



**PLANNING COMMISSION MEETING**  
117 South Main Street, Monticello, Utah 84535. Commission Chambers  
September 09, 2021 at 6:00 PM

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**AGENDA**

Google Meet joining info  
Video call link: <https://meet.google.com/wma-afjh-gbg>  
Or dial: (US) +1 727-877-8458 PIN: 489 854 957#  
More phone numbers: <https://tel.meet/wma-afjh-gbg?pin=5790317904712>

**GENERAL BUSINESS**

**Welcome / Roll Call**

**Approval of Minutes**

1. Approval of Minutes for August 12, 2021 San Juan County Planning Commission Meeting    ACTION
2. Approval of Minutes for August 19, 2021 San Juan County Planning Commission Work Meeting    ACTION

**PUBLIC COMMENT** - *Time reserved for public comment on items or issues not listed on the agenda.*

**ADMINISTRATIVE ITEMS**

3. Lonesome Left Estates Amendment No. 4, Lloyd Wilson    ACTION
4. White Rock Resort Conditional Use Permit Application, Lex Ence    ACTION
5. Monticello College CUP Application, Shannon Brooks    ACTION
6. Wolf Springs Ranch CUP Application, Brian Ballard    ACTION

**LEGISLATIVE ITEMS**

7. SITLA PC Zone Application and Preliminary Community Structure Plan    DISCUSSION

**BUILDING PERMIT(S) REVIEW**

8. Building Permit List

**ADJOURNMENT**

## **WORK MEETING**

9. Draft Zoning Ordinance      DISCUSSION

## **ADJOURNMENT**

**\*\*In compliance with the Americans with Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the San Juan County Clerk's Office: 117 South Main, Monticello or telephone 435-587-3223, giving reasonable notice\*\***



**SAN JUAN COUNTY PLANNING COMMISSION MEETING**  
**117 South Main Street, Monticello, Utah 84535. Commission Chambers**  
**August 12, 2021 at 6:00 PM**

## MINUTES

### GENERAL BUSINESS

#### Welcome / Roll Call

PC Chair Trent Shafer called the meeting to order at 6:10 pm.

#### PRESENT

Chairman Trent Schafer  
 Commissioner Lloyd Wilson  
 Commissioner Cole Cloward  
 Commissioner Melvin Nelson  
 Commissioner Cody Nielson

#### Approval of Minutes

**1. Approval of minutes for July 8, 2021 San Juan County PC Meeting      ACTION**

Motion to approve the minutes was made by Commissioner Wilson, Seconded by Commissioner Nelson.

Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nelson, Commissioner Nielson

**2. Approval of minutes for July 15, 2021 San Juan County PC Work Meeting      ACTION**

Motion to approve the minutes was made by Commissioner Wilson, Seconded by Commissioner Cloward.

Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nelson, Commissioner Nielson

**PUBLIC COMMENT** - *Time reserved for public comment on items or issues not listed on the agenda.*

**Time Stamp 3:54 (audio)**

PC Chair Trent Schafer commented on the recent flooding in Spanish Valley, which led to a discussion about floodplain mapping.

No other public comment was made.

### **ADMINISTRATIVE ITEMS**

#### **3. Blankenagle Subdivision Amendment No. 4, Brad Bunker, Bunker Engineering ACTION**

**Time Stamp 41:20 (audio)**

Brad Bunker with Bunker Engineering presented this subdivision amendment. The PC Commissioners discussion centered on the status of the roads.

Motion to approve the subdivision amendment was made by Commissioner Wilson, Seconded by Commissioner Cloward.

Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nielson, Commissioner Nielson

### **LEGISLATIVE ITEMS**

#### **4. Overnight Accommodations Overlay Application, Curtis Wells, Byrd Company Real Estate, Scott Burton, San Juan County Planning and Zoning**

**Time Stamp 6:55 (audio)**

PC discussed the overnight accommodations overlay, Commissioner Wilson pointed out that the adjoining properties are overnight accommodations, and expressed support for the overlay to apply to these properties. Curtis Wells expressed the desire to bring the property use more into conformance with the new zoning.

Motion to recommend the overlay application to the San Juan County Board of Commissioners was made by Commissioner Nielson, Seconded by Commissioner Wilson.

Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nielson, Commissioner Nielson

### **BUILDING PERMIT(S) REVIEW**

#### **5. Building Permit List**

**Time Stamp 26:15 (audio)**

The building permit list was presented and discussed.

### **ADJOURNMENT**

**Time Stamp 1:06:30 (audio)**

Motion to adjourn was made by Commissioner Wilson, Seconded by Commissioner Cloward.  
Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nelson, Commissioner Nielson

**WORK MEETING**

**Time Stamp 1:06:47 (audio)**

Motion to enter Work Meeting was made by Commissioner Wilson, Seconded by Commissioner Cloward.  
Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nelson, Commissioner Nielson

**6. Draft Zoning Ordinances DISCUSSION**

PC discussed the Agricultural Chapter, and the General Provisions Chapter. No action was taken.

**ADJOURNMENT**

**Time Stamp 2:48:53 (audio)**

Motion to adjourn was made by Commissioner Nelson, Seconded by Commissioner Cloward.  
Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nelson, Commissioner Nielson

APPROVED: \_\_\_\_\_  
San Juan County Planning Commission

DATE: \_\_\_\_\_



**PLANNING COMMISSION WORK MEETING**  
117 South Main Street, Monticello, Utah 84535. Commission Chambers  
August 19, 2021 at 6:00 PM

**MINUTES**

**Welcome / Roll Call**

PC Commission Chair Trent Schafer called the meeting to order at 6:15 pm.

**AGENDA ITEMS**

- 1. Draft Zoning Ordinances      DISCUSSION

PC Discussed the Appeals Chapter, Definitions Chapter, Agriculture Zone, Residential Zone, and Multiple Use Zone, No action was taken

**ADJOURNMENT**

**Time Stamp 2:12:23**

Motion to adjourn was made by Commissioner Nielson, Seconded by Commissioner Cloward.  
Voting Yea: Chairman Schafer, Commissioner Wilson, Commissioner Cloward, Commissioner Nielson

APPROVED: \_\_\_\_\_  
San Juan County Planning Commission

DATE: \_\_\_\_\_

# Final Plat Lonesome Left Estates Subdivision Amendment No. 4 Within Section 1, T27S, R22E, SLB&M

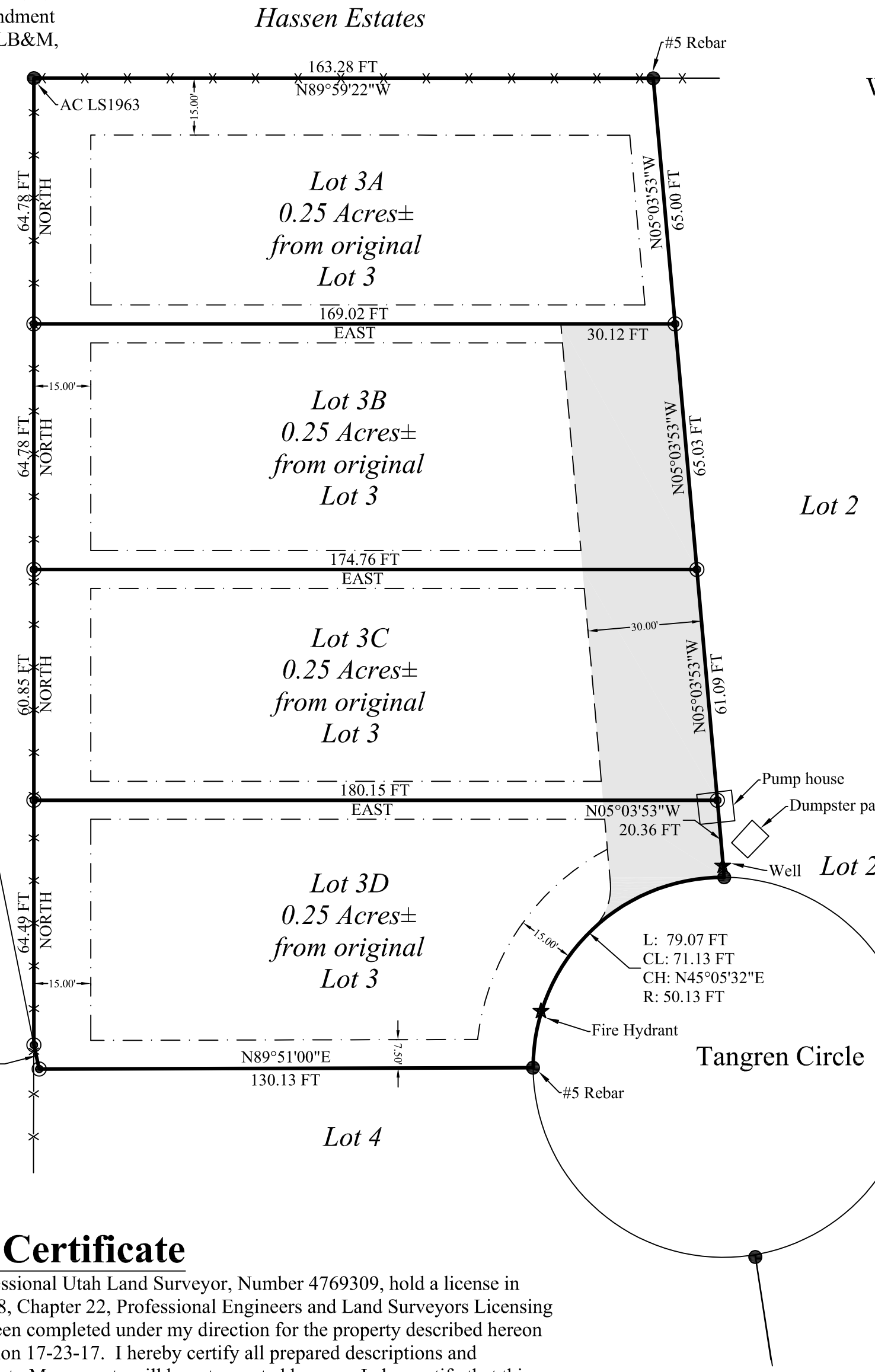
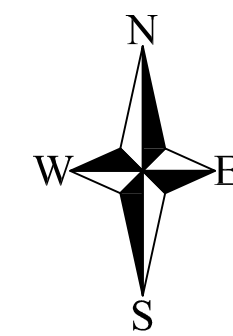
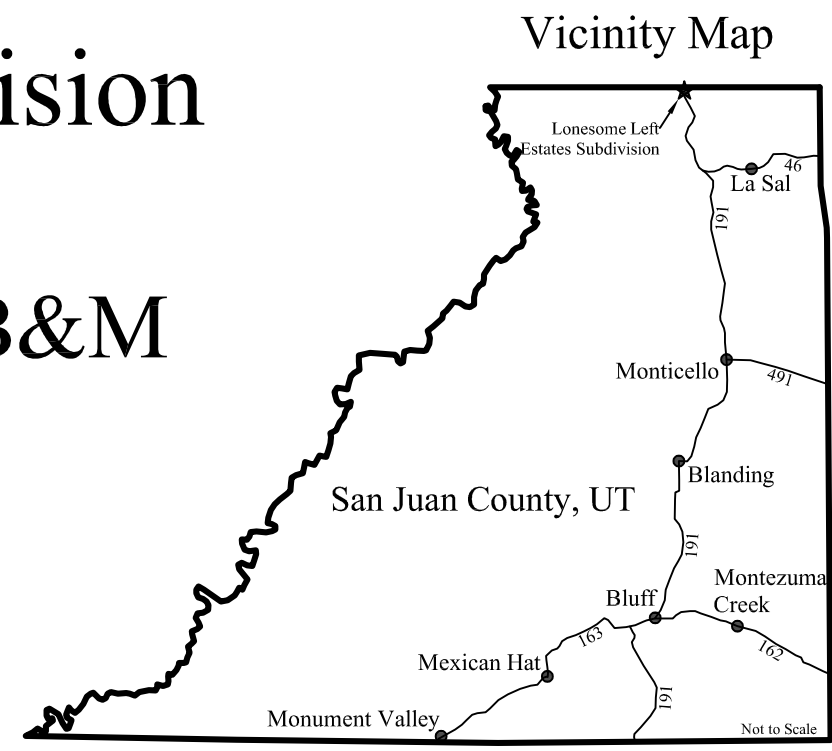
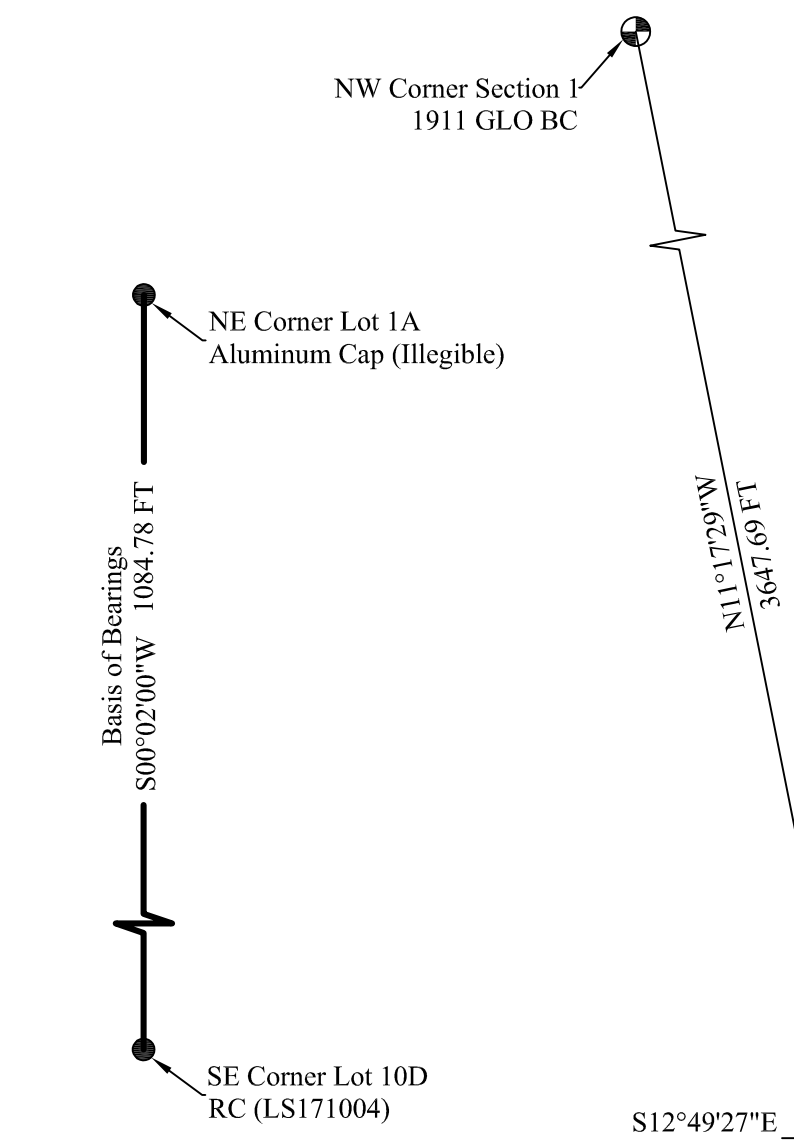
## Narrative

The purpose of this survey was to amend Lot 3 of the Lonesome Left Estates Subdivision as shown hereon. New lots will be known as 3A, 3B, 3C, and 3D in order to not confuse them with other subdivision amendment lot identification.

The basis of bearings for this survey is S00°02'00"W between the found northeast corner of Lot 1A and the southeast corner of Lot 10D of the Lonesome Left Estates Subdivision Amendment No. 3, which is located within Section 1, T27S, R22E, SLB&M, County of San Juan, State of Utah.

## Notes

1. The original easements as shown on the original subdivision plat for Lot 3 are preserved in this Amendment No. 4.
2. The shaded roadway area is intended to be a utility easement as well as a private ingress and egress easement for residents of Lots 3A, 3B, 3C and 3D.
3. The shaded roadway area within Lot 3 is included in the acreage for Lots 3B, 3C, and 3D.

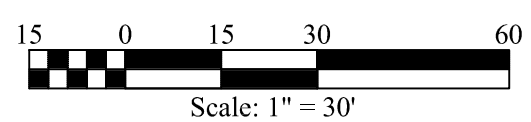


## Descriptions

- Section 1, T27S, R22E, SLB&M**  
**Lonesome Left Estates Subdivision Amendment No. 4**  
 Lot 3A  
 Lot 3B  
 Lot 3C  
 Lot 3D

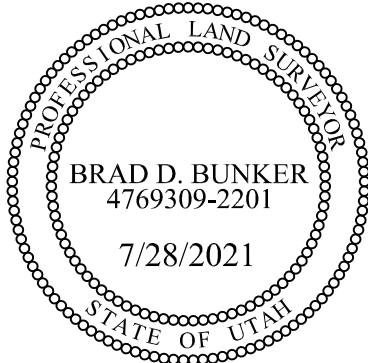
## Legend

- Found section monument as labeled
- Found rebar/cap (LS171004) or as labeled
- ⊙ Set rebar/cap monument (LS 4769309)
- ★ Feature as labeled
- ◆ Calculated location (not set)
- Fence
- - - Existing and amended utility easement
- ▨ Ingress/Egress/Utility easement
- BC Brass cap
- AC Aluminum cap
- GLO General Land Office



## Surveyor's Certificate

I Brad D. Bunker, Professional Utah Land Surveyor, Number 4769309, hold a license in accordance with Title 58, Chapter 22, Professional Engineers and Land Surveyors Licensing Act. This survey has been completed under my direction for the property described hereon in accordance with section 17-23-17. I hereby certify all prepared descriptions and measurements are correct. Monuments will be set as noted hereon. I also certify that this record of survey has been prepared under my direction at the request of Lloyd Wilson.



Brad D. Bunker Utah P.L.S. #4769309  
Date 7/28/2021

San Juan County Surveyor

Approval in accordance with information and records on file in this office.

SJC Surveyor \_\_\_\_\_ Date \_\_\_\_\_

Final Plat  
**Lonesome Left Estates Subdivision  
 Amendment No. 4**  
 Within Section 1, Township 27 South, Range 22 East, SLB&M

County Recorder  
 State of Utah, County of San Juan, Recorded at the request of \_\_\_\_\_  
 Filed: Date: \_\_\_\_\_ Time: \_\_\_\_\_  
 Book: \_\_\_\_\_ Page: \_\_\_\_\_ Fee: \_\_\_\_\_

Form Approval  
 Approved this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_  
 \_\_\_\_\_ Attorney

Health Department  
 Approved this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_  
 \_\_\_\_\_ Health Official

**Owners Dedication**  
 Know all men by these presents that we, the undersigned owners of the above described lots of land, having caused the same to be divided and amended hereafter to be known as the Lonesome Left Estates Subdivision Amendment No. 3.  
 By: Lloyd L. Wilson Owner  
 By: Andria L. Wilson Owner  
 In witness whereof I have hereunto set my hand this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_

**Acknowledgement**  
 State of Utah, County of San Juan, on the \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_ personally appeared before me \_\_\_\_\_ and proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is (are) subscribed to this instrument, and acknowledged that he (she/they) executed the same freely and voluntarily for the purposes stated herein.  
 My commission expires \_\_\_\_\_, 20\_\_\_\_  
 Residing in \_\_\_\_\_ County \_\_\_\_\_ Notary Public

**Bunker Engineering**  
 965 South Creek Road, Monticello, UT 84535  
 P.O. Box 432, Monticello, UT 84535 (435) 459-9152  
 Drawn By: B.D. Bunker Scale: 1" = 30'  
 Drawing Name: Survey Reference Number: BE1099

**San Juan County Planning Commission**  
 Approved by the San Juan County Planning Commission this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_  
 \_\_\_\_\_ Chairman

**San Juan County Commission**  
 The amendment hereon was presented to the San Juan County Commission this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and was accepted and approved.  
 \_\_\_\_\_ Commissioner

# SAN JUAN COUNTY CONDITIONAL USE PERMIT APPLICATION

Type of Application (check all that apply):

- New Construction
- Land Use Change
- Addition
- Appeal

Subject Property Location or Address: 3 miles East of Big Indian Road.  
Township 30 South, Range 24 East, Salt Lake Base & Meridian Section 32; Northeast quarter

Parcel Identification  
 Number: 30S24E320000

Parcel Area: \_\_\_\_\_ Current Use: Vacant Land

Floor Area: \_\_\_\_\_ Zoning Classification: Agricultural A-1

Applicant  
 Name: Lex Ence

Mailing  
 Address: 107 South 1470 East Ste 302

City, State,  
 ZIP: St. George Utah 84790

Daytime Phone #: 435-632-0615 Fax#: \_\_\_\_\_

Email Address: lexence@hotmail.com

Business Name (If applicable): Moab White Rock Resort

Property Owner's Name (If different): \_\_\_\_\_

Property Owner's Mailing Address: 107 South 1470 East Ste 302

City, State, ZIP: St. George Utah 84790

Daytime Phone #: 435-632-0615 Fax#: \_\_\_\_\_

Describe your request in detail (use additional page(s) if necessary): \_\_\_\_\_

Conditional use requested to develop a resort style glamping resort. Geodesic dome and or tent structures will be used as guest lodging with a larger dome or tent used as the checkin office. Conex boxes will be set in place to serve as employee housing maintenance storage and service, as well as laundry facilities.

Authorized Signature:  Date: 8/20/2021



Property Owner's Affidavit

I (we) Lex Ence, being first duly sworn, depose and that I (we) am (are) the current owner(s) of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

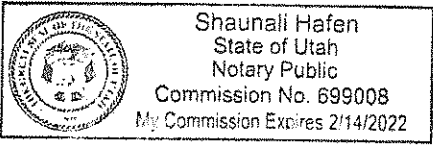
[Signature]  
Owner's Signature

\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah        )  
                                  :  
County of San Juan    )

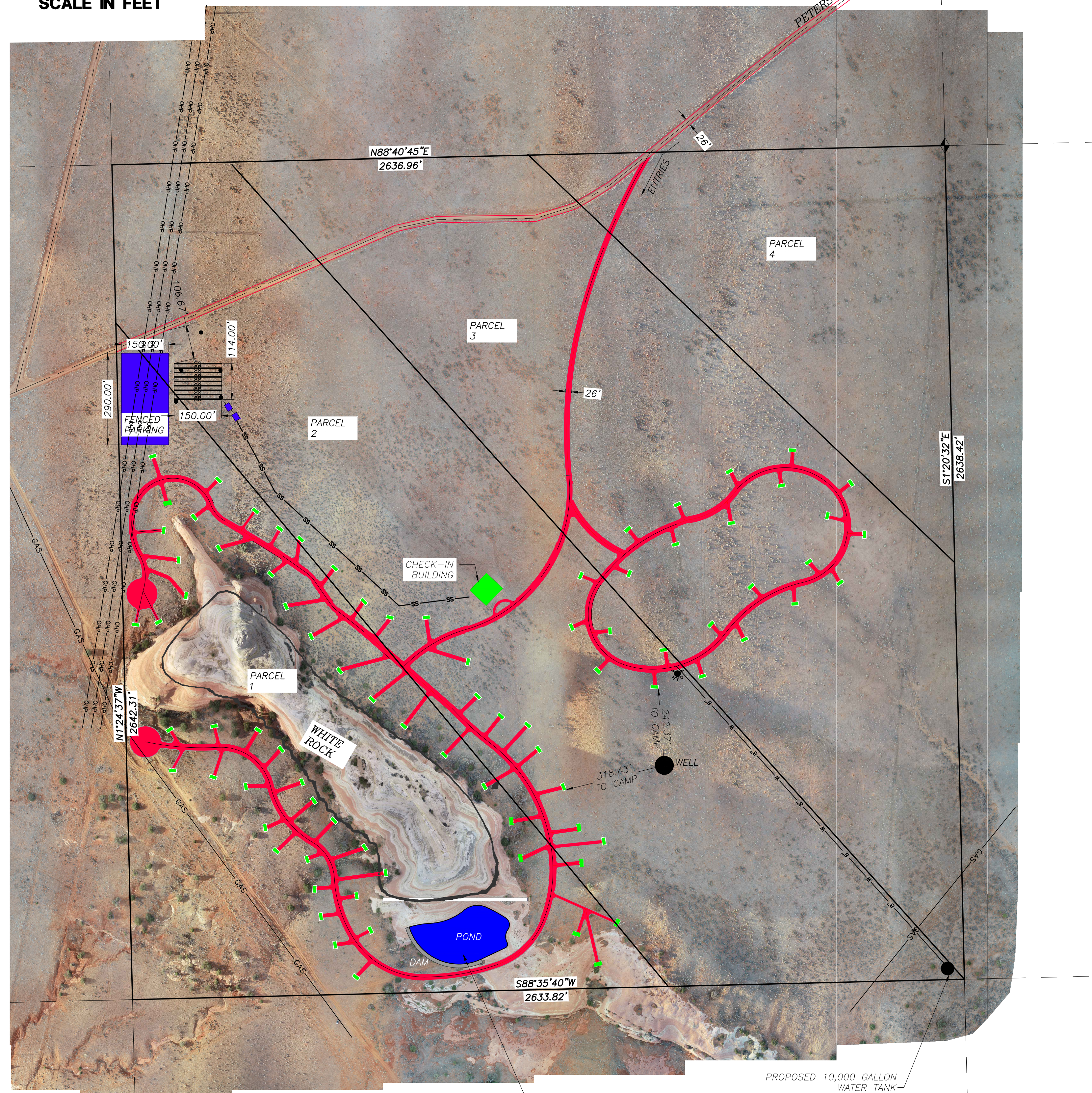
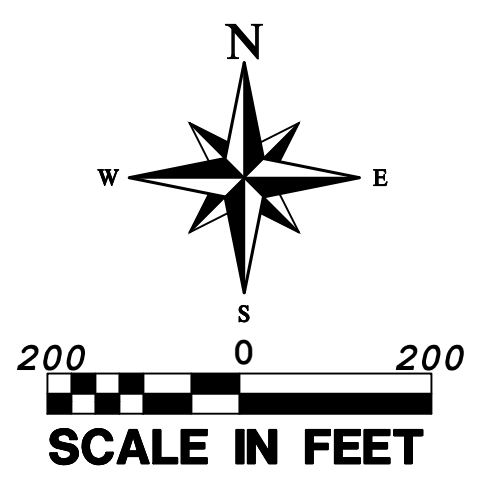
Subscribed and sworn to before me this 20 day of August, 20 21.

Shaunali Hafen  
Notary Public  
Residing in Washington County  
My Commission expires: 2/14/2022



# SITE PLAN FOR: MOAB WHITE ROCK RESORT

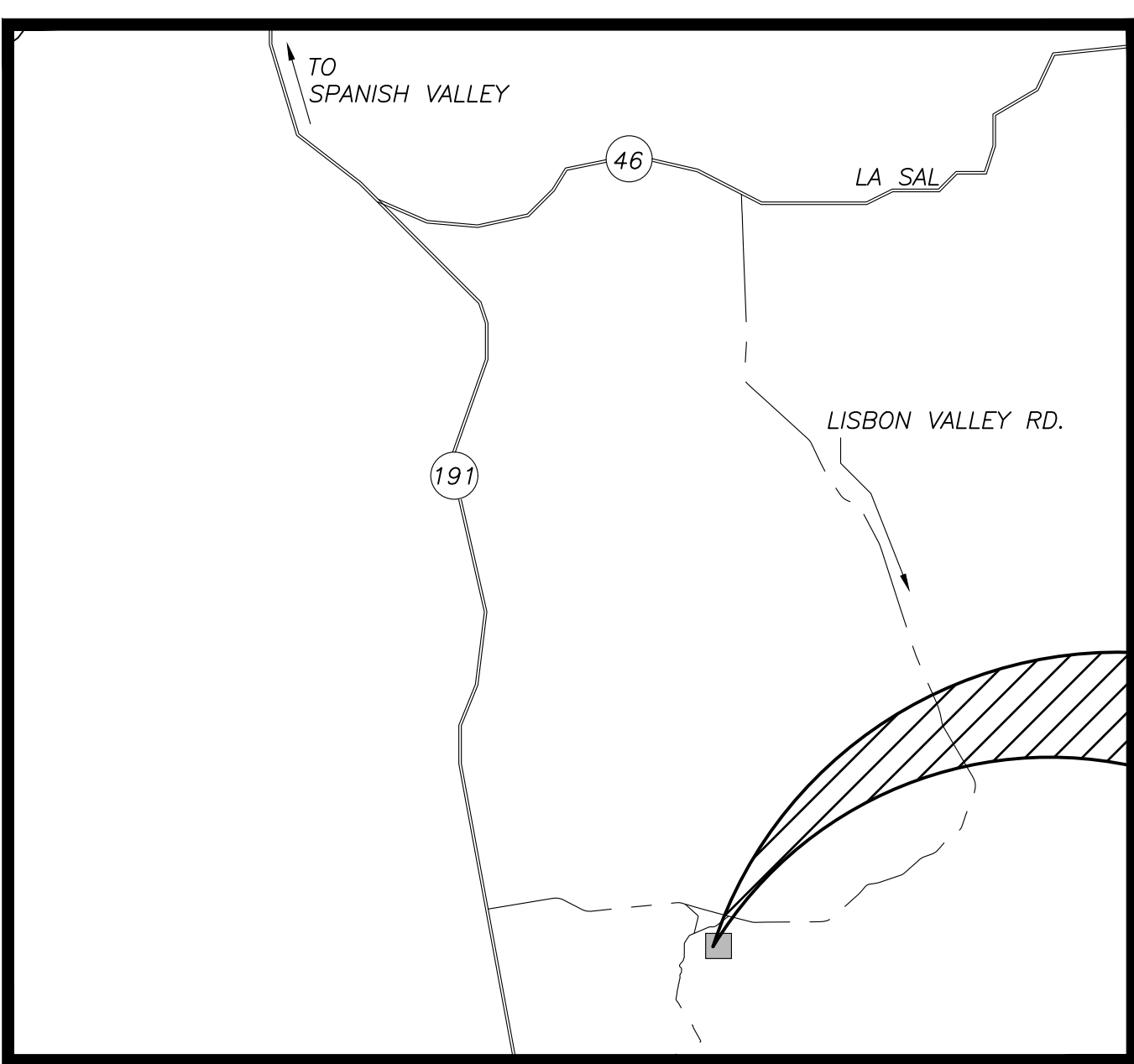
LOCATED IN NE 1/4 SECTION 32, T30S, R24E, S.L.B.&M.  
SAN JUAN COUNTY, UTAH



### LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD ALIGNMENT LINE
- SECTION LINE
- EXISTING UNDER GROUND POWER
- PROPOSED WATER LINE
- SEWER LINE
- POWER LINE
- GAS LINE
- SEWER LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- PROPOSED FIRE HYDRANT
- WELL
- SECTION CORNER AS DESCRIBED

**PROJECT DATA:**  
 87 UNITS  
 1 CHECK-IN BUILDING, LAUNDRY, MAINTENANCE AND HABITATION BUILDING  
 1 10,000 GALLON WATER TANK  
 1 CULINARY WATER WELL  
 1 200,000 GALLON FIRE POND



VICINITY MAP

NO.	REVISIONS	DESCRIPTION	DATE	BY

**PROVALUE ENGINEERING, INC.**  
 Engineers - Land Surveyors - Land Planners  
 20 South 850 West, Suite 1  
 Hurricane City, Utah 84037  
 Phone: (435) 688-8801



SITE PLAN FOR:  
**MOAB WHITE ROCK RESORT**  
 PARCEL ID • 30624E320000  
 LOCATED IN NE 1/4 SECTION 32, T30S, R24E, S.L.B.&M.

DATE: 08/19/2011
SCALE: 1"=200'
JOB NO. 000-001
SHEET NO. 1

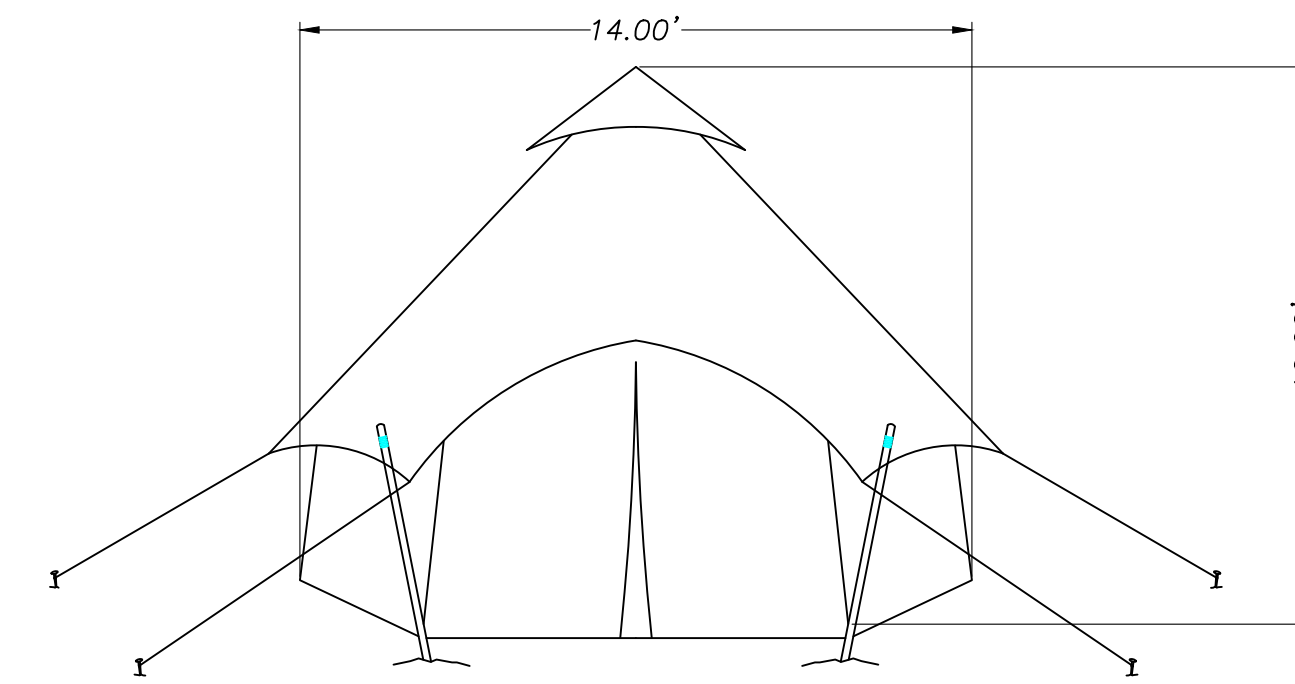
**Know what's below. Call 811 before you dig.**

**NOTICE!**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

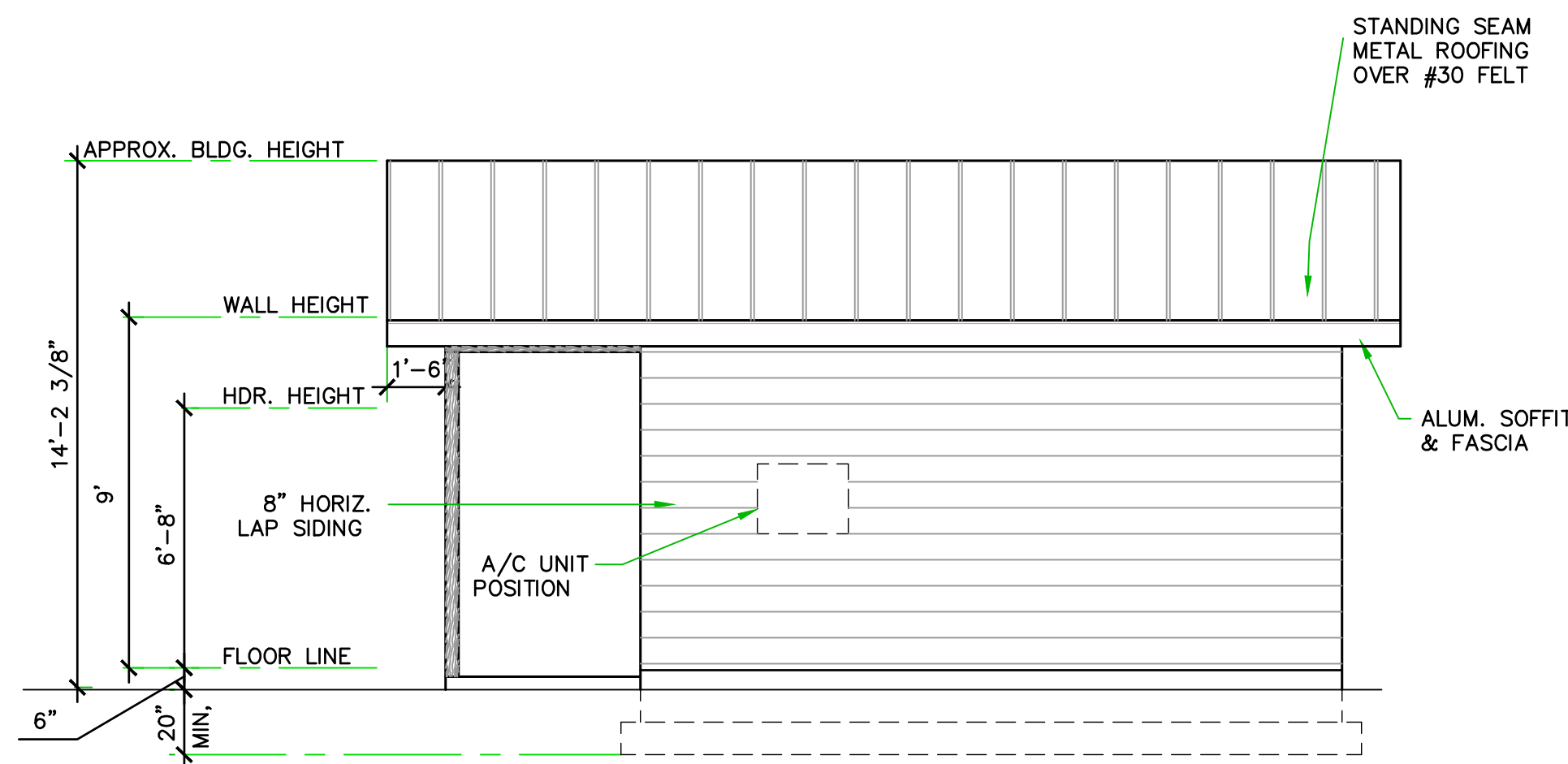
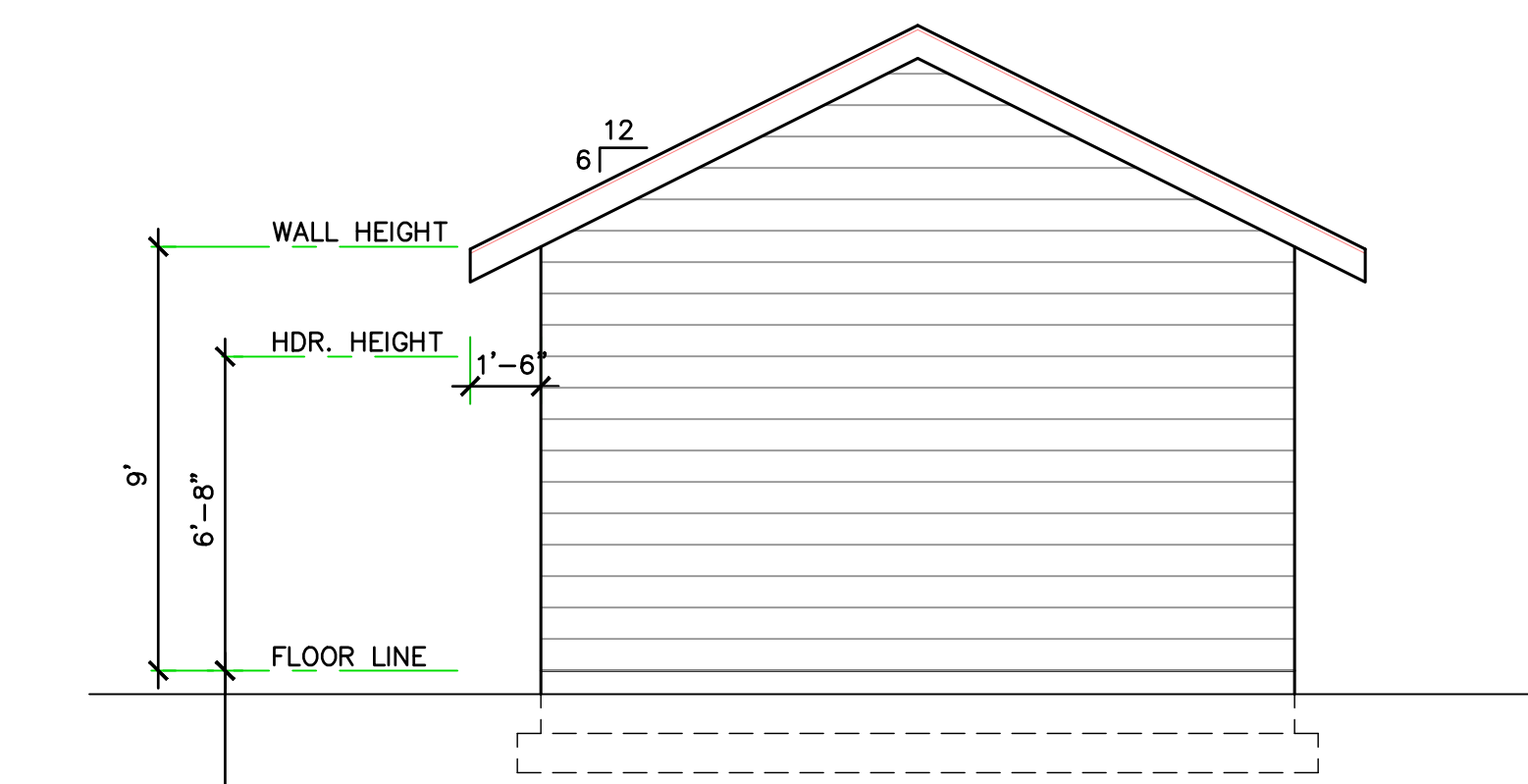
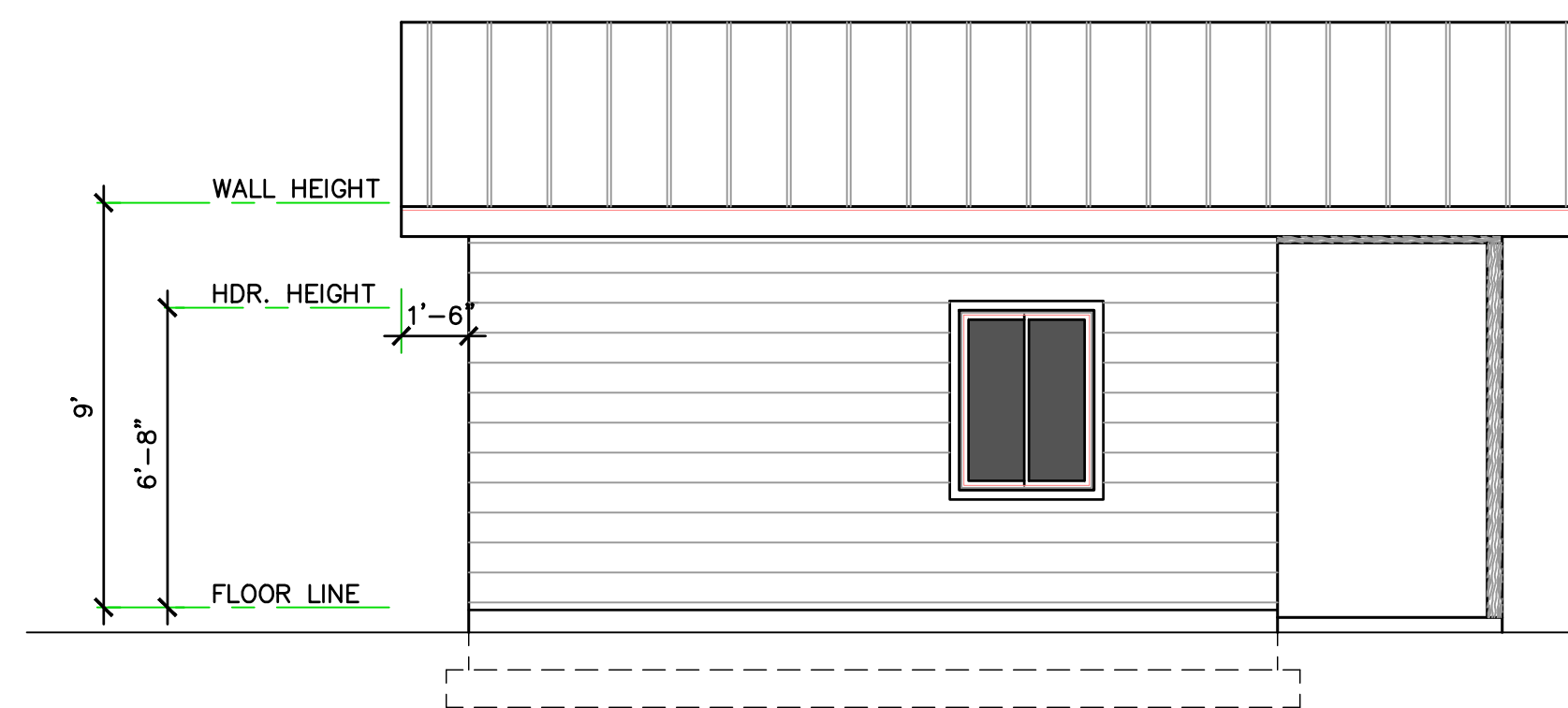
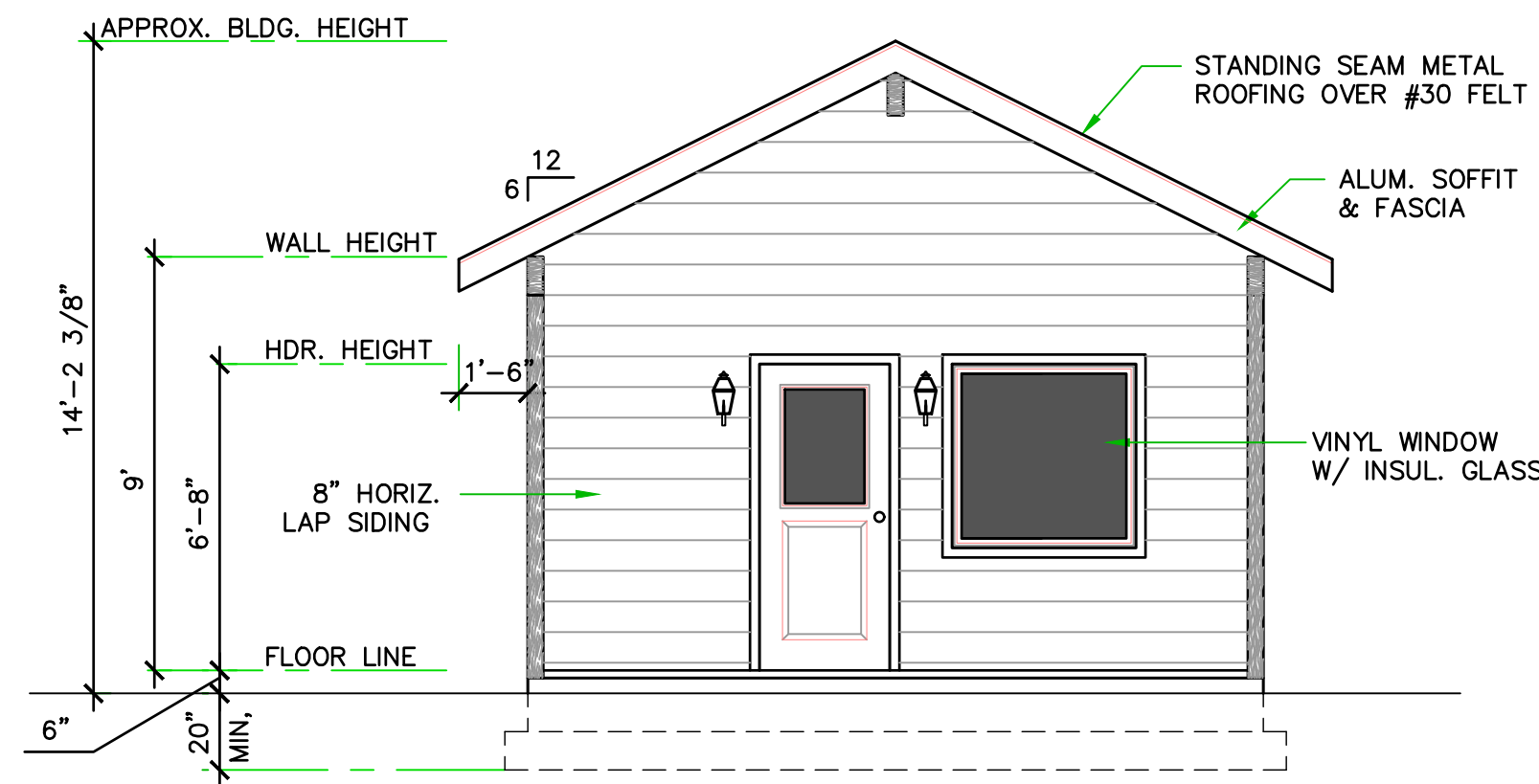
000-001

# BUILDING PLANS & ELEVATIONS FOR: MOAB WHITE ROCK RESORT

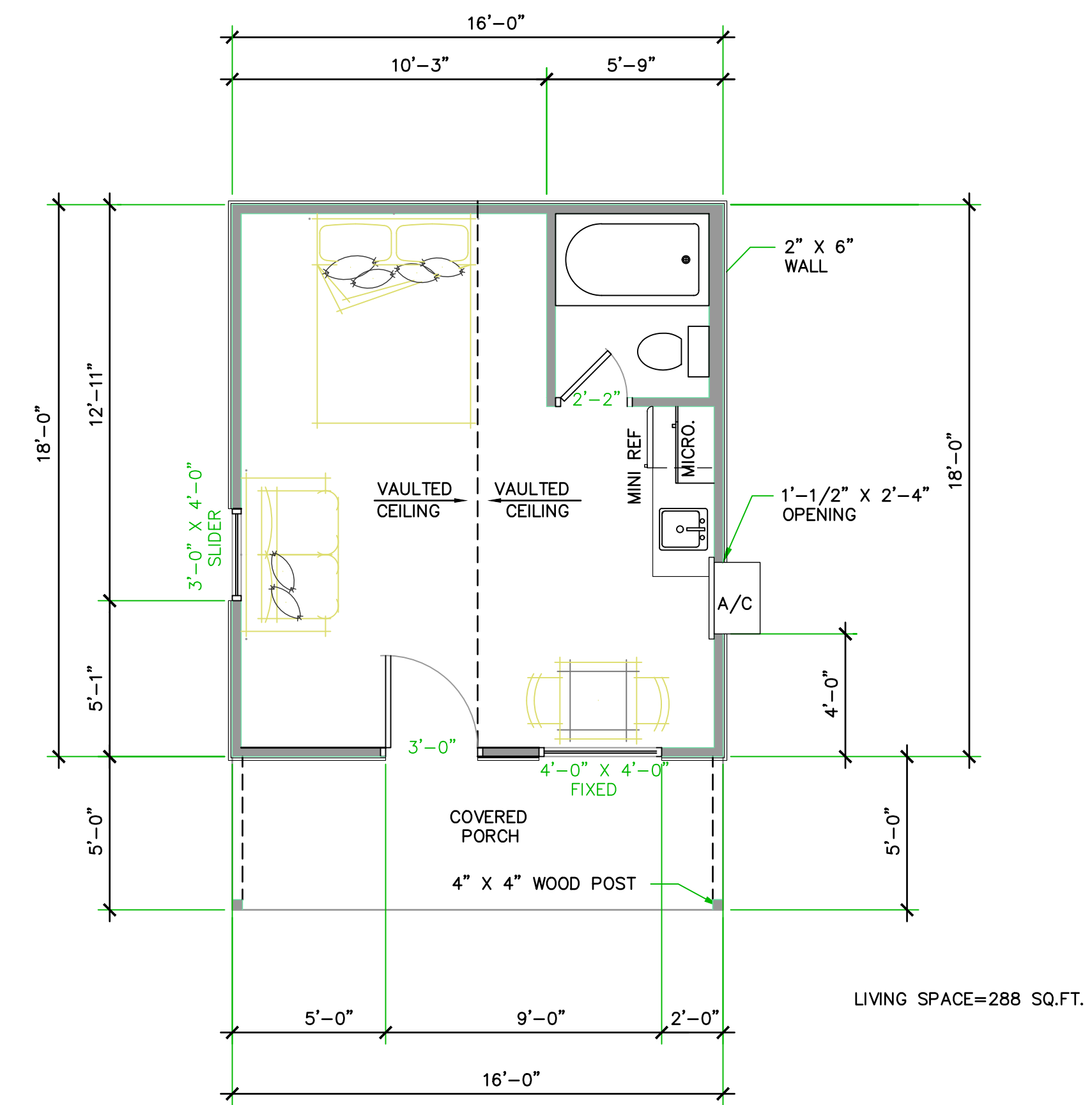
LOCATED IN NE 1/4 SECTION 32, T30S, R24E, S.L.B.&M.  
SAN JUAN COUNTY, UTAH



**1** TENT ELEVATION  
ELEVATIONS OF THIS TENT MAY VARY BASED ON MANUFACTURER  
1/4" = 1'



**2** CHECK-IN BUILDING ELEVATIONS  
ELEVATIONS OF THIS BUILDING MAY VARY BASED ON MANUFACTURER  
1/4" = 1'



**3** CHECK-IN BUILDING FLOOR PLAN  
1/4" = 1'

NO	REVISIONS	DESCRIPTION	DATE	BY

**PROVALUE ENGINEERING, INC.**  
Engineers - Land Surveyors - Land Planners  
20 South 850 West, Suite 1  
Hurricane City, Utah 84751  
Phone: (435) 888-8881



TENT ELEVATION FOR:  
**MOAB WHITE ROCK RESORT**  
LOCATED IN NE 1/4 SECTION 32, T30S, R24E, S.L.B.&M.

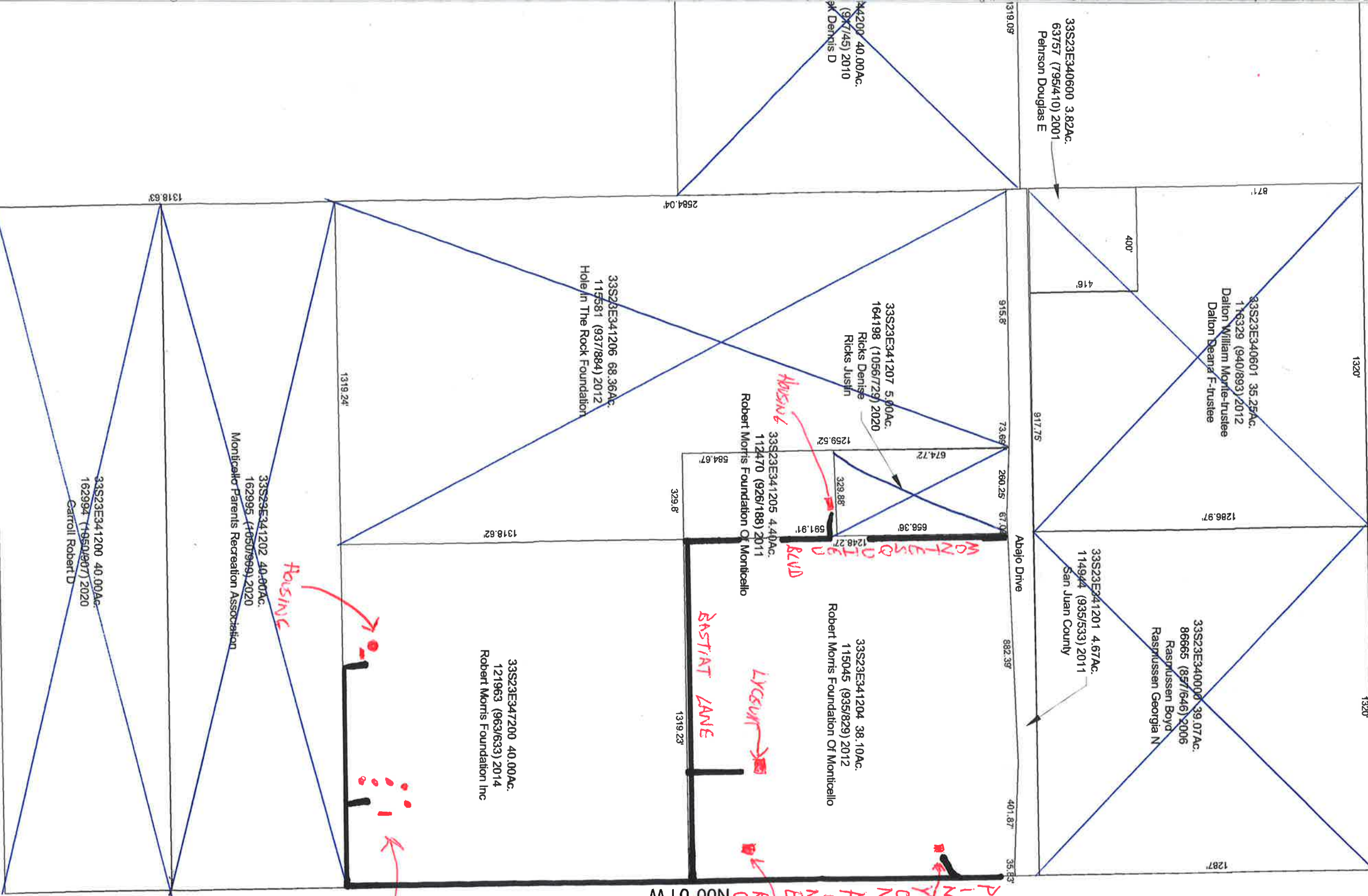
DATE: 08/19/2011  
SCALE: 1/4" = 1'  
JOB NO.  
630-001  
SHEET NO.  
**2**

TENT ELEVATION

# JUAN COUNTY, UTAH

## T33S, R23E, SALT LAKE MERIDIAN, UTAH

79.98 Chains (5278.68')



30	31	32	33	34	35	36	37
1	6	5	4	3	2	1	6
12	7	8	9	10	11	12	7
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31

### SAN JUAN COUNTY CONDITIONAL USE PERMIT APPLICATION

Type of Application (check all that apply):

- New Construction
- Addition
- Land Use Change
- Appeal

Subject Property Location or Address: 1849 N. CREEK RD.

Parcel Identification Number: 335 23 E 341204

Parcel Area: \_\_\_\_\_ Current Use: \_\_\_\_\_

Floor Area: 1,600 sqft Zoning Classification: \_\_\_\_\_

Applicant Name: MONTICELLO COLLEGE (Sharon Brooks)

Mailing Address: POB 1174 M

City, State, ZIP: MONTICELLO, VT, 84535

Daytime Phone #: 435 550 1661 Fax#: \_\_\_\_\_

Email Address: sb@monticellocollege.org

Business Name (If applicable): MONTICELLO COLLEGE

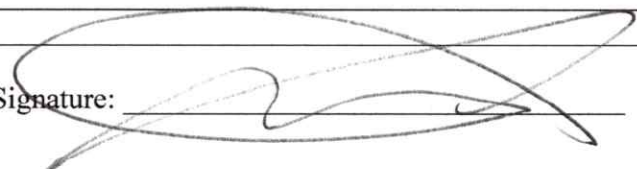
Property Owner's Name (If different): \_\_\_\_\_

Property Owner's Mailing Address: \_\_\_\_\_

City, State, ZIP: \_\_\_\_\_

Daytime Phone #: \_\_\_\_\_ Fax#: \_\_\_\_\_

Describe your request in detail (use additional page(s) if necessary): \_\_\_\_\_

Authorized Signature:  Date: 8/11/21

**Property Owner's Affidavit**

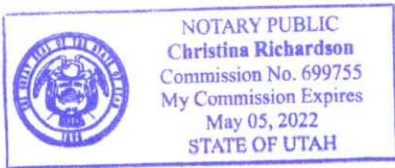
I (we) \_\_\_\_\_, being first duly sworn, depose and that I (we) am (are) the current owner(s) of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

[Handwritten Signature]  
Owner's Signature

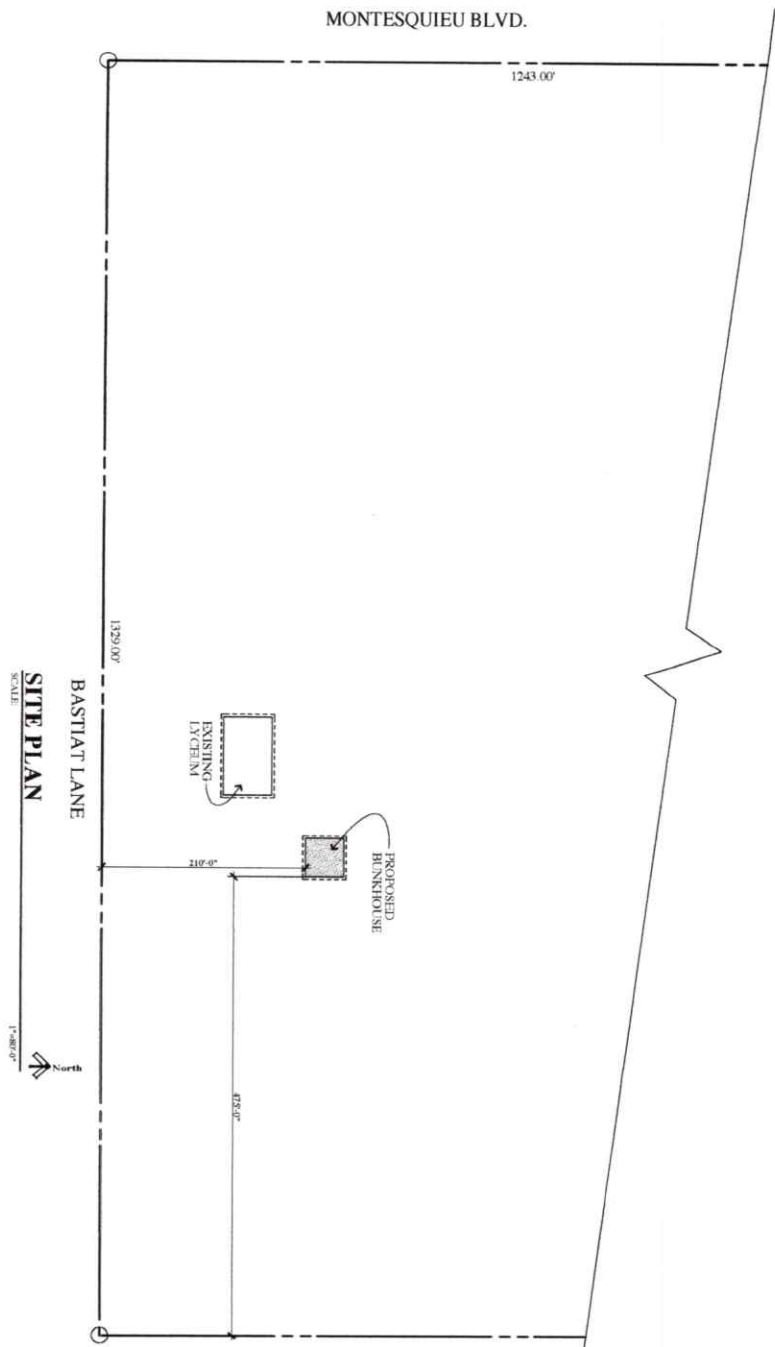
\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah        )  
                              :  
County of San Juan    )

Subscribed and sworn to before me this 6<sup>th</sup> day of August, 2021.



Christina Richardson  
Notary Public  
Residing in Monticello Utah  
My Commission expires: May 5 2022



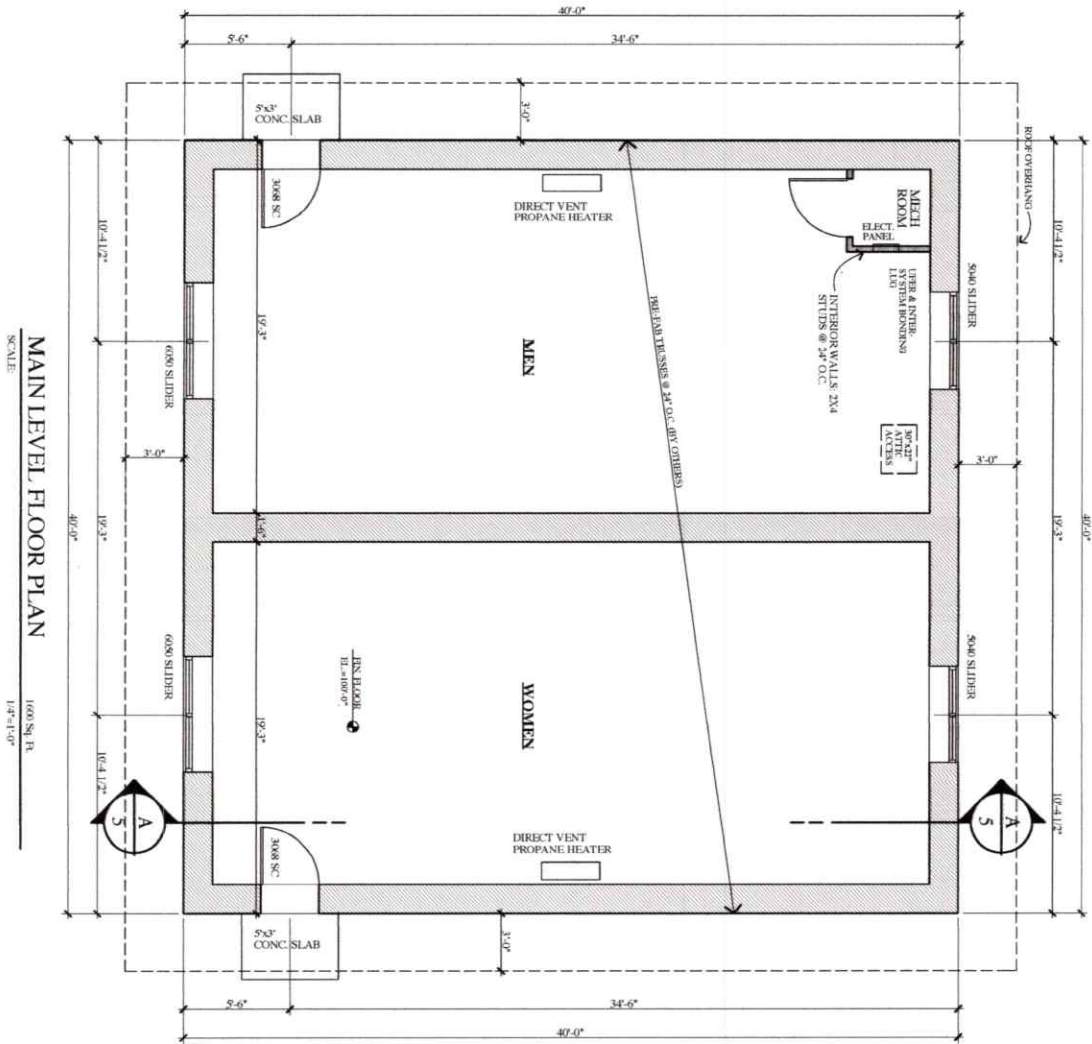
**1**  
SHEET NUMBER

RED RIVER DWELLINGS  
SUSTAINABLE HOME DESIGN  
Castle Valley Utah, (435) 289-2364

SITE PLAN

**Monticello College  
Bunkhouse**  
1849 NORTH CREEK ROAD  
SAN JUAN COUNTY, UT. 84535 (435) 590-1661

DRAWN BY: L.V.  
DATE: 7/15/21  
REV.:



MAIN LEVEL FLOOR PLAN

SCALE 1/4" = 1'-0"

2  
REBIN V. LEHNS

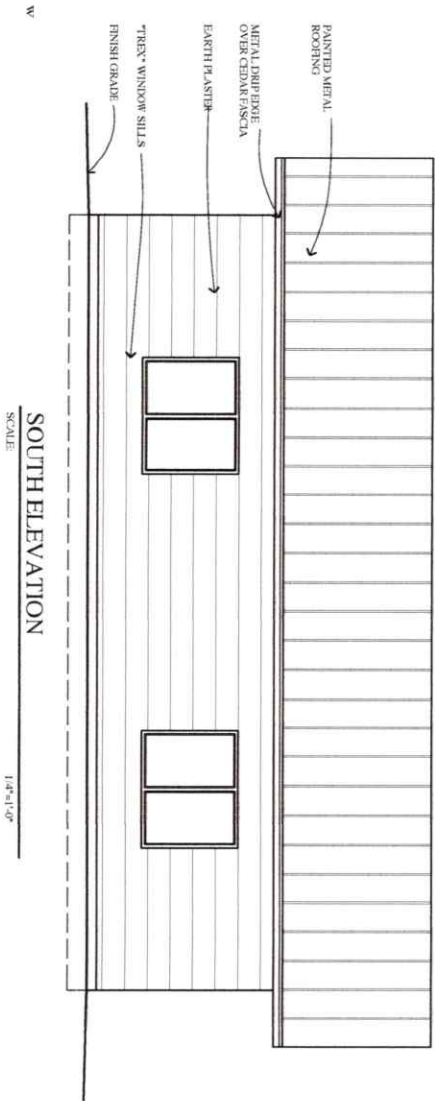
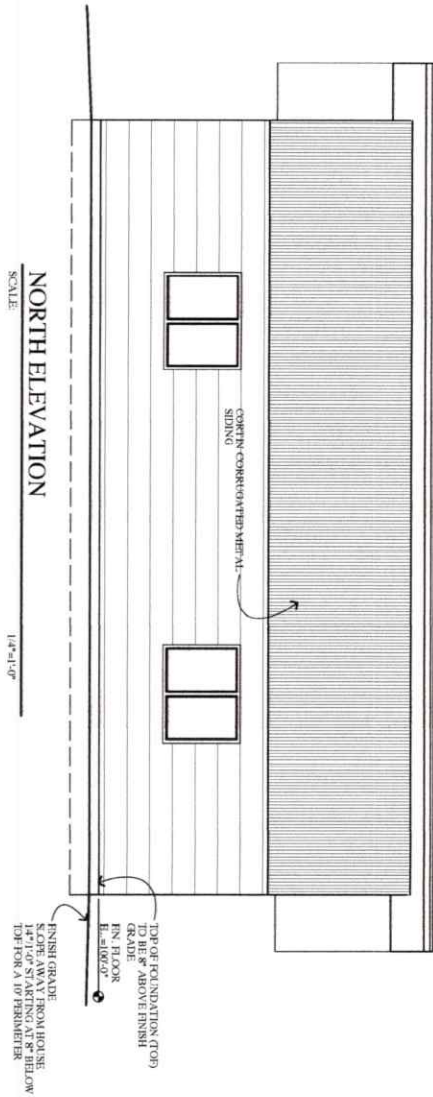
KEDRIVER DWELLINGS  
SUSTAINABLE HOME DESIGN  
Castle Valley Utah, (435) 259-2364

MAIN FLOOR PLAN

Monticello College  
Bunkhouse  
1849 NORTH CREEK ROAD  
SAN JUAN COUNTY, UT. 84535 (435) 590-1661

DRAWN BY: L.V.  
DATE: 7/15/21  
REV.:





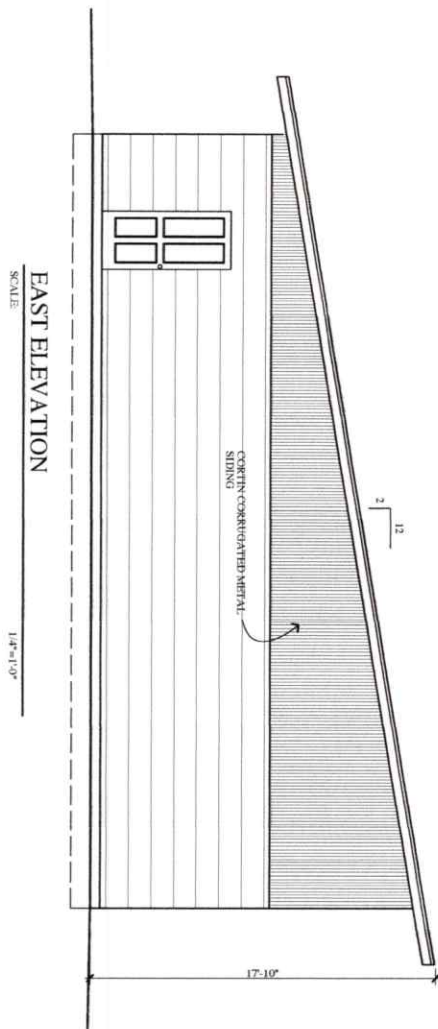
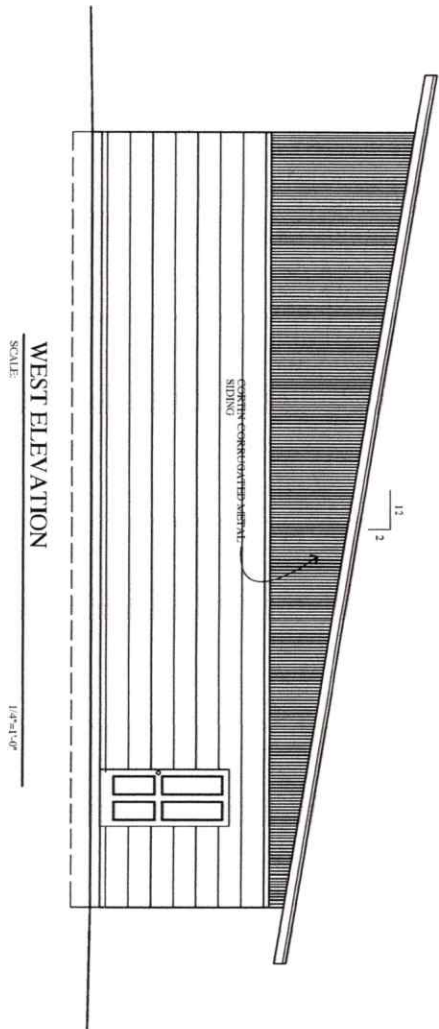
SHEET NUMBER  
**3**

**RED RIVER DWELLINGS**  
SUSTAINABLE HOME DESIGN  
Castle Valley Utah, (435) 259-2364

EXTERIOR  
ELEVATIONS

**Monticello College  
Bunkhouse**  
1849 NORTH CREEK ROAD  
SAN JUAN COUNTY, UT. 84535 (435) 590-1661

DRAWN BY: L.V.  
DATE: 7/15/21  
REV.:



4  
SHEET NUMBER

RED RIVER DWELLINGS  
SUSTAINABLE HOMES  
Castle Valley Utah, (435) 259-2364

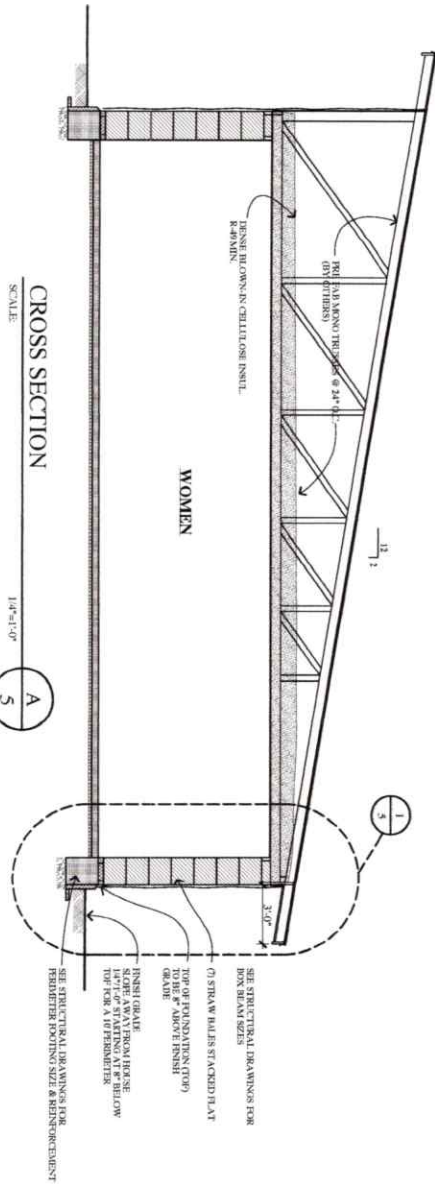
EXTERIOR  
ELEVATIONS

Monticello College  
Bunkhouse  
1849 NORTH CREEK ROAD  
SAN JUAN COUNTY, UT. 84535 (435) 590-1661

DRAWN BY: L.V.  
DATE: 7/15/21  
REV.:

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL CONFORM WITH IRC 2015, AND LOCAL BUILDING CODES
2. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE IN PLAN UNLESS OTHERWISE NOTED
3. DIMENSIONS ARE TO TOP OF PLATE OR TOP OF SLAB OR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED.
4. DETAILS 5 ARE TYPICAL. SMALLER DETAILS APPLY IN SIMILAR SITUATIONS.
5. VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE.
6. ALL EXTERIOR WALLS ARE STAVO BALE STACKED FLAT. ALL OTHER ARE 2X4 STUDS @ 24" O.C.
7. INSTALL BATT INSULATION BETWEEN STUDS AND JOINT AT ALL EXTERIOR WALLS, CEILING, AND FLOORS. REQUIREMENT ENERGY COMPLIANCE DOCUMENTATION.
8. WINDOW SIZES AND DOOR HEAD HEIGHT ARE NOMINAL DIMENSIONS REFER TO MANUFACTURER AND ACTUAL. NOTED OPEN SIZES ALONG ALL WINDOW HEADS UNLESS OTHERWISE NOTED. HEADINGS, CORNERS, AND SILLING HEIGHTS WITH OWNERS BEFORE CONSTRUCTION.
9. WINDOW AND GLASS DOORS SHALL BE DOUBLE GLAZED PER ENERGY COMPLIANCE DOCUMENTS.
10. WHERE LOCATIONS OF WINDOWS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED ON THE WALL OR PLACED TWO STUDS WIDTH FROM ADJACENT WALL AS INDICATED ON DRAWING.
11. ALL CHANGES IN FLOOR MATERIAL, DOOR AT CENTERLINE, OR DOOR OR FRAME OPENING (UNLESS INDICATED) ON PLANS SHALL BE FULLY VENTILATED UNLESS LEFT ALONE.
12. ALL ATTIC, RAFTER SPACES, SLOTTES, CRAWL SPACES SHALL BE FULLY VENTILATED UNLESS LEFT ALONE.



**CROSS SECTION**

SCALE:

1/4"=1'-0"



DRAWN BY: L.V.

DATE: 7/15/21

REV.:

**Monticello College**  
**Bunkhouse**  
 1849 NORTH CREEK ROAD  
 SAN JUAN COUNTY, UT. 84535 (435) 590-1661

CROSS SECTION  
 & DETAILS

**RED RIVER DWELLINGS**  
 RUSTIC ARTISAN HOME DESIGN  
 Castle Valley Utah, (435) 259-2364

SHEET NUMBER  
**5**

**UTILITY NOTES**

1. LIGHTS IN CLOSETS TO MEET IBC 909.1.1
2. ELECTRICAL PANELS TO COMPLY WITH IBC 909.2.3. 30" CLEARANCE MIN. WIDTH AND 6" FLOOR TO HEAD ROOM.
3. KEEP GAS AND ELECTRICAL MOTORS IN AN AREA THAT IS PROTECTED FROM SNOW AND ICE.
4. HORN BURNERS TO BE NON-FREEZE, BACK FLOW PREVENTER TYPE.
5. ALL WATER/COOL CONDENSATION HEATERS SHALL BE HARD PIPING TO THE EXTERIOR.
6. REFRIGERATION UNIT IN KITCHEN TO BE INSTALLED WITH PROVISIONS FOR FAN.
7. REFRIGERATION COILS THAT IS APPROVED FOR EXTRA WEIGHT ON ALL CEILING FANS.
8. ALL RECEPTACLES IN BATHROOMS TO BE +4" AND GFCI PROTECTED UNLESS NOTED OTHERWISE.
9. ALL RECEPTACLES TO BE TAMPER RESISTANT THROUGHOUT HOUSE & ACCESSORY BUILDINGS.
10. ALL EXTERIOR RECEPTACLES TO BE 40' GFCI AND WATERPROOFED UNLESS NOTED OTHERWISE.
11. ALL RECEPTACLES IN KITCHENS TO BE +4" UNLESS NOTED OTHERWISE.
12. ALL BEDROOMS & OFFICE SHALL HAVE ARC-FULT PROTECTION.
13. ALL RECEPTACLES IN GARAGES TO BE +18" AND GFCI PROTECTED UNLESS NOTED OTHERWISE.
14. A VENTILATION FAN OR ALL LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS - BEC WITH IN BOTTOM AT ENTRY.
15. PROVIDE DOOR CHIME AT EACH ENTRY & WIRE TO FRESH AIR ENTRY.

**UTILITY SYSTEMS NOTES**

**POWER SYSTEM**  
 INTERIEST SOLAR POWER TO BE INSTALLED BY A LICENSED SOLAR POWER CONTRACTOR AS PER CODE AND MFR. SPECS. PV PANELS TO BE LOCATED ON ROOF.

**HEATING SYSTEM**  
 DIRECT VENT PROpane HEATERS TO BE INSTALLED BY A LICENSED CONTRACTOR AS PER CODE AND MFR. SPECS.

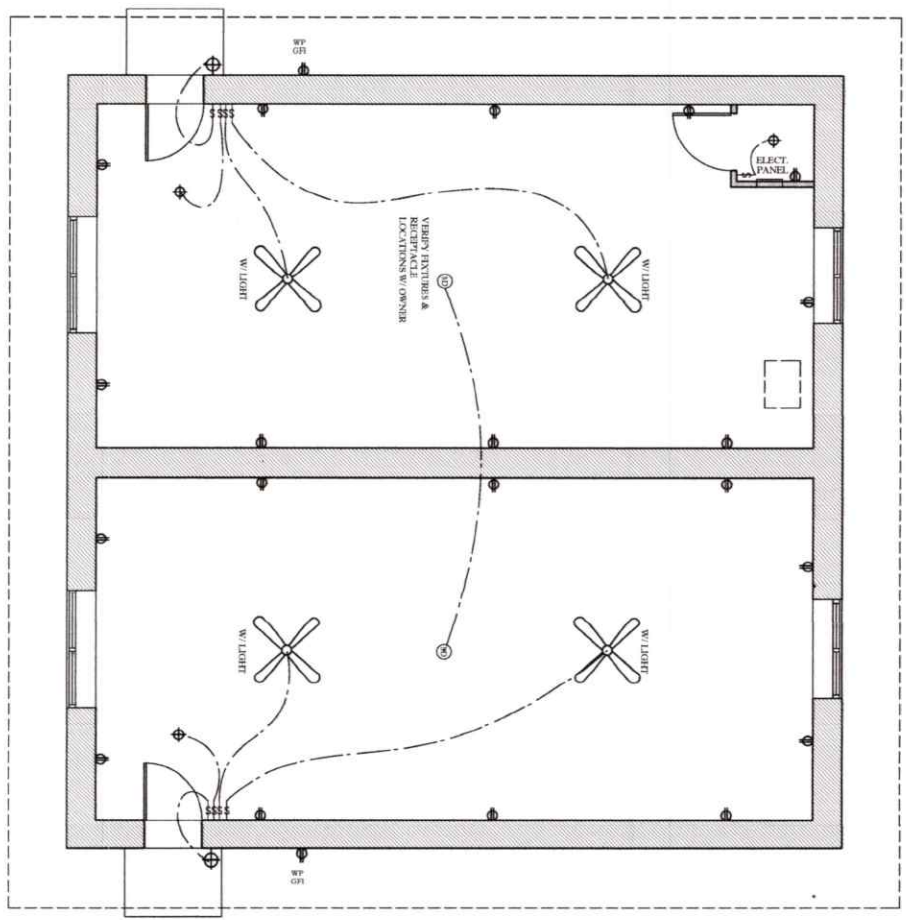
**GENERAL MECHANICAL AND PLUMBING NOTES**

1. VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK.
2. VERIFY GAS WATER ELECTRICAL STRUCTS AT ALL AIR APPLIANCES.
3. ALL HEATING APPLIANCES AND WATER HEATERS SHALL BE INSTALLED ON BERTH. EXHAUSTS MUST BE CLEANED EXCEED 16 GA LIONS PER FL. INCH.
4. ALL TOILETS SHALL BE BELOW FRESH TYPE AND SHALL NOT EXCEED 16 GA LIONS PER FL. INCH.
5. PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT (MIN. 4" DIA.) TO OUTSIDE OF HOUSE.

**ELECTRICAL NOTES**

1. ALL CIRCUITS SERVING A BATHROOM SHALL BE AFCI PROTECTED.
2. ALL 15 AMP RECEPTACLES ARE REQUIRED TO BE TAMPER RESISTANT.
3. ALL ELECTRICAL WIRING IS TO BE MADE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLIANCES SHALL BE GFCI.
4. ALL INTERIOR RECEPTACLES SHALL BE GFCI AND WATERPROOF PROTECTED.
5. VERIFY RECEPTACLES AND SWITCHES TYPE WITH OWNER BEFORE INSTALL.
6. ALL OUTLET LIGHT SHALL BE KEPT AND BULBS IN ALL INSTALLATIONS.
7. MODEL RECEPTACLES SHALL BE COVERED UNTIL COMPLETELY OCCUPIED WITH IN COMPLETELY.
8. GUTTER AND POWER LINES FOR HEATING APPLIANCES ARE NOT SHOWN. VERIFY RECEPTACLES AND POWER WIRES BEFORE INSTALLATION.
9. VERIFY WITH OWNER IF TV ANTENNA WILL BE INSTALLED IN THE UTILITY AND PROVIDE APPROPRIATE CONDUIT WITH IN THE UTILITY.
10. VERIFY THE INTERIOR ELECTRICAL SERVICE TO THE BATHROOM WITH THE BATHROOM OWNER. VERIFY WITH OWNER AND OWNER.
11. PROVIDE THE GREEN BATHROOM CODE.
12. PROVIDE THE GREEN BATHROOM CODE.
13. MODEL RECEPTACLES TO BE KEPT PROTECTED TO PROTECT.

ELECTRICAL SYMBOL LEGEND	
RES. SWITCH	○
110 VOLT RECEPTACLE	⊕
110 VOLT RECEPTACLE	⊕
250 VOLT RECEPTACLE	⊕
W/INT. CHD. RECEPTACLE	⊕
FLOOR RECEPTACLE	⊕
SWITCH	⊕
4 WAY SWITCH	⊕
CHIMNEY EXHAUST FAN W/ LIGHT	⊕
WALL MOUNTED FIXTURE	⊕
RECESSIBLE CAN FIXTURE	⊕
FLD. FIXTURE	⊕
TRAC & LIGHTING	⊕
RECESSIBLE EXHAUST FAN W/ LIGHT	⊕
SMOKE DETECTOR	⊕
CHIMNEY EXHAUST FAN	⊕



**MAIN LEVEL ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

DRAWN BY: L.V.  
 DATE: 7/15/21  
 REV.:

**Monticello College**  
**Bunkhouse**  
 1849 NORTH CREEK ROAD  
 SAN JUAN COUNTY, UT. 84535 (435) 590-1661

ELECTRICAL PLAN

**RED RIVER DWELLINGS**  
 SUSTAINABLE DESIGN  
 Castle Valley Utah, (435) 299-2364

SHEET NUMBER  
**6**

Received 8/2/2021  
SB

Item 6.

### SAN JUAN COUNTY CONDITIONAL USE PERMIT APPLICATION

Type of Application (check all that apply):

- New Construction
- Addition
- Land Use Change
- Appeal

Subject Property Location or Address: 1000 East Wolf Springs Ranch Rd

Parcel Identification Number: (88.77) 28S25E11S400 (1600) Total. 28S25E142400

Parcel Area: 104.77 Acre. Current Use: \_\_\_\_\_

Floor Area: \_\_\_\_\_ Zoning Classification: MU-1

Applicant Name: BRIAN BALLARD

Mailing Address: P.O. Box 151

City, State, ZIP: MOAB Utah 84532

Daytime Phone #: 435-260-8332 Fax#: WolfSpringscabins@gmail.com

Email Address: WolfSpringscabins@gmail.com

Business Name (If applicable): Wolf Springs Ranch Retreat

Property Owner's Name (If different): /

Property Owner's Mailing Address: Same

City, State, ZIP: N/A

Daytime Phone #: N/A Fax#: \_\_\_\_\_

Describe your request in detail (use additional page(s) if necessary): Discuss Future Plans and Current, Small R.V. Park for new

Authorized Signature: Brian Ballard Date: 8-2-21

Property Owner's Affidavit

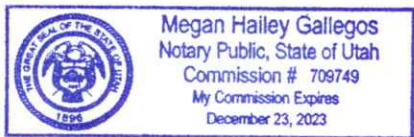
I (we) BRIAN BALLARD, being first duly sworn, depose and that I (we) am (are) the current owner(s) of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Brian Ballard  
Owner's Signature

\_\_\_\_\_  
Owner's Signature (co-owner if any)

State of Utah )  
:  
County of San Juan )

Subscribed and sworn to before me this 2nd day of August, 2021.

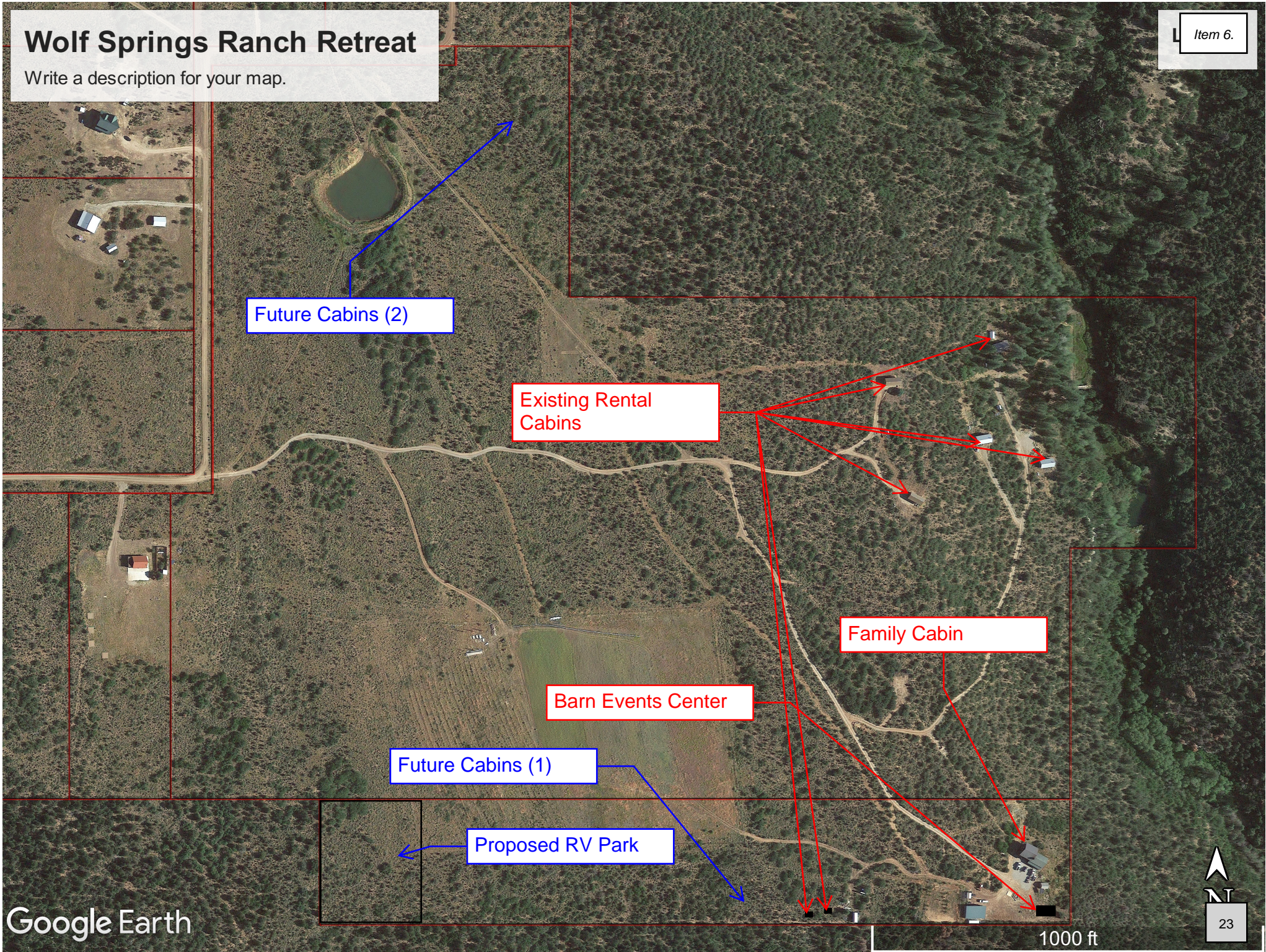


Megan Hailey Gallegos  
Notary Public  
Residing in Monticello Utah  
My Commission expires: 12/23/2021

# Wolf Springs Ranch Retreat

Write a description for your map.

Item 6.



# Rezone Application: PC Zone Plan

## South Valley Community

San Juan County, Utah



August 20, 2021





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**EXHIBIT A:**

Preliminary Community Structure Plan for South Valley Community (under separate cover)



August 20, 2021

San Juan County Planning Commission  
c/o Scott Burton, Planning & Zoning Director  
117 South Main Street  
Monticello, UT 84535

**Re: PC Zone Application for South Valley Community**

Dear Planning Commissioners,

Accompanying this letter, we submit the PC Zone application and PC Zone Plan for the South Valley Community for your consideration. We have carefully reviewed the application requirements contained in the San Juan County Spanish Valley Development Ordinances of the San Juan County Zoning Ordinance (approved November 19, 2019), which are located on the San Juan County website. This application addresses each of the indicated requirements for a PC Zone application.

Please note that the property included in this application has one owner and meets the minimum size requirements of 200 acres required for a Large Planned Community application of this nature. The application also includes an accompanying Preliminary Community Structure Plan as required, which is a separately attached exhibit due to its size. The Preliminary Community Structure Plan provides a more detailed overview of the South Valley Community than contained in the PC Zone application alone.

In response to public feedback, this application involves significantly less acreage than the earlier application submitted on December 20, 2019. The area included in this application covers a slightly different area than is covered by the San Juan County Spanish Valley Area Plan, which was approved by the San Juan County Commission on April 17, 2018 (see Map 3 for a visual reference of those differences).

As you review this application, please feel free to contact me if you have any questions, concerns or would like clarification of any information contained in the application. We look forward to presenting this application to the Planning Commission.

Sincerely,

*Elise Erler*

Elise Erler  
Deputy Assistant Director,  
Planning & Development Group

## INTRODUCTION

The School and Institutional Trust Lands Administration (SITLA) anticipates developing approximately 1,864 acres for residential, flex uses and open space in unincorporated San Juan County in the Spanish Valley immediately south of the northern county line near Moab. Known as South Valley, the proposed development area is entirely owned by SITLA and will be served by the San Juan Spanish Valley Special Service District.

In response to growth and development pressure in the region, San Juan County prepared the **Spanish Valley Area Plan** (Area Plan), which was adopted as an addendum to the **San Juan County General Plan** (General Plan) on April 17, 2018. The Area Plan serves as the policy document for the non-Federal lands in the South Valley area, identifying needs and requirements, providing clear growth directions and development visions for the future, and clarifying the types and general locations of different land uses and features to meet future needs.

According to the Area Plan, the SITLA properties are to be developed as a planned community, encompassing a range of residential, business, commercial and flex uses, in addition to integrated local service centers, community nodes, schools, parks, trails and open space systems which are required for creating a new community (**Map 2**).

After the Area Plan was adopted, zoning ordinances were adopted by the San Juan County Commission on November 19, 2019. An associated zoning map (**Map 8**) was subsequently updated and adopted on February 16, 2021. The zoning ordinances provide the tools and establish the requirements for managing growth and development in a manner that is aligned with the Area Plan/General Plan. The adopted ordinances encompass ten chapters as follow:

1. Spanish Valley Residential (SVR) District
2. Spanish Valley Planned Community (PC) District
3. Spanish Valley Residential Flex Planned Community (RF) District
4. Spanish Valley Business Flex Planned Community (BF) District
5. Spanish Valley Highway Flex Planned Community (HF) District
6. Spanish Valley Highway Commercial (HC) District
7. Spanish Valley Water Efficient Landscape Requirements
8. Spanish Valley Outdoor Lighting and Sign Illumination Requirements
9. Spanish Valley Sign and Display Requirements
10. Spanish Valley Overnight Accommodations Overlay District Requirements

As described in the Planning and Approval Process section of Spanish Valley Planned Community (PC) District (Chapter 2), the first step in establishing a Large Planned Community (greater than 200 acres) is to apply for a PC Zone change for the proposed area. Furthermore, the ordinances established that the Residential Flex (RF), Business Flex (BF) and Highway Flex (HF) Districts (Chapters 3-5) shall follow the same process. This is an important clarification, as the subject SITLA lands encompass portions of these four zoning districts.

**Map 9** illustrates the boundaries of SITLA lands that are part of this application, as well as the underlying zones.

The Spanish Valley Planned Community (PC) District chapter of the adopted San Juan County Spanish Valley Zoning Ordinance indicates that the “rezone” application for a PC Zone shall contain the following information:

1. Name of planned community;
2. Names, addresses, and phone numbers of applicant and property owner(s);
3. Map showing PC Zone location, legal/boundary description, acreage, scale, and north arrow;
4. Land use concept plan accompanied by a table showing the land use district types and acreages of all proposed permitted and conditional uses, the maximum number of dwelling units, Floor Area Ratios (FARs), and the total acreage of open space in the PC Zone and areas (in square footage or acreage) of the various non-residential land uses proposed in the PC Zone;
5. Map showing existing waterways, major utilities, easements, storm water conveyances, flood boundaries, and other relevant infrastructure;
6. Adjacent parcels, owners, and land uses; and
7. A Preliminary Community Structure Plan for the PC Zone Plan area.

Items 1-6 above are provided in the following pages, and item 7 (Preliminary Community Structure Plan) is provided as an exhibit to this application under separate cover.

Chapter 2 of the Spanish Valley Planned Community (PC) District zoning ordinance concludes by indicating that once approved, a PC Zone shall constitute an amendment to the Area Plan, including the zoning map, for the land covered by the approved PC Zone Plan. The approval of the PC Zone Plan shall confer a vested right to proceed with the development process established by the Spanish Valley Planned Community (PC) District ordinance, including the number of dwelling units and the square footage of nonresidential uses reflected in the approved PC Zone Plan.

# SOUTH VALLEY COMMUNITY PC ZONE PLAN - APPLICATION



**1. Name of planned community**

South Valley Community

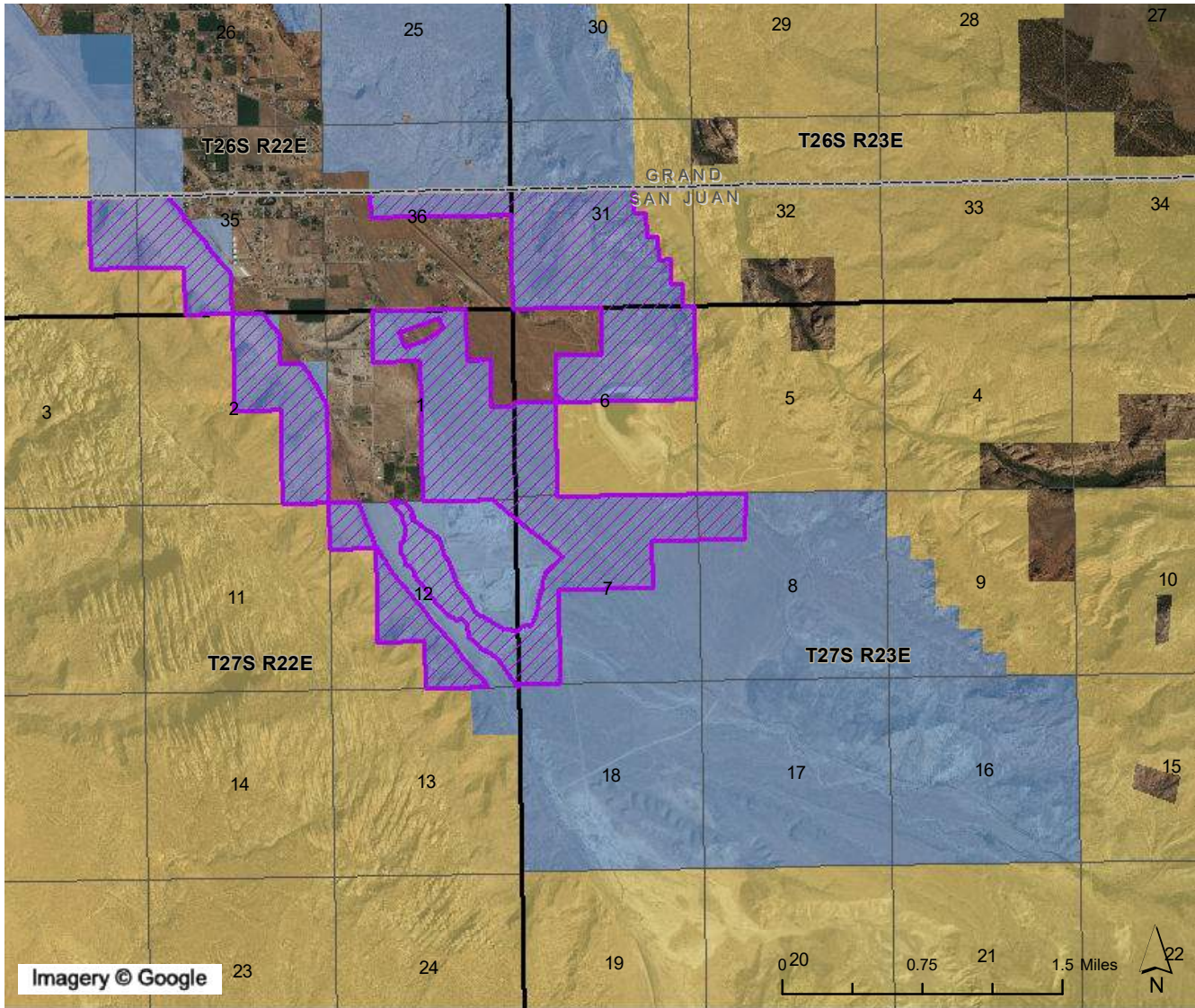
**2. Names, addresses, and phone numbers of applicant and property owner(s)**





State of Utah School and Institutional Trust Lands Administration  
675 East 500 South, Suite 500  
Salt Lake City, Utah 84102  
(801) 538-5100

**3. Map showing PC Zone location, legal/boundary description, acreage, scale, and north arrow**

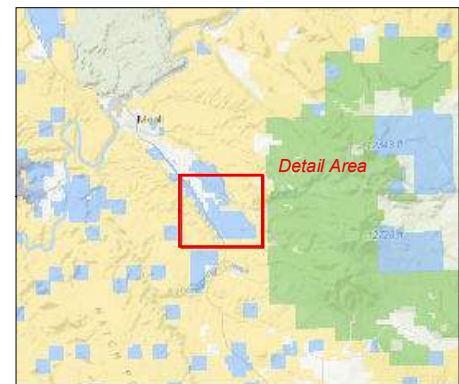
See **Map 1** and associated legal/boundary description (**Table 1**).

**Map 1 – PC Zone Legal/Boundary Map (including a scale and north arrow)**



-  Proposed PC Zone Boundary
- Land Ownership and Administration**
-  Bureau of Land Management
-  Private
-  State Trust Lands

**NOTE:** Proposed PC Zone boundary encompasses 1,864 +/- acres of land, wholly owned by applicant, as detailed in the accompanying legal description on the following page



Data represented on this map is for REFERENCE USE ONLY and is not suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. SITLA provides this data in good faith and shall in no event be liable for any incorrect results, or any special, indirect or consequential damages to any party, arising out of or in connection with the use or the inability to use the data hereon. Land parcels, lease boundaries and associated SITLA data layers may have been adjusted to allow for visual "best fit." The Surface Ownership Land Status data (if present) are maintained by SITLA to reflect current trust land status and surface ownership. Lakes, rivers, streams, highways, roads, county and state boundaries are distributed by the Utah Automated Geographic Reference Center and/or other sources as specified. Contour lines (if present) were generated from USGS 10 meter DEM. Please Note: While SITLA seeks to verify data for accuracy and content, discrepancies may exist within the data. Acquiring the most updated SITLA ownership GIS data may require contacting the GIS staff directly 801-538-5100 or TLA-GIS@utah.gov. The SITLA GIS department welcomes your comments and concerns regarding the data and will attempt to resolve issues as they are brought to our attention. Produced: August 05, 2021 - bbiediger

## Table 1 – PC Zone Legal/Boundary Description and Acreage - 1 of 3

### Section 12, T27S, R22E

A tract of land within Section 12, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the S1/4 of said Section 12; thence northerly 1,320 feet more or less to the center-south 1/16 (CS1/16) corner, thence westerly 1,320 feet more or less to the southwest 1/16 (SW1/16) corner, thence northerly along the 1/16 line 2,289 feet more or less to the intersection of the west right-of-way line of Highway 191 with said 1/16 line, thence southeasterly along said west R.O.W. line 4581 feet more or less to the south line of Section 12, thence westerly along the section line 1510 feet more or less to the point of beginning, **containing 74 acres more or less.**

### Section 12, T27S, R22E

A tract of land within Section 12, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the northwest corner of said Section 12; thence easterly along the section line 645 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said west R.O.W. line 1,413 feet more or less to the south line of the NW1/4 NW1/4 of said Section 12, thence westerly along the 1/16 line 1,130 feet more or less to the N1/16 corner on the west line of said Section 12, thence northerly 1,320 feet more or less to the point of beginning, **containing 26 acres more or less.**

### Section 2, T27S, R22E

A tract of land within Section 2, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the southeast corner of said Section 2; thence along the section line westerly 1,320 feet more or less to the east 1/16 corner (E1/16), thence northerly along the 1/16 line 2,640 feet more or less to the center-east 1/16 corner (CE1/16), thence westerly 1,320 feet more or less to the C1/4 corner of said Section 2, thence northerly along the C1/4 section line 2,640 feet more or less to the N1/4 corner of said Section 2, thence easterly along the section line 778 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 887 feet more or less to the north-south 1/16 line in the NE1/4 of said Section 2, thence southerly along the 1/16 line 733 feet more or less to the north-east 1/16 corner (NE1/16) of said Section 2, thence easterly along the east-west 1/16 line 551 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 1,598 feet more or less to the intersection of said R.O.W. line and the east line of said Section 2, thence southerly along the section line 2,564 feet more or less to the point of beginning, **containing 188 acres more or less.**

### Section 34 and Section 35, T26S, R22E

A tract of land within Section 34 and Section 35, Township 26 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the S1/4 corner of said Section 35; thence westerly along the section line 1,320 feet more or less to the west 1/16 corner (W1/16), thence northerly along the 1/16 line 1,320 feet more or less to the southwest 1/16 corner (SW1/16), thence westerly along the 1/16 line 1,320 feet more or less to the S1/16 corner on the section line between said Sections 34 and 35, thence westerly along the 1/16 line 1,320 feet more or less to the southeast 1/16 corner (SE1/16) of said Section 34, thence northerly along the 1/16 line 1,320 feet more or less to the center-east 1/16 corner (CE1/16), thence northerly along the 1/16 line 730 feet more or less to the northern boundary of San Juan County, thence easterly along the northern boundary of San Juan County 1,943 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 3,306 feet more or less to the north-south C1/4 section line of said Section 35, thence southerly along the section line 760 feet more or less to the point of beginning, **containing 166 acres more or less.**

### Section 36, T26, R22E; Section 31, T26S, R23E; Section 6, T27S, R23E

A tract of land within Section 36, T26, R22E, Section 31, T26S, R23E and Section 6, T27S, R23E SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the corner common to said Sections 6, 31, and 36; thence northerly along the section line 2,640 feet more or less to the ¼ corner common to Sections 31 and 36, thence westerly along the C1/4 section line 3,960 feet more or less to the center-west 1/16 corner (CW1/16) of said Section 36, thence northerly along the 1/16 line 720 feet more or less to the northern boundary of San Juan County, thence easterly along the northern boundary of San Juan County 7,445 feet more or less to 1/256 aliquot part section subdivision line in the SW1/4 NE1/4 of said Section 31, thence southerly 660 feet more or less to the CEWE1/256 corner, thence easterly 330 feet to the CE1/16 corner, thence southerly 660 feet to the CNSE1/64 corner, thence easterly 330 feet to the CWNESE 1/256 corner, thence southerly 660 feet to the CWSE 1/256 corner, thence easterly 330 feet to the CESE1/64 corner, thence southerly 660 feet to the SESE 1/64 corner, thence easterly 330 feet to the CESESE 1/256 corner, thence southerly 660 feet to the EEE1/256 corner on the south line of said Section 31, thence easterly 330 feet to the section corner common to said Sections 6 and 31, thence southerly 2,640 feet along the east line of said Section 6 to the E1/4 corner of said Section 6, thence westerly along the C1/4 section line 3,960 feet more or less to the center-west 1/16 corner (CW1/16) of said Section 6, thence northerly along the 1/16 line 1,320 feet more or less to the north-west 1/16 (NW1/16) corner of said Section 6, thence easterly along the 1/16 line 1,320 feet more or less to the center-north 1/16 corner (CN1/16), thence northerly along the C1/4 line 1,320 feet more or less to the N1/4 corner of said Section 6, thence westerly along the section line 2,640 feet more or less to the point of beginning, **containing 586 acres more or less.**



**Table 1 – PC Zone Legal/Boundary Description and Acreage - 2 of 3****Sections 1 and 12, T27, R22E; Sections 6, 7, and 8, T27S, R23E**

A tract of land within Sections 1 and 12, T27, R22E, and Sections 6, 7, and 8, T27S, R23E SLB&M County of San Juan, State of Utah, more particularly described as follows:

Beginning at the corner common to said Sections 6, 7, and 8; thence easterly along the section line 1320 feet more or less to the W1/16 corner on the north line of Section 8, thence southerly 1320 feet more or less to the NW1/16 corner of said Section 8, thence westerly 1320 feet more or less to the N1/16 corner between said Sections 7 and 8, thence westerly 1320 feet more or less to the NE1/16 corner of said Section 7, thence southerly 1320 feet more or less to the CE1/16 corner of said Section 7, thence westerly 2640 feet more or less to the CW1/16 corner of said Section 7, thence southerly 2640 feet more or less to the W1/16 corner on the south line of said Section 7, thence westerly 1320 feet more or less to the southwest corner of said Section 7 and a point on the east line of said Section 12, thence southerly 71 feet more or less to the southeast corner of said Section 12, thence westerly 48 feet along the south line of said Section 12, thence N35°47'36"W 991.27 feet, thence N58°06'31"W 356.01 feet, thence N65°43'28"W 183.27 feet, thence N34°48'01"W 184.93 feet, thence N52°48'55"W 180.02 feet, thence N38°10'00"W 108.59 feet, thence N13°41'03"W 308.40 feet, thence N13°47'14"W 122.43 feet, thence N52°43'23"W 78.11 feet, thence N86°42'55"W 76.34 feet, thence S81°10'39"W 96.31 feet, thence N71°51'24"W 60.24 feet, thence N60°02'07"W 198.47 feet, thence N45°37'22"W 582.56 feet, thence N38°07'41"W 621.07 feet, thence N42°22'51"W 198.93 feet, thence N21°19'45"W 132.66 feet, thence N16°33'06"W 119.05 feet, thence N42°06'43"W 121.41 feet, thence N62°23'40"W 91.60 feet, thence N50°29'09"W 74.39 feet, thence N03°39'29"W 162.19 feet, thence N36°19'09"W 64.77 feet, thence N41°18'02"W 145.15 feet, thence N07°43'23"W 110.46 feet, thence N04°45'03"E 162.54 feet, thence N51°33'04"E 84.79 feet, thence N15°05'05"E 197.56 feet, thence N00°17'30"W 76.19 feet, thence N01°29'54"E 152.46 feet, thence N23°16'49"W 170.71 feet, thence N00°17'30"W 104.77 feet, thence N23°47'24"W 119.43 feet, thence N37°35'44"W 125.72 feet, thence N53°49'20"W 136.20 feet, thence N42°10'10"W 185.48 feet more or less to a point on the north line of said said Section 12; said point being located easterly 1,731 feet from the northwest corner of said Section 12; thence easterly along the section line 373.54 feet, thence S52°40'54"E 189.79 feet, thence S26°00'34"E 496.09 feet, thence S56°07'54"E 136.94 feet, thence S47°53'39"E 296.63 feet, thence S79°59'11"E 53.24 feet, thence S73°11'21"E 64.77 feet, thence S31°15'19"E 138.84 feet, thence S78°58'54"E 72.85 feet, thence S61°59'26"E 70.31 feet, thence S19°40'34"E 272.61 feet, thence S09°15'51"E 91.60 feet, thence S17°56'30"E 109.94 feet, thence S40°16'42"E 192.68 feet, thence S20°57'02"E 310.45 feet, thence S18°43'36"E 421.66 feet, thence S34°59'12"E 225.89 feet, thence S43°00'04"E 252.75 feet, thence S25°14'08"E 451.68 feet, thence S52°56'32"E 227.64 feet, thence S 84°34'52"E 47.86 feet, thence S63°08'31"E 208.72 feet, thence S44°04'22"E 158.30 feet, thence S 62°21'16"E 355.76 feet, thence S88°56'37"E 404.89 feet, thence N54°20'45"E 181.02 feet more or less to a point approximately 50 feet perpendicularly distant and on the northwesterly side of the centerline of Ken's Lake Cutoff Road (SJC Road No. 1641), thence running on the northwesterly side of said Ken's Lake Cutoff Road as follows; N21°17'48"E 195.28 feet, thence N04°12'29"E 426.47 feet, thence N03°14'04"E 272.27 feet, thence N18°06'06"E 337.78 feet, thence N35°56'18"E 210.85 feet, thence N47°12'27"E 230.54 feet, thence N51°09'14"E 687.28 feet to a point westerly of the intersection of the Ken's Lake Cutoff Road and the La Sal Loop Road (SJC Road No. 127), thence running along the southwesterly side of said La Sal Loop Road N50°59'06"W 2560.58 feet to a point on the north line of said Section 12, thence westerly along the section line 1,947 feet more or less to the S1/4 corner of said Section 1, thence northerly along the C1/4 section line 3,960 feet to the center-north 1/16 corner (CN1/16), thence westerly 1,320 feet to the north-west 1/16 (NW1/16) corner of said Section 1, thence northerly along the 1/16 line to the W1/16 corner on the north line of said Section 1, thence easterly along the section line 2,640 feet to the E1/16 corner on the north line of said Section 1, thence southerly 1,430 feet more or less to the NE1/16 corner, thence easterly 660 feet to the CENE1/64 corner, thence southerly 1,320 feet more or less to the CE1/64 corner, thence easterly 660 feet to the E1/4 corner of said Section 1, thence northerly along the section line 87 feet more or less to the W1/4 corner of said Section 6, thence easterly along the C1/4 section line 1,177 feet more or less to the CW1/16 corner, thence southerly 2,640 feet along the 1/16 line to the W1/16 corner on the south line of said Section 6, thence easterly 3,960 feet along the section line to the point of beginning, **containing 835.39 acres more or less.**

**LESS: Those tracts of land as surveyed in accordance with San Juan County Record of Survey No. 1101 described as...**

**Tract "A"**

A tract of land within the N1/2 of Section 1, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at a point located S81°28'06"E 2633.29 feet from the northwest corner of said Section 1 and considering the bearing between the E1/4 corner and the northeast corner of said Section 1 to be N00°04'00"E; thence S20°51'47"E 458.48 feet to a point on a non-tangent curve to the right having a radius of 1500.00 feet, thence southwesterly 132.94 feet along said curve; the chord of said curve is 132.89 feet and bears S66°35'53"W; thence S69°08'13"W 427.36 feet, thence N20°51'47"W 464.37 feet, thence N69°08'13"E 560.13 feet to the point of beginning, **containing 5.97 acres more or less.**

### Table 1 – PC Zone Legal/Boundary Description and Acreage - 3 of 3

#### Tract “B”

A tract of land within the N1/2 of Section 1, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at a point located S81°28’06”E 2633.29 feet from the northwest corner of said Section 1 and considering the bearing between the E1/4 corner and the northeast corner of said Section 1 to be N00°04’00”E; thence N69°08’13”E 616.04 feet to a point on the center of the travel surface of Allen Street, thence S29°32’57”E 323.53 feet along the centerline of the travel surface of Allen Street, thence S56°09’15”W 472.76 feet to the beginning of a curve to the right, having a radius of 1500.00 feet, thence southwesterly 206.95 feet along said curve; the chord of said curve is 206.79 feet and bears S60°06’24”W, thence N20°51’47”W 458.48 feet to the point of beginning, **containing 5.85 acres more or less.**

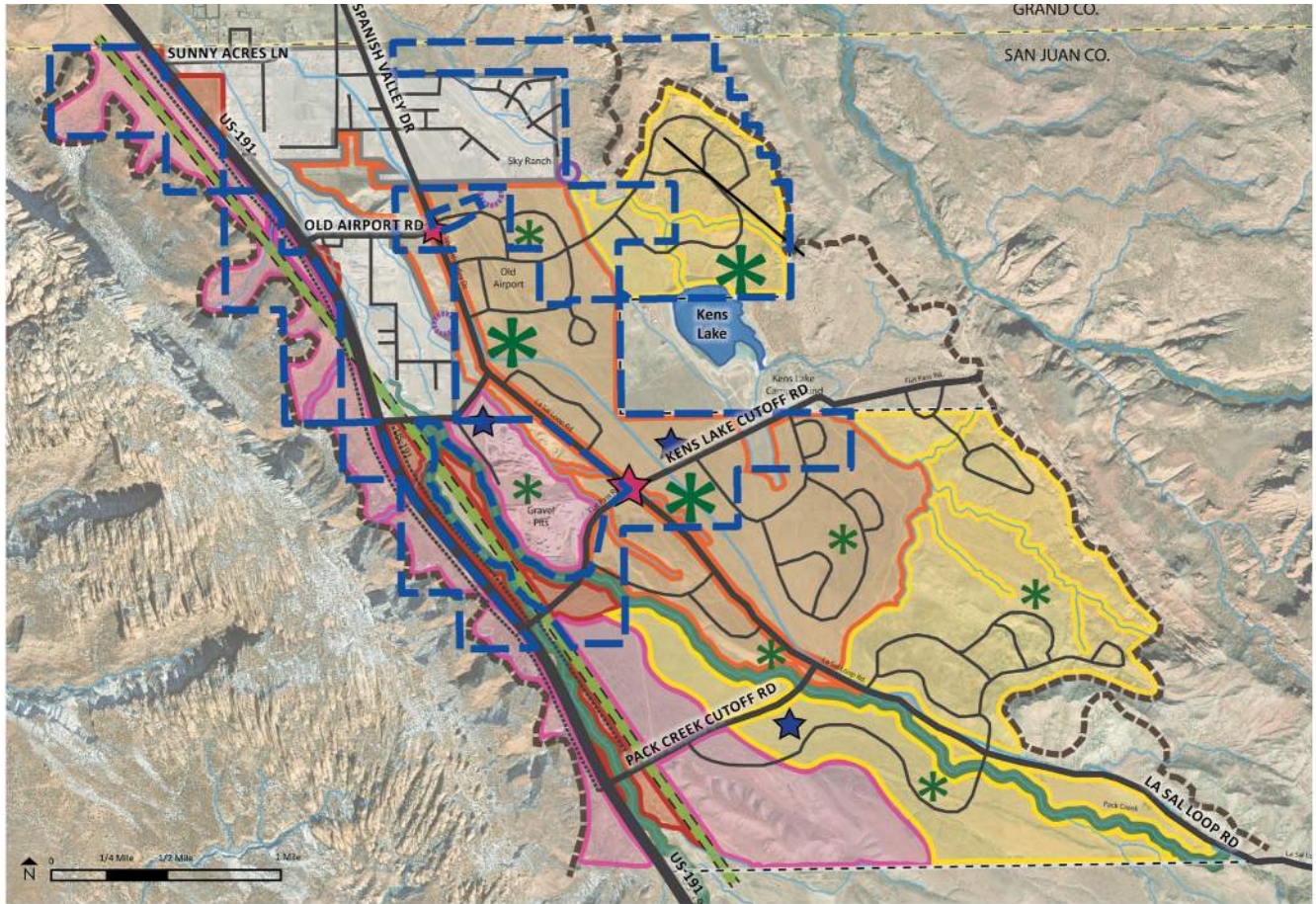
Resultant acreage of this complete description minus the “Less” tracts is **823.57 acres** more or less (835.39 – 5.97-5.85 = 823.57)

Total acreage in the rezone application is **1,863.57 acres** more or less.

#### 4. Land use concept plan accompanied by a table showing the land use district types and acreages of all proposed permitted and conditional uses, the maximum number of dwelling units, Floor Area Ratios (FARs), and the total acreage of open space in the PC Zone and areas (in square footage or acreage) of the various non-residential land uses proposed in the PC Zone

The *San Juan County Spanish Valley Area Plan* (adopted April 17, 2018) serves as the land use concept plan for the PC Zone application and PC Zone Plan. **Map 2** and **Table 2** illustrate and describe land use types and acreages of all proposed permitted and conditional uses, the maximum number of dwelling units, Floor Area Ratios (FARs), and the total acreage of open space in the PC Zone Plan and areas (in square footage or acreage) of the various non-residential land uses proposed in the PC Zone Plan. The land use concept is further described in the *Preliminary Community Structure Plan (Exhibit A)*. Since the Area Plan did not include all of the PC Zone Plan’s acreage, **Map 3** and **Table 3** show those differences.

Map 2 – San Juan County Spanish Valley Area Plan (2018)



**Legend**

- |  |   |   |  |
|--|---|---|--|
| <ul style="list-style-type: none"> <li>■ PC Zone Rezone Application Area</li> <li>--- Steep Cliffs Delineating Valley</li> <li>■ Lakes/Reservoirs</li> <li>■ Major Drainage</li> <li>— Minor Drainage</li> </ul> | <ul style="list-style-type: none"> <li>— US-191</li> <li>— Primary Road</li> <li>— Secondary Road</li> <li>--- Frontage Road</li> <li>— Power Corridors</li> <li>● New Culinary Water Well</li> <li>● Future Culinary Water Well (known)</li> </ul> | <ul style="list-style-type: none"> <li>* Regional Park</li> <li>* Community Park</li> <li>★ Schools</li> <li>★ Neighborhood Center</li> </ul> | <ul style="list-style-type: none"> <li>□ Private Land Area - focus on infill limited subdivision of acre + lots, and logical road/circulation linkages (700 acres)</li> <li>■ Central Neighborhood Development Areas (1450 acres)</li> <li>■ Perimeter Neighborhood Development Areas (1750 acres)</li> <li>■ Flex Development Areas - market-driven business/commercial/residential development (1075 acres)</li> <li>■ Highway Commercial Areas (200 acres)</li> </ul> |
|--|---|---|--|

**Description**

The San Juan County Spanish Valley Area Plan provides a rational land use and growth strategy that builds upon the key principles identified through the public input process and the direction of county officials.

Accordingly, there are five types of potential Growth and Development Areas, each with unique opportunities and considerations, as follow:

**Private Land Areas**

This area consists of both developed and undeveloped land that is owned by numerous private parties. Since the area has been inconsistently planned, the focus is on meeting the following needs:

- Establishing a rational and coordinated system of road and storm water conveyance systems
- Providing transitions between existing and future incompatible uses
- Facilitating limited subdivision and densification where opportunities exist
- Ensuring that future development follows a new system of guidelines that promote safe, coordinated growth and development

**Central Development Areas**

Located in the center of the valley, these are the flattest and easiest-to-develop areas. They are suitable for a wide range of development, including residential, civic, institutional and parks/open space uses. They also support limited development of local commerce and community services. The large tracts of contiguous land are primarily under single ownership, which promotes the application of coordinated development strategies.

**Perimeter Development Areas**

Located on the east and south edges of the valley, these areas are relatively distant from existing growth areas. The application of coordinated strategies and models for lower-density development should be applied.

**Highway Commercial Areas**

Regional commercial uses and needs are supported along the highway near major intersections. Direct access from the highway should be limited to promote movement.

**Flex Development Areas**

These areas provide unique opportunities to create an economic base for the valley, due in large part to their location near they highway, yet buffered from nearby neighborhoods. A flexible development approach should be considered to allow market developments and opportunities to be addressed.

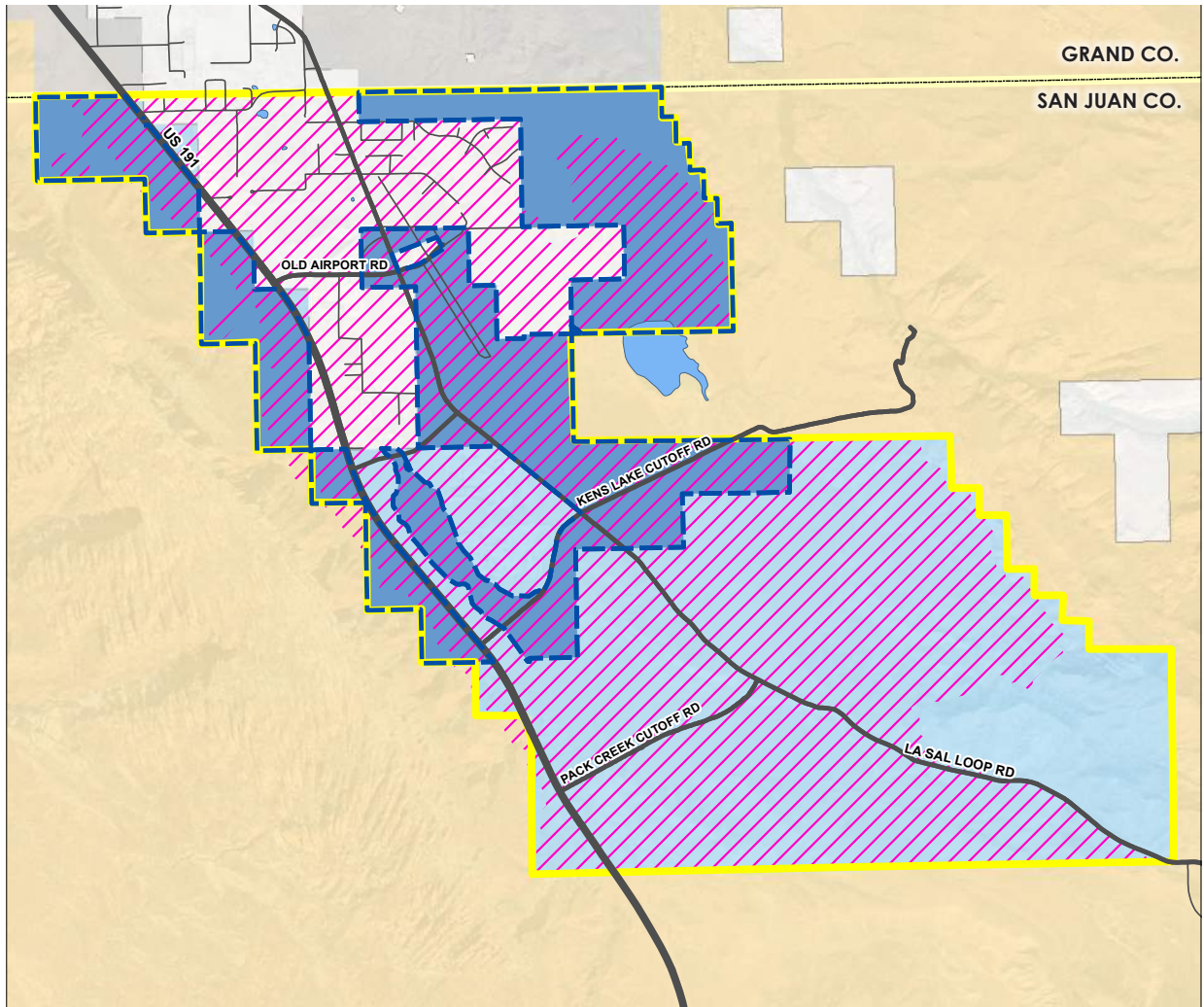
Table 2 – PC Zone Plan Land Use

LAND USE	AC.	% OF TOTAL AC.	ASSUMPTIONS	CALCULATIONS	PROJECTED UNITS	% OF TOTAL UNITS	PROJECTED SF	% OF TOTAL SF
Neighborhood Centers	113	6.1%	Mix of residential, office, commercial and similar uses proposed as part of creating a discernible mixed-use town. Uses may be mixed vertically or horizontally. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. It is assumed that 50% of the area will be dedicated to residential uses with an average density of 8 units per acre. The remaining 50% is assumed as office, commercial and similar uses with an F.A.R. of 0.25.	$(0.5 \times 113 \times 0.7) \times 8$ $(0.5 \times 113 \times 0.25 \times 0.7) \times 43,560$	316	10.1%	430,700	23.0%
Central Development Areas	545	29.2%	A wide range of housing types and forms, including townhomes, apartments and single-family homes. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. Average density of 4.5 units per acre.	$(545 \times 0.7) \times 4.5$	1,717	54.8%	-	-
Perimeter Development Areas	576	30.9%	Located along the eastern edges of the development areas, these neighborhoods are relatively isolated, located in the foothills and topographically challenged edges of the valley. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. Clustered Development is the preferred pattern and an average density of 1.5 units per acre is assumed.	$(576 \times 0.7) \times 1.5$	605	19.3%	-	-
Flex Development Areas	630	33.8%	A range of business, distribution, highway commercial and specialty residential uses in response to market opportunities and conditions. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. 25% of land is assumed as specialty residential uses with an average density of 4.5 units per acre. All other uses are assumed for the remaining 75% of land with a F.A.R. of 0.1.	$(0.25 \times 630 \times 0.7) \times 4.5$ $(0.75 \times 630 \times 0.1 \times 0.7) \times 43,560$	496	15.8%	1,440,747	77.0%
<b>TOTAL *</b>	<b>1,864</b>	<b>100%</b>	-	-	<b>3,134</b>	<b>100%</b>	<b>1,871,447</b>	<b>100%</b>

\* Total figures may differ slightly due to rounding of numbers in the table.

Note: Calculation methodology is the same as used in the San Juan County Spanish Valley Area Plan (adopted April 17, 2018). See **Map 3** and **Table 3** for land area totals used in previous planning efforts compared with the current 2021 PC Zone Rezone Application Area.

**Map 3 – Comparison Map of Acreage Totals**



- 2021 PC Zone Rezone Application Area (+/- 1,864 acres)
- San Juan County Spanish Valley Area Plan (+/- 4,775 acres)
- Private and SITLA lands in Spanish Valley (+/- 6,360 acres)
- Additional SITLA in the San Juan County Portion of Spanish Valley
- SITLA Land in Grand County
- BLM Land
- Private Land



**Table 3 – Comparison Summary of Planning Areas**

Planning Area	Approx. Acres
2021 PC Zone Rezone Application Area	1,864
San Juan County Spanish Valley Area Plan	4,775
SITLA Land in San Juan County Portion of Spanish Valley	5,233

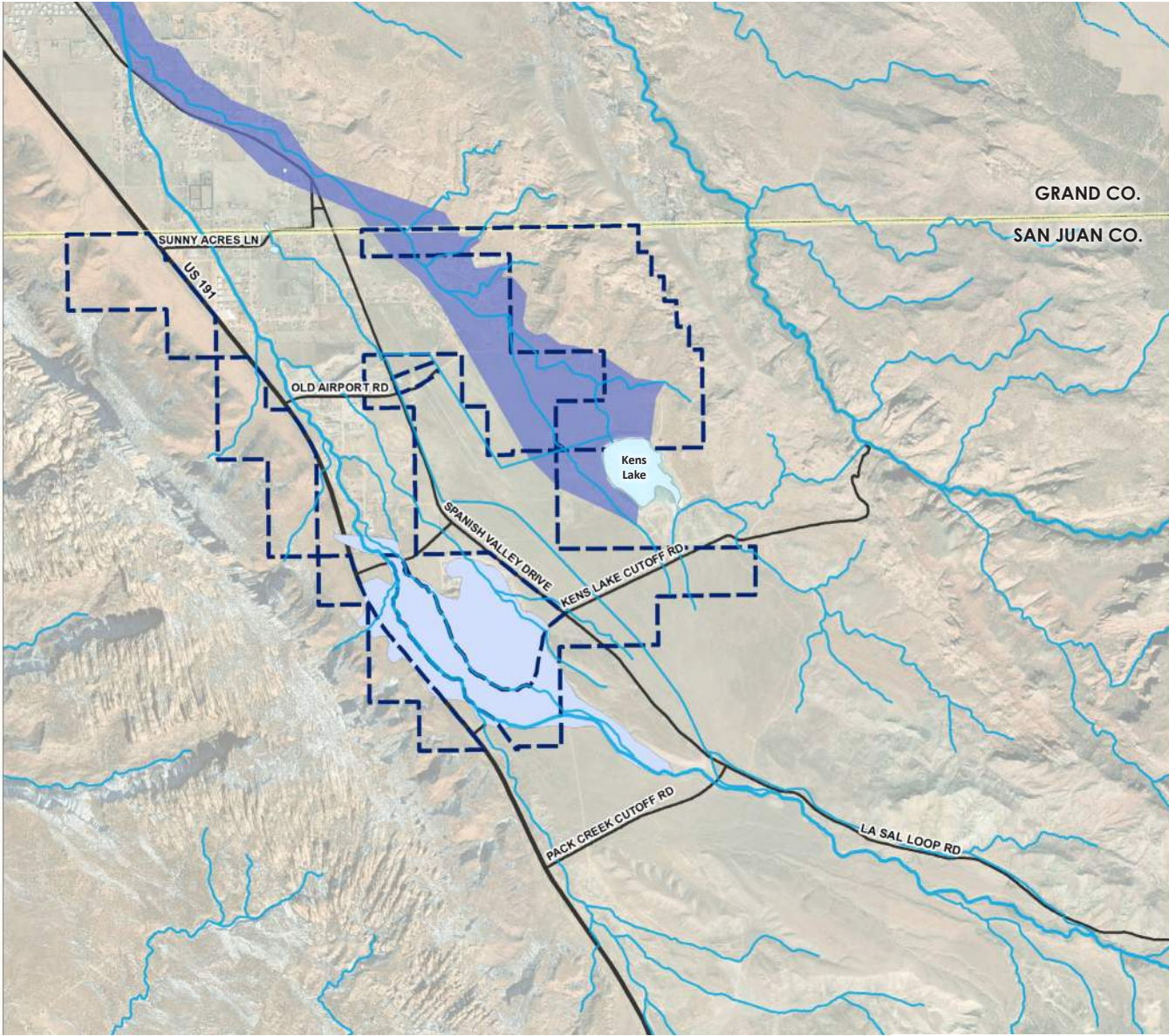
## 5. Map(s) showing existing waterways, major utilities, easements, storm water conveyances, flood boundaries, and other relevant infrastructure

Pack Creek is the dominant waterway draining the PC Zone Plan area. **Map 4** shows the existing Pack Creek channel and stormwater conveyance area as well as the flood zone boundary if the Kens Lake dam were to fail. It should be noted that water generally flows from south to north.

Most of the drainages and existing streams illustrated on **Map 4** are ephemeral, conveying water primarily after summer thunderstorms, which are localized, intense and short-lived. Winter precipitation in the PC Zone Plan area is less localized, less intense and of longer duration. Winter snows in the Spanish Valley melt gradually and winter rains usually infiltrate the soils. Pack Creek typically carries water runoff from the spring melt of the La Sal Mountains snowpack located several miles to the southeast. A portion of the water in Pack Creek is diverted into an irrigation ditch, which was traditionally used to water alfalfa fields in the Spanish Valley.

**Map 5** shows existing easements, utilities and roads in the PC Zone Plan area. Existing utilities and accompanying easements include recently installed culinary water and sanitary sewer lines (San Juan Spanish Valley Special Service District), local power distribution and electrical transmission lines (Rocky Mountain Power), natural gas service lines (Dominion Energy), interstate transmission gas lines (Northwest Pipeline, Mid-America Pipeline, and Dominion Energy), fiber optic lines (Emery Telcom and Frontier Communications), and private irrigation water lines and ditches. The primary roads are US-191 and Spanish Valley Road/LaSal Loop Road, both of which generally convey traffic in a north-south direction within the Spanish Valley. These two roads are linked by four east-west streets: Sunny Acres Lane, Old Airport Road, Kens Lake Cutoff Road and Pack Creek Cutoff Road.

### Map 4 – Existing Waterways, Stormwater Conveyances, and Flood Boundaries

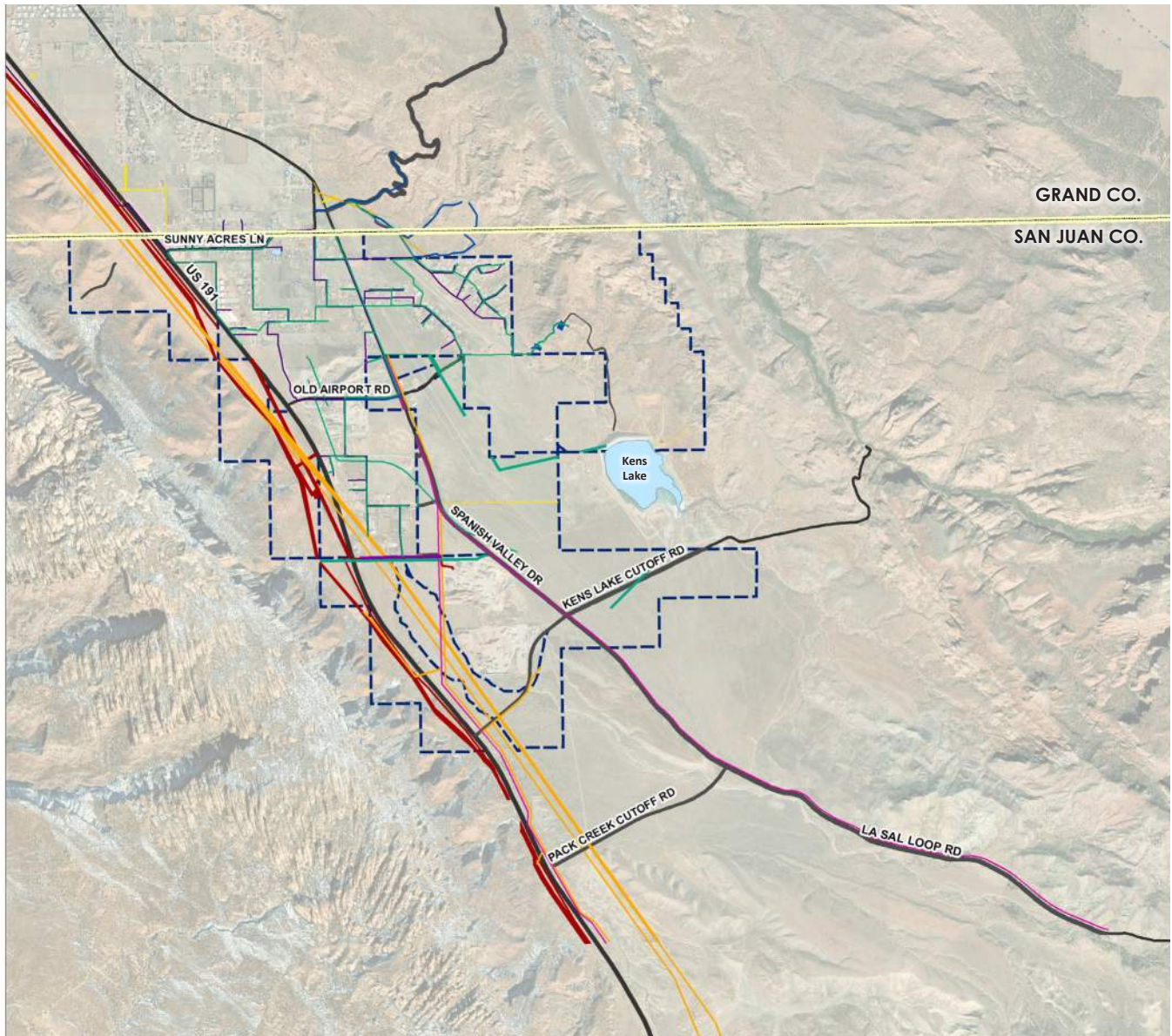


#### Legend

- Kens Lake
- Kens Lake Dam Break Flood Zone
- Pack Creek Stormwater Conveyance Area
- Existing Stream/Drainage
- PC Zone Rezone Application Area

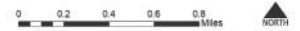
Source: Utah Automated Geographic Reference Center (AGRC), Hansen, Allen and Luce (HAL), Utah Division of Water Resources and SITLA

### Map 5 – Existing Utilities, Easements and Roads



#### Legend

- Powerline
- Pipeline - Natural Gas
- Pipeline - Culinary Water (most lines belong to San Juan Spanish Valley Special Service district)
- Pipeline - Irrigation Water
- Pipeline - Sewer System (San Juan Spanish Valley Special Service District)
- Fiber Optic Line
- Roads
- PC Zone Rezone Application Area



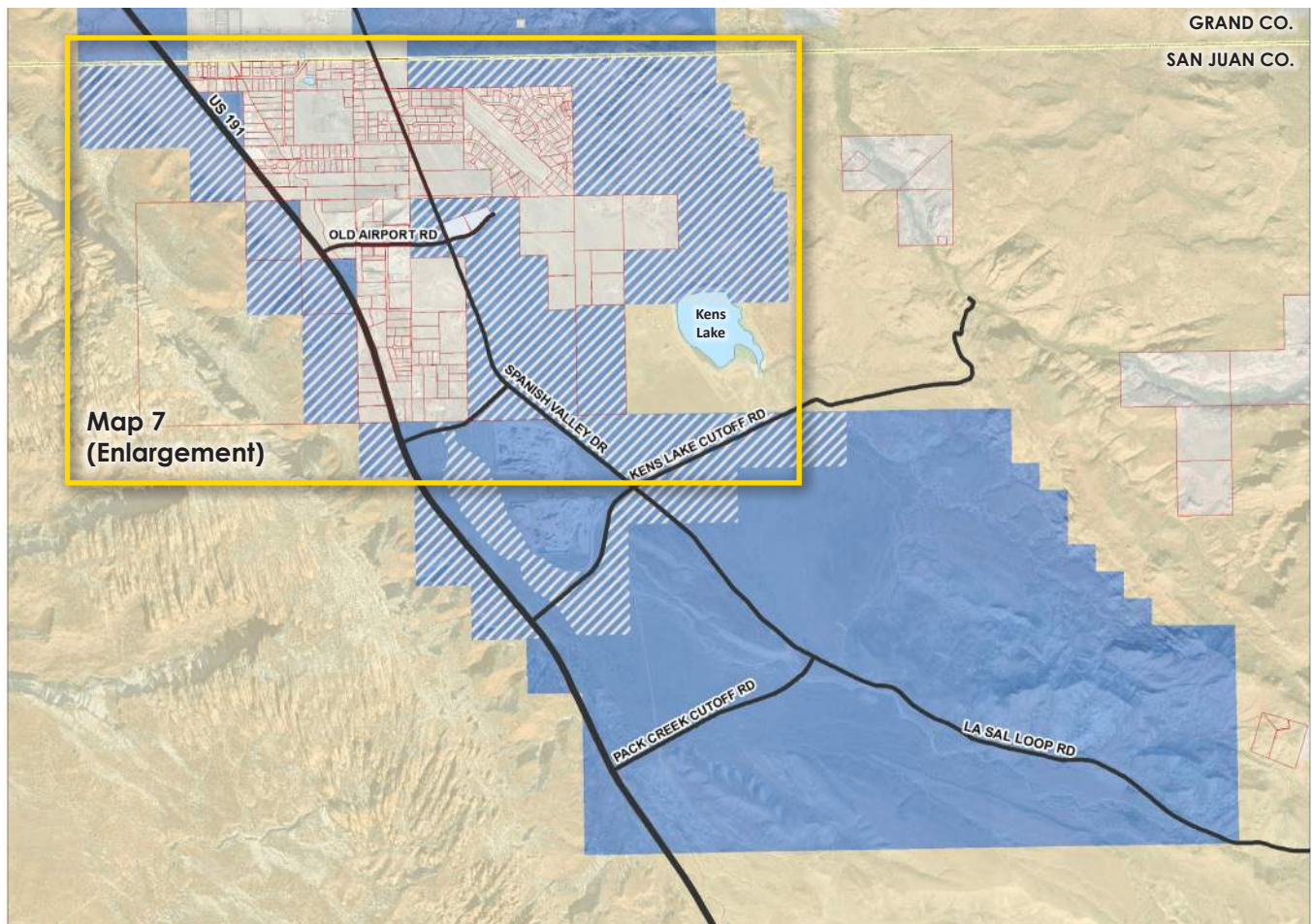
Source: Utah Automated Geographic Reference Center (AGRC), San Juan Spanish Valley Special Service District and SITLA



## 6. Adjacent parcels, owners, and land uses

The land within this PC Zone application area is currently owned by SITLA. There are numerous parcels of land under other ownership adjacent to the PC Zone Plan area. **Map 6** indicates the location of each adjacent parcel. The land uses of the adjacent parcels are primarily residential or open space with some industrial (primarily gravel extraction) operations and highway commercial activities. **Map 7** is an enlargement of **Map 6**, focusing on the adjacent properties located in the northern extents of the PC Zone application area. **Table 4** lists the parcel number and owner details of adjacent parcels. **Map 8** indicates current zoning within the PC Zone application area and the near vicinity. **Map 9** highlights current zoning for the PC Zone application area. The PC Zone application area will become a unique PC Zone upon approval of the application. It should be noted that SITLA-owned property currently zoned Agricultural (A1), Controlled District-Highway (Cd-h) and Highway Commercial (HC) are not included in this PC Zone application.

**Map 6 – Existing Ownership Map**

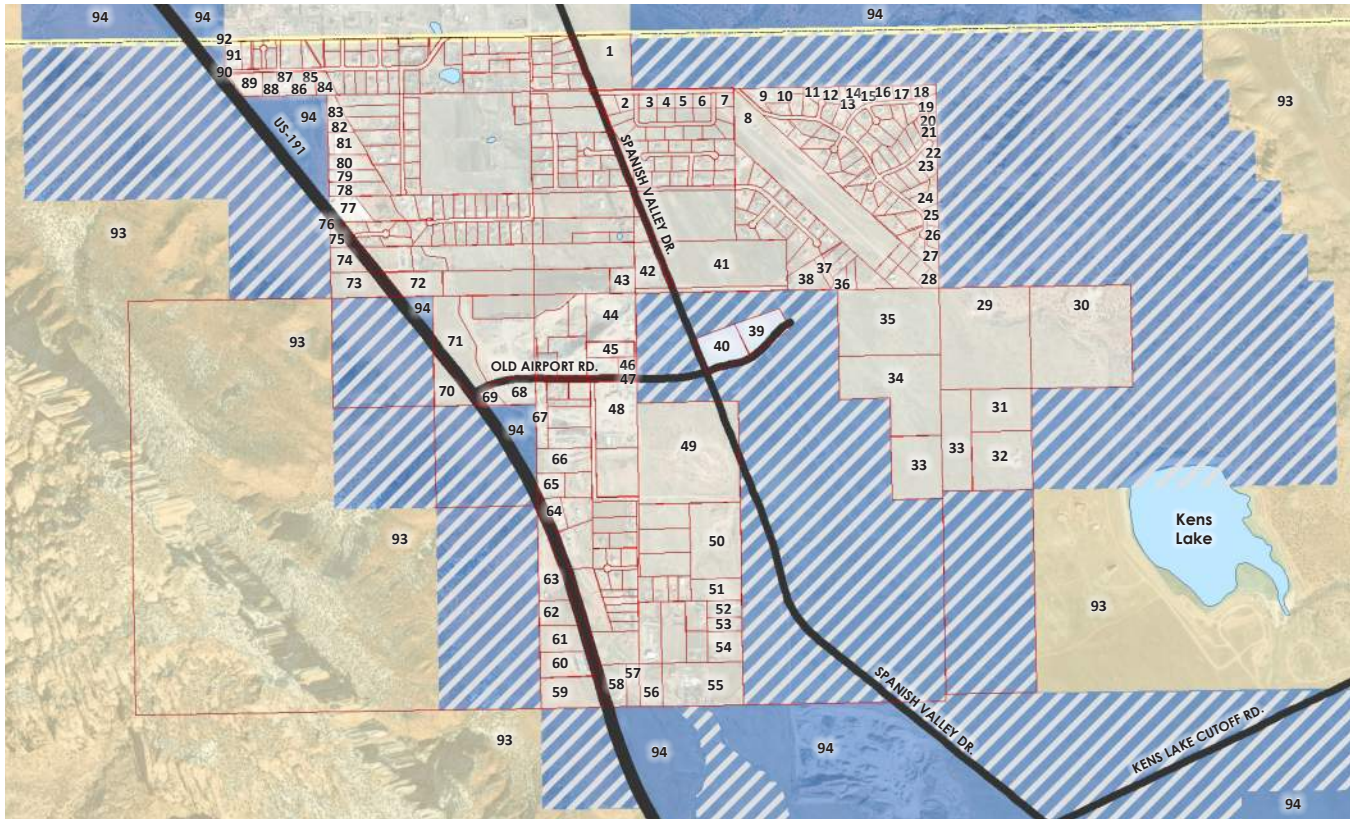


### Legend

- Parcel Boundaries
- ▨ PC Zone Rezone Application Area
- BLM Land
- SITLA Land
- Private Land

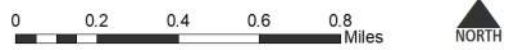


**Map 7 – Enlargement of Existing Ownership Map (Map 6)**



**Legend**

- Parcel Boundaries
- ▨ PC Zone Rezone Application Area
- SITLA Land
- BLM Land
- Private Land



**Table 4 – Adjacent Ownership by Parcel (as of April 5, 2021) - 1 of 4**

NUMBER ON MAP	PARCEL NUMBER	Owner
<b>1</b>	26S22E363600	Kenneth E. Bates, Julia Bates, Harley Edward Bates and Dorothy Lorraine Bates
<b>2</b>	000990000020	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>3</b>	000990000180	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>4</b>	000990000190	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>5</b>	000990000200	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>6</b>	000990000130	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014

**Table 4 – Adjacent Ownership by Parcel (as of April 5, 2021) - 2 of 4**

<b>NUMBER ON MAP</b>	<b>PARCEL NUMBER</b>	<b>Owner</b>
7	000990000120	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
8	26S22E367801	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
9	000820000010	Lester Zufelt and Laura Zufelt, Trustees of The Lester and Laura Zufelt Family Living Trust dated July 29, 2005
10	000820000030	Lester Zufelt and Laura Zufelt, Trustees of The Lester and Laura Zufelt Family Living Trust dated July 29, 2005
11	000620010030	Kevin L. Irvine and Tina M. Irvine
12	000620010040	Samuel Adam Mealey
13	000620000070	Stanley Jay Madsen and Evyonne Lynn Madsen
14	000620000080	Pamela J. Sewell
15	000620000090	Philip D. Atkins and Linda Duran McKelvey-Atkins
16	000620000100	Brandon Melvin Williams and Courtney Richens, and Raymond A. Richens
17	000620000110	Kristine M. Rogers and Lane C. Wille
18	000620000120	James FW, Trustee of the FW James Revocable Living Trust dated May 20, 2016
19	000620000130	Maxine D. Starr
20	00062000033F	North Moab Holdings 48 Vista View Lane, LLC
21	00062000033B	North Moab Holdings 16 Vista Lane, LLC
22	000620000340	Ronald G. Hacker and Paula C. Hacker
23	000620000350	Alfred M. Cymbaluk and Jennifer L. Anderson-Cymbaluk
24	00062000049A	Daniel George McPherson
25	000620000500	Philip A. Snyder
26	000620000510	Dominic Lee
27	000620000520	Dominic Lee
28	0006400A1010	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
29	27S23E063001	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999
30	27S23E062400	Stephen P. Johnston and Kathleen M. Johnston, Trustees of the Stephen P. Johnston and Kathleen M. Johnston Pre-Death Revocable Living Trust under agreement effective June 30, 2011
31	27S23E063000	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999
32	27S23E063600	Timothy O'Niell and Beverly B. O'Neill
33	27S22E011800	Betty E. Thomas and William Thomas, Trustees of the Betty E. and William Thomas Family Trust dated October 26, 1999
34	27S22E010002	William Thomas, Trustee of the William Thomas Family Trust dated October 26, 1999
35	27S22E010001	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999

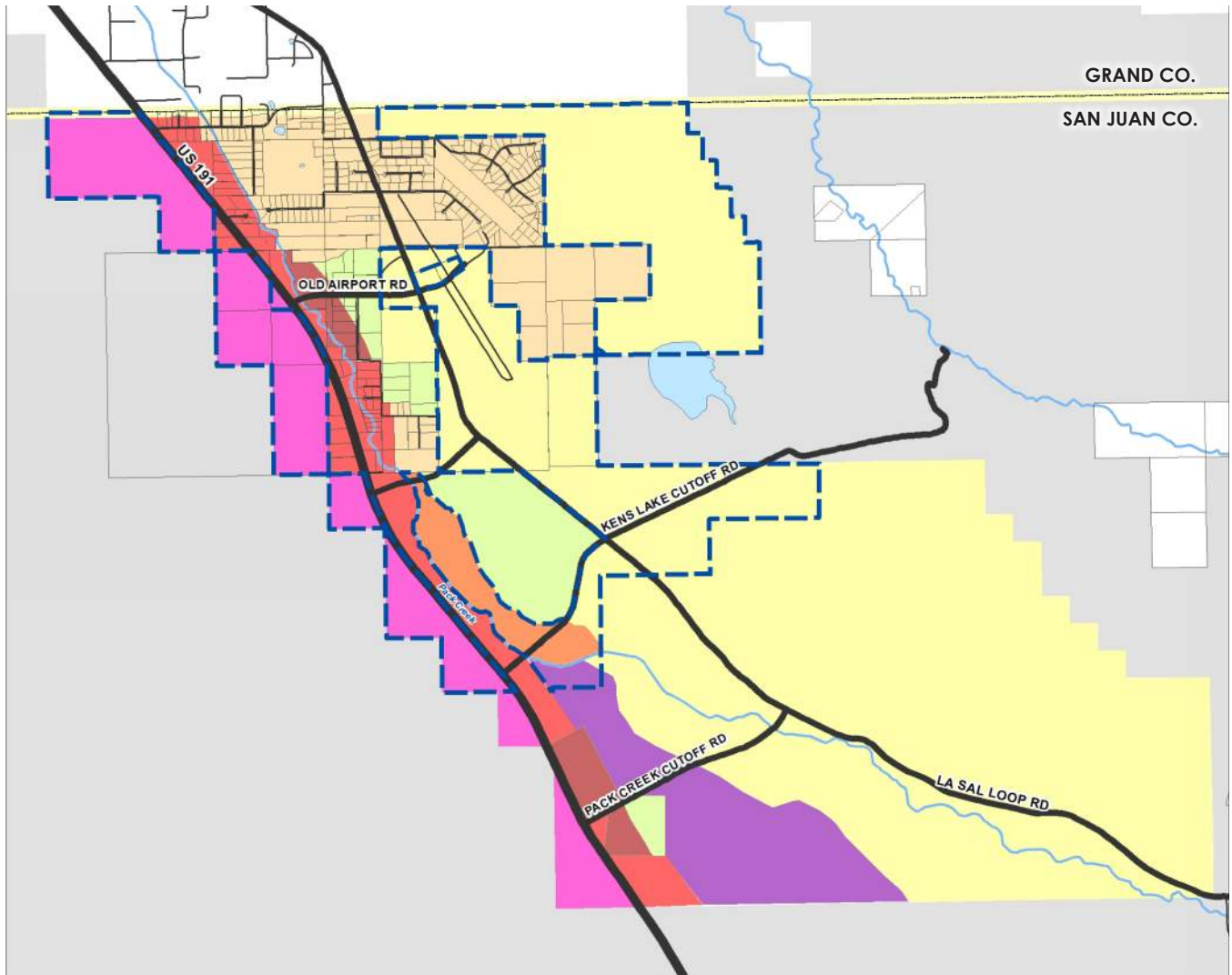
Table 4 – Adjacent Ownership by Parcel (as of April 5, 2021) - 3 of 4

NUMBER ON MAP	PARCEL NUMBER	Owner
36	000450000030	Ronald Tazz Robinson and Kellie Warden
37	00045000006B	Mitch K. Kelling
38	000450000070	Mitch K. Kelling
39	27S22E010700	San Juan County
40	27S22E012400	Local Building Authority of San Juan Health Service District
41	0003900000D0	Grand County
42	26S22E366602	Red Rock Partners LLC
43	26S22E366006	Brian C. Backus and Kelsie P. Backus
44	27S22E013000	LeGrand Johnson Construction Company
45	27S22E013008	LeGrand Johnson Construction Company
46	27S22E013007	Aron Ryan and Richard A. Ryan
47	27S22E013013	San Juan County
48	27S22E013606	LeGrand Johnson Construction Company
49	27S22E014200	Grand County
50	27S22E014800	LeGrand Johnson Construction Company
51	27S22E014802	LeGrand Johnson Construction Company
52	00056000004A	Gregory S. Williams
53	00056000004B	Gregory J. Mefret and Michelle L. Mefret
54	000560000050	Edward K. Tangren, Trustee of The Tangren Family Trust dated November 6, 1996
55	000560000060	Michael H. Bynum and Gina Giffin
56	000560000070	Michael H. Bynum and Gina Giffin
57	000800000010	Karl G. Tangren and Joylyn Johnson
58	000800000020	Karl G. Tangren and Joylyn Johnson
59	27S22E016001	IUC Properties LLC
60	27S22E016002	Rim View LLC
61	27S22E016003	Rim View LLC
62	27S22E015402	David Ivan Hawks
63	27S22E015405	David Ivan Hawks
64	27S22E013603	WCR Holdings, LLC
65	27S22E013602	Kane Creek LLC
66	27S22E013601	LeGrand Johnson Construction Company
67	27S22E013600	LeGrand Johnson Construction Company
68	27S22E020003	LeGrand Johnson Construction Company
69	27S22E020005	John Benjamin Gunn
70	27S22E020004	Shocker Holdings LLC
71	27S22E020002	(1/2 int) Ferrie Arthur Mathie, surviving Co-trustee of the Catherine LuPreal Summerhays Mathie Inter Vivos Trust and (1/2 int) Ferrie A. Mathie, surviving Co-trustee of the Catherine LuPreal Summerhays Mathie Family Trust

Table 4 – Adjacent Ownership by Parcel (as of April 5, 2021) - 4 of 4

NUMBER ON MAP	PARCEL NUMBER	Owner
72	26S22E359004	Ronald J. Holyoak and Katherine F. Holyoak, Trustees of the Holyoak Family Trust dated April 30, 2003
73	26S22E358400	R & K Holyoak Properties, LLC
74	26S22E358401	Grand County
75	26S22E358402	Grand County
76	26S22E359000	Robert H. Knuston and Wynona Dalton, Trustees of the Holyoak Family Trust
77	000850010010 000850010020 000850010030 000850010040  000850010050 000850010060 000850010070 000850010080 000850010090	Tactical Lighting Solutions, LLC James S. Pate Dale Reynolds Donald Gerard Bellio and Barbara Bellio, Trustees of the Donald Gerard Bellio Living Trust dated March 9, 2001 Doran J. Michaels Dustin Frandsen Jeffrey P. Peterson and Sarah D. Peterson David R. Stuab and Elizabeth R. Stuab David R. Stuab and Elizabeth R. Stuab  NOTE: These 9 parcels are in a subdivision adjacent to SITLA land. The subdivision contains a "common area" which directly borders SITLA land and each lot owner receives a 1/9 interest in the "common area".
78	26S22E357805	Carroll Drilling LLC
79	26S22E357806	630 North, LLC
80	26S22E357820	Wada Thompson Properties
81	26S22E357810	Thomas Howard Balsley
82	26S22E357830	Star Point LLC
83	26S22E357840	RREM Holdings, LLC
84	26S22E354207	Aletha Butcher
85	26S22E354206	Marlene R. Huckabay, Trustee of the Marlene Rumel Huckabay Living Trust dated August 28, 1997
86	26S22E354205	Corina Lynn Santos
87	26S22E354211	Earl Dwight Johnston and Dorothy Sue Johnston
88	26S22E354204	Sean G. McArthur
89	26S22E354203	John R. Krist
90	26S22E354214	San Juan County
91	26S22E354209	Matt R. Zunich and Kelly J. Zunich
92	26S22E354210	Chris Williams and Thippaphonh Williams
93	n/a	USA (Bureau of Land Management)
94	n/a	SITLA

### Map 8 – Current Spanish Valley Zoning Map Showing Adjacent Land Uses to the PC Zone Application Area

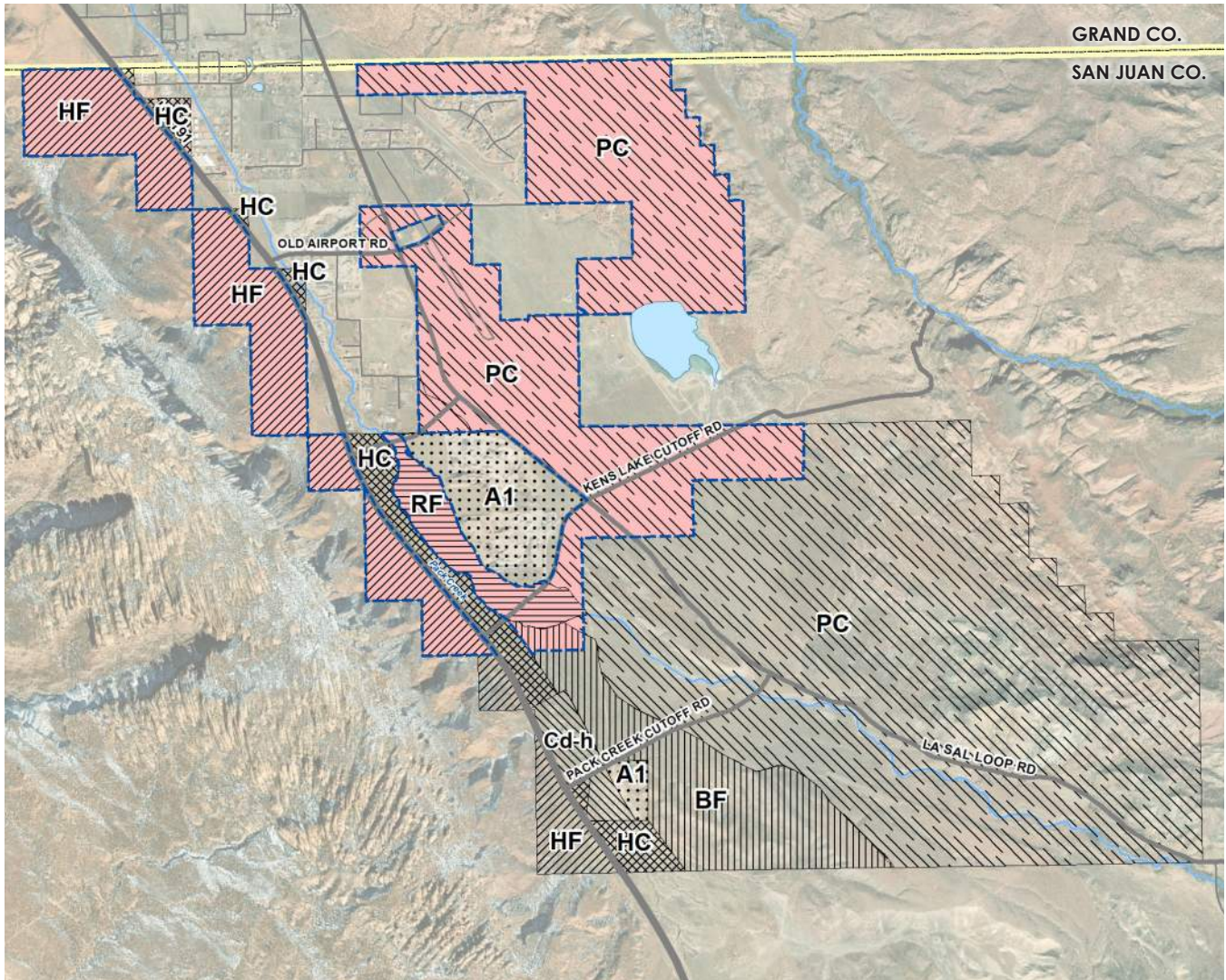


#### Legend

- |                                  |                                      |                                     |
|----------------------------------|--------------------------------------|-------------------------------------|
| Planned Community (PC)           | Business Flex (BF)                   | PC Zone Rezone Application Area     |
| Spanish Valley Residential (SVR) | Highway Flex (HF)                    | County Boundary                     |
| Residential Flex (RF)            | Highway Commercial (HC)              | BLM Land (Unzoned Federal Property) |
| Agricultural (A1)                | Controlled District - Highway (Cd-h) |                                     |

*Note: This map replicates on the Spanish Valley Zoning Map adopted by the San Juan County Board of Commissioners on Feb 16, 2021*

**Map 9 – Proposed PC Zone Location and Underlying Zoning**



**Legend**



- |                                      |                        |                                 |
|--------------------------------------|------------------------|---------------------------------|
| Agricultural (A1)                    | Highway Flex (HF)      | PC Zone Rezone Application Area |
| Controlled District - Highway (Cd-h) | Business Flex (BF)     | San Juan County Boundary        |
| Highway Commercial (HC)              | Residential Flex (RF)  |                                 |
|                                      | Planned Community (PC) |                                 |

## 7. Preliminary Community Structure Plan - South Valley Community

According to the Spanish Valley Planned Community (PC) District ordinance, each PC Zone application requires the submission of a preliminary community structure plan. In compliance with that requirement, the Preliminary Community Structure Plan - South Valley Community is provided as **Exhibit A** to this application and is under separate cover due to its size.

In accordance with that requirement, a preliminary Community Structure Plan (CSP) shall be established for the area covered by the PC Zone application that includes one or more of the following land use districts indicated in the San Juan County Spanish Valley Area Plan (2018) and described in the San Juan County Spanish Valley Development Ordinances (2019):

- Central Development Area
- Perimeter Development Area
- Flex Development Area
- Highway Commercial Development Area
- Neighborhood Center
- Open Space

The preliminary version of the CSP is to be submitted with the PC Zone application to clarify the general intent of the application. A final version is to be submitted as a separate application once the PC Zone application has been approved.

In alignment with the requirements of the final CSP, the preliminary CSP is to include preliminary versions of the following:

1. Name of the planned community;
2. Names, addresses, and phone numbers of applicant and property owner(s);
3. Map showing CSP location, legal/boundary description, acreage, scale, and north arrow;
4. Map showing proposed land use district boundaries, and acreages;
5. Table showing the maximum number of dwelling units, open space acreage, and acreage(s) of the various non-residential land uses;
6. Master circulation system plan, including a street network; pedestrian, bicycle, and equestrian trail systems; identification of street alignments and right-of-way widths: illustrative cross sections which accommodate and specify vehicular, pedestrian, and bicycle use in the right-of-way. Pedestrian and bicycle trail systems shall connect the land use districts, schools and open space areas, and provide linkages to other trail systems in existing or future areas of the PC Zone Plan and adjacent facilities within adjacent municipal jurisdictions of the Spanish Valley;



7. Map showing existing and proposed waterways and water bodies, major utilities and easements, wells and water sources, water protection areas and similar public health areas; surface and sub-surface storm water drainage systems, flood boundaries and flood control facilities;
8. Map showing adjacent parcels, their owners, and their uses;
9. Map showing 40-foot contours and significant topographic features within or adjacent to the CSP property;
10. Documentation of existing and proposed secondary (irrigation) water rights, shares, and usage, if any;
11. Open space plan providing general descriptions and locations of major open spaces;
12. Standards that govern the design and maintenance of major public infrastructure improvements (including but not limited to streets, sidewalks, street and parking lighting, paving, street furniture, trails); and
13. Detailed standards that govern general building placement, massing, and other key design criteria (CSP Design Standards).

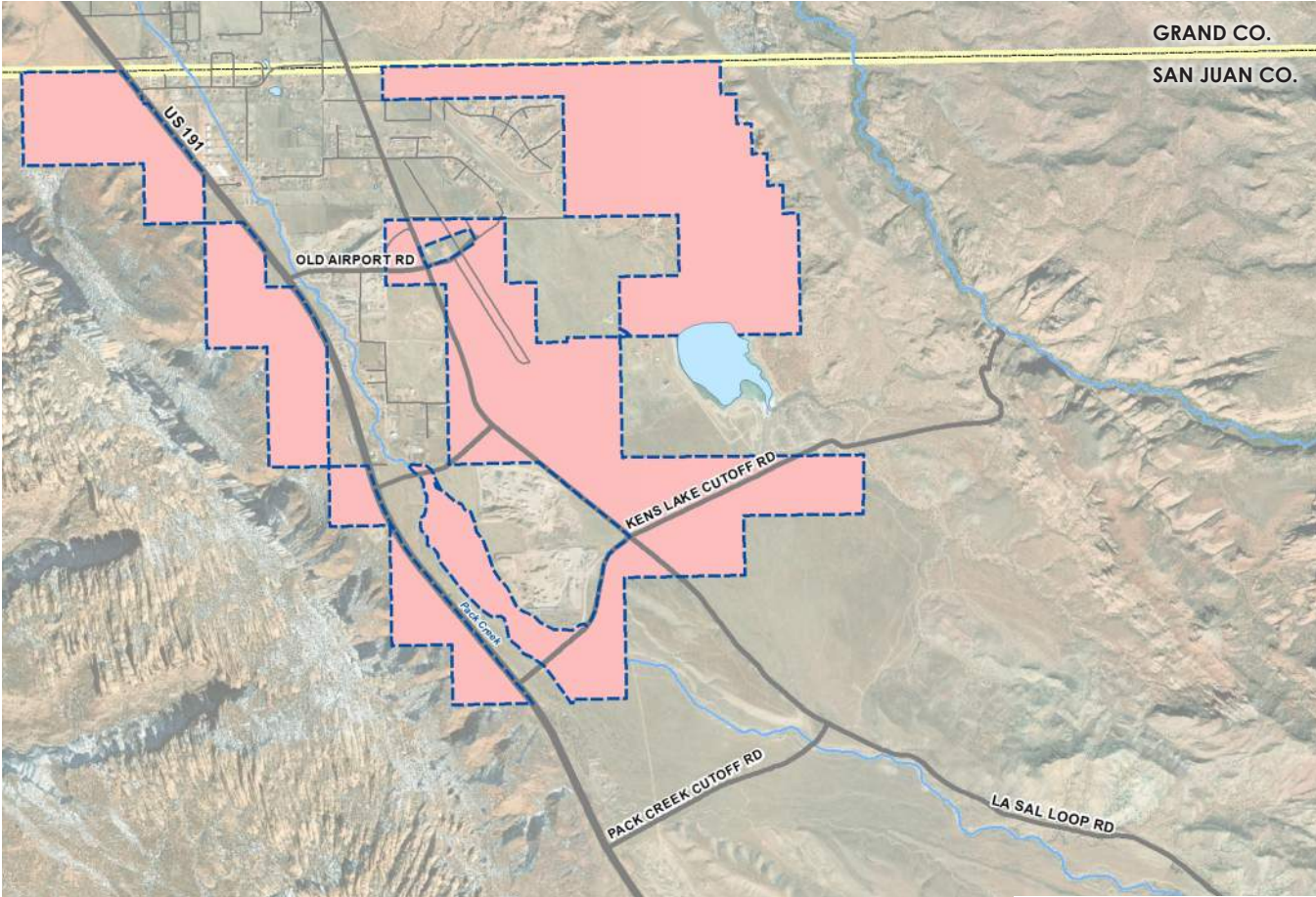
The final Community Structure Plan may differ slightly from the Preliminary Community Structure Plan as the Community Structure Plan is refined with additional detail and plans.

## 8. PC Zone Plan for South Valley Community

The proposed PC Zone Plan (**Map 10**) illustrates the specific area included in this PC rezone request. It will be called Planned Community Zone A or similar, and will identify the specific area of this PC Zone application once adopted.

Upon approval of this application, the Current Spanish Valley Zoning Map (**Map 8**) will be updated to include the proposed Spanish Valley Planned Community Zone A, as shown in **Map 11** (which is presented only for illustrative purposes).

Map 10 – PC Zone Plan for South Valley Community

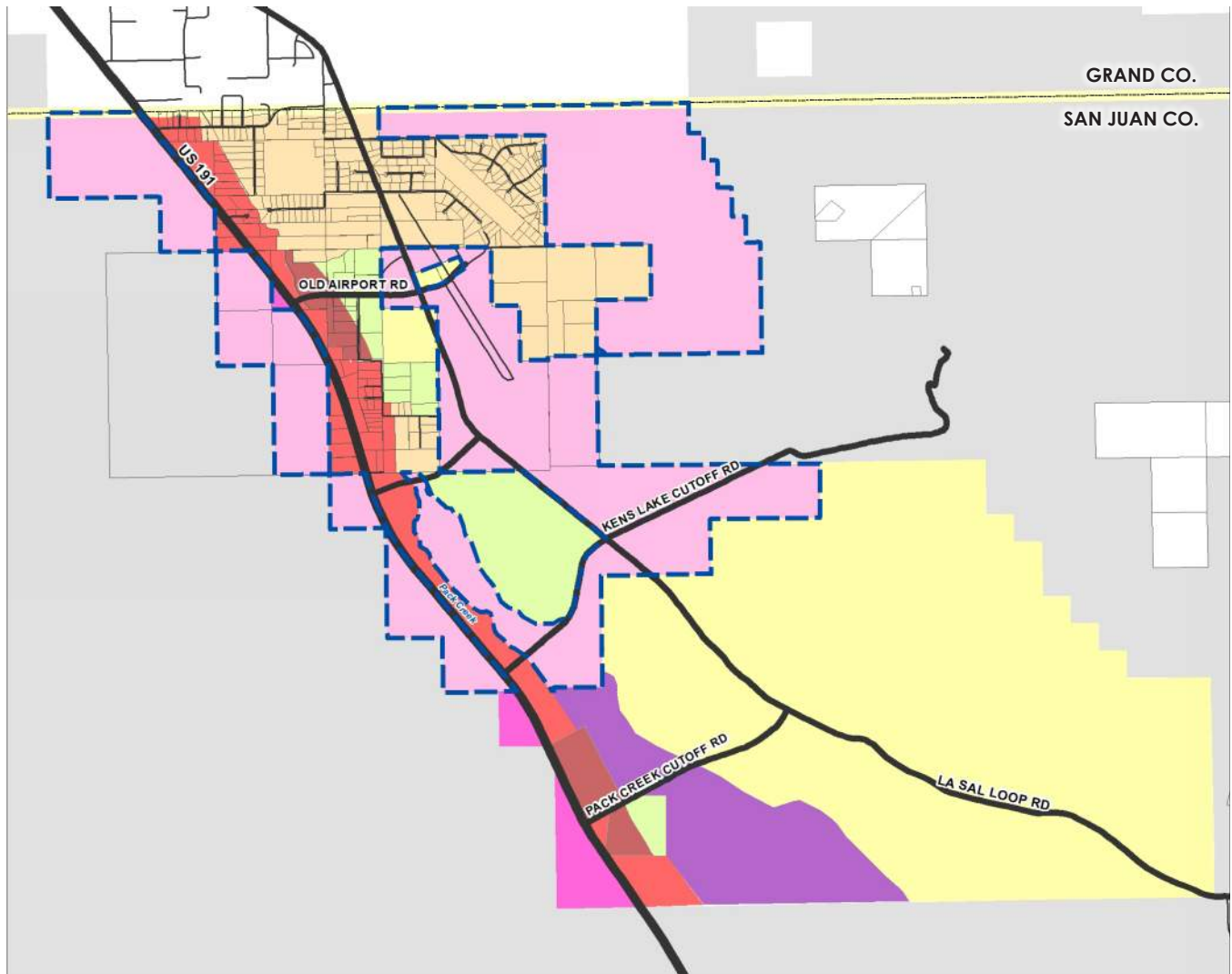


Legend

- PC Zone Plan Area
- San Juan County Boundary



### Map 11 – Proposed Spanish Valley Zoning Map



#### Legend



- |                                  |                                      |
|----------------------------------|--------------------------------------|
| County Boundary                  | Agricultural (A1)                    |
| PC Zone Rezone Application Area  | Business Flex (BF)                   |
| Planned Community Zone A (PCA)   | Highway Flex (HF)                    |
| Planned Community (PC)           | Highway Commercial (HC)              |
| Spanish Valley Residential (SVR) | Controlled District - Highway (Cd-h) |
| Residential Flex (RF)            | BLM Land (Unzoned Federal Property)  |

# Rezone Application - Exhibit A: Preliminary Community Structure Plan

## South Valley Community

San Juan County, Utah



August 20, 2021



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## INTRODUCTION

The School and Institutional Trust Lands Administration (SITLA) proposes to develop approximately 1,864 acres of unincorporated land in the Spanish Valley immediately south of the northern San Juan County boundary near Moab. Known as South Valley, the proposed development area is entirely owned by SITLA and will be served by the San Juan Spanish Valley Special Service District.

In response to growth and development pressure in the region, San Juan County prepared the **Spanish Valley Area Plan** (Area Plan), which was adopted as an addendum to the **San Juan County General Plan** (General Plan) on April 17, 2018. The plan serves as the policy document for private properties and SITLA lands in the South Valley area, identifying needs and requirements, providing clear growth directions and development visions for the future, and clarifying the types and general locations of different land uses and features to meet future needs.

According to the Area Plan, the SITLA properties are to be developed as a planned community, encompassing a range of residential, business, commercial and flex uses, in addition to integrated local service centers, community nodes, schools, parks, trails and open space systems, all of which are required for creating a new community.

Once the Area Plan was adopted, zoning ordinances were adopted by the San Juan County Commission on November 19, 2019. An associated zoning map (**Map 11**) was subsequently updated and adopted on February 16, 2021. These zoning ordinances provide the tools and establish the requirements for controlling growth and development in a manner that aligns with the Area Plan/General Plan. The adopted ordinances encompass ten chapters as follow:

1. Spanish Valley Residential (SVR) District
2. Spanish Valley Planned Community (PC) District
3. Spanish Valley Residential Flex Planned Community (RF) District
4. Spanish Valley Business Flex Planned Community (BF) District
5. Spanish Valley Highway Flex Planned Community (HF) District
6. Spanish Valley Highway Commercial (HC) District
7. Spanish Valley Water Efficient Landscape Requirements
8. Spanish Valley Outdoor Lighting and Sign Illumination Requirements
9. Spanish Valley Sign and Display Requirements
10. Spanish Valley Overnight Accommodations Overlay District Requirements

As described in the Planning and Approval Process section of the Spanish Valley Planned Community (PC) District zoning ordinance (Chapter 2), the first step in establishing a Large Planned Community (greater than 200 acres) is to apply for a PC Zone change and prepare a PC Zone Plan for the proposed area. The ordinances established for the RF, BF and HF areas (Chapters 3, 4 and 5) follow the same process for development within those areas. The PC Zone application includes a **Preliminary Community Structure Plan** (Preliminary CSP) to provide a more detailed overview of the South Valley Community.

As described in the following pages, the Preliminary CSP is required to include preliminary information indicating that the PC Zone Plan and application are aligned with the Area Plan, as follow:

1. Name of the planned community;
2. Names, addresses, and phone numbers of applicant and property owner(s);
3. Map showing CSP location, legal/boundary description, acreage, scale, and north arrow;
4. Map showing proposed land use district boundaries, and acreages;
5. Preliminary table showing the maximum number of dwelling units, open space acreage, and acreage(s) of the various non-residential land uses;
6. Preliminary master circulation system plan, including a street network; pedestrian, bicycle, and equestrian trail systems; identification of street alignments and right-of-way widths: illustrative cross sections which accommodate and specify vehicular, pedestrian, and bicycle use in the right-of-way. Pedestrian and bicycle trail systems shall connect the land use districts, schools and open space areas, and provide linkages to other trail systems in existing or future areas of the PC Zone and adjacent facilities within adjacent municipal jurisdictions of the Spanish Valley;
7. Preliminary map showing existing and proposed waterways and water bodies, major utilities and easements, wells and water sources, water protection areas and similar public health areas; surface and sub-surface storm water drainage systems, flood boundaries and flood control facilities;
8. Preliminary map showing adjacent parcels, their owners, and their uses;
9. Preliminary map showing 40-foot contours and significant topographic features within or adjacent to the CSP property;
10. Preliminary documentation of existing and proposed secondary (irrigation) water rights, shares, and usage, if any;
11. Preliminary open space plan providing general descriptions and locations of major open spaces;
12. Preliminary standards that govern the design and maintenance of major public infrastructure improvements (including but not limited to streets, sidewalks, street and parking lighting, paving, street furniture, trails); and
13. Preliminary standards that govern general building placement, massing, and other key design criteria (to be detailed and finalized as part of the Final Community Structure Plan Design Standards).

The required Preliminary Community Structure Plan is presented in the following pages.



# SOUTH VALLEY COMMUNITY PRELIMINARY COMMUNITY STRUCTURE PLAN



## 1. Name of planned community

South Valley Community

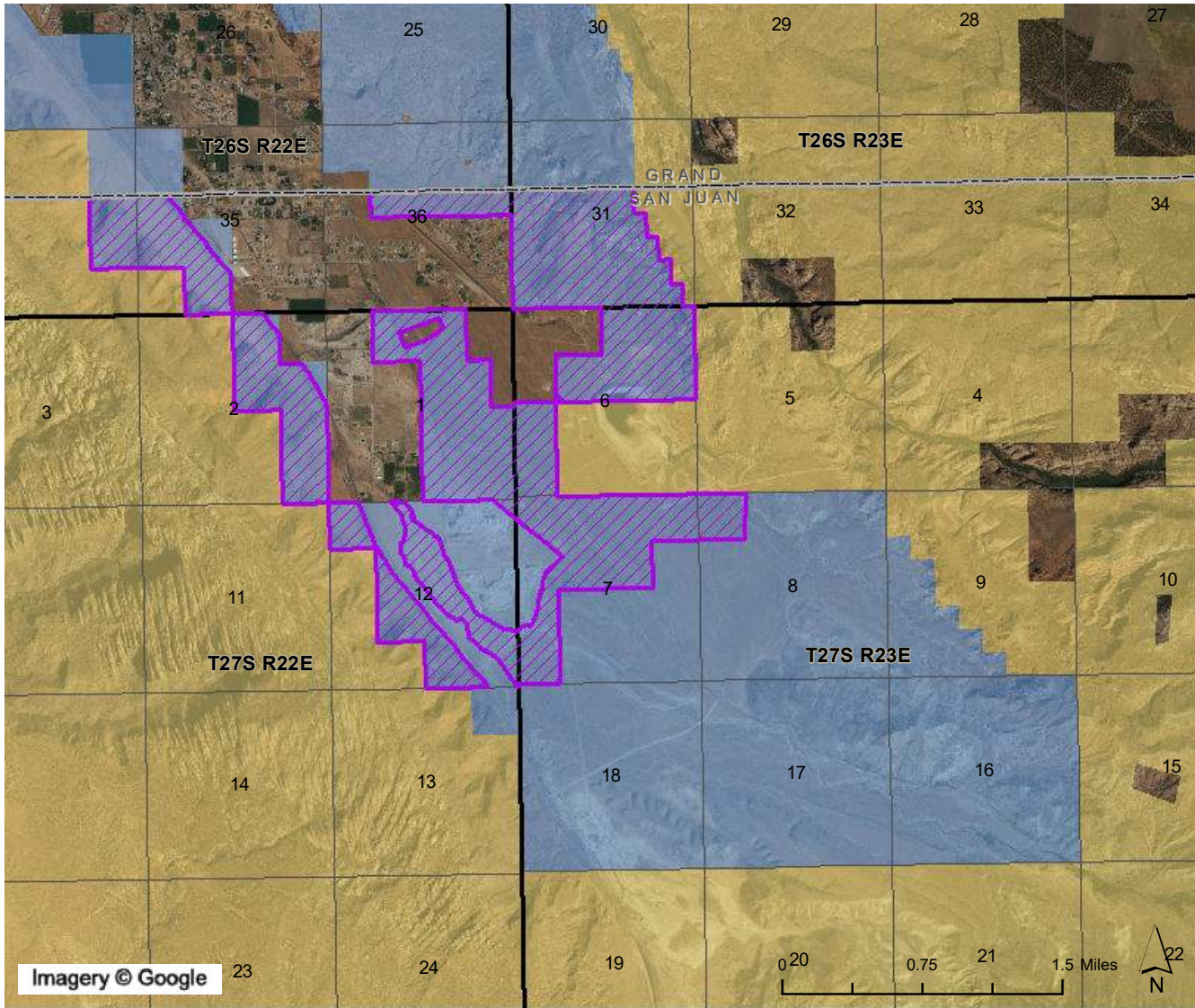
## 2. Names, addresses, and phone numbers of applicant and property owner(s)





State of Utah School and Institutional Trust Lands Administration  
675 East 500 South, Suite 500  
Salt Lake City, Utah 84102  
(801) 538-5100

## 3. Map showing PC Zone location, legal/boundary description, acreage, scale, and north arrow

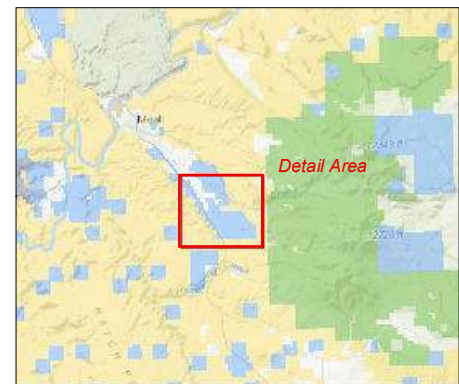
See **Map 1** and associated legal/boundary description (**Table 1**).

Map 1 – Preliminary CSP Map Indicating Location (including a scale and north arrow)



-  Proposed PC Zone Boundary
- Land Ownership and Administration**
-  Bureau of Land Management
-  Private
-  State Trust Lands

**NOTE:** Proposed PC Zone boundary encompasses 1,864 +/- acres of land, wholly owned by applicant, as detailed in the accompanying legal description on the following page



Data represented on this map is for REFERENCE USE ONLY and is not suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. SITLA provides this data in good faith and shall in no event be liable for any incorrect results, or any special, indirect or consequential damages to any party, arising out of or in connection with the use or the inability to use the data hereon. Land parcels, lease boundaries and associated SITLA data layers may have been adjusted to allow for visual "best fit." The Surface Ownership Land Status data (if present) are maintained by SITLA to reflect current trust land status and surface ownership. Lakes, rivers, streams, highways, roads, county and state boundaries are distributed by the Utah Automated Geographic Reference Center and/or other sources as specified. Contour lines (if present) were generated from USGS 10 meter DEM. Please Note: While SITLA seeks to verify data for accuracy and content, discrepancies may exist within the data. Acquiring the most updated SITLA ownership GIS data may require contacting the GIS staff directly 801-538-5100 or TLA-GIS@utah.gov. The SITLA GIS department welcomes your comments and concerns regarding the data and will attempt to resolve issues as they are brought to our attention. Produced: August 05, 2021 - bbiediger

## Table 1 – PC Zone Legal/Boundary Description and Acreage - 1 of 3

### Section 12, T27S, R22E

A tract of land within Section 12, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the S1/4 of said Section 12; thence northerly 1,320 feet more or less to the center-south 1/16 (CS1/16) corner, thence westerly 1,320 feet more or less to the southwest 1/16 (SW1/16) corner, thence northerly along the 1/16 line 2,289 feet more or less to the intersection of the west right-of-way line of Highway 191 with said 1/16 line, thence southeasterly along said west R.O.W. line 4581 feet more or less to the south line of Section 12, thence westerly along the section line 1510 feet more or less to the point of beginning, **containing 74 acres more or less.**

### Section 12, T27S, R22E

A tract of land within Section 12, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the northwest corner of said Section 12; thence easterly along the section line 645 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said west R.O.W. line 1,413 feet more or less to the south line of the NW1/4 NW1/4 of said Section 12, thence westerly along the 1/16 line 1,130 feet more or less to the N1/16 corner on the west line of said Section 12, thence northerly 1,320 feet more or less to the point of beginning, **containing 26 acres more or less.**

### Section 2, T27S, R22E

A tract of land within Section 2, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the southeast corner of said Section 2; thence along the section line westerly 1,320 feet more or less to the east 1/16 corner (E1/16), thence northerly along the 1/16 line 2,640 feet more or less to the center-east 1/16 corner (CE1/16), thence westerly 1,320 feet more or less to the C1/4 corner of said Section 2, thence northerly along the C1/4 section line 2,640 feet more or less to the N1/4 corner of said Section 2, thence easterly along the section line 778 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 887 feet more or less to the north-south 1/16 line in the NE1/4 of said Section 2, thence southerly along the 1/16 line 733 feet more or less to the north-east 1/16 corner (NE1/16) of said Section 2, thence easterly along the east-west 1/16 line 551 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 1,598 feet more or less to the intersection of said R.O.W. line and the east line of said Section 2, thence southerly along the section line 2,564 feet more or less to the point of beginning, **containing 188 acres more or less.**

### Section 34 and Section 35, T26S, R22E

A tract of land within Section 34 and Section 35, Township 26 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the S1/4 corner of said Section 35; thence westerly along the section line 1,320 feet more or less to the west 1/16 corner (W1/16), thence, northerly along the 1/16 line 1,320 feet more or less to the southwest 1/16 corner (SW1/16), thence westerly along the 1/16 line 1,320 feet more or less to the S1/16 corner on the section line between said Sections 34 and 35, thence westerly along the 1/16 line 1,320 feet more or less to the southeast 1/16 corner (SE1/16) of said Section 34, thence northerly along the 1/16 line 1,320 feet more or less to the center-east 1/16 corner (CE1/16), thence northerly along the 1/16 line 730 feet more or less to the northern boundary of San Juan County, thence easterly along the northern boundary of San Juan County 1,943 feet more or less to the west right-of-way line of Highway 191, thence southeasterly along said R.O.W. line 3,306 feet more or less to the north-south C1/4 section line of said Section 35, thence southerly along the section line 760 feet more or less to the point of beginning, **containing 166 acres more or less.**

### Section 36, T26, R22E; Section 31, T26S, R23E; Section 6, T27S, R23E

A tract of land within Section 36, T26, R22E, Section 31, T26S, R23E and Section 6, T27S, R23E SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at the corner common to said Sections 6, 31, and 36; thence northerly along the section line 2,640 feet more or less to the ¼ corner common to Sections 31 and 36, thence westerly along the C1/4 section line 3,960 feet more or less to the center-west 1/16 corner (CW1/16) of said Section 36, thence northerly along the 1/16 line 720 feet more or less to the northern boundary of San Juan County, thence easterly along the northern boundary of San Juan County 7,445 feet more or less to 1/256 aliquot part section subdivision line in the SW1/4 NE1/4 of said Section 31, thence southerly 660 feet more or less to the CEWE1/256 corner, thence easterly 330 feet to the CE1/16 corner, thence southerly 660 feet to the CNSE1/64 corner, thence easterly 330 feet to the CWNESE 1/256 corner, thence southerly 660 feet to the CWESE 1/256 corner, thence easterly 330 feet to the CESE1/64 corner, thence southerly 660 feet to the SESE 1/64 corner, thence easterly 330 feet to the CESESE 1/256 corner, thence southerly 660 feet to the EEE1/256 corner on the south line of said Section 31, thence easterly 330 feet to the section corner common to said Sections 6 and 31, thence southerly 2,640 feet along the east line of said Section 6 to the E1/4 corner of said Section 6, thence westerly along the C1/4 section line 3,960 feet more or less to the center-west 1/16 corner (CW1/16) of said Section 6, thence northerly along the 1/16 line 1,320 feet more or less to the north-west 1/16 (NW1/16) corner of said Section 6, thence easterly along the 1/16 line 1,320 feet more or less to the center-north 1/16 corner (CN1/16), thence northerly along the C1/4 line 1,320 feet more or less to the N1/4 corner of said Section 6, thence westerly along the section line 2,640 feet more or less to the point of beginning, **containing 586 acres more or less.**

## Table 1 – PC Zone Legal/Boundary Description and Acreage - 2 of 3

### Sections 1 and 12, T27, R22E; Sections 6, 7, and 8, T27S, R23E

A tract of land within Sections 1 and 12, T27, R22E, and Sections 6, 7, and 8, T27S, R23E SLB&M County of San Juan, State of Utah, more particularly described as follows:

Beginning at the corner common to said Sections 6, 7, and 8; thence easterly along the section line 1320 feet more or less to the W1/16 corner on the north line of Section 8, thence southerly 1320 feet more or less to the NW1/16 corner of said Section 8, thence westerly 1320 feet more or less to the N1/16 corner between said Sections 7 and 8, thence westerly 1320 feet more or less to the NE1/16 corner of said Section 7, thence southerly 1320 feet more or less to the CE1/16 corner of said Section 7, thence westerly 2640 feet more or less to the CW1/16 corner of said Section 7, thence southerly 2640 feet more or less to the W1/16 corner on the south line of said Section 7, thence westerly 1320 feet more or less to the southwest corner of said Section 7 and a point on the east line of said Section 12, thence southerly 71 feet more or less to the southeast corner of said Section 12, thence westerly 48 feet along the south line of said Section 12, thence N35°47'36"W 991.27 feet, thence N58°06'31"W 356.01 feet, thence N65°43'28"W 183.27 feet, thence N34°48'01"W 184.93 feet, thence N52°48'55"W 180.02 feet, thence N38°10'00"W 108.59 feet, thence N13°41'03"W 308.40 feet, thence N13°47'14"W 122.43 feet, thence N52°43'23"W 78.11 feet, thence N86°42'55"W 76.34 feet, thence S81°10'39"W 96.31 feet, thence N71°51'24"W 60.24 feet, thence N60°02'07"W 198.47 feet, thence N45°37'22"W 582.56 feet, thence N38°07'41"W 621.07 feet, thence N42°22'51"W 198.93 feet, thence N21°19'45"W 132.66 feet, thence N16°33'06"W 119.05 feet, thence N42°06'43"W 121.41 feet, thence N62°23'40"W 91.60 feet, thence N50°29'09"W 74.39 feet, thence N03°39'29"W 162.19 feet, thence N36°19'09"W 64.77 feet, thence N41°18'02"W 145.15 feet, thence N07°43'23"W 110.46 feet, thence N04°45'03"E 162.54 feet, thence N51°33'04"E 84.79 feet, thence N15°05'05"E 197.56 feet, thence N00°17'30"W 76.19 feet, thence N01°29'54"E 152.46 feet, thence N23°16'49"W 170.71 feet, thence N00°17'30"W 104.77 feet, thence N23°47'24"W 119.43 feet, thence N37°35'44"W 125.72 feet, thence N53°49'20"W 136.20 feet, thence N42°10'10"W 185.48 feet more or less to a point on the north line of said said Section 12; said point being located easterly 1,731 feet from the northwest corner of said Section 12; thence easterly along the section line 373.54 feet, thence S52°40'54"E 189.79 feet, thence S26°00'34"E 496.09 feet, thence S56°07'54"E 136.94 feet, thence S47°53'39"E 296.63 feet, thence S79°59'11"E 53.24 feet, thence S73°11'21"E 64.77 feet, thence S31°15'19"E 138.84 feet, thence S78°58'54"E 72.85 feet, thence S61°59'26"E 70.31 feet, thence S19°40'34"E 272.61 feet, thence S09°15'51"E 91.60 feet, thence S17°56'30"E 109.94 feet, thence S40°16'42"E 192.68 feet, thence S20°57'02"E 310.45 feet, thence S18°43'36"E 421.66 feet, thence S34°59'12"E 225.89 feet, thence S43°00'04"E 252.75 feet, thence S25°14'08"E 451.68 feet, thence S52°56'32"E 227.64 feet, thence S 84°34'52"E 47.86 feet, thence S63°08'31"E 208.72 feet, thence S44°04'22"E 158.30 feet, thence S 62°21'16"E 355.76 feet, thence S88°56'37"E 404.89 feet, thence N54°20'45"E 181.02 feet more or less to a point approximately 50 feet perpendicularly distant and on the northwesterly side of the centerline of Ken's Lake Cutoff Road (SJC Road No. 1641), thence running on the northwesterly side of said Ken's Lake Cutoff Road as follows; N21°17'48"E 195.28 feet, thence N04°12'29"E 426.47 feet, thence N03°14'04"E 272.27 feet, thence N18°06'06"E 337.78 feet, thence N35°56'18"E 210.85 feet, thence N47°12'27"E 230.54 feet, thence N51°09'14"E 687.28 feet to a point westerly of the intersection of the Ken's Lake Cutoff Road and the La Sal Loop Road (SJC Road No. 127), thence running along the southwesterly side of said La Sal Loop Road N50°59'06"W 2560.58 feet to a point on the north line of said Section 12, thence westerly along the section line 1,947 feet more or less to the S1/4 corner of said Section 1, thence northerly along the C1/4 section line 3,960 feet to the center-north 1/16 corner (CN1/16), thence westerly 1,320 feet to the north-west 1/16 (NW1/16) corner of said Section 1, thence northerly along the 1/16 line to the W1/16 corner on the north line of said Section 1, thence easterly along the section line 2,640 feet to the E1/16 corner on the north line of said Section 1, thence southerly 1,430 feet more or less to the NE1/16 corner, thence easterly 660 feet to the CENE1/64 corner, thence southerly 1,320 feet more or less to the CE1/64 corner, thence easterly 660 feet to the E1/4 corner of said Section 1, thence northerly along the section line 87 feet more or less to the W1/4 corner of said Section 6, thence easterly along the C1/4 section line 1,177 feet more or less to the CW1/16 corner, thence southerly 2,640 feet along the 1/16 line to the W1/16 corner on the south line of said Section 6, thence easterly 3,960 feet along the section line to the point of beginning, **containing 835.39 acres more or less.**

**LESS: Those tracts of land as surveyed in accordance with San Juan County Record of Survey No. 1101 described as...**

### Tract "A"

A tract of land within the N1/2 of Section 1, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at a point located S81°28'06"E 2633.29 feet from the northwest corner of said Section 1 and considering the bearing between the E1/4 corner and the northeast corner of said Section 1 to be N00°04'00"E; thence S20°51'47"E 458.48 feet to a point on a non-tangent curve to the right having a radius of 1500.00 feet, thence southwesterly 132.94 feet along said curve; the chord of said curve is 132.89 feet and bears S66°35'53"W; thence S69°08'13"W 427.36 feet, thence N20°51'47"W 464.37 feet, thence N69°08'13"E 560.13 feet to the point of beginning, **containing 5.97 acres more or less.**

### Table 1 – PC Zone Legal/Boundary Description and Acreage - 3 of 3

#### Tract “B”

A tract of land within the N1/2 of Section 1, Township 27 South, Range 22 East, SLB&M, County of San Juan, State of Utah, more particularly described as follows:

Beginning at a point located S81°28’06”E 2633.29 feet from the northwest corner of said Section 1 and considering the bearing between the E1/4 corner and the northeast corner of said Section 1 to be N00°04’00”E; thence N69°08’13”E 616.04 feet to a point on the center of the travel surface of Allen Street, thence S29°32’57”E 323.53 feet along the centerline of the travel surface of Allen Street, thence S56°09’15”W 472.76 feet to the beginning of a curve to the right, having a radius of 1500.00 feet, thence southwesterly 206.95 feet along said curve; the chord of said curve is 206.79 feet and bears S60°06’24”W, thence N20°51’47”W 458.48 feet to the point of beginning, **containing 5.85 acres more or less.**

Resultant acreage of this complete description minus the “Less” tracts is **823.57 acres** more or less (835.39 – 5.97-5.85 = 823.57)

Total acreage in the rezone application is **1,863.57 acres** more or less.

## 4. Map showing proposed land use district boundaries and acreages

**Map 2** and **Table 2** illustrate the land use boundaries and acreages for this Preliminary CSP. The boundaries and acreages are based on the maps included with the Area Plan, which indicate the general types of land uses, the maximum number of dwelling units, Floor Area Ratios (FARs) and the approximate acreage of proposed residential and non-residential land uses. Since the Area Plan did not include all of the PC Zone Plan’s acreage, **Map 3** and **Table 3** show those differences.

## 5. Table showing the maximum number of dwelling units, open space acreage, and acreage(s) of the various non-residential land uses

**Table 2** describes the general land uses, acreages, percentages and assumptions for the Preliminary CSP. The information is based on the findings of the Area Plan, and indicate the general types of permitted and conditional uses, the maximum number of dwelling units, Floor Area Ratios (FARs) and acreage of the various proposed non-residential land uses.

### Residential Land Use Assumptions

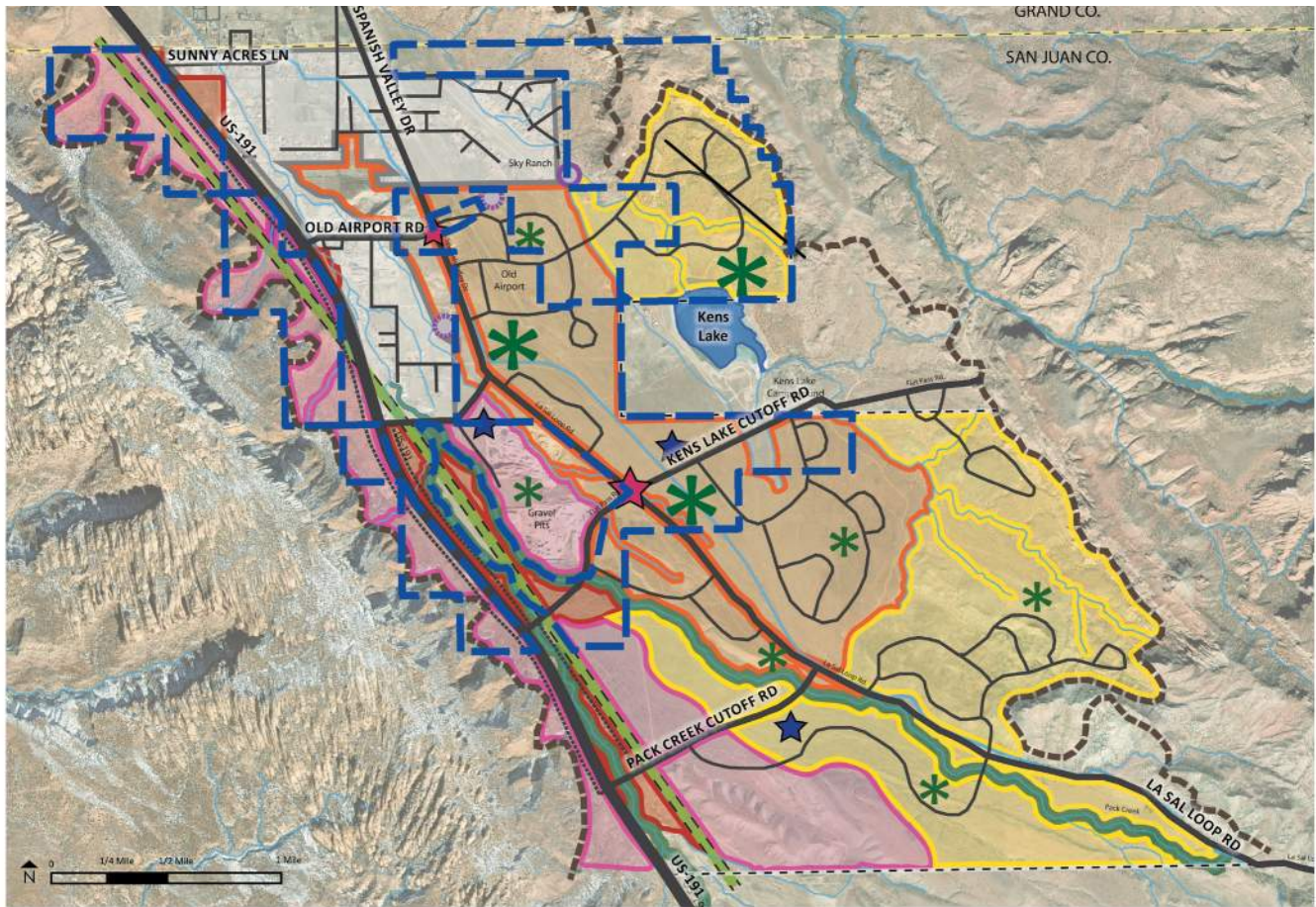
**Map 2** and **Table 2** indicate the general location and number of residential units. In addition to dedicated residential uses, this Preliminary CSP area anticipates the inclusion of 316 Equivalent Residential Units (ERUs) in mixed-use development/Neighborhood Centers. While specific commercial and flex floor areas in the mixed-use areas have yet to be finalized, it is estimated to be approximately 430,700 square feet, assuming the average residential unit (ERU) is 2,000 square feet. Specific building heights have yet to be confirmed.

### Non-Residential Land Use Assumptions

Non-residential uses are anticipated to be concentrated in the Neighborhood Center and Flex Development areas, which comprise approximately 743 acres. It is anticipated that there will be approximately 1,871,447 square feet of non-residential use in the South Valley development area, based on the following assumptions:

- 0.25 Floor-to-Area Ratio (FAR) in Town Center
- 0.1 FAR in Flex Development

Map 2 – San Juan County Spanish Valley Area Plan (2018)



**Legend**

- |  |   |   |  |
|--|---|---|--|
| <ul style="list-style-type: none"> <li>■ PC Zone Rezone Application Area</li> <li>--- Steep Cliffs Delineating Valley</li> <li>■ Lakes/Reservoirs</li> <li>■ Major Drainage</li> <li>— Minor Drainage</li> </ul> | <ul style="list-style-type: none"> <li>— US-191</li> <li>— Primary Road</li> <li>— Secondary Road</li> <li>--- Frontage Road</li> <li>■ Power Corridors</li> <li>● New Culinary Water Well</li> <li>● Future Culinary Water Well (known)</li> </ul> | <ul style="list-style-type: none"> <li>* Regional Park</li> <li>* Community Park</li> <li>★ Schools</li> <li>★ Neighborhood Center</li> </ul> | <ul style="list-style-type: none"> <li>□ Private Land Area - focus on infill limited subdivision of acre + lots, and logical road/circulation linkages (700 acres)</li> <li>■ Central Neighborhood Development Areas (1450 acres)</li> <li>■ Perimeter Neighborhood Development Areas (1750 acres)</li> <li>■ Flex Development Areas - market-driven business/commercial/residential development (1075 acres)</li> <li>■ Highway Commercial Areas (200 acres)</li> </ul> |
|--|---|---|--|

**Description**

The San Juan County Spanish Valley Area Plan provides a rational land use and growth strategy that builds upon the key principles identified through the public input process and the direction of county officials.

Accordingly, there are five types of potential Growth and Development Areas, each with unique opportunities and considerations, as follow:

**Private Land Areas**

This area consists of both developed and undeveloped land that is owned by numerous private parties. Since the area has been inconsistently planned, the focus is on meeting the following needs:

- Establishing a rational and coordinated system of road and storm water conveyance systems
- Providing transitions between existing and future incompatible uses
- Facilitating limited subdivision and densification where opportunities exist
- Ensuring that future development follows a new system of guidelines that promote safe, coordinated growth and development

**Central Development Areas**

Located in the center of the valley, these are the flattest and easiest-to-develop areas. They are suitable for a wide range of development, including residential, civic, institutional and parks/open space uses. They also support limited development of local commerce and community services. The large tracts of contiguous land are primarily under single ownership, which promotes the application of coordinated development strategies.

**Perimeter Development Areas**

Located on the east and south edges of the valley, these areas are relatively distant from existing growth areas. The application of coordinated strategies and models for lower-density development should be applied.

**Highway Commercial Areas**

Regional commercial uses and needs are supported along the highway near major intersections. Direct access from the highway should be limited to promote movement.

**Flex Development Areas**

These areas provide unique opportunities to create an economic base for the valley, due in large part to their location near they highway, yet buffered from nearby neighborhoods. A flexible development approach should be considered to allow market developments and opportunities to be addressed.

Table 2 – Preliminary Community Structure Plan Land Use

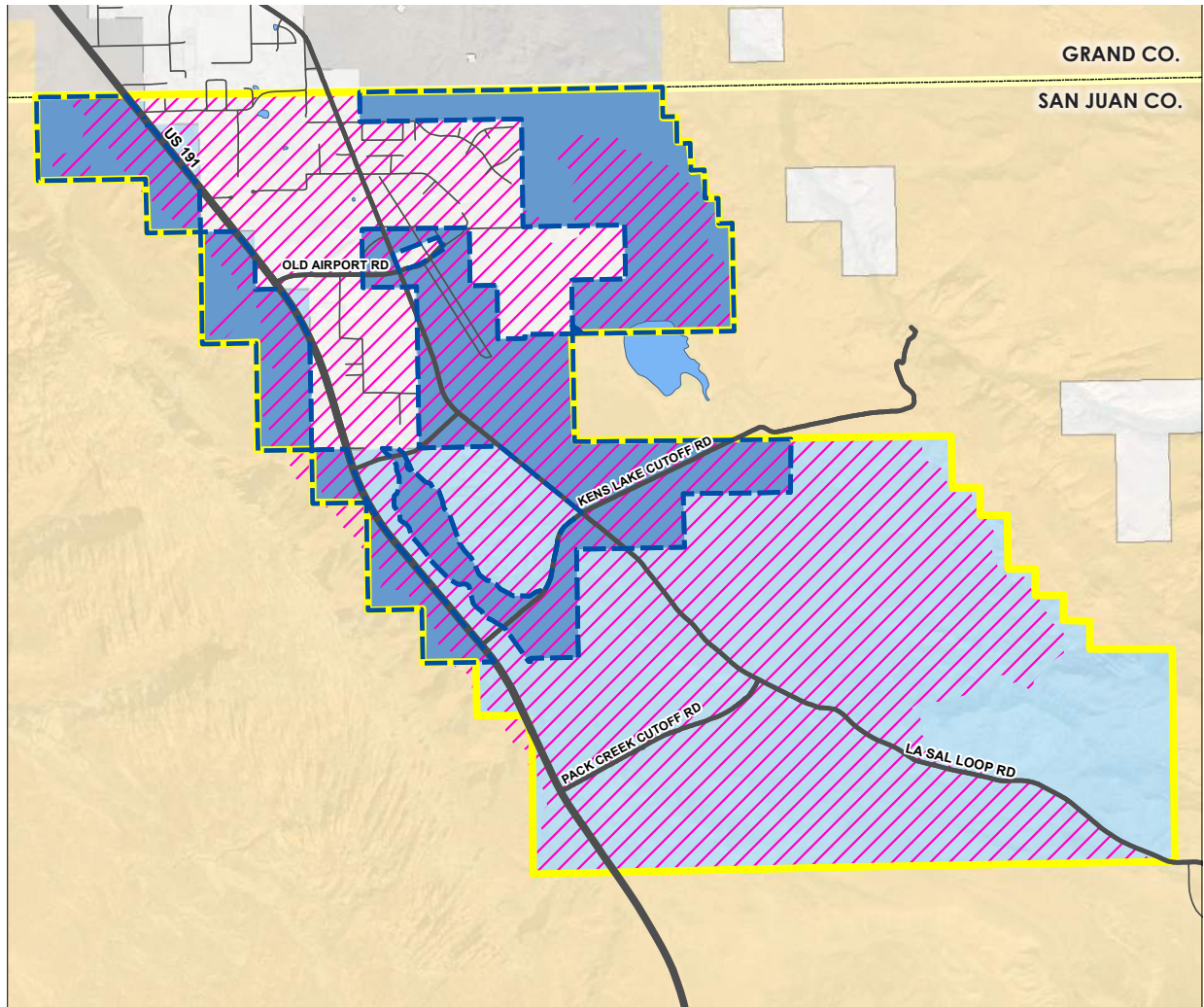
LAND USE	AC.	% OF TOTAL AC.	ASSUMPTIONS	CALCULATIONS	PROJECTED UNITS	% OF TOTAL UNITS	PROJECTED SF	% OF TOTAL SF
Neighborhood Centers	113	6.1%	Mix of residential, office, commercial and similar uses proposed as part of creating a discernible mixed-use town. Uses may be mixed vertically or horizontally. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. It is assumed that 50% of the area will be dedicated to residential uses with an average density of 8 units per acre. The remaining 50% is assumed as office, commercial and similar uses with an F.A.R. of 0.25.	$(0.5 \times 113 \times 0.7) \times 8$ $(0.5 \times 113 \times 0.25 \times 0.7) \times 43,560$	316	10.1%	430,700	23.0%
Central Development Areas	545	29.2%	A wide range of housing types and forms, including townhomes, apartments and single-family homes. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. Average density of 4.5 units per acre.	$(545 \times 0.7) \times 4.5$	1,717	54.8%	-	-
Perimeter Development Areas	576	30.9%	Located along the eastern edges of the development areas, these neighborhoods are relatively isolated, located in the foothills and topographically challenged edges of the valley. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. Clustered Development is the preferred pattern and an average density of 1.5 units per acre is assumed.	$(576 \times 0.7) \times 1.5$	605	19.3%	-	-
Flex Development Areas	630	33.8%	A range of business, distribution, highway commercial and specialty residential uses in response to market opportunities and conditions. 30% of acreage is assumed to be dedicated to trails, open space, local parks, etc. 25% of land is assumed as specialty residential uses with an average density of 4.5 units per acre. All other uses are assumed for the remaining 75% of land with a F.A.R. of 0.1.	$(0.25 \times 630 \times 0.7) \times 4.5$ $(0.75 \times 630 \times 0.1 \times 0.7) \times 43,560$	496	15.8%	1,440,747	77.0%
<b>TOTAL *</b>	<b>1,864</b>	<b>100%</b>	-	-	<b>3,134</b>	<b>100%</b>	<b>1,871,447</b>	<b>100%</b>

\* Total figures may differ slightly due to rounding of numbers in the table.

Note: Calculation methodology is the same as used in the San Juan County Spanish Valley Area Plan (adopted April 17, 2018). See Map 3 and Table 3 for land area totals used in previous planning efforts compared with the current 2021 PC Zone Rezone Application Area.



**Map 3 – Acreage Totals Comparison Map**



- 2021 PC Zone Rezone Application Area (+/- 1,864 acres)
- San Juan County Spanish Valley Area Plan (+/- 4,775 acres)
- Private and SITLA lands in Spanish Valley (+/- 6,360 acres)
- Additional SITLA in the San Juan County Portion of Spanish Valley
- SITLA Land in Grand County
- BLM Land
- Private Land



**Table 3 – Comparison Summary of Planning Areas**

Planning Area	Approx. Acres
2021 PC Zone Rezone Application Area	1,864
San Juan County Spanish Valley Area Plan	4,775
SITLA Land in San Juan County Portion of Spanish Valley	5,233

## 6. Preliminary master circulation system plan

### Existing Transportation System

The Spanish Valley area is primarily served by US-191 and Spanish Valley Drive. US-191 is a state-owned and operated highway that is classified as a “System Priority-Rural Importance” (access category 2) roadway by the Utah Department of Transportation (UDOT). According to the findings contained in the Area Plan, US-191 encompasses one travel lane in each direction and acceleration/deceleration lanes at key intersections. As indicated by UDOT, a “Regional – Urban Importance” access classification supports minimum signalized intersection spacing of one mile (5,280 feet), minimum unsignalized street spacing of 1,000 feet, and minimum driveway spacing of 1,000 feet. The “Regional – Urban Importance” access classification will be the applicable standard as the area develops. According to the Area Plan, the posted speed limit on US-191 is 65 mph. According to UDOT records, the roadway is located within a designated right-of-way (ROW) of 400 feet along much of the US-191 corridor in Spanish Valley. Some sections of the roadway are located in rights-of-way as narrow as 100 feet, particularly between MP 117 and MP 118.5. The average daily traffic (ADT) on US-191 was approximately 8,000 vehicles per day when the Area Plan was prepared.

Spanish Valley Drive is a county-maintained roadway, and is classified as a “major collector” roadway by UDOT. The roadway has one travel lane in each direction and a posted speed limit of 40 mph. Spanish Valley Drive serves as a direct connection to La Sal Loop Road, which is a scenic loop roadway that traverses through the La Sal Mountains. The existing ADT on Spanish Valley Drive is approximately 1,500 vehicles per day.

Other public roads, that connect US-191 and Spanish Valley Drive/La Sal Loop Road in the Spanish Valley area include Sunny Acres Lane, Old Airport Road, Kens Lake Cutoff Road (also known as Flat Pass Road) and La Sal Loop Cutoff Road.

### Future Roadways and Traffic Volumes

As illustrated in **Maps 2** and **4**, an additional east-west roadway, located between Old Airport Road and Kens Lake Cutoff Road, is proposed to connect US-191 and Spanish Valley Drive. In conjunction with the other east-west roads that currently exist, the east-west road system will serve as major roadway connectors as part of an efficient travel and traffic management system.

In order to determine the long-term capacities and configurations for roadways with the application area, future traffic volumes were projected. Specific land uses were assigned to each planned area within Spanish Valley, and trip generation, or traffic volumes to, within and from these land uses, was estimated using trip generation rates published in the Institute of Transportation Engineers (ITE), Trip Generation, 10th Edition, 2017. The daily trip generation for the beginning phases of the Area Plan is illustrated in **Table 4**. As indicated, it is anticipated that land uses north of Kens Lake Cutoff Road will generate approximately 78,827 daily trips.

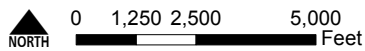
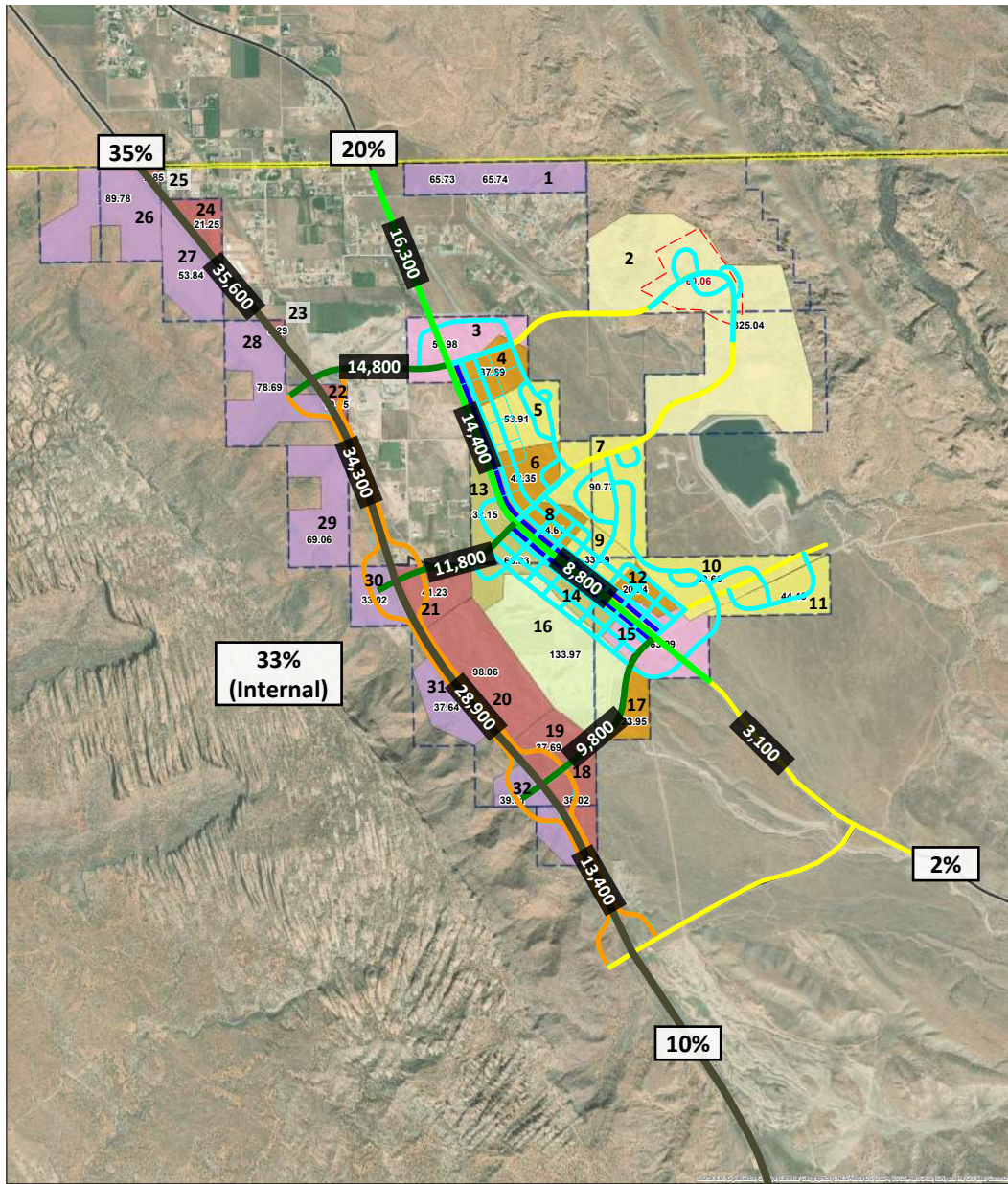
The trip generation data was assigned to the roadway network based on the type trips, the proximity of planned access points to major streets, projected population densities and regional trip attractions. Existing travel patterns observed during data collection also helped guide the establishment of these distribution percentages. As illustrated in **Map 4**, 55-percent of the daily trips were assigned to/from the north, 12-percent were assigned to/from the south, and 33-percent were assigned completely within the internal Spanish Valley road network.

The assigned daily trip generation was added to the existing ADT volumes, and the resulting projected volumes are shown in the **Map 4**. Based on the projected full build-out volumes in the Area Plan, it is recommended that US-191 have a 5-lane cross-section, Spanish Valley Drive and the east-west connectors have 3-lane cross-sections, and local roadways have 2-lane cross-sections. These cross-sections are illustrated in the Preliminary Proposed Street Cross-Sections (**Figure 1**). As indicated, many of the 3-lane cross-sections have been designed to accommodate a 5-lane cross-section if required in the long-term.

### **Preliminary Pedestrian and Bicycle Trail System**

**Map 5** illustrates the preliminary layout of the pedestrian and bicycle trail system, which will connect the various neighborhoods, land use districts, schools, parks, open space areas and other destinations. The map also indicates how the pedestrian and bicycle trails will link with other existing and future trail systems in the Spanish Valley and beyond. The configuration of trails located within public rights-of-way is detailed in **Figure 1**.

### Map 4 – Preliminary Average Daily Traffic (ADT)



**Note: Further road and transportation analyses will be conducted for the entire PC Zone in the Community Structure Plan as required.**

**Legend**

- Core - Higher Density
- Core - Lower Density
- Flex Development
- Gravel Pit
- Highway Commercial
- Perimeter Neighborhood
- Special
- Town Center
- Phase I boundary
- Perimeter area suitable for development

**Key**

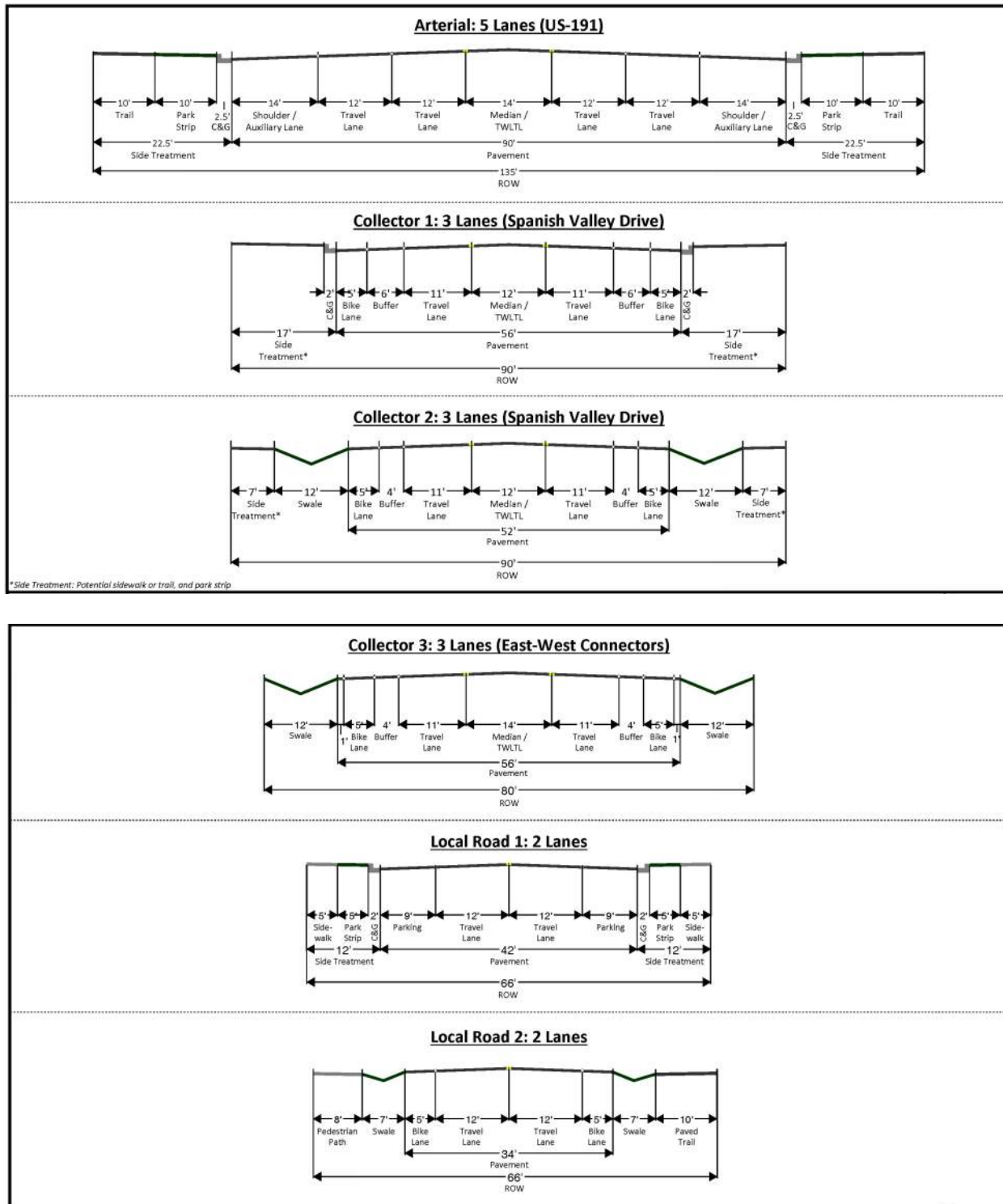
- #### Projected Full-Build ADT
- ##% Assumed trip distribution percentage
- US-191 (5 Lanes)
- East-West Connectors (3 Lanes)
- Spanish Valley Drive (3 Lanes)
- 2 Lanes - Urban Side Treatment
- 2 Lanes - Rural Side Treatment
- Frontage Roads

**Table 4 – Preliminary Trip Generation by Land Use and Anticipated Phasing**

San Juan County - Spanish Valley TS												
Trip Generation												
Weekday Daily												
Pod	Land Use <sup>1</sup>	Acres	# of Units	Unit Type	Trip Generation	% Entering	% Exiting	Pass-by Reduction	Net Trips Entering	Net Trips Exiting	Total Daily Trips	
1	Recreational Homes (260)	65.74	164	Dwelling Units	570	50%	50%	0%	285	285	570	
2	Recreational Homes (260)	60.06	240	Dwelling Units	834	50%	50%	0%	417	417	834	
3	General Office Building (710) [fitted curve equation]	58.98	206	1,000 Sq. Ft. GFA	2,140	50%	50%	0%	1,070	1,070	2,140	
	Multifamily Housing (Low-Rise) (220)		246	Dwelling Units	1,820	50%	50%	0%	910	910	1,820	
	Supermarket (850)		26	1,000 Sq. Ft. GFA	2,778	50%	50%	25%	1,042	1,042	2,084	
	Elementary School (520)		500	Students	946	50%	50%	0%	473	473	946	
4	Multifamily Housing (Low-Rise) (220)	37.69	264	Dwelling Units	1,956	50%	50%	0%	978	978	1,956	
5	Single-Family Detached Housing (210)	53.91	216	Dwelling Units	2,112	50%	50%	0%	1,056	1,056	2,112	
6	Multifamily Housing (Low-Rise) (220)	42.35	296	Dwelling Units	2,198	50%	50%	0%	1,099	1,099	2,198	
7	Single-Family Detached Housing (210)	90.77	363	Dwelling Units	3,406	50%	50%	0%	1,703	1,703	3,406	
8	Multifamily Housing (Low-Rise) (220)	24.61	172	Dwelling Units	1,260	50%	50%	0%	630	630	1,260	
9	Single-Family Detached Housing (210)	33.79	135	Dwelling Units	1,372	50%	50%	0%	686	686	1,372	
10	Single-Family Detached Housing (210)	69.66	279	Dwelling Units	2,674	50%	50%	0%	1,337	1,337	2,674	
11	Single-Family Detached Housing (210)	44.48	178	Dwelling Units	1,768	50%	50%	0%	884	884	1,768	
12	Multifamily Housing (Low-Rise) (220)	20.24	142	Dwelling Units	1,034	50%	50%	0%	517	517	1,034	
13	Single-Family Detached Housing (210)	32.15	129	Dwelling Units	1,316	50%	50%	0%	658	658	1,316	
14	Single-Family Detached Housing (210)	66.93	268	Dwelling Units	2,576	50%	50%	0%	1,288	1,288	2,576	
15	High-Turnover (Sit-Down) Restaurant (932)	63.99	6	1,000 Sq. Ft. GFA	674	50%	50%	25%	253	253	506	
	Multifamily Housing (Low-Rise) (220)		246	Dwelling Units	1,820	50%	50%	0%	910	910	1,820	
	Elementary School (520)		500	Students	946	50%	50%	0%	473	473	946	
	General Office Building (710) [fitted curve equation]		223	1,000 Sq. Ft. GFA	2,310	50%	50%	0%	1,155	1,155	2,310	
16	General Light Industrial (110)	133.97	233	1,000 Sq. Ft. GFA	1,156	50%	50%	0%	578	578	1,156	
Public Park (411)	90		Acres	72	50%	50%	0%	36	36	72		
17	Multifamily Housing (Low-Rise) (220)	23.95	168	Dwelling Units	1,230	50%	50%	0%	615	615	1,230	
18	Shopping Center (820) [fitted curve equation]	38.02	17	1,000 Sq. Ft. GLA	1,802	50%	50%	25%	676	676	1,352	
	General Light Industrial (110)		149	1,000 Sq. Ft. GFA	740	50%	50%	0%	370	370	740	
	High-Turnover (Sit-Down) Restaurant (932)		5	1,000 Sq. Ft. GFA	50	55%	45%	25%	21	17	38	
19	Shopping Center (820) [fitted curve equation]	37.69	16	1,000 Sq. Ft. GLA	1,730	50%	50%	25%	649	649	1,298	
	General Light Industrial (110)		148	1,000 Sq. Ft. GFA	736	50%	50%	0%	368	368	736	
	High-Turnover (Sit-Down) Restaurant (932)		4	1,000 Sq. Ft. GFA	40	55%	45%	25%	17	14	31	
20	General Light Industrial (110)	98.06	342	1,000 Sq. Ft. GFA	1,698	50%	50%	0%	849	849	1,698	
	Shopping Center (820) [fitted curve equation]		85	1,000 Sq. Ft. GLA	5,384	50%	50%	25%	2,019	2,019	4,038	
21	Supermarket (850)	41.23	36	1,000 Sq. Ft. GFA	3,846	50%	50%	25%	1,442	1,442	2,884	
	Shopping Center (820) [fitted curve equation]		72	1,000 Sq. Ft. GLA	4,810	50%	50%	25%	1,804	1,804	3,608	
	General Light Industrial (110)		72	1,000 Sq. Ft. GFA	358	50%	50%	0%	179	179	358	
	Gasoline/Service Station with Convenience Market (945)		8	Fueling Positions	1,644	50%	50%	50%	411	411	822	
22	Shopping Center (820) [fitted curve equation]	10.15	13	1,000 Sq. Ft. GLA	1,502	50%	50%	25%	563	563	1,126	
23	General Light Industrial (110)	3.29	31	1,000 Sq. Ft. GFA	154	50%	50%	0%	77	77	154	
	Shopping Center (820) [fitted curve equation]		10	1,000 Sq. Ft. GLA	1,258	50%	50%	25%	472	472	944	
	Fast-Food Restaurant with Drive-Through Window (934)		4	1,000 Sq. Ft. GFA	1,884	50%	50%	50%	471	471	942	
24	Gasoline/Service Station with Convenience Market (945)	21.25	8	Fueling Positions	1,644	50%	50%	50%	411	411	822	
25	Warehousing (150)	2.85	83	1,000 Sq. Ft. GFA	126	50%	50%	0%	63	63	126	
	Shopping Center (820) [fitted curve equation]		9	1,000 Sq. Ft. GLA	1,170	50%	50%	25%	439	439	878	
26	Fast-Food Restaurant with Drive-Through Window (934)	89.78	4	1,000 Sq. Ft. GFA	1,884	50%	50%	50%	471	471	942	
	Business Park (770)		338	1,000 Sq. Ft. GFA	4,306	50%	50%	0%	2,153	2,153	4,306	
	Recreational Homes (260)		180	Dwelling Units	626	50%	50%	0%	313	313	626	
	Hotel (310)		100	Rooms	704	50%	50%	0%	352	352	704	
27	Warehousing (150)	53.84	211	1,000 Sq. Ft. GFA	380	50%	50%	0%	190	190	380	
	Recreational Homes (260)		119	Dwelling Units	414	50%	50%	0%	207	207	414	
	Automobile Parts Sales (843)		15	1,000 Sq. Ft. GFA	832	50%	50%	0%	416	416	832	
28	Business Park (770)	78.69	69	1,000 Sq. Ft. GFA	1,450	50%	50%	0%	725	725	1,450	
	Recreational Homes (260)		157	Dwelling Units	546	50%	50%	0%	273	273	546	
	General Light Industrial (110)		206	1,000 Sq. Ft. GFA	1,022	50%	50%	0%	511	511	1,022	
	Warehousing (150)		69	1,000 Sq. Ft. GFA	156	50%	50%	0%	78	78	156	
29	Business Park (770)	69.06	60	1,000 Sq. Ft. GFA	1,354	50%	50%	0%	677	677	1,354	
	Recreational Homes (260)		138	Dwelling Units	480	50%	50%	0%	240	240	480	
	Warehousing (150)		241	1,000 Sq. Ft. GFA	428	50%	50%	0%	214	214	428	
30	General Light Industrial (110)	33.02	129	1,000 Sq. Ft. GFA	640	50%	50%	0%	320	320	640	
	Hotel (310)		100	Rooms	704	50%	50%	0%	352	352	704	
31	Warehousing (150)	37.64	131	1,000 Sq. Ft. GFA	254	50%	50%	0%	127	127	254	
	General Office Building (710) [fitted curve equation]		33	1,000 Sq. Ft. GFA	362	50%	50%	0%	181	181	362	
32	Business Park (770)	39.31	51	1,000 Sq. Ft. GFA	1,258	50%	50%	0%	629	629	1,258	
	General Office Building (710) [fitted curve equation]		120	1,000 Sq. Ft. GFA	1,268	50%	50%	0%	634	634	1,268	
Total		1577.2			88,612				39,417	39,410	78,827	

Note: Total based on the area indicated in Map 4.

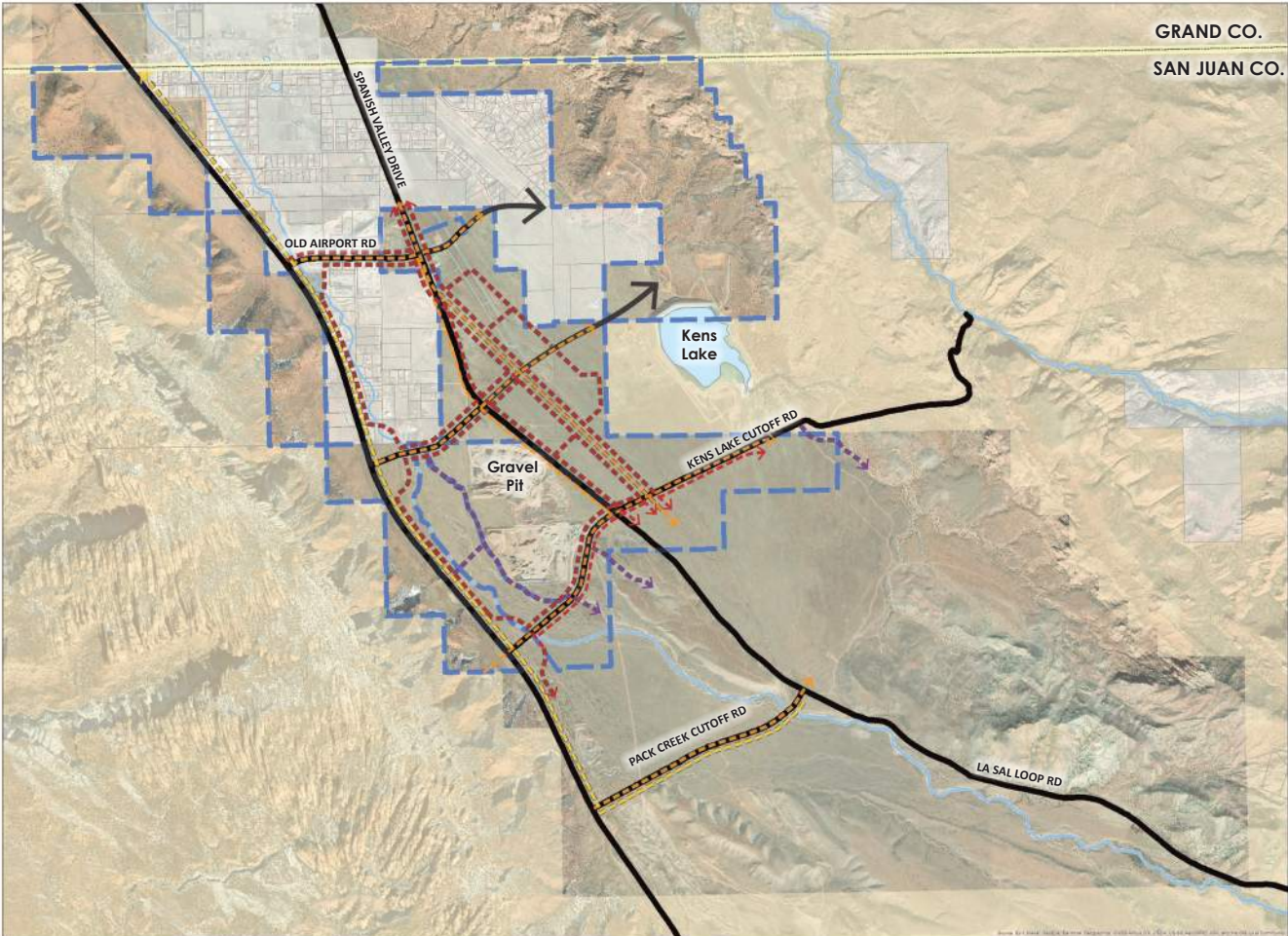
Figure 1 – Preliminary Proposed Street Cross-Sections



Source: San Juan County Spanish Valley Area Plan (2018).

Note: These cross-sections are suitable for public roads.

### Map 5 – Preliminary Pedestrian and Bicycle Trail System



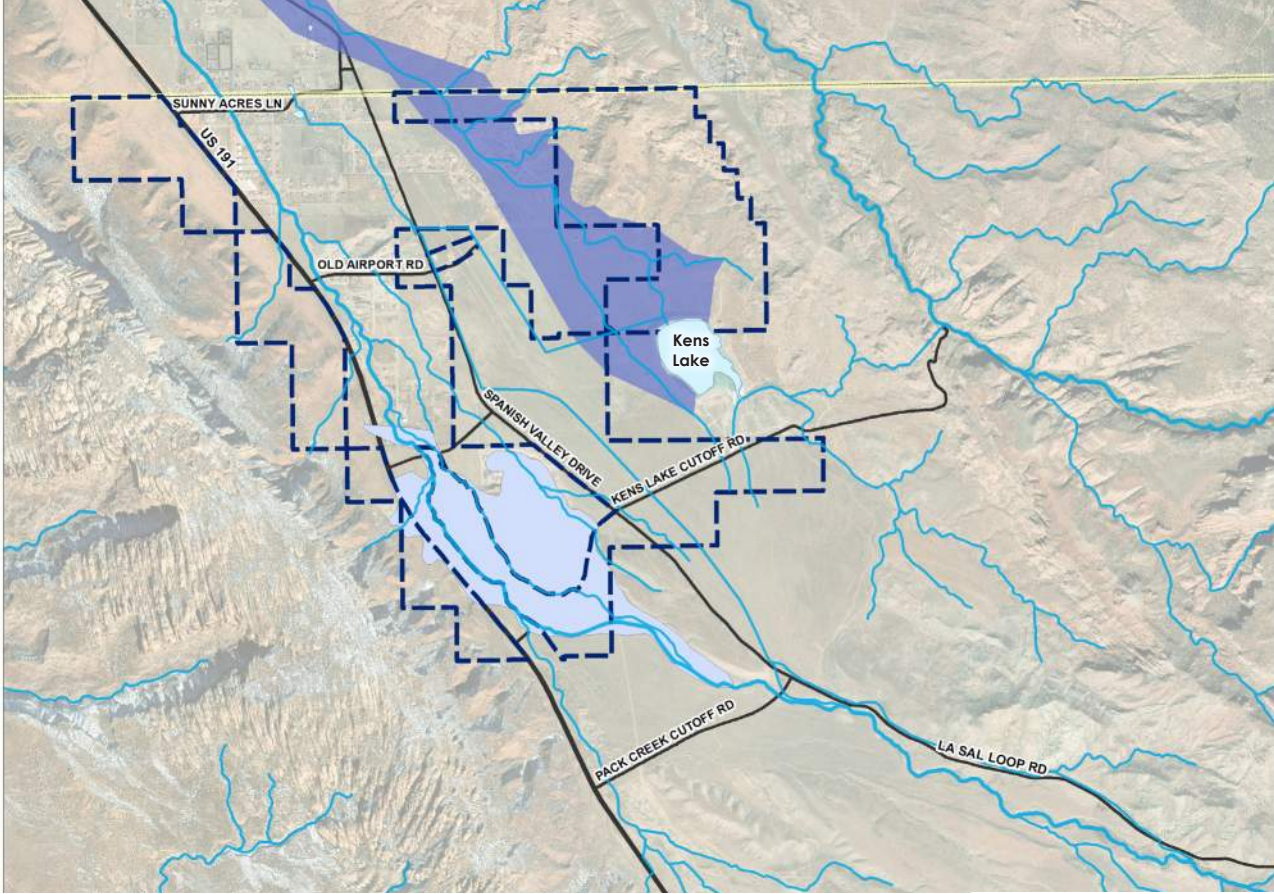
#### Legend

- On-Street Trail (Red dashed line)
- Off-Street Trail (Purple dashed line)
- Bike Lane (Orange dashed line)
- Motorized Recreation Vehicle Trail (Yellow dashed line)
- PC Zone Rezone Application Area (Blue dashed line)
- BLM Land (Yellow shaded area)
- Private Land (White outline)

### 7. Preliminary maps showing existing and proposed waterways, water bodies, major utilities and easements, wells and water sources, water protection areas, surface and sub-surface storm water drainage systems, flood boundaries and flood control facilities

Map 6 indicates the existing Pack Creek channel and stormwater conveyance area as well as the flood zone boundary if the Kens Lake dam were to fail. Pack Creek is the dominant waterway draining the Preliminary CSP area. Most of the drainages are ephemeral, conveying water primarily following summer thunderstorms, which are localized, intense and short-lived. Pack Creek also carries water runoff from the spring melt of the La Sal Mountains snowpack located several miles to the southeast.

Map 6 – Existing Waterways, Stormwater Conveyances and Flood Boundaries



**Legend**

- Kens Lake
- Kens Lake Dam Break Flood Zone
- Pack Creek Stormwater Conveyance Area
- Existing Stream/Drainage
- PC Zone Rezone Application Area

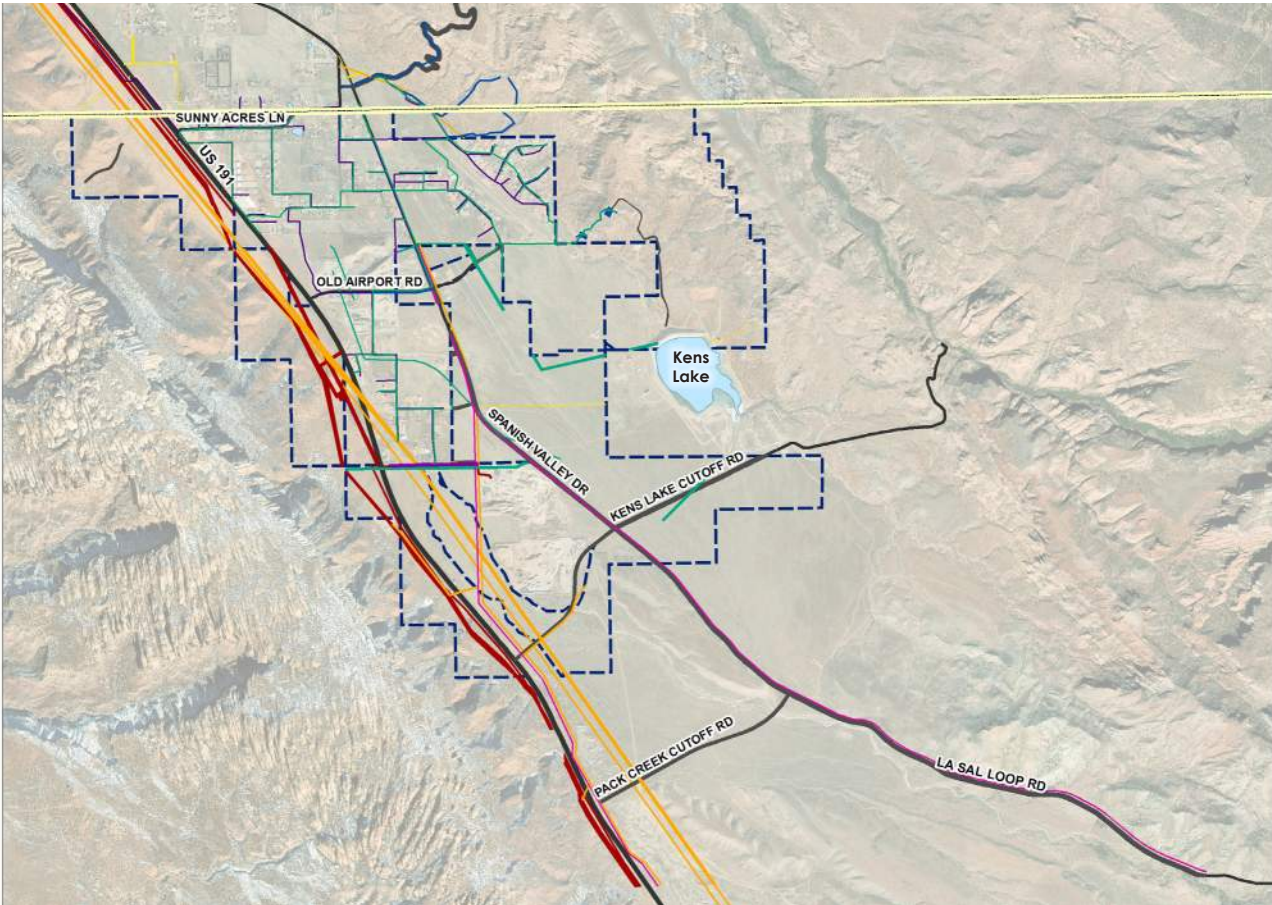
*Note:* Pack Creek Stormwater Conveyance Area shown for areas within the Preliminary CSP area only.  
*Source:* Utah Automated Geographic Reference Center (AGRC), Hansen, Allen and Luce (HAL), Utah Division of Water Resources and SITLA



**Map 7** shows existing utilities, easements and public roads located within the Preliminary CSP area. The existing utilities and accompanying easements include recently installed culinary water and sanitary sewer lines (San Juan Spanish Valley Special Service District), local distribution and transmission electrical power lines (Rocky Mountain Power), natural gas service lines (Dominion Energy), interstate transmission gas lines (Northwest Pipeline, Mid-America Pipeline, and Dominion Energy), fiber optic lines (Emery Telcom and Frontier Communications), and private irrigation water lines and ditches.

As previously indicated, the primary roads are US-191 and Spanish Valley Road/LaSal Loop Road with four east-west streets connecting the two primary roads: Sunny Acres Lane, Old Airport Road, Kens Lake Cutoff Road and Pack Creek Cutoff Road.

**Map 7 – Existing Utilities, Easements and Roads**



**Legend**

- Powerline
- Pipeline - Natural Gas
- Pipeline - Culinary Water (most lines belong to San Juan Spanish Valley Special Service district)
- Pipeline - Irrigation Water
- Pipeline - Sewer System (San Juan Spanish Valley Special Service District)
- Fiber Optic Line
- Roads
- PC Zone Rezone Application Area

*Source: Utah Automated Geographic Reference Center (AGRC), San Juan Spanish Valley Special Service District and SITLA*

## Existing and Proposed Utilities and Infrastructure

San Juan Spanish Valley Special Service District (District) oversees public culinary water and sanitary sewer for its service area in the San Juan County (County) portion of the Spanish Valley. The County also oversees storm drainage and flood control in the Spanish Valley. Transportation systems in the area are overseen by the County. The County commissioned a utility and infrastructure report (Jones and Demille, 2017), which projected that the South Valley area is generally expected to create approximately 9,640 Equivalent Residential Connections (ERCs) in commercial, mixed use, attached-unit residential and single family detached residential development. It is understood that the existing utility infrastructure will have to be expanded and construction of new infrastructure will be required to serve the project. This summary provides a qualitative overview of existing utilities and the applicant's need to provide services to the expanded South Valley project area. Each utility is discussed below.

### Sanitary Sewer Infrastructure

The District has installed a new sanitary sewer collection system to service existing residents in the area. The sewer system has capacity for 747 ERCs. The sewer system consists of 8" sewer collection lines that flow into a 10" trunk line, which is owned and maintained by Grand Water and Sewer Service Agency (GWSSA). Sewer outflow is collected and handled by Moab City's new sewage treatment plant.

It is understood that the District does not currently have capacity to serve all of the South Valley project and expects that existing infrastructure will need to be expanded to accommodate additional ERCs in the PC Zone area. The applicant will work with the District to determine the long-term impacts to the system and the best course of action for improvements. Improvements are anticipated but not limited to construction of new sewer collection and transmission lines.

### Power, Gas and Communications Infrastructure

The applicant will work with Rocky Mountain Power, Dominion Energy, Frontier Communications and Emery Telcom to supply services to the Preliminary CSP area.

### Culinary Water Infrastructure

The District has developed a source, distribution and storage system to supply culinary water to its service area, which includes 1) a well facility with capacity for 576 ERCs, 2) a distribution system with 8", 10" and 12" lines, and 3) a 500,000 gallon storage tank near the well facility with a capacity of 800 ERCs.

The applicant understands that the District does not currently have capacity to serve all of the Preliminary CSP area and anticipates that existing culinary water infrastructure will need to be expanded significantly to serve the additional ERCs in the project. The applicant will work with the District to determine the long-term impacts to the culinary water system and the best course of action for improvements. Improvements are likely to include, but not limited to, construction of new source, distribution and storage facilities.

## Proposed Storm Drainage Facilities

Pack Creek is a critical resource for the Preliminary CSP area, providing a natural storm drainage outlet for Spanish Valley and also representing a flood hazard for portions of Spanish Valley. Careful planning is needed to assure that Pack Creek is not adversely impacted by development and that new developments are adequately protected from potential flood hazards related to Pack Creek.

### Flood Hazard Mitigation

A large portion of the southern area of Spanish Valley is affected by an alluvial fan associated with Pack Creek (**Map 8**). Two strategies are often used to protect developments from flood hazards on alluvial fans. These systems are normally designed to provide protection for floods up to the 1% chance flood event.

- **Debris Basin and Channelization.** A debris basin is placed above the alluvial fan to slow the flow out of the canyon mouth sufficiently to remove debris, bed load and suspended sediments. The downstream conveyance system is enhanced to provide for the conveyance of the 1% chance flood event.
- **Protection of Individual Developments.** Specific areas on the alluvial fan can be protected through use of levees with sufficient height and armoring to protect the development from debris flows.

### Storm Drainage System

The major storm drainage system in newly developing residential areas or business districts should generally be designed for the 100-year event (flood event with a 1% chance of being equaled or exceeded in any given year) with the objective of preventing major damage and loss of life. This does not mean that storm drainpipe systems should be designed for the 100-year event. It means that the combination of storm sewers and channelized surface flow should be designed together to provide adequate flood protection to homes.

### Low Impact Development

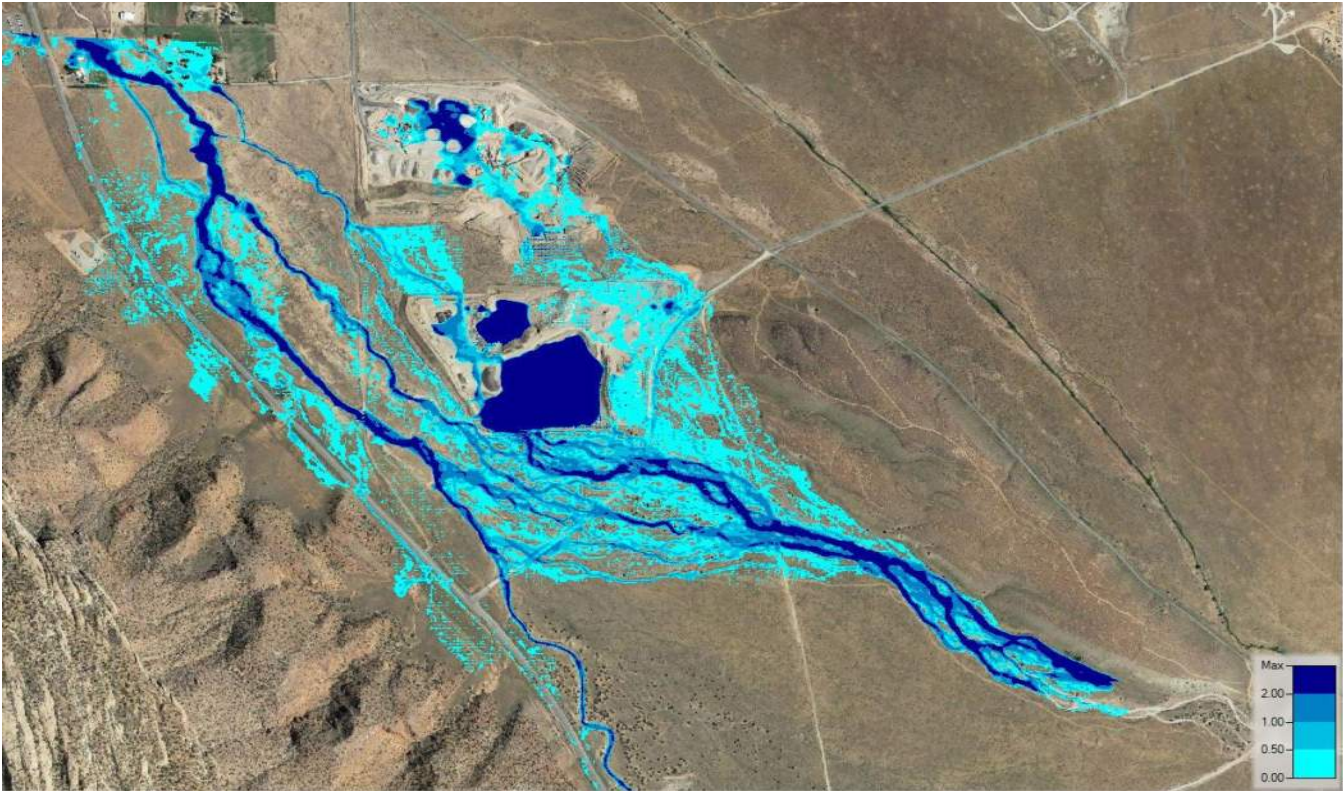
An approach that might be used for long term storm water management is Low Impact Development (LID). LID techniques minimize the directly connected impervious area and infiltrate runoff from impervious areas near the source of the runoff, emphasizing conservation and use of on-site natural features and constructed swales to protect water quality. LID practices are especially helpful in areas of high soils permeability and low slopes such as most of the South Valley project area.

Inherent in development is the increase of impervious area as roads, driveways, sidewalks, parking lots and buildings are constructed. Storm runoff from impervious areas can exceed ten times the runoff from natural areas. LID practices can help mitigate the effects of increased impervious areas by providing opportunities for infiltration into the ground near the source of the runoff. For example, in areas of suitable soils, the runoff from sidewalks and homes can be infiltrated prior to running off into the storm drain collection system. Stormwater detention basins are an effective means of reducing downstream runoff peak flow effects.

The Utah Department of Environmental Quality’s Division of Water Quality (DWQ) has prepared “A Guide to Low Impact Development within Utah” (Utah LID Guide, Michael Baker International and Environmental Planning Group, revised August 2020). This document describes alternate means of implementing LID practices. According to this guide, a key to LID is providing, to the extent practical, the infiltration of storm water near the source. Starting in 2019, municipalities that are permitted under the DWQ to discharge storm water, are required to develop an LID approach for new development and redevelopment projects. A key objective is the retention and infiltration on-site of the runoff from the 90th percentile storm event. The 90th percentile storm event for Spanish Valley is about 0.53 inches of rain.

Most of the soils in Spanish Valley are highly permeable and are conducive to the application of LID practices. In particular, the use of dry wells (sumps) to infiltrate runoff from roads and developments could be used to reduce the volume of runoff. Long term infiltration performance of dry wells requires pretreatment devices to remove organic material (leaves, loose bark, etc.) and sediments from flows prior to entering the dry well.

**Map 8 – Pack Creek Alluvial Fan (increasing depth shown in darker blue colors)**

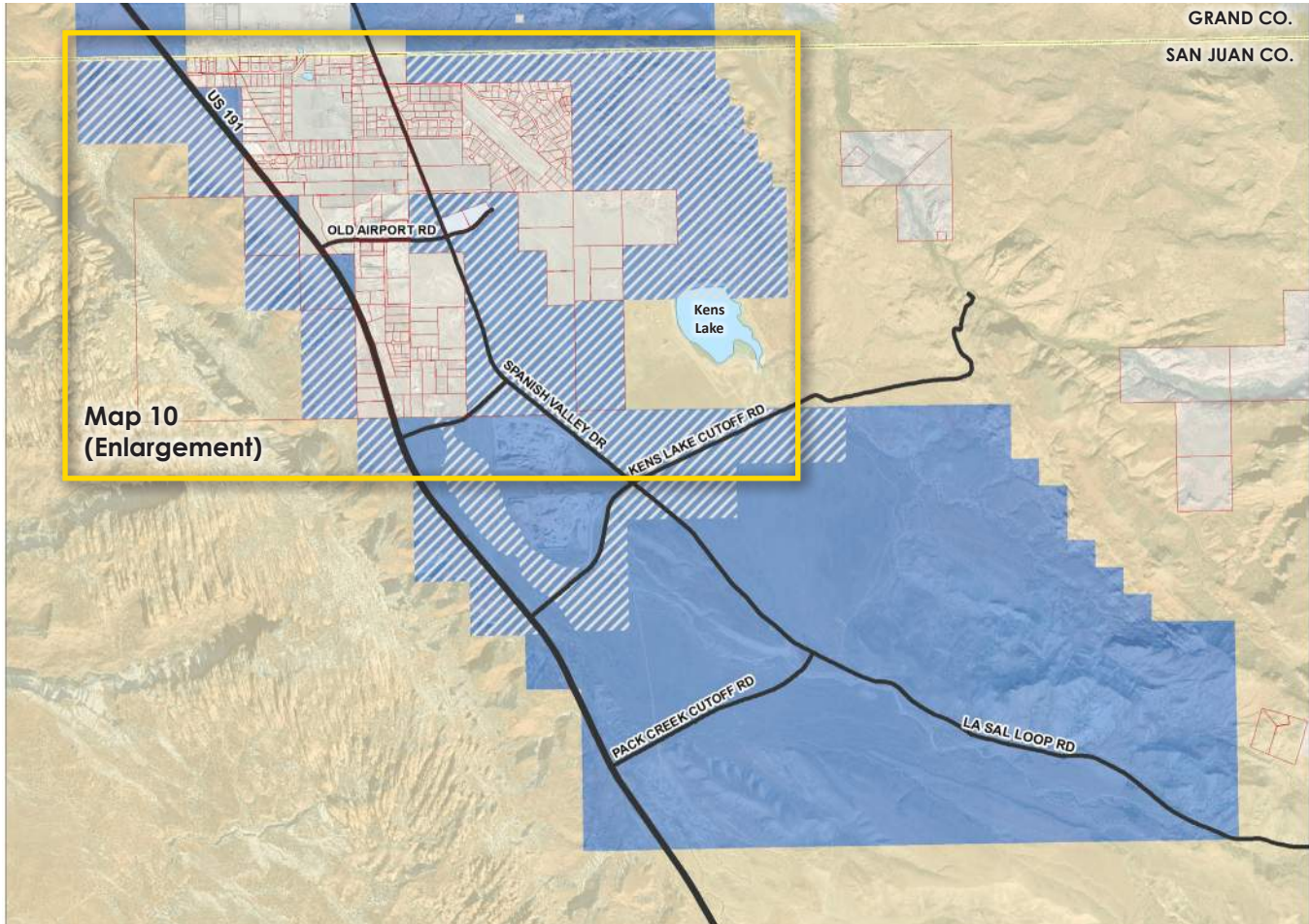


*Source: Hansen, Allen and Luce (HAL)*

## 8. Preliminary maps showing adjacent parcels, their owners and their uses

The Preliminary CSP area has one owner (SITLA). Parcels under other ownership are located adjacent to the Preliminary CSP boundary. **Map 9** shows the location and owner(s) of each adjacent parcel. The land uses of the adjacent parcels are primarily residential, in addition to some industrial (primarily gravel extraction operations) and highway commercial activity. **Map 10** is an enlargement of the smaller adjacent properties located on the northern extents of the Preliminary CSP area. **Table 5** provides a detailed identification of adjacent ownership by parcel. **Map 11** indicates the current zoning within the Preliminary CSP area and beyond.

**Map 9 – Existing Ownership Map Illustrating Adjacent Parcels**

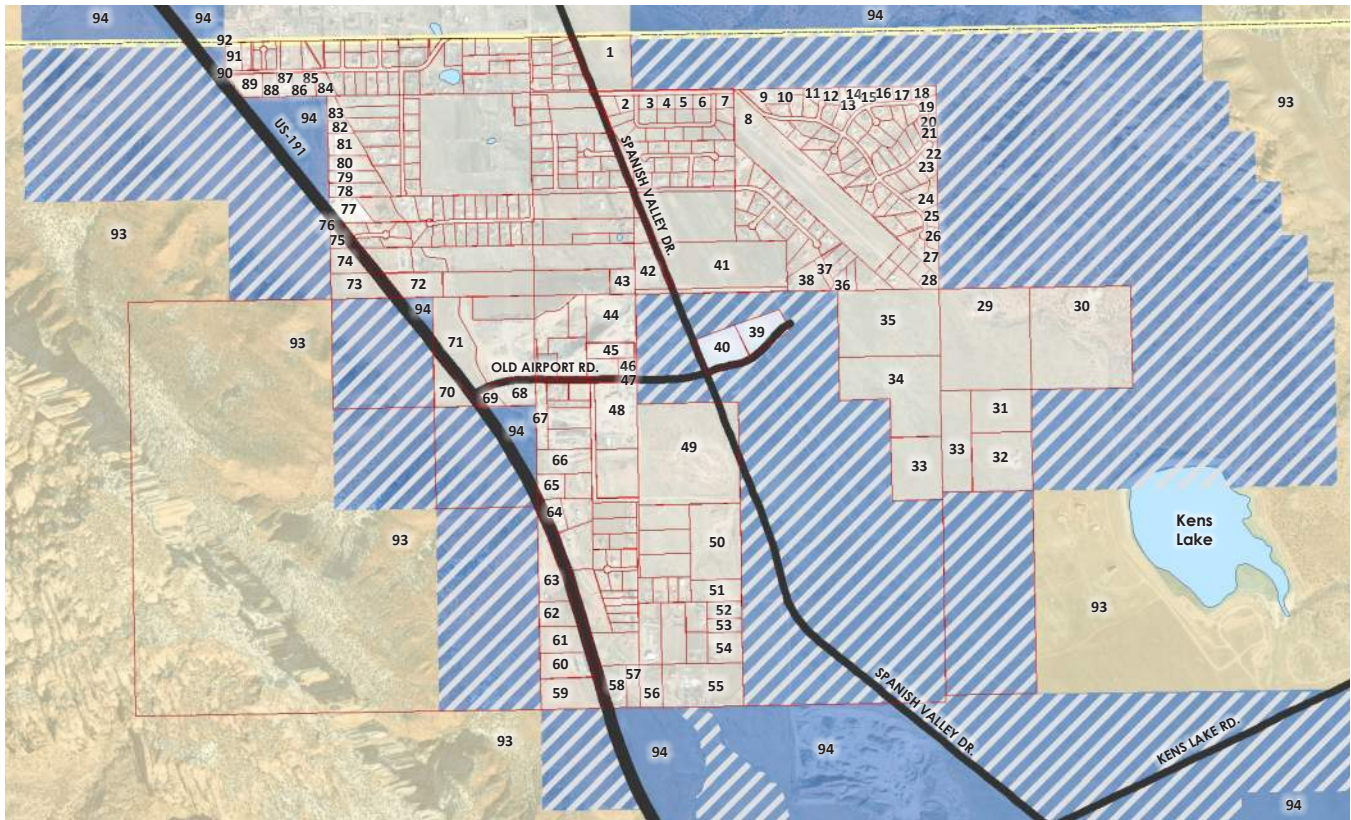


### Legend

- Parcel Boundaries
- PC Zone Rezone Application Area
- BLM Land
- Private Land
- SITLA Land

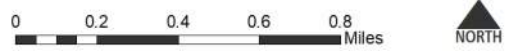


**Map 10 – Enlargement of Existing Ownership Map (Map 9)**



**Legend**

- Parcel Boundaries
- ▨ PC Zone Rezone Application Area
- SITLA Land
- BLM Land
- Private Land



**Table 5 – Adjacent Ownership by Parcel (as of April 5, 2021) - 1 of 4**

NUMBER ON MAP	PARCEL NUMBER	Owner
<b>1</b>	26S22E363600	Kenneth E. Bates, Julia Bates, Harley Edward Bates and Dorothy Lorraine Bates
<b>2</b>	000990000020	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>3</b>	000990000180	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>4</b>	000990000190	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>5</b>	000990000200	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
<b>6</b>	000990000130	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014

Table 5 – Adjacent Ownership by Parcel (as of April 5, 2021) - 2 of 4

NUMBER ON MAP	PARCEL NUMBER	Owner
7	000990000120	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
8	26S22E367801	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
9	000820000010	Lester Zufelt and Laura Zufelt, Trustees of The Lester and Laura Zufelt Family Living Trust dated July 29, 2005
10	000820000030	Lester Zufelt and Laura Zufelt, Trustees of The Lester and Laura Zufelt Family Living Trust dated July 29, 2005
11	000620010030	Kevin L. Irvine and Tina M. Irvine
12	000620010040	Samuel Adam Mealey
13	000620000070	Stanley Jay Madsen and Evyonne Lynn Madsen
14	000620000080	Pamela J. Sewell
15	000620000090	Philip D. Atkins and Linda Duran McKelvey-Atkins
16	000620000100	Brandon Melvin Williams and Courtney Richens, and Raymond A. Richens
17	000620000110	Kristine M. Rogers and Lane C. Wille
18	000620000120	James FW, Trustee of the FW James Revocable Living Trust dated May 20, 2016
19	000620000130	Maxine D. Starr
20	00062000033F	North Moab Holdings 48 Vista View Lane, LLC
21	00062000033B	North Moab Holdings 16 Vista Lane, LLC
22	000620000340	Ronald G. Hacker and Paula C. Hacker
23	000620000350	Alfred M. Cymbaluk and Jennifer L. Anderson-Cymbaluk
24	00062000049A	Daniel George McPherson
25	000620000500	Philip A. Snyder
26	000620000510	Dominic Lee
27	000620000520	Dominic Lee
28	0006400A1010	Business Resolutions, LLC, Trustee of the Moab Development Trust dated September 26, 2014
29	27S23E063001	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999
30	27S23E062400	Stephen P. Johnston and Kathleen M. Johnston, Trustees of the Stephen P. Johnston and Kathleen M. Johnston Pre-Death Revocable Living Trust under agreement effective June 30, 2011
31	27S23E063000	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999
32	27S23E063600	Timothy O'Niell and Beverly B. O'Neill
33	27S22E011800	Betty E. Thomas and William Thomas, Trustees of the Betty E. and William Thomas Family Trust dated October 26, 1999
34	27S22E010002	William Thomas, Trustee of the William Thomas Family Trust dated October 26, 1999
35	27S22E010001	Melinda G. Elkin and Karl K. Spielman, Trustees of the Spielman and Elkin Revocable Trust dated June 14, 1999

Table 5 – Adjacent Ownership by Parcel (as of April 5, 2021) - 3 of 4

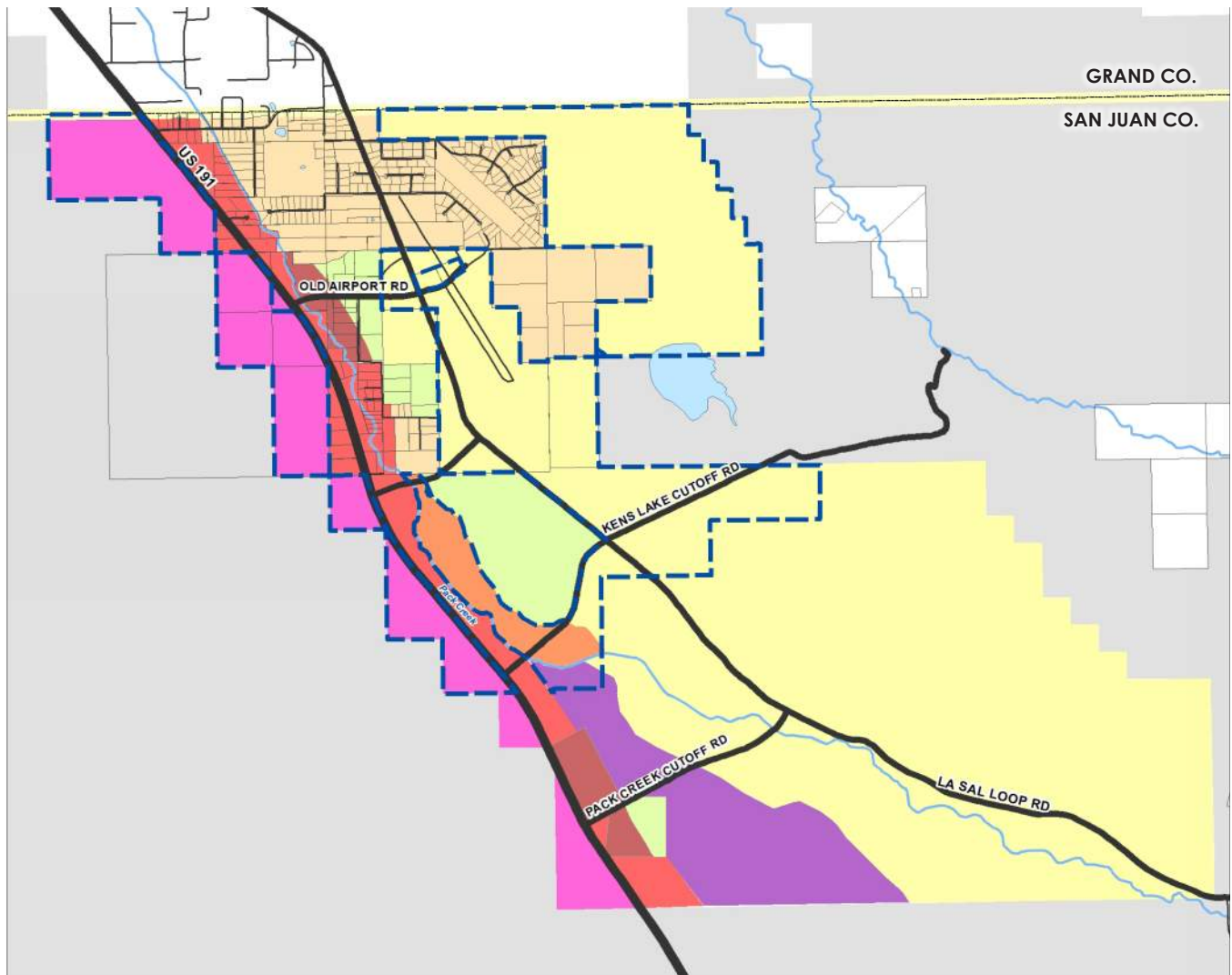
NUMBER ON MAP	PARCEL NUMBER	Owner
36	000450000030	Ronald Tazz Robinson and Kellie Warden
37	00045000006B	Mitch K. Kelling
38	000450000070	Mitch K. Kelling
39	27S22E010700	San Juan County
40	27S22E012400	Local Building Authority of San Juan Health Service District
41	0003900000D0	Grand County
42	26S22E366602	Red Rock Partners LLC
43	26S22E366006	Brian C. Backus and Kelsie P. Backus
44	27S22E013000	LeGrand Johnson Construction Company
45	27S22E013008	LeGrand Johnson Construction Company
46	27S22E013007	Aron Ryan and Richard A. Ryan
47	27S22E013013	San Juan County
48	27S22E013606	LeGrand Johnson Construction Company
49	27S22E014200	Grand County
50	27S22E014800	LeGrand Johnson Construction Company
51	27S22E014802	LeGrand Johnson Construction Company
52	00056000004A	Gregory S. Williams
53	00056000004B	Gregory J. Mefret and Michelle L. Mefret
54	000560000050	Edward K. Tangren, Trustee of The Tangren Family Trust dated November 6, 1996
55	000560000060	Michael H. Bynum and Gina Giffin
56	000560000070	Michael H. Bynum and Gina Giffin
57	000800000010	Karl G. Tangren and Joylyn Johnson
58	000800000020	Karl G. Tangren and Joylyn Johnson
59	27S22E016001	IUC Properties LLC
60	27S22E016002	Rim View LLC
61	27S22E016003	Rim View LLC
62	27S22E015402	David Ivan Hawks
63	27S22E015405	David Ivan Hawks
64	27S22E013603	WCR Holdings, LLC
65	27S22E013602	Kane Creek LLC
66	27S22E013601	LeGrand Johnson Construction Company
67	27S22E013600	LeGrand Johnson Construction Company
68	27S22E020003	LeGrand Johnson Construction Company
69	27S22E020005	John Benjamin Gunn
70	27S22E020004	Shocker Holdings LLC
71	27S22E020002	(1/2 int) Ferrie Arthur Mathie, surviving Co-trustee of the Catherine LuPreal Summerhays Mathie Inter Vivos Trust and (1/2 int) Ferrie A. Mathie, surviving Co-trustee of the Catherine LuPreal Summerhays Mathie Family Trust



Table 5 – Adjacent Ownership by Parcel (as of April 5, 2021) - 4 of 4

NUMBER ON MAP	PARCEL NUMBER	Owner
72	26S22E359004	Ronald J. Holyoak and Katherine F. Holyoak, Trustees of the Holyoak Family Trust dated April 30, 2003
73	26S22E358400	R & K Holyoak Properties, LLC
74	26S22E358401	Grand County
75	26S22E358402	Grand County
76	26S22E359000	Robert H. Knuston and Wynona Dalton, Trustees of the Holyoak Family Trust
77	000850010010 000850010020 000850010030 000850010040  000850010050 000850010060 000850010070 000850010080 000850010090	Tactical Lighting Solutions, LLC James S. Pate Dale Reynolds Donald Gerard Bellio and Barbara Bellio, Trustees of the Donald Gerard Bellio Living Trust dated March 9, 2001 Doran J. Michaels Dustin Frandsen Jeffrey P. Peterson and Sarah D. Peterson David R. Stuab and Elizabeth R. Stuab David R. Stuab and Elizabeth R. Stuab  NOTE: These 9 parcels are in a subdivision adjacent to SITLA land. The subdivision contains a "common area" which directly borders SITLA land and each lot owner receives a 1/9 interest in the "common area".
78	26S22E357805	Carroll Drilling LLC
79	26S22E357806	630 North, LLC
80	26S22E357820	Wada Thompson Properties
81	26S22E357810	Thomas Howard Balsley
82	26S22E357830	Star Point LLC
83	26S22E357840	RREM Holdings, LLC
84	26S22E354207	Aletha Butcher
85	26S22E354206	Marlene R. Huckabay, Trustee of the Marlene Rumel Huckabay Living Trust dated August 28, 1997
86	26S22E354205	Corina Lynn Santos
87	26S22E354211	Earl Dwight Johnston and Dorothy Sue Johnston
88	26S22E354204	Sean G. McArthur
89	26S22E354203	John R. Krist
90	26S22E354214	San Juan County
91	26S22E354209	Matt R. Zunich and Kelly J. Zunich
92	26S22E354210	Chris Williams and Thippaphonh Williams
93	n/a	USA (Bureau of Land Management)
94	n/a	SITLA

**Map 11 – Current Spanish Valley Zoning Map Indicating Adjacent Land Uses to the Preliminary Community Structure Plan Area**



**Legend**

- |                                  |                                      |                                 |  |
|----------------------------------|--------------------------------------|---------------------------------|--|
| Planned Community (PC)           | Business Flex (BF)                   | PC Zone Rezone Application Area |  |
| Spanish Valley Residential (SVR) | Highway Flex (HF)                    | County Boundary                 |  |
| Residential Flex (RF)            | Highway Commercial (HC)              | BLM Land (Unzoned)              |  |
| Agricultural (A1)                | Controlled District - Highway (Cd-h) | Federal Property                |  |

*Note: This map is based on the Spanish Valley Zoning Map adopted by the San Juan County Board of Commissioners on Feb 16, 2021*

## 9. Preliminary map showing 40-foot contours and significant topographic features within or adjacent to the CSP property

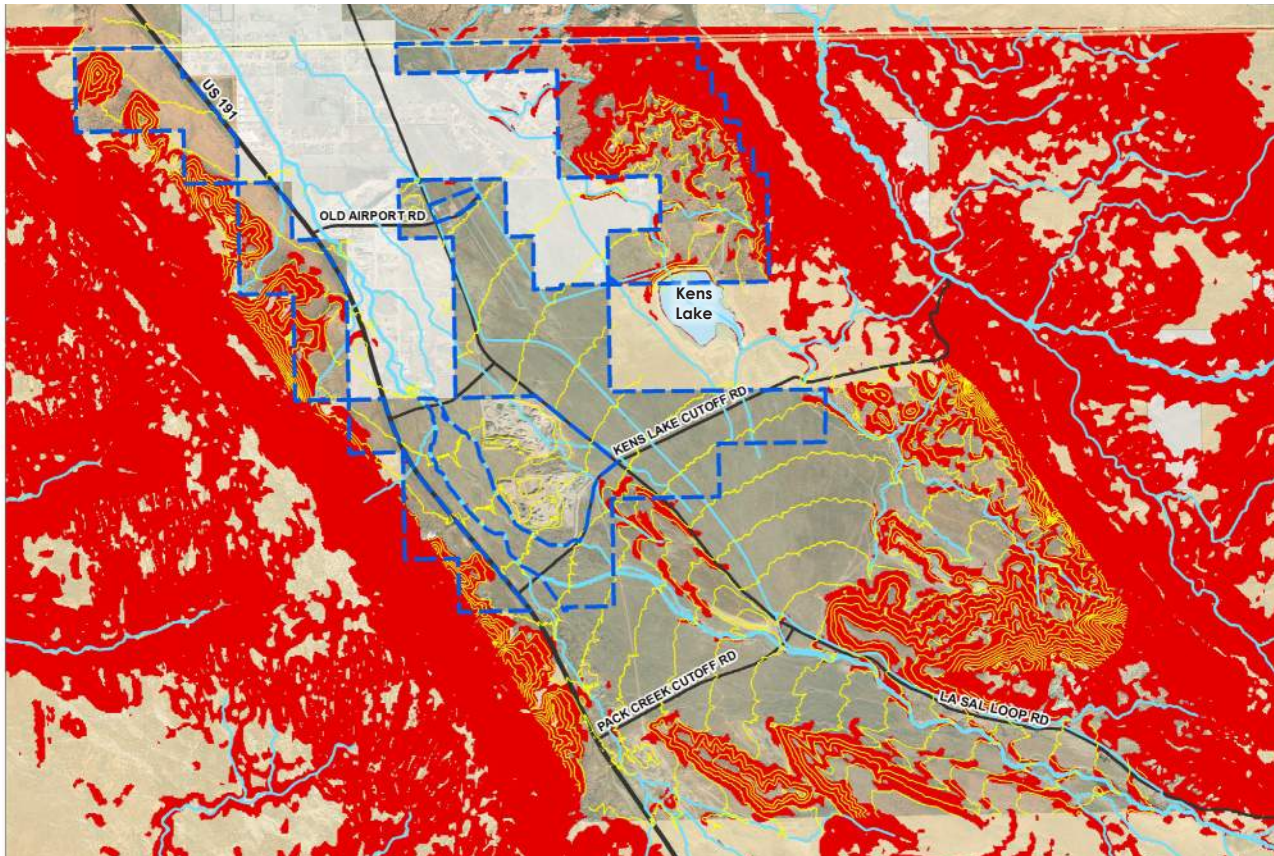
### Existing Topography and Form

The Spanish Valley is a southeast-northwest trending valley that merges with the Colorado River north of Moab. The main geologic features in the area are the Glen Canyon Group sandstones and the La Sal Mountains. The Glen Canyon Group rocks form the steep walls on both sides of the Spanish Valley, as well as the mesas and dendritic canyons for which the area is famous. **Map 12** illustrates the site topography at 40-foot contours and also indicates slopes greater than 30-percent that generally should be avoided for development purposes according to existing San Juan County design requirements.

Most of the area within the Spanish Valley that is contained in the Preliminary CSP area is flat to moderately sloped, with small areas of steeper slopes located on the edges of the valley. Smaller drainage channels tend to be moderately eroded into the valley floor while larger streams, especially Pack Creek, are more deeply incised into the valley floor. The steep cliffs that define the edges of the Spanish Valley are primarily located outside the Preliminary CSP area.

The Spanish Valley is surrounded by large areas of steep cliffs and open land that contribute to the broad views and unique vistas found here. Such lands also provide wildlife habitat and places to engage in outdoor activities and recreation. Kens Lake is a reservoir located just east of the South Valley project area that is managed by the Bureau of Land Management (BLM). The reservoir is a significant recreation draw as well as an important secondary water resource. Kens Lake includes a campground with more than three miles of hiking trails. Fishing and swimming in the reservoir are popular activities, although boating is limited to non-motorized craft. Beyond the Preliminary CSP area, most land is managed by the BLM.

**Map 12 – Existing Topography Including 40 Foot Contours and Significant Topographic Features**



**Legend**

- Significant Topographic Features (Slopes 30% and Steeper)
- 40' contours
- BLM Land
- Private Land
- Existing Stream/Drainage
- PC Zone Rezone Application Area

Source: Utah Automated Geographic Reference Center (AGRC), Hansen, Allen and Luce (HAL), Utah Division of Water Resources and SITLA

**10. Documentation of existing and proposed secondary (irrigation) water rights, shares and usage (in San Juan County portion of Spanish Valley)**

**Table 6 – Secondary/Irrigation Water Rights and Usage**

Status	Water Right	Usage
Existing	05-2307	200 Equivalent Livestock Units (ELUs)

## 11. Preliminary open space plan providing general descriptions and locations of major open spaces

**Map 13** illustrates the preliminary interconnected open space system for the PC Zone area, which will be coordinated with the pedestrian and bicycle trail system illustrated in **Map 5** to link neighborhoods, schools, service nodes, recreation sites and similar destinations. A full range of park and open space types and sizes is proposed to meet the long-term needs of the community. Minimum level of service and distribution standards for parks will be contained in the Final Community Structure Plan, but will generally consist of the following:



**Regional Parks** (15+ acres) provide amenities that serve the region, including restrooms, sports fields, open play areas, playgrounds and specialty draws such as sports parks, rodeo grounds and similar facilities. These should be coordinated with nearby school fields and school recreation facilities to avoid duplication of services and amenities.



**Community Parks** (10+ acres) includes open play and sports fields as basic features to meet the needs of the community.



**Neighborhood Parks** (2 to 5 acres) are focused on open play areas, playgrounds and similar amenities that meet the needs of the surrounding neighborhood. Typical amenities include a restroom, pavilions, playgrounds, sports fields and un-programmed open space.

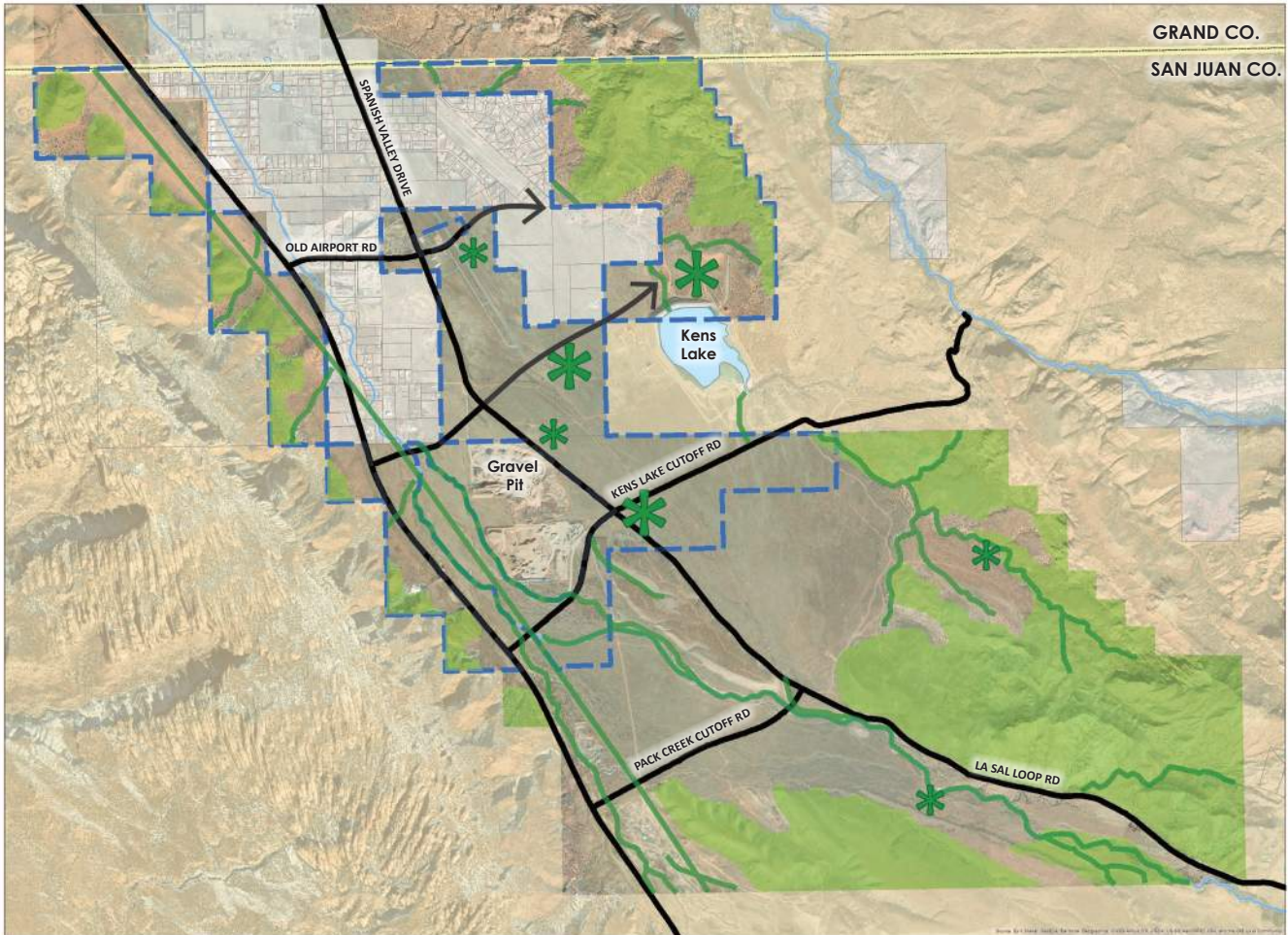


**Local Parks** (1 to 2 acres) meet the need of adjacent and nearby residents. Typical amenities include a small shelter, a playground and a focal play feature.



**Natural Open Spaces, Drainage Corridors, Green Corridors and Off-street Trail Corridors** provide an interconnected open space system, linking the various neighborhoods with trails, parks, schools and recreation sites.

### Map 13 – Preliminary Proposed Parks and Major Open Spaces



#### Legend

- Green Corridor
- Regional Park
- Community Park
- Major Open Space
- PC Zone Rezone Application Area
- BLM Land
- Private Land

## 12. Preliminary standards that govern the design and maintenance of major public infrastructure improvements

### Streets and Streetscape Design Principles

The manner in which streets are treated will have significant impact on the establishment of a consistent community appearance. The edges of the streets will include a unified system of street lights, furnishings, and hardscape treatments and be carefully landscaped with appropriate trees, vegetation and special landmark treatments at entrances and gateways. In recognition of the differences that exist along the length of a roadway, minor variations in the design, materials, colors and plant species should be encouraged to emphasize those distinctions. For example, rows of street trees will be planted within park strips where possible, extending across the street and into the medians where they exist. This will create a unified “allee” appearance from near and far. Trees and plants will be selected that are well-suited to the local hot and arid climate. They should be unified with the landscape treatments of surrounding private developments and incorporate water-conserving design concepts as detailed in these guidelines and as required by specific ordinances for the San Juan County portion of the Spanish Valley.

While additional design input is necessary to determine the final configuration of specific street edge treatments, the sidewalks and walkways along the street edge should be “urban” along key streets and at community nodes, transitioning to less formal and more relaxed configurations in the more rural perimeter areas.

Streets located in the central and core areas, alongside major roads and adjacent to neighborhood centers should be unified while reflecting the different character of each neighborhood and district. The sidewalk and walkway system should be well-coordinated, generally constructed of concrete, concrete unit pavers and similar durable materials in accordance to specific design needs and functional requirements. Pavement colors should be carefully considered to ensure these facilities fit with the surrounding desert setting and climate.

New or retrofitted streets in the Spanish Valley should be carefully designed with an orientation to the needs of pedestrians and cyclists as well as for the safe movement of vehicles. Streets should accommodate transit and active modes of transportation.

The following are elements of new streets for major roads and in the core portions of the area:

- Comprehensive pedestrian realm: streets should include a generous, complete pedestrian realm, as illustrated in **Figure 2**, with:
  - A furnishings zone, for street trees, street furniture, pedestrian-scale lighting. This zone is also used as a buffer for pedestrians from moving traffic;
  - A through zone where people walk; and

- A frontage zone, where the land uses can “spill out” onto the street with outdoor dining, display, seating, plantings or other uses.
- A roadway designed for low vehicle speeds of 25 miles per hour or lower.
- The awareness of cyclists through on-street markings and signage, especially in conflict areas. For the local-level streets that these new streets will be, dedicated bike lanes will likely not be necessary if the traffic speeds of the street are kept low.
- An on-street parking lane, with bulb-outs and other uses where appropriate, such as pedestrian crossings.

**Figure 2 – Comprehensive Pedestrian Realm**



**FURNISHING ZONE:**

Space acting as a pedestrian buffer from moving traffic and space for amenities such as benches and other street furniture, lighting and utility poles.

**THROUGH ZONE:**

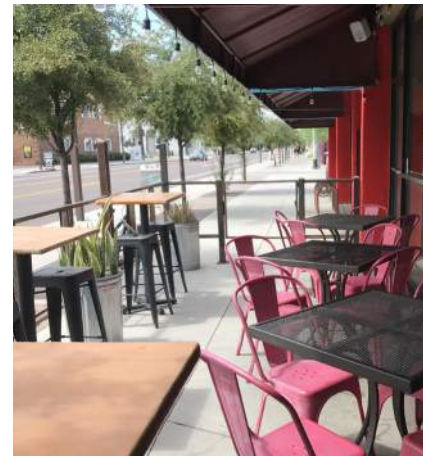
Space for people to walk. The Through Zone should be able to accommodate wheelchairs passing and, depending on the environment and amount of pedestrians, people or pairs of people walking past one another.

**FRONTAGE ZONE:**

Space for features associated with the adjacent land use such as plantings, dining, seating or displays.

**Trees and Vegetation**

A variety of shade trees should be used to transform the South Valley area into a lush and inviting place that is aligned with the realities of the harsh, arid climate. In general, shade and street trees should be selected that are large at maturity, which will reinforce the formation of a shady, pleasant and unified district character. Trees and other vegetation should be selected to meet the specific design and environmental needs of the area, reflecting regionally-appropriate water-wise design and implementation concepts. Trees should have a broad canopy that helps mitigate wind and summer heat.





### Street Furniture

Streetlights and furnishings should be coordinated, providing a highly refined and unified look for the core areas while encouraging a sense of individuality and local appeal in specific zones and neighborhoods. Furnishings in perimeter and internal neighborhoods should be simple and limited to basic features such as lighting and signage. In the more highly-developed “core” or urban areas, they also include a range of benches, bollards, bike racks, trash receptacles and other elements appropriate for a more active setting. In other words, each street and streetscape should reflect the specific setting, use, character and nature of the surrounding neighborhood or district within the context of a uniform design strategy.

### Street Lighting

Street lights should complement the look and feel of each neighborhood, with a distinct focus on the needs of pedestrians and cyclists. Specific light fixtures should be selected from a single model-line or style, utilizing poles, bollards and fixtures that complement the feel of each specific district and the community as a whole. All lighting and furnishing elements should be high quality, “Dark Skies” compliant and meet the requirements of established zoning codes. Light poles and lighting housings should be constructed of powder-coated steel, aluminum and similar durable materials.



## Street Signage

Street signage is critical for orienting drivers, cyclists and pedestrians, particularly in the more “urban” areas of the community. Businesses need visibility and ease of customer access. The locations and design of signage should create a sense of place and reflect the unique character and visual characteristics of the surrounding setting. Street level signage plays a critical role for pedestrian uses, the locations and types of signs helping to establish the personality of an area that will encourage people to return to discover the area. Pedestrian focused signage should be scaled and reflect pedestrian travel speeds of approximately three miles per hour. The lighting of street signage should be “Dark Skies” compliant as regulated in ordinances adopted for the area.

## Parking, Loading and Service Areas

Parking lots and service areas are essential features of a well-designed community, particularly in “urban” and core development areas, at community nodes and along major streets where development is concentrated. The design of these areas should be treated with the same care as the adjacent streets, encompassing a well-conceived loading and unloading strategy that helps transform the streets, parking areas and service zones into clearly articulated, safe, comfortable and visually interesting spaces.

Wherever possible, parking lots and service areas should be landscaped with a mix of shade trees with heavy canopies to help provide shade and filter dust and pollutants. The trees and vegetation used in parking areas should be water conserving and carefully selected for the harsh desert environment. Species with root systems that are likely to heave paving or are otherwise difficult to maintain should be avoided. Parking lot vegetation typically should be planted in rows within barrier islands, although clustered groupings of trees may be preferable under certain conditions.

Where parking is visible from the street and adjacent pedestrian areas, barrier walls and fences should be provided that are aligned with the architecture of the associated building they serve. Trees and shrubs can also be used to help buffer the visual impact of the parking lots. Lighting should be provided in all parking lots, utilizing poles and fixtures that complement the urban feel of each node and are “Dark Skies” compliant.

## Trail Design Principles

The South Valley trail system is carefully laid out to provide a robust and connected system of regional and local trails to facilitate pedestrian and bicycle travel and movement throughout the community and beyond (**Map 5**). As illustrated in **Figure 3**, the South Valley trail system is highlighted by a range of fully-separated single-track/soft surface trails to accommodate off-pavement walking, hiking and biking, and larger, multi-purpose paved trails that provide easy connections between neighborhoods and on-street bike lanes.



## Trail Types

### FULLY-SEPARATED, PAVED MULTI-USE TRAIL

Minimum Trail Width: 12 feet.  
Minimum Right-of-Way Width: 15 feet.  
Cross-Slope: 0-20%.  
Preferred Materials: asphalt, concrete, natural, crushed stone.

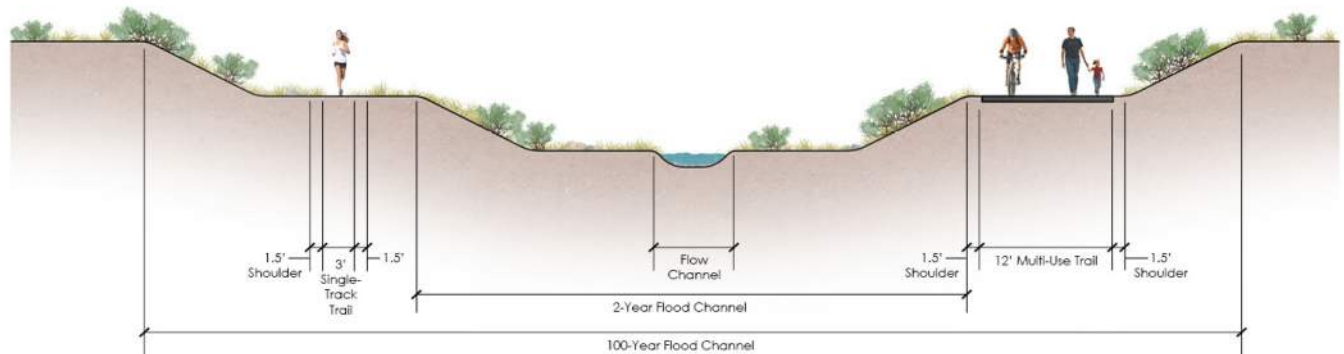
### FULLY-SEPARATED, UNPAVED SINGLE TRACK TRAIL

Minimum Trail Width: 3 feet.  
Minimum Right-of-Way Width: 6 feet.  
Cross-Slope: 0-20%.  
Preferred Materials: natural, crushed stone.

### ON-STREET BIKE LANES AND FACILITIES

See **Figure 1** for trail and bike lane locations by street type.  
Preferred Materials: asphalt, concrete, natural, crushed stone for trails and sidewalks adjacent to roadway, asphalt or similar material as roadway for on-road bike lanes.

**Figure 3 – Conceptual Section Illustrating Fully-separated Paved and Unpaved Trails**



### 13. Preliminary standards that govern general building placement, massing and other key design criteria to be detailed and finalized as part of the Final Community Structure Plan Design Standards

In order to create a diverse and economically viable community that fits into the natural environment and setting, the South Valley area is divided into four distinct land use areas in accordance to the *Spanish Valley Area Plan (2018)* - see **Map 2**. Each land use area is described briefly below with more extensive character descriptions on the following pages.



#### Central Neighborhood

Located in the center of the valley, these are the flattest and easiest-to-build areas. They are suitable for a wide range of development, including residential, civic, institutional, and parks and open space uses. They also support limited development of local commerce and community services.



#### Perimeter Neighborhood

Located on the east and south edges of the valley, these areas are removed from the Central Neighborhood areas. The application of coordinated strategies and models for lower-density development should be applied in these locations.



#### Flex Development Area

These areas provide unique opportunities to create an economic base for the valley, due in large part to their location near the highway yet buffered from nearby future neighborhoods and centers. A flexible development approach should be considered to allow market opportunities to be addressed.



#### Neighborhood Centers

These low-density mixed-use centers serve the local retail and service needs of the valley. Development will emphasize smaller-scale retail, commercial and recreational uses as well as a broader mix of uses including limited residential (single and multi-family), public/semipublic uses, and parks and open space uses.

## Central Neighborhood

The Central Neighborhood will have the greatest diversity of residential uses of the various districts. Densities in the Central Neighborhood are anticipated to average 4-5 units per acre.

Examples of the residential types envisioned for this area follow:

- Single family and two-family homes;
- Mother-in-law units and accessory dwelling units (ADUs);
- Multi-family residential limited by height (3 to 4 stories maximum) and density (15 units/acre);
- Townhomes and row houses (3 stories maximum);

Additional residential uses and types should also be considered as specific needs and opportunities arise.



*Examples of Desert Modern Commercial, Residential and Mixed-use buildings that are appropriate for Central Neighborhood locations*

## Central Neighborhood (continued)

### Building Placement

**Front Setback:** 10 feet minimum, 20 feet maximum.

**Side Setback:** 8 feet one side, 12 feet other side, total minimum 20 feet.

**Rear Yard Setback:** 50 feet minimum, no maximum. Primary buildings must be located the furthest possible point from the adjacent residential use. A minimum rear setback of 20 feet is required.

**Orientation:** Buildings must be oriented toward the primary street frontage and plazas with additional facade detailing on the face of street-side facing buildings.

### Building Characteristics

**Ht. Maximum:** Three stories maximum.

**Ht. Minimum:** 35 feet minimum from street level.

### Typical Uses

**Street level:** Primarily residential and carefully aligned support uses, although limited low-intensity commercial may be permitted as part of mixed-use projects.

**Upper stories:** Primarily residential, with some office uses as part of mixed use projects.

### Required Parking

**Residential:** 2 per dwelling unit maximum.

**Lodging:** 1 per key plus 0.5 per employee maximum.

**Office:** 3.0 per 1,000 square feet maximum.

**Retail:** 3.0 per 1,000 square feet maximum.

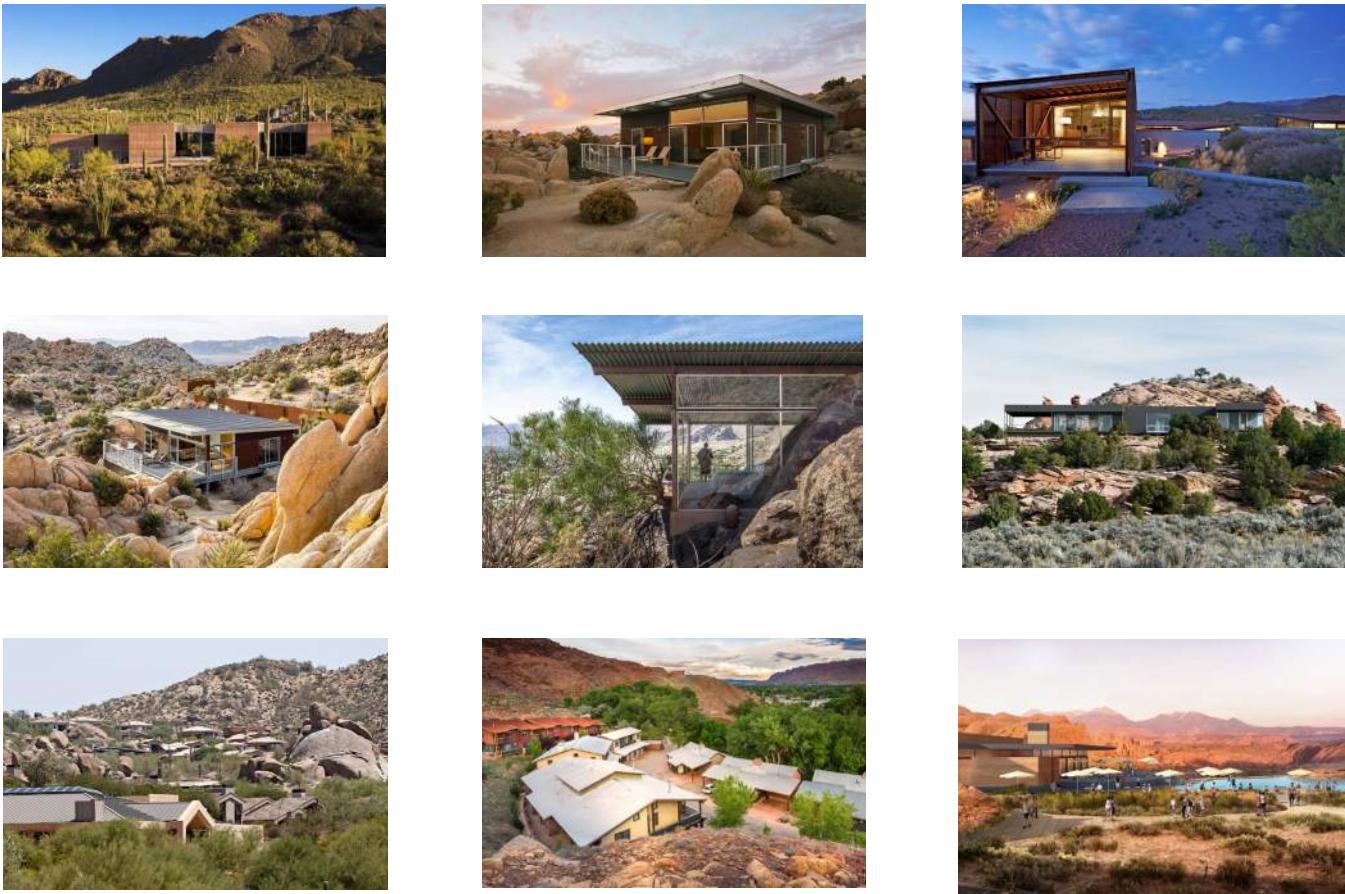
Shared parking shall be incorporated whenever possible. On-street parking is required and may be counted.

### Architectural Form

Desert Modern Mixed-use and Commercial. Buildings should generally be sited in relation to the streets and public spaces they front. Buildings located in proximity to Neighborhood Centers and along major streets should be designed with limited front yard setbacks while those in less prominent locations should include discernible yards and setbacks to elicit a more traditional small town feel.

# Perimeter Neighborhood

Perimeter Neighborhoods will focus on large lot and destination residential uses. These areas will accommodate single-family, large lot, specialty residential, resort and ranch-type uses that are more appropriate for the challenging terrain (1-2 units per acre on average). The use of clustered development and conservation subdivisions are supported in these areas in order to minimize the impact of development on the lands and to preserve the open feel of the landscape setting.



Examples of Desert Modern Residential buildings appropriate for Perimeter Neighborhood locations

## Building Placement

**Front Setback:** 50 feet minimum, no maximum.

**Side Setback:** 50 feet minimum each side.

**Rear Yard Setback:** 50 feet minimum, no maximum.

**Orientation:** Buildings and primary entrances should generally oriented toward the street, with some flexibility for unique settings and circumstances. In no case should rear yards face the street. Cluster development layouts are encouraged.

## Perimeter Neighborhood (continued)

### Building Characteristics

**Ht. Maximum:** Two stories maximum.

**Ht. Minimum:** 30 feet minimum from street level.

**Street level door required:** 1 per 60 feet of frontage.

### Typical Uses

**Street level:** Primarily residential and carefully aligned support uses.

**Upper stories:** Residential.

### Required Parking

**Residential:** 2 per dwelling unit maximum.

**Specialty residential/resort:** 1 per key plus 0.5 per employee maximum.

**Office:** 3.0 per 1,000 square feet maximum.

**Retail:** 3.0 per 1,000 square feet maximum.

Shared parking shall be incorporated whenever possible. On-street parking is required and may be counted.

### Architectural Form

Primarily large lot and destination residential uses. A wide-range of Desert Modern Residential and similar forms are appropriate. Buildings should generally be sited with large yards and setbacks with no fencing or walls along edges to respect and establish a strong connection to the natural landscape.

## Flex Development Areas

Flex Development areas provide a range of commercial, light industrial, warehousing, commercial, institutional, civic, cultural and recreational needs of the community. They can also be considered for specialty residential and mixed-use commercial/residential uses, as key community destinations, and as places to meet and engage in local events and activities. Typical uses include, but are not limited to the following:



### Flex Development Areas (continued)

- Large and small commercial operations
- Business and job centers
- Supermarkets, grocery and similar commercial services
- Restaurants
- Social hall/community meeting space
- Civic/government offices
- Medical offices/clinics
- Large and small businesses
- Professional offices
- Specialty housing



## Flex Development Areas (continued)

### Building Placement

**Front Setback:** 10 feet minimum, 50 feet maximum.

**Side and Rear Setbacks:** None.

**Adjacent to Residential Zone:** Buildings must be located the furthest possible point from the adjacent residential zone. A minimum rear setback of 20 feet is required, increasing to 50 feet when adjacent to any residential zone or use.

Buildings must be oriented toward frontage streets and associated plazas with additional facade detailing on the front face. The side facade of large format building types are permitted to face the adjacent street so long as a primary entrance is located at the corner providing access from the public way.

### Building Characteristics

**Ht. Maximum:** 4 stories/ 50 feet maximum.

**Ht. Minimum:** 1-story/ 20 feet minimum building height measured from sidewalk level. Commercial storefront uses shall have 14 feet minimum interior ceiling heights.

**Street level door required:** 1 per 60 feet of frontage minimum.

**Glazing and Frontage:** 65% clear glass for street level frontage. 80% active street level frontage, with some flexibility depending on specific functions and uses.

### Land Use Requirements

**Active street level uses:** Retail, restaurant, entertainment, lobby, recreation, professional service and civic uses are encouraged. Office, storage, industrial, residential and other uses permitted depending on the type of project and location.

**Upper stories:** Office, residential and all uses approved on street level.

### Required Parking

**Residential:** 2 per dwelling unit maximum

**Specialty Residential:** 1 per key plus 0.5 per employee maximum.

**Office:** 3.0 per 1,000 square feet maximum.

**Retail:** 3.0 per 1,000 square feet maximum.

**Large Format Retail:** 4.0 per 1,000 square feet maximum.

Parking areas are to be located to the rear and side of buildings. Shared parking shall be incorporated whenever possible.

# Flex Development Areas (continued)

## Architectural Form

A wide range of large-format buildings and structures are supported. Facades greater than 50 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade. No uninterrupted length of any facade shall exceed 60 horizontal feet.

Facades shall step back every 90 feet, creating facade articulation. The minimum depth of these changes is 2 feet. Materials should be selected to diminish the sense of utilitarian, industrial uses.

## Neighborhood Centers

Neighborhood centers are intended to meet the commercial, institutional, civic, cultural and recreational needs of the community. These centers will also function as key community destinations and will be places to meet and engage in local events and activities.



## Neighborhood Centers (continued)

Typical Neighborhood Center uses include:

- Local stores and corner shops
- Local mail box/post office
- Cafe, ice cream store, coffee shop, sports shops, etc.
- Restaurants
- Social hall/ community meeting space
- Civic/government offices
- Library/media center
- Day care
- Farmer's markets and local events
- Trail connections
- Medical offices/clinics
- Small businesses
- Professional offices
- Specialty residential

### Building Placement

**Front Setback:** No setback minimum, 10 feet maximum.

**Side Setback:** None

**Adjacent to Residential Zone:** Buildings must be located the furthest possible point from the adjacent residential zone. A minimum rear setback of 20 feet is required when adjacent to a residential use or zone. This setback may be modified if the applicant can demonstrate that the building will not become a nuisance to the adjacent residential zone.

Buildings must be oriented toward the street, parking lot avenues and plazas with additional facade detailing on the front face of the building. The side facades are permitted to face the side street as long as a primary entrance is located at the corner providing access from the public way.

### Building Characteristics

**Ht. Maximum:** 4 Stories/ 50 feet maximum.

**Ht. Minimum:** One-story, 20 feet minimum building height measured from sidewalk level. Commercial storefront uses shall have 14 foot interior ceiling heights minimum.

**Street level door required:** 1 per 60 feet of frontage.

**Glazing and Frontage:** Minimum 65% clear glass for street level frontage. 80% active street level frontage.

## Neighborhood Centers (continued)

### Land Use Requirements

**Street level:** Street-level uses limited to active uses including retail, restaurant, entertainment, lobby, recreation, professional service or civic.

**Upper stories:** Office, residential and all uses approved on street level.

### Required Parking

**Residential:** 2 per dwelling unit maximum.

**Specialty Residential:** 1 per key plus 0.5 per employee maximum.

**Office:** 3.0 per 1,000 square feet maximum.

**Retail:** 3.0 per 1,000 square feet maximum.

**Large Format Retail:** 4.0 per 1,000 square feet maximum.

Shared parking shall be utilized whenever possible. On-street parking is required and may be counted toward meeting parking requirements. Parking areas are to be located to the rear and side of buildings, with parking in front or on the street-side of the building specifically prohibited.

### Architectural Form

A wide-range of Desert Modern Commercial and Residential and similar forms are appropriate. Facades greater than 30 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade. No uninterrupted length of any facade shall exceed 60 horizontal feet.

Facades shall step back every 90 feet, creating pockets of publicly accessible plaza and open spaces. The minimum dimension of these pocket plazas shall be 15 feet by 15 feet and can be used as outdoor seating areas, fire pit seating, display and for general outdoor business activity.

## Preliminary Building Design Principles

### Architectural Variation/ Materials and Colors/ Massing and Built Form/ Street Walls/ Building Massing

#### Vision Statement

South Valley Community is a place defined by its attractive and well-maintained uses, buildings and residences; a discernible and hierarchical street and trail system; a generous system of open spaces and parks; well-landscaped streets and public spaces; beautiful views and view corridors; and positive transitions between adjacent uses and neighborhoods. It is a community with a distinctive “sense of place” that is defined by the red rock desert setting that encompasses and surrounds it.

South Valley Community is a place that is recognized for careful design and development that results in distinct neighborhoods and districts. The area encompasses a high level of urban amenities, parks, plazas, street furnishings, trails and open spaces, which are linked together as part of a comprehensively-planned, uniform and holistic community. Development is guided by specific design and implementation guidelines that have been carefully created for this particular place.

**Maintaining the characteristics that contribute to this vision is a critical aspect of establishing the Preliminary Community Structure Plan. The following preliminary concepts and ideas will be the basis upon which future details will emanate.**

#### Architectural Vision

The South Valley Community will be a new hub of local activity. It is a balanced place that incorporates a range of residential, civic, commercial and flex uses. The community is purposefully located away from nearby US-191, providing space for the new community to grow and thrive without a heavily-trafficked highway dividing it in two. The spaces between the buildings are as important as the buildings, encompassing a range of quality parks, plazas and pedestrian places.

#### Architectural Form and Design Principles

New development will address the form of the buildings, which will help establish a unified community structure. Successful architectural projects will be gauged by how they fit with the landscape, setting and adjacent buildings and sites.

Creative and high-quality architecture is expected, with the individual needs and desires of projects offset by the needs of the South Valley Community. For example, buildings and walls that are visible from the street are well-articulated through the use of offsets, recesses, changes in height, changes in vertical and horizontal planes and the use of window layouts and roof lines.

Building elements such as windows, doors and soffits should be properly proportioned to the overall building facades, utilizing configurations that allow ample natural light to spill into interior building spaces while minimizing glare and heat gain.

The mixing of architectural styles should be avoided within a single project, although there should be a range of styles throughout the South Valley Community, with a Desert Modern theme dominating. The massing and form of buildings should be appropriate to nearby pedestrian and vehicular scales with public entrances well-defined through architectural forms and materials. Areas for walking and cycling should be specifically designed for those uses, incorporating pleasant scales and using high-quality materials and attractive site details.

Plumbing, maintenance and mechanical equipment should be located on the interior of buildings whenever possible. If it is necessary to locate such features outside of buildings or on roofs, they should be screened through the use of parapet walls, high-quality site walls, and other screening methods that match the quality and look of the building.

### **Architectural Materials/Colors**

The use of appropriate materials should create a sense of permanence, with no more than four types of building materials applied on a building exterior, excluding glass for windows and doors. One or two materials should compose approximately 70%-80% of a building exterior as the primary materials, with the remaining 20%-30% composed of accent materials.

Preferred primary materials include:

- Quarried stone
- Full veneer brick
- Cultured stone
- Composite lap siding
- Glass

Preferred accent materials include:

- Quarried stone
- Full veneer brick
- Cultured stone
- Architectural metals (insulated architectural grade panels)
- Precast concrete
- Stucco/Exterior Insulation Finishing System (EIFS)
- Glass
- Metal trim
- Wood

The use of composites, stucco and concrete masonry unit (CMU) blocks should be avoided or used sparingly as accent details on the primary facades. The use of such materials for additions and on secondary frontages may be appropriate. The use of metal should be applied in a manner that avoids the appearance of monotonous facades and industrial appearances.

Ground-level architecture will utilize a strong base material that is durable and substantial including, but not limited to, quarried stone, full veneer brick, cultured stone or metal. Materials not noted and alternative materials may be proposed. Large expanses of a single material should be avoided. Window reflectivity should minimize the amount of glare reflected into surrounding buildings and into vehicular corridors. Energy efficient glass that allows natural light into buildings is encouraged for windows and doors.

### **Building Orientation**

Building design and siting will consider solar orientation, climatic conditions, wind patterns and other environmental conditions. The exterior of buildings should include windows, openings and architectural features that are coordinated on all sides of the building in order to achieve harmony and continuity.

### **Building Setbacks**

Specific setbacks and build-to lines will be established for the various uses and districts of the community. Front setbacks along public rights-of-way are particularly important, helping to establish consistent streetwalls and/or yards as envisioned.

### **Site Design**

Sites will be designed in a clear and legible manner that contribute to a sense of unity and the establishment of compatible layouts for all uses and users. New development will provide convenient pedestrian connections, not only to the street frontage/sidewalk zones, but between buildings, within parking lots, plazas and parks and along pathway corridors that link the spaces and places together. Recognition of and response to fronting streets should be a primary consideration.

### **Corridors/Street Networks**

As the area develops, efforts will be focused on the establishment of a “Complete Streets” system within the South Valley Community. This will help ensure that streets and roadways are established that meet the needs of all users and transportation modes, including pedestrians, cyclists and vehicular users. The needs of pedestrians and bicycle riders should be robust and well-accommodated throughout the community.

### **Streetscape Design**

The street and its edges are important elements for unifying South Valley Community as a cohesive place. Special streetscape improvements should be provided along key entry roads, with unique street treatments developed for each roadway as part of a unified streetscape system. Each street-type will



incorporate specific street trees, landscape treatments, lighting and other enhancements that distinguish each roadway as an attractive passageway. Streets will be designed to preserve and enhance views of the surrounding cliffs and open space features.

### **Parking**

On-street parking should be developed in response to the typical street sections included in this Preliminary Community Structure Plan. On-street parking is generally encouraged in high-intensity land use areas and neighborhoods, and used judiciously in less intensely developed locations.

Off-street parking should be located between and to the rear of buildings whenever possible. Parking courts and shared parking lots are recommended to help limit the negative impacts of parking as a general principle. These parking areas should be screened from surrounding land uses with perimeter landscape buffers, cooled with shade tree plantings, and separated and softened through the careful use of fences, walls and landscaping. Safe circulation routes should be provided for pedestrians to navigate through parking lots to buildings, plazas, sidewalks, or trails.

### **Key Intersection Enhancements**

Special design treatments should be developed for the neighborhood centers that create a unique identity, helping residents and visitors understand the function of each neighborhood and enhancing the sense of arrival. Design should go beyond standard wayfinding and signage treatments, incorporating quality public spaces, beautiful and engaging landscape treatments and special design details that reinforce the unique characteristics of each location.

### **Maintaining Views and Viewsheds**

First impressions often establish one's perception of a place. Special efforts should be made to maintain the extraordinary views that surround the area, particularly from roads, open spaces, trail corridors and neighborhood centers. Carefully controlled building heights, massing, form and setbacks should be coordinated in a manner that acknowledges key views as essential elements of the community.

Under most circumstances the use of trees and vegetation will soften and buffer undesirable views. Since the traditional South Valley landscape is generally open and flat with steep cliffs defining the edges of the community, the careful placement of regularly-spaced street trees can help define and protect key view corridors.

### **Landscape Treatments**

Landscape design should be regionally appropriate, incorporating water-conserving design principles to reduce water use while softening the transition between parking lots, street edges, the perimeter of buildings and land uses. One of the primary functions of well-designed landscapes in this region is to buffer the impacts of desert heat, dry winds and hot, sunny days (see *Chapter 7: Spanish Valley*

*Water Efficient Landscape Requirements* of the San Juan County Spanish Valley Development Ordinance for details). Landscaping should also be used to delineate space, establish legible sites, provide shade and assist with stormwater management. Landscape treatments should minimize the amount of maintenance, fertilizers and pesticides. Plants should be selected that acknowledge the mature size of each species, in order to minimize the need for pruning to retain the natural shape and form of selected species.

Landscape buffers are encouraged to provide visual and spatial transitions in a variety of settings. For example, they can be used to separate different land uses or to screen parking lots and large roadways from surrounding uses.

### **Street Trees**

A range of street trees that are well-suited to the dry and harsh desert environment should be used to provide visual continuity and soften hot temperatures and harsh sunshine through the use of shade. The size of trees should vary depending on the space required for the canopy to reach mature dimensions. Selecting the correct tree is particularly important to ensure the size of the root zone matches the open soil available for the tree to survive. The minimum caliper size at planting should be no smaller than 2 inches at planting.

### **Site Furnishings and Amenities**

A unified system of benches, bike racks, bollards, trash receptacles and other public furnishings is critical for establishing a coordinated community appearance. Such features should be high-quality and complement the streetlights, tree grates and other furnishings to the greatest degree possible. Powder-coated steel and aluminum are generally appropriate and should be encouraged, although the use of wood and recycled plastics may be more appropriate for the hot and sunny climate.

### **Street Lighting**

High-quality, commercial-grade metal fixtures should be used throughout the community. They should be spaced and sized to meet the specific needs of specific districts and neighborhoods, utilizing a limited system of poles and fixtures. Street lights should be energy efficient and meet established “Dark Skies” requirements for the area. Powder-coated steel and aluminum are generally appropriate and should be encouraged, although the use of timber poles and armatures may also be appropriate for the setting, climate and community appearance.

### **Paving Types/Materials**

The use of concrete and similar durable materials should be the primary paved walkway material, with asphalt the primary paved trail material. A detailed master plan establishing specific color and textural enhancements should be adopted for neighborhood centers and other special districts, addressing special conditions where embellished paving, specially-colored and scored concrete, concrete unit

pavers, stone pavers and other special treatments may be applied. The use of lighter colored pavement is encouraged to minimize heat gain, and the use of permeable paving materials is encouraged where feasible to minimize impacts to groundwater recharge.

### Gateway Treatments

The use of special gateway treatments can let people know they are arriving in a unique community. Gateways can be literal – utilizing signs and fixtures to indicate entrance. They can also be inferred through the use of special plantings, through the incorporation of public art, or as part of a unified artistic expression, further delineating the community and its neighborhoods while creating a sense of surprise and delight. Signs and gateways should be installed from the outset as the new community is established.

### Signage & Wayfinding

Wayfinding refers to the process of navigating one's way through a place. It begins with the establishment of a clear and logical layout of site elements and the creation of hierarchical messaging, which helps visitors form a mental image of a site or area.

Circulation paths are an important component of a clear signage and wayfinding system. They should be understandable, with key nodes or landmarks provided to assist navigation through an area. The establishment of landmarks and other vertical features that can be seen from afar can also assist with wayfinding.

The use of specific wayfinding signage is a more direct form of guiding people to and through South Valley Community. Signage may be project specific or associated with the community wayfinding system. Project signage should be developed as part of the overall theme for the specific district or neighborhood where it is located. Specific types of wayfinding signage may include the following:

- Neighborhood Center Identification Signs
- Sub-District/Neighborhood Signs
- District/Neighborhood Directional Signs
- District/Neighborhood Parking Identification Signs
- Information Kiosks
- Interpretive Destination/District Information Signs
- Special Area Entry Signs

Wayfinding signs along state roadways should be designed and located according to UDOT standards. In general, wayfinding signs should be located far enough apart from other vertical elements such as trees, light poles and other signage to be legible from the adjacent road. The signs should be located at a sufficient distance from the intersection so that drivers and bicyclists have adequate time to read the sign and make decisions.

### **Creating a Sustainable and Resilient Community**

With growing populations and increasing pressure on limited resources, sustainable development has become a rallying call for the region. For South Valley, sustainable development is a central tenet, addressing the dynamic processes that enable people to realize their potential and improve their quality of life while simultaneously protecting and enhancing natural and human support systems. Implementing a sustainable approach is not only achievable, it is essential to ensure the community is positioned to meet future needs and changes in a responsive manner. Preservation of the environment and the responsible use of natural resources are essential for a resilient South Valley Community.



# Permit Report

08/10/2021 - 09/03/2021

Permit #	Permit Date	City or County	Residential or Commercial	Type of Permit	Building CityStateZip	Owner Name	Applicant Name	Parcel #	Parcel Address
21,112	9/1/2021			Addition	Monticello		Elizabeth Mooneyhan	34S24E021850	
21,111	8/30/2021				Moab, UT 84532		Monty Risenhoover		
21,110	8/24/2021	San Juan County	Residential	Solar	Moab, UT, 84532		Sid Glick	690000010	432 PACK CREEK ROAD
21,109	8/24/2021	San Juan County	Residential	New Construction	Monticello, UT 84535	Roger and Cheyenne Low	Roger and Cheyenne Low	33S23E144800	
21,108	8/20/2021	San Juan County	Residential	Electrical	Moab, UT 84532	Derrick Daye	Derrick Daye	26S22E365406	
21,107	8/16/2021	San Juan County	Residential	New Construction	Moab, UT 84532	Joe & Laura Papas	Joe & Laura Papas / Architectural Squared	380000260	101 N BEHIND THE ROCKS DR
21,106	8/15/2021	San Juan County	Residential	Addition/Remodel	Moab, UT 84532	Cristie North	Cristie North	00062000023A	15 S MCELHANEY LN
21,105	8/13/2021	San Juan County	Residential	Remodel	Moab, UT 84532	Jeremy White	Jeremy White	27S23E233600	
21,104	8/13/2021	San Juan County	Residential	New Construction	Blanding, UT 84511	Frontier Farms LLC	Cody Nielson	37S22E133600	
21,103	8/24/2021	San Juan County	Residential	Utilities	Moab, UT 84532	Reed Pendleton	Reed Pendleton	780000100	293 W RIO GRANDE DR
21,102	8/19/2021	San Juan County	Residential	New Construction	Moab, UT 84532	Simpatica Properties LLC	Aaron Thompson	26S22E366000	193 Crimson Cliffs Dr
21,100	8/13/2021	San Juan County	Residential	New Construction	La Sal, UT 84530	Jonathan Whiddon	Jonathon Whiddon	001160000030	

Total Records: 12

9/3/2021

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