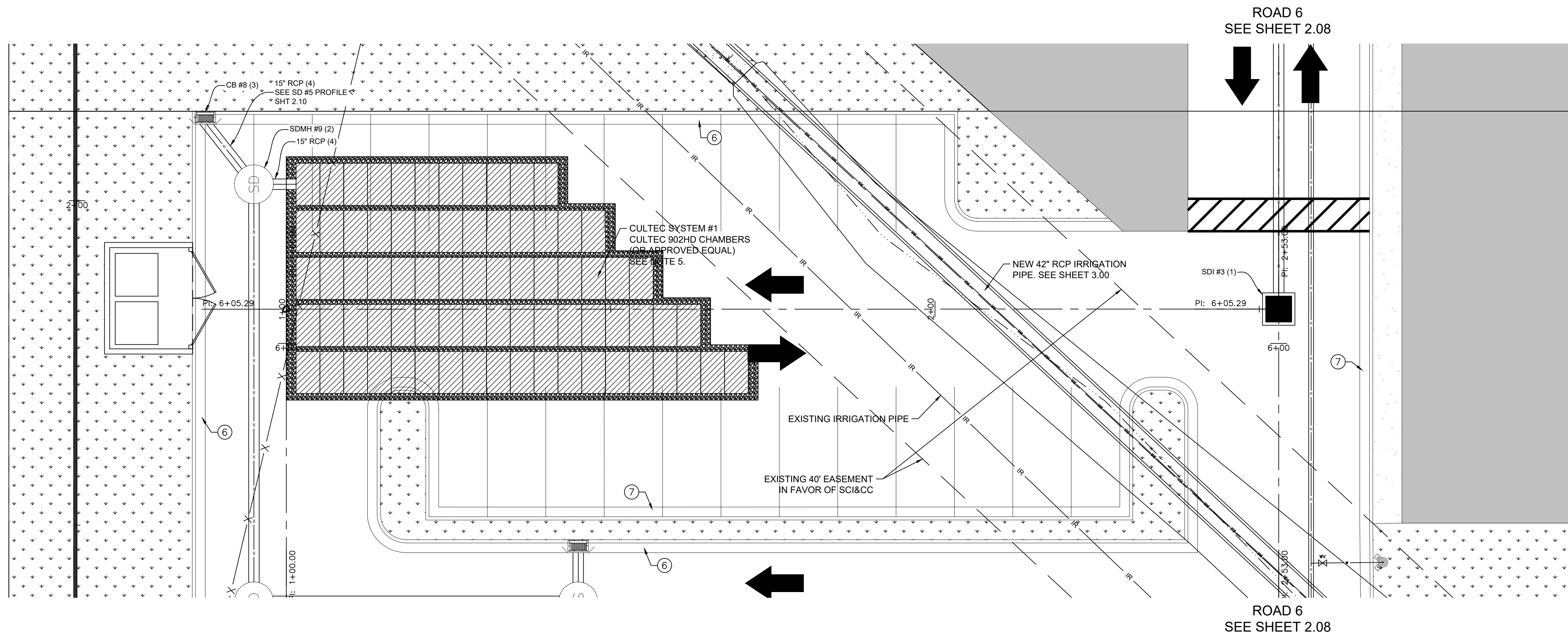
ROAD 6  
SEE SHEET 2.08



Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: ROAD 1 P&P

PROJECT NO.  
2023.018  
 SHEET NO.  
2.02

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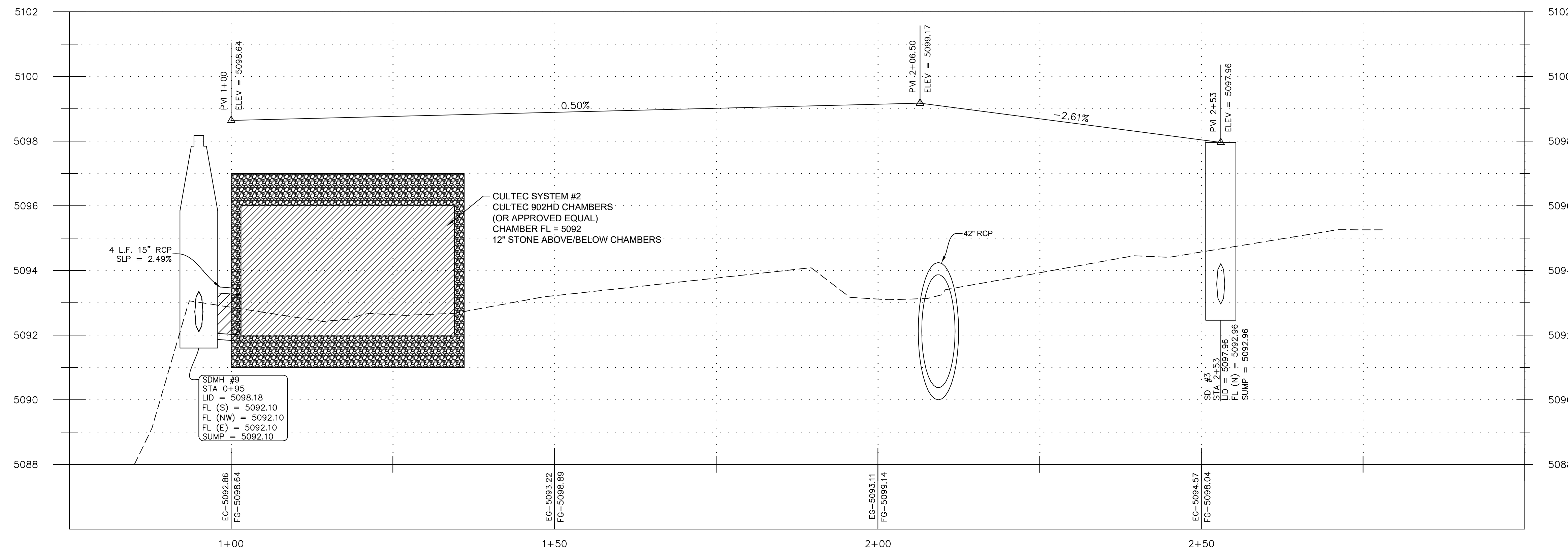
- KEYED NOTES:**
1. INSTALL PRECAST 4'X4' STORM DRAIN INLET BOX PER APWA PLAN 332 WITH GRATE LID. SEE DETAIL SHEET 5.02.
  2. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 5.01.
  3. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  4. INSTALL REINFORCED CONCRETE PIPE (RCP), SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. UNDERGROUND RETENTION SYSTEM AREA. PROPOSED CULTEC RECHARGER 902HD CHAMBERS (105) WITH SEPARATOR ROW AND 12" STONE ABOVE/BELOW CHAMBERS. DETAIL DRAWINGS OF SYSTEM TO BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. CULTEC DETAILS PROVIDED ON SHEET 5.04 ARE FOR REFERENCE ONLY.
  6. INSTALL 2' HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.
  7. INSTALL 2' FALLOUT CURB AND GUTTER. SEE DETAIL SHEET 5.00.

**MW BROWN ENGINEERING, INC.**  
 Office: (801) 377-1790 Fax: (801) 377-1789  
 578 East 770 North, Orem UT 84058



No.	Date	By	Notes

Designed: \_\_\_\_\_  
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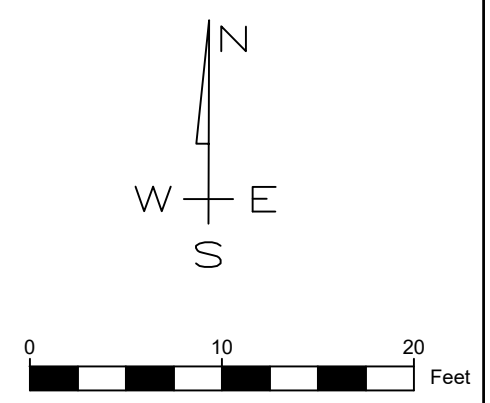
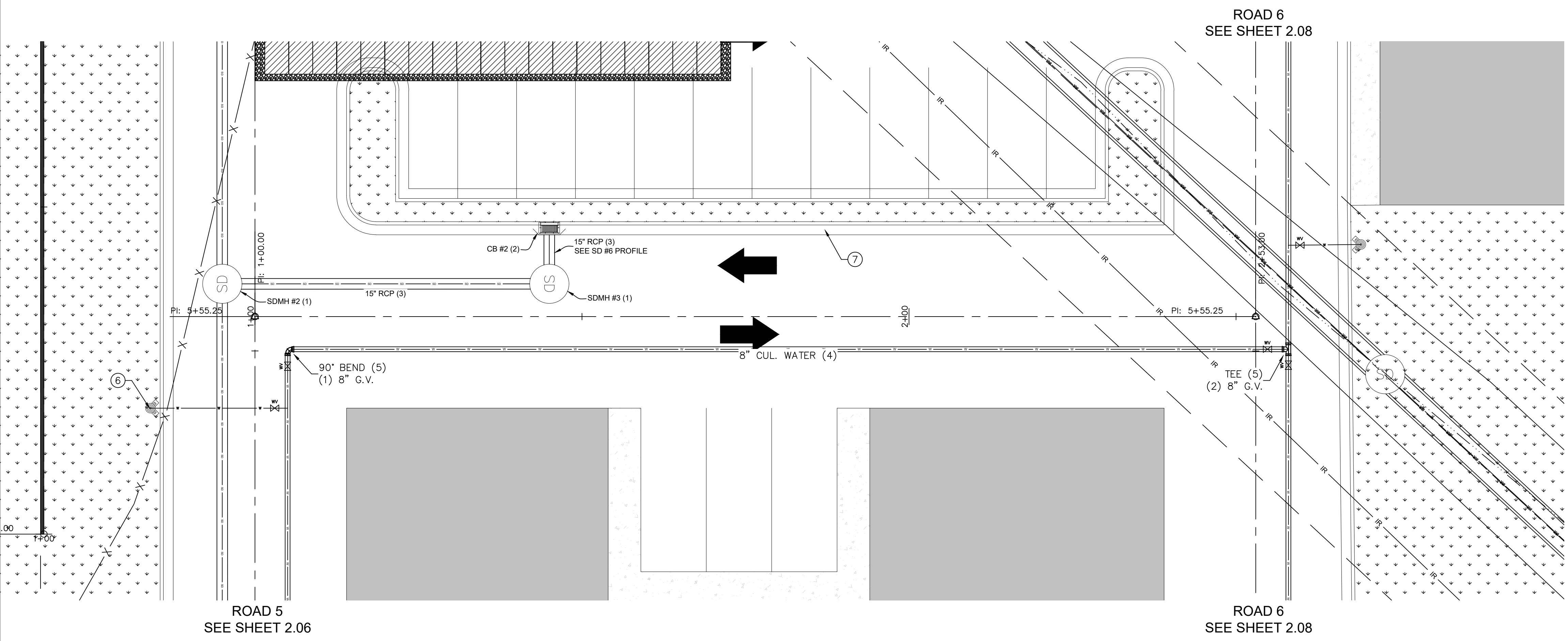


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**811**  
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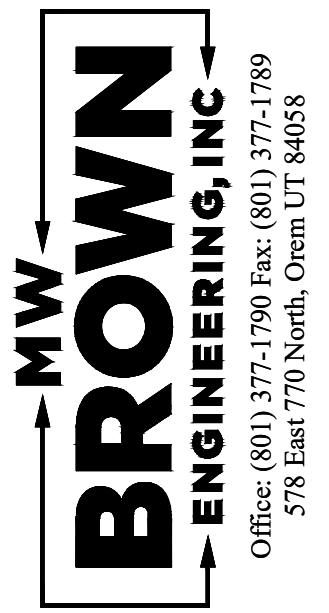
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 Location: **SANTAQUIN, UTAH**  
 Drawing Name: **ROAD 2 P&P**

PROJECT NO.  
2023.018

SHEET NO.  
**2.03**

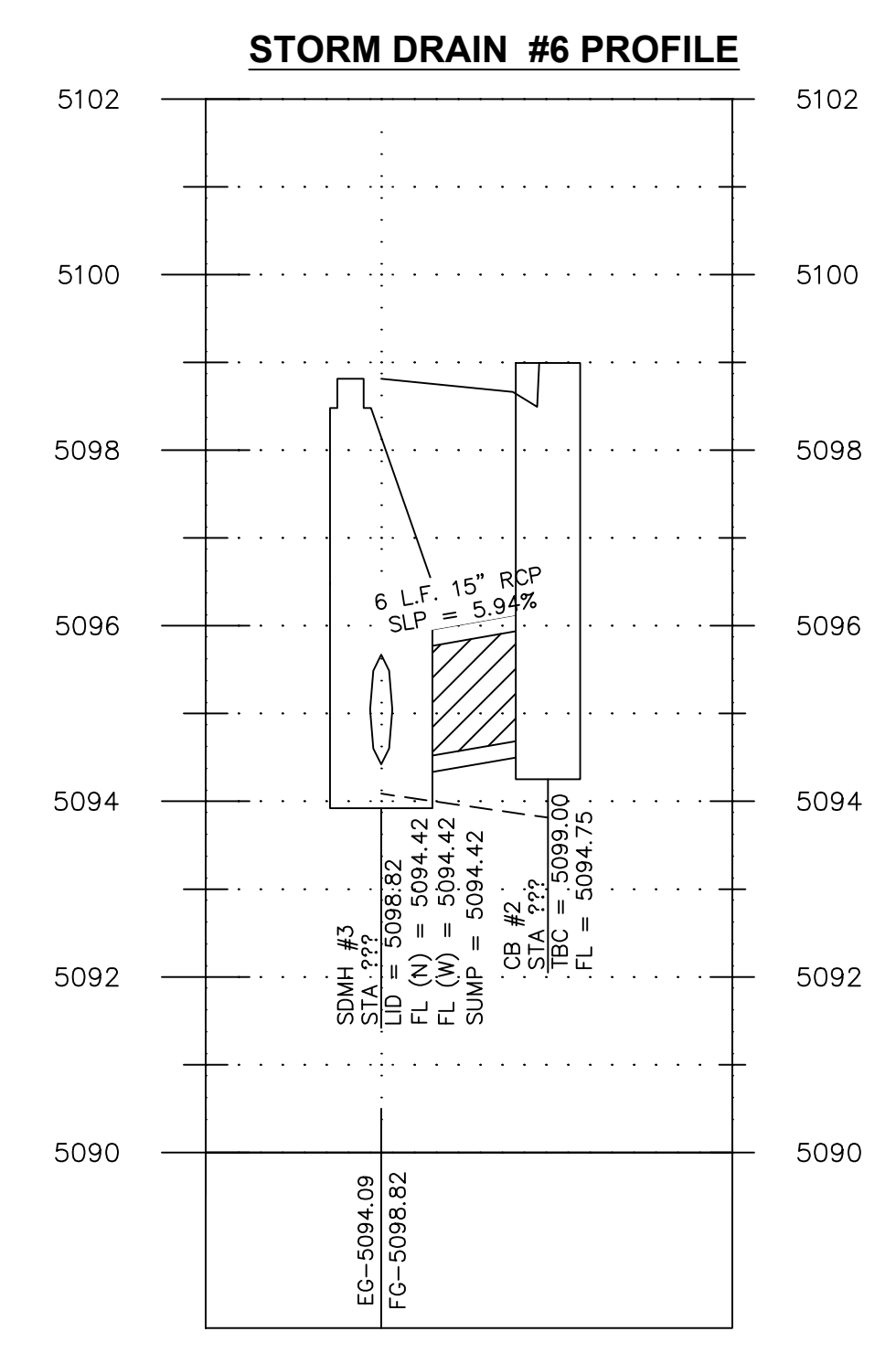
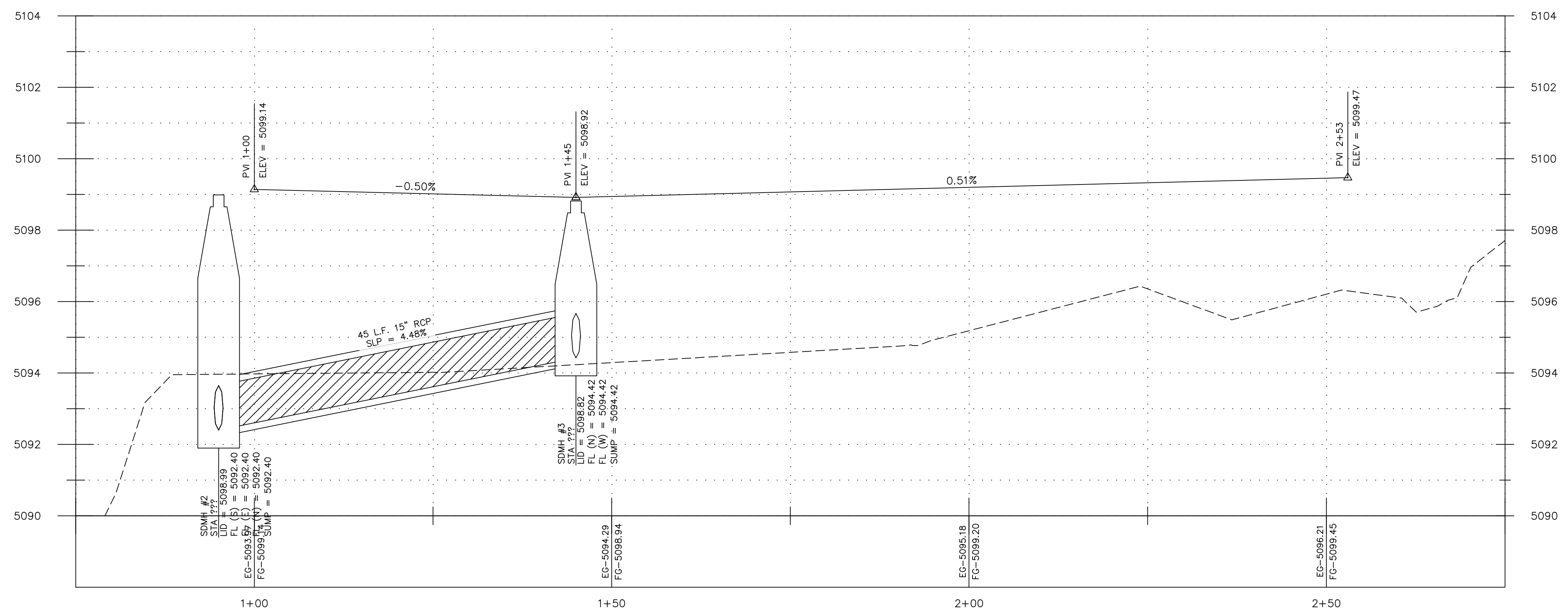


- KEYED NOTES:**
1. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 5.01.
  2. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  3. INSTALL REINFORCED CONCRETE PIPE (RCP), SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  6. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  7. INSTALL 2' HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.



No.	Date	By	Notes

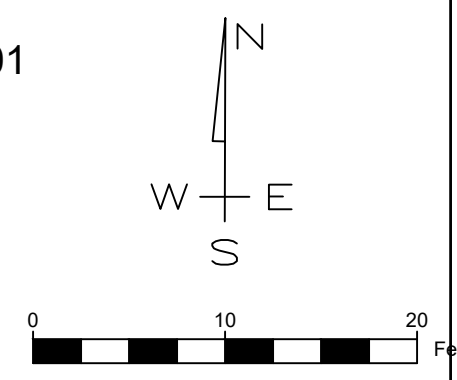
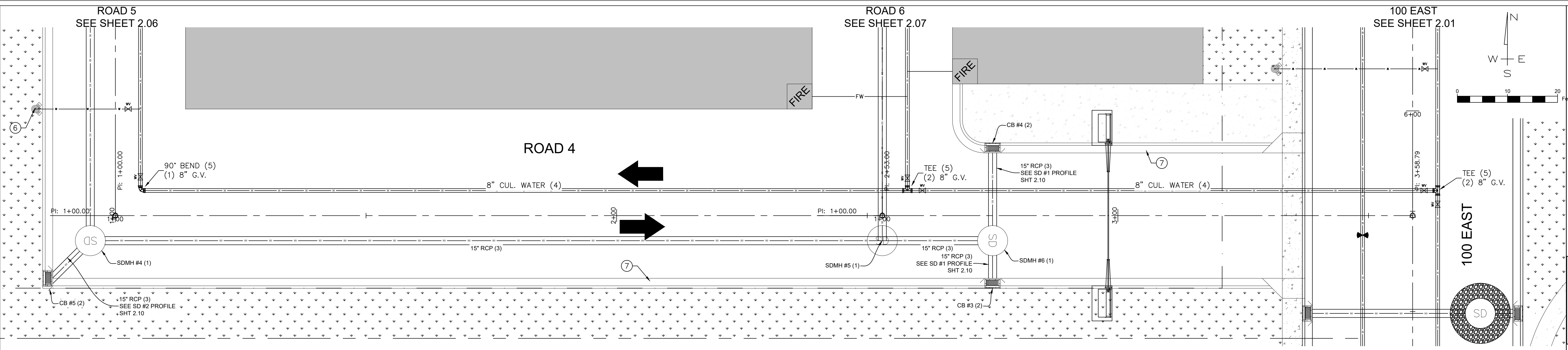
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 Date: \_\_\_\_\_



Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: ROAD 3 P&P

PROJECT NO. 2023.018  
 SHEET NO. 2.04

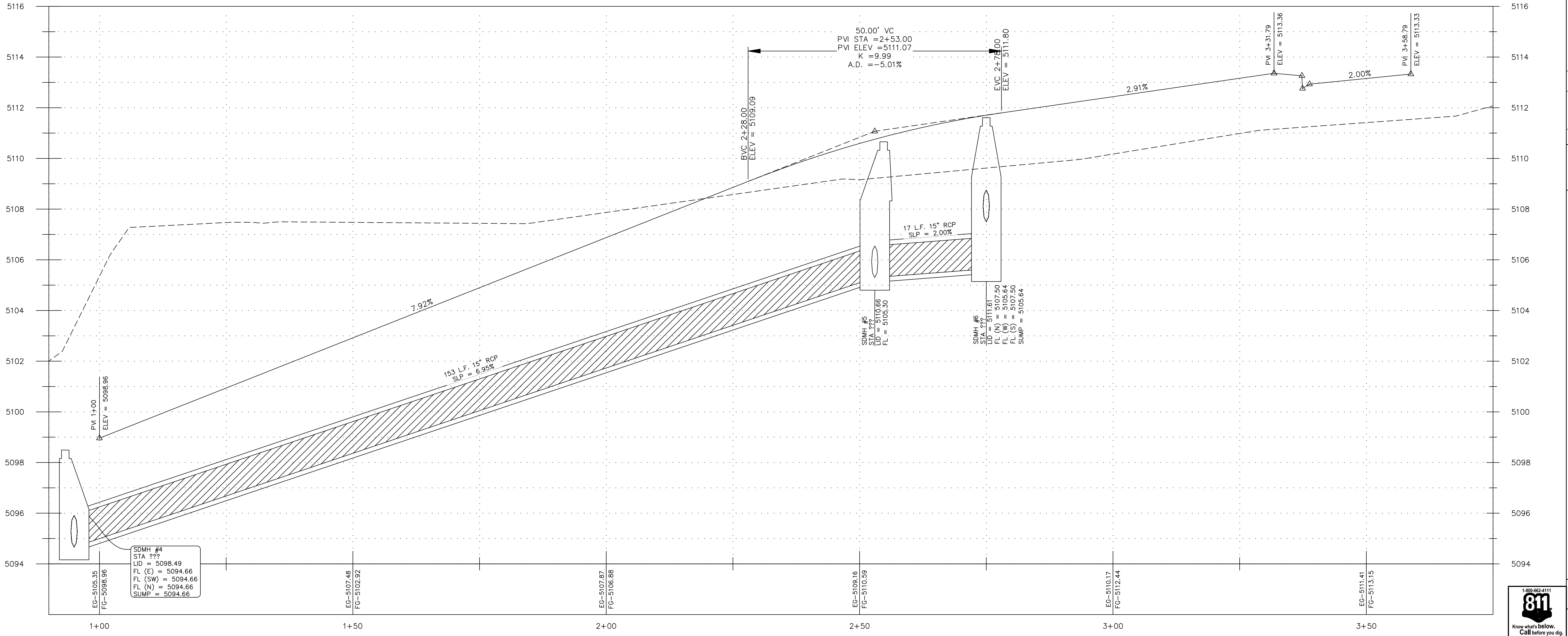
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ENGINEERING, INC.  
Office: (801) 377-1790 Fax: (801) 377-1789  
578 East 770 North, Orem UT 84058



- KEYED NOTES:**
1. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 5.01.
  2. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  3. INSTALL REINFORCED CONCRETE PIPE (RCP). SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  6. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  7. INSTALL 2' HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.



No.	Date	By	Notes

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: \_\_\_\_\_

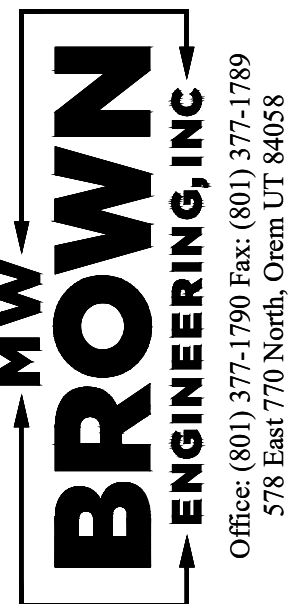
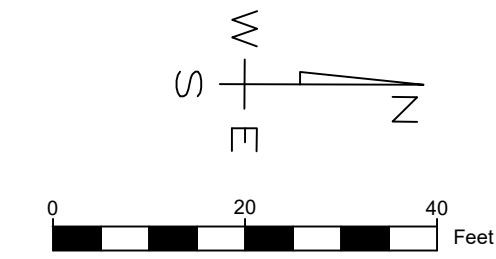
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Location: **SANTAQUIN, UTAH**  
Drawing Name: **ROAD 4 P&P**

PROJECT NO. 2023.018  
SHEET NO. 2.05





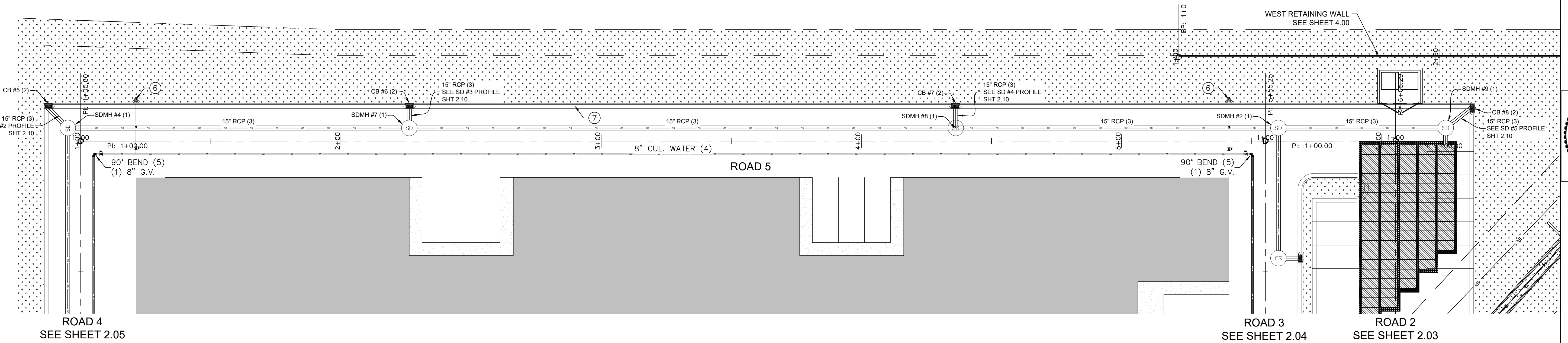
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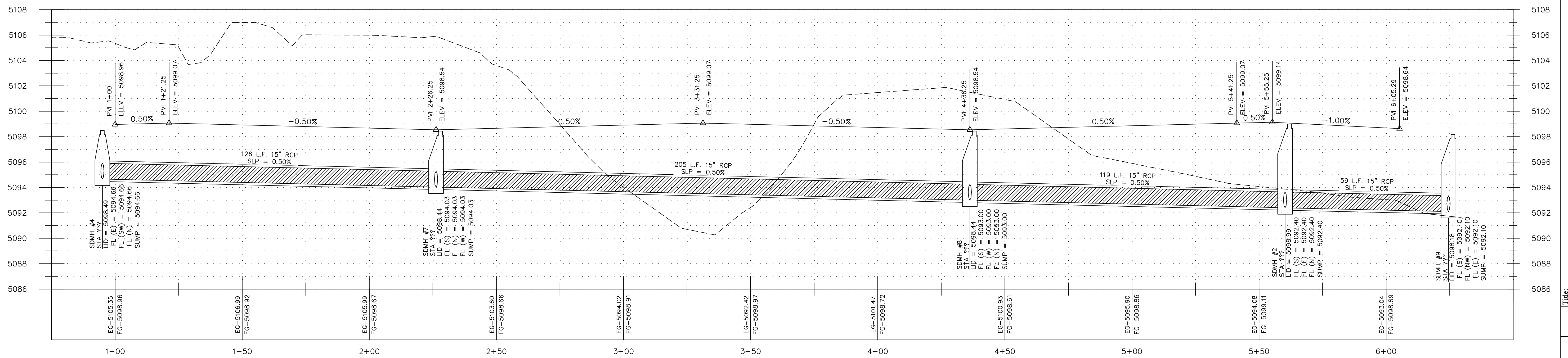
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578 East 770 North, Orem UT 84058



REVISIONS

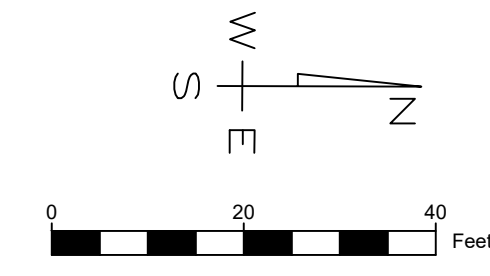


- KEYED NOTES:
1. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 5.01.
  2. INSTALL CATCH BASIN PER CITY STD DWG SD1. SEE DETAIL SHEET 5.01.
  3. INSTALL REINFORCED CONCRETE PIPE (RCP), SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  6. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  7. INSTALL 2' HIGH BACK CURB AND GUTTER PER CITY STD DWG CG4. SEE DETAIL SHEET 5.00.

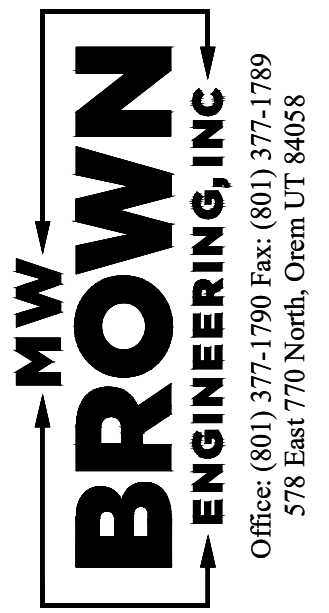
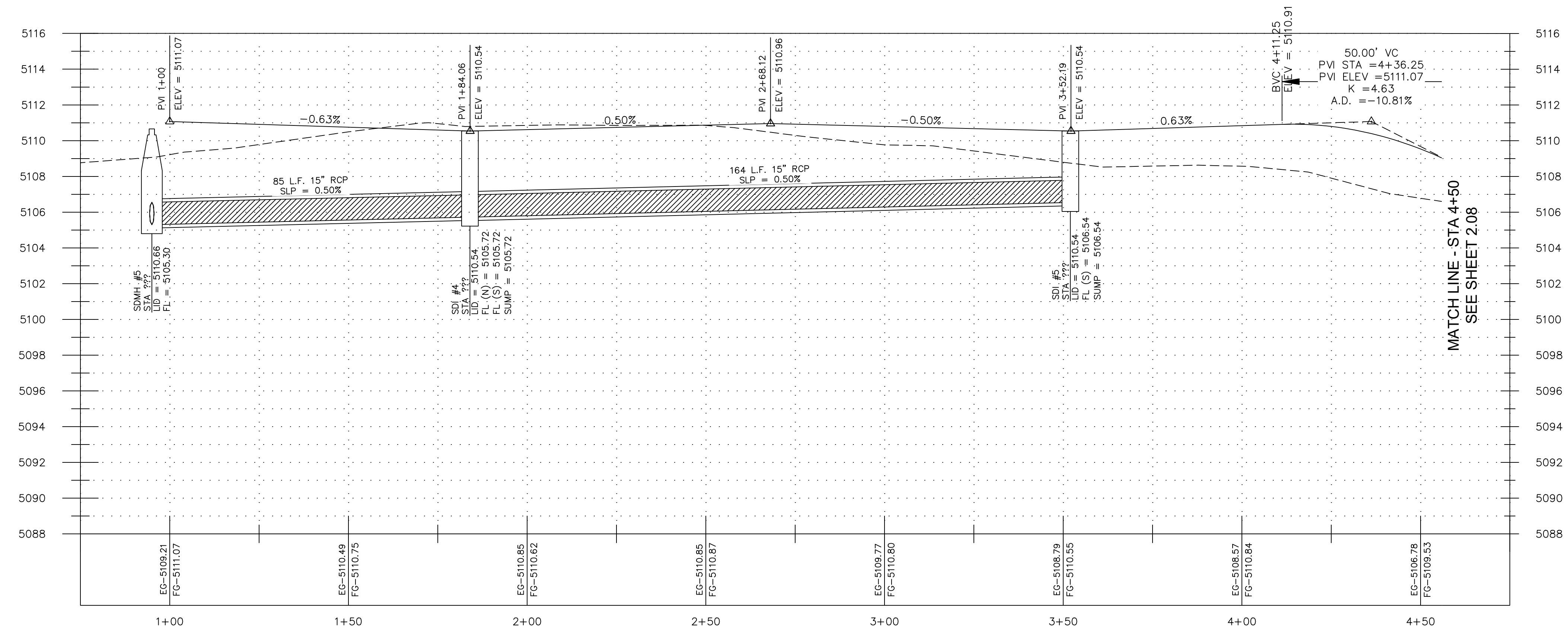
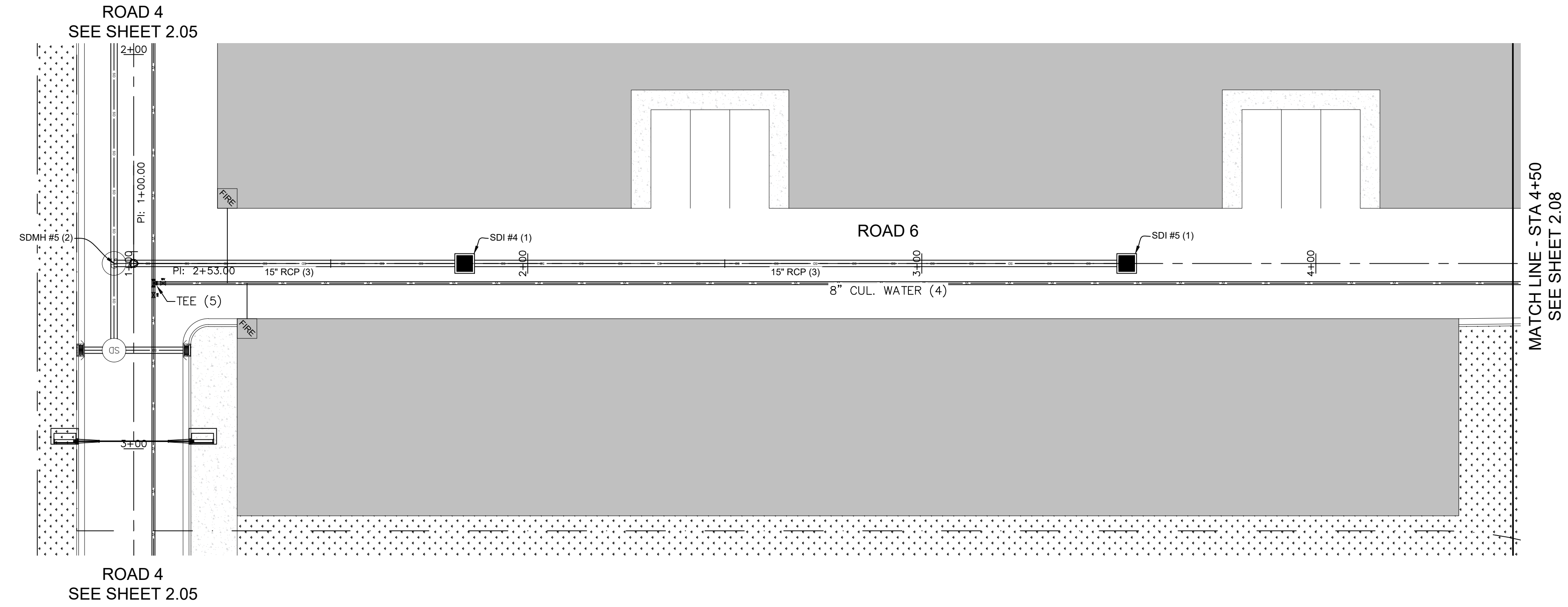


Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: ROAD 5 P&P

PROJECT NO. 2023.018  
 SHEET NO. 2.06



- KEYED NOTES:**
1. INSTALL PRECAST 4'X4' STORM DRAIN INLET BOX PER APWA PLAN 332 WITH GRATE LID. SEE DETAIL SHEET 5.02.
  2. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 4.01.
  3. INSTALL REINFORCED CONCRETE PIPE (RCP), SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.



No.	Date	By	Notes

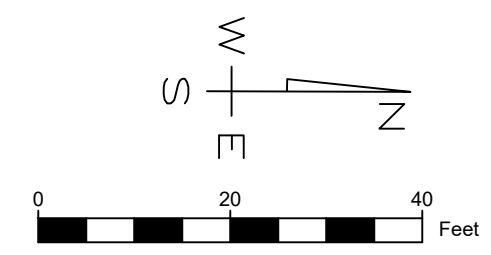
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**CITADEL SANTAQUIN**  
**SANTAQUIN, UTAH**  
**ROAD 6 P&P**

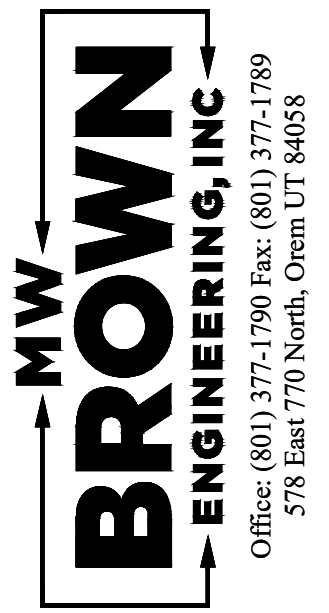
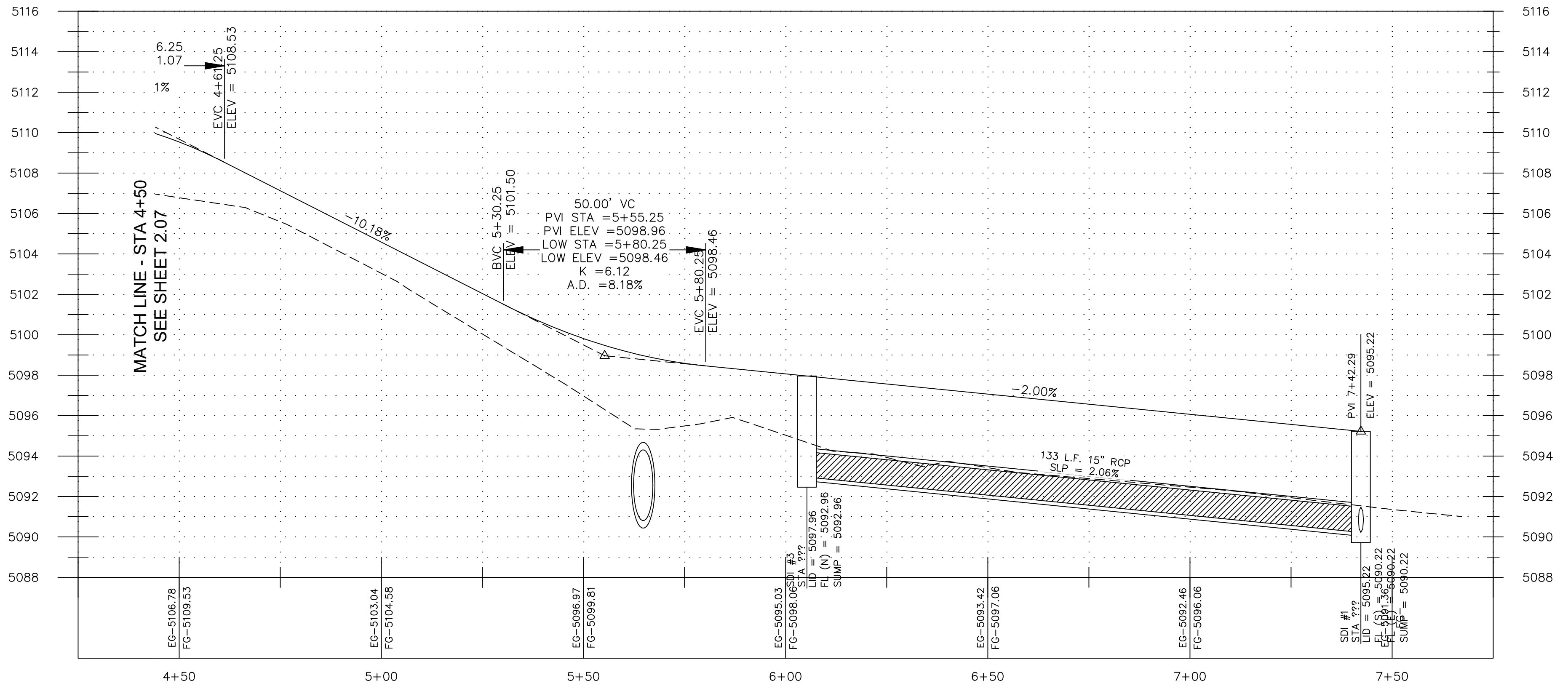
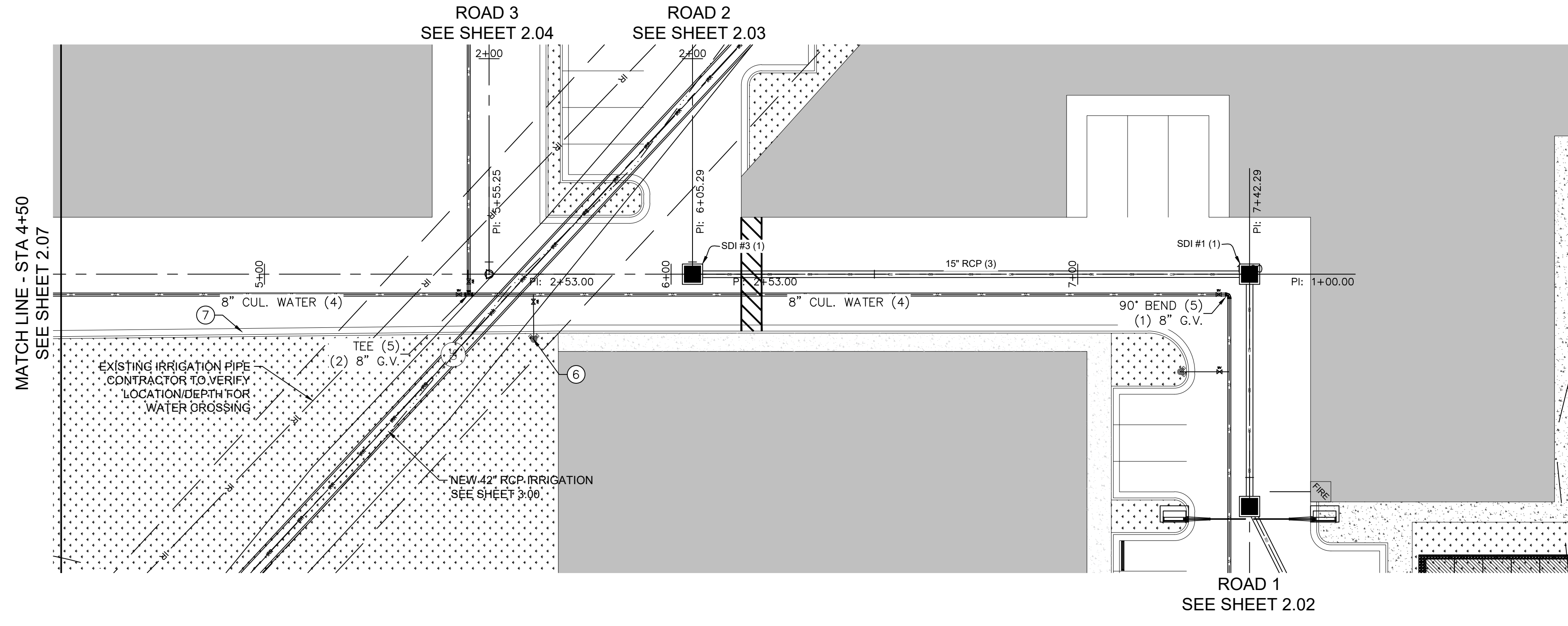
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 Location: \_\_\_\_\_  
 Drawing Name: \_\_\_\_\_  
 PROJECT NO. 2023.018  
 SHEET NO. 2.07







- KEYED NOTES:**
1. INSTALL PRECAST 4'X4' STORM DRAIN INLET BOX PER APWA PLAN 332 WITH GRATE LID. SEE DETAIL SHEET 5.02.
  2. NOT USED
  3. INSTALL REINFORCED CONCRETE PIPE (RCP), SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  4. INSTALL 8" PVC C900 DR18 CULINARY WATER PIPE WITH 4" (MINIMUM) COVER. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UT3. SEE DETAIL SHEET 5.01.
  5. INSTALL FITTING PER MANUFACTURERS RECOMMENDATIONS. INSTALL THRUST BLOCK PER APWA PLAT 561. SEE DETAIL SHEET 5.03.
  6. INSTALL FIRE HYDRANT PER CITY STD DWG W2. SEE DETAIL SHEET 5.01.
  7. INSTALL 2' FALLOUT CURB AND GUTTER. SEE DETAIL SHEET 5.00.



No.	Date	By	Notes

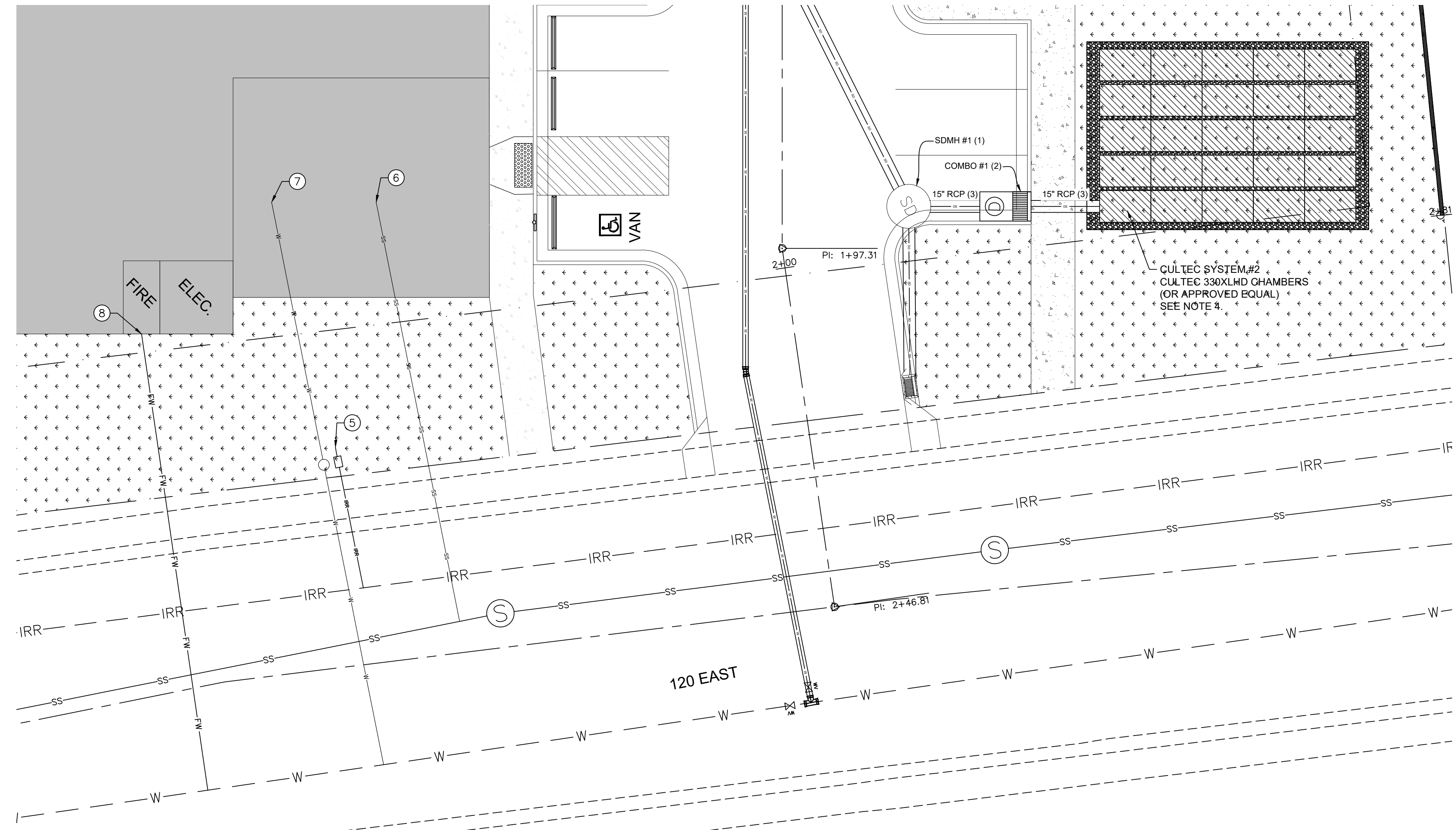
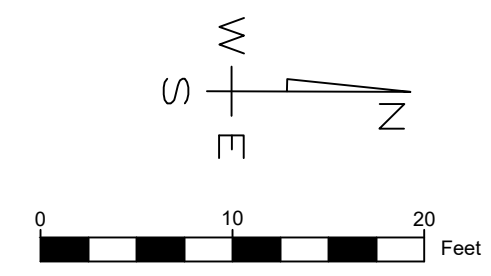
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Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: ROAD 6 P&P

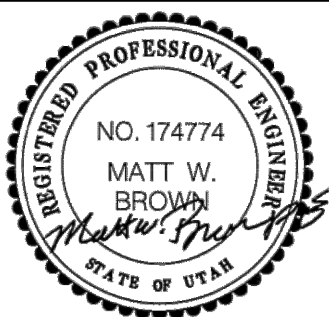
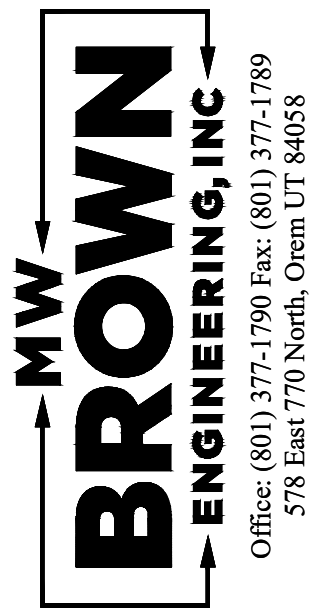
PROJECT NO.  
2023.018  
 SHEET NO.  
2.08

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ROAD 1  
SEE SHEET 2.02

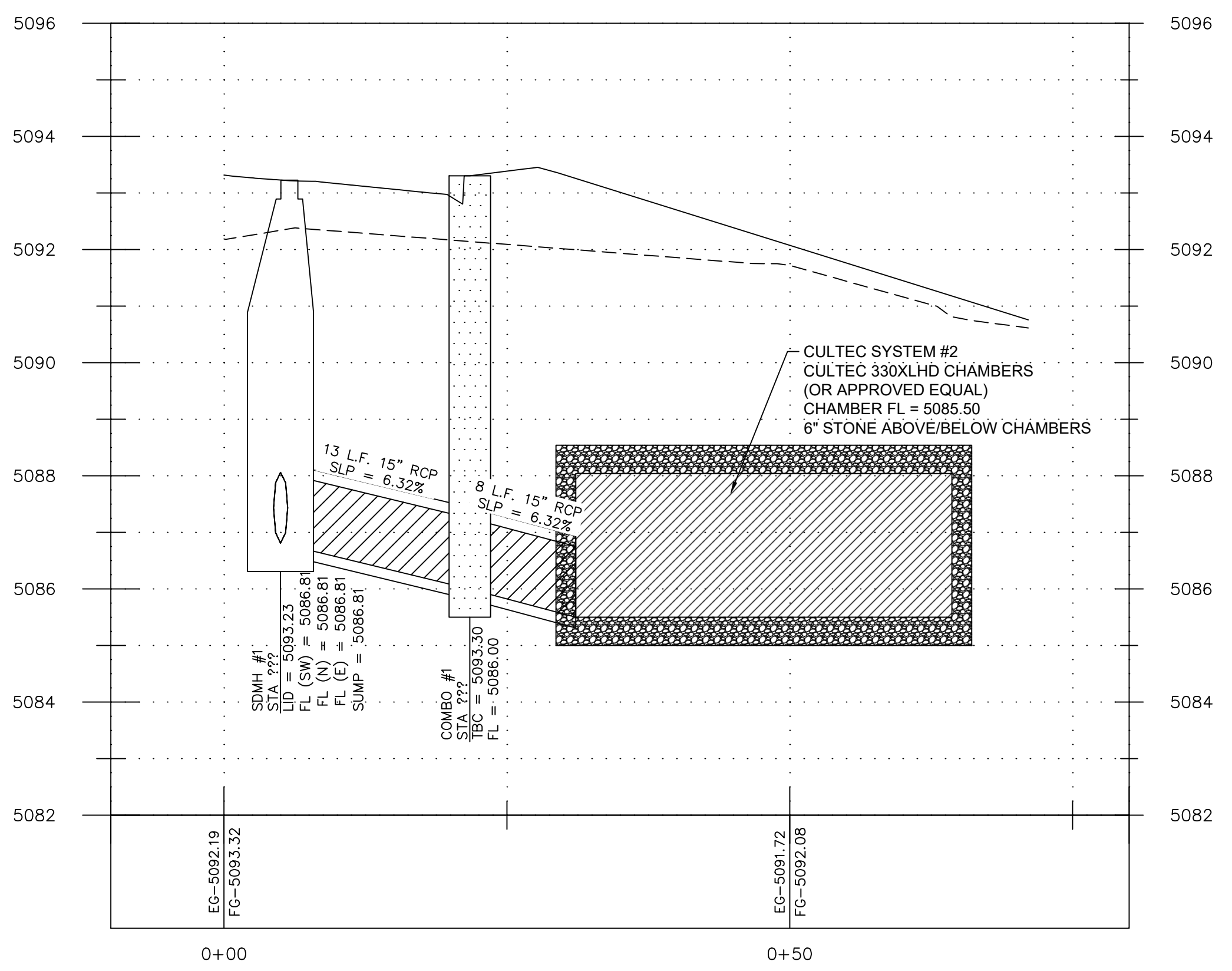


- KEYED NOTES:**
1. INSTALL STORM DRAIN MANHOLE PER CITY STD DWG SD2. SEE DETAIL SHEET 4.01.
  2. INSTALL COMBINATION BOX PER APWA PLAN 316. SEE DETAIL SHEET 4.02.
  3. INSTALL REINFORCED CONCRETE PIPE (RCP). SIZE PER PLAN. TRENCH AND BACKFILL PIPELINE PER CITY STD DWG UTS. SEE DETAIL SHEET 4.01.
  4. UNDERGROUND RETENTION SYSTEM AREA. PROPOSED CULTREC RECHARGER 330XLHD CHAMBERS (35) WITH SEPARATOR ROW AND 6" STONE ABOVE/BELOW CHAMBERS. DETAIL DRAWINGS OF SYSTEM TO BE SUBMITTED TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. CULTREC DETAILS PROVIDED ON SHEET 4.05 ARE FOR REFERENCE ONLY.
  5. INSTALL 1" PRESSURE IRRIGATION SERVICE LATERAL AND METER BOX PER CITY STD DWGS PI1 & PI 2. SEE DETAILS SHEET 4.00.
  6. INSTALL 4" SEWER LATERAL @ 2.0% MIN. SLOPE PER CITY STD DWG S2. SEE DETAIL SHEET 4.01.
  7. INSTALL 1" CULINARY WATER SERVICE PER CITY STD DWG W1. SEE DETAIL SHEET 4.01.
  8. INSTALL 4" FIRE LINE PER FIRER RISER DETAIL. SEE DETAIL SHEET 4.02.



No.	Date	By	Notes

Designed: \_\_\_\_\_  
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 Date: \_\_\_\_\_

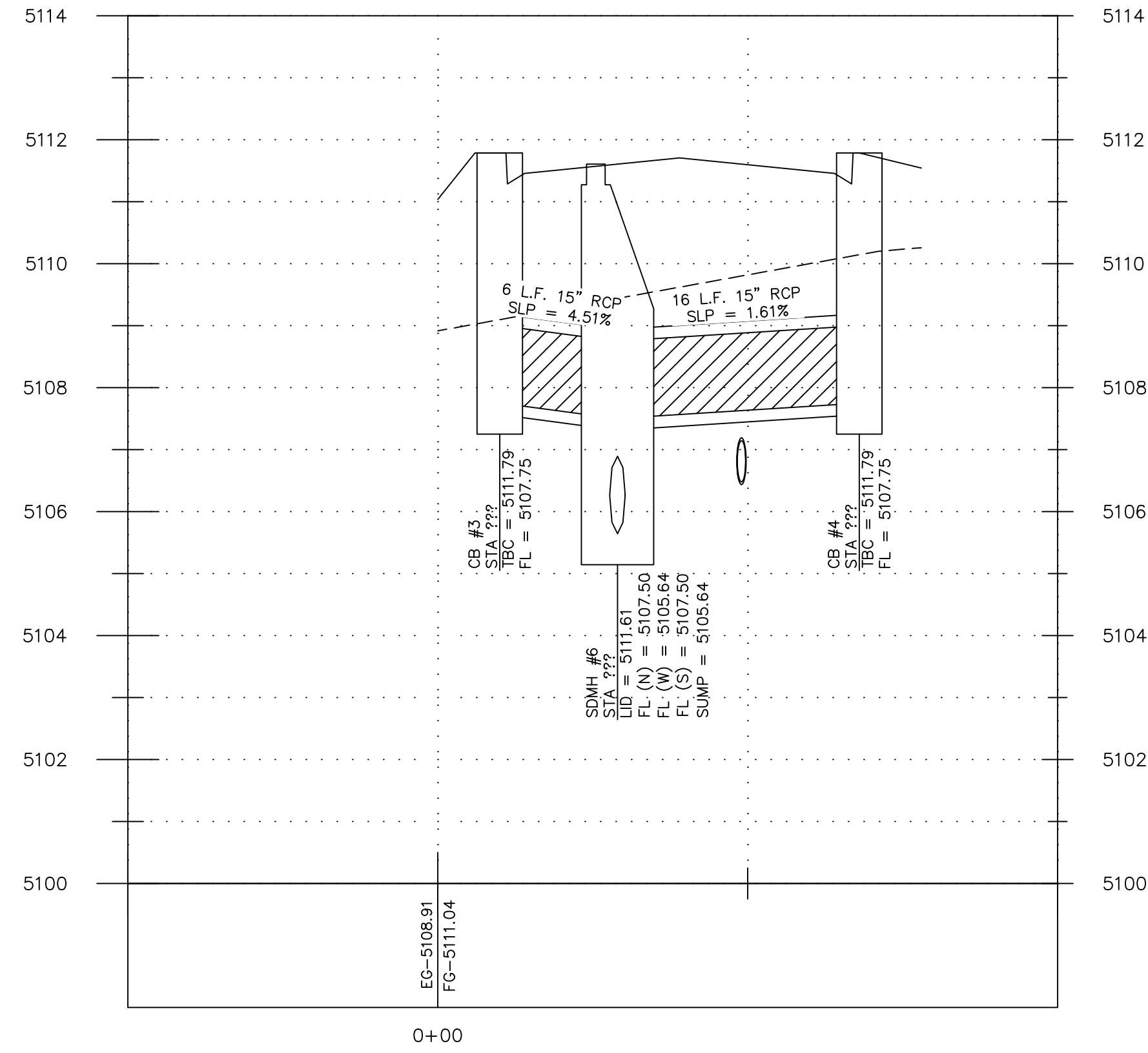


Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: CULTREC SYSTEM #2 P&P

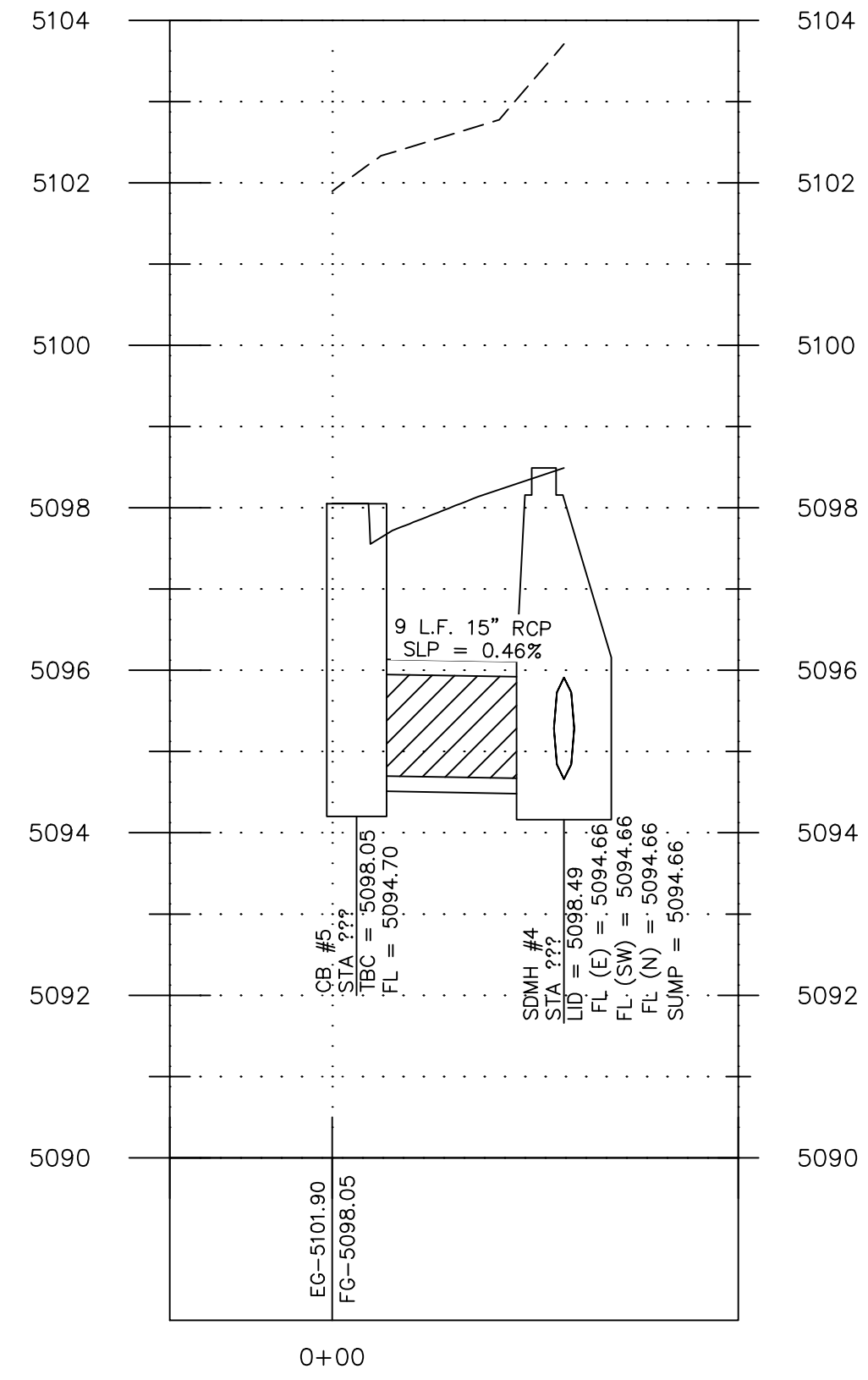
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 SHEET NO. 2.09

1-800-662-4111  
  
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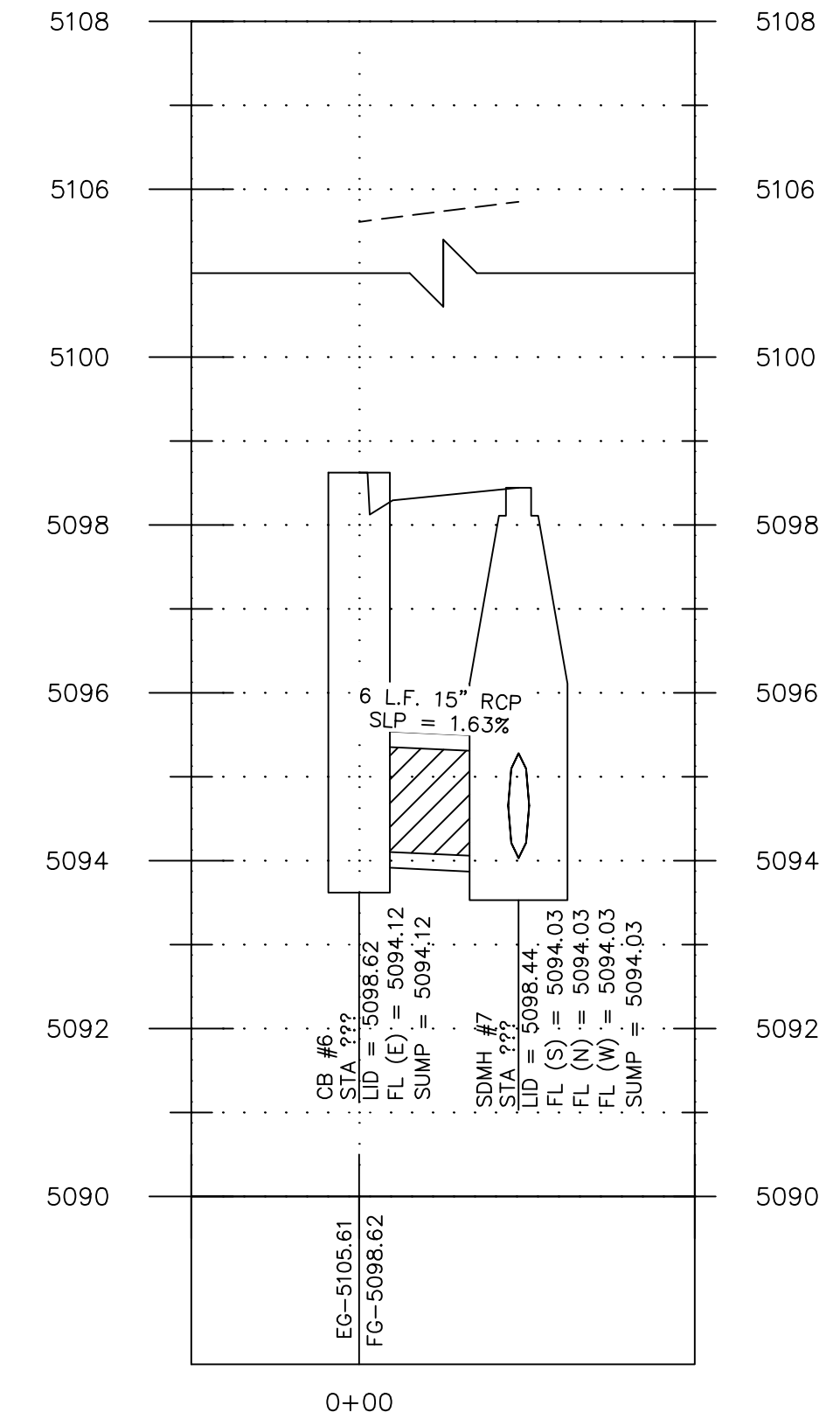
**STORM DRAIN #1 PROFILE**  
(PLAN VIEW SHEET 2.05)



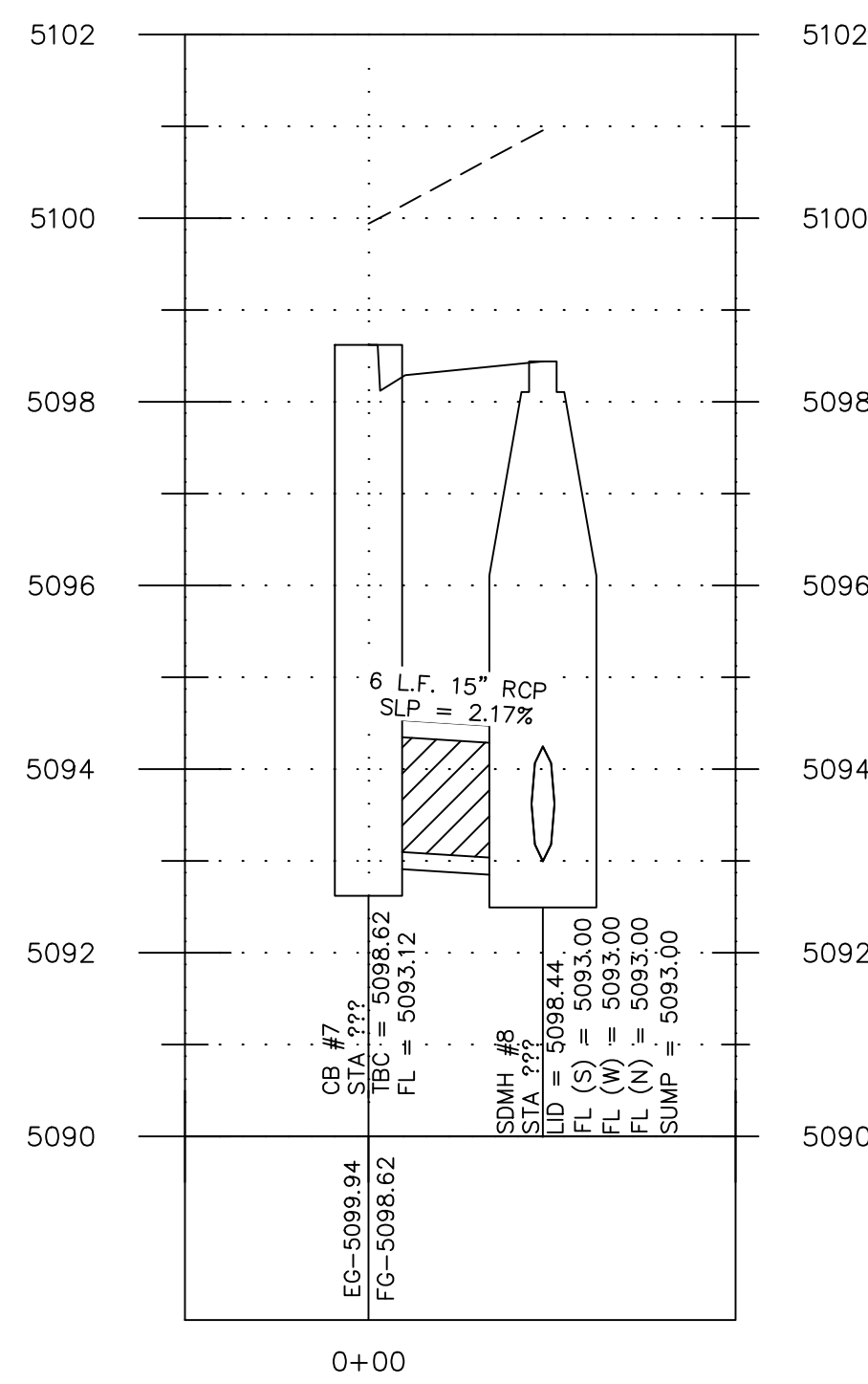
**STORM DRAIN #2 PROFILE**  
(PLAN VIEW SHEET 2.05 & 2.06)



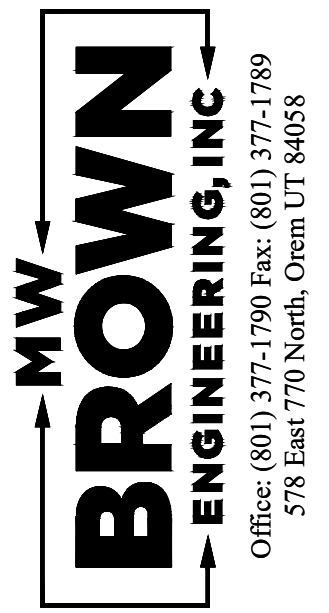
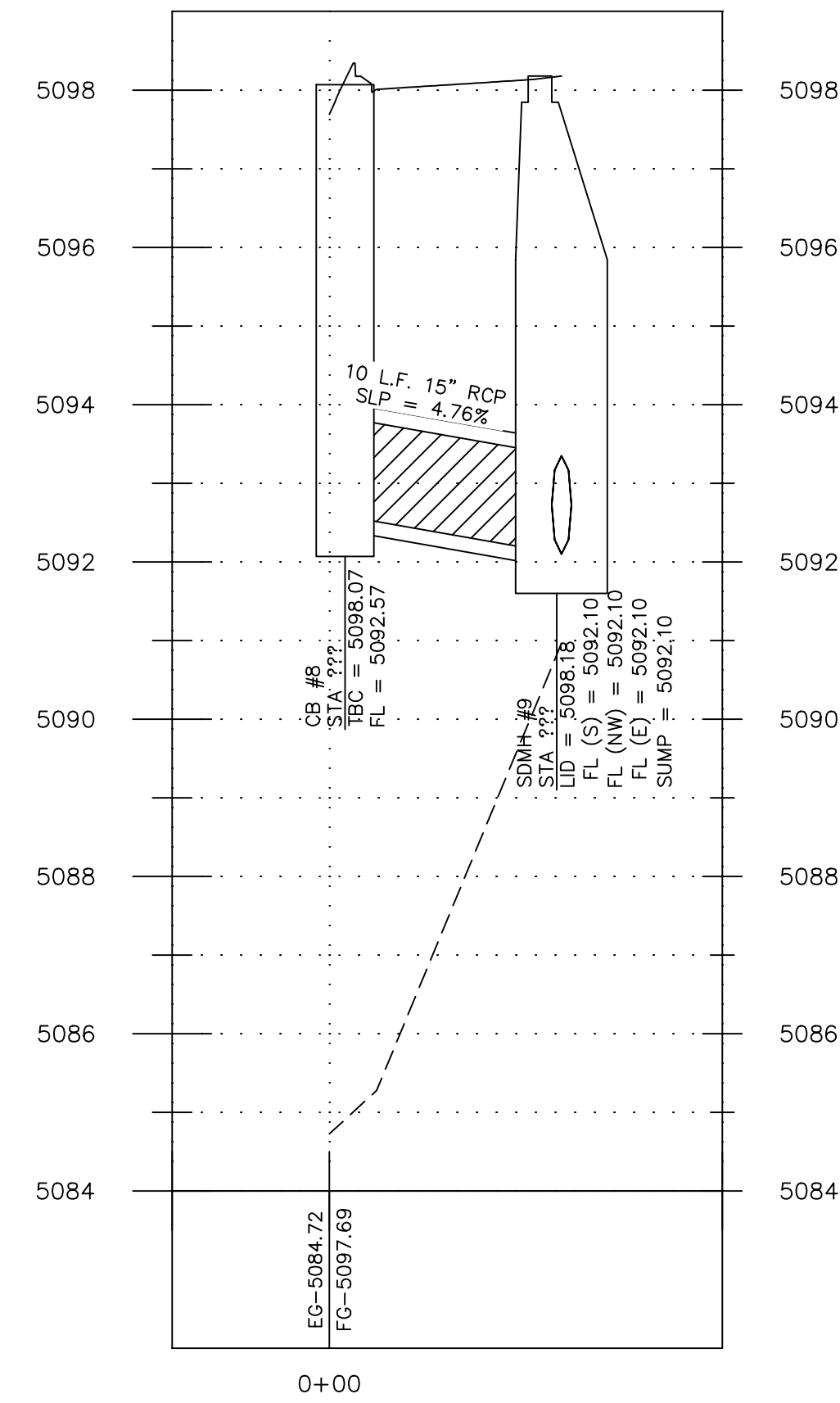
**STORM DRAIN #3 PROFILE**  
(PLAN VIEW SHEET 2.06)



**STORM DRAIN #4 PROFILE**  
(PLAN VIEW SHEET 2.06)



**STORM DRAIN #5 PROFILE**  
(PLAN VIEW SHEET 2.03 & 2.06)



No.	Date	By	Notes

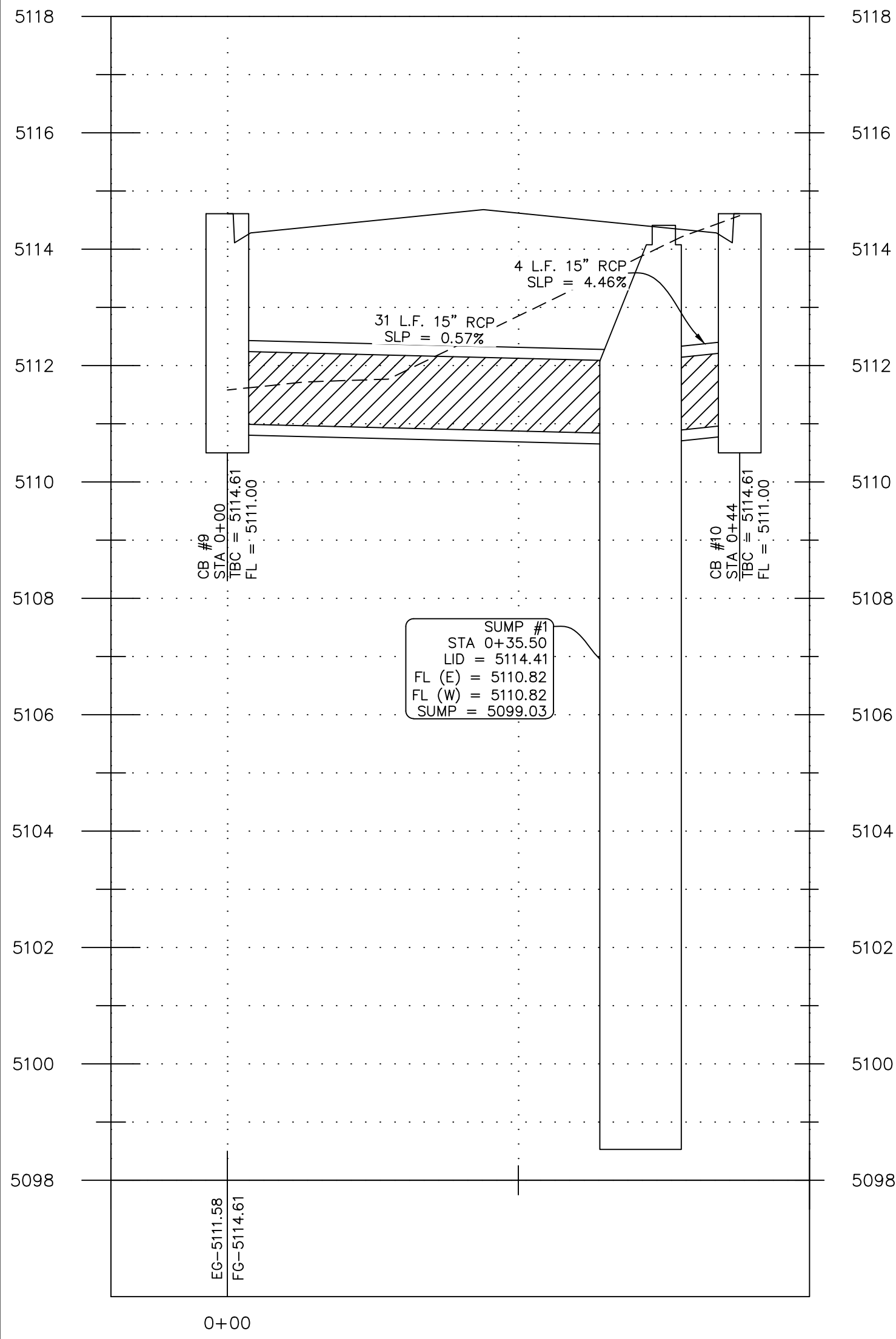
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Title: **CITADEL SANTAQUIN**  
 Location: **SANTAQUIN, UTAH**  
 Drawing Name: **STORM DRAIN PROFILES**

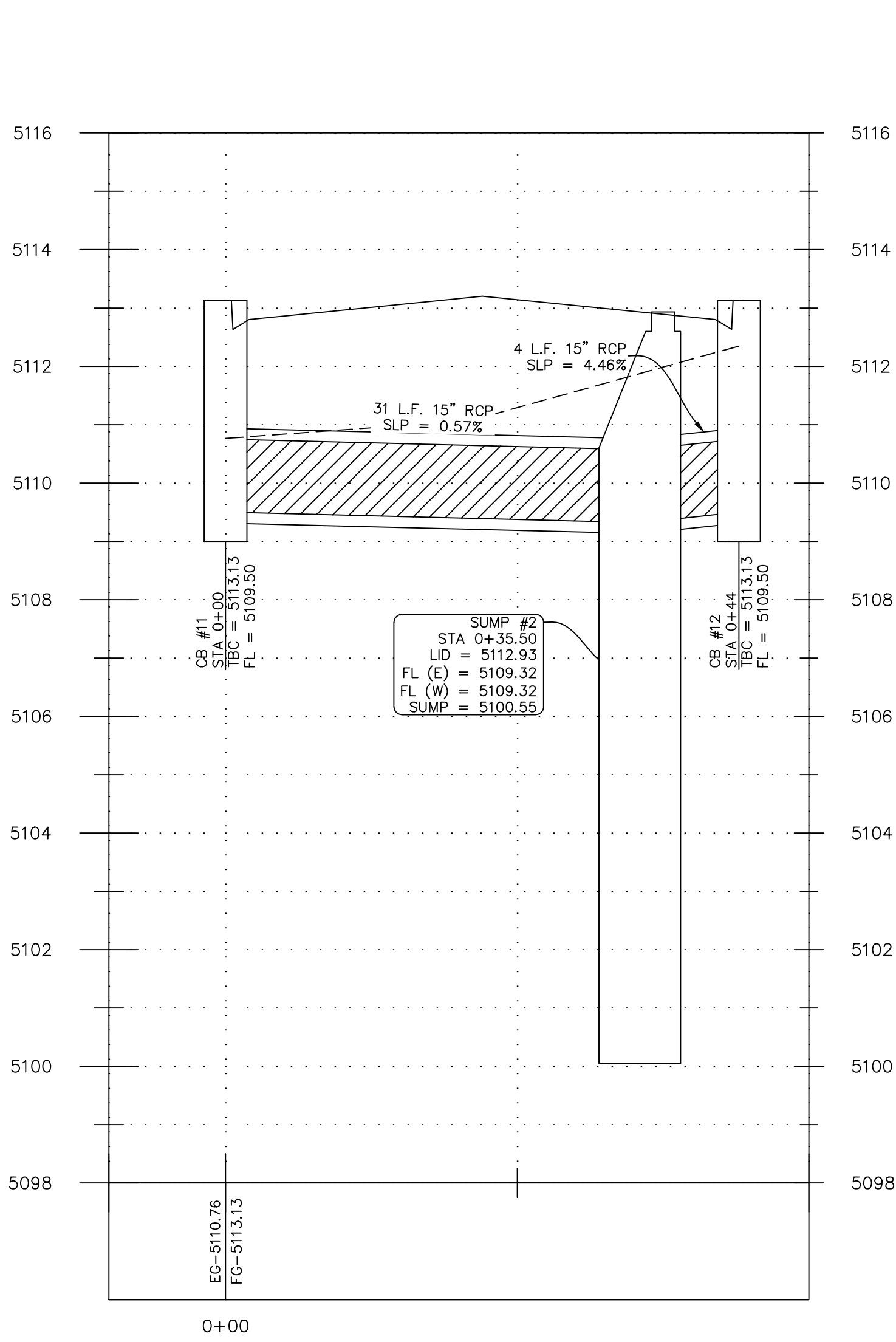
PROJECT NO.  
2023.018

SHEET NO.  
**2.10**

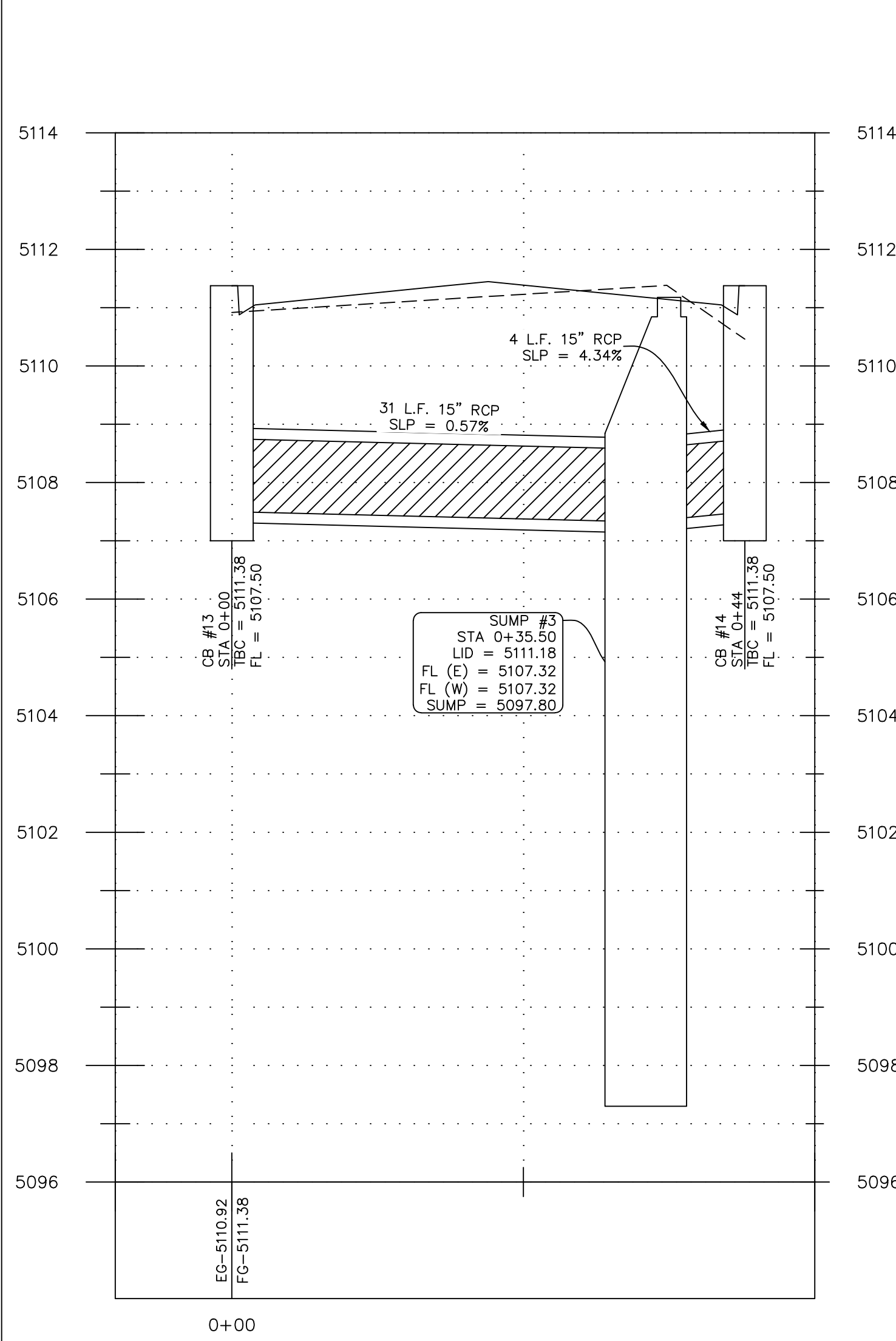
SUMP #1 PROFILE  
(PLAN VIEW SHEET 2.00)



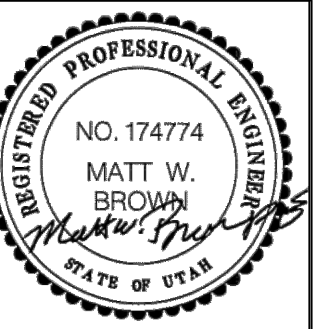
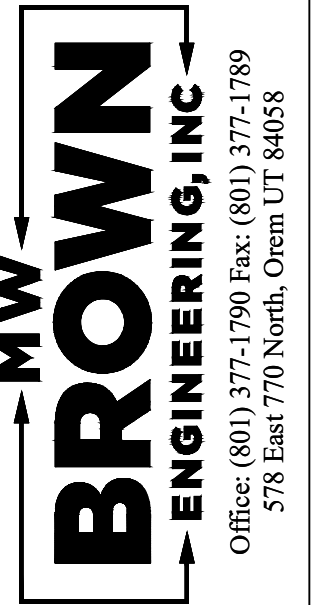
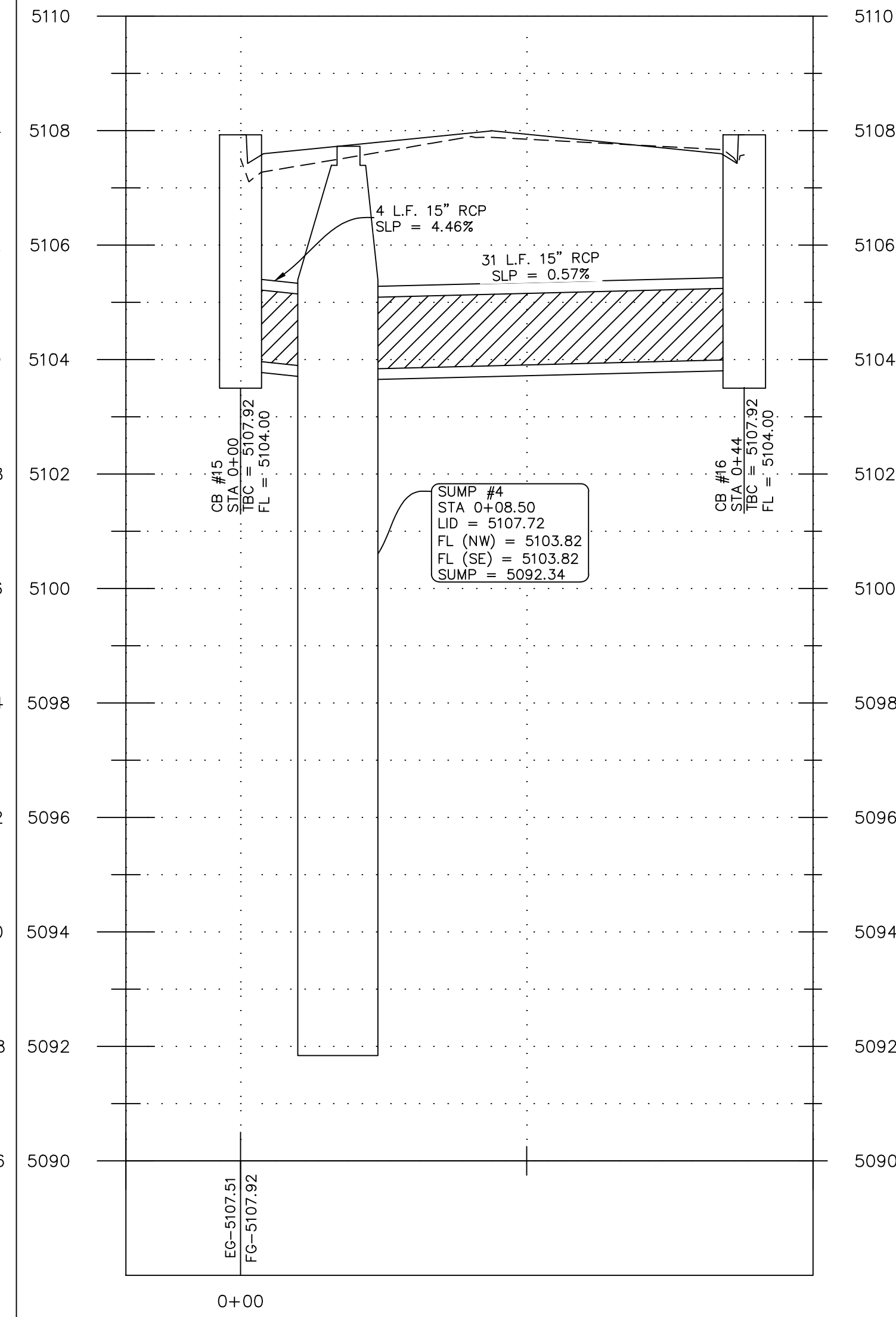
SUMP #2 PROFILE  
(PLAN VIEW SHEET 2.00)



SUMP #3 PROFILE  
(PLAN VIEW SHEET 2.01)



SUMP #4 PROFILE  
(PLAN VIEW SHEET 2.01)

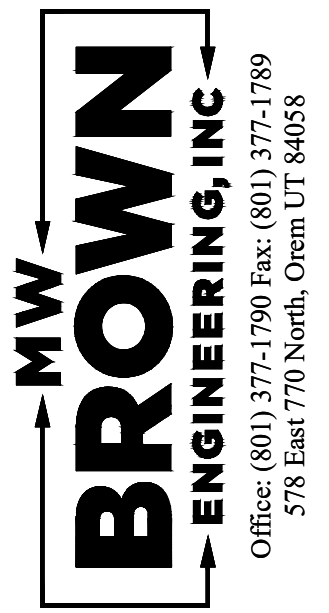
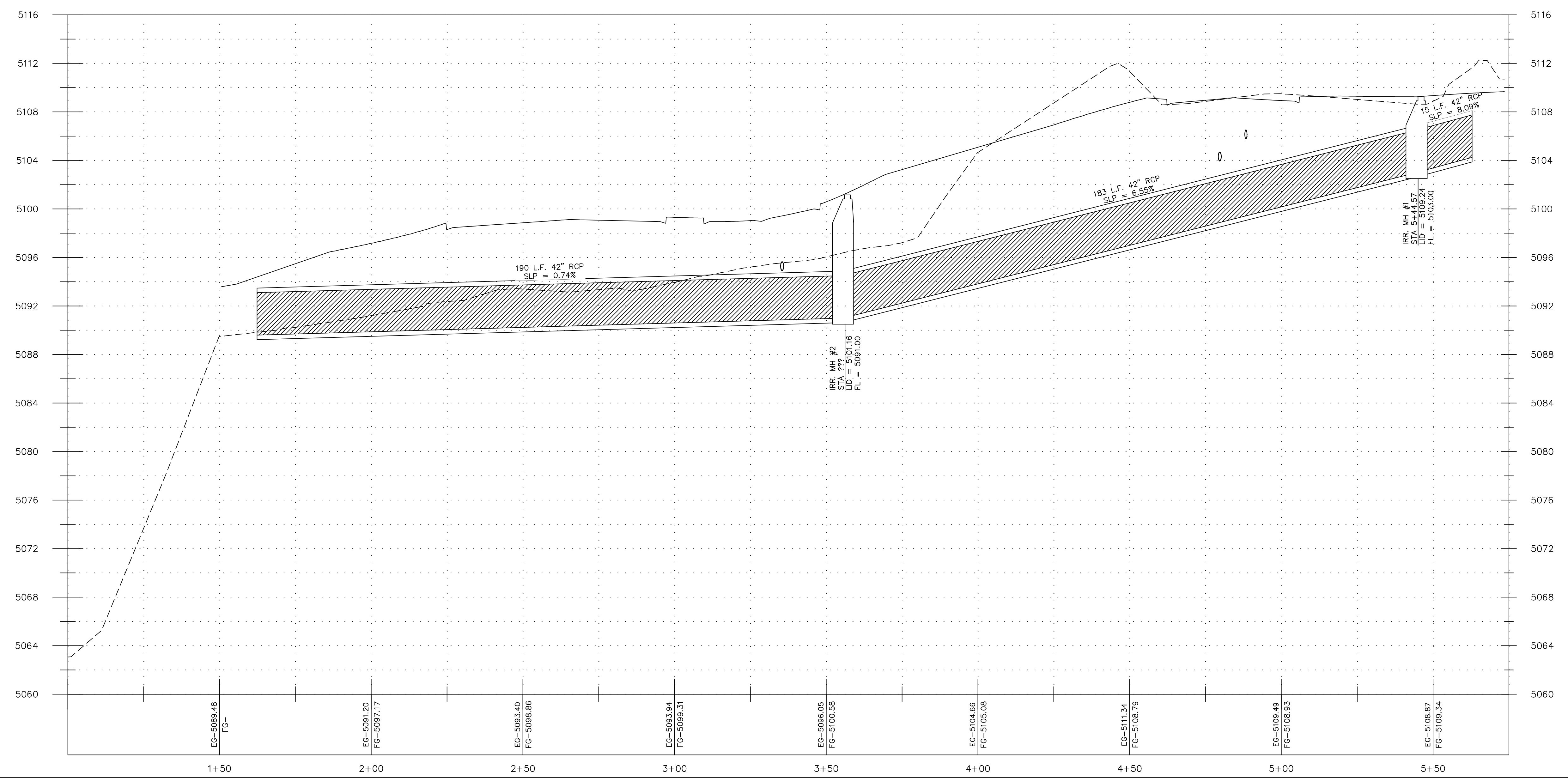
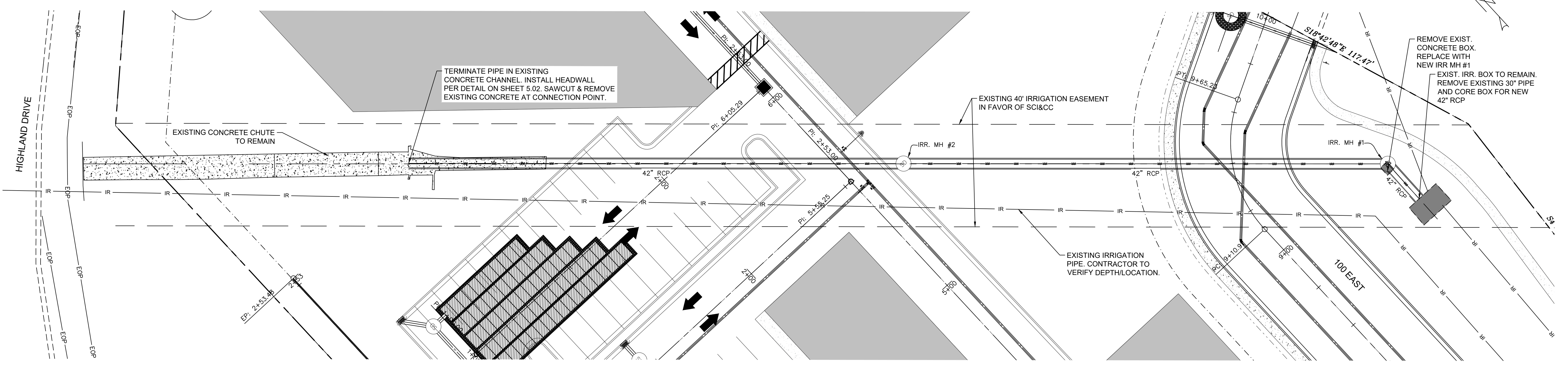


No.	Date	By	Notes

Designed: \_\_\_\_\_  
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 Date: \_\_\_\_\_

Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: STORM DRAIN PROFILES

PROJECT NO.  
2023.018  
 SHEET NO.  
2.11



No.	Date	By	REVISIONS

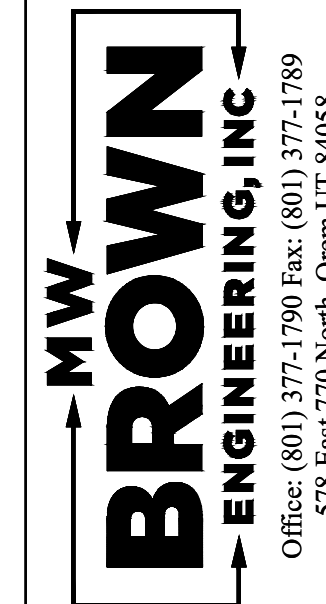
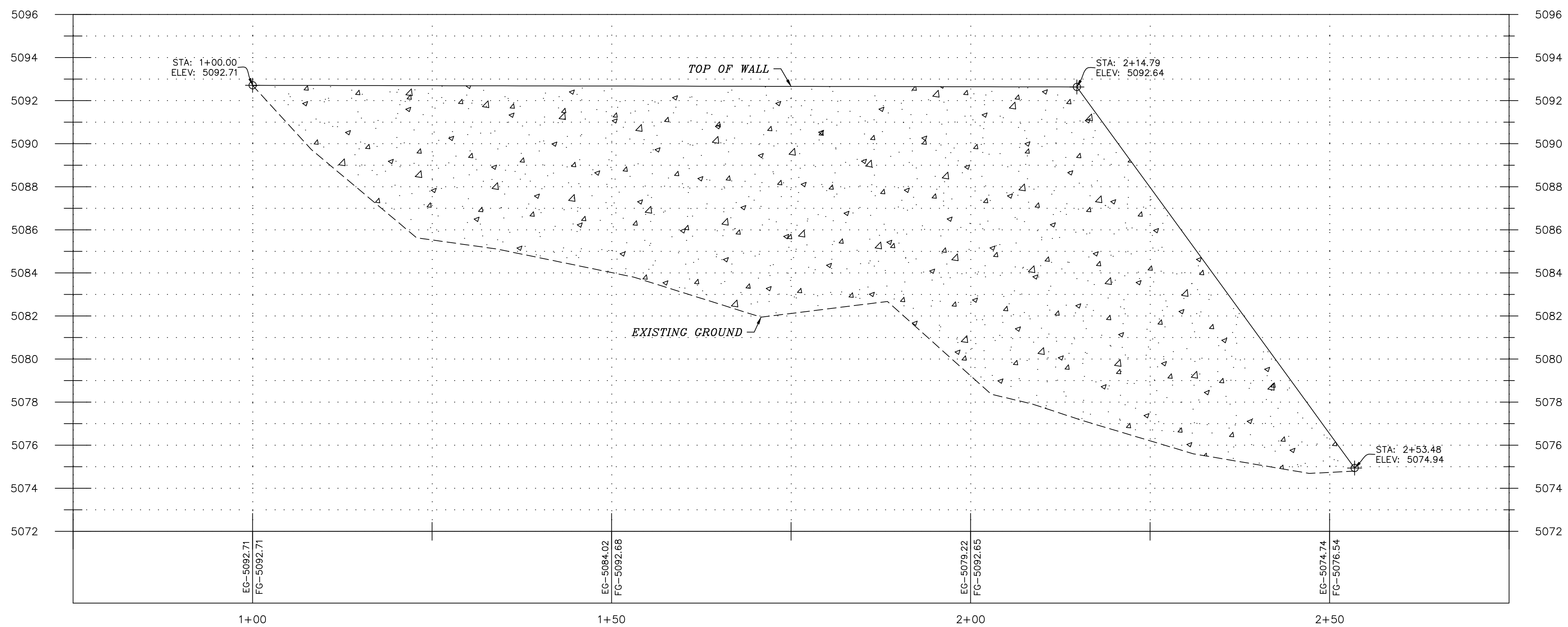
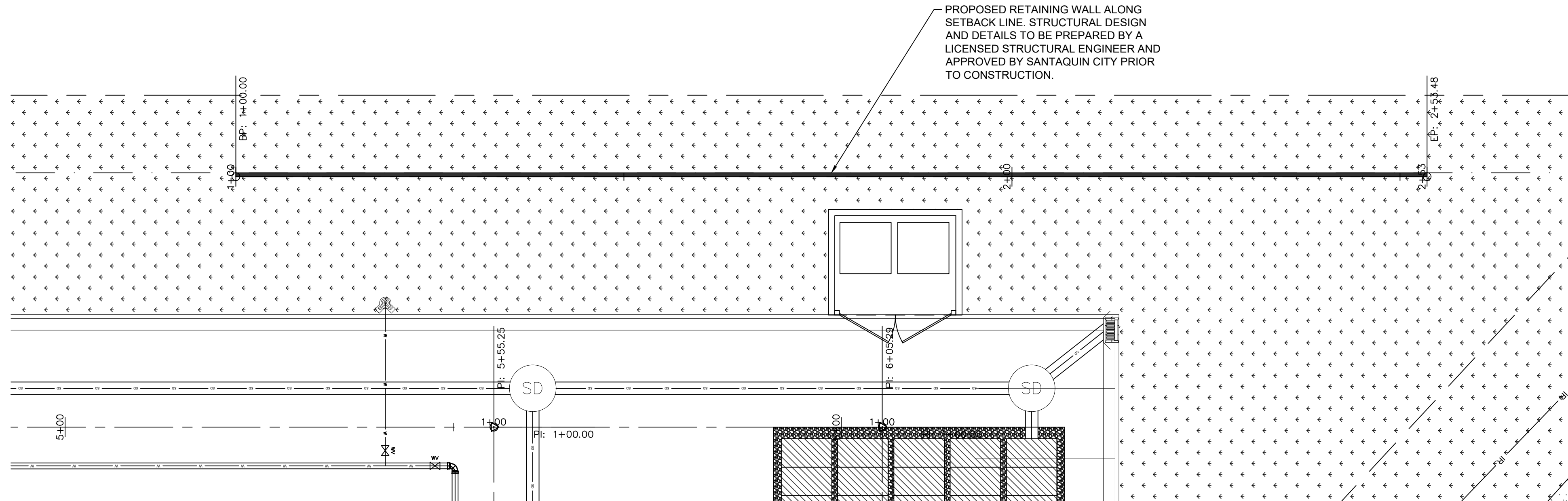
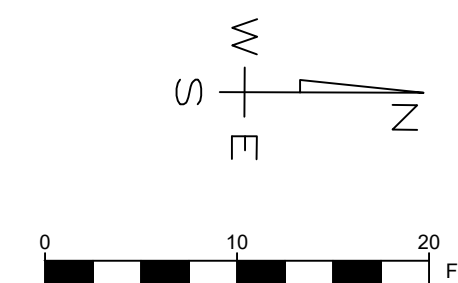
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 Date: \_\_\_\_\_

Title: **CITADEL SANTAQUIN**  
 Location: **SANTAQUIN, UTAH**  
 Drawing Name: **SCI&CC IRRIGATION PIPE P&P**

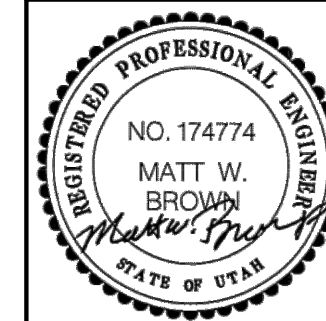
PROJECT NO. 2023.018  
 SHEET NO. 3.00



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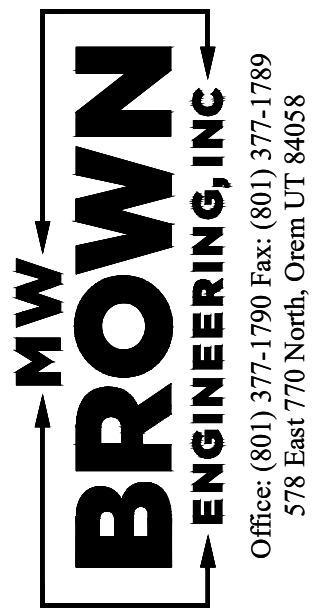
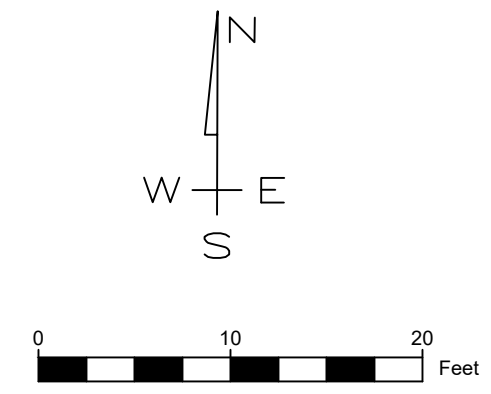
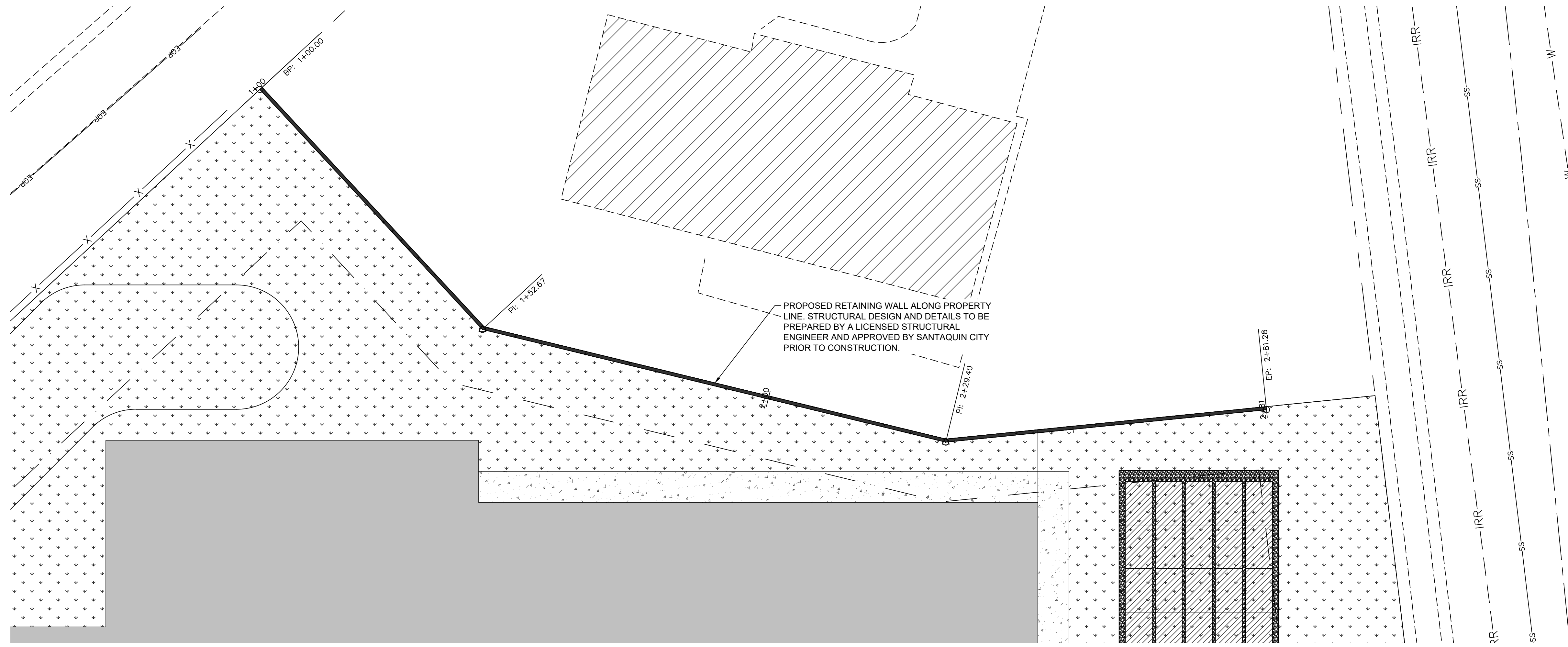


No.	Date	By	Notes

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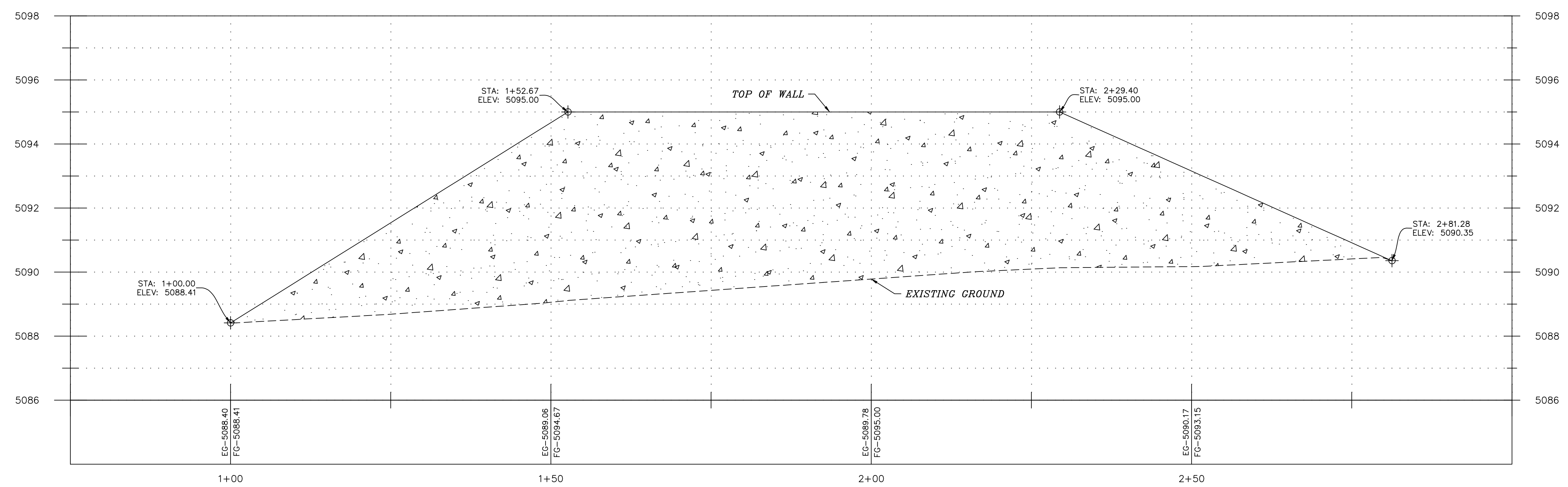
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 Location: SANTAQUIN, UTAH  
 Drawing Name: WEST RETAINING WALL P&P

PROJECT NO.  
2023.018  
 SHEET NO.  
4.00



No.	Date	By	Notes

Designed: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: \_\_\_\_\_



Title: CITADEL SANTAQUIN  
 Location: SANTAQUIN, UTAH  
 Drawing Name: NORTH RETAINING WALL P&P

PROJECT NO.  
2023.018

SHEET NO.  
4.01

1-800-662-4111

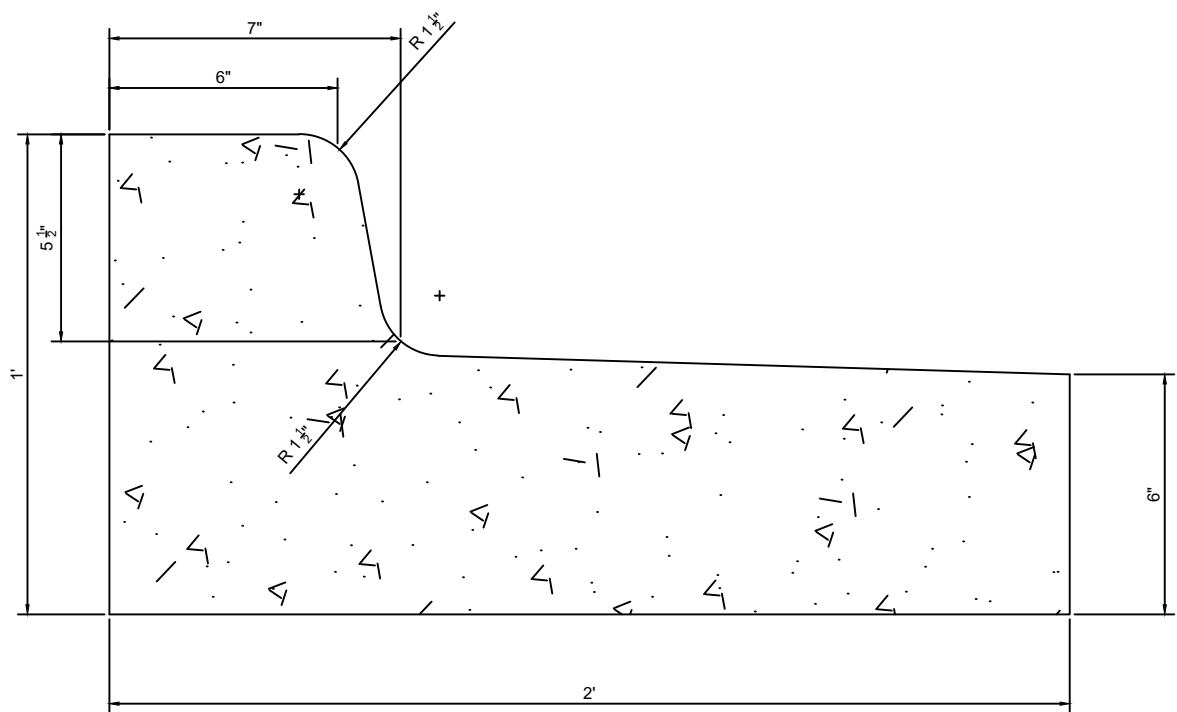
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CITY NOTES:

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

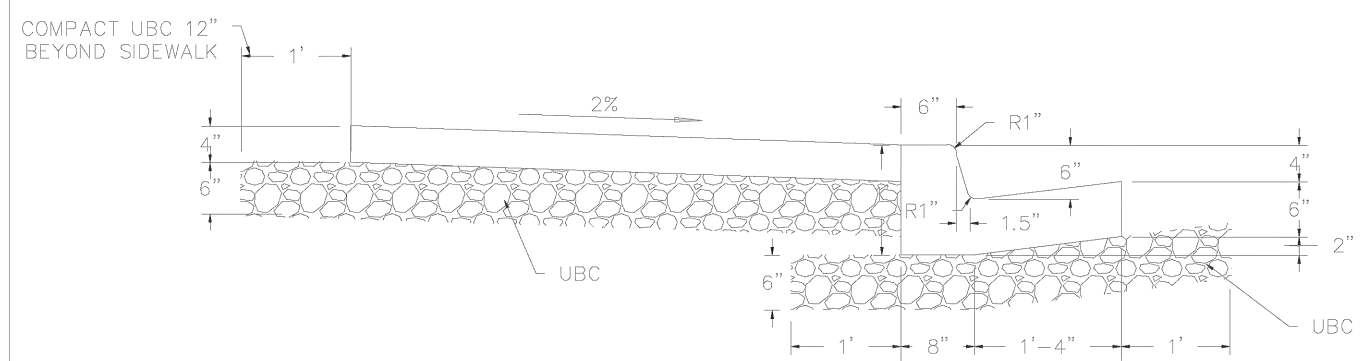
ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.

THE CURRENT SANTAQUIN CITY STANDARD SPECIFICATIONS AND DRAWINGS SHALL BE STRICTLY ADHERED TO.



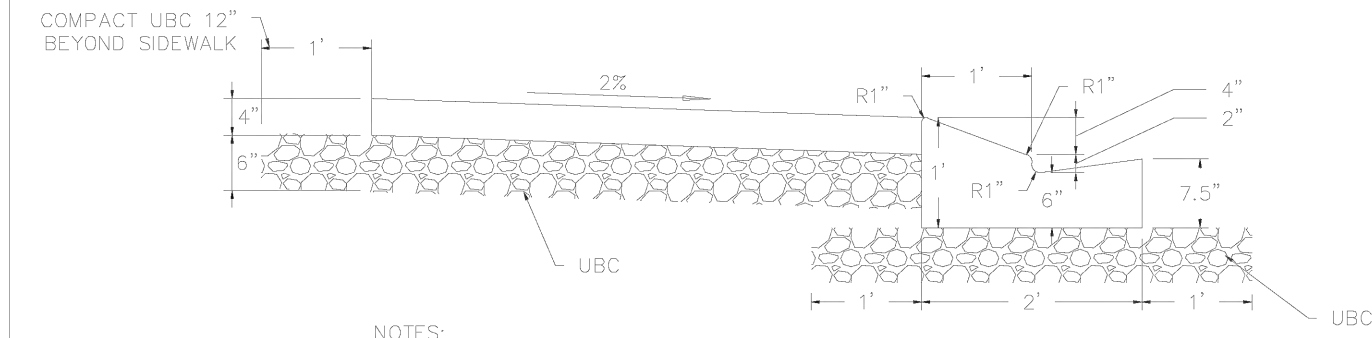
FALLOUT CURB

Revision table for the fallout curb drawing.



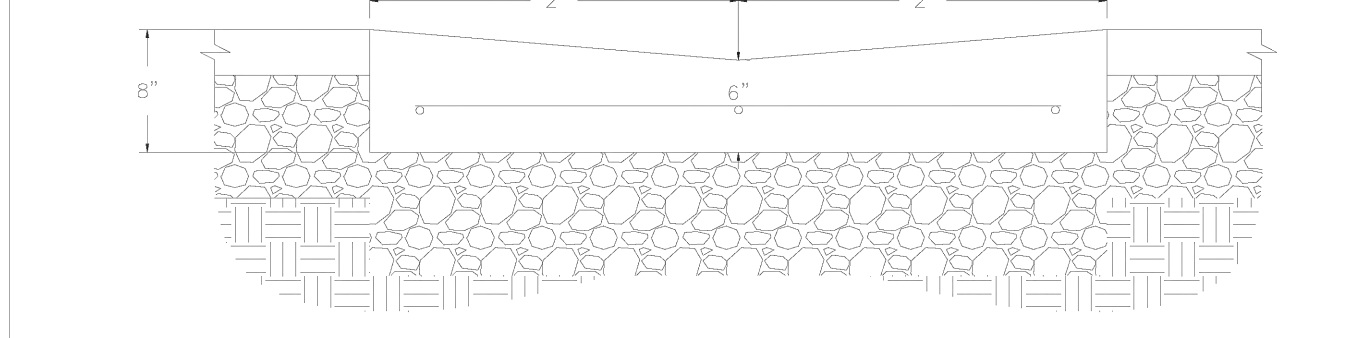
- NOTES: 1. PROVIDE A TOOLED JOINT EVERY 10' IN CURB & GUTTER, & EVERY 5' IN SIDEWALK. 2. PROVIDE AN EXPANSION JOINT EVERY 30' IN SIDEWALK.

TYPICAL HIGH BACK CURB AND GUTTER



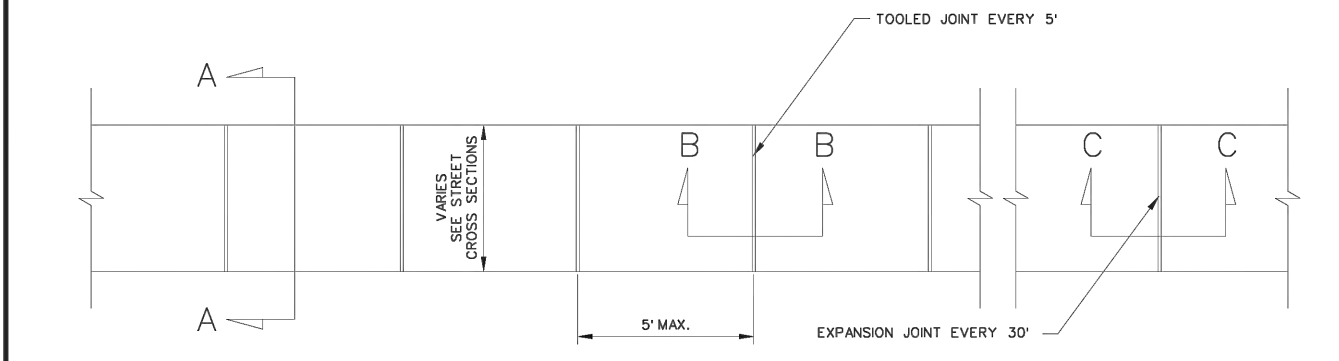
- NOTES: 1. 24" MOUNTABLE CURB IS APPROVED ONLY ON A CASE BY CASE BASIS. (FACTORS FOR APPROVAL INCLUDE SUBDIVISION SIZE, STORM WATER DRAINAGE ISSUES, STREET WIDTH, AND SURROUNDING SUBDIVISIONS) 2. TRANSITIONS TO HIGH BACK CURB SHALL BE ACCOMPLISHED IN A MINIMUM OF 6'. (FOR CURB INLET BOXES, ETC.)

MODIFIED CURB AND GUTTER

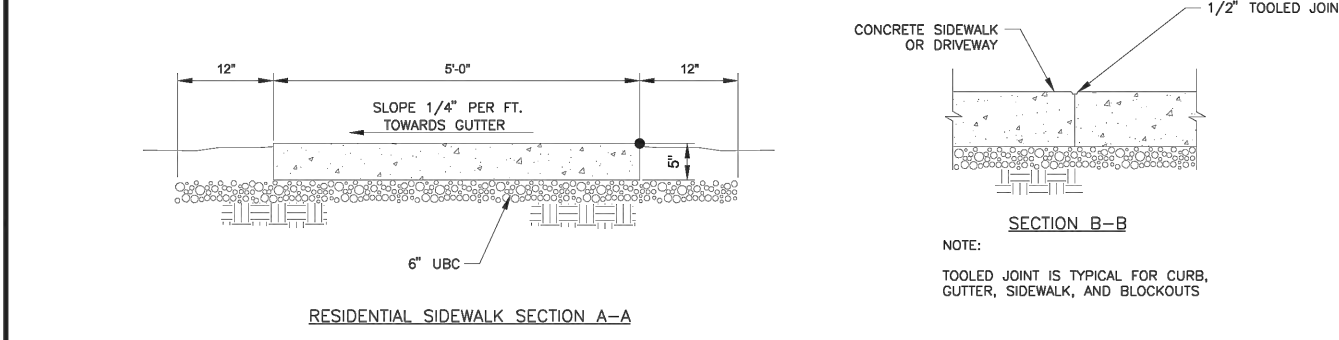


CROSS GUTTER

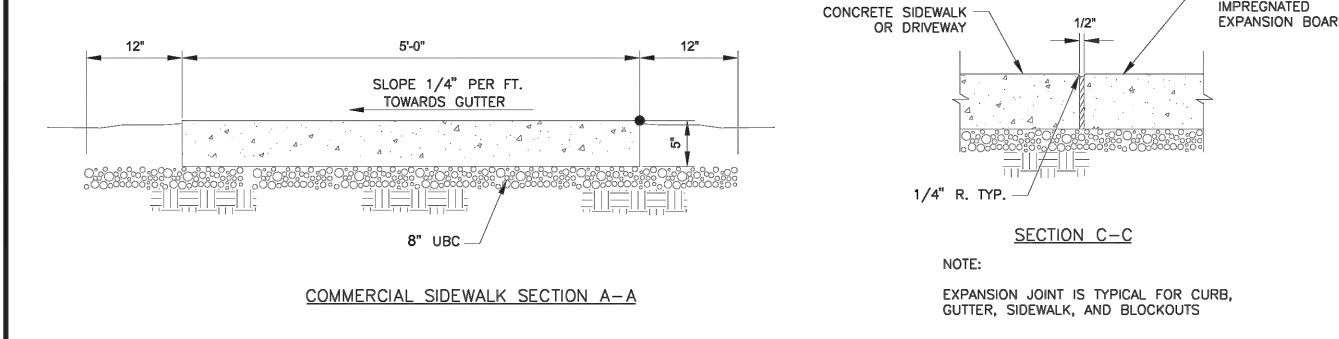
Revision table for the curb and gutter drawings.



PLAN VIEW



RESIDENTIAL SIDEWALK SECTION A-A

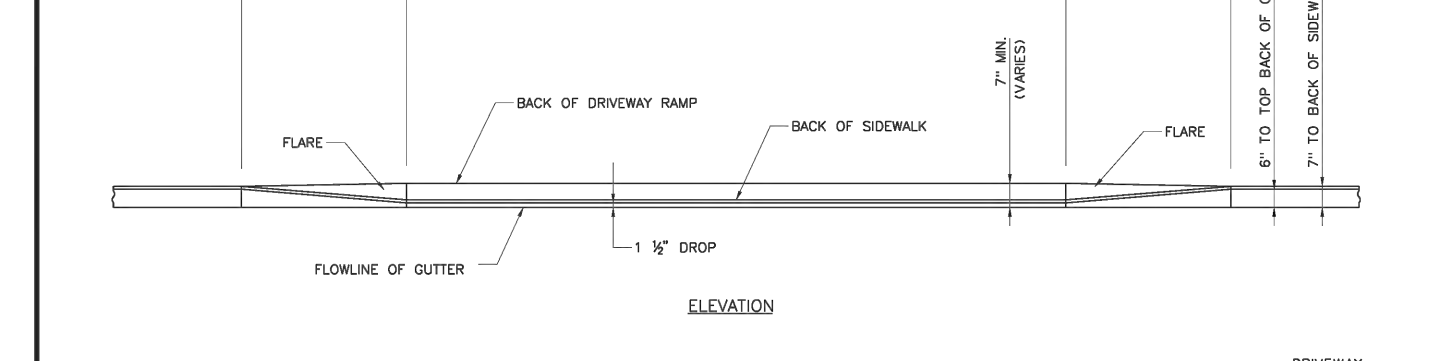
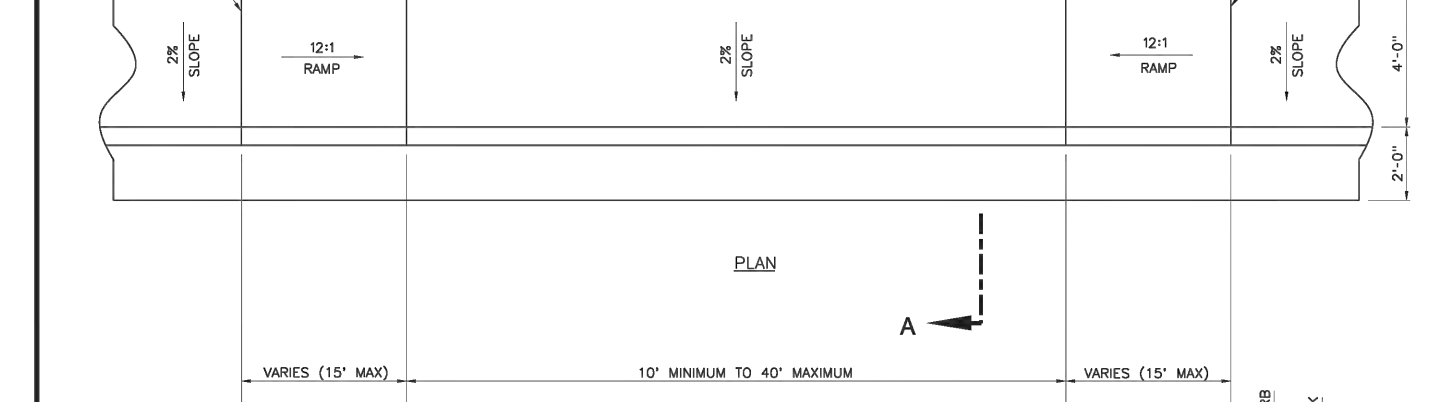
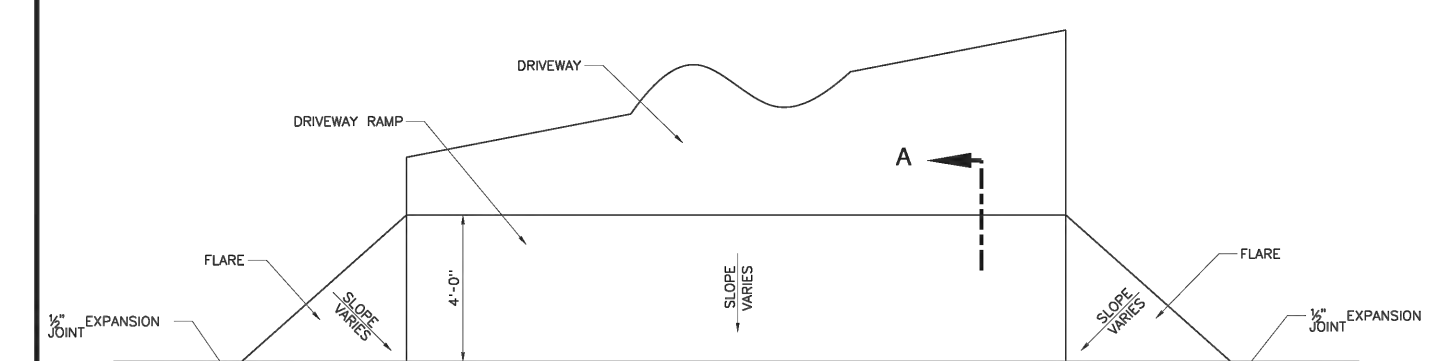


COMMERCIAL SIDEWALK SECTION A-A

- NOTES: 1. PROVIDE A TOOLED JOINT EVERY 10'-0" IN CURB & GUTTER, & EVERY 5'-0" IN SIDEWALK. 2. PROVIDE AN EXPANSION JOINT EVERY 30'-0" IN SIDEWALK. 3. PLACE UBC UNDER CONCRETE SIDEWALK AND 12" BEYOND FRONT AND BACK OF WALK.

SIDEWALK DETAILS NOT TO SCALE

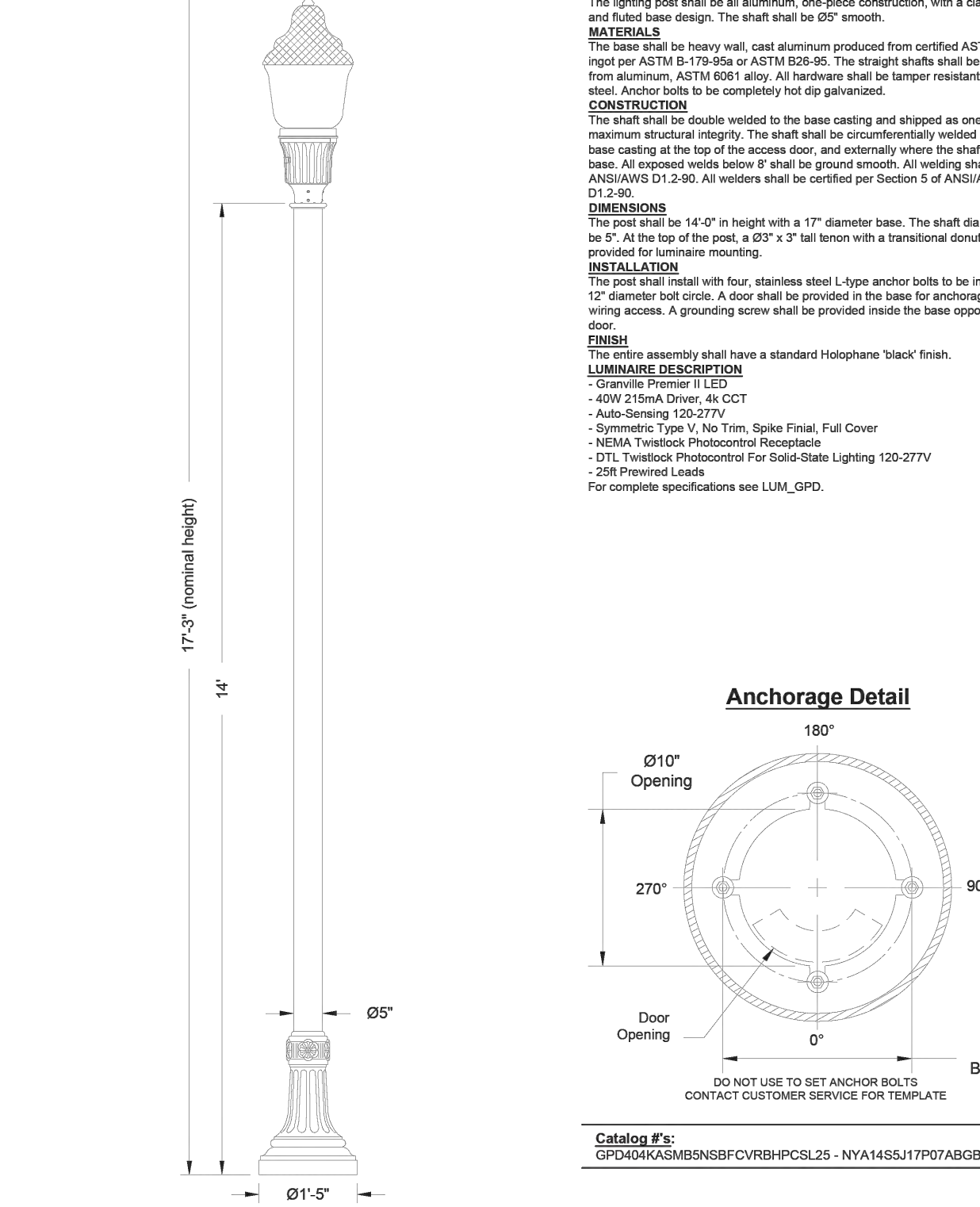
Revision table for the sidewalk details drawing.



- NOTES: 1. SLOPED AREAS AND SLOPED DRIVEWAYS SHALL HAVE A COARSE BROKEN FINISH. 2. THE DRIVEWAY AT A POINT 4' BEHIND THE SIDEWALK SHALL BE AT LEAST 7" HIGHER THAN THE FLOWLINE OF THE GUTTER. 3. RAMP AND FLARES ARE TO BE 6" THICK CONCRETE.

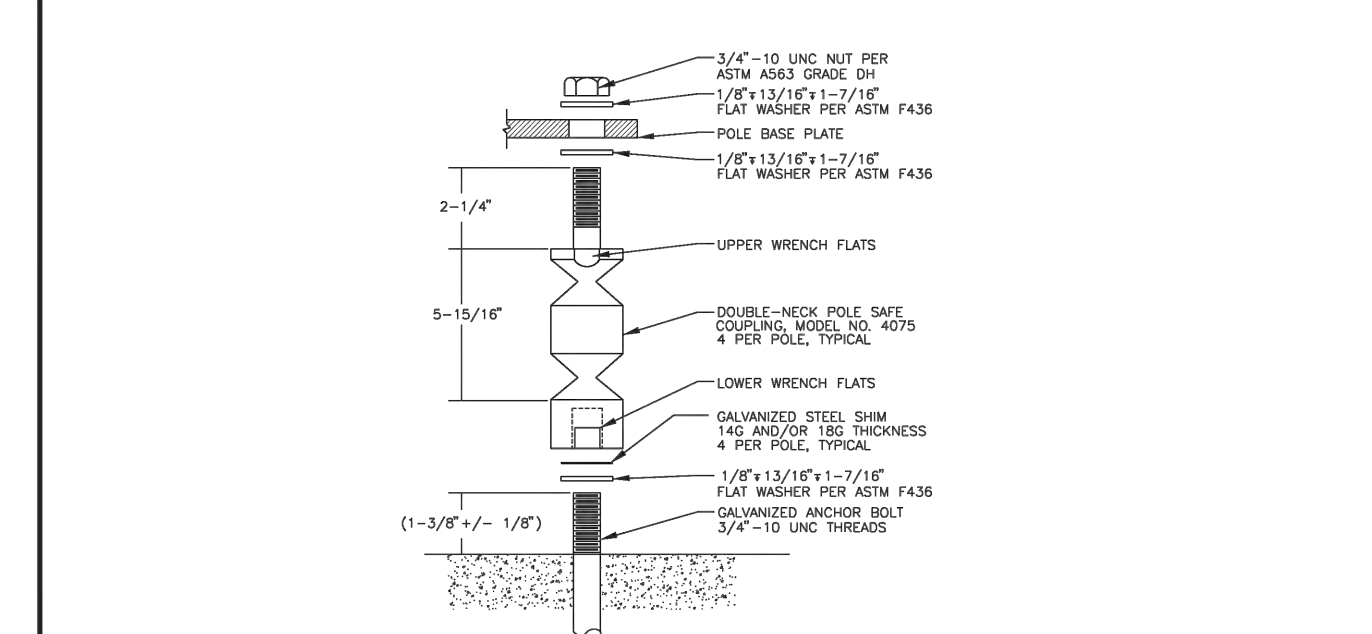
Revision table for the driveway approach drawing.

Specifications

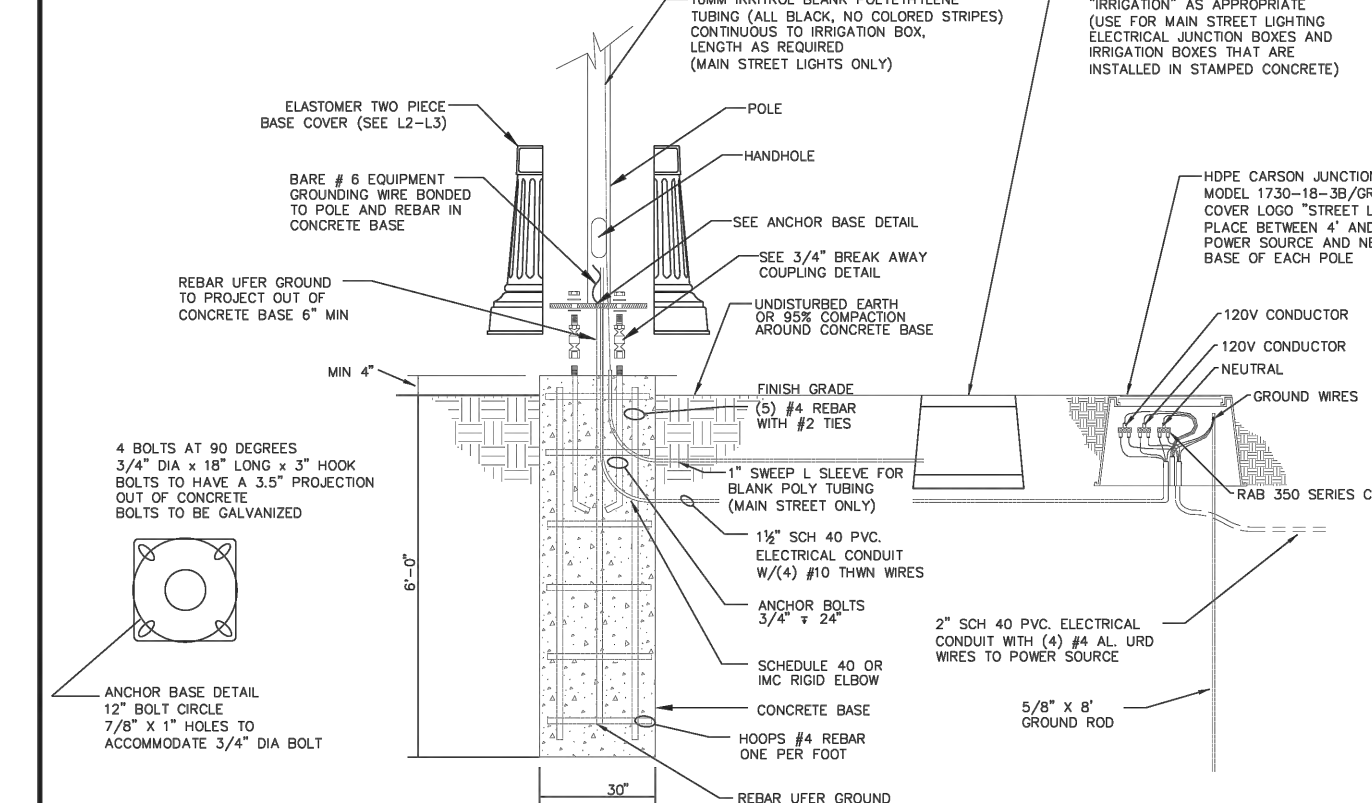


Anchorage Detail

Revision table for the luminaire specifications drawing.

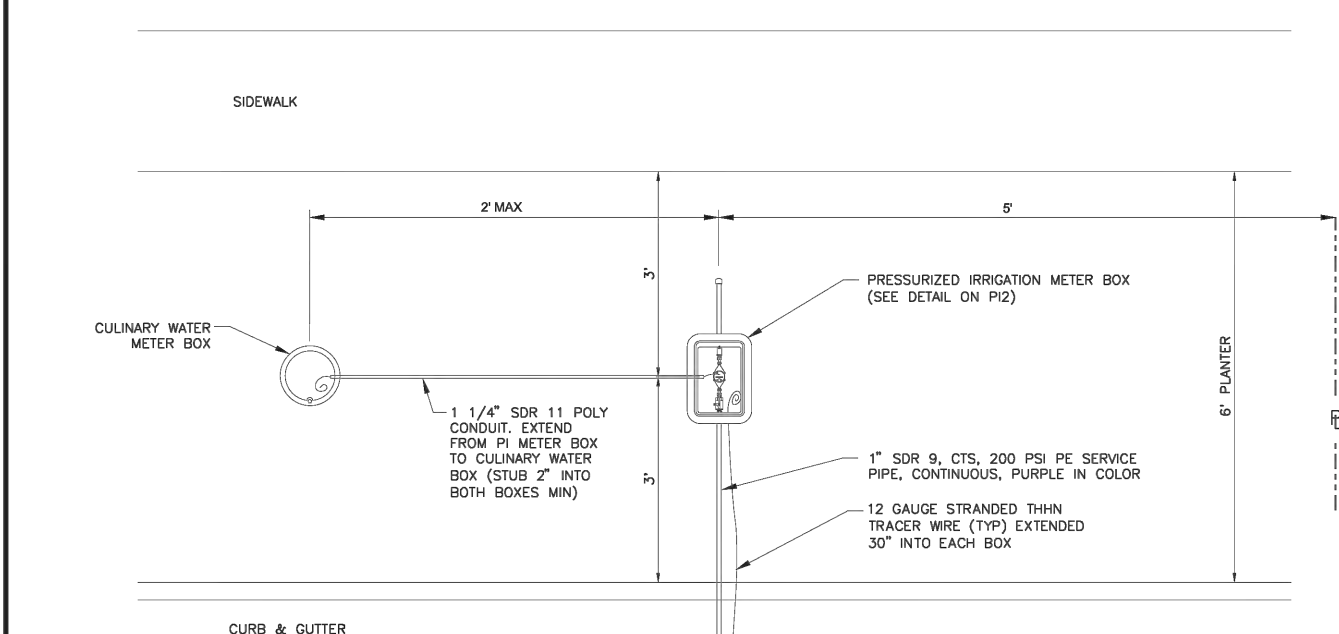


BREAK AWAY COUPLING DETAIL NOT TO SCALE

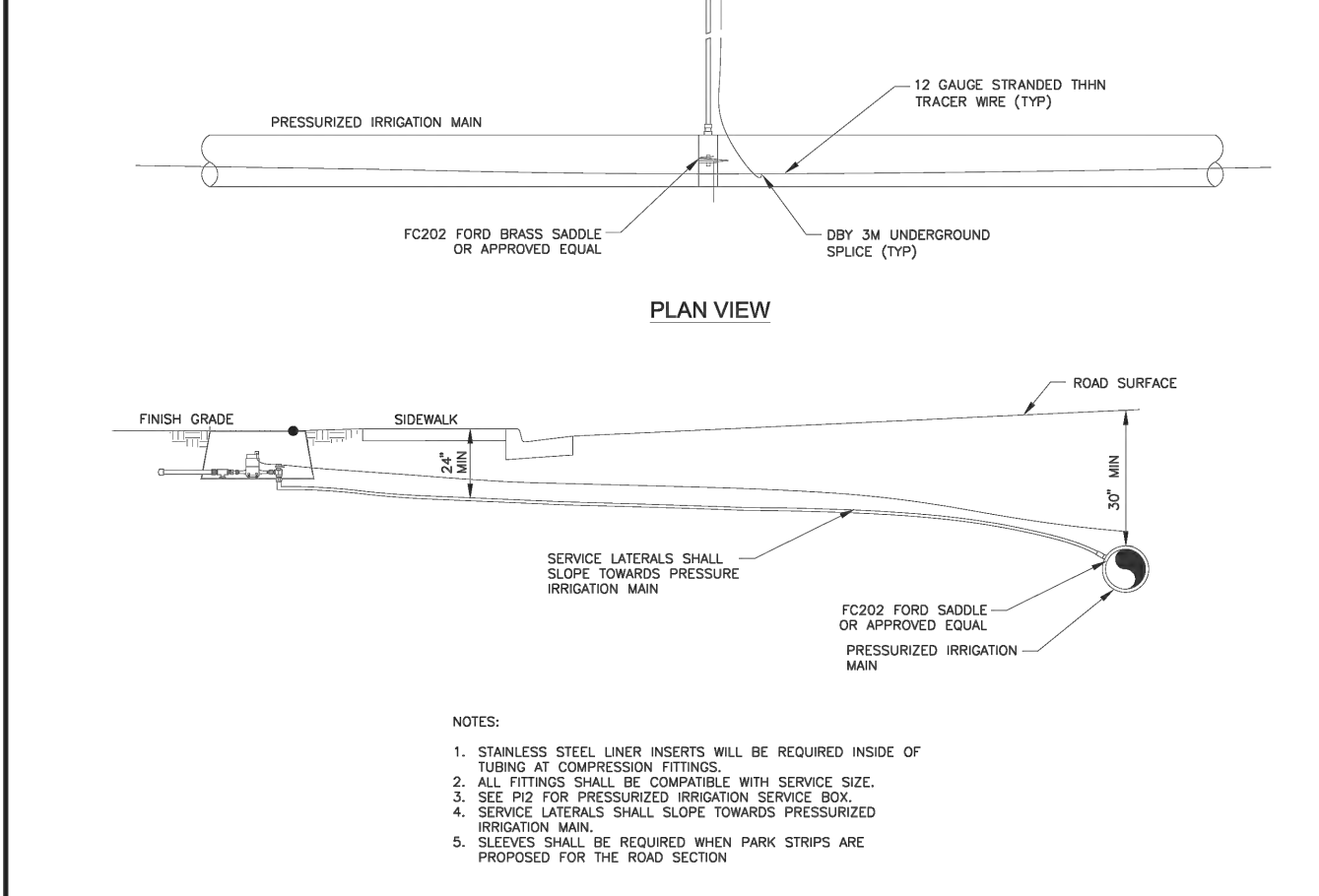


ANCHOR BASE DETAIL NOT TO SCALE

Revision table for the anchor base and break away coupling drawings.

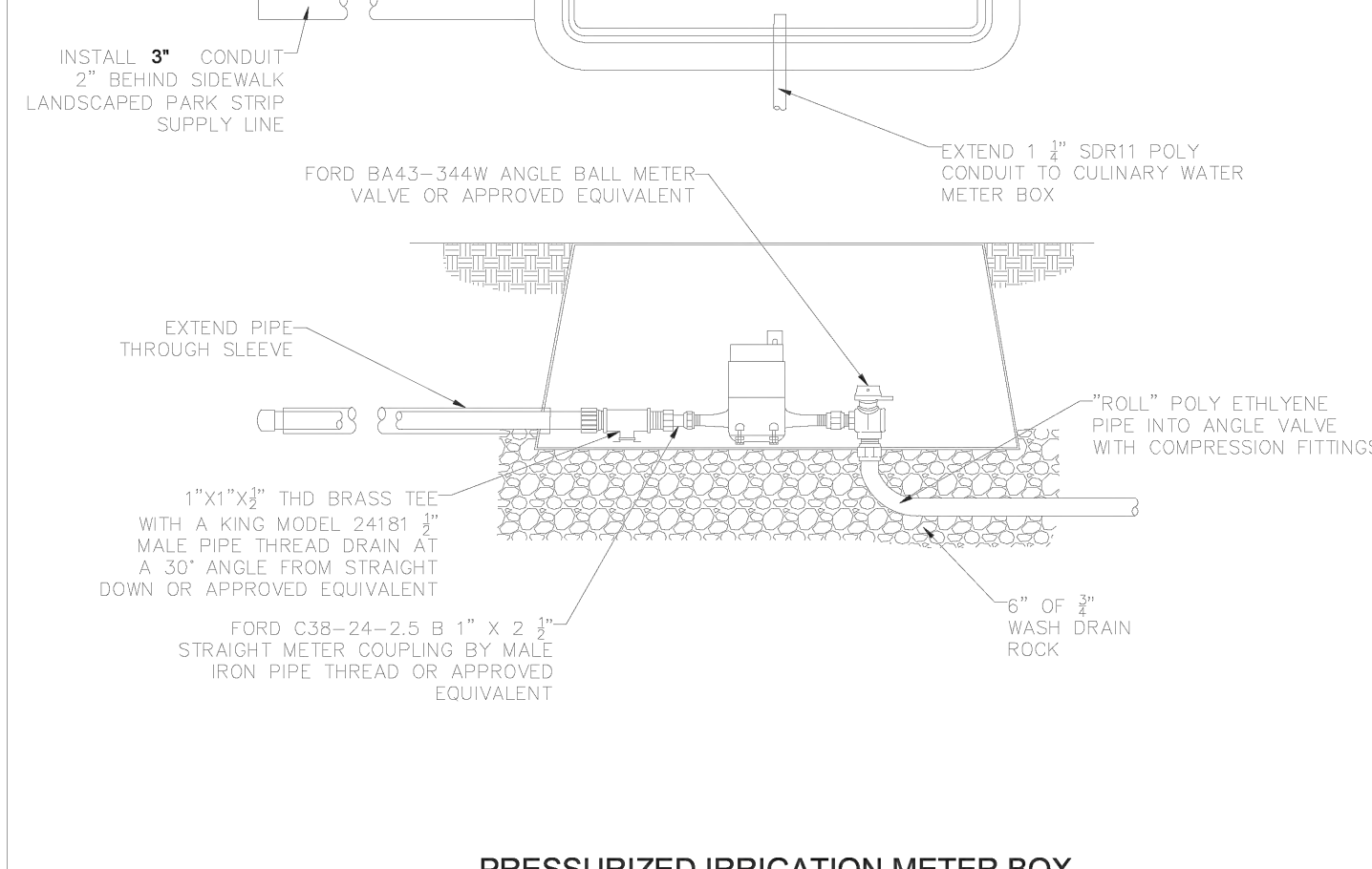
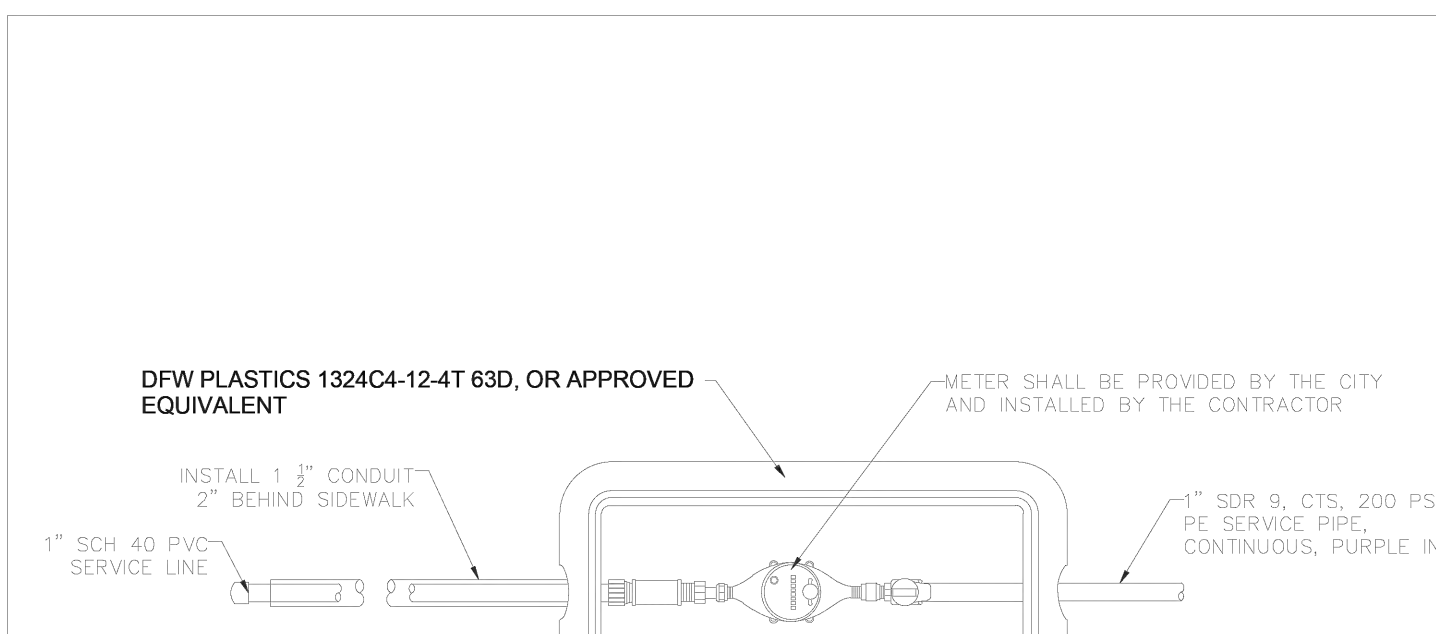


PLAN VIEW



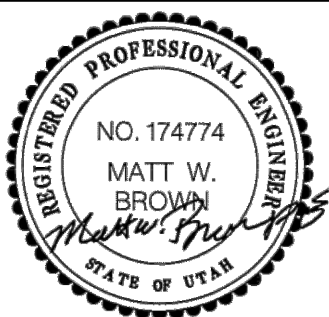
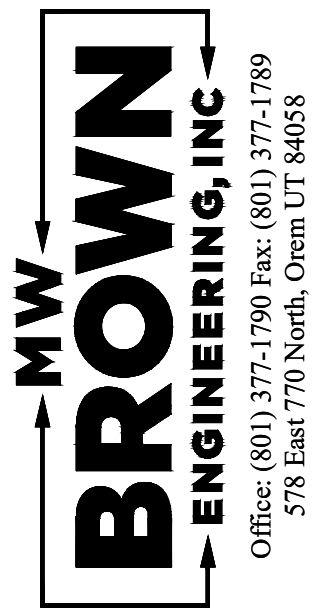
PRESSURE IRRIGATION SERVICE LATERAL NOT TO SCALE

Revision table for the pressure irrigation service lateral drawing.



PRESSURIZED IRRIGATION METER BOX NOT TO SCALE

Revision table for the pressurized irrigation meter box drawing.



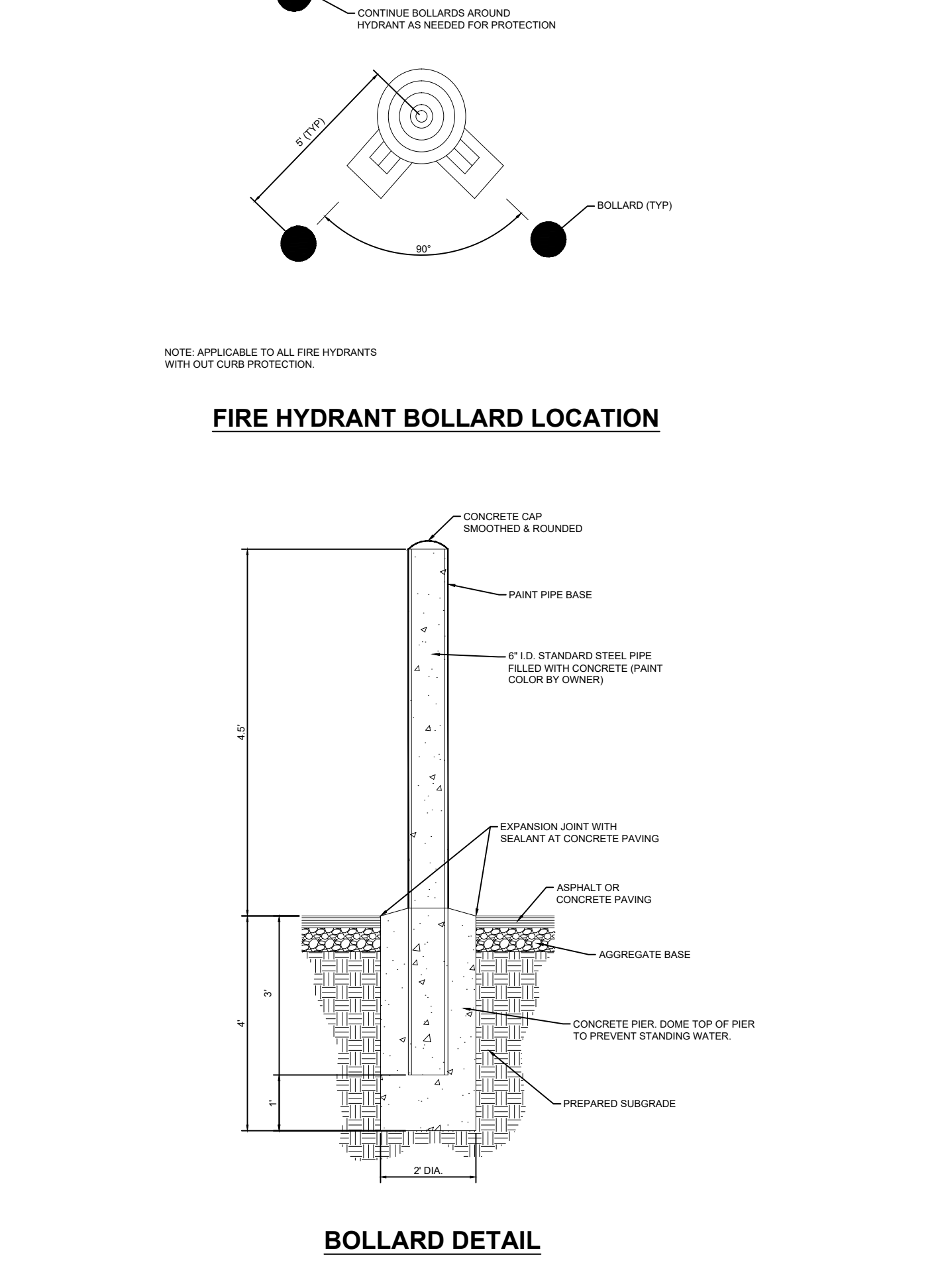
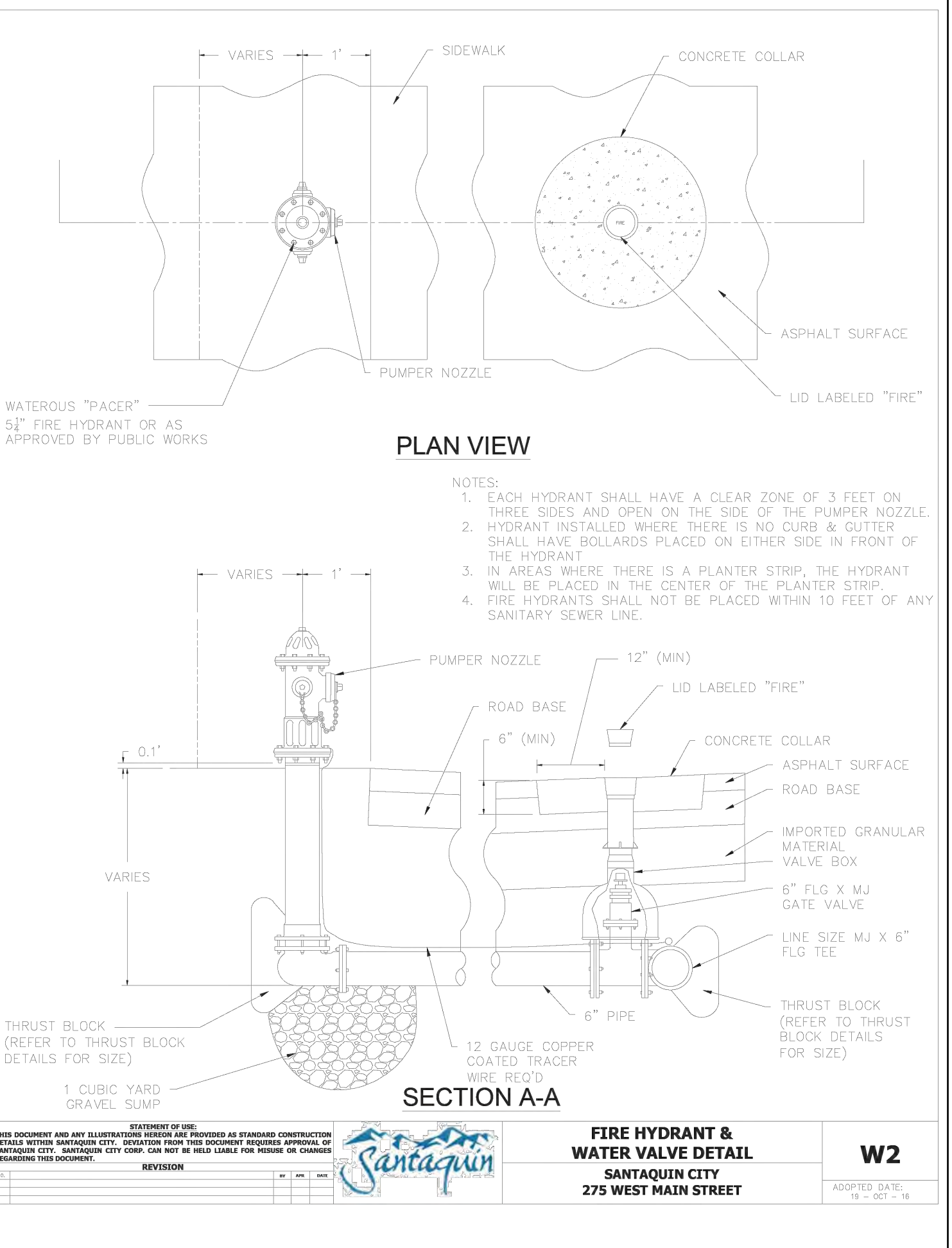
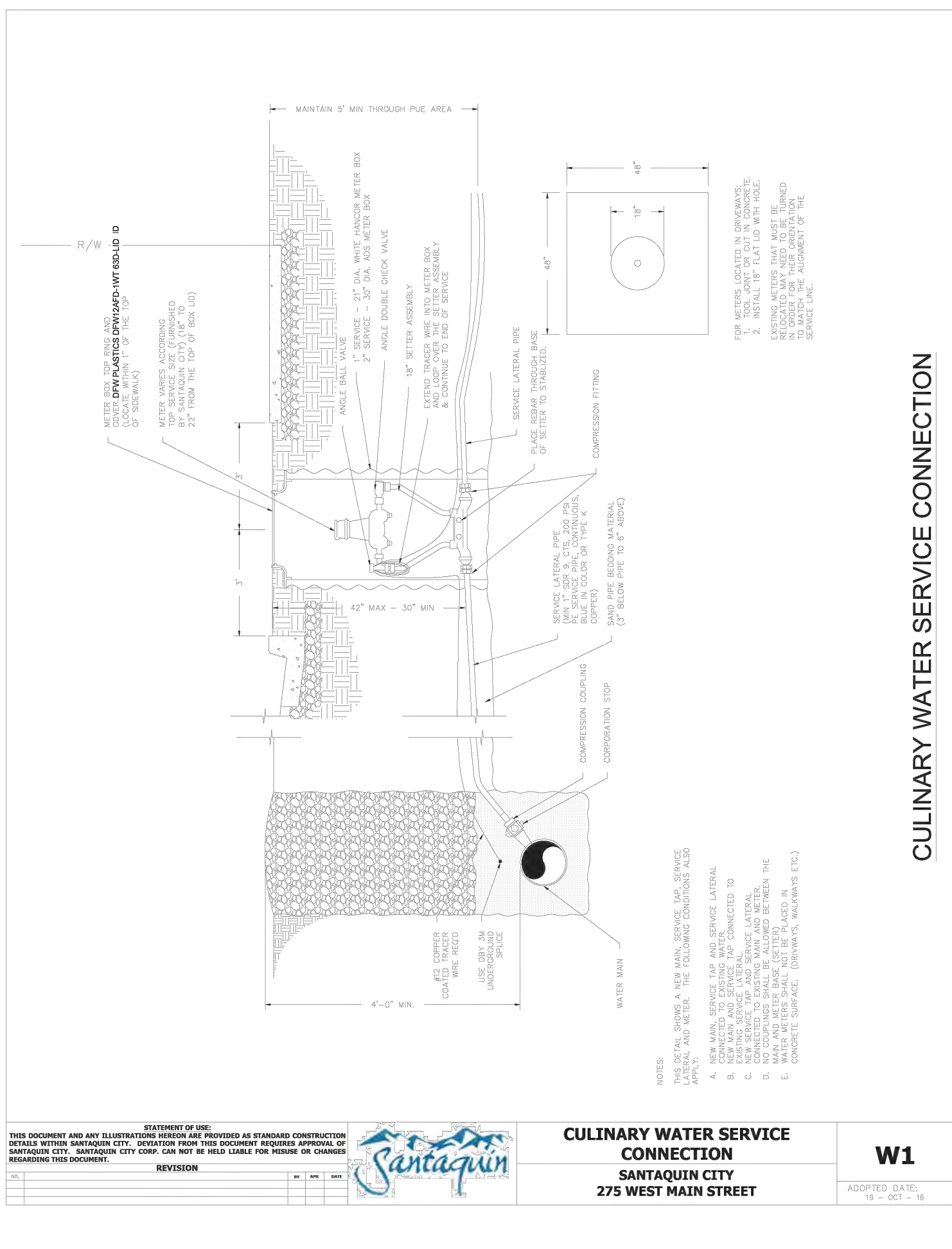
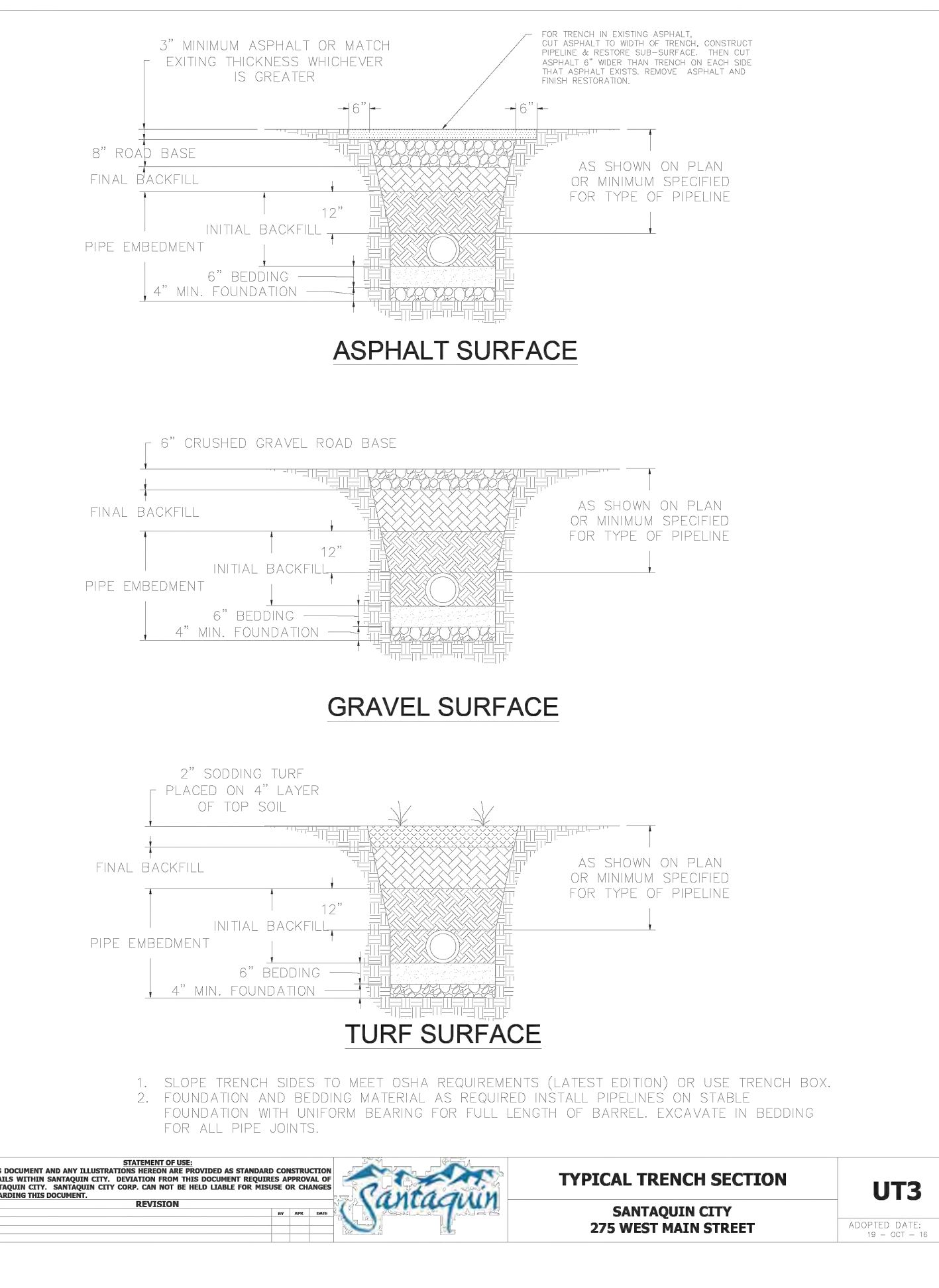
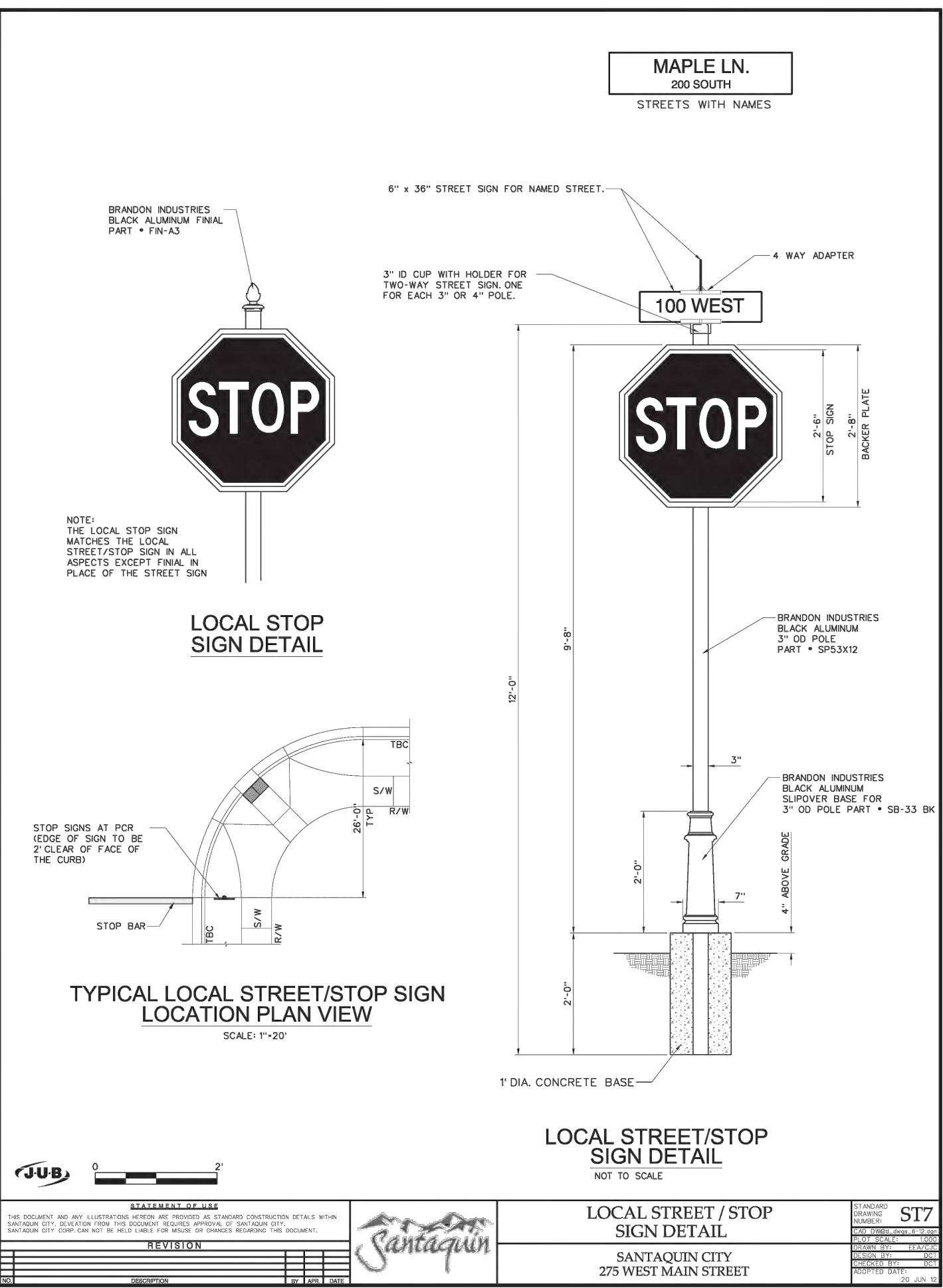
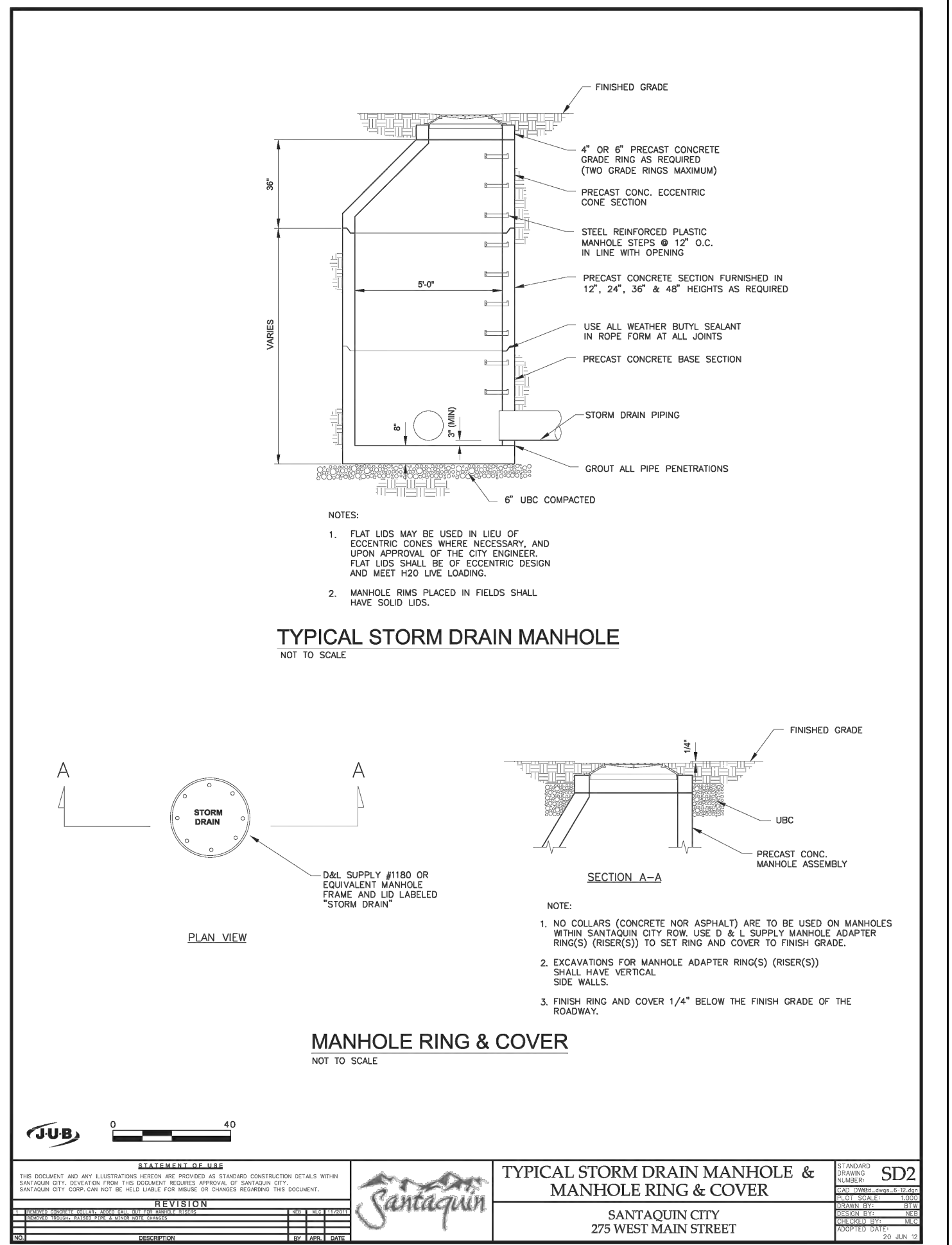
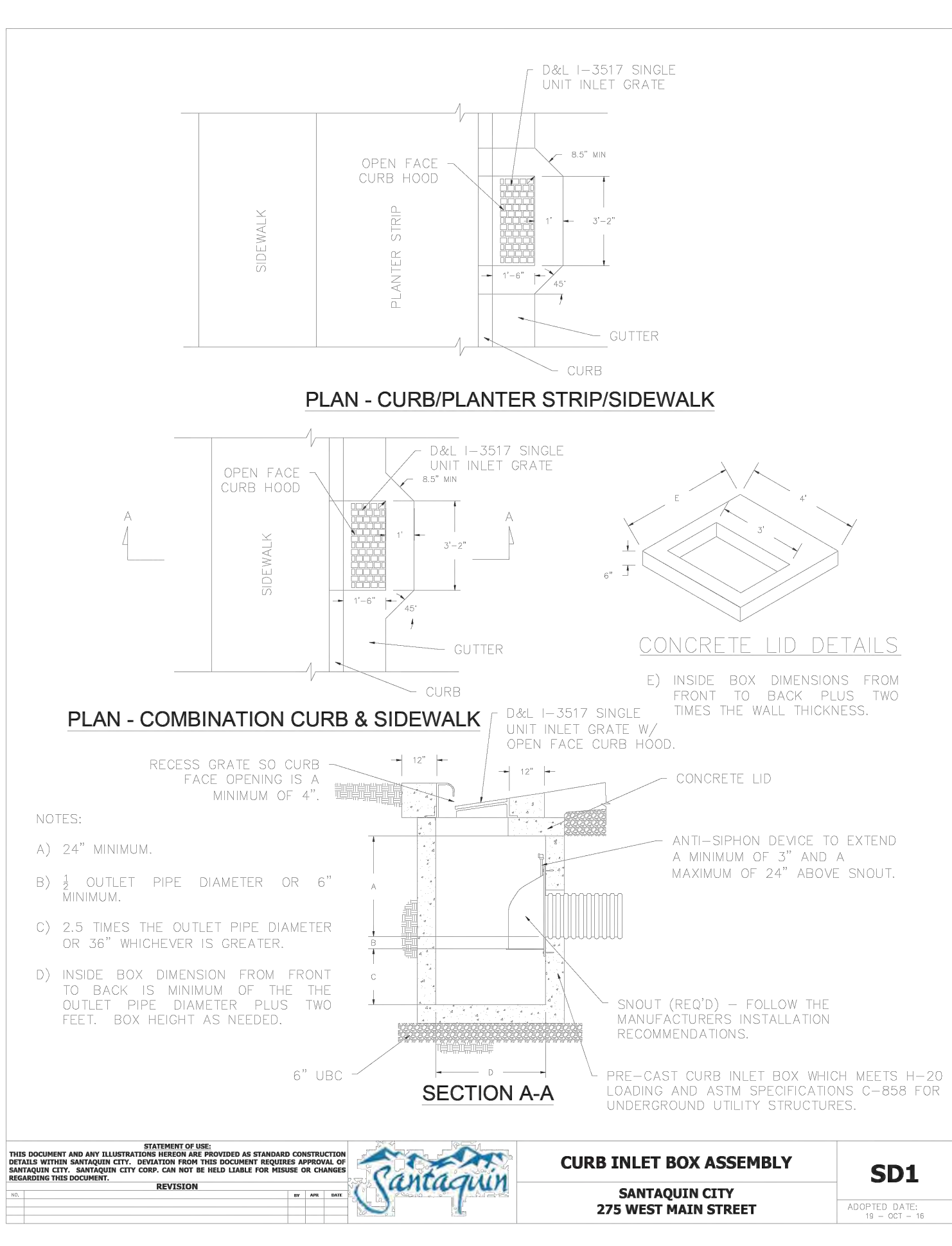
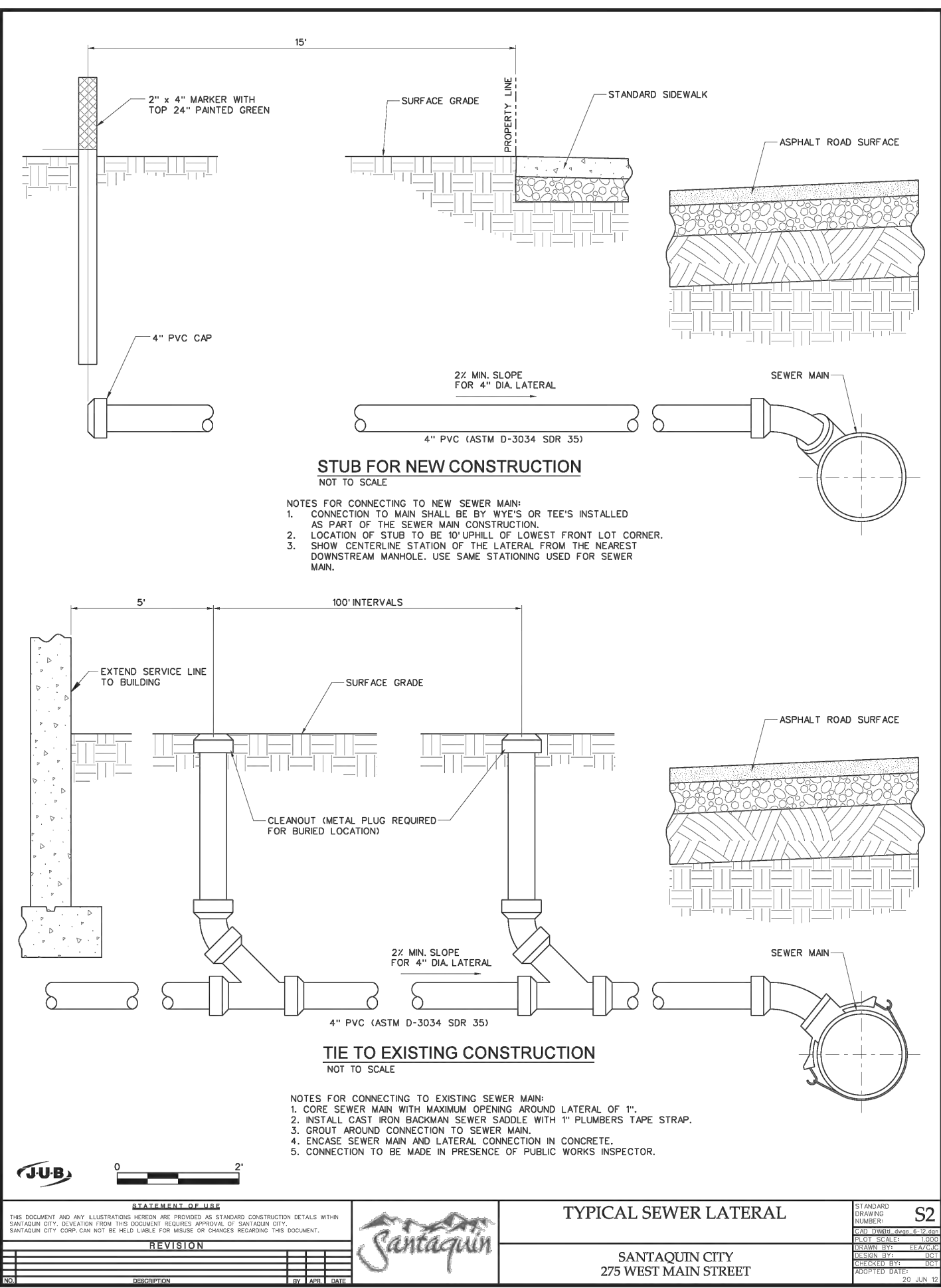
Revisions table for the drawings.

Designed, Drawn, Checked, Date

CITADEL SANTAQUIN, SANTAQUIN, UTAH STANDARD DETAILS

PROJECT NO. 2023.018 SHEET NO. 5.00





**BROWN ENGINEERING, INC.**  
Office: (801) 377-1790 Fax: (801) 377-1789  
578 East 770 North, Orem UT 84058

REGISTERED PROFESSIONAL ENGINEER  
NO. 174774  
MATT W. BROWN  
STATE OF UTAH

DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
DATE: \_\_\_\_\_

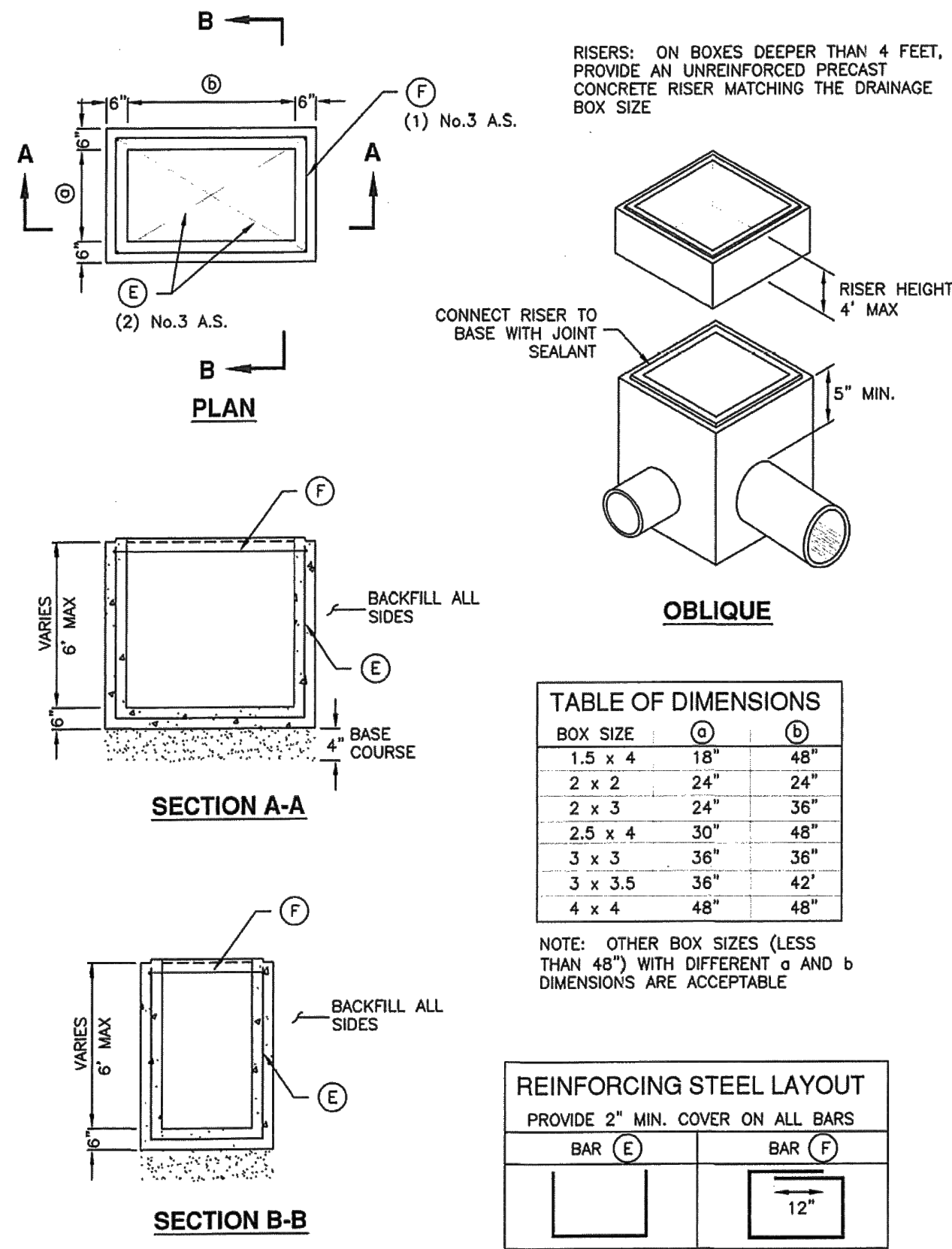
NO. \_\_\_\_\_  
DATE \_\_\_\_\_  
BY \_\_\_\_\_

**CITADEL SANTAQUIN**  
**SANTAQUIN, UTAH**  
**STANDARD DETAILS**

PROJECT NO. 2023.018  
SHEET NO. 5.01

Precast box

- GENERAL**
  - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
  - This drawing is acceptable where the water table elevation is less than 3 feet above the floor of the box. If elevation of water table is higher, engineering calculations and drawings must be submitted to and approved by the ENGINEER.
  - Submit bar design detail for ENGINEER's review.
- PRODUCTS**
  - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - Precast Concrete: Class 4000 precast, APWA Section 03 40 00.
  - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615. Coated steel is not required for small drainage structures shown on this drawing.
  - Frame and Cover (or Grate): Use the appropriate unit indicated in the Contract Documents.
  - Joint Sealant: Rubber-based, compressible.
- EXECUTION**
  - Concrete Placement: Provide 2-inches of concrete cover over reinforcing steel.
  - Lifting Points: Provide at least 2 lifting points per section that avoid interference with the reinforcing steel and that are designed according to PCI (Prestressed Concrete Institute) design handbook. Lift only from the engineered lifting points.
  - Depth: Drainage boxes and riser combinations that exceed 8-feet from finished grade to the bottom of the box requires ENGINEER's approval. Submit design calculations and shop drawings.
  - Core Holes:
    - Provide core holes that are at least 4" larger than attaching outer pipe diameter. Cut core holes at the manufacturing plant unless ENGINEER permits field core holes.
    - Center core holes to leave 2" of concrete measured horizontally from inside wall of the box to core hole. Locate core hole vertically so bottom of core hole will be at or above floor elevation with at least 5-inches of concrete directly above the core hole to the top of the box.
    - Deviations from core hole tolerances require shop drawings. Shop drawings will identify lifting point number and location.
  - Precast Top: Design precast top for AASHTO HL-93 live loads and submit rebar detail and stamped design drawings to ENGINEER. Show connection detail for frame and grate or cover.



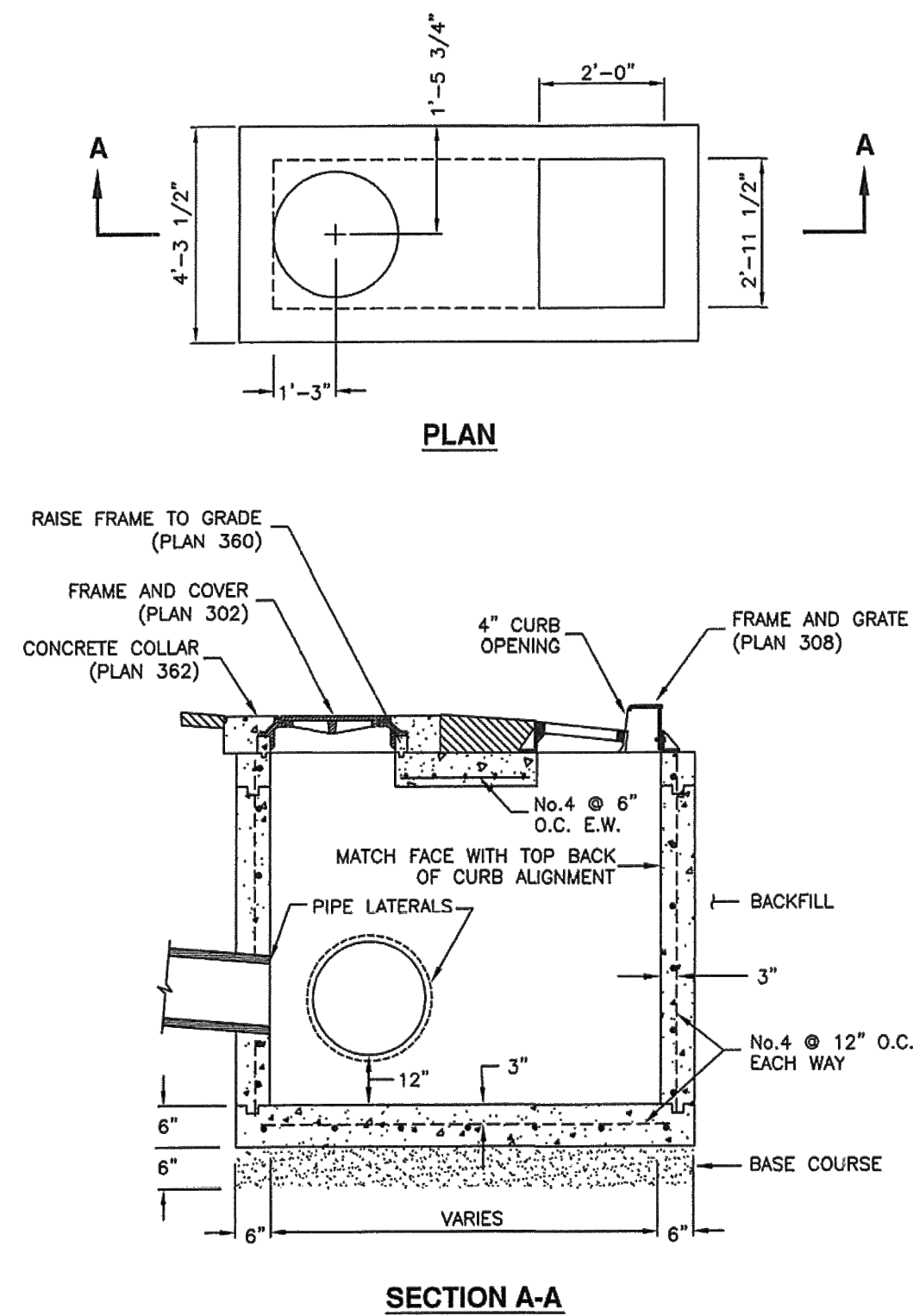
332 Plan 332 June 2010



Precast box

Combination catch basin and cleanout box

- GENERAL**
  - The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the box.
- PRODUCTS**
  - Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - Concrete: Class 4000, APWA Section 03 30 04.
  - Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A615.
  - Ladder Rungs: Plastic, or plastic coated steel typically 8-inches wide.
- EXECUTION**
  - Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
  - Curb Face Opening: Make opening at least 4-inches high. Provide at least a 2-inch drop between the "begin warp" line in the gutter flow-line and the top of the grate at the curb face opening.
  - Ladder Rungs: Provide rungs in boxes over 6 feet deep. When measured from the floor of the box, place bottom rung the greater distance of 4 feet from the floor of the box or 1 foot above the top of the pipe. Place top rung within 3 feet of bottom of box ceiling.
  - Concrete Placement: APWA Section 03 30 10. Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
  - Backfill: Provide backfill against all sides of the box. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

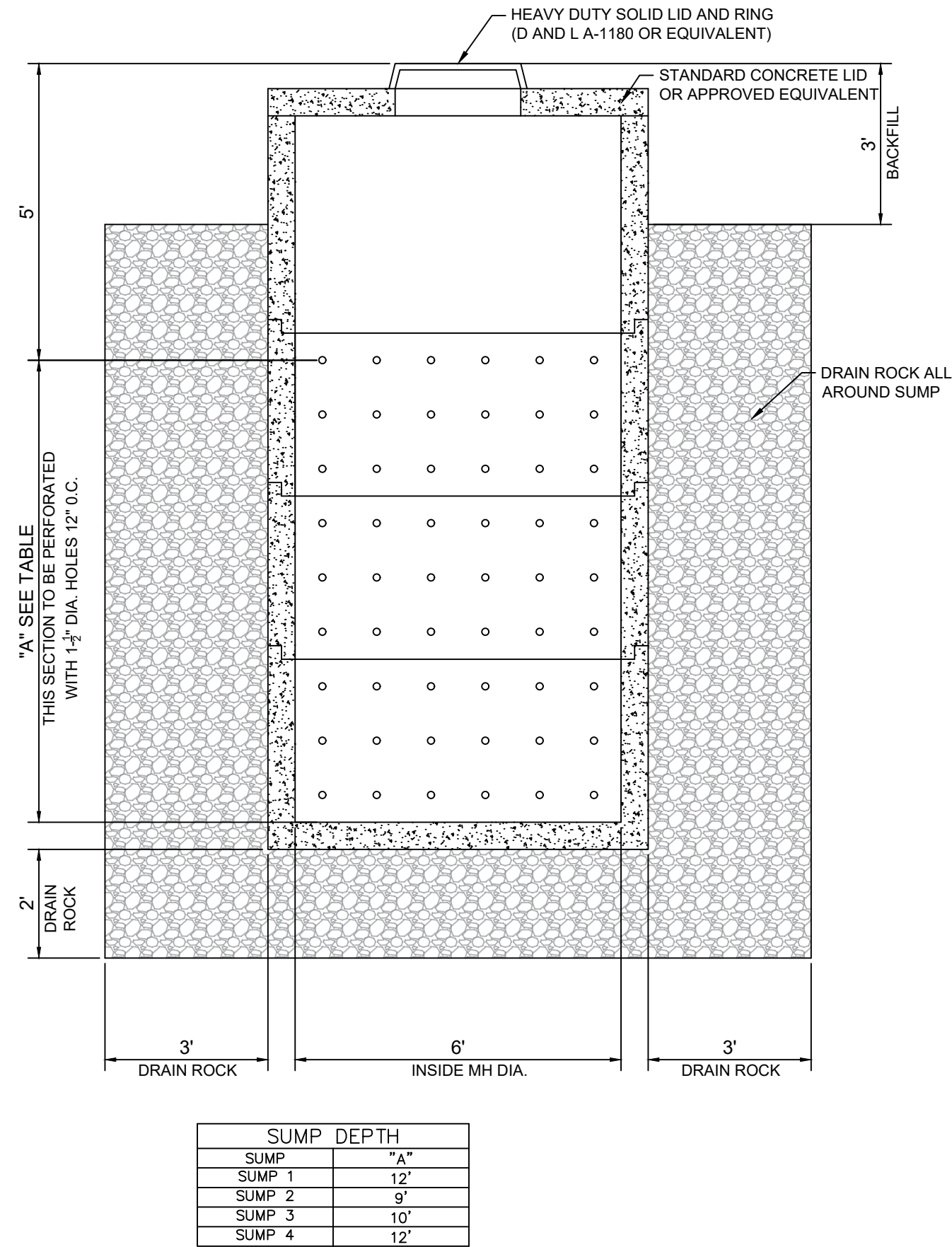


316 Plan 316 March 2011

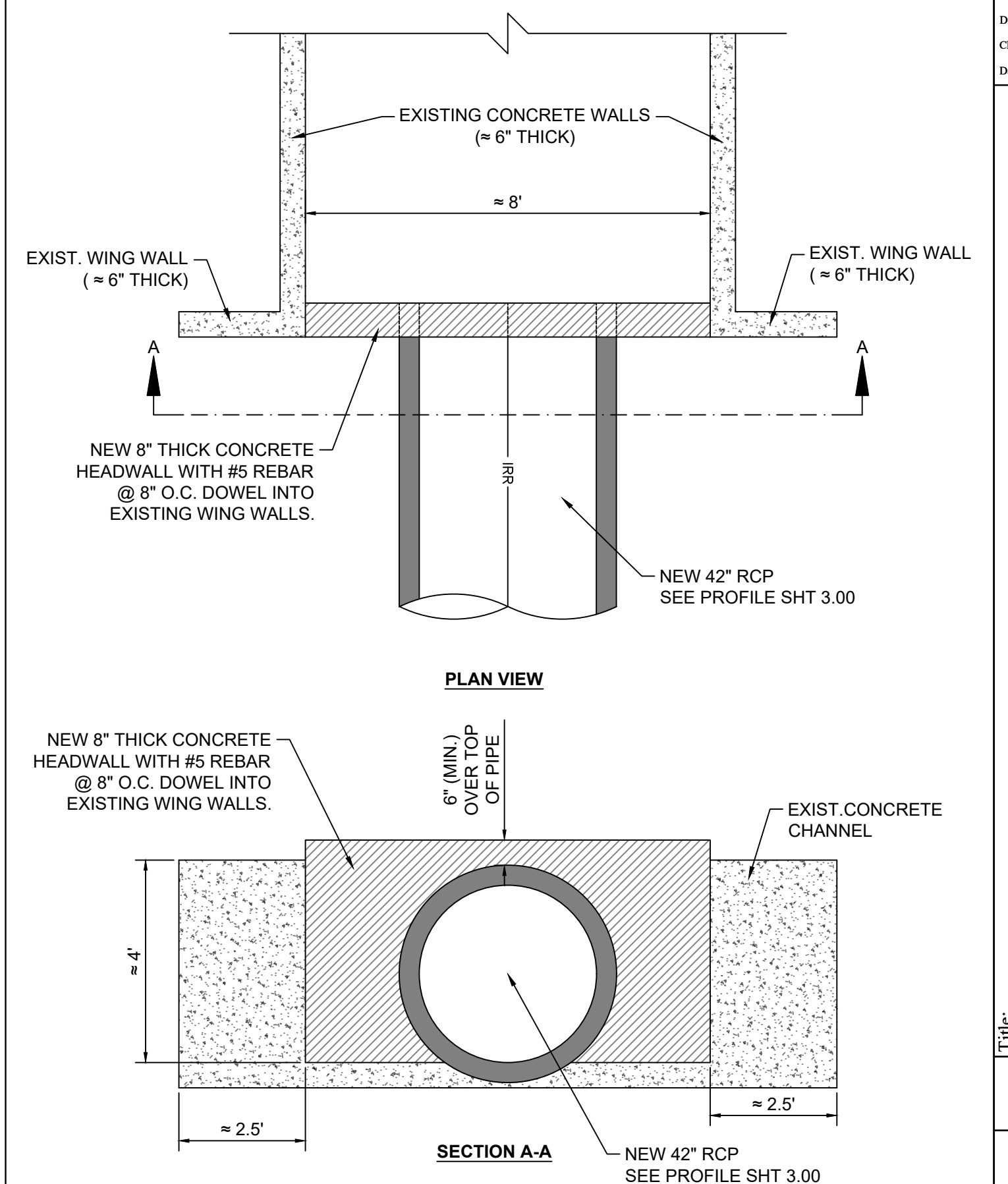


Combination catch basin and cleanout box

SUMP DETAIL



42" RCP IRRIGATION HEADWALL

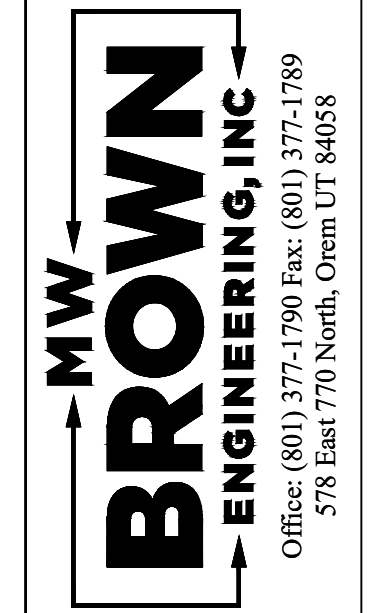
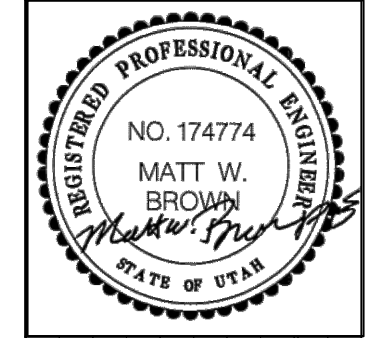


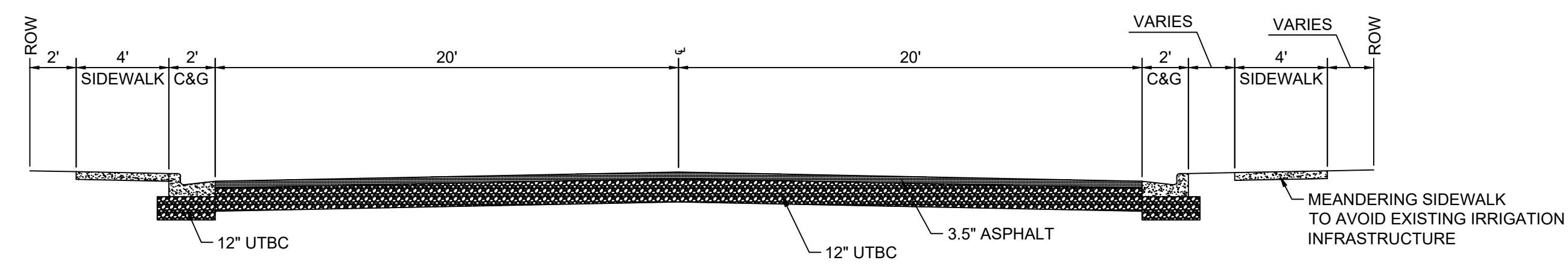
Title: CITADEL SANTAQUIN  
Location: SANTAQUIN, UTAH  
Drawing Name: STANDARD DETAILS

PROJECT NO. 2023.018  
SHEET NO. 5.02

Designed: \_\_\_\_\_  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: \_\_\_\_\_

No.	Date	By	Notes



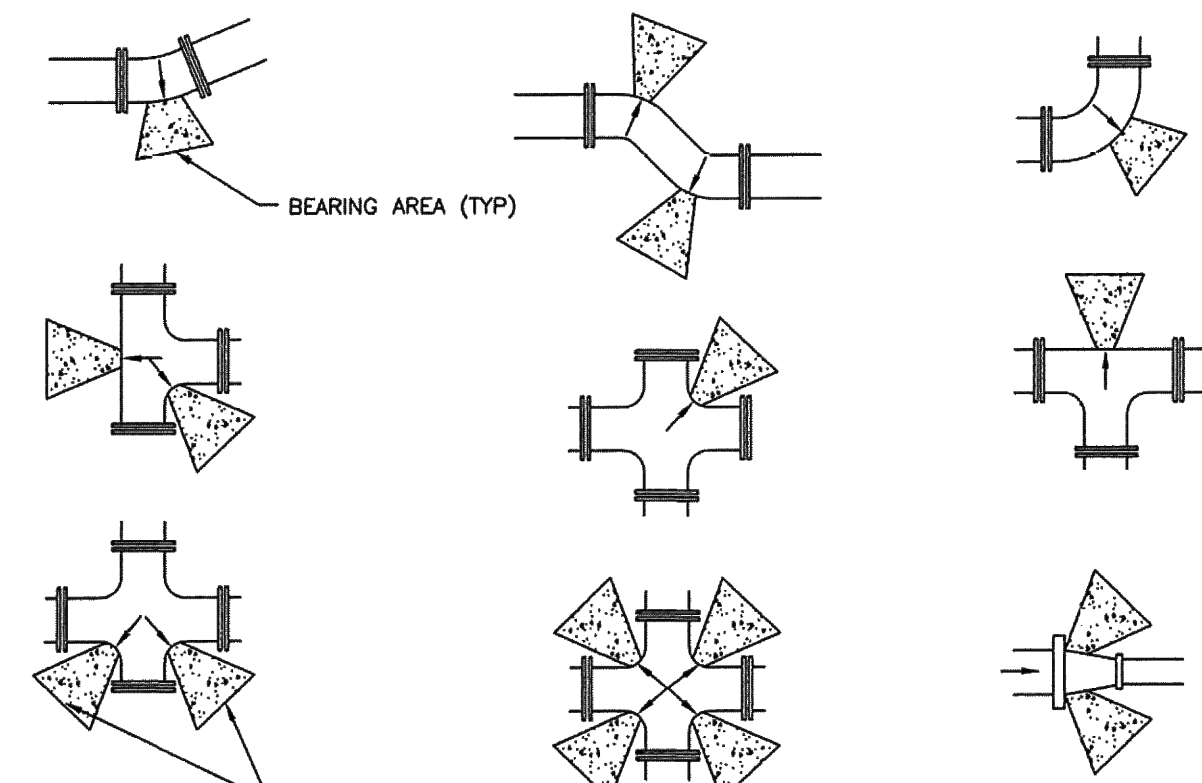


# 100 EAST CROSS SECTION

NOTE: CROSS SECTION MATCHES THE EXISTING CROSS SECTIONS ON BOTH THE NORTH AND SOUTH ENDS OF THE PROPOSED ROADWAY.

## Direct bearing thrust block

1. **GENERAL**
  - A. Thrust design for pipe sizes or configurations not shown require special design.
  - B. Bearing areas, volumes, and special thrust blocking details shown on Drawings take precedence over this plan.
  - C. Restraint sizing is based upon a maximum operating pressure of 150 psi and a test pressure of 200 psi, and a minimum soil bearing strength of 2,000 psf. Operating pressures in excess of 150 psi or soils with less than 2,000 pound bearing strength will require special design.
  - D. Before backfilling around thrust block, secure inspection of installation by ENGINEER.
2. **PRODUCTS**
  - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - C. Thrust Blocks: Concrete Class 4000, APWA Section 03 30 04.
  - D. Grease: Non-oxide poly-FM.
3. **EXECUTION**
  - A. Pour concrete against undisturbed soil.
  - B. Pipe Joints: Do not cover with concrete. Leave completely accessible.
  - C. Grease: Apply grease to all buried metal surfaces. Wrap with polyethylene sheet and tape wrap.
  - D. Locking restraint devices may be used in conjunction with concrete thrust blocking (at discretion of ENGINEER).
  - E. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.



BEARING AREA (TYP)  
THE AREA OF BEARING PER THRUST BLOCK TO EQUAL 1/2 THE AREA SPECIFIED FOR THE LARGEST PIPE OR FITTING SIZE

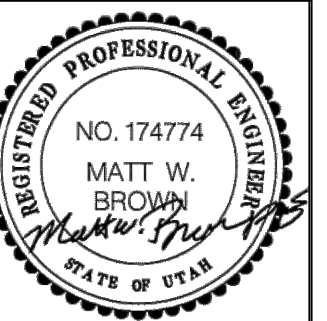
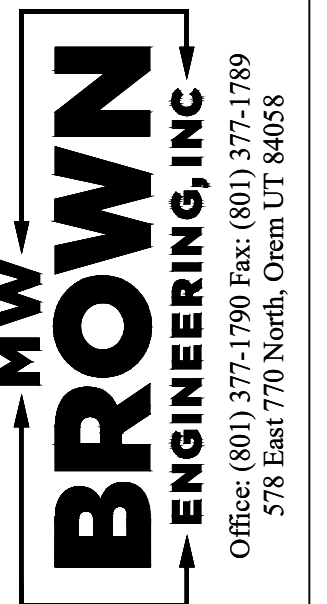
SIZE OF PIPE	MINIMUM BEARING AREA IN SQ. FT.					
	TEES, VALVES, DEAD ENDS	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS	
4"	2	3	2	2	2	
6"	4	5.5	3	2.5	2	
8"	6.5	9.5	5	2.75	2.5	
12"	14	20	11	5.5	3	
14"	19	26.5	14.5	7.5	4	
16"	24	34	18.5	9.5	6	
20"	27	52	28.5	14.5	9	
24"	53	74	41	21	12	
30"	81	114	62	32	16	



Direct bearing thrust block

Plan  
**561**  
August 2010

561



No.	Date	By	Notes

Designed \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Date \_\_\_\_\_

Title: CITADEL SANTAQUIN  
Location: SANTAQUIN, UTAH  
Drawing Name: STANDARD DETAILS

PROJECT NO.  
2023.018  
SHEET NO.  
**5.03**

CULTEC RECHARGER 902HD SPECIFICATIONS

GENERAL
CULTEC RECHARGER 902HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- 1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. OR CANADA BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
A. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
B. MAXIMUM PERMANENT (50-YEAR) COVER LOAD
C. 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
3. THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
A. THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
B. THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
C. THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95
5. THE CHAMBERS SHALL BE STRUCTURAL FPM INJECTION MOLDED OF BLUE VIRGIN HIGH MOLECULAR WEIGHT IMPACT-MODIFIED POLYPROPYLENE.
6. THE CHAMBER SHALL BE ARCHED IN SHAPE.
7. THE CHAMBER SHALL BE OPEN-BOTTOMED.
8. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 902HD SHALL BE 48 INCHES (1219 MM) TALL, 78 INCHES (1981 MM) WIDE AND 4.25 FEET (1.30 M) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 902HD SHALL BE 3.67 FEET (1.12 M).
10. MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEGIN AND END WITH A SEPARATELY FORMED CULTEC RECHARGER 902HD END CAP. MAXIMUM INLET OPENING ON THE END CAP IS 30 INCHES (750 MM) HDPE OR 36 INCHES (900 MM) PVC.
11. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV FC-48 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN THE SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC.
12. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 49 INCHES (1243 MM) LONG.
13. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 902HD CHAMBER SHALL BE 17.31 FT³ (1.61 M³) WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 902HD SHALL BE 63.47 FT³ (UNIT) (1.80 M³ / UNIT) WITHOUT STONE.
14. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-48 FEED CONNECTOR SHALL BE 0.913 FT³ (0.085 M³) WITHOUT STONE.
15. THE RECHARGER 902HD CHAMBER SHALL HAVE 5 CORRUGATIONS.
16. THE CHAMBER SHALL BE CAPABLE OF ACCEPTING A 6 INCH (150 MM) INSPECTION PORT OPENING AT THE TOP CENTER OF EACH CHAMBER, CENTERED ON THE CORRUGATION CREST.
17. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
18. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 3.0 FEET (0.91 M).

END CAP PARAMETERS

- 1. THE CULTEC RECHARGER 902HD END CAP (REFERRED TO AS "END CAP") SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF VIRGIN HIGH MOLECULAR WEIGHT POLYETHYLENE.
3. THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
4. THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 48.5 INCHES (1231 MM) TALL, 78 INCHES (1982 MM) WIDE AND 9.7 INCHES (246 MM) LONG. WHEN JOINED WITH A RECHARGER 902HD CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 6.2 INCHES (157 MM).
5. THE NOMINAL STORAGE VOLUME OF THE END CAP SHALL BE 3.24 FT³ (0.09 M³) WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF AN INTERLOCKED END CAP SHALL BE 2.76 FT³ (0.08 M³) WITHOUT STONE.
6. MAXIMUM INLET OPENING ON THE END CAP IS 30 INCHES (750 MM) HDPE OR 36 INCHES (900 MM) PVC.
7. THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

CULTEC HVLV FC-48 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL
CULTEC HVLV FC-48 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 902HD STORMWATER CHAMBERS.

FEED CONNECTOR PARAMETERS

- 1. THE FEED CONNECTOR SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE FEED CONNECTOR SHALL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMHDPE).
3. THE FEED CONNECTOR SHALL BE ARCHED IN SHAPE.
4. THE FEED CONNECTOR SHALL BE OPEN-BOTTOMED.
5. THE NOMINAL DIMENSIONS OF THE CULTEC HVLV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 49 INCHES (1243 MM) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-48 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 M³ / M) WITHOUT STONE.
7. THE HVLV FC-48 FEED CONNECTOR SHALL HAVE 4 CORRUGATIONS.
8. THE HVLV FC-48 FEED CONNECTOR MUST BE FORMED AS A WHOLE UNIT HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
9. THE FEED CONNECTOR SHALL BE DESIGNED TO WITHSTAND AASHTO HS-25 DEFINED LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE FEED CONNECTOR SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED FACILITY.

CULTEC NO. 410 NON-WOVEN GEOTEXTILE

CULTEC NO. 410 NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR AND RECHARGER STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

GEOTEXTILE PARAMETERS

- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 4.5 OZ/SY (142 G/M).
4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (53.3 N) PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3799 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 LPM/M²) PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.

CULTEC NO. 4800 WOVEN GEOTEXTILE

CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

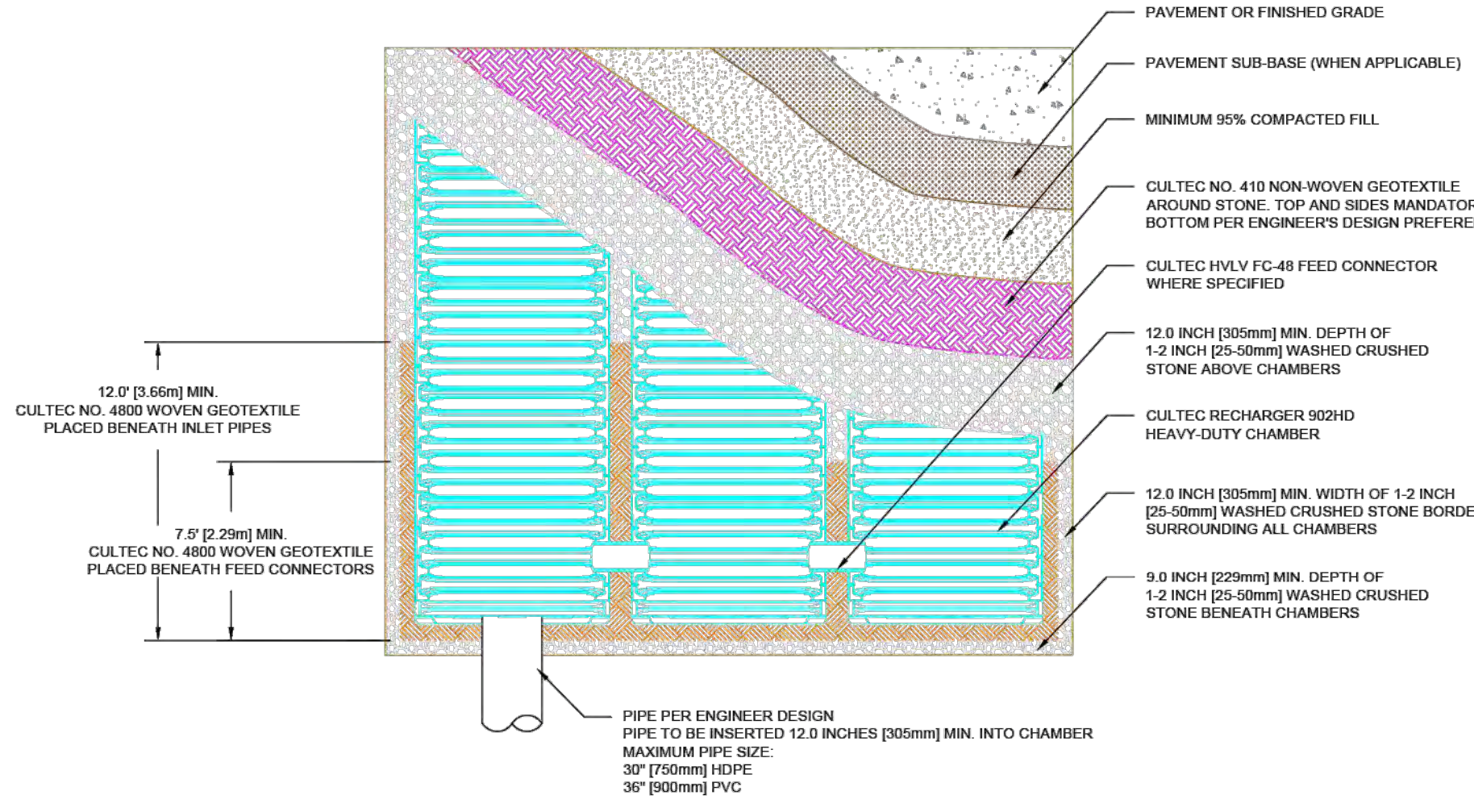
GEOTEXTILE PARAMETERS

- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,095 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2, 740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT² (470 LPM/M²) PER ASTM D4491 TESTING METHOD.
14. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

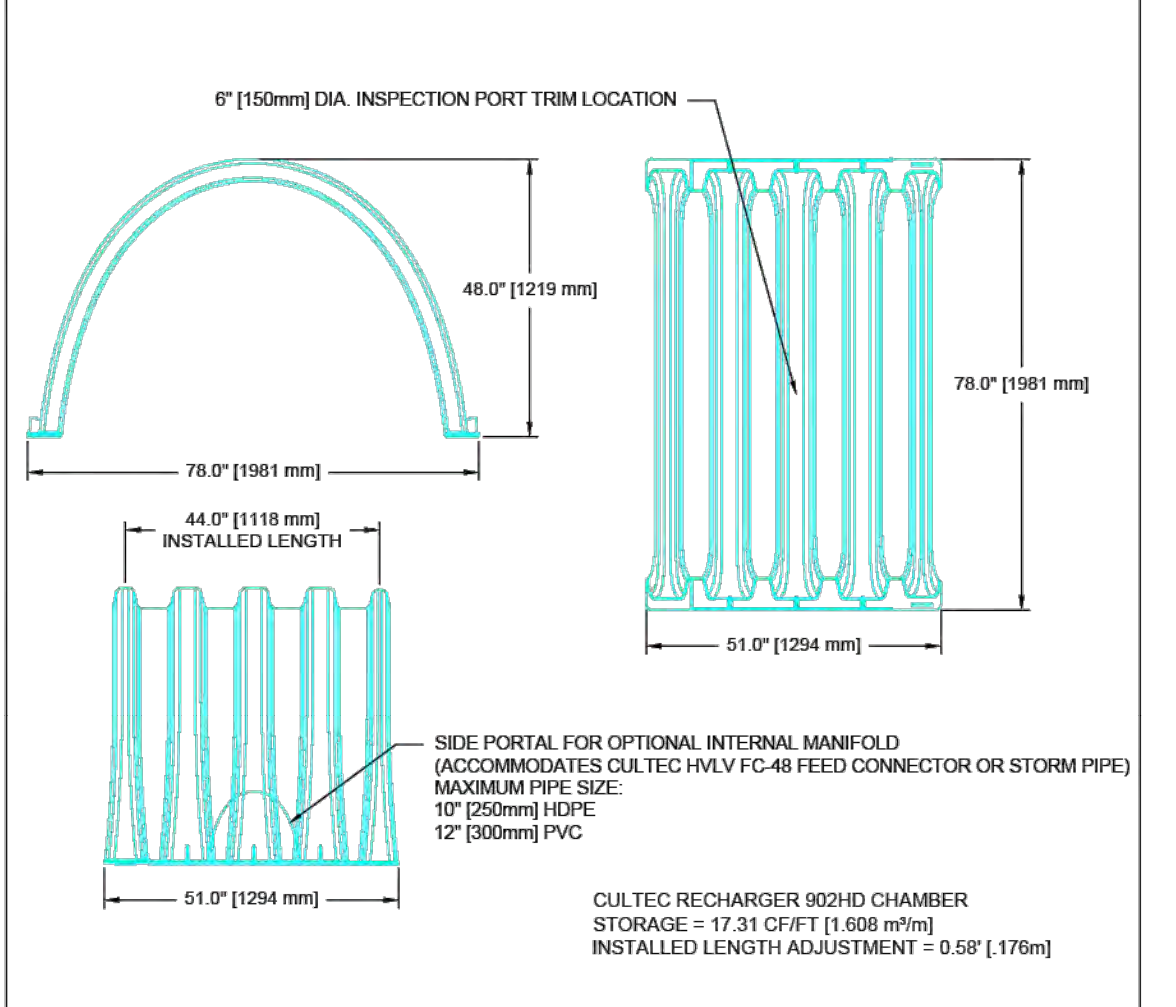
GENERAL NOTES

Table with columns PIPE, A, B. Lists dimensions for pipe sizes 6", 8", 10", 12", 15", 18", 24" in inches and millimeters.

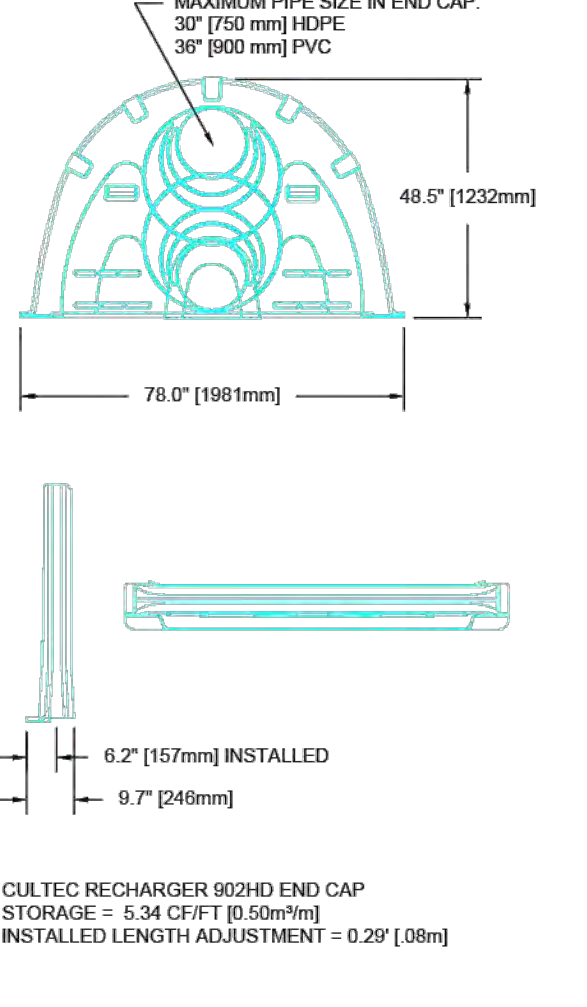
\*THE TYPICAL INVERT TABLE ABOVE IS BASED ON THE INSIDE DIAMETER OF STANDARD CORRUGATED PLASTIC PIPE. THE HEAVY DUTY END CAP HAS PRE-MARKED TRIM LINES FOR PIPE DIAMETERS 12" (300mm), 15" (375mm), 18" (450mm) AND 24" (600mm). PIPES OF ANY SIZE AND MATERIAL UP TO 24" MAY BE PLACED AT CUSTOM LOCATIONS AND CUSTOM INVERTS. THE CROWN OF THE PIPE MUST REMAIN A MINIMUM OF 4" (100mm) FROM THE EDGE OF THE HEAVY DUTY END CAP.



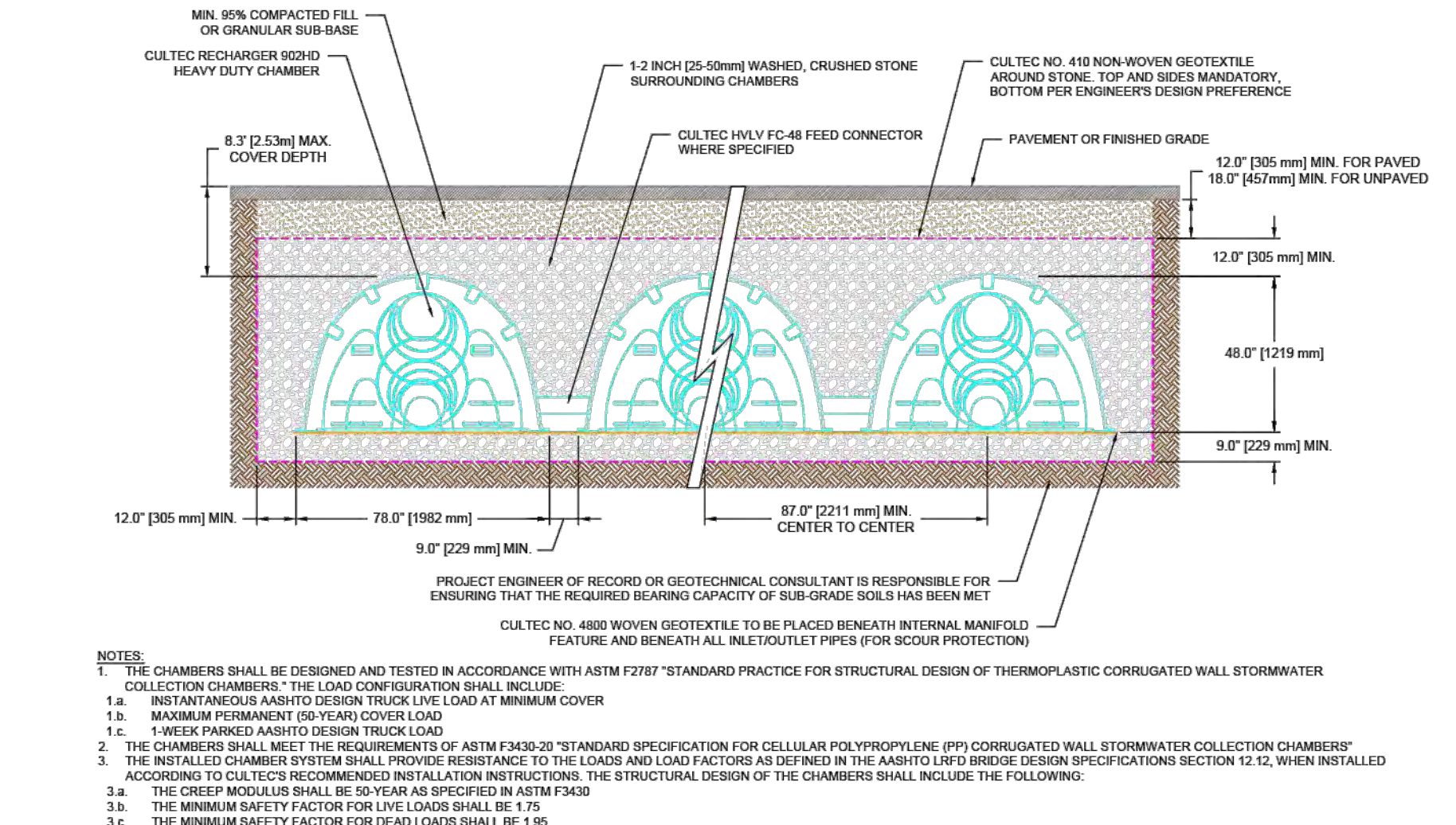
CULTEC RECHARGER 902HD HEAVY DUTY PLAN VIEW



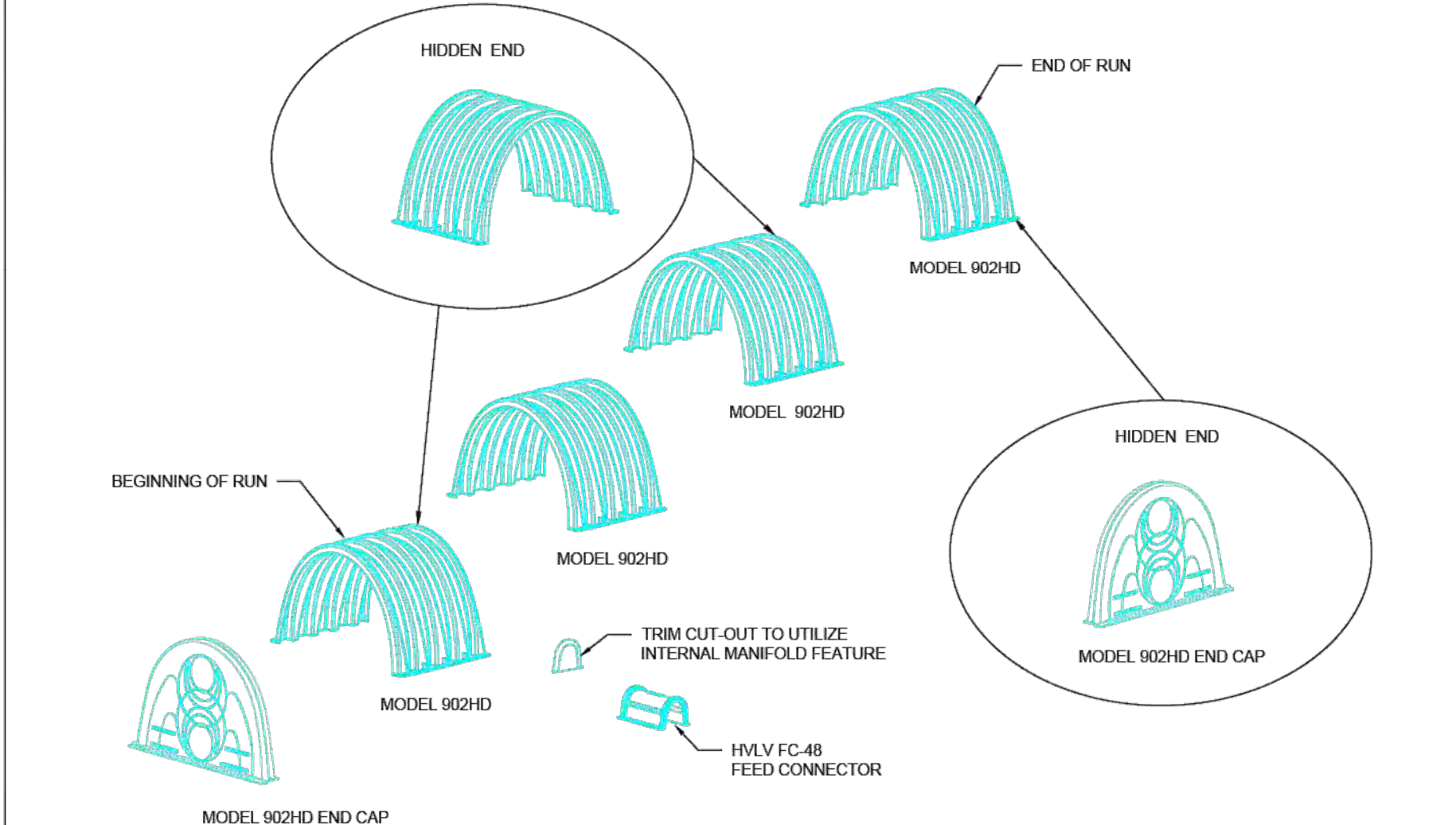
CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW



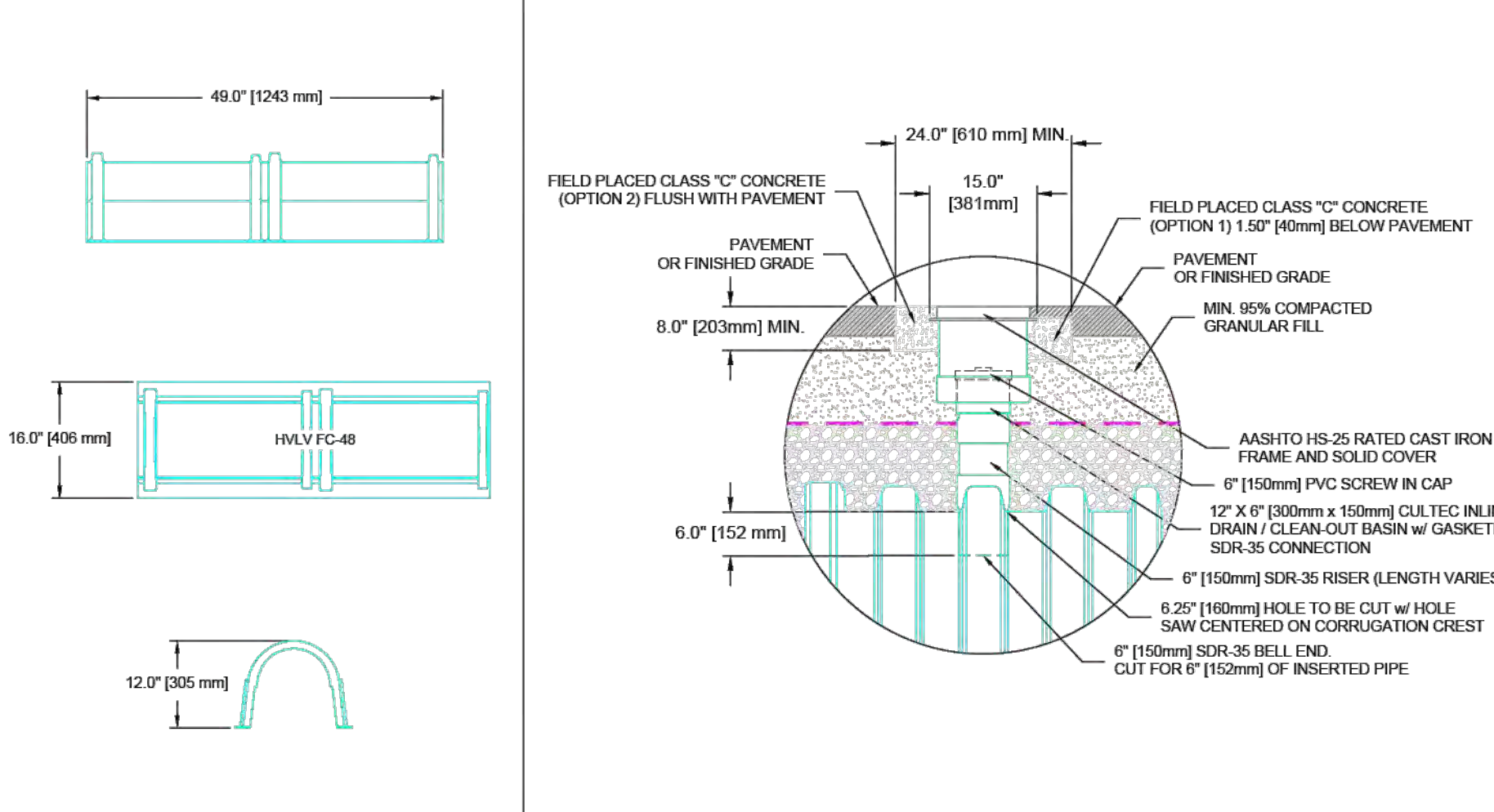
CULTEC RECHARGER 902HD HEAVY DUTY END CAP THREE VIEW



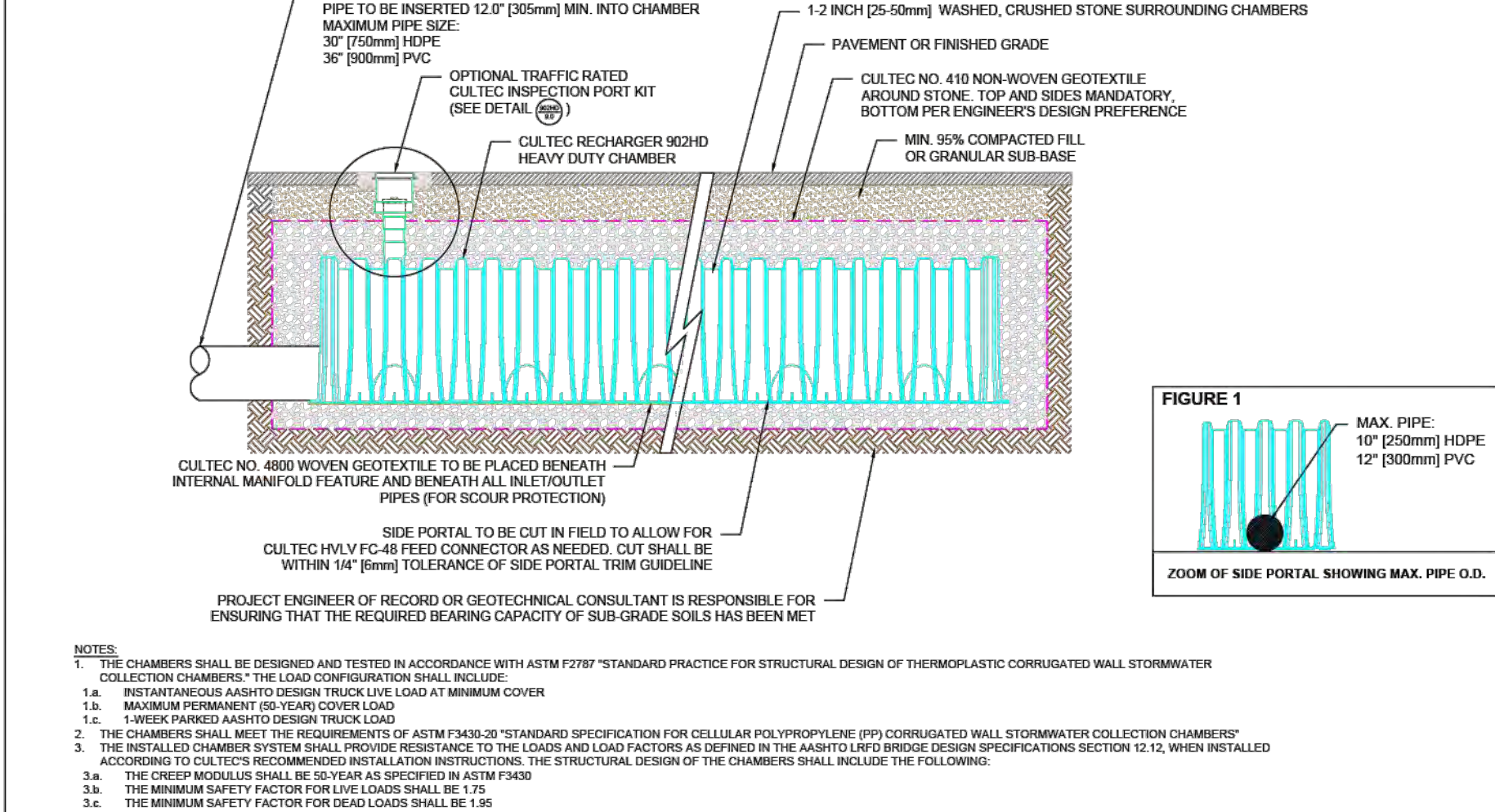
CULTEC RECHARGER 902HD HEAVY DUTY CROSS SECTION



CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK



CULTEC INSPECTION PORT - ZOOM DETAIL



CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL

CULTEC RECHARGER 902HD TYPICAL PIPE INVERTS

CULTEC, Inc. Subsurface Stormwater Management Systems. P.O. Box 280, 878 Federal Road, Brookfield, CT 06804. www.cultec.com

THIS DRAWING WAS PREPARED TO SUPPORT THE PROJECT ENGINEER OF RECORD FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE PROJECT ENGINEER OF RECORD TO ENSURE THAT THE CULTEC SYSTEM'S DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE PROJECT ENGINEER OF RECORD'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS.

RECHARGER 902HD DETAIL SHEET TRAFFIC APPLICATION

CULTEC STORMWATER CHAMBER table with fields for PROJECT NO., DATE (03/2020), DESIGNED BY (TECH), CHECKED BY (TECH), SCALE (N.T.S.), SHEET NO. (1 OF 2).

MWB BROWN ENGINEERING, INC. logo and contact information: Office: (801) 377-1790 Fax: (801) 377-1789 578 East 770 North, Orem UT 84058

Professional Engineer seal for Matt W. Brown, No. 174774, State of Utah.

Revisions table with columns No., Date, By, Notes.

Designed, Drawn, Checked, Date

CITADEL SANTAQUIN SANTAQUIN, UTAH STANDARD DETAILS. Title, Location, Drawing Name, Project No. 2023.018, Sheet No. 5.04

CULTEC RECHARGER 330XLHD PRODUCT SPECIFICATIONS

GENERAL
CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT...

CHAMBER PARAMETERS

- 1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT, USA (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR...

CULTEC HVLV FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS

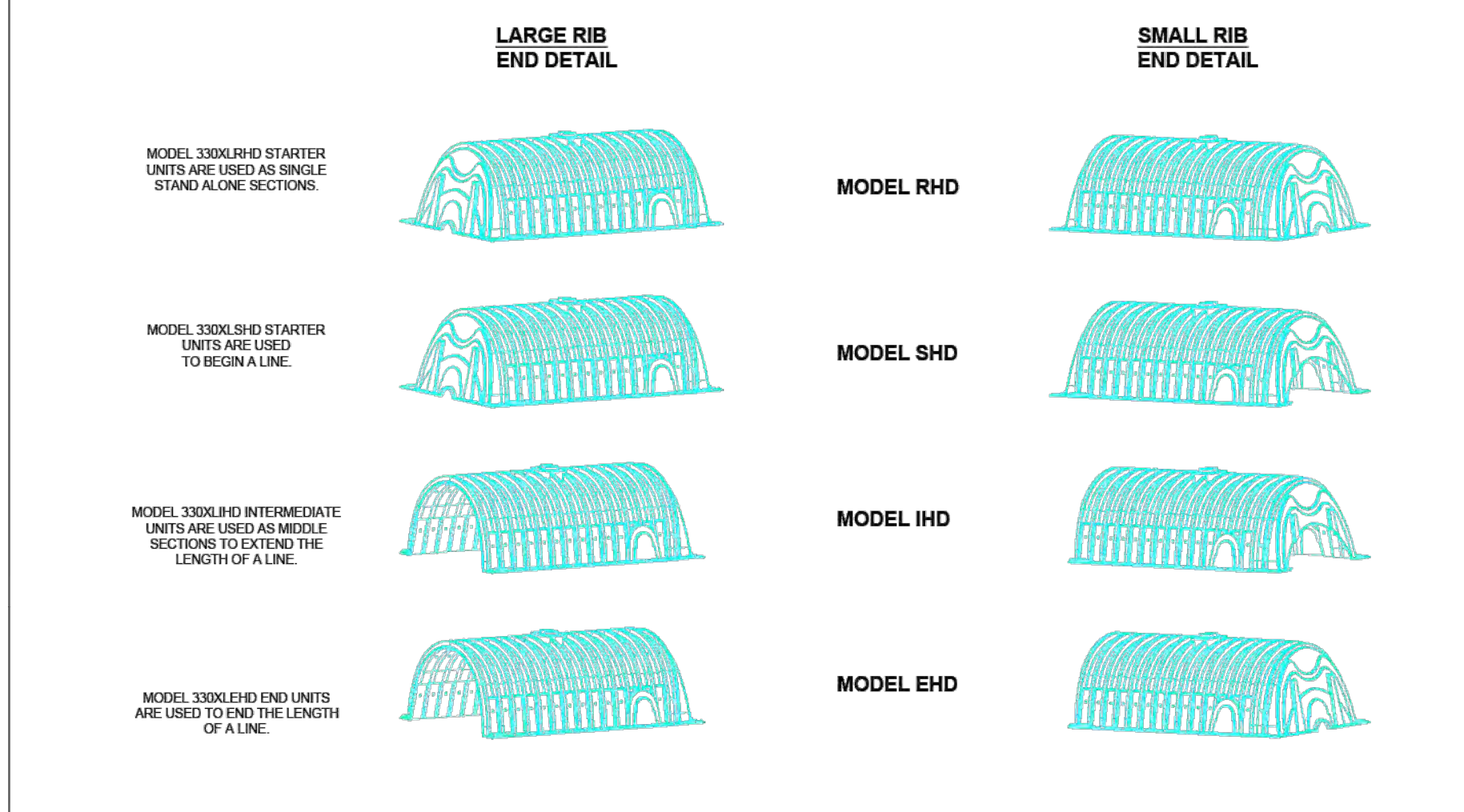
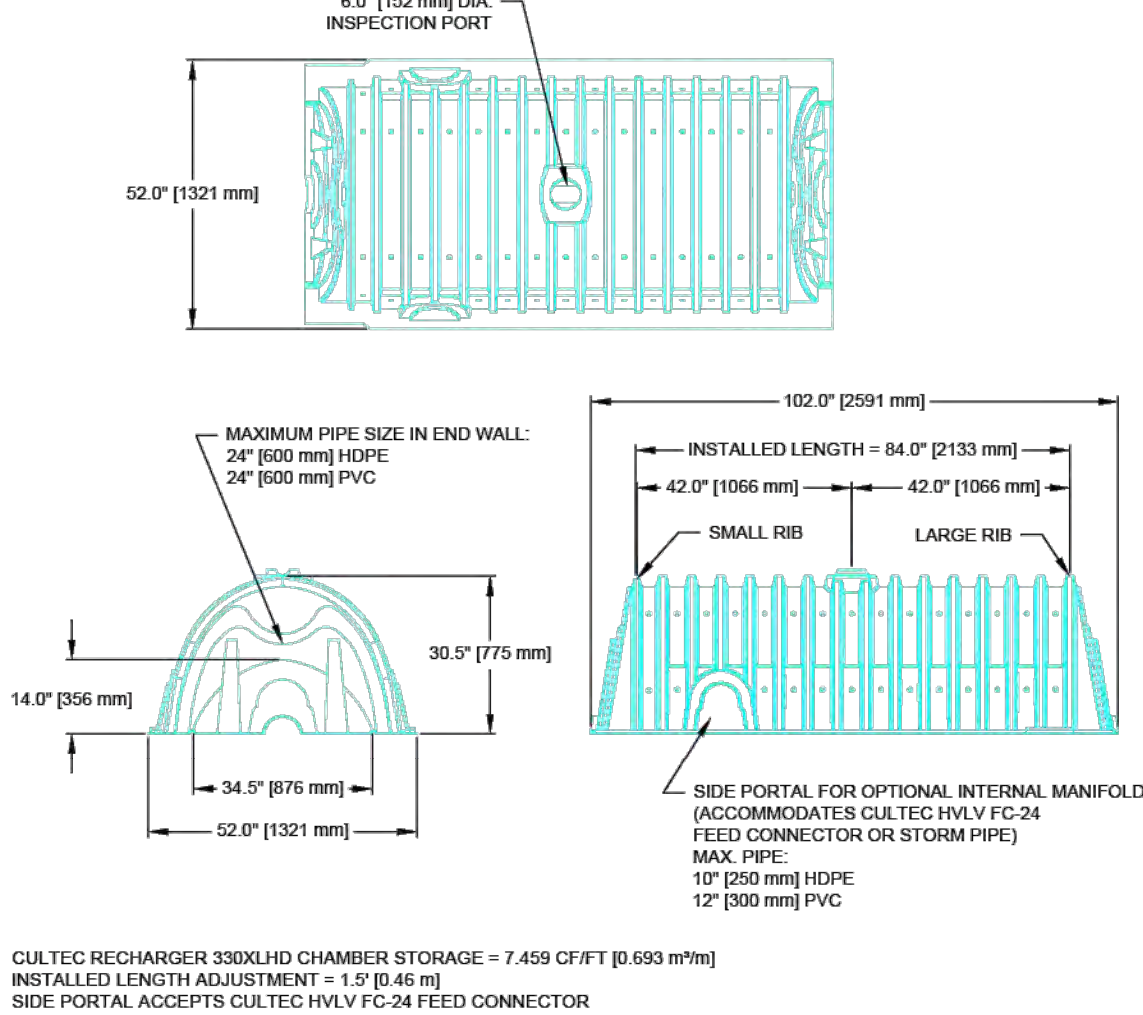
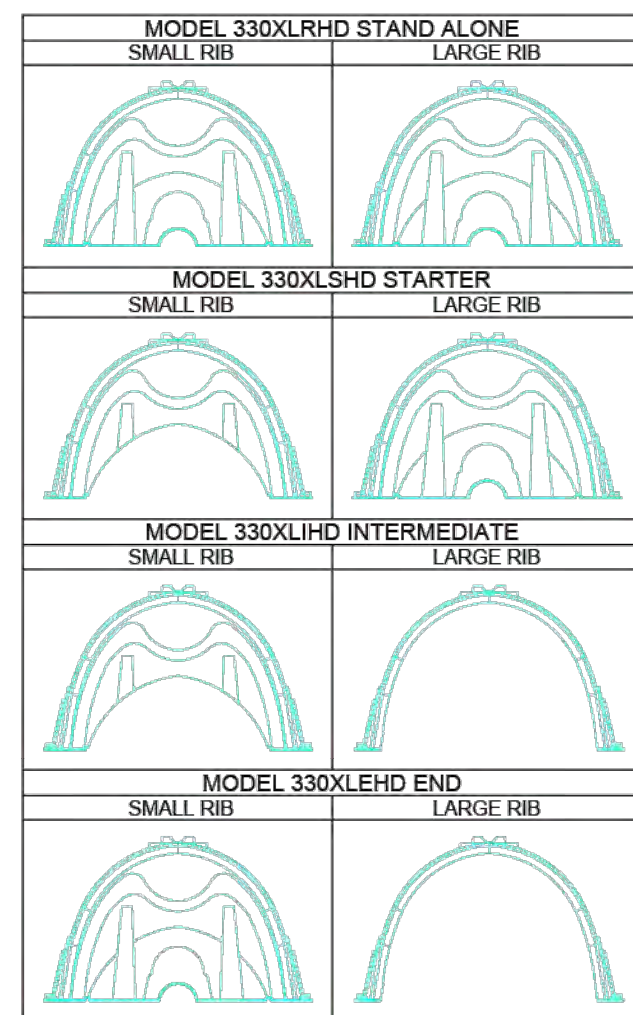
- GENERAL
CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER MODEL 330XLHD STORMWATER CHAMBERS.
CHAMBER PARAMETERS
1. THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)...

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE

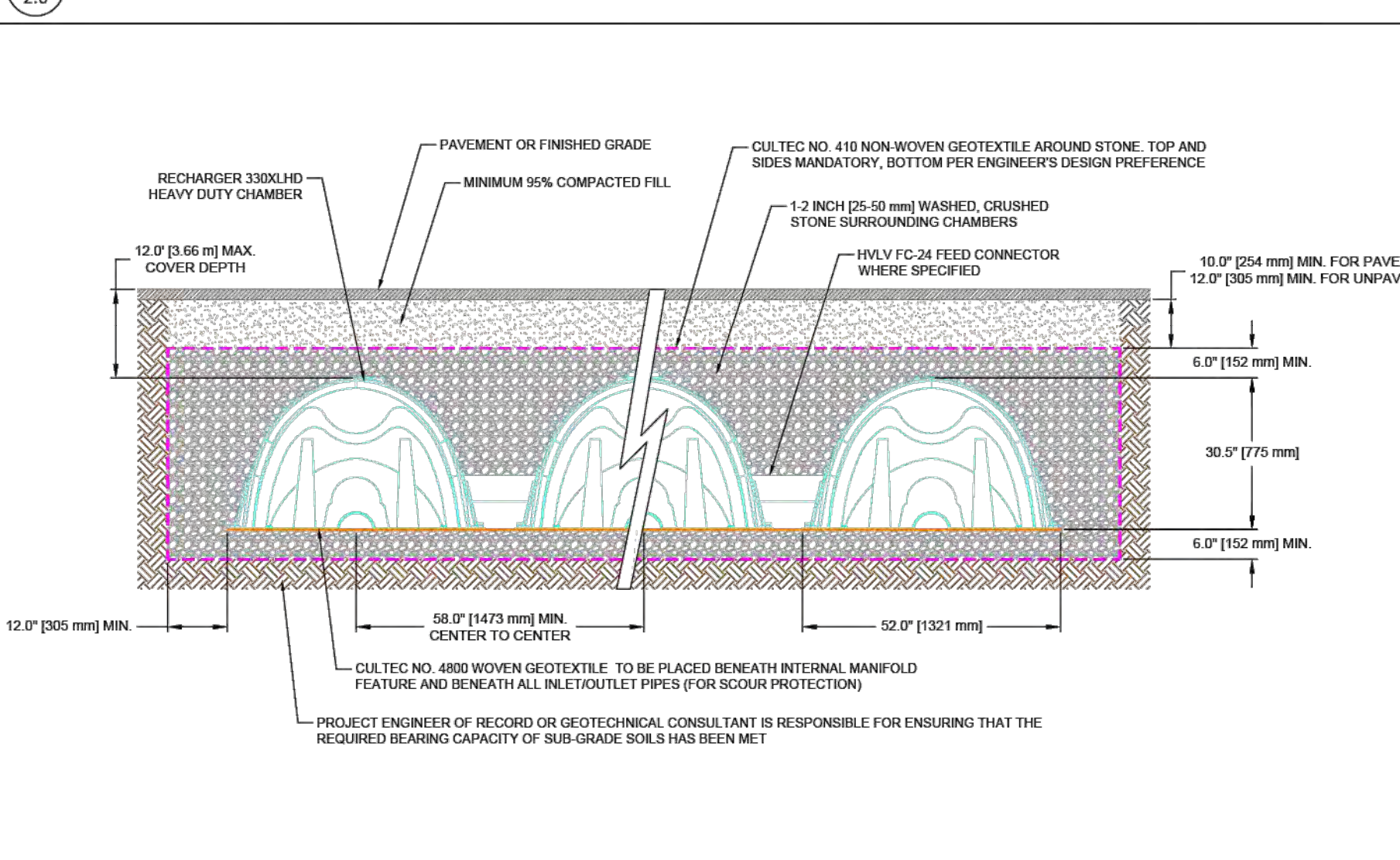
- GENERAL
CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.
GEOTEXTILE PARAMETERS
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)...

CULTEC NO. 4800™ WOVEN GEOTEXTILE

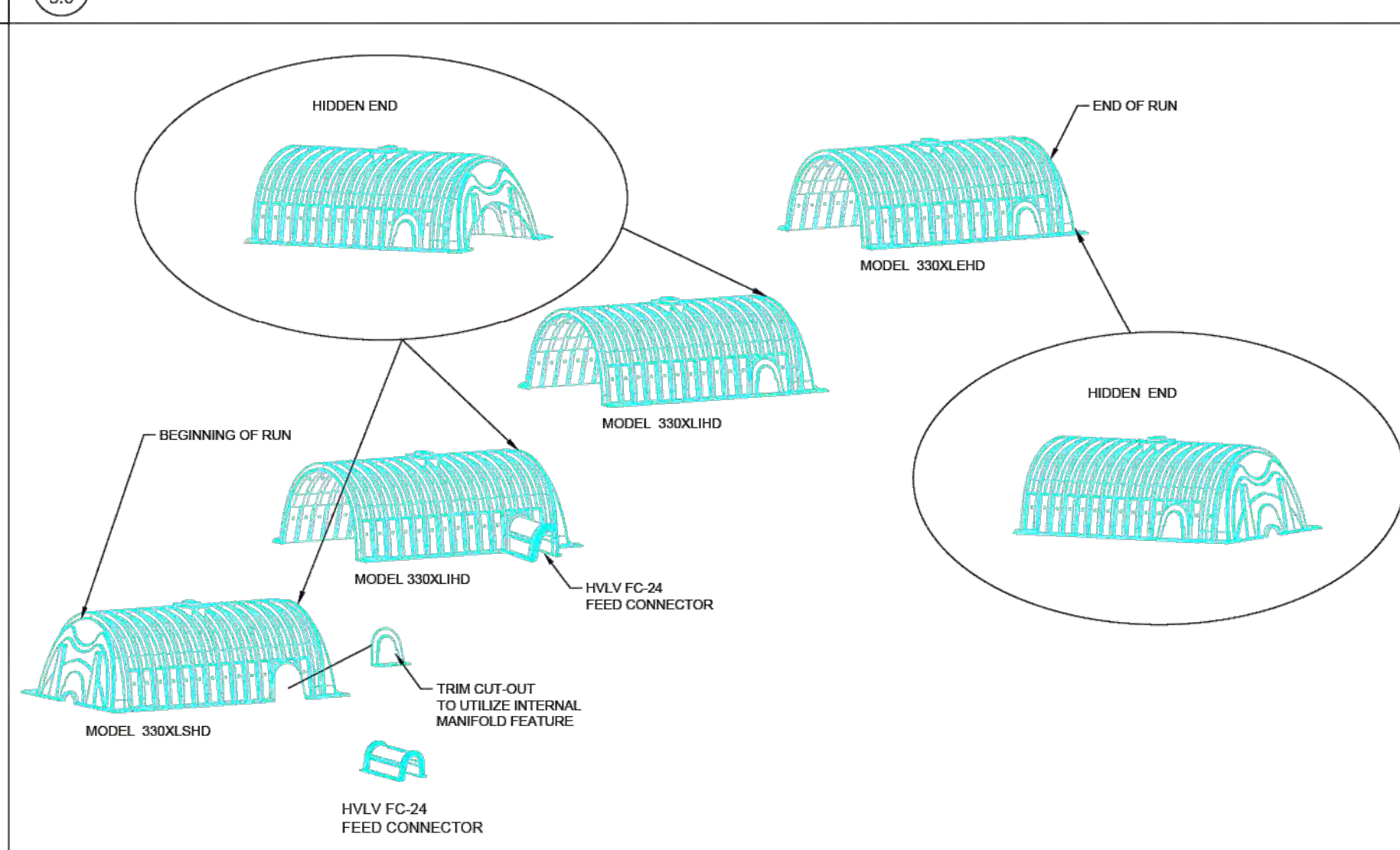
- GENERAL
CULTEC NO. 4800™ WOVEN GEOTEXTILE IS DESIGNED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE ALLOWING FOR MAINTENANCE.
GEOTEXTILE PARAMETERS
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416 OR 1-800-428-5832)...



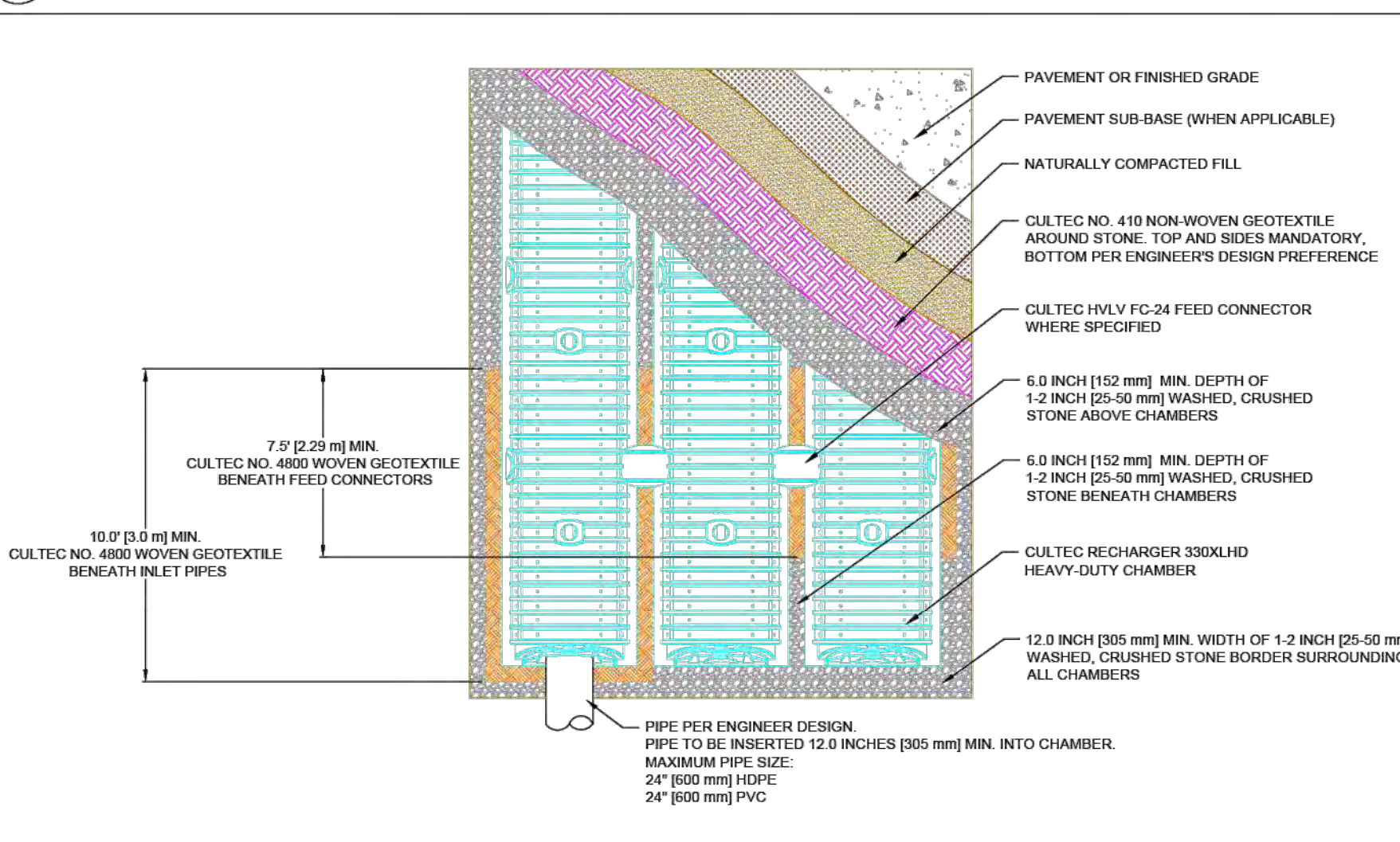
CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW



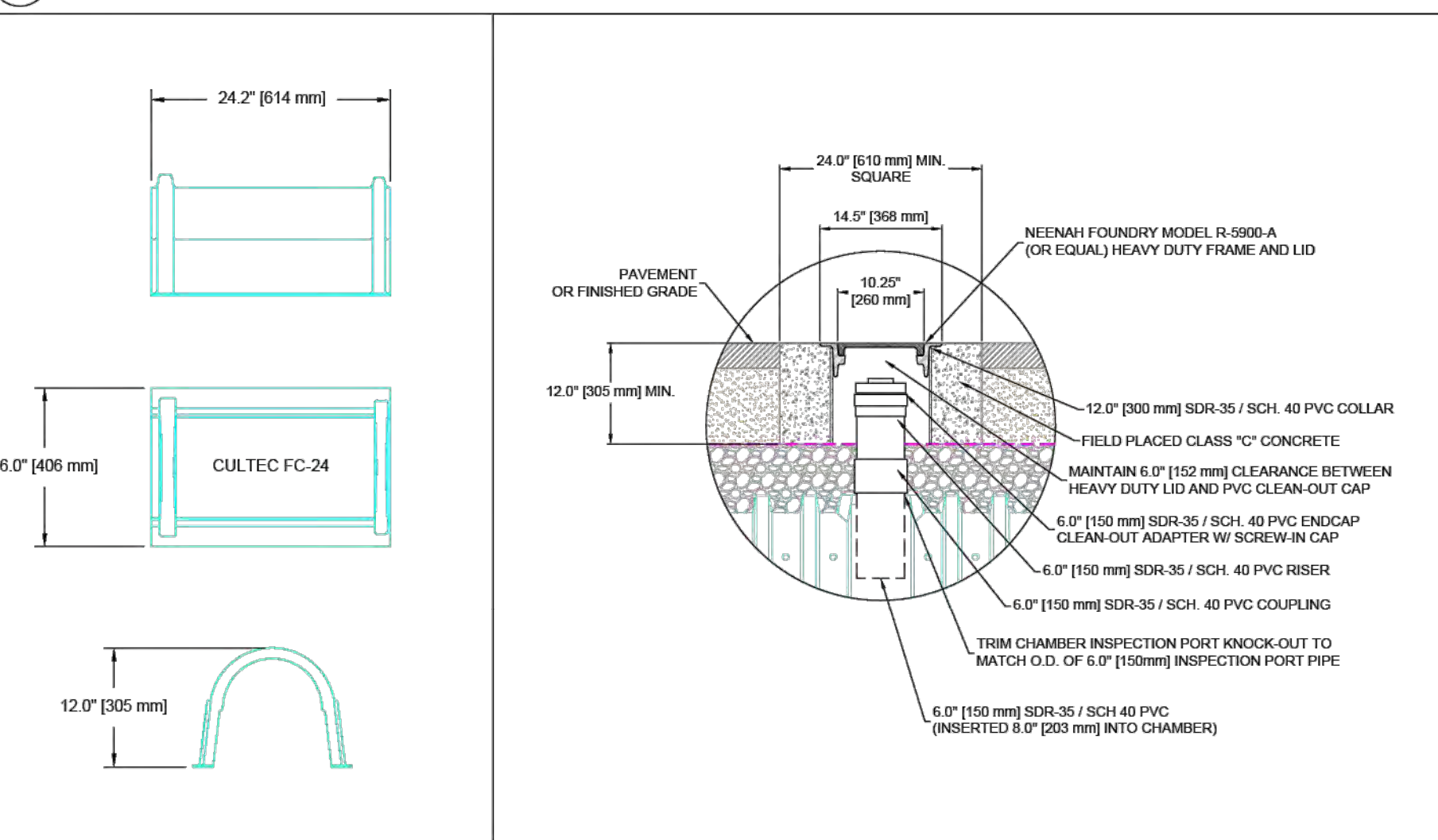
CULTEC RECHARGER 330XLHD HEAVY DUTY END DETAIL INFORMATION



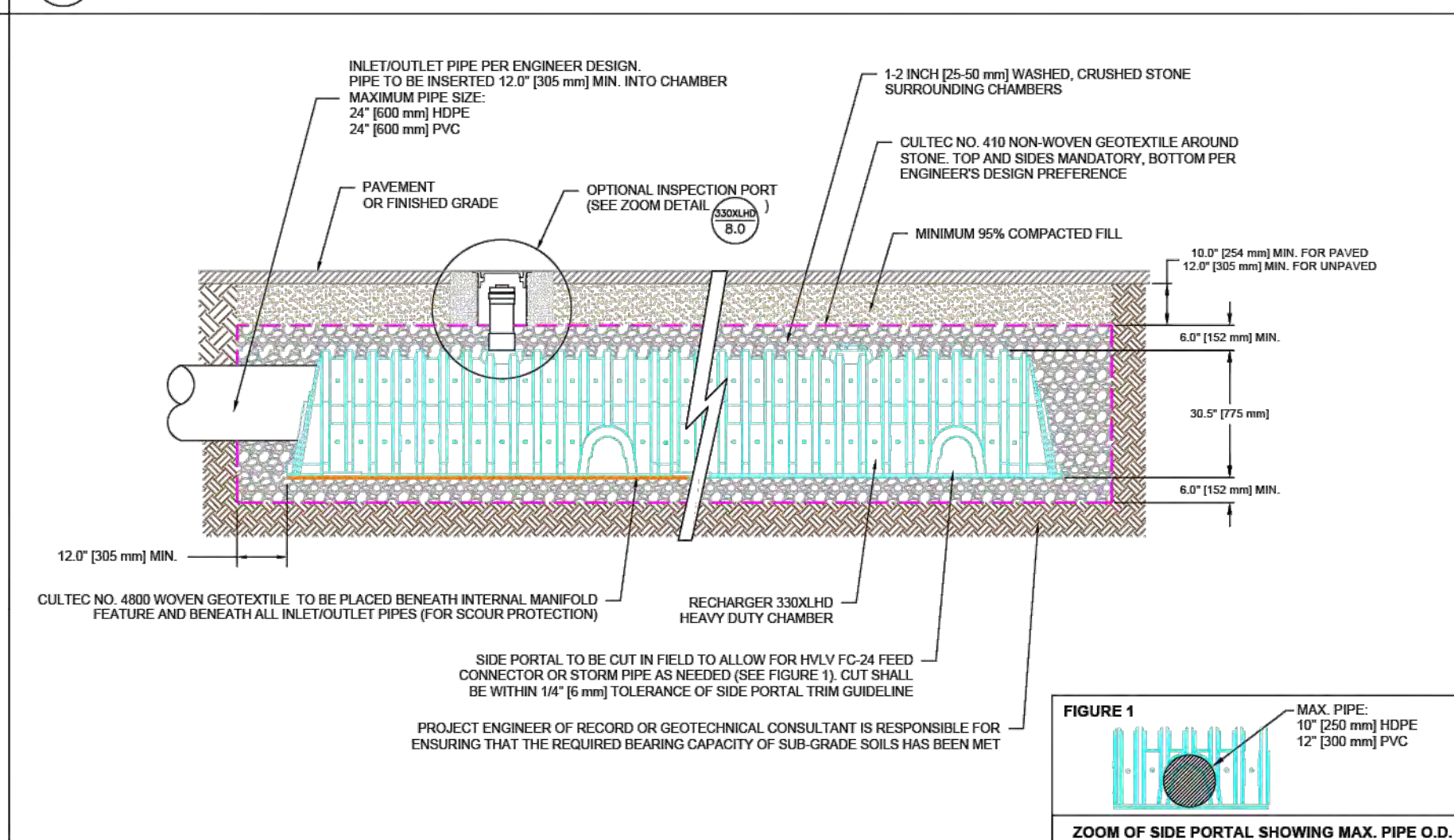
GENERAL NOTES



CULTEC RECHARGER 330XLHD HEAVY DUTY CROSS SECTION



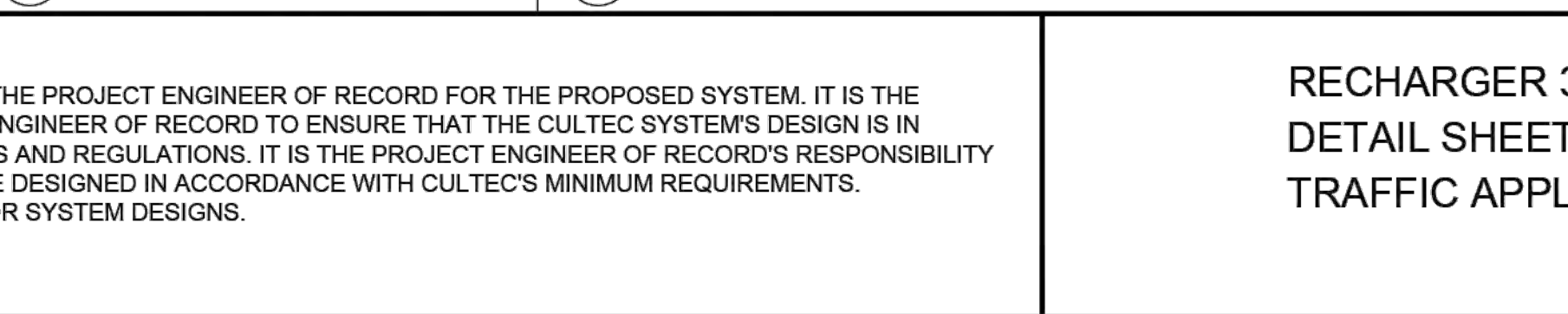
CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL INTERLOCK



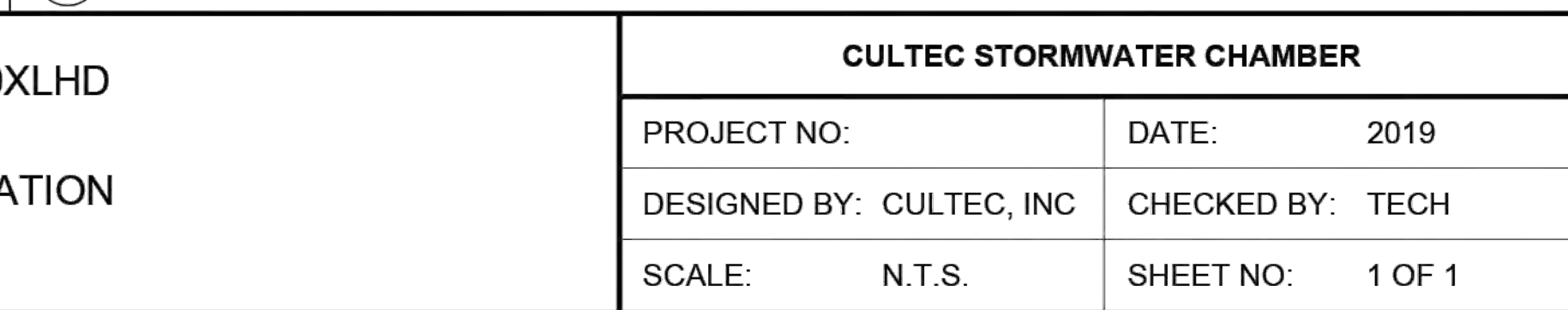
CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW



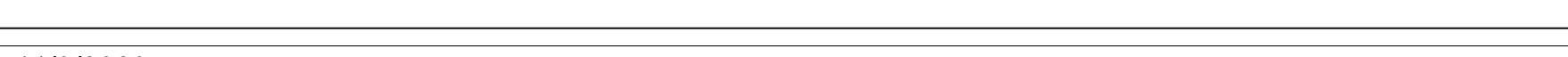
CULTEC HVLV FC-24 FEED CONNECTOR THREE VIEW



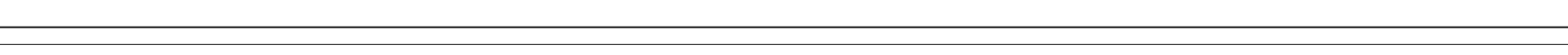
OPTIONAL INSPECTION PORT- ZOOM DETAIL



CULTEC INTERNAL MANIFOLD- OPTIONAL INSPECTION PORT DETAIL



RECHARGER 330XLHD DETAIL SHEET TRAFFIC APPLICATION



CULTEC STORMWATER CHAMBER

Table with 2 columns: Field and Value. Rows include Project No. (2019), Date, Designed By (CULTEC, INC), Checked By (TECH), Scale (N.T.S.), and Sheet No. (1 OF 1).

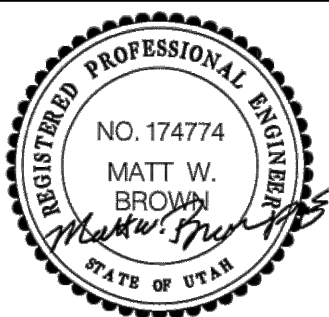
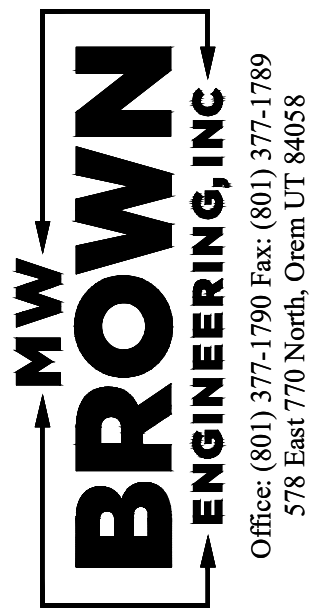


Table for Revisions with columns: No., Date, By, Notes.

Designed: \_\_\_\_\_

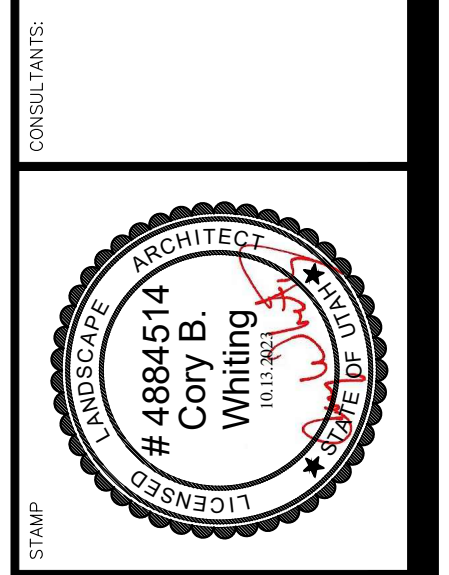
Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

Date: \_\_\_\_\_

CITADEL SANTAQUIN
SANTAQUIN, UTAH
STANDARD DETAILS

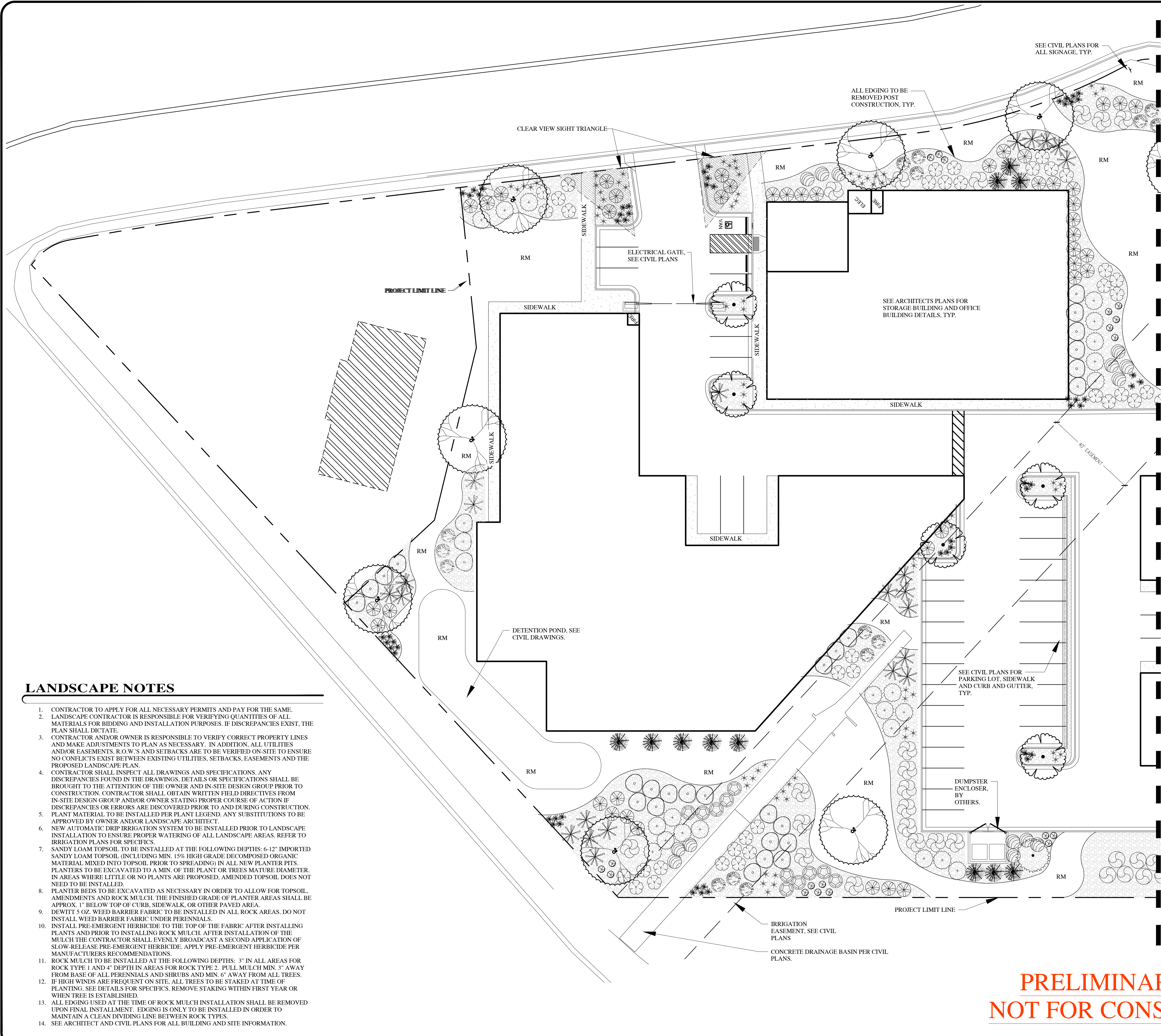
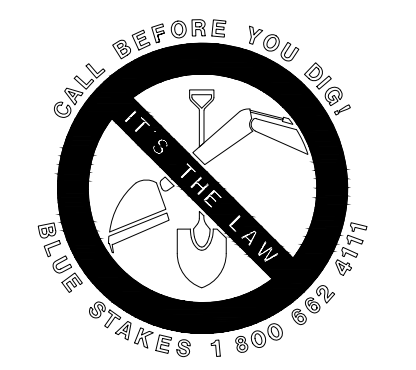
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**CITADEL SANTAQUIN**  
 Ridgepoint Management  
 Santaquin - Utah - 84655

**PLANTING PLAN**

DRAWN BY: **BDJ**  
 CHECKED: **CBW**  
 DATE: **10.13.2023**  
 REVISIONS: --  
 JOB NO: **23-119**  
 SHEET: **LS1.1**



**DECIDUOUS TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' IMPERIAL HONEY LOCUST	10	2" CAL.
	ZELKOVA SERRATA 'MUSASHINO' SAWLEAF ZELKOVA	5	2" CAL.

**EVERGREEN TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	PINUS FLEXILIS 'VANDERWOLF' VANDERWOLF LIMBER PINE	4	6-7 TALL
	PICEA PUNGENS 'BABY BLUE EYES' BABY BLUE EYES SPRUCE	16	6-7 TALL

**DECIDUOUS SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	BERBERIS THUNBERGII 'CRIMSON PYGMY' JAPANESE BARBERRY	35	5 GAL.
	CORNUS ALBA 'ELEGANTISSIMA' VARIEGATED REDTWIG DOGWOOD	44	5 GAL.
	HIBISCUS SYRIACUS 'ARDENS' ARDENS ROSE OF SHARON	28	5 GAL.
	PHYSOCARPUS OPULEFOLIUS 'SMNPOBLR' GINGER WINE NINEBARK	65	5 GAL.
	ROSA X 'HARISON'S YELLOW' HARISON'S YELLOW ROSE	67	5 GAL.
	FORSYTHIA X INTERMEDIA 'SPRING GLORY' FORSYTHIA	34	5 GAL.
	VIBURNUM OPULENS 'STERILE' EASTERN SNOWBALL VIBURNUM	18	5 GAL.
	GROW LOW SUMAC	32	5 GAL.
	SYRINGA VULGARIS MID BLOOMING COMMON PURPLE LILAC	29	5 GAL.
	SYRINGA VULGARIS 'BAILBRIDGET' VIRTUAL VIOLET	24	5 GAL.

**EVERGREEN SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS HORIZONTALIS 'WILTONII' WILTON BLUE RUG JUNIPER	28	5 GAL.
	PINUS MUGO MUGUS 'PUMILLO' SHRUBBY SWISS MTN MUGO PINE	26	5 GAL.
	TAXUS X MEDIA 'DARK GREEN SPREADER' DARK GREEN SPREADER YEW	28	5 GAL.

**PERENNIALS / GRASSES LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HEMEROCALIS 'PARDON ME' REBLOOMING DAYLILY	87	1 GAL.
	PENNISETUM ALOPECUROIDES 'KARL FOERSTER' FOUNTAIN GRASS	93	1 GAL.

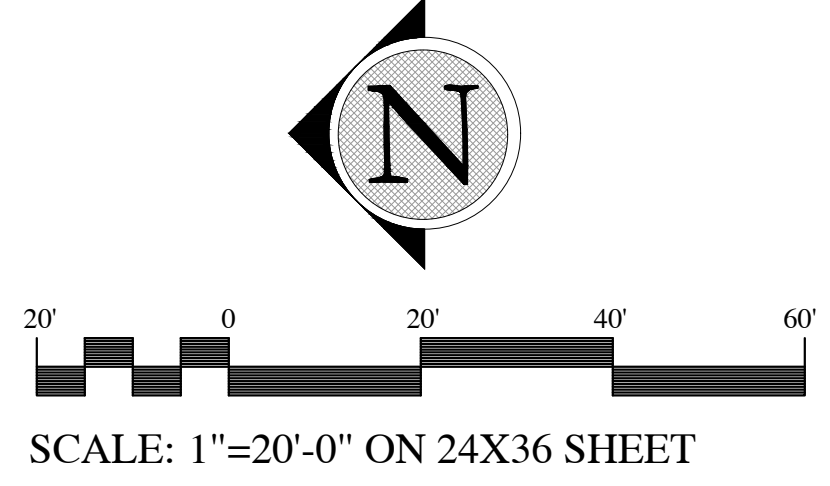
**SITE LANDSCAPE MATERIALS**

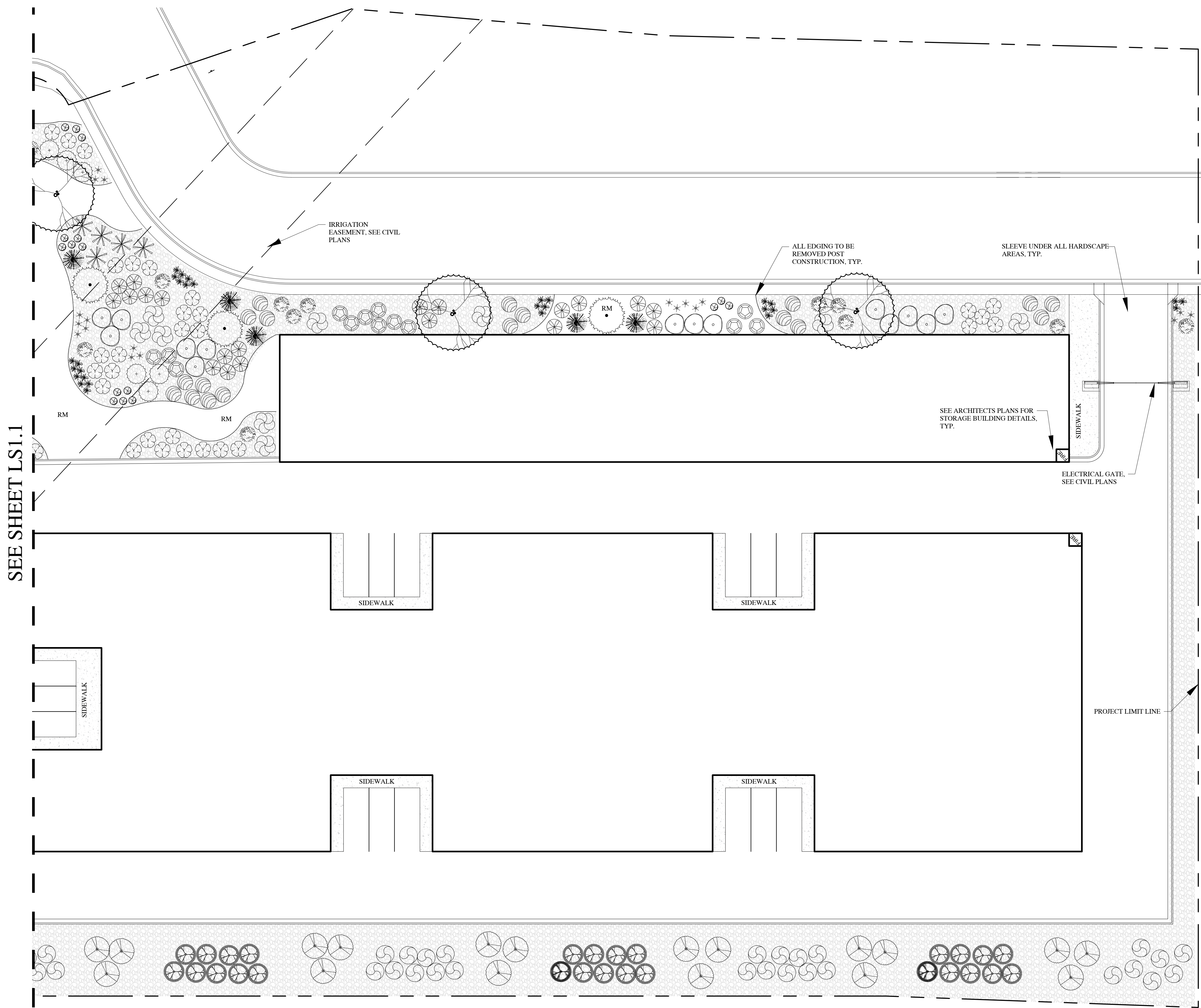
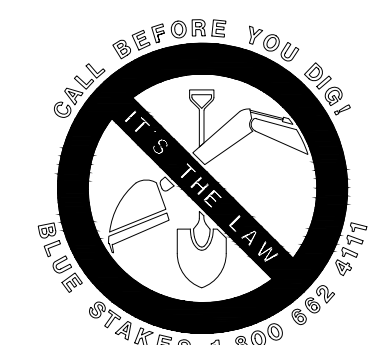
SYMBOL	BOTANICAL NAME/COMMON NAME	QTY
	ROCK MULCH TYPE 1: 3" DEPTH OF 3/4" SCREENED CRUSHED/ANGULAR ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.	PER PLAN
	ROCK MULCH TYPE 2: 4" DEPTH OF 1-2" SCREENED CRUSHED/ANGULAR ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.	PER PLAN

**LANDSCAPE NOTES**

- CONTRACTOR TO APPLY FOR ALL NECESSARY PERMITS AND PAY FOR THE SAME.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- CONTRACTOR AND/OR OWNER IS RESPONSIBLE TO VERIFY CORRECT PROPERTY LINES AND MAKE ADJUSTMENTS TO PLAN AS NECESSARY. IN ADDITION, ALL UTILITIES AND/OR EASEMENTS, R.O.W.'S AND SETBACKS ARE TO BE VERIFIED ON-SITE TO ENSURE NO CONFLICTS EXIST BETWEEN EXISTING UTILITIES, SETBACKS, EASEMENTS AND THE PROPOSED LANDSCAPE PLAN.
- CONTRACTOR SHALL INSPECT ALL DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES FOUND IN THE DRAWINGS, DETAILS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND IN-SITE DESIGN GROUP PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN WRITTEN FIELD DIRECTIVES FROM IN-SITE DESIGN GROUP AND/OR OWNER STATING PROPER COURSE OF ACTION IF DISCREPANCIES OR ERRORS ARE DISCOVERED PRIOR TO AND DURING CONSTRUCTION.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION TO ENSURE PROPER WATERING OF ALL LANDSCAPE AREAS. REFER TO IRRIGATION PLANS FOR SPECIFICS.
- SANDY LOAM TOPSOIL TO BE INSTALLED AT THE FOLLOWING DEPTHS: 6-12" IMPORTED SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER PTS. PLANTERS TO BE EXCAVATED TO A MIN. OF THE PLANT OR TREES MATURE DIAMETER. IN AREAS WHERE LITTLE OR NO PLANTS ARE PROPOSED, AMENDED TOPSOIL DOES NOT NEED TO BE INSTALLED.
- PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR TOPSOIL, AMENDMENTS AND ROCK MULCH. THE FINISHED GRADE OF PLANTER AREAS SHALL BE APPROX. 1" BELOW TOP OF CURB, SIDEWALK, OR OTHER PAVED AREA.
- DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK AREAS. DO NOT INSTALL WEED BARRIER FABRIC UNDER PERENNIALS.
- INSTALL PRE-EMERGENT HERBICIDE TO THE TOP OF THE FABRIC AFTER INSTALLING PLANTS AND PRIOR TO INSTALLING ROCK MULCH. AFTER INSTALLATION OF THE MULCH THE CONTRACTOR SHALL EVENLY BROADCAST A SECOND APPLICATION OF SLOW-RELEASE PRE-EMERGENT HERBICIDE. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
- ROCK MULCH TO BE INSTALLED AT THE FOLLOWING DEPTHS: 3" IN ALL AREAS FOR ROCK TYPE 1 AND 4" DEPTH IN AREAS FOR ROCK TYPE 2. PULL MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES. IF HIGH WINDS ARE FREQUENT ON SITE, ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.
- ALL EDGING USED AT THE TIME OF ROCK MULCH INSTALLATION SHALL BE REMOVED UPON FINAL INSTALLMENT. EDGING IS ONLY TO BE INSTALLED IN ORDER TO MAINTAIN A CLEAN DIVIDING LINE BETWEEN ROCK TYPES.
- SEE ARCHITECT AND CIVIL PLANS FOR ALL BUILDING AND SITE INFORMATION.

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**





SEE SHEET LS1.1

**DECIDUOUS TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' IMPERIAL HONEY LOCUST	10	2" CAL.
	ZELKOVA SERRATA 'MUSASHINO' SAWLEAF ZELKOVA	5	2" CAL.

**EVERGREEN TREE LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	PINUS FLEXILIS 'VANDERWOLF' VANDERWOLF LAMBER PINE	4	6-7 TALL
	PICEA PUNGENS 'BABY BLUE EYES' BABY BLUE EYES SPRUCE	16	6-7 TALL

**DECIDUOUS SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	BERBERIS THUNBERGII 'CRIMSON PYGMY' JAPANESE BARBERRY	35	5 GAL.
	CORNUS ALBA 'ELEGANTISSIMA' VARIEGATED REDTWIG DOGWOOD	44	5 GAL.
	HIBISCUS SYRIACUS 'ARDENS' ARDENS ROSE OF SHARON	28	5 GAL.
	PHYSOCARPUS OPULIFOLIUS 'SMNOPBL' GINGER WINE NINEBARK	65	5 GAL.
	ROSA X HARISON'S 'YELLOW' HARISON'S YELLOW ROSE	67	5 GAL.
	FORSYTHIA X INTERMEDIA 'SPRING GLORY' FORSYTHIA	34	5 GAL.
	VIBURNUM OPULUS 'STERILE' EASTERN SNOWBALL VIBURNUM	18	5 GAL.
	GROW LOW SUMAC	32	5 GAL.
	SYRINGA VULGARIS MID BLOOMING COMMON PURPLE LILAC	29	5 GAL.
	SYRINGA VULGARIS 'BAILBRIDGET' VIRTUAL VIOLET MID BLOOMING PURPLE LILAC	24	5 GAL.

**EVERGREEN SHRUB LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	JUNIPERUS HORIZONTALIS 'WILTON' WILTON BLUE RUG JUNIPER	28	5 GAL.
	PINUS MUGO 'MUGUS PUMILIO' SHRUBBY SWISS MTN MUGO PINE	26	5 GAL.
	TAXUS X MEDIA 'DARK GREEN SPREADER' DARK GREEN SPREADER YEW	28	5 GAL.

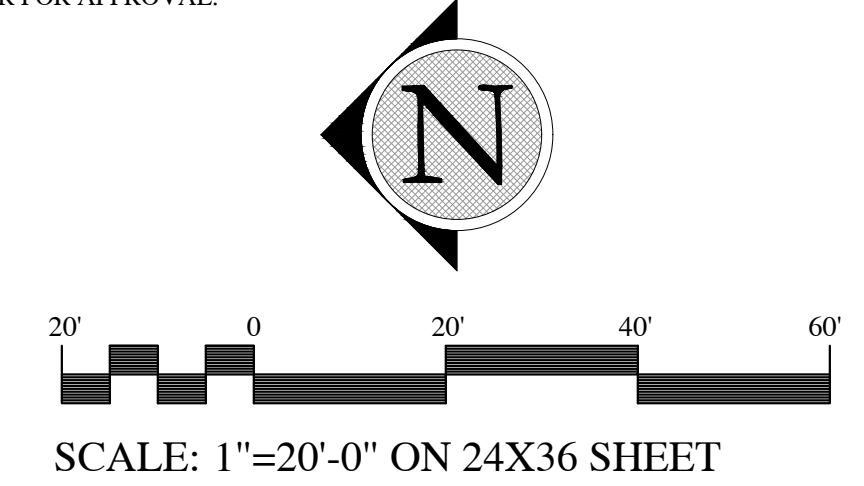
**PERENNIALS / GRASSES LEGEND**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HEMEROCALLIS 'PARDON ME' REBLOOMING DAYLILY	87	1 GAL.
	PENNISETUM ALOPECUROIDES 'KARL FOERSTER' FOUNTAIN GRASS	93	1 GAL.

**SITE LANDSCAPE MATERIALS**

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY
	ROCK MULCH TYPE 1: 3" DEPTH OF 3/4" SCREENED CRUSHED/ANGULAR ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.	PER PLAN
	ROCK MULCH TYPE 2: 4" DEPTH OF 1-2" SCREENED CRUSHED/ANGULAR ROCK. ROCK TO BE DOUBLE WASHED PRIOR TO PLACING ROCK ON TOP OF WEED BARRIER FABRIC. SEE DETAILS FOR ADDITIONAL INSTALLATION NOTES. ROCK COLOR AND TYPE T.B.D. BY OWNER AND CONTRACTOR DURING SUBMITTAL PROCESS. SUBMIT SAMPLE TO OWNER FOR APPROVAL.	PER PLAN

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**





CONSULTANTS:



STAMP:

**CITADEL SANTAQUIN**  
Ridgepoint Management  
Santaquin - Utah - 84655

PROJECT:

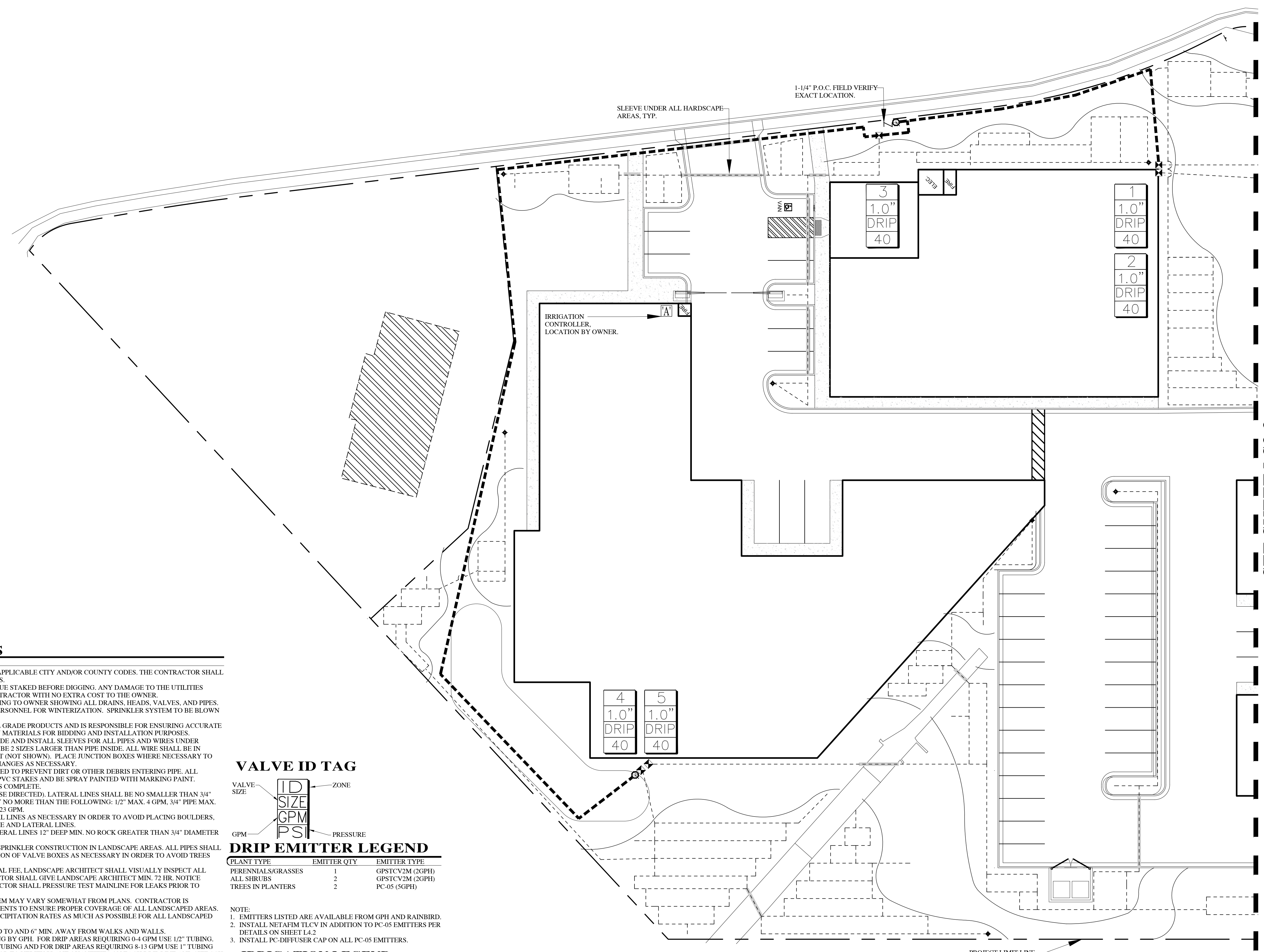
**PLANTING PLAN**

SHEET TITLE:

DRAWN BY: **BDJ**  
CHECKED: **CBW**  
DATE: **10.13.2023**  
REVISIONS: --  
JOB NO. **23-119**

SHEET:

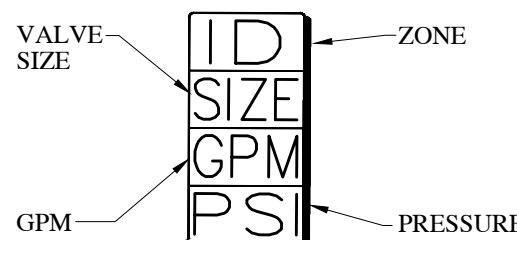
**LS2.1**



**IRRIGATION NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
- CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
- PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
- CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
- LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SCH. 40 GREY ELECTRICAL CONDUIT (NOT SHOWN). PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
- ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
- MAIN LINES SHALL BE 1-1/4" (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1/2" MAX. 4 GPM, 3/4" PIPE MAX. 8GPM, 1" PIPE MAX. 13GPM, 1 1/4" PIPE MAX. 13-23 GPM.
- ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
- MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
- PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN.
- AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
- ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
- LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
- VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
- DRIP LINES SHALL BE FLEXIBLE AR PVC TUBING BY GPH. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" TUBING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" TUBING AND FOR DRIP AREAS REQUIRING 8-13 GPM USE 1" TUBING AND 13-20 GPM USE 1 1/4" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE SCH 40 PIPE AND AR TUBING FROM GPH ACCORDINGLY.
- CONTRACTOR TO MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS. INSTALL IN-LINE NETAFIM DRIP PER DETAILS FOR TREES.
- POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
- IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE FILTER PER MANUFACTURER SPECS. INSTALL THE FILTER AND PRESSURE REDUCER IN VALVE BOX BELOW GRADE. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE OWNER WITH A WATERING SCHEDULE FOR SHORT TERM ESTABLISHMENT PERIOD AND FOR LONG TERM WATERING. CONTRACTOR SHALL PROGRAM CONTROLLER AS REQUIRED FOR LOCAL CONDITIONS AND PROVIDE WRITTEN INSTRUCTIONS ALONG WITH THE WATERING SCHEDULE TO THE OWNER PRIOR TO PROJECT CLOSE-OUT.
- CONTRACTOR AND OWNER SHALL FLUSH THE SYSTEM EACH FALL THROUGH THE QUICK COUPLER VALVE. THE ENTIRE IRRIGATION SYSTEM SHALL BE WINTERIZED EACH FALL BY USE OF AN AIR COMPRESSOR.
- THE IRRIGATION SYSTEM HAS BEEN DESIGNED WITH A MIN. FLOW OF 13 GPM THROUGH THE 1" SERVICE LINE. THE CONTRACTOR SHALL FIELD VERIFY THAT THERE IS 13 GPM AT THE POINT OF CONNECT AFTER THE 1" WATER P.I. METER. IF SUFFICIENT FLOW IS NOT AVAILABLE, SOME REDESIGN OF THE VALVE/ZONES WILL BE REQUIRED. NOTIFY LANDSCAPE ARCHITECT OF FLOW TEST PRIOR TO INSTALLING ANY IRRIGATION SYSTEM COMPONENTS.

**VALVE ID TAG**



**DRIP EMITTER LEGEND**

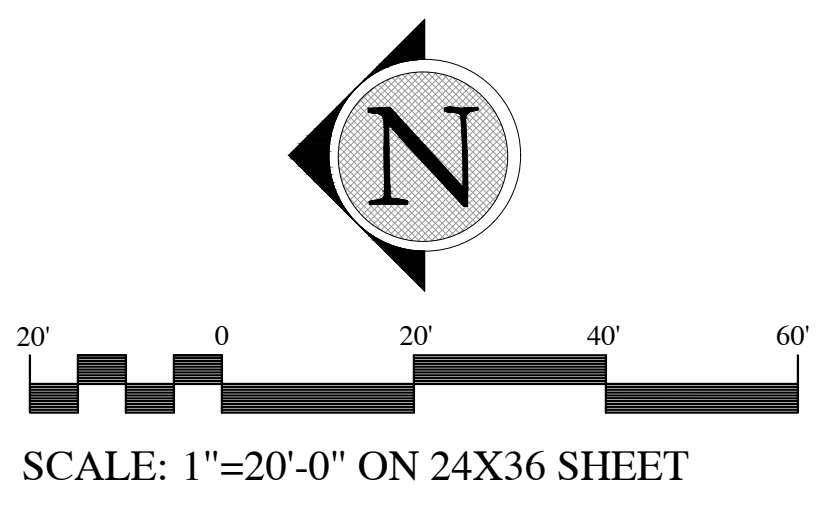
PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	GPSTCV2M (2GPH)
ALL SHRUBS	2	GPSTCV2M (2GPH)
TREES IN PLANTERS	2	PC-05 (5GPH)

- NOTE:
- EMITTERS LISTED ARE AVAILABLE FROM GPH AND RAINBRD.
  - INSTALL NETAFIM TLVCV IN ADDITION TO PC-05 EMITTERS PER DETAILS ON SHEET L4.2
  - INSTALL PC-DIFFUSER CAP ON ALL PC-05 EMITTERS.

**IRRIGATION LEGEND**

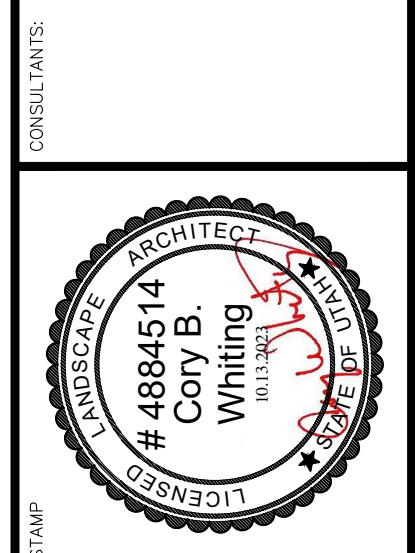
SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM										DRIP GPH	DETAILS	REMARKS
					Q	T	H	TT	TQ	F							
NOT SHOWN	NETAFIM Techline® TLVCV DRILINE	FULL	--	30	--	--	--	--	--	--	--	--	--	26	14-16		
NOT SHOWN	RAINBRD PC-05 EMITTER W/DIFFUSER CAP	FULL	--	30	--	--	--	--	--	--	--	--	--	5.0	14-16	INSTALL DIFFUSER CAP	
NOT SHOWN	GPSTCV2M	FULL	--	40	--	--	--	--	--	--	--	--	2.0	11-13			
[Symbol]	RAINBRD ESP-SMT SMART CONTROLLER - WALL MOUNT. GROUND CONTROLLER PER MANUFACTURERS SPECS. SIZE CONTROLLER AS REQUIRED.														1	COORDINATE LOCATION WITH OWNER	
[Symbol]	1-1/4" PRESSURIZED POINT OF CONNECTION WITH FILTER. SEE DETAILS FOR MORE INFORMATION.														2-3	JUMBO VALVE BOX	
[Symbol]	1" RAINBRD QUICK COUPLER, MODEL #44NP.														7	IN 10" RND. VALVE BOX	
[Symbol]	DRIP CONTROL ZONE KIT: KCZ-100-PRB-COM														8-10	JUMBO VALVE BOX	
[Symbol]	MAINLINE: 1-1/4" SCH. 40 PVC W/ SCH 80 FITTINGS.														4-5	REFERENCE DETAILS	
[Symbol]	PVC DRIP HEADER/FOOTER: PVC SCH. 40 AND/OR AR TUBING BY GPH (SEE DETAILS FOR NETAFIM LAYOUT)														4.5, 11-16	REFERENCE DETAILS	
[Symbol]	SCH. 40 OR CLASS 200 SLEEVE (TBD BY OWNER). SIZE TO MIN. 2X DIA. OF PIPE WITHIN SLEEVE OR AS NOTED ON PLANS.														6	ADD SLEEVES AS REQUIRED	
[Symbol]	FLUSH VALVE: 1/2" PVC BALL VALVE. INSTALL AT END OF ALL DRIP LINES IN 10" ROUND VALVE BOX														12	REFERENCE DETAILS	
[Symbol]	12 GAUGE SOLID COPPER SINGLE STRAND DIRECT BURIAL WIRE														1,4-5	REFERENCE DETAILS	

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**



SEE SHEET LS2.2

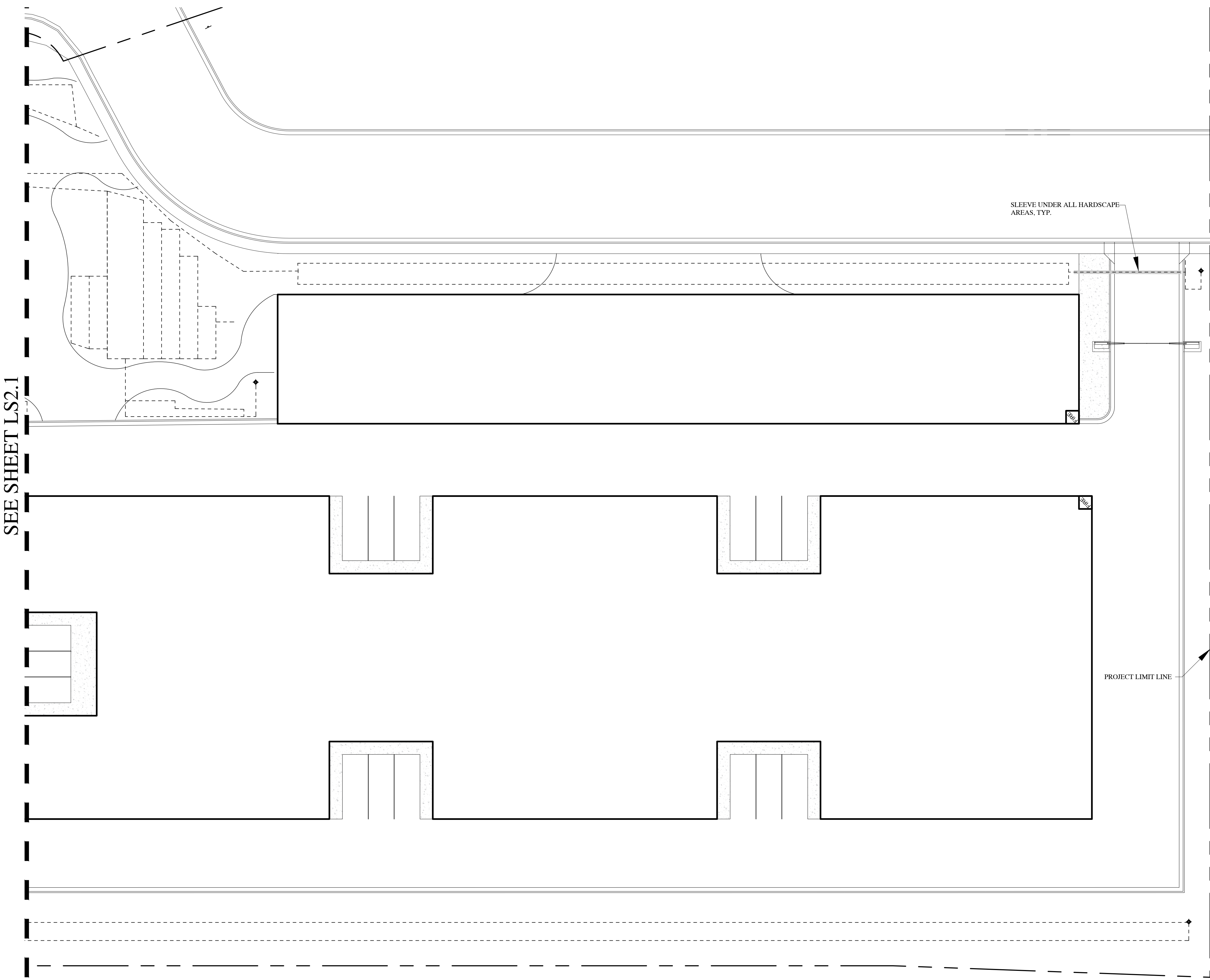




**CITADEL SANTAQUIN**  
Ridgepoint Management  
Santaquin - Utah - 84655

PLANTING PLAN

DRAWN BY: BDJ  
CHECKED: CBW  
DATE: 10.13.2023  
REVISIONS:  
JOB NO. 23-119  
SHEET: LS2.2



SEE SHEET LS2.1

**IRRIGATION NOTES**

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**IRRIGATION LEGEND**

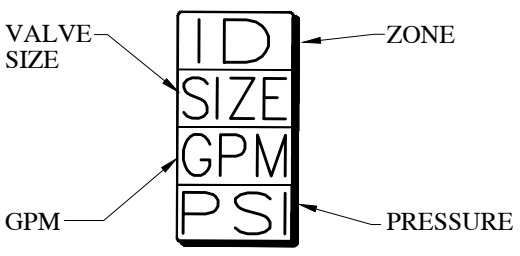
SYMBOL	MANUFACTURER-MODEL NUMBER	PAT.	RD.	PSI	GPM						DRIP GPH	DETAILS SEE SHEETS L2.1, L2.2	REMARKS
					Q	T	H	TT	TQ	F			
NOT SHOWN	NETAFIM Techline® TLCV DRIFLINE	FULL	--	30	--	--	--	--	--	--	26	14-16	
NOT SHOWN	RAINBIRD PC-05 EMITTER W/ DIFFUSER CAP	FULL	--	30	--	--	--	--	--	--	5.0	14-16	INSTALL DIFFUSER CAP
NOT SHOWN	GPSTCV2M	FULL	--	40	--	--	--	--	--	--	2.0	11-13	
	RAINBIRD ESP-SMT SMART CONTROLLER - WALL MOUNT. GROUND CONTROLLER PER MANUFACTURERS SPECS. SIZE CONTROLLER AS REQUIRED.												
	1-1/4" PRESSURIZED POINT OF CONNECTION WITH FILTER. SEE DETAILS FOR MORE INFORMATION.												
	1" RAINBIRD QUICK COUPLER, MODEL #4NP.												
	DRIP CONTROL ZONE KIT: XEZ-100-PRB-COM												
	MAINLINE: 1-1/4" SCH. 40 PVC W/ SCH 80 FITTINGS.												
	PVC DRIP HEADER/FOOTER: PVC SCH. 40 AND/OR AR TUBING BY GPH (SEE DETAILS FOR NETAFIM LAYOUT)												
	SCH. 40 OR CLASS 200 SLEEVE (TBD BY OWNER). SIZE TO MIN. 2X DIA. OF PIPE WITHIN SLEEVE OR AS NOTED ON PLANS.												
	FLUSH VALVE: 1/2" PVC BALL VALVE. INSTALL AT END OF ALL DRIP LINES IN 10" ROUND VALVE BOX												
NOT SHOWN	12 GAUGE SOLID COPPER SINGLE STRAND DIRECT BURIAL WIRE.												

**DRIP EMITTER LEGEND**

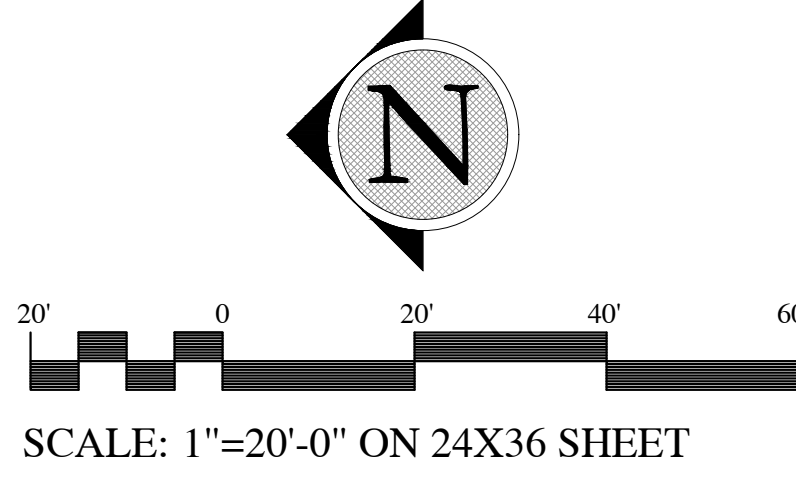
PLANT TYPE	EMITTER QTY	EMITTER TYPE
PERENNIALS/GRASSES	1	GPSTCV2M (2GPH)
ALL SHRUBS	2	GPSTCV2M (2GPH)
TREES IN PLANTERS	2	PC-05 (5GPH)

- NOTE:
- EMITTERS LISTED ARE AVAILABLE FROM GPH AND RAINBIRD.
  - INSTALL NETAFIM TLCV IN ADDITION TO PC-05 EMITTERS PER DETAILS ON SHEET L4.2
  - INSTALL PC-DIFFUSER CAP ON ALL PC-05 EMITTERS.

**VALVE ID TAG**

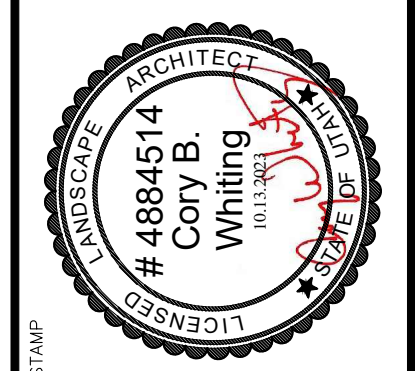


**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**





CONSULTANTS



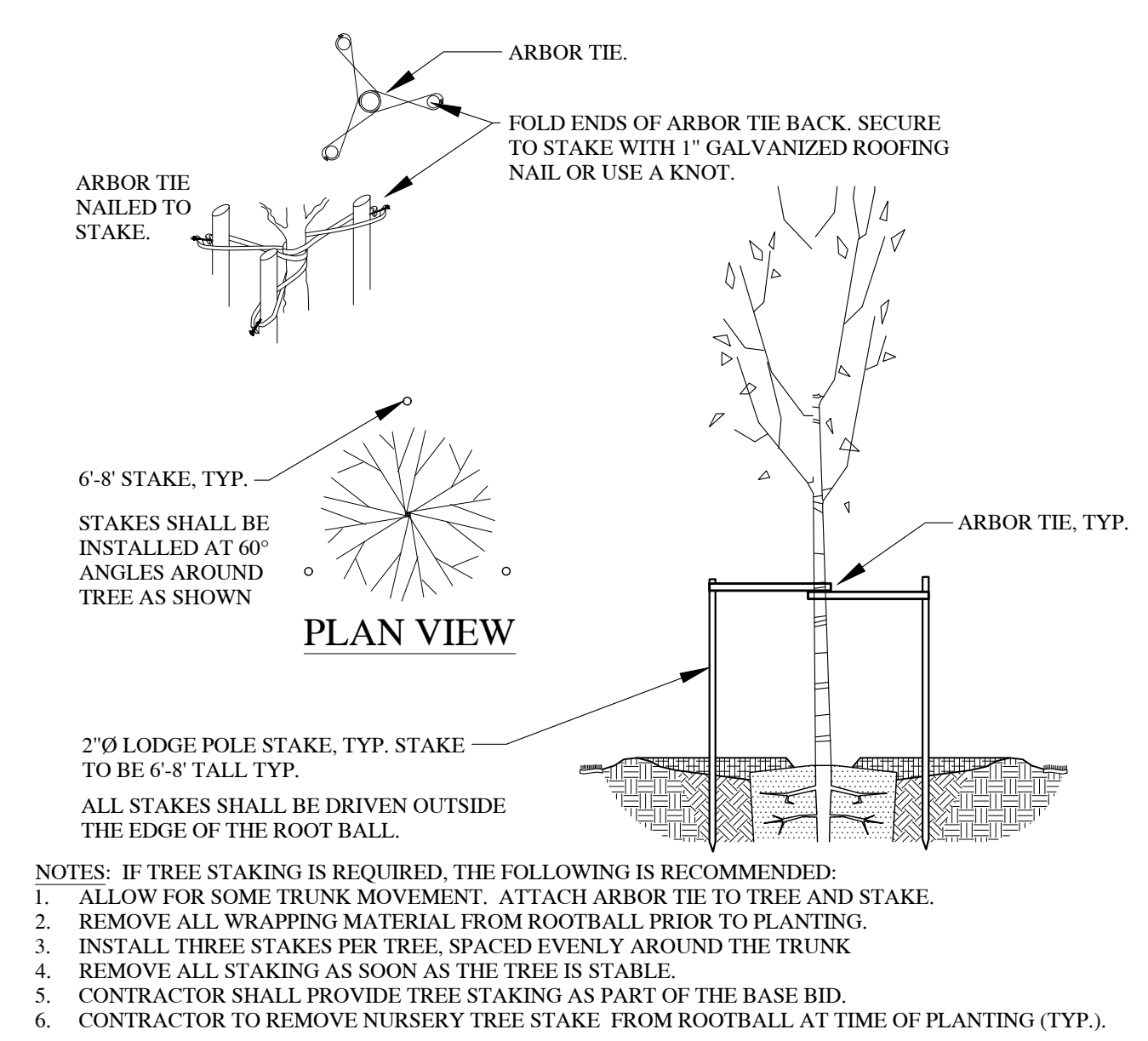
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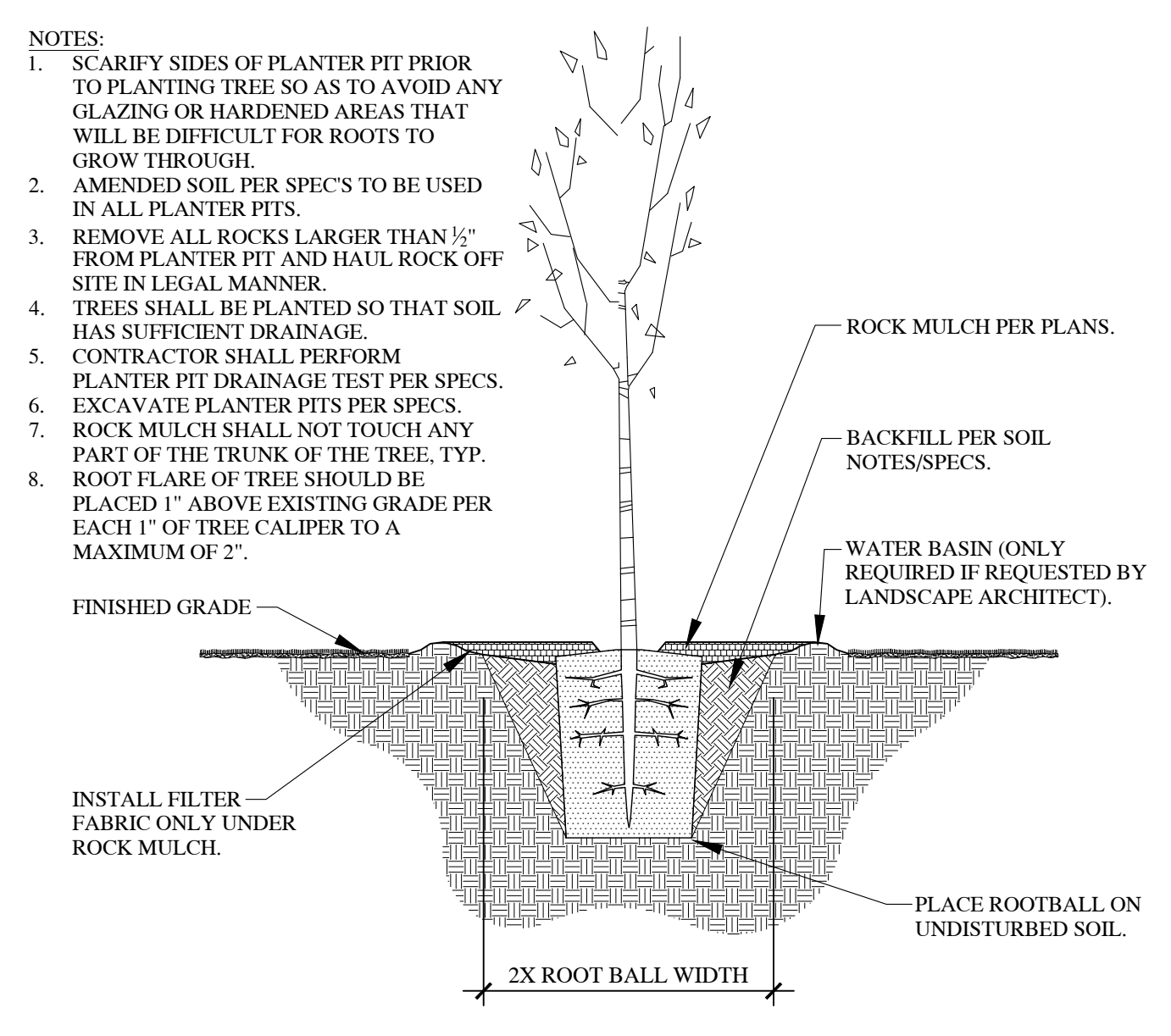
SHEET TITLE

DRAWN BY: BDJ  
CHECKED: CBW  
DATE: 10.13.2023  
REVISIONS: -  
JOB NO. 23-119

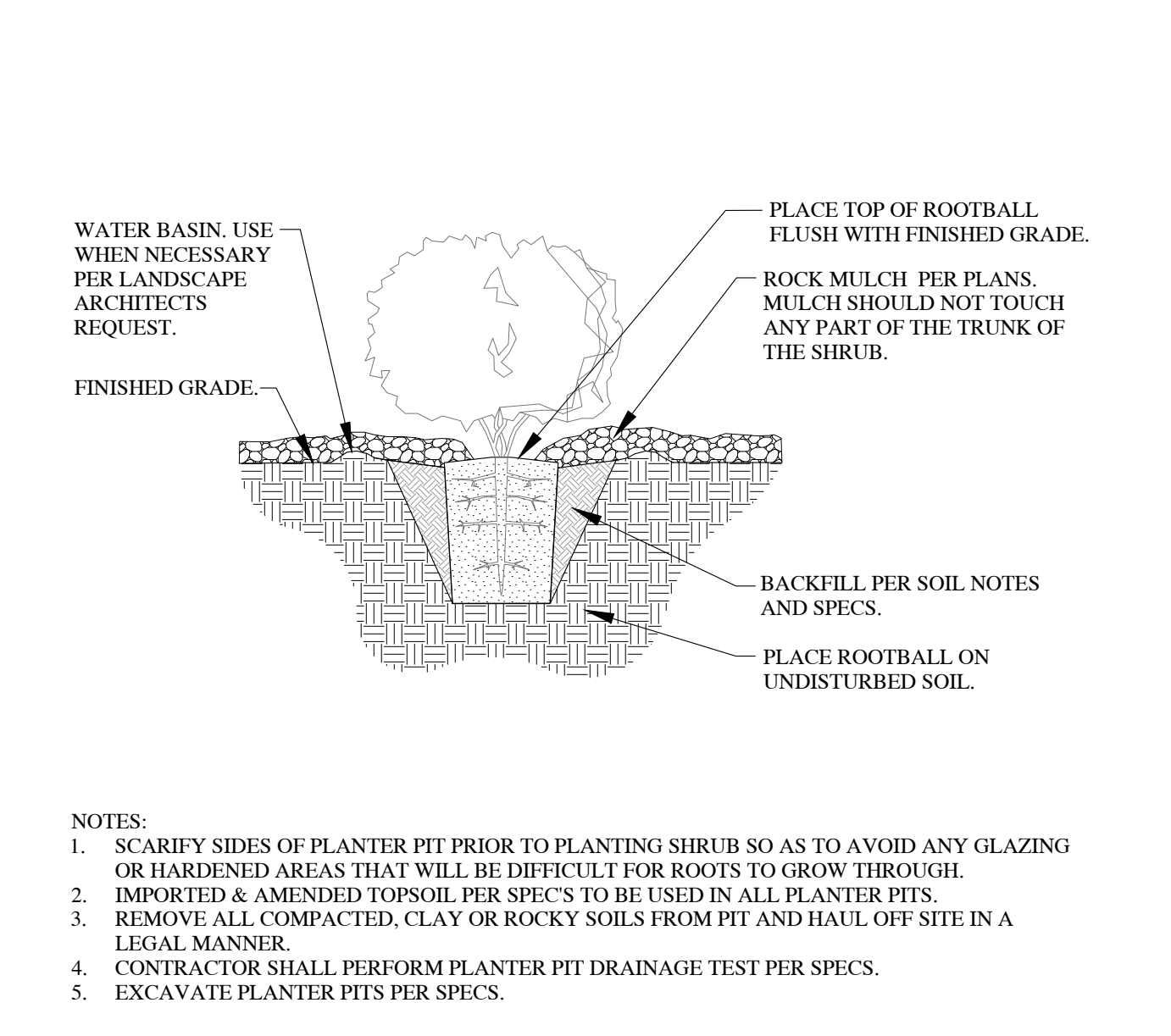
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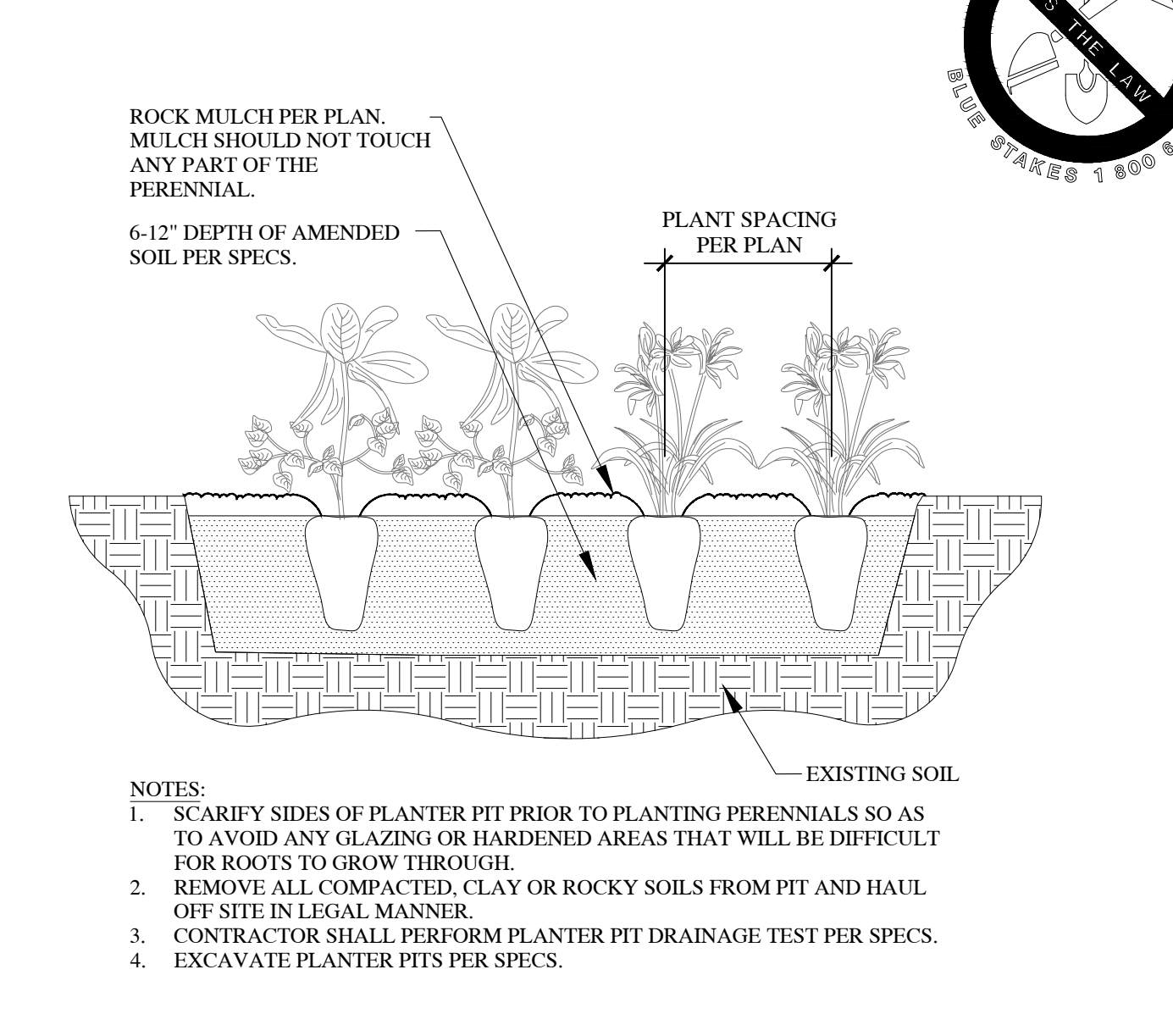
**1 TREE STAKING** SCALE: NTS



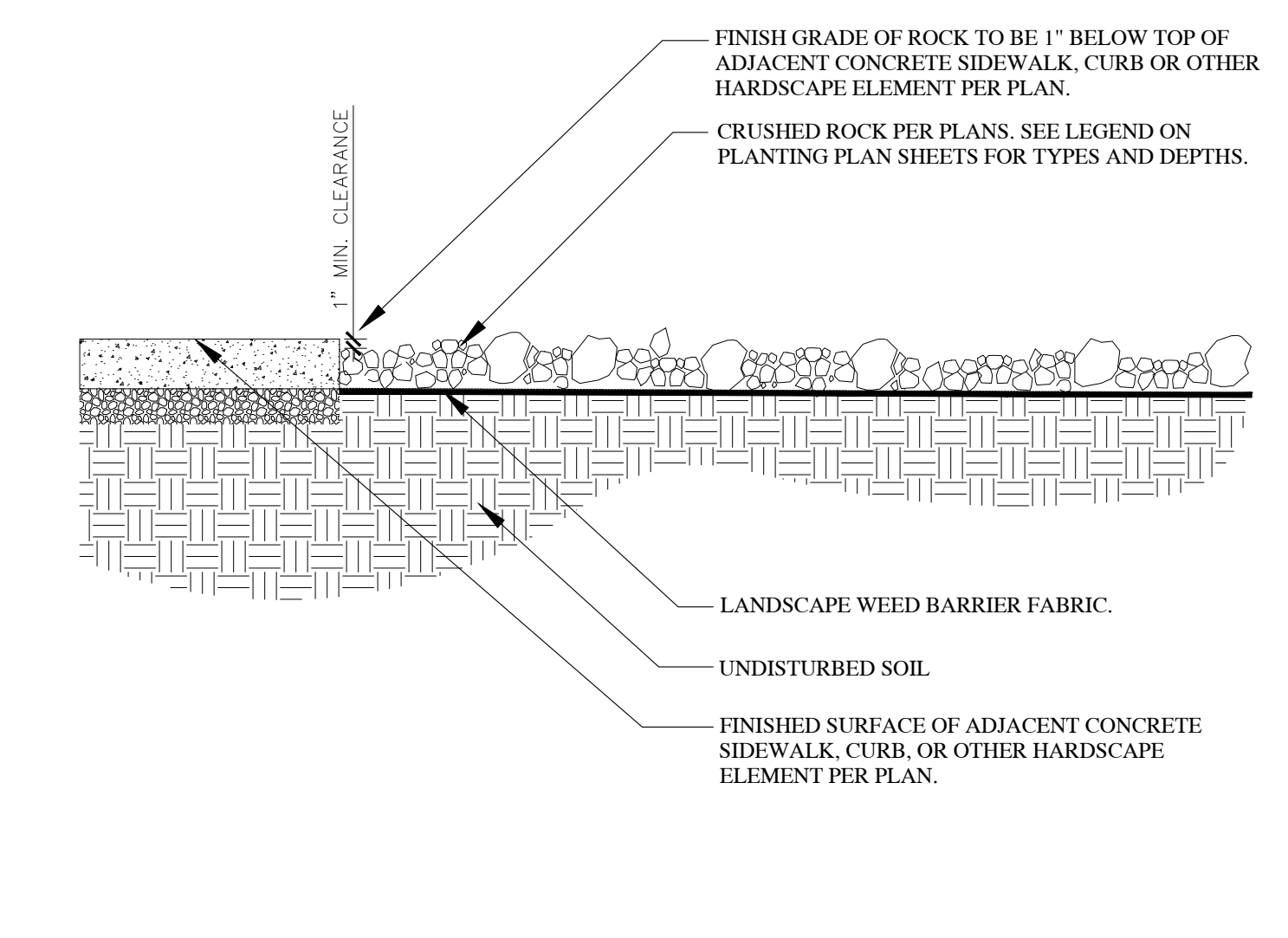
**2 DECIDUOUS TREE PLANTING** SCALE: NTS



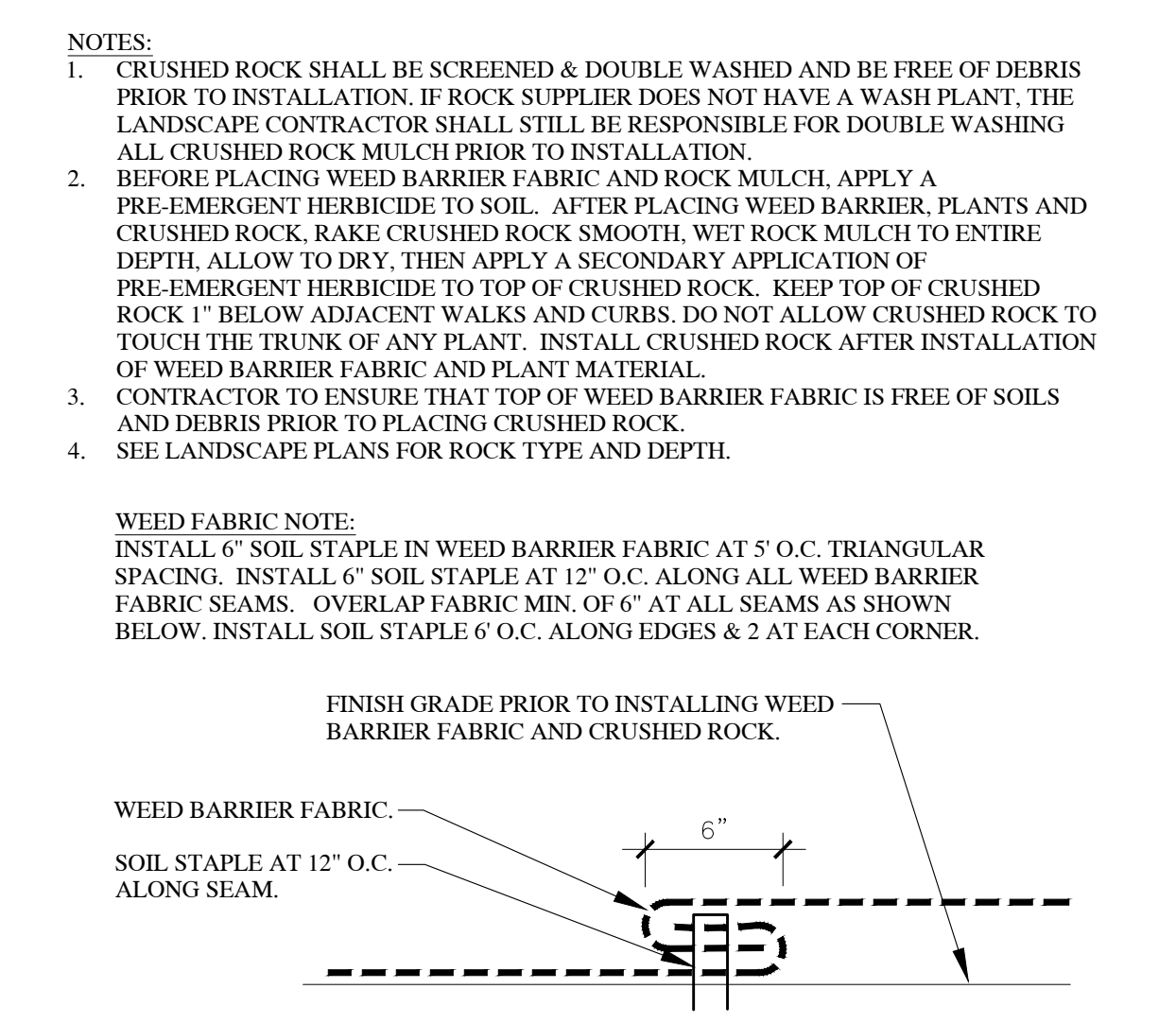
**3 SHRUB & ORNAMENTAL GRASS PLANTING** SCALE: NTS



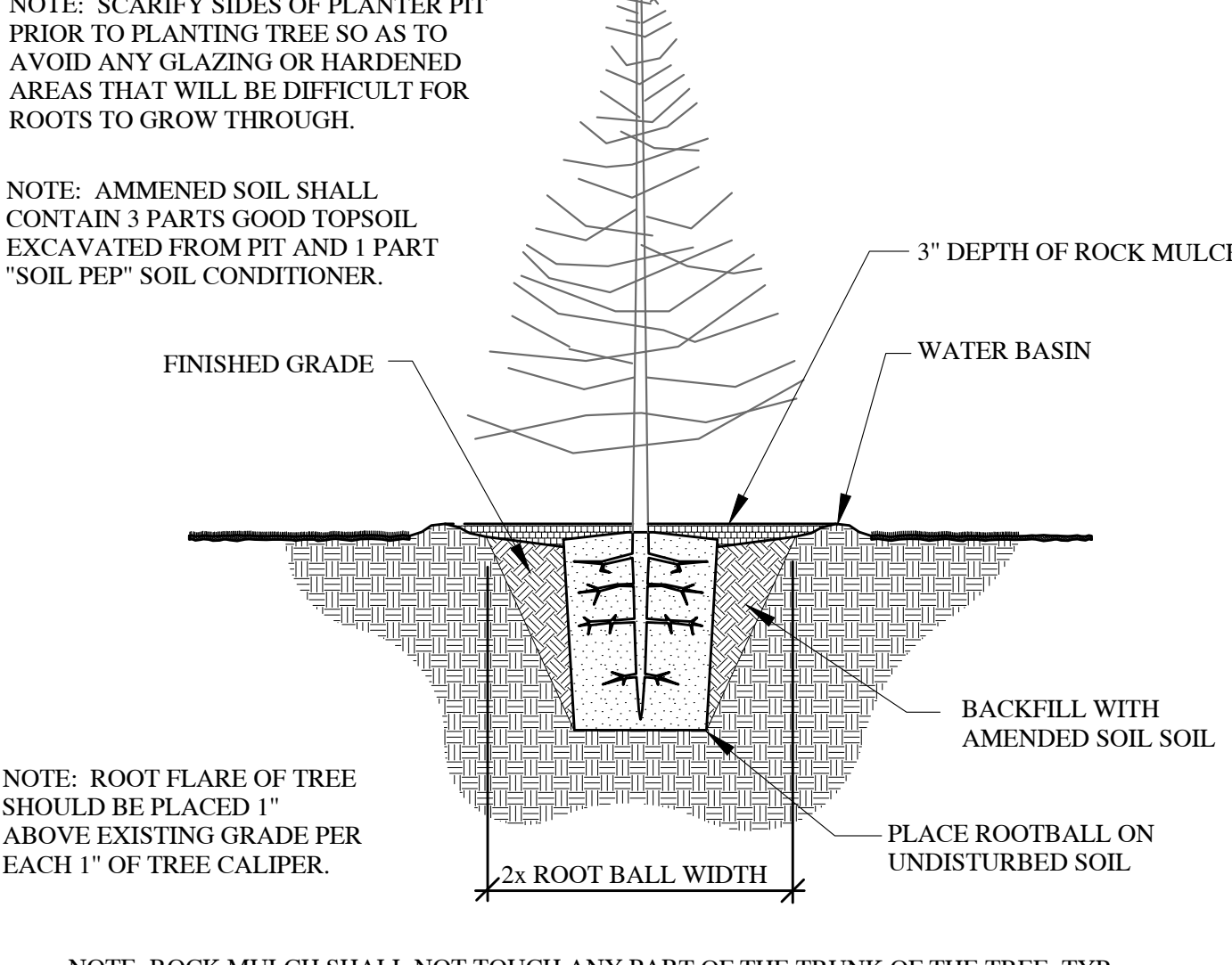
**4 PERENNIAL PLANTING** SCALE: NTS



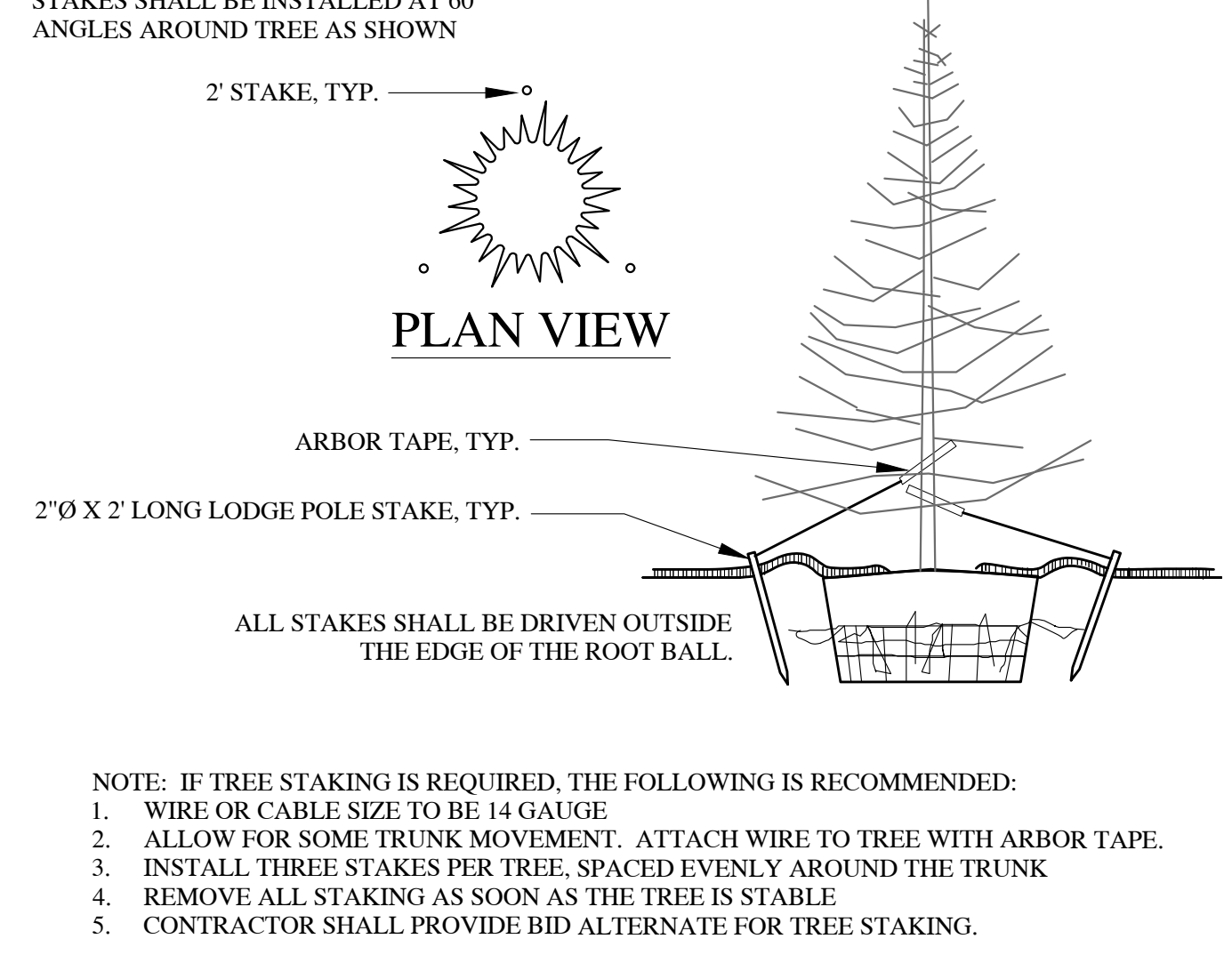
**5 CRUSHED ROCK AND WEED BARRIER FABRIC** SCALE: NTS



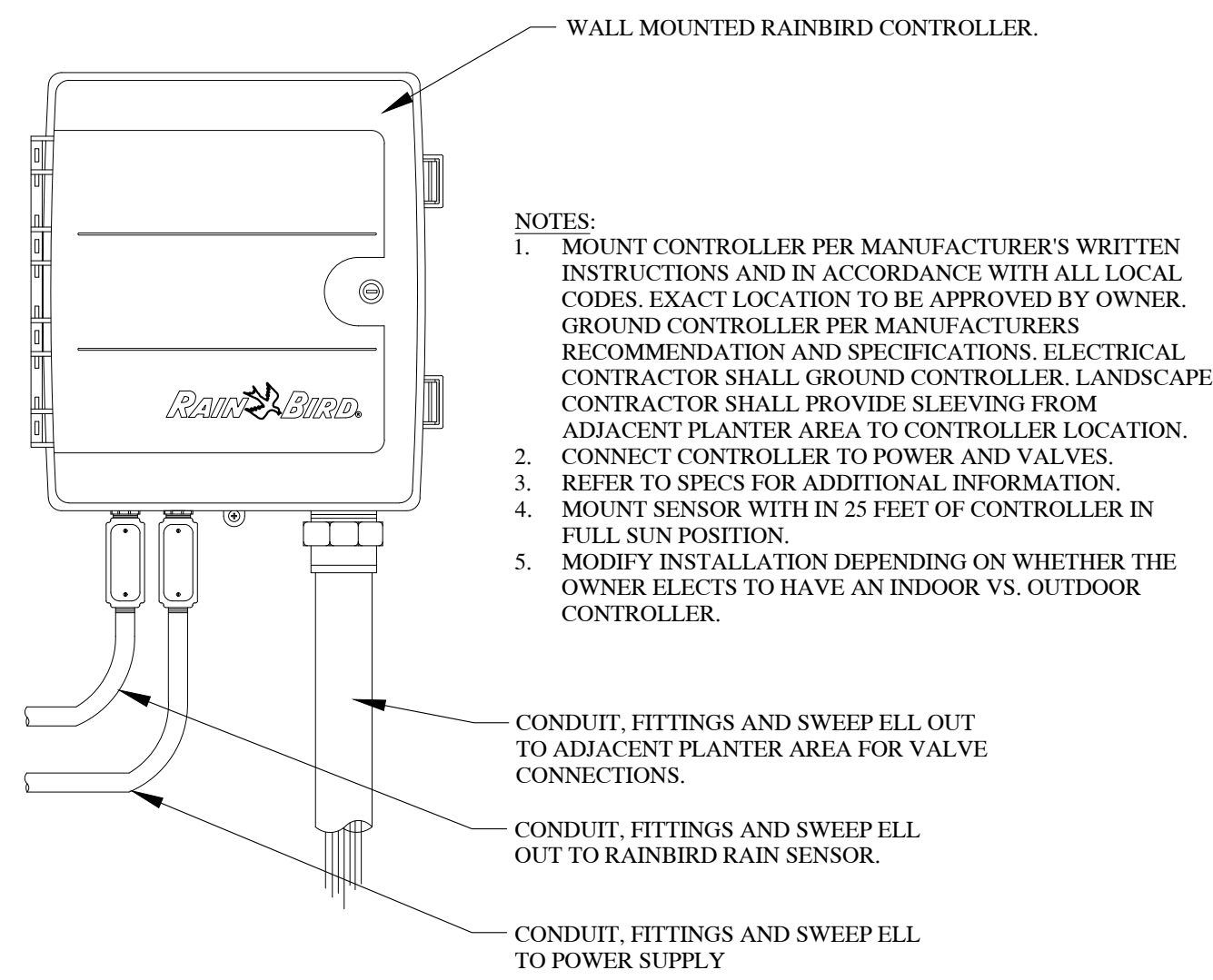
**6 EVERGREEN PLANTING DETAIL** SCALE: NTS



**7 EVERGREEN TREE STAKING DETAIL** SCALE: NTS

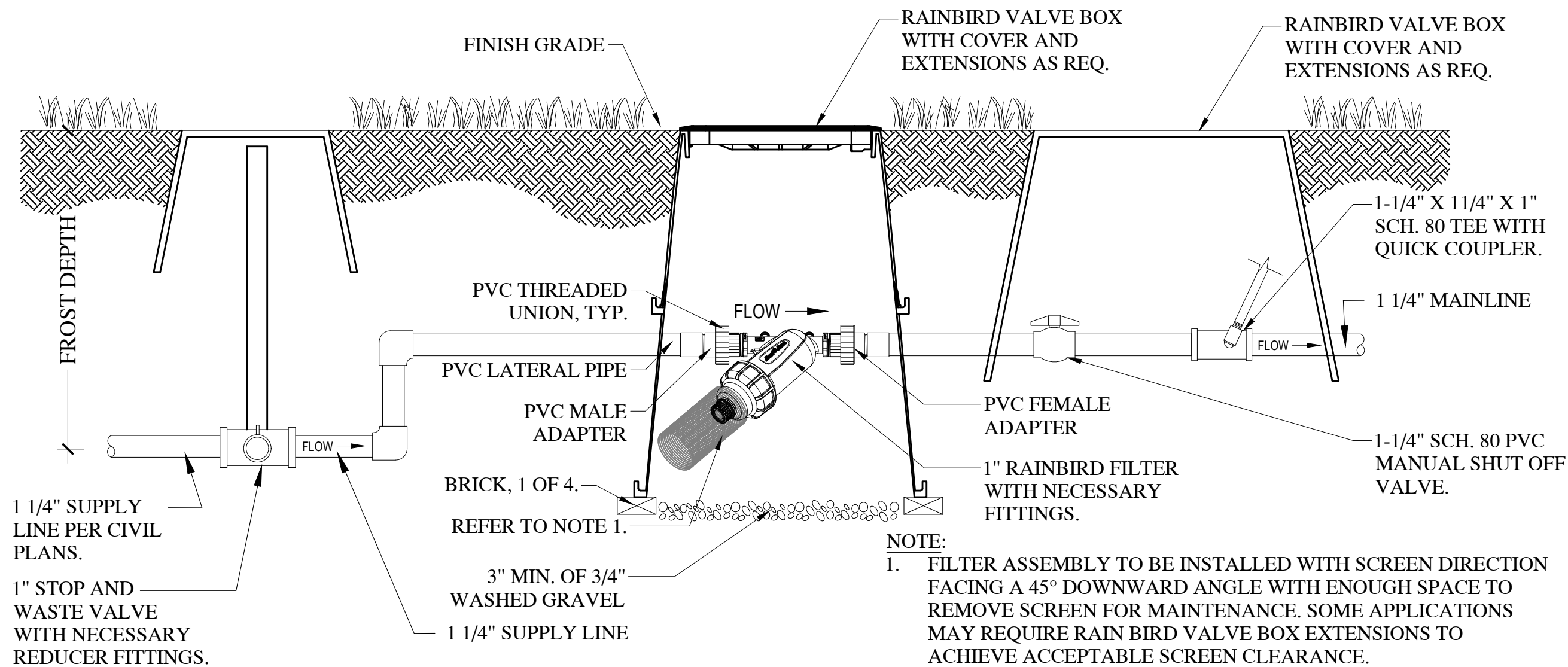


**8 EVERGREEN TREE STAKING DETAIL (PLAN VIEW)** SCALE: NTS



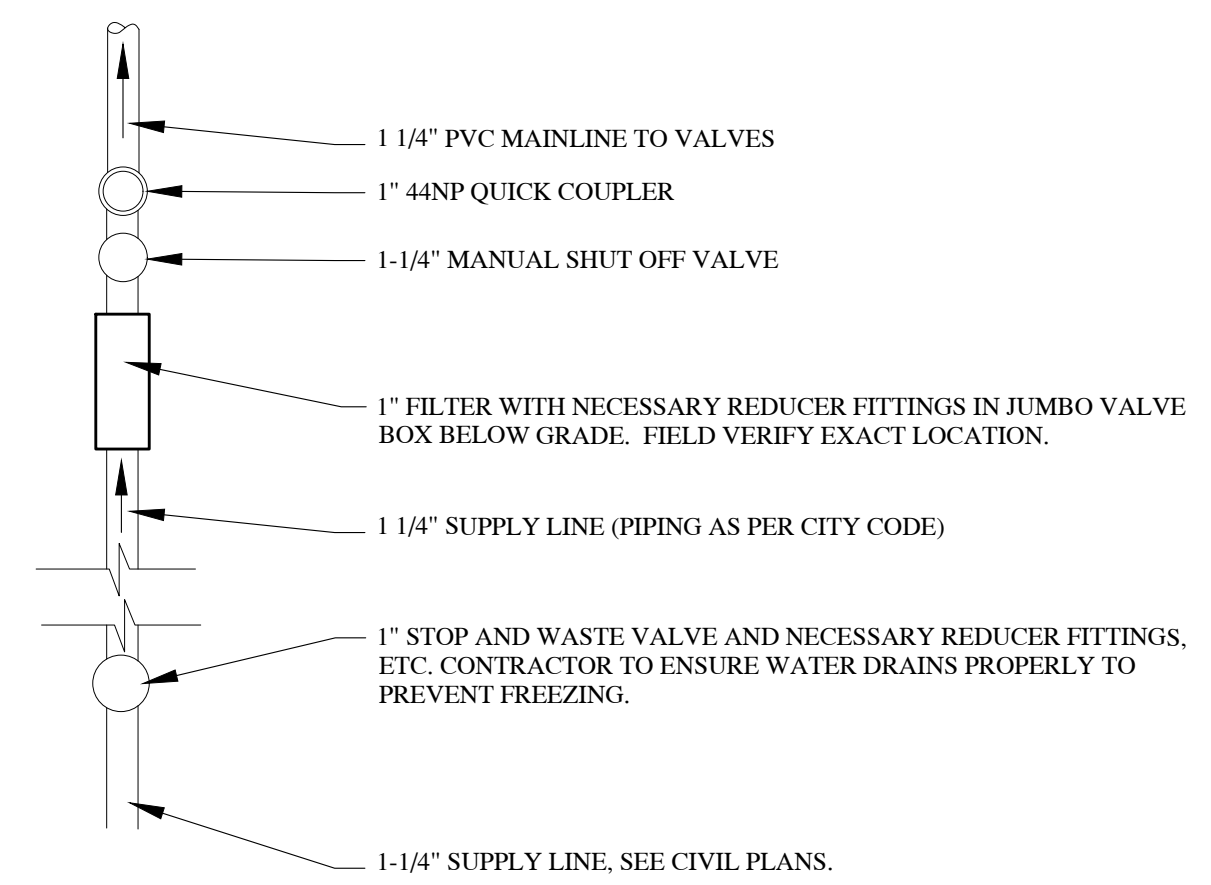
1 CONTROLLER WITH SENSOR

SCALE: NTS



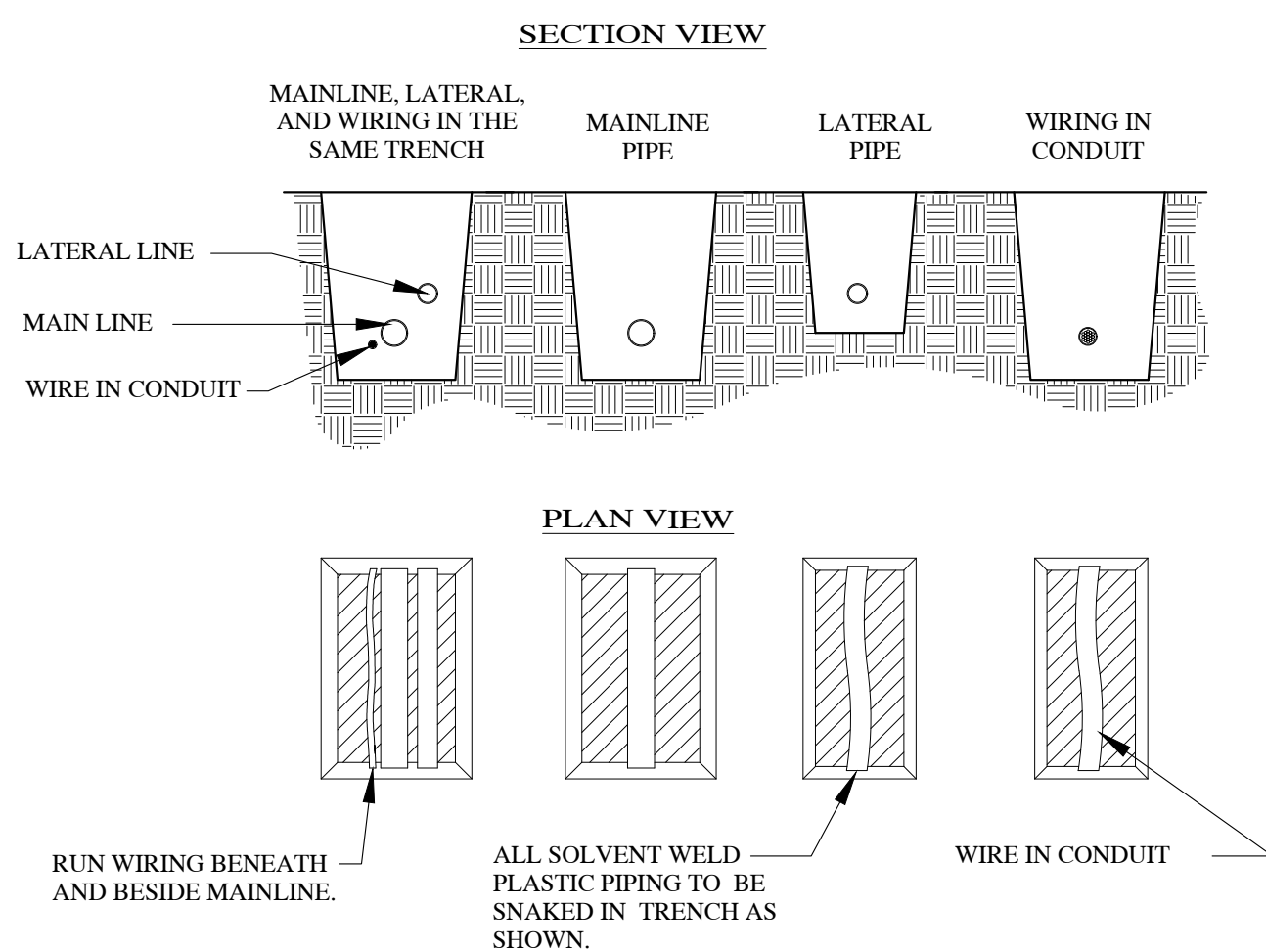
2 1" SCREEN FILTER IN BOX

SCALE: NTS



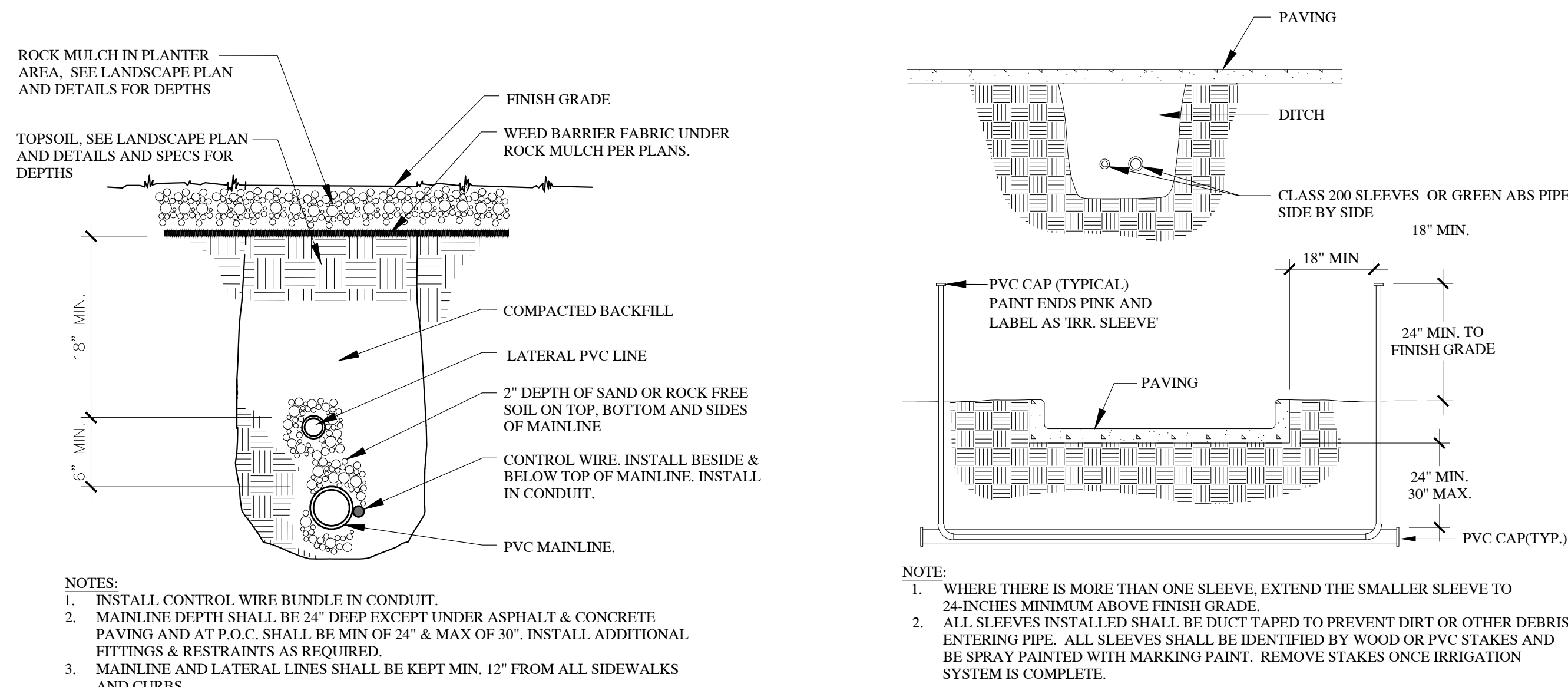
3 1-1/4" PRESSURIZED IRRIGATION P.O.C.

SCALE: NTS



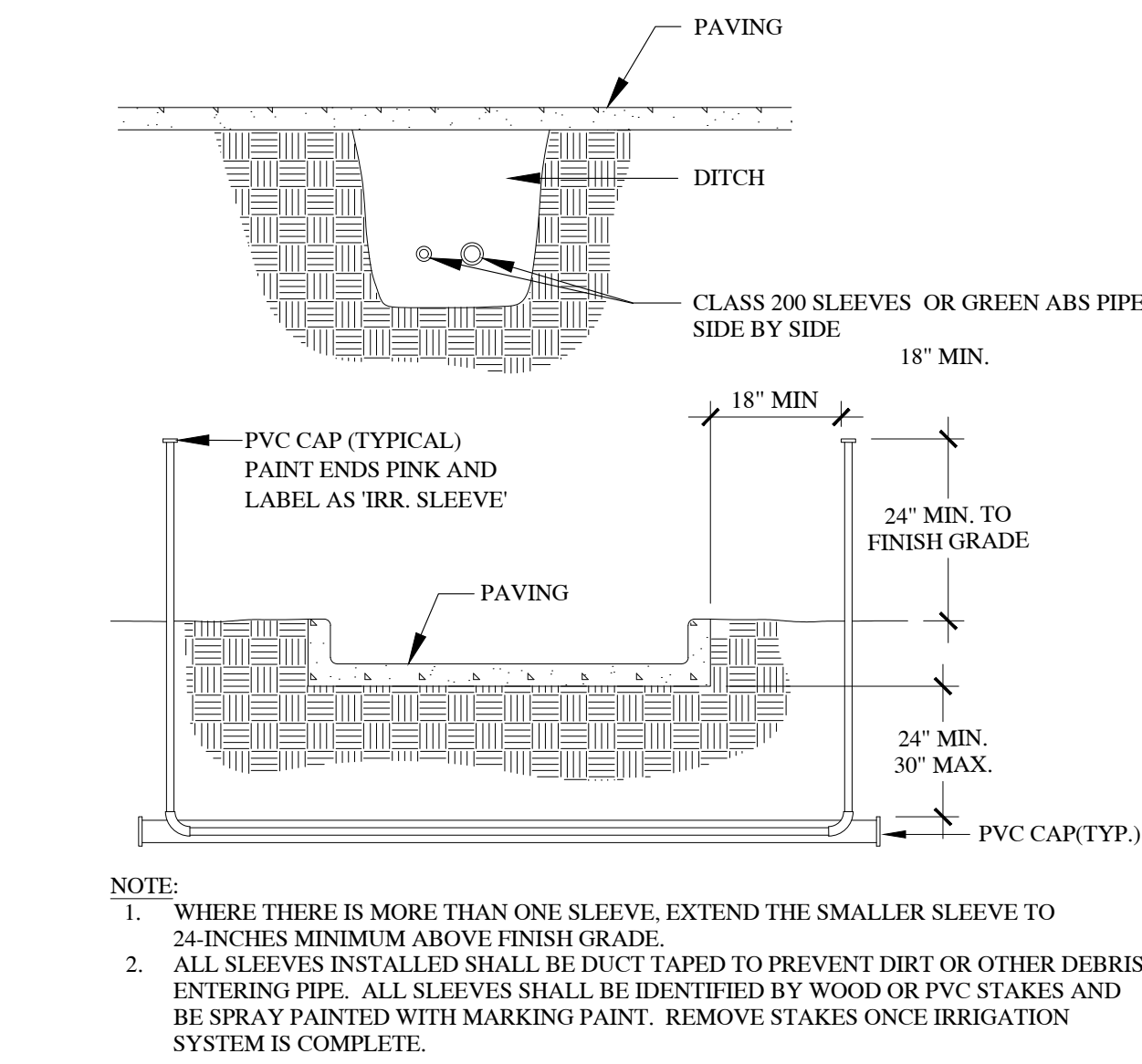
4 PIPE, WIRE, AND TRENCH

SCALE: NTS



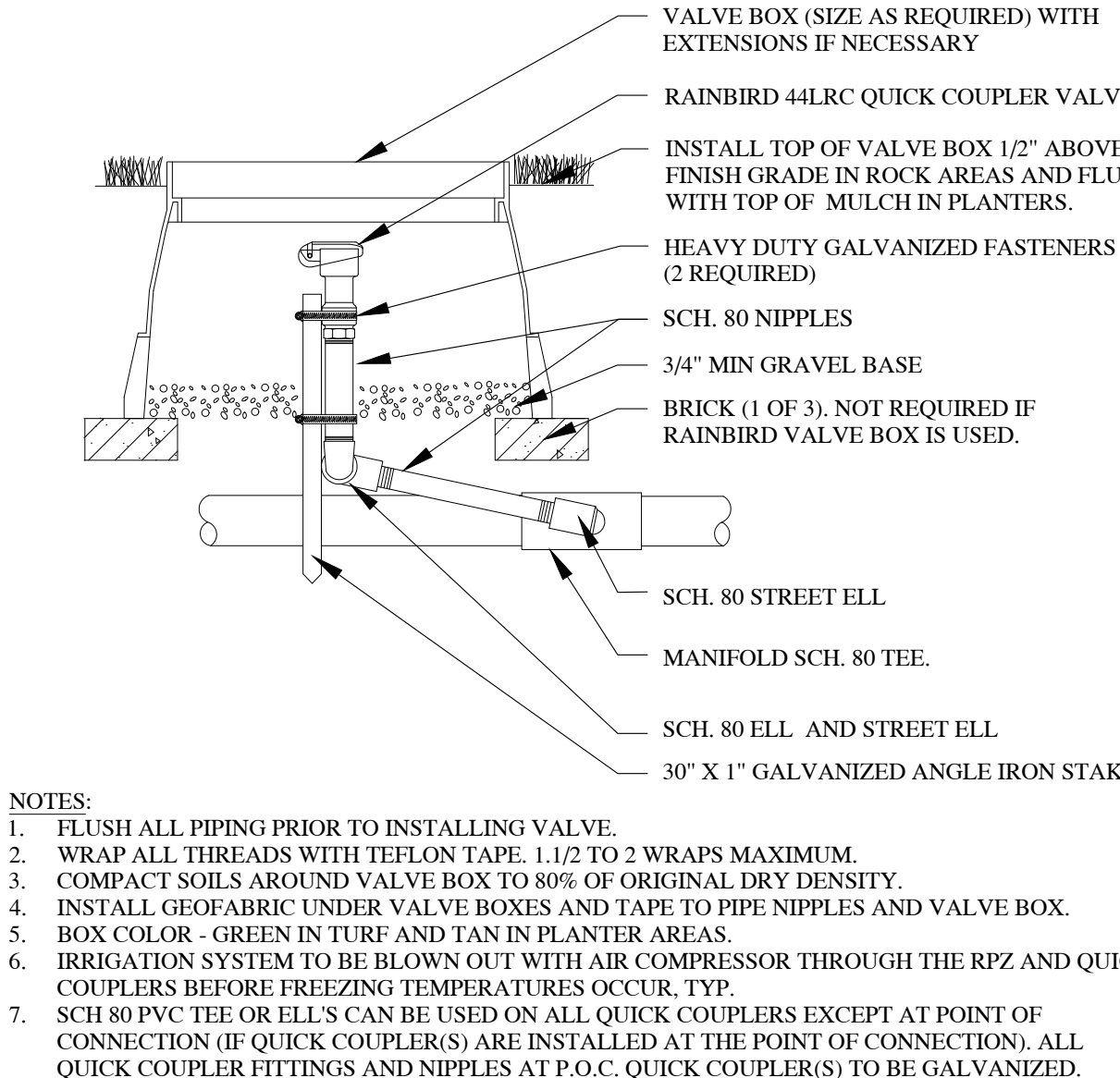
5 TRENCH SECTION

SCALE: NTS



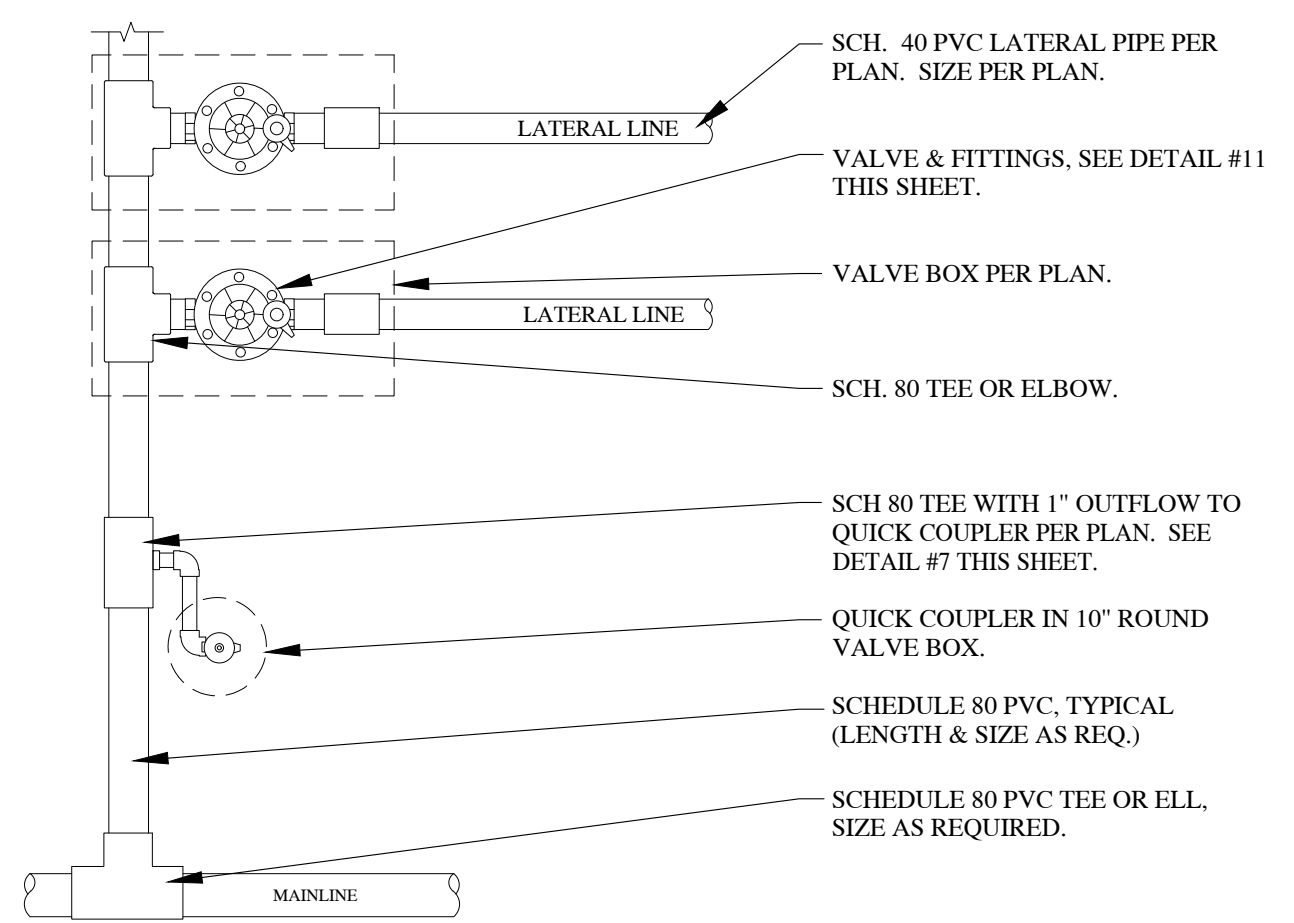
6 SLEEVING

SCALE: NTS



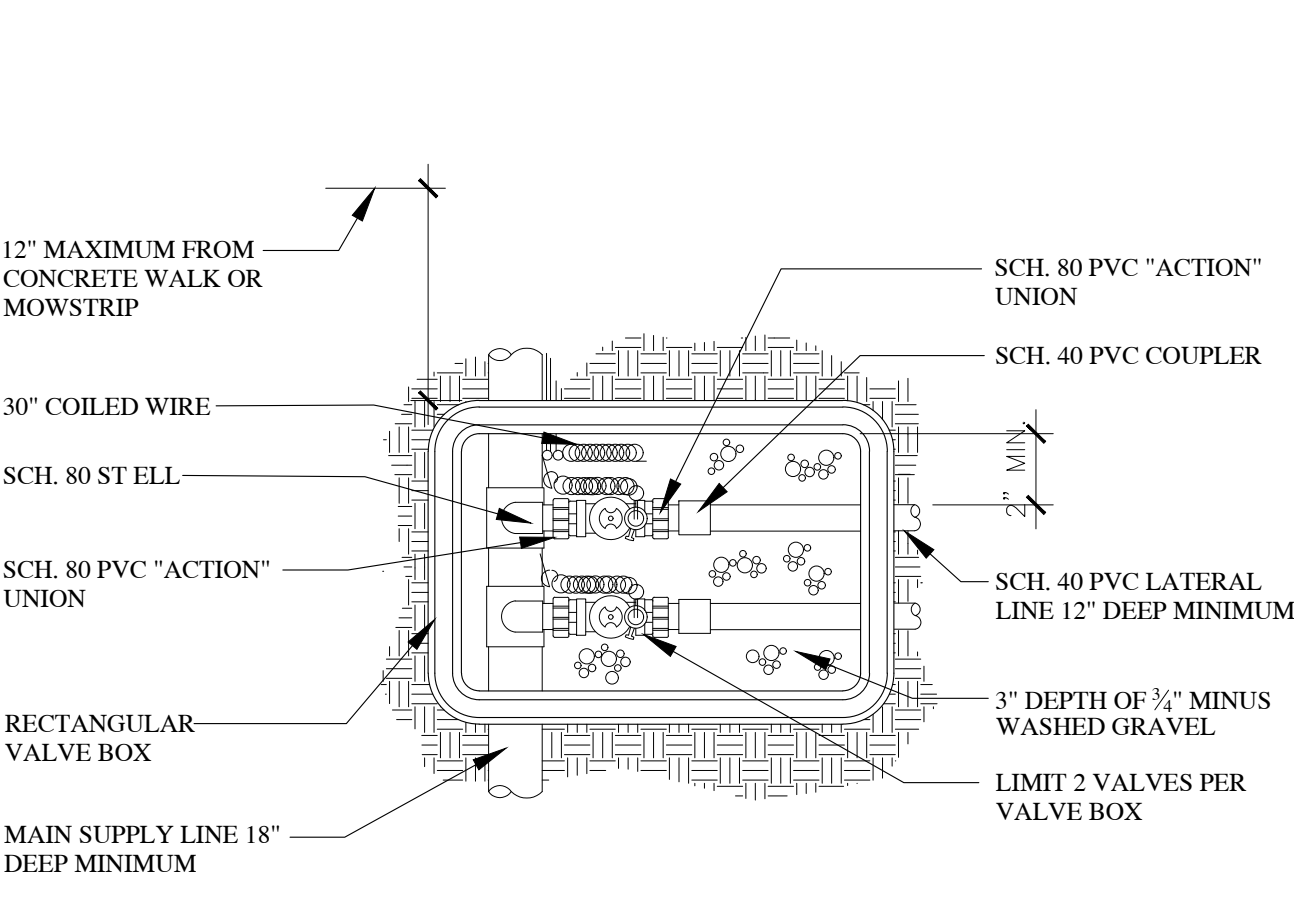
7 QUICK COUPLER VALVE

SCALE: NTS



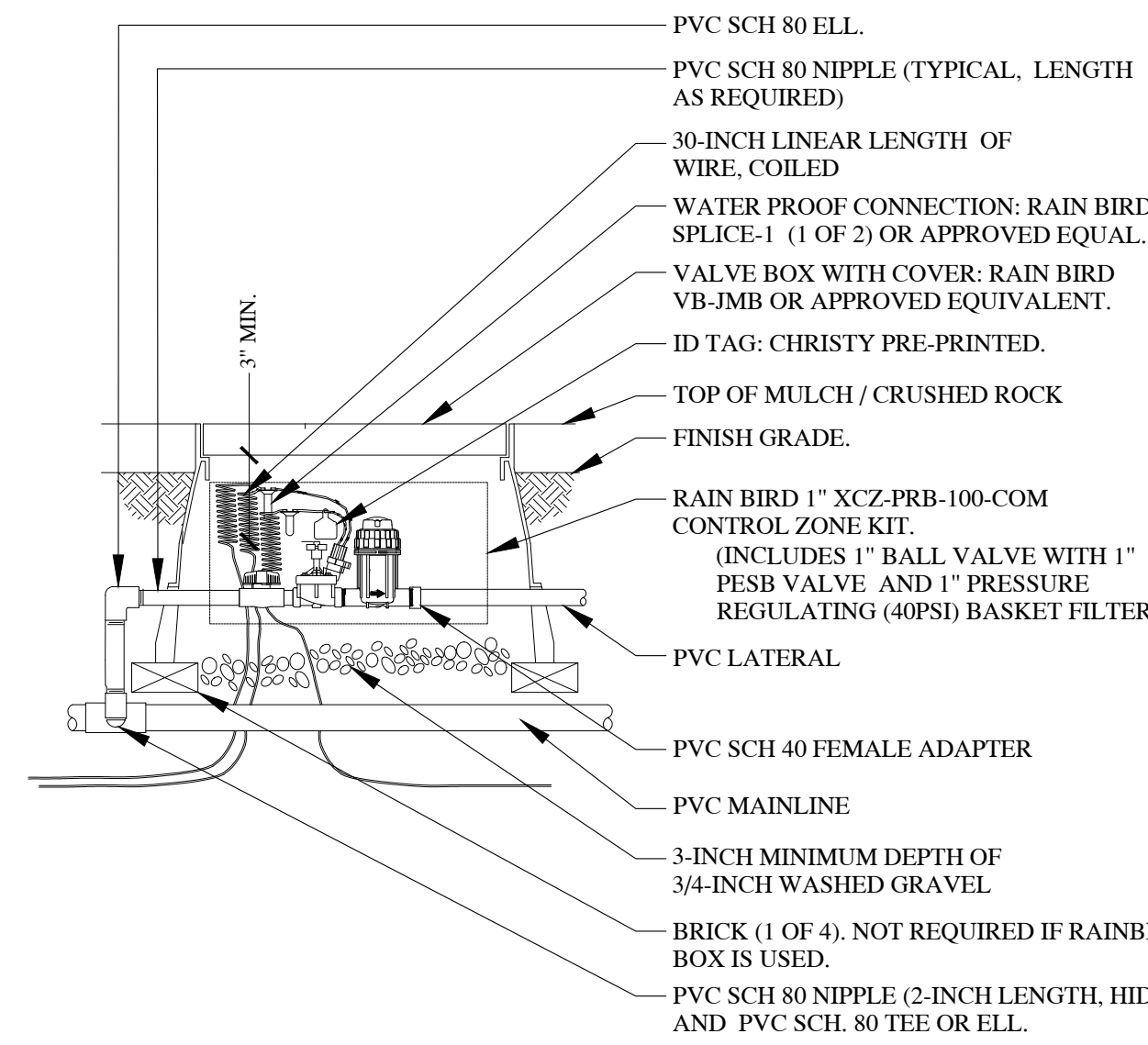
8 VALVE MANIFOLD

SCALE: NTS



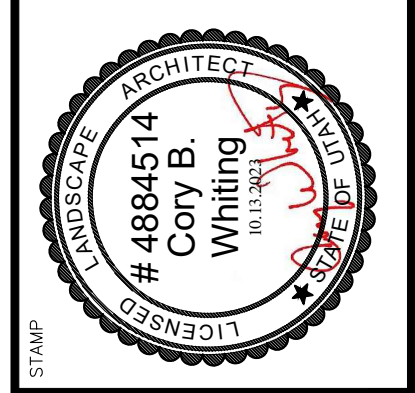
9 VALVE ASSEMBLY

SCALE: NTS



10 1" DRIP CONTROL ZONE KIT

SCALE: NTS

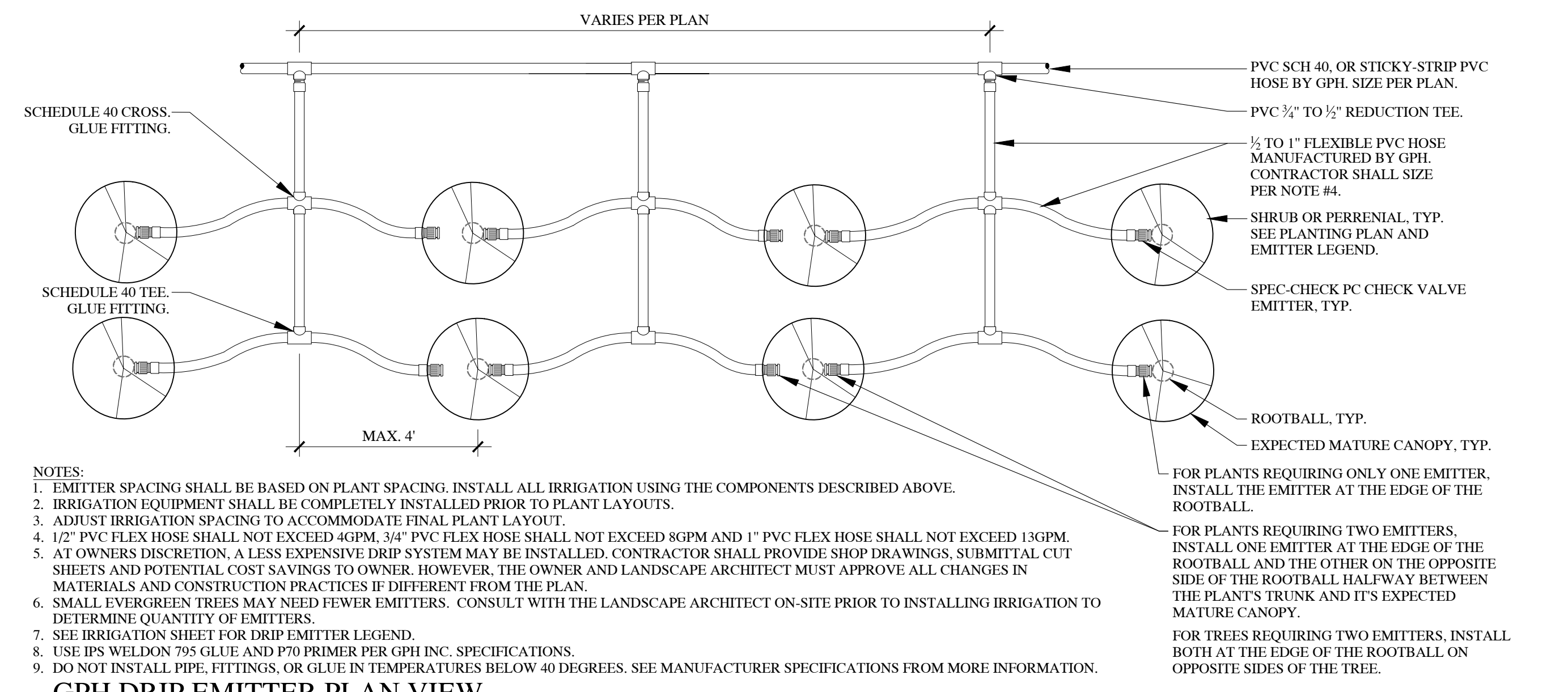


**CITADEL SANTAQUIN**  
Ridgepoint Management  
Santaquin - Utah - 84655

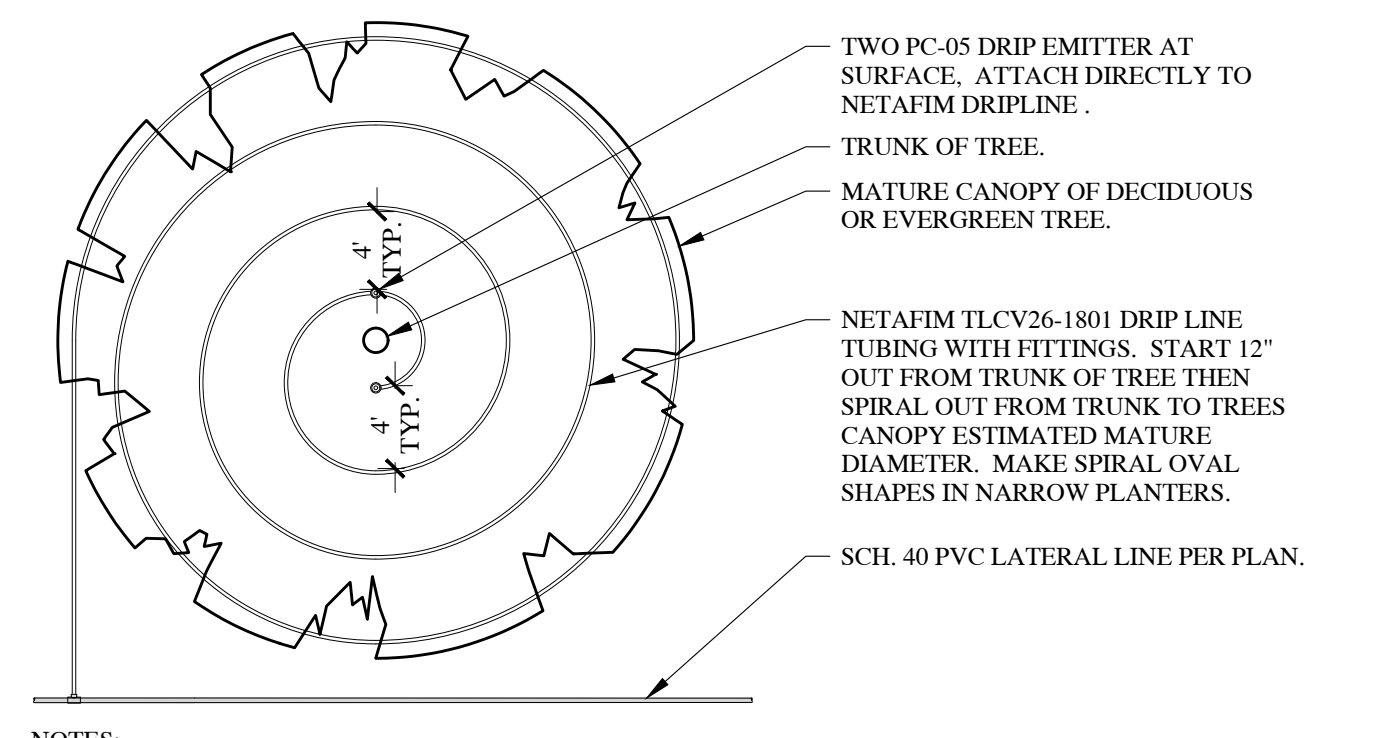
LANDSCAPE IRRIGATION DETAILS

DRAWN BY: BDJ  
CHECKED: CBW  
DATE: 10.13.2023  
REVISIONS: --  
JOB NO. 23-119

LS4.1

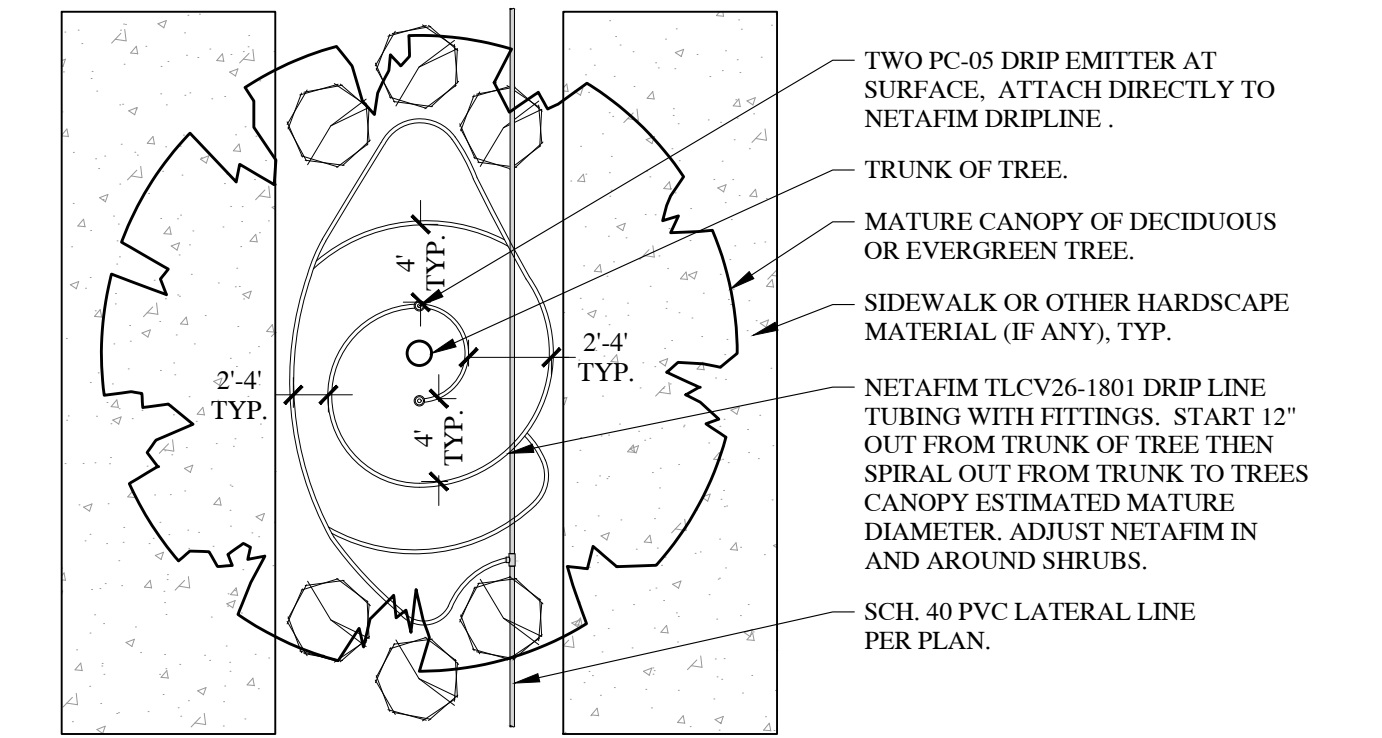


11 GPH DRIP EMITTER PLAN VIEW SCALE: NTS



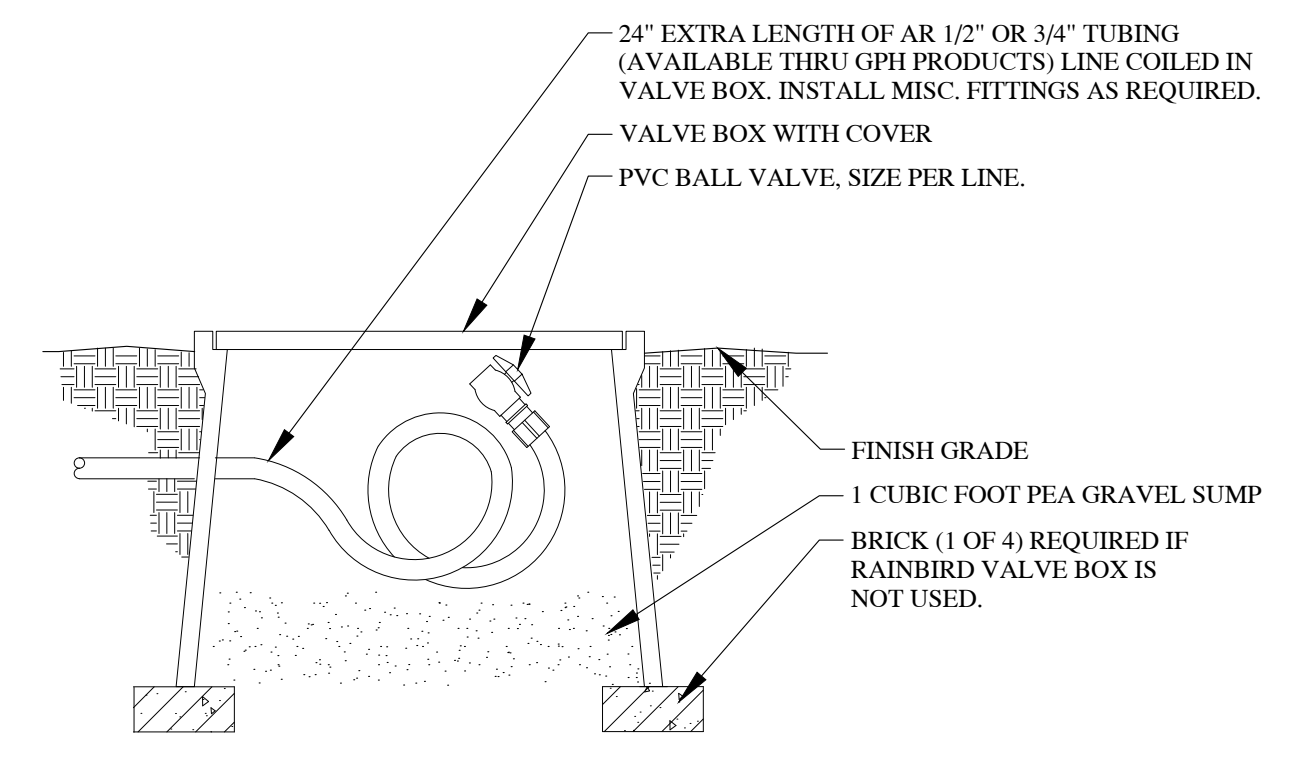
- NOTES:
- LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
  - INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN CRUSHED ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING CRUSHED ROCK.
  - THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
  - FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
  - INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

14 TREE DRIP WITHOUT PLANTS UNDER FULL CANOPY 1" = 1'-0"

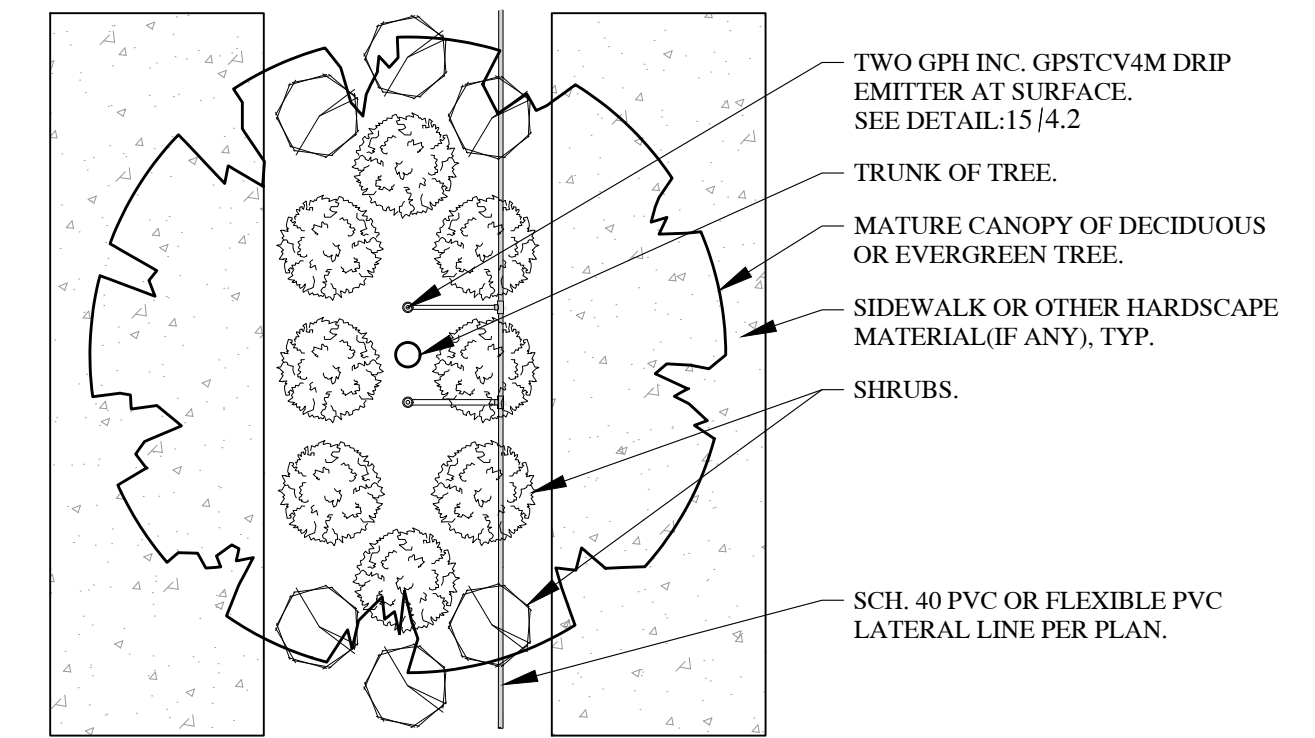


- NOTES:
- LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
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15 TREE DRIP WITH PARTIAL PLANTING UNDER CANOPY 1" = 1'-0"

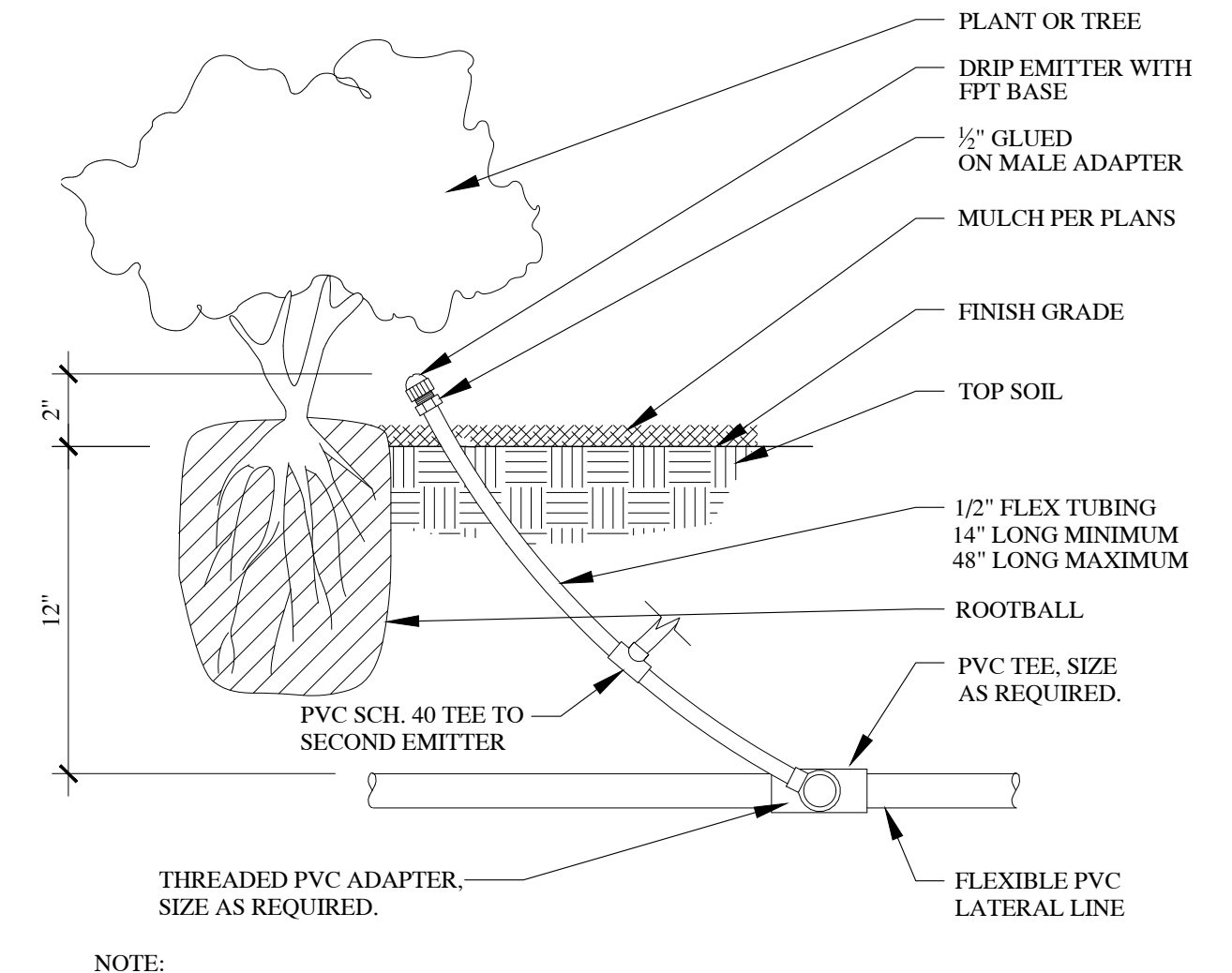


12 DRIP LINE FLUSH CAP SCALE: NTS



- NOTES:
- LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
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  - INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

16 TREE DRIP WITH FULL PLANTING UNDER CANOPY 1" = 1'-0"



13 DRIP EMITTER SCALE: NTS

**In Site DESIGN GROUP**  
 Landscape Architecture Land Planning  
 17 North 470 West American Fork, Utah 84003  
 801-796-5043 www.in-site-designgroup.com

CONSULTANTS:  
  
 #4884514  
 Cory B. Whiting  
 Mechanical Engineering  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF UTAH

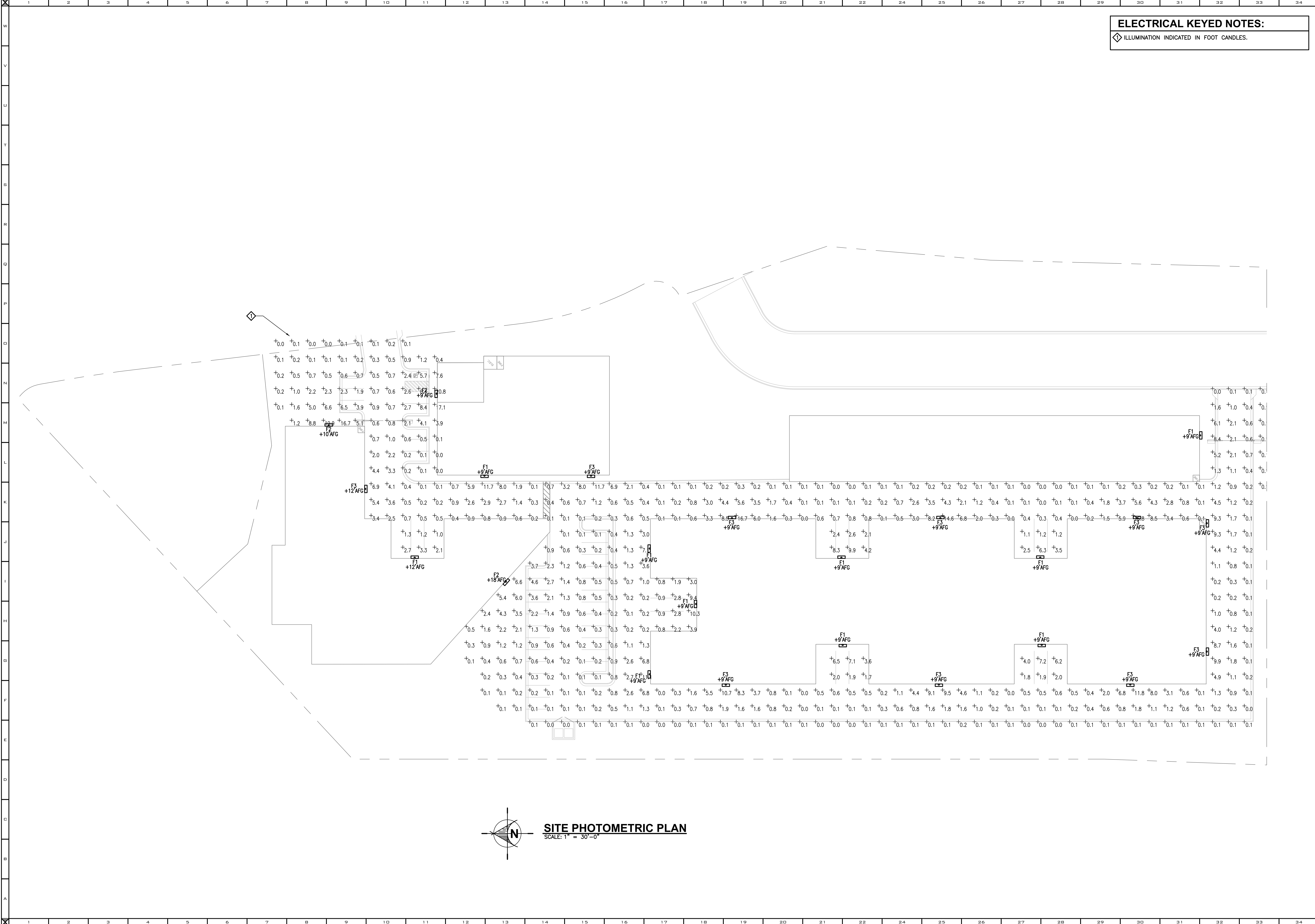
**CITADEL SANTAQUIN**  
 Ridgepoint Management  
 Santaquin - Utah - 84003

LANDSCAPE IRRIGATION DETAILS

DRAWN BY: BDJ  
 CHECKED: CBW  
 DATE: 10.13.2023  
 REVISIONS:  
 JOB NO. 23-119

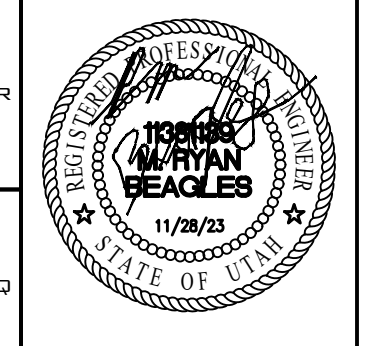
SHEET: LS4.2





**ELECTRICAL KEYED NOTES:**  
 ILLUMINATION INDICATED IN FOOT CANDLES.

THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF ROYAL ENGINEERING IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THESE DOCUMENTS. THIS AGREEMENT IS A CONDITION OF CONTRACT. SEE THE STATE OF ARIZONA PROFESSIONAL ENGINEERING ACT 1998, PAR. 11-1509, WHICH PROVIDES FOR THE ENFORCEMENT OF THIS AGREEMENT. SEE THE STATE OF ARIZONA PROFESSIONAL ENGINEERING BOARD REG. NO. 11001 FOR ADD. P.D.C.D.



REVISIONS:

**SANTAQUIN STORAGE**  
 SANTAQUIN, UT

DRAWING TITLE:  
**SITE PHOTOMETRIC PLAN**

DRAWN BY: MDB  
 CHECKED BY: JH

DATE PLOTTED:  
 08/16/2023

PROJECT #:  
 J23205.00



# GREY CLIFFS FINAL PLAT A

## SHEET INDEX

- C0 COVER
- C1.0 LAYOUT PLAN
- C2.0 UTILITY PLAN
- C3.0 - C3.4 GRADING & DRAINAGE PLANS
- C4.1 - C4.2 GREY CLIFFS PLAN & PROFILE
- C5.1 - C5.2 HIGH BLUFF PLAN & PROFILE
- C6.1 CHERRY LANE IMPROVEMENTS
- C7.1 S.R. 198 IMPROVEMENTS
- C8.1 OPEN SPACE PLAN
- C9.1 OVERALL PHASING PLAN
- DTLI-DTL4 CONSTRUCTION DETAILS

## FINAL PLAN

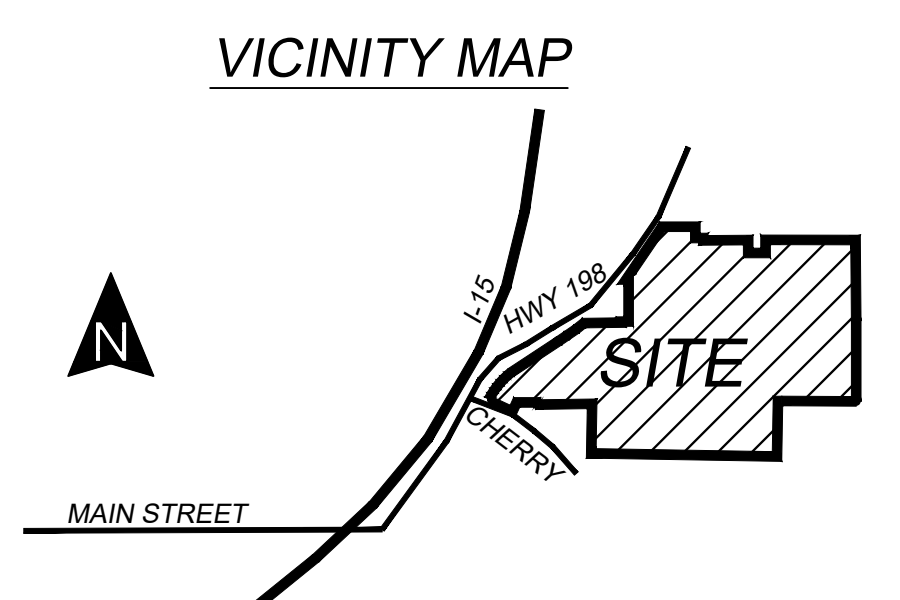
**PLAT A RESIDENTIAL CALCULATIONS**

ZONING	= R-10	
TOTAL RESIDENTIAL	= 9.85 AC	(100.00%)
TOTAL NUMBER OF LOTS	= 22 LOTS	
TOTAL ACREAGE OF LOTS	= 5.83 AC	( 59.19%)
TOTAL PUBLIC ROW DEDICATIONS	= 3.05 AC	( 30.96%)
TOTAL OPEN SPACE	= 0.97 AC	( 9.85%)
DENSITY	= 2.23 DU/AC	

**PLAT A COMMERCIAL CALCULATIONS**

ZONING	= C-1	
TOTAL COMMERCIAL	= 6.71 AC	(100.00%)
TOTAL NUMBER OF LOTS	= 1 LOTS	
TOTAL ACREAGE OF LOTS	= 6.62 AC	( 98.61%)
TOTAL PUBLIC ROW DEDICATIONS	= 0.09 AC	( 1.39%)
TOTAL OPEN SPACE	= 0.00 AC	( 0.00%)
DENSITY	= 0.15 DU/AC	

## CITY APPROVALS / COMMENTS



ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

**UDOT SR 198**  
WRITTEN APPROVAL FROM UDOT IS REQUIRED BEFORE FINAL PLAT APPROVAL FOR ALL ROADWAYS CONNECTING TO SR-198 AND ALL UTILITIES TO BE CONSTRUCTED WITHIN SR-198.

THE PROJECT HAS BEEN DESIGNED TO MEET AT UDOT INTERSECTION SPACING REQUIREMENTS AND UTILITY LOCATIONS.

**WILDLAND / URBAN INTERFACE**  
THIS DEVELOPMENT IS SUBJECT TO THE REQUIREMENTS OF THE WILDLAND / URBAN INTERFACE. DEVELOPER TO GAIN APPROVAL OF A FIRE MITIGATION PLAN FROM SANTAQUIN CITY FIRE DEPARTMENT. THE REQUIREMENTS OF THIS FIRE MITIGATION PLAN WILL BE NOTED ON ALL FINAL PLATS OF THE DEVELOPMENT AND DETAILED IN THE DEVELOPMENT AGREEMENT.

DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

### GREY CLIFFS LLC.

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

BERG CIVIL ENGINEERING  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
cell: (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
1			
2			
3			
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ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

### FINAL PLAT "A" CONSTRUCTION DRAWINGS

SHEET NAME	SHEET NUMBER
COVER	C0



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	20.00	32.33	92°37'07"	28.92	N18°54'01"W
C2	1318.04	550.47	23°55'45"	546.47	N39°22'24"E
C3	15.00	23.56	90°00'00"	21.21	S11°40'00"W
C4	384.50	242.84	36°11'12"	238.82	S15°14'24"E
C5	269.00	33.73	07°11'03"	33.71	S00°44'20"E
C6	15.00	22.94	87°36'57"	20.77	N70°58'55"E
C7	372.00	306.81	47°15'18"	298.19	N50°48'07"E
C8	15.00	23.56	90°00'00"	21.21	N29°25'46"E
C9	331.00	106.44	18°25'26"	105.98	N06°21'31"W
C10	322.50	203.68	36°11'12"	200.31	N15°14'24"W
C11	15.00	23.56	90°00'00"	21.21	N78°20'00"W
C12	300.00	96.47	18°25'26"	96.05	S06°21'31"E
C13	150.00	194.86	75°25'46"	181.44	S52°47'07"E
C14	15.00	24.19	92°23'03"	21.65	N19°01'04"W
C15	310.00	255.67	47°15'18"	248.49	N50°48'07"E
C16	310.00	4.51	00°49'58"	4.51	N27°35'27"E
C17	310.00	119.66	22°06'59"	118.92	N39°03'56"E
C18	310.00	109.42	20°13'28"	108.86	N60°14'10"E
C19	310.00	22.08	04°04'52"	22.08	N72°23'20"E
C20	20.00	31.42	90°00'00"	28.28	S60°34'14"E
C21	177.50	230.58	74°25'46"	214.71	S52°47'07"E
C22	177.50	60.32	19°28'12"	60.03	S25°18'20"E
C23	177.50	80.69	26°02'50"	80.00	S48°03'51"E
C24	177.50	80.69	26°02'50"	80.00	S74°06'41"E
C25	177.50	8.88	02°51'54"	8.88	S88°34'03"E
C26	122.50	159.13	74°25'46"	148.18	N52°47'07"W
C27	20.00	31.42	90°00'00"	28.28	N29°25'46"E
C28	15.00	23.56	90°00'00"	21.21	N60°34'14"W
C29	269.00	86.50	18°25'26"	86.13	N06°21'31"W
C30	269.00	52.77	11°14'23"	52.69	N09°57'03"W
C31	353.50	223.26	36°11'12"	219.57	S15°14'24"E
C32	341.00	281.24	47°15'18"	273.34	N50°48'07"E
C33	48.00	234.19	279°32'37"	62.00	S15°34'14"E
C34	48.00	239.00	285°17'02"	58.25	S19°14'10"E



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

# GREY CLIFFS LLC.

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

SCALE: 1" = 60'

BERG CIVIL ENGINEERING  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
cell: (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
1		
2		
3		
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ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

## FINAL PLAT "A" CONSTRUCTION DRAWINGS

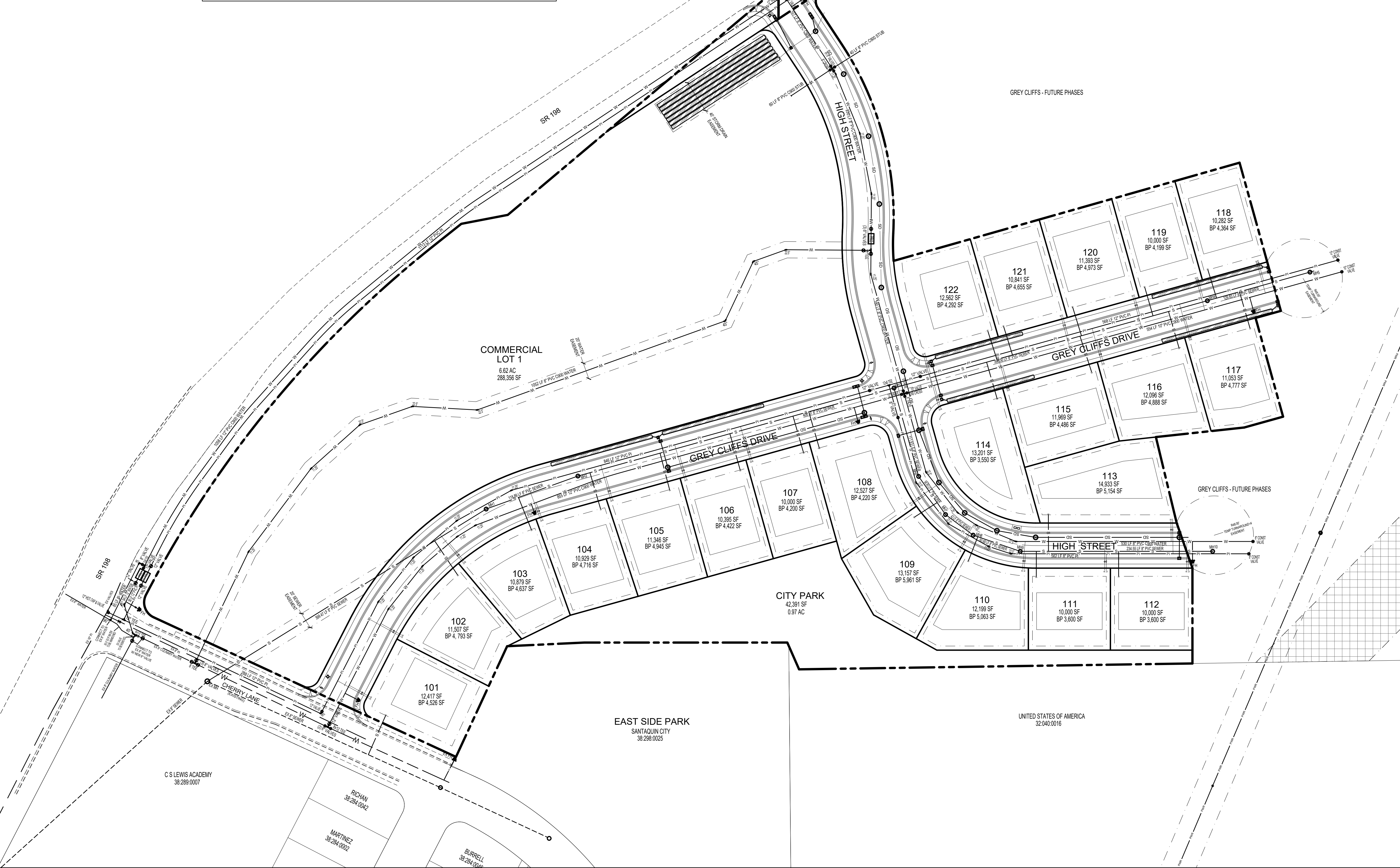
SHEET NAME	SHEET NUMBER
LAYOUT & SIGNAGE	C1.0

ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

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**LEGEND**

	PROPERTY LINE		CULINARY PVC C900 WATER
	LOT LINE		PRESSURIZED PVC IRRIG.
	EASEMENT LINE		SANITARY PVC SEWER
	PROPOSED CURB		ADS STORM DRAIN
	5 FOOT CONTOUR		STREET LIGHT
	FIRE HYDRANT		STOP SIGN / STREET SIGN



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

SCALE: 1" = 60'

**BERG CIVIL ENGINEERING**

1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
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REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
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ACTION	DATE
FINAL	12-05-2023

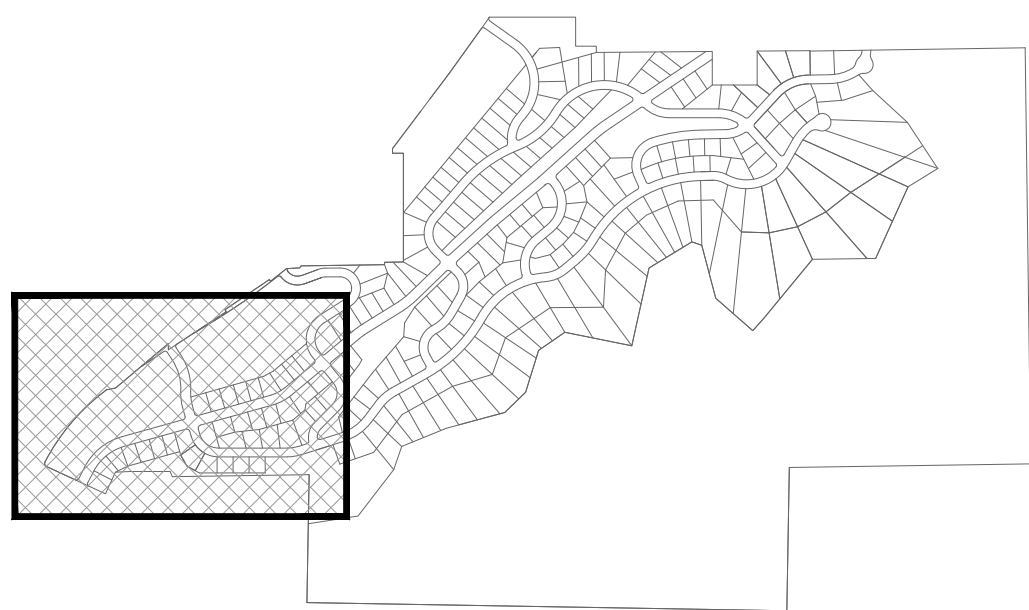
PROJECT

DESCRIPTION

**FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS**

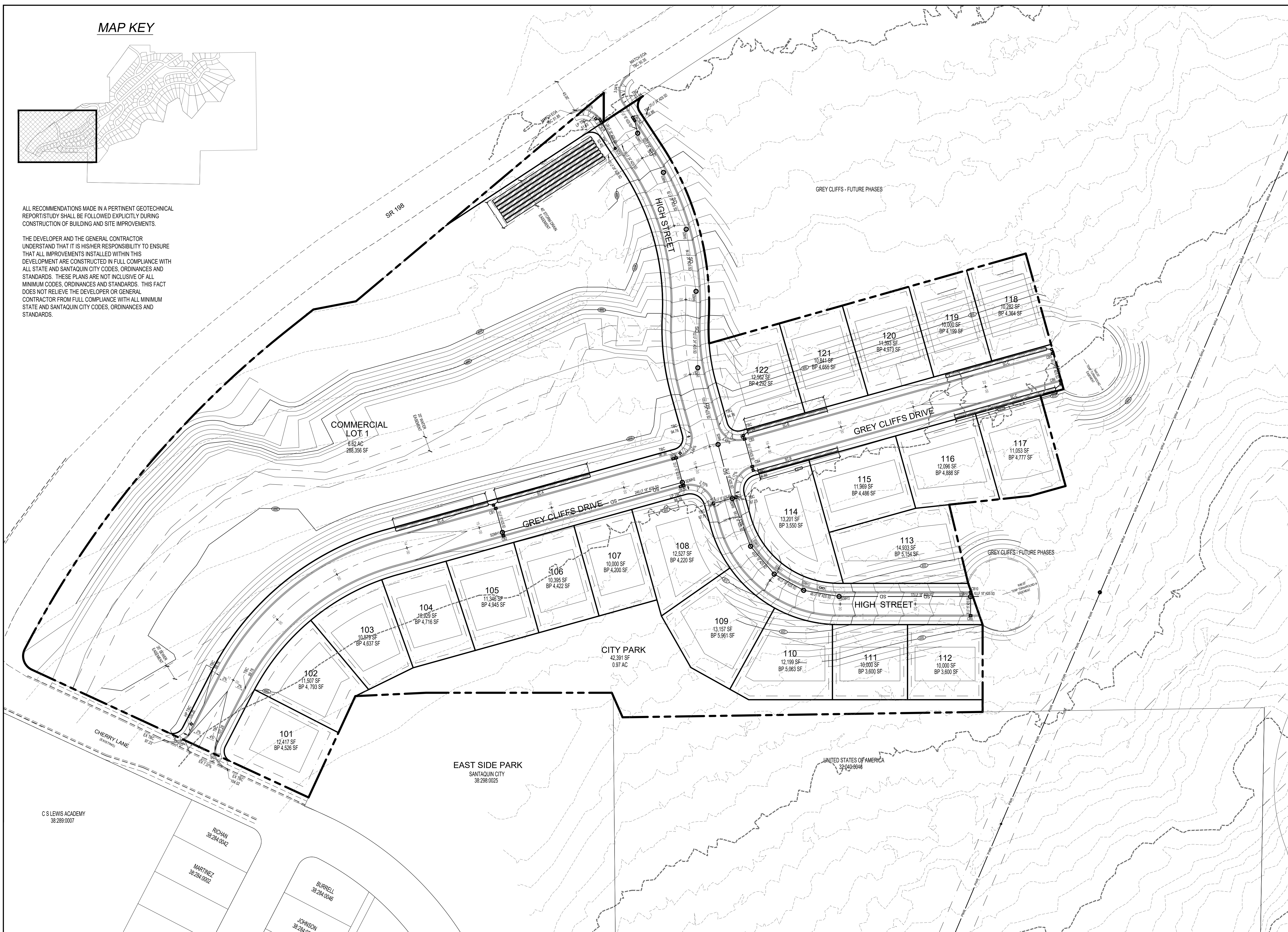
SHEET NAME	SHEET NUMBER
UTILITY	<b>C2.0</b>

MAP KEY



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DEVELOPMENT

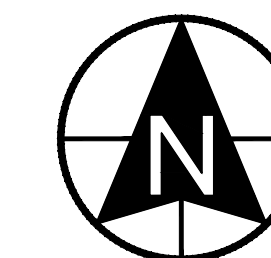


700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LINDON, UT 84042  
801.785.8458



0 30 60 120 180  
SCALE: 1"= 60'



1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
cell: (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
1			
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ACTION	DATE
FINAL	12-05-2023

PROJECT



DESCRIPTION

**FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS**

SHEET NAME SHEET NUMBER

GRADING **C3.0**

100-year storm - STORM CHAMBERS IN GREY CLIFF DR  
Plat A

Storm drain calculations were performed using the rational method.



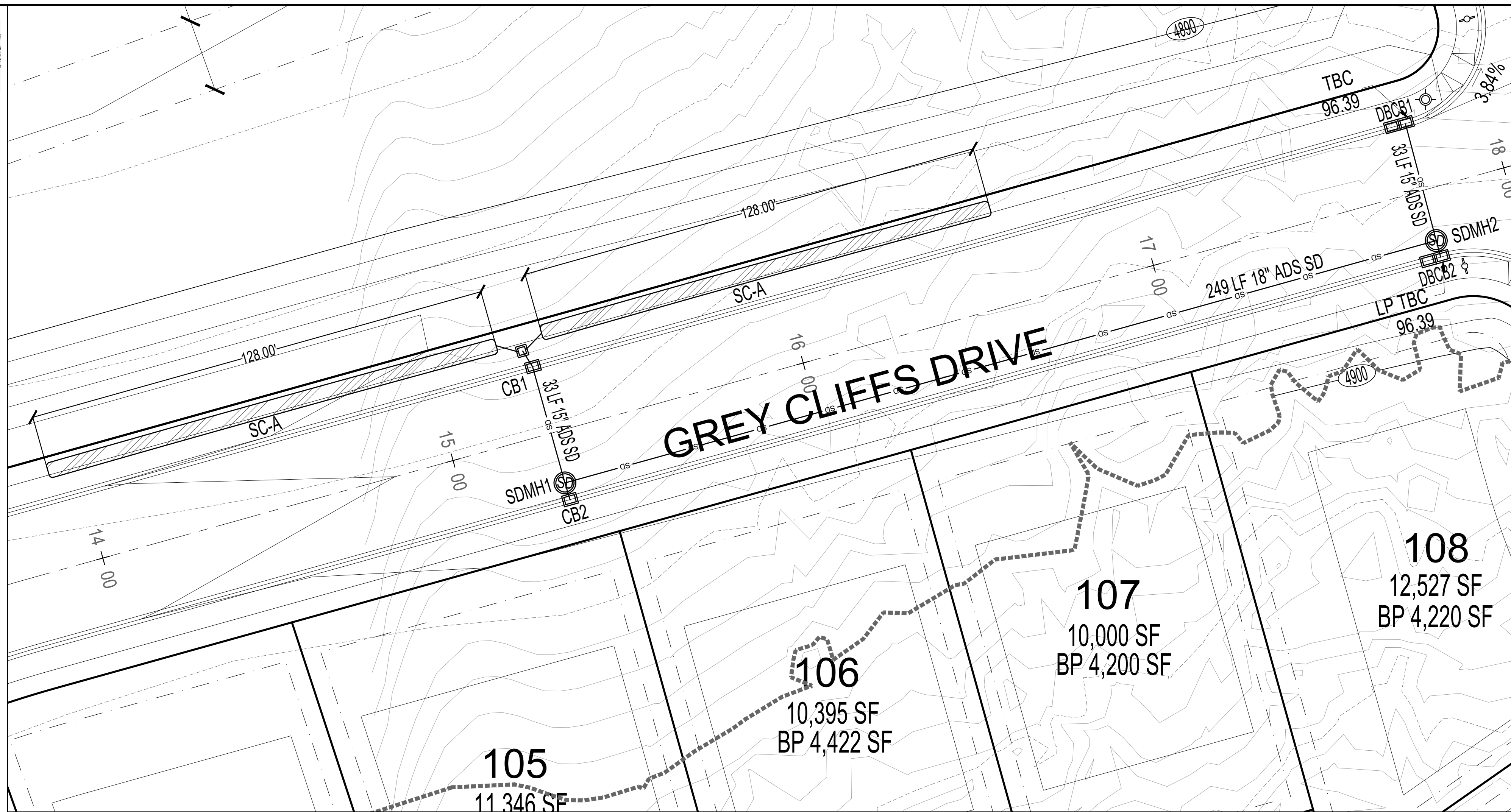
12/4/2023

Hydrologic Calculations CA CALCULATION table with columns C, Area (ft²), C \* A and runoff coefficients.

Retention Pond Volume calculations table with columns Lapsed Time, Rainfall intensity, Total Rainfall, Release Volume, Required Storage.

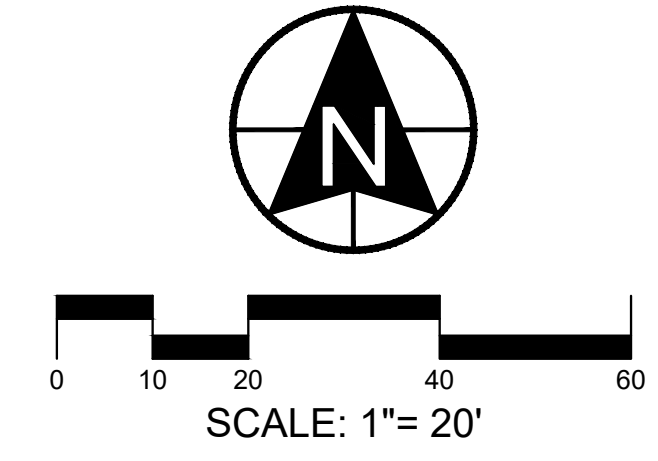
Required Pond Volume = 2580 ft³ or 0.059 acre-ft summary table.

Notes: A, B, & C are based upon Table 11-12-3-C of the Santaquin City Development Code...



DEVELOPMENT section with GreyCliffs Estates logo and address: 700 N SR198, SANTAQUIN, UTAH COUNTY, UT.

DEVELOPER section with GREY CLIFFS LLC. logo and address: 935 W. CENTER, LINDON, UT 84042, 801.785.8458.



Berg CIVIL ENGINEERING logo and contact information: 1018 N Deer Crest Lane, Alpine, UT, 84004.

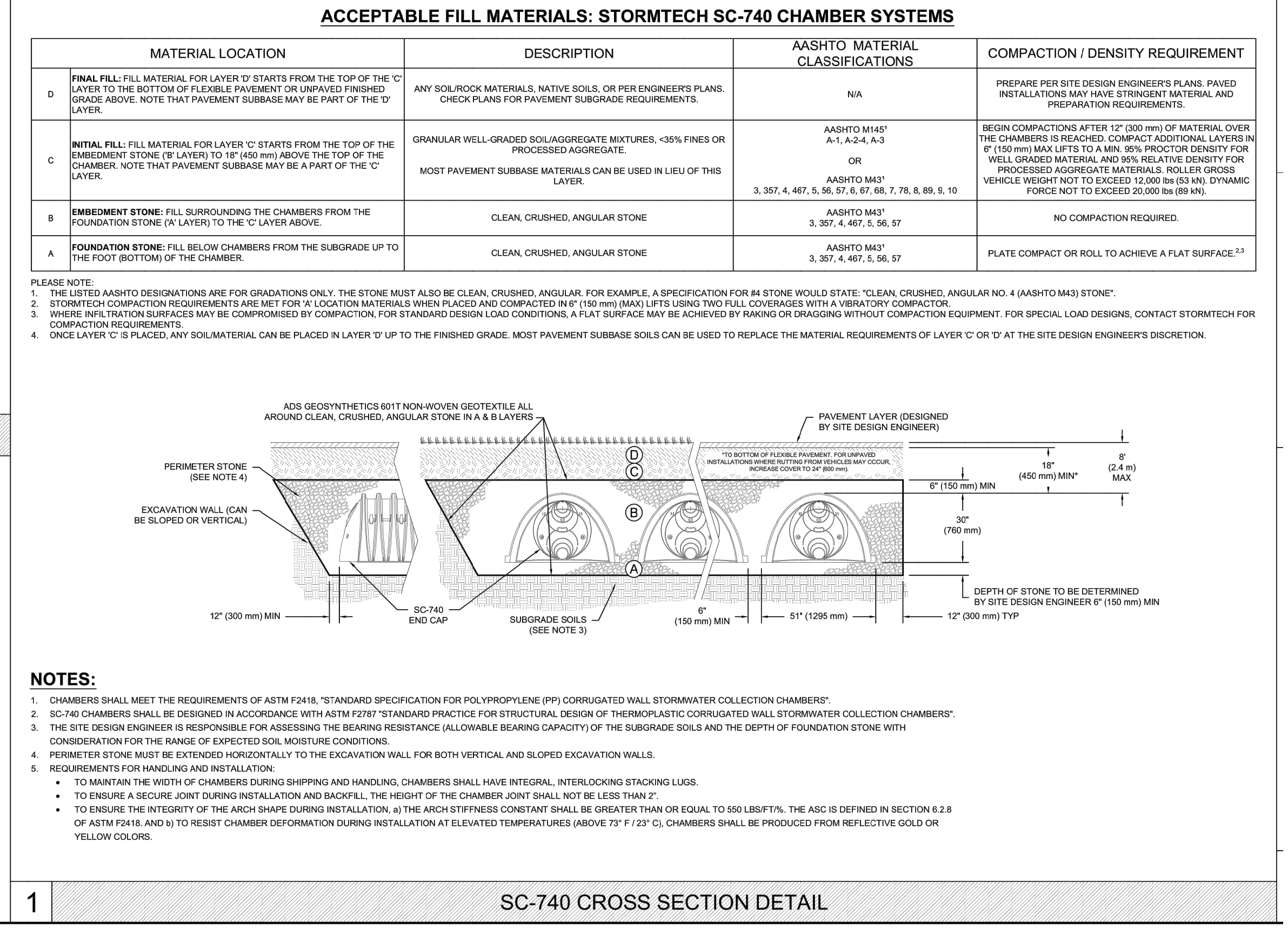
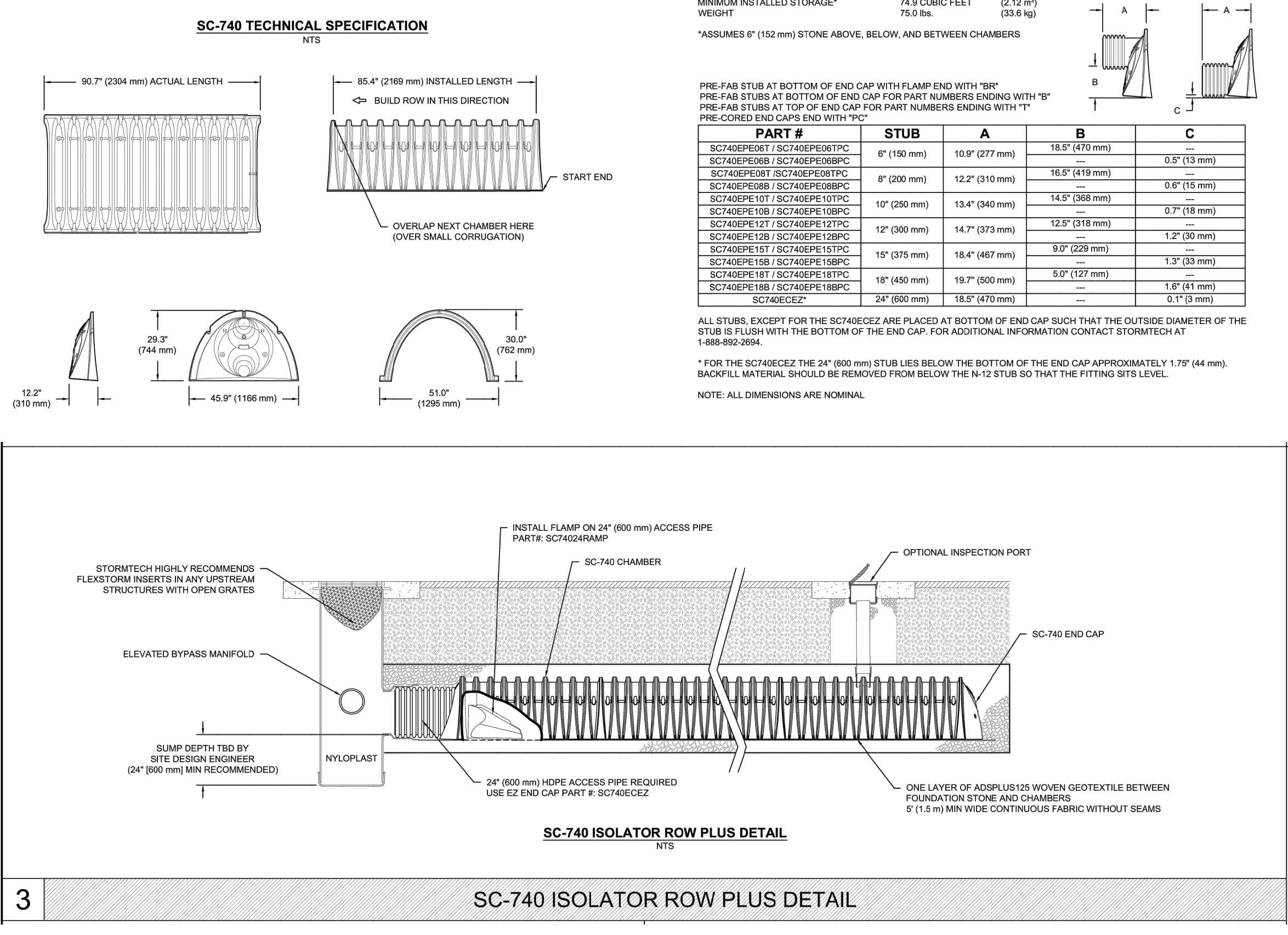
REVISIONS and SEAL table with a professional engineer seal for R. B. Berg, State of Utah, No. 343602.

ACTION and DATE table with entries for FINAL and 12-05-2023.

PROJECT section with GreyCliffs Estates logo.

DESCRIPTION section with text: FINAL PLAT "A" CONSTRUCTION DRAWINGS.

SHEET NAME and SHEET NUMBER table with entries: STORM CHAMBER A and C3.1.



**GREY CLIFFS - SUBAREA B**  
100-year storm - STORM CHAMBERS IN GREY CLIFF DR  
Plat A



12/4/2023

Storm drain calculations were performed using the rational method.

**Hydrologic Calculations**  
CA CALCULATION

Table with 4 columns: C, Area (ft²), C\*A, and Runoff Coefficients (Q) values. Includes sub-tables for Contributing Acres and Q<sub>allow</sub>.

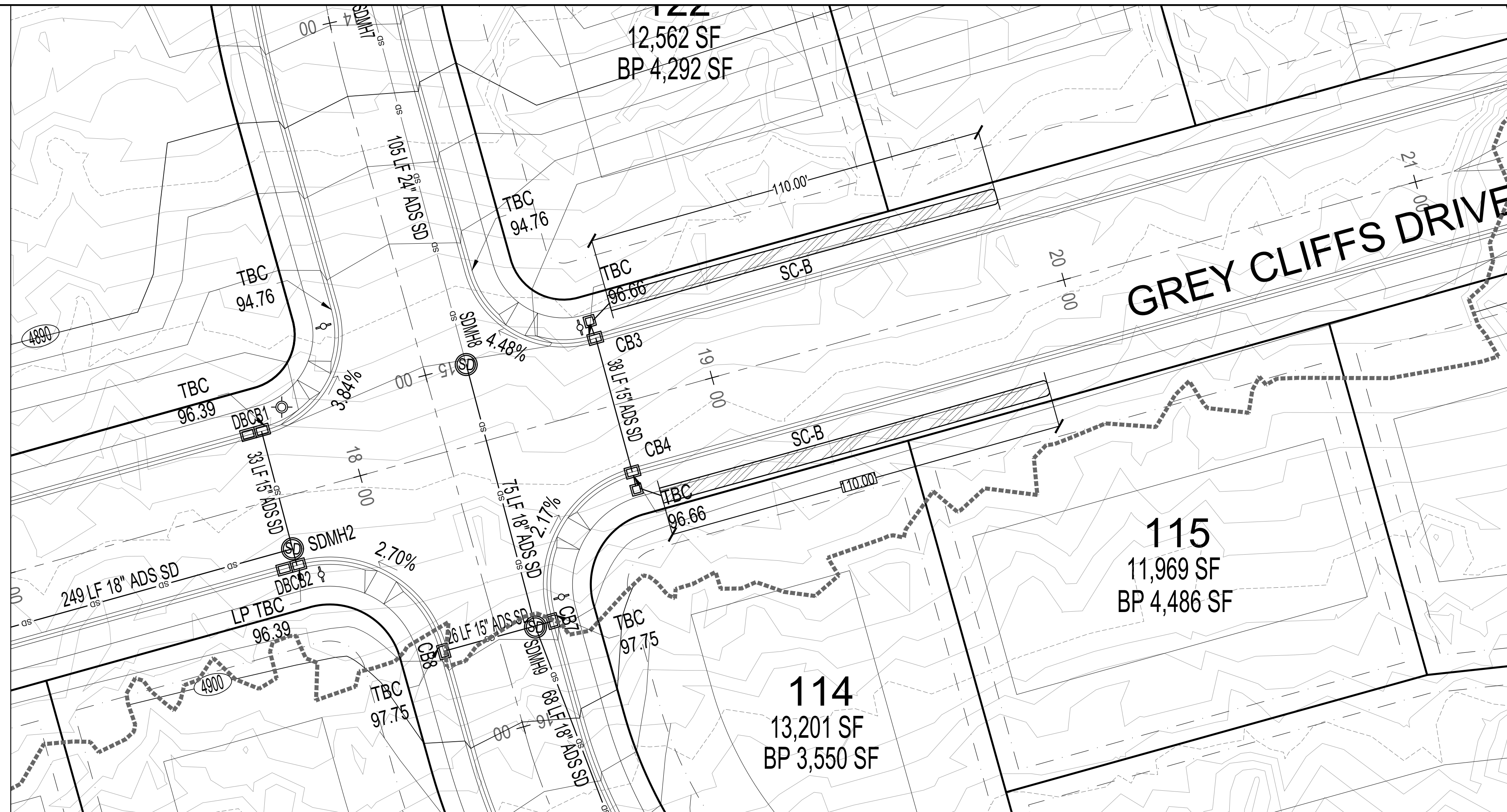
Runoff Coefficients (Q) values have been taken from Table 11 2019 Santaquin Storm Drain Master Plan \*\*

**Retention Pond Volume calculations**

Table with 6 columns: Lapsed Time (min.), Rainfall intensity (in/hr), Total Rainfall (in), Rainfall Volume (ft³), Release Volume (ft³), and Required Storage (ft³). Rows A-F show calculations for various lapsed times from 5 to 1440 minutes.

Required Pond Volume = 2227 ft³ or 0.051 acre-ft  
StormTech Chambers (vol/unit) = 75 ft³  
# of StormTech Chambers Req'd = 30  
Length of Storage (dual row) = 106 lf  
Perc Area of Storage = 2399 sf

Notes:  
A, B, & C are based upon Table 11-12.3-C of the Santaquin City Development Code  
D = C / (12 inches/foot) x total acreage of site x 43,580 s/acre x run-off coefficient, where Q=CIA and V=QIA  
E = an allowable release rate (cfs/acre) x total acreage of site x A x 60 sec.  
F = D - E to determine storage volume



**NOMINAL CHAMBER SPECIFICATIONS**

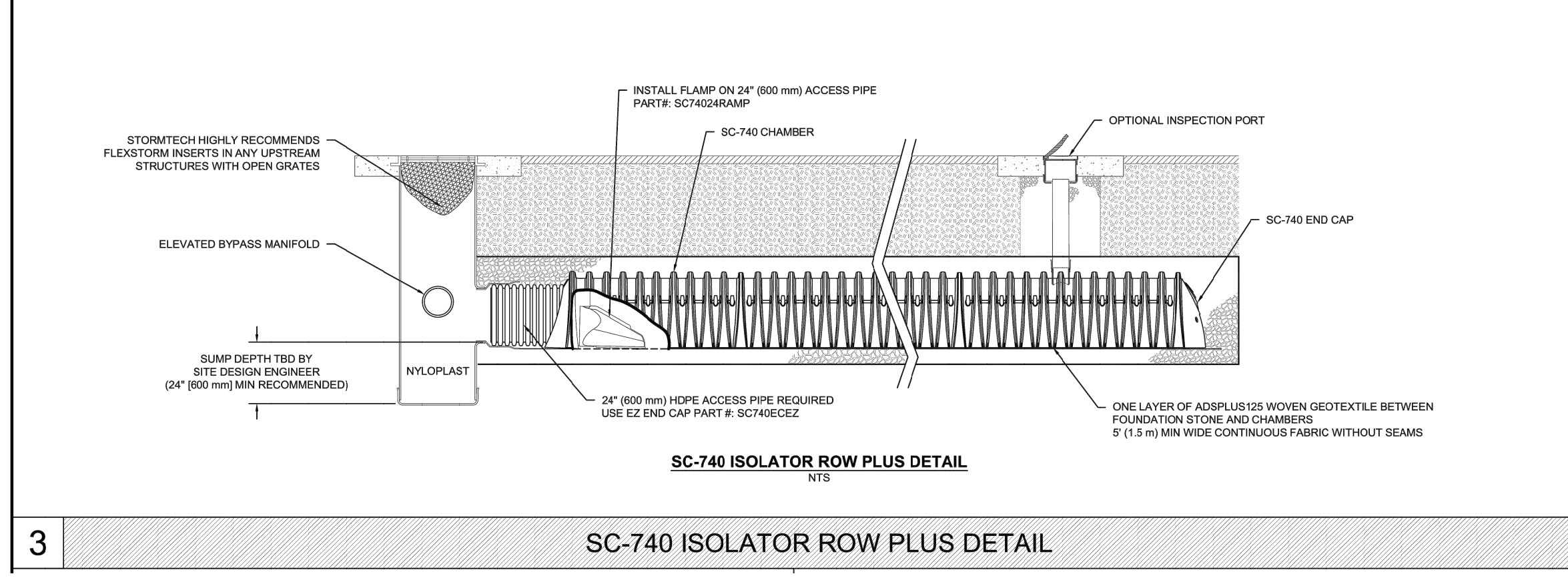
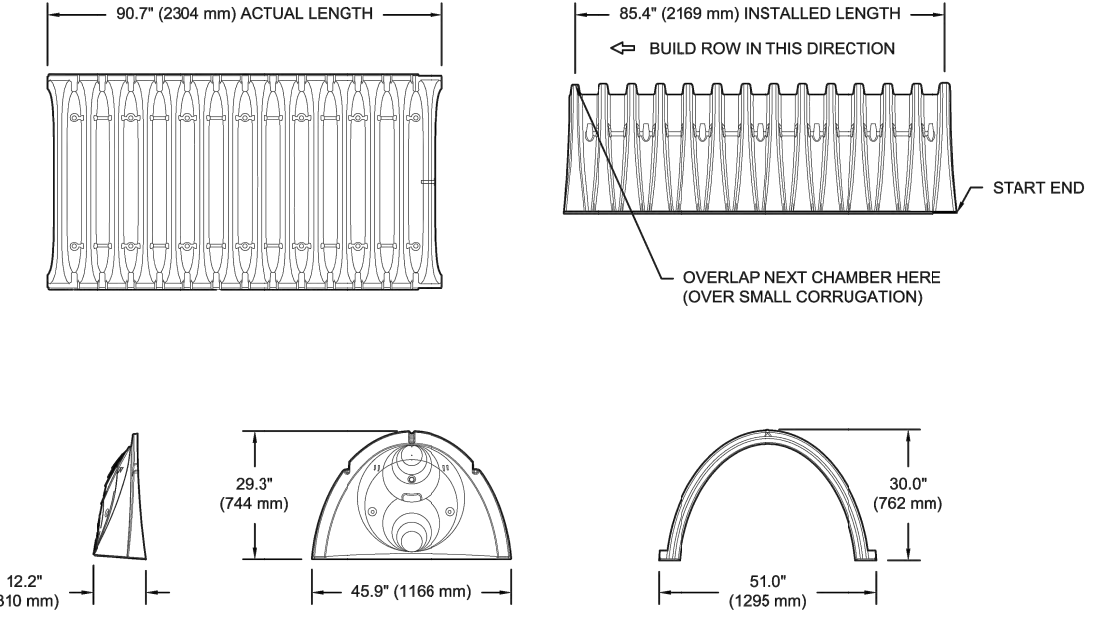
SIZE (W X H X INSTALLED LENGTH)  
CHAMBER STORAGE  
MINIMUM INSTALLED STORAGE  
WEIGHT

Table with 5 columns: PART #, STUB, A, B, C. Lists various chamber part numbers and their dimensions.

ALL STUBS, EXCEPT FOR THE SC740CEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP...

NOTE: ALL DIMENSIONS ARE NOMINAL

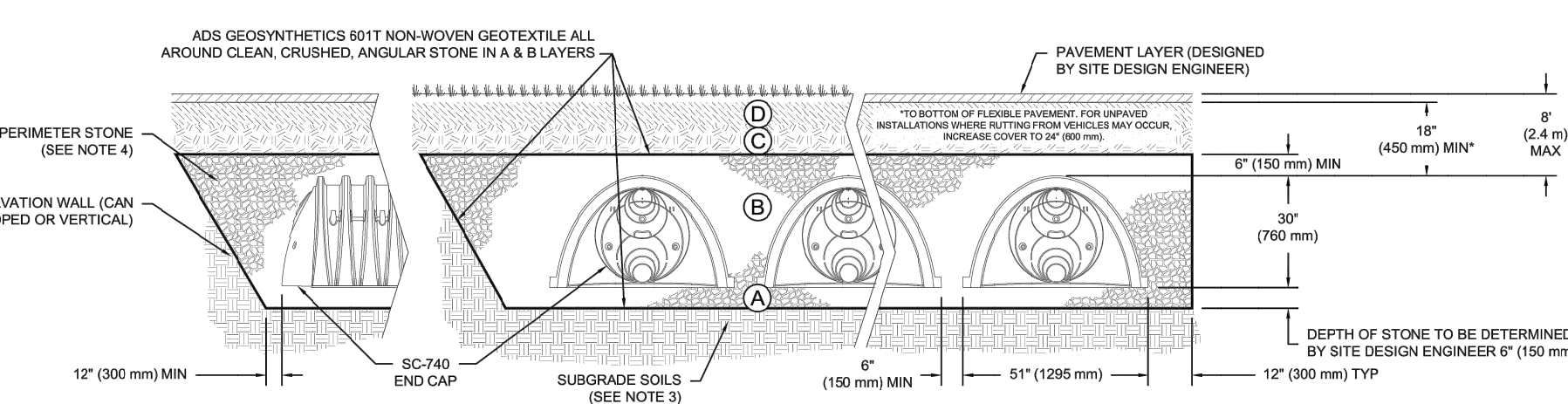
**SC-740 TECHNICAL SPECIFICATION**



**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

Table with 4 columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, and COMPACTION / DENSITY REQUIREMENT. Lists requirements for Final Fill, Initial Fill, Embedment Stone, and Foundation Stone.

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".



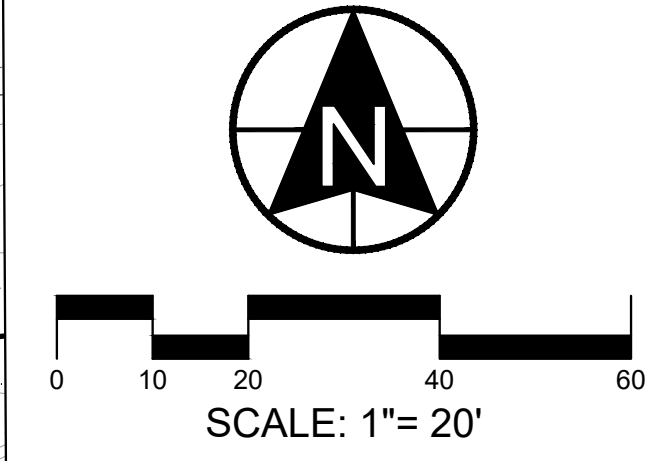
**NOTES:**

- 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- 4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- 5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 8.2.8 OF ASTM F2418 AND (b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 22° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER  
**GREY CLIFFS LLC.**  
935 W. CENTER  
LONDON, UT 84042  
801.785.8458



1018 N Deer Crest Lane  
Alpine UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

REVISIONS table with columns: NO., DATE, DESCRIPTION, SEAL. Includes a professional engineer seal for R. B. Bly.

ACTION DATE table with columns: ACTION, DATE. Shows FINAL action on 12-05-2023.

**PROJECT**



**DESCRIPTION**  
*FINAL PLAT "A"*  
*CONSTRUCTION*  
*DRAWINGS*

SHEET NAME SHEET NUMBER  
**STORM CHAMBER B C3.2**

GREY CLIFFS - SUBAREA C  
100-year storm - STORM CHAMBERS IN GREY CLIFF DR  
Plat A



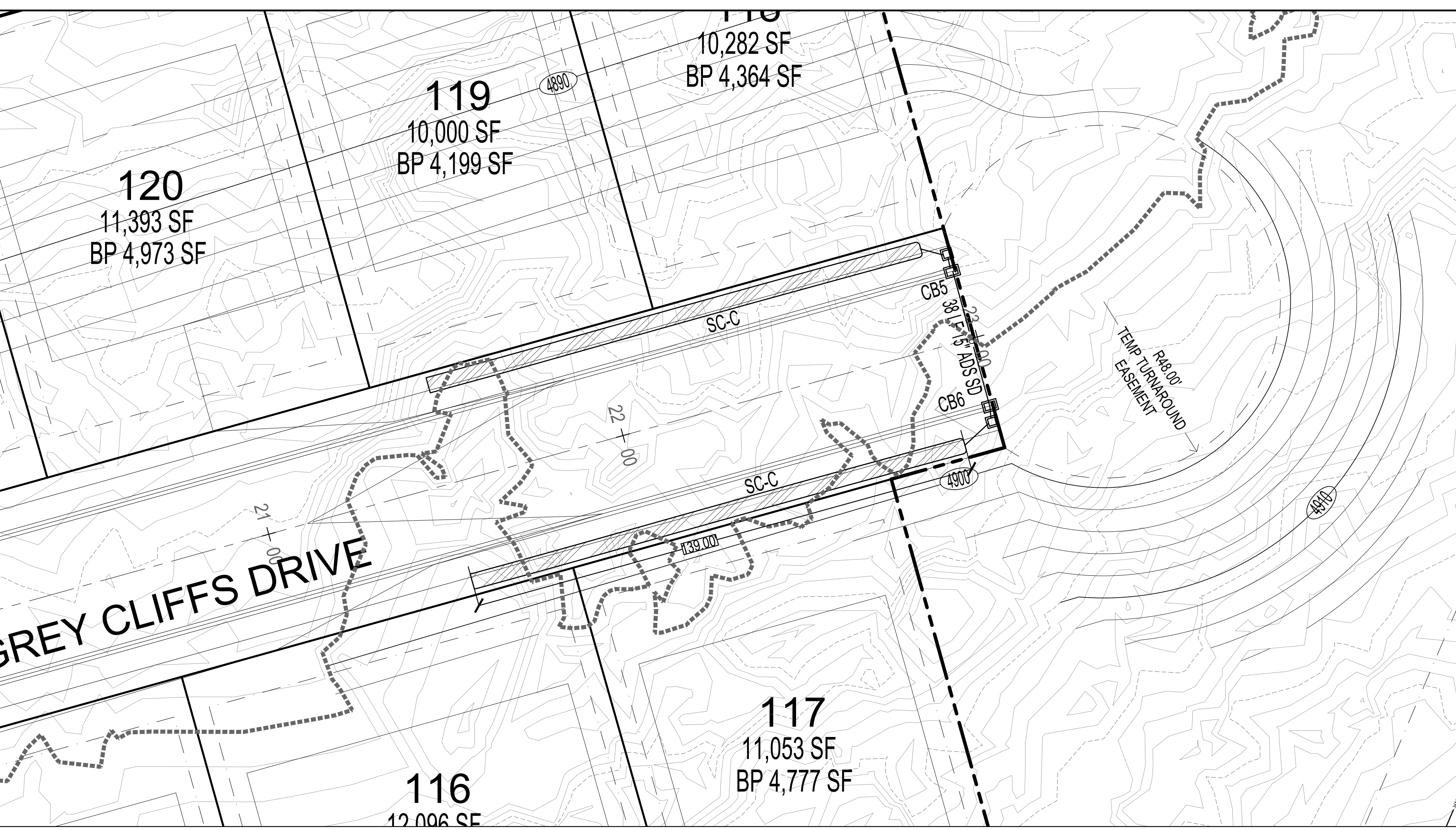
Storm drain calculations were performed using the rational method.

Hydrologic Calculations CA CALCULATION table with columns for C, Area (ft²), C\*A and runoff coefficients.

Retention Pond Volume calculations table with columns for Lapsed Time, Rainfall intensity, Total Rainfall, Release Volume, and Required Storage.

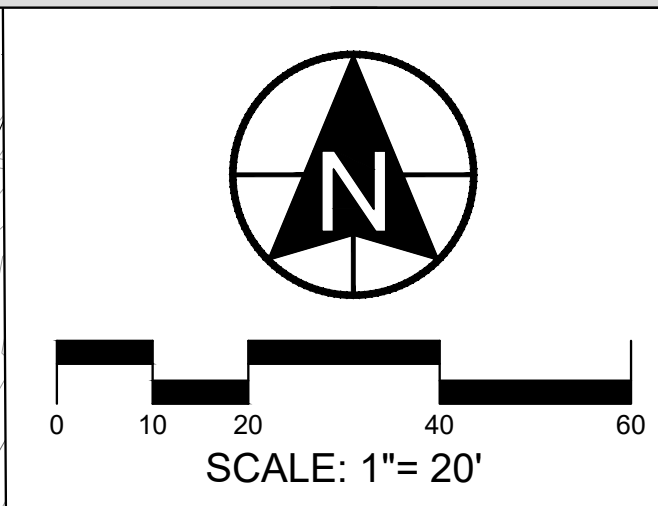
Required Pond Volume = 2868 ft³ or 0.066 acre-ft. StormTech Chambers (vol/unit) = 75 ft³. # of StormTech Chambers Req'd = 38.

Notes: A, B, & C are based upon Table 11-12-3-C of the Santaquin City Development Code. D = C / (12 inches/foot) x total acreage of site x 43,560 s/acre x run-off coefficient, where Q=CIA and V=CIA.



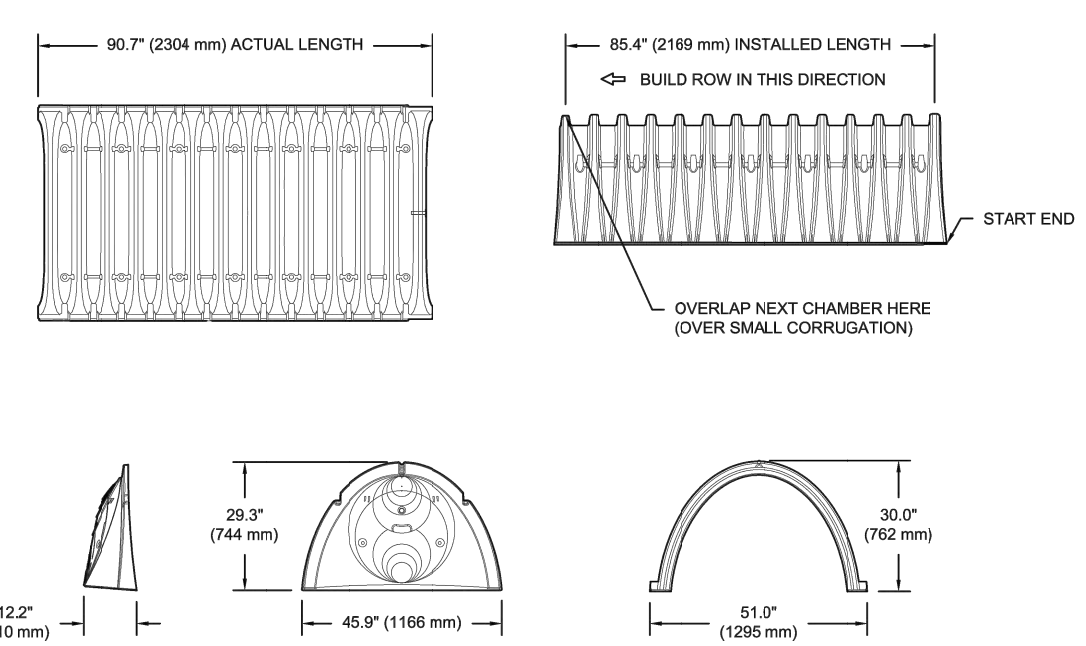
DEVELOPMENT  
GreyCliffs ESTATES  
700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER  
GREY CLIFFS LLC.  
935 W. CENTER  
LINDON, UT 84042  
801.785.8458



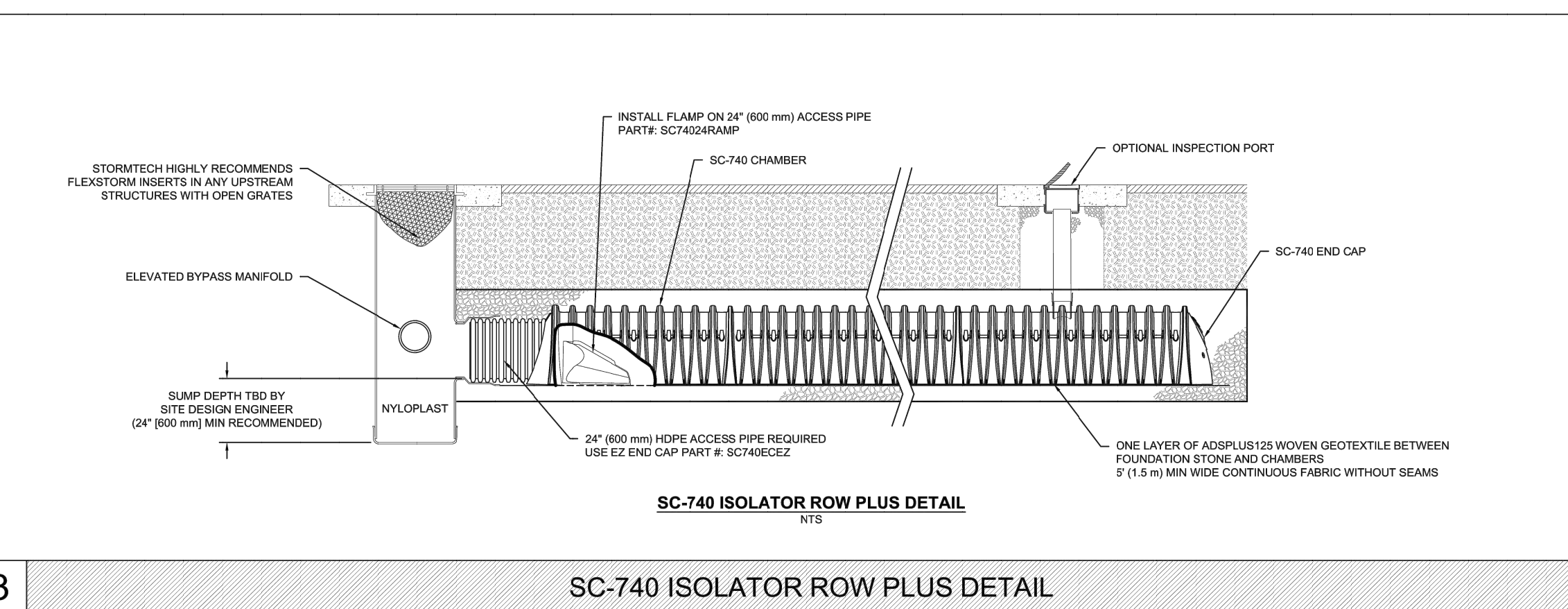
berg CIVIL ENGINEERING  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

SC-740 TECHNICAL SPECIFICATION



NOMINAL CHAMBER SPECIFICATIONS table with columns for Part #, Stub, A, B, C and their respective dimensions.

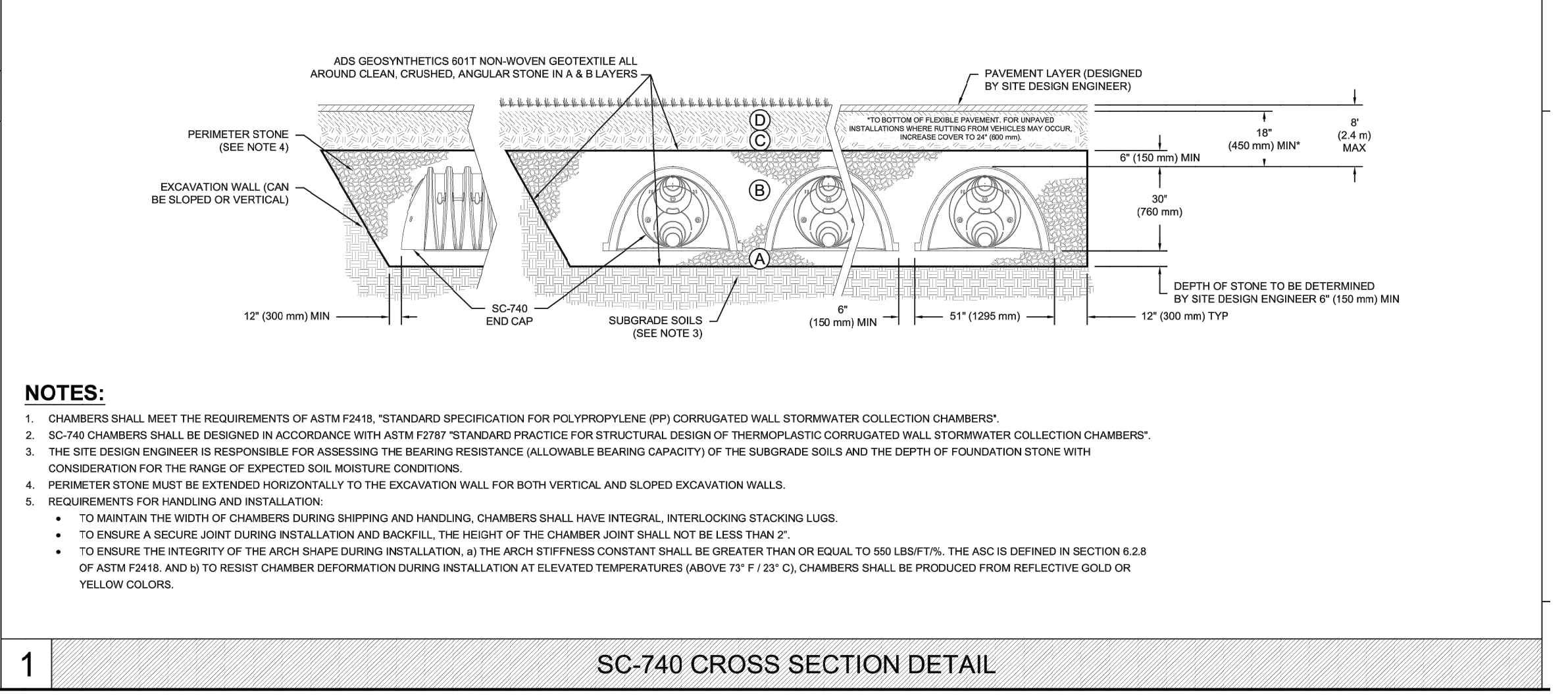
PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH 'B'. PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH 'B'. PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH 'A'. PRE-CORDED END CAPS END WITH 'C'.



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

Table with columns: MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, COMPACTION / DENSITY REQUIREMENT.

PLEASE NOTE: 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: 'CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M3) STONE'.



REVISIONS table with columns for NO., DATE, DESCRIPTION, and SEAL.

ACTION and DATE table with entries for FINAL and 12-05-2023.

PROJECT  
GreyCliffs ESTATES

DESCRIPTION  
FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS

SHEET NAME and SHEET NUMBER table with entries for STORM CHAMBER C and C3.3.

GREY CLIFFS - SUBAREA K  
100-year storm - STORM CHAMBERS ALONG SR-198  
Plat A



12/4/2023

Storm drain calculations were performed using the rational method.

Hydrologic Calculations CA CALCULATION table with columns C, Area (ft²), C \* A

Runoff Coefficients [C] values have been taken from Table 11 2019 Santaquin Storm Drain Master Plan \*\*

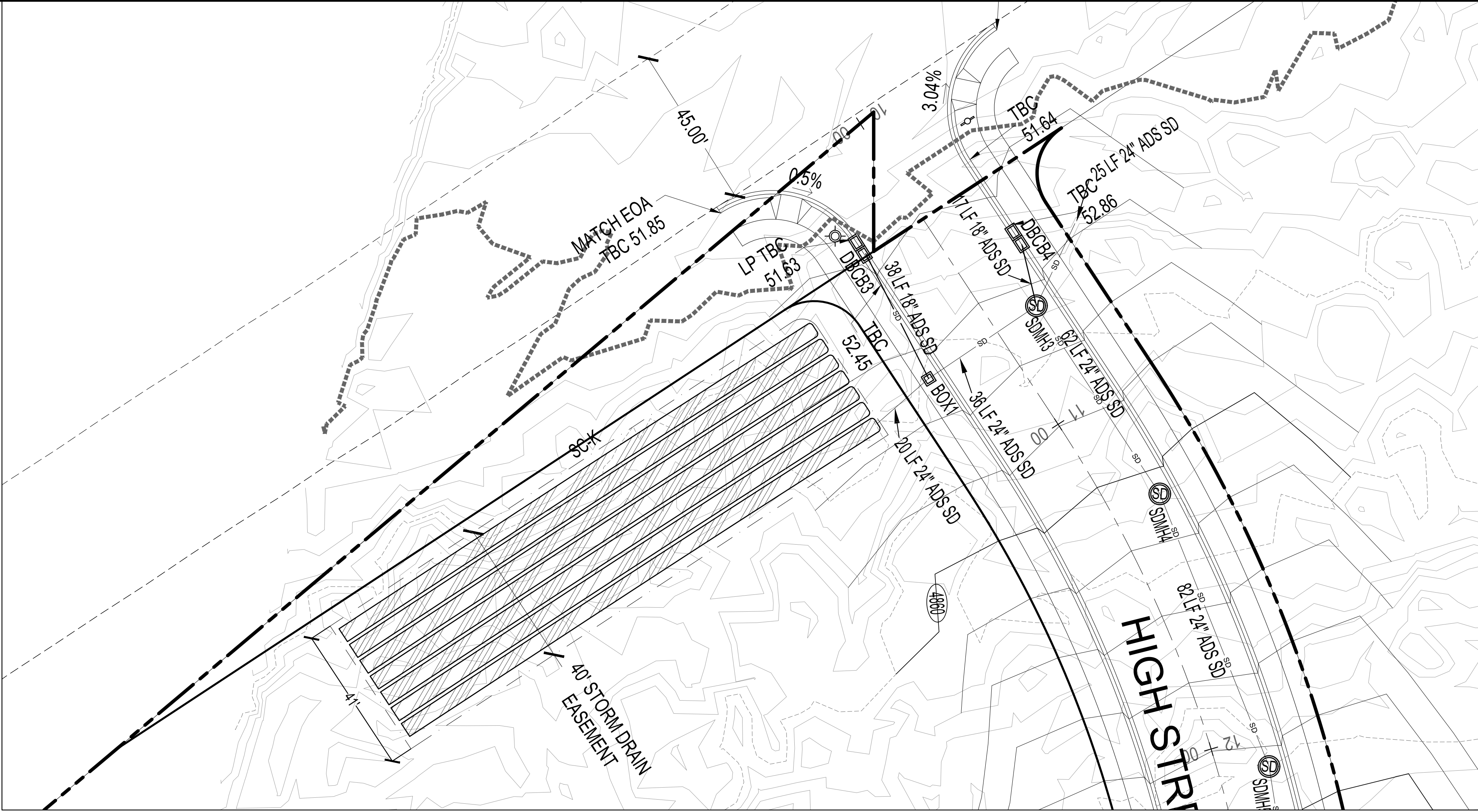
Peric Rate, Gallery Area, Allow Q table

Retention Pond Volume calculations

Retention Pond Volume calculations table with columns Lapsed Time, Rainfall intensity, Total Rainfall, Rainfall Volume, Release Volume, Required Storage

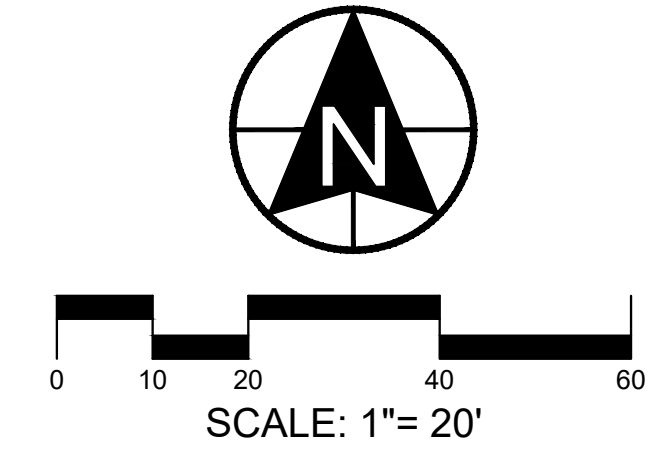
Required Pond Volume = 7157 ft³ or 0.164 acre-ft table

Notes: A, B, & C are based upon Table 11-12.3-C of the Santaquin City Development Code... D = C / (12 inches/foot) x total acreage of site x 43,560 sq/acre x run-off coefficient... E = an allowable release rate ( cfs/acre) x total acreage of site x A x 60 sec. F = D - E to determine storage volume



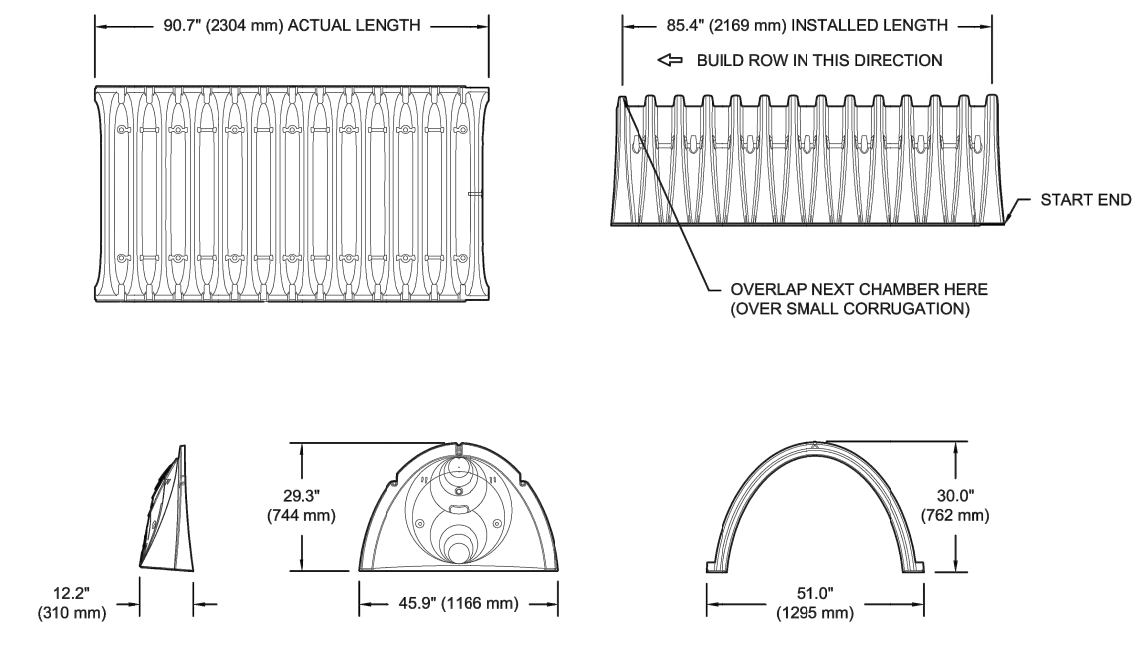
DEVELOPMENT: GreyCliffs ESTATES, 700 N SR198, SANTAQUIN, UTAH COUNTY, UT

DEVELOPER: GREY CLIFFS LLC, 935 W. CENTER, LINDON, UT 84042, 801.785.8458



BERG CIVIL ENGINEERING, 1018 N Deer Crest Lane, Alpine, UT, 84004, office: (801) 492-1277, cell: (801) 616-1677

SC-740 TECHNICAL SPECIFICATION

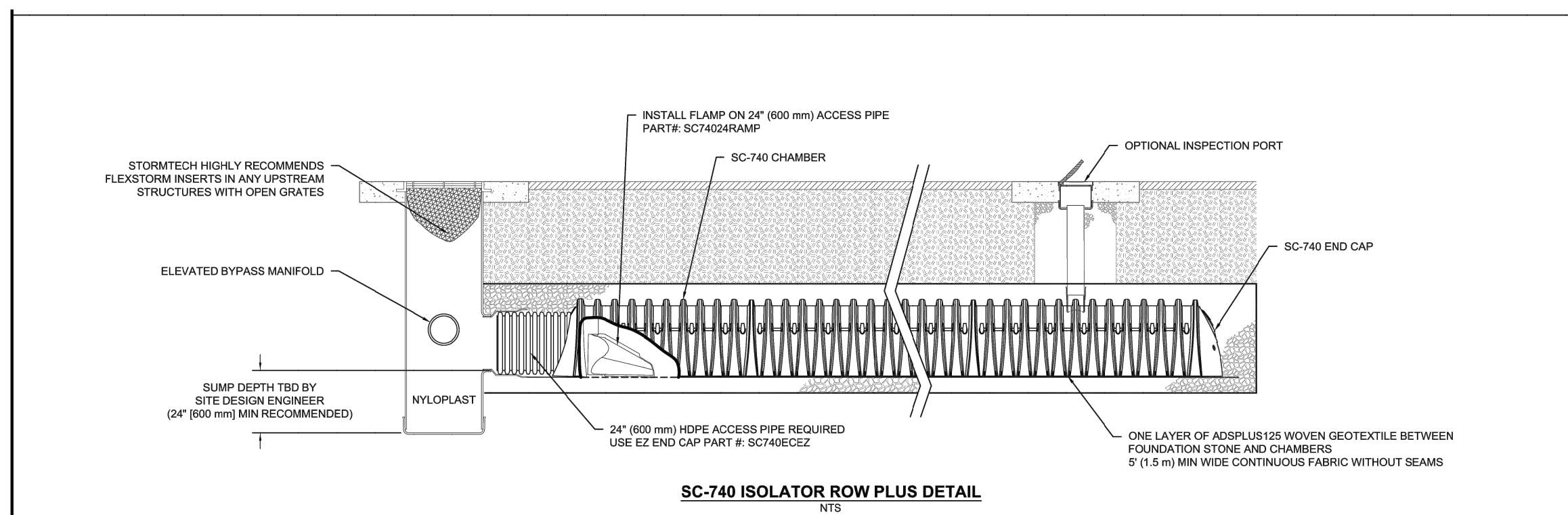


NOMINAL CHAMBER SPECIFICATIONS table with columns SIZE (W X H X INSTALLED LENGTH), CHAMBER STORAGE, MINIMUM INSTALLED STORAGE, WEIGHT

Table with columns PART #, STUB, A, B, C

ALL STUBS, EXCEPT FOR THE SC740CEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP... FOR THE SC740CEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm) BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

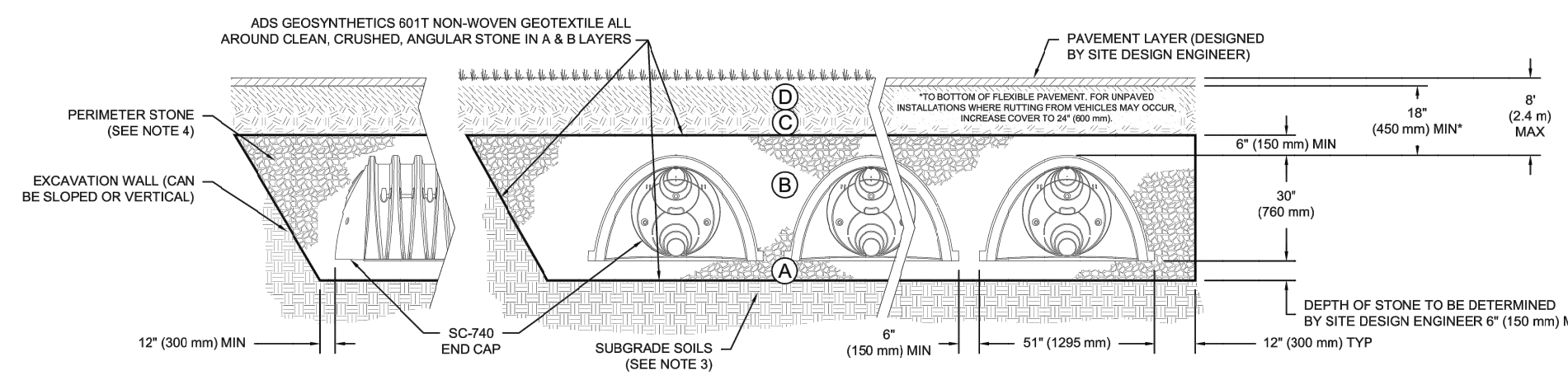
NOTE: ALL DIMENSIONS ARE NOMINAL



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

Table with columns MATERIAL LOCATION, DESCRIPTION, AASHTO MATERIAL CLASSIFICATIONS, COMPACTION / DENSITY REQUIREMENT

PLEASE NOTE: 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY... 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO PALL COVERAGES WITH A VIBRATORY COMPACTOR...



NOTES: 1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'... 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'...

REVISIONS table with columns NO., DATE, DESCRIPTION, SEAL

ACTION table with columns ACTION, DATE

PROJECT: GreyCliffs ESTATES

DESCRIPTION: FINAL PLAT "A" CONSTRUCTION DRAWINGS

SHEET NAME: STORM CHAMBER K, SHEET NUMBER: C3.3

### DRAINAGE NARRATIVE

THE STORM DRAINAGE PLAN FOR GREY CLIFFS IS TO CONVEY STORM WATER RUNOFF TO AREAS OF THE DEVELOPMENT THAT HAVE THE AREA, SLOPE AND INFILTRATION RATE TO HANDLE THE 100 YEAR STORM EVENT.

#### SUBAREAS A - C

THE RESIDENTIAL AREAS ABOVE GREY CLIFFS DRIVE COLLECT STORMWATER RUNOFF AND DIRECT IT TO STORM CHAMBERS FOR EACH SUBAREA TO BE INSTALLED ALONG GREY CLIFFS DRIVE.

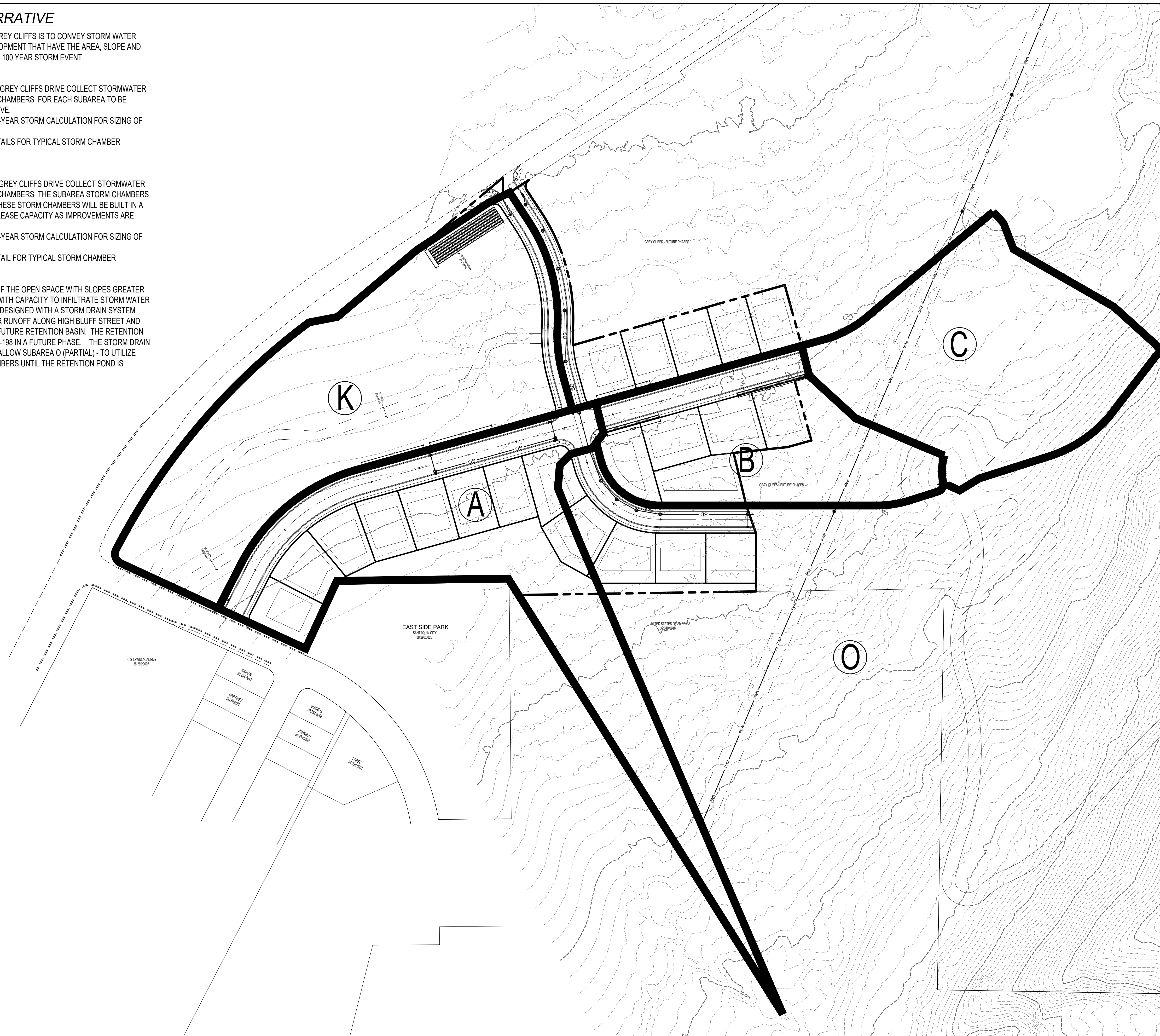
- REFER TO THE ATTACHED 100-YEAR STORM CALCULATION FOR SIZING OF THE STORM CHAMBERS
- REFER TO THE ATTACHED DETAILS FOR TYPICAL STORM CHAMBER INSTALLATION

#### SUBAREA K

THE COMMERCIAL AREAS BELOW GREY CLIFFS DRIVE COLLECT STORMWATER RUNOFF AND DIRECT IT TO STORM CHAMBERS THE SUBAREA STORM CHAMBERS TO BE INSTALLED ALONG SR-198. THESE STORM CHAMBERS WILL BE BUILT IN A PARALLEL CONFIGURATION TO INCREASE CAPACITY AS IMPROVEMENTS ARE INSTALLED.

- REFER TO THE ATTACHED 100-YEAR STORM CALCULATION FOR SIZING OF THE STORM CHAMBERS
- REFER TO THE ATTACHED DETAIL FOR TYPICAL STORM CHAMBER INSTALLATION

SUBAREA O WHICH IS A MAJORITY OF THE OPEN SPACE WITH SLOPES GREATER THAN 30% DOES NOT HAVE AREAS WITH CAPACITY TO INFILTRATE STORM WATER RUNOFF. THIS SUBAREA HAS BEEN DESIGNED WITH A STORM DRAIN SYSTEM THAT COLLECTS THE STORM WATER RUNOFF ALONG HIGH BLUFF STREET AND THEN CONVEYS THE RUNOFF TO A FUTURE RETENTION BASIN. THE RETENTION BASIN IS TO BE LOCATED ALONG SR-198 IN A FUTURE PHASE. THE STORM DRAIN PIPING HAS BEEN CONFIGURED TO ALLOW SUBAREA O (PARTIAL) - TO UTILIZE THE SUBAREA K STORM TECH CHAMBERS UNTIL THE RETENTION POND IS CONTRACTED IN FUTURE PHASES.



DEVELOPMENT

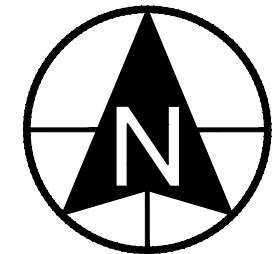


700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

# GREY CLIFFS LLC.

935 W. CENTER  
LINDON, UT 84042  
801.785.8458



0 50 100 200 300  
SCALE: 1"= 100'



1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
cell: (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
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ACTION	DATE
FINAL	12-05-2023

PROJECT

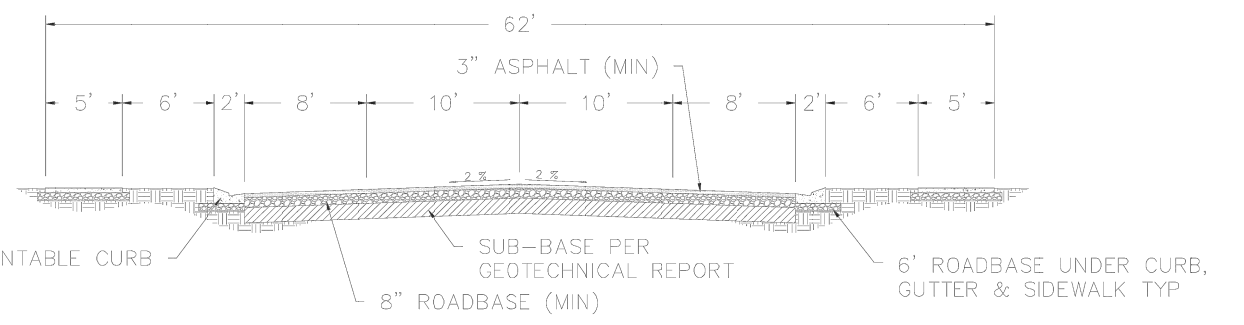
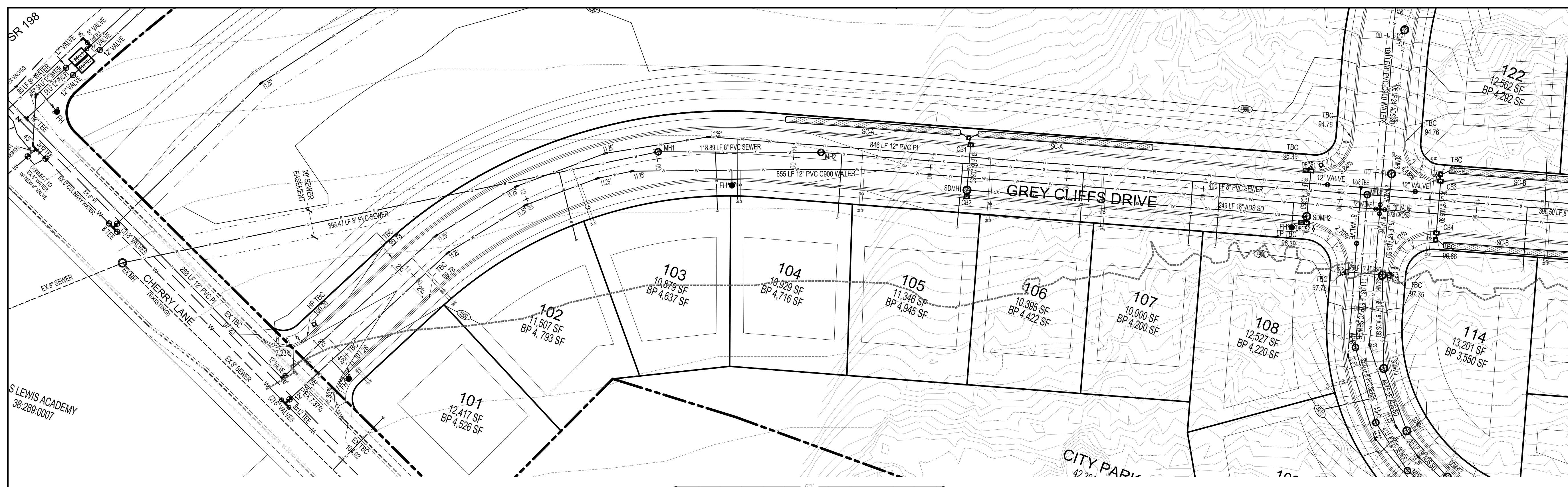


DESCRIPTION

## FINAL PLAT "A" CONSTRUCTION DRAWINGS

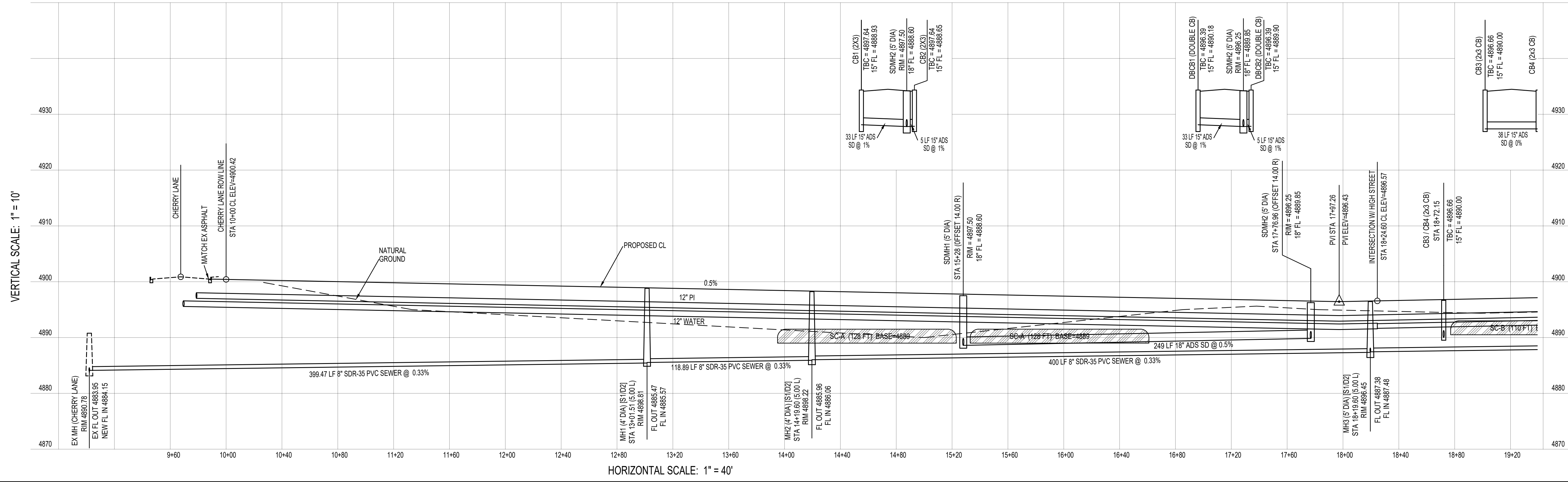
SHEET NAME	SHEET NUMBER
SUBAREAS	C3.5





- NOTES:
1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
  2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

2-LANE/PARKING BOTH SIDES  
62' MAJOR LOCAL  
GREY CLIFFS DR



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LONDON, UT 84042  
801.785.8458

SCALE: 1" = 40'

**BERG CIVIL ENGINEERING**

1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
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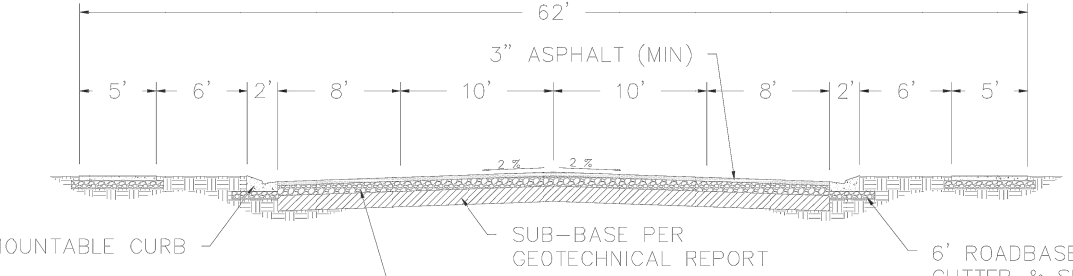
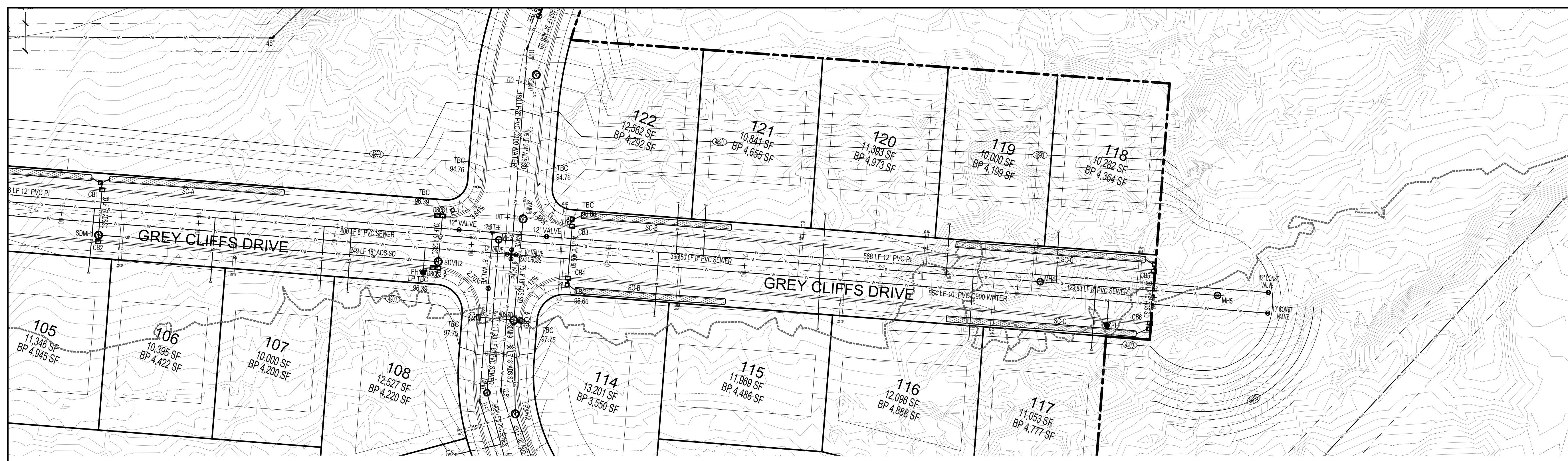
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS**

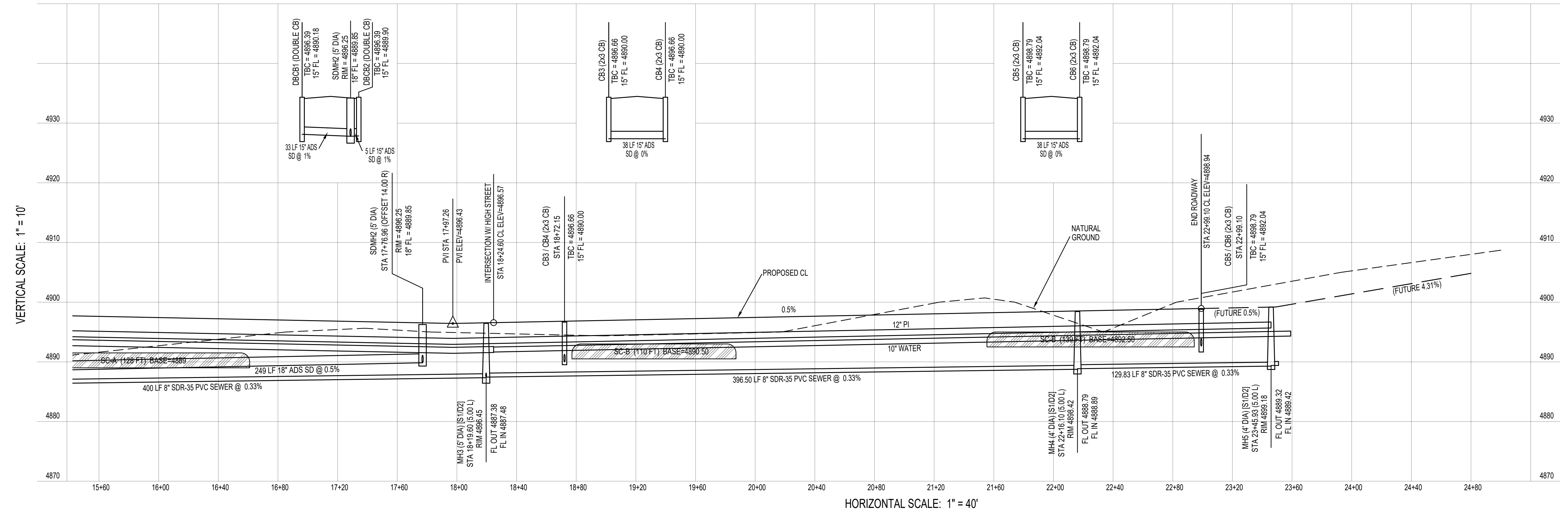
SHEET NAME	SHEET NUMBER
GREY CLIFFS DR	<b>C4.1</b>



NOTES:  
 1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.  
 2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

2-LANE/PARKING BOTH SIDES  
 62' MAJOR LOCAL

GREY CLIFFS DR



DEVELOPMENT

700 N SR198  
 SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
 LINDON, UT 84042  
 801.785.8458

SCALE: 1" = 40'

1018 N Deer Crest Lane  
 Alpine, UT, 84004  
 office (801) 492-1277  
 cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE DESCRIPTION	
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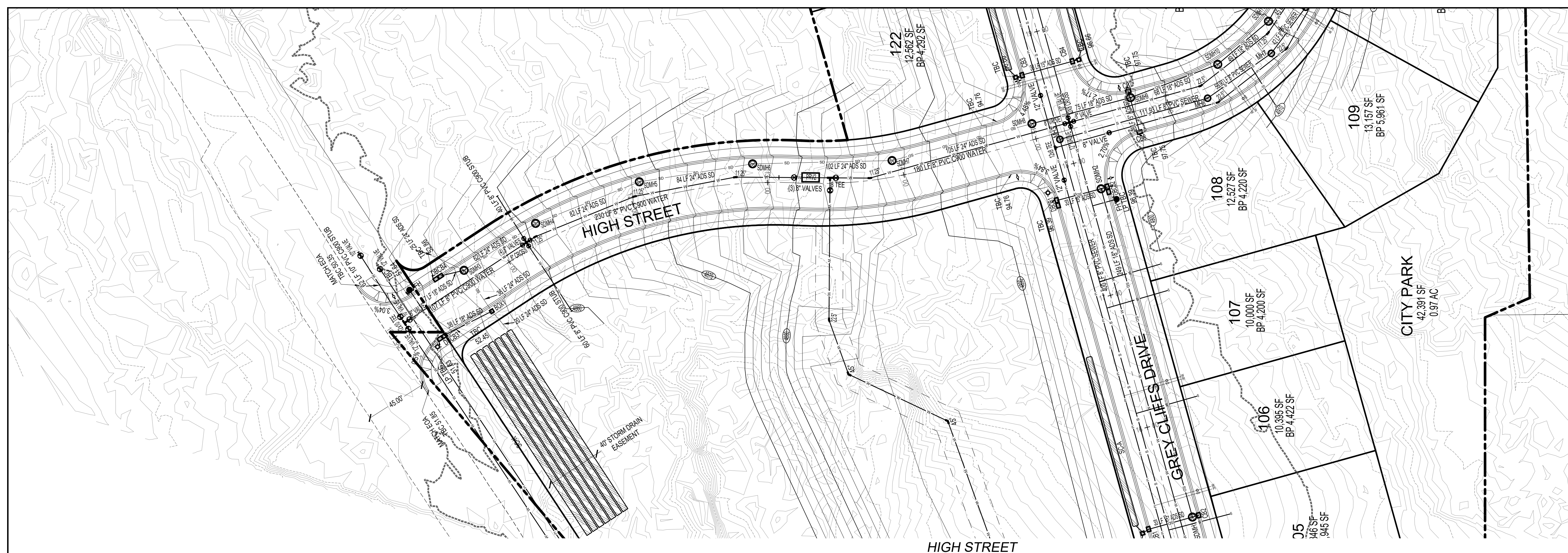
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A"  
 CONSTRUCTION  
 DRAWINGS**

SHEET NAME	SHEET NUMBER
GREY CLIFFS DR	<b>C4.2</b>



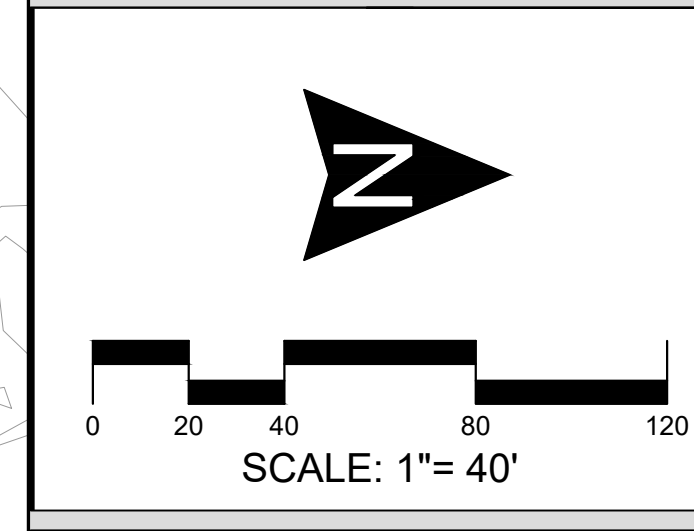
DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

# GREY CLIFFS LLC.

935 W. CENTER  
LINDON, UT 84042  
801.785.8458



1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

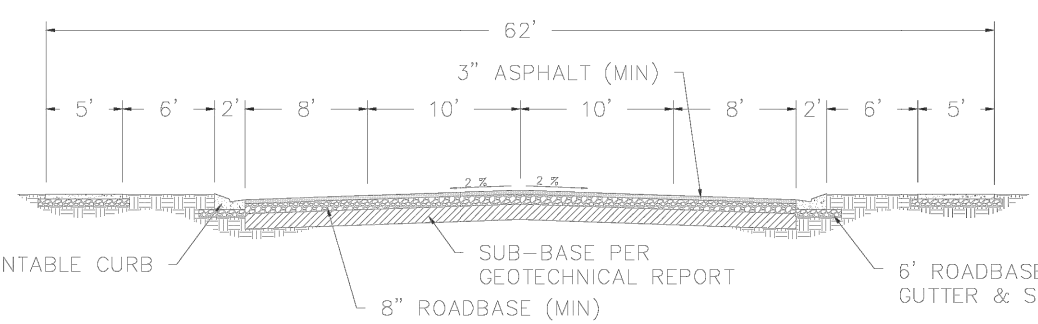
REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
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ACTION			DATE
FINAL			12-05-2023

PROJECT

DESCRIPTION

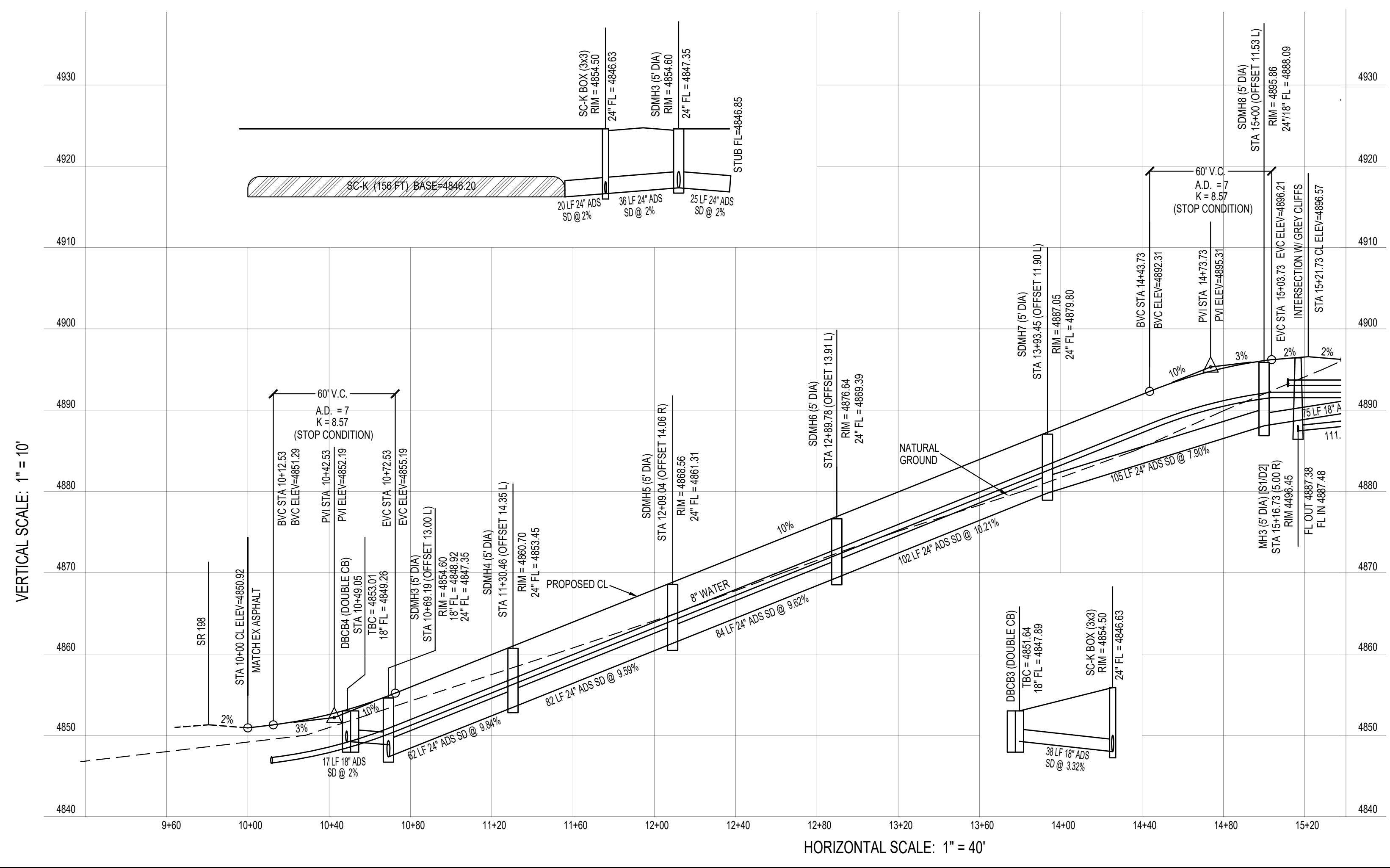
## FINAL PLAT "A" CONSTRUCTION DRAWINGS

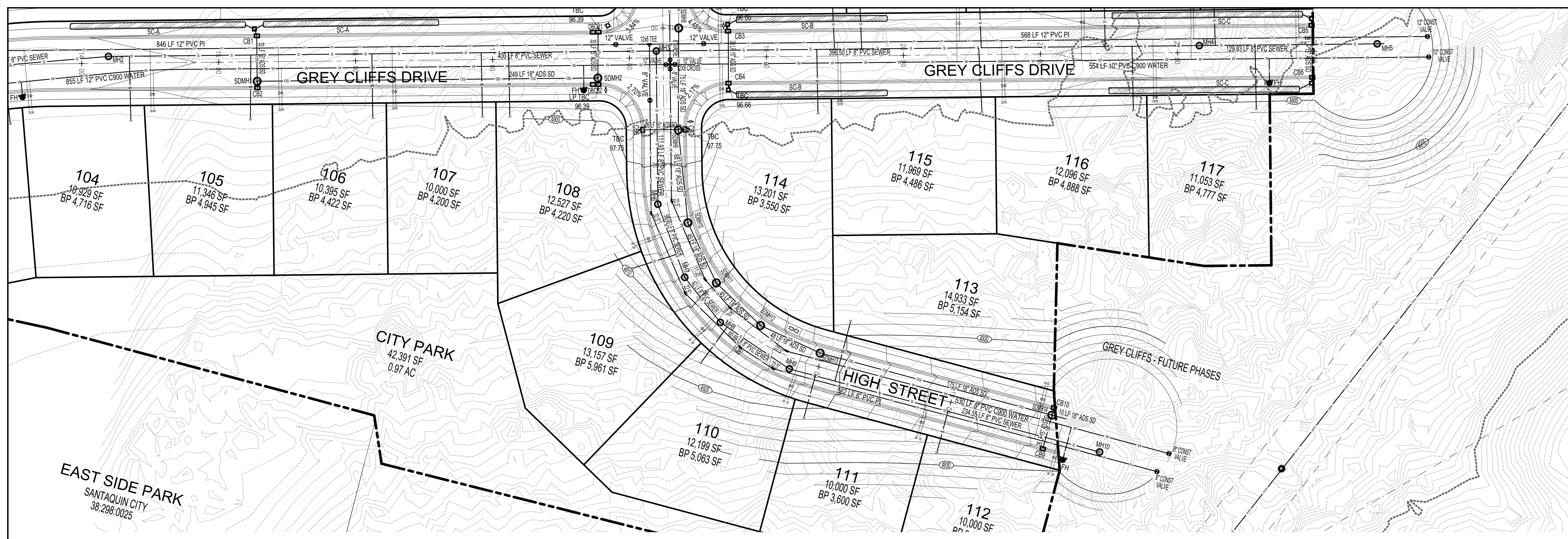
SHEET NAME	SHEET NUMBER
HIGH STREET	C5.1



- NOTES:
1. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY REQUIRE THE ADDITION OF RIGHT TURN LANES AT INTERSECTIONS.
  2. THE DEVELOPMENT REVIEW COMMITTEE (DRC) MAY MODIFY THIS SECTION FOR DEVELOPMENTS WITH AVERAGE BUILDABLE SLOPE > 10%.

2-LANE/PARKING BOTH SIDES  
62' MAJOR LOCAL  
ROADWAY CROSS SECTION





DEVELOPMENT

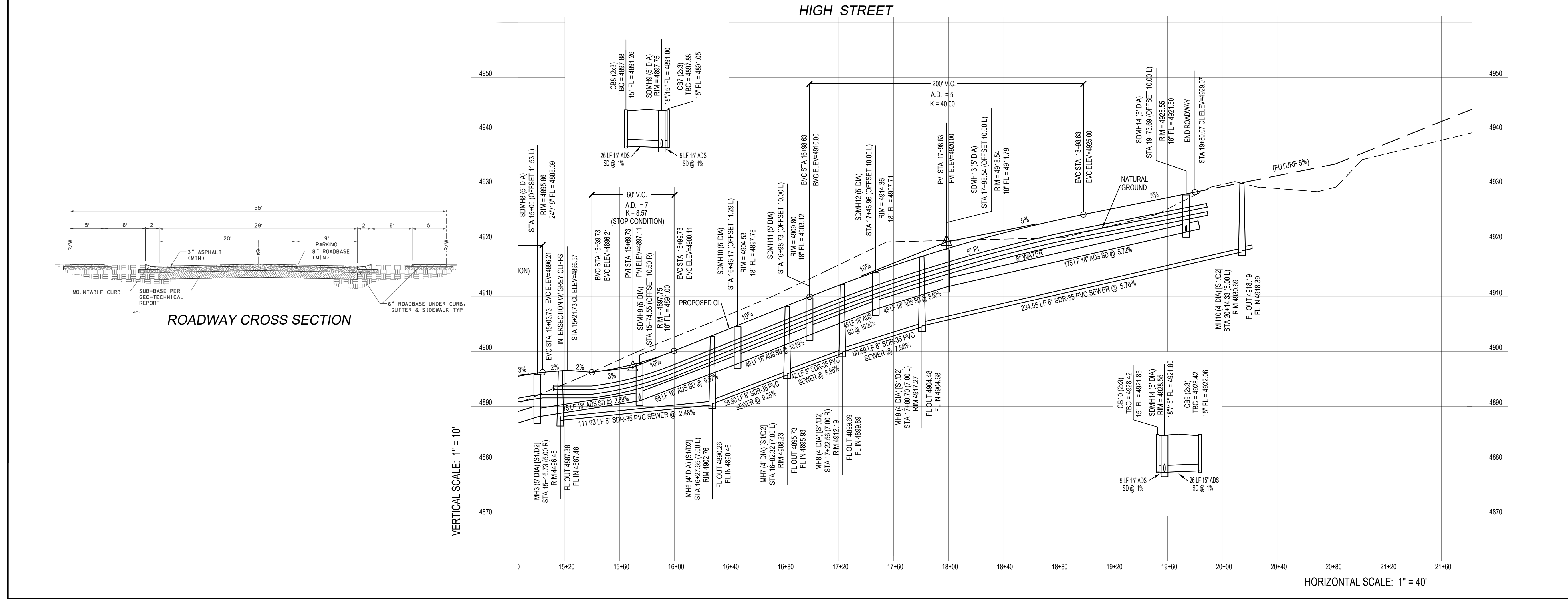
700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

SCALE: 1" = 40'



BERG CIVIL ENGINEERING  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

REVISIONS		SEAL
NO.	DATE	DESCRIPTION
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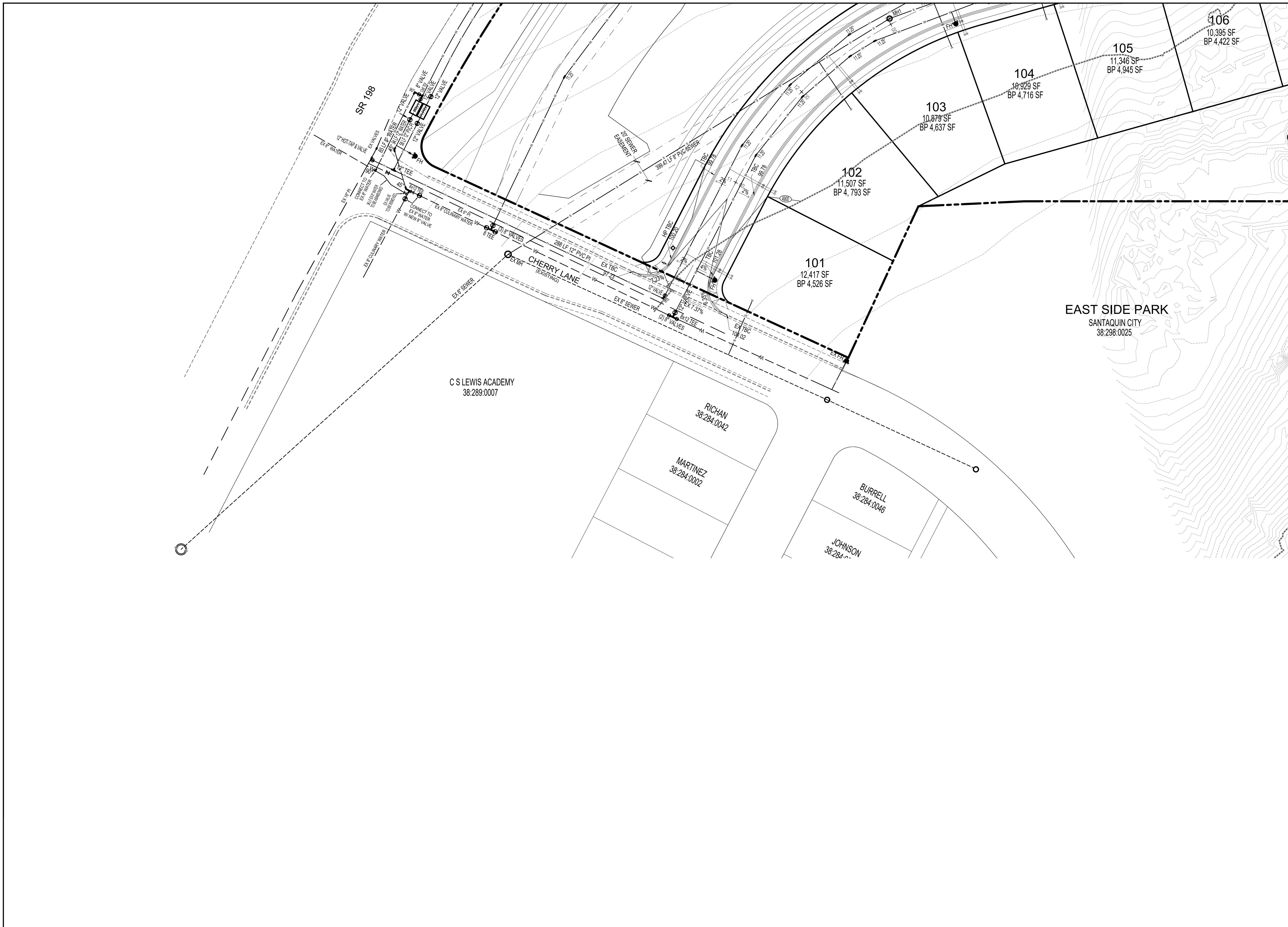
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS**

SHEET NAME	SHEET NUMBER
HIGH STREET	<b>C5.2</b>



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

SCALE: 1" = 40'

**BERG CIVIL ENGINEERING**  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office: (801) 492-1277  
cell: (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
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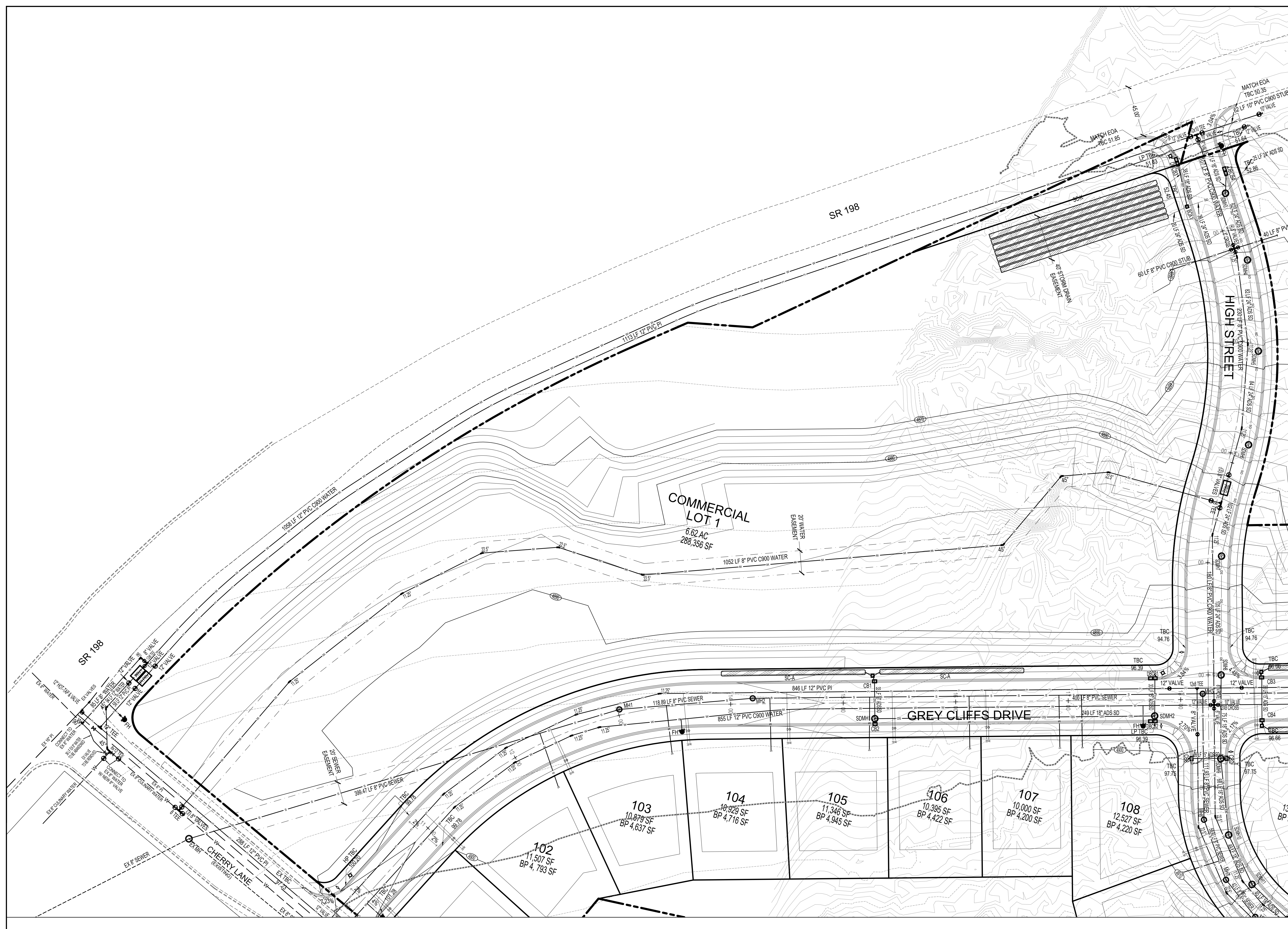
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A"  
CONSTRUCTION  
DRAWINGS**

SHEET NAME	SHEET NUMBER
CHERRY STREET	<b>C6.1</b>



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

# GREY CLIFFS LLC.

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

SCALE: 1" = 40'

1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

REVISIONS			SEAL
NO.	DATE	DESCRIPTION	
1			
2			
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ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

## FINAL PLAT "A" CONSTRUCTION DRAWINGS

SHEET NAME	SHEET NUMBER
SR 198	C7.1



**FENCING LEGEND**

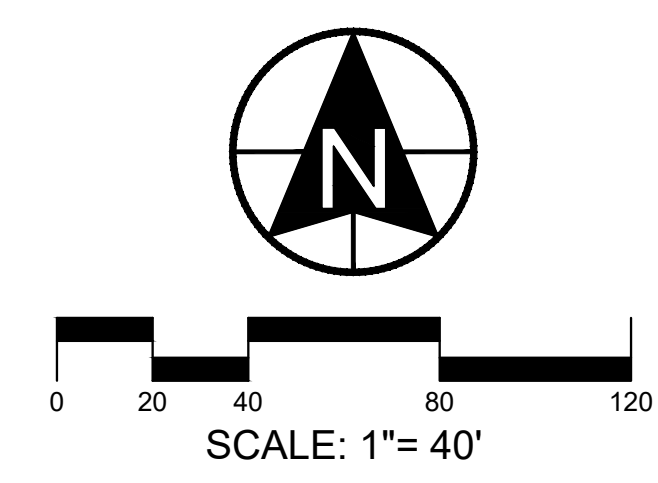
VINYL (6 FT)      1175 LF      UNITED STATES OF AMERICA 32:040:0016

\*\*\* FENCING TO BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE PRIVATE PROPERTY OWNER. FENCE TO BE INSTALLED FULLY ON LOT OWNERS PROPERTY OFFSET FROM PROPERTY LINE BY 12".

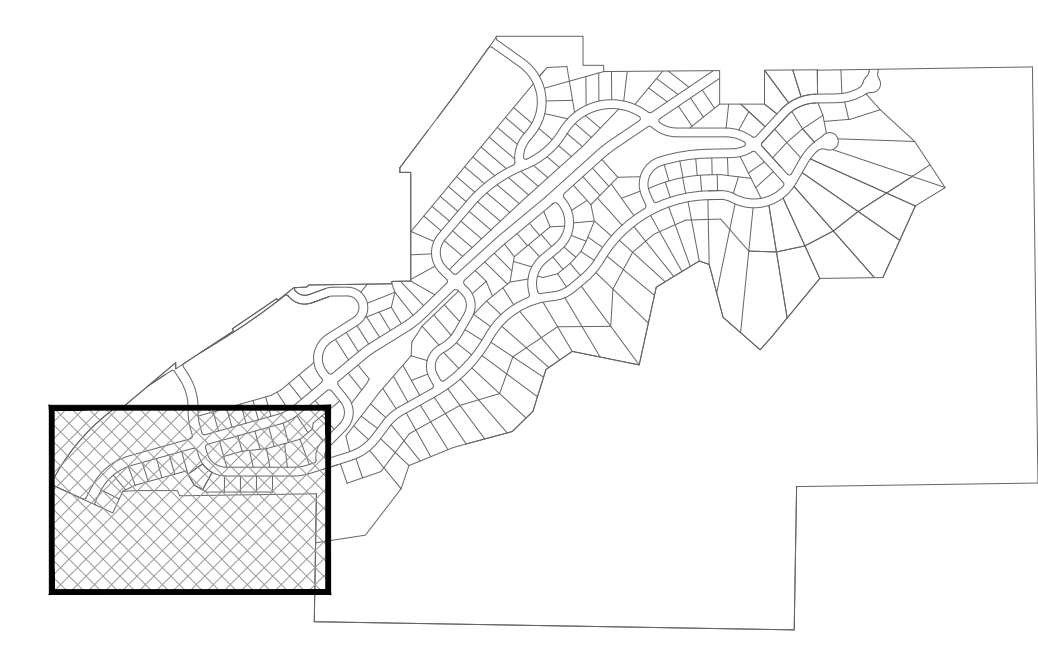
**LANDSCAPE TABULATIONS**

	Sunburst Honey Locust	Gleditsia triacanthos var. inermis	2 in. Caliper	1 ea
	Royal Raindrops Crabapple	Malus x 'JFS-KW5' Royal Raindrops	2 in. Caliper	1 ea
	Multi-Use Trail (8' wide)	Gravel		4,150 sf
	Lawn	Sod		34,865 sf
	Native Grass	City approved mix		7,089 sf

**IRRIGATION PLANS**  
 PROPOSED EXPANSION OF EAST SIDE PARK TO INCLUDED EXTENSION OF THE EXISTING IRRIGATION SYSTEM. CONTRACTOR TO WORK WITH CITY ON EXPANSION OF EXISTING IRRIGATION SYSTEM.



**MAP KEY**



NOTE:  
 ALL PROPOSED LANDSCAPING AND OPEN SPACE IMPROVEMENTS SHALL FOLLOW THE APPROVED DEVELOPMENT AGREEMENT, SPECIFICALLY SECTION 3.6 AND EXHIBIT C.



**VINYL FENCE (6 FT)**

DEVELOPMENT

700 N SR198  
 SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
 LONDON, UT 84042  
 801.785.8458

SCALE: 1"= 40'

**BERG CIVIL ENGINEERING**  
 1018 N Deer Crest Lane  
 Alpine, UT, 84004  
 office: (801) 492-1277  
 cell: (801) 616-1677

REVISIONS			SEAL
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ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A" CONSTRUCTION DRAWINGS**

SHEET NAME	SHEET NUMBER
UPPER TRAIL	<b>C8.1</b>

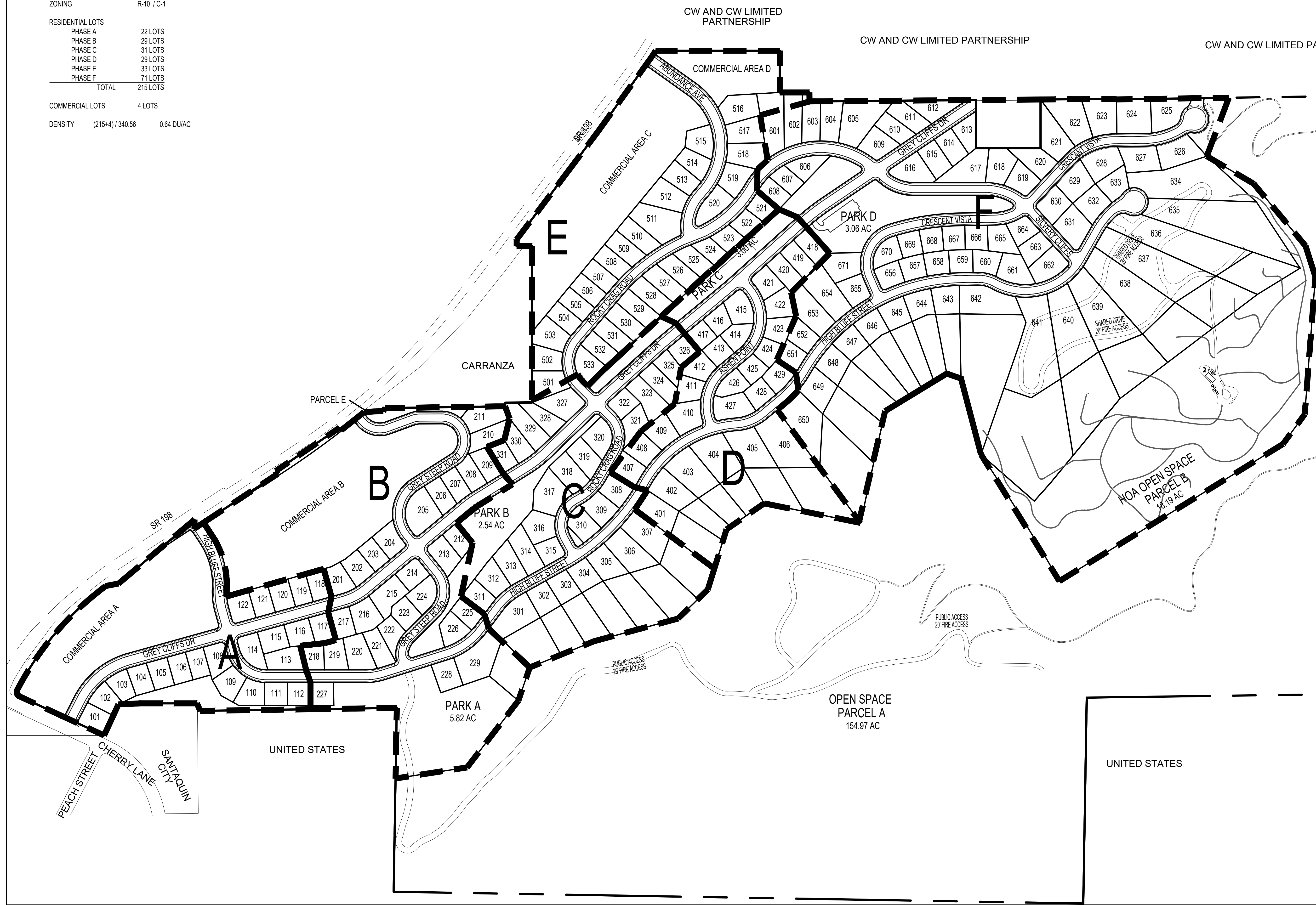
DENSITY TABULATIONS

ZONING R-10 / C-1

RESIDENTIAL LOTS	
PHASE A	22 LOTS
PHASE B	29 LOTS
PHASE C	31 LOTS
PHASE D	29 LOTS
PHASE E	33 LOTS
PHASE F	71 LOTS
TOTAL	215 LOTS

COMMERCIAL LOTS 4 LOTS

DENSITY (215+4) / 340.56 0.64 DU/AC



DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

## GREY CLIFFS LLC.

935 W. CENTER  
LONDON, UT 84042  
801.785.8458

SCALE: 1"= 200'

BERG CIVIL ENGINEERING  
1018 N Deer Crest Lane  
Alpine, UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

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ACTION	DATE
FINAL	12-05-2023

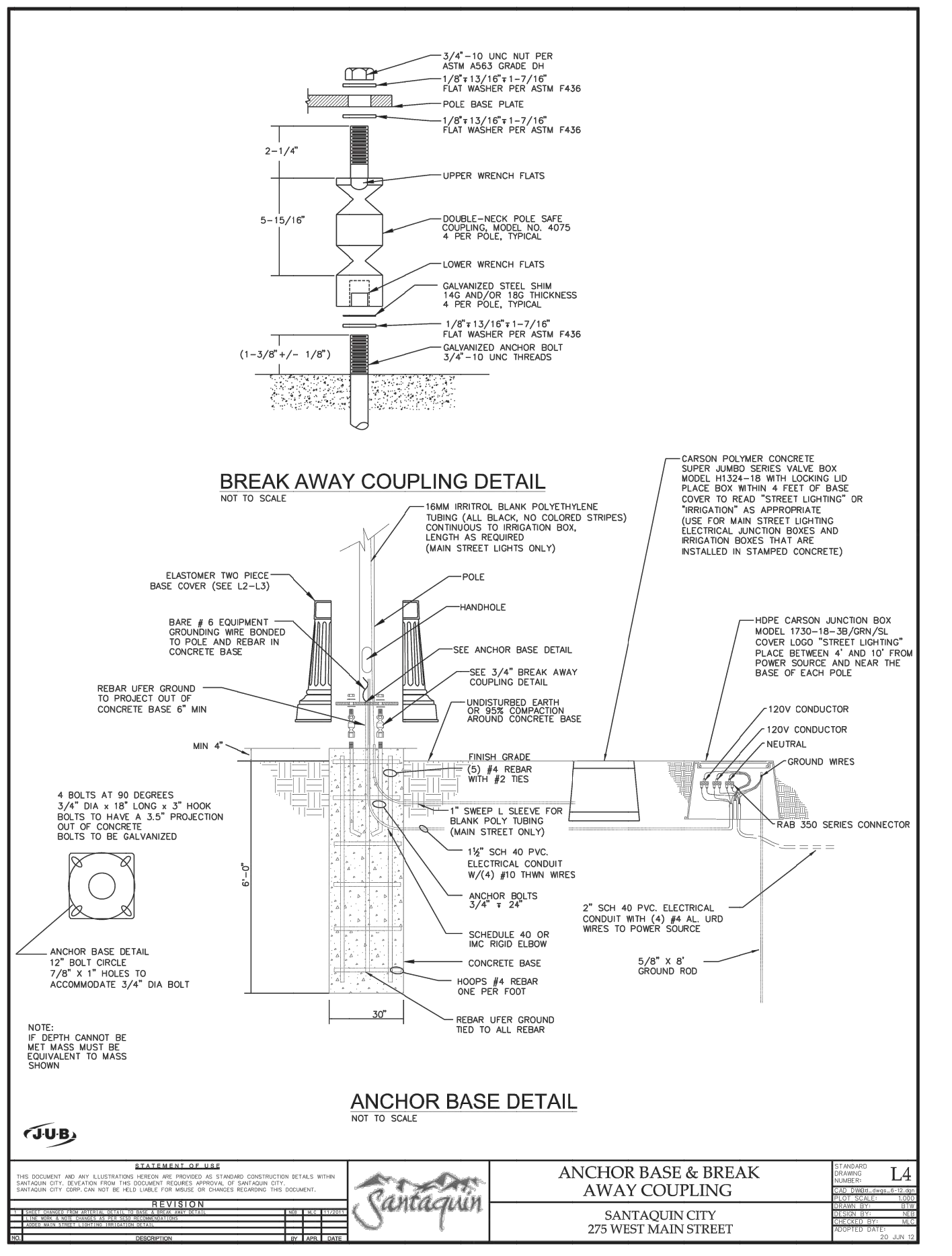
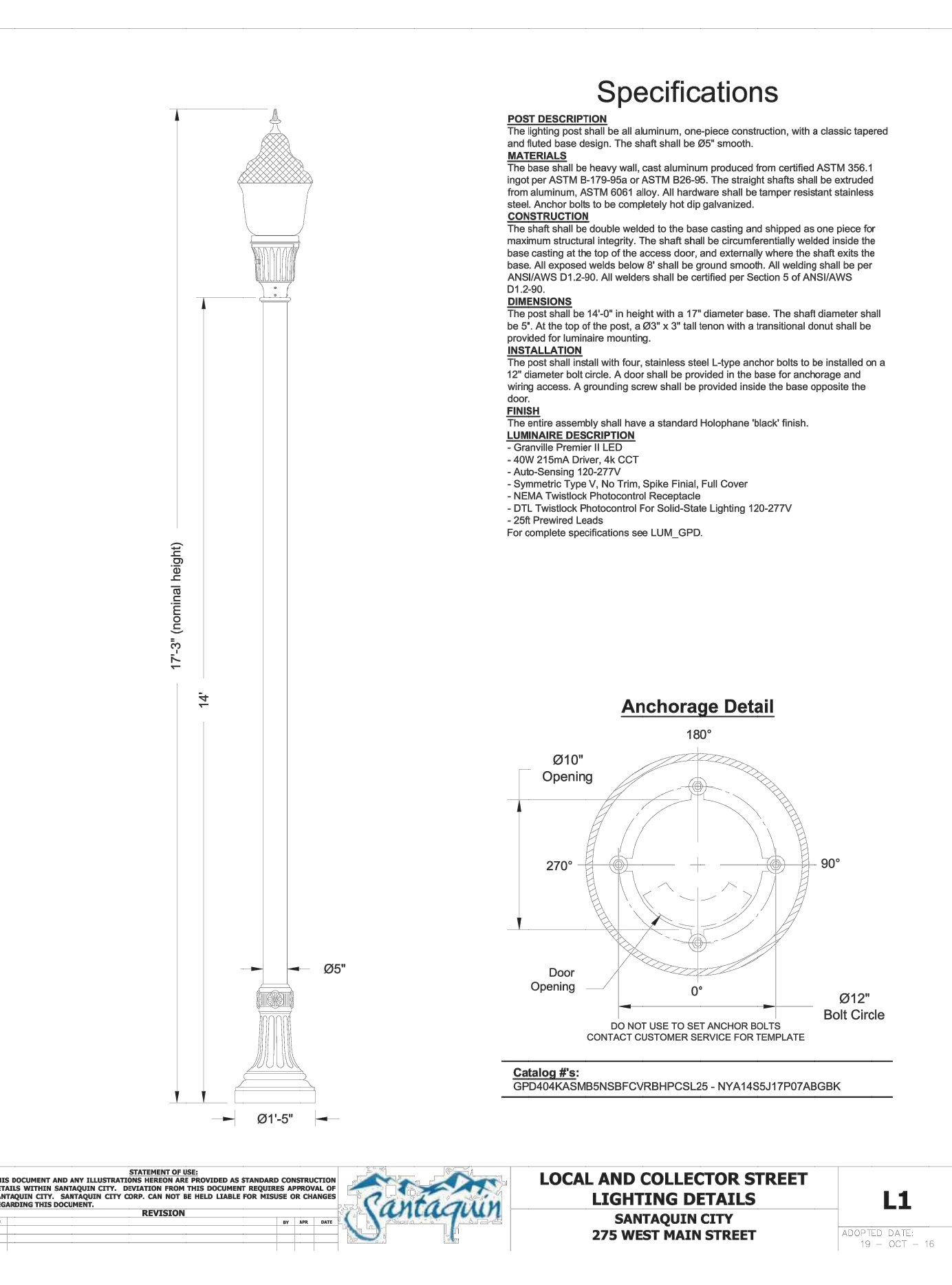
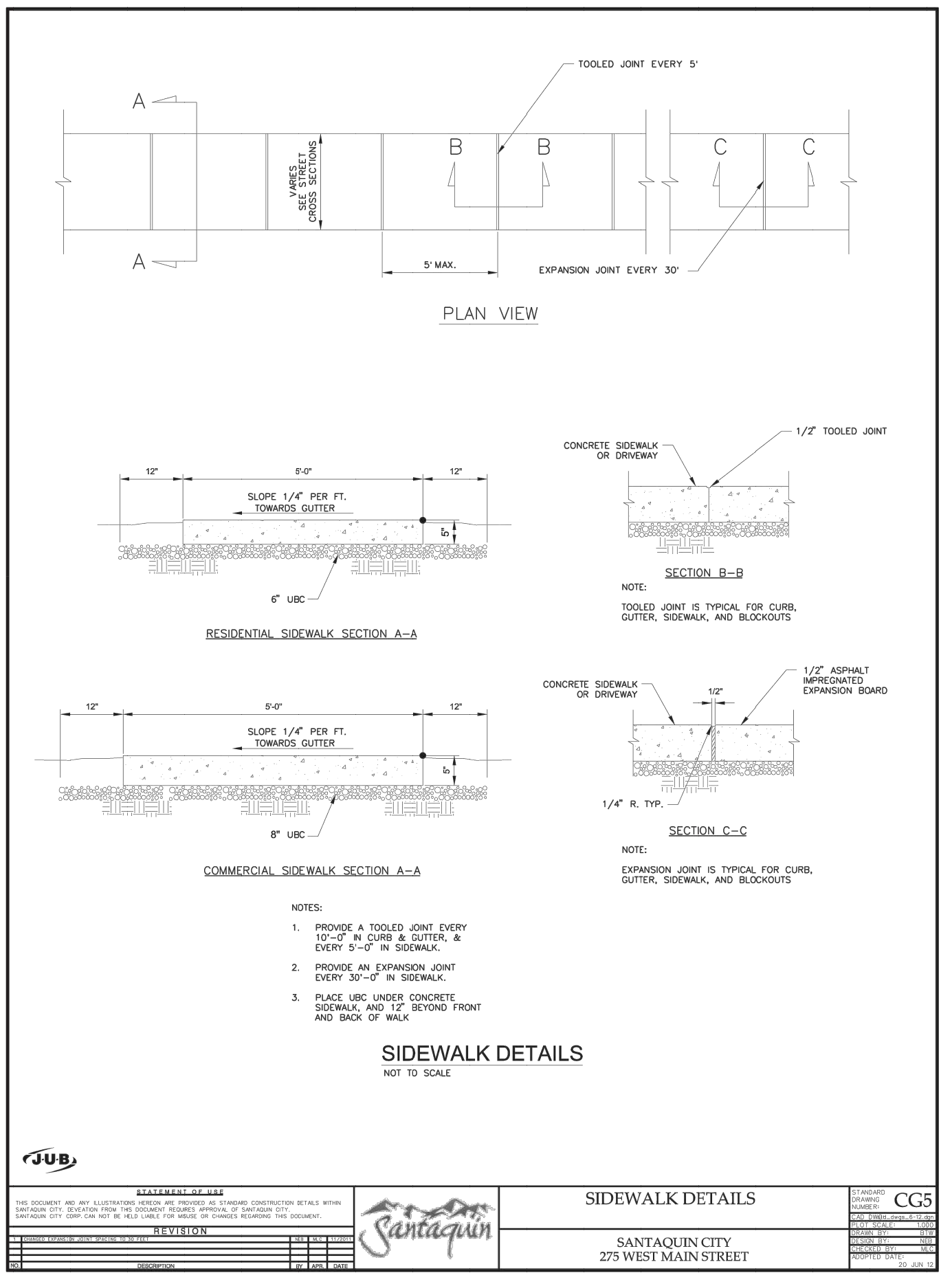
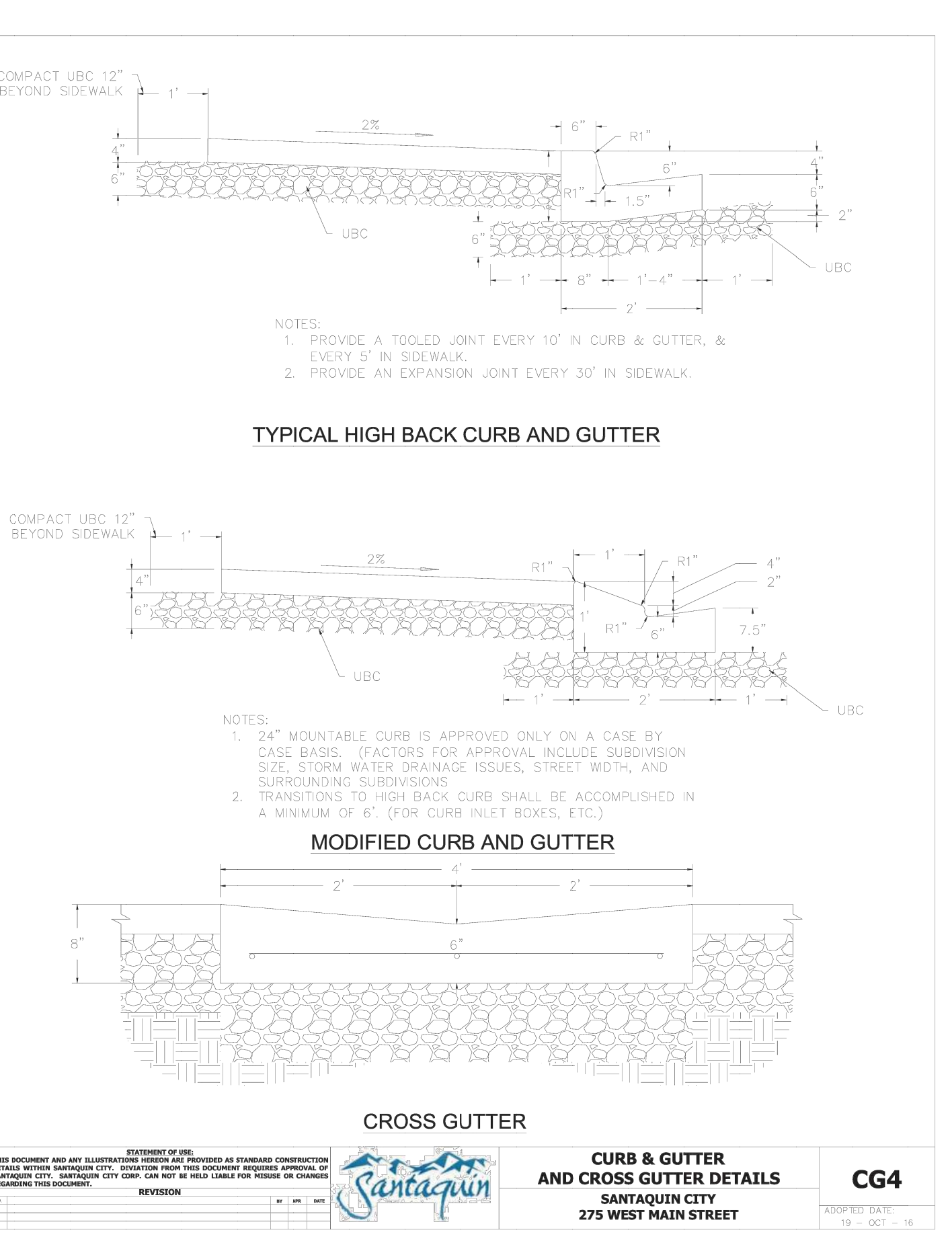
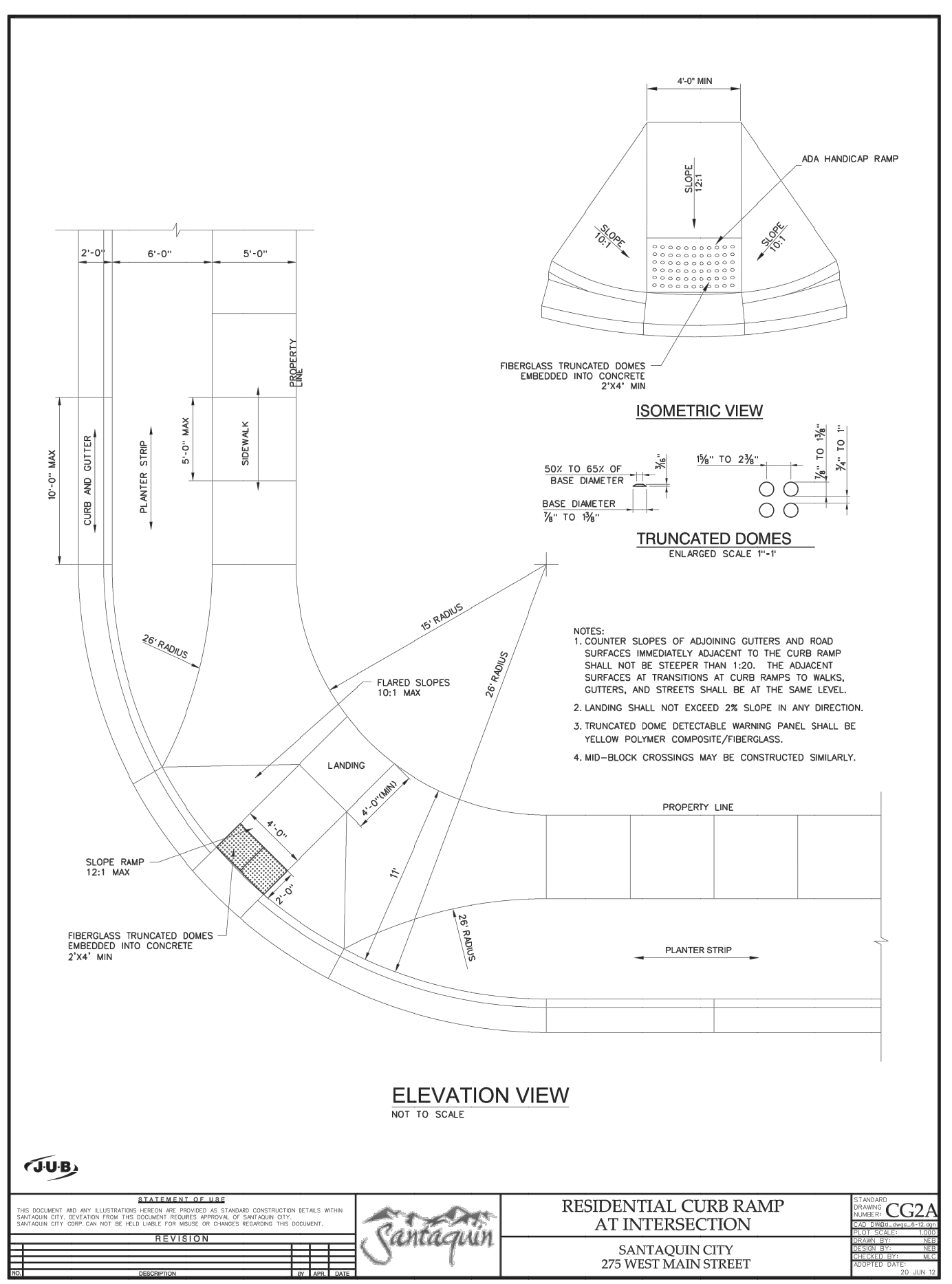
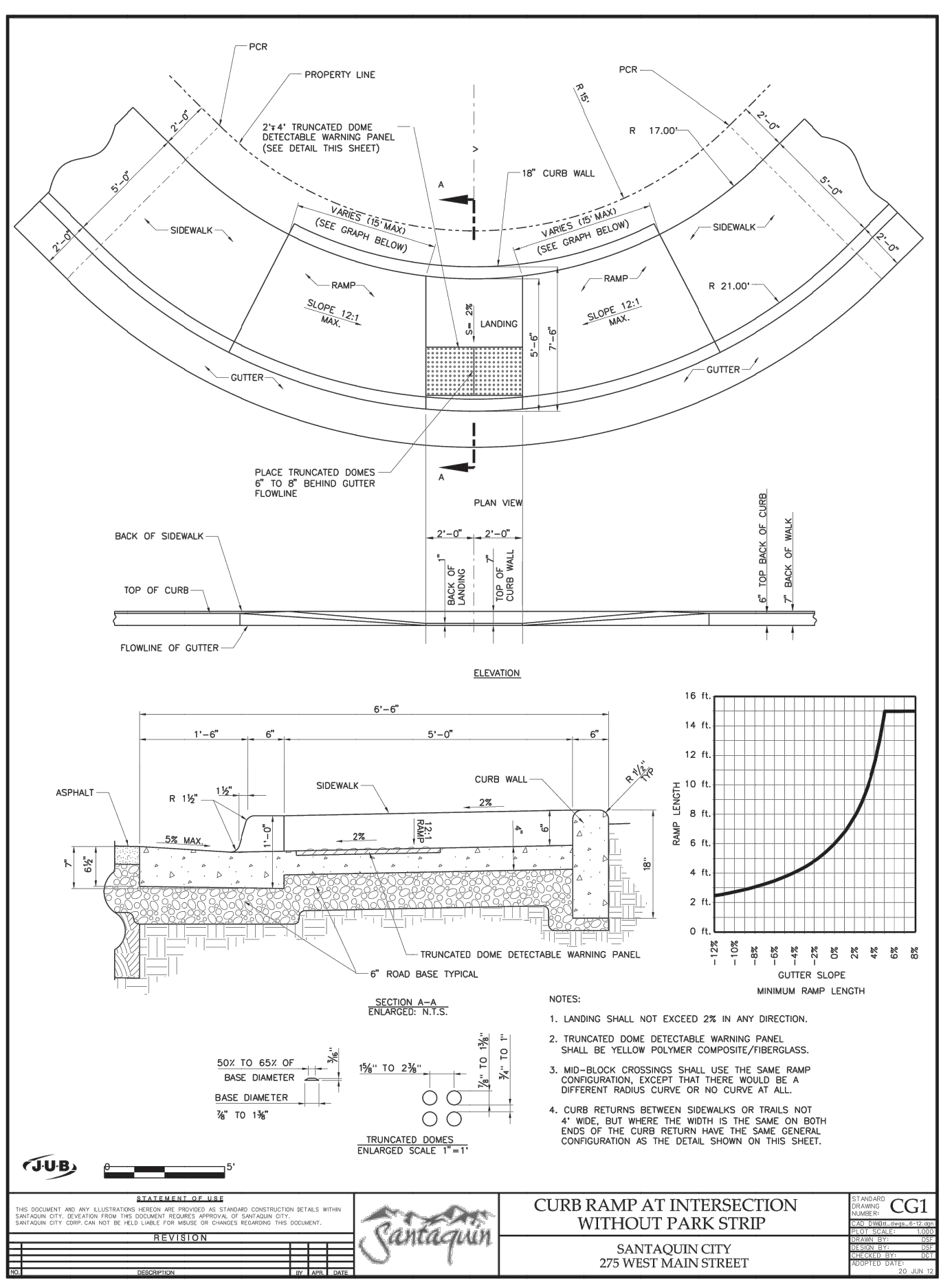
PROJECT

DESCRIPTION

### FINAL PLAT "A" CONSTRUCTION DRAWINGS

SHEET NAME	SHEET NUMBER
OVERALL PHASING PLAN	C9





ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LINDON, UT 84042  
801.785.8458

1018 N Deer Crest Lane  
Alpine, UT, 84004  
office [801] 492-1277  
cell [801] 616-1677

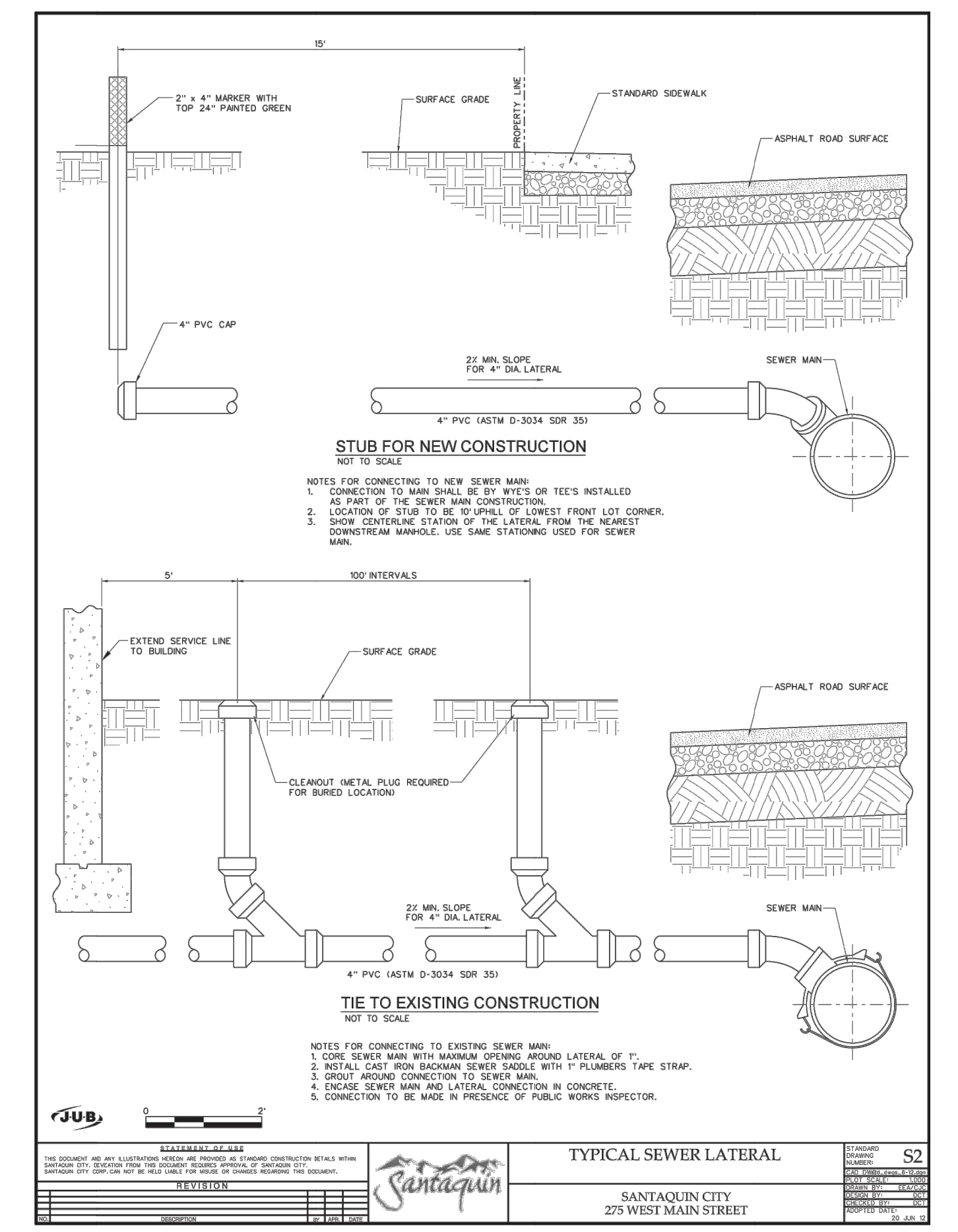
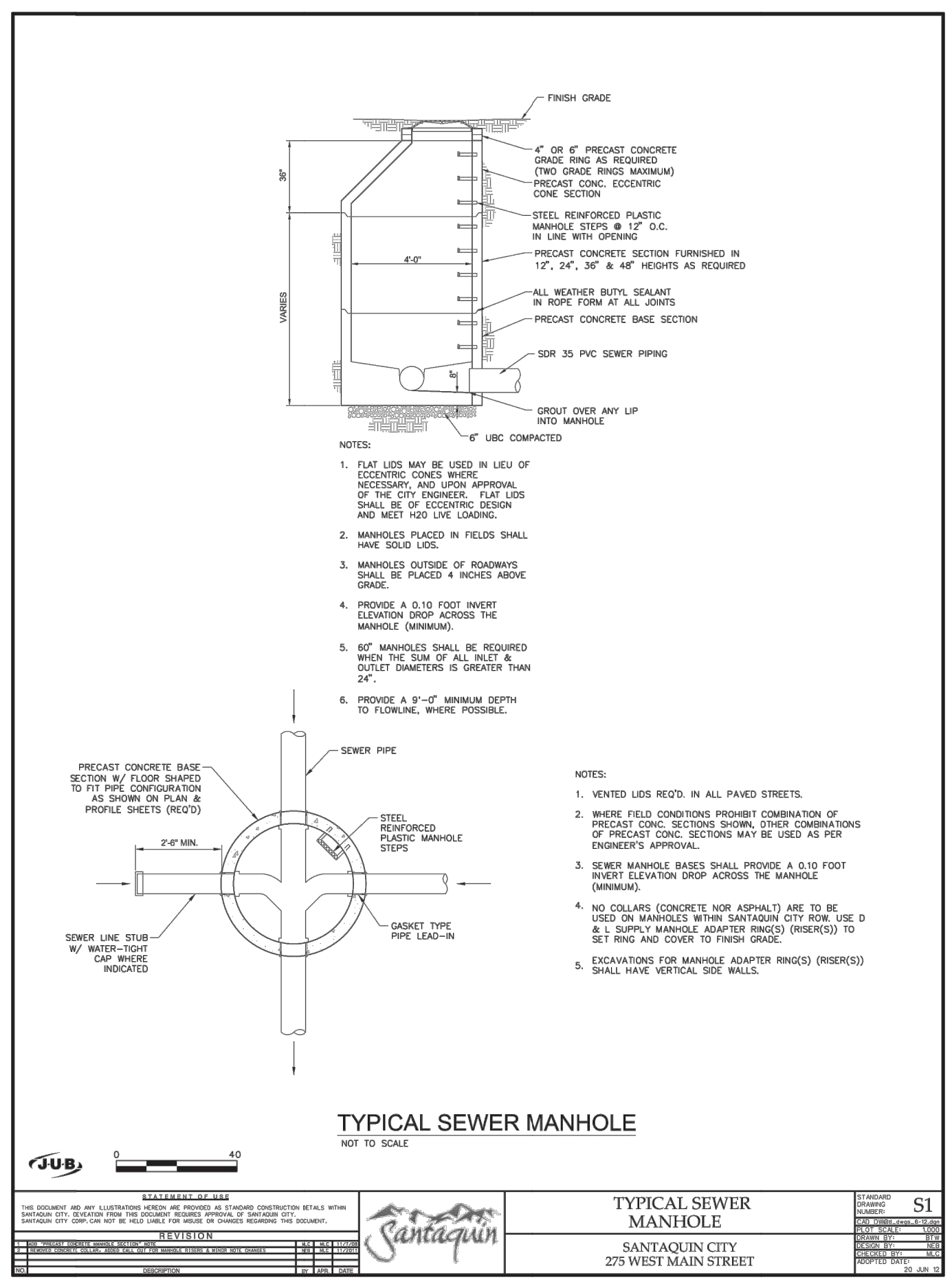
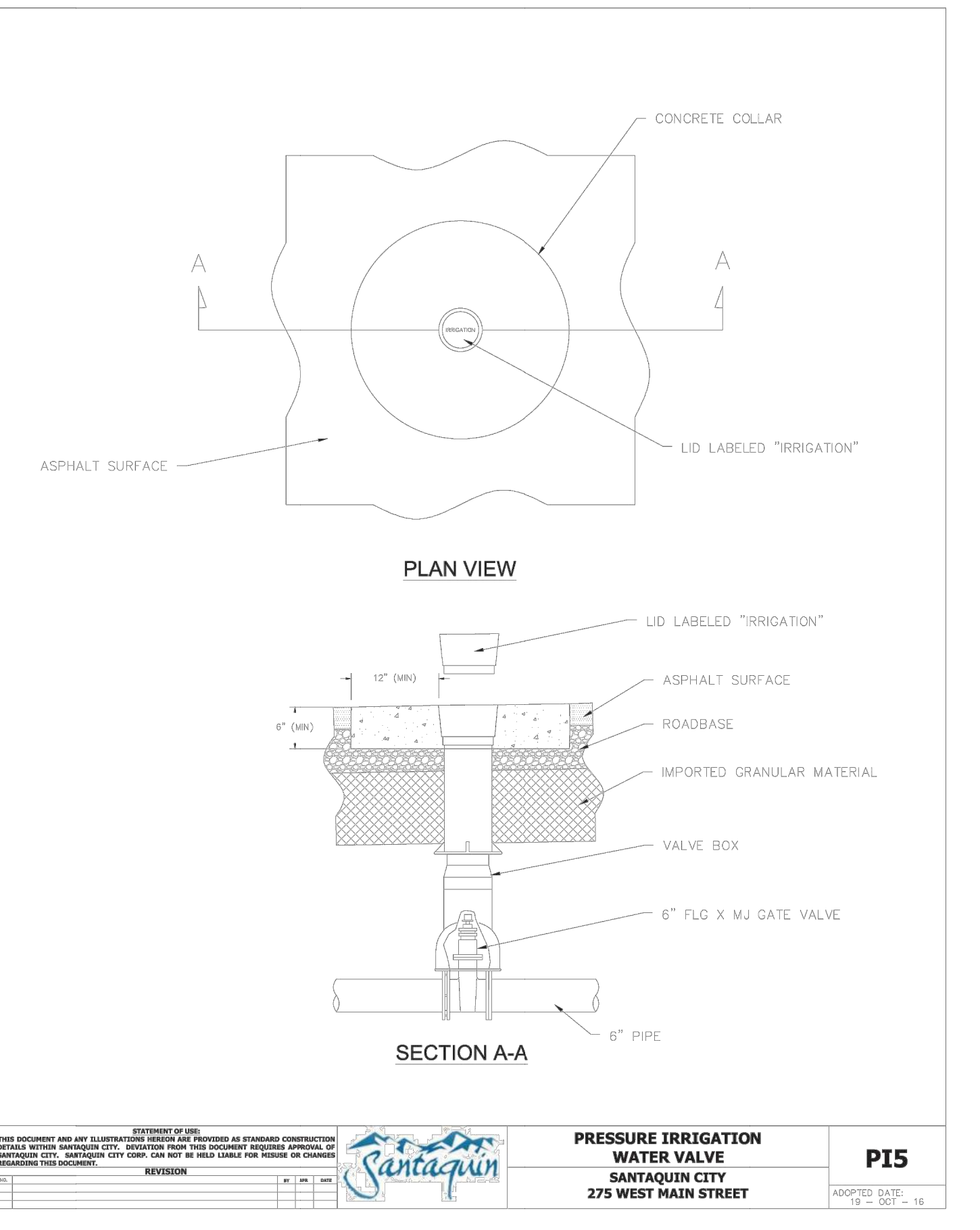
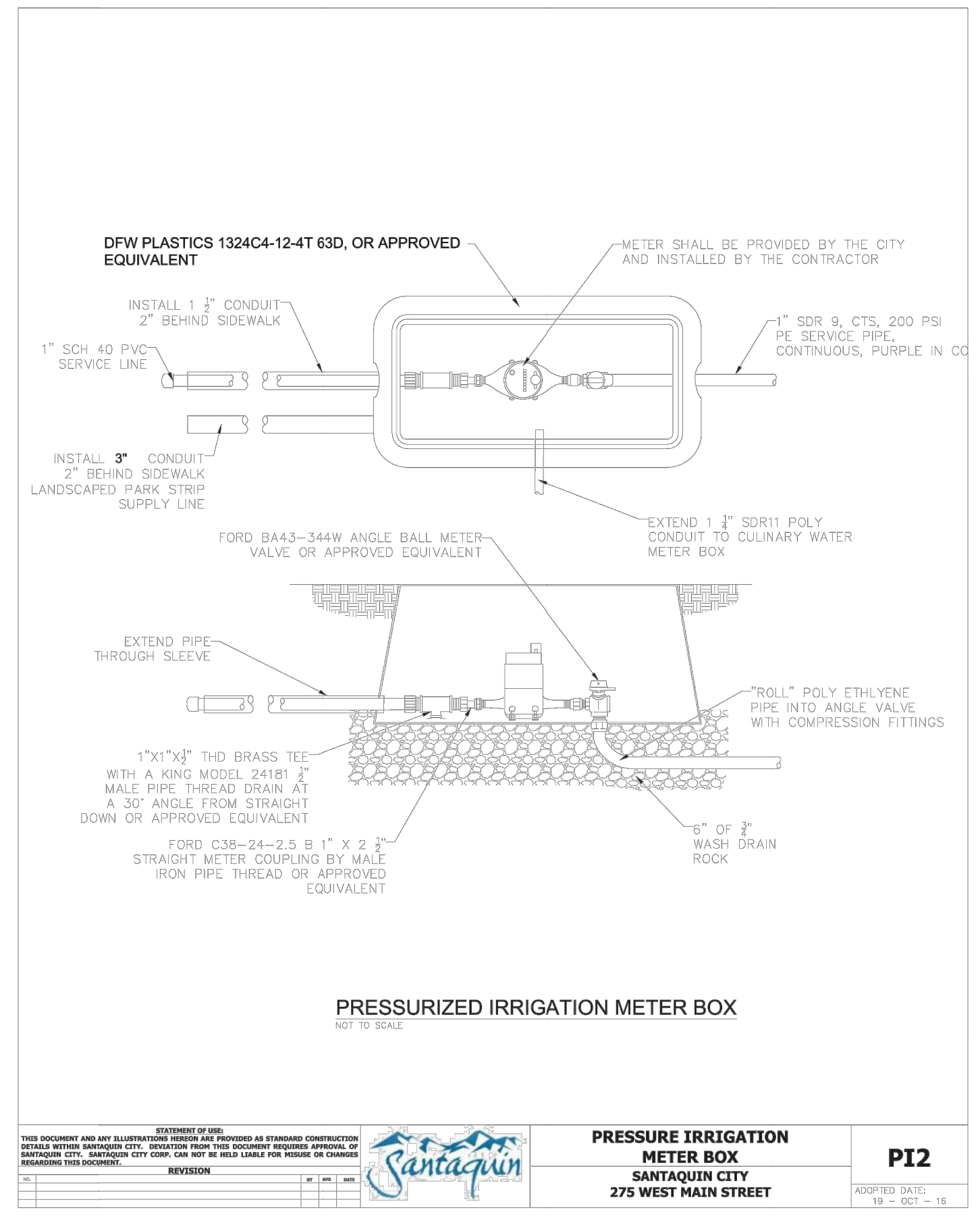
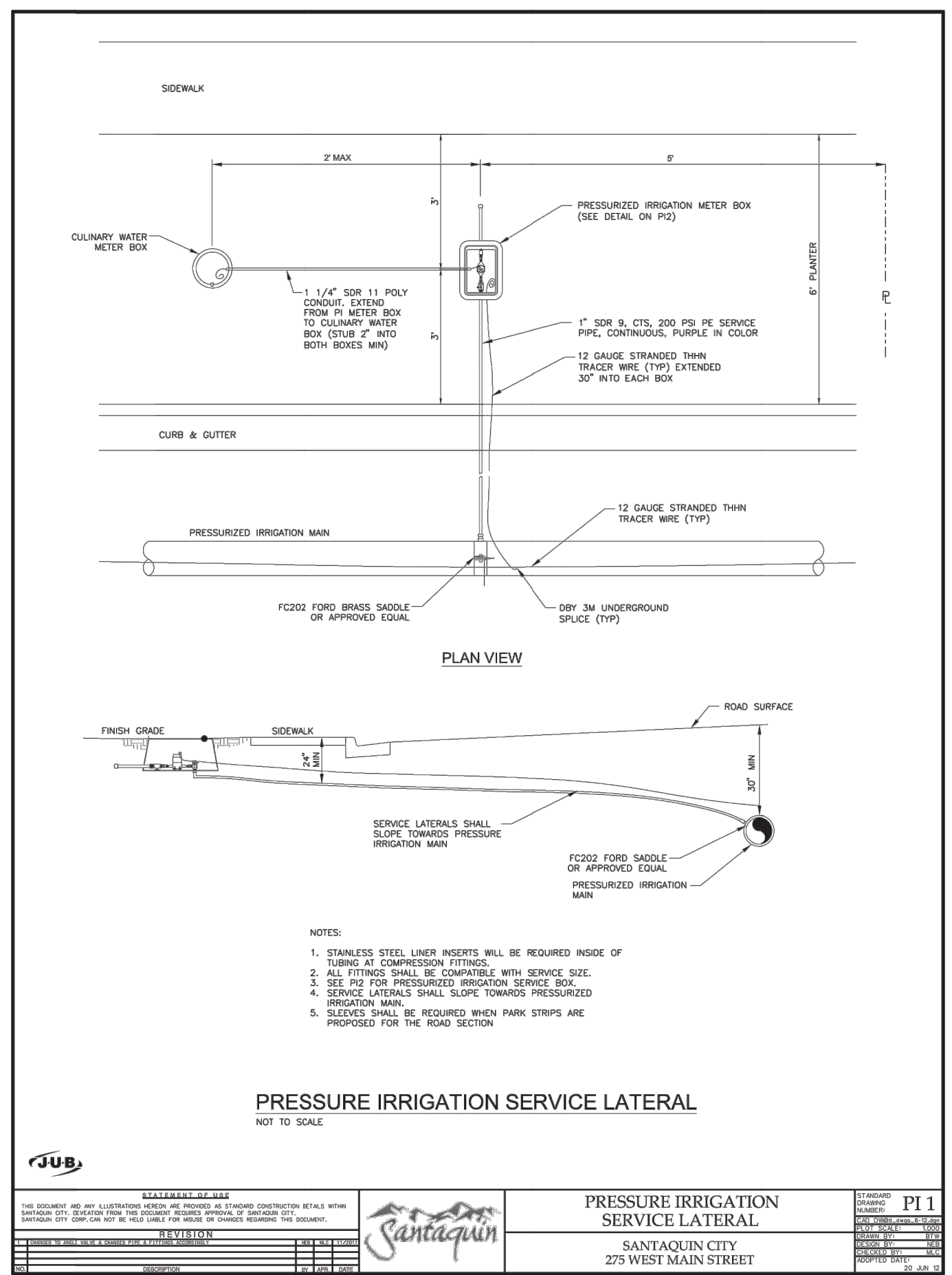
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PROJECT

DESCRIPTION

**FINAL PLAT "A" CONSTRUCTION DRAWINGS**

SHEET NAME	SHEET NUMBER
DETAILS	<b>DLT1</b>



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DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LONDON, UT 84042  
801.785.8458

**BERG CIVIL ENGINEERING**

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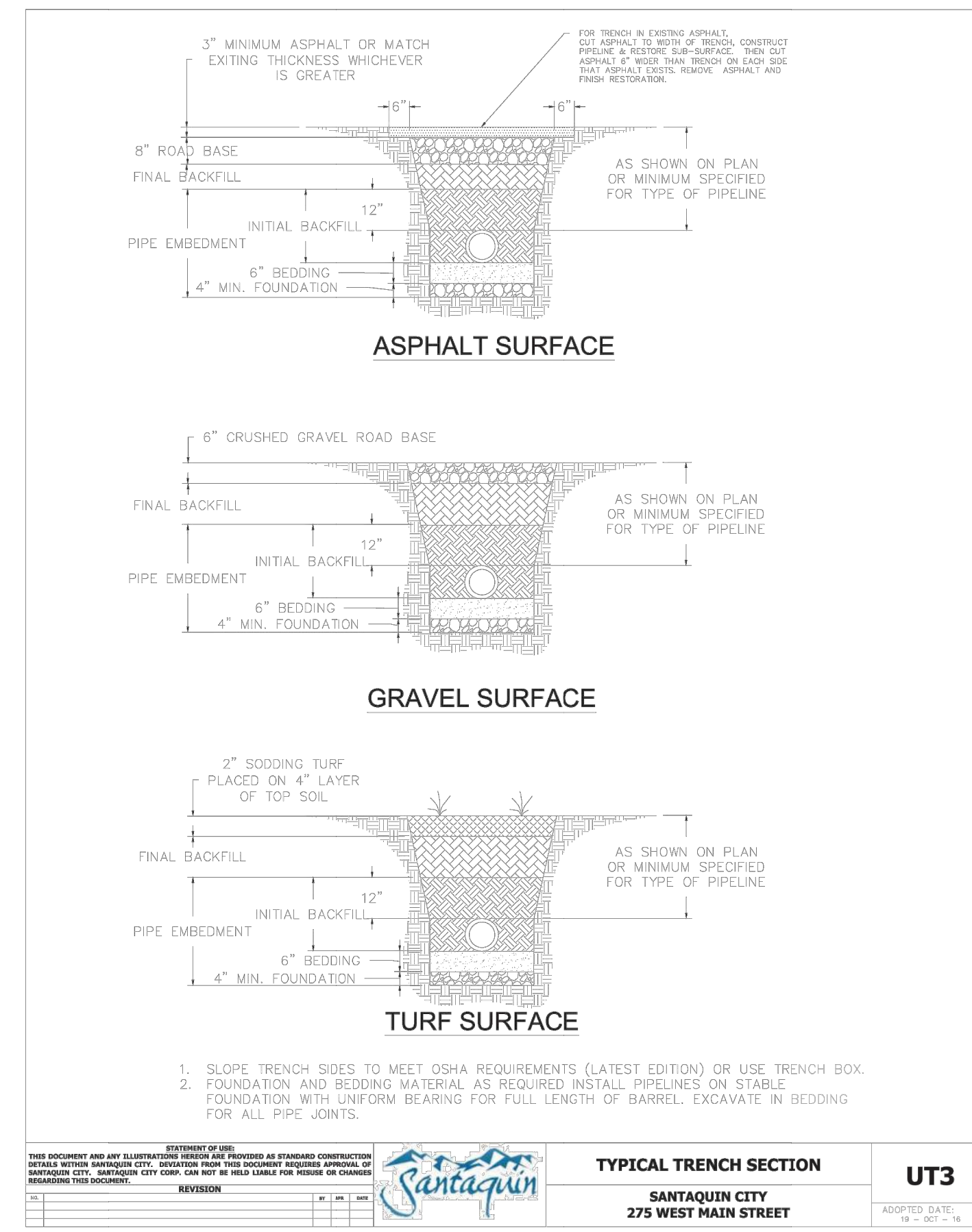
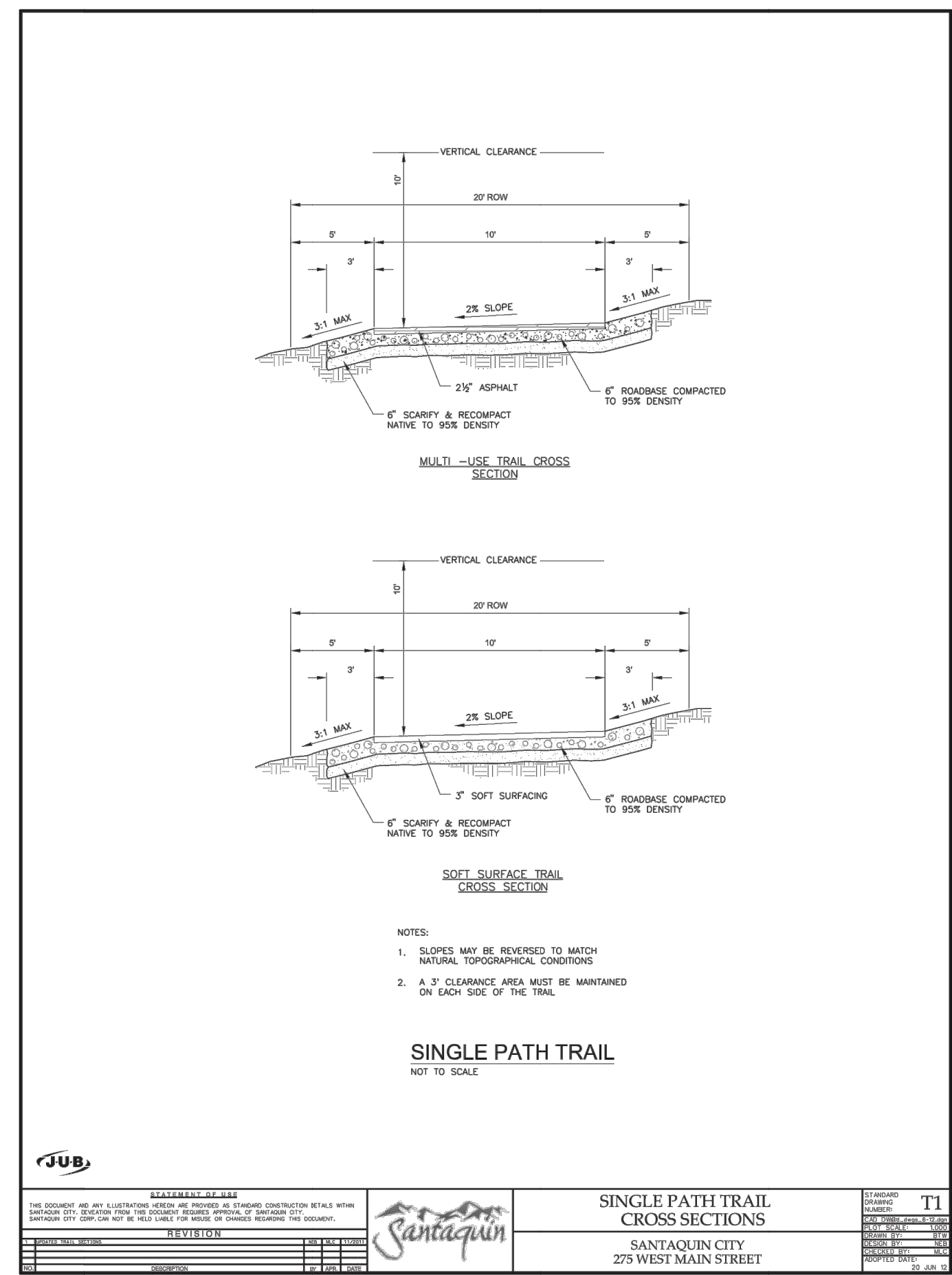
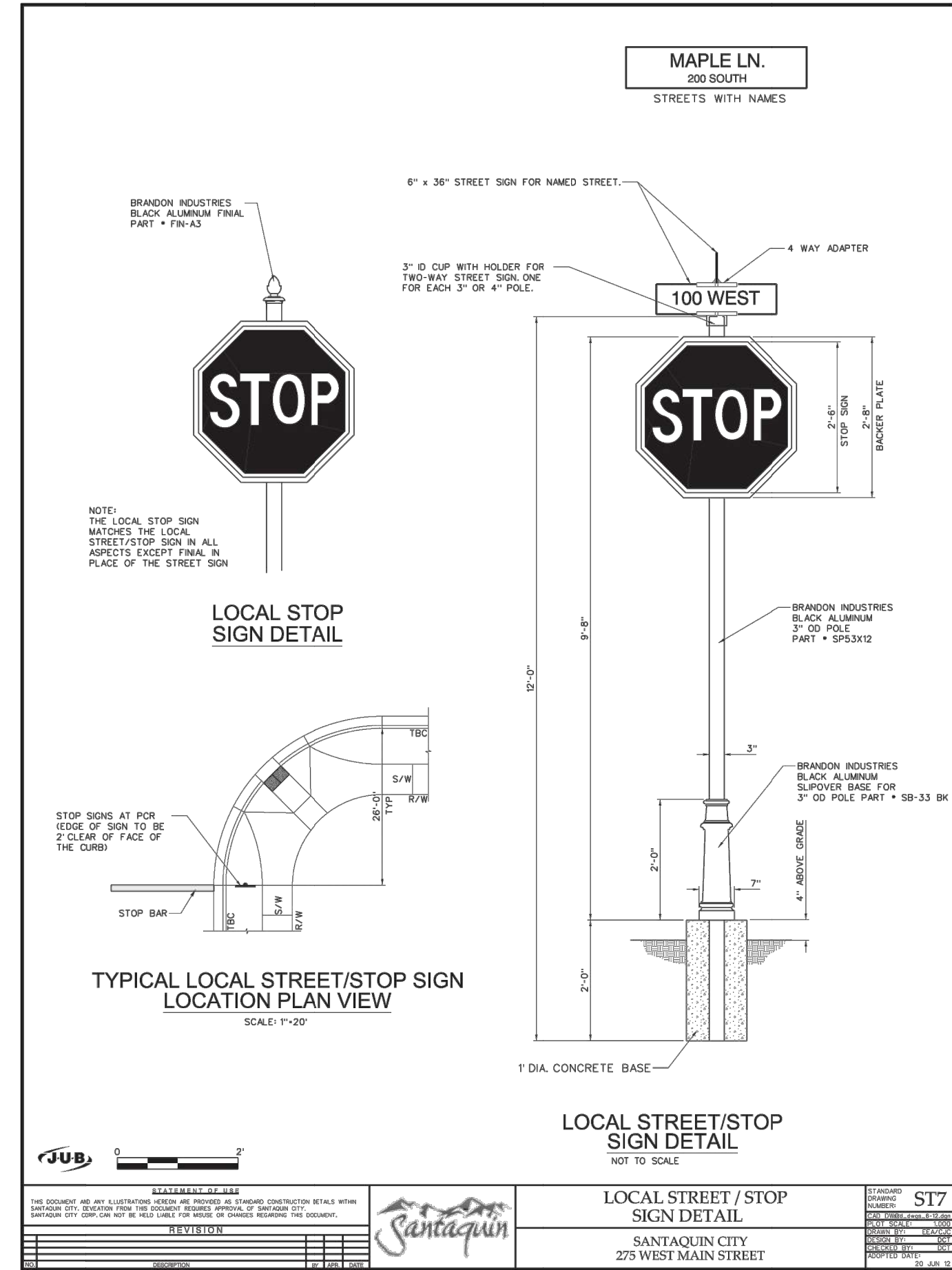
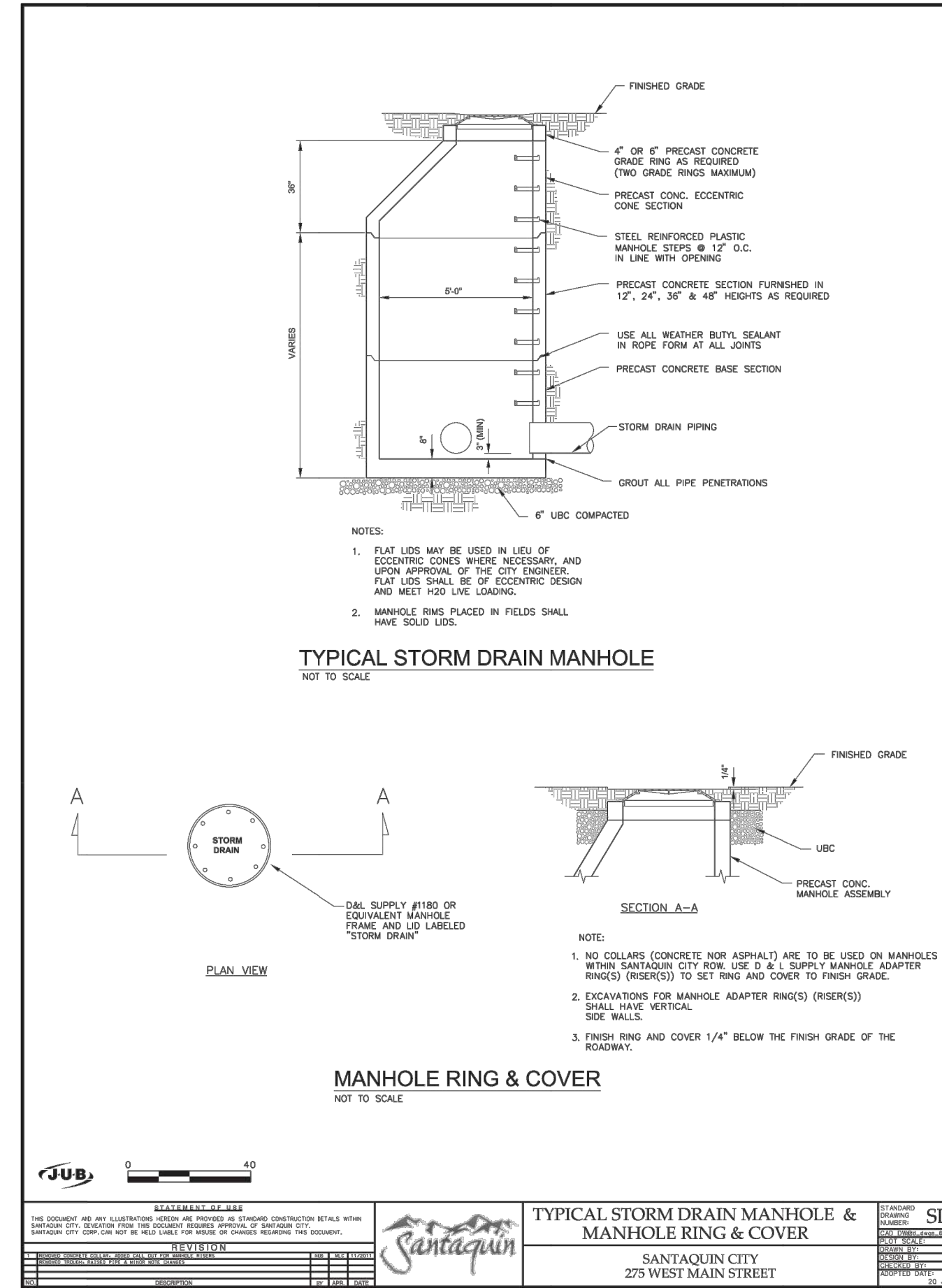
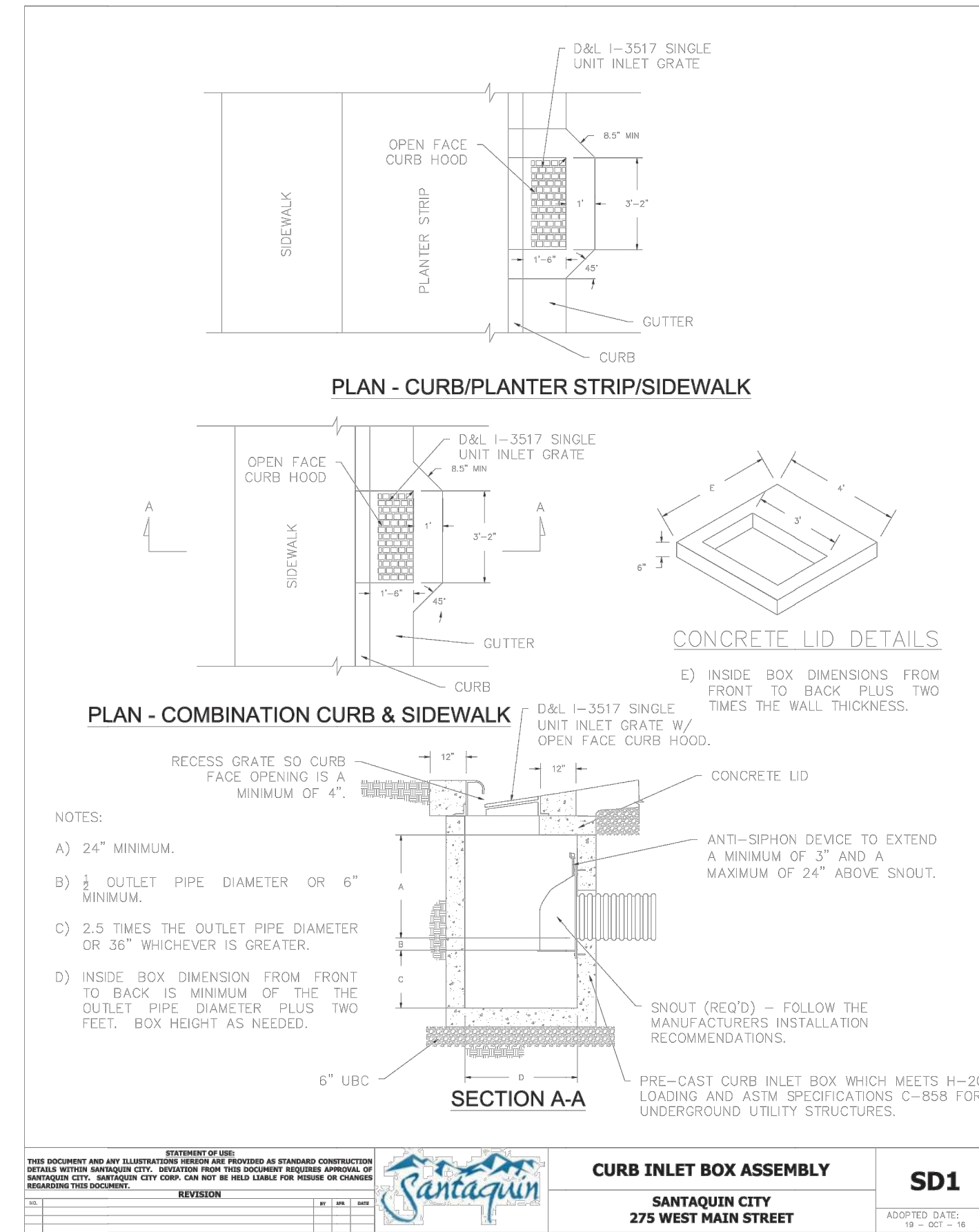
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A" CONSTRUCTION DRAWINGS**

SHEET NAME	SHEET NUMBER
DETAILS	<b>DLT2</b>



ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

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DEVELOPMENT

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LONDON, UT 84042  
801.785.8458

**BERG CIVIL ENGINEERING**

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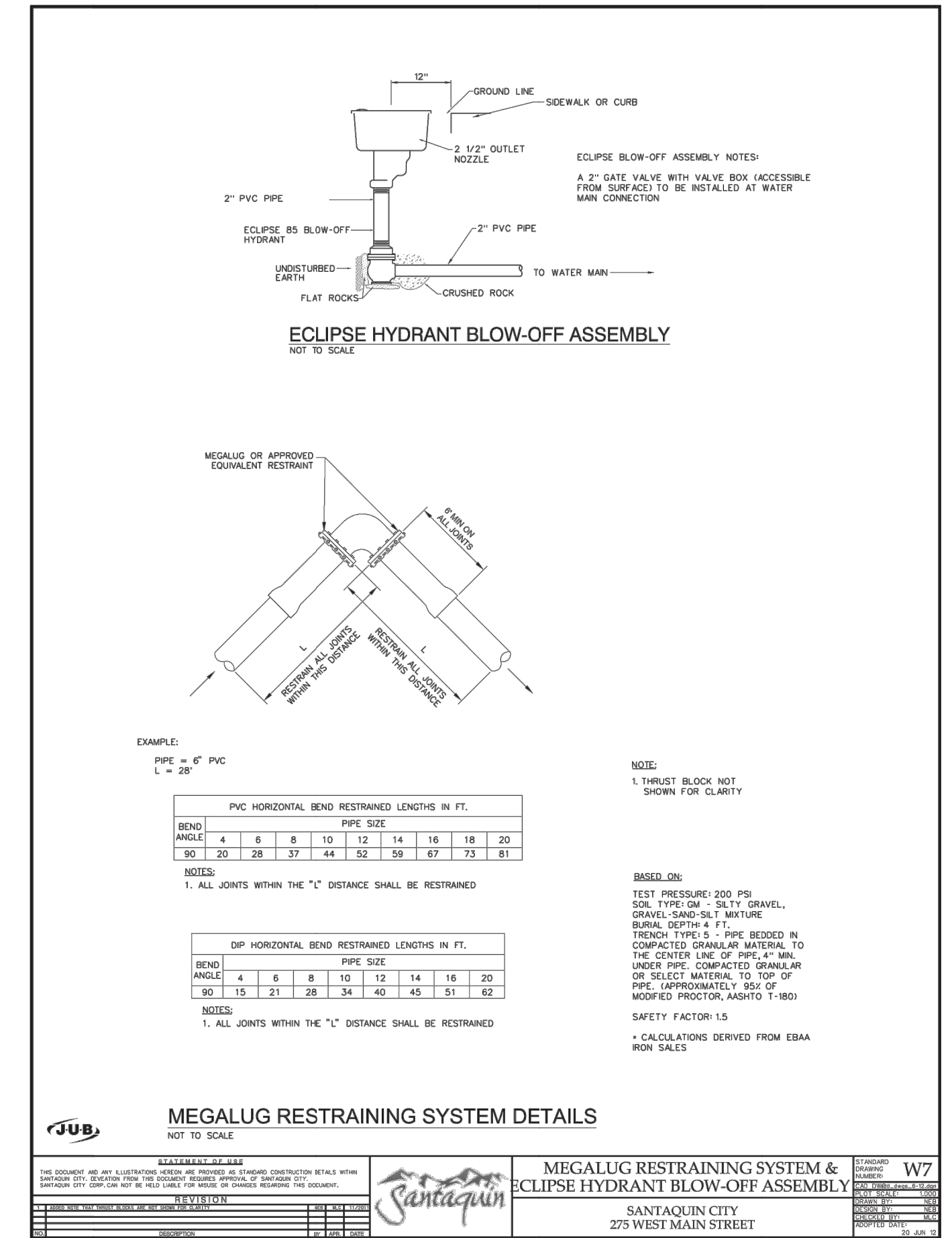
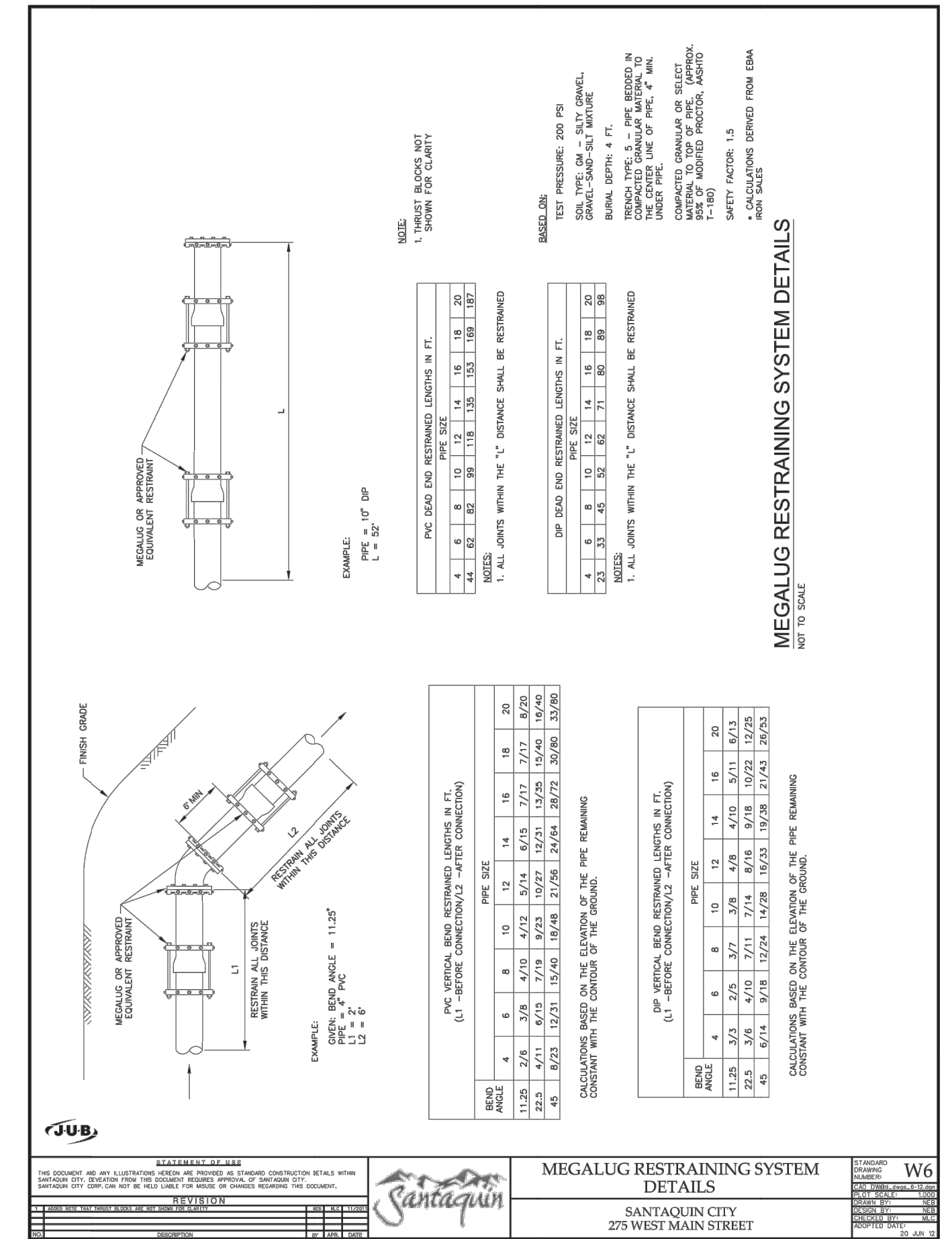
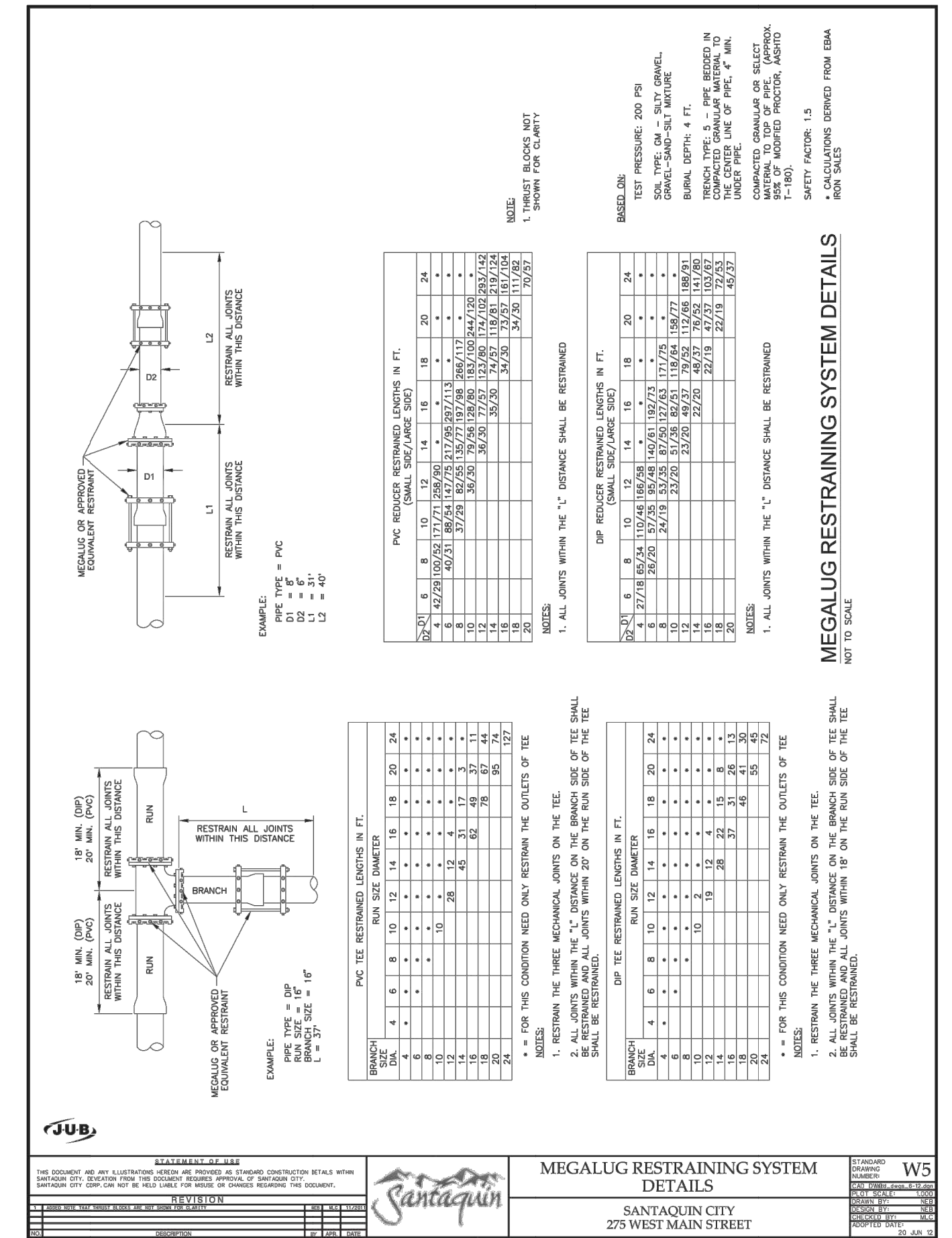
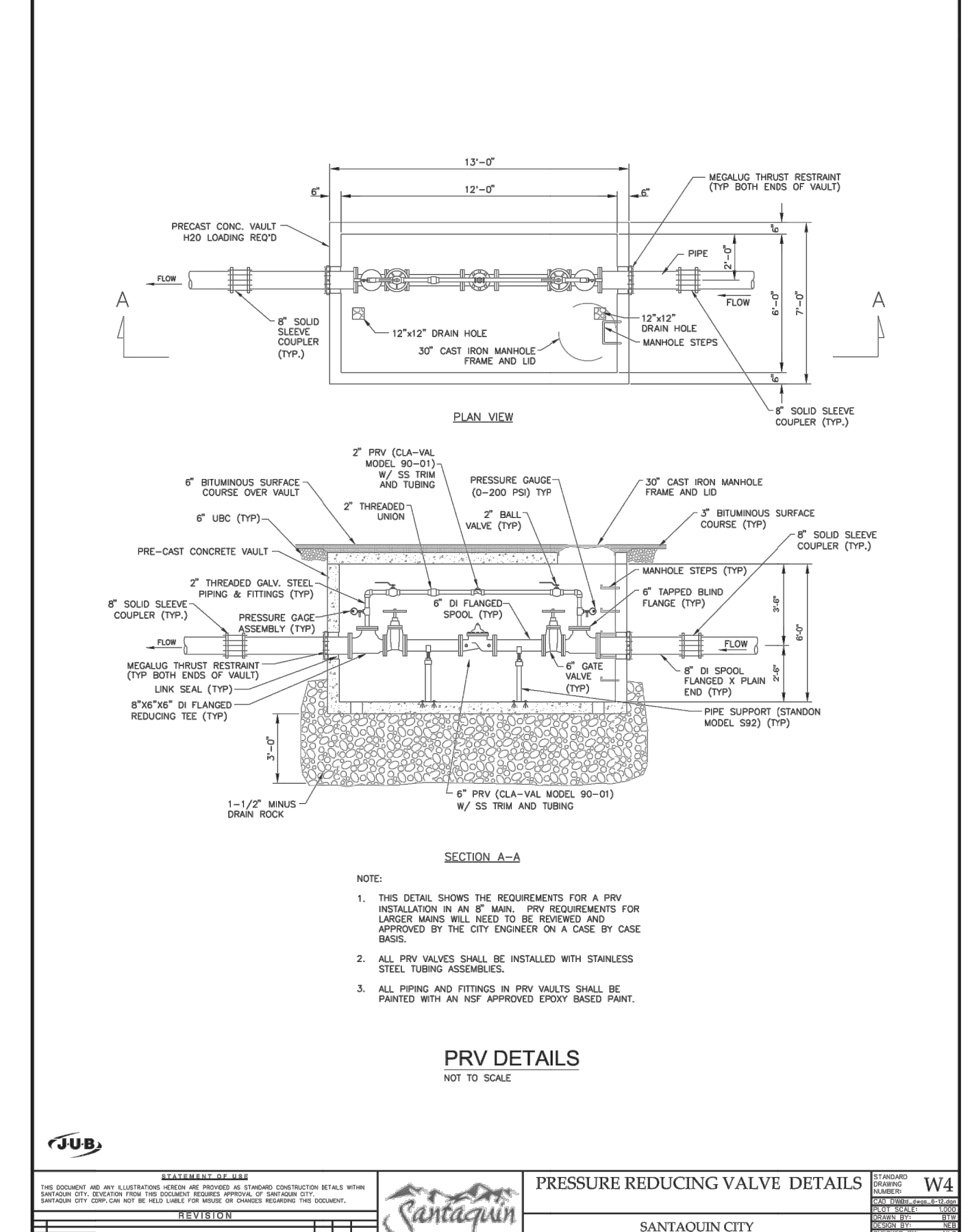
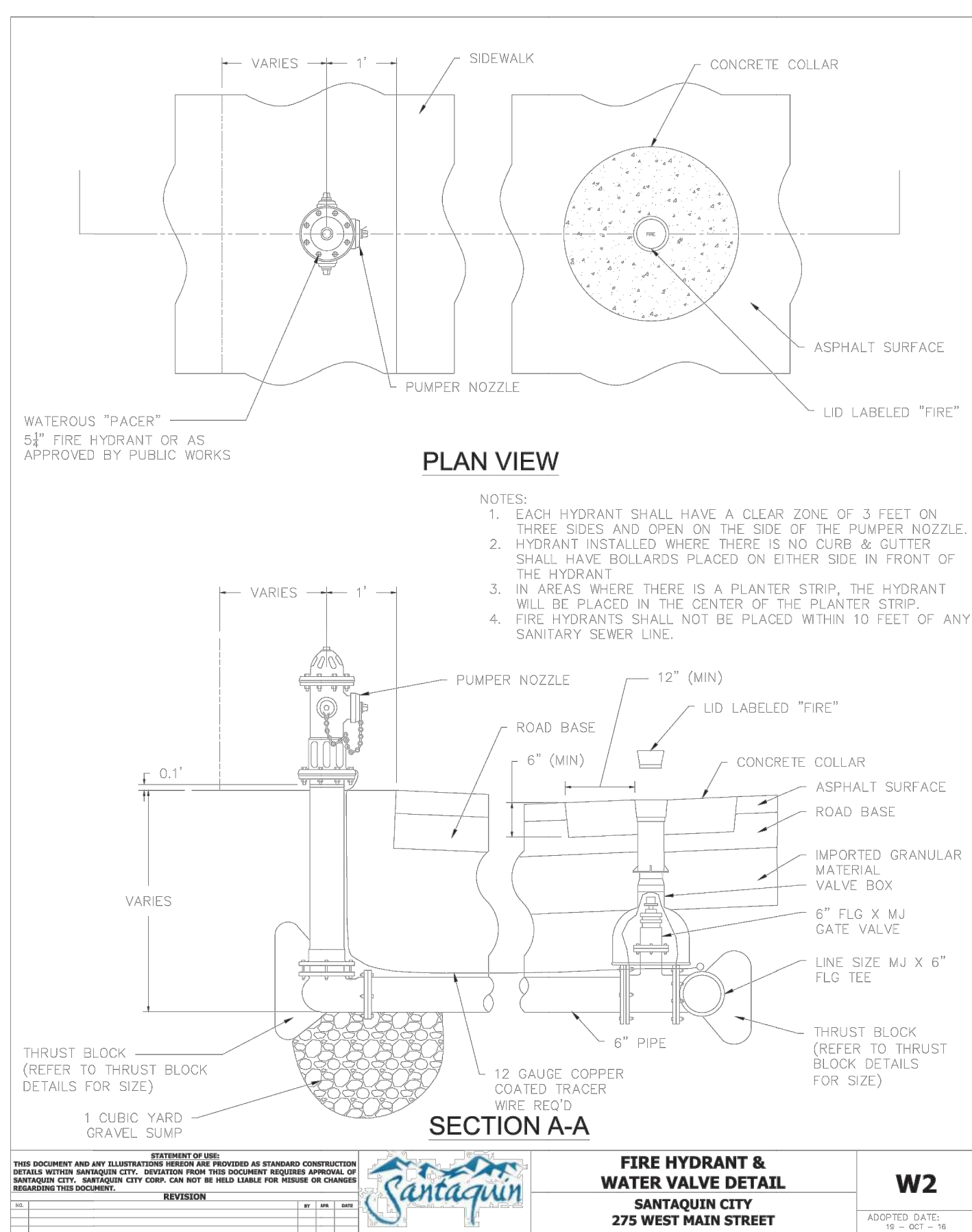
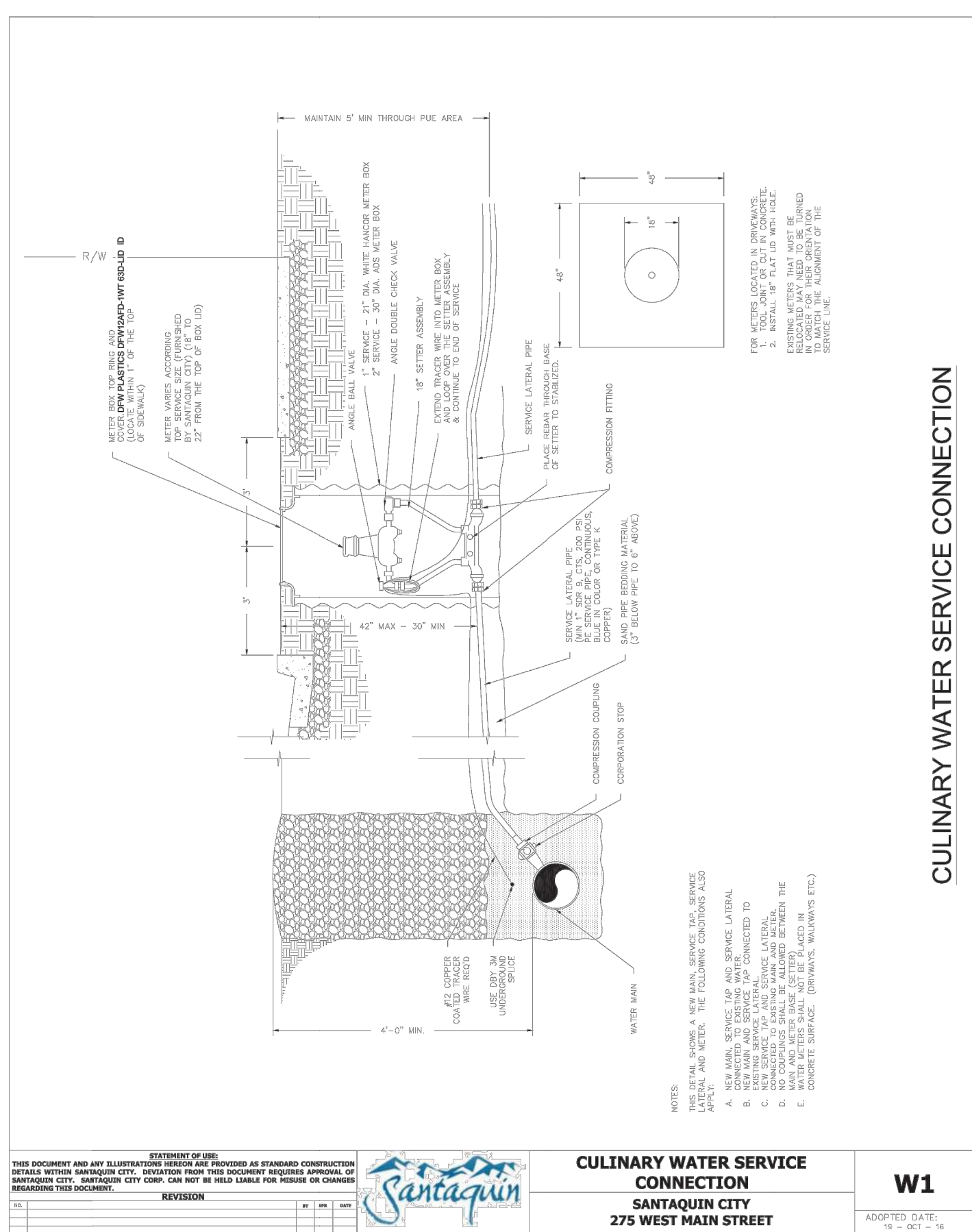
ACTION	DATE
FINAL	12-05-2023

PROJECT

DESCRIPTION

**FINAL PLAT "A" CONSTRUCTION DRAWINGS**

SHEET NAME	SHEET NUMBER
DETAILS	<b>DLT3</b>



ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

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DEVELOPMENT

**GreyCliffs ESTATES**

700 N SR198  
SANTAQUIN, UTAH COUNTY, UT

DEVELOPER

**GREY CLIFFS LLC.**

935 W. CENTER  
LONDON, UT 84042  
801.785.8458

CIVIL ENGINEERING

1018 N Deer Crest Lane  
Alpine UT, 84004  
office (801) 492-1277  
cell (801) 616-1677

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ACTION: FINAL DATE: 12-05-2023

PROJECT

**GreyCliffs ESTATES**

DESCRIPTION

**FINAL PLAT "A" CONSTRUCTION DRAWINGS**

SHEET NAME: DETAILS SHEET NUMBER: DLT4





**DRC Members in Attendance:** City Manager Norm Beagley, Senior Planner Ryan Harris, City Engineer Jon Lundell, Public Works Director Jason Callaway, Building Official Randy Spadafora, Police Officer Kayson Shepherd, Emergency Manager Chris Lindquist

**Others in Attendance:** Assistant Stephanie Christensen, Steve Larsen (Grey Cliffs applicant/owner), Ken Berg (Grey Cliffs Engineer).

Engineer Lundell called the meeting to order at 10:02 a.m.

### 1. Grey Cliffs Plat A Final Plan

*A final plan review for the Grey Cliffs Subdivision Plat A (22 lots) located east of State Road 198 and approximately 1082 E. Grey Cliffs Drive.*

Building Official Spadafora indicated that modifications were made to the addressing on the plat.

Public Works Director Callaway stated that water and sewer lines to be verified for size. He pointed out that sizing on the plans is different from what the City's records show. Engineer Lundell discussed with the applicant his concerns over the proposed sewer lateral lines and placement of manholes.

Emergency Manager Lindquist stated that Fire Chief Lind reviewed the plans and pointed out that temporary turnarounds will need to be added at each of the dead-end roads to accommodate fire engines (96 feet in cul-de-sac or hammerhead form). Chief Lind's communications continued to state that he could not see on the plans if fire hydrants are placed at the four-way road, lots 118, 119, or 112. Chief Lind added that hydrants must be placed in the areas meeting the 500-foot requirements. Engineer Lundell pointed out placement of hydrants on the plans.

Police Officer Shepherd added that a street sign plan showing stop signs for the subdivision was not included with the plans and will need to be reviewed. Mr. Berg pointed out the symbol on the plans that indicate stop signs. Engineer Lundell asked that those symbols be labeled clearly.

Senior Planner Harris pointed out that the commercial lots on the plan are not platted according to the approved phasing plan. Engineer Lundell indicated that all improvements will be required around the perimeter of the subdivision, including the SR 198 area. Senior Planner Harris noted that exterior fencing will need to be maintained by the property owners and noted such on the plans.

Engineer Lundell pointed out various notes and missing callouts on the plans, and that redline comments will be sent to the applicant. He added that all geotechnical information must be submitted to the City. Engineer Lundell discussed that reinforced concrete pipes (RCP) are not required but the applicant may install them as proposed on the plans or required by the Utah Department of Transportation (UDOT). He added that service laterals going into each lot are not clear on the plans, adding that the plans were difficult to read overall and requested that they be made more legible. Manager Beagley noted that storm drain infiltration galleries need to be placed (and labeled on the plans) at least 5-feet back from the curb and gutter. At Cherry Lane and SR 198, sizing for P.I. lines need to be verified. Engineer Lundell showed where Pressure Reducing Valves (PRVs) need to be relocated on the appropriate sized P.I. lines. Engineer Lundell also discussed the placement and sizing of P.I. lines and

whether two 45-degree bends should be placed versus a 90. He added that the City will work with the applicant/owners to make sure appropriate waterline looping is placed in the development. Manager Beagley addressed concerns about fault zones in the development and what types of pipes will be required due to those fault zones, especially in consideration of emergencies. Members of the DRC discussed that ductile iron pipes will be required within identified fault zones and standard PVC lines in other areas of the development.

City Manager Beagley made a motion to table the Grey Cliffs Plat A Final Plan so that redlines can be addressed. Building Manager Spadafora seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Emergency Manager Chris Lindquist	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

## 2. Traffic Control Request (400 S. 200 W.)

The applicant is requesting a four-way stop at 400 S. 200 W. due to increased traffic along the frontage road. Engineer Lundell indicated that traffic counters have been placed on the road in the location as well as a speed trailer (placed last year) to gather data in the area. The posted speed limit in the area is 25 miles per hour and the recorded average speed through the study is 30 miles per hour. He added that the volume of traffic is 1,200 average daily trips (ADT) on the northbound route and 1400 ADT southbound. After review of the Municipal Uniform Traffic Code and Devices (MUTCD) standards, the volumes of traffic do not warrant a stop sign from an engineering perspective.

Building Manager Spadafora asked if there is a downside to putting stop signs at the location. Engineer Lundell stated that studies show stop signs to not slow traffic down but rather increase the speed at which individuals stop and start at an intersection. Manager Beagley added that noise complaints have been documented at the intersection and along this roadway with regards to large/heavy trucks and expressed concerns that if a stop sign is placed, that the large trucks would have more engine brake and other noise disturbances. Director Callaway pointed out that multiple traffic studies have been conducted in the area. He added that other options like a larger speed limit sign and roadway striping may be more helpful than a four-way stop. Emergency Manager Lindquist conveyed Chief Lind's concerns about a four-way stop at the intersection contributing to additional truck noise and issues for snowplows. Officer Shepherd and Planner Harris both agreed with everything discussed. Engineer Lundell recommended that roadway striping be added on the road on 200 W. to include two outer white lines and a double yellow center line which would narrow the road and slow people down.

Director Callaway made a motion to stripe 200 West and approximately 600 S. to Main Street. Building Official Spadafora seconded the motion.

Police Officer Kayson Shepherd	Yes
--------------------------------	-----

Public Works Director Jason Callaway	Yes
Emergency Manager Chris Lindquist	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

The motion passed unanimously.

**Meeting Minutes Approval**

Manager Beagley made a motion to approve the October 24, 2023 meeting minutes. Building Official Spadafora seconded the motion.

Police Officer Kayson Shepherd	Yes
Public Works Director Jason Callaway	Yes
Emergency Manager Chris Lindquist	Yes
City Manager Norm Beagley	Yes
Senior Planner Ryan Harris	Yes
Building Official Randy Spadafora	Yes
City Engineer Jon Lundell	Yes

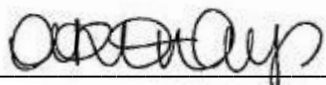
The motion passed unanimously.

**Adjournment**

Director Callaway made a motion to adjourn.

The meeting was adjourned at 10:59 a.m.

\_\_\_\_\_  
Jon Lundell, City Engineer

  
\_\_\_\_\_  
Amalie R. Ottley, City Recorder